

## PLANNING COMMISSION AGENDA

Watch live, or at your convenience.

<https://www.youtube.com/c/southwebercityut>

**PUBLIC NOTICE** is hereby given that the Planning Commission of SOUTH WEBER CITY, Utah, will meet in a regular public meeting commencing at 6:00 p.m. on Thursday, September 11, 2025, in the Council Chambers at 1600 E. South Weber Dr.

**OPEN** (Agenda items may be moved to meet the needs of the Commission.)

1. Pledge of Allegiance: Chris Roberts
2. Public Comment: Please respectfully follow these guidelines.
  - a. Individuals may speak once for 3 minutes or less: Do not remark from the audience.
  - b. State your name & city and direct comments to the entire Commission (They will not respond).

### **ACTION ITEMS**

3. Consent Agenda
  - a. August 14, 2025, Minutes
4. **PUBLIC HEARING Peak Farm Rezone at approximately 898 E. 7240 S, applicant Vern Peek and Korey Kap**
5. Peek Farm Rezone, at approximately 898 E. 7240 S, applicant Vern Peek and Korey Kap  
Request for zone changes from A (Agricultural Zone) to R-L (Residential Low Density Zone on 15 acres) R-M (Residential Moderate Density Zone on 10 acres) and R-P (Residential Patio Zone on 12 acres) on approximately 37.01 acres total
6. Harvest Park Subdivision Preliminary Plat Approval at approximately 6980 S and Cobblestone Dr, applicant Layne Kap  
Administrative Action: Preliminary Subdivision Plat Approval
7. Kap Legacy Subdivision Preliminary Plat Approval at approximately 980 E South Weber Dr, applicant Korey Kap  
Administrative Action: Preliminary Subdivision Plat Approval
8. Riverwood Model Home CUP 0.5 acres at 65 West Glen Way  
Request for a Model Home Conditional Use Permit in the R-LM Zone  
The proposal is for the Model Home to be managed by the owner, Applicant Kameron Chancellor, Owner Nielson Homes

### **REPORTS**

9. Commission
10. Adjourn

*In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.*

The undersigned Deputy Recorder for the municipality of South Weber City hereby certifies that a copy of the foregoing notice was mailed/emailed/posted to: City Office building; Mayor, Council, and others on the agenda; City Website [southwebercity.com/](https://southwebercity.com/); and Utah Public Notice website [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html).

**DATE:** 9/8/2025

**DEPUTY RECORDER:** Raelyn Boman

*Raelyn Boman*

# **SOUTH WEBER CITY PLANNING COMMISSION MEETING**

**DATE OF MEETING:** 14 August 2025

**TIME COMMENCED:** 6:00 p.m.

**LOCATION:** South Weber City Office @ 1600 East South Weber Drive, So. Weber, UT

**PRESENT:**

**COMMISSIONERS:**

Gary Boatright (excused)  
Julie Losee (excused)  
Marty McFadden  
Chris Roberts  
Chad Skola

**DEPUTY RECORDER:**

Raelyn Boman

**COMMUNITY DEVELOPMENT  
MANAGER:**

Lance Evans

**Minutes:** Michelle Clark

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**ATTENDEES:** Paul Sturm, Blair Halverson, Dustie Sanders, Oaklie Boren, Michael Grant, and Chet Boren.

Commissioner Skola called the meeting to order and welcomed those in attendance.

**1. Pledge of Allegiance:** Commissioner Skola

**2. Public Comment:** Commissioner Skola opened the floor for public comment and reminded those in attendance of the following guidelines:

- Each speaker must go to the podium to comment.
- State your name and city of residence.
- Please address your comments to the entire Planning Commission.
- Each speaker will have 3 minutes or less to speak.
- Note the Planning Commission will not be entering into a dialogue during this portion of the meeting.
- Individuals not at the podium should refrain from speaking.

Commissioner Skola closed the floor for public comment.

**ACTION ITEMS:**

**3. Approval of Consent Agenda**

- 10 July 2025 Minutes

Commissioner Davis moved to approve the consent agenda as written. Commissioner McFadden seconded the motion. Commissioner Skola called for the vote. Commissioners McFadden, Roberts and Skola voted aye. The motion carried.

**4. Preliminary Plat – Boren Subdivision, located at approximately 7590 S 1375 E;****Applicant: Oaklie Boren**

Community Development Manager Lance Evans explained this parcel is zoned Agricultural. The proposal is to divide 1.4 acres from the original 13.55 acre parcel for a single-family lot. This lot will connect to the existing public road with the access easements and utilities being laid out. He noted the City Engineer Brandon Jones has reviewed and given approval for the preliminary plat. He added that this request meets all the requirements for the city's subdivision code.

Commissioner Roberts questioned if there needs to be a rezone. Mr. Evans replied no because it is 1.4 acres and meets the one acre minimum in the density. There was a question concerning the actual address of the lot. Mr. Evans explained 7590 S. 1375 E. is the address of the 13.55 acre parcel, and the lot will be assigned to an address as the process continues.

**Commissioner McFadden moved to approve the Preliminary Plat – Boren Subdivision, located at approximately 7590 S 1375 E; Applicant: Oaklie Boren. Commissioner Roberts seconded the motion. Commissioner Skola called for the vote. Commissioners McFadden, Roberts, and Skola voted aye. The motion carried.**

**5. Preliminary Plat – Brimley Subdivision, located at approximately 7513 S 1900 E;****Applicant: Grandon Brimley**

Community Development Manager Lance Evans reported this parcel is zoned R-M – Residential Moderate Density Zone. The applicant proposed to divide the 1.8 acre parcel into four residential single-family lots. The four lots comply with the maximum density allowed in the zone and the allowed land use. The subdivision will have a private lane with a cul-de-sac. City Engineer Brandon Jones has reviewed and given approval for the preliminary plat.

**Commissioner Roberts moved to approve the Preliminary Plat – Brimley Subdivision, located at approximately 7513 S 1900 E; Applicant: Grandon Brimley. Commissioner Skola seconded the motion. Commissioner Skola called for the vote. Commissioners McFadden, Roberts, and Skola voted aye. The motion carried.**

**REPORTS:****6. Commission**

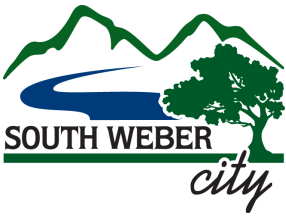
**Planning Commission Conference:** It was stated the conference will be held October 8<sup>th</sup>, 9<sup>th</sup>, & 10<sup>th</sup> at the Salt Lake City Gateway.

**7. ADJOURN:** Commissioner Roberts moved to adjourn the Planning Commission meeting at 6:15 p.m. Commissioner McFadden seconded the motion. A roll call vote was taken. Commissioners McFadden, Roberts, and Skola voted aye. The motion carried.

**APPROVED:** \_\_\_\_\_ **Date** \_\_\_\_\_  
**Chairperson: Chad Skola**

\_\_\_\_\_  
**Transcriber: Michelle Clark**

**Attest:** \_\_\_\_\_  
**Deputy Recorder: Raelyn Boman**



# PLANNING COMMISSION STAFF REPORT

## MEETING DATE

September 11, 2025

## PREPARED BY

Lance Evans, AICP  
Community Development  
Manager

## ITEM TYPE

Zone Change

## ATTACHMENTS

Application  
Projected Land Use Map  
Zoning Map

## AGENDA ITEM

### Public Hearing

Resolution 2024-034: Zone change  
Applicant: Vern Peek and Korey Kap  
Location: approximately 898 E. 7240 South  
Acreage: approximately 37.01 acres

### REQUEST

A zone change from A (Agricultural Zone) to R-L (Residential Low Density Zone on 15 acres) R-M (Residential Moderate Density Zone on 10 acres) and R-P (Residential Patio Zone on 12 acres) on approximately 37.01 acres total.

Property Information	
Site Location	Approximately 898 E. 7240 South
Tax ID Numbers	130210133, 130210118, 130210150
Applicant	Korey Kap
Owner	Vern Peek
Proposed Actions	Recommend approval or denial to City Council
Current Zoning	A (Agricultural)
Proposed Zone District	R-M (Residential Moderate Density Zone)
Acreage	37.01

### PROCESS

This is a request to amend the South Weber City Zoning Map. South Weber City Code Section 10-3-5 allows for the Zoning Map to be amended. The Planning Commission is required to hold a public hearing to receive public comments on the proposed amendment, then make a recommendation to the City Council for the approval or denial of the proposed amendment. The City Council will then hold a meeting to review the Planning Commission's recommendation and the application for final determination.



## BACKGROUND

This application is the first step toward subdividing this 37 acres into three zones for a subdivision with varying residential densities consistent with the South Weber General Plan. This request is to amend the A – Agricultural Zone for 37.01 acres to R-L (Residential Low Density Zone on 15 acres) R-M (Residential Moderate Density Zone on 10 acres) and R-P (Residential Patio Zone on 12 acres).

## ANALYSIS

### Consistence with General Plan

The proposed zone change request is consistent with the General Plan land use designation for the property. The Projected Land Use Map shows that the norther portion of this property may be Residential Patio (R-P), with Residential Moderate density in the middle section and Residential Low Moderate Density (R-LM) in the southern third.

### Surrounding uses

	CURRENT USE		ZONE	PROJECTED LAND USE
East	Currently Agricultural, zoned for Single-Family Homes	Lot Sizes from 9,000 to 20,000 square feet.	Residential Patio and Residential Moderate Density Zoning Districts	R-P and R-M
South	Single-Family Homes	Lot Sizes from 0.4 acres to 1.07 acres.	Residential Low Density Zoning District	R-L
West	Agricultural	Approx. 32 acres	Agricultural Zoning Dist.	R-P and R-M
North	I-84		None	NA

### Compatibility with Surrounding Uses

The General Plan map change is consistent with the surrounding lot sizes and densities of the existing single-family homes and should not create significant levels of noise, light or other adverse impacts to the adjacent properties or the surrounding neighborhood. The elevation change to the south will provide an additional buffer to the new homes. The potential development of single-family residential next to existing similar uses is a compatible land use. The additional traffic will be mitigated through the development of new roads as shown in the Vehicle Transportation Map. The site design will reduce the impact to the adjacent residences and is consistent with the surrounding building height, density, traffic impacts, and visual aesthetics though compliance with city development codes.

### Environmental and Infrastructure Considerations

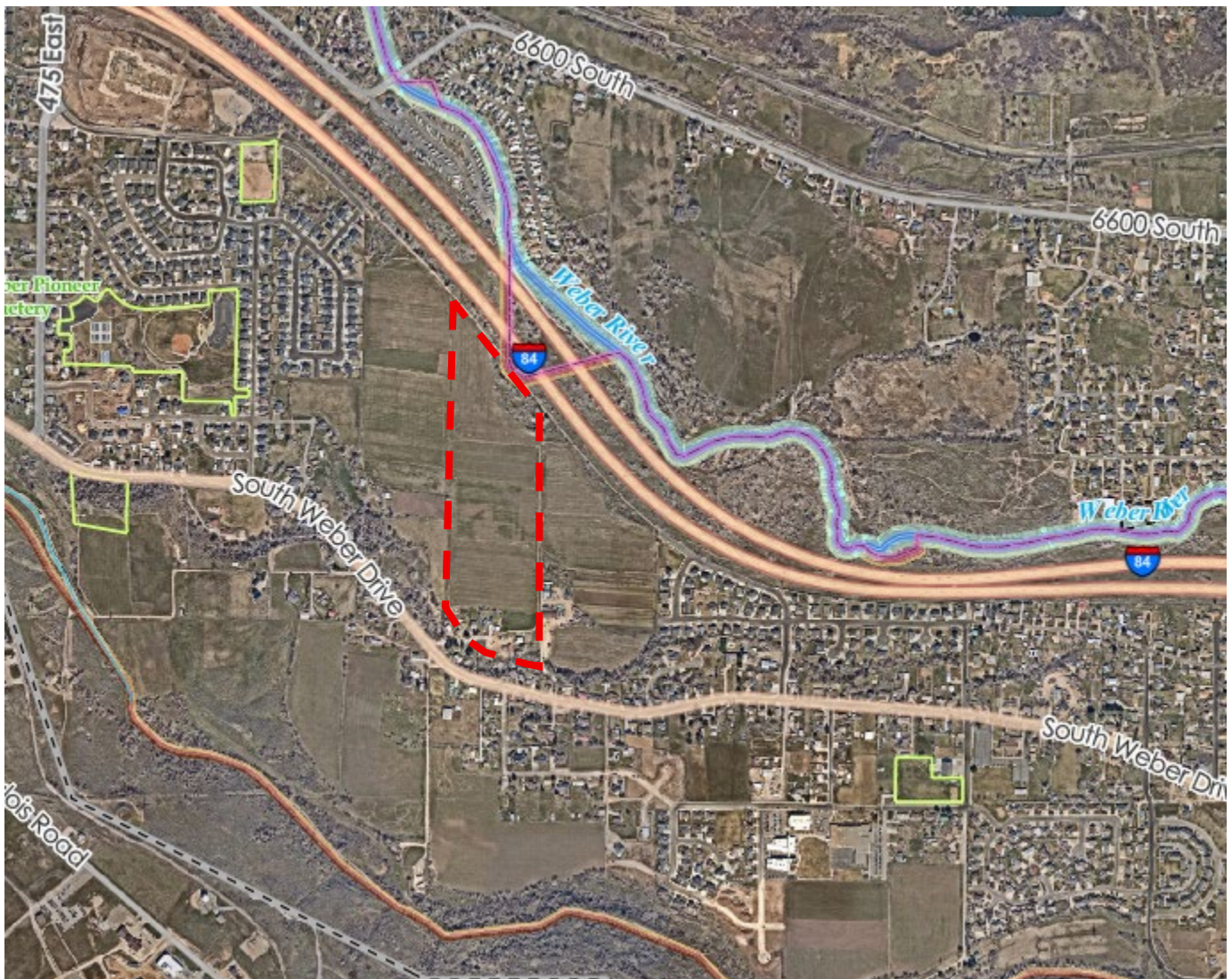
The proposed Zone change is surrounded by developed property, agricultural land and an interstate highway. The amendment will have minimal impacts on infrastructure (such as roads, utilities, and public services) and the natural environment (including water resources, wildlife habitats, and air quality).

### Traffic Impacts

The traffic impacts of the potential development will be analyzed in detail during the subdivision process. However, the South Weber Vehicle Transportation Map shows that two east/west roadway connections will need to be constructed to provide additional travel corridors. Old Fort Road and Canyon Drive will be extended to accommodate additional traffic from potential development. A north/south collector road is also required by the general plan, connecting the Old Fort Road on the north to South Weber Drive. These travel corridors as required by the General Plan will provide additional travel routes and distribute the traffic load on to multiple roadways and lessen the overall transportation impact while providing additional routes for emergency services.

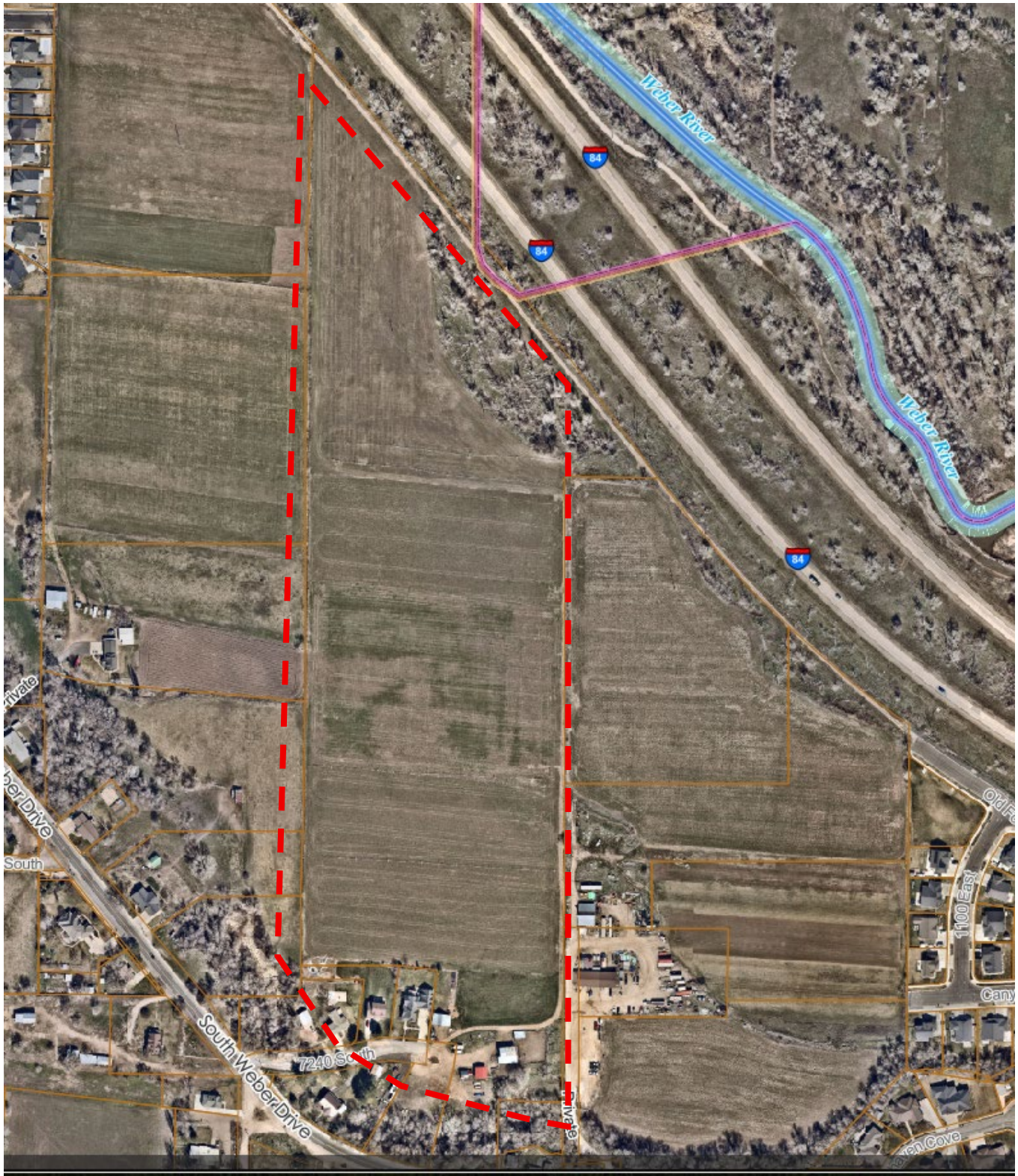
### Conclusion

The proposed zone change is consistent with the goals and objectives of the General Plan as stated in the staff report. Staff recommends approval of the zone change for the 37.01 acres from A – Agricultural to R-L (Residential Low Density Zone on 15 acres) R-M (Residential Moderate Density Zone on 10 acres) and R-P (Residential Patio Zone on 12 acres).



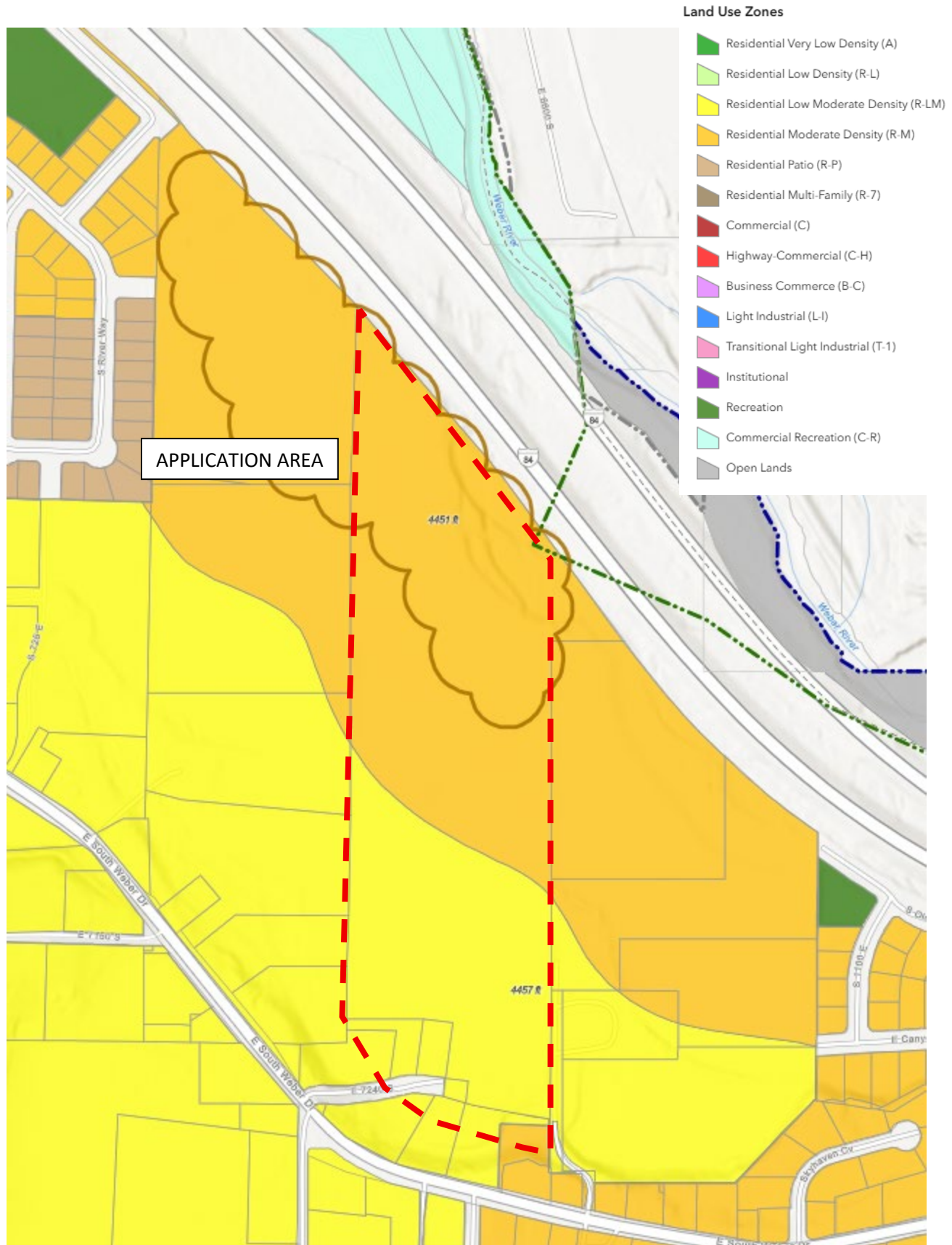
[Vicinity Map](#)



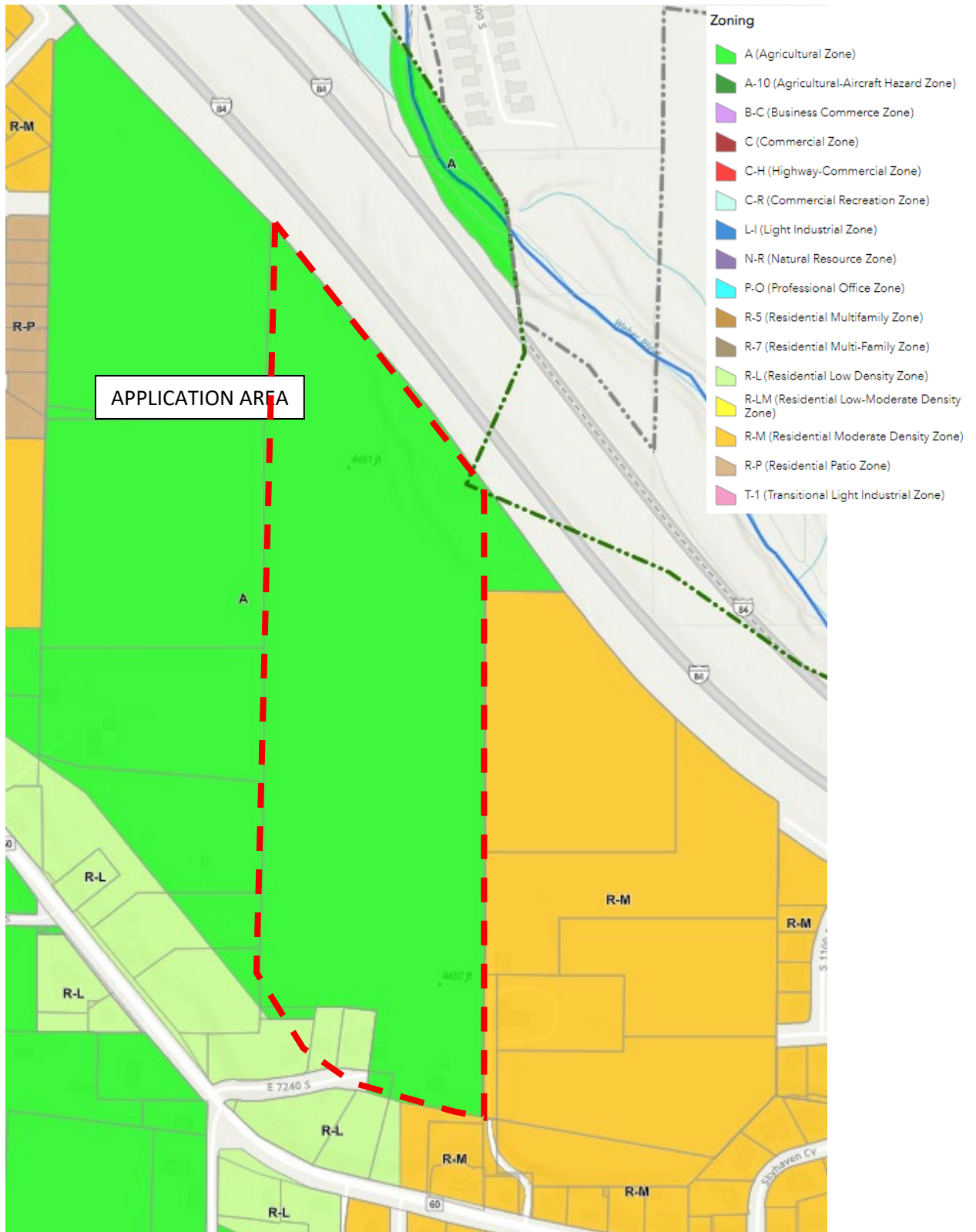


[Property Map](#)





Projected Land Use Map



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[Zoning Map](#)

[APPLICABLE CITY CODE](#)

**10-3-5: POWERS AND DUTIES:**

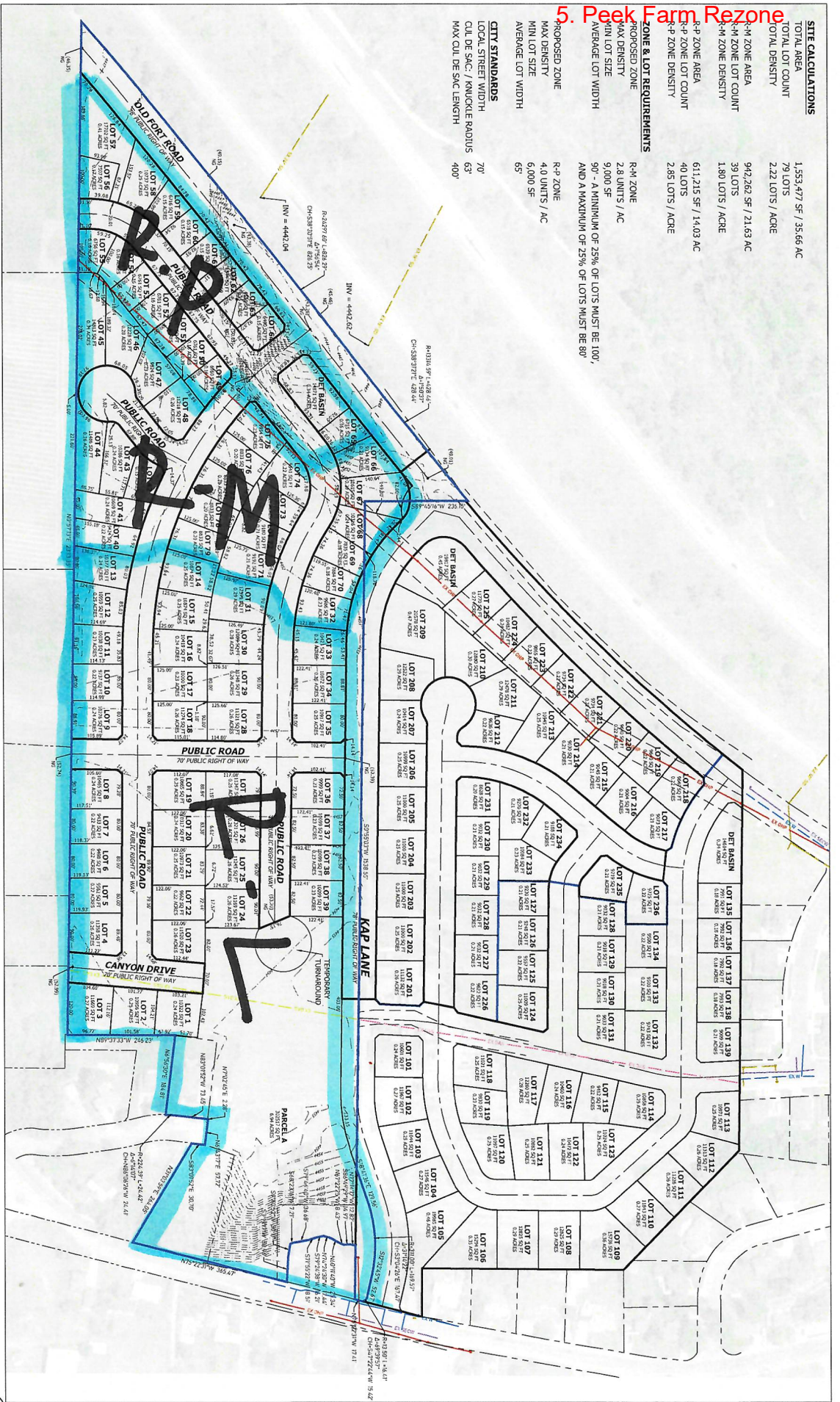
A. Entrance Upon Land: The Planning Commission, its members and employees, in the performance of its functions, may enter upon any land at reasonable times to make examinations and surveys, and place and maintain necessary monuments and marks thereon. The Planning Commission shall have such powers as may be necessary to enable it to perform its functions and promote Municipal planning.

**B. Administrative Duties: The Planning Commission shall:**

**2. Recommend Land Use Ordinances and maps, and amendments to Land Use Ordinances and maps, to the City Council;**

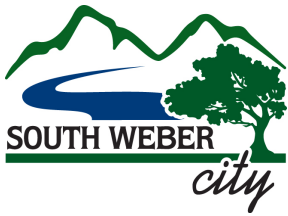
C. Public Hearings; Reports and Recommendations: For purposes of holding public hearings, the Planning Commission is recognized as the Land Use Authority for South Weber City, as defined by Utah Code Annotated 10-9a-103; 10-9a-404, 10-9a-502, 10-9a-503, 10-9a-602, and 10-9a-608, or as otherwise required. The Planning Commission may hold public hearings and shall do so as required by law. It may make reports and recommendations relating to the plan and development of the City to public officials and agencies, other organizations and citizens. It may recommend to executive or legislative officials, programs for public improvements. The City Council shall not hold any public hearing for any Land Use Ordinances, applications, or amendments unless specifically required by State law or a procedural motion approved by the City Council. (Ord. 19-08, 3-12-2019; amd. Ord. 2021-01, 2-23-2021)





**5. Peek Farm Rezone**

SITE CALCULATIONS	
TOTAL AREA	1,553,477 SF / 35.66 AC
TOTAL LOT COUNT	79 LOTS
TOTAL DENSITY	2.22 LOTS / ACRE
R-M ZONE AREA	942,262 SF / 21.63 AC
R-M ZONE LOT COUNT	39 LOTS
R-M ZONE DENSITY	1.80 LOTS / ACRE
R-P ZONE AREA	611,215 SF / 14.03 AC
R-P ZONE LOT COUNT	40 LOTS
R-P ZONE DENSITY	2.85 LOTS / ACRE
PROPOSED ZONE	
PROPOSED ZONE	R-M ZONE
MAX DENSITY	2.8 UNITS / AC
MIN LOT SIZE	9,000 SF
AVERAGE LOT WIDTH	90' - A MINIMUM OF 25% OF LOTS MUST BE 100', AND A MAXIMUM OF 25% OF LOTS MUST BE 80'
CITY STANDARDS	
LOCAL STREET WIDTH	70'
CUL DE SAC / KNUCKLE RADIUS	63'
MAX CUL DE SAC LENGTH	400'
PROPOSED ZONE	
MAX DENSITY	4.0 UNITS / AC
MIN LOT SIZE	6,000 SF
AVERAGE LOT WIDTH	65'



# PLANNING COMMISSION MEETING STAFF REPORT

MEETING DATE

September 11, 2025

PREPARED BYLance Evans  
Community Development  
ManagerBrandon Jones, P.E.  
City EngineerITEM TYPE

Administrative

ATTACHMENTS

Preliminary Plat

AGENDA ITEM

Harvest Park 4 Preliminary Plat

PURPOSE

Administrative Action: Preliminary Subdivision Plat Approval. Final Subdivision Plat and Improvement Plans will be reviewed and approved by the Administrative Land Use Authority (ALUA) Board (See CC 11-5-1).

RECOMMENDATION

Staff has reviewed the proposed preliminary plat and phasing plan and recommends approval.

BACKGROUND

Project Information	
<b>Project Name</b>	Harvest Park 4 Preliminary Subdivision
<b>Site Location</b>	6980 South and Cobblestone Drive
<b>Tax ID Number</b>	132750011 and 132750004
<b>Applicant</b>	Layne Kap
<b>Owner</b>	Layne Kap
<b>Proposed Actions</b>	Preliminary Plat Approval
<b>Current Zoning</b>	R-M – Residential Moderate Density Zone
<b>General Plan Land Use Classification</b>	Residential Moderate Density (R-M)
<b>Gross Site</b>	11.3 Acres
<b>Number of Lots</b>	15
<b>Gross Density Calculation</b>	1.33 dwelling units per acre

**Zoning:** This parcel is zoned R-M – Residential Moderate Density Zone. The proposed subdivision proposed to divide the 11.3 acres into ten residential single-family lots. The four lots comply with the maximum density allowed in the zone and the allowed land use.

**Subdivision Plat Process:** The preliminary subdivision plat is being reviewed tonight by the Planning Commission. The preliminary subdivision contains a significant level of detail, and the improvement plans for the development of the utility and road infrastructure. The final plat will complete the subdivision process when it is reviewed, approved, and recorded. Construction of the proposed utilities and site improvements may begin after the preliminary plat approval by the Planning Commission and final approval of the plat and improvement plans by the ALUA Board, but lot sales may not begin until the final plat is recorded.

**Rezone Condition of Approval:** The rezone of this property had a condition of approval that no more than 12 new lots are created with the new plat. The subdivision is the amalgamation of three existing parcels and creates 12 new lots complying with the condition of approval.

**Engineering Comments:** The City Engineer reviewed the Harvest Park Preliminary Plat and recommends preliminary plat approval.

#### **STAFF REVIEW**

HARVEST PARK 4 PRELIMINARY SUB	COMMENTS
<b>11-4-1: PRELIMINARY PLAT AND IMPROVEMENT PLANS:</b>	
A. Purpose: For the Administrative Land Use Authority to complete an initial Subdivision Ordinance Review and an initial Subdivision Plan Review.	Completed
B. Application Required: The Applicant shall submit the required Preliminary Subdivision Plat Application for review and approval by the Administrative Land Use Authority.	Submitted/complies
1. Exception: When a proposed Subdivision does not involve the development of new public infrastructure, an exception may be granted by the City Engineer to waive, in writing, the need for the review of the Preliminary Improvement Plans.	NA
C. Complete Application: An application shall be considered complete and begin the first review cycle when the following items are Submitted/complies:	Submitted/complies
1. A completed Preliminary Subdivision Plat Application as provided by the City.	Submitted/complies
2. Additional studies and information as listed on the application form and as necessary to show feasible compliance with applicable codes and regulations (see subsection 11-7-1D).	Geotechnical report is required.



3. A signed Owner-Agent Affidavit (if the Owner is being represented by another party).	Submitted/complies
4. Current Davis County ownership plat depicting property proposed for subdivision and all contiguous property around land proposed to be subdivided.	Submitted/complies
5. A recent Title Report covering the proposed subdivided property identifying ownership, easements of record, liens or other encumbrances and verifies payment of taxes and assessments.	Title and tax information confirmed. An updated report will be required prior to final plat submittal.
6. Will serve letters from all applicable service providers.	Revisions required prior to final plat submittal
7. A digital copy of the preliminary plat as outlined in the Public Works Standards.	Submitted/revisions required by City Engineer prior to final plat submittal
8. A digital copy of the preliminary improvement plans to include at a minimum the following:	Submitted/complies
a. Grading and drainage plan.	Submitted/complies
(1) Storm Drain calculations.	Submitted/complies
(2) Low Impact Design (LID) analysis and Water Quality Report.	Submitted/complies
b. Utility plan.	Submitted/complies
(1) Payment of fees as stated in the City's current adopted Fee Schedule.	Submitted/complies

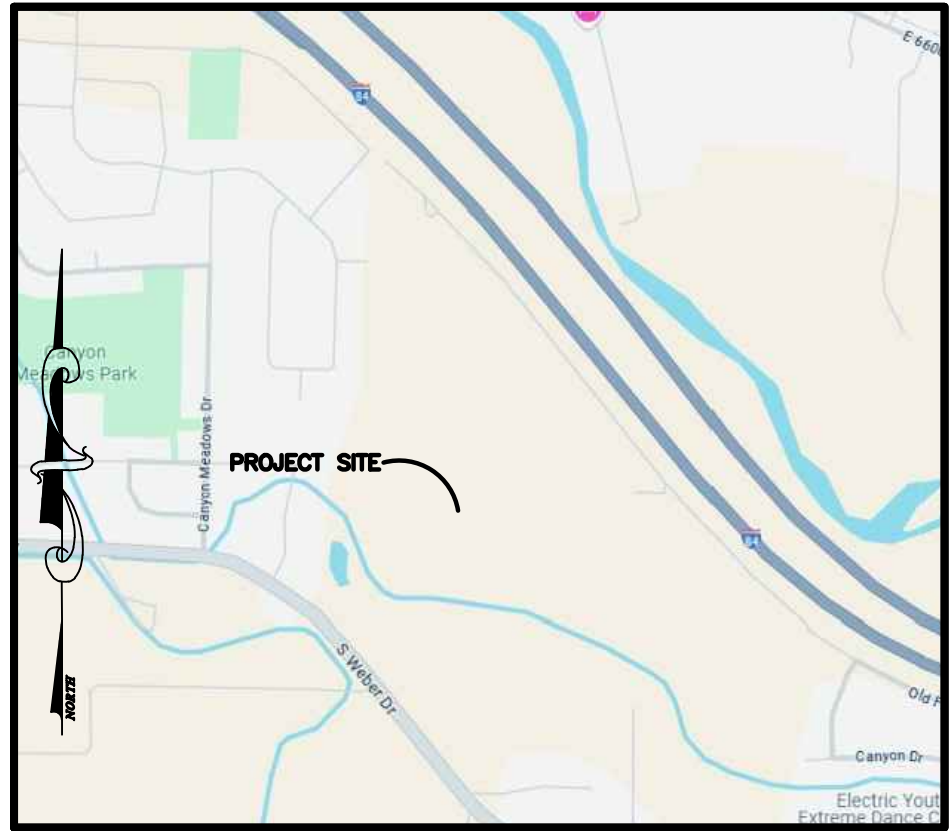
**EXHIBIT A: Harvest Park 4 Subdivision Preliminary Plat, May 2025**

SHEET 1 OF 2

# HARVEST PARK NO. 4

## AMENDING STAN COOK SUBDIVISION PHASE II AMENDED

PART OF LOT 6 AND ALL OF LOTS 3 AND 4 OF STAN COOK SUBDIVISION PHASE II AMENDED  
PART OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY  
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH



VICINITY MAP  
SCALE: NONE

### NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THIS PROPERTY INTO LOTS AND STREETS. THE BOUNDARY WAS DETERMINED BY RETRACING AND MATCHING STAN COOK SUBDIVISION PHASE II AMENDED PLAT (ENTRY #1630605, BK-2728 PG-689, RECORDED ON DECEMBER 22, 2000 IN THE OFFICE OF THE DAVIS COUNTY RECORDER). ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 3/4" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

### BASIS OF BEARINGS

A LINE BEARING SOUTH 00°36'39" WEST BETWEEN SAID WEST QUARTER CORNER AND SOUTHWEST CORNER OF SECTION 28 WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

### BOUNDARY DESCRIPTION

A PORTION OF LOT 6 AND ALL OF LOTS 3 AND 4 OF THE STAN COOK SUBDIVISION PHASE II AMENDED, LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF CANYON MEADOWS PUD, SAID POINT BEING 2143.96 FEET SOUTH 00°36'39" WEST ALONG THE SECTION LINE AND 1474.97 FEET SOUTH 89°23'21" EAST FROM THE NORTHWEST CORNER OF SAID SECTION 28 (NORTHWEST CORNER BEING NORTH 00°36'39" EAST 2653.27 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 28; THENCE SOUTH 88°37'55" EAST 664.59 FEET ALONG THE SOUTH LINE OF HARVEST PARK PHASE 3; THENCE SOUTH 01°06'20" WEST 769.86 FEET TO THE NORTHEAST CORNER OF LOT 2 OF STAN COOK SUBDIVISION PHASE II AMENDED; THENCE NORTH 87°30'48" WEST 323.14 FEET TO THE NORTH LINE OF LOT 1 OF STAN COOK SUBDIVISION PHASE II AMENDED; THENCE NORTH 59°29'09" WEST 36.80 FEET ALONG SAID NORTH LINE TO THE WEST LINE OF SAID LOT 1; THENCE SOUTH 30°30'53" WEST 177.21 FEET ALONG SAID WEST LINE TO THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTH WEBER DRIVE; THENCE NORTH 57°14'33" WEST 30.02 FEET ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO THE EAST LINE OF LOT 7 OF STAN COOK SUBDIVISION PHASE II AMENDED; THENCE ALONG SAID EAST LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 30°30'51" EAST 31.33 FEET; (2) ALONG A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 200.00 FEET, AN ARC LENGTH OF 106.51 FEET, A DELTA ANGLE OF 30°30'51", A CHORD BEARING OF NORTH 15°15'26" EAST, AND A CHORD LENGTH OF 105.26 FEET; AND (3) DUE NORTH 85.22 FEET TO THE NORTH LINE OF SAID LOT 7; THENCE NORTH 88°43'07" WEST 237.45 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF CANYON MEADOWS PUD; THENCE ALONG SAID EAST LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 01°08'39" EAST 191.42 FEET; (2) NORTH 01°08'39" EAST 322.84 FEET; AND (3) NORTH 01°22'05" EAST 156.12 FEET TO THE POINT OF BEGINNING.

CONTAINING 491759 S.F. OR 11.289 ACRES.

### NOTES

- ALL GENERAL UTILITY EASEMENTS ARE 10' UNLESS NOTED OTHERWISE
- ALL PROPERTY OWNERS ARE RESPONSIBLE TO KEEP STORM WATER RUNOFF GENERATED FROM THEIR PROPERTY, ON THEIR PROPERTY. THEY MAY NOT DIRECT RUNOFF ONTO ADJACENT PROPERTY OWNERS. ANY GRADING OR LANDSCAPING SHOULD BE DONE IN SUCH A WAY AS TO KEEP ALL STORM WATER RUNOFF ON THEIR LOT.

### SURVEYOR'S CERTIFICATE

I, **JASON T. FELT**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **HARVEST PARK NO. 4** IN **SOUTH WEBER CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

9239283

UTAH LICENSE NUMBER



### OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND PUBLIC STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **HARVEST PARK NO. 4**, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH, ALL PARTS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; AND ALSO DEDICATE TO SOUTH WEBER CITY THOSE CERTAIN STRIPS AS EASEMENTS FOR GENERAL UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF GENERAL UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SOUTH WEBER CITY; AND ALSO DEDICATE, OR CONFIRM AS EXISTING, THE EASEMENTS FOR THE RESPECTIVE UTILITY COMPANIES AS SHOWN HEREON, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN ANY EASEMENT DESCRIBED HEREON.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

STANLEY R & BONNIE B COOK – TRUSTEES

NAME/TITLE NAME/TITLE

GARY EISERT TERESA EISERT

PHILIP S ROMNEY PEGGY C ROMNEY

### ACKNOWLEDGMENT

STATE OF UTAH )SS.  
COUNTY OF \_\_\_\_\_ )  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC,  
\_\_\_\_ (AND) \_\_\_\_\_ BEING BY ME DULY SWORN,  
ACKNOWLEDGED TO ME THEY ARE \_\_\_\_\_ AND  
\_\_\_\_ OF SAID COMPANY AND THAT THEY SIGNED THE ABOVE  
OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN  
BEHALF OF SAID COMPANY FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY, \_\_\_\_\_

### ACKNOWLEDGMENT

STATE OF UTAH )SS.  
COUNTY OF \_\_\_\_\_ )  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC,  
\_\_\_\_ (AND) \_\_\_\_\_ SIGNER(S) OF THE ABOVE  
OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN,  
DID ACKNOWLEDGE TO ME \_\_\_\_\_ SIGNED IT FREELY,  
VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY, \_\_\_\_\_

### ACKNOWLEDGMENT

STATE OF UTAH )SS.  
COUNTY OF \_\_\_\_\_ )  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC,  
\_\_\_\_ (AND) \_\_\_\_\_ SIGNER(S) OF THE ABOVE  
OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN,  
DID ACKNOWLEDGE TO ME \_\_\_\_\_ SIGNED IT FREELY,  
VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY, \_\_\_\_\_

### PROJECT INFORMATION

Surveyor: J. FELT Project Name: HARVEST PARK NO. 4  
Designer: N. ANDERSON Number: 5918-21  
Scale: 1"=50'  
Begin Date: 6-4-2025 Revision: \_\_\_\_\_  
Checked: \_\_\_\_\_



**Reeve & Associates, Inc.**  
2140 S 1500 W, RIVINGTON, UTAH 84405  
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-associ.com  
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

### DAVIS COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID  
\_\_\_\_\_ FILED FOR RECORD  
AND RECORDED, \_\_\_\_\_ AT  
\_\_\_\_\_ IN BOOK \_\_\_\_\_ OF  
THE OFFICIAL RECORDS, PAGE \_\_\_\_\_

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY,

### SOUTH WEBER CITY PLANNING COMMISSION

APPROVED BY THE SOUTH WEBER PLANNING  
COMMISSION ON  
THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

### SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED  
THIS PLAT AND IT IS CORRECT IN ACCORDANCE  
WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH WEBER CITY ENGINEER DATE

### SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS  
THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT  
WHICH TIME THIS SUBDIVISION WAS APPROVED AND  
ACCEPTED.

ATTEST:  
SOUTH WEBER CITY MAYOR CITY RECORDER

### SOUTH WEBER CITY ATTORNEY

APPROVED BY THE SOUTH WEBER CITY ATTORNEY  
THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SOUTH WEBER CITY ATTORNEY



SHEET 2 OF 2

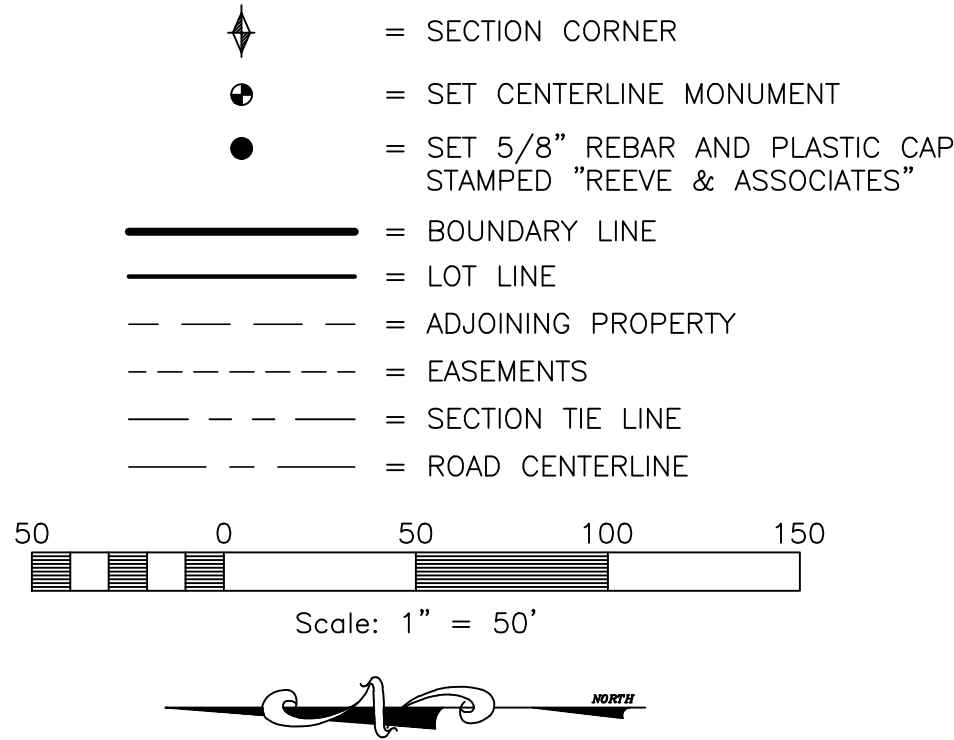
# HARVEST PARK NO. 4

## AMENDING STAN COOK SUBDIVISION PHASE II AMENDED

PART OF LOT 6 AND ALL OF LOTS 3 AND 4 OF STAN COOK SUBDIVISION PHASE II AMENDED  
PART OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY  
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH

13-018-0093  
NATE SWAIN

### LEGEND

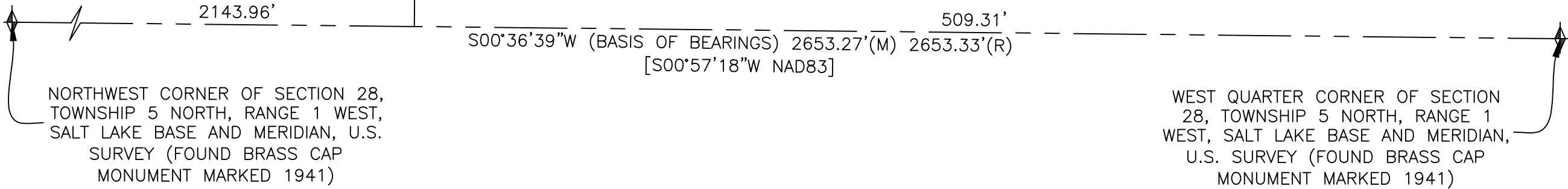


### LINE TABLE

LINE	BEARING	DISTANCE
L1	N59°29'09"W	36.80'
L2	N57°14'33"W	30.02'
L3	N30°30'51"E	31.33'
L4	S10°34'57"W	14.14'
L5	S79°25'03"E	14.14'
L6	N12°17'29"E	13.71'
L7	N78°03'29"W	14.47'
L8	S01°22'05"W	27.99'
L9	S34°25'03"E	53.09'
L10	N55°34'57"E	23.76'
L11	S88°37'55"E	60.12'

### CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	200.00'	106.51'	105.26'	54.55'	N15°15'26"E	30°30'51"
C2	267.30'	61.99'	61.85'	31.13'	S05°16'31"E	13°17'11"
C3	267.30'	91.19'	90.75'	46.04'	S21°41'30"E	19°32'47"
C4	267.30'	13.78'	13.77'	6.89'	S32°56'28"E	2°57'10"
C5	261.04'	162.64'	160.02'	84.05'	S73°25'51"W	35°41'48"
C6	197.30'	123.23'	121.24'	63.70'	S16°31'29"E	35°47'08"
C7	342.30'	79.03'	78.86'	39.69'	N65°45'09"E	13°13'43"
C8	342.30'	85.03'	84.81'	42.74'	N79°29'00"E	14°13'59"
C9	272.30'	33.46'	33.44'	16.75'	S87°50'52"W	7°02'25"
C10	272.30'	115.37'	114.51'	58.56'	S72°11'24"W	24°16'31"
C11	269.14'	16.71'	16.71'	8.36'	S32°38'20"E	3°33'25"
C12	269.14'	79.75'	79.46'	40.17'	S22°22'18"E	16°58'39"
C13	269.14'	70.41'	70.21'	35.41'	S06°23'19"E	14°59'19"
C14	199.14'	123.46'	121.50'	63.79'	S16°39'21"E	35°31'23"
C15	331.04'	56.75'	56.68'	28.44'	S60°29'37"W	9°49'19"
C16	331.04'	80.71'	80.51'	40.55'	S72°23'20"W	13°58'07"
C17	331.04'	68.80'	68.68'	34.53'	S85°19'38"W	11°54'30"
C18	170.00'	94.96'	93.73'	48.75'	S17°22'12"W	32°00'14"
C19	230.00'	133.96'	132.08'	68.94'	S16°41'10"W	33°22'19"
C20	232.30'	145.10'	142.75'	75.01'	S16°31'25"E	35°47'16"
C21	307.30'	191.93'	188.83'	99.21'	N73°28'31"E	35°47'08"
C22	296.04'	184.45'	181.48'	95.33'	S73°25'55"W	35°41'56"
C23	234.14'	145.16'	142.85'	75.00'	S16°39'21"E	35°31'23"
C24	342.30'	15.67'	15.67'	7.84'	N87°54'42"E	2°37'24"
C25	342.30'	12.81'	12.81'	6.41'	S89°42'15"E	2°08'41"



### PROJECT INFORMATION

Surveyor: J. FELT  
Designer: N. ANDERSON  
Begin Date: 6-4-2025  
Project Name: HARVEST PARK NO. 4  
Number: 5918-21  
Scale: 1"=50'  
Revision:  
Checked:

### DAVIS COUNTY RECORDER

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RECORDED FOR:



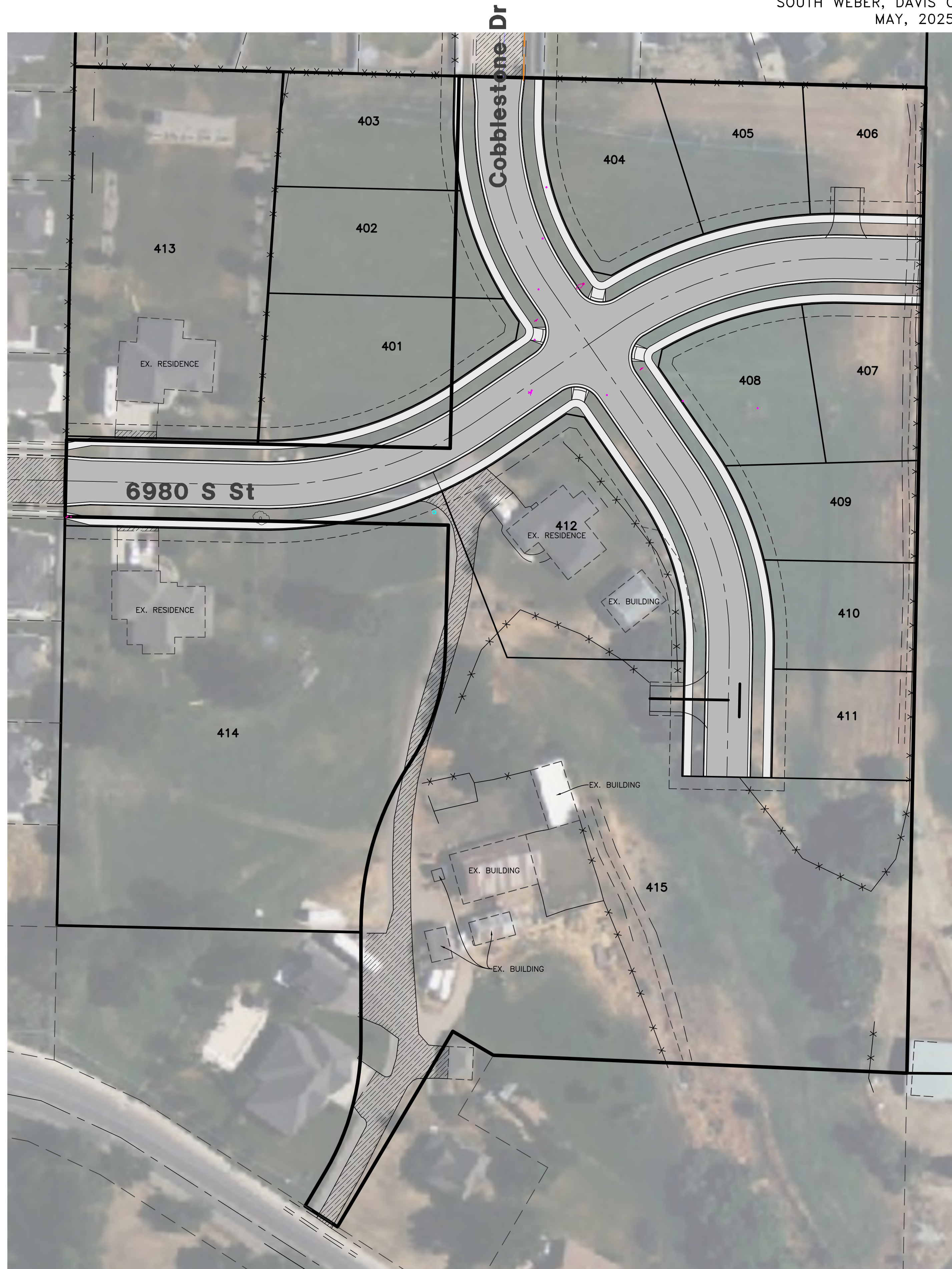
DAVIS COUNTY RECORDER  
DEPUTY,



1. 06/05/2025 ZD - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

Reeve &amp; Associates, Inc. - Solutions You Can Build On

SOUTH WEBER, DAVIS COUNTY, UTAH  
MAY, 2025



### Vicinity Map

NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION

**Harvest Park No. 4**  
**6980 S Cooks Cove**  
SOUTH WEBER, DAVIS COUNTY, UTAH

## Cover/Index Sheet

**Project Info.**  
Engineer: JEREMY A. DRAPER, P.E.  
Drafter: Z. DECARIA  
Begin Date: MAY 2025  
Name: HARVEST PARK  
Number: 5918-21

1  
3 Total Sheets

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc. - Solutions You Can Build On

8 of 36

**Jason Felt**  
Reeve & Associates, Inc.  
5160 South 1500 West  
Riverdale, Utah, 84405  
PH:(801) 621-3100

**Chris Cave**  
Reeve & Associates, Inc.  
5160 South 1500 West  
Riverdale, Utah, 84405  
PH:(801) 621-3100

**THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.**

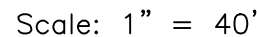








SOUTH WEBER, DAVIS COUNTY, UTAH  
MAY, 2025



NOT TO SCALE

DATE \_\_\_\_\_

**Harvest Park No. 4  
6980 S Cooks Cove**  
SOUTH WEBER, DAVIS COUNTY, UTAH

**Storm Water Pollution  
Prevention Plan Exhibit**



Engineer:  
JEREMY A. DRAPER, P.E.

Begin Date: MAY 2025

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10

20 of 36

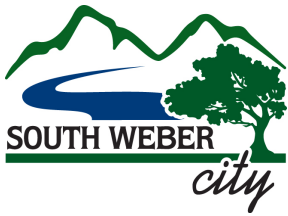


11 of 11

SWPPP NOTES:

1. ALL VEHICLES EXITING SITE TO PROCEED THROUGH CONSTRUCTION ENTRANCE TO REDUCE AMOUNTS OF SEDIMENT TRACKED ONTO ROADWAYS.
2. STREETS TO BE SWEEPED WITHIN 1000 FEET OF CONSTRUCTION ENTRANCE DAILY IF NECESSARY

- PROJECT LOCATION.....SOUTH WEBER, DAVIS COUNTY, UTAH  
- PROJECT BEGINNING DATE.....JULY 2025  
- BMP'S DEPLOYMENT DATE.....JULY 2025  
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....TBD (000) 000-0000  
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP  
BY OWNER/DEVELOPER



# PLANNING COMMISSION MEETING STAFF REPORT

MEETING DATE

September 11, 2025

PREPARED BYLance Evans  
Community Development  
ManagerBrandon Jones, P.E.  
City EngineerITEM TYPE

Administrative

ATTACHMENTS

Preliminary Plat

AGENDA ITEM

Kap Legacy Preliminary Plat

PURPOSE

Administrative Action: Preliminary Subdivision Plat Approval. Final Subdivision Plat and Improvement Plans will be reviewed and approved by the Administrative Land Use Authority (ALUA) Board (See CC 11-5-1).

RECOMMENDATION

Staff has reviewed the proposed preliminary plat and phasing plan and recommends approval with the modifications to the plat as outlined in the staff report.

BACKGROUND

Project Information	
<b>Project Name</b>	Kap Legacy Preliminary Subdivision
<b>Site Location</b>	980 E South Weber Drive
<b>Tax ID Number</b>	13-021-0001, 13-021-0024, 13-021-0025, 13-021-0026, 13-021-0114
<b>Applicant</b>	Korey Kap
<b>Owner</b>	Mark Kap
<b>Proposed Actions</b>	Preliminary Plat Approval
<b>Current Zoning</b>	R-M – Residential Moderate Density Zone
<b>General Plan Land Use Classification</b>	Residential Moderate Density (R-M)
<b>Gross Site</b>	31 Acres
<b>Number of Lots</b>	77
<b>Gross Density Calculation</b>	2.4 dwelling units per acre

**Zoning:** This parcel is zoned R-M – Residential Moderate Density Zone. The proposed subdivision proposed to divide the 31 acres into seventy-seven (77) residential single-family lots. The four lots comply with the maximum density of 2.8 dwelling units per acre, allowed in the zone and the allowed land use.

**Subdivision Plat Process-** The preliminary subdivision plat is being reviewed tonight by the Planning Commission. The preliminary subdivision contains a significant level of detail, and the improvement plans for the development of the utility and road infrastructure. The final plat will complete the subdivision process when it is reviewed, approved, and recorded. Construction of the proposed utilities and site improvements may begin after the preliminary plat approval by the Planning Commission and final approval of the plat and improvement plans by the ALUA Board, but lot sales may not begin until the final plat is recorded.

**Engineering Comments:** The City Engineer reviewed the Kap Legacy Preliminary Plat and recommends preliminary plat approval based on the modifications required in his review memo.

#### **STAFF REVIEW**

KAP LEGACY PRELIMINARY SUB	COMMENTS
<b>11-4-1: Preliminary Plat and Improvement Plans</b>	
<b>11-4-1: PRELIMINARY PLAT AND IMPROVEMENT PLANS:</b>	
A. Purpose: For the Administrative Land Use Authority to complete an initial Subdivision Ordinance Review and an initial Subdivision Plan Review.	Completed
B. Application Required: The Applicant shall submit the required Preliminary Subdivision Plat Application for review and approval by the Administrative Land Use Authority.	Submitted/complies
1. Exception: When a proposed Subdivision does not involve the development of new public infrastructure, an exception may be granted by the City Engineer to waive, in writing, the need for the review of the Preliminary Improvement Plans.	NA
C. Complete Application: An application shall be considered complete and begin the first review cycle when the following items are Submitted/complies:	Submitted/complies
1. A completed Preliminary Subdivision Plat Application as provided by the City.	Submitted/complies
2. Additional studies and information as listed on the application form and as necessary to show feasible compliance with applicable codes and regulations (see subsection 11-7-1D).	Geotechnical report is required prior to pre-construction meeting
3. A signed Owner-Agent Affidavit (if the Owner is being represented by another party).	Submitted/complies



4. Current Davis County ownership plat depicting property proposed for subdivision and all contiguous property around land proposed to be subdivided.	Submitted/complies
5. A recent Title Report covering the proposed subdivided property identifying ownership, easements of record, liens or other encumbrances and verifies payment of taxes and assessments.	Title and tax information confirmed. An updated report will be required prior to final plat submittal.
6. Will serve letters from all applicable service providers.	Submitted/final approvals required by City Engineer prior to final plat submittal
7. A digital copy of the preliminary plat as outlined in the Public Works Standards.	Submitted/revisions required by City Engineer prior to final plat submittal
8. A digital copy of the preliminary improvement plans to include at a minimum the following:	Submitted/complies
a. Grading and drainage plan.	Submitted/complies
(1) Storm Drain calculations.	Submitted/complies
(2) Low Impact Design (LID) analysis and Water Quality Report.	Submitted/complies
b. Utility plan.	Submitted/complies
(1) Payment of fees as stated in the City's current adopted Fee Schedule.	Submitted/complies

**EXHIBIT A: Kap Legacy Subdivision – Phase 1 and Phase 2 Preliminary Plat, June 2025**



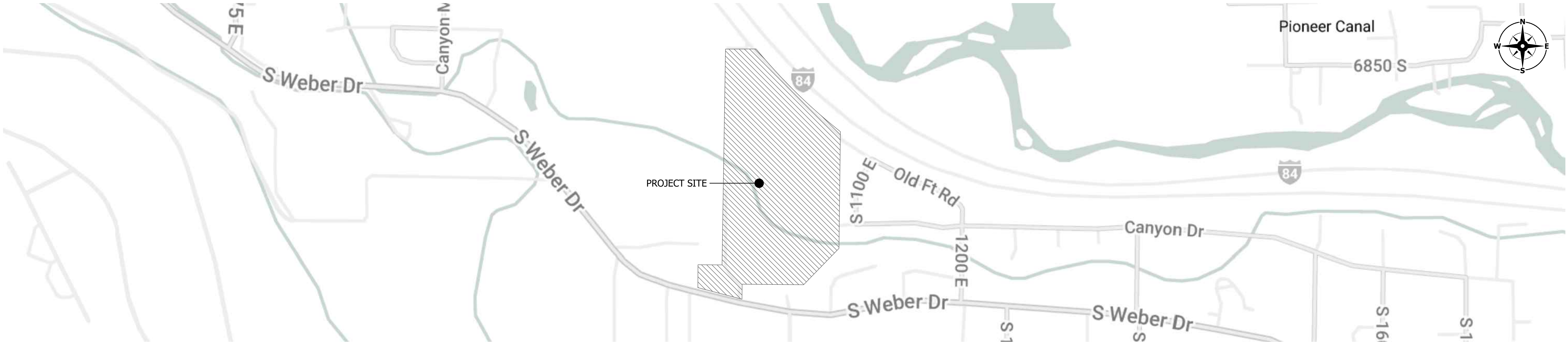
# CIVIL CONSTRUCTION PLANS

## KAP LEGACY SUBDIVISION - PHASE 1

972 E SOUTH WEBER DR, SOUTH WEBER, UT 84405

### VICINITY MAP

NOT TO SCALE



### SHEET INDEX

C0.00	COVER SHEET
C0.10	GENERAL NOTES & LEGEND
C0.20	SITE DEMOLITION PLAN
C0.30	LOT LAYOUT & PROJECT KEY MAP
C1.00	PROPOSED SITE PLAN
C1.90	CITY DETAILS
C1.91	CITY DETAILS (CONT'D)
C2.00	SITE GRADING & DRAINAGE PLAN
C2.90	SITE DRAINAGE DETAILS
C3.00	SITE UTILITY PLAN
C3.90	CITY UTILITY DETAILS
C4.00	PLAN & PROFILE
C4.01	PLAN & PROFILE
C4.02	PLAN & PROFILE
C4.03	PLAN & PROFILE
C4.04	PLAN & PROFILE
C4.05	PLAN & PROFILE
C4.06	PLAN & PROFILE
C4.07	PLAN & PROFILE
C4.08	PLAN & PROFILE
C4.09	PLAN & PROFILE
C5.00	EROSION CONTROL PLAN
C5.90	EROSION CONTROL DETAILS
	PRELIMINARY PLAT

### SITE DATA

**OVERALL PROJECT BOUNDARY DESCRIPTION:**  
A PART OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTH WEBER DRIVE LOCATED 985.68 FEET SOUTH 89°28'31" EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER AND 758.64 FEET NORTH 00°31'29" EAST FROM THE SOUTH QUARTER CORNER OF SAID SECTION 28;

RUNNING THENCE NORTH 75°22'31" WEST 153.02 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE SOUTHEAST CORNER OF THE JOAN VICKERS PROPERTY, TAX ID. NO. 13-021-0151, POINT ALSO BEING ON AN EXISTING FENCE LINE; THENCE ALONG THE BOUNDARY OF SAID JOAN VICKERS PROPERTY THE FOLLOWING TWO (2) COURSES; (1) NORTH 01°47'18" EAST 117.61 FEET ALONG SAID EXISTING FENCE LINE; AND (2) NORTH 38°35'11" WEST 11.56 FEET TO THE SOUTHEAST CORNER OF THE RAY PEEK PROPERTY, TAX ID. NO. 13-021-0150; THENCE NORTH 00°55'03" EAST 1714.47 FEET ALONG THE WEST LINE OF SAID RAY PEEK PROPERTY AND CONTINUING ALONG THE WEST LINE OF THE VERN PEEK PROPERTY TAX ID. NO. 13-021-0133 AND AN EXISTING FENCE LINE TO AN ANGLE POINT OF SAID VERN PEEK PROPERTY; THENCE NORTH 89°45'16" EAST 236.15 FEET ALONG THE BOUNDARY OF SAID VERK PEEK PROPERTY TO THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE 84; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES; (1) SOUTHEASTERLY ON A NON-TANGENT CURVE TO THE LEFT ALONG THE ARC OF A 4316.43 FOOT RADIUS CURVE, A DISTANCE OF 678.86 FEET, CHORD BEARS SOUTH 43°38'31" EAST 678.16 FEET, HAVING A CENTRAL ANGLE OF 09°00'40"; AND (2) SOUTHEASTERLY ON A NON-TANGENT CURVE TO THE LEFT ALONG THE ARC OF A 2994.79 FOOT RADIUS CURVE, A DISTANCE OF 207.15 FEET, CHORD BEARS SOUTH 50°52'17" EAST 207.11 FEET, HAVING A CENTRAL ANGLE OF 03°57'47" TO THE EAST LINE OF COTTONWOOD COVE PHASE 4 SUBDIVISION; THENCE SOUTH 00°42'06" WEST 883.12 FEET ALONG SAID EAST LINE TO THE BOUNDARY OF BOUCHARD SUBDIVISION; THENCE ALONG THE BOUNDARY OF SAID BOUCHARD SUBDIVISION THE FOLLOWING TWO (2) COURSES; (1) NORTH 81°30'34" WEST 6.32 FEET; AND (2) SOUTH 44°02'01" WEST 373.61 FEET TO THE NORTHEAST CORNER OF THE DAVID STANGER PROPERTY, TAX ID. NO. 13-021-0095; THENCE NORTH 89°28'31" WEST 462.93 FEET ALONG THE NORTH LINE OF SAID DAVID STANGER PROPERTY AND CONTINUING ALONG THE NORTH LINE OF THE JARED OLSON PROPERTY, TAX ID. NO. 13-021-0094 AND CONTINUING ALONG THE NORTH LINE OF THE GORDON SMITH PROPERTIES TAX ID. NO'S. 13-021-0078 AND 13-021-0062 AND CONTINUING ALONG THE NORTH LINE OF THE EDWARD L. SORENSON PROPERTY, TAX ID. NO. 13-021-0035; THENCE SOUTH 00°31'29" WEST 112.56 FEET ALONG THE WEST LINE OF SAID EDWARD L. SORENSON PROPERTY TO THE POINT OF BEGINNING. CONTAINING 30.18 ACRES.

### SITE DATA (CONT'D)

**AFFECTED PARCEL NO.:**  
13-021-0024, 13-021-0025, 13-021-0026, 13-021-0027, 13-021-0114, 13-021-0001, 13-021-0150, 13-021-0151

**FLOOD INFORMATION:**  
THIS PROPERTY LIES WITHIN FLOOD ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. INFORMATION OBTAINED FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 49011C0089F, EFFECTIVE DATE: SEPTEMBER 15, 2022.

**BENCHMARK INFORMATION:**  
FOUND CENTERLINE MONUMENT, ELEV = 4458.63'  
VERTICAL DATUM: NAVD88

### DEVELOPMENT SUMMARY

**LOCATION:** SOUTH WEBER, DAVIS COUNTY  
**ZONING:** R-M, RESIDENTIAL MODERATE DENSITY ZONE  
**LAND USE:** SINGLE-FAMILY

**PROPERTY SIZE:** 1,350,303 SF / 31.00 ACRES  
**PHASE 1 SIZE:** 726,359 SF / 16.67 ACRES

**SINGLE FAMILY LOTS:** 39 LOTS  
**DENSITY:** 2.34 LOTS / ACRE

### NOTICE TO CONTRACTORS

THE EXISTENCE AND PLACEMENT OF ANY SUBSURFACE UTILITIES OR STRUCTURES REPRESENTED IN THESE PLANS HAVE BEEN SOURCED FROM THE MOST CURRENT DATA ACCESSIBLE. PLEASE NOTE THAT THE POSITIONS INDICATED ON THESE PLANS ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS. SHOULD ANY CONFLICTS OR INCONSISTENCIES OCCUR, PROMPTLY REACH OUT TO THE PROPERTY OWNER OR THE ENGINEER OF RECORD. FURTHERMORE, THE CONTRACTOR IS REQUIRED TO CONTACT THE RELEVANT UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO SAFEGUARD ALL UTILITIES, WHETHER OR NOT THEY ARE DEPICTED ON THESE PLANS.

### DEVELOPER TEAM

**DEVELOPER:**  
KOREY KAP  
978 EAST SOUTH WEBER DR, UNIT B  
SOUTH WEBER, UT 84405  
PH: (801) 476-0606

**SURVEYOR:**  
ARROW MAPPING INC  
ATTN: MATT PRETL  
112 CIRCLE DRIVE  
MORGAN, UT 84050  
PHONE: (801) 821-7244

**CIVIL ENGINEER:**  
HUNT DAY ENGINEERING  
ATTN: THOMAS HUNT, PE  
3445 ANTELOPE DRIVE  
SYRACUSE, UT 84075  
PHONE: (801) 664-4724

**GEOTECHNICAL ENGINEER:**  
CMT TECHNICAL SERVICES  
2796 SOUTH REDWOOD RD  
WEST VALLEY, UT 84119  
PHONE: (833) 620-2688

### AGENCY / UTILITY CONTACTS

**SOUTH WEBER PLANNING**  
1600 E SOUTH WEBER DRIVE  
SOUTH WEBER, UT 84405  
PHONE: (801) 479-3177 EXT 2221

**SOUTH WEBER PUBLIC WORKS DEPARTMENT**  
SOUTH WEBER, UT 84405  
PHONE: (801) 479-3177

**JONES & ASSOCIATES CONSULTING ENGINEERS**  
6080 FASHION POINT DRIVE  
SOUTH OGDEN, UT 84403  
PHONE: (801) 476-9767



**SOUTH WEBER CITY FIRE DEPT.**  
7365 SOUTH 1375 EAST  
SOUTH WEBER, UT 84405  
PHONE: (801) 476-8907

**SECONDARY WATER PROVIDER:**  
*SOUTH WEBER WATER IMPROVEMENT DISTRICT*  
7924 SOUTH 1900 EAST  
OGDEN, UT 84405  
PHONE: (801) 475-4749

**SEWER PROVIDER:**  
*CENTRAL WEBER SEWER IMPROVEMENT DISTRICT*  
2618 WEST PIONEER ROAD  
OGDEN, UT 84404  
PHONE: (801) 731-3011

**POWER COMPANY:**  
*ROCKY MOUNTAIN POWER*  
PHONE: (800) 469-3981

**GAS SERVICE:**  
*ENBRIDGE GAS*  
PHONE: (800) 323-5517

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	<div>SEAL</div> <div></div>	<table><tr><th>REV.</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr><tr><td>0</td><td>06 / 11 / 2025</td><td>INITIAL SUBMITTAL</td><td>RH</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>			REV.	DATE	DESCRIPTION	BY	0	06 / 11 / 2025	INITIAL SUBMITTAL	RH																
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General Notes

1.0 COMPLIANCE

- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALTY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING:

- INTERNATIONAL BUILDING CODES (IBC)

- INTERNATIONAL PLUMBING CODES

- STATE DRINKING WATER REGULATIONS

- ASPWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS

- ADA ACCESSIBILITY GUIDELINES.
- 1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

2.0 PERMITTING AND INSPECTIONS

- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2.2 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- 2.3 ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

3.0 COORDINATION AND VERIFICATION

- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 3.2 CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3.3 CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:

- LANDSCAPE PLANS

- SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)

- FIRE PROTECTION

- ARCHITECTURAL SITE PLANS

- ACCESSIBLE ROUTES

- ETC.
- 3.4 CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

4.0 SAFETY AND PROTECTION

- 4.1 CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- 4.2 CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- 4.3 CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OR WORKERS AND PUBLIC.
- 4.4 CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
- 4.5 CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- 4.6 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 4.7 CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- 4.8 CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- 4.9 CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- 4.10 CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- 4.11 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 4.12 CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- 4.13 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- 4.14 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR CONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

5.0 MATERIALS

- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR -1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION:

- SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.

- CONCRETE WATERWAYS, CURBWALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.

- UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.

- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) MIN. SUBGRADE.

- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN."

- ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
- 5.2 ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.

- ASPHALT COMPACTION SHALL BE A MINIMUM 96%.

- SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.

- AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.

- THICKNESS OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

6.0 GRADING & SOILS

- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- 6.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- 6.3 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- 6.4 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- 6.5 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

7.0 UTILITIES

- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 7.2 CONTRACTOR TO VERIFY BY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES, NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 7.4 CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD, PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.6 SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- 7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- 7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- 7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

8.0 SURVEY CONTROL

- 8.1 CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
- 8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- 8.3 CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

9.0 AMERICAN DISABILITIES ACT

- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:

- ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.

- ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.

- RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- 9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- 9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

10.0 EROSION CONTROL

- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
- 10.2 CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
- 10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
- 10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- 10.5 ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

11.0 MAINTENANCE

- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.
- 11.2 THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
- 11.3 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
- 11.4 SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
- 11.5 ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED

- TRACKING STRAW PERPENDICULAR TO SLOPES

- INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Linetypes

	PROPERTY LINE
	PROPERTY LINE ABUTTING ROW
	PROPERTY LINE
	BASIS OF BEARING
	CENTERLINE
	ADJACENT LOT LINE
	EASEMENT
	SETBACK
	CHAINLINK FENCE
	WOODEN FENCE
	VINYL FENCE
	RAILROAD
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	UTILITY FLOW DIRECTION
	EX UNKNOWN UTILITY
	EX OVERHEAD POWER
	EX UNDERGROUND POWER
	OVERHEAD POWER
	POWER
	EX TRAFFIC SIGNAL
	TRAFFIC SIGNAL
	EX NATURAL GAS
	NATURAL GAS
	EX CATV
	CABLE TV
	EX COMMUNICATIONS
	COMMUNICATIONS
	EX FIBER OPTIC
	FIBER OPTIC
	EX TELEPHONE
	TELEPHONE
	EX CULINARY WATER
	EX x" CULINARY WATER
	CULINARY WATER
	x" CULINARY WATER
	EX FIRE SERVICE
	FIRE SERVICE
	x" FIRE SERVICE
	EX SS
	EX FM
	EX x" SS
	EX SS
	EX x" SS
	SS
	FM
	x" SS
	EX SB
	EX x" SD
	SD
	RD
	x" SD
	x" RD
	EX IRRG
	EX LD
	EX SECW
	EX x" IRR
	IRRIGATION
	LD
	SECW
	x" IRR

Abbreviations

BFE	= BASEMENT FLOOR ELEVATION
BLDG	= BUILDING
BOS	= BOTTOM OF STAIRS
BOW	= BOTTOM OF WALL
BP	= BEGINNING POINT
C&G	= CURB & GUTTER
CB	= CATCH BASIN
CF	= CUBIC FEET
CFS	= CUBIC FEET PER SECOND
FF	= FINISH FLOOR
FFE	= FINISH FLOOR ELEVATION
FG	= FINISHED GRADE
FH	= FIRE HYDRANT
FL	= FLOW LINE
GB	= GRADE BREAK
INV	= INVERT
LF	= LINEAR FEET
NG	= NATURAL GRADE
PC	= POINT OF CURVATURE
PP	= POWER/UTILITY POLE
PRC	= POINT OF RETURN CURVATURE
PT	= POINT OF TANGENCY
PUE	= PUBLIC UTILITY EASEMENT
QTY	= QUANTITY
RCP	= REINFORCED CONCRETE PIPE
RIM	= RIM OF MANHOLE
ROW	= RIGHT-OF-WAY
SD	= STORM DRAIN
SS	= SANITARY SEWER
TBC	= TOP BACK OF CURB
TOA	= TOP OF ASPHALT
TOC	= TOP OF CONCRETE
TOFF	= TOP OF FINISHED FLOOR
TOS	= TOP OF STAIRS
TOW	= TOP OF WALL
TSW	= TOP OF SIDEWALK
W	= CULINARY WATER
WM	= WATER METER

Hatching

	EXISTING BUILDING
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	EXISTING CONCRETE PAVEMENT
	EXISTING ASPHALT PAVEMENT

Symbols

	SIGN
	LIGHT
	SD MH, INLET, AND COMBO BOX
	SEWER MANHOLE
	CLEAN-OUT
	VALVE, TEE, & BEND
	WATER BLOW-OFF
	WATER METER
	FIRE HYDRANT
	POWER POLE
	ELECTRICAL BOX
	TRAFFIC BOX
	MANHOLE
	PROP STREET MONUMENT
	EX MONUMENT
	SECTION CORNER
	SPOT ELEVATION

NOTE: DUPLICATE SYMBOLS USE SOLID FILL TO INDICATE EXISTING OR PROPOSED.

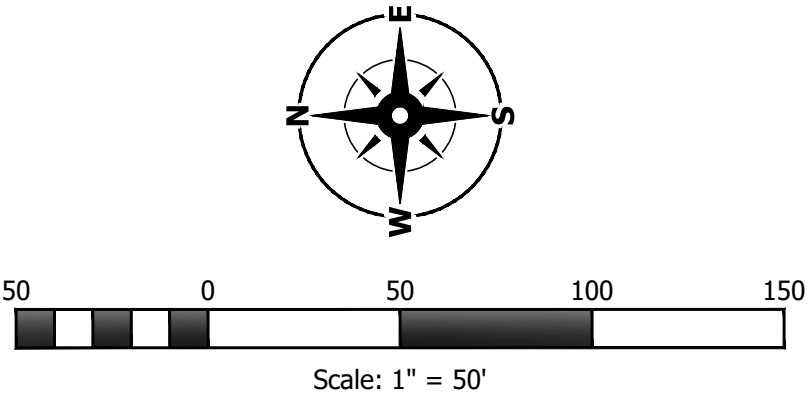
Detail Identification

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	Scale: NTS
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RYAN H C:\Users\Ryan H\Hunt Day\Dropbox\Projects\101-06 South Weber\100-CAD\101-AutoCAD\101-06 LOT LAYOUT & PROJECT KEY MAP 6/11/2025 4:33 PM



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PROFESSIONAL ENGINEER

THOMAS J. HUNT

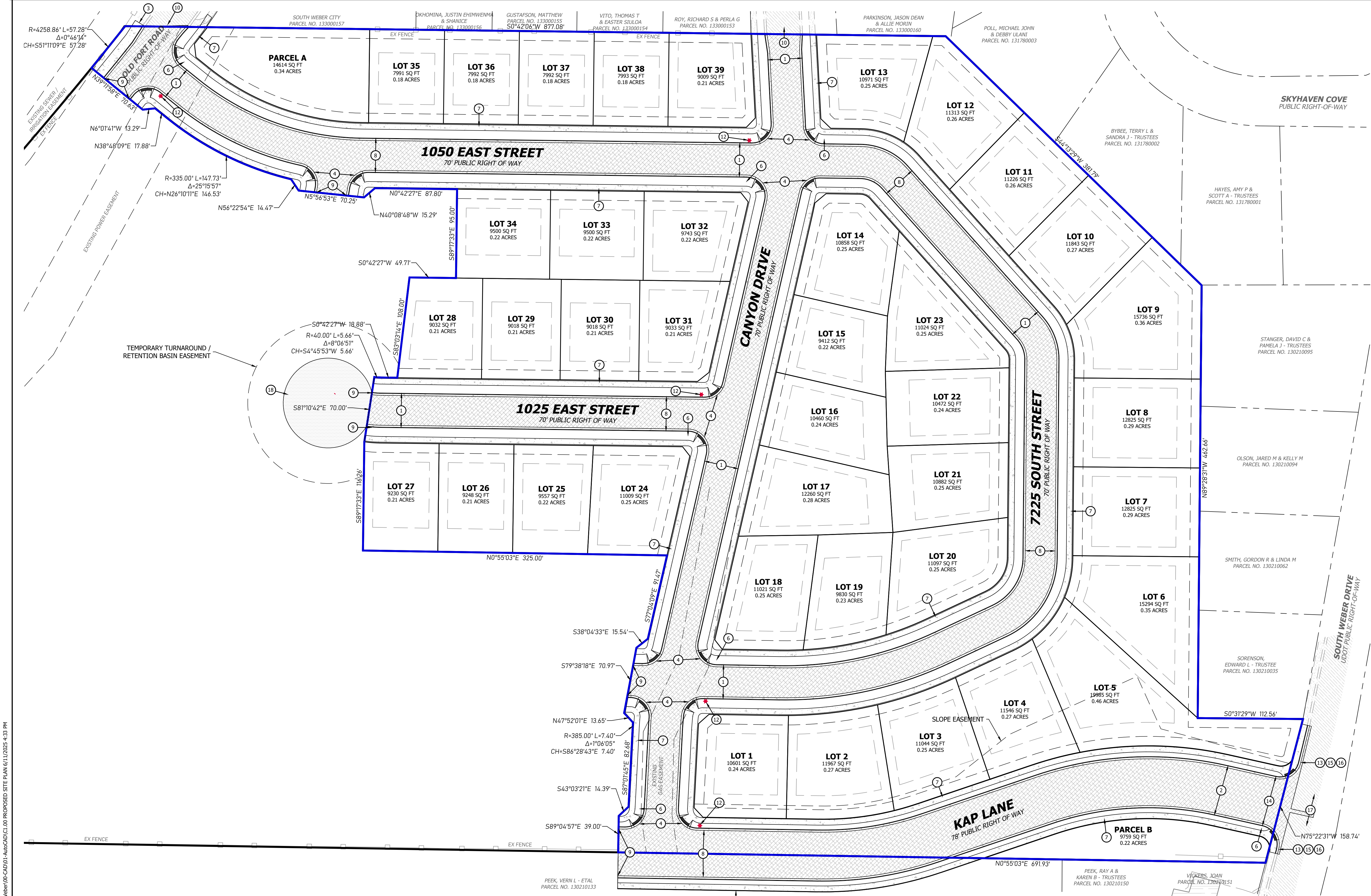
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STATE OF UTAH

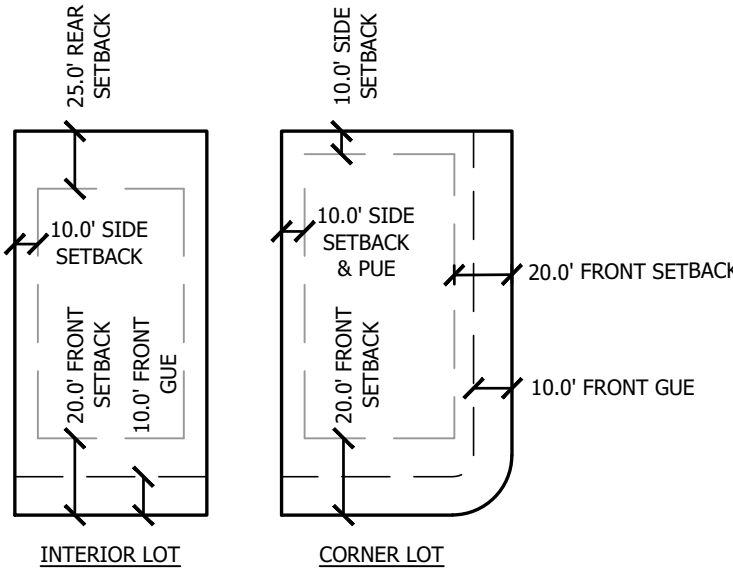
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Setback Standards	
	R-M
MIN. FRONT YARD SETBACK	20.0'
MIN. SIDE YARD SETBACK	10.0'
MIN. SIDE YARD CORNER LOT	20.0'
MIN. REAR YARD SETBACK	25.0'



1 R-M Setback & GUE Layout  
Scale: NTS

#### UDOT Standard Notes

- ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SIGN SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

#### General Notes

- SEE SHEET C0.10 FOR PROJECT LEGEND & ABBREVIATIONS.

#### Key Notes

- RESIDENTIAL STREET SECTION PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R1
- COLLECTOR ROADWAY SECTION B PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R1
- 8-FOOT ASPHALT TRAIL PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R2, MATCH EXISTING
- ADA RAMP PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R6
- TEMPORARY TURNAROUND PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R7
- STOP / STREET SIGN PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R9
- 6-FOOT CONCRETE SIDEWALK PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
- CONCRETE CURB & GUTTER PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
- CURB END SECTION PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
- ASPHALT PATCH PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
- LP-1 STREETLIGHT PER SOUTH WEBER CITY PUBLIC WORKS "SL" DETAILS
- LP-2 STREETLIGHT PER SOUTH WEBER CITY PUBLIC WORKS "SL" DETAILS
- CONCRETE CURB & GUTTER "TYPE B1" PER UDOT STANDARD DRAWING GW-2A
- TRANSITION FROM WEST POINT CURB AND GUTTER TO UDOT "TYPE B1" CURB AND GUTTER
- 5-FOOT CONCRETE SIDEWALK PER UDOT STANDARD DRAWING GW-3A
- CORNER PEDESTRIAN RAMP PER APWA PLAN NO. 235
- SAW CUT AND REPLACE ASPHALT PER UDOT STANDARD, SEE DETAIL C1 / SHEET C1.91
- TEMPORARY TURNAROUND WITH 12" THICK UNTREATED BASE COURSE

#### Development Summary

LOCATION:	SOUTH WEBER, DAVIS COUNTY
ZONING:	R-M, RESIDENTIAL MODERATE DENSITY ZONE
INTENDED USE:	SINGLE-FAMILY
PROPERTY SIZE:	
OVERALL:	1,350,303 SF / 31.00 ACRES
PHASE 1:	726,359 SF / 16.67 ACRES
ROW DEDICATION:	246,346 SF / 5.70 ACRES
REMAINDER PARCEL:	478,013 SF / 10.97 ACRES
SUMMARY:	
39 LOTS PROVIDED:	
2.34 LOTS / ACRE	

#### Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE OWNER / ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

PROJECT INFORMATION	
Designed:	T. Hunt
Drawn:	R. Hatfield
Approved:	T. Hunt
Date:	06 / 11 / 2025
Proj. No.	101 - 06
SHEET TITLE	
PROPOSED SITE PLAN	
SHEET NO.	
C1.00	

**HUNT DAY**  
ENGINEERING  
3445 ANTELOPE DRIVE, ST 200  
SYRACUSE, UT 84075  
PH: 801.664.4724  
EM: THOMAS@HUNTDAY.CO

#### VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING  
0" 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SEAL

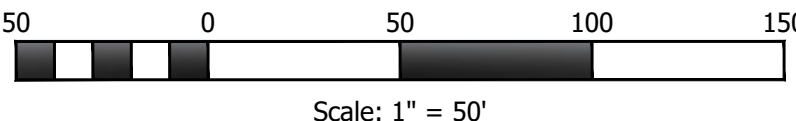
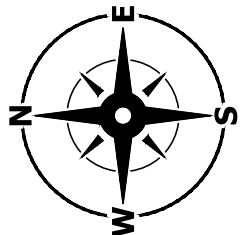


#### PROJECT TITLE

**KAP LEGACY SUBDIVISION**  
**SOUTH WEBER DRIVE & KAP LANE**  
**SOUTH WEBER, DAVIS COUNTY, UTAH**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 28,  
TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

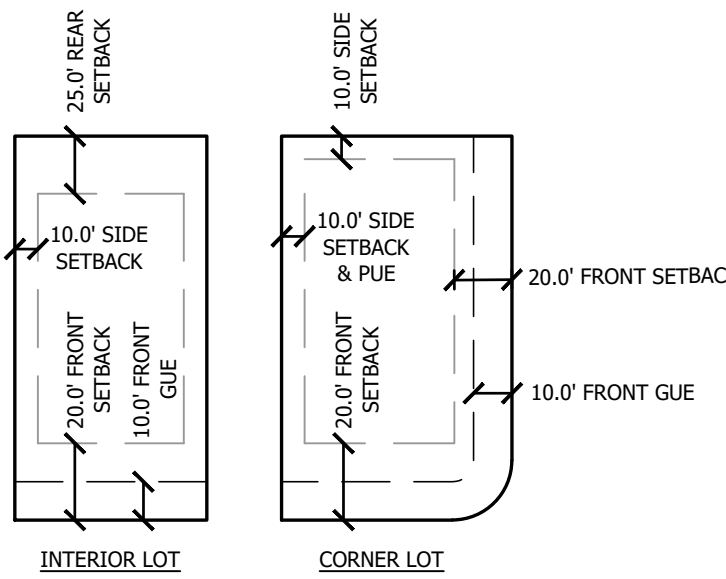
REV.	DATE	DESCRIPTION	BY
0	06 / 11 / 2025	INITIAL SUBMITTAL	RH











1 R-M Setback & GUE Layout  
- Scale: NTS

## General Notes

1. SEE SHEET C0.10 FOR PROJECT LEGEND & ABBREVIATIONS

## Key Notes

1. RESIDENTIAL STREET SECTION PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R1
2. COLLECTOR ROADWAY SECTION B PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R1
3. 10-FOOT ASPHALT TRAIL PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R2
4. ADA RAMP PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R6
5. CUL-DE-SAC PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R7
6. STOP / STREET SIGN PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R9
7. 6-FOOT CONCRETE SIDEWALK PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
8. CONCRETE CURB & GUTTER PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
9. ASPHALT PATCH PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
10. LP-2 STREETLIGHT PER SOUTH WEBER CITY PUBLIC WORKS "SL" DETAILS
11. 30" MOUNTABLE TYPE D CURB & GUTTER PER APWA PLAN NO. 205
12. PEDESTRIAN RAMP PER APWA PLAN NO. 236
13. 4" RAISED CONCRETE CUT-THROUGH ISLAND PER APWA PLAN NO. 237
14. 6' WIDE PEDESTRIAN WALKWAY
15. 36" (MAX) RETAINING WALL, SEE SHEET C1.92

## Development Summary

LOCATION: SOUTH WEBER, DAVIS COUNTY  
ZONING: R-M, RESIDENTIAL MODERATE DENSITY ZONE  
INTENDED USE: SINGLE-FAMILY

**PROPERTY SIZE:**  
**OVERALL:** 1,350,303 SF / 31.00 ACRE  
**PHASE 2:** 623,247 SF / 14.31 ACRES

**SUMMARY**  
35 LOTS PROVIDED  
2.45 LOTS / ACRE

## Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE OWNER / ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

PROJECT INFORMATION	
Designed:	T. Hunt
Drawn:	R. Hatfield
Approved:	T. Hunt
Date:	08 / 12 / 2025
Proj. No.	101 - 06
SHEET TITLE	

**HUNT DAY**  
**ENGINEERING**  
3445 ANTELOPE DRIVE, ST 200  
SYRACUSE, UT 84075  
PH: 801.664.4724  
EM: THOMAS@HUNTDAY.CO

## PROPOSED SITE PLAN

SHEET NO

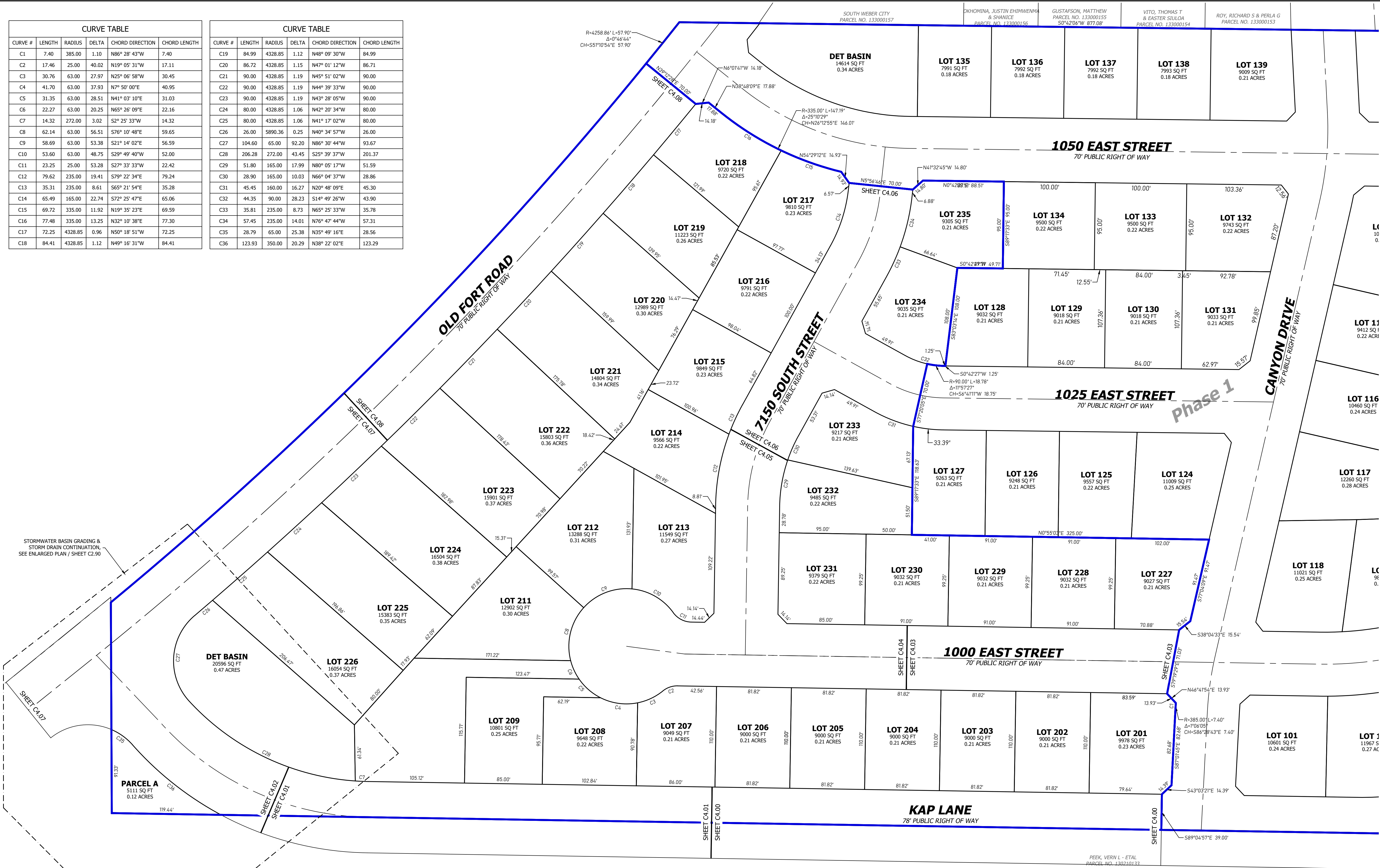
C1.00



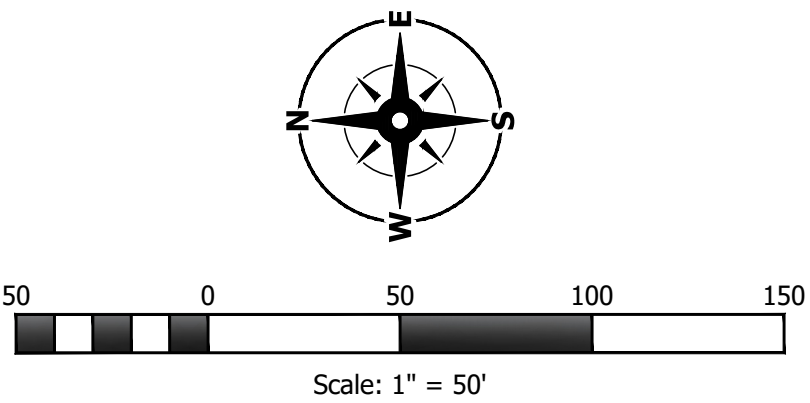


CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION
C1	7.40	385.00	1.10	N86° 28' 43"W
C2	17.46	25.00	40.02	N19° 05' 31"W
C3	30.76	63.00	27.97	N25° 06' 58"W
C4	41.70	63.00	37.93	N7° 50' 00"E
C5	31.35	63.00	28.51	N41° 03' 10"E
C6	22.27	63.00	20.25	N65° 26' 09"E
C7	14.32	272.00	3.02	S2° 25' 33"W
C8	62.14	63.00	56.51	S76° 10' 48"E
C9	58.69	63.00	53.38	S21° 14' 02"E
C10	53.60	63.00	48.75	S29° 49' 40"W
C11	23.25	25.00	53.28	S27° 33' 33"W
C12	79.62	235.00	19.41	S79° 22' 34"E
C13	35.31	235.00	8.61	S65° 21' 54"E
C14	65.49	165.00	22.74	S72° 25' 47"E
C15	69.72	335.00	11.92	N19° 35' 23"E
C16	77.48	335.00	13.25	N32° 10' 38"E
C17	72.25	4328.85	0.96	N50° 18' 51"W
C18	84.41	4328.85	1.12	N49° 16' 31"W

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION
C19	84.99	4328.85	1.12	N48° 09' 30"W
C20	86.72	4328.85	1.15	N47° 01' 12"W
C21	90.00	4328.85	1.19	N45° 51' 02"W
C22	90.00	4328.85	1.19	N44° 39' 33"W
C23	90.00	4328.85	1.19	N43° 28' 05"W
C24	80.00	4328.85	1.06	N42° 20' 34"W
C25	80.00	4328.85	1.06	N41° 17' 02"W
C26	26.00	5890.36	0.25	N40° 34' 57"W
C27	104.60	65.00	92.20	N86° 30' 44"W
C28	206.28	272.00	43.45	S25° 39' 37"W
C29	51.80	165.00	17.99	N80° 05' 17"W
C30	28.90	165.00	10.03	N66° 04' 37"W
C31	45.45	160.00	16.27	N20° 48' 09"E
C32	44.35	90.00	28.23	S14° 49' 26"W
C33	35.81	235.00	8.73	N65° 25' 33"W
C34	57.45	235.00	14.01	N76° 47' 44"W
C35	28.79	65.00	25.38	N35° 49' 16"E
C36	123.93	350.00	20.29	N38° 22' 02"E



RYAN H C Users\Ryan H\Hunt Day\Dropbox\Projects\101-06 South Weber\100-CAD\104-Phase 2 Sheets\C0.30 LOT LAYOUT & PROJECT KEY MAP 8/12/2025 7:16 PM



VERIFY SCALES  
BAR IS ONE INCH ON ORIGINAL DRAWING  
0" 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SEAL

PROJECT TITLE  
**KAP LEGACY SUBDIVISION**  
**SOUTH WEBER DRIVE & KAP LANE**  
**SOUTH WEBER, DAVIS COUNTY, UTAH**  
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

REV.	DATE	DESCRIPTION	BY
0	08 / 12 / 2025	INITIAL SUBMITTAL	RH

PROJECT INFORMATION	
Designed:	T. Hunt
Drawn:	R. Hatfield
Approved:	T. Hunt
Date:	08 / 12 / 2025
Proj. No.	101 - 06

SHEET TITLE	
<b>LOT LAYOUT &amp; PROJECT KEY MAP</b>	
SHEET NO.	

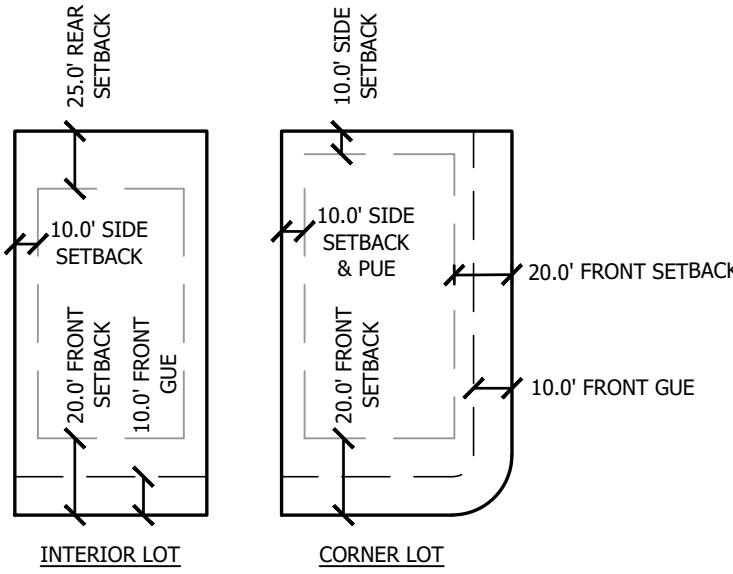
3445 ANTELOPE DRIVE, ST 200  
SYRACUSE, UT 84075  
PH: 801.664.4724  
EM: THOMAS@HUNTDAY.CO

C0.30

30 of 36



Setback Standards	
	R-M
MIN. FRONT YARD SETBACK	20.0'
MIN. SIDE YARD SETBACK	10.0'
MIN. SIDE YARD CORNER LOT	20.0'
MIN. REAR YARD SETBACK	25.0'



1 R-M Setback & GUE Layout  
Scale: NTS

### General Notes

- SEE SHEET C0.10 FOR PROJECT LEGEND & ABBREVIATIONS.

### Key Notes

- RESIDENTIAL STREET SECTION PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R1
- COLLECTOR ROADWAY SECTION B PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R1
- 10-FOOT ASPHALT TRAIL PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R2
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- ASPHALT PATCH PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
- LP-2 STREETLIGHT PER SOUTH WEBER CITY PUBLIC WORKS DETAIL R10
- 30' MOUNTABLE TYPE D CURB & GUTTER PER APWA PLAN NO. 205
- PEDESTRIAN RAMP PER APWA PLAN NO. 236
- 4' RAISED CONCRETE CUT-THROUGH ISLAND PER APWA PLAN NO. 237
- 6' WIDE PEDESTRIAN WALKWAY
- 36" (MAX) RETAINING WALL / SEE SHEET C1.92

### Development Summary

LOCATION: SOUTH WEBER, DAVIS COUNTY  
ZONING: R-M, RESIDENTIAL MODERATE DENSITY ZONE  
INTENDED USE: SINGLE-FAMILY

PROPERTY SIZE:  
OVERALL: 1,350,303 SF / 31.00 ACRES

PHASE 2: 623,247 SF / 14.31 ACRES

SUMMARY  
35 LOTS PROVIDED  
2.45 LOTS / ACRE

### Notice To Contractors

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### PROJECT INFORMATION

Designed: T. Hunt  
Drawn: R. Hatfield  
Approved: T. Hunt  
Date: 08 / 12 / 2025  
Proj. No. 101 - 06

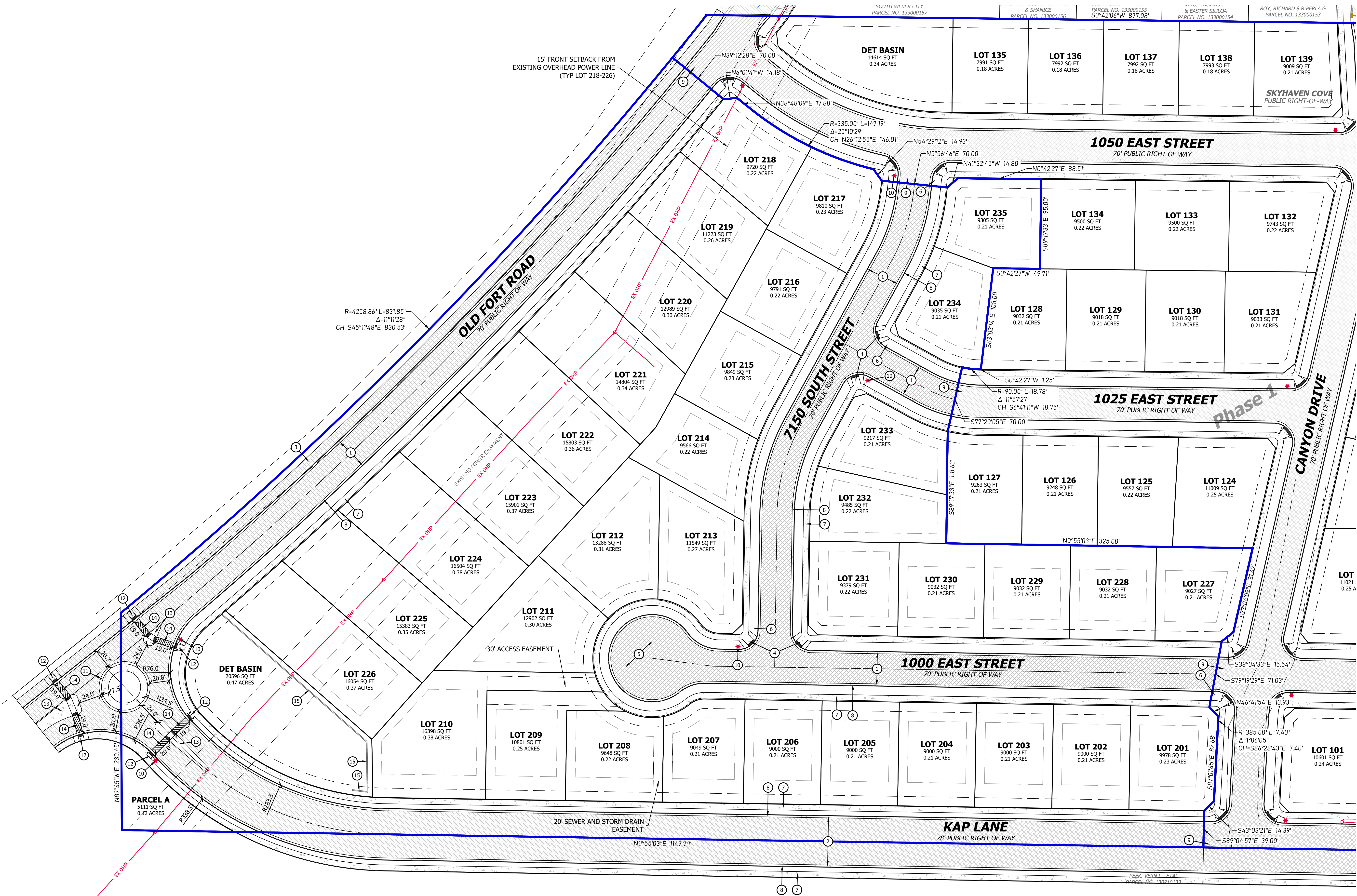
**HUNT DAY**  
**ENGINEERING**  
3445 ANTELOPE DRIVE, ST 200  
SYRACUSE, UT 84075  
PH: 801.664.4724  
EM: THOMAS@HUNTDAY.CO

### SHEET TITLE

### PROPOSED SITE PLAN

### SHEET NO.

C1.00



### VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING  
0" 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SEAL



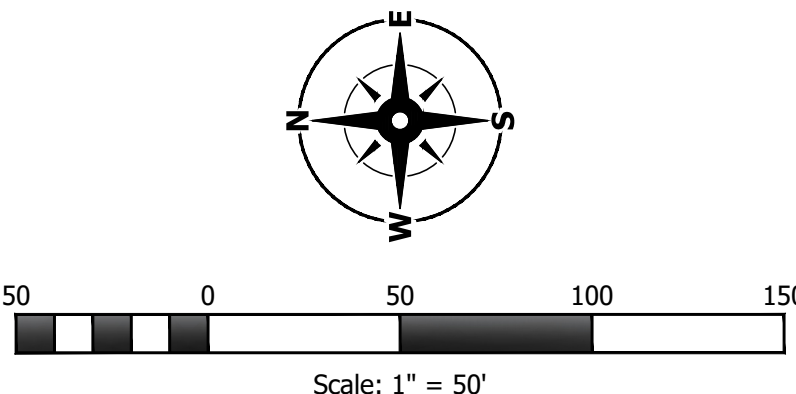
### PROJECT TITLE

**KAP LEGACY SUBDIVISION**  
**SOUTH WEBER DRIVE & KAP LANE**  
**SOUTH WEBER, DAVIS COUNTY, UTAH**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 28,  
TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

### REV. DATE DESCRIPTION BY

0 08 / 12 / 2025 INITIAL SUBMITTAL RH

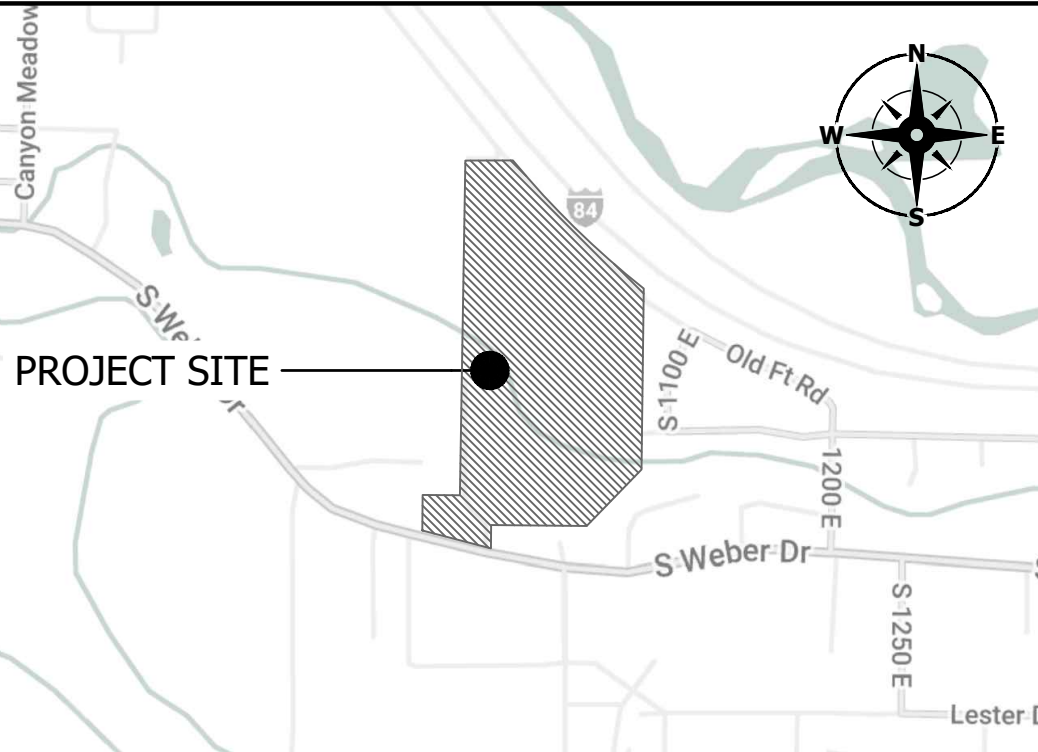




KAP LEGACY SUBDIVISION - PHASE 2

LOCATED IN THE SOUTHEAST QUARTER OF  
SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN, SOUTH WEBER  
CITY, DAVIS COUNTY, UTAH

SOUTHEAST CORNER SECTION 28,  
TOWNSHIP 5 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
(FOUND BRASS CAP MONUMENT)



BOUNDARY DESCRIPTION:

A PART OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTH WEBER DRIVE LOCATED 985.68 FEET SOUTH 89°28'31" EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER AND 758.64 FEET NORTH 00°31'29" EAST FROM THE SOUTH QUARTER CORNER OF SAID SECTION 28;

RUNNING THENCE NORTH 75°22'31" WEST 153.02 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE SOUTHEAST CORNER OF THE JOAN VICKERS PROPERTY, TAX ID. NO. 13-021-0151, POINT ALSO BEING ON AN EXISTING FENCE LINE; THENCE ALONG THE BOUNDARY OF SAID JOAN VICKERS PROPERTY THE FOLLOWING TWO (2) COURSES; (1) NORTH 01°47'18" EAST 117.61 FEET ALONG SAID EXISTING FENCE LINE; AND (2) NORTH 38°35'11" WEST 11.56 FEET TO THE SOUTHEAST CORNER OF THE RAY PEEK PROPERTY, TAX ID. NO. 13-021-0150; THENCE NORTH 00°55'03" EAST 1714.47 FEET ALONG THE WEST LINE OF SAID RAY PEEK PROPERTY AND CONTINUING ALONG THE WEST LINE OF THE VERN PEEK PROPERTY TAX ID. NO. 13-021-0133 AND AN EXISTING FENCE LINE TO AN ANGLE POINT OF SAID VERN PEEK PROPERTY; THENCE NORTH 89°45'16" EAST 236.15 FEET ALONG THE BOUNDARY OF SAID VERN PEEK PROPERTY TO THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE 84; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES; (1) SOUTHEASTERLY ON A NON-TANGENT CURVE TO THE LEFT ALONG THE ARC OF A 4316.43 FOOT RADIUS CURVE, A DISTANCE OF 678.86 FEET, CHORD BEARS SOUTH 43°38'31" EAST 678.16 FEET, HAVING A CENTRAL ANGLE OF 09°00'40"; AND (2) SOUTHEASTERLY ON A NON-TANGENT CURVE TO THE LEFT ALONG THE ARC OF A 2994.79 FOOT RADIUS CURVE, A DISTANCE OF 207.15 FEET, CHORD BEARS SOUTH 50°52'17" EAST 207.11 FEET, HAVING A CENTRAL ANGLE OF 03°57'47" TO THE EAST LINE OF COTTONWOOD COVE PHASE 4 SUBDIVISION; THENCE SOUTH 00°42'06" WEST 883.12 FEET ALONG SAID EAST LINE TO THE BOUNDARY OF BOUCHARD SUBDIVISION; THENCE ALONG THE BOUNDARY OF SAID BOUCHARD SUBDIVISION THE FOLLOWING TWO (2) COURSES; (1) NORTH 81°30'34" WEST 6.32 FEET; AND (2) SOUTH 44°02'01" WEST 373.61 FEET TO THE NORTHEAST CORNER OF THE DAVID STANGER PROPERTY, TAX ID. NO. 13-021-0095; THENCE NORTH 89°28'31" WEST 462.93 FEET ALONG THE NORTH LINE OF SAID DAVID STANGER PROPERTY AND CONTINUING ALONG THE NORTH LINE OF THE JARED OLSON PROPERTY, TAX ID. NO. 13-021-0094 AND CONTINUING ALONG THE NORTH LINE OF THE GORDON SMITH PROPERTIES TAX ID. NOS. 13-021-0078 AND 13-021-0062 AND CONTINUING ALONG THE NORTH LINE OF THE EDWARD L. SORENSON PROPERTY, TAX ID. NO. 13-021-0035; THENCE SOUTH 00°31'29" WEST 112.56 FEET ALONG THE WEST LINE OF SAID EDWARD L. SORENSON PROPERTY TO THE POINT OF BEGINNING. CONTAINING 30.18 ACRES.

OWNERS DEDICATION

KNOW ALL BY THESE PRESENT THAT WE, THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND HERON, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS KAP LEGACY SUBDIVISION, DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND DO WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND MAINTENANCE OF THE STREETS, AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

(OWNER NAME HERE)

(OWNER NAME HERE)

ACKNOWLEDGEMENT

STATE OF UTAH  
COUNTY OF DAVIS

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHO BEING BY ME DULY SWORN DID SAY THAT THEY ARE THE \_\_\_\_\_ OF \_\_\_\_\_, BY AUTHORITY OF ITS MEMBERS OR ITS ARTICLES OF ORGANIZATION, AND THEY ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.

(NOTARY PUBLIC)

MY COMMISSION EXPIRES: \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY, \_\_\_\_\_

DAVIS COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_ FILED FOR RECORD AND RECORDED  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF  
OFFICIAL RECORDS PAGE \_\_\_\_\_

DAVIS COUNTY RECORDER  
BY: \_\_\_\_\_  
DEPUTY RECORDER

PROJECT INFORMATION		<b>HUNT DAY</b> <b>ENGINEERING</b> 3445 ANTELOPE DRIVE, ST 200 SYRACUSE, UT 84075 PH: 801.664.4724 EM: THOMAS@HUNTDAY.CO
Designed:	T. Hunt	
Drawn:	R. Hatfield	
Approved:	T. Hunt	
Date:	07 / 15 / 2025	
Proj. No.	101 - 06	
SHEET TITLE		

PRELIMINARY PLAT

SHEET NO. **PLAT**

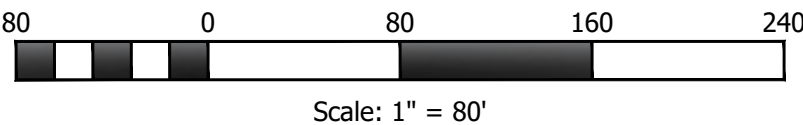
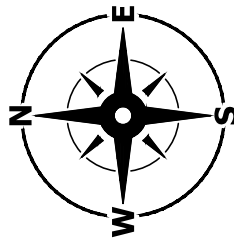
RYAN H. C. Users\Ryan H Hunt Day Dropbox\Projects\101-06 South Weber\100-CAD\101-AutoCAD\104-Phase 2 Sheets\PRELIMINARY PLAT 8/12/2025 7:21 PM

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	889.75	4258.86	11.97	S45° 35' 10"E
C2	70.27	65.00	61.94	N7° 50' 21"W
C3	166.80	350.00	27.31	N14° 34' 14"E
C4	97.82	200.00	28.02	N75° 04' 16"W
C5	35.51	125.00	16.27	S20° 48' 09"W
C6	79.38	200.00	22.74	N72° 25' 47"W
C7	258.34	311.00	47.59	N24° 42' 52"E
C8	888.34	4293.86	11.85	S44° 52' 26"E
C9	7.40	385.00	1.10	N86° 28' 43"W
C10	18.78	90.00	11.96	N6° 41' 11"E
C11	147.19	335.00	25.17	S26° 12' 55"W
C12	7.40	385.00	1.10	N86° 28' 43"W
C13	17.46	25.00	40.02	S19° 05' 31"E
C14	30.76	63.00	27.97	S25° 06' 58"E
C15	41.70	63.00	37.93	S7° 50' 00"W
C16	31.35	63.00	28.51	S41° 03' 10"W
C17	22.27	63.00	20.25	S65° 26' 09"W
C18	14.32	272.00	3.02	N2° 25' 33"E
C19	62.14	63.00	56.51	N76° 10' 48"W
C20	58.69	63.00	53.38	N21° 14' 02"W
C21	53.60	63.00	48.75	N29° 49' 40"E
C22	23.25	25.00	53.28	N27° 33' 33"E
C23	79.62	235.00	19.41	N79° 22' 34"W
C24	35.31	235.00	8.61	N65° 21' 54"W

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING
C25	65.49	165.00	22.74	N72° 25' 47"W
C26	69.72	335.00	11.92	S19° 35' 23"W
C27	77.48	335.00	13.25	S32° 10' 38"W
C28	72.25	4328.85	0.96	S50° 18' 51"E
C29	84.41	4328.85	1.12	S49° 16' 31"E
C30	84.99	4328.85	1.12	S48° 09' 30"E
C31	86.72	4328.85	1.15	S47° 01' 12"E
C32	90.00	4328.85	1.19	S45° 51' 02"E
C33	90.00	4328.85	1.19	S44° 39' 33"E
C34	90.00	4328.85	1.19	S43° 28' 05"E
C35	80.00	4328.85	1.06	S42° 20' 34"E
C36	80.00	4328.85	1.06	S41° 17' 02"E
C37	26.00	5890.36	0.25	S40° 34' 57"E
C38	104.60	65.00	92.20	S86° 30' 44"E
C39	206.28	272.00	43.45	N25° 39' 37"E
C40	51.80	165.00	17.99	S80° 05' 17"E
C41	28.90	165.00	10.03	S66° 04' 37"E
C42	45.45	160.00	16.27	S20° 48' 09"W
C43	44.35	90.00	28.23	N14° 49' 26"E
C44	35.81	235.00	8.73	S65° 25' 33"E
C45	57.45	235.00	14.01	S76° 47' 44"E
C46	28.79	65.00	25.38	S35° 49' 16"W
C47	123.93	350.00	20.29	S38° 22' 02"W

Legend

- ⊕ = STREET MONUMENT
- = BOUNDARY LINE
- - - = CENTER LINE
- · - · = EASEMENT LINE
- = SETBACK LINE



TEMPORARY CROSS-ACCESS  
EASEMENT (SHADED)

PEEK, VERN L - ETAL  
PARCEL NO. 130210133

Setback Standards

	R-M
MIN. FRONT YARD SETBACK	20.0'
MIN. SIDE YARD SETBACK	10.0'
MIN. SIDE YARD CORNER LOT	20.0'
MIN. REAR YARD SETBACK	25.0'

VERIFY SCALES

BAR IS ONE INCH ON  
ORIGINAL DRAWING  
0" 1"  
IF NOT ONE INCH ON THIS SHEET,  
ADJUST SCALES ACCORDINGLY

SEAL



PROJECT TITLE

**KAP LEGACY SUBDIVISION**  
**SOUTH WEBER DRIVE & KAP LANE**  
**SOUTH WEBER, DAVIS COUNTY, UTAH**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 28,  
TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

REV. DATE DESCRIPTION BY

0 08 / 12 / 2025 INITIAL SUBMITTAL RH

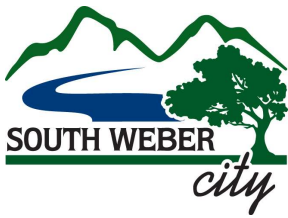
SOUTH QUARTER CORNER SECTION 28,  
TOWNSHIP 5 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
(FOUND BRASS CAP MONUMENT)

985.68'  
S89°28'31"E 758.64' (P.O.B.)  
(BASIS OF BEARING)









# PLANNING COMMISSION MEETING STAFF REPORT

## MEETING DATE

September 11, 2025

## PREPARED BY

Lance Evans, AICP

Community Development  
Manager

## ITEM TYPE

Staff Report

## ATTACHMENTS

CUP application

## AGENDA ITEM

**Conditional Use Permit** for a Model Home on 0.5 acres at 65 W. Glen Way. The property is zoned RL-M (Residential Low Moderate Density) and allows a Model Home as a Conditional Use in the Land Use Matrix. The proposal is for Model Home to be managed by the owner.

## PURPOSE

Review and approve, deny, or approved with conditions a Model Home Conditional Use Permit.

## ITEMS FOR PLANNING COMMISSION REVIEW

The application materials for the Conditional Use Permit (CUP) requirements are listed in Title 10, Chapter 18 of the South Weber City Code.

## RECOMMENDATION

Staff has reviewed the application for the Model Home Conditional Use Permit and recommends approval with the following conditions.

1. Completion of a Business License with South Weber City.
2. Ongoing compliance with City Code sections:
  - a. 10-18-3 Applicant Requirements D 1-3
  - b. 10-18-4 Tax
  - c. 10-18-5 Noise and Occupancy
  - d. 10-18-7 Camping
  - e. 10-18-8 Pets
  - f. 10-18-9 Signage
  - g. 10-18-10 Maintenance and Standards

## PLANNING CODE REVIEW

The Planning Commission shall review and approve or deny conditional use applications for Model Homes based upon a review of City Code Title 10 Chapter 18. (SWCC 10-18).

## **South Weber City Code**

### **10-7J-1: PURPOSE:**

There may also arise the need to construct and occupy a model home with a temporary real estate sales office for the sale of building lots or residences within a specific development. It is the purpose of this Article to set forth conditions under which these uses may occur. (Ord. 98-16, 7-28-1998)

### **10-7J-2: CONDITIONS REQUIRED:**

A conditional use for a model home to be used for a sales office for sale of real estate within the same development and the construction management office that

the model home resides in may be permitted for a period of one year provided the following conditions are met:

- A. Time extensions may be granted by the Planning Commission provided that a maximum of two (2) extensions of six (6) months each may be granted. Extensions may only be granted if not more than eighty percent (80%) of the subdivision is sold.
- B. Adequate off-street parking is provided for employees working in the model home, as well as at least two (2) parking spaces for visitors touring the model home.
- C. A signage and lighting plan is provided showing size and location of all signs and associated lights.
- D. The hours of operation must be noted and approved.
- E. A model home shall not be used for a general real estate office.
- F. A business license must be obtained to operate a business in a model home in the City.
- G. All infrastructure should be completed as per the Subdivision Ordinance 1 requirements prior to the construction of the model home. (Ord. 98-16, 7-28-1998)

Each of these items have been addressed in the application submittal. Staff has reviewed the elements and believes that the Condition Use Permit follows the standards and recommends approval Model Home CUP.

Project Information	
<b>Project Name</b>	Nilson Model Home
<b>Site Location</b>	65 W. Glen Way
<b>Tax ID Number</b>	133850127
<b>Applicant</b>	Kameron Chancellor
<b>Owner</b>	Nilson Homes
<b>Proposal Summary</b>	Model Home
<b>Current Zoning</b>	RL-M (Residential Low Moderate Density Zone)
<b>General Plan Land Use Classification</b>	Residential Low Moderate Density (RL-M)
<b>Gross Site</b>	0.23 acres
<b>Number of Units</b>	one

<b>10-7J-2: CONDITIONS REQUIRED:</b>	
A conditional use for a model home to be used for a sales office for sale of real estate within the same development and the construction management office that the model home resides in may be permitted for a period of one year provided the following conditions are met:	



A. Time extensions may be granted by the Planning Commission provided that a maximum of two (2) extensions of six (6) months each may be granted. Extensions may only be granted if not more than eighty percent (80%) of the subdivision is sold.	No extensions proposed at this time.
B. Adequate off-street parking is provided for employees working in the model home, as well as at least two (2) parking spaces for visitors touring the model home.	Parking provided in drive way.
C. A signage and lighting plan is provided showing size and location of all signs and associated lights.	No additional lighting is proposed. There will be a small sign for the model home in compliance with the sign code.
D. The hours of operation must be noted and approved.	The hours of operation will be 9 am to 6 pm, daily.
E. A model home shall not be used for a general real estate office.	Application complies
F. A business license must be obtained to operate a business in a model home in the City.	If CUP is approved the business license will be required.
G. All infrastructure should be completed as per the Subdivision Ordinance <u>1</u> requirements prior to the construction of the model home. (Ord. 98-16, 7-28-1998)	Complies



VICINITY MAP