

**SITE PLAN APPLICATION FOR PLAIN CITY**  
(New Construction)

What is being proposed O'Reilly Auto Parts Retail Store Zone C-2 Date Submitted      /      /     

Address of Location 3182 W. 2600 N. Plain City, UT

Contact Name Brandon Humman Email: bhumman@tait.com Ph 970-612-5458 Fax #     

Company Name O'Reilly Auto Enterprises, LLC Address 233 South Patterson,  
Springfield, MI 65802 Ph 417-862-2674 Fax# 417-874-7261

Surveyor's Name Dominion (James Pitkin) Address 5684 South Green St,  
Murray, UT 84123 Ph 801-713-3000

Engineer's Name Tait and Associates (Brandon Humman) Address 320 N. Lincoln Ave,  
Loveland, CO 80537 Ph 970-612-5458

Mark the following if applicable:

Secondary Water Available? Yes Type      Ph 801-624-6555

Culinary Water Available? Yes Type      Ph 801-621-0474

Sewer Connection Availbale? Yes Contact Extended by others as part of off-site improvements

Septic System Appears Feasible? Yes Contact Extended by others as part of off-site improvements

Is Property in a Flood Hazard Area? No Flood Zone X

Please describe any agreements, rights-of-way, easements etc. that could affect this site:

Common Access easement to be provided for private drive on eastern side of the property.

Describe history of parcel being submitted for a site plan, approximate dates and acreage of past land divisions:

Parcel currently has residential house and is 3.68 Ac.

**The completed application and supporting documents need to be submitted at least 30 days prior to the  
Planning Commission Meetings on the 2<sup>nd</sup> and 4<sup>th</sup> Thursdays of the month.**

The above information is true and accurate to the best of my knowledge.

12/18/2024 [Signature]  
Date Signature

Office Use Only  
Site Plan Fee: 200.00 Date Paid: 2-5-25 No. of copies:       
# 2037848



**AFFIDAVIT**

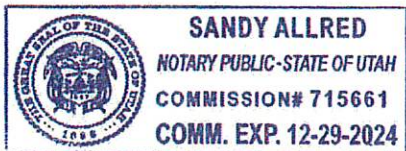
**PROPERTY OWNER**

STATE OF UTAH       )  
                                  ) ss  
COUNTY OF WEBER )

I (we), LHPerry Investments LLC, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I also acknowledge that I have received written instructions regarding the process for which I am applying and the Plain City Planning staff have indicated they are available to assist me in making this application.

[Signature]  
(Property Owner)  
[Signature]  
(Property Owner)

Subscribed and sworn to me this December 11th day of December, 2024.



Sandy Allred  
(Notary)  
Residing in Weber County, Utah  
My commission expires: 12/29/24

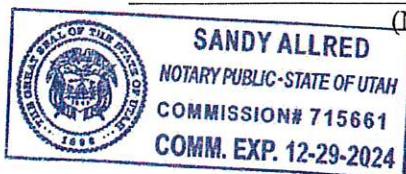
**AGENT AUTHORIZATION**

I (we), LHPerry Investments LLC, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) O'Reilly Auto Enterprises LLC to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

O'Reilly Auto Enterprises, LLC  
(Agent)  
[Signature]  
(Property Owner)

Dated this 11th day of December, 2024, personally appeared before me William O'Reilly, the signer(s) of the above agent authorization who duly acknowledged to me that they executed the same.

Sandy Allred  
(Notary)  
Residing in Seft Lake Weber County, Utah  
My commission expires: 12/29/24






# Memorandum



**To:** Tammy Folkman, Land Use Specialist  
Plain City Corporation

**From:** Brad C. Jensen, P.E.   
Wasatch Civil Consulting Engineering

**Date:** May 5, 2025

**Subject:** O'Reilly Auto Parts, Site Plan Review

We have reviewed the revised plans for the proposed O'Reilly Auto Parts facility in Plain City, Utah. It appears the previous review comments indicated on our memorandum dated February 28, 2025 have been addressed. Consequently, we recommend approval of the O'Reilly Auto Parts site plan. As indicated previously, the proposed off-site improvements for the Perry Commercial Development must be completed as part of this development.

If you have any questions or require additional information, feel free to call.



# Memorandum



**To:** Tammy Folkman, Land Use Specialist  
Plain City Corporation

**From:** Brad C. Jensen, P.E.   
Wasatch Civil Consulting Engineering

**Date:** February 28, 2025

**Subject:** O'Reilly Auto Parts, Site Plan Review

We have reviewed the site plan for the proposed O'Reilly Auto Parts facility. We understand the Developer of this site desires to obtain review comments prior to the construction of the adjacent Perry Commercial Development. Since the infrastructure required for this site will not be constructed until the Perry Commercial Development has been completed, this memorandum should be considered a partial review. A complete list of comments cannot be provided prior to the submittal of plans for the Perry Commercial Development.

1. Prior to the demolition of the existing home, a demolition report must be submitted to the City. This report should include but not be limited to, (1) The status and disposition of the septic tank. (2) Whether or not there is asbestos in the structure and how it will be remediated. (3) The status and disposition of existing utilities.
2. Plans show the storm runoff draining into a proposed retention pond. The plans also show an emergency overflow pipe that discharges to property located to the north. Due to variability in the performance of retention ponds in Plain City, any discharge from the retention pond should be controlled. We recommend the overflow be piped either to the drainage ditch located on the south side of 2600 North Steet or to a storm drain system that would be constructed as part of the Perry Commercial development.
3. If possible, we recommend the east property line of this site be moved to the proposed curb line in order to resolve future problems with maintenance of the private road.
4. Key Note 8 on Sheet C3.1 refers to Sheet C1.4. This sheet was not included with the submitted plan set.

If you have any questions or require additional information, feel free to call.





320 North Lincoln Avenue, Loveland, CO 80537  
970.613.1447 TAIT.COM

**O'Reilly Auto Parts – SITE PLAN REVIEW – 02-28-2025**

**W 2600N , Plain City, UT – Comment response letter – 04-16-2025**

- 1- Prior to demolition of the existing home, a demolition report must be submitted to the City. This report should include but not be limited to, (1) The status and disposition of the septic tank. (2) Whether or not there is asbestos in the structure and how it will be remediated. (3) The status and disposition of existing utilities.  
**TAIT response: Noted.**
- 2- Plans show the storm runoff draining into a proposed retention pond. The plans also show an emergency overflow pipe that discharges to property located to the north. Due to variability in the performance of retention ponds in Plain City, any discharge from the retention pond should be controlled. We recommend the overflow be piped either to the drainage ditch located on the south side of 2600 North Street or to a storm drain system that would be constructed as part of the Perry Commercial development.  
**TAIT response: The storm overflow pipe has been relocated to the south side of the pond and the structure is now an FES with a 15" pipe that will convey emergency flows, equivalent to the 100yr peak flow rate, to a proposed catch basin located in 2600 North Street that will be constructed by the Perry Commercial developer.**
- 3- If possible, we recommend the east property line of this site be moved to the proposed curb line in order to resolve future problems with maintenance of the private road.  
**TAIT response: Per coordination with the Perry Commercial developer, the property line has been relocated to the back of curb of the private road.**
- 4- Keynote 8 on Sheet C3.1 refers to Sheet C1.4. This sheet was not included with the submittal plan set.  
**TAIT response: Keynote 8 now references sheet C1.1. C1.4 does not exist.**
- 5- Email Correspondence from Fire Marshal – Do they have plans that show hydrants. There is not a hydrant close to the site. So we will require that one is installed on the property.  
**TAIT response: A hydrant has been located adjacent to the first entrance to the O'Reilly site off of the private road. The hydrant is shown as being existing and to be installed by others.**

A handwritten signature in blue ink, appearing to read "B. Humann".

Brandon Humann, PE  
Senior Project Manager  
TAIT & Associates, Inc.

CC: Timothy Uhrik, PE, TAIT & Associates, Inc.



## Tammy Folkman

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**From:** Tammy Folkman  
**Sent:** Monday, February 10, 2025 9:34 AM  
**To:** ESA  
**Subject:** RE: O'Reilly Auto Parts, Plain City, UT, Site Plan Application Submittal

This is what our Fire Marshal is asking for. Thanks

Do they have plans that show hydrants. There is not a hydrant close to the site. So we will require that one is installed on the property.

**BRAD JENSEN**  
**FIRE MARSHAL**  
**PLAIN CITY FIRE DEPARTMENT**  
**801-589-6047**  
[bradj@plaincityutah.org](mailto:bradj@plaincityutah.org)

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**From:** ESA <esa@esterlyschneider.com>  
**Sent:** Wednesday, February 5, 2025 9:52 AM  
**To:** Tammy Folkman <tammyf@plaincityutah.org>  
**Cc:** Brandon Humann <bhumann@TAIT.COM>; Tim Uhrlik <tuhrik@TAIT.COM>; Josh Erhard <jerhard@TAIT.COM>; Kolt Ferguson <kferguson@TAIT.COM>; Ashton Landrum <ALandrum@TAIT.COM>  
**Subject:** RE: O'Reilly Auto Parts, Plain City, UT, Site Plan Application Submittal

Tammy,

I appreciate the City allowing the review to begin while the subdivision process is taking place! Per our conversation, I will follow up in about 2 weeks to check on the status of the review.

Thank you,

**Amy Jurgensen**  
Thomas A. Lundberg, Architect  
1736 East Sunshine, Suite 417  
Springfield, MO 65804  
417-862-0558

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**From:** ESA <esa@esterlyschneider.com>  
**Sent:** Monday, February 3, 2025 11:08 AM  
**To:** Tammy Folkman <tammyf@plaincityutah.org>  
**Cc:** Brandon Humann <bhumann@TAIT.COM>; Tim Uhrlik <tuhrik@TAIT.COM>; Josh Erhard <jerhard@TAIT.COM>; Kolt Ferguson <kferguson@TAIT.COM>; Ashton Landrum <ALandrum@TAIT.COM>  
**Subject:** RE: O'Reilly Auto Parts, Plain City, UT, Site Plan Application Submittal

Tammy,





**Pre-App Number: PA-148686**

| Property Owner Information   | Applicant Information  |
|--|--|
| Name: Tait & Associates<br>Mailing Address: 320 North Lincoln Avenue<br>City, State, Zip: Loveland, CO 80537<br>Email: bhumann@tait.com<br>Phone: 9706125458 | Name: Tait & Associates<br>Mailing Address: 320 North Lincoln Avenue<br>City, State, Zip: Loveland, CO 80537<br>Email: bhumann@tait.com<br>Phone: 9706125458 |

| Purposed Access Information   |   |
|---|---|
| Physical Address: 3182 W 2600 N<br>State Route ID: 0134<br>Latitude: 41.30527778<br>Access Width(in feet): 30<br>Access Category: Reg. Priority Urban | Parcel Number: 190360024<br>Milepost Marker: 9.98<br>Longitude: -112.05527778<br>Access Use: Commercial<br>Side of Highway: North |

## PROJECT NAME AND BRIEF SCOPE OF WORK DESCRIPTION

O'Reilly Auto Parts

Proposal to develop a new O'Reilly Auto Parts retail store located in Plain City, UT along State Route 134. Building is approximately 7,500 SF and site will contain approximately 39 parking spaces.

| Meeting Date | Time Spent | Participant Name | Representing | Email                  | Phone      |
|--------------|------------|------------------|--------------|------------------------|------------|
| 30-APR-24    |            | Austin LaRue     | UDOT         | alarue@utah.gov        | 8017218846 |
|              |            | David Alger      | UDOT         | dalger@utah.gov        | 8016201654 |
|              |            | Dustin Jenkins   | UDOT         | dustinjenkins@utah.gov | 8013897282 |
|              |            | Rodger Genereux  | UDOT         | jaygenereux@utah.gov   | 8016786283 |

**Total Time Spent:**

**Access Application Review Level Fee: \$475.00**

## SITE PLAN / ACCESS NOTES

Site Plan & Access Notes:

Discussed access options - Anticipated to relocate and improve the existing single family home access to a shared driveway aligned with the driveway across the highway at 3107 W and the existing agricultural access to a city street at the Future 3000 West with a cross access agreement with the property to the East. This will allow this development and the East development multiple access locations as well as better use of the future signal location at 2850 West. It is recommended that the entire development obtain the Conditional Access Permit, but if only a portion of the land is being developed at this time it must show how it will be incorporated into this larger plan.

Add the updated UDOT General Notes to the plan set: available at <https://www.udot.utah.gov/connect/business/permits/access-management/> (located in the Process Drop-down area).

Consider including the current applicable UDOT standard and supplemental drawings as part of the plan set. These are available on the UDOT website at [udot.utah.gov](http://udot.utah.gov)

Match the roadway dedication (see development to the East) along the entire frontage of the property and show on the recording plat. Add curb, gutter (B1 Type), and sidewalk along the entire frontage if required by the city. Any detached sidewalk width is required to be 5 ft shown on Standard Drawing PA 5. Attached sidewalk width is to meet the 6 ft minimum (8 ft preferred). Ensure all sidewalk is located with at least 1 ft space to the UDOT right-of-way.

Pedestrian ramps (3000 W) are to meet UDOT Standard and Supplemental Drawings PA Series. Any non-conforming ramps will be replaced at no cost to the Department. Permit inspectors will submit the required forms for all impacted ramps. Remove all concrete sidewalk, curb and gutter to the nearest existing joint. Dual parallel ramp options are the first standard to follow, if conditions will not allow this type, then a single (apex) ramp option may be allowed provided proper documentation is given as to why it should be allowed.

Install flared driveway approach (across from 3107 W) as shown in UDOT drawing GW 3A. No pedestrian ramps required on drive approaches.

If warranted in the TIS, meet the requirements in UDOT design manual DM 9.1 and 9.2 (and references) for turn lane and intersection requirements. For asphalt construction within the UDOT ROW match existing, or the anticipated existing of 10 inches of UDOT- approved hot mix asphalt (HMA), PG-grade 64-34 asphalt binder, 1/2 inch nominal max, 7-75-115 gyration per UDOT standard specification 02741; over 4 inches untreated base course (UTBC) per UDOT specification 02721; over 9 inches granular borrow (GB) per UDOT specification 02056 (whichever is greater). Provide documentation of compaction from a UDOT-qualified laboratory.

Specify the following method of sealing the pavement: Chip Seal Type II with emulsion LMCRS-2 per UDOT standard specification 02785 (estimated application rate of 0.45 gal/sq yd) is required for this roadway on at least all new pavement placed within UDOT right-of-way.

## TRAFFIC IMPACT STUDY NOTES

Traffic Impact Notes:

Option A: Provide a Level 2 Traffic Impact Study (TIS) for the entire development of the properties currently under the same ownership with existing counts at the nearest intersections to the East and West. The development to the East may be included in the projected growth numbers.

Option B: Provide a site traffic analysis (Trip Generation Memo) with the site distribution of traffic (see the Conditional Access Guide at <https://www.udot.utah.gov/connect/business/permits/access-management/>) for the portion of the development to be done at this time. (Note that any additional development will need a new Conditional Access Permit)





## TIS WAIVER

Approved: N Name:

Title:

## UTILITIES NOTES

### Utility Notes:

Show existing and tie-in requirements of utilities

Our policy is that we require trenchless construction unless convincing and sufficient reason is given for open trench construction. The reason for this is the substantial delays caused to the public which we measure in user costs, and the degradation to our pavement which increases maintenance costs and shortens the life cycle duration of the pavement.

If small utility trenches are needed, they are to be cut at right angles to the travel lanes. Patches require at least a 2 inch rotomilling approaching and leaving the patch in all travel lanes impacted before final asphalt placement to create the "T patch".

All final parallel sawcut lines or rotomilling must be located either at designed lane lines or designed center of lane. Sawcuts must be cleaned and a tack-coat applied before asphalt placement.

All trenches for laterals within a 100 ft distance must have a 2 inch mill and replaced as a single patch. Single laterals will require a 2 inch mill for 20 ft each direction.

Consider removing abandoned utilities when possible without major impacts to the public. All abandoned lines 6 inch diameter or larger that remain in place are to be filled with flowable fill meeting standard specification 03575.

## DRAINAGE NOTES

### Drainage Notes:

#### Site Drainage Options:

Retain all drainage onsite.

Show existing drainage and that all drainage is away from UDOT right-of-way

Show that the stormwater discharge into the UDOT drainage system (if one exists) does not exceed 0.2 cfs/acre for the 10 yr 24 hr storm event and is controlled through the restriction up to the 50 yr event 24 hr storm event. Show that the existing storm drain system has adequate capacity for this connection. Show that stormwater exceeding the 50 yr 24 hr event is safely conveyed to an acceptable location. Submit the signed Drainage Agreement available at:

<https://www.udot.utah.gov/connect/business/permits/access-management/>

Storm drain pipe within the UDOT Right-of-Way must be at least 18 inches in diameter.

Perform a hydraulic analysis to determine the location and number of catch basins required to stay within spread requirements.

## OTHER NOTES

### Permit Review Fee:

Permit Review Fee Level - 2

Required Documents and Recommended Mitigation Options - for more Information visit: <https://www.udot.utah.gov/connect/business/permits/access-management/>

Agreements (e.g. Drainage, Cross Access, and Phased Development) are to be signed and recorded as the final documents after plan approval and before the permit is issued.

TIS - See Options

Complete Site Plans

Variance Request Form (Identify what mitigation measures you are proposing - recommended Cross Access with development to the East. Signed by applicant and property owner)

### Other Notes:

Pre-application notes are valid for 12 months. Approved Conditional Access Permits have 12 months from the date of approval to acquire an Encroachment Permit to build the access.

Note that any additional development will need a new Conditional Access Permit

## Required Default Documents

Plan Set

## Documents Required / Identified at Pre-Application Meeting

Traffic Impact Study

Variance Request Form





## *Bona Vista Water Improvement District*

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

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7/3/2025

Plain City Planning Commission  
4160 West 2200 North  
Plain City, UT 84404

**RE: WILL SERVE LETTER – O'reilly Auto Parts**

The development is located at 3182 W 2600 N approximately and consists of 1 lots.

The Bona Vista Water Improvement District does have culinary water available for the above-mentioned project located at the above address. The plan review fee has been paid and formal application has been made to the District.

The utility plans have been reviewed by the District and changes, if any, have been made and corrected. The plans have been approved for the development. Only the phase in consideration is guaranteed service and the plan review is good only for a period of one year from the date of this letter, if not constructed.

All water mains, service lines, fire hydrants, etc. must be constructed according to the District's specifications and all requirements met before the water service will be turned on. Bona Vista Water Improvement District's specifications are available at the District office or online at [www.bonavistawater.com](http://www.bonavistawater.com).

A testable back flow device needs to be installed. This device will need to be tested and inspected annually and the results sent to Bona Vista Water.

This development must have a secondary water system for all outside irrigation usage. Prior to the District accepting fees for individual connections, the owner or developer must furnish proof of secondary water.

If you have any questions, please feel free to call me. I can be reached at 801-621-0474 ext. 207, Monday through Friday, 8am – 4pm.

Sincerely,

Kenny Hefflefinger,  
Assistant Manager

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**Board of Directors**

Ronald Stratford – Chairman – Unic. Weber County  
Ken Phippen – Vice Chairman – Farr West

Scott Van Leeuwen – Marriott/Slaterville  
Jon Beesley – Plain City  
Michelle Tait, - Harrisville

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**Management**

Matt Fox, Manager  
Kenny Hefflefinger, Assistant Manager  
Shauna Gilchrist, Administrative Manager





January 21, 2025

Plain City Planning

Re: 19-036-0024 -- O'Reilly Auto Parts

To Whom It May Concern:

We have reviewed the plans for the new O'Reilly Auto Parts project at Approx: 3182 W 2600 N, Plain City, Utah. This property is currently not part of the secondary water district. The owner of this property will need to complete inclusion, define greenspace and provide water shares. We will service this development after they have subdivided, met inclusion requirements, paid all fees and construction is completed.

Please contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink that reads "Brooke Harris". The signature is written in a cursive, flowing style.

Brooke Harris  
bharris@pineviewwater.com  
Assessment Clerk  
801-622-4355

471 West 2<sup>nd</sup> Street  
Ogden, UT 84404  
801-621-6555



# MEMORANDUM

DATE: October 27, 2025

TO: Dan Johnson, P.E.  
Pineview Water Systems  
471 W. 2<sup>nd</sup> St.  
Ogden, UT 84404

FROM: Ridley Griggs, P.E.  
Megan Fernandez  
Hansen, Allen & Luce, Inc. (HAL)  
859 West So. Jordan Pkwy. – Suite 200  
South Jordan, Utah 84095

SUBJECT: O'Reilly Auto Parts  
Development Review

PROJECT NO.: 245.04.120



## INTRODUCTION

This memorandum is a hydraulic evaluation to determine the water infrastructure necessary to serve the proposed O'Reilly Auto Parts store. The developer's submittal is included as Attachment A.

The O'Reilly Auto Parts store is approximately 1.33 acres in size. The development is located North of 2600 N and East of 3200 W. The purpose of this memo is to ensure compatibility with future land use concepts, identify appropriate peak water demands, recommend water line sizing, and analyze pressures during peak demands.

## HYDRAULIC MODELING REQUIREMENTS

The Pineview Unit K secondary water system provides water for outdoor use and irrigation. The following are estimated peak day demands and service pressure targets for the water system:

- 30 psi during peak instantaneous demands
- 40 psi during peak day demands
- Maximum velocity of about 5 ft/s in distribution mains
- 11.9 gpm/irrigated-acre

## WATER DEMANDS

Peak day water demands for the model were estimated based on information provided in the developer's submittal. The proposed development is a commercial development, which is consistent with the City's future land use concept. The developer's submittal indicates that 0.41 acres (30% of the gross area) of the development will be irrigated. Peak day secondary water demand was estimated as 4.88 gpm. See Table 1.



**Table 1**  
**O'Reilly Auto Parts Water Demands**

| Acres | Percent Irrigated | Irrigated Acreage | Peak Day Demand (gpm/irr-ac) | Irrigation Water Demand (gpm) |
|-------|-------------------|-------------------|------------------------------|-------------------------------|
| 1.33  | 30%               | 0.41              | 11.9                         | 4.88                          |

## **ASSUMPTIONS**

The following assumptions were made for this analysis:

- The Farr West Pump Station can draw at least 4,500 gpm from the Willard Canal.
- The Willard Canal can supply enough water to support the Plain City Pump Station's rated capacity.
- The proposed development will connect to the existing 16-inch pipe in 2600 N and construct a new 8-inch pipe to serve the development.

## **EXISTING SYSTEM**

The Unit K water system currently experiences minimum pressures of just under 40 psi during periods of peak demand. The area of lowest pressure is approximately the intersection of 1650 N and 4700 W. Additional conveyance infrastructure is needed to increase minimum pressures in this area and create capacity in the system for future development.

## **FUTURE SYSTEM**

The Weber-Box Elder Conservation District recently completed a future system plan for the Unit K service area that specifies sizes and alignments for future pipes. When evaluating the proposed development or other system improvements, the size of the pipe was selected to be compatible with the future system plan. Considerations for future planning are listed as follows:

- The future system plan includes a parallel 24-inch diameter pipeline in 2600 N along the frontage of the proposed development.

## **SYSTEM IMPROVEMENTS**

Due to its small footprint, the proposed development does not appear to present an opportunity to construct additional conveyance capacity to improve system performance on the site. To increase system capacity, this development should contribute to construction of off-site pipes through impact fees or other means.

## **HYDRAULIC ANALYSIS – SECONDARY WATER**

Secondary water pipes were put into the model as required proposed by the developer's plans. Water demands were entered into the model, and the system was checked to ensure adequate hydraulic performance.



## Findings

The development was modeled during peak day scenarios. Results from the modeling analysis are as follows:

- The model indicates that minimum pressures in the development would be about 66 psi at the time of construction and about 71 psi at buildout.
- Maximum pressures are expected to be about 78 psi at the time of construction and about 76 psi at buildout.
- The model indicates that diurnal pressure variations in the secondary water system would be less than about 12 psi at the time of construction and less than 10 psi under buildout conditions.
- The model indicates that the additional demand imposed by this development will reduce minimum pressures in the system by less than 1 psi.

## CONCLUSIONS AND RECOMMENDATIONS

The following are key conclusions and recommendations from this analysis:

1. The Unit K system experiences minimum pressures below 40 psi during periods of peak demand. Additional infrastructure capacity is needed.
2. Due to its small size, the development does not appear to present an opportunity to improve system looping or conveyance capacity on site. The development should contribute to off-site improvements through impact fees or other means.
3. The future system plan for Unit K includes a new parallel 24-inch diameter in 2600 N along the frontage of the proposed development.
4. The model indicates that the recommended infrastructure shown in Attachment A will provide adequate service pressures to the proposed development at the time of construction and at buildout conditions, assuming system infrastructure is constructed as specified in the future system plan.





320 North Lincoln Avenue, Loveland, CO 80537  
970.613.1447 TAIT.COM

January 29, 2025

**RE: 1<sup>st</sup> Site Plan Application Submittal Letter**

Tammy,

As discussed in the Technical Review meeting for this site. The master developer, L H Perry Investments, LLC, is in the process of widening W 2600 N in addition to a common access road and associated utilities that will serve the development of the O'Reilly Auto Parts store as well as future developments of lots to the East and North. A signed easement agreement with the master developer will be provided to the city prior to final approval of the application. Additionally, we have been working with Bona Vista Water and Pineview Water to get Letters of Final Approval, but these letters are not able to be obtained until the parcel is divided. Tait is working to obtain will serve letters in the meantime and will provide both will serve letters and letters of final approval prior to final approval of the site plan application. Similarly, we will obtain and submit letters of approval for other utility providers. The site does border a UDOT road and Tait has had a pre-application meeting with UDOT. All offsite improvements are the responsibility of the master developer, and Tait will continue to work with UDOT and the master developer. A copy of the pre-application with UDOT is included with the submittal package. At this time we would like to request review of the provided documentation with the knowledge that the additional requirements for the site plan application will be provided prior to final acceptance.

Thank you for your attention to this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "B. Humann".

Brandon Humann, PE  
Project Manager  
TAIT & Associates, Inc.

















THOMAS A. LUNDBERG  
ARCHITECT  
1726 East Southline, Suite 419  
Springfield, Missouri 65804  
P: 417.662.9558  
F: 417.662.9558  
E: tahlund@architect.com

PROJECT  
NEW O'REILLY AUTO PARTS STORE  
PLAIN CITY, UT  
LANDSCAPE IRRIGATION PLAN

O'Reilly  
CORPORATE OFFICES  
23 SOUTH AVENUE  
SPRINGFIELD, MISSOURI 65802  
(417) 662-2674 TELEPHONE  
O'Reilly AUTO PARTS

DATE: 12-20-14  
COUNT: 4008  
BY: TALL  
DATE:  
L2.1

### GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING WITH ALL AFFECTING AGENCIES.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM ALL UTILITIES AND RECORD EXISTING UTILITIES. PROVIDE ALL NECESSARY UTILITY LOCATIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- IRrigation SYSTEM TO BE DESIGNED BY CONTRACTOR FOR SPRINKLER SYSTEMS AND DROPPED SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND DETAILED IRRIGATION SYSTEM IN ACCORDANCE WITH GOVERNING CODES. PROVIDE IRRIGATION SYSTEM WITH SUFFICIENT FLOW AND PRESSURE TO MAINTAIN PROPER OPERATION OF THE SYSTEM. PROVIDE SUFFICIENT FLOW AND PRESSURE TO MAINTAIN PROPER OPERATION OF THE SYSTEM.
- VERIFY MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO DESIGN AND BEGINNING CONSTRUCTION.
- COORDINATE IRRIGATION SYSTEM WITH LANDSCAPING AND TREE PLANTING. PROVIDE SUFFICIENT FLOW AND PRESSURE TO MAINTAIN PROPER OPERATION OF THE SYSTEM.
- ALL UTILITIES TO BE LOCATED AND MARKED PRIOR TO ANY CONSTRUCTION. PROVIDE SUFFICIENT FLOW AND PRESSURE TO MAINTAIN PROPER OPERATION OF THE SYSTEM.
- SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS. PROVIDE SUFFICIENT FLOW AND PRESSURE TO MAINTAIN PROPER OPERATION OF THE SYSTEM.
- PROVIDE MAIN SENSOR AND ANTI-FREEZE ASSEMBLY ON IRRIGATION SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK UNTIL DROPPED SYSTEMS ARE INSTALLED.
- ALL CIRCUIT PIPES TO BE CLASS 180 PVC OR HIGHER GRADE CONCRETE THRUOUT BLOCK.
- PROVIDE COMPRESSED AIR QUICK CONNECT BRASS FITTING IN ALL MAINS AND IRRIGATION LOCATIONS AS CLOSE TO WATER SOURCE AS POSSIBLE.

### COVERAGE REQUIREMENTS

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD TO HEAD.



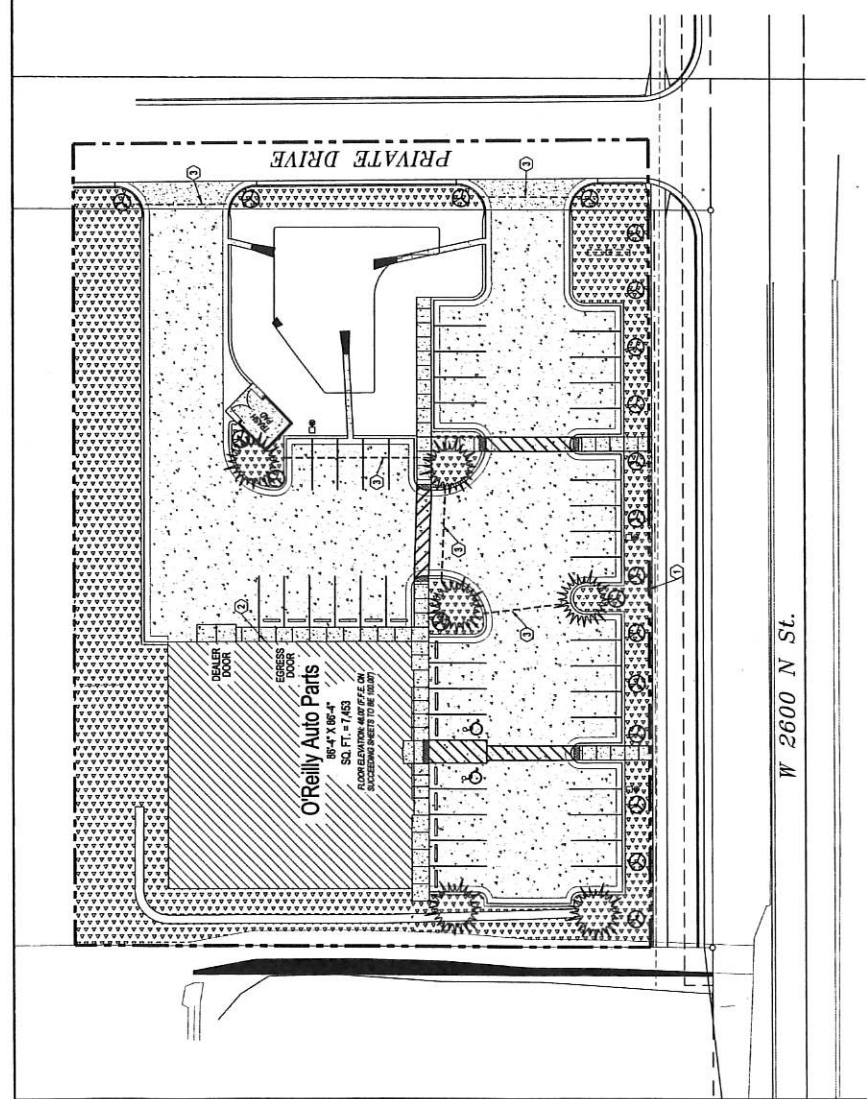
### KEY NOTES

- APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACKFLOW PREVENTER AND SHUT OFF VALVE. REFER TO SITE UTILITIES PLAN.
- IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND MAIN SENSOR ON OUTSIDE OF BUILDING.
- CHANGING OF SCHEDULES FOR ALL IRRIGATION SYSTEMS ARE THE RESPONSIBILITY OF THE USER. SERVICE END CAPS AND TAP VALVES.

### SYMBOLS LEGEND

- NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.
- IRrigation SYSTEM
  - COVERAGE
  - SHRUB PLANTING
  - TREE

**811**  
Know what's below  
Call before you dig.



1 LANDSCAPE IRRIGATION PLAN  
L2.1 SCALE: 1" = 20'-0"





THOMAS A. LINDBERG  
ARCHITECT  
1730 EAST KENNEDY, SUITE 417  
ST. LOUIS, MISSOURI 63104  
P: 314.462.5588  
F: 314.462.5588  
E: mlindb@tallied.com

PROJECT: NEW O'REILLY AUTO PARTS STORE  
PLAIN CITY, UT  
FLOOR PLAN

O'REILLY AUTO PARTS  
323 SOUTH PATTENSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

|              |          |
|--------------|----------|
| CONTRACT NO. | 2023-001 |
| DATE         | 12-26-23 |
| REVISION     |          |
| DATE         |          |

A1.1

## GENERAL NOTES

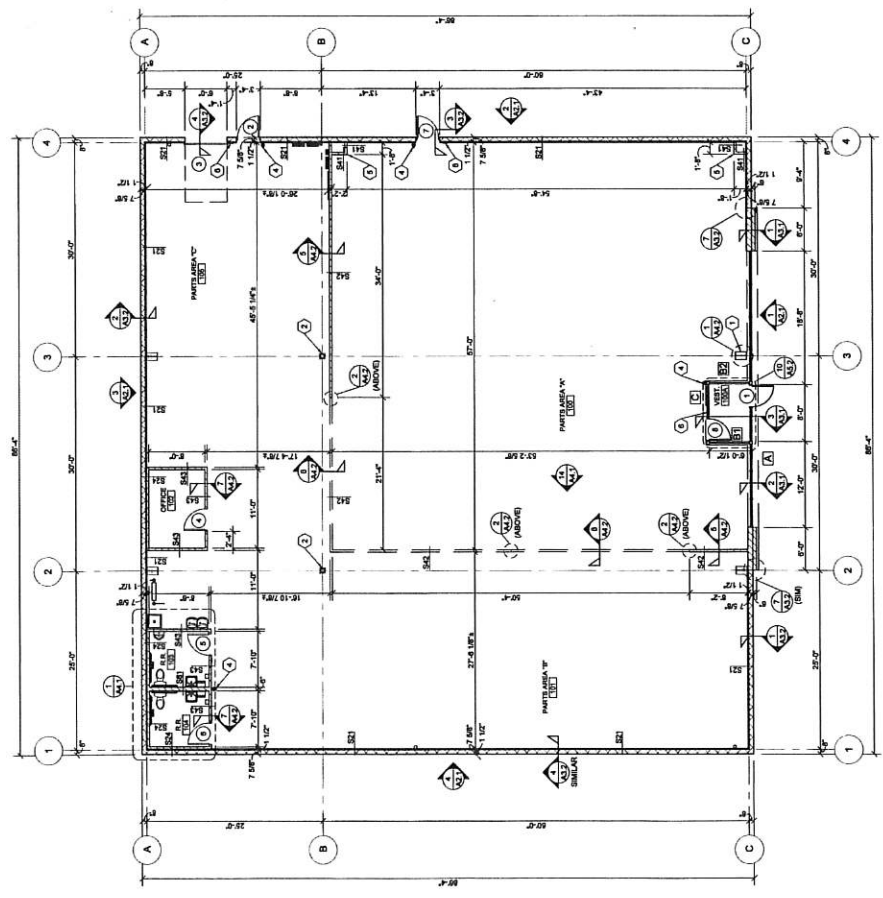
- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
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- REFER TO EXTERIOR AND INTERIOR FINISH SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.

## KEY NOTES

- CONSOLIDATE STEEL COLUMN. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS. PROVIDE SHEET METAL CORNER WITH 1/2" MIN. RADIUS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- EXPOSED STEEL COLUMN. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS. PROVIDE SHEET METAL CORNER WITH 1/2" MIN. RADIUS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- NOT USED.
- REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- SHOWROOM CORNER WALL BOX OUT. INSTALL 4" X 8" TREATED PLYWOOD BACKING TO BACK SIDE OF STUD INTERIOR FLANGE ON 16" O.C. STUDS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- TACTILE EXIT SIGN AT EXIT DISCHARGE DOOR EXISTING "EXIT" WITH 1/2" MIN. RADIUS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.

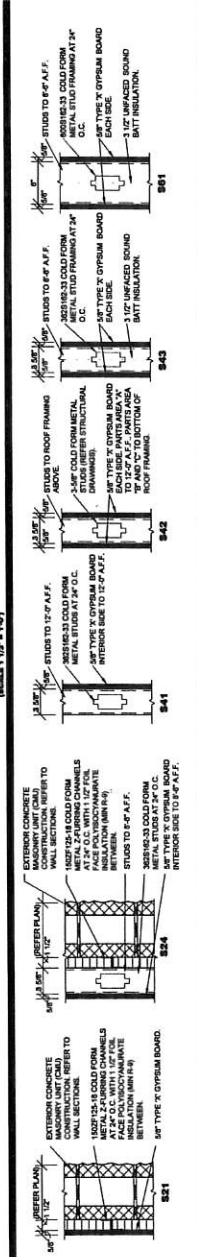
## INTERIOR WALL & CEILING NOTES

- REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- REFER TO WALL SECTIONS AND DETAILS FOR ADDITIONAL CONDITIONS.
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1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"

## INTERIOR WALL TYPES

























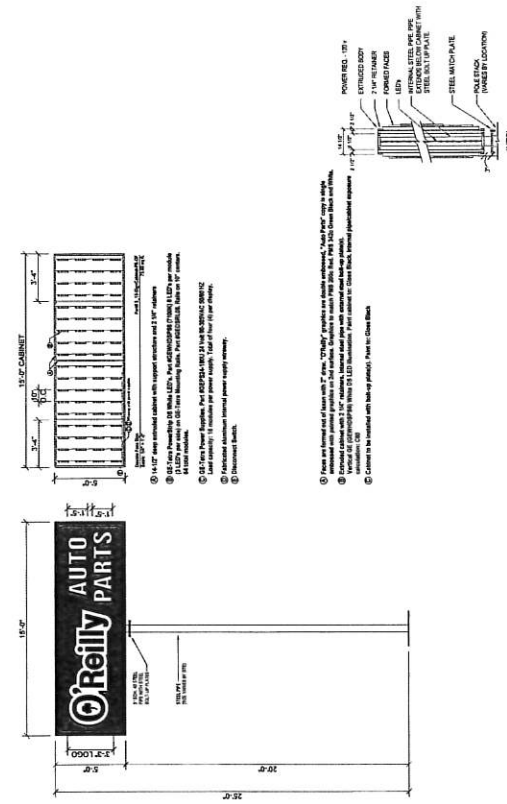




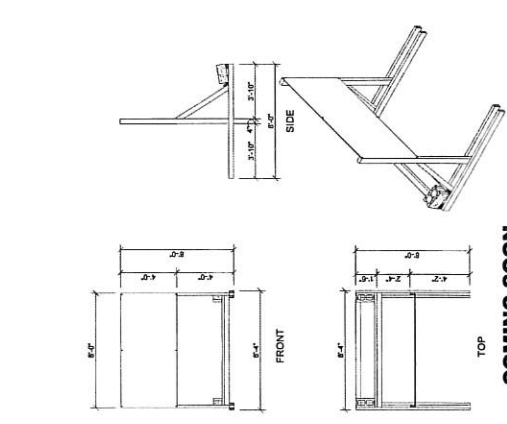
GENERAL NOTES

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.  
B PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED. REFER TO SPECIFICATIONS FOR PERMANENT SIGNAGE REQUIREMENTS.  
C PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED. REFER TO SPECIFICATIONS FOR PERMANENT SIGNAGE REQUIREMENTS.  
D PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED. REFER TO SPECIFICATIONS FOR PERMANENT SIGNAGE REQUIREMENTS.  
E PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED. REFER TO SPECIFICATIONS FOR PERMANENT SIGNAGE REQUIREMENTS.  
F PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED. REFER TO SPECIFICATIONS FOR PERMANENT SIGNAGE REQUIREMENTS.  
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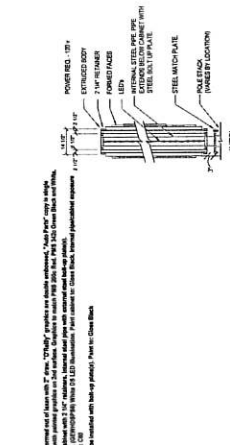
PERMANENT SIGNAGE OWNER FURNISHED AND INSTALLED. REFER TO SPECIFICATIONS FOR PERMANENT SIGNAGE REQUIREMENTS.



2 GROUND SIGN ELEVATION  
SCALE: 1/4" = 1'-0"



1 COMING SOON  
TEMPORARY CONSTRUCTION SIGN  
SCALE: 1/4" = 1'-0"



3 SIGN BASE  
SCALE: 1/4" = 1'-0"







## SITE PLAN APPLICATION FOR PLAIN CITY

(Existing Commercial Building – same use, minimal remodeling)

What is being proposed Rent business unit (studio for events, etc.) Zone Comm. Date Submitted 10/23/25

Address of Location 2414 N. 4350 W. Plain City, VT 04404

Contact Name Taylor Richins Email: tayrichins@gmail.com Ph 801-648-0590 Fax # \_\_\_\_\_

Company Name Everbloom Studio + Co. Address \_\_\_\_\_ Ph \_\_\_\_\_ Fax# \_\_\_\_\_

### Mark the following if applicable:

Secondary Water Available? N/A

Culinary Water Available? N/A

Sewer Available? yes

Septic System Appears Feasible? N/A

Is Property in a Flood Hazard Area? no Flood Zone N/A

Please describe any agreements, rights-of-way, easements etc. that could affect this site:

None.

Describe history of parcel being submitted for a site plan, approximate dates of division and uses of property:

N/A

\*Please attach a detailed site plan of the property showing parking, landscaping, the footprint of the building and the proposed floor plan for your business. Please be sure to include restrooms, windows, and outside doors.

The completed application and supporting documents need to be submitted at least 7 days prior to the Planning Commission Meetings on the 2<sup>nd</sup> and 4<sup>th</sup> Thursdays of the month.

The above information is true and accurate to the best of my knowledge.

Date 10/23/25 Signature Taylor Richins

Office Use Only  
Site Plan Fee: 100.00

Date Paid: 10-28-25

No. of copies: \_\_\_\_\_

# 2038651



**AFFIDAVIT**

**PROPERTY OWNER**

STATE OF UTAH       )  
                                  ) ss  
COUNTY OF WEBER )

I (we), \_\_\_\_\_, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I also acknowledge that I have received written instructions regarding the process for which I am applying and the Plain City Planning staff have indicated they are available to assist me in making this application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(Notary)  
Residing in Weber County, Utah

My commission expires: \_\_\_\_\_

**AGENT AUTHORIZATION**

I (we), Robyn Jackson, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) Taylor Richins to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

Taylor Richins  
Owner Manager  
(Agent)

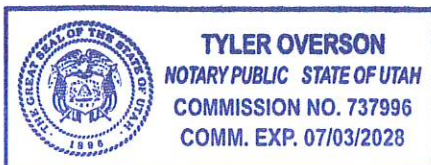
Robyn Jackson  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

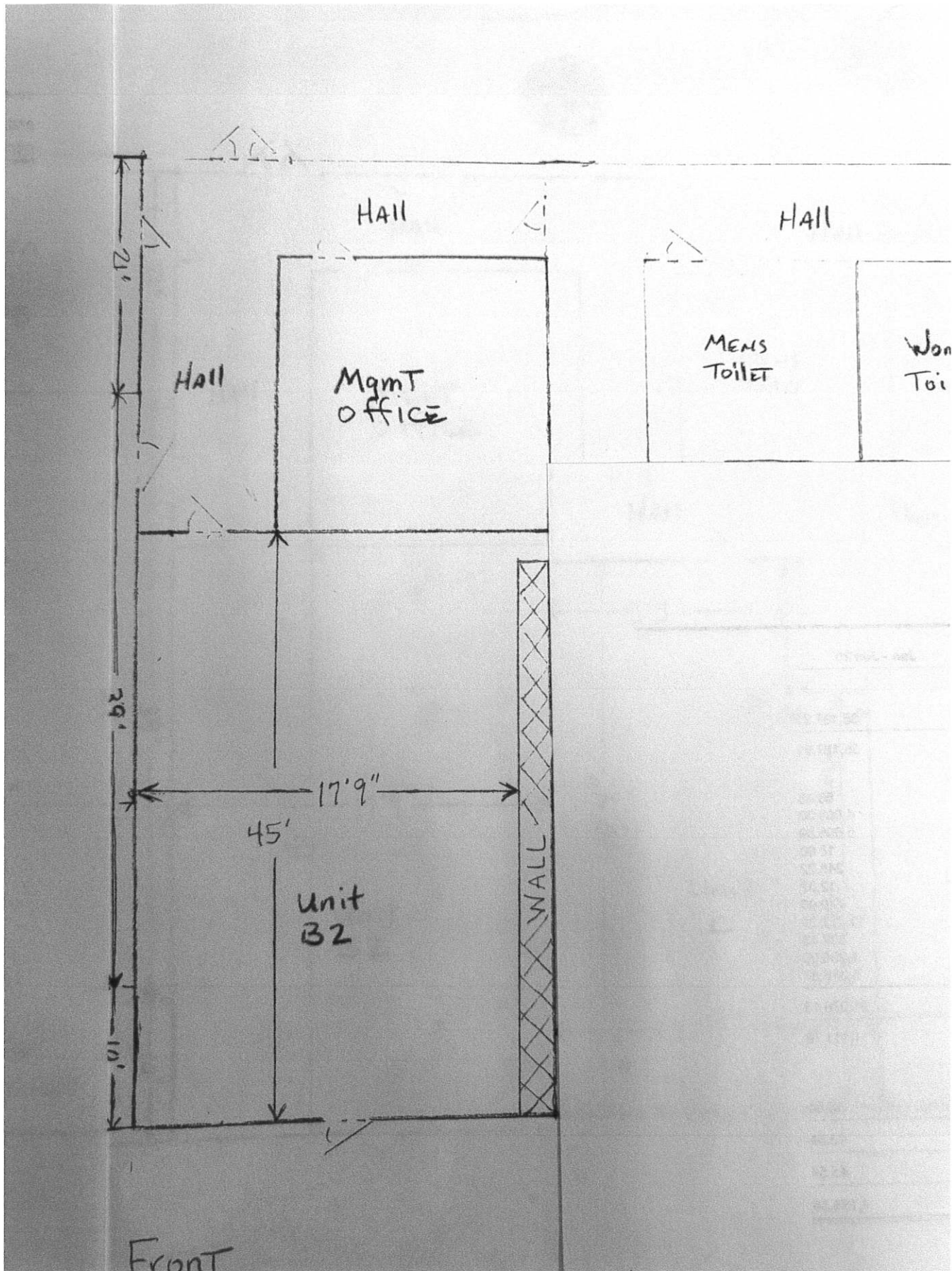
Dated this 23 day of October, 2025, personally appeared before me Robyn Jackson, the signer(s) of the above agent authorization who duly acknowledged to me that they executed the same.

[Signature]  
(Notary)

Residing in Weber County, Utah  
My commission expires: 07/03/2028











## Memorandum

**To:** Tammy Folkman, Land Use Specialist  
Plain City Corporation

**From:** Brad C. Jensen, P.E., Plain City Engineer  
Wasatch Civil Consulting Engineering

**Date:** November 3, 2025

**Subject:** JTA Subdivision, Plan Review

We have reviewed the submitted plans for the proposed JTA Subdivision in Plain City and have the following comments:

1. There is currently no sanitary sewer in front of this development. However, we understand the subdivider is planning to extend an existing sewer line along 4200 West Street to serve the development. There is not sewer on 3900 W. All homes in the area are on septic
2. A utility plan should be submitted showing how the proposed lots will be served with all applicable utilities. The existing Bona Vista waterline is shown as well as the proposed watermeter location.
3. The submitted utility plan should also show how the existing drainage borrow will be piped. The Applicant plans on using the existing gravel drive on the south end of the property for access to Lot 2. It is already piped.
4. The Plain City Subdivision Ordinance requires new subdivisions to construct road improvements along the frontage of the development (curb, gutter and sidewalk). However, since there is no curb, gutter or sidewalk in the area, we recommend these improvements be deferred. Agree
5. The addresses for the lots within this development are as follows:

Lot 1: 3056 North 4200 West (existing)  
Lot 2: 3050 North 4200 West

Noted on Plat

If you have any questions or require additional information, feel free to call.









## Memorandum

**To:** Tammy Folkman, Land Use Specialist  
Plain City Corporation

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Wasatch Civil Consulting Engineering

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Lot 1: 3056 North 4200 West (existing)  
Lot 2: 3050 North 4200 West

If you have any questions or require additional information, feel free to call.



## Tammy Folkman

---

**From:** Brad Jensen <brad@wasatchcivil.com>  
**Sent:** Tuesday, November 4, 2025 9:45 AM  
**To:** Tammy Folkman  
**Subject:** Re: JTA Subdivision

Tammy,

That is acceptable as long as they are not too close to a sewer main. In my meeting with Dan regarding this development, he was under the impression that they were going to extend the sewer line.

Brad

---

**From:** Tammy Folkman <tammyf@plaincityutah.gov>  
**Sent:** Monday, November 3, 2025 3:44 PM  
**To:** Brad Jensen <brad@wasatchcivil.com>  
**Subject:** RE: JTA Subdivision

Thank you, In the packet I sent there was a letter from I believe Weber Morgan Health. Teddy told me they were doing a septic tank. Is that not acceptable?

---

**From:** Brad Jensen <brad@wasatchcivil.com>  
**Sent:** Monday, November 3, 2025 3:40 PM  
**To:** Tammy Folkman <tammyf@plaincityutah.gov>  
**Subject:** JTA Subdivision

Tammy,


Here is the review for the JTA Subdivision

Brad



----- GENERAL INFORMATION -----

Name of Proposed Subdivision: JTA  
 Address 3056 N. 3900 W Plain City  
 County Tax Parcel Number: 19-023-0020  
 Current Zoning of Property: RE-30

|   |
|---|
|  <b>PLAIN CITY</b> |
| THIS BOX IS FOR OFFICIAL USE ONLY:  |
| Date Received: <u>10-29-25</u>  |
| Receipt #: <u>2038669</u>   |
| Amount Paid: <u>700.00</u>  |

*3000 Filing Fee  
4000 Engineer*

----- CONTACT INFORMATION -----

|   |   |
|---|---|
| <p align="center"><b>Applicant Information</b></p> <p>Name: <u>Jerry &amp; Teddy Anderson</u><br/>             Phone: <u>801-698-0305 - 801-391-7329</u><br/>             Email: <u>t.anderson.0691@yahoo.com</u></p> | <p align="center"><b>Property Owner #1 Information</b></p> <p>Name: <u>Jerry &amp; Teddy Anderson</u><br/>             Phone: <u>801-698-0305 - 801-391-7329</u><br/>             Email: <u>t.anderson.0691@yahoo.com</u></p> |
| <p align="center"><b>Property Owner #2 Information (If Applicable)</b></p> <p>Name: _____<br/>             Phone: _____<br/>             Email: _____</p>   | <p align="center"><b>Name of Intended Escrow Holder</b></p> <p>Name: _____<br/>             Phone: _____<br/>             Email: _____</p>  |

|   |
|---|
| Surveyor's Name <u>Hansen &amp; Assoc.</u> Email <u>www.haes.net</u> Phone# <u>435-723-3491</u> |
| Engineer's Name <u>Greg Hansen</u> Email <u>"</u> Phone# <u>"</u>                               |

If the property to be subdivided has more than two owners, attach supplemental information for remaining owners.

----- FINAL DOCUMENT CHECKLIST -----

- 1 X **An approved land use application** that describes how the property will be used after it is subdivided. This land use application must include an approved conditional use permit, an approved variance, or citations to specific municipal ordinances that permit the intended use.
- 2 X **A plat**, drawn to scale, in detail, and in accordance with generally accepted surveying standards and the acceptable filing standards of the County Recorder's Office. The plat must include:
  - a X The proposed name and general location of the subdivision, in bold letters at the top of the plat. The proposed subdivision name must be distinct from any subdivision name on a plat recorded in the County Recorder's office.
  - b X The boundaries, course, numbering, and dimensions of all proposed parcels. All lots should be consecutively numbered.

*Teddy  
# 801-391-7329*



- c X The lot or unit reference; block or building reference; street or site address; street name or coordinate address; acreage or square footage for all parcels, units, or lots; and length and width of the blocks and lots intended for sale.
- d X The names and addresses of all adjoining property owners of record, or the names of adjoining developments and the names of adjoining streets.
- e X The address and phone number of the land surveyor and/or engineer who prepared the plat.
- f X Sufficient data acceptable to the City Engineer to readily determine the location, bearing and length of all lines on the plat, and to reproduce such lines upon the ground, and the location of all proposed monuments, including contours at appropriate intervals.
- g X Whether any parcel is intended to be used as a street or for any other public use.
- h X The names, numbers, widths, lengths, bearings, and curve data on centerlines for all proposed streets, alleys, and easements (if applicable). All proposed streets shall be numbered and named in accordance with the City's adopted addressing system.
- i X The location of existing streets, easements, water bodies, streams, and other pertinent features such as wetlands, buildings, parks, cemeteries, drainage ditches, irrigation ditches, fences, and bridges.
- j V The location and width of existing and proposed streets, curbs, gutters, sidewalks, easements, alleys, other public ways and easements and proposed street rights-of-way and building setback lines.
- k X Every existing right-of-way and recorded easement located within the plat for underground, water, and utility facilities.
- l X Any known and unrecorded water conveyance facility located, entirely or partially, within the plat.
- m \_\_\_\_\_ Location and size of all proposed water, secondary water, sanitary sewer, storm sewer, irrigation or drainage ditch piping or other subsurface improvements, including detailed provisions for collecting and discharging surface water drainage.
- n \_\_\_\_\_ Whether any parcel is reserved or proposed for dedication for a public purpose.
- o \_\_\_\_\_ The location and dimensions of all property proposed to be set aside for park or playground use, or other public or private reservation, with designation of the purpose thereof and conditions, if any, of the dedication or reservation.
- 3 \_\_\_\_\_ **An improvement plan**, created in accordance with applicable portions of City municipal code §11-3-5 and chapters 11-5 and 11-4, for all public improvements proposed by the applicant or required by City ordinances.
- 4 X **Proof of approval** by the culinary water authority, the sanitary sewer authority, the local health department, the local fire department, and the local public safety answering point.
- 5 \_\_\_\_\_ As applicable, **formal, irrevocable offers for dedication to the public of streets, City uses, utilities, parks, easements, or other spaces.**
- 6 \_\_\_\_\_ If the plat is to be part of a community association, **signed and binding documents conveying to the association all common areas.**
- 7 X **Certifications**, including:
- a X An affidavit from the applicant certifying that the submitted information is true and accurate (EXAMPLE ON PAGE 5).
- b X The signature of each owner of record of land described on the plat, signifying their dedication and approval of the plat (EXAMPLE ON PAGE 6).
- c X Certification that the surveyor who prepared the plat:
- i X Holds a license in accordance with Utah Code 58-22; and
- ii X Either
- (1) X Has completed a survey of the property described on the plat in accordance with state requirements and has verified all measurements; or
- (2) X Has referenced a record of survey map of the existing property boundaries shown on the plat and verified the locations of the boundaries; and
- iii X Has placed monuments as represented on the plat.



- 8 X **Copies, including:**
- a X One copy of the plat drawn on Mylar for signing and recording and seven 11" x 17" printed copies for the City's use in the review process.
  - b X Seven sets of two 11" x 17" aerial maps: one map showing a close up of the proposed subdivision (with legend included) and the second map showing the area approximately 1,000 feet around the boundaries of the subdivision in all directions.
  - c ✓ Digital versions of the plat and the areal maps.
  - d X An electronic copy of all plans in PDF format.
- 9 X **Payment of the subdivision application fee and any other application-processing fees described in the City's fee schedule.**

## PLAIN CITY DEVELOPMENT REVIEW AND SUBDIVISION INSPECTION FEE SCHEDULE

### A. SERVICE (REVIEW) FEES

- |                       |   |
|-----------------------|---|
| 1. Subdivision Filing | \$200.00 plus \$50.00 per lot   |
| 2. Engineering        | \$200.00 per lot  |
|                       | <b>Developer will be responsible for all engineering fees above those paid at filing.</b>                   |
| 3. Planner Fees       | Developer is responsible for all planner review fees (over one hour) incurred on behalf of the subdivision. |
| 4. Legal Fees         | Developer is responsible for all legal review fees (over one hour) incurred on behalf of the subdivision.   |

All submittals will be assessed a review fee on an hourly basis at the non-negotiable hourly rate of the City Engineer. Review costs can be kept to a minimum if the engineer for the developer is thorough in the original plat and plan preparation, is thoroughly familiar with the subdivision ordinance and associated checklist, and is responsive to the review comments. All review costs associated with each subdivision shall be paid in full prior to final approval by the governing body. **All engineering fees associated with each subdivision are the developer's responsibility to pay in full.**

10-28-25  
Date

   
Signature

### B. USER FEES:

- |   |                              |
|---|------------------------------|
| 1. General Plan Amendment Request           | \$200.00                     |
| 2. Rezone Request                           | \$200.00                     |
| 3. Conditional Use Permit                   | \$200.00                     |
| 4. Request to Appear Before<br>Appeal Board | \$400.00                     |
| 5. Request for Annexation                   | \$1000.00                    |
| 6. Copies                                   | \$0.25 per copy (8 1/2 X 11) |

General plan and zoning maps are online at [www.plaincityutah.org](http://www.plaincityutah.org)



# APPLICANT'S AFFIDAVIT – SUBDIVISION APPLICATION

Name of Proposed Subdivision: JTA

County Tax Parcel Number of Property to Be Subdivided: 19-023-0020

I, Jerry & Teddy Anderson (applicant/agent name), certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete, and accurate to the best of my knowledge. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that Plain City may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the Plain City Subdivision Ordinance and that items and checklists contained in this application are basic and to the minimum requirements only and that other requirements may be imposed to ensure compliance with municipal ordinances and approved standards and specifications. Additionally, I agree to pay all fees associated with this application, as set by the currently adopted Plain City Consolidated Fee Schedule.

Signed:

Jerry Anderson Teddy Anderson  
Applicant/Agent

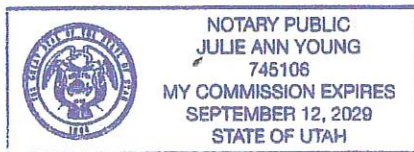
10-22-25  
Date

Subscribed and sworn to before me:

Julie Ann Young  
Notary Public

10-22-25  
Date

Notary Seal:





# PROPERTY OWNER'S CONSENT & DEDICATION – SUBDIVISION APPLICATION

Name of Proposed Subdivision: JTA

County Tax Parcel Number of Property to Be Subdivided: 19-023-0020

We certify under penalty of perjury that we are the sole owners of the property proposed to be subdivided and that we have thoroughly reviewed the final subdivision application. We hereby consent to this final subdivision application and, contingent on city approval of the final application, we irrevocably dedicate all portions of the property to the public that are so indicated in this application (including streets, City uses, utilities, parks, easements, or other spaces). We further consent to agents of the City entering onto the subject property for the purpose of making any inspections required by this application or related improvements.

Signed:

[Signature]  
Property Owner #1

10-22-25  
Date

\_\_\_\_\_  
Property Owner #2 (if applicable)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner #3 (if applicable)

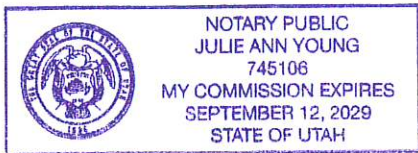
\_\_\_\_\_  
Date

Subscribed and sworn to before me:

[Signature]  
Notary Public

10.22.25  
Date

Notary Seal:







## *Bona Vista Water Improvement District*

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

---

10/27/2025

Weber County Planning Commission  
2380 Washington Blvd. #240  
Ogden, UT. 84404

RE: WILL SERVE LETTER – Anderson Residence

The development is located at 3050 N 3900 W approximately and consists of 1 lots.

The Bona Vista Water Improvement District does have culinary water available for the above mentioned project located at the above address.

The above-named project is in the boundaries of the Bona Vista Water Improvement District. The plan review fee has been paid, as well as formal application made.

The subdivision utility plans have been reviewed by the District and changes, if any, have been made and corrected. These plans have now been approved. Only the phase in consideration is guaranteed service and the plan review is good only for a period of one year from the date of this letter, if not constructed.

Bona Vista Water Improvement District's specifications are available at the District office or online at [www.bonavistawater.com/construction-standards](http://www.bonavistawater.com/construction-standards).

This subdivision must have a secondary water system for all outside irrigation usage. Prior to the District accepting connection and impact fees, the owner or developer must furnish proof of secondary water for the lot in which they would like to build. Acceptable proof is a receipt from the secondary water provider.

If you have any questions, please feel free to call me. I can be reached at 801-621-0474 ext. 207, Monday through Friday, 8am – 4pm.

Sincerely,

Kenny Hefflefinger,  
Assistant Manager

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#### Board of Directors

Ronald Stratford – Chairman – Unic. Weber County  
Ken Phippen – Vice Chairman – Farr West

Scott Van Leeuwen – Marriott/Slaterville  
Jon Beesley, Vice Chairman – Plain City  
Michelle Tait, Chairwoman - Harrisville

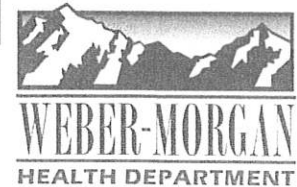
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#### Management

Matt Fox, Manager  
Kenny Hefflefinger, Assistant Manager  
Shauna Gilchrist, Administrative Manager



BRIAN COWAN, MPH, LEHS  
Health Officer/Executive Director



September 10, 2025

Colton Anderson  
763 E 525 N  
Morgan, Utah 84050

RE: Wastewater Site and Soils Evaluation #15813  
3056 N 3900 W, Plain City UT 84404  
Parcel # 19-023-0020

An evaluation of the site and soils at the above-referenced address was completed by staff of this office on September 9, 2025. The exploration pit(s) is located at the referenced GPS coordinate and datum. The soil texture and structure, as classified using the USDA system, are as follows:

Exploration Pit #1 (UTM Zone 12 Nad 83 0410120 E 4574638 N)  
0-48" Fine to Medium Sandy Loam, Granular Structure, Common Red and Gray Mottles at 48"

Exploration pits should be backfilled immediately upon completion to prevent a hazardous environment that may cause death or injury to people or animals.

Monitoring of the maximum ground water table is required in the location of the above listed exploration pits. Please complete the enclosed application for maximum ground water table monitoring and return it along with the appropriate fees. The wells should be constructed in accordance with the enclosed diagram in order to provide the most accurate water table readings possible.

If you have any further questions, contact this office at your convenience.

Sincerely,

Carrie Lynch-Burke, LEHS  
Environmental Health Division  
801-399-7160

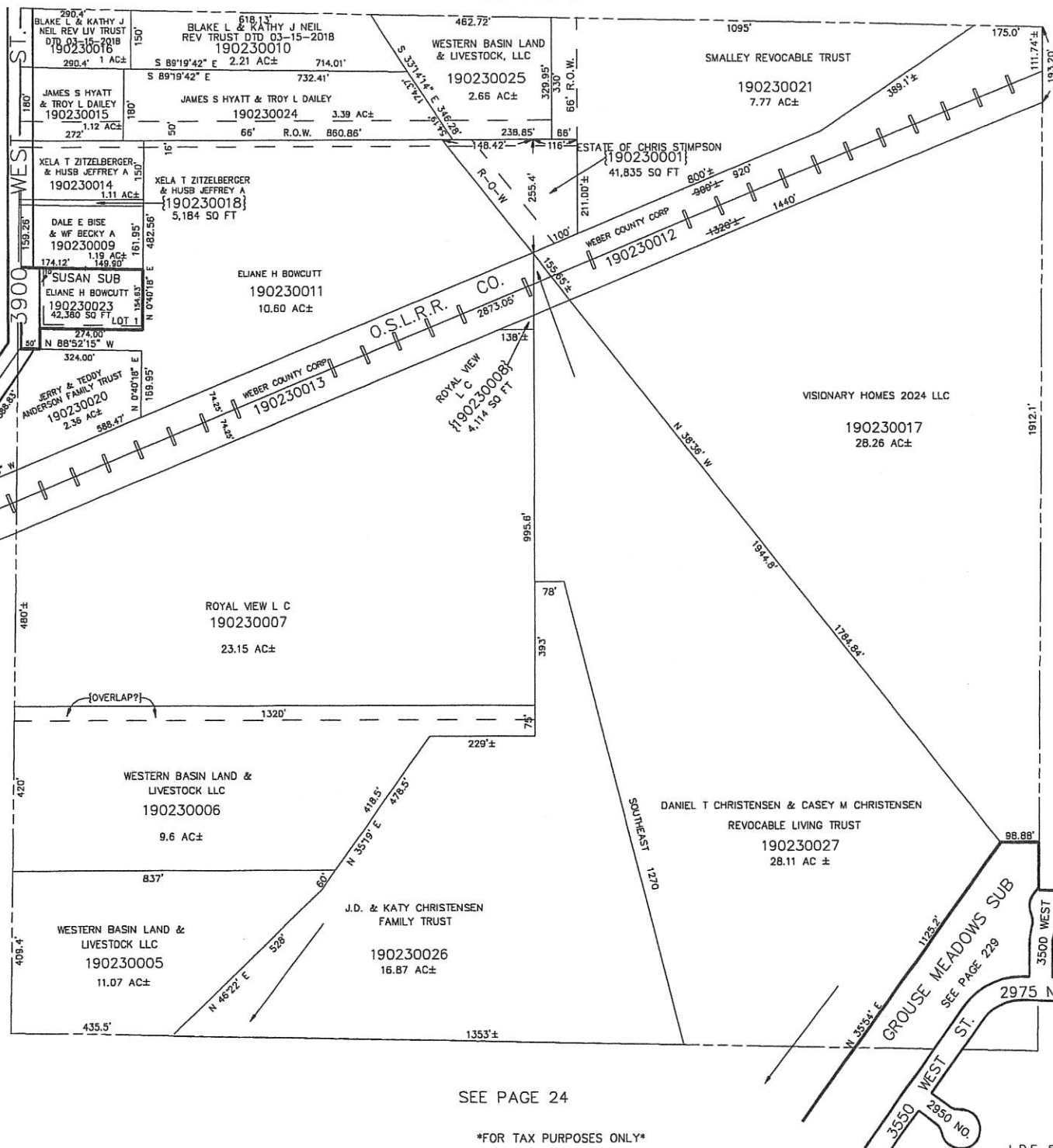


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SCALE 1" = 200'

SEE PAGE 9



SEE  
PAGE  
22

SEE PAGE 24

\*FOR TAX PURPOSES ONLY\*

L.D.F. 5-93



**Zoning Overlay Application**

**Circle One:** Mixed Use Overlay      Senior Overlay      Residential Overlay with Public Amenities

Location of Property Approx 2500 N 5100 W

Land Serial Number(s) 19-031-0006, 19-03-0005, 19-03-0006, 19-03-0008, 19-027-0026, 19-027-0024

Request from Zone 19-034-0002  
RE-18.5 to Zone \_\_\_\_\_

FEE: \$500.00      Date paid 10-20-25      Receipt # 2038634

\*Property Owner Winegar Trust & Western Basin Land and Live Stock

Phone \_\_\_\_\_ Fax \_\_\_\_\_ Email \_\_\_\_\_

Mailing Address 71 E 2600 N #A North Ogden UT      Zip 84414  
5238 W 2150 N Plain City, UT      84404

Developer/Agent David Pitcher / Ophir Mountain LLC

Phone 661-865-2945      Fax \_\_\_\_\_      Email clearcreekdevelopment@yahoo.com

Mailing Address 4474 N Heather Meadows Dr.      Zip 84050

LEGAL DESCRIPTION: **Please Attach**

TOTAL AREA – Acres or Square Feet: \_\_\_\_\_

At the time of submittal of application, please attach a letter addressing the following:

1. Summarization of:
  - Current Plain City General Plan classification and zoning classification
  - Requested change to the General Plan classification and zoning classification
2. For what reason(s) do you suggest the change? The applicant is responsible for justifying the requested change to the General Plan and Zoning. Issues to be evaluated will include, but are not limited to:
  - adopted goals and policies as expressed in Plain City's General Plan
  - adjacent land uses
  - population served
  - transportation impacts
  - public facilities (water, sewer, storm water, parks, schools, etc.)
  - the type of use requested and reasons why this use should be on this site
3. What is the estimated development schedule?

Attach a list of all adjacent properties within 500 feet. (Parcel #, name, mailing address)



## AFFIDAVIT

## PROPERTY OWNER

STATE OF UTAH       )  
                                   ) ss  
 COUNTY OF WEBER )

By: Amy Roskelly  
 I (we), Western Basin Land & Livestock, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I also acknowledge that I have received written instructions regarding the process for which I am applying and the Plain City Planning staff have indicated they are available to assist me in making this application.

Western Basin Land & Livestock  
 (Property Owner)

By: Amy Roskelly  
 (Property Owner)

Subscribed and sworn to me this 20th day of May, 2025.

Stacy Adams  
 (Notary)

Residing in Weber County, Utah

My commission expires: 9.10.2028



## AGENT AUTHORIZATION

I (we), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) \_\_\_\_\_ to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
 (Property Owner)

\_\_\_\_\_  
 (Agent)

\_\_\_\_\_  
 (Property Owner)

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, personally appeared before me \_\_\_\_\_, the signer(s) of the above agent authorization who duly acknowledged to me that they executed the same.

\_\_\_\_\_  
 (Notary)

Residing in Weber County, Utah

My commission expires: \_\_\_\_\_



- Current property owner(s) must sign application (see attached affidavit)

AFFIDAVIT

PROPERTY OWNER

STATE OF UTAH )  
 ) ss  
 COUNTY OF WEBER )

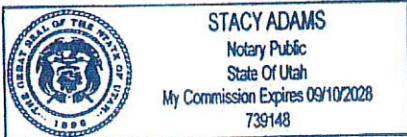
I (we), Wendell T Winegar Marital QTIP Trust, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I also acknowledge that I have received written instructions regarding the process for which I am applying and the Plain City Planning staff have indicated they are available to assist me in making this application.

Wende Elaine Winegar  
 executor

Elaine Winegar  
 (Property Owner)

\_\_\_\_\_  
 (Property Owner)

Subscribed and sworn to me this 14th day of May, 2008.



Stacy Adams  
 (Notary)  
 Residing in Weber County, Utah

My commission expires: 9.10.2008

AGENT AUTHORIZATION

I (we), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) \_\_\_\_\_ to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
 (Property Owner)

\_\_\_\_\_  
 (Agent)

\_\_\_\_\_  
 (Property Owner)

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, personally appeared before me \_\_\_\_\_, the signer(s) of the above agent authorization who duly acknowledged to me that they executed the same.

\_\_\_\_\_  
 (Notary)  
 Residing in Weber County, Utah

My commission expires: \_\_\_\_\_



## **WINEGAR ACRES OVERLAY PROPOSAL**

- 84.4 Total acres
- 17.19 acres to be dedicated to Plain City
- 67.21 acres to be developed in 3 Phases
- Anticipate construction of Phase one to start late summer 2026.
- 2500 N Street from 4500 W to 5100 W to be done with the first phase for traffic flow and looping of utilities (phasing will be based on best practices and designed to comply with all city, and state ordinances).
- Anticipate 151 total lots (approx. 65 lots in Phase One, 47 lots in Phase Two, and 39 in Phase Three)
- 17.19 acres of park/open space to be dedicated to city proportionate to acreage in each phase.
- It is understood that upon any approval of a Conditional Application and Site Plan, the Development Agreement, and Final Plat will still need approval by the City Planning Commission and City Council, per Plain City Code 10-20-7 and 10-20-8.



[illegible]