



AMERICAN FORK CITY PLANNING COMMISSION AGENDA

**Regular Session
September 3, 2025
Wednesday 6:00 PM**

**American Fork City Hall
31 North Church Street
American Fork City, UT 84003**

<https://www.americanfork.gov/AgendaCenter>

Planning Commission Members

**Christine Anderson, Chair
Chris Christiansen, Vice Chair
Geoff Dupaix
Rod Martin**

**David Bird
Harold Dudley
Claire Oldham**

Notice is hereby given that the American Fork City Planning Commission will meet in regular session on September 3, 2025, at the American Fork City Hall, 31 North Church Street commencing at 6:00 PM. The agenda shall be as follows:

1. Regular Session

- a. Pledge of Allegiance
- b. Roll Call

2. Common Consent Agenda (Common Consent is that class of Commission action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the August 20, 2025, Planning Commission minutes

3. Public Hearings (Public Hearings is that class of Commission action that requires further discussion on General Plan changes, Zone changes, and Code Text Amendments that alter the land use characteristics of American Fork City. Public Hearing items will have the chance for the public to speak upon.)

- a. Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Maxwell Square, located at approximately 148 N 100 E, American Fork City. On approximately .93 acres, the property proposes to change from the Residential High Density land use designation to the General Commercial land use designation.
- b. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Administrative Site Plan Approvals, of the American Fork City Municipal Code. Amending Section 17.6.101, the Code Text Amendment plans to amend the Site Plan Approval Process.

4. Action Items (Action Items is that class of Commission action that requires further discussion on Site Plans and proposed zoning designation for annexing areas. The Planning Commission will have authority to approve Site Plans for final action and provide recommendations for the zone of annexing property.)

- a. Review and action on a request for consideration of an extension for a previously approved Commercial Site Plan, known as Surg LLC Office Building, located at approximately 1141 E 50 N, American Fork City. The Commercial Site Plan will be on approximately 0.60 acres and will be in the Professional Office (PO-1) Zone.

5. Other Business

- a. Upcoming Projects

6. Adjournment

Dated this 21st day of August 2025

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Planning Commission Chair*

**AMERICAN FORK CITY
PLANNING COMMISSION REGULAR SESSION**

August 20th, 2025

The American Fork City Planning Commission met in a regular session on August 20th, 2025 at the American Fork City Hall, 31 North Church Street, commencing at 6:00 p.m.

Commissioners Present: Christine Anderson, Chris Christiansen, Geoff Dupaix, Rodney Martin, David Bird, Harold Dudley

Commissioners Absent:

Staff Present:

Patrick O'Brien	Development Services Director
Cody Opperman	Planner
Ben Hunter	City Engineer
Angie McKee	Administrative Assistant I

Others Present: Jenna Allen, Neal Allred, Amber Lamph

REGULAR SESSION

Christine Anderson led the "Pledge of Allegiance"

Roll Call

COMMON CONSENT AGENDA

1. Minutes of the August 6th, 2025 Planning Commission Regular Session.

David Bird motioned to approve the Common Consent agenda.

Rodney Martin seconded the motion.

Voting was as follows:

Christine Anderson	AYE
Chris Christiansen	AYE
David Bird	AYE
Rodney Martin	AYE

The motion passed

PUBLIC HEARING

- a. Public hearing, review, and recommendation on a proposed General Plan Amendment, known as American Fork Station Area Plan. The American Fork Station Area Plan looks to identify the existing conditions, the planning and visioning process, preferred development objectives, preferred development scenario, implementation strategies, and financial/funding resources for the overall Station Area.**

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Patrick O'Brien reviewed the background information for Action Item letter a: The city has initiated a proposed General Plan Amendment for the Station Area Plan. The project looks to identify the existing conditions, the planning and visioning process, preferred development objectives, preferred development scenario, implementation strategies, and financial/funding resources for the overall Station Area. He explained that this process was started a few years ago as station area plans are required at the state level for all cities with a fixed guideway or public transit station, or plan to have one in the future. There is a December 2025 deadline set by the state, so there's a lot of cities trying to get in between September's stationary planning committee meeting and the December stationary Plan Committee meeting, American Fork City's goal is the September meeting, so there is a pretty condensed timeline. He further explained that they were required to plan for the areas within a half mile radius of the city's front runner station, and they soon realized there were a list of challenges that needed to be addressed due to the UDOT road, Pioneer Crossing, being in that radius. He informed the commissioners that throughout the last two years they have met with stakeholder groups that included some of the planning commissioners and city council members, as well as wider groups throughout the city, including public engagement events and a booth at Steel Days, all of which took place before anything was ever put on paper. He explained that there were also a significant number of meetings with UDOT and UTA to discuss everything that involves them and hopes to soon get up to speed with some of the UTA plans that the city was not made fully aware of. He shared that there have been some funding challenges with some proposals and that the funding should not constrain citizens with an additional burden; But rather the cost should be to the developers who will profit from the investment. He concluded his presentation by noting that the requirements from the state have changed immensely since the existing station area plan was completed in 2014 and he showed the commissioners the criteria checklist that is available to make sure the current plan is compliant as well as easy to navigate.

Geoff Dupaix and Harold Dudley entered the Meeting during Patrick O'Brien's review.

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Commissioner Anderson mentioned how much she appreciates the thoroughness of this whole study, and noted that she has been able to participate in several of the public outreach interviews and different events that have been done, and believes they have done a very good job of gathering information and then applying their expertise.

Commissioner Bird agreed that this report does look very thorough but asked Mr. O'Brien if he feels that there is anything that he or his committee wished they would have included or maybe missed during the process.

Patrick O'Brien explained that he does not see anything at this time as the plan needed to be implementable, easily understood, and financially feasible for the city. He added that the most ideal option would be to leave the station where it currently exists, and if the city continues to grow there could be an additional station option at 500 East and the two stations would still be further apart than the Orem and Vineyard stations, that are functioning fine, but a future Pleasant Grove station may be a constraint.

Commissioner Anderson likes the idea of having the flow charts and many different options as it is impossible to predict the future and how quickly things can grow and change, she asked for clarification on what would happen if something that changes doesn't fit with the options on this plan.

Patrick O'Brien agreed that it was important to have some adaptability in this plan, but if future growth does not work with any of these options, then changes would have to be made.

Commissioner Anderson mentioned that if the station stays where it is currently, there will need to be better access for bus routes and other public transportation to get in and out without congesting the area. She also asked if there was a plan to help with parking.

Patrick O'Brien spoke of the city's desire to work with UTA in hopes of adding some type of parking structure to the area, but that is something that has not been fully addressed at this time, but there are plans for a double fly over, one going over the tracks, connecting with 700 West and another one on the far side

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of the tracks, jumping over I-15. He also added that there are plans for access and exit points with the future Pony Express interconnector.

Commissioner Christiansen spoke to the city staff and their consultants, being very wise in making this plan with the possibility to change direction if needed for future development.

Commissioner Anderson agreed that she likes the proactive approach of multiple possibilities like moving the station if that is required by future development.

Patrick O'Brien added that this is not binding, it is only conceptual, and when looking at what could be built out over time if different uses were to change, one of the things lacking massively down in that area is the commercial component. He acknowledged that there is a large number of residents living in the TOD area, so there is a need to start identifying the services that are needed. As developers have come in over the last 18 months, looking for a reduction in parking or looking to reduce the commercial allowance that they would need to put in, the city staff has gotten much better at saying "No, we have plenty of residential land already, what we really need is commercial". He added that while staff understands it may have stifled some development opportunities, we don't get to do this a second time, it has to be done right to ensure that what comes in down there are services that are needed, basic essentials and necessities for residents that are living down there, and will also attract more people to that area while preserving opportunities for the future.

Commissioner Christiansen asked what would happen if this amendment were not certified by the deadline at the end of this year.

Patrick O'Brien informed him that while no one has actually experienced that situation, he would assume that the city could lose some funding options but noted that there is language written into the code to protect them as long as they are continuing to work on getting this certified.

Commissioner Anderson spoke of the importance of the public's comments and views from their perspectives on these types of future plans.

Public Hearing Opened

Neal Allred lives on the very west end of 2nd south and informed the commissioners that he has worked on this problem for the last 15 years. He spoke about the farm that his late wife's family has owned for over 100 years that just last year became a centennial farm, and they are very proud of that. It is now owned by his kids, and his niece and nephew, and their goal is to make it to 200 years. He is here today because the farm is located in one of the areas that could be affected by this amendment. He told the commissioners that he spent the day going through this whole proposal, and it just blows him away that he never sees a bus at the current rail station, nor can he understand why there are not bus routes bringing people in from Eagle Mountain, Saratoga Springs and Lehi, to get to get rid of some of the traffic. He also noted that 15 years ago they told the city, and were very adamant, that they did not want to sell, they did not want to develop, and pushed the city to put the current station on 500 East, because with this location there are constrictions on the West and constrictions on the East, and they refused. He finds it very interesting that his suggestion is now one of the options.

Mr. Allred then quoted a portion of the document provided, which says

“There are constraints to this ambitious idea. Some current landowners have little desire to sell or develop the land themselves. There is interest in preserving the land as open space or for agricultural uses within the station area plan boundaries. This is in conflict with the desires of the state to provide increased densities within the station area”.

He wanted the commissioners to know that he tried to tell the city over and over again many years ago that the TOD was not a good idea because they were not

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going to give up their land for high density apartments, but the city chose the do the TOD anyway so they as landowners were forced into it, even though their farm was there first. He stated that when the county was in charge, they kept the roads trim. They sprayed weeds. The property owners took pride in their properties, and it was a beautiful area. When you look at it today, he would say, shame on American Fork City as they have turned the beautiful area into an eyesore. He also wants the city to know that option 2 will not happen as this is their home, and they have no desire whatsoever to sell, so if they do decide that should be the option, he guarantees there will be a fight.

Jenna Allen lives within 500 feet of the current area and stated that this is something that she is very passionate about. She spoke about the amazing opportunity to turn this into such a great livable, walkable area that she feels like has been missed by a lot of the Utah communities. She is very glad to hear that this city staff is willing to hold out until there are developers who will actually develop the area with mixed uses that will include the missing commercial aspect that is needed in order to make this area as amazing as it could be. She would like to see this become a very nice walkable area, with a great main street like feel, and she also believes the area would benefit from a parking structure to make up for the current lack of parking, which she sees as a possible reason that commercial developers are not coming into the area. She also would like to see the city notify the residents of these meetings better, as she only saw this at the last minute, and believes there would definingly be more public involvement if they would include the information on social media forums such as Facebook. She concluded by thanking staff for all of the work that has been put into this.

Amber Lamph introduced herself as a property owner that has also been fighting the city for over 15 years because they have no desire to develop their property and have asked many times to have their agriculture land removed from the TOD. She stated that she currently has neighbors who have refused to annex into

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American Fork City because they would no longer have the agricultural protection that they have by keeping their land in the county. She regrets annexing her property into the city in order to help a neighbor, and she is upset to see that the city is shrinking their farm to practically nothing, while trying to develop the entire area into high-density housing. She stated her desire to have the right to continue to farm the land they have owned for over 100 years. She asked that the planning commission vote to take option 2 out of this plan so they are not forced to hold this up in court because they are no longer protected as agricultural. She also added that she is very disappointed that the city could not even talk to one family who owns a large amount of property in the area, to even ask their opinion before moving forward on this major project, and she had no idea until very recently that this project was even going on. She also suggested the city go back and look at the land use requirements implemented in 2005, so they can see that what they are trying to do in this area does not align with the land use definitions. She also voiced her frustration in the public noticing process, as things being added or cancelled or updated at the very last minute makes it very hard to know what is actually going to be on the schedule. She would also like to know why the planning commission meetings are not included in AF Notify. She stated that while the city says they want public involvement, when the city does things that bypass what is supposed to be the main communication for citizens, it makes her skeptical that the city is being as open and honest as a city should be and believes they should be more transparent. She concluded by strongly encouraging the planning commissioners to vote against this tonight, and having these options go back to the drawing board.

Public Hearing Closed

Commissioner Martin voiced his frustration on hearing that the public is not being notified of these public meetings, and asked city staff to clarify how the city is notifying the public about these meetings, as it is required by law.

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Patrick O'Brien informed him of the city and state code requirements for public noticing, the number of days, who needs to have notices sent, etc. He assured the commissioners that the staff meets the city and state regulations. He outlined that planning staff are posting the notices in accordance with state and city requirements.

Commissioner Anderson asked about the possibility of a parking structure on the property for the train station, and if that is a viable option.

Commissioner Dupaix wanted to speak to the challenge that comes from this type of report where you are showing drawings of potential ideas, because when the city makes a drawing like this that puts a circle around someone's property as an option for future development.

Commissioner Anderson asked to clarify that as they go through the flow chart the first question is if the property is available, or if it is owned by the city, and if it is not, and it is not owned by someone who is willing to develop, then they would move on to a different option.

Patrick O'Brien explained that the property would not need to be owned by the city if it was owned by someone looking to develop.

Commissioner Christiansen wanted to add that these things before the commission tonight are only "options", and the hope is that things stay at the current existing location.

Patrick O'Brien agreed that it would be great to find a way to keep the current location and have it be possible to bus people from Saratoga Springs and Eagle Mountain and relieve some of the stress on 200 South, but with the current access challenges, there would need to be further engagement with UTA and UDOT.

Commissioner Christiansen stated that he has heard some great ideas as to how to potentially make this work, and he is excited to see that happen. He agrees that it would be nice if all of the entities could work together to get this certified.

David Bird exited the meeting

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Commissioner Dupaix reminded the commissioners that this is a regional station and there needs to be better grid connection or this situation is only going to be exacerbated. He reminded the commissioners that he is currently involved in some other transit studies, and due to his conflict-of-interest clause with his employer, he will have to abstain from the vote.

Patrick O'Brien informed the commissioners that because these properties are in the half mile radius of the TOD area, they need to be included in the possibilities of future master planning for the area, even though things are only conceptual.

Commissioner Dupaix suggested that if that is the case, maybe they need to do a better job clarifying the language.

Commissioner Christiansen pointed out that right at the top of the maps it says, "key concept plan features".

Patrick O'Brien agrees that something should be added in larger letters or in a more prominent place to note that these are conceptual.

Commissioner Anderson wanted to add her thoughts on one of the things that was mentioned in the public portion of the meeting and that is the fact that people would like to have this area walkable, and that was the plan, and the developers came in and were allowed to build housing without the commercial element, so she is glad that at this point people are being told "No" if they are not meeting the original plan for the TOD area.

Rodney Martin moved to recommend approval of the proposed General Plan Amendment with the following conditions: That The Century Farm be labeled on the map, in the bullet points and on the legend in the key, as well as the option verbiage being changed from options to conceptual option in order to emphasize the fact that this is not said and done, these are just concepts, as well as changing the flow charts to include land availability relating to American Fork's Station Area Plan.

Chris Christiansen seconded the motion.

Voting was as follows:

Christine Anderson	AYE
Chris Christiansen	AYE
Geoff Dupaix	ABSTAIN
Rodney Martin	AYE
Harold Dudley	AYE

The motion passed

- b. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Operational Overlays, of the American Fork City Municipal Code. Amending Section 17.4.608 Sec 4, the Code Text Amendment plans to update the Block Type Overlay and Operational Overlay maps within the transit-oriented development zone.**

Ben Hunter reviewed the background information for Action Item letter b:

Staff has initiated a Code Text Amendment to amend Section 17.4.608, Sec 4, of the American Fork City Municipal Code. The proposed amendment looks to

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provide updates to the Block Type Overlay and Operations Overlay maps of the Transit Oriented Development (TOD) Zone. The updates plan to match existing and planned roadway layouts within the TOD area. He explained that there are two different maps, and the main roads and thoroughfares are the same on both maps. He further explained that the difference between the two is that one map reflects the block types that are within the different areas, while the other operational overlay reflects the general districts that are outlined within the TOD area.

Commissioner Anderson asked for clarification as to what connectivity is required.

Ben Hunter explained that the lighter lines are the existing roads, and the darker lines are what is required, but noted that the developers do have the opportunity to do some small modifications if necessary for their development.

Commissioner Anderson asked if there is any language specifying how many connector points, they are required to have.

Ben Hunter explained that there are other sections within code that address and lay out those requirements like once you have more than 15 dwelling units, it is required to have more than one access along with some additional requirements like traffic studies.

Public Hearing Opened

Public Hearing Closed

Chris Christiansen moved to recommend approval for the proposed Code Text Amendment, amending Section 17.4.608 Sec 4, titled Operational Overlays,

relating to updates to the Block Type Overlay and Operational Overlay maps of the TOD Zone, and providing an effective date for the ordinance.

Harold Dudley seconded the motion.

Voting was as follows:

Christine Anderson	AYE
Chris Christiansen	AYE
Geoff Dupaix	AYE
Rodney Martin	AYE
Harold Dudley	AYE

The motion passed

Other Business

Patrick O'Brien updated the commissioners on the upcoming plans and projects for the city including a meeting to discuss other area plans and re brands, that administration would like to have the input and feedback of the planning commission.

Adjournment

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Geoff Dupaix motioned to adjourn the meeting.

Harold Dudley seconded the motion.

Meeting adjourned at 6:58 PM

Angie McKee

Administrative Assistant I

The order of agenda items may change to accommodate the needs of the commissioners, public and staff.

Agenda Topic

Public hearing, review, and recommendation on an application for a Land Use Map Amendment, known as Maxwell Square, located at 148 N 100 E, American Fork City. The Land Use Map Amendment will be on approximately 0.93 acres and is in the Residential High Density and will change to the General Commercial land use designation.

BACKGROUND INFORMATION		
Location:		148 N 100 E
Project Type:		Land Use Map Amendment
Applicants:		Bryant Bishop
Existing Land Use:		Residential High Density
Proposed Land Use:		General Commercial
Surrounding Land Use:	North	Residential High Density
	South	General Commercial
	East	Residential High Density
	West	General Commercial
Existing Zoning:		CC-1 and R4-7500
Proposed Zoning:		CC-1
Surrounding Zoning:	North	R4-7500
	South	CC-1
	East	R4-7500
	West	CC-1

Background

The proposed amendment to the Land Use Map looks to change from the Residential High Density to the General Commercial land use. The change in the land use map is requested by the applicant to provide a mixed-use development.

Chapter 17.11 Amendments

This development code, and the zoning map adopted as a part thereof, may be amended from time to time by the city council, but all proposed amendments must first be submitted to the planning commission for its recommendation. The procedure to be followed in amending the code and map shall be as set forth below.

Sec 17.11.101 Written Petition Required - City Initiated Amendments Permitted

Any person seeking an amendment of the development code or zoning map shall submit to the planning commission a written petition designating the change desired and the reasons therefor, and shall pay a nonrefundable filing fee in an amount established by resolution of the city council. Amendments to the code and map may also be initiated by action of the planning commission or upon request of the city council.

Sec 17.11.102 Planning Commission To Make Recommendations

Upon receipt of the petition the planning commission shall consider the request and, subject to completion of a public hearing on the matter before the planning commission with public notice given in accordance with the provisions of Section 17.11.103, shall submit its recommendations with respect thereto to the city council.

Sec 17.11.103 Planning Commission To Conduct Public Hearing Before Recommending Amendments - Notice Of Hearing To Be Provided

1. No ordinance approving an amendment to the official zone map or text of the development code, or approving a large scale development project may be enacted by the city council unless and until a public hearing relating to the proposed ordinance shall have been conducted by the planning commission.
2. Notice of the date, time and place of the first public hearing regarding a proposed amendment to the official zone map, text of the development code or ordinance of approval of a large scale development project shall be given at least 10 calendar days before the public hearing as follows:
 1. Published on the Utah Public Notice Website;
 2. Posted in at least three public locations within the city, or on the city's official website; and
 3. Mailed to each affected entity.

Sec 17.11.104 Amendments To Be Adopted By Council - Notice Required

1. The city council, at a public meeting called for the purpose, shall consider each proposed amendment to the official zone map, text of the development code, or ordinance of approval for a large scale development recommended to it by the planning commission and may act to adopt or reject the amendment or ordinance of approval as recommended by the planning commission or adopt the amendment after making any revision the city council considers appropriate.
2. Notice of the public meeting at which the city council will consider a proposed amendment or ordinance of approval shall be given at least twenty-four hours before the meeting, which notice shall, as a minimum, be posted in at least three public places within the city; or on the city's official website.

Sec 17.11.105 Amendments To Be Adopted By Ordinance - Public Notice Of Adoption

All amendments to the code and map shall be adopted, published and recorded in accordance with the applicable provisions of UCA 10-3-701 et seq.

17.11.200 Intent With Respect To Amendments

All amendments to this code and zone map shall be made in accordance with the general plan of land use. It is hereby declared to be public policy that this code shall not be amended unless it can be shown that changed or changing conditions make the proposed amendment reasonably necessary to the promotion of the purposes of this code.

Project Conditions of Approval

1. N/A

Findings of Fact

1. The Land Use Map Amendment, MEETS the requirements of Section 17.11.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.

2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Potential Motions – Land Use Map Amendment

Approval

I move to recommend approval for the proposed Land Use Map Amendment, located at approximately 148 N 100 E, American Fork City, from the Residential High Density land use to the General Commercial land use designation, subject to any conditions found in the staff report.

Denial

I move to recommend denial for the proposed Land Use Map Amendment, located at approximately 148 N 100 E, American Fork City, from the Residential High Density land use to the General Commercial land use designation.

Table

I move to table action for the proposed Land Use Map Amendment, located at approximately 148 N 100 E, American Fork City, from the Residential High Density land use to the General Commercial land use designation, and instruct staff/developer to.....



American Fork City
51 E Main St.
American Fork, UT 84003

American Fork City Development Review Committee	
Planning and Zoning Reviewed copperman 08/26/2025	↙
Engineering Division Reviewed rburkhill 08/27/2025	↙

No comments

No comments

Next Step:
Proceed to Planning Commission
09/03/2025

40 North Real Estate Development
& Construction
965 W 2760 N
Pleasant Grove, UT 84062

Project Overview and Location

The proposed "Maxwell Square" development, located at **126 N. 100 E., American Fork, Utah 84003**, is designed by CORE Architecture, LLC, as a vibrant infill housing solution that activates a central parcel near the city's core. The project proposes **rezoning parcel: 02-039-0012 to the CC-1 Zone to accommodate higher-density multi-family residential development** with a mixed-use ground level.

The building will consist of five levels of residential units above a commercial ground floor. It includes:

- **18 one-bedroom units** at 694 SF each
- **18 two-bedroom units** at 1,012 SF each
- **A 2,026 SF business space** on the ground floor

The total building area is approximately **32,532 SF**, reflecting a strong utilization of this strategically located infill lot.

Legal Description and Lot Size

The legal description is as follows: *"Commencing 302.58 feet South of the Northwest Corner of Lot 5, Block 26, Plat A, American Fork City Survey; thence South 71 feet; thence East 11.52 rods; thence North 71 feet; thence West 11.52 rods to the point of beginning."*

- Lot dimensions: **71 feet (N-S)** by **190.08 feet (E-W)**
- Approximate lot size: **13,495.68 SF** (\approx **0.31 acres**)

The development consists of three contiguous parcels totaling approximately 0.93 acres (\approx 0.31 acres + \approx 0.30 acres + \approx 0.32 acres). **Parcels:** 02-039-0012, 020390013, and 020390014

Land Use Context in American Fork City

While the parcel is currently designated as part of the **Residential High Density Planning District**, its unique placement along **100 East**—a key corridor that serves as a transition between residential and commercial uses—makes it well-positioned for **rezoning to allow high-density residential** development.

This proposal aligns with **American Fork City's General Plan**, which emphasizes principles such as:

- Encouraging prosperity and aesthetic improvements
- Supporting smart growth and infill redevelopment
- Promoting a mix of land uses that enhance livability and economic vitality



The surrounding area already includes a **blend of commercial and multi-family properties**, and this project would extend the vibrancy of the nearby General Commercial Planning District while addressing the region's growing need for high-quality housing options. Rezoning this parcel enables the City to fulfill key land use goals, especially those related to walkability, mixed-use development, and housing supply near transit and downtown services.

Compatibility Assessment

1. Proposed Use – Multi-Family Residential with Ground-Level Commercial

- The Maxwell Square project reflects a **strategic infill development** combining residential and commercial elements.
- The **residential component** responds directly to housing demand and supports city goals for providing diverse housing options.
- The **ground-floor business area** contributes to mixed-use vitality, supporting adjacent commercial corridors and walkable neighborhoods.

2. Density

- The project is located in a **transitional area** between commercial and residential zones.
- It activates an **underutilized lot** in the downtown core.
- High-density development is a **necessary urban response** to growth pressures and housing shortages.
- A **zone change** designation would allow the City to manage this increased density while ensuring design quality and infrastructure adequacy.

3. Building Scale and Design

- The proposed structure includes **five levels of residential over a business base**, with an overall approximate height of **55'**.
- Exterior materials such as **brick, stucco, fiber cement, glass, and metal**.
- The form and massing reflect best practices in **urban design**, contributing positively to the surrounding streetscape.

4. Parking

- The plan includes **76 total parking stalls** (74 standard, 2 ADA), adequately serving both residential and commercial tenants.
- Final parking compliance will adhere to American Fork City's zoning ordinances and development standards.

5. Setbacks



- Proposed setbacks meet or exceed local zoning minimums:
- **Front Yard: 0' minimum**
- **Side Yard: 5' minimum**
- **Rear Yard: 5' minimum**

These setbacks support both pedestrian orientation and compatibility with nearby structures.

6. Safety and Infrastructure

- Includes a **fully sprinkled building (NFPA 13 compliant)**
- Incorporates **fire-rated separations, ADA access, and engineering coordination** across MEP disciplines
- The project is prepared to meet **all city utility and infrastructure standards**, including water, sewer, and emergency access

Overall Compatibility Summary

The **Maxwell Square** project offers a well-aligned, forward-thinking development opportunity that supports:

- Downtown revitalization
- High-quality infill housing
- Mixed-use activity
- Public safety and infrastructure readiness

A zone change would allow the City to accommodate this thoughtful redevelopment while maintaining full control over design, parking, and public benefit expectations.

1. Density & Height Compatibility

- The CC-1 zone allows unlimited height and is intended for urban-scale development.
- The project bridges commercial and residential zones and supports walkable mixed-use growth.
- Design incorporates high-quality materials and architectural articulation to reduce visual massing.
- City planning staff have expressed this is the type of project they want in the area.

2. Parking Sufficiency

- 76 total stalls meet or exceed minimum parking requirements.
- Commercial use is low-impact; shared-use parking strategy accommodates guest needs.
- On-street and transit access adds flexibility.

3. Traffic & Circulation

- A traffic study is being commissioned to reflect the final 37-unit layout and ensure traffic circulation aligns with city standards.



- Site access remains unchanged and is designed for safe circulation.
- Project enhances pedestrian safety and sidewalk continuity.

4. Infrastructure Load

- Building will be ADA-compliant and meet all utility standards.
- Impact fees will support infrastructure.
- Coordination with city engineering ensures capacity and compliance.

5. Commercial Viability

- Ground-floor space targets neighborhood-serving businesses (e.g., café, office).
- Downtown foot traffic and civic proximity support success.
- Space contributes to activated street frontage and vibrancy.

6. Transition to Neighborhood Character

- Setbacks and material selection soften scale transitions.
- Adjacent zones already allow medium-to-high intensity uses.
- Landscaping and form reduce impacts on nearby structures.

7. Design & Massing

- Conforms to best practices in downtown architecture.
- Quality material add durability and appeal.
- Building mass broken down into a pedestrian-friendly scale.

8. Public Benefit / Amenities

- Adds urgently needed housing in the walkable core.
- Commercial space enhances mixed-use vitality.
- Potential resident amenities include a fitness space.

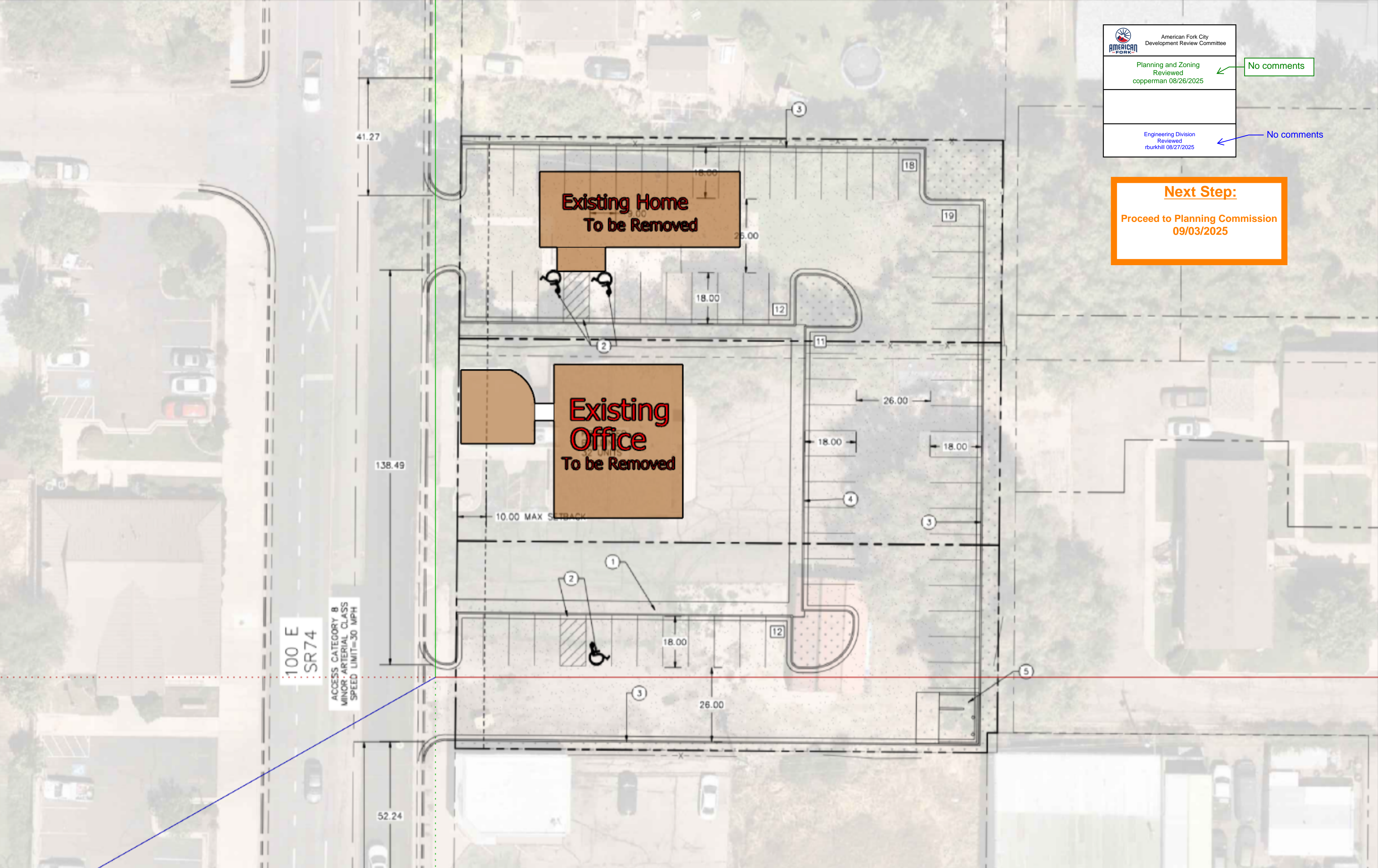
9. Consistency with General Plan

- Aligns with policies on infill, mixed-use, and transit-oriented development.
- Strengthens downtown core and revitalizes underutilized parcel.
- Fully supports General Plan goals for density and livability.



10. Community Opposition

- Open to outreach, feedback, and public engagement.
- No variances required — all standards are met.
- Supported by planning staff as consistent with the vision for the area.



 American Fork City Development Review Committee	
Planning and Zoning Reviewed copperman 08/26/2025	
Engineering Division Reviewed burkhill 08/27/2025	
	



No comments

No comments

Next Step:

Proceed to Planning Commission
09/03/2025



LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	==
PROPOSED CURB AND GUTTER	==
SETBACK LINE	---
EXISTING FENCE	-X-
LANDSCAPE AREA	
CONCRETE AREA	

SITE DATA

LOT AREA:	40,812	SF (0.94 ACRES)
BUILDING AREA:	10,785	SF± 26.4%
PAVEMENT AREA:	26,719	SF± 65.5%
LANDSCAPE AREA:	3,308	SF± 8.1%

BUILDING DATA

ZONE: CC-1 (CENTRAL COMMERCIAL ZONE)

SETBACKS:

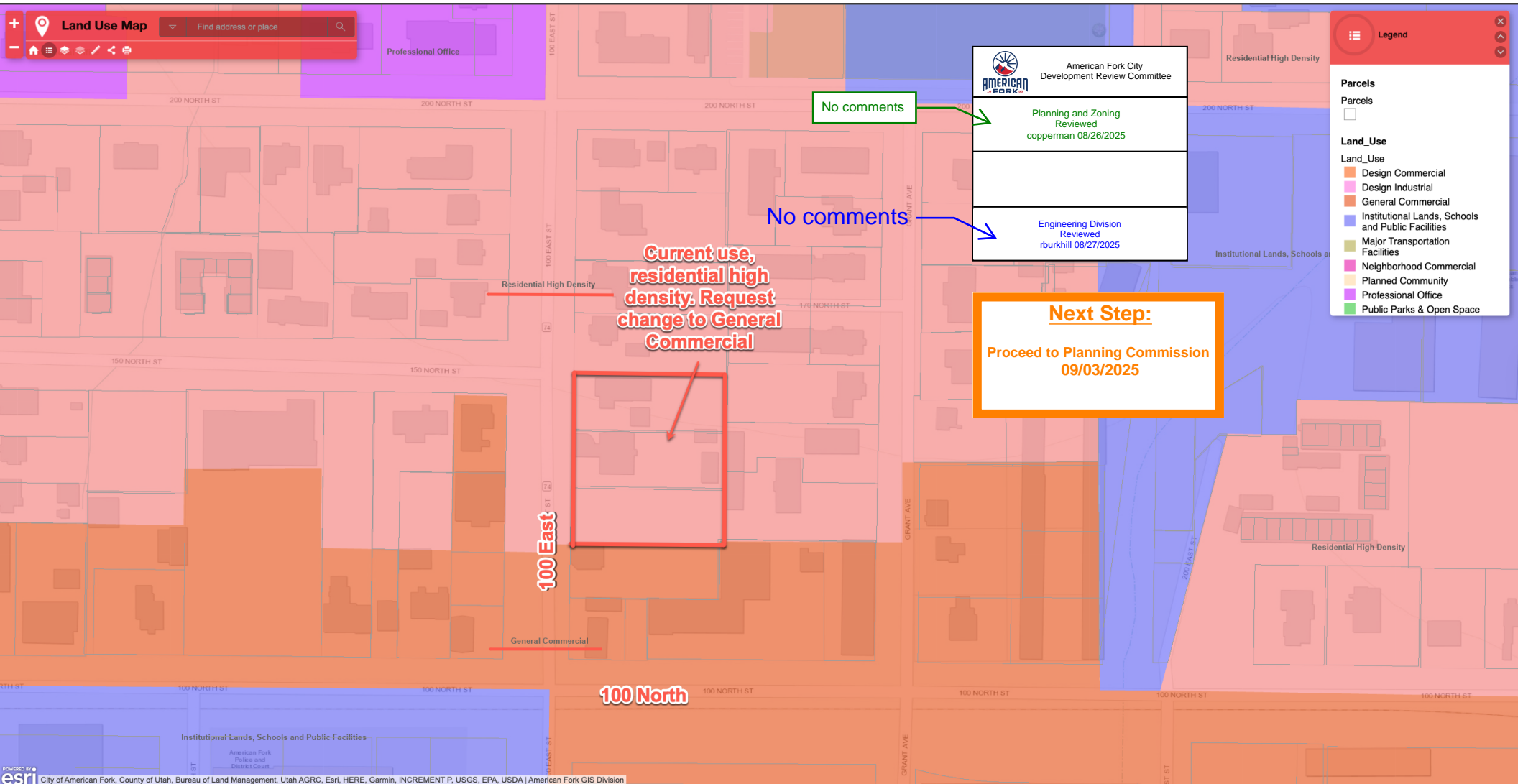
FRONT YARD:	10' MAXIMUM
SIDE YARD:	0'
REAR YARD:	0'

PARKING TABULATION

REQUIRED:	3.5 PER 1,000 SF FOR RETAIL
	2.25 PER UNIT FOR RESIDENTIAL
REQUIRED:	72 STALLS (32 X 2.25 = 72)
PROVIDED:	72 STALLS
	3 ADA STALLS

SITE DESIGN NOTES:

- PROPOSED SIDEWALK PER APWA PLAN 231.
- ALL ADA STALLS AND RAMPS TO BE INSTALLED PER ADA STANDARDS.
- PROPOSED CURB & GUTTER PER APWA PLAN 205 TYPE E.
- PROPOSED REVERSE PAN CURB AND GUTTER PER DETAIL 1.
- PROPOSED DUMPSTER LOCATION.



WARRANTY DEED

No comments

 American Fork City Development Review Committee
Planning and Zoning Reviewed copperman 08/26/2025
Engineering Division Reviewed rburkhill 08/27/2025

Terree Hoggard, Trustee of the Hoggard Family Revocable Trust Agreement dated February 15, 2012,

Next Step:

Proceed to Planning Commission
09/03/2025

GRANTOR(S), of American Fork, State of Utah, hereby conveys and warrants to

Greg Roper, married man,

GRANTEE(S), of Pleasant Grove, State of Utah

for the sum of Ten and no/100 (\$10.00) DOLLARS and other good and valuable consideration, the following described tract of land in Utah County, State of Utah:

Commencing 302.58 feet South of the Northwest Corner of Lot 5, Block 26, Plat A, American Fork City Survey; thence South 71 feet; thence East 11.52 rods; thence North 71 feet; thence West 11.52 rods to the point of beginning.

TAX ID NO.: 02-039-0012 (for reference purposes only)

SUBJECT TO: Property taxes for the year 2025 and thereafter; covenants, conditions, restrictions, reservations and easements of record; and all applicable zoning laws and ordinances.

[Signature on following page]



WARRANTY DEED

GRANTOR(S): Jerry D. Edwards

hereby CONVEY(S) and WARRANT(S) to:

GRANTEE(S): Roper Improvement, LLC, a Utah Limited Liability Company as to an undivided 73% and GC Holdings LLC as to undivided 27%

for the sum of Ten Dollars and Other Good and Valuable Consideration the following described tract(s) of

land in Utah County, State of UTAH:

Parcel 1: Commencing 373.58 feet South of the Northwest Corner of Lot 5, Block 26, Plat "A", American

Fork City Survey of Building Lots; thence South 71.00 feet; thence East 190.08 feet; thence North 71.00

feet; thence West 190.08 feet to the point of beginning.

Parcel 2: Commencing 142.58 feet North of the Southwest Corner of Block 26, Plat "A", American Fork City Survey of Building Lots; thence North 72.84 feet; thence East 11.52 rods; thence South 72.84 feet; thence West 11.52 rods to the place of beginning.

Less and Excepting that portion conveyed in that certain Boundary Line Agreement, recorded February 6,

1990, as Entry No. 3860, in Book 2663, at Page 810.

Tax Parcel No.: 02:039:0013 and 02:039:0014

SUBJECT TO County Taxes and Assessments not delinquent, Easements, Rights of Way, Covenants, Conditions and Restrictions now of record

WITNESS, the hand(s) of said Grantor(s), this EXECUTED this 29th day of May, 2018.

Next Step:
Proceed to Planning Commission
09/03/2025

No comments

No comments

 American Fork City Development Review Committee
Planning and Zoning Reviewed copperman 08/26/2025
Engineering Division Reviewed rburkhill 08/27/2025




ALTA/NSPS LAND TITLE SURVEY
FOR
LEGEND ENGINEERING

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 14,
TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
AMERICAN FORK CITY, UTAH COUNTY, UTAH
JULY 2025

Next Step:
Proceed to Planning Commission
09/03/2025

No comments

 American Fork City Development Review Committee	Planning and Zoning Reviewed copperman 08/26/2025
No comments	Engineering Division Reviewed rburkhil 08/27/2025

COMMITMENT NUMBER: 112858-25
COMMITMENT DATE: MAY 22, 2025 AT 8:00 AM
TO: ROPER IMPROVEMENTS, LLC, A UTAH LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 73%
AND GC HOLDINGS LLC AS TO UNDIVIDED 17%
PROSPECT TITLE INSURANCE AGENCY, LLC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN
ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND
TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2,
4, 5, 7(A), 9, 10, 11(B), 13, 16, AND 18 OF THE TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON
JUNE 2, 2025.

DATE OF PLAT: JULY 15, 2025



PROFESSIONAL LAND SURVEYOR
NATHAN B. WEBER, PLS
LICENSE NO. 5152762

LEGAL DESCRIPTION

COMMENCING 142.58 FEET NORTH OF THE SOUTHWEST CORNER OF BLOCK 26, PLAT "A", AMERICAN
FORK CITY SURVEY OF BUILDING LOTS; THENCE NORTH 72.84 FEET; THENCE EAST 11.52 RODS;
THENCE SOUTH 72.84 FEET; THENCE WEST 11.52 RODS TO THE PLACE OF BEGINNING.

LESS AND EXCEPTING THAT PORTION CONVEYED IN THAT CERTAIN BOUNDARY LINE AGREEMENT,
RECORDED FEBRUARY 6, 1990, AS ENTRY NO. 3860, IN BOOK 2663, AT PAGE 810.

SCHEDULE B, PART II EXCEPTIONS

ITEMS 1- 11 ARE NOT SHOWN INTENTIONALLY AS THEY ARE NOT SURVEY ITEMS.

12. SUBJECT TO ALL EXISTING ROADS, STREETS, ALLEYS, DITCHES, RESERVOIRS, UTILITIES, CANALS, PIPELINES,
TRANSMISSION LINES, FENCE LINES, POWER, TELEPHONE, SEWER, GAS OR WATER LINES, RIGHTS OF WAY, RESTRICTIONS,
AND EASEMENTS (IF ANY) NOW EXISTING OVER, UNDER, OR ACROSS SUBJECT PROPERTY.

SURVEY FINDINGS: PLOTTED, ALL FOUND UTILITIES ARE SHOWN ON THE SURVEY.

13. THE EFFECTS, TERMS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND LIMITATIONS (IF ANY) OF THE GRANT OF
EASEMENT AND/OR RIGHT-OF-WAY IN FAVOR OF THE UTAH INDEPENDENT TELEPHONE COMPANY, RECORDED JULY 26,
1906, AS ENTRY NO. 2922, IN BOOK 73, AT PAGE 412, IN THE OFFICIAL RECORDS.

SURVEY FINDINGS: DOES NOT AFFECT THE PROPERTY, NOT PLOTTED, LOCATION IS DESCRIBED IN SECTION 4 TOWNSHIP 8
SOUTH, RANGE 3 EAST

14. THE EFFECTS, TERMS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND LIMITATIONS (IF ANY) OF THE BOUNDARY
LINE AGREEMENT BY AND BETWEEN KENNETH J. FAKLER, GENERAL PARTNER OF THE KKF PARTNERSHIP, AS
PARTY/PARTIES OF THE FIRST PART, AND DICK GLADE PROCTOR, AS PARTY/PARTIES OF THE SECOND PART, RECORDED
FEBRUARY 6, 1990, AS ENTRY NO. 3860, IN BOOK 2663, AT PAGE 810, IN THE OFFICIAL RECORDS.

SURVEY FINDINGS: AFFECTS THE PROPERTY, PLOTTED, DESCRIPTION DESCRIBES A BOUNDARY ADJUSTMENT IN THE
SOUTHEAST CORNER OF THE PROPERTY, ALSO DESCRIBED IN THE LESS AND EXCEPTING.

15. THE EFFECTS, TERMS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND LIMITATIONS (IF ANY) OF THE CERTIFICATE
OF CREATION, RECORDED APRIL 24, 2025, AS ENTRY NO. 29610-2025, IN THE OFFICIAL RECORDS.

SURVEY FINDINGS: AFFECTS PARCEL, NOT PLOTTED, DESCRIPTION DESCRIBES THE CITY, AND ALL SECTION RANGES.

COMMITMENT NUMBER: 112857-25
COMMITMENT DATE: MAY 23, 2025 AT 8:00 AM
TO: ROPER IMPROVEMENTS, LLC, A UTAH LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 73%
AND GC HOLDINGS LLC AS TO UNDIVIDED 17%
PROSPECT TITLE INSURANCE AGENCY, LLC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN
ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND
TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2,
4, 5, 7(A), 9, 10, 11(B), 13, 16, AND 18 OF THE TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON
JUNE 2, 2025.

DATE OF PLAT: JULY 15, 2025



PROFESSIONAL LAND SURVEYOR
NATHAN B. WEBER, PLS
LICENSE NO. 5152762

LEGAL DESCRIPTION

COMMENCING 373.58 FEET SOUTH OF THE NORTHWEST CORNER OF LOT 5, BLOCK 26, PLAT "A",
AMERICAN FORK CITY SURVEY OF BUILDING LOTS; THENCE SOUTH 71.00 FEET; THENCE EAST 190.08
FEET; THENCE NORTH 71.00 FEET; THENCE WEST 190.08 FEET TO THE POINT OF BEGINNING.

SCHEDULE B, PART II EXCEPTIONS

ITEMS 1- 12, 14-15 ARE NOT SHOWN INTENTIONALLY AS THEY ARE NOT SURVEY ITEMS.

13. SUBJECT TO ALL EXISTING ROADS, STREETS, ALLEYS, DITCHES, RESERVOIRS, UTILITIES, CANALS, PIPELINES,
TRANSMISSION LINES, FENCE LINES, POWER, TELEPHONE, SEWER, GAS OR WATER LINES, RIGHTS OF WAY, RESTRICTIONS,
AND EASEMENTS (IF ANY) NOW EXISTING OVER, UNDER, OR ACROSS SUBJECT PROPERTY.

SURVEY FINDINGS: PLOTTED, ALL FOUND UTILITIES ARE SHOWN ON THE SURVEY.

16. THE EFFECTS, TERMS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND LIMITATIONS (IF ANY) OF THE GRANT OF
EASEMENT AND/OR RIGHT-OF-WAY IN FAVOR OF THE UTAH INDEPENDENT TELEPHONE COMPANY, RECORDED JULY 26,
1906, AS ENTRY NO. 2922, IN BOOK 73, AT PAGE 412, IN THE OFFICIAL RECORDS.

SURVEY FINDINGS: DOES NOT AFFECT THE PROPERTY, NOT PLOTTED, LOCATION IS DESCRIBED IN SECTION 4 TOWNSHIP 8
SOUTH, RANGE 3 EAST.

17. THE EFFECTS, TERMS, CONDITIONS, RESTRICTIONS, RESERVATIONS, AND LIMITATIONS (IF ANY) OF THE CERTIFICATE
OF CREATION, RECORDED APRIL 24, 2025, AS ENTRY NO. 29610-2025, IN THE OFFICIAL RECORDS.

SURVEY FINDINGS: AFFECTS PARCEL, NOT PLOTTED, DESCRIPTION DESCRIBES THE CITY, AND ALL SECTION RANGES.

NOTES:

THE BASIS OF BEARING IS SOUTH 89°50'45" WEST BETWEEN THE FOUND SOUTHEAST SECTION CORNER AND THE SOUTH QUARTER CORNER OF SECTION 14, TOWNSHIP 5
SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH AS SHOWN. THE SURVEY CONTROL WAS ESTABLISHED WITH GPS. THE GPS DATA WAS
MEASURED ON THE UTAH STATE PLANE CENTRAL ZONE USF NAD83 SYSTEM AND WAS THEN PROJECTED TO A LOW DISTORTION GROUND SYSTEM FOR THIS SURVEY. A
UAS SYSTEM WAS USED TO ASSIST IN MEASURING AND MAPPING THE PROPERTY AND AN ORTHO-RECTIFIED PHOTO OF THE SITE WAS USED FOR MAPPING FEATURES
SUCH AS ROADWAYS AND WATERWAYS. MONUMENTS FOR THE BLOCK WERE SEARCHED FOR AND NOT FOUND. THE FENCES AND OCCUPATION LINES WERE RELIED
UPON FOR THE PLACEMENT OF THE CITY BLOCK CORNERS USING CALLS FOUND IN DEEDS AND ESPECIALLY THE BOUNDARY LINE AGREEMENT RECORDED AS ENTRY NO.
3860 FOUND IN BOOK 2663 ON PAGE 810 AT THE OFFICE OF THE UTAH COUNTY RECORDER. THE CALLS ALONG THE FENCES WERE HELD TO ESTABLISH THE SOUTHWEST
CORNER OF THE BLOCK FROM THE TIES.

- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE BOUNDARY OF THE DESCRIBED PROPERTY ACCORDING TO THE OFFICIAL RECORDS AND THE
LOCATION OF PERTINENT EXISTING IMPROVEMENTS LOCATED ON THE GROUND.
- THIS DOES NOT REPRESENT A TITLE SEARCH BY THE SURVEYOR. TITLE INFORMATION WAS PROVIDED BY OTHERS FOR THE SUBJECT PROPERTY.
- THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASE ON ABOVE GROUND STRUCTURES. AND GROUND PENETRATING LOCATION SERVICES.
ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED
UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, PLEASE CONTACT APPROPRIATE AGENCIES.
- THE PURPORTED ADDRESS FOR THIS SITE IS 146 N 100 E, 126 N 100 E, AND 134 N 100 E BASED ON DOCUMENTATION PROVIDED AT THE TIME OF THE SURVEY.
- THERE ARE 5 CONSTRUCTED BUILDINGS ON SITE.
- THERE ARE 7 PAVED PARKING STALLS ON THIS SITE.
- THERE WAS NO INFORMATION PROVIDED TO THE SURVEYOR AT THE TIME OF THIS SURVEY THAT WOULD ALLOW FOR A DETERMINATION OF THE RELATIONSHIP
AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES.
- THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF
CONDUCTING THE FIELDWORK FOR THIS SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS
THAT WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. NO ADDITIONAL INFORMATION HAS BEEN PROVIDED TO THE SURVEYOR THAT WOULD
INDICATE OTHERWISE.
- THIS SURVEY REFLECTS PLOTTABLE EASEMENTS THAT ARE LOCATED IN NEIGHBORING PROPERTIES THAT WOULD DIRECTLY AFFECT THIS SURVEY SITE.

SCHEDULE B, PART II EXCEPTIONS

ITEMS 1- 10 ARE NOT SHOWN INTENTIONALLY AS THEY ARE NOT SURVEY ITEMS.

11. RIGHT OF WAY AND UTILITY EASEMENT, INCLUDING ANY PRESUMED RIGHT, PRIVILEGE AND AUTHORITY BENEFITING
THE CORRESPONDING UTILITY COMPANY FOR OVERHEAD TRANSMISSION LINES (INCLUDING ALL APPURTENANT POSTS,
POLES, ANCHORS, CABLES, GUY WIRES AND FIXTURES), TO CONSTRUCT, OPERATE, MAINTAIN AND REMOVE EQUIPMENT
AND OTHER FACILITIES, FROM TIME TO TIME, UPON, OVER AND ALONG THE SOUTH BOUNDARY OF THE SUBJECT LAND, AS
EVIDENCED BY A VISUAL INSPECTION.

SURVEY FINDINGS: PLOTTED, ALL FOUND UTILITIES ARE SHOWN ON THE SURVEY.

REFERENCE DOCUMENTATION

DEEDS

R-1 - WARRANTY DEED, ENTRY NO. 41477
R-2 - WARRANTY DEED, ENTRY NO. 167878
R-3 - WARRANTY DEED, ENTRY NO. 167880
R-4 - WARRANTY DEED, ENTRY NO. 78132
R-5 - SPECIAL WARRANTY DEED, ENTRY NO. 9876-2018
R-6 - RECONVEYANCE DEED, ENTRY NO. 52172
R-7 - BOUNDARY LINE AGREEMENT, ENTRY NO. 3860, BOOK 2663, PAGE 810

SURVEYS

R-8 - AMERICAN FORK CITY BLOCK SURVEY, ENTRY NO. 270

TITLE REPORT

R-9 - TITLE REPORT, COMMITMENT NO. 112858-25
R-10 - TITLE REPORT, COMMITMENT NO. 112857-25
R-11 - TITLE REPORT, COMMITMENT NO. 189009-DWP

REFERENCE DOCUMENTS ARE ON FILE IN THE OFFICES OF THE UTAH COUNTY SURVEYOR



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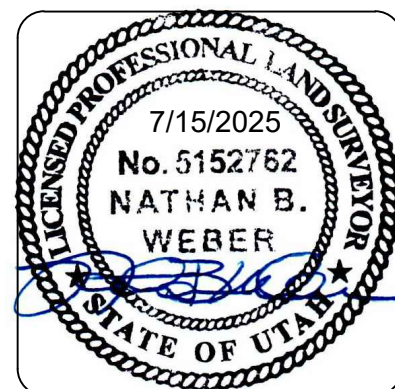
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Phone (801) 266-5099 Fax (801) 266-5032
office@diamondlandsurveying.com
www.diamondlandsurveying.com

Boundary Surveys
Topography Surveys
Subdivisions
Construction Staking
A.L.T.A. & N.S.P.S. Surveys

ALTA/NSPS TITLE SURVEY
146 NORTH 100 EAST
AMERICAN FORK, UT

LEGEND ENGINEERING



LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 14,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

DATE PLOTTED 7/15/2025

JOB No. 25-134

SHEET

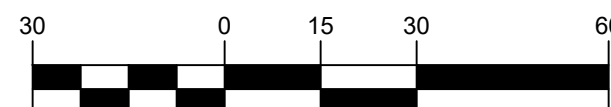
1 OF 3

ALTA/NSPS LAND TITLE SURVEY
FOR
LEGEND ENGINEERING
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 14,
TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
AMERICAN FORK CITY, UTAH COUNTY, UTAH
JULY 2025

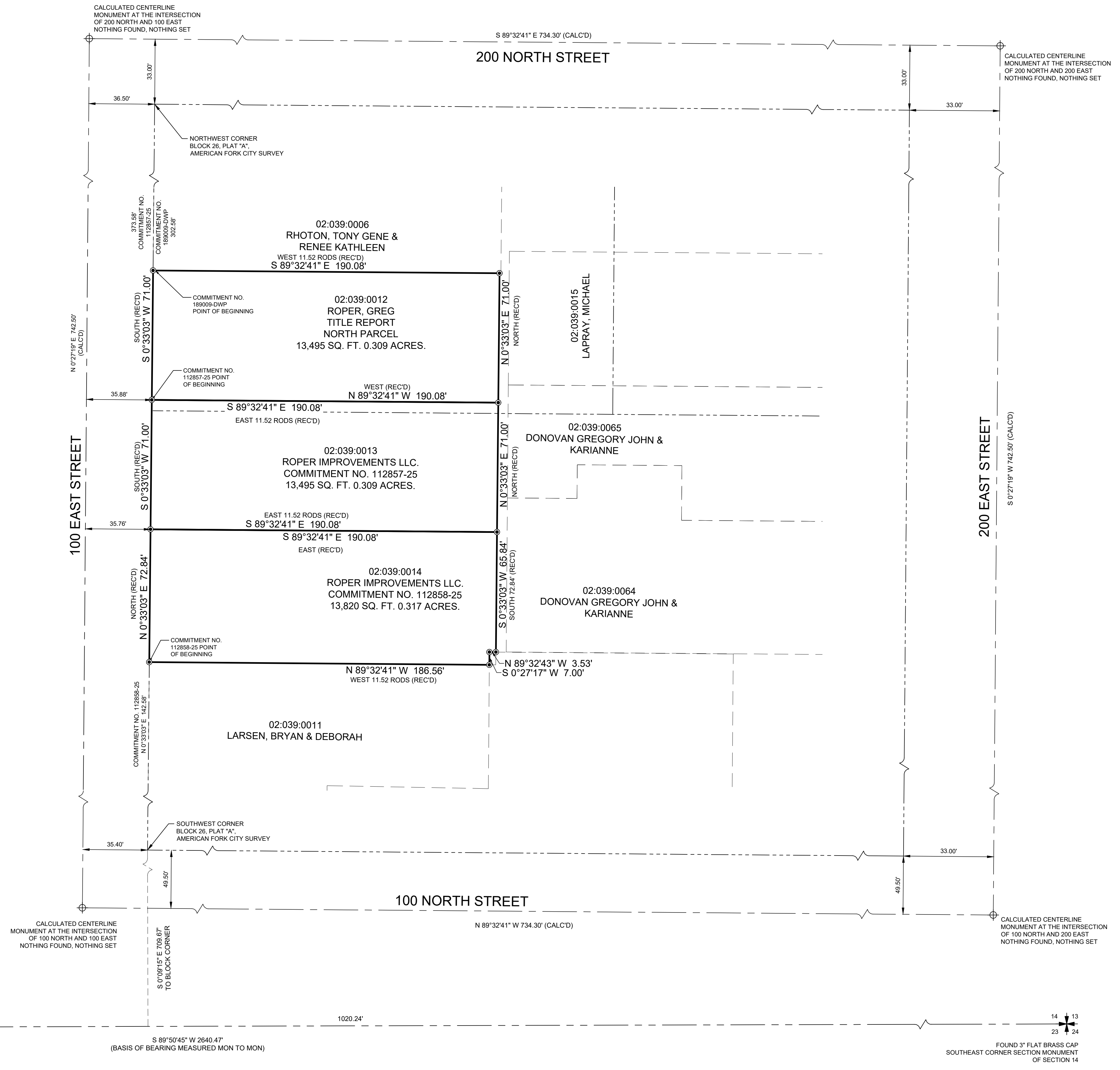
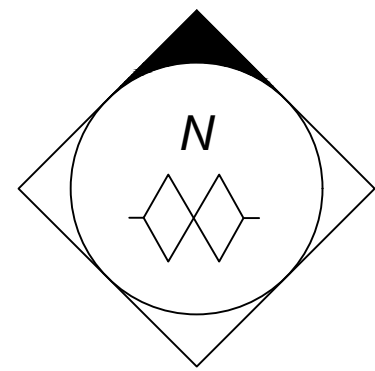
LEGEND

- Boundary Line
Adjoiner Line
Right-of-Way and Block 26 Lot Line
Tie Line
Section Line
Road Center Line
Property Corner to be Set
Calculated Street Monument
Found Quarter Section Monument
Found Southeast Corner Section Monument

GRAPHIC SCALE



1" (INCH) = 30' (FEET)



14 14
23 23
FOUND 3" FLAT BRASS CAP
SOUTH QUARTER SECTION MONUMENT
OF SECTION 14

S 89°50'45" W 2640.47'
(BASIS OF BEARING MEASURED MON TO MON)

14 13
23 24
FOUND 3" FLAT BRASS CAP
SOUTHEAST CORNER SECTION MONUMENT
OF SECTION 14

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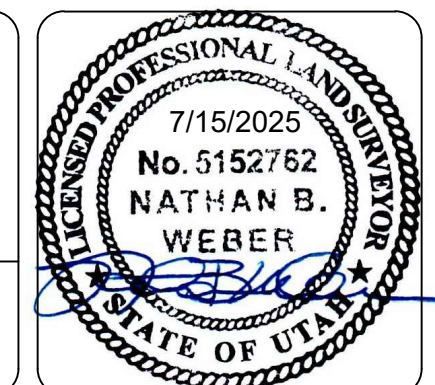
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Subdivisions
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ALTA & NSPS Surveys

ALTA/NSPS TITLE SURVEY
146 NORTH 100 EAST
AMERICAN FORK, UT

LEGEND ENGINEERING



LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 14,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

DATE PLOTTED 7/15/2025

JOB No. 25-134

SHEET

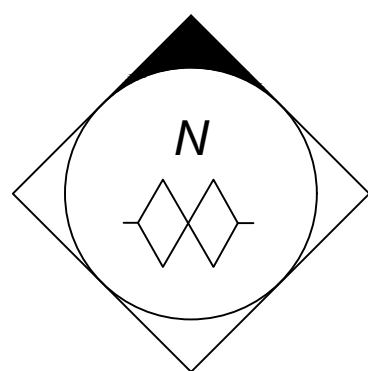
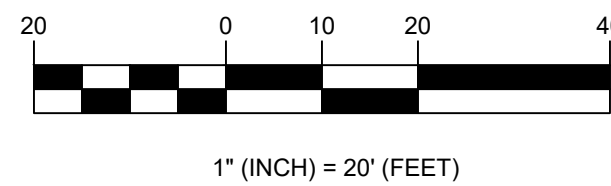
1 OF 3

ALTA/NSPS LAND TITLE SURVEY
FOR
LEGEND ENGINEERING
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 14,
TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
AMERICAN FORK CITY, UTAH COUNTY, UTAH
JULY 2025

LEGEND

- | | |
|--|--------------------------------|
| | Boundary Line |
| | Adjoiner Line |
| | Right-of-Way And Block 26 Line |
| | Centerline Line |
| | Building |
| | Building Overhang |
| | Concrete Line |
| | Curb Line |
| | Edge of Pavement |
| | Water Line |
| | Overhead Power Line |
| | Fence Line |
| | Power Pole |
| | Water Valve |
| | Water Meter |
| | Sewer Manhole |
| | Fire Hydrant |
| | Electric Meter |
| | Gas Meter |
| | Communication Box |
| | Air Conditioner |
| | Sign |
| | Guy Wire |
| | Tree Size as Noted |
| | Property Corner to be Set |

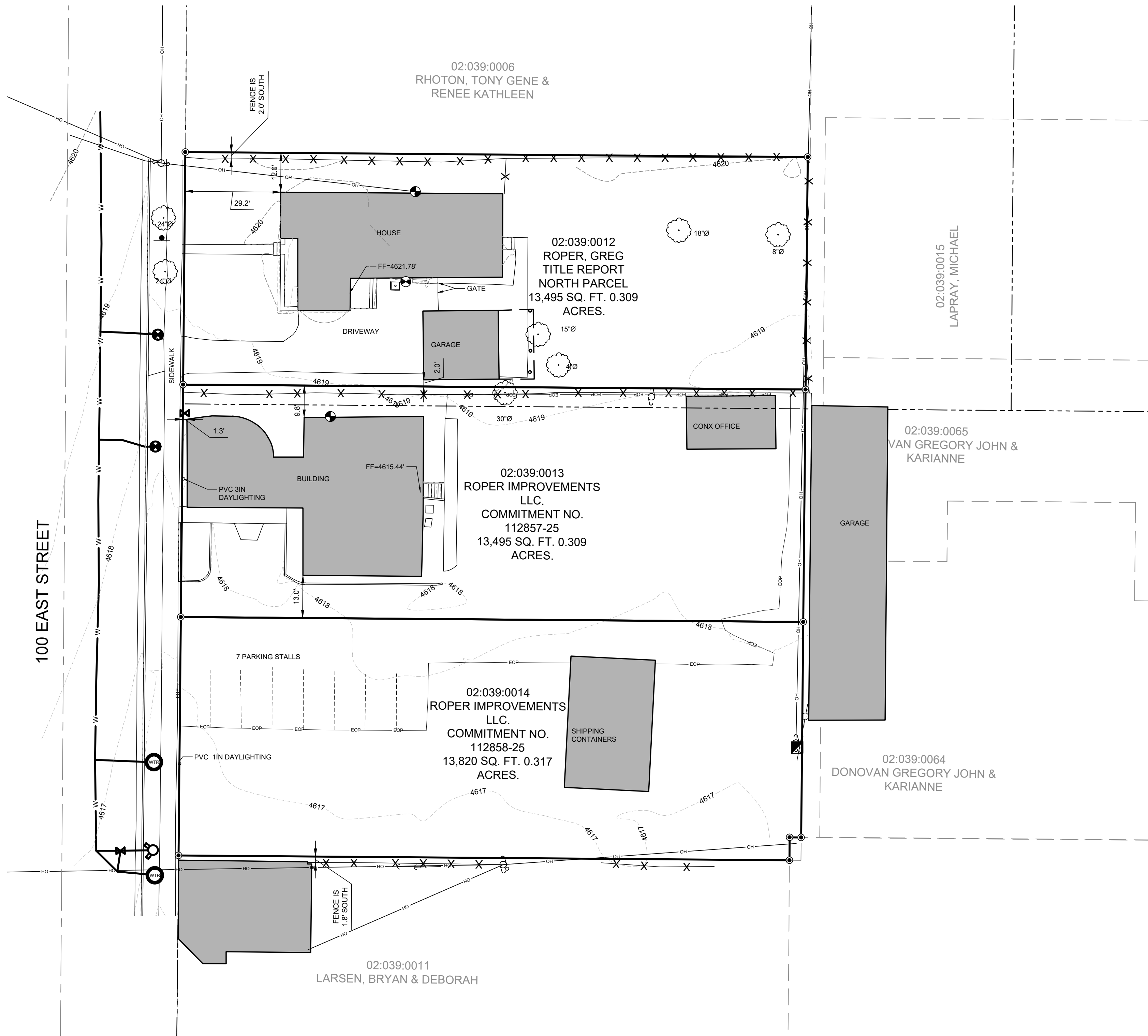
GRAPHIC SCALE



BENCHMARK:

FOUND 3" FLAT BRASS CAP
MONUMENT FOR THE SOUTHEAST
CORNER OF SECTION 14.

ELEV. = 4614.932'



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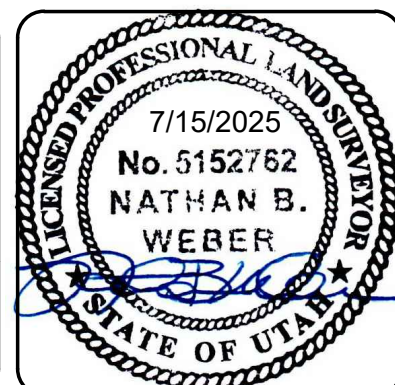
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ALTA/NSPS TITLE SURVEY
146 NORTH 100 EAST
AMERICAN FORK, UT

LEGEND ENGINEERING



LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 14,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

DATE PLOTTED 7/15/2025

JOB No. 25-134

SHEET

1 OF 3

Agenda Topic

Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Administrative Site Plan Approvals, of the American Fork City Municipal Code. Amending Section 17.6.101, the Code Text Amendment plans to amend the Site Plan Approval Process.

Background

The staff has initiated for a Code Text Amendment to amend Section 17.6.101 of the American Fork City Municipal Code. The proposed amendment looks to amend the Site Plan approval process.

Potential Motions – Code Text Amendment

Approval

I move to recommend approval for the proposed Code Text Amendment, amending Section 17.6.101, titled Administrative Site Plan Review, relating to DRC Site Plan approval for Site Plan amendments and providing an effective date for the ordinance.

Denial

I move to recommend denial for the proposed Code Text Amendment, amending Section 17.6.101, titled Administrative Site Plan Review, relating to DRC Site Plan approval for Site Plan amendments.

Table

I move to table action for the proposed Code Text Amendment, amending Section 17.6.101, titled Administrative Site Plan Review, relating to DRC Site Plan approval and instruct staff/developer to.....

ORDINANCE NO. ~~2025-07-23~~ _____

AN ORDINANCE ENACTING SUBSECTION 17.6.101 OF THE AMERICAN FORK CITY MUNICIPAL CODE RELATING TO SITE PLAN APPROVALS.

WHEREAS, American Fork City seeks to promote the health, safety, morals, convenience, order, prosperity, and general welfare of American Fork City;

WHEREAS, the City has the authority to enact land use regulations pursuant to the Municipal Land Use Development and Management Act Utah Code § 10-9a-101 *et seq.*; and

WHEREAS, the City has already enacted an ordinance permitting administrative site plan review – see American Fork City Code Section 17.6.101 Administrative Site Plan Review; and

WHEREAS, the City deems it necessary to modify Section 17.6.101; and

WHEREAS, the American Fork City Council finds it in the best interest of the City to provide an administrative process for approving minor amendments to site plans;

WHEREAS, the American Fork City Council finds that the adoption of this ordinance would promote the health, safety and welfare of the City and its residents.

NOW THEREFORE, be it ordained by the City Council of American Fork, Utah, that:

**PART I
TEXT OF ORDINANCE**

SECTION 1. Section 17.6.101 Administrative Site Plan Review is hereby repealed and replaced with the following:

17.6.101. Site Plan Approval Process.

A. When Required. Site plans shall be required for any proposed development, construction upon, revision or addition to or other improvement to a property or site in a nonresidential zone, a nonresidential use in a residential zone, or to obtain a conditional use permit in any zone. Additionally, a site plan shall be required whenever the terms of the American Fork Municipal Code otherwise require. No development, construction, revision, or additions shall take place on the site until the site plan has been approved by the City, final plats if required have been recorded, the necessary bonds have been posted, and the appropriate permits have been obtained. All applicable development, construction, revisions, or additions shall take place in compliance with an approved site plan for that specific property.

No proposed development, construction, revision or additions, or other improvements to a property or site shall be placed over property lines. Any proposal that does so, shall seek a final plat, or an amended final plat approval prior to a site plan approval.

B. Submittal. Site plan applications shall be submitted to the Development Services Department on the forms provided by the City and shall be accompanied by maps and drawings,

to scale, showing the following, unless otherwise required by City Engineer or Development Services Director:

1. ALTA Survey (identify Geodetic Datum used)
2. Civil Engineering Design Plan Set using NAVD 88 vertical datum and including the following:
 - a. Cover sheet, General Notes, Site Plan, Grading and Drainage Plan, Utility Plan showing all existing and proposed wet and dry utilities (including street lights), Plan and Profile sheet for all proposed public utilities, Erosion Control Plan, American Fork Standard Details
3. Application Fees
4. Drainage Report identifying drainage sub-basins
5. Phasing Plan
6. Timpanogos Special Service District Form
7. Title Report (Dated within 60 days of date of application)
8. Zoning Clearance Letter
9. The location of all existing and proposed buildings and structures on the site with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
10. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
11. A landscaping plan showing the location, types, percentages, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
12. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used and including dimension height.
13. The locations of solid waste receptacles and trash pick-up areas. Include preliminary elevations of solid waste receptacles showing the general appearance, types of external materials to be used, and dimensions.
14. Geotechnical Report (require each phase being planned to have test pits identified within the specific phases that will be brought forward). Geotechnical Report must be dated within 3 years of date of application, or a new Geotechnical Report is required. Geotechnical report shall include percolation rates, identify liquefaction hazards, wetlands, groundwater elevations and information required

to confirm the existence or non-existence of sensitive lands as identified in the Sensitive Lands Ordinance. Boring depths up to 70' deep may be required as per the Sensitive Lands Ordinance.

15. A traffic study prepared by an independent, professional traffic engineer if a site plan proposes any of the following: i) seventy-five (75) or more parking stalls; ii) a drive-up window; iii) more than two drive approaches from dedicated streets; iv) a corner lot where one or more of the streets is a collector or arterial street; or as required based on requirements set forth in the Traffic Impact Study requirements
 - a. The final approving authority may impose traffic mitigation requirements based on the impacts identified by a traffic study prepared by the applicant, the City or any qualified independent traffic consultant. Nothing in this Section shall preclude the City from performing its own traffic study.
 - b. The Development Services Director, after consultation with the Public Works Director, may waive the requirements of a traffic study if a new traffic study would be unnecessarily cumulative or otherwise not add to the information already available to the Development Services Director.

Upon determination of a complete submittal, the site plan application shall be provided to the Development Review Committee for review.

C. Determination of Required Documents.

1. Required Documents. Required submittal documents as outlined in Section 17.6.101.B shall be determined by the Development Services Director and Public Works Director after the mandatory Concept Plan meeting is held.

a. Upon determination of a complete submittal, the application shall be provided to the Development Review Committee for full review and determination of the appropriate approval process as outlined in Subsection D.

D.C. Approval. After full review of the site plan application, the DRC shall take action to (1) administratively approve the site plan application, or (2) move the proposed site plan to the final approval authority, as applicable. DRC shall only administratively approve or move forward a proposed site plan if it complies fully with the American Fork General Plan and the American Fork City Code, City ordinances, resolutions, and policies.

1. DRC to approve DRC Administrative Approval. A concept plan meeting shall be scheduled through the Development Services Department to determine if proposed modifications to a site qualify for an amended amended administrative site plan approval process. The Development Review Committee may exercise administrative approval authority for amendments to existing site plans, or for site or structure alterations to existing buildings and sites that do not have a site plan under the following conditions:

- a. The proposed amendments to the existing site plan are minor in nature and enhance the overall site, as determined by the DRC. Minor amendments include, but are not limited to, the following:
- i. Increasing the amount of parking;
 - ii. Restriping the parking areas;
 - iii. Reducing building size;
 - iv. Change of use in an existing building;
 - v. Building additions, including new structures, where the proposed additions do not exceed 10% of the original approved site plan approved by Planning Commission;
 - vi. Relocating on site utility services;
 - vii. Installing new utility services;
 - viii. Minor modifications to on-site grading;
 - ix. Altering the exterior site lighting;
 - x. Increasing the amount of landscaping;
 - xi. Modifying existing landscaping to water efficient standards;
 - xii. Altering or relocating covered parking stalls;
 - xiii. Changing the exterior finishing materials from one acceptable material to another; and
 - xiv. Additions to an existing building that do not increase the Gross Floor Area of the building such as awnings, canopies, decks, patios, and architectural features designed solely to enhance the aesthetic appeal of the building provided that the value of the proposed addition does not exceed five percent (5%) of the replacement value of the building.
 - xv. Increase in internal floor area by introducing additional floors, lofts, mezzanines, etc. in an existing structure or shell.
 - xvi. Cell tower upgrades
 - xvii. As determined by the Development Services Director, in consultation with the Public Works Director to be a minor enough amendment as to not constitute a full site plan review.

1.2. Planning Commission ~~Approval to Approve~~. Except as otherwise specified in this ~~subsection C.1 Section~~, the Planning Commission, acting in an administrative capacity, shall be the final approval authority for all proposed site plans forwarded by the Development Review Committee and shall have the power to approve, approve with conditions if granted the authority by City ordinance, or deny a proposed site plan.

~~**2.1. DRC to approve.** A concept plan meeting shall be scheduled through the Development Services Department to determine if proposed modifications to a site qualify for an amended site plan approval process. The Development Review Committee may exercise administrative approval authority for amendments to existing site plans, or for site or structure alterations to existing buildings and sites that do not have a site plan under the following conditions:~~

- ~~a. The proposed amendments to the existing site plan are minor in nature and enhance the overall site, as determined by the DRC. Minor amendments include, but are not limited to, the following:~~
 - ~~i. Increasing the amount of parking;~~
 - ~~ii.i. Restriping the parking areas;~~
 - ~~iii.i. Reducing building size;~~
 - ~~iv.i. Change of use in an existing building;~~
 - ~~v.i. Building additions, including new structures, where the proposed additions do not exceed 10% of the original approved site plan approved by Planning Commission;~~
 - ~~vi.i. Relocating on-site utility services;~~
 - ~~vii.i. Installing new utility services;~~
 - ~~viii.i. Minor modifications to on-site grading;~~
 - ~~ix.i. Altering the exterior site lighting;~~
 - ~~x.i. Increasing the amount of landscaping;~~
 - ~~xi.i. Modifying existing landscaping to water efficient standards;~~
 - ~~xii.i. Altering or relocating covered parking stalls;~~
 - ~~xiii.i. Changing the exterior finishing materials from one acceptable material to another; and~~

~~xiv.i. Additions to an existing building that do not increase the Gross Floor Area of the building such as awnings, canopies, decks, patios, and architectural features designed solely to enhance the aesthetic appeal of the building provided that the value of the proposed addition does not exceed five percent (5%) of the replacement value of the building.~~

~~xv.i. Increase in internal floor area by introducing additional floors, lofts, mezzanines, etc. in an existing structure or shell.~~

~~xvi.i. Cell tower upgrades~~

~~xvii.i. As determined by the Development Services Director, in consultation with the Public Works Director to be a minor enough amendment as to not constitute a full site plan review.~~

~~3. **Submittal** Required submittal documents as outlined in Section 17.6.101.B shall be determined by the Development Services Director and Public Works Director after the mandatory Concept Plan meeting is held.~~

~~a. Upon determination of a complete submittal, the application shall be provided to the Development Review Committee for Review.~~

4. **E. Considerations.** The recommending authority and approval authority for the site plan shall consider all of the following items when reviewing a proposed site plan:

- a. Whether the proposed site plan complies with the American Fork City General Plan, the American Fork City Code, ordinances, resolutions, and policies.
- b. Whether the proposed site plan promotes the health, safety and welfare of the community. In making this determination, the recommending authority and the final approving authority for the site plan, shall consider, among other things, the overall safety of the site, the impact the site will have on traffic and on surrounding properties, and the adequacy of police, fire, and utility services that can be provided to the site.

5. **F. Appeals permitted.** Any person aggrieved by a determination of the Development Review Committee or the Planning Commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of the underlying approval authority. Any such appeal shall be filed within ten days of the decision being appealed.

6. **G. Issuance of a permit.** A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.

H. Expiration of Site Plan Approval.

a. An application for site plan approval shall expire if the application has not been approved or scheduled for review and approval by the approving authority within twelve (12) months after the date it was submitted.

b. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within twelve (12) months of the date of the approval. The approval authority that granted the original site plan approval may, at its discretion and upon written request submitted prior to the expiration date, grant an extension of up to six (6) months of the site plan approval.~~An application for site plan approval shall expire if the application has not been approved or scheduled for review and approval by the approving authority within twelve months after the date it was submitted. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within twelve (12) months of the date of the approval, with a six-month extension back to the approval body.~~

PART II CONFLICTING ORDINANCES, SEVERABILITY, AND ADOPTION

SECTION 1. Conflicting Provisions. Whenever the provisions of this Ordinance conflict with the provisions of any other ordinance, resolution, or part thereof, the more stringent shall prevail.

SECTION 2. Provisions Severable. This Ordinance and the various sections, clauses and paragraphs are hereby declared to be severable. If any part, sentence, clause, or phrase is adjudged to be unconstitutional or invalid, it is hereby declared that the remainder of the ordinance shall not be affected thereby.

This amended ordinance shall take effect ~~immediately upon its passage~~[INSERT DATE HERE]
~~and publication~~ as prescribed by law.

Passed by the American Fork City Council this 8th day of July, 2025.

Bradley J. Frost
American Fork City Mayor

ATTEST:

Terilyn Lurker
City Recorder

ORDINANCE NO. _____

AN ORDINANCE ENACTING SUBSECTION 17.6.101 OF THE AMERICAN FORK CITY MUNICIPAL CODE RELATING TO SITE PLAN APPROVALS.

WHEREAS, American Fork City seeks to promote the health, safety, morals, convenience, order, prosperity, and general welfare of American Fork City;

WHEREAS, the City has the authority to enact land use regulations pursuant to the Municipal Land Use Development and Management Act Utah Code § 10-9a-101 *et seq.*; and

WHEREAS, the City has already enacted an ordinance permitting administrative site plan review – see American Fork City Code Section 17.6.101 Administrative Site Plan Review; and

WHEREAS, the City deems it necessary to modify Section 17.6.101; and

WHEREAS, the American Fork City Council finds it in the best interest of the City to provide an administrative process for approving minor amendments to site plans;

WHEREAS, the American Fork City Council finds that the adoption of this ordinance would promote the health, safety and welfare of the City and its residents.

NOW THEREFORE, be it ordained by the City Council of American Fork, Utah, that:

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17.6.101. Site Plan Approval Process.

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No proposed development, construction, revision or additions, or other improvements to a property or site shall be placed over property lines. Any proposal that does so, shall seek a final plat, or an amended final plat approval prior to a site plan approval.

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to scale, showing the following, unless otherwise required by City Engineer or Development Services Director:

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3. Application Fees
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7. Title Report (Dated within 60 days of date of application)
8. Zoning Clearance Letter
9. The location of all existing and proposed buildings and structures on the site with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
10. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
11. A landscaping plan showing the location, types, percentages, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
12. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used and including dimension height.
13. The locations of solid waste receptacles and trash pick-up areas. Include preliminary elevations of solid waste receptacles showing the general appearance, types of external materials to be used, and dimensions.
14. Geotechnical Report (require each phase being planned to have test pits identified within the specific phases that will be brought forward). Geotechnical Report must be dated within 3 years of date of application, or a new Geotechnical Report is required. Geotechnical report shall include percolation rates, identify liquefaction hazards, wetlands, groundwater elevations and information required

to confirm the existence or non-existence of sensitive lands as identified in the Sensitive Lands Ordinance. Boring depths up to 70' deep may be required as per the Sensitive Lands Ordinance.

15. A traffic study prepared by an independent, professional traffic engineer if a site plan proposes any of the following: i) seventy-five (75) or more parking stalls; ii) a drive-up window; iii) more than two drive approaches from dedicated streets; iv) a corner lot where one or more of the streets is a collector or arterial street; or as required based on requirements set forth in the Traffic Impact Study requirements
 - a. The final approving authority may impose traffic mitigation requirements based on the impacts identified by a traffic study prepared by the applicant, the City or any qualified independent traffic consultant. Nothing in this Section shall preclude the City from performing its own traffic study.
 - b. The Development Services Director, after consultation with the Public Works Director, may waive the requirements of a traffic study if a new traffic study would be unnecessarily cumulative or otherwise not add to the information already available to the Development Services Director.

Upon determination of a complete submittal, the site plan application shall be provided to the Development Review Committee for review.

C. Determination of Required Documents.

1. Required Documents. Required submittal documents as outlined in Section 17.6.101.B shall be determined by the Development Services Director and Public Works Director after the mandatory Concept Plan meeting is held.

a. Upon determination of a complete submittal, the application shall be provided to the Development Review Committee for full review and determination of the appropriate approval process as outlined in Subsection D.

D. Approval. After full review of the site plan application, the DRC shall take action to (1) administratively approve the site plan application, or (2) move the proposed site plan to the final approval authority, as applicable. DRC shall only administratively approve or move forward a proposed site plan if it complies fully with the American Fork General Plan and the American Fork City Code, City ordinances, resolutions, and policies.

- 1. DRC Administrative Approval.** A concept plan meeting shall be scheduled through the Development Services Department to determine if proposed modifications to a site qualify for an amended administrative site plan approval process. The Development Review Committee may exercise administrative approval authority for amendments to existing site plans, or for site or structure alterations to existing buildings and sites that do not have a site plan under the following conditions:

- a. The proposed amendments to the existing site plan are minor in nature and enhance the overall site, as determined by the DRC. Minor amendments include, but are not limited to, the following:
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 - ii. Restriping the parking areas;
 - iii. Reducing building size;
 - iv. Change of use in an existing building;
 - v. Building additions, including new structures, where the proposed additions do not exceed 10% of the original approved site plan approved by Planning Commission;
 - vi. Relocating on site utility services;
 - vii. Installing new utility services;
 - viii. Minor modifications to on-site grading;
 - ix. Altering the exterior site lighting;
 - x. Increasing the amount of landscaping;
 - xi. Modifying existing landscaping to water efficient standards;
 - xii. Altering or relocating covered parking stalls;
 - xiii. Changing the exterior finishing materials from one acceptable material to another; and
 - xiv. Additions to an existing building that do not increase the Gross Floor Area of the building such as awnings, canopies, decks, patios, and architectural features designed solely to enhance the aesthetic appeal of the building provided that the value of the proposed addition does not exceed five percent (5%) of the replacement value of the building.
 - xv. Increase in internal floor area by introducing additional floors, lofts, mezzanines, etc. in an existing structure or shell.
 - xvi. Cell tower upgrades
 - xvii. As determined by the Development Services Director, in consultation with the Public Works Director to be a minor enough amendment as to not constitute a full site plan review.

2. **Planning Commission Approval.** Except as otherwise specified in this subsection C.1, the Planning Commission, acting in an administrative capacity, shall be the final approval authority for all proposed site plans forwarded by the Development Review Committee and shall have the power to approve, approve with conditions if granted the authority by City ordinance, or deny a proposed site plan.

E. Considerations. The recommending authority and approval authority for the site plan shall consider all of the following items when reviewing a proposed site plan:

- a. Whether the proposed site plan complies with the American Fork City General Plan, the American Fork City Code, ordinances, resolutions, and policies.
- b. Whether the proposed site plan promotes the health, safety and welfare of the community. In making this determination, the recommending authority and the final approving authority for the site plan, shall consider, among other things, the overall safety of the site, the impact the site will have on traffic and on surrounding properties, and the adequacy of police, fire, and utility services that can be provided to the site.

F. Appeals permitted. Any person aggrieved by a determination of the Development Review Committee or the Planning Commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of the underlying approval authority. Any such appeal shall be filed within ten days of the decision being appealed.

G. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.

H. Expiration of Site Plan Approval.

- a. An application for site plan approval shall expire if the application has not been approved or scheduled for review and approval by the approving authority within twelve (12) months after the date it was submitted.
- b. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within twelve (12) months of the date of the approval. The approval authority that granted the original site plan approval may, at its discretion and upon written request submitted prior to the expiration date, grant an extension of up to six (6) months of the site plan approval.

PART II
CONFLICTING ORDINANCES, SEVERABILITY, AND ADOPTION

SECTION 1. Conflicting Provisions. Whenever the provisions of this Ordinance conflict with the provisions of any other ordinance, resolution, or part thereof, the more stringent shall prevail.

SECTION 2. Provisions Severable. This Ordinance and the various sections, clauses and paragraphs are hereby declared to be severable. If any part, sentence, clause, or phrase is adjudged to be unconstitutional or invalid, it is hereby declared that the remainder of the ordinance shall not be affected thereby.

This amended ordinance shall take effect [INSERT DATE HERE] as prescribed by law.

Passed by the American Fork City Council this ____ day of _____, 2025.

Bradley J. Frost
American Fork City Mayor

ATTEST:

Terilyn Lurker
City Recorder

Agenda Topic

Review and action on a request for consideration of an extension for a previously approved Commercial Site Plan, known as Surg LLC Office Building, located at approximately 1141 E 50 N, American Fork City. The Commercial Site Plan will be on approximately 0.60 acres and will be in the Professional Office (PO-1) Zone.

BACKGROUND INFORMATION		
Location:		1141 E 50 N
Project Type:		Commercial Site Plan
Applicants:		Justin Anderson
Existing Land Use:		Professional Office
Proposed Land Use:		Professional Office
Surrounding Land Use:	North	Professional Office
	South	Professional Office
	East	Professional Office
	West	Professional Office
Existing Zoning:		PO-1
Proposed Zoning:		PO-1
Surrounding Zoning:	North	PO-1
	South	PO-1
	East	PO-1
	West	PO-1

Background

Surg LLC Office Building's current Commercial Site Plan is set to expire on September 26th, 2025, two years from the original approval date. The applicant has requested to come to the Planning Commission to ask for an extension on the proposed site plan approval. The approval authority, at its discretion, may grant up to a 6-month extension for the current Commercial Site Plan.

The office building will be developed under the Surg Medical Plat “A” subdivision. The lot is approximately 0.60 acres in area, and the proposed building will be approximately 4039 square feet. The building will be used for Professional and Medical office space. The building will be two stories and approximately 30 feet in height.

Parking Tabulations:

Professional Office: 4701 square feet @ 4/1000 = 18.8 parking stalls.

Medical Office: 2315 square feet @ 4.5/1000 = 10.5 parking stalls

Total required parking stalls = 29.3

Total parking stalls required including 2 ADA stalls = 32

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.

- e. The locations of solid waste receptacles and trash pick-up areas.
- 3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
- 4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
- 5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

- 1. N/A

Findings of Fact

- 1. The request for a Commercial Site Plan Extension is in conformity with the municipal requirements under Section 17.6.101.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.

5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Potential Motions – Commercial Site Plan

Approval

I move to approve the proposed Commercial Site Plan Extension for Surg LLC Office Building, located at 1141 E 50 N, American Fork City, in the PO-1 zone for a maximum of (X) months.

Denial

I move to deny the proposed Commercial Site Plan Extension for Surg LLC Office Building, located at 1141 E 50 N, American Fork City, in the PO-1 zone.

Table

Planning Commission Staff Report
Meeting Date: September 03, 2025



I move to table action for the proposed Commercial Site Plan Extension for Surg LLC Office Building, located at 1141 E 50 N, American Fork City, in the PO-1 zone and instruct staff/developer to.....

Commercial Site Plan Approval Extension Request

1141 East 50 North American Fork, UT 84003

Project: SURG MEDICAL/PROFESSIONAL OFFICE BLDG.

We are asking for an extension due to a few recent issues we have been dealing with regard to the Commercial Site Plan Project entitled SURG Medical/Professional Office Building due to the following reasons:

1. Tariff - Due to the recent tariffs, the contractors and subcontractors are having issues locking certain supply pricing in. The tariffs have also created a layer of uncertainty with building contractors and their suppliers. The contractors also have "escalation clause" in their estimates, which means that the vast majority of any uncertain, or unanticipated increases from suppliers will be passed on to us and so we are trying to work through these issues.
2. We have also had some family hardships that have made an extension necessary.
3. Lead times for electric components have been an issue that is causing a need to extend
4. Financing is taken longer than expected and we are still working with lenders to finalize suitable financing in place

These issues have caused us to need to request a six month extension to work through these issues.

Respectfully,

A handwritten signature in dark ink, appearing to read "Justin Anderson", with a long horizontal flourish extending to the right.

Justin Anderson

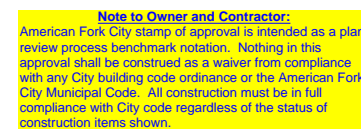
SURG LLC

8/12/2025

SURG MEDICAL/PROFESSIONAL OFFICE BLDG.

ADDRESS: 1141 EAST 50 NORTH

SITUATED IN THE SOUTHWEST QUARTER
OF SECTION 18, TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN
AMERICAN FORK, UTAH COUNTY, UTAH

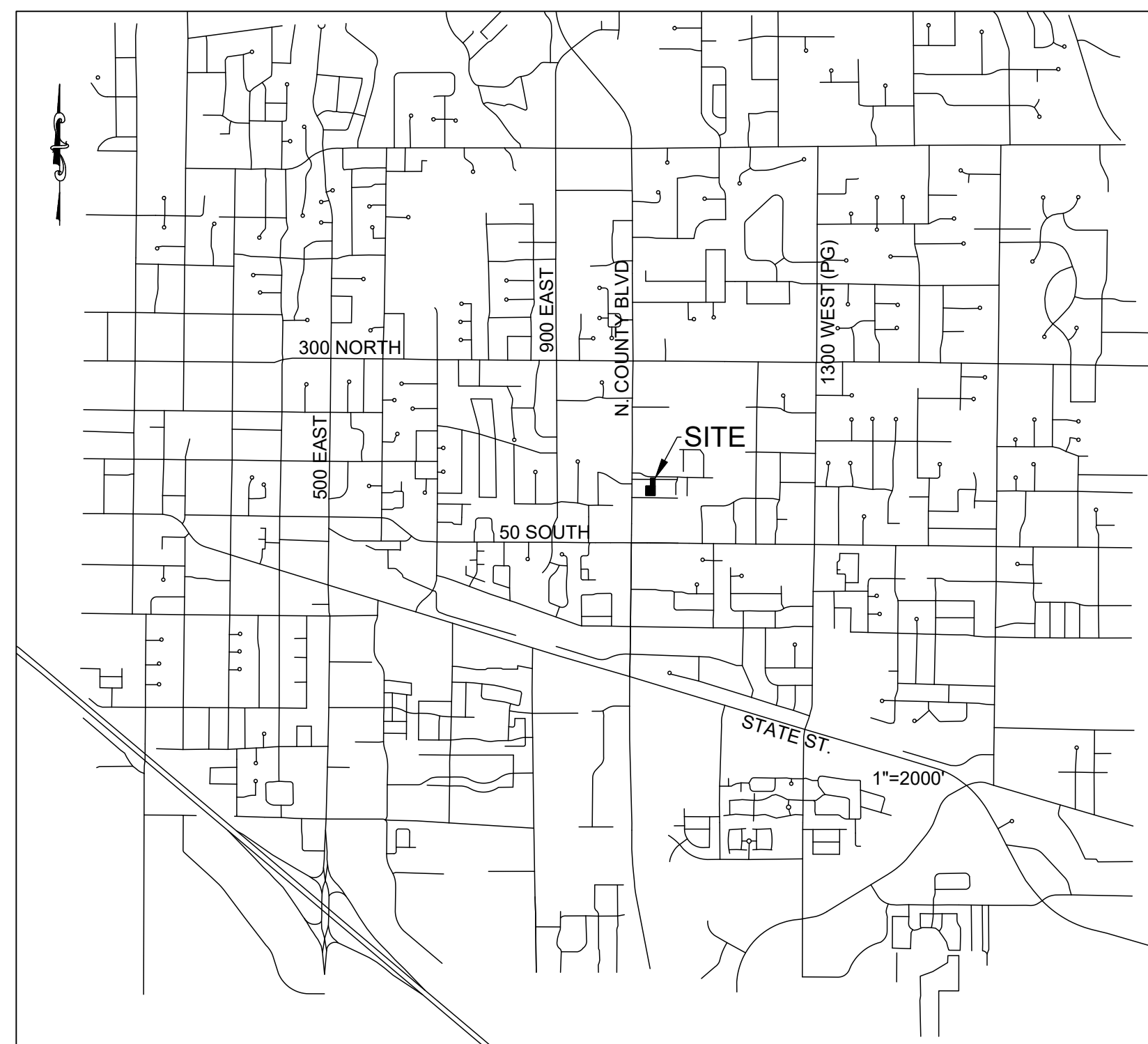


American Fork City Engineering
08/27/2024
tjepsen
Approved for Construction

 <p>AMERICAN FORK</p>	<p>American Fork City Development Review Committee</p>
	<p>Planning and Zoning Reviewed tvaneekelenburg 08/01/2024</p>
	<p>Engineering Division Reviewed tjesson 08/07/2024</p>
	<p>Fire Department Reviewed M. Sacco 08/08/2024</p>

Next Step:
Approved for Construction

- Please schedule a Pre-Construction meeting with Dee Howard
dhoward@americanfork.gov or 801-857-8164
- Provide (3) - 11x17 Hard Copies



VICINITY MAP

CONTACT LIST:

COMPANY	CONTACT	PHONE
CENTURY LINK - TELEPHONE	Bill Westfall	(435) 623 4252
ROCKY MNT. POWER - POWER	Teria Walker	(801) 756 1310
COMCAST - CABLE	Elysia Valdez	(801) 401 3017
CONCAST - FIBER TEL	Sade Christensen	(801) 369 7360
QUESTAR GAS - GAS (FOREMAN)	Wendy Edwards	(801) 853 8513
QUESTAR GAS - GAS (HP)	Gaylan Sorensen	(801) 370 6577
DOMINION ENERGY - GAS	Trent Johnson	(801) 853 6548
AMERICAN FORK CITY - WATER	Jay Brems	(801) 763 3060
AMERICAN FORK CITY - SEWER	Ashton Hardy	(801) 763 3060
AMERICAN FORK CITY - STORM	Ashton Hardy	(801) 763 3060
AMERICAN FORK CITY - SWPPP	Harlan Nielson	(801) 763 3060
AMERICAN FORK CITY - P.I.	Jay Brems	(801) 763 3060
AMERICAN FORK CITY - PLANNING	Patrick O'Brien	(801) 763 3060
AMERICAN FORK CITY - ENGINEERING	Ben Hunter	(801) 763 3060
AMERICAN FORK CITY - INSPECTOR	Dee Howard	(801) 763 3060
FIRE MARSHALL - FIRE DEPT	Mat Sacco	(801) 763 3045
AF FIBER	Kyle Petersen	(801) 400-2933
AF FLOOD IRRIGATION COMPANY	Ernie John	(801) 471 6576
FIRE & RESCUE		911
TIMPANOGOS SPECIAL SERVICE DISTRICT	David Barlow	(801) 756 5231

ABBREVIATION TABLE

FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RIM	RIM ELEVATION
FL	FLOWLINE
EG	EXIST GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
SF	SQUARE FOOTAGE
P.U.E.	PUBLIC UTILITY EASEMENT
SL&BM	SALT LAKE BASE & MERIDIAN
COR	CORNER
N	NORTH
S	SOUTH
E	EAST
W	WEST
P.I.	PRESSURIZED IRRIGATION
SS	SANITARY SEWER
SD	STORM DRAIN
T	TOWNSHIP
R	RANGE
RCP	REINFORCED CONCRETE PIPE
WM	WATER METER
CB	CATCH BASIN
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT
L.F.	LINEAR FEET
S=%	SLOPE
IE	INVERT ELEVATION
C.O.	CLEAN OUT
SL	SEWER LATERAL

NOTES TO CONTRACTOR

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.


REFERENCE NOTES

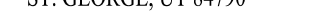
1. SEE SHEET C2 FOR SETBACK DIMENSIONS.
2. SEE SHEET C2 FOR BUILDING & OCCUPANCY INFORMATION.
3. SEE SHEET C2 FOR PARKING CALCULATIONS INCLUDING ADA STALLS.
4. SEE SHEET C2 FOR SITE TABULATIONS.

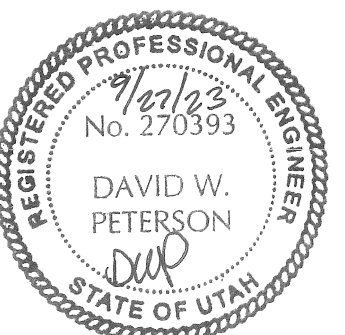
SHEET INDEX

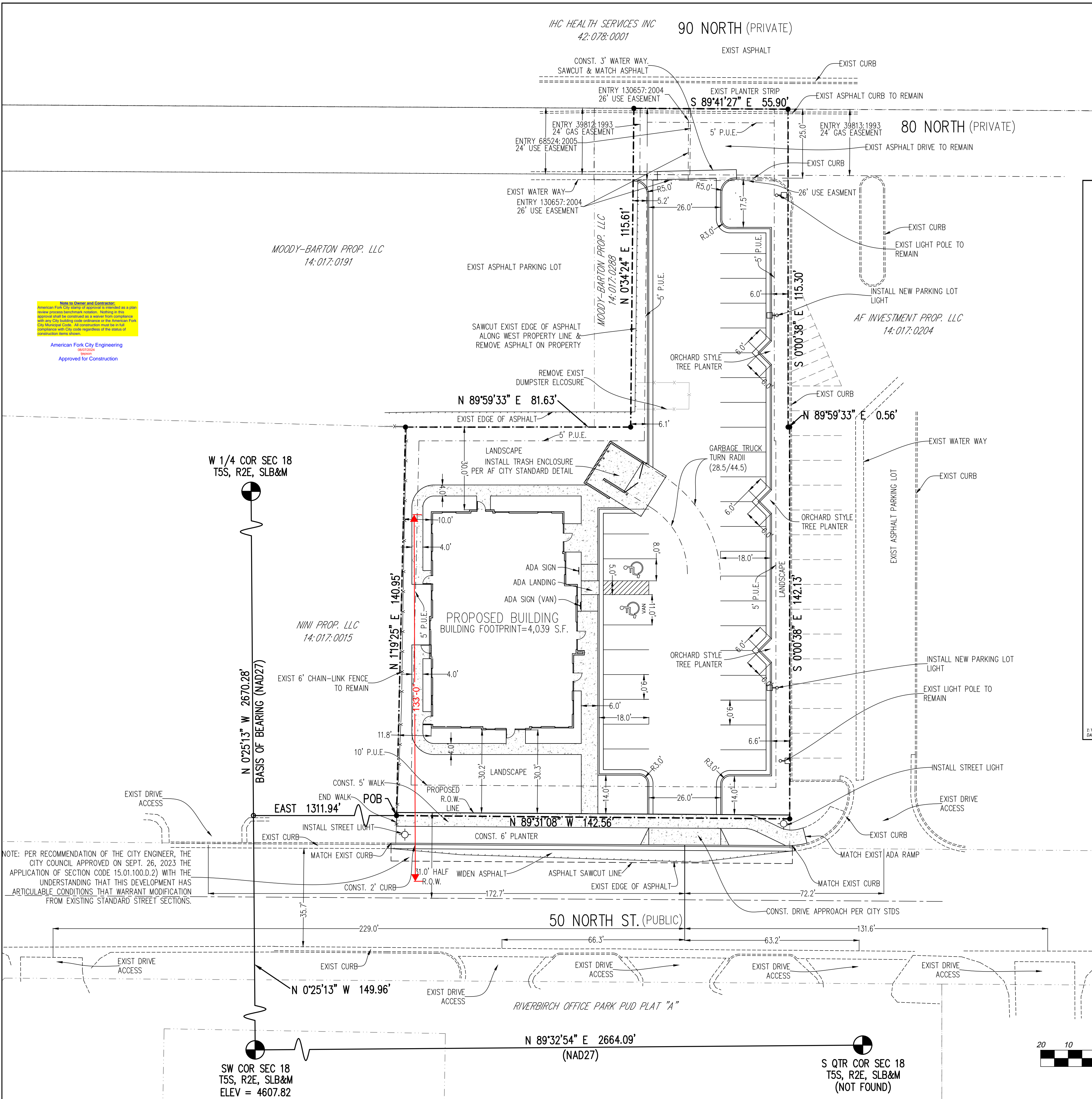
- | | |
|----|---|
| C1 | COVER SHEET |
| C2 | SITE PLAN |
| C3 | UTILITY PLAN |
| C4 | GRADING & DRAINAGE PLAN |
| C5 | EROSION CONTROL PLAN |
| C6 | BMP DETAILS |
| C7 | BMP DETAILS |
| C8 | AMERICAN FORK STANDARD CONSTRUCTION NOTES |
| C9 | DETAIL SHEET |



SURVEYOR:  AZTEC ENGINEERING INC.
732 N. 780 W.
AMERICAN FORK, UT. 84003
AZTECENGINEERING@GMAIL.COM

BENCH MARK		REVISIONS		DESERT EDGE ARCHITECTURE		SURG MEDICAL/PROFESSIONAL OFFICE BLDG.			
SOUTHWEST CORNER, SECTION 18, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4607.82		Rev.	Date	Description		720 S. RIVER ROAD BLDG D, SUITE 2100B ST. GEORGE, UT 84790		AMERICAN FORK 1141 EAST 50 NORTH UTAH	
		1	07/13/23	REVISED PER CITY COMMENTS		 David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4501, dwp@excelcivil.com		Drawn by: D.W.P.	
		2	08/17/23	REVISED PER CITY COMMENTS				Designed by: D.W.P.	
								COVER SHEET	
						Checked by: D.W.P.		Scale: NTS Date: 02/25/22 C1	



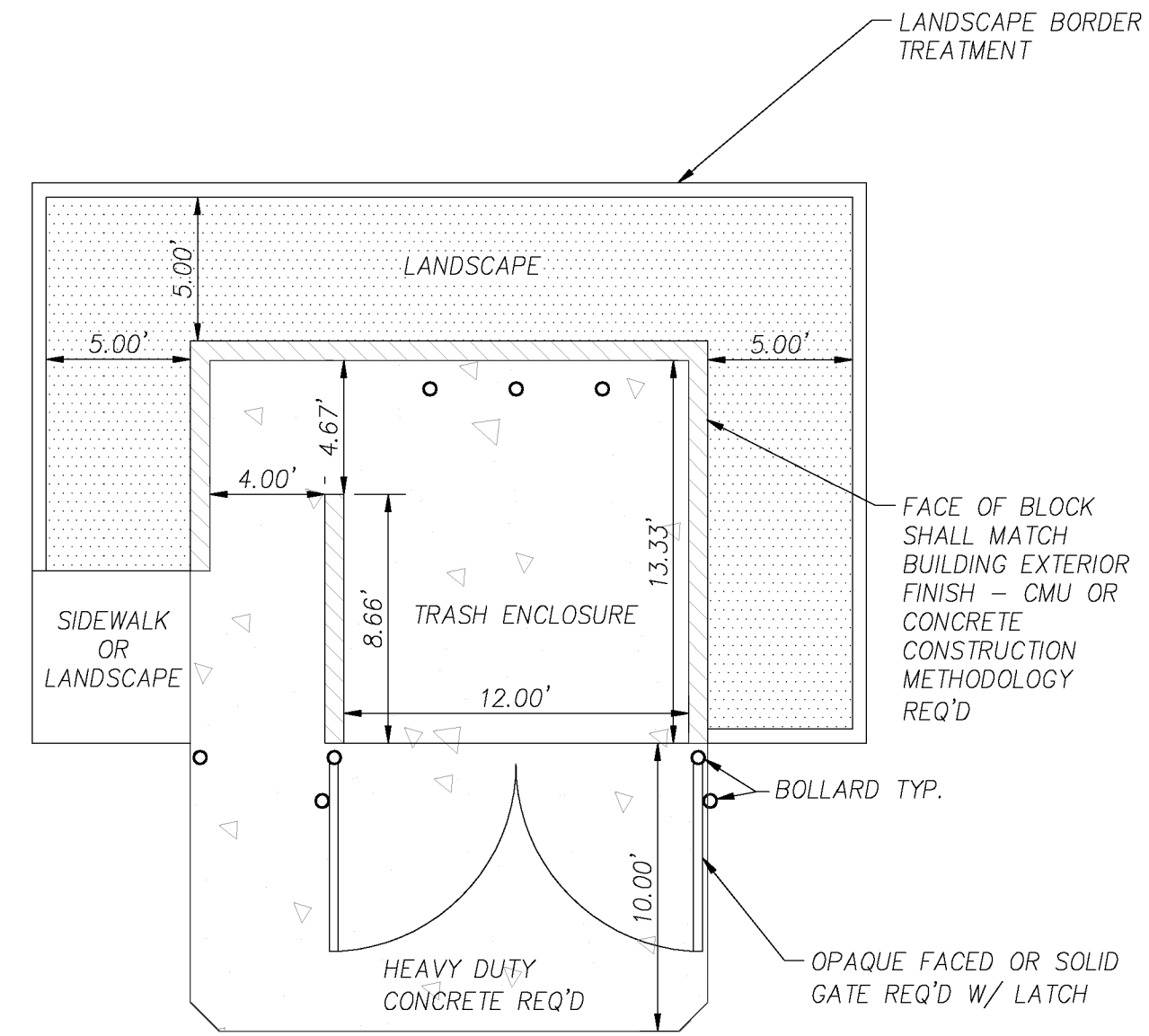


ON-SITE PAVEMENT DESIGN

3" ASPHALT
6" UNTREATED ROAD BASE*

*STABILIZATION MAY BE REQUIRED. SEE GEOTECHNICAL STUDY PREPARED BY EARTHTEC ENGINEERING PREPARED ON 2/3/2022

CITY STANDARD - DUMPSTER/ TRASH ENCLOSURE
STANDARD 17.5.121.B



- NOTES:
1. LANDSCAPE SHALL INCLUDE COMBINATION OF TREES AND SHRUBBERY TO CREATE A LANDSCAPE SCREEN FOR THE ENCLOSURE
 2. ENCLOSURE SHALL BE 6' TALL MIN.
 3. ENCLOSURE EXTERIOR FINISH SHALL MATCH THE EXTERIOR OF THE BUILDING FOR WHICH IT SUPPORTS.
 3. LANDSCAPE DIMENSIONS SHOWN ARE MINIMUMS.
 4. ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE, AS SUCH, CITY ENGINEER/CITY PLANNER SHALL HAVE THE ABILITY TO REVIEW AND RECOMMEND APPROPRIATE SIZE OF A GIVEN ENCLOSURE FOR A SPECIFIC USE.
 5. A VARIANCE FROM THE REQUIREMENT OF AN ENCLOSURE CAN BE GRANTED BY THE LAND USE AUTHORITY FOR A GIVEN ZONE IF IT CAN BE DEMONSTRATED THAT THE USE FOR THE SITE DOES NOT REQUIRE MORE THAN A TRADITIONAL CURB SIDE PICK UP CONTAINER. CURB SIDE CONTAINER MUST BE AVAILABLE IN THAT AREA TO QUALIFY FOR THIS EXCEPTION.



GENERAL SITE NOTES

1. CURRENT ZONING: PO-1
 2. ALL CONSTRUCTION TO CONFORM TO AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS.
 3. SURVEYING BY AZTEC ENGINEERING
 4. TYPE OF BUILDING: PROFESSIONAL & MEDICAL OFFICE
 5. TYPE OF OCCUPANCY: B
 6. TYPE OF CONSTRUCTION: V-B (WOOD CONSTRUCTION)
 7. BUILDINGS TOTAL SQUARE FOOTAGE:
LEVEL 1: 3,968 S.F. (3,508 S.F. GROSS AREA EXCL. STAIRS AND ELEVATORS)
LEVEL 2: 3,968 S.F. (3,508 S.F. GROSS AREA EXCL. STAIRS AND ELEVATORS)
TOTAL: 7,936 S.F. (7,016 S.F. GROSS AREA EXCL. STAIRS AND ELEVATORS)
 8. PARKING TABULATIONS:
GROSS BUILDING AREA EXCLUDING STAIRS AND ELEVATORS
PROFESSIONAL OFFICE: 4,701 S.F. @ 4 PER 1,000 = 18.8 STALLS
MEDICAL OFFICE: 2,315 S.F. @ 4.5 PER 1,000 = 10.5 STALLS
TOTAL REQUIRED PARKING STALLS: 29.3 STALLS
TOTAL PROVIDED PARKING STALLS INCLUDING 2 ADA: 32 STALLS
 9. NO FIRE SPRINKLERS ARE PROPOSED.
 10. PAVEMENT SECTION: SEE NOTE ON THIS SHEET
 11. THERE IS NO GREASE TRAP PROPOSED FOR THIS BUILDING
 12. BUILDING HEIGHT = SEE BUILDING ELEVATIONS
 13. SEE UTILITY PLAN AND LIGHTING PLAN FOR LIGHT LOCATIONS
 14. FLOOD ZONE DESIGNATION: ZONE X, FIRM MAP PANEL #: 49049C0169F
- EFFECTIVE DATE: JUNE 19, 2020.

SITE TABULATIONS:

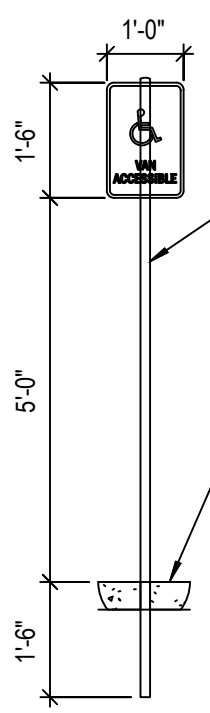
TOTAL PROPERTY AREA = 26,465 S.F.
R.O.W. AREA = 180 S.F.
RESULTING LOT AREA = 26,285 S.F. = 100%
BUILDING FOOTPRINT AREA = 4,039 S.F. = 15.4%
IMPERVIOUS AREA = 15,026 S.F. = 57.2%
LANDSCAPE AREA = 7,220 S.F. = 27.5%

BOUNDARY DESCRIPTION

SEE PLAT FOR LEGAL DESCRIPTIONS OF NORTH & SOUTH PARCEL.

NOTES TO CONTRACTOR

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ADA VAN SIGN DETAIL



SURVEYOR: AZTEC ENGINEERING INC.
732 N. 780 W.
AMERICAN FORK, UT, 84003
AZTECENGINEERING@GMAIL.COM

BENCH MARK		REVISIONS		DESERT EDGE ARCHITECTURE		SURG MEDICAL/PROFESSIONAL OFFICE BLDG.	
SOUTHWEST CORNER, SECTION 18, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4607.82		Rev.	Date	Description	720 S. RIVER ROAD BLDG D, SUITE 2100B ST. GEORGE, UT 84790	AMERICAN FORK	1141 EAST 50 NORTH
		1	07/13/23	REVISED PER CITY COMMENTS	 David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; david@excelcivil.com	UTAH	UTAH
		2	08/17/23	REVISED PER CITY COMMENTS		Drawn by: D.W.P.	Scale: 1"=20'
		3	09/27/23	REVISED PER CITY COMMENTS		Designed by: D.W.P.	Date: 02/25/22
						Checked by: D.W.P.	C2

90 NORTH (PRIVATE)

80 NORTH (PRIVATE)

Note to Owner and Contractor:
American Fork City Engineer's Office is not responsible for any errors or omissions in this plan. The user of this plan is responsible for its accuracy and for obtaining all necessary permits from the City of American Fork. All construction must be in full compliance with City Code, Department of Public Works, and Department of Engineering. The user of this plan is responsible for its accuracy and for obtaining all necessary permits from the City of American Fork. All construction must be in full compliance with City Code, Department of Public Works, and Department of Engineering. The user of this plan is responsible for its accuracy and for obtaining all necessary permits from the City of American Fork. All construction must be in full compliance with City Code, Department of Public Works, and Department of Engineering.

American Fork City Engineering
DESIGNED
APPROVED FOR CONSTRUCTION

STORM DRAIN KEYED NOTES

1. CONST. 2'X3' CATCH BASIN & 48" SDMH W/ 2'X3' GRATE & SNOUT HOOD PER AF DETAIL 15.14, TBC=4601.90, GRATE=4601.40, 8" IE IN=4599.23, 15" IE OUT=4598.65, BOTTOM OF MH=4595.52
2. CONST. 20.0 L.F. 15" ADS HP STORM @ S=1.0%
3. CONST. 5' DIA. SUMP W/ GRAVEL AREA AROUND THE OUTSIDE (SEE AF DETAIL 15.14 ON SHEET D9). GRAVEL AREA IS 22.5' WIDE X 22.5' LONG X 15" DEEP, RIM=4602.07, TOP OF GRAVEL=4600.07, 15" IE IN=4598.45, BOTTOM MANHOLE SIDES=4587.07, BOTTOM OF GRAVEL=4585.07, GROUND WATER NOT ENCOUNTERED IN TEST PIT.
4. CONST. 126.7 L.F. 8" HDPE SD PIPE @ S=1.3%
5. CONST. 10" NYLOPLAST DRAIN BASIN W/ STD. GRATE, GRATE=4603.10, 8" IE THRU=4600.93
6. CONST. 66.8 L.F. 8" HDPE SD PIPE @ S=0.8%
7. CONST. 10" NYLOPLAST DRAIN BASIN W/ STD. GRATE, GRATE=4603.75, 8" IE THRU=4601.46
8. CONST. 52.6 L.F. 8" HDPE SD PIPE @ S=0.7%
9. CONST. 10" NYLOPLAST DRAIN BASIN W/ STD. GRATE, GRATE=4604.00, 8" IE OUT=4601.83
10. INSTALL 6" ADS ROOF DRAIN PIPE @ S=1% MIN. CONNECT TO 4" ROOF DRAIN PIPE AT BUILDING. CONNECT INTO 8" PIPE WITH INSERT-A-TEE.
11. COORDINATE DOWNSPOUT/ROOF DRAIN BUILDING CONNECTION WITH MECHANICAL PLANS.

NOTE: COORDINATE WITH OWNER AND CONTRACTOR PRIOR TO INSTALLATION OF NEW GAS LINE TO BUILDING.

DEVELOPER TO INSTALL 4-WAY FUTURE PATH MICRO CONDUIT ON BEHALF OF THE CITY AND AS SPECIFIED IN THE CITY'S COMMUNICATION DESIGN STANDARDS AND ORDINANCE

PROPOSED BUILDING
BUILDING FOOTPRINT=4,039 S.F.

CONST. 31' L.F. 4" SEWER LATERAL @ S=2% MIN.

CONST. 1" P.I. SERVICE & METER EXIST. 15" SEWER (RCP)

CONST. 1.5" CUL. SERVICE & METER

EXIST. SD SUMP RIM=4601.83

EXIST. SD SUMP RIM=4601.30

EXIST. SD INLET GRATE=4600.9

EXIST. SD SUMP RIM=4603.24 FL=4591.24

EXIST. SD SUMP RIM=4601.83

EXIST. SD SUMP RIM=4601.83

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STORM DRAIN DESIGN

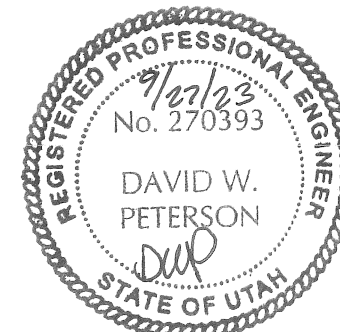
SEE KEYED NOTES ON GRADING PLAN FOR STORM DRAIN DESIGN.

UTILITY LEGEND

- FIRE HYDRANT
- 8"PH— PRESSURE IRRIG.
- 8"W— CULINARY WATER
- 8"SS— SEWER PIPE PVC SDR-35
- 15"SD— STORM DRAIN PIPE
- — — — — EDGE OF ASPHALT
- X—X— FENCE
- — — — — OVERHEAD POWER LINE
- G— GAS LINE

FIRE HYDANT NOTE

1. CONSTRUCTION TYPE = VB
2. TOTAL SQUARE FOOTAGE = 7,430 S.F.
3. REQUIRED FIRE FLOW = 2,250 GPM
4. 25% FLOW REDUCTION FOR FIRE SPRINKLERS PROVIDED IN ONE BUILDING = 1,690 GPM
5. HYDRANTS REQUIRED FOR 1,690 GPM = 1
6. THE EXISTING FIRE HYDRANT AT THE NORTHEAST CORNER SATISFIES THIS REQUIREMENT.



SURVEYOR: **AZTEC ENGINEERING INC.**
732 N. 780 W.
AMERICAN FORK, UT. 84003
AZTECENGINEERING@GMAIL.COM

BENCH MARK

SOUTHWEST CORNER, SECTION 18,
TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN
ELEVATION = 4607.82

REVISIONS

Rev.	Date	Description
1	07/13/23	REVISED PER CITY COMMENTS
2	08/17/23	REVISED PER CITY COMMENTS

DESERT EDGE ARCHITECTURE

720 S. RIVER ROAD BLDG D, SUITE 2100B
ST. GEORGE, UT 84790



David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

SURG MEDICAL/PROFESSIONAL OFFICE BLDG.

AMERICAN FORK 1141 EAST 50 NORTH UTAH

Drawn by:

D.W.P.

Designed by:

D.W.P.

Checked by:

D.W.P.

UTILITY PLAN

Scale:

1"=20'

Date:

02/25/22

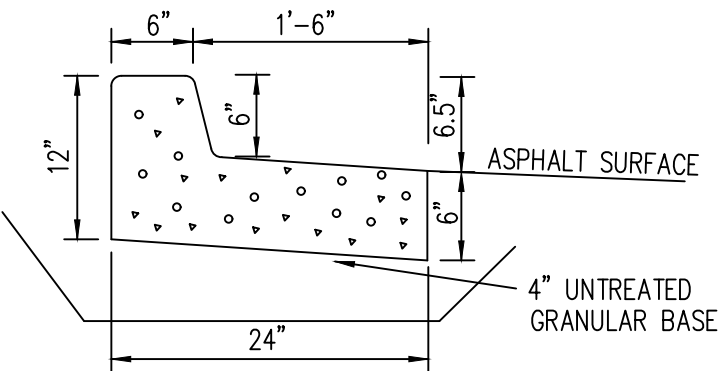
C3

ROOF DRAINAGE NOTE

ROOF DRAIN LOCATIONS ARE SHOWN ON THIS PLAN

STORM DRAIN KEYED NOTES

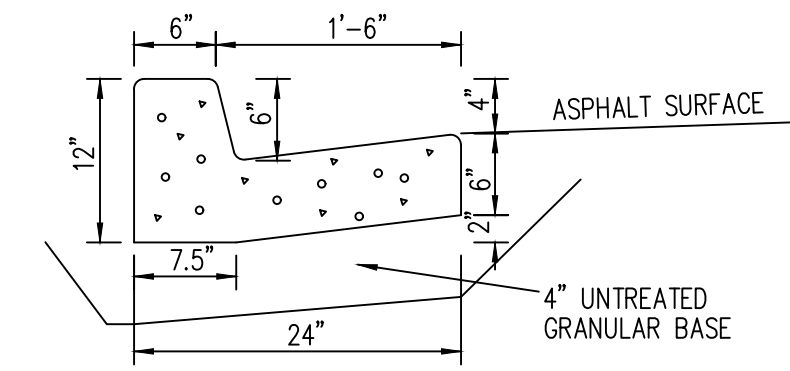
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2. CONST. 20.0 L.F. 15" ADS HP STORM @ S=1.0%
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4" UNTREATED GRANULAR BASE UNDER CURB
EXTENDING 6" Laterally in front and back
COMPACT TO 95% DENSITY ASTM D 1557-78

ON-SITE SPILL CURB

NOT TO SCALE



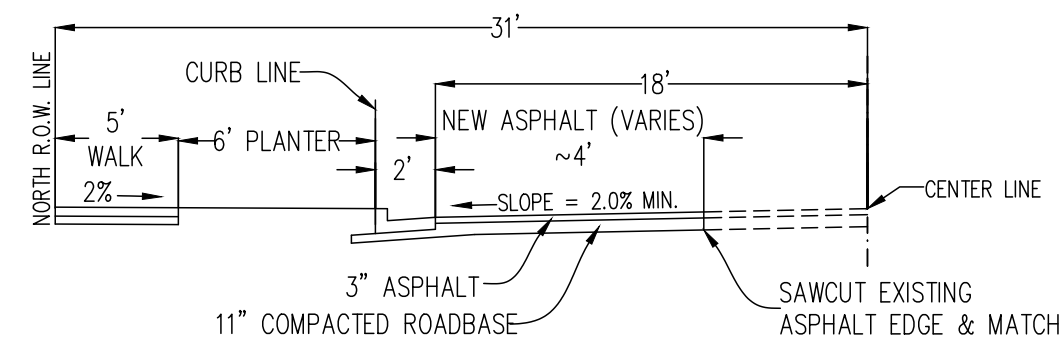
4" UNTREATED GRANULAR BASE UNDER CURB
EXTENDING 6" Laterally in front and back
COMPACT TO 95% DENSITY ASTM D 1557-78

ON-SITE CARRY CURB

NOT TO SCALE

GRADING LEGEND

FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RIM	RIM ELEVATION
FL	FLOWLINE
EG	EXIST GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
IE	INVERT ELEVATION
<0.00%	DIRECTION OF DRAINAGE
X (00.00)	EXISTING ELEVATION
00.00/TBC	PROPOSED ELEVATION
4600	EXISTING CONTOUR
10	PROPOSED CONTOUR
10	STORM DRAIN KEYED NOTE
X	CARRY CURB (OTHER CURB IS SPILL)



50 NORTH 62' STREET HALF SECTION

NOT TO SCALE

ON-SITE PAVEMENT DESIGN

3" ASPHALT
6" UNTREATED ROAD BASE*

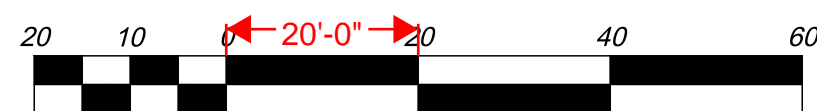
*STABILIZATION MAY BE REQUIRED. SEE GEOTECHNICAL STUDY PREPARED BY EARTHTEC ENGINEERING PREPARED ON 2/3/2022

RECOMMENDATION OF THE CITY ENGINEER, THE CITY COUNCIL APPROVED ON SEPT. 26, 2023 THE TION OF SECTION CODE 15.01.100.D.2) WITH THE UNDERSTANDING THAT THIS DEVELOPMENT HAS ABLE CONDITIONS THAT WARRANT MODIFICATION FROM EXISTING STANDARD STREET SECTIONS.

SURVEYOR: **AZTEC ENGINEERING INC.**
732 N. 780 W.
AMERICAN FORK, UT. 84003
AZTECENGINEERING@GMAIL.COM

BENCH MARK

SOUTHWEST CORNER, SECTION 18,
TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN
ELEVATION = 4607.82



Scale 1" = 20'

REVISIONS

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DESERT EDGE ARCHITECTURE

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12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@desertedge.com

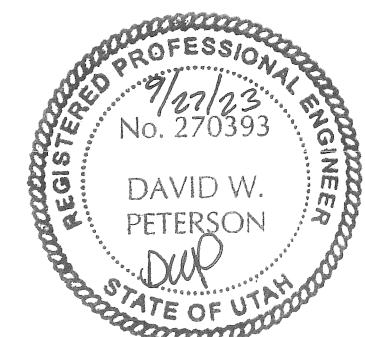
SURG MEDICAL/PROFESSIONAL OFFICE BLDG.

AMERICAN FORK 1141 EAST 50 NORTH UTAH

Drawn by:
D.W.P.
Designed by:
D.W.P.
Checked by:
D.W.P.

GRADING & DRAINAGE PLAN

Scale:
1"=20'
Date:
02/25/22
C4



Know what's below.
Call before you dig.

SURG MEDICAL/PROFESSIONAL OFFICE BLDG.

ADDRESS: 1141 EAST 50 NORTH

SITUATED IN THE SOUTHWEST QUARTER
OF SECTION 18, TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN
AMERICAN FORK, UTAH COUNTY, UTAH

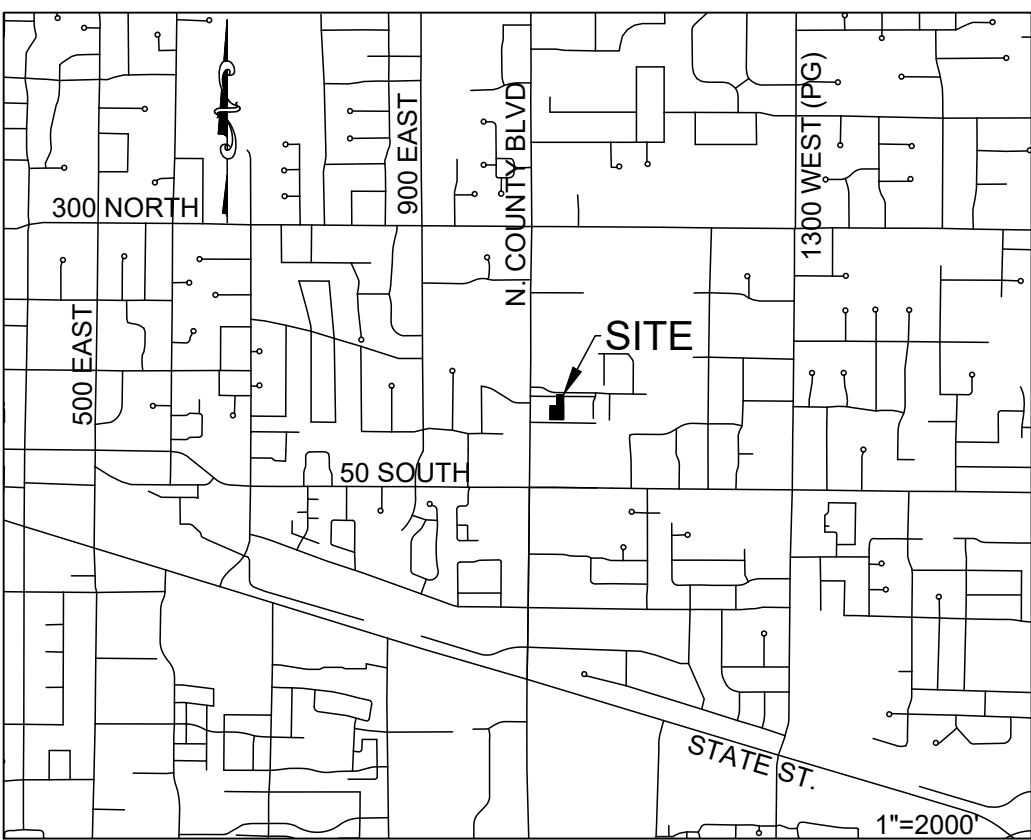
PERCOLATION RATE: 25 MINUTES PER INCH

DISTURBED AREA = 0.61 ACRES (ENTIRE SITE)

C-VALUE BEFORE CONSTRUCTION = 0.35
C-VALUE AFTER CONSTRUCTION = 0.68

NOTE: CIVIL ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE
IMPLEMENTATION OF THIS PLAN DURING CONSTRUCTION. SUCH
RESPONSIBILITY IS SOLELY THE CONTRACTOR'S.

VICINITY MAP



SWPPP CONTACT LIST:

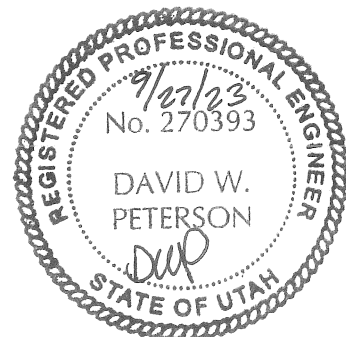
COMPANY	CONTACT	PHONE
AF STORM DRAIN SEWER	Ashton Hardy	(801) 404 6162
AF STORM WATER INSPECTOR	Harlan Nielson	(801) 404 6361
AF FLOOD IRRIGATION COMPANY	Ernie Johns	(801) 756 6626
TIMPANOGOS SPECIAL SERVICE DISTRICT	David Barlow	(801) 756 5231
MITCHELL HOLLOW IRRIGATION	Dale Jones	(801) 768 8150

SITE OPERATOR IS RESPONSIBLE FOR THE FOLLOWING:

- SUBMITTING A NOTICE OF INTENT (NOI) TO THE UTAH STATE DIVISION OF WATER QUALITY. A COPY OF THE NOI MUST BE SUBMITTED TO AMERICAN FORK CITY.
- SUBMITTING A SWPPP DOCUMENT TO AMERICAN FORK CITY FOR APPROVAL BEFORE CONSTRUCTION.
- OBTAIN A LAND DISTURBANCE PERMIT FROM AMERICAN FORK CITY AT LEAST 15 DAYS PRIOR TO CONSTRUCTION.

SWMP CERTIFICATION STATEMENT

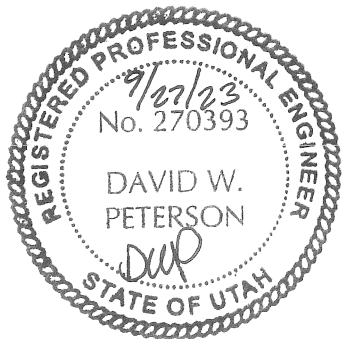
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



PE STAMP, SIGN AND DATE

EROSION CONTROL NOTES:

- CONSTRUCT A SILT FENCE AS SHOWN ON PLAN. SEE BMP SF.
- INSTALL SEDIMENT TRAP IN FRONT OF ALL SILT FENCES. SEE BMP ST.
- CONST. A 15'X50'X2' DEEP COBBLE VEHICLE TRACKING CONTROL AREA AS SHOWN ON PLAN. SEE BMP SCEWA
- INSTALL CONCRETE WASH OUT AREA. SEE BMP CWM
- INSTALL GARBAGE CONTAINER. SEE BMP WD
- INSTALL PORTABLE TOILET. SEE BMP PT
- INSTALL MATERIALS STORAGE AREA. SEE BMP MS
- CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.
- CONTRACTOR TO WATER SITE AT LEAST WEEKLY OR MORE FREQUENTLY AS NEEDED TO CONTROL DUST POLLUTION.
- SWEEP STREET AND PARKING LOT. SEE BMPS DC & PLV
- INSTALL LANDSCAPING. SEE BMP TPS
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE BMP'S. CONTACT DEVELOPER FOR CONTRACTOR INFORMATION.



Know what's below.
Call before you dig.

SWPPP Storm Water Pollution Prevention Plan

A Utah Pollutant Discharge Elimination System (UPDES) permit covers this construction site. If any Non-Storm water discharge or severe vehicle tracking occurs please call 420-1272.

Project Name: 123abc

SWPPP Location: ABC Company Construction Trailer
100 W Center

SWPPP Contact: John Doe
XYZ Environmental
801-111-2233

minimum sign dimension 3'x4'

NOI 8.5'x 11"	NOI 8.5'x 11"
------------------	------------------

SWPPP Drawing
17'x 22'

BENCH MARK

SOUTHWEST CORNER, SECTION 18,
TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN
ELEVATION = 4607.82

REVISIONS

Rev.	Date	Description
1	07/13/23	REVISED PER CITY COMMENTS
2	08/17/23	REVISED PER CITY COMMENTS

DESERT EDGE ARCHITECTURE

720 S. RIVER ROAD BLDG D, SUITE 2100B
ST. GEORGE, UT 84790



David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@excivil.com

SURG MEDICAL/PROFESSIONAL OFFICE BLDG.

AMERICAN FORK 1141 EAST 50 NORTH UTAH

Drawn by:

D.W.P.

Designed by:

D.W.P.

Checked by:

D.W.P.

EROSION CONTROL PLAN

Scale:

1"=20'

Date:

02/25/22

C5

SURVEYOR:




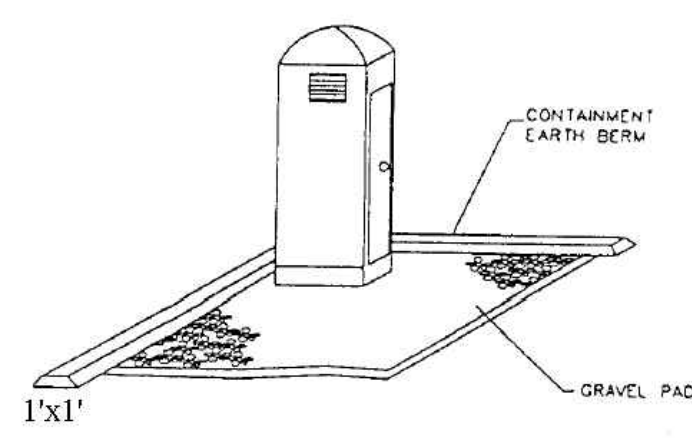


AZTEC ENGINEERING INC.

732 N. 780 W.
AMERICAN FORK, UT. 84003
AZTECENGINEERING@GMAIL.COM

Note to Owner and Contractor:
American Fork City stamp of approval is intended as a plan check approval only and does not constitute a warranty. The approval shall be construed as a notice of compliance with the City code and does not constitute a warranty of the accuracy of the information provided. All construction shall be in accordance with City code regardless of the date of construction plan review.

American Fork City Engineering
Approved for Construction

<div>BMP: Dust Controls</div> <div></div> <div><p>OBJECTIVES</p><ul style="list-style-type: none">Housekeeping PracticesContain WasteMinimize Disturbed AreasStabilize Disturbed AreasProtect Slopes/ChannelsControl Site PerimeterControl Internal Erosion</div> <div><p>DESCRIPTION:</p><p>Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.</p></div> <div><p>APPLICATION:</p><p>Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.</p></div> <div><p>INSTALLATION/APPLICATION CRITERIA:</p><ul style="list-style-type: none">Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.Water may be sprayed on the ground surface to moisten dry soils, making it less susceptible to wind erosion.</div> <div><p>LIMITATIONS:</p><ul style="list-style-type: none">Street sweeping is labor and equipment intensive and may not be effective for all pollutants.Water sprayed from water trucks must be done at a rate such that the water is absorbed in the soil; if excessive amounts of water are used, it may run off, carrying soil with it.</div> <div><p>MAINTENANCE:</p><p>If excess water results from water spraying, dust-contaminated waters should not be allowed to run off site. Areas may need to be resprayed to keep dust from spreading.</p></div> <div><p>Adapted from Salt Lake County BMP Fact Sheet</p></div> <div><p>TARGETED POLLUTANTS</p><ul style="list-style-type: none">SedimentNutrientsToxic MaterialsOil & GreaseFloatable MaterialsOther Waste</div> <div><p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p></div>	<div>DC</div> <div>BMP: Parking Lot Sweeping/Vacuuming</div> <div></div> <div><p>PROGRAM ELEMENTS</p><ul style="list-style-type: none">New DevelopmentResidentialCommercial ActivitiesIndustrial ActivitiesMunicipal FacilitiesIllegal Discharges</div> <div><p>DESCRIPTION:</p><p>Reduce the discharges of pollutants to stormwater from parking lot surfaces by conducting parking lot cleaning on a regular basis.</p></div> <div><p>APPROACH:</p><ul style="list-style-type: none">Restrict parking prior to and during sweeping.Establish frequency of sweeping based on anticipated need and observations of debris or sediment accumulationIncrease sweeping frequency just before the rainy season.Lots that generate greater amounts of debris or sediment must be swept more frequently. These include lots associated with or adjacent to recreational, commercial, or industrial areas, or other areas of high vehicle or pedestrian traffic.Manually remove debris from corners or other areas of the parking lot that equipment cannot reach.Keep accurate operation logs to track programs.Equipment selection can be key for this particular BMP. There are two types used, the mechanical broom sweepers (more effective at picking up large debris and cleaning wet streets), and the vacuum sweepers (more effective at removing fine particles and associated heavy metals). It may be useful to have the ability to use both kinds.</div> <div><p>LIMITATIONS:</p><ul style="list-style-type: none">Conventional sweepers are not able to remove oil and grease.Mechanical sweepers are not effective at removing finer sediments.Effectiveness may also be limited by parking lot conditions, presence of parked vehicles, presence of construction projects, climatic conditions and condition of curbs.</div> <div><p>MAINTENANCE:</p><ul style="list-style-type: none">Acquisition and maintenance of equipment is generally handled by the company hired to perform the sweeping/vacuuming.</div> <div><p>TARGETED POLLUTANTS</p><ul style="list-style-type: none">SedimentNutrientsHeavy MetalsToxic MaterialsOxygen Demanding SubstancesOil & GreaseFloatable MaterialsBacteria & Viruses</div> <div><p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p></div> <div><p>PLSV</p></div>	<div>TPS</div> <div>BMP: Temporary and Permanent Seeding</div> <div></div> <div><p>OBJECTIVES</p><ul style="list-style-type: none">Housekeeping PracticesContain WasteMinimize Disturbed AreasStabilize Disturbed AreasProtect Slopes/ChannelsControl Site PerimeterControl Internal Erosion</div> <div><p>DEFINITION:</p><p><u>Temporary seeding</u> - establishment of short term cover by application of rapidly germinating seed mix (alternatively hydroseeding may be utilized).</p><p><u>Permanent seeding</u> - establishment of final term cover by application of perennial seed mix (alternatively sod may be utilized).</p></div> <div><p>APPLICATION:</p><p>Disturbed areas that are at final grade and which will not be disturbed by continuing activities on site. Also areas that are not at final grade but which will be left untouched in excess of one year.</p></div> <div><p>RECOMMENDED SEED MIX:</p><p>The recommended seed mix will be dependent on site specific information such as elevation, exposure, soils, water available and topography. Check with the County Extension Service for recommended mixes for site specific conditions:</p><p>Utah State University Extension Service 51 South University Avenue, Suite 206 Provo, Utah 84601 phone (801) 370-8460</p></div> <div><p>LIMITATIONS:</p><ul style="list-style-type: none">Limited to areas that will not be subject to traffic or high usage.May require irrigation and fertilizer which creates potential for impacting runoff quality.May only be applied during appropriate planting season; temporary cover required until that time.</div> <div><p>INSTALLATION:</p><ul style="list-style-type: none">Roughen soil to a depth of 2 inches. Add fertilizer, manure, topsoil as necessary.Evenly distribute seed using a commonly accepted method such as broadcast seeding, drilling or hydroseeding.Use a seed mix appropriate for soil and location that will provide rapid germination and growth. Check with County Extension Service for recommended mix and application rate.Cover area with mulch if required due to steep slopes or unsuitable weather conditions.</div> <div><p>MAINTENANCE:</p><ul style="list-style-type: none">Provide irrigation as required to establish growth and to maintain plant cover through duration of project.Reseed as necessary to provide 75% coverageRemediate any areas damaged by erosion or traffic.When 75% coverage is achieved inspect monthly for damage and remediate as necessary.</div> <div><p>Adapted from Salt Lake County BMP Fact Sheet</p></div> <div><p>TARGETED POLLUTANTS</p><ul style="list-style-type: none">SedimentNutrientsToxic MaterialsOil & GreaseFloatable MaterialsOther Waste</div> <div><p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p></div>	<div>TPS</div> <div>BMP: Portable Toilets</div> <div></div> <div><p>OBJECTIVES</p><ul style="list-style-type: none">Housekeeping PracticesContain WasteMinimize Disturbed AreasStabilize Disturbed AreasProtect Slopes/ChannelsControl Site PerimeterControl Internal Erosion</div> <div><p>DESCRIPTION:</p><p>Temporary onsite sanitary facilities for construction personnel.</p></div> <div><p>APPLICATION:</p><p>All sites with no permanent sanitary facilities or where permanent facility is too far from activities.</p></div> <div><p>INSTALLATION/APPLICATION CRITERIA:</p><ul style="list-style-type: none">Locate portable toilets in convenient locations throughout the site.Prepare level, gravel surface and provide clear access to the toilets for servicing and for onsite personnel.Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.Stake toilets to prevent them from tipping.</div> <div><p>LIMITATIONS:</p><p>No limitations.</p></div> <div><p>MAINTENANCE:</p><ul style="list-style-type: none">Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.Regular waste collection should be arranged with licensed service.All waste should be deposited in sanitary sewers system for treatment with appropriate agency approval.</div> <div><p>Adapted from Salt Lake County BMP Fact Sheet</p></div> <div><p>TARGETED POLLUTANTS</p><ul style="list-style-type: none">SedimentNutrientsToxic MaterialsOil & GreaseFloatable MaterialsOther Waste</div> <div><p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p></div> <div><p>PT</p></div>																																
<div>BMP: Stabilized Construction Entrance and Wash Area</div> <div></div> <div><p>OBJECTIVES</p><ul style="list-style-type: none">Housekeeping PracticesContain WasteMinimize Disturbed AreasStabilize Disturbed AreasProtect Slopes/ChannelsControl Site PerimeterControl Internal Erosion</div> <div><p>DESCRIPTION:</p><p>A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface. The area can be used to spray off vehicles before they leave the site.</p></div> <div><p>APPLICATIONS:</p><p>At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.</p></div> <div><p>INSTALLATION/APPLICATION CRITERIA:</p><ul style="list-style-type: none">Clear and grub area and grade to provide maximum slope of 2%.Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.Provide water to the area that can be used to spray off vehicles as needed to prevent the tracking of mud off the construction site. This may not be needed during dry periods of work, but is needed when construction is proceeding under wet conditions.Provide berming as needed to prevent sediment laden wash water from entering storm water facilities or other water bodies, or leaving the site.</div> <div><p>LIMITATIONS:</p><ul style="list-style-type: none">Requires periodic top dressing with additional stones.Should be used in conjunction with street sweeping on adjacent public right-of-way.Must be situated such that waste water does not run off site.</div> <div><p>MAINTENANCE:</p><ul style="list-style-type: none">Inspect daily for loss of gravel or sediment buildup.Inspect adjacent roadway for sediment deposit and clean by shoveling and sweeping.Repair entrance and replace gravel as required to maintain control in good working condition.Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.</div> <div><p>Adapted from Salt Lake County BMP Fact Sheet</p></div> <div><p>TARGETED POLLUTANTS</p><ul style="list-style-type: none">SedimentNutrientsToxic MaterialsOil & GreaseFloatable MaterialsOther Waste</div> <div><p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p></div>	<div>SCEWA</div> <div>BMP: Silt Fence</div> <div></div> <div><p>OBJECTIVES</p><ul style="list-style-type: none">Housekeeping PracticesContain WasteMinimize Disturbed AreasStabilize Disturbed AreasProtect Slopes/ChannelsControl Site PerimeterControl Internal Erosion</div> <div><p>DESCRIPTION:</p><p>A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.</p></div> <div><p>APPLICATION:</p><ul style="list-style-type: none">Perimeter control; place barrier at downgradient limits of disturbanceSediment barrier; place barrier at toe of slope or soil stockpileProtection of existing waterways; place barrier near top of stream bankInlet protection; place fence surrounding catchbasins</div> <div><p>INSTALLATION/APPLICATION CRITERIA:</p><ul style="list-style-type: none">Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.Secure wire mesh (14 gage min. With 6 inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.Cut fabric to required width; unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.Backfill trench over filter fabric to anchor.</div> <div><p>LIMITATIONS:</p><ul style="list-style-type: none">Recommended maximum drainage area of 0.5 acre per 100 feet of fenceRecommended maximum upgradient slope length of 150 feetRecommended maximum uphill grade of 2:1 (50%)Recommended maximum flow rate of 0.5 cfsPonding should not be allowed behind fence</div> <div><p>MAINTENANCE:</p><ul style="list-style-type: none">Inspect immediately after any rainfall and at least daily during prolonged rainfall.Look for runoff bypassing ends of barriers or undercutting barriers.Repair or replace damaged areas of the barrier and remove accumulated sediment.Reanchor fence as necessary to prevent shortcutting.Remove accumulated sediment when it reaches ½ the height of the fence.</div> <div><p>Adapted from Salt Lake County BMP Fact Sheet</p></div> <div><p>TARGETED POLLUTANTS</p><ul style="list-style-type: none">SedimentNutrientsToxic MaterialsOil & GreaseFloatable MaterialsOther Waste</div> <div><p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p></div>	<div>PLSV</div> <div>REVISIONS</div> <table><tr><th>Rev.</th><th>Date</th><th>Description</th></tr><tr><td>1</td><td>07/13/23</td><td>REVISED PER CITY COMMENTS</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table> <div><p>DESERT EDGE ARCHITECTURE</p><p>720 S. RIVER ROAD BLDG D, SUITE 2100B ST. GEORGE, UT 84790</p><p>EXCE ENGINEERING</p><p>David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; david@excecivil.com</p></div> <div><p>SURG MEDICAL/PROFESSIONAL OFFICE BLDG.</p><p>AMERICAN FORK 1141 EAST 50 NORTH UTAH</p><p>Drawn by: D.W.P. Designed by: D.W.P. Checked by: D.W.P.</p><p>Scale: NTS Date: 02/25/22 C6</p></div> <div><p>DAVID W. PETERSON REGISTERED PROFESSIONAL ENGINEER No. 270393 STATE OF UTAH</p></div>	Rev.	Date	Description	1	07/13/23	REVISED PER CITY COMMENTS																											
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1. The City of American Fork, A.P.W.A., Utah Chapter and Utah Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise modified. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of American Fork Item Numbers unless otherwise noted.
2. The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to contract documents.
3. The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Road Cut Permits and Notices of Intent (NOI), Building Permits, etc.
4. The Contractor shall notify the City of American Fork, Public Works Department in writing at least 7 working days prior to beginning construction and request a pre-construction meeting. Bond for public improvements and inspection fees must be paid in full prior to requesting a pre-construction meeting.
5. The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
6. Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the City of American Fork, Public Works Department, that documents "as _ built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the constructions drawings.
7. The Contractor shall restrict construction activity to public right-of-way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.
8. The Contractor shall carefully preserve benchmarks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by a License Utah Professional Surveyor as approved by the City Engineer.
9. Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
10. The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or watercourses that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction.
11. Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.
12. Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) must be approved by the City Engineer.
13. All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
14. All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
15. All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of American Fork. Precast concrete products without proof of inspection shall not be approved for installation.
16. All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely plated during nonworking hours.
17. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean up shall follow closely behind the trenching operation.
18. All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6 – inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater.
19. Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.
20. Permits to construct in the right-of-way of existing streets must be obtained from the City of American Fork, Public Works Department before commencing construction.
21. The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
22. Pavements shall be cut in neat, straight lines the full depth of the existing pavement, or as required by the City Engineer.
23. The replacement of driveways, handicapped ramps, sidewalks, bike paths, parking lot pavement, etc. shall be provided according to the approved construction drawings and the City of American Fork standard construction drawings.
24. Any modification to the work shown on drawings must have prior written approval by the City Engineer.
25. Traffic control and other regulatory signs shall comply with the Utah Department of Transportation Traffic Control guidelines and MUTCD Manual, current edition
26. Public street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a green background.
27. Private street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a blue background

COMPANY	CONTACT	PHONE
CENTURY LINK	- TELEPHONE	(435) 623 4252
ROCKY MNT. POWER	- POWER	(801) 756 1310
COMCAST	- CABLE	(801) 311 3017
COMCAST	- FIBER TEL	(801) 368 7360
QUESTAR GAS	- GAS (FOREMAN)	(801) 853 8153
QUESTAR GAS	- GAS (HP)	(801) 370 6577
DOMINION ENERGY	- GAS	(801) 853 6548
AMERICAN FORK CITY	- WATER	(801) 763 3060
AMERICAN FORK CITY	- SEWER	(801) 763 3060
AMERICAN FORK CITY	- STORM	(801) 763 3060
AMERICAN FORK CITY	- SWPPP	(801) 763 3060
AMERICAN FORK CITY	- P.I.	(801) 763 3060
AMERICAN FORK CITY	- PLANNING	(801) 763 3060
AMERICAN FORK CITY	- ENGINEERING	(801) 763 3060
AMERICAN FORK CITY	- INSPECTOR	(801) 763 3060
FIRE MARSHALL	- FIRE DEPT	(801) 763 3045
AF FIBER		(801) 400-2933
AF FLOOD IRRIGATION COMPANY		(801) 471 6576
FIRE & RESCUE		911
TIMPANOGOS SPECIAL SERVICE DISTRICT	DAVID BARLOW	(801) 756 5231

1. Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Utah Department Of Transportation, Traffic Control guidelines or Manual of Uniform Traffic Control Devices, current edition.
2. All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer.
3. At all other hours the Contractor shall maintain minimum one — lane two — way traffic. Traffic circulation must be supervised by a Certified Flagger.
4. Steady — burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
5. Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles.
6. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein.
7. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.
8. Traffic Control requiring road closures and/ or detouring must be approved by the City Council.

3. The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Utah DWQ.
4. The NOI must be submitted to DWQ 45 days prior to the start of construction and may entitle coverage under the Utah DWQ General Permit for Storm Water Discharges associated with construction activity. A project location map must be submitted with the NOI.
5. A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosion control plan has not already been included with the approved construction drawings. This plan must be made available at the project site at all times.
6. A UPDES Storm water Discharge Permit may be required. The Contractor shall be considered the Permittee.
7. The Contractor shall provide sediment control at all points where storm water runoff leaves the site, including waterways, overland sheet flow, and storm sewers.
8. Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
9. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
10. Disturbed areas that will remain un-worked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance.
11. Other sediment controls that are installed shall be maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.

1. All water line materials shall be provided and installed according to current specifications of the City of American Fork, Water Department.
2. All public water pipe with a diameter 3 inches to 8 inches shall be Ductile Iron, Class 53. Public water pipe 12 inches in diameter or larger shall be Ductile Iron, Class 54.
3. Only fire hydrants conforming to City of American Fork standards will be approved for use.
4. Public water lines shall be disinfected by the City of American Fork, Water Department. Requests for water line chlorination shall be made through the City of American Fork, Water Department. The cost for chlorination shall be paid for by the Contractor.
5. All water lines shall be disinfected according to City of American Fork Standard specifications. Special attention is directed to applicable sections of American Water Works Association specification C-651, particularly for flushing (Section 5) and for chlorinating valves and fire hydrants (Section 7).
6. Pressure testing shall be performed in accordance with the City of American Fork Construction and Material Specifications. When water lines are ready for disinfection, the Contractor shall submit two (2) sets of "as-built" plans, and a letter stating that the water lines have been pressure tested and need to be disinfected, to the City of American Fork, Water Department.
7. The Contractor shall be responsible for all costs associated with the disinfection of all water lines construction per this plan. Pressure testing shall be performed in accordance with the City of American Fork, Construction and Material Specifications.
8. The Contractor shall paint all fire hydrants according to City of American Fork standards. The cost of painting fire hydrants shall be included in the contract unit price for fire hydrants.
9. No water taps or service connections (e.g., to curb stops or meter pits) may be issued until adjacent public water lines serving the construction site have been disinfected by the City of American Fork, Water Department and have been accepted by the Public Works Department.
10. The Contractor shall notify the City of American Fork, Water Department at (801) 763-3060 at least 24 hours before tapping into existing water lines.

1. Sanitary sewage collection systems shall be constructed in accordance with the rules, regulations, standards and specifications of the City of American Fork, Public Works Department and the Utah Department of Health Code and Regulations.
2. The minimum requirements for sanitary sewer pipe with diameters 15 inches and smaller shall be reinforced concrete pipe ASTM C76 Class 3, or PVC sewer pipe ASTM D3034, SDR 35.
3. Pipe for 6-inch diameter house service lines shall be PVC pipe ASTM D3034, SDR 35. PVC pipe shall not be used at depths greater than 28 feet. Pipe materials and related structures shall be shop tested in accordance with City of American Fork Construction Inspection Division quality control requirements.
4. All manhole lids shall be provided with continuous self-sealing gaskets.
5. The approved construction drawings shall show where bolt-down lids are required.
6. Sanitary sewer manholes shall be precast concrete or as approved by the City Engineer and conform to the City of American Fork sanitary manhole standard drawing. Manhole lids shall include the word SEWER.
7. All PVC sewer pipes shall be deflection tested no less than 60 days after completion of backfilling operations.
8. At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sewer system prior to final acceptance by the City. This work shall be completed by the Contractor at his expense.
9. Visible leaks or other defects observed or discovered during TV inspection shall be repaired to the satisfaction of the Engineer.
10. Roof drains, foundation drains, field tile or other clean water connections to the sanitary sewer system are strictly prohibited according to the American Fork Code of Ordinances.
11. All water lines shall be located at least 10 feet horizontally and 18 inches vertically, from sanitary sewers and storm sewers, to the greatest extent practicable.
12. Where sanitary sewers cross water mains or other sewers or other utilities, trench backfill shall be placed between the pipes crossing and shall be compacted granular material according to the City Standard Specifications. In the event that a water line must cross within 18 inches of a sanitary sewer, the sanitary sewer shall be concrete encased or consist of ductile iron pipe material.
13. Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price bid for the related items.
14. The Contractor shall furnish all material, equipment, and labor to make connections to existing manholes.
15. All sewer lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of sewer line.

1. All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro ____ seeded and hydro ____ mulched according to the City of American Fork Standard Specifications.
2. Where private storm sewers connect to public storm sewers, the last run of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
3. Granular backfill shall be compacted granular material according to American Fork City Standard Specifications.
4. All public storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
5. Headwalls and end walls shall be required at all storm sewer inlets or outlets to and from storm water management facilities. Natural stone and/or brick approved by the City Engineer shall be provided on all visible headwalls and/or end walls surfaces.
6. Storm inlets or catch basins shall be channelized and have bicycle safety grates. Manhole lids shall include the word STORM.
7. Storm sewer outlets greater than 18 inches in diameter accessible from storm water management facilities or watercourses shall be provided with safety grates, as approved by the City Engineer.
8. A minimum cover of 24" shall be provided over PVC storm drain pipe.


1. All striping must be done following Utah Department of Transportation guidelines and MUTCD Manual recommendations, current edition.
2. All signing must be done following MUTCD Manual recommendations, current edition.
3. Only sand-blasting is allowed for removal of existing striping.
4. Contractor is responsible for removal of conflicting existing striping.
5. Materials used for striping must comply with the Utah Department of Transportation standard specifications.

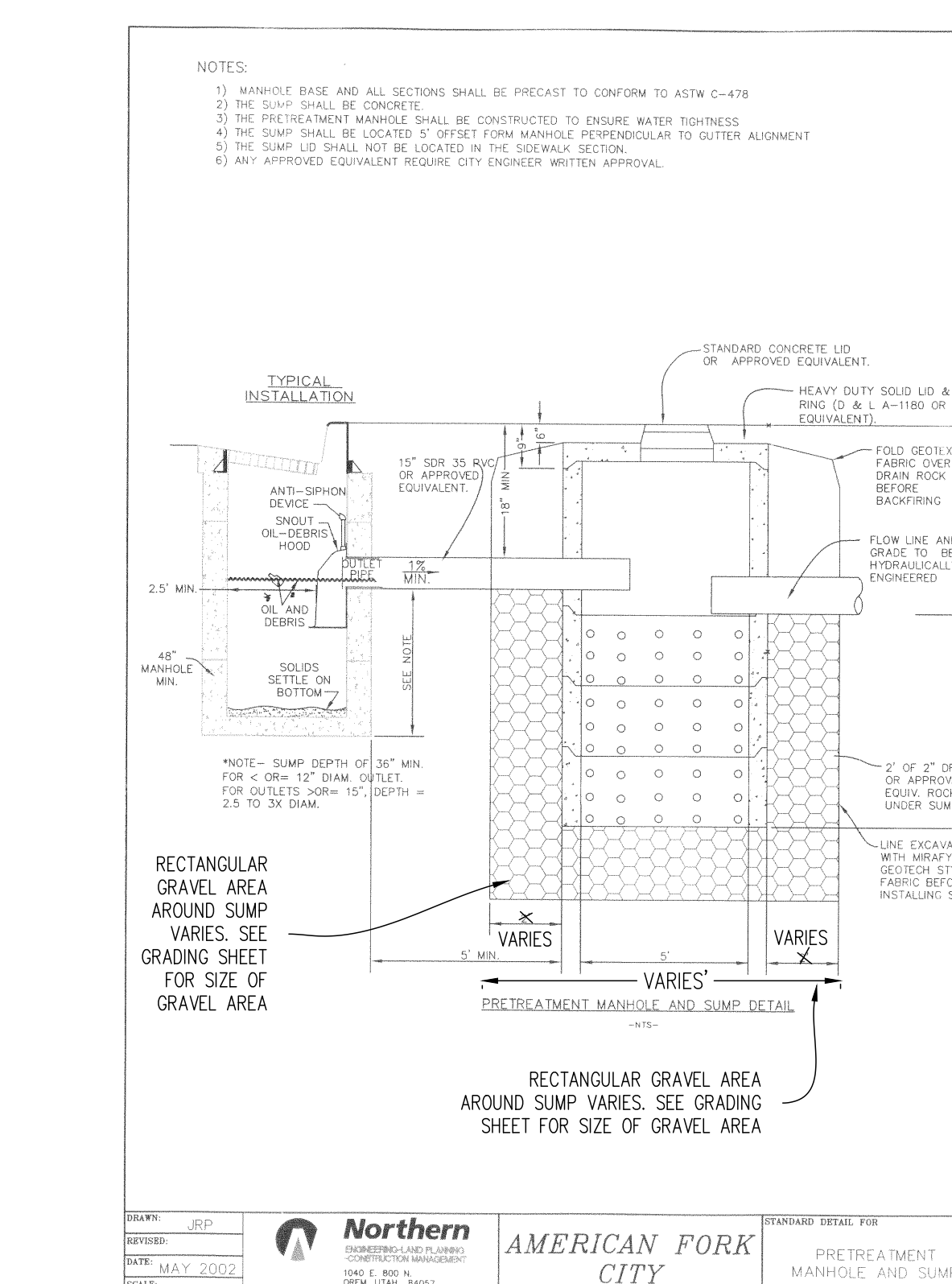
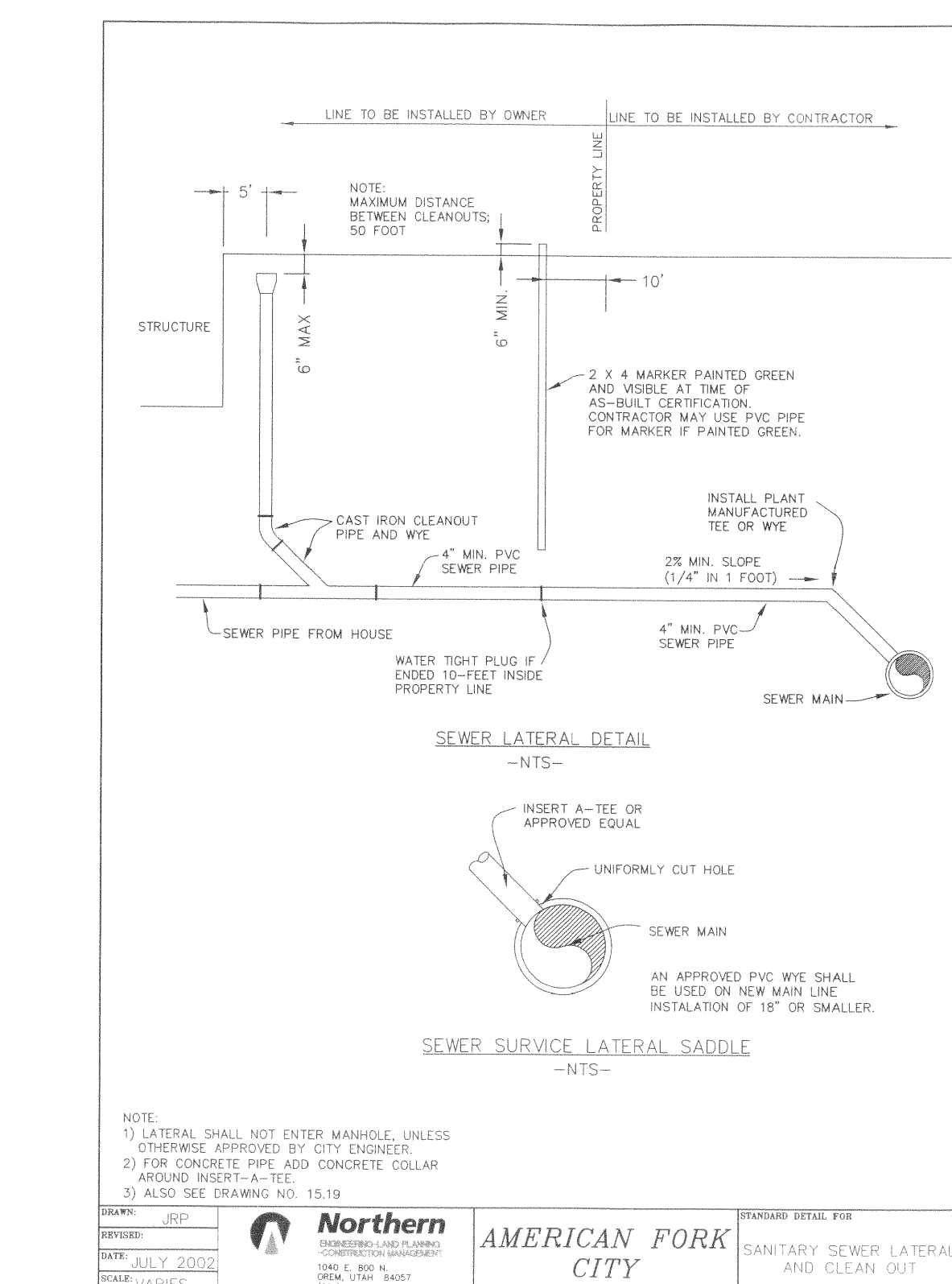
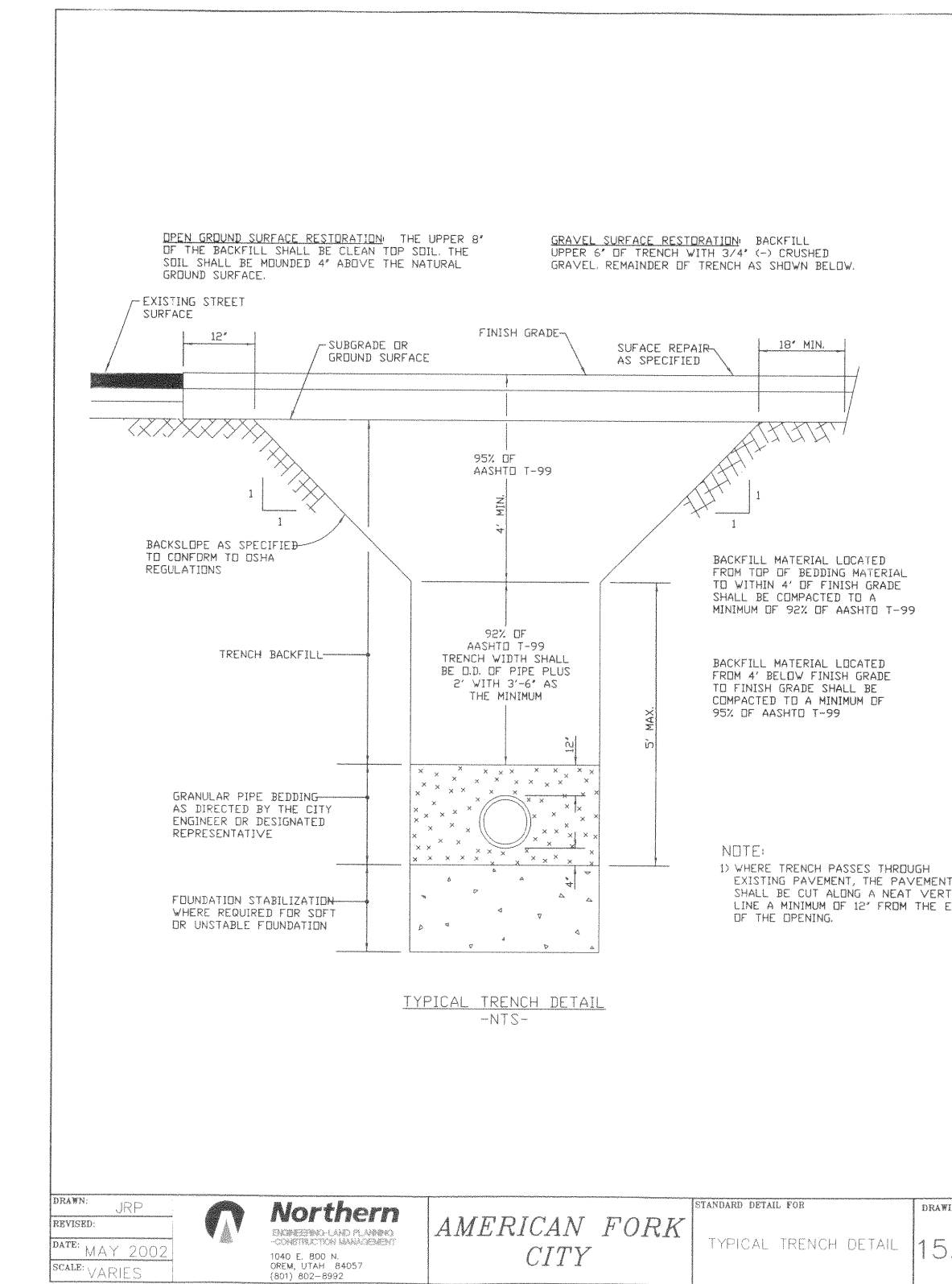
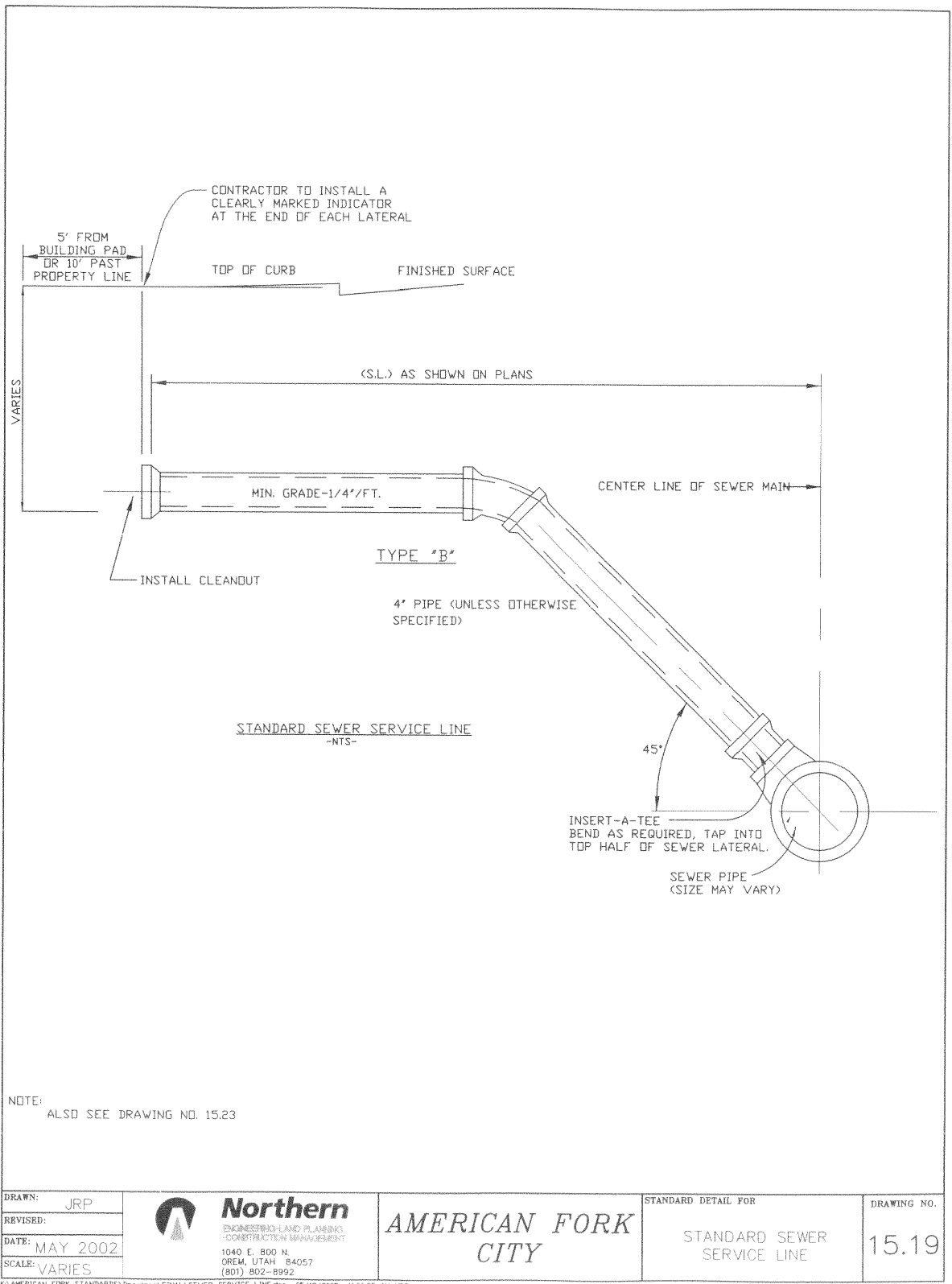
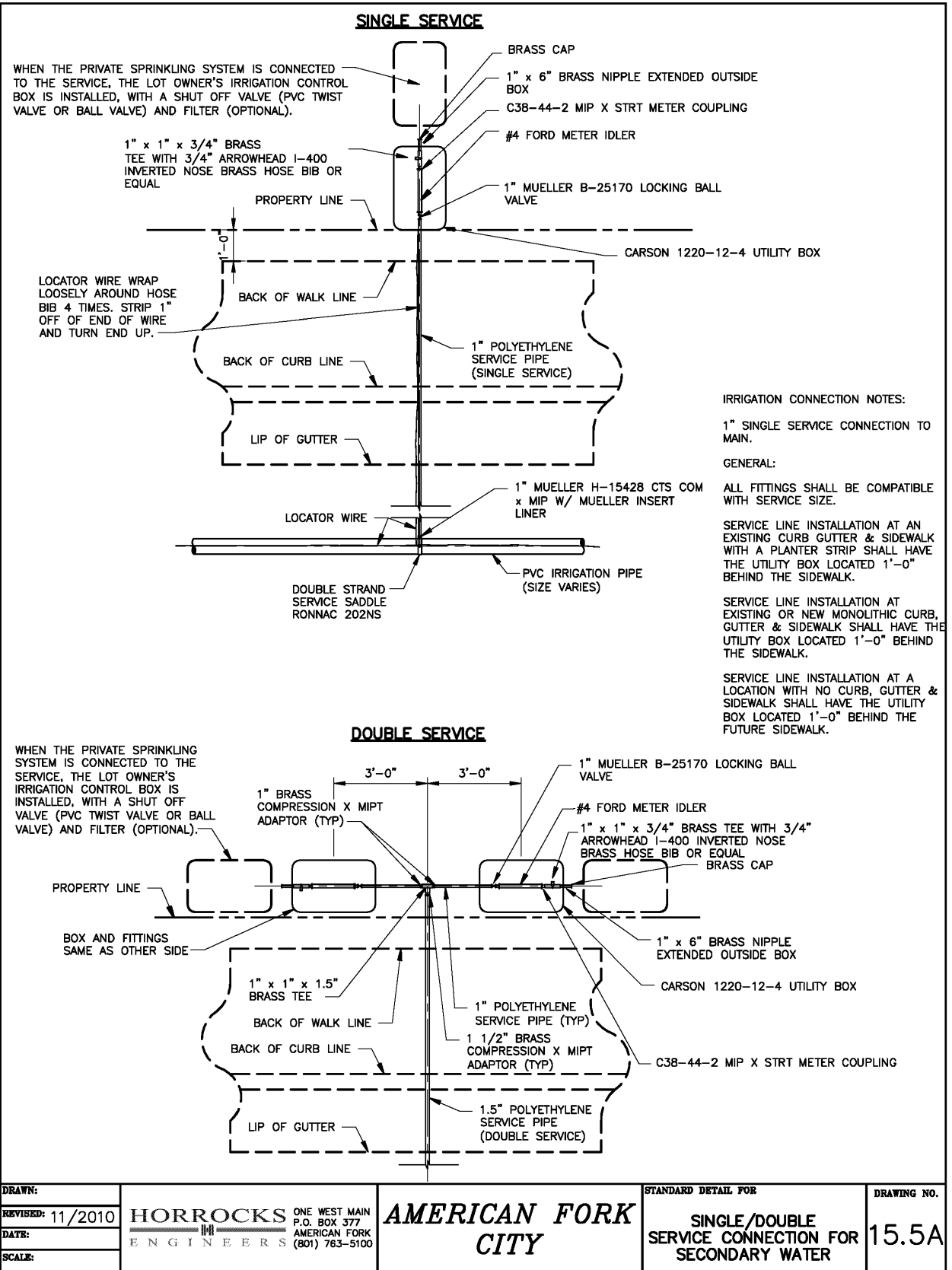
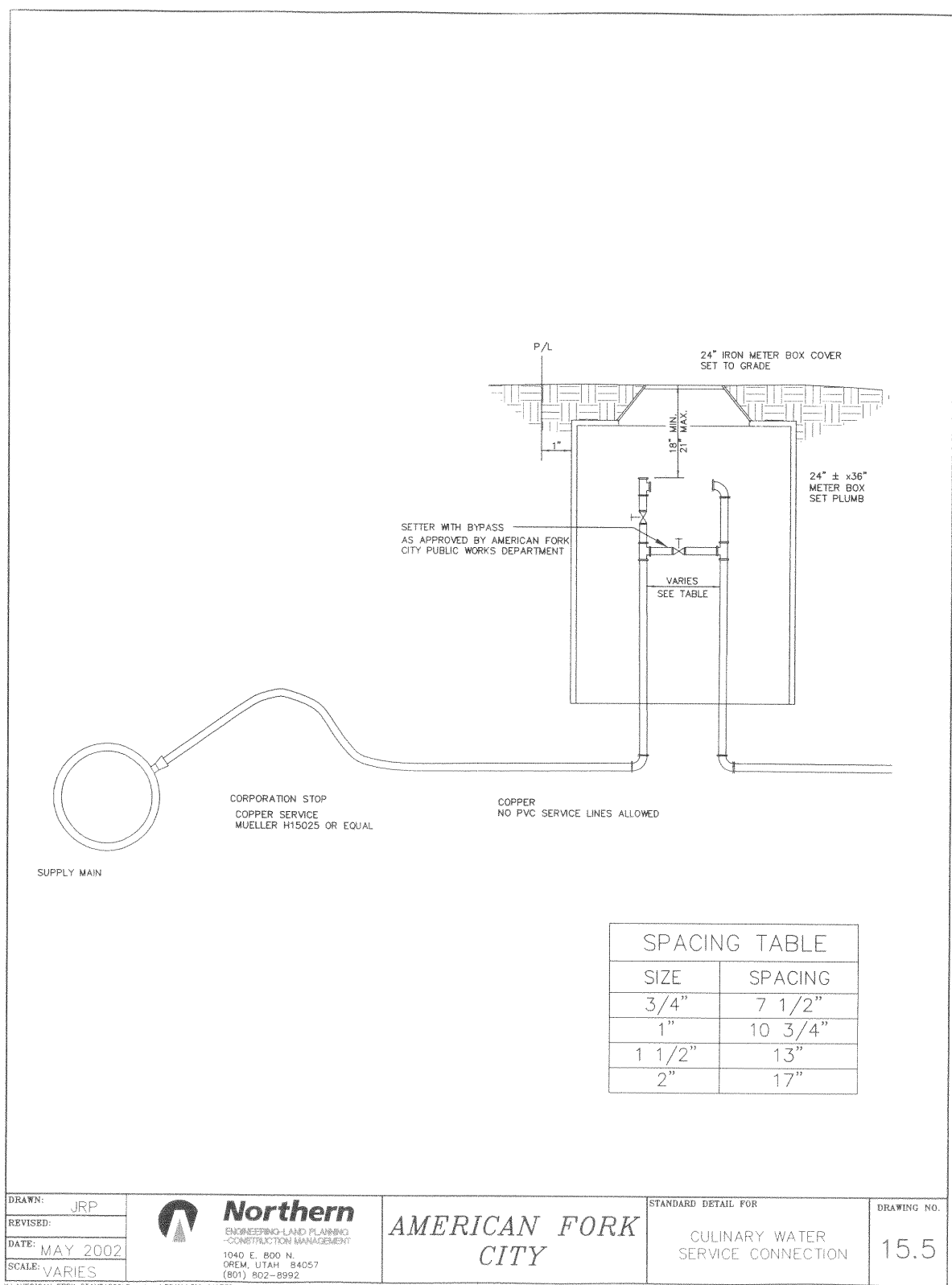
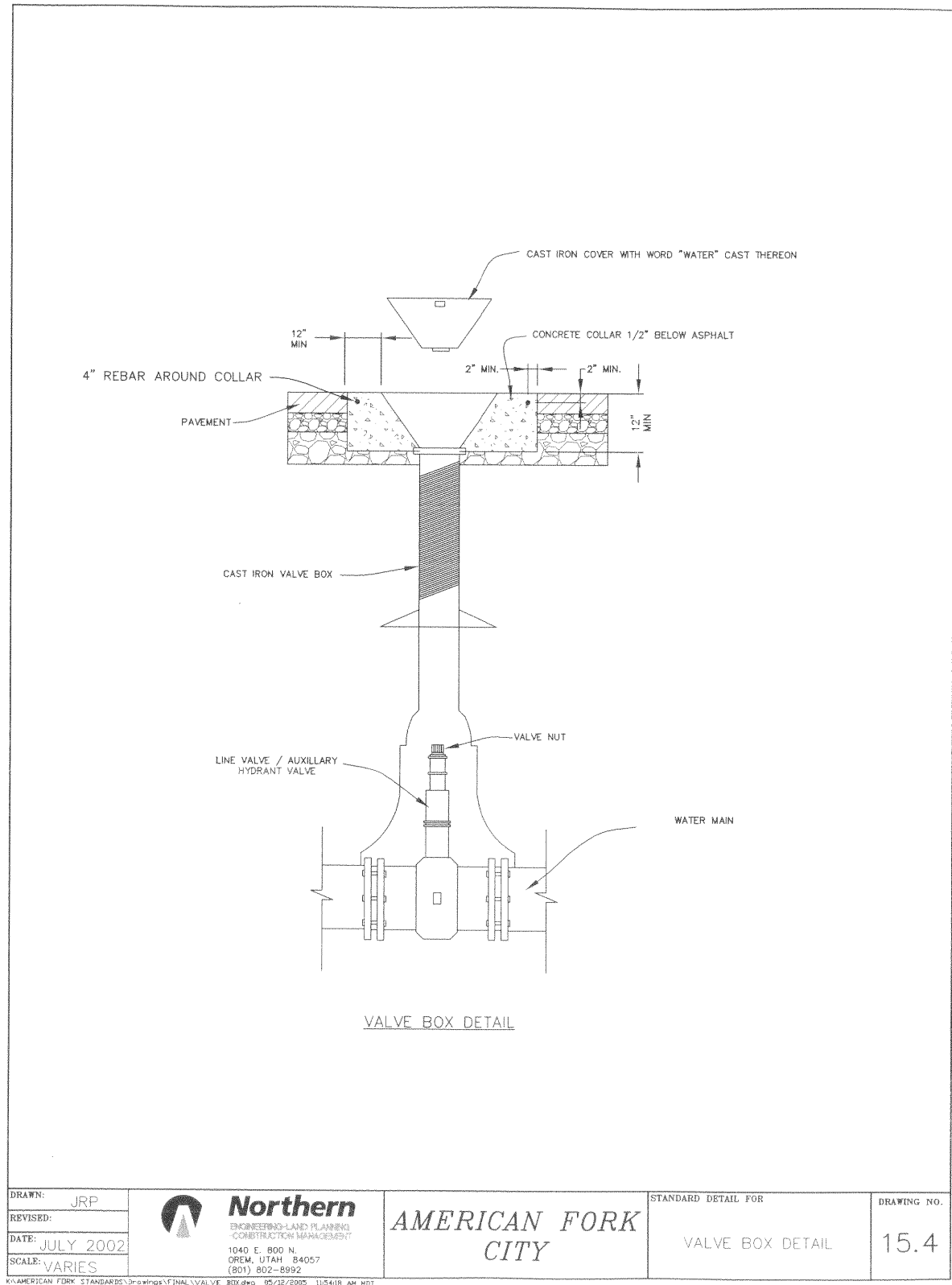
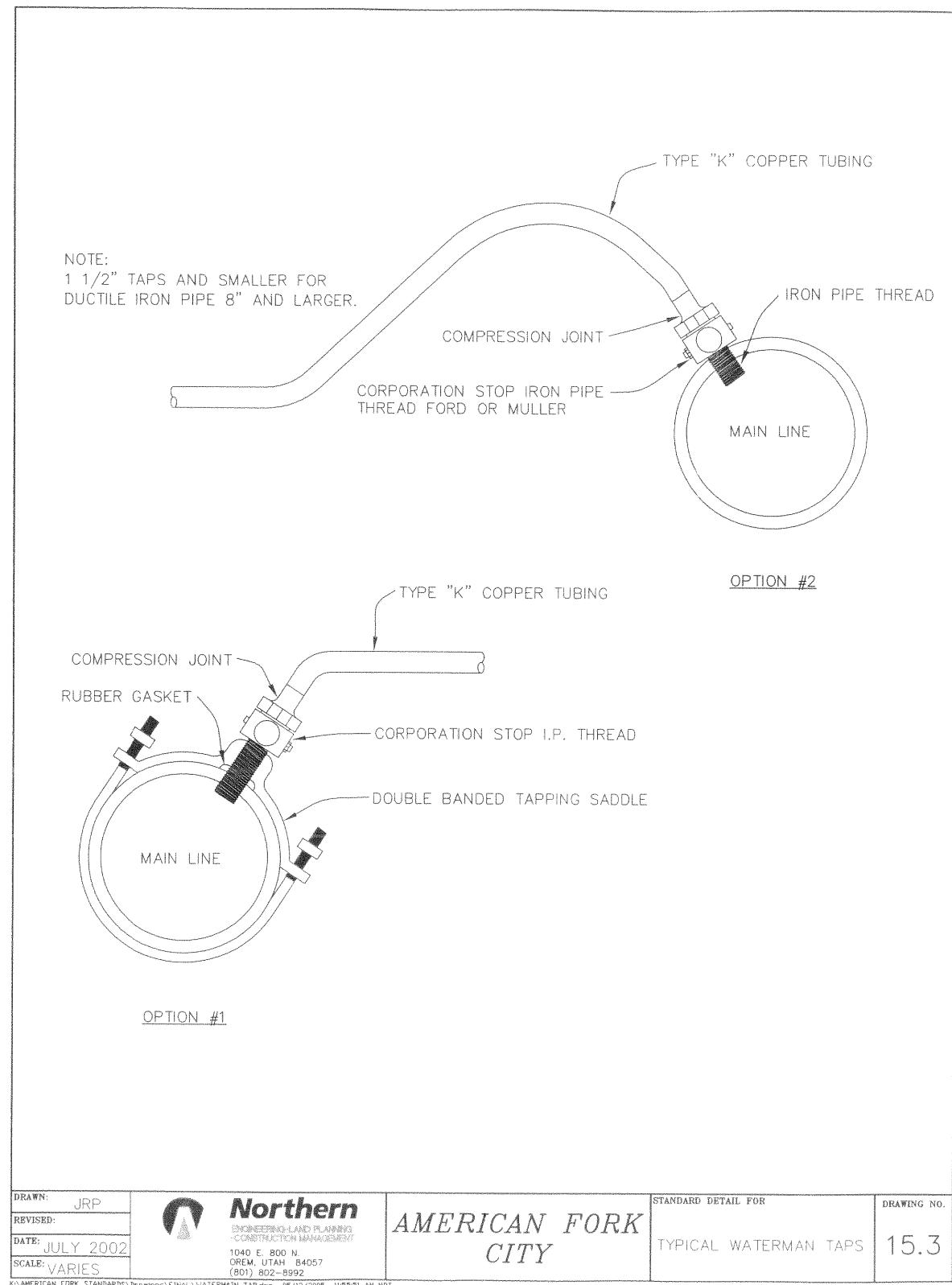
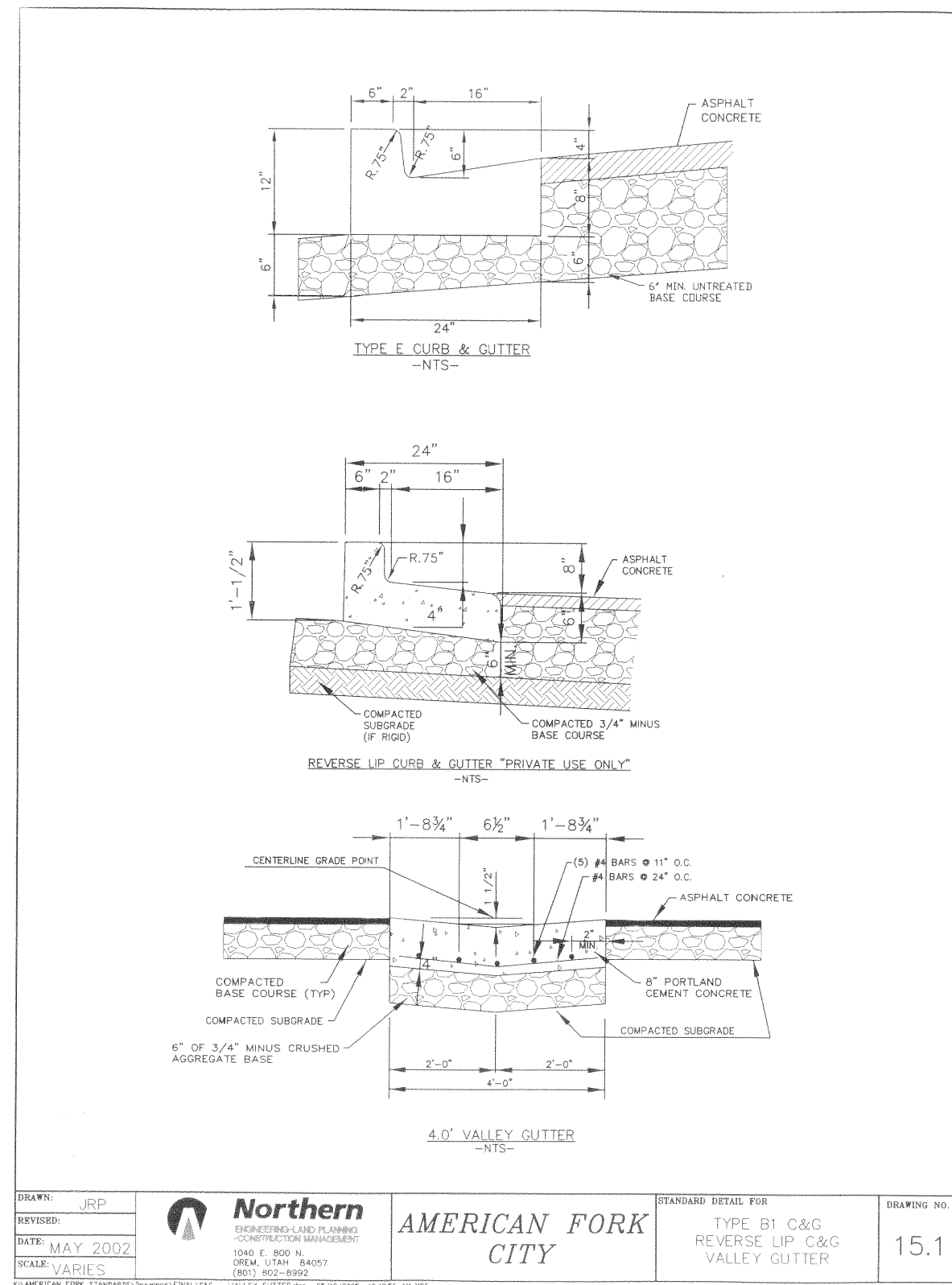
1. The Contractor shall be responsible to ensure that US Mail delivery within the project limits is not disrupted by construction operations.
2. This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall also include the restoration of mailboxes to their original location or approved new location.
3. Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.
4. Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal Service.

1. The Contractor shall make proper arrangements with the American Fork City, Water Department for the use of fire hydrants when used for work performed under this project's approval.

1. All pressurized irrigation line materials shall be provided and installed according to current specifications of the City of American Fork, PI Department.
2. All pressurized irrigation pipe with a diameter 3 inches to 12 inches shall be C900 PVC purple pipe.
3. Pressure testing shall be performed in accordance with the City of American Fork, Construction and Material Specifications. The Contractor shall submit two (2) sets of "as-built" plans, and a letter stating that the lines have been pressure tested addressed to the City of American Fork, PI Department.
4. The Contractor shall notify the City of American Fork, PI Department at (801) 404-6129 Jay Brems at least 24 hours before tapping into existing water lines.
5. All pressurized irrigation line stationing shall be based on street centerline stationing.
6. All bends, joint deflections and fittings shall be backed with concrete per City of American Fork standards.
7. The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days prior to any temporary interruption of pressurized irrigation service. Interruption of pressurized irrigation service shall be minimized and must be approved by the City Engineer.
8. All water lines shall be placed at a minimum depth of 2 feet measured from top of finished grade to top of pressurized irrigation line. Pressurized irrigation lines shall be set deeper at all points where necessary to clear existing or proposed utility lines or other underground restrictions by a minimum of 18 inches.



REVISIONS			DESERT EDGE ARCHITECTURE		SURG MEDICAL/PROFESSIONAL OFFICE BLDG.			
Rev.	Date	Description	720 S. RIVER ROAD BLDG D, SUITE 2100B ST. GEORGE, UT 84790		AMERICAN FORK 1141 EAST 50 NORTH UTAH		Scale:	
1	07/13/23	REVISED PER CITY COMMENTS	<div><div>Excel ENGINEERING</div><div>David W. Peterson, P.E.; License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; david@excelscivil.com</div></div>		Drawn by: D.W.P.		AMERICAN FORK STANDARD CONSTRUCTION NOTES	NTS
2	08/17/23	REVISED PER CITY COMMENTS			Designed by: D.W.P.			Date:
					Checked by: D.W.P.			02/25/22
								C8



REVISIONS		
Rev.	Date	Description
1	07/13/23	REVISED PER CITY COMMENTS

DESERT EDGE ARCHITECTURE

720 S. RIVER ROAD BLDG D, SUITE 2100B
ST. GEORGE, UT 84790

EXCEL ENGINEERING

David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

SURG MEDICAL/PROFESSIONAL OFFICE BLDG.

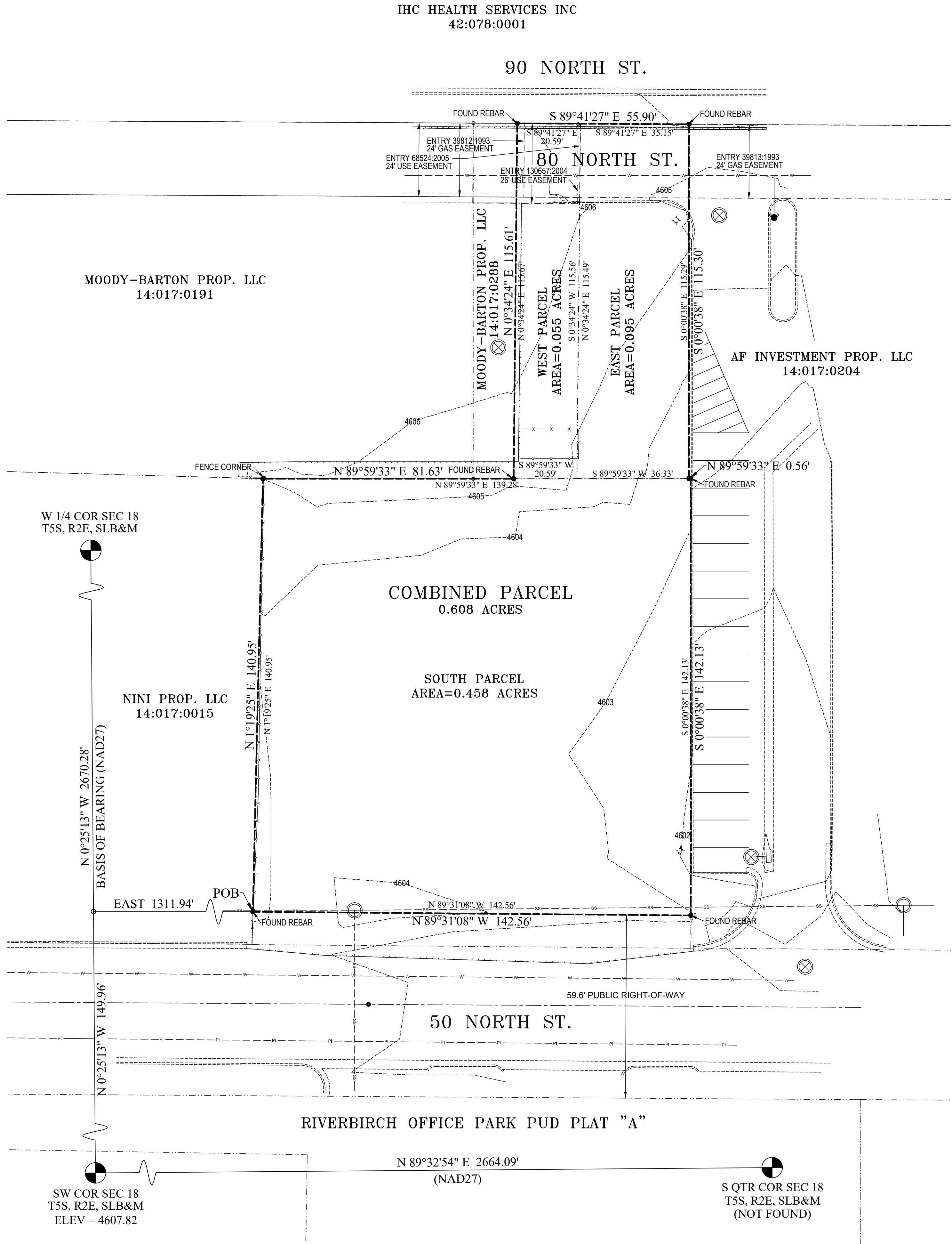
AMERICAN FORK 1141 EAST 50 NORTH UTAH

Drawn by: D.W.P.
Designed by: D.W.P.
Checked by: D.W.P.

Scale: NTS
Date: 02/25/22
C9

Note to Owner and Contractor:
American Fork City wants to be notified as a party before process begins. Having a party approved and be compliant as a water front compliance with any city building code reference in the American Fork City Manual Code. All construction plans to be in compliance with City code regarding the nature of construction.

American Fork City Engineering
007024
Approved for Construction



COMMITMENTS FOR TITLE INSURANCE

EAST PARCEL

A COMMITMENT FOR TITLE INSURANCE # 17-6181WS, ISSUED BY MOUNTAIN AMERICA TITLE COMPANY, DATED JUNE 16, 2017.

SCHEDULE B-II:

- ITEM 2 UNRECORDED EASEMENTS - NO USE EASEMENT (FOR 80 NORTH) IMPACTING PARCEL IS SHOWN ON TITLE REPORT.
- ITEM 3 DISCREPANCIES - TITLES PLOT CLOSE TO NEIGHBORING TITLES.
- ITEM 10 EASEMENTS - 80 NORTH CROSSES NORTHERLY PORTION OF PARCEL.
- ITEM 11 ENTRY 68524:2005 - 24' USE EASEMENT - DOES NOT ENTER PARCEL.
- ITEM 12 ENTRY 39813:1993 - 24' GAS EASEMENT - SEE MAP FOR LOCATION.
- ITEM 13 ENTRY 8113:1992 - BLANKET SEWER EASEMENT - NOT PLOTTABLE.
- THE EXISTING SEWER LINE ACROSS SOUTHERLY PORTION OF SOUTH PARCEL MAY BE THE SEWER LINE REFERRED TO IN ENTRY 8113:1992 SINCE IT IS THE ONLY KNOWN SEWER LINE THAT CROSSES BOTH ORIGINAL PARCELS.

WEST PARCEL

A COMMITMENT FOR TITLE INSURANCE # 321-6099471, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED DECEMBER 3, 2020.

SCHEDULE B-II:

- ITEM 2 SEE MAP FOR LOCATED IMPROVEMENTS.
- ITEM 3 UNRECORDED EASEMENTS - NONE FOUND.
- ITEM 4 DISCREPANCIES - TITLES PLOT CLOSE TO NEIGHBORING TITLES.
- ITEM 12 ENTRY 3901:1931 - BLANKET GAS EASEMENT - NOT PLOTTABLE.
- ITEM 13 ENTRY 3904:1931 - BLANKET GAS EASEMENT - NOT PLOTTABLE.
- ITEM 15 ENTRY 8113:1992 - BLANKET SEWER EASEMENT - NOT PLOTTABLE.
- THE EXISTING SEWER LINE ACROSS SOUTHERLY PORTION OF SOUTH PARCEL MAY BE THE SEWER LINE REFERRED TO IN ENTRY 8113:1992 SINCE IT IS THE ONLY KNOWN SEWER LINE THAT CROSSES BOTH ORIGINAL PARCELS.
- ITEM 16 ENTRY 39812:1993 - 24' GAS EASEMENT - SEE MAP FOR LOCATION.
- ITEM 17 ENTRY 39813:1993 - 24' GAS EASEMENT - SEE MAP FOR LOCATION.
- ITEM 18 ENTRY 130657:2004 - 26' USE EASEMENT - SEE MAP FOR LOCATION.
- ITEM 19 ENTRY 68524:2005 - 24' USE EASEMENT - SEE MAP FOR LOCATION.

SOUTH PARCEL

A COMMITMENT FOR TITLE INSURANCE # 321-6045608, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED MAY 18, 2020.

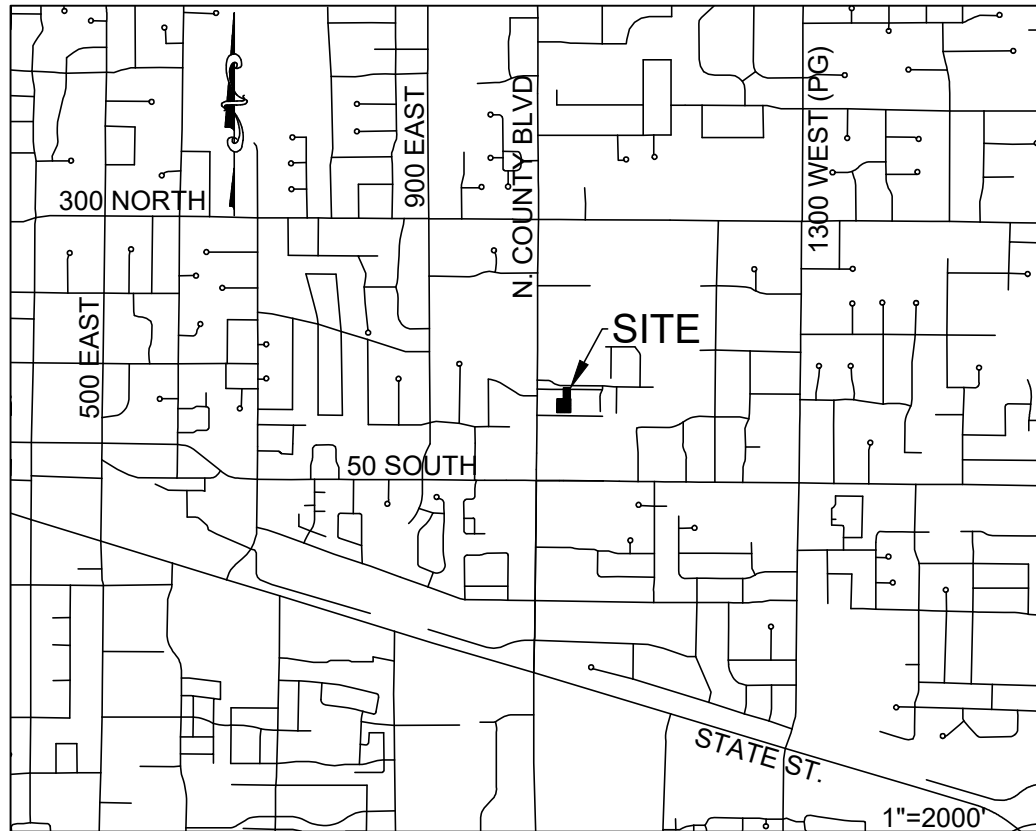
SCHEDULE B-II:

- ITEM 2 SEE MAP FOR LOCATED IMPROVEMENTS.
- ITEM 3 UNRECORDED EASEMENTS - SEE ITEM 22.
- ITEM 4 DISCREPANCIES - TITLES PLOT CLOSE TO NEIGHBORING TITLES.
- ITEM 10 ENTRY 3901:1931 - BLANKET GAS EASEMENT - NOT PLOTTABLE.
- ITEM 11 ENTRY 3904:1931 - BLANKET GAS EASEMENT - NOT PLOTTABLE.
- ITEM 12 ENTRY 8113:1992 - BLANKET SEWER EASEMENT - NOT PLOTTABLE.
- ITEM 22 SURVEY ITEMS OF NOTE - EXISTING SEWER LINE ACROSS SOUTHERLY PORTION OF PROPERTY MAY BE THE SEWER LINE REFERRED TO IN ENTRY 8113:1992 SINCE IT IS THE ONLY KNOWN SEWER LINE THAT CROSSES BOTH ORIGINAL PARCELS.

PLAT LEGEND

---	PARCEL BOUNDARIES
---	NEIGHBOR TITLES
---	EASEMENT LINE
---	CENTERLINE ROAD
---	CONCRETE
---	FENCE LINE
---	SANITARY SEWER
---	STORM DRAIN
---	WATER LINE
---	POWER LINE
---	PHONE / FIBER OPTIC
---	GAS LINE
---	CONTOUR LINE

VICINITY MAP



DESCRIPTIONS

East Parcel

Commencing North 269.87 feet & West 1211.36 feet from the South Quarter Corner, Section 18, Township 5 South, Range 2 East, Salt Lake Base and Meridian; South 89°59'33" West 36.33 feet; thence North 0°34'24" East 115.49 feet; thence South 89°41'27" East 35.15 feet; thence South 0°00'38" East 115.29 feet to the point of beginning. Area = 0.095 Acres

West Parcel

Beginning at a point which is located North 89°32'54" East 1395.77 feet along the section line and North 279.82 feet from the Southwest corner of Section 18, Township 5 South, Range 2 East, Salt Lake Base and Meridian; thence North 0°34'24" East 115.67 feet; thence South 89°41'27" East 55.90 feet; thence South 0°00'38" East 115.35 feet; thence South 89°59'33" West 57.08 feet to the point of beginning.

Subject to 80 North Street

Less and Excepting land as described in Warranty Deed recorded as Entry No. 129991:2017. (East Parcel description) Area = 0.055 Acres

South Parcel

Commencing at a point located South 89°32'54" West along the section line 1210.65 feet and North 137.30 feet from the South Quarter corner of Section 18, Township 5 South, Range 2 East, Salt Lake Base and Meridian; thence North 89°31'08" West along 50 North Street 142.56 feet; thence North 01°19'25" East 140.95 feet; thence North 89°59'33" East 139.28 feet; thence South 0°00'38" East 142.13 feet to the point of beginning. Area = 0.458 Acres

Combined Parcel

Beginning at a point which is located North 0°25'13" West along section line 149.96 feet and East 1311.94 feet from the Southwest corner of Section 18, Township 5 South, Range 2 East, Salt Lake Base and Meridian; thence North 1°19'25" East 140.95 feet; thence North 89°59'33" East 68.45 feet; thence North 0°00'38" East 115.68 feet; thence South 89°41'27" East 70.23 feet; thence South 0°00'38" East 115.30 feet; thence North 89°59'33" East 0.56 feet; thence South 0°00'38" East 142.13 feet; thence North 89°31'08" West 142.56 feet to the point of beginning. Area = 0.608 Acres

ALTA / NSPS TABLE "A"

- MONUMENTS PLACED MONUMENTS FOUND AT EXTERIOR CORNERS.
 - ADDRESS SEE MAP
 - FLOOD ZONE CLASSIFICATION FEMA FIRM PANEL 49049C0169F EFFECTIVE JUNE 19, 2020. ZONE X - OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN
 - GROSS LAND AREA TOTAL AREA = 0.608 ACRES. SEE MAP FOR PARCEL AREAS.
 - VERTICAL RELIEF GROUND SURVEY. SW COR. SEC. 18 = 4607.82' (NAVD88)
 - CURRENT ZONING CLASSIFICATION PO-1, PROFESSIONAL OFFICE
 - EXTERIOR DIMENSIONS OF ALL BUILDINGS NO BUILDINGS ON SITE.
 - SUBSTANTIAL VISIBLE IMPROVEMENTS SEE MAP.
 - PARKING AREAS NO MARKED PARKING AREAS ON SITE.
 - LOCATION OF UTILITIES, VISIBLE & MARKED SEE MAP AND FOLLOWING NOTE.
 - NAMES OF ADJOINING OWNERS SEE MAP
 - OBSERVED EVIDENCE OF RECENT CONSTRUCTION NONE FOUND
 - STREET CONSTRUCTION/CHANGES IN ALIGNMENT NONE FOUND
- * ITEM 11 - UTILITIES WERE LOCATED BASED ON VISIBLE STRUCTURES AND OTHER VISIBLE EVIDENCES. NO GUARANTEE IS GIVEN THAT ADDITIONAL UTILITIES DO NOT EXIST ON THE SITE WHICH ARE NOT VISIBLE OR MARKED ON THE GROUND. IT IS RECOMMENDED THAT BLUESTAKES BE CALLED PRIOR TO ANY EXCAVATION.

Note to Owner and Contractor:
American Fork City Survey of Improvements is intended as a guide to the location of improvements. It is not a warranty of the location of improvements. The location of improvements should be verified by the owner or contractor. The City of American Fork is not responsible for the location of improvements. The City of American Fork is not responsible for the location of improvements. The City of American Fork is not responsible for the location of improvements.

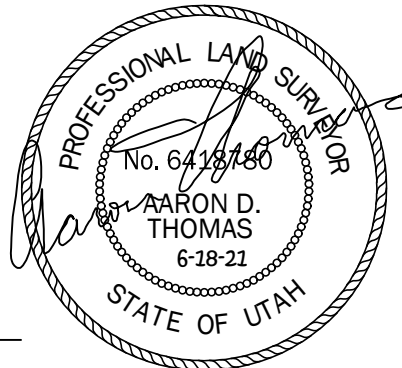
American Fork City Engineering
Approved for Construction

CERTIFICATION

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 7a, 8, 9, 11, 13, 16, and 17 of Table A thereof. The field work was completed in June 2021.

Aaron D. Thomas
6-18-21
DATE

AARON D. THOMAS - PLS NO. 6418780



PROJECT NAME	AF MEDICAL
ADDRESS +/-	1160 EAST 50 NORTH
CITY:	AMERICAN FORK
COUNTY:	UTAH
STATE:	UTAH

SURVEYOR: AZTEC ENGINEERING INC.
732 N. 780 W.
AMERICAN FORK, UT. 84003
AZTECENGINEERING@GMAIL.COM

CIVIL ENGINEER: EXCE ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504, F: (801) 756-4511

ALTA / NSPS LAND TITLE SURVEY

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,
TOWNSHIP 5 SOUTH, RANGE 2 EAST, SLB&M

SHEET:	1 OF 1
DATE:	JUNE 18, 2021
SCALE:	1"=20'



720 S. RIVER ROAD BLDG D SUITE 2100
ST. GEORGE, UTAH 84790



2766 S. Main Street
Salt Lake City, Utah 84115
801.355.5656
bhb@bhbengineers.com


BNA
CONSULTING
SALT LAKE ST. GEORGE

4225 Lake Park Blvd Ste 27
West Valley City, Utah 8412
P:801.532.219
www.hnaconsulting.com

SURG MEDICAL/
PROFESSIONAL
OFFICE BLDG.

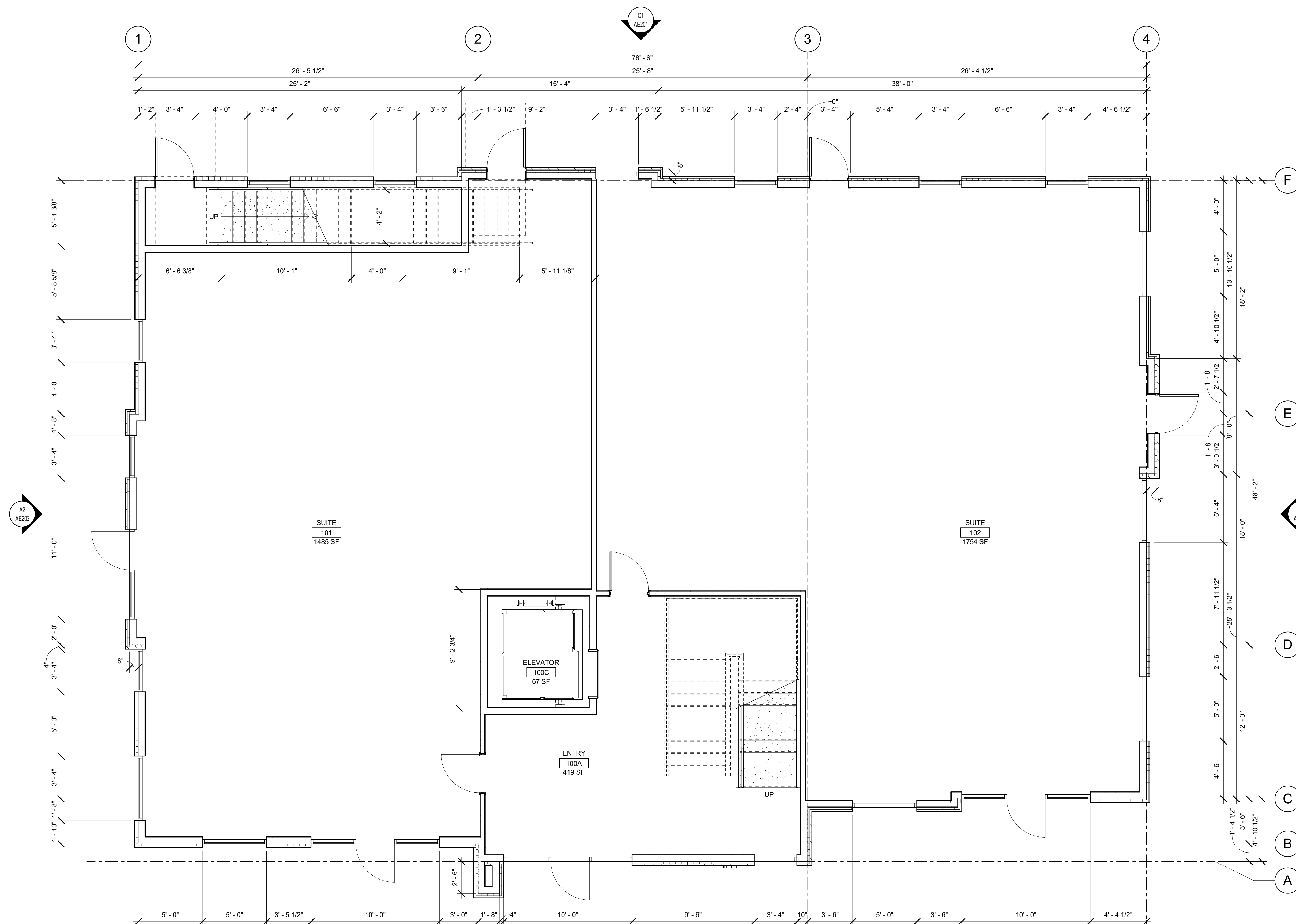
1141 E 50 N
AMERICAN FORK, UT 84003

STAMP

ISSUE TYPE:	DATE:
NOT FOR CONSTRUCTION	05-26-2023
	
PROJECT NUMBER:	001061
DRAWN BY:	Author
CHECKED BY:	Checker

FIRST FLOOR PLAN

AE101



A1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

$$1/4'' = 1'-0''$$

Note to Owner and Contractor:
American Fork City stamp of approval is intended as a review process benchmark notation. Nothing in this approval shall be construed as a waiver from compliance with any City building code ordinance or the American City Municipal Code. All construction must be in full compliance with City code regardless of the status of construction permits shown.

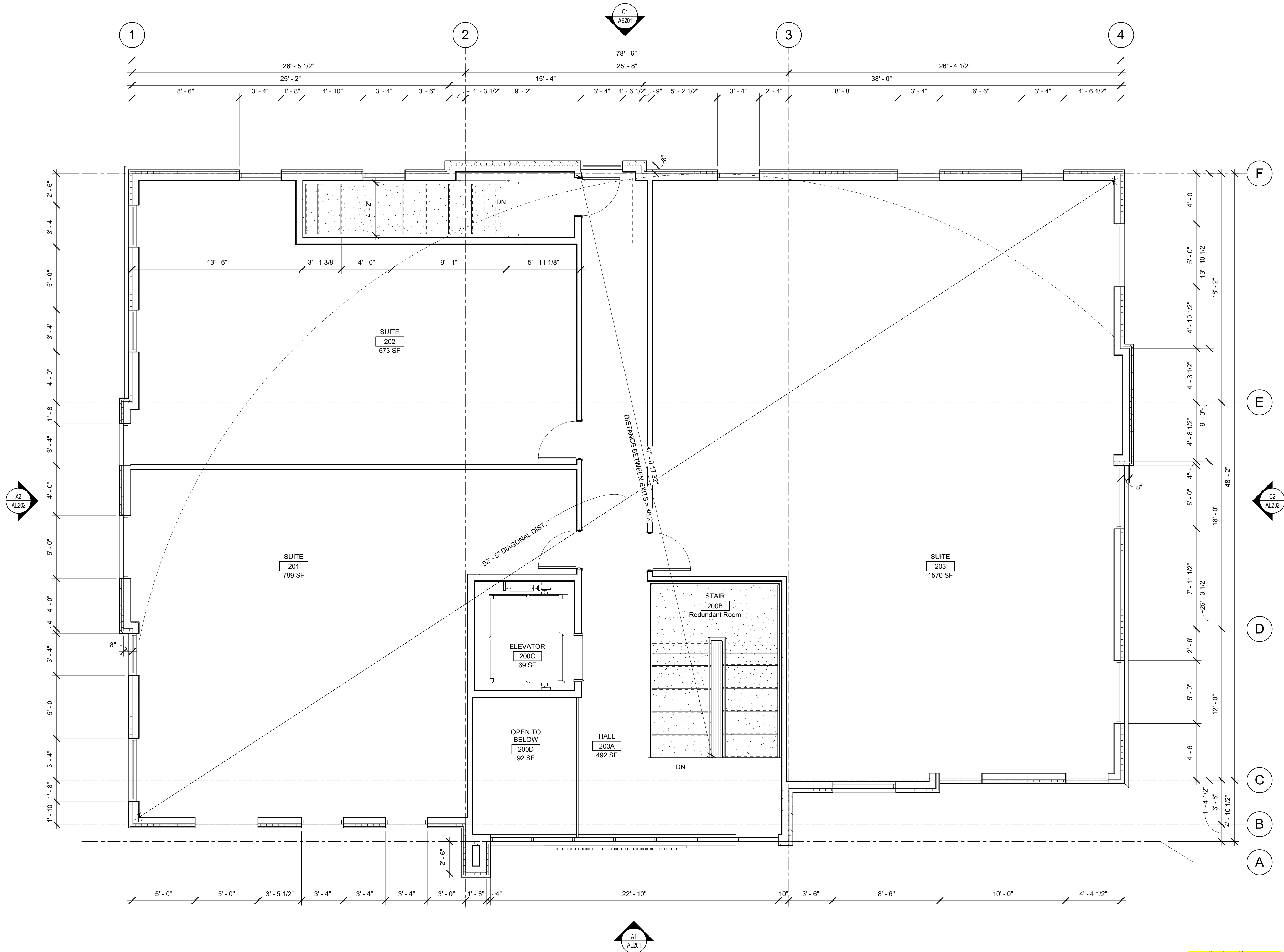
American Fork City Engineering
08/07/2024
jgpoen
Approved for Construction

11/25/2023 11:03:38 AM
C:\Users\j11111111\OneDrive\Documents\AE102\AE102.dwg
11/25/2023 11:03:38 AM

D

C

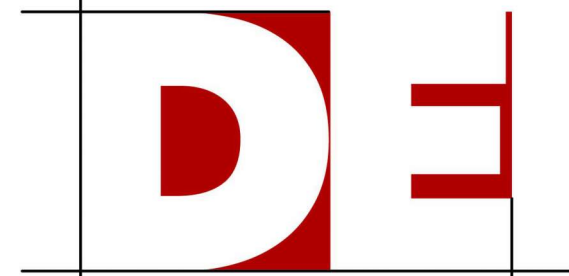
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A1 SECOND LEVEL FLOOR PLAN
1/4" = 1'-0"

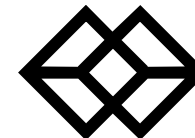
Note to Owner and Contractor:
American Fork City Engineer's approval is intended as a permit approval only and does not constitute an approval of the design or construction of the project. The design and construction of the project shall be in accordance with the American Fork City Municipal Code. All construction shall be in full compliance with the code requirements of the project. All construction shall be in full compliance with the code requirements of the project.

American Fork City Engineering
11/25/2023
Approved for Construction



DESERT EDGE
architecture

720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



BHB STRUCTURAL

2766 S. Main Street
Salt Lake City, Utah 84115
801.355.5656
bhb@bhbengineers.com



4225 Lake Park Blvd Ste 275
West Valley City, Utah 84120
P: 801.332.2196
www.bnaconsulting.com

**SURG MEDICAL/
PROFESSIONAL
OFFICE BLDG.**

1141 E 50 N
AMERICAN FORK, UT 84003

STAMP

ISSUE TYPE: NOT FOR CONSTRUCTION
DATE: 05-26-2023

PROJECT NUMBER: 001061
DRAWN BY: Author
CHECKED BY: Checker

**SECOND FLOOR
PLAN**

AE102

1

2

3

4

5

D

C

B

A

1
2
3
4
5



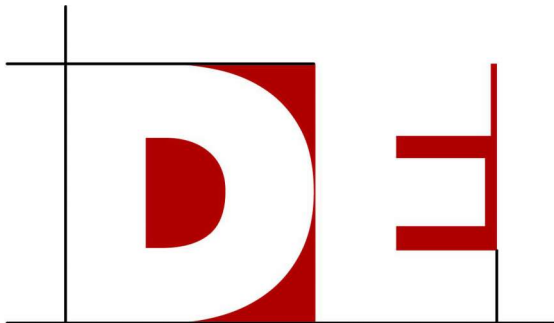
C2 NORTH ELEVATION
1/4" = 1'-0"



A2 SOUTH ELEVATION
1/4" = 1'-0"

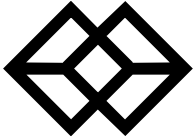
Note to Owner and Contractor:
American Fork City stamp of approval is included on a plan
where review and approval is required. Nothing in this
document shall be construed as a warranty, representation,
or any City liability code reference in the American Fork
City Municipal Code. All construction shall be in full
compliance with City code regardless of the status of
this construction stamp.

American Fork City Engineering
APPROVED
Approved for Construction



DESERT EDGE
architecture

720 S. RIVER ROAD BLDG D SUITE 2100B
ST. GEORGE, UTAH 84790



BHB STRUCTURAL

2766 S. Main Street
Salt Lake City, Utah 84115
801.355.5656
bhb@bhbengineers.com

BNA
CONSULTING

SALT LAKE ST. GEORGE

4225 Lake Park Blvd Ste 275
West Valley City, Utah 84120
P: 801.332.2196
www.bnaconsulting.com

**SURG MEDICAL/
PROFESSIONAL
OFFICE BLDG.**

1141 E 50 N
AMERICAN FORK, UT 84003

STAMP

ISSUE TYPE: NOT FOR CONSTRUCTION
DATE: 05-26-2023

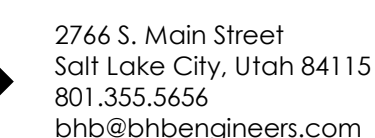
PROJECT NUMBER: 001061
DRAWN BY: SB
CHECKED BY: SB

**EXTERIOR
ELEVATIONS**

AE202



720 S. RIVER ROAD BLDG D SUITE 2100
ST. GEORGE, UTAH 84790



BNA
CONSULTING
SALT LAKE ST. GEORGE

4225 Lake Park Blvd Ste 270
West Valley City, Utah 84112
P: 801.532.2119
www.bnaconsulting.com

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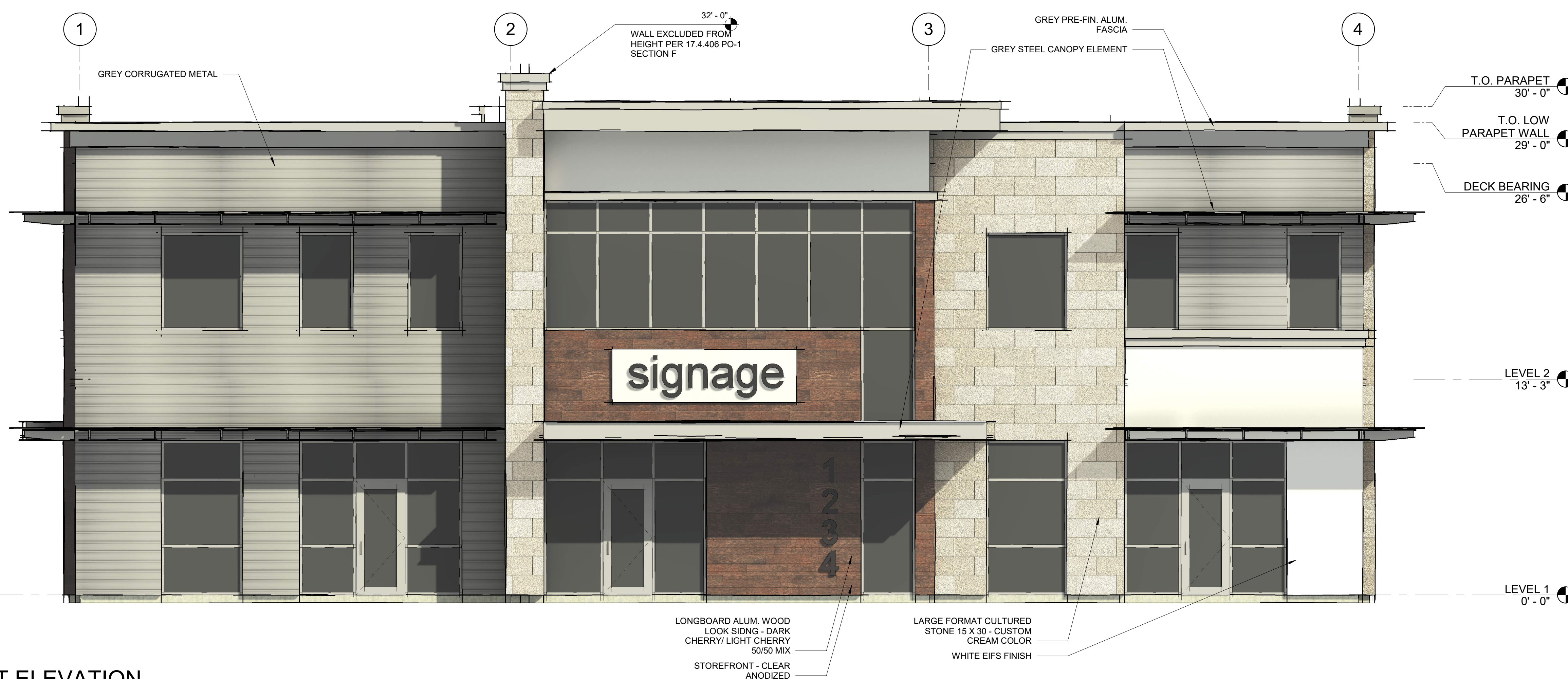
PROJECT NUMBER:	001061
DRAWN BY:	SB
CHECKED BY:	SB

EXTERIOR ELEVATIONS

AE201



C1 WEST ELEVATION
1/4" = 1'-0"



A1 EAST ELEVATION
1/4" = 1'-0"

B

American Fork City Engineering
08/27/2024
jepsoe
Approved for Construction



(D3) FRONT PERSPECTIVE VIEW



(B1) FRONT LEFT PERSPECTIVE VIEW



(B3) REAR LEFT PERSPECTIVE VIEW



A1 REAR RIGHT PERSPECTIVE VIEW



A3 FRONT RIGHT PERSPECTIVE VIEW



DESERT EDGE
architecture

720 S. RIVER ROAD BLDG D SUITE 2100
ST. GEORGE, UTAH 84790



BHR STRUCTURA

2766 S. Main Street
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bhb@bhbengineers.com

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CONSULTING

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PERSPECTIVE VIEWS

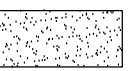
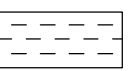


AE701

90 NORTH ST. (PRIVATE)




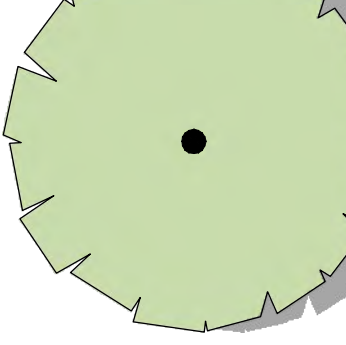















80 NORTH ST.
(PRIVATE)

50 NORTH ST. (PUBLIC)

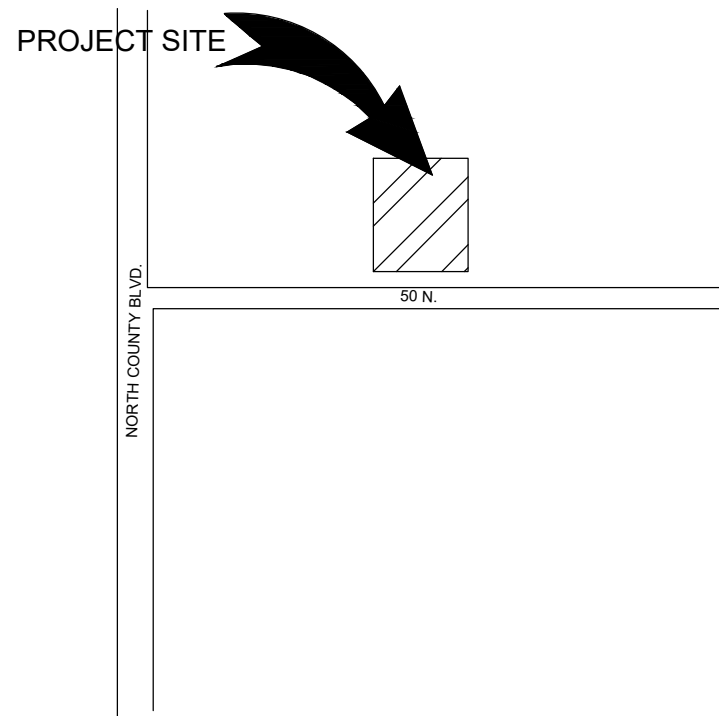
SITE MATERIALS LEGEND

SYMBOL	LANDSCAPE DESCRIPTION	QTY
	1-01 SODDED LAWN AREA LAWN AREAS SHALL BE SOD - NEW TURF AREAS TO BE SODDED WITH 18% "BLUESTAR KENTUCKY BLUEGRASS, 19% "MARQUIS" KENTUCKY BLUEGRASS, 17% "NEWPORT" KENTUCKY BLUEGRASS, 17% "TOUCHDOWN" KENTUCKY BLUEGRASS, 16% "AM PERENNIAL KYRGASS, 13% "ACCENT PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED LAWN. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4') DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH, NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	2,059 sf
	1-10 1" MINUS TAN CRUSHED ROCK, SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL WHERE PLANTING IS SPARSE, ADDITIONAL TOPSOIL IS NOT NECESSARY. PREPARE A HOLE TWICE THE WIDTH OF THE CONTAINER. WATER IN PLANT, BACKFILL WITH A 3:1 RATIO OF SOIL TO COMPOST. TAMP LIGHTLY AND WATER AGAIN. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK AWAY FROM TOP OF ROOT BALL OF ALL PLANT MATERIAL. IF REQUIRED BY CITY, INSTALL DENTIT 30Z WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1 FOOT AWAY FROM EDGE OF ROOT BALL OF ALL PLANT MATERIAL. IF WEED BARRIER IS NOT REQUIRED OR INSTALLED, AT OWNER'S APPROVAL, USE TREPLAN 10 AS A PRE-EMERGENT. APPLY ACCORDING TO LABEL DIRECTIONS AFTER PLANTING AND AFTER APPLYING MULCH. THIS AREA WILL ALSO NEED AN ANNUAL MAINTENANCE PROGRAM. SUBMIT PROGRAM TO OWNER.	5,854 sf
SYMBOL	LANDSCAPE DESCRIPTION	QTY
	1-26 BOULDERS - DECORATIVE	14
	1-27 6" CONCRETE MOW CURB	107 lf

PLANT LEGEND

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	ATR	2	Acer tataricum 'JFS-KW2' TM Rugged Charm Tatarian Maple	B & B	2"Cal
	GBP	1	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Ginkgo	B & B	2"Cal
	QR'A	3	Quercus robur x alba 'JFS-KW1QX' TM Street Spire Oak	B & B	2"Cal
	ZS'B	5	Zelkova serrata 'Burgundy Vase' Burgundy Vase Zelkova	B & B	2"Cal
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	AA'O	10	Amelanchier alnifolia 'Obelisk' TM Standing Ovation Serviceberry	5 gal	
	AM'H	21	Aronia melanocarpa 'Low Scape Hedger' Low Scape Hedger Chokeberry	5 gal	
	AM'M	23	Aronia melanocarpa 'Low Scape Mound' Low Scape Mound Chokeberry	5 gal	
	BTC	10	Berberis thunbergii 'Concorde' Concorde Japanese Barberry	5 gal	
	CBM	12	Caryopteris x chandonensis 'CT-9-12' TM Beyond Midnight Bluebeard	5 gal	
	PO'F	3	Physocarpus opulifolius 'UMNHarpell' Fireside TM Fireside Ninebark	5 gal	
	PBP	22	Prunus besseyi 'PWHS' TM Pawnee Buttes Sand Cherry	5 gal	
	RT'A	10	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal	
	RT'T	1	Rhus typhina 'Tiger Eyes' Tiger Eyes Sumac	5 gal	
	SB'G	6	Spiraea betulifolia 'Tor Gold' TM Glow Girl Birchleaf Spirea	5 gal	
	SBP	22	Syringa x 'SMNJRPB' TM Bloomerang Dwarf Purple Lilac	5 gal	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	JS'B	14	Juniperus Scopulorum 'Blue Arrow' Blue Arrow Juniper	B & B	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	CA'K	31	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal	
	H'S	26	Helictotrichon sempervirens 'Sapphire' Blue Out Grass	1 gal	
	PO'K2	20	Pennisetum orientale 'Karley Rose' Karley Rose Fountain Grass	1 gal	

VICINITY MAP



10/3/2023

UT23100

NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
3		
4		
5		
6		
7		

811

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

0' 8' 16' 32' 64'

GRAPHIC SCALE: 1" = 16'

SURG MEDICAL/PROFESSIONAL
OFFICE BLDG.
1141 E. 50 N.
AMERICAN FORK, UTAH

DESERT EDGE ARCHITECTURE
ATT: STEVE BEESLEY
435-673-7362
STEVE@DESERTEDGE.CO

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PKJ
DESIGN GROUP
Landscape Architecture • Planning • Visualization

3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 753-5644
www.pkjdesigngroup.com

UTAH LANDSCAPE ARCHITECT
SEAN ANTHONY
8/28/21-5/31/24
10/3/2023
ELECTRONIC
STATE OF UTAH

COLOR ILLUSTRATION
CITY PERMIT SET

PM: JTA
DRAWN: ACP
CHECKED: JMA
PLOT DATE: 10/3/2023

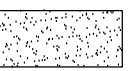
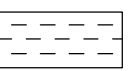


LP-COLOR

90 NORTH ST. (PRIVATE)

80 NORTH ST.
(PRIVATE)

50 NORTH ST. (PUBLIC)




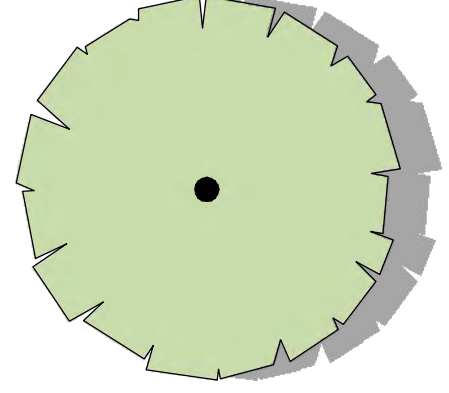















SITE MATERIALS LEGEND

SYMBOL	LANDSCAPE DESCRIPTION	QTY
	1-01 SODDED LAWN AREA LAWN AREAS SHALL BE SOD - NEW TURF AREAS TO BE SODDED WITH 18% "BLUESTAR KENTUCKY BLUEGRASS, 19% "MARQUIS" KENTUCKY BLUEGRASS, 17% "NEWPORT" KENTUCKY BLUEGRASS, 17% "TOUCHDOWN" KENTUCKY BLUEGRASS, 16% "AM PERENNIAL KYRGASS, 13% "ACCENT PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED LAWN. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GLAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4') DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH, NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	2,059 sf
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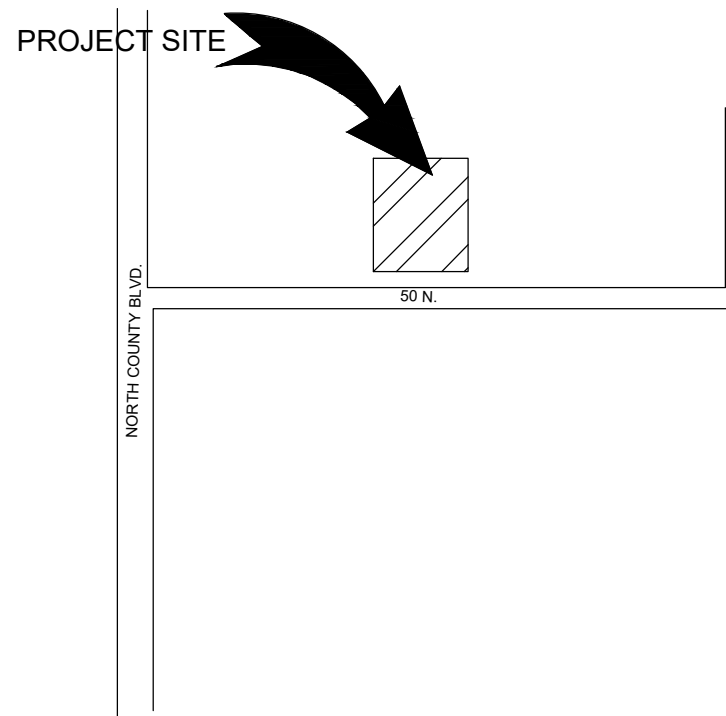
Note to Owner and Contractor:
American Fork City stamp of approval is included as a plan review provided professional review. Building is the approval shall be considered as a review from compliance with the City Building Code and the American Fork City Building Code. All construction must be in full compliance with City code regardless of the status of construction plans.





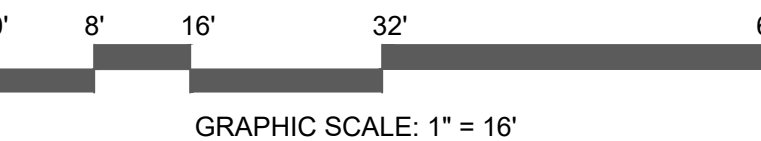
American Fork City Engineering
Approved for Construction

PLANT LEGEND

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	ZS'B	5	Zelkova serrata 'Burgundy Vase' Burgundy Vase Zelkova	B & B	2"Cal
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VICINITY MAP




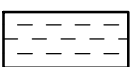

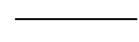
ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO																								
10/17/2023	UT23100	 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org		SURG MEDICAL/PROFESSIONAL OFFICE BLDG. 1141 E. 50 N. AMERICAN FORK, UTAH	DESERT EDGE ARCHITECTURE ATT: STEVE BEESLEY 435-673-7362 STEVE@DESERTEDGE.CO	 DESIGN GROUP Landscape Architecture • Planning • Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 753-5644 www.pkjdesigngroup.com	 COLOR ILLUSTRATION CITY PERMIT SET LP-COLOR																								
<table><tr><th>NO.</th><th>REVISION</th><th>DATE</th></tr><tr><td>1</td><td>XXXX</td><td>XX-XX-XX</td></tr><tr><td>2</td><td></td><td></td></tr><tr><td>3</td><td></td><td></td></tr><tr><td>4</td><td></td><td></td></tr><tr><td>5</td><td></td><td></td></tr><tr><td>6</td><td></td><td></td></tr><tr><td>7</td><td></td><td></td></tr></table>  <p>GRAPHIC SCALE: 1" = 16'</p>								NO.	REVISION	DATE	1	XXXX	XX-XX-XX	2			3			4			5			6			7		
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90 NORTH ST. (PRIVATE)

80 NORTH ST.
(PRIVATE)

50 NORTH ST. (PUBLIC)

SITE MATERIALS LEGEND

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	1-26 BOULDERS - DECORATIVE	14
	1-27 6" CONCRETE MOW CURB	107 lf

SITE REQUIREMENT CALCULATIONS

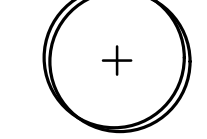
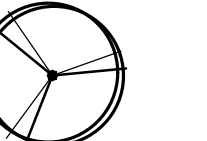
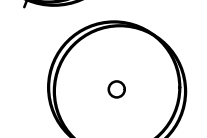
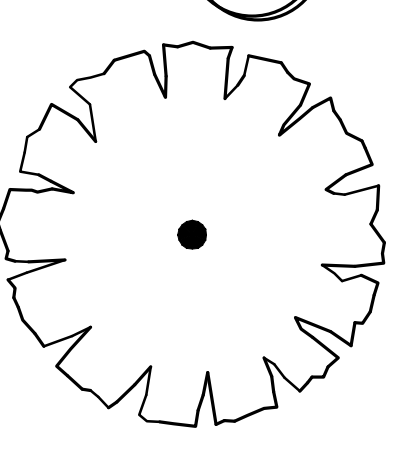















TREE REQUIREMENTS:	REQUIRED:	PROVIDED:
1 TREE PER 2,500 SQ. FT. OF IMPROVED AREA (26,507 SQ. FT.)	11	11
NO MORE THAN 25% OF TREES MAY BE ORNAMENTAL OR EVERGREEN	PERMITTED: NO MORE THAN 3	PROVIDED: 2
SHRUB REQUIREMENTS:	REQUIRED:	PROVIDED:
1.5-GAL. SHRUB PER 300 SQ. FT. OF IMPROVED AREA (26,507 SQ. FT.)	89	149
SPECIES DIVERSITY:	ALLOWED:	PROVIDED:
SHRUBS: TOTAL: 149 NO MORE THAN 15% OF ANY ONE TYPE		
STANDING OVATION SERVICEBERRY	23	10
LOW SCAPE HEDGER CHOKEBERRY	23	21
LOW SCAPE MOUND CHOKEBERRY	23	23
CONCORDE JAPANESE BARBERRY	23	10
BEYOND MIDNIGHT BLUEBEARD	23	12
FIRESIDE NINEBARK	23	3
PAWNEE BUTTES SANDCHERRY	23	22
AUTUMN AMBER SUMAC	23	10
TIGER EYES SUMAC	23	1
GLOW GIRL BIRCHLEAF SPIREA	23	6
BOOMERANG DWARF PURPLE LILAC	23	22
BLUE ARROW JUNIPER	23	14
TREES: TOTAL: 11 NO MORE THAN 50% OF ANY ONE TYPE		
RUGGED CHARM TATARIAN MAPLE	6	2
PRINCETON SENTRY GINKGO	6	1
STREET SPIRE OAK	6	3
BURGUNDY VASE ZELKOVA	6	5

ALLOWABLE CONVERSIONS:
25% OF REQUIRED SHRUBS MAY BE CONVERTED TO TURF AT A RATE OF ONE FIVE-GALLON SHRUB PER FIFTY SQUARE FEET OF TURF.

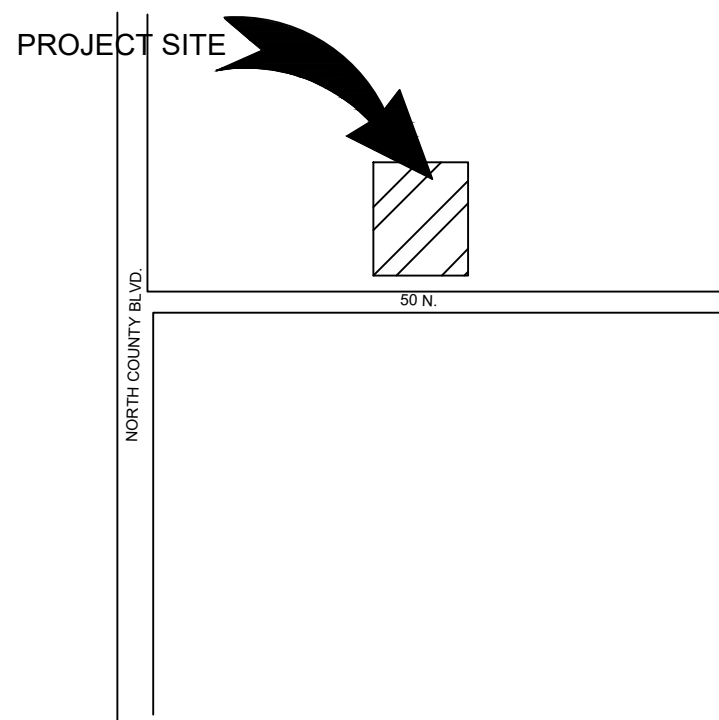
10% OF REQUIRED SHRUBS MAY BE CONVERTED TO PERENNIALS AND/OR GROUNDCOVERS AT A RATIO OF THREE ONE-GALLON PERENNIALS AND/OR GROUND COVERS FOR ONE FIVE-GALLON SHRUB.

IMPROVED AREA MEANS THE TOTAL (GROSS) LOT AREA BEING USED INCLUDING THE BUILDING, PARKING LOT, AND STORAGE OR DISPLAY AREAS.

PLANT LEGEND

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	ATR	2	Acer tataricum 'JS-KW2' TM Rugged Charm Tatarian Maple	B & B	2"Cal
	GBP	1	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Ginkgo	B & B	2"Cal
	QR'A	3	Quercus robur x alba 'JFS-KW1QX' TM Street Spire Oak	B & B	2"Cal
	ZS'B	5	Zelkova serrata 'Burgundy Vase' Burgundy Vase Zelkova	B & B	2"Cal
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	AA'O	10	Amelanchier alnifolia 'Obelisk' TM Standing Ovation Serviceberry	5 gal	
	AM'H	21	Aronia melanocarpa 'Low Scape Hedger' Low Scape Hedger Chokeberry	5 gal	
	AM'M	23	Aronia melanocarpa 'Low Scape Mound' Low Scape Mound Chokeberry	5 gal	
	BTC	10	Berberis thunbergii 'Concorde' Concorde Japanese Barberry	5 gal	
	CBM	12	Caryopteris x chandonensis 'CT-9-12' TM Beyond Midnight Bluebeard	5 gal	
	PO'F	3	Physocarpus opulifolius 'UMNHarpell' Fireside TM Fireside Ninebark	5 gal	
	PBP	22	Prunus besseyi 'PWHS' TM Pawnee Buttes Sand Cherry	5 gal	
	RT'A	10	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal	
	RT'T	1	Rhus typhina 'Tiger Eyes' Tiger Eyes Sumac	5 gal	
	SB'G	6	Spiraea betulifolia 'Tor Gold' TM Glow Girl Birchleaf Spirea	5 gal	
	SBP	22	Syringa x 'SMNJRPJ' TM Boomerang Dwarf Purple Lilac	5 gal	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	JS'B	14	Juniperus Scopulorum 'Blue Arrow' Blue Arrow Juniper	B & B	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	CA'K	31	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal	
	H'S	26	Helictotrichon sempervirens 'Sapphire' Blue Out Grass	1 gal	
	PO'K2	20	Pennisetum orientale 'Karley Rose' Karley Rose Fountain Grass	1 gal	

VICINITY MAP



ISSUE DATE
10/17/2023

PROJECT NUMBER
UT23100

PLAN INFORMATION
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

PROJECT INFORMATION
SURG MEDICAL/PROFESSIONAL
OFFICE BLDG.
1141 E. 50 N.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT
DESERT EDGE ARCHITECTURE
ATT: STEVE BEESLEY
435-673-7362
STEVE@DESERTEDGE.CO

LANDSCAPE ARCHITECT / PLANNER
PKJ DESIGN GROUP

LICENSE STAMP
DESERT EDGE ARCHITECTURE
JTA
10/17/2023

DRAWING INFO
PLOT DATE: 10/17/2023

NO. REVISION
1 XXXX
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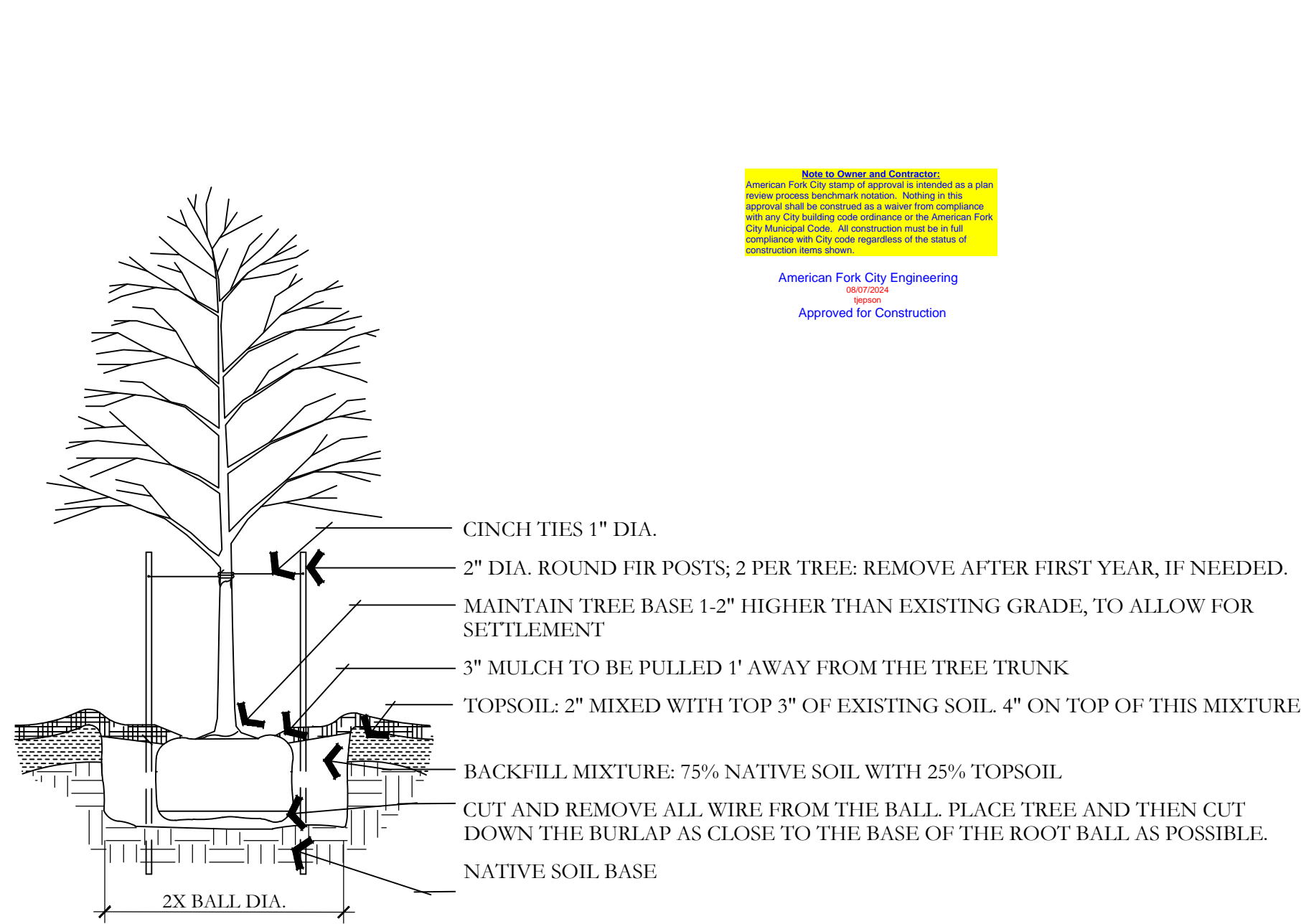
DATE
XX-XX-XX

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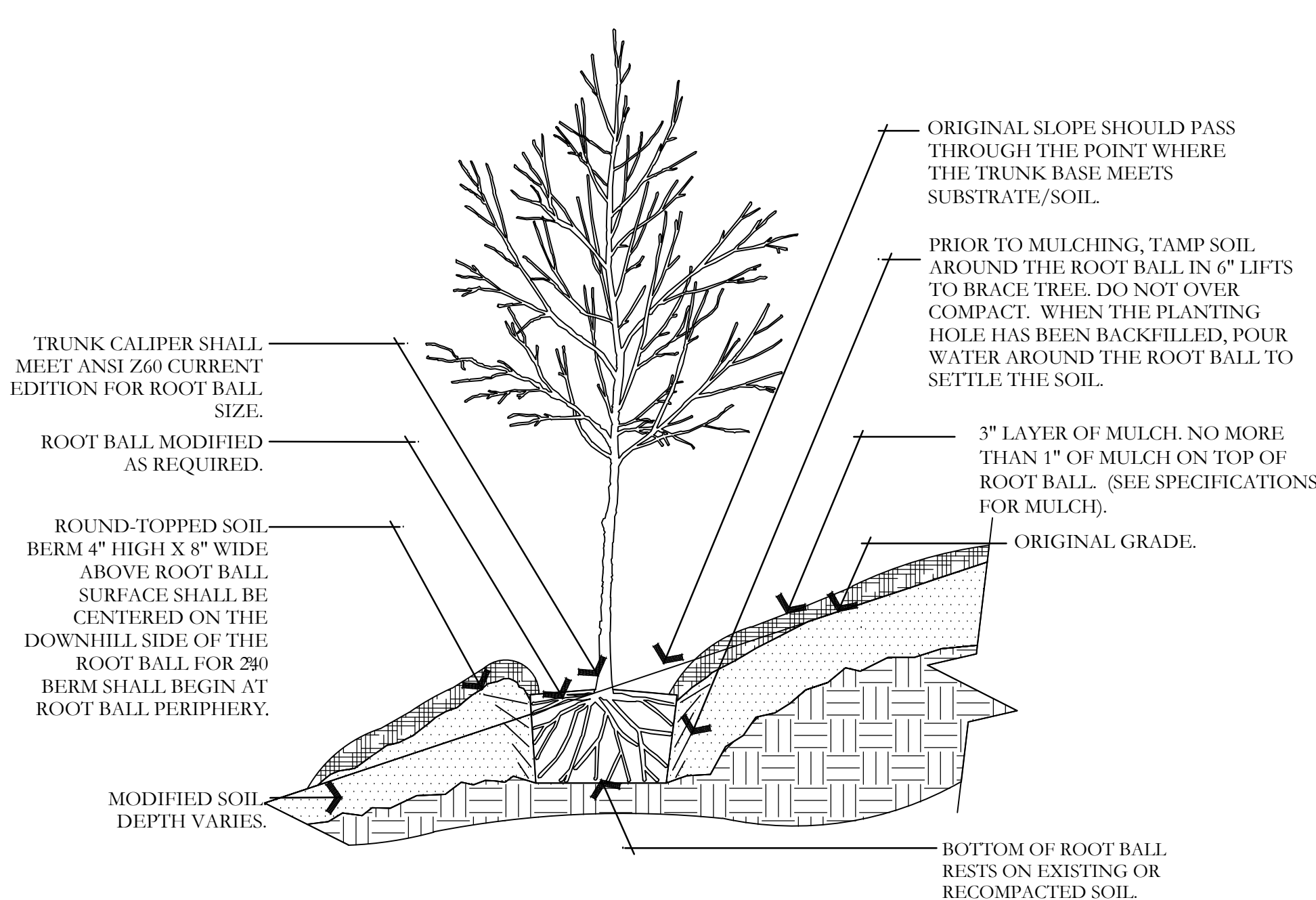
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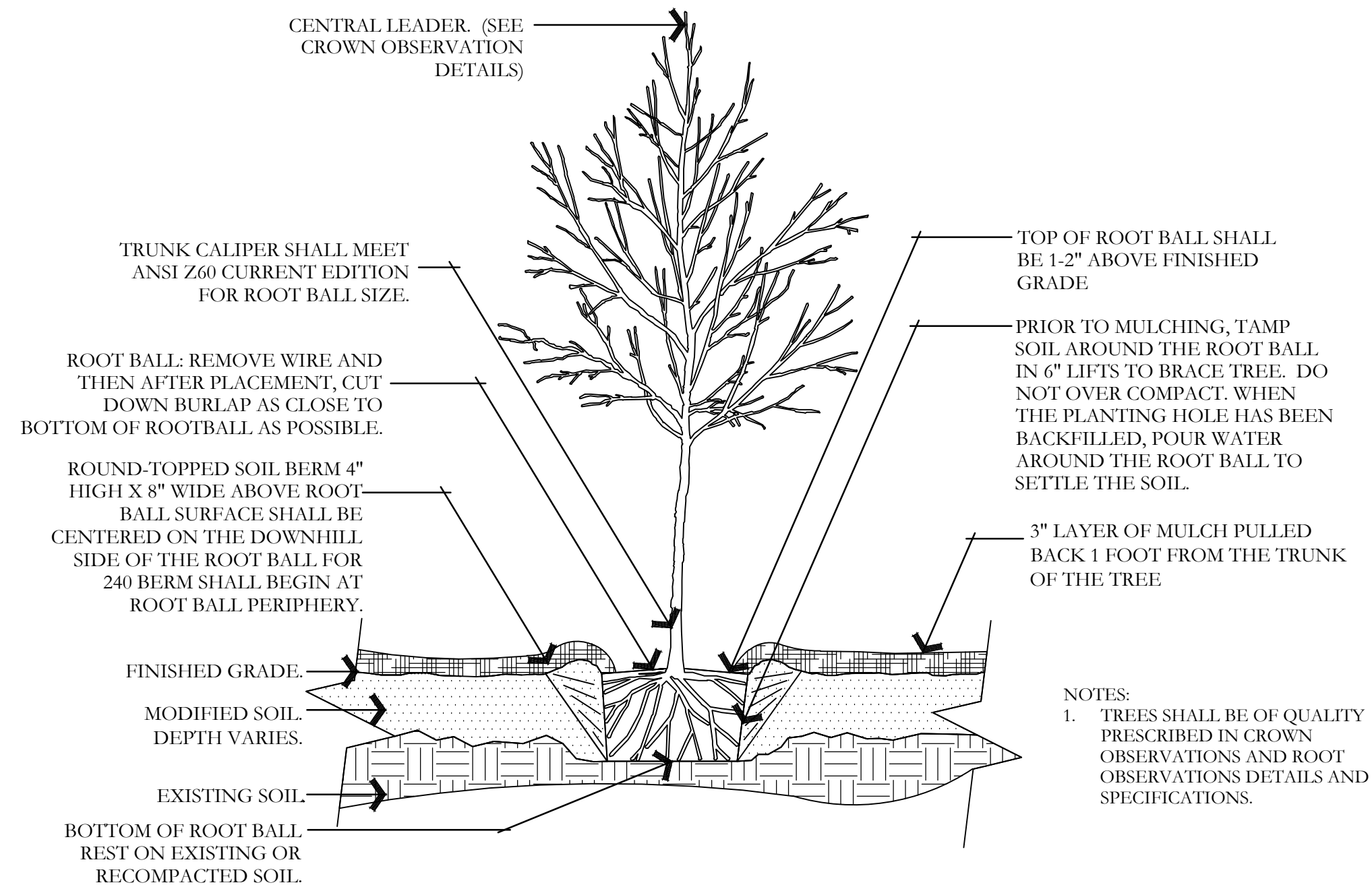
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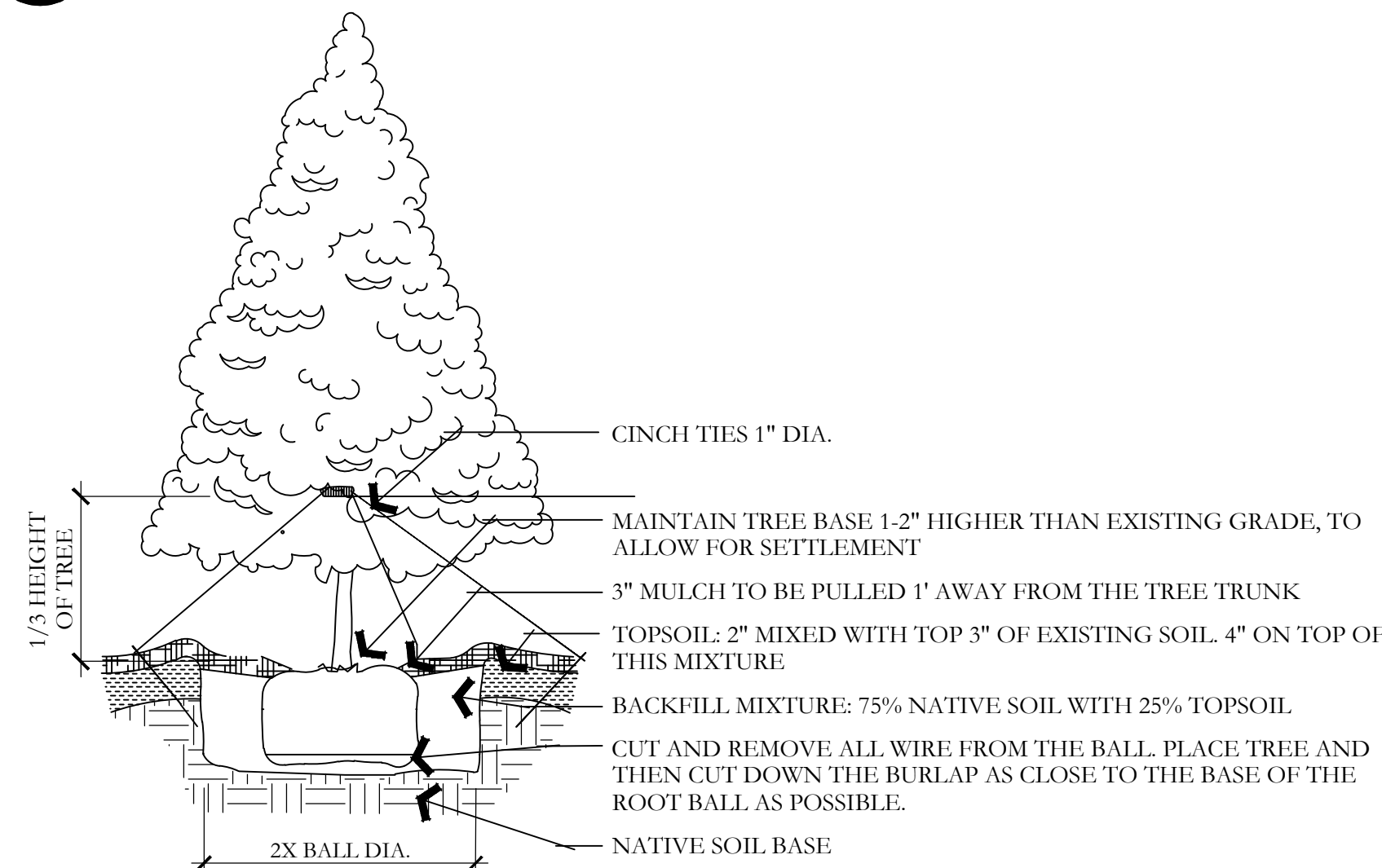
A DECIDUOUS TREE PLANTING
NOT TO SCALE



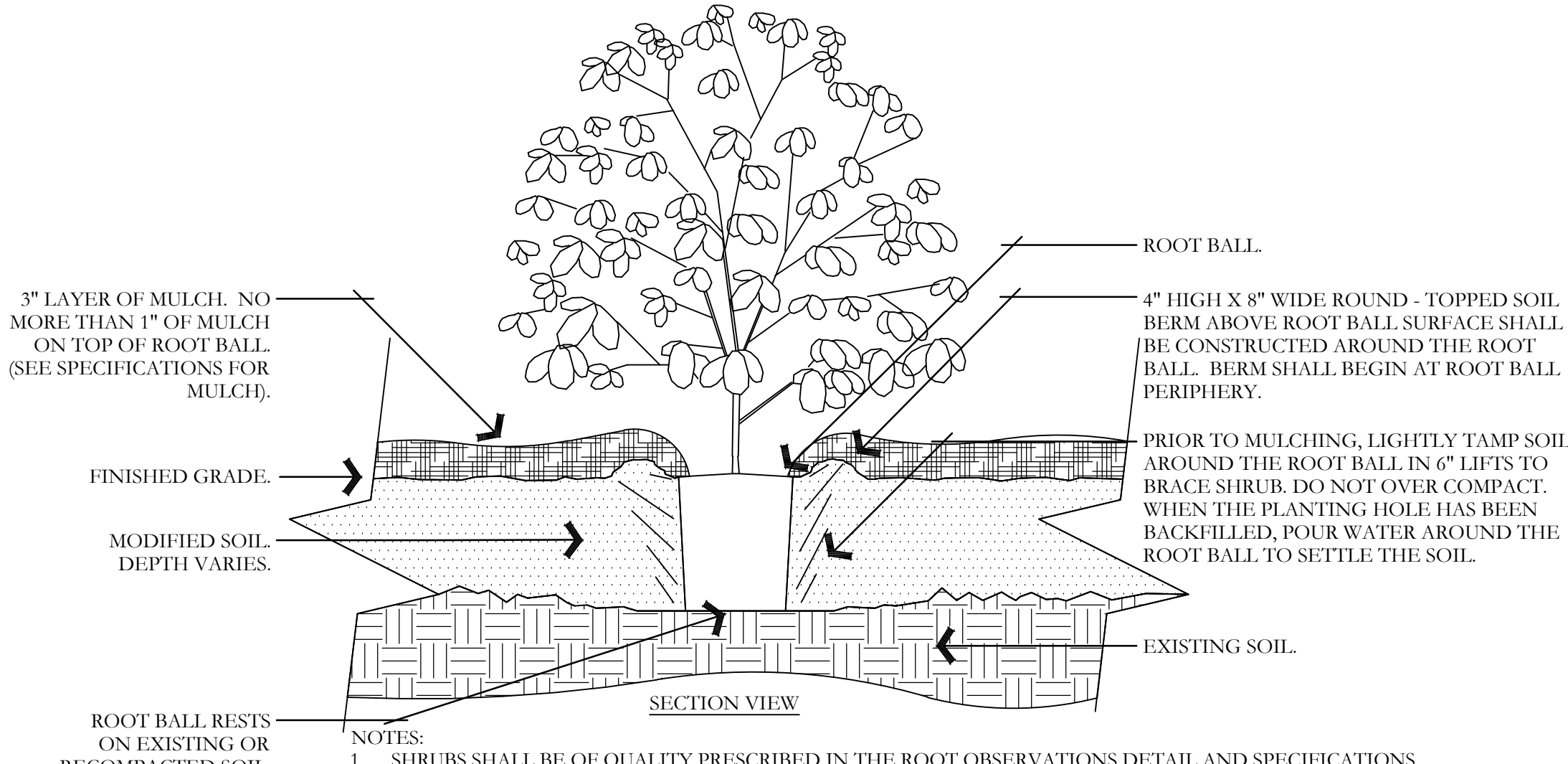
B TREE ON SLOPE 5% (20:1) TO 50% (2:1)
NOT TO SCALE



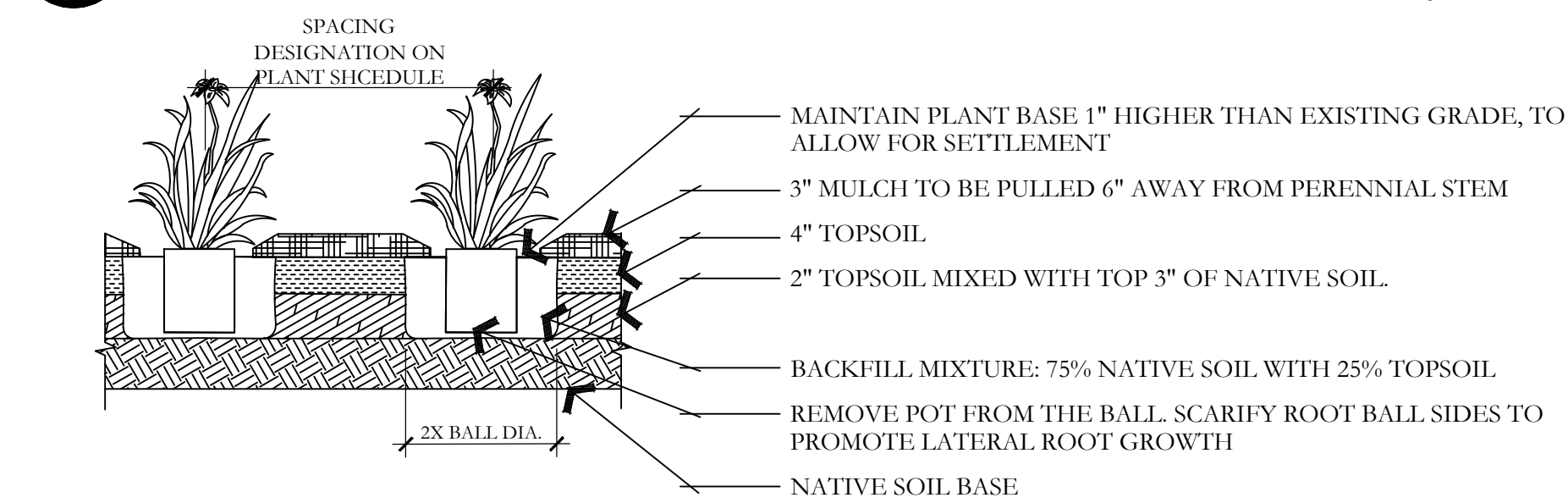
C TREE W/ BERM (EXISTING SOIL MODIFIED)
NOT TO SCALE



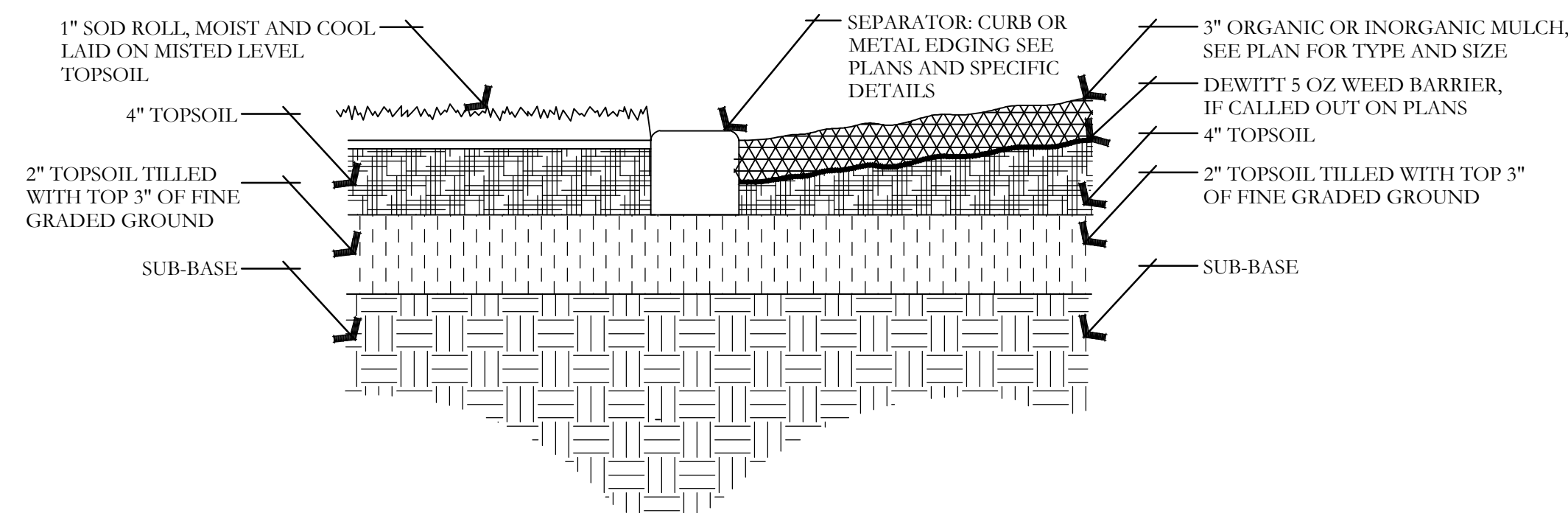
D EVERGREEN TREE PLANTING
NOT TO SCALE



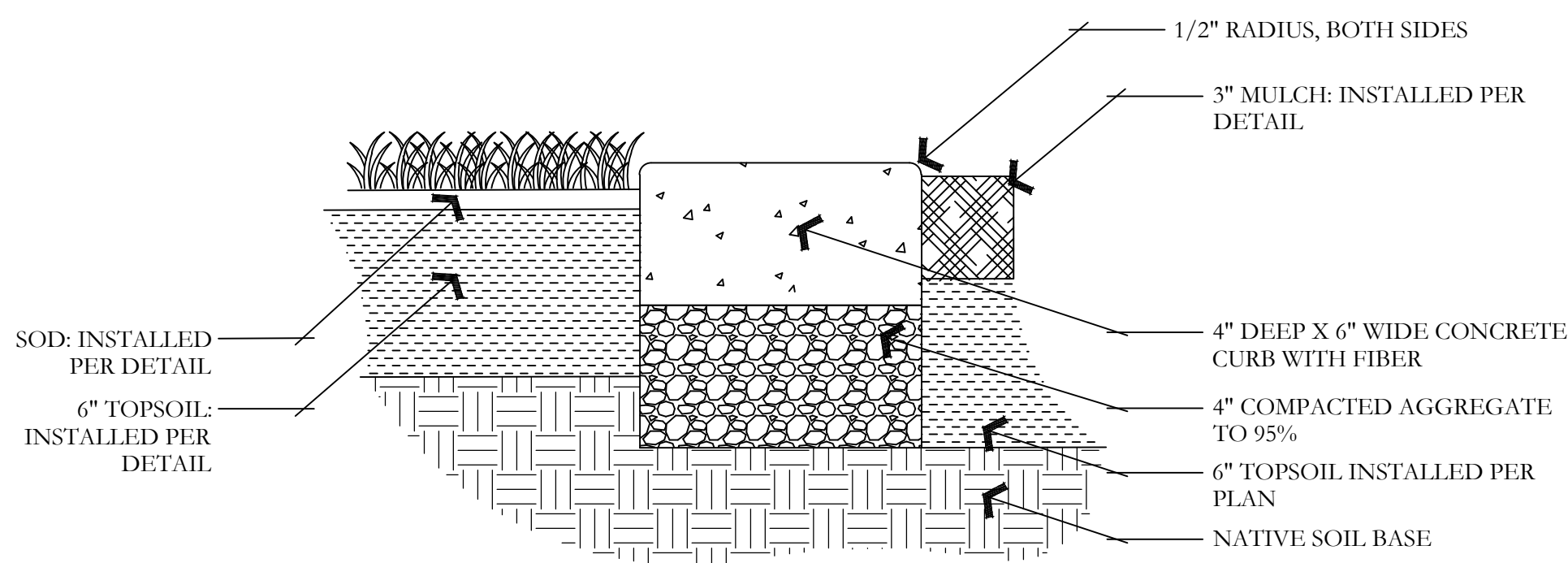
E SHRUB - MODIFIED SOIL
NOT TO SCALE



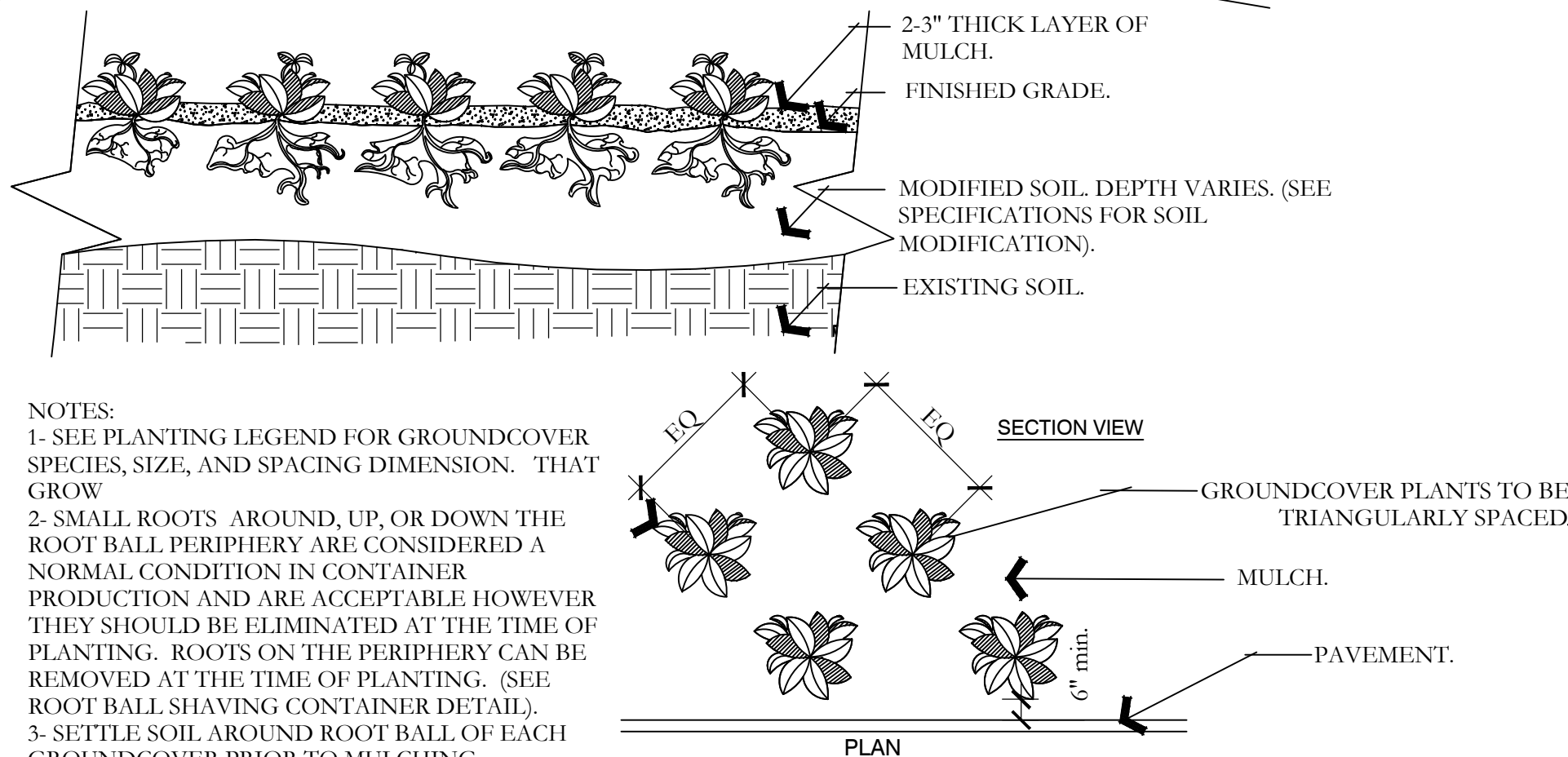
F PERENNIAL PLANTING
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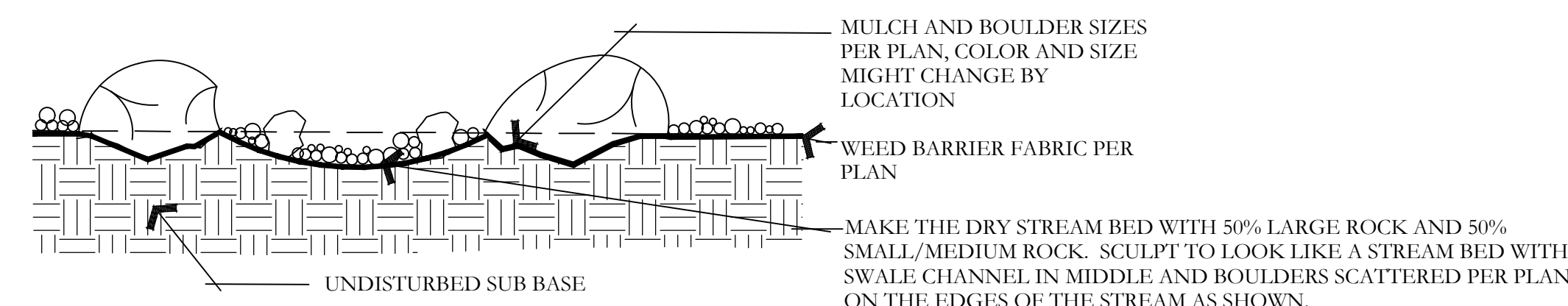
I SOD LAYING/MULCH DETAIL
NOT TO SCALE



G CONCRETE MOWCURE
NOT TO SCALE

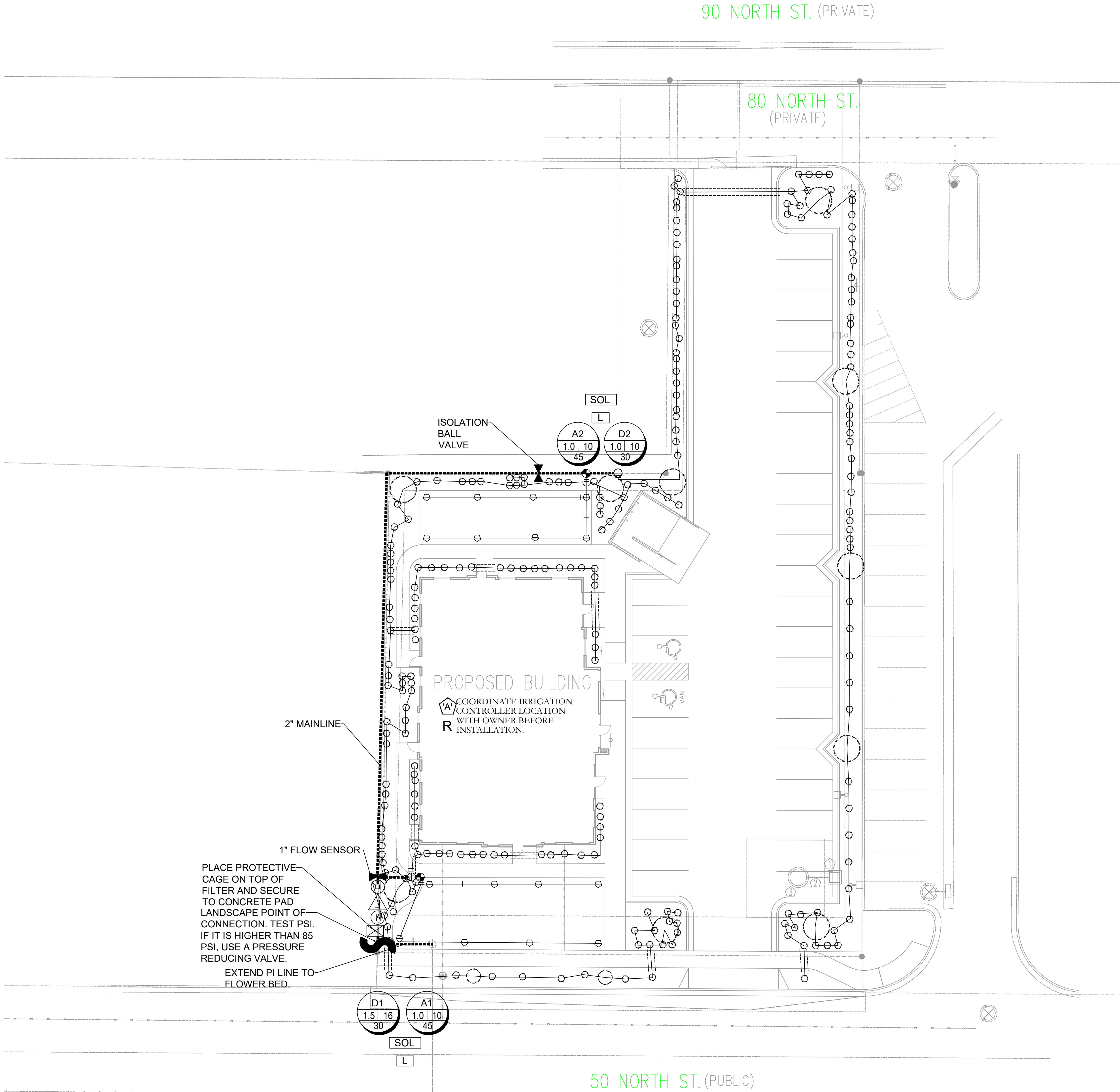


H PERENNIAL/GROUND COVER PLANTING
NOT TO SCALE



J BOULDER AND DRY STREAM BED DETAIL
NOT TO SCALE

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
10/17/2023	UT23100			DESERT EDGE ARCHITECTURE ATT: STEVE BEESLEY 435-673-7362 STEVE@DESERTEDGE.CO	PKJ DESIGN GROUP		PM: JTA DRAWN: ACP CHECKED: JMA PLOT DATE: 10/17/2023
NO.	REVISION	DATE	BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org	SURG MEDICAL/PROFESSIONAL OFFICE BLDG. 1141 E. 50 N. AMERICAN FORK, UTAH			
1	XXXX	XX-XX-XX		DESERT EDGE ARCHITECTURE ATT: STEVE BEESLEY 435-673-7362 STEVE@DESERTEDGE.CO			
2				COPYRIGHT: PKJ DESIGN GROUP			
3				THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS PROPERTY OF PKJ DESIGN GROUP. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PKJ DESIGN GROUP.			
4				75% NATIVE SOIL WITH 25% TOPSOIL			
5				3" LAYER OF MULCH			
6				4" TOPSOIL			
7				2" TOPSOIL MIXED WITH TOP 3" OF EXISTING SOIL			



IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER
	RAINBIRD RD04-S-PRS POP UP SPRAY 5 SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 8 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 10 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 12 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 SST @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 EST @ 30 PSI
	RAINBIRD 5004+PCR SERIES W/ MPR NOZZLES @ 45 PSI
	RAINBIRD 8005 SERIES QH#8-6.6 GPM, H#14-12.6 GPM, F#26-24.3 GPM NOZZLES
	POINT OF CONNECTION (SECONDARY WATER) SEE PLAN FOR SIZE TEST PSI PRESSURE. IF HIGHER THAN 85 PSI USE A PRESSURE REDUCING VALVE.
	CONTROLLER:RAINBIRD ESP-LXIVM, WITH COMMUNICATION CARTRIDGE (4G/ETHERNET), CONTRACTOR TO ADJUST LOCATION WITH OWNER PRIOR TO CONSTRUCTION.
	RAINBIRD WR2-RC WIRELESS RAIN SHUT OFF DEVICE
	ISOLATION BALL VALVE - LINE SIZED INSTALL PER MANUFACTURER'S SPEC.
	2\" T SUPER AMIAD PLASTIC FILTER W/ BRUSHAWAY ASSEMBLY - INSTALL PER MANUFACTURER'S RECOMMENDATIONS (130 MICRON)
	MASTER VALVE
	UF5100-FLOW SENSOR-SIZE FLOW SENSOR ACCORDING TO MINIMUM GPM ZONE ON SYSTEM TO MAKE SURE THAT THE FLOW SENSOR IS CAPTURING FLOW. (USE SIZING CHARTS)
	QUICK COUPLER: RAINBIRD 44LRC INSTALL PER MANUFACTURER'S SPEC.
	SMART VALVE IVMSOL. INSTALL PER MANUFACTURER'S SPEC.
	LIGHTNING ARRESTER INSTALL PER MANUFACTURER'S SPEC. (EVERY 500 FT., OR 15 IVM DEVICES MAXIMUM)
	REMOTE CONTROL VALVE: RAINBIRD IVMSOL AUTOMATIC CONTROL VALVE (USE TAN LID IN PLANTER AREAS & GREEN LID IN GRASS AREAS) PLACE YELLOW TAGS ON ALL VALVES AND LABEL.
	D RIP CONTROL ZONE KIT: RAINBIRD XCZ100IVM- FLOW INDICATING BASKET FILTER-(PER PLAN)-PRBR-COM MED FLOW (SIZE AS NOTED ON PLAN)
	MAINLINE: SCHEDULE 40 PVC WITH SCHEDULE 80 FITTINGS, 2\"/>
	LATERAL LINE: SCHEDULE 40 PVC WITH SCH. 40 FITTINGS. PIPE SIZING: 1/2\"/>
	D RIP RWS-S-B-1401 (ROOT WATERING SYSTEM PROVIDE 2 TO EACH TREE)
	D RIP LINE: RAINBIRD XFS-CV-09-18 OR EQUIVALENT CLASS 200 SLEEVE PER PLAN
NO SYMBOL	WIRE CHASE, SIZE TO BE TWICE THE DIAMETER OF THE WIRE BUNDLE WITHIN. 1.1/4\"/>

DRIP ZONE

TYPE	PART NUMBER	EMITTER FLOW
XFS DRIP LINE	XFS-CV-09-18	9 GPH
SHRUBS-DRIP LINE: RAINBIRD XFS-CV-09-18 OR EQUIVALENT		*EACH ZONE NOT TO EXCEED 20 GPM
*INSTALL POINT SOURCE EMITTERS FOR ESTABLISHMENT PERIOD. REMOVE AFTER ESTABLISHMENT PERIOD.		
TREES-DRIP LINE: RAINBIRD XFS-CV-09-18 OR EQUIVALENT		*EACH ZONE NOT TO EXCEED 20 GPM
*ONLY WATER PLANT SPECIFICALLY. DO NOT WATER ROCK AREA WITH NO PLANTS		
*SEE DETAILS FOR SHRUB AND TREE DRIP LINE CONFIGURATION		

IRRIGATION NOTES

- BEFORE WORK IS TO COMMENCE, BLUE STAKES/DIG LINE IS TO BE CALLED AND NOTIFIED. IF ANY DAMAGE TO UTILITIES HAPPEN DURING CONSTRUCTION, THE CONTRACTOR SHALL REPAIR IT AT THEIR EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
- CONTRACTORS SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS IN ACCORDANCE WITH CITY AND/OR COUNTY CODES AND COMPLY WITH SPECIFICATIONS AND DRAWINGS.
- INVESTIGATE TO MAKE SURE THAT THE IRRIGATION SYSTEM IS, IN FACT, BEING CONNECTED TO A SECONDARY SYSTEM. IF IT IS NOT CONNECTED TO SECONDARY, CONTACT THE OWNER AND LANDSCAPE ARCHITECT TO COORDINATE A CULINARY SYSTEM AND REQUIRED COMPONENTS. A FUNCTIONING AMIAD FILTER IS TO BE USED AT THE POINT OF CONNECTION.
- VERIFY THAT THE POINT OF CONNECTION IS IN THE CORRECT LOCATION BEFORE INSTALLATION. ALL CONNECTIONS ON THIS PROJECT ARE TO SECONDARY WATER AND SHOW BE BEING USED AS SUCH. THEREFORE, ALL PARTS MUST MEET WATER STANDARDS THAT PERTAIN TO SECONDARY WATER USE. PURPLE VALVE BOXES FOR SECONDARY WATER SYSTEMS.
- ON OCCASION AND FOR GRAPHIC PURPOSES ONLY, THE IRRIGATION SYSTEM MIGHT BE SHOWN IN HARDSCAPE AREAS. THIS IRRIGATION IS TO BE PLACED IN LANDSCAPED AREAS ON THE PROPERTY SITE.
- CONTRACTOR SHALL USE ONLY COMMERCIAL GRADE IRRIGATION PRODUCTS. THIS INCLUDES PIPE TO BE SCHEDULE 40 PVC OR BETTER. NO POLY PIPE IS TO BE USED. FITTINGS UP TO 1-1/2\"/>
- MAIN LINES SHALL BE A MINIMUM OF 24\"/>
- NO IRRIGATION MAIN LINE MAY BE LOCATED WITHIN 5 FEET OF ANY STRUCTURE.
- TO AVOID PIPE DAMAGE, ADJUST LOCATION OF PIPE TO NOT BE DIRECTLY UNDER PLANT MATERIALS. VALVE BOXES ARE PREFERRED TO BE IN PLANTER BEDS INSTEAD OF THE LAWN. SYSTEM IS TO BE WINTERIZED IN THE LATE FALL.
- PLAN INDICATES 100% OR BETTER HEAD TO HEAD COVERAGE. SHOULD CONTRACTOR FIND DISCREPANCIES DUE TO NECESSARY FIELD ADJUSTMENTS, CONTACT LANDSCAPE ARCHITECT FOR IRRIGATION CORRECTION.
- DRIP IRRIGATION TO BE INSTALLED PER DETAILS. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS. TUBING SHOULD REST TOWARD OUTER EDGE OF ROOTBALL AND NOT AGAINST TRUNK OF PLANT.
- A QUICK COUPLER SHALL BE INSTALLED AT POINT OF CONNECTION TO ALLOW BLOW OUT OF SYSTEM BY AIR COMPRESSOR AT END OF EACH SEASON.
- INSTALL SLEEVES FOR ALL PIPES AND WIRE CONDUIT THAT ARE PLACED UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE BEING PLACED INTERNALLY. WIRE CONDUIT SHALL BE INSTALLED IN CLASS 200 PIPE. AT ANY DIRECTIONAL CHANGE THAT OCCURS, A JUNCTION BOX IS TO BE PLACED.
- CONDUITS CAN NOT BE SHARED BY WATER AND ELECTRICAL LINES. ALL WIRE TO BE PUT IN PVC CONDUIT. ALL WIRE CONNECTIONS TO BE PLACED IN A VALVE BOX. ALL WIRE CONNECTIONS TO USE WATERPROOF WIRE CONNECTORS WITH AT LEAST 3\"/>
- CONTRACTOR TO INSTALL LIGHTNING ARRESTOR AND GROUNDING RODS ON SITE PER MANUFACTURER'S RECOMMENDATIONS, SEE DETAILS.
- CONTRACTOR TO SEPARATE SYSTEM (CONTROLLER, VALVES, AND DIFFERENT COLORED WIRE) FROM CITY MAINTAINED PROPERTY AND HOA/OWNER MAINTAINED PROPERTY.
- DUCT TAPE ALL SLEEVES TO PREVENT SOIL OR OTHER DEBRIS ENTERING PIPE. IDENTIFY ALL SLEEVES BY WOOD OR PVC STAKES AND SPRAY PAINT WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- TO PREVENT EROSION AND LOW POINT DRAINAGE CONTRACTOR SHALL INSTALL CHECK VALVES
- LOCATE SPRAY HEADS NO CLOSER THAN 6\"/>
- PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING. CONTACT LANDSCAPE ARCHITECT/OWNER AT THIS TIME FOR COMPLIANCE.
- CONTRACTOR TO CONSULT WITH OWNER ON EXACT LOCATION OF CONTROLLER. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR AND OWNER FOR THE POWER SUPPLY. INSTALL ALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL INSTALL A RAIN SENSOR WITH THE CONTROLLER UNLESS OTHERWISE DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
- LATERAL LINES SHALL BE NO SMALLER THAN 3/4\"/>

VALVE ID TAG

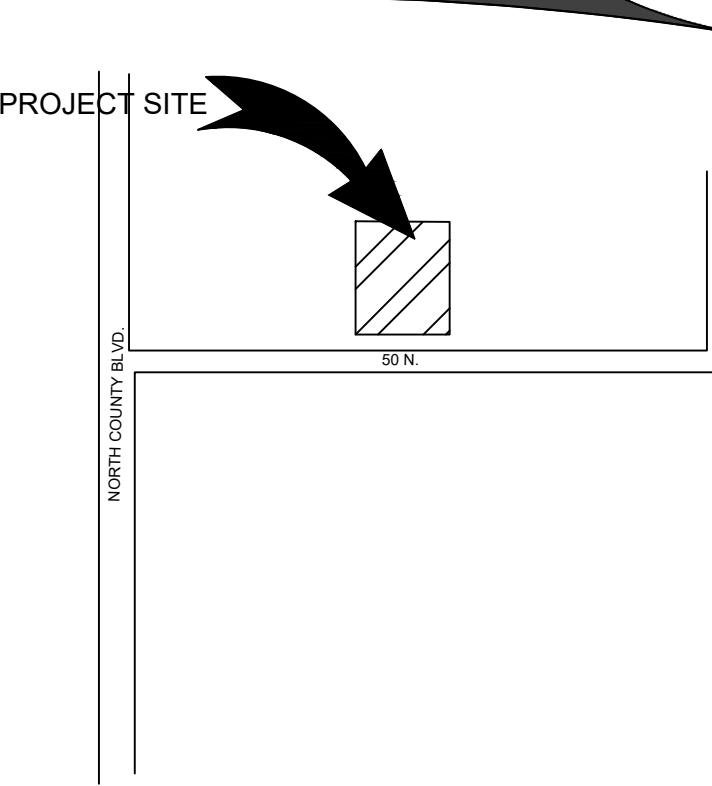
CONTROLLER NUMBER:
VALVE NUMBER

NOTE:
1. VALVE ID TAGS ARE LOCATED
NEAR VALVES IN THE ORDER THE
VALVES APPEAR ON THE DRAWING

VALVE SIZE
PSI AT LAST
HEAD IN ZONE

A1
1.0 18
55

VICINITY MAP



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10/17/2023

UT23100

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GRAPHIC SCALE: 1" = 16'

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Landscape Architecture • Planning & Visualization

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LEHI, UTAH 84043 (801) 753-5644
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IRRIGATION OVERALL PLAN
CITY PERMIT SET

IR-100

IRRIGATION PLAN SPECIFICATIONS

- IRRIGATION SPECIFICATIONS
- PART I - GENERAL
- 1.1 SUMMARY
- Work to be done includes all labor, materials, equipment and services required to complete the Project irrigation system as indicated on the Construction Drawings, and as specified herein. Includes but is not limited to: Furnishing and installing underground and above ground sprinkler system complete with any accessories necessary for proper function and operation of the system. All plant material on the Project shall be irrigated. Remove and dispose of any existing sprinkler system components which are disturbed during the construction process and are not to be saved. Restoration of any altered or damaged existing landscape to original state and condition.
- 1.2 SYSTEM DESCRIPTION
- A.Design of irrigation components: Locations of irrigation components on Construction Drawings may be approximate. Piping, sleeving and/or other components shown on Construction drawings may be shown schematically for graphic clarity and demonstration of component groupings and separations. All irrigation components shall be placed in landscaped areas, with the exception of pipe and wire in sleeving under landscapes. Actual routing of pipe, wire or other components may be altered due to site conditions not accounted for in the design process.
- B.Construction requirements: Actual placement may vary as required to achieve a minimum of 100% coverage without overspray onto landscape, buildings or other features.
- C.Layout of Irrigation Components: During layout and staking, consult with Owner Approved Representative (hereafter referred to as OAR) to verify proper placement of irrigation components, and to provide Contractor recommendations for changes where revisions may be advisable. Small or minor adjustments to system layout are permissible to avoid existing field obstructions such as utility boxes or street light poles. Contractor shall place remote control valves in groups as practical to economize on quantity of manifold isolation valves. Quick coupler valves shall be placed with manifold groups and protected by manifold isolation valves. Quick coupler valves are shown on Construction Documents in approximate locations.
- 1.3 DEFINITIONS
- A.Water Supply: Secondary water piping and components, furnished and installed by others to provide irrigation water to this Project, including but not limited to filter, saddles, nipples, spools, shut off valves, corporation stop valves, water meters, pressure regulation valves, and piping upstream of (or prior to) the Point of Connection.
- B.Point of Connection: Location where the Contractor shall tie into the water supply. May require filter, saddle, nipples, spools, isolation valves or Stop and Waste valve for landscape irrigation needs and use.
- C.Main Line Piping: Pressurized piping downstream of the Point of Connection to provide water to remote control valves and quick couplers. Normally under constant pressure.
- D. Lateral Line Piping: Circuit piping downstream of remote control valves to provide water to sprinkler heads, drip systems or bubblers.
- 1.4 REFERENCES
- A.The following standards will apply to the work of this Section:
- a. ASTM-American Society for Testing and Materials
- b. IA - The Irrigation Association: Main BMP Document, Landscape Irrigation Scheduling and Water Management Document.
- 1.5 SUBMITTALS
- A.At least thirty (30) days prior to ordering of any materials, the Contractor shall provide manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system. Submittals shall be in three ring binders or other similar bound form. Provide five copies of submittals to OAR for distribution. Place cover or index sheet indicating order in submittal document. No material shall be ordered, delivered or any work precoded in the field until the required submittals have been received in its entirety and stamped approved. Delivered material shall match the approved samples.
- B.Operation and Maintenance Manual:
- a. At least thirty (30) days prior to final inspection, the Contractor shall provide Operation and Maintenance manual to OAR, containing:
- i. Manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system.
- ii. Parts list for each operating element of the system
- iii.Manufacturer printed literature on operation and maintenance of operating elements of the system.
- iv.Section listing instructions for overall system operation and maintenance. Include directions for Spring Start-up and Winterization.
- b. Project Record Copy
- i. Maintain at project site one copy of all project documents clearly marked "Project Record Copy". Mark any deviation in material installation on Construction drawings. Maintain and update drawing at least weekly. Project Record Copy to be available to OAR on demand.
- ii. Completed Project As-Built Drawings
1. Prior to final inspection, prepare and submit to OAR accurate as-built drawings
2. Show detail and dimension changes made during installation. Show significant details and dimensions that were not shown in original Contract Documents.
3. Field dimension locations of sleeving, points of connection, main line piping, wiring runs not contained in main line pipe trenches, valves and valve boxes, quick coupler valves.
4. Dimensions are to be taken from permanent constructed surfaces, features, or finished edges located at or above finished grade.
5. Controller Map: upon completion of system, place in each controller a color coded copy of the area that controller services indicating zone number, type of plant material and location on project that zone services. Laminate map with heat shrink clear plastic.
- 1.6 QUALITY ASSURANCE
- A.Acceptance: Do not install work in this section prior to acceptance by OAR.
- B.Regulatory Requirements: All work and materials shall be according to any and all rules, regulations or codes, whether they are State or Local laws and ordinances. Contract documents, drawings or specifications may not be construed or interpreted to permit work or materials not conforming to the above codes.
- C.Adequate Water Supply: Water supply to this Project exists, installed by others. Connections to these supply lines shall be by this Contractor. Verify that proper connection is available to supply line and is of adequate size. Verify that secondary connection components may be installed if necessary. Perform static pressure test prior to commencement of work. Notify OAR in writing of problems encountered prior to proceeding.
- D. Workmanship and Materials:
- a. It is the intent of this specification that all material herein specified and shown on the construction documents shall be of the highest quality available and meeting the requirements specified.
- b. All work shall be performed in accordance with the best standards of practice relating to the trade.
- E.Contract Qualifications:
- a. Contractor shall provide document or resume including at least the following items:
- i. That Contractor has been installing sprinklers on commercial projects for five previous consecutive years.
- ii. Contractor is licensed to perform Landscape and Irrigation construction in the State of this Project.
- iii.Contractor is bondable for the work to be performed.
- iv.References of five projects of similar size and scope completed within the last five years. Three of the projects listed shall be local.
- v. Listing of suppliers where materials will be obtained for use on this Project.
- vi.Project site Foreman or Supervisor has at least five consecutive years of commercial irrigation installation experience.
- 2.7 MAIN LINE FITTINGS
- A.All main line fittings 3" and larger shall be gasketed ductile iron material. All ductile iron fittings having change of
- This person shall be a current Certified Irrigation Contractor in good standing as set forth by the Irrigation Association. This person shall be on Project site at least 75% of each working day.
- vii. Evidence that Contractor currently employs workers in sufficient quantities to complete Project within time limits that are established by the Contract.
- viii. All General laborers or workers on the Project shall be previously trained and familiar with sprinkler installation and have a minimum of one-year experience. Those workers performing tasks related to PVC pipe shall have certificates designated below.
- 1.7 DELIVERY-STORAGE-HANDLING
- A.During delivery, installation and storage of materials for Project, all materials shall be protected from contamination, damage, vandalism, and prolonged exposure to sunlight. All material stored at Project site shall be neatly organized in a compact arrangement and storage shall not disrupt Project Owner or other trades on Project site. All material to be installed shall be handled by Contractor with care to avoid breakage or damage. Damaged materials attributed to Contractor shall be replaced with new at Contractor's expense.
- 1.8 SEQUENCING
- A.Perform site survey, research utility records, contact utility location services. The Contractor shall familiarize himself with all hazards and utilities prior to work commencement. Install sleeving prior to installation of concrete, paving or other permanent site elements. Irrigation system Point of Connection components, backflow prevention and pressure regulation devices shall be installed and operational prior to all downstream components. All main lines shall be thoroughly flushed of all debris prior to installation of any sprinkler heads.
- 1.9 WARRANTY
- A.Contractor shall provide one year Warranty. Warranty shall cover all materials, workmanship and labor. Warranty shall include filling and/or repairing depressions or replacing turf or other plantings due to settlement of irrigation trenches or irrigation system elements. Valve boxes, sprinklers or other components settled from original finish grade shall be restored to proper grade. Irrigation system shall have been adjusted to provide proper, adequate coverage of irrigated areas.
- 1.10 OWNERS INSTRUCTION
- A.After system is installed, inspected, and approved, instruct Owner's Representatives in complete operation and maintenance procedures. Coordinate instruction with references to previously submitted Operation and Maintenance Manual.
- 1.11 MAINTENANCE
- A.Furnish the following items to Owner's Representative:
- a. Two quick coupler keys with hose swivels.
- b. One of each type or size of quick coupler valve and remote control valve. Five percent of total quantities used of each sprinkler and sprinkler nozzle.
- B.Provide the following services:
- a. Winterize entire irrigation system installed under this contract. Winterize by 'blow-out' method using compressed air. Compressor shall be capable of minimum of 175 CFM. This operation shall occur at the end of first growing season after need for plant irrigation but prior to freezing. Compressor shall be capable of evacuating system of all water pressure regulation devices. Compressor shall be regulated to not more than 60 PSI. Start up system the following spring after danger of freezing has passed. Contractor shall train Owner's Representative in proper start-up and winterization procedure.

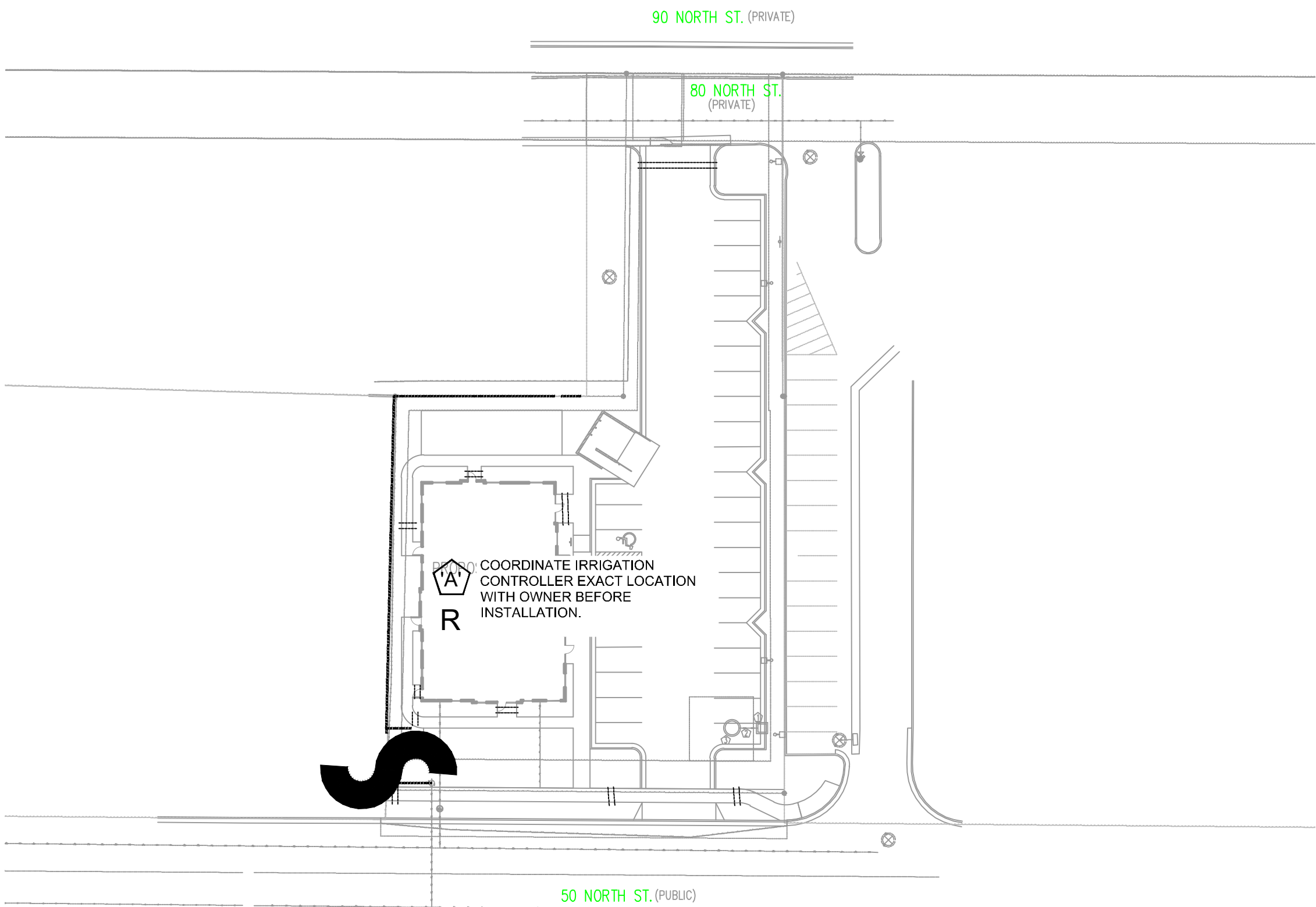
- direction shall have proper concrete thrust block installed. All main line fittings smaller than 3" in size shall be Schedule 80 PVC.
- 2.8 ISOLATION VALVES
- A.Isolation valves 3" and larger shall be Watrous brand model 2500 cast iron gate valve, resilient wedge, push on type, with 2" square operating nut. Place sleeve of 6" or larger pipe over top of valve vertically and then extend to grade. Place 10" round valve box over sleeve at grade.
- B.Isolation valves 2-1/2" and smaller shall be Apollo brand 70 series brass ball valves, contained in a Carson Standard size valve box. Valves shall be installed with S/80 PVC TOE Nipples on both sides of the valve. Valve shall be placed so that the handle is vertical toward the top of the valve box in the 'off' position.
- 2.9 MANIFOLDS
- A.Action Manifold fittings shall be used to create unions on both sides of each control valve, allowing the valve to be removed from the box without cutting piping. Valves shall be located in boxes with ample space surrounding them to allow access for maintenance and repair. Where practical, group remote control valves in close proximity, and protect each grouping with a manifold isolation valve as shown in details. Manifold Main Line (or Sub-Main Line) and all manifold components and isolation valves shall be at least as large as the largest diameter lateral served by the respective manifold.
- 2.10 REMOTE CONTROL VALVES
- A.Remote control valves shall be as specified on the drawings. Remote control valves shall be located separately and individually in separate control boxes.
- 2.11 MANUAL CONTROL VALVES
- A.Quick coupler valve shall be attached to the manifold sub-main line using a Lasco G178212 swing joint assembly with snap-lock outlet and brass stabilizer elbow. Quick coupler valve shall be placed within a Carson 10" round valve box. Top of quick coupler valve cover shall allow for complete installation of valve box lid, but also allow for insertion and operation of key. Base of quick coupler valve and top of quick coupler swing joint shall be encased in 3/4" gravel. Contractor shall not place quick coupler valves further than 200 feet apart, to allow for spot watering or supplemental irrigation of new plant material. Quick coupler valve at POC shall not be eliminated or relocated.
- 2.12 LATERAL LINE PIPE
- A.All lateral piping shall be Schedule 40 PVC, solvent weld, and bell end. Lateral pipe shall be buried with 12-18" of cover typically. Lateral pipe shall be 3/4", 1", 1 1/2", 1 3/4" or 2" in size as indicated on Construction Drawings.
- 2.13 LATERAL LINE FITTINGS
- A.All lateral line fittings shall be S/40 PVC.
- 2.14 SPRAY SPRINKLERS
- A.Spray head sprinklers shall be as specified on the drawings. Nozzles shall be as specified on the drawings.
- 2.15 VALVE BOXES
- A. Rainbird valve boxes shall be used on this project. Sizes are as directed in these Specifications, detail sheets or plan sheets. Valve boxes shall be centered over the control valve or element they cover. Valve box shall be sized large enough to allow ample room for services access, removal or replacement of valve or element. Valve box shall be set to flush to finish grade of topsoil or hardscape areas. Contractor shall provide extensions or stack additional valve boxes as necessary to bring valve box pit to proper grade.
- 2.16 IMPORT BACKFILL
- A.All main line pipe, lateral line pipe and other irrigation elements shall be bedded and backfilled with clean soil, free of rocks 1" and larger. Contractor shall furnish and install additional backfill material as necessary due to rocky conditions. Trenches and other elements shall be compacted and/or water settled to eliminate settling. Debris from trenching operations unusable for fill shall be removed from project and disposed of properly by Contractor.
- 2.17 OTHER PRODUCTS
- A.Substitution of equivalent products is subject to the OAR's approval and must be designated as accepted in writing.
- a. The Contractor shall provide materials to make the system complete and operational.

- PART 3 - EXECUTION
- 3.1 PREPARATION
- A.Contractor shall repair or replace work damaged by irrigation system installation. If damaged work is new, repair or replacement shall be performed by the original installer of that work. The existing landscape of this Project shall remain in place. Contractor shall protect and work around existing plant material. Coordination of trench and valve locations shall be laid out for the OAR prior to any excavation occurring. Plant material deemed damaged by the OAR shall be replaced with new plant material at Contractor's expense. Contractor shall not cut existing tree roots larger than 2" to install this Project. Route pipe, wire and irrigation elements around tree canopy drip line to minimize damage to tree roots. Contractor shall have no part of existing system used by other portions of site landscape without water for more than 24 hours at a time.
- 3.2 TRENCHING AND BACKFILLING
- A.Pulling of pipe shall not be permitted on this project. Over excavate trenches both in width and depth. Ensure base of trench is rock or debris free to protect pipe and wire. Grade trench base to ensure flat, even support of piping. Backfill with clean soil or import material. Contractor shall backfill no less than 2" around entire pipe with clean, rock free fill. Main line piping and fittings shall not be backfilled until OAR has inspected and pipe has passed pressure testing. Perform balance of backfill operation to eliminate any settling.
- 3.3 SLEEVING
- A.Sleeve all piping and wiring that pass under paving or hardscape features. Wiring shall be placed in separate sleeving from piping. Sleeves shall be positioned relative to structures or obstructions to allow for pipe or wire within to be removed if necessary.
- 3.4 GRADES AND DRAINAGE
- A.Place irrigation pipe and other elements at uniform grades. Winterization shall be by evacuation with compressed air. Automatic drains shall not be installed on this project. Manual drains shall only be installed at POC where designated on Construction Drawings.
- 3.5 PVC PIPE
- A.Install pipe to allow for expansion and contraction as recommended by pipe manufacturer.
- B.Install main line pipes with 18" of cover, lateral line pipes with 12" of cover.
- C.Drawings show diagrammatic or conceptual location of piping - Contractor shall install piping to minimize change of direction, avoid placement under large trees or large shrubs, avoid placement under hardscape features.
- D. Plastic pipe shall be cut squarely. Burrs shall be removed. Spigot ends of pipes 3" and larger shall be beveled.
- E.Pipe shall not be glued unless ambient temperature is at least 50 degrees F. Pipe shall not be glued in rainy conditions unless properly tented. All solvent weld joints shall be assembled using IPS 711 glue and P70 primer according to manufacturer's specification, no exceptions. All workers performing glue operations shall provide evidence of certification. Glued main line pipe shall cure a minimum of 24 hours prior to being energized. Lateral lines shall cure a minimum of 2 hours prior to being energized and shall not remain under constant pressure unless cured for 24 hours.
- F.Appropriate thrust blocking shall be performed on fittings 3" and larger. All threaded joints shall be wrapped with Teflon tape or paste unless directed by product manufacturer or sealing by o-ring.
- 3.6 CONTROLLERS
- A.All grounding for pedestal controllers shall be as directed by controller manufacturer and ASIC guidelines, not to exceed a resistance reading of 5 OHMS.
- B.Locate controllers in protected, inconspicuous places, when possible. Coordinate location of pedestal controllers with Landscape Architect to minimize visibility.
- C.Coordinate location of wall mount controllers with building or electrical Contractor to facilitate electrical service and future maintenance needs. Wall mount shall be securely fastened to surface. If exterior mounted, wall mount controllers shall have electrical service wire and field control wire in separate, appropriate sized weatherproof electrical conduit, PVC pipe shall not be used.

- D. Wiring under hardscape surfaces shall be placed continuously in conduit. Contractor shall be responsible to coordinate sleeving needs for conduit or sweeps elbows from exterior to interior of building.
- E.Pedestal controllers shall be placed upon VIT-Strong Box Quick Pad as per manufacturer's recommendations. Controllers shall be oriented such that Owner's Representative maintenance personnel may access easily and perform field system tests efficiently.
- F.Place Standard valve box at base of controller or nearby to allow for three to five feet of slack field control wire to be placed at each controller. This Contractor shall provide conduit access if needed for Electrical Contractor. Electrical supply and installation, as well as hook-up to controller shall be by this Contractor.
- G. Electrical contractor is in charge of providing 1.5" conduit from controller to outside landscape area. Provide power and room for controller. Provide ethernet to hardwire power into the controller.

- 3.7 VALVES
- A.Isolation valves, remote control valves, and quick coupler valves shall be installed according to manufacturer recommendation and Contract Specifications and Details.
- B.Valve boxes shall be set over valves so that all parts of the valve can be reached for service.
- C.Valve box and lid shall be set to be flush with finished grade. Only one remote control valve may be installed in a valve box. Place a minimum of 4" of 3/4" washed gravel beneath valve box for drainage. Bottom of remote control valve shall be a minimum of 2" above gravel.
- 3.8 SPRINKLER HEADS
- A.No sprinkler shall be located closer than 6" to walls, fences, or buildings.
- B.Heads adjacent to walks, curbs, or paths shall be located at grade and 2" away from hardscape.
- C.Control valves shall be opened. Then fully flush lateral line pipe and swing joints prior to installation of sprinklers.
- D. Spray heads shall be installed and flushed again prior to installation of nozzles.
- E.Contractor shall be responsible for adjustment if necessary due to grade changes during landscape construction.
- 3.9 FIELD QUALITY CONTROL
- A.Main line pipes shall not be backfilled or accepted until the system has been tested for 2 hours at 100 psi.
- B.Main line pressure test shall include all pipe and components from the point of connection to the upstream side of remote control valves. Test shall include all manifold components under constant pressure. Piping may be tested in sections that can be isolated.
- C.Contractor shall provide pressurized water pump to increase or boost pressure where existing static pressure is less than 100 psi.
- D. Schedule testing with OAR 48 hours in advance for approval.
- E.Leaks or defects shall promptly be repaired or rectified at the Contractors expense and retested until able to pass testing.
- F. Grounding resistance at pedestal controller shall also be tested and shall not exceed 5 OHMS.
- 3.10 ADJUSTMENT
- A.Sprinkler heads shall be adjusted to proper height when installed. Changes in grade or adjustment of head height after installation shall be considered a part of the original contract and at Contractor's expense.
- B.Adjust all sprinkler heads for arc, radius, proper trim and distribution to cover all landscaped areas that are to be irrigated.
- C.Adjust sprinklers so they do not water buildings, structures, or other hardscape features.
- D. Adjust run times of station to meet needs of plant material the station services.
- 3.11 CLEANING
- A.Contractor shall be responsible for cleanliness of jobsite. Work areas shall be swept cleanly and picked up daily.
- B.Open trenches or hazards shall be protected with yellow caution tape.
- C.Contractor is responsible for removal and disposal of offsite trash and debris generated as a result of this Project.
- D. OAR shall perform periodic as well as a final cleanliness inspection.
- E.Contractor shall leave Project in at least a 'broom clean' condition.

- END OF SECTION
- 90 Day Establishment Period Irrigation Schedule (April, May, June)
- | | Type | Sun | Mon | Tues | Wed | Thurs | Fri | Sat | Operating Pressure |
|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------------------|
| Turf | Turf | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 30 psi |
| Shrubs | Shrubs | 25 min | 0 | 25 min | 0 | 25 min | 0 | 25 min | 40 psi |
- Note: Begin irrigation 4:00 am, only 1 cycle per day.
- Regular Irrigation Schedule (see Seasonal Differential Chart)
- | | Type | Sun | Mon | Tues | Wed | Thurs | Fri | Sat | Operating Pressure |
|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------------------|
| Turf | Turf | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 30 psi |
| Shrubs | Shrubs | 45 min | 0 | 45 min | 0 | 45 min | 0 | 45 min | 40 psi |
- Note: Begin irrigation 4:00 am, only 1 cycle per day.
- | | April | May | June | July | August | Sept | October |
|--------|--------|--------|--------|--------|--------|--------|---------|
| Turf | 10 min | 10 min | 15 min | 15 min | 15 min | 10 min | 10 min |
| Shrubs | 30 min | 30 min | 45 min | 45 min | 45 min | 30 min | 30 min |



1.5" MAINLINE ROUTING ,CONTROLLER AND P.O.C. LOCATION OVERVIEW

ISSUE DATE

10/17/2023

PROJECT NUMBER

UT23100

PLAN INFORMATION

811

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

PROJECT INFORMATION

SURG MEDICAL/PROFESSIONAL
OFFICE BLDG.
1141 E. 50 N.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

DESERT EDGE ARCHITECTURE
ATT: STEVE BEESLEY
435-673-7362
STEVE@DESERTEDGE.CO

LANDSCAPE ARCHITECT / PLANNER

PKJ

DESIGN GROUP
Landscape Architecture • Planning & Visualization

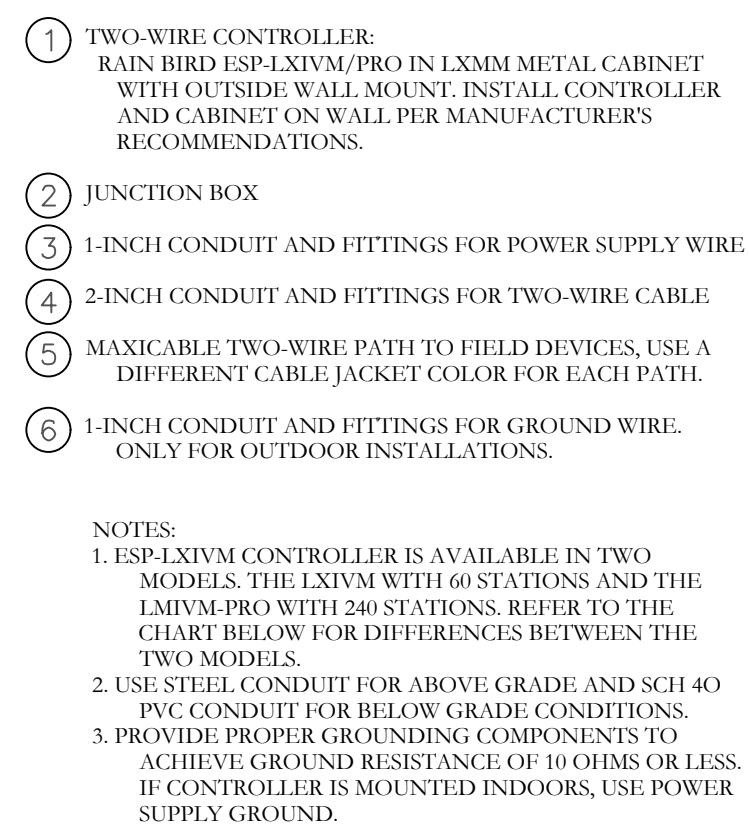
LICENSE STAMP

DESERT EDGE ARCHITECTURE
STEVE BEESLEY
8/28/21-5/31/23
10/17/2023
UTAH
ELECTRIC
STATE OF UTAH

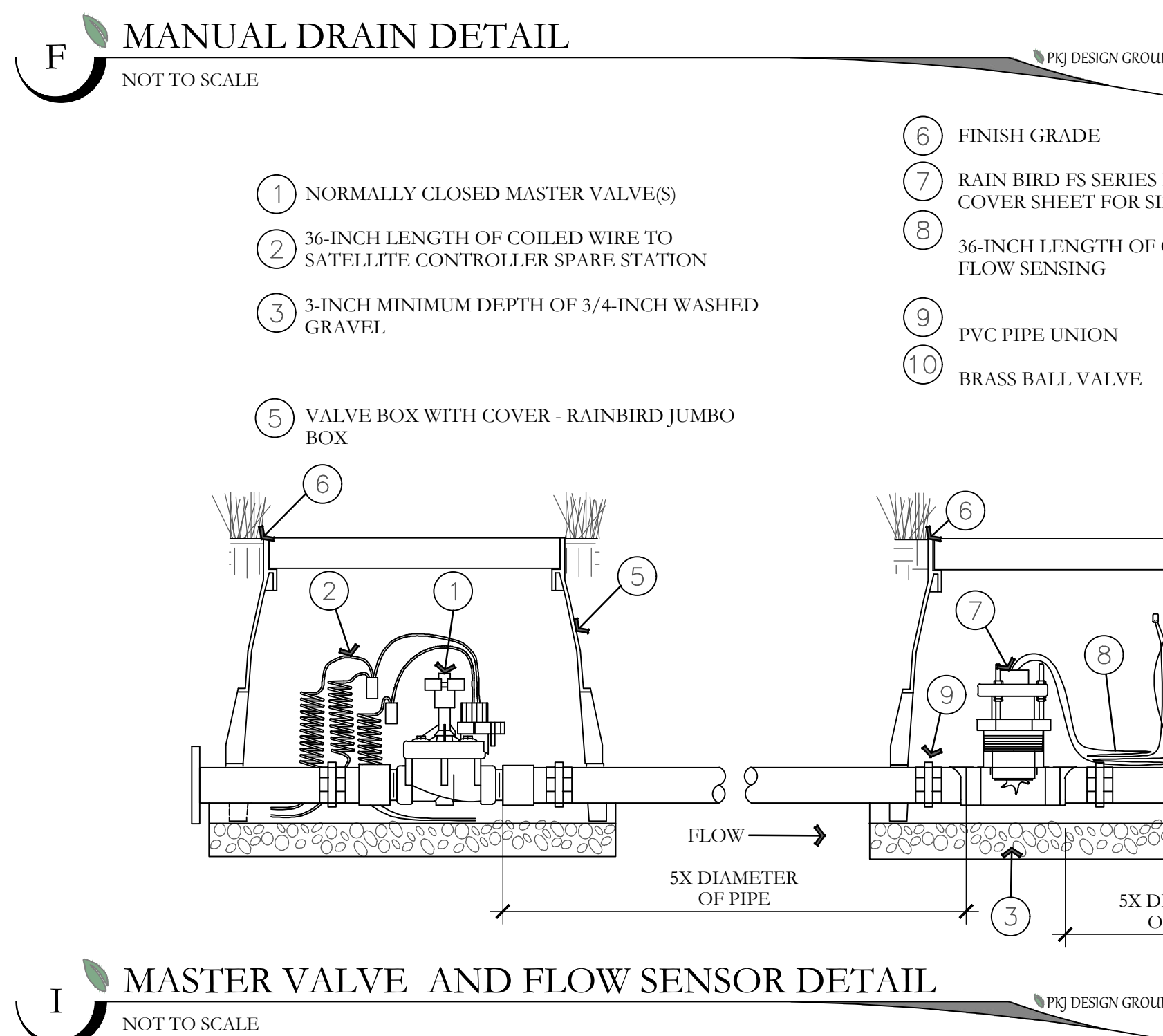
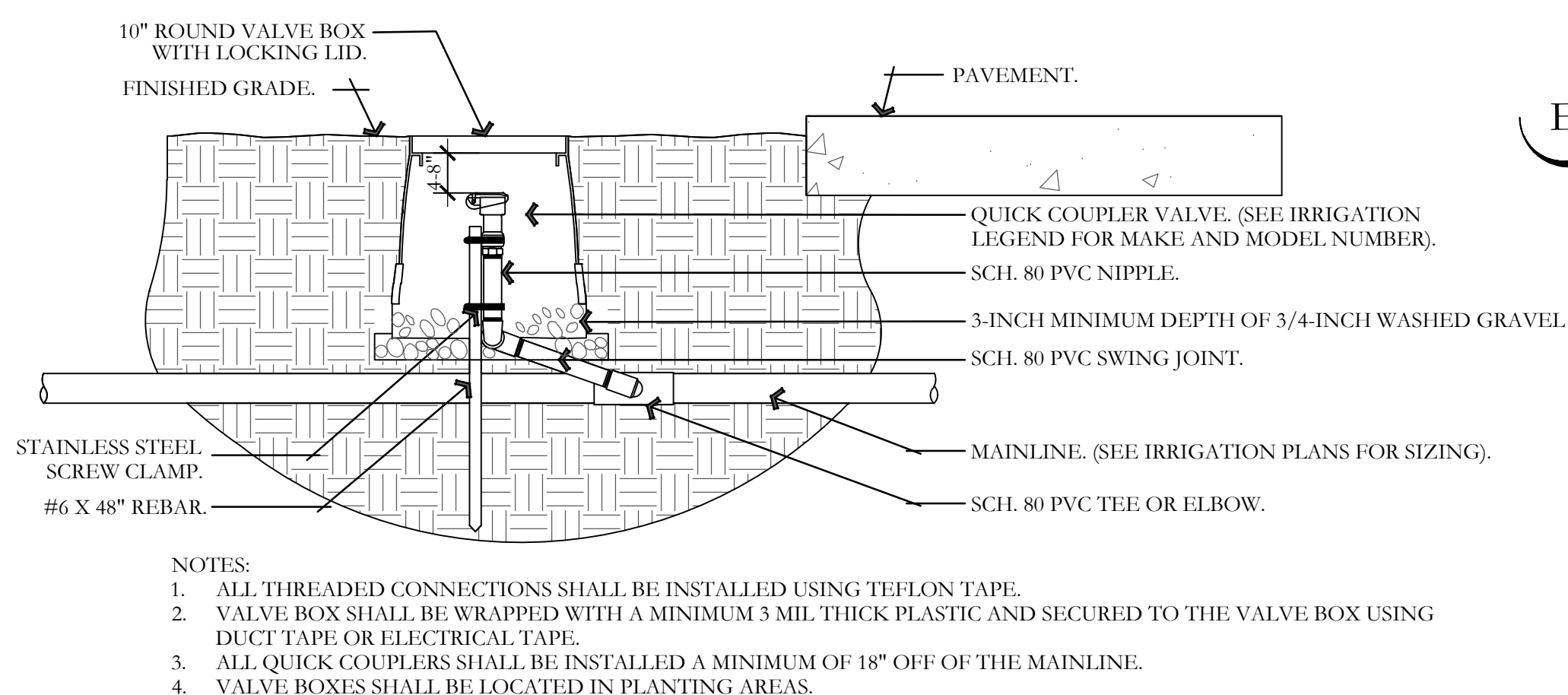
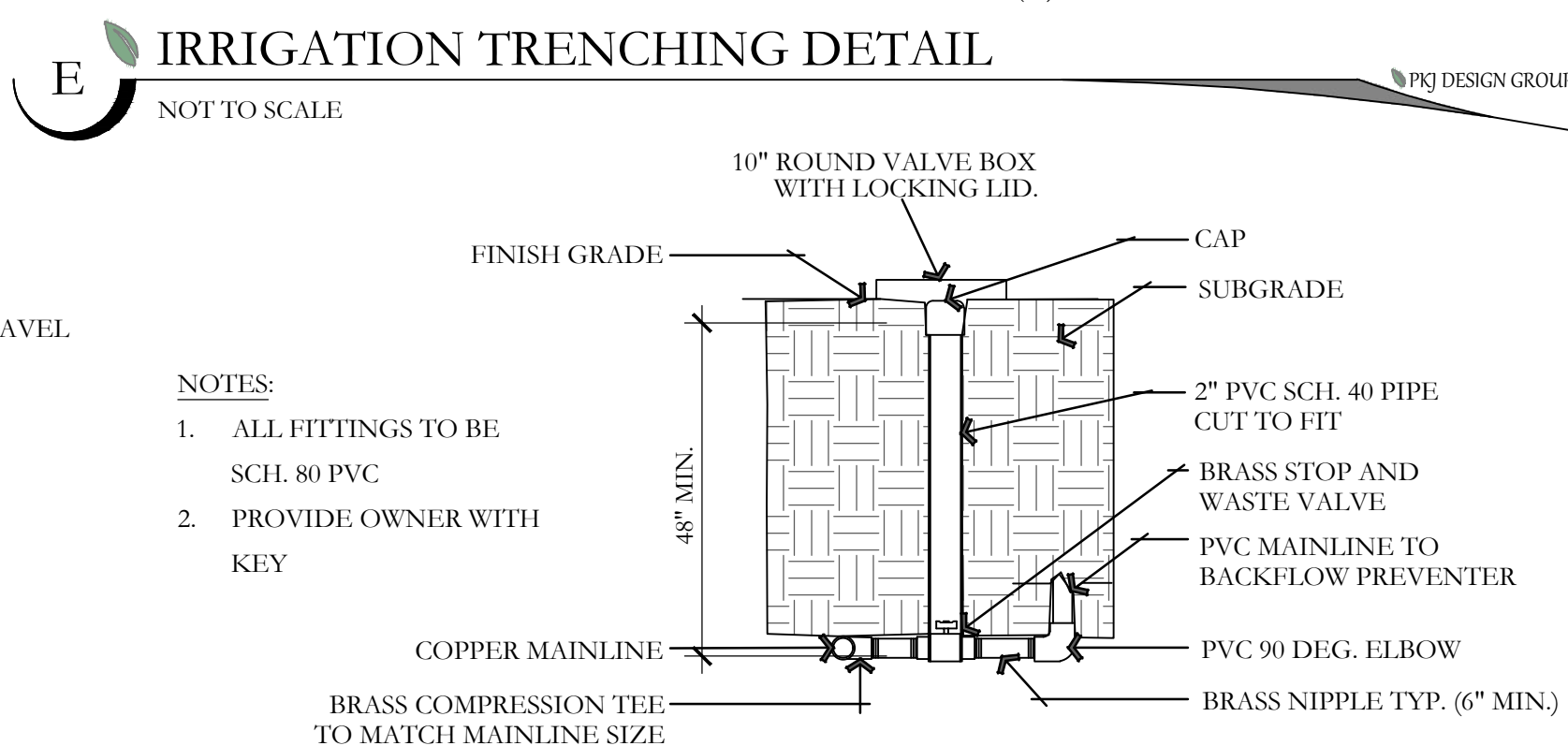
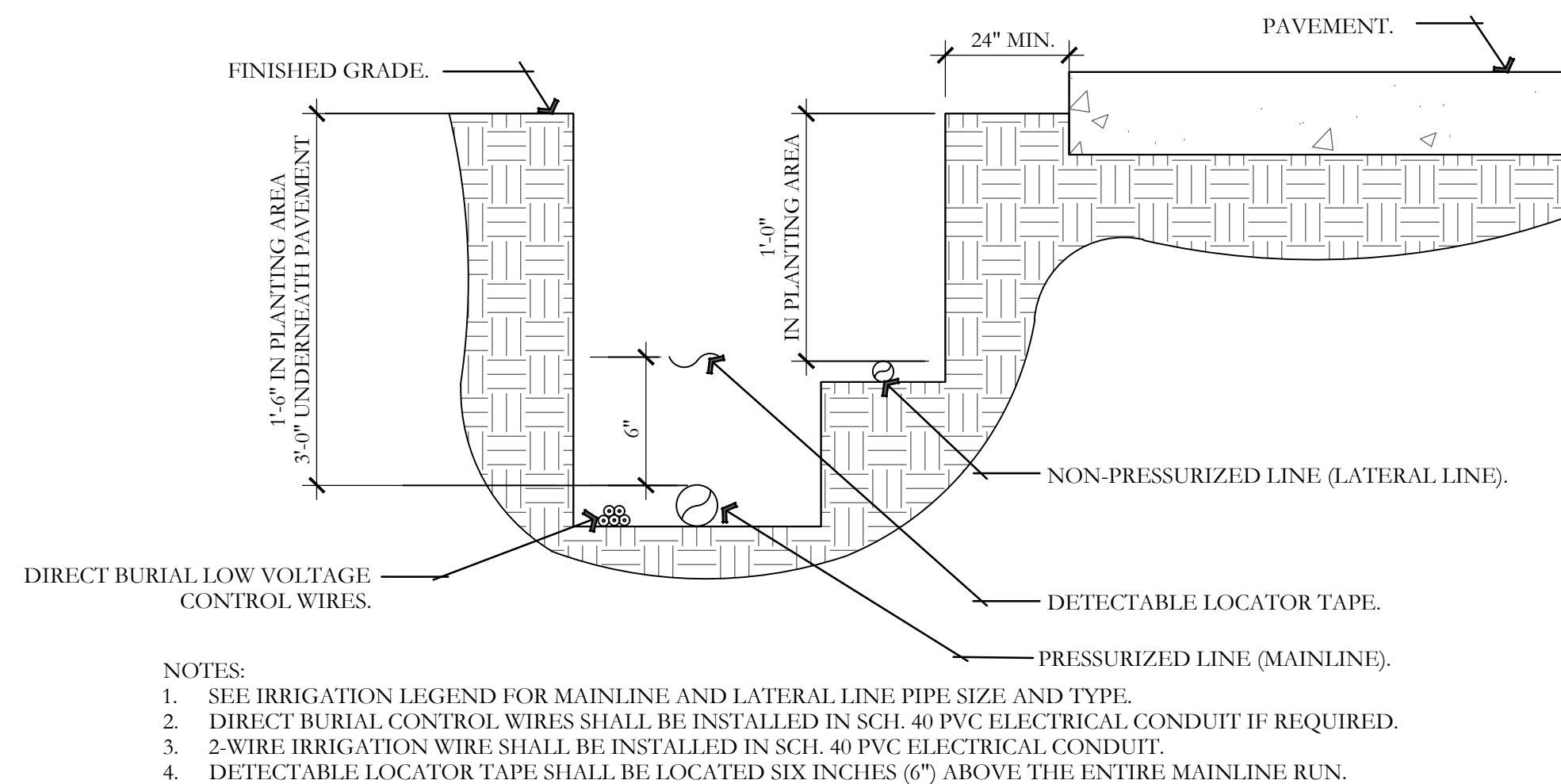
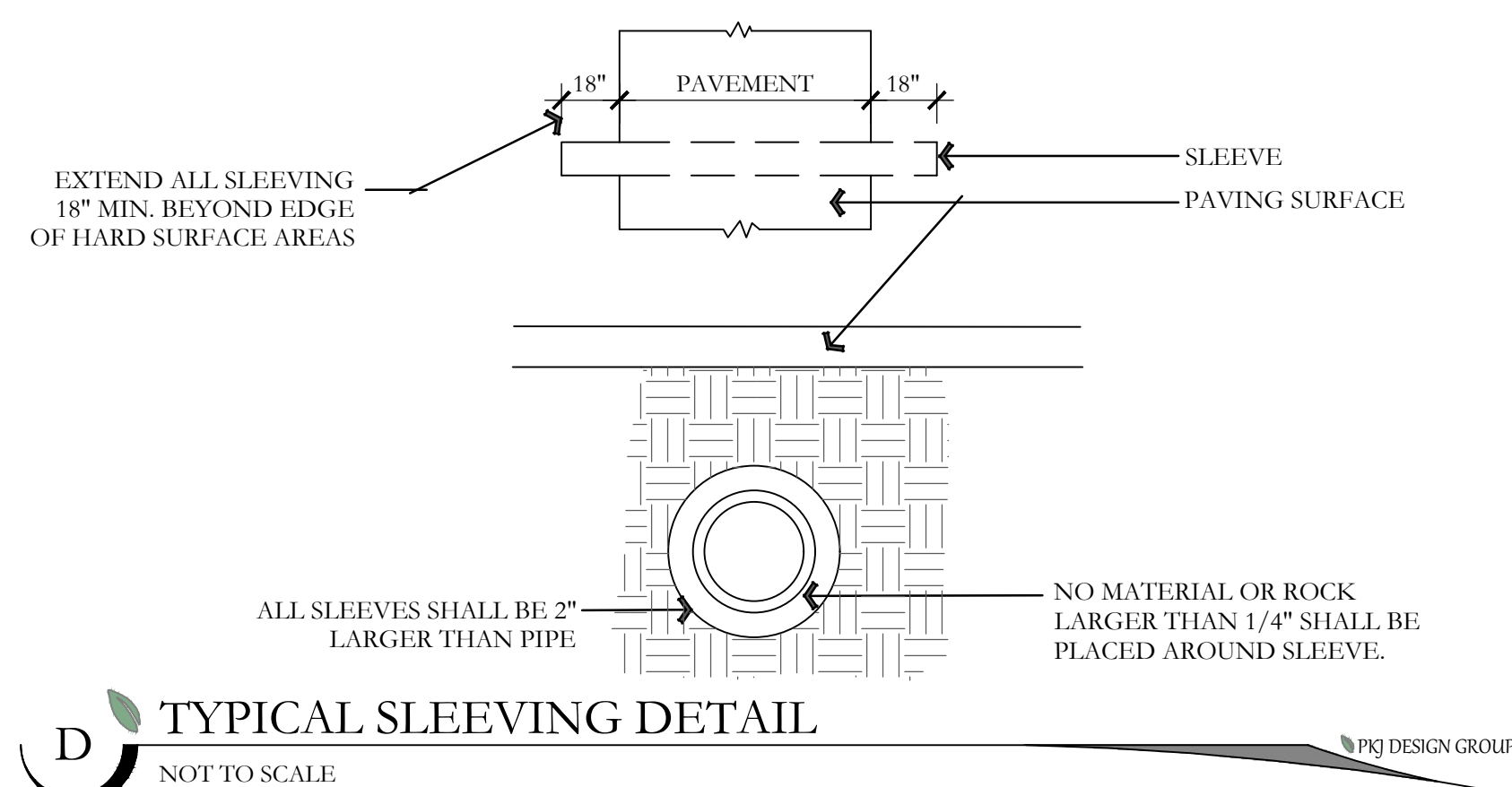
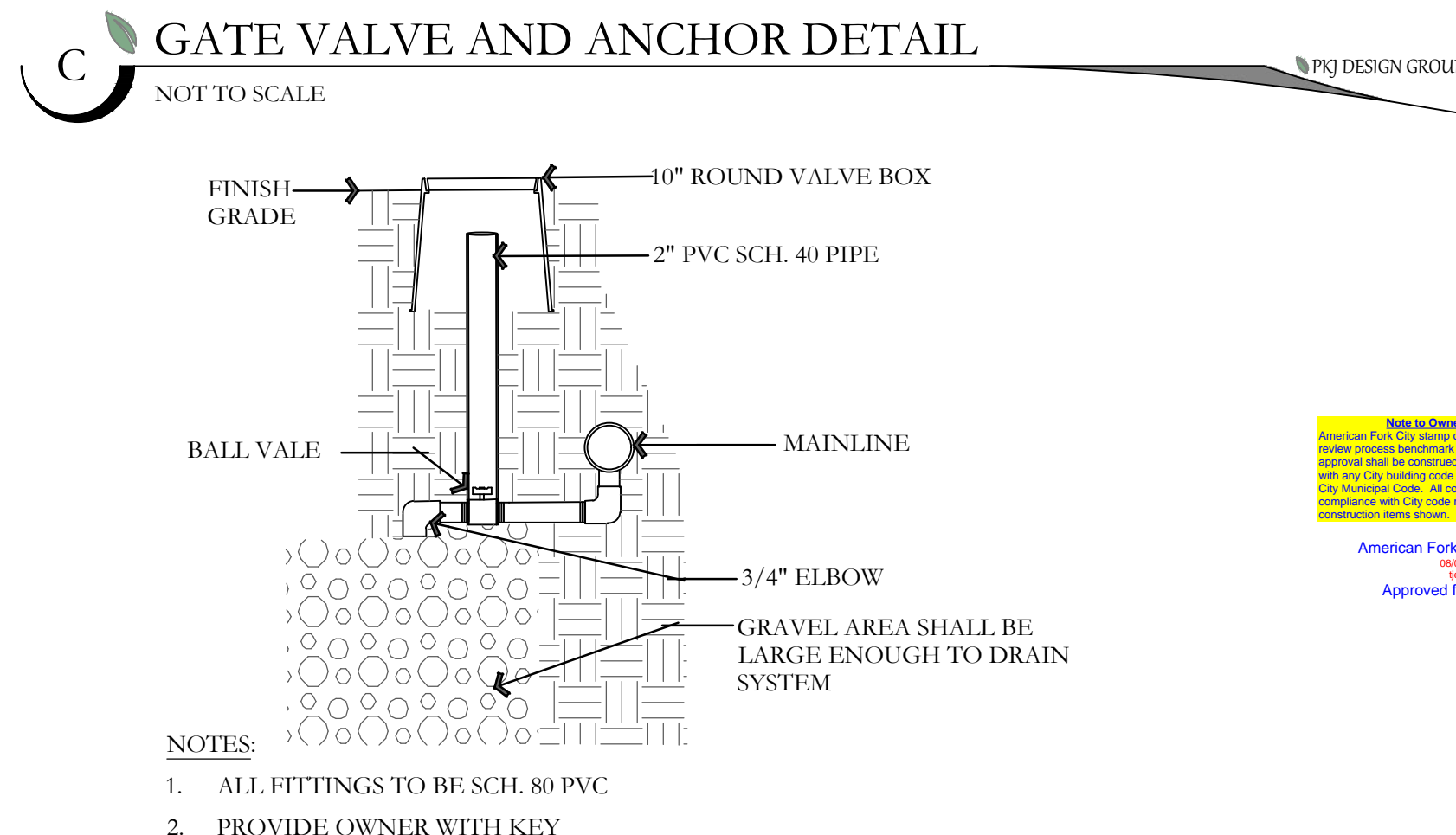
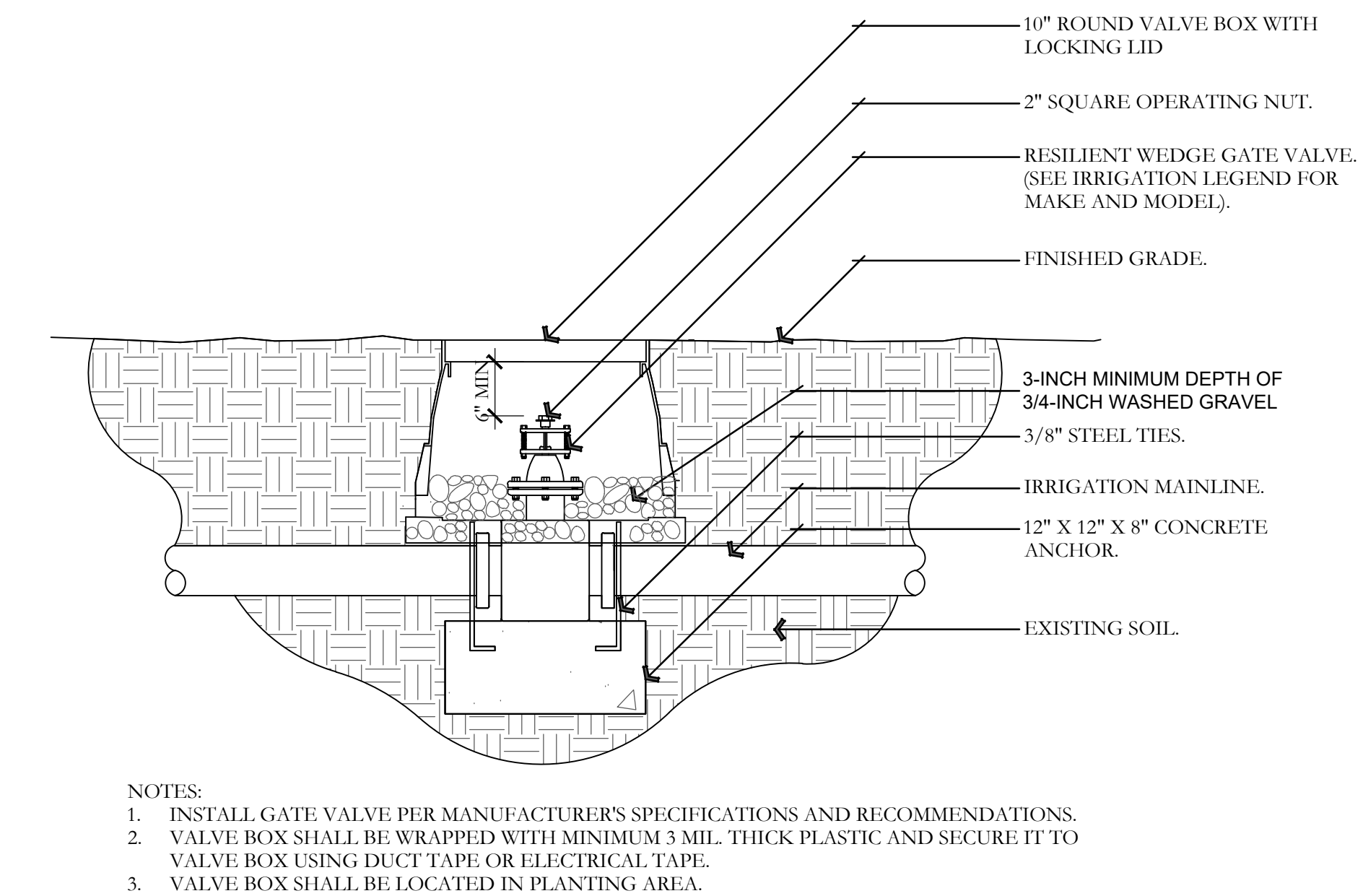
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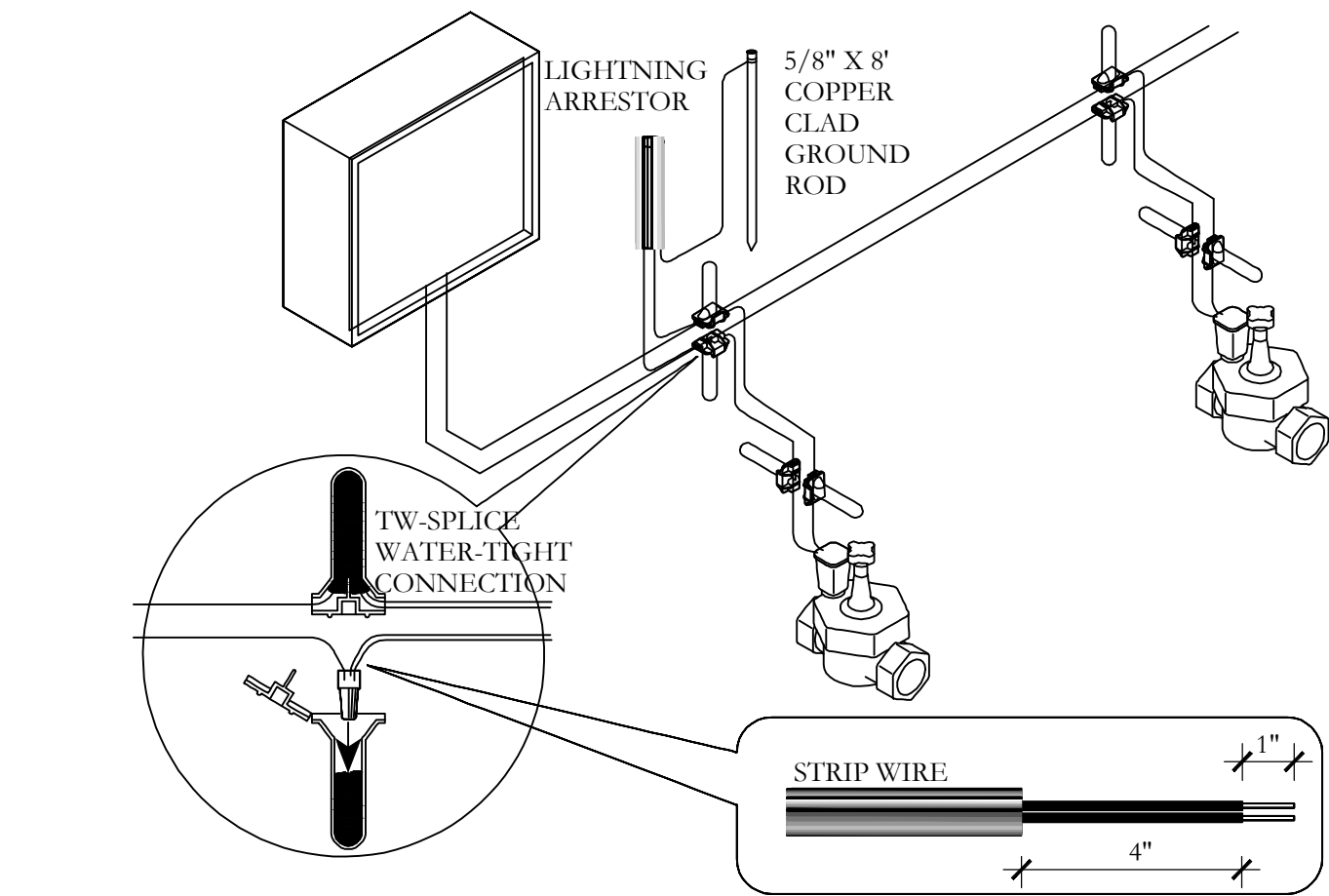
PM: JTA
DRAWN: ACP
CHECKED: JMA
PLOT DATE: 10/17/2023

IR-101

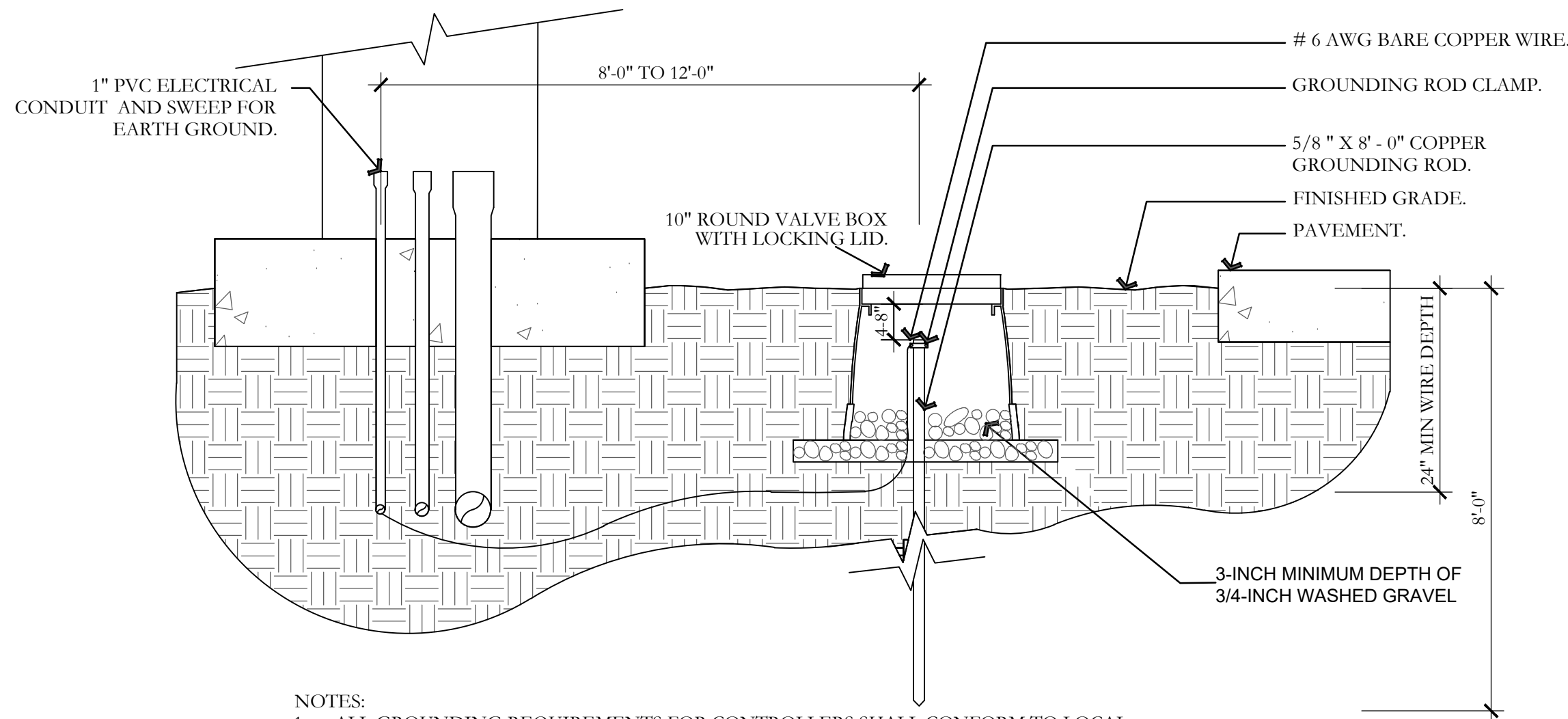


KEY SPECIFICATIONS							
FEATURE ▶	MAX PROGRAMS		MAX SIMULATIONS		MASTER VALVES		FLOW SENSORS
MODEL ▼	STATIONS		MASTER VALVES		FLOW SENSORS		WEATHER SENSORS
LX-IVM	10	60	8	5	5	4	
LX-IVM PRO	40	240	16	10	10	10	8

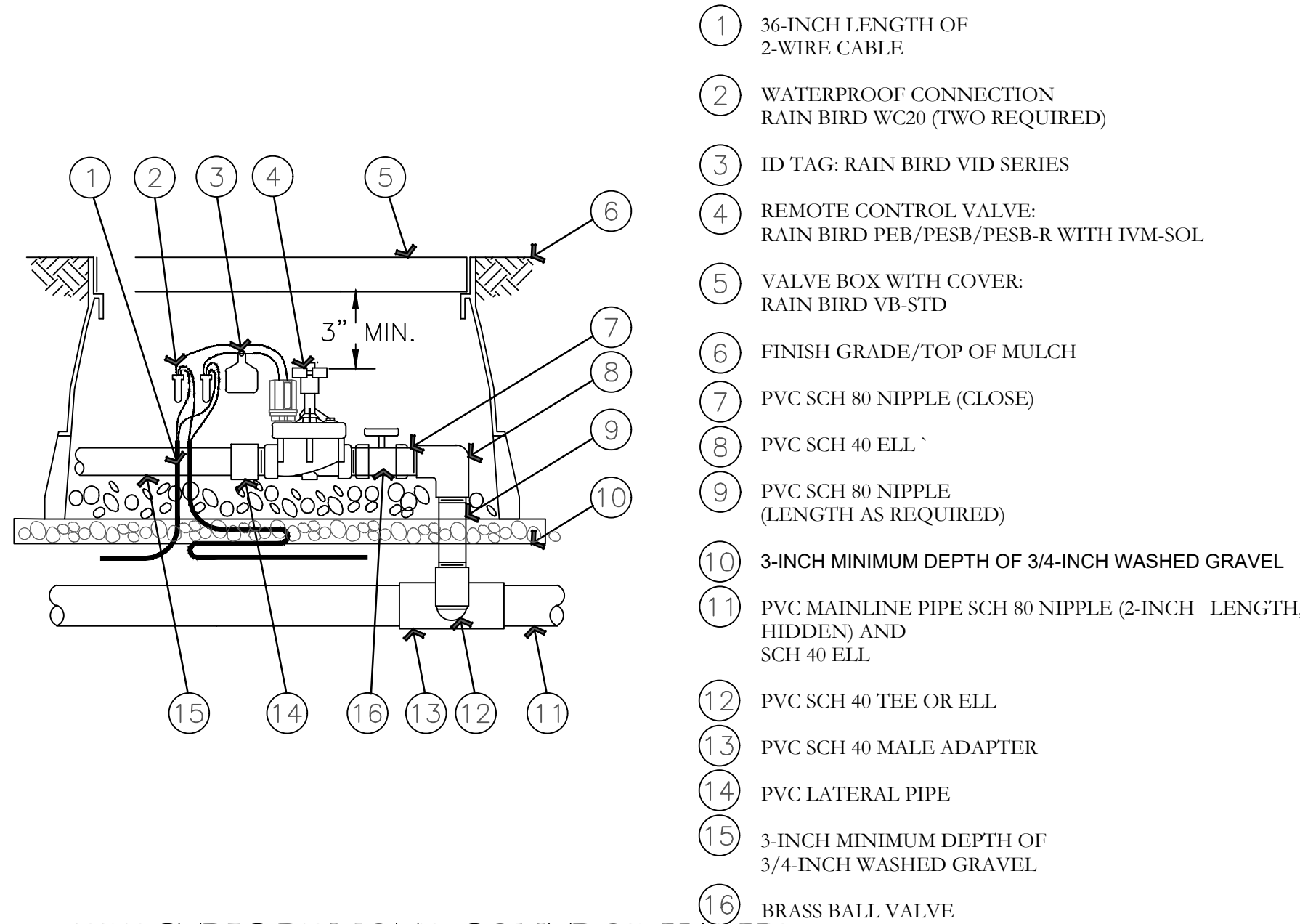
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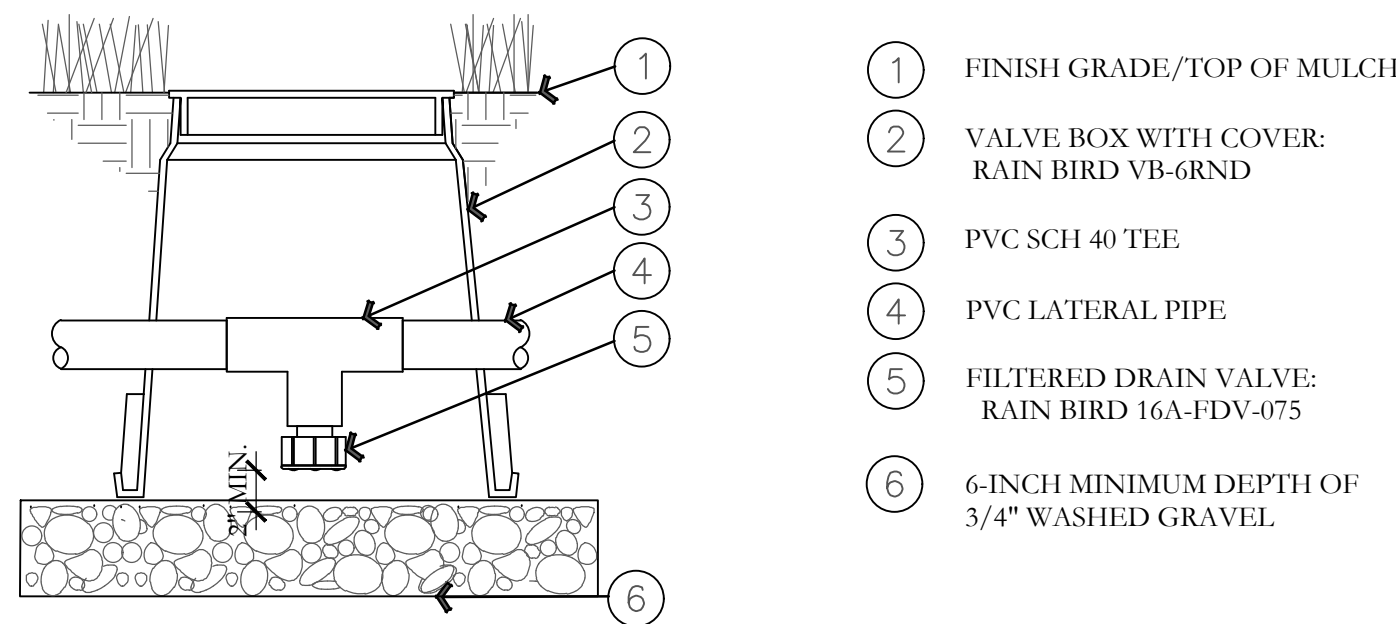
J 2-WIRE CONNECTION DETAIL
NOT TO SCALE



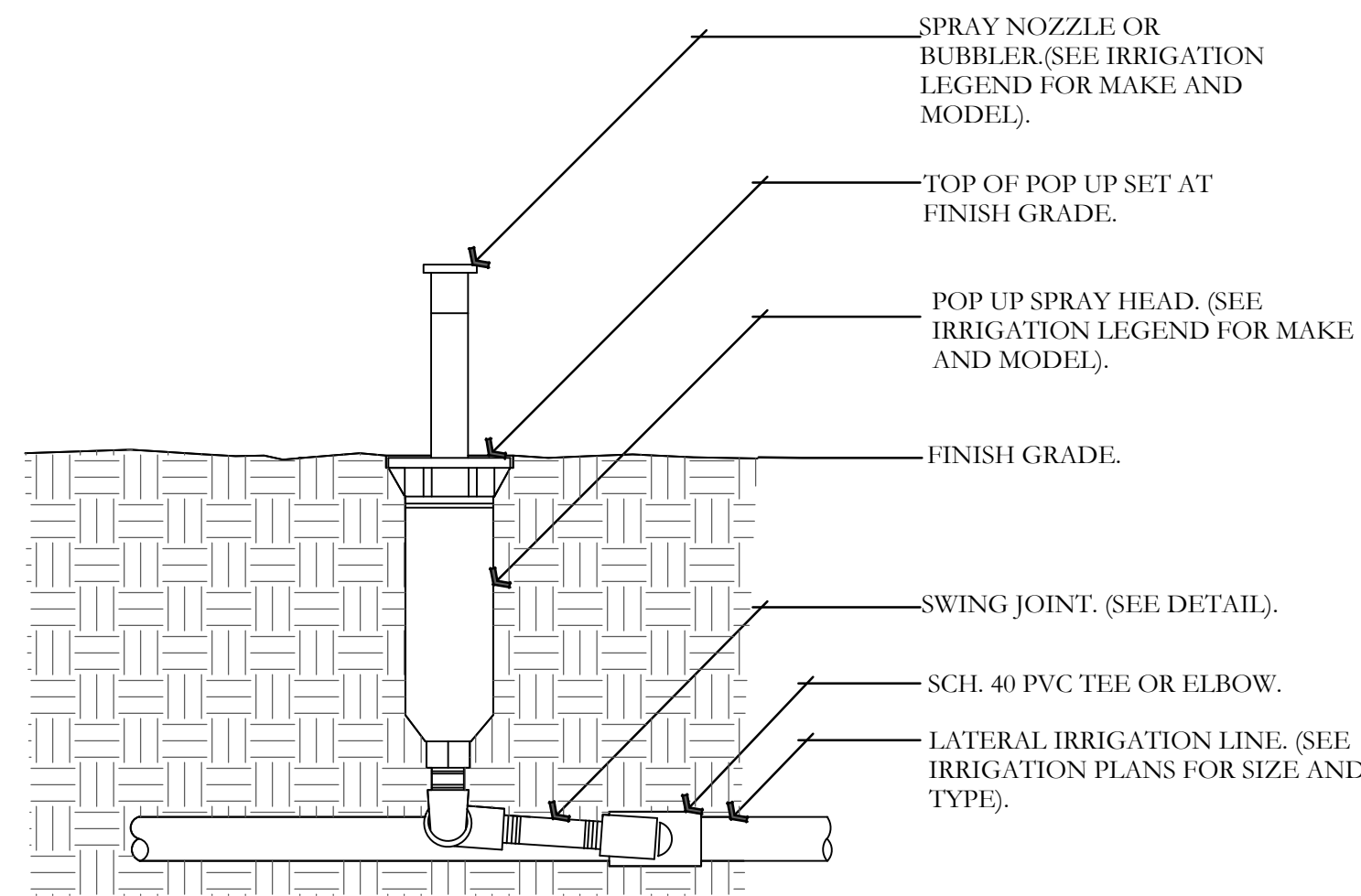
K GROUNDING ROD DETAIL
NOT TO SCALE



M ELECTRIC REMOTE-CONTROL VALVE
PEB OR PESB SERIES WITH IVM-SOL
NOT TO SCALE

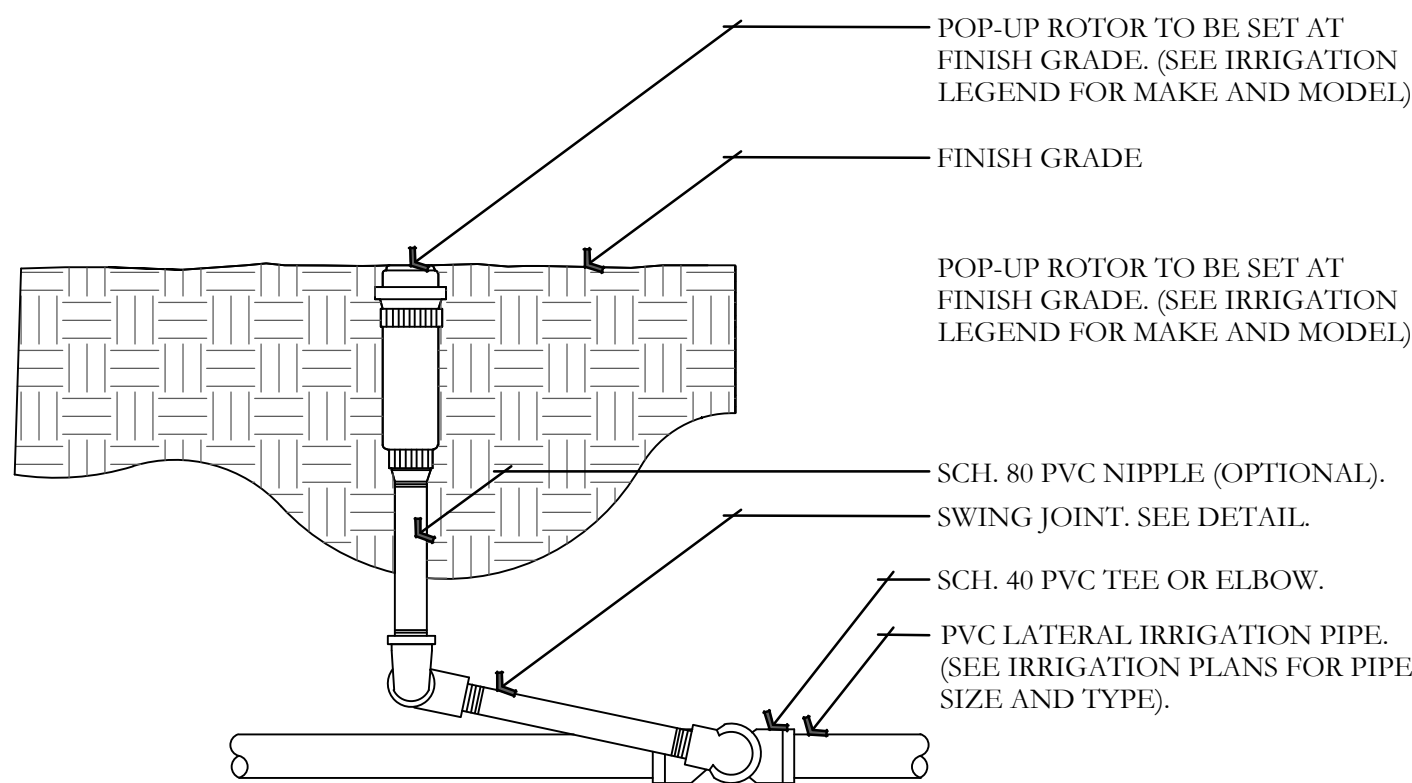


L MANUAL LINE DRAIN VALVE DETAIL
NOT TO SCALE



NOTE:
1. 4\"/>

O POP UP-SPRAY HEAD DETAIL
NOT TO SCALE

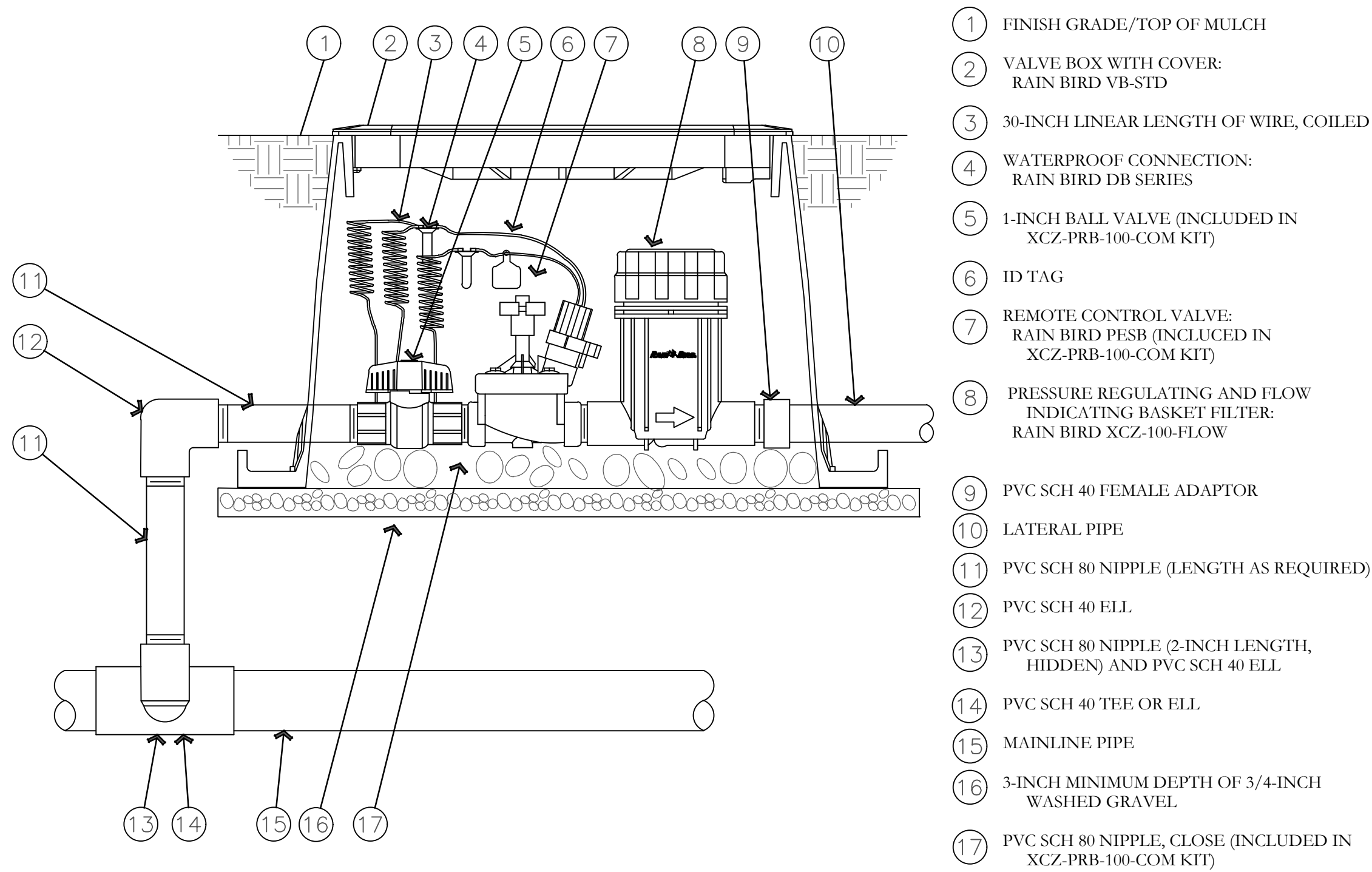


N ROTOR HEAD DETAIL
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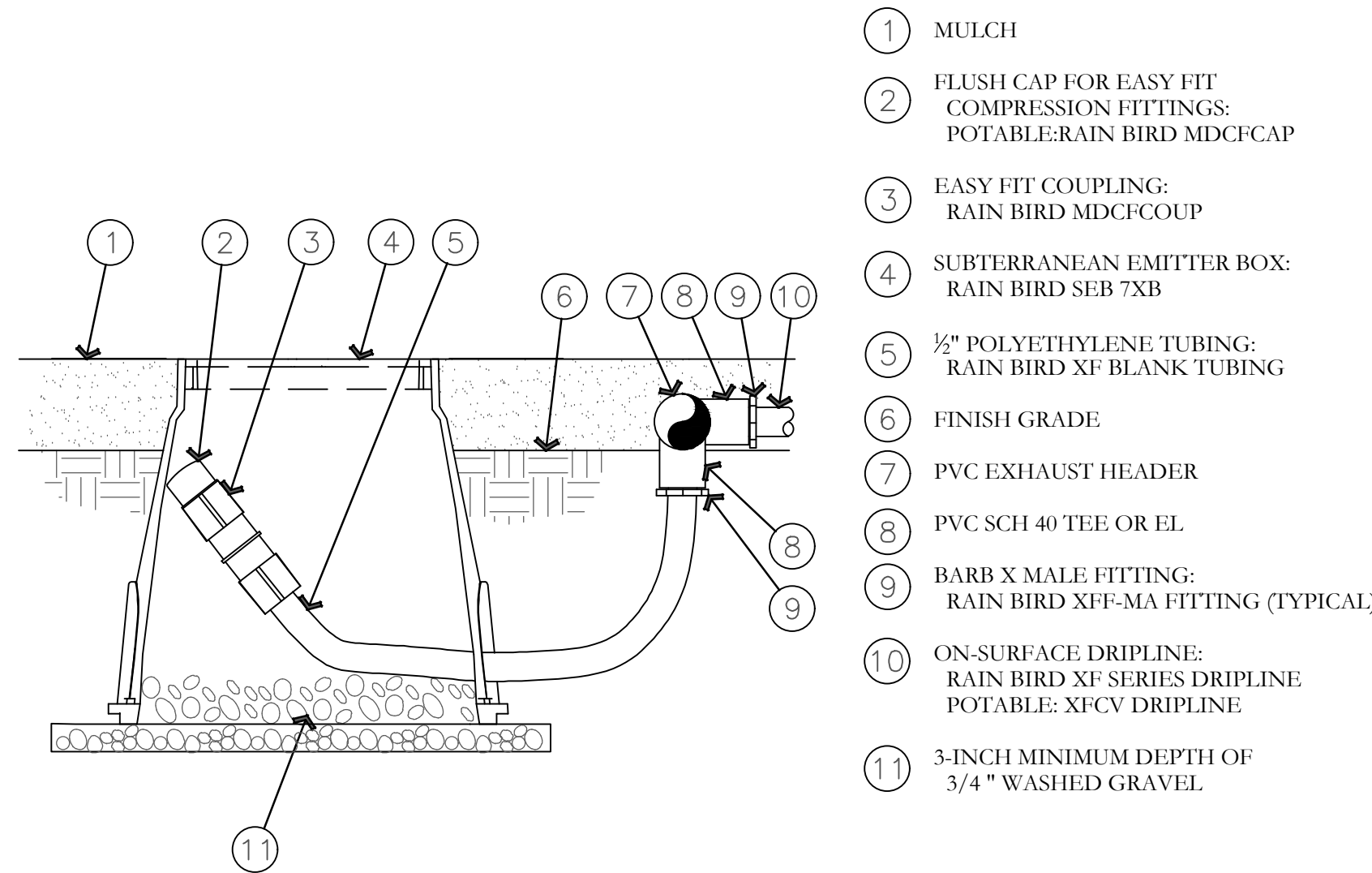
Note to Owner and Contractor:
American Fork City Engineer's Office is required to review and approve all plans submitted for review. All construction must be in full compliance with City code requirements at the time of construction. No other conditions apply.

American Fork City Engineering
10/17/2023
Approved for Construction

ISSUE DATE		PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
10/17/2023		UT23100			DESERT EDGE ARCHITECTURE ATT: STEVE BEESLEY 435-673-7362 STEVE@DESERTEDGE.CO	PKJ DESIGN GROUP Landscape Architecture / Planning & Visualization		PM: JTA DRAWN: ACP CHECKED: JMA PLOT DATE: 10/17/2023
NO.	REVISION	DATE	811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org	SURG MEDICAL/PROFESSIONAL OFFICE BLDG. 1141 E. 50 N. AMERICAN FORK, UTAH				
1	XXXX	XX-XX-XX		COPYRIGHT: PKJ DESIGN GROUP				
2				THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS PROPERTY OF PKJ DESIGN GROUP. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PKJ DESIGN GROUP.				
3				DESIGN GROUP 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 753-5644 www.pkjdesigngroup.com				
4				IR-502				
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6								
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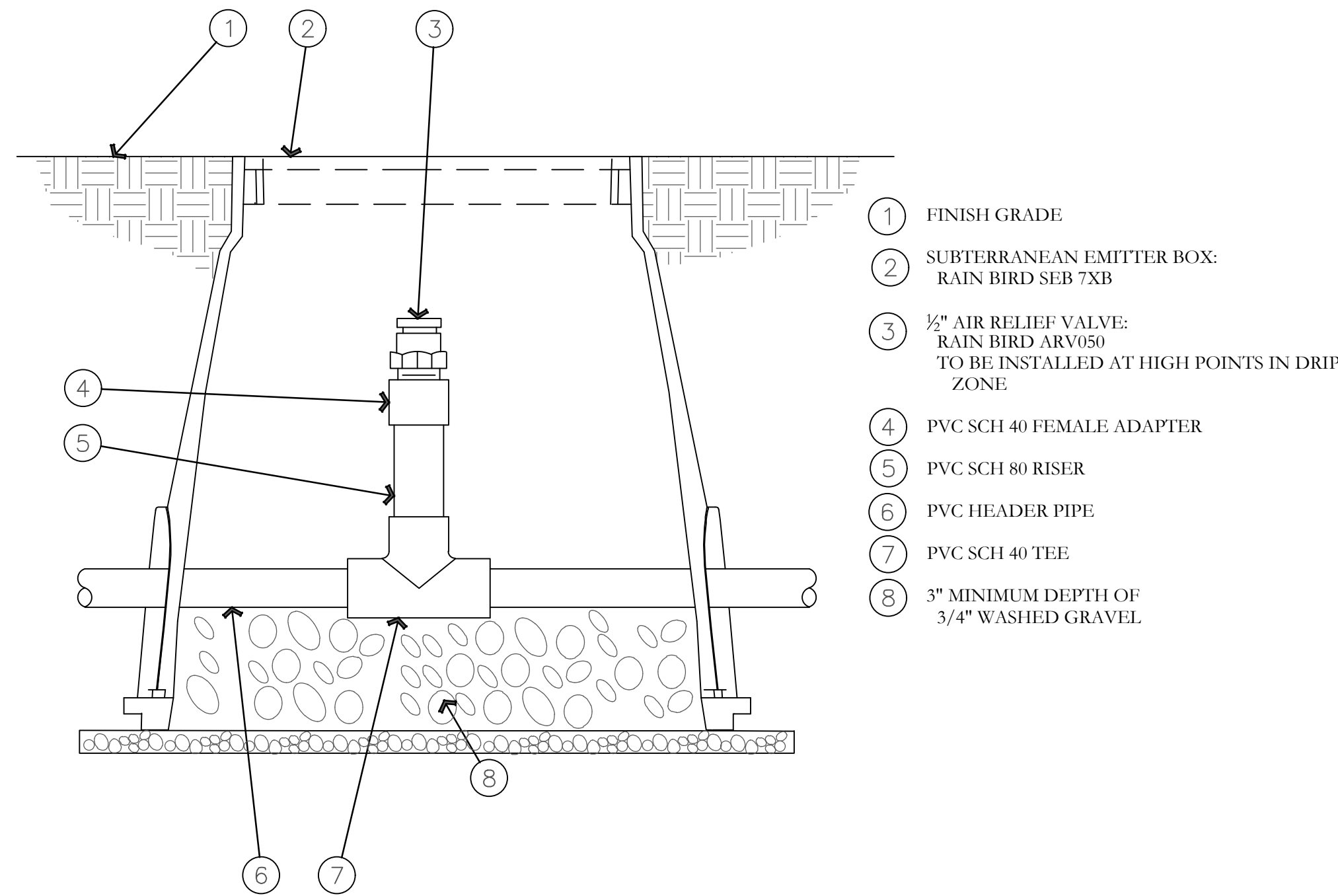


D RIP CONTROL ZONE KIT DETAIL
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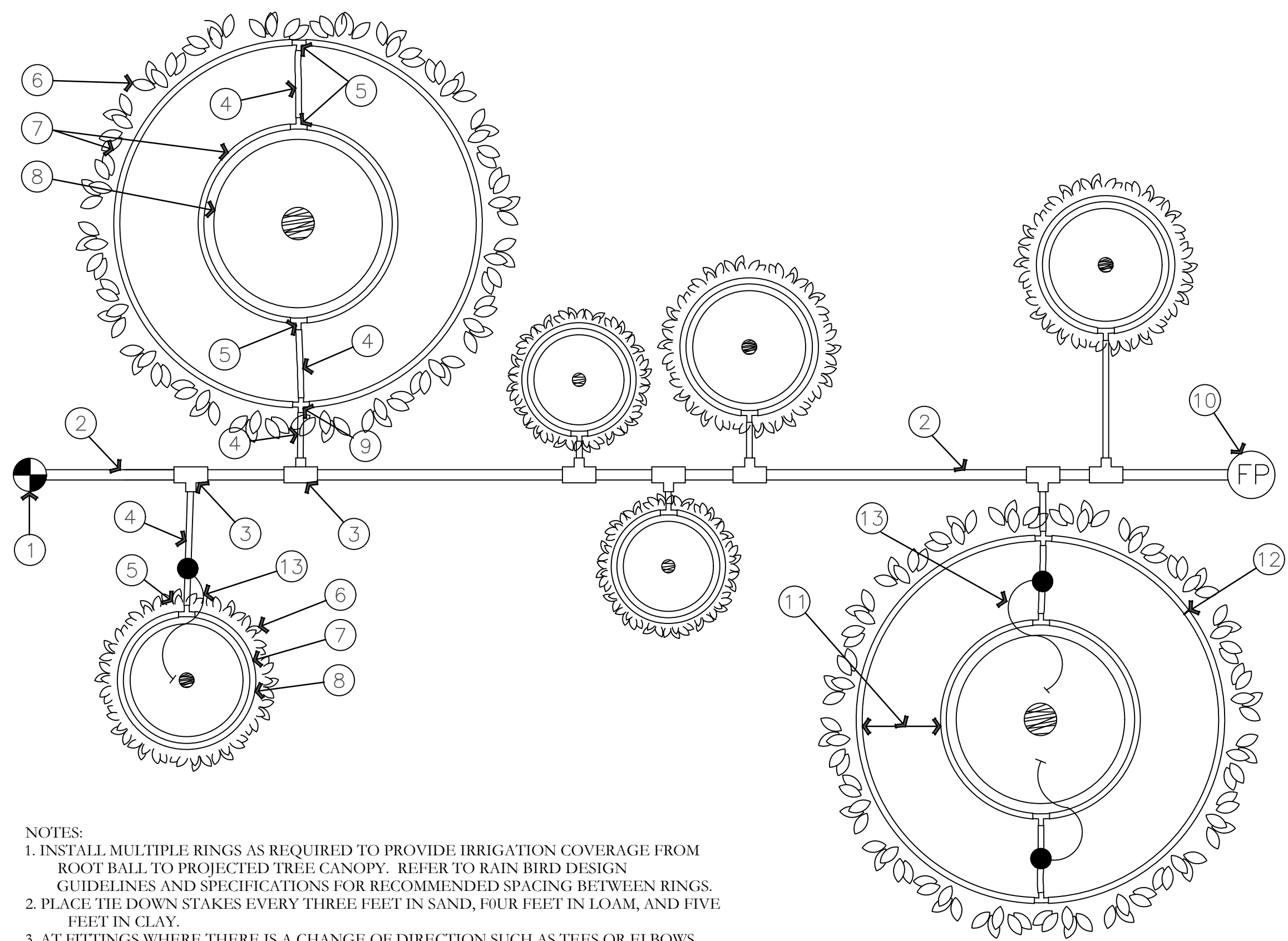


NOTE:
1. ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

ON-SURFACE DRIPLINE FLUSH POINT DETAIL
NOT TO SCALE



AIR RELIEF VALVE DETAIL
NOT TO SCALE



NOTES:
1. INSTALL MULTIPLE RINGS AS REQUIRED TO PROVIDE IRRIGATION COVERAGE FROM ROOT BALL TO PROJECTED TREE CANOPY. REFER TO RAIN BIRD DESIGN GUIDELINES AND SPECIFICATIONS FOR RECOMMENDED SPACING BETWEEN RINGS.
2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

ON-SURFACE DRIPLINE TREE/SHRUB DETAIL
NOT TO SCALE

Note to Owner and Contractor:
American Fork City Engineer is intended as a professional services benchmark notation. Nothing in this approval shall be construed as a waiver from compliance with any City planning code submitted to the American Fork City Municipal Code. All construction must be in full compliance with City rules regardless of the nature of construction items shown.

American Fork City Engineering
APPROVED
Approved for Construction