



Washington City Planning Commission
Regular Meeting Agenda
November 19, 2025

PUBLIC NOTICE is hereby given that the Planning Commission of Washington City will host a public electronic meeting on **Wednesday, November 19, 2025** at 6:00 P.M. The Planning Commission will be held in the Council Chambers of Washington City Hall located at 111 North 100 East, Washington, Utah. The meeting will be broadcast via Youtube Live linked online at <https://washingtoncity.org/meetings>

1. APPROVAL OF AGENDA

2. APPROVAL OF MINUTES

- a. Approval of the Planning Commission Minutes from November 5, 2025.

3. ANNUAL BUSINESS

- a. Consideration to approve the 2026 Planning Commission Meeting Schedule.

4. DECLARATION OF ABSTENTIONS & CONFLICTS

5. PUBLIC HEARINGS

*****Public comments will be accepted at: washingtoncity.org/meetings, until 5:00 pm the day before the meeting. After that time only in person comments will be taken.*****

- a. Public Hearing for consideration and recommendation to City Council for Zone Change Z-25-22 to update the existing PUD-C zoning located at 323 E Telegraph Street. Applicant: Johnson Engineering.
- b. Public Hearing for consideration and recommendation to City Council Conditional Use Permit C-25-14 for a new hotel located at approximately Washington Pkwy and Buena Vista Blvd. Applicant: Bush & Gudgell.
- c. Public Hearing for consideration and recommendation to City Council Conditional Use Permit C-25-13 for a new Department of Alcoholic Beverages Services retail store located approximately at 350 W Buena Vista Blvd. Applicant: Tom Gibbs.

6. ADJOURNMENT

POSTED this 13th Day of November, 2025
Bonnie Baker, Zoning Technician

In accordance with the Americans with Disabilities Act, Washington City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by calling the Zoning Technician at 656-6325 at least 24 hours in advance of the meeting to be held.

2026 Planning Commission Meeting Dates

Washington City, Utah

**Electronic submittals must be completed prior to submission.
Meeting the cut-off date does not guarantee a Planning Commission meeting.**

Planning Commission Cut Off Date (By 3pm)	Planning Commission Meeting Date	
December 1, 2025	January 7, 2026	
December 15, 2025	January 21, 2026	
January 5, 2026	February 4, 2026	
January 20, 2026	February 18, 2026	
February 2, 2026	March 4, 2026	
February 17, 2026	March 18, 2026	
March 2, 2026	April 1, 2026	
March 16, 2026	April 15, 2026	
April 6, 2026	May 6, 2026	
April 20, 2026	May 20, 2026	
May 4, 2026	June 3, 2026	
May 18, 2026	June 17, 2026	
June 1, 2026	July 1, 2026	
June 15, 2026	July 15, 2026	
July 6, 2026	August 5, 2026	
July 20, 2026	August 19, 2026	
August 3, 2026	September 2, 2026	
August 17, 2026	September 16, 2026	
September 8, 2026	October 7, 2026	
September 21, 2026	October 21, 2026	
October 5, 2026	November 4, 2026	
October 19, 2026	November 18, 2026	
November 2, 2026	December 2, 2026	
November 16, 2026	December 16, 2026	
December 7, 2026	January 6, 2027	
December 21, 2026	January 20, 2027	
January 4, 2027	February 3, 2027	
January 19, 2027	February 17, 2027	

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE:	November 19th, 2025
ACTION REQUESTED:	Z-25-22 - A request to update the PUD-C site plan located at 323 East Telegraph
APPLICANT:	Keith Grundmann
OWNER:	TCC Property Holdings LLC
ENGINEER:	Johnson Engineering
REVIEWED BY:	Eldon Gibb, Community Development Director
RECOMMENDATION:	Recommend approval with conditions onto City Council

Background

The applicant is requesting approval to modify the site plan for the Flavors Soda & Coffee business located at 323 East Telegraph. The property is zoned PUD-C and approximately .74 acres in size.

The applicant is proposing a revised site plan that includes the following changes:

- Replace the above ground storm water pond with underground chambers to allow additional parking (14 stalls) adjacent to Telegraph.
- Relocate the trash enclosure 20' feet to the north/east
- Add a right-out onto Telegraph

Staff recognizes access to the site is challenging. Staff supports the proposed changes as they meet the guidelines for the PUD-C zone.

Recommendation

Staff recommends the Planning Commission recommend approval of Z-25-22, onto the City Council, with the following findings and conditions.

Findings

1. That the requested zoning conforms to the intent of the land use designation of the General Plan.

2. The utilities that will be necessary for this type of development will be readily accessible to the site.

Conditions

1. The project shall conform to the standards of the PUD - Commercial Zone, and all the exhibits as shown and approved as part of this application.
2. A traffic study shall be submitted to the public works department for review and approval, prior to submitting construction drawings.
3. A final drainage study and grading and drainage plan shall be submitted for review and approval prior to site development. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
4. Detailed landscape and irrigation plans shall be submitted for review and approval prior to building permit applications and shall conform to the approved zoning plan. The developer should relocate the existing plants that will be removed to the remaining landscape strip adjacent to Telegraph to beautify this area.
5. All structure and site improvements shall meet the requirements of City-adopted building and fire codes.
6. A Post Construction Maintenance Agreement must be recorded prior to any plat recordings.
7. All lighting will be directed inward to the project site. No spill-over into the residential developments surrounding the project.
8. Dumpster designs will be block walls with a screen gate(s). Earth tone colors will be used.
9. All signage will be in accordance with the Sign Regulations of the City.
10. A six-foot (6') high block wall shall be constructed along the entire east boundary of the project.

NARRATIVE:

We are providing a revised layout for Flavors Coffees and Sodas that includes additional parking stalls along the frontage of Telegraph Street and the relocation of the trash enclosure to the northeast corner of the project site.

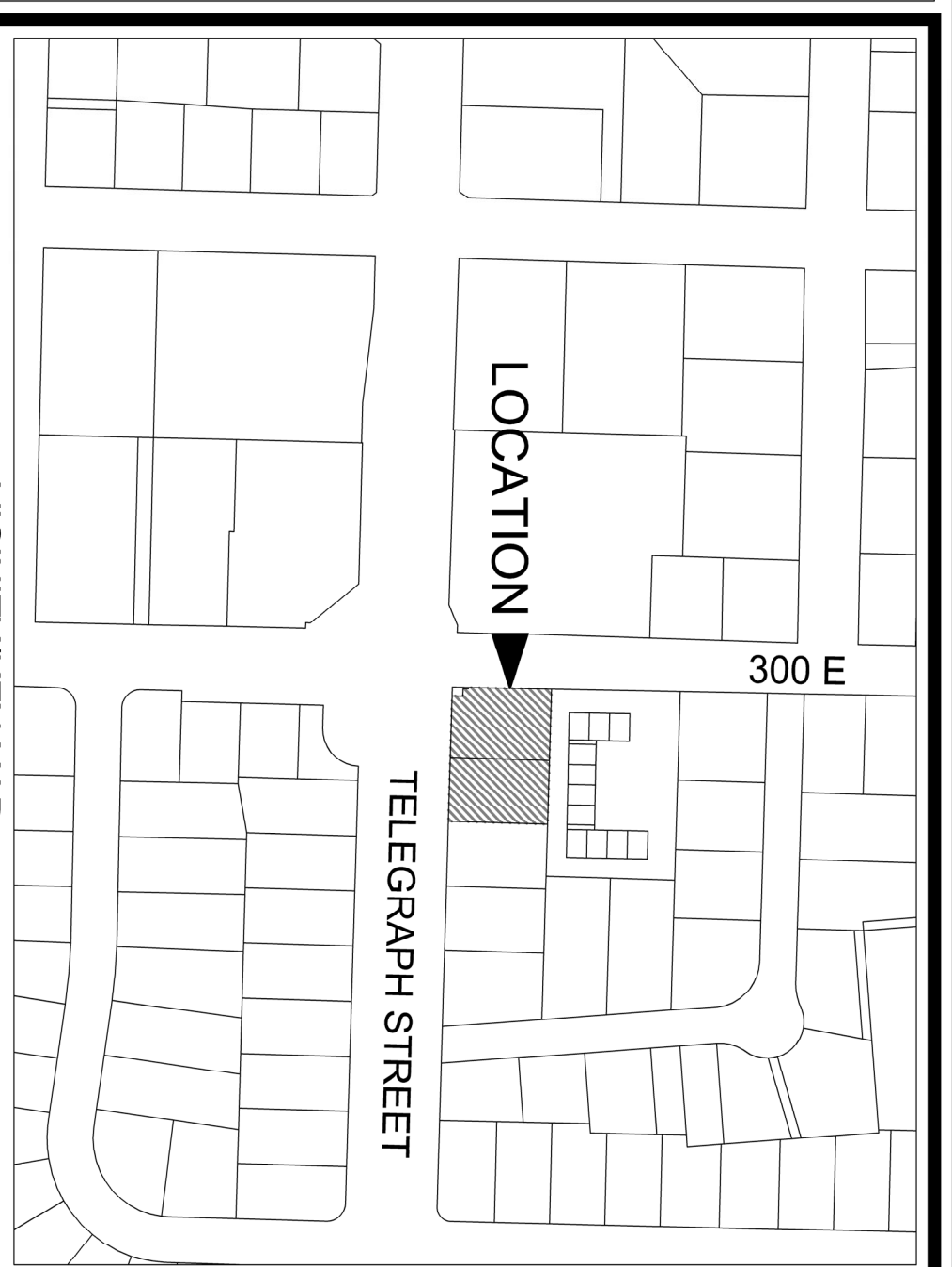
Underground storm drain chambers will be installed under the additional parking stalls with the same capacity as the existing detention pond.

These changes will provide customers and employees with additional parking stalls and facilitate traffic flow through the site.



PROJECT FLOW CARD: Z-25-22 - Zone Change PUD/C Update
Flavors Coffees & Sodas, 323 E Telegraph St

Planning	Reviewed. OK to move forward	
Public Works	Reviewed - OK to proceed forward. Basic layout is acceptable. Final design items will be reviewed with submission of new civil construction drawings.	
Engineer	Reviewed and no concerns	
Fire Dept.	Reviewed, no concerns	
Parks/Trails	Reviewed, no concerns	
Building Dept	Reviewed, no concerns	
Washington Power	Reviewed, no concerns.	
Economic Dev	Reviewed, no concerns. Redesign of the site to accommodate parking is a good option for a difficult location to access. RH	



VICINITY/KEY MAP

- LEGEND AND GENERAL NOTES**
- 1. PARKING STALLS:
 - 1.1. 20 REGULAR PARKING STALLS
 - 1.2. 1 HANDICAP PARKING STALL
 - 1.3. 21 TOTAL PARKING STALLS
- TRAFFIC FLOW

KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.
DRAWING IS NOT TO SCALE IF LESS THAN 28"x36". DIMENSIONS AND NOTES SUPERCEDE SCALE.

ENGINEER / SUPERVISOR INFORMATION:

JOHNSON ENGINEERING
4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124
www.johnsonengineering.com
Phone: 801-787-4589

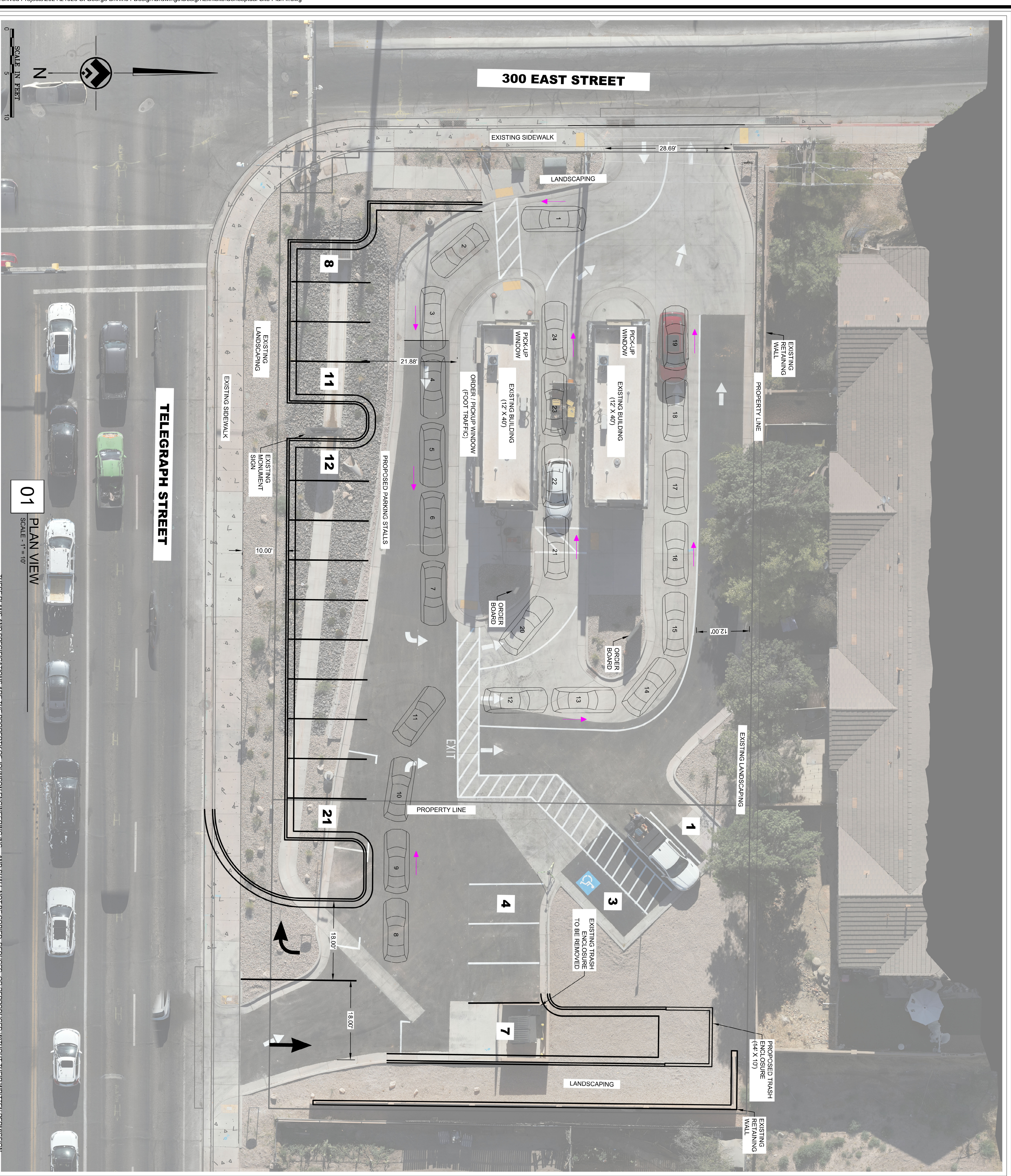
CLIENT / OWNER INFORMATION:

DREDGE MANAGEMENT
KEITH GRUNDMANN
14 N 300 E
WASHINGTON CITY, UTAH
(801)-363-6256

SHEET INFORMATION:

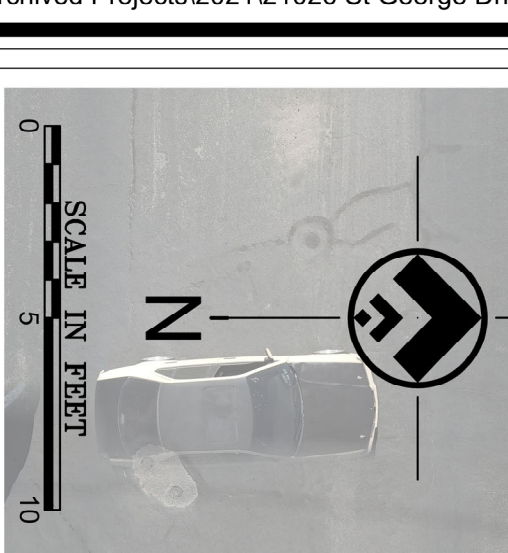
CONCEPTUAL SITE PLAN 02
FLAVORS COFFEE AND SODA
WASHINGTON CITY, WASHINGTON COUNTY, UTAH

DRAWN BY:	DBJ	CHECKED BY:	DBJ	APPROVED BY:	DBJ	SHEET:	EX-06
PROJECT NO.:	21-026						
DATE:	10/31/25	02	10/31/25	CONCEPT			
SCALE:	1"=5'	01	10/17/25	CONCEPT			
		NO.	DATE	REVISION			



TELEGRAPH STREET

01 PLAN VIEW
SCALE: 1" = 10'



WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE: November 19th, 2025

ACTION REQUESTED: C-25-14 - A request for a Conditional Use Permit for a 5 story hotel located at the southeast corner of Buena Vista Blvd and Washington Pkwy

APPLICANT: Jerry Miyahara

OWNER: SITLA

ENGINEER: Bush & Gudgeon, Inc

REVIEWED BY: Eldon Gibb - Community Development Director

RECOMMENDATION: Recommend approval with conditions onto City Council

Background

The applicant is requesting approval of a Conditional Use Permit to build a 5-story hotel located at the southeast corner of Buena Vista Blvd and Washington Pkwy. The proposed hotel previously received a height waiver of 65 feet by the City Council on July 23rd, 2025 and the proposed building elevation shows the building being 65' feet tall. The property is zoned General Commercial (C-3) which requires Hotels to obtain an approved Conditional Use Permit.

Conditional Use Permit applications (in this regard) are reviewed for any unique characteristics or potential impact the use may have on the municipality, surrounding neighbors or adjacent land uses to ensure the proposed use is compatible at the desired location. In certain circumstances, there could be "conditions" that would be put into place to mitigate or eliminate concerns so the business can function while reducing the impact that the operation of the business has in the area. These types of situations are not common and are more often seen in re-development and/or existing buildings being converted to a different type of use.

The entire parcel is approximately 15.5 acres with the hotel encompassing 3.3 acres. This hotel is the first commercial building on this site and there will be more General Commercial to follow with access being provided with this first phase. The hotel includes 143 rooms with a proposed 176 parking spaces which satisfies parking requirements. The exterior building elevations incorporate a variety of material and include stone/brick, stucco, metal paneling and fiber cement. The proposal also includes a landscaping plan which is aesthetically pleasing.

Staff has reviewed the proposed project and finds that it meets the standards as outlined in the

General Plan and Zoning Ordinance.

Recommendation

Staff recommends that the Planning Commission recommend approval of C-25-14, onto the City Council, based on the following findings and subject to the following conditions:

Findings

1. The proposed use, at the particular location, provides a service or facility which will contribute to the general well being of the neighborhood and community; and
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and
3. The proposed use will comply with the regulations and conditions specified in this title and associating state and federal titles, for such use; and

for such use; and
4. The proposed use will conform to the intent of the general plan.

Conditions

1. Any site improvements shall meet or exceed the requirements of City and State adopted codes including, but not limited to, the Building and Fire Codes of Washington City.
2. The development of the site shall comply with the development as approved in the exhibits provided along with the development standards found in the applicable zone and this Conditional Use Permit.
3. Development of the site shall comply with the recommendations of a geotechnical study and drainage study. Improvements for the drainage and detention shall be approved by the Public Works Department prior to the issuance of building permits.
4. The applicant will submit a traffic impact study for review and approval by the Public Works Department. The City's Access Management Plan will be adhered to in the traffic design of the project.
5. A Post Construction Maintenance Agreement will need to be recorded prior to the issuance of a Certificate of Occupancy.

6. Any roof mounted equipment will be screened from view.
7. All signage will be in accordance with the adopted sign regulations of the city.
8. Any exterior lighting will be directed inward to the property.
9. Dumpster screening shall blend in with the surrounding development. Details for these items shall be submitted for review and approval prior to the issuance of associated/required permits. Live growth plants shall be used to help screen the refuse walls where applicable.
10. A detailed landscaping plan will be submitted for review and approval prior to any landscaping being installed throughout the project. The landscaping will adhere to the city's water conservation ordinance.
11. Construction drawings will need to be submitted for review and approval, prior to any work being done on the site.
12. If any of the property is subdivided, a cross access easement and shared parking agreement will need to be recorded with the properties.
13. The parking will be adhered to as presented in the exhibits of this application.



**PROJECT FLOW CARD: C-25-14 - Conditional Use Permit - Washington Gateway Hotel
Washington Pkwy & Buena Vista**

Planning	Reviewed. OK to move forward	
Public Works	Reviewed - Clarification items addressed. Basic utility and stormwater layout is acceptable for CUP. Modifications will likely be required with grading and civil construction submissions.	
Engineer	Reviewed, ok to move forward for a CUP	
Fire Dept.	Reviewed, no concerns	
Parks/Trails	Reviewed, no concerns	
Building Dept	Reviewed, no concerns	
Washington Power	Reviewed. Ok from power to proceed with CUP	
Economic Dev	Reviewed. This project meets the City's priorities for economic development. New hotels at this location provide a convenient place for tourists and travelers to stay, this stimulates and supports nearby commercial activity. Visitors increase demand for goods and services, create jobs and generate revenue for the local businesses. Unlike primary residential, commercial properties pay 100% of the assessed tax based on valuation. This, along with TRT tax helps offset what would otherwise be a greater tax burden for residents.	



Buena Vista Blvd

Washington Pkwy

Merit Way

Twin Rocks CV

Commerce Blvd

Arch Dr

Host Ln

Hospitality Way

Traveler Ln

Hondo Way

720 E

1585 E

1720 E

Grapevine Crossing Rd N

Catalpa Dr

Teak Dr

Ocotillo Dr

Grapevine Crossing Rd



BUSH & GUDGELL, INC.
Engineers • Planners • Surveyors
205 East Tabernacle
St. George, Utah 84770
(435) 673-2337 (ph.)
(435) 673-3161 (fax)

October 3, 2025

RE: Exit 13 Hotel CUP Application

Dear Council / Commission members,

Please find this application for a Conditional Use Permit as required by Washington City code (9-10C-2-B). The applicant desires to develop a hotel in this location. This site is on a portion of Parcel no. W-5-2-1-122. The project sits on the southwest corner of the intersection of Washington Parkway and Interstate 15, adjacent to Exit 13. The natural geography of this location is such that it sits below the southbound on-ramp of I-15. Please see the attached exhibits for reference. Your consideration of this request is greatly appreciated.

Respectfully Submitted:

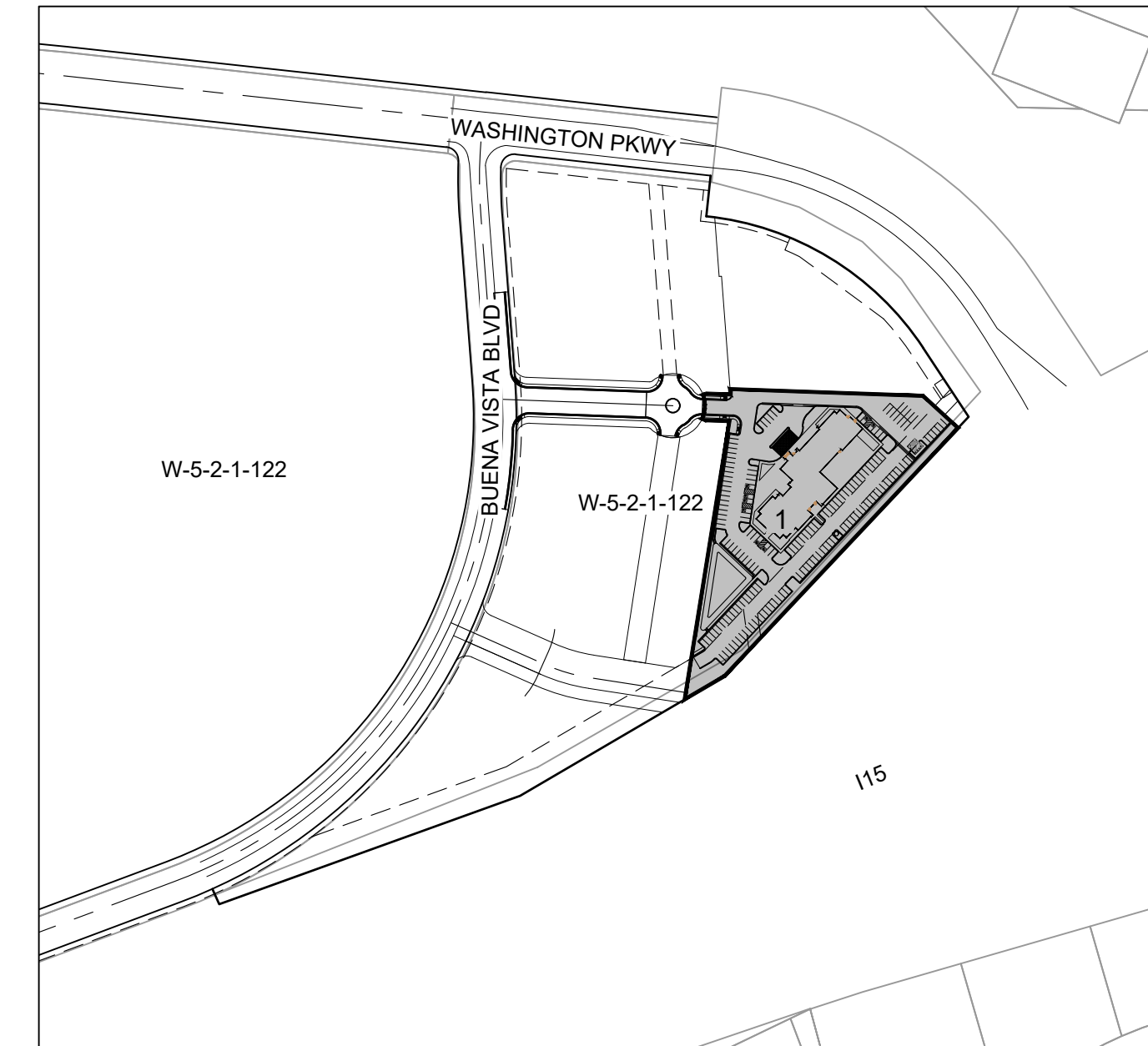
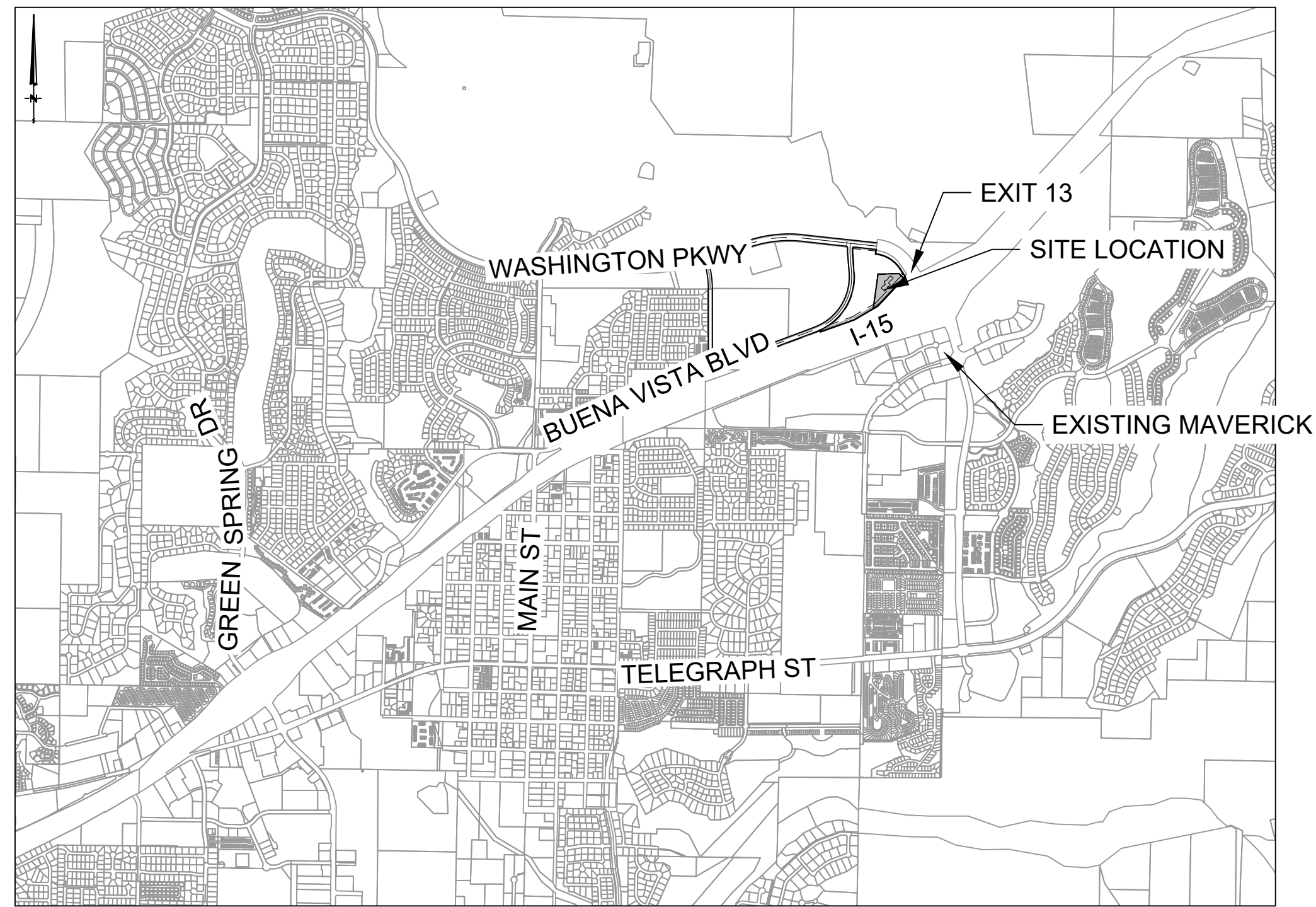
Bob Hermandson
President
Bush and Gudgell

B&G PROJECT NUMBER 251109

HOME 2 SUITES & HAMPTON INN

CONDITIONAL USE PERMIT LOCATED IN WASHINGTON, UTAH

SECTION 17, T 42 S, R 15 W, SLB&M
PARCEL # W-5-2-1-122



PROJECT MAP

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN

GENERAL NOTES

- 1) CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK IN ANY ZONE.
- 2) ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS
- 3) PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.
- 4) PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- 5) A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS.
- 6) FOLLOW APPENDIX 'J' STANDARDS FOUND IN THE IBC.
- 7) ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

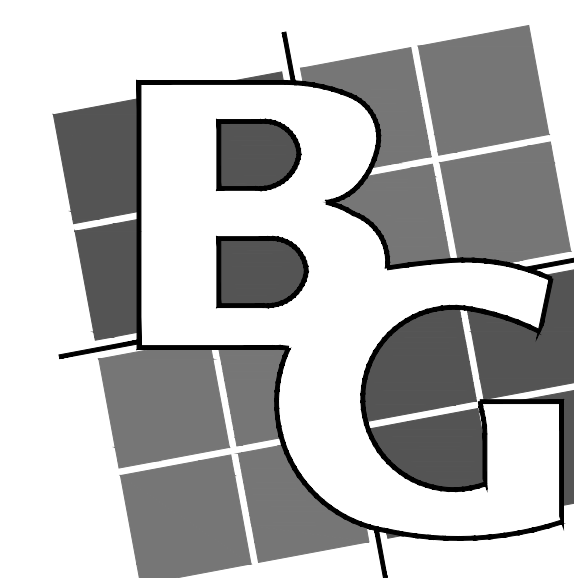
NOVEMBER 2025
BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors

205 East Tabernacle #4
St. George, Utah 84770
Phone (435) 673-2337

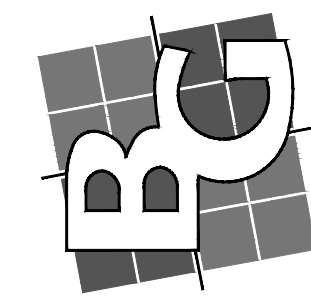


OWNER / DEVELOPER
JERRY MIYAHARA
ANCESTOR SQUARE
2 W ST. GEORGE BLVD #5H
ST. GEORGE, UTAH 84770

ENGINEERING CONTACT
BUSH AND GUDGELL, INC.
205 EAST TABERNALE #4
ST GEORGE, UT 84770
RICK MEYER - PROJECT MANAGER
(435)-673-2337



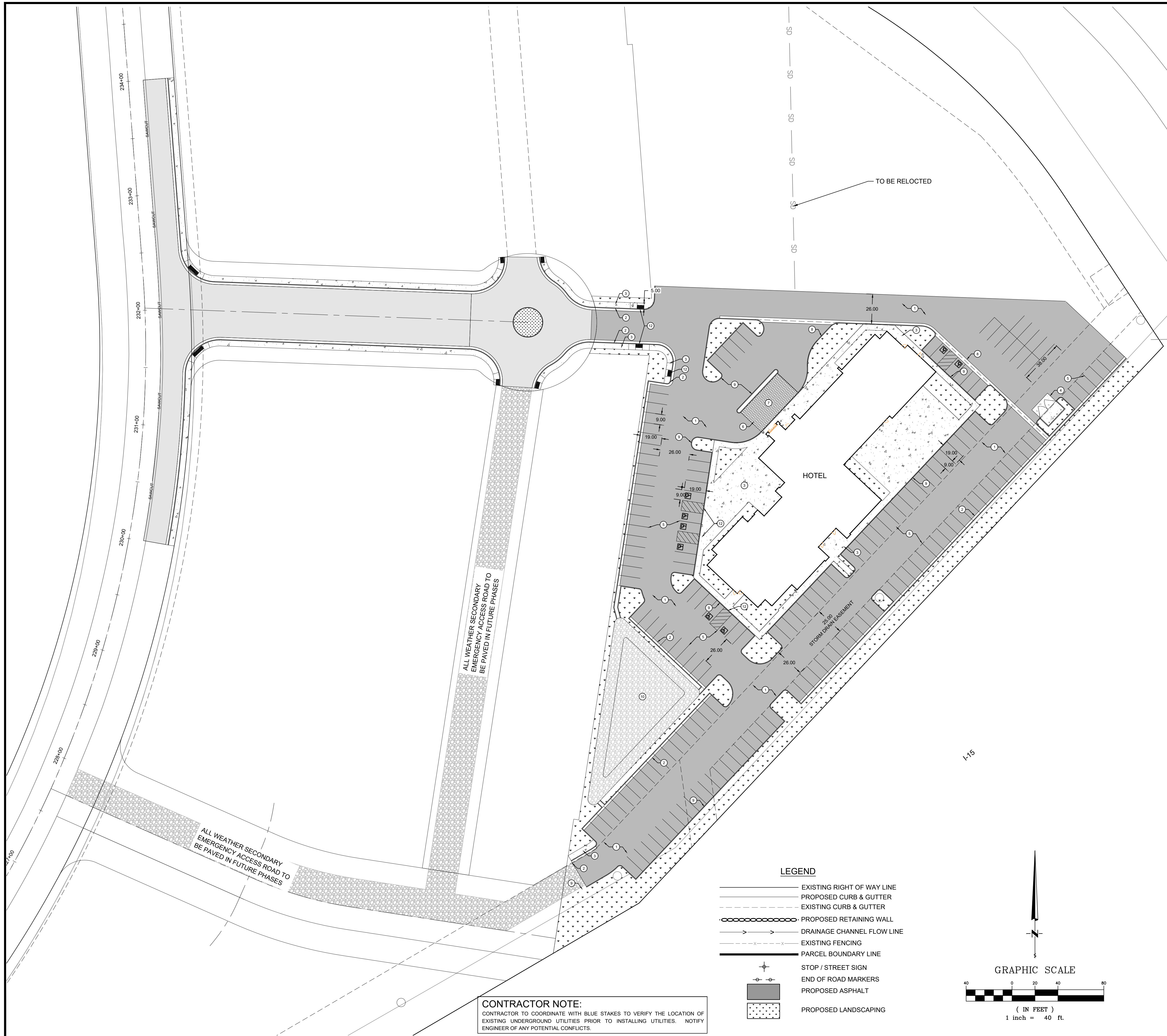
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205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



DATE: NOV 2025
DRAWN: CBW
APPROVED: RM
SCALE: NTS
JOB NO.: 251109

COVER
HOME 2 SUITES & HAMPTON INN
LOCATED IN WASHINGTON, UTAH

SHEET 1 OF 5 SHEETS
FILE: 251109



PROJECT INFORMATION	
GENERAL INFORMATION	
TOTAL BUILDING SQ. FT.	85,564
TOTAL BUILDING HEIGHT	62'-5"
BUILDING HEIGHT ALLOWED	65'-0"
PARCEL AREA W-5-2-1-122	678,233 SQ. FT. (15.57 AC)
PROPOSED HOTEL DEVELOPMENT AREA	145,075 SQ. FT. (3.33 AC)
PARKING	
NUMBER OF ROOMS	143
NUMBER OF EMPLOYEES	6
PARKING STALLS REQUIRED	161
PARKING STALLS PROVIDED	176
ADA STALLS REQUIRED	6
ADA STALLS PROVIDED	8
LANDSCAPE	
LANDSCAPE PROVIDED SQ. FT.	26,466
TOTAL SHADE TREES	40
IMPERVIOUS AREA SQ. FT.	107,337
PERVIOUS AREA SQ. FT.	34,004

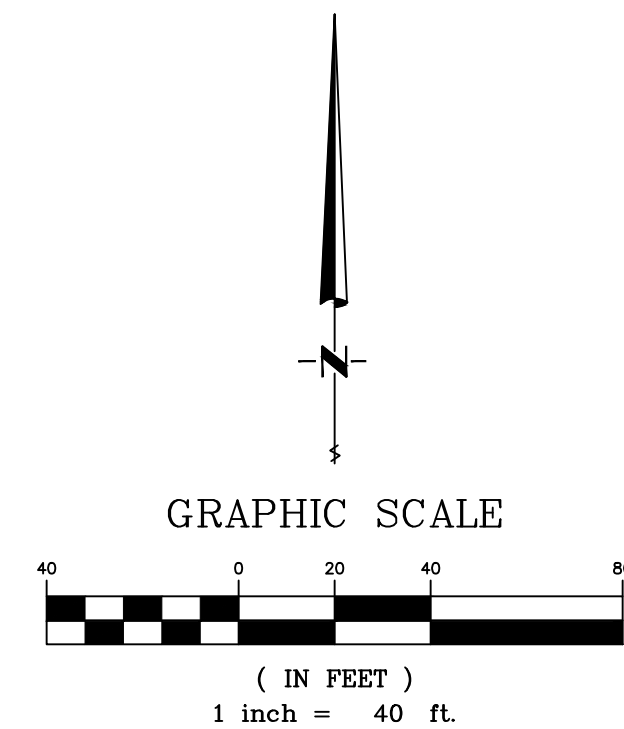
KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① PROPOSED ASPHALT
- ② PROPOSED CURB & GUTTER
- ③ CONCRETE SIDEWALK
- ④ TRASH ENCLOSURE WITH CONCRETE APRON
- ⑤ PARKING STALL STRIPING
- ⑥ PAVERS
- ⑦ PORT COCHERE
- ⑧ 4' VALLEY GUTTER
- ⑨ 6" CONCRETE CURB
- ⑩ DETENTION POND
- ⑪ BASE COURSE
- ⑫ HANDICAP RAMP

CONTRACTOR NOTE:
 CONTRACTOR TO COORDINATE WITH BLUE STAKES TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLING UTILITIES. NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.

- LEGEND**
- EXISTING RIGHT OF WAY LINE
 - PROPOSED CURB & GUTTER
 - - - EXISTING CURB & GUTTER
 - PROPOSED RETAINING WALL
 - DRAINAGE CHANNEL FLOW LINE
 - - - EXISTING FENCING
 - PARCEL BOUNDARY LINE
 - ⊕ STOP / STREET SIGN
 - ⊕ END OF ROAD MARKERS
 - PROPOSED ASPHALT
 - PROPOSED LANDSCAPING



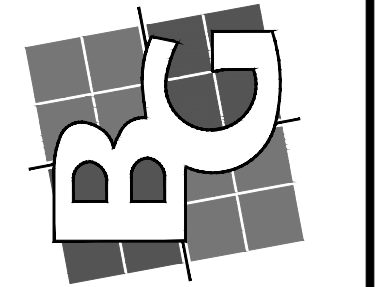
AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
Call before you Dig
 1-800-662-4111
BUSINESS OPERATIONS CENTER, INC.

OWNER / DEVELOPER
 JERRY MIYAHARA
 ANCESTOR SQUARE
 2 W ST. GEORGE BLVD #5H
 ST. GEORGE, UTAH 84770

ENGINEERING CONTACT
 BUSH AND GUDGELL, INC.
 205 EAST TABERNAACLE #4
 ST. GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
 (435)-673-2337

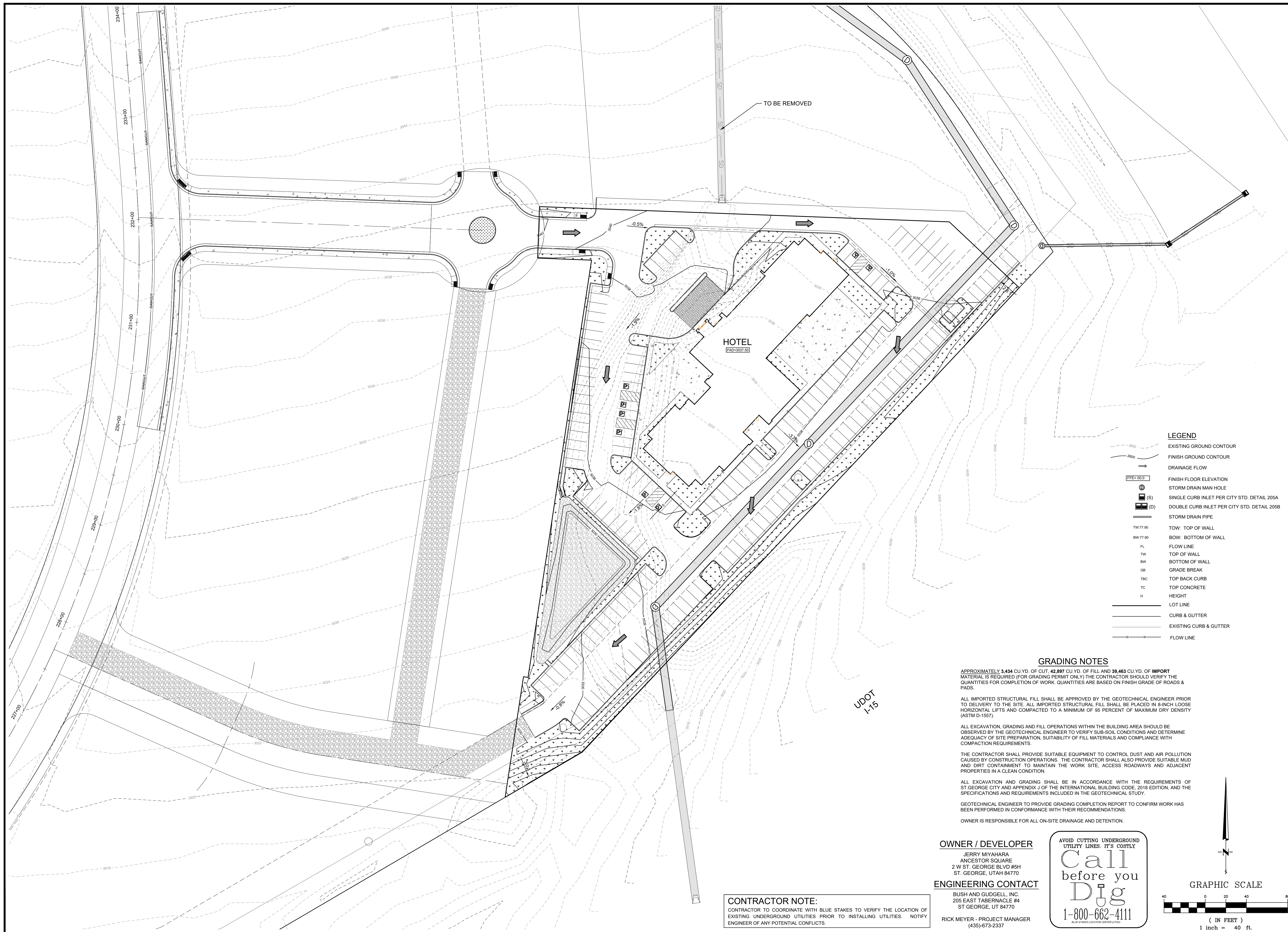
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 www.bushandgudgell.com



DATE: NOV 2025
 DRAWN: CBW
 APPROVED: RM
 SCALE: 1"=40'
 JOB NO.: 251109

PRELIMINARY SITE PLAN
 HOME 2 SUITES & HAMPTON INN
 LOCATED IN WASHITGTON, UTAH

SHEET 2 OF 5 SHEETS
 FILE: 251109



LEGEND

- - - - - 2500
- - - - - 2600
-
- FFE: 00.0
- (S)
- (D)
-
- TW: 77.90
- BW: 77.90
- FL
- TW
- BW
- GB
- TBC
- TC
- H
-
-
-
-

EXISTING GROUND CONTOUR
 FINISH GROUND CONTOUR
 DRAINAGE FLOW
 FINISH FLOOR ELEVATION
 STORM DRAIN MAN HOLE
 SINGLE CURB INLET PER CITY STD. DETAIL 205A
 DOUBLE CURB INLET PER CITY STD. DETAIL 205B
 STORM DRAIN PIPE
 TOW: TOP OF WALL
 BOW: BOTTOM OF WALL
 FLOW LINE
 TOP OF WALL
 BOTTOM OF WALL
 GRADE BREAK
 TOP BACK CURB
 TOP CONCRETE
 HEIGHT
 LOT LINE
 CURB & GUTTER
 EXISTING CURB & GUTTER
 FLOW LINE

GRADING NOTES

APPROXIMATELY 3,434 CU. YD. OF CUT, 42,897 CU. YD. OF FILL AND 39,463 CU. YD. OF IMPORT MATERIAL IS REQUIRED (FOR GRADING PERMIT ONLY) THE CONTRACTOR SHOULD VERIFY THE QUANTITIES FOR COMPLETION OF WORK. QUANTITIES ARE BASED ON FINISH GRADE OF ROADS & PADS.

ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL IMPORTED STRUCTURAL FILL SHALL BE PLACED IN 8-INCH LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).

ALL EXCAVATION, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO VERIFY SUB-SOIL CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.

THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.

ALL EXCAVATION AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ST. GEORGE CITY AND APPENDIX J OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION, AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEOTECHNICAL STUDY.

GEOTECHNICAL ENGINEER TO PROVIDE GRADING COMPLETION REPORT TO CONFIRM WORK HAS BEEN PERFORMED IN CONFORMANCE WITH THEIR RECOMMENDATIONS.

OWNER IS RESPONSIBLE FOR ALL ON-SITE DRAINAGE AND DETENTION.

OWNER / DEVELOPER
 JERRY MIYAHARA
 ANCESTOR SQUARE
 2 W ST. GEORGE BLVD #5H
 ST. GEORGE, UTAH 84770

ENGINEERING CONTACT
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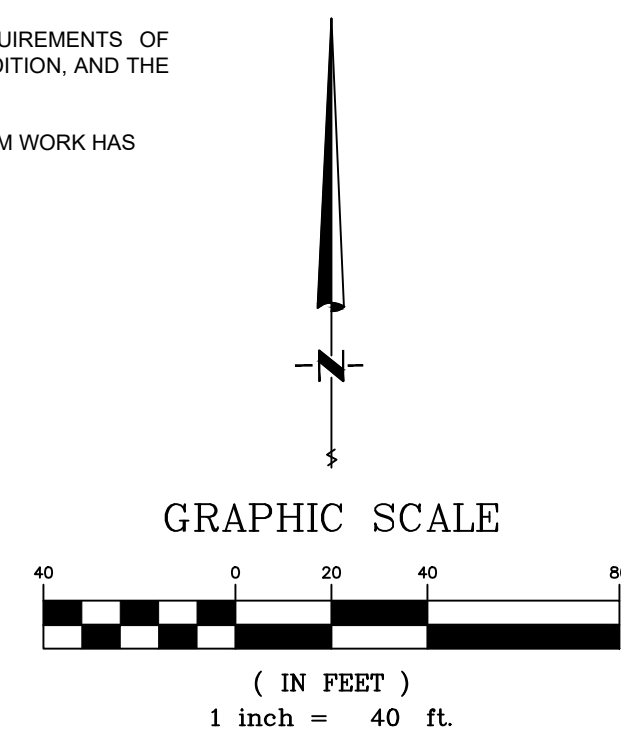
RICK MEYER - PROJECT MANAGER
 (435)-673-2337

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY

Call before you Dig

1-800-662-4111

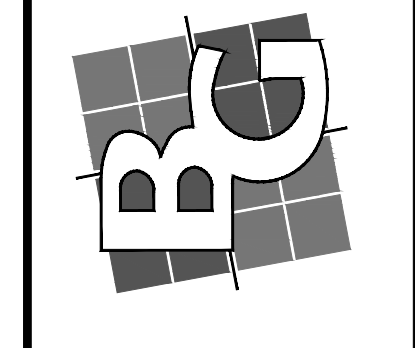
BLDG #10000 LOCATION CENTER (UT) 01/18



CONTRACTOR NOTE:
 CONTRACTOR TO COORDINATE WITH BLUE STAKES TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLING UTILITIES. NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.

No.	Date	By	Revision

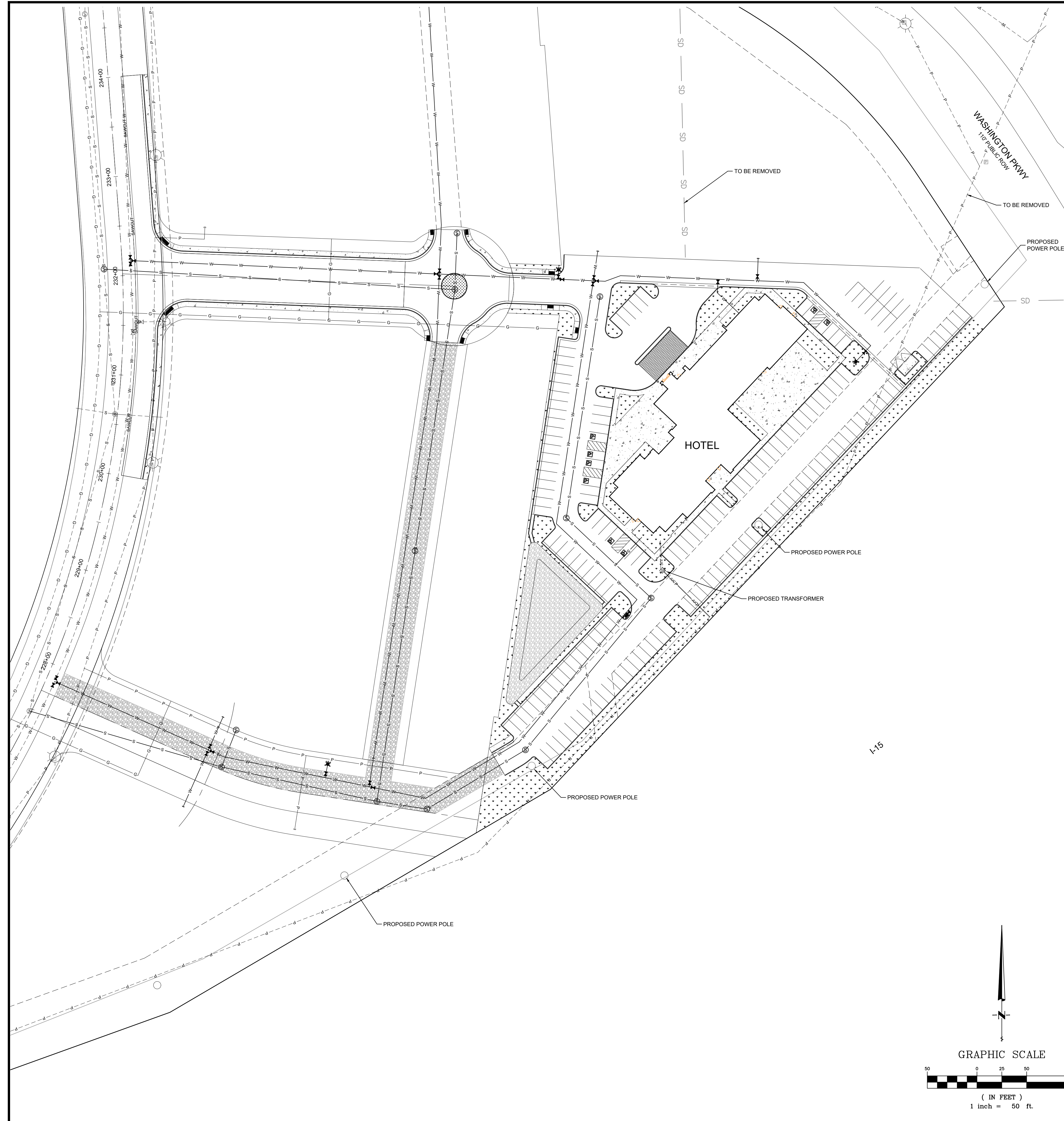
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 Phone (435) 673-2337 / Fax (435) 673-3161
 www.bushandgudgell.com



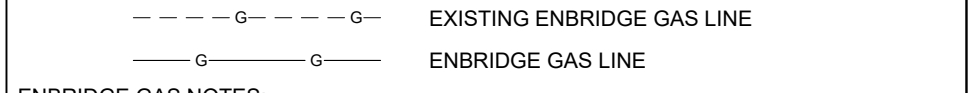
DATE: NOV 2025
 DRAWN: CBW
 APPROVED: RM
 SCALE: 1"=40'
 JOB NO.: 251109

GRADING PLAN
 HOME 2 SUITES & HAMPTON INN
 LOCATED IN WASHITGTON, UTAH

SHEET 3 OF 5
 FILE: 251109

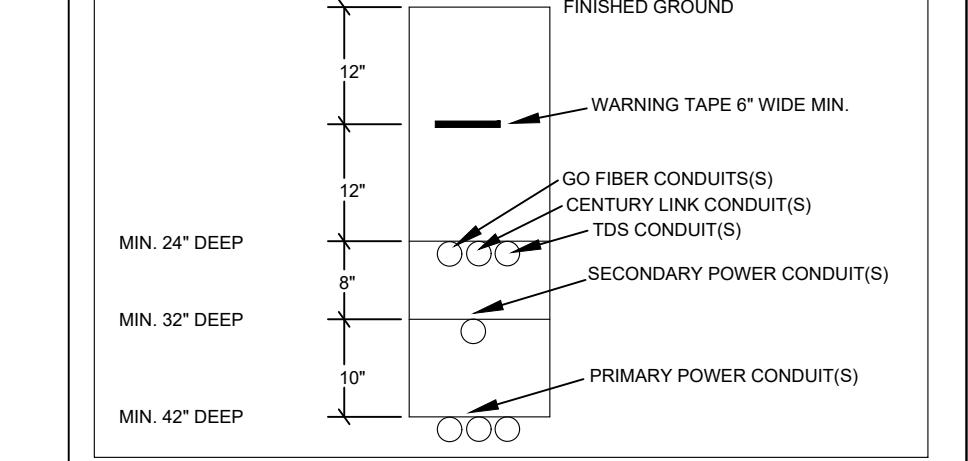


ENBRIDGE GAS



- ENBRIDGE GAS NOTES:**
1. DEVELOPER NEEDS TO CONTACT ENBRIDGE GAS PRE-CONSTRUCTION DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP. ASHLEY GLANZMAN (435) 218-4063.
 2. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TEST DONE AT DEVELOPER'S EXPENSE.
 3. IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT THEIR COST. A MAP WILL BE AVAILABLE AT ENBRIDGE GAS FOR CASING LOCATIONS (1155 E. 350 N. - ST. GEORGE).
 4. ALL OF THE UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED TO WITHIN SIX(6) INCHES OF TOP BACK OF CURB BEFORE GAS LINES WILL BE INSTALLED. **"NO RETAINING, ROCK, OR BLOCK WALLS MAY BE CONSTRUCTED ON A PIPE. DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION."**
 5. ALL TRENCHES SHALL BE BACKFILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY. PROPERTY LOT LINES, BACK OF CURB AND GRADE MUST BE STAKED BY DEVELOPER BEFORE GAS WILL BE INSTALLED.
 6. POWER, WATER AND SEWER LINES, CULVERTS OR OTHER HAZARDOUS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
 7. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF SERVICE TO THIS PROJECT.
 8. CONTACT JC HALL (435) 210-0729 AT LEAST TWO(2) WEEKS PRIOR TO BEING READY FOR SCHEDULING OF INSTALLATION.
 9. **"IMPORTANT NOTICE"** GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURRED. STREETS ARE WITHIN SIX(6) INCHES OF SUB-GRADE, AND THE FULL WIDTH OF THE UTILITY EASEMENT IS GRADED TO THE BACK OF CURB.
 10. HIGH PRESSURE GAS NOTE. CONTRACTOR IS REQUIRED TO CALL HIGH PRESSURE DISPATCH AT (801) 324-3370, AT LEAST 48 HOURS IN ADVANCE, BEFORE WORKING WITHIN TEN(10) FEET OF A HIGH PRESSURE GAS LINE. THIS WILL SCHEDULE AN ENBRIDGE GAS HIGH PRESSURE INSPECTOR TO THE PROJECT SITE.

JOINT UTILITY TRENCH DETAIL



- NOTES:**
1. POWER DESIGN IS SHOWN FOR CONVENIENCE PURPOSES IN LOCATING THE DEVELOPER PROVIDED TRENCH AND UTILITY CONDUIT. ACTUAL POWER DESIGN INCLUDING BUT NOT LIMITED TO SWITCHES, VAULTS, TRANSFORMERS, SECONDARY BOXES, WIRE, AND CONDUIT SIZES AND LOCATIONS ARE THE RESPONSIBILITY OF THE PRESIDING UTILITY COMPANY. ADDITIONAL PLANS AND/OR SPECIFICATIONS MAY BE REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE EXISTING POWER ENTITY. THE PROFESSIONAL ENGINEERING STAMP DOES NOT APPLY TO THE POWER, CABLE, GAS OR TELEPHONE PLANS.

TDS BROADBAND

1. THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
2. TDS WILL PLACE CONDUITS IN AN OPEN JOINT TRENCH. PLEASE CONTACT TDS ENGINEERING AT 435-288-1415 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO CREATE DESIGN AND SCHEDULE WORK.
3. CONTACT TDS PRIOR TO CONSTRUCTING BUILDINGS FOR PREWIRE OPTIONS FOR FIBER OPTIC SERVICE. ANY OTHER QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO TDS ENGINEERING AT 435-288-1415.
4. RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

INWEST/GO/FIBER, CATV/FIBER OPTIC NOTES

1. DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS REQUIRED TO FEED PROJECT WILL BE BILLED TO THE DEVELOPER.
2. GO FIBER WILL PROVIDE ALL CONDUITS. CALL 435-272-3559 OR EMAIL JUC@INWEST.COM FOR CONDUIT DELIVERY AT LEAST ONE WEEK PRIOR TO OPENING TRENCH.
3. FOR COMMERCIAL PROJECTS WITH AN MDF/COMM ROOM, DEVELOPER WILL INSTALL A 2" PVC RUN TO THE EXTERIOR OF BUILDING.
4. ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARDS GAB TREMBLAY @ 435-272-3559. JUC@INWEST.COM
5. RELOCATION OF EXISTING GO FIBER FACILITIES IS BILLABLE TO THE DEVELOPER. THE DEVELOPER WILL BE PROVIDED WITH AN ESTIMATE OF COSTS FOR WORK DONE.

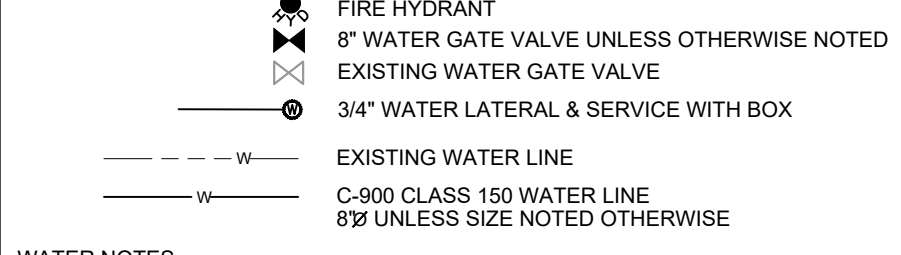
CENTURYLINK TELEPHONE

1. DEVELOPER TO PROVIDE ALL TRENCH LOCATIONS TO CENTURYLINK AND WILL PROVIDE 4" CONDUIT. CONTACT CENTURYLINK @ 435-632-6553 1 WEEK IN ADVANCE.
2. INSIDE TERMINATION: DEVELOPER TO PROVIDE 4 x 8 PLYWOOD BACKBOARD AND A #6 GROUND WIRE TO BUILDING NEUTRAL WITH 120V AC OUTLET ON BACKBOARD. A PERMANENT, GROUNDED 3-PRONG ELECTRICAL OUTLET IS REQUIRED WITHIN 6 FEET OF EQUIPMENT LOCATION. (WE RECOMMEND A STANDARD DUPLEX OUTLET, CALLED NEMA 5-15R. *LUMEN ELECTRONICS NEED TO BE POWERED BY 120 VAC (15-30 AMP) DEDICATED CIRCUIT.)
3. OUTSIDE TERMINATION: DEVELOPER TO PROVIDE 30"x30"x10" WEATHERPROOF BOX AND A #6 GROUND WIRE TO BUILDING NEUTRAL WITH A 120V AC OUTLET LOCATED IN THE LEFT OR RIGHT HAND LOWER CORNER. A PERMANENT, GROUNDED 3-PRONG ELECTRICAL OUTLET IS REQUIRED WITHIN 6 FEET OF EQUIPMENT LOCATION. (WE RECOMMEND A STANDARD DUPLEX OUTLET, CALLED NEMA 5-15R. *LUMEN ELECTRONICS NEED TO BE POWERED BY 120 VAC (15-30) DEDICATED CIRCUIT. SILUMEN ELECTRONICS NEED TO BE POWERED BY 120 VAC (15-30 AMP) DEDICATED CIRCUIT.)
4. CONTACT CENTURYLINK ENGINEERING AT 385-244-7763 OR DARRIN.ALLEN@LUMEN.COM 45 DAYS BEFORE ANY SERVICE IS REQUIRED TO SETUP SITE VISIT AND REPORT ANY CHANGES TO CITY STAFF/JUC APPROVED PLANS.
5. ANY CENTURYLINK FACILITY RELOCATIONS ASSOCIATED WITH A PROJECT WILL BE BILLABLE 100% TO OWNER/DEVELOPER AND MUST BE SCHEDULED A MINIMUM OF 45 DAYS IN ADVANCE.

NOTE:
IRRIGATION LINE SHOWN AS REFERENCE ONLY.

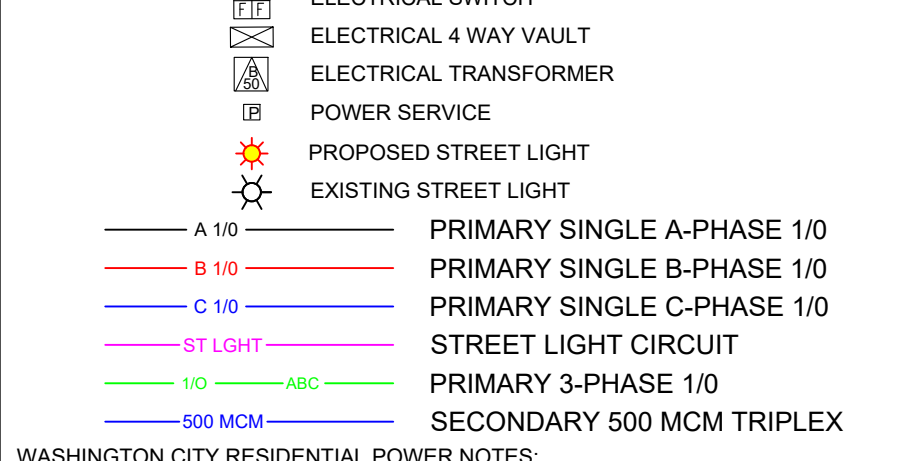
NOTE:
MINIMUM SEPARATION REQUIRED BETWEEN IRRIGATION AND WATER IS 5' HORIZONTAL & 1' VERTICAL.

WATER



- WATER NOTES:**
1. ALL WATERLINE WORKS MUST BE INSTALLED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY THE WASHINGTON CITY WATER DEPARTMENT.
 2. ALL CONSTRUCTION SHALL CONFORM TO THE "WASHINGTON CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION" "THE UNIFORM PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY WASHINGTON CITY.
 3. CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
 4. THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW PER THE INTERNATIONAL PLUMBING CODE (IPC) SECTION 608.16.5 AND FOR FIRE SINKLER SYSTEMS PER (IPC) 608.16.4.
 5. ALL BACKFLOW ASSEMBLY INSTALLATION AND TEST REQUIREMENTS SHALL BE IN ACCORDANCE WITH WASHINGTON CITY.
 6. 12 GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
 7. THRUST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS. USE MEGALUG ON THE FITTINGS AND FIELD LOCK GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE.
 8. ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
 9. CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES OR UN-USED STUB LINES THAT WILL BE ABANDONED.
 10. ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY WASHINGTON CITY WATER SERVICES ENGINEER.

WASHINGTON POWER



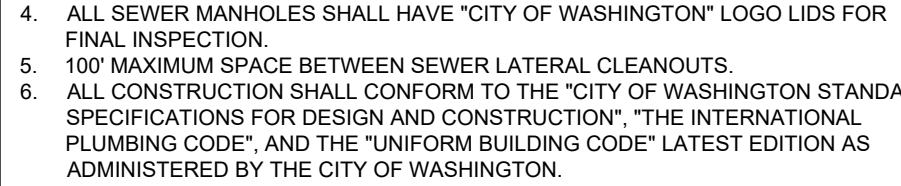
- WASHINGTON CITY RESIDENTIAL POWER NOTES:**
1. THE POWER DESIGN OF THIS UTILITY PLAN IS CONSIDERED BY WASHINGTON CITY POWER (WCP) TO BE PRELIMINARY UNTIL REVIEWED AND STAMPED. APPROVED CONSTRUCTION DRAWINGS WILL NOT BE RELEASED UNTIL DESIGN FEES HAVE BEEN PAID.
 2. ALL PRIMARY AND SECONDARY SUBDIVISION INSTALLATIONS SHALL BE INSTALLED BY CERTIFIED CONTRACTORS, APPROVED TO WORK IN THE WCP AREA.
 3. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE LOCATIONS AND PROPER ELEVATIONS FOR POWER EQUIPMENT TO BE INSTALLED CORRECTLY.
 4. UTILITY CONSTRUCTION DRAWINGS SHALL SHOW WALLS AND CHANGES IN ELEVATION FOR PROPER INSTALLATION OF MATERIALS.
 5. ALL RESIDENTIAL LOTS WILL BE DESIGNED FOR A 200 AMP SERVICE UNLESS OTHERWISE SPECIFIED.
 6. ALL POWER EQUIPMENT SHALL BE INSTALLED ACCORDING TO THE LATEST VERSION OF WASHINGTON CITY UNDERGROUND STANDARDS AND SPECIFICATIONS.
 7. ALL POWER EASEMENTS SHALL BE CLEAR OF STRUCTURES, WALLS AND OTHER OBSTRUCTIONS.
 8. VEGETATION SHALL NOT BE PLANTED WITHIN 10' FRONT 5' SIDES OF POWER EQUIPMENT.
 9. ANY CHANGES TO THE APPROVED UTILITY DESIGN WILL BE AT THE DEVELOPER'S EXPENSE.
 10. ALL TRANSFORMERS SHALL BE A MINIMUM OF 10' FROM ANY STRUCTURE INCLUDING PUD DEVELOPMENTS.
 11. POWER TRENCH DEPTHS:
PRIMARY TRENCHES 48"
SECONDARY TRENCHES 36"
 12. ALL SECONDARY LINE SIZES ARE 350MCM UNLESS OTHERWISE NOTED.

ENGINEER NOTE:
POWER PLAN PROVIDED BY WASHINGTON CITY POWER AND IS SHOWN ON THESE PLANS AS REQUIRED BY WASHINGTON CITY AND THE DESIGN IS THE RESPONSIBILITY OF WASHINGTON CITY POWER. ADDITIONAL PLANS AND/OR SPECIFICATIONS MAY BE PROVIDED OR REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PRESIDING UTILITY COMPANY.

ADDITIONAL POWER NOTES:

1. ALL EXTERIOR LIGHTING WILL BE FROM HOTEL PANELS.
2. ALL PRIMARY CONDUIT TO BE 3" SCHEDULE 40 PVC, UNLESS OTHERWISE SPECIFIED.
3. ALL TRANSFORMERS ARE TO BE FEED THROUGH.
4. ALL CONDUIT, WIRE & EQUIPMENT MUST BE INSTALLED BY A WASHINGTON CITY PRE-APPROVED ELECTRICAL CONTRACTOR. CONTRACTOR MUST HAVE HIGH VOLTAGE CARDS.
5. ALL HIGH VOLTAGE CONTRACTORS MUST BE CITY APPROVED.
6. ALL SECONDARY BOXES MUST BE TOMBSTONE TYPE.
7. ELECTRICAL CONTRACTORS WILL BE HELD TO THE NEW STANDARDS - DEC. 2015 UNDERGROUND ELECTRICAL CONSTRUCTION STANDARDS (ONLINE IN CITY WEB SITE).

SEWER



1. ANY SEWERS NOT IN PUBLIC STREETS SHALL SHOW RECORDED EASEMENTS.
2. NO SEWER UNDER 9' DEEP UNLESS APPROVED BY THE CITY OF WASHINGTON.
3. BUILDINGS MAY REQUIRE INTERCEPTORS AT A LATER DATE.
4. ALL SEWER MANHOLES SHALL HAVE "CITY OF WASHINGTON" LOGO LIDS FOR FINAL INSPECTION.
5. 100' MAXIMUM SPACE BETWEEN SEWER LATERAL CLEANOUTS.
6. ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF WASHINGTON STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION" "THE INTERNATIONAL PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF WASHINGTON.

CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE WITH BLUE STAKES TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLING UTILITIES. NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.

OWNER / DEVELOPER
JERRY MIYAHARA
ANCESTOR SQUARE
2 W ST. GEORGE BLVD #5H
ST. GEORGE, UTAH 84770

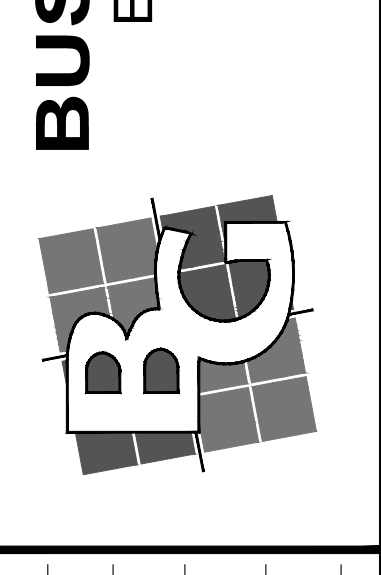
ENGINEERING CONTACT
BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST. GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435)-673-2337

No.	Date	By	Revision

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors

205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



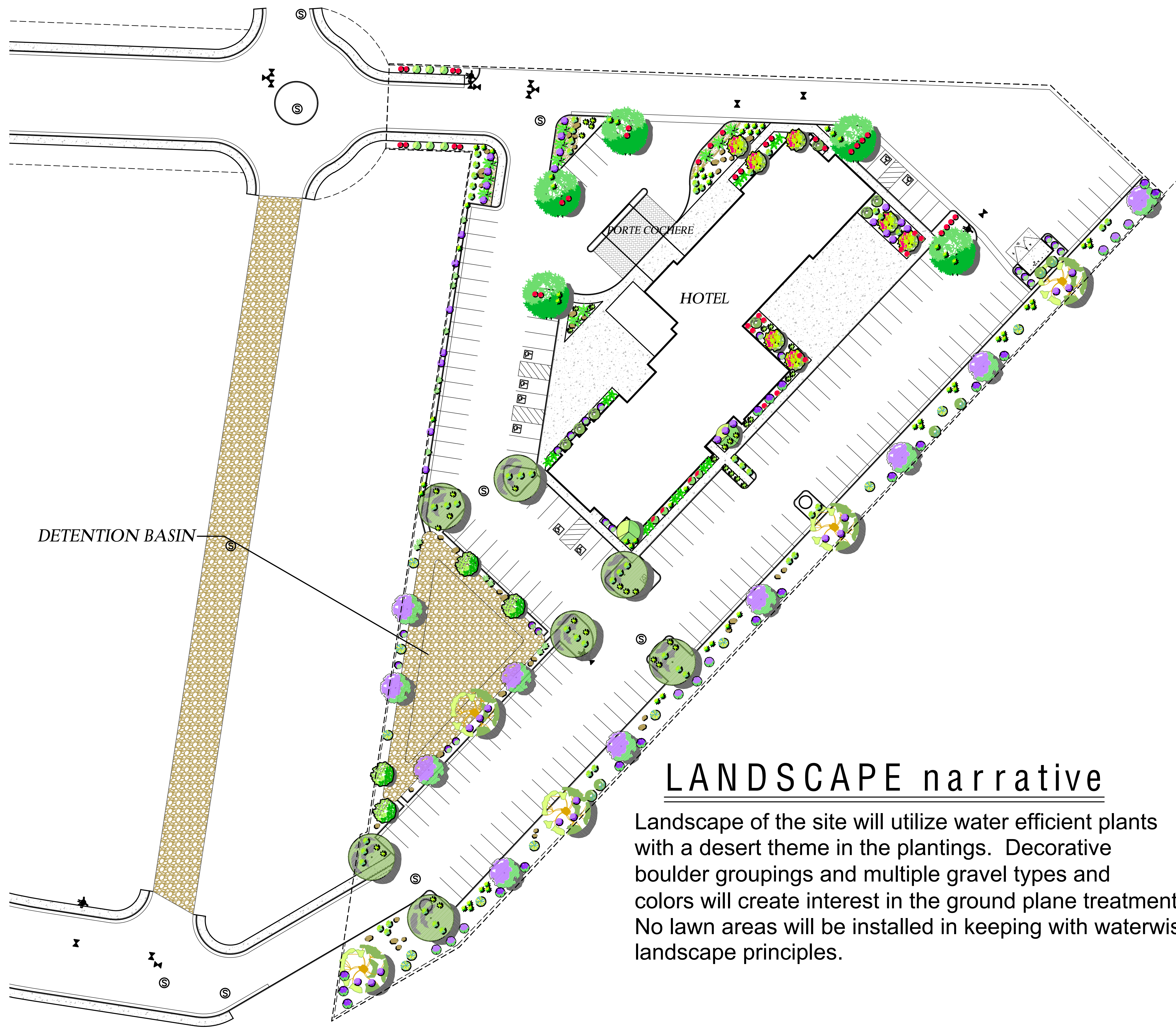
DATE: NOV 2025
DRAWN: CEW
APPROVED: RM
SCALE: 1"=60'
JOB NO.: 251109

UTILITY PLAN

HOME 2 SUITES & HAMPTON INN
LOCATED IN WASHINGTON, UTAH

SHEET 4 OF 5 SHEETS

FILE: 251109



PLANT PALETTE

NAME	SIZE
<i>Prosopis glandulosa</i>	36" box
Texas Honey Mesquite—multi	
<i>Ligustrum lucidum</i>	24" box
Glossy Privet— multi	
<i>Chilopsis linearis</i> 'Burgundy Lace'	24" box
Burgundy Lace Desert Willow—multi	
<i>Vitex agnus-castus</i>	24" box
Chaste tree— multi	
<i>Quercus virginiana</i>	36" box
Live Oak	
<i>Lagerstroemia indica</i> 'Red' multi	24" box
Red Crape Myrtle— multi	
<i>Pistacia chinensis</i> 'Red Push'	24" box
Red Push Pistache	
<i>Washingtonia filifera</i>	10'
California Fan Palm	
PALMS TO BE TRUE FILIFERA PALMS, NO HYBRID PALMS, VERIFICATION FROM SUPPLIER REQUIRED. SKIN ALL PALMS' TRUNKS 3/4 UP TRUNK	
<i>Trachycarpus fortunei</i>	24" box
Windmill Palm	

<i>Rosmarinus officinalis</i> 'prostratus'	5 gal
Creeping Rosemary	
<i>Nerium oleander</i> 'Dwarf Red'	5 gal
Dwarf Red Oleander	
<i>Lonicera</i> 'Pams Pink'	5 gal
Pams Pink Honeysuckle	
<i>Ilex vomitoria</i> 'Yaupon'	5 gal
Glossy Privet	
<i>Prunus caroliniana</i> 'compact'	15 gal
Compact Carolina Cherry	
<i>Raphiolepis indica</i> 'Ballerina'	5 gal
India Hawthorn	
<i>Hesperaloe parviflora</i>	5 gal
Red Yucca	
<i>Rosa</i> 'Red Drift'	2 gal
Red Drift Rose	
<i>Euonymus V.</i> 'Aureo-variegata'	5 gal
Variegated Euonymus	
<i>Dasyliroa longissimum</i>	15 gal
Grass Tree	
<i>Agave parryi</i> 'Truncata'	5 gal
Artichoke Agave	
<i>Echinocactus grusonii</i>	5 gal
Golden Barrel Cactus	
<i>Leucophyllum laevigatum</i>	5 gal
Rio Bravo Texas Ranger	
<i>Chrysantha mexicana</i>	5 gal
Damianita	
<i>Teucrium chamadrys</i>	5 gal
Germander	
<i>Gaura lindheimeri</i>	1 gal
Pink Gaura	

BOULDERS— Red Sandstone
2' – 3.5' Diameter

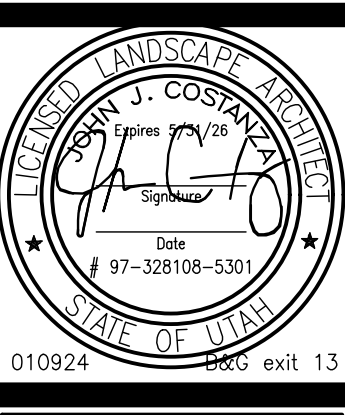
Landscape Gravel— 3/4" Apache Gold

ACCENT ROCK – 2-4" Rebel Red

LANDSCAPE narrative

Landscape of the site will utilize water efficient plants with a desert theme in the plantings. Decorative boulder groupings and multiple gravel types and colors will create interest in the ground plane treatment. No lawn areas will be installed in keeping with waterwise landscape principles.

BNRS@MY.COM ASSOCIATES
John J. Costanza Telephone 435-982-8317
P.O. Box 3122 St. George, Utah 84771



**RIZE UP HOTEL SITE
WEST - EXIT 13
WASHINGTON, UTAH**

no.	revisions	date	by

Scale: 1" = 30'
Date: SEPTEMBER 18, 2020
Drawn By: JUC
Approved By: [Signature]

**EXIT 13 – RIZE UP
LANDSCAPE SITE PLAN**

North

Job No. _____

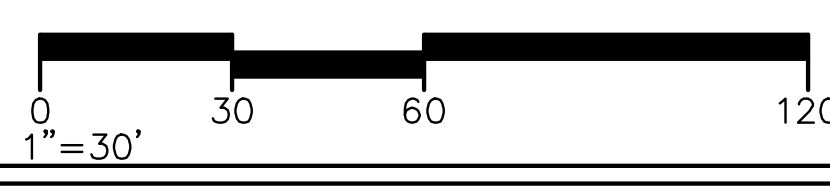
MISC.

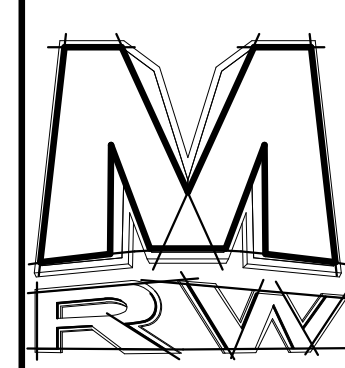
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of _____

24x36 SHEET FORMAT





DESIGN ASSOCIATES INC.
ARCHITECTURE & CONSULTING ENGINEERS

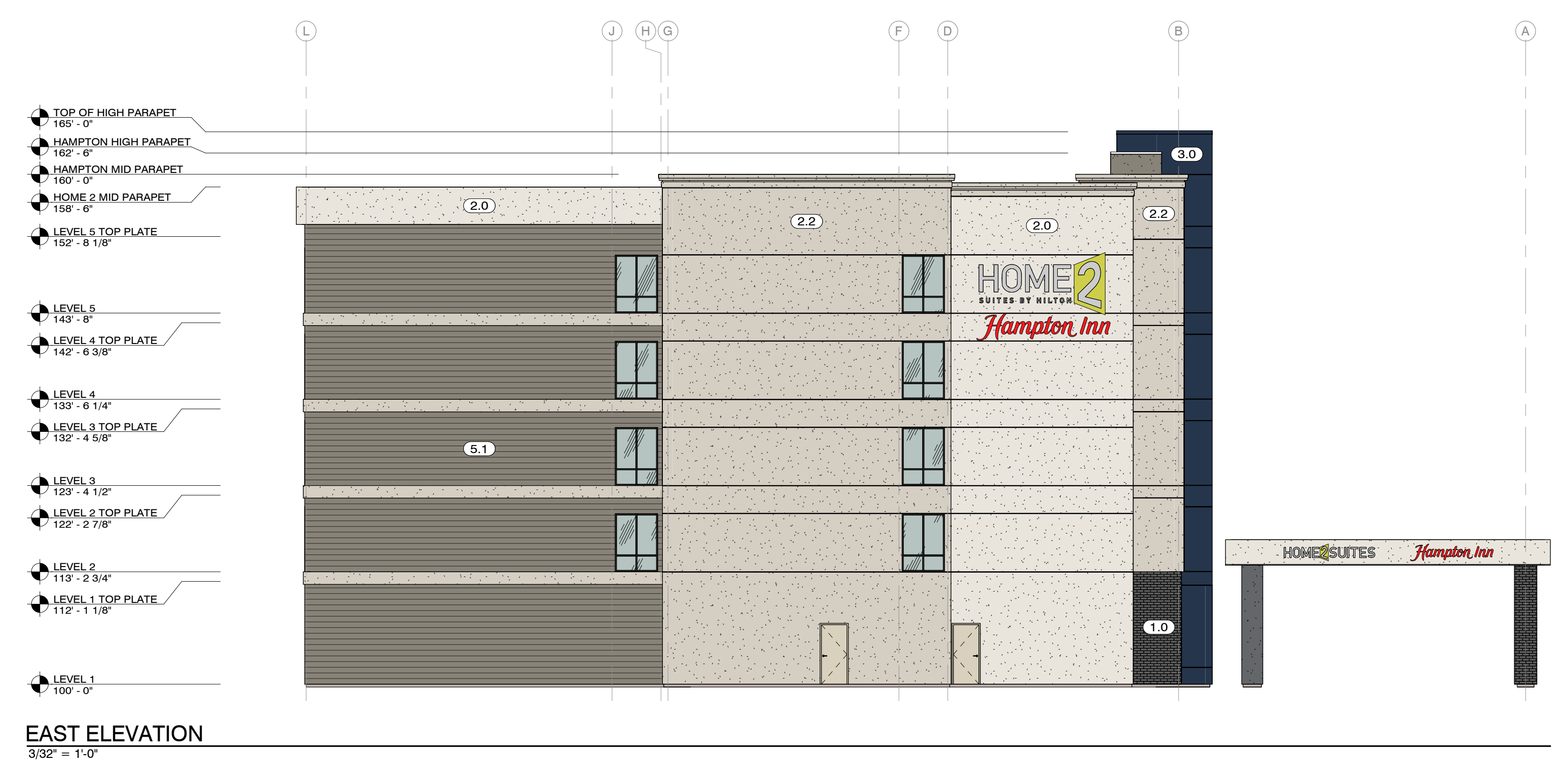
73 EAST 100 SOUTH
ST. GEORGE UTAH 84770
(435) 628-2377
www.mrwdesign.com

EXTERIOR ELEVATIONS
NEW HAMPTON INN & HOME 2 SUITES
WASHINGTON, UT



NORTH ELEVATION
3/32" = 1'-0"

MARK	ITEM	MANUFACTURER	MODEL/STYLE/COLOR	COMMENTS
1.0	STONE	CORONADO STONE	WIRECUT BRICK: BLACK FOREST	
2.0	STUCCO O/FOAM	TBD	BENJAMIN MOORE: BARELY THERE - CSP-725	SMOOTH SAND TEXTURE
2.1	STUCCO O/FOAM	TBD	BENJAMIN MOORE: SMOKE & MIRRORS - CSP-105	SMOOTH SAND TEXTURE
2.2	STUCCO O/FOAM	TBD	BENJAMIN MOORE: COLLINGWOOD - OC-28	SMOOTH SAND TEXTURE
2.3	STUCCO O/FOAM	TBD	BENJAMIN MOORE: TWEEED COAT - CSP-85	SMOOTH SAND TEXTURE
2.4	STUCCO O/FOAM	TBD	BENJAMIN MOORE: NIMBUS - 1485	SMOOTH SAND TEXTURE
2.5	STUCCO O/FOAM	TBD	COLOR - BENJAMIN MOORE: CHARCOAL SLATE - HC-178	SMOOTH SAND TEXTURE
2.6	STUCCO O/FOAM	TBD	COLOR: BENJAMIN MOORE: FLOWER POWER 398	SMOOTH SAND TEXTURE
3.0	ALUMINUM COMPOSITE PANELS	ALPOLIC	AUB BLUE	ACM PANELS & ASSOCIATED COPING, FLASHING, & TRIM. SEE 13-16/AS.3
4.0	ALUMINUM PLANK SIDING	LUMABUILT	MOSAIC 6" V-GROOVE PLANK: DARK CHERRY	
5.1	FIBER CEMENT PANELS	NICHIHA	LATURA V-GROOVE AWP9000	CUSTOM COLOR: BENJAMIN MOORE: TWEEED COAT: CSP-85
6.1	ALUMINUM	TBD	BLACK ANODIZED	WINDOW/DOOR FRAMES



EAST ELEVATION
3/32" = 1'-0"

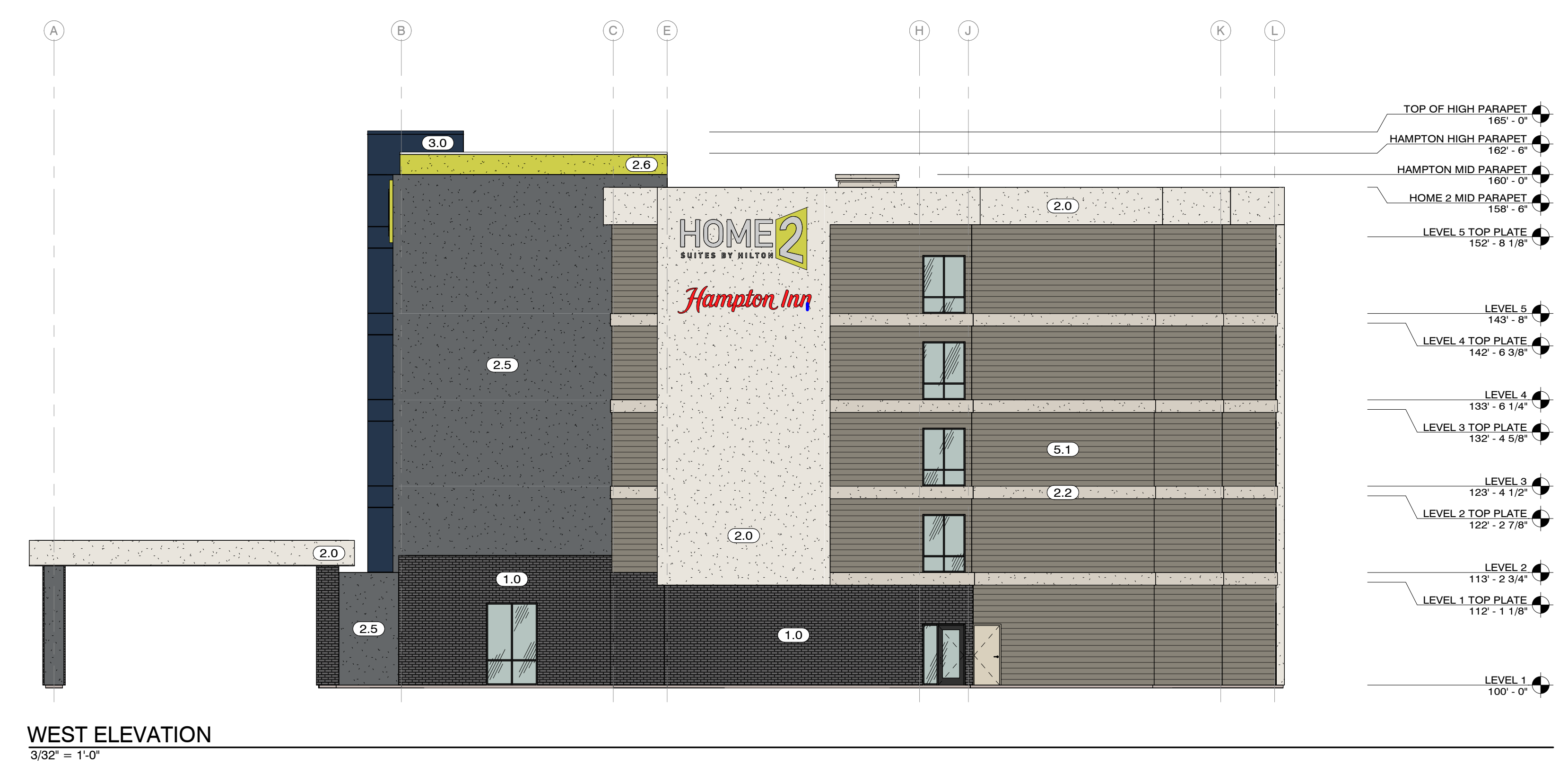


73 EAST 100 SOUTH
ST. GEORGE UTAH 84770
(435) 628-2377
www.mrwdesign.com

EXTERIOR ELEVATIONS
NEW HAMPTON INN & HOME 2 SUITES
WASHINGTON, UT



SOUTH ELEVATION
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"

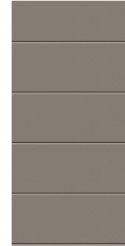
EXTERIOR COLORS & MATERIALS SCHEDULE				
MARK	ITEM	MANUFACTURER	MODEL/STYLE/COLOR	COMMENTS
1.0	STONE	CORONADO STONE	WIRECUT BRICK: BLACK FOREST	
2.0	STUCCO O/FOAM	TBD	BENJAMIN MOORE: BARELY THERE - CSP-725	SMOOTH SAND TEXTURE
2.1	STUCCO O/FOAM	TBD	BENJAMIN MOORE: SMOKE & MIRRORS - CSP-105	SMOOTH SAND TEXTURE
2.2	STUCCO O/FOAM	TBD	BENJAMIN MOORE: COLLINGWOOD - OC-28	SMOOTH SAND TEXTURE
2.3	STUCCO O/FOAM	TBD	BENJAMIN MOORE: TWEEED COAT - CSP-85	SMOOTH SAND TEXTURE
2.4	STUCCO O/FOAM	TBD	BENJAMIN MOORE: NIMBUS - 1485	SMOOTH SAND TEXTURE
2.5	STUCCO O/FOAM	TBD	COLOR - BENJAMIN MOORE: CHARCOAL SLATE - HC-178	SMOOTH SAND TEXTURE
2.6	STUCCO O/FOAM	TBD	COLOR: BENJAMIN MOORE: FLOWER POWER 398	SMOOTH SAND TEXTURE
3.0	ALUMINUM COMPOSITE PANELS	ALPOLIC	AUB BLUE	ACM PANELS & ASSOCIATED COPING, FLASHING, & TRIM. SEE 15-16/AS.3
4.0	ALUMINUM PLANK SIDING	LUMABUILT	MOSAIC 6" V-GROOVE PLANK: DARK CHERRY	
5.1	FIBER CEMENT PANELS	NICHIHA	LATURA V-GROOVE AWP9000	CUSTOM COLOR: BENJAMIN MOORE: TWEEED COAT. CSP-85
6.1	ALUMINUM	TBD	BLACK ANODIZED	WINDOW/DOOR FRAMES



HOME 2
SUITES BY HILTON



Fiber Cement Panels:



Nichiha Latura
V-Groove
Custom color
sim. to Ben.
Moore Tweed
Coat

Aluminum Composite Panels:



Alpolic
AUB Blue

Stucco, Benjamin Moore Colors:



Barely There



Nimbus



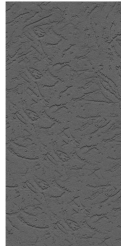
Collingwood



Smoke and
Mirrors



Tweed Coat



Charcoal
Slate



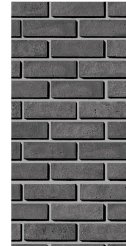
Flower
Power

Aluminum Plank Siding:



Mosaic 6"
V-Groove
Dark Cherry

Thin-set Brick:



Coronado
Wirecut Brick
Black Forest







Dual Brand Hilton Hotel

Home 2 by Hilton 75 Keys (Kitchenett)

Hampton Inn by Hilton 68 Key)

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE: November 19th, 2025

ACTION REQUESTED: C-25-13 - A request for a Conditional Use Permit for the Department of Alcoholic Beverage Services located at 350 West Buena Vista Blvd.

APPLICANT: Tom Gibbs

OWNER: B&G Washington Business Park LLC

REVIEWED BY: Eldon Gibb - Community Development Director

RECOMMENDATION: Recommend approval with conditions onto City Council

Background

The Department of Alcoholic Beveridge Services is requesting approval of a Conditional Use Permit located at approximately 350 West Buena Vista Blvd also known as lot 7 of the Buena Vista Commercial Plaza Subdivision.

The property is zoned C-3. Washington City ordinance 9-10B-2(B) - Use Regulations require State approved and operated liquor stores to obtain conditional use permit approval. The applicant has expressed concern that in order for the State to hire a firm to produce the conceptual drawings, the State must first obtain approval for the use. With that being said, the applicant has asked to defer the conceptual drawings. The applicant has submitted drawings of previous projects to give the City an idea of what the building could look like but is asking for the Use of the land to be approved at this time.

To facilitate this request, this Conditional Use Permit will be administered in two stages with the first stage concerning itself with the Use of the land. The second stage will concern itself with conceptual drawings such as building placement, site plan layout, building elevations, landscaping etc.

Recommendation

Staff has reviewed the proposal and finds that it meets the standards as outlined in the General Plan and Zoning Ordinance. Staff recommends the Planning Commission recommend approval

of C-25-13, onto City Council, based on the following findings and subject to the following conditions:

Findings

1. The proposed use, at the particular location, is necessary or desirable to provide a service or facility which will contribute to the general well being of the neighborhood and community; and.
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and
3. The proposed use will comply with the regulations and conditions specified in this title and associating state and federal titles, for such use; and
4. The proposed use will conform to the intent of the general plan.

Conditions

1. This Conditional Use Permit is for the Use of the land which is the first of two approvals needed.
2. The Conceptual drawings (and second approval needed for this Conditional Use Permit) shall follow the same process as administered during this first stage (formal application submitted, staff review, public hearing at Planning Commission with recommendation to City Council). An approval shall be given of the conceptual drawings before any grading, civil improvements or vertical construction begins.

Conditional Use Permit Narrative: DABS Retail Store

1. Intent and Public Need

The Utah Department of Alcoholic Beverage Services (DABS) proposes to establish a new, modern retail store at [Parcel W-5-2-15-110111] within Washington City. The intent of this property use is to provide a **safe, regulated, and convenient** location for the sale of alcoholic beverages to the residents and visitors of Washington City and the surrounding community.

DABS has been actively engaged with Washington City officials and staff for approximately **four years** in a concerted effort to identify and secure an appropriate site that meets both state operational requirements and local community standards. This extended effort underscores the State's commitment to developing this essential public service facility in Washington City. Establishing this store is necessary to meet the **growing demand** for controlled alcohol sales in one of Utah's fastest-growing municipalities, ensuring compliance with state law and contributing to responsible commerce.

2. Proposed Facility and Design

A. Size and Prototype

The proposed facility will be a single-story retail building with an approximate area of **12,500 square feet**. The construction will utilize one of the two **DABS standard prototype designs**, which have been developed and refined to ensure efficient operation, security, and a positive customer experience. These prototypes represent the latest in DABS and Division of Facilities and Construction Management (DFCM) facility standards.

B. Materials and Aesthetics

While utilizing a standard DABS prototype, the State is fully committed to **adapting the exterior materials and architectural details** to seamlessly align with the design and material requirements established by Washington City.

DABS understands the city's interest in maintaining a consistent and high-quality aesthetic, and we are prepared to **continue working closely with City officials** through the final design process to select:

- **Specific exterior materials** (e.g., stone veneers, stucco, trim)
- **Color palettes**
- **Public art.**

This collaboration will ensure the final design is both functional for the State and aesthetically pleasing for the community.

3. Addressing the Sequencing Conflict

A critical issue in the CUP process is the **sequencing conflict** between State contracting procedures and City CUP requirements.

- **City Requirement:** Washington City requires detailed site plans and architectural elevations for the Conditional Use Permit application.
- **State Procedure:** State of Utah procurement and contracting law prevents DABS from entering into a contract with an architect to produce detailed, site-specific plans and elevations **until the property is closed upon**.
- **The Conflict:** The State cannot close on the lot until a Conditional Use Permit is secured, yet the CUP requires the plans that can only be generated after the property is secured.

Proposed Solution

To resolve the critical sequencing conflict between State contracting procedures and City CUP requirements, DABS proposes the following adjusted solution:

The DABS respectfully requests that the City **approve the Conditional Use** for the proposed retail facility at [**Parcel W-5-2-15-110111**]. This approval would establish that the intended use (DABS Retail Store) is permissible at this location, thus satisfying the requirement needed for the State to close on the property and initiate architectural contracts.

Upon closing on the property and the completion of site-specific plans and elevations (based on the approved DABS prototype and adherence to Washington City's material requirements), the DABS commits to **returning to the Planning Commission and/or City Council** for a required review and comment period.

This two-step process achieves the following:

1. **Phase 1 (CUP Approval):** Allows the State to legally proceed with the land acquisition by establishing the approved use.
2. **Phase 2 (Return for Review):** Guarantees the City's full and necessary oversight of the **specific site plan and final architectural design** before the State's building permits are issued.

This approach provides the necessary legal authorization for the State to proceed while fully preserving the City's right to review and comment on the final, detailed construction documents, thereby ensuring all local design standards are met prior to construction.



PROJECT FLOW CARD: C-25-13 - Conditional Use Permit - DABS
Parcel #W-5-2-15-110111 - approx 350 W Buena Vista Blvd.

<p>Planning</p>	<p>The applicant has asked to defer the conceptual drawings for this Conditional use permit due to the State needing to obtain approval for the use in order to hire a firm to create the conceptual exhibits.</p> <p>To facilitate this request, this Conditional Use Permit will be administered in two stages with the first stage concerning itself with the Use of the land. The second stage will concern itself with conceptual drawings such as building placement, site plan layout, building elevations, landscaping etc.</p> <p>This approach is similar to what has been done with PUD zone change applications where in some instances the zoning is first changed to PUD and then followed up with another submittal to approve the conceptual drawings.</p>	
<p>Public Works</p>	<p>Reviewed - OK to proceed. Basic subdivision development is currently in progress. Specific site utility/stormwater design will be addressed at civil construction drawing submission.</p>	
<p>Engineer</p>	<p>Reviewed. From an engineering standpoint, ok to move forward on the CUP.</p>	
<p>Fire Dept.</p>	<p>Approved, no concerns</p>	
<p>Parks/Trails</p>	<p>Approved, no concerns</p>	
<p>Building Dept</p>	<p>Approved, no concerns</p>	
<p>Washington Power</p>	<p>Reviewed. No concerns as long as the development is constructed per plan.</p>	
<p>Economic Dev</p>	<p>This development is expected to generate significant sales tax as it contains a high volume retail sales component in an area where there is increasing demand. DABS stores' primary customers are institutions such as restaurants and hotels that serve residents and travelers. No alcohol is allowed to be consumed on site and the state implements strict 100% ID for all sales in the store.</p>	

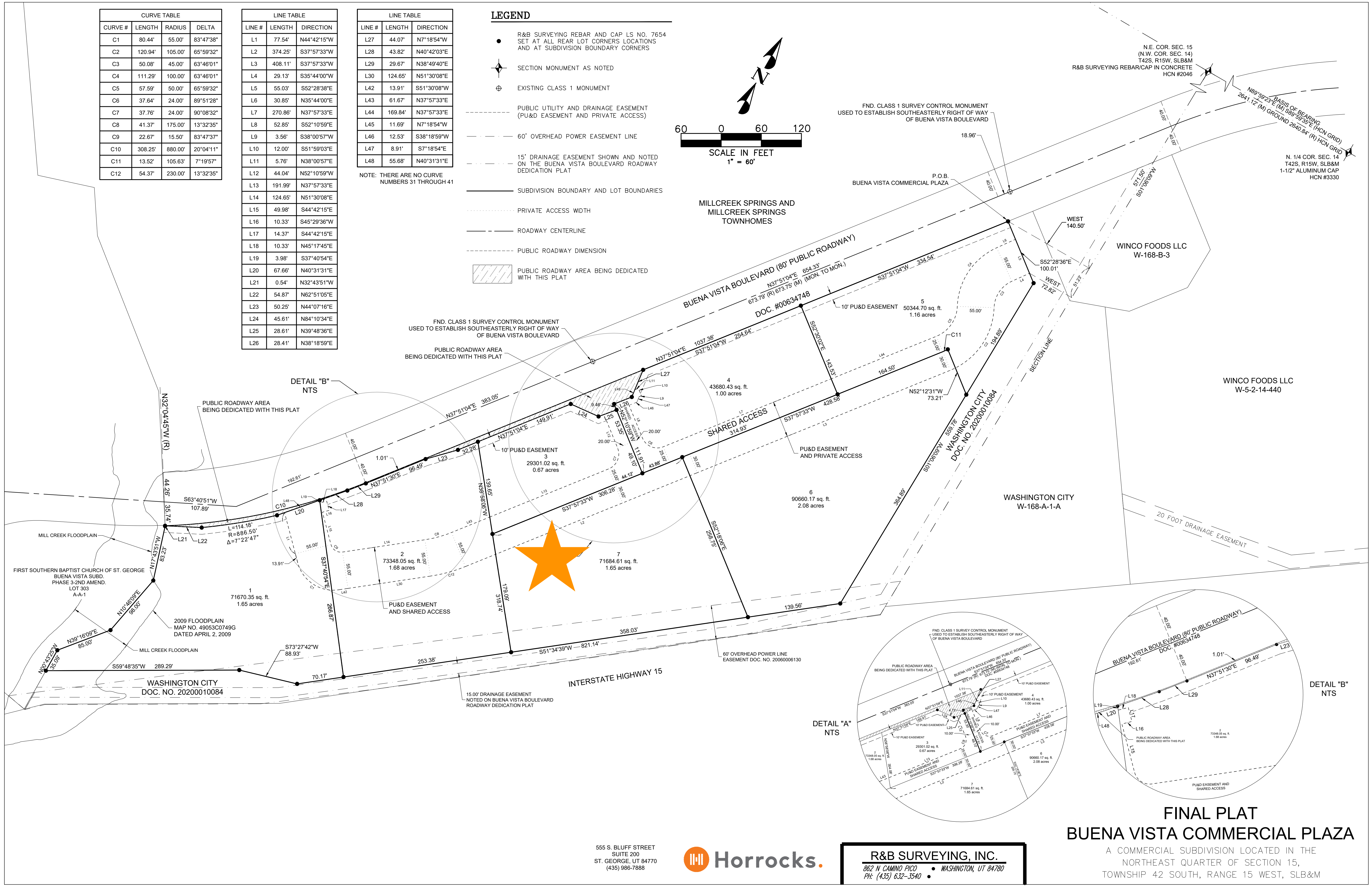
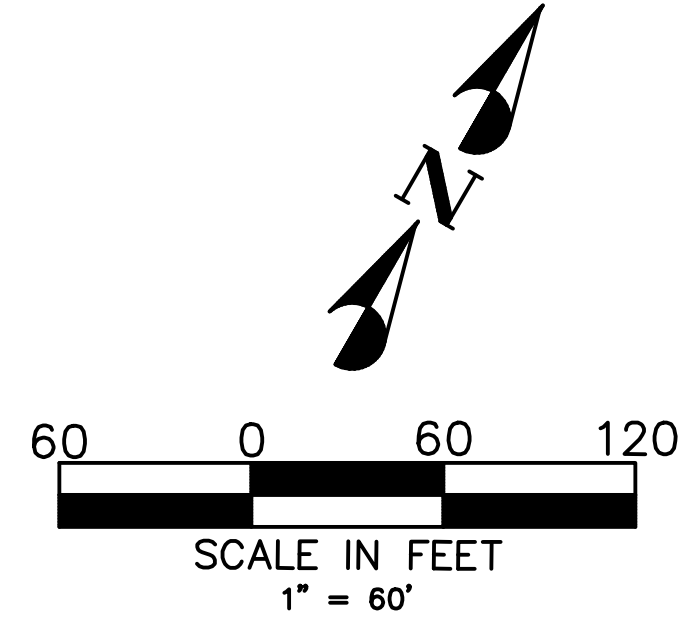
CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	80.44'	55.00'	83°47'38"
C2	120.94'	105.00'	65°59'32"
C3	50.08'	45.00'	63°46'01"
C4	111.29'	100.00'	63°46'01"
C5	57.59'	50.00'	65°59'32"
C6	37.64'	24.00'	89°51'28"
C7	37.76'	24.00'	90°08'32"
C8	41.37'	175.00'	13°32'35"
C9	22.67'	15.50'	83°47'37"
C10	308.25'	880.00'	20°04'11"
C11	13.52'	105.63'	7°19'57"
C12	54.37'	230.00'	13°32'35"

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	77.54'	N44°42'15"W
L2	374.25'	S37°57'33"W
L3	408.11'	S37°57'33"W
L4	29.13'	S35°44'00"W
L5	55.03'	S52°28'38"E
L6	30.85'	N35°44'00"E
L7	270.86'	N37°57'33"E
L8	52.85'	S52°10'59"E
L9	3.56'	S38°00'57"W
L10	12.00'	S51°59'03"E
L11	5.76'	N38°00'57"E
L12	44.04'	N52°10'59"W
L13	191.99'	N37°57'33"E
L14	124.65'	N51°30'08"E
L15	49.98'	S44°42'15"E
L16	10.33'	S45°29'36"W
L17	14.37'	S44°42'15"E
L18	10.33'	N45°17'45"E
L19	3.98'	S37°40'54"E
L20	67.66'	N40°31'31"E
L21	0.54'	N32°43'51"W
L22	54.87'	N62°51'05"E
L23	50.25'	N44°07'16"E
L24	45.61'	N84°10'34"E
L25	28.61'	N39°48'36"E
L26	28.41'	N38°18'59"E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L27	44.07'	N7°18'54"W
L28	43.82'	N40°42'03"E
L29	29.67'	N38°49'40"E
L30	124.65'	N51°30'08"E
L42	13.91'	S51°30'08"W
L43	61.67'	N37°57'33"E
L44	169.84'	N37°57'33"E
L45	11.69'	N7°18'54"W
L46	12.53'	S38°18'59"W
L47	8.91'	S7°18'54"E
L48	55.68'	N40°31'31"E

NOTE: THERE ARE NO CURVE NUMBERS 31 THROUGH 41

- LEGEND**
- R&B SURVEYING REBAR AND CAP LS NO. 7654 SET AT ALL REAR LOT CORNERS LOCATIONS AND AT SUBDIVISION BOUNDARY CORNERS
 - ◆ SECTION MONUMENT AS NOTED
 - ⊕ EXISTING CLASS 1 MONUMENT
 - PUBLIC UTILITY AND DRAINAGE EASEMENT (PU&D EASEMENT AND PRIVATE ACCESS)
 - 60' OVERHEAD POWER EASEMENT LINE
 - 15' DRAINAGE EASEMENT SHOWN AND NOTED ON THE BUENA VISTA BOULEVARD ROADWAY DEDICATION PLAT
 - SUBDIVISION BOUNDARY AND LOT BOUNDARIES
 - PRIVATE ACCESS WIDTH
 - ROADWAY CENTERLINE
 - PUBLIC ROADWAY DIMENSION
 - ▨ PUBLIC ROADWAY AREA BEING DEDICATED WITH THIS PLAT



DETAIL "B" NTS

DETAIL "A" NTS

DETAIL "B" NTS

**FINAL PLAT
BUENA VISTA COMMERCIAL PLAZA**

A COMMERCIAL SUBDIVISION LOCATED IN THE
NORTHEAST QUARTER OF SECTION 15,
TOWNSHIP 42 SOUTH, RANGE 15 WEST, SLB&M

555 S. BLUFF STREET
SUITE 200
ST. GEORGE, UT 84770
(435) 986-7888



R&B SURVEYING, INC.
862 N. CAMINO PICO • WASHINGTON, UT 84780
PH: (435) 632-3540

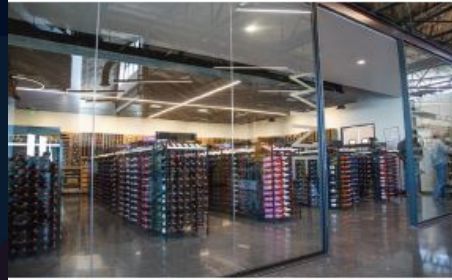
Utah Department of Alcoholic Beverage Services



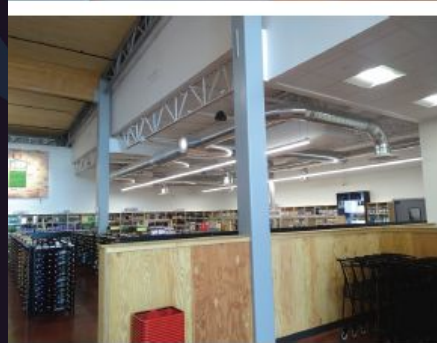
Recent and Upcoming Store Projects



Syracuse (March 2019)



Herriman (August 2019)



Saratoga Springs (2020)



Taylorville (2020)



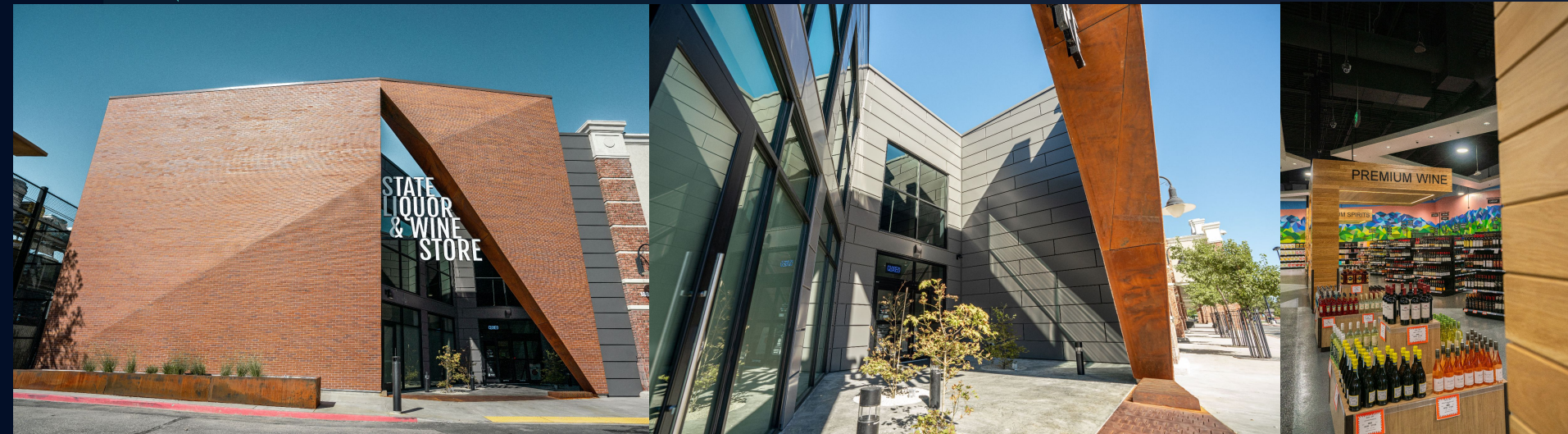
Farmington (2021)



West Valley City (2022)



East Sandy (July 2023)



Downtown SLC (June 2024)



Foothill Drive (April 2025)



Marriott-Slaterville (October 2025)

DABS Prototype 1



Moab Store Relocation (February 2026)

DABS Prototype 1



Park City Market Area (Quinn's Junction)

- In Design



Washington City



- Land Under Contract
- Store will be approximately 12'500 Sq Ft
- May incorporate a Southern Utah Compliance office to service area Licensees.



Roy Store Relocation (December 2025)

DABS Prototype 2

