

PLANNING COMMISSION

City of Holladay

September 16th 2025

City Council Chambers – 4580 S. 2300 E. Holladay



City of Holladay

This public meeting will be held in-person and also transmitted via live video stream on the [City of Holladay webpage](#). Participation in a *public hearing* portion of this meeting can be accomplished in either of the following ways:

- During the meeting: address the Commission when the item is called by the Commission Chair
- Emailed comments must be received by 5:00 pm on **09/15/2025** to the Community and Economic Development Department; jteerlink@holladayut.gov. Emailed comments will be read by the Commission Chair.

MEETING AGENDA

5:30 PM PLANNING COMMISSION TRAINING – Required training conducted by the City Attorney

6:30 PM WORK SESSION – The Commission may discuss any or all agenda items. No decisions to occur.

6:45 PM CONVENE REGULAR MEETING – Public Welcome & Chair Opening Statement

PUBLIC HEARING

1. **“Royal Holladay Hills; Block C, Lot3”- Preliminary Site Plan – 1900 E Rodeo Walk Drive (R/MU)**
Preliminary review and consideration of commercial development details as proposal by Applicant, Steve Peterson. Commission will review the site development and architectural details at lot 3 within Block “C” of the Holladay Hills Mixed use development. The project entails a permitted use, 3-story commercial building and associated site improvements according to regulatory provisions of the Site Development Master Plan (SDMP 2007), Holladay Ordinances §13.10a, §13.65 *File #19-9-19-10*

ADJOURN

CERTIFICATE OF POSTING

I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted on the City of Holladay bulletin board, the City website www.holladayut.gov, the Utah Public Notice website www.utah.gov/pmn, and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.

DATE POSTED: [DAY, MONTH DATE, 2024 @ TIME AM/PM]

Stephanie N. Carlson MMC, City Recorder
City of Holladay

Reasonable accommodations for individuals with disabilities or those in need of language interpretation service can be provided upon request. For assistance, please call the City Recorder’s office at 272-9450 at least three days in advance. TTY/TDD number is (801)270-2425 or call Relay Utah at #7-1-1

The Chair shall call the meeting to order at the appropriate time, greet the people, and read the following statement:

- *The City of Holladay Planning Commission is a volunteer citizen board whose function is to review land use plans and other special studies, make recommendations to the City Council on proposed zoning map and ordinance changes, and approve conditional uses and subdivisions.*
- *The Planning Commission does not initiate land use applications; rather acts on applications as they are submitted. Commissioners do not meet with applicants except at publicly noticed meetings.*
- *Commissioners attempt to visit each property on the agenda, where the location, the nature of the neighborhood, existing structures and uses related to the proposed change are noted.*
- *Decisions are based on observations, recommendations from the professional planning staff, the City's General Plan, zoning ordinance and other reports, by all verbal and written comments, and by evidence submitted, all of which are part of the public record.*
- *Meeting procedure can be found on the back of the agenda.*

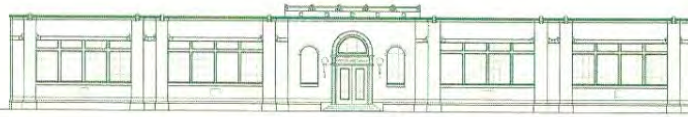
Rules of the City of Holladay Planning Commission for Public Hearings

The Planning Commission Chair or Vice Chair is the Presiding Officer and will conduct the hearing.

1. **Introduction.** The Presiding Officer informs those attending of the procedure and order of business for the hearing.
2. **Staff Presentation.** City Staff briefly introduces the request that prompted the public hearing. The presentation shall not last more than five minutes.
3. **Sponsor Presentation.** If desired, the applicant or his/her representative may also make a presentation. The presentation shall not last more than fifteen minutes.
4. **Public Comment.** The Presiding Officer asks for public comment on the matter before the Commission. Comments are limited to three minutes and speakers are allowed to speak only once. Speakers are requested to:
 - (a) Complete the Citizen Comment Form
 - (b) Wait until recognized before speaking
 - (c) Come to the microphone and state their name and address for the record
 - (d) Be brief and to the point
 - (e) Not restate points made by other speakers
 - (f) Address questions through the Presiding Officer
 - (g) Confine remarks to the topic
 - (h) Avoid personalities

After each citizen has spoken, Commission members may ask questions of the participant before the Presiding Officer resumes or closes the hearing.

5. **Applicant Summation/Response.** Following citizen comment and questions by the Commission, the applicant shall be given an opportunity to give up to fifteen minutes summation and/or response prior to closing of the public hearing.
6. **Closing the Hearing.** If there is no further public comment, questions by Commission members, or final response by the applicant, the Presiding Officer shall conclude the hearing at least ten minutes in advance of a subsequently scheduled public hearing. The Commission may vote to extend the public hearing past the starting time of a subsequent public hearing.
7. **Consideration of Item.** At the close of the public hearing, the Commission shall consider the item, discuss its merits and vote on the matter or vote to continue it at a future meeting.



City of Holladay
Community and Economic Development
Planning and Zoning

PLANNING COMMISSION STAFF REPORT

September 16th 2025

ITEM # 1

Request: Preliminary Commercial Site Plan within Royal Holladay Hills

Project: "ARHAUSE"

Address: 1900 East Rodeo Walk Drive – Block C, Lot 3

Applicant: Steve Petersen, Applicant and KMW Development, Owner

File No.: 19-9-19-10

Notice: Mailed Notice on Sept. 5th 2025

Staff: Jonathan Teerlink, CED Director

GOVERNING ORDINANCES:

13.65.070(C)	REGIONAL MIXED-USE ZONE (RM-U)
13.03	SUBMISSION REQUIREMENTS
13.06	ADMINISTRATIVE & DEVELOPMENT REVIEW PROCEDURES
13.08.050	SITE PLAN
SDMP,2007	SITE DEVELOPMENT MASTER PLAN (SDMP)

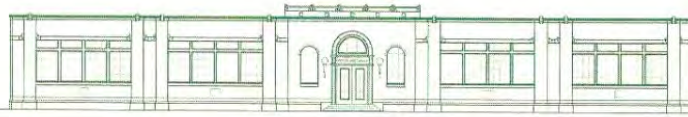
REQUIRED PLANNING COMMISSION ACTION: Administrative/Public hearing Required

PC shall make an administrative motion of either, denial, approval or to continue. All motions require findings which support the decision. As directed by ordinance, applications **shall** be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. 13.06.050.B2 and 13.08

Creation of a development site plan requires review and approval by the Land Use Authority (Planning Commission) in a two-step process; **Preliminary and Final plans**. Decisions must be made during public meeting. The notice for the required public hearing of this first step has been mailed to all properties within 500' of the subject parcel.

SUMMARY

According to the approved subdivision plan for all Royal Holladay Hills, The Applicant proposes an additional retail pad at Block "C". The Applicant and design representatives for "ARHAUSE" an interior design retailer, will present a site layout and architectural plans for consideration and review against the 2007 Site Development Master Plan (SDMP) and previous approvals for Block C (PC#19-9-19-9, "Roth Living"). Review is subject to the provisions of the, "Open" Land Use District (O Zone). The O Zone is to be considered the most intense land use zone within this master planned development, offering a widest range of allowed uses and the tallest building heights (90 feet). In this case, the site location is proposed as a single-use, 50 foot tall commercial building, intended to be occupied by a single retailer, ARHAUSE.



City of Holladay
Community and Economic Development
Planning and Zoning

TECHNICAL REVIEW COMMITTEE ANALYSIS

PRELIMINARY SITE DEVELOPMENT

The TRC is satisfied that the land use elements (zone compliance) of a preliminary site development plan proposed for a portion of Block C provide all information needed for review of the Planning Commission. TRC recommends that the following items be highlighted by the PC as they are found to be critical elements required for SDMP compliance

- Commercial Retail is a permitted land use within O Zone, see page 3 of the SDMP.
- Access to site is to be provided internally via a new section of Royce Drive a private street.
- Building is proposed at 11,550 square feet. Commercial intensity (maximum square footage) is considered to be dispersed across entire site (57 acres), see page 1 of the SDMP.
- Parking is required at 1 stall per 200 square feet. This site provides 66 shared stalls across the Block C site (57 required for this building), see page 8 of the SDMP provides shared parking provisions to be shared among the retail pads.
- Landscaping plans are provided and propose and various landscaping features including 23+ new trees planted around the site.
- Building height is proposed at 50.5 feet (90 feet allowed), page 6 of the SDMP
- Architectural design is an element regulated by SDMP. Chosen commercial designs should be found to comply with the design palette on page 16 of the SDMP.

The TRC has found no other substantive changes to the previous approved development site plan for Block C that would prevent a Planning Commission review.

RECOMMENDATION

The required submittals for preliminary site development plan and subdivision plat for Block C are found by the TRC to be complete as per the City's submission standards, R-M/U zone regulations and SDMP site development standards. The TRC recommends the Planning Commission to hold the required public hearing and moderate a discussion with the applicants on the details of the development plan. The TRC feels the application may be approved and strongly requests that potential PC decisions be accompanied with findings. Additionally, the TRC can recommend that the PC delegate **FINAL** approvals to staff as per §13.10a of the Holladay code.

SUGGESTION MOTIONS

*"I move to (approve_deny_continue) a **PRELIMINARY/FINAL RETAIL SITE DEVELOPMENT PLAN FOR BLOCK C lot 3** enabling the development of "ARHAUSE" a retail use in the R-M/U zone located at 1900 East Rodeo Walk Drive. Motion is based on the following findings;*

- 1) *Proposed retail use is an permitted land use of the "Open" Land use zone of SDMP.*
- 2) *Access and featured construction elements are found to be acceptable by all divisions the Technical Review Committee*
- 3) *All roads and related infrastructure is presented as private improvements and do not require city construction and maintenance standards review.*
- 4) *All development details and related architectural components comply with the R-M/U zone & SDMP as a master planned project*



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City of Holladay Planning Commission will conduct a public hearing on **Tuesday, the 16th day of September 2025 as close to 6:00 P.M.** as possible. The purpose of the hearing is open a comment period while the Commission considers an preliminary design application of a retail site development plan for “Lot 3, BLOCK C” within “Royal Holladay Hills” mixed-use development in the R/M-U zone located at 1888 East Rodeo Walk Drive (Cottonwood Mall). The development concept and preliminary site plan will be reviewed by the Planning Commission for compliance with the SDMP (2007) and Holladay Ordinance 13.65.070(C).

The proposed development plan is available for public inspection on the City’s website www.holladayut.gov and at the Community Development Dept. during normal business hours.

The public can remotely watch the [Live Stream](#) of the meeting. To provide a public comment or to comment on any public hearing, you have the following options:

1. In-person attendance at Holladay City Hall or
2. Email your comments by 5:00 PM on the date of the meeting to cmarsh@holladayut.gov or call 801527-3890.

CERTIFICATE OF POSTING

I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted at City Hall, the City website www.holladayut.gov the Utah Public Notice website www.utah.gov/pmn, and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.

DATE POSTED: [date]

Stephanie N. Carlson MMC,
City Recorder City of Holladay
NOTICE OF PUBLIC HEARING



CITY of HOLLADAY

NOTICE OF A PUBLIC HEARING

PRELIMINARY SITE PLAN – HOLLADAY HILLS “BLOCK C, LOT 3”

Date: Tuesday, September 16th 2025
Time: As close to 6:00 pm as possible
Location: City Hall – City Council Chambers
Hearing Body: Planning Commission

Notice is hereby given that the City of Holladay Planning Commission will conduct a public hearing during their review of a primary site plan for retail development proposals at “**BLOCK C, LOT 3**” within “**Royal Holladay Hills**” mixed-use development in the R/M-U zone located at **1888 E Rodeo Walk Drive**. All considerations will be reviewed by the Planning Commission for compliance with the SDMP (2007) and Holladay Ordinance 13.65.070(C).

****No zone or ordinance change is proposed in conjunction with this application. ****

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City’s website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Website.

Please submit comments via email by 5:00 pm Sept. 15th to Jonathan Teerlink, jteerlink@holladayut.com. Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

ATTENTION: This notice was mailed on September 5th order of the Community and Economic Development Director, Jonathan Teerlink, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.



CITY of HOLLADAY

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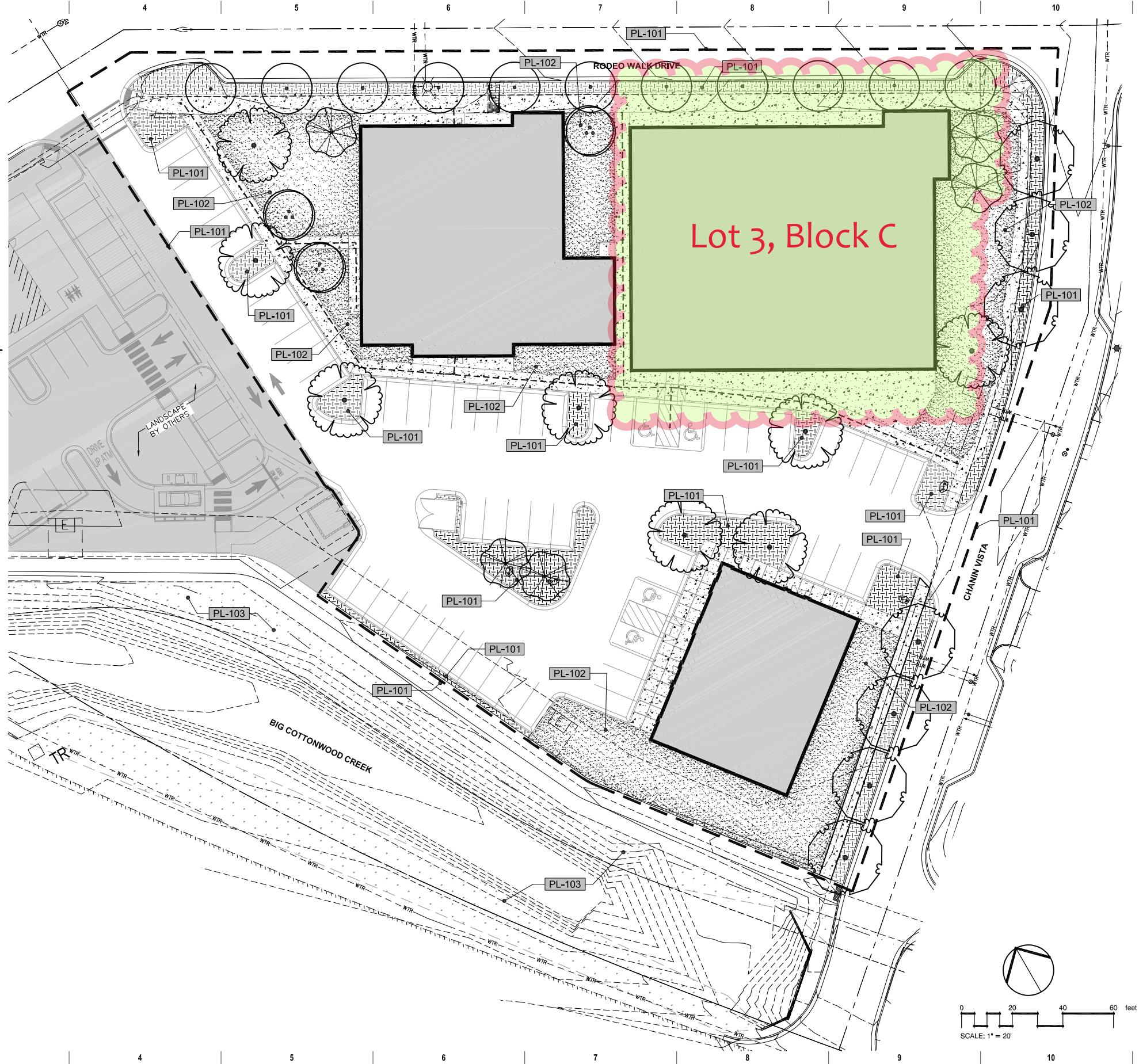
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	1	2	3			
PLANT SCHEDULE BLOCK C						
	SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	TREES					
G		AMELANCHIER X 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B&B		8' MULTI-STEM	3
		EXISTING RODEO WALK DRIVE TREE	EXISTING			11
		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2"	CAL	8
	DECIDUOUS TREES					
F		ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3"	CAL.	7
	FLOWERING TREES					
		MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	2"	CAL	5
REFERENCE NOTES SCHEDULE BLOCK C						
	SYMBOL	DESCRIPTION	QTY	DETAIL		
	REFERENCE NOTES SCHEDULE					
E		PLANTING AREA (TYP.)				
		TURF AREA (TYP.)				
		EXISTING LANDSCAP TO REMAIN				
		KENTUCKY BLUEGRASS SOD	12,744 SF	/		
		PREMIUM DARK BROWN BARK MULCH - 3" MIN. DEPTH OVER DEWITT PRO-5 WEED BARRIER FABRIC	6,042 SF			
		GREY LANDSCAPE BOULDERS 2' - 4' DIAMETER; 1/3 @ 2' DIAMETER, 1/3 @ 3' DIAMETER AND 1/3 @ 4' DIAMETER - PER STAKER PARSONS	4			
D						
C						
B						
A						
	1	2	3			



For Review
06/27/2025 1:05:20 PM

WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770

DATE

REVISION DESCRIPTION

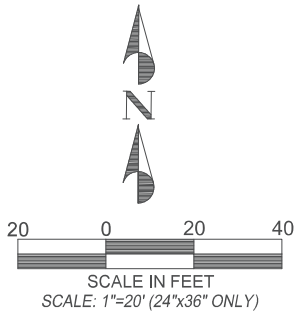
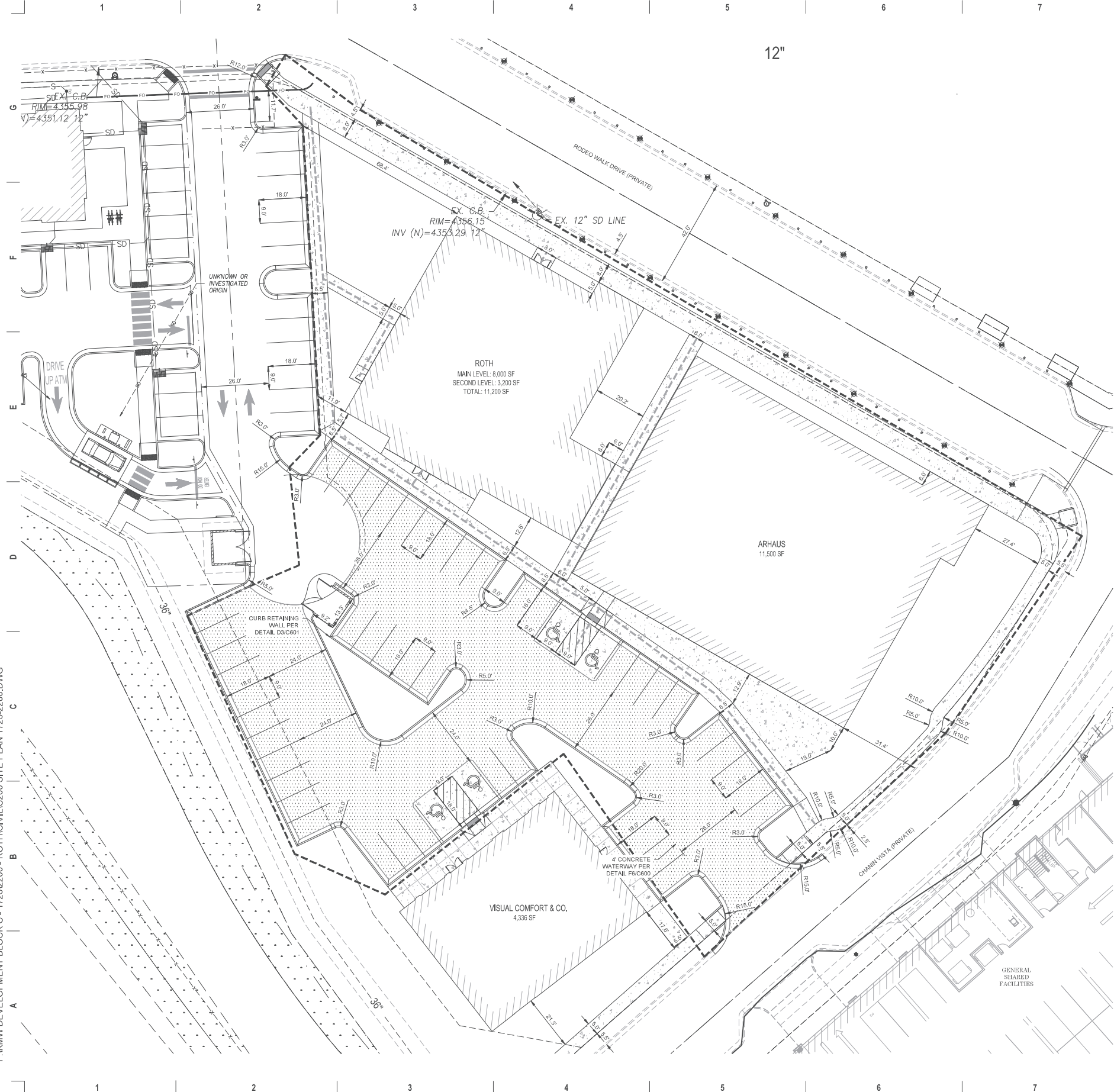
GROUND COVER PLAN
HOLLADAY HILLS - ROTH AND ARHAUS
OWNER: K&W DEVELOPMENT LLC.
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

GROUND COVER PLAN
PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN
LG101

6/27/2025 1:02 PM

PLOTTED BY: LEEANN MILLER

P:\KMW\DEVELOPMENT BLOCK C - 1726\2200 - ROTH\CIVIL\C200 SITE PLAN 1726-2200.DWG



LEGEND	
	EX. LOT LINES
	EX. EDGE OF OIL
	EX. FENCE LINE
	EX. CURB & GUTTER
	NEW CURB & GUTTER
	NEW ADA ROUTE
	NEW PROPERTY LINE
	LIMITS OF CONSTRUCTION
	NEW STANDARD ASPHALT PAVEMENT
	NEW HEAVY ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	L.S. LANDSCAPE AREA

- NOTES**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
 - ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - DUMPSTER ENCLOSURES SHALL BE 3-SIDED MASONRY WALLS WITH STEEL GATE. DUMPSTER ENCLOSURE TO MATCH MATERIAL USED ON BUILDING.
 - EXPANSION JOINTS USING VOID CAPS AND CAULK ARE REQUIRED ON ALL CONCRETE JOINTS AROUND BUILDING PERIMETER AND EXPANSION JOINTS (CURB IN) — EXPANSION JOINTS REQ'D AROUND ENTIRE BUILDING PERIMETER WHERE CONCRETE MEETS BUILDING AND BETWEEN CURB / SIDEWALK INFILL SECTIONS WITH NO PLANTER AND AT OTHER LOCATIONS PER DETAILS AND SPECS.

LAND USE SUMMARY			
	SQ.FT	ACREAGE	PERCENT
BUILDING FOOTPRINT	23,636	0.547	19.3%
LANDSCAPE AREA	42,713	0.981	34.6%
IMPERVIOUS AREA	56,751	1.303	46.0%
TOTAL LOT AREA	123,300	2.831	100.0%

PARKING SUMMARY	
BUILDING SIZE:	27,036 SF
PARKING REQUIRED (3/1000 SF):	81 STALLS
PARKING PROVIDED:	74 STALLS
TOTAL PARKING RATIO	2.7/1000 S.F.

* OTHER SHARED PARKING AVAILABLE THROUGHOUT THE DEVELOPMENT

For Review
06/27/2025 2:39:53 PM



SITE PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

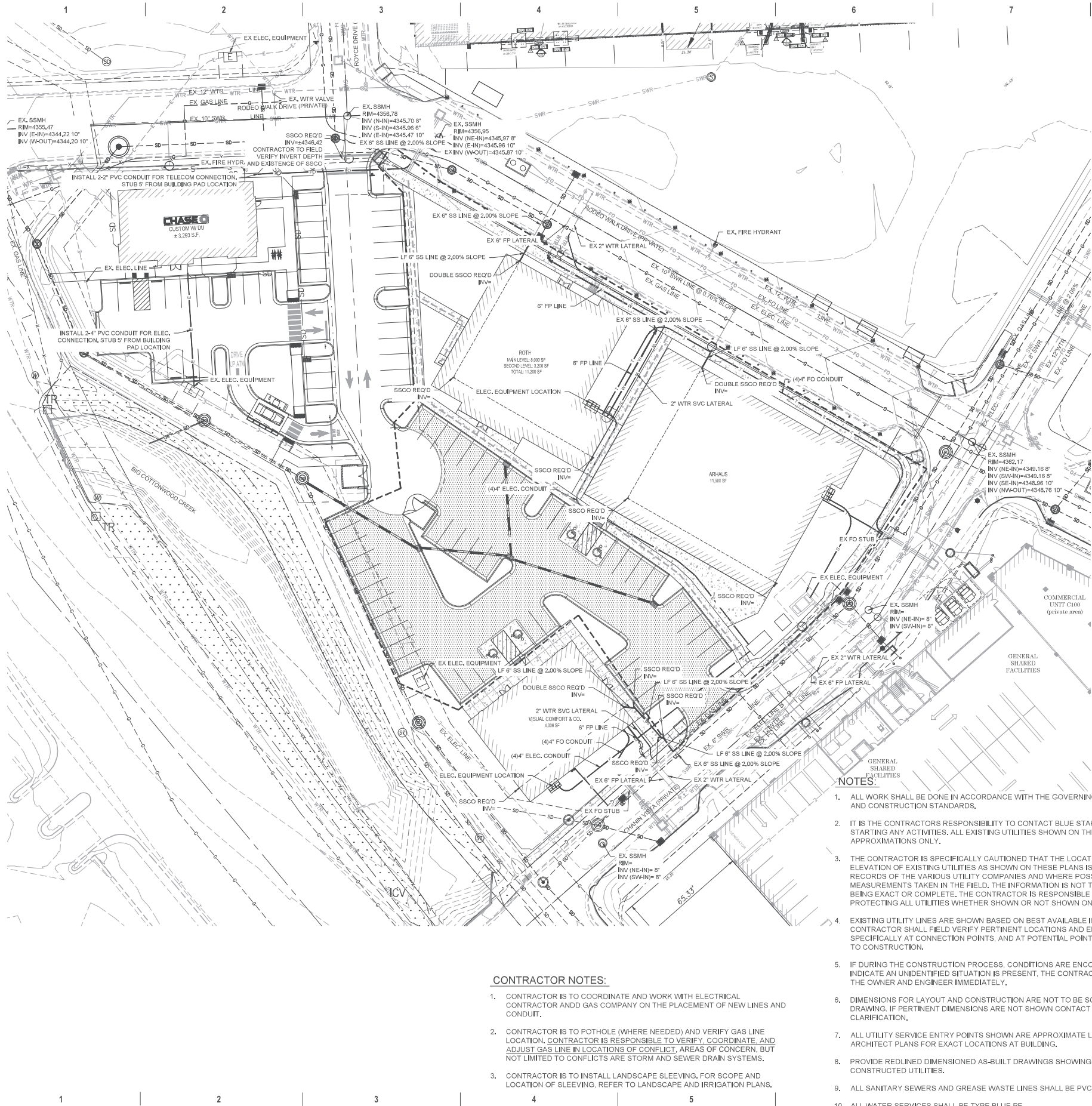
SITE PLAN
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C200

6/27/2025 12:06 PM

PLOTTED BY: LEEANN MILLER

P:\KMW\DEVELOPMENT BLOCK C - 1726\2200 - ROTH\CIVIL\C300 UTILITY PLAN 1726-2200.DWG



CONTRACTOR NOTES:

- CONTRACTOR IS TO COORDINATE AND WORK WITH ELECTRICAL CONTRACTOR AND GAS COMPANY ON THE PLACEMENT OF NEW LINES AND CONDUIT.
- CONTRACTOR IS TO POTHOLE (WHERE NEEDED) AND VERIFY GAS LINE LOCATION. CONTRACTOR IS RESPONSIBLE TO VERIFY, COORDINATE, AND ADJUST GAS LINE IN LOCATIONS OF CONFLICT, AREAS OF CONCERN, BUT NOT LIMITED TO CONFLICTS ARE STORM AND SEWER DRAIN SYSTEMS.
- CONTRACTOR IS TO INSTALL LANDSCAPE SLEEVING. FOR SCOPE AND LOCATION OF SLEEVING, REFER TO LANDSCAPE AND IRRIGATION PLANS.

NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
- IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
- ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.
- PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED UTILITIES.
- ALL SANITARY SEWERS AND GREASE WASTE LINES SHALL BE PVC SDR-35.
- ALL WATER SERVICES SHALL BE TYPE BLUE PE.

- SEE IRRIGATION PLANS FOR NEW PRESSURIZED IRRIGATION LINES.
- ALL VALVE COVERS FOR FIRE PROTECTION WATER LINES SHALL BE LABELED "FIRE".
- EX. SERVICE LATERALS HAVE NOT VERIFIED. CONTRACTOR TO FIELD VERIFY & CONTACT ENGINEER WHEN UNKNOWN LATERALS ARE ENCOUNTERED.
- VERIFY ELECTRICAL AND TRANSFORMER REQUIREMENTS WITH ELECTRICAL PLANS.
- ELECTRICAL SYSTEM TO BE INSTALLED AS PER SPANISH FORK CITY ELECTRICAL DESIGN AND STANDARDS. ANY ELECTRICAL DESIGNS AS PER ARCHITECT/DEVELOPER DRAWING SHALL BE SUPERSEDED BY CITY DESIGN.
- ALL ELECTRICAL IMPROVEMENTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF THE SPANISH FORK CITY CONSTRUCTION STANDARDS.
- IF NEWER VERSION OF STANDARDS IS RELEASED DURING PROJECT THE PROJECT SHALL BE COMPLETED USING STANDARDS VERSION THAT WAS ISSUED AT PER-CONSTRUCTION MEETING.
- ANY EXISTING FACILITIES AFFECTED BY DEVELOPMENT WILL NEED TO BE BROUGHT TO CURRENT NEC, NESC AND CITY STANDARDS AT DEVELOPERS EXPENSE INCLUDING BUT NOT LIMITED TO UPGRADING OF METER BASE, SERVICE CONDUITS, COMMUNICATIONS SERVICES, AND LANDSCAPING RESTORATION.
- INSTALL FIRE RISER AT LOCATION SHOWN ON ARCHITECTURAL OR MECHANICAL PLANS. DO NOT USE CIVIL ENGINEERING AUTOCADD PLANS TO DETERMINE LOCATION. CONSTRUCTION STAKER REQUIRED TO STAKE RISER LOCATION FROM PLANS BY ARCHITECT OR MECHANICAL ENGINEER.
- THE FIRE SPRINKLER SYSTEM DESIGN WILL BE A DEFERRED SUBMITTAL AND WILL BE CONTRACTED THROUGH THE GENERAL CONTRACTOR.
- INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C2/C600.

For Review
06/27/2025 2:39:53 PM



REVISION DESCRIPTION



UTILITY PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

UTILITY PLAN

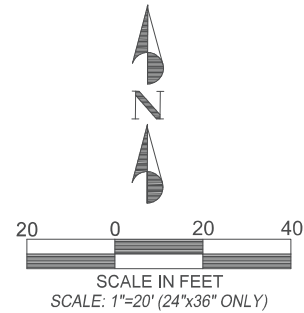
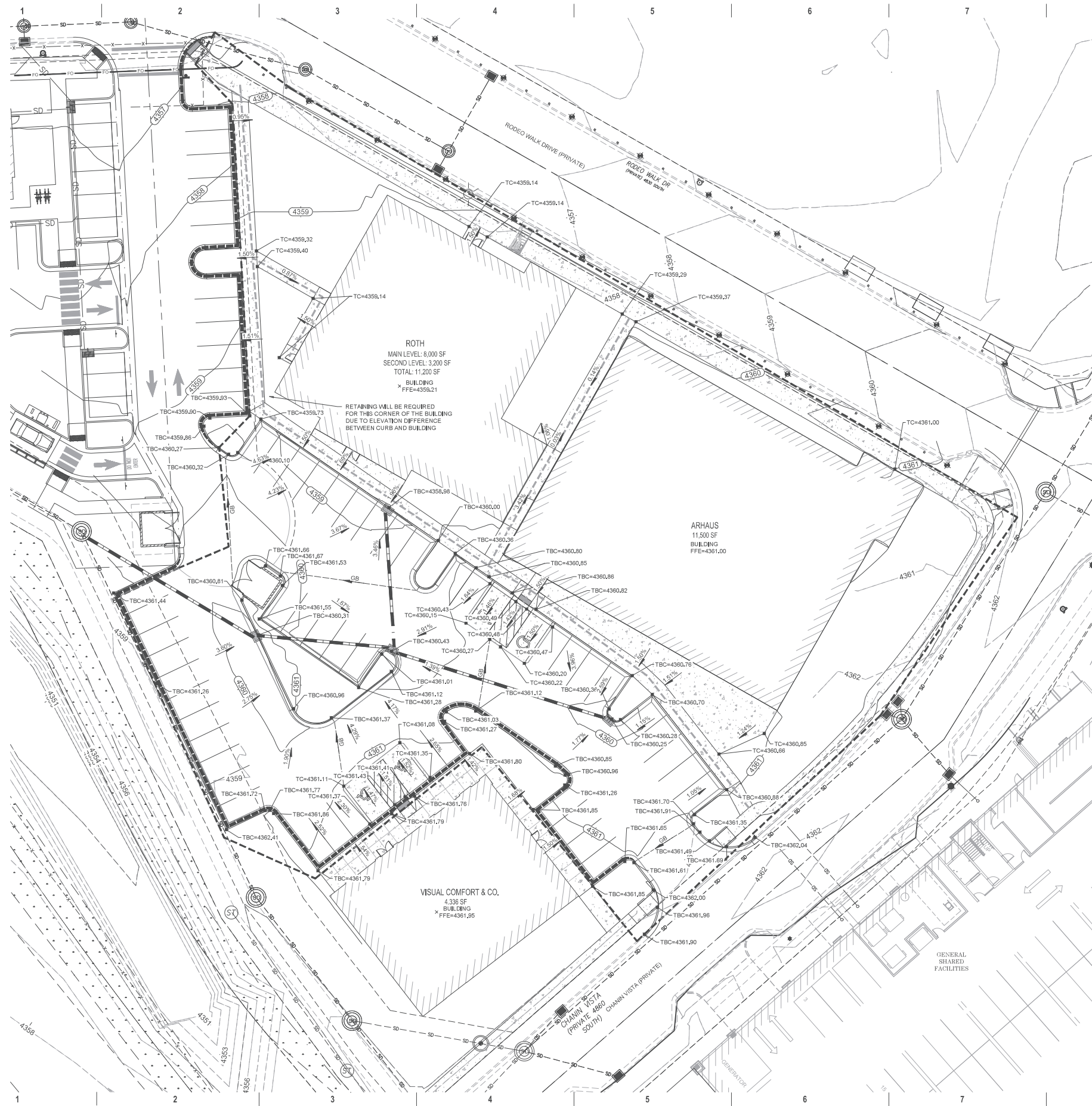
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C300

6/27/2025 2:38 PM

PLOTTED BY: LEEANN MILLER

P:\KMW\DEVELOPMENT BLOCK C - 1726\2200 - ROTH\CIVIL\C400 GRAD & DRAIN PLAN 1726-2200.DWG



LEGEND	
	PROPOSED CURB 7 GUTTER
	PROPOSED SPILL CURB
	EXISTING CURB & GUTTER
	PROPOSED EDGE OF ASPHALT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
FG	FINISH GRADE ELEVATION
FLC	FLOWLINE OF CURB ELEVATION
TBC	TOP BACK OF CURB ELEVATION
TA	TOP OF ASPHALT ELEVATION
TC	TOP OF CONCRETE ELEVATION
GR	CATCH BASIN GRATE ELEVATION
FL	FLOWLINE OF PIPE ELEVATION
C.B.	PROPOSED CATCH BASIN
(M.E.)	MATCH EXISTING ELEVATION
GB	GRADE BREAK
TW	TOP OF WALL ELEVATION

NOTES:

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7. ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.
8. PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED STORM DRAINS.
9. FIELD SURVEY EXISTING ELEVATIONS OF TOP OF CURBS AND EDGE OF PAVEMENT PRIOR TO STARTING CONSTRUCTION. ADJUST PROPOSED ELEVATIONS AS NEEDED TO PROVIDE DRAINAGE AND SLOPES THAT COMPLY WITH ADA AND CODE REQUIREMENTS. CONSULT WITH PROJECT ENGINEER AS NEEDED.
10. MEASURE SLOPES OF COMPACTED ROADBASE AND CONCRETE FORMS TO ENSURE THAT NO PAVEMENT LOW SPOTS ARE CREATED. MAKE ADJUSTMENTS AS NEEDED.
11. PROVIDE 4" WYE OR TEE AT INVERT OF ROOF DRAIN. COORDINATE SITE ROOF DRAIN INVERTS WITH BUILDING PLUMBING PRIOR TO BUILDING OR SITE CONSTRUCTION.
12. MEASURE SLOPES OF COMPACTED ROAD BASE AND CONCRETE FORMS FOR ALL ADA RAMP, PARKING AREAS AND ACCESSIBLE ROUTES AND ADJUST AS NEEDED TO MEET ALL REQUIREMENTS. DO NOT EXCEED THE FOLLOWING SLOPES:
ADA PARKING: 2% SLOPES
GUTTERS IN ADA ROUTES: 5% MAX.
CROSS SLOPE OF ALL SIDEWALKS AND ADA ROUTES: 2% MAX.
RUNNING SLOPE OF ADA RAMP: 8.33% MAX.
13. INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C2/C600

For Review
06/27/2025 2:39:53 PM



DATE

APPROVED



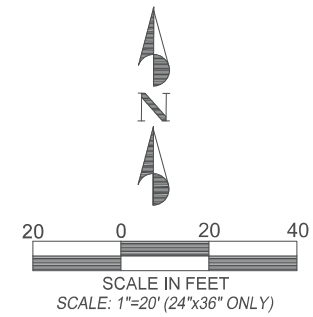
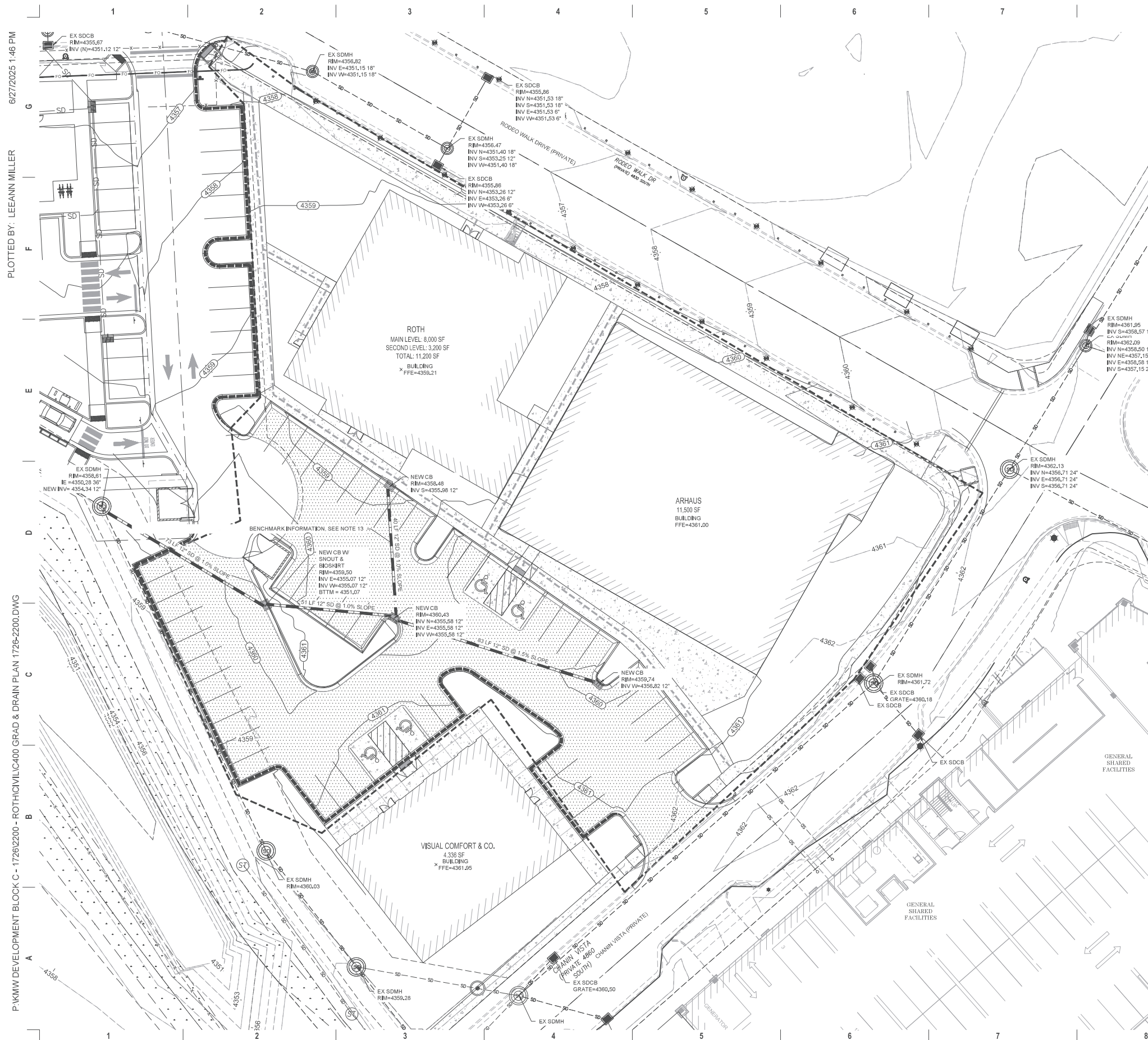
REVISION DESCRIPTION

GRADING PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

GRADING PLAN

PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C400



For Review
06/27/2025 2:39:54 PM



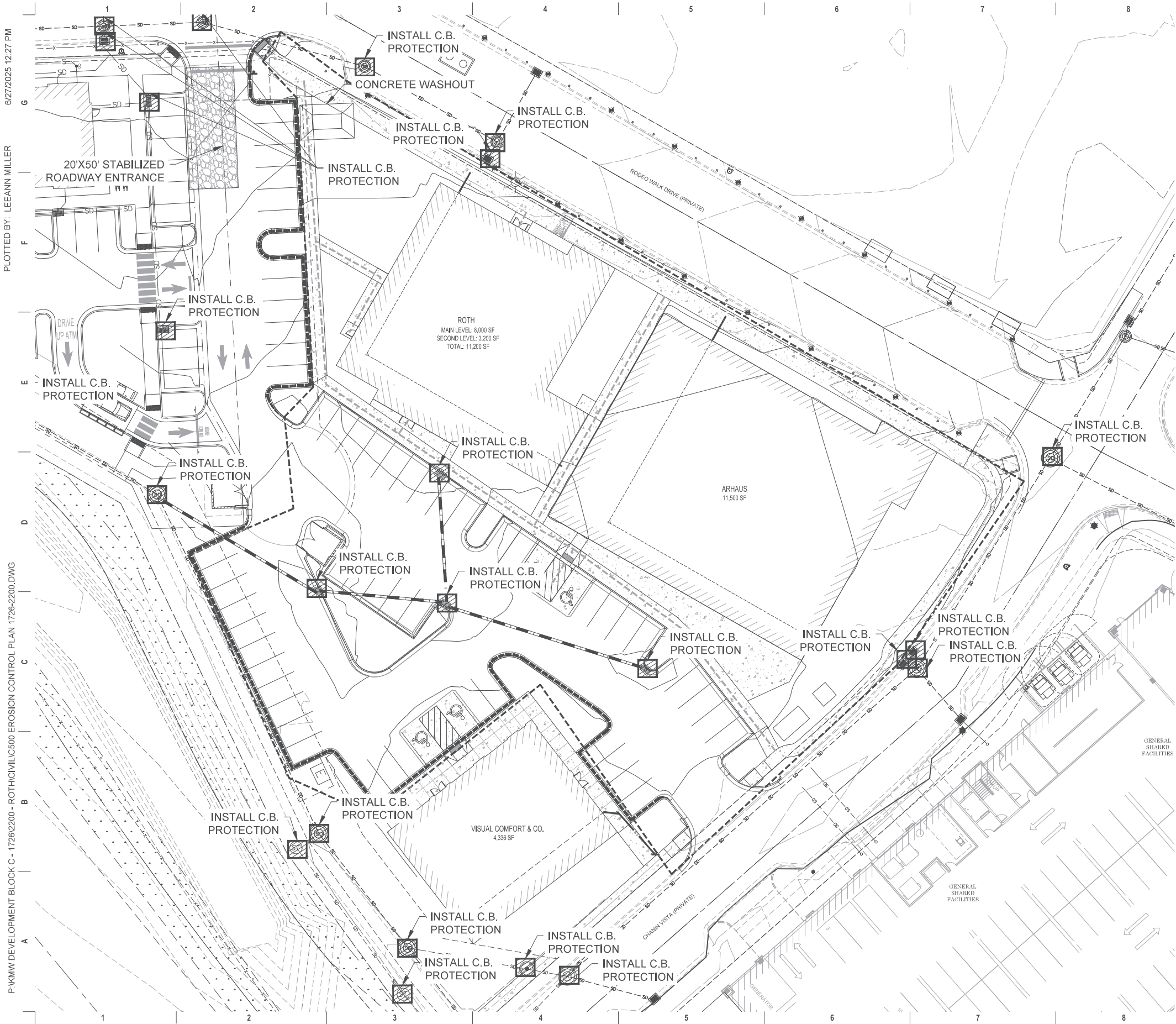
# REVISION DESCRIPTION DATE	APPROVED	
	APPROVED PLAN  CITY OF HOLLADAY UTAH PLANNING & SUBDIVISION DEPARTMENT 	

DRAINAGE PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

DRAINAGE PLAN

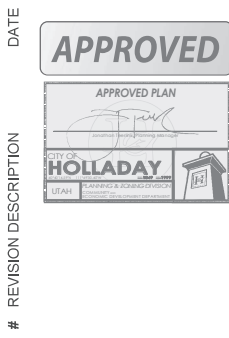
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C401



- EROSION CONTROL NOTES**
- THIS PLAN HAS BEEN PREPARED AS A GUIDE FOR THE INSTALLATION OF STORM WATER POLLUTION PREVENTION SYSTEMS. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL U.P.D.E.S. PERMIT REQUIREMENTS AND TO ADJUST PLAN AS NECESSARY TO MEET SITE SURFACE WATER PROTECTION OBJECTIVES AND CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), FILL OUT AND SUBMIT THE NOTICE OF INTENT (NOI), PAY ALL FEES AND OBTAIN ALL PERMITS REQUIRED.
 - TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION. PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS ARE CONSISTENT WITH THE UTAH STATE DIVISION OF AIR QUALITY STANDARDS. APPLY, PAY FOR AND OBTAIN FUGITIVE DUST PERMIT.
 - CONTRACTOR TO PROTECT ALL EXISTING AND NEW SUMPS AND CURB INLETS FROM SEDIMENT DURING CONSTRUCTION BY USING WATTLES, SILT SACK, OR ANY OTHER APPROVED EROSION CONTROL DEVICES.
 - CONTRACTOR SHALL INSTALL A CONSTRUCTION BARRIER AROUND & ALONG ENTIRE CONSTRUCTION LIMIT LINE & SHALL DESIGNATE ONE CONSTRUCTION ENTRANCE. PROVIDE ADDITIONAL BARRIERS & CONES TO ENSURE SAFETY NEAR & AROUND ALL CUTS, TRENCHES, HOLES & PITS.
 - AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ONSITE EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM SITE TRAFFIC. IN ADDITION TO REGULAR CONTRACTOR INSPECTIONS, STREETS SHALL BE SWEEPED UPON CITY AND OWNER REQUEST.
 - EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE, & LANDSCAPE DRAINING ON TO PAVEMENT IS COMPLETE.
 - ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED, A REPRESENTATIVE OF THE CITY OR COUNTY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
 - CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SWPPP SYSTEMS AT TIMES DESIGNATED ABOVE. CITY INSPECTOR MUST APPROVE THE REMOVAL OF ALL SWPPP DEVICES.
 - ALL SOLID WASTE (CONCRETE WASHOUT, TRASH, ETC.) IS TO BE CONTAINED ON SITE AND HAULED OFF BY CONTRACTOR.

For Review
06/27/2025 2:39:54 PM



EROSION CONTROL PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

EROSION CONTROL PLAN
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C500



(A1) STABILIZED ROADWAY ENTRANCE
N.T.S. (APWA DETAIL 126)



NARRATIVE:

-
1. SECURE MESH TO POSTS WITH WIRE STAPLES TO HOLD OR THE WELLS ON LOG RINGS.
- WITH ENGINEER'S APPROVAL, AN EXTRA STRENGTH FILTER FABRIC CAN BE USED IN AREA OF HIGH WINDS/STORMS.
2. ANCHOR STRAP (POST) TO
- FOR PROJECTS LARGER THAN 1 ACRE & PROJECTS LESS THAN 1 ACRE AND PART OF A COMMON PLAN OF DEVELOPMENT OR SALE

(D5) SILT FENCE
N.T.S. (APWA DETAIL 122)



NOTES:

- (D9) CONCRETE WASHOUT



PLAN
NOT TO SCALE

(D9) CONCRETE WASHOUT

STORM WATER POLLUTION PREVENTION PERMIT PROGRAM COMPLIANCE

CONTRACTOR IS REQUIRED TO PROVIDE ALL NECESSARY PORTIONS OF THE STORM WATER POLLUTION PREVENTION PERMITTING PROGRAM COMPLIANCE. THIS COMPLIANCE INCLUDES FEDERAL, STATE, AND LOCAL PERMITTING REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES, INSPECTION FEES, AND EXPENSES ASSOCIATED WITH THE PROGRAM COMPLIANCE. THE FOLLOWING ARE SUGGESTED ITEMS TO BE INCLUDED IN THE PERMITTING PROGRAM COMPLIANCE: (1) OBTAIN A MANAGEMENT PERMIT AND PLAN. THESE ITEMS ARE NOT AN INCLUSIVE OR EXHAUSTIVE LIST OF ALL ELEMENTS THAT MAY BE REQUIRED, CONTRACTOR SHALL DETERMINE THE EXTENTS OF PERMIT AND PROGRAM COMPLIANCE NEEDS, CONTRACTOR SHALL PROVIDE OWNER WITH PERMITS AND PROGRAM COMPLIANCE PRIOR TO COMMENCEMENT, (2) OBTAIN A PROJECT CLOSE-OUT AND PERMIT CLOSURE PRIOR TO PROJECT CLOSE-OUT AND FINAL PAYMENT.

USE THE SWPPP CGP TEMPLATE OR EQUAL FOUND AT
[HTTP://WWW.DEQ.UTAH.GOV/PERMITS/WATER/UPDES/STORMWATERCON.HTM](http://www.deq.utah.gov/permits/water/updes/stormwatercon.htm) OR
 EQUIVALENT AS LONG AS IT MEETS THE CRITERIA SET BY THE UPDES CONSTRUCTION
 GENERAL PERMIT (CGP) UTRC0000

PROVIDE A COPY OF THE NOI YOU COMPLETED TO OBTAIN A UPDES COMMON PLAN PERMIT UTRH00000. NOIs MAY BE COMPLETED ONLINE WITH THE STORM WATER PERMIT ISSUANCE SYSTEM AT [HTTPS://SECURE.UTAH.GOV/ACCOUNT/LOG-IN.HTML](https://secure.utah.gov/account/log-in.html)

WHERE REQUIRED BY STATE OR MUNICIPALITY THE DRAINAGE STUDY SHALL BE PROVIDED BY CONTRACTOR AND SHALL INCLUDE DOCUMENTATION OF HOW LOW-IMPACT DEVELOPMENT (LID) WILL BE IMPLEMENTED. IF LID CANNOT BE IMPLEMENTED DUE TO SITE CHARACTERISTICS, DOCUMENTATION SHALL BE PROVIDED AS TO WHY

MAINTENANCE PLAN PROVIDES GUIDANCE TO THE OWNER OF A PROPERTY TO PERFORM AND DOCUMENT ANNUAL INSPECTIONS, MAINTENANCE, AND HOUSEKEEPING PRACTICES. THE PURPOSE OF THE MAINTENANCE PLAN IS TO MAINTAIN THE STORM WATER SYSTEM AND ASSOCIATED POST CONSTRUCTION BMPs TO PREVENT POLLUTION FROM DISCHARGING TO STORM DRAIN SYSTEM.

WHEN A CONSTRUCTION SITE IS NEARING COMPLETION AND THE PERMITEE IS DESIROUS OF TERMINATING THEIR PERMIT WITH THE STATE OF UTAH FOR DISCHARGING WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES THE FOLLOWING STEPS SHOULD BE TAKEN:

- EROSION CONTROL DETAILS
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

EROSION CONTROL DETAILS

PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

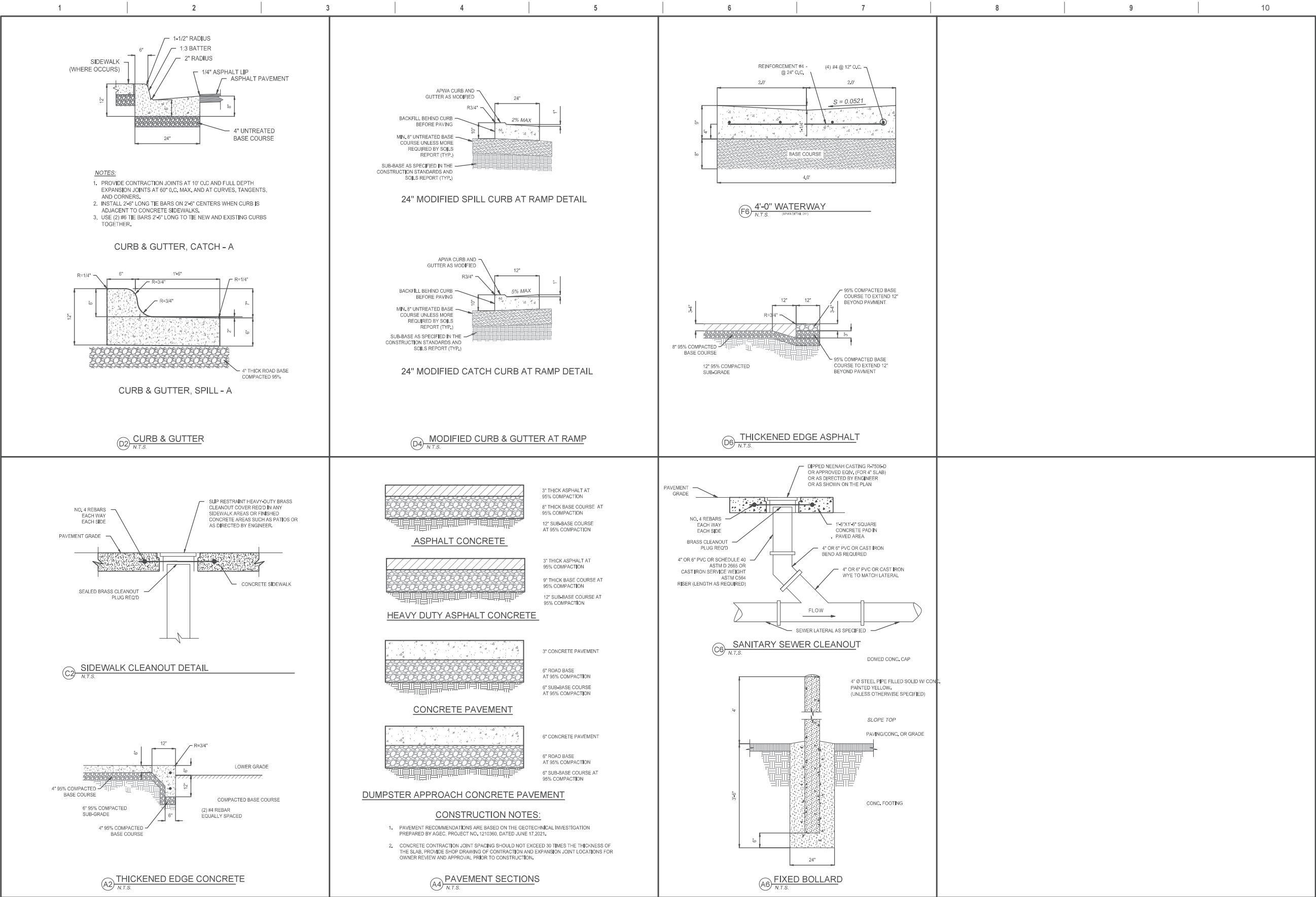
APPROVED

REVISION DESCRIPTION

6/27/2025 12:35 PM

PLOTTED BY: LEEANN MILLER

P:\KMW DEVELOPMENT BLOCK C - 17262200 - ROTHICVIL\C600 DETAILS 1726-2200.DWG



For Review
06/27/2025 2:39:54 PM



DATE **APPROVED**

APPROVED PLAN

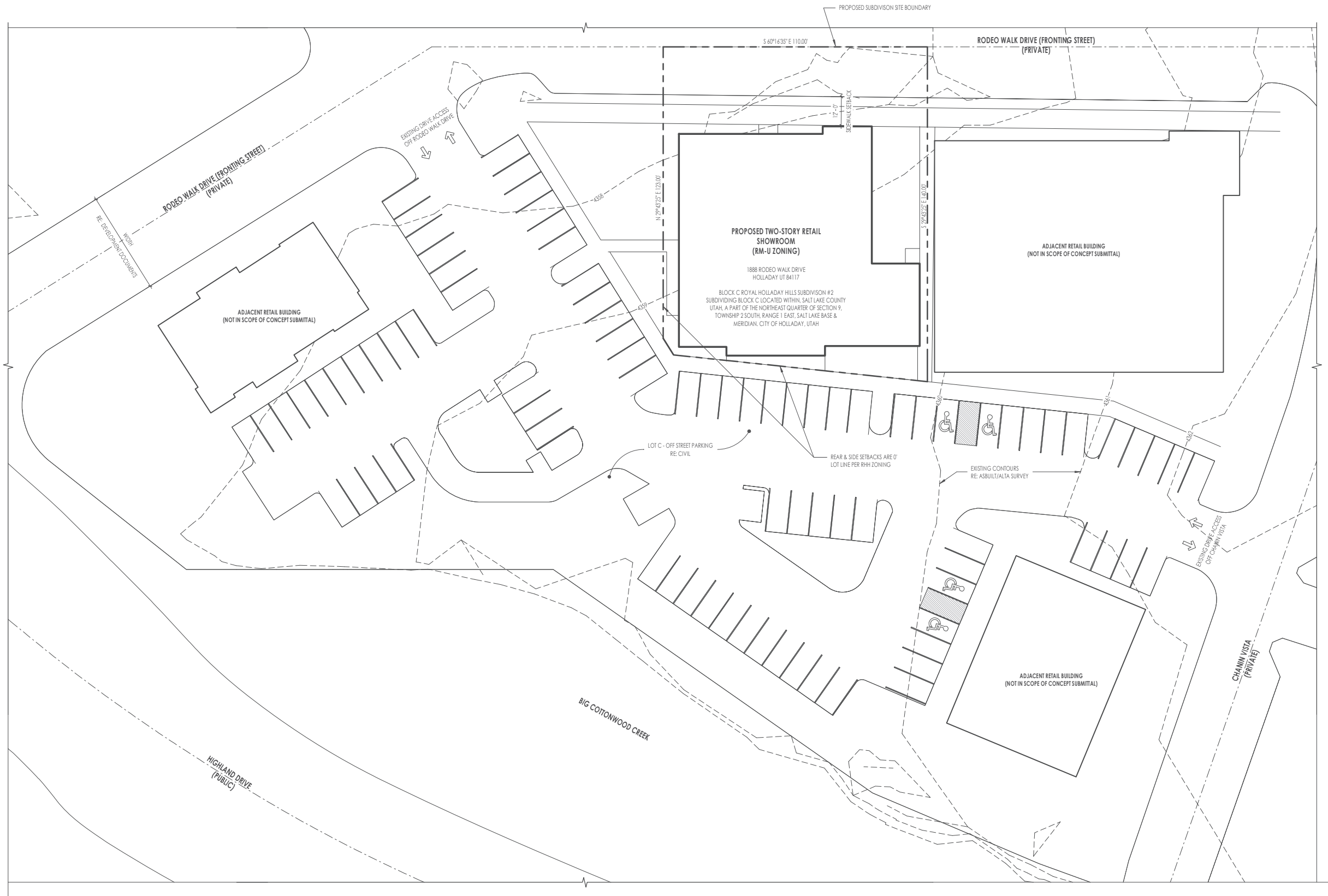
CITY OF **HOLLADAY**

UTAH

DETAILS
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

DETAILS
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C600



ARCHITECTURAL SITE PLAN NOTES:

- 1- FOR ALL LANDSCAPE INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO LANDSCAPE DRAWINGS (WOODBURY CORPORATION).
- 2- FOR ALL CIVIL SITE INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO CIVIL DRAWINGS (WOODBURY CORPORATION).
- 3- FOR PROPOSED SUBDIVISION SITE BOUNDARY INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO "ROYAL HOLLADAY HILLS BLOCK 2 LOT 2 AMENDED" SURVEY (JOHANSON SURVEYING).
- 4- FOR ALL EXISTING CONTOUR INFORMATION RELATE TO PROJECT SUBMISSION, REFER TO "ROYAL HOLLADAY HILLS BLOCK C AS BUILT & PLAT SURVEY (JOHANSON SURVEYING).



APPROVED



836 BRIARWOOD CT
LONGMONT, CO 80501
303.448.1777
www.cladad.com

ROTH LIVING - SLC

1888 RODEO WALK DR
HOLLADAY UT 84117

ISSUE DATE: 06/30/25
PHASE: SD
DRAWN BY: CJ
CHECKED BY: CC

CONCEPTUAL SITE PLAN SUBMISSION

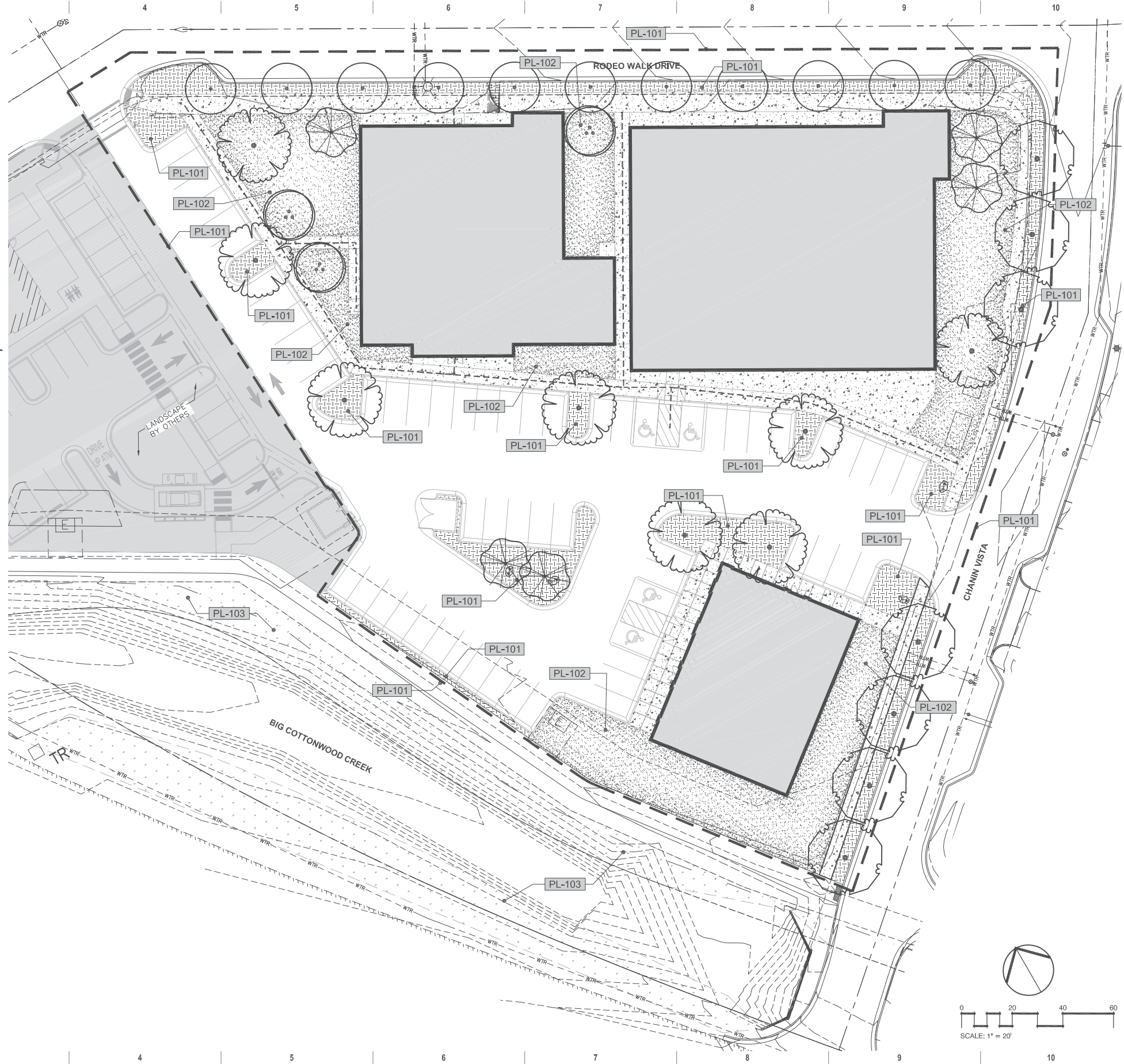
REVISIONS ISSUED		
#	DESCRIPTION	DATE

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SITE PLAN

A0.01

	1	2	3			
PLANT SCHEDULE BLOCK C						
	SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	TREES					
G		AMELANCHIER X 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B&B		8" MULTI-STEM	3
		EXISTING RODEO WALK DRIVE TREE	EXISTING			11
		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2"	CAL	8
	DECIDUOUS TREES					
F		ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3"	CAL.	7
	FLOWERING TREES					
		MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	2"	CAL	5
REFERENCE NOTES SCHEDULE BLOCK C						
	SYMBOL	DESCRIPTION	QTY	DETAIL		
	REFERENCE NOTES SCHEDULE					
E		PLANTING AREA (TYP.)				
		TURF AREA (TYP.)				
		EXISTING LANDSCAP TO REMAIN				
		KENTUCKY BLUEGRASS SOD	12,744 SF	/		
		PREMIUM DARK BROWN BARK MULCH - 3" MIN. DEPTH OVER DEWITT PRO-5 WEED BARRIER FABRIC	6,042 SF			
		GREY LANDSCAPE BOULDERS 2' - 4' DIAMETER; 1/3 @ 2' DIAMETER, 1/3 @ 3' DIAMETER AND 1/3 @ 4' DIAMETER - PER STAKER PARSONS	4			
D						
C						
B						
A						
	1	2	3			



For Review
06/27/2025 1:05:20 PM

WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770

DATE

#

REVISION DESCRIPTION

APPROVED

GROUNDCOVER PLAN

HOLLADAY HILLS - ROTH AND ARHAUS

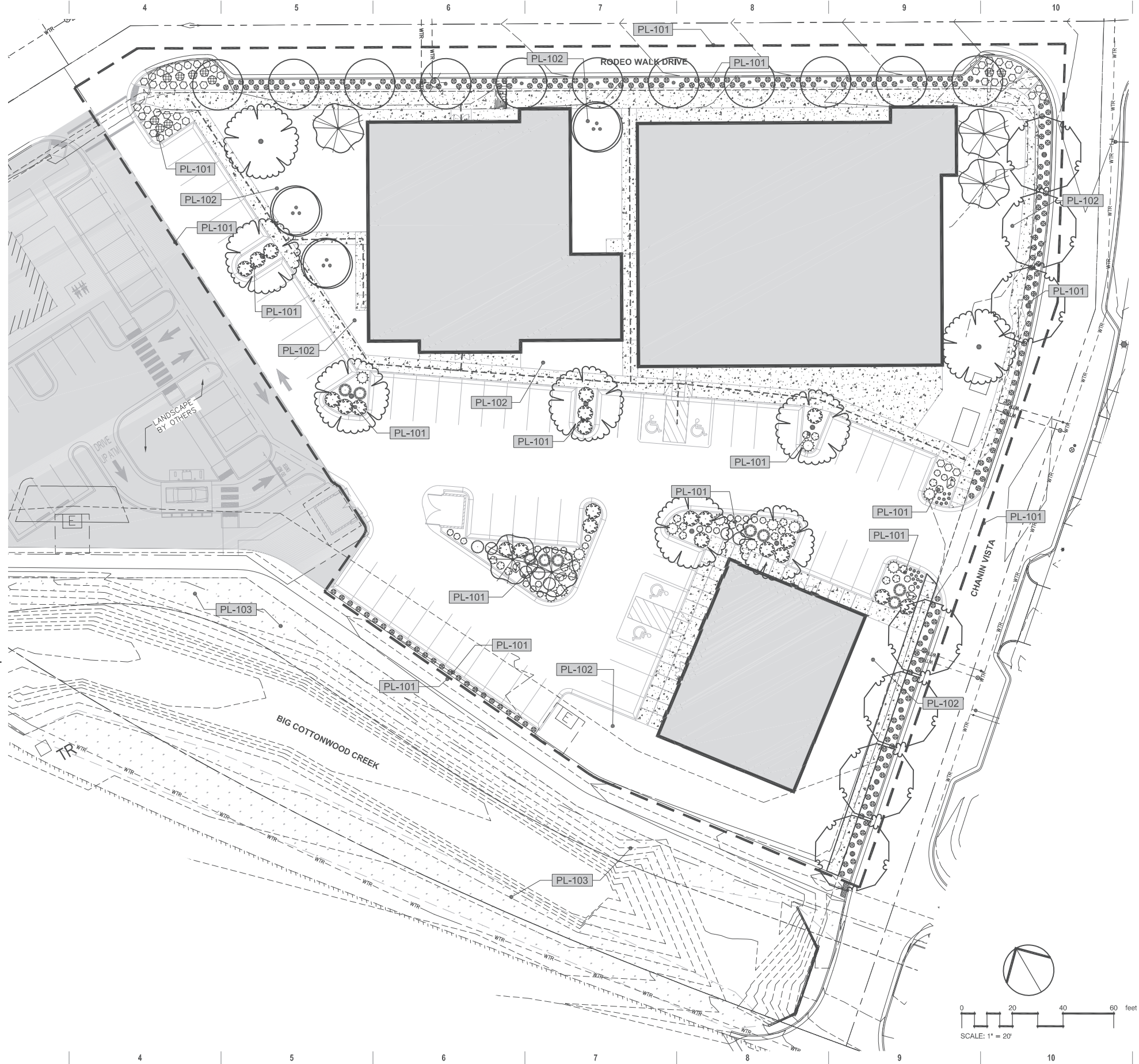
OWNER: K&W DEVELOPMENT LLC.
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

GROUNDCOVER PLAN

PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN

LG101

	1	2			
PLANT SCHEDULE BLOCK C					
	SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE QTY
G	TREES				
		AMELANCHIER X 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B&B		8' MULTI-STEM 3
		EXISTING RODEO WALK DRIVE TREE	EXISTING		11
F		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'™ / SHADEMASTER LOCUST	B & B	2" CAL	8
	DECIDUOUS TREES				
E		ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3" CAL.	7
	FLOWERING TREES				
D		MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	2" CAL	5
	SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
C	SHRUBS				
		BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	5 GAL		44
B		CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	5 GAL		25
		EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL		7
A		JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER	5 GAL		13
		PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'™ / DWARF NINEBARK	5 GAL		21
		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		22
		ROSA X 'KNOCKOUT' / KNOCKOUT ROSE (WHITE)	5 GAL		10
	ANNUALS/PERENNIALS				
		HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL		19
	GRASSES				
		CALAMAGROSTIS X ACUTIFLORA 'OVERDAM' / OVERDAM FEATHER REED GRASS	1 GAL		264
		MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS	1 GAL		9
REFERENCE NOTES SCHEDULE BLOCK C					
	SYMBOL	DESCRIPTION	QTY	DETAIL	
C	REFERENCE NOTES SCHEDULE				
	PL-101	PLANTING AREA (TYP.)			
B	PL-102	TURF AREA (TYP.)			
	PL-103	EXISTING LANDSCAP TO REMAIN			
A		KENTUCKY BLUEGRASS SOD	12,744 SF	/	
		PREMIUM DARK BROWN BARK MULCH - 3" MIN. DEPTH OVER DEWITT PRO-5 WEED BARRIER FABRIC	6,042 SF		
		GREY LANDSCAPE BOULDERS 2' - 4' DIAMETER; 1/3 @ 2' DIAMETER, 1/3 @ 3' DIAMETER AND 1/3 @ 4' DIAMETER - PER STAKER PARSONS	4		
	1	2			



For Review
06/27/2025 1:05:48 PM

WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770

DATE

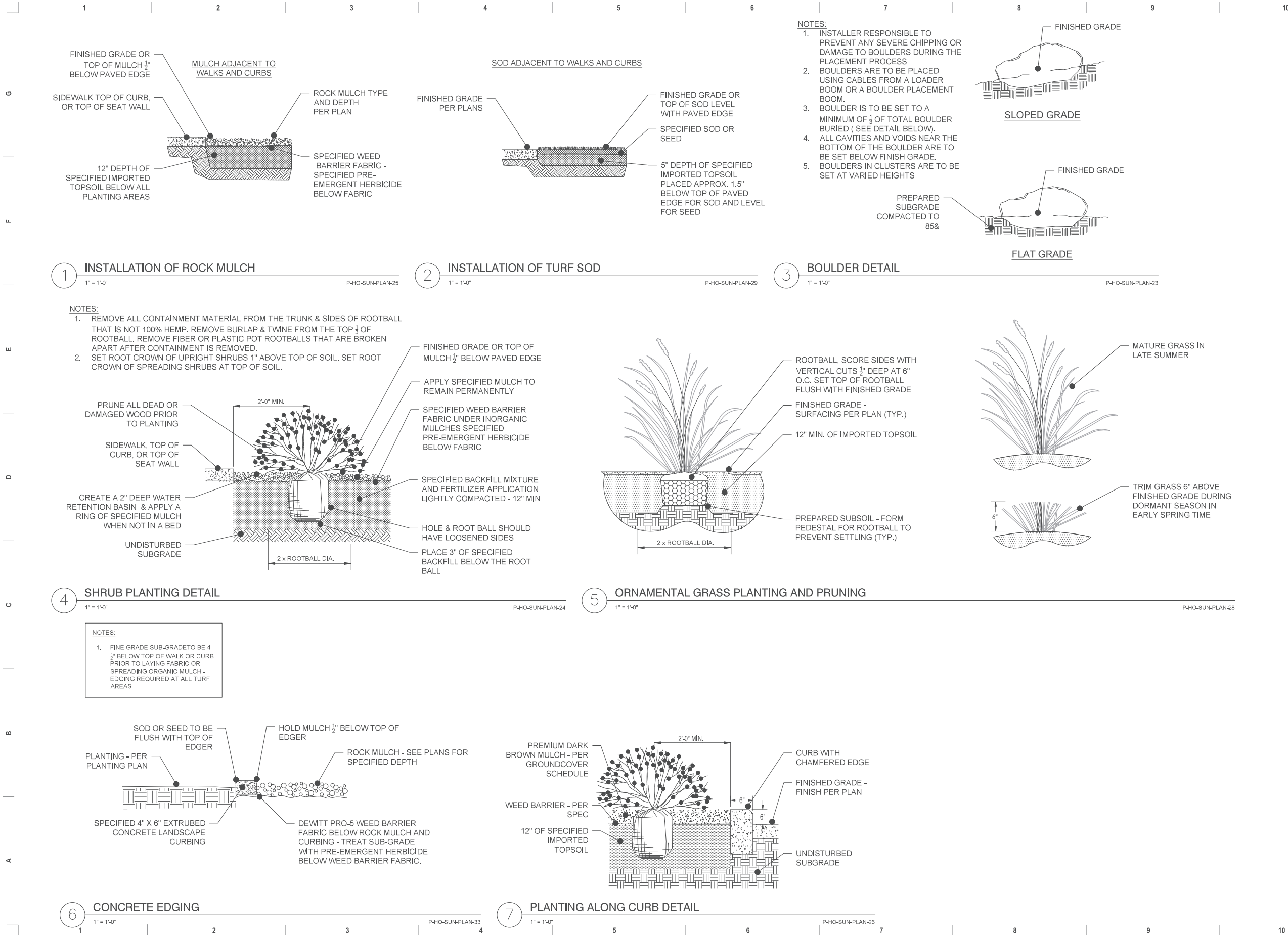
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REVISION DESCRIPTION

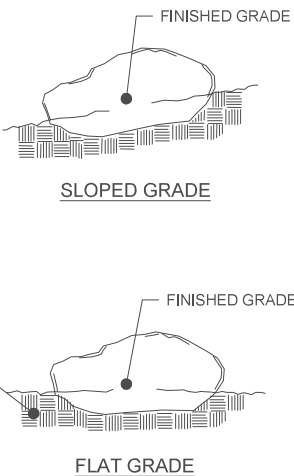
APPROVED

GROUNDCOVER PLAN
HOLLADAY HILLS - BROTH AND ARHAUS
OWNER: KMW DEVELOPMENT LLC
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

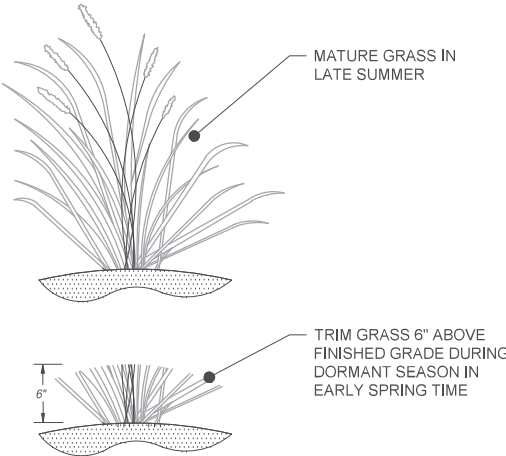
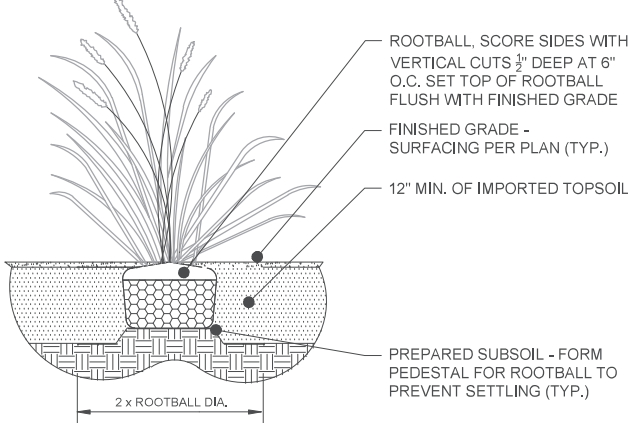
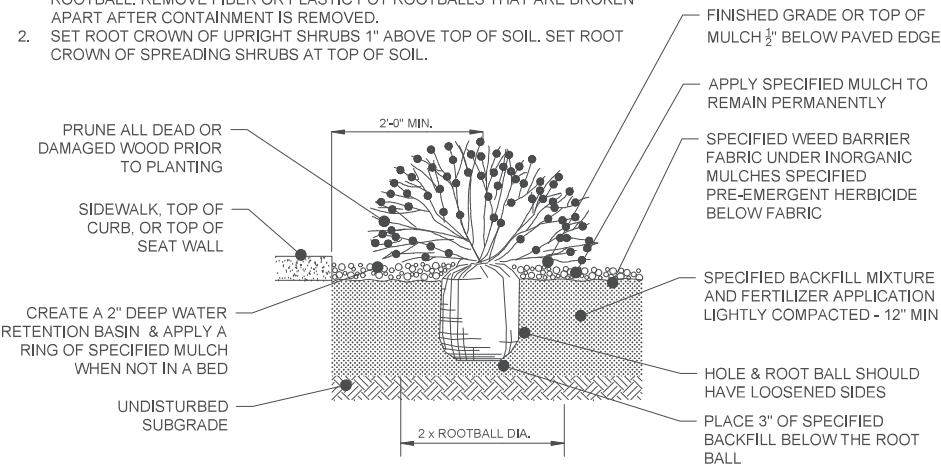
GROUNDCOVER PLAN
PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN
LP101



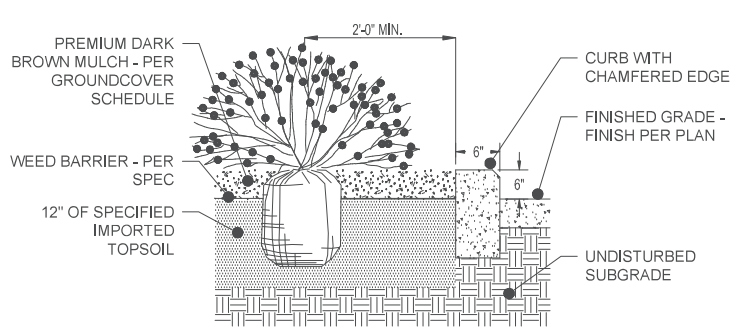
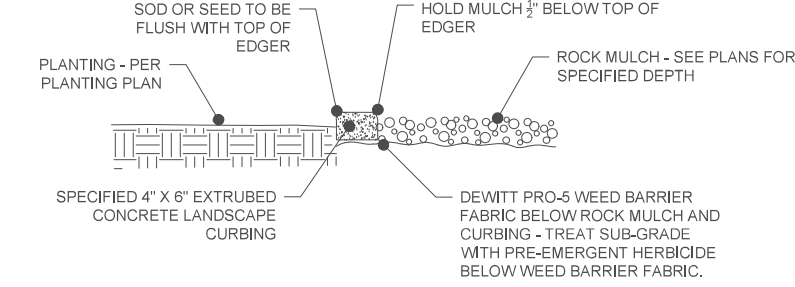
- NOTES:
1. INSTALLER RESPONSIBLE TO PREVENT ANY SEVERE CHIPPING OR DAMAGE TO BOULDERS DURING THE PLACEMENT PROCESS
 2. BOULDERS ARE TO BE PLACED USING CABLES FROM A LOADER BOOM OR A BOULDER PLACEMENT BOOM.
 3. BOULDER IS TO BE SET TO A MINIMUM OF $\frac{1}{3}$ OF TOTAL BOULDER BURIED (SEE DETAIL BELOW).
 4. ALL CAVITIES AND VOIDS NEAR THE BOTTOM OF THE BOULDER ARE TO BE SET BELOW FINISH GRADE.
 5. BOULDERS IN CLUSTERS ARE TO BE SET AT VARIED HEIGHTS



- NOTES:
1. REMOVE ALL CONTAINMENT MATERIAL FROM THE TRUNK & SIDES OF ROOTBALL THAT IS NOT 100% HEMP. REMOVE BURLAP & TWINE FROM THE TOP $\frac{1}{3}$ OF ROOTBALL. REMOVE FIBER OR PLASTIC POT ROOTBALLS THAT ARE BROKEN APART AFTER CONTAINMENT IS REMOVED.
 2. SET ROOT CROWN OF UPRIGHT SHRUBS 1" ABOVE TOP OF SOIL. SET ROOT CROWN OF SPREADING SHRUBS AT TOP OF SOIL.



- NOTES:
1. FINE GRADE SUB-GRADE TO BE 4 $\frac{1}{2}$ " BELOW TOP OF WALK OR CURB PRIOR TO LAYING FABRIC OR SPREADING ORGANIC MULCH - EDGING REQUIRED AT ALL TURF AREAS



For Review
06/27/2025 1:36:24 PM



#	REVISION DESCRIPTION	DATE

LANDSCAPE DETAILS
HOLLADAY HILLS - ROTH AND ARHAUS
OWNER: KMW DEVELOPMENT LLC
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

LANDSCAPE DETAILS	
PROJECT #:	1726
DATE:	6/27/2025
DRAWN BY:	BP
SCALE:	PER PLAN
LP501	

G

F

E

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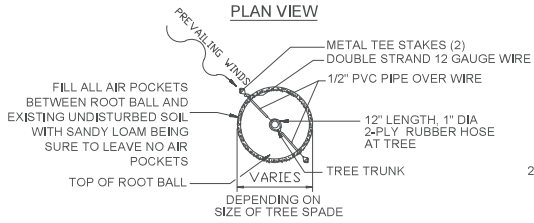
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9

10

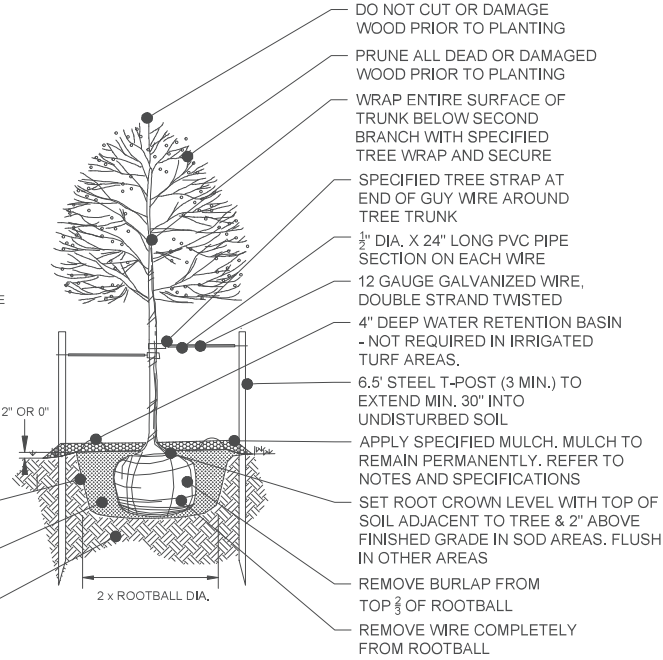
- NOTES:
1. INSTALL TREE IN HOLE, ADD 1ST LAYER OF COMPACTED SOIL MIX. CUT AND REMOVE ALL BURLAP, TWINE FROM TOP 1/3 OF BALL. ADD SECOND LAYER OF SOIL MIX.
 2. SOIL MIX FOR ALL TREE SHALL BE 30% EXISTING, SOIL EXCAVATED FROM PLANT HOLE, 30% LOAMY TOPSOIL, 20% CLEAN COARSE SAND, 20% PEAT MOSS.
 3. PLACE AGRIFORM TABLETS IN EACH PLANTING PIT, BURY AT 1/3 DEPTH OF ROOT BALL. PLACE 3 TABLETS IN EACH PIT, NO CLOSER THAN 18 INCHES APART.
 4. DIAMETER OF TREE RING IN LAWN AREAS IS BE 4'-0".
 5. STAKING NOT REQUIRED, ONLY THROUGH CERTAIN SITE CONDITIONS.
 6. SHADE TREES: LOWEST LIMBS MIN. 6'-8" FROM ROOT CROWN AFTER TWO YEARS. NO LIMB SHALL BE WITHIN 7' OF PAVEMENT.



PLANT PIT WITH ROUGHENED, ANGLED SIDES

SPECIFIED BACKFILL MIXTURE AND FERTILIZER APPLICATION

UNDISTURBED SUBGRADE

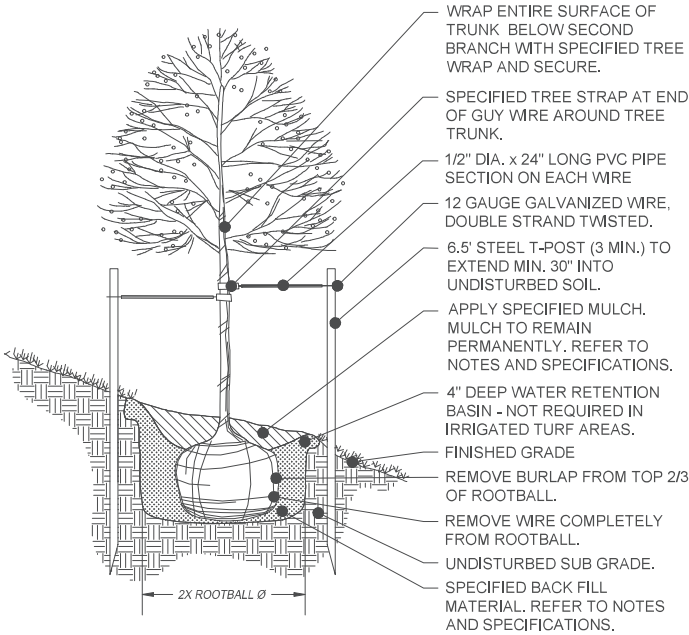


1 DECIDUOUS TREE PLANTING DETAIL

1" = 1'-0"

P-410-SUN-PLAN-31

- NOTES:
1. SEE TREE PLANTING DETAIL FOR ADDITIONAL REQUIREMENTS.
 2. CUT BACK SLOPE TO PROVIDE FLAT SURFACE FOR PLANTING.
 3. INSTALL TREE IN HOLE, ADD 1ST LAYER OF COMPACTED SOIL MIX. CUT AND REMOVE ALL BURLAP, TWINE FROM TOP 1/3 OF BALL, ADD SECOND LAYER OF SOIL MIX.
 4. SOIL MIX FOR ALL TREE SHALL BE 30% EXISTING, SOIL EXCAVATED FROM PLANT HOLE, 30% LOAMY TOPSOIL, 20% CLEAN COARSE SAND, 20% PEAT MOSS.
 5. PLACE AGRIFORM TABLETS IN EACH PLANTING PIT, BURY AT 1/3 DEPTH OF ROOT BALL. PLACE 3 TABLETS IN EACH PIT, NO CLOSER THAN 18 INCHES APART.
 6. DIAMETER OF TREE RING IN LAWN AREAS IS BE 4'-0".
 7. STAKING NOT REQUIRED, ONLY THROUGH CERTAIN SITE CONDITIONS.
 8. SHADE TREES: LOWEST LIMBS MIN. 6'-8" FROM ROOT CROWN AFTER TWO YEARS. NO LIMB SHALL BE WITHIN 7' OF PAVEMENT.



2 TREE PLANTING ON SLOPE

1" = 1'-0"

P-410-SUN-PLAN-46

For Review
06/27/2025 1:06:49 PM



DATE

REVISION DESCRIPTION

LANDSCAPE DETAILS
HOLLADAY HILLS - ROTH AND ARHAUS
OWNER: KMW DEVELOPMENT LLC,
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

LANDSCAPE
DETAILS

PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN

LP502

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RDL ARHAUS
ARCHITECTS

ARHAUS HOLLADAY HILLS, UT



08.28.2025

01

DESIGN

HOLLADAY HILLS



SALT LAKE CITY, UT - CORNER ENTRY: CHANIN VISTA & RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - CORNER ENTRY: CHANIN VISTA & RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON CHANIN VISTA

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON CHANIN VISTA

HOLLADAY HILLS



SALT LAKE CITY, UT - BACK OF BUILDING LOOKING NORTHEAST

HOLLADAY HILLS

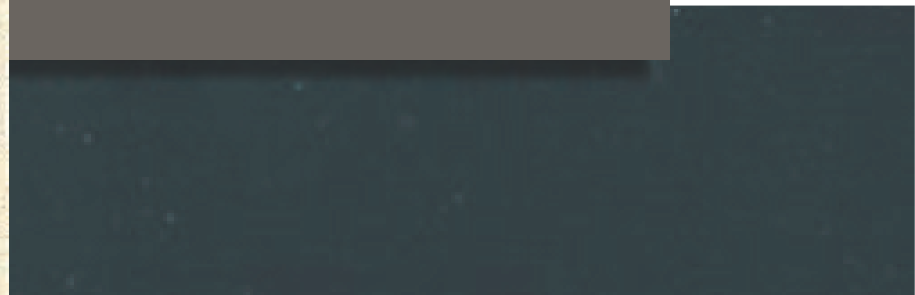
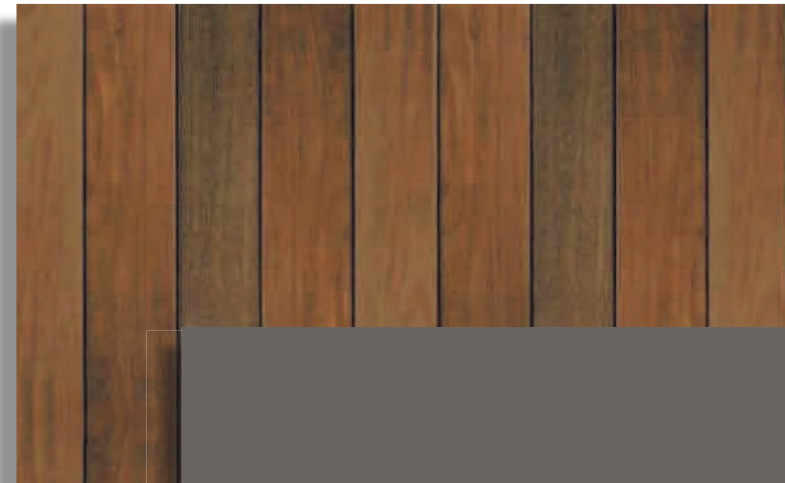
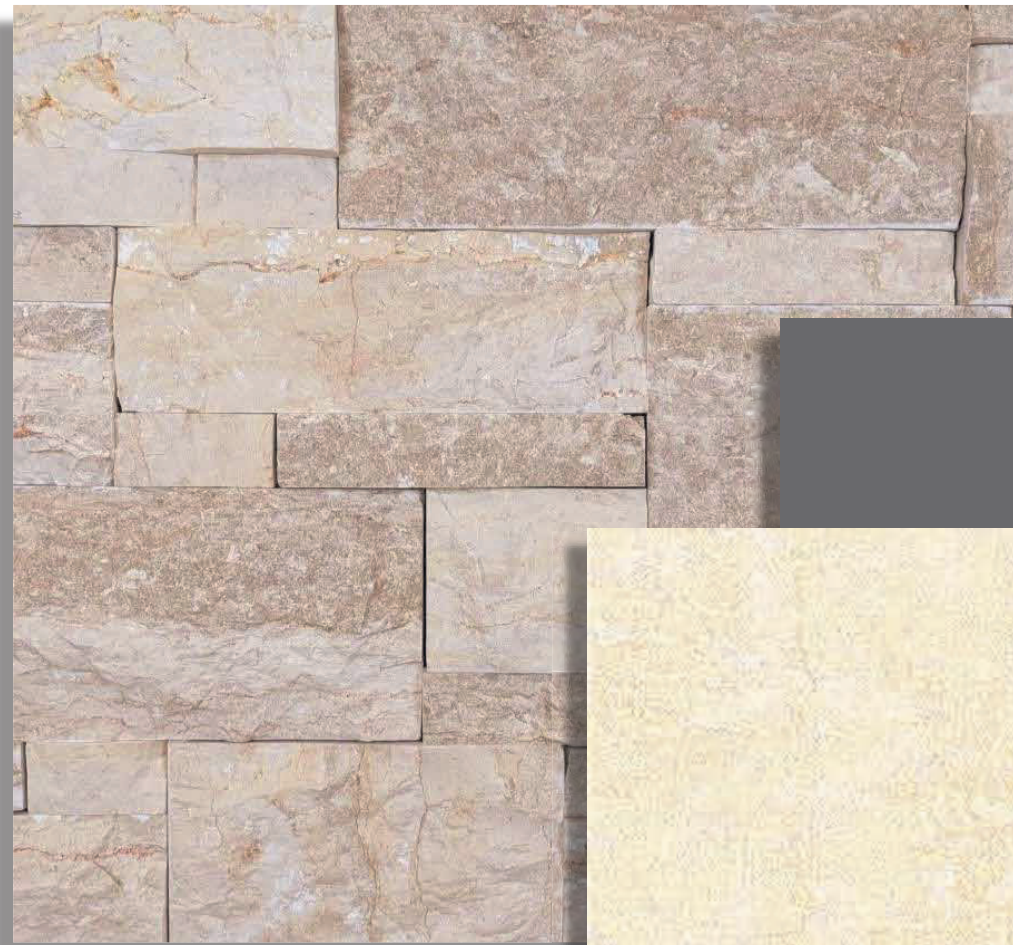


SALT LAKE CITY, UT - BACK OF BUILDING LOOKING NORTHEAST

02

MATERIALS

MATERIALS



HOLLADAY HILLS
OVERALL EXTERIOR PALETTE



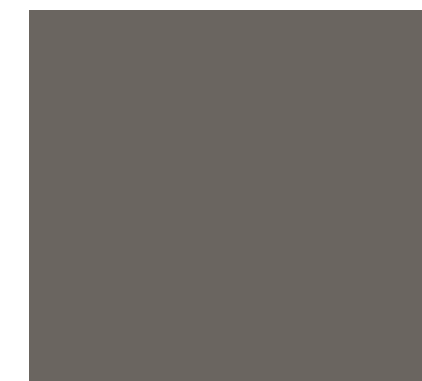
HOLLADAY HILLS
MATERIAL CALLOUTS: CORNER ENTRY OF BUILDING



1. ALUMINUM CURTIAN WALL
COLOR: BLACK



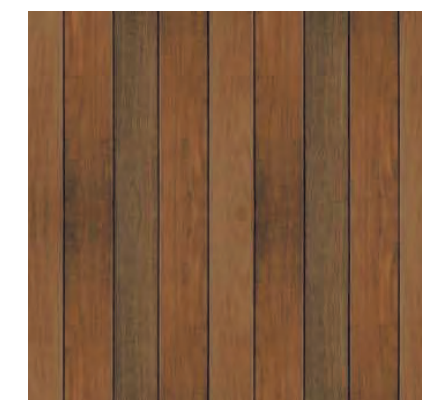
2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



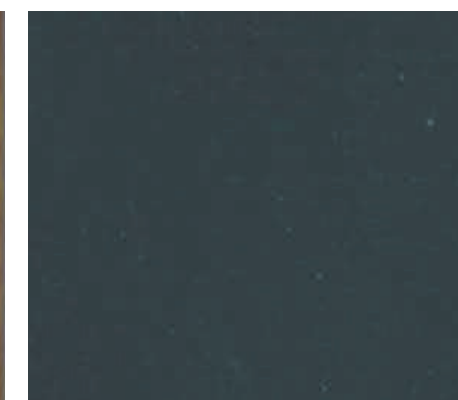
3. ACM PERIMETER TRIM
MANF.: ALUCOBOND
COLOR: STATUARY
BRONZE



4. STUCCO
VASARI ALABASTER – 80%
WHITE SAND – 20%



5. WOOD LOOK
MANF.: LONGBOARD
COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



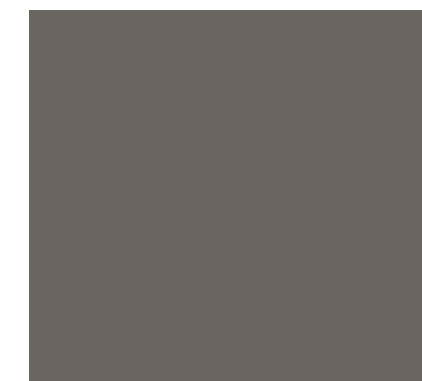
6. SPANDREL GLASS
COLOR: HARMONY GRAY



1. ALUMINUM CURTIAN WALL
COLOR: BLACK



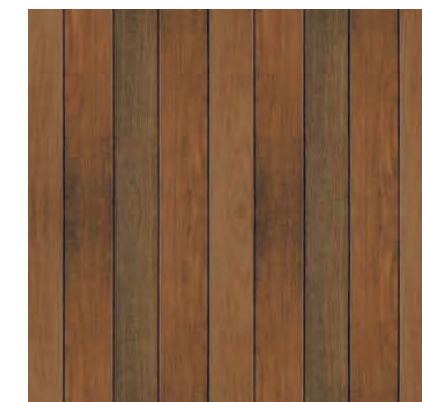
2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



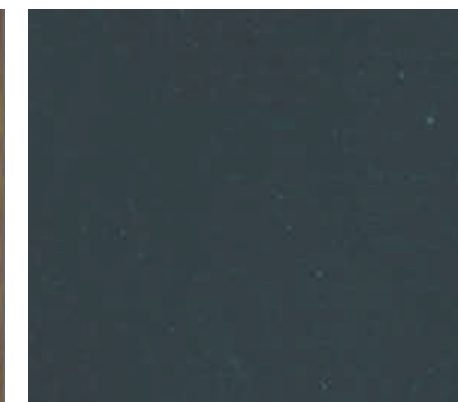
3. ACM PERIMETER TRIM
MANF.: ALUCOBOND
COLOR: STATUARY
BRONZE



4. STUCCO
VASARI ALABASTER – 80%
WHITE SAND – 20%



5. WOOD LOOK
MANF.: LONGBOARD
COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY

HOLLADAY HILLS
MATERIAL CALLOUTS: SIDE OF BUILDING ON RODEO WALK DRIVE

MATERIAL SCHEDULE	
ACM-1	ALUMINUM COMPOSITE METAL PANEL /INTEGRAL COPING - PROJECTION/CANOPY
GL-1	FRAME COLOR: BLACK GLASS: (VISION OR SPANDREL (SHOWN W/ GREY HATCH))
GL-2	GLASS SET IN GUARDRAIL SYSTEM
MTL-1	
STC-1	STUCCO, COLOR: TBD
STN-1	WISCONSIN STONE VENEER
WD-1	LONGBOARD WOOD LOOK METAL PANELS

SIGNAGE GENERAL NOTES

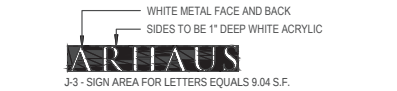
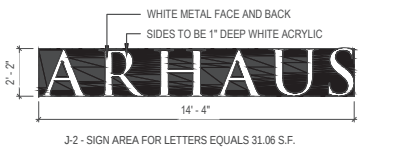
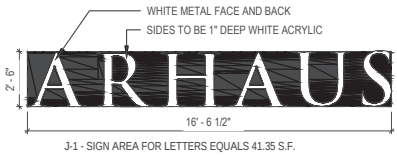
- SIGNAGE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND PUBLIC LIABILITY INSURANCE AGAINST ALL DAMAGE SUFFERED OR DONE TO AND ALL PERSONS AND/OR PROPERTY WHILE ENGAGED IN THE CONSTRUCTION OR ERECTION OF THE SIGNS IN THE AMOUNT OF \$1,000,000.00 PER OCCURRENCE.
- SIGNAGE CONTRACTOR SHALL SUBMIT DETAILS FOR ATTACHMENT TO THE WALL STRUCTURE & CANOPY TO THE ARCHITECT FOR REVIEW AND APPROVAL BEFORE FABRICATION BEGINS. SIGN CONTRACTOR IS RESPONSIBLE FOR ATTACHMENT ENGINEERING AND SHALL BE IN THE STATE OF CALIFORNIA.
- LL SIGNAGE DESIGN IS SUBJECT TO APPROVAL BY THE LANDLORD OR ITS REPRESENTATIVE AND BY THE ARCHITECT. SIGNAGE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT COLOR SAMPLES OF ALUMINUM RETURNS ALONG WITH SHOP DRAWINGS FOR APPROVAL BY ARCHITECT AND LANDLORD.
- SIGN CONSTRUCTION SHALL NOT START UNTIL APPROVAL HAS BEEN GIVEN.
- GENERAL CONTRACTOR SHALL PROVIDE SOLID BLOCKING BEHIND ALL SIGNS AND BLADE SIGNS.
- COORDINATE W/ SIGNAGE INSTALLER AND FABRICATOR.
- SIGNAGE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND FEES REQUIRED BY AUTHORITY HAVING JURISDICTION. SIGNAGE SHALL BE SUBMITTED AND PERMITTED SEPARATELY, PRIOR TO ITS INSTALLATION.
- SIGNAGE TO BE SUBMITTED UNDER DIFFERENT PACKAGE.

SIGNAGE SPECIFICATION: INDIVIDUAL LETTER COMPONENTS INDIVIDUALLY ILLUMINATED SHALL BE CONSTRUCTED AND INSTALLED AS FOLLOWS:

FRONT-LIT: CHANNEL LETTERS

- ACRYLIC #2447V (3/16") THICK FRONT FACES TO BE HELD IN PLACE WITH 1" TRIM CAP PAINTED BLACK. (SEE NOTE.)
- WHITE FACES TO RECEIVE BLACK PERFORATED FILM - COORDINATE WITH VENDOR.
- LETTER RETURNS (0.40 GAUGE) PAINTED BLACK. (SEE NOTE) LETTER RETURNS RIVETED TO 0.063 GAUGE ALUMINUM LETTER BACKS. 3" DEEP RETURNS.
- WHITE FINISH ON THE INSIDE OF THE LETTERS FOR BETTER REFLECTION OF THE LIGHTING.
- INTERNALLY ILLUMINATED WITH LEDs.
- POWER SUPPLIES TO BE LOCATED IN WIREWAY.
- LETTERS TO MOUNT TO BUILDING WITH 1/8" ALUMINUM FINIS WITH BREAK FORMED TABS AT BOTTOMS. MOUNTING TABS ARE TO BE WELDED 2"x4"x1/2" WALL ALUMINUM SUPPORT TUBE. TUBE TO HAVE 4"x6"x1" ALUMINUM SPACERS WELDED TO THE BOTTOM.
- SUPPORTS AND WIREWAY TO BE PAINTED (TO MATCH SW 6591 BLACK MAGIC).
- SIGNS MOUNTED USING A 1" THICK X 4" ALUMINUM PLATE WITH 1/2" X 6" ALUMINUM ALL THREAD PRIMARY ELECTRICAL SERVICE (120V) TO BE BROUGHT TO THE SIGN LOCATION PRIOR TO INSTALLATION.
- LETTERS TO BE INSTALLED, GROUNDED AND BONDED ACCORDING TO LOCAL AND UL REGULATIONS. INSTALLATION PER ARTICLE 600 OF THE NEC CODE.
- LETTERS TO BE UL.

SIGNAGE DETAILS: ALL SIGNAGE WILL BE A DEFERRED SUBMITTAL



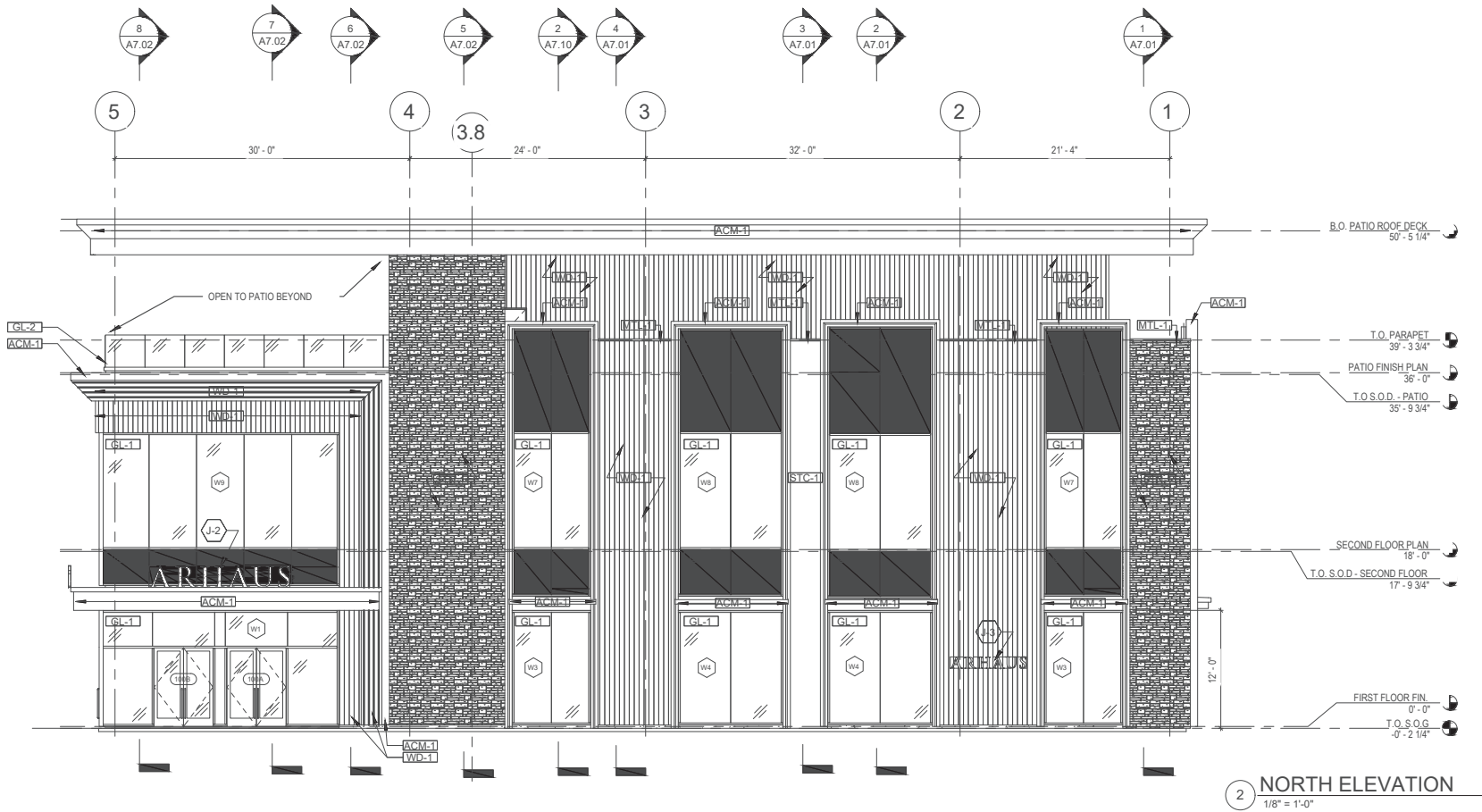
ILLUMINATED SIGNAGE DETAILS (EXTERIOR)

SCALE: 1/4"=1'-0"

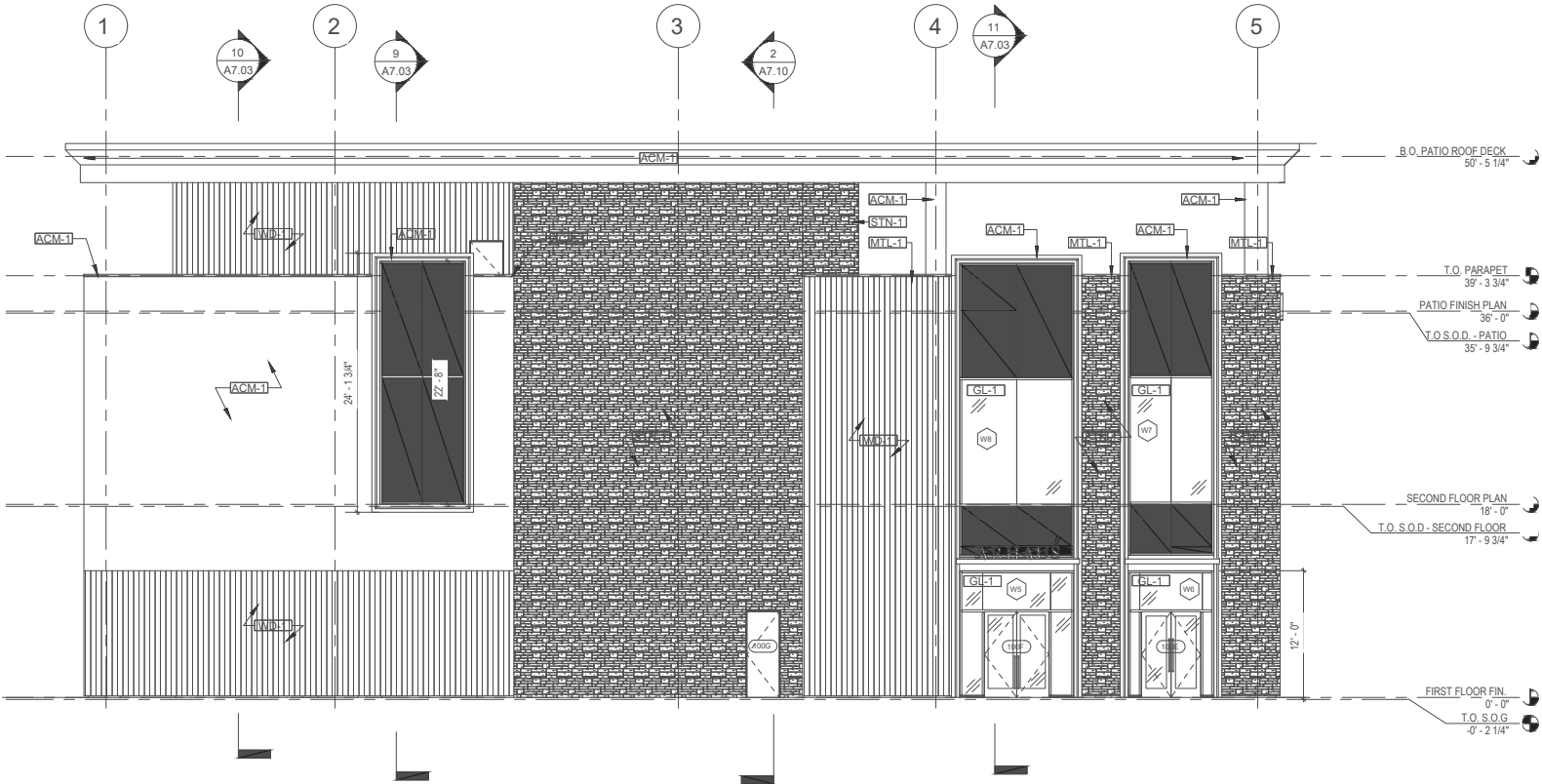
ARHAUS SIGNAGE AREA (EXTERIOR)

- J-1 (1) 30" ILLUMINATED "ARHAUS" - WALL MOUNT ± 41.35 S.F.
- J-2 (2) 26" ILLUMINATED "ARHAUS" - CANOPY/WALL MOUNT ± 62.12 S.F.
- J-3 (2) 14" ILLUMINATED "ARHAUS" - CANOPY/WALL MOUNT ± 18.08 S.F.

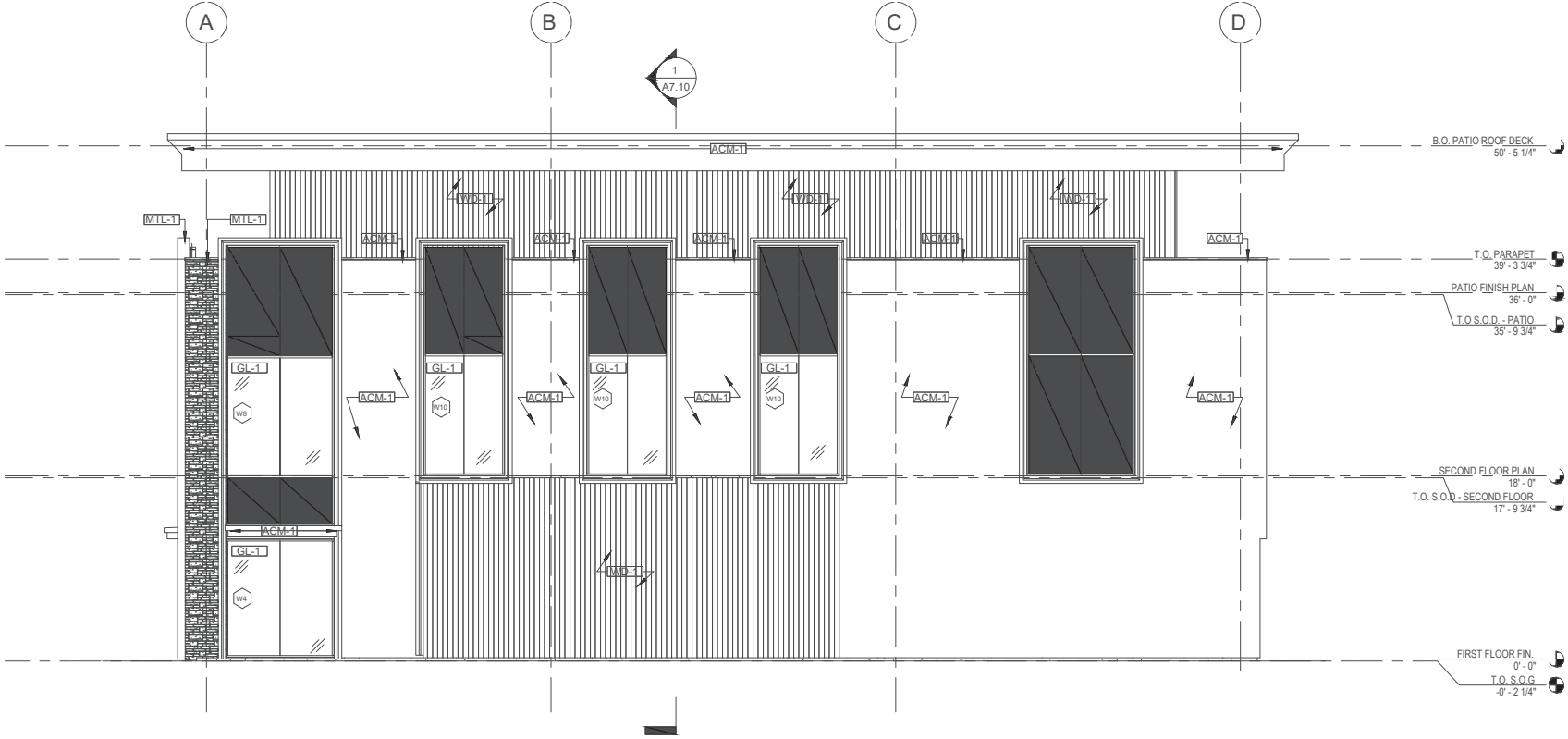
TOTAL EXTERIOR ILLUMINATED SIGNAGE AREA ± 121.55 S.F.



MATERIAL SCHEDULE	
ACM-1	ALUMINUM COMPOSITE METAL PANEL, INTEGRAL COPING - PROJECTION/CANOPY
GL-1	FRAME COLOR: BLACK GLASS: (VISION OR SPANDREL (SHOWN W/ GREY HATCH))
GL-2	GLASS SET IN GUARDRAIL SYSTEM
MTL-1	
STC-1	STUCCO, COLOR: TBD
STN-1	WISCONSIN STONE VENEER
WD-1	LONGBOARD WOOD LOOK METAL PANELS



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"