



# Planning Commission Meeting

November 13, 2025

6:00pm

125 West 400 North  
Mapleton, UT 84664



## **PLANNING COMMISSION AGENDA**

Thursday, November 13, 2025, at 6:00pm  
125 West Community Center Way (400 North), Mapleton, Utah 84664

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**The order of agenda items is subject to change at the discretion of the Planning Commission Chair.**

6:00 p.m. Call to order: Pledge, Invocation, and Introductions/Announcements.

### **Consent Items**

*Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission may ask that any items be considered individually for purposes of Commission discussion and/or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.*

1. Planning Commission Meeting Minutes – September October 9, 2025.
2. Planning Commission Meeting Schedule for 2026.

### **Action Items**

3. Consideration of a Conditional Use Permit and Project Plan for a mixed-use project located at 1642 West 200 North in the General Commercial (GC-1) Zone.
4. Consideration of a request to operate a Residential Facility for Persons with a Disability located at 4688 South 710 West, Unit J102 in the PD-3 Zone.

### **PUBLIC COMMENT MAY BE ACCEPTED AT THE DISCRETION OF THE CHAIR**

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during the meeting/hearing should notify April Houser at the Community Development Office, at Mapleton City, 125 West 400 North, Mapleton UT 84664, or by phone, 801-489-6138, giving at least 24 hours notice. Signature on this document certifies that it was posted in the City Office on 11/6/25.

THIS AGENDA SUBJECT TO CHANGE WITH A MINIMUM OF 24 HOURS NOTICE  
(Last Modified November 6, 2025)

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**April Houser**, Executive Secretary

**Item:**

3

**Date:**

11/13/2025

**Applicant:**

Rise in Mapleton, LLC

**Location:**

1642 W 200 N

**Prepared By:**

Sean Conroy, Community  
Development Director

**Public Hearing:**

No

**Zone:**

CC-1

**Attachments:**

1. Application information.
2. DRC comments.
3. Correspondence.

**REQUEST**

Consideration of a Conditional Use Permit and Project Plan for a mixed-use project located at 1642 W 200 N in the General Commercial (GC-1) zone.

**BACKGROUND & DESCRIPTION**

The subject development site consists of two parcels totaling approximately 2.17 acres. The southern parcel is vacant and is part of the Fox Hollow subdivision, which was recorded in 2019 (see attachment "2"). The northern parcel includes an existing dwelling that will be demolished as part of the project. Both parcels are zoned General Commercial (GC-1).

The applicant is proposing the following:

- Construct three buildings that will include approximately 17,500 square feet of ground floor commercial.
- A total of 20 residential apartment units on the second floor.
- 94 total parking spaces.

**EVALUATION**

**Commission Discretion:** Project plan applications are considered administrative in nature. The role of the Planning Commission is to determine if the application complies with Mapleton City standards. If the application complies with city standards, the application should be approved.

**General Plan:** The general plan designation for this property is "Flex Use". The purpose of this designation is to allow a property owner the ability to request either a residential or a commercial zone. The general plan also includes the following goal and policy:

- *Goal 5 (Land Use Element): Encourage a diverse and appropriate amount of commercial uses along Highway 89 to meet the needs of the community and motorists alike.*
- *Policy 2C (Housing Element): Continue to allow mixed use developments in the GC-1 zone and other planned development zones.*

Finally, state law requires each jurisdiction to adopt a Moderate- Income Housing Element of the general plan and to select at least three state approved strategies to help encourage diverse housing options. One of the strategies that the City has adopted is to allow for residential development in commercial and mixed-use zones.

The proposed project is consistent with the Flex Use designation and the goal and policy cited above to encourage commercial and mixed-use developments along Highway 89. The residential component will assist in implementing the Housing Element's strategy of allowing residential uses in commercial zones. The project is consistent with the general plan.

**Zoning:** The property is zoned GC-1. This zone has been established as the primary district for commercial establishments in the City and allows a mix of businesses, retail and service uses. The applicant has not yet finalized the commercial uses, but it should be assumed that any of the uses in the GC-1 zone could be a possibility. The GC-1 zone does not have a minimum lot size but requires at least 75 feet of frontage.

The GC-1 zone allows for residential units as a conditional use subject to the following requirements:

- 1) Residential units must be located above ground floor commercial;
- 2) Residential units must meet all applicable building code requirements; and
- 3) There is no density restriction, but the number of units allowed will be limited by the ability to provide parking. The Planning Commission can limit the total number of units to 10 or fewer if there are legitimate health, safety and welfare concerns.

The proposed mixed-use buildings are consistent with the requirements of the GC-1 zone.

**Design Standards:** Staff have provided a summary below of the City's commercial design standards found in MCC Section 18.92 along with a brief response.

*Site Standards & Connectivity:*

- Buildings should be located close to the street with parking to the side or the rear of the building. Side setbacks are a minimum of 10' and the rear setback is 20'.
- Commercial developments should be designed to allow for cross-access to adjacent properties to encourage shared access and parking, and to limit the need for traffic to exit the site onto a city road in order to access adjacent development.

Response: The proposed buildings comply with the setback standards, and the car park is located towards the side and rear of the buildings. The new proposed driveway access on the north side of the property is a shared access with the neighbor to the north as encouraged in the standards.

*Buildings:*

- Buildings should include changes in rooflines.
- Buildings should have quality materials and not have more than 49% of the façade in stucco.
- Buildings should include a covered entry.
- Maximum height shall not exceed 45'.
- Each building shall include at least one outdoor bench and one bike rack.

Response: The applicant is proposing a mix of hip and shed roof elements that vary in height. Exterior materials include primarily brick and stucco. The maximum building height will be less than 35 feet, and all entrances include awning covers. Outdoor benches and bike racks are provided. The project is consistent with the design standards.

*Parking:*

- Residential units require 2.25 parking spaces each for a total of 45 spaces.
- The commercial parking requirements vary based on the proposed use generally from 1 space per 150 square feet for medical and dental uses, 1 space per 250 square feet for professional offices and 1 space per 300 square feet for general retail.

- Residential uses can share up to 25% of the required parking with the commercial uses when justified by a parking study.

**Response:** Since the final commercial users have not yet been identified, the applicant is using a general assumption of one parking space per 250 square feet. Based on this assumption the total parking requirement is 115 spaces. The applicant is proposing to share 21 parking spaces (18%) since residential and commercial uses share different peak times. The applicant has submitted the attached parking study to justify the request. Staff support the proposed parking plan.

#### *Landscaping*

- At least 20% of the site is required to be landscaped.
- A 10' landscape buffer is required along the side and rear property line including trees every 30'.

**Response:** The applicant shall submit a final landscape plan that complies with the landscaping standards prior to the issuance of a building permit for the site.

**Traffic:** The project will include a new driveway off of 200 North on the south side of the project and a new driveway off of Highway 89 on the north. Mapleton City Code section 17.12.050.K requires a traffic study for projects that include fifty or more parking spaces. The applicant has submitted the attached traffic study, which concluded the following:

- The intersection of Hwy 89 and 200 N is currently functioning at a Level of Service (LOS) of C;
- It is anticipated that the intersection will continue to function at an LOS of C; and
- No mitigation measures are required.

**Fencing:** MCC Section 18.90.115 states the following regarding fencing between commercial and residential land uses:

*"When a project in a commercial zone abuts a residential zone a solid wall at least eight feet (8) feet in height shall be constructed along the property line. The wall shall be decorative block (CMU), precast concrete, or masonry unless otherwise approved by the Planning Commission. The wall shall be consistent between adjacent commercial parcels. The Planning Commission may allow a fence or wall of six (6) feet in height for uses that are not anticipated to generate significant noise impacts. Examples may include office, clinics, non drive-through restaurant and financial institutions."*

There is an existing six-foot vinyl fence that runs along most of the rear property line that abuts the residential property to the west. The applicant is proposing to continue the fence where it doesn't currently exist. Since the commercial uses will not include drive-throughs or other significant noise generating uses, staff can support keeping the six-foot height requirement for the rear yard fencing.

## **RECOMMENDATION**

Approve the project plan with the following conditions:

1. The applicant shall comply with all outstanding DRC issues prior to plat recording.
2. The parking requirement of each commercial tenant will be determined at the time of business license submittal. If a use is proposed that exceeds that parking that has been provided, the use will be denied.



Zoe's Beanies

Attachment "1"  
Application Information

N 1600 W

Family Pet Hospital

Subject Property

Matteo's artisan pizza

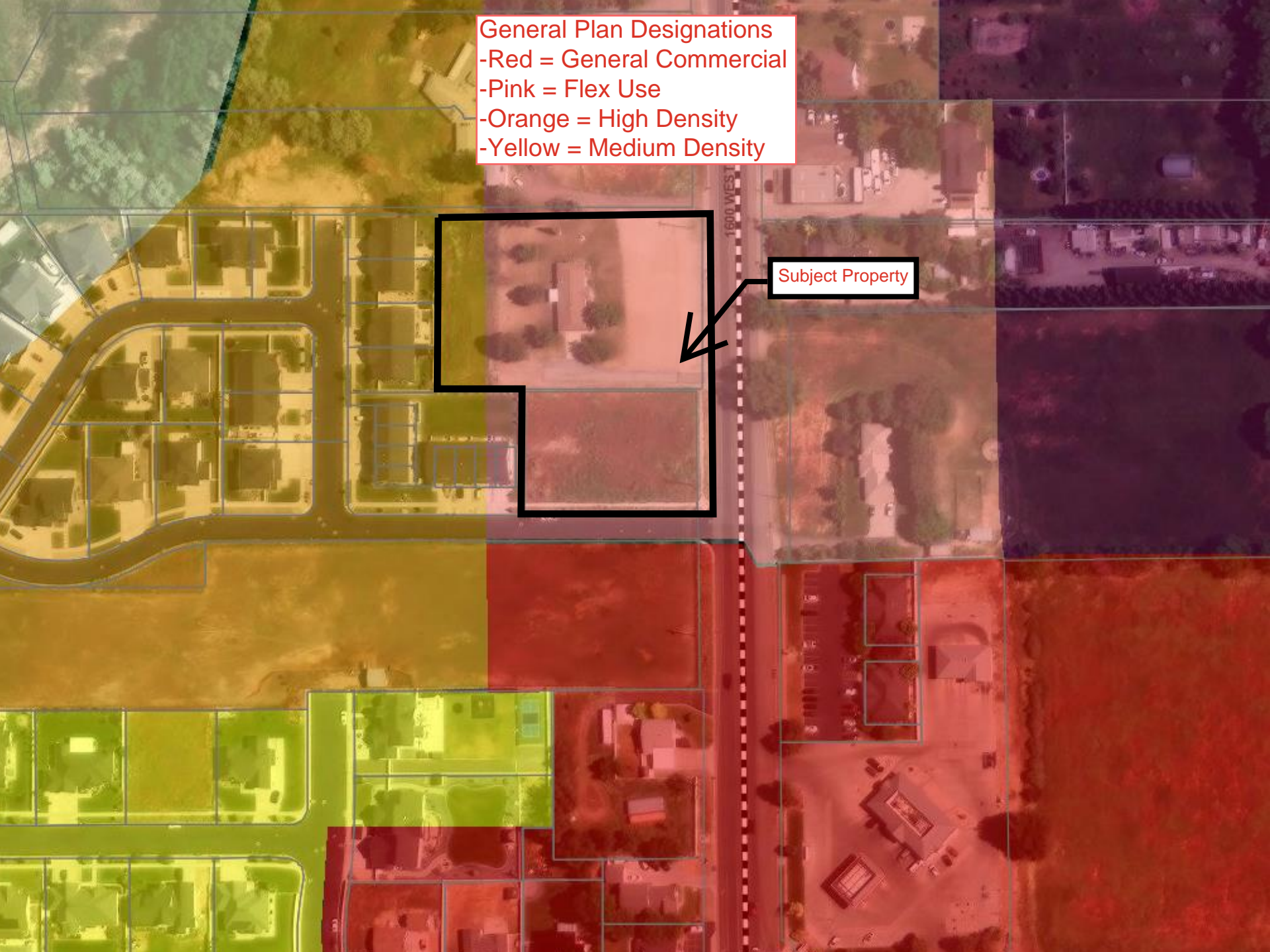
W Maple St





- General Plan Designations
- Red = General Commercial
  - Pink = Flex Use
  - Orange = High Density
  - Yellow = Medium Density

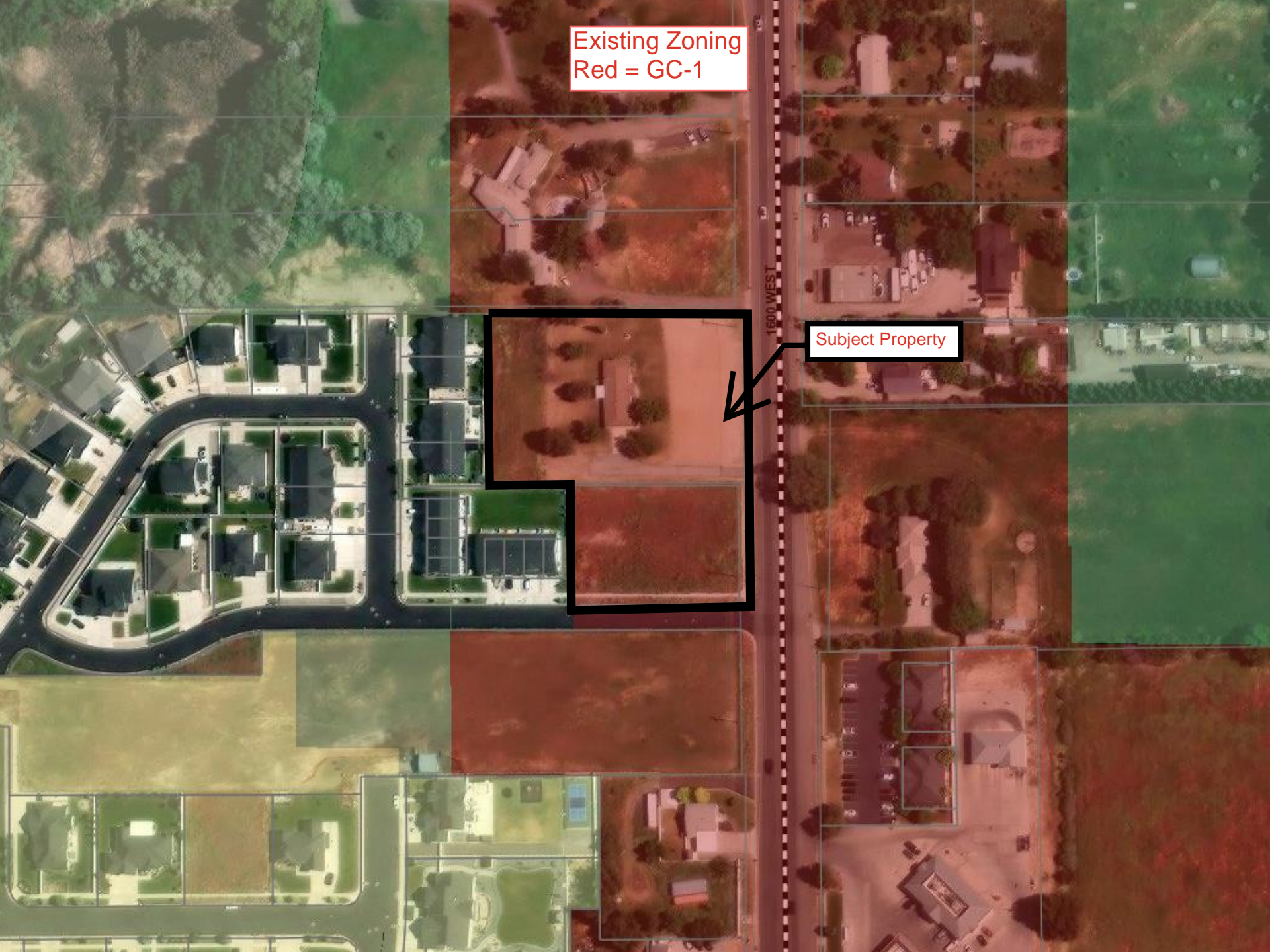
Subject Property





Existing Zoning  
Red = GC-1

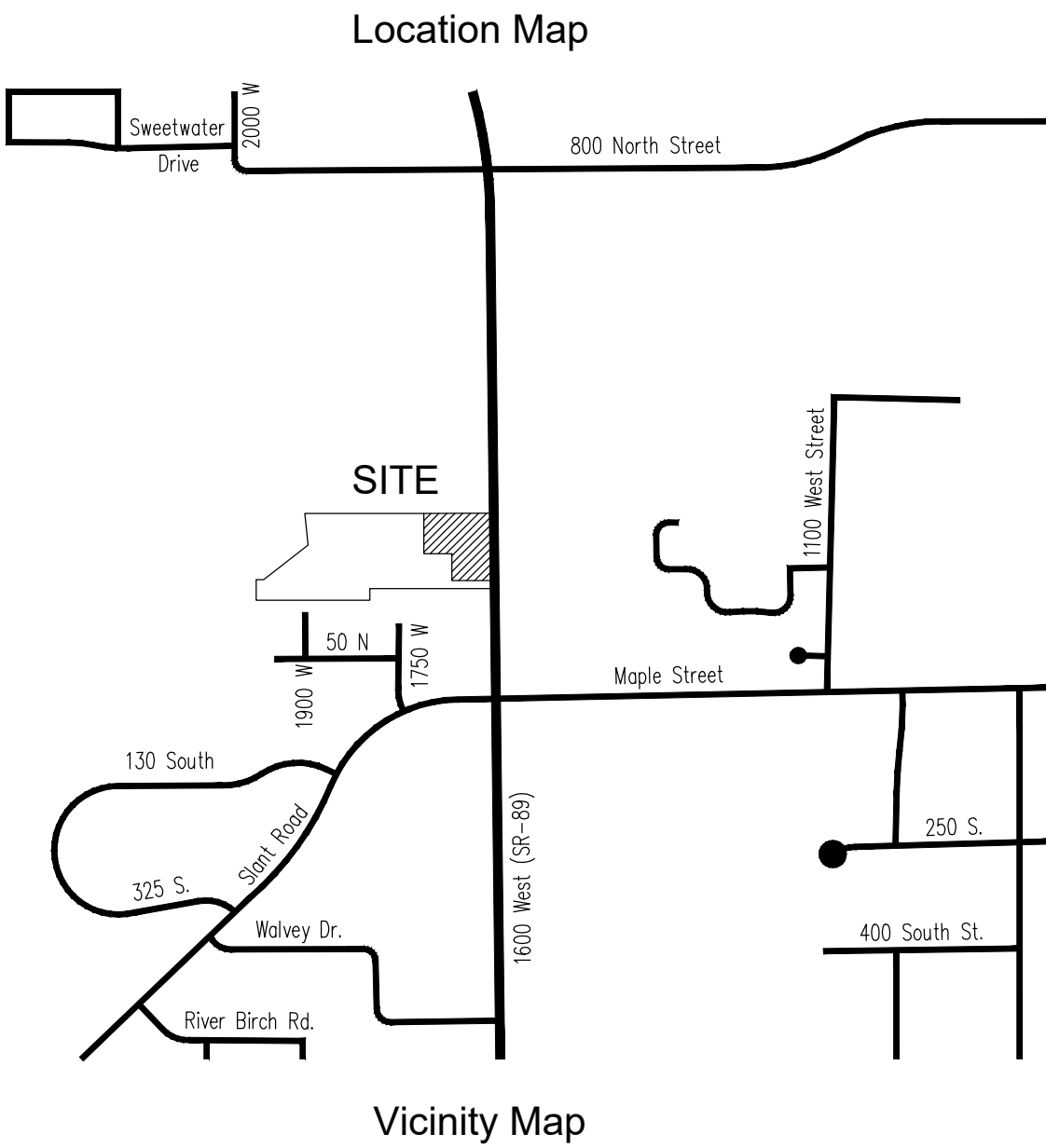
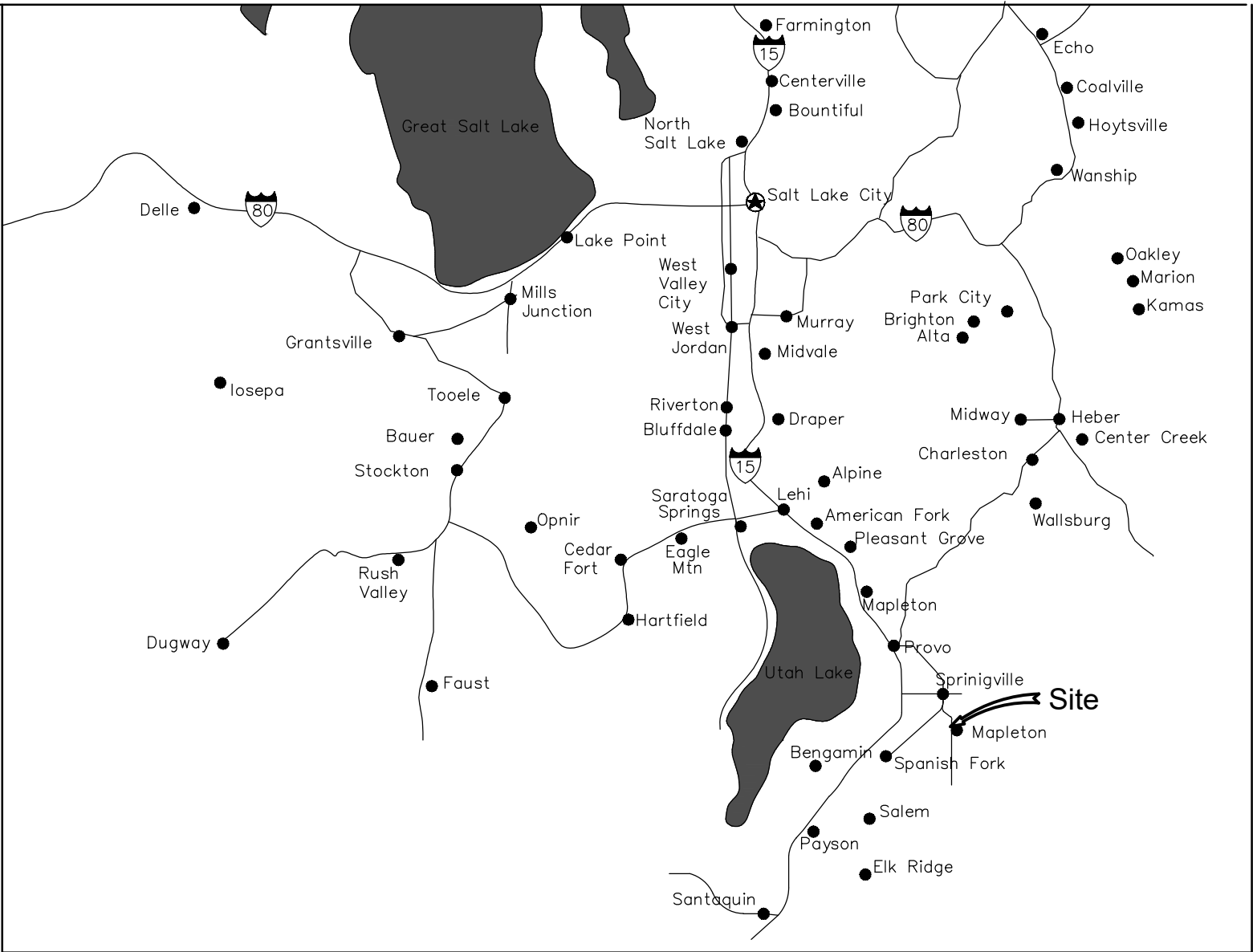
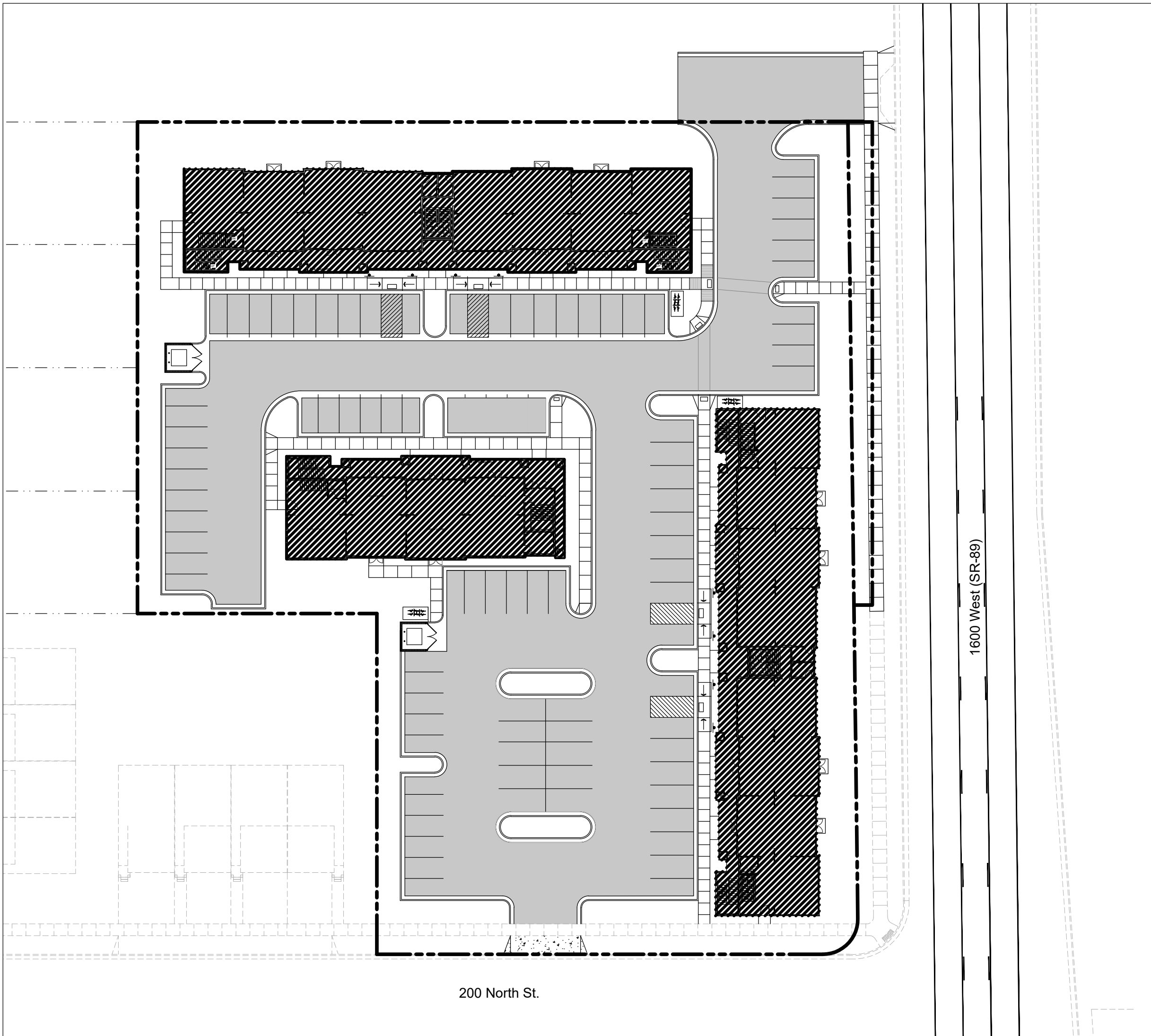
Subject Property





# Rise in Mapleton

Legend	
Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Proposed Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
	top of asphalt
	top of sidewalk
	back of top of curb
	back of top of sidewalk
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Water Valve
	Gas valve
	Water Meter
	edge of existing asphalt
	Public Utility Easement



## City Contact List

City Offices  
125 West Community Center Way  
Mapleton, UT 84664  
Phone (801) 489-5655  
Fax (801) 489-5657

Public Works Department  
1405 West 1600 North  
Mapleton, UT 84664  
Phone (801) 489-6253  
Fax (801) 489-5179

## Administration Staff:

Cory Branch, City Administrator  
(801) 806-9104 or cbranch@mapleton-ut.gov

Sean Conroy, Community Development Director  
(801) 806-9101 or sconroy@mapleton-ut.gov

Camille Brown, City Recorder / Executive Assistant  
(801) 806-9106 or cbrown@mapleton-ut.gov

## Public Works Department Staff:

Rob hunter, City Engineer/Public Works Director  
(801) 806-9154 or rhunter@mapleton-ut.gov

Joanna Brunson, Executive Assistant  
(801) 489-6253 or jbrunson@mapleton-ut.gov

Brad Roundy, Operations Manager  
(801) 806-9156 or broundy@mapleton-ut.gov

Russell Rymer | Public Works Inspector  
Phone: (801) 806-9151  
Email: rrymer@Mapleton-ut.gov

J.D. Shepherd | Storm Water Collections Manager  
Phone: (801) 806-9155  
Email: jshepherd@Mapleton-ut.gov

Seth Barrus | Assistant City Engineer  
Phone: (801) 806-9157  
Email: sbarrus@Mapleton-ut.gov

## Property Address:

1642 West 200 North  
Mapleton, Utah

## Developer:

Cory Andersen

## Property Owner:

Daniel and Jane Barrett  
Susan Ashton

## Engineer / Land Surveyor

Dudley and Associates, Inc.  
353 East 1200 South  
Orem, Utah 84058  
801-224-1252  
t-dudley@qwestoffice.net

## Site Data:

Total Area = 94,381 sq.ft. or 2.17 Acres

Zone = Commercial

Parking Requirements:

Mixed Use Area = 1 space/250 sq.ft. = 17,500 = 70  
Residential Use = 2 spaces/Unit = 20 Units = 40 spaces

Total Parking required = 110 spaces  
Total Parking provided = 94 spaces

25% shared = 82 Spaces required

	Square Footage	Acreage	Percent of total
Total Area	94,381	2.17	100
Total Building / Pad Area	22,057	0.50	23
Total Hard Surface Area	42,259	0.97	45
Total Impervious Area	64,316	1.47	68
Total Landscaped Area	30,065	0.69	32

Tabulation Table

## Property Description

Commencing at a point located North 00°42'23" West along the section line 566.40 feet and West 84.20 feet from the Southeast corner of Section 9, Township 8 South, Range 3 East; Salt Lake Base and Meridian; thence West along 200 North Street 191.16 feet; thence North 146.02 feet; thence West 102.64 feet; thence North 210.64 feet; thence East 304.58 feet to State Road 89 (1600 West Street); thence South 00°42'28" East along State Road 89, 341.50 feet; thence along the arc of a 15.00 foot radius curve to the right 23.75 feet (chord bears South 44°38'46" West 21.34 feet) to the point of beginning.

Area = 94,381 sq.ft. or 2.17 Acres

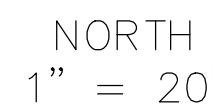
Basis of Bearing is North 00°42'23" West along the Section line from the Southeast corner to the East quarter corner of said Section 9. (NAD 83)

## Sheet Index

- 1.0 Cover Sheet
- 1.1 General Notes
- 2.0 Site Plan
- 3.0 Utility Plan
- 4.0 Grading and Drainage Plan
- 5.0 SWPPP
- 6.0 Detail Sheet
- 7.0 Detail Sheet







Brandee Witney  
39:297:0003

MJK Rentals LLC  
26:059:0055

Shared Access with adjacent  
Property Owner. Easement  
to be recorded upon City approval

Existing Drive approach  
to be removed and  
upgraded to UDOT specs.

Phase 1,  
Fox Hollow Townhomes  
39:324:0009

200 North St.

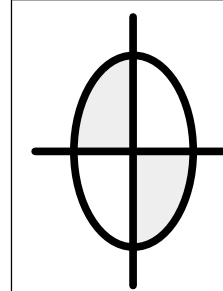
CAUTION!!! Notice to contractors

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

**Know what's below.**

**Call 811 before you dig.**

**BLUE STAKES OF UTAH**  
UTILITY NOTIFICATION CENTER, INC.  
[www.bluestakes.org](http://www.bluestakes.org)  
1-800-662-4111



**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Italy

# Rise in Mapleton Site Plan

Manleton

Revisions

Date	10-8-2025
Scale	1" = 20'
By	TD
Tracing No.	L - 14873

Sheet No.  
**C - 2**



## KEYED NOTES

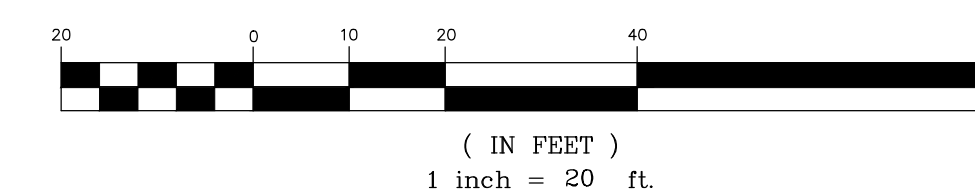
- 1 Existing 30" curb and gutter to remain. (UDOT)
- 2 Existing 24" curb and gutter to remain.
- 3 Existing Sidewalk to remain undisturbed.
- 4 Const. 5' concrete sidewalk.
- 5 Const. 24" curb and gutter.
- 6 Const. ADA ramp with necessary signage.
- 7 Const. ADA stalls and isle (2% max. grade).
- 8 Landscaped Area (refer to landscaping plan for details).
- 9 Bicycle parking rack.
- 10 Masonry enclosed, solid waste dumpster's with sight obscuring gates. Materials to be consistent with building materials.
- 11 Concrete Paving (see paving detail)
- 12 Parking Striping (white paint)
- 13 Const. Asphalt paving (see paving section).

### Note

All interior lighting adjacent to the existing residential will need to be shield protected.hooded so that light is directed towards the parking lot and not toward adjacent residences.

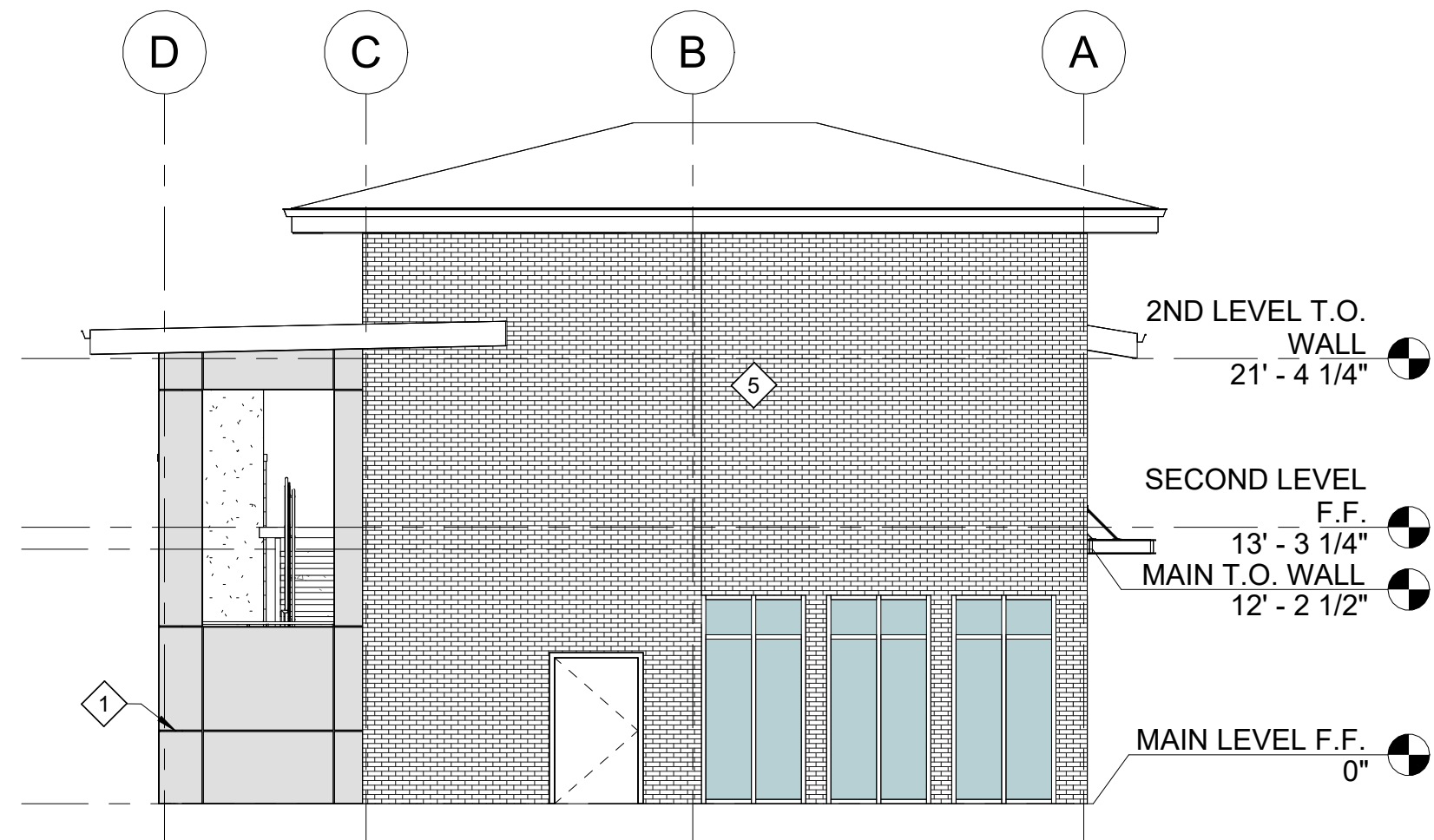
Maximum interior street light height is 16'. Exterior streetlights will be privately owned and operated after coordination with Rocky Mountain Power.

GRAPHIC SCALE



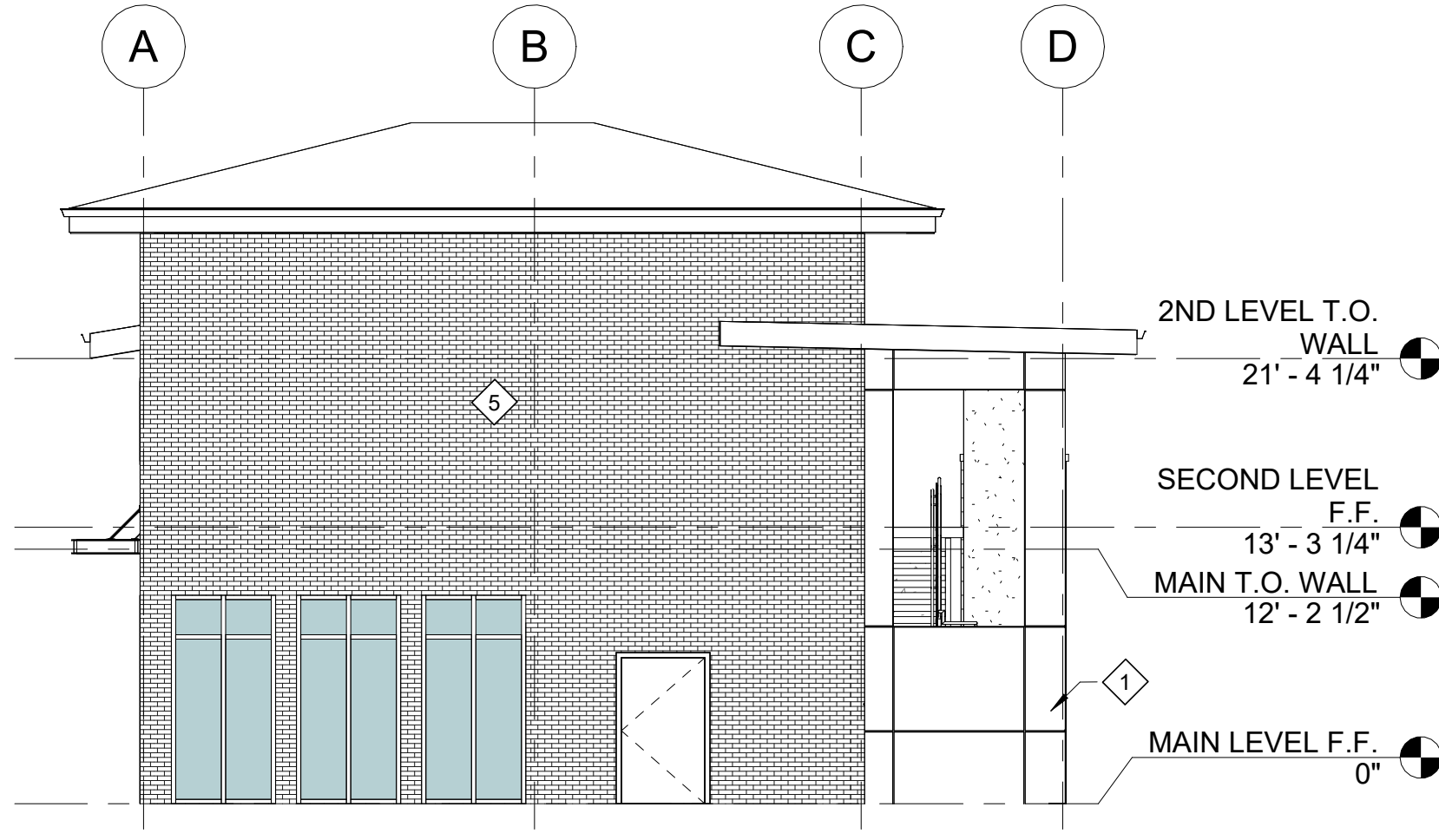


EXTERIOR MATERIAL %								
	GLAZING PRECENTAGE	DOOR PRECENTAGE	WALL OPENING PERCENTAGE	EIFS PERCENTAGE	STUCCO PERCENTAGE	BLOCK PERCENTAGE	TIMBER PERCENTAGE	BRICK PERCENTAGE
LEFT	13%	3%	6%	12%	N/A	N/A	N/A	66%
RIGHT	13%	3%	6%	12%	N/A	N/A	N/A	66%
FRONT	33%	N/A	N/A	N/A	28%	N/A	N/A	39%
REAR	20%	3%	4%	9%	21%	8%	1%	34%



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

4



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

3

EXT. MATERIAL LEGEND				
#	TYPE	BOND / STYLE	COLOR	AREA
1	EIFS	TBD	DRIFT OF MIST	-
2	STUCCO	TBD	DRIFT OF MIST	-
3	BLOCK	TBD	NATURAL	-
4	TIMBER	TBD	STAINED	-
5	BRICK	TBD	WHITE/ GREY	-

EXTERIOR GLAZING % MAIN LEVEL			
ORIENTATION	WALL AREA	GLAZING AREA	PERCENTAGE OF 1 <sup>ST</sup> FLOOR WALL AREA (NEW ADDITION)
FRONT	2885 SF	1380 SF	48%
REAR	2885 SF	1080 SF	37%
LEFT	461 SF	150 SF	33%
RIGHT	461 SF	150 SF	33%

EXTERIOR GLAZING % SECOND LEVEL			
ORIENTATION	WALL AREA	GLAZING AREA	PERCENTAGE OF 2 <sup>ND</sup> FLOOR WALL AREA (NEW ADDITION)
FRONT	2282 SF	454 SF	20%
REAR	2407 SF	294 SF	12%
LEFT	490	N/A	0%
RIGHT	490	N/A	0%

- GENERAL NOTES**
- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- C. CONCRETE WALLS RETAINING EARTH (BELOW GRADE) TO RECEIVE TOW COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- D. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATION THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- E. SEE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- F. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- G. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET

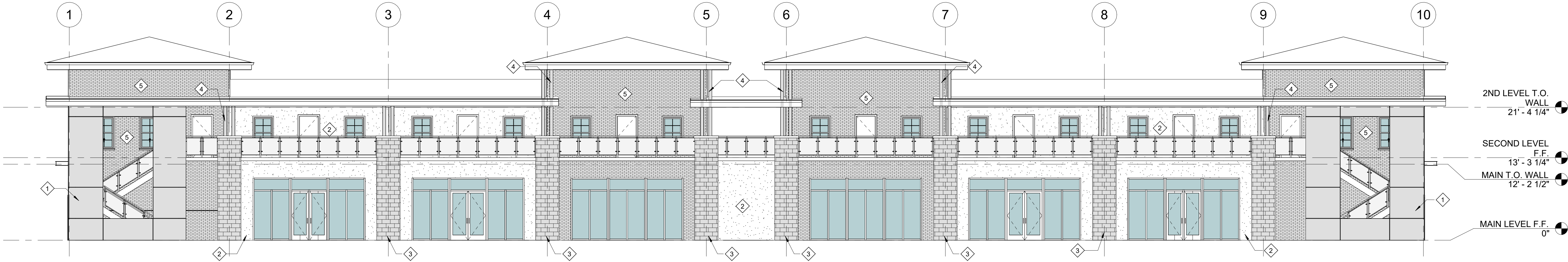
**SHEET NOTES**



DESIGN GROUP

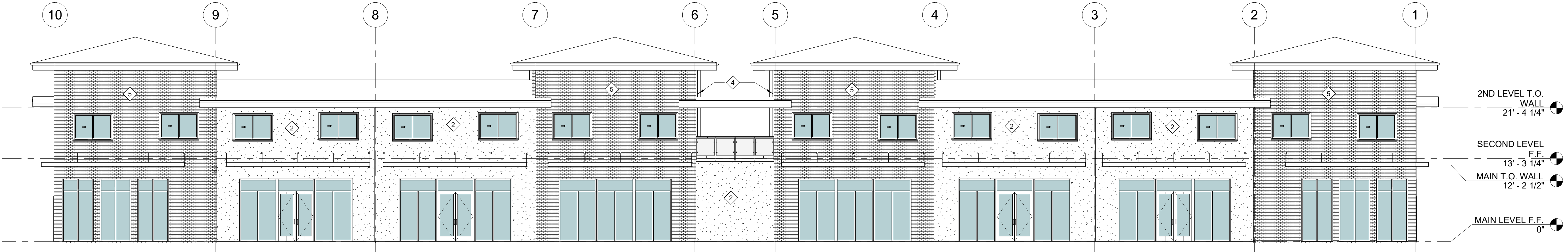
3167 North Canyon Road  
Provo, UT 84604  
Phone: 801.358.9840  
shane@w2designgroup.com

NOT FOR  
CONSTRUCTION  
35% REVIEW SET



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

2



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

1

MAPLETON MIXED USE

OWNER  
ADDRESS

NOT FOR CONSTRUCTION - 35% REVIEW SET

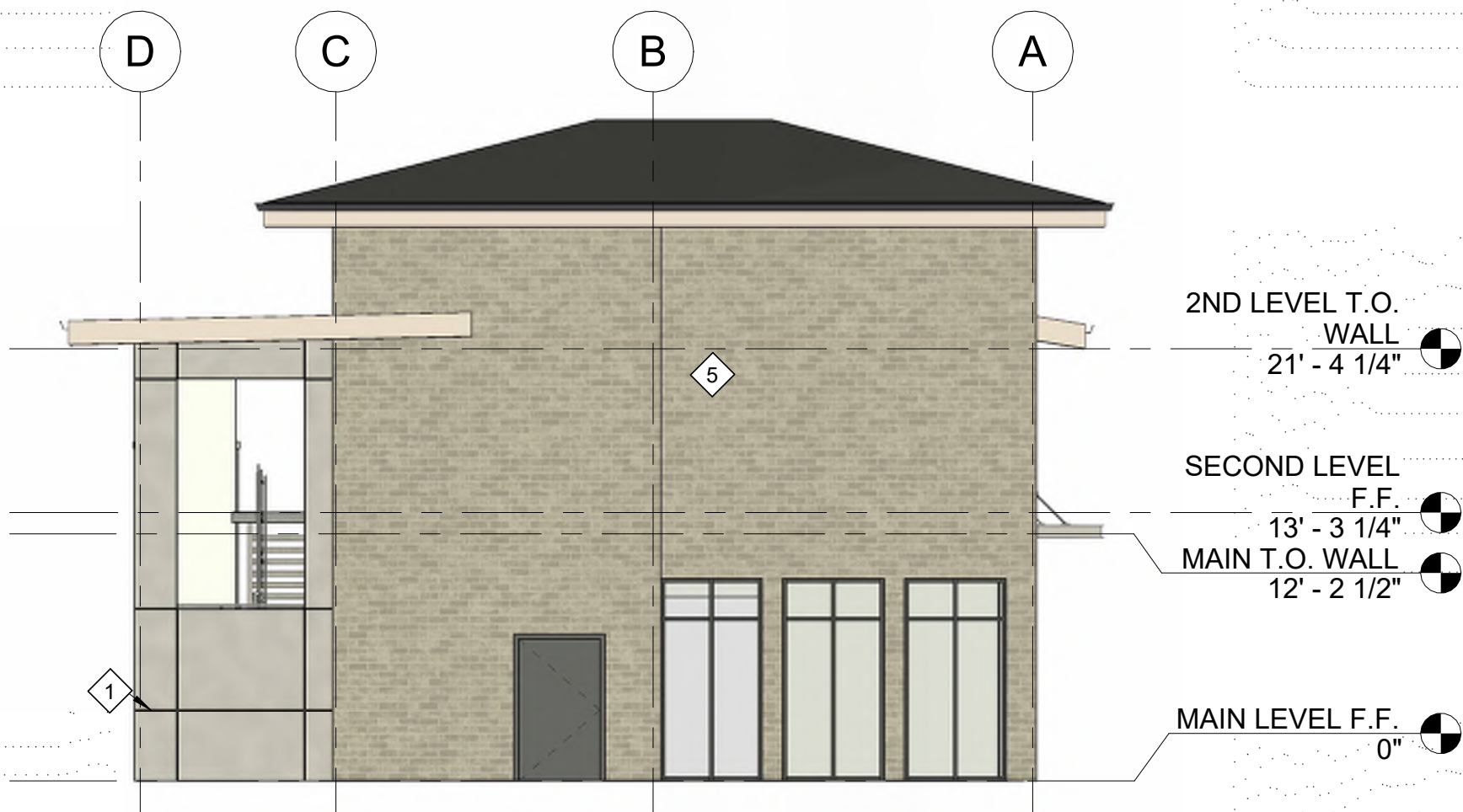
Revision Date	Revision Number
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PROJECT NO.	-
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DRAWN BY	LM
CHECKED BY	SW
SHEET DESCRIPTION	EXTERIOR ELEVATIONS
SHEET NUMBER	

A-2.01

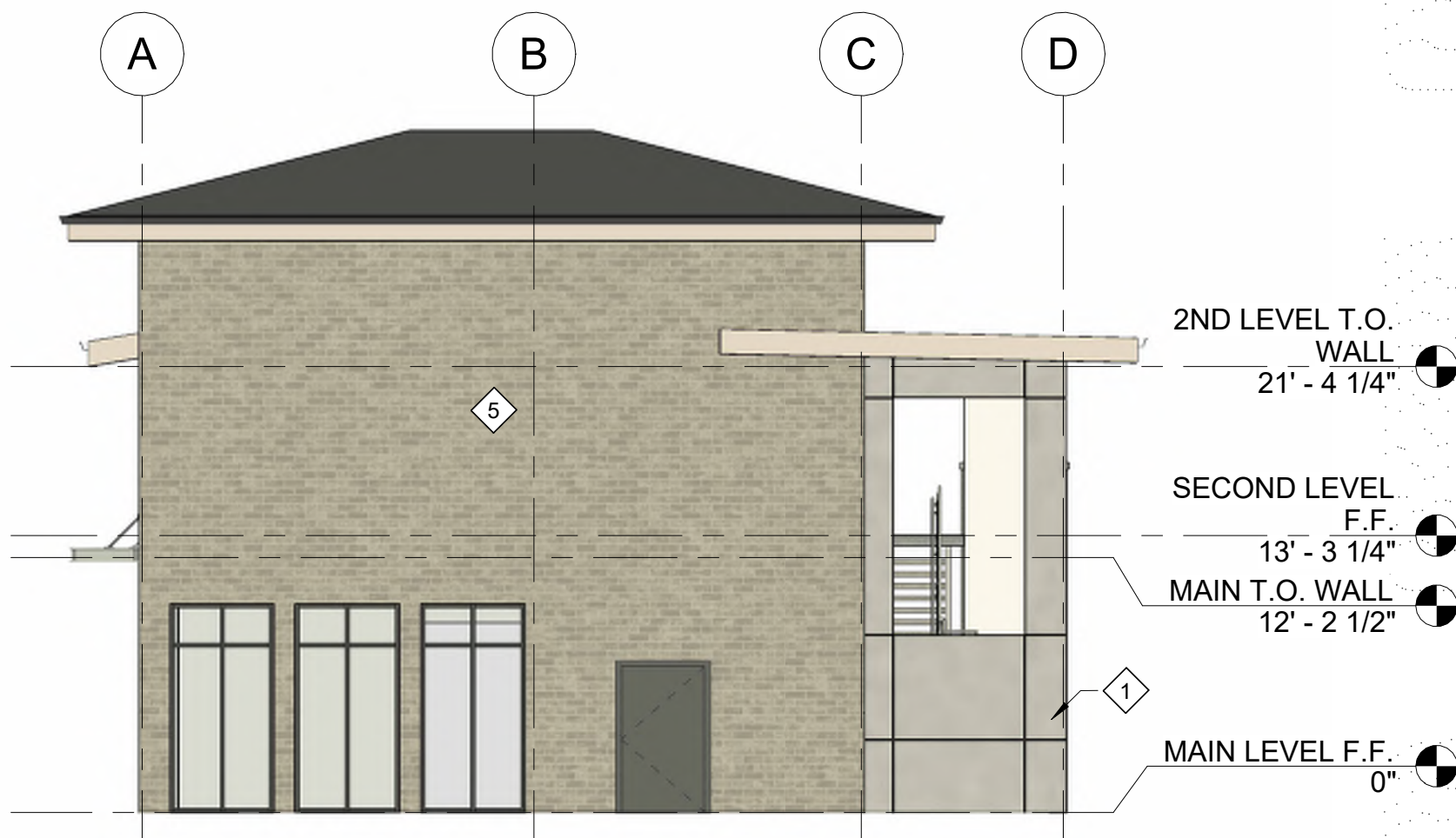


10/7/2025 2:08:28 PM C:\Users\shane\OneDrive - v2designgroup.com\Mapleton Mixed Use\01 DRAWINGS\01-SD\Mapleton Mixed Use - FULL BUILDING (NO SITE).rvt



LEFT ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"

4



RIGHT ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"

3

◇ EXT. MATERIAL LEGEND

#	TYPE	BOND / STYLE	COLOR	AREA
1	EIFS	TBD	DRIFT OF MIST	-
2	STUCCO	TBD	DRIFT OF MIST	-
3	BLOCK	TBD	NATURAL	-
4	TIMBER	TBD	STAINED	-
5	BRICK	TBD	WHITE/ GREY	-

EXTERIOR GLAZING %  
MAIN LEVEL

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EXTERIOR GLAZING %  
SECOND LEVEL

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- G. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET

SHEET NOTES



DESIGN GROUP

3167 North Canyon Road  
Provo, UT 84604  
Phone: 801.358.9840  
shane@w2designgroup.com

NOT FOR  
CONSTRUCTION  
35% REVIEW SET



REAR ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"

2



FRONT ELEVATION - COLOR  
SCALE: 1/8" = 1'-0"

1

MAPLETON MIXED USE

OWNER  
ADDRESS

NOT FOR CONSTRUCTION - 35% REVIEW SET

Revision Date Revision Number

PROJECT NO.

DATE 08.14.2025

DRAWN BY DW

CHECKED BY SW

SHEET DESCRIPTION  
EXTERIOR ELEVATIONS - COLOR

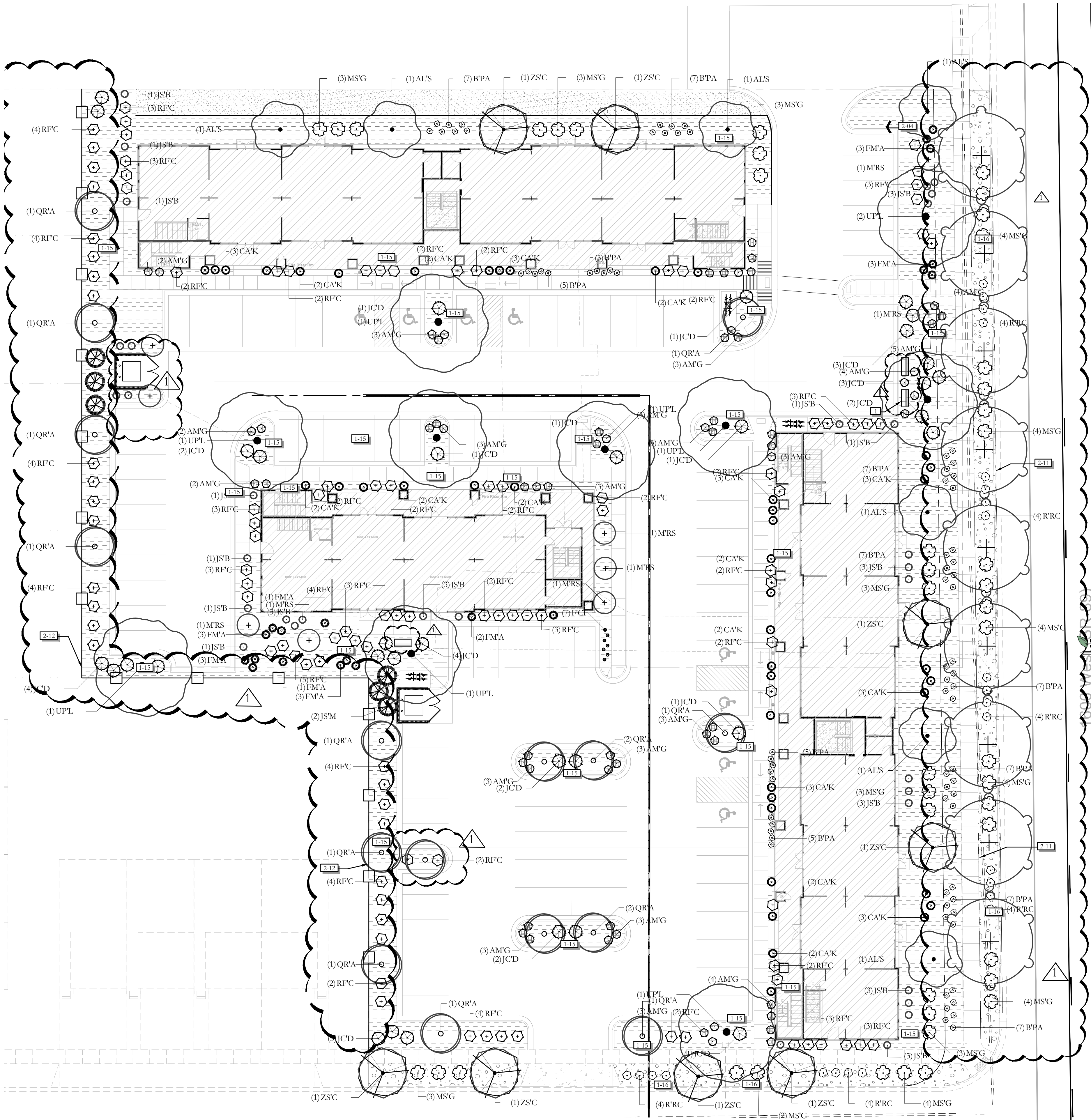
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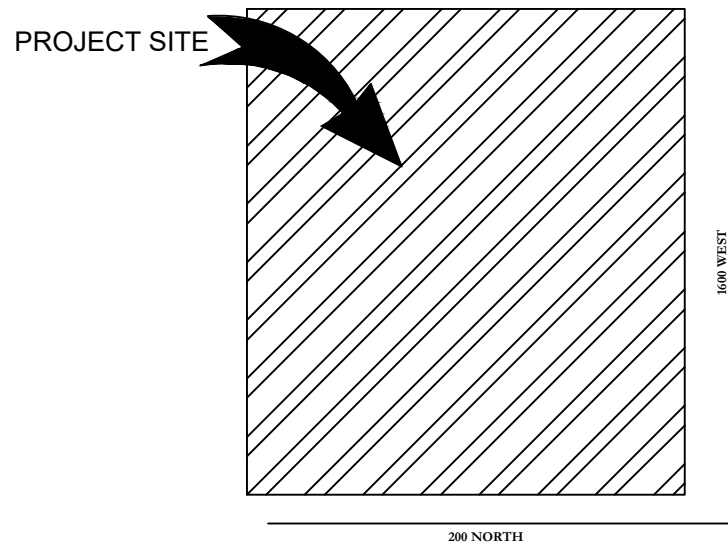








### VICINITY MAP



### SITE MATERIALS LEGEND

SYMBOL	CODE	DESCRIPTION	QTY
	2-00	benches BENCH-O-20	3
<b>1 LANDSCAPE</b>			
	1-01	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH DROUGHT-TOLERANT KENTUCKY BLUE GRASS OR APPROVED EQUAL. SEE SOD LANDSCAPE NOTES FOR FURTHER INFORMATION. SHEET LP-101.	1,960 sf
	1-15	1" MINUS GREY CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	22,065 sf
	1-16	1" MINUS BROWN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	4,121 sf
<b>2 HARDSCAPE</b>			
	2-04	6" CONCRETE MOW CURB SEE DETAIL SHEET FOR ADDITIONAL INFORMATION. SHEET LP-501.	258 lf
	2-11	CP-SERIES ROOT BARRIER PANELS The root barrier shall be CP-Series manufactured by Century Product, 1144 North Grove St, Anaheim, CA 92806, (714) 632-7083, or approved equivalent. The barriers are block molded modular panels manufactured using 50% recycled polyethylene plastic with ultraviolet inhibitors and .08" in thickness. Each panel has vertical 90° root deflecting ribs protruding 3/4" in height. The ribs have a minimum thickness of .080" and are placed 6" apart. An integrated 90 3/4" raised rib, side interlocking panel to panel joining system provides for an instant assembly by sliding one panel into another.	671 lf
	2-12	6" OBSCURING FENCE	446 lf

### PLANT LEGEND

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
<b>CONIFERS</b>						
	JS'B	33	Juniperus scopulorum 'Blue Arrow' Blue Arrow Juniper Tc2; 15x3; sun; z4; Utah Lake water tolerant	B & B		6'
	JS'M	6	Juniperus scopulorum 'Moonglow' Moonglow Juniper Tc2; 18x8; AV 20; sun; z3; Utah Lake water tolerant	B & B		6'
<b>DECIDUOUS TREES</b>						
	AL'S	7	Amelanchier laevis 'JFS-Arb' TM Spring Flurry Serviceberry moderate; 28x20; sun to part shade; z4; Utah Lake water tolerant	B & B	2"Cal	
	M'RS	9	Malus x 'Raspberry Spear' Raspberry Spear Crabapple low; 20x8; sun; z4; Utah Lake water tolerant	B & B	2"Cal	
	PM	9	Platanus x acerifolia 'Morton Circle' Exclamation!™ London Plane Tree	15 gal		
	Q'R'A	16	Quercus robur x alba 'JFS-KW1QX' TM Street Spire Oak Td4; 45x14; AV 176; sun; z4	B & B	2"Cal	
	U'PL	10	Ulmus parvifolia 'Emer II' Alice Lacebark Elm Td3; 50x35; AV 490; sun; z4; Utah Lake water tolerant	B & B	2"Cal	
	ZS'C	8	Zelkova serrata 'JFS-KW1' TM City Sprite Zelkova Td4; 24x18; AV 490; sun; z5; Utah Lake water tolerant	B & B	2"Cal	
<b>SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT</b>						
<b>DECIDUOUS SHRUBS</b>						
	AM'G	62	Aronia melanocarpa 'Ground Hug' Ground Hug Spreading Chokeberry Sd3; 14"x36"; AV28; sun to part shade; z3; Utah Lake water tolerant	5 gal		
	B'PA	76	Buddlejia x 'SMNBDL' Pugster Amethyst Dwarf Butterfly Bush Sd3; 2x2; AV 12.5; sun; z5; Utah Lake water tolerant	5 gal		
	R'FC	107	Rhamnus frangula 'Columnaris' Tall Hedge Buckthorn moderate; 15x4; sun; z2; Utah Lake water tolerant	5 gal		
<b>EVERGREEN SHRUBS</b>						
	J'CD	34	Juniperus chinensis 'Daub's Frosted' Daub's Frosted Juniper low; 1.5 x 5; sun to part sun; z4; Utah Lake water tolerant	5 gal		
<b>GRASSES</b>						
	CA'K	43	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass Tw2; 4x3; AV 7; sun; z4; Utah Lake water tolerant	1 gal		
	F'CI	7	Festuca x 'Cool as Ice' Cool as Ice Blue Fescue Tw2; 1x1; AV 3; sun to light shade; Utah Lake water tolerant	1 gal		
	F'M'A	19	Festuca mairei Atlas Fescue low; 3x3; sun; z5; Utah Lake water tolerant	1 gal		
	MS'G	45	Miscanthus sinensis 'Gracillimus' Maiden Grass Tw2; 6x5; AV 38; sun; z5; Utah Lake water tolerant	2 gal		
<b>ROSES</b>						
	R'RC	24	Rosa x 'Noare' TM Flower Carpet Red Groundcover Rose moderate; 1-2 x 2-3; sun; z5; Utah Lake water tolerant	5 gal		

ISSUE DATE PROJECT NUMBER PLAN INFORMATION PROJECT INFORMATION DEVELOPER / PROPERTY OWNER / CLIENT LANDSCAPE ARCHITECT / PLANNER LICENSE STAMP DRAWING INFO

10/8/2025

UT25097

811

BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
1-800-662-4111  
www.bluestakes.org

0' 10' 20' 40' 80'

GRAPHIC SCALE: 1" = 20'

NO. REVISION DATE

1 CITY COMMENTS 07-15-2025

2

3

4

MAPLETON PROJECT

200 N. 1600 W.

MAPLETON, UTAH

CORY ANDERSON

CORYWANDERSON@GMAIL.COM

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PKJ DESIGN GROUP

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LEHI, UTAH 84043 (801) 995-2217  
www.pkjdesigngroup.com

LANDSCAPE OVERALL PLAN

CITY PERMIT SET

LP-100

PM: JTA

DRAWN: ACP

CHECKED: KBA

PLOT DATE: 10/8/2025





## Development Review Committee Minutes

October 20, 2025

On October 9, 2025, revised plans were submitted for a mixed use project consisting of ground floor commercial and 20 residential units. The items below include 1) requested changes to the submitted plans, 2) other items required as part of the application and/or 3) informational items regarding city standards.

### Community Development Division

---

Sean Conroy, Community Development Director

Phone: (801) 806-9101

Email: [sconroy@mapleton-ut.gov](mailto:sconroy@mapleton-ut.gov)

1. A revised plat will need to be prepared combining the two parcels into one prior to final approval.

### Engineering and Public Works Division

---

Rob Hunter, P.E. Public Works Director/City Engineer

Phone (801) 489-6253

Email: [rhunter@mapleton-ut.gov](mailto:rhunter@mapleton-ut.gov)

Seth Barrus, P.E. Assistant City Engineer

Phone (801) 489-6253

Email: [sbarrus@mapleton-ut.gov](mailto:sbarrus@mapleton-ut.gov)

### General/Engineering Reports

1. The Geotechnical Report completed by CMT indicated a percolation rate of 5 minutes per inch, but the drainage narrative calls out 4 min/inch. Update the calculations to match the geotechnical report of 5 min/in and update the percolation rate used in the calculation to be 10 minutes per inch in order to meet the city standard of having a safety factor of at least 2 applied to account for plugging, siltation and the creation of biofilms over time.

### Culinary Water

1. Please note that crossing Highway 89 for the culinary water service installation will require a CUWCD permit for crossing their facility in addition to the UDOT access permit.



2. Provide calculations for the buildings to ensure that services currently proposed would meet the flow and pressure demands.
3. From previous DRC letter: "City has record of a few existing water services on the east side of the development. Update drawings to include plan of what you're going to do with those."
  - a. Engineer's Response: [These will be utilized if possible. If they are determined not to be used, we will remove and cap them at the main.](#)
  - b. City's follow up: Show them on the plans anyways and include the comment that the 0.75" southern service will need to be cut and capped at the main. Include another comment that the 1" service will be used if feasible. If investigation shows that it is not in a usable state, or that it's not desired to be used, then it will also need to be cut and capped at the main.
4. City records show an existing 1" service right where the proposed 8" line is going to be installed in the development. Please show what the plan is for this service.
5. City records also show another 6" ductile iron culinary line stubbed to the property on the south side. Update the drawings to show what the plan is for this line. If it is to be abandoned, update drawings to include note that the line will need to be cut and capped at the main.

#### **Pressurized Irrigation**

1. Since the landscaping will be served off of culinary water until pressurized irrigation becomes available, a separate 2" POC culinary service will be required to be installed for irrigation use. Update Sheet C-3 to show the installation of this service, preferably connecting to the proposed 8" line running north through the parking lot.
  - a. Note 3 on C-3 isn't attached to anywhere on the sheet, but we're assuming it's for the shown PI lateral

#### **Sewer**

1. Update plans to show the gpm size of the grease traps that are proposed.
2. Relocate grease traps to be located outside of parking stalls, either in the handicap access striped stall or in a landscaped parkstrip.
  - a. Alternatively, the grease lines from each of these buildings can be redesigned to tie into one larger hydromechanical grease interceptor, rather than 5 smaller grease traps.
  - b. Prior to final approval, Spanish Fork will require plumbing plans to be sent and reviewed to ensure that the floor drains of the shell buildings tie properly into the correct waste lines.
3. A pretreatment questionnaire will need to be filled out and submitted to Spanish Fork in order for the grease traps to be installed. Here's a link to that questionnaire:



<https://form.jotform.com/91347014000137>. Please provide confirmation that this was submitted and received by Spanish Fork.

4. The minimum allowable slope for 8" sewer is 0.4%. Please update the sewer main slopes and manhole inverts accordingly.
5. Plan and Profile views of the sewer main that also show the other applicable utilities (culinary water) is required in the next submittal.
6. The furthest upstream sewer manhole can be 48" if desired instead of the 60".

### Roadway and Streetlights

1. Section 11.0 of the Geotechnical Report shows a table of pavement section thickness that need to be met. Update the drawings to include a roadway cross section showing the 3.5" asphalt thickness and the 10" UTBC thickness (or 6" UTBC and 6" Subbase) for the north access road out to Hwy 89:

MATERIAL	PAVEMENT SECTION THICKNESS (inches)			
	PARKING AREAS (1 ESAL per day)		DRIVE AREAS (3 ESAL'S per day)	
Asphalt	3	3	3.5	3.5
Road-Base (UTBC)	8	4	10	6
Subbase	0	6	0	6
Total Thickness	11	13	13.5	15.5





**FYI, Prior to plat recording:**

- ☐ Applicant may choose to either 1) establish a performance bond and durability bond agreement prior to plat recording (see attached bond estimate) or 2) to install any required improvements (i.e. utilities, roads, curb, gutter, sidewalk, etc.) without a performance bond (10% durability bond still required). If option 2 is selected, the plat will not be recorded until the City has accepted the improvements.
- ☐ Payment of engineering inspection fee of \$200 per lot.
- ☐ Water impact fees would be paid with the building permit for each building and are based on water meter size for each residential and commercial component of each building as follows:
  - 1" = \$2,780
  - 1.5" = \$9,256
  - 2" = \$14,815
  - 3" = \$27,796
- ☐ Sewer impact fees are paid with each building permit and are based on water meter size as follows:
  - 1" = \$3,508.62
  - 1.5" = \$11,561.95
  - 2" = \$18,569.19
  - 3" = \$35,036.20
- ☐ Storm water impact fee paid with plat recording of \$1,854.13
- ☐ Pressurized irrigation impact fee paid with plat recording of \$6,597
- ☐ Public safety impact fee paid at building permit as follows:
  - \$402.52 per residential unit
  - \$112.93 per 1,000 sq feet of commercial space
- ☐ Water dedication required at building permit submittal as follows:
  - Outdoor water dedication of 1.7 acre feet submitted with plat recording.
  - Indoor water use submitted with each building permit based on water meter size as follows:
    - .3 acre feet per 1" connection
    - 1 acre foot per 1.5" connection
    - 1.6 acre feet per 2" connection
    - 3 acre feet per 3" connection
- ☐ Pay all rollback taxes if applicable.
- ☐ Submit final mylar with all required signatures.



- ☐ Submit a check made out to Utah County Recorder for \$50 per page + \$2 per lot.
- ☐ Contact post office regarding mailboxes.

Attachment "3"  
Correspondence

Hi,

My name is Rebecca Byron and I am a resident in the Fox Hollow neighborhood.

My MAJOR concern for the submitted mixed-use project is the entrance on 200 North. This is already a very cluttered road a lot of the time because of the town home residents parking on the street. When there is someone parked on the street, it is a VERY tight fit for two passing cars. If there is a school bus (which our neighborhood has two to accommodate special needs kids in our neighborhood) it is impossible for two cars plus a parked car to go past each other. On top of that, we have NO exit or entrance to our neighborhood besides this road. It will increase traffic on our streets that our kids play on because most people won't know there is no other exit. It will be a major disruption to our quiet little neighborhood.

IF there is nothing we can do about this ridiculous project going in, at the very least you need to NOT have an entrance on 200 North. OR widen 200 North to accommodate parked cars as well as through traffic.

I would like to know what businesses this builder anticipates coming to this development? I predict a lot of these spaces staying empty for months and months or never getting filled. I don't hear a lot of businesses chomping at the bit to come to Mapleton. I don't see how this project aligns with Mapleton's motto of SMALL TOWN, big heart. Putting in a large business complex like this says NOTHING to small town. If we had the power to say we don't want it at all, then that would be my choice.

Rebecca Byron



**Item:**

4

**REQUEST**

Consideration of a request to operate a residential facility for persons with a disability in a condominium unit located in the PD-3 zone.

**Date:**

11/13/25

**BACKGROUND & DESCRIPTION**

The project site is a three-bedroom condominium unit located in the Harmony Ridge subdivision. The applicant desires to establish a residential treatment facility designed to support adults with intellectual and learning disabilities. According to the applicant, the facility provides residential housing, assistance with meals and medication management, and skills training. The maximum number of residents that will occupy the unit is three. This is not a drug rehabilitation facility.

**Applicant:**

Freedom Group Homes

**Location:**

4688 S 710 W, Unit J102

**Prepared By:**

Sean Conroy, Community  
Development Director

**EVALUATION**

**Federal & State Code:** The Federal Fair Housing Amendments Act of 1988 (FHA) prohibits discrimination based on race, color, religion, sex, national origin, disability or family status. Under the FHA, a person with a disability is *"any person who has a physical or mental impairment that substantially limits one or more major life activities; has a record of such impairment; or is regarded as having such an impairment."* The residents that will be housed in this facility are considered disabled according to the FHA.

**Public Hearing:**

No

**Zone:**

PD-3

Utah Code Section 10-9a-520 indicates that the State Department of Health and Human Services is primary responsibility to license and monitor residential facilities for persons with a disability.

**Attachments**

1. Application information.

**City Code:** Mapleton City Code (MCC) chapter 18.84.370 outlines the City's requirements for residential facilities, which is outlined below in italics followed by a brief staff response:

- a. Permitted Use: A residential facility for persons with a disability is a permitted use in any zone where similar residential dwellings that are not residential facilities with a disability are allowed.*

**Response:** The subject property is located in a residential zone, and the proposed use is considered permitted.

*Recommendation; Approval: Prior to commencing the maintenance or operations of a residential facility for persons with a disability, the owner/operator of such a facility must first obtain a recommendation from the planning commission and final approval from the city council. In order to obtain such approval, the owner/operator of the facility must establish that:*

- (1) The facility complies with existing zoning regulation for the desired location, including:*

*(A) Compliance with building, safety, and health regulations applicable to similar structures permitted within the zone, including obtaining permits relating thereto;*

Response: The existing condo unit complies with the PD-3 zone and received a building permit and certificate of occupancy earlier this year. The applicant is not proposing any modifications to the unit that require additional permits.

*(B) Compliance with site development standards including parking, traffic, landscape, utility use, and other standards applicable to similar structures permitted within the zone without structural or landscape alterations that would fundamentally change the structure's residential character and/or nature;*

Response: The condo is in compliance with residential development standards for parking, landscaping and utility use.

*(C) Compliance with zoning requirements limiting the maximum number of unrelated occupants that are applicable to similar structures permitted within the zone.*

Response: MCC chapter 18.08 allows up to four unrelated individuals to occupy a single-family dwelling unit. The applicant is proposing no more than three unrelated occupants.

*(2) The facility has obtained and maintains appropriate state agency licensure for the facility, as provided herein;*

Response: The applicant is a licensed operator and will require a final inspection from the Department of Health and Human Services for the facility.

*(3) Placement of disabled individuals in the facility shall be on a strictly voluntary basis and a part of, or in lieu of, confinement, rehabilitation, or treatment in a correctional facility;*

Response: The application complies with this requirement.

*(4) No individual shall be admitted to the facility as a resident who has a history of criminal conviction, is a convicted sex offender, has been convicted of selling or manufacturing illegal drugs, is currently using drugs or alcohol, and/or who is a direct threat to the health and safety of other individuals and/or of causing substantial physical damage to the property of others. In determining whether proposed residents are likely to represent a direct threat as outlined above, the planning commission and city council shall consider, on the basis of objective evidence:*

*(A) The nature, duration, and severity of the risk;*

*(B) The probability that potential injury will actually occur; and*

*(C) Whether reasonable modifications of policies, practices, or procedures or the provision of auxiliary aids or services will mitigate the risk;*

Response: The applicant is required to screen individuals to ensure compliance with these provisions. Based on the nature of the disabilities the facility focuses on, it is not anticipated that any of the residents will have criminal records or be a danger to others.

*(5) The residential facility will not fundamentally alter the character and nature of the subject residential neighborhood.*

Response: The applicant is not proposing any changes to the condo unit, and the number of occupants is fewer than the maximum allowable of four. The occupants do not drive, so the only vehicle traffic will be by the employees. The facility should not alter the character of the neighborhood.

The HOA has also reviewed the application and does not oppose the proposed use.

## **RECOMMENDATION**

Recommend approval of the permit to the City Council with the following special conditions:

1. The applicant shall provide evidence to the City that it has received proper approvals from the Department of Health and Human Services.
2. The applicant shall screen all occupants to ensure compliance with MCC Section 18.84.370.C.4.
3. The applicant shall pass a Mapleton City fire inspection.





Project Location



Freedom Group Homes  
4688 South 710 West J102 Mapleton Utah.  
(801) 921-2871  
Freedomgrouphomes@gmail.com  
10/24/25

Mapleton City Planning Department,  
RE: Application for Residential Care Facility – Freedom Group Homes  
Property Address: 4688 South 710 West J102 Mapleton Utah.

Dear Planning Commission and City Council Members,  
Thank you for the opportunity to submit this application for a Residential Care Facility. Freedom Group Homes proposes to establish a group home at the subject property, providing a supportive and structured living environment for 3 adult residents with intellectual and developmental disabilities.

This letter outlines our proposed use and demonstrates how it will comply with Mapleton City Code (MCC) Chapter 18.84.370.B.

1. Description of Proposed Use:

Freedom Group Homes will operate as a state-licensed residential care facility. Our mission is to provide a safe, stable, and family-like environment where residents can develop life skills, achieve personal goals, and integrate into the community. The home will:

- House a maximum of 3 residents and provide 24/7 supervision by trained staff.
- Offer services including, but not limited to, medication management, meal preparation, life skills training, and transportation to employment, appointments, and community activities.
- Be a single-family-style residence where residents live together as a functional household unit, not as a transient lodging or medical facility.

2. Compliance with MCC Chapter 18.84.370.B:

We have reviewed the code and confirm our operation will adhere to all requirements:

- A. Licensing: We have and will maintain all required licenses from the State of Utah's Department of Health and/or Department of Human Services prior to operation and will provide proof of such licensing to the city.
- B. Separation: The proposed facility location meets the code's requirement for separation from other similar facilities. A map is provided with our application for your review. [**\*\*You must confirm this is true based on your research of other facilities in the area\*\***].
- C. Occupancy & Supervision: The home will house no more than 3 residents. Qualified staff will be on-site 24 hours a day to provide supervision and support.
- D. Parking: The site plan shows that adequate off-street parking will be provided for both residents and staff, in full compliance with city standards. We will ensure all vehicles associated with the home are parked on-site.
- E. Non-Disruption: Our facility is designed to be a quiet, positive member of the neighborhood. We will implement policies to manage noise, traffic, and visitor hours to ensure we do not disrupt the residential character of the area. There will be no external alterations to the home that make it appear institutional.

3. Community Integration:

Freedom Group Homes is committed to being a good neighbor. Our residents will be encouraged to participate in community events, utilize local parks and businesses, and contribute positively to the neighborhood. The facility will be maintained to the highest standard, preserving and enhancing the property's value and appearance.

We believe this facility fulfills a critical community need while fully complying with all city regulations. We are eager to present our plans to the Planning Commission on November 13, 2025, and are available to answer any questions.

Sincerely,  
Salaevalu Savaiinaea  
Owner/Operator, Freedom Group Homes

# B First Level



Abby



1,336

total

sq.ft.

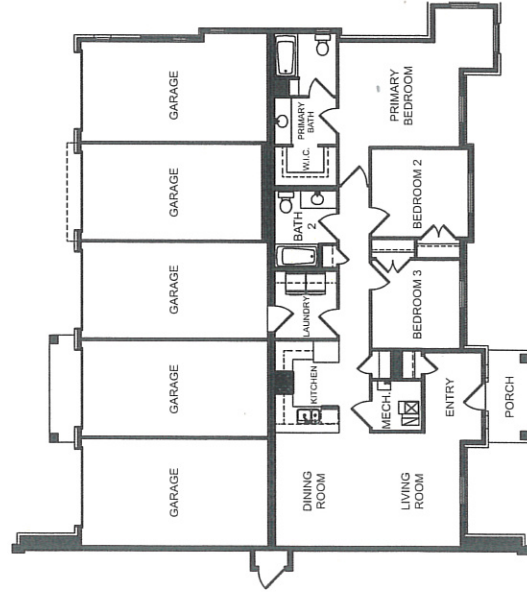


3



2

## FIRST FLOOR



## SPECIFICATIONS

Total Sq. Ft. 1,336 sq.ft.

Bedrooms 3

Bathrooms 2