



SDA-25-004

PLANNING DIRECTORS' MEETING STAFF REPORT

Date: November 18, 2025
Re: Subdivision Amendment -The Woods at Rosecrest P.U.D. Subdivision

Property Address: 2477 East 3225 South (approx.)
Zone: R-1-6

Applicant: Woods at Rosecrest Homeowner's Association
Prepared By: Brad Sanderson, AICP

Scope of Decision: Administrative. This is an administrative matter, to be decided by the Millcreek Planning Director. The decision should be narrow in scope and should primarily be made on the basis of state statute and adopted local zoning land use development codes.

REQUEST AND SYNOPSIS

Nan Bassett, on behalf of The Woods at Rosecrest Homeowner's Association, has filed an application to amend the Woods at Rosecrest P.U.D. Subdivision, with the following proposed amendments:

- 1) Removal of the Planned Unit Development (P.U.D.) designation,
- 2) Removal of the open space designation on a certain parcel,
- 3) The consolidation of the same 2,539 square foot open space parcel with the adjoining Lot 8,
- 4) Removal of original Lots 1, 2, & 10 from the original subdivision and,
- 5) Minor adjustments between several individual lots within the boundaries of the subdivision.

The Woods at Rosecrest P.U.D. Subdivision was originally approved in 2014 as a Planned Unit Development by means of a Subdivision and Conditional Use Permit application, by the Millcreek Township Planning Commission, prior to Millcreek's incorporation as a city. The Subdivision was recently rezoned in September 2025, from the R-1-8 Zone to the R-1-6 Zone which allows the zoning and actual lot sizes (7,000 +) to better coincide with each other. Now that all lots meet or exceed the minimum lot size requirements per the R-1-6 Zone, the removal of the open space and P.U.D. designation, among other items, can now be considered.

FINDINGS:

1. As of a recent code update, in 2025, “The Planning Director can now review, and approve Subdivision Amendment for Minor Plat Adjustments. The Planning Director shall allow such modifications according to the criteria listed within this Section [MKZ 18.15.020.D.4]”.
2. All ten of the property owners, including the homeowner’s association, have provided signed and notarized affidavits, affirming their support for the proposed rezone to the R-1-6 Zone.
3. Until recently, Planned Unit Developments (P.U.D.s) were widely used within counties and municipalities, as a tool to create cluster lot layouts, private/narrower roadways, and reduced lot sizes, lot coverages, setbacks, in exchange for a higher quality of architecture and/or to create and preserve open space and other amenities areas.
4. Based upon the limited information available, the Woods at Rosecrest P.U.D. Subdivision appears to have been approved with the following criteria and/or exceptions:
 - a. Reduced lot sizes – approximately 7,000 square feet
 - b. Reduced lot widths – between 45-65 feet
 - c. Reduced setbacks – setbacks were measured from property line instead of center line or closest edge of right of way
 - d. Reduced guest parking – (four total on-street parking spaces)
 - e. Private Roads – road with reduced road standards and width
 - f. Private open space area
5. The Subdivision contains ten (10) individual residential lots plus one open space parcel approximately 2,539 square feet in size.
6. Due to the larger lot size, Lot 10 was intentionally excluded from the rezone because of its potential to further subdivide if granted the R-1-6 Zone. Furthermore, Lot 10 does not have any direct access to the private roads or other private amenities.
7. In no case were PUDs allowed to increase density.
8. P.U.D.s were commonly approved by way of a conditional use permit to ensure compliance.
9. Each lot currently exceeds the 6,000 square-foot minimum lot size requirements.
10. Each home built appears to have off-street guest parking in the form of a private driveway.
11. P.U.D. language was removed from Millcreek’s code as part of the recent code update.
12. All but one of the lots has had a structure built on it.
13. The HOA will need to be amended and remain in place as all roads within the subdivision are privately owned in common. Because the roads are privately owned, they may be sub-standard in width and design, causing them to remain in private ownership.
14. No new development or further subdivision of property is being proposed as part of this application.
15. According to MKZ 18.15.020.D.4, the Planning Director shall approve the request if:
 - a. The amended plat is in substantial conformance with the original approved subdivision.
 - b. The amended subdivision does not increase the number of lots or parcels or create new lots or parcels.
 - c. The amended subdivision does not eliminate or move a recorded easement without the prior approval of the easement holder.
 - d. The amended subdivision will not create any nonconformities or increase the degree of nonconformity of any existing structure or use.
 - e. The amended plat complies with all other applicable requirements of this Code, Utah Code Section 10-9a-608, and regulations and standards.
 - f. All proposed vacations, alterations or amendments of subdivision plats must meet the review requirements outlined in this chapter and the requirements of the individual zone in which the subdivision is proposed.

CONCLUSIONS:

1. Since the removal of the PUD code, amending the PUD requirements is no longer a viable option since lot sizes were only allowed to be reduced through the PUD ordinance.
2. Since no new layout or improvements are being proposed, the amended plat would therefore be in substantial conformance with the original approved subdivision.
3. The proposal does not increase the number of lots or parcels or create new lots or parcels.
4. The proposal does not eliminate or move a recorded easement without the prior approval of the easement holder.
5. The proposal will not further create any nonconformities or increase the degree of nonconformity of any existing structure or use.
6. Based on staff's review, the proposed amended plat complies with all other applicable requirements of the Millcreek subdivision amendment code, Utah Code Section 10-9a-608, and regulations and standards.

PLANNING STAFF RECOMMENDATIONS

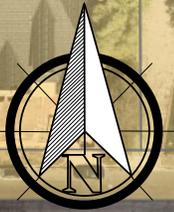
Millcreek Staff:

Based on the findings and conclusions listed above, Staff recommends that the Planning Director take comments at a public hearing and approve the amended plat for the Woods at Rosecrest PUD Subdivision, as proposed.

SUPPORTING DOCUMENTS

- **Zoning/Location Map**
- **The Woods at Rosecrest PUD Subdivision Plat (recorded 2014)**
- **The Woods at Rosecrest Subdivision Plat Amendment (proposed)**
- **PUD & CUP Approval (Millcreek Township Planning Commission Approval 2013)**

Zoning Map



Lambourne Ave

Lambourne Ave

Two-Household Residential (R-2-8)

Single-Household Residential (R-1-8)

Young Haven Cir.

Walnut Park Ct

Subject Area

Harmony Cir.

3225 S

3225 South

3225 S

3225 S

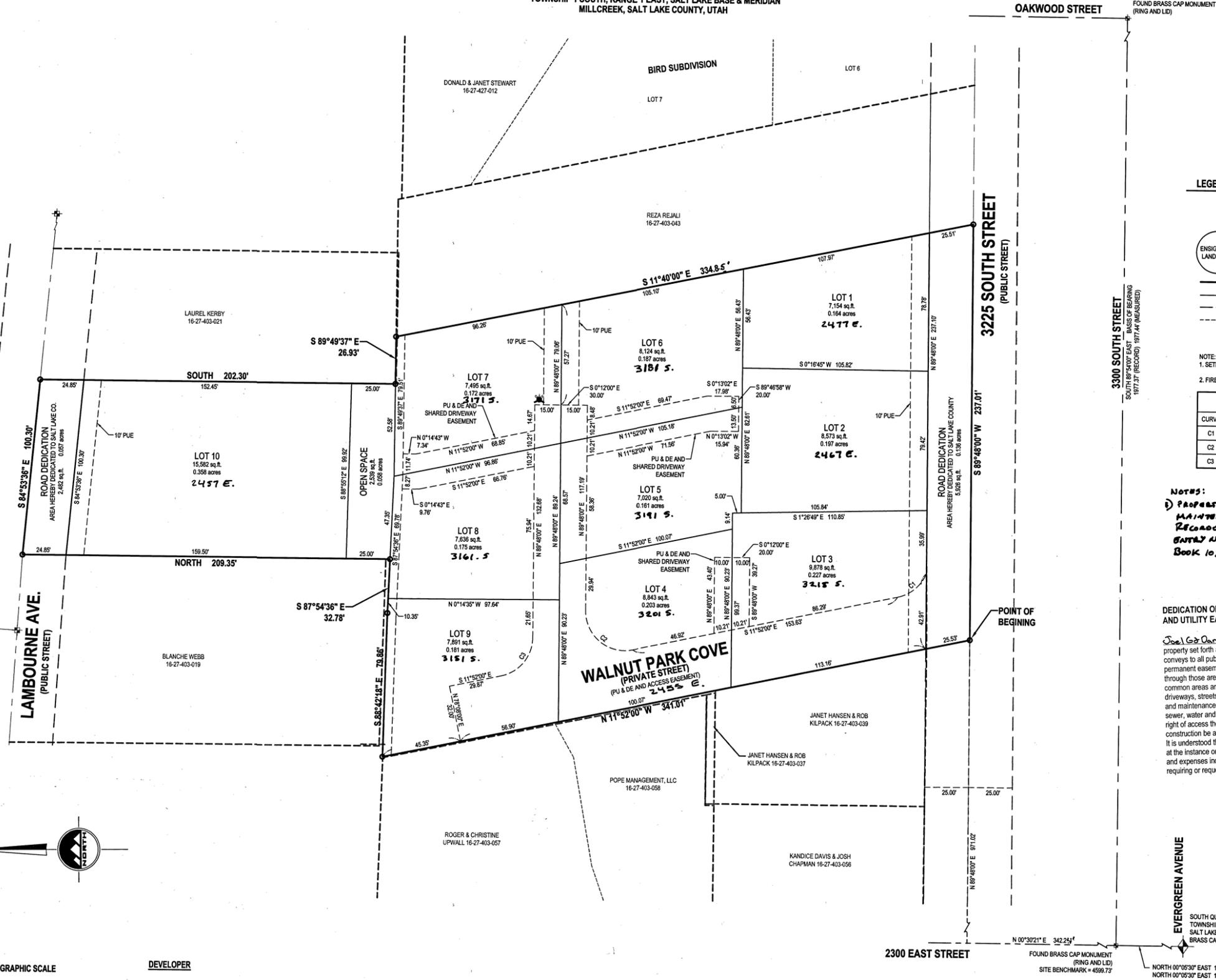
Single-Household Residential (R-1-8)

< Tue Apr 22 2025 >



THE WOODS AT ROSECREST P.U.D. SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27,
TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
MILLCREEK, SALT LAKE COUNTY, UTAH



LEGEND

- EXISTING STREET MONUMENT
- PROPOSED STREET MONUMENT
- SECTION CORNER
- ENGIN' ENCL. LAND SURV.
- BOUNDARY LINE
- SECTION LINE
- CENTER LINE
- EASEMENT LINE
- PU & DE PUBLIC UTILITY AND DRAINAGE EASEMENT
- PROPOSED FIRE HYDRANT

NOTE:
1. SETBACKS ARE BASED UPON THE APPROVED SITE PLAN.
2. FIRE TURNAROUND MUST REMAIN OPEN AT ALL TIMES.

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	22.50'	22.12'	56°19'10"	S40°01'35"E	21.24'
C2	22.50'	39.92'	101°40'00"	S38°58'00"W	34.89'
C3	22.50'	30.78'	78°20'00"	S51°02'00"E	28.42'

NOTES:
1. PROPERTY SUBJECT TO A STREAM WATER MAINTENANCE AGREEMENT RECORDED JULY 9, 2014 ENTRY NO. 16878558 BOOK 10244 PAGE 3830

DEDICATION OF COMMON AREA AND UTILITY EASEMENTS
Joel & Danielle M. Peterson, Thoronder, LLC
The undersigned owner of the property set forth and described in this plat, hereby offers and conveys to all public utility agencies, their successors and assigns, a permanent easement and right of way over, under, across, and through those areas designated on this plat as public roadways, common areas and limited common areas (including private driveways, streets or lanes) or utility easements for the construction and maintenance of subterranean electrical, telephone, natural gas, sewer, water and drainage lines and appurtenances, together with the right of access thereto, which would require that no surface construction be allowed which would interfere with normal utility use. It is understood that if it becomes necessary to relocate said utilities at the instance or request of any public utility or the owner, the costs and expenses incurred thereby will be borne by the owner or the utility requiring or requesting the same.

SURVEYOR'S CERTIFICATE
I, PATRICK M. HARRIS do hereby certify that I am a Licensed Land Surveyor, and that I hold Certificate No. 28682 as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereinafter to be known as THE WOODS AT ROSECREST P.U.D. SUBDIVISION, and that the same has been correctly surveyed and staked on the ground as shown on the plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION
Beginning at a point said point being North 00°30'21" East 342.24 feet along the center line of 2300 East Street and North 89°48'00" East 971.02 feet from a found street monument at the intersection of 3300 South Street and said 2300 East Street, said street monument being North 00°05'30" East 1145.40 feet from the South Quarter Corner of Section 27, Township 1 South, Range 1 East, Salt Lake Base and Meridian; and running
thence North 11°52'00" West 341.01 feet to and along the east line to the Northeast Corner of Young Haven Circle Subdivision, Book V, Page 83 of official records on file in the Office of the Salt Lake County Recorder;
thence South 89°42'18" East 79.96 feet;
thence South 87°54'38" East 32.79 feet;
thence North 209.35 feet;
thence South 84°53'38" East 100.30 feet;
thence South 202.30 feet;
thence South 89°49'27" East 26.93 feet;
thence South 11°40'00" East 334.85 feet;
thence South 89°48'00" West 237.01 feet to the point of beginning.

Contains 98,146 square feet or 2.276 acres and 10 Lots
Date: Sept 25, 2014
Signature: [Signature]
PATRICK M. HARRIS
P.L.S. 28682

OWNER'S DEDICATION
Known all men by these presents that I/we, the undersigned owner (s) of the above described tract of land, having caused same to be subdivided, hereinafter known as

THE WOODS AT ROSECREST P.U.D. SUBDIVISION

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public use. Owner(s) hereby agree to warrant and defend and save the City harmless against any easements or other encumbrance on a dedicated street which will interfere with the City's use, maintenance, and operation of the street.

In witness whereof I/we have hereunto set our hand (s) this 27 day of March, A.D. 2014
By: [Signature]
By: [Signature]
By: Russell F. Sorenson, Manager, Thoronder, LLC

INDIVIDUAL ACKNOWLEDGMENT
STATE OF UTAH, County of Salt Lake
On the 27 day of March, A.D. 2014, Joel & Danielle Peterson and Danielle Peterson personally appeared before me, the undersigned Notary Public, in and for said County of Salt Lake, in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication, 2 in number, freely and voluntarily for the purposes therein mentioned.
MY COMMISSION EXPIRES: 6-9-15
NOTARY PUBLIC RESIDING IN Salt Lake COUNTY.

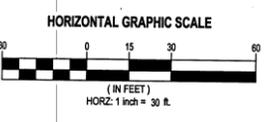
CORPORATE ACKNOWLEDGMENT
STATE OF UTAH, County of Salt Lake
On the _____ day of _____, A.D. 20____, personally appeared before me _____, the signer of the foregoing instrument, who duly acknowledged to me that he/she is the _____ of _____, a Utah Corporation, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.
MY COMMISSION EXPIRES: _____
NOTARY PUBLIC RESIDING IN _____ COUNTY.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT
STATE OF UTAH, County of Salt Lake
On the 29th day of September, A.D. 2014, personally appeared before me Russell F. Sorenson, the signer of the foregoing instrument, who duly acknowledged to me that he/she is a Manager of Thoronder, LLC, a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.
MY COMMISSION EXPIRES: 6/11/2018
Joel & Danielle Peterson RESIDING IN Salt Lake COUNTY.
NOTARY PUBLIC #677231

THE WOODS AT ROSECREST P.U.D. SUBDIVISION
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN MILLCREEK, SALT LAKE COUNTY, UTAH

RECORDED # 11922733

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: Thoronder LLC
DATE: 10/11/2014 TIME: 11:31am BOOK: 2014P PAGE: 253
FEE: \$42.00
DEPUTY SALT LAKE COUNTY RECORDER: [Signature]



DEVELOPER

ENSIGN
SALT LAKE CITY
45 West 10000 South Suite 500
Sandy, UT 84070
Phone: 801.547.1100
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSIGNUTAH.COM

LAYTON
Phone: 801.547.1100
TOOLE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.865.1453

SHEET 1 OF 1
PROJECT NUMBER: 5725
MANAGER: JKF
DRAWN BY: KFW
CHECKED BY: PMH
DATE: 3/27/14

SURVEY RECORDING DATA
DATE: 03-24-2014
DRAWING NO. S2014-030127

Checked for Zoning Compliance
ZONE: R-1-B LOT AREA: *
SIDE YARD: * FRONT YARD: *
REAR YARD: *

DATE: 9/26/14 SIGNATURE: [Signature]

PLANNING COMMISSION
APPROVED THIS 20 DAY OF July 2014
BY THE SALT LAKE COUNTY PLANNING COMMISSION.
[Signature]

HEALTH
APPROVED THIS 3rd DAY OF July 2014
[Signature]
SALT LAKE VALLEY HEALTH DEPARTMENT

PLAN CHECK
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAN AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
DATE: 9-29-14 SIGNATURE: [Signature]
PLAN REVIEW SECTION MANAGER

ADDRESS FRONTAGE APPROVED
DATE: 9-26-14 SIGNED: [Signature]

UNIFIED FIRE AUTHORITY APPROVAL
DATE: 9-24-14 SIGNED: [Signature]

APPROVAL AS TO FORM
APPROVED THIS 30th DAY OF September 2014
[Signature]
SALT LAKE COUNTY DISTRICT ATTORNEY

SALT LAKE COUNTY MAYOR APPROVAL
PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS 30 DAY OF SEP, A.D. 2014, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
[Signature]
MAYOR, OR DESIGNEE



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wed. December 11, 2013	04:00 PM	File No:	2	8	6	0	7	
Applicant Name:	Russ Sorensen	Request:	Conditional Use						
Description:	Planned Unit Development								
Location:	2455 East 3225 South								
Zone:	R-1-8 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Continue								
Staff Recommendation:	Approval with Conditions								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

The applicant is requesting Conditional Use and Preliminary Plat approval of a 10 lot PUD subdivision. Details of the proposal are outlined in the Zoning Analysis Table in this report. The proposal includes 50% Open Space which includes a playground and picnic area. Currently the property which occupies 2.27 acres has 4 single family homes. 3 of the 4 homes will remain and the additional 7 units are proposed as 7 new single family units.

Type of PUD - Single-Family PUD Subdivision

Number of Units/Lots & Density - 10 Units on 2.27 acres = 4.4 dwelling units per acre

Lot Sizes - Range approximately 7,000 to 15,500 square feet / 0.16 to 0.36 acres

Minimum Setbacks -

Development Boundary

Right of way: From 3225 East - 25 feet / From Lambourne Ave. - 30 feet. (measured on plans, existing setback)

Remaining Perimeter - All new structures set back a minimum of 15 feet from project perimeter.

Internal Setbacks

From back of curb - Buildings are very close to the proposed Walnut Park Cove along the west side of the development. Dimensions provided indicate that the homes are as close as 2 feet to the edge of the sidewalk or 6 feet from the back of curb with a 4 foot integrated sidewalk.

Between buildings - buildings are setback a minimum of 8' from the property line shared by another structure. Where there is a shared drive the range from 10 to 15 feet to the property line between buildings.

Recreational Facilities

The amenities are all located towards the center of the development, north of the new homes and are proposed on the south side of lot 10. The play structure and picnic pavilion are location in a dedicated common space area that is approximately 2,500 square feet.

Playground - Play Structure details provided

Picnic Areas - Example of structures provided.

Open Space - Total of 48,271 sq. ft. or 1.13 acres of open space -49% of development

Typical Architecture - See attached elevations. Essentially brick ramblers.

The elevations proposed are all under 28' in height.

Private Street - (Proposed Name - Walnut Park Cove)

Internal 25-foot wide Private Right-of-way owned in common (not part of the lots). With 5' integrated sidewalk along east side. The street then become a 20' paved surface with 5' of integrated sidewalk along each side as it turns heading east.

Public Street -

Dedication proposed to correct property alignment with right of way along both Lambourne Ave and 3225 S.

Cross Section/Improvements - Applicant proposes to add Sidewalk, Curb, Gutter and park-strip in the public right-of-way in front of the subject property. Engineering staff has initial concerns with the installation of the curb, gutter, and sidewalk along 3225 S. and will be working with the applicant through the technical review process to determine if the right of way improvements are appropriate or if they will require the applicant to pay into the highway fund in lieu of the improvements.

Parking

2 spaces in the garage of each home minimum (20 spaces);

Spaces provided in a few driveways (5 spaces);

2 spaces at end of drives near amenities dedicated to guest parking (4 spaces)

Total 29 spaces = 2.9 parking spaces per dwelling.

Property Info

Zoning - Subject property and surrounding area is zoned R-1-8, Single Family Residential, 8,000 square foot lots. Directly adjacent to the proposed development on the west are 7 homes that are zone R-2-8, Residential Two-Family 8,000 square foot minimum lot size.

Surrounding Land Use - The property is surrounded by single family homes with the exception of some duplex units that lie directly west of the property at the end of a cul-de-sac.

Property Size - The subject property is 2.276 acres.

Existing Improvements

The properties involved currently have 4 single family dwellings. Lambourne Avenue has curb and gutter, but no sidewalk along the south side of the street up until the project area. 3225 S. does not have curb, gutter, or sidewalk along the north side of the street. The south side of the street and the cul-de-sac to the east have curb gutter and sidewalk.

1.2 Hearing Body Action

This item is on the agenda for a final decision from the Millcreek Township Planning Commission.

1.3 Neighborhood Response

As of the date of this report, 11/27/2013, staff has not received any response from the neighborhood.

1.4 Community Council Response

The Canyon Rim Community Council heard this item at their meeting on November 19, 2013. Staff and the applicant were in attendance at the meeting. Concerns were raised during the discussion about the sidewalk and internal setbacks between the new homes. The Community Council approved a motion to approve the PUD as proposed and recommend that curb gutter and sidewalk be installed along 3225 S.

The applicant and staff left the meeting shortly after this item was discussed and an original motion had been passed. Before the meeting was adjourned, the motion previously passed was amended seeking a continuance to allow for more feedback from the community.

The following e-mail was received by staff from the Canyon Rim Community Council Chair describing the request:

...'My council had further discussions on the "Woods as Rosecrest" PUD and since our council is off in December CRCA voted to ask for a continuance from the planning and zoning commission so the citizens surrounding the area have a chance to voice their opinion on the matter before P&Z makes their ruling.

From what I remember the flyers were going to go out to residents around the 11th of December. That flyer will need to have January 21st, 2014 as the date of the next CRCA council meeting on it. P&Z's vote will need to be after Jan 21st in order to let the citizens approach CRCA on the conditional use.'

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		As proposed, with the approval of the planning commission as stated in 19.78.090 of the zoning ordinance, the setbacks, and height may be approved per the proposed site plan. The amount of parking meets and exceeds the usual standard of 2.25 stalls per unit. The development appears to be able to meet and shall apply with all other applicable provisions of the zoning ordinance prior to final approval including landscaping requirements.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		As proposed the plan appears to comply with all other applicable laws and ordinance. The technical review process by staff will require verification of compliance with these items prior to final approval. Summary:
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Lots 1, 4, 5, 6, 8, and 9 have side load garages that show a very tight turn radius. There are initial concerns that as proposed there may be issues turning into the garages proposed, however it is not impossible and the applicant may provide documentation to demonstrate that the current layout is appropriate.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Preliminary reviews by Geology indicate that there are no mapped geologic hazards at this location. However due to the projects size, a geotechnical report will be required and compliance with the findings must be demonstrated for final approvals from staff. The final storm drain details will require approval through the technical review, this issue has been considered but the actual design is in discussion with engineering and shall be required to meet their standards prior to final approval.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		The proposed use and plan creates homes that fit within the Residential compatibility overlay zone building envelope that will help create home similar in size and scale to the existing single family homes in the area. The use consisting of single family homes is compatible with the single and two-family homes in the area.

2.2 Zoning Requirements

The following is a summary comparing the zoning requirements and the proposal from the applicant. The table also indicates whether or not the provision meets, exceeds, doesn't comply, or would need approval under this PUD Conditional Use application. Some items in the zoning regulations can be modified through PUD approval, others cannot. For example, the Commission cannot approve density higher than the maximum allowed in the underlying zone; approves land uses not listed in the underlying zone; or approved exceptions from County Roadway Standards on public streets. Setbacks, Architecture, layout, minim lot size, recreational facilities and open space can be modified under a PUD. A maximum density can also be set as long as it does not exceed the maximum allowed in the zone.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
Minimum PUD Project Area	R-1-8 zones: 1- Acre	2.27 acres	<u>Exceeds Standard</u>
R-1-8 Maximum Density	4.5 units per acre	4.4 units per acre	<u>Meets Standard</u>
Lot Dimensions			
*Minimum Area	8,000 square feet	Lots range between approximately 7,000 to 15,500 sq. ft.	Needs PUD Approval (proposed sizes are reflective of proposed building footprints)
*Minimum Width	65 feet at 25-foot setback	<u>Estimated:</u> 45 to 65 feet	Needs PUD Approval
Recreational Facilities			
Quantity	2	2	<u>Meets Standard</u>
Type	Playground 1,000 sq. ft. w/play equipment, PLUS Two other per policy standards	Playground 1,000 sq. ft. Picnic Areas 500 sq. ft. –	<u>Meets Standard</u> (allows for 2% reduction in open space)
Open Space			
Types of Open Space	Landscape, Natural Areas, Recreational Areas, Yards, Patios	Playground, Picnic Area	<u>Meets Standard</u>
Percent of Site	50% (may be reduced to 42%)	50% (landscape plan indicates 49%... this does not count internal sidewalk as open space)	<u>Meets Standard</u>
Maximum Building Height	28 feet to ridge line per RCOZ (option B allows up to 33')	No elevations exceed 28 feet in height	<u>Meets Standard</u>
MINIMUM BUILDING SETBACK			
Project Perimeter			
East	15 feet - perimeter	15 feet. (existing detached garage within a couple feet. Would meet standards allowed for accessory structures).	<u>Meets Standard</u>
North	25 feet from Lambourne Ave. 15 feet from project perimeter	30 foot estimated setback from Lambourne Ave. (Existing) Perimeter - 15 foot minimum	<u>Meets Standard</u>

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
South	25 feet from 3225 South. Lot 1 has side yard facing 3225 South, side yard facing public street may have 20 foot setback.	25 foot minimum	<u>Meets Standard</u>
West	15 feet	35 foot minimum per private drive on west side	<u>Meets Standard</u>
Individual Lots			
*Front	25 feet	-Lots 4, 5, 8, and 9 have 20 foot front yard setbacks -Lots have an estimated 3 foot setback from closest point of structure to private drive. -Existing lots have 25 and 30 foot front yard setbacks.	Needs PUD Approval
Interior Side	8 feet (both 25% of lot width)	8 foot minimum, where homes share drive access sideyards range from 10 to 15 feetd	<u>Meets Standard</u>
Street Side	Side yard facing public street – 20 feet	This development does not include sideyards facing a public street except for lot 1 which has a 25' setback.	<u>Meets Standard</u>
Rear	15 feet with Garage	Estimated: 15 minimum	<u>Meets Standard</u>
Parking			
*Total	2 per dwelling + guest space (Qty. approved by PC)	2 per dwelling 4 guest 5 additional on lots	Needs PUD Approval
Per Unit	2 per dwelling	2 per dwelling in garage	<u>Meets Standard</u>
In Driveway	None, but can count towards guest parking	5 spaces which keeps shared access drives free from cars blocking access.	<u>Meets Standard</u>
*Guest (Not on the lots)	Determined by Planning Commission	4 off lot	Needs PUD Approval

2.3 Other Agency Recommendations or Requirements

Building Inspector:

Prior to building approval for the new subdivision planning file, will need to obtain permits to do one of the following options for buildings or structures that will have exterior walls or roof overhangs within 5' of the new property line locations.

Option 1 - obtain a building permit to demo the existing structure

Option 2 - obtain a building permit to address fire rated protection for the walls/openings/overhangs that are within this 5' protection area.

Once this issue has been resolved, conditional approval will be based on the following:

1. Building permits are required for the removal of existing structures.
2. Building permits are required for the construction of the new homes. Building permit is required for the homes. At time of building permit application, provide complete building plans showing compliance with current building code. At time of building permit application, provide fire flow verification and show how compliance is going to be made with any Unified Fire District Guidelines.

Geology:

Approved, no apparent or mapped geologic hazards at this site.

Grading:

- 1- Need to submit a copy of the Geotechnical Engineering report
- 2- Need to submit site grading and drainage plans
- 3- Need to show how the lot surface drainage will be maintained on the property or directed to an approved outlet.
- 4- Due to the size of the lot and disturbance to develop a SWPPP and NOI are required.
- 5- Need to submit a Stormwater maintenance agreement and stormwater management plan for review and recording against the property prior to final approval.
- 6- All site grading shall be completed under the Grading permit process administered through planning and development services.

Traffic:

1. Need to see plan and profile for curb, gutter, and sidewalk.
2. Driveways need to have clear dimensions site plan showing garage to driveway to indicate enough turn radius.
3. Deposit funds into highway fund for 3225 S.

Unified Fire Authority:

1. Site plan as shown works for UFA.

Urban Hydrology:

1. Need to route storm drain to approved Salt Lake County storm drain facility. 3300 S. or Lambourne if applicable
2. Please note that all irrigation, whether abandon of active must be shown on the plans. All Active

irrigation must be piped with 15-inch (minimum) RCP per SLC_o. ordinance #18.24.130.

3. Over 2 CFS must be piped.

4. Irrigation master to sign off on utility / drainage plan.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) Applicant to verify safe and appropriate turn radius for side load garages on shared drive. Must receive approval from traffic engineer for final drive access to all homes.
- 2) Setbacks as per preliminary plat shall remain as minimum required setbacks.
- 3) To comply with section 19.71.030 of RCOZ, final home designs shall demonstrate compliance with item 7: Mass and Scale. To avoid a large, continuous building mass of uniform height; no portion of any building shall continue more than forty feet horizontally without a minimum of an eighteen-inch break in the roofline or an architectural element such as an overhang, projection, inset, material and textural change to create shadow patterns along the elevation of the building. The elements required by this section are in addition to all other requirements under this Part.

3.2 Reasons for Recommendation

- 1) Proposal meets the majority of standards from the underlying zone, the remaining standards may be approved as proposed by the planning commission.
- 2) The development meets the criteria for a conditional use or appears to be able to comply with all the criteria before final approval.

3.3 Other Recommendations

- Applicant shall complete the technical review, preliminary plat, and final plat process with staff prior to recording.
- CC&Rs should reflect the inclusion of all homes, including existing homes to remain as part of PUD.

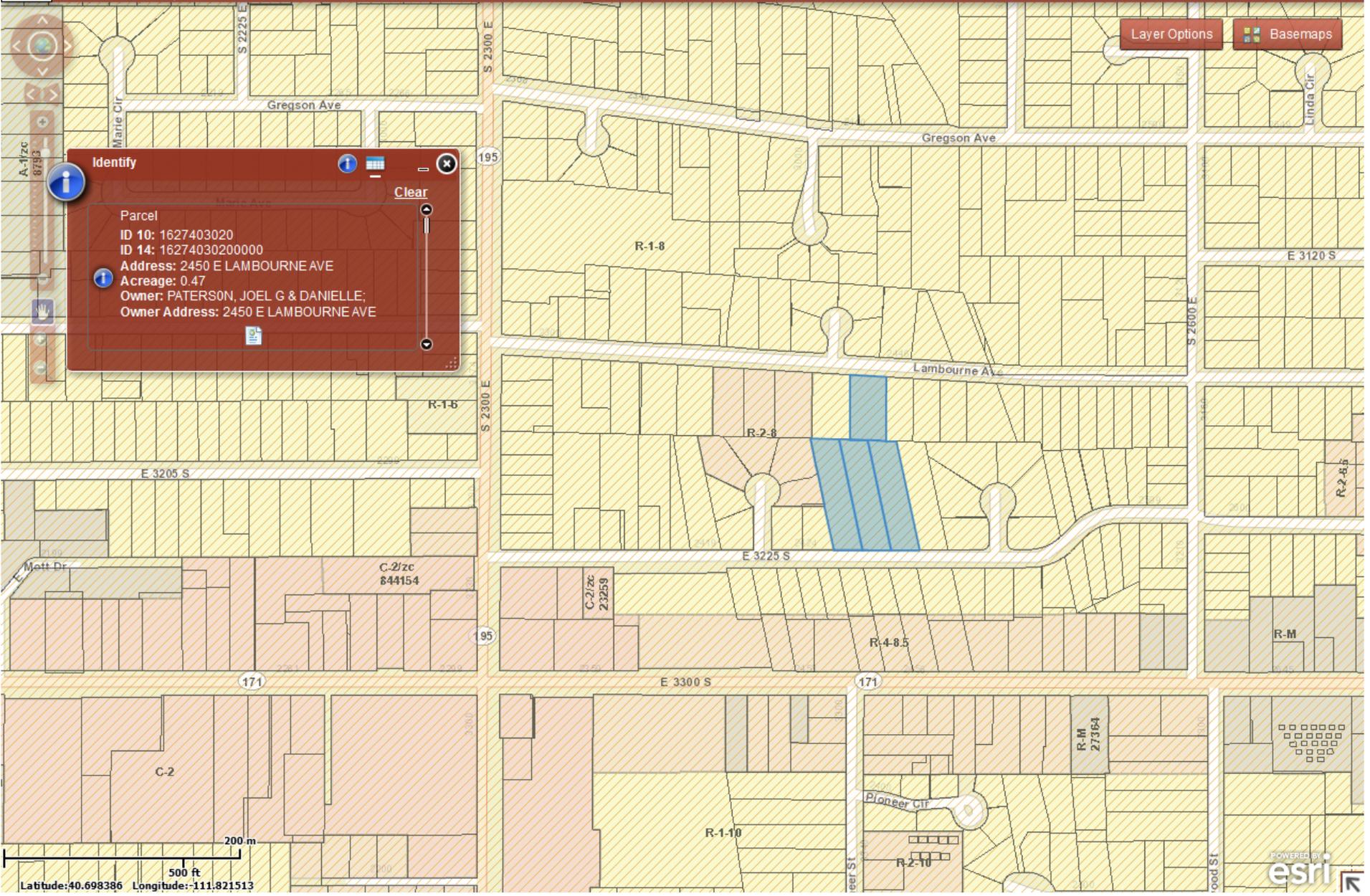


Layer Options Basemaps

Identify

Parcel
 ID 10: 1627403020
 ID 14: 16274030200000
 Address: 2450 E LAMBOURNE AVE
 Acreage: 0.47
 Owner: PATERSON, JOEL G & DANIELLE;
 Owner Address: 2450 E LAMBOURNE AVE

Clear





Layer Options

Basemaps

Identify

Clear

Parcel

ID 10: 1627403020
ID 14: 16274030200000
Address: 2450 E LAMBOURNE AVE

Acreage: 0.47
Owner: PATERSON, JOEL G & DANIELLE;
Owner Address: 2450 E LAMBOURNE AVE



9/18/2013 #28607



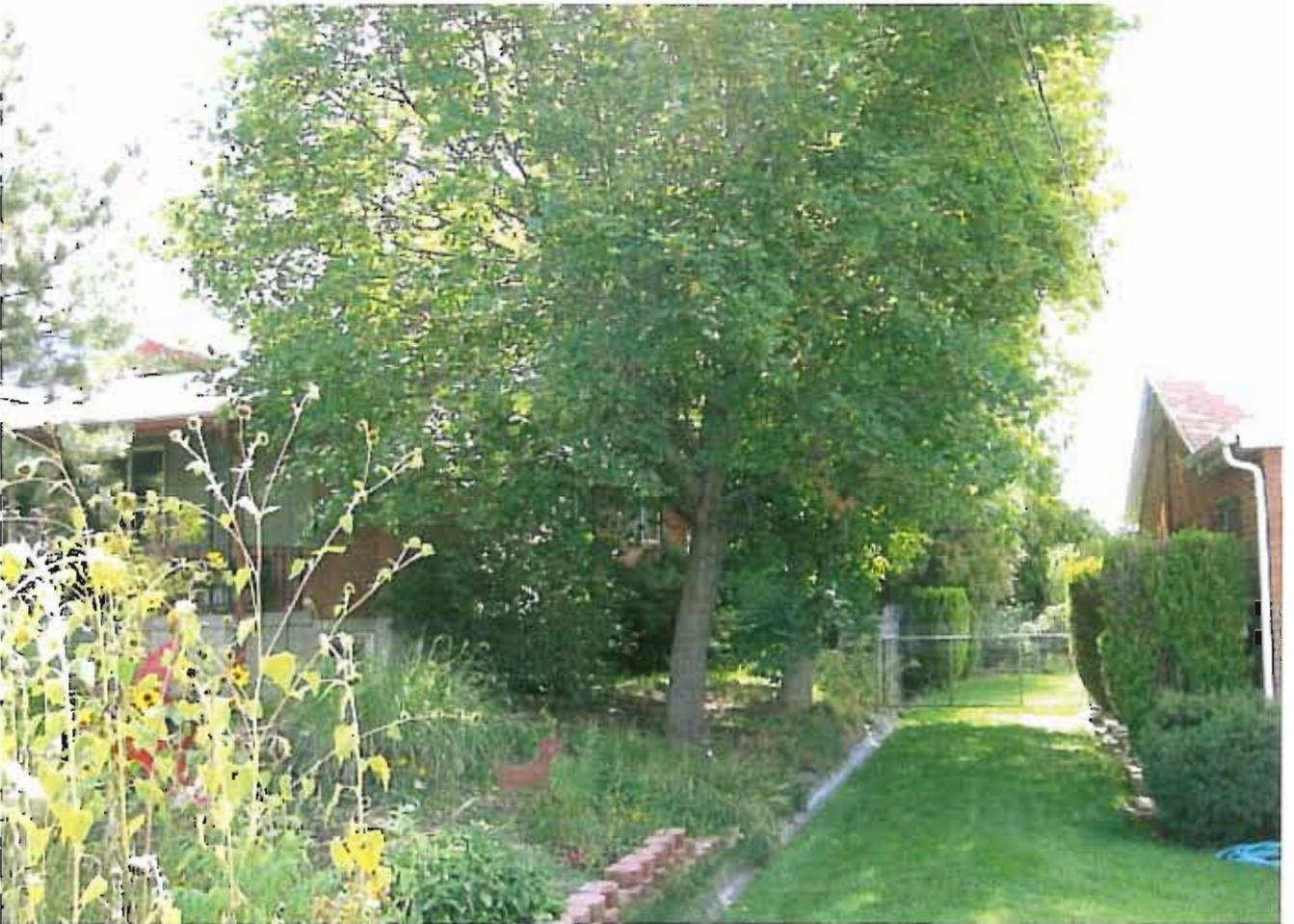


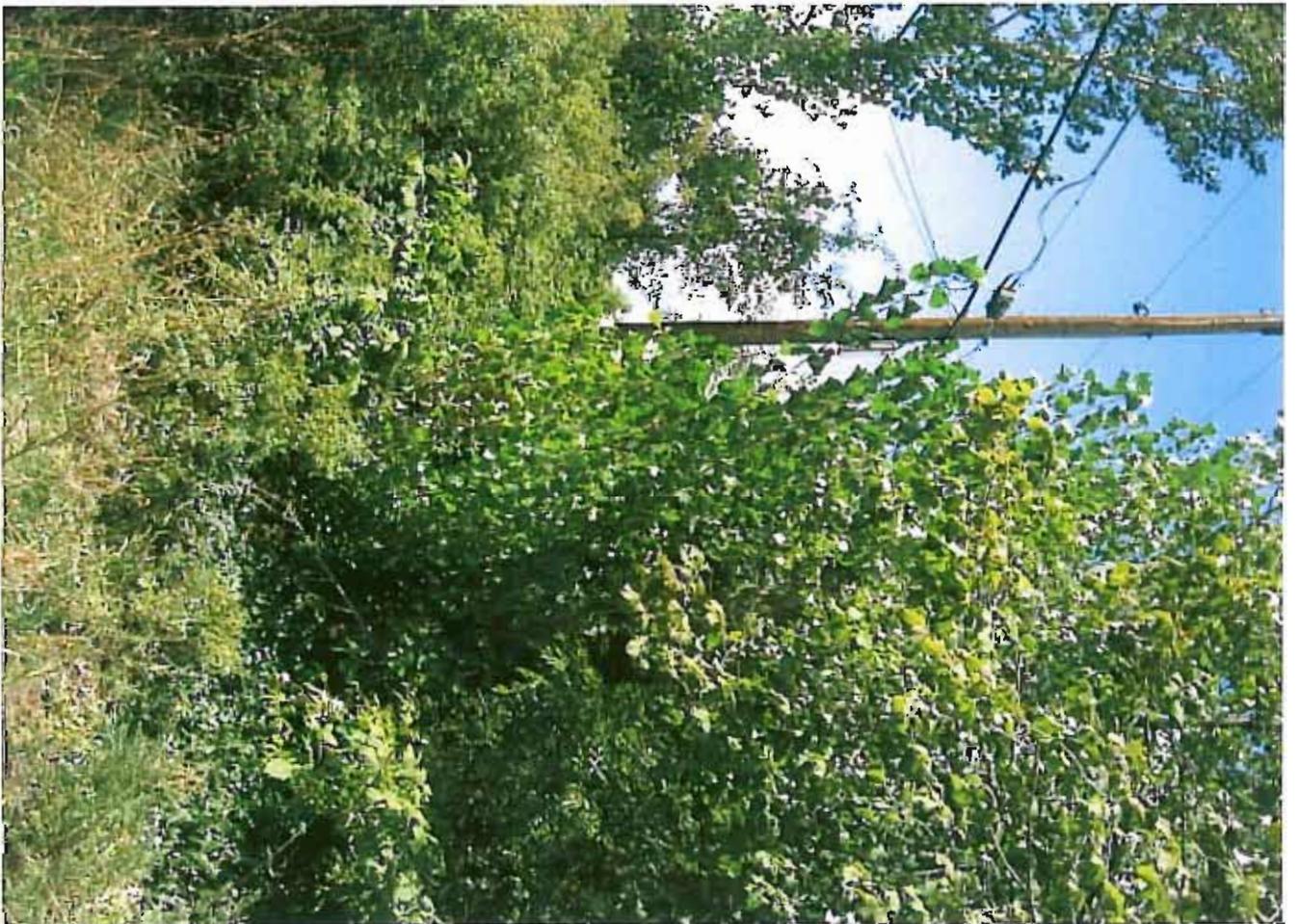




















THE WOODS AT ROSECREST P.U.D.

PRELIMINARY SUBMITTAL
2467 EAST 3225 SOUTH
MILLCREEK TOWNSHIP, SALT LAKE COUNTY, UTAH



THE WOODS AT ROSECREST P.U.D.
November 4, 2013

INDEX OF DRAWINGS

C-000	COVER SHEET
C-100	PRELIMINARY SUBDIVISION PLAT
C-200	PRELIMINARY GRADING PLAN
C-300	PRELIMINARY UTILITY AND DRAINAGE PLAN
L-100	PRELIMINARY LANDSCAPE PLAN
L-101	LOT TYPICAL, NOTES & DETAILS

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

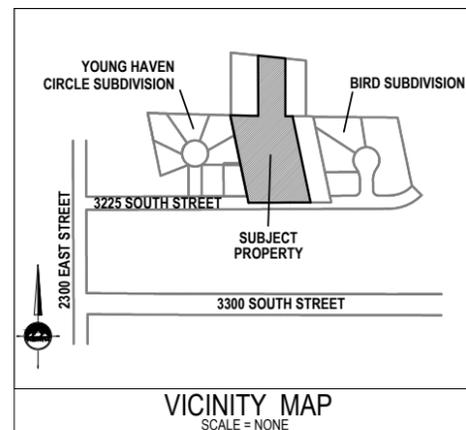
UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



GENERAL NOTES

1. CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
2. BENCHMARK: CENTERLINE ROAD MONUMENT LOCATED AT 3300 SOUTH AND 2300 EAST. ELEVATION = 4552.46
3. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH MT. OLYMPUS IMPROVEMENT DISTRICT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
4. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE CONSTRUCTING ANY IMPROVEMENTS.

ENGINEER/SURVEYOR:



SALT LAKE CITY
45 West 10000 South, Ste 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSIGNUTAH.COM

LAYTON
Phone: 801.547.1100
TOOELE
Phone: 435.843.3590

DEVELOPER

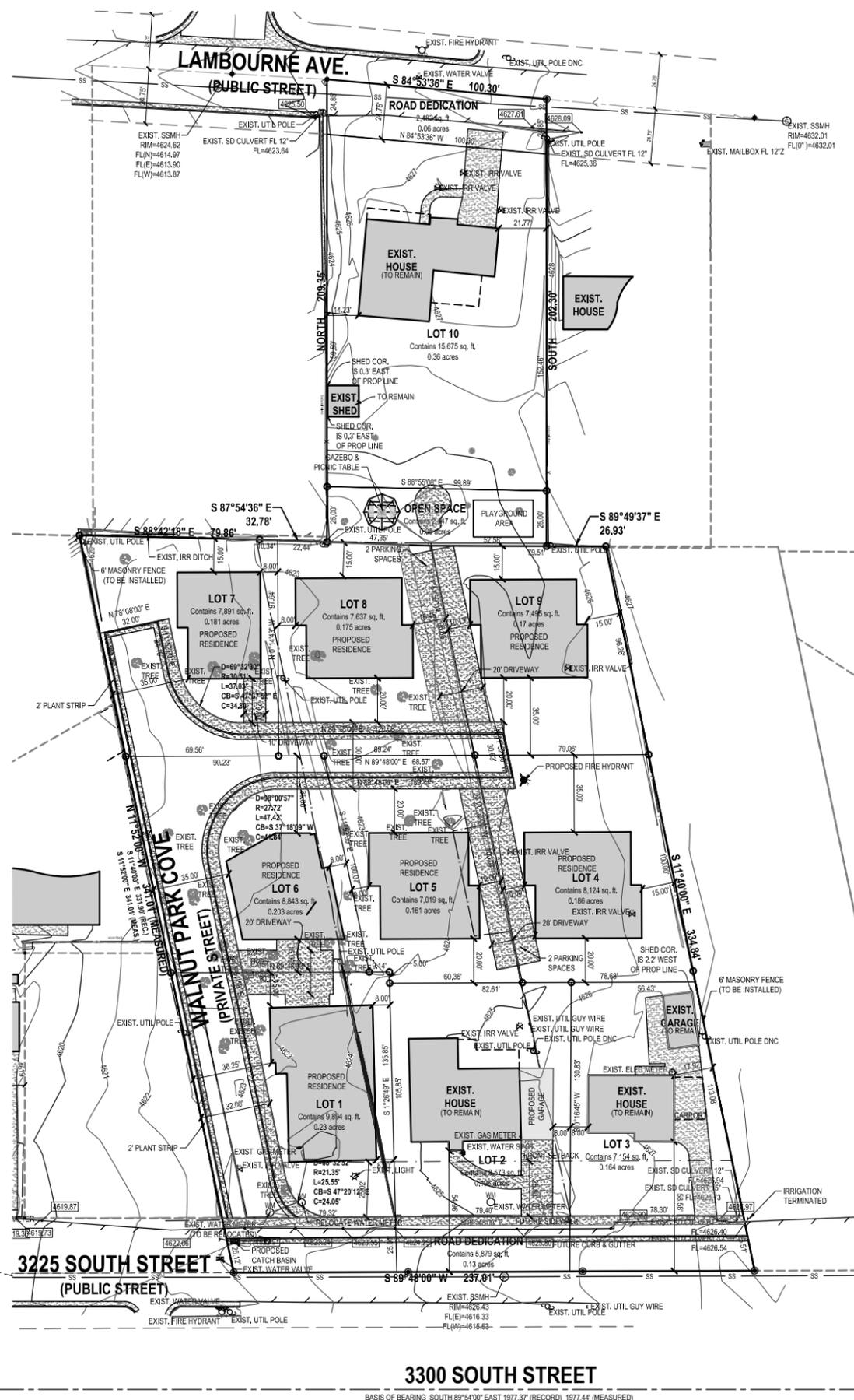
SOAR REALTY GROUP
3267 EAST 3300 SOUTH, SUITE 539
SALT LAKE CITY, UTAH 84109
RUSS SORENSON
(801) 301-4104



BENCHMARK
 CENTERLINE ROAD MONUMENT AT
 3300 SOUTH & 2300 EAST
 ELEVATION = 4599.73'

LEGEND

- | | | | |
|--|-------------------------------|--|-----------------------------|
| | SECTION CORNER (RING AND LID) | | MINOR CONTOURS 1' INCREMENT |
| | MONUMENT | | MAJOR CONTOURS 5' INCREMENT |
| | SET NAIL & WASHER | | CONCRETE |
| | SET ENSIGN REBAR AND CAP | | ADJACENT RIGHT OF WAY |
| | WATER METER | | RIGHT OF WAY |
| | WATER MANHOLE | | SECTION LINE |
| | WATER VALVE | | PROPERTY LINE |
| | FIRE HYDRANT | | ADJACENT PROPERTY LINE |
| | IRRIGATION VALVE | | DEED LINE |
| | SANITARY SEWER MANHOLE | | TANGENT LINE |
| | STORM DRAIN CLEAN OUT | | FENCE |
| | STORM DRAIN CATCH BASIN | | EDGE OF ASPHALT |
| | STORM DRAIN COMBO BOX | | SANITARY SEWER |
| | SIGN | | STORM DRAIN LINE |
| | UTILITY MANHOLE | | WATER LINE |
| | UTILITY POLE | | IRRIGATION LINE |
| | GAS METER | | TELEPHONE LINE |
| | GAS LINE | | OVERHEAD POWER |
| | BUILDABLE AREA SHADED | | |

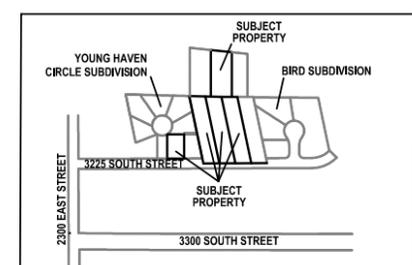


SURVEYOR'S NARRATIVE
 I, Patrick M. Harris, do hereby state that I am a Registered Professional Land Surveyor and that I hold certificate no. 266882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a Site Concept Plan to our client. The Basis of Bearing is the line between a found Street Monument at the Intersection of 3300 South Street and 2300 East Street and a found Street Monument at the Intersection of 3300 South Street and Oakwood Street measuring South 89°54'00" East 1977.44 (record) 1977.44 (measured).

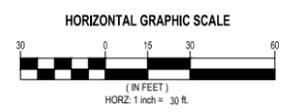
PROPERTY DESCRIPTION
 Beginning at a point said being North 00°30'21" East 342.24 feet along the center line of 2300 East Street and North 89°48'00" East 971.02 feet from a found Street Monument at the Intersection of 3300 South Street and said 2300 East Street and running:
 thence North 11°52'00" West 341.01 feet to and along the east line to the Northeast Corner of Young Haven Circle Subdivision, Book V, Page 83 of official records on file in the Office of the Salt Lake County Recorder;
 thence South 88°42'18" East 79.86 feet;
 thence South 87°54'36" East 32.78 feet;
 thence North 209.35 feet;
 thence South 84°53'36" East 100.30 feet;
 thence South 202.30 feet;
 thence South 89°49'37" East 26.93 feet;
 thence South 11°40'00" East 334.84 feet;
 thence South 89°48'00" West 237.01 feet to the point of beginning.
 Contains 99,146 square feet or 2.276 acres and 10 Lots.

Date _____ Patrick M. Harris
 License No. 266882

SITE DATA:
 HARD SURFACE/BUILDING AREA = 44,572 SQ. FT. (45%)
 OPEN SPACE/LANDSCAPE AREA = 54,574 SQ. FT. (55%)
 TOTAL AREA = 99,146 SQ. FT. (100%)



VICINITY MAP



LOCATED IN SECTION 27
 TOWNSHIP 1 SOUTH, RANGE 1 EAST,
 SALT LAKE CITY, SALT LAKE COUNTY, UTAH
 MILLCREEK TOWNSHIP



SALT LAKE CITY
 45 W. 10000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529
 Fax: 801.255.4449

LAYTON
 Phone: 801.547.1100

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.590.0187

WWW.ENSIGNUTAH.COM

FOR:
 SOAR REALTY GROUP
 3267 EAST 3300 SOUTH #539
 SALT LAKE CITY, UTAH 84109

CONTACT:
 RUSS SORENSON
 PHONE: 801-301-4104
 FAX:

**THE WOODS AT ROSECREST P.U.D.
 PRELIMINARY SUBMITTAL
 2467 EAST 3225 SOUTH
 MILLCREEK TOWNSHIP, SALT LAKE COUNTY, UTAH**

PREL. SUBMITTAL 11-4-13

NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			

PRELIMINARY PLAT

PROJECT NUMBER: 5725 PRINT DATE: 11/4/2013
 DRAWN BY: B. Greenleaf CHECKED BY: P. HARRIS

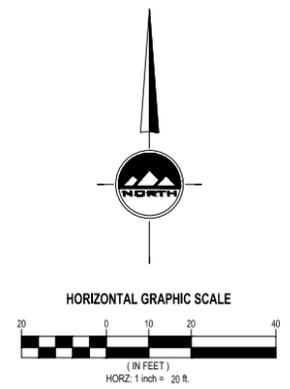
PROJECT MANAGER: P. HARRIS

C-100



CALL BLUESTAKES
@ 1-800-662-4111 AT LEAST 48
HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
CENTERLINE ROAD MONUMENT AT
3300 SOUTH & 2300 EAST
ELEVATION = 4599.73'



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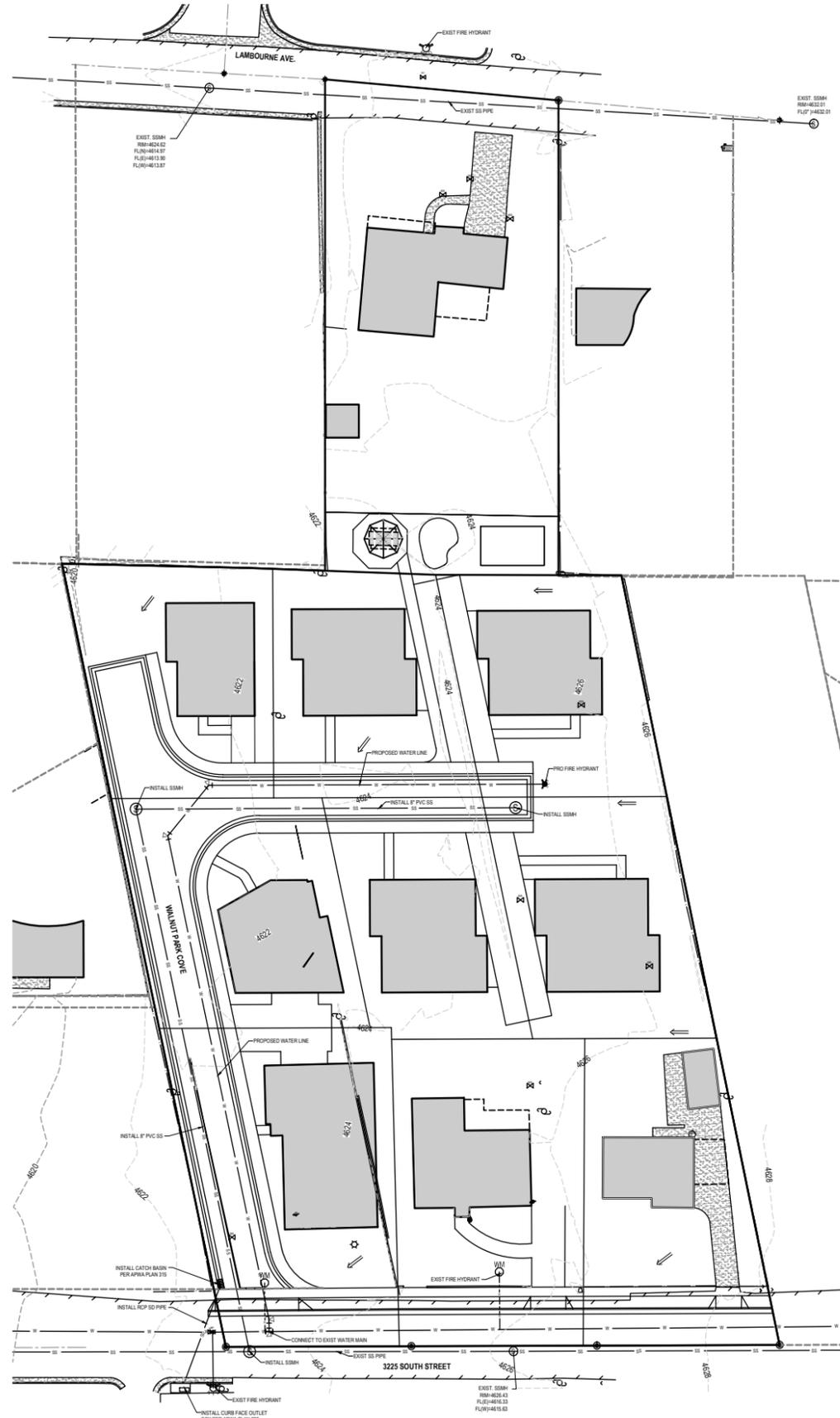
**PRELIMINARY
GRADING PLAN**

PROJECT NUMBER: 5725 PRINT DATE: 11/4/2013
DRAWN BY: B. Greenleaf CHECKED BY: P. HARRIS
PROJECT MANAGER: P. Harris

C-200

CALL BLUESTAKES
@ 1-800-662-4111 AT LEAST 48
HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
CENTERLINE ROAD MONUMENT AT
3300 SOUTH & 2300 EAST
ELEVATION = 4599.73'



LEGEND

○	SET ENSIGN REBAR AND CAP	▨	EXIST BUILDING
○	EXIST WATER METER	▩	PRO BUILDING
○	PRO WATER METER	▧	PUBLIC DRAINAGE EASEMENT
○	EXIST WATER MANHOLE	▤	EXISTING 30" CURB AND GUTTER
○	PRO WATER MANHOLE	▥	PROPOSED 30" CURB AND GUTTER
○	EXIST WATER VALVE	- - - X - - -	EXIST FENCE
○	PRO WATER VALVE	- - - X - - -	PRO FENCE
○	EXIST FIRE HYDRANT	- - - / - - -	EXIST EDGE OF ASPHALT
○	PRO FIRE HYDRANT	- - - / - - -	PRO EDGE OF ASPHALT
○	EXIST SECONDARY WATER VALVE	- - - SS - - -	EXIST SANITARY SEWER
○	PRO SECONDARY WATER VALVE	- - - SS - - -	PRO SANITARY SEWER LINE
○	EXIST IRRIGATION VALVE	- - - IS - - -	PRO SAN. SWR. SERVICE LINE
○	PRO IRRIGATION VALVE	- - - IS - - -	EXIST LAND DRAIN LINE
○	EXIST SANITARY SEWER MANHOLE	- - - LD - - -	PRO LAND DRAIN LINE
○	PRO SANITARY SEWER MANHOLE	- - - W - - -	EXIST WATER LINE
○	EXIST SIGN	- - - W - - -	PRO WATER LINE
○	PRO SIGN	- - - W - - -	PRO CULINARY WATER SERVICE LINE
○	EXIST UTILITY MANHOLE	- - - SW - - -	EXIST SECONDARY WATER LINE
○	EXIST UTILITY POLE	- - - SW - - -	PRO SECONDARY WATER LINE
○	EXIST GAS VALVE	- - - SW - - -	PRO SEC. WATER SERVICE LINE
○	EXIST TREE	- - - IRR - - -	EXIST IRRIGATION LINE
○	EXIST SHRUB	- - - IRR - - -	PRO IRRIGATION LINE
○	DENSE VEGETATION PREVENTING ACCESS FOR ACCURATE SURVEY	⇒	PRO FLOW ARROW



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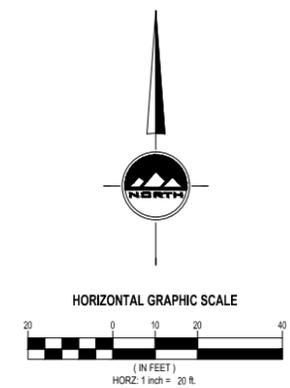
PREL. SUBMITTAL 11-4-13

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
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6			
7			
8			

UTILITY PLAN

PROJECT NUMBER: 5725
PRINT DATE: 11/4/2013
DRAWN BY: B. Greenleaf
CHECKED BY: P. HARRIS
PROJECT MANAGER: P. Harris

C 300



LANDSCAPE NOTES:

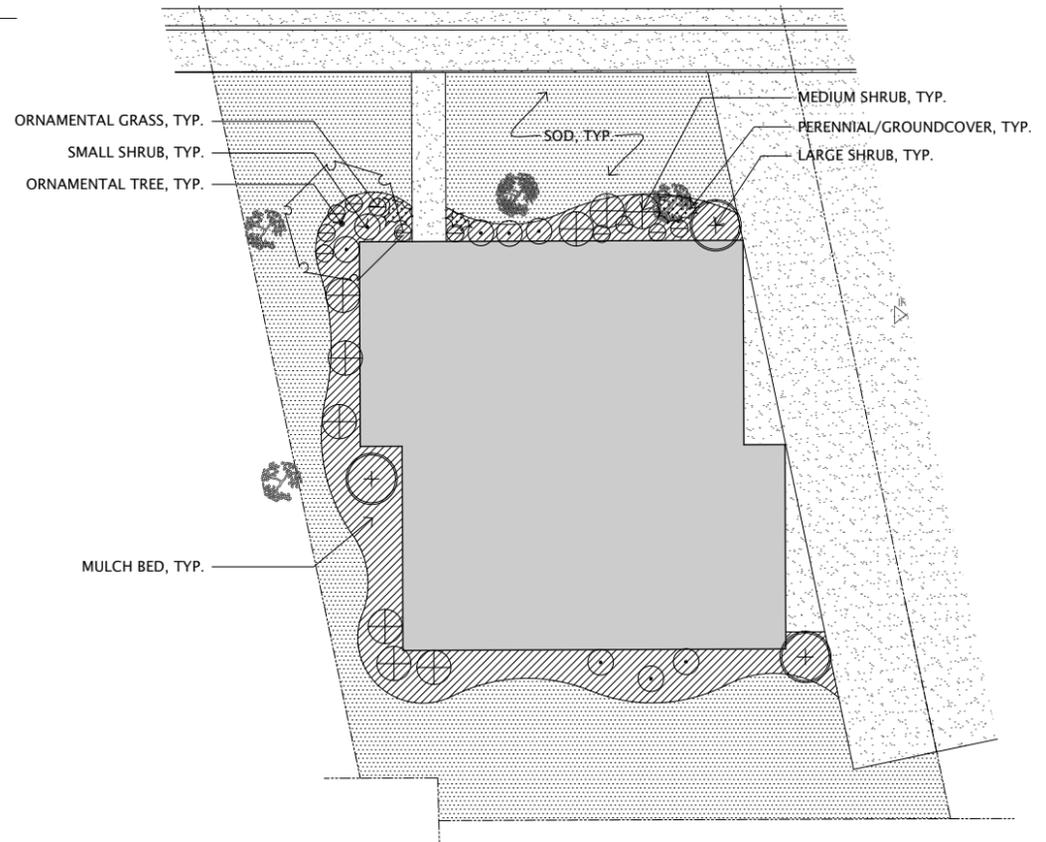
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND SALT LAKE COUNTY STANDARDS, SPECIFICATIONS, AND DETAILS.
2. ALL PLANT MATERIAL SHALL BE GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THIS WORK AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 UNLESS OTHERWISE NOTED. PROVIDE TREES OF NORMAL GROWTH AND UNIFORM HEIGHTS, ACCORDING TO SPECIES, WITH STRAIGHT TRUNKS AND WELL DEVELOPED LEADERS, LATERALS, AND ROOTS.
3. EXISTING UTILITIES, EASEMENTS, AND STRUCTURES SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, TYPE, AND STRUCTURES TO BE ENCOUNTERED ON THE PROJECT PRIOR TO ANY EXCAVATION AND CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES AND STRUCTURES.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS, LICENSES, AND APPROVALS REQUIRED TO LEGALLY AND RESPONSIBLY COMPLETE THE WORK.
5. DAMAGE TO ANY EXISTING IMPROVEMENTS OR TO ANY PORTION OF THE PROJECT'S SURROUNDING AREA DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL CALL BLUE STAKES AT 1-800-662-4111 FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
7. CONTRACTOR SHALL ROUGH GRADE TO WITHIN +/- A TENTH OF A FOOT FROM FINISH GRADE. ALL SOD AREAS SHALL BE GRADED 4" BELOW PROPOSED FINISH GRADE. ALL SHRUB AREAS SHALL BE GRADED 12" BELOW PROPOSED FINISH GRADE.
8. ALL COMPACTED AREAS DEVELOPED THROUGH CONSTRUCTION WITHIN PROPOSED LANDSCAPE AREAS SHALL BE SCARIFIED AND LOOSENED TO A DEPTH OF 12" PRIOR TO LANDSCAPE AND IRRIGATION WORK BEGINNING.
9. CONTRACTOR SHALL INSTALL A MIN. OF 4 INCHES OF PLANTING SOIL FOR ALL SOD AREAS AND 12 INCHES OF PLANTING SOIL FOR ALL SHRUB AND PERENNIAL BEDS.
10. CONTRACTOR SHALL INSTALL A MIN. OF 3 INCHES OF MULCH IN ALL PLANTING BEDS UNLESS OTHERWISE SHOWN ON PLANS.
11. NO PLANT SPECIES SUBSTITUTIONS WILL BE MADE WITHOUT APPROVAL OF OWNER.
12. ALL PLANT LAYOUT SHALL BE VERIFIED AND APPROVED IN FIELD BY OWNER PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL MAY RESULT IN RE-WORK BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. ALL AREAS WITHIN AND AFFECTED BY THIS PROJECT SHALL HAVE POSITIVE DRAINAGE. POSITIVE DRAINAGE SHALL BE PROVIDED TO DIRECT STORMWATER AWAY FROM ALL STRUCTURES.
14. ALL CLARIFICATIONS OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BEGINNING OF WORK.
15. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING FEATURES AND FACILITIES SCHEDULED TO REMAIN AS PART OF THE FINISHED CONSTRUCTION. REPAIR, REPLACEMENT, AND/OR REMOVAL AS DETERMINED BY OWNER SHALL BE AT THE CONTRACTOR'S EXPENSE.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	MIN. SIZE
TREES		
ACER x FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2" CAL., B&B
AMELANCHIER x GRANDIFLORA	AUTUMN BRILLIANCE SERVICEBERRY	6' CLUMP, MULTI STEM
GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	IMPERIAL LOCUST	2" CAL., B&B
JUNIPERUS VIRGINIANA 'BLUE ARROW'	BLUE ARROW JUNIPER	10 GAL.
PINUS EDULIS	PINION PINE	6' HT., B&B
PINUS NIGRA	AUSTRIAN PINE	8' HT., B&B
PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	8' CLUMP, MULTISTEM
PYRUS CALLERYANA	CHANTICLEER PEAR	2" CAL., B&B
QUERCUS COCCINEA	SCARLET OAK	2" CAL., B&B
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" CAL., B&B
SHRUBS, PERENNIALS, GRASSES		
AGASTACHE RUPESTRIS	SUNSET HYSSOP	1 GAL.
ASTER FRIKARTII 'MONCH'	FRIKARTII MONCH ASTER	1 GAL.
BERBERIS THUNBERGII ATROPURPUREA	RED BARBERRY	5 GAL.
CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.
CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	5 GAL.
CORNUS SERICEA 'ISANTI'	ISANTI DOGWOOD	5 GAL.
ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	1 GAL.
EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	5 GAL.
GAURA LINDHEIMERI	WHIRLING BUTTERFLIES	1 GAL.
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.
HEMEROCALIS SP.	DAYLILY	1 GAL.
PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	1 GAL.
PEROVSKIA ARTIPLICIFOLIA	RUSSIAN SAGE	1 GAL.
ROSA SP.	ROSE	5 GAL.
SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	5 GAL.
SYRINGA SP.	LILAC	5 GAL.
RUDBEKIA FULGIDA	BLACK EYED SUSAN	1 GAL.
SALVIA SYLVESTRIS X 'MAINACHT'	MAY NIGHT SALVIA	1 GAL.

LEGEND

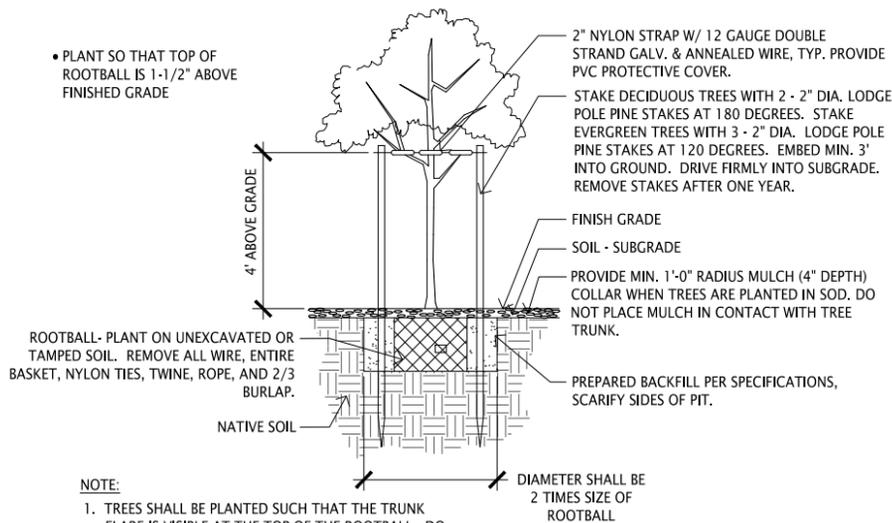
SYMBOL	ITEM
	Existing Tree to Remain
	Existing Tree to be Removed
	Deciduous Tree
	Evergreen Tree
	Upright Evergreen Tree
	Ornamental Tree
	Shrub
	Ornamental Grass
	Perennial
	Sod
	Shrub Bed
	6' Pre-Cast Wall



1 LOT TYPICAL LANDSCAPE PLAN
SCALE: 1" = 10'-0"

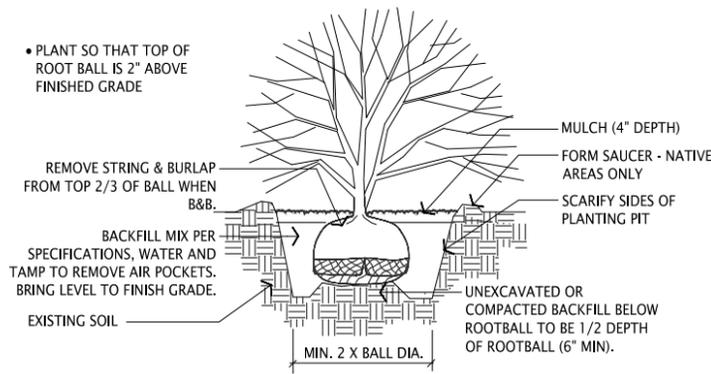


blu line designs
45 w sego lily drive
suite 500
sandy, ut 84070
p 801.913.7994



- NOTE:**
1. TREES SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOTBALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

2 TREE PLANTING
SCALE: NTS



3 SHRUB/ PERENNIAL/ ORNAMENTAL GRASS PLANTING
SCALE: NTS



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.590.0187
WWW.ENSIGNUTAH.COM

FOR:
SOAR REALTY GROUP
3207 EAST 3300 SOUTH #539
SALT LAKE CITY, UTAH 84109

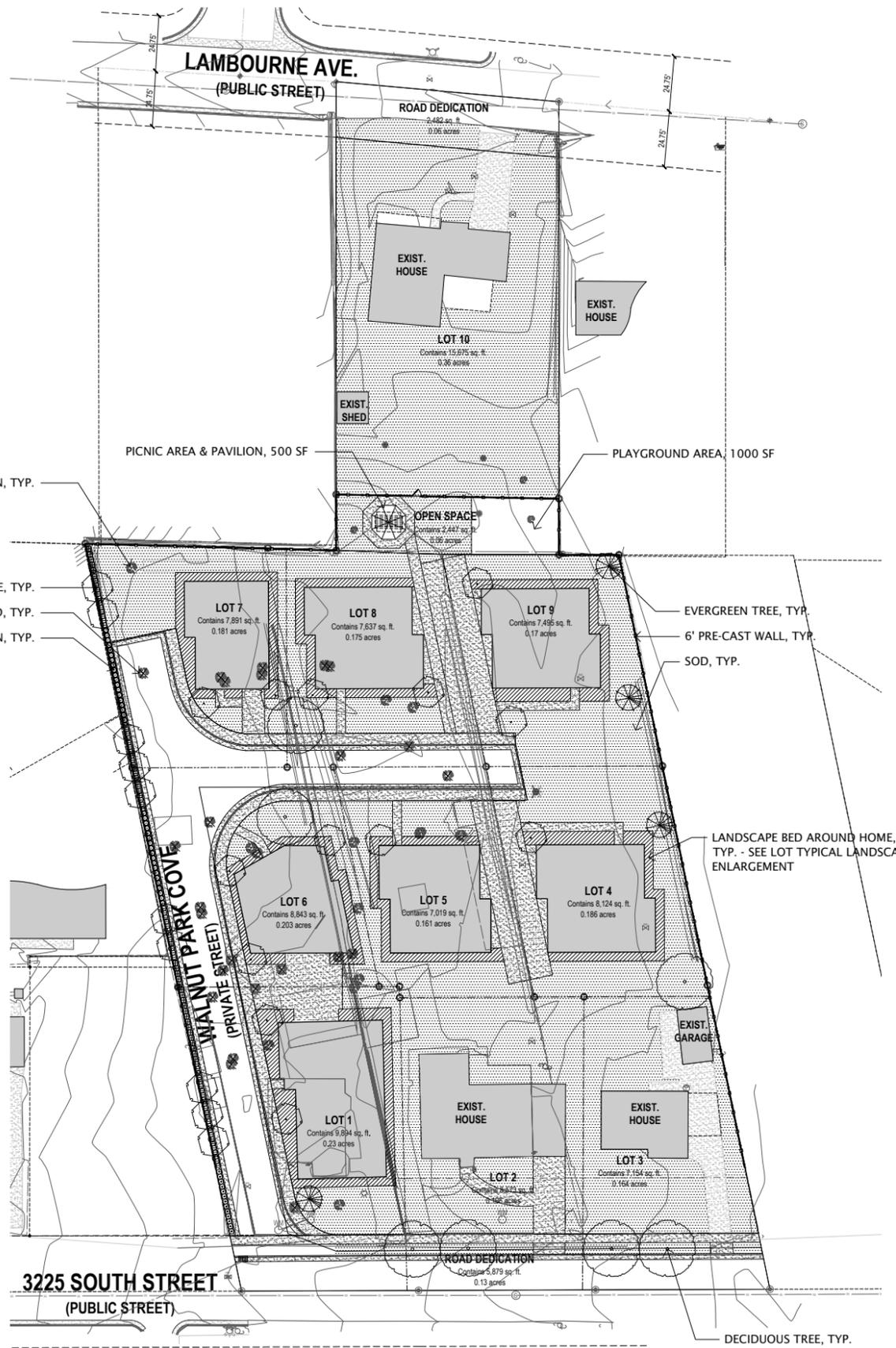
CONTACT:
RUSS SORENSON
PHONE: 801-301-4104
FAX:

THE WOODS AT ROSECREST P.U.D.
PRELIMINARY PLAN
2455 & 2467 & 2477 EAST, 3225 SOUTH
SALT LAKE CITY, UTAH

LOT TYPICAL, NOTES & DETAILS

PROJECT NUMBER: 5725
PRINT DATE: 11-01-13
DRAWN BY: RBD
CHECKED BY: CAS
PROJECT MANAGER: P. HERTS

L101



LEGEND	
SYMBOL	ITEM
	Existing Tree to Remain
	Existing Tree to be Removed
	Deciduous Tree
	Evergreen Tree
	Upright Evergreen Tree
	Ornamental Tree
	Shrub
	Ornamental Grass
	Perennial
	Sod
	Shrub Bed
	6' Pre-Cast Wall

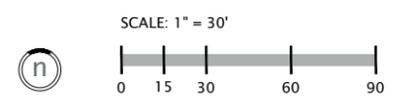
LANDSCAPE TABULATION	
LANDSCAPE AREA WITHIN PROPERTY =	48,271 SF (49%)
IMPERVIOUS AREA =	29,209 SF (29%)
BUILDING AREA =	21,666 SF (22%)
TOTAL AREA =	99,146 SF

LANDSCAPE DESIGN INTENT

The prevailing landscape design intent of this project is to preserve as many existing trees on this site as possible. There are a number mature trees within this project that add character, sense of place and value to this development. The intent of and purpose of the proposed landscaping improvements is to enhance the existing vegetation and to provide added aesthetic quality to this development. Some areas of the development have been designed to be open and usable for activities such as kicking or passing a ball. Other areas are proposed to be heavily landscaped to act as a visual buffer from unwanted views (garages to the west). Areas around the common play areas are designed to provide shade and visual interest. Foundation plantings are intended to soften any visual exposure of foundation walls as well as provide color and interest to the community.



blū line designs
45 w sego lily drive
suite 500
sandy, ut 84070
p 801.913.7994



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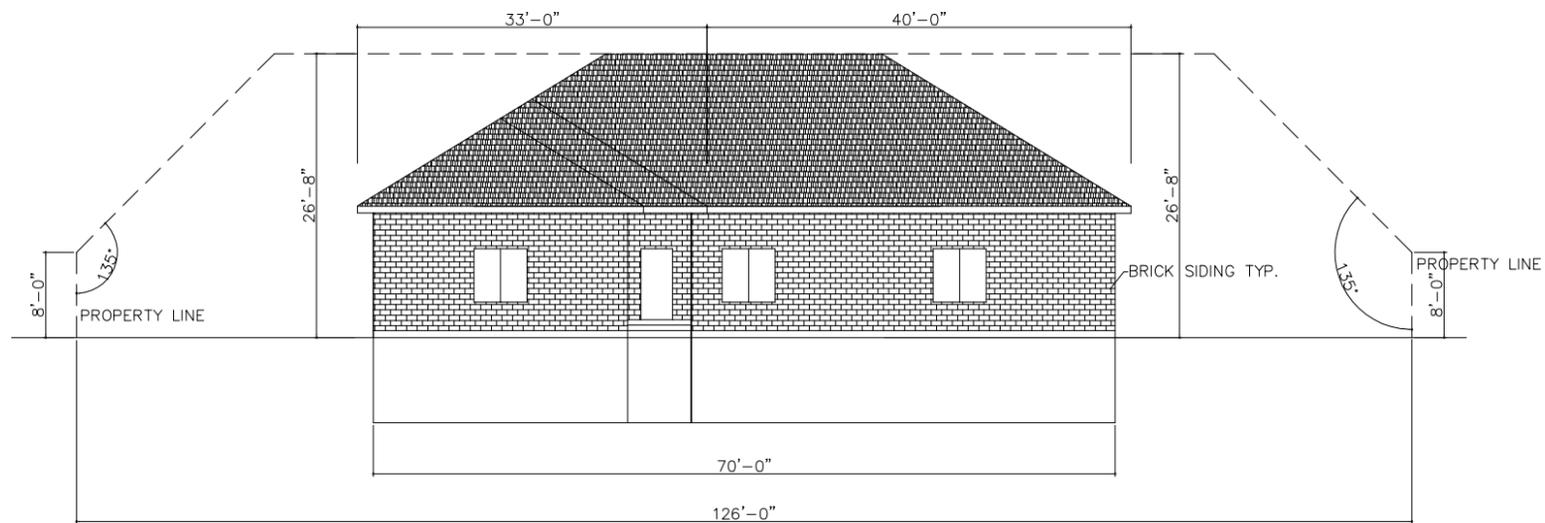
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THE WOODS AT ROSECREST P.U.D.
PRELIMINARY PLAN
2455 & 2467 & 2477 EAST, 3225 SOUTH
SALT LAKE CITY, UTAH

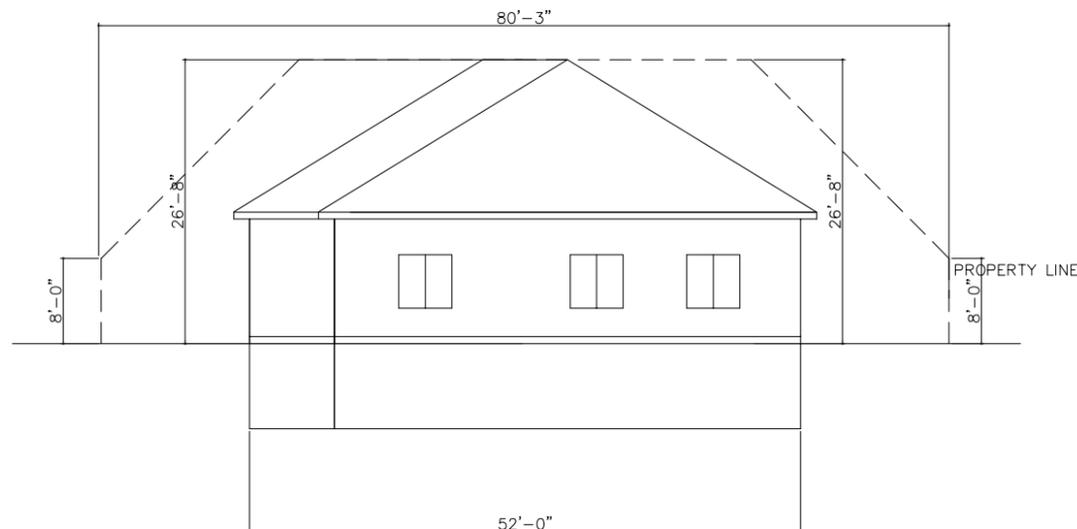
PRELIMINARY LANDSCAPE PLAN

PROJECT NUMBER: 5725
PRINT DATE: 11-01-13
DRAWN BY: RBD
CHECKED BY: CAS
PROJECT MANAGER: P. Harris

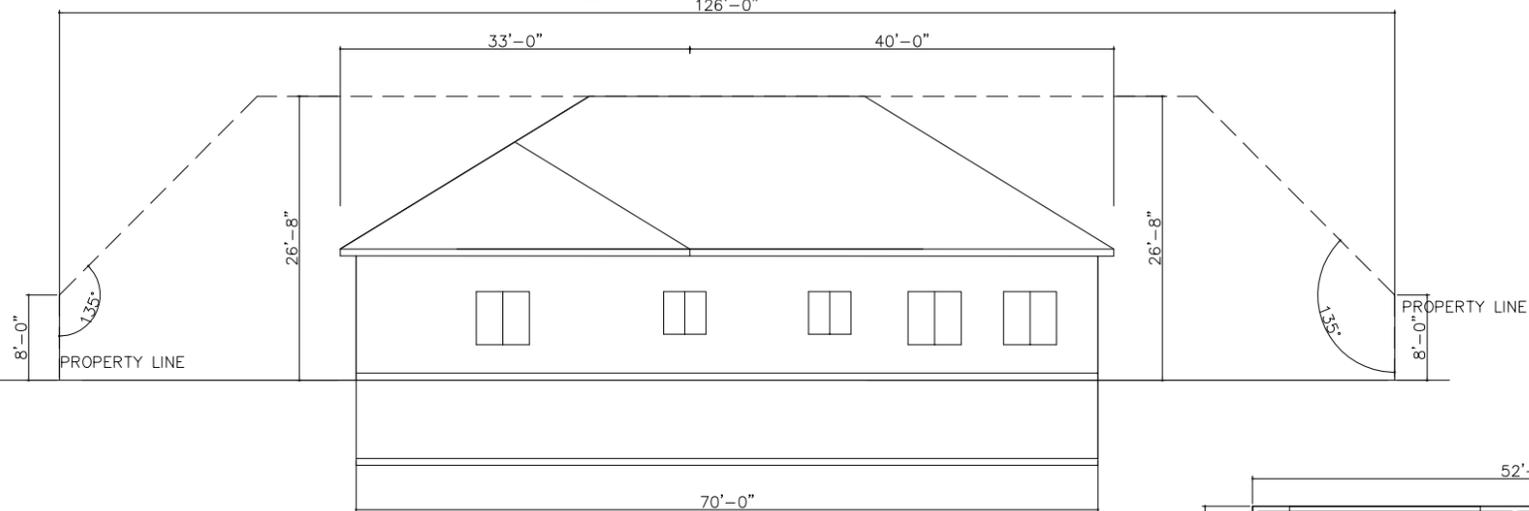
L100



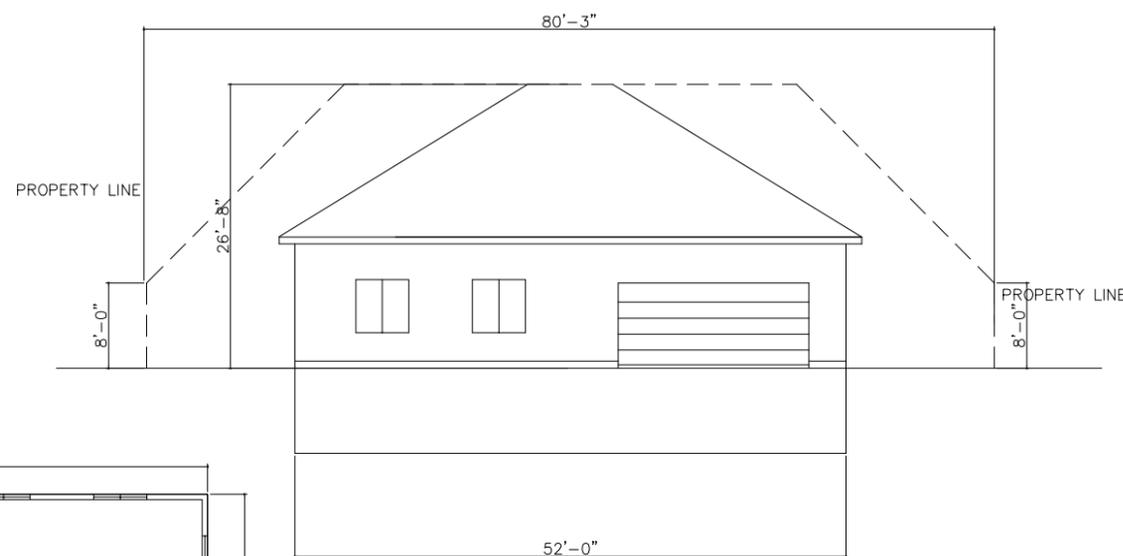
FRONT ELEVATION
LOT 1
SCALE: 1/8" = 1'-0"



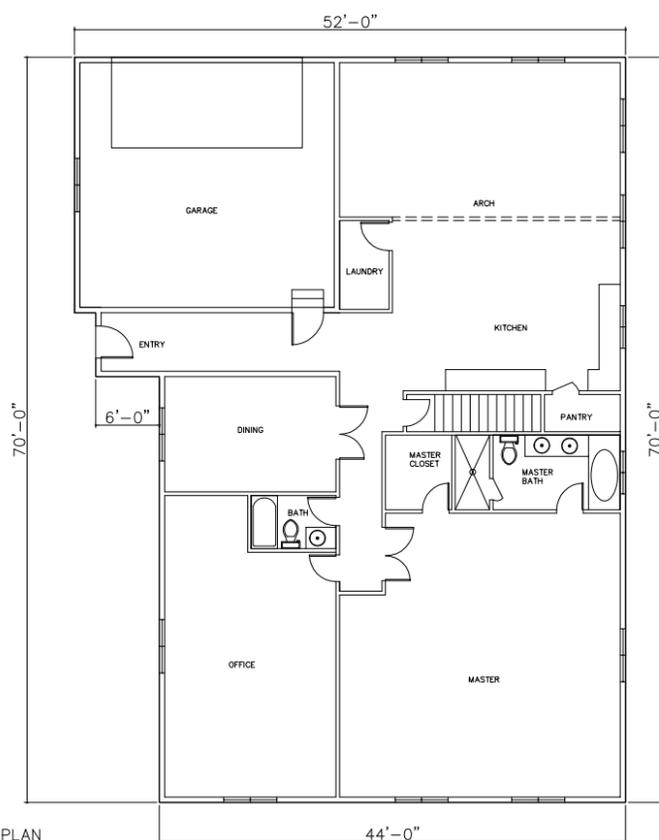
SIDE ELEVATION
LOT 1
SCALE: 1/8" = 1'-0"



REAR ELEVATION
LOT 1
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
LOT 1
SCALE: 1/8" = 1'-0"

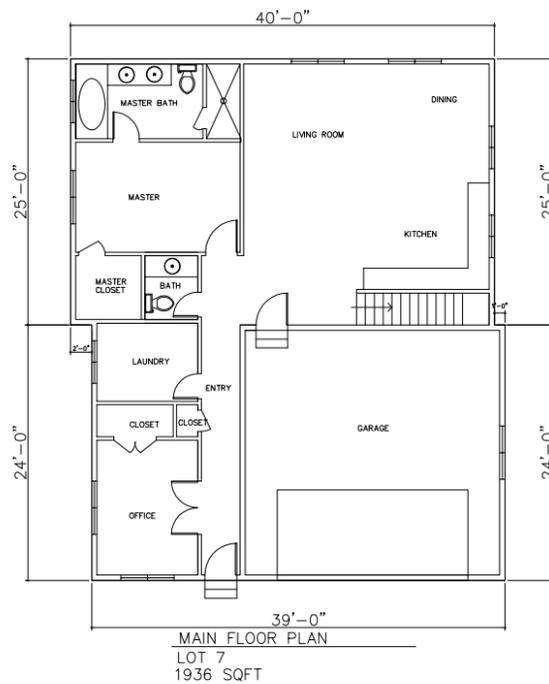
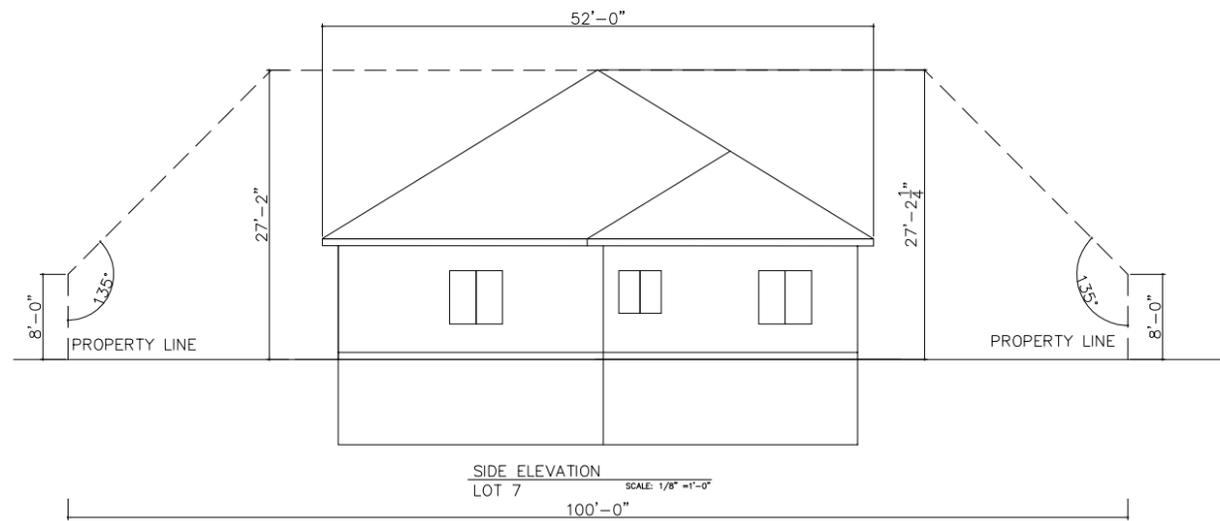
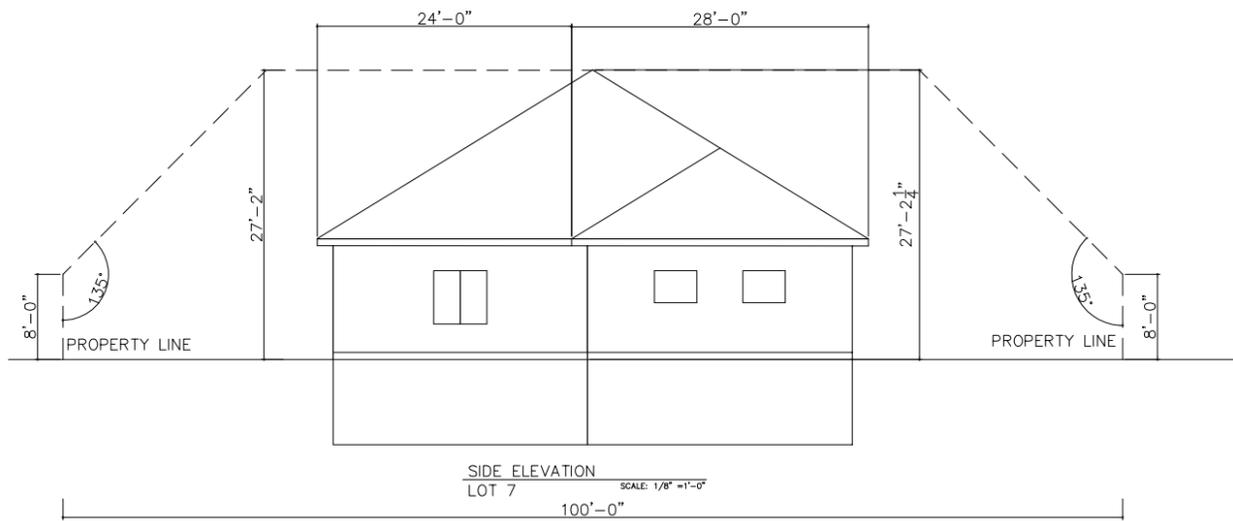
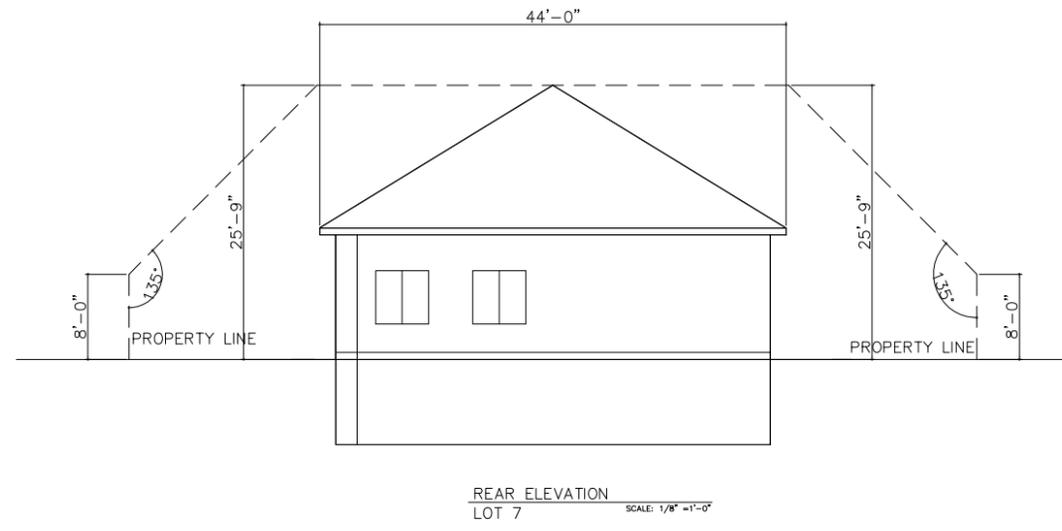
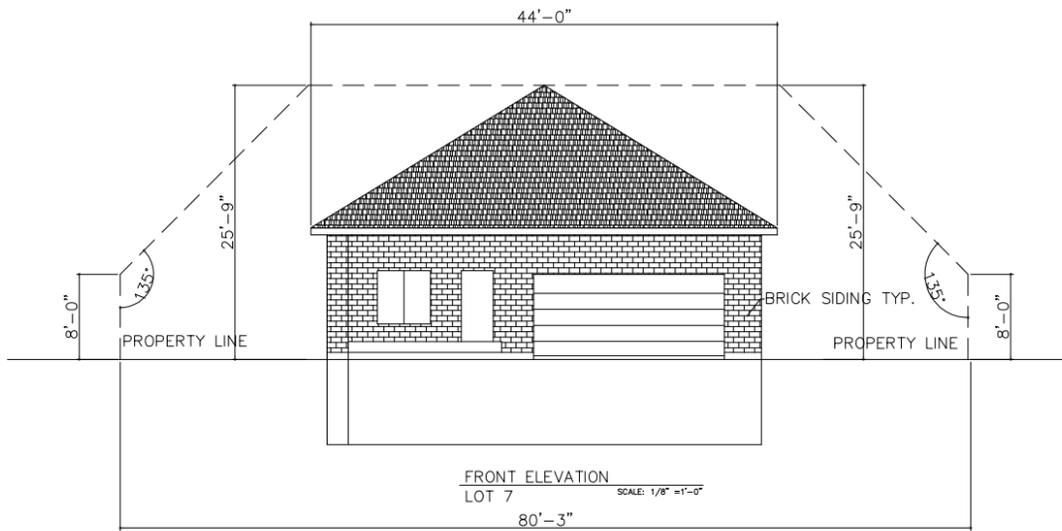


MAIN FLOOR PLAN
LOT 1
3308 SQFT

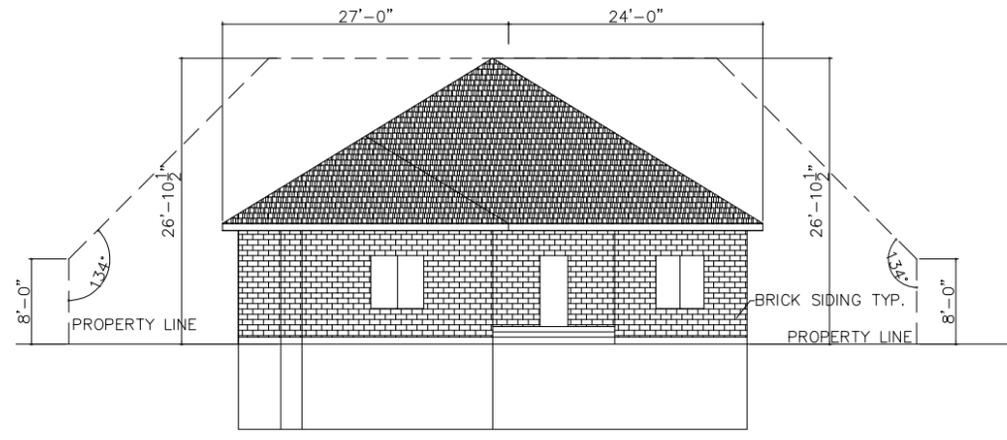
SCALE: 1/8"
DATE: 11/4/13
2455 EAST 3225 SOUTH
SALT LAKE CITY, UTAH 84109

MICHAEL SOTUYO DESIGN & ENGINEERING
(801) 649-6357

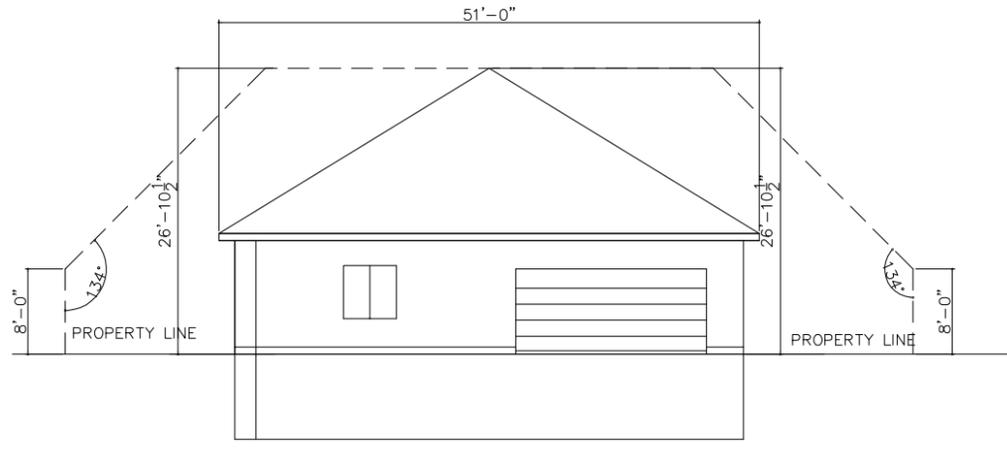
DRAWING
NUMBER
A1.3



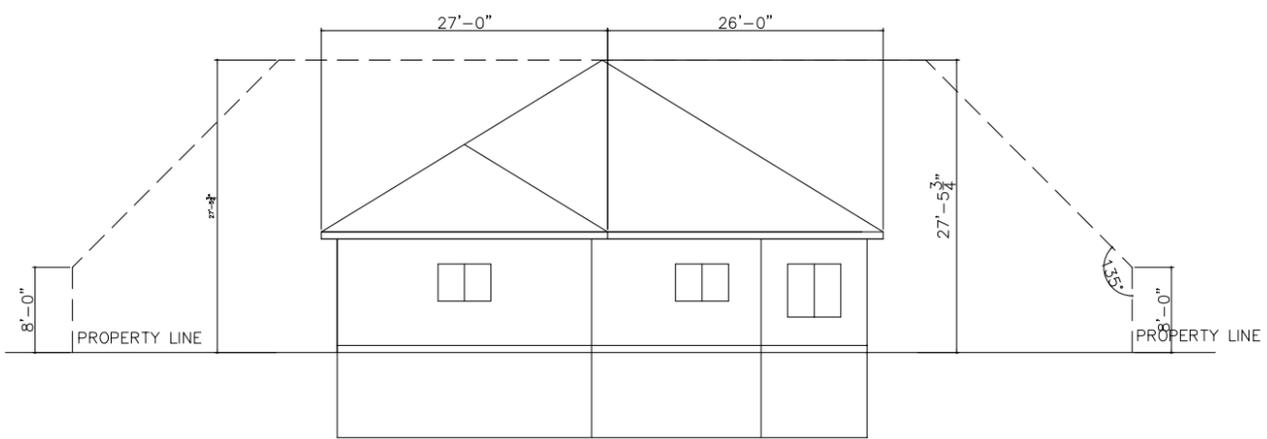
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DATE: 11/4/13	(801) 649-6357	
2455 EAST 3225 SOUTH SALT LAKE CITY, UTAH 84109		



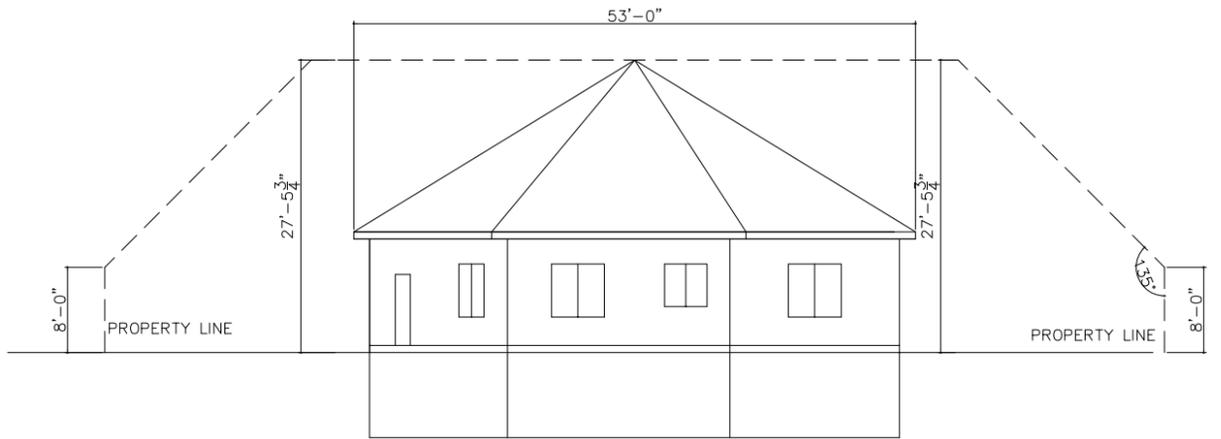
FRONT ELEVATION
LOT 6 SCALE: 1/8" = 1'-0"



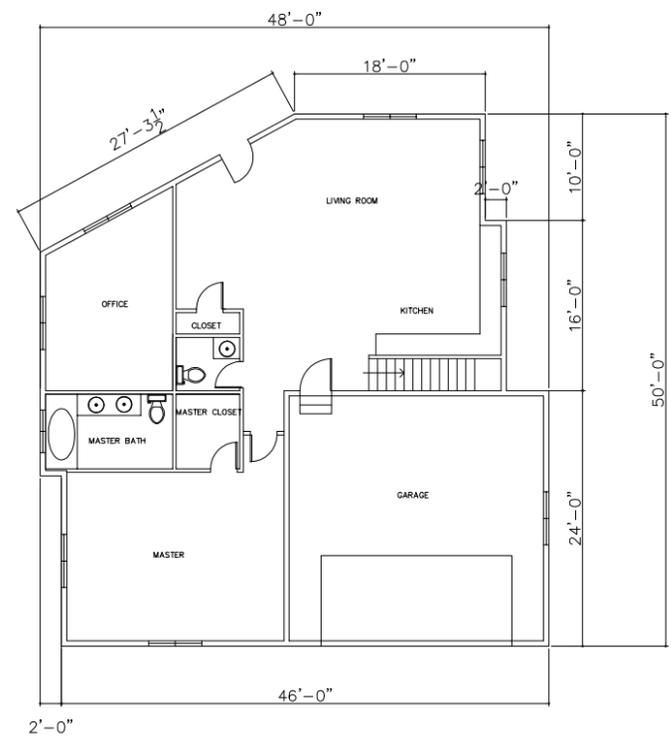
REAR ELEVATION
LOT 6 SCALE: 1/8" = 1'-0"



SIDE ELEVATION
LOT 6 SCALE: 1/8" = 1'-0"

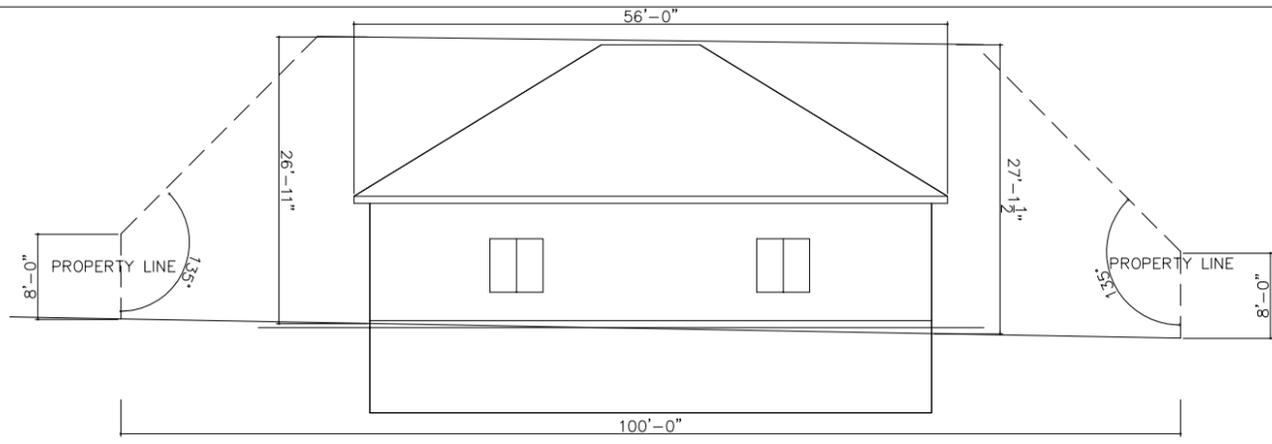


SIDE ELEVATION
LOT 6 SCALE: 1/8" = 1'-0"

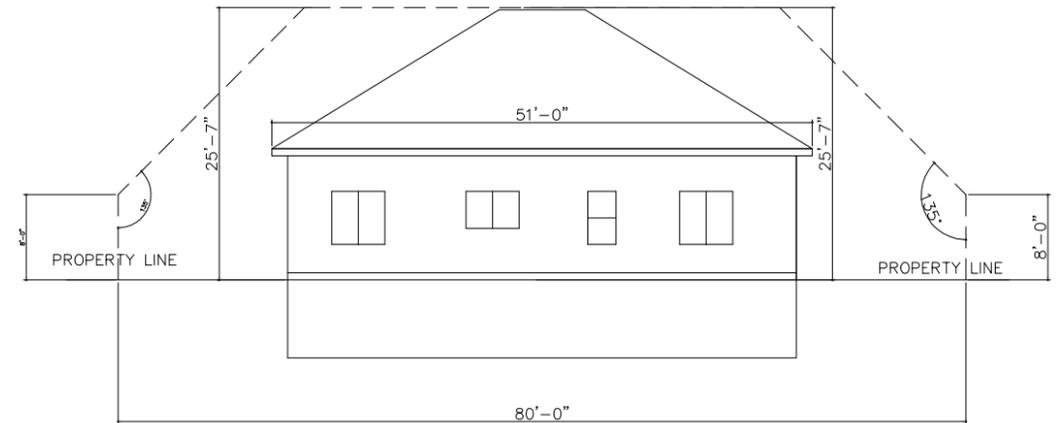


MAIN FLOOR PLAN
LOT 6
2088 SQFT

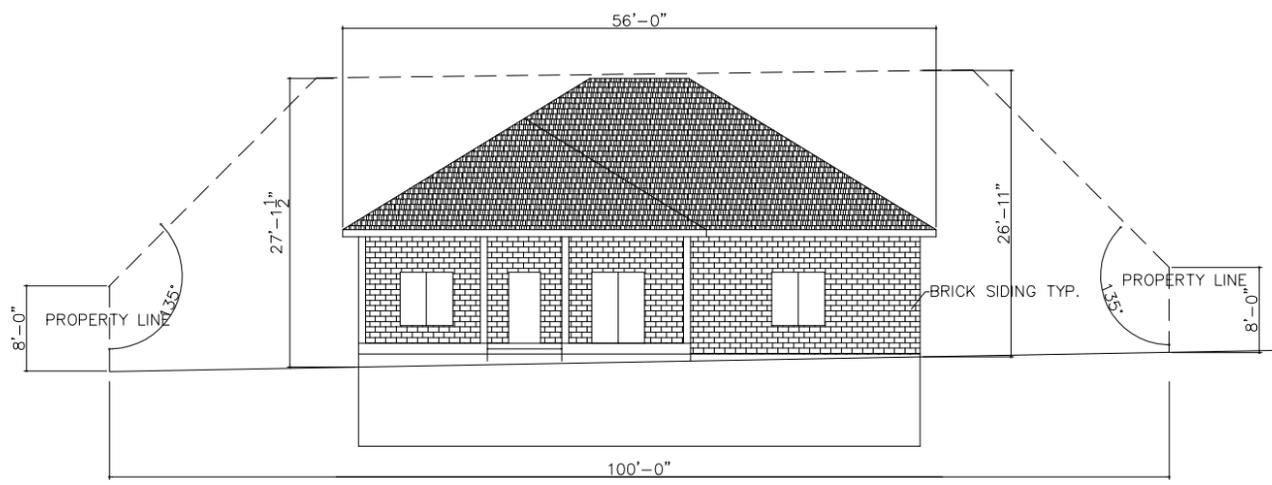
SCALE: 1/8"	MICHAEL SOTUYO DESIGN & ENGINEERING	DRAWING NUMBER A1.1
DATE: 11/4/13	(801) 649-6357	
2455 EAST 3225 SOUTH SALT LAKE CITY, UTAH 84109		



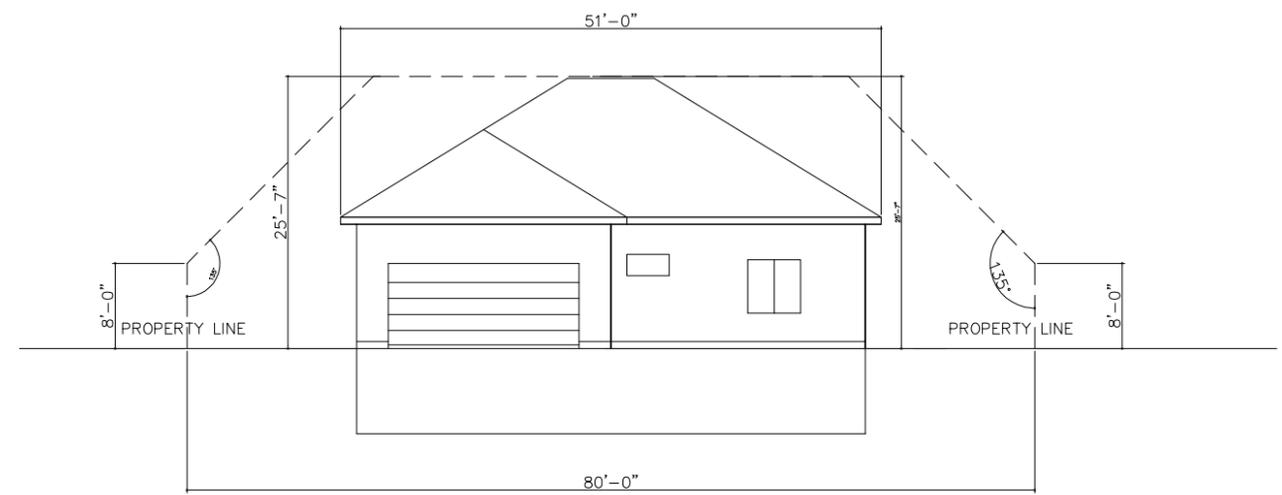
REAR ELEVATION
LOT 4, 5, 8, 9 SCALE: 1/8" = 1'-0"



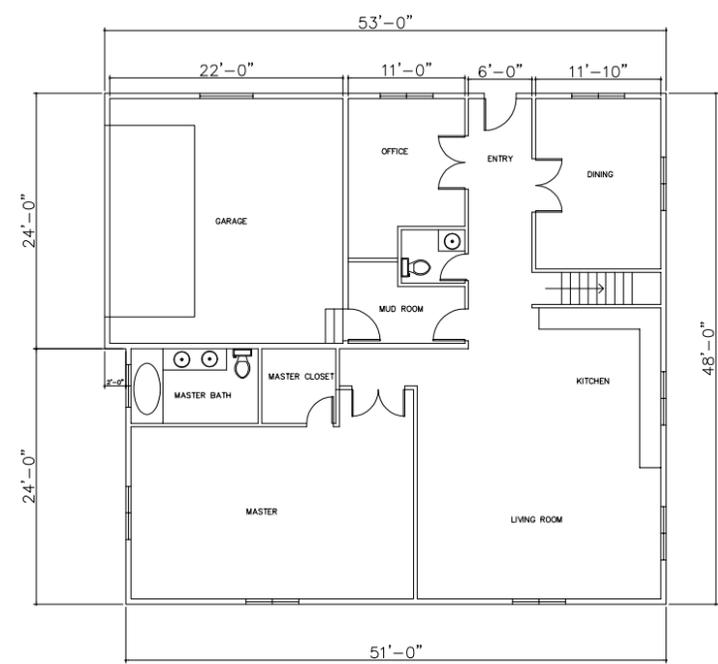
SIDE ELEVATION
LOT 4, 5, 8, 9 SCALE: 1/8" = 1'-0"



FRONT ELEVATION
LOT 4, 5, 8, 9 SCALE: 1/8" = 1'-0"



SIDE ELEVATION
LOT 4, 5, 8, 9 SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN
LOT 4, 5, 8, 9 SCALE: 1/8" = 1'-0"
2496 SQFT

SCALE: 1/8"	MICHAEL SOTUYO DESIGN & ENGINEERING	DRAWING NUMBER A1.0
DATE: 11/4/13	(801) 649-6357	
2455 EAST 3225 SOUTH SALT LAKE CITY, UTAH 84109		