



CITY OF OREM
PLANNING COMMISSION MEETING
56 North State Street, Orem, Utah
October 15, 2025

*This meeting may be held electronically
to allow a Commission member to participate.*

4:30 PM WORK SESSION – AGENDA REVIEW, CITY COUNCIL WORK ROOM, 56 NORTH
STATE STREET, OREM, UT

1 General Plan Discussion — Economic Development

5:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER
2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
3. CONSENT AGENDA
 - 3.1 **Centennial Acres Plat C - Plat Amendment - Located generally at 1670 North 680 West**
 - 3.2 **Approval of Minutes for 10/01/2025 Planning Commission Meeting**
4. ACTION ITEMS AND PUBLIC HEARINGS
 - 4.1 **Rocket Gem D - Final Plat Condominium Conversion - Located generally at 241 West 310 North**
 - 4.2 **Avanesyan Motors - Site Plan - Located generally at 62 E 1700 South**
5. ADJOURN

**THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.
If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,
please call the Development Services Office at least 3 working days prior to the meeting.
(Voice 801-229-7183)**

This agenda is also available on the City's webpage at orem.org

 Administrative	PLANNING COMMISSION October 15 th 2025	Item 3.1
	Centennial Acres Plat C 1670 N 680 West Plat Amendment to adjust a lot .	Prepared By: Grace Bjarnson Applicant: Robert and Janae Church

Notices:

Posted in 2 public places.
Posted on City Webpage and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Low Density Residential

Zoning: **R8, Single Family Housing**

Total Acreage: **.47**

Action:

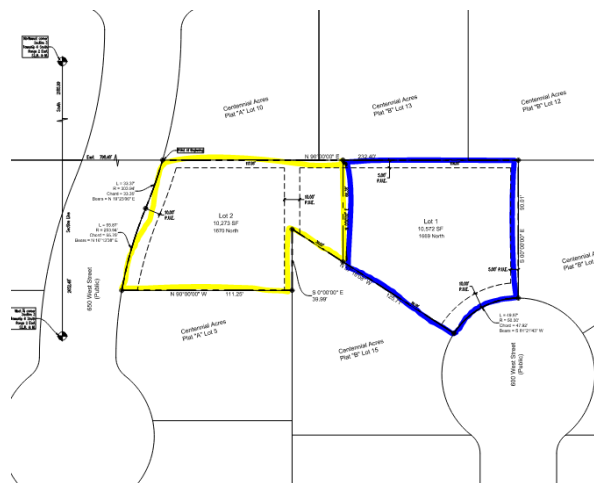
The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant requests to adjust the property line between Lot 1 and lot 2 of the Centennial Acres Subdivision Plat C.

BACKGROUND: On July 28th Dudley & Associates, on behalf of Robert and Janae Church, submitted an application to adjust their back property line for an expansion of their garden and shed. Currently, both properties meet the minimum lot size requirement of 8,000 ft². The Church's have already purchased a portion of their neighbors property and are now combining the two pieces of property into one lot.

REVIEW:

Zoning: The subject properties and the surrounding area are located in the R8, Single Family Residential Zone. Both lots meet the 8,000 ft² minimum and the required lot width of 80 ft. Required minimum setbacks for structures are not impacted by the proposed amendment.



- Lot 1 (in blue) will retain 10,572 ft² and the original lot width will not change.
- Lot 2 (in yellow) will be enlarged to 10,273 ft² and the original lot width will not change.

Easements: A 10 ft wide public utility easement (PUE) will continue to stay in the same location – the prior property line. No easement vacations are needed for this Plat Amendment.

Other: No additional aspects, such as landscaping, usage, access or ROW, will be impacted as a result of this amendment.

DEVELOPMENT REVIEW COMMITTEE: The Plat Amendment has passed the technical reviewing body. The Development Review Committee (DRC) reviewed the application at their public meeting on Monday, October 13th, 2025, and voted to recommend approval of the project.

ACTIONS: The Planning Commission is the designated Land Use Authority for plat amendments. The Commission may approve or deny the request for a plat amendment or may choose to continue their consideration of the request and ask for additional information or analysis.

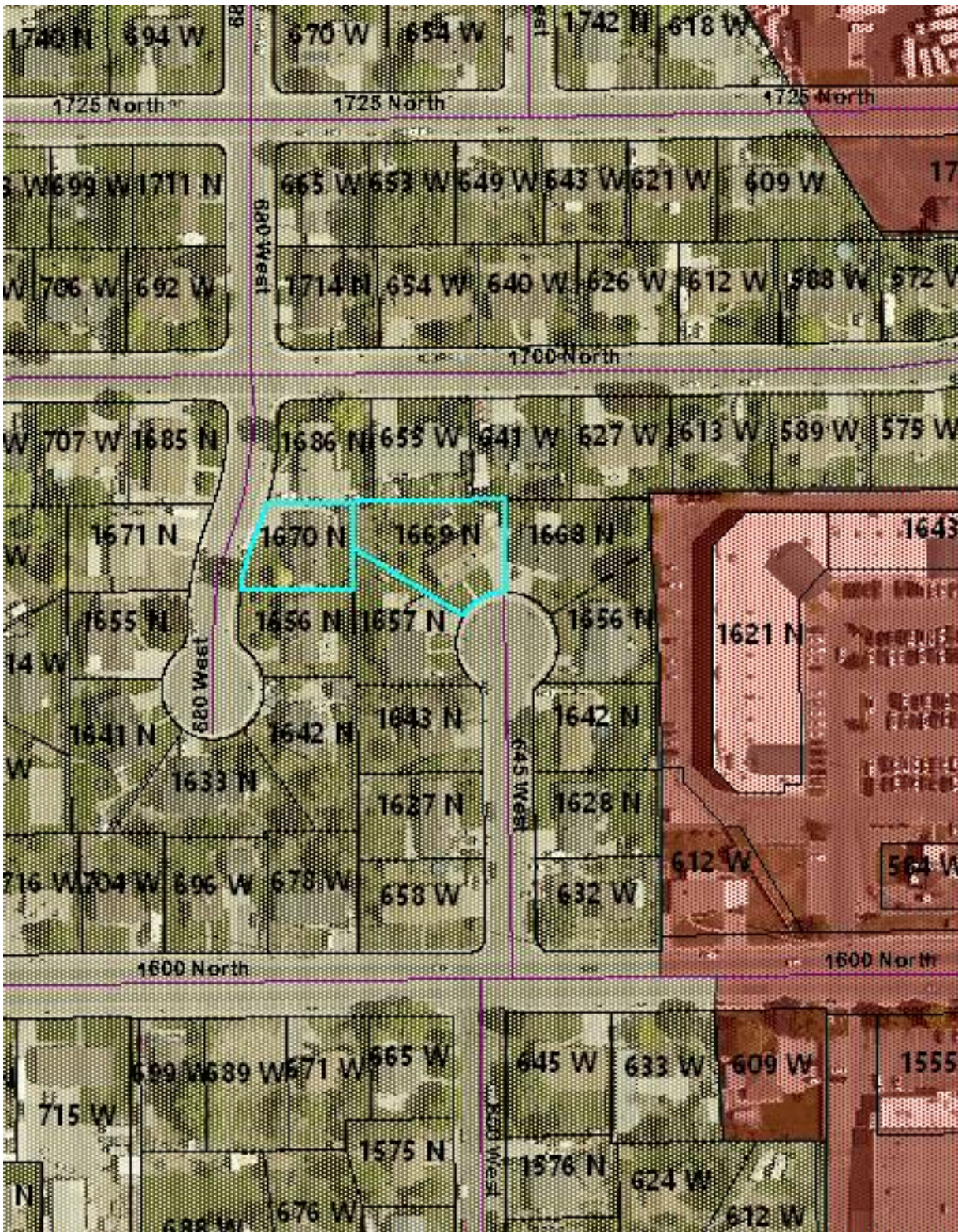
Centennial Acres Plat C – 1670 N 680 West



Vicinity Map
Zone: R8
Total Acres: .47



Centennial Acres Plat C – 1670 N 680 West



Zoning Map
Zone: R8
Total Acres: .47

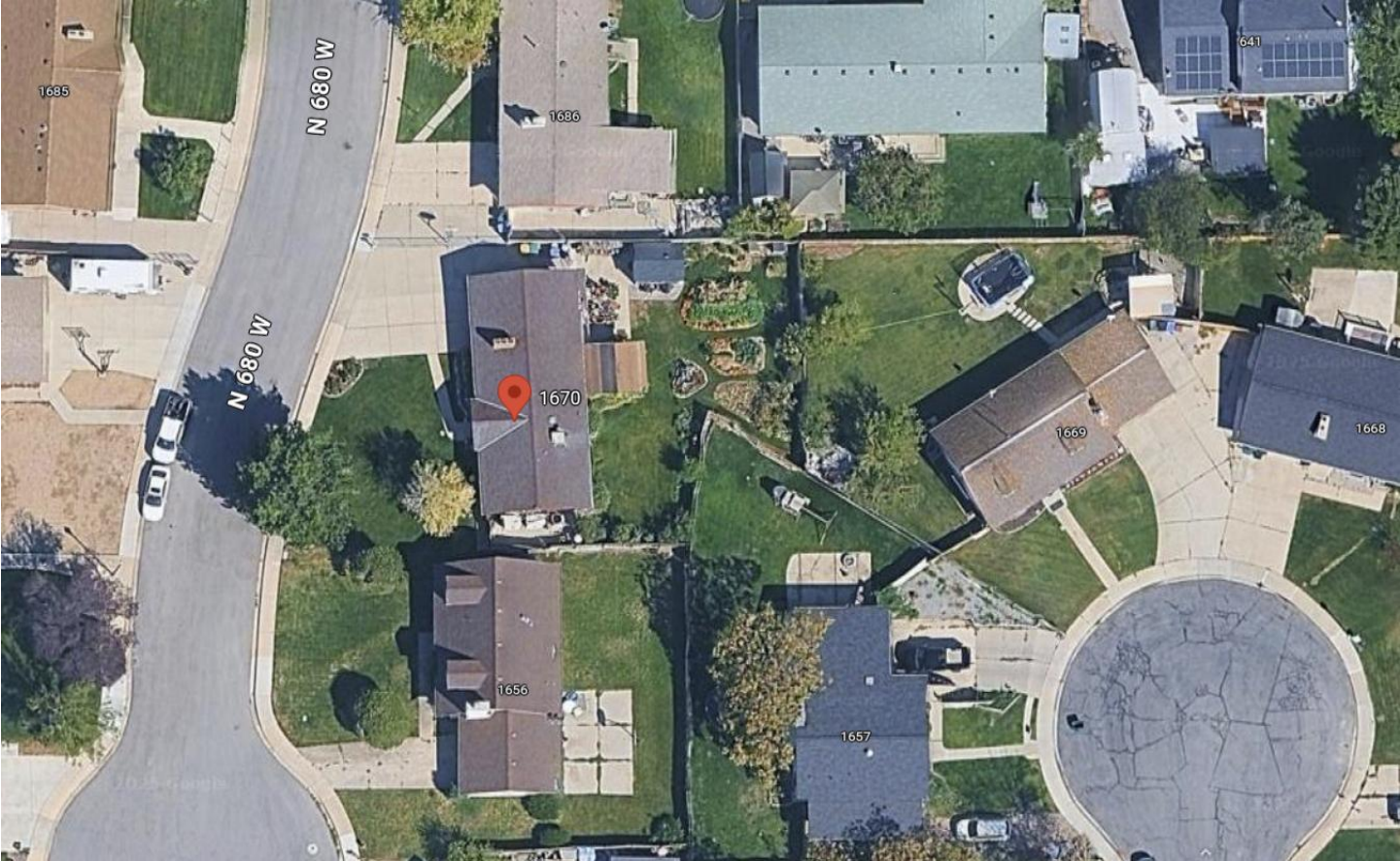


Centennial Acres Plat C – 1670 N 680 West

Current Street View



Centennial Acres Plat C – 1670 N 680 West



Closeup
Zone: R8
Total Acres: .47



DRAFT Planning Commission minutes for October 1, 2025

CITY OF OREM PLANNING COMMISSION MEETING MINUTES October 1, 2025

The following items are discussed in these minutes:

- **CONSENT AGENDA ITEMS:**

- **3.1 Approval of Minutes for August 20, 2025** – Approved
- **3.2 Plat Amendment – Bellevue Ridge – Located Generally at 258 North Palisade Drive** – Approved
- **3.3 Plat Amendment – D Anna B Subdivision Plat D – Located Generally at 572 South 880 West** – Approved

- **ACTION ITEMS:**

- **4.1 Preliminary Plat – Okolowitz Plat C – Located Generally at 1274 North 260 West** – Continued

A recording of the meeting can be viewed online at https://www.youtube.com/watch?v=vUntfrXh_dE

PLANNING COMMISSION WORK SESSION

Place: Orem City Council Conference Room, 56 North State Street

At 5:33 p.m. Chair Komen called the Planning Commission meeting to order at approximately 4:35 PM

Those present: Mike Carpenter, Gerald Crismon, James (Jim) Hawkes, Rod Erickson, Madeline Komen, Haysam Sakar, Planning Commission members; Gary McGinn, Community Development Director; Jared Hall, Planning Division Manager; Dave Spencer, City Council Liaison; Grant Allen, Senior Planner; Grace Bjarnson and Rebecca Gourley, Associate Planners.

Those excused: Britton Runolfson, Planning Commission member; Matt Taylor, Senior Planner

1.1 General Plan Work Session: Economic Development

Community Development Director/Legal Counsel Gary McGinn presented the contents of the 2022 Economic Development Strategic Plan to the commission members for discussion. A recording of the presentation and discussion can be viewed at the following link: https://www.youtube.com/watch?v=vUntfrXh_dE

PLANNING COMMISSION MEETING

Place: Orem City Council Chambers, 56 North State Street

At 5:33 p.m. Chair Komen called the Planning Commission meeting to order. An invocation was offered by Mike Carpenter.

Those present: Mike Carpenter, Gerald Crismon, James (Jim) Hawkes, Rod Erickson, Madeline Komen, Haysam Sakar, Planning Commission members; Gary McGinn, Community Development Director; Jared Hall, Planning Division Manager; Dave Spencer, City Council Liaison; Grant Allen, Senior Planner; Grace Bjarnson and Rebecca Gourley, Associate Planners.

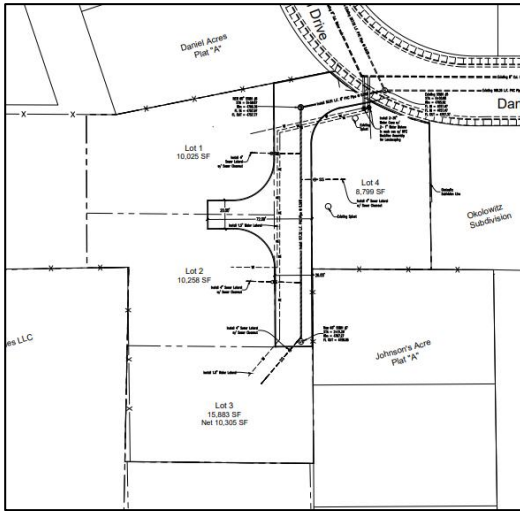
Those excused: Britton Runolfson, Planning Commission member; Matt Taylor, Senior Planner.

DRAFT Planning Commission minutes for October 1, 2025

Agenda Item 3, Consent Agenda: Chair Komen introduced the Consent Agenda. Rod Erikson motioned the pass the agenda. Jim Hawkes seconded the motion. The motion passed unanimously. Items approved:

- 3.1 Minutes for the August 20, 2025 Planning Commission Meeting
- 3.2 Plat Amendment – Bellevue Ridge – Located Generally at 258 North Palisade Drive
- 3.3 Plat Amendment – D Anna B Subdivision Plat D – Located Generally at 572 South 880 West

Agenda Item 4.1 Preliminary Plat – Okolowitz Plat C – Located Generally at 1274 North 260 West – Continued



Jared Hall introduced the Preliminary Plat for the Okolowitz Plat C Subdivision, located generally at 1274 North 260 West. The Okolowitz subdivision is a four-lot subdivision which includes one standard frontage lot and three deep lots, serviced by a private drive. The land proposed for the subdivision currently holds two properties with existing structures. These structures are to be demolished as a condition of the subdivision.

Mr. Hall opened the item for questions. Aaron McKnight suggested the item be tabled or continued due to two conflicts with the code.

Commissioner Rod Erikson and the Applicant's engineer, Roger Dudley, requested to hear the details of the code conflict. Several Commissioners requested to table the item. No formal motion to table the item was made. Chair Komen granted the request to hear the details of the code conflict. Aaron McKnight presented the following issues:

1. City code requires that the width of a private drive flag stem shall not be wider than 26 feet. The current width is approximately 35 feet.

2. City code requires a deep lot to be at least 80 feet away from the intersection of the private drive flag stem and the frontage road. Lot 1 is closer than the required distance.

Commission deliberated upon the terms of the motion and the date for continuance. Gary McGinn advised that an item can be continued to a specific event.

Planning Commission Action: Jim Hawkes motioned to continue the item until staff is ready to re-present the item. Rod Erikson seconded the motion. The motion passed unanimously.

The discussion regarding this item and its vote can be viewed at https://www.youtube.com/watch?v=vUntfrXh_dE

Final Meeting Comments: No further comments were provided.

Adjournment: Chair Komen asked for a motion to adjourn. Mike Carpenter motioned to adjourn, Haysam Sakar seconded. The motion passed unanimously.

The Planning Commission Meeting adjourned at **5:46 p.m.**

Reviewed and Approved: DRAFT



Planning Commission

October 15, 2025

Item 4.1

FINAL PLAT CONDOMINIUM CONVERSION – Approving the final plat of the Rocket Gem Plat D (Condominium Conversion) located at 241 West 310 North in the R7.5 zone.

Prepared By:
Rebecca Gourley

Applicant:
Haley Durfee

NOTICES:

- Posted in 2 public places
- Posted on City webpage and City hotline
- Faxed to newspapers
- E-mailed to newspapers
- Posted at utah.gov/pmn

SITE INFORMATION:

- General Plan Designation:

Medium Density Residential

- Current Zone: **R7.5**
- Acreage: **.19**
- Neighborhood: **Suncrest**

ACTION:

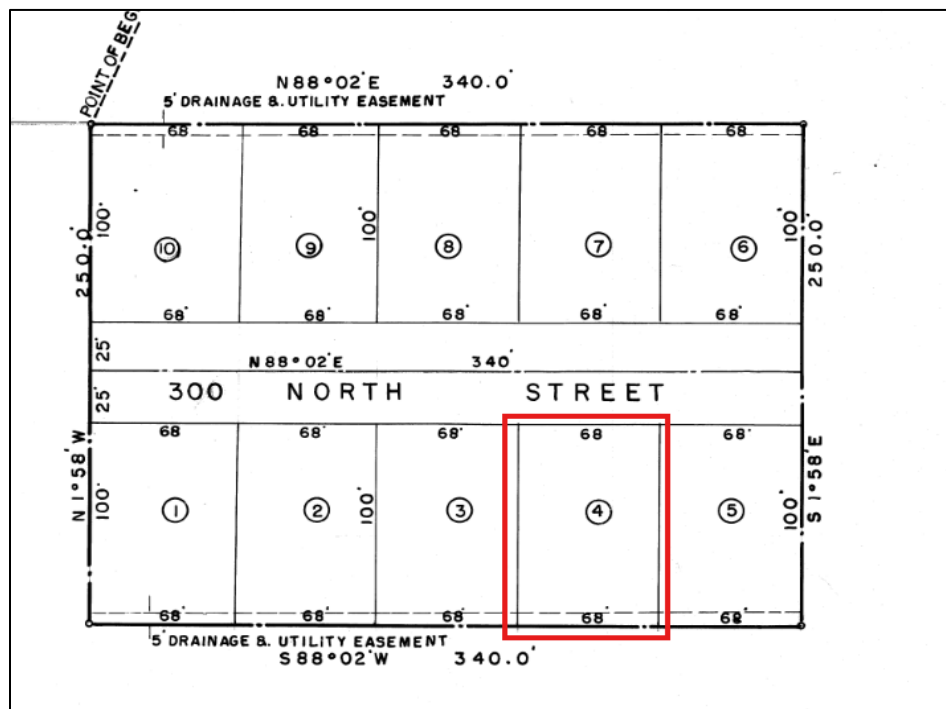
The Planning Commission is the final approving body for this item.

REQUEST: The applicant requests the Planning Commission approve the conversion of the duplex located at 241 West 310 North to townhomes by approving the site plan and final plat of the Rocket Gem Plat D (Condominium Conversion).

BACKGROUND: On August 4th, 2025, the applicant applied to convert the existing two-unit residential duplex into two single-family attached townhomes. The current duplex is located in the Suncrest neighborhood, which is a former CDBG target area. The block consists of about 25 legal non-conforming duplexes in various physical conditions.

The condominium conversion request includes the following:

1. A **final plat** that formally splits the existing lot into two separate lots, each eligible for individual homeownership.
Lot 1 receive the address of 239 West 310 North, and will be 4,335 ft².
Lot 2 will receive the address of 241 West 310 North, and will be 4,165 ft².
The lots will have separate sewer, water, and updated PUEs to service the individual dwellings. No zoning changes have been proposed as part of this request.



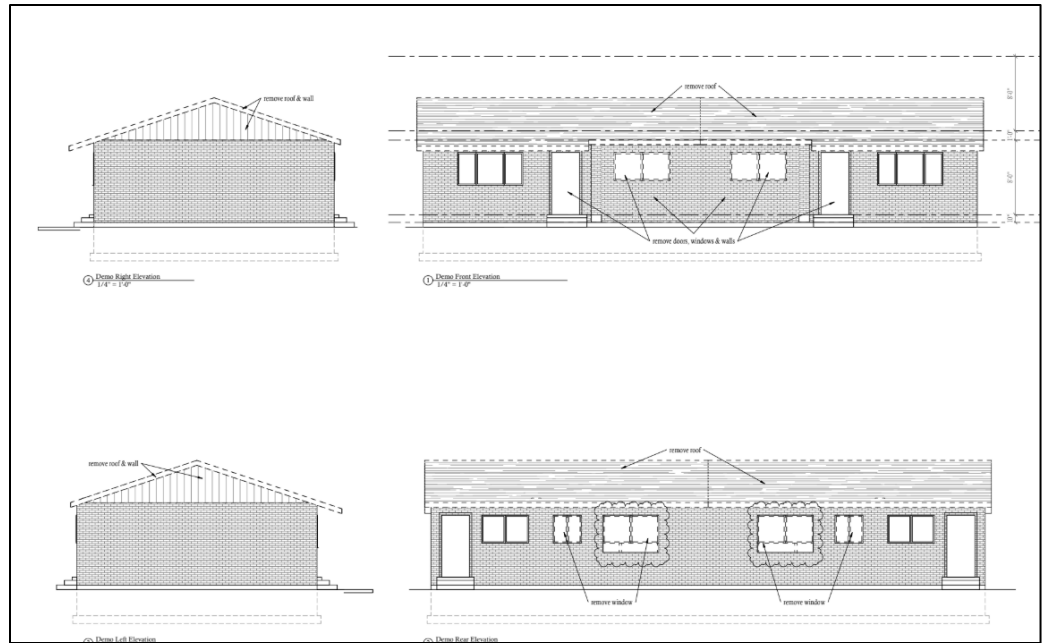


Existing plat (top), Proposed final plat (below)

2. A **site plan** that details a remodel of the duplex. This includes the addition of covered porches for each dwelling entrance, new backyard storage sheds, four new paved parking spaces, and a second story.

The second story adds 861 ft² to each dwelling unit. This added square footage provides each unit with an additional three bedrooms, one bathroom, and a loft area.

This second story addition maintains compliance with the expansion of legal non-conforming structure ordinance by building an addition within the footprint of the existing structure. These additions will not increase the number of dwelling units present on the lot. The new building height will be 23 ft and 10 in, measured from grade to roof peak, which is in compliance with the 35 ft residential height maximum.

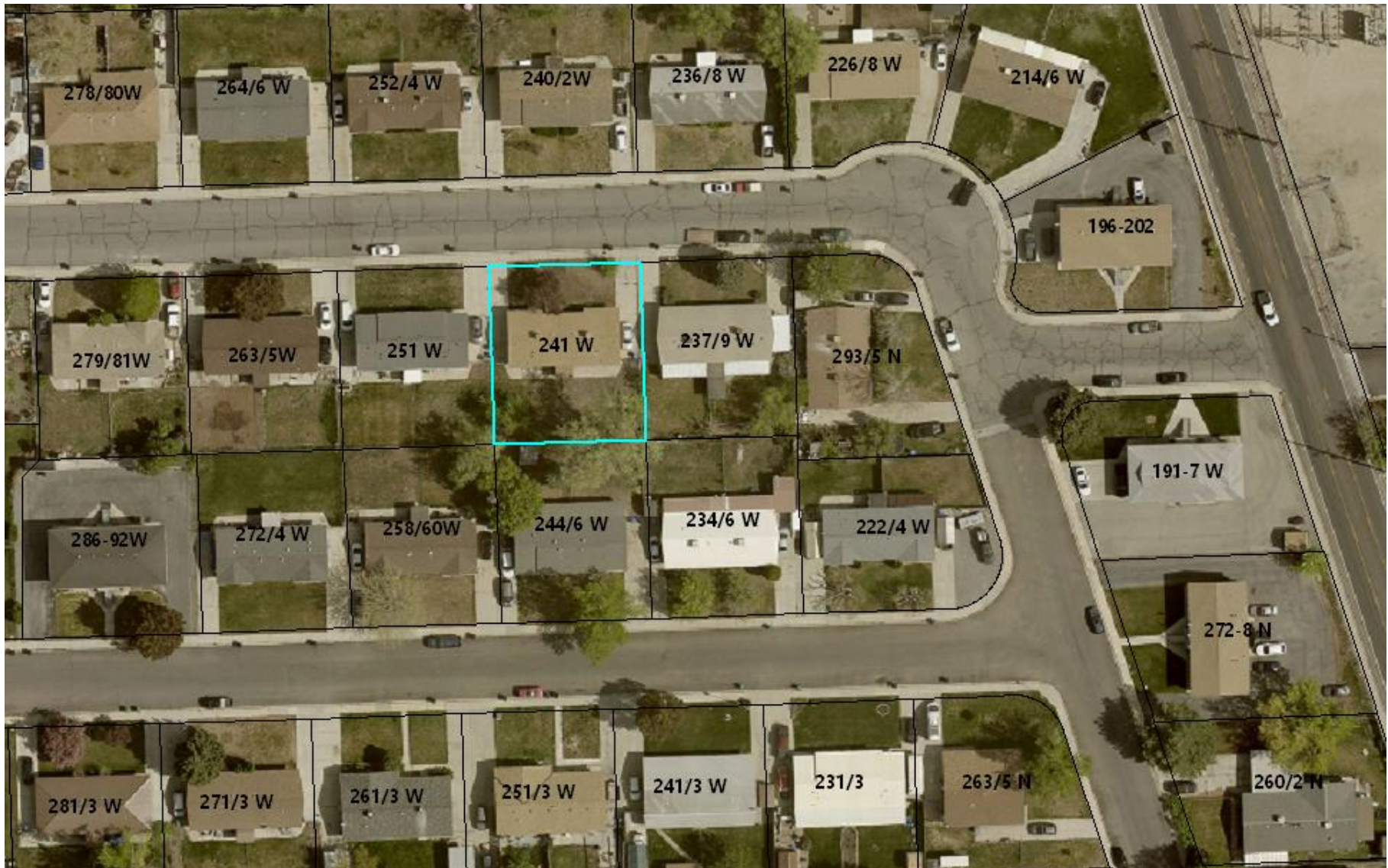


Existing elevations (top), Proposed site plan elevations (Bottom)

Both the expanded site plan and final plat have been attached to the October 15th, 2025 Planning Commission packet for reference. This project has been thoroughly reviewed by the DRC and Building and Safety and is scheduled for a final vote by the Development Review Committee on October 13, 2025.

RECOMMENDATION: The Planning Commission is the designated Land Use Authority for site plans and condominium conversions. The Commission may approve or deny the request for the site plan and condominium conversion or may choose to continue their consideration of the request and ask for additional information or analysis.

Rocket Gem – 241 West 310 North



Vicinity Map

Zone: R7.5

Acres: .19

Rocket Gem Plat D – 241 West 310 North



Legend

- C2
- R7.5

Rezone Area

Current Zone:
R7.5
Acres: .19

Neighborhood

Suncrest

NORTH

Map Filing # 869

9507

RECORDED AT THE REQUEST OF
Central Utah Title Co.
BOOK PAGE

1970 SEP 11 PM 4:28

NINA B. REID
UTAH COUNTY RECORDER
DEPUTY
PL S T R

SECTION LINE
"WEST"

N 1/4 COR. SEC 15
T 6 S, R 2 E, S.L.B. & M.

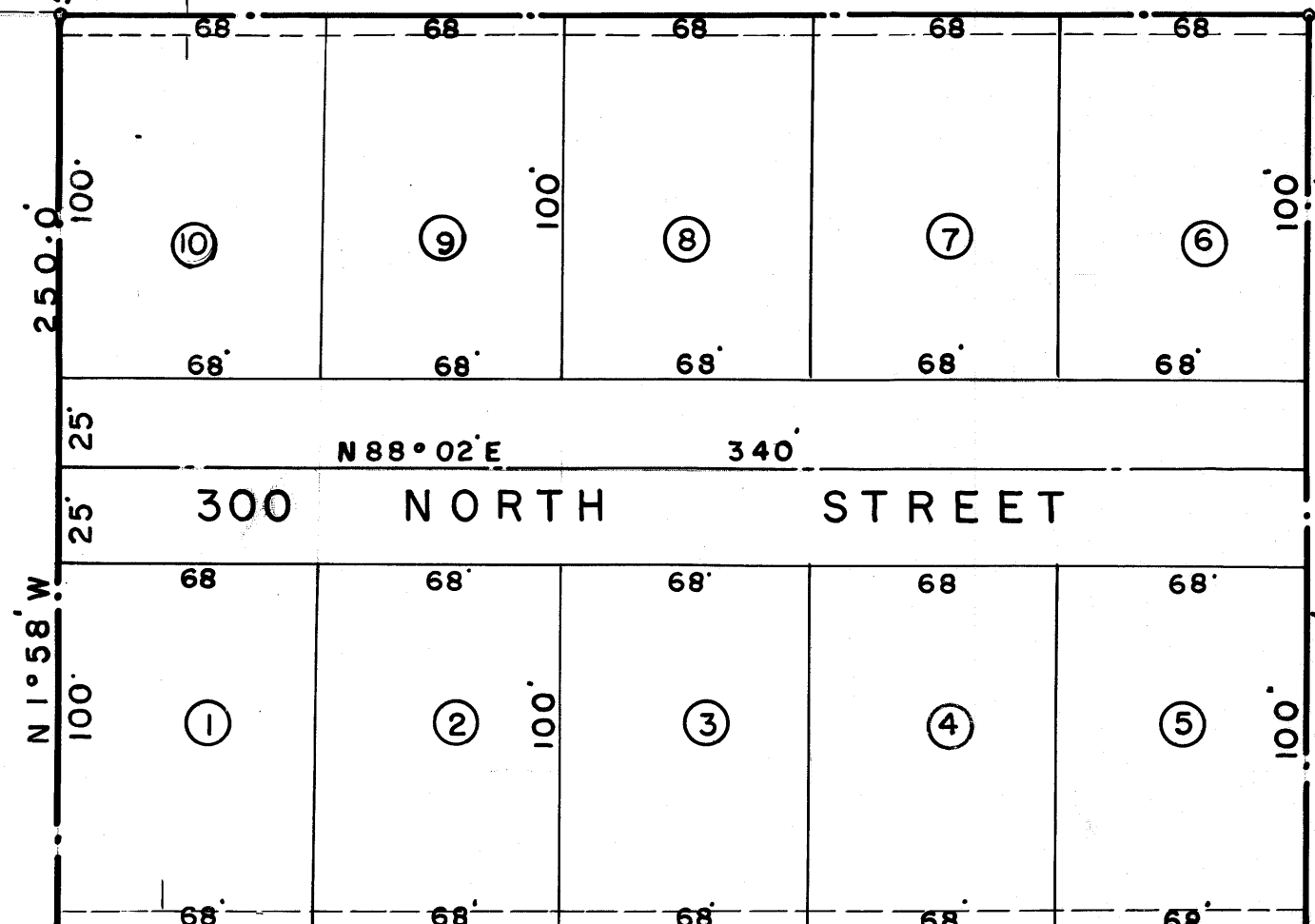
505.5'

SOUTH

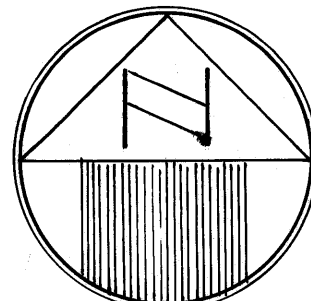
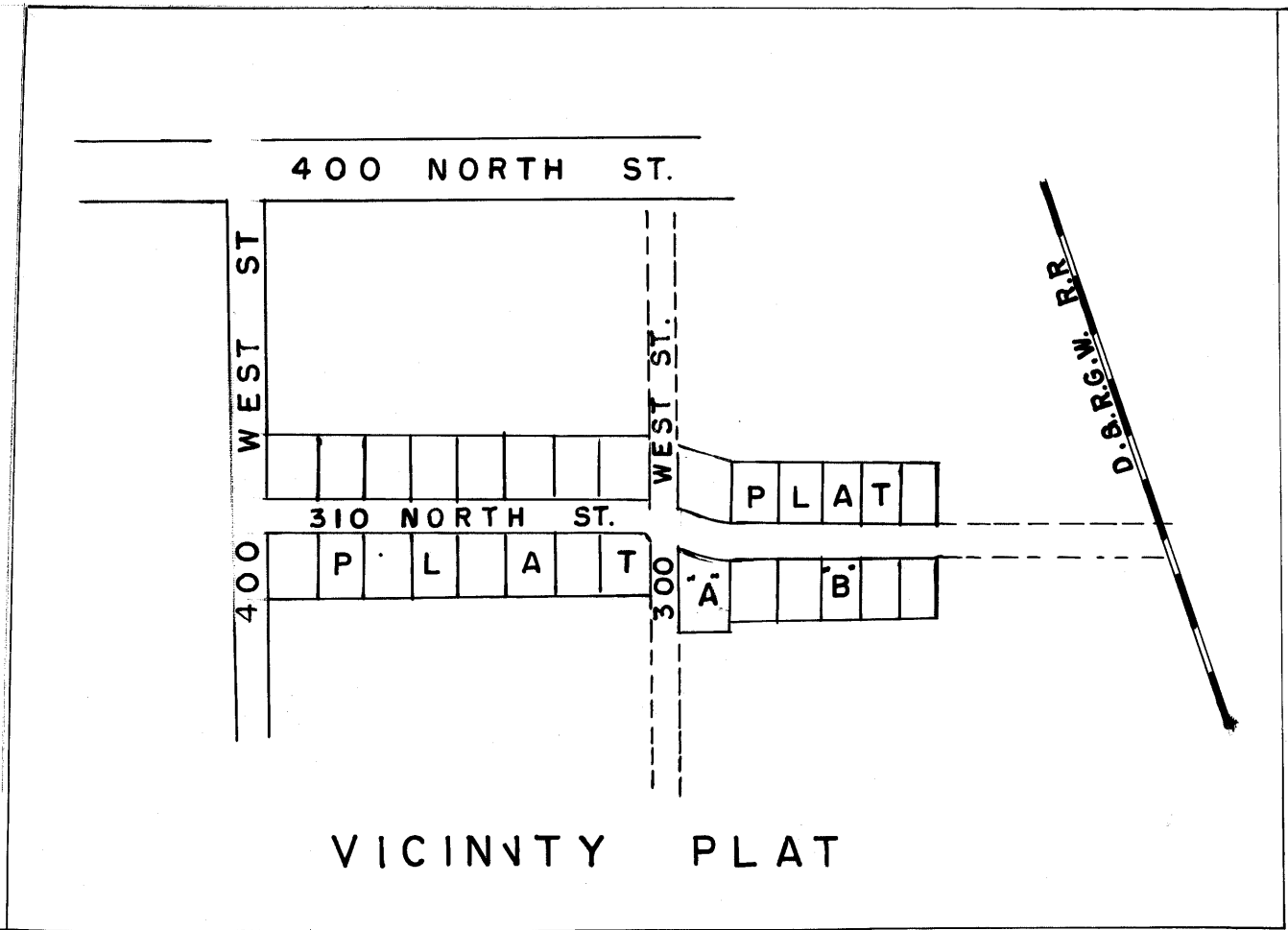
EAST 785.35'

POINT OF BEGINNING

N 88° 02' E 340.0'
5' DRAINAGE & UTILITY EASEMENT



5' DRAINAGE & UTILITY EASEMENT
S 88° 02' W 340.0'



SURVEYOR'S CERTIFICATE

I, L. V. BECKMAN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 1109 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

COMMENCING SOUTH 505.5 FT. AND EAST 785.35 FT. FROM THE NORTH QUARTER CORNER OF SECTION 15, T 6 S, R 2 E

SALT LAKE BASE & MERIDIAN; THENCE AS FOLLOWS:

COURSE	DISTANCE	REMARKS
N 88° 02' E	340.0 FT.	
S 1° 58' E	250.0 FT.	
S 88° 02' W	340.0 FT.	
N 1° 58' W	250.0 FT.	TO BEGINNING

BASIS OF BEARING = SOLAR

JUNE - 7 - 1970
DATE

L. V. Beckman
SURVEYOR
(See Seal Below)

OWNERS' DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 8TH

DAY OF June, A.D. 1970

Boley Realty, Inc. Elmer Haha
By Mackay B. Boley, Pres. William B. Haha

ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF UTAH } S.S.

ON THE 8TH DAY OF June, A.D. 1970, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES Dec 12, 1971

NOTARY PUBLIC
(See Seal Below)

ACCEPTANCE BY LEGISLATIVE BODY

THE COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS DAY OF A.D. 1970.

APPROVED: Russell O. Brown, ENGINEER (See Seal Below)
ATTEST: Anne Cooper, CLERK-RECORDER (See Seal Below)

BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS

CITY-COUNTY HEALTH DEPARTMENT

PLANNING COMMISSION APPROVAL

APPROVED THIS 8th DAY OF June, A.D. 1970, BY THE PLANNING COMMISSION
DIRECTOR-SECRETARY: Russell W. Park, CHAIRMAN, PLANNING COMMISSION

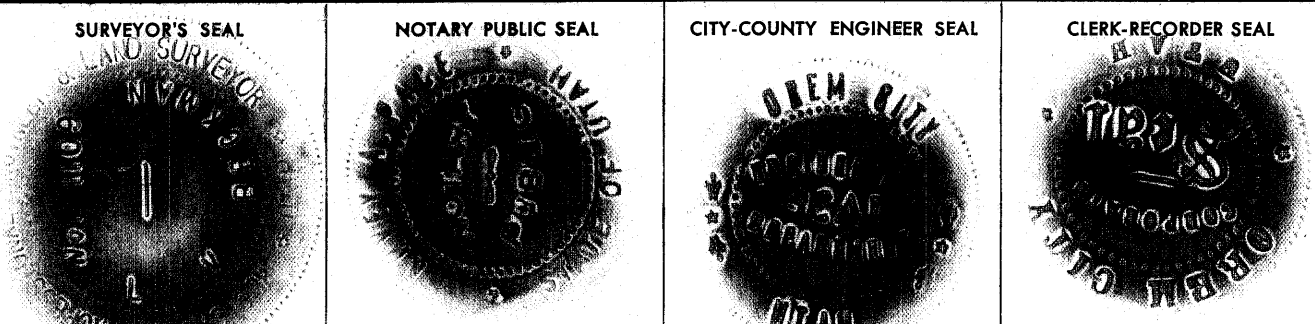
PLAT "B"

ROCKET GEM

SUBDIVISION

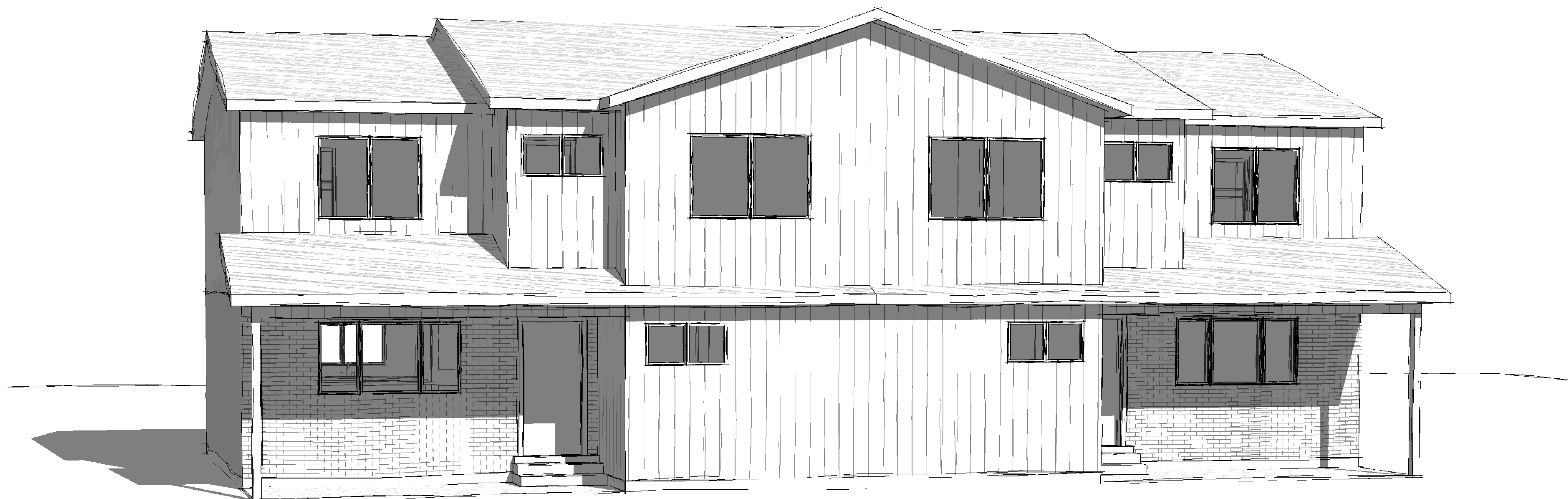
OREM, UTAH UTAH COUNTY, UTAH

SCALE: 1" = FEET



This form approved by Utah County and the municipalities therein.

869-

[illegible]

 <div>United HOME DESIGN</div> <p>458 N 1210 E SPANISH FORK, UT 84660 (801) 404-2136</p>	
<h1>Durfee Twinhomes</h1> <p>241 West & 243 West 310 North Orem, UT 84057</p>	
DRAWING TITLE: <h2>COVER SHEET & INDEX</h2>	
<p>All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by, and the property of United Home Design and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of United Home Design. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job.</p>	
Job #25 UHD 026 October 2, 2025	A1

PLUMBING & MECHANICAL:

- Each water closet shall be located in a clear space not less than 30" in width (15" from the center to any obstruction) and have a clear space in front of not less than 21". Figure 307.1.
- A shower compartment shall be 30" square min. with 24" clear space in front. R307.1.
- Cement, fiber-cement or glass mat gypsum backers installed in accordance with manufactures recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. 702.4.2.
- All appliances (water heater, boiler, etc.) which require pressure relief valves shall be provided with a full sized drain which shall extend from the valve to an indirect waste, such as a floor drain. All floor drains shall have trap primers. P2803 & P3201.2.
- Gas fired furnaces and water heaters shall not be located in a bedroom, bathroom, storage, closet, toilet room or in any enclosed space with access only through such a room or space. G2406.
- Water heaters and heating appliances located in garages which generate a glow, spark or flame shall be installed with the pilots, burners or heating elements and switches at least 18" above the floor level. G2408.2.
- The water heater space and furnace room shall have an opening or door with a continuous passageway at least 2' in width and large enough to permit removal of the largest equipment in the room. M1305.1.2.
- It shall be possible to remove water heaters without first removing any permanent part of the structure. M1305.1.
- An unobstructed working space at least 30" deep and the height of the furnace or water heater (30" minimum) shall be provided along the entire front or firebox side of the furnace. M1305.
- The building shall comply with Chapter 17 of the IRC Section M1701.
- A furnace shall not be installed in a closet or alcove less than 12" wider than the furnace and shall provide a minimum working space of 3" along the sides, back and top. M1305.1.1.
- A furnace shall not be installed with a clearance of less than 6" along the combustion chamber opening side. M1305.1.1.
- The air removed by every mechanical exhaust system shall be discharged to the outdoors. Air shall not be exhausted into an attic, soffit, ridge vent or crawl space. IRC M1501.1.
- All dryer exhaust systems shall be compliant with RM1502.
- Cooking appliances shall be test, listed and labeled as household type for domestic use and installed per the manufacturer's instructions. G2447.
- An evaporative cooler must be located a minimum of 10' from all vents, flues and exhaust terminations. Flues may be extended 3' above intake opening of evaporative cooler in lieu of 10' horizontal separation.
- Water closets shall have a maximum flow rate of 1.6 gallons per flush. Shower heads shall have a maximum flow rate of 2.5 gpm. P2903.2.
- Water hammer arresters are required with quick-closing valves (dish clothes washers). P2903.5.
- The hot water supplied to bathtubs and whirlpool tubs shall be limited to a maximum temperature of 120 degrees F by a water temperature limiting device that conforms to ASSE 1070, except where such protection is otherwise provided by a combination tub/shower valve in accordance with Section P2708.3.
- Fixtures that have flood level rims located below the elevation of the next upstream manhole cover of the public sewer serving such fixtures shall be protected from backflow or sewage by installing an approved backwater valve. P3008.
- Provide access to motors and pumps on all jetted tubs.
- Provide non-freeze type backflow prevention hose bibs IRC P2902.3.3 & P2603.6.
- Provide an expansion tank on the culinary water system. Locate in mechanical room. P2903.4.
- In seismic design categories C, D0, D1, and D2, water heater shall be anchored or strapped in the upper third and lower one-third of the appliance to resist a horizontal force equal to one-third of the operation weight. IRC P2801.7.
- Floor drains shall be provided near all water heaters.
- Floor drains shall be fully visible and accessible.
- Plumbing and conduit penetrations of the separation wall between the garage and the residence shall be of copper or ferrous.
- All fuel burning appliances shall be provided with combustion air in accordance with the appliance manufactures installation instructions. Oil-fired appliances shall be provided with combustion air in accordance with NFPA 31. IRC M1701.
- Provide gas logs and each gas appliance with a shutoff valve within 6' of the appliance. IRC G2420.5.
- Hydromassage motors shall be provided with adequate ventilation, be accessible by way of removable panel or door and be on a dedicated GFCI circuit.
- Any jetted tubs to have a 12"x12" access door to motor.
- Heating and cooling system shall be designed to ACCA manual J&D or other approved calculation.
- Shower door must have a 22" clear opening and tile around tubs must have fiber cement backer board.
- Shower pans must have an approved liner ending 3" above the finished threshold, solid blocking is required behind the liner. Note that the slope must be built up under the liner.
- All bathtubs and showers shall have an anti-scaId valve limiting water temperature to 120 degrees F.
- Hot water heaters must have an expansion tank, 2 seismic straps, and a T&P valve. A pan is required if a leak will damage the property.
- Provide backflow preventors or vacuum breakers for protection of potable water on hose bibs, irrigation or sprinkler systems, boilers etc.
- Provide backwater valves for dwv that are lower than the nearest manhole cover. This will require that basement waste systems will be plumbed independently.
- A permanent certificate shall be posted on or in the electrical distribution panel listing the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and/or floor) and ducts outside the conditioned spaces; U-factors of windows, and solar heat gain coefficient of windows. The tpe and efficiency of heating, cooling and service water heating equipment shall also be listed. IRC N1101.9.
- Ductwork in unconditioned spaces will have R-8 value insulation.
- Contractor to verify all rough opening sizes with equipment, fixture, windows, doors, and other items where different manufactures will have different rough opening sizes. Contractor to verify all tub dimensions with tubs to be used.
- Insulate heating trunk and branch supply ducts in unfinished areas, crawl spaces, attics, unheated garages, etc. IRC M1502.2.
- Vent the dryer to the outside. Maximum length of the duct with 2 90 degree elbows is 15'. IRC M1502.2.
- Combustion air for all fuel-burning appliances must be shown at a minimum rate of 1 sq inch per 3000 BTU/hour input. Opening must be in the top 12" of the room. Minimum of 1" clearance must be shown around equipment at sides and rear of the appliance. Show minimum 6" of clearance in front of appliances. IRC M1701.

CONSTRUCTION DETAILS:

- Any trusses to be used must have details provided for the specific house. R802.10. A truss layout indicating locations and orientation of all types of trusses must be provided from the truss manufacturer before a review can be completed. This information is necessary to accurately determine loading of structural members. Details are required for ALL types of trusses used (scissor, mono, girder, etc). Truss details must be provided from an approved fabricator. Homemade trusses are not acceptable unless designed, stamped, and inspected by a structural engineer. All details must indicate correct design snow loads for the area. Specific engineered design for connections of trusses to each othr and other framing members which are supported by trusses must accompany the details. Details must be stamped by a Utah registered structural engineer.
- Joist spans shall be in accordance with Table R502.3.1 or designed under IBC criteria.
- Any product used shall be approved as an alternate by an ICC Evaluation Report.
- Walls supporting two floors shall be 2x6 or 3x4 studs at not less than 16" o.c. Stud height in bearing walls cannot exceed 10'.
- Stud height in non-bearing wall cannot exceed 14' for 2x4s or 20' for 2x6s unless engineered. Table R602.3.1.
- Subfloor and roof sheathing should be in accordance with R503 and R803.
- All weather exposed surfaces shall have a weather-resistive barrier to protect the walls under finished material. The most common type is a waterproof building paper or felt applied weatherboard fashion, lapped at least 2" at horizontal joints and at least 6" at vertical joints. "One coat" stuccos require 2 layers. R703.2.
- Stucco system shall be installed in accordance with R703.6 or shall be an approved system with an ICC Evaluation Service number. All "systems" must be applied in strict compliance with the manufacturers' recommendations including requirements for selflurring lath, flashing, corner treatment, expansion control joints, and drainage system.
- Any component of a house which does not fall under the provisions for IRC conventional construction may require structural engineering. R301.2.

ELECTRICAL:

- Lighting outlets:
 - At least one wall switch controlled lighting outlet shall be installed in every habitable room; in bathrooms, hallways, stairways, attached garages and detached garages with electric power; and at outdoor entrances (not including garage overhead or vehicle doors). In habitable rooms, other than kitchens and bathrooms, receptacles controlled by a wall switch is permitted in lieu of lighting outlets. IRC E3903.2 & E3903.3.
 - At least one switch controlled, lighting outlet is required at the entry of attic, crawl space, utility room or basement with storage or equipment. The lighting outlet shall be provided at or near any equipment requiring servicing. IRC E3903.2 & E2903.3.
 - Lighting is required for all interior and exterior stairways. Lighting outlets at stairs shall be switched at each floor level where the difference between floor levels is 6 steps or more. IRC E3903.2 & E3903.3.
 - Incandescent fixtures in closets shall be a minimum of 12" from any shelf edge, measured horizontally (6" for fluorescent fixtures). The dimension for shelves less than 12" wide will be 24" from the wall. IRC E4003.12.
 - All light fixtures and switches in bathroom/shower areas or in damp or wet locations shall comply with the IRC E4003.9-E4003.11.
- Receptacle outlets:
 - Receptacles shall be installed so that no point measured horizontally along the floor line in any wall space is more than 6' from a receptacle outlet. IRC E3901.2.1 & E3901.2.2.
 - Kitchen and dining area counter tops shall have receptacle outlets at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" from an outlet. One outlet is required for island and peninsula counter tops which shall be installed above or within 12" below the counter top. (receptacle outlets shall not be installed in a face up position on a counter top) IRC E3901.4.1-E3901.4.5.
 - 125V single phase, 15 or 20 amp rated receptacle outlet shall be installed at an accessible location for the servicing of heating, air-conditioning and refrigeration equipment. Outlet shall be installed at the same level and within 25' of the equipment. IRC E3901.12.
 - Outlets shall be installed in bathrooms within 36" of the outside edge of the basin on the wall adjacent to the basin. IRC E3901.6.
 - At least two outlets that are accessible at ground level shall be installed outdoors. There shall be a minimum of one outlet at the front and one outlet at the back of the dwelling within 6'-6" of grade. IRC E3901.7.
 - At least one outlet shall be installed for the laundry. IRC E3901.8.
 - At least one outlet, in addition to any provided for laundry, shall be installed in each basement and each attached garage, and in each detached garage with electric power. IRC E3901.9.
 - For hallways 10' or more long, one outlet shall be provided. IRC E3901.10.
- Permanent access must be provided to all hot tub and whirlpool tub equipment requiring service. IRC E4209.3.
- Smoke and multiple station smoke alarms in new construction, the required alarms shall receive their primary power from the building wiring and be equipped with a battery back-up. Single and multiple station alarms shall be mounted on the ceiling or wall at a point centrally located in the hall or area giving access to each separate sleeping area and in every bedroom. IRC 314-315.
- When a house has more than one story and/or has a basement, a detector shall be installed on each story and in the basement. Where a story or basement is split into two or more levels, the smoke detector shall be installed on the upper level of each story. However, when the lower level contains a sleeping area, a detector shall be installed on each level of the story or basement.
- Detectors shall be wired in series so taht an audible alarm sounds in all sleeping areas at the same time.
- The electrical panel shall have a clear working space of 39" wide, 36" deep and 6'-6" high in front. NEC 110.26.
- All receptacles serving kitchen counter tops, in garages, baths, unfinished basements and outside receptacles shall be GFCI protected. IRC Section E3902.
- GFCI protection is required at:
 - All exterior outlets (must be waterproof and a minimum of one).
 - All unfinished basement outlets (minimum of one).
 - Attached garage outlets (except dedicated) (minimum of one).
- Outlet to be shown within 25' of HVAC equipment.
- A carbon monoxide detector is required on each level of the house.
- All light fixtures above tubs and showers will be rated for damp location.
- U-FER ground shall be installed as per E3608 and NEC 250.50.
- All 125-volt, single phase, 15 or 20 amp receptacles installed in garages shall have ground-fault circuit-interrupter protection for personnel. E3902.2.
- A minimum of 50% of the lamps in permanently installed lighting fixtures shall be high-efficiency lamps. N1104.1.

SITE PLAN:

- Building location must comply with all city zoning regulations.
- "Height of Building" means the vertical distance between a reference datum and the highest part of the building excluding roof structures such as chimneys.
- Building walls closer than 5' to property line shall be of on-hour fire resistive construction without doors or windows. IRC 2021 Section 302.
- Eaves, overhangs and projections shall conform to IRC 2021 Section 302.
- Parapets or special roof construction is required on common walls for townhouses. See R302 for requirements.
- Building cannot be located on any easement or right of way.
- Ground slopes may not exceed 2 horizontal to 1 vertical unless retained in an approved manner. IBC Appendix J.
- Footings of structures located adjacent to slopes steeper than 3 horizontal to 1 vertical must be set back from slope at least 1/3 the height of the slope if at the top, and the height of the slope at the bottom. R403.1.7.
- Site shall be graded such that the ground slopes away from the foundation dropping at least 6" within 10' of the foundation. R401.3.
- Any retaining walls over 4' in height from the bottom of the footing to the top of the wall shall be of an approved design with engineer's details provided.
- Cuts or fills are not permitted within 2 feet of the property line. IBC Appendix J.
- Drainage from the property may not exceed that which existed prior to development. Paved areas and roof drains may need to be supplied with appropriate sumps or other means of mitigating their flow. IBC Appendix J.
- The owner/contractor shall verify with the city as to the need of a Soils observation report from a licensed soils engineer. A recommendation to proceed may be needed from the engineer prior to approval of a footing inspection. Foundation drains will be required, if indicated in the soils report.
- Water meter cannot be located in the driveway, sidewalk or similar area. Meter must be placed in landscaping area. Sewer line cannot be located under the driveway.
- Homes located in potential flood hazard areas will be required to have elevation certificates prior to construction and after completion. R106.1.3.
- Addresses shall be provided which are plainly visible and legible from the street. R319.1.

STAIRWAYS:

- Stair treads shall have a maximum RISE of 7.75" and a minimum rise of 4". The minimum RUN shall be 10". Length of tread is measured from nose to nose. The largest tread run or riser within any flight of stairs shall not exceed the smallest by more than 38". Stairs shall meet all other requirements of the R311.7.5.1.
- Winder treads shall have a minimum tread depth of 10" measured as above at a point 12" from the side where the treads are narrower. Winder treads shall have a minimum tread depth of 6" at any point. Within any flight of stairs, the greatest winder tread depth at the 12" walk line shall not exceed the smallest by more than 3/8". R311.7.4.
- Stairways shall not be less than 36" in width.
- Every stairway and ramp shall have a landing with a dimension of at least 36" measured in the direction of travel.
- Stairways with 4 or more risers shall alve at least one handrail. See IRC 2021 Section 311.7.8.
- Stairs shall have a headroom clearance of not less than 6'-8". Clearance is measured vertically from a line along the tread nosing to the soffit above at all points. R311.7.2.
- Enclosed space under stairs shall have the walls and soffit protected on the enclosed side with 1/2" sheetrock. R302.7.
- 36" high guards shall be provided on porches, balconies, and raised floor surfaces located more than 30" above the floor or grade below. Open sides of stairs with a total rise of 30" above the floor or grade below shall have guards at least 34" high.
- Guards will have an ornamental pattern such that a sphere 4" in diameter cannot pass through. The triangular space created by the stair and a bottom rail may be constructed so a 6" sphere will not pass through.
- Ramps slope not to exceed 1 unit vertical to 12 units horizontal. IRC 2021 section 311.8.
- Guardrail connection details shall be adequate to support 200 lbs of horizontal force per lineal foot acting at a right angle to the top rail.
- Handrails shall comply with section 1012 of the 2021 IRC.

LIGHT VENTILATION & SANITATION:

- All habitable rooms (bedrooms, living rooms, dining rooms, family rooms...etc) shall be provided with natural light from windows with an area of not less than 8% or artificial light producing 6' candles throughout. R303.1.
- All habitable rooms shall be provided with natural ventilation by means of exterior openings with an area of not less than 4% of the floor area of each room. In lieu of natural ventilation, habitable rooms may be provided with mechanical ventilation capable of 0.35 air changes per hour with 15 cfm of outside air per occupant. R303.1.
- For the purpose of light and ventilation, a room may be considered as a portion of an adjoining room when at least one-half of the area of the common wall is open, unobstructed and provides an opening of not less than 1/10th of the floor area of the interior room or 25 sq ft, which ever is greater. R303.2.
- The operable window area in bathrooms, water closet compartments and other similar rooms shall not be less than 1-1/2 sq ft unless a mechanical ventilation system capable of producing 50 cfm for intermittent operation or 20 cfm for continuous operation is provided. Ventilation air shall be exhausted directly to the outside. R303.3.
- The house shall have at least one water closet, lavatory, bathtub or shower and kitchen sink equipped with hot and cold running water necessary for normal operation. R306.
- Enclosed attics and enclosed rafter spaces shall have ventilation for each separate space by ventilating openings protected against rain or snow. Openings shall be covered with a 1/8" to 1/4" mesh. The net free ventilating area shall not be less than 1/150 of the area of the space ventilated, or 1/300 if 50% to 80% is located in the upper 3' of the attic and the remainder is provided by soffit vents. Where soffit vents are used, an insulation dam must be provided between every truss and/or rafter. Attic ventilation may also be 1/300 when a vapor barrier is used at the warm side of the ceiling. R806.
- An attic access 22"x30" shall be provided at roof/ceiling areas and shall be located in a corridor, hallway, or other readily accessible location. There shall be 30" of headroom over the opening. If there is less than 30" maximum height in the attic, access need not be provided. R807.

ROOM DIMENSIONS & MISC.:

- Ceiling heights of all habitable rooms (hallways, bathrooms, toilet rooms, laundry rooms, and portions of basements containing these spaces shall have a ceiling height of not less than 7'. IRC 305.1 - see same section for exceptions.
- Houses shall have at least one room which shall have not less than 120 sq ft of floor area. Other habitable rooms except kitchens shall have an area of not less than 70 sq ft. No portion of a room may be used to compute minimum area where the ceiling is less than 5' - R304.
- Habitable rooms other than kitchens shall not be less than 7' in any dimensions. R304.3.
- There shall be a clear passageway of not less than 3' between counter fronts and appliances or walls.

MASONRY:

- See IRC Section R606 for general masonry construction.
- Wood members shall not be used to permanently support the load of any masonry or concrete except nonstructural floor or roof surfacing not more than 4" thick.
- Brick and stone veneer are only permitted on the first floor above grade unless all provisions of the state amendment for additional bracing are met. Vener shall be attached with corrosion resistant sheet metal ties 22 gao x 718" or 9 gao wire. Stud spacing shall be a maximum of 16" on center. Tie spacing shall be such that no more than 2 sq ft of wall is supported (16" on center both ways). A #9 ga. wire shall be provided as horizontal bed joint reinforcement to ties. Brick ties shall engage the #9 wire. R703.7.
- Stone units, 5" maximum thickness, may be applied with a 1" minimum grouted backing space which is reinforced by not less than 2" x 2" 16 gao galvanized wire mesh placed over waterproof paper backing and anchored directly to studs spaced no more than 16" on center. Mesh must be furred out from sheathing for embedment in grout. R703.7.
- Fireplace and Chimney:
 - Masonry and concrete fireplaces: see R1001 & R1003
 - Factory-built chimneys and fireplaces:
 - Factory-built chimney and fireplaces shall be listed by an approved testing agency and have an ICC ES approval number. They shall be installed in exact accordance with the terms of their listings and the manufacturer's instructions. Specific approval numbers and installation standards must be made available to the building inspector. R1004.
 - Fire blocking with non-combustible material is required at spaces between floors and ceilings through which chimneys pass. R1001.1.16.
 - Hearth extensions of listed factory built fireplaces shall conform to the conditions of listing and manufacturer's installation instructions. R1001.9.
 - Fireplace chimneys shall extend at least 24" above the roof, any opening, or any part of the building within 10'. IRC 1001.1 (Table R1001.1).

MISCELLANEOUS:

- Laundry chute, 26ga sheet metal with locklapped joints. All openings to the enclosure shall be protected by not less than a self closing wood door 1-3/8" thick or equivalent.
- A double wrap of rebar is required around all windows and over the tops of all doors in foundations.
- Waterproofing is required for all foundations enclosing basements below finish grade. Wet Dry Mastic at cold joints and cracks.
- Beam pockets in concrete or masonry walls shall be sized to allow a minimum 1/2" air space on the top, sides, and ends of the beam.
- Provide a 1/2" minimum clearance between top plate of interior partitions and bottom chord of trusses (to ensure that loading will be as designed)
- Provid a double top plate with a minimum 48" lap splice.
- Design an details of factory built trusses must be signed by a Utah licensed engineer, and are to be on job site for rough inspection.
- Columns and posts located on concrete or masonry floors or decks exposed to the weather or to water splash or in basements, and which support permanent structures, shall be supported by concrete piers or metal pedestals projecting above floors unless approved wood of natural resistance to decay or related wood is used. The pedestals shall project at least 6" above exposed earth and at least 1" above such floors.
- Use 9" flashing and caulk for windows, and to have windows installed as per manufactures specs.
- Individual concrete or masonry piers shall project at least 6" above exposed ground unless the columns or posts which they support are of approved wood with natural resistance to decay or of treated wood.
- Ridgeboards, hips and valley rafters shallbe the same depth as the cut end of the supported rafters.
- Platforms, catwalks, light, and GFI outlets are required for attic appliances, insulation shall be kepth away from the attic appliances.

FLOOR PLANS:

- Fire separation between house and garage: The garage shall be separated from the residence and its attic area by not less than 1/2" gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable spaces above by not less than 5/8" type "X" gypsum board. Where the separation is a floor/ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2" gypsum board. IRC R302.6.
- Any door between the house and garage shall be a tight fitting, solid wood or hollow metal door, 1-3/8" thick or a 20 minute labeled door (closer not required). IRC R302.5.1.
- Duct penetrations shall be by minimum 26 gauge sheet metal, no openings into the garage are permitted.
- Under no circumstances shall a garage have any openings into a room used for sleeping purposes.

ROOFING:

- Roofing materials must have an approval by an approved testing agency. Roof slope will determine the types of roofing that can be used. Roofing materials must be installed exactly as intended by the approval. Asphalt shingles on roofs less than 4/12 pitch must be over an approved water shield. Asphalt shingles cannot be used for slopes less than 2/12. R905.2.2.
- Ice and water shield shall be used at roof eaves form eave edge to 24" inside the exterior wall. R905.2.7.1.
- Step flashing shall be used where the roof meets a vertical surface. Counter flashing shall be installed at roof and wall junctures. R905.2.8.

EXITING FACILITIES:

- Houses shall have at least one 3'-0" x 6'-8" swinging type exit door to the exterior. Any lock shall be operable from the inside without a key. R311.2.
- Landings are required on both sides of exterior doors. Door may open at a landing that is not more than 73/4" lower than the floor level, provided the door does not swing over the landing. Landing shall be at least 36" deep. R 311.3.
- Hallways shall not be less than 36" wide. R311.6.
- Hallways shall have a clear ceiling height of not less than 7' measured to the lowest projection. R305.1.
- Every sleeping room and basement shall have at least one operable, exterior window or door for emergency escape or rescue. The units shall be operable from the inside to provide a full clear opening without the use of tools. All of the following apply. R310:
 - Minimum net clear opening of 5.7 sq ft (opening at grade level floor may be 5.0 sq ft).
 - Minimum net clear opening height dimension of 24".
 - Minimum net clear opening width dimension of 20".
 - Maximum finished sill height of 44" above the floor. All door or windows provided for emergency escape or rescue shall open directly to a street, alley, yard, or court.
 - Window wells for emergency escape and rescue windows shall have a net clear opening of 9 sq ft with a minimum dimension of 36". Window wells deeper than 44" shall have a permanent ladder accessible from the window when fully open. Ladders shall be at least 12" wide and 3" from the well with rungs no more than 18" apart.
 - Emergency escape windows are allowed to be installed under decks and porches provided the location of the deck allows the emergency escape window to be fully opened and provides a path not less than 36" in height to a court or yard. R310.5
 - In dwelling units where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Glazing between the floor and 24" shall be fixed or have openings through which a 4" diameter sphere cannot pass. R312 Exceptions:
 - Windows whose openings will not allow a 4" diameter sphere to pass through the opening when the opening is in its largest opened position.
 - Openings that are provided with window guards that comply with ASTM F2006 or F2009.

ENERGY ANALYSIS (MEC-CHECK):

- An energy analysis should be attached to / or included with the plan when turned into the city. United Home Design does not provide this service, it must be provided by the Mechanical or Insulation Contractor.
- A permanent certificate shall be posted on or in the electrical distribution panel listing the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation, (slab, basement wall, crawlspace wall and/or floor) and ducts outside the conditioned spaces; U-factors of windows, and solar heat gain coefficient of windows. The type and efficiency of heating, cooling and service water heating equipment shall also be listed. IRC N1101.9.
- Provide min. R11 insulation on walk out foundations.

GLAZING:

- Glass in doors shall be safety glazed. R308.4.
- Glazing adjacent to a door within a 24" arc of either door edge when closed must be safety glazed if the bottom edge is within 60" of the floor or walking surface. R308.4.
- Glazing panels larger than 9 sq ft located less than 18" above and within 36" horizontally of a floor or walking surface shall be safety glazed. In lieu of safety glazing, glass may be protected by a horizontal member 1-1/2" in width, capable of resisting 50 lbs per lineal foot, located between 34" and 38" above walking surface. R308.4.
- Glazing in shower and bathtub rooms within 60" above the walking surface, including any walls, windows in walls and doors shall be safety glazed. R308.4.
- Glazing within 5' horizontally and 60" vertically of an indoor or outdoor pool or spa deck area shall be safety glazed. R308.4.
- Glazing at walls enclosing stairs and landings (and for 5' beyond the top or bottom of the stair) shall be safety glazed if less than 60" above the walking surface. R308.4.
- Glass in railings shall be tempered or laminated. R308.4.
- Safety glazing material shall be permanently labeled. R308.1.
- All exterior doors and windows shall comply with R612.
- In dwellings units, where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4" diameter sphere where such openings are located within 24" of the finished floor. R312 (Window Sills). Exceptions:
 - Windows whose openings will not allow a 4" diameter sphere to pass through the opening when the opening is in its largest opened position.
 - Openings that are provided with window fall prevention devices that comply with Section R312.2.1 & 312.2.2.
 - Openings that are provided with fall prevention devices that comply with ASTM F2009.
 - Windows that are provided with opening limiting devices that comply with Section R312.2.2.



United
HOME DESIGN

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SPANISH FORK, UT 84660
(801) 404-2136

Durfee Twinhomes

241 West & 243 West 310 North

Orem, UT 84057

DRAWING TITLE:

GENERAL NOTES

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October 2, 2025

A2

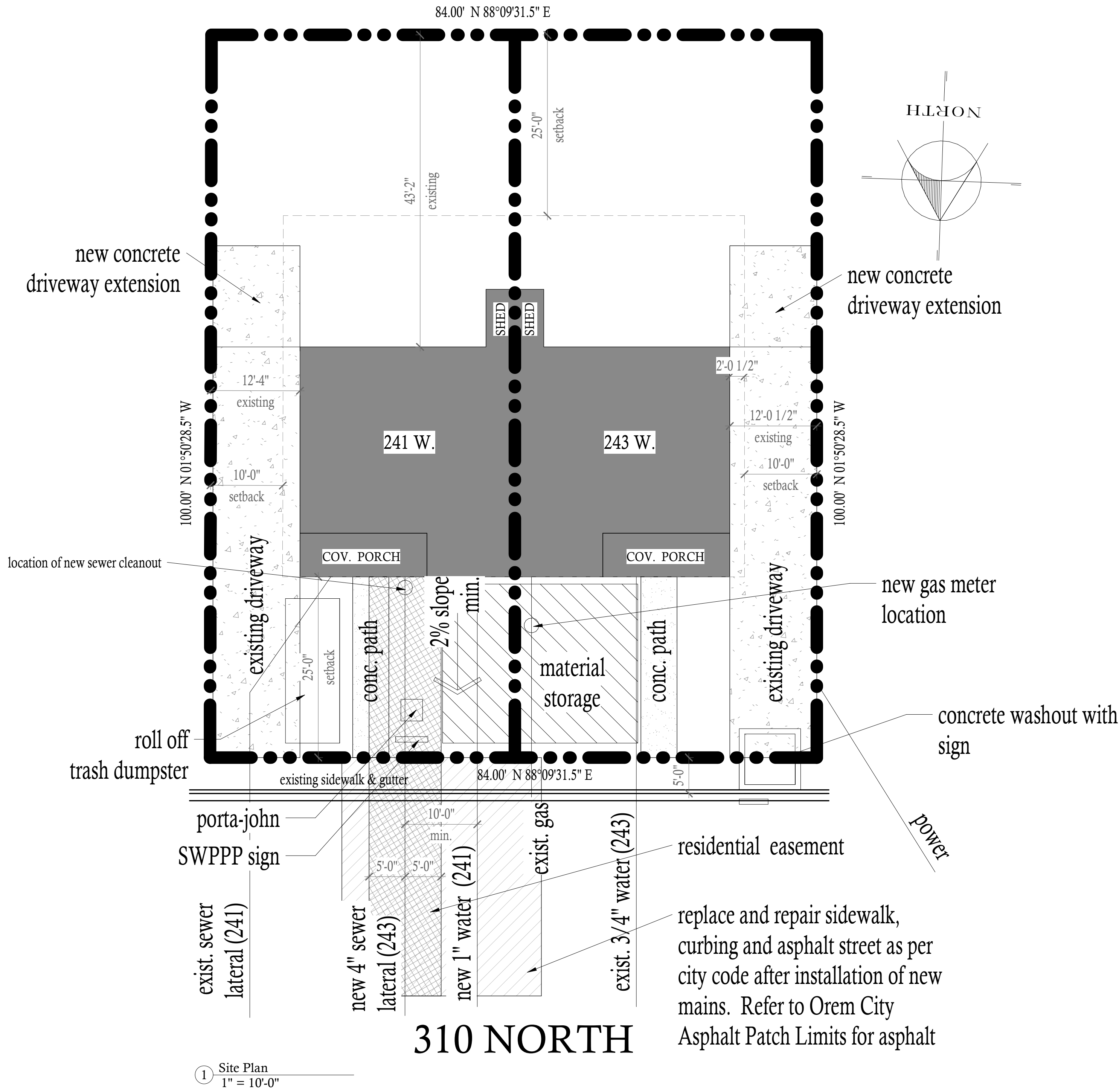
NOTE:
REFER TO THE 2021 IRC & 2021 ICC FOR SECTIONS 7 TABLES.
ALL PLUMBING INSTALLATIONS SHALL COMPLY WITH THE 2021 IRC
ALL MECHANICAL INSTALLATIONS SHALL COMPLY WITH THE 2021 IRC & IFGC

NOTE:
IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE LOCAL JURISDICTIONS CURRENT ADOPTED CODES.

Durfee Twinhomes

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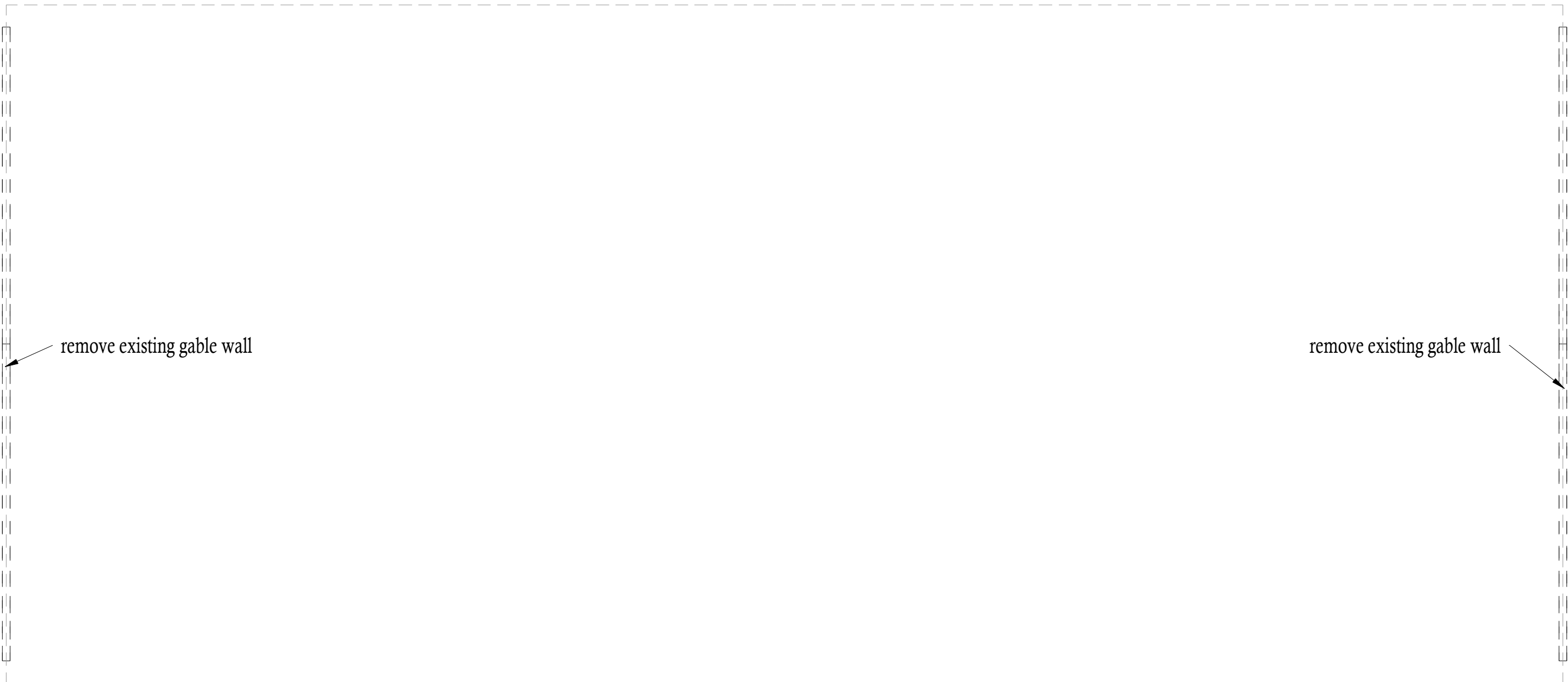
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SITE PLAN

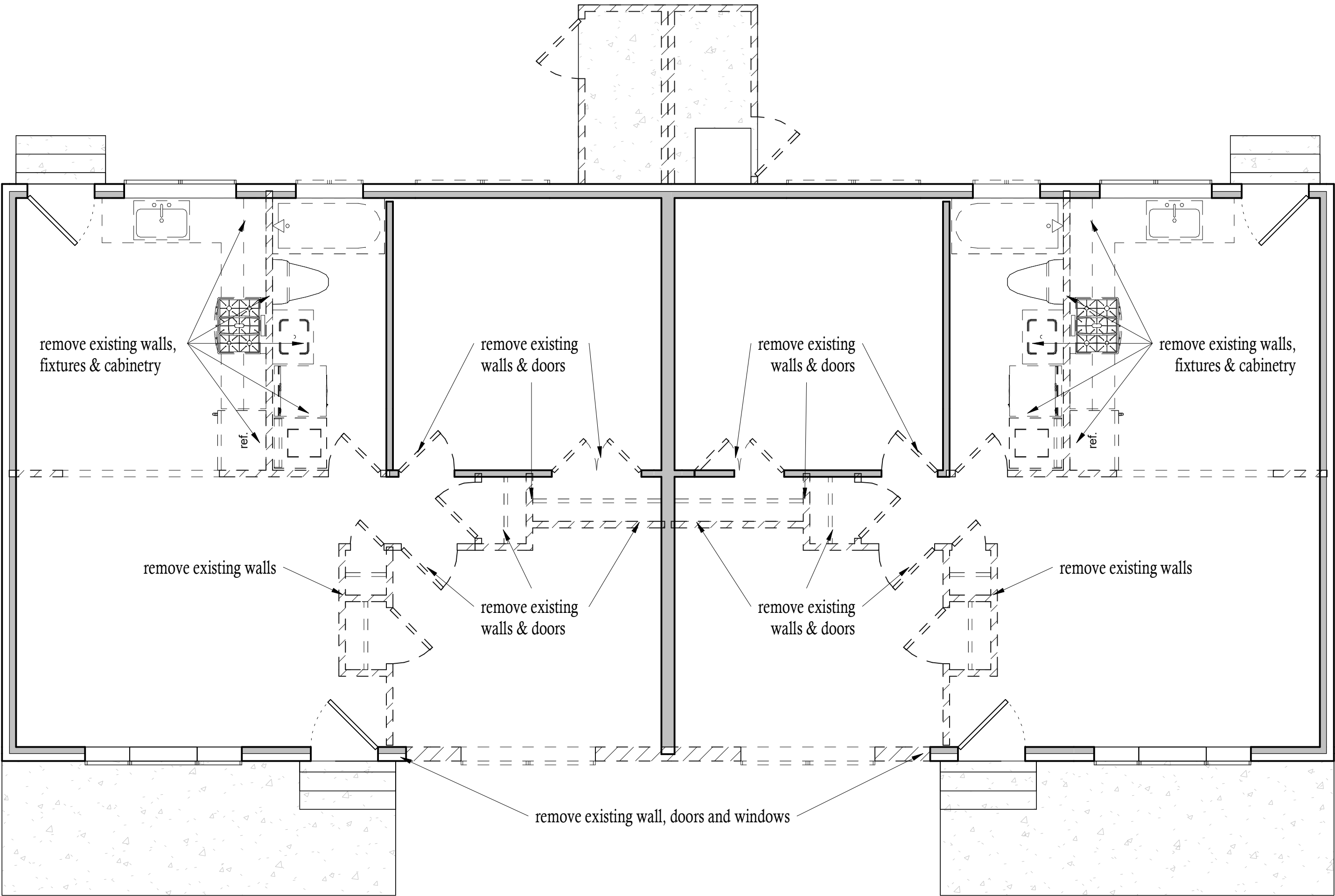
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② Upper Floor Demo Plan
1/4" = 1'-0"



① Main Floor Demo Plan
1/4" = 1'-0"

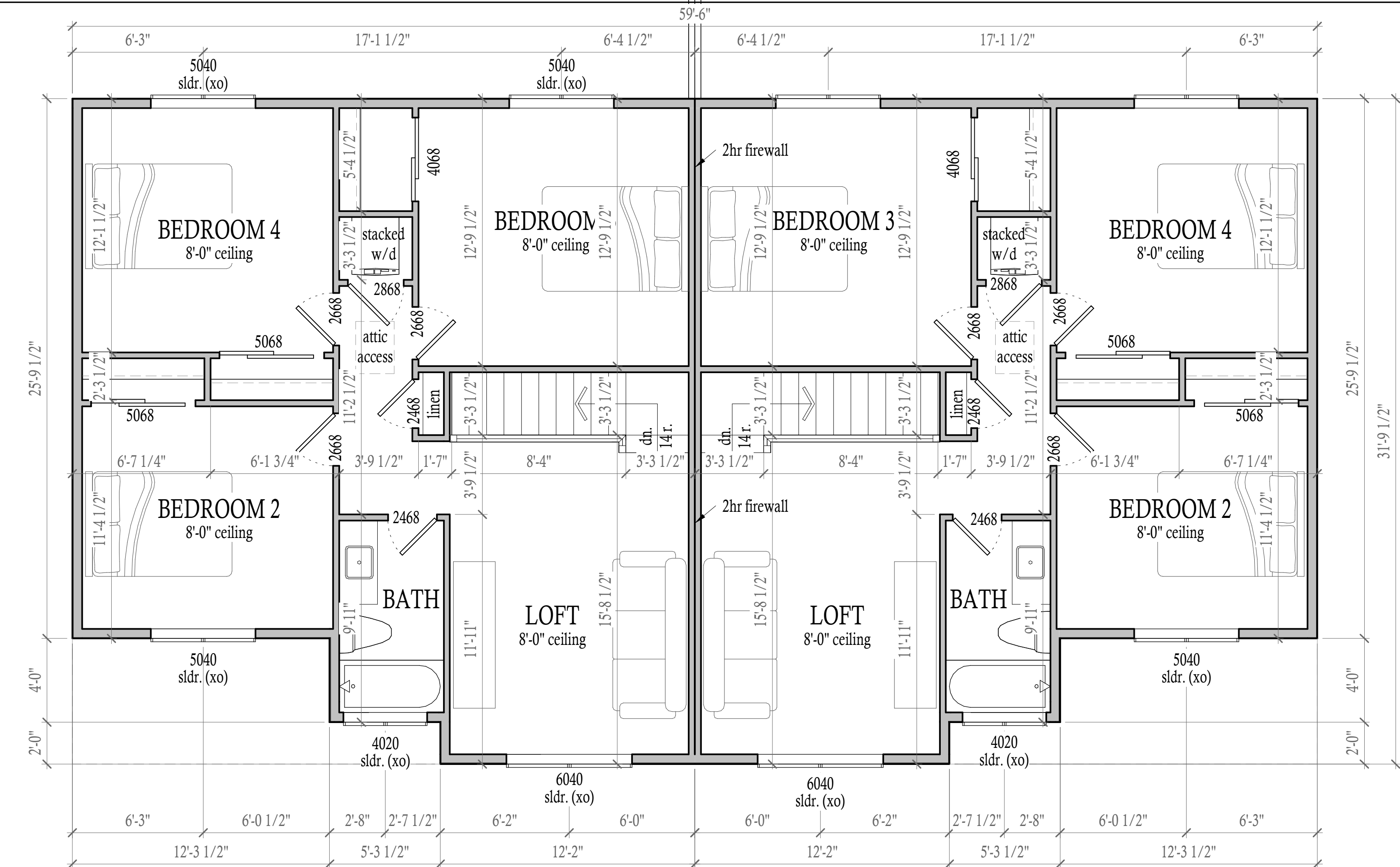
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DEMO FLOOR PLANS

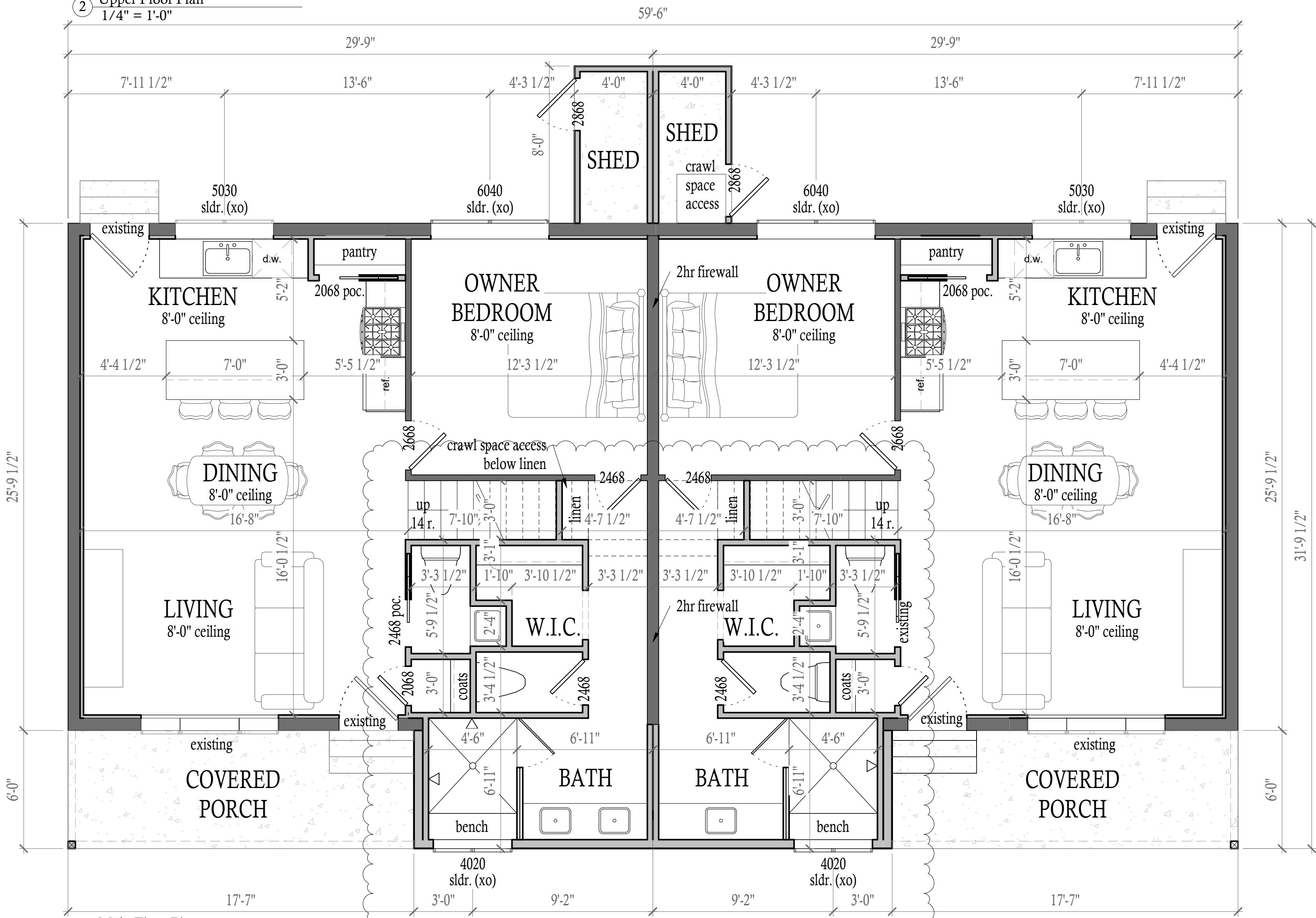
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2 Upper Floor Plan
1/4" = 1'-0"



1 Main Floor Plan
1/4" = 1'-0"

1 NEW UPPER LIVING SPACE	861 SF
2 NEW UPPER LIVING SPACE	861 SF
1 EXISTING MAIN LIVING SPACE	767 SF
1 NEW MAIN LIVING SPACE	105 SF
2 EXISTING MAIN LIVING SPACE	767 SF
2 NEW MAIN LIVING SPACE	105 SF
SHED	64 SF



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FLOOR PLANS

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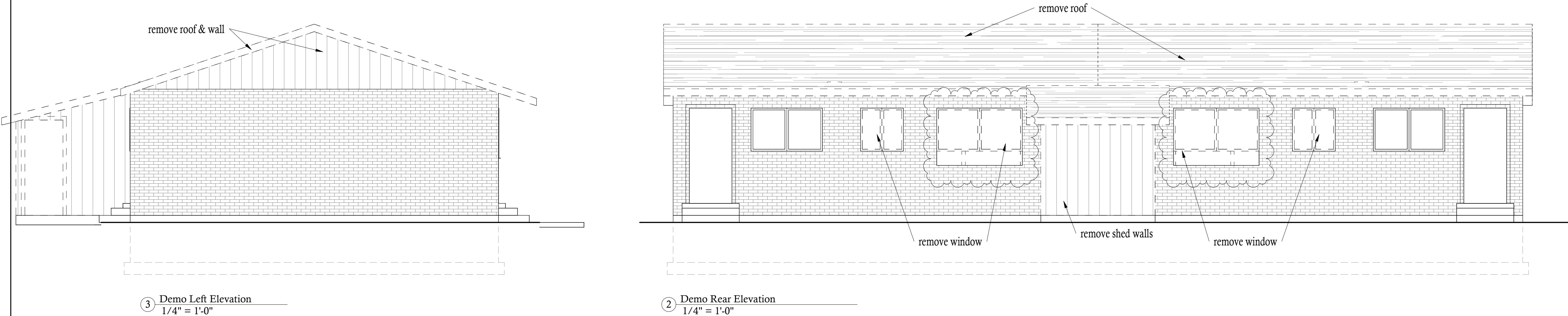
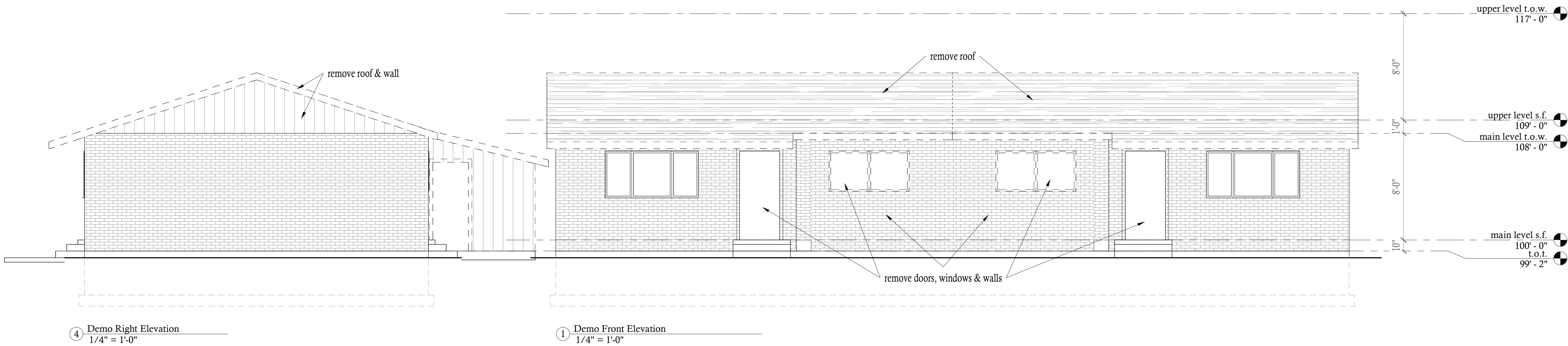
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DEMO
ELEVATIONS

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A6



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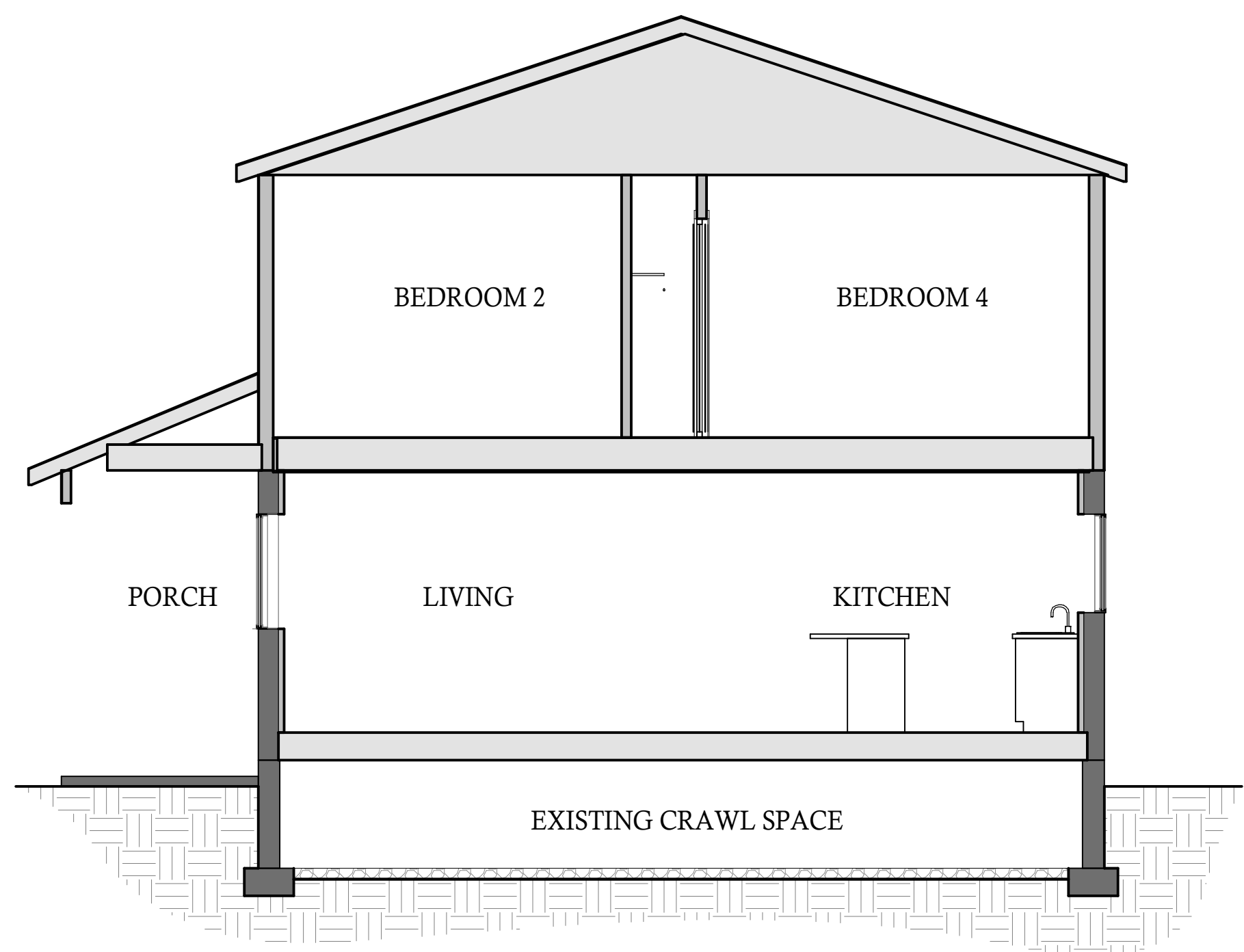
ELEVATIONS

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A7





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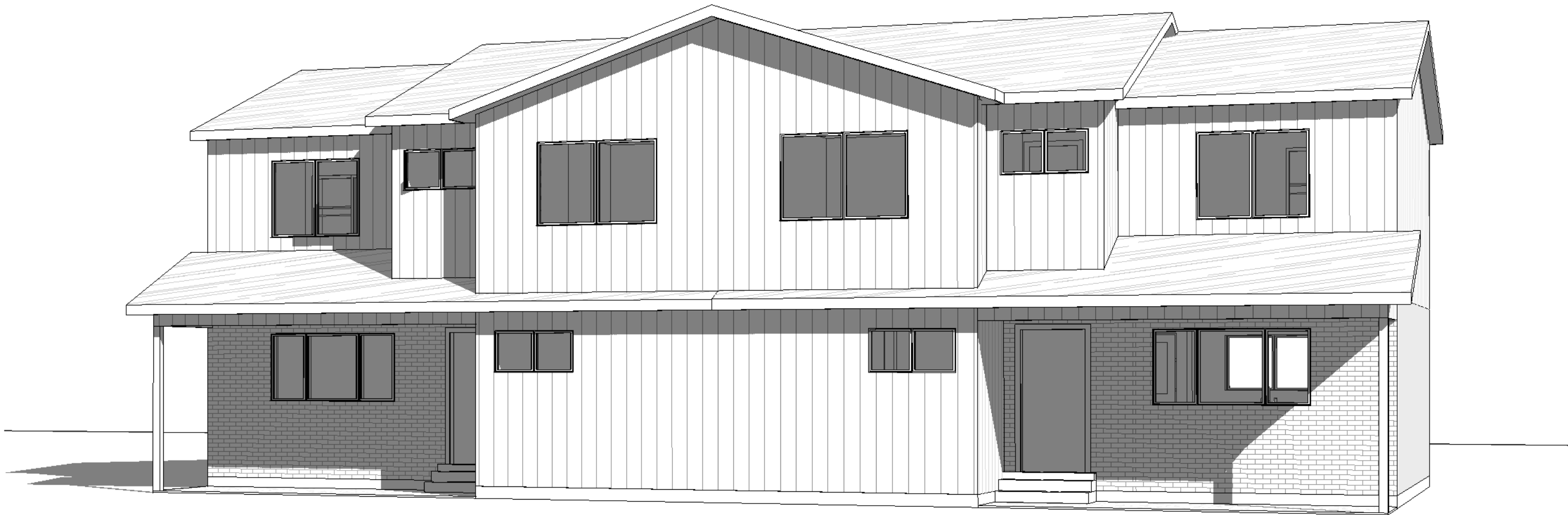
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PERSPECTIVES

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A9



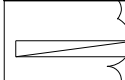




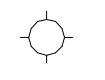
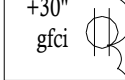

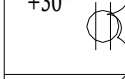
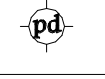

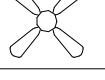
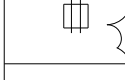
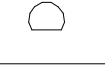
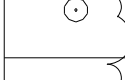
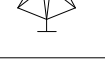



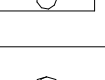



Durfee Twinhomes

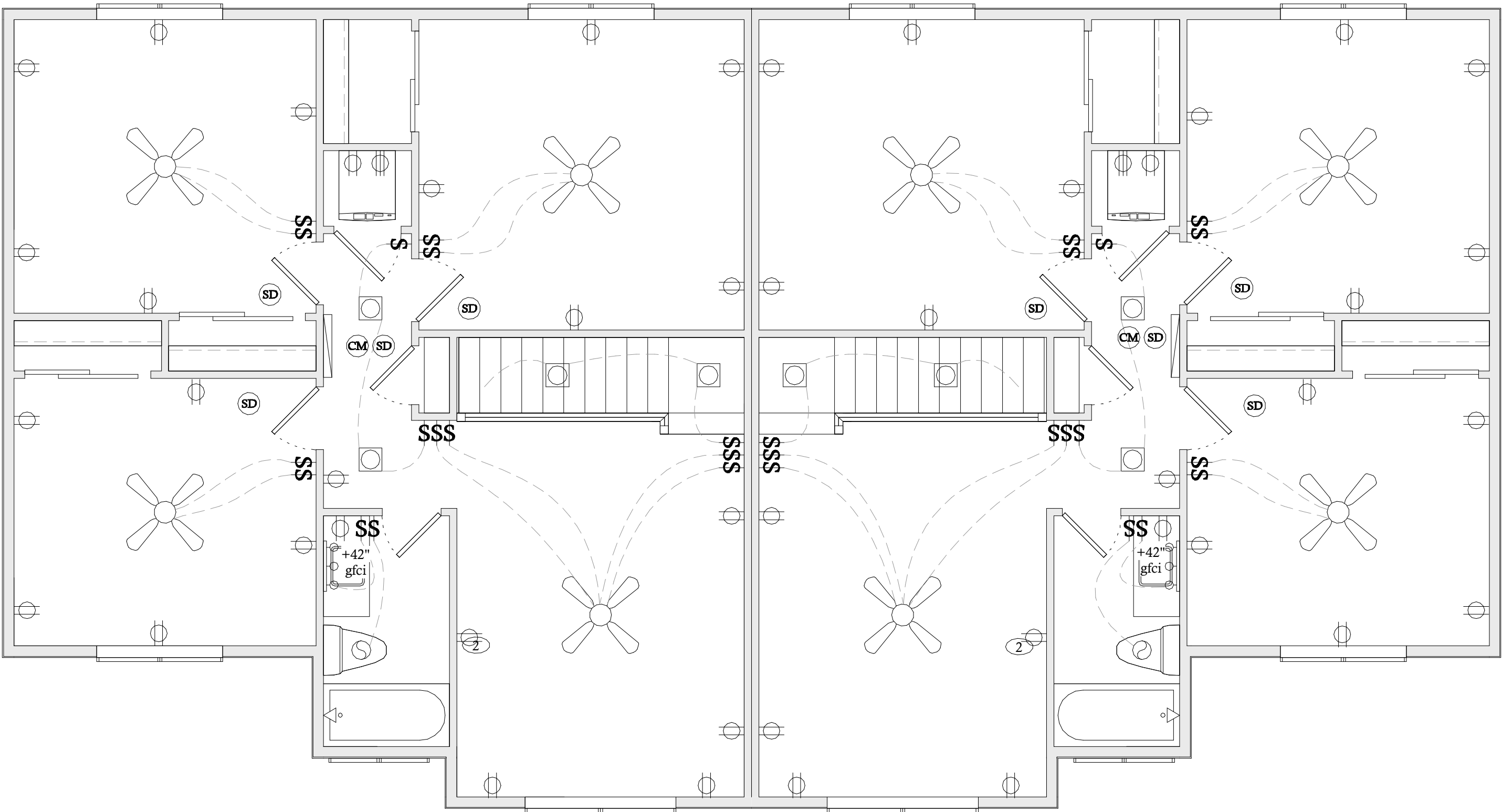
241 West & 243 West 310 North
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NOTES

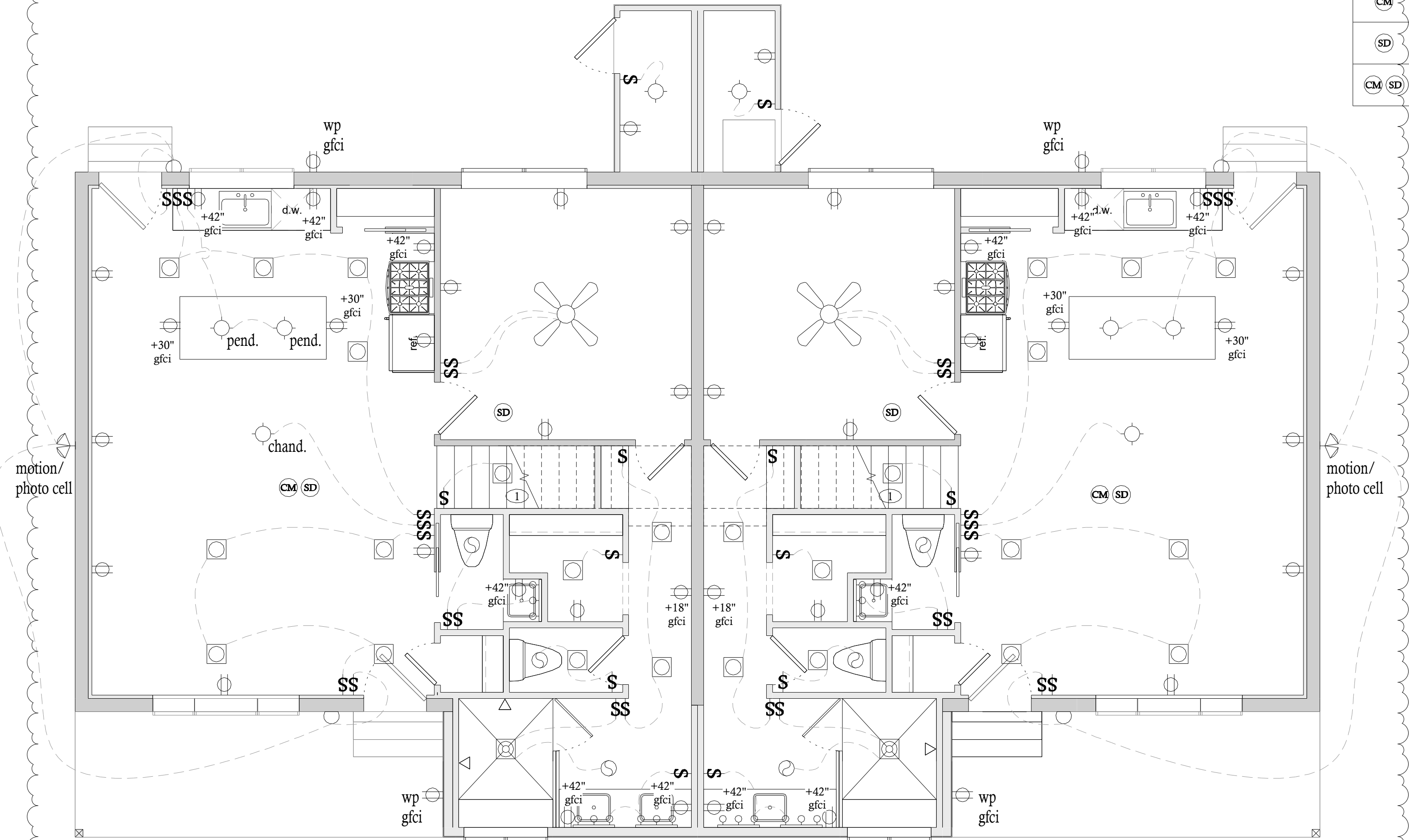
- 1 To above
- 2 To below
- 3 Provide 110 power for dishwasher & disposal
- 4 All exterior outlets including eaves are to be GFCI protected
- 5 All outlets to be tamper resistant
- 6 Provide arc-fault protection on all branch circuits serving bedrooms
- 7 Provide carbon monoxide detectors
- 8 Provide smoke detectors in all bedrooms, and in all rooms with sloped ceilings next to hall servings bedrooms. All smoke detectors shall be hard-wired, interconnected, and have battery backup

ELECTRICAL SCHEDULE

	location of electrical panel		recessed fixture incandescent lamp
	location of switch pad		vapor barrier recessed fixture incandescent lamp
	110 volt outlet		ceiling mounted incandescent lamp
	110 volt gfcı outlet mounted at noted height a.f.f.		ceiling mounted chandelier incandescent lamp
	110 volt outlet mounted at noted height a.f.f.		ceiling mounted pendant incandescent lamp
	220 volt outlet		ceiling mounted fan incandescent lamp
	110 volt floor outlet		wall sconce incandescent lamp
	110 volt ceiling outlet		flood light incandescent lamp
	data/CAT6/telephone/cable TV outlet		wall mounted fixture incandescent lamp
	carbon monoxide detector		as per owner fluorescent lamp
	smoke detector		ceiling mounted fan
	carbon monoxide/smoke detector combo		



2 Upper Floor Electrical Plan
1/4" = 1'-0"



1 Main Floor Electrical Plan
1/4" = 1'-0"

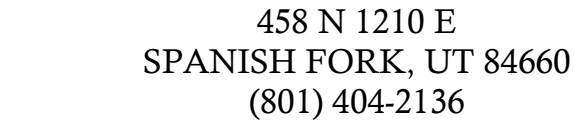
DRAWING TITLE:

ELECTRICAL PLANS

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A10

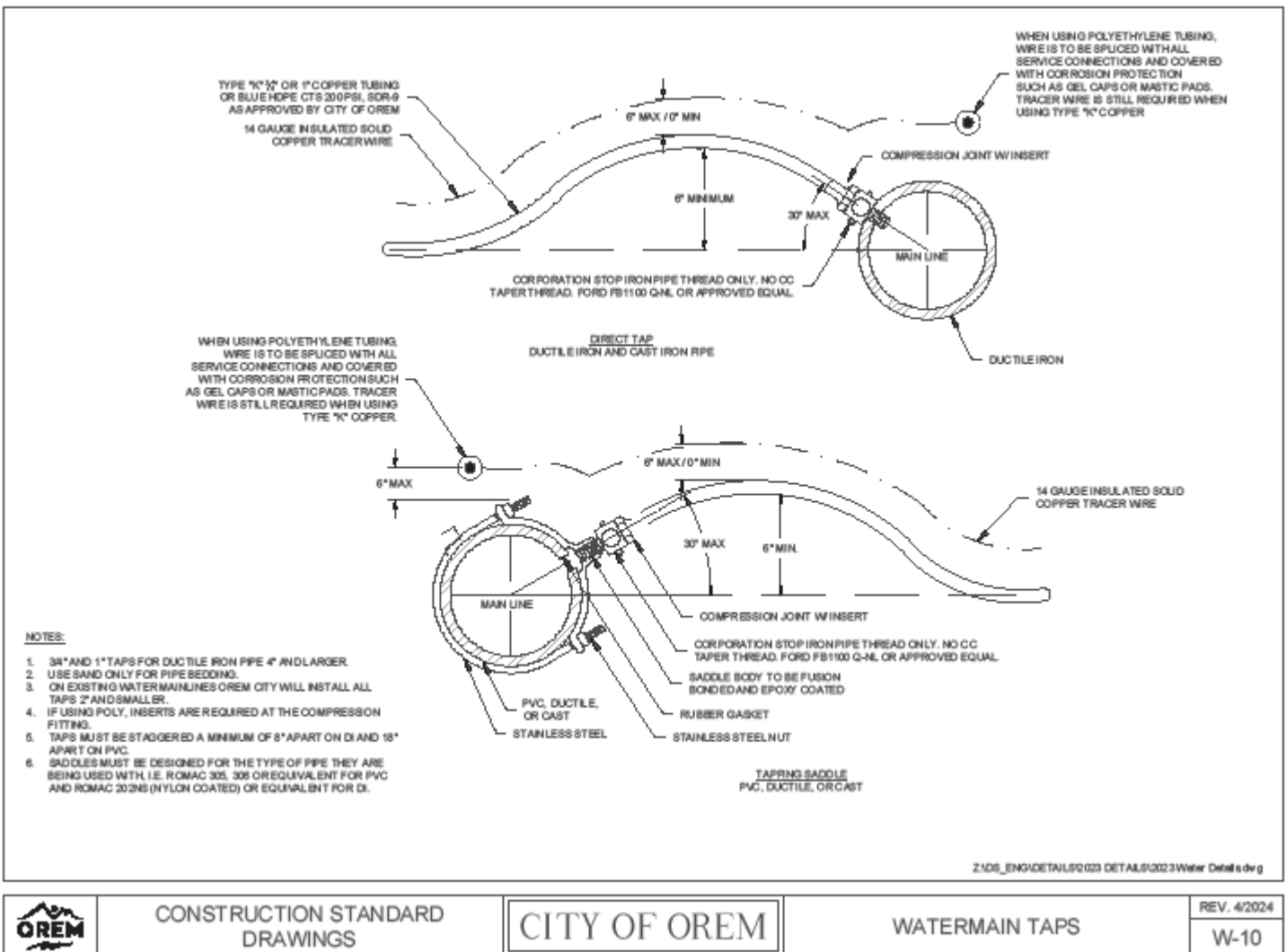
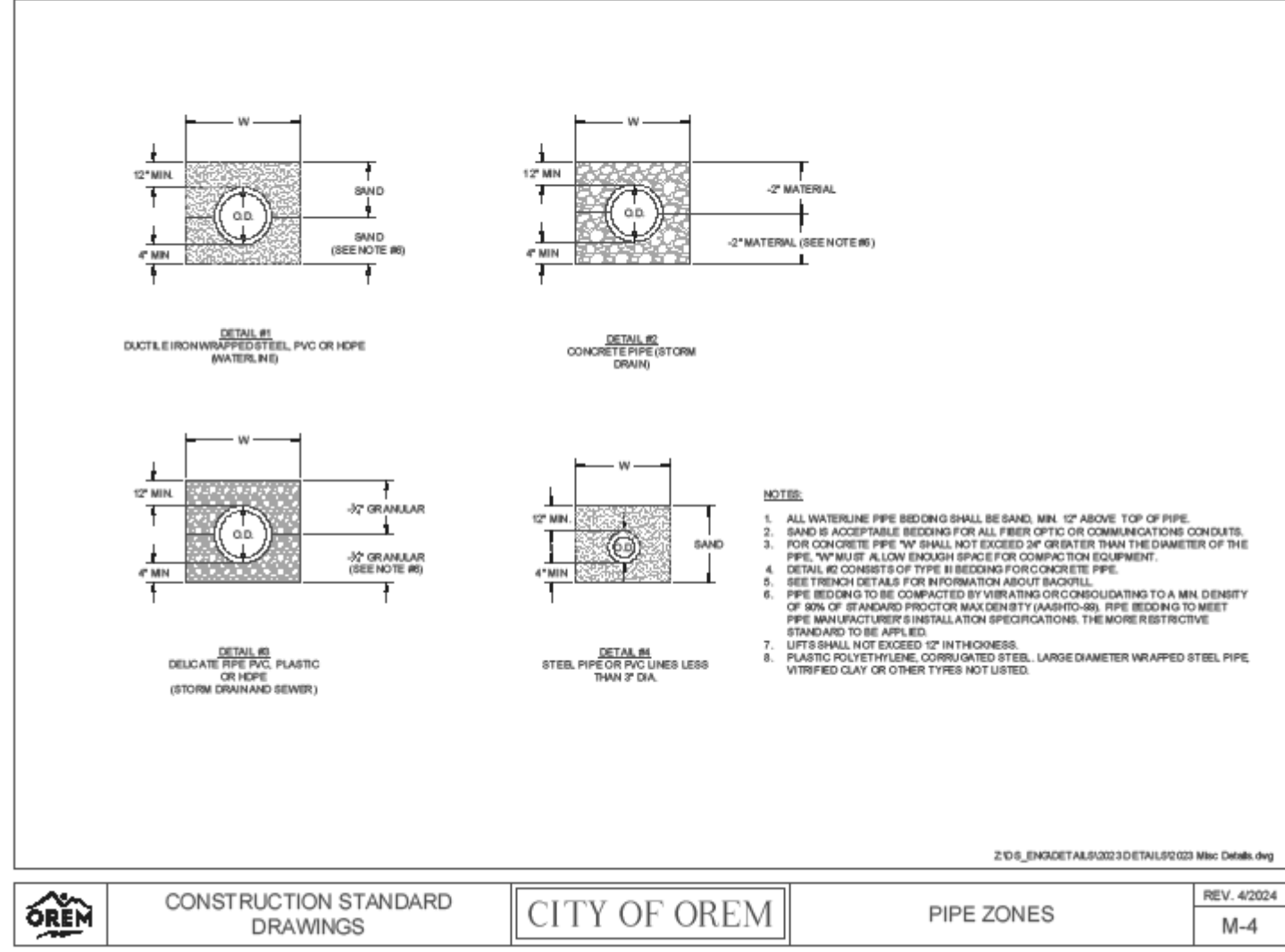
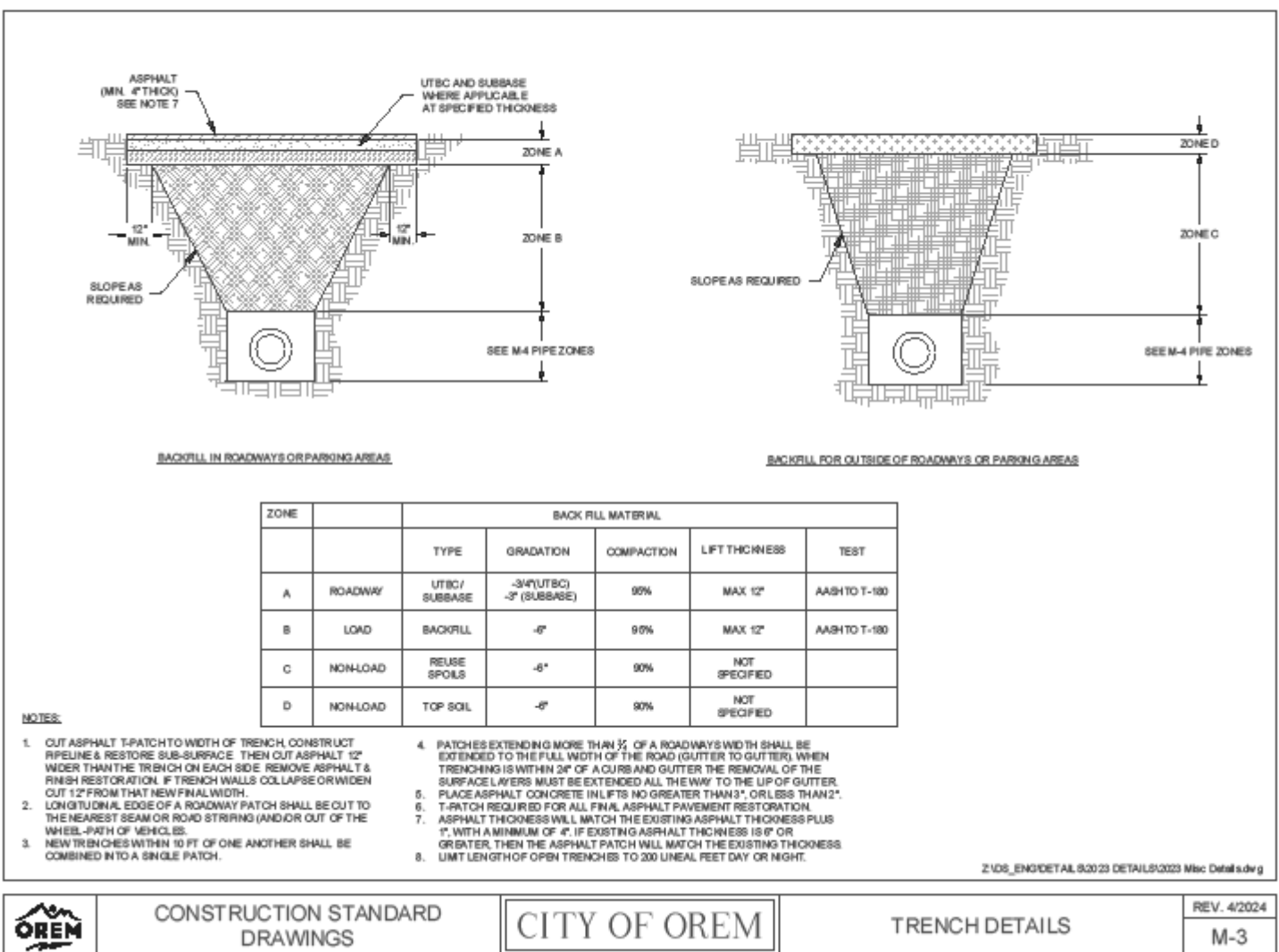


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DETAILS

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GENERAL

1. Specific notes and details in the drawings shall govern over the structural notes and typical details.
2. Typical details and sections shall apply where specific details are not shown.
3. The contractor shall verify all site conditions and dimensions. If actual conditions differ from those shown in the contract drawings, the contractor shall immediately notify the engineer before proceeding with the fabrication or construction of any affected elements.
4. The contractor shall submit a written request to the architect/engineer before proceeding with any changes, substitutions or modifications. Any work done by the contractor before receiving written approval will be at the contractor's risk.
5. The contractor shall coordinate with all trades any items that are to be integrated into the structural system such as openings, penetrations, mechanical and electrical equipment, etc. Sizes and locations of mechanical and other equipment that differs from those shown on the contract drawings shall be reported to the architect/engineer.
6. The contractor shall provide adequate shoring and bracing as required for the chosen method of erection. Shoring and bracing shall remain in place until final connections for the permanent members are completed. The building shall not be considered stable until all connections are completed. Walls shall not be considered self supporting and shall be braced until the roof system is completed.

BASIS OF DESIGN

1. Governing Code

1.1 Risk Category

1.2 Snow Loads

1.2.1 Ground Snow Load

1.2.2 Snow Importance Factor

1.2.3 Snow Exposure Coefficient

1.2.4 Thermal Exposure Coefficient

1.2.5 Roof Snow Load

3. Roof Live Load

4. Seismic Loads

4.1 Seismic Importance Factor, I

4.2 Seismic Design Category

4.3 Site Specific Ground Motion Hazard Analysis

4.4 Mapped Spectral Acceleration

4.5 Soil Site Class

4.6 Soil Site Coefficients

4.7 5% Damped Design Spectral Response Acceleration

4.8 Seismic-Force-Resisting System

4.9 Response Modification Coefficient

4.10 System Over-strength Factor

4.11 Deflection Amplification Factor

4.12 Redundancy Factors

4.13 Fundamental Building Period

4.14 Seismic Resopnse Coefficient

4.15 W

4.16 Base Shear

4.17 Analysis Procedure

5. Wind Loads

5.1 Basic Wind Velocity (3 Second Gust)

5.2 Exposure Type

5.3 Internal Pressure Coefficient, GCpi

5.4 Topographic Factor, Kzt
- IBC 2021/IRC 2021

II

P = 35 psf

I = 1.0

C = 1.0

C = 1.1

P = 27 psf

20 psf

1.0

D

Not Required per exceptions in section 11.4.8 of ASCE 7

S_S = 1.369g

S_I = 0.503g

D

F_a = 1.2

S_{ds} = 2/3 * F * S = 1.095g

Light Framed Wood Sheathed Shear Wall

R = 6.5

Q = 3

C = 4.0

px = 1.0; py = 1.0

T = 0.14 seconds

Cs = S * I / R

Cs = S * I / (R*T)

Dead Loads of Structure

Vx = C * W = 0.154 * W

Vy = C * W = 0.154 * W

Equivalent Lateral Force (Static)

115 mph

B

+/-0.18

1.0

FOUNDATION

1. Soils Investigation Report:
2. Soils bearing pressure:
3. Frost Protection:
4. Clear excavations of debris and loose soil prior to placing footings. All footings shall bear on undisturbed natural sub-grade or engineered compacted fill as noted in these drawings.

EARTHWORK

1. Prior to construction, the contractor shall verify that the soil conditions are adequate for 1500 psf allowable soil bearing pressure. If needed, structural fill shall be provided beneath footings.
2. Clearing: Remove all existing structures and associated foundations, slabs, fencing, asphalt, concrete, and incidental structures as necessary for project completion. The building area shall be stripped of all vegetation, topsoil and debris. Following stripping, all fill soils and any remaining loose natural soils shall be excavated to expose competent natural soils.
3. All footing preparation shall comply with the above referenced Soils Investigation Report.

CONCRETE

1. Materials, unless noted otherwise:
- 1.1 Normal weight aggregates
- 1.1.1 Maximum Aggregate Size shall nto be larger than:
- 1.1.2 3.1/2" or 1/5 the narrowest dimensions of the forms
- 1.1.3 1/3 the depth of the slab
- 1.1.4 3/4 the minimum clear spacing between bars
- 1.2 Reinforcing Steel
- 1.3 Anchor Rods
- 1.4 Typical, uno
- 1.5 Admixtures:
- 1.5.1 Air-entraining admixtures shall comply with ASTM C 260 (when used).
- 1.5.2 Calcium chloride shall not be added to the concrete mix.
- 1.5.3 Water-reducing admixture shall comply with ASTM C 494/C 494M, Type A (when used).
- 1.5.4 Retarding admixture shall comply with ASTM C 494/C 494M, Type B (when used).
- 1.5.5 Water-reducing and retarding admixture shall comply with ASTM C 494/C 494M Type G (when used).
- 1.5.6 High-range, water reducing admixture shall comply with ASTM C 494/C 494M, Type F (when used).
- 1.5.7 High-range, water-reducing and retarding admixture shall comply with ASTM C 494/C 494M Type G (when used).
- 1.5.8 Admixture manufacturer shall have ISO 9001 Quality Certification. To ensure compatibility all admixtures shall be from the same manufacturer.
- 1.6 Type I/II cement complying with ASTM C-150 shall be used for all concrete. Cement source shall remain the same for the entire job.
- 1.7 The water/cementitious materials ratios shall meet the requirements of Table 19.3.2.1 of ACI 318-14.
- 1.8 No aluminum conduit or product containing aluminum or any other material injurious to concrete shall be embedded in the concrete.
2. Compressive strengths of concrete at 28 days shall be as follows:
- 2.1 Exterior Footings and Foundation Walls
- 2.2 Strength
- 2.3 Interior Slabs on Grade
- 2.4 Strength
- 2.5 Classification
3. Only one grade or type of concrete shall be poured on the site at any given time.
4. The conctractor shall be responsible for the design, detailing, care, placement and removal of all formwork and shores.
- 4.1 Supporting forms and shoring shall not be removed until structural members have acquired sufficient strength to safely support their own weight and any construction load to which they may be subjected. In no case, however, shall forms and shoring be removed in less than 24 hours after concrete placement.
5. Reinforcement shall have the following concrete cover:
- 5.1 Cast-in place Concrete
- 5.2 Clear Cover
- 5.3 i. Cast against and permanently exposed to earth
- 5.4 ii. Formed concrete exposed to earth or weather:
- 5.5 #6 thru #18 bars
- 5.6 #5 and smaller bars
6. Detailing:
- 6.1 Lap splice lengths shall be detailed to comply with the "Concrete Reinforcing Bar Lap Splice Schedule" on Sheet SD2. Splices may be made with mechanical splices capable of 125% tension capacity of the bar being spliced. Mechanical splices shall be the positive connecting type coupler and shall meet all International Building Code requirements and shall have a current ICC-ES report or IAPMO Certification. Use "Lenton" Standard Couplers (ICC ER-3967), "Bar-Lock" (ICC ESR-2495) or equal with internal protector. If mechanical splices are used, splices or couplers on adjacent bars shall be staggered a minimum of 24" apart along the longitudinal axis of the reinforcing bars.
- 6.2 At joints, provide reinforcing dowels to match the member reinforcing, unless noted otherwise.
- 6.3 At all discontinuous control or construction slab on grade joints, provide 2 - #4 x 48".
- 6.4 Corner Bars: Provide corner bars at intersecting wall corners using the same bar size and spacing as the horizontal wall reinforcing. Corner bars shall lap the horizontal reinforcing with the required lap splice length.
- 6.5 All vertical reinforcing shall be doweled to footings, or to the structure below with the same size and spacing as the vertical reinforcing for the element above. Dowels extending into footings shall terminate with a 90-degree standard hook and shall extend to within 4" of the bottom of the footing. Footing dowels (#8 bars and smaller) with hooks need not extend more than 20" into footings.
7. Construction Joints, Control (Contraction) Joints:
- 7.1 Construction joints in all horizontal and vertical construction joints including between top of footing and foundation walls shall be intentionally roughened to a full amplitude of approximately 1/4". The laitance on the concrete (thin, flaky layer of harden, weakened hydrated cement) shall be mechanically removed from the surface after the concrete has acheived final set. Construction joints in slabs on grade shall not exceed a distance of 125'-0" o.c. in any direction.
- 7.2 Control joints shall be installed in slabs on grade so the length to width ratio of the slab is no more than 1.25:1. Control joints shall be completed as soon as final set is achieved and it is okay to operate the cutter on the slab. Final set is typically achieved withint the first 4-12 hours after the slab has been finished in an area (depending on weather conditions and concrete hydration rate; 4 hours in hot weather to 12 hours in cold weather). For early entry saw cutting, joints should be cut within the first 1 to 4 hours (depending on weather conditions and concrete hydration rate; 1 hour for hio weather and 4 hours for cold weather). Where saw cut joints cannot be cut along the entired projected length of the joints, a 90 degree hand grinder or other tool shall be used to complete the joint. Control joints may be installed by:
- 7.3 i. Saw cut a depth of 1/4 the thickness of the slab (1.1/4"± for early entry saws) minimum.
- 7.4 ii. Tooled joints a depth of 1/4 the thickness of the slab.
8. Construction
- 8.1 Use chairs or other support devices recommended by the CRSI to support and tie reinforcement bars prior to placing concrete.
- 8.2 Concrete to be mechanically consolidated during placement per ACI standards.
- 8.3 Contractor shall coordinate placement of all openings, curbs, dowels, sleeves, conduits, bolts, inserts and other embedded items prior to concrete placement.
- 8.4 All embeds, anchors and dowels shall be securely tied to formwork or to adjacent reinforcing prior to the placement of concrete.
- 8.5 No pipes, ducts, sleeves, etc. shall be placed in structural concrete unless specifically detailed or approved by the structural engineer. Penetrations through walls when approved shall be built into the wall prior to concrete placement. Penetration will not be allowed in footings or grade beams unless detailed. Piping shall be routed around footings and grade beams and unless detailed. Footings shall be stepped to avoid piping.

WOOD

1. Materials:
- 1.1 Dimensional Lumber
- 1.2 All dimensional lumber shall be #2 Douglas Fir-Larch or better unless noted otherwise.
- 1.3 Glulam Lumber
- 1.4 Shall be DF 24F-V4 grade or better.
- 1.5 Engineered Lumber
- 1.6 Engineered lumber shall be provided by manufacturer of the products specified on these structural drawings. If an alternative manufacturer is proposed, the contractor shall submit a revised engineered lumber list, prior to construction, that includes the following information:
- 1.7 1. Specified lumber product as indicated on these structural drawings
- 1.8 2. Proposed substitution lumber product
- 1.9 3. Documentation that includes a comparison of the section properties and material strengths of the proposed substitution lumber product compared to that of the specified lumber product.
- 1.10 Laminated Veneer Lumber (LVL) shall be Micro-Lam 1.9E by Trus-Joist Corporation, Versa-Lam 2.0E Boise Cascade Corporation, RedLam 2.0E by RedBuilt, SolidStart LVL 2.0E by LP Corporation or RigidLam 2.0E by Roseburg or an approved equal.
- 1.11 Wood I-Joist shall be TJI or equivalent.
- 1.12 Sheathing
- 1.13 Wood sheathing shall meet the minimum performance criteria given in APA PRP-108, Performance Standards and Policies for Structural-Use Panels, Form E445, Voluntary Product Standard PS 1 & PS 2 and Performance Standard for Wood-Based Structural-Use Panels, Form S350, and Structural Plywood, FOrm H860. Panels shall be unsanded plywood or oriented strand board (OSB) and shall be interior grade with exterior glue and have the minimum following thickness and span rating indicated in the "Plan Notes" on sheet S-101.
- 1.14 Fasteners
- 1.15 General framing and carpentry shall be connected as per "Minimum Nailing Schedule" on sheet SD2 unless noted otherwise.
- 1.16 Bolts for general wood to wood connections shall be ASTM A307A or A36 with ASTM A563A hex nuts and ATSM F844 washers, Grade A, unless noted otherwise.
- 1.17 Framing connectors:
- 1.18 All framing anchors, connectors, post caps, hold downs, column bases, joist hangers, etc. shall be provided by Simpson Strong-Tie as indictated on these plans. If the contractor elects to substitute for another manufacturer, the contractor shall submit a revised connector list, prior to construction, that includes the following information:
- 1.19 1. Specified connector indicated on these plans
- 1.20 2. Requested subsitution connector
- 1.21 3. Allowable capacity of the requested subsitution connector
2. All wood in contact with concrete or soil shall be pressure treated.
3. Built-up beams and columns shall be constructed as per "Built-up Wood Member Detail" on sheet 3-S200 unless noted otherwise.
4. All walls shall have a minimum of two top plates. Splices in top plates shall be staggered a minimum of 4 ft from the nearest splice in adjoining top plate.

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DRAWING TITLE:

STRUCTURAL
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Job # 25 UHD 026
October 2, 2025

SN1

NOTES:

1. EXTERIOR WALLS TO BE 2X6 AT 16" O.C. UNO
2. ALL WALLS TO BE SHEATHED WITH 3/8" APA RATED OSB FASTENED WITH 8d NAILS AT 6" O.C. EDGE/12" O.C. FIELD UNO.
3. SEE ROOF AND FLOOR SHEATHING AND NAILING REQUIREMENTS ON DETAIL 2 ON SHEET SD2.
4. (2) TRIMMER STUDS AND (2) KING STUDS SHALL BE PROVIDED AT ALL WOOD STUD WALL OPENINGS AND BEAM SUPPORTS UNO.
5. SEE SHEET SD2 FOR TYPICAL DETAILS NOT SHOWN ON PLANS.

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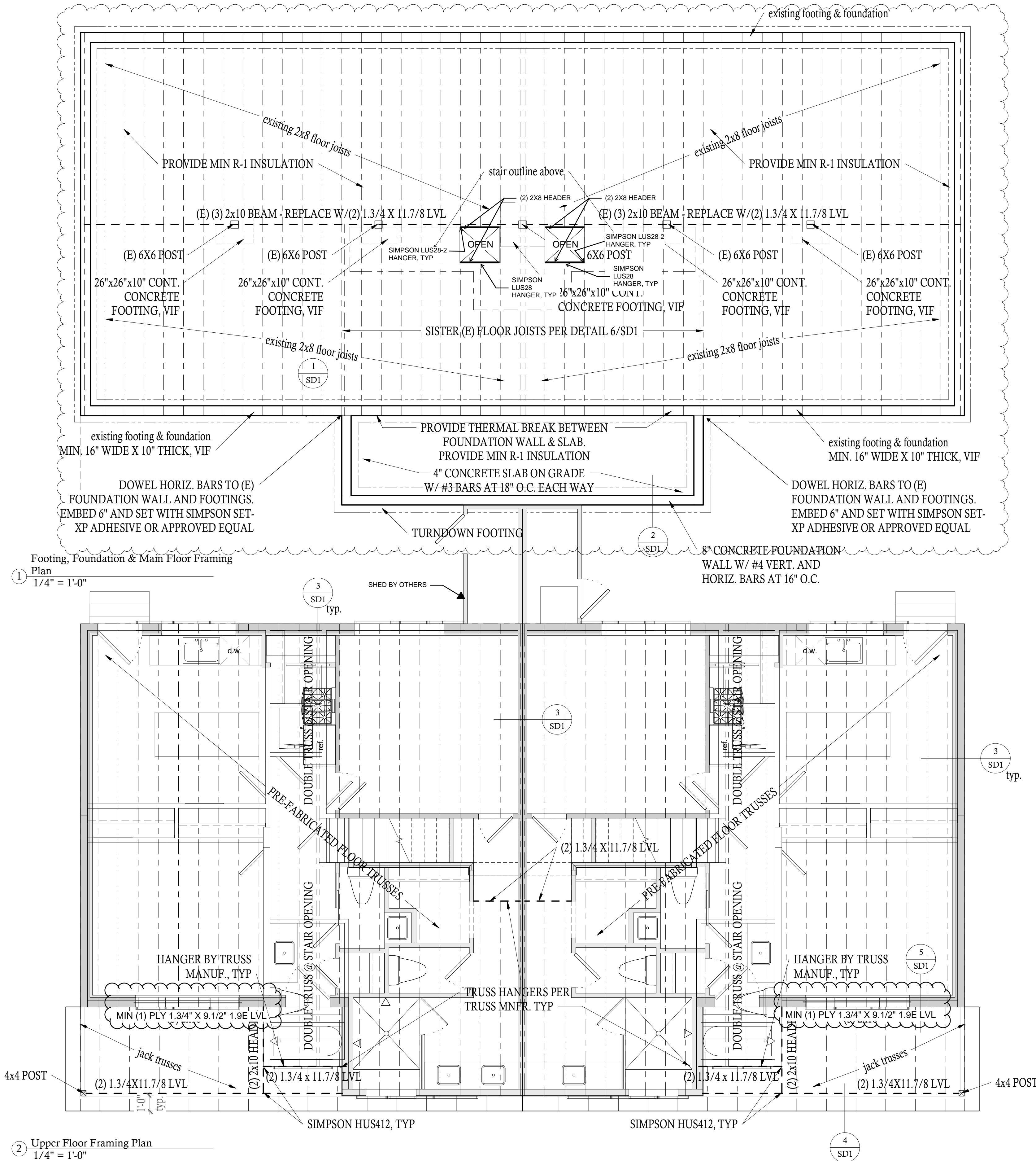
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FLOOR FRAMING PLANS

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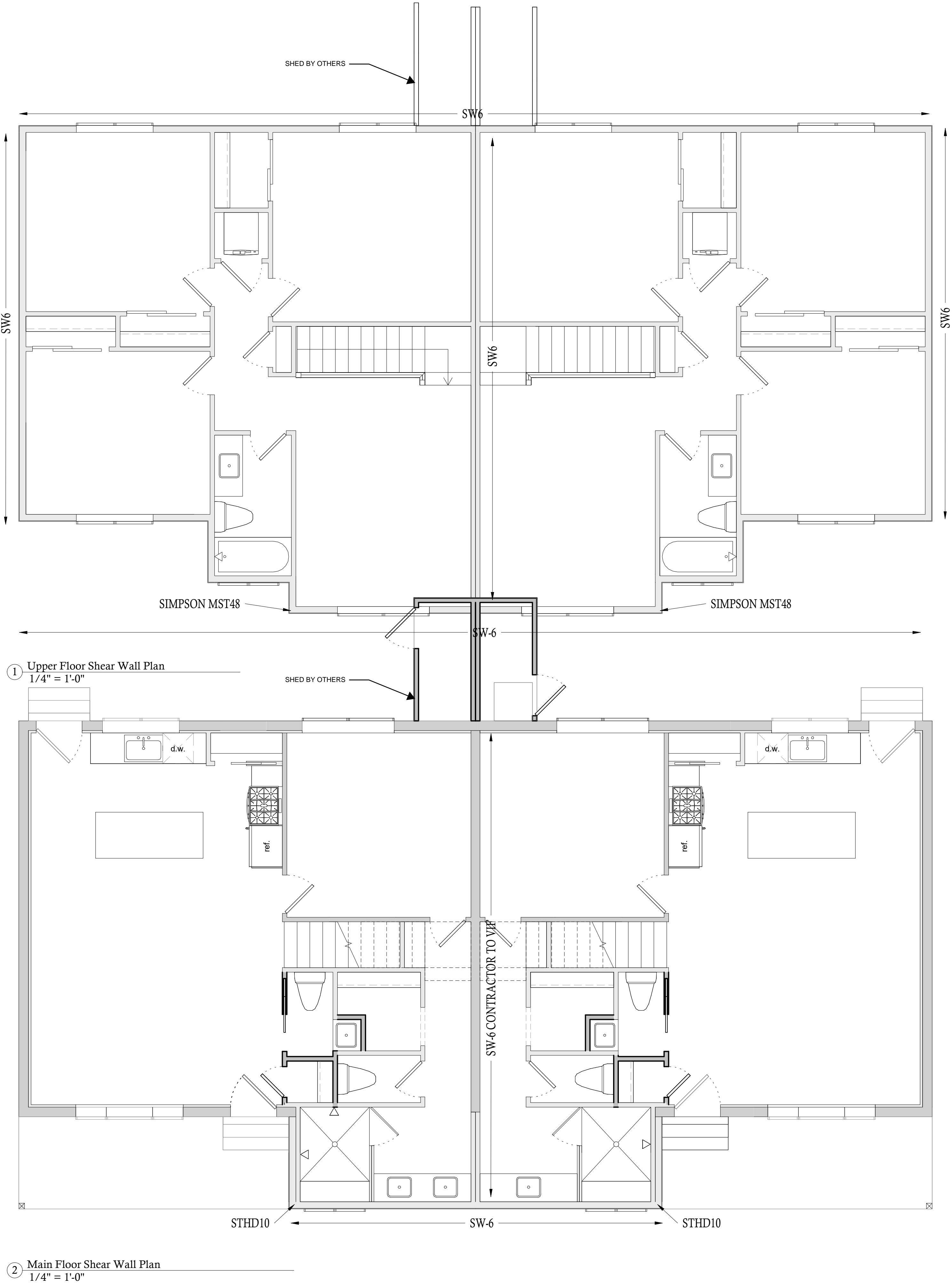
Job #25 UHD 026
October 2, 2025

S1-0



SHEAR WALL SCHEDULE			SILL PLATE CONNECTION SCHEDULE	
MARK	MATERIAL	NAILING	2nd FLOOR BOT. PLATE NAILING	1st FLOOR SILL PLATE A.B.
SW-6	3/8" CDX PLYWOOD - 1 SIDE BLOCKED	EDGES: 8d @ 6" O.C. FIELD: 8d @ 12" O.C.	16d @ 8" O.C.	1/2" Ø A.B. X 10" @ 32" O.C.
SW-4	3/8" CDX PLYWOOD - 1 SIDE BLOCKED	EDGES: 8d @ 4" O.C. FIELD: 8d @ 12" O.C.	16d @ 4" O.C.	1/2" Ø A.B. X 10" @ 24" O.C.
SW-3	3/8" CDX PLYWOOD - 1 SIDE BLOCKED	EDGES: 8d @ 3" O.C. FIELD: 8d @ 12" O.C.	NONE	1/2" Ø A.B. X 10" @ 16" O.C.
SW-2	3/8" CDX PLYWOOD - 1 SIDE BLOCKED	EDGES: 8d @ 2" O.C. FIELD: 8d @ 12" O.C.	NONE	1/2" Ø A.B. X 10" @ 8" O.C.
NOTES: 1. PROVIDE DOUBLE FULL HEIGHT STUDS AT SHEAR WALL ENDS EXCEPT FOR SIMPSON SW AND / OR AS OTHERWISE NOTED. STUD SPACING SHALL NOT EXCEED 16" ON CENTER. 2. PROVIDE A MINIMUM OF TWO ANCHORS IN SHORTER WALLS. ANCHOR BOLTS AT END OF WALL SHALL NOT BE OVER 12" FROM THE END. 3. PROVIDE 0.229"X3"X3" STEEL PLATES ON ALL ANCHOR BOLTS.				

HOLD DOWN SCHEDULE		
MARK	DESCRIPTION	
(A)	SIMP. STHD10 W/24-16d SINKERS INTO MIN. (2) 2X STUDS	-



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DRAWING TITLE:

SHEAR WALL PLANS

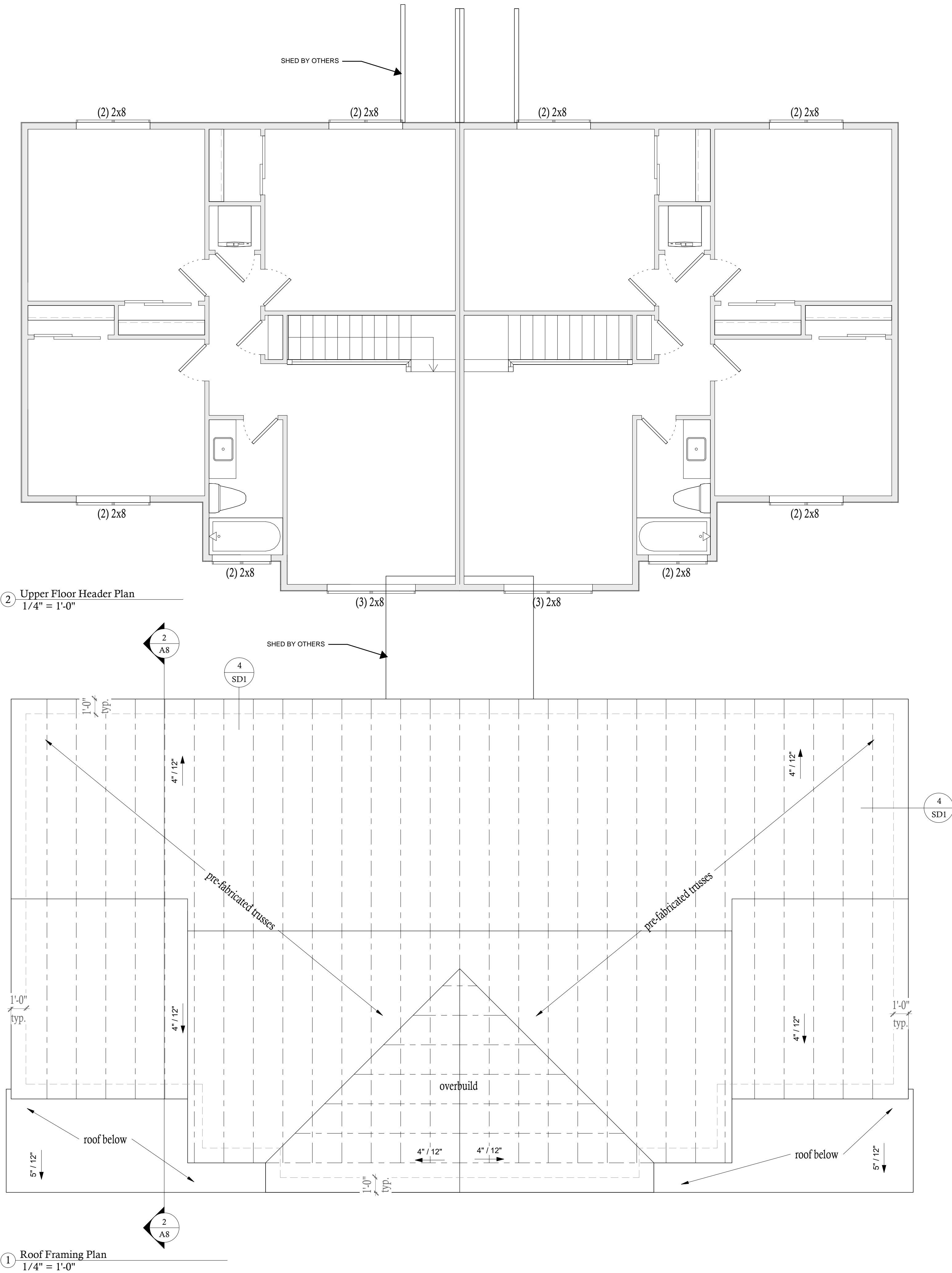
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Job #25 UHD 026
October 2, 2025

S1-1

NOTES:

1. EXTERIOR WALLS TO BE 2X6 AT 16" O.C. UNO
2. ALL WALLS TO BE SHEATHED WITH 3/8" APA RATED OSB FASTENED WITH 8d NAILS AT 6" O.C. EDGE/12" O.C. FIELD UNO.
3. SEE ROOF AND FLOOR SHEATHING AND NAILING REQUIREMENTS ON DETAIL 2 ON SHEET SD2.
4. (2) TRIMMER STUDS AND (2) KING STUDS SHALL BE PROVIDED AT ALL WOOD STUD WALL OPENINGS AND BEAM SUPPORTS UNO.
5. SEE SHEET SD2 FOR TYPICAL DETAILS NOT SHOWN ON PLANS.



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DRAWING TITLE:

ROOF FRAMING PLAN

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October 2, 2025

S3-0

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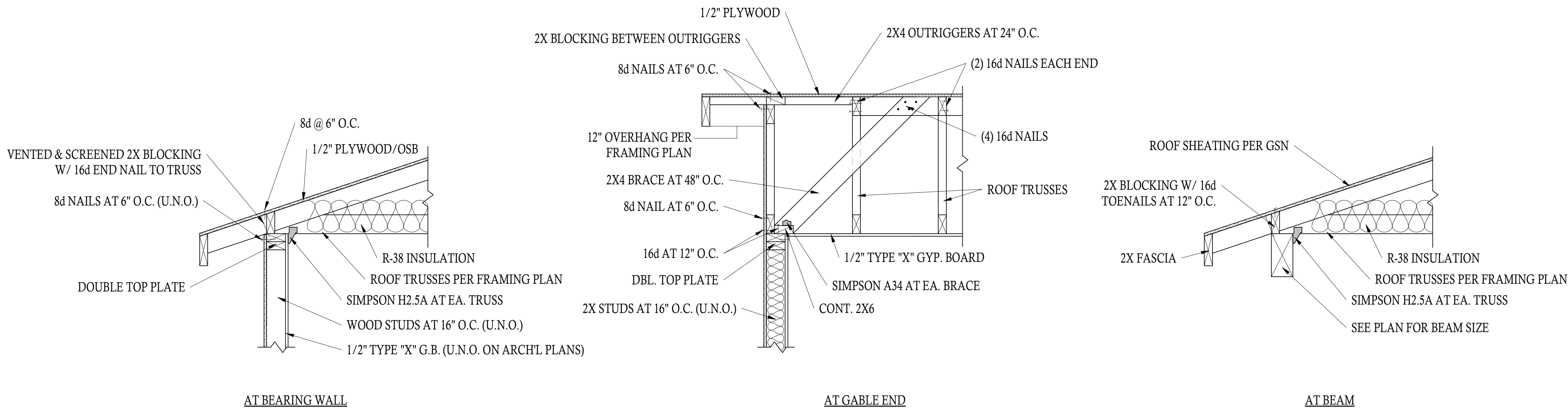
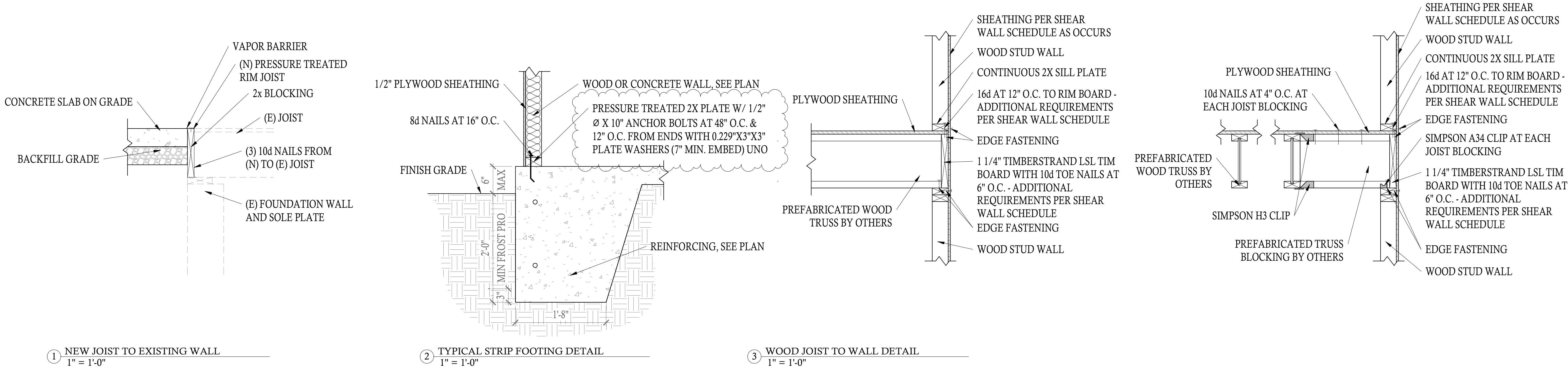
DRAWING TITLE:

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DETAILS

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October 2, 2025

SD1



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DRAWING TITLE:

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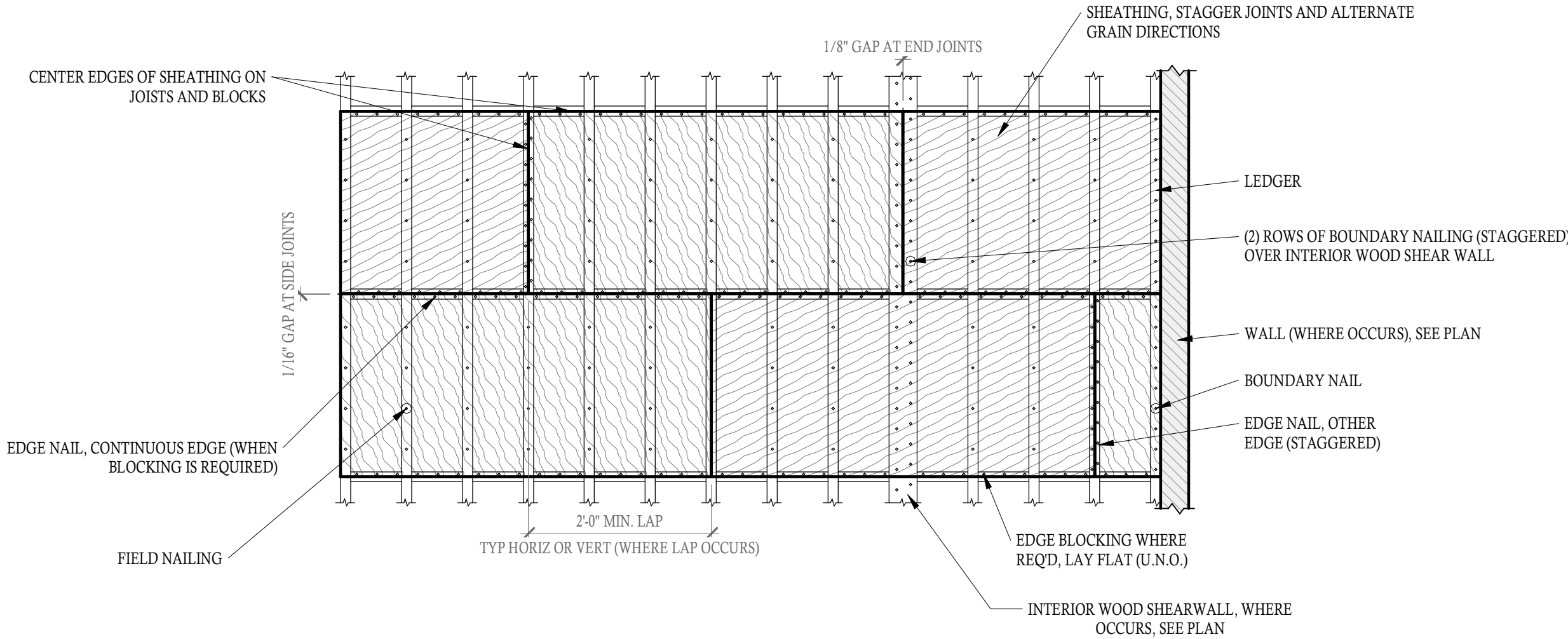
Job # 25 UHD 026
October 2, 2025

SD2

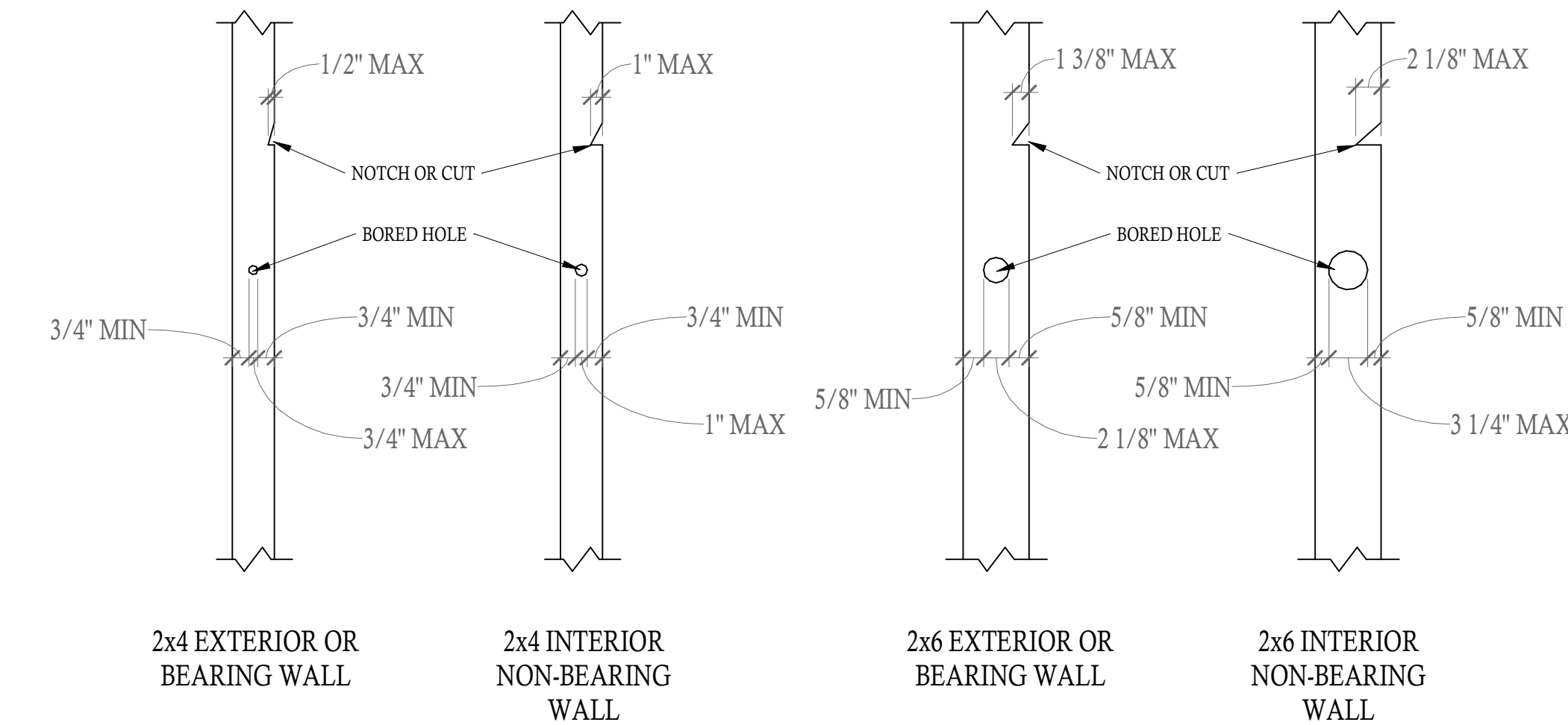
SHEATHING SCHEDULE AT ROOF AND FLOOR									
LOCATION	WOOD SHEATHING THICKNESS	SPAN RATING	NAIL SIZE	EDGE NAIL		FIELD NAIL	BOUNDARY NAIL	EDGE BLOCK	COMMENTS
				CONT. EDGE	OTHER EDGE				
ROOF	7/16"	24/0	8d	6"	6"	12"	6"	NO	TL = 36psf AT 24" O.C. SHEAR = 170plf AT 24" O.C.
FLOOR	23/32"	48/24	10d	6"	6"	12"	6"	NO	TL = 134psf AT 24" O.C. SHEAR = 215plf AT 24" O.C.

WOOD SHEATHING SHEARWALL NOTES:

- MINIMUM NAIL PENETRATION INTO FRAMING: 8d-1 1/2", 10d-1 5/8".
- USE COMMON NAILS (8d DIAMETER = 0.131", 10d DIAMETER = 0.148").
- ALL WOOD FLOOR SHEATHING SHALL BE GLUED AND NAILED. USE A CONSTRUCTION ADHESIVE.
- SEE GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

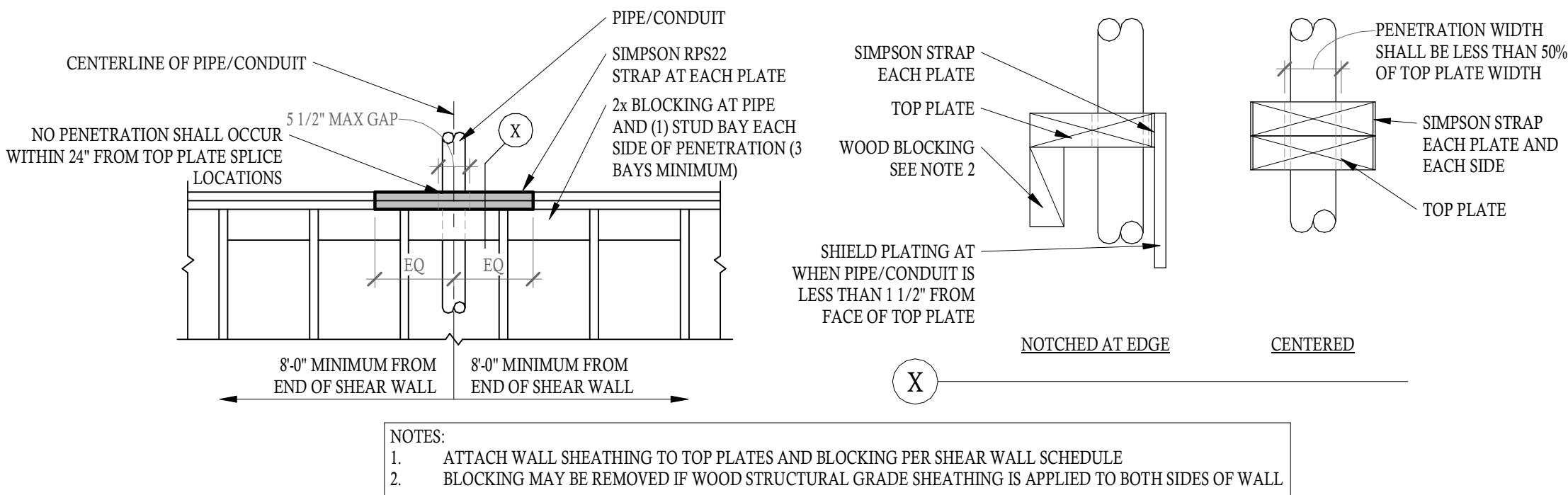


SHEATING SCHEDULE AT ROOF AND FLOOR (PLAN VIEW) DETAIL
1/2" = 1'-0"



NOTE:
NOTCH OR CUT CANNOT OCCUR AT BORED HOLE LOCATION

TYPICAL ALLOWABLE HOLES AND NOTCHES IN WOOD STUDS
1" = 1'-0"



- NOTES:
- ATTACH WALL SHEATHING TO TOP PLATES AND BLOCKING PER SHEAR WALL SCHEDULE
 - BLOCKING MAY BE REMOVED IF WOOD STRUCTURAL GRADE SHEATHING IS APPLIED TO BOTH SIDES OF WALL

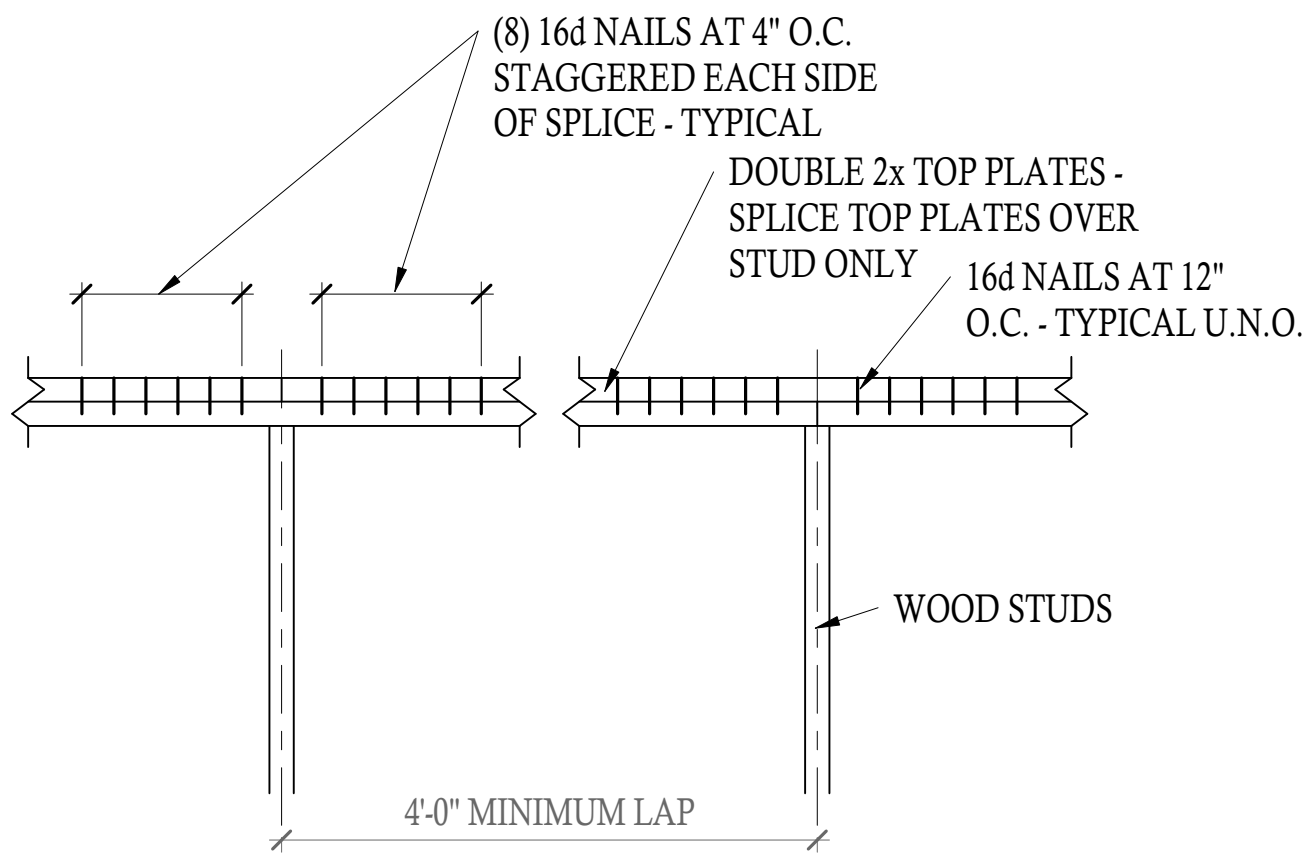
PIPE/CONDUIT PENETRATION IN SHEAR WALL TOP PLATES DETAIL
1/2" = 1'-0"

MINIMUM NAILING SCHEDULE	
CONNECTION	NAILING
SILL PLATE TO JOIST OR BLOCKING, FACE NAIL	16d AT 16" O.C.
BRIDGING TO JOIST, TOENAIL EACH END	(2) 8d
BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOE NAIL	(3) 8d
RIM JOIST TO TOP PLATE, TOE NAIL	8d AT 6" O.C.
COLLAR TIE TO RAFTER, FACE NAIL	(3) 10d
JACK RAFTER TO HIP, TOE NAIL	(3) 10d
FACE NAIL	(2) 16d
ROOF RAFTER TO 2x RIDGE BEAM, TO NAIL	(2) 16d
FACE NAIL	(2) 16d
JOIST TO BAND JOIST, FACE NAIL	(3) 16d
LEDGER STRIP, FACE NAIL	(3) 16d
TOP PLATE TO STUD, END NAIL	(2) 16d
DOUBLE SUDS, FACE NAIL	16d AT 24" O.C.
DOUBLED TOP PLATES, FACE NAIL	16d AT 16" O.C.
TOP PLATES, LAPS & INTERSECTION, FACE NAIL	(2) 16d
CONTINUOUS HEADER, TWO PIECES	16d AT 16" O.C. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOENAIL	(3) 8d
CONTINUOUS HEADER TO STUD, TOENAIL	(4) 8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(3) 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3) 16d
RAFTER TO PLATE, TOENAIL	(3) 8d
1" BRACE TO EACH STUD & PLATE, FACE NAIL	(2) 8d
BUILT-UP CORNER STUDS	16d AT 24" O.C.
BUILT-UP GIRDER & BEAMS	20d AT 32" O.C. AT TOP, BOTTOM, AND STAGGERED ON OPPOSITE SIDES. (2) 20d AT ENDS AND AT EACH SPLICE.
STUD TO SOLE PLATE, TOE NAIL	(4) 8d
STUD TO SOLE PLATE, END NAIL	(2) 16d
PLYWOOD & PARTICLEBOARD:	SEE WOOD SCHEDULE USED IN DRAWINGS FOR NAIL SIZE AND SPACING

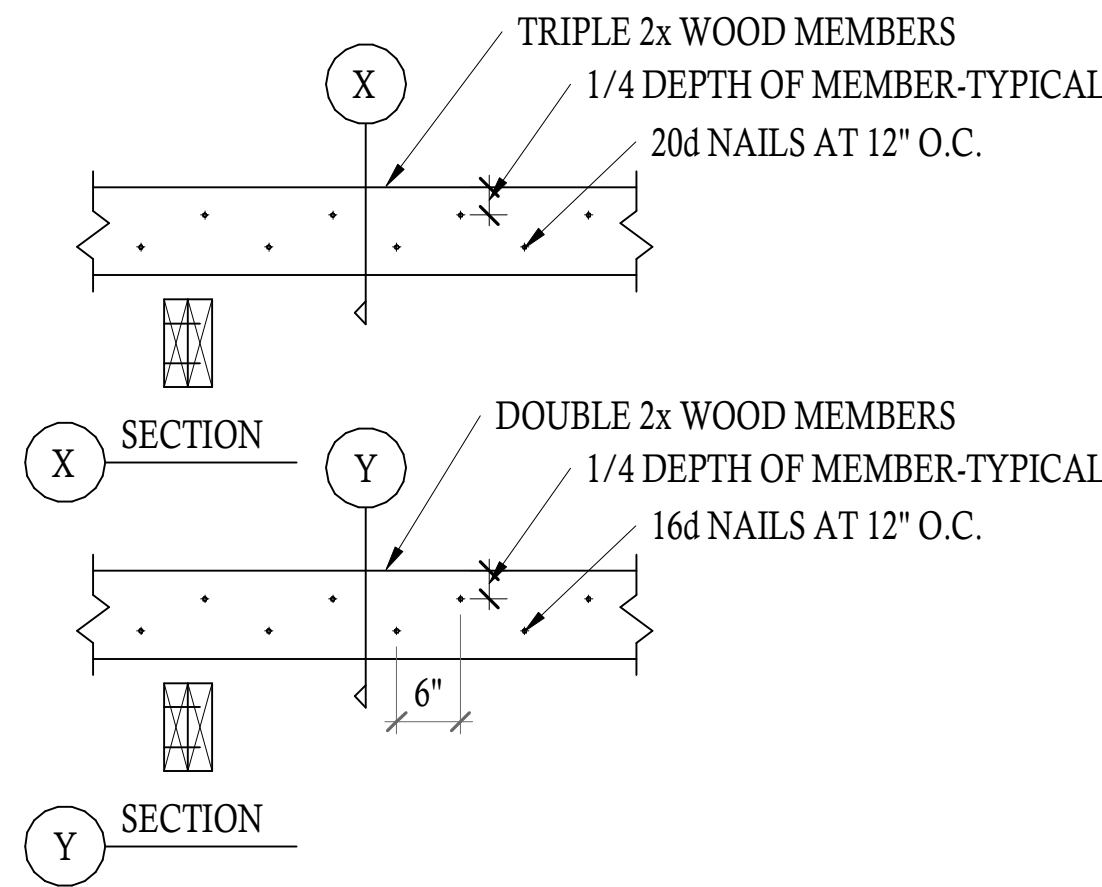
MINIMUM NAILING NOTES:

- NAILING SCHEDULE IS PER TABLE 2304.10.1 OF THE I.B.C. 2018
- NAILING REQUIREMENTS SHOWN HERE DO NOT REPLACE HARDWARE SHOWN ON THE PLANS OR DETAILS.
- MINIMUM NAIL PENETRATION INTO FRAMING: 8d-1 1/2", 10d-1 5/8", 16d-1 3/4" (U.N.O.)
- USE COMMON NAILS (8d DIAMETER = 0.131", 10d DIAMETER = 0.148", 16d DIAMETER = 0.162")
- SEE GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS

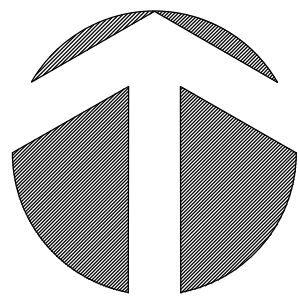
MINIMUM NAILING SCHEDULE
1/2" = 1'-0"



DOUBLE TOP PLATE SPLICE DETAIL
1" = 1'-0"



BUILT-UP WOOD MEMBERS DETAIL
1" = 1'-0"



NORTH
1" = 20'

Plat " D "

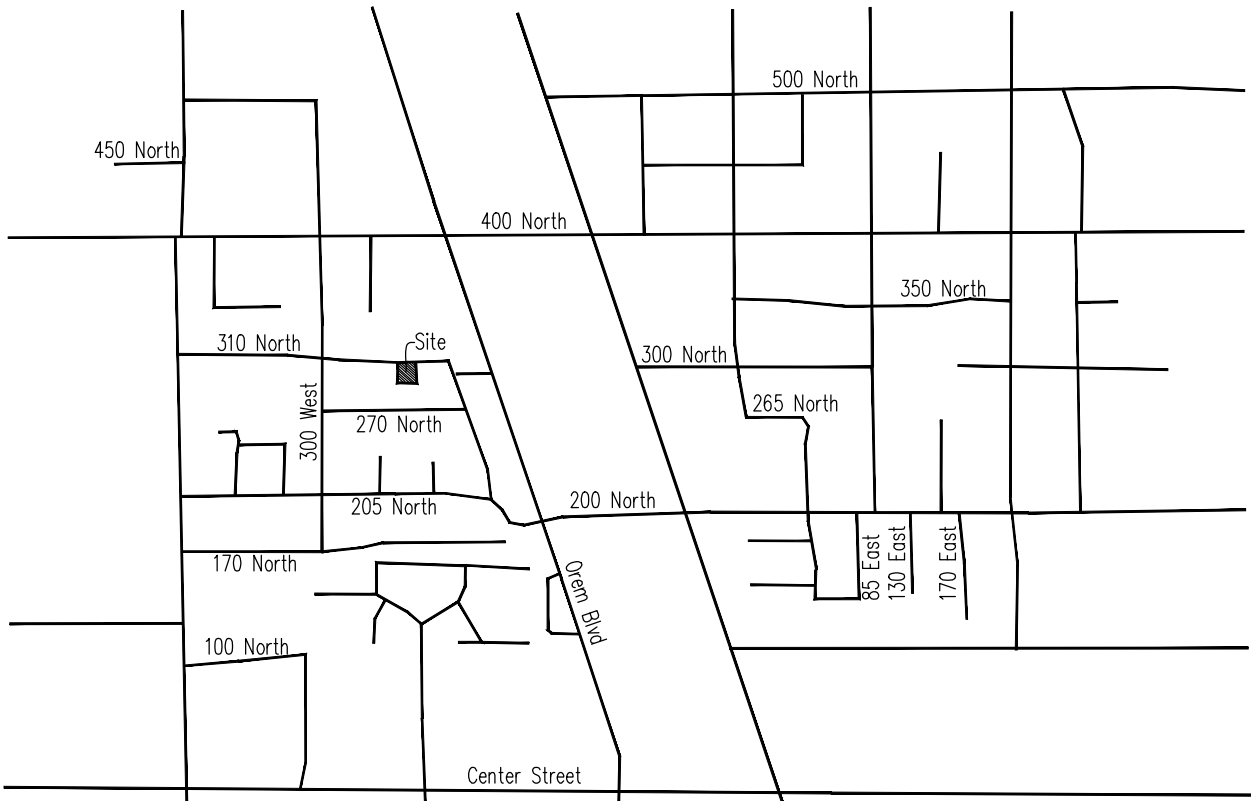
Rocket Gem

Including a vacation of Lot 5 and a portion of Lot 4,

Rocket Gem Plat, Plat "B"

Located in the Northeast quarter of Section 15, Township 6 South

Range 2 East SLB&M



Vicinity Map



Note:

No driveway or drive access may be located thin twenty-five (25') of an existing fence which is greater than three feet (3') in height.

Plat Vacation Notice

The City of Orem is satisfied that neither the public nor any person will be materially injured by the Vacation of Lot 5 and a portion of Lot 4, Rocket Gem, Plat "B". Lot 5 and a portion of Lot 4, Rocket Gem, Plat "B" is hereby vacated

Surveyor's Certificate

I, BRODER D. DUDLEY, do hereby certify that I am a Professional Land Surveyor and that I hold a license, Certificate No. 142088, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below. I have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-6, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge.

Boundary Description

Commencing at the Northwest corner of Lot 12, Plat "C" Amended" Rocket Gem Subdivision, Orem, Utah, said point being located South 89°27'42" East along the Section line 1133.93 feet and South 635.63 feet from the North quarter corner of Section 15, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence South 01°50'29" East along said subdivision 100.00 feet; thence South 88°09'32" West along said subdivision 85.00 feet; thence North 01°50'29" West 100.00 feet; thence North 88°09'31" East along 310 North Street 85.00 feet to the point of beginning.

AREA=8500 sq. ft. or 0.195 Acres and 2 Lots

Basis of Bearing = S 89°27'42" E along the Section line from the North 1/4 Corner to the Northeast Corner of Section 15.

Date _____ Surveyor _____
(See Seal Below)

Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the Surveyor's Certificate hereon and shown on this map, have caused the same to be subdivided into Lots, Blocks, Streets, and Easements and do hereby dedicate the streets and other public areas as indicated hereon for perpetual use of the public.

In witness hereof we have hereunto set our hands this _____ day of _____, A.D. 20____

Edmond Tanner Durfee _____ Haley Durfee _____

Acknowledgement

STATE OF UTAH } S.S.
COUNTY OF UTAH }

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Edmond Tanner Durfee & Haley Durfee, who represented that they are the _____ Owners _____ of the Property described in the owners dedication hereon and have the authority to execute this instrument.

My Commission Number _____ Signed (a Notary Public Commissioned in Utah)

My Commission Expires _____ Print name of Notary

Acceptance by the City of Orem

The City of Orem, County of Utah, approves this subdivision and hereby accepts the dedication of all Streets, Easements, and other parcels of land intended for public purposes for the perpetual use of the public. Signed this _____ day of _____, A.D. 20____.

Approved: _____ Attest: _____
City Engineer City Recorder

Approved: _____
Community Development Director

Occupancy Restriction Notice

The City of Orem has an Ordinance which restricts the occupancy of buildings within this subdivision. Accordingly, it is unlawful to occupy any building located within this subdivision without first having obtained a Certificate of Occupancy issued by the City.

Planning Commission Approval

Approved this _____ day of _____, 20____, by the Orem City Planning Commission.

Director-Secretary _____ Chairperson, Planning Commission _____ Resolution No. _____

County Recorder

Plat " D "

Rocket Gem

Including a vacation of Lot 5 and a portion of Lot 4,

Rocket Gem Plat, Plat "B"

Located in the Northeast quarter of Section 15, Township 6 South

Range 2 East SLB&M

Subdivision

Orem City, _____ Utah County, Utah

Scale: 1" = 20 Feet

SURVEYOR'S SEAL

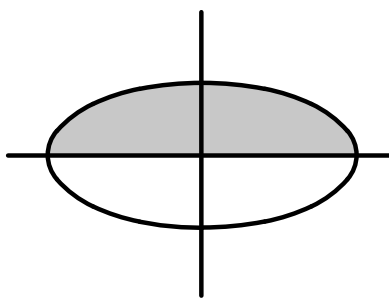
NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

CLERK-RECORDER SEAL

Approved as to Form

City Attorney _____ Date _____



Prepared by:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
office 801-224-1252
fax 801-224-1264

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

270 North Street



Street View of 241 West 310 North

	PLANNING COMMISSION October 15 th 2025	Item 4.2
	Avanesyan Motors 662 E 1700 South Site Plan to improve a small automobile dealership .	Prepared By: Grace Bjarnson Applicant: Avanti Avanesyan

Notices:

Posted in 2 public places.

Posted on City Webpage and City hotline.

Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:

Community Commercial

Zoning: **C2, Commercial**

Total Acreage: **.41**

Action:

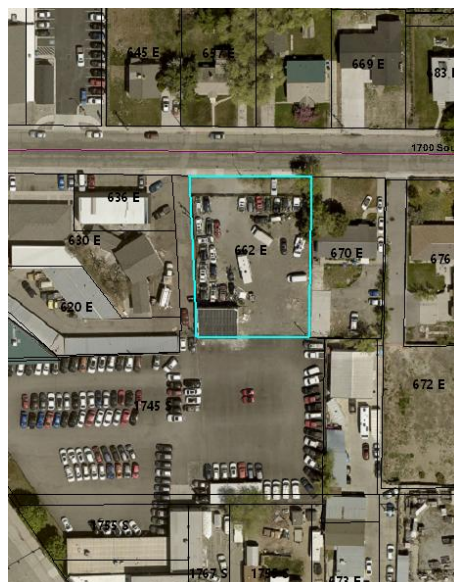
The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant requests approval of the improvement of their current car dealership located at 1745 S State Street and at 662 E 1700 South. The improvements will take place at the 662 E 1700 South lot.

BACKGROUND: On July 8th 2025, Avanti Avanesyan submitted an application to improve their car dealership. Currently, this location is in need of improvements.

REVIEW:

Zoning: The subject properties and the surrounding area are located in the C2, Community Commercial Zone. Automobile dealerships are currently not allowed in the zone, though at one time they were, and this car dealership was allowed when created. This is a legal non-conforming use.



Easements: No adjustments to easements are required.

Landscaping and Irrigation Plan: This proposed site plan will dramatically improve the landscaping and storm water retention in the area. An irrigation plan was also submitted. Eight deciduous trees as well as coniferous trees, grasses and ground cover are included in the site plan.

Elevations: No elevations were required since no additional buildings will be created.

Access: No additional access will be created with this proposed site plan. There is currently access on the North side of this lot.

DEVELOPMENT REVIEW COMMITTEE: The Plat Amendment has passed the technical reviewing body. The Development Review Committee (DRC) reviewed the application at their public meeting on Monday, October 13th, 2025, and voted to recommend approval of the project.

ACTIONS: The Planning Commission is the designated Land Use Authority for the site plan. The Commission may approve or deny the request for site plan approval or may choose to continue their consideration of the request and ask for additional information or analysis.

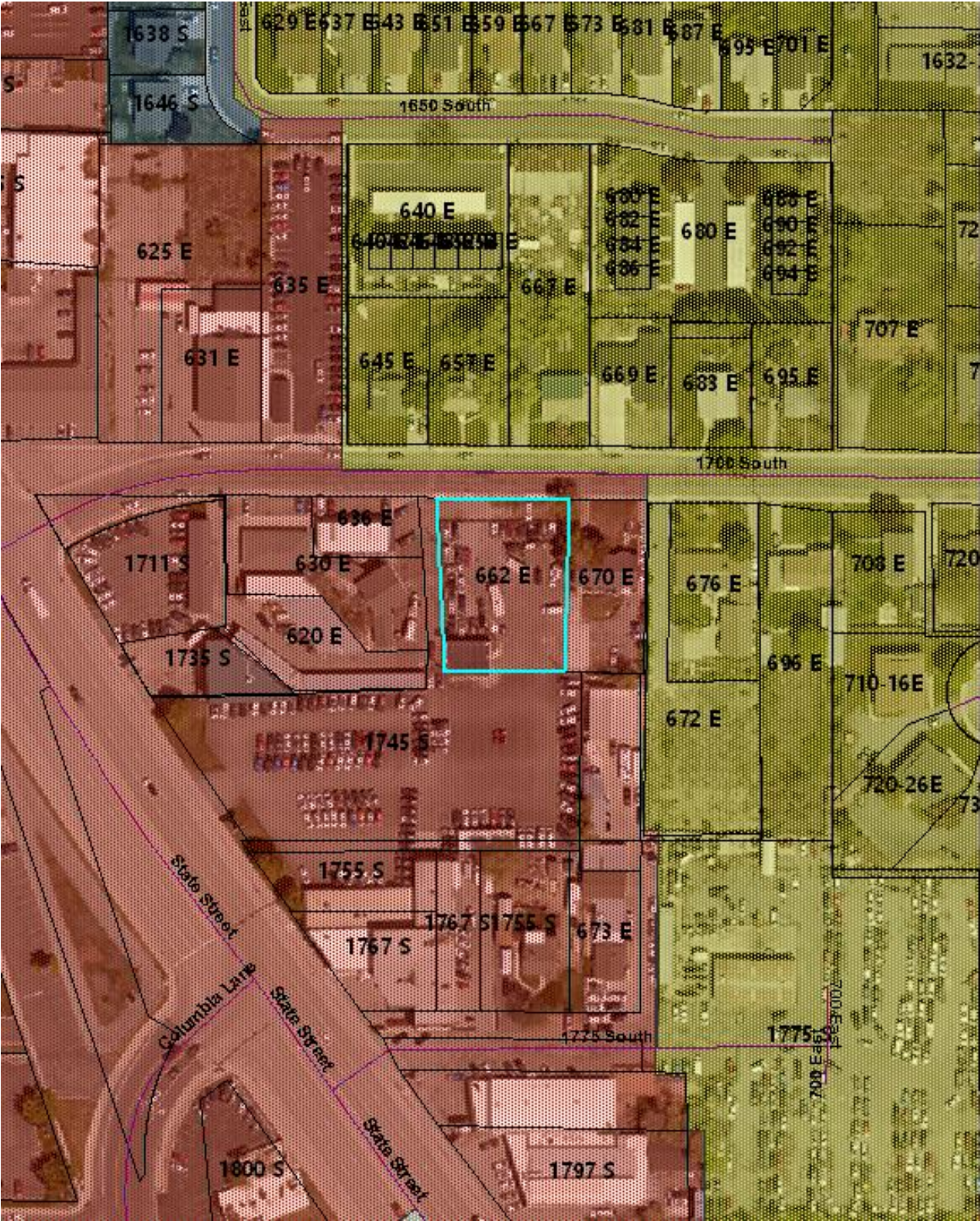
Avanesyan Motors – 662 E 1700 South



Vicinity Map
Zone: C2
Total Acres: .41



Avanesyan Motors – 662 E 1700 South



Zoning Map
Zone: C2
Total Acres: .41



Avanesyan Motors – 662 E 1700 South

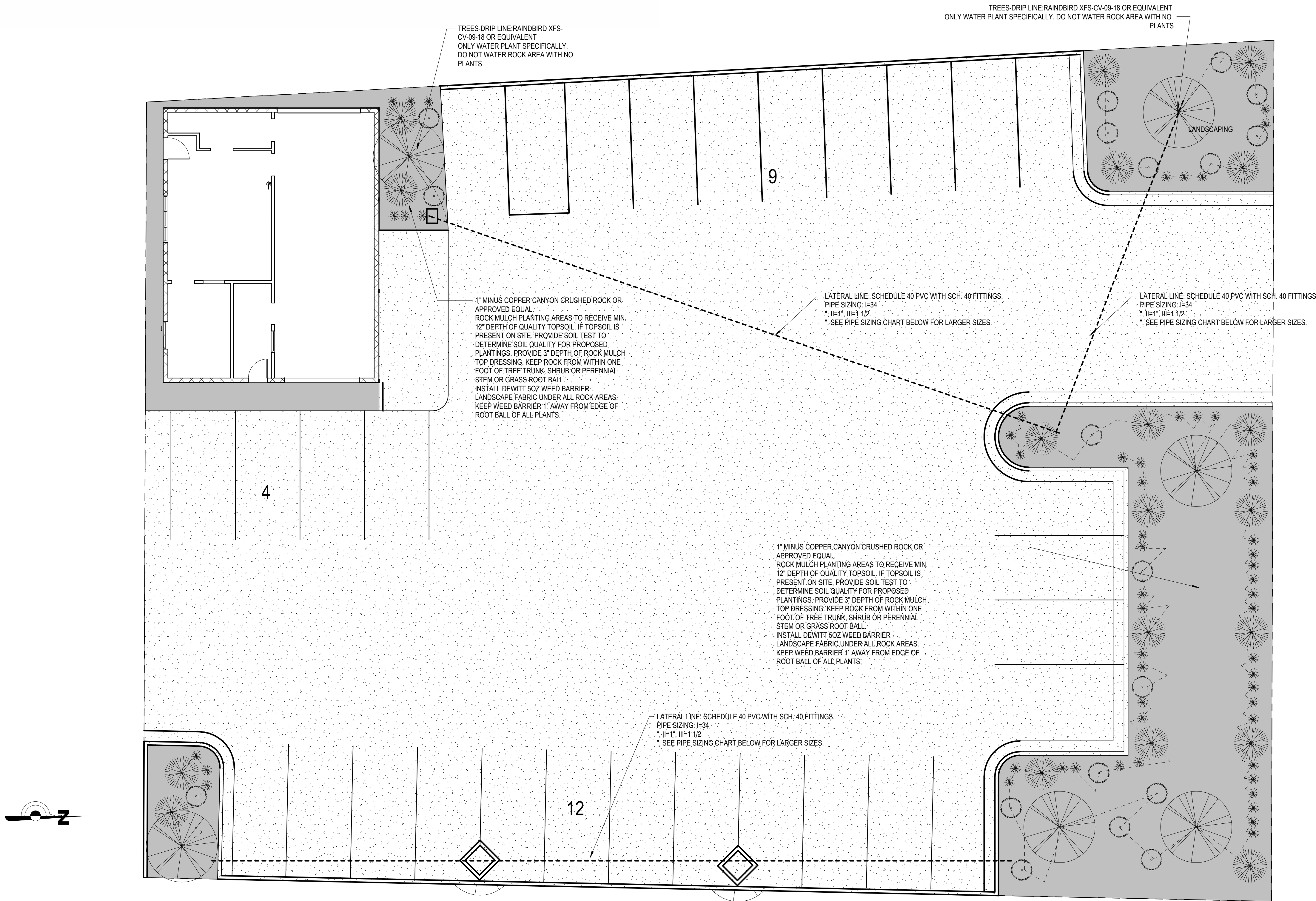
Current Street View



10/7/2025 1:56:27 PM C:\Users\shane\OneDrive - v2designgroup.com\Avanesyan Motors\01 - DRAWINGS\01 - SD\Avanesyan Motors.rvt

IRRIGATION NOTES

- SEE SHEETS LS2.2 AND LS2.3 FOR IRRIGATION DETAILS. SEE SPECS FOR ADDITIONAL IRRIGATION INSTALLATION PROCEDURES.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IRRIGATION SYSTEM IS DESIGNED TO USE A APPROX. 28 GPM WITH AN OPERATING PRESSURE OF 45 PSI AT FURTHEST IRRIGATION 5000 ROTOR HEAD. CONTRACTOR TO INSTALL A PRESSURE REDUCER ASSEMBLY DOWN STREAM OF BACK FLOW PREVENTION DEVICE IF STATIC PRESSURE EXCEEDS 100 PSI.
- 2" MAIN LINE SHALL BE SCH. 40 PVC WITH SCH. 80 FITTINGS. LATERAL LINES SHALL BE NO SMALLER THAN 3/4". MAINLINE AND LATERAL LINE LAYOUT IS SCHEMATIC. ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID TREES AND OTHER OBSTRUCTIONS AS WELL AS NEW TREES OR SHRUBS PLANTINGS. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 3/4" PIPE MAX. 8 GPM, 1" PIPE MAX. 13 GPM, 1-1/4" PIPE MAX. 23 GPM, 1-1/2" PIPE MAX. 30 GPM AND 2" PIPE MAX. 50 GPM.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- INSTALL ALL NEW VALVE BOXES 6" MIN. FROM WALKS AND WALLS SQUARED WITH THE WALK. PLACE VALVE BOXES IN PLANTER BEDS WHEN POSSIBLE. CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE RAINBIRD PRODUCTS OR AN APPROVED EQUAL. CONTRACTOR MAY MAKE SUBSTITUTIONS TO IRRIGATION COMPONENTS ONLY UPON WRITTEN APPROVAL FROM OWNER. IF CONTRACTOR ELECTS TO USE DIFFERENT COMPONENTS THAN WHAT IS CALLED OUT, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A NEW DESIGN SHOWING HOW THE NEW COMPONENTS MEET OR EXCEED THE EXISTING DESIGN STANDARD SET FORTH IN THESE CONSTRUCTION DOCUMENTS.
- ANY APPROVED EQUALS FOR PRODUCTS SPECIFIED IN THESE PLANS NEED TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT A MIN OF 72 HOURS PRIOR TO BID SUBMITTAL. SEE SPECS FOR BIDDING REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. ANY QUANTITIES GIVEN ON THE PLANS IS NOT GUARANTEED.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE STATE, CITY AND/OR COUNTY CODES. THE LANDSCAPE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS AS NEEDED TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- CONTRACTOR SHALL PROVIDE A SET OF RED LINED DRAWINGS WITH DETAILED INFORMATION FOR AS-BUILT PURPOSES TO THE LANDSCAPE ARCHITECT PRIOR TO JOB CLOSE OUT. SEE SPECS FOR AS BUILT REQUIREMENTS.



LANDSCAPING LEGEND

SYMBOL	NAME	DROUGHT TOLERANCE	SIZE
	1" MINUS COPPER CANYON CRUSHED ROCK OR APPROVED EQUAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK FROM WITHIN ONE FOOT OF TREE TRUNK, SHRUB OR PERENNIAL STEM OR GRASS ROOT BALL. INSTALL DEWITT 50Z WEED BARRIER. LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1' AWAY FROM EDGE OF ROOT BALL OF ALL PLANTS.	N/A	1"
	ROSA X 'NOARE' TM FLOWER CARPET RED GROUNDCOVER ROSE MODERATE; 1-2 X 2-3; SUN; Z5; UTAH LAKE WATER TOLERANT ALOPECUROIDES 'KARLAY ROSE' FOUNTAIN GRASS	57	YES 5 GALLON
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA TD4 45X36; AV 480; SUN; Z5; UTAH LAKE WATER TOLERANT	8	YES 2" CAL
	BLUE OAT GRASS TW1 4X2; AV 3; SUN TO PART SHADE; Z4; UTAH LAKE WATER TOLERANT 1 GAL MSG 14 MISCANTHUS SINENSIS 'GRACILLIMUS'	19	YES 1 GALLON
	JUNIPERUS SCOPULORUM 'MOONGLOW' MOONGLOW JUNIPER TE2, 18X8; AV 20; SUN; Z3; UTAH LAKE WATER TOLERANT	19	YES 5'-6'

DRIP IRRIGATION REQUIRED FOR ALL TREE AND SHRUB AREAS. TYP. TEMPORARY IRRIGATION REQUIRED FOR AREAS OF RE-VEGETATION UNTIL SUCH TIME IT HAS SUFFICIENT ESTABLISHING GROWTH

WATER-CONSERVING SPRINKLER HEADS AND RAIN SENSORS ARE REQUIRED. DRIP LINES SHALL BE USED FOR SHRUBS AND TREES.

NOTE: IRRIGATED AREA = 4,28FT.

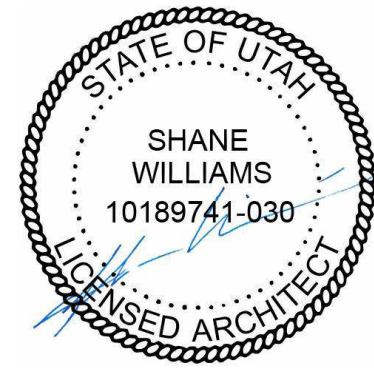
NOTE: IRRIGATION SYSTEM TO BE INSTALLED WITH RAIN SENSOR

LANDSCAPE AREA LEGEND	
LOT AREA	17,953 SF
BUILDING AREA	1,154 SF
IMPERVIOUS AREA	13,732 SF
LANDSCAPED AREA	3,067 SF = 17%
DECIDUOUS TREES	QTY. 8
CONIFEROUS TREES	QTY. 19
GRASSES	QTY. 19
GROUND COVER	QTY. 57



DESIGN GROUP

352 East 3200 North
Provo, UT 84604
Phone: 801.358.9840
shane@w2designgroup.com



AVANESYAN MOTORS

AVANESYAN, ARTAK & MGER
662 E 1700 SOUTH, OREM, UT 84097

Revision Date	Revision Number
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PROJECT NO.	-
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DATE	07.30.2025
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DRAWN BY	PA
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CHECKED BY	SW
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SHEET DESCRIPTION
LANDSCAPE PLAN

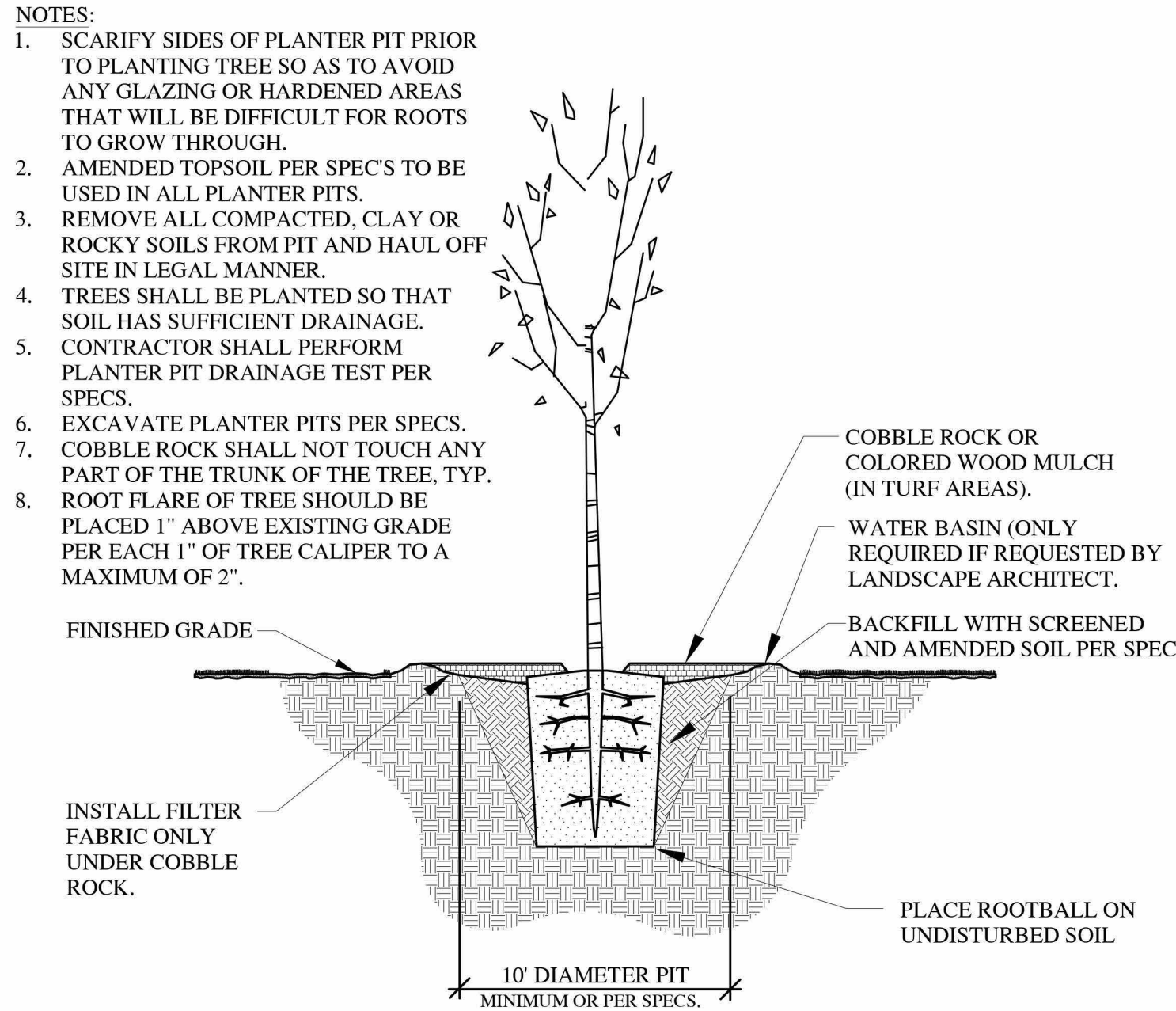
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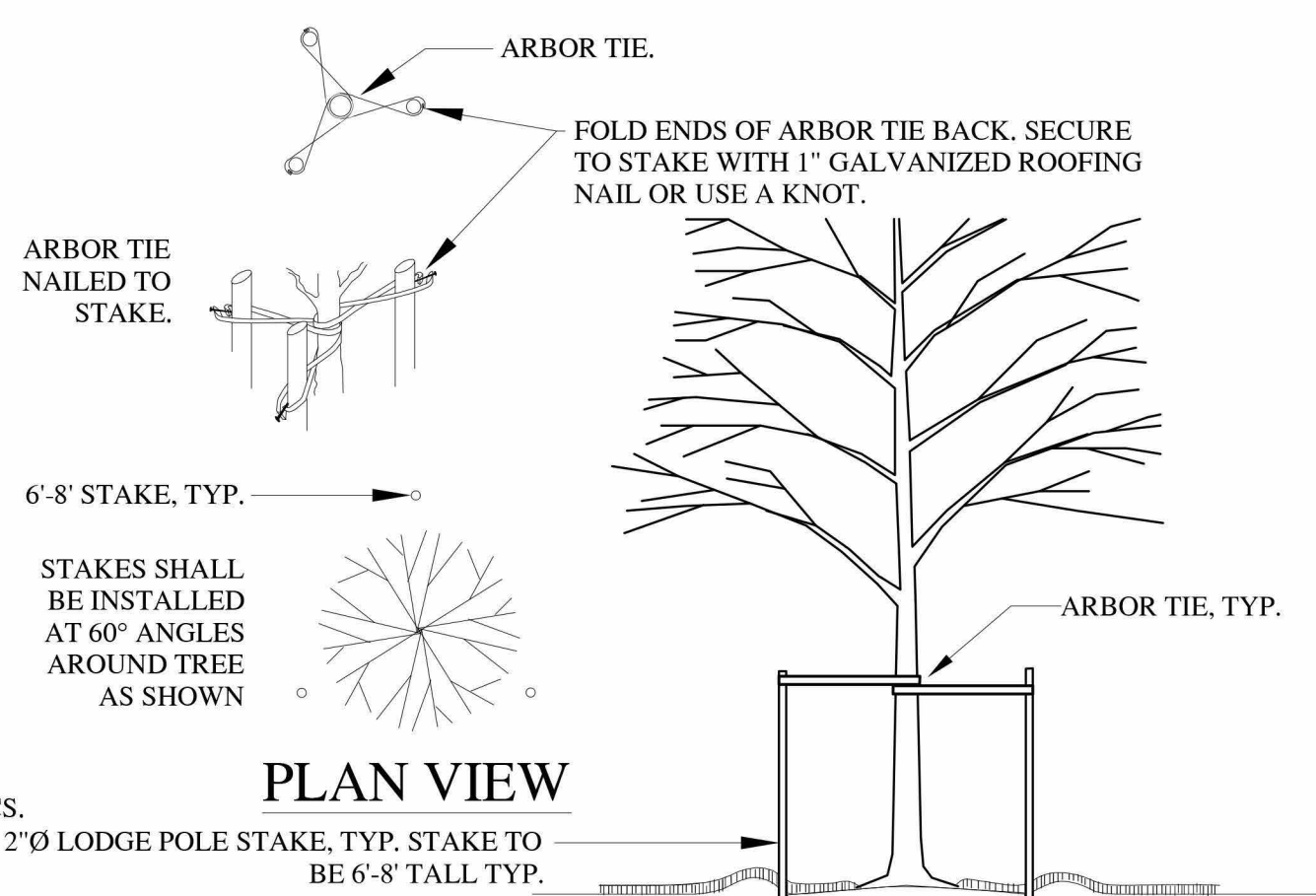
SITE PLAN
SCALE: 1/8" = 1'-0"

1

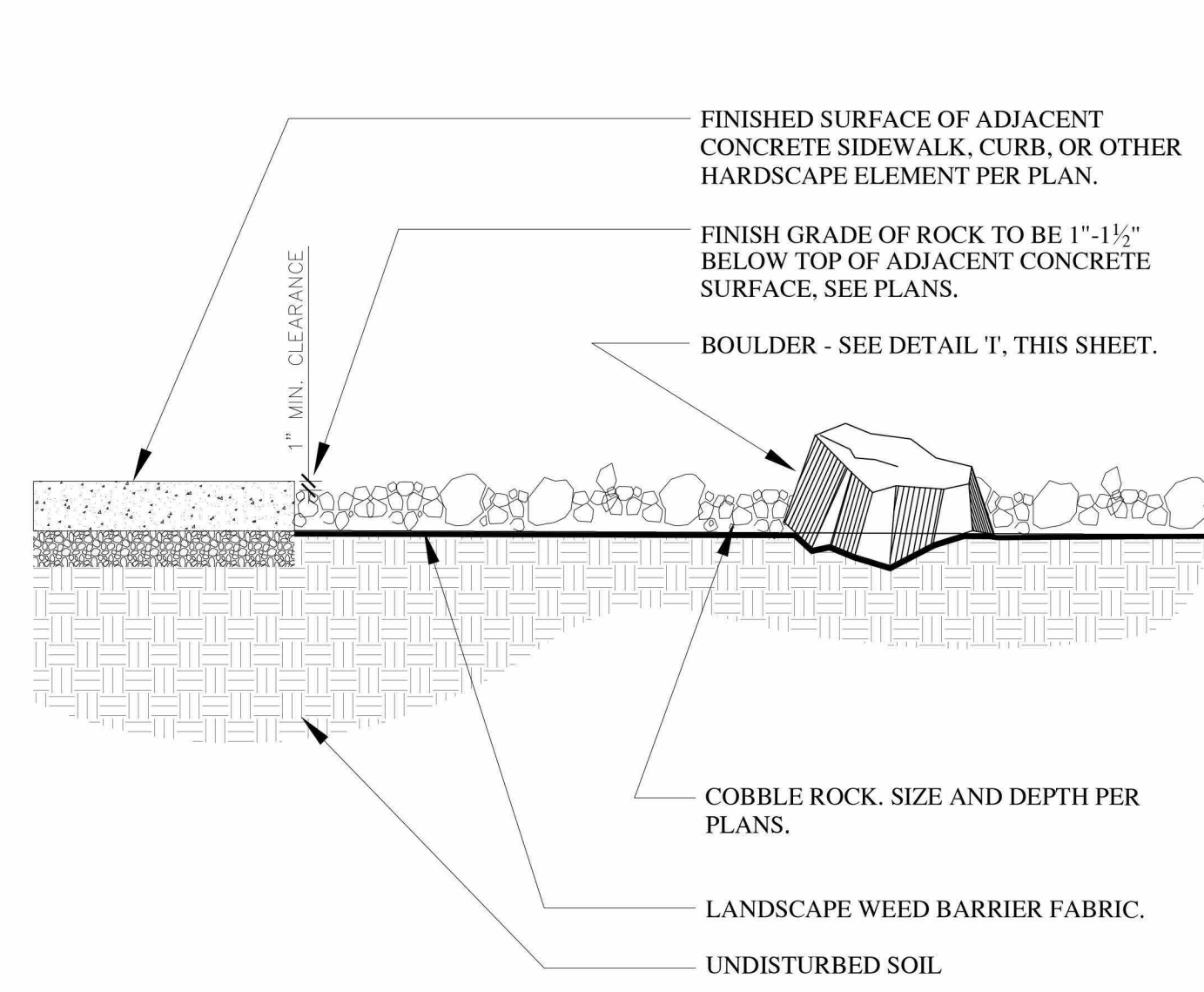
- NOTES:
1. SCARIFY SIDES OF PLANTER PIT PRIOR TO PLANTING TREE SO AS TO AVOID ANY GLAZING OR HARDENED AREAS THAT WILL BE DIFFICULT FOR ROOTS TO GROW THROUGH.
 2. AMENDED TOPSOIL PER SPECS TO BE USED IN ALL PLANTER PITS.
 3. REMOVE ALL COMPACTED, CLAY OR ROCKY SOILS FROM PIT AND HAUL OFF SITE IN LEGAL MANNER.
 4. TREES SHALL BE PLANTED SO THAT SOIL HAS SUFFICIENT DRAINAGE.
 5. CONTRACTOR SHALL PERFORM PLANTER PIT DRAINAGE TEST PER SPECS.
 6. EXCAVATE PLANTER PITS PER SPECS.
 7. COBBLE ROCK SHALL NOT TOUCH ANY PART OF THE TRUNK OF THE TREE, TYP.
 8. ROOT FLARE OF TREE SHOULD BE PLACED 1" ABOVE EXISTING GRADE PER EACH 1" OF TREE CALIPER TO A MAXIMUM OF 2".



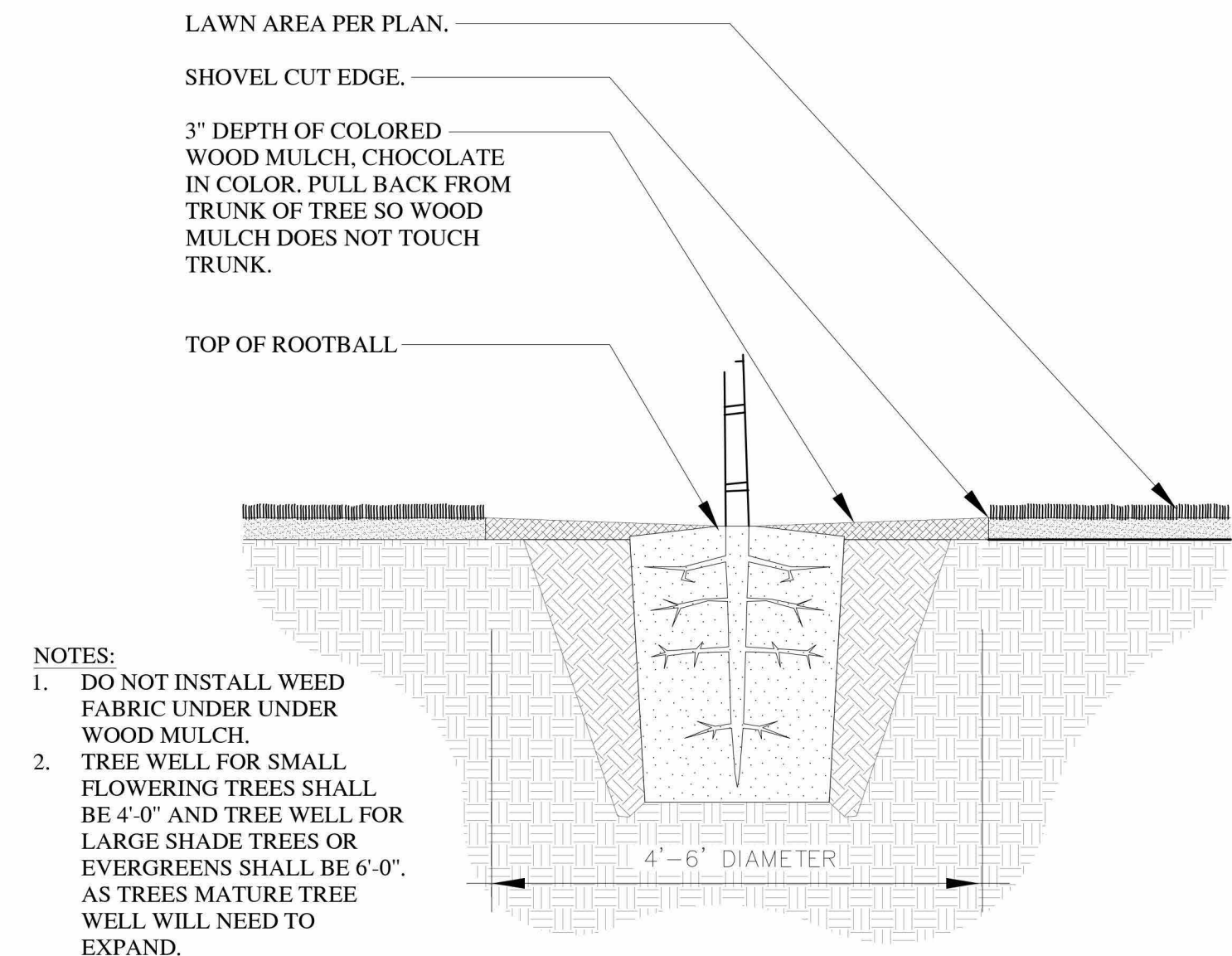
A DECIDUOUS TREE PLANTING DETAIL SCALE: NTS



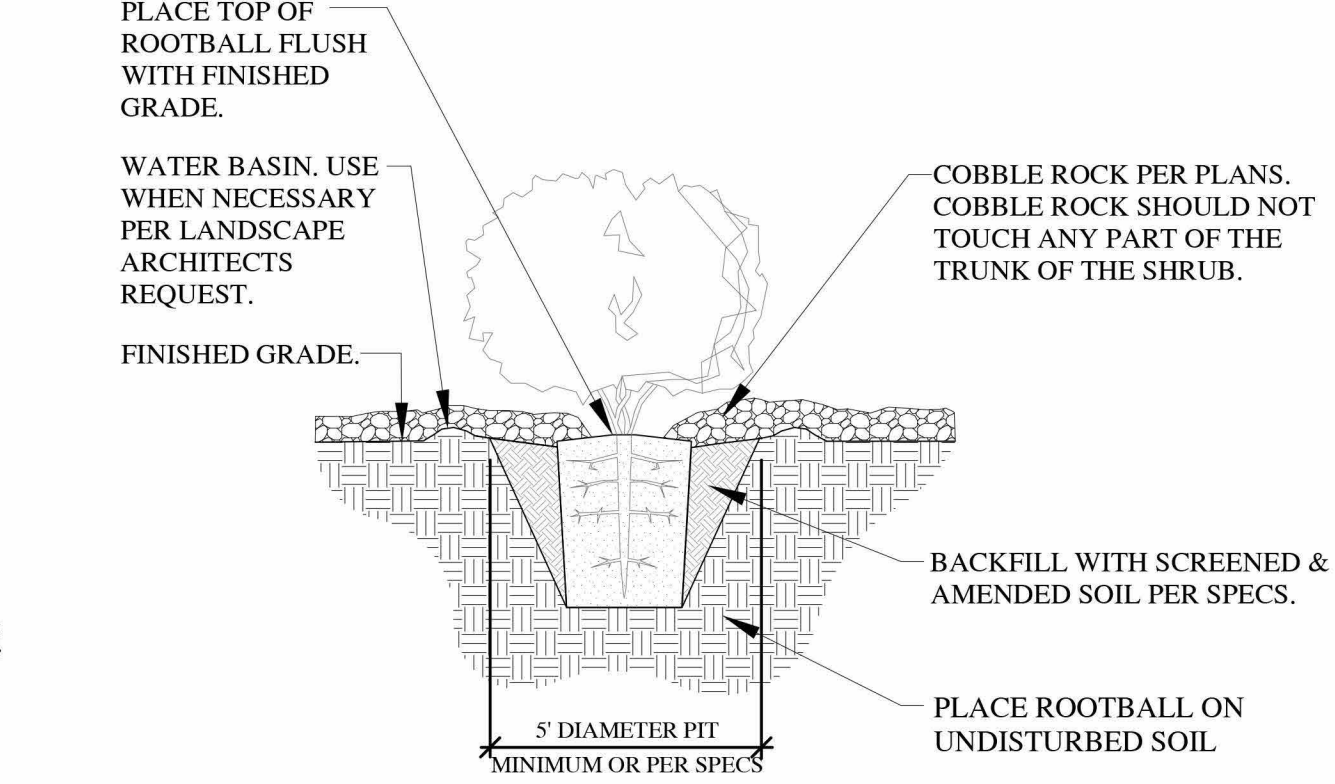
B DECIDUOUS TREE STAKING DETAIL SCALE: NTS



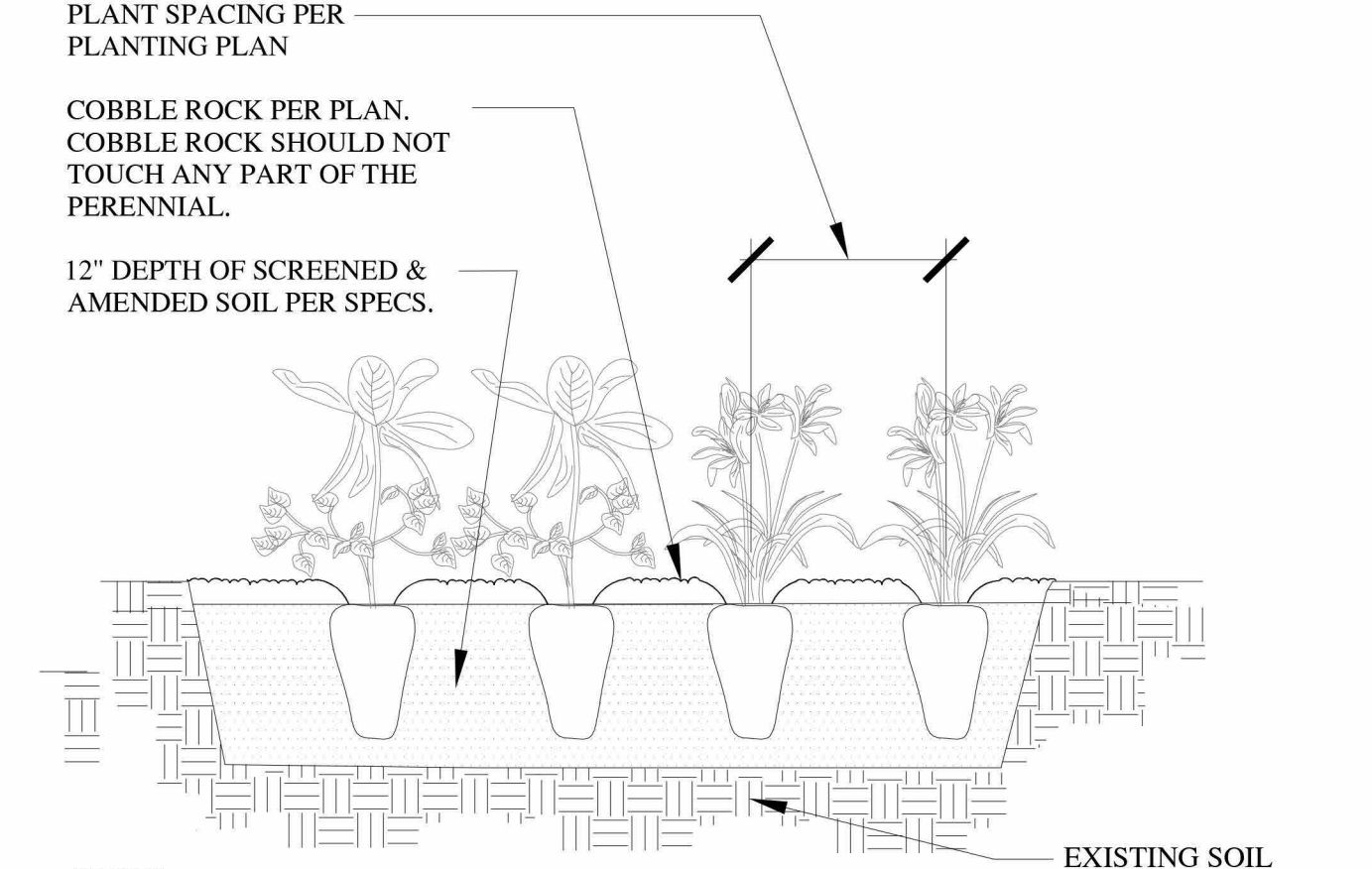
C COBBLE ROCK AND WEED BARRIER FABRIC DETAIL SCALE: NTS



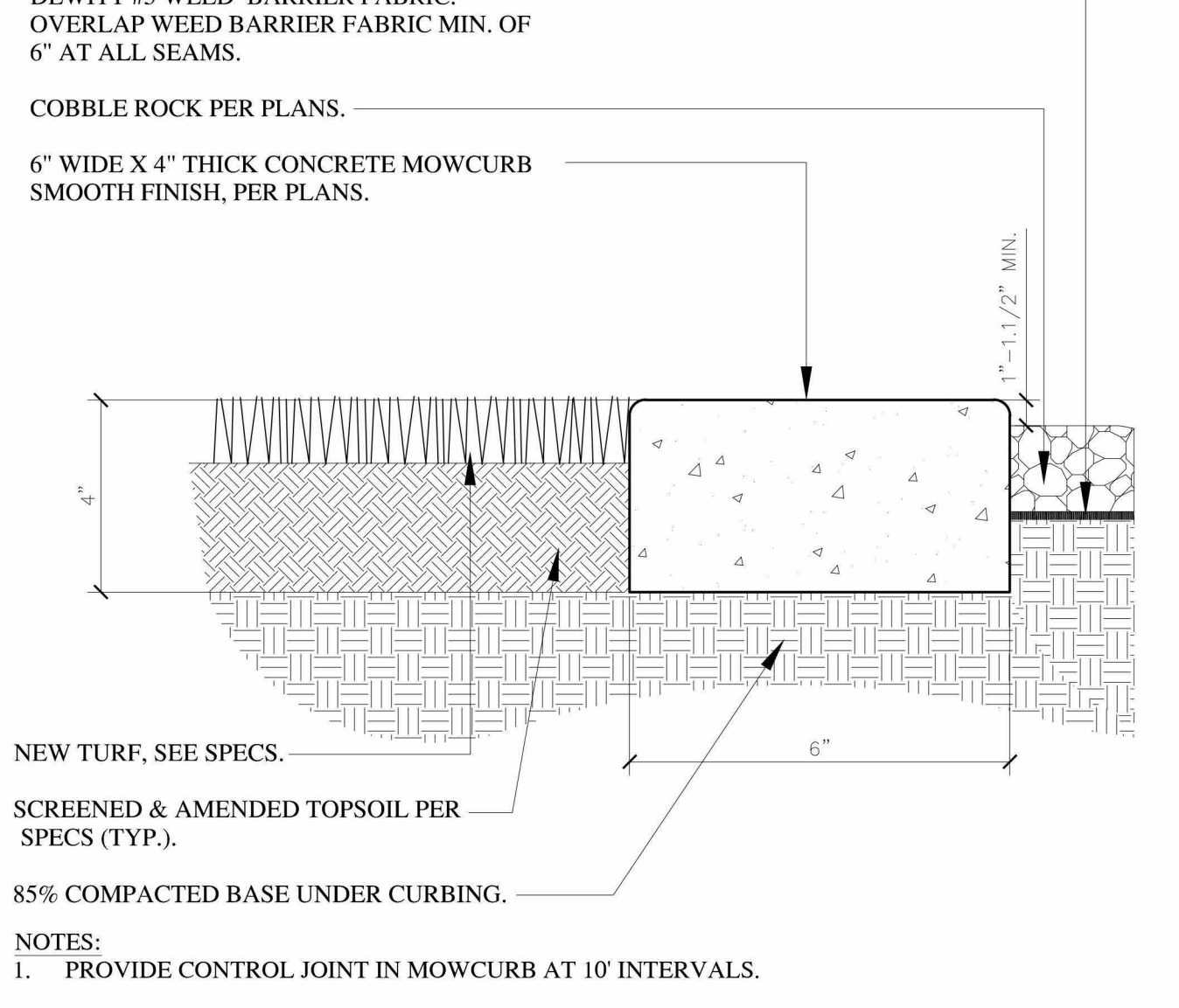
D TREE WELL IN TURF AREA SCALE: NTS



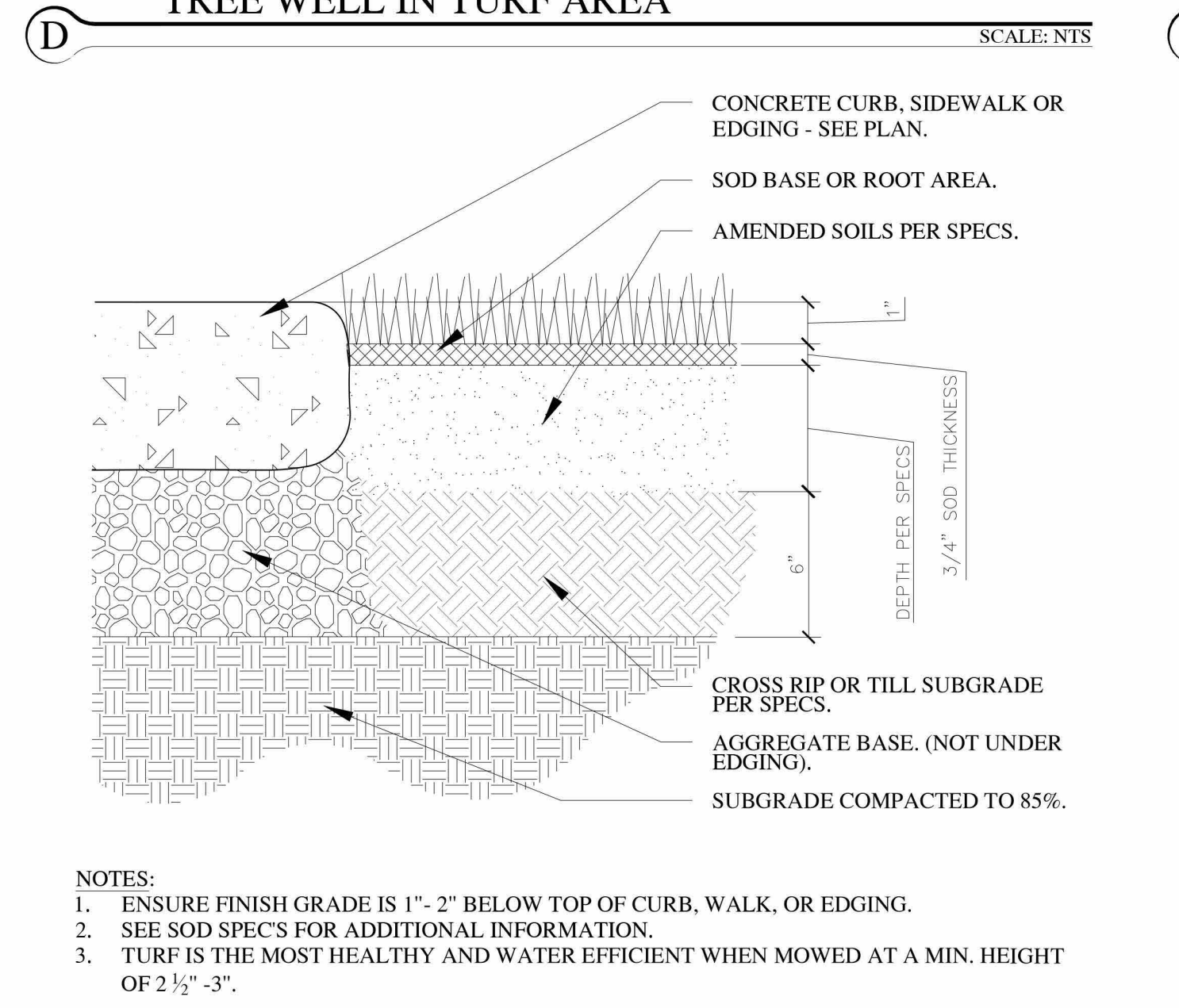
E SHRUB/ GRASSES PLANTING DETAIL SCALE: NTS



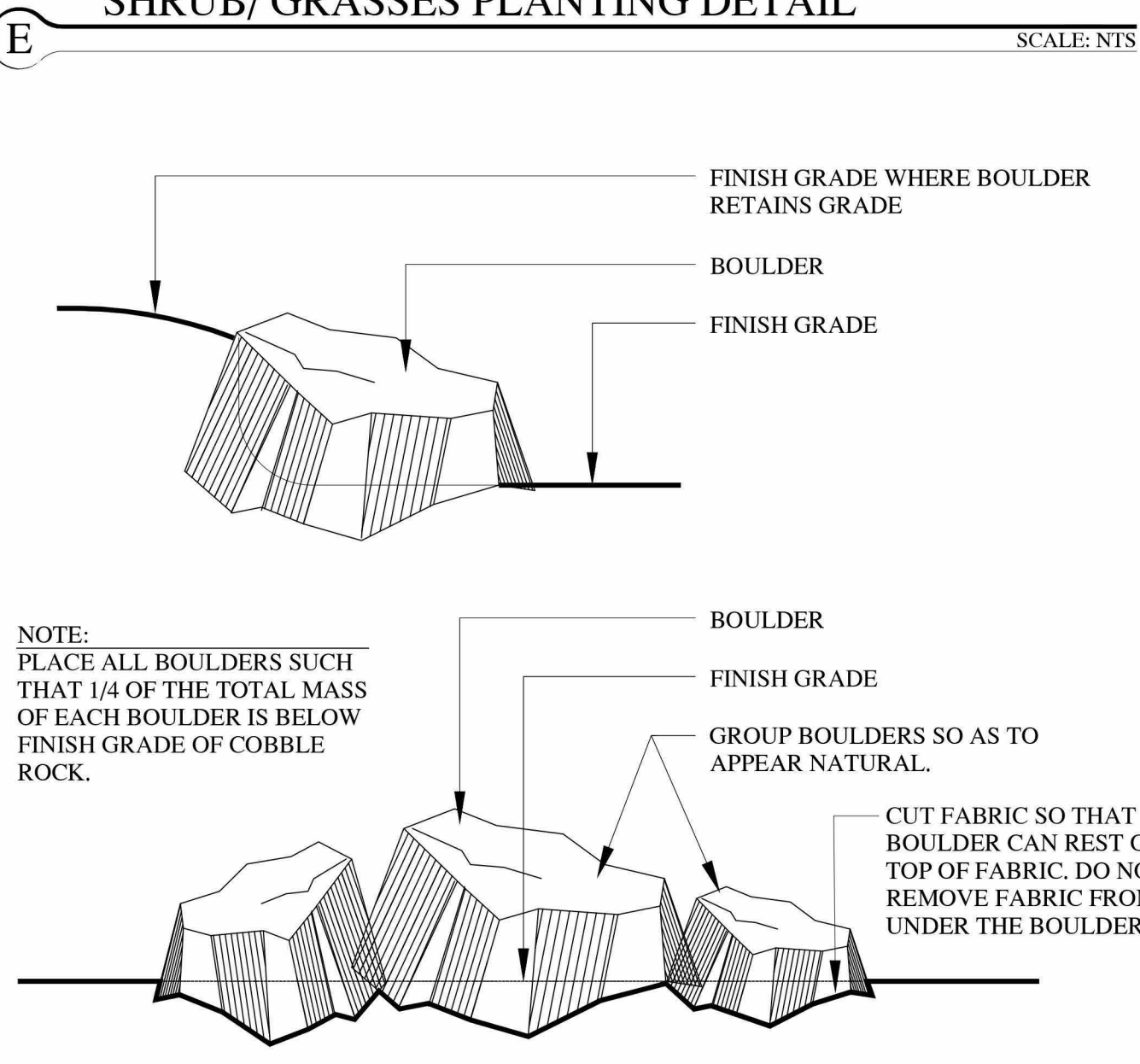
F PERENNIAL PLANTING DETAIL SCALE: NTS



G MOWCURB DETAIL SCALE: NTS

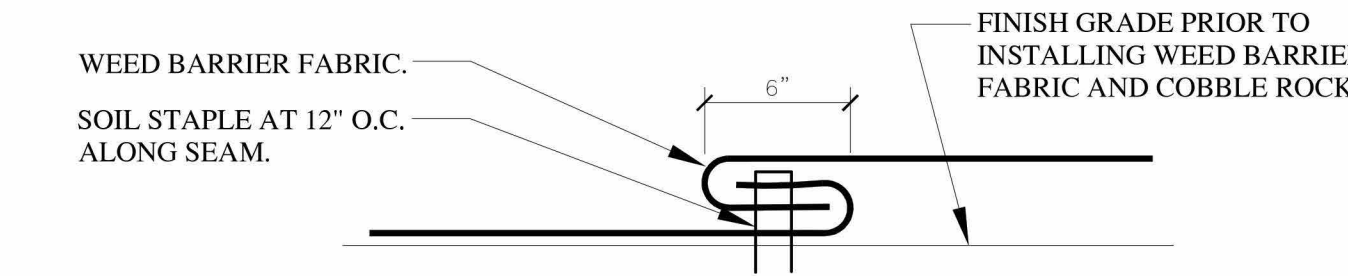


H SOD LAYING AND EDGE DETAIL SCALE: NTS



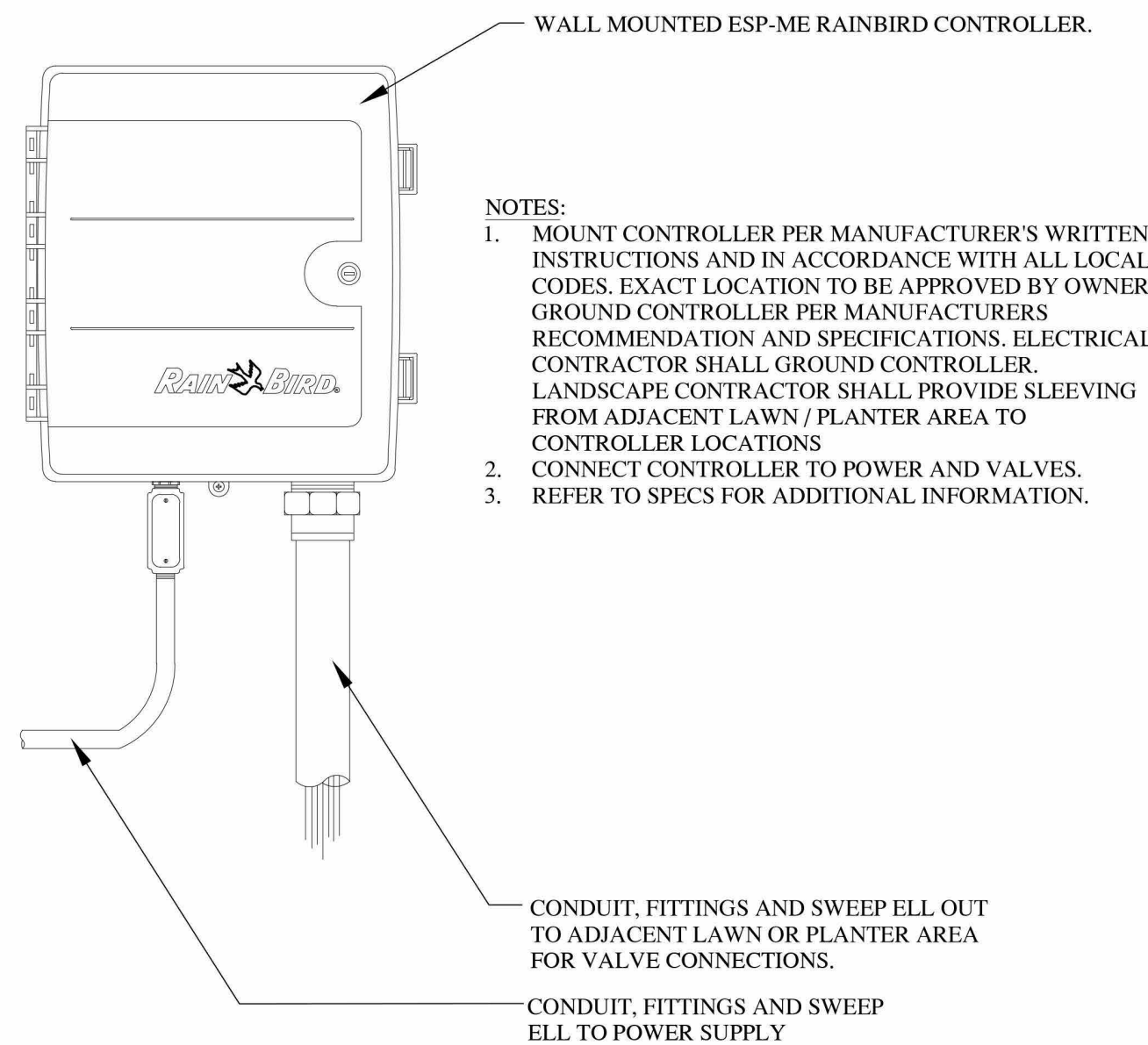
I BOULDER PLACEMENT DETAIL SCALE: NTS

- NOTES:
1. BEFORE PLACING WEED BARRIER FABRIC AND COBBLE ROCK, APPLY A PRE-EMERGENT HERBICIDE TO SOIL. AFTER PLACING WEED BARRIER, PLANTS AND COBBLE ROCK, RAKE COBBLE ROCK SMOOTH, WET COBBLE ROCK TO ENTIRE DEPTH, ALLOW TO DRY, THEN APPLY A SECONDARY APPLICATION OF PRE-EMERGENT HERBICIDE TO TOP OF COBBLE ROCK. KEEP TOP OF COBBLE ROCK 1" - 1 1/2" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW COBBLE ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL COBBLE ROCK AFTER INSTALLATION OF WEED BARRIER FABRIC AND PLANT MATERIAL.
 2. CONTRACTOR TO ENSURE THAT TOP OF WEED BARRIER FABRIC IS FREE OF SOILS AND DEBRIS PRIOR TO PLACING COBBLE ROCK.
 3. SEE LANDSCAPE PLANS FOR ROCK TYPE AND DEPTH.
 4. COBBLE ROCK TO BE SCREENED AND DOUBLE WASHED PRIOR TO INSTALLATION.
- WEED FABRIC NOTE:
INSTALL 6" SOIL STAPLE IN WEED BARRIER FABRIC AT 5' O.C. TRIANGULAR SPACING. INSTALL 6" SOIL STAPLE AT 12" O.C. ALONG ALL WEED BARRIER FABRIC SEAMS. OVERLAP FABRIC MIN. OF 6" AT ALL SEAMS AS SHOWN BELOW. INSTALL SOIL STAPLE 6" O.C. ALONG EDGES & 2 AT EACH CORNER.



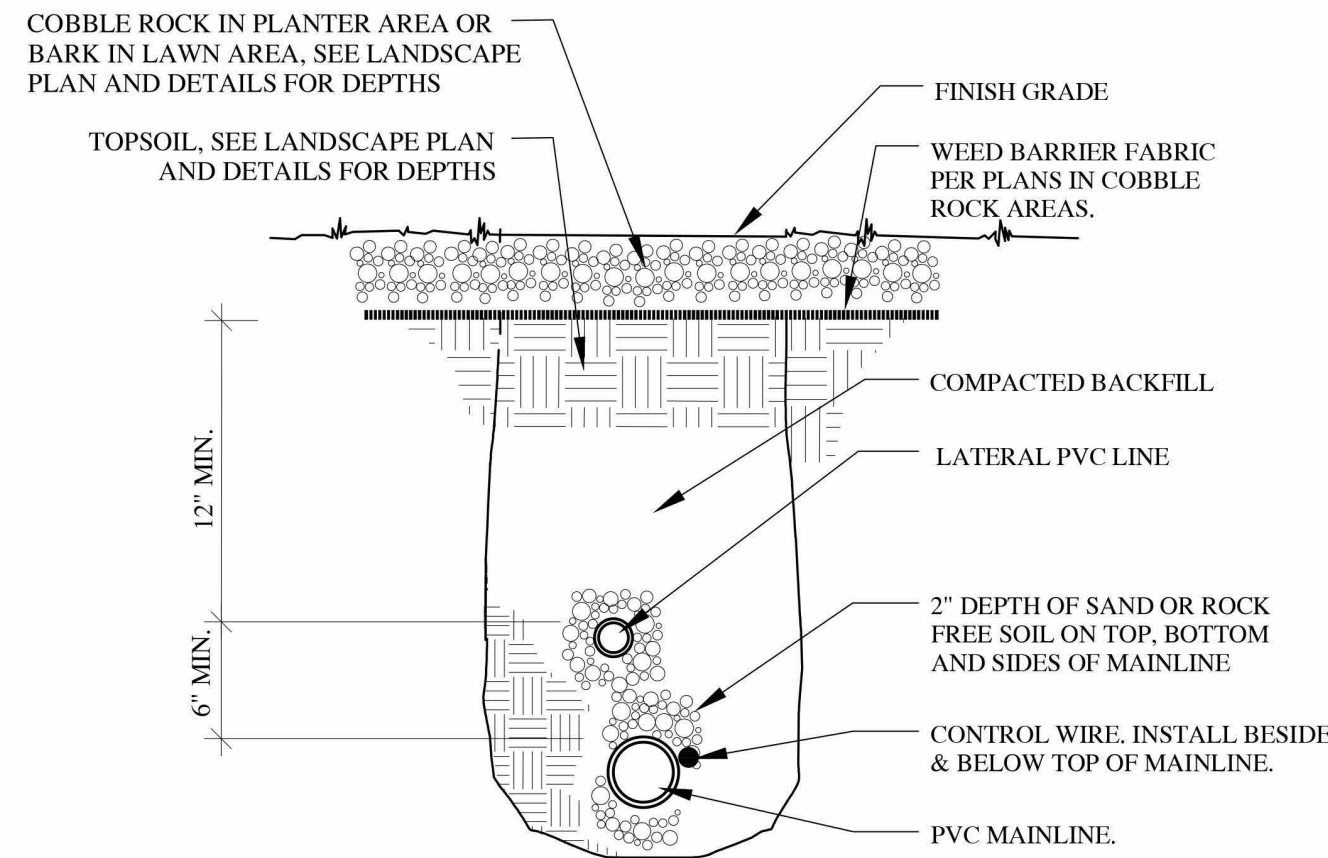
Revision Date	Revision Number
PROJECT NO.	-
DATE	07.30.2025
DRAWN BY	PA
CHECKED BY	SW
SHEET DESCRIPTION	LANDSCAPE DETAILS
SHEET NUMBER	

10/7/2025 1:56:34 PM C:\Users\Shane\OneDrive - v2designgroup.com\Avanesyan Motors01 - DRAWINGS01 - SD\Avanesyan Motors.nt



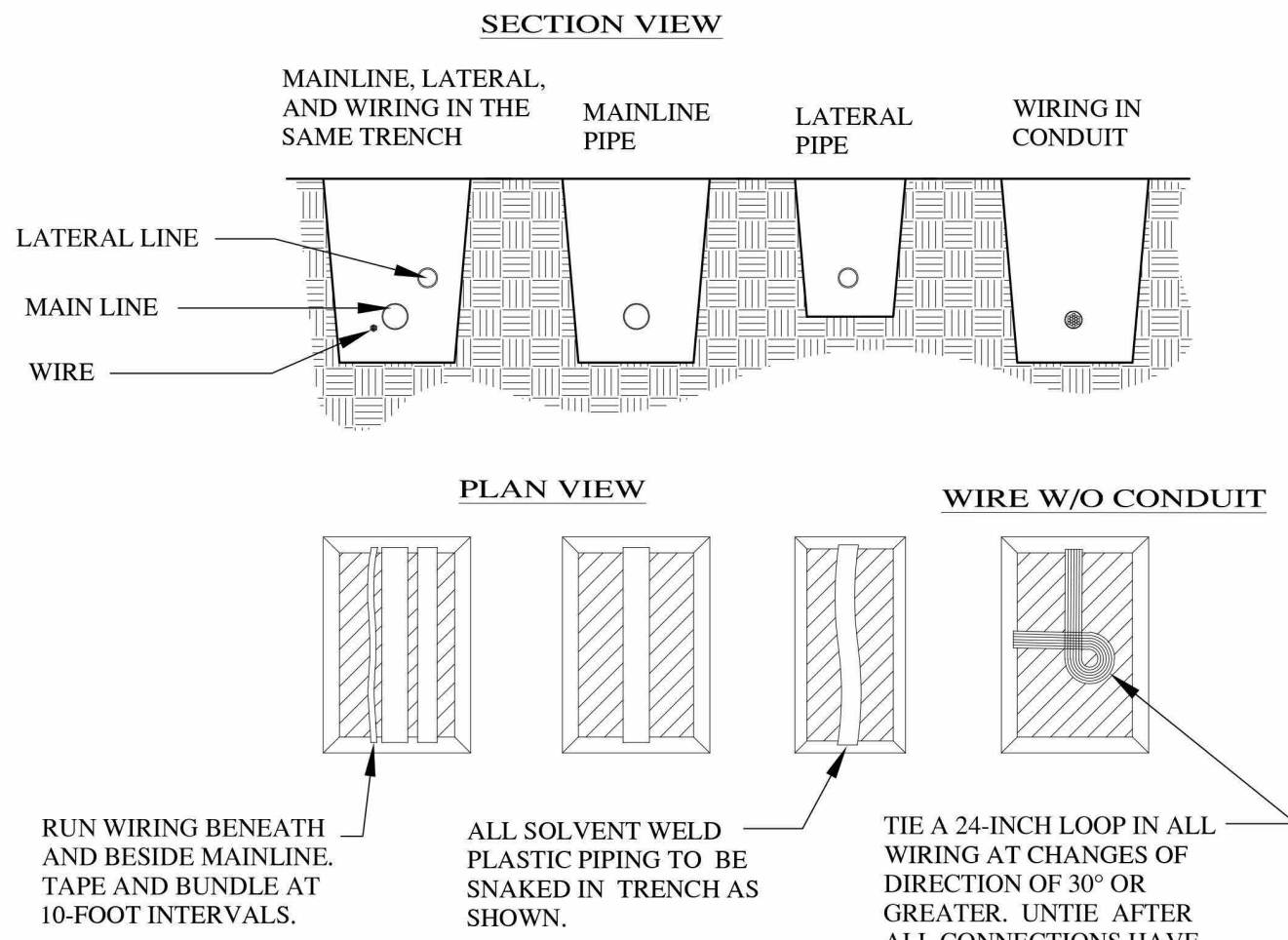
A CONTROLLER DETAIL

SCALE: NTS



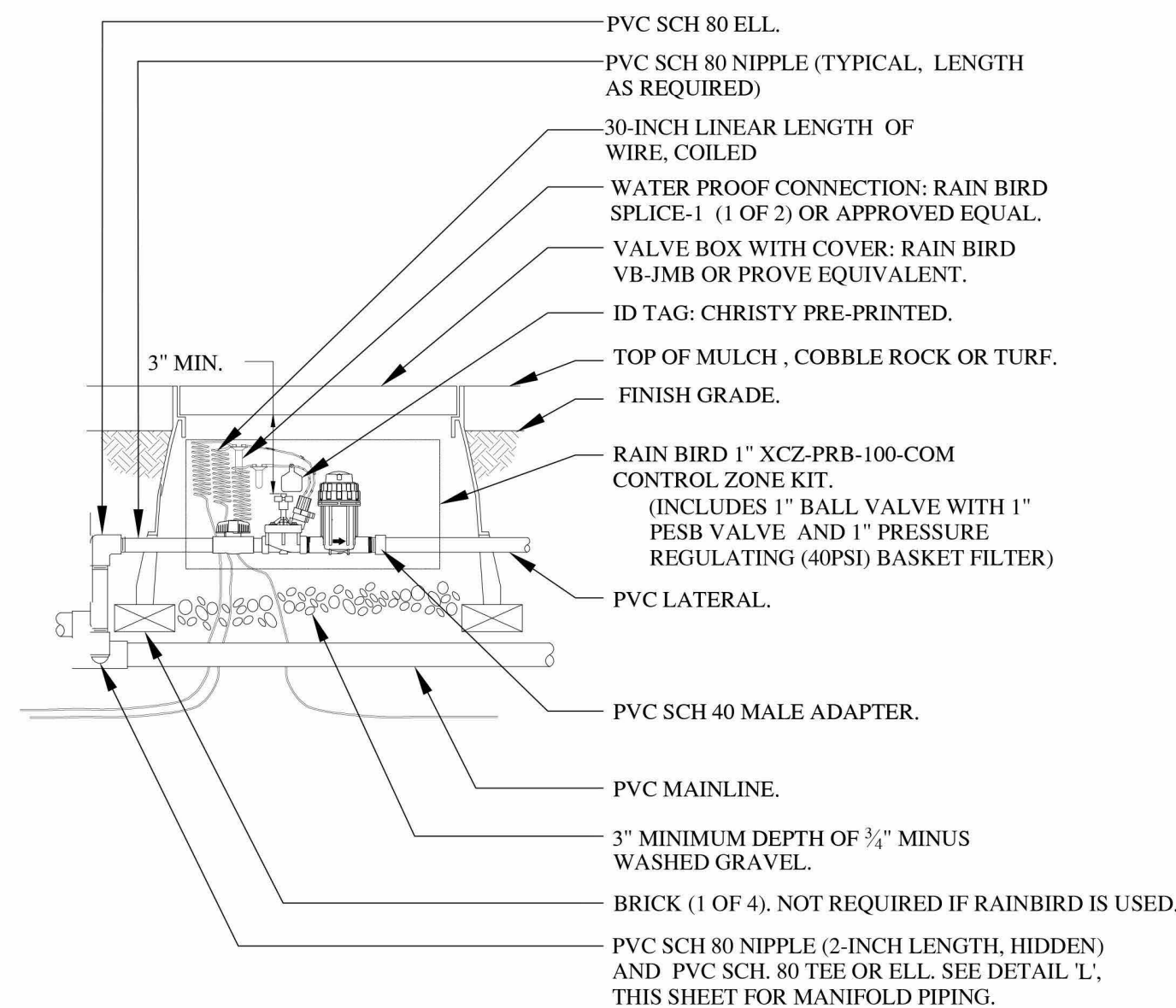
B TRENCH SECTION

SCALE: NTS



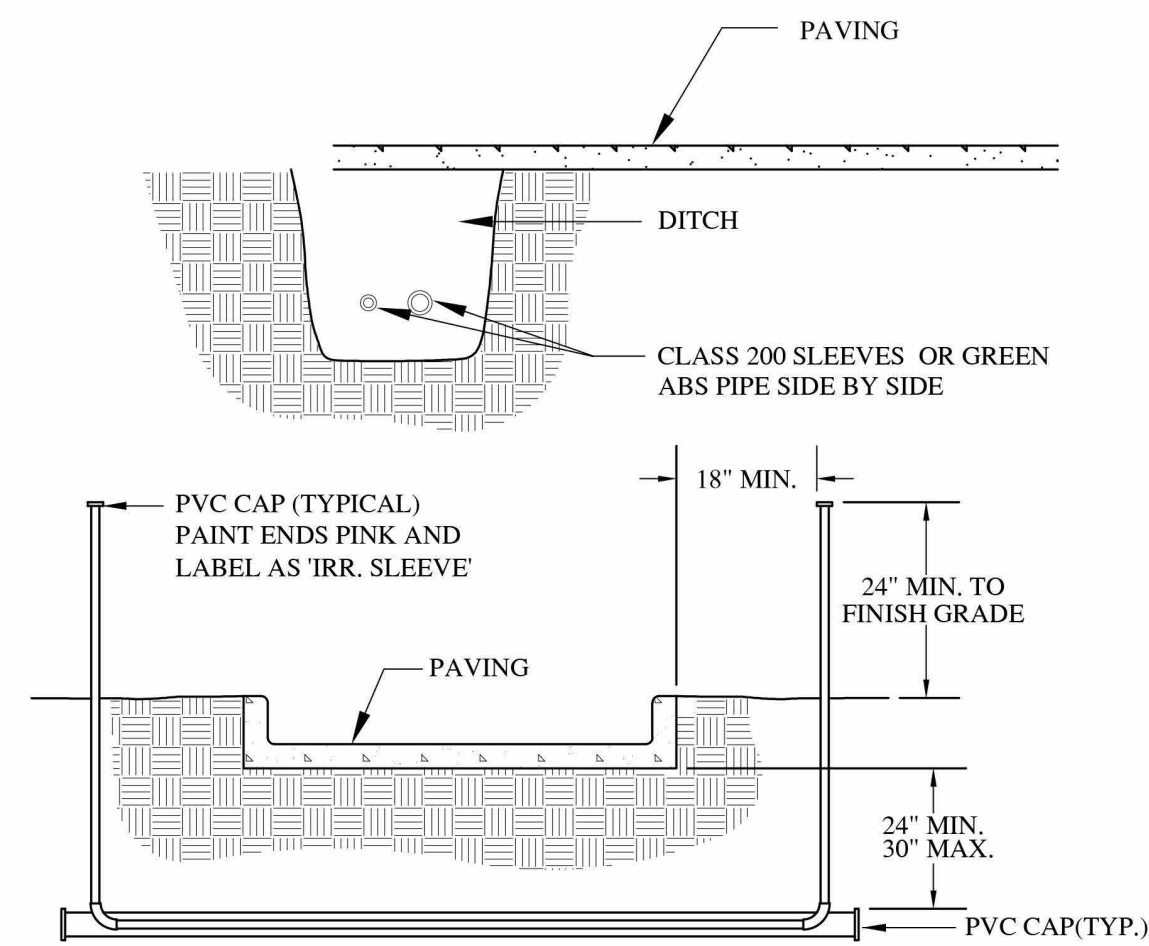
C PIPE, WIRE, AND TRENCH DETAIL

SCALE: NTS



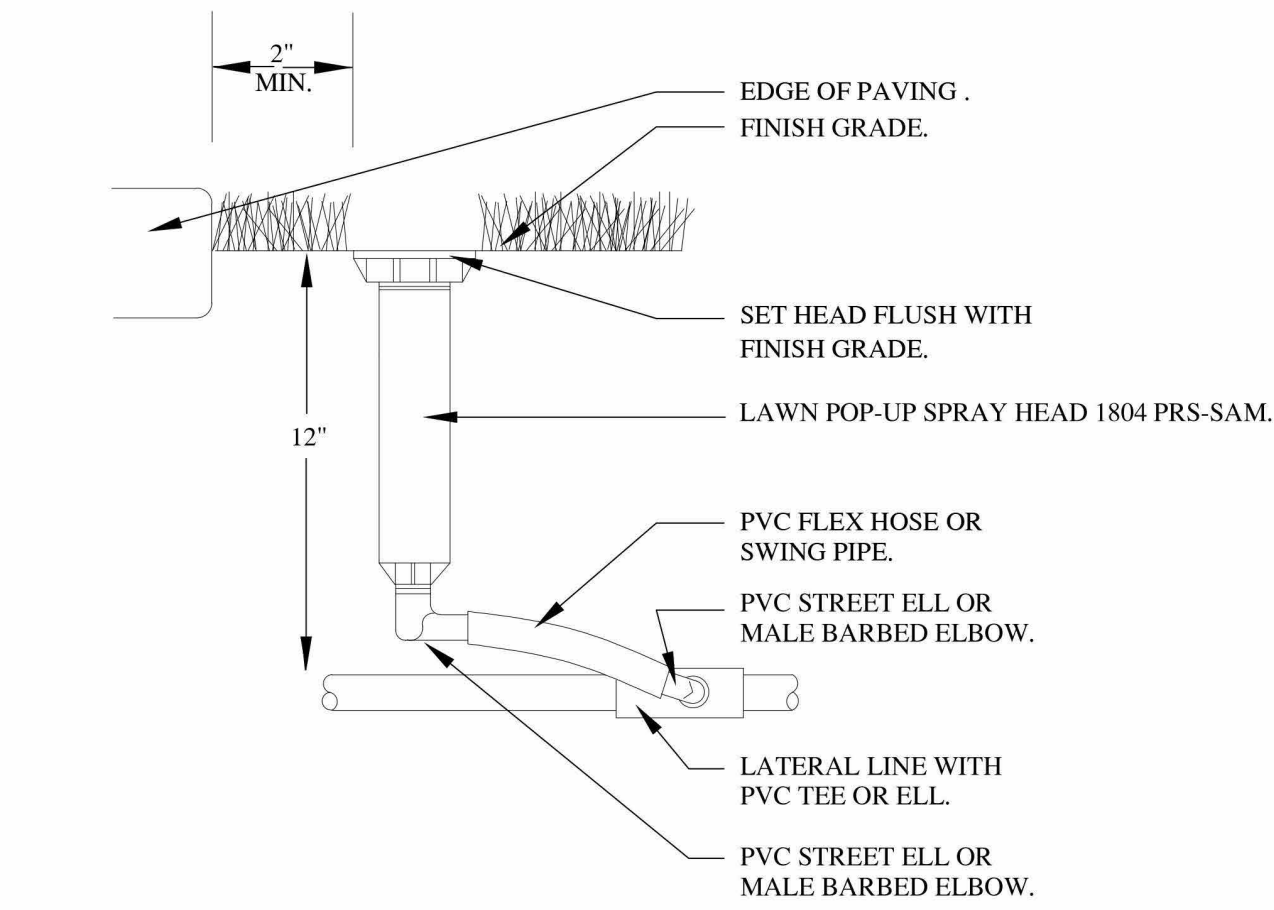
D 1" DRIP CONTROL ZONE KIT

SCALE: NTS



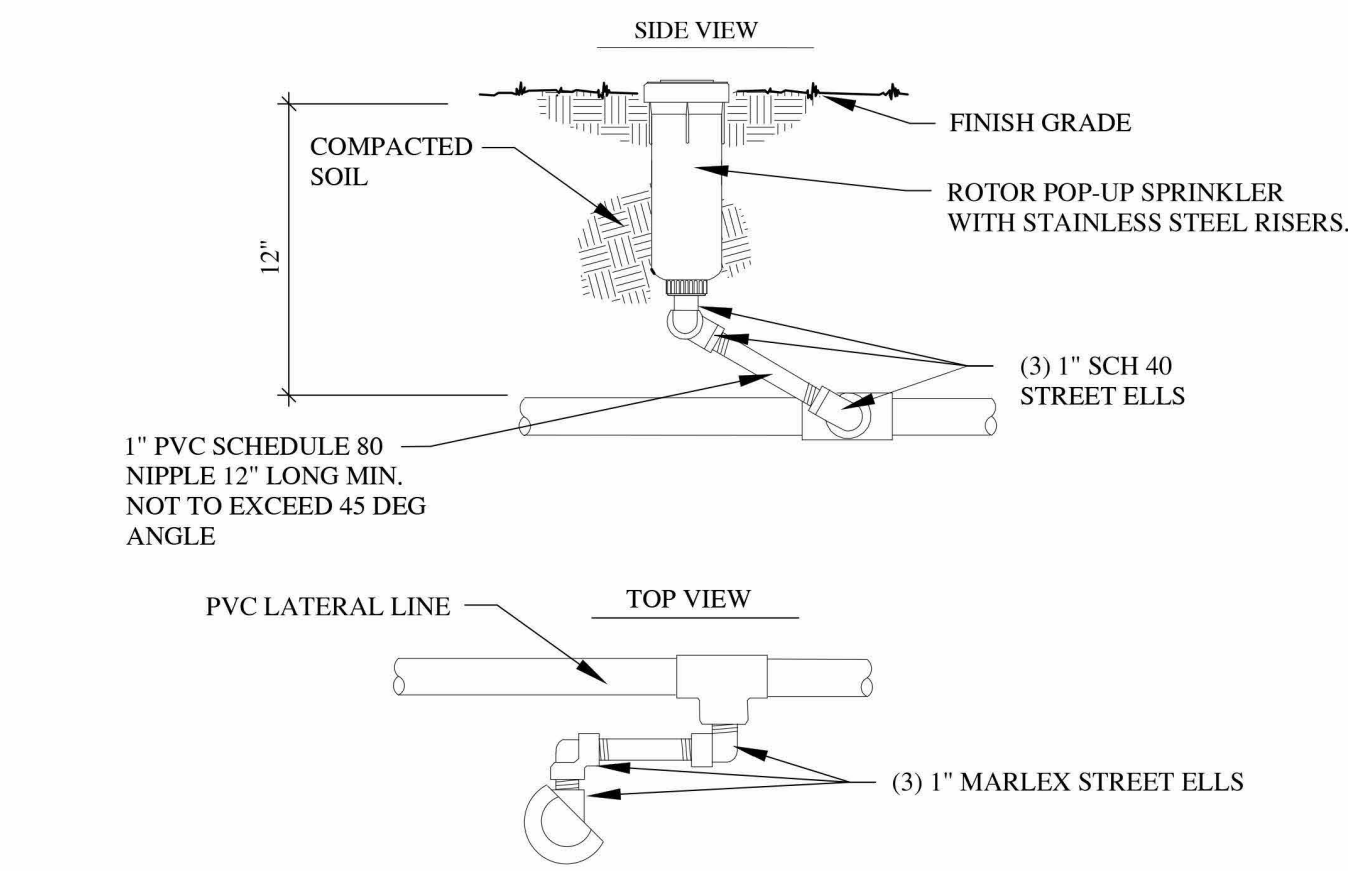
E SLEEVING DETAIL

SCALE: NTS



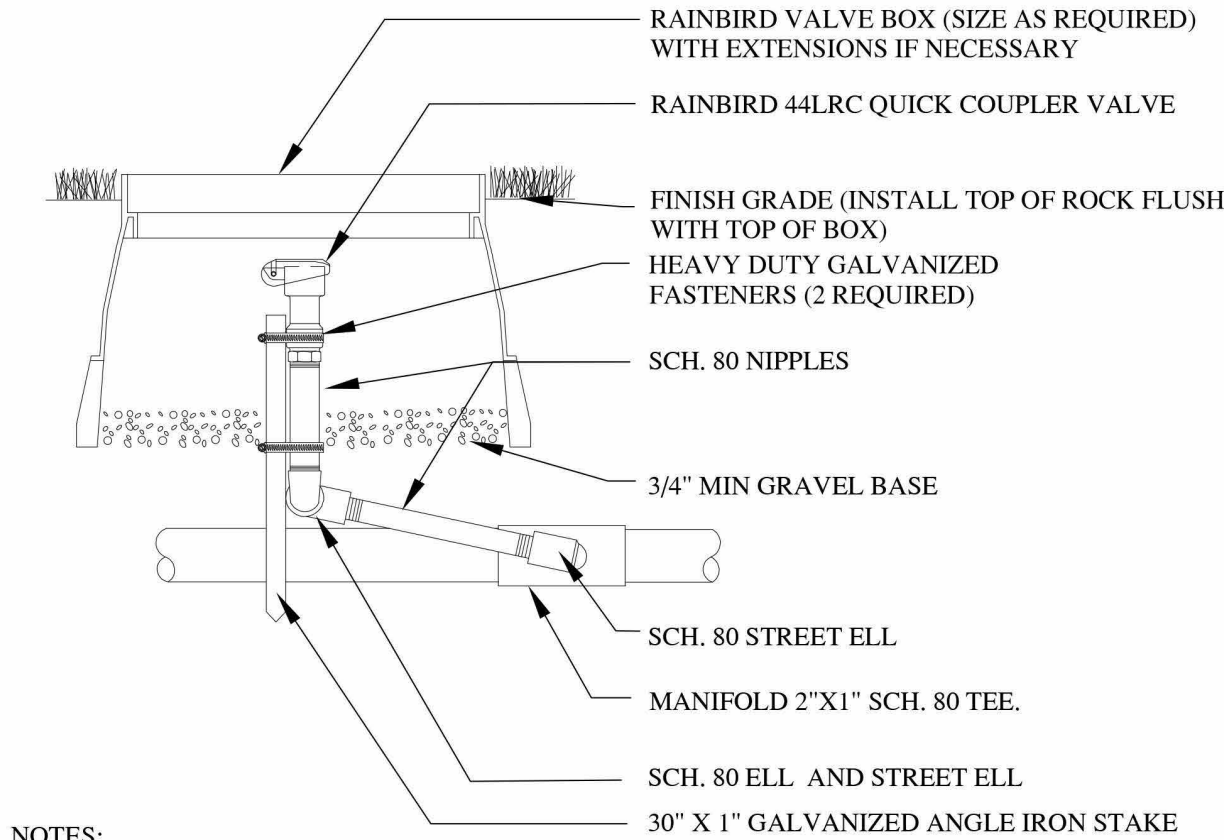
F POP-UP SPRAY DETAIL

SCALE: NTS



G ROTOR HEAD DETAIL

SCALE: NTS



H QUICK COUPLER VALVE DETAIL

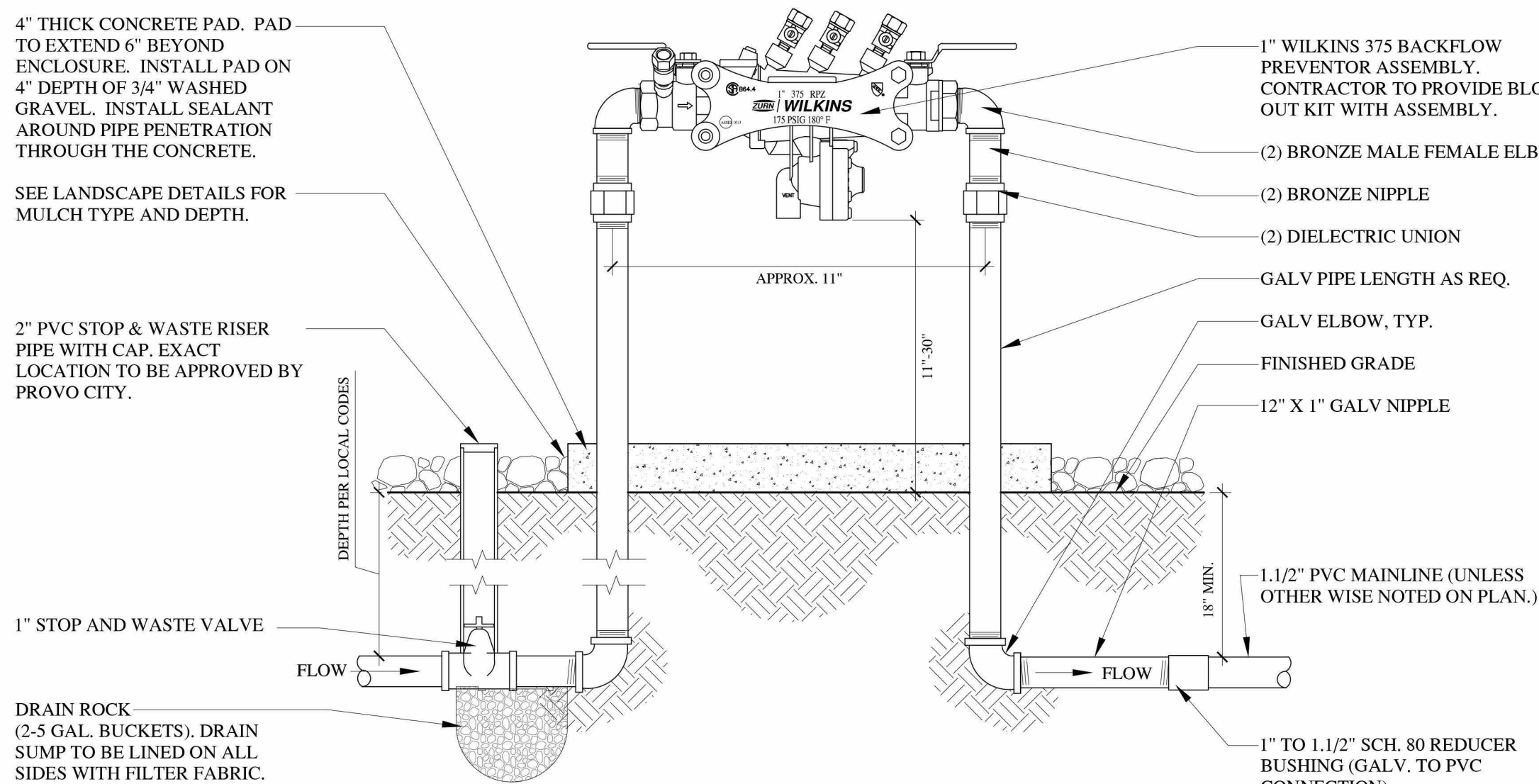
SCALE: NTS

- NOTE:
- WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
 - ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.

- NOTES:
- CONTRACTOR SHALL INSTALL 4" POP UP SPRAYS IN ALL TURF AREAS.

- NOTES:
- INSTALL ROTORS 2" AWAY FROM HARDSCAPE PAVING AND 12" AWAY FROM WALLS, BUILDINGS, FENCES OR OTHER STRUCTURES.
 - ALL ROTORS TO HAVE STAINLESS STEEL RISERS.
 - FOR ROTORS WITH FLOWS LESS THAN 8 GPM, STREET ELLS, TEES AND NIPPLES MAY BE 3/4" IN SIZE.

- NOTES:
- FLUSH ALL PIPING PRIOR TO INSTALLING VALVE.
 - WRAP ALL THREADS WITH TEFLON TAPE. 1 1/2 TO 2 WRAPS MAXIMUM.
 - COMPACT SOILS AROUND VALVE BOX TO 80% OF ORIGINAL DRY DENSITY.
 - INSTALL GEOTEXTILE UNDER VALVE BOXES AND TAPE TO PIPE NIPPLES AND VALVE BOX.
 - BOX COLOR - GREEN IN TURF AND TAN IN PLANTER AREAS.
 - INSTALL VALVE BOXES 1/2" ABOVE GRADE IN LAWN AREAS AND FLUSH WITH TOP OF COBBLE ROCK IN PLANTER AREAS.
 - IRRIGATION SYSTEM TO BE BLOWN OUT WITH AIR COMPRESSOR THROUGH QUICK COUPLERS OR THROUGH RPZ BLOWOUT PORT BEFORE FREEZING TEMPERATURES OCCUR, TYP.



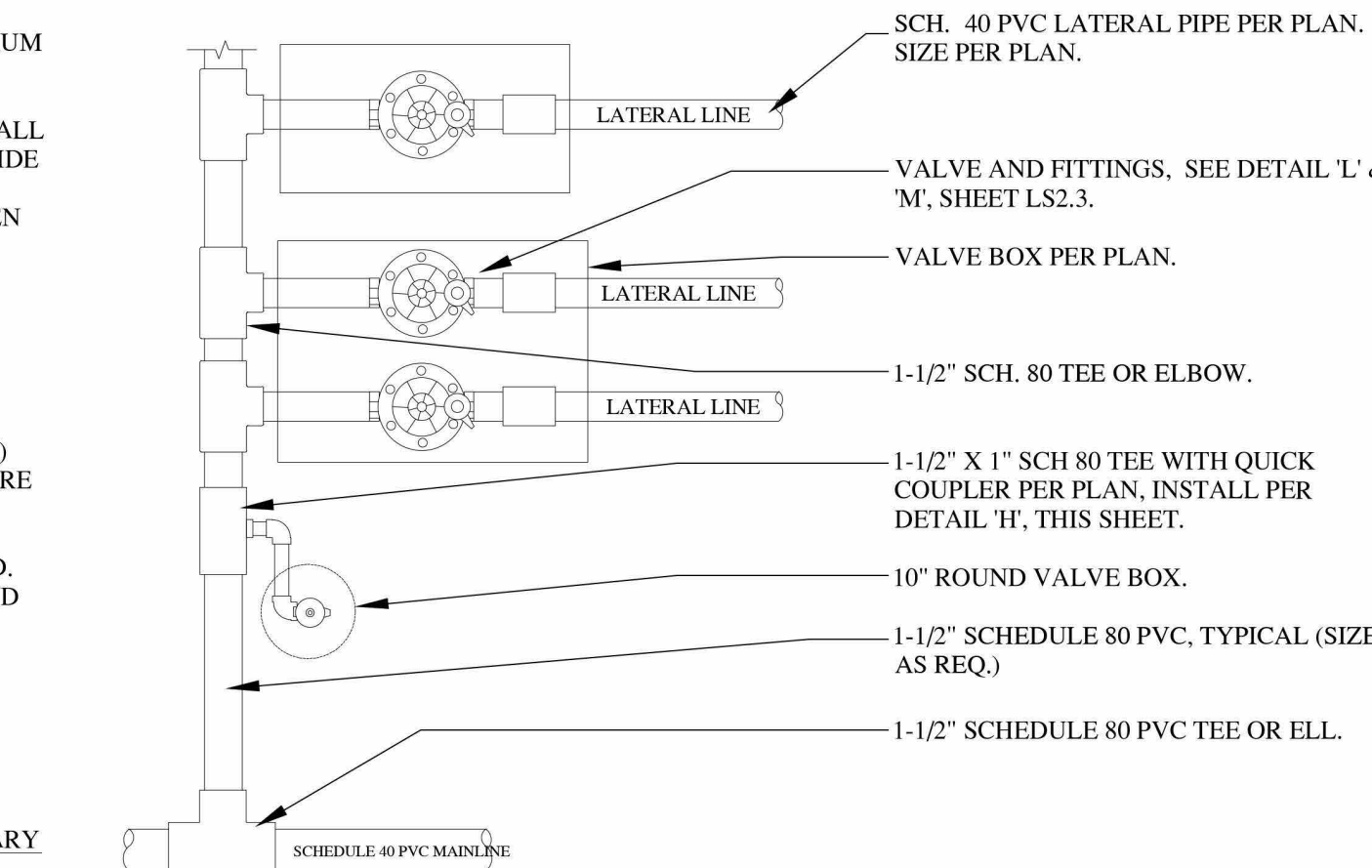
I BACK FLOW PREVENTION DEVICE DETAIL

SCALE: NTS

- BACKFLOW PREVENTOR NOTES:
- EQUIPMENT TO BE INSTALLED AT A MINIMUM OF 24" FROM ANY STRUCTURES OR HARDSCAPING.
 - WHEN UNIT IS NEXT TO STRUCTURE (i.e. WALL BUILDING, ETC.) MOUNT TEST COCKS ON SIDE AWAY FROM STRUCTURE.
 - PROVIDE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON HOW TO DRAIN ENTIRE BACKFLOW UNIT TO PREVENT FREEZING. CONTRACTOR TO PROVIDE BLOW OUT KIT FROM MANUFACTURER.
 - CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR PROPER RPZ INSTALLATION.
 - INSTALL METAL ENCLOSURE (NOT SHOWN) OVER THE RPZ. INSTALL PER MANUFACTURE SPECS. ENCLOSURE MAY BE ALL SPEC OR STRONG BOX ENCLOSURE. CONTRACTOR SHALL SUBMIT CUT SHEET WITH THEIR BID. ENCLOSURE TO BE SIZED AS REQUIRED AND SHALL BE INSTALLED ON A 4" THICK CONCRETE PAD. ENCLOSURE SHALL BE SECURED WITH A LOCK.

NOTE: RPZ TO BE WINTERIZED AS NECESSARY TO PREVENT FREEZING. INSULATION IS REQUIRED TO PREVENT RPZ FROM FREEZING TEMPERATURES BEFORE SYSTEM IS BLOWN OUT FOR THE SEASON. CONTRACTOR SHALL INSTALL INSULATION BLANKET FOR RPZ.

NOTE: USE A DIELECTRIC UNION WHEREVER A COPPER-BASED METAL (COPPER, BRASS, BRONZE) IS JOINED TO AN IRON-BASED METAL (IRON, GALVANIZED STEEL, STAINLESS STEEL).



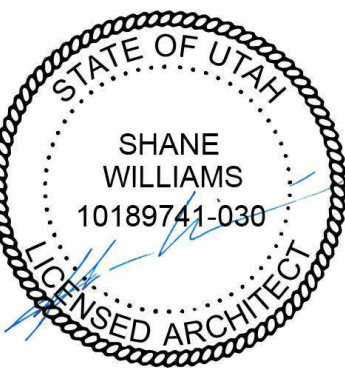
- NOTES:
- ALL VALVE MANIFOLD PIPING AND FITTINGS TO BE 1-1/2" SCH. 80 FITTINGS EXCEPT FOR VALVE EXL. SIZE THE MANIFOLD FOR VALVE EXL AS PER EXISTING OR AS NECESSARY TO ACCOMMODATE THE VALVE AND FLOW SIZE.
 - MODIFY MANIFOLD AS NECESSARY DEPENDING ON HOW MANY VALVES ARE IN A CLUSTER.
 - MODIFY AS REQUIRED DEPENDING ON WHETHER THE VALVES ARE PARALLEL OR PERPENDICULAR TO MAINLINE.

J VALVE MANIFOLD DETAIL



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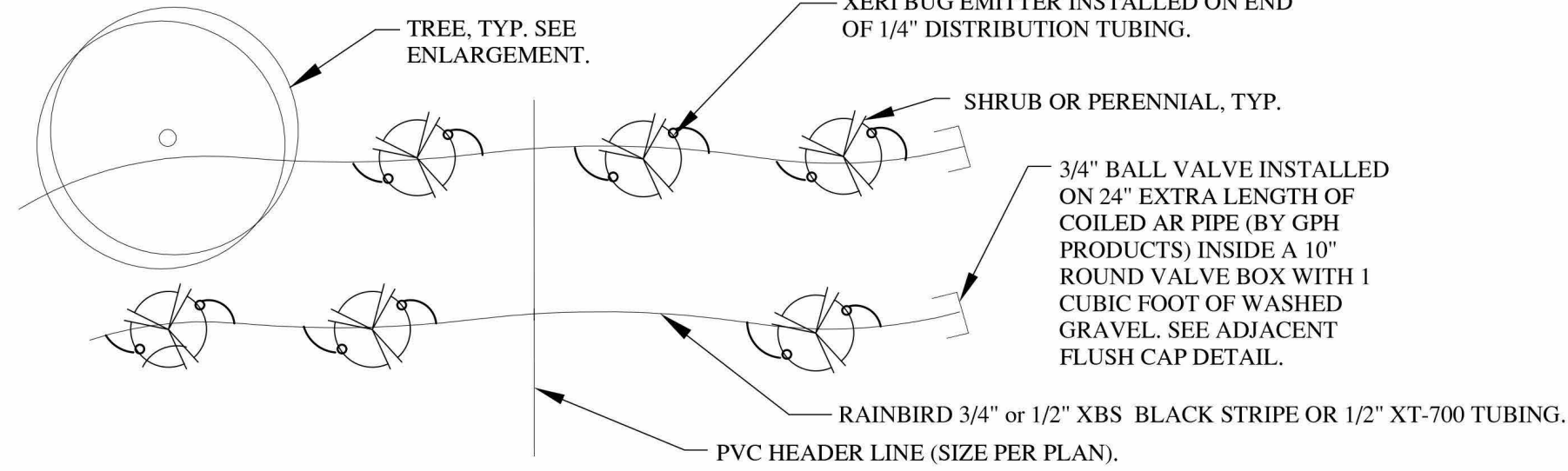
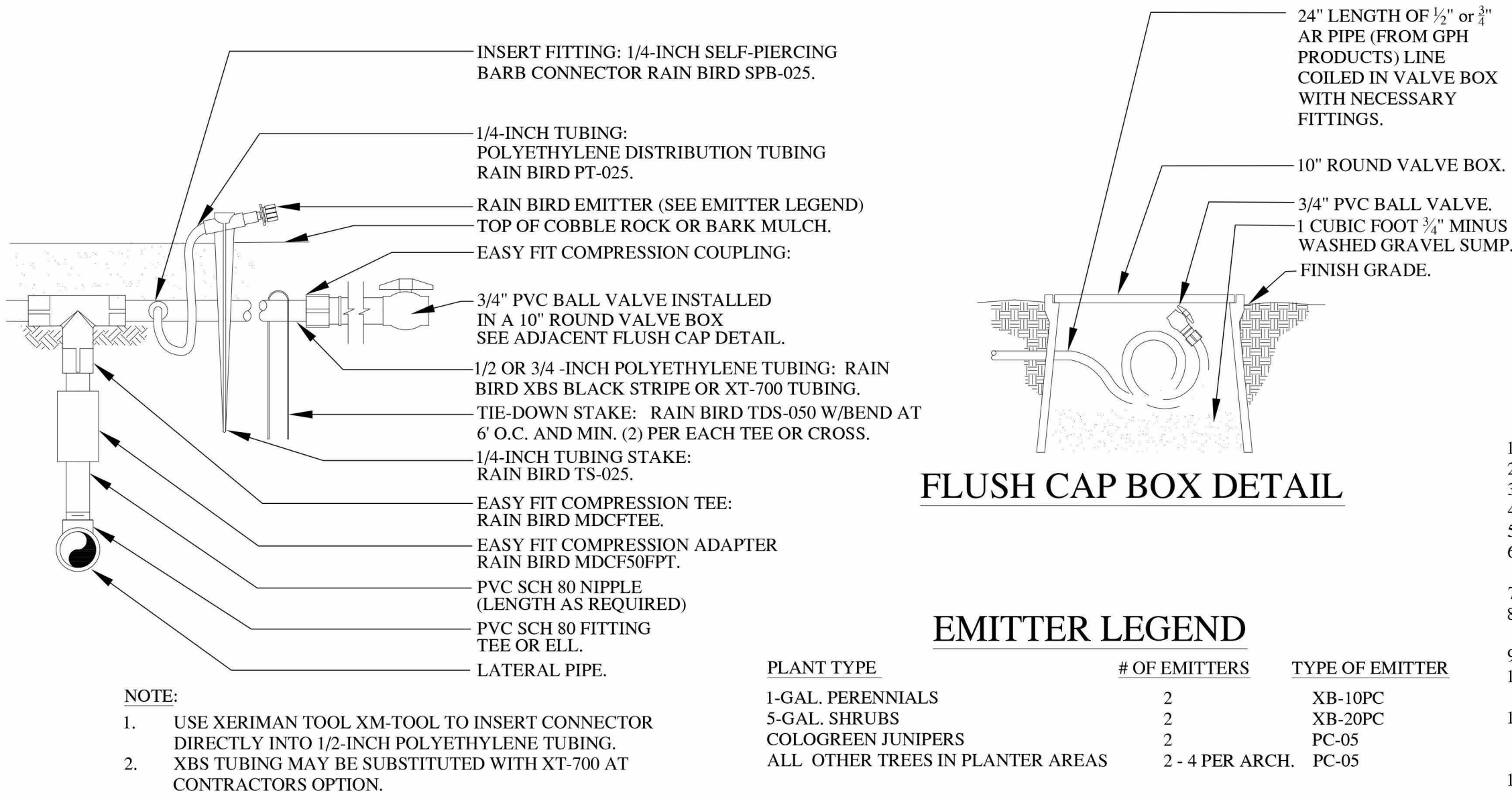
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SHEET DESCRIPTION
IRRIGATION DETAILS

SHEET NUMBER

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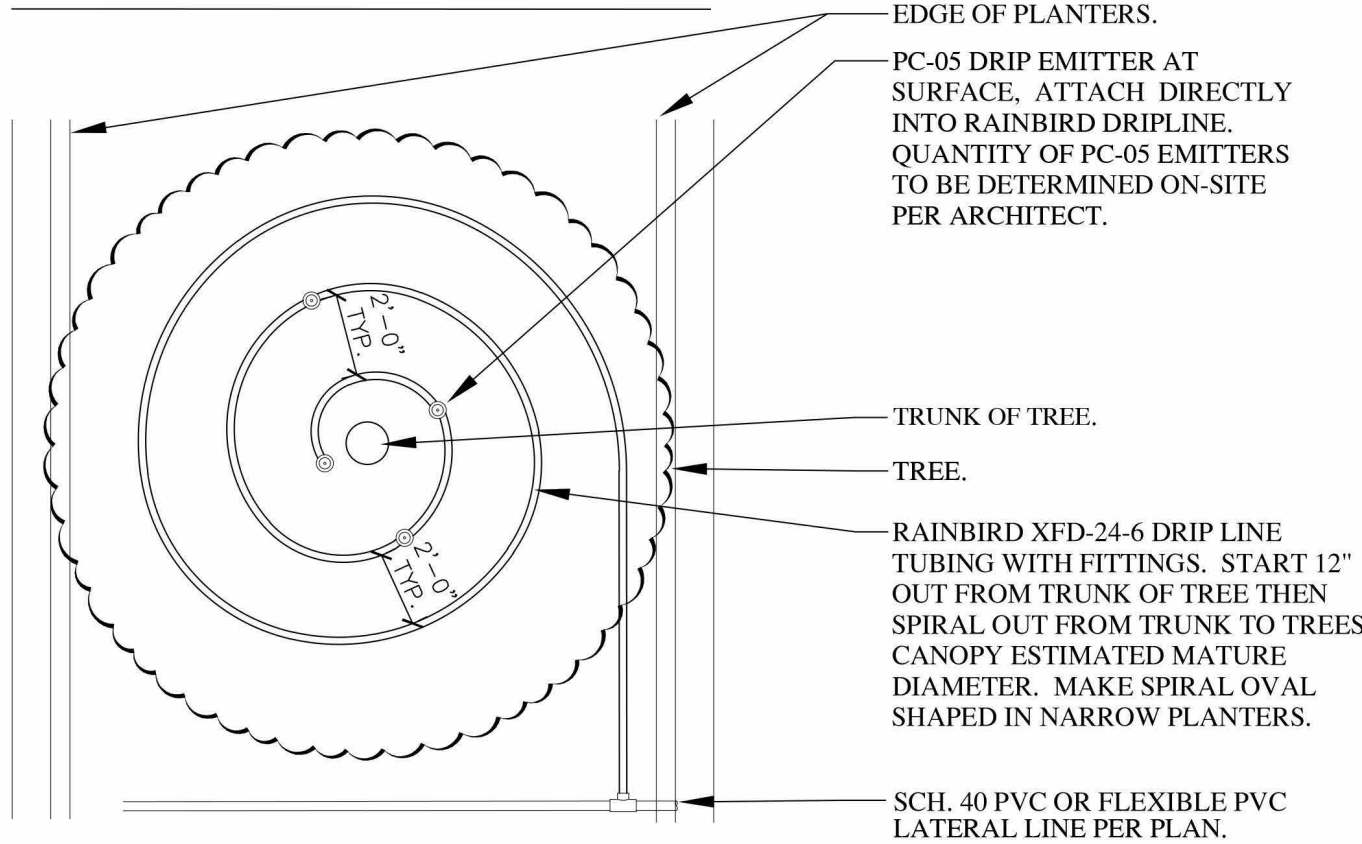
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DRIP IRRIGATION NOTES

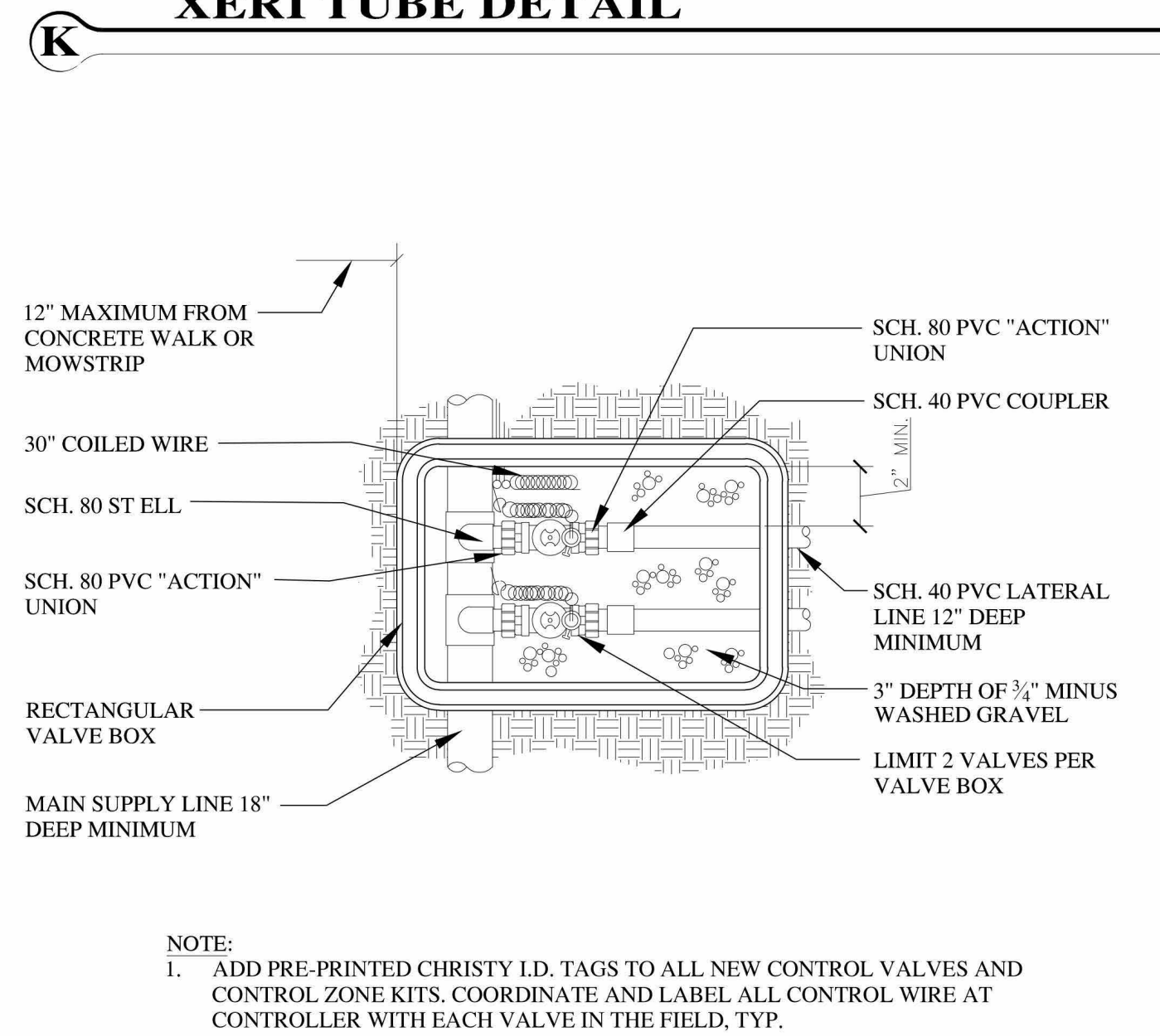
- USE RAINBIRD XERI-TUBE DRIP SYSTEM IRRIGATION PRODUCTS FOR THE DRIP SYSTEM
- USE CONTROL ZONE KITS AS SPECIFIED IN LEGEND.
- USE RAINBIRD TUBING AS SPECIFIED IN LEGEND. SPACE EMITTERS EVENLY AROUND ROOTBALL OF TREES, SHRUBS AND PERENNIALS.
- ALL SUPPLY LINES ARE TO BE 3/4" SCHEDULE 40 PVC UNLESS OTHERWISE NOTED ON PLAN.
- RUN TUBING PARALLEL TO CONTOURS WHEN POSSIBLE.
- INSTALL EMITTERS PER EMITTER LEGEND. ON-SITE ADJUSTMENTS TO DRIP SYSTEM MAY BE NECESSARY DUE TO DIFFERING SOIL CONDITIONS.
- LANDSCAPE CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER WATERING OF ENTIRE DRIP SYSTEM.
- PVC LATERAL TO BE INSTALLED WHERE DRIPLINE RUNS UNDER SIDEWALKS OR OTHER PAVED AREAS UNLESS OTHERWISE INDICATED ON PLANS.
- FLOW THROUGH 1/2" XBS OR 1/2" XT-700 TUBING SHALL NOT EXCEED 4 GPM IN ANY 1 DIRECTION. FLOW THROUGH 3/4" XBS SHALL NOT EXCEED 8 GPM IN ANY ONE DIRECTION.
- L.C. SHALL INSTALL PC DIFFUSER CAPS ON PC-05 EMITTERS PER MANUFACTURER'S SPECS.
- WHEN NATIVE PLANTS MATURE EMITTERS MAY BE ABLE TO BE DOWNSIZED DUE TO REDUCED WATER REQUIREMENTS OF NATIVE PLANTS.
- OWNER WILL BE RESPONSIBLE FOR ADJUSTING QUANTITY AND/OR SIZE OF EMITTERS AS PLANTS MATURE.
- DUE TO OVERSPRAY OF LAWN AREAS INTO PLANTER AREAS, SOME PLANTS MAY NOT NEED ANY AS MANY DRIP EMITTERS AS REQUESTED OR THE EMITTERS MAY BE ABLE TO BE DOWNSIZED OR ELIMINATED ALTOGETHER. PLANTS NEAR SPRAYS IN PLANTER AREAS MAY NEED FEWER OR SMALLER EMITTERS. CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY SO THAT PLANTS DO NOT GET OVER OR UNDER WATERED.
- CONTRACTOR SHALL USE 1/2" TUBING FOR FLOWS LESS THAN 4 GPM AND 3/4" TUBING FOR FLOWS OVER 4 GPM UP TO 8 GPM. CONTRACTOR IS RESPONSIBLE FOR FIELD CALCULATING FLOWS DURING INSTALLATION. ALL FLOWS OVER 8 GPM SHALL HAVE PVC HEADERS.

TREE DRIP ENLARGEMENT



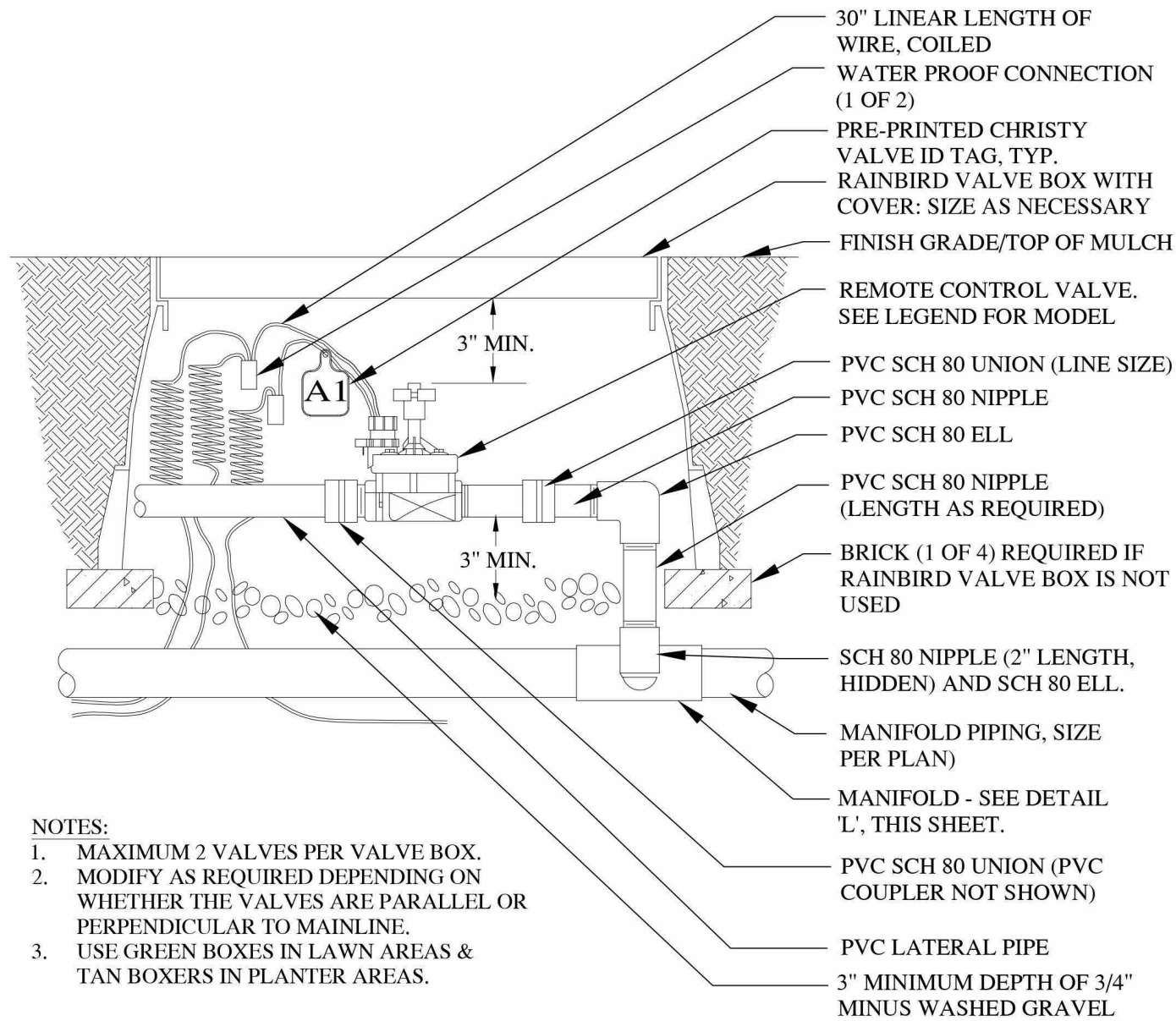
- NOTES:**
- ADJUST QUANTITY OF PC-05 EMITTERS AS REQUIRED BY TREE.
 - LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
 - INSTALL RAINBIRD DRIP TUBING ON TOP OF WEED BARRIER FABRIC AND COVER WITH ROCK MULCH PER PLANS.

SCALE: NTS



VALVE ASSEMBLY

SCALE: NTS



CONTROL VALVE DETAIL

SCALE: NTS



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