

NOTICE OF MEETING  
PLANNING COMMISSION  
CITY OF ST. GEORGE  
WASHINGTON COUNTY, UTAH

Public Notice

Notice is hereby given that the Planning Commission of the City of St. George, Washington County, Utah, will hold a **Planning Commission** meeting in the City Council Chambers, 175 East 200 North, St George, Utah, on **Tuesday, October 28, 2025**, commencing at **5:00 p.m.**

The agenda for the meeting is as follows:

Call to Order

Flag Salute

Call for Disclosures

1. **ZONE CHANGE- St George Downtown Hyatt – PUBLIC HEARING**

Consider a request to change the zoning from C-3 (General Commercial) to PD-C (Planned Development Commercial) on approximately 1.75 acres for the purpose of building a hotel. The property is located at 559 East St. George Blvd. The applicant is Rosenberg Associates and the representative is Patrick Darragh. Case No. 2025-ZC-018 (Staff – Brenda Hatch)

2. **ZONE CHANGE- First West – PUBLIC HEARING**

Consider a request to change the zoning from C-4 (Central Business District Commercial) to PD-MU (Planned Development Mixed Use) on approximately 3.76 acres. The project will consist of commercial and residential uses. The property is located on the north-west and north-east corners of 100 West Street and St. George Blvd. The applicant is DSG Engineering and the representative is Mike Terry. Case No. 2025-ZC-019 (Staff – Brenda Hatch)

3. **PLANNED DEVELOPMENT AMENDMENT 311 West St George Blvd – PUBLIC HEARING**

Consider a request for an amendment to the 300 West Mixed Use PD-MU (Planned Development Mixed-Use) zone on approximately 1.28 acres to allow for a new mixed-use building. This property is located at 311 West St. George Blvd. The applicant is Rosenberg & Associates, and the representative is Jared Bates. Case No. 2025-PDA-030 (Staff -Brenda Hatch) **THIS ITEM WILL NOT BE HEARD AT THIS MEETING. IT WILL BE RE-NOTICED FOR A MEETING AT A LATER DATE.**

4. **ZONE REGULATION AMENDMENT Title 10-19-3B6 Parking Ordinance – PUBLIC HEARING**

Consider a request to amend portions of the city zoning ordinance, Title 10, in order to amend various setback and parking standards, and to make other clarifications to orientation requirements. The applicant is SUHBA (Southern Utah Home Builders Association), and the representative is Stacy Young. Case No. 2025-ZRA-012 (Staff – Brenda Hatch)

5. **PRELIMINARY PLAT Mojave Crossing**

Consider a request for a three-lot (3) preliminary plat planned development commercial subdivision in the Atkinville Interchange Area Zone Plan totaling approximately 5.057 acres, generally located at the corner of Pioneer Road and Nighthawk Drive. The applicant is CIR Engineering and the representative is Colby Anderson. Case No. 2025-PP-034 (Staff – Brian Dean)

6. **PRELIMINARY PLAT Desert Canyons Town Center West**

Consider a request for a four-lot (4) preliminary plat commercial subdivision on approximately 9.357 acre, generally located at north of Flowers Way and west of Desert Canyons Parkway The applicant is DSG Engineering Inc., and the representative is Ken Miller. Case No. 2025-PP-035 (Staff – Brian Dean)

7. **PRELIMINARY PLAT Ascesa Court at Divario**

Consider a request for a nine-lot (9) preliminary plat subdivision on approximately 12.24 acres including common area located at 302 South Divario Canyon Drive. The applicant is Rosenberg Associates, and the representative is Allen Hall. Case No. 2025-PP-036 (Staff – Dan Boles)

8. **PLANNING COMMISSION TRAINING**

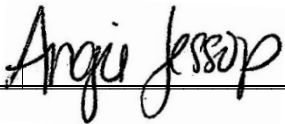
9. **MINUTES**

Consider a request to approve the meeting minutes from the October 14, 2025, meeting.

10. **CITY COUNCIL ACTIONS**

*Report on items heard at the October 16, 2025, City Council meeting.*

1. *Dixie Commons Lot 6*
2. *Zen Trails Townhomes*
3. *Anasazi Hills Phase 4*
4. *Maverik St George White Dome*



\_\_\_\_\_  
Angie Jessop – Community Development Office Supervisor

\_\_\_\_\_  
October 24, 2025

Date

Reasonable Accommodation: The City of St. George will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs. Please contact the City Human Resources Office at (435) 627-4674 at least 24 hours in advance if you have special needs.

### PLANNING COMMISSION AGENDA REPORT: 10/28/2025

<b>St. George Downtown Hyatt</b> Zone Change (Case No. 2025-ZC-018)	
<b>Request:</b>	Consider changing the zone on the property from C-3 (General Commercial) to PD-C (Planned Development Commercial) on approximately 1.75 acres, located at 559 East St. George Blvd for the purpose of a five-story 109-unit hotel.
<b>Applicant:</b>	Rosenberg Associates, Patrick Darragh
<b>Location:</b>	559 East St. George Blvd.
<b>General Plan:</b>	DTCC (Downtown Connected Corridor)
<b>Existing Zoning:</b>	C-3 (General Commercial)
<b>Surrounding Zoning:</b>	North      MH-6 (Mobile Home minimum 6,000 sq. ft. lots)
	South      C-3 (General Commercial)
	East        C-3 (General Commercial)
	West        C-3 (General Commercial)
<b>Land Area:</b>	Approximately 1.75 acres



**BACKGROUND:**

**Project Description**

The proposed project includes two parcels located at 525 East and 559 East St. George Boulevard. The existing motels on these properties were constructed in 1976 and 1984, respectively. The applicant proposes to combine the two parcels into a single lot and demolish both existing structures to accommodate the new development.

**Zoning and Land Use**

The applicant is requesting a zone change from C-3 (General Commercial) to PD-C (Planned Development Commercial). The purpose of the zone change is to allow additional building height, which may be considered under the PD-C designation. If approved, the zone change would permit the development of a 109-room hotel, a use consistent with the PD-C zone standards.

The PD-C zone is compatible with the General Plan designation of *Downtown Connected Corridor*. This designation envisions development characterized by buildings two to four stories in height, designed to make efficient use of valuable downtown land through appropriately scaled massing and lot coverage.

Please see the zoning requirements below for site details:

<b>Zoning Requirements</b>			
<b>Regulation</b>	<b>Section Number</b>	<b>Proposal</b>	<b>Staff Comments</b>
<b>Setbacks</b>		South (Street): 53'1" North (Side): 20' East (Rear): 10' West (Front): 165'	The required setbacks are: Front/ Street Side: 20' Side adjacent to residential: 20' Rear: 10'
<b>Uses</b>	10-8D-2	Hotel	The proposed use is being requested with the PD-C zone. It is an approved use in the commercial zones which the applicant selects from. Additional uses have been requested please see Exhibit C.
<b>Height and Elevation</b>	10-8D-6	<u>Height</u> 60' to the top of the parapet 50' to the roof line 41' to the 4 <sup>th</sup> floor stepback	The maximum height allowed in a PD-C is 50'. However, the PD-C zone allows the applicant to ask for additional height. See comments below for further details.
<b>Landscape Plan</b>	10-8D-2	A conceptual landscape plan has been included.	The site plan shows an average of 15' of landscape on the right of way along St. George Blvd,

			there is an additional 10' planting strip on the north property line between the residential zone and this zone shown on the site plan. The conceptual plan appears to meet code, this will be verified during the site plan review.
<b>Utilities</b>	10-8D-2	None shown	All utilities will be determined and designed during the JUC process. Staff will ensure this is completed during the site plan approval process. Preliminary utility discussion has already occurred at a pre-application meeting.
<b>Signs</b>	10-8D-2	Signage has not been proposed at this point.	Any signs will need to meet the sign regulations found in Title 9-13.
<b>Lighting</b>	10-8D-2 (12)	A preliminary photometric plan was submitted with this application.	The submitted lighting plan appears to comply with code; this will be verified during the site plan review process.
<b>Lot Coverage</b>	10-8D-6	The proposed building covers approx. 35% of the lot.	The PD-C zone allows building coverage up to 50%.
<b>Solid Waste</b>	10-8D-6	This development shows the solid waste location.	The solid waste location is proposed to be screened with walls and gates.
<b>Buffer Protection of Residential Property</b>	10-8D-6	N/A	N/A
<b>Parking</b>	10-19-5	The proposed hotel will have 109 rooms requiring 111 stalls. Parking provided: 113 spaces	The site plan exceeds the parking requirement.
<b>EVCS And Bike Parking</b>	10-19-6	Bicycle parking is shown.	They will be required to have conduit to one parking space for a future EVCS and a bike rack that holds at least two bikes.

### **Increased Height Request**

B. *Height Regulations:* No structure shall be erected to a height less than ten feet (10') and no structure shall be greater than fifty feet (50'). The city council, after recommendation from the planning commission, may approve increased building height upon making a finding, as part of a zone change approval, that the increase in height will fit harmoniously into the neighborhood, minimizing any negative impacts, after considering the following:

1. Proposed setbacks provide an appropriate buffer to neighboring properties;

*The property is bordered by commercial zoning on the east and west. On the north where the property is bordered by residential, there is an elevation difference, the residential property is significantly higher in elevation than this property. The south side of the property is bordered by St. George Blvd.*

2. Increased landscaping enhances the project and reduces any negative impacts;

*On the north there is a 20' landscape buffer protecting the residential zone.*

3. Site layout and design enhance the project and reduce any negative impacts;

*This building steps back at the fourth story to soften the visual impact.*

4. The massing and building scale is appropriate for the location;
5. The proposed height increase is appropriate for the area; and
6. The increase in height is consistent with any applicable master plan.

*Applicable to 4,5, and 6:*

*The project is located on St. George Blvd in Downtown St. George. It will be located four blocks from the newly approved Downtown Curio, an 87' tall hotel, located at the corner of St. George Blvd. and Temple Street (200 East). The land use designation is Downtown Connected Corridor. This land use designation calls for two to four story buildings that are designed to use valuable downtown land efficiently.*

*Heights of surrounding buildings: County Bldg 77'8", Advenire/City View Apartments 62', Joule Plaza 74', IMC 58'9", Main St. Plaza 71', State Bank 64', Tabernacle 115', Court House 75'6"-94'8", Vintage 54-64' Tabernacle Towers 57', Utah Tech Classroom Building 66'6" – 79'*

**RECOMMENDATION:**

Staff recommends approval of the application for a zone change from C-3 (General Commercial) to PD-C (Planned Development Commercial) in order to allow the St. George Downtown Hyatt hotel to be constructed.

1. That the height restriction is increased to allow the additional height as requested by the applicant and shown in this staff report.
2. That the applicant must combine the lots before the site plan can be approved.
3. A 15-foot landscape strip must be provided along the right of way on 600 East Street.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with additional conditions.
3. Recommend denial of the request.
4. Continue the proposed PD amendment to a later date.

**POSSIBLE MOTION:**

"I move that we forward a positive recommendation to the City Council for the zone change for the St. George Downtown Hyatt as presented, case no. 2025-ZC-018, based on the findings and subject to the conditions listed in the staff report."

**FINDINGS FOR APPROVAL:**

1. The proposed uses are permitted uses found in the commercial zones.
2. The proposed project meets the Planned Development Commercial general requirements found in Section 10-8D-2.
3. The height of the proposed hotel is in harmony with other structures in the general vicinity.
4. The property will be served by approved sources and facilities for culinary and secondary irrigation water, power, sewer, and access to a dedicated public street.

## **Exhibit A**

### **Applicant's Narrative**

Hyatt Studios Downtown St. George  
Applicant's Narrative

Hyatt Studios Downtown St. George  
PD-C - Zone Change

#### **Project Overview:**

The proposed project requests approval of a zone change to permit redevelopment of the Economy Inn and Coronada Inn sites into a five-story Hyatt Studios. The current structures no longer contribute positively to the area and are in need of replacement. The new development will significantly improve the visual character of this prominent corridor and serve as a catalyst for continued revitalization in downtown St. George. In addition to its architectural and economic benefits, the project is designed to support the city's vision of a more walkable, pedestrian-friendly downtown—enhancing the overall experience for both residents and visitors. This zone change is a key step in facilitating that transformation.

#### **Project Information**

Total Area = 1.75 ACRES  
Current Zone = C3  
Proposed Zone = PD-C  
Parcels = SG-1340,SG-1338-A-1

#### **Building Heights**

Hotel: 60' - 0"

The request for five stories is based on both site context and economic feasibility. The project is located in a major commercial corridor that already includes multi-story hotels and commercial buildings. The additional height allows efficient land use, supporting urban infill rather than sprawl. A five-story building ensures the financial feasibility of replacing two older motels with a new development that generates significantly higher tax revenues and job creation. The scale and massing are appropriate for the surrounding area and will be mitigated by thoughtful architectural articulation and landscaping.

#### **Landscape & Amenities**

Site Landscape Area = 18,721 SF (24.6%)

#### **Parking**

Total Required = 111 Stalls  
Total Provided = 113 Stalls (5 ADA)

**Key Features:**

- **Rooftop Patio:** Offering stunning views of the city, this space will be ideal for guest relaxation.
- **High-End Rooms:** Designed with comfort and elegance in mind, attracting both business and leisure travelers.
- **Board Room:** Equipped with modern amenities to cater to business travelers and local businesses.
- **Fitness Center:** Providing guests with state-of-the-art fitness facilities.
- **Great Views:** Rooms and common areas designed to maximize the beautiful city-scape.
- **Outdoor Swimming Pool:** Great view of St. George boulevard.

**Community Benefits:**

This redevelopment will deliver substantial benefits to the City and its residents:

1. **Economic Growth:** Hyatt Studio will significantly increase transient room taxes and sales tax revenues compared to the aging motels. Increased foot traffic and spending in downtown businesses.
2. **Job Creation:** Construction will provide immediate employment opportunities, while hotel operations will generate long-term jobs in hospitality and management.
3. **Urban Renewal:** Removal of two deteriorating properties enhances the visual appeal of a key commercial corridor and improves the City's image to visitors.
4. **Tourism & Visitors Support:** Hyatt Studio fills a critical need for extended-stay accommodations in St. George, supporting both business travelers and families staying for longer durations.
5. **Sustainability:** The redevelopment will incorporate modern energy-efficient systems, water-wise landscaping, and reduced environmental impact compared to the existing structures.
6. **Enhanced Walkability:** Encouraging a pedestrian-friendly environment, reducing traffic congestion, and promoting a healthier lifestyle.
7. **Event Attraction:** Bringing more events downtown, supporting local businesses & creating a lively atmosphere.

**Conclusion:**

This zone change request represents a meaningful step toward revitalizing a key area of St. George. By removing two aging, deteriorating hotels and replacing them with a high-end, thoughtfully designed hotel, we aim to significantly enhance the aesthetic appeal of St. George Boulevard. Beyond visual improvements, this project will contribute to the broader vision of a vibrant, walkable downtown—inviting residents and visitors alike to explore and enjoy the area. We believe this development aligns with the city's goals for growth, beautification, and economic vitality, and we respectfully request your support in making it a reality.

## **Exhibit B Use List**

### Hyatt Studios Downtown St. George PD-C - Zone Change

We are requesting approval of the following uses as part of the PD-C zone change

#### **Proposed Uses:**

1. Bar establishment
2. Car wash
3. Off-premises beer retailer
4. Personal care service
5. School, public or charter
6. Restaurant
7. Hotel/Motel
8. Automobile rental
9. Financial, Medical, and Professional Services
10. Timeshare units
11. Office
12. Religious facility
13. Retail shops
14. Convenience market with gas pumps/gas station

## Exhibit C

# Height Increase Justification

**Subject:** Re: Downtown Hyatt

Hi Brenda,

I am writing to provide additional justification for the requested height increase associated with the proposed redevelopment of the Economy Inn and Coronada Inn sites into a five-story Hyatt Studios.

The additional height is essential to ensure the project's economic and functional viability. Without the extra floor, we cannot achieve the minimum number of guest rooms and parking stalls to meet both city standards and hotel brand requirements. This balance between parking efficiency and guest capacity is what makes the redevelopment feasible. Without it, the project would not be financially sustainable—and the opportunity to replace the two aging, deteriorating motels with a high-quality, tax-generating property would be lost.

Beyond economics, the design thoughtfully addresses scale, massing, and compatibility with the surrounding area:

- The new setbacks are 10 feet, substantially greater than the 0-foot setbacks of the existing hotels, improving the streetscape and pedestrian experience.
- The site will be fully landscaped and buffered to meet or exceed all city standards.
- The top floor is stepped back to reduce the apparent height and soften the building's visual impact along St. George Boulevard.
- The design complements the existing urban context, where multi-story hotels and commercial buildings are already present.
- The proposed height increase is well-suited for downtown St. George and is consistent with heights previously approved by the City Council on other projects.

This height request aligns with the City's vision for a more walkable, attractive, and economically vibrant downtown. The new hotel will act as a catalyst for continued reinvestment along the corridor while replacing structures that no longer contribute positively to the area.

We believe the proposed height and design represent a thoughtful, balanced approach that meets the city's long-term planning goals while ensuring the success of a transformative project for downtown St. George.

Thank you for your time and consideration. I'm happy to provide any additional materials or visuals the City may need to further review this request.

### Sam Patel

**UTAH HOTEL GROUP**  
162 North 400 East, Suite A-204  
Saint George, UT 84770  
Office: (435) 275-2048  
Cell: (435) 215-3130  
Fax: (435) 868-4510

[sam@utahhotelgroup.com](mailto:sam@utahhotelgroup.com)

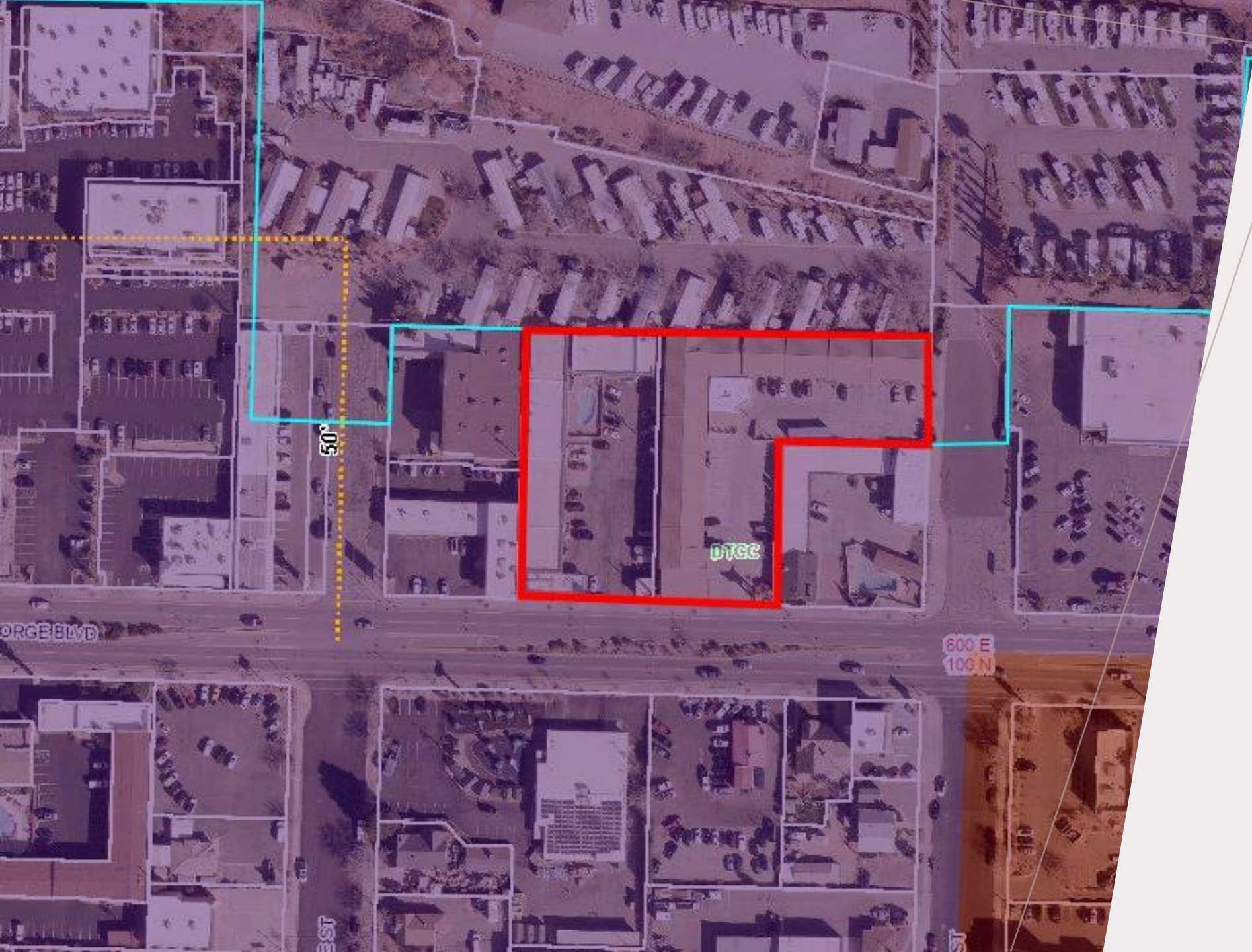
**Exhibit D**  
**PowerPoint Presentation**



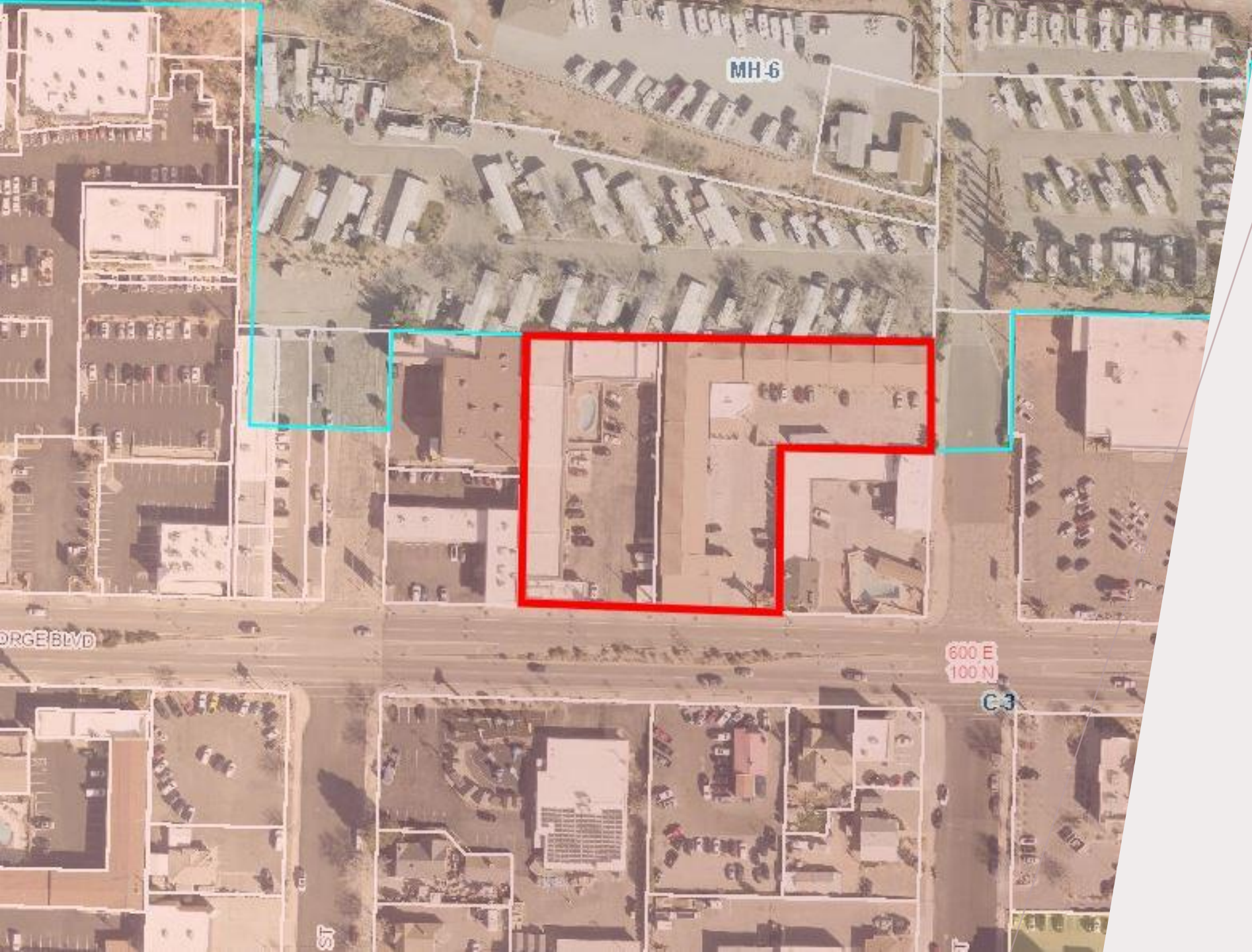
*ST. GEORGE  
DOWNTOWN  
HYATT  
2025-ZC-018*



*LOCATION*



*LAND USE*



*ZONING*

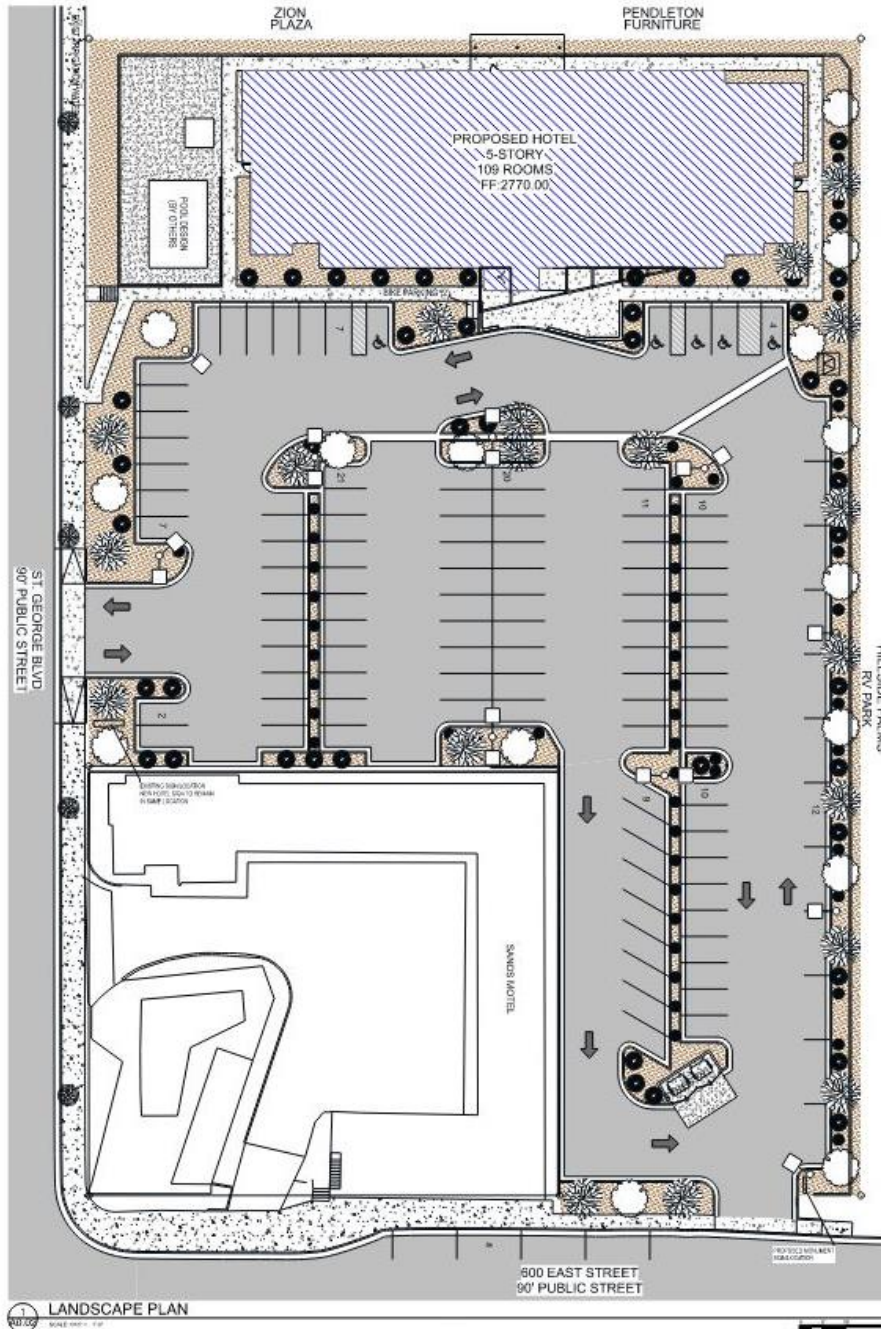


**LANDSCAPE CALCULATIONS**

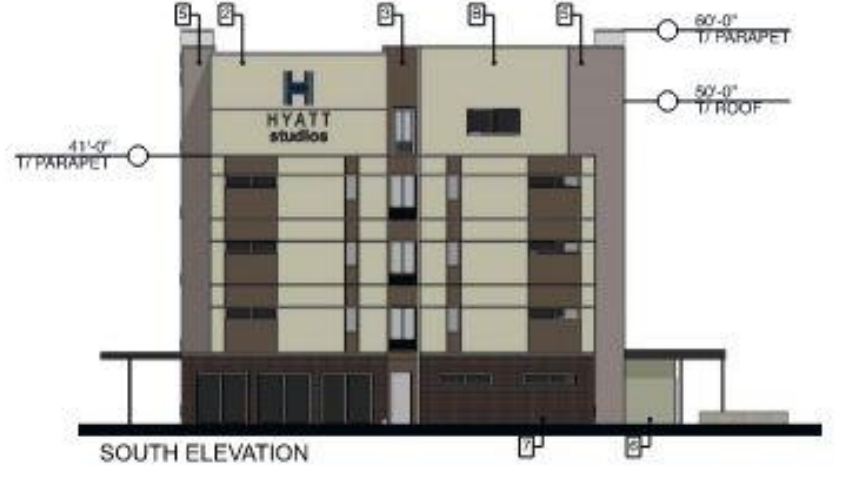
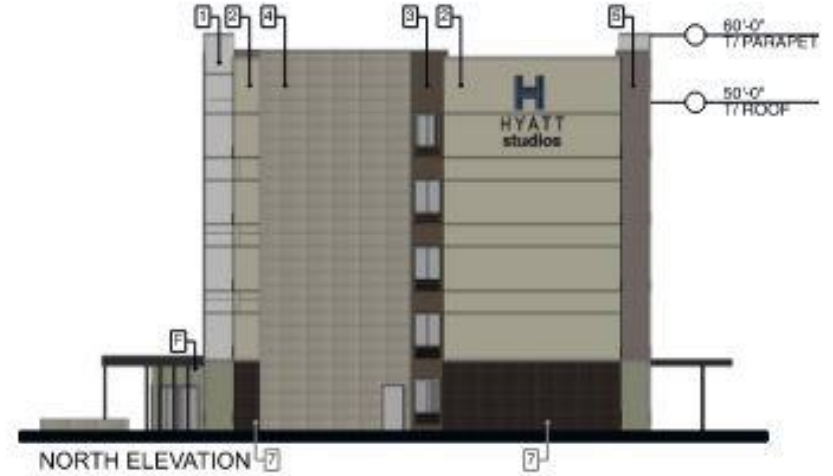
TOTAL SITE AREA:	1.79 ACRES
SITE LANDSCAPE AREA:	18,721 (24.6%)
TREE COVERAGE:	(114,000 SQ. FT.)
REQUIRED:	5
PROVIDED:	34

TREE - CHINESE STACHE:	
TREE - ARIZONA ASH:	
SHRUB 1 - BOX LEAF SYONYMUS:	
SHRUB 2 - TEXAS PRIVET:	

MATERIALS LEGEND	
LANDSCAPE PAVEMENT COLOR TIED BY OWNER	
ASPHALT	
CONCRETE	



*CONCEPTUAL  
LANDSCAPE  
PLAN*



DOWNTOWN ST. GEORGE  
HYATT



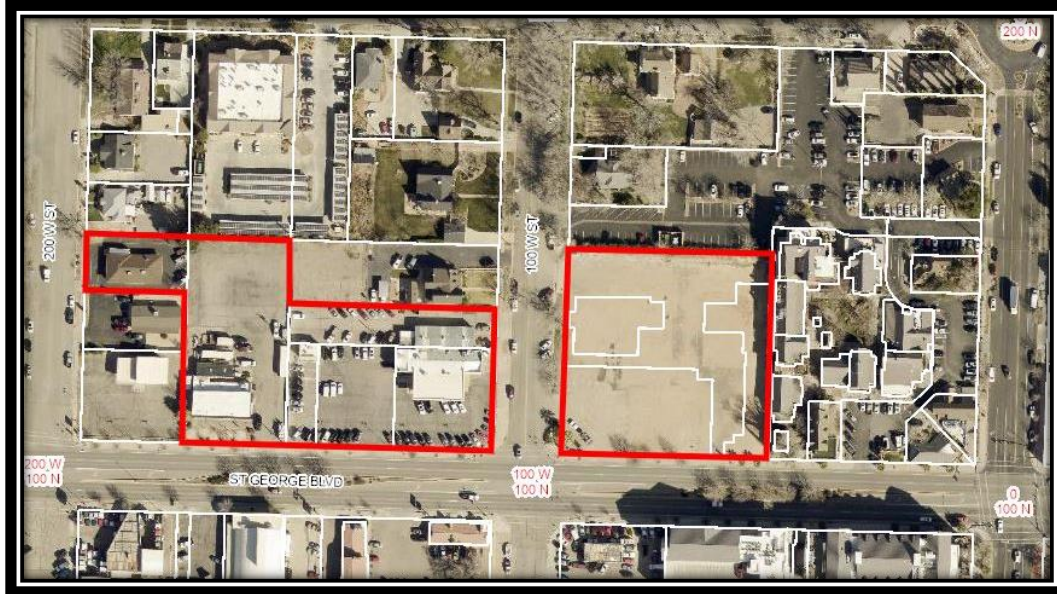
*“I MOVE THAT WE FORWARD A POSITIVE RECOMMENDATION TO THE CITY COUNCIL FOR THE ZONE CHANGE FOR THE ST. GEORGE DOWNTOWN HYATT AS PRESENTED, CASE NO. 2025-ZC-018, BASED ON THE FINDINGS AND SUBJECT TO THE CONDITIONS LISTED IN THE STAFF REPORT.”*

Recommendations:

1. THAT THE HEIGHT RESTRICTION IS INCREASED TO ALLOW THE ADDITIONAL HEIGHT AS REQUESTED BY THE APPLICANT AND SHOWN IN THIS STAFF REPORT.
2. THAT THE APPLICANT MUST COMBINE THE LOTS BEFORE THE SITE PLAN CAN BE APPROVED.
3. A 15-FOOT LANDSCAPE STRIP MUST BE PROVIDED ALONG THE RIGHT OF WAY ON 600 EAST STREET.

PLANNING COMMISSION AGENDA REPORT: 10/28/2025

<b>First West</b> Zone Change (Case No. 2025-ZC-019)	
<b>Request:</b>	Consider a request to change the zone from Central Business District (C-4) to Planned Development Mixed Use (PD-MU) on approximately 3.76 acres to allow for a new mixed-use project.
<b>Applicant:</b>	DSG Engineering
<b>Representative:</b>	Mike Terry
<b>Location:</b>	Northwest and northeast corner of St. George Blvd and 100 West Street
<b>General Plan:</b>	DTLV (Downtown Lively)
<b>Existing Zoning:</b>	C-4 (Central Business District)
<b>Surrounding Zoning:</b>	North C-4 (Central Business District), PD-C (Planned Development Commercial), A-P (Administrative Professional)
	South C-4 (Central Business District)
	East C-4 (Central Business District)
	West C-4 (Central Business District)
<b>Land Area:</b>	Approximately 3.76 acres



**BACKGROUND:**

The applicant is requesting a zone change from Central Business District (C-4) to Planned Development Mixed Use (PD-MU) for approximately 3.76 acres located at the northwest and northeast corners of St. George Boulevard and 100 West Street. The proposed development is intended to revitalize this prominent intersection by introducing a mix of new commercial and residential opportunities. The project will feature active commercial frontages designed to create engaging public spaces, along with residential units offering convenient access to restaurants, transit, and the downtown core.

The proposal aligns with the goals of the **Downtown Area Plan**, particularly the *Lively Area* designation, which emphasizes pedestrian engagement through street-level commercial uses and the activation of underutilized sections of St. George Boulevard. The intent of the request is to redevelop the property with a combination of commercial spaces, a condotel, and condominium flats. The project is proposed to be developed in three phases and will include flexible gathering areas such as a central courtyard, raised plaza, and widened sidewalks to enhance the public realm.

**Phase 1** will include construction of an 81-unit condotel featuring a rooftop terrace and pool areas, along with ground-floor commercial storefronts designed for retail and restaurant uses. This phase also includes a Food Hall and Market—an indoor/outdoor dining concept with small-scale vendor stalls housed within a two-story structure. Additional components include an office building, parking structure, courtyard, and a 100-foot-tall observation feature at the northwest corner of 100 West and St. George Boulevard, known as the St. George Tower.

**Phase 2** will consist of 52 condominium flats in a five-story building with parking and a business center on the first level.

**Phase 3** will finish out with a 148-room hotel including a convention center and restaurant space.

**MIXED USE REQUIREMENTS:**

**I. Allowed Uses (10-8D-1):** The applicant has requested to allow the following uses:

1. Alcohol Establishments, including off-premises beer retailer or microbrewery or microwinery (with restaurant or bar establishment)
2. Indoor or Outdoor Amusement Center (without water)
3. Financial, Medical, and Professional Services
4. Food Service Establishments (restaurants, catering)
5. Lodging (hotel, condotel, time share)
6. Office
7. Retail Shops

II. **General Requirements (10-8D-2):** See the Zoning Requirements box below:

<b>Zoning Requirements</b>		
<b>Regulation</b>	<b>Proposal</b>	<b>Staff Comments</b>
<b>Description of Use</b>	Mixed-use project completed in three phases.	The uses fit the requested zoning district
<b>Height and Elevations</b>	Condotel – 80' Food Hall – 56' Office Building – 54' Parking Structure – 72' Observation Tower – 100 ' Condo Building – 66' Hotel – 70'	This district allows buildings up to 55' tall. The city council, after recommendation from the planning commission, may approve increased building height upon making a finding
<b>Density</b>	35 DUA	This meets regulations.
<b>Schools, Churches, Open Space</b>	There are no proposed schools, churches, or open space with this project.	No comments.
<b>Phasing Plan</b>	3 Phases	The project will move forward with three phases.
<b>Landscape Plan</b>	The site plan states that 34% of the project area is dedicated to landscape.	The project is required to have 20% of the area landscaped. This meets requirements.
<b>Utilities</b>	None shown.	These will be reviewed during the site plan review process.
<b>Solid Waste Screening</b>	Proposed locations are shown on the site plan.	Staff will ensure that the locations and screening are appropriate during the site plan review process.
<b>Lighting</b>	Light types and details have been provided.	Lighting is required to be 1.0-foot candle or less at the property line. Staff will ensure it meets the regulations during the site plan process.
<b>Signs</b>	None provided	The applicants will be required to pull a sign permit when they are ready to put in their signs. All signs must meet the provisions of the sign code.
<b>Parking</b>	The site plan shows the following: <b>West portion:</b>	The parking is calculated according to the City code 10-19-6 PD-MU Parking: <u>Residential</u> – 0.5 space per bedroom; 1

	<p>Total provided onsite – 211 spaces  <b>East portion:</b>                  Onsite – 149 spaces                  100 West – 21spaces                  Total provided – 170 spaces</p>	<p>space per 5 units guest parking  <u>Commercial</u> – 1space per 500 sq. ft.  <b>West portion:</b>                  Condotel – 65 spaces required                  Condominium – 46 spaces required                  Commercial – 57 spaces required  <b>Total Required –168 spaces</b>  <b>East portion:</b>                  Hotel parking was calculated according to the City code 10-19-5 Nonresidential Area Requirements 1 space per each unit plus 2 spaces for management.                  Hotel – 150 spaces required                  Restaurant – 9 spaces required  <b>Total Required – 159 spaces</b></p> <p>Overall project requires 327 spaces                  The site plan shows 381 spaces provided this exceeds the code requirements.</p>
<p><b>EVCS And Bike Parking</b></p>	<p>Both bike and EVCS parking are accounted for in site plan data.</p>	<p>The site plan exceeds the requirements. Verification will be made during site plan review.</p>

III. **Mixed Use Standards** (10-8D-8: The applicant will be required to meet the following standards (The wording in the yellow boxes are the responses from the applicant):

A. *Minimum Zone Requirements: Each Planned Development Commercial/residential mixed use application shall include a minimum of one-half (1/2) acre.*

This project covers 3.76 acres.

B. *Height Regulations: No structure shall be erected to a height less than ten feet (10') and no structure shall be greater than fifty-five feet (55'). The city council, after recommendation from the planning commission, may approve increased building height upon making a finding, as part of a zone change approval, that the increase in height will fit harmoniously into the neighborhood, minimizing any negative impacts, after considering the following:*

The following First West buildings have a proposed height greater than 55' and therefore require specific approval by the city council: condotel (80'); food hall (56'); parking structure (72'); observation tower (100'); condo flats (66'); and hotel (70').

1. *Proposed setbacks provide an appropriate buffer to neighboring properties;*

The First West project is located within the City's Downtown Lively district, where minimal or zero setbacks are indicated in order to promote street-level

*activation and engagement. The site is surrounded by public streets and commercial uses. The tallest proposed buildings have been set back substantially from the Boulevard to avoid a “city canyon” effect. Where feasible, setbacks greater than the minimum requirement are provided (particularly along the shared boundaries with Ancestor Square and the historic structure at 139 N 100 W).*

- 2. Increased landscaping enhances the project and reduces any negative impacts;*

*Allowing taller buildings creates opportunities for more expansive and inviting landscaped public spaces. Fully 34% of the total project area—roughly 1.25 acres—is dedicated to outdoor areas programmed for dining, socializing, and other leisure activities, enhancing both the project’s appeal and its contribution to the public realm.*

- 3. Site layout and design enhance the project and reduce any negative impacts;*

*The site is thoughtfully organized to balance taller buildings with open space, integrate a healthy mixture of complementary uses, provide for pleasant and functional pedestrian circulation, and ensure a cohesive relationship between the project and its context.*

- 4. The massing and building scale is appropriate for the location;*

*The project’s massing strategy avoids combining all uses into very large, monolithic structures and instead transitions effectively between higher and lower elements across multiple buildings. This helps to maintain compatibility with neighboring properties while reinforcing the district’s urban character. It is also worth noting that 56’ is to the top of the food hall’s clock tower and 72’ is to the top of the swimming pool terrace atop the parking structure; the main rooflines of those structures are 39’ and 54’, respectively. Although it is tall, the observation tower has a relatively small footprint and presents as a visually permeable feature rather than a typical building.*

- 5. The proposed height increase is appropriate area; and*

*The added height is concentrated in locations that minimize to the extent feasible visual and shading impacts while supporting downtown growth objectives and architectural variety.*

- 6. The increase in height is consistent with any applicable master plan. Surrounding properties with similar or taller buildings:*

*The proposal aligns with the City’s master plan goals for increased urban density and mixed-use development in the downtown core. The surrounding area already includes buildings of comparable height, ensuring the project is contextually appropriate.*

Heights of surrounding buildings: County Bldg 77’8”, Advenire/City View Apartments 62’, Joule Plaza 74’, IMC 58’9”, Main St. Plaza 71’, State Bank 64’, Tabernacle 115’, Court House 75’6”-94’8”, Vintage 54-64’ Tabernacle Towers 57’, Utah Tech Classroom Building 66’6” – 79’

**C. Area, Coverage, Density, Yard, Common Area and Landscaping Requirements:**  
*The minimum lot area, maximum lot coverage, yard and common open space/ landscaping requirements are as follows:*

Lot Area Minimum/ Maximum Density	Maximum lot area coverage	Minimum Area Common Open Space/ Land- scaped Area	Minimum Yard Setbacks		
			Front and Street Side	Side	Rear
<b>Required</b>					
½ acre/ 40 DUA	70%	20%	Adjacent to single-family zone: 30’  Otherwise: 0 – 10’ max	Adjacent to single-fam- ily zone 30’  Otherwise: 0 – 10’ 0’ internal setback be- tween PD-C zoned buildings	Adjacent to sin- gle-family zone 30’  Otherwise: 0’ commercial 0’ manufacturing
<b>Proposal</b>					
3.76 acres/ 35 DUA	50%	34%	Varying set- backs	Varying setbacks	Varying Set- backs

**D. Mixed commercial and residential use is permitted in the PD-MU zone only as set forth herein:**

- All development projects seeking a PD-MU zone shall be new construction and shall submit a detailed site plan pursuant to section 10-8D-2 showing the entire development project and showing the added specificity requirements of this section. In granting such approval, the land use authority may impose and enforce such specific conditions as to the site plan, orientation of the buildings to the public street, phasing, building construction, and maintenance as it deems necessary to protect the health, safety and welfare of the residents of the city. All development projects shall comply with the site plan as approved and adopted by the land use authority.*

This project will be new construction, and a site plan will be submitted.

- The entire ground floor of any building in the project shall only have commercial uses, except as provided in this section.*

See #4

3. *Residential use shall be located above the ground floor commercial use. Allowed residential density shall be determined by the detailed site plan and subject to all approvals in subsection D6 of this section.*

All residential uses are located above the ground floor. The density of the project is 35 DUA, the maximum for the PD-MU zone is 40 DUA.

4. *The requirement that the ground floor be limited to only commercial use may be altered to allow residential use or a parking structure, if all of the following conditions are met:*

- a. *The view of the ground floor is obstructed from the public street by the building's location in the interior of the project, or its obstruction from street view by other buildings in the project;*

The phase two condominium flats are located to the rear of the project; the ground floor of the building will be obscured from St. George Blvd near 200 West Street by other properties that are not part of this project. Further east the office building that is in the first phase of this project sits parallel to St. George Blvd with the parking structure directly behind it, further obstructing the ground floor of the condominium flats. A portion of the ground floor fronts 200 West Street. A business center will be located on that frontage.

- b. *A minimum of fifty percent (50%) of the ground floor area within the project shall be for commercial uses; and*

More than 50% of the project is dedicated to commercial use. All of phase one is commercial. Phase two is described above. Phase three is entirely commercial.

- c. *For buildings that are perpendicular to the street so that the majority of the building is not adjacent to the street, the end of the building adjacent to the street must have commercial uses on the ground floor, but may have residential use or a parking structure on the remainder of the ground floor that is not oriented toward the public street, if the project complies with the other conditions provided in this section.*

The side of the residential building in phase two is adjacent to 200 West Street but is set behind phase one, the office and the parking garage. It also sits behind properties that are not included in this project. The end of the building that abuts 200 West Street, houses the business center.

5. *If the project is built in phases, each phase shall be all commercial or may include a mix of commercial and residential use. No phase shall be solely residential, unless fifty percent (50%) of the required commercial area has been built in previous phases.*

This project will be built in three phases. None of the phases are solely residential.

6. *All projects must meet the design standards set forth below:*

- a. *Minimum height of ground level commercial use shall be twelve feet (12') floor to ceiling; Need to verify*

All the ground level commercial has been designed with a minimum of 12' floor to ceiling height.

- b. *The front building façade and main entrance to all buildings shall be oriented toward and parallel to the public street. The setbacks for buildings adjacent to a public street shall be a minimum of zero feet (0') to a maximum of twenty feet (20') from the property line except:*

- 1) *The setbacks may be increased as necessary to allow room for outdoor seating areas, landscaping, or other similar pedestrian and customer amenities,*

None of the buildings in this project exceed the maximum setbacks.

- 2) *Interior buildings may be allowed without frontage on a public street if it is not possible to fit a building parallel to the street, all other requirements have been met, and the depth and size of the property and best use of the property would prevent all buildings from having frontage on a public street;*

The project fronts St. George Boulevard. To use the property efficiently the residential building is perpendicular to 200 West Street with a business center in the portion of the building that abuts 200 West. The condotel is also located behind the Food Hall to make the best use of the size and shape of the property.

- c. *All buildings adjacent to a public street shall have primary frontage oriented toward the public street, and shall have a design typical of a commercial building front with integrated style features compatible with other street-facing buildings in the project, including a significant entryway;*

This building fronts St. George Boulevard and has several ground floor commercial entrances.

- d. *Building façades shall have architectural variations such as:*

- 1) *Contrasting building materials and textures,*

This building has contrasting building materials and textures as seen on the materials board.

- 2) *Variations in rooflines, colors, reveals and belt courses,*

There are variations in the rooflines with contrasting colors.

- 3) *Recessed windows and doors, strongly expressed window mullions, and awnings,*

The windows and doors will be recessed with architectural framing around the entrances.

- 4) *Varying building setbacks from property lines, alcoves, outdoor sitting areas, and small public plazas,*

These buildings have varied setbacks from property lines, there are public plazas and gathering areas throughout the project.

- 5) *Corner towers, cupolas, corner clock towers, corner spires, balconies and colonnades;*

There are many architectural features. There is a 100 ft. observation tower on the corner of 100 West Street and St. George Blvd. The buildings also show many architectural features, please see the agenda packet.

- e. *Buildings located on corners shall have the front façade wrap around the corner to the full depth of the building;*

The ground-floor commercial façades wrap around the corner.

- f. *Awnings will be allowed; provided, that the building is designed to allow awnings, and/or awnings are part of the initial design. Awnings shall have a minimum eight-foot (8') head clearance and shall not project away from the building more than one-half ( $\frac{1}{2}$ ) the distance from the building to the street, or no more than six feet (6'), whichever distance is less. Awnings shall be constructed of metal and/or high quality fire-resistant architectural fabrics. Vinyl awnings are prohibited;*

The buildings have awnings on the commercial store fronts they are noted to be fabric awnings on the architectural drawings.

- g. *Parking lots shall be located in the interior of a project and not adjacent to a public street, except that access driveways with parking spaces on one (1) or both sides, with a maximum width of seventy feet (70'), are permitted. For buildings fronting a public street, all parking shall be located to the rear or side of buildings, or may be located below-grade (underneath building). Buildings located in the interior of the project may have the parking area on any side of the building, as per the approved site plan. Underground parking is permitted only if such parking is accessible from the side or rear of the development and not from the primary street. All projects must comply with the parking requirements for commercial and residential uses specified in chapter 19 of this title;*

The parking areas are located on the interior portions of this project. The access to the interior lot is 70 feet off of 100 West Street.

- h. Parking structures are permitted only if the parking structures do not front the public street and are not taller than the proposed buildings;*

The parking structure does not front a public street.

- i. Minimum Ground Floor Glass: The ground floor of the building elevation fronting the street on all mixed-use buildings shall contain not less than forty percent (40%) nonreflective glass surface (i.e., windows);*

The ground floor buildings will contain 40% nonreflective glass surface.

- j. Landscaped Open Space: Mixed-use developments shall provide a minimum of twenty percent (20%) of the total site area in landscaping, which may include recreation facilities such as playgrounds, outdoor pools, tennis courts, and basketball courts. No more than one-half (½) of the total required landscape area may consist of recreation facilities. Other than the minimum landscape area requirements, which are set above, the landscape standards in chapter 23 of this title shall apply;*

The site provides 34% landscape.

- k. Solid Waste Storage Facilities: All solid waste storage facilities shall be located at the rear of the main building or else behind a sight-obscuring fence or wall that will prevent the facility from being seen from a public street. Chain link fencing with sight-obscuring slats is not permitted;*

This will be verified during the site plan review, locations are shown on the site plan.

- l. Protection of Residential Property: A minimum six-foot (6') high solid masonry wall and a minimum ten-foot (10') wide planting strip along the adjoining property line is required for development that adjoins any lot or parcel of ground in any residential zone. (Ord. 2019-10-002, 10-10-2019; amd. Ord. 2020-06-002, 6-4-2020)*

This item is not applicable as there is no residential property abutting this property.

### **RECOMMENDATION:**

This mixed-use project located on the northwest and northeast corners of St. George Boulevard and 100 West Street will refresh this corner, giving it new commercial and residential opportunities. The proposal will add engaging commercial spaces to create additional gathering places, and the residential units will offer convenient access to restaurants, bus routes, and downtown. This project is in the Lively Area of the Downtown Area Plan. It meets the intent of the plan by engaging pedestrians with the street level commercial spaces, activating an area of St. George Boulevard that has been dormant for an extended period. Staff recommends approval.

**ALTERNATIVES:**

1. Recommend approval as presented
2. Recommend approval with conditions
3. Recommend denial.
4. Table the proposed zone change amendment to a specific date.

**POSSIBLE MOTION:**

“I move that we forward a positive recommendation to City Council to change the zone from C-4 to PD-MU on approximately 3.76 for the First West, case No. 2025-ZC-019, based on the findings listed in the staff report.”

**FINDINGS FOR APPROVAL:**

1. The proposed project meets the requirements of the planned development mixed use zone as found in the zoning regulations.
2. This project aligns with the visions found in the General Plan and Downtown Area Plan.
3. There will be adequate parking on site to facilitate the development.
4. The increase in height will fit harmoniously into the neighborhood, minimizing any negative impacts by considering the proposed setbacks provide an appropriate buffer to neighboring properties.

## **Exhibit A**

### **Applicant's Narrative**

# **FIRST WEST**

## **ZONE CHANGE REQUEST PLANNED DEVELOPMENT – MIXED USE (PD-MU)**

Applicant:

**St George Blvd Partners LLC**

Attn. Stacy Young

1472 E 3950 South

St. George, UT 84790

C. (435) 313-3914

**Written Text:** October 2025

## Property Characteristics

The subject property is located in the heart of downtown with a block of frontage on the north side of Saint George Boulevard between Ancestor Square and HB Beverage Co. The property also fronts 200 West and both sides of 100 West. The property currently consists of vacant lots and depreciated commercial structures.

West Corner:	2.15 acres (SG-1760)
East Corner:	1.62 acres (SG-460-CB)
Total Area:	3.77 acres
General Plan:	Downtown Lively District
Current Zoning:	Commercial (C-4)
Proposed Zoning:	Planned Development - Mixed Use (PD-MU)

## Description & Land Uses

FIRST WEST will be a lively mixed-use node that dramatically upcycles the property from its existing condition and contributes to the cultural and economic vitality of downtown.

FIRST WEST will consist of nine distinct, complementary elements:

1. AC Hotel St. George (Marriott) with convention space, a rooftop pool, and public-facing restaurants
2. Condotel with spacious penthouses and separate rooftop terrace and pool areas
3. Condominiums: 52 flats designed for full-time owner occupancy
4. Class A office space
5. Food Hall/Market: 6+ small-scale vendor stalls co-located in a single spacious building with two levels of indoor/outdoor dining along the north/courtyard side of the building
6. Active ground floor storefronts on the Blvd and both sides of 100 W
7. Flexible outdoor gathering spaces:
  - a. Courtyard on west corner adjacent to food hall and condotel
  - b. Raised plaza with amphitheater on east corner adjacent to hotel
  - c. Traffic-calming 100 West street treatments (curb extensions, diagonal on-street parking, expanded sidewalks, monument signage)
8. 100' tall observation tower on the northwest corner of 100 W & St George Blvd
9. Structured on-site parking
  - a. Above grade structure on west corner
  - b. Below grade deck on east corner (hotel pedestal orientation)

Permitted FIRST WEST uses shall include multifamily residential (density = 13.8 DU/A), and all uses enumerated in the PD-MU table, including the following uses from the table of permitted Commercial uses:

1. Alcohol Establishments, including off-premises beer retailer or microbrewery or microwinery (with restaurant or bar establishment)
2. Indoor or Outdoor Amusement Center (without water)
3. Financial, Medical, and Professional Services
4. Food Service Establishments (restaurants, catering)
5. Lodging (hotel, condotel, time share)
6. Office
7. Retail Shops

### **Phasing**

- 101. Condotel
- 102. Storefront Restaurant/Retail\*
- 103. Food Hall
- 104. Office Building
- 105. Parking Structure
- 106. St. George Tower
- 201. Condominium Flats
- 301. Hotel (w/ Parking Deck)
- 302. Hotel Restaurant\*

\* 102 and 302 are not distinct buildings but “step down” volumes of the Condotel and Hotel buildings, respectively. They are distinguished here to more clearly identify the project’s 100 West storefront element for phasing purposes.

### **Building Heights**

The following First West buildings have a proposed height greater than 55’ and therefore require specific approval by the city council: condotel (80’); food hall (56’); parking structure (72’); observation tower (100’); condo flats (66’); and hotel (70’). Below is the City’s regulatory text, including the factors that may support the approval of taller building heights. Our response ( in italics) follows each prompt.

PD-MU Height Regulations: No structure shall be erected to a height less than ten feet (10’) and no structure shall be greater than fifty-five feet (55’). The city council, after recommendation from the planning commission, may approve increased building height upon making a finding, as

part of a zone change approval, that the increase in height will fit harmoniously into the neighborhood, minimizing any negative impacts, after considering the following:

1. Proposed setbacks provide an appropriate buffer to neighboring properties;

*The First West project is located within the City's Downtown Lively district, where minimal or zero setbacks are indicated in order to promote street-level activation and engagement. The site is surrounded by public streets and commercial uses. The tallest proposed buildings have been set back substantially from the Boulevard to avoid a "city canyon" effect. Where feasible, setbacks greater than the minimum requirement are provided (particularly along the shared boundaries with Ancestor Square and the historic structure at 139 N 100 W).*

2. Increased landscaping enhances the project and reduces any negative impacts;

*Allowing taller buildings creates opportunities for more expansive and inviting landscaped public spaces. Fully 34% of the total project area—roughly 1.25 acres—is dedicated to outdoor areas programmed for dining, socializing, and other leisure activities, enhancing both the project's appeal and its contribution to the public realm.*

3. Site layout and design enhance the project and reduce any negative impacts;

*The site is thoughtfully organized to balance taller buildings with open space, integrate a healthy mixture of complementary uses, provide for pleasant and functional pedestrian circulation, and ensure a cohesive relationship between the project and its context.*

4. The massing and building scale is appropriate for the location;

*The project's massing strategy avoids combining all uses into very large, monolithic structures and instead transitions effectively between higher and lower elements across multiple buildings. This helps to maintain compatibility with neighboring properties while reinforcing the district's urban character. It is also worth noting that 56' is to the top of the food hall's clock tower and 72' is to the top of the swimming pool terrace atop the parking structure; the main rooflines of those structures are 39' and 54', respectively. Although it is tall, the observation tower has a relatively small footprint and presents as a visually permeable feature rather than a typical building.*

5. The proposed height increase is appropriate area; and

*The added height is concentrated in locations that minimize to the extent feasible visual and shading impacts while supporting downtown growth objectives and architectural variety.*

6. The increase in height is consistent with any applicable master plan. Surrounding properties with similar or taller buildings:

*The proposal aligns with the City's master plan goals for increased urban density and mixed-use development in the downtown core. The surrounding area already includes buildings of comparable height, ensuring the project is contextually appropriate. (Heights of surrounding buildings: County Bldg 77'8", Advenire/City View Apartments 62', Joule 74', IMC 58'9", Main St. Plaza 71', State Bank 64', Tabernacle 115', Court House 75'6"-94'8", Vintage 54-64' Tabernacle Towers 57'.)*

### **Other Program Details**

See the included tables and exhibits for additional details, including:

- Individual building detail (elevations, colors, materials, heights, gross floor areas)
- Parking calculations
- Landscape area calculations
- Conceptual sign program (a specific sign application will be required at a later date)
- Preliminary site plan including vehicular access, landscaping, trash locations, and lighting

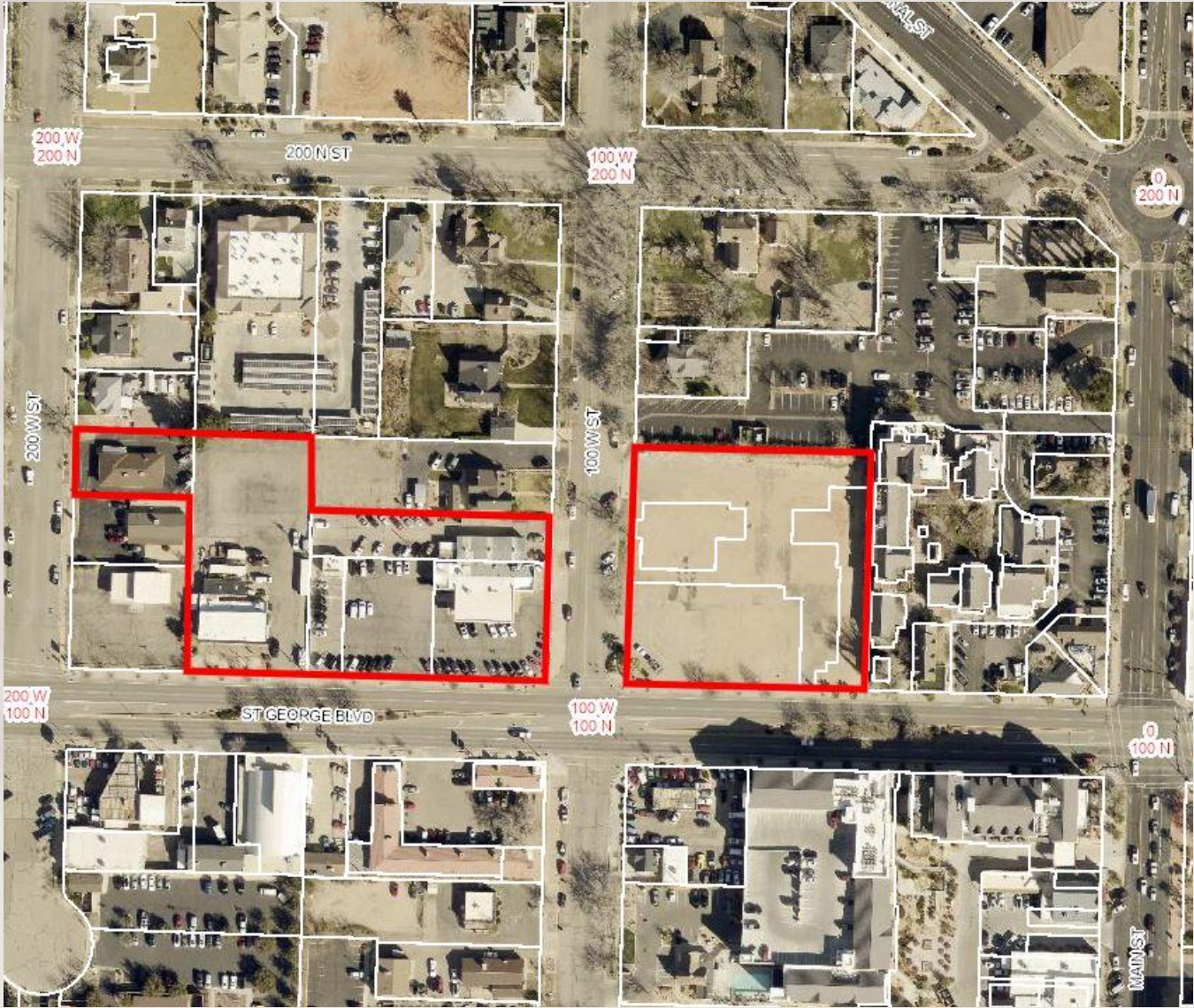
## **Exhibit B**

### **PowerPoint Presentation**

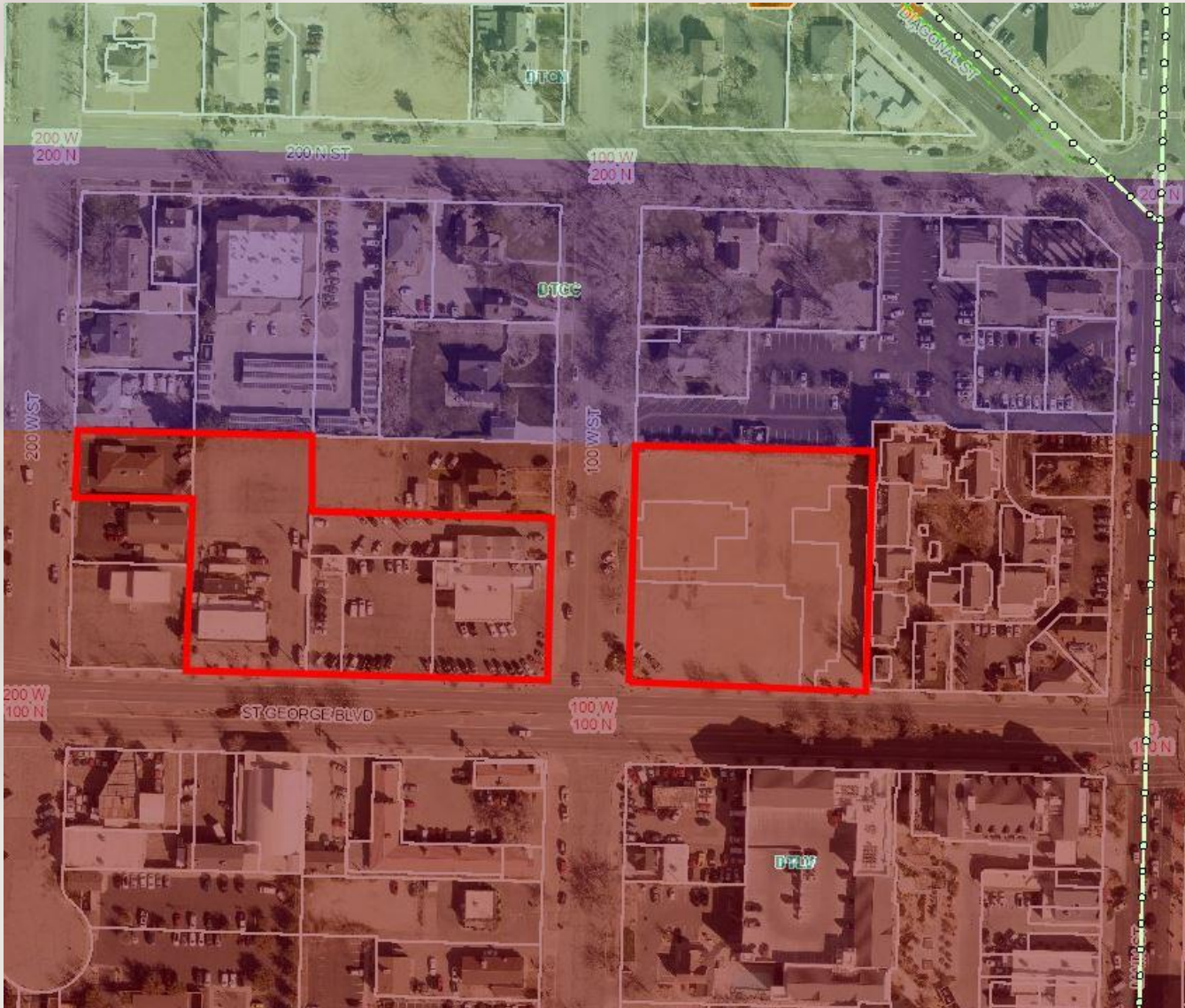
2025-ZC-019

# First West

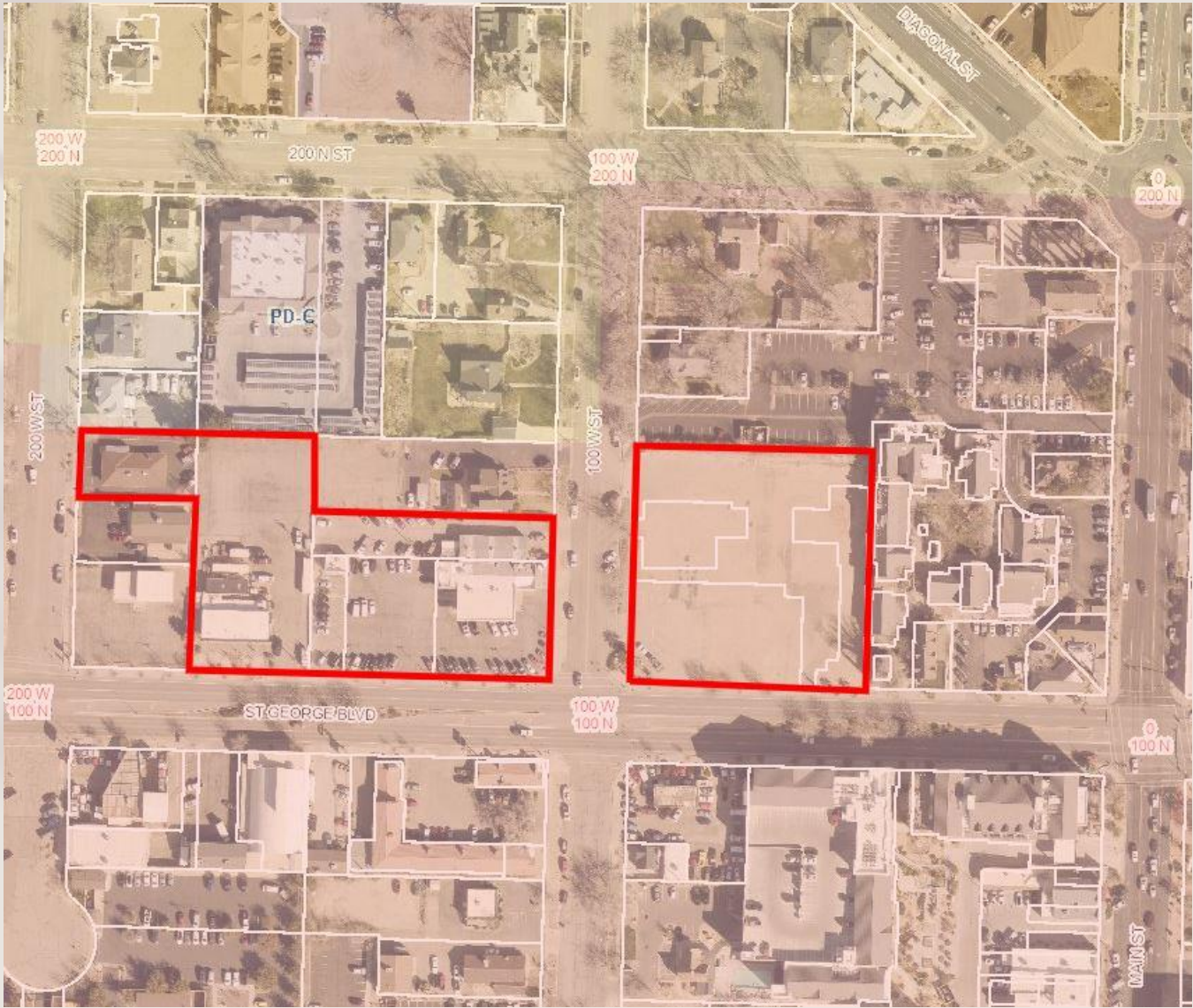




# Location

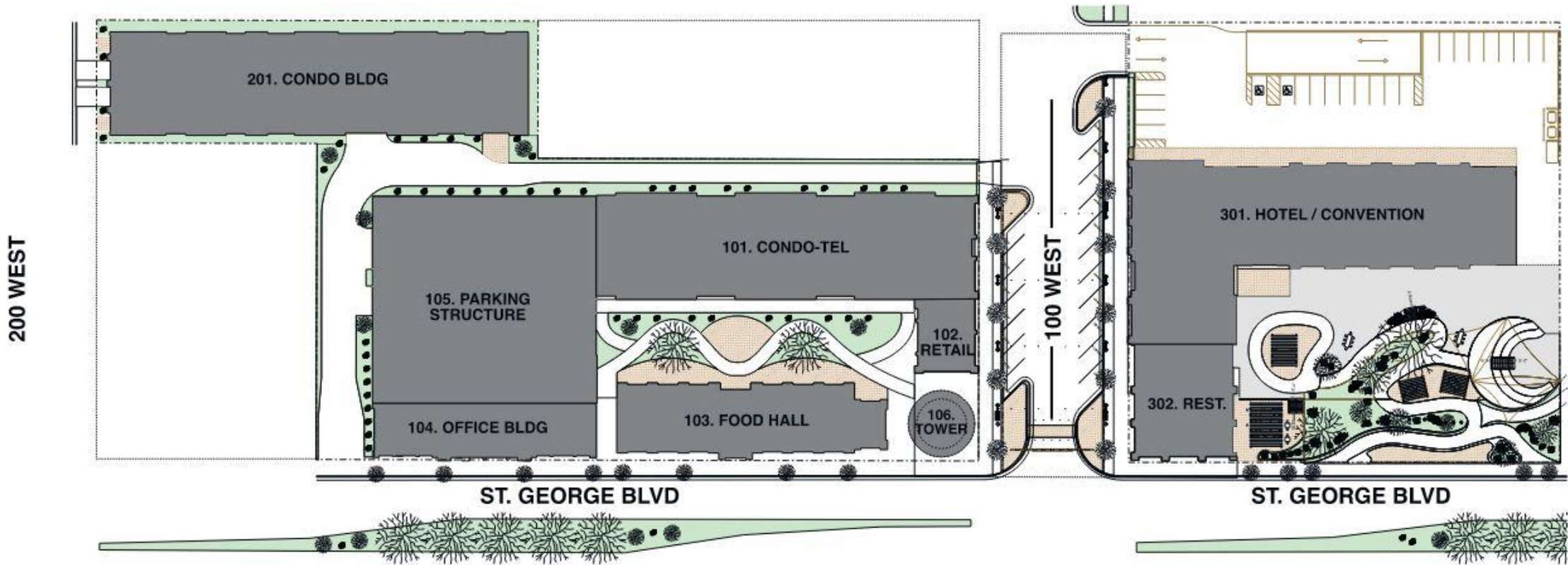


# Land Use



# Zoning





1 LANDSCAPE CONCEPT PLAN  
SCALE 1/32" = 1'-0"



**Conceptual Landscape Plan**



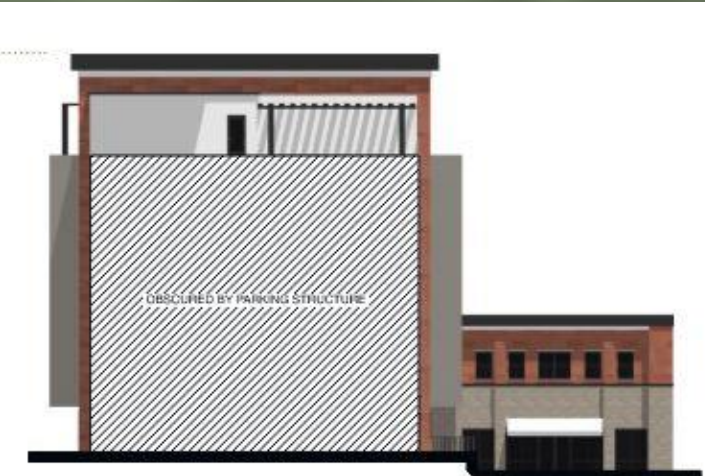
NORTH ELEVATION



EAST ELEVATION

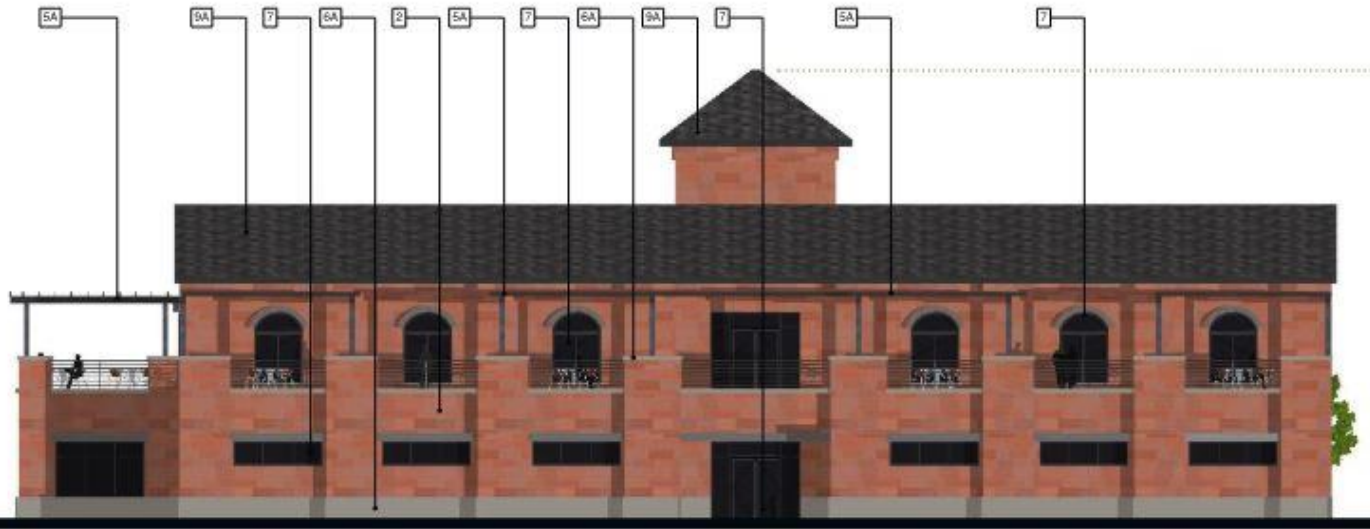


SOUTH ELEVATION



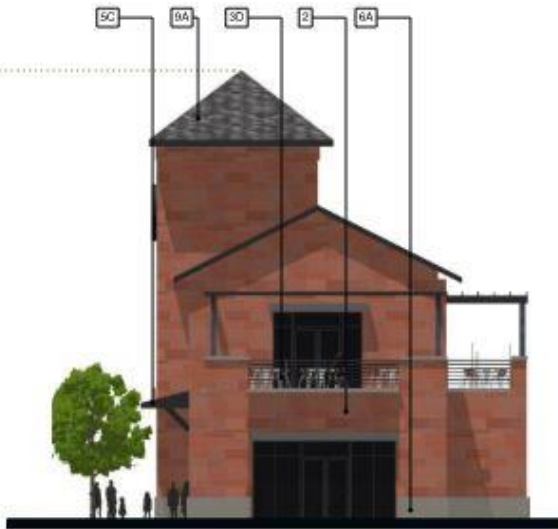
WEST ELEVATION

# Condotel



NORTH ELEVATION

TOP  
56'-0"



EAST ELEVATION



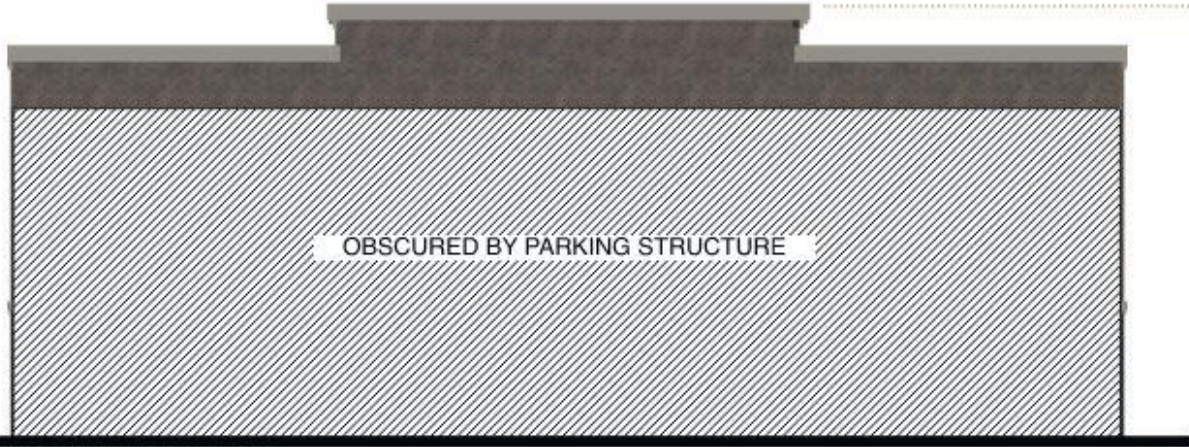
SOUTH ELEVATION

TOP  
56'-0"



WEST ELEVATION

# Food Hall



NORTH ELEVATION

TOP  
54'-0"



EAST ELEVATION



SOUTH ELEVATION

TOP  
54'-0"

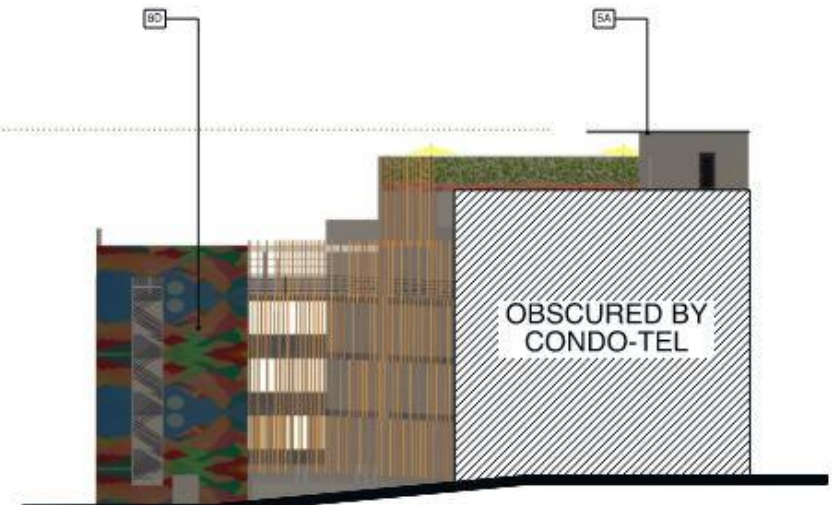


WEST ELEVATION

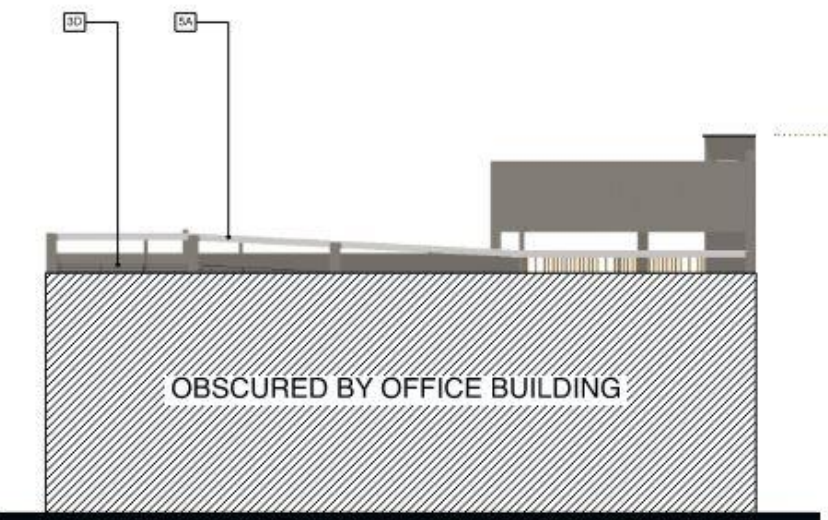
# Office Building



NORTH ELEVATION



EAST ELEVATION



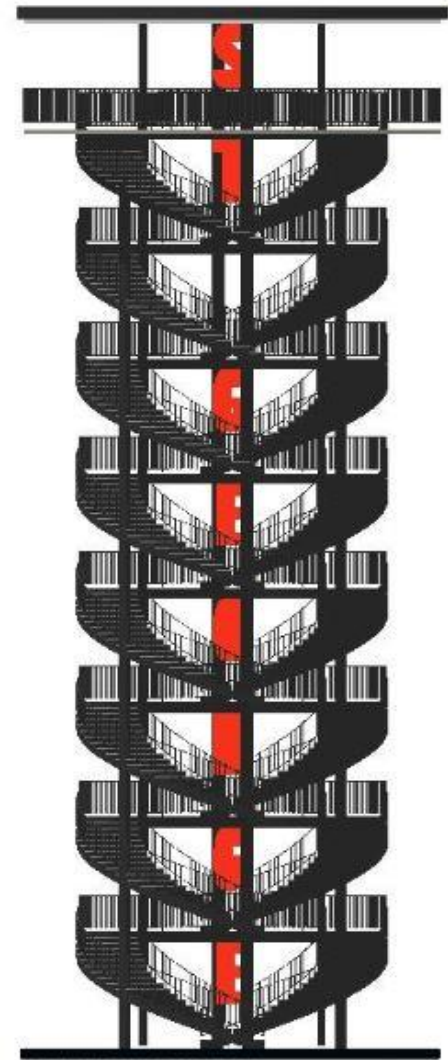
SOUTH ELEVATION



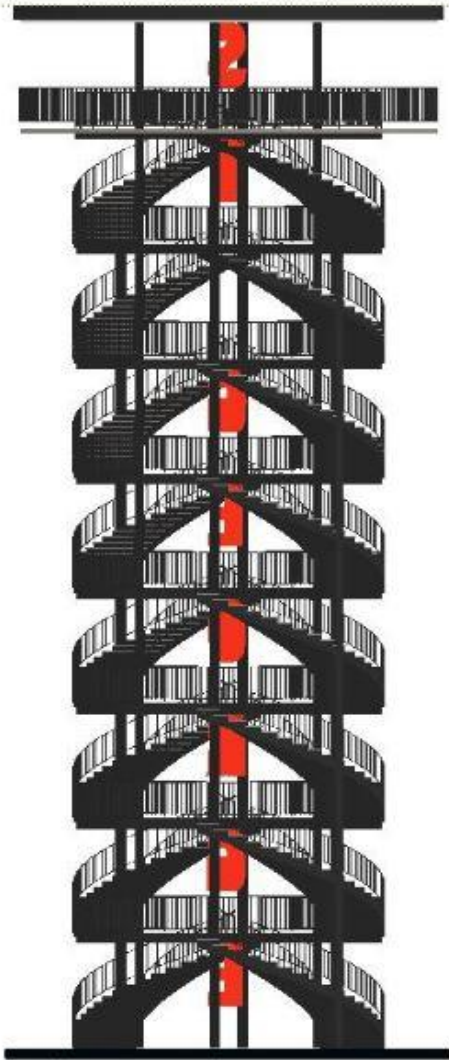
WEST ELEVATION

# Parking Structure

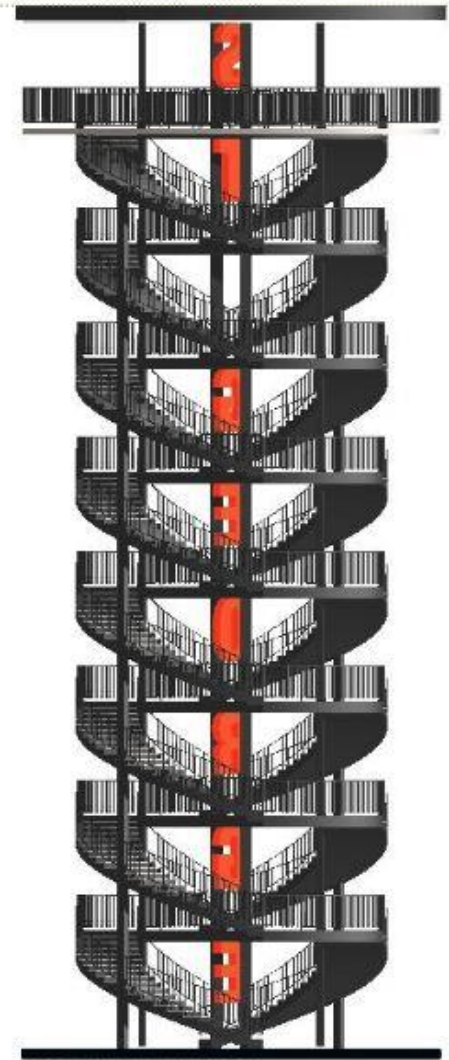
TOP  
100'-0"



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

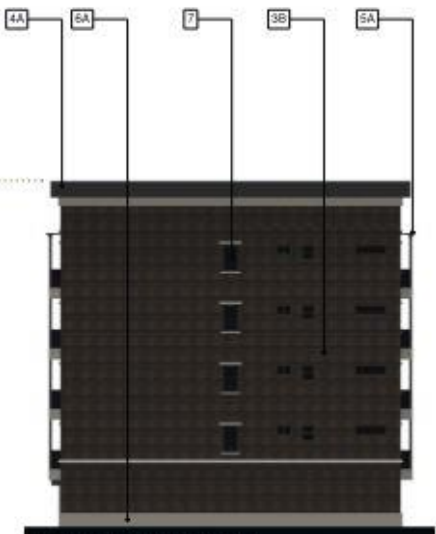


EAST ELEVATION

# Observation Tower



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

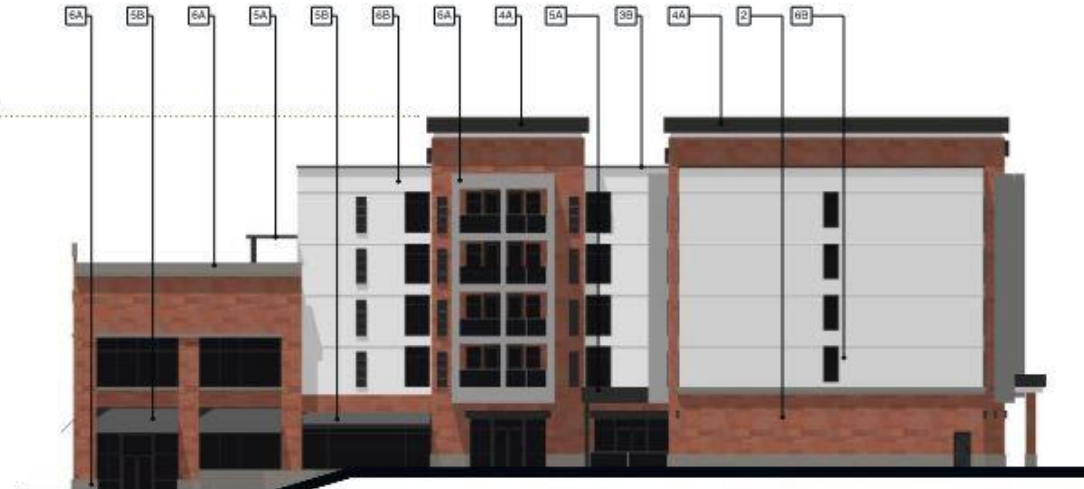


WEST ELEVATION

# Condo Building



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

# Hotel





"I move that we forward a positive recommendation to City Council to change the zone from C-4 to PD-MU on approximately 3.76 for the First West, case No. 2025-ZC-019, based on the findings listed in the staff report."

PLANNING COMMISSION AGENDA REPORT: 10/28/2025

**AMENDMENT TO TITLE 10-19-3: ZONING REGULATIONS – TWO WAY DRIVEWAY WIDTH – EXHIBIT A**

This section of the St George City municipal code currently regulates garage access from alleys particularly setback and frontage requirements.

**AMENDMENT TO TITLE 10-25D-3(C)(4): ZONING REGULATIONS – IMPROVEMENTS REQUIRED – EXHIBIT B**

This section of the code currently states that all lots must have frontage along a street. There may be instances where a development may benefit from fronting on an open space, paseo, common green or similar common space. The proposed code amendment to this section would allow that as long as there is access provided to the rear of the lot.

**AMENDMENT TO TITLE 10-20-9(A): ZONING REGULATIONS – ALLEY ACCESS IN RESIDENTIAL AND COMMERCIAL DEVELOPMENTS AND SUBDIVSIONS – EXHIBIT C**

This is a section of code that only allows an alley if it is a secondary access and another road provides the primary access. This proposal would eliminate this requirement.

**AMENDMENT TO TNZ DESIGN MANUAL & FORM BASED CODE: ZONING REGULATIONS – TWO WAY DRIVEWAY WIDTH – EXHIBIT D**

This section is only pertinent to TNZ (Traditional Neighborhood Zone) developments but, for the sake of consistency needs to be amended for future TNZ development.

**REQUEST:**

This request has been filed by Stacy Young on behalf of SUHBA (Southern Utah Home Builders Association). In short, there are several changes being proposed, all aimed at allowing two things: 1. Alley setbacks to be reduced from 25' to 5' and 2. to allow a lot to front open space, a paseo, common green, etc. In order to do this, a number of code sections need to be changed as outlined in Exhibits A-D below.

**BACKGROUND:**

In 2023, a code change to the St. George city code was approved which increased the setback between an alleyway and a garage from 5' to 25'. This was done as a larger change to sections of city code and has been a change unpopular with homebuilders since that time.

Staff recently received an application from SUHBA (Southern Utah Home Builders Association) requesting a Zoning Regulation Amendment in order to revise the requirement for alley loaded garages to maintain a 20-foot setback between the alley and garage. The concern among home builders is that by requiring not only a twenty-foot setback along the front of the lot, an additional 20 feet between the alley and garage made an alley unfunctional and not practical. The proposal is to change the setback between an alley and a garage back

to 5' which was the previous standard. Additionally, this section of code required a home to front a street and didn't allow frontage on an open space, paseo, or common green. This application addresses that as well.

Another small aspect of this is to also amend the TNZ design manual and form-based code guidelines which were also previously amended to reflect the changes two years ago. This amendment would revert those requirements to the 5-foot setback as was the previous standard.

**Proposed Changes:**

The proposed revisions are attached as Exhibit A, B, C & D.

- The additions are underlined in blue
- The removals are crossed out in ~~red~~

**RECOMMENDATION:**

Staff recommends approval of the revisions as proposed.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with conditions.
3. Recommend denial.
4. Continue the proposed zoning regulation amendment to a specific date.

**POSSIBLE MOTION:**

"I move that we recommend approval of the changes to Title 10-19-3 and the TNZ Design Manual as proposed by SUBHA and contained in exhibit 'A' and 'B', case no. 2025-ZRA-012, based on the findings listed in the staff report."

**FINDINGS:**

1. It is in the best interest of the City to update the City municipal code periodically.
2. SUHBA has submitted an application for a Zoning Regulation Amendment seeking to revise the alley-to-garage setback from 25 feet down to 5 feet, restoring the prior standard that allowed for more functional alley-loaded garage configurations.
3. That the existing code language also requires all dwelling units to front on a public street, which has prevented homes from fronting on open spaces, paseos, or common greens—an issue addressed within the proposed amendment.
4. The proposed amendment also includes corresponding updates to the TNZ Design Manual and Form-Based Code guidelines to ensure consistency with the restored 5-foot alley setback and related frontage provisions.

## EXHIBIT A

### PROPOSED CHANGES TO TITLE 10-19-3(B)(6)

#### 10-19-3:

#### ACCESS TO INDIVIDUAL PARKING SPACES:

Except for single-family and two (2) family dwellings, access to each parking space shall be from a private driveway and not from a public street, unless all driveway separation requirements are met.

A. *One (1) Way Driveway Width:* One (1) way driveways shall be a minimum of twelve feet (12') in width.

B. *Two (2) Way Driveway Width:* Two (2) way driveways shall be of a minimum width as follows:

1. Twelve feet (12') for a single-family dwelling, providing access to parking spaces directly off of a street without having to go past another building.
2. Sixteen feet (16') for a single-family or a two (2) family dwelling that must go past another building to access parking spaces, with a minimum unobstructed two foot (2') width on both sides of the driveway; or a two (2) family dwelling, providing access to parking spaces directly off of a street without having to go past another building.
3. Eighteen feet (18') for a single-family or a two (2) family dwelling that must go past another building to access parking spaces where there are obstructions (i.e., walls, trees, etc.) adjacent to one (1) or both sides of the driveway.
4. Twenty-eight feet (28') for commercial, manufacturing and all other residential developments for the drive approach, and twenty-five feet (25') for the drive aisles.
5. Additionally, a minimum of twenty feet (20') is required for any dwelling or building when any portion of an exterior wall of the first story is located more than one hundred fifty feet (150') from fire department vehicle access. Vertical clearance, surface, turnarounds and other requirements contained in the International Fire Code shall apply. Exceptions and modifications may apply as approved by the fire chief.
6. Garages accessed by a twenty-foot (20') wide paved rear alley shall have a minimum ~~twenty foot (20')~~ five (5') foot setback from the alley; provided, that the dwelling fronts on:

- a. A public street; or
- b. A private street which meets the public street pavement-width standard.

[c. A common green, paseo or similar open space, so long as there is a pedestrian access to a public or private street.](#)

C. *Garage and Carport Spaces:* Garage and carport spaces shall be counted as one (1) parking space unless such garage or carport is a minimum of four hundred (400) square feet with a minimum width of twenty feet (20'). (Ord. 2019-10-002, 10-10-2019; amd. Ord. 2023-01-008, 1-5-2023;

## EXHIBIT B

### PROPOSED CHANGES TO TITLE 10-25D-3(c)(4)

4. *Frontage*: All subdivision lots shall have frontage on a dedicated public street improved to city standards, unless the use of a private street has been approved by the land use authority. [Lots in which the homes are fronting a designated common green space, paseo, or similar open space that provides pedestrian access to a public or private street are allowed.](#) Private streets, alleys, or ways shall not be approved except when the city engineer, or designee finds that public dedication is not necessary. Where determined that public streets are needed for area circulation, property access, or the overall benefit of the driving public, private streets shall not be used. Master-planned roads cannot be private.

## EXHIBIT C

### PROPOSED CHANGES TO TITLE 10-20-9(A)

A. *Residential*: In residential developments and subdivisions, an alley may provide access to a garage located to the rear of a dwelling. ~~An alley is permitted only if it provides a secondary vehicular access to a dwelling unit.~~

## EXHIBIT D

### PROPOSED CHANGES TO TNZ DESIGN MANUAL & FORM BASED CODE

#### 3.4 PARKING STANDARDS

*Standard A: Placement.* All off-street parking shall be located twenty-five feet (25') behind the front line of buildings. Parking lots are not a permitted frontage form in a Traditional Neighborhood Zone. Notwithstanding the foregoing, commercial structures occupying a corner lot may have a parking lot fronting one side of the lot. Such a parking lot must be set back at least fifteen feet (15') from the back of sidewalk and screened from the street by at least a three and a half feet (3' 1/2) high landscaped berm or a solid masonry fence setback at least ten feet (10') from back of sidewalk. Parking standards in city ordinance, Title 10 Chapter 19, apply unless provided otherwise herein.

*Standard B: Access.* Off-street parking shall be accessed by lane, alley, or driveway. Lane or alley access to off-street parking is strongly preferred. If covered parking is provided within a garage, each dwelling unit may tandem park, if the garage and tandem parking spaces are associated with the same unit.

*Standard C: Alley garages.* Garages accessed from an alley must be set back a minimum of ~~twenty~~ five feet (25') from the alley. Alley accessed garages must be set back a minimum of twenty feet (20'), measured from back of sidewalk or back of curb where no sidewalk exists, to qualify for tandem parking.

**EXHIBIT E**

**POWERPOINT PRESENTATION**

**TITLE 10-19-6B6  
ALLEY SETBACK SUHBA  
REQUEST 2025-ZRA-012**

# CODE CHANGES

2

Request:

1. Alley setbacks to be reduced from 25' to 5'
2. To allow a lot to front open space, a paseo, common green, etc.

# 10-19-3(B)(6)

3

## PROPOSED CHANGES TO TITLE 10-19-3(B)(6)

### 10-19-3:

#### ACCESS TO INDIVIDUAL PARKING SPACES:

6. Garages accessed by a twenty-foot (20') wide paved rear alley shall have a minimum ~~twenty foot (20')~~ five (5') foot setback from the alley; provided, that the dwelling fronts on:

- a. A public street; or
- b. A private street which meets the public street pavement-width standard.
- c. A common green, paseo or similar open space, so long as there is a pedestrian access to a public or private street.

# 10-25D-3(C)(4)

4

4. *Frontage:* All subdivision lots shall have frontage on a dedicated public street improved to city standards, unless the use of a private street has been approved by the land use authority. Lots in which the homes are fronting a designated common green space, paseo, or similar open space that provides pedestrian access to a public or private street are allowed. Private streets, alleys, or ways shall not be approved except when the city engineer, or designee finds that public dedication is not necessary. Where determined that public streets are needed for area circulation, property access, or the overall benefit of the driving public, private streets shall not be used. Master-planned roads cannot be private.

# 10-20-9(A)

5

## PROPOSED CHANGES TO TITLE 10-20-9(A)

A. *Residential:* In residential developments and subdivisions, an alley may provide access to a garage located to the rear of a dwelling. ~~An alley is permitted only if it provides a secondary vehicular access to a dwelling unit.~~

## PROPOSED CHANGES TO TNZ DESIGN MANUAL & FORM BASED CODE

### 3.4 PARKING STANDARDS

*Standard A: Placement.* All off-street parking shall be located twenty-five feet (25') behind the frontline of buildings. Parking lots are not a permitted frontage form in a Traditional Neighborhood Zone. Notwithstanding the foregoing, commercial structures occupying a corner lot may have a parking lot fronting one side of the lot. Such a parking lot must be set back at least fifteen feet (15') from the back of sidewalk and screened from the street by at least a three and a half feet (3' 1/2) high landscaped berm or a solid masonry fence setback at least ten feet (10') from back of sidewalk. Parking standards in city ordinance, Title 10 Chapter 19, apply unless provided otherwise herein.

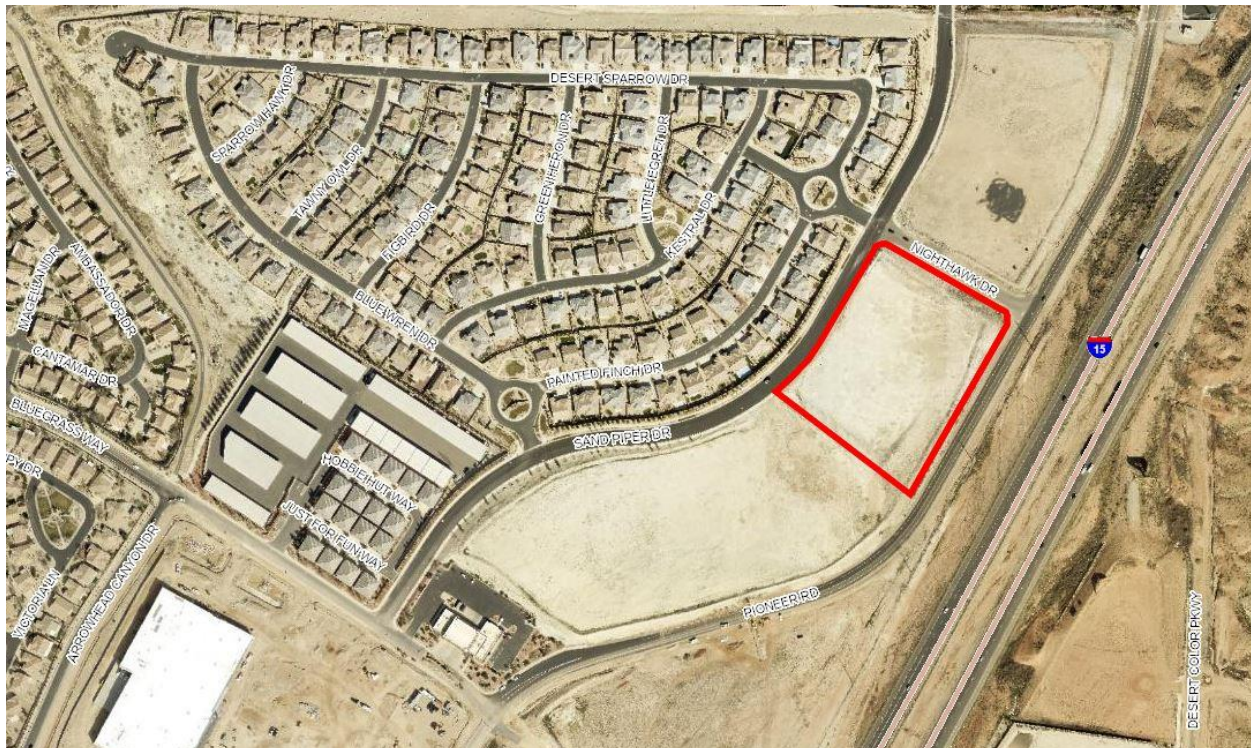
*Standard B: Access.* Off-street parking shall be accessed by lane, alley, or driveway. Lane or alley access to off-street parking is strongly preferred. If covered parking is provided within a garage, each dwelling unit may tandem park, if the garage and tandem parking spaces are associated with the same unit.

*Standard C: Alley garages.* Garages accessed from an alley must be set back a minimum of ~~twenty~~-five feet (25') from the alley. Alley accessed garages must be set back a minimum of twenty feet (20'), measured from back of sidewalk or back of curb where no sidewalk exists, to qualify for tandem parking.

“I MOVE THAT WE RECOMMEND APPROVAL OF THE CHANGES TO TITLE 10-19-3 AND THE TNZ DESIGN MANUAL AS PROPOSED BY SUBHA AND CONTAINED IN EXHIBIT ‘A’ AND ‘B’, CASE NO. 2025-ZRA-012, BASED ON THE FINDINGS LISTED IN THE STAFF REPORT.”

PLANNING COMMISSION AGENDA REPORT: 10/28/2025

<b>Mojave Crossing</b> Preliminary Plat (Case No. 2025-PP-034)	
<b>Request:</b>	This is a request for a Preliminary Plat for a three lot, planned development commercial subdivision in the Atkinville Interchange Area Zone Plan totaling approximately 5.057 acres.
<b>Applicant:</b>	Colby Anderson, CIR Engineering
<b>Location:</b>	Generally located at the corner of Pioneer Road and Nighthawk Drive.
<b>General Plan:</b>	PD (Planned Development)
<b>Existing Zoning:</b>	PD-C (Planned Development Commercial)
<b>Surrounding Zoning:</b>	North PD-C (Planned Development Commercial)
	South PD-C (Planned Development Commercial)
	East PD-C (Planned Development Commercial)
	West PD-R (Planned Development - Residential)
<b>Land Area:</b>	Approximately 5.057 acres



**BACKGROUND:**

The subject property is currently zoned PD-C (Planned Development Commercial) and designated as PD (Planned Development) on the General Plan. This PD-C was approved by the City Council March 6, 2025. The approved PD-C included three buildings with approved uses of hotel, office, and retail. The plat depicts a single, 5.057 (220,281 sq ft) lot upon which to construct a hotel, office building, and retail building. The Mojave Crossing project already has a one lot preliminary plat. The proposed preliminary plat will divide the project into three separate lots with common area in between.

**RECOMMENDATION:**

Staff recommends approval of this preliminary plat with the following conditions:

1. That a final plat must be reviewed, approved, and recorded prior to final site plan approval.
2. That buildings must be set back 25 feet from Pioneer Road and Nighthawk DR, and 20 feet from Sand Piper DR.

**ALTERNATIVES:**

1. Approve as presented.
2. Approve with modified conditions.
3. Deny the application.
4. Continue the proposed preliminary plat to a later date.

**POSSIBLE MOTION:**

“I move that we approve the Mojave Crossing Preliminary Plat request, application number 2025-PP-034, based on the findings and subject to the conditions noted in the staff report.”

**FINDINGS FOR APPROVAL:**

1. The proposed Preliminary Plat meets the requirements found in Section 10-25C-3 of the Subdivision Regulations.
2. The proposed project meets the lot size and frontage requirements found in Section 10-8D-2.
3. Approval of the preliminary plat is in the best interest of the health, safety, and welfare of the community.

PC 2025-PP-034  
Mojave Crossing  
Preliminary Plat

**Exhibit A**  
**PowerPoint Presentation**



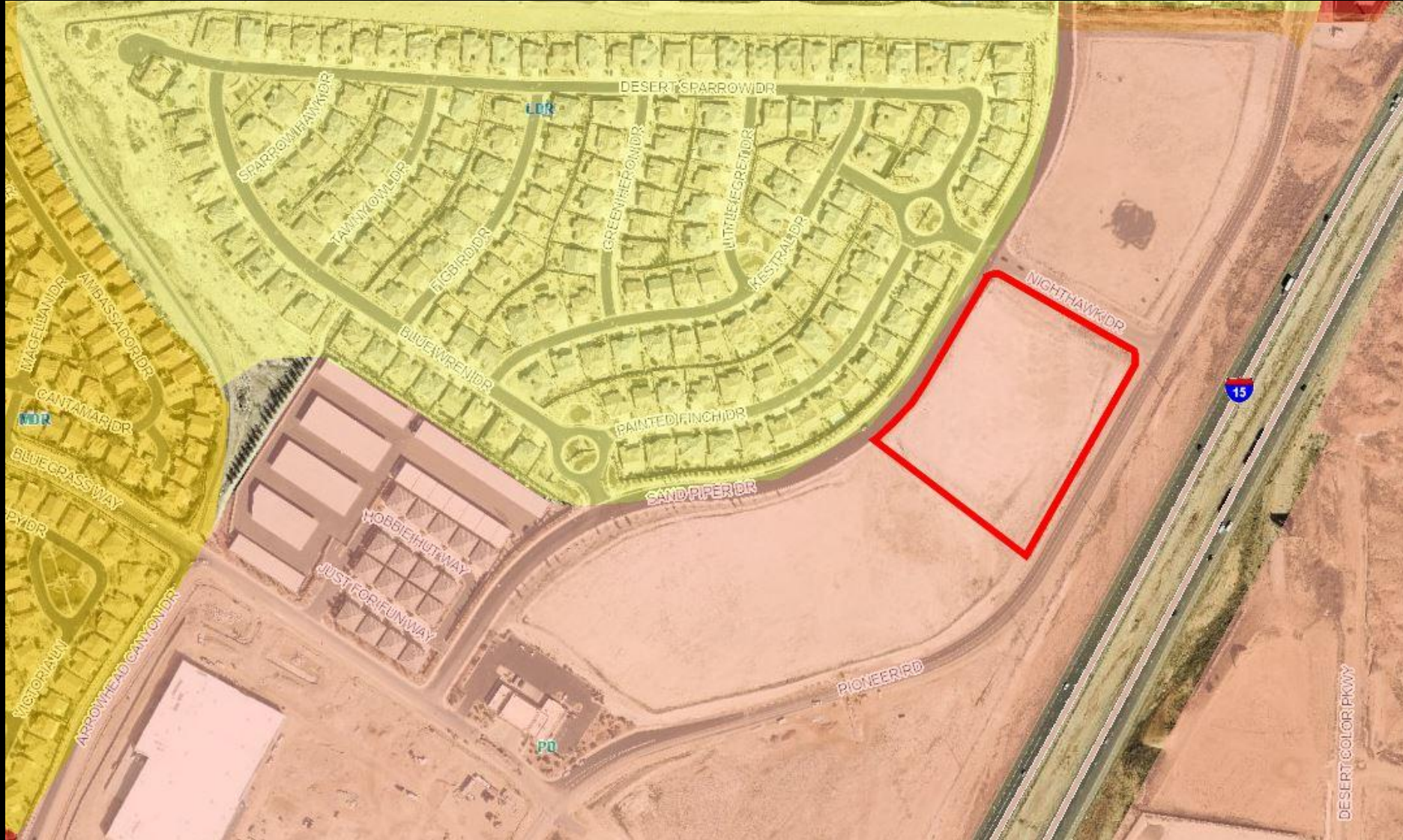
# Mojave Crossing Preliminary Plat

2025-PP-034

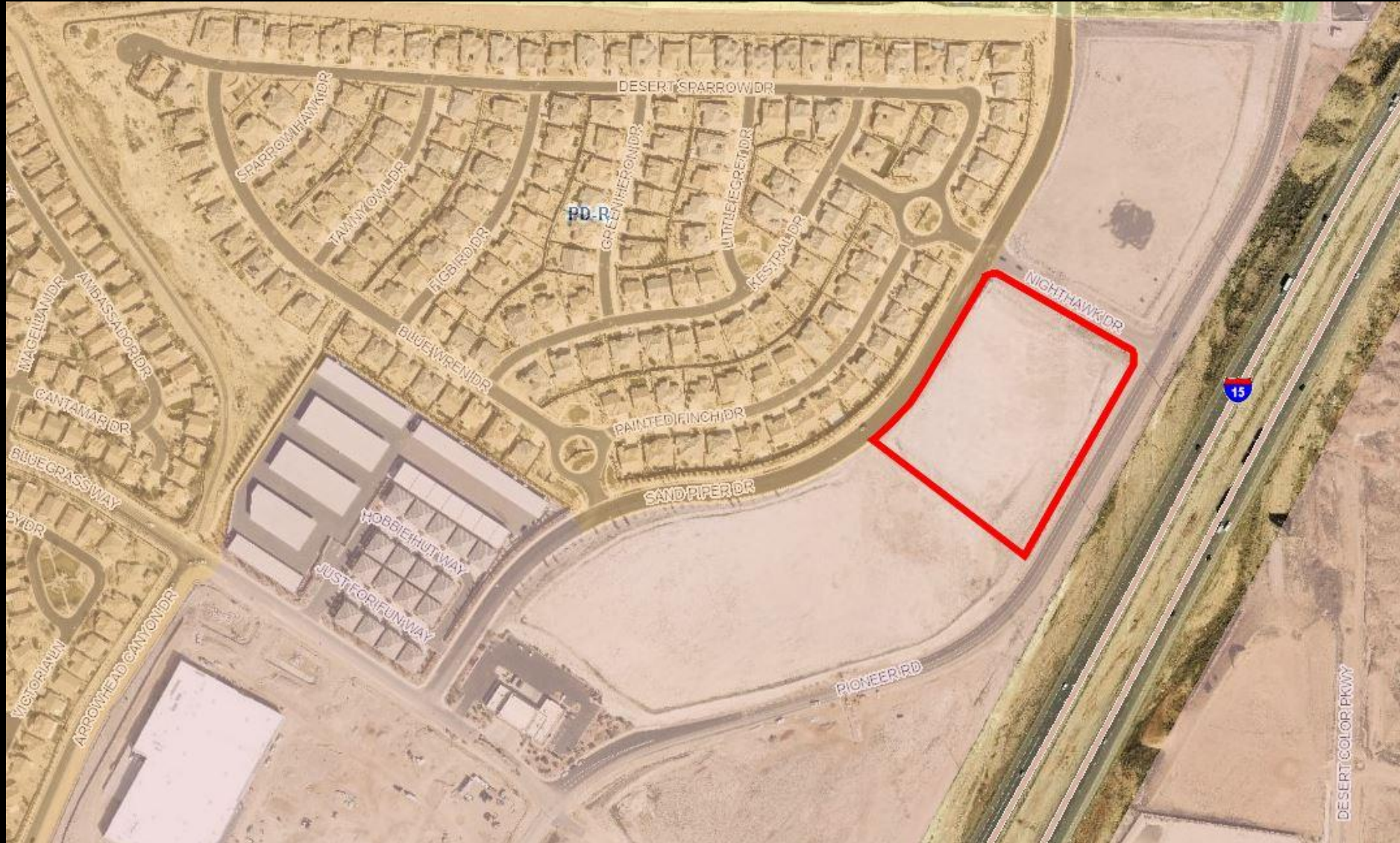
# Aerial Map



# Land Use Map



# Zoning Map



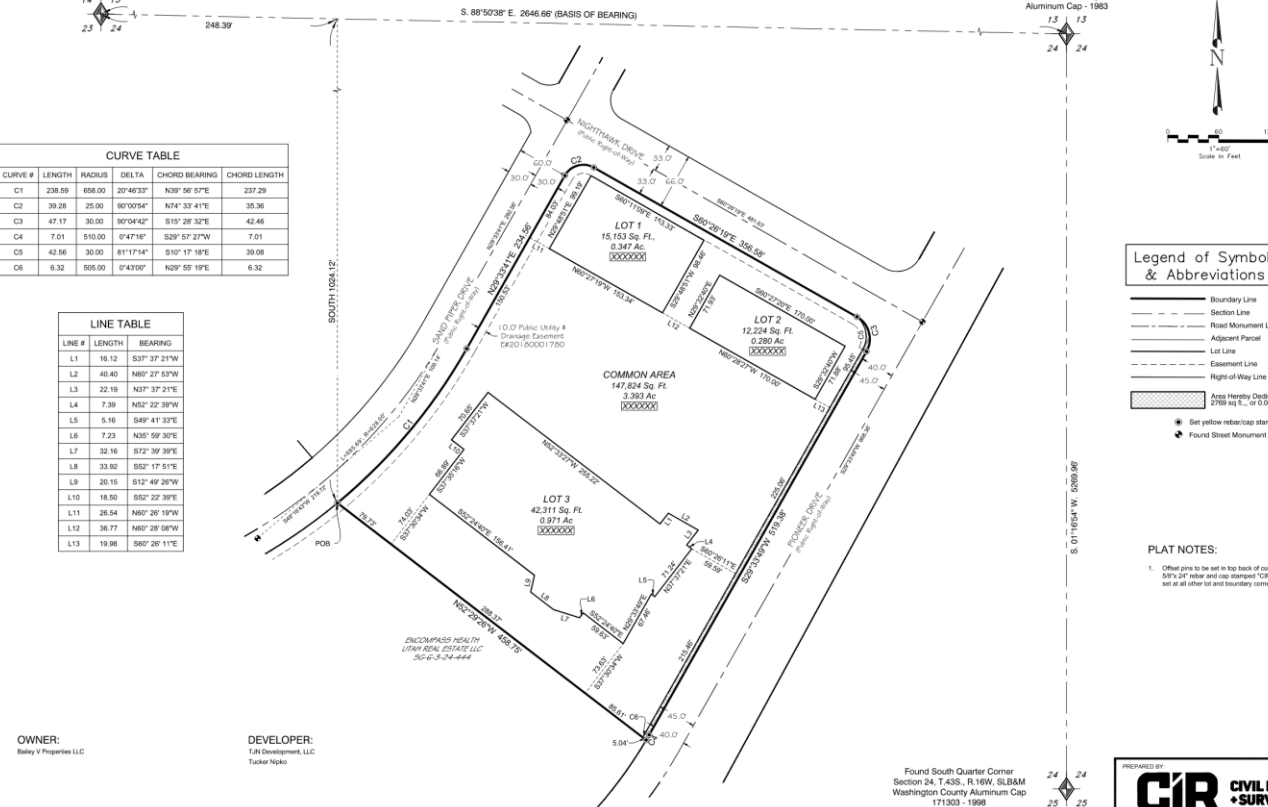
# Preliminary Site Layout

## MOJAVE CROSSING SUBDIVISION PRELIMINARY PLAT

LOCATED IN THE NORTHWEST QUARTER OF SECTION 24,  
TOWNSHIP 43 SOUTH, RANGE 16 WEST, SALT LAKE BASE & MERIDIAN  
ST. GEORGE CITY, WASHINGTON COUNTY, UTAH

Found Northwest Corner  
Section 24, T.43S., R.16W., SLB&M  
Department of the Interior BLM Cadastral Survey  
Aluminum Cap - 1983

North Quarter Corner  
Section 24, T.43S., R.16W., SLB&M  
Department of the Interior BLM  
Cadastral Survey  
Aluminum Cap - 1983



CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	238.59	658.00	29°46'33"	N39°56'57"E	237.29
C2	39.28	25.00	90°00'54"	N74°33'41"E	35.36
C3	47.17	30.00	90°04'42"	S19°28'32"E	42.46
C4	7.01	510.00	0°47'16"	S29°57'27"W	7.01
C5	42.56	30.00	81°17'14"	S10°17'18"E	39.08
C6	6.32	505.00	0°43'00"	N29°55'19"E	6.32

LINE #	LENGTH	BEARING
L1	16.12	S33°37'21"W
L2	49.40	N60°27'53"W
L3	22.19	N03°37'21"E
L4	7.39	N52°22'39"W
L5	5.16	S48°41'33"E
L6	7.23	N35°59'30"E
L7	32.16	S72°59'39"E
L8	33.92	S52°17'51"E
L9	20.15	S12°49'26"W
L10	18.50	S52°22'39"E
L11	26.54	N50°26'19"W
L12	36.77	N50°28'08"W
L13	19.96	S60°26'11"E

OWNER:  
Bailey V Properties LLC

DEVELOPER:  
T&N Development, LLC  
Tucker Niko

### Legend of Symbols & Abbreviations

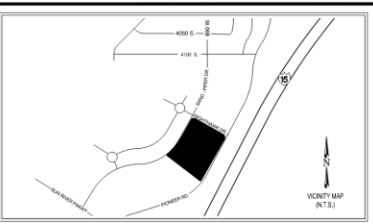
- Boundary Line
- - - Section Line
- - - Road Monument Line
- - - Adjacent Parcel
- - - Lot Line
- - - Easement Line
- - - Right-of-Way Line
- Area Hatched with Diagonal Lines: Area Hereby Dedicated to St. George City (7769 sq. ft., or 0.1763 ac.)
- Star symbol: Set yellow rebar/loop stamped "CIR"
- Star symbol: Found Street Monument stamped "ROSENBERG"

### PLAT NOTES:

- Offset pins to be set in top back of curb and 50's 24" marker and one stamped "CIR" to be set at all other lot and boundary corners.

SHEET  
1  
1

PREPARED BY:  
**CIR CIVIL ENGINEERING + SURVEYING**  
10715 South Woodstock Lane, Suite 102, South Jordan, Utah 84095  
Phone: (435) 503-7641



### SURVEYOR'S CERTIFICATE

I, Brian F. Mitchell, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 157871 in accordance with Title 58, Chapter 23, of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the owners I have made a survey and filed a plat as **MOJAVE CROSSING SUBDIVISION** in the office of the County Surveyor in accordance with 17-23-17 and have verified all measurements, and that the description described the land to be known as **MOJAVE CROSSING SUBDIVISION** and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

Signed this \_\_\_ day of \_\_\_\_\_, 20\_\_



### BOUNDARY DESCRIPTION

All of that entire tract of land described in that Warranty Deed recorded April 13, 2005 as Document ID 2023011581 in the Office of the Washington County Recorder. Said entire tract is located in the Northwest Quarter of Section 24, Township 43 South, Range 16 West, Salt Lake Base and Meridian and is described as follows:

Beginning at the southeasterly corner of said entire tract on a westerly right-of-way line of Sand Piper Drive described in that Sun Blue St. George Phase 51 recorded January 12, 2018 as Document No. 2018051781 in the Office of said recorder, which is 248.28 feet S. 88°50'38" E. along the Section Line and 1024.12 feet South from the Northwest Corner of said Section 24, said corner being on a point of non-adjacency with 458.00'. North to a curve to the left, concave northwesterly (Radius point bears N. 30°28'00" W.), thence along said Sand Piper Drive and Night Hawk Drive the following five (5) courses: 1) Northwestern 238.69 feet along the arc of said curve, through a central angle of 29°46'33" (Chord bears N. 28°05'17" E. 237.29 feet); 2) N. 29°32'41" (Chord bears 29°32'41" East 224.94 feet to a point of tangency with a 20.00' foot radius curve to the right, concave westerly; 3) Southward 29.24 feet along the arc of said curve, through a central angle of 90°04'42" (Chord bears N. 74°33'41" E. 35.36 feet); 4) S. 60°28'19" E. (Chord bears 20°20'27" East 26.54 feet to a point of tangency with a 30.00' foot radius curve to the right, concave westerly; 5) Southward 47.17 feet along the arc of said curve, through a central angle of 90°04'42" (Chord bears S. 19°28'32" E. 42.46 feet) to a westerly right-of-way line of Pioneer Road described in that Warranty Deed dated for Pioneer Road recorded June 24, 2022 as Document No. 2022011336 in the Office of said Recorder, thence along said Pioneer Road the following two (2) courses: 1) S. 29°33'07" W. (Chord bears 29°33'07" West 319.38 feet to a point of tangency with a 30.00' foot radius curve to the right, concave northwesterly; 2) Southwesterly 47.17 feet along the arc of said curve, through a central angle of 90°47'16" (Chord bears S. 29°57'27" W. 7.01 feet); thence N. 52°28'20" W. 498.75 feet to the Point of Beginning.

The above-described entire tract contains 200,281 sq. ft., in area of 5.056 ac. more or less, 3 Lots with Common Area.

### OWNERS DEDICATION

Know all men by these presents that the undersigned are the owners of the above described tract of land, and hereby cause the same to be divided into Lots, Parcel and Streets, together with easements as set forth to be hereinafter known as:

### MOJAVE CROSSING SUBDIVISION

And do hereby declare for perpetual use of the public in roads and other areas shown on this plat as intended for public use. The undersigned owners also hereby convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities. The undersigned owners also hereby convey any other easements and shown on this plat to the parties indicated and for the purposes shown herein.

Bailey V Properties LLC  
By: \_\_\_\_\_  
Print Name:  
Title:

### NOTARY ACKNOWLEDGMENT

State of Utah )  
                  ) ss  
County of \_\_\_\_\_ )  
On this \_\_\_ day of \_\_\_\_\_ in the year 2025, before me, \_\_\_\_\_ a Notary Public, personally appeared \_\_\_\_\_ the \_\_\_\_\_ of Bailey V Properties LLC proved on the basis of satisfactory evidence to be the person(s) whose name(s) here subscribed to in the foregoing owners' declaration and consent regarding the **MOJAVE CROSSING SUBDIVISION** and was signed by him/her on behalf of said Bailey V Properties LLC and acknowledged that he/she/they executed the same.

Commission Number: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
A Notary Public Commissioned in Utah

**MOJAVE CROSSING SUBDIVISION**  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 24,  
TOWNSHIP 43 SOUTH, RANGE 16 WEST, SALT LAKE BASE & MERIDIAN  
ST. GEORGE CITY, WASHINGTON COUNTY, UTAH

CITY SURVEYOR APPROVAL  
I hereby verify that this office examined this final subdivision plat and hereby recommends approval on this \_\_\_ day of \_\_\_\_\_, A.D. 2025.  
City Surveyor  
City of St. George

CITY PLANNER APPROVAL  
I hereby verify that this office examined this final subdivision plat and hereby recommends approval on this \_\_\_ day of \_\_\_\_\_, A.D. 2025.  
City Planner  
City of St. George

CITY ENGINEER APPROVAL  
I hereby verify that this office examined this final subdivision plat and hereby recommends approval on this \_\_\_ day of \_\_\_\_\_, A.D. 2025.  
City Engineer  
City of St. George

CITY ATTORNEY APPROVAL  
Approved as to Form, this \_\_\_ day of \_\_\_\_\_, A.D. 2025.  
City Attorney  
City of St. George

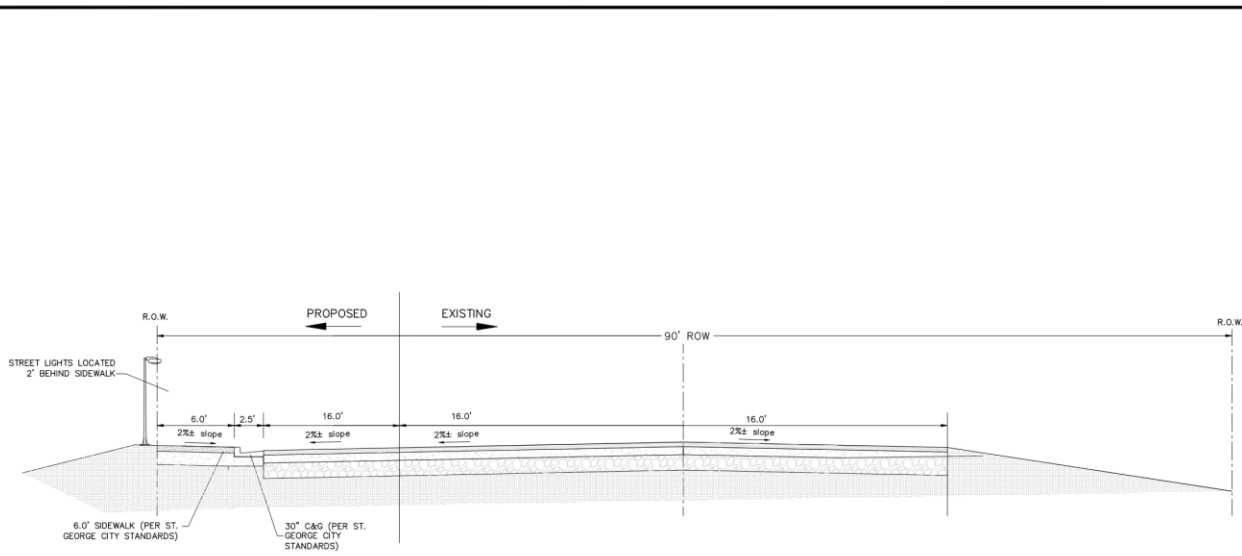
LAND USE AUTHORITY APPROVAL  
I hereby verify that the Land Use Authority reviewed this final subdivision plat and approved it on this \_\_\_ day of \_\_\_\_\_, A.D. 2025 with all the commitments and obligations pertaining thereto.  
Land Use Authority  
City of St. George

TREASURER APPROVAL  
I, Washington County Treasurer, certify on this \_\_\_ day of \_\_\_\_\_, A.D. 2025 that all taxes, special assessments, and fees due and owing on this subdivision Final Plat have been paid in full.  
Washington County Treasurer  
City of St. George

RECORDED NUMBER  
Washington County Recorder

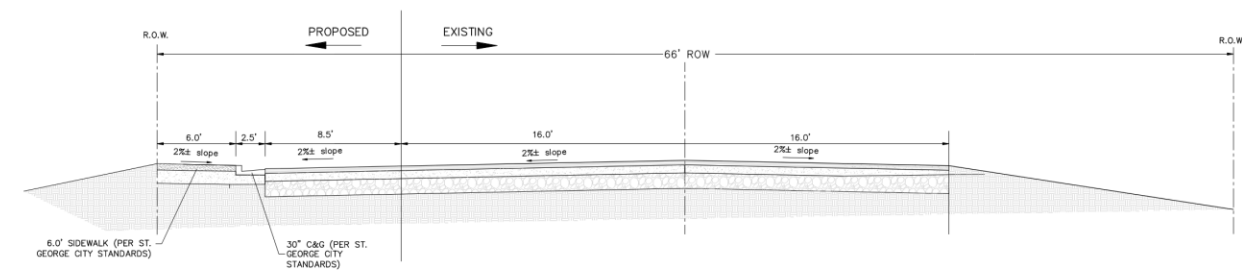


# Preliminary Site Layout



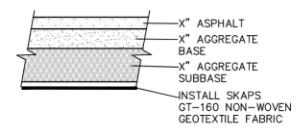
PIONEER ROAD TYPICAL CROSS-SECTION

NOTE: PIONEER ROAD SHALL BE WIDENED AND IMPROVED ADJACENT TO PROPERTY FRONTAGE

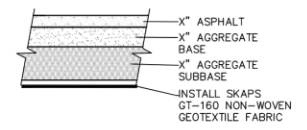


NIGHTHAWK DRIVE TYPICAL CROSS-SECTION

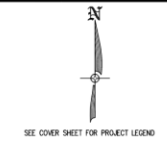
NOTE: NIGHTHAWK DRIVE SHALL BE WIDENED AND IMPROVED ADJACENT TO PROPERTY FRONTAGE



TYPICAL PAVEMENT SECTION  
N.T.S.



TYPICAL PAVEMENT SECTION  
N.T.S.



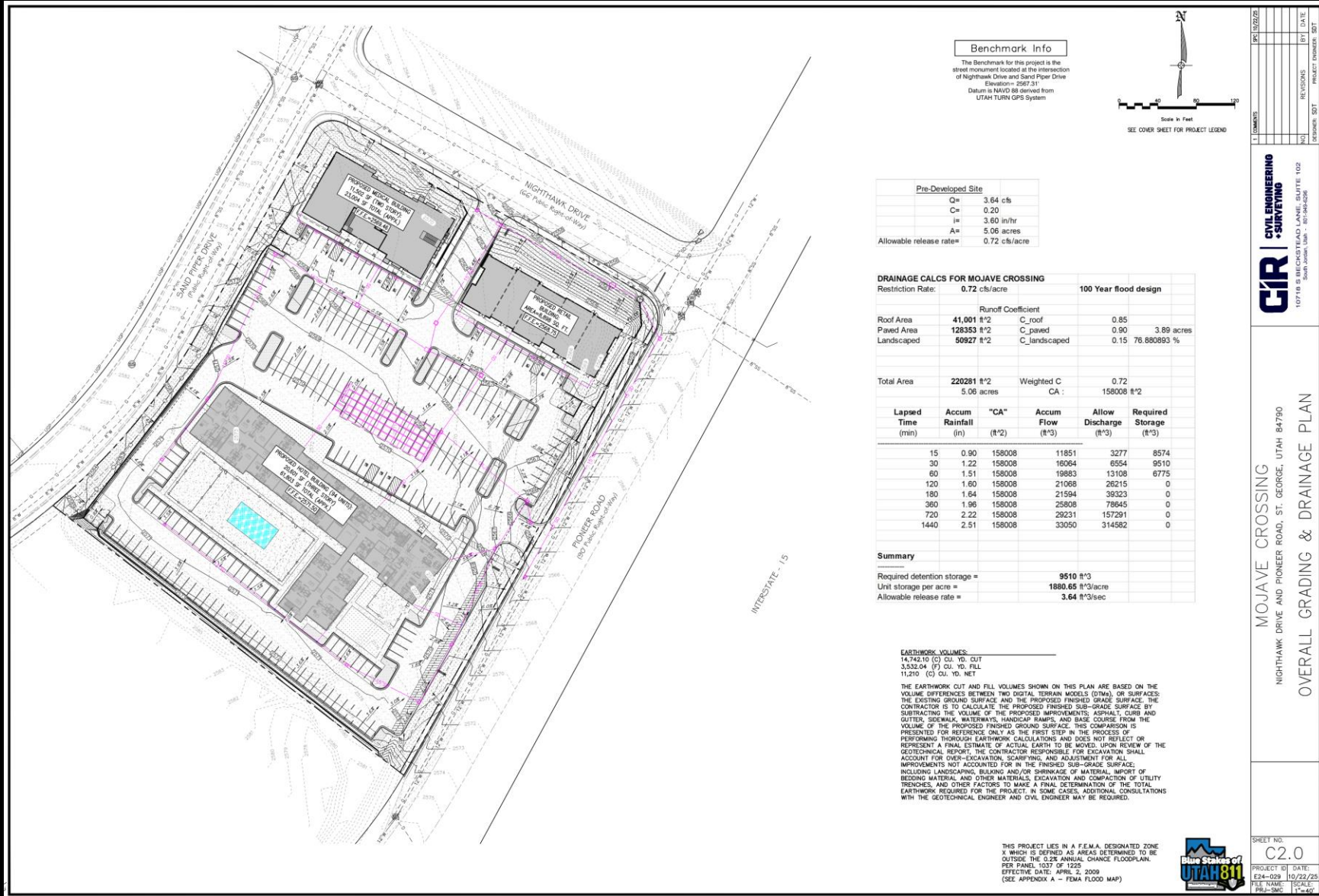
NO.	REVISIONS	BY	DATE

**CIVIL ENGINEERING & SURVEYING**  
 10716 S BECKSTEAD LANE, SUITE 102  
 SOUTH JORDAN, UT 84095  
**CIR**

MOJAVE CROSSING  
 NIGHTHAWK DRIVE AND PIONEER ROAD, ST. GEORGE, UTAH 84790  
 TYPICAL ROAD SECTIONS

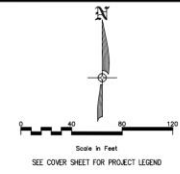
**Blue Stakes of UTAH**  
 SHEET NO. **C1.4**  
 PROJECT ID: E24-029 DATE: 10/22/25  
 FILE NAME: PROJ-S&C SCALE: 1"=40'

# Preliminary Site Layout



### Benchmark Info

The Benchmark for this project is the street monument located at the intersection of Nighthawk Drive and Sand Paver Drive  
 Elevation = 2567.31'  
 Datum is NAVD 88 derived from UTM/TURN CORS System



Pre-Developed Site	
Q <sub>a</sub>	3.64 cfs
C <sub>a</sub>	0.20
I <sub>a</sub>	3.60 in/hr
A <sub>a</sub>	5.06 acres
Allowable release rate <sub>a</sub>	0.72 cfs/acre

### DRAINAGE CALCS FOR MOJAVE CROSSING

Restriction Rate: 0.72 cfs/acre		100 Year flood design	
		Runoff Coefficient	
Roof Area	41,001 # <sup>2</sup>	C <sub>roof</sub>	0.85
Paved Area	128,353 # <sup>2</sup>	C <sub>paved</sub>	0.90
Landscaped	50,927 # <sup>2</sup>	C <sub>landscaped</sub>	0.15
		76.880893 %	
Total Area	220,281 # <sup>2</sup>	Weighted C	0.72
	5.06 acres	CA	156,006 # <sup>2</sup>

Lapsed Time (min)	Accum Rainfall (in)	"CA" (# <sup>2</sup> )	Accum Flow (# <sup>3</sup> )	Allow Discharge (# <sup>3</sup> )	Required Storage (# <sup>3</sup> )
15	0.90	158008	11851	3277	8574
30	1.22	158008	16064	6554	9510
60	1.51	158008	19883	13108	6775
120	1.60	158008	21068	26215	0
180	1.64	158008	21594	39323	0
360	1.96	158008	25906	78645	0
720	2.22	158008	29231	157291	0
1440	2.51	158008	33050	314582	0

### Summary

Required detention storage =	9510 # <sup>3</sup>
Unit storage per acre =	1880.65 # <sup>3</sup> /acre
Allowable release rate =	3.64 # <sup>3</sup> /sec

**EARTHWORK VOLUMES:**  
 14,742.10 (C) CU. YD. CUT  
 3,532.04 (F) CU. YD. FILL  
 11,210 (C) CU. YD. NET

THE EARTHWORK CUT AND FILL VOLUMES SHOWN ON THIS PLAN ARE BASED ON THE VOLUME DIFFERENCES BETWEEN TWO DIGITAL TERRAIN MODELS (DTM), OR SURFACES: THE EXISTING GROUND SURFACE AND THE PROPOSED FINISHED GRADE SURFACE. THE CONTRACTOR IS TO CALCULATE THE PROPOSED FINISHED SUB-GRADE SURFACE BY SUBTRACTING THE VOLUME OF THE PROPOSED IMPROVEMENTS: ASPHALT, CURB AND GUTTER, SIDEWALK, WATERWAYS, HANDICAP RAMPS, AND BASE COURSE FROM THE VOLUME OF THE PROPOSED FINISHED GROUND SURFACE. THIS COMPARISON IS PRESENTED FOR REFERENCE ONLY AS THE FIRST STEP IN THE PROCESS OF PERFORMING THOROUGH EARTHWORK CALCULATIONS AND DOES NOT REFLECT OR REPRESENT A FINAL ESTIMATE OF ACTUAL EARTH TO BE MOVED. UPON REVIEW OF THE GEOTECHNICAL REPORT, THE CONTRACTOR RESPONSIBLE FOR EXCAVATION SHALL ACCOUNT FOR OVER-ESTIMATION, SCARPING, AND ADJUSTMENT FOR ALL IMPROVEMENTS NOT ACCOUNTED FOR IN THE FINISHED SUB-GRADE SURFACE, INCLUDING LANDSCAPING, BULKING AND/OR SHRINKAGE OF MATERIAL IMPORT OF BEDDING MATERIAL, AND OTHER MATERIALS, EXCAVATION AND COMPACTION OF UTILITY TRENCHES, AND OTHER FACTORS TO MAKE A FINAL DETERMINATION OF THE TOTAL EARTHWORK REQUIRED FOR THE PROJECT. IN SOME CASES, ADDITIONAL CONSULTATIONS WITH THE GEOTECHNICAL ENGINEER AND CIVIL ENGINEER MAY BE REQUIRED.

THIS PROJECT LIES IN A F.E.M.A. DESIGNATED ZONE X WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER PARAGRAPH 15.07 OF 1225 EFFECTIVE DATE: APRIL 2, 2009 (SEE APPENDIX A - FEMA FLOOD MAP)



SPC: 15/2/22	BY: DATE
REVISIONS	NO. REVISIONS
DATE	BY
PROJECT ENGINEER: SBT	

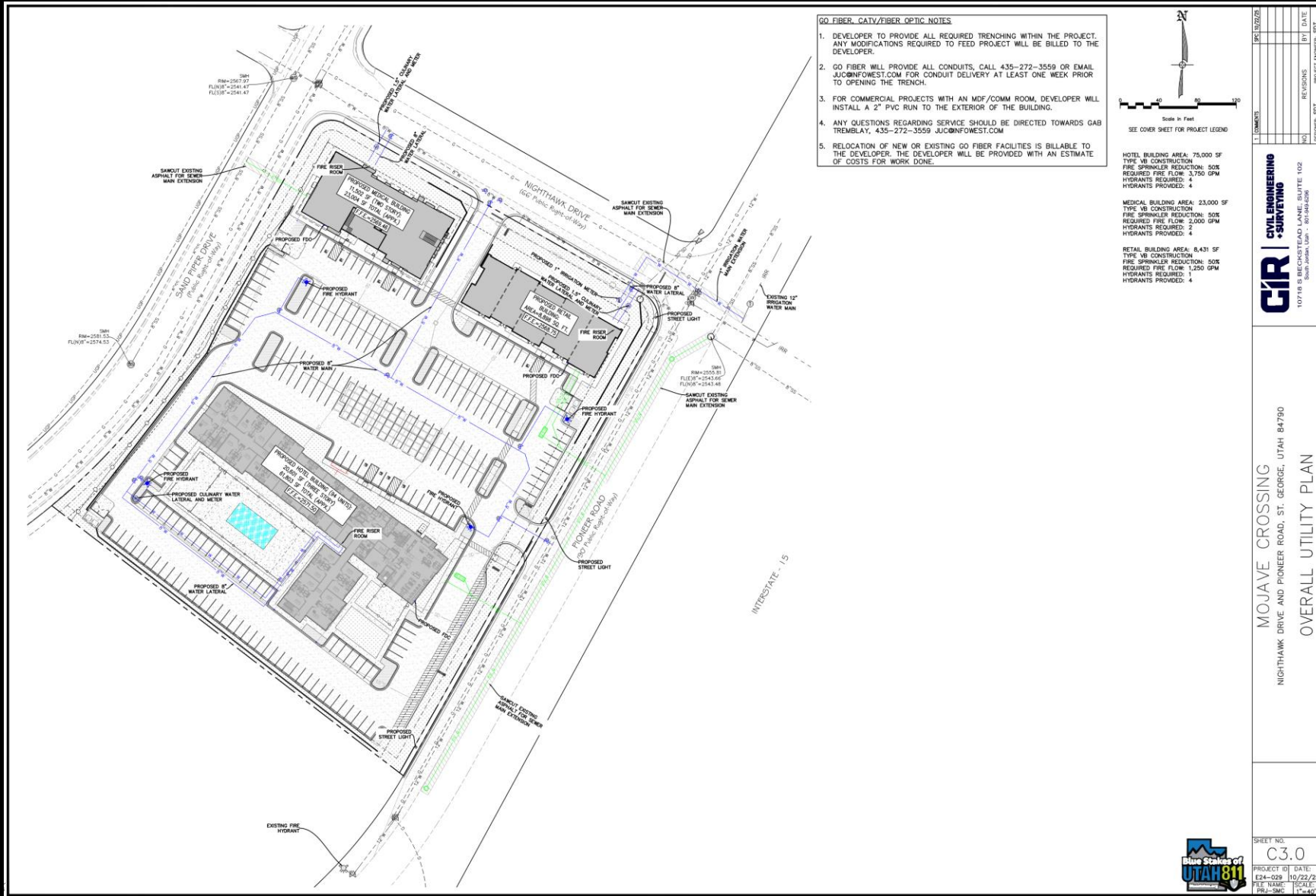
**CIVIL ENGINEERING & SURVEYING**  
 10710 S. BEACONSTEAD LANE, SUITE 1102  
 SOUTH JORDAN, UTAH - 84094-5808

**MOJAVE CROSSING**  
 NIGHTHAWK DRIVE AND PIONEER ROAD, ST. GEORGE, UTAH 84790

**OVERALL GRADING & DRAINAGE PLAN**

SHEET NO. **C2.0**  
 PROJECT ID: E24-029  
 DATE: 10/22/25  
 FILE NAME: PRE-S&C  
 SCALE: 1"=40'

# Preliminary Site Layout



PLANNING COMMISSION AGENDA REPORT: 10/28/2025

<b>Desert Canyons Town Center West</b> Preliminary Plat (Case No. 2025-PP-035)	
<b>Request:</b>	Consider a request for a preliminary plat for a four lot commercial subdivision totaling approximately 9.357 Acres
<b>Applicant:</b>	DSG Engineering Inc.
<b>Representative:</b>	Ken Miller
<b>Location:</b>	The property is generally located north of Flowers Way and west of Desert Canyons Parkway.
<b>General Plan:</b>	PD (Planned Development)
<b>Existing Zoning:</b>	C-2 (Commercial)
<b>Surrounding Zoning:</b>	North C-2 (Commercial)
	South C-2 (Commercial) and PD-C (Planned Development Commercial)
	East C-2 (Commercial)
	West C-2 (Commercial)
<b>Land Area:</b>	Approximately 9.357 Acres



**BACKGROUND:**

The site consists of approximately 9.357 acres. The subject property is currently zoned C-2 (Commercial) and designated PD (Planned Development) on the General Plan. Lot 106 of the subdivision is the largest at approximately 3.55 acres and Lot 104 is the smallest at 1.63 acres.

The Desert Canyons Town Center West preliminary plat was originally approved by the City Council for a five lot commercial subdivision in September 2020. An amendment was then approved in 2022 adding two additional lots. The proposed preliminary plat would adjust lot lines for Lots 104 and 105, include an access road, and create Lots 106 and 107.

**RECOMMENDATION:**

Staff recommends approval.

**ALTERNATIVES:**

1. Approve as presented.
2. Approve with conditions.
3. Deny the application.
4. Continue the proposed preliminary plat to a later date.

**POSSIBLE MOTION:**

“I move that we approve the Desert Canyons Town Center West preliminary plat, case number 2025-PP-035, based on the findings in the staff report.”

**FINDINGS FOR APPROVAL:**

1. The proposed Preliminary Plat meets the requirements found in Section 10-25C-3 of the Subdivision Regulations.
2. The proposed project meets the lot size and frontage requirements found in Section 10-8B.
3. Approval of the preliminary plat is in the best interest of the health, safety, and welfare of the community.

PC 2025-PP-035  
Desert Canyons Town Center West  
Preliminary Plat

## **EXHIBIT A**

### **PowerPoint Presentation**

An aerial photograph of a town, likely in a desert region, with a prominent mountain range in the background. The town is densely packed with buildings, many of which are multi-story and have a mix of colors. There are many green trees interspersed among the buildings. The mountains in the background are rugged and have a reddish-brown hue, suggesting a desert environment. The sky is clear and blue.

# Desert Canyons Town Center West Preliminary Plat

2025-PP-035

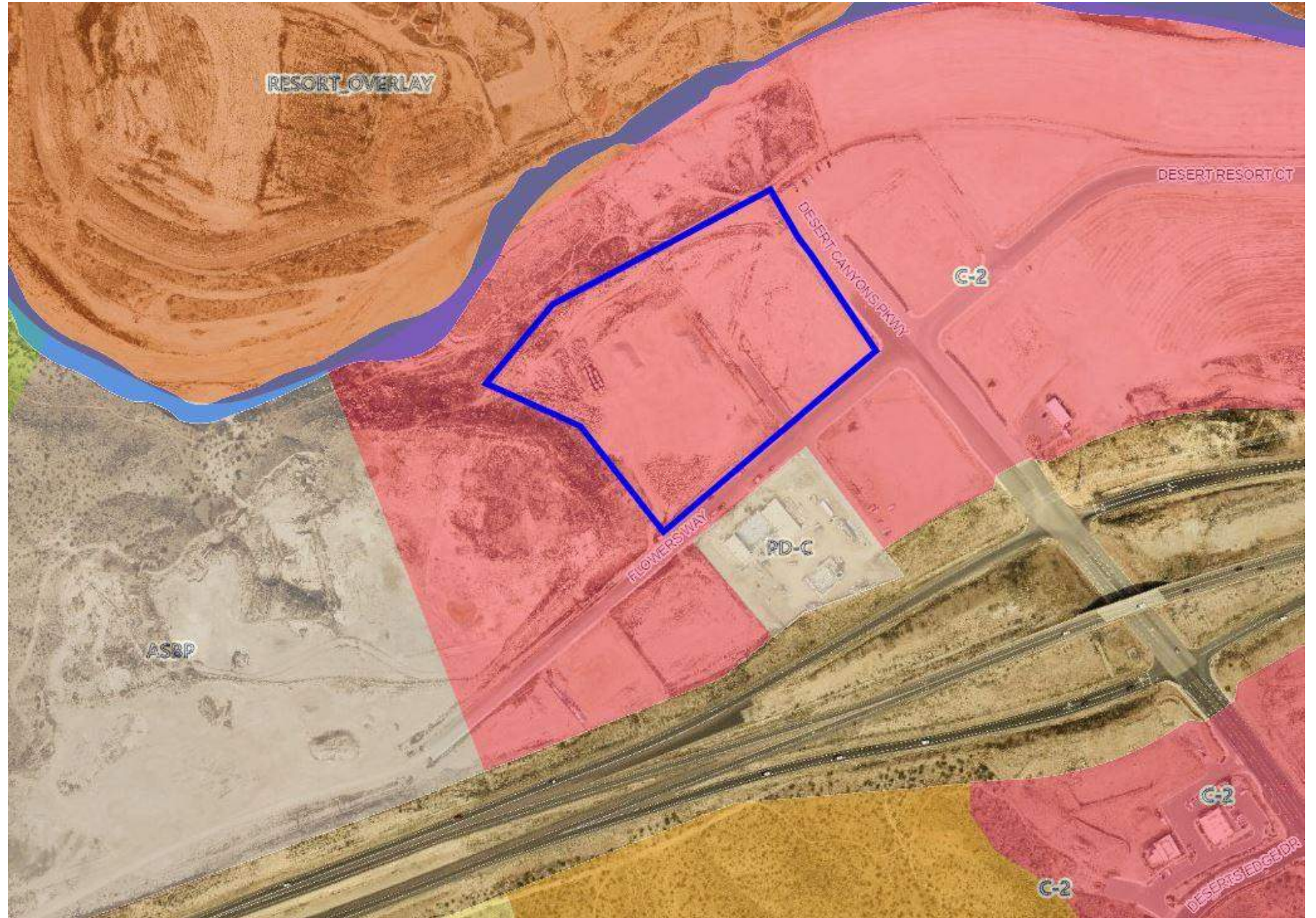
# Aerial Map



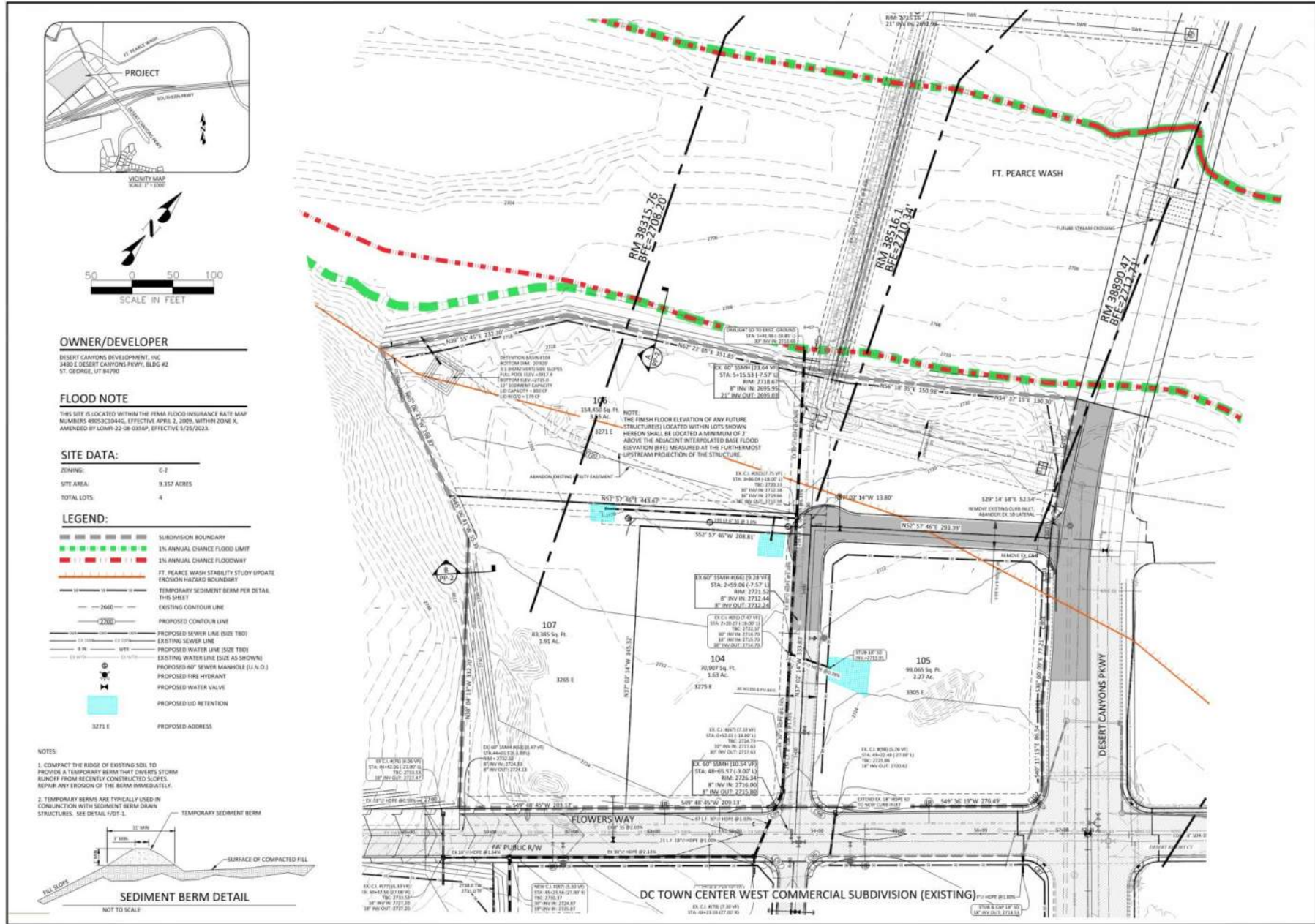
# Land Use Map



# Zoning Map



# Proposed Plat



**DESIGNER:** DEVELOPMENT SOLUTIONS, INC.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS,  
1310 East 100 North, Suite #2  
St. George, UT 84770  
Office (435) 629-2121

**PROJECT:** DESERT CANYONS TOWN CENTER WEST  
PHASE 2  
COMMERCIAL SUBDIVISION

**PRELIMINARY PLAT**

**DATE:** 8/16/23  
**FW:** KMM  
**DRAWN BY:** KMM  
**DESIGNED BY:** KMM  
**CHECKED BY:** KM  
**PROJECT NO.:** 25-011  
**SCALE:** 1"=40'  
**SHEET NUMBER:** PP-1  
**1 OF 2 TOTAL**

PLANNING COMMISSION AGENDA REPORT: 10/28/2025

<b>Ascesa Court at Divario</b> Preliminary Plat (Case No. 2025-PP-036)	
<b>Request:</b>	Consider a request for a preliminary plat for a nine-lot, subdivision totaling approximately 12.24 acres Including common area.
<b>Applicant:</b>	Rosenberg Associates – Allen Hall, representative
<b>Location:</b>	302 South Divario Canyon Drive
<b>General Plan:</b>	PD (Planned Development)
<b>Existing Zoning:</b>	PD-R (Planned Development Residential)
<b>Surrounding Zoning:</b>	North OS (Open Space)
	South PD-R (Planned Development Residential)
	East PD-R (Planned Development Residential)
	West OS (Open Space)
<b>Land Area:</b>	Approximately 12.24 acres





**ASCESA COURT AT DIVARIO**



0 187.5 375 750 1,125 1,500 Feet



**BACKGROUND:**

In the overall community of Divario, neighborhoods are broken up into PA's or Planning Areas, sometimes referred to as pods. There are 18 of these neighborhood pods, which are all assigned different densities based on the development agreement which was approved in 2014. This particular PA in number 17 and has been given the "High Density" designation. This area went through a rezoning process to a PD (Planned Development) in 2021 and has been under construction for the past few years. The property owner/developer has decided that they would like to subdivide the property into pads which requires approval of a preliminary plat.

The subject property is currently zoned PD-R (Planned Development Residential) and will, in the end, have nine buildings on it. The overall site is 12.24 acres not including the pads that are proposed. The applicant is proposing to create a pad/lot for each of the nine buildings to sit on creating a nine lot, one parcel plat. Each building will be a single lot and will not be subdivided further. In other words, the building will not be condominiumized into individual units, but will simply have a private pad for the building surrounded by a parcel containing the common area.

**RECOMMENDATION:**

Staff recommends approval of this preliminary plat with the following condition:

1. A final plat must be reviewed and approved and recorded prior to subdividing the property with the County.

**ALTERNATIVES:**

1. Approve as presented.
2. Approve with conditions.
3. Deny the application.
4. Continue the proposed preliminary plat to a later date.

**POSSIBLE MOTION:**

"I move that we approve the Ascesa at Divario Preliminary Plat request, application number 2025-PP-036, based on the findings and subject to the condition noted in the staff report."

**FINDINGS FOR APPROVAL:**

1. The proposed Preliminary Plat meets the requirements found in Section 10-25C-3 of the Subdivision Regulations.
2. Approval of the preliminary plat is in the best interest of the health, safety, and welfare of the community.

PC 2025-PP-036  
Ascesa Court at Divario  
Preliminary Plat

## **Exhibit A**

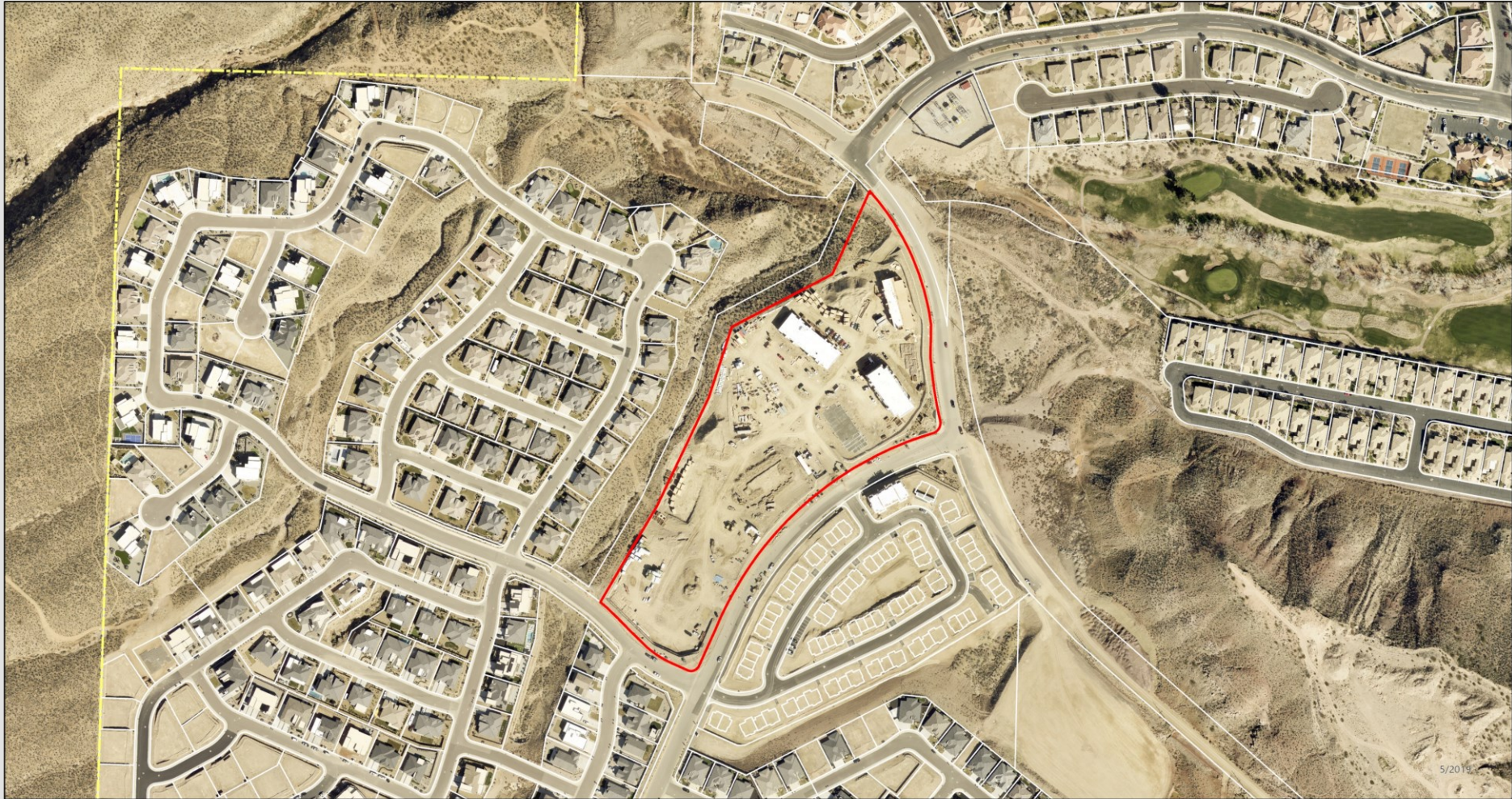
### **PowerPoint Presentation**



2025-PP-036

# Ascesa at Divario Preliminary Plat

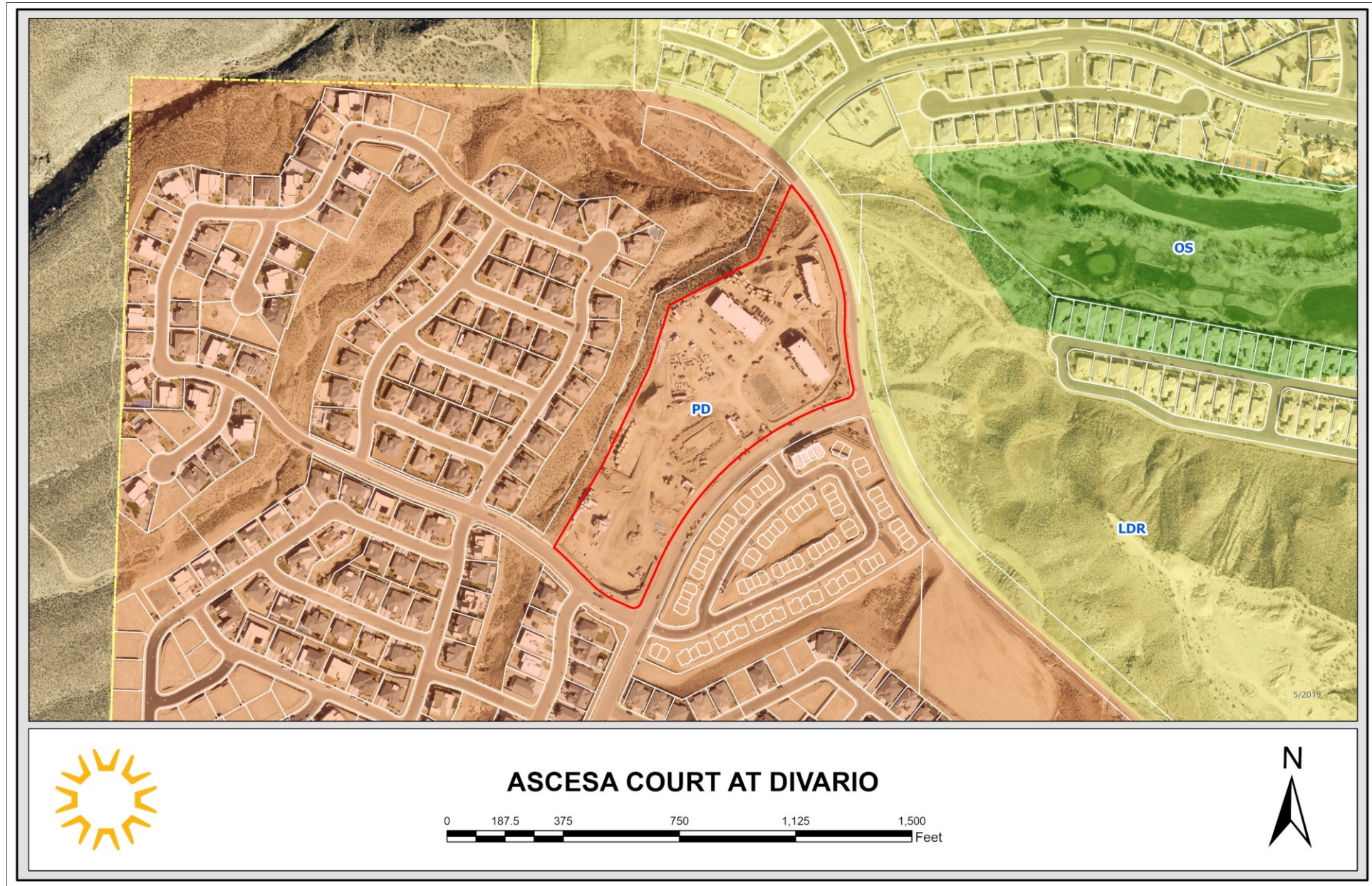
# Aerial Map



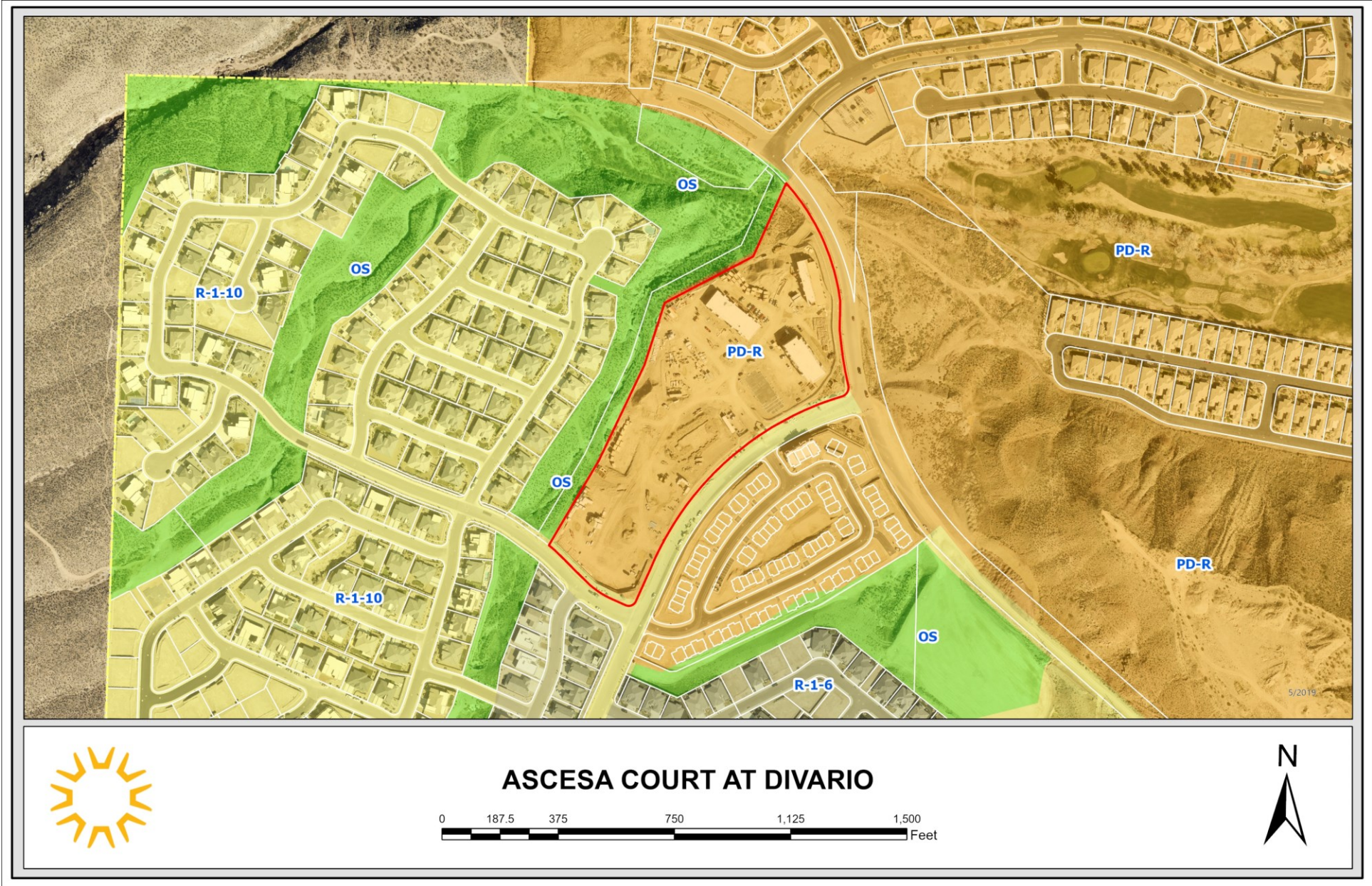
## ASCESA COURT AT DIVARIO



# Land Use Map



# Zoning Map



# Proposed Plat

PROJECT DATA	
<b>CURRENT ZONE, PDR:</b>	<b>PARKING:</b>
<b>GENERAL PLAN: HDR (HIGH DENSITY RESIDENTIAL)</b>	DWELLING UNITS - 104
TOTAL DWELLING UNITS: 104	SPACES PER UNIT - x 2.0
TOTAL PARCEL ACREAGE: 12.24 ACRES (539,334 SQ. FT.)	GUEST SPACES 1 PER 3 UNITS - (36.8/2 = 18.4)
DENSITY: 104 UNITS/12.24 ACRES = 8.5 UNITS/ACRE	TOTAL SPACES REQ'D: - 424
TOTAL HEIGHT OF BUILDING - TYPE I: 30' (4 - TWO STORY BUILDINGS)	TENANT SPACES PROVIDED - 104
TOTAL HEIGHT OF BUILDING - TYPE II: 40' (5 - THREE STORY BUILDINGS)	TENANT COVERED SPACES PROVIDED - 104
BUILDING FOOTPRINT AREA - TYPE I: 10,372 SQ. FT.	GUEST SPACES PROVIDED - 62
BUILDING FOOTPRINT AREA - TYPE II: 8,396 SQ. FT.	TOTAL SPACES PROVIDED - 424
GROSS FOOTPRINT AREA: 87,768 SQ. FT.	TENANT/GUEST ACCESSIBLE PROVIDED - 2
PERCENT OF TOTAL AREA: 17%	COVERED TENANT VAN ACCESSIBLE PROVIDED - 6
AMENITY AREA: 44,442 SQ. FT.	TENANT/GUEST VAN ACCESSIBLE PROVIDED - 4
PERCENT OF TOTAL AREA: 8%	TOTAL ACCESSIBLE SPACES PROVIDED - 12
DRIVEWAY & PARKING AREA: 114,594 SQ. FT.	ELECTRIC VEHICLE CHARGING STATIONS - 10
PERCENT OF TOTAL AREA: 33%	
PERVIOUS AREA - 227,641 SQ. FT.	
PERVIOUS AREA - 302,681 SQ. FT.	
LANDSCAPED OPEN SPACE AREA: 226,565 SQ. FT.	
PERCENT OF TOTAL AREA: 42%	

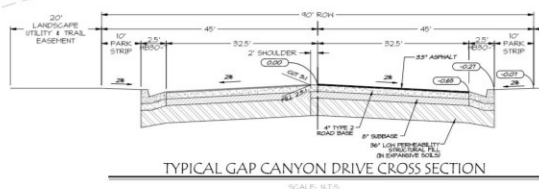
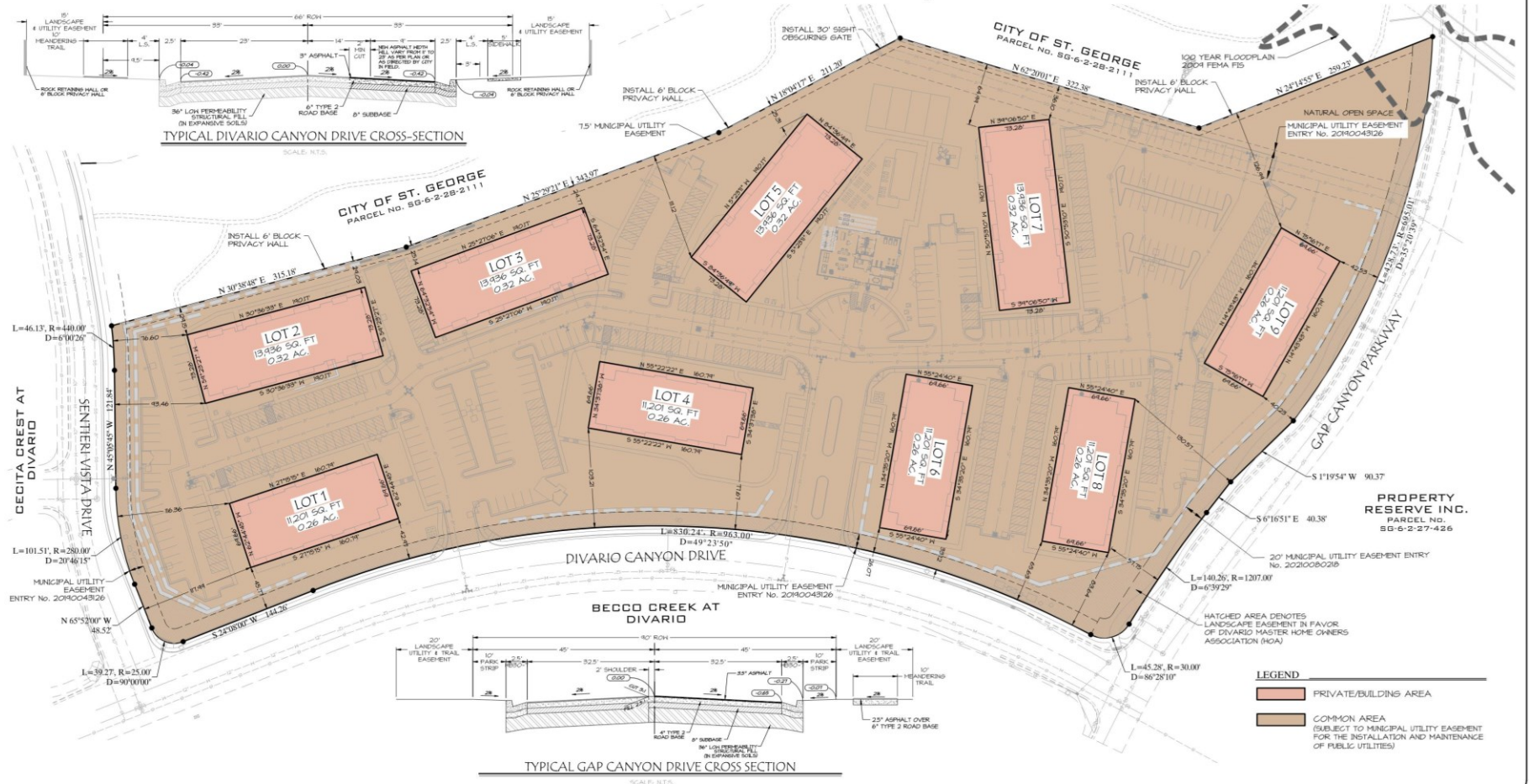
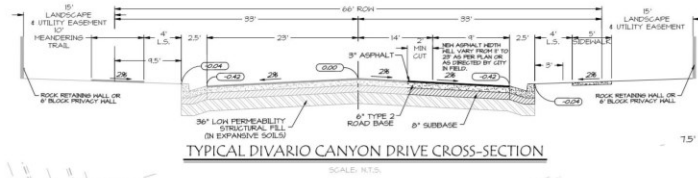
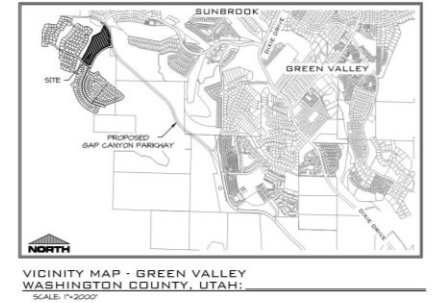
## PRELIMINARY PLAT ASCESA COURT AT DIVARIO, ST. GEORGE, UTAH

LOCATED IN SECTION 28, TOWNSHIP 42 SOUTH, RANGE 16 WEST OF THE  
SALT LAKE BASE AND MERIDIAN  
CITY OF ST. GEORGE, WASHINGTON COUNTY, UTAH.

**PROJECT ENGINEER**  
ROSENBERG ASSOCIATES  
802 EAST RIVERSIDE DRIVE, SUITE A2  
ST. GEORGE, UT 84790  
CONTACT: ALLEN HALL  
(435) 679-2686

**PROJECT OWNER/DEVELOPER**  
DAVIES DESIGN BUILD  
240 NORTH 1020 EAST #201  
LEHI, UT 84048  
CONTACT: KYLE GRAY  
(801) 701-1190

**GEOTECHNICAL ENGINEER**  
AGES, INC.  
1420 SOUTH 270 EAST  
ST. GEORGE, UT 84790  
CONTACT: HAYNE ROGERS  
(435) 679-6850



DATE: 10/25/22  
JOB NO.: 026-28-042  
DESIGNED BY: AHH  
CHECKED BY: JHB  
TYPE: PRE PLAT

ROSENBERG  
A S S O C I A T E S  
CIVIL ENGINEERS • LAND SURVEYORS

PRELIMINARY PLAT  
FOR  
ASCESA COURT AT DIVARIO  
ST. GEORGE  
UTAH

1  
1 OF 4 SHEETS

1 **ST. GEORGE PLANNING COMMISSION MINUTES**  
2 **October 14, 2025, 5:00 P.M.**  
3 **CITY COUNCIL CHAMBERS**  
4

5 **PRESENT:**

6 **Planning Commission Chair Austin Anderson**  
7 **Planning Commission Member Brandon Anderson**  
8 **Planning Commission Member Ben Rogers**  
9 **Planning Commission Member Terri Draper**  
10 **Planning Commission Member Lori Chapman**  
11 **Planning Commission Member Nathan Fisher**  
12 **Planning Commission Member Kelly Casey**

13  
14 **EXCUSED:**

15  
16 **STAFF MEMBERS PRESENT:**

17 **City Deputy Attorney Jami Bracken**  
18 **Community Development Director Carol Winner**  
19 **Assistant Public Works Director Wes Jenkins**  
20 **Planner Dan Boles**  
21 **Planner Brian Dean**  
22 **Development Office Supervisor Angie Jessop**

23  
24 **OTHERS PRESENT:**

25 **Applicant Curt Gordon**  
26 **Applicant Bob Hermandson**  
27 **Applicant Mike Terry**  
28 **Applicant Jared Bates**  
29 **Applicant Logan Blake**

30  
31 **CALL TO ORDER:**

32 Planning Commission Chair Anderson called the meeting to order and welcomed all in  
33 attendance. The Pledge of Allegiance to the Flag was led by Commission Member  
34 Casey.

35  
36 Link to call to order and flag salute: [00:00:19](#)

37  
38 Link to call for disclosures [00:00:52](#)

39  
40 Commissioner Anderson recused himself on Item 8.  
41

42  
43 **ITEM 1**

44 **GENERAL PLAN AMENDMENT Desert Canyons Addition 2 – PUBLIC HEARING –**  
45 **Consider a request to amend the general plan land use designation from AE**  
46 **(Agricultural Estates) to MDR (Medium Density Residential) on approximately**  
47 **10.977 acres located south of Southern Parkway and east of the Desert Canyons**  
48 **Master Planned Community. The applicant is Desert Canyons Development, Inc.**  
49 **and the representative is Curt Gordon. The project will be known as Desert**  
50 **Canyons Addition 2. Case No. 2025-GPA-013 (Staff – Brian Dean)**

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Link to Presentation by Brian Dean [00:01:35](#)

Link to question by Commissioner Chapman [00:02:55](#)

Link to public hearing [00:03:20](#)

Link to comment by Aaron Prisbey [00:03:25](#)

Public Hearing Closed

Link to comment by Applicant Curt Gordon [00:12:00](#)

Link to motion [00:13:11](#)

**MOTION:**

A motion was made by Planning Commission Member Rogers to forward a positive recommendation on Item 2, Desert Canyons Addition 2.

**SECOND:**

The motion was seconded by Planning Commission Member Chapman.

**VOTE:**

Commission Chair Anderson called for a vote, as follows:

- Planning Commission Chair Anderson – aye
- Planning Commission Member Anderson –aye
- Planning Commission Member Fisher – aye
- Planning Commission Member Casey – aye
- Planning Commission Member Chapman – aye
- Planning Commission Member Rogers –aye
- Planning Commission Member Draper –aye

The vote was unanimous. Motion carries.

**ITEM 2**

**GENERAL PLAN AMENDMENT Shaun Sullivan GPA – PUBLIC HEARING – Consider a request to change the general plan land use designation from AE (Agricultural Estates – up to four dwellings per acre) to MHDR (Medium High Density Residential - 10-15 Dwellings per acre) on approximately 0.97 acres located on the north-west corner of 1800 North and 2100 West. This application would change the general plan and not zoning. The applicant is Bush & Gudgell, Inc and the representative is Bob Hermandson. The project will be known as Shaun Sullivan GPA. Case No. 2025-GPA-015 (Staff – Dan Boles)**

Agenda Packet [\[Page 13\]](#)

Link to Presentation by Dan Boles [00:13:55](#)

Link to discussion by Commissioners and Mr. Boles [00:17:45](#)

Link to public hearing [00:18:45](#)

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Link to comment by Bonnie Haughey [00:19:04](#)

Link to comment by Gene Boyle [00:23:53](#)

Link to comment by Rory Fellows [00:27:02](#)

Link to comment by Jacob Hurst [00:29:22](#)

Link to comment by Lisa Christensen [00:31:35](#)

Link to comment by Mel Rollema [00:32:31](#)

Link to comment by Elton Bryant [00:34:30](#)

Link to comment by Betsy Spiegel [00:35:25](#)

Public Hearing Closed

Link to comment by Applicant Bob Hermandson [00:38:18](#)

Link to discussion by Commission Members and Mr. Hermandson [00:44:35](#)

Link to discussion by Commission Members [00:46:24](#)

Link to motion [00:54:11](#)

**MOTION:**

A motion was made by Planning Commission Member Chapman to forward a negative recommendation to City Council to oppose this particular medium high density change to the Master Plan.

**SECOND:**

The motion was seconded by Planning Commission Member Rogers.

Link to discussion on motion by Planning Commission [00:54:50](#)

Link to questions by Applicant Bob Hermandson [00:59:38](#)

**VOTE:**

Commission Chair Anderson called for a vote, as follows:

- Planning Commission Chair Anderson – nay
- Planning Commission Member Anderson –nay
- Planning Commission Member Fisher – nay
- Planning Commission Member Casey – aye
- Planning Commission Member Chapman – aye
- Planning Commission Member Rogers –aye
- Planning Commission Member Draper –aye

The vote was 4-3 in favor of a negative recommendation. Motion carries.

**ITEM 3**

1 **GENERAL PLAN AMENDMENT Planetboys Commercial – PUBLIC HEARING –**  
2 **Consider a request to amend the general plan land use designation from LDR (Low**  
3 **Density Residential – up to four dwellings per acre) to COM (Commercial) on**  
4 **approximately 5.0 acres located west of the Tuscan Hills and Tuscan Heights**  
5 **development. This application would change the general plan and not zoning. The**  
6 **applicant is Bush & Gudgell, Inc and the representative is Bob Hermandson. The**  
7 **project will be known as Planetboys Commercial. Case No. 2025-GPA-014 (Staff –**  
8 **Dan Boles)**

9  
10 Agenda Packet [\[Page 28\]](#)

11  
12 Link to Presentation by Dan Boles [01:02:00](#)

13  
14 Link to public hearing [01:05:10](#)

15  
16 No Comment, Public Hearing Closed

17  
18 Link to comment by Applicant Bob Hermandson [01:05:24](#)

19  
20 Link to discussion by Commission Members [01:08:20](#)

21  
22 Link to motion [01:08:45](#)

23  
24 **MOTION:**

25 A motion was made by Planning Commission Member Draper to forward a  
26 positive recommendation on this item to the City Council.

27  
28 **SECOND:**

29 The motion was seconded by Planning Commission Member Fisher.

30  
31 **VOTE:**

32 Commission Chair Anderson called for a vote, as follows:

- 33  
34 Planning Commission Chair Anderson – aye  
35 Planning Commission Member Anderson –aye  
36 Planning Commission Member Fisher – aye  
37 Planning Commission Member Casey – aye  
38 Planning Commission Member Chapman – aye  
39 Planning Commission Member Rogers –aye  
40 Planning Commission Member Draper –aye

41  
42 The vote was unanimous. Motion carries.

43  
44 **ITEM 4**

45 **ZONE CHANGE- 1037 W 1050 N – PUBLIC HEARING** Consider a request for a zone  
46 **change from RE-37.5 (Residential Estates, 37,500 ft<sup>2</sup> minimum lot size) and R-3**  
47 **(Multi-Family) to C-3 (General Commercial) on approximately 1.0 acre.**  
48 **Approximately two-thirds of the property is already zoned C-3 but additionally has**  
49 **the other designations noted above. This rezone would create consistent**  
50 **commercial zoning on the property. The property is generally located southeast of**  
51 **1050 North and 1020 West. The applicant is Baseco of Nevada Southern Utah and**  
52 **the representative is David Gomez. The project will be known as 1037 W 1050 N.**  
53 **Case No. 2025-ZC-016 (Staff – Dan Boles)**

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Agenda Packet [\[Page 39\]](#)

Link to Presentation by Dan Boles [01:09:30](#)

Link to discussion by Commission Members [01:10:50](#)

Link to public hearing [01:13:22](#)

Link to comment by David Adams [01:13:36](#)

Link to comment by Dennis Drake [01:20:48](#)

Public Hearing Closed

Link to discussion by Commission Members and Mr. Boles [01:20:48](#)

Link to discussion by Applicant Tom Drake [01:21:57](#)

Link to comment by Mr. Boles and discussion with Commission Members [01:23:25](#)

Link to motion [01:26:42](#)

**MOTION:**

A motion was made by Planning Commission Member Anderson to forward a positive recommendation to City Council on this item with Staff’s findings.

**SECOND:**

The motion was seconded by Planning Commission Member Draper.

**VOTE:**

Commission Chair Anderson called for a vote, as follows:

- Planning Commission Chair Anderson – aye
- Planning Commission Member Anderson –aye
- Planning Commission Member Fisher – aye
- Planning Commission Member Casey – aye
- Planning Commission Member Chapman – aye
- Planning Commission Member Rogers –aye
- Planning Commission Member Draper –aye

The vote was unanimous. Motion carries.

**ITEM 5**

**ZONE CHANGE- Desert Corner Zone Change – PUBLIC HEARING Consider a request to change the zoning map on a parcel that was designated as part of the UDOT right of way and has not been zoned. The applicant is proposing to designate the property C-2 (Highway Commercial). The property is approximately 0.98 acres and is generally located at the northeast corner of Desert Canyons Parkway and the off ramp for the Southern Parkway. The applicant is Desert Canyons Development, Inc. and the representative is Curt Gordon. The project will be known as Desert Corner Zone Change. Case No. 2025-ZC-017 (Staff – Brenda Hatch)**

1 Agenda Packet [\[Page 48\]](#)

2  
3 Link to Presentation by Dan Boles [01:28:14](#)

4  
5 Link to discussion between Commission Members and Applicant Curt Gordon [01:29:39](#)

6  
7 Link to public hearing [01:30:21](#)

8  
9 Public Hearing Closed

10  
11 Link to motion [01:30:57](#)

12  
13 **MOTION:**

14 A motion was made by Planning Commission Member Fisher to recommend  
15 approval to City Council on this item with Staff’s findings.

16  
17 **SECOND:**

18 The motion was seconded by Planning Commission Member Rogers.

19  
20 **VOTE:**

21 Commission Chair Anderson called for a vote, as follows:

- 22 Planning Commission Chair Anderson – aye
- 23 Planning Commission Member Anderson –aye
- 24 Planning Commission Member Fisher – aye
- 25 Planning Commission Member Casey – aye
- 26 Planning Commission Member Chapman – aye
- 27 Planning Commission Member Rogers –aye
- 28 Planning Commission Member Draper –aye

29  
30 The vote was unanimous. Motion carries.

31  
32  
33 **ITEM 6**

34 **PLANNED DEVELOPMENT AMENDMENT White Cliffs – PUBLIC HEARING – Consider**  
35 **a request to amend the White Cliffs Townhomes PD-R (Planned Development**  
36 **Residential) zone. The applicant is seeking approval to provide duplex and four**  
37 **plex structures with two-car garages as well as reducing the number of units from**  
38 **58 to 46 units. The site is generally located north of White Dome Dr. and west of**  
39 **White Trails Dr. The applicant is DSG Engineering the representative is Mike Terry.**  
40 **The project will be known as White Cliffs. Case No. 2025-PDA-028 (Staff – Brian**  
41 **Dean)**

42  
43 Agenda Packet [\[Page 57\]](#)

44  
45 Link to Presentation by Brian Dean [01:31:35](#)

46  
47 Link to question by Commissioner Chapman [01:34:05](#)

48  
49 Link to public hearing [01:34:30](#)

50  
51 Public Hearing Closed

52  
53 Link to question by Commission Member Fisher [01:34:35](#)

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Link to comment Applicant Mike Terry [01:35:34](#)

Link to discussion by Commission Members [01:37:00](#)

Link to motion [01:38:15](#)

**MOTION:**

A motion was made by Planning Commission Member Chapman to forward a positive recommendation with the stipulation that applicants add some color to the backside to break up the monotone, including staff recommendations.

**SECOND:**

The motion was seconded by Planning Commission Member Casey.

**VOTE:**

Commission Chair Anderson called for a vote, as follows:

- Planning Commission Chair Anderson – aye
- Planning Commission Member Anderson –aye
- Planning Commission Member Fisher – aye
- Planning Commission Member Casey – aye
- Planning Commission Member Chapman – aye
- Planning Commission Member Rogers –aye
- Planning Commission Member Draper –aye

The vote was unanimous. Motion carries.

**ITEM 7**

**PLANNED DEVELOPMENT AMENDMENT White Dome Townhomes– PUBLIC HEARING – Consider a request to amend the White Dome Townhomes PD-R (Planned Development Residential) zone. The applicant is seeking approval to revise townhome heights, materials, colors, and finishes. No changes to the site are proposed. The site is generally located South of White Dome Dr. and west of White Trails Dr. The applicant is DSG Engineering the representative is Mike Terry. The project will be known as White Dome Townhomes. Case No. 2025-PDA-029 (Staff – Brenda Hatch)**

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Link to Presentation by Brian Dean [01:39:24](#)

Link to public hearing [01:41:34](#)

Public Hearing Closed

Link to discussion by Commission Members [01:41:45](#)

Link to motion [01:42:36](#)

**MOTION:**

A motion was made by Planning Commission Member Fisher to recommend approval to City Council for item #7, with Staff’s findings and

1 recommendations, with one condition; that applicant work with Staff break  
2 up the back of all the units with some kind of variation or color to improve  
3 that back stretch.  
4

5 **SECOND:**

6 The motion was seconded by Planning Commission Member Draper.  
7

8 **VOTE:**

9 Commission Chair Anderson called for a vote, as follows:  
10

- 11 Planning Commission Chair Anderson – aye
- 12 Planning Commission Member Anderson –aye
- 13 Planning Commission Member Fisher – aye
- 14 Planning Commission Member Casey – aye
- 15 Planning Commission Member Chapman – aye
- 16 Planning Commission Member Rogers –aye
- 17 Planning Commission Member Draper –aye

18 The vote was unanimous. Motion carries.  
19  
20  
21

22 **ITEM 8**

23 **PRELIMINARY PLAT Bloomington Country Club Golf Course Subdivision – Consider**  
24 **a request for a preliminary plat for a one-lot and three parcel subdivision on**  
25 **approximately .58 acres. The applicant is Rosenberg Associates, and the**  
26 **representative is Jared Bates. The project will be known as Bloomington Country**  
27 **Club Golf Course Subdivision. Case No. 2025-PP-020 (Staff – Brian Dean)**  
28

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30 Link to Presentation by Brian Dean [01:43:32](#)

31 Link to discussion with Commission Members and Mr. Dean [01:46:05](#)

32 Link to comment by applicant representative Brandon Anderson and discussion  
33 between Commission Members [01:51:00](#)

34 Link to motion [01:57:07](#)  
35  
36  
37

38 **MOTION:**

39 A motion was made by Planning Commission Member Fisher to approve item  
40 #8 for this application with Staff’s findings and recommendations.  
41  
42  
43

44 **SECOND:**

45 The motion was seconded by Planning Commission Member Rogers.  
46

47 **VOTE:**

48 Commission Chair Anderson called for a vote, as follows:  
49

- 50 Planning Commission Chair Anderson – aye
- 51 Planning Commission Member Anderson –recused
- 52 Planning Commission Member Fisher – aye
- 53 Planning Commission Member Casey – aye

1 Planning Commission Member Chapman – aye  
2 Planning Commission Member Rogers –aye  
3 Planning Commission Member Draper –aye

4  
5 The vote was unanimous. Motion carries.  
6

7 **ITEM 9**

8 **PRELIMINARY PLAT Desert Canyons Business Park Phase 2 Amendment – Consider**  
9 **a request for a preliminary plat amendment for the Desert Canyons Business Park**  
10 **Phase 2 by subdividing lots 204 and 205 to create two additional commercial lots,**  
11 **resulting in a total of 15 lots in Phase 2. The applicant is DSG Engineering and the**  
12 **representative is Ken Miller. The project will be known as Desert Canyons Business**  
13 **Park Phase 2 Amendment. Case No. 2025-PP-032 (Staff – Brian Dean)**

14  
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16  
17 Link to Presentation by Brian Dean [01:58:00](#)

18  
19 Link to motion [01:58:48](#)  
20

21 **MOTION:**

22 A motion was made by Planning Commission Member Rogers to approve  
23 item #9, Desert Canyons Business Park with staff findings.  
24

25 **SECOND:**

26 The motion was seconded by Planning Commission Member Draper.  
27

28 **VOTE:**

29 Commission Chair Anderson called for a vote, as follows:  
30

31 Planning Commission Chair Anderson – aye  
32 Planning Commission Member Anderson –aye  
33 Planning Commission Member Fisher – aye  
34 Planning Commission Member Casey – aye  
35 Planning Commission Member Chapman – aye  
36 Planning Commission Member Rogers –aye  
37 Planning Commission Member Draper –aye  
38

39 The vote was unanimous. Motion carries.  
40

41 **ITEM 10**

42 **PRELIMINARY PLAT Zen Trails – Consider a request for a 90-lot residential and 25-**  
43 **lot commercial preliminary plat on approximately 13.37 acres. The applicant is**  
44 **DSG Engineering and the representative is Logan Blake. The project will be known**  
45 **as Zen Trails. Case No. 2025-PP-033 (Staff – Dan Boles)**

46  
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48  
49 Link to Presentation by Dan Boles [01:59:20](#)

50  
51 Link to motion [02:02:02](#)  
52

53 **MOTION:**

1 A motion was made by Planning Commission Member Anderson to approve  
2 the Zen Trails Preliminary Plat and recommended by Staff with the findings  
3 listed in the staff report and the conditions that is passes the zone change  
4 with the City Council.  
5

6 **SECOND:**

7 The motion was seconded by Planning Commission Member Fisher.  
8

9 **VOTE:**

10 Commission Chair Anderson called for a vote, as follows:  
11

- 12 Planning Commission Chair Anderson – aye
- 13 Planning Commission Member Anderson –aye
- 14 Planning Commission Member Fisher – aye
- 15 Planning Commission Member Casey – aye
- 16 Planning Commission Member Chapman – aye
- 17 Planning Commission Member Rogers –aye
- 18 Planning Commission Member Draper –aye

19  
20 The vote was unanimous. Motion carries.  
21  
22

23 **APPROVAL OF MINUTES:**

24 Consider a request to approve the meeting minutes from the September 23, 2025  
25 meeting.  
26

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28  
29 Link to motion [02:02:35](#)  
30

31 **MOTION:**

32 A motion was made by Planning Commission Member Draper to approve minutes of  
33 September 23, 2025 meeting.  
34  
35

36 **SECOND:**

37 The motion was seconded by Planning Commission Member Rogers.  
38

39 **VOTE:**

40 Commission Chair Anderson called for a vote, as follows:  
41

- 42 Planning Commission Chair Anderson – aye
- 43 Planning Commission Member Anderson -aye
- 44 Planning Commission Member Fisher – aye
- 45 Planning Commission Member Casey – aye
- 46 Planning Commission Vice Chair Chapman –aye
- 47 Planning Commission Member Rogers – aye
- 48 Planning Commission Member Draper- aye

49  
50 The vote was unanimous and the motion carried.  
51  
52  
53

