

# HOLLADAY HILLS ROTH AND ARHAUS

LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 9,  
TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;  
CITY OF HOLLADAY, COUNTY OF SALT LAKE,  
STATE OF UTAH

SHEET INDEX	
CIVIL ENGINEERING SHEETS	
C001	COVER SHEET
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C401	DRAINAGE PLAN
C500	EROSION CONTROL PLAN
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C600	DETAILS

For Review  
06/27/2025 2:39:47 PM



2733 EAST PARLEYS WAY, SUITE 300  
SALT LAKE CITY, UTAH 84109 (801) 485-7770

APPROVED



PRELIMINARY  
PLAN  
# 19-9-19-9



DEVELOPER/OWNER  
WOODBURY CORPORATION  
CANYON CREEK COMMERCIAL CENTER  
2733 EAST PARLEYS WAY, STE. 300  
SALT LAKE CITY, UTAH 84109  
CONTACT: JASON WEDLICK  
OFFICE: (801) 485-7770

CIVIL ENGINEER  
WOODBURY CORPORATION  
2733 EAST PARLEYS WAY, STE. 300  
SALT LAKE CITY, UTAH 84109  
CONTACT: LEEANN MILLER, P.E.  
OFFICE: (801) 485-7770  
CELL: (801) 450-5734

LANDSCAPE ARCHITECT  
WOODBURY CORPORATION  
2733 EAST PARLEYS WAY, STE. 300  
SALT LAKE CITY, UTAH 84109  
CONTACT: CODY BRAZELL  
OFFICE: (801) 485-7770

COVER SHEET  
HOLLADAY HILLS BLOCK C  
ROTH AND ARHAUS  
1888 EAST RODEO WALK DRIVE  
MURRAY, UTAH

COVER SHEET  
PROJECT #: 1726-2200  
DATE: 06/23/2025  
DRAWN BY: HC  
SCALE: NONE

C001

PLOTTED BY: LEEANN MILLER

6/27/2025 1:02 PM

P:\\KMW\\DEVELOPMENT\\BLOCK C-1726\\2200 - ROTH\\CIVIC\\C200 SITE PLAN 1726-2200.DWG

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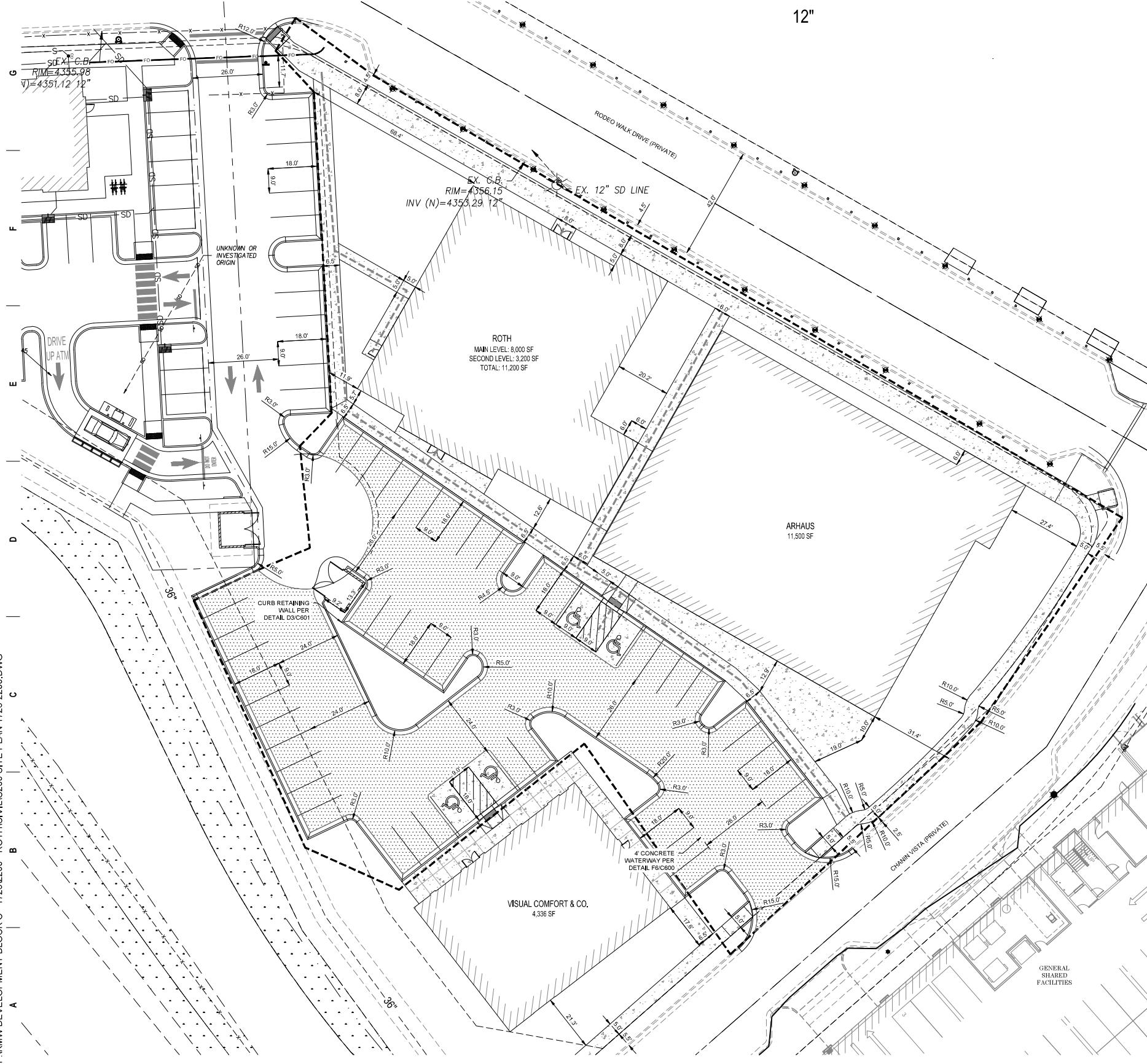
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C200

SITE PLAN  
PROJECT #: 1726-2200  
DATE: 06/23/2025  
DRAWN BY: HC  
SCALE: 1"=20'

SITE PLAN  
HOLLADAY HILLS BLOCK C  
ROTH AND ARHAUS  
1888 EAST RODEO WALK DRIVE  
MURRAY, UTAH

# REVISION DESCRIPTION  
# APPROVED PLAN  
APPROVED  
APPROVED PLAN  
CITY OF HOLLADAY  
PLANNING & ZONING DEPARTMENT  
1888 E RODEO WALK DRIVE  
MURRAY, UTAH

DATE  
APPROVED

	SQ.FT	ACREAGE	PERCENT
BUILDING FOOTPRINT	23,636	0.547	19.3%
LANDSCAPE AREA	42,713	0.981	34.6%
IMPERVIOUS AREA	56,751	1,303	46.0%
TOTAL LOT AREA	123,300	2,831	100.0%

BUILDING SIZE:	27,036 SF
PARKING REQUIRED (3/1000 SF):	81 STALLS
*PARKING PROVIDED:	74 STALLS
TOTAL PARKING RATIO	2,7/1000 S.F.

\* OTHER SHARED PARKING AVAILABLE  
THROUGHOUT THE DEVELOPMENT

20 0 20 40  
SCALE IN FEET  
SCALE: 1"=20' (24"x36" ONLY)

LEGEND  
EX. LOT LINES  
EX. EDGE OF OIL  
EX. FENCE LINE  
EX. CURB & GUTTER  
NEW CURB & GUTTER  
NEW ADA ROUTE  
NEW PROPERTY LINE  
LIMITS OF CONSTRUCTION  
NEW STANDARD ASPHALT PAVEMENT  
NEW HEAVY ASPHALT PAVEMENT  
PROPOSED CONCRETE PAVEMENT  
L.S. LANDSCAPE AREA

NOTES  
1. ALL WORK SHALL BE DONE IN ACCORDANCE  
WITH THE GOVERNING AGENCY'S DESIGN AND  
CONSTRUCTION STANDARDS.  
2. ALL DIMENSIONS ARE FROM FACE OF CURB TO  
FACE OF CURB UNLESS OTHERWISE NOTED.  
3. DUMPSTER ENCLOSURES SHALL BE 3-SIDED  
MASONRY WALLS WITH STEEL GATE. DUMPSTER  
ENCLOSURE TO MATCH MATERIAL USED ON  
BUILDING.  
4. EXPANSION JOINTS USING VOID CAPS AND  
CAULK ARE REQUIRED ON ALL CONCRETE JOINTS  
AROUND BUILDING PERIMETER AND EXPANSION  
JOINTS (CURB IN) - EXPANSION JOINTS REQ'D  
AROUND ENTIRE BUILDING PERIMETER WHERE  
CONCRETE MEETS BUILDING AND BETWEEN CURB  
/ SIDEWALK INFLF SECTIONS WITH NO PLANTER  
AND AT OTHER LOCATIONS PER DETAILS AND  
SPEC'S.

LAND USE SUMMARY

PARKING SUMMARY

BUILDING SIZE: 27,036 SF

PARKING REQUIRED (3/1000 SF): 81 STALLS

\*PARKING PROVIDED: 74 STALLS

TOTAL PARKING RATIO 2,7/1000 S.F.

For Review  
06/27/2025 2:39:53 PM  
WOODBURY CORPORATION  
2733 EAST PARLEY'S WAY, SUITE 300  
SALT LAKE CITY, UTAH 84109 (801) 485-7770

PLOTTED BY: LEEANN MILLER 6/27/2025 12:06 PM

6/27/2025 12:06 PM

PLOTTED BY: LEEANN MILLE

P:\KMW DEVELOPMENT BLOCK C - 172612200 - ROTH CIVIL\C300 UTILITY PLAN 1726-2200.DWG

**CONTRACTOR NOT**

1. CONTRACTOR IS TO COORDINATE AND WORK WITH ELECTRICAL CONTRACTOR AND GAS COMPANY ON THE PLACEMENT OF NEW LINES AND CONDUIT.
2. CONTRACTOR IS TO POTHOLE (WHERE NEEDED) AND VERIFY GAS LINE LOCATION. CONTRACTOR IS RESPONSIBLE TO VERIFY, COORDINATE, AND ADJUST GAS LINE IN LOCATIONS OF CONFLICT, AREAS OF CONCERN, BUT NOT LIMITED TO CONFLICTS ARE STORM AND SEWER DRAIN SYSTEMS.
3. CONTRACTOR IS TO INSTALL LANDSCAPE SLEEVING, FOR SCOPE AND LOCATION OF SLEEVING, REFER TO LANDSCAPE AND IRRIGATION PLANS.

NO

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD, THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
4. EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
5. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
6. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING, IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
7. ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.
8. PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED UTILITIES.
9. ALL SANITARY SEWERS AND GREASE WASTE LINES SHALL BE PVC SDR-35.
10. ALL WATER SERVICES SHALL BE TYPE BLUE PE.
11. SEE IRRIGATION PLANS FOR NEW PRESSURIZED IRRIGATION LINES.
12. ALL VALVE COVERS FOR FIRE PROTECTION WATER LINES SHALL BE LABELED "FIRE".
13. EX. SERVICE LATERALS HAVE NOT VERIFIED. CONTRACTOR TO FIELD VERIFY & CONTACT ENGINEER WHEN UNKNOWN LATERALS ARE ENCOUNTERED.
14. VERIFY ELECTRICAL AND TRANSFORMER REQUIREMENTS WITH ELECTRICAL PLANS.
15. ELECTRICAL SYSTEM TO BE INSTALLED AS PER SPANISH FORK CITY ELECTRICAL DESIGN AND STANDARDS. ANY ELECTRICAL DESIGNS AS PER ARCHITECT/DEVELOPER DRAWING SHALL BE SUPERSEDED BY CITY DESIGN.
16. ALL ELECTRICAL IMPROVEMENTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF THE SPANISH FORK CITY CONSTRUCTION STANDARDS.
17. IF NEWER VERSION OF STANDARDS IS RELEASED DURING PROJECT THE PROJECT SHALL BE COMPLETED USING STANDARDS VERSION THAT WAS ISSUED AT PER-CONSTRUCTION MEETING.
18. ANY EXISTING FACILITIES AFFECTED BY DEVELOPMENT WILL NEED TO BE BROUGHT TO CURRENT NEC, NESC AND CITY STANDARDS AT DEVELOPERS EXPENSE INCLUDING BUT NOT LIMITED TO UPGRADING OF METER BASE, SERVICE CONDUITS, COMMUNICATIONS SERVICES, AND LANDSCAPING RESTORATION.
19. INSTALL FIRE RISER AT LOCATION SHOWN ON ARCHITECTURAL OR MECHANICAL PLANS. DO NOT USE CIVIL ENGINEERING AUTOCADD PLANS TO DETERMINE LOCATION. CONSTRUCTION STAKER REQUIRED TO STAKE RISER LOCATION FROM PLANS BY ARCHITECT OR MECHANICAL ENGINEER.
20. THE FIRE SPRINKLER SYSTEM DESIGN WILL BE A DEFERRED SUBMITTAL AND WILL BE CONTRACTED THROUGH THE GENERAL CONTRACTOR.
21. INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C2/C600.

For Review  
06/27/2025 2:39:53 PM

7/2025 2:39:53 PM

**WOODBURY**  
CORPORATION  
7533 EAST PARLEY'S WAY, SUITE 300  
SALT LAKE CITY, UTAH 84109 (801) 485-7770

A rectangular stamp with a double-line border. The word "APPROVED" is printed in large, bold, sans-serif capital letters at the top. Below it, the words "APPROVED PLAN" are printed in a smaller, regular sans-serif font. A handwritten signature is written across the center. At the bottom, the text "APPROVED BY THE CITY OF HOLLADAY" is printed, followed by a small square box containing a checkmark.

**UTILITY PLAN  
HOLLADAY HILLS BLOCK C  
ROTH AND ARHAUS  
1888 EAST RODEO WALK, DRIVE**

**UTILITY PLAN**

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C300

P:\KMW DEVELOPMENT BLOCK C - 17262200 - ROTHCIVILC400 GRAD & DRAIN PLAN 1726-2200.DWG

PLOTTED BY: LEEANN MILLER  
6/27/2025 2:38 PM

SCALE IN FEET  
SCALE: 1"=20' (24" x 36" ONLY)

<u>LEGEND</u>	
	PROPOSED CURB 7 GUTTER
	PROPOSED SPILL CURB
	EXISTING CURB & GUTTER
	PROPOSED EDGE OF ASPHALT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
FG	FINISH GRADE ELEVATION
FLC	FLOWLINE OF CURB ELEVATION
TBC	TOP BACK OF CURB ELEVATION
TA	TOP OF ASPHALT ELEVATION
TC	TOP OF CONCRETE ELEVATION
GR	CATCH BASIN GRATE ELEVATION
FL	FLOWLINE OF PIPE ELEVATION
C.B.	PROPOSED CATCH BASIN
(M.E.)	MATCH EXISTING ELEVATION
GB	GRADE BREAK
TW	TOP OF WALL ELEVATION

## NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
4. EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
5. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
6. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
7. ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.
8. PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED STORM DRAINS.
9. FIELD SURVEY EXISTING ELEVATIONS OF TOP OF CURBS AND EDGE OF PAVEMENT PRIOR TO STARTING CONSTRUCTION. ADJUST PROPOSED ELEVATIONS AS NEEDED TO PROVIDE DRAINAGE AND SLOPES THAT COMPLY WITH ADA AND CODE REQUIREMENTS. CONSULT WITH PROJECT ENGINEER AS NEEDED.
10. MEASURE SLOPES OF COMPACTED ROADBASE AND CONCRETE FORMS TO ENSURE THAT NO PAVEMENT LOW SPOTS ARE CREATED. MAKE ADJUSTMENTS AS NEEDED.
11. PROVIDE 4" WYE OR TEE AT INVERT OF ROOF DRAIN. COORDINATE SITE ROOF DRAIN INVERTS WITH BUILDING PLUMBING PRIOR TO BUILDING OR SITE CONSTRUCTION.
12. MEASURE SLOPES OF COMPACTED ROAD BASE AND CONCRETE FORMS FOR ALL ADA RAMPS, PARKING AREAS AND ACCESSIBLE ROUTES AND ADJUST AS NEEDED TO MEET ALL REQUIREMENTS. DO NOT EXCEED THE FOLLOWING SLOPES: ADA PARKING: 2% SLOPES GUTTERS IN ADA ROUTES: 5% MAX. CROSS SLOPE OF ALL SIDEWALKS AND ADA ROUTES: 2% MAX. RUNNING SLOPE OF ADA RAMPS: 8.33% MAX.
13. INSTALL CLEAFLANTS LOCATED IN SIDEWALK PER DETAIL C2/C600.

**GRADING PLAN**  
**HOLLADAY HILLS BLOCK C**  
**ROTH AND ARHAUS**

1888 EAST RODEO WALK DRIVE  
MURRAY, UTAH

**GRADING PLAN**

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C400

# For Review

REVISION DES

P:\\KMW DEVELOPMENT BLOCK C - 17262200 - ROTH/CIVIL/C400 GRAD & DRAIN PLAN 1726-2200.DWG

6/27/2025 1:46 PM

For Review  
06/27/2025 2:31

PLOTTED BY: LEEANN MILLER

DATE:  /  /

# REVISION DESCRIPTION:

WOODBURY CORPORATION

DRRAINAGE PLAN  
HOLLADAY HILLS BLOCK C  
ROTH AND ARHAUS

GENERAL SHARED FACILITIES

GENERAL SHARED FACILITIES

EX SDCH RM=4355.67 INV (N)=4351.12 12"

EX SDMH RM=4356.82 INV N=4351.15 18" INV W=4351.15 18"

EX SDCH RM=4355.86 INV N=4351.53 18" INV S=4351.53 18" INV E=4351.53 6" INV W=4351.53 6"

EX SDMH RM=4351.47 INV N=4351.40 18" INV S=4351.25 12" INV W=4351.40 18"

EX SDCH RM=4355.86 INV N=4353.26 12" INV E=4353.26 6" INV W=4353.26 6"

ROTH WALK DRIVE (PRIVATE)

ROTH WALK DR (PRIVATE) 4353 SOUTH

EX SDMH RM=4352.95 INV S=4358.57 18" INV E=4358.57 18" INV NE=4358.50 12" INV NE=4357.15 1 INV E=4358.58 12" INV S=4357.15 24"

EX SDMH RM=4362.13 INV N=4356.71 24" INV E=4356.71 24" INV S=4356.71 24"

ARHAUS 11,500 SF BUILDING FFE=4361.00

NEW CB RM=4358.48 INV S=4355.98 12"

NEW CB W/ SNOOT & BIOSKIRT RM=4359.50 INV E=4355.12" INV W=4355.07 12" BTTM=4351.07

31 LF 12" SD @ 1.0% SLOPE

51 LF 12" SD @ 1.0% SLOPE

83 LF 12" SD @ 1.5% SLOPE

BENCHMARK INFORMATION, SEE NOTE 13

EX SDMH RM=4360.43 INV N=4355.58 12" INV E=4355.58 12" INV W=4355.58 12"

NEW CB RM=4359.74 INV W=4358.82 12"

EX SDMH RM=4361.72 INV N=4356.71 24" INV E=4356.71 24" INV S=4356.71 24"

EX SDCH GRADE=4360.18 EX SDCH

EX SDCH

EX SDMH RM=4360.03

EX SDMH RM=4358.28

EX SDCH GRADE=4360.50

EX SDMH

CHANNIN Vista 4880 CHANNIN Vista (PRIVATE) SOUTH

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**DRAINAGE PLAN  
HOLLADAY HILLS BLOCK C  
ROTH AND ARHAUS**

1888 EAST RODEO WALK DRIVE  
MURRAY, UTAH

DRAINAGE PLAN  
PROJECT #: 1726-2200  
DATE: 06/23/2025  
DRAWN BY: HC  
SCALE: 1"=20'

C401

For Review  
06/27/2025 2:39:54 PM

06/27/2025 2:39:54 PM

**WOODBURY**  
CORPORATION

2733 EAST PARLEY WAY, SUITE 300  
SALT LAKE CITY, UTAH 84109 (800) 485-7770

A rectangular stamp with a double-line border. The word "APPROVED" is printed in large, bold, sans-serif capital letters at the top. Below it, the words "APPROVED PLAN" are printed in a smaller, bold, sans-serif font. A handwritten signature is written across the center of the stamp. At the bottom, the text "CITY OF HOLLADAY" is printed in a bold, sans-serif font, followed by "UTAH" and "PLANNING & ZONING DIVISION". To the right of the text is a small, stylized building icon with a "H" on it.

For Review  
06/27/2025 2:39:54 PM

**WOODBURY**  
CORPORATION  
2733 EAST PARLEY'S WAY SUITE 300  
SALT LAKE CITY, UTAH 84108 (801) 485-7770



DATE	<b>APPROVED</b>	
#	APPROVED PLAN	
 Planning and Zoning Director		
<b>CITY OF HOLLADAY, UTAH</b> Planning & Zoning Division		

**EROSION CONTROL PLAN  
HOLLADAY HILLS BLOCK C  
ROTH AND ARHAUS**

## EROSION CONTROL NOTES

1. THIS PLAN HAS BEEN PREPARED AS A GUIDE FOR THE INSTALLATION OF STORM WATER POLLUTION PREVENTION SYSTEMS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL U.P.D.E.S. PERMIT REQUIREMENTS AND TO ADJUST PLAN AS NECESSARY TO MEET SITE SURFACE WATER PROTECTION OBJECTIVES AND CONSTRUCTION ACTIVITIES.

2. CONTRACTOR SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), FILL OUT AND SUBMIT THE NOTICE OF INTENT (NOI), PAY ALL FEES AND OBTAIN ALL PERMITS REQUIRED.

3. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS ARE CONSISTENT WITH THE UTAH STATE DIVISION OF AIR QUALITY STANDARDS, APPLY, PAY FOR AND OBTAIN FUGITIVE DUST PERMIT.

4. CONTRACTOR TO PROTECT ALL EXISTING AND NEW SUMPS AND CURB INLETS FROM SEDIMENT DURING CONSTRUCTION BY USING WATTLES, SILT SACK, OR ANY OTHER APPROVED EROSION CONTROL DEVICES.

5. CONTRACTOR SHALL INSTALL A CONSTRUCTION BARRIER AROUND & ALONG ENTIRE CONSTRUCTION LIMIT LINE & SHALL DESIGNATE ONE CONSTRUCTION ENTRANCE, PROVIDE ADDITIONAL BARRIERS & CONES TO ENSURE SAFETY NEAR & AROUND ALL CUTS, TRENCHES, HOLES & PITS.

6. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON SITE EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED, STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM SITE TRAFFIC, IN ADDITION TO REGULAR CONTRACTOR INSPECTIONS, STREETS SHALL BE SWEEP UPON CITY AND OWNER REQUEST.

8. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE, EROSION CONTROL STRUCTURES BELOW SODDED AREAS SHALL REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERAGE OF HEALTHY VEGETATION, EROSION CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE, & LANDSCAPE DRaining ON PAVEMENT IS COMPLETE.

9. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED, A REPRESENTATIVE OF THE CITY OR COUNTY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.

10. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE, CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.

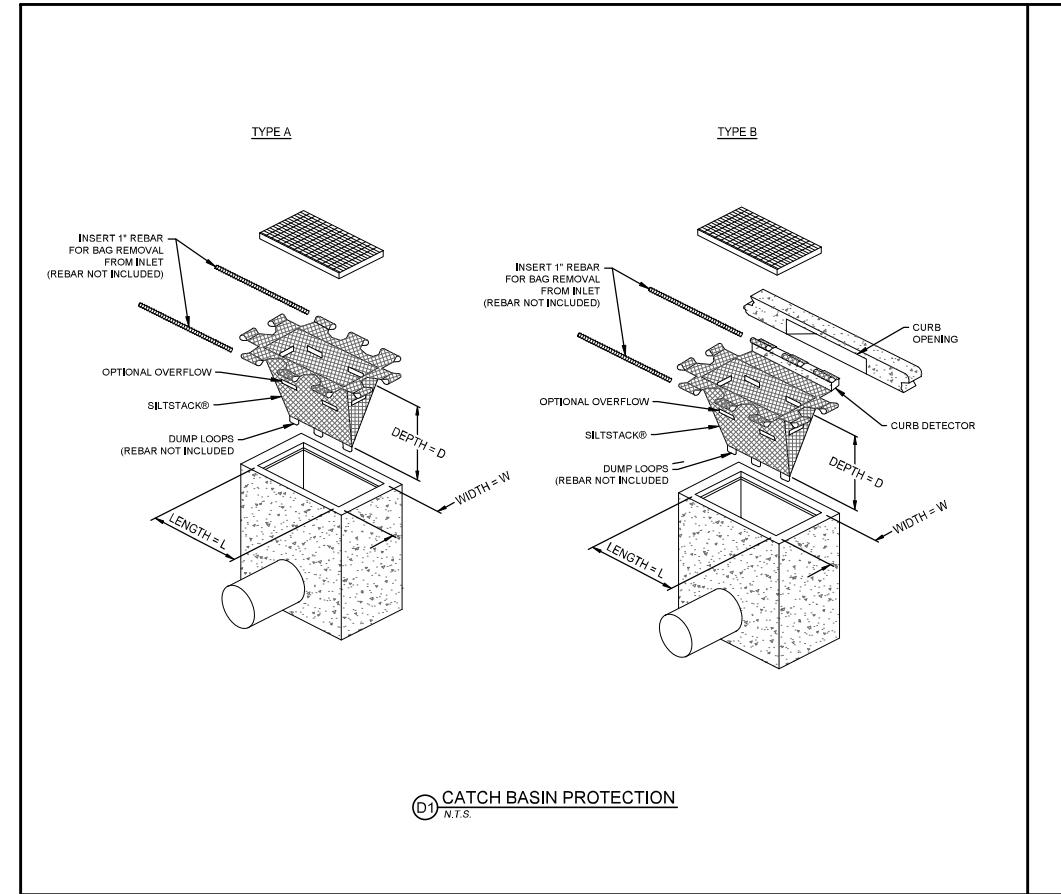
11. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SWPPP SYSTEMS AT TIMES DESIGNATED ABOVE, CITY INSPECTOR MUST APPROVE THE REMOVAL OF ALL SWPPP DEVICES.

12. ALL SOLID WASTE (CONTRACTOR, WASHDOWN, TRASH, ETC.) IS TO BE CONTAINED ON SITE AND HAULED OFF BY CONTRACTOR.

**EROSION  
CONTROL PLAN**

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C500



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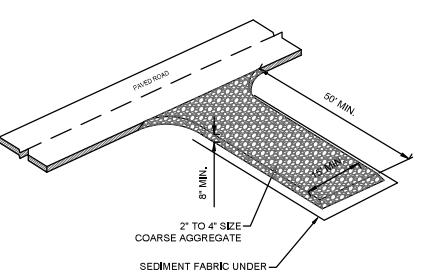
C

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A1 STABILIZED ROADWAY ENTRANCE



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**NOTES:**

1. PROVIDE CONTRACTION JOINTS AT 10' O.C. AND FULL DEPTH EXPANSION JOINTS AT 60' O.C. MAX. AND AT CURVES, TANGENTS, AND CORNERS.
2. INSTALL 2-6" LONG TIE BARS ON 24"-6" CENTERS WHEN CURB IS ADJACENT TO CONCRETE SIDEWALKS.
3. USE (2) #6 TIE BARS 2-6" LONG TO TIE NEW AND EXISTING CURBS TOGETHER.

**CURB & GUTTER, CATCH - A**

**CURB & GUTTER, SPILL - A**

**D2 CURB & GUTTER**

**D4 MODIFIED CURB & GUTTER AT RAMP**

**D6 THICKENED EDGE ASPHALT**

**C2 SIDEWALK CLEANOUT DETAIL**

**A2 THICKENED EDGE CONCRETE**

**D5 DUMPSTER APPROACH CONCRETE PAVEMENT**

**CONSTRUCTION NOTES:**

1. PAVEMENT RECOMMENDATIONS ARE BASED ON THE GEOTECHNICAL INVESTIGATION PREPARED BY AGEC, PROJECT NO. 1210360, DATED JUNE 17, 2021.
2. CONCRETE CONTRACTION JOINT SPACING SHOULD NOT EXCEED 30 TIMES THE THICKNESS OF THE SLAB. PROVIDE SHOP DRAWING OF CONTRACTION AND EXPANSION JOINT LOCATIONS FOR OWNER REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

**A4 PAVEMENT SECTIONS**

**F6 4'-0" WATERWAY**

**A6 FIXED BOLLARD**

**DETAILS**  
**HOLLADAY HILLS BLOCK**  
**ROTH AND ARHAUS**  
1888 EAST RODEO WALK DRIVE  
MURRAY, UTAH

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## DETAILS

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C600

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**WOODBURY**  
CORPORATION  
2733 EAST PARLEY'S WAY, SUITE 300  
SALT LAKE CITY, UTAH 84109 (801) 485-7770

A rectangular stamp with a double-line border. The word "APPROVED" is printed in large, bold, sans-serif capital letters at the top. Below it, the words "APPROVED PLAN" are printed in a smaller, regular sans-serif font. A handwritten signature is written across the center of the stamp. At the bottom, there is a small line of text and a small square icon containing the number "142".

The logo for the City of Holladay, Utah, featuring the city name in a stylized, blocky font with a small 'UTAH' underneath. To the right is a graphic of a house with a chimney and a 'K' on the roofline.



ARCHITECTURAL SITE PLAN NOTES

- 1- FOR ALL LANDSCAPE INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO LANDSCAPE DRAWINGS (WOODBURY CORPORATION).
- 2- FOR ALL CIVIL SITE INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO CIVIL DRAWINGS (WOODBURY CORPORATION).
- 3- FOR PROPOSED SUBDIVISION SITE BOUNDARY INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO "ROYAL HOLLOWAY HILLS BLOCK 2 LOT 2 AMENDED" SURVEY (JOHANSON SURVEYING).
- 4- FOR ALL EXISTING CONTOUR INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO "ROYAL HOLLOWAY HILLS BLOCK C AS BUILT & PLAT SURVEY" (JOHANSON SURVEYING).

PROPOSED SUBDIVISION SITE BOUNDARY

S 60°16'35" E 110.00'

RODEO WALK DRIVE (FRONTING STREET) (PRIVATE)

RE DEVELOPMENT DOCUMENTS

ADJACENT RETAIL BUILDING (NOT IN SCOPE OF CONCEPT SUBMITTAL)

EXISTING DRIVE ACCESS OFF RODEO WALK DRIVE

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PROPOSED TWO-STORY RETAIL SHOWROOM (RM-U ZONING)

1888 RODEO WALK DRIVE HOLLADAY UT 84117

BLOCK C ROYAL HOLLADAY HILLS SUBDIVISION #2 SUBDIVIDING BLOCK C LOCATED WITHIN SALT LAKE COUNTY UTAH, A PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, CITY OF HOLLADAY, UTAH

LOT C - OFF STREET PARKING RE: CIVIL

REAR & SIDE SETBACKS ARE 0' LOT LINE PER RHH ZONING

EXISTING CONTOURS RE: ASBUILT/ALTA SURVEY

ADJACENT RETAIL BUILDING (NOT IN SCOPE OF CONCEPT SUBMITTAL)

ADJACENT RETAIL BUILDING (NOT IN SCOPE OF CONCEPT SUBMITTAL)

HIGHLAND DRIVE (PUBLIC)

BIG COTTONWOOD CREEK

CHANNING VISTA (PRIVATE)

1 SITE PLAN  
A0.01 SCALE: 1" = 20'-0"

## SITE PLAN

A0.01



## ROTH LIVING - SLC

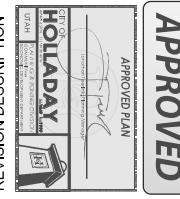
1888 RODEO WALK DR	
HOLLADAY UT 84117	
ISSUE DATE:	06/30/25
PHASE:	SD
DRAWN BY:	CJ
CHECKED BY:	CC

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**WOODBURY**  
CORPORATION  
2733 EAST PARLEY'S WAY, SUITE 300  
SALT LAKE CITY, UTAH 84109 (801) 485-5770

DATE



APPROVED

**GROUNDCOVER PLAN**  
**HOLLADAY HILLS - ROTH AND ARHAUS**  
OWNER: KMW DEVELOPMENT LLC.  
2733 E PARLEY'S WAY, SUITE 300 SALT LAKE CITY, UT 84109

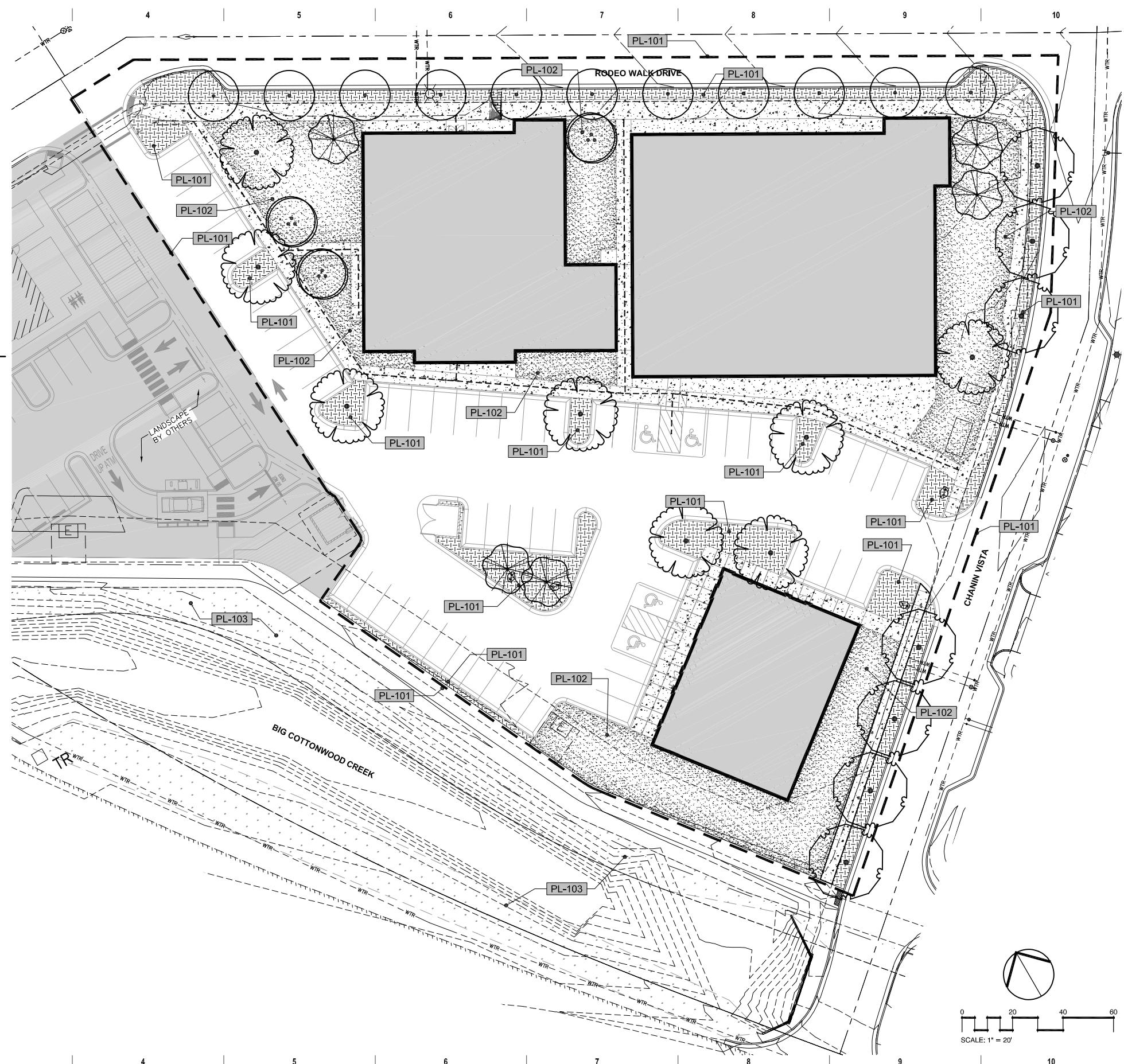
GROUNDCOVER PLAN  
PROJECT #: 1726  
DATE: 6/27/2025  
DRAWN BY: BP  
SCALE: PER PLAN

LG101

PLANT SCHEDULE BLOCK C				
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
				QTY
TREES				
•	AMELANCHIER X 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B&B	8' MULTI-STEM	3
•	EXISTING RODEO WALK DRIVE TREE	EXISTING		11
•	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2' CAL	8
DECIDUOUS TREES				
•	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3" CAL.	7
FLOWERING TREES				
•	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	2' CAL	5

REFERENCE NOTES SCHEDULE BLOCK C

SYMBOL	DESCRIPTION	QTY	DETAIL
REFERENCE NOTES SCHEDULE			
PL-101	PLANTING AREA (TYP.)		
PL-102	TURF AREA (TYP.)		
PL-103	EXISTING LANDSCAP TO REMAIN		
	KENTUCKY BLUEGRASS SOD	12,744 SF	/
	PREMIUM DARK BROWN BARK MULCH - 3" MIN. DEPTH OVER DEWITT PRO-5 WEED BARRIER FABRIC	6,042 SF	
	GREY LANDSCAPE BOULDERS 2' - 4' DIAMETER: 1/3 @ 2' DIAMETER, 1/3 @ 3' DIAMETER AND 1/3 @ 4' DIAMETER - PER STAKER PARSONS	4	





**GROUNDCOVER PLAN**  
**HOLLADAY HILLS - BROTH AND ARHAUS**

OWNER: KWW DEVELOPMENT LLC.  
2733 E PARLEY'S WAY, SUITE 300 SALT LAKE CITY, UT 84109

2733 E PARLEY'S WAY, SUITE 300 SALT LAKE CITY, UT 84109

GROUNDCOVER PLAN  
PROJECT #: 1726  
DATE: 6/27/2025  
DRAWN BY: BP  
SCALE: PER PLAN

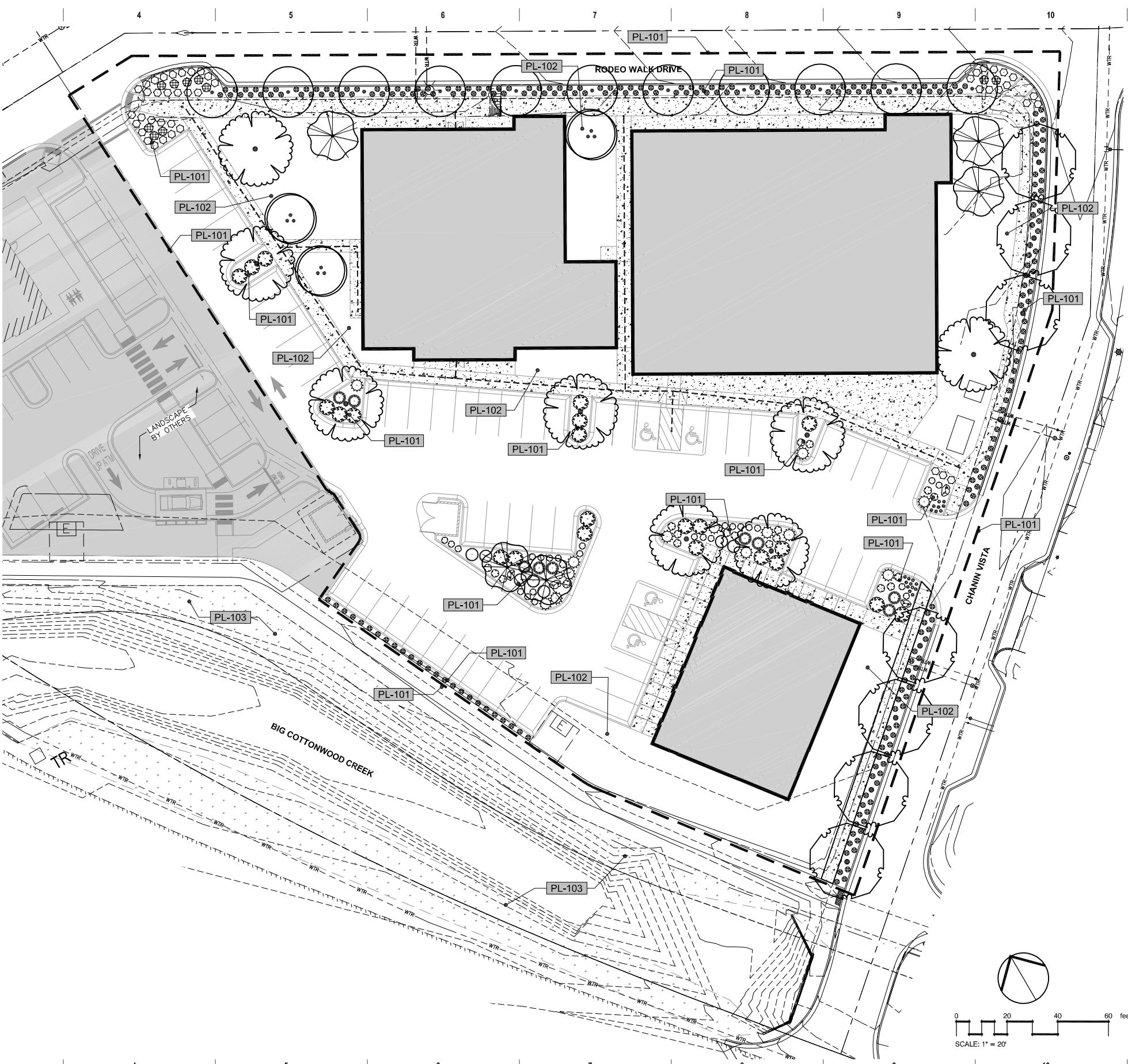
**LP101**

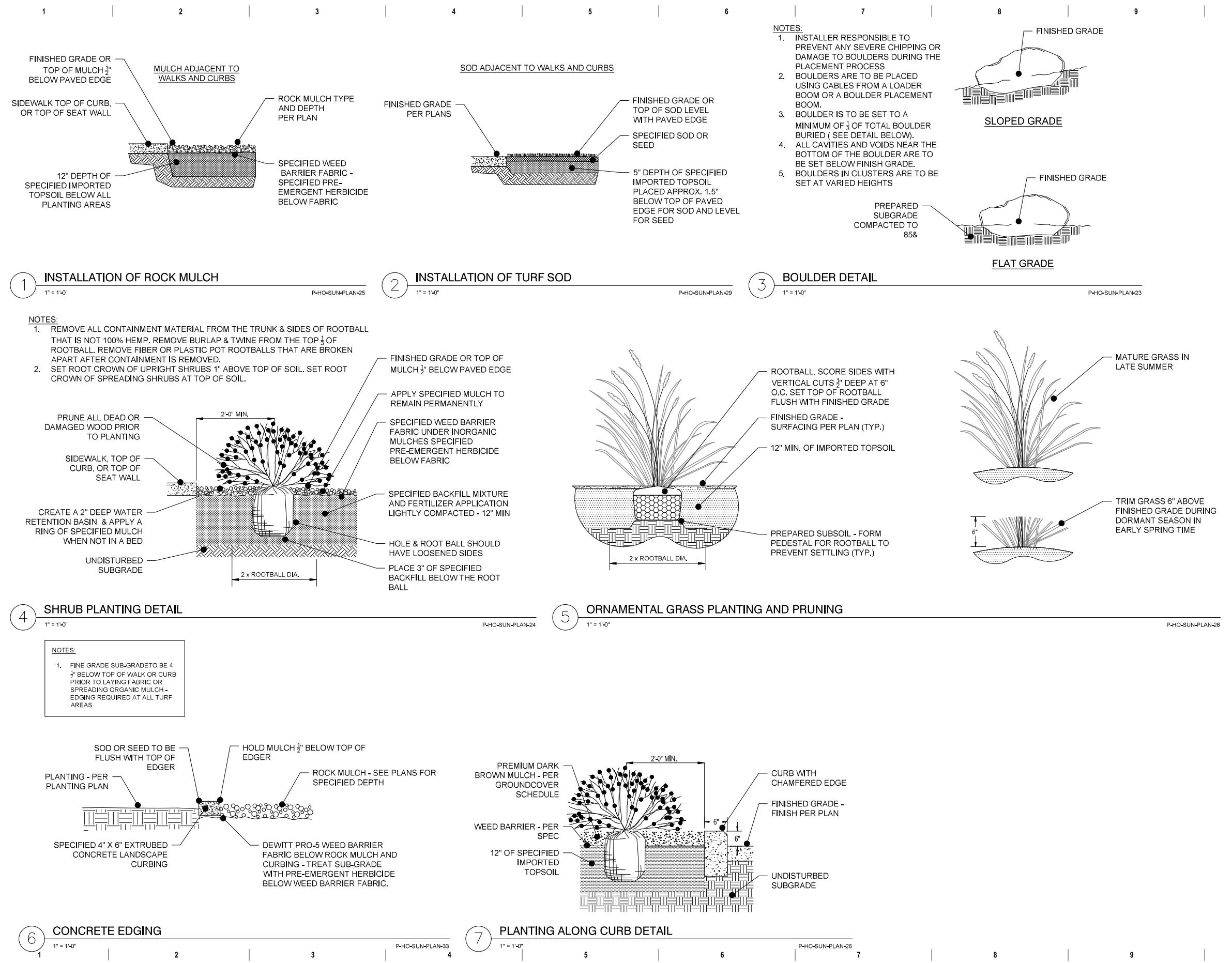
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feet  
SCALE: 1" = 20'

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<b>PLANT SCHEDULE BLOCK C</b>									
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY				
TREES									
•	AMELANCHIER X 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B&B		8' MULTI-STEM	3				
•	EXISTING RODEO WALK DRIVE TREE	EXISTING			11				
—	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER TM' / SHADEMASTER LOCUST	B & B		2'CAL	8				
DECIDUOUS TREES									
•	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B		3' CAL.	7				
FLOWERING TREES									
•	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B		2'CAL	5				
SYMBOL	BOTANICAL / COMMON NAME	CONT	=	SIZE	QTY				
SHRUBS									
•	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD			5 GAL	44				
•	CORNUS SERICEA 'KELSEYI' / KELSEYI DOGWOOD			5 GAL	25				
•	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH			5 GAL	7				
•	JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER			5 GAL	13				
•	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK			5 GAL	21				
•	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC			5 GAL	22				
•	ROSA X 'KNOCKOUT' / KNOCKOUT ROSE (WHITE)			5 GAL	10				
ANNUALS/PERENNIALS									
•	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY			1 GAL	19				
GRASSES									
•	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM' / OVERDAM FEATHER REED GRASS			1 GAL	264				
•	MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS			1 GAL	9				

**REFERENCE NOTES SCHEDULE BLOCK C**

SYMBOL	DESCRIPTION	QTY	DETAIL
<b>REFERENCE NOTES SCHEDULE</b>			
PL-101	PLANTING AREA (TYP.)		
PL-102	TURF AREA (TYP.)		
PL-103	EXISTING LANDSCAP TO REMAIN		
■	KENTUCKY BLUEGRASS SOD	12,744 SF	/
■	PREMIUM DARK BROWN BARK MULCH - 3" MIN. DEPTH OVER DEWITT PRO-5 WEED BARRIER FABRIC	6,042 SF	
◆	GREY LANDSCAPE BOULDERS 2' - 4' DIAMETER; 1/3 @ 2' DIAMETER, 1/3 @ 3' DIAMETER AND 1/3 @ 4' DIAMETER - PER STAKER PARSONS	4	



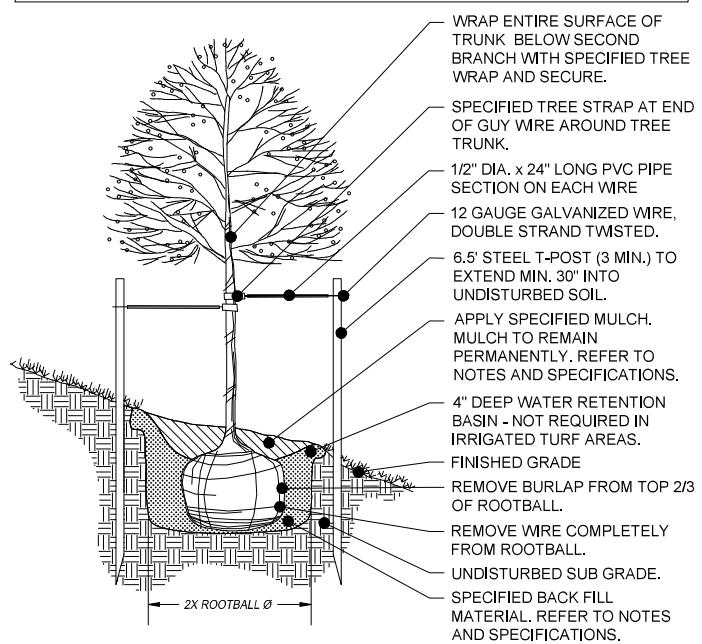


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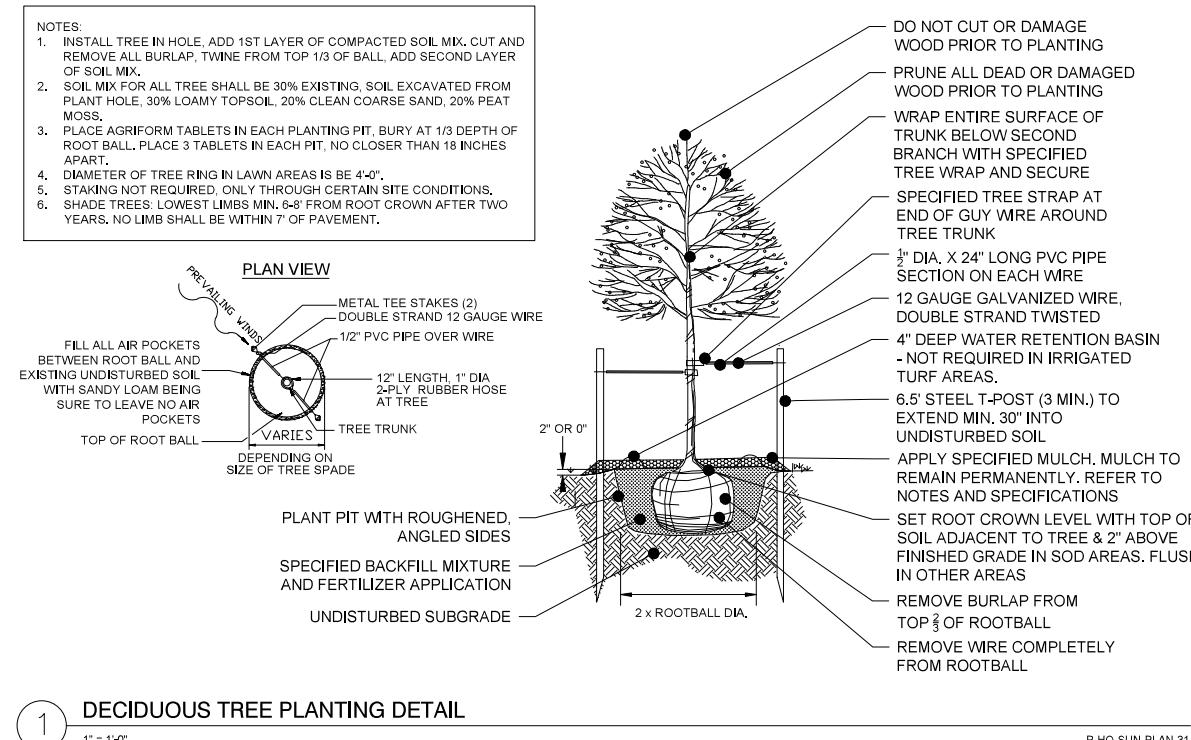
DATE

NOTES:

1. SEE TREE PLANTING DETAIL FOR ADDITIONAL REQUIREMENTS.
2. CUT BACK SLOPE TO PROVIDE FLAT SURFACE FOR PLANTING.
3. INSTALL TREE IN HOLE, ADD 1ST LAYER OF COMPACTED SOIL MIX, CUT AND REMOVE ALL BURLAP, TWINE FROM TOP 1/3 OF BALL, ADD SECOND LAYER OF SOIL MIX.
4. SOIL MIX FOR ALL TREE SHALL BE 30% EXISTING, SOIL EXCAVATED FROM PLANT HOLE, 30% LOAMY TOPSOIL, 20% CLEAN COARSE SAND, 20% PEAT MOSS.
5. PLACE AGRIFORM TABLETS IN EACH PLANTING PIT, BURY AT 1/3 DEPTH OF ROOT BALL. PLACE 3 TABLETS IN EACH PIT, NO CLOSER THAN 18 INCHES APART.
6. DIAMETER OF TREE RING IN LAWN AREAS IS BE 4'-0".
7. STAKING NOT REQUIRED, ONLY THROUGH CERTAIN SITE CONDITIONS.
8. SHADE TREES: LOWEST LIMBS MIN. 6'-0" FROM ROOT CROWN AFTER TWO YEARS. NO LIMB SHALL BE WITHIN 7' OF PAVEMENT.

(2) TREE PLANTING ON SLOPE  
1" = 1'-0"  
P-HO-SUN-PLAN-46

P-HO-SUN-PLAN-31

(1) DECIDUOUS TREE PLANTING DETAIL  
1" = 1'-0"

1 2 3 4 5 6 7 8 9 10

# ARHAUS HOLLADAY HILLS, UT



08.28.2025

01

DESIGN

# HOLLADAY HILLS



SALT LAKE CITY, UT - CORNER ENTRY: CHANIN VISTA & RODEO WALK DRIVE

# HOLLADAY HILLS



SALT LAKE CITY, UT - CORNER ENTRY: CHANIN VISTA & RODEO WALK DRIVE

# HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON RODEO WALK DRIVE

# HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON RODEO WALK DRIVE

# HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON CHANIN VISTA

# HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON CHANIN VISTA

# HOLLADAY HILLS



SALT LAKE CITY, UT - SECONDARY ENTRY ON BACKSIDE

# HOLLADAY HILLS



SALT LAKE CITY, UT - BACK OF BUILDING LOOKING NORTHEAST

# HOLLADAY HILLS



SALT LAKE CITY, UT - BACK OF BUILDING LOOKING NORTHEAST

# HOLLADAY HILLS

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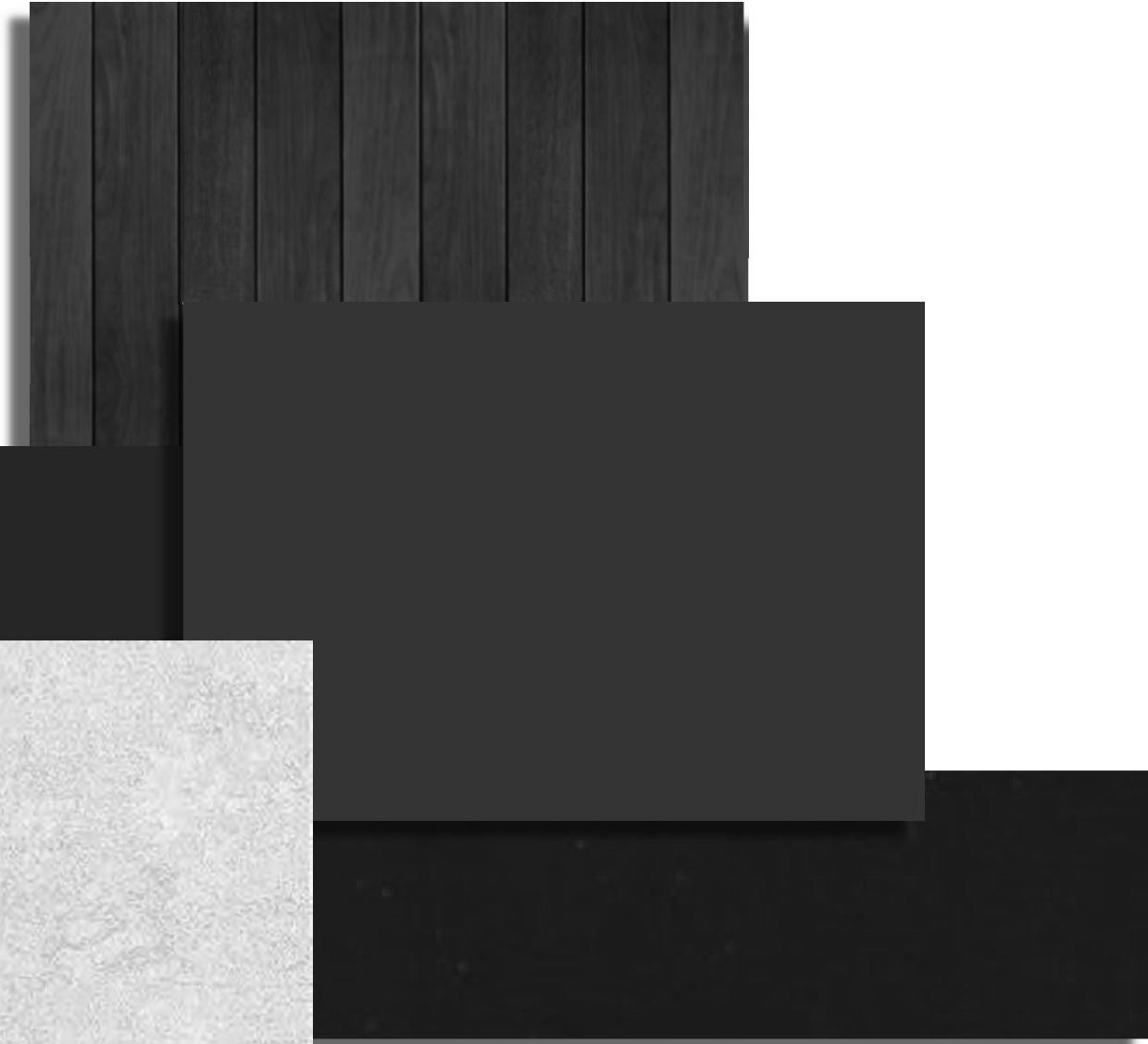
SALT LAKE CITY, UT - ROOFTOP PATIO VIEW 3

02

MATERIALS

# MATERIALS

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HOLLADAY HILLS  
OVERALL EXTERIOR PALETTE

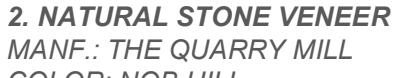


HOLLADAY HILLS  
MATERIAL CALLOUTS: CORNER ENTRY OF BUILDING

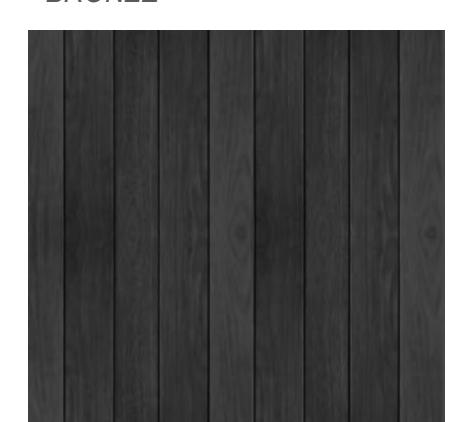
1. ALUMINUM CURTAIN WALL  
COLOR: BLACK



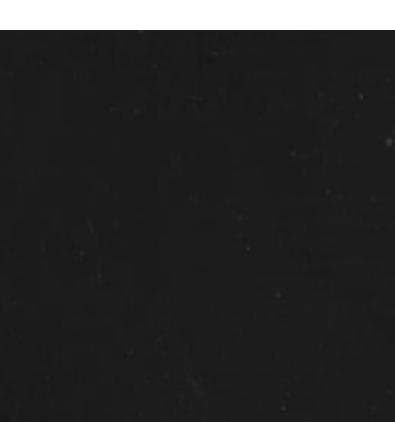
2. NATURAL STONE VENEER  
MANF.: THE QUARRY MILL  
COLOR: NOB HILL  
SIZE: TBD



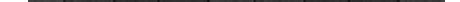
3. ACM PERIMETER TRIM  
MANF.: ALUCOBOND  
COLOR: STATUARY  
BRONZE



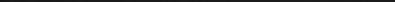
4. STUCCO  
VASARI ALABASTER – 80%  
WHITE SAND – 20%



5. WOOD LOOK  
MANF.: LONGBOARD  
COLOR: LIGHT NATIONAL  
WALNUT (VERTICAL  
INSTALLATION)



6. SPANDREL GLASS  
COLOR: HARMONY GRAY





HOLLADAY HILLS  
MATERIAL CALLOUTS: SIDE OF BUILDING ON RODEO WALK DRIVE



1. ALUMINUM CURTAIN WALL  
COLOR: BLACK



2. NATURAL STONE VENEER  
MANF.: THE QUARRY MILL  
COLOR: NOB HILL  
SIZE: TBD



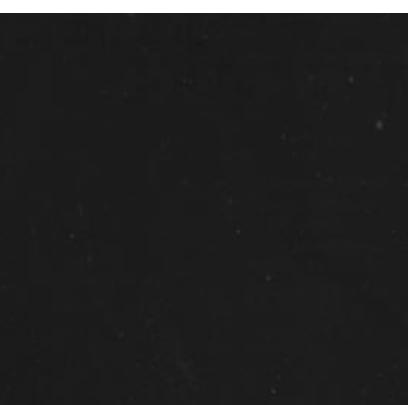
3. ACM PERIMETER TRIM  
MANF.: ALUCOBOND  
COLOR: STATUARY  
BRONZE



4. STUCCO  
VASARI ALABASTER – 80%  
WHITE SAND – 20%



5. WOOD LOOK  
MANF.: LONGBOARD  
COLOR: LIGHT NATIONAL  
WALNUT (VERTICAL  
INSTALLATION)



6. SPANDEL GLASS  
COLOR: HARMONY GRAY



HOLLADAY HILLS  
MATERIAL CALLOUTS: SIDE OF BUILDING ON CHANIN VISTA



1. ALUMINUM CURTAIN WALL  
COLOR: BLACK



2. NATURAL STONE VENEER  
MANF.: THE QUARRY MILL  
COLOR: NOB HILL  
SIZE: TBD



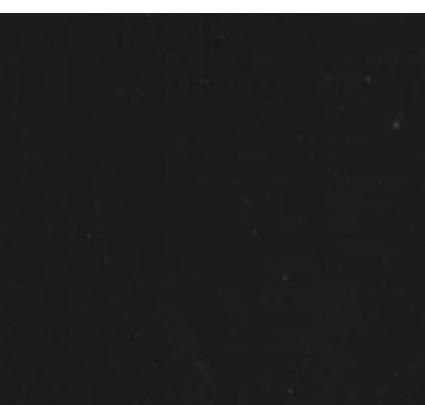
3. ACM PERIMETER TRIM  
MANF.: ALUCOBOND  
COLOR: STATUARY  
BRONZE



4. STUCCO  
VASARI ALABASTER – 80%  
WHITE SAND – 20%



5. WOOD LOOK  
MANF.: LONGBOARD  
COLOR: LIGHT NATIONAL  
WALNUT (VERTICAL  
INSTALLATION)



6. SPANDREL GLASS  
COLOR: HARMONY GRAY



HOLLADAY HILLS  
MATERIAL CALLOUTS: SECONDARY ENTRY ON BACKSIDE

3

5

6

2

6

2

3

1

3

5

2

1. ALUMINUM CURTAIN WALL  
MANF.: THE QUARRY MILL  
COLOR: BLACK



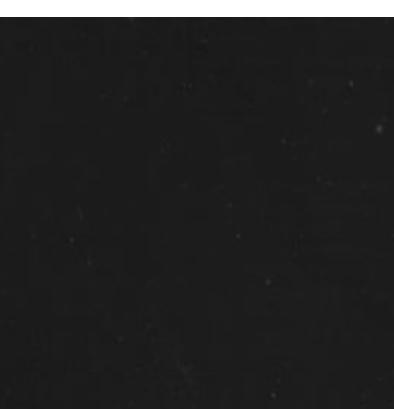
2. NATURAL STONE VENEER  
MANF.: THE QUARRY MILL  
COLOR: NOB HILL  
SIZE: TBD



3. ACM PERIMETER TRIM  
MANF.: ALUCOBOND  
COLOR: STATUARY  
BRONZE



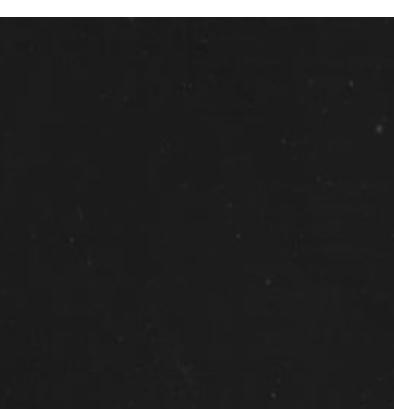
4. STUCCO  
VASARI ALABASTER – 80%  
WHITE SAND – 20%



5. WOOD LOOK  
MANF.: LONGBOARD  
COLOR: LIGHT NATIONAL  
WALNUT (VERTICAL  
INSTALLATION)



6. SPANDREL GLASS  
COLOR: HARMONY GRAY





HOLLADAY HILLS  
MATERIAL CALLOUTS: BACK OF BUILDING



1. ALUMINUM CURTAIN WALL  
MANF.: THE QUARRY MILL  
COLOR: BLACK



2. NATURAL STONE VENEER  
MANF.: THE QUARRY MILL  
COLOR: NOB HILL  
SIZE: TBD



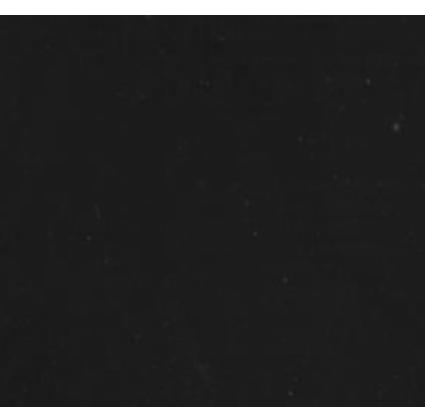
3. ACM PERIMETER TRIM  
MANF.: ALUCOBOND  
COLOR: STATUARY  
BRONZE



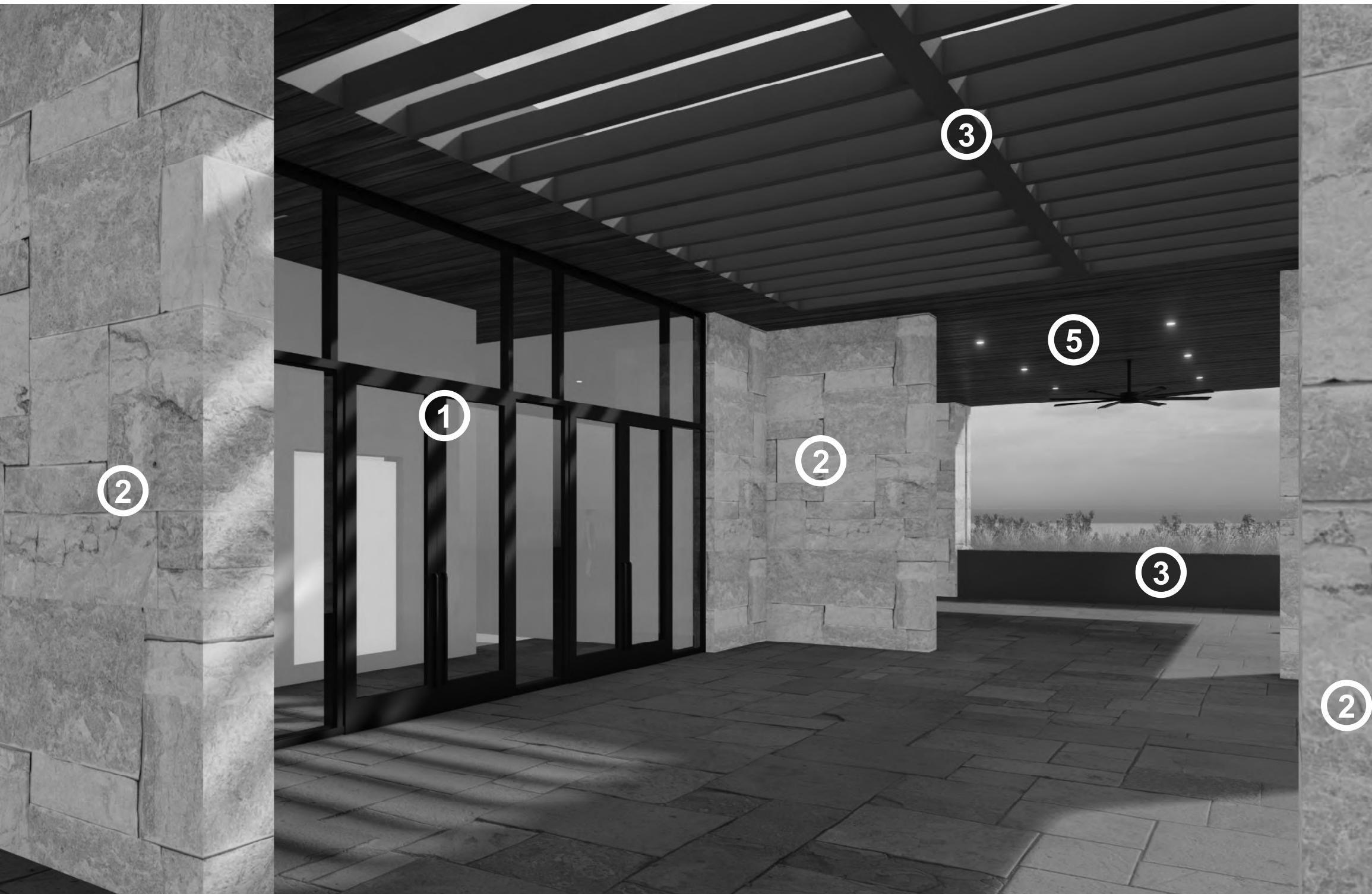
4. STUCCO  
VASARI ALABASTER – 80%  
WHITE SAND – 20%



5. WOOD LOOK  
MANF.: LONGBOARD  
COLOR: LIGHT NATIONAL  
WALNUT (VERTICAL  
INSTALLATION)



6. SPANDREL GLASS  
COLOR: HARMONY GRAY



HOLLADAY HILLS  
MATERIAL CALLOUTS: PATIO VIEW 1



1. ALUMINUM CURTAIN WALL  
MANF.: THE QUARRY MILL  
COLOR: BLACK



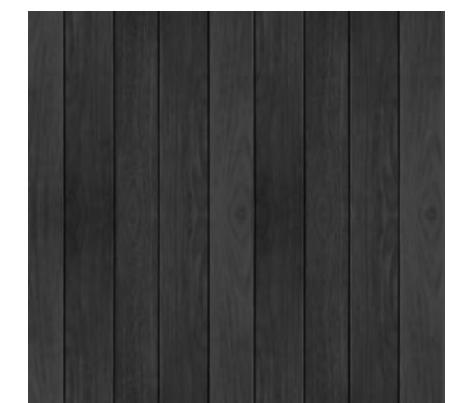
2. NATURAL STONE VENEER  
MANF.: THE QUARRY MILL  
COLOR: NOB HILL  
SIZE: TBD



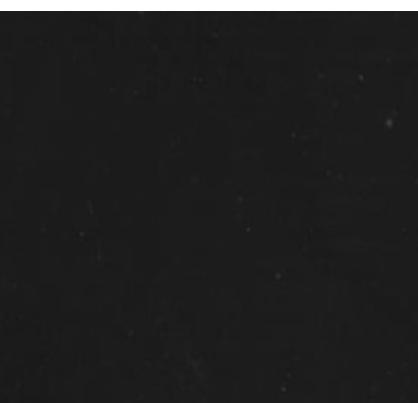
3. ACM PERIMETER TRIM  
MANF.: ALUCOBOND  
COLOR: STATUARY  
BRONZE



4. STUCCO  
VASARI ALABASTER – 80%  
WHITE SAND – 20%



5. WOOD LOOK  
MANF.: LONGBOARD  
COLOR: LIGHT NATIONAL  
WALNUT (VERTICAL  
INSTALLATION)



6. SPANDEL GLASS  
COLOR: HARMONY GRAY



HOLLADAY HILLS  
MATERIAL CALLOUTS: PATIO VIEW 3



1. ALUMINUM CURTAIN WALL  
MANF.: THE QUARRY MILL  
COLOR: BLACK



2. NATURAL STONE VENEER  
MANF.: THE QUARRY MILL  
COLOR: NOB HILL  
SIZE: TBD



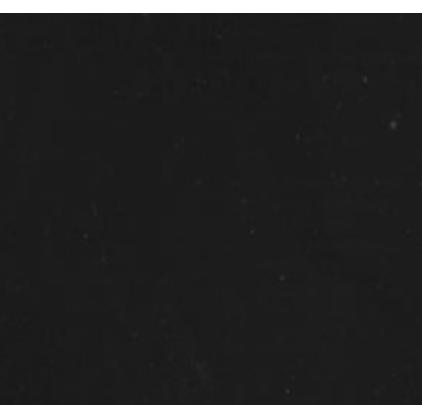
3. ACM PERIMETER TRIM  
MANF.: ALUCOBOND  
COLOR: STATUARY  
BRONZE



4. STUCCO  
VASARI ALABASTER – 80%  
WHITE SAND – 20%



5. WOOD LOOK  
MANF.: LONGBOARD  
COLOR: LIGHT NATIONAL  
WALNUT (VERTICAL  
INSTALLATION)



6. SPANDREL GLASS  
COLOR: HARMONY GRAY