

6/27/2025 12:36 PM

PLOTTED BY: LEEANN MILLER

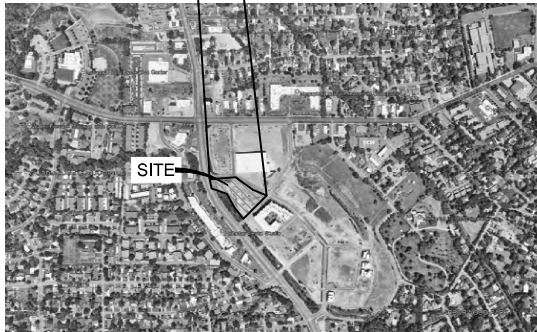
P:\KMW DEVELOPMENT BLOCK C - 1726-2200 - ROTH\CIVIL\C001 COVER SHEET 1726-2200.DWG

HOLLADAY HILLS ROTH AND ARHAUS

LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 9,
TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;
CITY OF HOLLADAY, COUNTY OF SALT LAKE,
STATE OF UTAH



VICINITY MAP
NOT TO SCALE



SHEET INDEX	
CIVIL ENGINEERING SHEETS	
C001	COVER SHEET
C100	DEMOLITION PLAN
C200	SITE PLAN
C201	ADA PLAN
C300	UTILITY PLAN
C400	GRADING PLAN
C401	DRAINAGE PLAN
C500	EROSION CONTROL PLAN
C501	EROSION CONTROL DETAILS
C600	DETAILS

DEVELOPER/OWNER
WOODBURY CORPORATION
CANYON CREEK COMMERCIAL CENTER
2733 EAST PARLEYS WAY, STE. 300
SALT LAKE CITY, UTAH 84109
CONTACT: JASON WEDLICK
OFFICE: (801) 485-7770

CIVIL ENGINEER
WOODBURY CORPORATION
2733 EAST PARLEYS WAY, STE. 300
SALT LAKE CITY, UTAH 84109
CONTACT: LEEANN MILLER, P.E.
OFFICE: (801) 485-7770
CELL: (801) 450-5734

LANDSCAPE ARCHITECT
WOODBURY CORPORATION
2733 EAST PARLEYS WAY, STE. 300
SALT LAKE CITY, UTAH 84109
CONTACT: CODY BRAZELL
OFFICE: (801) 485-7770

For Review
06/27/2025 2:39:47 PM

WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770



DATE

APPROVED



REVISION DESCRIPTION

**PRELIMINARY
PLAN**
19-9-19-9

**COVER SHEET
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS**
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

COVER SHEET

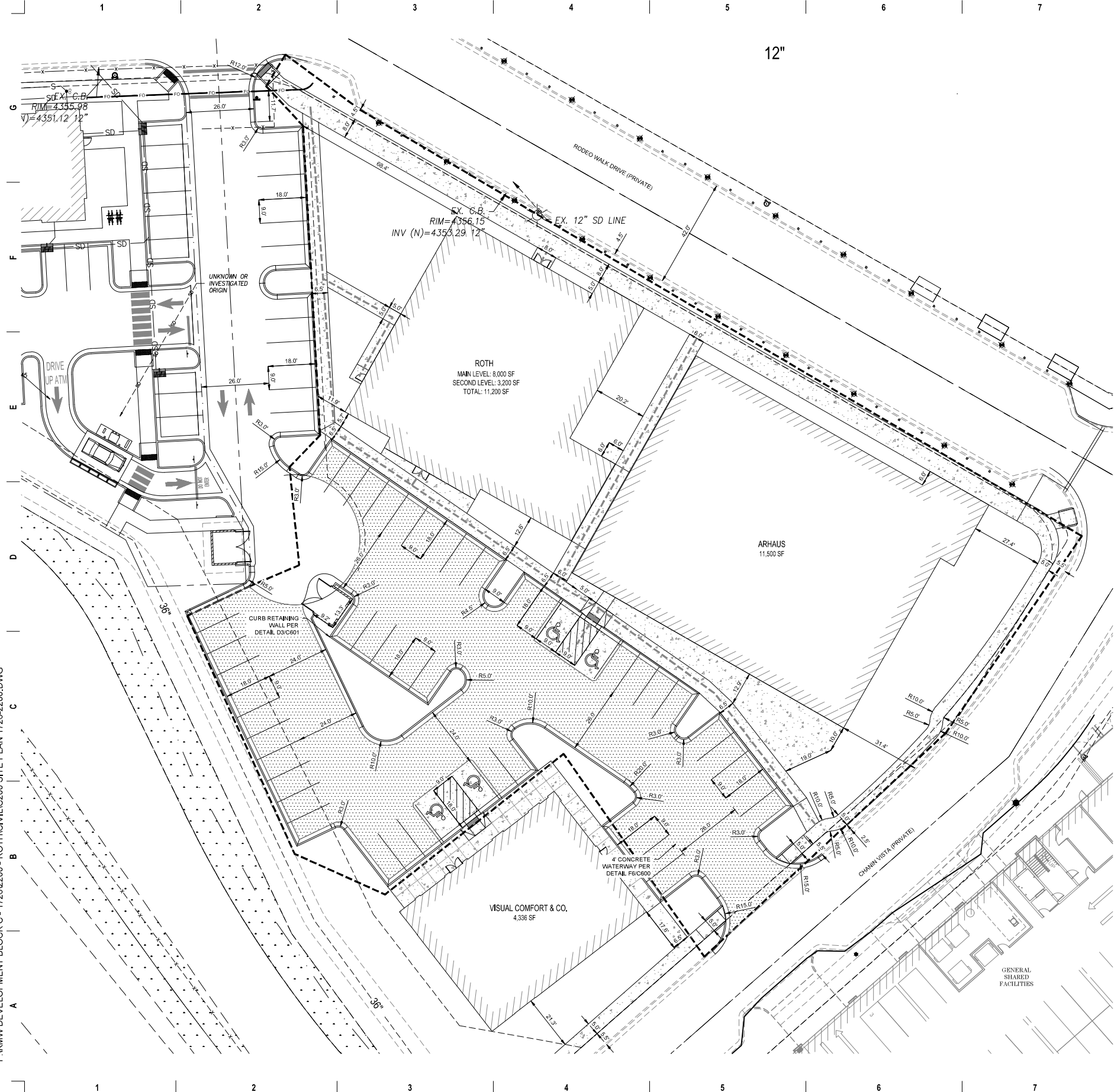
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: NONE

C001

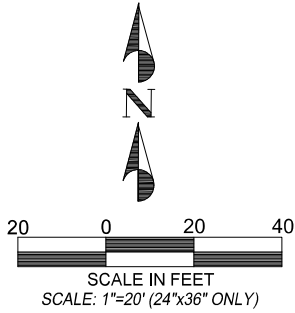
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P:\KMW\DEVELOPMENT BLOCK C - 1726\2200 - ROTH\CIVIL\C200 SITE PLAN 1726-2200.DWG



12"



- LEGEND**
- EX, LOT LINES
 - EX, EDGE OF OIL
 - EX, FENCE LINE
 - EX, CURB & GUTTER
 - NEW CURB & GUTTER
 - NEW ADA ROUTE
 - NEW PROPERTY LINE
 - LIMITS OF CONSTRUCTION
 - NEW STANDARD ASPHALT PAVEMENT
 - NEW HEAVY ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - L.S. LANDSCAPE AREA

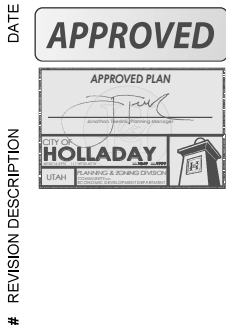
- NOTES**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
 - ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - DUMPSTER ENCLOSURES SHALL BE 3-SIDED MASONRY WALLS WITH STEEL GATE. DUMPSTER ENCLOSURE TO MATCH MATERIAL USED ON BUILDING.
 - EXPANSION JOINTS USING VOID CAPS AND CAULK ARE REQUIRED ON ALL CONCRETE JOINTS AROUND BUILDING PERIMETER AND EXPANSION JOINTS (CURB IN) - EXPANSION JOINTS REQ'D AROUND ENTIRE BUILDING PERIMETER WHERE CONCRETE MEETS BUILDING AND BETWEEN CURB / SIDEWALK INFILL SECTIONS WITH NO PLANTER AND AT OTHER LOCATIONS PER DETAILS AND SPECS.

LAND USE SUMMARY			
	SQ.FT	ACREAGE	PERCENT
BUILDING FOOTPRINT	23,636	0.547	19.3%
LANDSCAPE AREA	42,713	0.981	34.6%
IMPERVIOUS AREA	56,751	1.303	46.0%
TOTAL LOT AREA	123,300	2.831	100.0%

PARKING SUMMARY	
BUILDING SIZE:	27,036 SF
PARKING REQUIRED (3/1000 SF):	81 STALLS
PARKING PROVIDED:	74 STALLS
TOTAL PARKING RATIO	2.7/1000 S.F.

* OTHER SHARED PARKING AVAILABLE THROUGHOUT THE DEVELOPMENT

For Review
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SITE PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

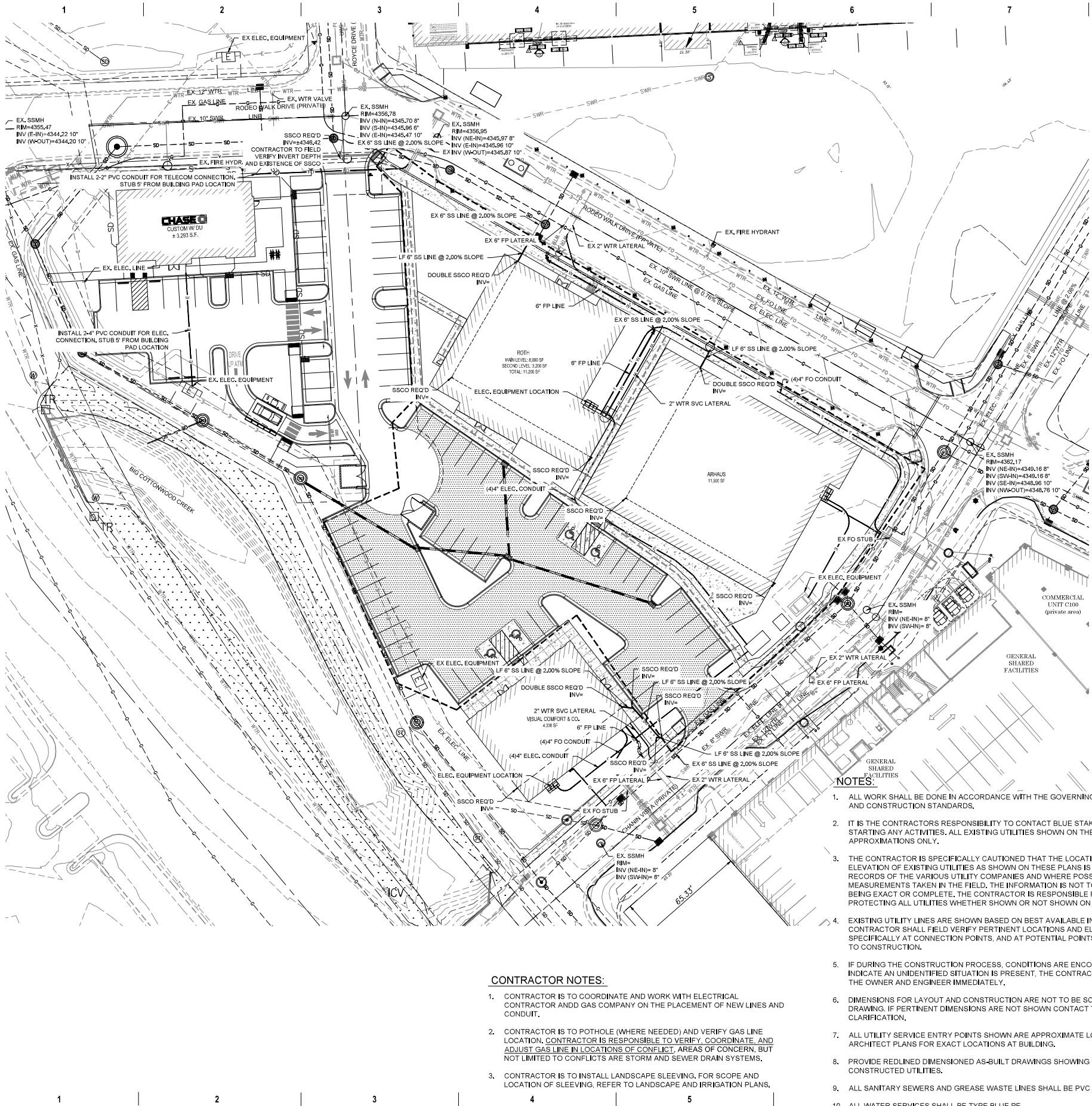
SITE PLAN
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C200

6/27/2025 12:06 PM

PLOTTED BY: LEEANN MILLER

P:\KMW\DEVELOPMENT BLOCK C - 1726\2200 - ROTH\CIVIL\C300 UTILITY PLAN 1726-2200.DWG



CONTRACTOR NOTES:

- CONTRACTOR IS TO COORDINATE AND WORK WITH ELECTRICAL CONTRACTOR AND GAS COMPANY ON THE PLACEMENT OF NEW LINES AND CONDUIT.
- CONTRACTOR IS TO POTHOLE (WHERE NEEDED) AND VERIFY GAS LINE LOCATION. CONTRACTOR IS RESPONSIBLE TO VERIFY, COORDINATE, AND ADJUST GAS LINE IN LOCATIONS OF CONFLICT, AREAS OF CONCERN, BUT NOT LIMITED TO CONFLICTS ARE STORM AND SEWER DRAIN SYSTEMS.
- CONTRACTOR IS TO INSTALL LANDSCAPE SLEEVING. FOR SCOPE AND LOCATION OF SLEEVING, REFER TO LANDSCAPE AND IRRIGATION PLANS.

NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
- IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
- ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.
- PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED UTILITIES.
- ALL SANITARY SEWERS AND GREASE WASTE LINES SHALL BE PVC SDR-35.
- ALL WATER SERVICES SHALL BE TYPE BLUE PE.

- SEE IRRIGATION PLANS FOR NEW PRESSURIZED IRRIGATION LINES.
- ALL VALVE COVERS FOR FIRE PROTECTION WATER LINES SHALL BE LABELED "FIRE".
- EX. SERVICE LATERALS HAVE NOT VERIFIED. CONTRACTOR TO FIELD VERIFY & CONTACT ENGINEER WHEN UNKNOWN LATERALS ARE ENCOUNTERED.
- VERIFY ELECTRICAL AND TRANSFORMER REQUIREMENTS WITH ELECTRICAL PLANS.
- ELECTRICAL SYSTEM TO BE INSTALLED AS PER SPANISH FORK CITY ELECTRICAL DESIGN AND STANDARDS. ANY ELECTRICAL DESIGNS AS PER ARCHITECT/DEVELOPER DRAWING SHALL BE SUPERSEDED BY CITY DESIGN.
- ALL ELECTRICAL IMPROVEMENTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF THE SPANISH FORK CITY CONSTRUCTION STANDARDS.
- IF NEWER VERSION OF STANDARDS IS RELEASED DURING PROJECT THE PROJECT SHALL BE COMPLETED USING STANDARDS VERSION THAT WAS ISSUED AT PER-CONSTRUCTION MEETING.
- ANY EXISTING FACILITIES AFFECTED BY DEVELOPMENT WILL NEED TO BE BROUGHT TO CURRENT NEC, NESC AND CITY STANDARDS AT DEVELOPERS EXPENSE INCLUDING BUT NOT LIMITED TO UPGRADING OF METER BASE, SERVICE CONDUITS, COMMUNICATIONS SERVICES, AND LANDSCAPING RESTORATION.
- INSTALL FIRE RISER AT LOCATION SHOWN ON ARCHITECTURAL OR MECHANICAL PLANS. DO NOT USE CIVIL ENGINEERING AUTOCADD PLANS TO DETERMINE LOCATION. CONSTRUCTION STAKER REQUIRED TO STAKE RISER LOCATION FROM PLANS BY ARCHITECT OR MECHANICAL ENGINEER.
- THE FIRE SPRINKLER SYSTEM DESIGN WILL BE A DEFERRED SUBMITTAL AND WILL BE CONTRACTED THOUGH THE GENERAL CONTRACTOR.
- INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C2/C600.

For Review
06/27/2025 2:39:53 PM



REVISION DESCRIPTION



UTILITY PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

UTILITY PLAN

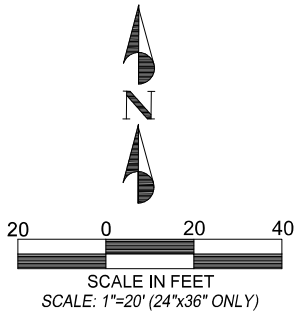
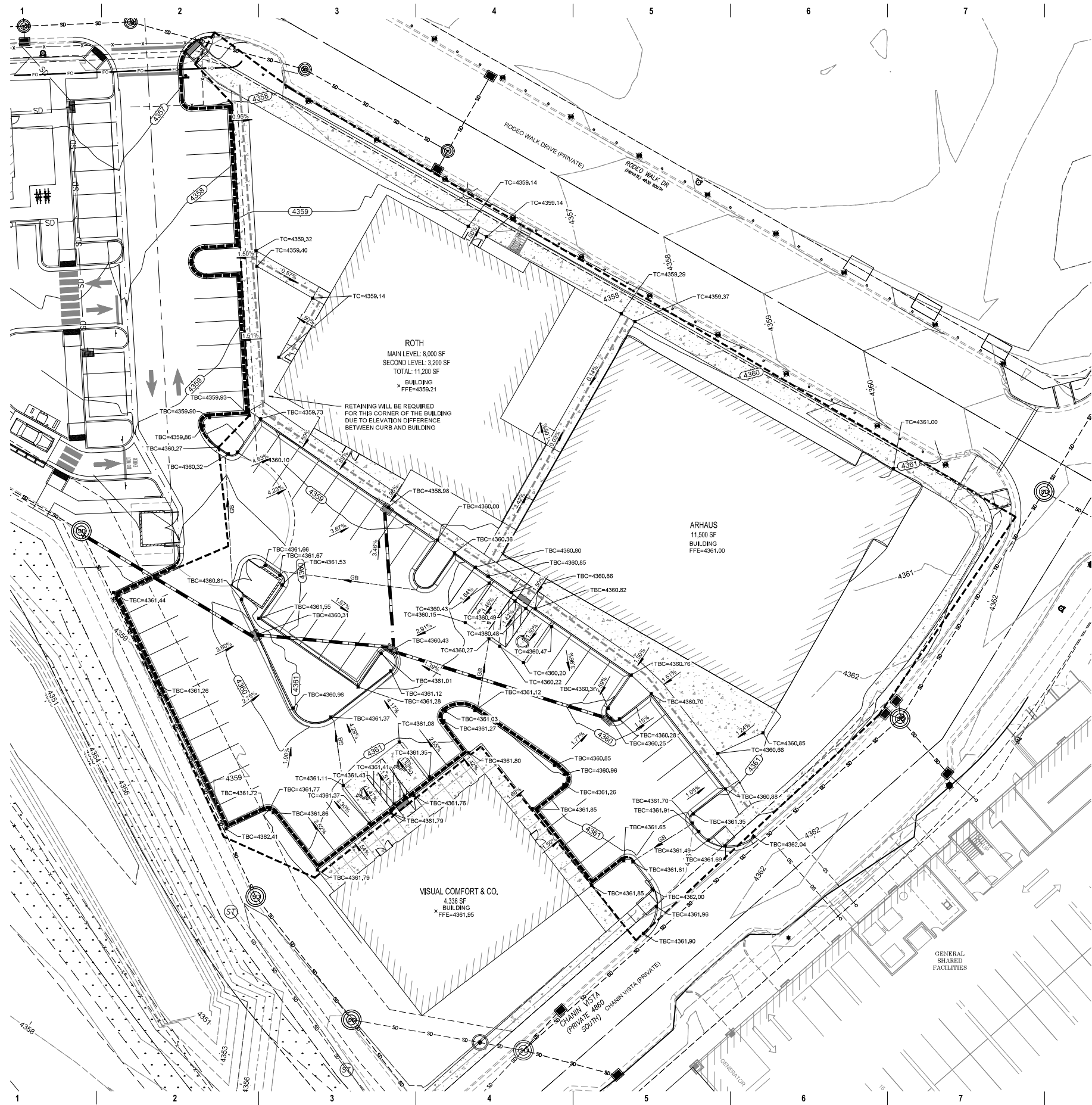
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C300

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PLOTTED BY: LEEANN MILLER

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LEGEND	
	PROPOSED CURB 7 GUTTER
	PROPOSED SPILL CURB
	EXISTING CURB & GUTTER
	PROPOSED EDGE OF ASPHALT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	FG FINISH GRADE ELEVATION
	FLC FLOWLINE OF CURB ELEVATION
	TBC TOP BACK OF CURB ELEVATION
	TA TOP OF ASPHALT ELEVATION
	TC TOP OF CONCRETE ELEVATION
	GR CATCH BASIN GRATE ELEVATION
	FL FLOWLINE OF PIPE ELEVATION
	C.B. PROPOSED CATCH BASIN
	(M.E.) MATCH EXISTING ELEVATION
	GB GRADE BREAK
	TW TOP OF WALL ELEVATION

NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
4. EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
5. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
6. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
7. ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.
8. PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED STORM DRAINS.
9. FIELD SURVEY EXISTING ELEVATIONS OF TOP OF CURBS AND EDGE OF PAVEMENT PRIOR TO STARTING CONSTRUCTION. ADJUST PROPOSED ELEVATIONS AS NEEDED TO PROVIDE DRAINAGE AND SLOPES THAT COMPLY WITH ADA AND CODE REQUIREMENTS. CONSULT WITH PROJECT ENGINEER AS NEEDED.
10. MEASURE SLOPES OF COMPACTED ROADBASE AND CONCRETE FORMS TO ENSURE THAT NO PAVEMENT LOW SPOTS ARE CREATED. MAKE ADJUSTMENTS AS NEEDED.
11. PROVIDE 4" WYE OR TEE AT INVERT OF ROOF DRAIN. COORDINATE SITE ROOF DRAIN INVERTS WITH BUILDING PLUMBING PRIOR TO BUILDING OR SITE CONSTRUCTION.
12. MEASURE SLOPES OF COMPACTED ROAD BASE AND CONCRETE FORMS FOR ALL ADA RAMP, PARKING AREAS AND ACCESSIBLE ROUTES AND ADJUST AS NEEDED TO MEET ALL REQUIREMENTS. DO NOT EXCEED THE FOLLOWING SLOPES:
ADA PARKING: 2% SLOPES
GUTTERS IN ADA ROUTES: 5% MAX.
CROSS SLOPE OF ALL SIDEWALKS AND ADA ROUTES: 2% MAX.
RUNNING SLOPE OF ADA RAMP: 8.33% MAX.
13. INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C2/C600

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DATE

REVISION DESCRIPTION



GRADING PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

GRADING PLAN

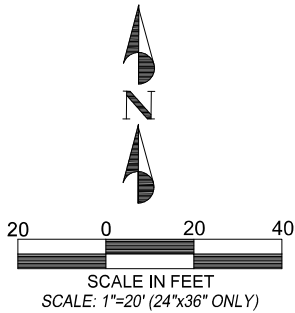
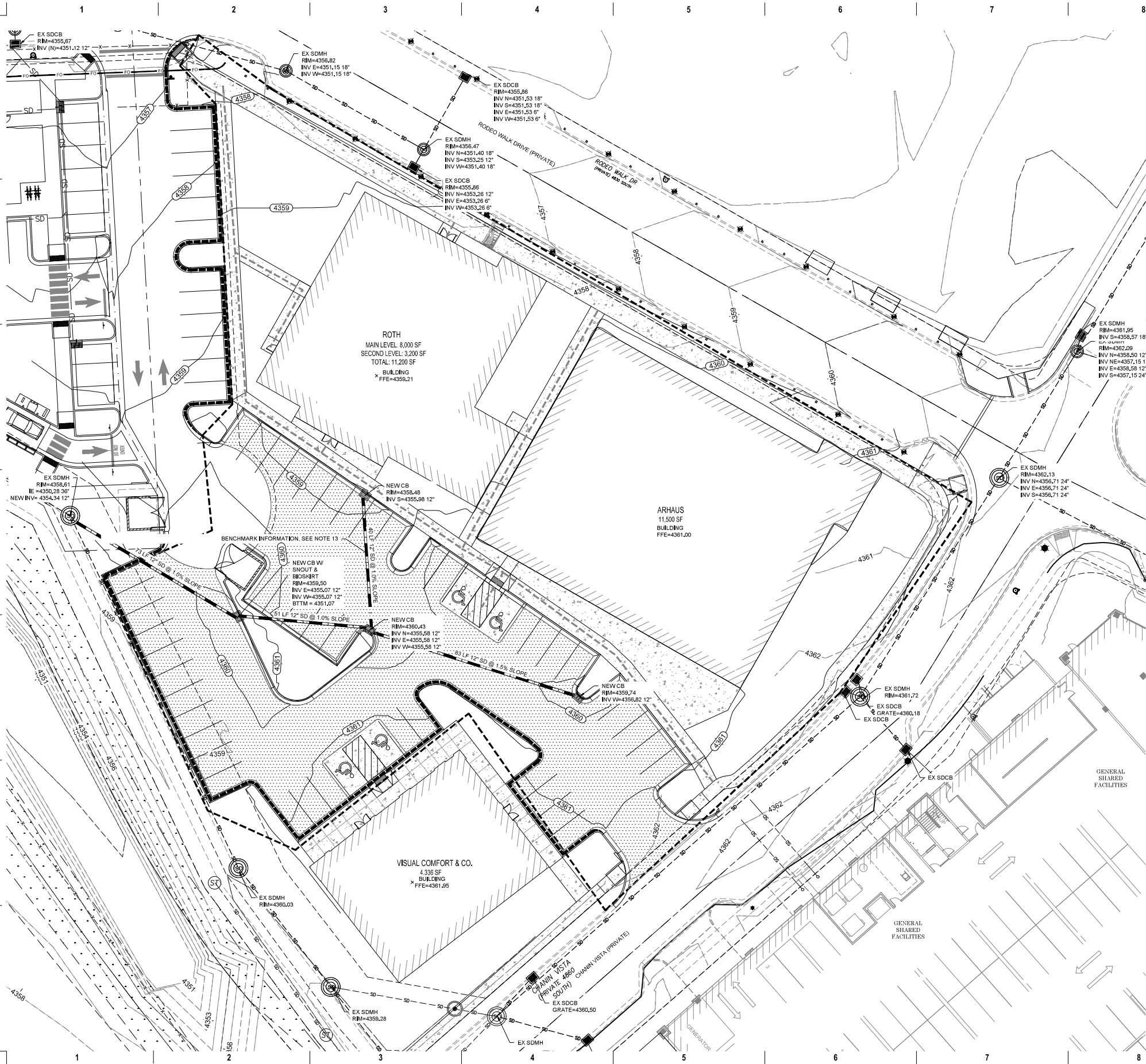
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C400

6/27/2025 1:46 PM

PLOTTED BY: LEEANN MILLER

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06/27/2025 2:39:54 PM



#	REVISION DESCRIPTION
1	APPROVED
2	APPROVED PLAN
3	CITY OF HOLLADAY
4	UTAH
5	LANDING & SURVEILLANCE

DRAINAGE PLAN
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

DRAINAGE PLAN
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

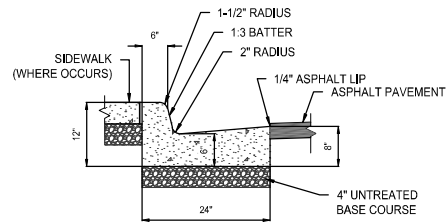
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PLOTTED BY: LEEANN MILLER

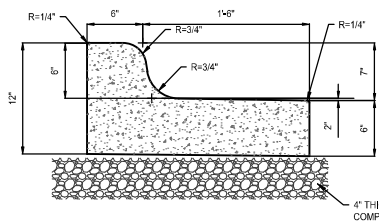
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1 2 3 4 5 6 7 8 9 10



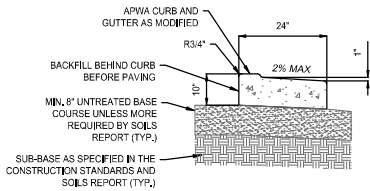
- NOTES:
1. PROVIDE CONTRACTION JOINTS AT 10' O.C. AND FULL DEPTH EXPANSION JOINTS AT 60' O.C. MAX. AND AT CURVES, TANGENTS, AND CORNERS.
 2. INSTALL 2-6" LONG TIE BARS ON 2-4" CENTERS WHEN CURB IS ADJACENT TO CONCRETE SIDEWALKS.
 3. USE (2) #6 TIE BARS 2-6" LONG TO TIE NEW AND EXISTING CURBS TOGETHER.

CURB & GUTTER, CATCH - A

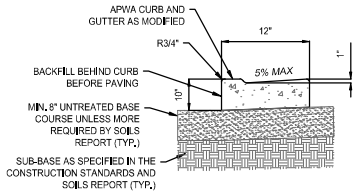


CURB & GUTTER, SPILL - A

D2 CURB & GUTTER
N.T.S.

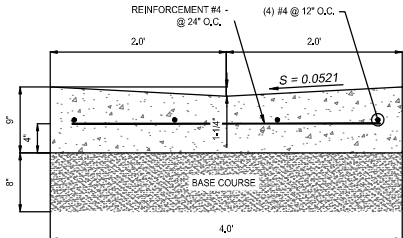


24" MODIFIED SPILL CURB AT RAMP DETAIL

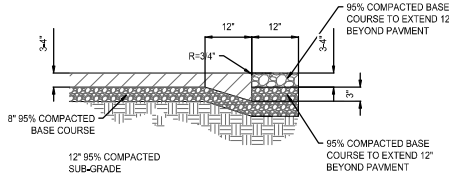


24" MODIFIED CATCH CURB AT RAMP DETAIL

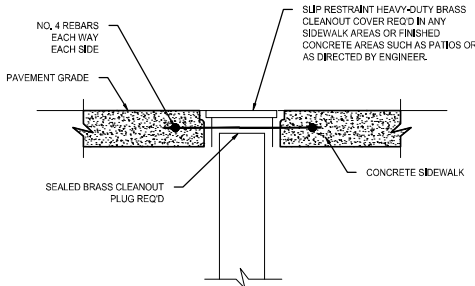
D4 MODIFIED CURB & GUTTER AT RAMP
N.T.S.



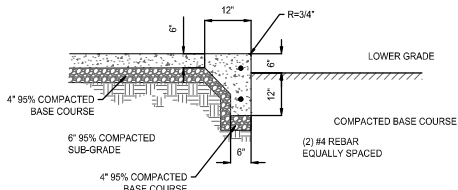
F6 4'-0" WATERWAY
N.T.S.



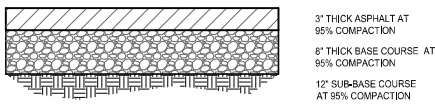
D6 THICKENED EDGE ASPHALT
N.T.S.



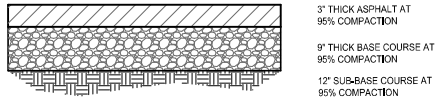
C2 SIDEWALK CLEANOUT DETAIL
N.T.S.



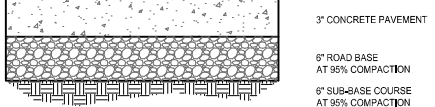
A2 THICKENED EDGE CONCRETE
N.T.S.



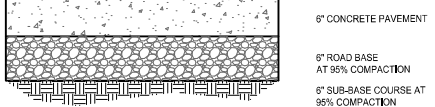
ASPHALT CONCRETE



HEAVY DUTY ASPHALT CONCRETE



CONCRETE PAVEMENT

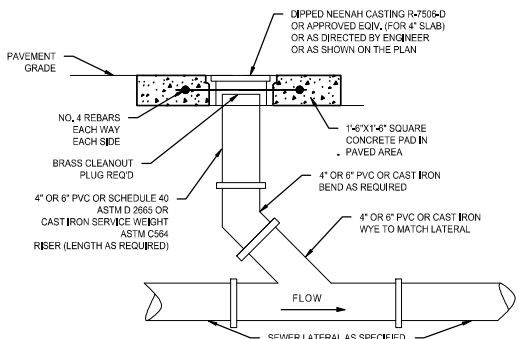


DUMPSTER APPROACH CONCRETE PAVEMENT

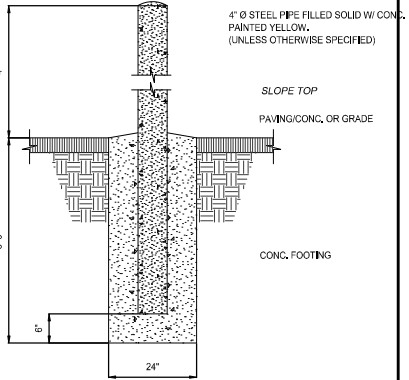
CONSTRUCTION NOTES:

1. PAVEMENT RECOMMENDATIONS ARE BASED ON THE GEOTECHNICAL INVESTIGATION PREPARED BY AGEC, PROJECT NO. 1210360, DATED JUNE 17, 2021.
2. CONCRETE CONTRACTION JOINT SPACING SHOULD NOT EXCEED 30 TIMES THE THICKNESS OF THE SLAB. PROVIDE SHOP DRAWING OF CONTRACTION AND EXPANSION JOINT LOCATIONS FOR OWNER REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

A4 PAVEMENT SECTIONS
N.T.S.



C6 SANITARY SEWER CLEANOUT
N.T.S.



A6 FIXED BOLLARD
N.T.S.

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WOODBURY CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770



DETAILS
HOLLADAY HILLS BLOCK C
ROTH AND ARHAUS
1888 EAST RODEO WALK DRIVE
MURRAY, UTAH

DETAILS
PROJECT #: 1726-2200
DATE: 06/23/2025
DRAWN BY: HC
SCALE: 1"=20'

C600

1 2 3 4 5 6 7 8 9 10

ABBREVIATIONS

& @ #	AND AT NUMBER	E AT EA	EAST EXISTING EACH EXPANSION JOINT ELEVATION ELEVATOR ELECTRIC(AL) ENCLOSURE ENGINEER(ED) EDGE OF EDGE OF SLAB ELECTRICAL PANEL EQUAL EQUIPMENT EXHAUST EXPANSION EXT EXT	KEC KIT	KITCHEN EQUIPMENT CONTRACTOR KITCHEN	S SAF SC SCWD SCHED SECT SF SH SHG SHW SKL SLD SLDG SLNT SOG SPEC SPK SPR SQ STN STL STD STEEL STOR STRUCT SUR SUSP SYM SYS STN	SOUTH SELF-ADHERED FLASHING SOLID CORE SOLID CORE WOOD SECTION SQUARE FEET SHEET SHEATHING SIMILAR SKYLIGHT SOLID SLIDING SEALANT SLAB ON GRADE SPECIFICATION(S) SPEAKER SURFACE SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SURFACE SUSPENDED SYMMETRICAL SYSTEM STONE
AB ABV A/C ACT AD ADD ADDL ADH ADJ AFF AGG ALT ALUM ANOD APPROX ARCH AUTO AVB AVG AXON	AIR BARRIER ABOVE AIR CONDITIONING ACOUSTIC CEILING TILE AREA DRAIN ADDENDUM ADDITIONAL ADHESIVE ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE ALTERNATE ALUMINUM ANODIZED APPROXIMATE ARCHITECT(JURAL) AUTOMATIC AIR VAPOR BARRIER AVERAGE AXONOMETRIC	B BL B/EV B/ELEC B/ENCL B/ENG B/EO B/EOS B/EP B/EQ B/EQUIP B/EXH B/EXPN B/EXT B/FAB B/FBO B/FD B/FDN B/FEC B/FEN B/FIN B/FIXT B/FLR B/FLX B/BLW B/BEAM B/BO B/ROS B/BP B/BR B/BRKT B/BRZ B/BSMT B/BTWN B/BVL B/BYD	B BL B/EV B/ELEC B/ENCL B/ENG B/EO B/EOS B/EP B/EQ B/EQUIP B/EXH B/EXPN B/EXT B/FAB B/FBO B/FD B/FDN B/FEC B/FEN B/FIN B/FIXT B/FLR B/FLX B/BLW B/BEAM B/BO B/ROS B/BP B/BR B/BRKT B/BRZ B/BSMT B/BTWN B/BVL B/BYD	MA MAT MAX MBR MED CAB MECH MED MEZZ MFR MIN MIR MISC MOD MT MTD MTL MU MUL MULWK N NORTH NAT NIC NOM NTS NUM	MASONRY MATERIAL MAXIMUM MEMBER MEDICINE CABINET MECHANICAL MEDIUM MEZZANINE MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MODULAR MOUNT(ED) MOUNTED METAL MASONRY UNITS MILLION MILLWORK	T TBD TEL TEMP THK THR THRU T&G T.O. TOC TOW TRANS TV TYP	TREAD TO BE DETERMINED TELEPHONE TEMPORARY THICK(NESS) THRESHOLD THROUGH TONGUE & GROOVE TOP OF TOP OF CONCRETE TOP OF WALL TRANSPARENT TELEVISION TYPICAL
C CAB CC C&M CER CFL CHAN CIP CIRC CJ CL CLG CLR CLOS CMU CNR COL CONC COND CONST CONT CORR CT	COPYRIGHT CABINET CENTER TO CENTER CEMENT CERAMIC COUNTERFLASHING CHANNEL CAST-IN-PLACE CIRCUMFERENCE CONTROL JOINT CENTERLINE CEILING CLEAR / CLEARANCE CLOSET CONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONDITION CONSTRUCTION CONTINUOUS or CONTINUE CORRUGATED or CORRIDOR CERAMIC TILE	GA GALV GEN GC GD GDBM GL GLU GLZ GSM GT GVL GWB GYP	GAUGE GALVANIZED GENERAL GENERAL CONTRACTOR GRADE, GRADING GRADE BEAM GLASS GLUE LAMINATED GLAZING, GLAZED GALVANIZED SHET METAL GROUT GRAVEL GYPSUM WALL BOARD GYPSUM	OC OD OH OPER OPP OVHD PBD PC PERF PERIM PERP PIP PKT PL PLAM PLAS PLMB PLYWD PNL PROJ PROP PSF PSI PT PTD QTR	ON-CENTER OUTSIDE DIAMETER OPPOSITE HAND OPERABLE OPPOSITE OVERHEAD PARTICLE BOARD PRECAST PERFORATED PERIMETER PERPENDICULAR POURED IN PLACE POCKET PLATE or PROPERTY LINE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PANEL PROJECT PROPERTY POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED or POINT PAINTED QUARTER	UC UR UTL VAR VCT VERT VIF VNR W W/ W/O WC WD W/D WDW WH WIC W/O WP WRB VCT YD	UNDER COUNTER URINAL UTILITY VARIES VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD VENEER WEST WITH WITHOUT WATER CLOSET WOOD WASHER/DRYER WINDOW WATER HEATER WALK IN CLOSET WITHOUT WATERPROOF(ING) WEATHER RESISTANT BARRIER VINYL COMPOSITE TILE YARD
D DBL DEMO DEPT DIL DF DG DIA DIM DN DS DIL DW DWG DWR	DEPTH DOUBLE DEMOLITION DEPARTMENT DETAIL DOUGLAS FIR DECOMPOSED GRANITE DIAMETER DOWN DIMENSION DOWN DOOR DOWNSPOUT DETAIL DISHWASHER DRAWING DRAWER	H HMDFR HNDRL HOR HP HPL HR HSS HT HVAC HW HWH ID IGU IN INCL INSUL INT JAN JT	H HMDFR HNDRL HOR HP HPL HR HSS HT HVAC HW HWH ID IGU IN INCL INSUL INT JAN JT	HOSE BIB HOLLOW CORE HEADER HARDWOOD HARDWARE HIGH HOOK HOLLOW METAL HOLLOW METAL DOOR FRAM HANDRAIL HORIZONTAL HIGH POINT HIGH-PRESSURE PLASTIC LAMINATE HOT-ROLLED or HOUR HOLLOW STRUCTURAL STEEL HEIGHT HEATING/VENTILATION/AIR CONDITIONING HOT WATER HOT WATER HEATER INSIDE DIAMETER INSULATED GLASS UNIT INCHES INCLUDE(ED), (ING) INSULATION, INSULATED INTERIOR JANITOR JOINT	HOSE BIB HOLLOW CORE HEADER HARDWOOD HARDWARE HIGH HOOK HOLLOW METAL HOLLOW METAL DOOR FRAM HANDRAIL HORIZONTAL HIGH POINT HIGH-PRESSURE PLASTIC LAMINATE HOT-ROLLED or HOUR HOLLOW STRUCTURAL STEEL HEIGHT HEATING/VENTILATION/AIR CONDITIONING HOT WATER HOT WATER HEATER INSIDE DIAMETER INSULATED GLASS UNIT INCHES INCLUDE(ED), (ING) INSULATION, INSULATED INTERIOR JANITOR JOINT	R RA RD RCP RE REIN REQ REV RFG RFL REL RAIL ROOM RO RVL	RISER RETURN AIR ROOF DRAIN REFLECTED CEILING PLAN REFER(ED) REINFORCED/REINFORCEMENT REQUIRED REVISION/REVISED ROOFING REFLECT(ED) RAILING ROOM ROUGH OPENING REVEAL

GENERAL NOTES

- 1 - ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE AND LATEST REQUIREMENTS OF THE NATIONAL, STATE AND LOCAL BUILDING CODES, ALL LOCAL, STATE, AND FEDERAL ACCESSIBILITY AND USE REGULATIONS, LOCAL FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, LANDLORD'S RULES AND REGULATIONS, AND GENERAL CONDITIONS OF THE OWNER/CONTRACTOR AGREEMENT.
- 2 - BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER, LANDLORD AND BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
- 3 - THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON THE CONTRACTOR'S BEHALF FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO INSUFFICIENT INSPECTION OF EXISTING CONDITIONS.
- 4 - PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWING AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- 5 - DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCES, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, FOR CONDITIONS UNLESS OTHERWISE NOTED.
- 6 - THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS REQUIRED TO COMPLY WITH THE INTENT OF THE DESIGN SHALL BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT. THIS INCLUDES WORK WHICH MAY NOT BE SPECIFICALLY DELINEATED ON THE CONTRACT DOCUMENTS. ALL SUCH REQUIRED WORK SHALL BE INCLUDED IN ALL BIDS.
- 7 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIAL AT THE CONTRACTOR'S OWN COST AND EXPENSE.
- 8 - THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWING, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS, AND FINISHES UNLESS OTHERWISE NOTED.
- 9 - CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKERS WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS, ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS, AND UNDERSTAND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED TRADESMEN, AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC.) WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGNS OFFS.
- 10 - THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS, AND MATERIAL SUPPLIERS SHALL REFER TO ALL SECTIONS OF THE DOCUMENTS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE CONSTRUCTION DOCUMENTS.
- 11 - CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR EACH TRADE. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.
- 12 - CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL AND CEILING MOUNTED FIXTURES, FINISHES, EQUIPMENT, BATH AND OTHER ACCESSORIES, ETC.
- 13 - CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT PER MANUFACTURER'S WRITTEN INSTRUCTION AND/OR RECOMMENDATIONS.
- 14 - CONTRACTOR SHALL, AT ALL TIMES DURING THE DURATION OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREET AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S AND SUBCONTRACTOR'S EMPLOYEES.
- 15 - CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS AND DISPOSE OF ANY RESULTING TRASH. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNER'S VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATION HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PROMPTLY.
- 16 - CONTRACTOR SHALL VERIFY WITH OWNER AND IMPLEMENT ALL LANDLORD'S CONSTRUCTION AND DESIGN CRITERIA SHOWN ON THIS SET OF DRAWINGS OR OTHERWISE REQUESTED IN WRITING.
- 17 - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES, AND SAMPLES OF ALL MATERIALS, FINISHES, TEXTURES, AND COLORS FOR ARCHITECT'S APPROVAL A MINIMUM OF (10) WORKING DAYS PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION OR SUBSTITUTION FROM CONTRACT DOCUMENTS.
- 18 - CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST: WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETS, LIGHTING FIXTURES/LAMPS, DUCT WORK, SPRINKLER PIPES, STOREFRONT SYSTEMS, INTERIOR/ EXTERIOR GLAZING, ETC. ALL FLOORS MUST BE MOPPED CLEAN.
- 19 - CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.
- 20 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CERTIFICATE OF OCCUPANCY PRIOR TO FINAL RETAINAGE INVOICE. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL TRADE TESTING AND SIGN-OFFS, AND SHALL VERIFY THAT THEY HAVE BEEN SECURED AS ISSUED BY REQUIRED LOCAL AUTHORITIES PRIOR TO OWNER OCCUPANCY.
- 21 - CONTRACTOR TO PROVIDE ARCHITECT WITH SAMPLES OF ALL FINISHES, TEXTURES, AND COLORS (10) BUSINESS DAYS PRIOR TO INSTALLATION.

INDEX OF DRAWINGS

SHEET LIST - SCHEMATIC DESIGN				
SHEET #	TITLE	ISSUE DATES	REVISION DATE	CURRENT REVISION DESCRIPTION
GENERAL				
30.00	COVER SHEET	08/18/25		
PARKING	HH MASTER PARKING PLAN	05/01/25		
SURVEY				
SURVEY	PROPOSED SUBDIVISION PLAT R-H-H BLOCK C LOT 2	06/30/25		
SURVEY AB	ROYAL HOLIDAY HILLS BLOCK C AS BUILT & ALTA	03/10/25		
CIVIL				
C001	COVER SHEET	08/30/25		
C200	SITE PLAN	08/30/25		
C300	UTILITY PLAN	08/30/25		
C400	GRADING PLAN	08/30/25		
C500	EROSION CONTROL PLAN	08/30/25		
C501	EROSION CONTROL DETAILS	08/30/25		
C600	DETAILS	08/30/25		
LANDSCAPE				
L&L100	LANDSCAPE NTS & SCHEDULES	08/30/25		
L&L101	GROUND COVER PLAN	08/30/25		
L&L101	GROUND COVER PLAN	08/30/25		
L&L101	LANDSCAPE DETAILS	08/30/25		
ARCHITECTURAL				
A0.01	SITE PLAN	08/30/25		
A0.01	SITE PLAN 11X17	08/30/25		
A1.01	MAIN LEVEL PLAN	08/30/25		
A1.02	SECOND LEVEL PLAN	08/30/25		
A2.00	EXTERIOR 3D RENDERINGS	08/30/25		
A2.01	EXTERIOR ELEVATIONS	08/30/25		
A2.02	EXTERIOR ELEVATIONS	08/30/25		



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ROTH LIVING - SLC

1888 RODEO WALK DR HOLLADAY UT 84117	
ISSUE DATE:	06/30/25
PHASE:	SD
DRAWN BY:	CC/CJ
CHECKED BY:	CJ

CONCEPTUAL SITE PLAN SUBMISSION

REVISIONS ISSUED	
#	DESCRIPTION

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GENERAL INFORMATION

G0.01

VICINITY MAP



LOCATION MAP



HATCH LEGEND

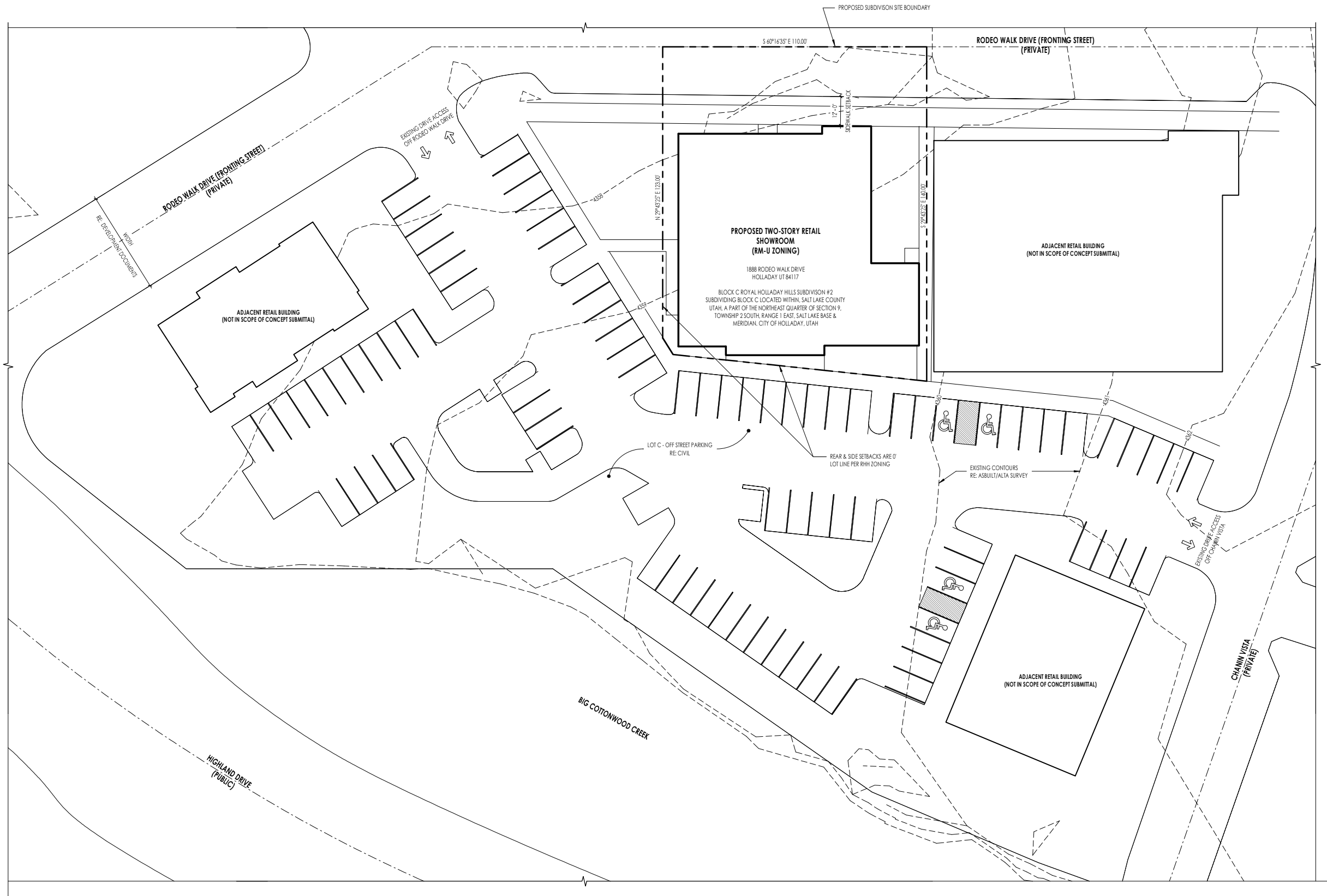
	ALUMINUM		TILE
	EARTH / COMPACT FILL		WOOD VENEER
	CONCRETE		WOOD FINISHED
	GYPSUM BOARD		ROUGH WOOD
	PLASTER / SAND		DISCONT. WOOD BLOCKING
	CMU BLOCK		
	PLYWOOD		
	BRICK		
	BATT INSULATION		
	RIGID INSULATION		
	STEEL		
	STONE		

SYMBOL LEGEND

	CENTER LINE
	ROOM NAME
	ROOM NUMBER
	AREA
	DOOR NUMBER
	WINDOW NUMBER
	ELEVATION MARKER
	SPOT ELEVATION POINT
	BUILDING SECTION
	REFERENCE DRAWING NUMBER
	WALL SECTION
	REFERENCE DRAWING NUMBER
	DETAIL DRAWING
	REFERENCE DRAWING NUMBER
	DETAIL OR ENLARGED DRAWING
	REFERENCE DRAWING NUMBER
	EXTERIOR ELEVATION
	REFERENCE DRAWING NUMBER
	INTERIOR ELEVATION
	REFERENCE DRAWING NUMBER
	VIEW REFERENCE TAG
	REFERENCE / DRAWING NUMBER

	GRID LINE: CL OF FRAMING, EXT FO FRAMING, FOC, ETC.
	KEYNOTE TAG: NUMBER = ITEM NUMBER
	EQUIPMENT TAG: LETTER = GROUP FUNCTION NUMBER = ITEM NUMBER
	PLUMBING TAG: LETTER = PLUMBING TAG NUMBER = ITEM NUMBER
	LIGHTING FIXTURE TAG: LETTER = FIXTURE TYPE NUMBER = ITEM NUMBER
	MATERIAL TAG: LETTER = MATERIAL ABBREVIATION NUMBER = ITEM NUMBER
	FINISH EXTENTS TAG: TOP = WALL FINISH BOTTOM = WALL BASE TYPE
	WALL TYPE TAG
	REVISION MARKER: TRIANGLE CONTAINS REVISION DOCUMENT NUMBER. REVISION DOCUMENT IS NUMBERED IN TITLE BLOCK AT RIGHT. CLOUD INDICATES AREA OF REVISION.

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6/30/2025 1:38:44 PM



ARCHITECTURAL SITE PLAN NOTES:

1. FOR ALL LANDSCAPE INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO LANDSCAPE DRAWINGS (WOODBURY CORPORATION).
2. FOR ALL CIVIL SITE INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO CIVIL DRAWINGS (WOODBURY CORPORATION).
3. FOR PROPOSED SUBDIVISION SITE BOUNDARY INFORMATION RELATED TO PROJECT SUBMISSION, REFER TO "ROYAL HOLLADAY HILLS BLOCK 2 LOT 2 AMENDED" SURVEY (JOHANSON SURVEYING).
4. FOR ALL EXISTING CONTOUR INFORMATION RELATE TO PROJECT SUBMISSION, REFER TO "ROYAL HOLLADAY HILLS BLOCK C AS BUILT & PLAT SURVEY (JOHANSON SURVEYING).



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ISSUE DATE: 06/30/25

PHASE: SD

DRAWN BY: CJ

CHECKED BY: CC

CONCEPTUAL SITE PLAN SUBMISSION

REVISIONS ISSUED		
#	DESCRIPTION	DATE

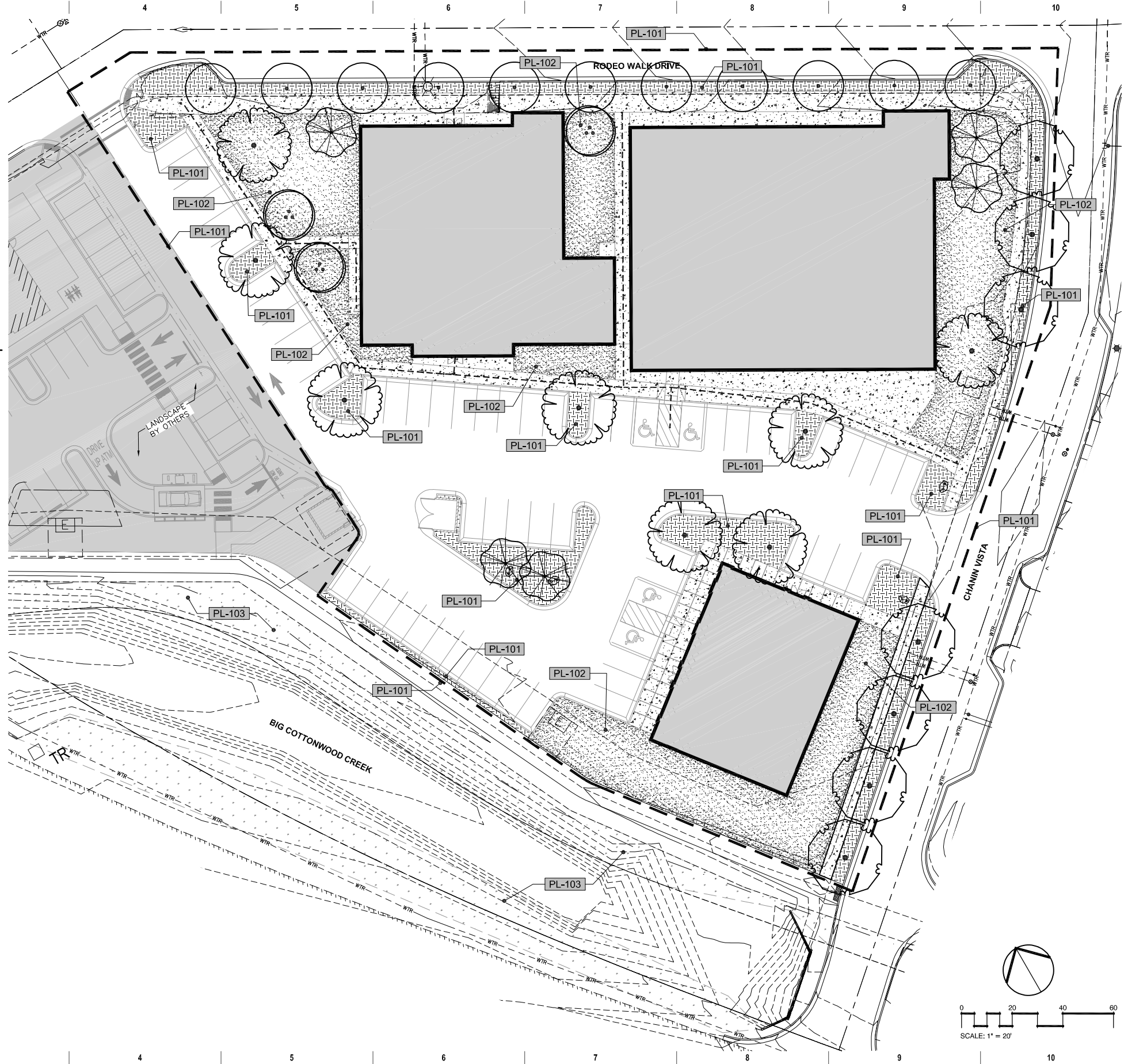
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SITE PLAN

A0.01

1 SITE PLAN
A0.01 SCALE: 1" = 20'-0"

	1	2	3			
PLANT SCHEDULE BLOCK C						
	SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	TREES					
G		AMELANCHIER X 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B&B		8' MULTI-STEM	3
		EXISTING RODEO WALK DRIVE TREE	EXISTING			11
		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2"	CAL	8
	DECIDUOUS TREES					
F		ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3"	CAL.	7
	FLOWERING TREES					
		MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	2"	CAL	5
REFERENCE NOTES SCHEDULE BLOCK C						
	SYMBOL	DESCRIPTION	QTY	DETAIL		
	REFERENCE NOTES SCHEDULE					
E		PLANTING AREA (TYP.)				
		TURF AREA (TYP.)				
		EXISTING LANDSCAP TO REMAIN				
		KENTUCKY BLUEGRASS SOD	12,744 SF	/		
		PREMIUM DARK BROWN BARK MULCH - 3" MIN. DEPTH OVER DEWITT PRO-5 WEED BARRIER FABRIC	6,042 SF			
		GREY LANDSCAPE BOULDERS 2' - 4' DIAMETER; 1/3 @ 2' DIAMETER, 1/3 @ 3' DIAMETER AND 1/3 @ 4' DIAMETER - PER STAKER PARSONS	4			
D						
C						
B						
A						
	1	2	3			



For Review
06/27/2025 1:05:20 PM

WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770

DATE

#

REVISION DESCRIPTION

APPROVED

APPROVED PLAN
DATE: 6/27/2025
BY: [Signature]

GROUND COVER PLAN

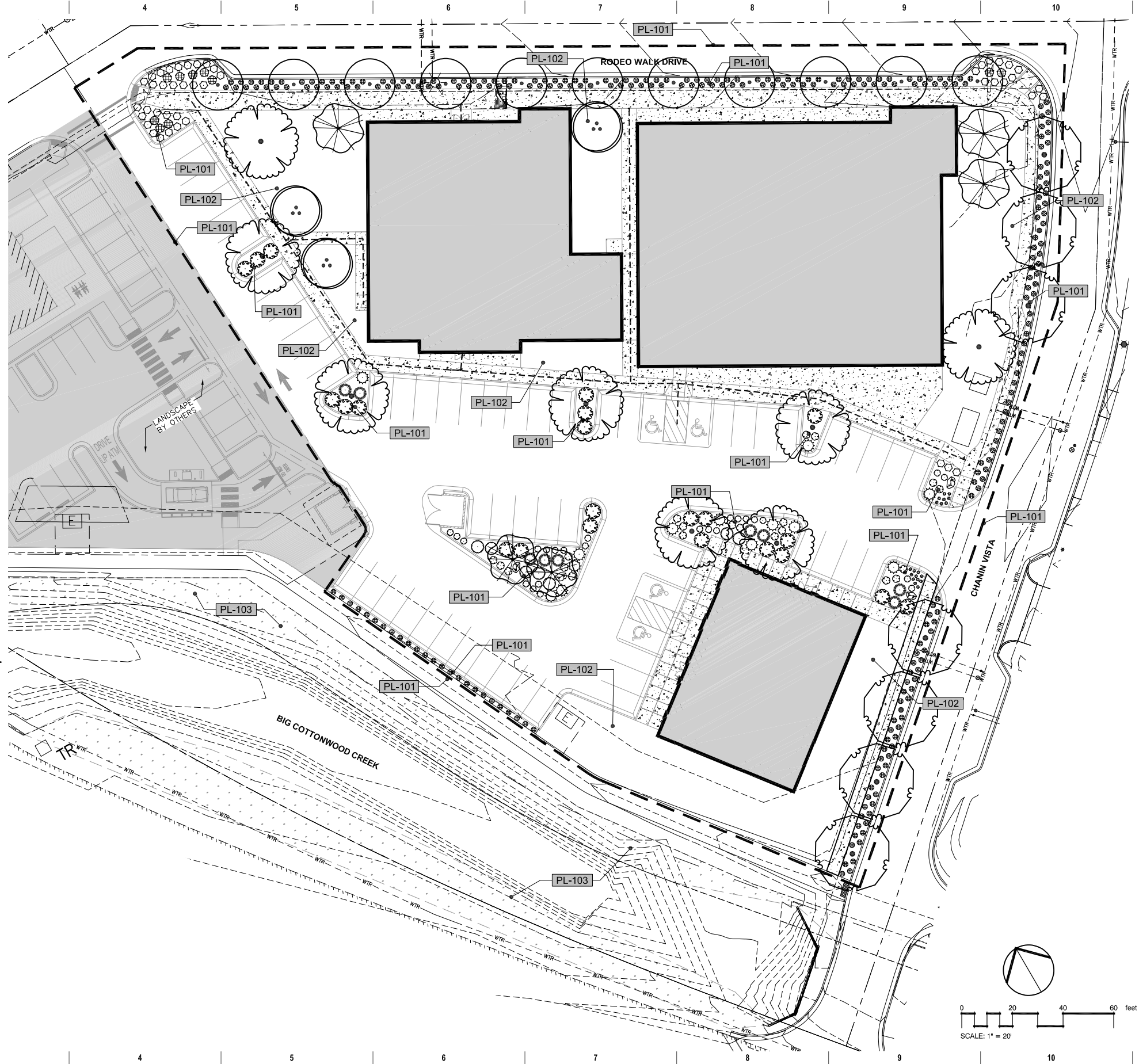
HOLLADAY HILLS - ROTH AND ARHAUS
OWNER: K&W DEVELOPMENT LLC
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

GROUND COVER PLAN

PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN

LG101

	1	2	3			
	PLANT SCHEDULE BLOCK C					
	SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
G	TREES					
		AMELANCHIER X 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B&B		8' MULTI-STEM	3
		EXISTING RODEO WALK DRIVE TREE	EXISTING			11
F	DECIDUOUS TREES					
		GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2" CAL		8
		ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3" CAL.		7
E	FLOWERING TREES					
		MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	2" CAL		5
	SYMBOL	BOTANICAL / COMMON NAME	CONT		SIZE	QTY
D	SHRUBS					
		BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	5 GAL			44
		CORNUS SERICEA 'KELSEY' / KELSEY DOGWOOD	5 GAL			25
C		EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL			7
		JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER	5 GAL			13
		PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK	5 GAL			21
B		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL			22
		ROSA X 'KNOCKOUT' / KNOCKOUT ROSE (WHITE)	5 GAL			10
	ANNUALS/PERENNIALS					
A		HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL			19
	GRASSES					
		CALAMAGROSTIS X ACUTIFLORA 'OVERDAM' / OVERDAM FEATHER REED GRASS	1 GAL			264
		MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS	1 GAL			9
	REFERENCE NOTES SCHEDULE BLOCK C					
	SYMBOL	DESCRIPTION		QTY	DETAIL	
C	REFERENCE NOTES SCHEDULE					
		PLANTING AREA (TYP.)				
		TURF AREA (TYP.)				
		EXISTING LANDSCAP TO REMAIN				
		KENTUCKY BLUEGRASS SOD		12,744 SF	/	
		PREMIUM DARK BROWN BARK MULCH - 3" MIN. DEPTH OVER DEWITT PRO-5 WEED BARRIER FABRIC		6,042 SF		
B		GREY LANDSCAPE BOULDERS 2' - 4' DIAMETER; 1/3 @ 2' DIAMETER, 1/3 @ 3' DIAMETER AND 1/3 @ 4' DIAMETER - PER STAKER PARSONS		4		
A						
	1	2	3			



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CORPORATION
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DATE

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GROUNDCOVER PLAN

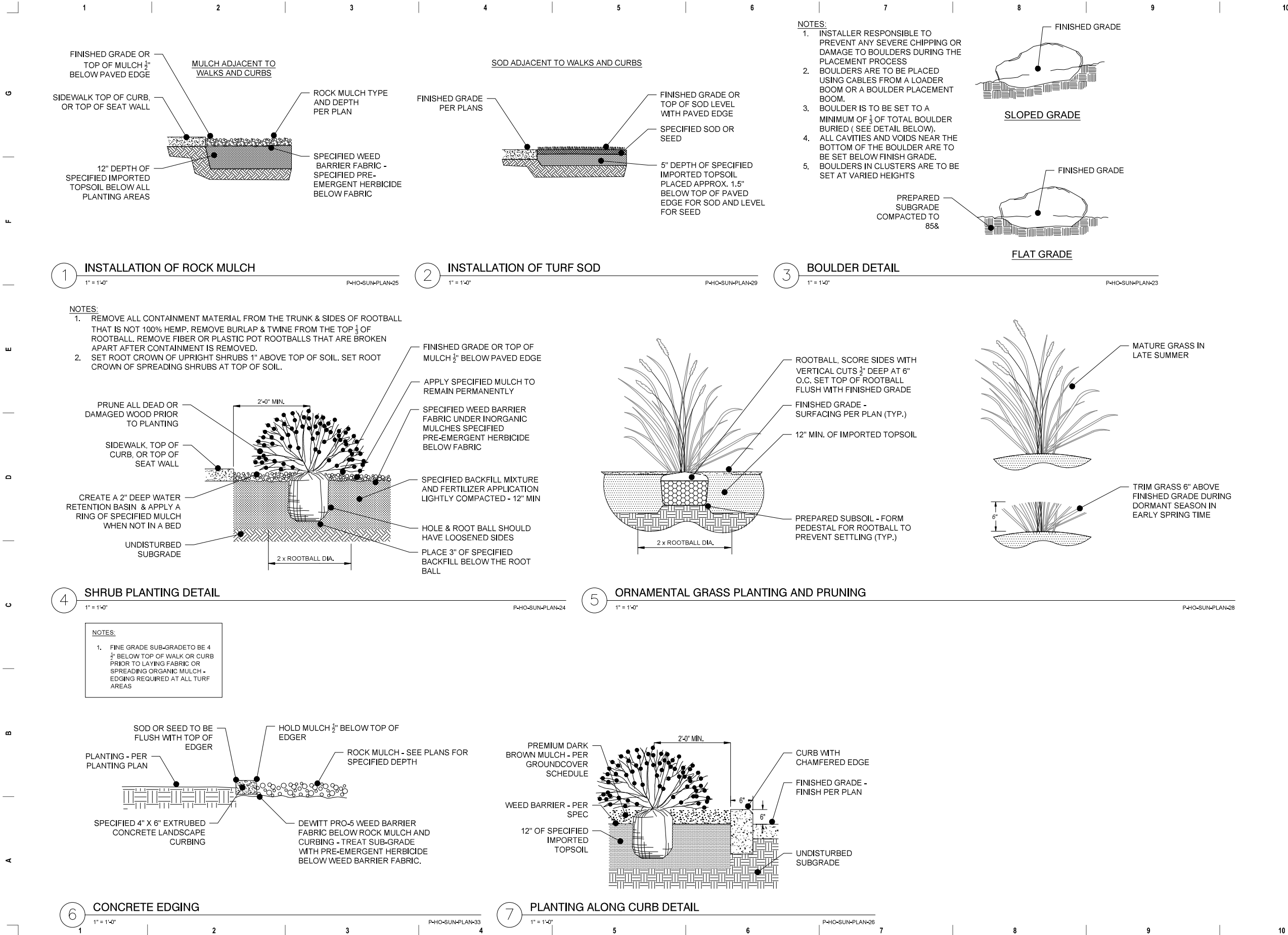
HOLLADAY HILLS - BROTH AND ARHAUS

OWNER: KMW DEVELOPMENT LLC
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

GROUNDCOVER PLAN

PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN

LP101



- NOTES:
1. INSTALLER RESPONSIBLE TO PREVENT ANY SEVERE CHIPPING OR DAMAGE TO BOULDERS DURING THE PLACEMENT PROCESS
 2. BOULDERS ARE TO BE PLACED USING CABLES FROM A LOADER BOOM OR A BOULDER PLACEMENT BOOM.
 3. BOULDER IS TO BE SET TO A MINIMUM OF $\frac{1}{3}$ OF TOTAL BOULDER BURIED (SEE DETAIL BELOW).
 4. ALL CAVITIES AND VOIDS NEAR THE BOTTOM OF THE BOULDER ARE TO BE SET BELOW FINISH GRADE.
 5. BOULDERS IN CLUSTERS ARE TO BE SET AT VARIED HEIGHTS

- NOTES:
1. REMOVE ALL CONTAINMENT MATERIAL FROM THE TRUNK & SIDES OF ROOTBALL THAT IS NOT 100% HEMP. REMOVE BURLAP & TWINE FROM THE TOP $\frac{1}{3}$ OF ROOTBALL. REMOVE FIBER OR PLASTIC POT ROOTBALLS THAT ARE BROKEN APART AFTER CONTAINMENT IS REMOVED.
 2. SET ROOT CROWN OF UPRIGHT SHRUBS 1" ABOVE TOP OF SOIL. SET ROOT CROWN OF SPREADING SHRUBS AT TOP OF SOIL.

- NOTES:
1. FINE GRADE SUB-GRADE TO BE 4 $\frac{1}{2}$ " BELOW TOP OF WALK OR CURB PRIOR TO LAYING FABRIC OR SPREADING ORGANIC MULCH - EDGING REQUIRED AT ALL TURF AREAS

For Review
06/27/2025 1:36:24 PM

WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770



DATE

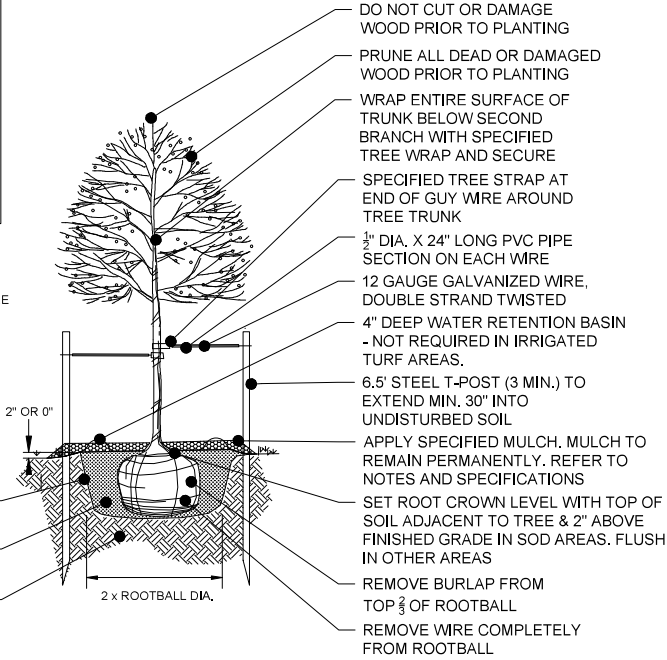
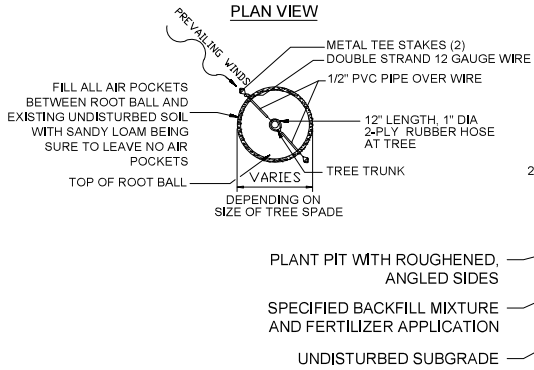
REVISION DESCRIPTION

LANDSCAPE DETAILS
HOLLADAY HILLS - ROTH AND ARHAUS
OWNER: KMW DEVELOPMENT, L.L.C.
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

LANDSCAPE
DETAILS
PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN

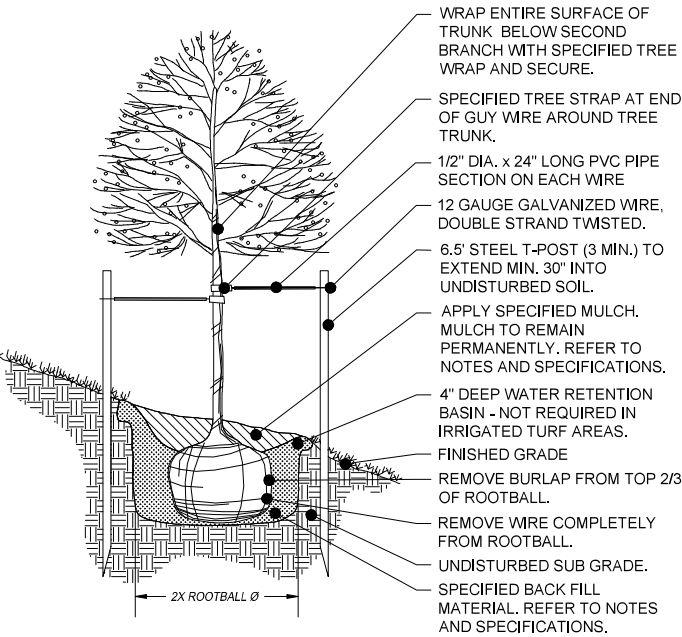
LP501

- NOTES:
1. INSTALL TREE IN HOLE, ADD 1ST LAYER OF COMPACTED SOIL MIX. CUT AND REMOVE ALL BURLAP, TWINE FROM TOP 1/3 OF BALL. ADD SECOND LAYER OF SOIL MIX.
 2. SOIL MIX FOR ALL TREE SHALL BE 30% EXISTING, SOIL EXCAVATED FROM PLANT HOLE, 30% LOAMY TOPSOIL, 20% CLEAN COARSE SAND, 20% PEAT MOSS.
 3. PLACE AGRIFORM TABLETS IN EACH PLANTING PIT. BURY AT 1/3 DEPTH OF ROOT BALL. PLACE 3 TABLETS IN EACH PIT, NO CLOSER THAN 18 INCHES APART.
 4. DIAMETER OF TREE RING IN LAWN AREAS IS BE 4'-0".
 5. STAKING NOT REQUIRED, ONLY THROUGH CERTAIN SITE CONDITIONS.
 6. SHADE TREES: LOWEST LIMBS MIN. 6'-8" FROM ROOT CROWN AFTER TWO YEARS. NO LIMB SHALL BE WITHIN 7' OF PAVEMENT.



1 DECIDUOUS TREE PLANTING DETAIL

P-410-SUN-PLAN-31



2 TREE PLANTING ON SLOPE

P-410-SUN-PLAN-46

- NOTES:
1. SEE TREE PLANTING DETAIL FOR ADDITIONAL REQUIREMENTS.
 2. CUT BACK SLOPE TO PROVIDE FLAT SURFACE FOR PLANTING.
 3. INSTALL TREE IN HOLE, ADD 1ST LAYER OF COMPACTED SOIL MIX. CUT AND REMOVE ALL BURLAP, TWINE FROM TOP 1/3 OF BALL, ADD SECOND LAYER OF SOIL MIX.
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LANDSCAPE DETAILS
HOLLADAY HILLS - ROTH AND ARHAUS
OWNER: KMW DEVELOPMENT LLC,
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

LANDSCAPE
DETAILS
PROJECT #: 1726
DATE: 6/27/2025
DRAWN BY: BP
SCALE: PER PLAN

LP502

DATE

REVISION DESCRIPTION

WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770

For Review
06/27/2025 1:06:49 PM

RDL ARHAUS
ARCHITECTS

ARHAUS HOLLADAY HILLS, UT



08.28.2025

01

DESIGN

HOLLADAY HILLS



SALT LAKE CITY, UT - CORNER ENTRY: CHANIN VISTA & RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - CORNER ENTRY: CHANIN VISTA & RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON RODEO WALK DRIVE

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON CHANIN VISTA

HOLLADAY HILLS



SALT LAKE CITY, UT - SIDE VIEW ON CHANIN VISTA

HOLLADAY HILLS

SALT LAKE CITY, UT - SECONDARY ENTRY ON BACKSIDE

HOLLADAY HILLS



SALT LAKE CITY, UT - BACK OF BUILDING LOOKING NORTHEAST

HOLLADAY HILLS



SALT LAKE CITY, UT - BACK OF BUILDING LOOKING NORTHEAST

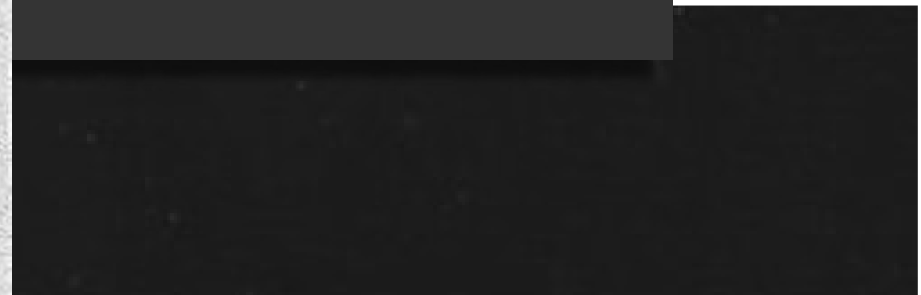
HOLLADAY HILLS

SALT LAKE CITY, UT - ROOFTOP PATIO VIEW 3

02

MATERIALS

MATERIALS



HOLLADAY HILLS
OVERALL EXTERIOR PALETTE



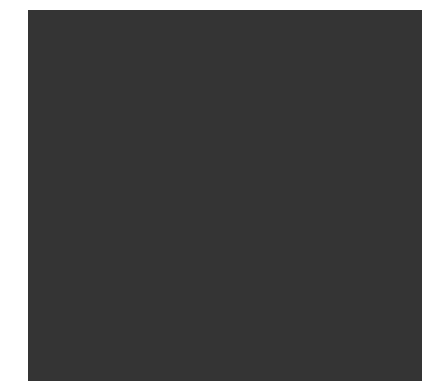
HOLLADAY HILLS
MATERIAL CALLOUTS: CORNER ENTRY OF BUILDING



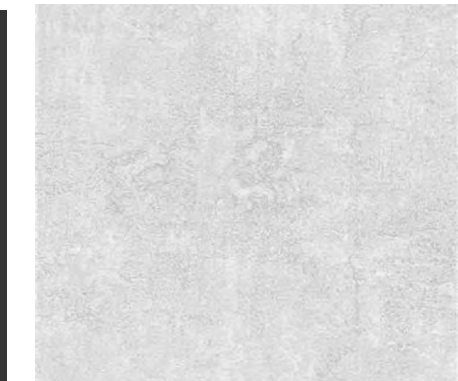
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2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



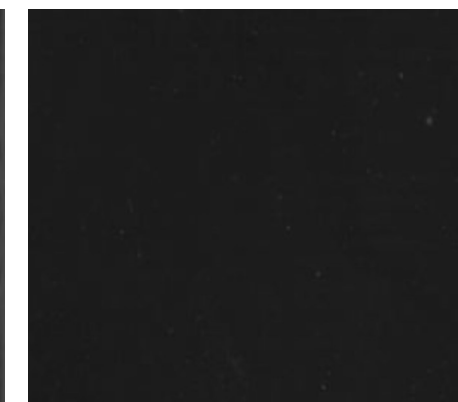
3. ACM PERIMETER TRIM
MANF.: ALUCOBOND
COLOR: STATUARY
BRONZE



4. STUCCO
VASARI ALABASTER – 80%
WHITE SAND – 20%



5. WOOD LOOK
MANF.: LONGBOARD
COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY



HOLLADAY HILLS
MATERIAL CALLOUTS: SIDE OF BUILDING ON RODEO WALK DRIVE



1. ALUMINUM CURTIAN WALL
COLOR: BLACK



2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



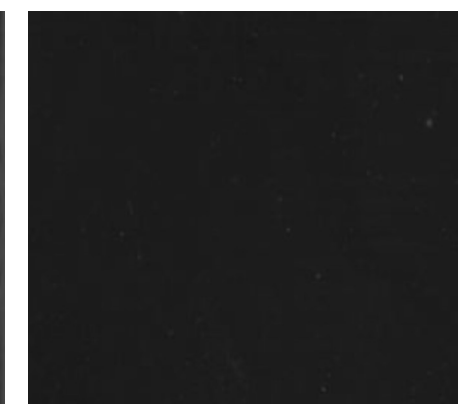
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MANF.: ALUCOBOND
COLOR: STATUARY
BRONZE



4. STUCCO
VASARI ALABASTER – 80%
WHITE SAND – 20%



5. WOOD LOOK
MANF.: LONGBOARD
COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY



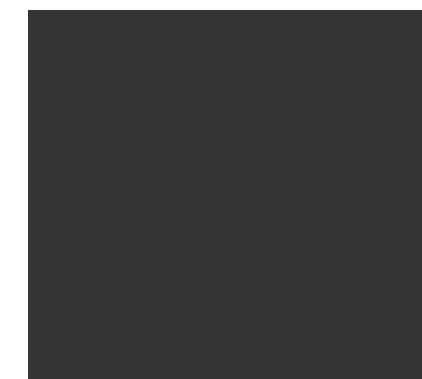
HOLLADAY HILLS
MATERIAL CALLOUTS: SIDE OF BUILDING ON CHANIN VISTA



1. ALUMINUM CURTIAN WALL
COLOR: BLACK



2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



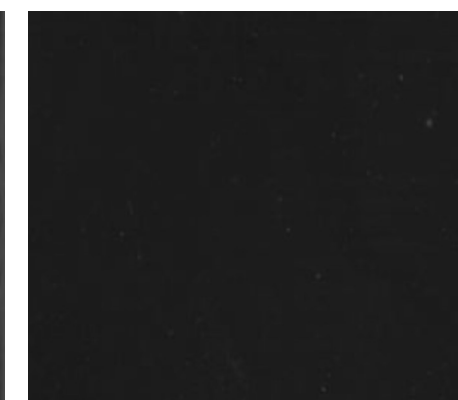
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MANF.: ALUCOBOND
COLOR: STATUARY
BRONZE



4. STUCCO
VASARI ALABASTER – 80%
WHITE SAND – 20%



5. WOOD LOOK
MANF.: LONGBOARD
COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY



HOLLADAY HILLS
MATERIAL CALLOUTS: SECONDARY ENTRY ON BACKSIDE



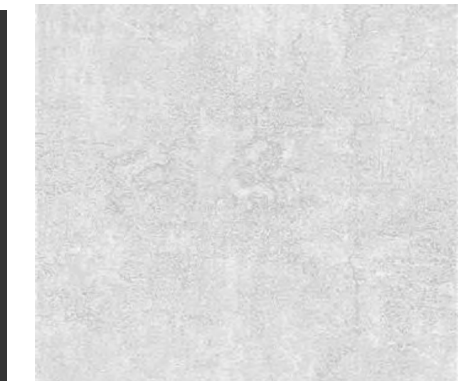
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2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



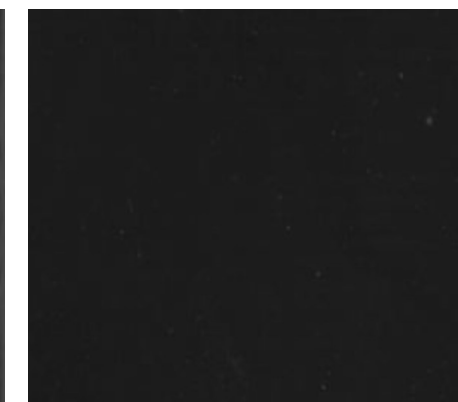
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MANF.: ALUCOBOND
COLOR: STATUARY
BRONZE



4. STUCCO
VASARI ALABASTER – 80%
WHITE SAND – 20%



5. WOOD LOOK
MANF.: LONGBOARD
COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY



HOLLADAY HILLS
MATERIAL CALLOUTS: BACK OF BUILDING



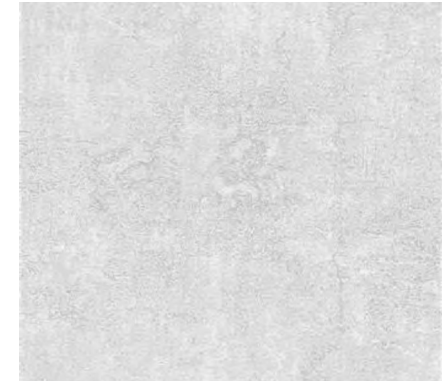
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2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



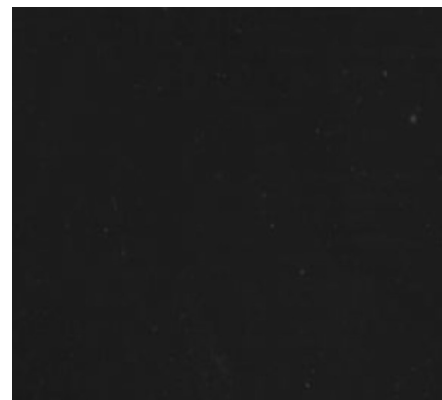
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COLOR: STATUARY
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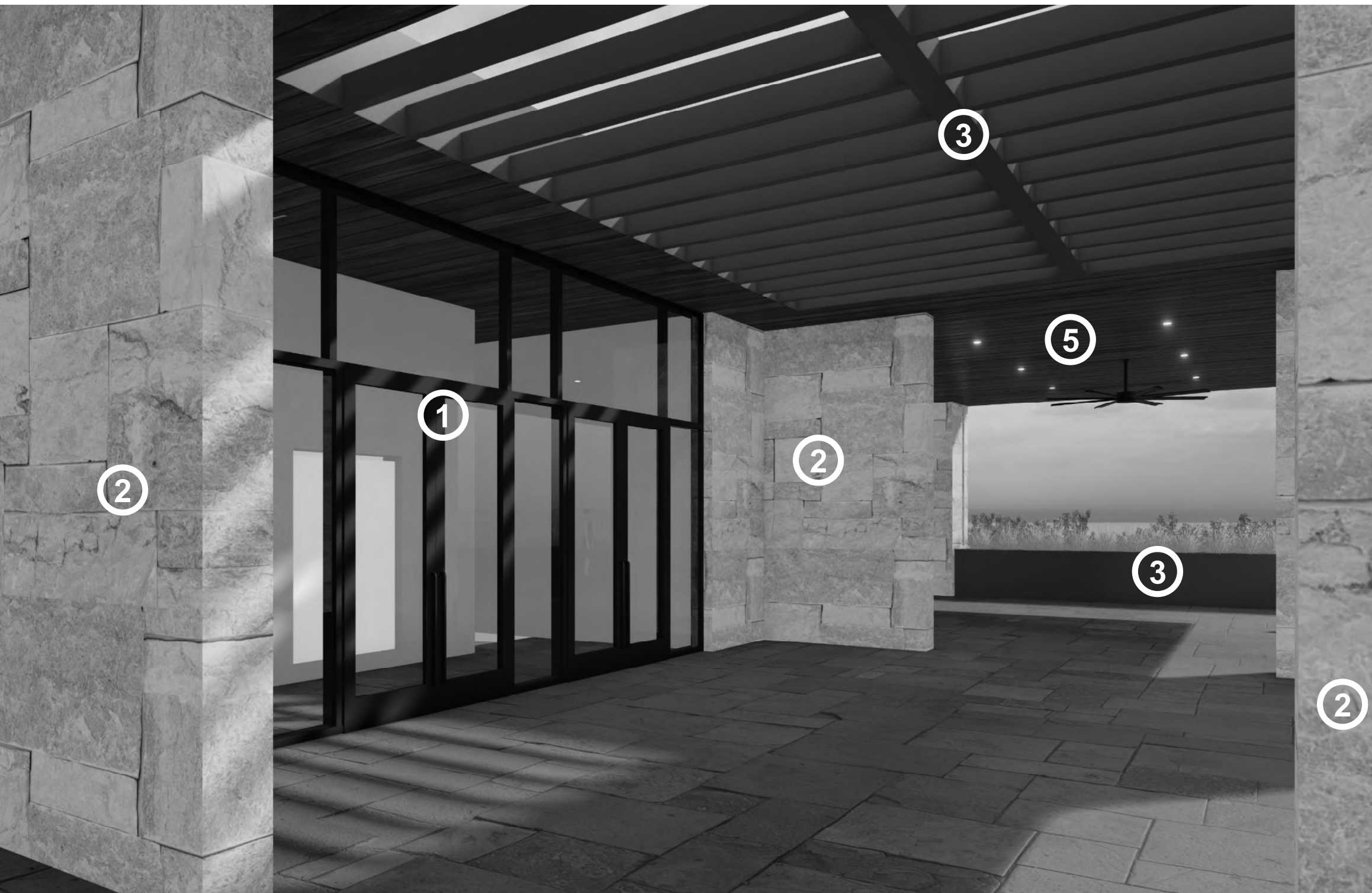
4. STUCCO
VASARI ALABASTER – 80%
WHITE SAND – 20%



5. WOOD LOOK
MANF.: LONGBOARD
COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY



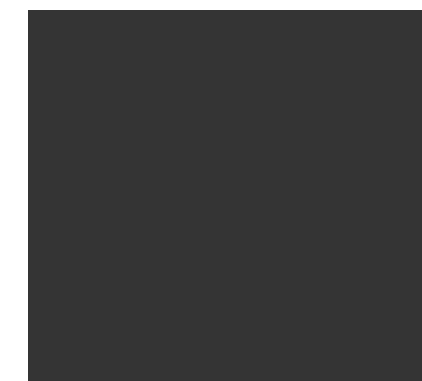
HOLLADAY HILLS
MATERIAL CALLOUTS: PATIO VIEW 1



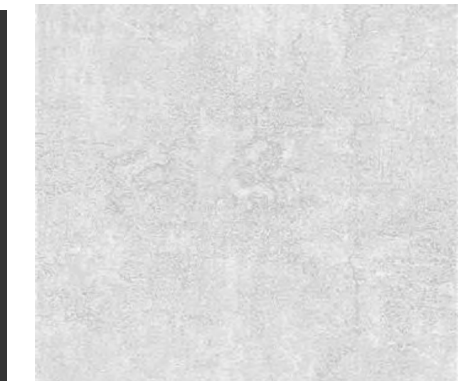
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COLOR: BLACK



2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
COLOR: NOB HILL
SIZE: TBD



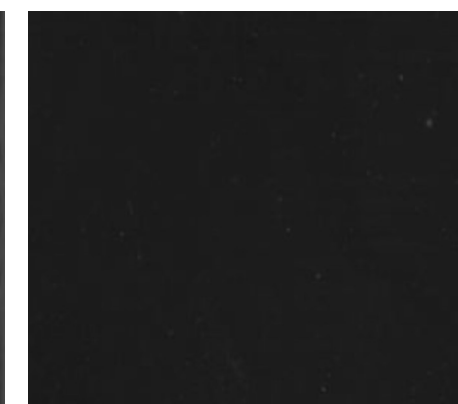
3. ACM PERIMETER TRIM
MANF.: ALUCOBOND
COLOR: STATUARY
BRONZE



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WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY



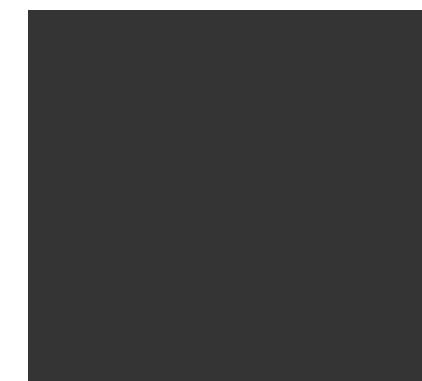
HOLLADAY HILLS
MATERIAL CALLOUTS: PATIO VIEW 3



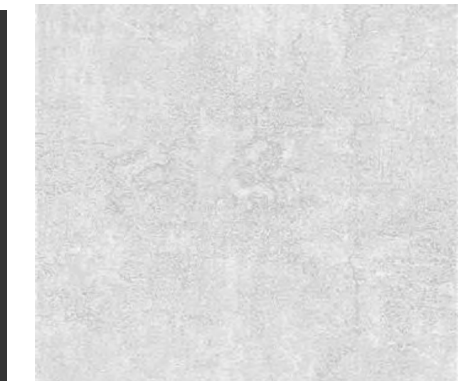
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COLOR: BLACK



2. NATURAL STONE VENEER
MANF.: THE QUARRY MILL
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SIZE: TBD



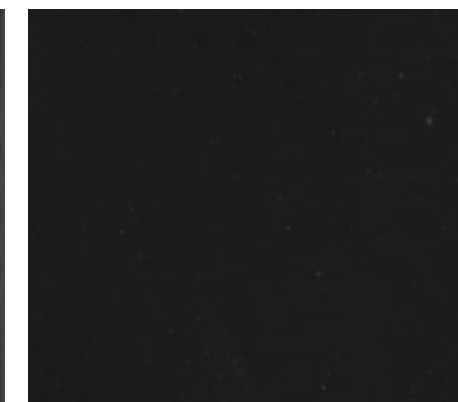
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5. WOOD LOOK
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COLOR: LIGHT NATIONAL
WALNUT (VERTICAL
INSTALLATION)



6. SPANDREL GLASS
COLOR: HARMONY GRAY