

Millcreek City Hall
1330 E Chambers Ave
Millcreek, Utah 84106
millcreekut.gov



Planning & Zoning
(801) 214-2700
planner@millcreekut.gov

CU-25-007

Staff Report

Meeting Date: 9/17/2025

Applicant: Kevin Flynn

Re: Conditional Use Permit

Property Address: 3474-3476 S 2300 E

Zone: C-1, Historic

Prepared By: Sean Murray

Scope of Decision: **Administrative.** This is an administrative matter, to be decided by the Millcreek Planning Commission upon receiving a recommendation from the Community Council(s) and Historic Preservation Commission. Your recommendation should be narrow in scope and should primarily be made on the basis of state statute and adopted local zoning land use development codes.

REQUEST AND SYNOPSIS

The applicant, Kevin Flynn, is seeking conditional use approval for a mixed-use development generally located at 3474-3476 S 2300 E. The property is within the C-1 zone which deems mixed-use as conditional.

The Baldwin Radio Factory is a historic building built in the 1920s that originally housed the Baldwin Radio Company which produced headphones and speaker systems for commercial and naval uses. Over years, the property has transformed into a mix of commercial uses on the site such as a restaurant, an antique store, and art studios.

The applicant is proposing using outbuilding #25 to house a short-term rental. A site plan showing the location of the outbuilding on the property can be found in the exhibits of this staff report. The site will not be developed in conjunction with this permit, and the existing building will not be added onto to operate the short-term rental. Adding a short-term rental to the property would deem the property mixed-use.

This property is listed on the local historic list in Millcreek which requires that the Historic Preservation Commission hears and provides feedback on the conditional use permit public process.

STANDARDS FOR REVIEW

The Planning Commission and Staff, in their review capacity, may impose site plan modifications and conditions to mitigate the reasonably anticipated detrimental effects of conditional use. Mitigation is required of reasonably anticipated detrimental effects arising from the conditional use, per the standards of approval as listed under City Code Section 18.15.030(A).

The Planning Commission has the authority to approve or approve with conditions, based on standards, all conditional use applications. Denial of an application shall only be considered if there are no conditions that can be imposed to mitigate the reasonably anticipated detrimental effects of the use. Further, under City Code Section 18.15.030(A), each conditional use application shall be:

1. **Approved:** if the proposed use, including the manner and design in which a property is proposed for development, complies with the standards for approval outlined in MKZ 18.15.030(A); or
2. **Approved with conditions:** if the anticipated detrimental effects of the use, including the manner and design in which the property is proposed for development, can be mitigated with the imposition of reasonable conditions to bring about compliance with the standards outlined in MKZ 18.15.030(A); or
3. **Denied:** if the anticipated detrimental effects of the proposed use cannot be mitigated with the imposition of reasonable conditions of approval to bring about compliance with the standards outlined in MKZ 18.15.030(A).

Final approval of a conditional use application shall be in the form of a letter to the applicant which, together with the approved site plan if required, shall constitute the conditional use permit.

A conditional use permit may be revoked by the Planning Commission upon a finding of failure to comply with the terms and conditions of the original permit or for any violation of this title occurring on the site for which the permit was approved. Prior to taking action concerning revocation of a conditional use permit, a hearing shall be held by the Planning Commission. Notice of the hearing and the grounds for consideration of revocation shall be mailed to the permittee at least ten days prior to the hearing. (MKZ 18.15.030(A)(17))

Potential detrimental effects of a conditional use are laid out in 18.15.030(A). Staff reviews the application against these listed detrimental effects to ensure it is not creating or exacerbating issues on the site and for the neighborhood.

FINDINGS, CONCLUSIONS, & RECOMMENDATION

Findings:

1. Mixed-use developments are conditional in the C-1 zone.
2. Short-term rentals are allowed within a mixed-use development in the C-1 zone.
3. The site is listed on the Millcreek Historic Landmarks List.
4. The applicant is proposing one (1) short term rental.
5. The applicant is not proposing any new development to the site.
6. A short-term rental requires a business license issued by Millcreek.
7. Conditional uses run with the land.

Conclusions:

Based on the findings listed above:

1. The site is deemed mixed-use with the addition of the short-term rental to the property.
2. A short-term rental is permitted in an approved mixed-use development.
3. Conditional use permits for a site on the Millcreek Historic Landmark List shall be reviewed by the Millcreek Historic Preservation Commission.
4. The site can contain one (1) short term rental in unit #25 as shown on the attached site plan.
5. New site development is not allowed as part of this permit.
6. The applicant must submit and complete a business license and inspection before operating the short-term rental.
7. Any future property owner must adhere to this conditional use permit when operating a short-term rental.

Recommendation:

Based on the Findings and Conclusions, Staff recommends that the Planning Commission take comments at the public meeting and, unless other impacts are identified which may exceed what might otherwise be allowed within the zone which otherwise cannot be mitigation as conditions, approve the proposed conditional use, file number CU-25-007 per the findings and conclusions listed in the staff report, and the conditions listed below:

- No more than one (1) short-term rental is allowed on the site.
- The building housing the short-term rental (unit #25) cannot be expanded.
- The short-term rental must be licensed with Millcreek.

SUPPORTING DOCUMENTS

- **Aerial/Zoning Map**
- **Applicants Letter of Intent**
- **Site Plans**
- **Floor Plan**



From: Kevin Flynn, Owner
Baldwin Radio Factory
3474 S. 2300 E. #24
Millcreek, UT 84109

Date: 8/18/25

To: Millcreek Planning and Zoning
1330 E. Chambers Ave
Millcreek, UT 84106

Re: Letter of Intent for Unit #25

It is my intent to get a conditional use permit and business license to be able to rent out unit #25, of the Baldwin Radio Factory, as a studio apartment for one or more days/nights to travelers who are looking for a unique place to stay. It was formerly an art studio of size 18'x18', with an attached 12'x7' kitchenette that also has a toilet and shower. I will use the online booking service, airbnb.com, which screens and rates potential renters based on their reviews from previous property owners. It is a detached outbuilding hundreds of feet away from any residential neighbors. Many travelers do not want to be in someone's home with a shared kitchen or bathroom. They want a private entrance, and especially like a place with some character and history. Unit #25 is over one hundred years old, and originally was a maintenance building for the trucks that would transport the radio products made in the factory. With exposed brick walls, and a wood floor made from the railroad trestle posts that were embedded in the Great Salt Lake for decades, it truly has character and charm.
Respectfully,

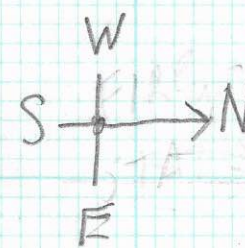


Kevin Flynn

MILLCREEK COMMUNITY CENTER

LIBRARY

Library
PARKING
Lot



HOLIDAY
OIL

BALDWIN
RADIO
FACTORY

Rocky
MTN.
POWER
Substation

Gravel
Lot

Evergreen
Park

#24

#25

#26

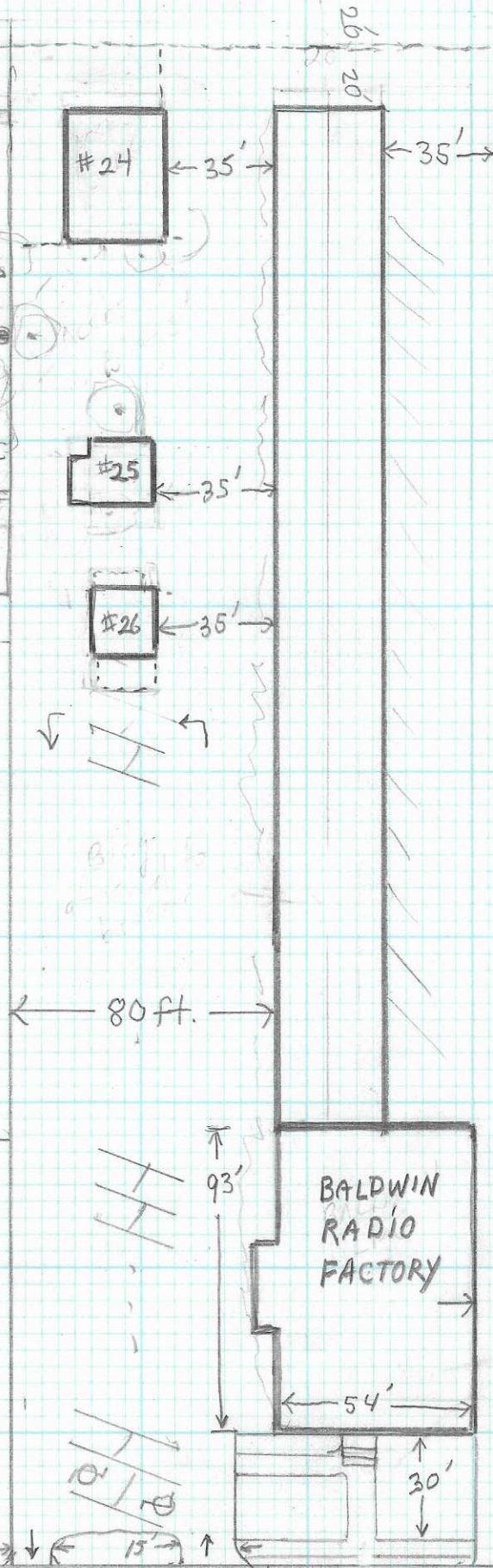
MILLCREEK

scale

5 ft.
5 ft.

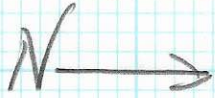
← 2300 E. →

VICINITY MAP OF BALDWIN RADIO FACTORY
& OUTBUILDINGS



Aerial View of UNIT 25

3474 S. 2300 E., MILLCREEK
ENTITY 63657



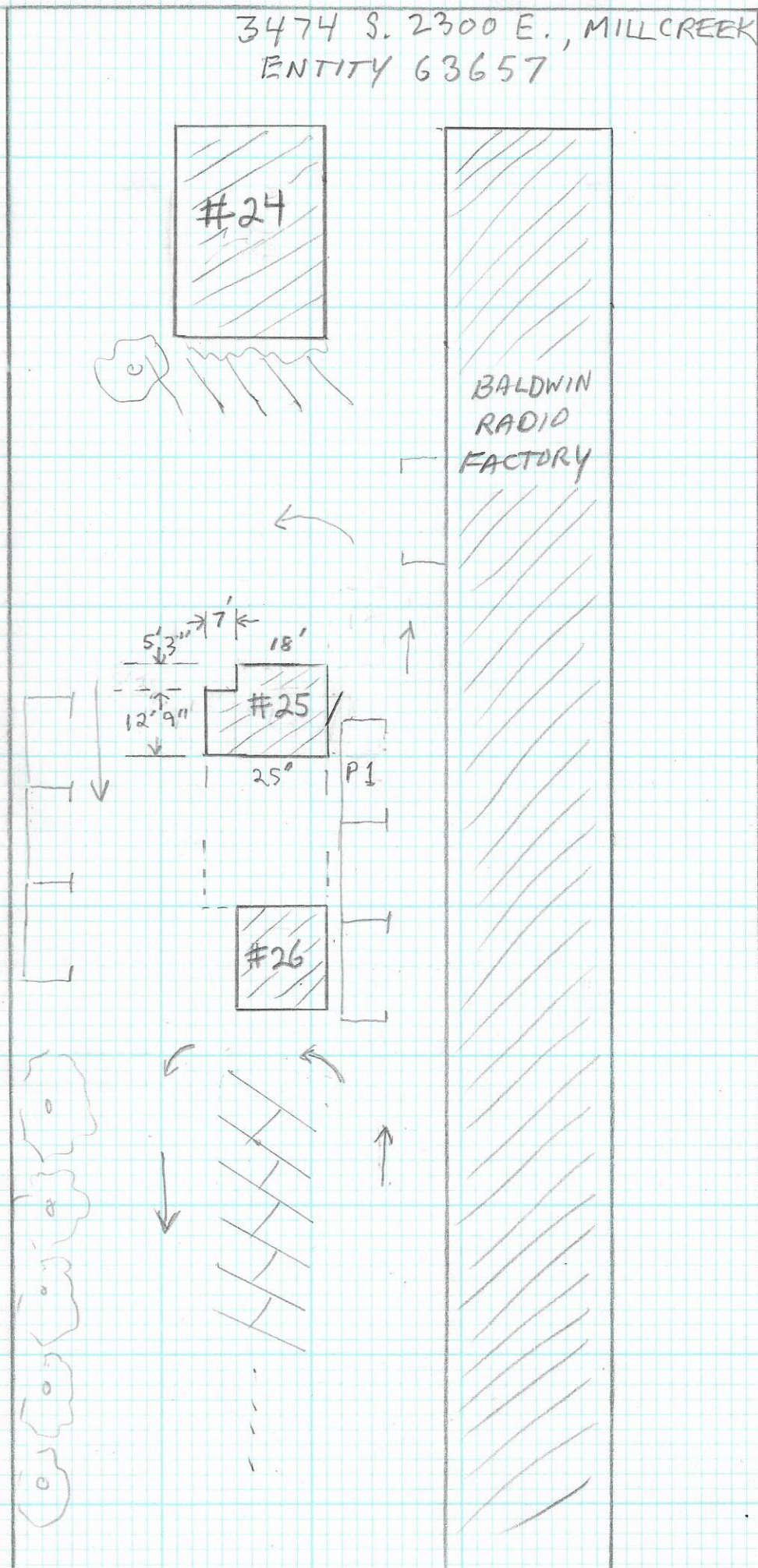
#24, 25, 26
are outbuildings

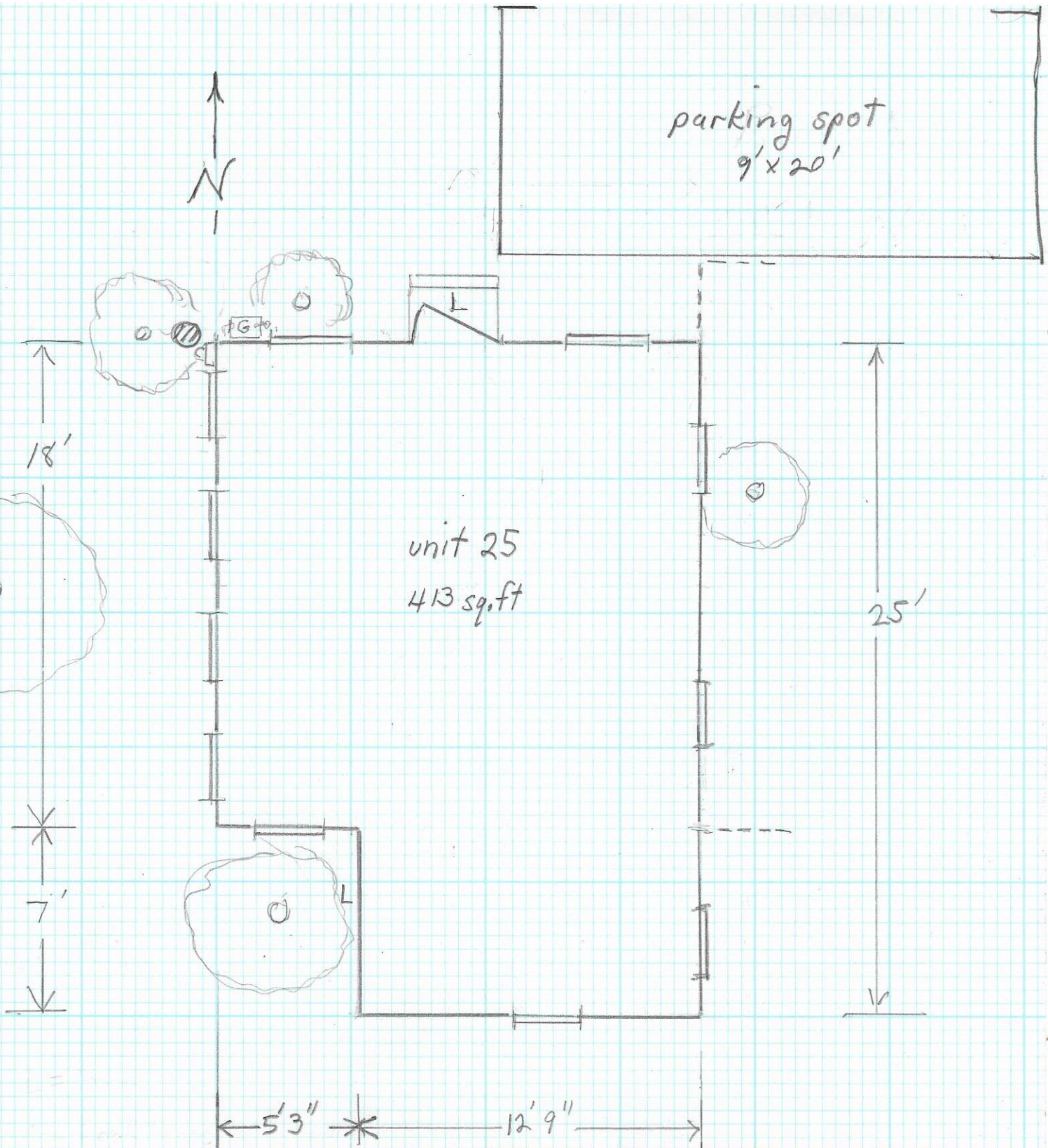
#25
has 413 sf

P₁ = Parking
Spot
for #25

scale 1 in. = 30 ft.

3' 3'





⊙ = Power Pole

⊞ = electric meter

⊞ = gas meter

⊙ = tree

⊞ = window

L = outdoor lamp

--- = wood fence

SITE DRAWING OF
EXISTING OUTBUILDING #25
OF BALDWIN RADIO FACTORY
3474 S, 2300 E. MILLCREEK UT
PARCEL # 16-28-227-028-0000
ENTITY 63657
scale 1 in = 5 ft. K. Flynn 7/15/25

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Planning & Zoning
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CCOZ-25-002

Planning Commission Staff Report

Meeting Date: 9/17/2025

mi

Applicant: Matt Wilcox

Re: City Center Overlay Zone Development Agreement

Property Address: 1265 E Villa Vista Ave

Zone: CCOZ (City Center Overlay Zone) / C (Commercial)

Prepared By: Carlos Estudillo, Planner II

Scope of Decision: **Discretionary.** This is a legislative matter, to be decided by the Millcreek City Council upon receiving a recommendation from the Community Council(s) and the Millcreek Planning Commission. Your recommendation can be broad in scope, but should consider prior adopted policies, especially the Millcreek General Plan.

REQUEST AND SYNOPSIS

The applicant is seeking approval for a City Center Overlay – Development Agreement Zone (CCOZ -DA) at a property approximately located at 1265 E Villa Vista Ave, to accommodate an eighteen (18) unit townhome (rowhouse) residential project, with the intention of subdividing them for owner occupancy.

The Development Agreement (CCOZ-DA) Zone is to allow flexibility in the strict application of the City Center Overlay Zone Design standards given particular site conditions and opportunities for additional development of public benefits such as additional public parking or open space or the provision of affordable housing, while adhering to the goals of the City Center Master Plan. This development agreement will accompany this application to ensure that the proposed site plan is executed as approved. Conditions to be subjected to Community Council and Planning Commission's recommendation.

EXISTING CONDITIONS & FINDINGS:

- The Subject Property involves a parcel comprising approximately .68 acres (29,765 sf). The subject property contains existing residential structures along with other accessory structures, all of which will be removed if approved for further development of the property.

- **Land Use Designation.** The Subject Property is within the “City Center” category under the General Plan:
 - The “Mixed-use 1” land use designation envisions retail in walkable, mixed-use configuration, professional uses, restaurant, and similar arts and entertainment uses that attract visitors from around the City and region. As well as multifamily condominiums or apartments, hospitality, civic and public facilities, health services, as well as plazas, squares, pocket parks, community gardens, and other gathering spaces.
- **Zoning.** The Subject Property is currently within the C (commercial) Zone. Properties within the vicinity surrounding the Subject Property are within the C (commercial zone) to the North, South, and East, as well as R-M (Residential Mixed) to the north and west.
- **Surrounding Uses.** Properties surrounding the Subject Property consist of large-scale multi-family housing, and first-floor commercial stock. The envisioned uses for the City Center Overlay Zone.
- **Densities.** The City Center Overlay zone allows a building height range from 2 to 6 stories. The project offers eighteen (18) units. For comparison, the building directly south (The Richmond) contains 330 units, whereas the nearby building to the East (Cottonwood Highland) contains 250 units.
- **Proposal.**
 - The applicant is proposing eighteen (18) residential units that will consist of three buildings accessed through Villa Vista Avenue (only).
 - Building One: Six (6) units. Four Bedroom units with Elevator on each unit.
 - Building Two: Six (6) units. Four Bedroom units with Elevator on each unit.
 - Building Three: Six (6) units. Three Bedroom units without elevator— on each unit.
 - The proposed building heights and lengths are as follows:
 - Building One: 46 feet in height. 127.7’ in length.
 - Building Two: 46 feet in height. 127.7’ in length.
 - Building Three: 47 feet in height. 127.7’ in length.
 - Exterior materials of a durable and resilient nature such as brick, stone, architectural metal panel, composite materials, or other materials of similar quality, hardness, and low maintenance characteristics are proposed in the design of the proposal. Nearly 61% of the facade is comprised of Brick (in different colors, hardy board and sliding.
 - As per MKZ 18.47.070, the developer would be required to provide 20-foot step back (Street-facing Façade) between the top of the first story and the top of the third and upper stories. The applicant does not comply with this requirement on the Villa Vista Ave façade of building 3.
 - As per MKZ 18.47.070, for any building over 40 feet in height, A five-foot (5’) stepback along a façade facing the rear property line is required between the top of the first story and the top

of the third story and upper stories. The applicant does not comply with this requirement on the Villa Vista Ave façade of building 3.

- As per MKZ 18.47.070, a 10-foot setback along a façade facing a side property line is required between the top of the first story and the top of the third story and upper stories. The applicant does not comply with this requirement.
- For street-facing building facades, exterior building materials used shall consist of a minimum of 75 percent brick or stone excluding windows. The applicant currently does not meet this requirement, as the applicant is proposing 61% brick along the Villa vista street facing façade and 55% brick along Richmond Street-facing façade.
- Windows shall constitute at least 50 percent of first story street-facing facades, and windows shall be at least 50 percent transparent. The current proposal does not meet the glassing requirements set forth in MKZ 18.44.080, as this requirement may apply to first-floor commercial buildings, rather than rowhouse townhomes. The applicant intends to utilize the Development Agreement to deviate from this requirement; However, the applicant is proposing the following:
 - Building 1 & 2: 20% of first story street-facing facades.
 - Building 3: 18% of first story street-facing façade.
- Landscaping to be subject to MKZ 18.64 (Landscape standards). Proposal currently meets the requirement of allocating, at least, 30% of the overall lot size as open space.
- Parking to be subjected to MKZ 18.63 (Parking and Mobility Standards).
 - The Project shall have at least thirty-six (36) parking stalls, which shall be contained within the eighteen individual two-car garages.
 - Additionally, as per the prescribed cross section for **neighborhood streets**, depicted in Figure 18.47.7 and in Table 18.47-8 within MKZ **18.47.060** (CCOZ Design Standards), the project will include seven (7) on street parking stalls and one (1) ADA parking stall, which will be dedicated to the City as part of the Right-of-way.
- The Subject Property has one access from Villa Vista Ave to the complex, measuring to be 25' in width, meeting the 2019 Transportation Master plan. Access has been reviewed and accepted by Unified Fire.
- The CCOZ/C Zone does not require owner occupied housing however the applicant has verbally mentioned that they intend to create a “for sale” product which may help Millcreek meet certain house goals. This will require a subdivision application and approval.
- **Commercial Requirements:** The proposal will feature two Live/Work units within Building A and Building B, meeting the commercial feature requirement set forth in MKZ 18.44 (Commercial Zone).
- **Right-of-way improvements.** The Developer shall provide a ten-foot (10') wide public easement parallel to and abutting Villa Vista Avenue right-of-way. Additionally, The developer shall provide a five-foot (5') wide public easement parallel to and abutting Richmond St. The Developer shall also

install frontage improvement to the abutting right of way (including but not limited to curb, gutter, sidewalk, landscaped park strip, asphalt, and utilities.).

- **Development Agreement:** A development agreement may best ensure the type, scale, orientation, dedication, utilities easements, access, phasing, and other aspects pertaining to the future development of these properties, where the underlying zoning and land use ordinances may be insufficient; Therefore, a development agreement may be considered to ensure development design and layout of the property. Staff would like the Community Council to discuss the following, potential development agreement items:
 - Uses.
 - Ownership
 - Density
 - Length and Height.
 - Owner Occupancy.
 - Setbacks.
 - Landscaping
 - Parking.
 - Materials.
 - Irrigation ditch cleanouts
 - Right-of-way improvements, streetscape and maintenance.
 - Step backs

CONCLUSIONS:

- The developer held a Neighborhood meeting, in which five (5) residents showed up. Mostly voicing concerns about the left turn from Villa Vista to Richmond, and an irrigation ditch.
- The Millcreek Community Council held a meeting on September 2nd, whereupon five of the seven (5-2) members made a recommendation approving the City Center Overlay – Development Agreement Zone, with some conditions, such as:
 - The inclusion of irrigation and clean-outs to address historical flooding issues.
- Any proposed building with a height greater than thirty-six feet (36'), excluding height projection allowances as set forth in [MKZ 18.72.040](#) will be subjected to a Conditional Use Permit.
- A subdivision plat will be required for owner occupancy. A Plat shows all existing and proposed shared access, parking, and utility easements, which will be recorded as part of the subdivision plat; along with all other private governing documents commonly associated with condominium (i.e., bylaws, CC&R's, etc.).
- All development will be required to meet the minimum zoning and land use ordinances; to which the concept plan may likely evolve from what is currently presented for this rezone application.
- The project is subject to further review and final approval.

RECOMMENDATIONS:

Staff recommend that the Millcreek Planning Commission take public comments and consider recommending a City Center Overlay - Development Agreement Zone (CCOZ-DA) with reasonable criteria for the City Council to consider.

I move to continue application file #CCOZ-25-002 to a later date, to allow the City to properly notice the application as a public hearing and not a public meeting.

SUPPORTING DOCUMENTS

- **Application package**
- **Development Agreement Draft**

Exhibit B
Design and Improvement Criteria

The Developer shall develop the Project consistent with the design and improvement criteria as identified below:

1. **Uses.** The applicant is proposing eighteen (18) residential units that will consist of three buildings accessed through Villa Vista Avenue (only).
 - a. Building One: Six (6) units. Four Bedroom Townhomes.
 - b. Building Two: Six (6) units. Four Bedroom Townhomes.
 - c. Building Three: Six (6) units. Three Bedroom Townhomes.
2. **Commercial Requirements:** The commercial use shall feature Live/Work units inside Building A and Building B. The location of commercial uses shall be arranged as depicted in *sheets/exhibit*.
3. **Ownership.** Prior to the City issuing a final Site Plan/Conditional Use Permit approval, the Developer shall obtain preliminary subdivision approval from the Planning Commission.
 - a. The Developer shall record a final subdivision plat within one year of the date of Site Plan/Conditional Use Permit approval to create individual lots for each of the five units.
 - b. To ensure owner occupancy for each of the eighteen (18) units, the Developer shall, prior to issuance of any building permits with respect to the Project, record a subdivision plat to create eighteen (18) separate lots capable of individual ownership, common areas, property line alignments, right of way dedication (if any) and all easements for access, utilities, shared parking, shared open space, etc. along with a restrictive use agreement with the office of the Salt Lake County Recorder including language as set forth in item **No. 10 of Exhibit “B”** attached hereto and a Notice and Declaration of Deed Restriction in the form attached as Exhibit “D.”
4. **Height.** The height of the buildings shall be the following height, as measured from the lowest elevation point of original grade (TBD), as depicted in the attached ALTA/NSPS Land Title & Topography survey, Exhibit __. Heights shall be as depicted on sheets ____ in Exhibit __.
 - a. **Building 1 & 2:** No higher than 45’
 - b. **Building 3:** No higher than 47’
5. **Setbacks.** The building setbacks shall be as depicted on the site plan, Exhibit __.

6. **Landscaping.** Landscaping shall comply with the requirements of MKZ 18.64 and the Millcreek City Center Urban Forestry Standard. Landscaping materials shall include native or endemic groundcover. Turf grass is prohibited for use as a ground cover.
7. **Length:** All buildings shall not exceed 128 feet in length, as depicted in Exhibit _.
8. **Parking.** The Project shall have at least thirty-six (44) parking stalls, which shall be contained within the eighteen individual two-car garages (36). Additionally, as per the prescribed cross section for neighborhood streets, depicted in Figure 18.47.7 and in Table 18.47-8 within MKZ 18.47.060 (CCOZ Design Standards), the project will include seven (7) on street parking stalls and one (1) ADA parking stall, which will be dedicated to the City as part of the Right-of-way.
9. **Materials.** The building's facades shall consist of high-quality, durable, low-maintenance materials (e.g., composite siding and trellises, brick, stone, stucco, glass, and metal) in accordance with the R-M Zone ordinance. The materials and windows shall be arranged according to the elevation sheets, as depicted in the attached site plan, Exhibit C.
10. **Right-of-way improvements.** The Developer shall provide a ten-foot (10') wide public easement parallel to and abutting Villa Vista Avenue right-of-way. Additionally, The developer shall provide a five-foot (5') wide public easement parallel to and abutting Richmond St. The Developer shall also install frontage improvement to the abutting right of way (including but not limited to curb, gutter, sidewalk, landscaped park strip, asphalt, and utilities).
11. **Streetscape and Dedication:** The streetscape along Villa Vista and Richmond shall be installed as depicted on sheet __ in Exhibit __, following the cross sections identified in Figure 18.47.7 and in Table 18.47-8 within MKZ 18.47.060 (CCOZ Design Standards),
12. **Restrictive-Use Agreement.** The Developer shall cause the following language to be included in a declaration of covenants, conditions, and restrictions (CC&Rs) against the Property, which is to be recorded by the Developer at the time of recording a subdivision plat and shall apply to each of the five units:
 1. Each of the five units is intended to be owner-occupied, including occupancy by the owner's immediate family members (including parents, siblings, children, and grandchildren) and unrelated persons so long as the owner remains in occupancy.
 2. The foregoing restriction shall not apply, however, to:
 - a) Any of the units owned by a person who has ceased occupying such Unit due to military service for the period of the owner's deployment;
 - b) To any unit occupied by an owner's parent, child, or sibling;
 - c) An owner whose employer has relocated the owner for two (2) years or less;
 - d) Any unit owned by an entity that is occupied by an individual who:
 - i. has voting rights with respect to the entity and

- ii. has at least 25% ownership of the entity; or
- d) Any unit owned by a trust or other entity created for estate planning purposes if the trust or other estate planning entity was created for the estate of:
 - i. a current resident of the unit; or
 - ii. the parent, child, or sibling of the current resident of the unit;



Zoning Map Amendment Checklist

Millcreek City Hall
1330 East Chambers Avenue
Millcreek, Utah 84106
801-214-2700
millcreekut.gov

MKZ 18.15.010 Legislative Decisions (C) (4)

CHECK BOX WHEN COMPLETED	Requirements	PAGE NUMBER IN PLANS REQUIREMENT IS MET
<input type="checkbox"/>	Completed and Signed Millcreek Land Use Application	
<input type="checkbox"/>	Notarized Property Owner Affidavit	
<input type="checkbox"/>	Application Fee	
<input type="checkbox"/>	Letter of Intent describing proposed amendments to the Zoning Map.	
<input type="checkbox"/>	A summary of the rationale for proposed amendments to the Zoning Map. As applicable, answer the Essential Questions for Zoning, Development Agreements, and City Initiatives as set forth in Sections 3.1.7, 3.2.7, 3.3.7, 3.4.7, 3.5.7, 3.6.7, and 3.7.7 of the Millcreek Together General Plan.	
<input type="checkbox"/>	Proposed text revisions to the General Plan, if applicable	
<input type="checkbox"/>	The current Zoning Map designation and present use of the subject property.	
<input type="checkbox"/>	A legal description of the subject property.	
<input type="checkbox"/>	A development agreement, if applicable, and a completed Development Agreement Checklist.	
<input type="checkbox"/>	A Summary of the Neighborhood Meeting, pursuant to MKZ 18.14.030	
<input type="checkbox"/>	A Summary of other Pre-Application Meetings, if required.	
<input type="checkbox"/>	Any other relevant supporting documentation, maps, studies and any other information that would inform Staff and the Planning Commission in making a recommendation, and that would allow City Council to make a decision.	

Development Agreement Checklist

MKZ 18.15.010 Legislative Decisions (D) (5)

A Development Agreement is a voluntary agreement between Millcreek and the Applicant. A Development Agreement must be submitted concurrently with a land use application for a Legislative Decision.

CHECK BOX WHEN COMPLETED	Summary and Narrative Requirements	PAGE NUMBER IN PLANS REQUIREMENT IS MET
<input type="checkbox"/>	Completed and Signed Millcreek Land Use Application	
<input type="checkbox"/>	Notarized Property Owner Affidavit	
<input type="checkbox"/>	Application Fee	
<input type="checkbox"/>	A Completed Checklist for the relevant application type for which a development agreement is being considered.	
<input type="checkbox"/>	A Summary of the Neighborhood Meeting, pursuant to MKZ 18.14.030	
<input type="checkbox"/>	A Summary of other Pre-Application Meetings, if required.	
<input type="checkbox"/>	Any other relevant supporting documentation, maps, studies and any other information that would inform Staff and the Planning Commission in making a recommendation, and that would allow City Council to make a decision.	
<input type="checkbox"/>	A completed Sensitive Lands Review Checklist, if required.	

CHECK BOX WHEN COMPLETED	Property Survey Requirements <i>A property survey showing, at a minimum:</i>	PAGE NUMBER IN PLANS REQUIREMENT IS MET
<input type="checkbox"/>	Property boundaries	
<input type="checkbox"/>	The location and type of easements, covenants, or other property restrictions.	
<input type="checkbox"/>	Location of existing rights-of-way and right-of-way centerlines.	
<input type="checkbox"/>	Location of all existing buildings, structures, and utilities, including water utilities.	
<input type="checkbox"/>	Location of existing trees measured at four inch (4") caliper or greater.	
<input type="checkbox"/>	Location of any sensitive lands features.	
CHECK BOX WHEN COMPLETED	Site Plan Requirements	PAGE NUMBER IN PLANS REQUIREMENT IS MET
<input type="checkbox"/>	Location of proposed buildings.	
<input type="checkbox"/>	Location of proposed off-street and on-street parking areas.	
<input type="checkbox"/>	Location of proposed open spaces.	
<input type="checkbox"/>	A summary table showing floor area by use, required parking by use, materials percentages, percentages of doors and windows, minimum lot size requirements, residential amenities if required, and open space requirements.	
<input type="checkbox"/>	Location and Conceptual design and cross-sections of proposed streets, driveways, lanes, or paths.	
<input type="checkbox"/>	Number, size, height, and location of all proposed signs.	
<input type="checkbox"/>	Location of existing and proposed fire hydrants.	
<input type="checkbox"/>	Conceptual landscape plan showing location and type of proposed plantings, and trees to be preserved, if applicable.	
<input type="checkbox"/>	Setbacks and buffers as required by the relevant zoning or landscaping standard.	
<input type="checkbox"/>	Conceptual lighting plan showing location and height of proposed street and interior property lighting.	
<input type="checkbox"/>	Location of any required right-of-way dedications, as measured from a right-of-way centerline.	
<input type="checkbox"/>	Site Grading and Drainage Plan.	
CHECK BOX WHEN COMPLETED	Building and Elevation Requirements	PAGE NUMBER IN PLANS REQUIREMENT IS MET
<input type="checkbox"/>	Proposed building bulk and height.	
<input type="checkbox"/>	Proposed building elevations, including building color and materials.	
<input type="checkbox"/>	Proposed building floor plans.	
CHECK BOX WHEN COMPLETED	Required Studies	PAGE NUMBER IN PLANS REQUIREMENT IS MET
<input type="checkbox"/>	Geological Hazards Study, if required.	
<input type="checkbox"/>	Parking and Traffic Impact Study, if required.	
<input type="checkbox"/>	Photometric Study, if required.	



LAND USE AND DEVELOPMENT APPLICATION

Property Address		Parcel No.	
Name of Project		Project Size in SF	
Please describe your request. Add additional pages if necessary.			

Administrative

- ☐ ADU Approval
- ☐ Change of Use
- ☐ Conditional Use
- ☐ Eligible Facility Request
- ☐ Minor Site Plan Amendment
- ☐ Reasonable Accommodation
- ☐ Sign Permit
- ☐ Site Plan
- ☐ Temporary Use

Subdivisions

- ☐ Condominium
- ☐ Lot Line Adjustment
- ☐ Major Subdivision
- ☐ Minor Subdivision
- ☐ Parcel Line Adjustment
- ☐ PUE Vacation

Other

- ☐ General Plan Amendment
- ☐ Rezone
- ☐ Text Amendment
- ☐ Noncomplying Expansion
- ☐ Nonconformity Determination
- ☐ Variance

PLANNING REVIEW PERIOD

Each application is subject to a planning review period. Upon payment of all applicable fees and submission of a complete land use application for an approval that requires a public meeting, planning staff will have a review period of fifteen business days to review the application for substantial compliance with all the requirements of applicable ordinances before scheduling the application for the first public meeting or hearing. If staff requires additional information, clarification or an updated application submittal as part of their review, the time to provide the additional information, clarification, or submittal will be in addition to the review period. Staff will schedule your application at the first available public meeting after the review period concludes.



APPLICANT'S INFO

First _____ Last _____ Initial _____
Address _____ City _____ State _____ ZIP _____
Phone _____ Email _____

PROPERTY OWNER(S) – Note: A signed affidavit is required of property owner(s).

☐ Check here if applicant and property owner(s) are the same.

First _____ Last _____ Initial _____
Address _____ City _____ State _____ ZIP _____
Phone _____ Email _____

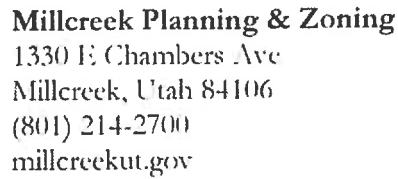
PROFESSIONALS

_____ Engineer ☒ Architect _____ Other

Company _____ Contact _____
Address _____ City _____ State _____ ZIP _____
Phone _____ Email _____

Applicant hereby authorizes Millcreek to reproduce this application, and all documents attached to the application for staff, officials, and the interested public. Applicant further authorizes city staff to access the property for inspections and assessments as required as part of an application review.

Applicant's Signature: MTor Date: _____



STATE OF UTAH }

}

COUNTY OF SALT LAKE }

Residing in Salt Lake County, Utah

UNIFIED FIRE AUTHORITY

FIRE PREVENTION DIVISION

Fire Code Modification Request Application



FIRE CODE MODIFICATIONS

Modifications. Whenever there are practical difficulties involved in carrying out the provisions of this code, the *fire code official* shall have the authority to grant modifications for individual cases, provided the *fire code official* shall first find that special individual reason makes the strict letter of this code impractical and the modification is in compliance with the intent and purpose of this code and that such modification does not lessen health, life and fire safety requirements. The details of action granting modifications shall be recorded and entered in the files of the department of fire prevention. [2021 IFC 104.9]

Alternative materials, design and methods of construction and equipment. The provisions of this code are not intended to prevent the installation of any material or to prohibit any method of construction not specifically prescribed by this code, provided that any such alternative has been *approved*. The *fire code official* is authorized to approve an alternative material or method of construction where the *fire code official* finds that the proposed design is satisfactory and complies with the intent of the provisions of this code, and that the material, method or work offered is, for the purpose intended, at least the equivalent of that prescribed in this code in quality, strength, effectiveness, *fire resistance*, durability and safety. [2021 IFC 104.10]

Fire Code modifications must be in compliance with the intent and purpose of the fire code so that any approved modification does not lessen health, life, and fire safety requirements. Fire Code Modifications are not a variance. Instead, a modification requires approval which will likely involve City or County Code Officials as well. Code modifications are only approved for where or when adherence to the strict letter of the International Fire Code is impractical in the opinion of the Code Officials.

**PLEASE DO NOT ASSUME THAT A REQUEST FOR A CODE MODIFICATION
WILL BE AUTOMATICALLY APPROVED!**



Application for Fire Code Modification

I (we) Kensington Home Company are requesting that the

Please print the name of the property owners and person making this request.

Unified Fire Authority **(Per IFC 104.9)** grants the following fire code modification(s). This request is based upon the specific practical difficulties described herein and the fact of not being able to carry out the provisions of the fire code. It is understood that the fire code official has the authority to grant or deny this request. The fire code official must find that special individual reasons make the strict letter of the fire code impractical, and that this request is in compliance with the intent and purpose of the fire code. This modification shall not lessen health, life and/or fire safety requirements. If approved, (or not) these documents will be entered in the files of the fire department pertaining to the project described. A copy will be provided to the applicant.

Name: Matt Wilcox

Your Present Address: 650 S 500 W Suite #250 Salt Lake City, UT 84101

Phone: 3012720194, Cell 3012720194

Property Owner Name if Different than Above: CC Archer, LLC

Property Address: 3055-3061 S. Richmond ST, 1265 E Villa Vista Ave, Millcreek, UT 84601

Parcel Number if Applicable: 16-29-281-011, 16-29-281-012, and 16-29-281-013

City or County Reference Number if Applicable: _____

Instructions:

On the attached page, please describe the reasons why you are requesting a fire code modification. Note that the reason or reasons must comply with the information stated above. The Unified Fire Authority does not assume any liability for installation different that what is described or for the maintenance of the described fire code modification. The Unified Fire Authority does reserve the right to approve or deny this request and/or the continued maintenance thereof. Attach any additional pages or plans as necessary.

Code Modification Request:

We are requesting acceptance of the alternative means and methods detailed in the attached documents. Site constraints do not allow for fire apparatus access to the long side of all three townhome buildings in the proposed plan. There is no practical way to redesign the site to allow for apparatus access to all of the units. Also, keeping the townhome units limited to 30' parapet height is not practical for the price points that the subject site will demand. We believe that the combination of fire safety approaches designed into each of the three buildings provide multiple safe methods for access and providing emergency assistance.

Signature:  Date: July 18, 2025

Please submit additional material if needed. If you have questions contact the Unified Fire Authority Fire Prevention Bureau at 801-743-7230.

For Office Use Only

Date: July 22 2025, Building Official Signature: 

Approved: ☒ Denied: ☐ Notes: _____

Date: 07/23/2025, Fire Code Official Signature: 

Approved: ☒ Denied: ☐ Notes: Documents to be included with construction plans

[APPROVAL IS REQUIRED FROM BOTH THE BUILDING AND FIRE CODE OFFICIALS]



Buildings require a fire sprinkler & alarm system.

- *Report of fire access and sprinklers to be provided sent to city on 7/18/2025.*

Buildings over 30'-0" high will have additional fire code requirements.

- *Conversations have started with the fire marshal and will be designed to accommodate fire code requirements.*

A code modification may be requested when practical difficulties limit code compliance.

- *Report of fire access and sprinklers to be provided sent to city on 7/18/2025.*

Building Stepbacks:

Building Stepbacks along Streets and Property Frontages: For any building or development that is over 40 feet in height or located on properties fronting on the Millcreek Common, 3300 South, Richmond and/or with frontage on Highland Drive, a 20-foot stepback of the building façade, facing any street, is required between the top of the first story and the top of the third story and upper stories. This building stepback shall incorporate one of the two stepback variations:

A segmented stepback, such as, a 10-foot initial stepback between the first and second stories followed by an additional 10-foot stepback between the second and third stories as depicted in Figure 18.47.13, or;

A full stepback of 20 feet between the first and third stories, that is utilized as a usable space for building tenants or businesses occupying the building, as depicted in Figure 18.47.14.

- *No longer applies to building 1 and 2, but we do not comply with Villa Vista facing façade of building 3.*

Building Stepbacks along Side and Rear Property Lines: For any building over 40 feet in height, the following building stepbacks apply:

Rear Property Line. A five-foot (5') stepback along a façade facing the rear property line is required between the top of the first story and the top of the third story and upper stories. Building setbacks greater than 15 feet in depth from a rear property line are not required to provide a five-foot (5') building stepback.

- *No longer applies to building 1 and 2, but we do not comply with Villa Vista facing façade of building 3.*

Side Property Line. 10-foot stepback along a façade facing a side property line is required between the top of the first story and the top of the third story and upper stories. Building setbacks greater than 15 feet in depth from a side property line are not required to provide a 10-foot building stepback.



PERFECT SPACES MATTER

7585 S. Union Park Ave Suite 100

Sandy, UT 84047

www.buildwithmint.com





Stepback Exceptions:

Exception for Buildings with Corner Plazas. For buildings on corners where a corner plaza is required by MKZ 18.47.070 (A), facades within 30 feet of the edge of the corner plaza are not required to include a building stepback.

Exception for Commercial Single-Purpose Buildings. Commercial single-purpose buildings are exempt from Stepbacks along Streets and Property Frontages so long as the proposed building is no greater in length than one hundred feet, no greater in depth than eighty feet, has a ground story footprint that is eight-thousand square feet or less, is no greater than 40 feet in building height, and the following additional design standards are met:

- *No longer applies to building 1 and 2, but we do not comply with Villa Vista facing façade of building 3.*

For street-facing building facades, exterior building materials used shall consist of a minimum of 75 percent brick or stone excluding windows, and 25 percent of the exterior building materials may consist of composite materials, or other materials of similar quality, hardness, and low maintenance characteristics excluding windows. Stucco and EIFS are prohibited for use as materials on any façade visible from a right-of-way.

- *Currently do not meet the 75% brick requirement. Current max percentage is 61% brick along Villa Vista and 55% Brick along Richmond.*

First story and ground stories shall be at least 12 feet in height.

Buildings must have a minimum of at least one entrance to the first story and shall front on the street. Entrance locations fronting the street shall be further articulated by a change in composition materials, color, texture, or pattern, and shall be recessed or projected.

- *This is saying that all first levels must be 12 feet in height, not just the corner units like we are currently planning for and showing for the live/work units.*

Windows shall constitute at least 50 percent of the first story street-facing facades, and 25 percent of all upper story facades.

- *We don't comply. 50% glazing requirement for this product type does aid to the design or usability of internal spaces. Current max glazing along Villa Vista is 20% and 18% along Richmond.*

Windows shall be at least 50 percent transparent. Interior lighting is required. Street facing windows that are not on the façade as the main building entrance, may cover the first story windows with non-advertising window films using a mountain, mill, orchard, or mountain related sports theme.

- *No window coverings will be added other than potential tint and interior shades.*



Living screens may replace up to 50 percent of the window requirement for the lowest anticipated pedestrian traffic frontage.

- *We will not be screening the windows on the first level or any level above.*

Mirrored windows are not allowed. Any east or west facing windows above the third story shall be non-reflective to prevent glare.

- *Owner may want to tint upper windows but not likely. No mirrored applications will be applied.*

For any building opposing a residential bedroom window, buildings shall provide window blinds for each opposing window, or reduce the opacity of the window to prevent one side from viewing the other. In no case shall any balconies have a separation from an opposing balcony of less than 10 feet.

- *Owner will likely not want frosted glass or one sided glazing. All buildings do not have balconies. Interior of windows will have blinds or shades chosen by the owner.*

Building Massing and Façade Articulation: All buildings shall be designed to have at least three of the following.

- Visual breaks along the street-facing façade such as horizontal articulation in the plane of the façade by at least two feet (2').
- Change in height at the top of the building by at least 10 feet for every 100 feet of façade length.
- Changes in materials, color, texture, or pattern for greater than 50 percent of the building façade.
- Indentations/recesses at least 10 feet in depth along the street facing facades at 100-foot intervals.
- Usable terraces (a larger balcony intended as a private resident leisure space) at least 10 feet in depth along the street facing facades.
- Covered walkways on the south, east or west facing facades on the street(s) other than Millcreek Common Street.
- Except for Millcreek Common facing buildings, columns, or pilasters with a minimum four-inch (4") horizontal depth from the plane of the façade and spaced at a minimum interval of 50 feet.

- Water rights, Where the irrigation water comes from?
From the existing ditch pipe.
Clean up box.

Villa Vista New Development – Neighborhood Meeting (07/31/2025)

*Correct Lot Size

[illegible]

VILLA VISTA TOWNHOMES

Located in the heart of Millcreek, Utah, this new owner-occupied townhome community is designed to meet the growing demand for high-quality, attainable housing while reinforcing the character and vitality of the neighborhood. With a strong commitment to community, livability, and longevity, the project offers a thoughtful solution that aligns with Millcreek's goals for sustainable growth and improved housing diversity.

This townhome project is rooted in the principle of owner occupancy. Homeowners have a long-term investment in their neighborhoods, resulting in greater stewardship and stronger community ties. By prioritizing owner occupancy, the development creates pride for its owners and encourages active participation in the city of Millcreek.

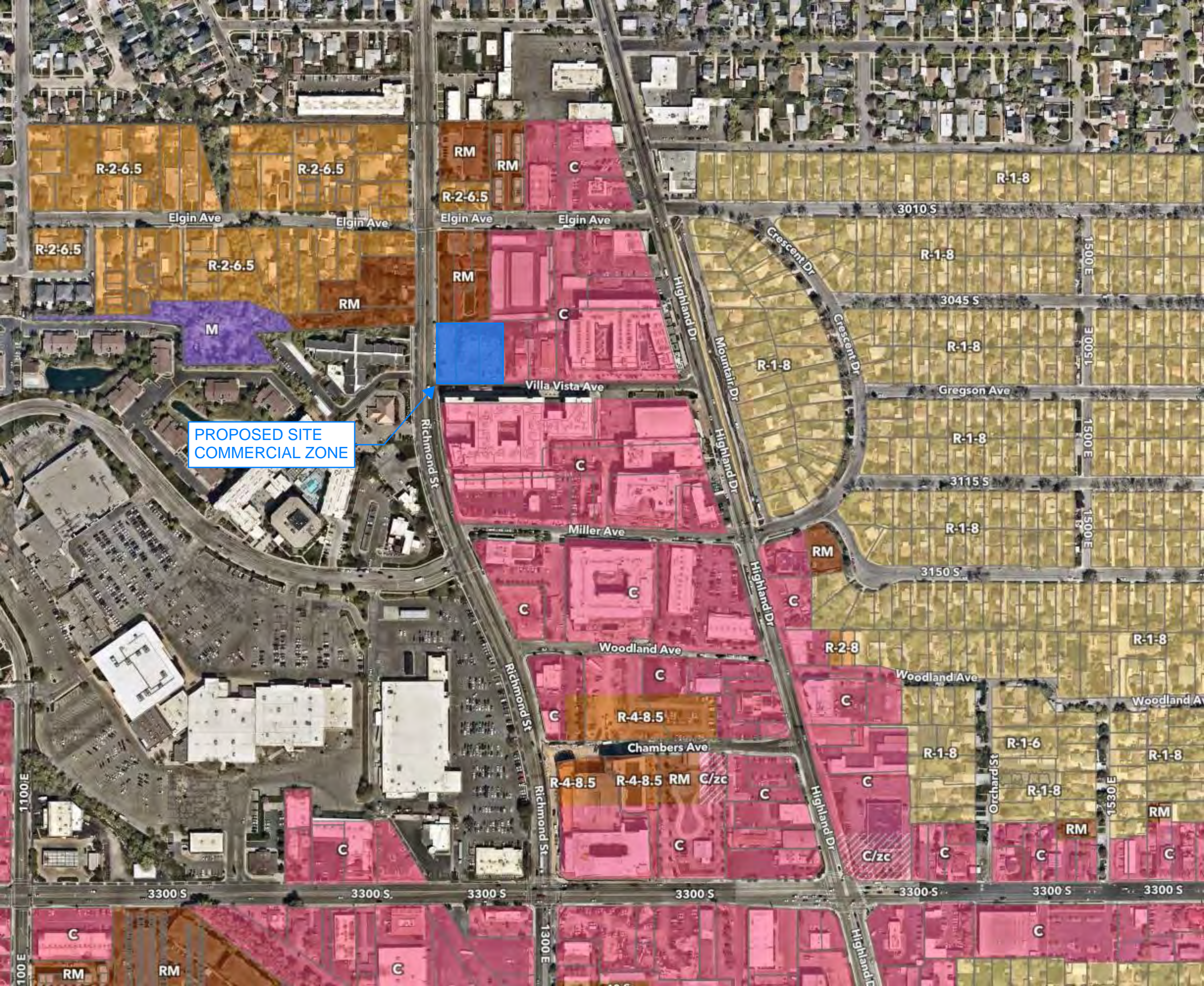
Architecturally, the townhomes draw from timeless design principles that complement the existing character of Millcreek's residential neighborhoods. Clean lines, durable materials, and refined details ensure that the townhomes will age gracefully, maintaining their aesthetic and functional appeal over generations.

The construction will utilize durable, low-maintenance materials such as brick, fiber cement, and quality metal finishes, chosen not only for their longevity but also for their ability to withstand Utah's diverse climate. These homes are built to last, minimizing future maintenance burdens on homeowners and reducing environmental impact over time.

Millcreek is experiencing steady growth, and with it, an increased demand for housing that serves a range of life stages and income levels.

Each home is designed with functional and efficient floor plans, private entrances, and private outdoor space, helping residents enjoy a high quality of life within walking distance off all downtown Millcreek has to offer. Landscaping, and pedestrian-friendly walkways support both livability and integration with the surrounding neighborhood.





PROPOSED SITE
COMMERCIAL ZONE

ZONING REPORT

16. RIGHT OF WAY AND EASEMENT GRANT IN FAVOR OF MOUNTAIN FUEL SUPPLY COMPANY, A CORPORATION OF THE STATE OF UTAH RECORDED AUGUST 16, 1987 AS ENTRY NO. 4438745 IN BOOK 5904 AT PAGE 2085 OF OFFICIAL RECORDS.

NOTE: THE LEGAL DESCRIPTION ATTACHED TO SAID EASEMENT AFFECTS THE HEREIN DESCRIBED PROPERTY. BUT APPEARS TO BE IN ERROR. [ITEM AS DESCRIBED DOES NOT CROSS NOR TOUCH THE SUBJECT PROPERTY]

17. UTILITY LINES AND POLES ALONG THE SOUTHERLY PORTION OF THE HEREINE DESCRIBED PROPERTIES AS DISCLOSED BY A VISUAL INSPECTION. [PLOTTED HEREON, ITEM LIES ALONG THE SOUTH PROPERTY LINE]

18. MATTERS DISCLOSED BY THAT CERTAIN SURVEY CERTIFICATE & TOPOS, DATED SEPTEMBER 5, 1995, PREPARED BY BUSH AND GUDGELL, INC., AS JOB NO. 43552, CERTIFIED BY STEPHEN WILSON, LICENSE NO. 166443, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

IRRIGATION DITCH OVER THE NORTHERLY PORTION OF THE PROPERTIES. TELEPHONE LINE OVER THE NORTHERLY PORTION OF THE PROPERTIES.

FENCE LINES OVER THE NORTHERLY PORTION OF THE PROPERTIES MAY NOT MATCH EXISTING RECORDED BOUNDARY LINE... [PLOTTED HEREON, ITEMS LIE ALONG THE NORTH PROPERTY LINE]

SIGNIFICANT OBSERVATIONS

▲ BUILDING OVER PROPERTY LINE 1.4' MORE OR LESS, AS SHOWN HEREON.

NARRATIVE

THE SURVEY WAS REQUESTED BY SOLSTICE DEVELOPMENT FOR THE PURPOSE OF ESTABLISHING THE CORNERS OF THE PROPERTY LOCATED AT 1275 GUNN AVENUE. THE BASIS OF BEARING IS SHOWN HEREON.

ZONING REPORT

SURVEYOR WAS NOT PROVIDED WITH A ZONING REPORT PURSUANT TO TABLE "A" ITEMS 6A & 6B.

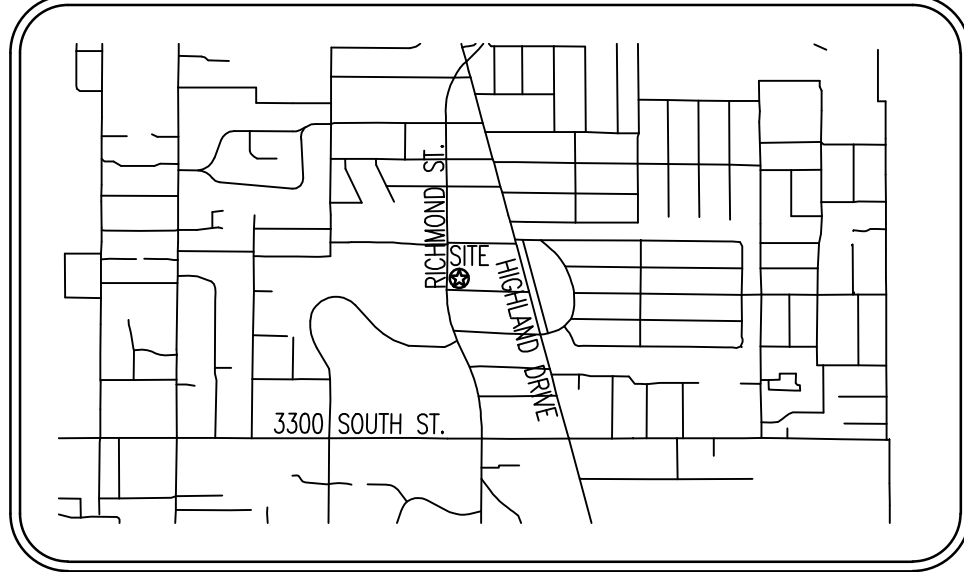
GENERAL NOTES

- ADDRESS AS OBSERVED: 1265, 1275, GUNN AVE & 3055 RICHMOND ST.
- AT THE TIME OF SURVEY, THERE WAS NO EVIDENCE OF NEW CONSTRUCTION OR ROAD WIDENING. A CALL TO PUBLIC SERVICES, ENGINEERING ASSISTANT, VERIFIED THE ABOVE STATEMENT. PUBLIC SERVICES OFFICE CONTACT NUMBER IS 801-270-2400.
- AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, BUILDING ADDITIONS, EARTH MOVING. THERE WAS NO OBSERVED EVIDENCE OF CEMETERIES / BURIAL GROUNDS ON THE SUBJECT PROPERTY. ALSO, AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT SIDEWALK CONSTRUCTION OR REPAIR.
- SUBJECT PROPERTY HAS DIRECT PUBLIC ACCESS TO RICHMOND STREET, AND GUNN AVENUE, BOTH PUBLIC RIGHTS OF WAYS.
- IN THE PROCESS OF CONDUCTING FIELDWORK NO WETLANDS/MARKERS WERE LOCATED.

FLOOD NOTE

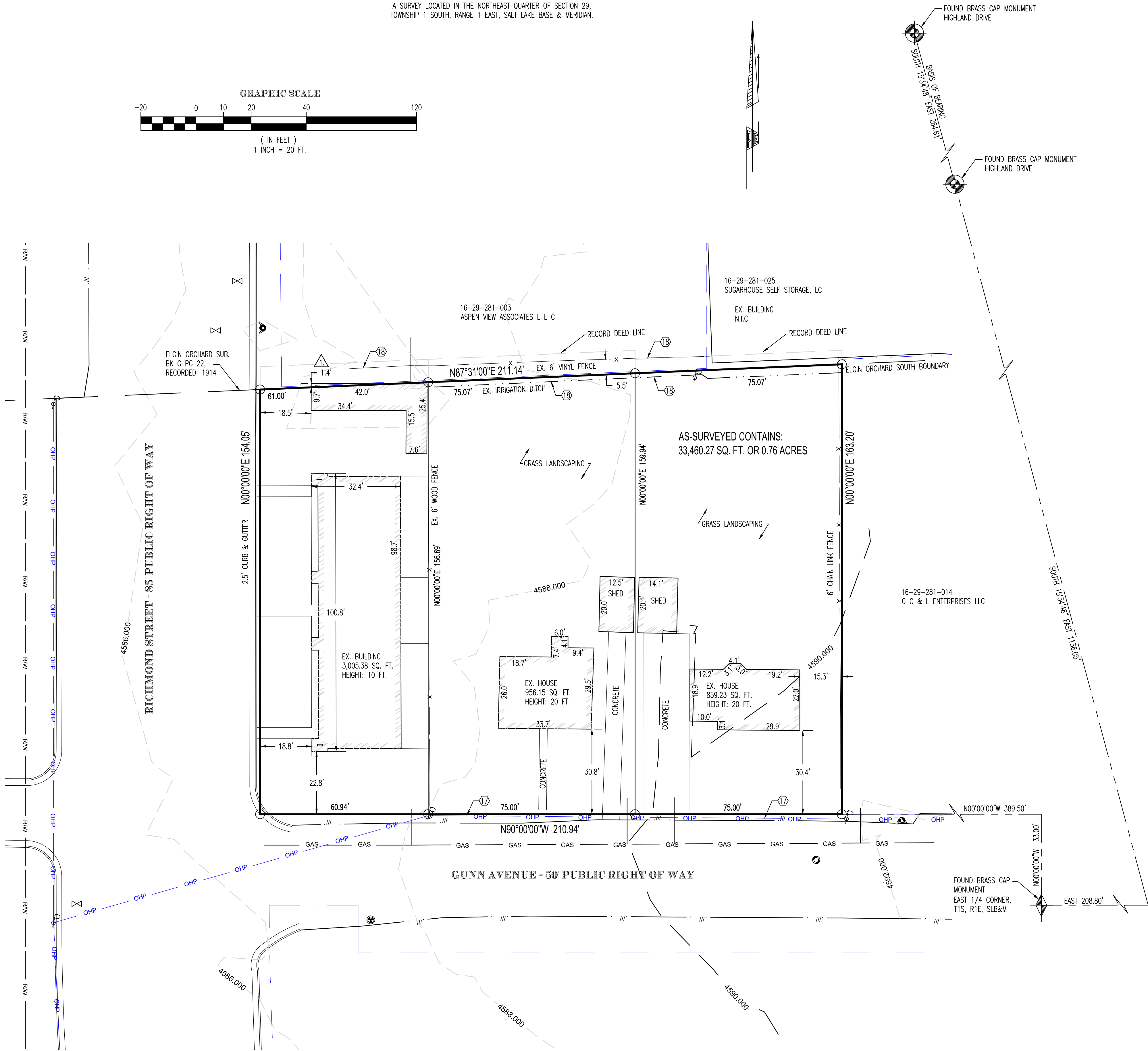
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 49035603030 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 25, 2009 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

VICINITY MAP SCALE 1" = 2000'



ALTA / NSPS LAND TITLE SURVEY

A SURVEY LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN.



RECORD DESCRIPTION

PARCEL 1:
BEGINNING AT A POINT 2 RODS NORTH AND 539.5 FEET WEST OF THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 165 FEET MORE OR LESS TO THE NORTH LINE OF LANDS CONVEYED TO SEVERN NIELSEN BY DEED FROM HENRY JOHNSON DATED JULY 24, 1878, AND RECORDED ON SAID DATE IN BOOK "M" OF DEEDS AT PAGES 964-6; THENCE SOUTH 87.5' WEST 61 FEET, MORE OR LESS TO THE EAST LINE OF RICHMOND STREET, THENCE SOUTH 165 FEET, MORE OR LESS ALONG THE EAST LINE OF SAID RICHMOND STREET TO THE NORTH LINE OF GUNN AVENUE, THENCE EAST ALONG THE NORTH LINE OF SAID GUNN AVENUE 61 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.
PARCEL IDENTIFICATION NUMBER 16-29-281-011

PARCEL 2:
BEGINNING AT A POINT 2 RODS NORTH AND 464.5 FEET WEST FROM THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE WEST 75 FEET; THENCE NORTH 10 RODS, MORE OR LESS TO THE NORTH LINE OF LANDS CONVEYED TO SEVERN NIELSEN BY DEED FROM HENRY JOHNSON DATED JULY 24, 1878, AND RECORDED ON SAID DATE IN BOOK "M" OF DEEDS AT PAGES 964-6; THENCE ALONG SAID LINE DESCRIBED IN SAID DEED, NORTH 87° 30' EAST 75 FEET, MORE OR LESS, TO A POINT DUE NORTH OF BEGINNING; THENCE SOUTH 10 RODS, MORE OR LESS TO THE POINT OF BEGINNING.
PARCEL IDENTIFICATION NUMBER 16-29-281-012.

PARCEL 3:
BEGINNING AT A POINT 33 FEET NORTH AND 389.5 FEET WEST FROM THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE WEST 75 FEET; THENCE NORTH 10 RODS, MORE OR LESS TO THE NORTH LINE OF LANDS CONVEYED TO SEVERN NIELSEN BY DEED FROM HENRY JOHNSON DATED JULY 24, 1878, AND RECORDED ON SAID DATE IN BOOK "M" OF DEEDS AT PAGES 964-6; THENCE ALONG SAID LINE DESCRIBED IN SAID DEED, NORTH 87° 30' EAST 75 FEET, MORE OR LESS TO A POINT DUE NORTH OF BEGINNING; THENCE SOUTH 10 RODS, MORE OR LESS TO THE POINT OF BEGINNING.
PARCEL IDENTIFICATION NUMBER 16-29-281-013.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 84458, DATED SEPTEMBER 16, 2019.

AS-SURVEYED DESCRIPTION

BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF GUNN AVENUE, SAID POINT BEING NORTH 33.00 FEET NORTH AND WEST 389.50 FEET OF THE EAST QUARTER CORNER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE WEST ALONG THE RIGHT OF WAY OF GUNN AVENUE 210.94 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF RICHMOND STREET; THENCE ALONG SAID RIGHT OF WAY NORTH 154.05 FEET TO A POINT ON THE SOUTH LINE OF ELGIN ORCHARD SUBDIVISION; THENCE NORTH 87°31'00" EAST 211.14 FEET, THENCE SOUTH 163.20 FEET TO THE POINT OF BEGINNING.

LINE TABLE

---	EXCEPTION		RAIL ROAD
----	PARKING STRIPE	----	EDGE OF ASPHALT
----	CURB & GUTTER	x	FENCE
----	RIGHT OF WAY		WALL
----	TIES	----	ATLAS PLAT TIES
----	GAS LINE	----	ATLAS PLAT LOT
----	POWER LINE	----	ATLAS PLAT BLOCK
----	SEWER LINE	----	INTERIOR BOUNDARY
----	STORM SYSTEM	----	BOUNDARY
----	WATER LINES	----	BUILDING

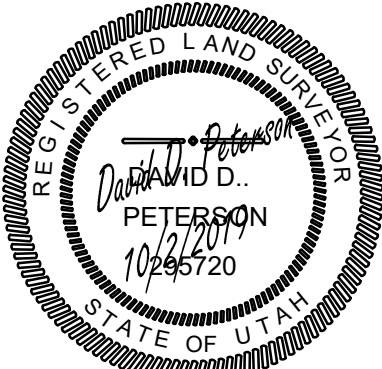
LEGEND OF SYMBOLS AND ABBREVIATIONS

⊙	TEST STATION	⊠	IRRIGATION BOX	☼	SIGHT LIGHT
⊙	POWER POLE	⊠	WATER VALVE	⊙	STORM MANHOLE
⊙	COMM./ELEC. MANHOLE	⊠	FIRE HYDRANT	⊠	STORM INLET
⊙	ELECTRIC METER / BOX	⊠	WATER MANHOLE	⊠	CURB STORM INLET
⊙	CABLE BOX	⊠	WATER METER PIT	⊙	SANITARY SEWER
⊙	WATER METER	⊠	GAS METER	⊙	GAS MANHOLE
⊙	INDICATES HANDICAPPED PARKING	⊠	AIR CONDITIONER UNIT	⊙	CORNER SET
⊙	SCHEDULE B EXCEPTION	⊠	PARKING STALL COUNT	⊙	CORNER NOT SET
⊙	DISTANCE TO NEAREST INTERSECTION	⊠	ACCESS TO PUBLIC RIGHT OF WAY		
⊙	SECTION CORNER	⊠	MONUMENT		

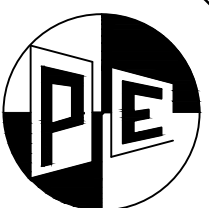
SURVEYOR'S CERTIFICATION

SOLSTICE DEVELOPMENT
1265, 1275, GUNN AVE & 3055 RICHMOND ST.
COMMITMENT NO. 84458
EFFECTIVE DATE: SEPTEMBER 16, 2019
TO: SOLSTICE DEVELOPMENT, FIRST AMERICAN TITLE INSURANCE COMPANY, HANSOL2, LLC.:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6A, 6B, 7A, 7B1, 8, 9, 13, 14, 16, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 11, 2019.

DAVID D. PETERSON
REGISTRATION NO. 295720
IN THE STATE OF UTAH
DATE OF SURVEY: OCTOBER 2, 2019
DATE OF LAST REVISION: NONE



Project #: A-18-001
Drawn: K. Ogilvie
Checked: D. Peterson



PETERSON ENGINEERING, P.C.
CONSULTING ENGINEERS & LAND SURVEYORS
7107 SOUTH 400 WEST #1 MIDVALE UTAH 84047
801-265-8508

SOLSTICE DEVELOPMENT
1275 GUNN AVE

ALTA / NSPS LAND TITLE SURVEY

AUGUST 14, 2025

NO.		REVISIONS	BY	DATE

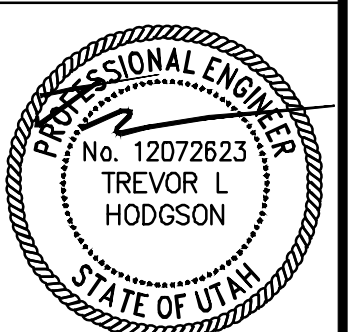
CIVIL ENGINEERING
+ SURVEYING

部

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

VILLA VISTA RESIDENTIAL
1265 EAST VILLA VISTA AVENUE, SALT LAKE CITY, UT 84106

COVER SHEET



SHEET NO.

CV

PROJECT ID: E25-073	DATE: 08/14/25
FILE NAME: PRJ-MVV	SCALE:



LEGEND			
	PROPERTY LINE		EXISTING FIRE HYDRANT
	EASEMENT LINE		PROPOSED FIRE HYDRANT
	PROPOSED GRADE CONTOURS		EXISTING STREET LIGHT
	EXISTING GRADE CONTOURS		PROPOSED STREET LIGHT
	EXISTING CURB		PROPOSED PARKING LOT LIGHT
	PROPOSED CURB AND GUTTER		EXISTING WATER METER
	PROPOSED CURB WALL		EXISTING WATER VALVE
	REVERSE PAN CURB & GUTTER		EXISTING GATE VALVE
	EXISTING SEWER		EXISTING OVERHEAD POWER POLE
	PROPOSED SEWER	TBC	TOP BACK CONCRETE
	EXISTING WATER	FF	FINISHED FLOOR
	PROPOSED WATER	HW	HIGH WATER
	EXISTING FIRE LINE	TOG	TOP OF GRATE
	PROPOSED FIRE LINE	TOL	TOP OF LID
	EXISTING STORM DRAIN	IE	INVERT ELEVATION
	PROPOSED STORM DRAIN	EX	EXISTING
	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
	EXISTING GAS	TA	TOP OF ASPHALT
	PROPOSED GAS	TC	TOP OF CONCRETE
	EXISTING OVERHEAD POWER	EC	EDGE OF CONCRETE
	EXISTING UNDERGROUND POWER	EA	EDGE OF ASPHALT
	PROPOSED UNDERGROUND POWER	TOW	TOP OF WALL
	EXISTING TELEPHONE LINE	TG	TOP OF GRAVEL
	PROPOSED TELEPHONE LINE	TL	TOP OF LANDSCAPING
	EXISTING FIBER OPTIC LINE	TS	TOP OF SIDEWALK
	PROPOSED FIBER OPTIC LINE	PROP	PROPOSED
	PROPOSED CONCRETE		TBC CALLOUT UNLESS OTHERWISE DESIGNATED
	PROPOSED ASPHALT		
	PROPOSED LANDSCAPING		

Legal Description

Tax I.D. 16-29-281-011-0000

Tax I.D 16-29-281-012-0000

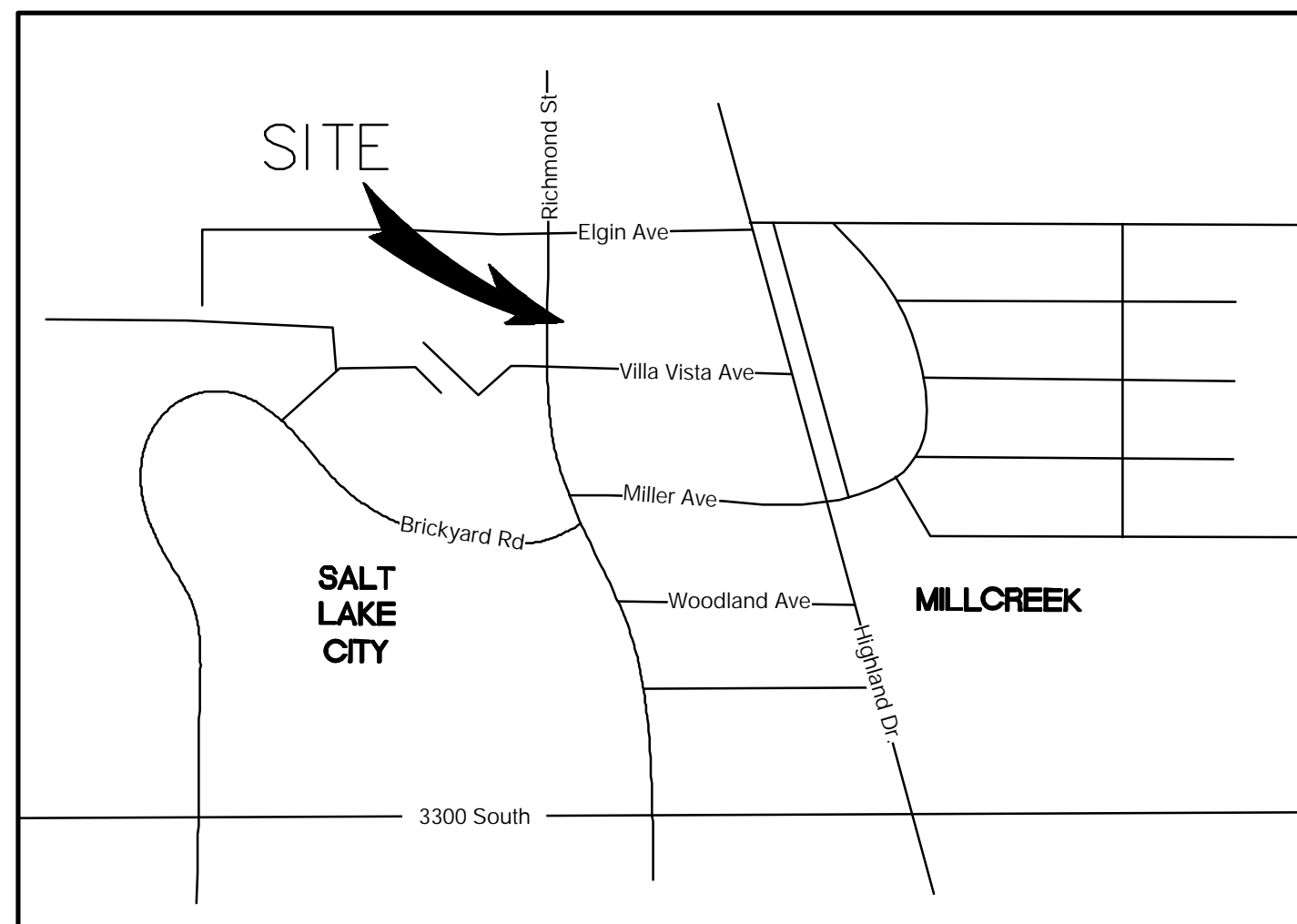
Tax I.D 16-29-'281-013-0000

CIVIL ENGINEER:

CIR
ENGINEERING, L.L.C.
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - PH: 801-949-6296

ARCHITECT:

MINT ARCHITECTURE
7585 SOUTH UNION PARK AVE. STE. 100
SANDY, UT 84047
CONTACT PERSON: JORDAN DEJARNETT
PH: (801) 996-3646



VICINITY MAP
NOT TO SCALE

SHEET INDEX

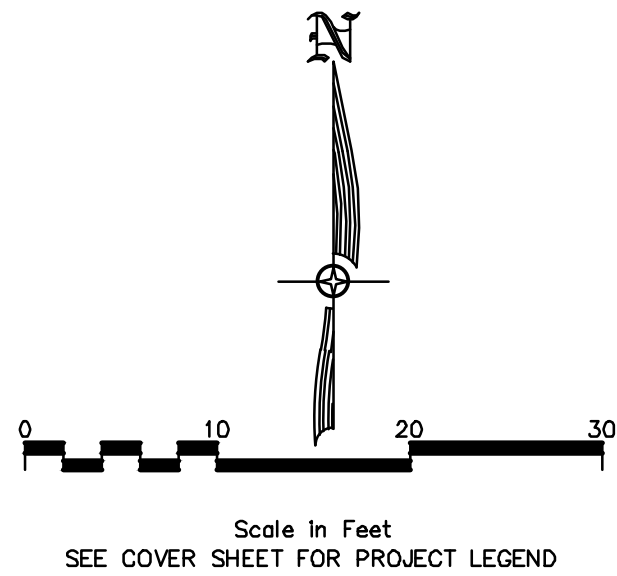
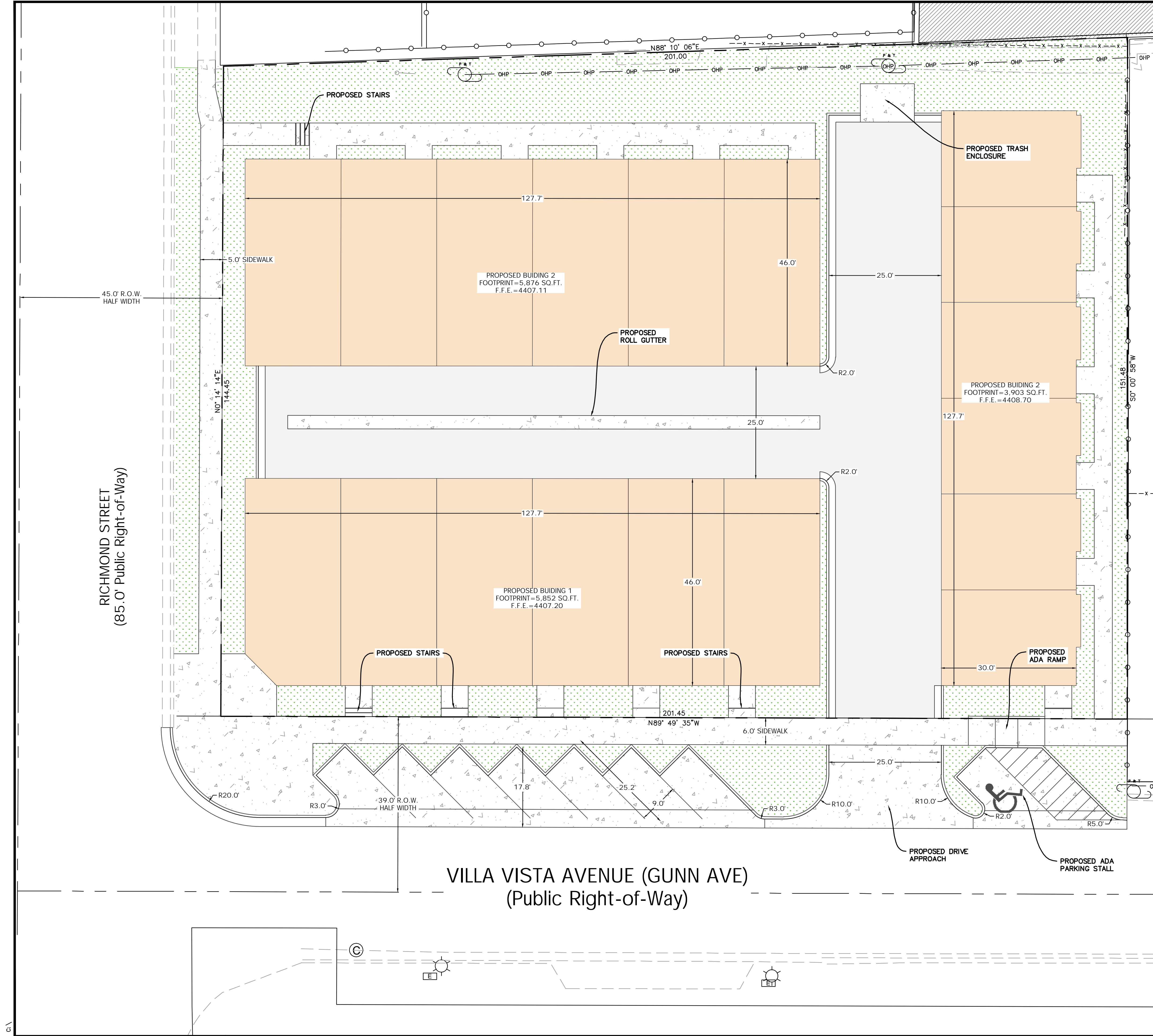
CV	COVER SHEET
C0.1	EXISTING SITE/DEMOLITION PLAN
C1.0	SITE PLAN
C2.0	GRADING & DRAINAGE PLAN
C3.0	UTILITY PLAN

PROJECT CONSTRUCTION NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
4. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
5. ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
6. CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
7. CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT THE LEVEL 1 PARKING F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
8. CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
9. INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
10. INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
11. ALL STORM DRAIN AND WATER PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER CITY AND APWA STANDARDS AND SPECIFICATIONS.
12. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
13. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
14. FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS.
15. ALL WATER LINES TO HAVE A MINIMUM 4' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
16. THRUST BLOCKS TO BE INSTALLED PER APWA PLAN NO'S 561 AND 562. SEE DETAIL SHEETS.
17. CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
18. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
19. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
20. ALL SANITARY SEWER INSTALLATION TO BE DONE PER MT. OLYMPUS IMPROVEMENT DISTRICT'S STANDARDS AND SPECIFICATIONS.
21. ALL WATER LINE AND FIRE LINE INSTALLATION TO BE DONE PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
22. ALL STORM DRAIN INSTALLATION TO BE DONE PER MILLCREEK CITY STANDARDS AND SPECIFICATIONS.

FIRE DEPARTMENT NOTES:

1. FIRE HYDRANTS SHALL BE EQUIPPED WITH ONE 4 1/2" AND 2 1/2" OUTLETS, WHICH HAS NATIONAL STANDARD THREADS (NST).
2. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE CENTER LINE OF THE LOWEST CAP, NUT SHALL NOT BE CLOSER THAN 18" FROM THE FINISHED GRADE.
3. FIRE HYDRANTS SHALL HAVE THE 4 1/2" BUTT FACING THE FIRE ACCESS ROADWAY.
4. UNDERGROUND PIPING SHALL BE TESTED AT 200 PSIA FOR TWO HOURS. TEST CERTIFICATE SHALL BE PROVIDED TO FIRE DEPARTMENT OFFICE.
5. BURNING OF TRASH, SCRAP WOOD OR OTHER MATERIALS IS A VIOLATION OF CITY ORDINANCE.
6. A 3 FOOT CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE EQUIPMENT TO INCLUDE, BUT NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION CONTROL VALVES.
7. ALL FIRE HYDRANTS SHALL BE COLOR CODED AND BE DIRECTED BY PUBLIC UTILITIES AS TO THE COLOR AND SHADE OF THE HYDRANT BONNET.
8. FIRE HYDRANTS SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT THE BASE INLET OF THE FIRE HYDRANT.
9. FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE FOUNDATION AND WALLS OF ANY STRUCTURE. FIRE HYDRANTS SHALL BE ACCESSIBLE, OPERATIONAL AND MAINTAINED IN THAT CAPACITY.
10. WATER LATERALS WHICH ARE 16 FOOT IN LENGTH OR LONGER SHALL BE PROVIDED WITH CONTROL VALVES AT THE TAP OF THE WATER MAIN AND AT THE FIRE HYDRANT.
11. ALL LATERALS WHICH SUPPLY WATER BASED FIRE PROTECTION SHALL BE FERROUS PIPE WHEN PASSING UNDER OR THROUGH FOOTINGS OR FOUNDATION WALLS.
12. FIRE LANE MARKINGS AND SIGNS TO BE INSTALLED AS DIRECTED BY FIRE MARSHALL.



LOT AREAS:

LOT	SQ. FT.	/	ACRES.
BUILDING FOOTPRINT	29,765	/	0.683
ASPHALT	15,631	/	0.359
LANDSCAPING	5,912	/	0.136
CONCRETE	5,671	/	0.130
	2,551	/	0.059

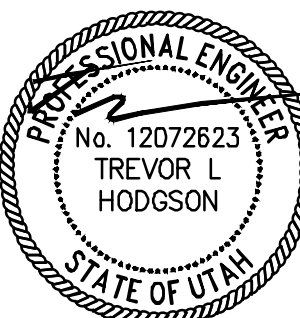
LOT PARKING REQUIREMENTS:

	UNITS	CITY REQ'T
MULTI-HOUSEHOLD DWELLING	18	36
VISITOR PARKING	18	5
TOTAL REQUIRED	41	
TOTAL PROVIDED	44	
ACCESSIBLE SPACES	1	(1 REQ'D 1 TO 25)
BICYCLE SPACES	10	2 SPACES PER 4 UNITS

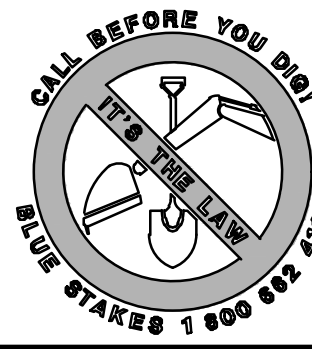
RICHMOND STREET
(85.0' Public Right-of-Way)

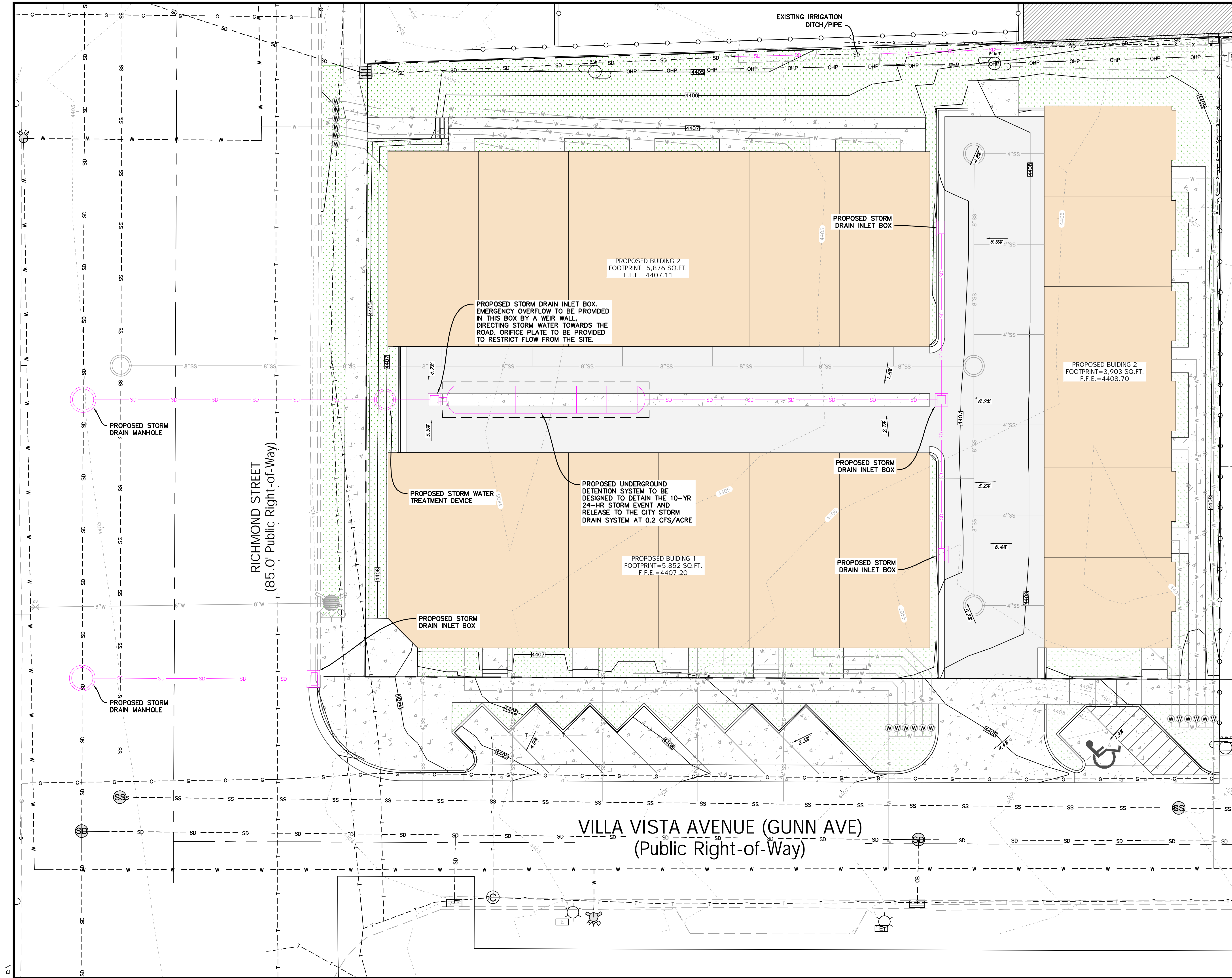
VILLA VISTA AVENUE (GUNN AVE)
(Public Right-of-Way)

VILLA VISTA RESIDENTIAL
1265 EAST VILLA VISTA AVENUE, SALT LAKE CITY, UT 84106
SITE PLAN



SHEET NO.
C1.0
PROJECT ID: E25-073
DATE: 08/14/25
FILE NAME: PRJ-MVV
SCALE: 1"=10'





Scale in Feet
SEE COVER SHEET FOR PROJECT LEGEND

LAND DISTURBANCE NOTE:
A LAND DISTURBANCE AND GRADING PERMIT MUST BE OBTAINED FROM MILLCREEK PRIOR TO DISTURBING ANY VEGETATION OR MOVING MORE THAN ANY SOIL GREATER THAN 1' OF DEPTH OR AREAS OVER 1-ACRE.

CIVIL ENGINEERING + SURVEYING	
10718 SOUTH BECKSTEAD LANE, STE. 102 SOUTH JORDAN, UT 84095 - 801-949-0296	
NO.	REVISIONS
BY	DATE
DESIGNER: TLH PROJECT ENGINEER: TLH	

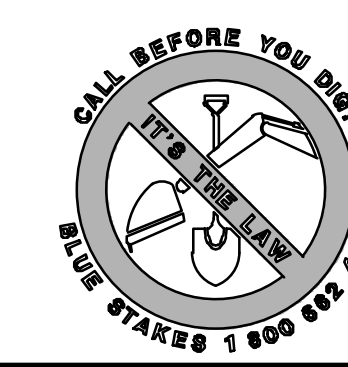
VILLA VISTA RESIDENTIAL
1265 EAST VILLA VISTA AVENUE, SALT LAKE CITY, UT 84106

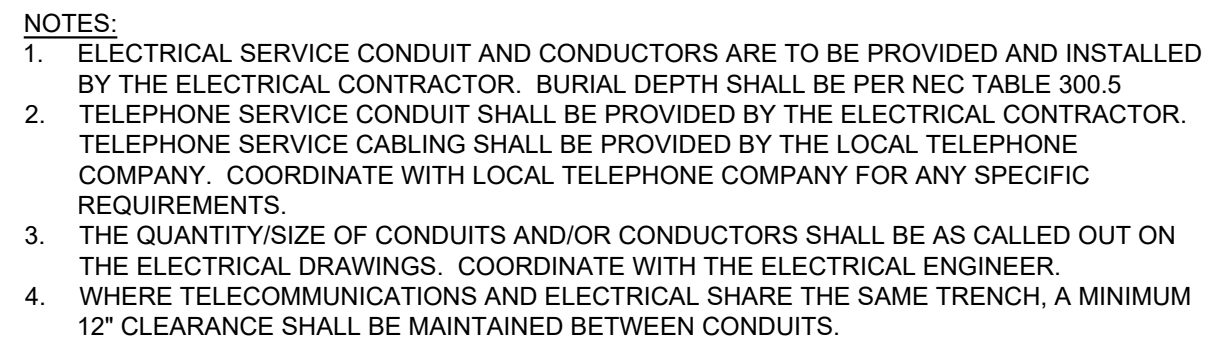
GRADING & DRAINAGE PLAN

PROFESSIONAL ENGINEER
No. 12072623
TREVOR HODGSON
STATE OF UTAH

SHEET NO. C2.0

PROJECT ID: E25-073 DATE: 08/14/25
FILE NAME: PRJ-MVV SCALE: 1"=10'





4
E001

7585 S UNION PARK AVE., STE 100
SANDY, UT 84047
PHONE: 801.995.3546
www.buildwithmint.com



MS, NF / ES

[illegible]

VILLA VISTA RESIDENTIAL
Approx. 1250 E Villa Vista Avenue
Salt Lake City, Utah 84106

SHEET

E001



#	KEYED NOTES
1.	PROVIDE A NAME PLATE ON EACH ELECTRICAL PANEL AND SERVICE DISCONNECT WITH AVAILABLE FAULT CURRENT AND DATE WHICH THE CALCULATIONS WERE PERFORMED (05/22/25) PER NEC 110.24.
2.	ALL UNIT PANELS WITHIN 70'-0" OF MODULAR METER BANK "MME-(1,2,3)" TO BE RATED AT 22,000 AIC.
3.	WHERE A HOUSE PANEL IS REQUIRED, PROVIDE A METER AND NEMA 3R RATED PANEL WITH A LOCKABLE COVER NEXT TO THE METERING EQUIPMENT. REFER TO THE SITE PLAN FOR MORE INFORMATION.
	GENERAL NOTES
A.	COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.
B.	VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.
C.	MANUFACTURER/REC TO PROVIDE AN ADL ALTERNATE PRICE TO INCLUDE AN ARC FLASH STUDY IF/WHEN A STUDY IS REQUIRED.



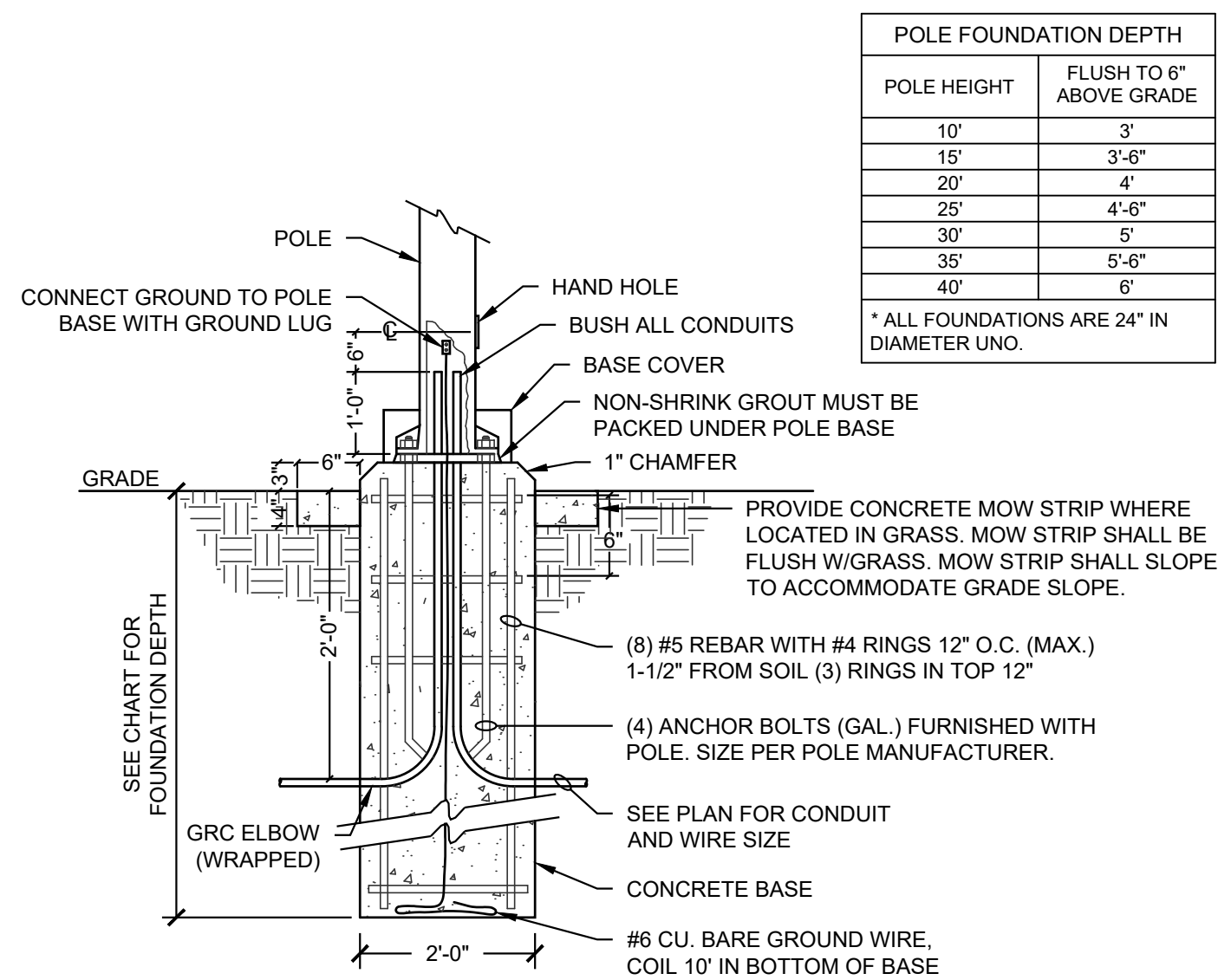
Typical Unit B	2550 sf
General Lighting	7650 VA
Small Appliance	3000 VA
Laundry	1500 VA
Range	8000 VA
Electric Vehicle Charger	7200 VA
Dryer	5000 VA
	32350 VA
1st 10KVA at 100%	10000 VA
Remaining at 40%	8940 VA
	18940 VA
Electric Heat	9421 VA
Total Dwelling Unit Load	28361 VA
	136.4 Amps

Meter Bank (MM3)	
(per Optional Calc.NEC 220.84)	
Unit A	6 units
Unit B	0 units
Total	6 units
General Lighting	36450 VA
Small Appliance	18000 VA
Laundry	9000 VA
Range	48000 VA
EV Vehicle Charger	45000 VA
Dryer	30000 VA
HVAC	51804 VA
	238254 VA
6 Units Total	
Demand per NEC Table 220-84	0.44 %
	104831.76 VA
Apartments @ 1 ph, 120/240V	436.8 Amp
Size Service for 600Amps, 120/240V, 1 Phase	

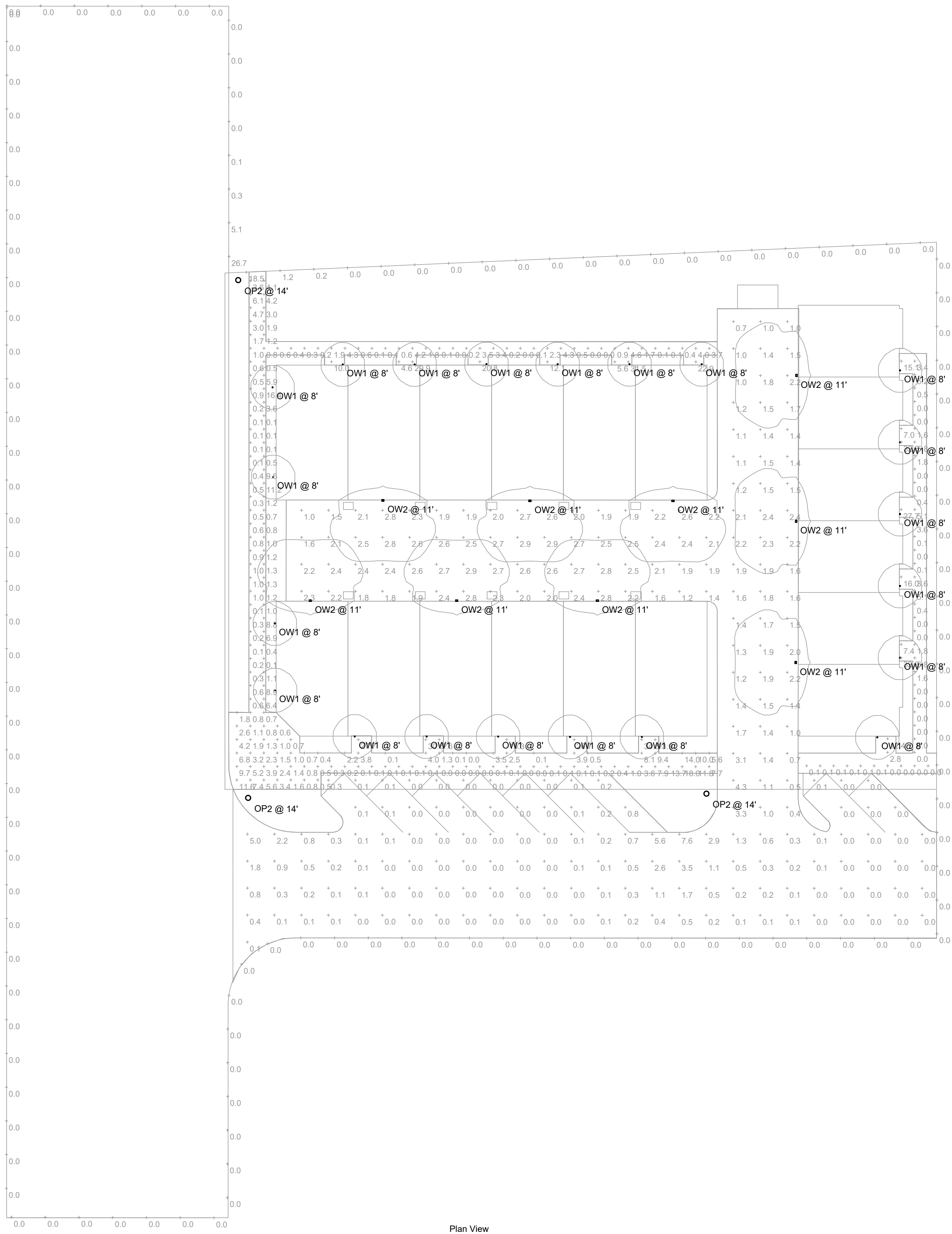
#	KEYED NOTES
	CITY STREET LIGHT TO BE VERIFIED WITH THE MILLCREEK CITY STREETS DEPARTMENT.

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Input Power
	OW2	9	Lithonia Lighting	WDGE2 LED P2 40K 70CRI T4M	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 4 MEDIUM OPTIC	1	2278	18.9815
	OW1	21	v2 Lighting Group, Inc. www.v2LightingGroup.com		AQUA 300, 40 degree reflector	1	1300	11.9
	OP2	3	Cyclone Lighting	CLE1T74D-FGC-T2-P70-40K	Azalea	1	10938	110.9

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	0.4 fc	26.7 fc	0.0 fc	N/A	N/A
Walkway A	+	3.7 fc	34.6 fc	0.0 fc	N/A	N/A
Walkway B	+	4.1 fc	32.8 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.1 fc	7.6 fc	0.0 fc	N/A	N/A



ES001 NO SCALE



ES001 SCALE: 1" = 20'-0"

7585 S UNION PARK AVE., STE 100
SANDY, UT 84047
PHONE: 801.995.3646
www.buildwithmint.com



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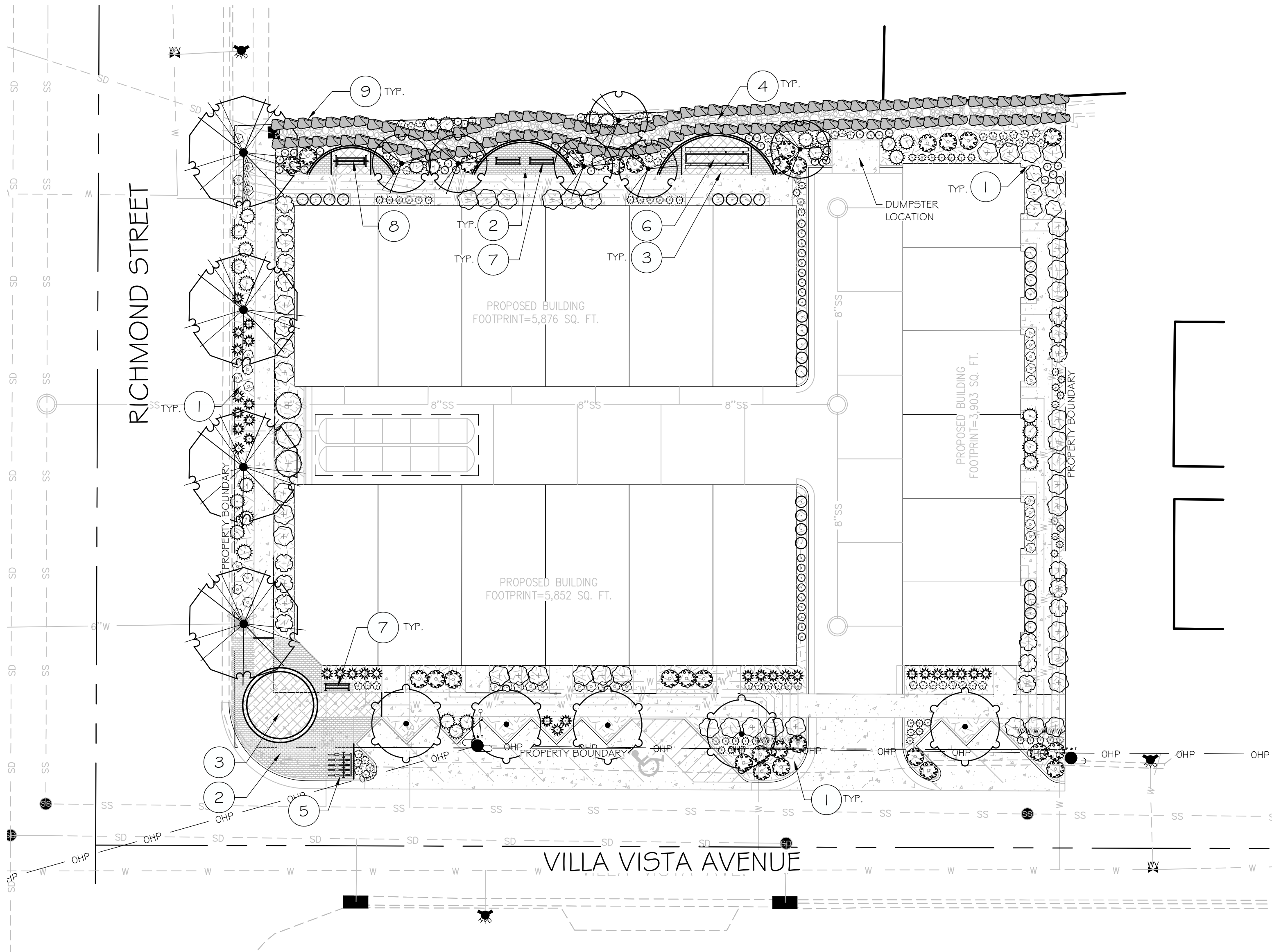
VILLA VISTA RESIDENTIAL
Approx. 1250 E Villa Vista Avenue
Salt Lake City, Utah 84106

ISSUE DATE

PHOTOMETRIC SITE PLAN

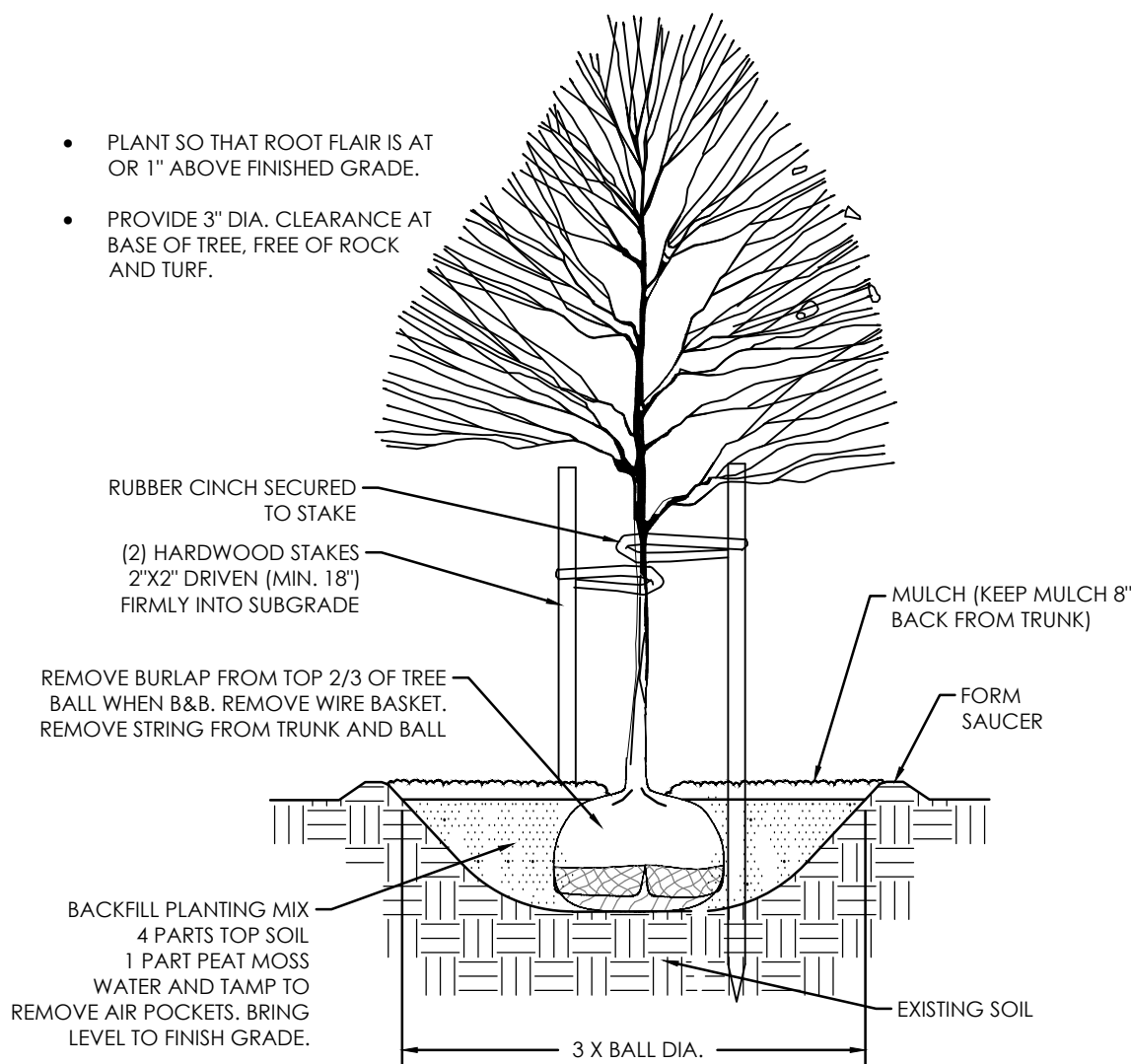
SHEET

ES001

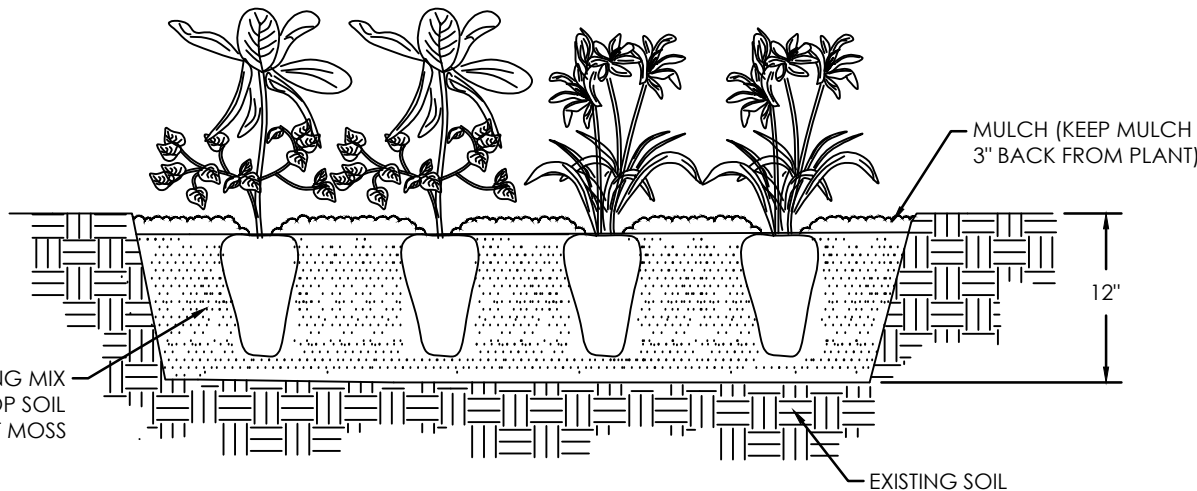


LANDSCAPE NOTES

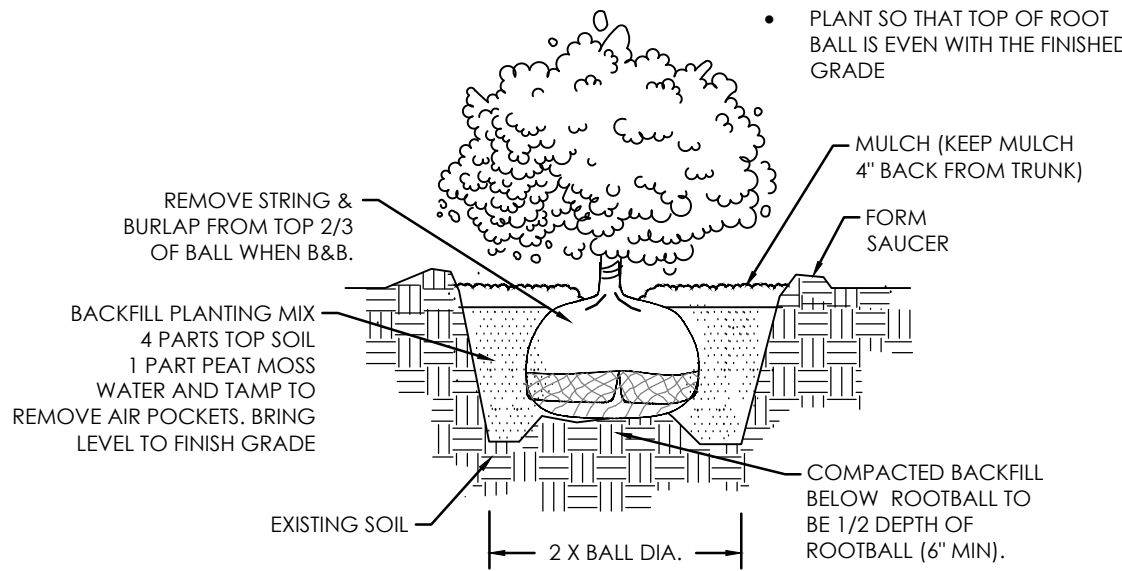
1. TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF ROCK TYPE(S) SPECIFIED IN THE REFERENCE NOTE SCHEDULE. PLACE ROCK OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
2. CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL AS HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNERS REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
4. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.



A TREE PLANTING & STAKING
NOT TO SCALE



B PERENNIAL PLANTING
NOT TO SCALE



C SHRUB PLANTING
NOT TO SCALE

PLANT SCHEDULE VILLA VISTA RESIDENTIAL

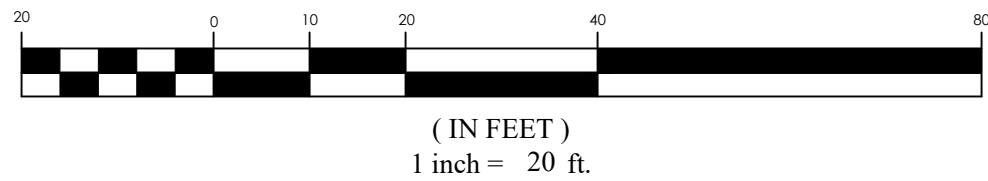
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES					
	AG	Acer gnseum	Paperbark Maple	1.5" Cal.	5
	CO	Cercis occidentalis	Western Redbud	1.5" Cal.	6
	GS	Gleditsia tracanthos inermis 'Skycole'	Skyline Money Locust	1.5" Cal.	4
SHRUBS					
	BTC	Berbens thunbergii 'Rose Glow'	Rose Glow Barberry	5 gal.	5
	DR	Daphne cneorum 'Ruby Glow'	Ruby Glow Garland Daphne	2 gal.	54
	MAC	Mahonia aquifolium 'Compacta'	Compact Oregon Grape	5 gal.	25
	PMM	Pinus mugo 'Mops'	Mops Mugo Pine	5 gal.	30
	RMW	Rosa Meidland 'White'	White Meidland Rose	5 gal.	30
	SBA	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Bumald Spiraea	5 gal.	18
	ST	Spiraea x vanhouttei	Bridal Wreath Spirea	5 gal.	3
	TD	Taxus x media 'Densiformis'	Dense Anglo-Japanese Yew	5 gal.	43
ORNAMENTAL GRASSES					
	HSS	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.	32
	PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 gal.	54
	FAH	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 gal.	50
PERENNIALS					
	LAM	Lavandula angustifolia 'Munstead'	Munstead English Lavender	1 gal.	35

REFERENCE NOTES SCHEDULE VILLA VISTA RESIDENTIAL

SYMBOL	CODE	DESCRIPTION	QTY
	1	WOOD MULCH	5,766 sf
	2	PAVERS	793 sf
	3	STAMPED COLORED CONCRETE	649 sf
	4	DECORATIVE COBBLE	1,081 sf
	5	BIKE RACK	1
	6	TABLE	1
	7	BENCH	3
	8	TWO PERSON COVERED SWING	1
	9	BOULDER	114



GRAPHIC SCALE



VILLA VISTA RESIDENTIAL MILLCREEK CITY, UTAH LANDSCAPE PLAN

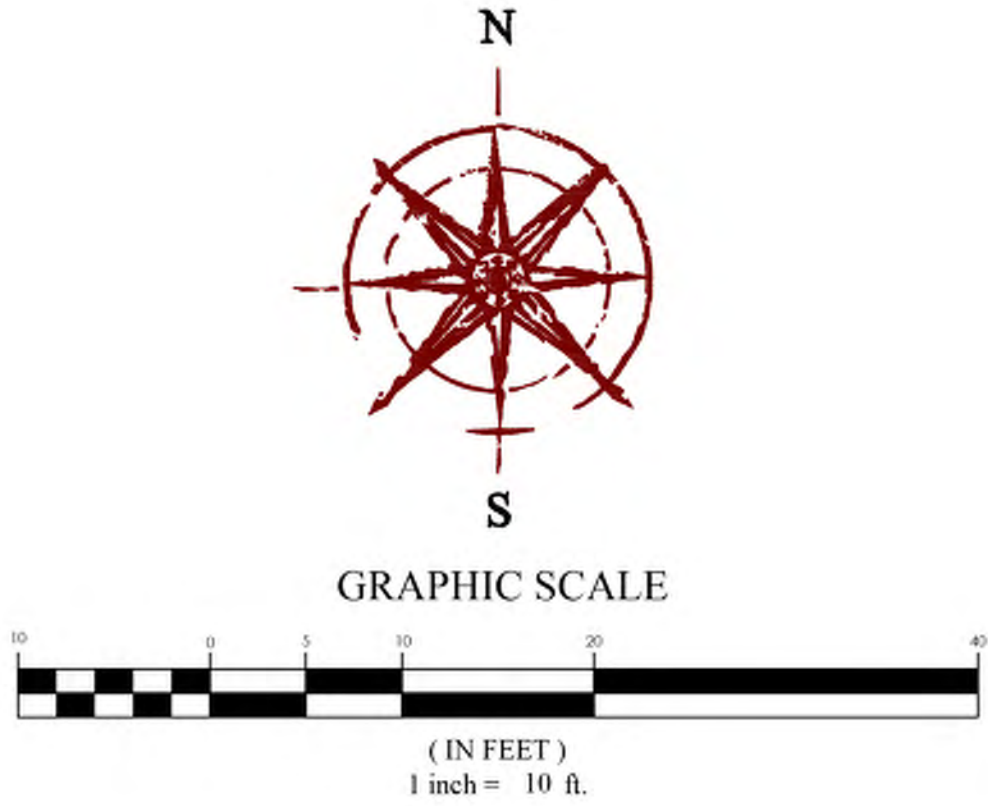
REVISION BLOCK		DESCRIPTION
#	DATE	
1	08/14/2025	1.0
2		
3		
4		
5		
6		

LANDSCAPE PLAN

Scale: 1"=20'
Date: 08/14/2025
Job #: 25-0159

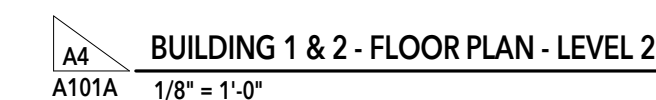
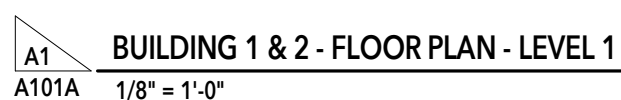
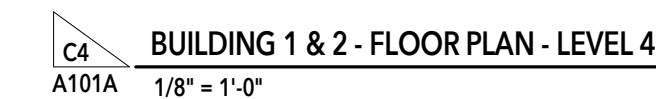
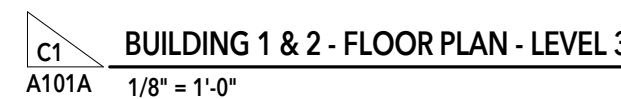
Sheet: L1.0

FOR
REVIEW
ONLY



VILLA VISTA RESIDENTIAL

MILLCREEK CITY, UTAH
8/14/2025
25-0159



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EAST ELEVATION EXTERIOR MATERIAL LEGEND

BRICK COLOR 1 1,161 SF (55%)	HARDIE BOARD PANEL 393 SF (19%)	GLAZING 384 SF (18%)
	HORIZONTAL SIDING PANEL 195 SF (9%)	

SOUTH ELEVATION EXTERIOR MATERIAL LEGEND

BRICK COLOR 1 937 SF (19%)	HARDIE BOARD PANEL 486 SF (10%)	GLAZING 1,015 SF (20%)
BRICK COLOR 2 2,106 SF (42%)	HORIZONTAL SIDING PANEL COLOR 1 472 SF (9%)	HORIZONTAL SIDING PANEL COLOR 2 472 SF (9%)

WEST ELEVATION EXTERIOR MATERIAL LEGEND

BRICK COLOR 1 1,161 SF (54%)	HARDIE BOARD PANEL 393 SF (19%)	GLAZING 384 SF (18%)
	HORIZONTAL SIDING PANEL 195 SF (9%)	

NORTH ELEVATION EXTERIOR MATERIAL LEGEND

BRICK COLOR 1 404 SF (9%)	HARDIE BOARD PANEL COLOR 1 735 SF (17%)	GLAZING 495 SF (11%)
BRICK COLOR 2 331 SF (8%)	HARDIE BOARD PANEL COLOR 2 1,541 SF (35%)	HORIZONTAL SIDING PANEL COLOR 1 559 SF (13%)
	STANDING SEAM ROOF SYSTEM 34 SF (1%)	HORIZONTAL SIDING PANEL COLOR 2 266 SF (6%)

BUILDING 1 & 2 - EAST ELEVATION

BUILDING 1 & 2 - SOUTH ELEVATION

BUILDING 1 & 2 - WEST ELEVATION

BUILDING 1 & 2 - NORTH ELEVATION

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE	DRAWN BY
					DC

DRAWN BY	
Author	
REV.	DATE
REV.	DESCRIPTION
#	
ISS.	DATE
MARK	ISSUE

VILLA VISTA TOWNHOMES
1265 East Villa Vista Avenue
Midvale, UT 84106

DEVELOPER APPROVAL
DATE
SIGNATURE

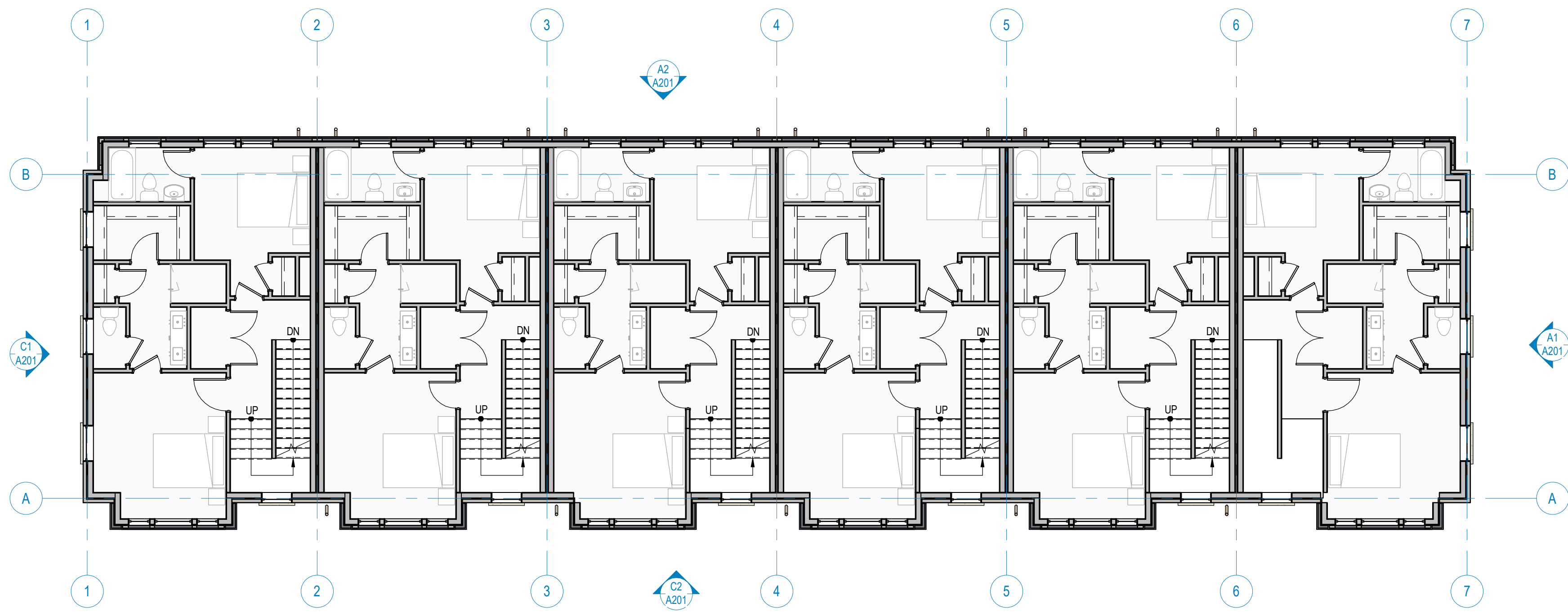
NOT FOR CONSTRUCTION

ISSUE DATE
08.08.25

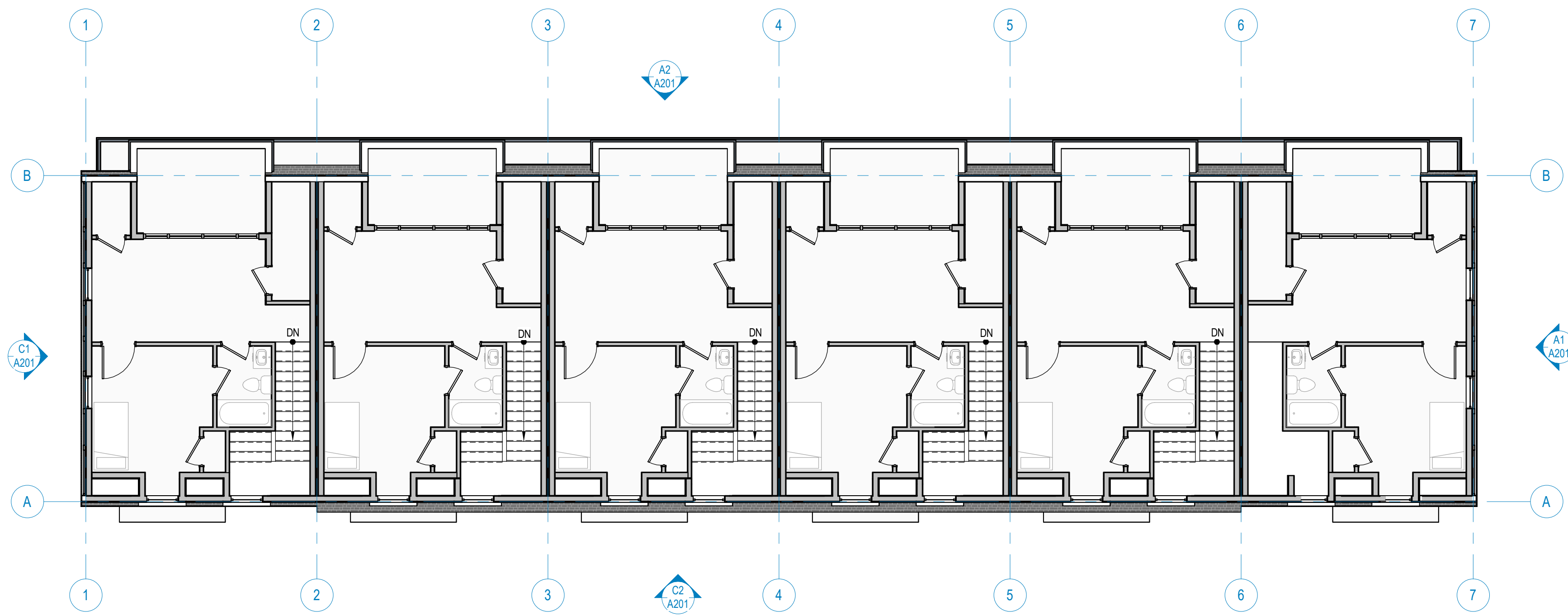
BUILDING 3
FLOOR PLANS

SHEET

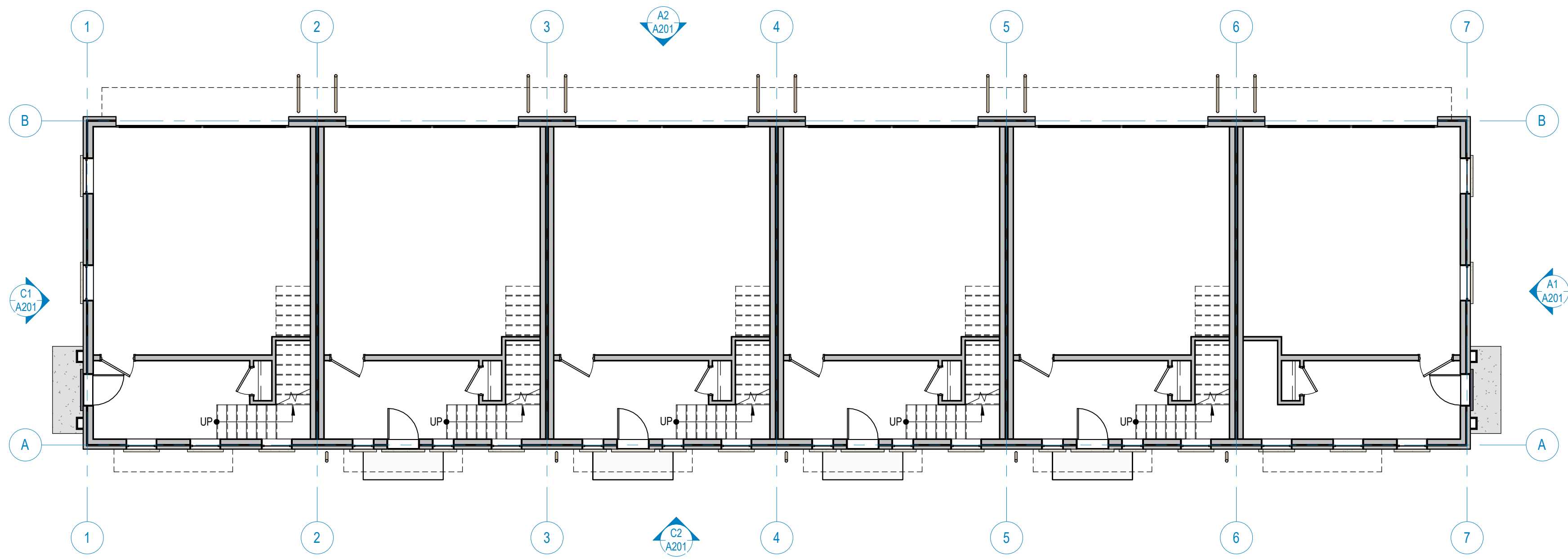
A101



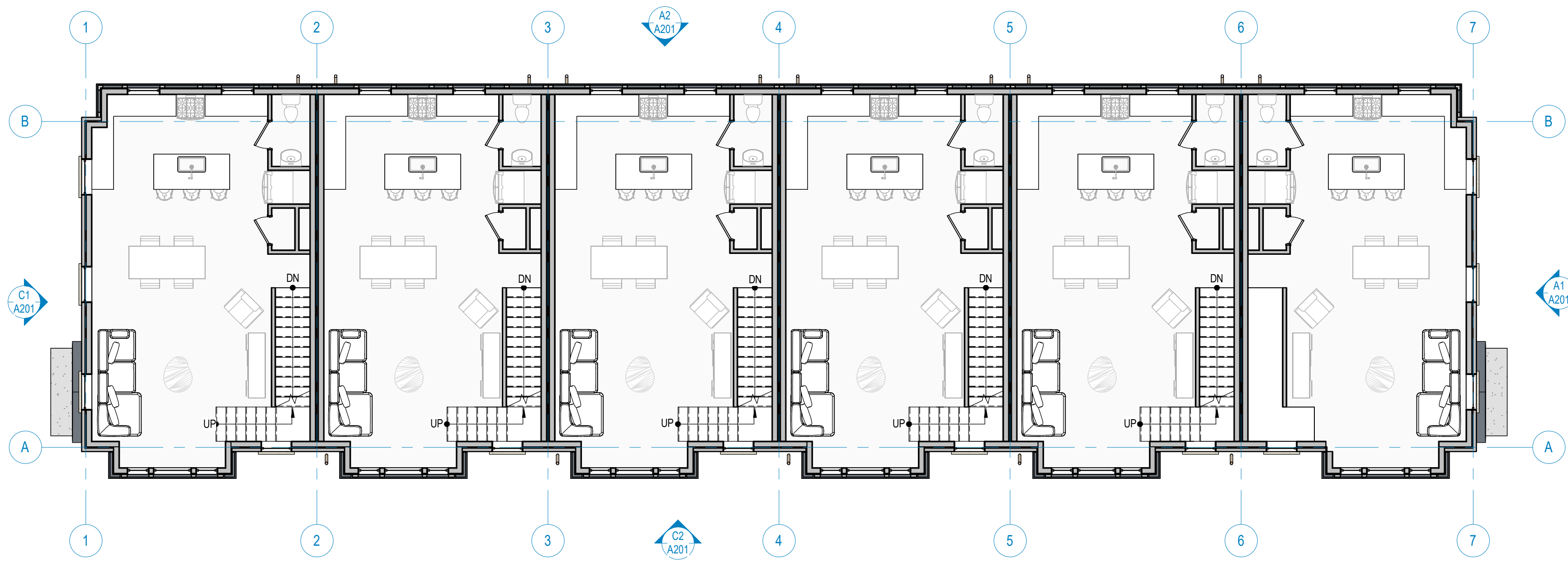
C1 BUILDING 3 - FLOOR PLAN - LEVEL 3
A101 1/8" = 1'-0"



C4 BUILDING 3 - FLOOR PLAN - LEVEL 4
A101 1/8" = 1'-0"



A1 BUILDING 3 - FLOOR PLAN - LEVEL 1
A101 1/8" = 1'-0"

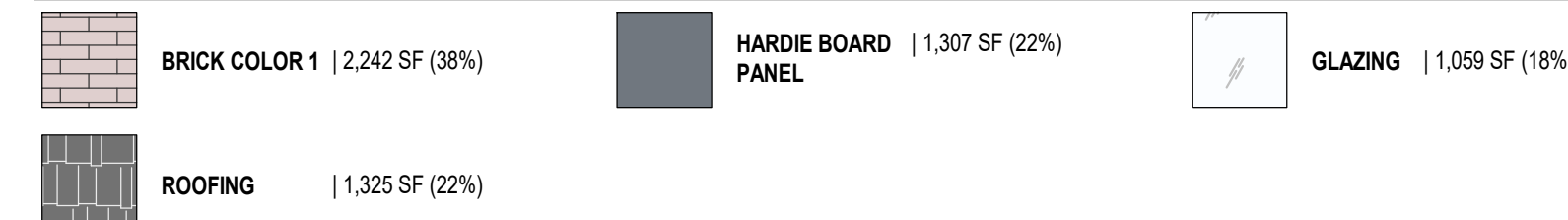


A4 BUILDING 3 - FLOOR PLAN - LEVEL 2
A101 1/8" = 1'-0"

EAST ELEVATION EXTERIOR MATERIAL LEGEND



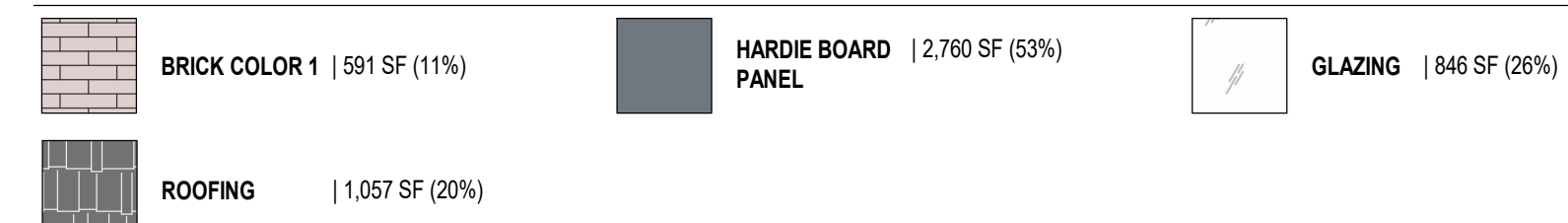
SOUTH ELEVATION EXTERIOR MATERIAL LEGEND



WEST ELEVATION EXTERIOR MATERIAL LEGEND



NORTH ELEVATION EXTERIOR MATERIAL LEGEND



DRAWN BY	
DC	
REV.	DATE
REV.	DESCRIPTION
#	
ISS.	DATE
MARK	ISSUE DESCRIPTION











**Minutes of the
Millcreek Planning Commission
August 11, 2025
6:00 p.m.
Special Work Meeting**

The Planning Commission of Millcreek, Utah, met in a special public work meeting with the Millcreek City Council on August 11, 2025, at City Hall, located at 1330 E. Chambers Avenue, Millcreek, UT 84106. The meeting was recorded for the City's website and had an option for online public comment.

PRESENT:

Council Members

Jeff Silvestrini, Mayor (excused)
Silvia Catten, District 1
Thom DeSirant, District 2
Cheri Jackson, District 3
Bev Uipi, District 4

City Staff

Mike Winder, City Manager
Elyse Sullivan, City Recorder
Francis Lilly, Assistant City Manager
John Brems, City Attorney
Kurt Hansen, Facilities Director
Rita Lund, Communications Director
Carlos Estudillo, Planner
Kayla Mayers, Promise Program Director

Planning Commissioners: Diane Soule, Dwayne Vance, Christian Larsen, Nils Per Lofgren, Shawn LaMar, Victoria Reid (electronic)

Attendees: Peter Frost, James Alfandre, Jordan Dejarnett, Chief Petty-Brown, Laura Renshaw, Jory Walker

WORK MEETING – 6:00 p.m.

TIME COMMENCED: 6:02 p.m.

Mayor Pro Tempore Uipi called the work meeting to order.

1. Joint Planning Commission Meeting:

Francis Lilly said there are currently two projects subject to the City Center Overlay Development Agreement Zone (CCOZ-DA) concept, the Villa Vista project and the Millcreek Common East project. As part of the required process, both projects will participate in informal meetings with the Planning Commission and City Council. These meetings, consistent with past practice, are intended to gather initial impressions and provide early guidance to the applicants as they prepare formal submissions. The Villa Vista project is expected to submit its application soon, in time for the September meetings, while the Millcreek Common East project is anticipated to follow with its application the following month.

Carlos Estudillo gave an overview of the CCOZ-DA process. The process provides an opportunity for properties within the zone to pursue flexible development options that may not strictly align with underlying code requirements. A development agreement must be recommended by the Planning Commission and approved by the City Council, and applicants must meet specific public benefit criteria to qualify. The agreement serves as a tool to enable enhanced design or features not explicitly addressed in the code, provided that the proposal delivers clear public benefits. To qualify, a project must meet at least one of several public benefit standards, such as offering enhanced open space (minimum 1,000 square feet or 10% of the lot area), providing publicly accessible parking (at least 100 spaces), or including affordable housing (a minimum of 20% of units priced at or below 80% of the area median income, along with qualification for incentives under the city's affordable housing ordinance). Notably, requests involving signage or building height alone are not eligible for development agreements.

The process begins with a pre-application phase, which includes a neighborhood meeting (with residents within 600 feet), a community council meeting (such as the Millcreek Community Council), and a joint work session with the Planning Commission and City Council. This phase is designed to gather input, identify potential concerns, and lay the groundwork for a formal application. Following the pre-application, the formal process includes review by the community council, a public hearing and recommendation from the Planning Commission, and review and adoption by the City Council. Applicants must submit a schematic site plan and address any reasonably anticipated detrimental effects, such as those related to land use conflicts.

Development agreements may incorporate design enhancements that serve as alternatives to code-based requirements, including facade modulation, roofline variation, additional open space, balconies, upper-story transparency, diagonal building corners, and architectural treatments that improve the street experience. These enhancements must adequately mitigate potential impacts and align with city goals to qualify for approval.

a. The Villa Vista Rowhome Development

James Alfandre and Jordan Dejarnett, developers, said with its strong walkability and vibrant energy, the site for this project was deemed particularly well-suited for townhomes and homeownership. The 18 townhomes featuring three- and four-bedroom units and two-car garages are designed to appeal to families.

Estudillo showed the council renderings of the building elevations. He said the proposed development is a row house-style townhome project, which differs from the typical mixed-use or apartment-style buildings anticipated in the City Center Overlay Zone. That overlay contains architectural requirements, such as step-backs and facade articulation, designed primarily for larger, taller buildings to avoid monolithic appearances. To align more closely with the intent of the overlay zone while accommodating the distinct characteristics of townhomes, the applicant has introduced a design featuring predominantly brick facades with varied colors to enhance visual interest.

Located at the corner of Villa Vista and Richmond, the project includes a required public plaza and chamfered corner treatment, which has been addressed in the building elevations.

Notably, corner units in Buildings 1 and 2 incorporate brick elements to meet overlay requirements for residential design standards. The townhomes range up to four stories with a maximum height of approximately 46 feet, triggering the need for an additional conditional use permit due to the building height.

The need for a development agreement arises because the current code lacks specific guidance for townhome-style developments in this area. Existing requirements, such as 50% ground-floor window glazing and upper-level step-backs, are not easily compatible with row house designs. As the project moves forward through review by the community council, Planning Commission, and City Council, key considerations will include how to appropriately adapt or waive certain architectural standards, such as step-backs and glazing, to better suit the unique characteristics of this townhome product while still achieving the intent of the City Center Overlay.

Lilly said from staff's perspective, this project supports broader goals of diversifying the housing mix within Millcreek's City Center. A successful city center cannot consist solely of renter-occupied multifamily units or exclusively townhomes; rather, it should reflect a balanced variety of housing types, as outlined in the City Center Master Plan. Notably, this site was previously entitled for a 75-unit, 72-foot-tall multifamily building. In contrast, the proposed townhome development offers a different residential form that contributes to architectural variety and visual interest, particularly along the Villa Vista streetscape. While certain design deviations such as reduced step-backs will need to be addressed through a development agreement, staff does not object to such an agreement in this case, as the project aligns with General Plan goals and introduces a distinctive, ownership-oriented housing option within the evolving city center.

Mike Winder said "townhome" and "rowhome" terms can be used interchangeably. Alfandre said the homes would not be starter or luxury homes.

Council Member DeSirant expressed concern about owner occupancy. Alfandre said the units would be designed for owner occupancy. John Brems asked if the developer had any objections to a deed restriction. Alfandre said the only deed restrictions he knew of came with a public benefit. Council Member Jackson asked about a plaza. Estudillo highlighted where one would be.

Commissioner Larsen recommended an English basement to allow for an internal accessory dwelling unit. Alfandre said that had not been considered. Council Member Jackson asked about live/work units. Alfandre said there would be four.

Commissioner Soule asked about the neighborhood meeting input. Alfandre said a lot of comments were about the irrigation ditch, and the developers are working with the ditch master. Commissioner Reid asked about balconies or stepbacks to break up the building. Alfandre said there were architectural variations done to the façade. Commissioner Vance asked about the stepbacks of the previously approved project for the site. Lilly said those stepbacks were 20 feet.

b. Millcreek Common East (Hotel, Condominium, Retail, Shared Parking)

Lilly said Millcreek Common East refers to the area currently occupied by a parking lot and the SLC gym. As part of a proposed redevelopment, the project team is exploring ways to reconfigure property ownership and incorporate existing tenants like the Fine Art Inn into the new space. The development aligns with the City Center Master Plan, which emphasizes walkability, reduced internal traffic, and public access to parking. A key component is a 221-stall publicly accessible parking structure, designed based on a shared parking analysis estimating 180 needed stalls, with additional capacity for overflow parking. Due to the structure's footprint and design constraints, development around it, particularly along Highland Drive, will require careful planning to maintain flexibility in use and massing. The Master Plan also encourages mixed uses, highlighting hotels as important to Utah's tourism economy and advocating for cultural elements like museums and art galleries. The proposed project includes owner-occupied condominiums, a hotel, and retail space, all of which support these goals. Key development agreement items include modifying building step-backs and setbacks along Millcreek Common and formalizing the shared parking arrangement. In exchange for these adjustments, the developer in partnership between the city, a hotel operator, and a condominium developer will deliver enhanced parking, upgraded materials, improved building design, a plaza on Millcreek Common and Chambers Avenue, and a prominent blade sign serving as an entry monument to the area.

Winder said the proposed development at Millcreek Common East involves a phased plan coordinated with the completion of a shared parking structure, expected by June 2026. Until then, temporary parking lots to the north and east are in use, with the eastern lot slated for development starting July 1, 2026. The first phase includes relocating Fine Art Inn Art Gallery, a longstanding local business, to a temporary space near the old city hall by the end of 2025. In early 2026, the adjacent SLC Strength & Conditioning gym—owned by Hamid Adib—will be renovated as part of a contribution to the broader project. This will enable construction of three key components starting mid-2026: a Hyatt Studios hotel on the corner, a centrally located public parking garage, and a condominium and retail building along the common. Outbuildings behind the site will be removed to allow surface parking for SLC Strength, and once complete—anticipated in summer 2028—Fine Art Inn will return as a permanent tenant in the new retail condominium space. The city will retain ownership of the remaining retail and restaurant spaces to ensure curated, vibrant street-level activity aligned with the Millcreek Common vision.

The streetscape will also be improved by eliminating an existing traffic island at Chambers Avenue and Highland Drive, creating a larger, more functional corner plaza. The design includes public loading zones for hotel use, access to both public parking and a separate underground garage for condo residents, mirroring the design approach used for police and city vehicles on the opposite side of Chambers at city hall. Due to tight site constraints, angled parking along the eastern woonerf of the Common will be removed but replaced by structured parking. Additional design modifications, such as reduced building overhangs and relocating a transformer, will allow for a more visually striking corner entry and greater pedestrian comfort. The development will feature sidewalk seating, activated ground-floor retail, and restaurant space—carefully selected to contribute to a lively, community-focused environment, rather than conventional office uses. Winder then explained and described the proposed site while showing the proposed plans and a video of the rendered building elevation.

Commissioner Vance asked about the height of the building. Lilly said it would be 74 feet tall on the west side and 62 feet on Highland Drive.

Jory Walker, Principal Architect for Beecher Walker Architects, said this project presents a complex design challenge due to the integration of multiple building types, each with differing requirements, within a single site. The development includes a hotel with 10-foot floor-to-floor heights, a condominium component requiring 12-foot floors, and a shared parking structure, all of which demand separate entrances and circulation systems. Coordinating these elements has required extensive planning, including the design of multiple stair towers and unique circulation paths to ensure proper exiting and functionality. Further complicating the project is the site's 12-foot elevation change, which affects building levels and access points. For example, the condo plaza is positioned approximately six feet higher than the hotel plaza, providing a natural separation and elevated views for condo residents. The hotel itself will be Hyatt Studios, a brand with specific design standards that limit architectural customization to maintain brand consistency. While some minor modifications are possible, the overall look must align with Hyatt's identity. After months of careful coordination and problem-solving, the project is finally taking shape and is expected to be an exciting, well-integrated development.

Commissioner LaMar recommended maintaining the north and south turns onto Highland Drive from Millcreek Common. He also suggested a sign on the road median. Commissioner Soule asked about a traffic signal onto Highland Drive. Council Member Uipi acknowledged the excess of traffic and difficulty turning onto Highland Drive. Winder noted when Chambers Avenue went through to Richmond, the traffic would open up, but a light could not go in due proximity to other signals on Highland Drive. Lilly said a traffic study with Fehr and Peers was conducted but it did not recommend anything other than a dedicated left and right turn onto Highland Drive, but the consultant would be reevaluating traffic impacts based on this use.

Winder requested the council's and commission's input on the project via email.

2. Staff Reports

There were no reports.

3. Discussion of Agenda Items, Correspondence, and/or Future Agenda Items

There was none.

Council Member Jackson moved to adjourn the work meeting at 7:02 p.m. Council Member DeSirant seconded. Mayor Pro Temp Uipi called for the vote. Council Member Catten voted yes, Council Member DeSirant voted yes, Council Member Jackson voted yes, and Council Member Uipi voted yes. The motion passed unanimously.

APPROVED: _____ **Date**
Shawn LaMar, Chair

Attest: Elyse Sullivan, Recorder



**Minutes of the
Millcreek Planning Commission
August 20, 2025
5:00 p.m.
Regular Meeting**

The Planning Commission of Millcreek, Utah, met in a regular public meeting on Wednesday, August 20, 2025, at City Hall, located at 1330 E. Chambers Avenue, Millcreek, Utah 84106. The meeting was conducted electronically and live streamed via the City's website with an option for online public comment.

PRESENT:

Commissioners

Shawn LaMar, Chair
Victoria Reid, Vice Chair
Steven Anderson
Christian Larsen (excused)
Nils Per Lofgren (excused)
Jacob Richardson (electronic)
Diane Soule
Dwayne Vance (excused)
Ian Wright (absent)

City Staff

Elyse Sullivan, City Recorder
John Brems, City Attorney
Francis Lilly, Planning & Zoning Director
Carlos Estudillo, Planner
Brad Sanderson, Current Planning Manager
Jake Green, Development Review Specialist

Attendees: Micah Peters, J. Cheryl Goff, Nan Bassett, Shawn McGarry, David Nielsen, Miles Maynes, Mike West, Chris Bick, Alberto Cruz, Ben Hanel

REGULAR MEETING – 5:00 p.m.

TIME COMMENCED – 5:03 p.m.

Chair LaMar called the meeting to order and briefly described the duties of the Planning Commission.

1. Public Hearings

**1.1 Consideration of SD-25-008, Request for a 4-Lot Subdivision Location: 4261 S 700 E
Applicant: Miles Maynes Planner: Carlos Estudillo**

Carlos Estudillo said this request involves subdividing a recently approved 4-unit multifamily townhome development to allow for individual owner occupancy. The project received rezoning approval earlier this year to transition from single-family zoning to the RM (Residential Multi-Family) Zone, and a development agreement was attached to that approval. One of the key conditions of that agreement was the requirement to subdivide the property. The site plan, architectural design, and landscaping were all approved by the City Council in June 2025, and no changes to the original plans are being proposed. The subdivision will establish common, limited common, and private ownership areas in accordance with city requirements. The surrounding neighborhood is primarily zoned R-1 single-family, though several adjacent properties have also been rezoned to RM or medium-density residential. The development is accessed via a 26-foot private lane and meets all technical, zoning, and

subdivision standards. The plat includes all necessary easements, access points, and will include governing documents such as CC&Rs and bylaws that address ownership and sales restrictions. While a few technical details remain under review, the project substantially complies with planning and zoning requirements. Therefore, approval of subdivision application SD-25-008 is recommended. Estudillo showed the Commission the proposed site plan and plat. He noted this was one of the first applications since the zoning code update in May, and potential detrimental effects were identified during the rezone.

Miles Maynes, property owner/applicant, said the units were being subdivided for owner occupancy.

Chair LaMar opened the public hearing.

Judith Goff, 730 E, commended Maynes for the proposal.

Estudillo read an email from Rachel Andrus who expressed concern about safety and traffic flow and requested a traffic study. Chair LaMar said detrimental effects were already considered for this project.

Chair LaMar closed the public hearing.

Commissioner Reid moved to approve the subdivision as proposed by staff based on the findings and conclusions of the staff report; SD-25-008. Commissioner Soule seconded. Chair LaMar called for the vote. Commissioner Anderson voted yes, Chair LaMar voted yes, Commissioner Reid voted yes, Commissioner Richardson voted yes, and Commissioner Soule voted yes. The motion passed unanimously.

1.2 Consideration of ZM-24-003, Rezone Request from the M (Manufacturing) Zone to MD (Mixed Development) Zone to Accommodate 77 Townhome Units and a 3,000 Square Foot Commercial Building Location: 81 W Central Avenue (Opus Green North) Applicant: Micah Peters Planner: Francis Lilly

Francis Lilly, presenting on behalf of Sean Murray, said this application encompasses two key components: a rezoning request and a development agreement amendment. The applicant seeks to rezone a 3.5-acre parcel at 81 West Central Avenue from Manufacturing to Mixed Development to allow for a residential project comprising 77 townhome units, a small commercial building, and enhanced public infrastructure, including a trail connection to the Big Cottonwood Creek Trail. This connection would fulfill a long-standing goal of the Meadowbrook Station Area Plan to improve pedestrian and transit access between the creek and the Murray North TRAX station. The second part of the application proposes an amendment to a prior development agreement for Phase 1 of the Opus Green project at 4186 South Main Street. The amendment would remove a previously required commercial component and replace it with additional open space.

The proposed site plan features a Central Avenue streetscape with wide sidewalks, angled parking, live-work units, and a 3,400-square-foot commercial pad envisioned for a veterinary clinic or similar use. Residential units include 24 two-bedroom and 53 three-bedroom townhomes, with three live-work units along Central Avenue. The homes follow a vertically oriented design with ground-floor garages and upper-story living areas, providing a modern

aesthetic consistent with Phase 1 of the Opus Green project. The project meets all city parking requirements, including 154 private garage stalls, 28 off-street guest stalls, and 33 new on-street stalls. A traffic study concluded that the project would generate acceptable traffic volumes and does not require auxiliary lanes on Central Avenue.

The accompanying development agreement outlines ownership expectations and public amenities, including a playground, a trail connection, and a picnic/gazebo area. It also includes a clause requiring the developer to contribute to future light rail crossing improvements, consistent with agreements for other projects along Central Avenue. If UTA were to introduce a bus route in the future, the developer would also be responsible for installing a bus shelter, if required. Overall, this proposal supports the city's long-term planning goals and reflects significant collaboration between staff and the applicants over the past year.

Lilly showed the Commission the proposed site plan, landscape plan, proposed floor plans and elevations, and the proposed Central Avenue cross section.

Chair LaMar clarified the crossing improvements would not be for the Union Pacific/Frontrunner line. Lilly confirmed and noted staff did not feel like the city could justify it given the parking demand or the trip generation demand, it would be a de minimis amount. Commissioner Soule wondered if there should be money set aside now. Lilly said the timeframe of the agreement was 10-20 years, so it would have to be within that timeframe.

Lilly said Millcreek has been working with the developer to alter the development agreement from Opus Green South. Staff has been collaborating with the developer to amend the original development agreement by replacing a previously planned small commercial building on Main Street with a landscaped park area suitable for a food truck park. While initially supporting the commercial use, staff now suggests that a larger, more functional commercial building adjacent to the Front Climbing Gym on Central Avenue may be more appropriate. The proposed change would expand the existing park-like space, though it remains privately owned and maintained, and enhance public amenities along Big Cottonwood Creek. From a planning perspective, the proposal aligns with the Meadowbrook Center's vision outlined in the general plan, including mid-rise, owner-occupied development and improved transit connectivity. The project supports several key goals in both the Murray North and Meadowbrook Station area plans, such as creating a green spine, walkable streetscapes, and increasing public amenities to draw foot traffic and support local businesses. With 800 feet of frontage improvements, the development represents a significant investment in public infrastructure. Staff is not opposed to the removal of the commercial requirement given the trade-off in open space benefits. Rezoning and a revised development agreement are required, with the Planning Commission and community council expected to provide recommendations to City Council. A neighborhood meeting was held on April 11, and no public opposition has been received. If approved, the next steps would include a conditional use permit and subdivision review, both returning to the Planning Commission. The Millcreek Community Council recommended the rezone and development agreement. The staff report includes findings and conclusions. Staff recommended forwarding a positive recommendation to the city council.

Micah Peters, Clearwater Homes, highlighted the positive aspects about the overall development. He noted the open space is 33% and that the density is lower in this phase of the development. The developers have installed 1250 linear feet of public trail on Big Cottonwood creek and would be connecting another 1250 feet. In phases 1-4, there is a 90% owner occupancy rate. He mentioned all of the river cleanup that had taken place. He emphasized the easy connection to TRAX. Peters said Clearwater takes a thoughtful, community-focused development approach, emphasizing enhanced trail connectivity and infrastructure improvements. A key highlight is the extension of the riverfront trail to Central Avenue, supported by the dedication of private land to create a boulevard effect along the full 800-foot frontage. This contrasts with prior nearby developments that neglected public streetscape improvements. The project also includes the addition and improvement of 33 parking stalls on Central Avenue. Addressing concerns about displacement, Peters noted that no existing housing is being removed, only unused structures and wildlife. Parking, a major community issue, is being addressed with 206 parking stalls for 77 units, plus 100% of garages equipped with EV chargers. The development is fully electric, eliminating gas use and significantly reducing carbon emissions, over 1,500 cubic tons annually across current and future phases. Energy-efficient mini-split systems reduce heating and cooling costs to as low as \$58–\$70 per month. Peters also highlighted innovative design choices, such as generous great room layouts with high ceilings and expansive windows, which helped make the community the fastest-selling townhome project on the Wasatch Front in 2024. The development aims to enhance livability, sustainability, and community cohesion.

Commissioner Reid asked about the tandem parking. Peters noted those units had generous garage sizes. Commissioner Reid asked about locking the gate to the trail. Peters said there was a problem with homelessness on the trail, so they wanted the ability to lock them. Commissioner Soule asked about data for how many of the units had two cars. Peters said it had not been tracked. Chair LaMar asked about a small grocery in the commercial space. Peters said he could consider the revenue model of a neighborhood grocer.

Chair LaMar opened the public hearing.

A property owner on Gordon Avenue expressed concern over a lot of density between 4500 S and 3900 S and associated crime.

Chair LaMar closed the public hearing.

Chair LaMar asked about a provision from the first Opus Green development agreement about “best efforts” to sell 50% of units within 11 years. Peters said that was crafted during the pandemic with uncertainty with the market, but since the language worked, he wanted to carry it over to the new agreement. Chair LaMar suggested leaving the coffee shop language in the agreement in case the need for it came up in the future. Peters said the intention of the amended agreement is to dedicate the property to the city. Lilly was unaware of that commitment. Peters said they would spend infrastructure money to prepare it, get it signed off by city engineering and planning, then hand it over to the city as they did with the original park.

Commissioner Soule commended the first phase of the project. Commissioner Reid appreciated the aspiration of the owner occupancy agreement language. Chair LaMar recommended limiting the height of the commercial building to 45 feet.

Commissioner Anderson moved that the Planning Commission forward a positive recommendation of the rezone application file number ZM-24-003 to Millcreek City Council as proposed, subject to a development agreement for the Opus Green North, and an amended development agreement for the Opus Green South, which would include the changes of the highest maximum elevation of the commercial at 45 feet, and then addition of the public open space which will be dedicated to the city, based on the findings and conclusions in the staff report. Commissioner Soule seconded. Chair LaMar called for the vote. Commissioner Anderson voted yes, Chair LaMar voted yes, Commissioner Reid voted yes, Commissioner Richardson voted yes, and Commissioner Soule voted yes. The motion passed unanimously.

1.3 Consideration of ZM-24-015, Rezone Request from the RM (Residential Multifamily) Zone to IF (Institutional Facility) Zone Location: Between 1120-1151 East 3900 South and 1200 East 3900 South Applicant: Mike West Planner: Brad Sanderson

Brad Sanderson said this proposal involves a rezone and amendment to the existing development agreement to facilitate a long-term expansion of the St. Mark's Medical Campus in Millcreek. The goal is to unify the north and south campuses, currently divided by 3900 South, under the same Institutional Facilities (IF) zoning and development agreement. The north campus, encompassing over eight acres and including three existing buildings (Parkview A, B, and C), will be redeveloped in phases. The immediate plan includes demolishing Parkview A to create a temporary surface parking lot, which will offset parking displaced during construction of a new medical office building on the south campus. Subsequent phases will introduce a three-story, 60,000 square foot medical office building, a four-story parking structure, and eventually a six-story patient tower, with additional expansions as needed.

Sanderson emphasized the importance of buffering between the development and adjacent residential areas, including required masonry walls and landscape buffers on both campuses. Concerns remain about temporary parking deficits during construction, and a traffic and parking study, currently underway, will provide further insights. Coordination with UTA is also ongoing, particularly regarding potential bus shelter improvements and the reinstatement of a pedestrian mid-block crossing on 3900 South. Staff suggests this may eventually require a HAWK signal or pedestrian refuge island, especially to safely serve employees crossing between campuses.

Although the proposal aligns with land use designations and long-term city planning goals, some components, including finalized elevations, parking strategies, and transit recommendations, are still pending. Staff is generally supportive but recommends the Planning Commission consider continuing the item to a later date until this critical information is available. Additionally, the development agreement should clearly define the duration and conditions for temporary elements, particularly the surface parking lot, to ensure accountability as future phases progress. Sanderson showed the Commission the phasing plan of the site.

Commissioner Reid asked if a pedestrian bridge was considered. Sanderson said bridges were expensive and tricky, and the applicant did not feel it was needed. Commissioner Soule expressed concern about construction parking and workers crossing 3900 S.

Mike West, St. Marks Hospital Director of Construction, said HCA Healthcare parking standards are higher than what code requires. The parking space across the street would be only for staff. They have considered using shuttles.

Sanderson said the Millcreek Community Council reviewed the proposal. A few residents attended, including two living south of the South Campus and one daycare owner west of 1100 East. While the daycare owner primarily had questions rather than concerns, the two nearby residents raised four specific issues. First, they requested a landscaping plan that replaces previously removed trees, particularly near the generators; this plan has since been developed to address those gaps. Second, they suggested planting additional trees along the north and east sides of the North Campus for improved screening. Third, there were concerns about noise from the emergency backup generators, which are enclosed and only operate monthly for testing and annually for extended maintenance. Finally, residents noted that emergency vehicles occasionally idle along the southern lane, causing noise and disruption. In response, the development team committed to working with Unified Fire and medical staff to minimize this impact by potentially relocating vehicles or enforcing idle restrictions. West noted the area is the ambulance bay.

Chair LaMar opened the public hearing.

There were no comments.

Chair LaMar closed the public hearing.

Chair LaMar mentioned acknowledging building heights per code in the agreement and felt a strobe lighted crosswalk on 3900 S was warranted. Commissioner Richardson asked if the crossing was temporary during construction. Sanderson said it would be permanent. Commissioner Richardson asked about preserving trees on 1100 E. Sanderson said the agreement could acknowledge preserving the street trees. Commissioner Anderson did not feel the building height should be restricted to three stories on the north campus. Sanderson said it depended on the setback-height ratio. Chair LaMar noted the IF Zone had a height limit of 45 feet. Staff recommended a continuance of the application.

Commissioner Reid moved to continue consideration of ZM-24-015 to a future meeting upon completion of the traffic impact study. Commissioner Anderson seconded. Chair LaMar called for the vote. Commissioner Anderson voted yes, Chair LaMar voted yes, Commissioner Reid voted yes, Commissioner Richardson voted yes, and Commissioner Soule voted yes. The motion passed unanimously.

The commission took a break from 6:58-7:03pm.

1.4 Consideration of ZM-25-005, Rezone Request from the R-1-8 to R-1-6 (Single Family Residential) Zone Location: 2477 E 3225 S Applicant: Woods at Rosecrest Homeowner's Association Planner: Brad Sanderson

Brad Sanderson said this proposal involves a rezone request for the Woods of Rosecrest subdivision; a private, built-out HOA community originally approved as a Planned Unit Development (PUD) by the county in 2014. The rezone, from R-1-8 to R-1-6, is being sought not to accommodate new development, but to address the removal of an underutilized designated open space parcel approximately 2,000 square feet located behind Lot 10. The open space was never improved with amenities, is not maintained by residents, and one adjacent property owner (Lot 8) is requesting to absorb it into their backyard. Because the city recently removed PUDs from its zoning code, there is no longer a mechanism to formally amend the existing PUD, prompting the need for rezoning to move forward with changes.

The rezone would allow all existing lots to comply with the minimum size requirements of the R-1-6 zone, as most already exceed 7,000 square feet. If approved, a future subdivision amendment and conditional use permit modification would allow for the formal removal of the open space and minor adjustments to a few property lines. The roads would remain private, and Lot 10, along with potentially Lots 1 and 2, may be removed from the HOA through a separate process, as they do not access the private road or benefit from the HOA's services.

All property owners within the subdivision have signed affidavits in support of the proposed changes. While staff acknowledged this type of zone change is not typically preferred, they see it as a pragmatic solution due to the built-out nature of the development and the lack of existing code mechanisms to adjust the PUD. The proposal was properly noticed, a neighborhood meeting was held, and a few residents attended both it and the community council meeting. The only lot not yet developed is Lot 4, a corner parcel with unique lot boundaries that contribute to a smaller buildable area. All original conditions of approval would remain in place, except for the removal of the open space provision.

Commissioner Anderson asked why the open space could not just be deeded to Lot 8. Sanderson said the shared common area was part of the development approval in exchange for the smaller lot sizes and setbacks. The HOA would still exist and maintain street ownership. A brief discussion on lot sizes came up. Sanderson said the East Mill Creek Community Council and Canyon Rim Citizens Association each recommended the rezone.

Nan Bassett, applicant on Walnut Park Cove, noted the open space is not usable and was not developed. The owners want Lot 8 to have the property since they have been maintaining it.

Chair LaMar opened the public hearing.

Ben Hanel, Ensign Engineering, said none of the fences matched the property lines so the new plat property lines would be the existing fences lines. Lot 4 would be gaining more land and the other property owners hoped it would encourage the owner of Lot 4 to build.

Sanderson noted he spoke with the owner of Lot 10, and they felt there was no reason to remain within the HOA. He recommended not rezoning Lot 10 as it had potential to develop due to the large lot size.

Chair LaMar closed the public hearing.

Chair LaMar moved, regarding ZM-25-005, the Planning Commission, based on the findings and conclusions in the staff report, recommend to the City Council a positive recommendation to rezone the PUD to R-1-6, with the exception of leaving lot 10, the northern parcel, exempted that from the rezoned R-1-6, and leave that as the current underlying zone of R-1-8. Commissioner Anderson seconded. Chair LaMar called for the vote. Commissioner Anderson voted yes, Chair LaMar voted yes, Commissioner Reid voted yes, Commissioner Richardson voted yes, and Commissioner Soule voted yes. The motion passed unanimously.

1.5 Consideration of ZT-25-003, Request to Amend Millcreek Title 18 Zoning Code

Planner: Francis Lilly

Francis Lilly proposed technical and ministerial amendments to the Millcreek Land Use Code, aimed at improving clarity, correcting errors, and refining implementation based on feedback and experience since the code's adoption. While the code has been generally well-received and is significantly more navigable than its predecessor, ongoing application has revealed areas requiring clarification or minor corrections. These amendments do not alter the fundamental intent or character of any zone, but rather serve to ensure the code remains functional, adaptable, and up to date—something staff intends to continue doing periodically.

Key changes include aligning the Agricultural (AG) Zone's lot coverage standards with the R-1-10 zone, correcting density calculations in the R-4 zone using "gross land area" to better accommodate developments that span multiple parcels, and clarifying that legally established commercial buildings within multifamily zones may continue to operate commercially, rather than be deemed nonconforming. The proposed changes also align balcony and patio size requirements in the RM zone (60 square feet), relocate garage/access standards from Title 18 to Title 14 for better applicability and to avoid creating unnecessary nonconformities, and adjust window transparency requirements for first-floor residential units in the MD and C zones from 50% to 33%, making them more feasible for townhomes.

Additional proposals include carrying forward existing standards for auto sales and service uses into the Manufacturing (M) zone, especially to prevent proliferation of unregulated used car lots. Accessory buildings under 200 square feet, which do not require a building permit, would no longer be subject to architectural design standards such as pitched roofs or matching exterior materials—responding to practical challenges posed by off-the-shelf structures like barrel saunas.

The amendments also clarify the process for additions to noncomplying structures. If an addition complies with current setbacks and code standards, it may proceed via standard permitting without requiring a Land Use Hearing Officer decision. However, if the addition continues a nonconformity (e.g., in line with a noncompliant setback), it must undergo further review. This change reflects a practical understanding of the city's older housing stock and seeks to reduce unnecessary procedural burdens while still regulating nonconforming expansions.

Finally, in response to a resident request, staff is proposing to allow specific types of metal and wire mesh panel fencing. The proposed standards would include minimum wire gauge requirements to prevent low-quality materials (like chicken wire), with Planning Commission input sought to help define acceptable specifications. These cumulative changes reflect a

thoughtful, ongoing commitment to keeping Millcreek's code responsive, relevant, and user-friendly.

Chair LaMar brought up wire gauges and suggested a 12 gauge wire. Lilly suggested a 3/16 panel metal. He proposed a distinction between sheet metal and plate metal in the definitions. Lilly said at the request of a Millcreek property owner, staff is proposing that 3 foot tall 50% transparent fencing be allowed along Highland Drive and other corridors in CCOZ. There would also be miscellaneous technical corrections. All four community councils reviewed these proposed ordinance changes at public meetings held earlier this month. Each of the community councils unanimously recommended approval of the proposed changes. The Millcreek Community Council requested additional language clarifying the maintenance responsibilities of irrigation companies. Staff advises that the city address the maintenance responsibilities of irrigation companies in Title 14, which incorporates all engineering standards. Staff will propose language that is compliant with state statute.

Chair LaMar opened the public hearing.

David Nielsen, resident, expressed interest in installing metal paneling and wire fencing. He recommended a 10 gauge wire and all steel fencing. Commissioner Reid asked about gabion fencing. Lilly said it was allowed since it was neither prohibited nor expressly permitted.

Chair LaMar closed the public hearing.

There was discussion about metal and wire fencing. Commissioner Soule asked about other cities' requirements. Lilly said not a lot of cities defined fencing materials well though he would come up with something.

Commissioner Soule moved to recommend that the Millcreek City Council adopt the changes as listed in the staff report as well as any other similar changes of a technical or ministerial nature, in order to improve the functionality and readability of the Millcreek Land Use Code; consideration of ZT-25-003. Chair LaMar seconded. Chair LaMar called for the vote. Commissioner Anderson voted yes, Chair LaMar voted yes, Commissioner Reid voted yes, Commissioner Richardson voted yes, and Commissioner Soule voted yes. The motion passed unanimously.

2. Commission Business

2.1 Approval of July 16, 2025 Regular Meeting Minutes

Chair LaMar moved to approve the July 16, 2025 regular meeting minutes as presented in the packet. Commissioner Soule seconded. Chair LaMar called for the vote. Commissioner Anderson voted yes, Chair LaMar voted yes, Commissioner Reid voted yes, Commissioner Richardson voted yes, and Commissioner Soule voted yes. The motion passed unanimously.

2.2 Updates from the Planning Director

Lilly said the commission received an email with a survey link on the 900 E corridor study and encouraged them to participate.

Commissioner Richardson expressed interest in creating a housing focused subcommittee in the Commission. He is interested in zoning reforms around small lots. He felt there is a link between the cost of housing and where young families are choosing to move and grow their families. He would like to explore options on how Millcreek can lower the cost of housing to stabilize or slow school closures. There was interest in the commission for the subcommittee.

3. Calendar of Upcoming Meetings

- Millcreek Community Council Mtg., 9/2/25, 6:30 p.m.
- Canyon Rim Citizens Association Mtg., 9/3/25, 7:00 p.m.
- East Mill Creek Community Council Mtg., 9/4/25, 6:30 p.m.
- Mt. Olympus Community Council Mtg., 9/8/25, 6:00 p.m.
- City Council Mtg. 9/8/25 7:00 p.m.
- Historic Preservation Commission Mtg., 9/11/25, 6:00 p.m.
- Planning Commission Mtg. 9/17/25, 5:00 p.m.

ADJOURNED: Chair LaMar moved to adjourn the meeting at 8:09 p.m. Commissioner Soule seconded. Chair LaMar called for the vote. Commissioner Anderson voted yes, Chair LaMar voted yes, Commissioner Reid voted yes, Commissioner Richardson voted yes, and Commissioner Soule voted yes. The motion passed unanimously.

APPROVED: _____ **Date**
Shawn LaMar, Chair

Attest: Elyse Sullivan, Recorder