



PUBLIC NOTICE is hereby given that the Land Use Authority of Washington City will host a public electronic meeting on **Wednesday, September 17, 2025** at 6:00 P.M or immediately following the Planning Commission Meeting. The Land Use Authority meeting will be held in the Council Chambers of Washington City Hall located at 111 North 100 East, Washington, Utah. The meeting will be broadcast via Youtube Live linked online at <https://washingtoncity.org/meetings>

1. APPROVAL OF AGENDA

2. APPROVAL OF MINUTES

- a. Approval of the Land Use Authority Minutes from September 3, 2025.

3. DECLARATION OF ABSTENTIONS & CONFLICTS

4. PUBLIC HEARINGS

*****Public comments will be accepted at: washingtoncity.org/meetings, until 5:00 pm the day before the meeting. After that time only in person comments will be taken.*****

- a. Public Hearing and consideration to approve an Amended Final Plat for Heights at Washington Bench Phase 4. Located at approximately 2036-2107 South Pinto Street. Applicant: Kent Rasmussen and Bush & Gudgell
- b. Public Hearing and consideration to approve a Final Plat Amendment for Prada Pacana Subdivision located at 100 East Prada Pacana Lane. Applicant: Craig Engel.
- c. Public Hearing and consideration to approve a Preliminary Plat for Crimson Court located at approximately 990 E. George Washington Blvd. Applicant: Bush & Gudgell.

5. ADJOURNMENT

POSTED this 12th Day of September, 2025
Bonnie Baker, Zoning Technician

In accordance with the Americans with Disabilities Act, Washington City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by calling the Zoning Technician at 656-6325 at least 24 hours in advance of the meeting to be held.

WASHINGTON CITY
LAND USE AUTHORITY MEETING
STAFF REVIEW

HEARING DATE:	September 17, 2025
ACTION REQUESTED:	Final Plat Partial Amendment for the Heights at Washington Bench, Phase 4 subdivision, located at South Pinto Street
APPLICANT:	Kent Rasmussen
OWNER:	Gateway Consulting Group, LLC
ENGINEER:	Bush & Gudgeon, Inc.
REVIEWED BY:	Eldon Gibb, Community Development Director
RECOMMENDATION:	Recommend approval with conditions

Background

The applicant is requesting approval of a Partial Amendment to the Final plat of the Heights at Washington Bench, Phase 4 subdivision, located at South Pinto Street. The reason for this amendment is to extend the west property line of lots 76-80 so that they match existing conditions on the ground. No other changes are being made at this time.

Staff has reviewed the proposed final plat partial amendment and finds it conforms to the R-1-12 zoning of this development. The subdivision also remains in compliance with the Subdivision Ordinance of the City.

Recommendation

Staff recommends the Land Use Authority approve the Heights at Washington Bench, Phase 4 Partial Amendment A subdivision, based on the following original findings and subject to the following original conditions:

Findings

1. The amended final plat meets the land use designation as outlined in the General Plan for the proposed area.
2. That the amended final plat conforms to the Washington City Zoning Ordinance and

Subdivision Ordinance as outlined.

Conditions

1. All improvements shall be completed or bonded for prior to recording the final plat.
2. A current title report policy shall be submitted prior to recording the final plat.
3. Any referenced control monuments related to this subdivision shall be in place prior to recordation of the final plat. A stamped and signed letter from a professional land surveyor licensed in the state of Utah that verifies that the referenced control monuments are in place shall be submitted to the Community Development Department for filing prior to plat recordation.
4. That a post maintenance agreement be recorded prior to the recording of the final plat.



BUSH & GUDGELL, INC.

Engineers • Planners • Surveyors
205 East Tabernacle
St. George, Utah 84770
(435) 673-2337 (ph.)
(435) 673-3161 (fax)

July 14, 2025

RE: Heights at Washington Bench Phase 4 Partial Amendment A Application

Dear Council / Commission members,

With this Final Plat Amendment application, the applicant desires to amend the final plat of Heights at Washington Bench Phase 4. The purpose of this amendment is to move the west property lines of Lots 76-80 to expand the sizes of those lots and match existing conditions on the ground. No other changes to the plat are intended. Your consideration of this request is greatly appreciated.

Respectfully Submitted:



Ryan Lay
Project Manager
Bush and Gudgell



**PROJECT FLOW CARD: FP-25-0037-Final Plat Amendment-Heights at
Washington Bench Phase 4
South Pinto Street**

Planning	Reviewed - no concerns	
Public Works	Reviewed - No concerns	
Engineer	Reviewed and no concerns	
Parks/Trails	Reviewed, no concerns	
Building Dept	Reviewed, no concerns	
Dixie Power	Reviewed, no concerns	

PLAT NOTES

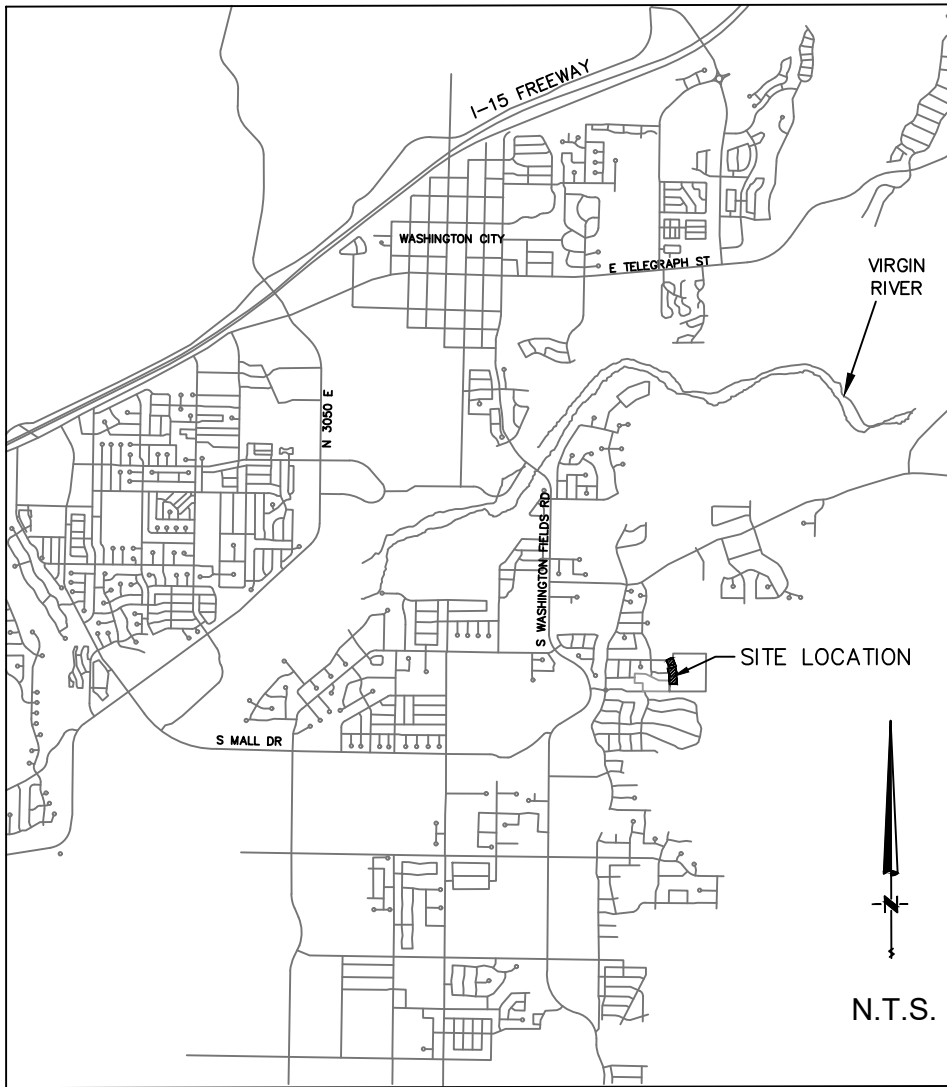
1. A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY AGEC APPLIED GEOTECHNICAL. THE INVESTIGATION RESULTS AND SPECIFIC RECOMMENDATIONS FOR THE CONSTRUCTION OF FOUNDATIONS AND FLOOR SLABS ARE COMPILED IN A REPORT DATED FEBRUARY 9, 2021. A COPY OF THIS REPORT IS ON FILE WITH WASHINGTON CITY. OWNERS, BUILDERS AND CONTRACTORS SHOULD BECOME FAMILIAR WITH THIS REPORT AND SHALL COMPLY WITH ITS RECOMMENDATIONS.
2. ALL SEWER AND WATER IMPROVEMENTS ARE PUBLIC AND MAINTAINED BY WASHINGTON CITY UP TO AND INCLUDING THE METERS. ALL FIRE HYDRANTS AND THE APPURTENANCES WITHIN THE DEVELOPMENT ARE PUBLIC AND ARE MAINTAINED BY WASHINGTON CITY.
3. A 7.50 FOOT WIDE PUBLIC UTILITIES AND DRAINAGE EASEMENT EXISTS ALONG SIDE AND REAR LOT LINES AND A 10.00 FOOT WIDE PUBLIC UTILITIES AND DRAINAGE EASEMENT EXISTS ALONG ALL FRONT AND STREETSIDE LOT LINES UNLESS OTHERWISE NOTED ON THIS PLAT.
4. IN ADDITION TO ANNUAL, USUAL AND SPECIAL ASSESSMENTS FOR MAINTENANCE OF COMMON NON-PUBLIC IMPROVEMENTS CONTAINED WITHIN THIS PLANNED DEVELOPMENT, THE PROPERTY OWNERS AND/OR THE HOME OWNERS ASSOCIATION SHALL LEVY SUCH ASSESSMENTS AS MAY BE NECESSARY FROM TIME TO TIME TO REPAIR, RESTORE, OR REPLACE PRIVATE LANDSCAPING, OR OTHER PRIVATE IMPROVEMENTS CONTAINED WITHIN THIS PLANNED DEVELOPMENT. WASHINGTON CITY IS HEREBY GRANTED AUTHORITY TO ASSESS THE PROPERTY OWNERS AND/OR THE HOMEOWNERS ASSOCIATION FOR OPEN SPACE NOT MAINTAINED.
5. THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE TO PROTECT THE HOMES FROM OFF SITE RUNOFF UNTIL PERMANENT FACILITIES ARE IN PLACE. ONCE THE PERMANENT FACILITIES ARE IN PLACE THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE TO MAINTAIN THE OFF SITE RUNOFF FACILITIES.
6. ALL OPEN SPACE IS A PUBLIC UTILITY EASEMENT, IT IS MAINTAINED BY THE HOA. CONTAINS 18,595 SQ.FT. OR 0.43 ACRES.
7. NO DRIVEWAYS ARE ALLOWED WITHIN 25 FEET OF CORNER RADIUS ON CORNER LOTS IN ACCORDANCE WITH WASHINGTON CITY ACCESS MANAGEMENT PLAN SECTION 1.3.4 "CORNER CLEARANCE".
8. ALL COMMON AREAS SHOWN ON THIS PLAT ARE SUBJECT TO A PUBLIC UTILITIES AND DRAINAGE EASEMENT FOR INSTALLATION AND MAINTENANCE OF IMPROVEMENTS OF IMPROVEMENTS AND SUCH EASEMENTS SHALL BE SUBJECT TO THE RIGHT OF THE CITY OF WASHINGTON TO ACCESS THE PROPERTY OWNERS AND/OR HOMEOWNERS ASSOCIATION TO REPAIR LANDSCAPING, ETC., WHERE NEEDED TO REPAIR OR REPLACE THE PUBLIC UTILITIES.

AIRPORT NOTE

ALL OR PART OF THIS SUBDIVISION IS LOCATED WITHIN THE DESIGNATED AIRPORT INFLUENCE AREA OF THE ST. GEORGE MUNICIPAL AIRPORT, AND MAY BE SUBJECT TO AIRCRAFT OVER FLIGHT, NOISE AND POSSIBLE IMPINGEMENT. NEW CONSTRUCTION MAY BE REQUIRED TO FILE FAA FORM-7460, NOTICE OF PROPOSED CONSTRUCTION AND/OR OTHER DOCUMENTATION. SPECIFIC HEIGHT RESTRICTIONS MAY APPLY DEPENDING ON LOCATION. NO DEVELOPMENT OR STRUCTURE THAT MAY COMPROMISE AIRPORT NAVIGATIONAL AIDS OR FLIGHT OPERATIONS WILL BE ALLOWED WITHIN THE AIRPORT INFLUENCE AREA AND CONSTRUCTION WITHIN THE AIRPORT INFLUENCE AREA WILL REQUIRE COMPLIANCE WITH ALL APPLICABLE ORDINANCES, STATUTES AND CODE REGULATIONS, AND MAY INCLUDE THE GRANTING OF AN AVIATION EASEMENT AND/OR SIMILAR DOCUMENT(S). WASHINGTON CITY DISCLAIMS ALL LIABILITY FOR ANY CLAIMS, INJURIES OR DAMAGES ARISING FROM, CAUSED BY OR DUE TO OCCURRENCES INCIDENT TO OPERATION OF THE AIRPORT. OWNERS AND TENANTS WITHIN THIS SUBDIVISION WAIVE ANY AND ALL CLAIMS AGAINST WASHINGTON CITY FOR DAMAGES OR INJURIES, WHETHER TO PERSONS OR PROPERTY, ARISING OR CAUSED BY OPERATION OF THE AIRPORT. THIS WAIVER AND DISCLAIMER, CONSTITUTES AND IS RECOGNIZED BY ALL CURRENT AND FUTURE OWNERS AND TENANTS OF PROPERTY WITHIN THIS SUBDIVISION AS NOTICE AND ACCEPTANCE OF THIS WAIVER AND DISCLAIMER AND ALL ITS PROVISIONS. ALL CURRENT AND FUTURE OWNERS OF PROPERTY WITHIN THIS SUBDIVISION AGREE TO INDEMNIFY AND HOLD HARMLESS WASHINGTON CITY FOR ANY CLAIMS, INCLUDING ALL ATTORNEY FEES RELATED THERETO, BROUGHT BY ANY PARTY WHO SUFFERS DAMAGE OR INJURY, WHETHER TO PERSON OR PROPERTY, ARISING FROM, CAUSED BY OR DUE TO OPERATION OF THE AIRPORT. THIS DISCLAIMER AND WAIVER SHALL BE CONSIDERED A CONDITION RUNNING WITH ALL PROPERTY WITHIN THIS SUBDIVISION AND ALL FUTURE OWNERS OF PROPERTY WITHIN THIS SUBDIVISION TAKE OWNERSHIP OF PROPERTY SUBJECT HERETO.

AMENDMENT NOTE

THE PURPOSE OF THIS AMENDMENT IS TO MOVE THE WEST BOUNDARY/LOT LINE OF LOTS 76-80 OF HEIGHTS AT WASHINGTON BENCH PHASE 4, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS DOC. NO. 20220026180 IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER. THE WEST BOUNDARY/LOT LINE OF LOTS 76-79 IS MOVING WEST 15 FEET, AND THE WEST BOUNDARY/LOT LINE OF LOT 80 IS MOVING WEST 30 FEET. BY MOVING SAID WEST BOUNDARY/LOT LINE, THE SIZE OF SAID LOTS INCREASES AND THE SIZE OF THE ADJOINING OPEN SPACE DECREASES. NO OTHER CHANGES TO THIS PLAT WERE MADE OR INTENDED.



VICINITY MAP
N.T.S.

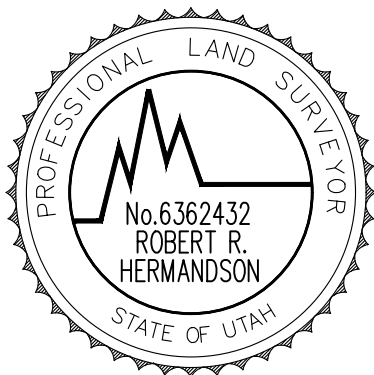
SURVEYOR'S CERTIFICATE

I, ROBERT R. HERMANDSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6362432 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT AND HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 UTAH STATE CODE, AND HAVE VERIFIED ALL MEASUREMENTS AND PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE HEREON OWNER(S), I HAVE SUBDIVIDED SAID TRACT OF LAND DESCRIBED HERE ON INTO LOTS, OPEN SPACE AND PUBLIC EASEMENTS, HEREAFTER TO BE KNOWN AS:

HEIGHTS AT WASHINGTON BENCH PHASE 4
PARTIAL AMENDMENT A

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE:
BUSH AND GUDGELL INC.



ROBERT R. HERMANDSON
PROFESSIONAL LAND SURVEYOR UTAH
LICENSE NUMBER 6362432

OWNER'S DEDICATION

KNOW ALL MEN THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF ALL THE HEREON DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, OPEN SPACE, AND PUBLIC UTILITY AND DRAINAGE EASEMENTS TO BE HEREBY KNOWN AS:

HEIGHTS AT WASHINGTON BENCH PHASE 4
PARTIAL AMENDMENT A

FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, DO HEREBY DEDICATE AND CONVEY TO THE CITY OF WASHINGTON FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS PUBLIC UTILITY AND DRAINAGE EASEMENTS. ALL LOTS AND EASEMENTS ARE AS NOTED OR SHOWN. THE OWNERS DO HEREBY WARRANT TO THE CITY OF WASHINGTON AND ITS SUCCESSORS AND ASSIGNS, TITLE TO ALL PROPERTY DEDICATED AND CONVEYED TO THE PUBLIC USE HEREIN AGAINST THE CLAIMS OF ALL PERSONS. LOTS SHOWN ON THIS PLAT ARE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, OF _____ RECORDED THE OFFICE OF THE WASHINGTON COUNTY RECORDER AS DOCUMENT NO. _____ SAID DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ARE HEREBY INCORPORATED AND MADE A PART OF THIS PLAT.

IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND THIS _____ DAY OF _____, 20____.

YANKEE HEIGHTS, LLC

(A UTAH LIMITED LIABILITY COMPANY)

BY : KENT RASMUSSEN
ITS: MANAGER

OWNERS ACKNOWLEDGEMENT

STATE OF _____ } S.S.
COUNTY OF _____ }

ON THIS _____ DAY OF _____ IN THE YEAR 20____, A NOTARY PUBLIC, PERSONALLY APPEARED CAMERON GUNTER PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT AND ACKNOWLEDGED (HE/SHE) EXECUTED THE SAME.

NOTARY PUBLIC

NOTARY PUBLIC FULL NAME: _____

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

DO NOT STAMP

OFFICIAL SEAL IS NOT REQUIRED
PER UTAH CODE 46-1-16(6)

GATEWAY CONSULTING GROUP LLC

(A UTAH LIMITED LIABILITY COMPANY)

BY : _____
ITS: _____

OWNERS ACKNOWLEDGEMENT

STATE OF _____ } S.S.
COUNTY OF _____ }

ON THIS _____ DAY OF _____ IN THE YEAR 20____, A NOTARY PUBLIC, PERSONALLY APPEARED CAMERON GUNTER PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT AND ACKNOWLEDGED (HE/SHE) EXECUTED THE SAME.

NOTARY PUBLIC

NOTARY PUBLIC FULL NAME: _____

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

DO NOT STAMP

OFFICIAL SEAL IS NOT REQUIRED
PER UTAH CODE 46-1-16(6)

HEIGHTS AT WASHINGTON BENCH PHASE 4
PARTIAL AMENDMENT A
(AMENDING LOTS 76-80 & OPEN SPACE)

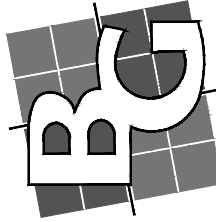
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25,
TOWNSHIP 42 SOUTH, RANGE 15 WEST,
SALT LAKE BASE AND MERIDIAN

APPROVAL OF PUBLIC WORKS	ENGINEER'S APPROVAL	APPROVAL AS TO FORM	APPROVAL AND ACCEPTANCE BY THE WASHINGTON CITY, UTAH	TREASURER APPROVAL	RECORDED No.
THE HEREON SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE THIS _____ DAY OF _____, 20____.	THE HEREON SUBDIVISION FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS _____ DAY OF _____, A.D. 20____.	APPROVED AS TO FORM, THIS THE _____ DAY OF _____, A.D. 20____.	I, THE MAYOR OF WASHINGTON CITY, HEREBY VERIFY THAT THE WASHINGTON CITY COMMUNITY DEVELOPMENT DIRECTOR HAS REVIEWED AND APPROVED SAID FINAL PLAT WITH ALL COMMITMENTS AND OBLIGATIONS PERTAINING THERETO ON THIS _____ DAY OF _____, 20____.	I, WASHINGTON COUNTY TREASURER, CERTIFY THAT THIS _____ DAY OF _____, A.D. 20____, THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES DUE AND OWING ON THIS SUBDIVISION FINAL PLAT HAVE BEEN PAID IN FULL.	
PUBLIC WORKS, WASHINGTON CITY	ENGINEER, WASHINGTON CITY	CITY ATTORNEY, WASHINGTON CITY	ATTEST: CITY RECORDER, WASHINGTON CITY MAYOR, WASHINGTON CITY	WASHINGTON COUNTY TREASURER	WASHINGTON COUNTY RECORDER

BUSH & GUDGELL, INC.

Engineers - Planners - Surveyors

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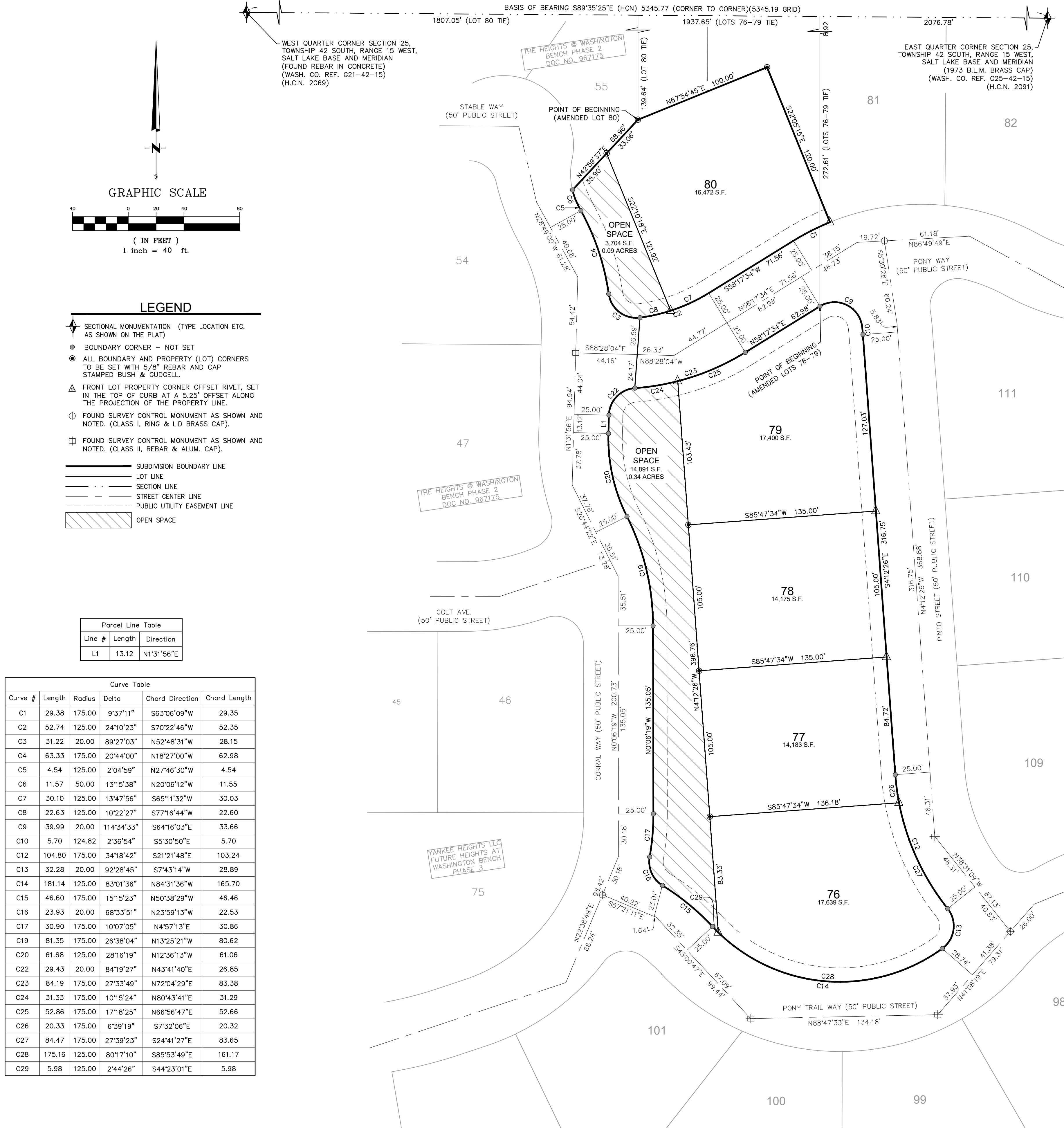


Drawn : BRS Date : 07/09/2022
Email : BSHLTON@BUSHANDGUDGELL.COM
Checked : BRS
Approved : BRH
Scale :
Job No : 251138

HEIGHTS AT WASHINGTON BENCH PH 4 PARTIAL AMENDMENT A

LOCATED IN
IN THE NORTH HALF OF
SOUTH 1\2 SECTION 25, TOWNSHIP 42 SOUTH, RANGE 15 WEST,
SALT LAKE BASE & MERIDIAN

SHEET
1
2
SHEETS
FILE: 251138



LOTS 76-79 & OPEN SPACE BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF PONY WAY, A 50 FOOT PUBLIC STREET CONVEYED IN HEIGHTS AT WASHINGTON BENCH PHASE 4, DOCUMENT NO. 20220026180, OFFICIAL RECORDS, WASHINGTON COUNTY, UTAH, SAID POINT LIES SOUTH 89°35'25" EAST ALONG THE SECTION LINE 1937.65 FEET, AND DUE SOUTH 272.61 FEET FROM THE WEST QUARTER CORNER OF SECTION 25, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE ALONG SAID RIGHT-OF-WAY LINE SOUTHEASTERLY ALONG A 20.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 64°16'03" EAST A DISTANCE OF 33.66 FEET), CENTER POINT LIES SOUTH 31°33'19" EAST THROUGH A CENTRAL ANGLE OF 114°34'33", A DISTANCE OF 39.99 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PINTO STREET, A 50 FOOT PUBLIC STREET CONVEYED IN SAID HEIGHTS AT WASHINGTON BENCH PHASE 4, THENCE ALONG SAID LINE THE FOLLOWING FOUR (4) COURSES: 1) SOUTHERLY ALONG A 124.82 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 05°30'50" EAST A DISTANCE OF 5.70 FEET), CENTER POINT LIES SOUTH 83°10'42" WEST THROUGH A CENTRAL ANGLE OF 02°36'54", A DISTANCE OF 5.70 FEET, 2) SOUTH 04°12'26" EAST 316.75 FEET, 3) SOUTHERLY ALONG A 175.00 FOOT RADIUS CURVE TO THE LEFT, (LONG CHORD BEARS SOUTH 21°21'48" EAST A DISTANCE OF 103.24 FEET), CENTER POINT LIES NORTH 85°47'34" EAST THROUGH A CENTRAL ANGLE OF 34°18'42", A DISTANCE OF 104.80 FEET, AND 4) SOUTHERLY ALONG A 20.00 FOOT RADIUS REVERSE CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 07°43'14" WEST A DISTANCE OF 28.89 FEET), CENTER POINT LIES SOUTH 51°28'51" WEST THROUGH A CENTRAL ANGLE OF 92°28'45", A DISTANCE OF 32.28 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF PONY TRAIL, A 50 FOOT PUBLIC STREET CONVEYED IN SAID HEIGHTS AT WASHINGTON BENCH PHASE 4; THENCE ALONG SAID LINE THE FOLLOWING TWO (2) COURSES: 1) WESTERLY ALONG A 125.00 FOOT RADIUS COMPOUND CURVE TO THE RIGHT, (LONG CHORD BEARS NORTH 84°31'36" WEST A DISTANCE OF 165.70 FEET), CENTER POINT LIES NORTH 36°02'24" WEST THROUGH A CENTRAL ANGLE OF 83°01'36", A DISTANCE OF 161.14 FEET, AND 2) NORTHWESTERLY ALONG A 175.00 FOOT RADIUS REVERSE CURVE TO THE LEFT, (LONG CHORD BEARS NORTH 50°38'29" WEST A DISTANCE OF 46.46 FEET), CENTER POINT LIES SOUTH 48°59'13" WEST THROUGH A CENTRAL ANGLE OF 151°5'23", A DISTANCE OF 46.60 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF CORRAL WAY, A 50 FOOT PUBLIC STREET CONVEYED IN THE HEIGHTS AT WASHINGTON BENCH PHASE 2, DOCUMENT NO. 967175, OFFICIAL RECORDS, WASHINGTON COUNTY, UTAH; THENCE ALONG SAID LINE THE FOLLOWING SEVEN (7) COURSES: 1) NORTHWESTERLY ALONG A 20.00 FOOT RADIUS REVERSE CURVE TO THE RIGHT, (LONG CHORD BEARS NORTH 23°59'13" WEST A DISTANCE OF 22.53 FEET), CENTER POINT LIES NORTH 31°43'51" EAST THROUGH A CENTRAL ANGLE OF 68°33'51", A DISTANCE OF 23.93 FEET, 2) NORTHERLY ALONG A 175.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, (LONG CHORD BEARS NORTH 50°38'29" WEST A DISTANCE OF 30.86 FEET), CENTER POINT LIES NORTH 79°59'14" WEST THROUGH A CENTRAL ANGLE OF 10°07'05", A DISTANCE OF 30.90 FEET, 3) NORTH 00°06'19" WEST 135.05 FEET, 4) NORTHERLY ALONG A 175.00 FOOT RADIUS CURVE TO THE LEFT, (LONG CHORD BEARS NORTH 13°25'21" WEST A DISTANCE OF 80.62 FEET), CENTER POINT LIES SOUTH 89°53'41" WEST THROUGH A CENTRAL ANGLE OF 26°38'04", A DISTANCE OF 81.35 FEET, 5) NORTHERLY ALONG A 125.00 FOOT RADIUS REVERSE CURVE TO THE RIGHT, (LONG CHORD BEARS NORTH 12°36'13" WEST A DISTANCE OF 61.06 FEET), CENTER POINT LIES NORTH 63°15'38" EAST THROUGH A CENTRAL ANGLE OF 28°16'19", A DISTANCE OF 61.68 FEET, 6) NORTH 07°31'56" EAST 13.12 FEET, AND 7) NORTHEASTERLY ALONG A 20.00 FOOT RADIUS CURVE TO THE RIGHT, (LONG CHORD BEARS NORTH 43°41'40" EAST A DISTANCE OF 26.85 FEET), CENTER POINT LIES SOUTH 88°28'04" EAST THROUGH A CENTRAL ANGLE OF 84°19'27", A DISTANCE OF 29.43 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF PONY WAY; THENCE ALONG SAID LINE THE FOLLOWING TWO (2) COURSES: 1) EASTERLY ALONG A 175.00 FOOT RADIUS REVERSE CURVE TO THE LEFT, (LONG CHORD BEARS NORTH 72°04'29" EAST A DISTANCE OF 83.38 FEET), CENTER POINT LIES NORTH 04°08'37" WEST THROUGH A CENTRAL ANGLE OF 27°33'49", A DISTANCE OF 84.19 FEET, AND 2) NORTH 58°17'34" EAST 62.98 FEET TO THE POINT OF BEGINNING.

CONTAINING 78,289 SQUARE FEET OR 1.80 ACRES

LOT 80 & OPEN SPACE BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE SOUTH BOUNDARY LINE OF LOT 55, THE HEIGHTS AT WASHINGTON BENCH PHASE 2, DOCUMENT NO. 967175, OFFICIAL RECORDS, WASHINGTON COUNTY, UTAH, SAID POINT LIES SOUTH 89°35'25" EAST ALONG THE SECTION LINE 1807.05 FEET AND DUE SOUTH 139.64 FEET, FROM THE WEST QUARTER CORNER OF SECTION 25, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE ALONG SAID SOUTH BOUNDARY AND THE BOUNDARY LINE OF LOT 81, HEIGHTS AT WASHINGTON BENCH PHASE 4, DOCUMENT NO. 20220026180, OFFICIAL RECORDS, WASHINGTON COUNTY, UTAH, THE FOLLOWING TWO (2) COURSES: 1) NORTH 67°54'45" EAST 100.00 FEET, AND 2) SOUTH 22°05'15" EAST 120.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF PONY WAY, A 50 FOOT PUBLIC STREET CONVEYED IN SAID HEIGHTS AT WASHINGTON BENCH PHASE 4; THENCE ALONG SAID LINE THE FOLLOWING THREE (3) COURSES: 1) SOUTHWESTERLY ALONG A 175.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, (LONG CHORD BEARS SOUTH 63°06'09" WEST A DISTANCE OF 29.35 FEET), CENTER POINT LIES SOUTH 22°05'15" EAST THROUGH A CENTRAL ANGLE OF 09°37'11", A DISTANCE OF 29.38 FEET, 2) SOUTH 58°17'34" WEST 71.56 FEET, AND 3) WESTERLY ALONG A 125.00 FOOT RADIUS CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 70°22'46" WEST A DISTANCE OF 52.35 FEET), CENTER POINT LIES NORTH 31°42'26" WEST THROUGH A CENTRAL ANGLE OF 24°10'23", A DISTANCE OF 52.74 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF CORRAL WAY, A 50 FOOT PUBLIC STREET CONVEYED IN SAID HEIGHTS AT WASHINGTON BENCH PHASE 2; THENCE ALONG SAID LINE THE FOLLOWING FOUR (4) COURSES: 1) NORTHWESTERLY ALONG A 20.00 FOOT RADIUS COMPOUND CURVE TO THE RIGHT, (LONG CHORD BEARS NORTH 52°48'31" WEST A DISTANCE OF 28.15 FEET), CENTER POINT LIES NORTH 07°32'03" WEST THROUGH A CENTRAL ANGLE OF 89°27'03", A DISTANCE OF 31.22 FEET, 2) NORTHERLY ALONG A 175.00 FOOT RADIUS REVERSE CURVE TO THE LEFT, (LONG CHORD BEARS NORTH 18°27'00" WEST A DISTANCE OF 62.98 FEET), CENTER POINT LIES SOUTH 81°55'00" WEST THROUGH A CENTRAL ANGLE OF 20°44'00", A DISTANCE OF 63.33 FEET, 3) NORTHWESTERLY ALONG A 125.00 FOOT RADIUS REVERSE CURVE TO THE RIGHT, (LONG CHORD BEARS NORTH 27°46'30" WEST A DISTANCE OF 4.54 FEET), CENTER POINT LIES NORTH 61°11'00" EAST THROUGH A CENTRAL ANGLE OF 02°04'59", A DISTANCE OF 4.54 FEET, AND 4) NORTHERLY ALONG A 50.00 FOOT RADIUS COMPOUND CURVE TO THE RIGHT, (LONG CHORD BEARS NORTH 20°06'12" WEST A DISTANCE OF 11.55 FEET), CENTER POINT LIES NORTH 63°15'38" EAST THROUGH A CENTRAL ANGLE OF 13°15'38", A DISTANCE OF 11.57 FEET TO SAID SOUTH BOUNDARY LINE OF LOT 55; THENCE NORTH 42°59'37" EAST ALONG SAID LINE 68.96 FEET TO THE POINT OF BEGINNING.

CONTAINING 20,176 SQUARE FEET OR 0.46 ACRES.

HEIGHTS AT WASHINGTON BENCH PHASE 4 PARTIAL AMENDMENT A (AMENDING LOTS 76-80 & OPEN SPACE)

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25,
TOWNSHIP 42 SOUTH, RANGE 15 WEST,
SALT LAKE BASE AND MERIDIAN

BUSH & GUDGELL, INC.

Engineers - Planners - Surveyors

206 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 793-3161
www.bushandgudgell.com

Drawn : BRS Date : 07/09/2025

Email : BSHILLTON@BUSHANDGUDGELL.COM

Checked : BRS

Approved : BRH

Scale : 1"=40'

Job No : 251138

HEIGHTS AT WASHINGTON BENCH PH 4 PARTIAL AMENDMENT A

LOCATED IN THE SOUTHWEST QUARTER OF

SECTION 25, TOWNSHIP 42 SOUTH, RANGE 15 WEST,
SALT LAKE BASE & MERIDIAN

SHEET

2

SHEETS

2

FILE: 251138

WASHINGTON CITY
LAND USE AUTHORITY MEETING
STAFF REVIEW

HEARING DATE:	September 17th, 2025
ACTION REQUESTED:	Amended Final Plat approval for Prada Pacana Subdivision, located at 100 East Prada Pacana Lane
APPLICANT:	Craig Engel
OWNER:	88 Prada Pacana LLC
ENGINEER:	Brown Consulting Engineers
REVIEWED BY:	Eldon Gibb, Community Development Director
RECOMMENDATION:	Recommend approval with conditions

Background

The applicant is requesting approval to amend the Final Plat of the Prada Pacana Subdivision, located at 100 East Prada Pacana Lane. The reason for this amendment is to add two units to the development for a total of 12 units and combine the development into a single phase. No other changes are being made at this time.

Staff has reviewed the proposed amended final plat and finds it conforms to the PUD zoning of this development. The subdivision also remains in compliance with the Subdivision Ordinance of the City.

Recommendation

Staff recommends the Land Use Authority approve the Prada Pacan Amended subdivision, based on the following original findings and subject to the following original conditions:

Findings

1. The amended final plat meets the land use designation as outlined in the General Plan for the proposed area.
2. That the amended final plat conforms to the Washington City Zoning Ordinance and Subdivision Ordinance as outlined.

Conditions

1. All improvements shall be completed or bonded for prior to recording the final plat.
2. A current title report policy shall be submitted prior to recording the final plat.
3. Any referenced control monuments related to this subdivision shall be in place prior to recordation of the final plat. A stamped and signed letter from a professional land surveyor licensed in the state of Utah that verifies that the referenced control monuments are in place shall be submitted to the Community Development Department for filing prior to plat recordation.
4. That a post maintenance agreement be recorded prior to the recording of the final plat.

88 Prada Pacana, LLC.

Craig Engel

1267 N 1390 W

St. George, UT 84770

435-229-7360

Racinc19@gmail.com

Washington City

Planning & Zoning

111 North 100 East

Washington, UT 84780

RE: Prada Pacana Subdivision Amended Plat Narrative

Dear Planning & Zoning Official,

The Purpose of this letter is to provide a brief narrative of the proposed amendment to the Prada Pacana Subdivision.

The Prada Pacana Subdivision is an existing subdivision approved and built in 2019. We would like to add one new additional building to the north west corner of the subdivision and amend the plat to remove the phase line so that the project is all one phase. The new amended subdivision would consist of 12 total units.

The new building would match the existing buildings exactly and consist of 2 units with a garage and driveway for parking. Additionally, two new off-street guest parking stalls would be added to the site.

The utilities for the new building are nearby within Prada Pacana Lane and we would need to extend the utilities approximately 25 feet to serve the new building.

The existing CMU block wall on the west side of the property will be extended to the northwest corner before buildings 11 and 12 receive building permits. The canopy added for the zone change approval will also be completed prior to buildings 11 and 12 receiving building permits.

Sincerely,

Craig Engel

88 Prada Pacana, LLC.



PROJECT FLOW CARD: FP-25-0027 - Prada Pacana Amended
100 E Prada Pacana Ln

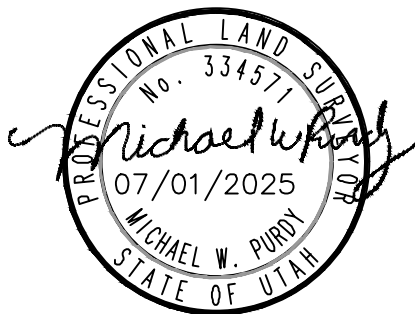
Planning	Reviewed. Adding to units as approved in the PUD zone change approval	
Public Works	Reviewed - items addressed	
Engineer	Reviewed and no comments	
Parks/Trails	Reviewed, no concerns	
Building Dept	Reviewed, no concerns	
Washington Power	Reviewed, no concerns	

SURVEYOR'S CERTIFICATE

I, MICHAEL W. PURDY, REGISTERED UTAH LAND SURVEYOR, NO. 334571, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH DO HEREBY CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, A SURVEY WAS MADE UNDER MY DIRECTION OF THE FOLLOWING DESCRIBED PROPERTY AND HAVE SUBDIVIDED THE SAME INTO PRIVATE UNITS, COMMON AREA AND LIMITED COMMON AREA TO HEREAFTER BE KNOWN AS:

PRADA PACANA SUBDIVISION AMENDED PLAT

AND FURTHER THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: (SEE BOUNDARY DESCRIPTION)



OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF THE ABOVE-DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO PRIVATE UNITS, COMMON AREA AND LIMITED COMMON AREA, TO BE HEREAFTER KNOWN AS:

PRADA PACANA SUBDIVISION AMENDED PLAT

THE UNDERSIGNED OWNERS DO HEREBY WARRANT, DEDICATE AND CONVEY TO WASHINGTON CITY FOR PERPETUAL USE OF THE PUBLIC, ALL PARCELS OF LAND SHOWN ON THIS PLAT AS PUBLIC STREETS, AND MUNICIPAL UTILITY EASEMENTS. ADDITIONALLY THE UNDERSIGNED DO HEREBY DEDICATE TO THE COMMON USE OF THE PROPERTY OWNERS, BUT NOT TO THE USE OF THE GENERAL PUBLIC, ALL COMMON AREAS AND LIMITED COMMON AREAS AS SHOWN ON THIS PLAT, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF DEDICATION OF SAID COMMON AREAS AS MORE FULLY PROVIDED IN THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS" APPLICABLE TO PRADA PACANA SUBDIVION, DATED: , AND RECORDED: CONCURRENTLY WITH THE PLAT OF PRADA PACANA SUBDIVISION. SAID DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE PART OF THIS PLAT. REFERENCE IS MADE TO SAID DECLARATION FOR DETAILS CONCERNING THE RIGHTS AND OBLIGATIONS OF PARTIES HAVING OR ACQUIRING AN INTEREST IN THIS DEVELOPMENT. FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNER HEREBY DEDICATE TO THE CITY OF WASHINGTON, UTAH, ITS SUCCESSORS AND ASSIGNS, EASEMENTS OVER, ON, UNDER AND ACROSS ALL COMMON AREAS AND LIMITED COMMON AREAS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE INFRASTRUCTURE.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS. ON THIS DAY OF , 20 .

CRAIG ROBERT ENGEL, PRESIDENT
RAC INC, A UTAH CORPORATION

CRAIG ROBERT ENGEL, MANAGER
89 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
88 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
83 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
82 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
76 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
71 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
70 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
67 PRADA PACANA, LLC

CRAIG ROBERT ENGEL, MANAGER
58 PRADA PACANA, LLC

ELIZABETH LYNN ENGEL

ACKNOWLEDGEMENT

STATE OF UTAH
COUNTY OF WASHINGTON

THIS DAY OF IN THE YEAR 20 , BEFORE ME, A NOTARY PUBLIC, PERSONALLY APPEARED PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT AND ACKNOWLEDGED (HE/SHE) EXECUTED THE SAME.

NOTARY SIGNATURE

NOTARY PUBLIC FULL NAME:

COMMISSION NUMBER:

MY COMMISSION EXPIRES:

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

ACKNOWLEDGEMENT

STATE OF UTAH
COUNTY OF WASHINGTON

THIS DAY OF IN THE YEAR 20 , BEFORE ME, A NOTARY PUBLIC, PERSONALLY APPEARED PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT AND ACKNOWLEDGED (HE/SHE) EXECUTED THE SAME.

NOTARY SIGNATURE

NOTARY PUBLIC FULL NAME:

COMMISSION NUMBER:

MY COMMISSION EXPIRES:

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

MORTGAGEE'S CONSENT TO RECORD

We, First Colony Mortgage Corporation, Mortgagee of the herein described Prada Pacana Subdivision, do hereby give our consent and approve to the filing of said tract of land to be used for the uses and purposes described on the plat, recording of covenants, conditions and restrictions, and joins in all dedications and conveyances for the Prada Pacana Subdivision.

First Colony Mortgage Corporation
Print Name:
Title:

MORTGAGEE'S ACKNOWLEDGMENT

STATE OF UTAH)
) SS.
COUNTY OF)

On this day of in the year 20 , before me, a notary public, personally appeared proved on the basis of satisfactory evidence to be the person whose name is subscribed to in this document and acknowledged (he/she) executed the same.

Notary Signature

MORTGAGEE'S CONSENT TO RECORD

We, Academy Mortgage Corporation, Mortgagee of the herein described Prada Pacana Subdivision, do hereby give our consent and approve to the filing of said tract of land to be used for the uses and purposes described on the plat, recording of covenants, conditions and restrictions, and joins in all dedications and conveyances for the Prada Pacana Subdivision.

Academy Mortgage Corporation
Print Name:
Title:

MORTGAGEE'S ACKNOWLEDGMENT

STATE OF UTAH)
) SS.
COUNTY OF)

On this day of in the year 20 , before me, a notary public, personally appeared proved on the basis of satisfactory evidence to be the person whose name is subscribed to in this document and acknowledged (he/she) executed the same.

Notary Signature

MORTGAGEE'S CONSENT TO RECORD

We, State Bank of Southern Utah, Mortgagee of the herein described Prada Pacana Subdivision, do hereby give our consent and approve to the filing of said tract of land to be used for the uses and purposes described on the plat, recording of covenants, conditions and restrictions, and joins in all dedications and conveyances for the Prada Pacana Subdivision.

State Bank of Southern Utah
Print Name:
Title:

MORTGAGEE'S ACKNOWLEDGMENT

STATE OF UTAH)
) SS.
COUNTY OF)

On this day of in the year 20 , before me, a notary public, personally appeared proved on the basis of satisfactory evidence to be the person whose name is subscribed to in this document and acknowledged (he/she) executed the same.

Notary Signature

AMENDMENT NOTE

THE PURPOSE OF THIS AMENDMENT IS TO ADD AN ADDITIONAL BUILDING AND AMEND THE ORIGINAL SUBDIVISION BOUNDARY.

PRADA PACANA SUBDIVISION
AMENDED PLAT

A PLANNED UNIT DEVELOPMENT

LOCATED IN THE NW 1/4 SECTION 14, T 42 S, R 15 W, SLB&M
WASHINGTON CITY, UTAH

APPROVAL OF PUBLIC WORKS

THE HEREON SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION IN FILE IN THIS OFFICE THIS DAY OF , 20 .

WASHINGTON CITY, PUBLIC WORKS

APPROVAL AND ACCEPTANCE BY
WASHINGTON CITY, UTAH

I, THE MAYOR OF WASHINGTON CITY, HEREBY VERIFY THAT THE WASHINGTON CITY COMMUNITY DEVELOPMENT DIRECTOR HAS REVIEWED AND APPROVED SAID FINAL PLAT WITH ALL COMMITMENTS AND OBLIGATIONS PERTAINING THERETO ON THIS DAY OF , 20 .

ATTEST: CITY RECORDER
WASHINGTON CITY

MAYOR
CITY OF WASHINGTON

CITY ENGINEER'S APPROVAL

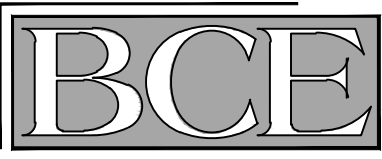
THE ABOVE RESIDENTIAL SUBDIVISION PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE THIS DAY OF , 20 .

ENGINEER
WASHINGTON CITY

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS DAY OF , 20 .

CITY ATTORNEY
WASHINGTON CITY



BROWN
CONSULTING
ENGINEERS, P.C.

CIVIL ENGINEERING-LAND SURVEYING-LAND PLANNING
736 S 900 E SUITE B105
ST. GEORGE, UTAH 84790
(435) 628-4700

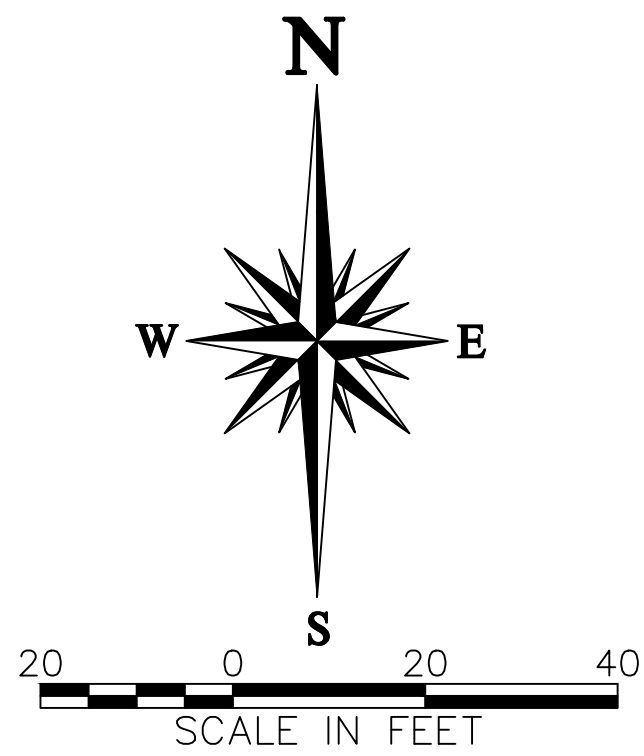
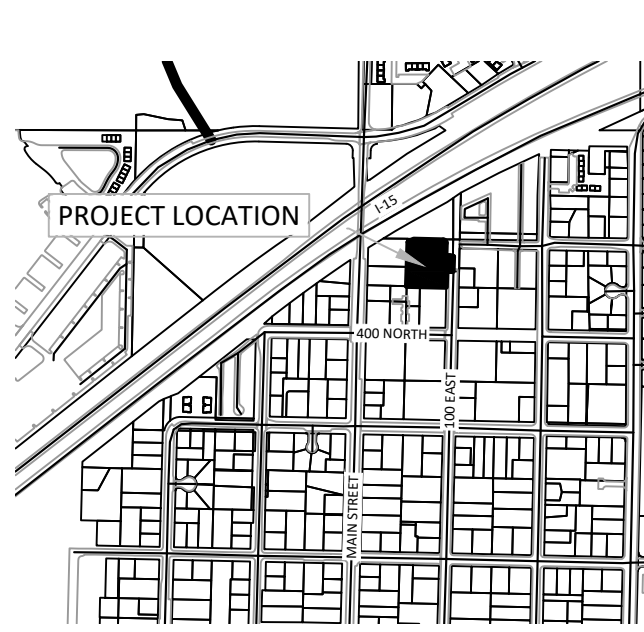
CHECKED BY:
SK
DRAWN BY:
AWJ
DATE:
07/01/25
JOB :
25-33
SCALE:
1" = 20'
SHEET NO.
1 OF 2

TREASURER APPROVAL

I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS DAY OF , A.D. 20 THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES DUE AND OWING ON THIS SUBDIVISION FINAL PLAT HAVE BEEN PAID IN FULL.

WASHINGTON COUNTY TREASURER

RECORDED NO.



- LEGEND
- CENTER LINE
 - ADJACENT PROPERTY LINE
 - BACK OF CURB
 - PROPERTY LINE
 - PRIVATE AREA
 - LIMITED COMMON AREA
 - COMMON AREA AND STREETS
 - FOUND CLASS I MONUMENT
 - FOUND BCE PK NAIL & WASHER (AS NOTED)
 - SET BCE REBAR AND CAP 24215
 - SET BCE PK NAIL & WASHER

GENERAL NOTES

- A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY LANDMARK ENGINEERING & TESTING (PROJ. NO. 05702). THE INVESTIGATION RESULTS AND SPECIFIC RECOMMENDATIONS FOR THE CONSTRUCTION OF FOUNDATIONS AND FLOOR SLABS AND EXTERIOR FLAT WORK, ARE COMPILED IN A REPORT DATED NOVEMBER 15, 2005. THIS REPORT IS AVAILABLE FROM THE DEVELOPER AND A COPY IS ON FILE WITH THE CITY OF WASHINGTON. OWNERS, BUILDERS, AND CONTRACTORS SHOULD BECOME FAMILIAR WITH THIS REPORT AND COMPLY WITH ITS RECOMMENDATIONS.
- ALL SEWER AND WATER IMPROVEMENTS ARE PUBLIC AND MAINTAINED BY WASHINGTON CITY UP TO AND INCLUDING THE METERS. ALL FIRE HYDRANTS AND THE APPURTENANCES WITHIN THE DEVELOPMENT ARE PUBLIC AND ARE MAINTAINED BY WASHINGTON CITY.
- THE PROPERTY OWNERS AND/OR HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL COMMON AREAS AND LIMITED COMMON AREAS WITHIN THE DEVELOPMENT, INCLUDING BUT NOT LIMITED TO REMOVAL OF WEEDS AND DEBRIS. WASHINGTON CITY RESERVES THE RIGHT TO ASSESS THE PROPERTY OWNERS AND/OR HOMEOWNERS ASSOCIATION FOR FAILURE TO MAINTAIN COMMON AREAS.
- ALL COMMON AREA SHOWN ON THIS PLAT ARE SUBJECT TO A PUBLIC UTILITIES AND DRAINAGE EASEMENT FOR INSTALLATION AND MAINTENANCE OF IMPROVEMENTS AND SUCH EASEMENTS SHALL BE SUBJECT TO THE RIGHT OF THE CITY OF WASHINGTON TO ASSESS THE PROPERTY OWNER AND/OR HOMEOWNERS ASSOCIATION TO REPAIR LANDSCAPING, ETC., WHERE NEEDED TO REPAIR OR REPLACE THE PUBLIC UTILITIES.
- NO DRIVEWAYS ARE ALLOWED WITHIN 25 FEET OF CORNER RADIUS ON CORNER LOTS IN ACCORDANCE WITH WASHINGTON CITY ACCESS MANAGEMENT PLAN SECTION 1.3.4 "CORNER CLEARANCE"
- NO BASEMENT ALLOWED FOR THIS DEVELOPMENT WITHOUT PRIOR APPROVAL FROM WASHINGTON CITY PUBLIC WORKS.
- WASHINGTON CITY OPERATES A MUNICIPAL CULINARY WATER SYSTEM WITH NO EXCESS CULINARY WATER SUPPLY. APPROVAL OF A PLAT BY WASHINGTON CITY DOES NOT GUARENTEE THAT SUFFICIENT WATER WILL BE AVAILABLE TO SERVE LOTS DEPICTED ON ANY PLAT. ANY LAND USE APPLICANT MAY BE REQUIRED BY THE CITY OF WASHINGTON TO PROVIDE A GUARANTEE OF WATER AVAILABILITY OR PROVIDE PROOF OF GUANRANTEED AND SUFFICIENT WATER OR PROPOSED USES. IF THERE IS ANY APPROVAL WITHOUT WATER GUANRANTEE, THE APPLICANT ASSUMES THE ENTIRE RISK OF WATER AVAILABILITY FOR A PLATTED LOT.
- ALL CORNER LOTS SHALL MAINTAIN PROPER CLEAR SIGHT DISTANCE FROM THE STREETS. WASHINGTON CITY RESERVES THE RIGHT TO ASSESS THE PROPERTY OWNER AND/OR HOMEOWNERS ASSOCIATION FOR FAILING TO MAINTAIN PROPER SIGHT DISTANCE REQUIREMENTS.

BASIS OF BEARING

BASIS OF BEARING FOR THIS SURVEY IS NORTH 0° 12' 34" EAST BETWEEN FOUND MONUMENTS ON MAIN STREET AT TELEGRAPH AND MAIN STREET AT 200 NORTH

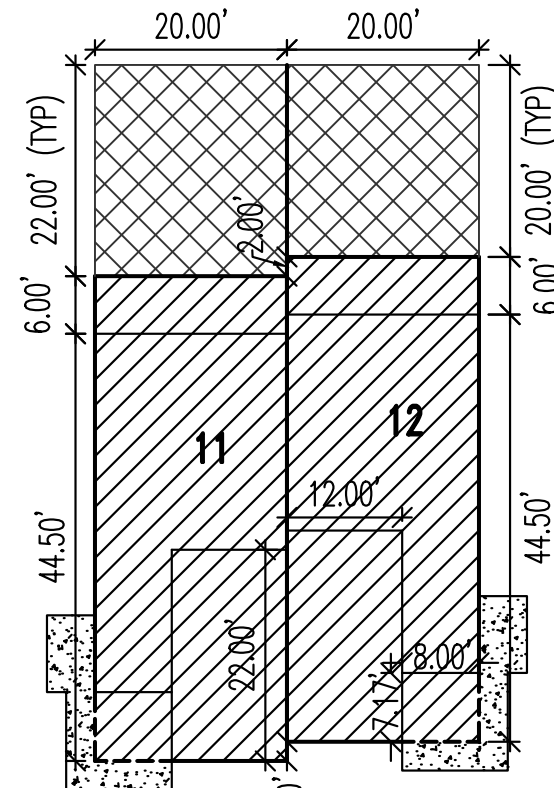
BOUNDARY DESCRIPTION

BEGINNING AT THE SOUTHEAST CORNER OF LOT 4, BLOCK 51 WASHINGTON TOWN RE-SURVEY AS FILED IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER AND RUNNING THENCE S89°50'52"W 205.66 FEET TO THE SOUTHWEST CORNER OF SAID LOT 4; THENCE N0°26'35"E 230.15 FEET; TO A POINT OF CURVATURE OF A NON TANGENT CURVE TO THE LEFT WITH A RADIUS OF 940.00 FEET, RADIUS BEARS N44°25'14"W, THENCE NORTHEASTERLY ALONG SAID CURVE WITH AN ARC LENGTH OF 3.61 FEET, THROUGH A CENTRAL ANGLE OF 0°13'13"; THENCE N64°45'48"E 28.74 FEET; THENCE N89°56'30"E 154.16 FEET; TO A POINT OF CURVATURE WITH A 15.00 FOOT RADIUS CURVE TO THE RIGHT, THENCE 23.63 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°15'11"; THENCE S0°13'04"W 69.87 FEET; TO A POINT OF CURVATURE OF A NON TANGENT CURVE TO THE RIGHT WITH A RADIUS OF 45.00 FEET, RADIUS BEARS S25°12'16"E, THENCE EASTERLY ALONG SAID CURVE WITH AN ARC LENGTH OF 38.76 FEET, THROUGH A CENTRAL ANGLE OF 49°20'48"; TO A POINT OF REVERSE CURVATURE WITH A 5.00 FOOT RADIUS CURVE TO THE LEFT, THENCE 2.49 FEET ALONG THE ARC OF SAID REVERSE CURVE THROUGH A CENTRAL ANGLE OF 28°29'43"; THENCE S0°13'00"W 76.91 FEET; THENCE N89°47'00"W 33.00 FEET; THENCE S0°13'00"W 82.82 FEET TO THE POINT OF BEGINNING

CONTAINS 1.194 acres

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	5.00'	71°31'12"	6.24'	3.60'
C2	45.00'	45°02'59"	35.38'	18.66'
C3	45.00'	49°20'48"	38.76'	20.67'
C4	5.00'	28°29'43"	2.49'	1.27'
C5	15.00'	90°15'11"	23.63'	15.07'
C6	940.00'	0°13'13"	3.61'	1.81'
C7	15.00'	37°28'33"	9.81'	5.09'
C8	45.00'	29°12'22"	22.94'	11.72'
C9	15.00'	18°24'18"	4.82'	2.43'



TYPICAL UNIT

(NTS)

PRADA PACANA SUBDIVISION AMENDED PLAT A PLANNED UNIT DEVELOPMENT

LOCATED IN THE NW 1/4 SECTION 14, T 42 S, R 15 W, SLB&M
WASHINGTON CITY, UTAH

BCE BROWN
CONSULTING
ENGINEERS, P.C.
CIVIL ENGINEERING-LAND SURVEYING-LAND PLANNING
736 SOUTH 900 EAST SUITE B105
ST. GEORGE, UTAH 84790
(435) 628-4700

CHECKED BY:
SK
DRAWN BY:
AWJ
DATE:
07/01/25
JOB:
25-33
SCALE:
1" = 20'
SHEET NO.
2 OF 2

WASHINGTON CITY
LAND USE AUTHORITY MEETING
STAFF REVIEW

HEARING DATE:	September 17th, 2025
ACTION REQUESTED:	Preliminary Plat approval for the Crimson Court Subdivision, located at approximately 990 East George Washington Blvd
APPLICANT:	Bush & Gudgell, Inc.
OWNER:	Miller Lance Tr
ENGINEER:	Rick Meyer, Bush and Gudgell
REVIEWED BY:	Eldon Gibb, Community Development Director
RECOMMENDATION:	Recommend approval with conditions

Background

The applicant is requesting approval of a Preliminary plat for the Crimson Court Subdivision, located at approximately 990 East George Washington Blvd. This particular subdivision is proposing 13 lots on an area covering 3.61 acres with lot size ranging from 5,000 sq. ft to 11,000 sq. ft. The zoning designation at this location is PUD-R. The surrounding zoning is RA-1 to the north, R-1-15 to the east, R-1-8 to the south and PUD-R to the west.

During the PUD zone change, the City Council removed the amenity trail from the plan with the condition that the applicant pay 80% of the cost to build the trail to the city to be used towards public amenities in this area which will be used at the Wheels Park. The applicant will pay this with the final plat application.

The proposed subdivision conforms to the approved zoning. The request meets the subdivision requirements and other city ordinances as it relates to this location. Staff has reviewed the request and recommends approval, with conditions, of the preliminary plat as outlined.

Recommendation

Staff recommends the Land Use Authority approve the Preliminary plat for the Crimson Court subdivision, based on the following findings and subject to the following conditions:

Findings

1. The preliminary plat meets the land use designation as outlined in the General Plan for the proposed area.
2. That the preliminary plat conforms to the Washington City Zoning Ordinance and Subdivision Ordinance as outlined.

Conditions

1. A preliminary and final drainage study and grading and drainage plan shall be submitted for review and approval prior to moving dirt. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
2. A preliminary and final geotechnical study shall be submitted to the City for review and approval prior to submitting the final plat. All recommendations of the geotechnical study shall be adhered to.
3. Construction drawing for the subdivision and its infrastructure shall be submitted to the City for review and approval prior to the submittal for final plat.
4. The construction drawings shall adequately address prevention of nuisance storm water drainage across lots. If retaining walls are utilized to prevent cross-lot drainage, the developer shall be responsible for installing said retaining walls.
5. At the time of final plat submittal, the following documents shall also be submitted:
 - A. A title report
 - B. A copy of any deed restrictions, other restrictions, restrictive covenants, architectural controls, or other requirements that may apply to the development (CC&Rs).
6. All detention areas shall be landscaped and all detention and landscaped areas shall be maintained by the property owners and/or homeowners association. A note shall be placed on the plat stating that the City has the right to assess the property owners an/or homeowners association for failing to maintain the detention and landscaped areas.
7. A final landscape plan and fencing plan shall be submitted for review and approval prior to the submittal of the final plat. Landscaping and fencing shall be installed prior to the occupancy of the buildings that will be constructed along the landscaped and fenced areas.
8. All landscaping, walls and other structures shall meet sight distance requirements. A note shall be placed on the final plat stating that the City has the right to assess the property owners and/or homeowners association for failing to maintain sight distance requirements.
9. Driveway locations are to be approved by the Public Works Department.

10. Any proposed blasting for the development of the subdivision requires the submittal of a blasting plan with the construction drawings and issuance of a blasting permit.

11. That a Post Construction Maintenance Agreement be recorded prior to the recording of the final plat.

12. An LID Stormwater Quality Report needs to be submitted for review and approval to the Public Works Department before any final plat application can be submitted.

13. The developer will pay 80% of the cost to build the amenity trail in this subdivision as shown in the PUD-R zone change exhibit. The is shall be paid with Final Plat application

14. The landscaping strip adjacent to George Washington Blvd shall be complete with the subdivision civil improvements and/or before the issuance of the first building permit.



BUSH & GUDGELL, INC.

Engineers • Planners • Surveyors
205 East Tabernacle
St. George, Utah 84770
(435) 673-2337 (ph.)
(435) 673-3161 (fax)

September 4, 2025

RE: Preliminary Plat Application – Crimson Court

Dear land use authority members,

With this preliminary plat request, the applicant desires to gain entitlements to subdivide the property located on parcel W-WBKS-2-A. The subdivision is proposed to include thirteen (13) single family residential homes on 3.61 acres. Currently, the land is owned by Lance Miller Tr. The land includes most of lot 2 of the Woolsey Blake subdivision. We feel that this development will be in great harmony with the adjacent properties, including the Roadrunner Ridge neighborhood. Your consideration of this request is greatly appreciated.

Sincerely,

Rick Meyer, PE
Bush and Gudgell



PROJECT FLOW CARD: PP-25-0011 - Preliminary Plat - Crimson Court
Approx 990 E George Washington Blvd

Planning	Reviewed. OK to proceed	
Public Works	Reviewed- OK to proceed. Basic public works/utility/grading layout is acceptable for preliminary plat, however, modifications will be required for grading and civil construction submission.	
Engineer	Reviewed and ok to move forward. Some things will get worked out during construction drawings.	
Fire Dept.	Reviewed, no concerns	
Parks/Trails	Reviewed, no concerns	
Building Dept	Reviewed, no concerns	
Dixie Power	Reviewed, no concerns	
Economic Dev	Reviewed. No concerns. Residential density in this development helps support planned commercial development for the nearby George Washington Blvd commercial corridor. RH	

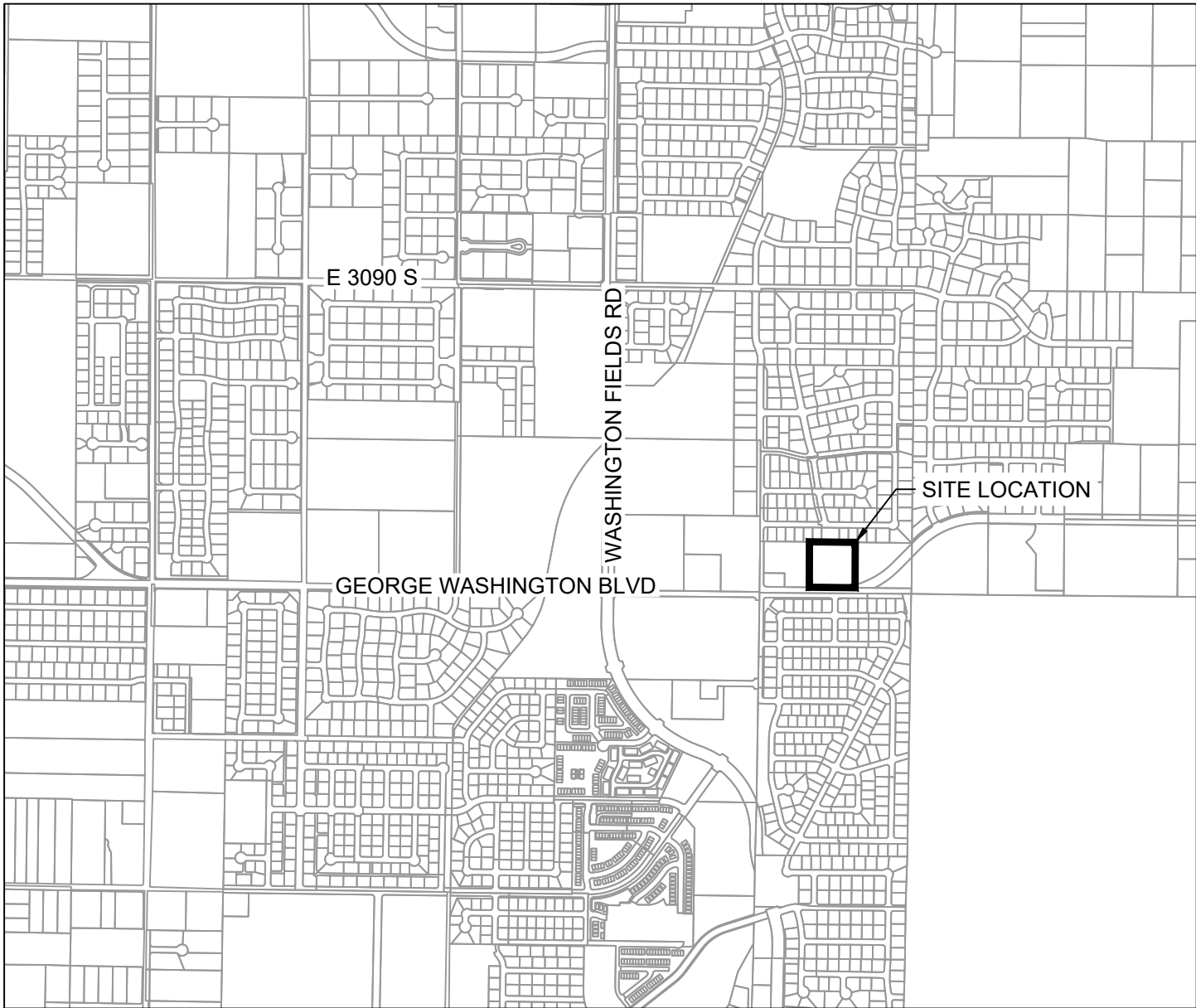
B&G PROJECT NUMBER 251020

CRIMSON COURT

PRELIMINARY PLAT

LOCATED IN WASHINGTON, UTAH

SECTION 36, T 42 S, R 15 W, SLB&M
PARCEL #W-WBKS-2-A



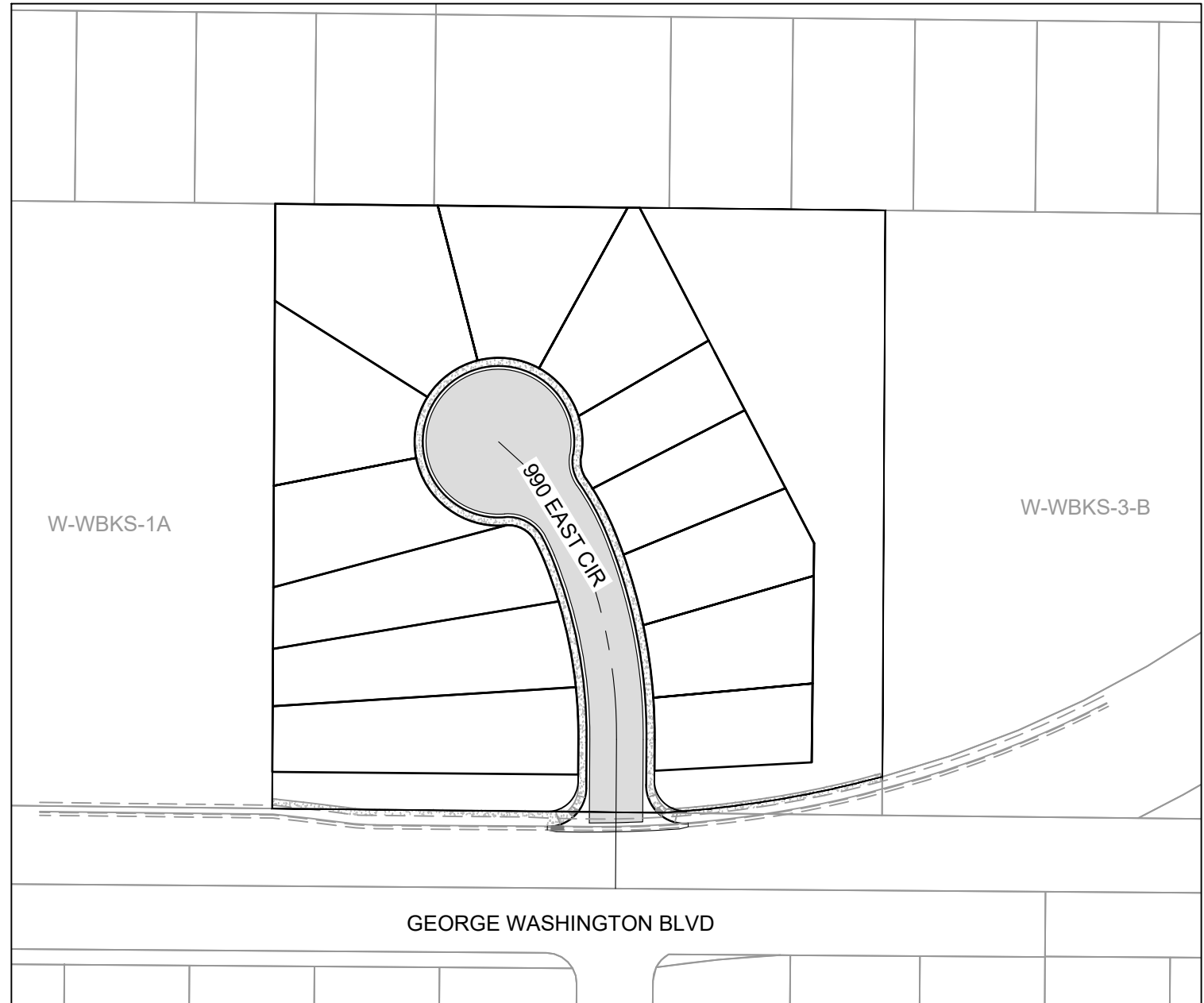
VICINITY MAP

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING & DRAINAGE PLAN
4	UTILITY PLAN
5	FIRE PROTECTION & LIFE SAFETY PLAN
6	LANDSCAPE PLAN

BOUNDARY DESCRIPTION

BEGINNING AT A POINT THAT LIES SOUTH 89°21'44" EAST ALONG THE TOWNSHIP LINE 434.76 FEET AND DUE NORTH 45.83 FEET FROM THE SOUTHWEST CORNER OF SECTION 36, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 00°18'42" EAST 396.57 FEET; THENCE SOUTH 89°22'52" EAST 400.00 FEET; THENCE SOUTH 00°18'42" WEST 370.13 FEET; THENCE WESTERLY ALONG A 719.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 82°49'41" WEST A DISTANCE OF 195.54 FEET), CENTER POINT LIES NORTH 14°58'55" WEST THROUGH A CENTRAL ANGLE OF 15°37'12", A DISTANCE OF 196.15 FEET; THENCE NORTH 89°21'43" WEST 206.12 FEET TO THE POINT OF BEGINNING.

CONTAINING 156,945 SQUARE FEET OR 3.60 ACRES.



PROJECT MAP

GENERAL NOTES

- 1) CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK IN ANY ZONE.
- 2) ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS.
- 3) PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.
- 4) PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- 5) A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS.
- 6) FOLLOW APPENDIX 'J' STANDARDS FOUND IN THE IBC.
- 7) ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

DUST CONTROL

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:

- EARTH MOVING ACTIVITIES:**
- 1) APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES.
 - 2) PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS OR EQUIPMENT PENETRATION.
 - 3) APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
 - 4) OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.
- DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:**
- 1) WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
 - 2) INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

SEPTEMBER 2025

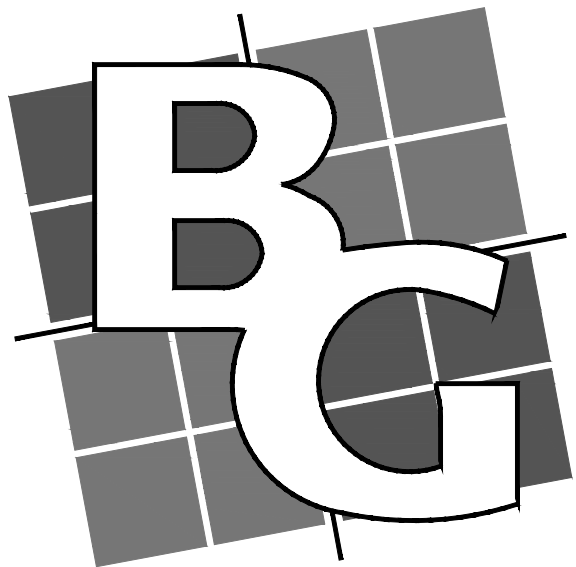
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Engineers - Planners - Surveyors

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Phone (435) 673-2337

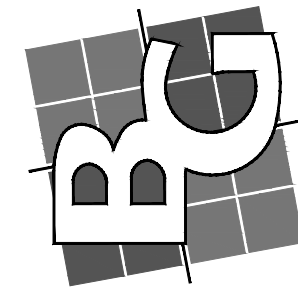


OWNER/DEVELOPER
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801-367-2245
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RICK MEYER - PROJECT MANAGER
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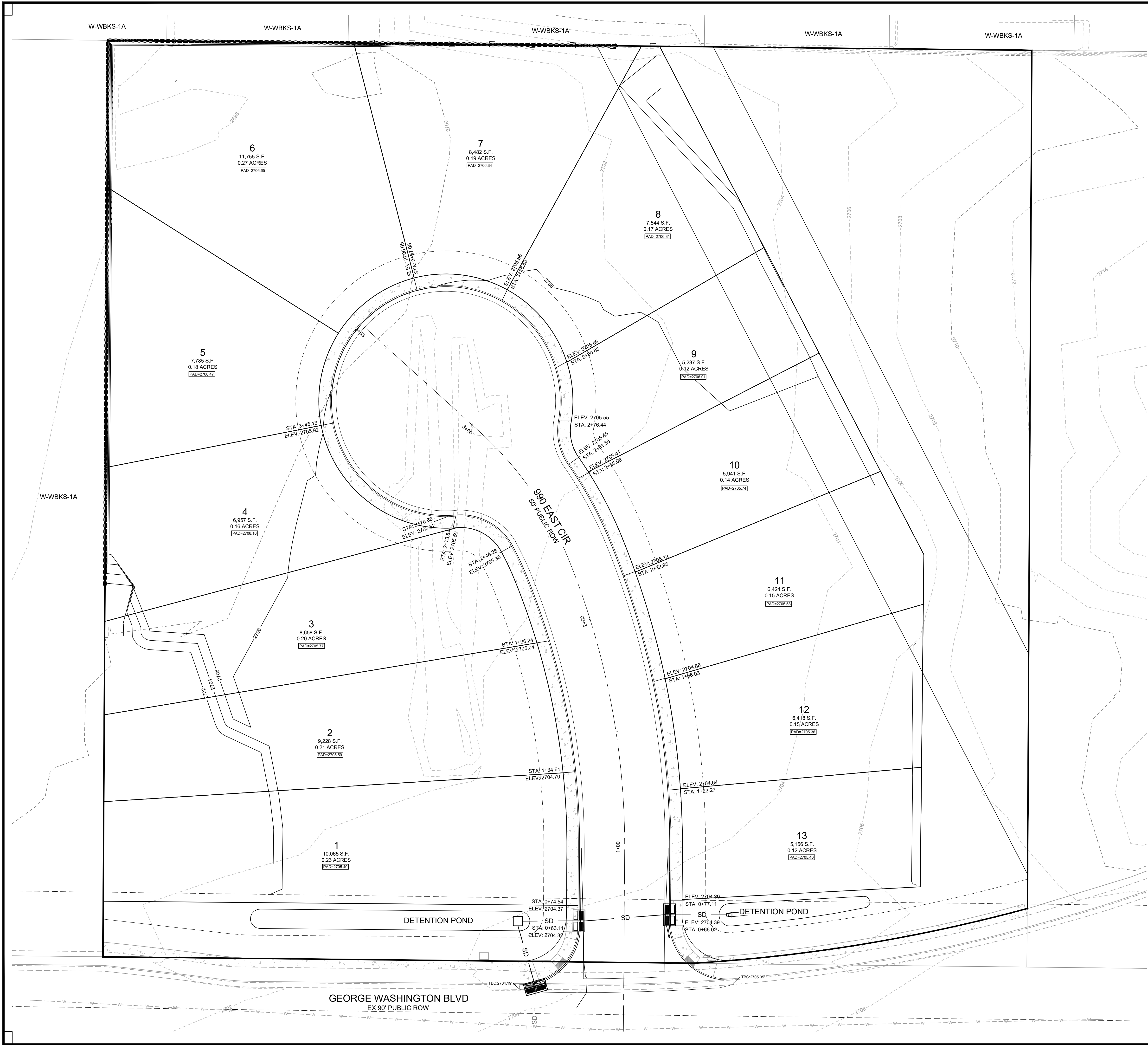
DATE: SEP 2025
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APPROVED: RM
SCALE: NTS
JOB NO. 251020

COVER SHEET
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

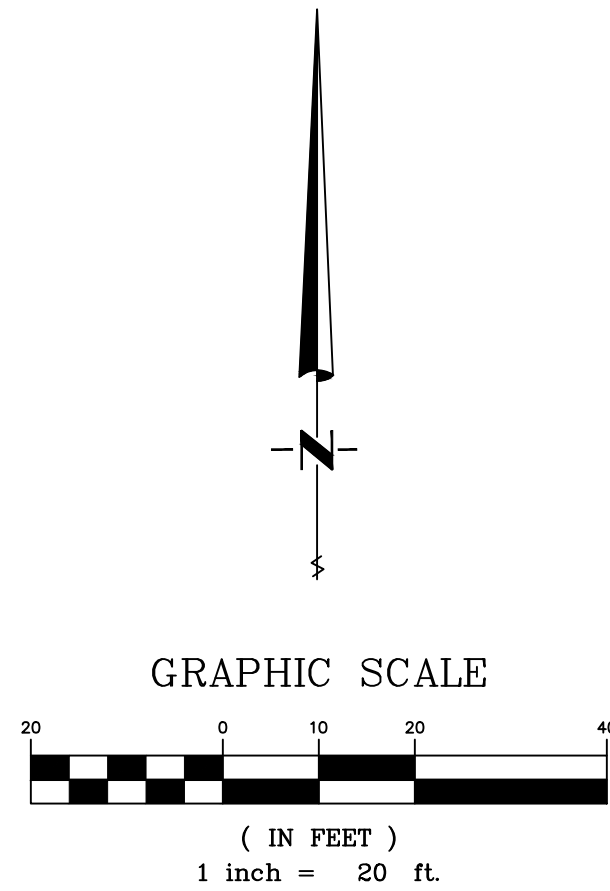
SHEET 1 OF 6
SHEETS
FILE: 251020



SHEET 2 OF 6 SHEETS
FILE: 251020



- LEGEND**
- EXISTING GROUND CONTOUR (2' & 10' INTERVAL)
 - FINISH GROUND CONTOUR (2' & 10' INTERVAL)
 - LOT LINE
 - LIMITS OF CONSTRUCTION
 - ROAD CENTERLINE
 - ROW LINE
 - RETAINING WALL
 - LANDSCAPE DRAINAGE SWALE
 - PAD: 00.00
 - FL: 00.00
 - TBC: 00.00
 - SLOPE IN RUN: RISE
 - CONTOUR ELEVATION IN FEET
 - STORM DRAIN MAN HOLE
 - CURB INLET
 - STORM DRAIN PIPE
 - EXISTING CURB INLET
 - EXISTING STORM DRAIN



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BLUE STAKES LOCATION CENTER (UTAH)

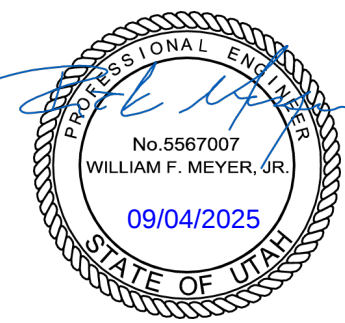
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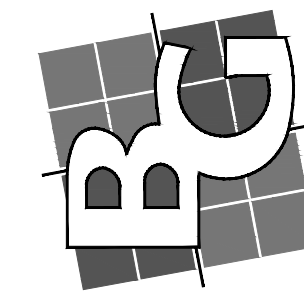
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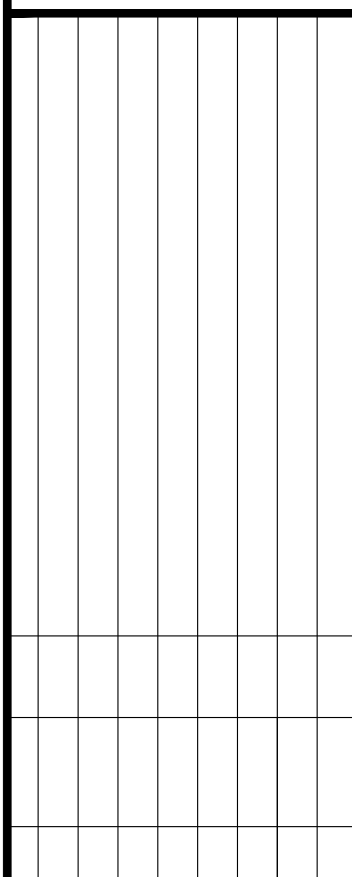
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GRADING & DRAINAGE PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

SHEET
3 OF **6**
SHEETS
FILE: 251020

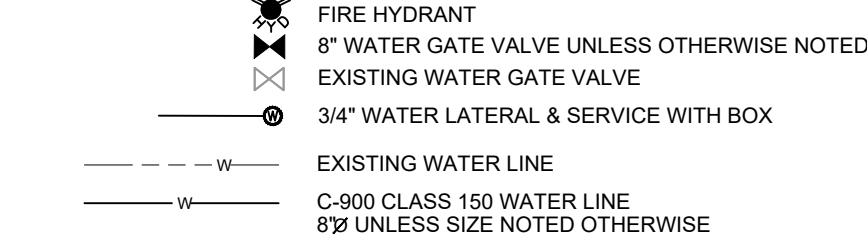


UTILITY PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

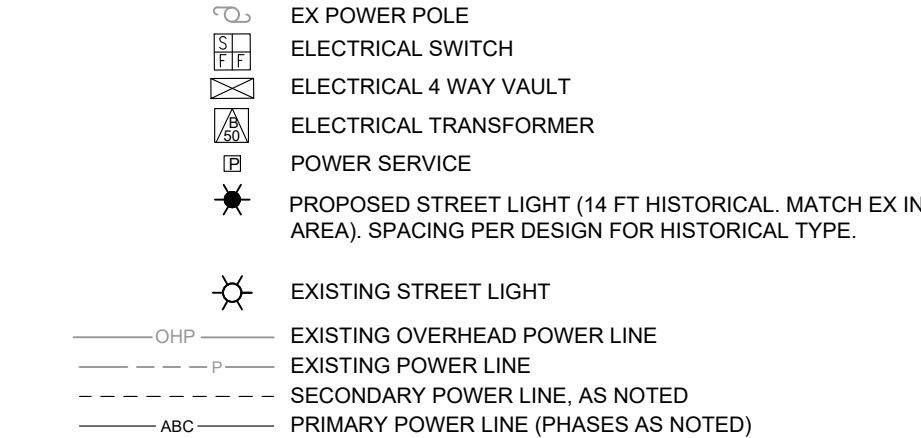
SHEET 4 OF 6 SHEETS

FILE: 251020

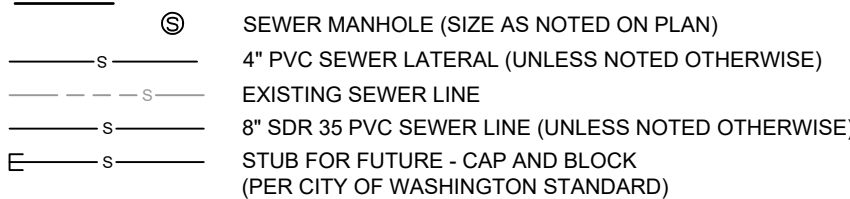
1. DEVELOPER TO PROVIDE ALL TRENCH LOCATIONS TO CENTURYLINK AND WILL PROVIDE #4 CONDUIT. CONTACT CENTURYLINK @ 435-632-6553 1 WEEK IN ADVANCE.
2. INSIDE TERMINATION: DEVELOPER TO PROVIDE 4 X 8 PLYWOOD BACKBOARD AND A #6 GROUND WIRE TO BUILDING NEUTRAL WITH 120V AC OUTLET ON BACKBOARD. A PERMANENT, GROUNDING 3-PHASE ELECTRICAL OUTLET IS REQUIRED WITHIN 10 FEET OF THE 120V AC OUTLET. THE 120V AC OUTLET SHALL BE STANDARD DUPLEX OUTLET, CALLED NEMA 5-15R. "LUMEN ELECTRONICS NEED TO BE POWERED BY 120 VAC (15-30) DEDICATED CIRCUIT. 8 LUMEN ELECTRONICS NEED TO BE POWERED BY 120 VAC (15-30 AMP) DEDICATED CIRCUIT."
3. WEATHERPROOF TERMINATION: DEVELOPER TO PROVIDE WEATHERPROOF WEATHERPROOF BOX AND #6 GROUND WIRE TO BUILDING NEUTRAL WITH A 120V AC OUTLET LOCATED IN THE LEFT OR RIGHT HAND LOWER CORNER. A PERMANENT, GROUNDING 3-PHASE ELECTRICAL OUTLET IS REQUIRED WITHIN 6 FEET OF THE 120V AC OUTLET. THE 120V AC OUTLET SHALL BE STANDARD DUPLEX OUTLET, CALLED NEMA 5-15R. "LUMEN ELECTRONICS NEED TO BE POWERED BY 120 VAC (15-30) DEDICATED CIRCUIT. 8 LUMEN ELECTRONICS NEED TO BE POWERED BY 120 VAC (15-30 AMP) DEDICATED CIRCUIT."
4. CONTACT CENTURYLINK FOR SCHEDULING AT 385-244-7763 OR DARRIN ALLEN@LUMEN.COM 45 DAYS BEFORE ANY SERVICE IS REQUIRED TO SETUP SITE VISIT AND REPORT ANY CHANGES TO CITY STAFF/JVC APPROVED PLANS.
5. ANY CENTURYLINK FACILITY/RELATIONS ASSOCIATED WITH A PROJECT WILL BE REQUIRED TO BE A MEMBER/DEVELOPER AND MUST BE SCHEDULED A MINIMUM OF 45 DAYS IN ADVANCE.



1. ALL WATERLINE WORKS MUST BE INSTALLED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY THE WASHINGTON CITY WATER DEPARTMENT.
2. THE CONTRACTOR SHALL COMPLY WITH THE WASHINGTON CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION; "THE UNIFORM PLUMBING CODE" AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF WASHINGTON.
3. CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
4. THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE INSTALLED AT A MINIMUM OF 18" DEPTH AND SHALL BE INSTALLED TO THE CITY OF WASHINGTON SECTION 608.16.5 AND FOR FIRE SPRINKLER SYSTEMS PER (C) 608.16.4.
5. ALL BACKFLOW ASSEMBLY INSTALLATION AND TEST REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF WASHINGTON SECTION 608.16.5.
6. 12 GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
7. THRUST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS. ALL JOINTS SHALL BE REINFORCED WITH 2" INTERLOCK GASKETS ON THE FULL CIRCUMFERENCE OF THE PIPE.
8. ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING Pavement. THE ASPHALT SHALL BE 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
9. CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES OR UNUSED STUB LINES THAT WILL BE ABANDONED.
10. ANY CHANGES TO THE SPECIFICATIONS SHALL BE APPROVED AND DOCUMENTED BY WASHINGTON CITY WATER SERVICES ENGINEER.



1. THE POWER DESIGN ON THIS UTILITY PLAN IS CONSIDERED BY DIXIE POWER TO BE PRELIMINARY. UNTIL APPROVED BY A JUC APPROVAL STAMP, UPON RECEIPT OF THE JUC APPROVAL STAMP, THE DIXIE POWER DEPARTMENT SHALL COMMENCE WORK WITH THE FINAL CONSTRUCTION ESTIMATE. CONSTRUCTION ON THIS PROJECT WILL NOT COMMENCE UNTIL ALL NECESSARY PAYMENTS HAVE BEEN RECEIVED BY THE JUC.
2. ALL PRIMARY AND SECONDARY POWER INSTALLATION SHALL BE PERFORMED BY DIXIE POWER AND ITS APPROVED CONSTRUCTION CREWS. IF BACKFILL AND COMPLETION OF THE TRENCH TO THE DIXIE POWER CONDUITS SHALL BE SAND BEDDED BEFORE NATIVE BACKFILL CAN BE UTILIZED.
3. IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE LOCATIONS AND ELEVATIONS FOR EACH OF THE FACILITIES THAT ARE TO BE INSTALLED WITHIN THE JUC. IF IT IS FOUND THAT THE LOCATIONS OR ELEVATIONS OF THE FINAL GRADE OF THE EASEMENT SHALL BE ESTABLISHED BEFORE CONSTRUCTION CAN BEGIN, IF THE GRADE CHANGES AFTER THE CONSTRUCTION HAS COMPLETED, THE COSTS TO CHANGE THE ELEVATION SHALL BE BILLABLE TO THE OWNER.
4. ALL JUC TRENCHES SHALL BE BACKFILLED AND COMPACTED IN 6 TO 8" LIFTS TO A DENSITY OF 95% TO 98% OF THE STANDARD SPECIFICATION. ALL TRENCHES AND ALL AT ALL PREPARED TRANSFORMER PAD AND HEAVY HARDWARE LOCATIONS. TESTING IS TO BE DONE AT MIDDLE AND TOP OF TRENCH.
5. FIELD DENSITY REPORTS FROM AN ACCREDITED GEOTECHNICAL ENGINEERING COMPANY SHALL BE PROVIDED TO THE DIXIE POWER ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT.
6. ALL CHANGES TO EXISTING GRADIENTS NEAR EXISTING POWER UTILITIES MUST BE APPROVED BY THE JUC. ALL CHANGES TO EXISTING POWER UTILITIES AND CONSTRUCTION, BLUE STATES PROTOCOL, SHALL BE FOLLOWED AT ALL TIMES.
7. ANY IN FIELD CHANGES TO THE JUC APPROVED POWER DESIGN WILL BE AT THE OWNERS RISK. ALL CHANGES MUST BE PRE-APPROVED AND DOCUMENTED BY DIXIE POWER PRIOR TO INSTALLATION.
8. OVERHEAD POWER LINE EASEMENTS SHALL NOT BE LANDSCAPED WITH TREES THAT GROW MORE THAN 15 FT AT MAXIMUM MATURITY. ALL UNDERGROUND "FACE" SHALL BE 18" MINIMUM. ALL TRENCHES SHALL BE 18" MINIMUM. 18" ON SIDES AND BACK FOR TRANSFORMERS AND SWITCHES AND 15FT IN FRONT AND BACK FOR PMH (HWARE) FOR EASE OF ACCESS.
9. ALL REFERRED TO THE JUC APPROVAL STAMP. ALL INFORMATION ON INSTALLATION GUIDELINES AND METERING STANDARDS.



1. ANY SEWERS NOT IN PUBLIC STREETS SHALL SHOW RECORDED EASEMENTS.
2. NO SEWER UNDER 9' DEEP UNLESS APPROVED BY THE CITY OF WASHINGTON.
3. BUILDINGS MAY REQUIRE INTERCEPTORS AT A LATER DATE.
4. ALL SEWER MANHOLES SHALL HAVE "CITY OF WASHINGTON" LOGO LIDS FOR FINAL INSPECTION.
5. 100' MAXIMUM SPACE BETWEEN SEWER LATERAL CLEANOUTS.
6. ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF WASHINGTON STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", THE "INTERNATIONAL PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF WASHINGTON.

NOTE:
IRRIGATION LINE SHOWN AS REFERENCE ONLY.

NOTE:
MINIMUM SEPARATION REQUIRED BETWEEN IRRIGATION
AND WATER IS 5' HORIZONTAL & 1' VERTICAL.

CONTRACTOR NOTE:
CONTRACTOR TO COORDINATE WITH BLUE STAKES TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLING UTILITIES. NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.

LANCE MILLER
801-367-2245
lancebmiller@gmail.com

BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770

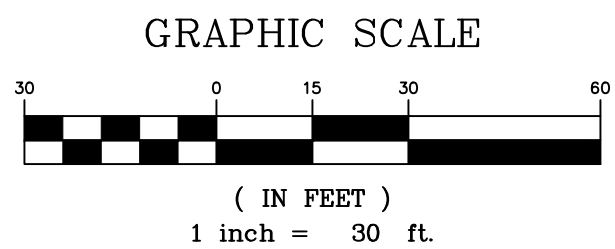
RICK MEYER - PROJECT MANAGER
(435)-673-2337

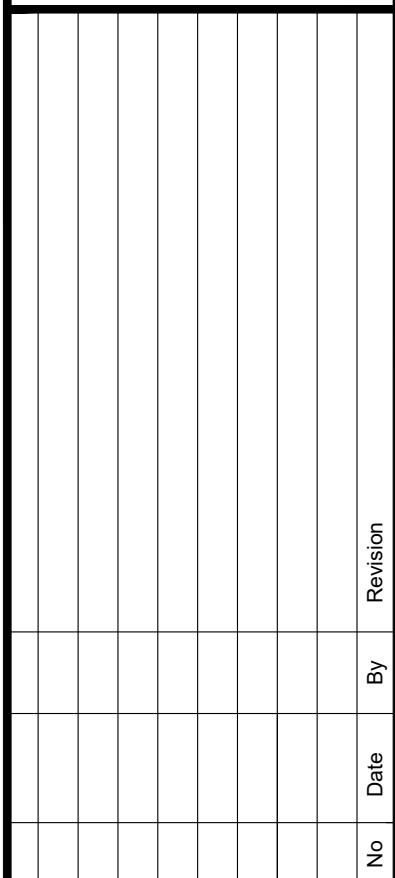
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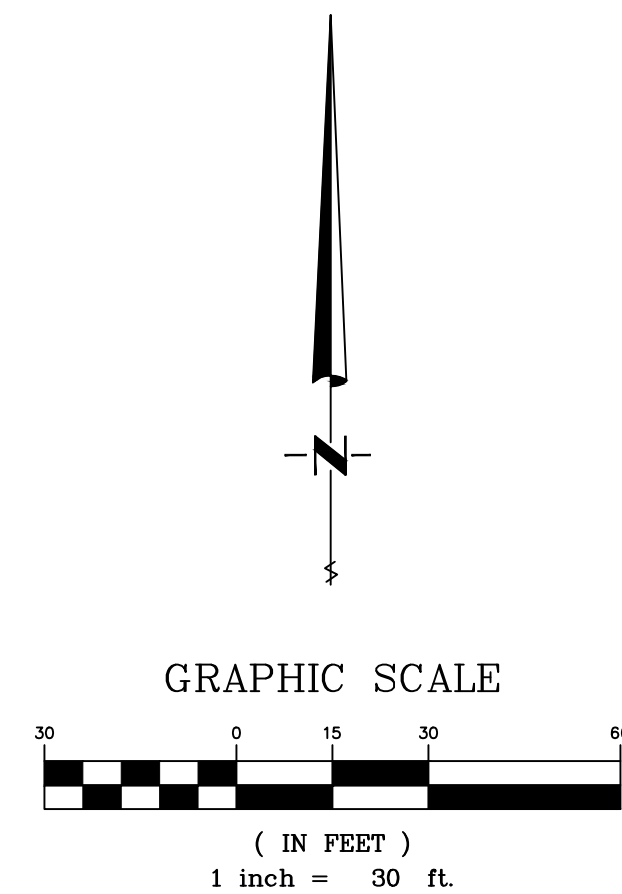
(BLUE STAKES LOCATION CENTER (UTAH))





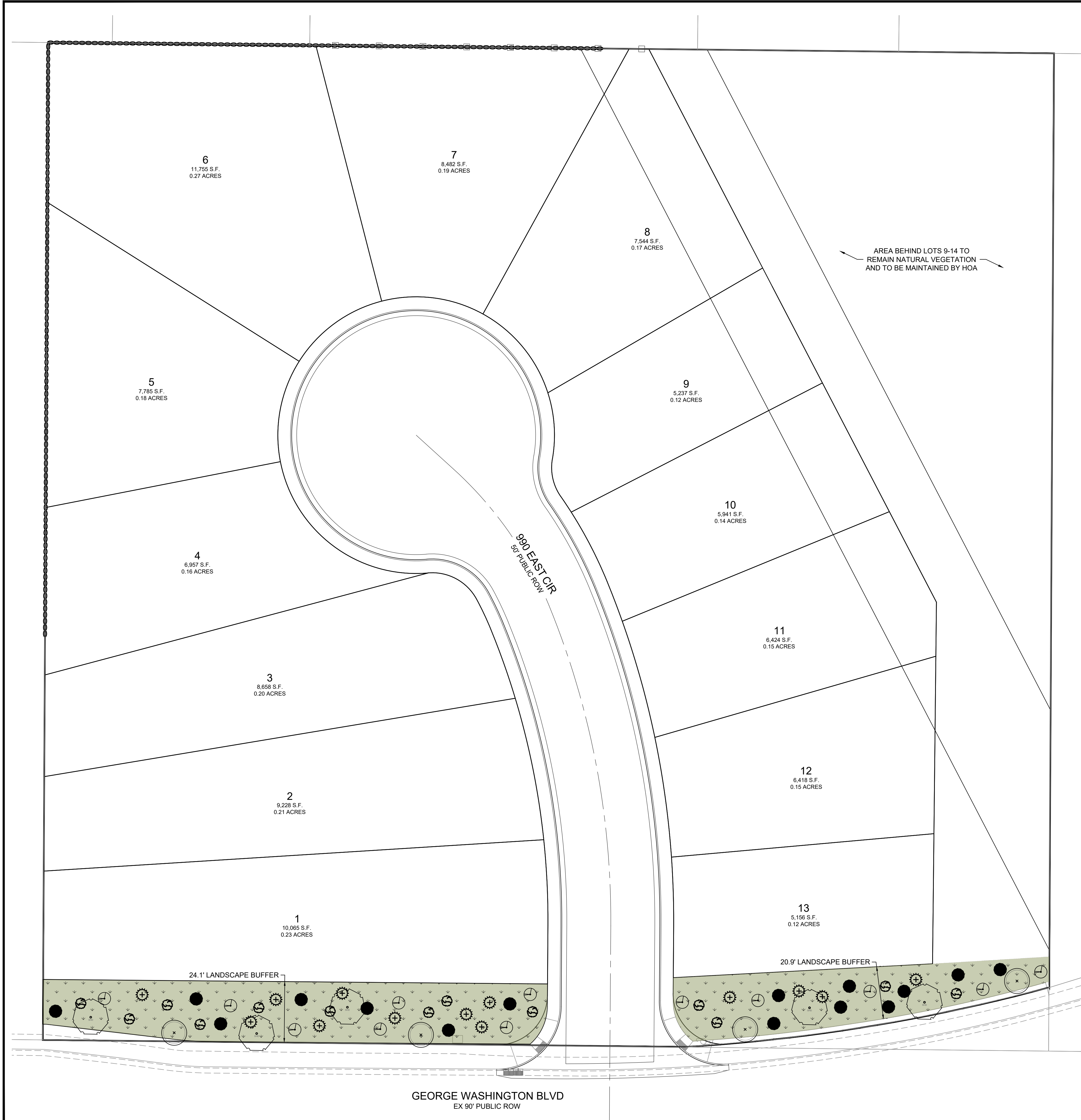
FIRE LIFE PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

SHEET 5 OF 6 SHEETS
FILE: 251020



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ST GEORGE, UT 84770

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PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COUNT
●	Mulenbergia capillaris	Pink Muhly Grass	5 gal.	15
☼	Agave angustifolia 'Marginata'	Variigated Caribbean Century Plant	5 gal.	13
⌚	Spartium junceum	Spanish Broom	5 gal.	12
⚙	Miscanthus sinensis 'Morning Light'	Morning Light Eulalia Grass	5 gal.	13
⬤	Chitalpa x taskentensis	Pink Dawn Chitalpa	24 box	5
⊗	Prosopis glandulosa 'Maverick' - Multi-Trunk	Maverick Honey Mesquite	24 box	4
Total				62

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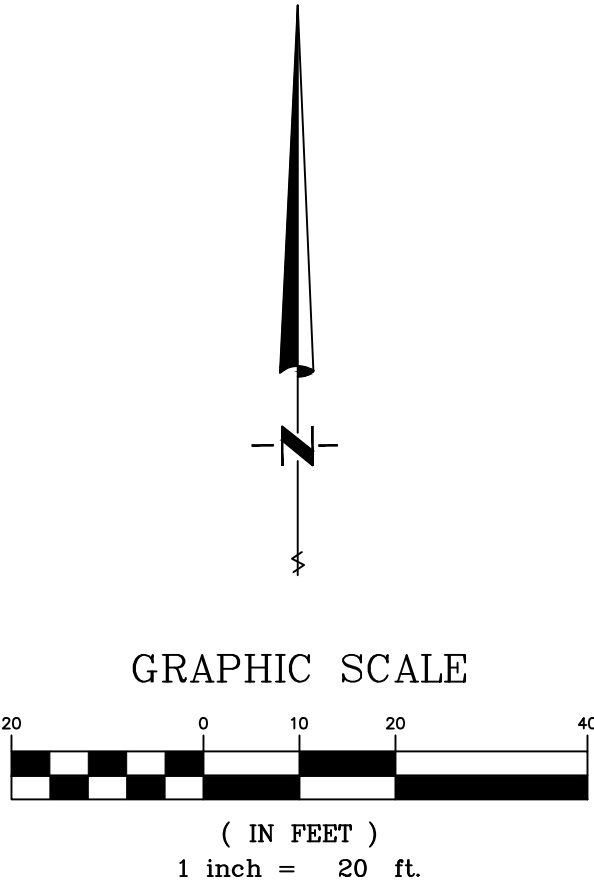
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BLUE PRINTS ONLY FOR CONSTRUCTION

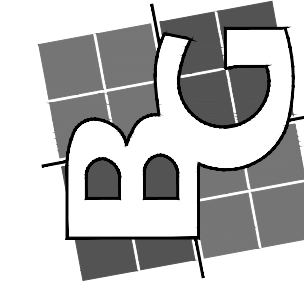
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LANDSCAPE PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

SHEET 6 OF 6 SHEETS
FILE: 251020