

Chairman
JAN YOUNG

City Attorney
ERIC JOHNSON

Administrative Director
NICK TATTON

City Recorder
JACI ADAMS



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PHONE (435) 636-3184 - Fax (435) 637-2905
www.pricecityutah.com

**PRICE CITY
PLANNING AND ZONING COMMISSION**

Commission

JUDY BEACCO
DAVID BLACK
KYLE HEFFERNAN
RICHARD ROOT
RENEE SWINBURNE
TODD THORNE
JAN YOUNG
ERROLL HOLT, ALT.
CHRIS WOOD, ALT.

**PLANNING AND ZONING AGENDA
10/6/2025 5:00:00 PM**

THE PRICE CITY PLANNING AND ZONING COMMISSION WILL HOLD THEIR REGULARLY SCHEDULED MEETING ON THE ABOVE DATE AT 5:00 PM IN THE PRICE CITY HALL COUNCIL CHAMBERS (ROOM 104). THE PLANNING AND ZONING COMMISSION CHAIRMAN RESERVES THE RIGHT TO MODIFY THE SEQUENCE OF AGENDA ITEMS IN ORDER TO FACILITATE SPECIAL NEEDS.

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. SAFETY SECONDS – Commissioner Heffernan
4. MINUTES
 - a. MINUTES for 09-08-2025.
5. PUBLIC COMMENT ON AGENDA ITEMS
6. GENERAL BUSINESS/DISCUSSION
7. CONDITIONAL USE PERMIT
 - a. SITE PLAN AMENDMENT. Consideration and possible approval of a site plan amendment to add Electric Vehicle (EV) charging kiosks at 651 S Carbon Avenue within the commercial 1 zoning district, Joe Gibb, Maverik.
 - b. SITE PLAN AMENDMENT. Consideration and possible approval of a site plan amendment at 240 W 100 N to add 2 storage shed structures withing the Commercial 1 zoning district, Intermountain Farmers, Cierra Jones, Store Manager
8. UNFINISHED BUSINESS

**PRICE CITY PLANNING AND ZONING REGULAR MEETING
MINUTES OF SEPTEMBER 8, 2025**

PRESENT:

Commissioners:

Judy Beacco

Erroll Holt

Richard Root

Renee Swinburne

Todd Thorne

Jan Young

Jaci Adams, City Recorder

Nick Tatton, Administrative Director

EXCUSED: Commissioner Black, Commissioner Heffernan, Commissioner Wood

STAFF/OTHERS: See Public Meeting Sign-In Sheet

1. PLEDGE OF ALLEGIANCE

Chair Young called the meeting to order at 5:00 p.m. Chair Young led the Pledge of Allegiance.

2. ROLL CALL

Roll was called with the above Commissioners and staff present.

3. SAFETY SECONDS

Commissioner Beacco reminded everyone that September is Suicide Awareness Month, make sure to check in on neighbors, friends and family.

4. MINUTES of 08-25-2025.

MOTION. Commissioner Swinburne moved to approve the minutes for 08-25-2025. Commissioner Root seconded and motion carried.

5. PUBLIC COMMENT ON AGENDA ITEMS

No public comment was discussed or reported.

6. GENERAL BUSINESS

No general business was discussed or reported.

7. CONDITIONAL USE PERMIT

a. ADULT DAYCARE LAND USE. Consideration and possible approval of a Conditional Use Permit for an adult daycare land use at 111 N 200 E within the commercial 1 zoning district, Stepping Stones Home Health Services, Amelia Walls.

The Commissioners thoroughly discussed the conditional use permit for an adult daycare land use at 111 N 200 E for Stepping Stones Home Health Services, Amelia Walls. Discussion was held regarding the purpose of the business being for seniors providing socialization, wellness activities, lunch and snacks, etc. It is anticipated to have 4-6 individuals on site at one time, which will provide quality of care, transportation will be provided using a shuttle bus. Medication will be administered by an onsite RN. There will be at least 2 employees on site. The business will be ADA accessible.

Chair Young reviewed the Code sections and read aloud the below conditions for final approval for the land uses identified by the applicant.

- ☐ **Exterior lighting during all dark hours when accessed by owners, employees or customers finding that lighted ingress/egress mitigates the potential for accidents. Exterior lighting to be high efficiency LED fixtures.**
- ☐ **Installation of a minimum of five percent (5%) area landscaping as the site will allow/accommodate. Water wise landscaping requested.**
- ☐ **Garbage dumpster in an enclosure with a hard surface and a service and capacity to prevent accumulations or wind scatter of garbage, rubbish and debris.**
- ☐ **Not less than four (4) off-street parking spaces required. 1**
- ☐ **Business signage to be submitted, reviewed and approved by the Price City Planning Department prior to installation. Removal of all non-permitted signage on the site, if any.**
- ☐ **Complete a building safety inspection with the Building Inspector and the Price City Fire Chief and compliance with all recommendations stemming from a courtesy inspection. Obtain a building permit and all construction under the auspices of a building permit and inspection, if any. Contact the Carbon County Building Department at 435-636-3260.**
 - a. Restrictions: No land uses other than adult daycare facility. No on-site activity that may require a sampling manhole or grease trap for protection of the waste water system from fats, oils, greases (FOG). Maintain appropriate and required DOPL licensing for employees and providers operating from the site, if any. No medical outpatient or inpatient services permitted. Any drop off and pick up to be completed in the parking lot and not on the public roadway on 100 N or 200 E. Hours of operation restricted to 7:00am to 6:00pm, to accommodate hours identified in the CUP application. Occupancy limited to the maximum safe occupancy of the structure as identified by the building inspector and fire chief.**
- ☐ **Obtain a Price City Business License prior to operation of the business.**
- ☐ **No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.**

ACCEPTANCE: The applicant acknowledged that she is aware of the conditions of approval, understands the conditions of approval and intends to comply with the conditions of approval.

MOTION.

Commissioner Thorne moved to approve the Conditional Use Permit for an adult daycare land use at 111 N 200 E within the commercial 1 zoning district, Stepping Stones Home Health Services, Amelia Walls. Commissioner Beacco seconded and motion carried.

8. UNFINISHED BUSINESS

Nick Tatton, Administrative Director reminded everyone about the annual Planning and Zoning Commission Retreat November 24, 2025. Chair Young praised everyone that helped with the Day of Caring event.

Chair Young asked for a motion to close the regular Planning and Zoning meeting.

MOTION. Commissioner Thorne moved to close the regular Planning and Zoning meeting. Commissioner Swinburne seconded and motion carried.

The regular Planning and Zoning meeting was adjourned at 5:17 p.m.

APPROVED: _____
Chair, Jan Young

ATTEST: _____
City Recorder, Jaci Adams



PRICE MUNICIPAL CORPORATION
185 EAST MAIN • P.O. BOX 893 • PRICE, UT 84501
PHONE (435) 637-5010 • FAX (435) 637-2905


CHAIR
JAN YOUNG

COMMISSIONERS

DALE EVANS
JUDY BEACCO
TODD THORNE
RICHARD ROOT
JADE POWELL
DAVID BLACK
ALTERNATE: DANIEL HINCKLEY
ALTERNATE: ERROLL HOLT

DATE: SEPTEMBER 5TH, 2025

TO: PRICE CITY PLANNING AND ZONING COMMISSION

FROM: NICK TATTON 

RE: CUP – SITE PLAN AMENDMENT, ADD EV CHARGING

Please find attached a Conditional Use Permit (CUP) application submitted by Joe Gibb, Maverik, to amend the site plan and add electric vehicle charging kiosks to the existing land use (convenience store) at 651 S Carbon Avenue within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria are listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is identified in Section 11.1.m of the Code. The land use is electric vehicle charging, a Conditional Use, based on Section 11.6.15.5 of the Code.

Please discuss the application, land uses, restrictions and conditions of approval with the applicant. It is the recommendation of staff to provide final approval for the CUP for the site plan amendment.

RECOMMENDED MOTION(S):

Move to authorize final approval of a Conditional Use Permit (CUP) to amend the site plan and add electric vehicle charging kiosks to the existing land use (convenience store) at 651 S Carbon Avenue within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria are listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is identified in Section 11.1.m of the Code with the land use of electric vehicle charging, a Conditional Use, based on Section 11.6.15.5 of the Code and subject to the following conditions of approval:

1. Confirm efforts to comply with the original Conditional Use Permit (CUP), dated September 23rd, 2023, and continue any bona-fide neighborhood development impact mitigations.
2. Maintain a minimum of five percent (5%) area landscaping. Water wise landscaping requested.
3. Obtain a building permit and all construction/installation under the auspices of a building permit and inspection. Contact the Carbon County Building Department at 435-636-3260.
4. Complete a public infrastructure development agreement, if required, with the Price City Public Works Department and payment of any financial surety required, if required.
5. Electrical Specific Requirements:
 - a. Payment to Price City in an amount of one-hundred twenty-five percent (125%) of the Rocky Mountain Power cost estimate for electrical system connection requirements

prior to commencement of any site work. True-up of final cost for electrical system work and connection and refund or additional billing from Price City.

- b. All connections to the Price City electrical system to be metered for billing purposes, provision of all necessary metering and billing information to Price City prior to meter installation and operation of the electric vehicle charging kiosks.
- c. All electrical connections to be as indicated on the submitted plans and as directed or further directed by the Price City electric department. Specific electrical connection requirements:
 - i. Plans, cost estimates, invoicing, and payment. A complete project plan is required to be submitted, reviewed, and approved by the Price City Electrical Utility Infrastructure Specialist. A complete project plan must consist of the following:
 - 1. Complete site plan showing the locations of all existing and proposed electrical infrastructure equipment (ex: poles, transformers, sectionalizing cabinets, secondary and service ground boxes, overhead conductors, underground conduits and conductors, electrical services, etc.)
 - 2. Proposed electrical equipment in locations that meet or exceed the requirements of the Pacific Power/Rocky Mountain Power 2022 Electrical Service Requirements Manual including all required clearances, set-backs, and access stipulations.
 - 3. The addition of a Price City required spare conduit of equal or larger size for any new or modified underground primary voltage conductor runs as determined by the Price City Electrical Utility Infrastructure Specialist.
 - 4. A one-line diagram of any electrical service equipment including voltages, overcurrent protection equipment ratings, and conductor sizes up to the main electrical service disconnecting means or overcurrent devices being used as service disconnecting means.
 - 5. A completed Price City Load Sheet and any equipment specifications or datasheets that indicate the electrical consumption and demand.
 - 6. If it is determined by the Price City Electric Utility Infrastructure Specialist that changes need to be made, a new project plan will need to be submitted for review and approval after the changes are made. The timeline for this review to be completed will be variable based on the Specialists work load, planned City events, power outages, and other work that is of higher priority. Once a Project plan is approved, the Specialist will submit it to a contracted estimator for a cost estimate to be generated. Once the estimate is returned to Price City, an invoice for the estimated cost of the project minus any allowances or discounts will be issued to the developer, contractor, or the financially responsible party. The invoice will be required to be paid in full (125% as indicated above) prior to Price City authorizing the procurement of any materials or scheduling of any work to be done by their contractor for the development.
 - 7. All work required to be completed by the developer must be completed and all inspections performed by the appropriate organizations as detailed later in these requirements before the City's contract crews will be scheduled.

8. Work for the project will be scheduled based on the availability of the appropriate materials needed for the project and the schedules of the City's contract crews to complete the work.
 9. According to the requirements of the City's contractors to be able to make and maintain any type of guarantees for the work they do, developers may not procure and provide certain types of materials for the project such as high and low voltage conductors that are to be installed in the Electric Utility maintained areas and equipment and Utility Power Transformers.
 10. Due to continued supply issues, estimation of delivery or installation of Electric Utility Transformers cannot be provided. The procurement of Utility transformers can only be done once the electrical service has been inspected and approved by the Authority Having Jurisdiction to be energized and have Utility services to begin.
 11. Once the project is completed and Price City has received all invoices from their contractors for the work done and the costs evaluated against the cost estimate, the developer will be invoiced for any additional cost not covered by the initial invoice or a refund if the costs were less than the initial invoice. Any additional invoices must be paid within 30 days to prevent the loss of utility services at the development.
6. Electrical work or requirements that are the responsibility of the developer to be completed. Conduit: The developer shall be responsible for the installation of two 4-inch PVC underground electrical conduits from the nearest high-voltage sectionalizing cabinet to the location of the transformer. If a single conduit already exists, a second conduit will be required to be installed. The developer shall be responsible for the installation of three 4-inch PVC underground conduits from the transformer location to the Electrical Service switchgear location. All underground conduit installations must meet the minimum requirements of the most recent Rocky Mountain Power **Policy 242 - Underground Conduit Systems for Primary and Secondary Conductors** and Section 5 of the **Rocky Mountain Power Electrical Service Requirements Manual** and all other relevant Federal, State, and local requirements and regulations.
 7. All underground electrical distribution and service conduit installations must be inspected by a Price City Electrical Utility Infrastructure employee or their designated representative prior to backfill. After a backfill of 12 to 18 inches has been placed over the conduit, a metallic or traceable warning tape must be installed and inspected again by a Price City Electrical Utility Infrastructure employee or their designated representative prior to the remaining backfill and grade work being done. ***Failure to have these inspections completed appropriately shall result in the developer having to expose the conduit, at their cost, for the required inspections.***
 8. All underground conduit installed using open trench excavation must be PVC electrical conduit that is rated and listed for that purpose by an appropriate listing agency.
 9. All underground conduit installed using horizontal directional drilling must be HDPE electrical conduit that is rated and listed for that purpose by an appropriate listing agency.
 10. Ends of any HDPE conduit installed must be properly prepared and chamfered to prevent snags and conductor damage then inspected by a Price City Electrical Utility Infrastructure Employee prior to making connections to any other conduits. Transitions from HDPE to any other type of conduit must be done using the appropriate connectors and must also be inspected prior to backfill.

11. All conduit elbows used must be wide sweep and medium or heavy weight(duty) fiberglass. Exceptions and requirements must be approved by the Price City Electrical Utility Infrastructure specialist prior to installation.
12. Elbows and conduit ends within sectionalizing cabinets, switchgear, and transformers must have end bell fittings installed. Conduit ends within the transformer vault must have appropriate fittings, ends, or treatments done or installed to prevent damage to conductors and to prevent the ingress of liquids, earth, debris, or animals into the vault.
13. Flat braided wire pulling rope or “Mule tape” rated at a minimum of 1200 lbs. Must be installed in each conduit and tied off at each open end with a minimum of 15 feet of extra line out each end of the conduit.
14. Transformer Pad and Padvault. The developer shall be responsible for acquiring and placing a transformer pad that meets the requirements in the PacifiCorp **ZG 532 Flat Pad - Three Phase Transformer** document if there are 5 conduits or less entering or exiting the transformer. The developer shall be responsible for acquiring and placing a transformer vault that meets the requirements in the PacifiCorp **ZG 521 Padvault - Three Phase Transformer** document if there are more than 5 conduits entering or exiting the transformer. The vault or pad must be set by the developer after appropriate earthwork has been completed to ensure that the transformer does not shift or tilt due to subsidence. Transformer vaults must have a drain or means for liquids to leave the vault by natural forces and the excavation prepared in such a way that any water leaving the vault can drain away so no there will be no standing water within the vault under normal and typical conditions, circumstances, and weather events.
15. The working and maintenance clearances around the Sectionalizer cabinets, transformers, and the electrical service must meet and be maintained in perpetuity the minimum requirements found within Section 4 of the **Rocky Mountain Power Electrical Service Requirements Manual**.
16. All transformers, pads, and vault installations must meet the minimum requirements of the most recent Rocky Mountain Power **Policy 242 - Underground Conduit Systems for Primary and Secondary Conductors** and all other relevant Federal, State, and local requirements and regulations.
17. Electrical Service. Installation of a current transformer cabinet with included electrical service disconnect and provisions for the installation of current transformers for metering. A 13-jaw meter socket and enclosure with provisions for the installation of a metering test-switch must be installed on the exterior of the switchgear and include a 1 inch chase, no more than 12 inches in length, from the meter socket enclosure to the current transformer section of the switchgear.
18. A concrete sidewalk or pad that meets ADA and other regulatory width and depth requirements for access, working area, and safety is required in front of the meter socket and the door side of the switchgear or cabinet and must be kept clear of any obstacles, obstructions, and hazards for personnel access.
19. All utility meters, and disconnect points must be accessible to emergency services and utility personnel at all times day and night all year round without having to enter fenced or walled in areas, going through any part of a building (interior or exterior) or having to unlock locks or other securing means put in place by anyone other than utility personnel.
20. The switchgear and electrical service installation shall meet the requirements of the Rocky Mountain Power 2022 Electrical Service Requirements Manual which Price City has voluntarily adopted and enforces and any other currently enforced local, State, and Federal requirements and regulations.
21. Restrictions:
 - a. No new signage except parking stall signage as identified in the site plan submitted.

- b. No new ingress or egress from site, no new vehicle or pedestrian traffic patterns permitted finding that existing vehicle and pedestrian traffic patterns serve to mitigate potential accidents.
 - c. No changes to existing storm water management on site finding that existing storm water flows and management serve to prevent flooding.
 - d. No changes to garbage dumpster enclosure location and service frequency and capacity finding that existing garbage enclosures serves to prevent accumulations or wind scatter of garbage, rubbish and debris.
 - e. No changes to existing off-street parking not utilized for the addition of the electric vehicle charging kiosks; must maintain not less than twenty-five (25) off street parking spaces. Not more than four (4) spaces for EV charging as identified on the submitted site plan.
 - f. No EV parking and/or charging from the public right-of-way on 600 S Street.
 - g. No placement of any EV charging apparatus/equipment (transformer, switch gear cabinet, sectionalizer, etc.) in the public right-of-way, unless otherwise authorized and directed by the Price City Electric Department Supervisor.
22. No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.
23. Move to acknowledge that the applicant is aware of the conditions of approval, understands the conditions of approval and intends to comply with the conditions of approval.

Fee: _____



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
☒ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☐ Preliminary
☒ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: Joe Gibb		2. Title: Snr. Manager Engineering	
3. Applicant's Mailing Address: 185 S. State Street		4. Suite/Apt. No.: Ste. 800	
5. City: Salt Lake City	6. State: UT	7. Zip Code: 84111	
8. County: Salt Lake County		9. Telephone: (801) 428-7894	
Project Information			
10. Name of Project (Business): Maverik Convenience Store EV Charger			
11. Address of Proposed Project: Salt Lake City			
12. Zone District (see attached zoning map):			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input checked="" type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input checked="" type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input checked="" type="checkbox"/> Demolition
17. Quarter Section(s): SOUTHWEST	18. Section(s): 21	19. Township(s): 14 S	20. Range(s) & Base: 10 E SLB&M
21. Estimated Cost of Project: TBD - a) Site Work \$ UNIT PRICES VARY b) Buildings \$ N/A c) Other \$ _____ Total \$ _____		22. Electrical Load Sheet: (Attach preliminary and final to application) IN DESIGN, CHARGER TYPES VARY	
23. Project Plans: <input checked="" type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____			

24. Brief Description of Project:

Maverik is proposing the installation of 4 EV stalls and the requisite power service equipment and service lines in the north east corner of the existing Maverik Convenience Store parking area.

25. Justification (Explain why this project is needed):

The installation of these stalls is needed to provide a better customer experience to those who chose to drive electric vehicles.

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. Not Published	609 Rose Avenue	()
2. Not Published	635 Rose Avenue	()
3. Not Published	645 Rose Avenue	()
27. Estimated Starting Date: 11/ 01 /2025	28. Estimated Completion Date: 11/ 01 /2026	29. Has P.R.W.I.D. Sewer Survey Been Submitted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

 (Authorized Representative) 09/08/2025

Signature of Property Owner

Date

Joe Ann Gibb, Senior Manager, Engineering

Please Print Name

Title

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

☐ Approve

☐ Decline

Comments:

Signature: _____

Date: _____

Requires:

☐ Building Permit

☐ Conditional Use Permit

☐ Code Amendment

☐ Board of Adjustments Variance

☐ Flood Plain Development Permit

☐ Other: _____

SITE PLAN

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.

PROJECT TEAM

JURISDICTION CONTACTS

PLANNING AND ZONING

NICK TATTON
PRICE CITY
751 E 100 N, PRICE, UTAH 84501
EMAIL: COMMUNITYDIRECTOR@PRICEUTAH.NET
PH: 435.636.3260

ENGINEERING / PUBLIC WORKS

MILES C. NELSON
PRICE CITY
432 WEST 600 SOUTH, PRICE, UTAH 84501
EMAIL: PUBLICWORKS@PRICEUTAH.NET
PH: 435.637.5010

DEVELOPER CONTACTS

MAVERIK PROJECT TEAM

MAVERIK, INC. A UTAH CORPORATION
185 S. STATE STREET, SUITE 800
SALT LAKE CITY, UTAH 84111

SITE DEVELOPMENT PROJECT MANAGER: TBD
EMAIL:
PH:

CONSTRUCTION MANAGER: TBD
EMAIL:
PH:

PROPERTY OWNER

MAVERIK, INC.
A UTAH CORPORATION
185 SOUTH ST. STE 800
SALT LAKE CITY, UT 84111

CIVIL ENGINEER

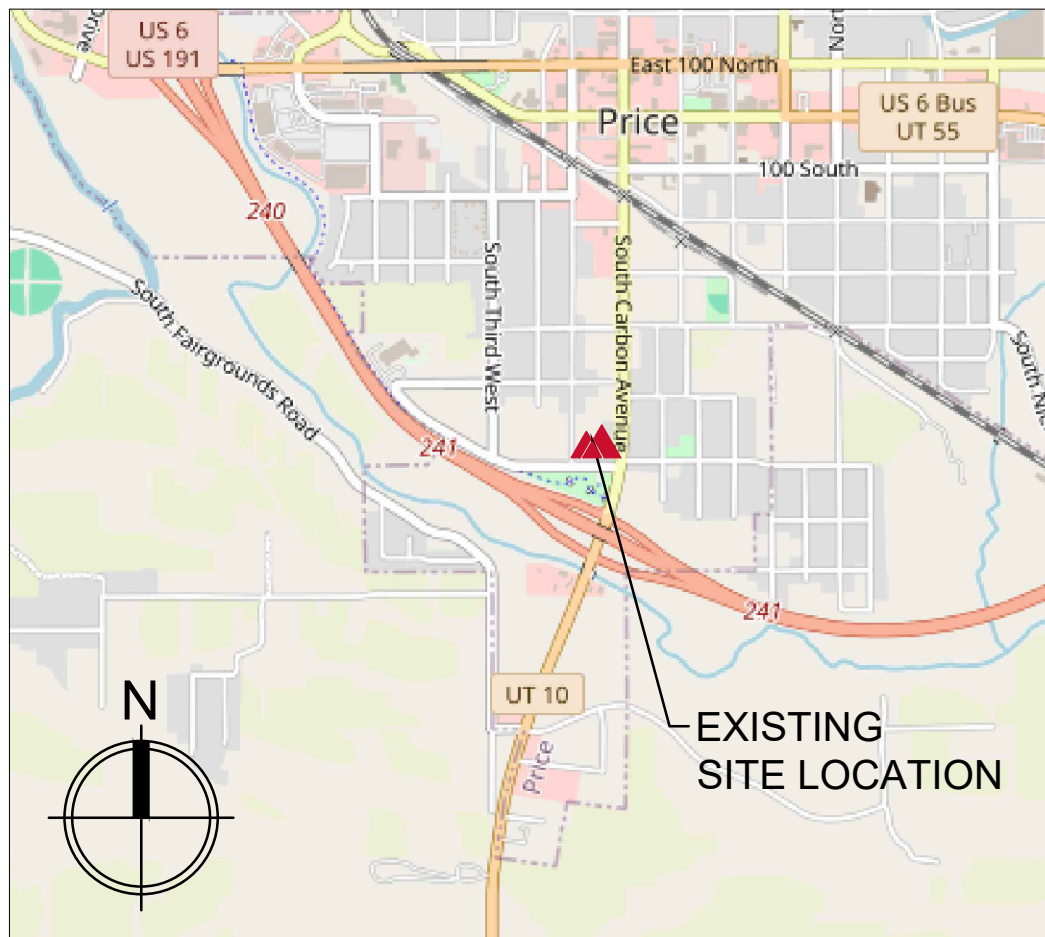
DESIGN ENGINEER: ALEX CLITES, P.E.
REVIEW ENGINEER: JOE ANN GIBB, P.E.
MAVERIK INC.
185 S. STATE STREET, SUITE 800, SALT LAKE CITY, UTAH 84111
EMAIL: ALEX.CLITES@MAVERIK.COM
PH: 304.777.8340



MAVERIK, INC.

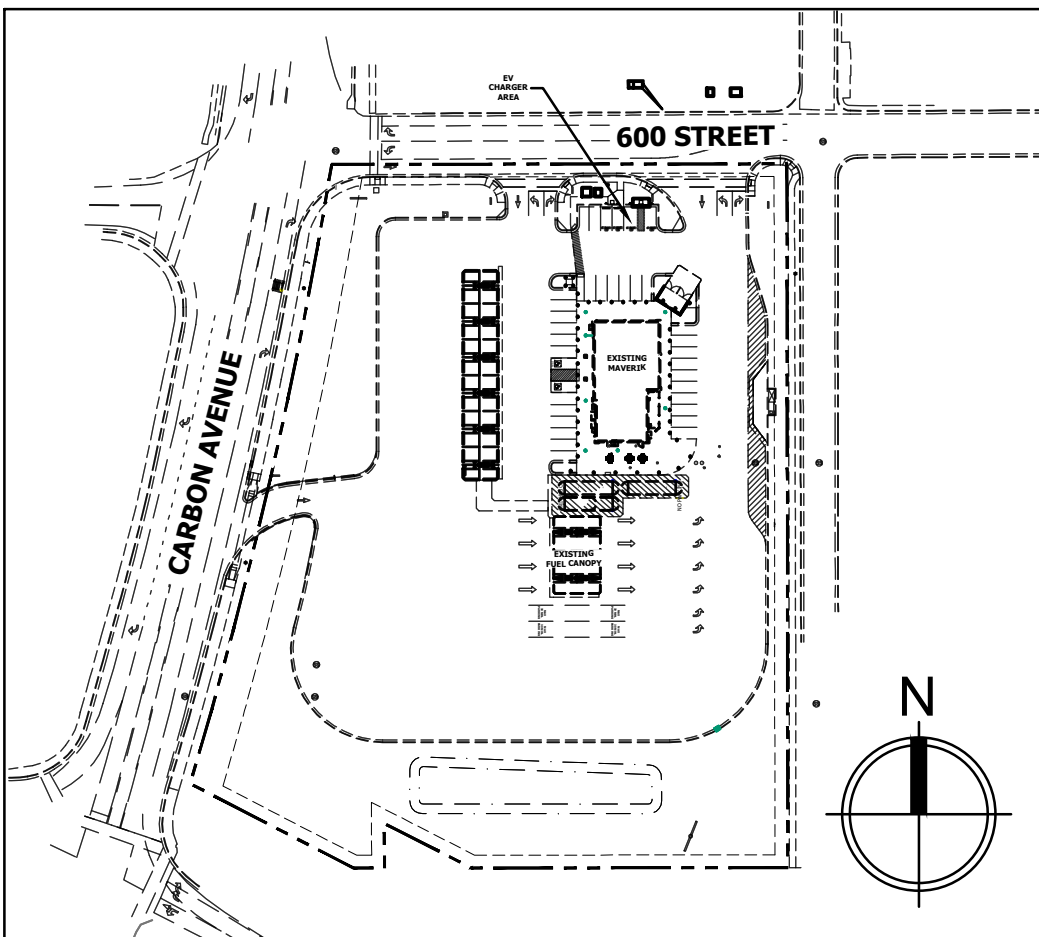
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT

651 SOUTH CARBON AVENUE, PRICE, UTAH 84501



VICINITY MAP

SCALE: 1" = 2000'



SITE PLAN

SCALE: 1" = 100'

CALL BLUE STAKES
LOCATION CENTER

811

CALL TWO BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES

WWW.BLUESTAKES.ORG

SHEET INDEX

C0.00	COVER SHEET
C0.20	SITE DEMOLITION AND EROSION CONTROL PLAN
C1.00	ELECTRIC VEHICLE CHARGER INSTALLATION AND SITE PLAN
C2.00	GRADING AND UTILITY PLAN
C3.00	SITE DETAILS
C3.01	SITE DETAILS
E100	ELECTRICAL ONE LINE DIAGRAM



185 S. State Street | Salt Lake City, Utah 84111
THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: ANY
USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION
OF MAVERIK, INC. IS PROHIBITED. 2018 MAVERIK, INC.

ARCHITECT/ENGINEER:

STAMP:

MAVERIK, INC.
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT
651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

△	DESCRIPTION	DATE

DRAWN BY: ACC

APPROVED BY: JAG

MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 05/15/2025

PROJECT NUMBER: EVC03 STORE #: 755

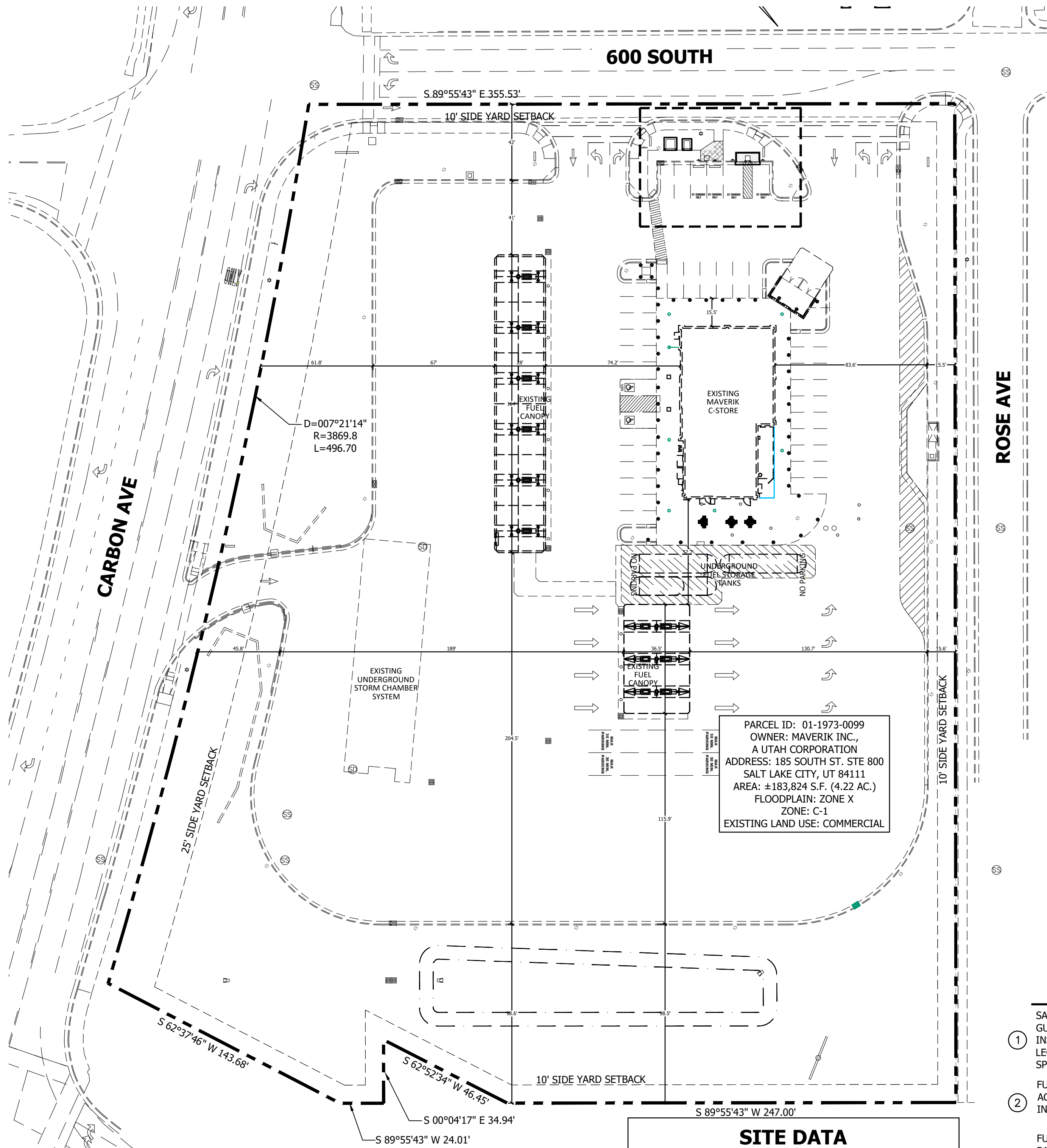
SHEET NAME

COVER SHEET

SHEET NUMBER

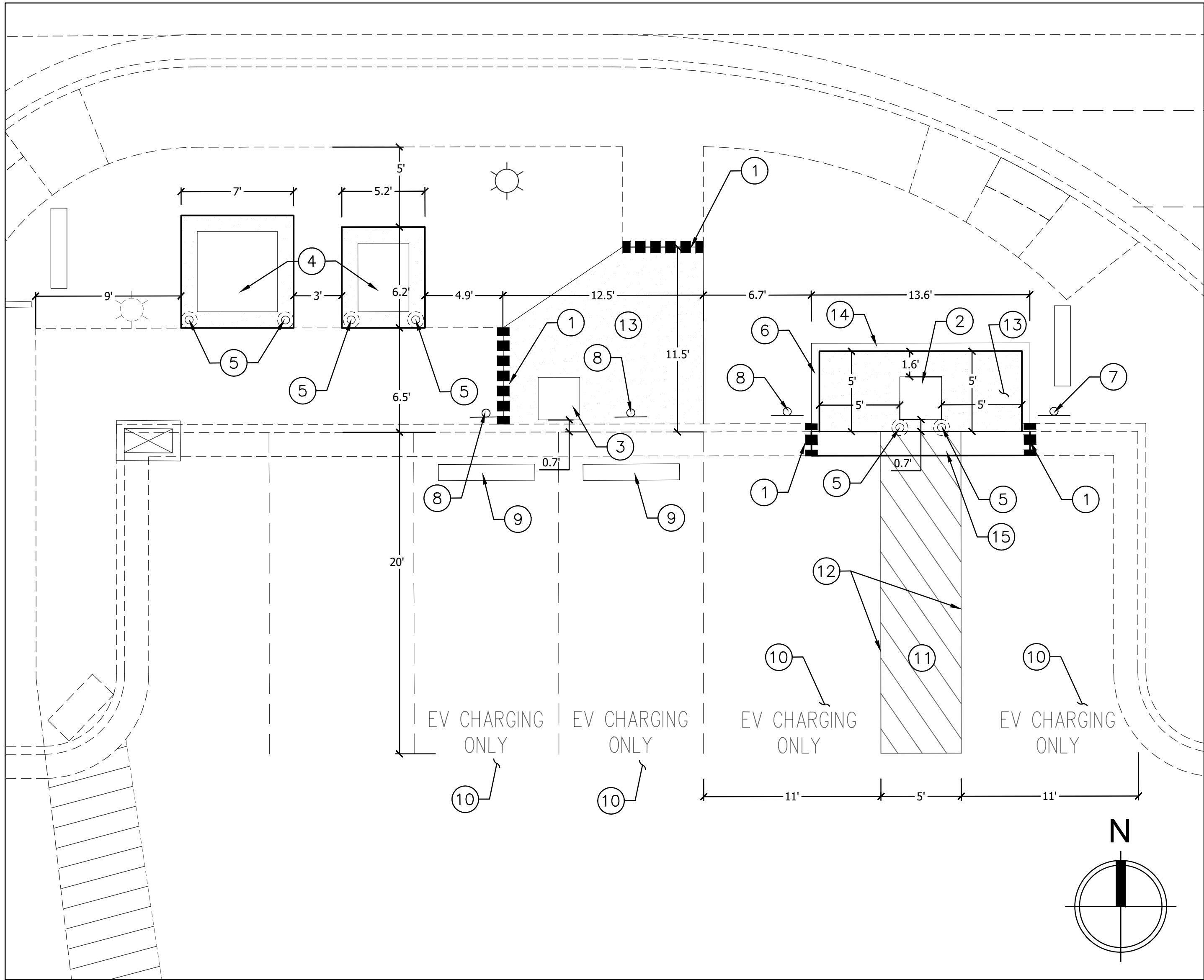
C0.00

5/21/2025 10:11:58 AM ALEX CLITES P:\Departments\Maverik Real Estate\GIS\Design\Projects\2024\24000 Misc Projects\EV Charger Site Plans\Site Locations\755 - Price\755 - C1.00-Site Plan_1_10868_762151ae_1_18379_17946007.dwg



A OVERALL SITE PLAN
SCALE: 1" = 40'

SITE DATA			
	SQUARE FOOTAGE	ACREAGE	PERCENT OF TOTAL AREA
PARCEL AREA	183,824	4.22	100.00 %
EXISTING BUILDING AREA	4,551	0.10	2.48 %
POST DEVELOPMENT IMPERVIOUS AREA (+133 SF)	107,076	2.46	58.25 %
POST DEVELOPMENT LANDSCAPE AREA (-133 SF)	76,748	1.76	41.75 %
PARKING REQUIRED	23 PARKING STALLS (1 SPACES PER 200 S.F. STORE) 4,551 S.F. STORE 1/200 x 4,551 = 23 SPACES		
PARKING EXISTING	39 TOTAL STALLS		
PARKING PROPOSED	38 STALLS		
ELECTRIC VEHICLE STALLS EXISTING	0 ELECTRIC VEHICLE STALLS		
ELECTRIC VEHICLE STALLS PROPOSED	4 ELECTRIC VEHICLE STALLS		
BUILDING HEIGHT	29'-1"		
ZONING	C-1		
EXISTING USE	CONVENIENCE STORE		



B EV INSTALLATION PLAN
SCALE: 1" = 5'

SITE KEYNOTES

- SAWCUT EXISTING ASPHALT OR CONCRETE SIDEWALK / CURB AND GUTTER AS REQUIRED TO NEAREST JOINT TO ACCOMMODATE INSTALLATION OF SITE IMPROVEMENTS AND UTILITIES. REMOVE AND LEGALLY DISPOSE OF. REPAIR PER JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- FURNISH & INSTALL ELECTRIC VEHICLE CHARGER AT GRADE FOR ADA ACCESS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER MANUFACTURER DETAILS AND SPECIFICATIONS.
- FURNISH & INSTALL ELECTRIC VEHICLE CHARGER FLUSH WITH TOP BACK OF CURB, REFER TO SHEET C3.00 DETAIL E FOR CONCRETE PAD. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER MANUFACTURER DETAIL AND SPECIFICATIONS.
- FURNISH AND INSTALL TRANSFORMER, SWITCHGEAR, CONCRETE PAD AND ASSOCIATED INFRASTRUCTURE AS REQUIRED TO SERVE PROPOSED ELECTRIC VEHICLE CHARGER. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER MANUFACTURER DETAILS AND SPECIFICATIONS.
- FURNISH & INSTALL PARKING BOLLARD, REFER TO DETAIL E AND F, SHEET 3.00.
- PAINT CURB HIGH VISIBILITY YELLOW. CONTRACTOR TO APPLY TWO COATS OF PAINT.
- FURNISH & INSTALL ELECTRIC VEHICLE ADA PARKING SPACE SIGNAGE, REFER TO DETAIL B SHEET C3.00 AND DETAIL B SHEET C3.01.
- FURNISH & INSTALL ELECTRIC VEHICLE PARKING SPACE SIGNAGE, REFER TO DETAIL C SHEET C3.00 AND DETAIL B SHEET C3.01.
- FURNISH & INSTALL PARKING STOP, REFER TO DETAIL D, SHEET C3.00.
- PAINT "EV CHARGING ONLY" IN PARKING STALL AS SHOWN. REFERENCE MUTCD FOR DETAILS AND SPECIFICATIONS. CONTRACTOR TO USE TWO COATS OF PAINT FOR ON SITE STRIPING.
- PAINT 4-INCH WIDE SOLID YELLOW DIAGONAL STRIPING, TYPICAL AS SHOWN. CONTRACTOR TO APPLY TWO COATS OF PAINT. REFERENCE MUTCD FOR DETAILS AND SPECIFICATIONS.
- PAINT 4-INCH WIDE SOLID YELLOW PARKING STRIPES, TYPICAL AS SHOWN. CONTRACTOR TO APPLY TWO COATS OF PAINT. REFERENCE MUTCD FOR DETAILS AND SPECIFICATIONS.
- FURNISH & INSTALL 4-INCH MINIMUM THICK CONCRETE WALKWAY WITH LIGHT BROOM FINISH. RE: SHEET C3.01 DETAIL B.
- INSTALL 6" CURB. RE: SITE DETAILS, SHEET C3.01, PLAN 209, TYPE P.
- FURNISH & INSTALL 24-INCH ADA ACCESSIBLE CONCRETE GUTTER IN FRONT OF EV CHARGER ACCESS AREA. RE: SHEET C3.00, DETAIL A.

CONTRACTOR TO DEFER TO ALL MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF PROPOSED EV CHARGERS.

ALL UTILITIES SHOWN ON EV INSTALLATION PLAN ARE FOR REFERENCE ONLY. CONDUIT SPACING, CLEARANCES AND ALL OTHER UTILITIES INFORMATION REQUIRED FOR INSTALLATION OF EV CHARGERS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

ELEMENTS SHOWN, INCLUDING UNDERGROUND UTILITIES, ARE FROM RECORD DRAWINGS AND VISUAL INSPECTION ONLY. IF ANY UTILITIES ARE UNCOVERED DURING CONSTRUCTION, CONTRACTOR MUST COORDINATE WITH APPROPRIATE PROVIDER AND MEET ALL CLEARANCE AND DEPTH REQUIREMENTS AND ALERT DESIGN ENGINEER A MINIMUM OF 24 HRS FROM THE TIME OF THE INITIAL INQUIRY.

CONTRACTOR TO FIELD VERIFY THE LOCATION OF SITE ELEMENTS AND RELEVANT DIMENSIONS PRIOR TO CONSTRUCTION AND ALERT ENGINEER OF ANY DISCREPANCIES.

ANY EXISTING SITE ELEMENTS DAMAGED AS PART OF THE PROPOSED SITE IMPROVEMENTS SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR.

NO CHANGES IN USE OR ZONE SHALL OCCUR AS PART OF THE PROPOSED SITE IMPROVEMENTS.

FOR SPECIFIC DESIGN DETAILS AND REQUIREMENTS, REFER TO THE APPROPRIATE CONSTRUCTION DOCUMENT SHEETS.

CALL BLUE STAKES
LOCATION CENTER

811

CALL TWO BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES
WWW.BLUESTAKES.ORG



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ARCHITECT/ENGINEER:

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MAVERIK, INC.
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT
651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP 14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

△	DESCRIPTION	DATE

DRAWN BY: ACC APPROVED BY: JAG
MAV PROTO: N/A

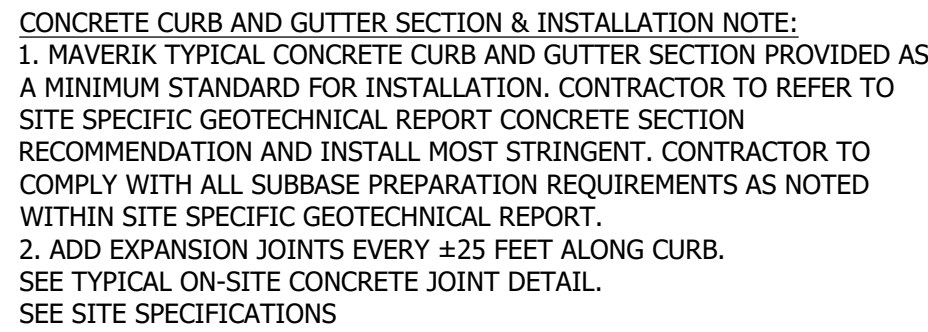
DRAWING ISSUE
CONSTRUCTION 05/15/2025
PROJECT NUMBER: EVC03 STORE #: 755

SHEET NAME

SITE AND ELECTRIC
VEHICLE CHARGER
INSTALLATION PLAN

SHEET NUMBER

C1.00



OR ENGINEER APPROVED ALTERNATE



STAMP.

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MAVERIK STORE 755
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651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

[illegible]

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MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 05/15/2025

SHEET NAME

SITE DETAILS

SHEET NUMBER

C3.00

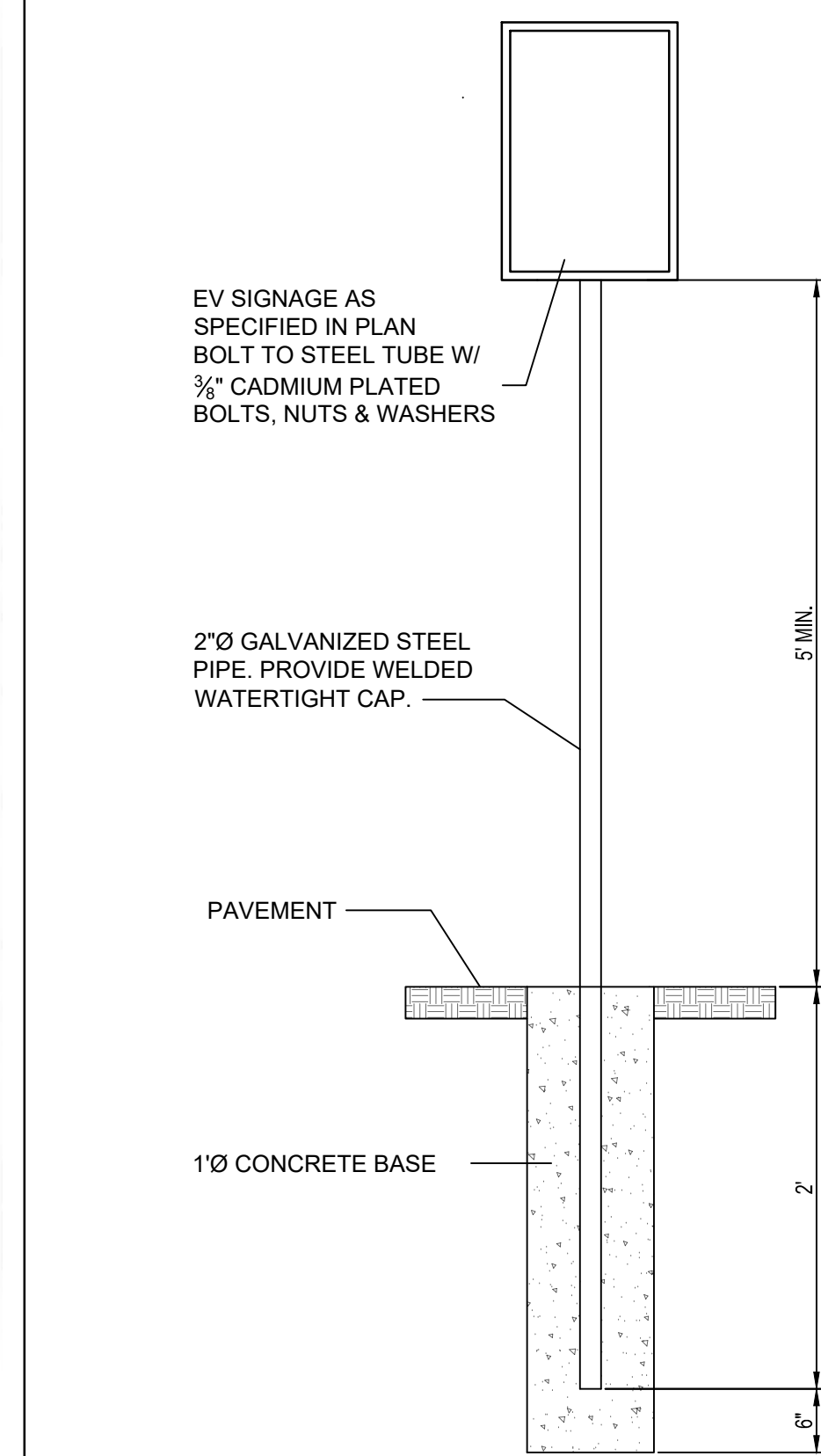
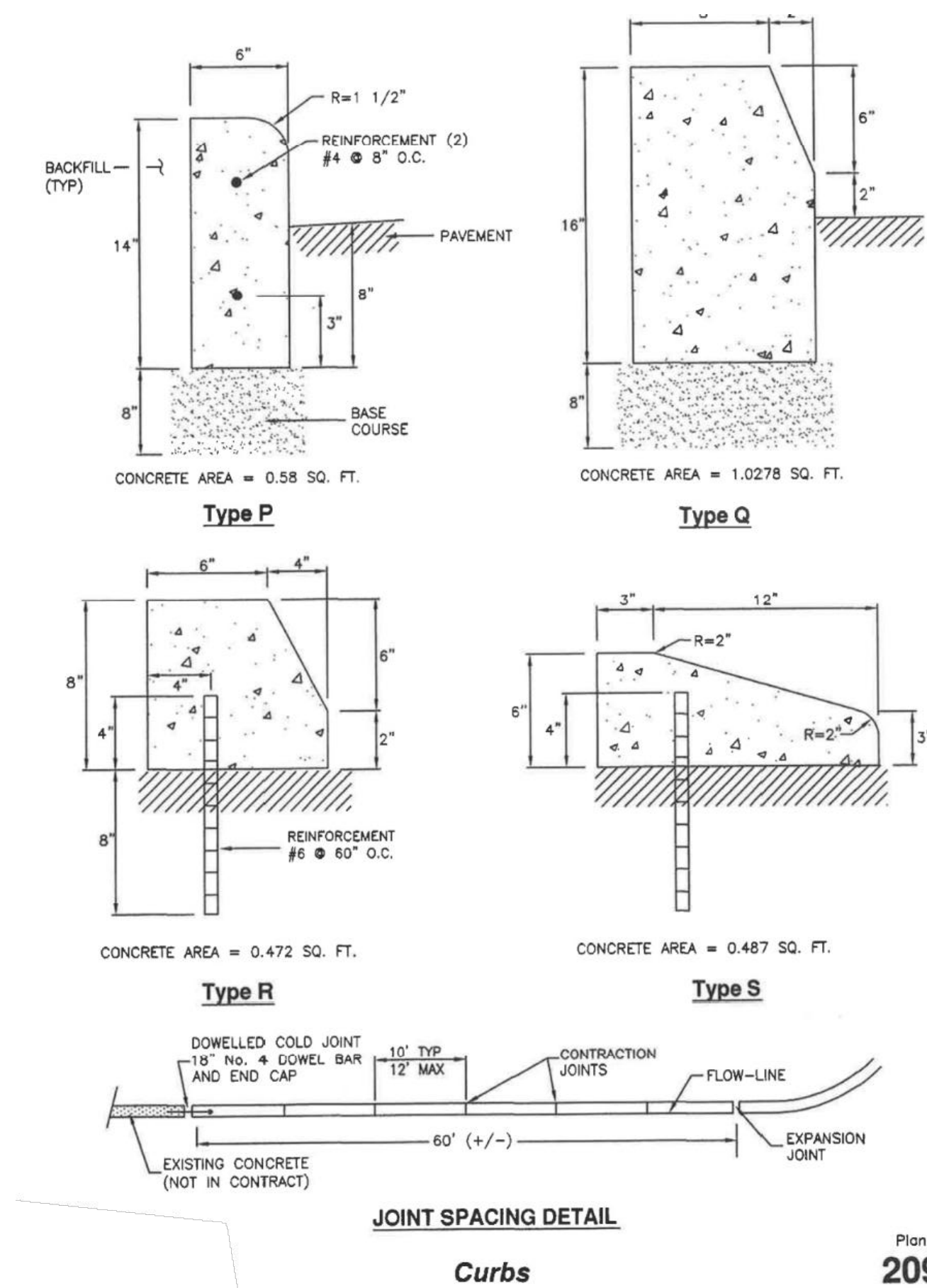
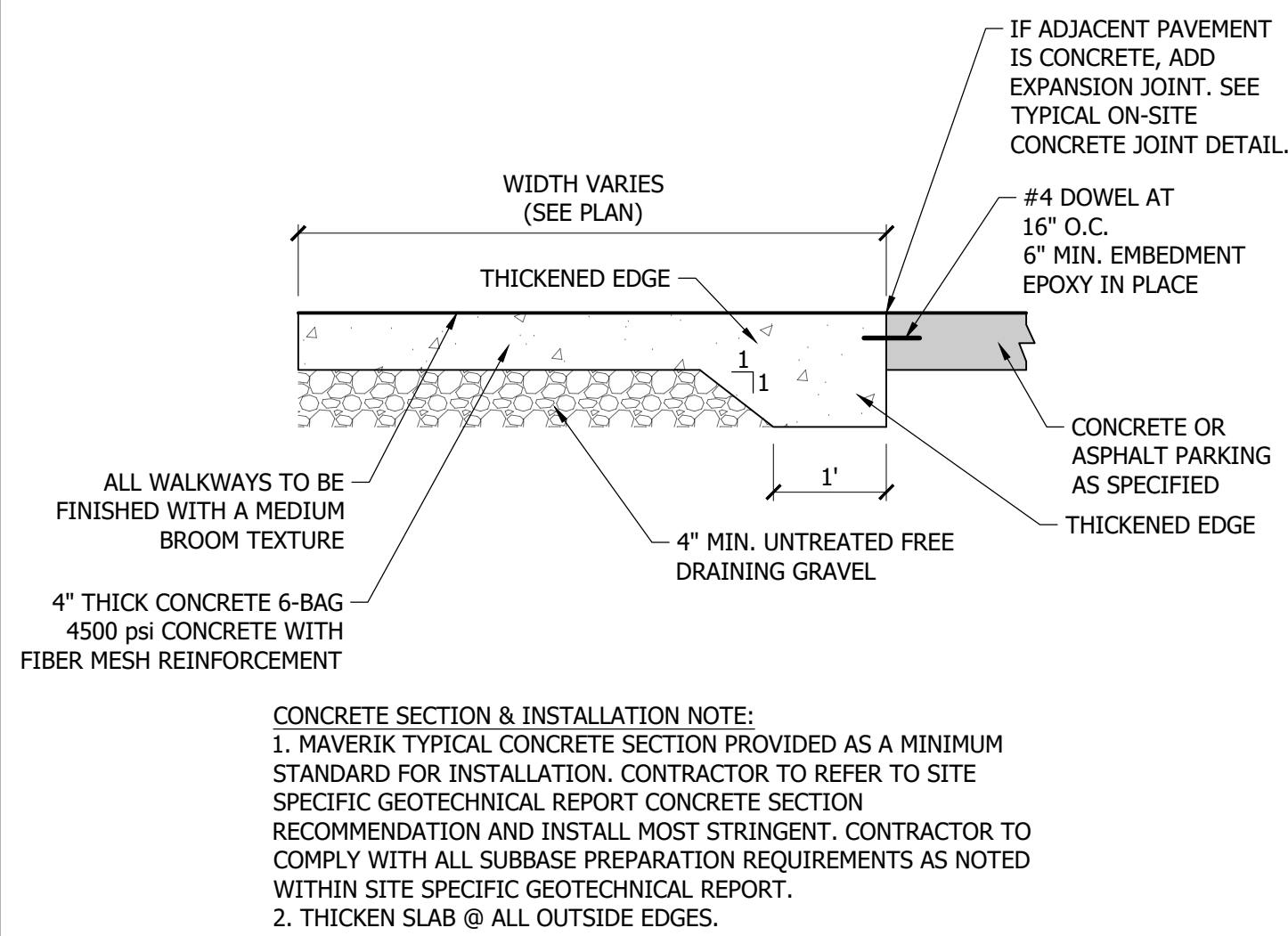


SCALE: NTS



SCALE: NTS





SCALE: NTS



SCALE: NTS



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ARCHITECT/ENGINEER

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651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

[illegible]

DRAWN BY: ACC	APPROVED BY: JAG
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MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 05/15/2025

PROJECT NUMBER: EVC03	STORE #: 755
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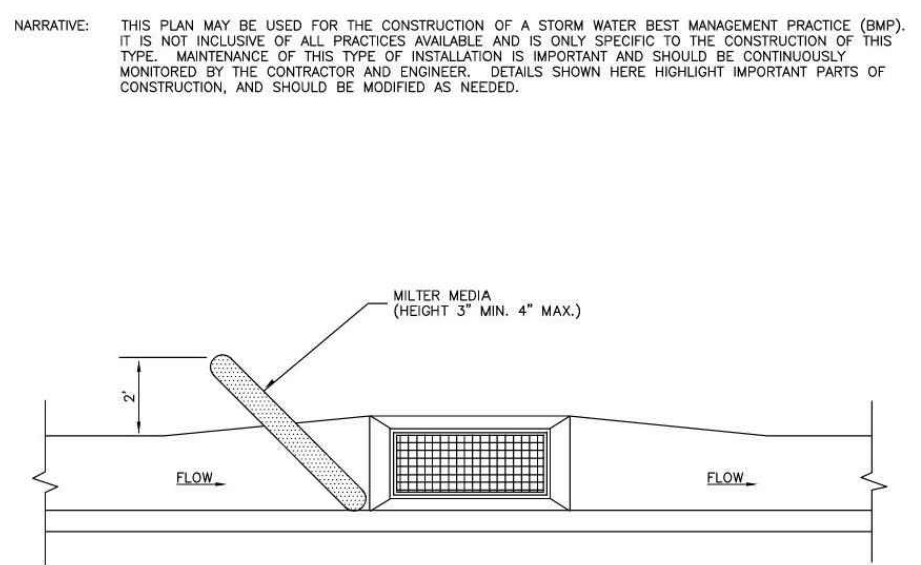
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SITE DETAILS

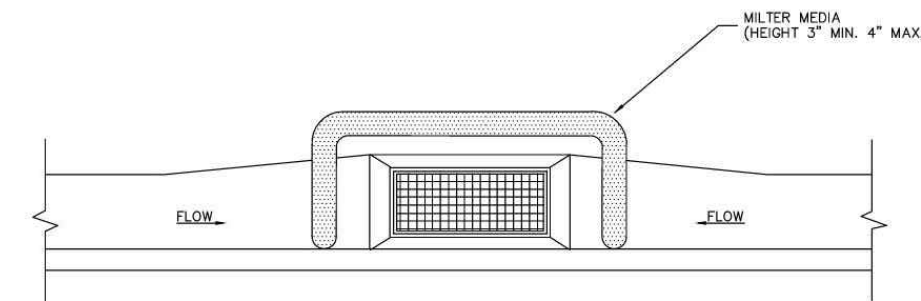
SHEET NUMBER

C3.01

2. **DESCRIPTION:** Placement of gravel sump on grade upstream or, or in front of storm drain inlets to filter or prevent runoff
3. **APPLICATION:** At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.
4. **INSTALLATION/APPLICATION CRITERIA:** Refer to APWA Section 01 57.00.
 - A. On-grade inlet protection:
 1. On-grade inlet protection should be used when completely blocking a storm drain inlet would result in forcing water further downstream would cause flooding or other undesirable results.
 2. Prepare filter media (gravel sump, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 3. Install filter media just upstream of the inlet box.
 4. Filter media shall cut off light against the face of the curb and angle at approximately a 45 degree angle away from the curb to trap runoff between the media and the curb.
 5. Excessive flows will flow either over or around the filter media and into the inlet box.
 6. Expect ponding behind the filter media.
 - B. Drop inlet protection:
 1. Drop inlet protection should be used at low points in the curb and when diverting flows further downstream will not cause undesirable results.
 2. Prepare filter media (gravel sump, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 3. Install filter media around the entire perimeter of the inlet grate.
 4. Filter media shall cut off light against the face of the curb on both sides of the inlet grate.
 5. Excessive flows will either flow around the media or over the top and into the inlet box.
 6. Expect ponding around the inlet box.
4. **MAINTENANCE:**
 - A. Inlet media protection after every large storm event and at a minimum of once monthly.
 - B. Remove sediment accumulated when it reaches 2 inches in depth.
 - C. Replace filter media when damage has occurred or when medium is no longer effective in its intended use.



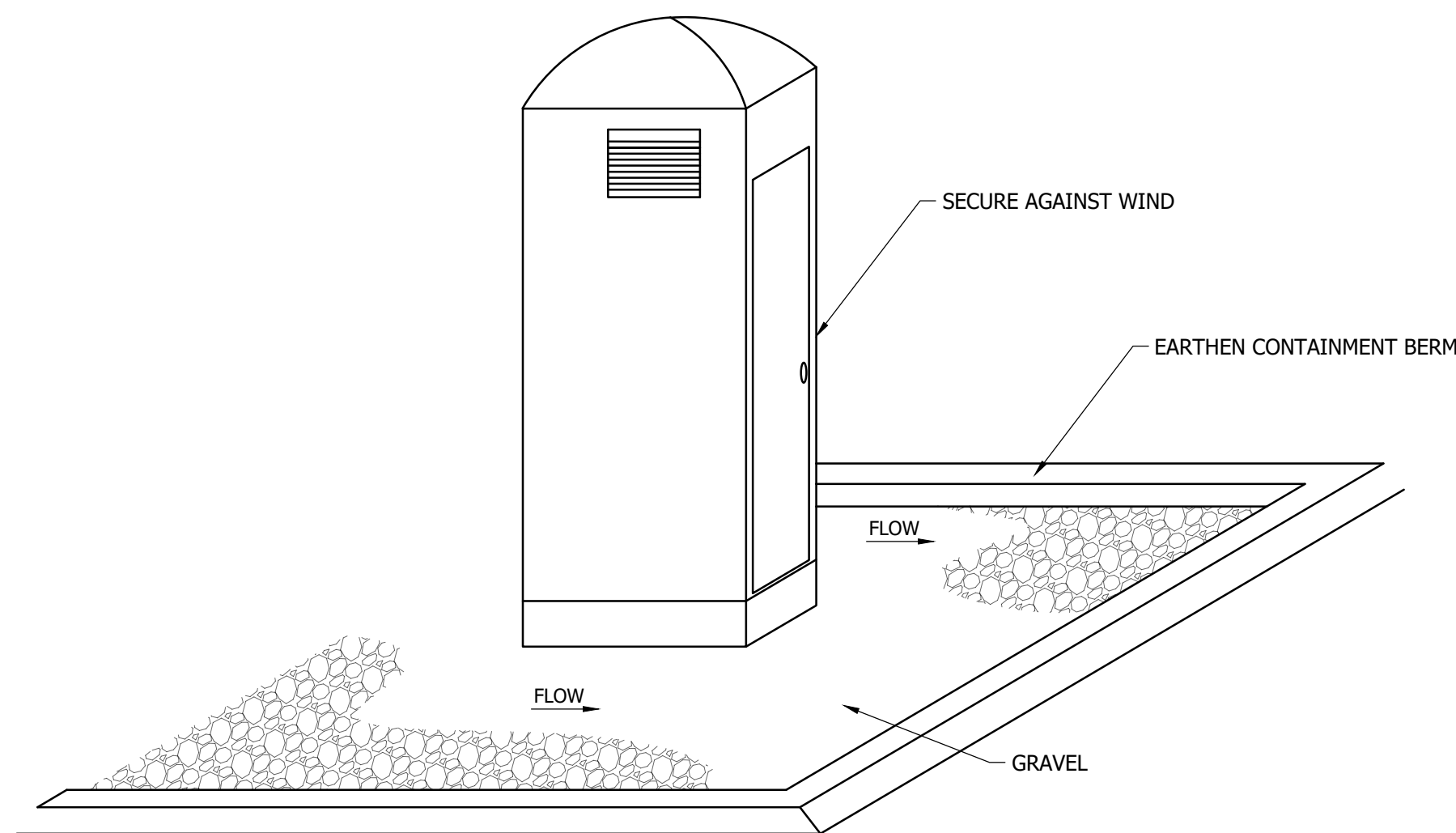
ON-GRADE INLET PROTECTION DETAIL



DROP INLET PROTECTION DETAIL

Inlet protection - gravel sock

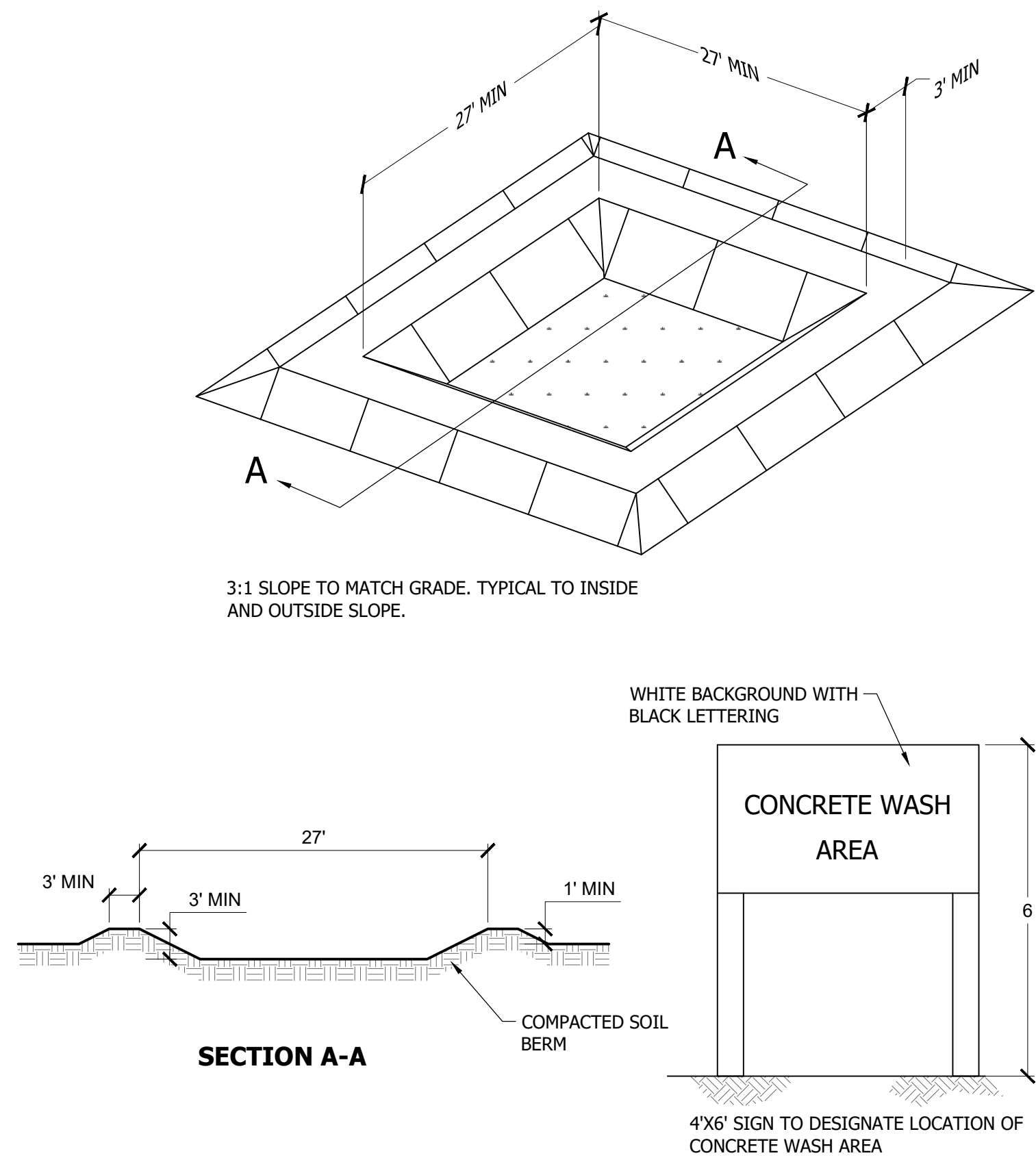
Plan No.
124
Drawing 1 of 3



NOTES:

1. AT A MINIMUM, ANCHOR PORTABLE TOILETS AT DIAGONAL CORNERS.
2. PLACE TOILETS ON LEVEL GROUND AT LEAST 10' FROM PERMEABLE SURFACE.
3. PROVIDE PORTABLE TOILETS (WITH URINALS) THAT ARE AT LEAST 4' WIDE X 4' DEEP X 7' TALL
4. PROVIDE 1 PORTABLE TOILET PER 10 WORKERS (MIN.)

D PORTABLE TOILET
SCALE: NOT TO SCALE



SECTION A-A

E CONCRETE WASHOUT AREA
SCALE: NOT TO SCALE

Ultra-Fast Charging Made Seamless



Built to Last

10 year
Designed Lifespan

ABB E-mobility

DC Output:	Output Power: 400 kW Dynamic Power Sharing: 50 kW power granularity
	Output voltage: 150 - 980 V Output current (peak): CCS: 600 A 34000...375 A
	Number of outlets: dual outlet Total system efficiency: up to 97 %
AC Input:	Nominal voltage: (CE): 400 Vac (NA): 480 Vac Nominal input current (RMS): (CE): 612 A (NA): 510 A
	Frequency: (CE): 50 Hz (± 5 %) (NA): 60 Hz (± 5 %) Earthing systems: (CE): TN-C, TN-C-S, TN-S, TT (NA): WYE
	Inf. cable size per phase (no neutral): max. 2 x 300 mm ² (600 kcmil)
	Power factor: > 0.99 @ full load Total Harmonic Distortion (THD): < 3 % Overvoltage category: III SPD: (CE): Type 1 + 2 (NA): Type 1

Display:	Type: 32" full-color LCD; Interface: 4 push buttons
Lighting:	Roof: 360° dual RGBW LED strips; Gun holder: RGBW LEDs
Languages:	English, French, Spanish, German, Italian, Norwegian, Dutch (others available via software upgrade)
Connector Options:	Patented two-phase cooling technology (CCS1, CCS2), Air-cooled 3J400 (NACS)
Cable Management System (CMS):	2 x integrated self-retracting swing arm
Cable:	Length: 4.8 m (15.7 ft); Reach: 3.5 m (11.4 ft) Length: 7 m (22.9 ft); Reach: 6.3 m (20.7 ft) Type: Air-cooled
Authentication Methods:	RFID, Autocharge, Plug to Charge, credit/debit card, mobile app
RFID System:	Mifare ISO 14443 A/B or part 4 and ISO 15693, ISO 18092/ECMA-340 (NFC). Others available on request (Calypto, Ultralight, PayPass, HID, and more)
Remote Management:	Access control, configuration, diagnostics, software updates

e-mobility.abb.com/A40C

Product Data Sheet A400/V1-5 2

Operating Conditions:	Operating from -30 °C to 55 °C (-22 °F to 131 °F) Storage / transport from -5 °C to 40 °C (23 °F to 104 °F)
	Altitude: 2000 m (6562 ft) Humidity: up to 95 %, non-condensing
	Impact resistance: IK10 (Display: IK08) IP rating: IP54, NEMA 3K; indoor and outdoor rated
	Noise emission: 65 dB(A) average @ 1 m, 25 °C (77 °F), full power intended use: indoor and outdoor
	Mounting options: floor mounted Environmental pollution degree: Class 3 (outside), Class 2 (inside)
Dimensions:	H x W x D: 2256 x 810 x 790 mm (88.8 x 31.9 x 31.1 in) Weight: 730 kg (1600 lbs)
	Accessibility: meets ADA requirements for height, reach, and user interface

Safety Standards:	(CE) EN 61851-23: 2014/AC: 2016-06, EN IEC 61851-1: 2019 (NA): UL 2202: 2002, CSA 22.2 No.346: 22, UL 2231-1, UL 2231-2
Metering:	(CE): Eichrecht (NA): CTEP/NTEP
EMC:	(CE) IEC 61851-21-2: 2021 (NA): 47 CFR FCC Part 15, Subpart B, §15.107, §15.109 (Class A)
Manufactured:	USA & Europe
Network Connections:	Dual SIM, GSM/3G/4G/5G, 10/100 Base-T Ethernet
Network Communication Protocol:	Open Charge Port Protocol (OCPP) 1.6J and 2.0.1
Vehicle Communication Protocol:	DIN SPEC 70121, ISO 15118-2, ISO 15118-3, Autocharge, Plug and Charge
Short Circuit Current Rating:	(CE): 50 kA (NA): 65 kA
RED Directive:	ETSI EN 300 330 V2.1.1 2017, EN 50364-2018 (RFID), ETSI EN 301 908-13 V1.3.2.1 2022, IEC 62311:2019, EN IEC 62311:2020 (4G test)
Additional Standards:	DC Vehicle connector compliant with IEC 62196-1-2014, IEC 62196-3:2014, Cabinet IP rating according to IEC 60529:2013
Designed Lifespan:	10 years

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Product Data Sheet A400/V1-5 3

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ABB E-mobility

MAVERIK, INC.
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT
651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

[illegible]

DRAWN BY: ACC	APPROVED BY: JAG
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MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 05/15/2025

PROJECT NUMBER: EVC03 STORE #: 755

SHEET NAME

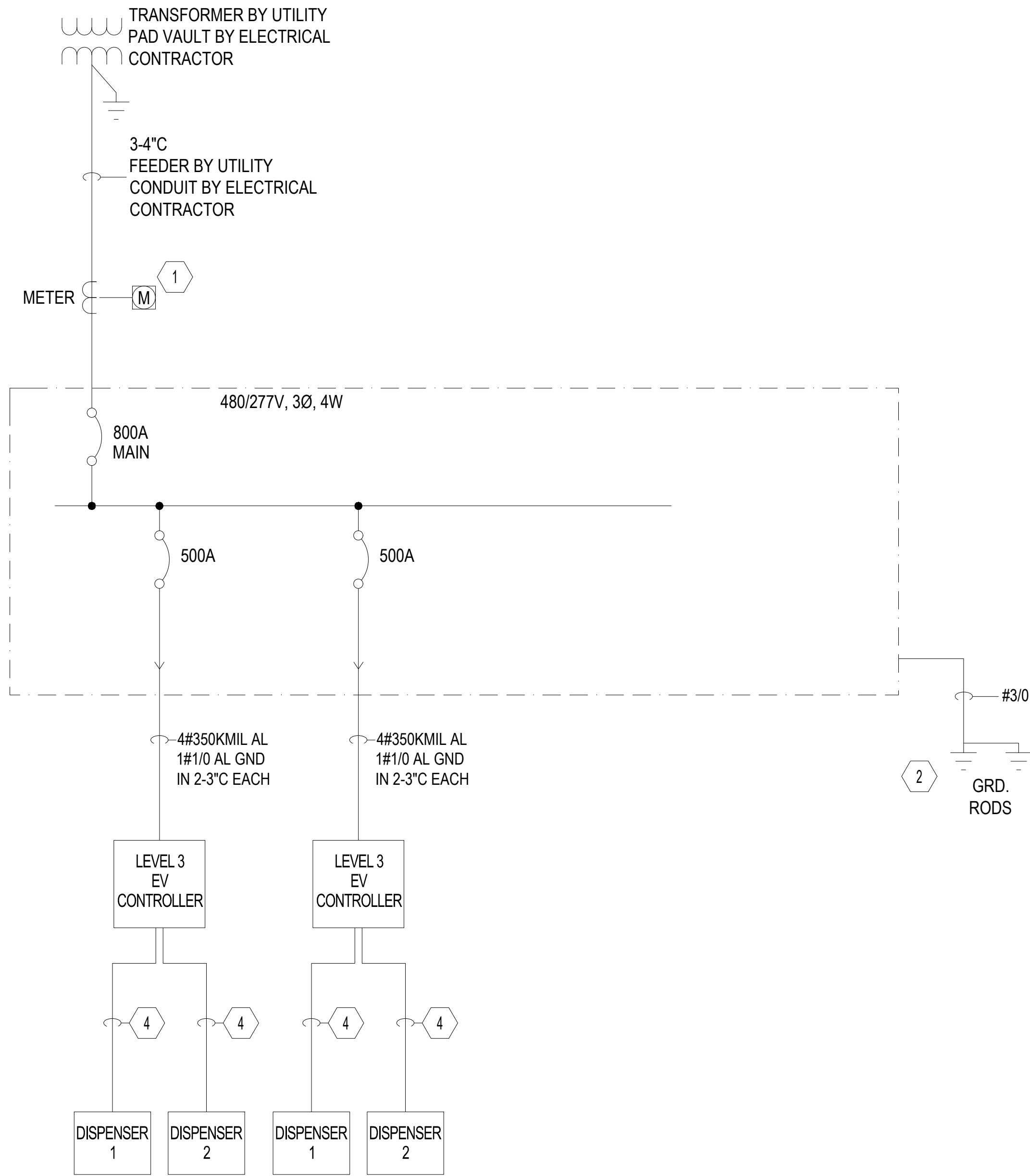
ELECTRIC VEHICLE CHARGER DETAIL (FOR REF. ONLY)

SHEET NUMBER

REF

NOTES:

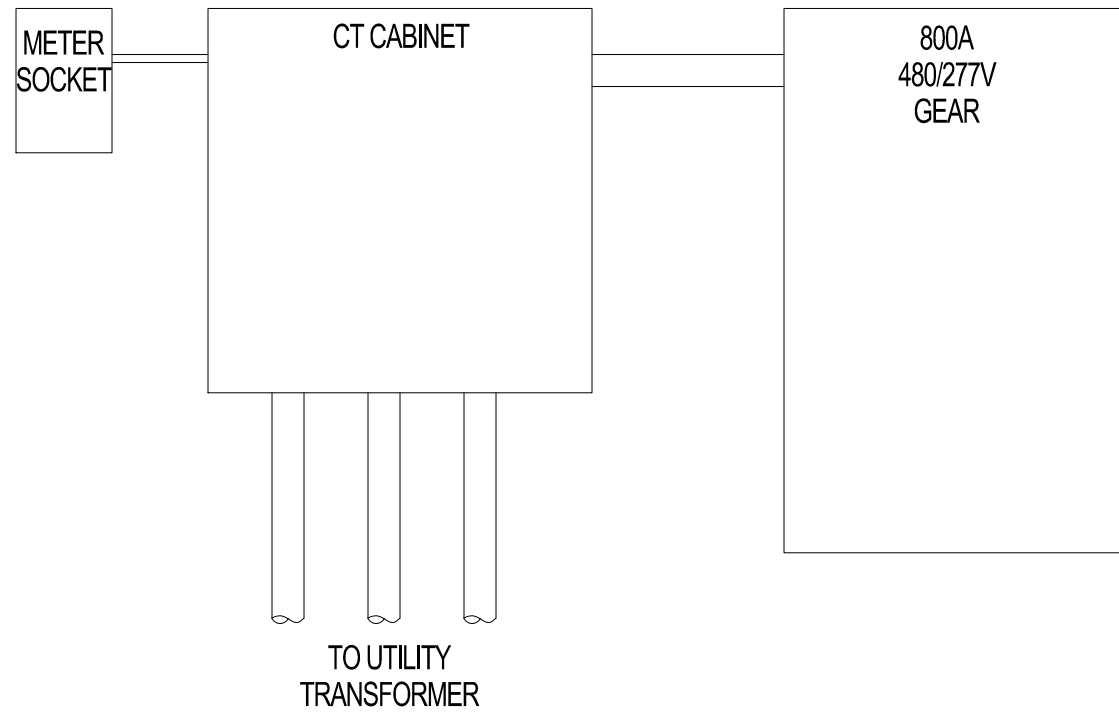
SPECIFICATIONS PROVIDED FOR REFERENCE ONLY, CONTRACTOR TO COORDINATE WITH ELECTRIC VEHICLE CHARGER MANUFACTURER AND OBTAIN THE MOST CURRENT DETAIL AND SPECIFICATIONS PRIOR TO INSTALLATION.



Fault Current Schedule		
DEVICES	FAULT	AIC RATING
480/277V UTILITY XFMR	20,071	
800A PANELBOARD	13,680	42,000

KEY NOTES:

- 1 CT CABINTE EUSERC 318.
- 2 8"x5/8" DIA. COPPER CLAD GROUNDING ROD EXOTHERMIC WELD, TYPICAL. GROUNDING BAR CONNECTED TO NEW 125A SERVICE AC PANELBOARD VIA A #6 AWG COPPER GROUNDING ELECTRODE CONDUCTOR. GROUNDING RODS SPACED 6' APART.
- 3 SEE DETAILS 1 FOR MORE INFORMATION ON INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE INSTALLATION WITH OWNERS MANUALS.
- 4 1-4" C FOR POWER, PARALLEL FEED TO DISPENSER IN THE SAME CONDUIT. AND 1-1" C FOR FIBER FOR COMMUNICATION.



E1 TYPICAL INSTALLATION OF METERING

SCALE: NTS

MAVERIK

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ARCHITECT/ENGINEER:

STAMP:

PROFESSIONAL ENGINEER

No. 12260410-2202

MARIA KUNZ

05/05/2025

STATE OF UTAH

Maria Kunz

MAVERIK, INC.

MAVERIK STORE 755

ELECTRIC VEHICLE STALL RETROFIT

651 SOUTH CARBON AVENUE

PRICE, UTAH 84501

LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

△	DESCRIPTION	DATE

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APPROVED BY: JAG

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DRAWING ISSUE

CONSTRUCTION 03/14/2024

PROJECT NUMBER: EVC03

STORE #: 755

SHEET NAME

ELECTRICAL
ONE LINE
DIAGRAM

SHEET NUMBER

E100

20

16 of 41

PROJECT TEAM

JURISDICTION CONTACTS

PLANNING AND ZONING

NICK TATTON
PRICE CITY
751 E 100 N, PRICE, UTAH 84501
EMAIL: COMMUNITYDIRECTOR@PRICEUTAH.NET
PH: 435.636.3260

ENGINEERING / PUBLIC WORKS

MILES C. NELSON
PRICE CITY
432 WEST 600 SOUTH, PRICE, UTAH 84501
EMAIL: PUBLICWORKS@PRICEUTAH.NET
PH: 435.637.5010

DEVELOPER CONTACTS

MAVERIK PROJECT TEAM

MAVERIK, INC. A UTAH CORPORATION
185 S. STATE STREET, SUITE 800
SALT LAKE CITY, UTAH 84111

SITE DEVELOPMENT PROJECT MANAGER: TBD
EMAIL:
PH:

CONSTRUCTION MANAGER: TBD
EMAIL:
PH:

PROPERTY OWNER

MAVERIK, INC.
A UTAH CORPORATION
185 SOUTH ST. STE 800
SALT LAKE CITY, UT 84111

CIVIL ENGINEER

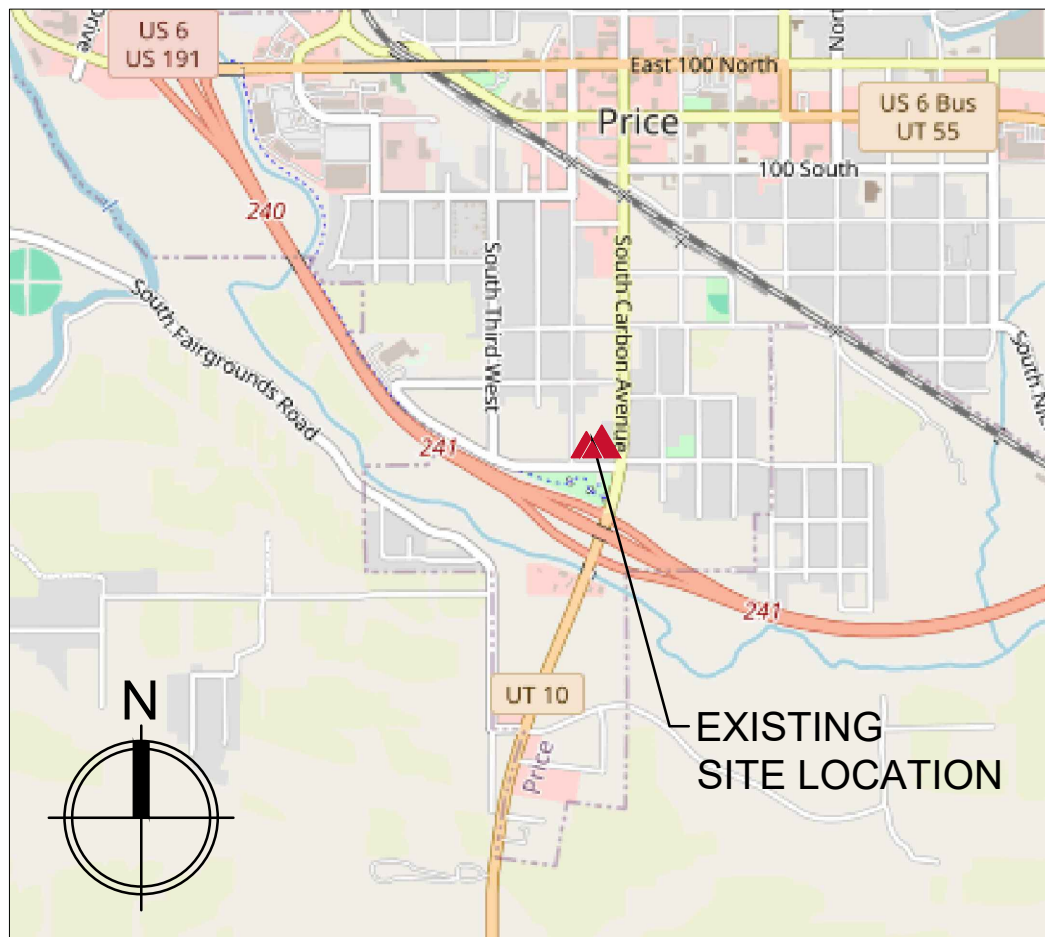
DESIGN ENGINEER: ALEX CLITES, P.E.
REVIEW ENGINEER: JOE ANN GIBB, P.E.
MAVERIK INC.
185 S. STATE STREET, SUITE 800, SALT LAKE CITY, UTAH 84111
EMAIL: ALEX.CLITES@MAVERIK.COM
PH: 304.777.8340



MAVERIK, INC.

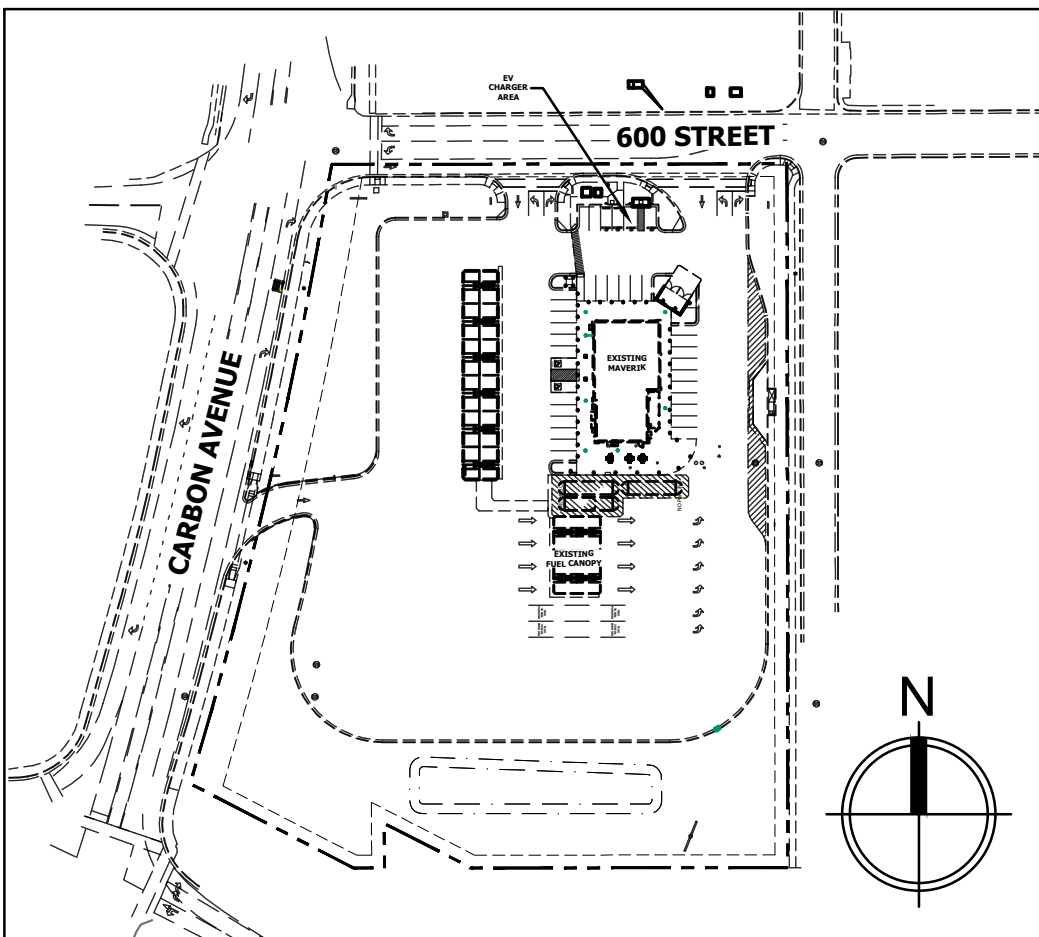
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT

651 SOUTH CARBON AVENUE, PRICE, UTAH 84501



VICINITY MAP

SCALE: 1" = 2000'



SITE PLAN

SCALE: 1" = 100'

CALL BLUE STAKES
LOCATION CENTER

811

CALL TWO BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES

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SHEET INDEX

C0.00	COVER SHEET
C0.20	SITE DEMOLITION AND EROSION CONTROL PLAN
C1.00	ELECTRIC VEHICLE CHARGER INSTALLATION AND SITE PLAN
C2.00	GRADING AND UTILITY PLAN
C3.00	SITE DETAILS
C3.01	SITE DETAILS
E100	ELECTRICAL ONE LINE DIAGRAM



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ISSUANCE

△	DESCRIPTION	DATE

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MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 05/15/2025

PROJECT NUMBER: EVC03 STORE #: 755

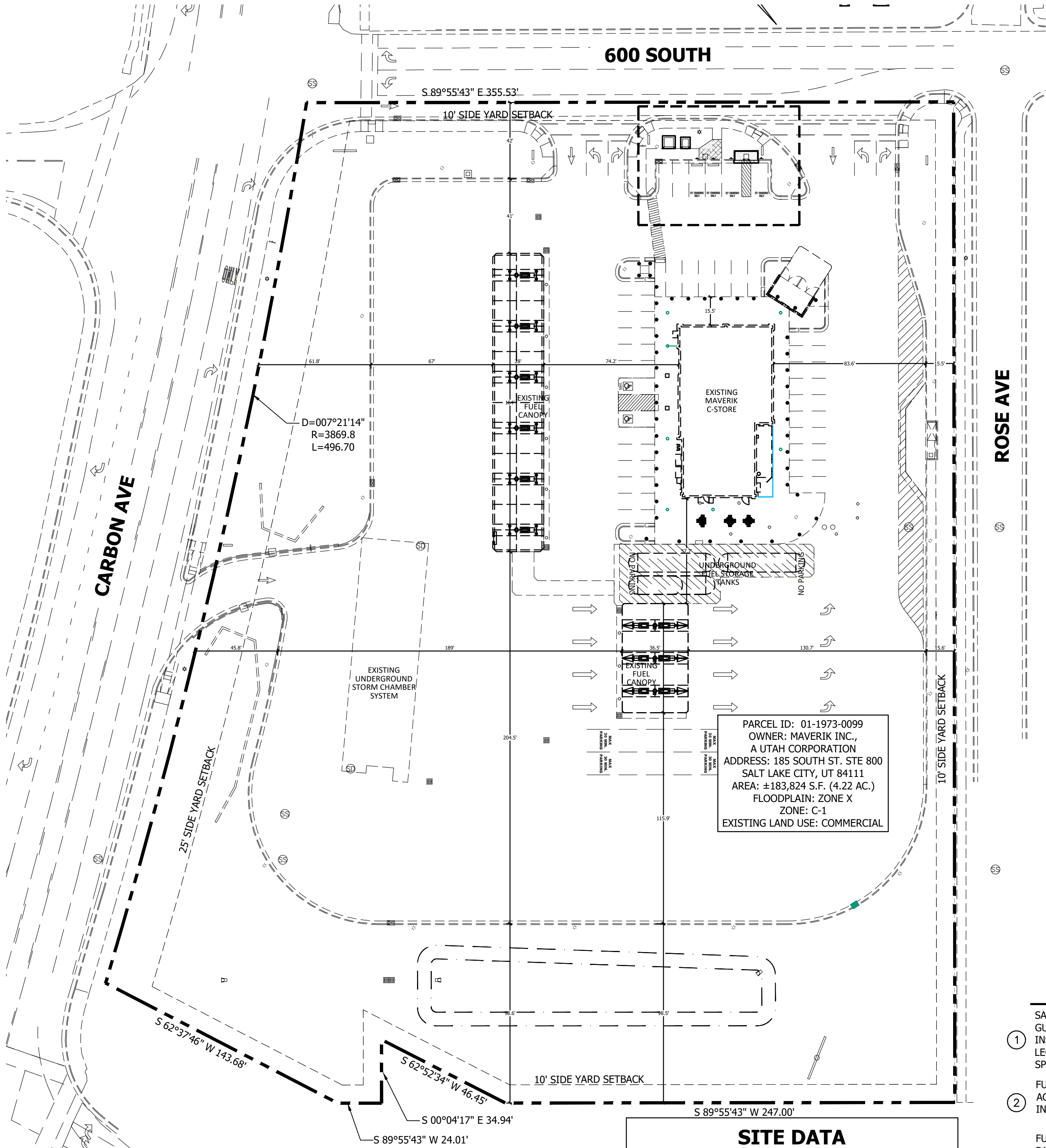
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COVER SHEET

SHEET NUMBER

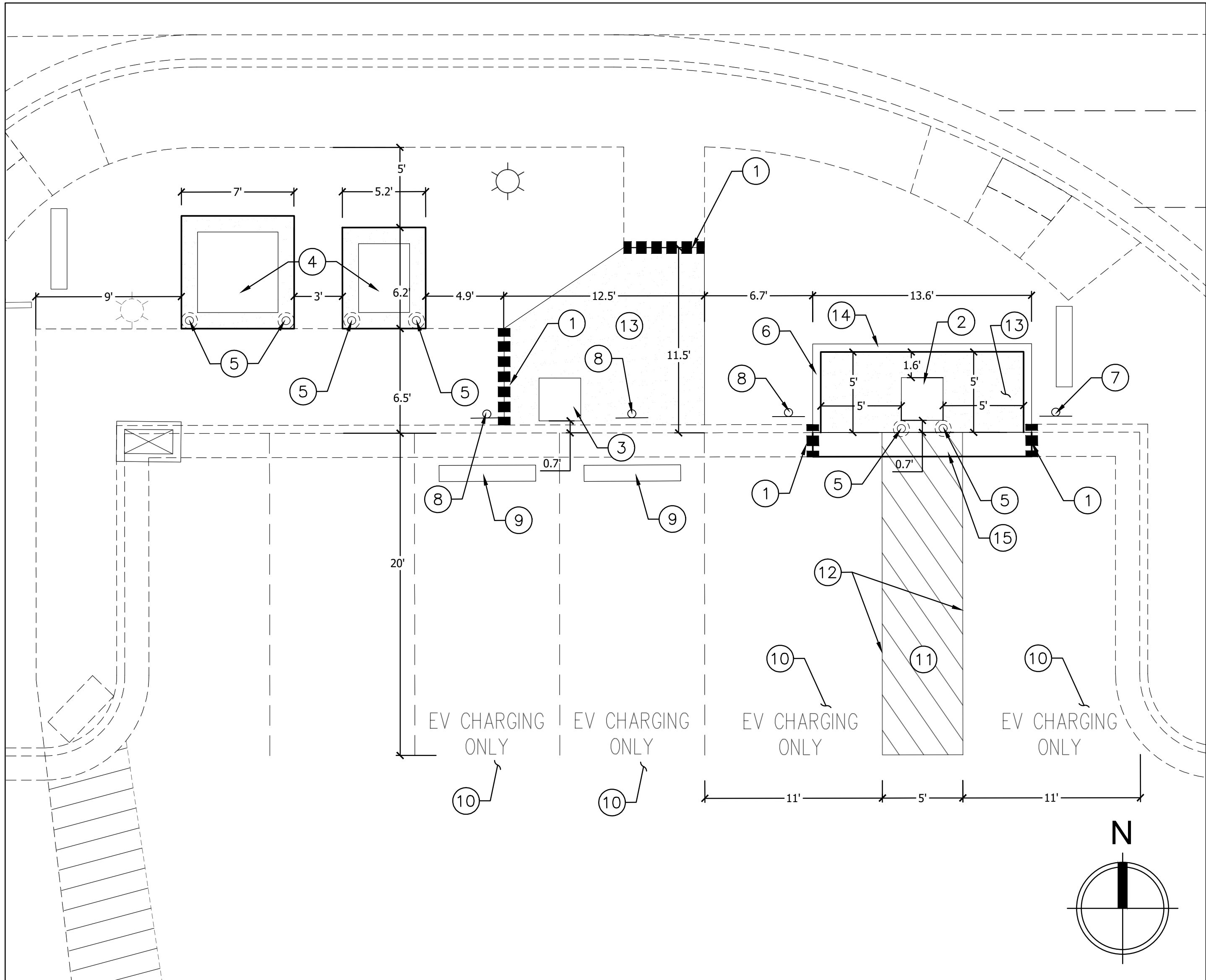
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5/21/2025 10:13:58 AM ALEX CLITES P:\Departments\Maverik Real Estate\GIS\Design\Projects\2024\124000 Misc Projects\EV Charger Site Plans\Site Locations\755 - Price\755 - C1.00-Site Plan_1_10868_762151ae_1_18379_17984607.dwg



A OVERALL SITE PLAN
SCALE: 1" = 40'

SITE DATA			
	SQUARE FOOTAGE	ACREAGE	PERCENT OF TOTAL AREA
PARCEL AREA	183,824	4.22	100.00 %
EXISTING BUILDING AREA	4,551	0.10	2.48 %
POST DEVELOPMENT IMPERVIOUS AREA (+133 SF)	107,076	2.46	58.25 %
POST DEVELOPMENT LANDSCAPE AREA (-133 SF)	76,748	1.76	41.75 %
PARKING REQUIRED	23 PARKING STALLS (1 SPACES PER 200 S.F. STORE) 4,551 S.F. STORE 1/200 x 4,551 = 23 SPACES		
PARKING EXISTING	39 TOTAL STALLS		
PARKING PROPOSED	38 STALLS		
ELECTRIC VEHICLE STALLS EXISTING	0 ELECTRIC VEHICLE STALLS		
ELECTRIC VEHICLE STALLS PROPOSED	4 ELECTRIC VEHICLE STALLS		
	3 BICYCLE SPACES		
BUILDING HEIGHT	29'-1"		
ZONING	C-1		
EXISTING USE	CONVENIENCE STORE		



B EV INSTALLATION PLAN
SCALE: 1" = 5'

SITE KEYNOTES

- SAWCUT EXISTING ASPHALT OR CONCRETE SIDEWALK / CURB AND GUTTER AS REQUIRED TO NEAREST JOINT TO ACCOMMODATE INSTALLATION OF SITE IMPROVEMENTS AND UTILITIES. REMOVE AND LEGALLY DISPOSE OF. REPAIR PER JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- FURNISH & INSTALL ELECTRIC VEHICLE CHARGER AT GRADE FOR ADA ACCESS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER MANUFACTURER DETAILS AND SPECIFICATIONS.
- FURNISH & INSTALL ELECTRIC VEHICLE CHARGER FLUSH WITH TOP BACK OF CURB, REFER TO SHEET C3.00 DETAIL E FOR CONCRETE PAD. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER MANUFACTURER DETAIL AND SPECIFICATIONS.
- FURNISH AND INSTALL TRANSFORMER, SWITCHGEAR, CONCRETE PAD AND ASSOCIATED INFRASTRUCTURE AS REQUIRED TO SERVE PROPOSED ELECTRIC VEHICLE CHARGER. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER MANUFACTURER DETAILS AND SPECIFICATIONS.
- FURNISH & INSTALL PARKING BOLLARD, REFER TO DETAIL E AND F, SHEET 3.00.
- PAINT CURB HIGH VISIBILITY YELLOW. CONTRACTOR TO APPLY TWO COATS OF PAINT.
- FURNISH & INSTALL ELECTRIC VEHICLE ADA PARKING SPACE SIGNAGE, REFER TO DETAIL B SHEET C3.00 AND DETAIL B SHEET C3.01.
- FURNISH & INSTALL ELECTRIC VEHICLE PARKING SPACE SIGNAGE, REFER TO DETAIL C SHEET C3.00 AND DETAIL B SHEET C3.01.
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- FURNISH & INSTALL 4-INCH MINIMUM THICK CONCRETE WALKWAY WITH LIGHT BROOM FINISH. RE: SHEET C3.01 DETAIL B.
- INSTALL 6" CURB. RE: SITE DETAILS, SHEET C3.01, PLAN 209, TYPE P.
- FURNISH & INSTALL 24-INCH ADA ACCESSIBLE CONCRETE GUTTER IN FRONT OF EV CHARGER ACCESS AREA. RE: SHEET C3.00, DETAIL A.

CONTRACTOR TO DEFER TO ALL MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF PROPOSED EV CHARGERS.

ALL UTILITES SHOWN ON EV INSTALLATION PLAN ARE FOR REFERENCE ONLY. CONDUIT SPACING, CLEARANCES AND ALL OTHER UTILITIES INFORMATION REQUIRED FOR INSTALLATION OF EV CHARGERS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

ELEMENTS SHOWN, INCLUDING UNDERGROUND UTILITIES, ARE FROM RECORD DRAWINGS AND VISUAL INSPECTION ONLY. IF ANY UTILITIES ARE UNCOVERED DURING CONSTRUCTION, CONTRACTOR MUST COORDINATE WITH APPROPRIATE PROVIDER AND MEET ALL CLEARANCE AND DEPTH REQUIREMENTS AND ALERT DESIGN ENGINEER A MINIMUM OF 24 HRS FROM THE TIME OF THE INITIAL INQUIRY.

CONTRACTOR TO FIELD VERIFY THE LOCATION OF SITE ELEMENTS AND RELEVANT DIMENSIONS PRIOR TO CONSTRUCTION AND ALERT ENGINEER OF ANY DISCREPANCIES.

ANY EXISTING SITE ELEMENTS DAMAGED AS PART OF THE PROPOSED SITE IMPROVEMENTS SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR.

NO CHANGES IN USE OR ZONE SHALL OCCUR AS PART OF THE PROPOSED SITE IMPROVEMENTS.

FOR SPECIFIC DESIGN DETAILS AND REQUIREMENTS, REFER TO THE APPROPRIATE CONSTRUCTION DOCUMENT SHEETS.

**CALL BLUE STAKES
LOCATION CENTER**

811

CALL TWO BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES
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ARCHITECT/ENGINEER:

STAMP:

MAVERIK, INC.
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT
651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP 14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

△	DESCRIPTION	DATE

DRAWN BY: ACC

APPROVED BY: JAG

MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 05/15/2025

PROJECT NUMBER: EVC03 STORE #: 755

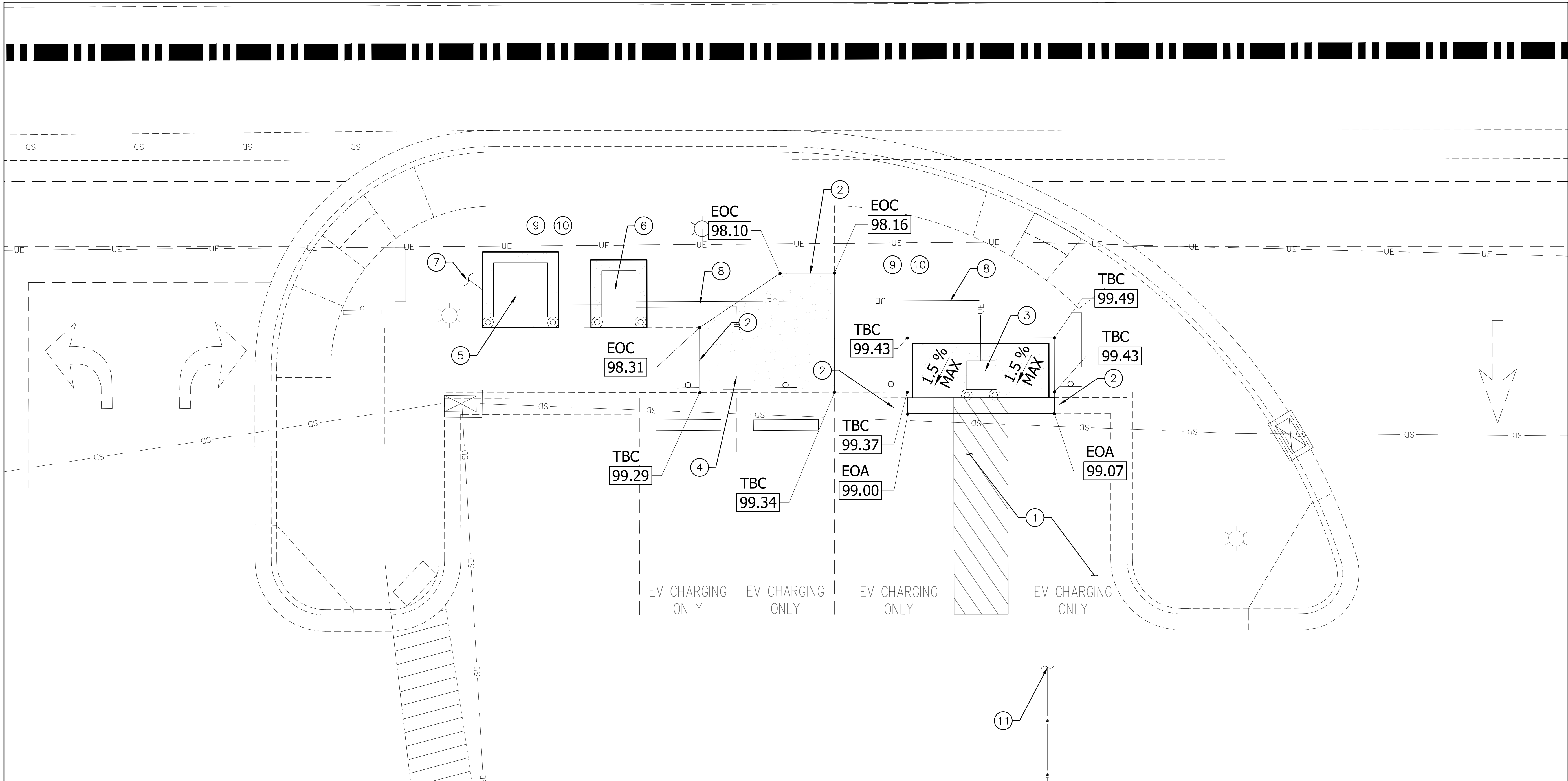
SHEET NAME

**SITE AND ELECTRIC
VEHICLE CHARGER
INSTALLATION PLAN**

SHEET NUMBER

C1.00

5/15/2025 4:24:58 PM ALEX CLITES P:\Department\maverik Real Estate\03design\Projects\2024\24000 Misc. Projects\EV Charger Site Plans\Site Locations\755 - Price\755 - C1.00 Grading and Utility Plan.dwg



GRADING AND UTILITY KEYNOTES

- CONTRACTOR TO FIELD VERIFY SLOPE PRIOR TO CONSTRUCTION IN PROPOSED EV CHARGING VEHICLE ADA SPACES AND ALERT ENGINEER IF EXISTING SLOPE IS GREATER THAN 1.5% IN ANY DIRECTION.
- MATCH EXISTING ELEVATIONS ALONG EDGE OF NEW INSTALLED CONCRETE CURB AND GUTTER AND SIDEWALK. ENSURE EXISTING FLOW PATTERNS ARE MAINTAINED.
- FURNISH & INSTALL ELECTRIC VEHICLE CHARGER AT GRADE FOR ADA ACCESS, REFER TO ELECTRIC VEHICLE INSTALLATION AND SITE PLAN SHEET C1.00.
- FURNISH & INSTALL ELECTRIC VEHICLE CHARGER ON CONCRETE PAD FLUSH WITH ADJACENT TOP BACK OF CURB, REFER TO ELECTRIC VEHICLE INSTALLATION AND SITE PLAN SHEET C1.00.
- PROPOSED LOCATION OF ELECTRIC VEHICLE TRANSFORMER. SIZE AND TYPE AS REQUIRED TO SERVE PROPOSED ELECTRIC VEHICLE CHARGERS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER JURISDICTIONAL DETAILS AND SPECIFICATIONS.
- PROPOSED LOCATION OF ELECTRIC VEHICLE CHARGER SWITCHGEAR. SIZE AND TYPE AS REQUIRED TO SERVE PROPOSED ELECTRIC VEHICLE CHARGERS/ CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER AND INSTALL PER JURISDICTIONAL DETAILS AND SPECIFICATIONS.
- PROPOSED ELECTRICAL CONNECTION, CONTRACTOR TO COORDINATE INSTALLATION OF SERVICE, ROUTING AND FINAL CONNECTION WITH UTILITY PROVIDER.

- PROPOSED CONDUIT AND CONDUCTOR FOR INSTALLATION OF ELECTRIC VEHICLE CHARGERS AND ASSOCIATED INFRASTRUCTURE. FOR DETAILS REFER TO ELECTRICAL DRAWINGS. CONTRACTOR TO REFER TO MANUFACTURES SPECIFICATIONS AND COORDINATE WITH UTILITY PROVIDER FOR NUMBER AND SIZE OF CONDUIT AND CONDUCTOR.
- GRADE AS NEEDED TO MATCH EXISTING GRADE, MAX 3:1 SLOPES.
- CONTRACTOR TO MATCH EXISTING GROUND COVER. INSTALL LANDSCAPING STONE REMOVED DURING CONSTRUCTION. MATCH EXISTING LANDSCAPING STONE.
- EXISTING CONDUIT FROM BUILDING TO ELECTRIC VEHICLE CHARGING STALLS, CONTRACTOR TO CONFIRM EXACT LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR ANY PROPOSED CONNECTIONS.

CONTRACTOR TO DEFER TO ALL MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF PROPOSED EV CHARGERS.

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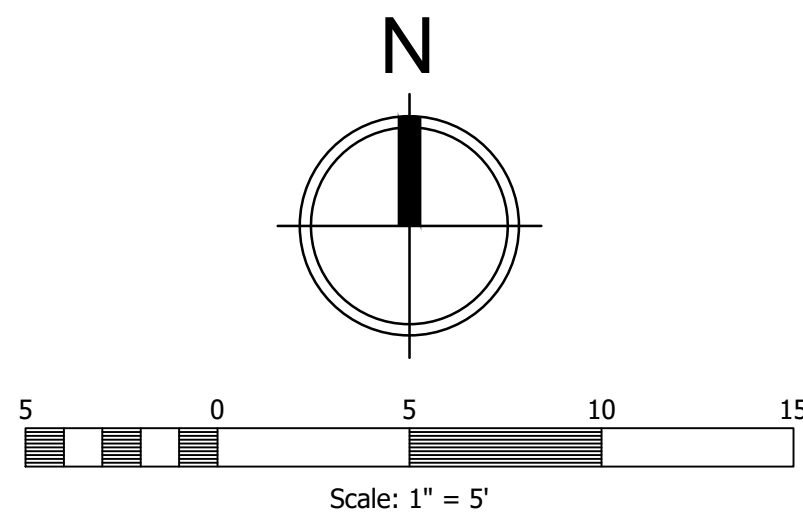
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651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

△	DESCRIPTION	DATE

DRAWN BY: ACC

APPROVED BY: JAG

MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 03/14/2024

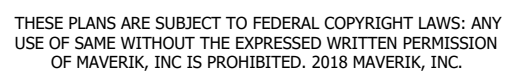
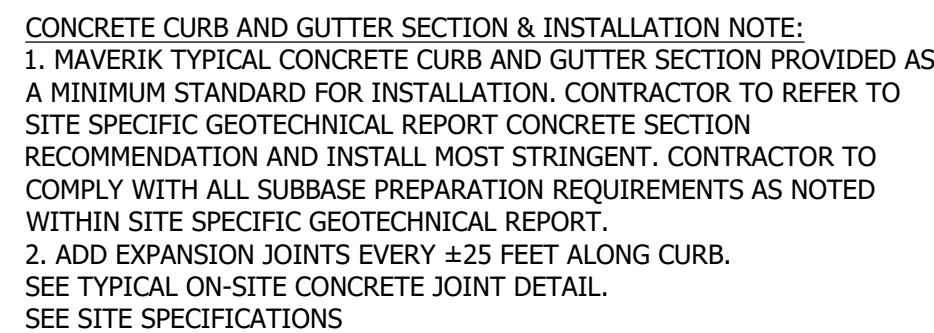
PROJECT NUMBER: EVC03 STORE #: 755

SHEET NAME

**GRADING AND
UTILITY PLAN**

SHEET NUMBER

C2.00



ARCHITECT/ENGINEER

STAMP.

MAVERIK, INC.
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT
651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

[illegible]

DRAWN BY: ACC

APPROVED BY: JAG

MAV PROTO: N/A

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05/15/2025

05/15/2025

P: EVC03 STORE #: 755

STORE #: 755

SHEET NAME

SITE DETAILS

SHEET NUMBER

C3.00



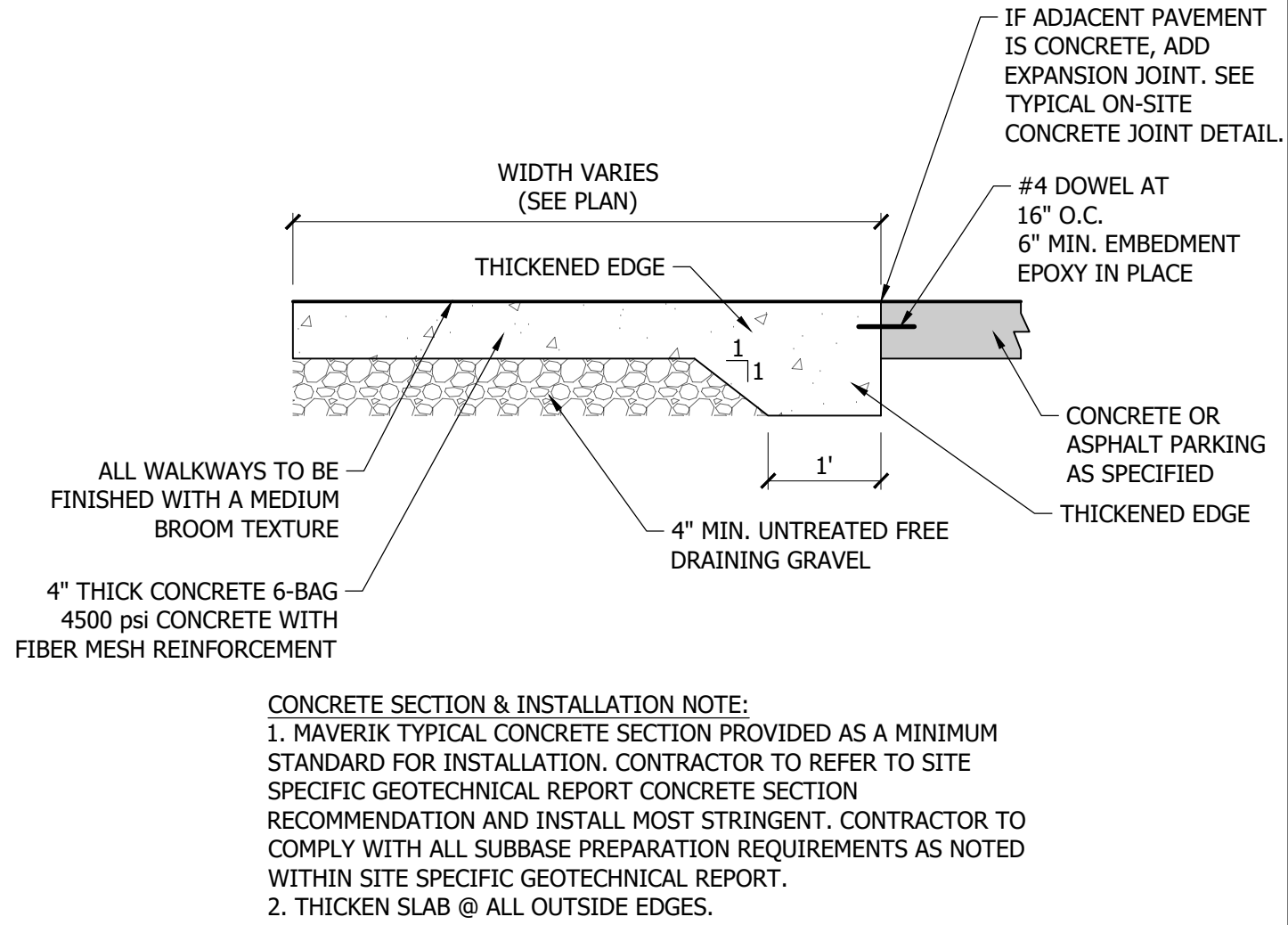
SCALE: NTS



SCALE: NTS

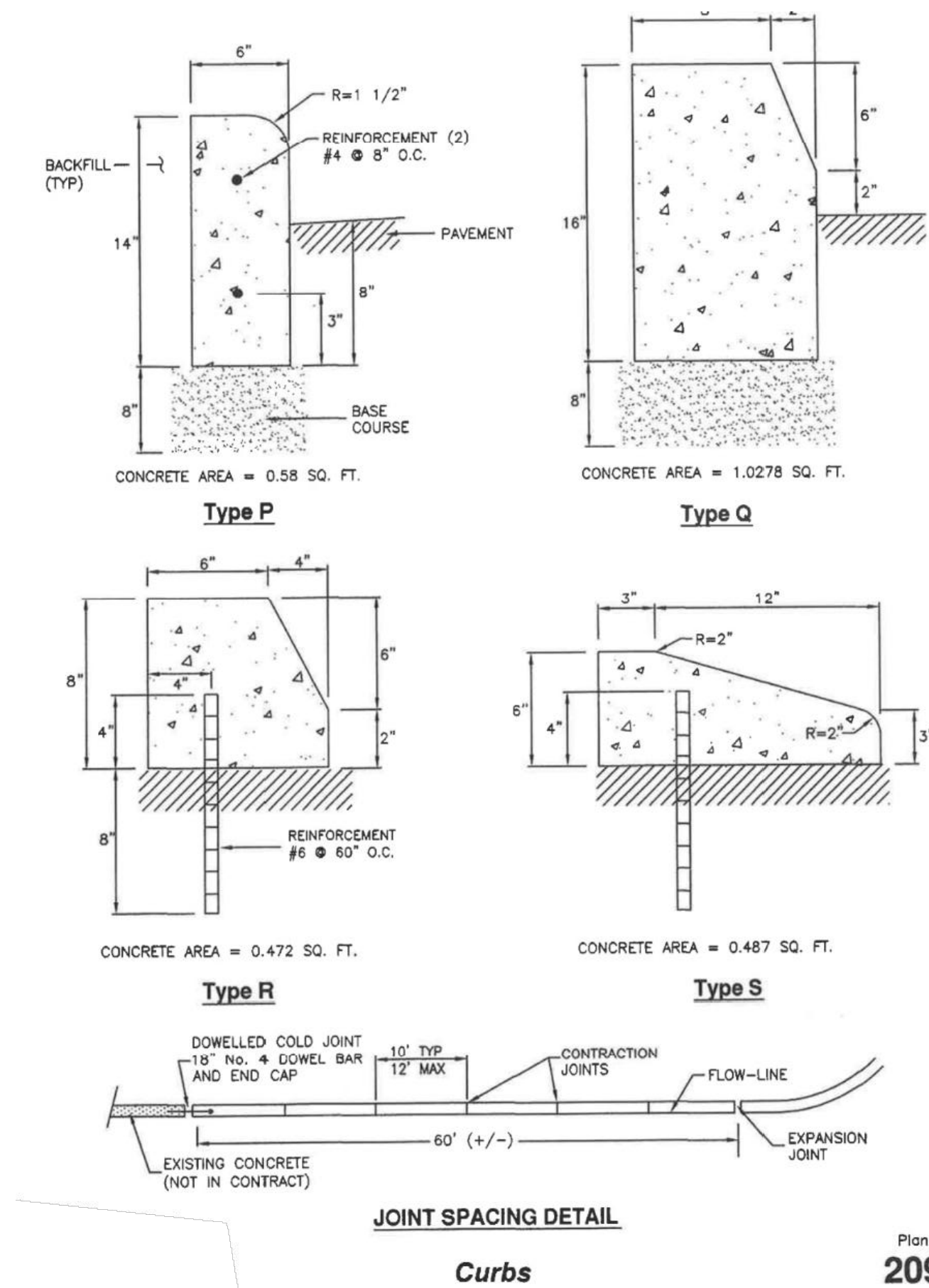


5/15/2025 4:27:30 PM ALEX CLITES P:\Departments\Maverik Real Estate\03design\Projects\2024\24000 Misc Projects\EV Charger Site Plans\Site Locations\755 - Price\755 - C1.00-Site Plan_1_10868_7x21.51w_1_18379_178460d7.dwg



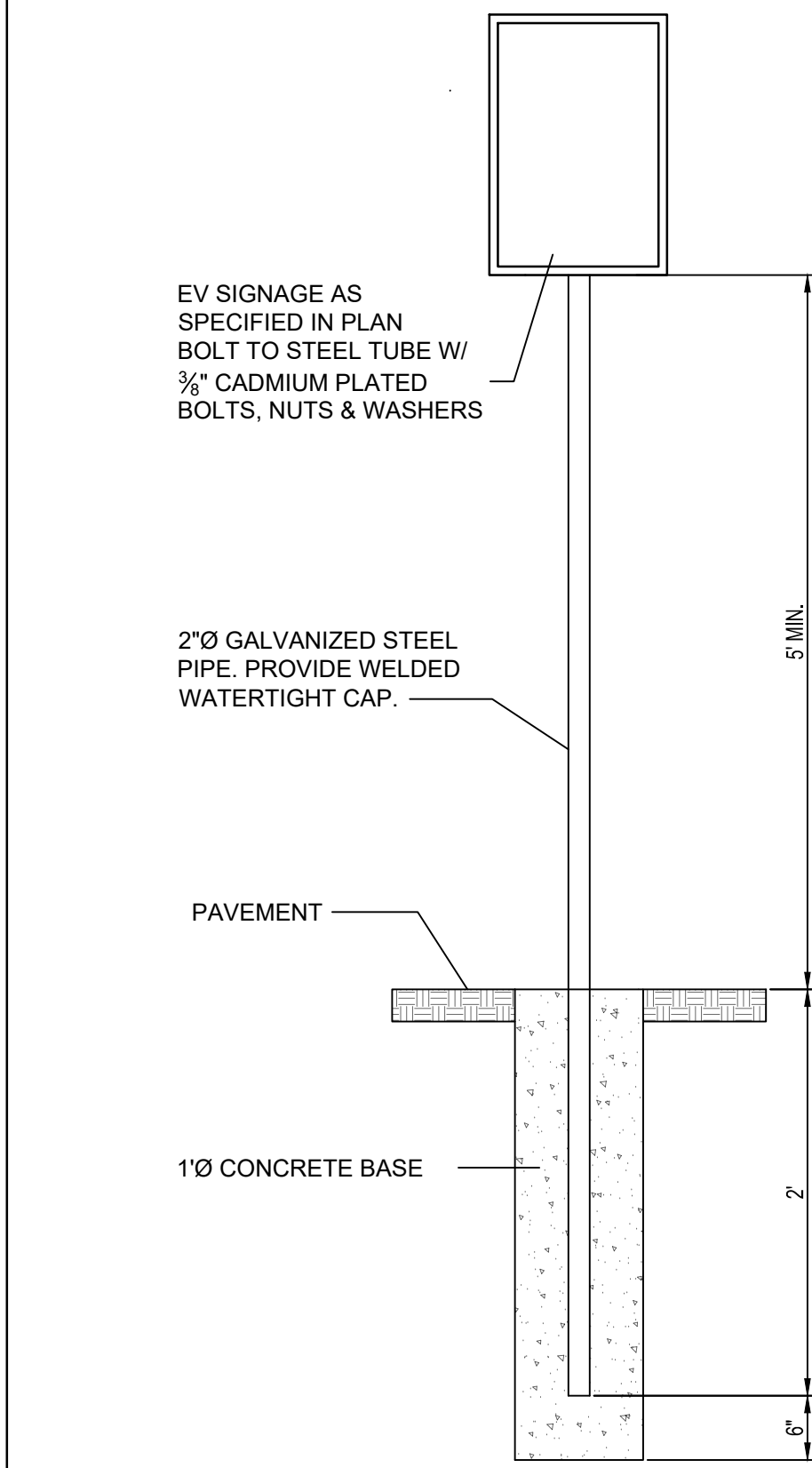
A CONCRETE WALKWAY
GENERAL

SCALE: NTS



Curbs

Plan
209
November 2009

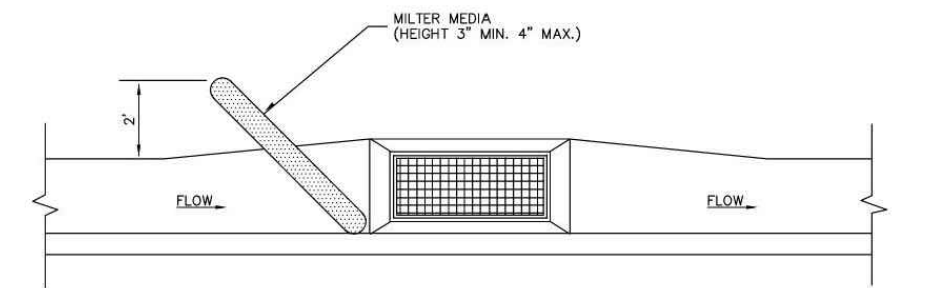


B TYPICAL SIGN
INSTALLATION

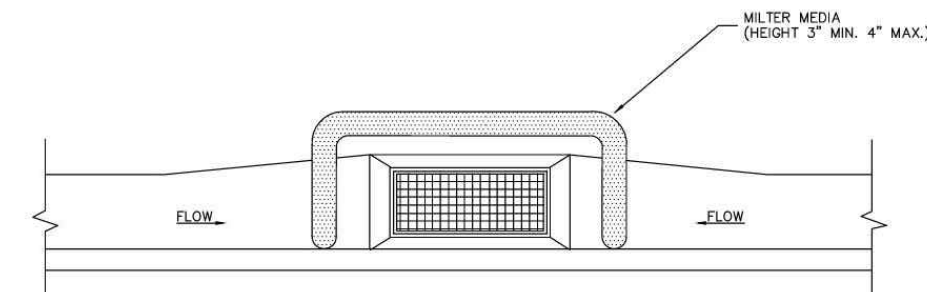
SCALE: NTS

- Inlet protection – gravel sock**
- DESCRIPTION: Placement of gravel sock on grade upstream of, or in front of storm drain inlets to filter or pond water runoff
 - APPLICATION: At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.
 - INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - On-grade inlet protection:
 - On-grade inlet protection should be used when completely blocking a storm drain inlet box would result in forcing water further downstream would cause flooding or other undesirable results.
 - Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 - Install filter media just upstream of the inlet box.
 - Filter media shall butt tightly against the face of the curb and angle at approximately a 45 degree angle away from the curb to trap runoff between the media and the curb.
 - Excessive flows will flow either over or around the filter media and into the inlet box.
 - Expect ponding behind the filter media.
 - Drop inlet protection:
 - Drop inlet protection should be used at low points in the curb and when diverting flows further downstream will not cause undesirable results.
 - Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 - Install filter media around the entire perimeter of the inlet grate.
 - Filter media shall butt tightly against the face of the curb on both sides of the inlet grate.
 - Excessive flows will either flow around the media or over the top and into the inlet box.
 - Expect ponding around the inlet box.
 - MAINTENANCE:
 - Inspect inlet protection after every large storm event and at a minimum of once monthly.
 - Remove sediment accumulated when it reaches 2 inches in depth.
 - Replace filter medium when damage has occurred or when medium is no longer functioning as intended.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUDING OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



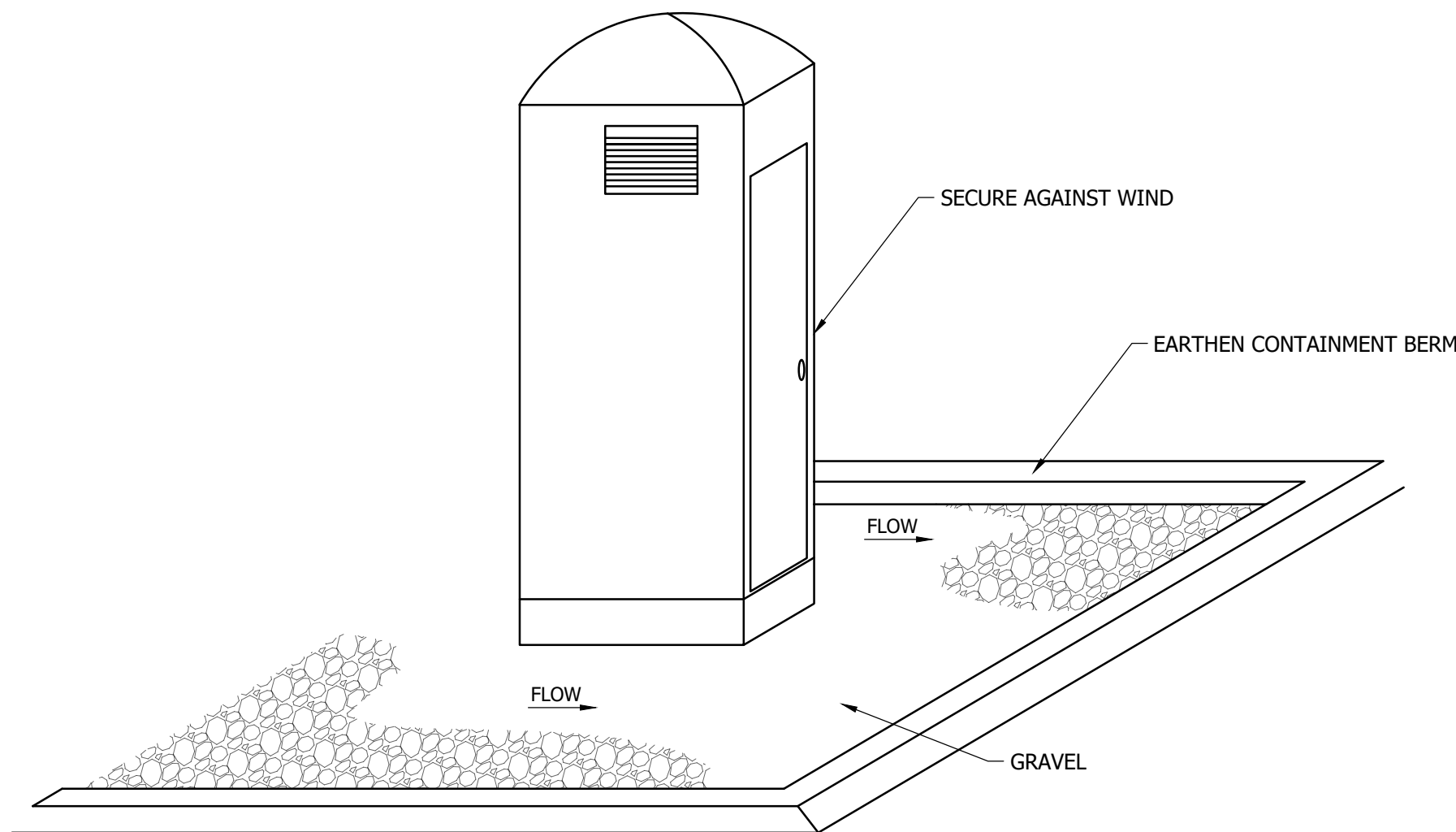
ON-GRADE INLET PROTECTION DETAIL



DROP INLET PROTECTION DETAIL

Inlet protection - gravel sock
September 2008
11
Plan No.
124
Drawing 1 of 3

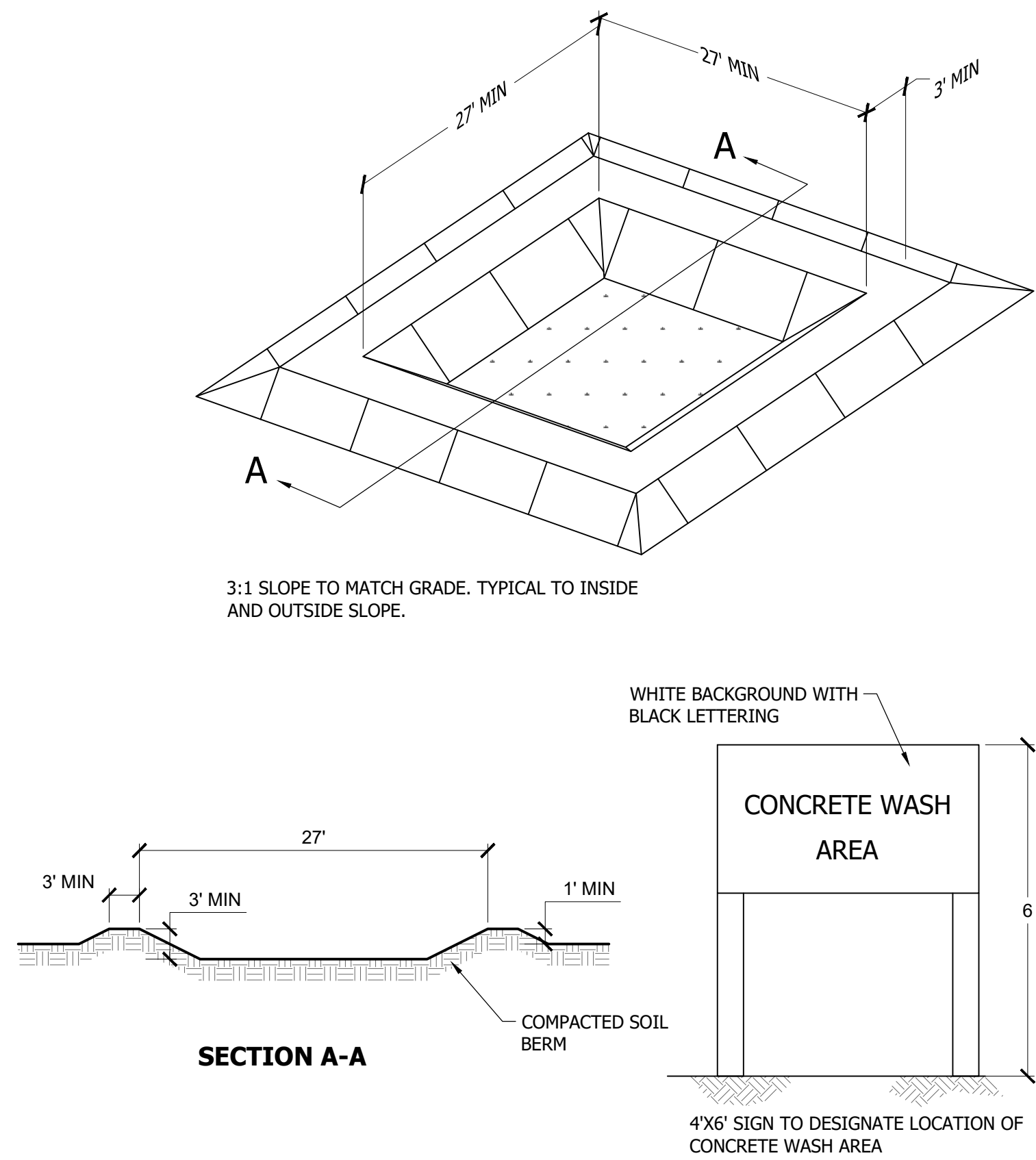
C INLET PROTECTION
SCALE: NOT TO SCALE



NOTES:

- AT A MINIMUM, ANCHOR PORTABLE TOILETS AT DIAGONAL CORNERS.
- PLACE TOILETS ON LEVEL GROUND AT LEAST 10' FROM PERMEABLE SURFACE.
- PROVIDE PORTABLE TOILETS (WITH URINALS) THAT ARE AT LEAST 4' WIDE X 4' DEEP X 7' TALL
- PROVIDE 1 PORTABLE TOILET PER 10 WORKERS (MIN.)

D PORTABLE TOILET
SCALE: NOT TO SCALE



SECTION A-A

E CONCRETE WASHOUT AREA
SCALE: NOT TO SCALE



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ARCHITECT/ENGINEER:

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MAVERIK, INC.
MAVERIK STORE 755
ELECTRIC VEHICLE STALL RETROFIT
651 SOUTH CARBON AVENUE
PRICE, UTAH 84501
LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

△	DESCRIPTION	DATE

DRAWN BY: ACC APPROVED BY: JAG

MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION 05/15/2025

PROJECT NUMBER: EVC03 STORE #: 755

SHEET NAME

SITE DETAILS

SHEET NUMBER

C3.01

Ultra-Fast Charging Made Seamless



400 kW

+99 %

Built to Last

10 year

DC Input:	Output Power: 400 kW Dynamic Power Sharing: 50 kW power granularity
	Output voltage: 150 - 980 V Output current (peak): CCS: 600 A 33400 - 375 A
AC Input:	Number of outlets: dual outlet Total system efficiency: up to 97 %
	Nominal voltage: (CE): 400 Vac (NA): 480 Vac Nominal input current (RMS): (CE): 612 A (NA): 510 A Frequency: (CE): 50 Hz ($\pm 5\%$) (NA): 60 Hz ($\pm 5\%$) Earthing systems: (CE): TN-C-S, TN-C-S, TN-S, TT (NA): WYE Inlet cable size per phase (no neutral): max. 2 x 300 mm ² (600 kcmil) Power factor: > 0.99 @ full load Total harmonic Distortion (THD): $< 3\%$ Overvoltage category: III SPD: (CE): Type 1 + 2 (NA): Type 1

Display:	Type: 32" full-color LCD; Interface: 4 push buttons
Lighting:	Roof: 360° dual RGBW LED strips; Gun holder: RGBW LEDs
Languages:	English, French, Spanish, German, Italian, Norwegian, Dutch (others available via software upgrade)
Connector Options:	Patented two-phase cooling technology (CCSL, CCS2), Air-cooled J3400 (NACS)
Cable Management System (CMS):	2 x integrated self-retracting swing arm
Cable:	Length: 4.8 m (15.7 ft); Reach: 3.5 m (11.4 ft) Length: 7 m (22.9 ft); Reach: 6.3 m (20.7 ft) Type: Air-cooled
Authentication Methods:	RFID, Autocache, A/B and Charge, credit/debit card, mobile app
RFID System:	Mifare ISO 14443 A, Plus to part 4 and ISO 15693, ISO 18092/ECMA-340 (NFC). Others available on request (Calypso, Ultracath, PayPass, HID, and more)
Remote Management:	Access control, configuration, diagnostics, software updates

e-mobility.abb.com/A40C

Operating Conditions:	Operating from: -30 °C to 55 °C (-22 °F to 131 °F) Storage / transport from: -5 °C to 40 °C (23 °F to 104 °F)
	Altitude: 2000 m (6562 ft) Humidity: up to 95 %, non-condensing
	Impact resistance: IK10 (Display: IK08) IP rating: IP54, NEMA 3R; Indoor and outdoor rated
	Noise emission: 65 dB(A) average @ 1 m, 25 °C (77 °F), full power In use: Indoor and outdoor
	Mounting options: floor mounted Environment pollution degree: Class 3 (outside), Class 2 (inside)
Dimensions:	H x W x D: 2256 x 810 x 790 mm (88.8 x 31.9 x 31.1 in) Weight: 730 kg (1610 lbs)
	Accessibility: meets ADA requirements for height, reach, and user interface

Safety Standards:	(CE), EN 61851-23: 2014/AC, 2016-06, EN IEC 61851-1: 2019 (NA): UL 2002: 2022, CSA 22.2 NO 3064: 22, UL 2231-1, UL 2231-2
Metering:	(CE): Eichrecht (NA): CTEP/NTEP
EMC:	(CE): IEC 61851-21-2: 2021 (NA): 47 CFR FCC Part 15, Subpart B, §15.107, §15.109 (Class A)
Manufactured:	USA & Europe
Network Connections:	Dual SIM, GSM/3G/4G/5G, 10/100 Base-T Ethernet
Network Communication Protocol:	Open Charge Point Protocol (OCPP) 1.6J and 2.0.1
Vehicle Communication Protocol:	DIN SPEC 70121, ISO 15118-2, ISO 15118-3, Autocharge, Plug and Charge
Short Circuit Current Rating:	(CE): 50 kA (NA): 65 kA
RED Directive:	ETSI EN 300 330 V2.1.1: 2017, EN ISO 50364:2018 (RFID), ETSI EN 301 908-13 V13.2.1: 2022, IEC 62311:2019, EN IEC 62311:2020 (AG test)
Additional Standards:	DC Vehicle connector compliant with IEC 62196-1:2014, IEC 62196-3:2014, Cabinet IP rating according to IEC 60529:2013
Designed Lifespan:	10 years

e-mobility.abb.com/A400

ABB E-mobility B.V.
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2629 JG Delft
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Phone: 800-435-7365
E-mail: CA-evci@abb.com
e-mobility.abb.com

ABB E-mobility

SPECIFICATIONS PROVIDED FOR REFERENCE ONLY, CONTRACTOR TO COORDINATE WITH ELECTRIC VEHICLE CHARGER MANUFACTURER AND OBTAIN THE MOST CURRENT DETAIL AND SPECIFICATIONS PRIOR TO INSTALLATION.

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ARCHITECT/ENGINEER

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ISSUANCE

[illegible]

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APPROVED BY: JAG

MAV PROTO: N/A

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CONSTRUCTION

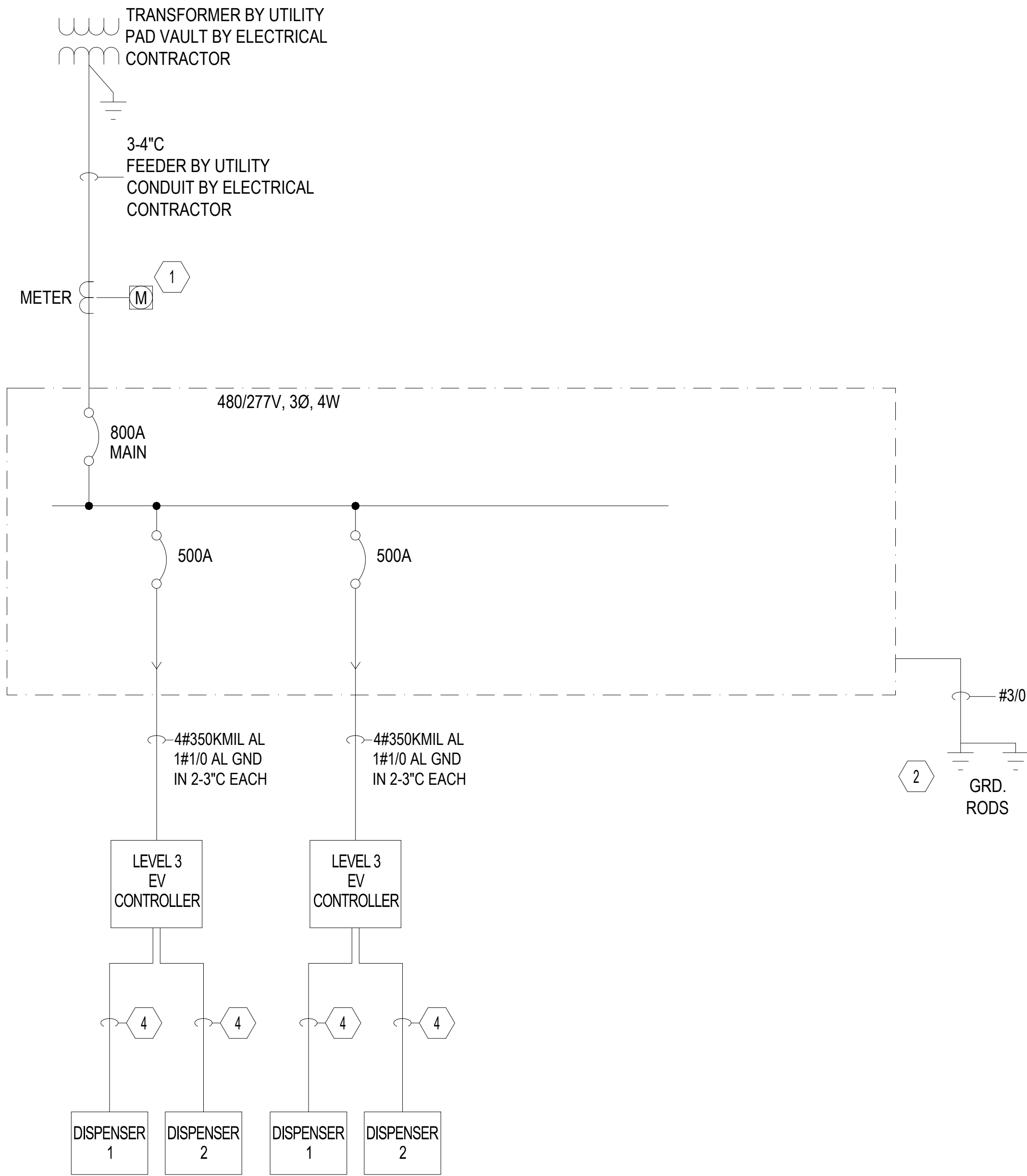
05/15/2025

SHEET NAME

ELECTRIC VEHICLE CHARGER DETAIL (FOR REF. ONLY)

SHEET NUMBER

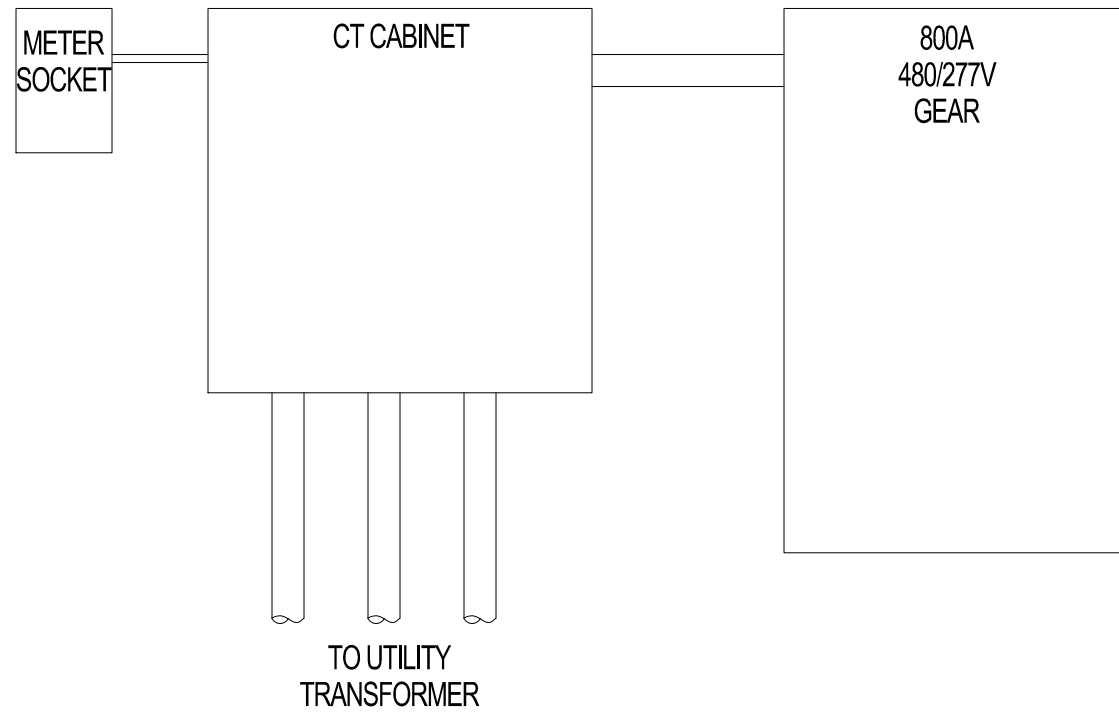
REF



Fault Current Schedule		
DEVICES	FAULT	AIC RATING
480/277V UTILITY XFMR	20,071	
800A PANELBOARD	13,680	42,000

KEY NOTES:

- 1 CT CABINTE EUSERC 318.
- 2 8"x5/8" DIA. COPPER CLAD GROUNDING ROD EXOTHERMIC WELD, TYPICAL. GROUNDING BAR CONNECTED TO NEW 125A SERVICE AC PANELBOARD VIA A #6 AWG COPPER GROUNDING ELECTRODE CONDUCTOR. GROUNDING RODS SPACED 6' APART.
- 3 SEE DETAILS 1 FOR MORE INFORMATION ON INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE INSTALLATION WITH OWNERS MANUALS.
- 4 1-4" C FOR POWER, PARALLEL FEED TO DISPENSER IN THE SAME CONDUIT. AND 1-1" C FOR FIBER FOR COMMUNICATION.



E1 TYPICAL INSTALLATION OF METERING

SCALE: NTS

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STAMP:

PROFESSIONAL ENGINEER

No. 12260410-2202

MARIA KUNZ

05/05/2025

STATE OF UTAH

Maria Kunz

MAVERIK, INC.

MAVERIK STORE 755

ELECTRIC VEHICLE STALL RETROFIT

651 SOUTH CARBON AVENUE

PRICE, UTAH 84501

LOCATED IN THE SW 1/4 OF SECTION 21, TOWNSHIP
14S, RANGE 10E, SALT LAKE B&M

ISSUANCE

△	DESCRIPTION	DATE

DRAWN BY: ACC

APPROVED BY: JAG

MAV PROTO: N/A

DRAWING ISSUE

CONSTRUCTION03/14/2024

PROJECT NUMBER: EVC03

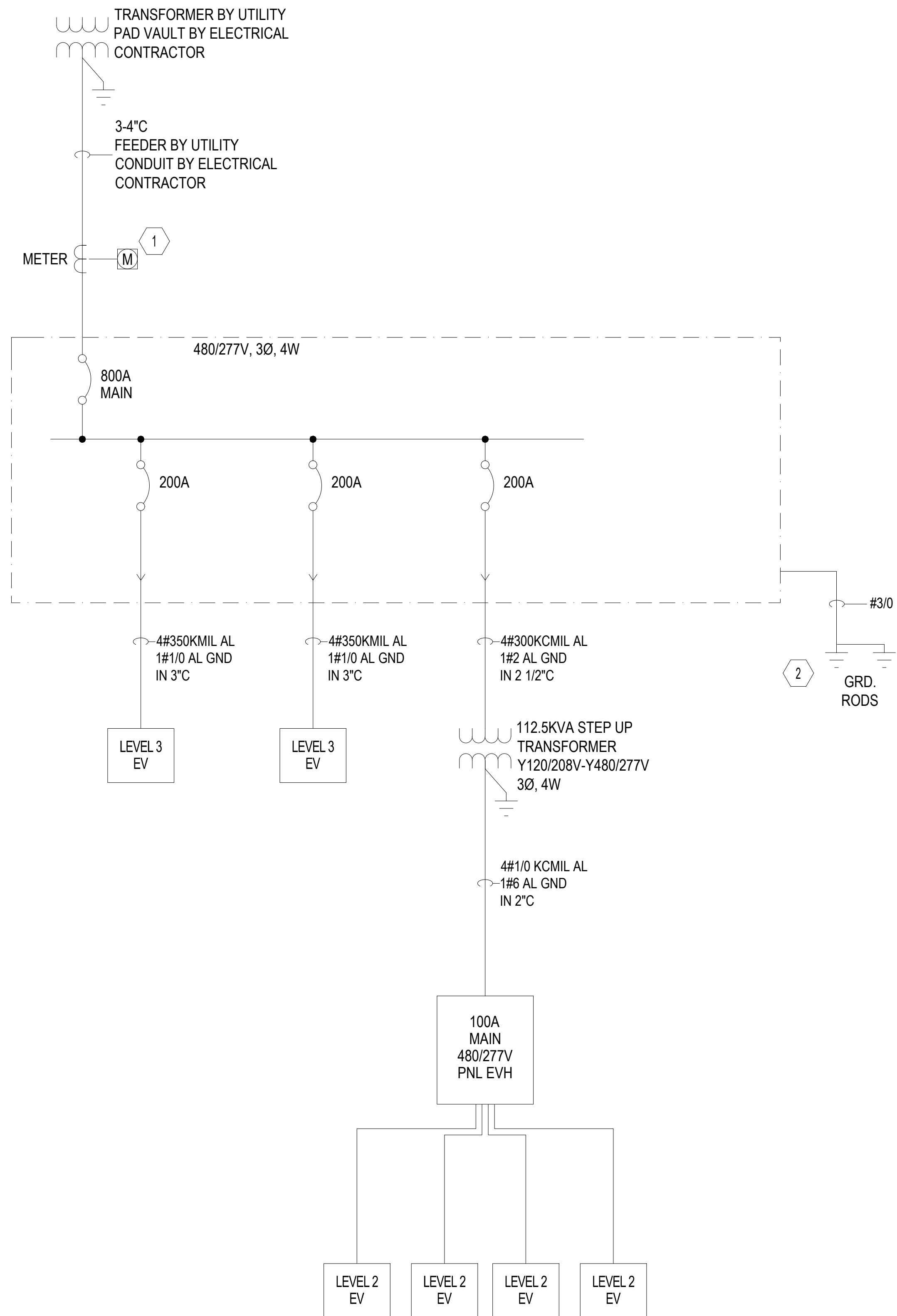
STORE #: 755

SHEET NAME

ELECTRICAL
ONE LINE
DIAGRAM

SHEET NUMBER

E100




Fault Current Schedule		
DEVICES	FAULT	AIC RATING
480/277V UTILITY XFMR	20,071	
800A PANELBOARD	13,680	42,000

KEY NOTES:

- 1 CT CABINETE EUSERC 318.
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[illegible]

MAVERIK EVs 620 CARBON ST PRICE UT 84501	ELECTRICAL ONE LINE DIAGRAM
--	--------------------------------

 HK ELECTRICAL DESIGN, LLC
3744 S 8200 W
MAGNA UT, 84044

DRAWING NO.
E100



Technical Data

DC Charge Box

Compact outdoor battery system

CBX



Date	Revision	Changes	Creator	Release
02.06.2020	V1.0	Initial document	Ruoss	
23.07.2020	V1.1	Update according to R&D.	Ruoss	Dr. Ochs
01.09.2020	V1.2	Grid type TT added.	Ruoss	Dr. Ochs
15.10.2020	V1.3	RF output power LTE band 3, 7, 20 added, Max. AC input current changed.	Ruoss	Dr. Ochs
24.02.2021	V1.4	Full, semi and 87 kVA variants added	Ruoss	

Herstelleranschrift

ads-tec Energy GmbH
 Heinrich-Hertz-Str. 1
 72622 Nuertingen
 Germany
 Phone: +49 7022 2522-201
 Mail: energy-storage@ads-tec.de
 Home: www.ads-tec.de

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 Errors excepted.

Technical Data CBX

Type		
	DVK-CBX1122-011-CA	DVK-CBX1122-011-FA
Network type		
	1	4
System		
Manufacturer / manufacturing site	ads-tec Energy GmbH / Klipphausen near Dresden (Germany)	
Product description	integrated system for energy conversion & energy storage, designed for boosting grid power to a distributed dispenser	
Target markets	EU	USA, Canada
Vehicle charging standards	for operation with Porsche CCS2 High Power Dispenser	for operation with Porsche CCS1 High Power Dispenser
Outer dimensions (length x width x height)	1.46 x 1.34 x 1.94 m; visible overground: 1.26 x 1.26 x 1.40 m; transport: 1.64 x 1.46 x 2.20 m	
Weight for transport, incl. Packaging (Charge Box / pallet w/ string of 20 battery modules)	approx. 1.675 t / approx. 0.55 t	
Weight after commissioning	approx. 2.8 t	
Main norms for declaration of conformity / certification	for CE: EN 61439-1:2011, EN 61000-6-2:2016, EN 61000-4-2:2007/A1:2011, EN 62477-1:2012	for NRTL: UL 2202:2009 Ed. 2.0, FCC Part 15B
conformity for sustainability / recyclability / disposal	RoHS, REACH, battery take-back (2006/66/EG)	
Performance		
Max. DC output power at vehicle plug (parallel /coupled mode)	2 x 160 kW / 1 x 320 kW	
Max. DC output power at vehicle plug (coupled mode, semi/dual variant)	150 / 185 / 210 kW (50 / 87 / 110 kVA) (VR 14.1 limitable DC output / VR 16 limitable grid current)	
Max. DC output power at vehicle plug (coupled mode, full/dual variant)	263 /298 / 320 kW (50 / 87 / 110 kVA) (VR 14.1 limitable DC output / VR 16 limitable grid current)	
Max. DC output voltage at vehicle plug (parallel / coupled mode)	150 to 920 V / 150 to 920 V	
Max. DC output current at vehicle plug (parallel / coupled mode)	2 x 400 A / 1 x 500 A	
Max. AC input power for auxiliaries only	10 kVA	
Max. AC grid type (towards charging stations)	1Ph + N + PE	
Max. AC output voltage and frequency (towards charging stations)	same as AC grid voltage	
Max. AC output current (towards charging stations)	10 A	
Performance cycle (at 25 °C, 100% SOC)	three charging sessions of Porsche Taycan (94kWh) at max. AC input power	
Power derating	derating may occur depending on operation conditions	
Mean electrical losses (at 25 °C ambient; idle)	2,9 kW	
ECO mode	optional energy saving mode to reduce the electrical power consumption during idle operation – deratings and increased cooldown times may apply depending on the operating conditions	
Limp home mode (battery module(s) failure)	operation with grid power only	

Grid Connection

Grid type	TN-S TN-C-S with 3Ph + N + PE TT (please refer to chap. 5 in the manual)	
Grid frequency	50 Hz	60 Hz
AC input voltage	346-415 V (plus tolerance from +/-10%)	480 V (plus tolerance from +/-10%)
Max. AC input current per phase	186 A	
Max. AC short circuit current (I_{cc})	17 kA	
Allowed apparent AC input power (two inverters and auxiliaries)	50 / 87 / 110 kVA (limitable by software from Porsche Engineering Services GmbH, VR 14.1 limitable DC output / VR 16 limitable grid current)	
Earthing	two connection points at steel base	

Battery System (internal)

Cell chemistry	lithium-ion with NMC, 120 Ah	
Configuration	two strings of 20 modules each	
Battery capacity (rated)	140 kWh	
Cooling / heating	active air cooling; constant cooling necessary to fulfill performance warranty requirements / heating via compressor unit	
Re-charging time (from 15% to 95% SOC)	approx. 3.5 h with 50 kVA grid power supply / approx. 1.75 h with 110 kVA grid power supply	
Performance warranty ² , energy throughput	approx. 1 GWh, i.e. approx. 10,000 independent charging sessions for Porsche Taycan	
Performance warranty ² , calendar life	10 years	
Performance warranty, EOL ³ criteria	70% remaining battery capacity	
Expiration period for battery modules before installation ⁴	6 months	
Conformity for battery modules	IEC 62619 / UL 1973 / UN 38.3	

Inverter (internal)

Type	rectifier / 3-level NPC	
Rated power	two identical units, with 50 kW each	
Switching frequency of inverter	ACDC: 30 kHz, ISO: 70-80 kHz, DCDC: 32,05 kHz	
Control strategy of inverter	closed-loop	
DC Link of inverter	capacitive	
Power factor / cos phi	≥0.95 at 30kW grid power	
THDi	<5% at 110kVA AC input power	
Overvoltage category acc. IEC 60664-1	II	
Degree of pollution acc. IEC 61010-1	II	
Cooling	liquid-cooled	
Galvanic isolation	to the grid and between charging points	
Operating mode when charging vehicle	grid power boosted by battery storage via DC link voltage	
Conformity	IEC 62477-1	UL 1741

Cooling system		
Type	integrated air and water cooling, w/ separate circuits for batteries, inverters, charging stations	
Coolant	mixture of (distilled) water and glycol (GLYSANTIN® G40®), 240 l, pH value of 8.2 to 8.6	
Mixture ratio (water: glycol) depending on ambient temperatures	cold (-30 to +45 °C): 50:50 / hot (-20 to +50 °C): 66:33	cold (-22 to +113 °F): 50:50 / hot (-4 to +122 °F): 66:33
Pressure in cooling circuits	<2.5 bar	
Refrigerant	R134a (pre-filled; pressurized w/ max. 23 bar (operation))	
Leakage protection and containment	double-walled tanks, plus autom. detection of leakages, inkl. shut-down & reporting to backend; optional: monitoring of ext. sensor in ductwork	
Max. height difference towards charging stations	8 m (due to pump)	
RF output power		
LTE band 3	16.5 dBm	
LTE band 7	20.93 dBm	
LTE band 20	19.0 dBm	
Communication		
Architecture	proprietary protocol of Porsche Engineering Services GmbH (platform with Charge Park)	
External interfaces (to chargins stations, FCM)	fibre-optic, 1000Base-SX with 1,25 Gbps	
Backend connection	via GSM or LTE	
Mobile radio	recommended: LTE w/ 800, 1800 or 2600 MHz; SIM card not included (slot size: 2FF); antenna included	
Backend protocol	OCPP 1.6 with extensions from Porsche Engineering (via LMS)	
IT security for backend communication	certificate with private key implementation in hardware (EEPROM of LMS) by Porsche Engineering Services GmbH	
Remote functions	updates, diagnostics, self-tests and remote configuration (if enabled by customer, or by customer directly)	
Housing		
Housing color (hood / base)	RAL 9003 (signal white) / RAL 9005 (classic black matt)	
Housing material (hood / base)	GRP / steel	
Flammability class of housing (hood / base)	GRP: UL 94 5VA, UL 50E	
Corrosion protection against soil and salinity (base)	unalloyed steel C3 with powder coating (80-300 µm) acc. ISO 12944-1	
Protection against UV and corrosive gases	IEC 61439-7	UL 50E
Protection against UV and corrosive gases	IEC 61439-1:2016	Base material: UL 50E, GRP: UL746C Section 25
Degree of protection	IEC 61439-1:2016	Base material: UL 50E, GRP: UL746C Section 25
Flooding protection	water tight up to 200 mm above ground	
Seismic protection	no special protection included, tested for mechanical shocks acc. to DIN EN 60068-2-27, and vibrations acc. to MIL Std. 810G	
Installation		
Installation location	outdoor	
Max. length coolant line (total length)	max. 200 m	
Max. length DC line (Charge Box to Charging Station)	max. 100 m, recommended 30 m (efficiency)	

Distances to surrounding Building/ installations	1.6 m to all sides, 2 m above	5 feet to all sides, 7 feet above
Installation surface	levelled and condensed, load capacity of 60 kN per m ² , no backwater allowed	
Installation location: water protection area	water hazard level acc. to AwSV: max. class: 1 / max. step: A	
Noise emissions / sound pressure level at full power acc. IEC 61672	67,1 dB at 1 m / 52,3 dB at 10 m / 33,1 dB at 100 m distance	
Anti-collision protection	no mechanical protection included, installation obligatory on site	
Connected DC cables	copper or aluminum, with max. capacitance of 250 nF, further details see section "Connections"	

Environmental Conditions

Ambient temperatures, operation	-30° to +50° C (derating pattern applies at lower/upper temperature limit; preheating/cooling modes may apply before the system is fully functional)	
Ambient temperatures, storage CBX without battery modules	-30° to +60 °C	
Ambient temperatures, storage battery modules	0°C to +25°C, <80% relative humidity (non-condensing) ³	
Ambient temperatures, service	-20° to +40 °C	
Ambient humidity, operation	20 to 93 % relative humidity, non-condensing	
Altitude	max. 2000 m above sea level	

Safety / Security

Functional safety	Identified Safety Functions (see HARA) were implemented acc. IEC 61508:2010	
Lightning protection	type 1 surge arresters for DC, AC, pilot line	
EMC	IEC 61000-6-2:2016	FCC Part 15B
Transport (for battery modules)	acc.: UN Manual of Test and Criteria sixth revised edition Subsection 38.3; suitable for Transport acc.: IATA-DGR Edition 61, IMDG-CODE 2019, ADR 2019	
Access protection	steel cover plate with mechanical lock and door contact switch	
Impact resistance class	IK8	
Touch protection	IP20B (with hood closed and opened); active discharge on DC out cables immediately after charging stop	
Fire protection	no active suppression system, but low flammability materials and smoke detector	
Contactor activations	counter implemented for DC-line (prevention of probability of contactor welding)	

Connections

DC out	for single cables (max. 300 mm ² , max. 35mm out diameter) with cable lug M10 (max. 31 mm wide) for switchgear connection; 2x DC+ out, 2x DC- out	
AC in	for single / bundled cables 1 AWG – 250 kcmil (50 to 150 mm ² and max. 35 mm wide) with five wires (L1, L2, L3, N, PE) and wire ferrules	
AC out	for single / bundled cables (2.5 to 6 mm ²) with three wires (L, N, PE)	
Ext. communication (to FCM, optional)	for outdoor and in-earth use: fibre-optic Multimode 850 nm with SC connector	
Ext. communication (to DSL modem, optional)	for outdoor and in-earth use: fibre-optic Multimode 850 nm with LC connector	
Pilot line	shielded PVC control cable (1,5 bis 2,5 mm ²), thin wire cable with wire end ferrule; 2x pilot line	
PE	for single cables (max. 16 mm ²)	
Cooling	male thread flat sealing G 1 inch connector, for 3/4 inch piping or hose (not scope of supply); acc. to DIN ISO 228-2 16 mm long	

Operation & Service

Qualification of service personnel	electrically skilled person only, initial and repetitive training recommended
Qualification of user	no qualification required

¹ When limiting input power, the out power will be limited equivalently

² BOL / EOL = begin of life / end of life

³ Premise for the performance warranty is a signed service contract with ads-tec Energy GmbH prior to installation

⁴ Only applies if ambient temperature for storage and transport was between +0°C to +25°C, with <80% relative humidity (non-condensing) temperature

⁵ Storage at temperatures between 26°C to +60°C will lead to significant reduction of performance warranty, basis for performance warranty (see 3)

**ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY
THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE
LAND USE APPLICANT FOR A SITE PLAN AMENDMENT FOR THE LAND USE OF A
ELECTRIC VEHICLE CHARGING KIOSKS AT 651 S CARBON AVENUE WITHIN THE
COMMERICAL 1 (C-1) ZONING DISTRICT.**

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **JOE GIBB, MAVERIK** regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **AMENDED SITE PLAN FOR ADDITION OF ELECTRIC VEHICLE CHARGING KIOSKS**.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **JOE GIBB, MAVERIK** (Applicant), for the property located **651 S CARBON AVENUE**.

Term: the term of this agreement commences on **October 6th, 2025** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

1. Confirm efforts to comply with the original Conditional Use Permit (CUP), dated September 23rd, 2023, and continue any bona-fide neighborhood development impact mitigations.
2. Maintain a minimum of five percent (5%) area landscaping. Water wise landscaping requested.
3. Obtain a building permit and all construction/installation under the auspices of a building permit and inspection. Contact the Carbon County Building Department at 435-636-3260.
4. Complete a public infrastructure development agreement, if required, with the Price City Public Works Department and payment of any financial surety required, if required.
5. Electrical Specific Requirements:
 - a. Payment to Price City in an amount of one-hundred twenty-five percent (125%) of the Rocky Mountain Power cost estimate for electrical system connection requirements prior to commencement of any site work. True-up of final cost for electrical system work and connection and refund or additional billing from Price City.
 - b. All connections to the Price City electrical system to be metered for billing purposes, provision of all necessary metering and billing information to Price City prior to meter installation and operation of the electric vehicle charging kiosks.
 - c. All electrical connections to be as indicated on the submitted plans and as directed or further directed by the Price City electric department. Specific electrical connection requirements:
 - d. Plans, cost estimates, invoicing, and payment. A complete project plan is required to be submitted, reviewed, and approved by the Price City Electrical Utility Infrastructure Specialist. A complete project plan must consist of the following:
 - i. Complete site plan showing the locations of all existing and proposed electrical infrastructure equipment (ex: poles, transformers, sectionalizing cabinets, secondary and service ground boxes, overhead conductors, underground conduits and conductors, electrical services, etc.)
 - ii. Proposed electrical equipment in locations that meet or exceed the requirements of the Pacific Power/Rocky Mountain Power 2022 Electrical Service Requirements Manual including all required clearances, set-backs, and access stipulations.
 - iii. The addition of a Price City required spare conduit of equal or larger size for any new or modified underground primary voltage conductor runs as determined by the Price City Electrical Utility Infrastructure Specialist.

- iv. A one-line diagram of any electrical service equipment including voltages, overcurrent protection equipment ratings, and conductor sizes up to the main electrical service disconnecting means or overcurrent devices being used as service disconnecting means.
- v. A completed Price City Load Sheet and any equipment specifications or datasheets that indicate the electrical consumption and demand.
- vi. If it is determined by the Price City Electric Utility Infrastructure Specialist that changes need to be made, a new project plan will need to be submitted for review and approval after the changes are made. The timeline for this review to be completed will be variable based on the Specialists work load, planned City events, power outages, and other work that is of higher priority. Once a Project plan is approved, the Specialist will submit it to a contracted estimator for a cost estimate to be generated. Once the estimate is returned to Price City, an invoice for the estimated cost of the project minus any allowances or discounts will be issued to the developer, contractor, or the financially responsible party. The invoice will be required to be paid in full (125% as indicated above) prior to Price City authorizing the procurement of any materials or scheduling of any work to be done by their contractor for the development.
- vii. All work required to be completed by the developer must be completed and all inspections performed by the appropriate organizations as detailed later in these requirements before the City's contract crews will be scheduled.
- viii. Work for the project will be scheduled based on the availability of the appropriate materials needed for the project and the schedules of the City's contract crews to complete the work.
- ix. According to the requirements of the City's contractors to be able to make and maintain any type of guarantees for the work they do, developers may not procure and provide certain types of materials for the project such as high and low voltage conductors that are to be installed in the Electric Utility maintained areas and equipment and Utility Power Transformers.
- x. Due to continued supply issues, estimation of delivery or installation of Electric Utility Transformers cannot be provided. The procurement of Utility transformers can only be done once the electrical service has been inspected and approved by the Authority Having Jurisdiction to be energized and have Utility services to begin.
- xi. Once the project is completed and Price City has received all invoices from their contractors for the work done and the costs evaluated against the cost estimate, the developer will be invoiced for any additional cost not covered by the initial invoice or a refund if the costs were less than the initial invoice. Any additional invoices must be paid within 30 days to prevent the loss of utility services at the development.
- e. Electrical work or requirements that are the responsibility of the developer to be completed. Conduit: The developer shall be responsible for the installation of two 4-inch PVC underground electrical conduits from the nearest high-voltage sectionalizing cabinet to the location of the transformer. If a single conduit already exists, a second conduit will be required to be installed. The developer shall be responsible for the installation of three 4-inch PVC underground conduits from the transformer location to the Electrical Service switchgear location. All underground conduit installations must meet the minimum requirements of the most recent Rocky Mountain Power **Policy 242 - Underground Conduit Systems for Primary and Secondary Conductors** and Section 5 of the **Rocky Mountain Power Electrical Service Requirements Manual** and all other relevant Federal, State, and local requirements and regulations.
- f. All underground electrical distribution and service conduit installations must be inspected by a Price City Electrical Utility Infrastructure employee or their designated representative prior to backfill. After a backfill of 12 to 18 inches has been placed over the conduit, a metallic or traceable warning tape must be installed and inspected again by a Price City Electrical Utility Infrastructure employee or their designated representative prior to the remaining backfill and

grade work being done. ***Failure to have these inspections completed appropriately shall result in the developer having to expose the conduit, at their cost, for the required inspections.***

- g. All underground conduit installed using open trench excavation must be PVC electrical conduit that is rated and listed for that purpose by an appropriate listing agency.
- h. All underground conduit installed using horizontal directional drilling must be HDPE electrical conduit that is rated and listed for that purpose by an appropriate listing agency.
- i. Ends of any HDPE conduit installed must be properly prepared and chamfered to prevent snags and conductor damage then inspected by a Price City Electrical Utility Infrastructure Employee prior to making connections to any other conduits. Transitions from HDPE to any other type of conduit must be done using the appropriate connectors and must also be inspected prior to backfill.
- j. All conduit elbows used must be wide sweep and medium or heavy weight(duty) fiberglass. Exceptions and requirements must be approved by the Price City Electrical Utility Infrastructure specialist prior to installation.
- k. Elbows and conduit ends within sectionalizing cabinets, switchgear, and transformers must have end bell fittings installed. Conduit ends within the transformer vault must have appropriate fittings, ends, or treatments done or installed to prevent damage to conductors and to prevent the ingress of liquids, earth, debris, or animals into the vault.
- l. Flat braided wire pulling rope or “Mule tape” rated at a minimum of 1200 lbs. Must be installed in each conduit and tied off at each open end with a minimum of 15 feet of extra line out each end of the conduit.
- m. Transformer Pad and Padvault. The developer shall be responsible for acquiring and placing a transformer pad that meets the requirements in the PacifiCorp **ZG 532 Flat Pad - Three Phase Transformer** document if there are 5 conduits or less entering or exiting the transformer. The developer shall be responsible for acquiring and placing a transformer vault that meets the requirements in the PacifiCorp **ZG 521 Padvault - Three Phase Transformer** document if there are more than 5 conduits entering or exiting the transformer. The vault or pad must be set by the developer after appropriate earthwork has been completed to ensure that the transformer does not shift or tilt due to subsidence. Transformer vaults must have a drain or means for liquids to leave the vault by natural forces and the excavation prepared in such a way that any water leaving the vault can drain away so no there will be no standing water within the vault under normal and typical conditions, circumstances, and weather events.
- n. The working and maintenance clearances around the Sectionalizer cabinets, transformers, and the electrical service must meet and be maintained in perpetuity the minimum requirements found within Section 4 of the **Rocky Mountain Power Electrical Service Requirements Manual**.
- o. All transformers, pads, and vault installations must meet the minimum requirements of the most recent Rocky Mountain Power **Policy 242 - Underground Conduit Systems for Primary and Secondary Conductors** and all other relevant Federal, State, and local requirements and regulations.
- p. Electrical Service. Installation of a current transformer cabinet with included electrical service disconnect and provisions for the installation of current transformers for metering. A 13-jaw meter socket and enclosure with provisions for the installation of a metering test-switch must be installed on the exterior of the switchgear and include a 1 inch chase, no more than 12 inches in length, from the meter socket enclosure to the current transformer section of the switchgear.
- q. A concrete sidewalk or pad that meets ADA and other regulatory width and depth requirements for access, working area, and safety is required in front of the meter socket and the door side of the switchgear or cabinet and must be kept clear of any obstacles, obstructions, and hazards for personnel access.
- r. All utility meters, and disconnect points must be accessible to emergency services and utility personnel at all times day and night all year round without having to enter fenced or walled in

areas, going through any part of a building (interior or exterior) or having to unlock locks or other securing means put in place by anyone other than utility personnel.

- s. The switchgear and electrical service installation shall meet the requirements of the Rocky Mountain Power 2022 Electrical Service Requirements Manual which Price City has voluntarily adopted and enforces and any other currently enforced local, State, and Federal requirements and regulations.

6. Restrictions:

- a. No new signage except parking stall signage as identified in the site plan submitted.
- b. No new ingress or egress from site, no new vehicle or pedestrian traffic patterns permitted finding that existing vehicle and pedestrian traffic patterns serve to mitigate potential accidents.
- c. No changes to existing storm water management on site finding that existing storm water flows and management serve to prevent flooding.
- d. No changes to garbage dumpster enclosure location and service frequency and capacity finding that existing garbage enclosures serves to prevent accumulations or wind scatter of garbage, rubbish and debris.
- e. No changes to existing off-street parking not utilized for the addition of the electric vehicle charging kiosks; must maintain not less than twenty-five (25) off street parking spaces. Not more than four (4) spaces for EV charging as identified on the submitted site plan.
- f. No EV parking and/or charging from the public right-of-way on 600 S Street.
- g. No placement of any EV charging apparatus/equipment (transformer, switch gear cabinet, sectionalizer, etc.) in the public right-of-way, unless otherwise authorized and directed by the Price City Electric Department Supervisor.

7. No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS ____ **DAY OF** _____, 20____.

Price City

Applicant:

By Jan Young, Chair

JOE GIBB

ATTEST:

Jaci Adams, City Recorder

CONDITIONAL USE PERMIT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: SITE PLAN AMENDMENT FOR
PLACEMENT OF ELECTRIC VEHICLE CHARGING
KIOSKS LOCATED AT 651 S CARBON AVENUE
ROAD WITHIN THE C-1 ZONING DISTRICT.**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.

Price Utah

SIGNATURE _____

DATE _____

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: A CONVENIENCE STORE
W/GASOLINE SALES BUSINESS LOCATED
AT 651 S CARBON AVENUE WITHIN THE
COMMERCIAL 1 (C-1) ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.

SIGNATURE

John L. Young

DATE

9/25/2023

Price
Utah

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR THE LAND USE OF CONVENIENCE STORE WITH GASOLINE SALES AT 651 S CARBON AVENUE WITHIN THE COMMERCIAL 1 (C-1) ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **MAVERICK STORES**, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **MAVERICK CONVENIENCE STORE**.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **MAVERICK STORES** (Applicant), for the property located **651 S CARBON AVENUE**.

Term: the term of this agreement commences on **September 25th, 2023** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

Site Plan Elements:

- All construction and site work to be compliant with approved plans and any subsequent direction from Price City officials finding that development compliant with approved plans mitigates the potential for development misunderstandings and ensures quality development completion.
- Installation and (re)installation of any public infrastructure damaged or impacted during construction finding that quality public infrastructure mitigates the potential for costly repairs.
- All exterior areas to be lighted during customer and employee use during any dark hours finding that properly lighted areas mitigate the potential for personal injury accidents. All exterior lighting to be high efficiency LED fixtures. Exterior area lighting to be angled away from adjoining residential land uses, lights on timers or shielded to mitigate negative impacts of such lighting on residential uses.
- Sight obscuring fencing to be placed on east and south boundary lines, three feet (3') in height for thirty feet (30') back from the respective property lines and six feet (6') in height for remaining distance finding that boundary line fencing mitigates the potential for land use conflicts.
- Garbage, rubbish and debris to be controlled in an enclosed dumpster location with a hard surface and a service frequency that prevents accumulations of garbage, rubbish and debris or wind scatter of garbage, rubbish and debris finding that controlled garbage, rubbish and debris improves the community aesthetic consistent with the Price City General Plan.
- Installation and maintenance of a minimum of 5% landscaping consistent with Code requirements, as the site may allow or accommodate. Landscaping to be water wise, specifically within the park strip locations on both the 600 S Street and Carbon Avenue frontages. East frontage landscaping on both sides of boundary fence to be regularly maintained by Maverick, water wise landscaping required. *Back-flow prevention.*
- Maintain not less than twenty-five (25) off street parking spaces including requisite ADA spaces finding that minimum off-street parking mitigates the potential for vehicle and pedestrian accidents and injuries on public streets. Parking locations for oversize vehicles (trucks with trailers, etc.) to be accommodated on-site. No vehicle stacking into roadways.
- Utility connections to be completed as identified on the plans submitted and as directed by the respective providers finding that planned and coordinated utility connections mitigate the potential for misunderstandings.
- 600 S Street at the Carbon Avenue intersection, along the frontage of the development, to be realigned and the south side of 600 S Street to be widened by not less than twelve feet (12') of travel lane to accommodate added turn lane and added roadway to be dedicated to the public finding that added turn lane adjacent to the development at the intersection will serve to mitigate traffic back-ups and promote safety at the intersection.
- Ingress and egress approaches on 600 S Street to be a maximum width of forty feet (40') (per Code Section 6.5.3) and ingress point on Carbon Avenue not to exceed thirty-five feet (35'), as approved by UDOT, in width finding that controlled ingress points mitigate the potential for vehicle and pedestrian accidents. UDOT confirmation of Carbon Avenue ingress required and copy of traffic safety study for added ingress/egress on Carbon Avenue provided to Price City. Right in only upon ingress from Carbon Avenue per UDOT, no egress from Carbon Avenue access point.

- Storm water management infrastructure to be installed per the submitted plans and in compliance with any direction from Price City or other officials in regard to control and released of storm water runoff from the site. Storm water to be controlled and released to pre-development flows to a bona-fide storm water conveyance with capacity to control a 100-year storm event for a 1-hour duration. Storm water control infrastructure on-site to be regularly maintained to prevent clogging or other storm water control impediments finding that the site is situated within a critical storm water control conveyance area geographically within the community.
- Delineation of any wetlands in the project area and completion of all requirements, if any, in reference to any wetlands impacted and direction from the Army Corps of Engineers (ACOE) finding that compliant wetlands mitigation and management serves to protect such features in the urban environment. Copy of ACOE documentation to be provided to Price City prior to commencement of construction. Culvert/Bridge for ditch at Carbon Avenue ingress and curb-cut access points on north and south sides of parking lot to allow access to ditch for maintenance of storm water flows.
- All snow loading to be accommodated on-site, snow loading not to be deposited into 600 S Street or Carbon Avenue finding that restricted snow loading protects the health, safety and welfare of the community.

General Items:

- Business signage to be reviewed and approved by the Price City Planning Department prior to installation finding that properly reviewed and approved business signage promotes consistency in the community and serves to improve commercial activity.
- Building construction to be completed under the auspices of a building permit and building inspection finding that building permits and inspection protect the health, safety and welfare of the community. Fire safety to be included as identified by the Price City Fire Chief.
- Procurement of a Price City business license and submission of copies of State of Utah registrations, if any including State of Utah Alcohol sales license and accompanying local consent, as needed.
- All public infrastructure on 600 S Street and Carbon Avenue to be installed to minimum Price City and, where applicable, UDOT standards and repaired to the minimum standard from any damage resulting from construction activity in the vicinity, including but not limited to utility lines, curb, gutter, sidewalk, roadway restoration finding that properly installed and repaired public infrastructure protects the health, safety and welfare of the community.
- No on street parking on 600 S Street or Carbon Avenue adjacent to development finding that restricted on-street parking mitigates the potential for vehicle and pedestrian accidents.
- Ownership acquisition by Maverick of all parcels in the development area and completion of a lot assembly plat (to convert to one (1) large building lot) prior to commencement of construction finding that the multiple lot layout at the development site does not accommodate the development contemplated herein and existing lots are not compliant for commercial development. Lot assembly plat to be recorded with the Carbon County Recorder's office prior to commencement of construction.
 - Includes acquisition of any public ways within the subject property.
 - Includes all easements and rights-of-way within the subject property and continued authorization of any such easements and rights-of-way, as necessary.
 - Positioning of signage in not less than two (2) conspicuous locations on the project site with contact information for developer, contractor(s) and other necessary information finding that posted contact information provides the community an opportunity to gain answers to project questions and will serve to mitigate misinformation about the project.

Plans, Permits and Documents:

- Completion of a Price River Water Improvement District (PRWID) waste water survey and submission of the survey to PRWID and a copy to PRICE City prior to commencement of construction and compliance with requirements for construction stemming from the survey.
- Completion of a public infrastructure development agreement with the Price City Public Works Department and submission of the requisite financial surety prior to commencement of construction activity on the site finding that properly agreed and financially secured public infrastructure protects the long-term financial interest of the community.
- Completion and submission of a geotechnical study for the construction site and construction in compliance with the study and any direction from Price City or building officials regarding construction in regard to existing soils and compacted fill soils to comply with minimum build elevation for the flood zone.
- Procurement of a building permit prior to commencement of any construction activity finding that properly permitted and inspected construction protects the health safety and welfare of the community.
- Payment of all fees due prior to commencement of construction including building permit fees, utility extension and connection fees, street opening, demolition permit, local business license, local alcohol sales business license, etc.

- Procurement of a Price City Business License for business operation at the location prior to opening of the business finding that properly licensed businesses protect the health, safety and welfare of the community. Alcohol sales may require a State of Utah license and local consent from Price City.
- Obtain a demolition permit for removal of existing structures on site prior to any demolition activity finding that demolition permitting protects the health, safety and welfare of the community.
- Submission of an elevation certification from a licensed surveyor identifying the base flood elevation at the site and indicating that structure and other critical development items are a minimum of one foot (1') above the base flood elevation.

Restrictions:

- No authorized on-street parking along public streets.
- No land uses other than convenience store with gasoline sales. No overnight parking of semi or delivery trucks or other commercial vehicles, no freight service staging or transfer. (24-hour employee parking permitted)
- No occupancy of the building or property in excess of the safe occupancy of the building and property as identified by the building inspector and Price City Fire Chief.
- Dust control on site and maintained during construction. No fugitive dust to impact surrounding properties.
- No track out of mud or dirt onto 600 S Street or Carbon Avenue during construction.
- Primary construction access to be from Carbon Avenue.
- No generation or disposal of any hazardous materials or materials that may be considered hazardous to the health, safety and welfare of the community.
- No nuisance noises, odors or other disturbances to emanate from the subject property (during construction or business operation).
- No conditions at the property or structure that violate the Price City Property Maintenance Code. Removal and mitigation of any existing Property Maintenance Code violations present on the property.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS 25th DAY OF Sept, 2023.

Price City

By Jan Young, Chair

Applicant:

MAVERICK STORES REPRESENTATIVE

PRINT NAME

SIGNED NAME

ATTEST:

Jaci Adams, City Recorder





PRICE MUNICIPAL CORPORATION
185 EAST MAIN • P.O. BOX 893 • PRICE, UT 84501
PHONE (435) 637-5010 • FAX (435) 637-2905


CHAIR
JAN YOUNG

COMMISSIONERS

DALE EVANS
JUDY BEACCO
TODD THORNE
RICHARD ROOT
JADE POWELL
DAVID BLACK
ALTERNATE: DANIEL HINCKLEY
ALTERNATE: ERROLL HOLT

DATE: AUGUST 29TH, 2025

TO: PRICE CITY PLANNING AND ZONING COMMISSION

FROM: NICK TATTON 

RE: CUP – SITE PLAN AMENDMENT, ADD STORAGE SHEDS

Please find attached a Conditional Use Permit (CUP) application submitted by Cierra Jones (store manager) to amend the site plan adding (2) storage shed structures of one-thousand nine-hundred twenty (1,920) square feet each 240 W 100 N and 270 W 100 N within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria are listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is identified in Section 11.1.m of the Code. The land use is Farm and Garden Supplies and Equipment, a Conditional Use, based on Section 11.3.4.17 of the Code.

Please discuss the application, land uses, restrictions and conditions of approval with the applicant. It is the recommendation of staff to provide final approval for the CUP for the site plan amendment.

RECOMMENDED MOTION(S):

Move to authorize final approval of a Conditional Use Permit (CUP) to amend the site plan and add (2) storage shed structures of one-thousand nine-hundred twenty (1,920) square feet each 240 W 100 N and 270 W 100 N within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria are listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is identified in Section 11.1.m of the Code. The land use is Farm and Garden Supplies and Equipment, a Conditional Use, based on Section 11.3.4.17 of the Code and subject to the following conditions of approval:

1. Exterior lighting during all dark hours when accessed by owners, employees or customers finding that lighted ingress/egress mitigates the potential for accidents. Exterior lighting to be high efficiency LED fixtures. Exterior lighting to be angled, shielded or on timers to mitigate potential light impacts to neighboring residential land uses.
2. Maintain and/or install a minimum of five percent (5%) area landscaping to the extent the site will accommodate in the built environment. Water wise landscaping requested.
3. Obtain a building permit and all construction/installation under the auspices of a building permit and inspection. Contact the Carbon County Building Department at 435-636-3260.
4. Complete a public infrastructure development agreement with the Price City Public Works Department, if required, and submission of any financial surety required, if required. Repair

and replace any public infrastructure or utility infrastructure damaged or necessary for construction/installation of the storage sheds on the site.

- a. Install public infrastructure (curb, gutter, sidewalk) along the east side of 300 W Street fronting the subject property. Must be completed on or before June 30th, 2026. Finding that vehicle and pedestrian safety occurrences and storm water flooding situations will be mitigated.
5. Must prepare (licensed surveyor) a parcel assembly plat and submit for approval to Price City and have recorded with the Carbon County Recorder's office, within twelve (12) months of this approval, combining the following parcels:
 - a. New parcel combining parcels: #01-0643-0000, #01-0661-0000
 - b. New parcel combining parcels: #01-0634-0000, #01-0635-0000, #01-0640-0000, #01-0636-0000
6. Site Requirements:
 - a. Not less than a twenty-five (25) foot setback on the corner of 100 N and 300 W for the new shed building.
7. Restrictions:
 - a. Buildings must remain open on at least one (1) side as indicated on the Conditional Use Permit submission information.
 - b. No additional business signage approved.
 - c. No changes to off-street parking capacity.
 - d. No new ingress or egress from site, no new vehicle or pedestrian traffic patterns permitted finding that existing vehicle and pedestrian traffic patterns serve to mitigate potential accidents.
 - e. No changes to existing storm water management on site finding that existing storm water flows and management serve to prevent flooding.
 - f. No changes to garbage dumpster enclosure location and service frequency and capacity finding that existing garbage enclosures serves to prevent accumulations or wind scatter of garbage, rubbish and debris.
8. No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.
9. Move to acknowledge that the applicant is aware of the conditions of approval, understands the conditions of approval and intends to comply with the conditions of approval.

Fee: _____



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
☒ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☒ Preliminary
☐ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information				
1. Applicant's Name: Intermountain Farmers Assn. Cierra Jones		2. Title: Branch Manager		
3. Applicant's Mailing Address: 240 West 100 North		4. Suite/Apt. No.:		
5. City: Price	6. State: Utah	7. Zip Code: 84501		
8. County: Carbon		9. Telephone: (435)637-0652 435-749-1223		
Project Information				
10. Name of Project (Business): Intermountain Farmers Association				
11. Address of Proposed Project: 240 West 100 North and 255 West 100 North				
12. Zone District (see attached zoning map):				
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)				
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input checked="" type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition	
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:	
21. Estimated Cost of Project: a) Site Work \$ 20,000.00 b) Buildings \$ 65,000.00 c) Other \$ Total \$ 85,000.00		22. Electrical Load Sheet: (Attach preliminary and final to application)		23. Project Plans: <input type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____

24. Brief Description of Project:

IFA would like to add two three sided storage sheds to our property to allow more covered storage space for merchandise owned by Intermountain Farmers Assn.

25. Justification (Explain why this project is needed):

Currently we are storing merchandise outside and covering it with tarps. This is not an effective method to store merchandise. The merchandise is still being damaged by the weather elements.

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1.		()
2.		()
3.		()
27. Estimated Starting Date: / /	28. Estimated Completion Date: / /	29. Has P.R.W.I.D. Sewer Survey Been Submitted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Signature of Property Owner

Cierra Jones for IFA

Date

9/1/2025

Please Print Name

Cierra Jones

Title

Branch Manager

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

☐ Approve

☐ Decline

Comments:

Signature: _____

Date: _____

Requires:

☐ Building Permit

☐ Conditional Use Permit

☐ Code Amendment

☐ Board of Adjustments Variance

☐ Flood Plain Development Permit

☐ Other: _____

SITE PLAN

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.



I would like to authorize Cierra Jones to finalize and sign the site plan amendment approval permit on behalf of Intermountain Farmers Association.

Thank you,
Larry Dockery
Agronomy Division Vice President
Intermountain Farmers Association
435-232-2277 Mobile
801-908-1218 Office





NEW
24x80'
1920 sq ft

35x120
4,200 sq ft
MAINT
BUILDING

STREET

HOUSE

← STREET

DRIVEWAY

90x104'
IFA
STORAGE
4,300 sq ft

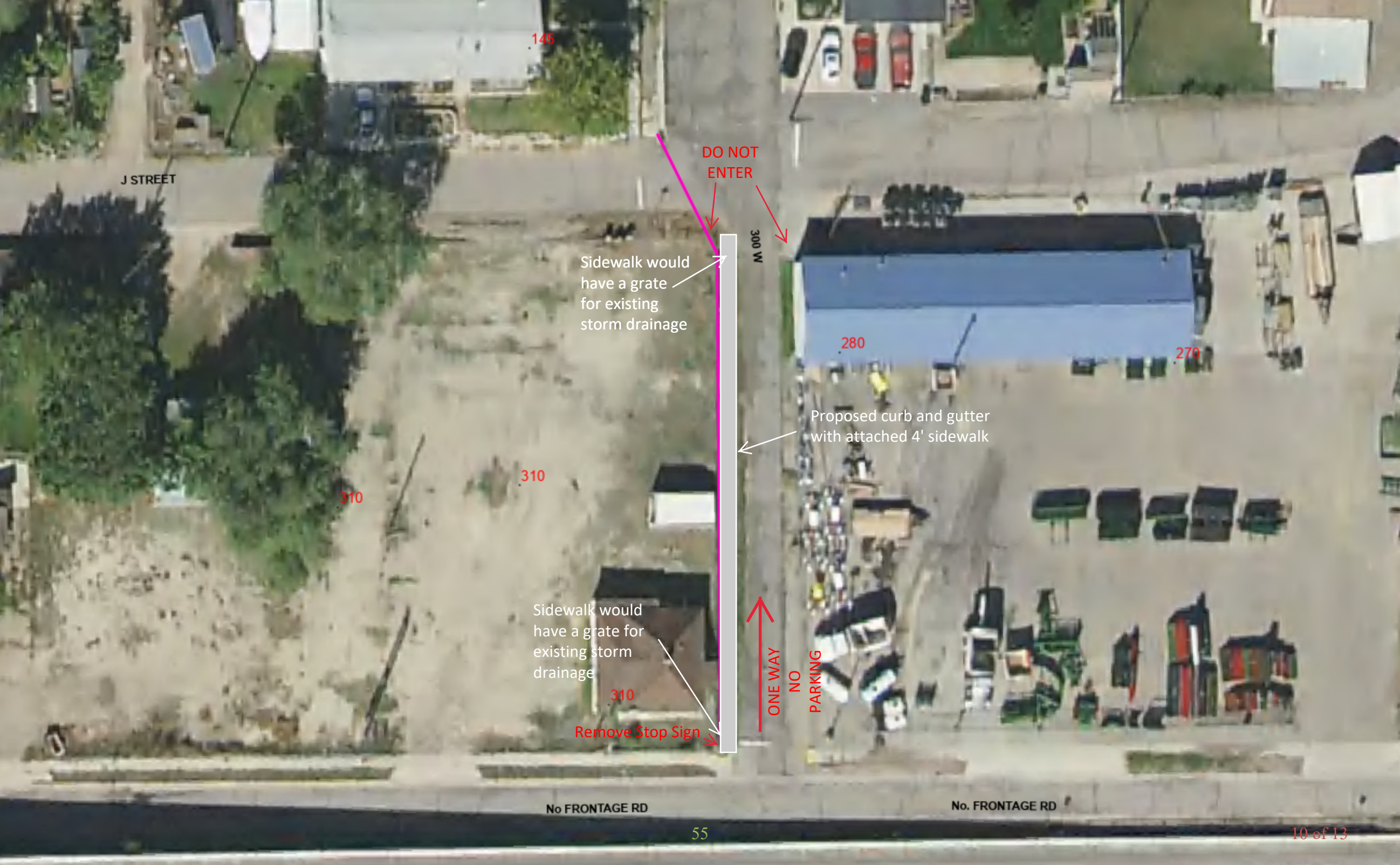
202
HOUSE

51x85'
IFA
4,300 sq ft
WASHING
HOUSE

Pavement

52x50
FERT.
BUILDING
2,600 sq ft

24x80
1920 sq ft



J STREET

145

DO NOT
ENTER

300 W

Sidewalk would
have a grate
for existing
storm drainage

280

270

Proposed curb and gutter
with attached 4' sidewalk

310

310

Sidewalk would
have a grate
for existing
storm
drainage

310

Remove Stop Sign

ONE WAY
NO
PARKING

No. FRONTAGE RD

No. FRONTAGE RD

**ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY
PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR A SITE PLAN
AMENDMENT FOR THE LAND USE OF TWO (2) ADDITIONAL LARGE STORAGE SHEDS AT 240 W 100 N AND 270
W 100 N WITHIN THE COMMERCIAL 1 (C-1) ZONING DISTRICT.**

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **CIERRA JONES**, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **AMENDED SITE PLAN FOR ADDITION OF TWO (2) LARGE STORAGE SHEDS, APPROXIMATELY ONE-THOUSAND NINE-HUNDRED TWENTY (1,920) SQUARE FEET EACH.**

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **KEN TAKADA** (Applicant), for the property located **240 W 100 N AND 270 W 100 N.**

Term: the term of this agreement commences on **September 8th, 2025** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Exterior lighting during all dark hours when accessed by owners, employees or customers finding that lighted ingress/egress mitigates the potential for accidents. Exterior lighting to be high efficiency LED fixtures. Exterior lighting to be angled, shielded or on timers to mitigate potential light impacts to neighboring residential land uses.
- Maintain and/or install a minimum of five percent (5%) area landscaping to the extent the site will accommodate in the built environment. Water wise landscaping requested.
- Obtain a building permit and all construction/installation under the auspices of a building permit and inspection. Contact the Carbon County Building Department at 435-636-3260.
- Complete a public infrastructure development agreement with the Price City Public Works Department, if required, and submission of any financial surety required. Repair and replace any public infrastructure or utility infrastructure damaged or necessary for construction/installation of the storage sheds on the site. Install public infrastructure (curb, gutter, sidewalk) along the east side of 300 W Street for the subject property finding that vehicle and pedestrian safety occurrences and storm water flooding situations will be mitigated. Must be completed on or before June 30th, 2026.
- Must prepare (licensed surveyor) a parcel assembly plat and submit for approval to Price City and have recorded with the Carbon County Recorder's office, within twelve (12) months of this approval, combining the following parcels: New parcel combining parcels: #01-0643-0000, #01-0661-0000. New parcel combining parcels: #01-0634-0000, #01-0635-0000, #01-0640-0000, #01-0636-0000.
- Site Requirements: Not less than a twenty-five (25) foot setback on the corner of 100 N and 300 W for the new shed building.
- Restrictions: Buildings must remain open on at least one (1) side as indicated on the Conditional Use Permit submission information. No additional business signage approved. No changes to off-street parking capacity. No new ingress or egress from site, no new vehicle or pedestrian traffic patterns permitted finding that existing vehicle and pedestrian traffic patterns serve to mitigate potential accidents. No changes to existing storm water management on site finding that existing storm water flows and management serve to prevent flooding. No changes to garbage dumpster enclosure location and service frequency and capacity finding that existing garbage enclosures serves to prevent accumulations or wind scatter of garbage, rubbish and debris.
- No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS _____ DAY OF _____, 20____.

Price City

Applicant:

By Jan Young, Chair

Cierra Jones

ATTEST:

Jaci Adams, City Recorder

CONDITIONAL USE PERMIT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: A SITE PLAN AMENDMENT
FOR THE FARM AND GARDEN SUPPLIES
LAND USE LOCATED AT 240 W 100 N AND
270 W 100 N WITHIN THE C-1 DISTRICT.**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.

Price
Utah

SIGNATURE _____

DATE _____

PRICE MUNICIPAL CORPORATION
185 EAST MAIN STREET
P. O. BOX 893
PRICE UT 84501 637-5010

Receipt No: 5.000201762 Sep 2, 2025

IFA

Previous Balance:	.00
LICENSE PERMIT FEES	
CUP	150.00

Total:	150.00
	=====
CREDIT CARD PAYMENT	150.00
Total Applied:	150.00

Change Tendered:	.00
	=====

Duplicate Copy
09/02/2025 10:23 AM