



HIGHLAND CITY
HIGHLAND CITY DEVELOPMENT
ADMINISTRATION BOARD AGENDA
Thursday, August 28, 2025

Highland City Council Chambers
5400 West Civic Center Drive, Highland Utah 84003

2:00 PM REGULAR SESSION

1. CONSENT

Items on the consent agenda are of a routine nature. They are intended to be acted upon in one motion. Items on the consent agenda may be pulled for separate consideration.

a. Approval of Meeting Minutes – May 22, 2025

2. ACTION: Final Plat Approval for Sloan Estates

Land Use (Administrative) – The Development Administration Board will consider a request from Scott Dunn of Patterson Homes for approval of a final plat and subdivision improvement plans for a 7-lot subdivision within the R-1-40 zone located generally at 6150 West 10400 North, in Highland.

3. ACTION: Final Plat Approval for Inverness – Highland Blvd

Land Use (Administrative) – The Development Administration Board will consider a request from D.R. Horton for approval of a final plat and subdivision improvement plans for a roadway dedication plat for Highland Boulevard, located generally at 12000 North Highland Blvd, in Highland.

In accordance with Americans with Disabilities Act, Highland City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at (801) 772-4505 in advance of the meeting.

CERTIFICATE OF POSTING

I, Rob Patterson, the City Planning & Zoning Administrator, certify that the foregoing agenda was posted at the principal office of the public body, on the Utah State website (<http://pmn.utah.gov>), and on Highland City's website (www.highlandut.gov), on the 25th day of August, 2025

**THE PUBLIC IS INVITED TO ATTEND THIS DEVELOPMENT ADMINISTRATION
BOARD MEETING**

Meeting Minutes

Final Plat Approval : Ridgeview Plat N

Date: 05.22.2025

Time: 1:03 PM

Location: Highland City Council Chambers

Meeting Type: Development Administration Board

Attendees:

Chris Trusty – Public Works Director/City Engineer

Rob Patterson – City Attorney/Planning and Zoning Administrator

Wesley Warren – Planning Commissioner

Chris Howden – Planning Commissioner

Stephannie Cottle – City Recorder

Ben Duzett – Focus Engineering and Surveying, LLC

Christian Purkis – Focus Engineering and Surveying, LLC

Purpose

1. Approval of Meeting Minutes – April 24, 2025
2. Approval of the final plat and subdivision improvement plans for Ridgeview Pod B Plat N, a 22-lot subdivision in the Ridgeview Planned Development located generally at 10000 N 5000 W, in Highland.

Consent Items:

ACTION TO APPROVE THE MINUTES OF APRIL 24, 2025

MOTION: Rob Patterson moved to approve the meeting minutes from April 24, 2025; Chris Howden seconded the motion.

- | | |
|--------|---------------|
| 1. Yes | Rob Patterson |
| 2. Yes | Chris Trusty |
| 3. Yes | Chris Howden |
| 4. Yes | Wesley Warren |

MOTION PASSES 4:0

ACTION: FINAL PLAT APPROVAL FOR RIDGEVIEW PLAT N

DISCUSSION:

Rob: part of Ridgeview development, second to last subdivision plat in that development, on west side by Highland Glen park. Staff reviewed and is generally comfortable with the plat and plans. Plat contains 22 lots – mostly estate lots with 4 carriage lots. Worked with Focus to ensure city standards have been met. Some comments (7) adding notes to make sure that engineering and construction is handled properly, based on timing of development of this and nearby plats. They need to install correct blow offs based on timing of adjacent development, but hopefully all will be built together. Staff recommends approval of this plat and plans as submitted from April 22 with stipulations that 7 items from staff report be completed

Stipulations:

1. The recorded plat shall be in substantial conformance with the final plat submitted April 22, 2025, as approved by Zoning Administrator and City Engineer, except as modified by these stipulations. (attachment 4)
2. Development and improvement of the subdivision shall be in substantial conformance with the subdivision improvement plans submitted April 22, 2025, as approved by City Engineer, except as modified by these stipulations. (attachment 4)
3. The final review comments from staff dated May 19, 2025, shall be addressed and corrected to the Zoning Administrator’s and City Engineer’s satisfaction prior to recordation of the plat and approval of the improvement plans for construction. (attachment 5)

Open comment:

There were no comments.

MOTION: Wesley Warren MOVED that the Development Administration Board accept the findings and APPROVE the final plat and subdivision improvement plans for the Ridgeview Plat N subdivision, subject to the three (3) stipulations recommended by staff.

- | | |
|--------|---------------|
| 1. Yes | Chris Trusty |
| 2. Yes | Rob Patterson |
| 3. Yes | Wesley Warren |
| 4. Yes | Chris Howden |

Motion Passes 4-0

- **Meeting Adjourned:** 1:07 PM
Minutes Prepared By: Gretchen Homer



DEVELOPMENT ADMINISTRATION BOARD AGENDA REPORT ITEM #2

DATE: August 28, 2025
TO: Development Administration Board
FROM: Rob Patterson, City Attorney / Planning & Zoning Administrator
SUBJECT: **Final Plat Approval:** Sloan Estates
TYPE: **LAND USE (ADMINISTRATIVE)**

PURPOSE:

The Development Administration Board will consider a request from Scott Dunn of Patterson Homes for approval of a final plat and subdivision improvement plans for a 7-lot subdivision within the R-1-40 zone located generally at 6150 West 10400 North, in Highland.

SUMMARY OF THE REQUEST:

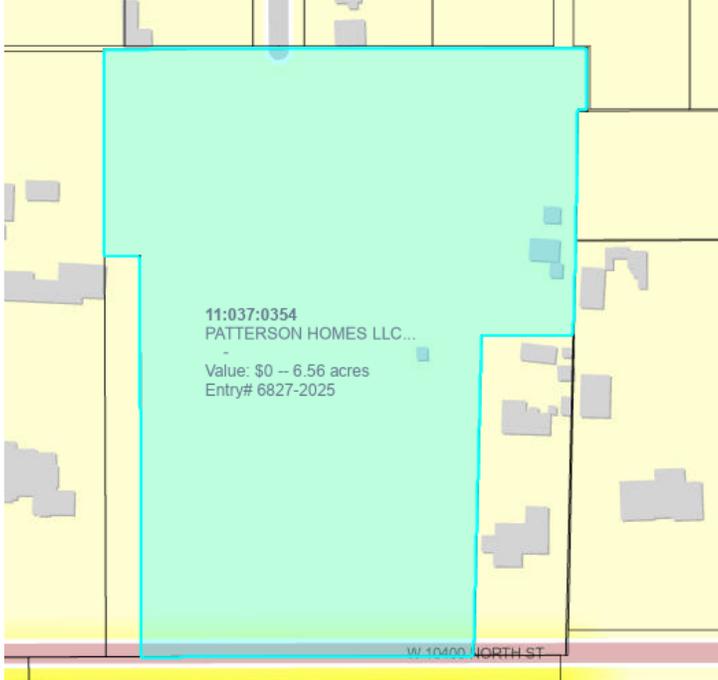
1. The applicant is requesting final plat approval for the Sloan Estates subdivision, a 7-lot subdivision within the R-1-40 zone.
2. Per HDC 5-4-103, if the plat and subdivision improvement plans comply with and conform to governing law and City standards, approval of the plat and plans is required. Conditions may be imposed on approval to ensure compliance and conformity.

STAFF RECOMMENDATION:

Staff recommends that the Development Administration Board **APPROVE** the final plat and subdivision improvement plans for the Sloan Estates subdivision, with the following stipulations:

1. The recorded plat shall be in substantial conformance with the final plat submitted July 23, 2025 (attachment 2), as approved by Zoning Administrator and City Engineer, except as modified by these stipulations.
2. Development and improvement of the subdivision shall be in substantial conformance with the subdivision improvement plans submitted July 23, 2025 (attachment 2), as approved by City Engineer, except as modified by these stipulations.
3. The final review comments from staff dated August 19, 2025 (attachment 3), shall be addressed and corrected to the Zoning Administrator's and City Engineer's satisfaction prior to recordation of the plat and approval of the improvement plans for construction.

BACKGROUND:



The subject property is Utah County parcel 11:037:00354, located at approximately 6150 West 10400 North, north of the Buhler property. The property contains approximately 6.56 acres. Its zoning is R-1-40. The proposed subdivision creates 7 lots, all of which are over 30,000 square feet in size.

Prior Review:

On February 25, 2025, the Planning Commission reviewed and approved the preliminary plat for this development, then known as the Pantos Subdivision. The approval was subject to one condition:

1. Subdivision must meet the requirement for sufficient square footage to allow for seven lots.

STAFF REVIEW:

Staff's review of the final plat and subdivision improvement plans is summarized below:

Plat Review

- The final plat is in substantial compliance with the approved February 25, 2025, preliminary plat. Based on conversations with the applicant, various boundary adjustments, agreements, or understandings have been reached with neighbors to resolve boundary questions per the Commission's stipulation and direction.
- The final plat conforms in major respect to City standards and the stipulations of approval of the preliminary plat. The final plat shows sufficient square footage to allow for 7 lots.

Zoning

- The property is designated as Low-Density Residential in the General Plan Land Use Map. It is zoned R-1-40.
- The properties adjacent to the property within Highland are also zoned R-1-40. The proposed subdivision is compatible with the surrounding uses.

Density

- The subdivision consists of +/- 6.56 acres. R-1-40 zoning determines allowable density by dividing the total property, less any property used for rights-of-way, by 40,000, and then rounding down. The property being subdivided consists of 286,087 square feet, 6,085 of which are used as existing prescriptive easement for 10400 North right of way. This means there is 280,002 square feet available to be subdivided, which allows for 7 lots ($280,002/40,000 = 7$). This meets the R-1-40 standard.

- Under R-1-40 zoning, up to 25% of all lots may be between 20,000 and 30,000 square feet. All lots within Sloan Estates are over 30,000 square feet.

Sensitive Lands

- The subdivision does not contain sensitive lands

Easements and Dedications

- The applicant will provide standard street dedication for 10400 North and 6150 West, and standard PUE/MUE easements within lots.
- As required by the general plan, the applicant is dedicating a landscape easement and providing the parkway detail along the lots adjacent to 10400 North,

Access and Circulation

- Road and utility access to the site will be from 10400 North and the extended 6150 West.
- All roads and right-of-way are to be improved to City standards. The subdivision improvement plans for all road and right-of-way improvements conform in major respect to City standards.

Utilities and Water

- Utility mains will be extended from existing lines in 6150 West and connect into existing lines in 10400 North. Standard utility laterals/connections will be provided to each lot.
- The subdivision improvement plans for utilities and drainage conform in major respect to City standards and the stipulations of approval of the preliminary plat. Staff's Review Comments issued August 19, 2025, address and correct the remaining issues, which primarily relate to the irrigation and landscaping plans for the parkway detail that is to be maintained by the City.
- The applicant will be required to dedicate water shares for the development prior to recording the final plat.

Landscaping

- The applicant is providing the required 29-foot-wide parkway detail and fence along 10400 North. Staff's Review Comments issued August 19, 2025, address and correct the remaining issues related to the irrigation and landscaping plans for the parkway detail that is to be maintained by the City.
- Other than the parkway detail, the only public landscaping improvements are park strips, which will be improved by the developer or private lot owner.

FINDINGS:

Based on the facts described in the staff review, and if the stipulations proposed by staff are accepted, the final plat and subdivision improvement plans meet the following findings:

- The final plat and subdivision improvement plans are in substantial conformance with the preliminary plat and stipulations of approval thereof.
- The final plat and subdivision improvement plans conform to the zoning and density requirements of the R-1-40 zone.
- The final plat and subdivision comply with and conform to the requirements of the Utah State Code, Highland City Development Code, and Highland City standards

and specifications.

MOTION TO APPROVE:

I move that the Development Administration Board accept the findings and **APPROVE** the final plat and subdivision improvement plans for the Sloan Estates subdivision, subject to the **three (3) stipulations** recommended by staff.

Staff recommendations:

1. The recorded plat shall be in substantial conformance with the final plat submitted July 23, 2025 (attachment 2), as approved by Zoning Administrator and City Engineer, except as modified by these stipulations.
2. Development and improvement of the subdivision shall be in substantial conformance with the subdivision improvement plans submitted July 23, 2025 (attachment 2), as approved by City Engineer, except as modified by these stipulations.
3. The final review comments from staff dated August 19, 2025 (attachment 3), shall be addressed and corrected to the Zoning Administrator's and City Engineer's satisfaction prior to recordation of the plat and approval of the improvement plans for construction.

ATTACHMENTS:

1. Staff Review Comments issued August 19, 2025
2. Pantos Subdivision Preliminary Plat
3. Sloan Estates - Final Plat and Subdivision Improvement Plans, 07.23.2025



REVIEW COMMENTS Sloane Estates (Pantos)

August 19, 2025

Plat:

1. Per conversation with Ross Welch, a small land swap is contemplated with the Park family. If land swap is happening, staff would prefer plat to incorporate any land swap prior to recording to avoid subsequent lot line/plat amendments.

Sheet U1

2. A 2" service is needed to provide irrigation water to parkway detail area. A 4" conduit would be needed across 6150 West to make the proper connections with both sides of the street. Reference ST-07 for details.
 - a. Please add a single 4" conduit dedicated to irrigating the other side of the park strip.
 - b. Please add PI trench detail to the detail sheets.
3. The site drainage report mentions an observed percolation rate of 1 minute per inch. The documentation provided from the geotechnical report states 3 minutes per inch. Please review and provide the correct perc rate.
 - a. Please provide a copy of the updated drainage report with final submittal.

Sheet PP1

4. 5' SSMH required. Please correct on plan set.
 - a. Please provide callout for both 5'-0 SSMH on sheet U1.
 - b. Also, please correct top-of-line SSMH to be 5'-0 rather than 4'-0.

Sheet LP-100

5. GTS tree variety too aggressive by sidewalk, choose another variety.
 - a. Please provide at least three species of trees per City ordinance.
 - b. Remove note "Irrigation and maintenance will be maintained by homeowner of lot 1&7"
 - c. Sheet LP-101
 - i. Add note 6" topsoil in planter areas
 - ii. Add note 4" topsoil in planter areas
 - iii. Note 2.1 City will need to see test results from soil testing



Sheet IR-100

6. Spray heads PRS 40, Hunter 06” High Efficiency.
 - a. Sprinkler Heads to be Hunter brand not Rainbird, Hunter Pro 06-PRS and Hunter R-VAN- STRIP
 - b. Hunter ICZ in place of PCZ
 - c. Hunter ICV-FS in place of Rainbird valves
 - d. Sensor needs to be on a pole 10’ above the ground
 - e. Flow sensor Hunter ICV-FS-208

Sheet IR-101

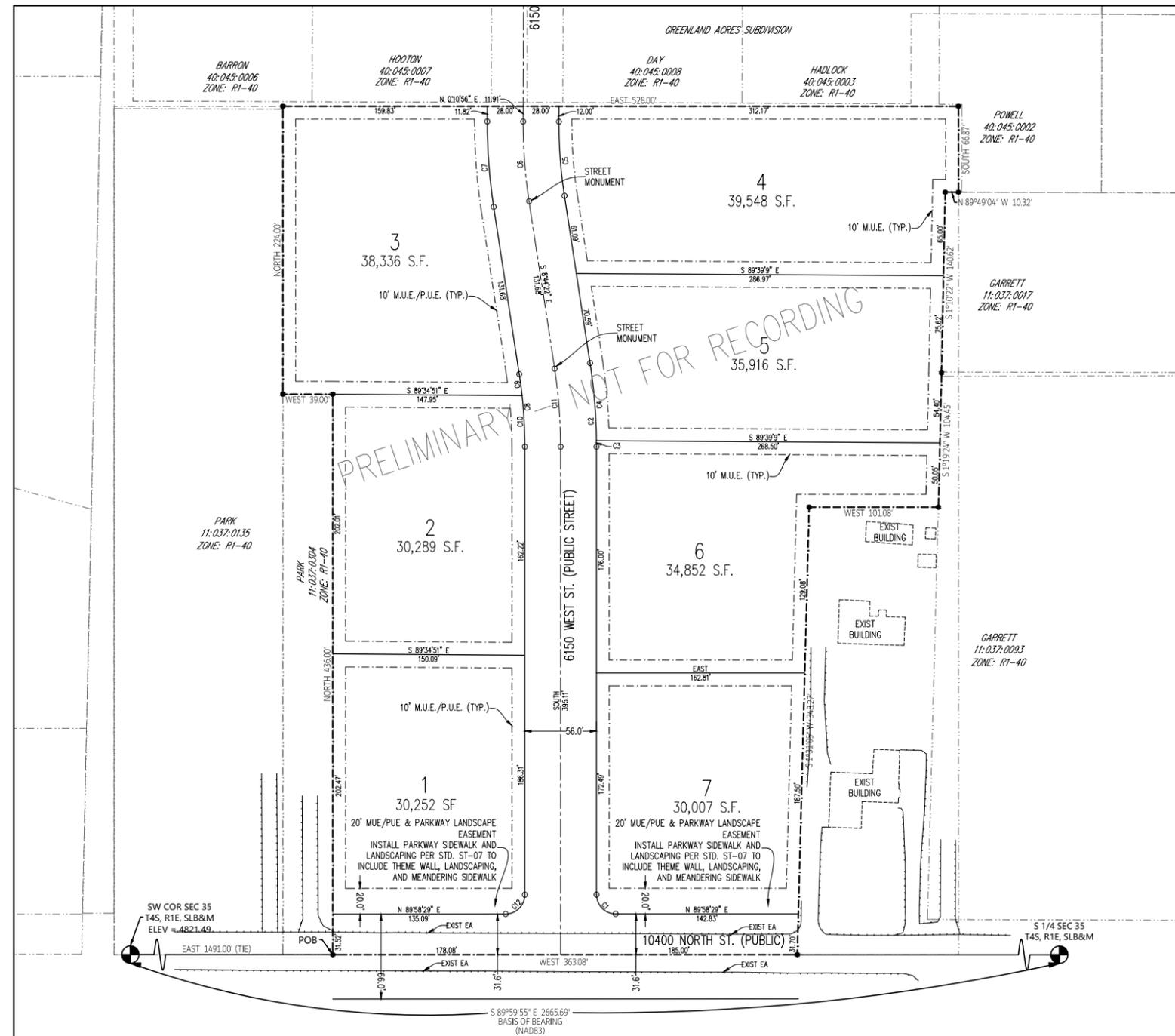
7. Buy off period for landscape, April 15-October 1.
8. Sprinkler must run on clock before sod and plant material is placed.

Sheet IR-501

9. Detail I Add Action Unions on downstream side of master valves

Sheet IR-502

10. Action unions
 - a. Detail M Add Action Unions on downstream side of ICV
 - b. Sheet IR-503
 - i. Detail Q Add Action Union to note 6



GENERAL NOTES

- TOTAL PROPERTY=6,568 ACRES ALLOWABLE LOTS=7
- PROPERTY ZONING = R1-40
- Flood Zone Classification FEMA FIRM PANEL 49049C0166F EFFECTIVE JUNE 19, 2020. ZONE X - OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN

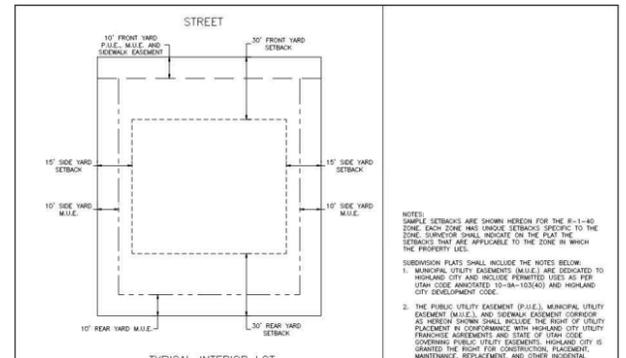
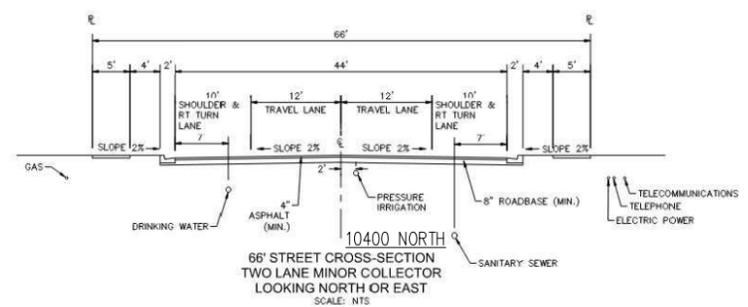
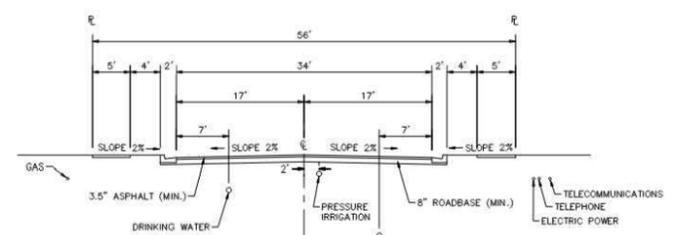
ZONING NOTE

PER ALTA SURVEY, PROPERTY INCLUDES 6,085 SQUARE FEET OF PROPERTY USED AS EXISTING PRESCRIPTIVE EASEMENT FOR 10400 ROW. EXCLUDING EASEMENT PROPERTY FROM PROPERTY SIZE, LEAVES 280,000 SQUARE FEET. 280,000 S.F./40,000 S.F. = 7 (HDC 3-4103)

7 LOTS PERMITTED W/N SUBDIVISION, 1 OF WHICH MAY BE 20K-30K SQUARE FEET. SUBDIVISION CONFORMS.

SITE DATA TABLE

PROPERTY ZONING:	R1-40
GROSS/NET PROPERTY AREA:	286,087 SF
TOTAL BUILDABLE AREA:	286,087 SF
LOT AREA:	239,200 SF
RIGHT-OF-WAY AREA:	46,887 SF
MIN. LOT AREA:	30,007 SF
AVG. LOT AREA:	34,171 SF
TOTAL NUMBER OF LOTS:	7



SURVEYOR'S CERTIFICATE

I, AARON D. THOMAS, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6418780 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT

BOUNDARY DESCRIPTION

Beginning at a point located East 1491.00 feet from the Southwest Corner of Section 35, Township 4 South, Range 1 East, Salt Lake Base and Meridian, (bearing along section line being South 89°59'55" East from the Southwest Corner of said Section 35 to the South Quarter Corner of said Section 35); thence North 436.00 feet; thence West 39.00 feet; thence North 224.00 feet; thence East 528.00 feet; thence South 66.87 feet; thence North 89°49'04" West 10.32 feet; thence South 11°02'22" West along a fence line 140.62 feet; thence South 119°24" West 104.45 feet; thence West 101.08 feet; thence South 131°05" West 348.27 feet; thence West 363.08 feet to the point of beginning.

Total Area = 286,087 sq ft or 6.568 Acres
Area in roadway = 5,987 sq ft
Area less roadway = 280,100 sq ft

DATE _____ SURVEYOR (SEE SEAL BELOW) _____

OWNERS' DEDICATION

WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC, THE PUBLIC UTILITY EASEMENTS TO ALL PROVIDERS, PUBLIC OR PRIVATE, AND THE IRRIGATION EASEMENTS TO ALL LOT OWNERS, AND THEIR SUCCESSORS AND ASSIGNS IN PERPETUITY.

IN WITNESS WHEREOF WE HAVE SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF _____ }
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL BELOW) _____

ACCEPTANCE BY LEGISLATIVE BODY

THE DEPARTMENT OF PUBLIC WORKS AND ENGINEERING OF HIGHLAND CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____
APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) _____ ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW) _____

HIGHLAND CITY ATTORNEY
APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ HIGHLAND CITY ATTORNEY _____

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, 20____ PLANNING COMMISSION CHAIR _____
COMMUNITY DEVELOPMENT DIRECTOR _____

CONDITIONS OF APPROVAL

There are conditions of approval attached to this subdivision which are indicated on this plat. These conditions have also been recorded with this subdivision. Potential buyers are requested to read these conditions carefully and obtain a copy of these conditions and restrictions prior to purchasing or contracting to purchase any lots within this subdivision. These conditions are binding and have been imposed by the legislative body of Highland City. A copy of these conditions may be obtained through the Utah County Recorder's office or the Highland City Recorder's office. In addition, Highland City has approved binding zoning laws through a legally binding Development Code. It is the responsibility of the buyer to do their due diligence in obtaining all accurate information and/or regulations that may directly or indirectly affect the use of property prior to purchasing or contracting to purchase any property anywhere. Conditions of approval conveyed on this property by the legislative body of Highland City, which are in addition to the Development Code, are as follows:

- 70% of the front yard landscaping shall be installed by the homeowner within one year after receiving a certificate of occupancy.
- Landscaping and construction materials of any type are not permitted upon or within the street, curb & gutter, park strip or sidewalk (street right-of-way) with the exception of the parkstrip which requires 75% to be landscaped.
- A fence that abuts open space or has a trail has additional restrictions of size and opacity. Fences along open space or a trail must comply with Highland City Ordinance. All fences require a fence permit prior to installation. In addition, retaining walls are regulated by ordinance and require a retaining wall permit prior to construction.
- Highland City Ordinances restrict height of foundation above curb. It is the responsibility of the buyer to contact the city prior to purchasing any lot. This restriction applies to all lots in this subdivision.

PANTOS
PLAT "A"
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

NAD 83
SCALE: 1" = 50 FEET

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER SEAL CLERK-RECORDER SEAL

HIGHLAND CITY PUBLIC WORKS AND ENGINEERING EASEMENT AND SETBACK DETAIL STD DWG # U-04

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	15.00	23.57	90°1'31"	21.22	N 45°0'45" W
C2	428.00	65.28	8°44'22"	65.22	N 42°2'11" W
C3	428.00	4.70	0°37'47"	4.70	N 0°18'54" W
C4	428.00	60.58	8°6'34"	60.53	N 4°14'4" W
C5	372.00	57.92	8°55'18"	57.87	N 4°16'43" W
C6	400.00	62.28	8°55'18"	62.22	N 4°16'43" W
C7	428.00	66.64	8°55'18"	66.58	N 4°16'43" W
C8	372.00	56.74	8°44'22"	56.69	S 4°22'11" E
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C12	15.00	23.56	89°58'29"	21.21	S 44°59'14" W

MONUMENT TABLE

LETTER	DESCRIPTION
A	N
B	E
C	E
D	N
E	N
F	E
G	E
H	E
I	N
J	E
K	E
L	E
M	E
N	E
O	E

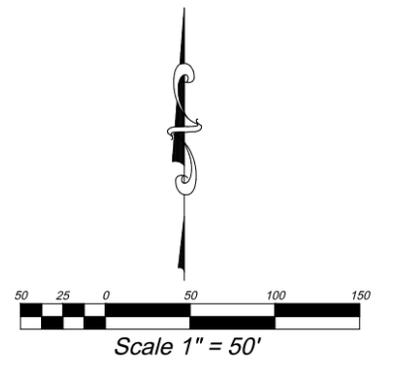


Surveyor: **AZTEC ENGINEERING**
732 N. 780 W. AMERICAN FORK, UT. 84003
aztecengineering@gmail.com

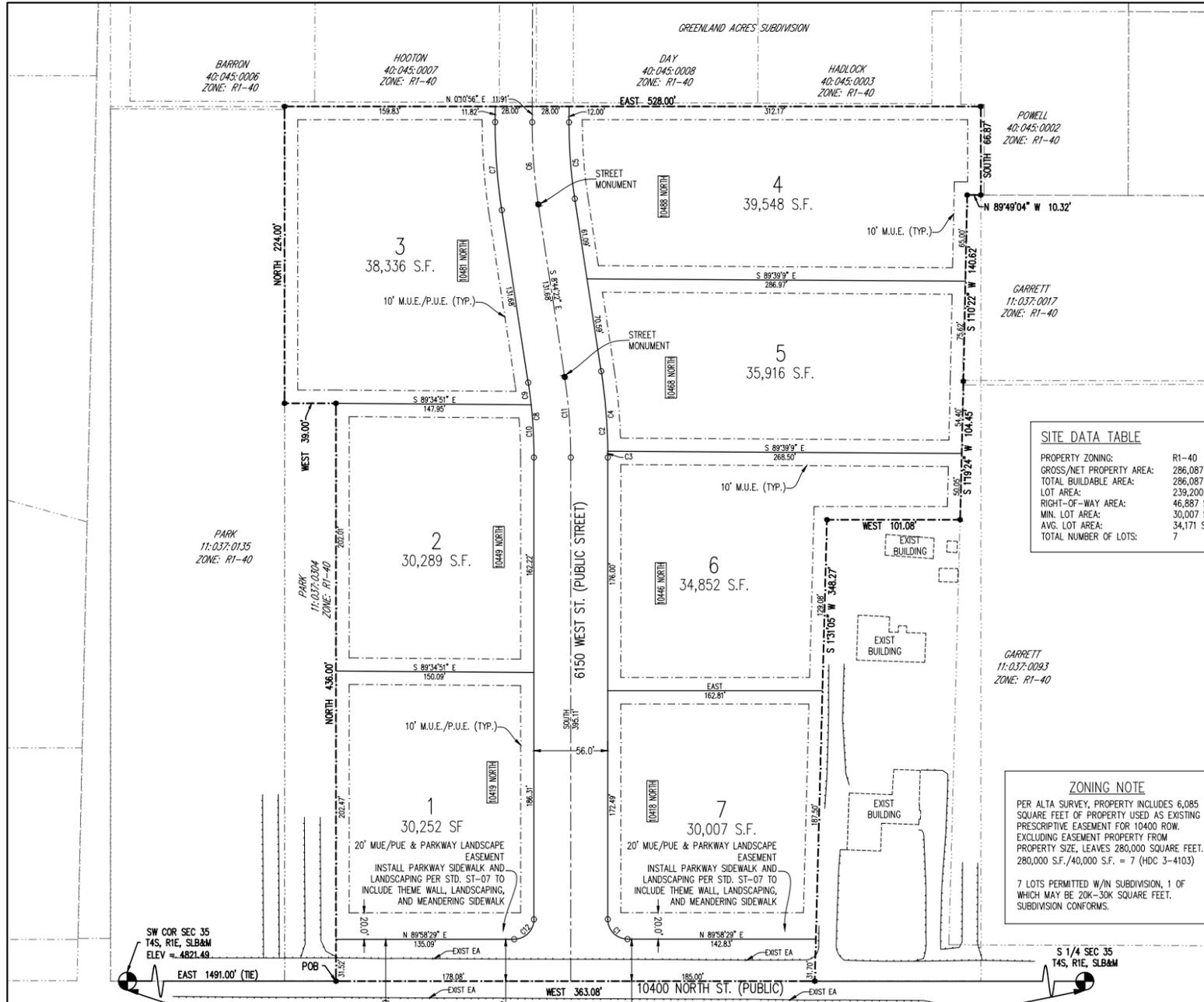
Developer/Property Owner: **Jonete Pantos**
Address: 6100 West 10400 North
Highland, UT 84003
Phone: 801-367-3987

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201C, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

Date: 12/30/24



Highland City Public Works and Engineering
EASEMENT AND SETBACK DETAIL
STD DWG # U-04



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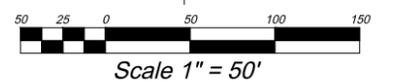
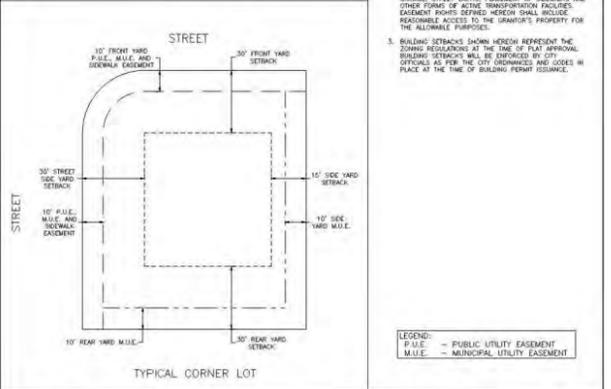
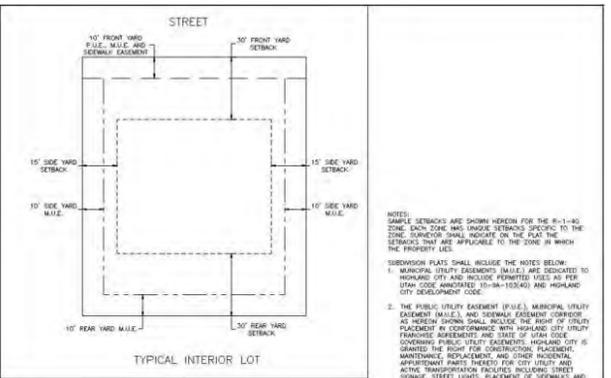
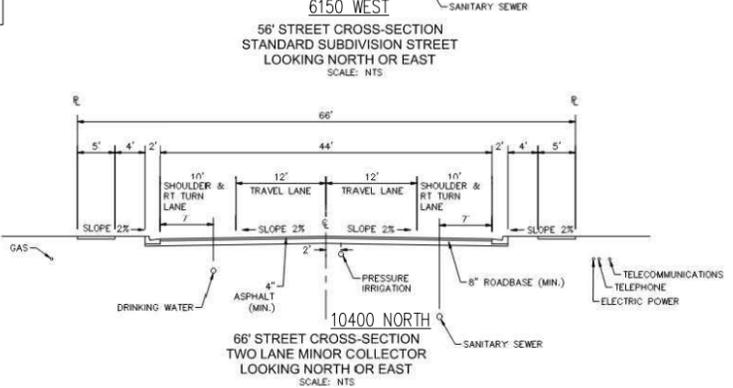
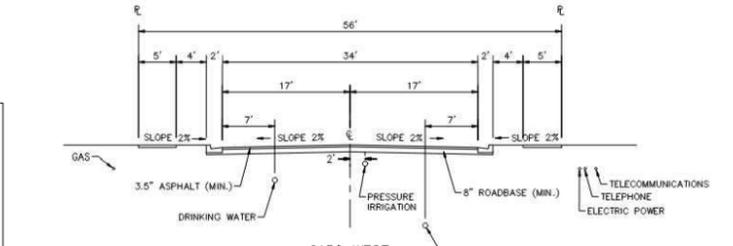
A:	E:
N:	E:
B:	E:
C:	E:
D:	E:
E:	E:
F:	E:
G:	E:
H:	E:
I:	E:
J:	E:
K:	E:
L:	E:
M:	E:
N:	E:
O:	E:



STANDARD FINAL PLAT NOTES

THERE ARE CONDITIONS OF APPROVAL OF THIS SUBDIVISION IMPOSED BY HIGHLAND CITY. THESE CONDITIONS ARE BINDING ON EACH OWNER AND OCCUPANT OF PROPERTY WITHIN THIS SUBDIVISION. POTENTIAL BUYERS ARE REQUESTED TO READ THESE CONDITIONS CAREFULLY AND OBTAIN A COPY OF THESE CONDITIONS AND RESTRICTIONS PRIOR TO PURCHASING OR CONTRACTING TO PURCHASE ANY LOTS WITHIN THIS SUBDIVISION. IN ADDITION TO THE NOTES, RESTRICTIONS, AND CONDITIONS RECORDED WITH AND WITHIN THIS PLAT, HIGHLAND CITY HAS ADOPTED ZONING AND OTHER LAWS THAT REGULATE THE USE AND DEVELOPMENT OF PROPERTY, INCLUDING THE CONSTRUCTION OF BUILDINGS, FENCES, DRIVEWAYS, AND OTHER STRUCTURES AND THE USE OF UTILITY EASEMENTS. IT IS THE RESPONSIBILITY OF THE BUYER TO DO THEIR DUE DILIGENCE IN OBTAINING ALL ACCURATE INFORMATION AND/OR REGULATIONS THAT MAY DIRECTLY OR INDIRECTLY AFFECT THE USE OF PROPERTY PRIOR TO PURCHASING OR CONTRACTING TO PURCHASE PROPERTY. THE FOLLOWING ARE SOME SIGNIFICANT ORDINANCES AND CONDITIONS OF APPROVAL APPLICABLE TO AND IMPOSED ON THIS PROPERTY BY HIGHLAND CITY:

- 70% OF THE FRONT YARD LANDSCAPING SHALL BE INSTALLED BY THE HOMEOWNER WITHIN ONE YEAR AFTER RECEIVING A CERTIFICATE OF OCCUPANCY.
- LANDSCAPING AND CONSTRUCTION MATERIALS OF ANY TYPE ARE NOT PERMITTED UPON OR WITHIN THE STREET, CURB AND GUTTER, OR SIDEWALK (STREET RIGHT-OF-WAY) WITH THE EXCEPTION OF THE PARK STRIP WHICH REQUIRES 75% TO BE LANDSCAPED WITH XERISCAPE OR WATER-WISE METHODS. LAWN IS NOT PERMITTED WITHIN PARK STRIPS.
- A FENCE THAT ABUTS OPEN SPACE OR A TRAIL HAS ADDITIONAL RESTRICTIONS OF SIZE AND OPACITY. FENCES ALONG OPEN SPACE OR A TRAIL MUST COMPLY WITH HIGHLAND CITY ORDINANCES. ALL FENCES REQUIRE A FENCE PERMIT PRIOR TO INSTALLATION. IN ADDITION, RETAINING WALLS ARE REGULATED BY ORDINANCE AND MAY REQUIRE A PERMIT PRIOR TO CONSTRUCTION.
- HIGHLAND CITY ORDINANCES RESTRICT HEIGHT OF FOUNDATION ABOVE CURB. IT IS THE RESPONSIBILITY OF THE BUYER TO CONTACT THE CITY PRIOR TO PURCHASING ANY LOT. THIS RESTRICTION APPLIES TO ALL LOTS IN THIS SUBDIVISION.
- MUNICIPAL UTILITY EASEMENTS (M.U.E.) ARE DEDICATED TO HIGHLAND CITY AND INCLUDE PERMITTED USES AS PER UTAH CODE ANNOTATED 10-9A-103(4) AND HIGHLAND CITY DEVELOPMENT CODE.
- THE PUBLIC UTILITY EASEMENT (P.U.E.), MUNICIPAL UTILITY EASEMENT (M.U.E.) AND SIDEWALK EASEMENT CORRIDOR AS HEREON SHOWN SHALL INCLUDE THE RIGHT OF UTILITY PLACEMENT IN CONFORMANCE WITH HIGHLAND CITY UTILITY FRANCHISE AGREEMENTS AND STATE OF UTAH CODE GOVERNING PUBLIC UTILITY EASEMENTS. HIGHLAND CITY IS GRANTED THE RIGHT FOR CONSTRUCTION, PLACEMENT, MAINTENANCE, REPLACEMENT, AND OTHER INCIDENTAL APPURTENANT PARTS THERETO FOR CITY UTILITY AND ACTIVE TRANSPORTATION FACILITIES INCLUDING STREET SIGNAGE, STREET LIGHTS, PLACEMENT OF SIDEWALKS AND OTHER FORMS OF ACTIVE TRANSPORTATION FACILITIES. EASEMENT RIGHTS DEFINED HEREON SHALL INCLUDE REASONABLE ACCESS TO THE GRANOR'S PROPERTY FOR THE ALLOWABLE PURPOSES.
- BUILDING SETBACKS SHOWN HEREON REPRESENT THE ZONING REGULATIONS AT THE TIME OF PLAT APPROVAL. BUILDING SETBACKS WILL BE ENFORCED BY CITY OFFICIALS AS PER THE CITY ORDINANCES AND CODES IN PLACE AT THE TIME OF BUILDING PERMIT ISSUANCE.



SURVEYOR'S CERTIFICATE

I, AARON D. THOMAS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6418780 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND IN LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

Beginning at a point located East 1491.00 feet from the Southwest Corner of Section 35, Township 4 South, Range 1 East, Salt Lake Base and Meridian, (bearing along section line being South 89°59'55" East from the Southwest Corner of said Section 35 to the South Quarter Corner of said Section 35); thence North 436.00 feet; thence West 39.00 feet; thence North 224.00 feet; thence East 528.00 feet; thence South 66.87 feet; thence North 89°49'04" West 10.32 feet; thence South 110°22' West along a fence line 140.62 feet; thence South 119°24' West 104.45 feet; thence West 101.08 feet; thence South 1°31'05" West 348.27 feet; thence West 363.08 feet to the point of beginning.

Total Area = 286,087 sq ft or 6.568 Acres
Area in roadway = 5,987 sq ft
Area less roadway = 280,100 sq ft

OWNERS' DEDICATION

WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THE PUBLIC UTILITY EASEMENTS TO ALL PROVIDERS, PUBLIC OR PRIVATE, AND THE IRRIGATION EASEMENTS TO ALL LOT OWNERS, AND THEIR SUCCESSORS AND ASSIGNS IN PERPETUITY. IN WITNESS WHEREOF WE HAVE SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____

ACCEPTANCE BY LEGISLATIVE BODY

THE DEPARTMENT OF PUBLIC WORKS AND ENGINEERING OF HIGHLAND CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED BY MAYOR _____ ATTEST _____
CITY ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

HIGHLAND CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ HIGHLAND CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
COMMUNITY DEVELOPMENT DIRECTOR _____ PLANNING COMMISSION CHAIR _____

CONDITIONS OF APPROVAL

There are conditions of approval attached to this subdivision which are indicated on this plat. These conditions have also been recorded with this subdivision. Potential buyers are requested to read these conditions carefully and obtain a copy of these conditions and restrictions prior to purchasing or contracting to purchase any lots within this subdivision. These conditions are binding and have been imposed by the legislative body of Highland City. A copy of these conditions may be obtained through the Utah County Recorder's office or the Highland City Recorder's office. In addition, Highland City has approved binding zoning laws through a legally binding Development Code. It is the responsibility of the buyer to do their due diligence in obtaining all accurate information and/or regulations that may directly or indirectly affect the use of property prior to purchasing or contracting to purchase any property anywhere. Conditions of approval conveyed on this property by the legislative body of Highland City, which are in addition to the Development Code, are as follows:

- 70% OF THE FRONT YARD LANDSCAPING shall be installed by the homeowner within one year after receiving a certificate of occupancy.
- Landscaping and construction materials of any type are not permitted upon or within the street, curb & gutter, park strip or sidewalk (street right-of-way) with the exception of the parkstrip which requires 75% to be landscaped.
- A fence that abuts open space or has a trail has additional restrictions of size and opacity. Fences along open space or a trail must comply with Highland City Ordinance. All fences require a fence permit prior to installation. In addition, retaining walls are regulated by ordinance and require a retaining wall permit prior to construction.
- Highland City Ordinances restrict height of foundation above curb. It is the responsibility of the buyer to contact the city prior to purchasing any lot. This restriction applies to all lots in this subdivision.

SLOANE ESTATES
PLAT "A"
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
NAD 83
SCALE: 1" = 50 FEET

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER SEAL CLERK-RECORDER SEAL

HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
EASEMENT AND SETBACK DETAIL
5/10/2024 U-04

Surveyor: **AZTEC ENGINEERING**
732 N. 780 W. AMERICAN FORK, UT. 84003
aztecengineering@gmail.com

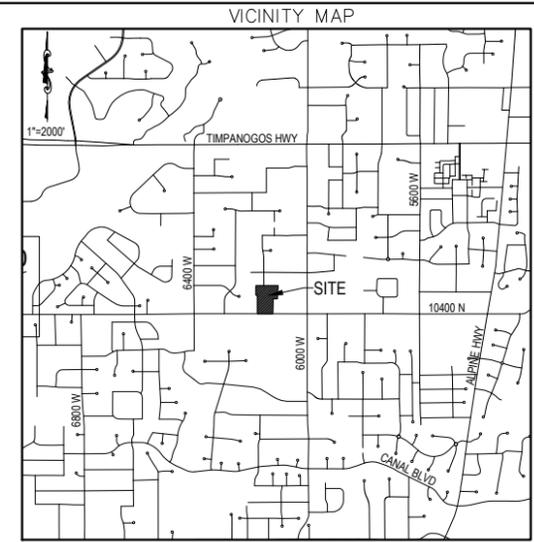
Developer/Property Owner:
Patterson Construction
11038 Highland Blvd Suite 100, Highland, Utah 84003
Phone: (801) 756-7303

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201C, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

Date: 04/18/25

SLOANE ESTATES

SUBDIVISION



SITE DATA TABLE	
PROPERTY ZONING:	R1-40
GROSS/NET PROPERTY AREA:	286,087 SF
TOTAL BUILDABLE AREA:	286,087 SF
LOT AREA:	239,200 SF
RIGHT-OF-WAY AREA:	46,887 SF
MIN. LOT AREA:	30,007 SF
AVG. LOT AREA:	34,171 SF
TOTAL NUMBER OF LOTS:	7

ABBREVIATION TABLE	
FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RIM	RIM ELEVATION
FL	FLOWLINE
LP	LOW POINT
HP	HIGH POINT
EG	EXIST GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
SF	SQUARE FOOTAGE
P.U.E.	PUBLIC UTILITY EASEMENT
SLB&M	SALT LAKE BASE & MERIDIAN
COR	CORNER
N	NORTH
S	SOUTH
E	EAST
W	WEST
P.I.	PRESSURIZED IRRIGATION
SS	SANITARY SEWER
SD	STORM DRAIN
T	TOWNSHIP
R	RANGE
RCP	REINFORCED CONCRETE PIPE
WM	WATER METER
CB	CATCH BASIN
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT
L.F.	LINEAR FEET
S=%	SLOPE
IE	INVERT ELEVATION
C.O.	CLEAN OUT
SL	SEWER LATERAL

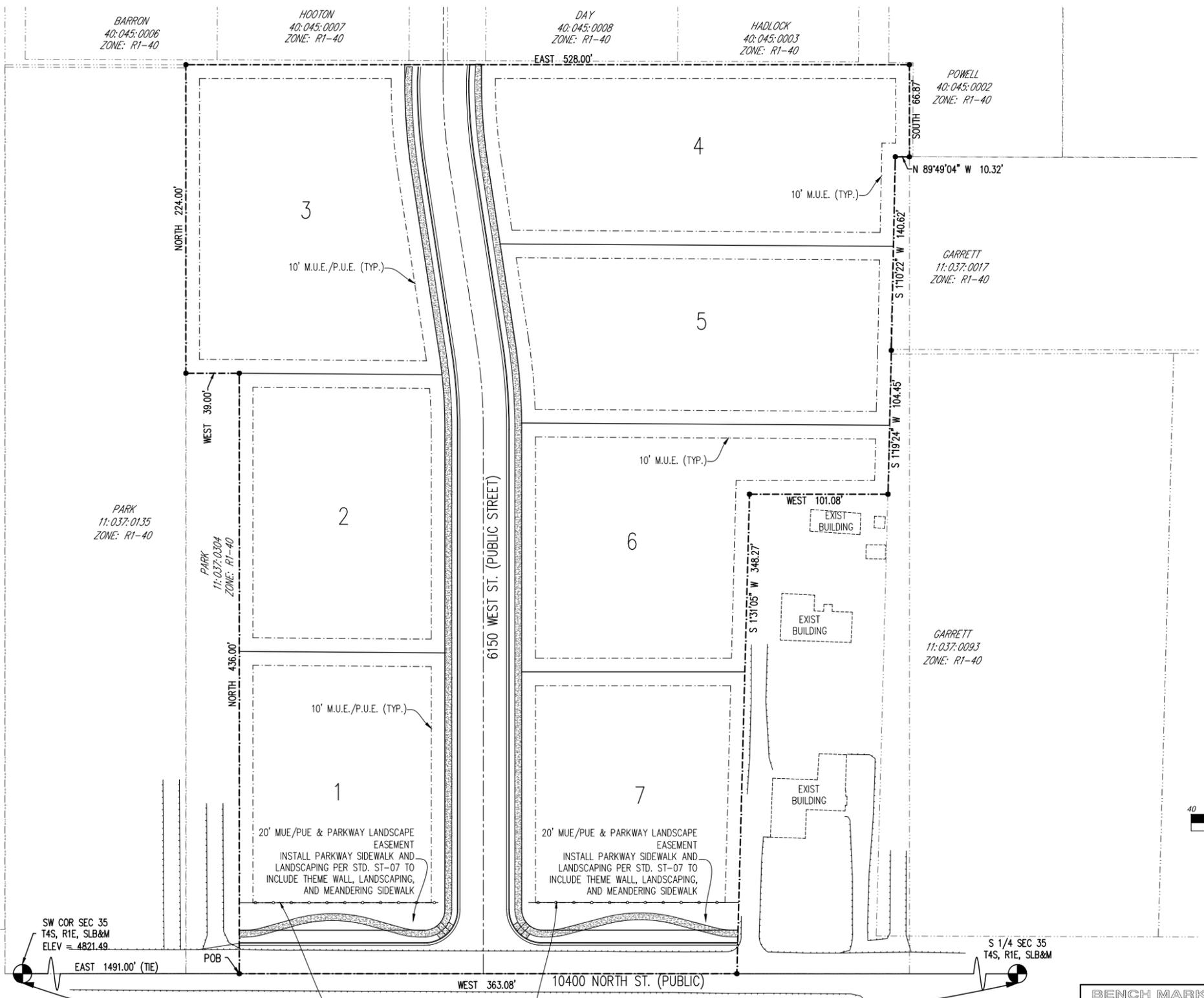
GENERAL NOTE:

- ALL DEVELOPMENTS SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED SITE PLAN AND LANDSCAPE PLAN. ANY CHANGES THERETO SHALL REQUIRE APPROVAL OF HIGHLAND CITY.
- THIS PROJECT IS SUBJECT TO THE CURRENT HIGHLAND CITY ENGINEERING REQUIREMENTS (MAG SUPPLEMENTAL REGULATIONS), GENERAL PLAN, DEVELOPMENT CODE AND ANY APPLICABLE SPECIFIC PLANS.

NOTES TO CONTRACTOR

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

CIVIL SHEET INDEX	
C1	COVER SHEET & SITE PLAN
C2	DEMOLITION PLAN
U1	OVERALL UTILITY PLAN
G1	OVERALL GRADING & DRAINAGE PLAN
PP1	6150 WEST PLAN & PROFILE
PP2	10400 NORTH PLAN & PROFILE
SWP1	EROSION CONTROL PLAN
SWP2	BMP DETAILS
D1	CITY DETAILS
D2	CITY DETAILS
D3	CITY DETAILS
D4	CITY DETAILS



Surveyor:
AZTEC ENGINEERING
 732 N. 780 W. AMERICAN FORK, UT. 84003
 aztecengineering@gmail.com



REVISIONS		
Rev.	Date	Description
1	07/16/25	REVISED PER CITY COMMENTS

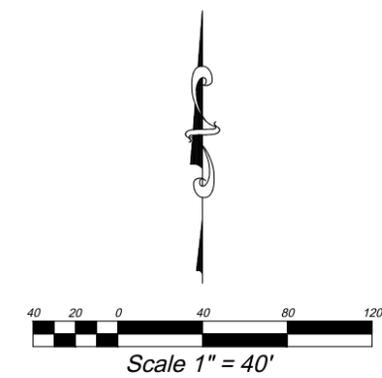
BENCH MARK SOUTHWEST CORNER, SECTION 35, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4821.49	Developer/Property Owner: Patterson Construction 11038 Highland Blvd Suite 100, Highland, Utah 84003 Phone: (801) 756-7503	SLOANE ESTATES		HIGHLAND	UTAH
	EXCEL ENGINEERING David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201C, American Fork, UT 84003 P: (801) 756-4504; david@excelcivil.com	COVER SHEET & SITE PLAN		Scale: 1"=50' Date: 04/18/25	C1

NOTE: CONSTRUCT OLYMPUS PRECAST CONCRETE WALL 29 FEET BEHIND 10400 NORTH TOP BACK OF CURB. WALL SHALL BE NO HIGHER THAN 3' HIGH FROM 14' BEHIND 6150 WEST TBC TO 30' BEHIND 6150 WEST TBC TO ENSURE SAFE VISIBILITY AT INTERSECTION. WALL SHALL BE 6' HIGH IN OTHER AREAS.

SW COR SEC 35
 T4S, R1E, SLB&M
 ELEV = 4821.49

S 1/4 SEC 35
 T4S, R1E, SLB&M

S 89°59'55" E 2665.69'
 BASIS OF BEARING
 (NAD83)



BENCH MARK		REVISIONS	
SOUTHWEST CORNER, SECTION 35, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4821.49		Rev.	Date
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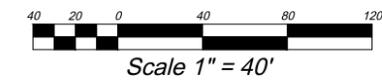
SLOANE ESTATES		UTAH
Drawn by: D.W.P.	Scale: 1" = 40'	Date: 04/18/25
Designed by: D.W.P.	DEMOLITION PLAN	
Checked by: D.W.P.	C2	

UTILITY KEYED NOTES

1. INSTALL 22.5' BEND.
2. INSTALL 45' BEND.
3. INSTALL NEW COLLECTOR STREET LIGHT
4. INSTALL NEW STANDARD STREET LIGHT
5. INSTALL STOP/STREET SIGN
6. INSTALL CONDUIT BANK - VERIFY CONDUIT SIZE AND QUANTITY ON POWER, GAS, AND COMMUNICATION DRAWINGS PROVIDED BY OWNER
7. INSTALL 4" P.I. DRAIN LINE & VALVE PER HIGHLAND STD DWG #PI-04. CONNECT DRAIN LINE INTO SD COMBO BOX
8. INSTALL 8" P.I. GATE VALVE
9. INSTALL 8" CUL. GATE VALVE
10. INSTALL 4" CONDUIT FOR IRRIGATION
11. ELECTRICAL METER BASE - NEXT TO FENCE AND 30" MIN. BEHIND 6150 W. SIDEWALK. SEE LANDSCAPE DRAWINGS FOR METER BASE SPECS
12. INSTALL 11" BEND.

GENERAL NOTE
NO EXISTING WELLS ARE LOCATED ON OR NEAR THIS PROPERTY

SECONDARY WATER DRAIN NOTE
ALL P.I. LINES MUST DRAIN PROPERLY FOR WINTERIZING PURPOSES. SERVICES SHOULD SLOPE BACK TO MAIN AND MAINS SHOULD SLOPE OUT TO EXISTING MAIN CONNECTIONS. IF THIS IS NOT POSSIBLE, DRAINS IN THE LOW POINTS WILL BE NEEDED AS PER CITY STANDARDS.



SEWER & STORM DRAIN DESIGN
SEE PROFILE SHEETS FOR SEWER & STORM DRAIN DESIGN.

WATERLINE LOOPING NOTE
LOOPING WILL REQUIRE USE OF MEGA LUGS AND THRUST BLOCKS. HIGHLAND CITY MUST VIEW AND APPROVE ALL LOOPING AND/OR PIPE SEPARATIONS.

UTILITY LEGEND

- FIRE HYDRANT
- PRESSURE IRRIG. VALVE
- CULINARY WATER VALVE
- STOP SIGN/STREET SIGN
- STREET LIGHT
- SIDEWALK
- POWER POLE
- POWER BOX
- TELEPHONE BOX
- PRESSURE IRRIG. PIPE
- CULINARY WATER PIPE
- SEWER PIPE PVC SDR-35
- STORM DRAIN PIPE
- EDGE OF ASPHALT
- EXIST FENCE
- NEW FENCE
- OVERHEAD POWER LINE
- BURIED POWER LINE
- TELEVISION LINE
- TELEPHONE LINE
- GAS LINE
- UTILITY KEYED NOTES



BENCH MARK		REVISIONS	
SOUTHWEST CORNER, SECTION 35, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4821.49		Rev.	Date
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SLOANE ESTATES

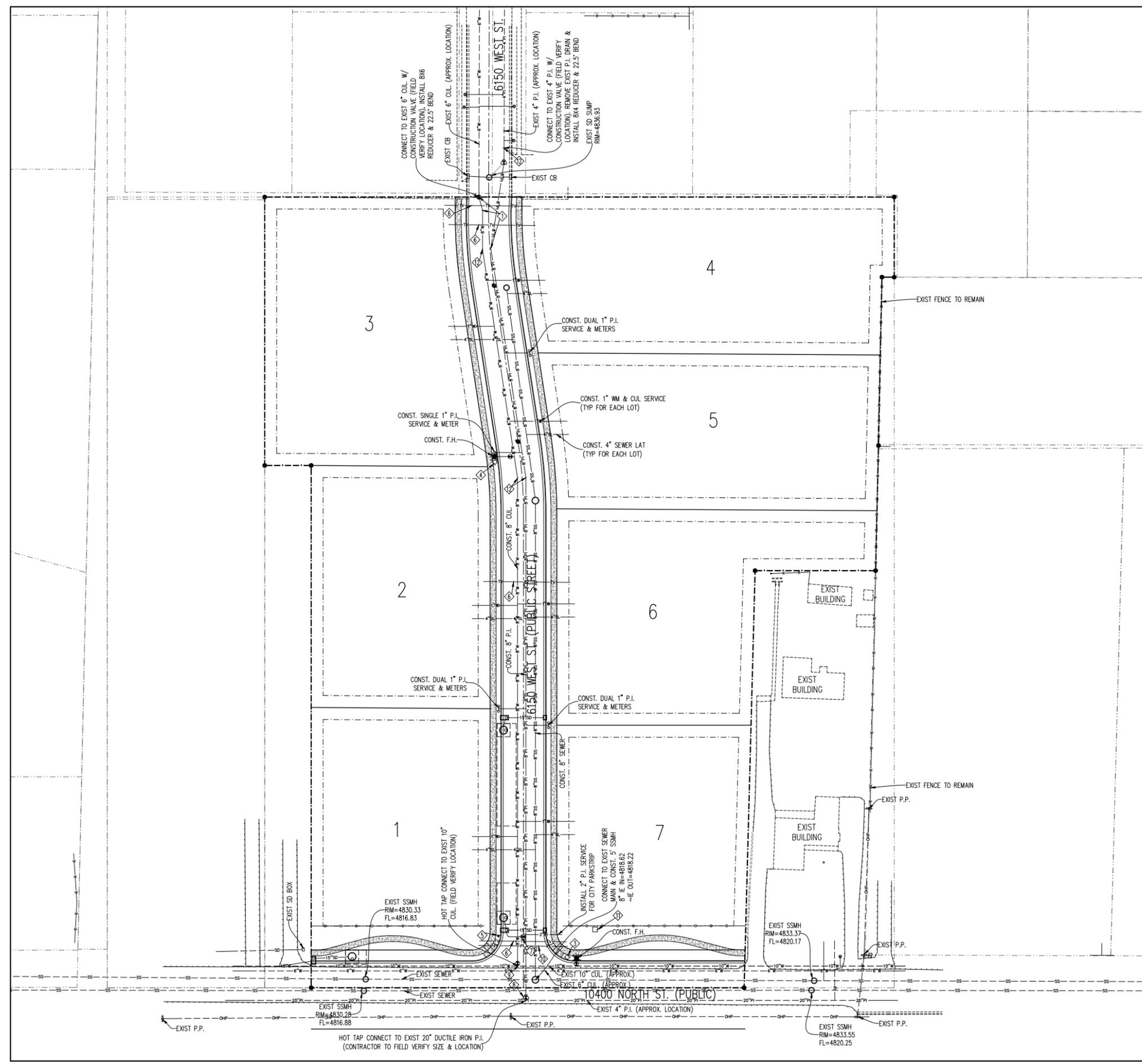
HIGHLAND UTAH

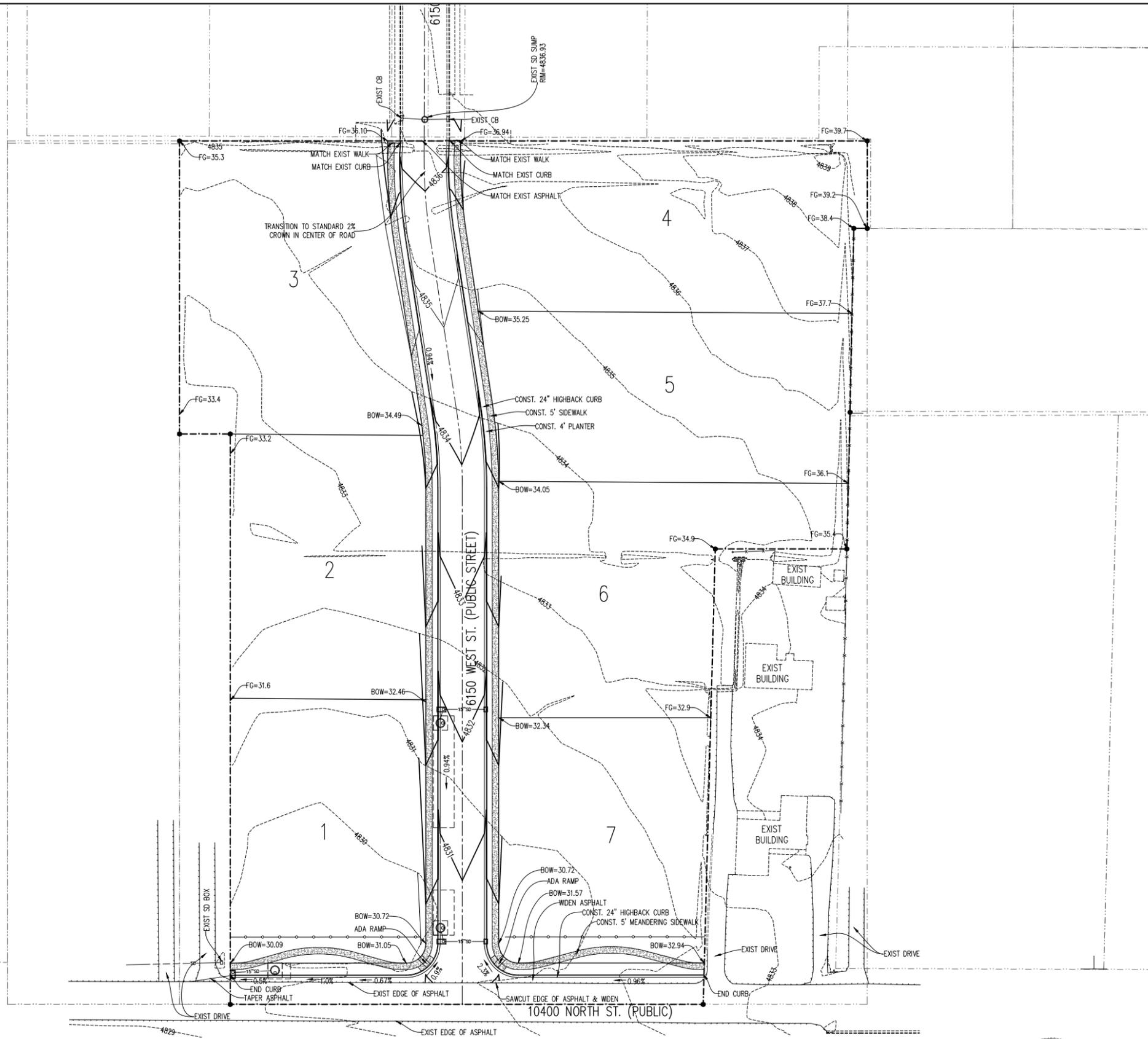
Scale: 1" = 40'

Date: 04/18/25

OVERALL UTILITY PLAN

U1





GRADING LEGEND

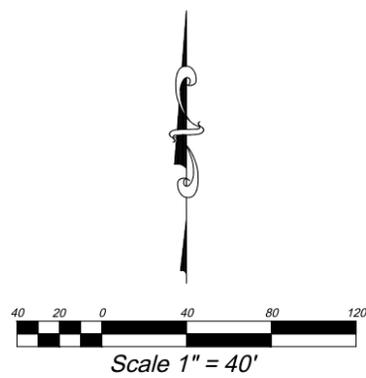
- FFE FINISHED FLOOR ELEV.
- BOW BACK OF WALK
- GB GRADE BREAK
- TC TOP OF CONCRETE
- TBC TOP BACK OF CURB
- TA TOP OF ASPHALT
- EA EDGE OF ASPHALT
- RIM RIM ELEVATION
- FL FLOWLINE
- EG EXIST GROUND
- FG FINISHED GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- IE INVERT ELEVATION
- Direction of Drainage
- Existing Elevation*
- Proposed Elevation*
- * SEE PROFILE SHEETS SPOT ELEVATIONS AND GRADING SLOPES

PAVEMENT DESIGNS

6150 WEST:
 3.5" ASPHALT
 8" AGGREGATE BASE

10400 NORTH:
 4" ASPHALT
 8" AGGREGATE BASE

CONCRETE SIDEWALKS:
 4" CONCRETE
 6" ROAD BASE



GRADING NOTE
 INDIVIDUAL LOT GRADING PLANS MUST BE SUBMITTED TO HIGHLAND CITY AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

FLOOD ZONE:
 FEMA FIRM PANEL 49049C0166F EFFECTIVE JUNE 19, 2020.
 ZONE X - OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN

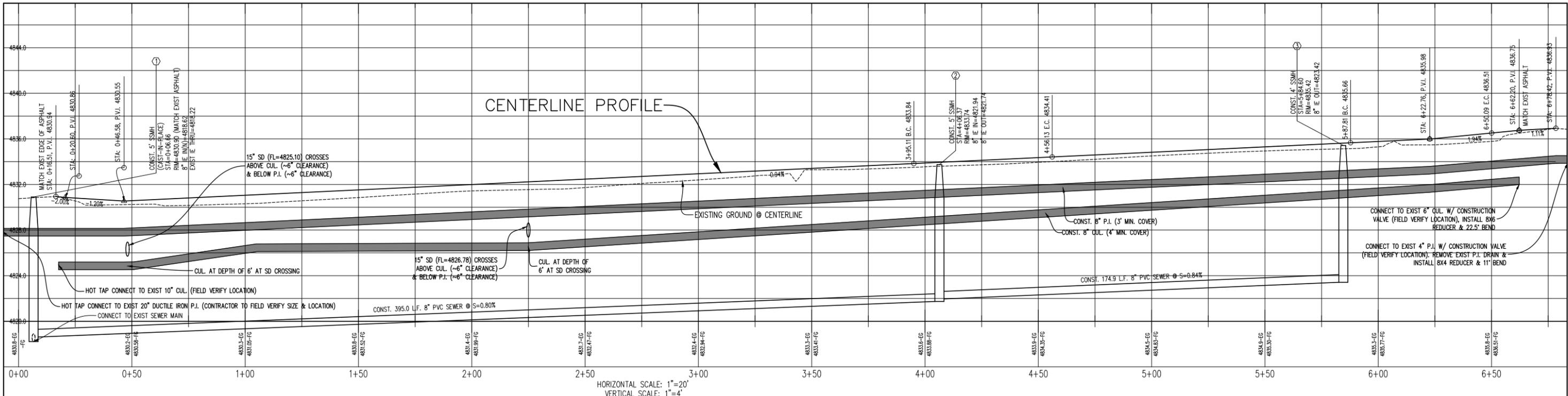
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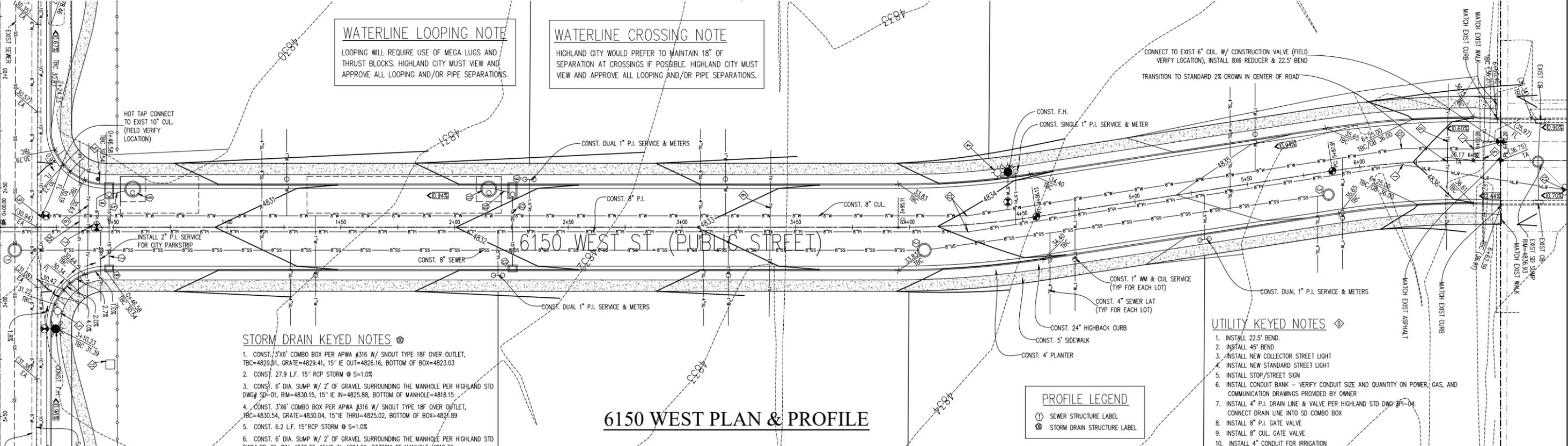
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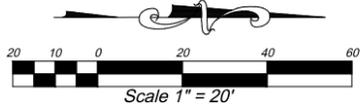
SLOANE ESTATES		UTAH
Drawn by: D.W.P.	Scale: 1"=40'	
Designed by: D.W.P.	Date: 04/18/25	
Checked by: D.W.P.		G1



10400 N
SEE SHEET PP2



10400 N
SEE SHEET PP2



- STORM DRAIN KEYED NOTES**
1. CONST. 3'x6' COMBO BOX PER APWA #316 W/ SNOOT TYPE 18F OVER OUTLET, TBC=4829.91, GRATE=4829.41, 15" IE OUT=4826.16, BOTTOM OF BOX=4823.03
 2. CONST. 27.9 L.F. 15" RCP STORM @ S=1.0%
 3. CONST. 6' DIA. SLUMP W/ 2' OF GRAVEL SURROUNDING THE MANHOLE PER HIGHLAND STD DWG# SD-01, RIM=4830.15, 15" IE IN=4825.88, BOTTOM OF MANHOLE=4818.15
 4. CONST. 3'x6' COMBO BOX PER APWA #316 W/ SNOOT TYPE 18F OVER OUTLET, TBC=4830.54, GRATE=4830.04, 15" IE THRU=4825.02, BOTTOM OF BOX=4821.89
 5. CONST. 6.2 L.F. 15" RCP STORM @ S=1.0%
 6. CONST. 6' DIA. SLUMP W/ 2' OF GRAVEL SURROUNDING THE MANHOLE PER HIGHLAND STD DWG# SD-01, RIM=4830.32, 15" IE IN=4824.96, BOTTOM OF MANHOLE=4818.32
 7. CONST. 30.0 L.F. 15" RCP STORM @ S=0.5%
 8. CONST. 2'x3' CATCH BASIN PER APWA #315, TBC=4830.54, GRATE=4830.04, IE OUT=4825.17
 9. CONST. 3'x6' COMBO BOX PER APWA #316 W/ SNOOT TYPE 18F OVER OUTLET, TBC=4832.21, GRATE=4831.71, 15" IE THRU=4826.70, BOTTOM OF BOX=4823.57
 10. CONST. 6.2 L.F. 15" RCP STORM @ S=1.0%
 11. CONST. 6' DIA. SLUMP W/ 2' OF GRAVEL SURROUNDING THE MANHOLE PER HIGHLAND STD DWG# SD-01, RIM=4831.80, 15" IE IN=4826.64, BOTTOM OF MANHOLE=4819.80
 12. CONST. 30.0 L.F. 15" RCP STORM @ S=0.5%
 13. CONST. 2'x3' CATCH BASIN PER APWA #315, TBC=4832.21, GRATE=4831.71, IE OUT=4826.85



BENCH MARK		REVISIONS	
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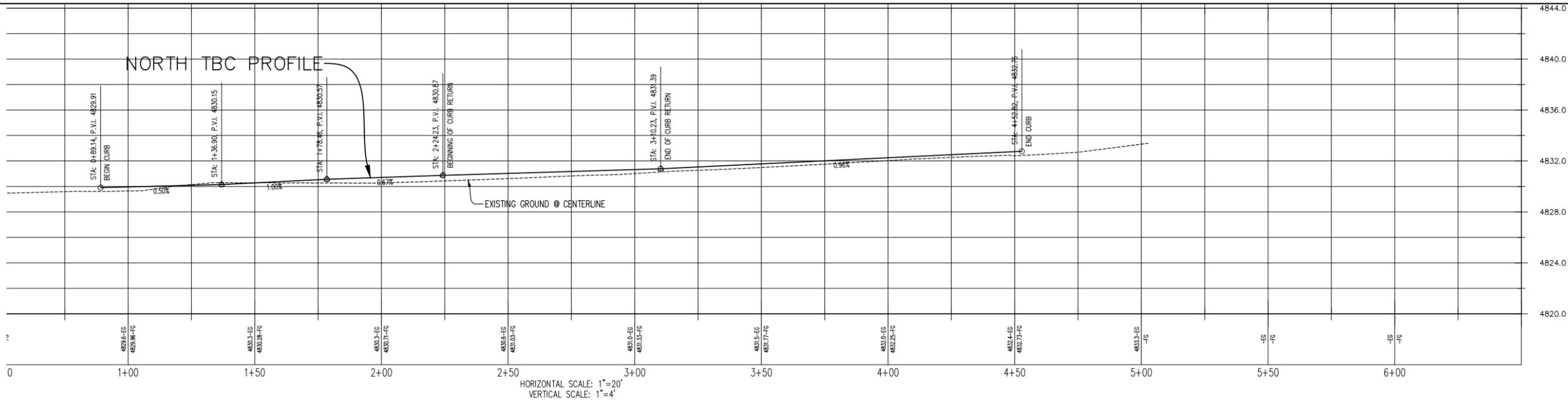
SLOANE ESTATES UTAH

HIGHLAND UTAH

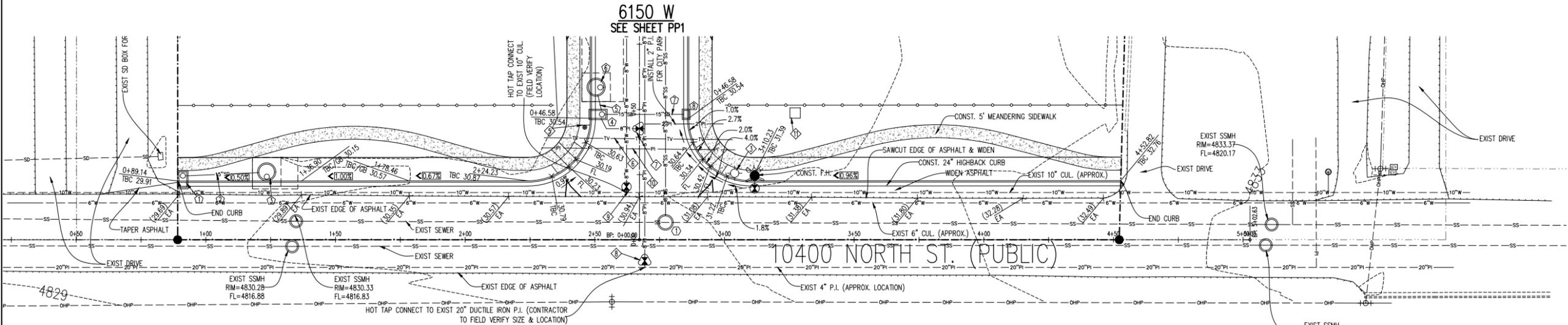
Drawn by: D.W.P.
Designed by: D.W.P.
Checked by: D.W.P.

6150 WEST PLAN & PROFILE

Scale: 1"=20'
Date: 04/18/25
PP1



HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=4'



10400 NORTH PLAN & PROFILE

PROFILE LEGEND

- ① SEWER STRUCTURE LABEL
- ⊕ STORM DRAIN STRUCTURE LABEL

STORM DRAIN KEYED NOTES

1. CONST. 3'x6" COMBO BOX PER APWA #316 W/ SNOOT TYPE 18" OVER OUTLET, TBC=4829.91, GRATE=4829.41, 15" IE OUT=4826.16, BOTTOM OF BOX=4823.03
2. CONST. 27.9 L.F. 15" RCP STORM @ S=1.0%
3. CONST. 6" DIA. SUMP W/ 2' OF GRAVEL SURROUNDING THE MANHOLE PER HIGHLAND STD DWG# SD-01, RIM=4830.15, 15" IE IN=4825.88, BOTTOM OF MANHOLE=4818.15
4. CONST. 3'x6" COMBO BOX PER APWA #316 W/ SNOOT TYPE 18" OVER OUTLET, TBC=4830.54, GRATE=4830.04, 15" IE THRU=4825.02, BOTTOM OF BOX=4821.89
5. CONST. 6.2 L.F. 15" RCP STORM @ S=1.0%
6. CONST. 6" DIA. SUMP W/ 2' OF GRAVEL SURROUNDING THE MANHOLE PER HIGHLAND STD DWG# SD-01, RIM=4830.32, 15" IE IN=4824.96, BOTTOM OF MANHOLE=4818.32
7. CONST. 30.0 L.F. 15" RCP STORM @ S=0.5%
8. CONST. 2'x3' CATCH BASIN PER APWA #315, TBC=4830.54, GRATE=4830.04, IE OUT=4825.17
9. CONST. 3'x6" COMBO BOX PER APWA #316 W/ SNOOT TYPE 18" OVER OUTLET, TBC=4832.21, GRATE=4831.71, 15" IE THRU=4826.70, BOTTOM OF BOX=4823.57
10. CONST. 6.2 L.F. 15" RCP STORM @ S=1.0%
11. CONST. 6" DIA. SUMP W/ 2' OF GRAVEL SURROUNDING THE MANHOLE PER HIGHLAND STD DWG# SD-01, RIM=4831.80, 15" IE IN=4826.64, BOTTOM OF MANHOLE=4819.80
12. CONST. 30.0 L.F. 15" RCP STORM @ S=0.5%
13. CONST. 2'x3' CATCH BASIN PER APWA #315, TBC=4832.21, GRATE=4831.71, IE OUT=4826.85

UTILITY KEYED NOTES

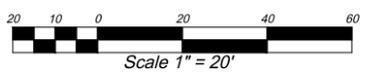
1. INSTALL 22.5" BEND.
2. INSTALL 45" BEND
3. INSTALL NEW COLLECTOR STREET LIGHT
4. INSTALL NEW STANDARD STREET LIGHT
5. INSTALL STOP/STREET SIGN
6. INSTALL CONDUIT BANK - VERIFY CONDUIT SIZE AND QUANTITY ON POWER, GAS, AND COMMUNICATION DRAWINGS PROVIDED BY OWNER
7. INSTALL 4" P.I. DRAIN LINE & VALVE PER HIGHLAND STD DWG #PI-04. CONNECT DRAIN LINE INTO SD COMBO BOX
8. INSTALL 8" P.I. GATE VALVE
9. INSTALL 8" CUL. GATE VALVE
10. INSTALL 4" CONDUIT FOR IRRIGATION
11. ELECTRICAL METER BASE - NEXT TO FENCE AND 30' MIN. BEHIND 6150 W. SIDEWALK. SEE LANDSCAPE DRAWINGS FOR METER BASE SPECS
12. INSTALL 11" BEND.

WATERLINE LOOPING NOTE

LOOPING WILL REQUIRE USE OF MEGA LUGS AND THRUST BLOCKS. HIGHLAND CITY MUST VIEW AND APPROVE ALL LOOPING AND/OR PIPE SEPARATIONS.

WATERLINE CROSSING NOTE

HIGHLAND CITY WOULD PREFER TO MAINTAIN 18" OF SEPARATION AT CROSSINGS IF POSSIBLE. HIGHLAND CITY MUST VIEW AND APPROVE ALL LOOPING AND/OR PIPE SEPARATIONS.



BENCH MARK		REVISIONS	
SOUTHWEST CORNER, SECTION 35, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4821.49	Rev.	Date	Description
	1	07/16/25	REVISED PER CITY COMMENTS

Developer/Property Owner:
Patterson Construction
11038 Highland Blvd Suite 100, Highland, Utah 84003
Phone: (801) 756-7303

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201C, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

SLOANE ESTATES

HIGHLAND

UTAH

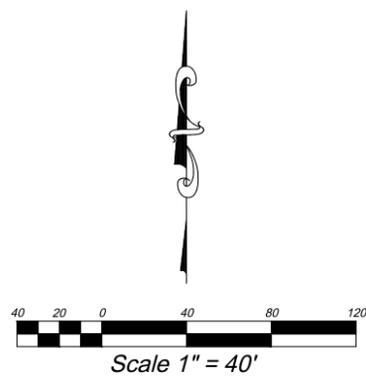
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Date: 04/18/25

PP2

STORM WATER POLLUTION PREVENTION PLAN NOTES:

1. CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
2. INSTALL A SILT FENCE AS SHOWN ON PLAN PER BMP SF.
3. INSTALL INLET PROTECTION AS SHOWN ON PLAN PER BMP IPG OR FILTER FABRIC UNDER GRATE.
4. CONST. A 15'X50'X2' DEEP COBBLE VEHICLE TRACKING CONTROL AREA AS SHOWN ON PLAN. SEE BMP SCEWA.
5. INSTALL WASHOUT AREA PER BMP CWM.
6. CONSTRUCTION MAY NOT OCCUR WHEN WIND SPEEDS EXCEED 20 MPH.
7. WATER TRUCKS SHALL WATER A MINIMUM OF ONE TIME PER DAY BETWEEN APRIL 1ST AND OCTOBER 31ST UNLESS WEATHER CONDITIONS HAVE CHANGED AND WATERING WOULD CREATE A MUD TRACKING POTENTIAL.
8. TRUCKS MAY NOT EXCEED 10 MPH ON UNPAVED ROADS.

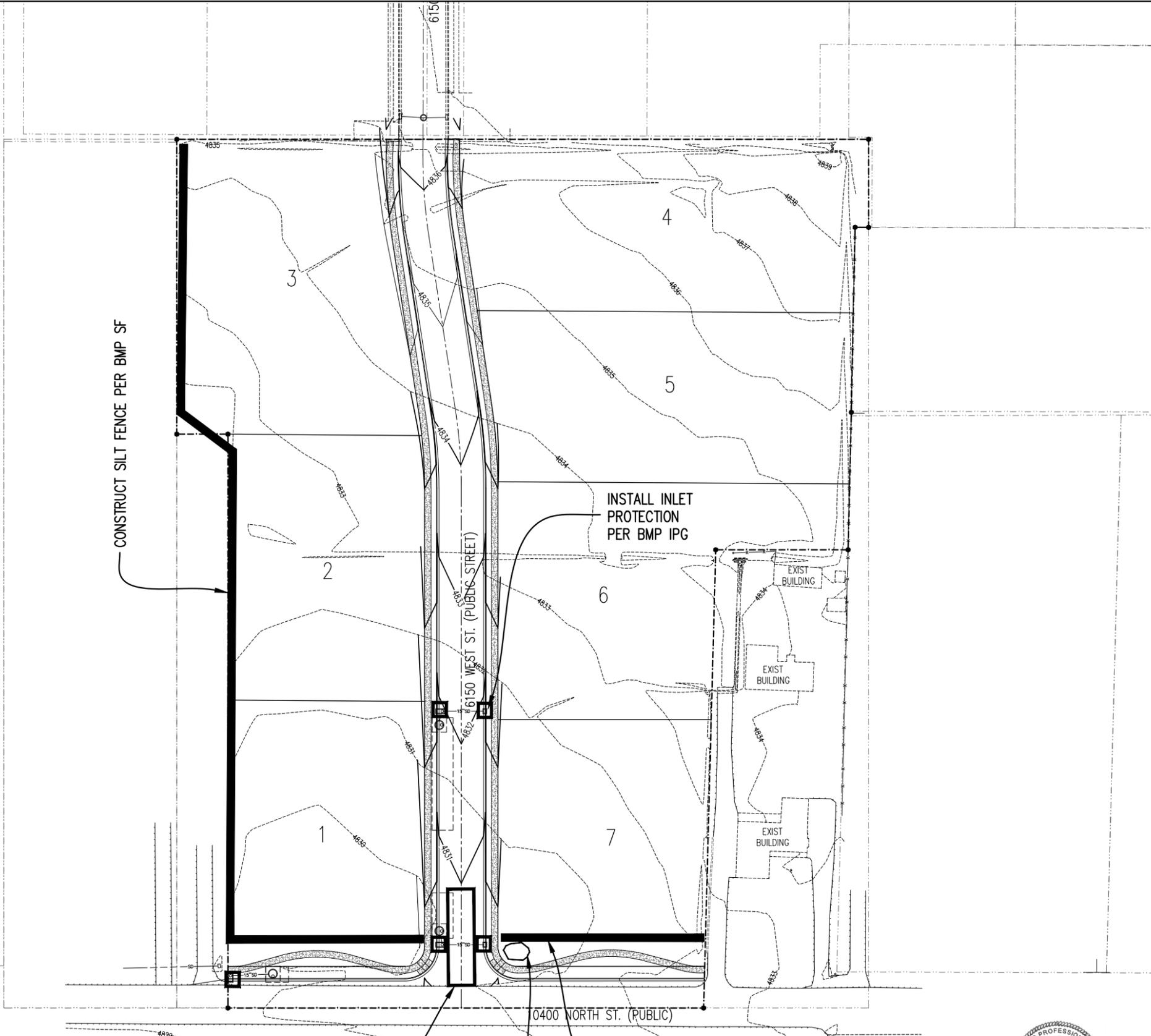


CONSTRUCT SILT FENCE PER BMP SF

INSTALL INLET PROTECTION PER BMP IPG

INSTALL VEHICLE TRACKING CONTROL AREA PER SCEWA

CONSTRUCT SILT FENCE PER BMP SF
INSTALL WASH OUT LOCATION PER BMP CWM



BENCH MARK		REVISIONS	
Rev.	Date	Description	
1	07/16/25	REVISED PER CITY COMMENTS	

Developer/Property Owner:
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11038 Highland Blvd Suite 100, Highland, Utah 84003
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UTAH

Scale: 1" = 40'
Date: 04/18/25

EROSION CONTROL PLAN

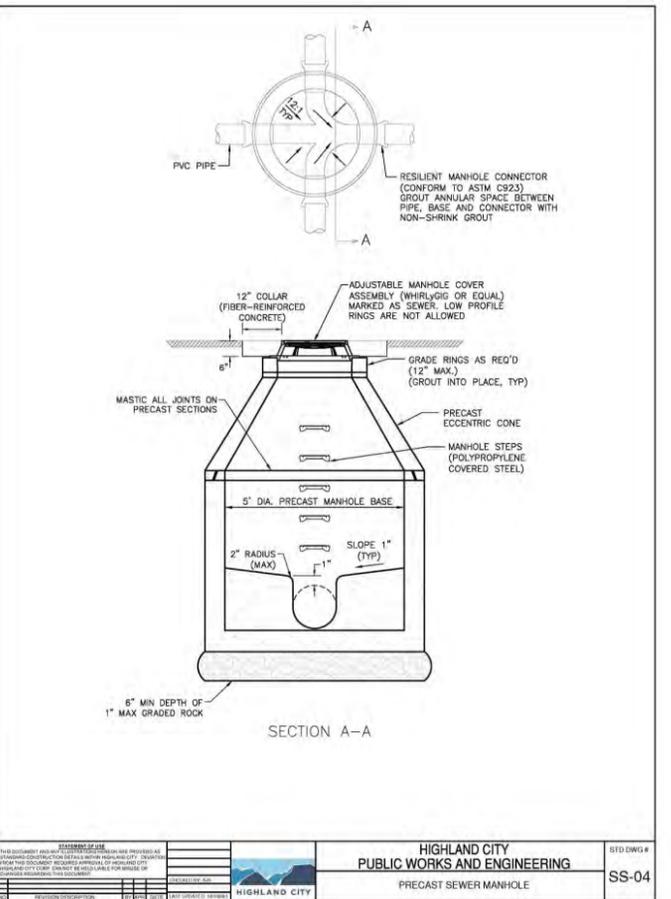
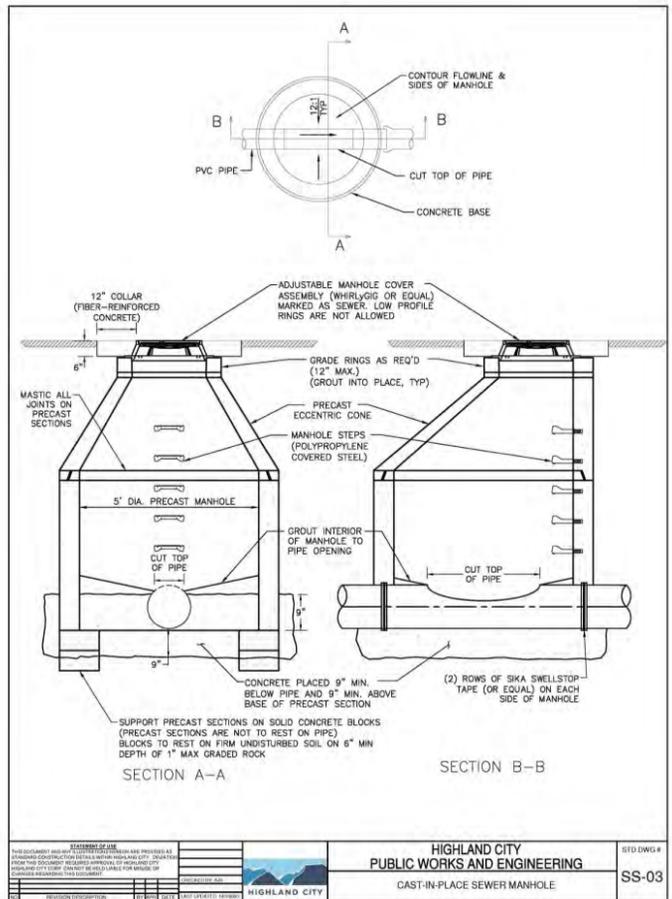
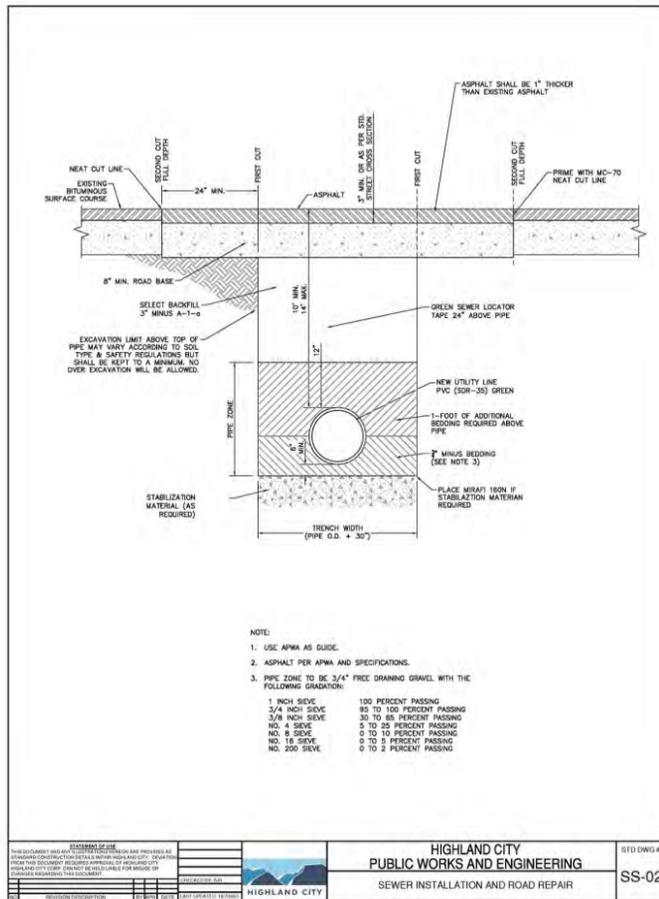
SWP1

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201C, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

Drawn by:
D.W.P.
Designed by:
D.W.P.
Checked by:
D.W.P.

SLOANE ESTATES

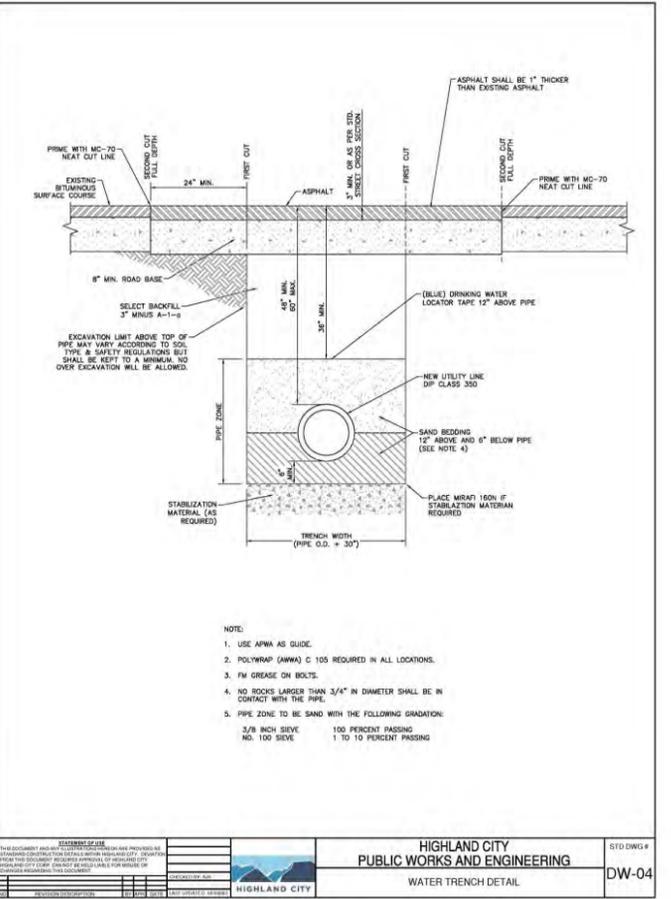
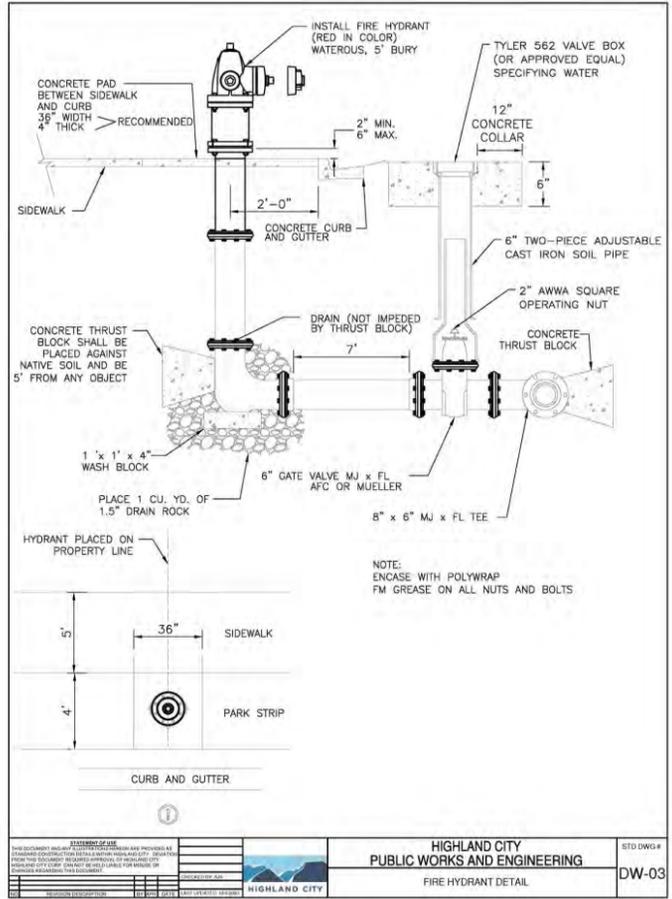
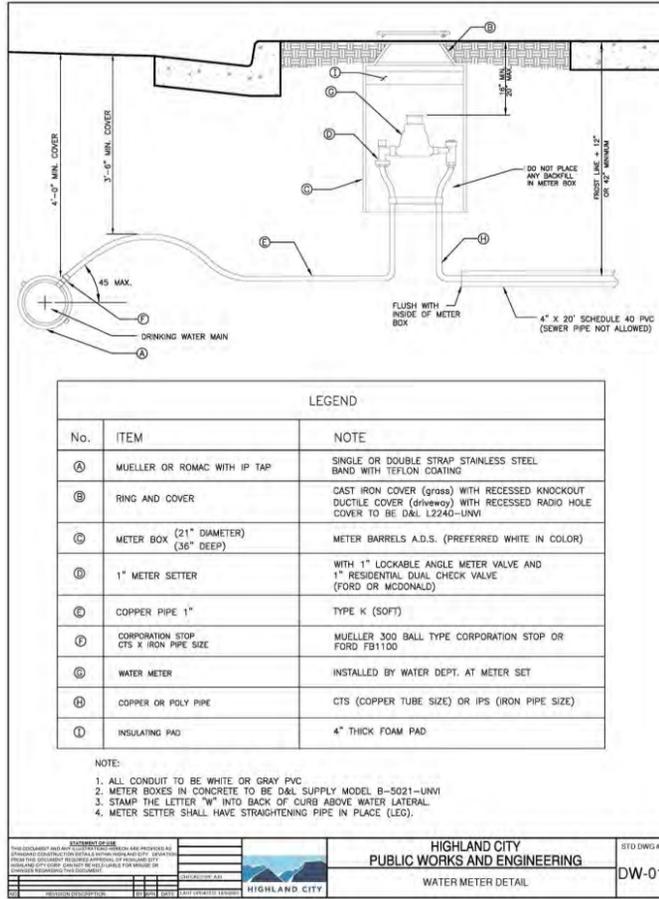
HIGHLAND



DRINKING WATER NOTES:

- ALL SURFACES, COATINGS, PIPES, FITTINGS, PROTECTIVE MATERIALS, SEALING MATERIALS AND MECHANICAL DEVICES THAT MAY COME INTO CONTACT WITH DRINKING WATER SHALL COMPLY WITH APWA/ASME STANDARDS #1 OR OTHER STANDARDS APPROVED BY UTAH DIVISION OF DRINKING WATER.
- IF ANY DISCREPANCIES EXIST BETWEEN HIGHLAND CITY STANDARDS OR SPECIFICATIONS AND THE UTAH DIVISION OF DRINKING WATER (DOW) RULES, THE DOW RULES SHALL TAKE PRECEDENCE.
- CONTACT HIGHLAND CITY AT LEAST 72 HOURS IN ADVANCE OF ALL WATER SHUTDOWNS.
- CONTRACTOR SHALL NOT HOLE UTILITIES AT ALL CROSSINGS SUFFICIENTLY IN ADVANCE OF LAYING PIPE TO ALLOW FOR ADJUSTMENTS OF NEW PIPELINE OR TO AVOID CONFLICTS.
- CONTRACTOR TO PROVIDE TEMPORARY BLOW OFF VALVES, HYDRANT & FITTINGS TO FLUSH NEW PIPELINES. PROVIDE PLAN TO CITY FOR APPROVAL BEFORE BEGINNING FLUSHING.
- DEFLECTIONS IN PIPE JOINTS SHALL NOT EXCEED 5 DEGREES FOR DUCTILE IRON PIPE, 1 DEGREE FOR PVC PIPE OR MANUFACTURER'S PUBLISHED DEFLECTIONS.
- PROVIDE CONCRETE THRUST BLOCKS AND JOINT RESTRAINTS ON ALL BENDS, FITTINGS & VALVES, UNLESS SPECIFIED OTHERWISE. ALL FITTINGS THAT REQUIRE CONCRETE BLOCKING SHOULD BE COMPLETELY WRAPPED PRIOR TO THE POURING OF THE CONCRETE THRUSTING BLOCK.
- ELEVATIONS OF EXISTING WATER LINES ARE UNKNOWN. CONTRACTOR SHALL POTHOLE EXISTING WATER LINES AT CONNECTIONS TO VERIFY LOCATION AND ELEVATION. MODIFICATIONS TO CONNECTION DETAILS MAY BE REQUIRED, BASED ON THE INFORMATION OBTAINED.
- MAN WATER LINES
 - THE SUBGRADE AND/OR SUB-BASE SHALL BE AT ITS FINAL DESIGN ELEVATION BEFORE THE INSTALLATION OF THE WATER MAINS.
 - ALIGNMENT AND ELEVATION (FROM TBC) STAKING SHALL BE PROVIDED EVERY TWENTY-FIVE (25) FEET BY A SURVEYOR LICENSED IN THE STATE OF UTAH PRIOR TO THE INSTALLATION OF THE WATER MAIN. ANY EXCEPTIONS MUST BE APPROVED IN WRITING BY THE CITY ENGINEER OR DESIGNER.
 - PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.
 - THE PIPE SHALL BE PLOUGGED AT THE END OF EACH WORK DAY, OR PERIOD OF WORK SUSPENSION.
 - CONTRACTOR TO COMPLY WITH STATE OF UTAH ADMIN CODE 811-3-2 SCHEDULES. EXISTING WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING SEWER. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- VALVES
 - ALL VALVES SHALL BE FLAGGED TO THE MAIN, INCLUDING FIRE HYDRANT BRANCH LINES.
 - VALVE BOXES AND COVERS SHALL BE PROPERLY ALIGNED AND FULLY SERVICEABLE.
 - VALVE STANDS SHALL BE CONCRETE COLLARED.
 - VALVE LOS SHALL BE LABELED WATER.
- THRUST BLOCKS
 - THE CAVITY OF THE THRUST BLOCK SHALL BE INSPECTED PRIOR TO THE PLACEMENT OF CONCRETE.
 - ENGINEERED THRUST BLOCKS, STAMPED BY A PROFESSIONAL ENGINEER, SHALL BE PROVIDED FOR NON-TYPICAL CONDITIONS AND WHEN NOT BEARING AGAINST UNDISTURBED SOIL.
 - THE CITY INSPECTOR SHALL BE ON SITE FOR THE POUR OF THE THRUST BLOCK.
 - A CONCRETE WEIGH TICKET OR BATCH TICKET SHALL BE REQUIRED.
- LOADING AND TESTING
 - WATER LINE LOADING SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
 - ALL WATER LINES MUST PASS A HYDROSTATIC PRESSURE TEST OF TWO HUNDRED (200) POUNDS PER SQUARE INCH (PSI), OR ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE WORKING PRESSURE, WHICHEVER IS GREATER, FOR A PERIOD OF TWO (2) HOURS.
 - LEAKAGE AND PRESSURE TESTING MUST BE COMPLETED AFTER DISINFECTION PROCEDURES AND TESTING.
 - ALL DRINKING WATER PIPING SHALL BE DISINFECTED USING AN APPROVED DISINFECTION METHOD IN ACCORDANCE WITH THE "AMERICAN WATER WORKS ASSOCIATION" STANDARDS FOR DISINFECTING WATER MAINS" (AWWA C651). DISINFECTING MATERIALS SHALL CONSIST OF LIQUID CHLORINE, SODIUM HYPOCHLORITE SOLUTION, OR CALCIUM HYPOCHLORITE GRANULES OR TABLETS.
 - HEAVILY CHLORINATED WATER SHALL NOT BE DISCHARGED ONTO THE GROUND. UPON COMPLETION OF DISINFECTION, SODIUM BISULFATE (NAHSO3) SHALL BE APPLIED TO THE HEAVILY CHLORINATED WATER TO NEUTRALIZE THOROUGHLY THE CHLORINE RESIDUAL REMAINING. WATER SHALL BE NEUTRALIZED TO LESS THAN 1 PPM TOTAL CHLORINE RESIDUAL.
 - AFTER APPROVAL OF DISINFECTION, CONTRACTOR SHALL FLUSH THE NEW SYSTEM AND MAINTAIN A FLOW OF 2.0 FPS UNTIL THE CHLORINE RESIDUAL IS A MAXIMUM OF 0.3 PPM UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
 - ONE WEEK AFTER FINAL FLUSHING AND BEFORE CONNECTING TO THE DISTRIBUTION SYSTEM, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES, TAKEN AT LEAST 24 HOURS APART, SHALL BE COLLECTED FROM THE PIPELINE EVERY 1200 FEET, MINIMUM, OR AT EACH FIRE HYDRANT. ALL SAMPLES SHALL BE TESTED FOR BACTERIOLOGICAL (CHEMICAL AND PHYSICAL) QUALITY IN ACCORDANCE WITH "STANDARD METHODS FOR EXAMINATION OF WATER AND WASTEWATER" AND SHALL SHOW THE ABSENCE OF COLIFORM ORGANISMS. IF THE INITIAL DISINFECTION FAILS TO PROVIDE SATISFACTORY BACTERIOLOGICAL RESULTS OR SHOWS THE PRESENCE OF COLIFORM, THEN THE LINE SHALL BE RE-CHLORINATED, FLUSHED, AND RE-TESTED UNTIL SATISFACTORY RESULTS ARE OBTAINED AT THE EXPENSE OF THE CONTRACTOR.
- METERS AND SERVICE TAPS
 - WATER METER SERVICE CANS SHALL BE PLACED IN THE PARK STRIPS.
 - BEFORE SERVICES ARE TAPPED, CUT STAKES MUST BE INSTALLED WITHIN FIVE (5) FEET OF THE FINAL CAN PLACEMENT. CUT STAKES SHALL SHOW THE TOP BACK OF THE CURB LOCATION AND ELEVATION. STAKING FOR CURB-DE-SAC AND BULK/ANNUCKLE STREETS WILL REQUIRE A RADIUS POINT TO BE STAKED.
 - THE CONTRACTOR WILL TAP MAINS AND SET METER BOXES TO ESTABLISHED GRADES.
 - SERVICE LATERAL SHALL BE A MINIMUM OF TEN (10) FEET OFFSET FROM SEWER LATERALS.
 - PUBLIC WORKS DEPARTMENT - WATER DIVISION WILL SUPPLY AND INSTALL THE WATER METERS.
- FIRE HYDRANTS
 - HYDRANTS SHALL BE PLACED IN THE PARK STRIP AND ON PROPERTY LINES.
 - HYDRANTS SHALL BE PLACED A MINIMUM OF 5' FROM OTHER OBJECTS, WITH THRUST BLOCK PLACED AGAINST NATIVE SOILS.

HIGHLAND CITY PUBLIC WORKS AND ENGINEERING DW-00 STD DWG #



REGISTERED PROFESSIONAL ENGINEER
No. 270393
DAVID W. PETERSON
DWP
STATE OF UTAH

Developer/Property Owner:
Patterson Construction
11038 Highland Blvd Suite 100, Highland, Utah 84003
Phone: (801) 756-7303

EXCEL ENGINEERS
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REVISIONS

Rev.	Date	Description
1	07/16/25	REVISED PER CITY COMMENTS

SLOANE ESTATES

HIGHLAND	UTAH
Drawn by: D.W.P.	Scale: NTS
Designed by: D.W.P.	Date: 04/18/25
Checked by: D.W.P.	D3

CITY DETAILS



DEVELOPMENT ADMINISTRATION BOARD AGENDA REPORT ITEM #2

DATE: August 28, 2025
TO: Development Administration Board
FROM: Rob Patterson, City Attorney / Planning & Zoning Administrator
SUBJECT: **Final Plat Approval:** Inverness - Highland Blvd
TYPE: **LAND USE (ADMINISTRATIVE)**

PURPOSE:

The Development Administration Board will consider a request from D.R. Horton for approval of a final plat and civil and right-of-way improvement plans for a roadway dedication plat for Highland Boulevard, located generally at 12000 North Highland Blvd, in Highland..

SUMMARY OF THE REQUEST:

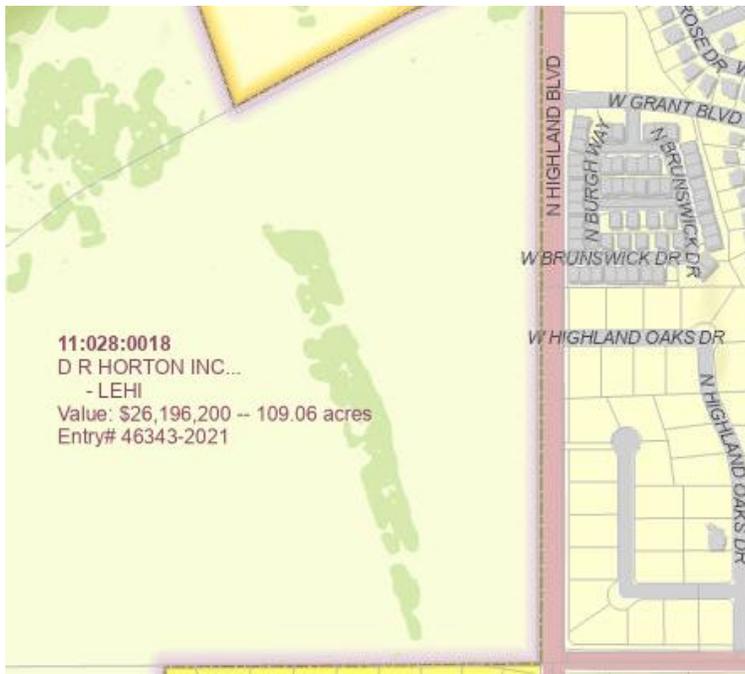
1. The applicant is requesting final plat approval for a right-of-way dedication plat and civil and right-of-way improvement plans for Highland Boulevard, adjacent to the applicant's Inverness development within Lehi City.
2. Per HDC 5-4-103, if the plat and subdivision improvement plans comply with and conform to governing law and City standards, approval of the plat and plans is required. Conditions may be imposed on approval to ensure compliance and conformity.

STAFF RECOMMENDATION:

Staff recommends that the Development Administration Board **APPROVE** the final plat and civil and right-of-way improvement plans for the Inverness-Highland Boulevard subdivision, with the following stipulations:

1. The recorded plat shall be in substantial conformance with the final plat submitted June 9, 2025 (attachment 2), as approved by Zoning Administrator and City Engineer, except as modified by these stipulations.
2. Development and improvement shall be in substantial conformance with the civil and right-of-way improvement plans, landscape plans, and irrigation plans submitted June 9, 2025 (attachments 2, 3, 4), as approved by City Engineer, except as modified by these stipulations.
3. The final review comments from staff dated August 25, 2025 (attachment 5), shall be addressed and corrected to the Zoning Administrator's and City Engineer's satisfaction prior to recordation of the plat and approval of the improvement plans for construction.

BACKGROUND:



The subject property is the portion of Highland Boulevard from the intersection of 11800 North to the City boundaries on the north.

Prior Review:

Because this is not a subdivision of property, there was no preliminary plat required or approved. This is similar to the process for a minor subdivision plat application, though there are no actual lots being created. All final plats are reviewed and approved by the Development Administration Board.

While there was no formal preliminary review, this project has been reviewed by the City Council. In 2021, Highland entered into a tri-party agreement with Lehi City and D.R. Horton that, among other things, required D.R. Horton to:

1. Install a traffic light or other traffic control measure at the Highland Blvd – 11800 N intersection, with Lehi, Highland, and D.R. Horton sharing the costs.
2. Install medians in Highland Blvd. if requested by the City, with Highland and D.R. Horton sharing the costs equally.
3. Incorporate the parkway detail on the west side of Highland Blvd.
4. Address stormwater runoff generated by its development.
5. Incorporate certain engineering recommendations from Horrocks Engineers.
6. Include a trail connection.
7. Install signage identifying the Inverness development and the jurisdiction.

In addition to this formal agreement, D.R. Horton discussed the development with the City Council on February 6, 2024, during which it was agreed as follows:

1. D.R. Horton would be entitled to a third street access point from Highland Blvd into their development, if it were a right-in/right-out access.
2. The traffic control measure at the Highland Blvd – 11800 N intersection would be a roundabout
3. D.R. Horton must plan for a second roundabout at Grant Blvd by dedicating right-of-way property, though the roundabout would be installed by the City at a future date when warranted.
4. The medians would be installed as per the tri-party agreement.

STAFF REVIEW:

Staff's review of the final plat and civil and right-of-way improvement plans is summarized below:

Plat Review

- The final plat conforms to the requirements of City code, design standards, and the tri-party agreement and February 2024 Council discussion.

Zoning/General Plan

- Highland Blvd is designated in the general plan as an arterial street. The proposed plans maintain or provide the required arterial right-of-way width and improvements.
- Highland Blvd is designated in the general plan to be developed with a parkway detail. The plans provide a parkway detail along the west side of Highland Blvd.

Density

- Does not apply – no new lots are being created with this approval.

Sensitive Lands

- The development does not contain sensitive lands

Easements and Dedications

- The applicant will provide right-of-way dedication for Highland Blvd, the new roundabout at 11800 North, and the future roundabout at Grant Blvd.
- All easements are maintained.
- No property is required to be acquired by the City on the east or south side of the Highland Blvd – 11800 North intersection to facilitate the roundabout.

Access and Circulation

- 11800 North intersection will be improved with a roundabout that will serve a 4-way intersection (north/south Highland Blvd and east/west 11800 N, which continues west into Lehi City within the Inverness project as Horton Way. The City hired a third-party consultant to help design and review the plans for this roundabout. The roundabout is designed to slow traffic heading south from Suncrest into Highland. The applicant has demonstrated that large vehicles (school buses, semis, emergency vehicles) will be able to navigate the roundabout by means of a mountable curb along the center island.
- Medians are provided in Highland Blvd. These medians will prevent currently allowed left-turns in and out of Brunswick Drive. Staff supports limiting Brunswick to a right-in/right-out connection to reduce traffic impacts and increase safety along Highland Blvd.
- The third connection (Garten Drive) will be a right-in/right-out intersection.
- A 10-foot wide multi-use trail is being provided connecting 11800 North into the powerline trail being provided by D.R. Horton within the Inverness project. North of the powerline trail, the trail becomes the City's standard parkway detail sidewalk. A connection from Highland Blvd southbound into the trail is being provided to allow cyclists to escape Highland Blvd and use the crosswalks at the roundabout.
- North/south pedestrian and cycling access through roundabout is provided by way of crosswalks on both sides of 11800 North through the roundabout. East/west pedestrian and cycling access is provided by a HAWK-signalized crosswalk south of the roundabout on Highland Blvd. This crosswalk is spaced further south to ensure that

cars are able to see the HAWK signal, the crosswalk, and people within the crosswalk as they exit the roundabout.

- All roads, trails, and other right-of-way improvements are to be improved to City standards. The improvement plans conform in major respect to City standards.

Utilities and Water

- No City utilities are being connected or used for the D.R. Horton project in Lehi. City utilities affected by development will be protected. Staff comments include a requirement that new and relocated fire hydrants along west side of Highland Blvd. be protected/improved with bollards.
- D.R. Horton will install necessary conduits and PI lines and connections to serve the parkway detail and the roundabout landscaping.
- D.R. Horton has adequately provided and managed stormwater and runoff from their development. This was a significant topic of discussion by City engineering and public works staff. Historical flows, the new Highland Blvd runoff, the new development runoff, the new development proposed drainage/stormwater system, and the capacity of the City's existing stormwater system were analyzed to ensure that Highland City would not be negatively impacted by new runoff from the Inverness project or improvement of Highland Blvd.
- The civil and right-of-way improvement plans for utilities and drainage conform in major respect to City standards. Staff's Review Comments issued August 25, 2025, address and correct the remaining issues, which primarily relate to the irrigation and landscaping plans for the parkway detail/median/roundabout landscaping that is to be maintained by the City.

Landscaping

- The applicant is providing the required 29-foot-wide parkway detail and fence along the west side of Highland Blvd. Staff's Review Comments issued August 25, 2025, address and correct the remaining issues related to the irrigation and landscaping plans for the parkway detail that is to be maintained by the City.
- The applicant is also providing landscaping and PI connections for inside the roundabout.
- The applicant is providing and landscaping medians in the middle of Highland Blvd.

FINDINGS:

Based on the facts described in the staff review, and if the stipulations proposed by staff are accepted, the final plat and civil and right-of-way improvement plans meet the following findings:

- The final plat and civil and right-of-way improvement plans are in substantial conformance with the preliminary plat and stipulations of approval thereof.
- The final plat and civil and right-of-way improvement plans conform to the zoning and density requirements of the R-1-40 zone.
- The final plat and civil and right-of-way plans comply with and conform to the requirements of the Utah State Code, Highland City Development Code, and Highland City standards and specifications.

MOTION TO APPROVE:

I move that the Development Administration Board accept the findings and **APPROVE** the

final plat and civil and right-of-way improvement plans for the Inverness-Highland Boulevard subdivision, subject to the **three (3) stipulations** recommended by staff.

Staff recommendations:

1. The recorded plat shall be in substantial conformance with the final plat submitted June 9, 2025 (attachment 2), as approved by Zoning Administrator and City Engineer, except as modified by these stipulations.
2. Development and improvement shall be in substantial conformance with the civil and right-of-way improvement plans, landscape plans, and irrigation plans submitted June 9, 2025 (attachments 2, 3, 4), as approved by City Engineer, except as modified by these stipulations.
3. The final review comments from staff dated August 25, 2025 (attachment 5), shall be addressed and corrected to the Zoning Administrator's and City Engineer's satisfaction prior to recordation of the plat and approval of the improvement plans for construction.

ATTACHMENTS:

1. Staff Review Comments issued August 25, 2025
2. Tri-Party Agreement
3. Final Plat and Civil Improvement Plans, 06.09.2025
4. Landscape Plans, 06.09.2025
5. Irrigation Plans, 06.09.2025



**REVIEW COMMENTS:
INVERNESS (HIGHLAND BLVD)
August 25, 2025**

Demolition Plan/Utility Plan (101-102, 201-202):

1. New and relocated fire hydrants along Highland Blvd, need bollards installed for added protection.
2. Show tapping location for PI service for landscaping of roundabout

Landscape and Irrigation Plan (LP1-LP4, IR 100-503):

LP1 A&B

1. All trees must be B&B
2. Remove all burlap and wire when planting
3. Any trees with missing leader or topped trees will be rejected

IR-100

1. Shutoff valve to be a Watts full port ball valve w/stainless steel handle
2. Mini Sigma 120 Micron filter in place of 130 micron

IR-501

1. Detail A needs to be a Strong box not a pedestal
2. Sch 80 union on Detail B
3. Detail M note 5 Carson Brook box instead of Rainbird
4. Detail M note 8 Sch 80 ELL
5. Detail M note 12 Sch 80 Tee or Ell
6. Detail M note 13 Action union fitting
7. Detail M note 16 Watts full port Ball valve w/stainless steel handle

IR-503

1. Detail P note 9 Action union, no male adaptor

General Considerations

Highland City will require a ROW Permit that includes bonds and a Traffic Control Plan submittal to the City by the Owner. The ROW Permit/Traffic Control Plan must be approved before construction may commence.

As part of the ROW Permit, a SWPPP is required which includes catch basin protection. This plan is required to include cleaning of all existing SD sumps on Highland Blvd after construction is complete.

TRI-PARTY AGREEMENT

This TRI-PARTY AGREEMENT (this “*Agreement*”), dated to be effective as of Oct. 5, 2021 (the “*Effective Date*”), is entered into by and between the CITY OF HIGHLAND, a Utah municipal corporation (the “*Highland*”), the CITY OF LEHI, a Utah municipal corporation (“*Lehi*”), and D.R. HORTON, INC., a Delaware corporation (“*Horton*”). Highland, Lehi, and Horton are referred to herein individually as a “*Party*” and together as the “*Parties.*”

RECITALS

A. Horton owns some parcels of land located in unincorporated Utah County, as depicted on the map attached as Exhibit A (the “*Horton Property*”), which Horton intends to develop as part of a larger master planned residential community with certain other property of Horton’s located within the City of Lehi

B. Highland Boulevard is a public street owned and/or maintained by Highland located adjacent to the Horton Property (the “*Highland Boulevard Section*”), as generally shown on conceptual site plan attached as Exhibit B (the “*Concept Plan*”).

C. In connection with the development of the Horton Property, Horton intends to file a petition to annex the Horton Property to Lehi (the “*Annexation Petition*”).

D. The Parties desire to set forth certain agreements and obligations concerning the Annexation and the ongoing maintenance and other obligations relating to the Highland Boulevard Section following approval of the Annexation Petition, subject to the terms and conditions set forth below.

NOW, THEREFORE, to these ends and in consideration of the mutual covenants and the agreements set forth below, as well as the mutual benefits to be derived from this Agreement, the Parties agree as follows:

AGREEMENT

1. Consent to Annexation. Highland hereby consents to the filing of the Annexation Petition and Lehi’s approval of the proposed annexation to Lehi (the “*Annexation*”), and agrees to reasonably cooperate with Horton and Lehi, at no out-of-pocket cost to Highland, to effectuate the Annexation as contemplated by this Agreement. Highland acknowledges and agrees that Lehi and Horton may provide an executed copy of this Agreement to Utah County to demonstrate evidence of Highland’s consent to the Annexation.

2. Maintenance Obligations. Highland shall continue to own and maintain the Highland Boulevard Section, and Lehi shall be responsible for fifty percent (50%) of the cost (the “*Lehi Maintenance Contribution*”) incurred by Highland to maintain and repair the Highland Boulevard Section in accordance with Highland’s roadway standards and requirements (as the same may be modified from time to time) and Highland’s bidding and contracting procedures. Highland staff shall coordinate with Lehi staff as part of any planned maintenance, improvement,

repair, or other construction project involving the Highland Boulevard Section, and Highland and Lehi may as part of such coordination agree on bidding processes, construction timing and procedures, payment schedules, and other terms regarding work on the Highland Boulevard Section and payment of the Lehi Maintenance Contribution. Highland and Lehi will agree to an estimated cost based on construction submittals from both cities, if necessary. Once Highland has completed all required work according to Highland standards and procedures, it shall submit an invoice to Lehi for the Lehi Maintenance Contribution within 60 days of completion of the maintenance or repair work on the Highland Boulevard Section. Lehi shall pay such invoice within 30 days after receipt of the invoice.

3. Public Services. The parties acknowledge that from and after final approval of the Annexation Petition, Lehi shall be solely responsible for the provision of all public services, including, without limitation, police and fire protection services, for the area incorporated pursuant to the Annexation.

4. Highland Boulevard Section Improvements/Annexation.

a. As part of the development of the Horton Property following final approval of the Annexation Petition, Horton shall install an additional traffic light or other traffic control measure along the Highland Boulevard Section at the intersection 11800 North (the "*Additional Traffic Control*"). The total cost for the Additional Traffic Control shall be shared by the Parties as follows: (a) Lehi and Highland shall each be responsible for thirty-three percent (33%) of such costs; and (b) Horton shall be responsible for thirty-four percent (34%) of such costs. The Parties shall coordinate and agree in writing on the type, timing, costs, and other details of the Additional Traffic Control at such time as Horton begins to develop the Horton Property adjacent to the Highland Boulevard Section.

b. As part of the development of the Horton Property following final approval of the Annexation Petition, Horton shall be responsible for 50% of the costs associated with the installation of medians within the Highland Boulevard Section, if Highland requests the installation of medians. Highland shall make the request as part of the Parties' coordination of the Additional Traffic Control, and Highland may not request Horton contribute to the cost of medians after the Parties have agreed on the details of the Additional Traffic Control.

c. Within 45 days of the execution of this Agreement, Highland City will file a petition to annex those portions of Highland Boulevard that are owned by Highland City but are currently unincorporated.

5. Development of the Horton Property. As part of the development of the Horton Property following final approval of the Annexation Petition, Horton agrees to do each of the following:

a. Develop the Horton Property substantially in accordance with the Concept Plan, subject to the following density limitations for each pod of development shown on the Concept Plan (each, a "*Pod*"): (which Horton may increase by no more than ten percent (10%) depending on the final location and layout of proposed open spaces and roads):

- i. No more than seventy-seven (77) single family lots located the forty-five (45)-acre Pod designated on the Concept Plan as “Estate”;
- ii. No more than ninety-five (95) single family lots located on the thirty-six (36)-acre Pod designated on the Concept Plan as “Emerald”;
- iii. No more than one hundred seventy-four (174) single family lots located on the forty (40)-acre Pod designated on the Concept Plan as “Horton Plus”;
- iv. No more than two hundred forty-nine (249) units located on the thirty-nine (39)-acre Pod designated on the Concept Plan as “Active Adult”; and
- v. No more than two (2) total clubhouses (one for the single-family residences and one for the active adult units).

Notwithstanding the foregoing, Horton may increase the total number of lots or units permitted in any Pod by up to ten percent (10%) so long as the total density of the Horton Property as a whole does not exceed five hundred ninety-seven (597) units.

- b. Incorporate Highland’s standard Parkway Detail along the west side of the Highland Boulevard Section, provided that Horton shall be permitted to use xeriscape or other waterwise landscaping in accordance with Highland’s standards.
- c. Address stormwater runoff generated by the development of the Horton Property in accordance with applicable law.
- d. Incorporate the recommendations set forth in that certain Traffic Study, dated Aug 18, 2021, prepared by Horrocks Engineers, with respect to Highland Boulevard.
- e. Set the minimum lot size of any subdivision of the Horton Property directly adjacent to the boundary with Highland shown on the Concept Plan to be no less than one-half (1/2) an acre.
- f. Include a trail connection to the Dry Creek area of Highland as part of the development of the Horton Property so long as the intervening landowner(s) have granted an easement to Highland for trail purposes prior to the date on which Horton obtains Area Plan Approval from the Lehi City Council for the Horton Property.
- g. Install monument signage on the northeast and southeast corners of the Horton Property that includes both the name of the proposed Horton subdivision and jurisdiction.

6. No Requirement to Develop. Nothing in this Agreement shall require the continued efforts of Horton to process the Annexation Petition and/or develop the Horton Property. Horton may, at any time and for any reason, elect to abandon such efforts, in which event Horton may elect to terminate this Agreement upon providing written notice to Lehi and Highland.

7. Further Assurances. Each Party shall do and perform, or cause to be done and performed, all such further acts and things, and shall execute and deliver all such other agreements,

certificates, instruments and documents, as any other Party may reasonably request in order to carry out the intent and accomplish the purposes of this Agreement and the Annexation Petition.

8. Notices. All notices, requests, demands, and other communications required under this Agreement, except for normal, daily business communications, shall be in writing. Such written communication shall be effective upon personal delivery to any party or upon being sent by overnight mail service, by electronic email (with confirmation of receipt), or by certified mail, return receipt requested, postage prepaid, and addressed to the respective parties as follows:

If to the Developer: D.R. Horton, Inc.
Attn: Boyd Martin & Rob Hartshorn
12351 South Gateway Park Place
Suite D-100
Draper, UT 84020
email: RBHartshorn@drhorton.com
[]

With a copy to: D. R. Horton, Inc., West Region
1081 Whitney Ranch Drive, Suite 141
Henderson, NV 89014
Attn: David Jennings, Region Counsel
E-mail: DSJennings@drhorton.com

If to the Highland: City of Highland
5400 Civic Ctr. Dr. Ste 1
Highland UT 84003
Attn: City Recorder

If to Lehi: City of Lehi
153 North 100 East
Lehi Utah 84043
Attn: City Recorder

9. No Partnership or Joint Venture; Nonliability of Individuals. Nothing contained in this Agreement shall be construed to make, or is intended to create, any partnership or joint venture between Horton, Lehi, or Highland. In no event shall any shareholder, officer, director, member, partner, affiliate, agent or employee of Horton or any of Horton's affiliates be or be held liable or responsible in any way for the obligations or liabilities of Horton under this Agreement.

10. Severance; Survival; Further Assurance. This Agreement contains the entire agreement between the Parties relating to the subject matter hereof, and neither Party shall be bound by any verbal statement or agreement made heretofore. This Agreement cannot be modified or amended except by written agreement executed by the Parties. If any term in this Agreement or part hereof is ever held invalid or unenforceable by any court or is otherwise not in compliance with any law, such term, or part shall be deemed severed and the remainder of this Agreement and applications thereof shall not be affected thereby. This Agreement shall be binding upon the Parties, their successors and assigns.

11. Attorneys' Fees. If this Agreement or any provision hereof is enforced by an attorney retained by a Party hereto, whether by suit or otherwise, the reasonable fees and costs of the attorney for the prevailing Party shall be paid by the losing Party, including fees and costs incurred upon appeal.

12. Construction. This Agreement shall be governed and interpreted under the laws of the State of Utah. Failure of any Party to insist in any one or more instances upon the performance of any of the covenants, agreements, and/or conditions of this Agreement, or to exercise any right or privilege herein conferred shall not be construed as a waiver of any such covenant or condition. The agreements contained herein shall not be construed in favor of or against either Party, but shall be construed as if all Parties prepared this Agreement. If any items, terms, or provisions contained in this instrument are in conflict with any applicable federal, state, or local laws, this Agreement shall be affected only as to its application to such items, terms, or provisions, and shall in all other respects remain in full force and effect.

13. Incorporation; Counterparts. The recitals set forth above and exhibits attached hereto are incorporated herein by this reference. This Agreement may be executed in counterparts and transmitted electronically, each of which shall be deemed to be an original, but such counterparts when taken together shall constitute one Agreement.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement by and through their respective duly authorized representatives to be effective as of the Effective Date.

CITY OF HIGHLAND, a Utah municipal corporation

By: [Signature]
Name: Redney W Mann
Its: Mayer

ATTEST:

[Signature]
City Recorder

CITY OF LEHI, a Utah municipal corporation

By: [Signature]
Name: MARK JOHNSON
Title: MAYOR

ATTEST:

[Signature]
City Recorder



D.R. HORTON, INC., a Delaware corporation

By: [Signature]
Name: Adam B. Loser
Title: Vice President

EXHIBIT A

Depiction of the Horton Property

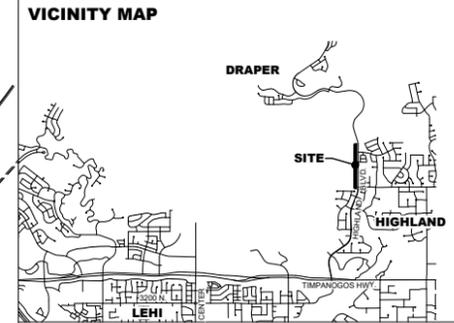
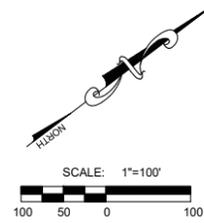


EXHIBIT B

Concept Plan



INVERNESS HIGHLAND BLVD



- A Utah Corporation -
**ENGINEERS
 SURVEYORS
 PLANNERS**
 3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com

TABLE OF CONTENTS

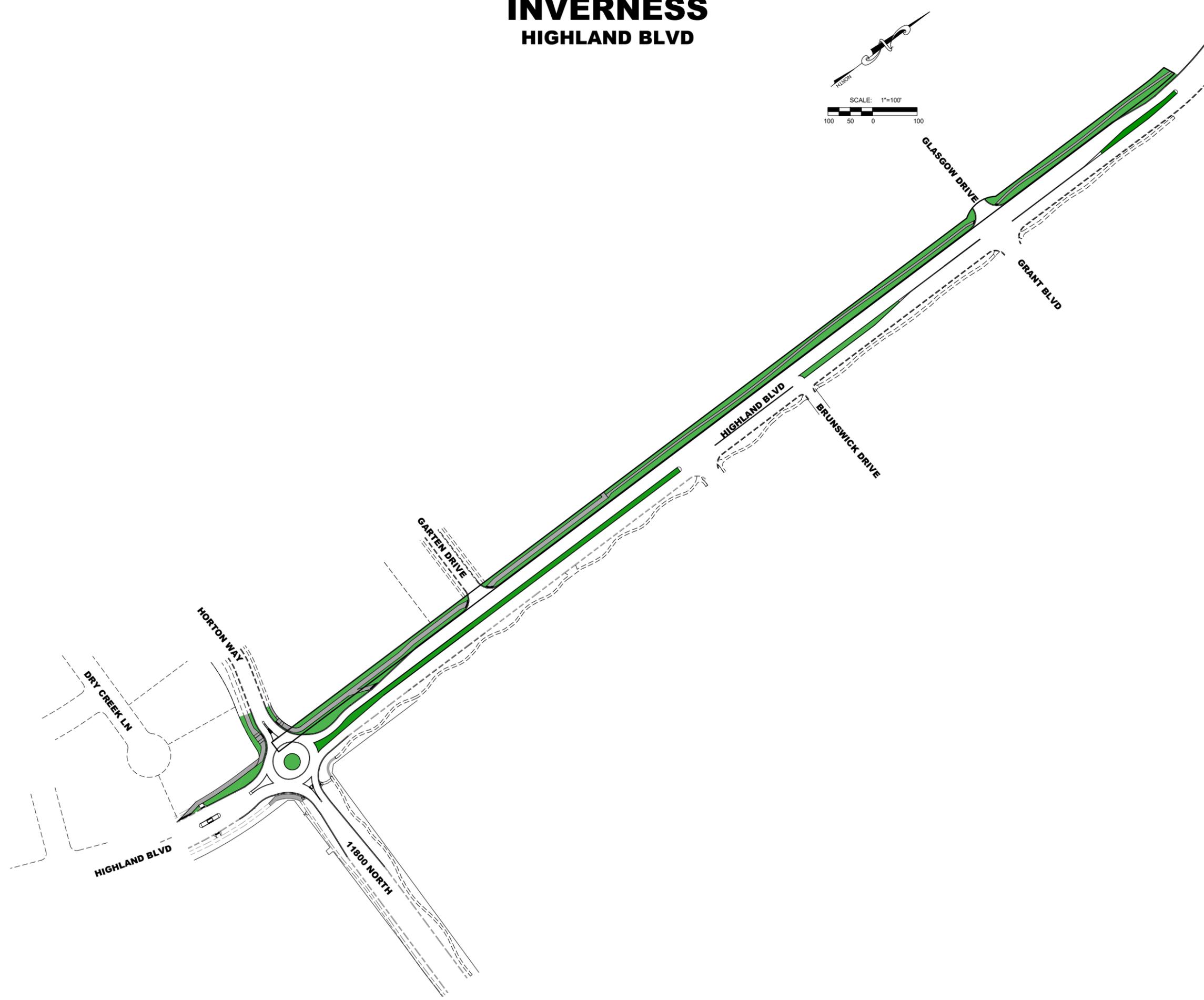
COVER	COVER
NOTES	GENERAL NOTES
101	DEMOLITION PLAN 1
102	DEMOLITION PLAN 2
201	ROUNDABOUT UTILITY PLAN
202	ROUNDABOUT ASPHALT PLAN
301	OVERALL GRADING PLAN
302	GRADING PLAN 1
303	GRADING PLAN 2
304	GRADING PLAN 3
401	HIGHLAND BLVD PLAN AND PROFILE STA 2+00.00 - STA 8+30.00
402	HIGHLAND BLVD PLAN AND PROFILE STA 8+30.00 - STA 14+50.00
403	HIGHLAND BLVD PLAN AND PROFILE STA 14+50.00 - STA 20+25.00
404	HIGHLAND BLVD PLAN AND PROFILE STA 20+25.00 - STA 24+94.00
501	SIGNAGE AND STRIPING PLAN
601	DETAILS 1
602	DETAILS 2
603	DETAILS 3

NOTES

SEE GENERAL NOTE SHEET



HIGHLAND BLVD
 HIGHLAND, UTAH
 COVER



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
EX-SB	---	SEWER PIPE
EX-SB	---	SEWER MANHOLE
EX-SB	---	SEWER SERVICE
EX-SB	---	STORM DRAIN PIPE (RCP)
EX-SB	---	STORM DRAIN MANHOLE
EX-SB	---	CURB INLET
EX-SB	---	COMBO BOX
EX-SB	---	4'x4' CATCH BASIN
EX-SB	---	3'x3' CATCH BASIN
EX-SB	---	INLET/OUTLET W/ GRATE
EX-W	---	CULINARY WATER PIPE
EX-W	---	45" PIPE ELBOW (W)
EX-W	---	22.5" PIPE ELBOW (W)
EX-W	---	11.25" PIPE ELBOW (W)
EX-W	---	FIRE HYDRANT
EX-W	---	SERVICE & METER (W)
EX-W	---	PRV (W)
EX-W	---	AIR-VAC VALVE (W)
EX-W	---	BLOW-OFF (W)
EX-W	---	TEMP. BLOW-OFF (W)
EX-W	---	VALVE (W & SW)
EX-W	---	TEE
EX-W	---	CROSS
EX-PI	---	PRESSURIZED IRRIGATION
EX-PI	---	45" PIPE ELBOW (PI)
EX-PI	---	22.5" PIPE ELBOW (PI)
EX-PI	---	11.25" PIPE ELBOW (PI)
EX-PI	---	SINGLE SW SERVICE
EX-PI	---	DUAL SW SERVICE
EX-PI	---	AIR-VAC VALVE (PI)
EX-PI	---	BLOW-OFF (SW)
EX-PI	---	TEMP. BLOW-OFF (PI)
EX-PI	---	STOP SIGN
EX-PI	---	STREET SIGN
EX-PI	---	MONUMENT
EX-PI	---	FENCE
EX-PI	---	STREET LIGHT
EX-PI	---	POWER POLE
EX-FO	---	FIBER OPTIC
EX-GAS	---	GAS
EX-OP	---	OVERHEAD POWER
---	---	FLOW ARROW
---	---	CONTOURS

DEVELOPER / OWNER
 DR HORTON
 12351 S. GATEWAY PARK PL #D-100
 DRAPER, UTAH 84020

ENGINEER
 LEI CONSULTING ENGINEERS
 3302 NORTH MAIN
 SPANISH FORK, UTAH 84660
 (801)798-0555

PROJECT NAME
 INVERNESS - HIGHLAND BLVD

REVISIONS
1 -
2 -
3 -
4 -
5 -
6 -

LEI PROJECT #:
2020-0067
 DRAWN BY:
DSE/BJA
 DESIGNED BY:
BCT
 SCALE:
1"=100'
 DATE:
06/06/2025

SHEET
COVER

GENERAL NOTES

- 1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSPECTED IN STRICT ACCORDANCE WITH ALL JURISDICTIONAL AUTHORITIES.
2. CONTRACTOR SHALL COMPLY WITH THE STANDARDS INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES, OWNERS, ENGINEERS, AND UTILITY COMPANIES FIVE DAYS PRIOR TO A PRE-CONSTRUCTION MEETING.
3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF, AND AT, THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, (1) THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
6. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND ANSWER ANY QUESTIONS BEFORE CONSTRUCTION.
7. ALL TRAFFIC CONTROL IS TO CONFORM TO THE CURRENT MUTCD AND UDOT STANDARDS. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAYS OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
8. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
9. CONTRACTOR TO VERIFY EXISTING CONDITIONS, TIE IN POINTS, UTILITY CONNECTIONS, ETC. PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, SECTION CORNERS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY UNNECESSARY LOSS OR DISTURBANCE.
11. CONTRACTOR TO FURNISH, MAINTAIN, AND RESTORE ALL SURVEY MONUMENTS AND MONUMENT REFERENCE MARKERS WITHIN THE PROJECT SITE. CONTRACTOR TO CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT PERMITTING, LOCATIONS AND CONSTRUCTION DETAILS.
12. ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.

GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING BLUE STAKES FOR MARKINGS TO VERIFY ALL EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND FOR ALL INTERRUPTIONS CAUSED BY THE RESULTS OF HIS WORK.
2. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY CONTRACTORS WORK FORCE.
3. START AT THE LOW END OF ALL GRAVITY FEED LINES AND WORK UPHILL. DO NOT DRY START GRAVITY FEED LINES THAT TIE INTO EXISTING GRAVITY LINES. FAILURE TO COMPLY WITH THIS NOTE SHALL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.
4. CONTRACTOR SHALL LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF-SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION.
5. ANY POWER, NATURAL GAS, AND COMMUNICATIONS UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE PURPOSES ONLY AND ARE NOT DESIGN DRAWINGS FOR THE RELOCATION OR REMOVAL OF EXISTING UTILITIES, NOR FOR ANY NEW UTILITY SERVICES. CONTRACTOR TO SUBMIT SITE PLAN TO APPROPRIATE UTILITY PROVIDER FOR DESIGN OF SERVICE CONNECTIONS.
6. ALL DIMENSIONS, GRADES AND UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXISTS PRIOR TO CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
7. ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., ARE TO BE RAISED OR LOWERED TO GRADE.
8. THE DRY START OF ANY UTILITY WITHOUT DIRECT CONNECTION TO EXISTING UTILITY INFRASTRUCTURE IS HIGHLY DISCOURAGED UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER. LEI IS NOT RESPONSIBLE FOR ANY ISSUES OR CHANGES RESULTING FROM SUCH CONSTRUCTION METHODS.
9. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER AND AT THE SOLE RISK OF THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER.
10. CONTRACTOR IS RESPONSIBLE TO REMOVE, SALVAGE, AND REPLACE FENCE LINES WHICH ARE DISTURBED DURING CONSTRUCTION.
11. SANITARY SEWER TO BE INSTALLED A MINIMUM OF 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ALL WATER LINES.
12. ALL PIPE LENGTHS SHOWN ON PLANS ARE FROM CENTER OF GUTTER TO CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
13. UTILITY LATERAL TO BE INSTALLED PER CITY STANDARD LOCATION UNLESS OTHERWISE NOTED.

ELECTRONIC FILE NOTES

- 1. THE HARD COPIES OF THIS INFORMATION WILL GOVERN OVER THE ELECTRONIC DATA IN THE EVENT ANY DISCREPANCIES ARE FOUND WITH THE INFORMATION. PLEASE CONTACT LEI BEFORE CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND.
2. THE INFORMATION RECORDED ON OR TRANSMITTED AS ELECTRONIC MEDIA WAS CREATED USING AUTODESK CIVIL 3D 2025 SOFTWARE. THEREFORE, THE INFORMATION IS SUBJECT TO UNDETECTABLE ALTERATION, EITHER INTENTIONAL OR UNINTENTIONAL DUE TO, AMONG OTHER CAUSES, TRANSMISSION, CONVERSION, MEDIA DEGRADATION, SOFTWARE ERROR, OR HUMAN ALTERATION.

GENERAL CLEARING AND GRADING NOTES

- 1. CLEARING, GRUBBING AND DISPOSAL OF VEGETATIVE MATERIAL NEEDS TO BE IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS, WHICH APPLY TO SOLID WASTE.
2. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON DRAWINGS AND A TOPOGRAPHIC SURVEY PERFORMED BY LEI ENGINEERS (UNLESS OTHERWISE NOTED). IF THE EXISTING GRADE IS DIFFERENT FROM WHAT IS SHOWN ON THE GRADING PLAN, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
3. ALL EARTH WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S REPORT.
4. WHEN USING ELECTRONIC FILES OF MASS GRADING SITES PREPARED BY LEI THE CONTRACTOR MUST USE THE DIGITAL TERRAIN MODEL CREATED BY AUTODESK CIVIL 3D AND NOT A REPRODUCTION OF PROPOSED CONTOURS. LEI IS NOT RESPONSIBLE FOR ANY INACCURACIES, ERRORS AND/OR DISCREPANCIES DUE TO CONVERSION OR USE OF ELECTRONIC FILES.
5. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
6. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION, OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING THE APPROPRIATE PERMITS AND INSPECTIONS. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

THESE NOTES TO BE ADDED TO AND KEPT WITH ALL SUBDIVISION IMPROVEMENT PLAN SETS

GENERAL NOTES:

- 1. THESE NOTES SHALL BE DEEMED AN ADDENDUM TO THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) MANUAL STANDARD SPECIFICATIONS. HIGHLAND CITY FOLLOWS THE MOST CURRENT APWA SPECIFICATIONS AND STANDARD PLANS (AVAILABLE AT WWW.APWAUTAH.ORG)
2. TWO (2) WORKING DAYS' NOTICE IS REQUIRED FOR ALL INSPECTIONS. INSPECTIONS ARE TO BE SCHEDULED THROUGH THE PUBLIC WORKS SECRETARY EITHER VERBALLY (801-772-4515), OR BY EMAIL (PUBLICWORKS@HIGHLANDCITY.ORG).
3. HIGHLAND CITY ENGINEERING INSPECTORS WORK MONDAY THROUGH THURSDAY (7:00 A.M. TO 5:30 P.M.). INSPECTIONS WILL BE SCHEDULED BETWEEN 7:30 A.M. AND 5:00 P.M.
4. ANY WORK PERFORMED WITHOUT THE PROPER APPROVALS OR INSPECTIONS TAKING PLACE WILL BE REMOVED AT THE CONTRACTOR'S EXPENSE AND RE-DONE WITH THE PROPER APPROVALS OR INSPECTIONS. MATERIAL REPLACEMENT OR RE-DESIGN MAY BE REQUIRED AT THE DISCRETION OF THE CITY INSPECTOR AND AT THE EXPENSE OF THE CONTRACTOR.
5. ALL CONSTRUCTION SHALL BE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS STAMPED 'APPROVED FOR CONSTRUCTION, HIGHLAND PUBLIC WORKS' WITH A DATE AND SIGNATURE. THESE PLANS ARE TO BE ON-SITE AT ALL TIMES AND AVAILABLE TO THE CITY INSPECTOR FOR REVIEW, IF THE PLANS ARE NOT ON SITE, A STOPPAGE OF WORK WILL BE ISSUED UNTIL THE PLANS ARE AVAILABLE.
6. ANY CHANGES TO THE APPROVED CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY ENGINEER AND DESIGN ENGINEER. THIS APPROVAL WILL BE GIVEN IN WRITING BY THE CITY ENGINEER TO THE CONTRACTOR AND THE DEVELOPER. UNTIL SUCH WRITTEN AUTHORIZATION IS RECEIVED, THERE HAS BEEN NO APPROVAL GRANTED TO CHANGE THE PLANS.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY ERRORS FOUND ON THE APPROVED DRAWINGS, AS SOON AS THEY ARE DISCOVERED, TO THE CITY ENGINEER AND THE DESIGN ENGINEER. A WRITTEN ADDENDUM, WRITTEN BY THE CITY ENGINEER, WILL BE ISSUED TO THE CONTRACTOR AND THE DEVELOPER NOTIFYING THEM OF THE CHANGE TO THE PLANS. THERE WILL BE NO COST TO THE CITY FOR THESE CHANGES.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY DAMAGE THAT MAY OCCUR FROM THE PROJECT. THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY APPROVALS FOR WORK THAT IMPACTS OR IS LOCATED ON ADJACENT PROPERTIES OR WATER CONVEYANCE FACILITIES ARE OBTAINED IN WRITING AND PROVIDED TO THE CITY PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY REQUIREMENTS ON THE JOB SITE AND WILL ENSURE ENFORCEMENT OF THE NECESSARY AND GOVERNING REGULATIONS.
10. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED (IE NO CONCRETE).
11. THE PARK STRIP SHALL BE FILLED WITH NATIVE TOPSOIL, LEVEL WITH TOP OF CURB. NO ROCKS GREATER THAN THREE (3) INCHES.
12. HIGHLAND CITY DEFINES THE TIME FOR COMPLETION OF THE PUNCH LIST ITEMS TO BE THIRTY (30) DAYS.

UTILITY NOTES:

- 1. UNLESS OTHERWISE NOTED ON THE PLANS, THE EXISTING UTILITIES AND THEIR LOCATIONS ARE TAKEN FROM RESEARCH DATA OF AVAILABLE RECORDS AND NOT ACTUAL FIELD VERIFICATIONS.
2. THE EXISTING UTILITIES LOCATED ON THE PLANS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. NEITHER THE CITY ENGINEER, DESIGN ENGINEER, NOR THE DEVELOPER WILL BEAR ANY RESPONSIBILITY FOR THE ACCURACY OF THE DATA OR FOR UTILITIES NOT SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THESE UTILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LAWS AND REGULATIONS REGARDING UTILITY LOCATIONS AND EXCAVATING AROUND THESE UTILITIES, INCLUDING THE REQUIRED ROAD CUT / RIGHT OF WAY PERMIT.
4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES THAT ARE TO REMAIN IN PLACE. ANY DAMAGE DONE BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED AND/OR REPLACED SATISFACTORILY BY THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.

QUALITY CONTROL AND TESTING:

- A. BASE
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
2. ALL COMPACTION TESTING SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE MOVING TO THE NEXT PHASE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO ASPHALT, SIDEWALK, CURB, GUTTER, ETC.
3. ALL TESTING WILL BE PERFORMED BY A CERTIFIED TESTING LABORATORY AND A CERTIFIED TESTER.
4. COMPACTION SHALL MEET THE 95% MODIFIED PROCTOR REQUIREMENTS.
5. THE CITY INSPECTOR HAS THE AUTHORITY TO DIRECT THE LOCATION OF TESTING OR TO CALL FOR ADDITIONAL TESTS IF DEEMED NECESSARY.
B. SUBBASE
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
2. ALL SUBBASES (OR SUBGRADE IF NO SUBBASE IS USED) WILL HAVE A PROOF ROLLING TEST WITH A CITY INSPECTOR ON SITE.
3. PROOF ROLLING TESTS WILL CONSIST OF DRIVING OVER THE SUBBASE/SUBGRADE WITH A FULLY LOADED FOUR THOUSAND (4,000) GALLON WATER TRUCK TO CHECK FOR ANY TYPE OF DEFLECTION IN THE MATERIAL.
4. THE CITY INSPECTOR SHALL HAVE THE DISCRETION TO REQUEST THE REMOVAL OF MATERIAL AND THE AMOUNT AT LOCATIONS OF FAILURES.
5. THE FAILED MATERIAL SHALL BE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR AND RETESTED.
C. TRENCH COMPACTION
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
2. TESTING RESULTS ARE REQUIRED TO BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE THE NEXT PHASE OF CONSTRUCTION CAN BEGIN.
3. COMPACTION TESTS ARE REQUIRED EVERY TWO HUNDRED (200) LINEAR FEET OF EACH UTILITY AND EVERY TWO (2) FEET OF VERTICAL LIFT.
4. MAXIMUM LIFT THICKNESS IS EIGHT (8) INCHES.
D. SIDEWALKS AND CURB & GUTTER
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
2. TESTING RESULTS ARE REQUIRED TO BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE THE NEXT PHASE OF CONSTRUCTION CAN BEGIN.
3. SIDEWALKS - COMPACTION TESTS ARE REQUIRED EVERY FOUR HUNDRED (400) LINEAR FEET PER LIFT.
4. CURB AND GUTTER - COMPACTION TESTS ARE REQUIRED EVERY TWO HUNDRED (200) LINEAR FEET PER LIFT.
5. MAXIMUM LIFT THICKNESS IS EIGHT (8) INCHES.

TRAFFIC NOTES:

- 1. ALL CONSTRUCTION SIGNAGE, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
2. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING PUBLIC RIGHTS-OF-WAY THAT WERE WARRANTED IMMEDIATELY AFTER THE FIRST GRADING WORK IS ACCOMPLISHED AND SHALL MAINTAIN SAID SIGNS UNTIL PERMANENT SIGNS ARE INSTALLED.
4. IF IT IS DETERMINED BY THE PUBLIC WORKS DEPARTMENT THAT A SCHOOL ZONE IS ENCRACHED UPON BY A CONSTRUCTION WORK ZONE, AND IT IS DETERMINED THAT THERE IS A NEED FOR STUDENTS TO BE ASSISTED IN THE SAFE CROSSING THROUGH THAT WORK ZONE, THE SCHOOL SHALL BE NOTIFIED, AND THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A QUALIFIED CROSSING GUARD. THE GUARD SHALL BE PRESENT FOR THE FULL DURATION OF TIME THOSE CHILDREN ARE LIKELY TO BE PRESENT AND/OR AS REQUESTED BY THE SCHOOL.
5. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY ENGINEER OR DESIGNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGNPOSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS.
6. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION.
7. THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT, AND FLAG PERSONS NECESSARY TO ENSURE THE SAFETY OF WORKERS AND VISITORS.

Table with 4 columns: NO, REVISION DESCRIPTION, BY, DATE. Includes a 'CHECKED BY: ASB' field and a 'LAST UPDATED: 12/11/2023' field.



HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
GENERAL NOTES

STD DWG # GN-00

LEI ENGINEERS SURVEYORS PLANNERS
A Utah Corporation
3302 N. Main Street Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com www.lei-eng.com

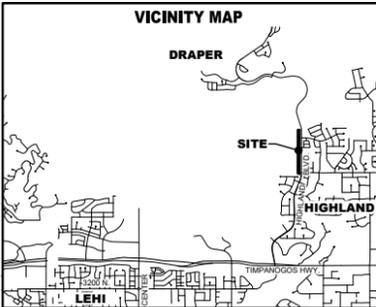


HIGHLAND BLVD
HIGHLAND, UTAH
GENERAL NOTES

Table with 2 columns: NO, REVISIONS. Includes a list of revision numbers 1 through 6.

LEI PROJECT #: 2020-0067
DRAWN BY: DSE/BJA
DESIGNED BY: BCT
SCALE: NONE
DATE: 06/06/2025

SHEET
NOTES



LEGEND

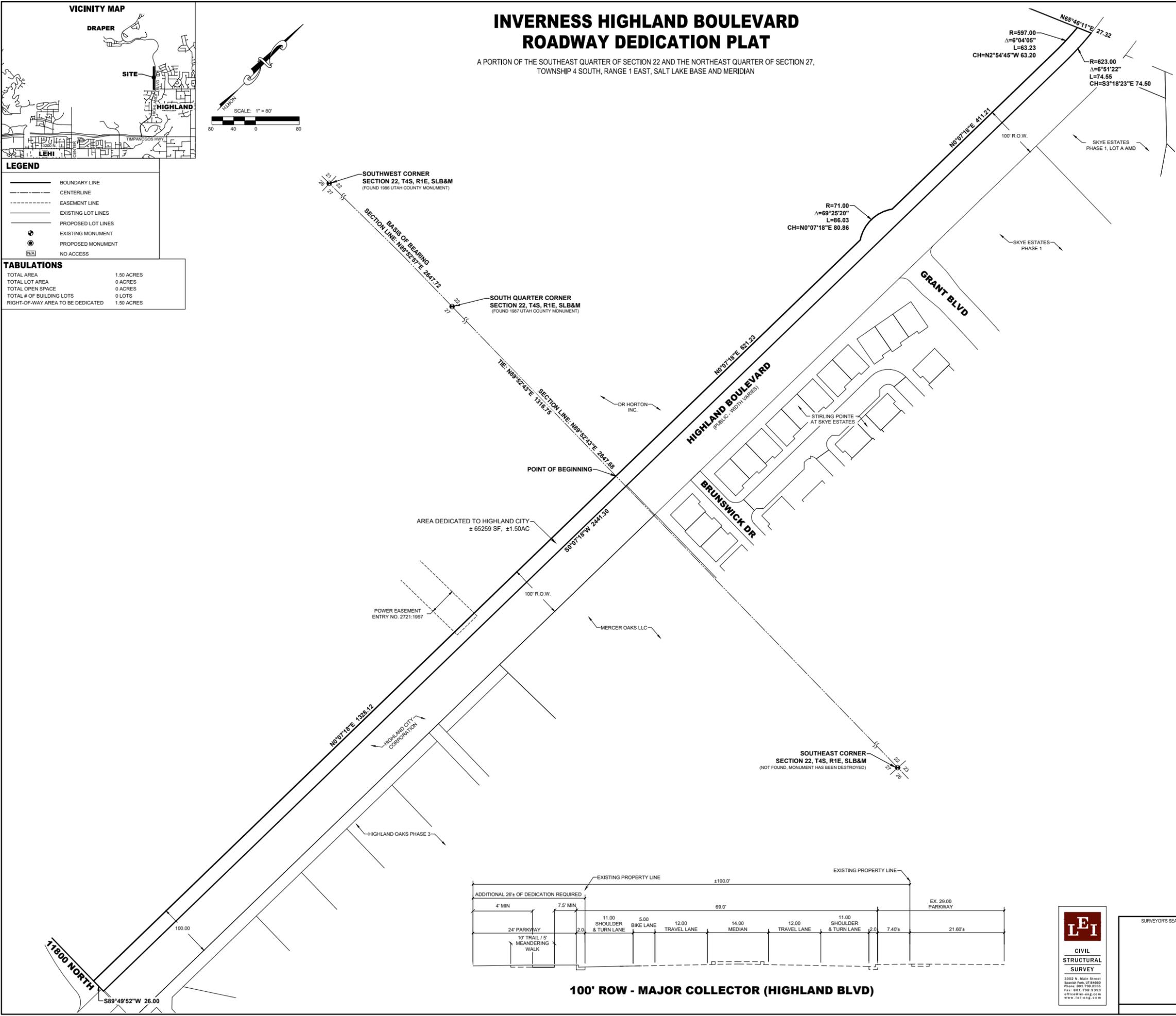
- BOUNDARY LINE
- CENTERLINE
- EASEMENT LINE
- EXISTING LOT LINES
- PROPOSED LOT LINES
- EXISTING MONUMENT
- PROPOSED MONUMENT
- NO ACCESS

TABULATIONS

TOTAL AREA	1.50 ACRES
TOTAL LOT AREA	0 ACRES
TOTAL OPEN SPACE	0 ACRES
TOTAL # OF BUILDING LOTS	0 LOTS
RIGHT-OF-WAY AREA TO BE DEDICATED	1.50 ACRES

INVERNESS HIGHLAND BOULEVARD ROADWAY DEDICATION PLAT

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 22 AND THE NORTHEAST QUARTER OF SECTION 27,
TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN



SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6310734 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 22 AND THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT LOCATED N89°52'43"E ALONG THE SECTION LINE 1316.75 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN (BASIS OF BEARING: N89°52'57"E BETWEEN THE SOUTHWEST CORNER AND THE SOUTH QUARTER CORNER OF SECTION 22); THENCE N00°07'18"E 621.23 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 86.03 FEET WITH A RADIUS OF 71 FEET THROUGH A CENTRAL ANGLE OF 69°25'20"; CHORD: S00°07'18"E 80.86 FEET; THENCE N00°07'18"E 411.21 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 63.23 FEET WITH A RADIUS OF 597.00 FEET THROUGH A CENTRAL ANGLE OF 06°04'05"; CHORD: N02°54'45"W 63.20 FEET; THENCE N65°46'11"E 27.32 FEET TO THE EXISTING WESTERLY RIGHT-OF-WAY OF HIGHLAND BOULEVARD; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES: ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 74.55 FEET WITH A RADIUS OF 623.00 FEET THROUGH A CENTRAL ANGLE OF 06°51'22"; CHORD: S03°18'23"E 74.50 FEET; THENCE S00°07'18"W 2441.30 FEET; THENCE S89°49'52"W 26.00 FEET; THENCE N00°07'18"E 1328.12 FEET TO THE POINT OF BEGINNING.
 CONTAINS: ±1.50 ACRES.

DATE _____ SURVEYOR (See Seal Below) _____

OWNERS DEDICATION

KNOW ALL BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE DEDICATED TO HIGHLAND CITY AS A PUBLIC ROAD HEREAFTER TO BE KNOWN AS HIGHLAND BOULEVARD ROADWAY DEDICATION PLAT.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH _____ S.S.
 COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID _____ ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

NOTARY PUBLIC FULL NAME: _____
 COMMISSION NUMBER: _____
 MY COMMISSION EXPIRES: _____
 A NOTARY PUBLIC COMMISSIONED IN UTAH

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF HIGHLAND, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____ ATTEST _____ CLERK-RECORDER (See Seal Below)
 APPROVED BY ENGINEER _____ (See Seal Below)

HIGHLAND CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20____
 HIGHLAND CITY ATTORNEY _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE HIGHLAND CITY PLANNING COMMISSION
 DIRECTOR OF COMMUNITY DEVELOPMENT _____

INVERNESS HIGHLAND BOULEVARD ROADWAY DEDICATION PLAT

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 22 AND THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

SCALE: 1" = 80' SHEET 1 OF 1

SURVEYOR'S SEAL	HIGHLAND CITY ENGINEER SEAL	HIGHLAND CITY RECORDER SEAL	UTAH COUNTY RECORDER SEAL
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SURVEYORS
PLANNERS

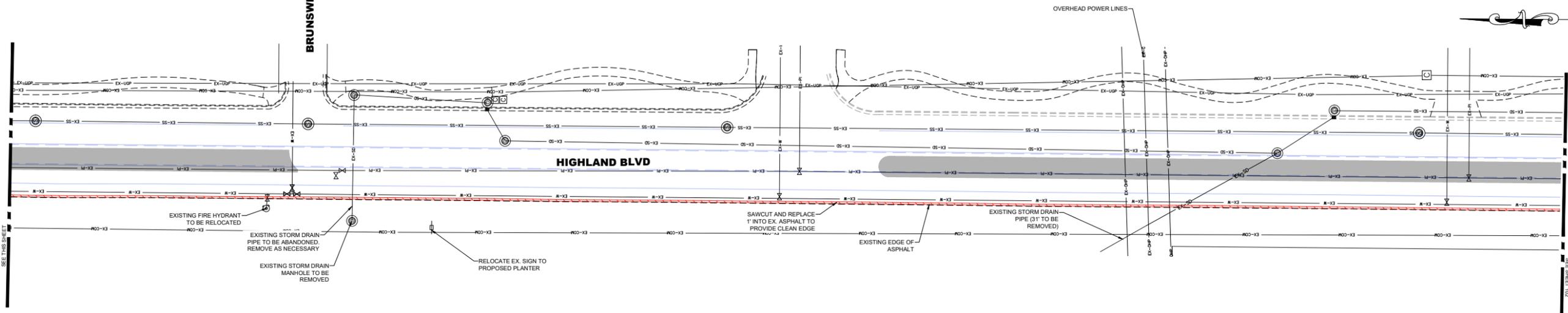
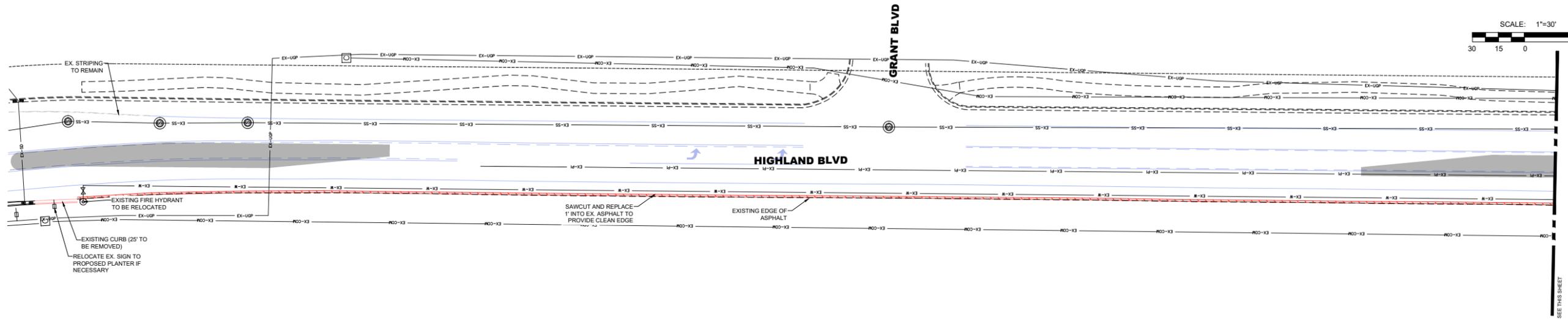
3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com



HIGHLAND BLVD
 HIGHLAND, UTAH
 DEMOLITION PLAN 1



SCALE: 1"=30'
 30 15 0 30



- EX. STRIPING TO BE REMOVED
- EX. CURB & GUTTER AND SIDEWALK TO BE REMOVED
- ASPHALT AREA TO BE REMOVED.
- SAWCUT REMOVE AND REPLACE EX. ASPHALT

REVISIONS	
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LEI PROJECT #:
2020-0067
 DRAWN BY:
DSE/BJA
 DESIGNED BY:
BCT
 SCALE:
1"=30'
 DATE:
06/06/2025

SHEET
101



SCALE: 1"=30'
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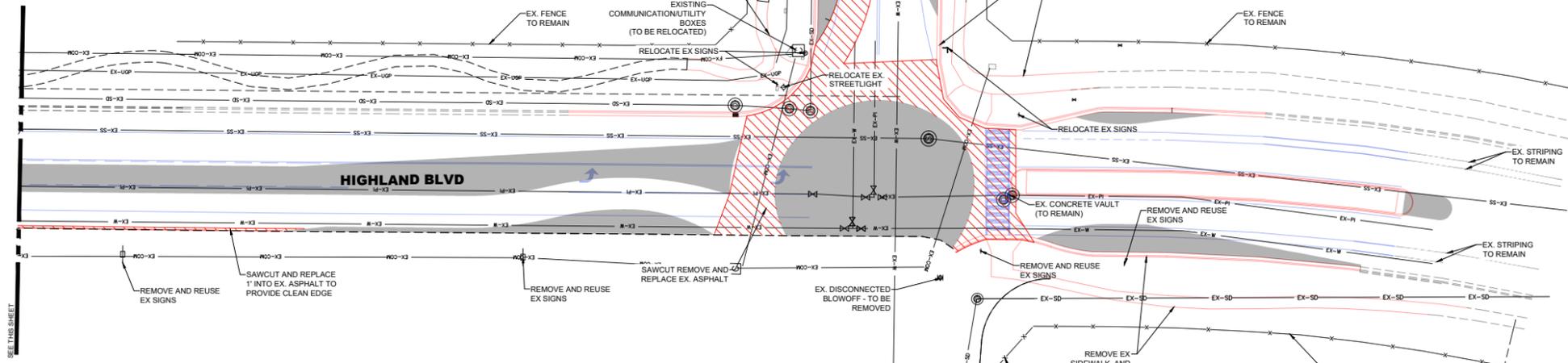
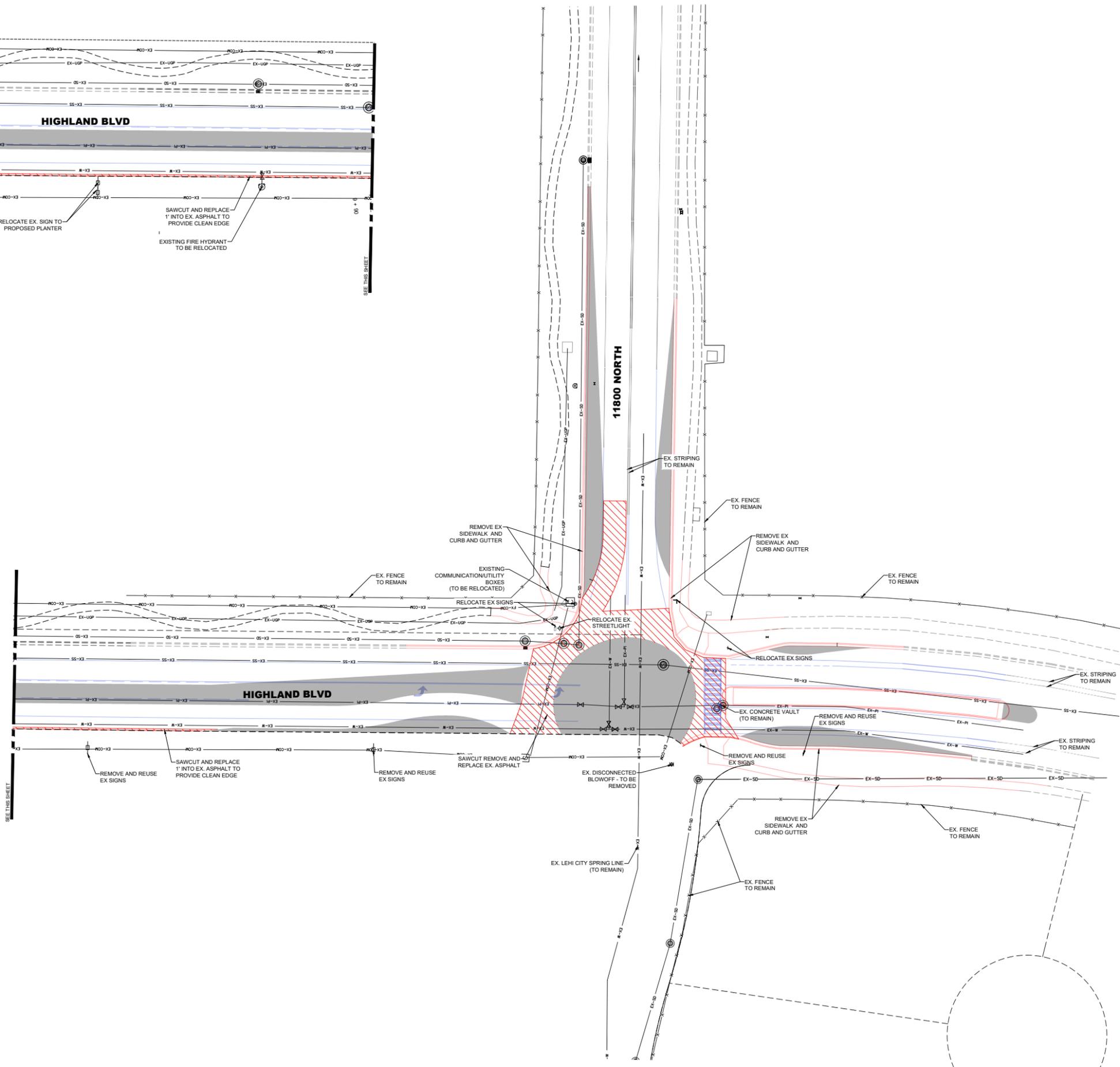
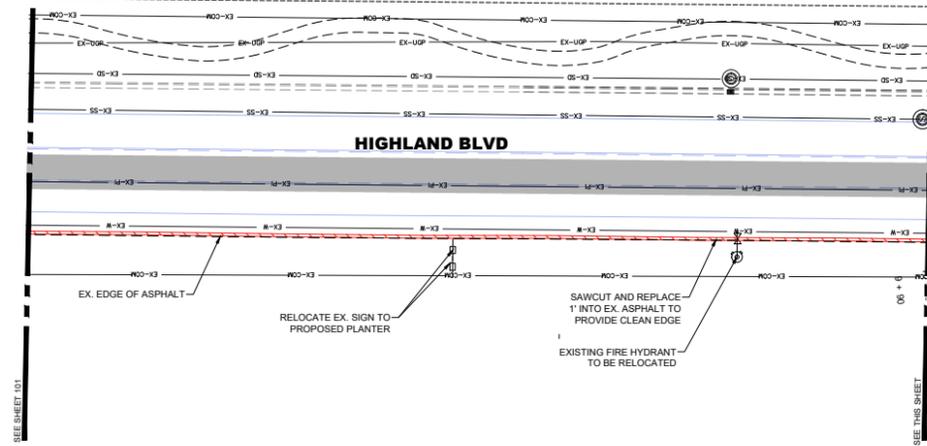


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3302 N. Main Street
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Fax: 801.798.9393
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www.lei-eng.com



HIGHLAND BLVD
HIGHLAND, UTAH
DEMOLITION PLAN 2



- EX. STRIPING TO BE REMOVED
- EX. CURB & GUTTER AND SIDEWALK TO BE REMOVED
- ASPHALT AREA TO BE REMOVED.
- SAWCUT REMOVE AND REPLACE EX. ASPHALT

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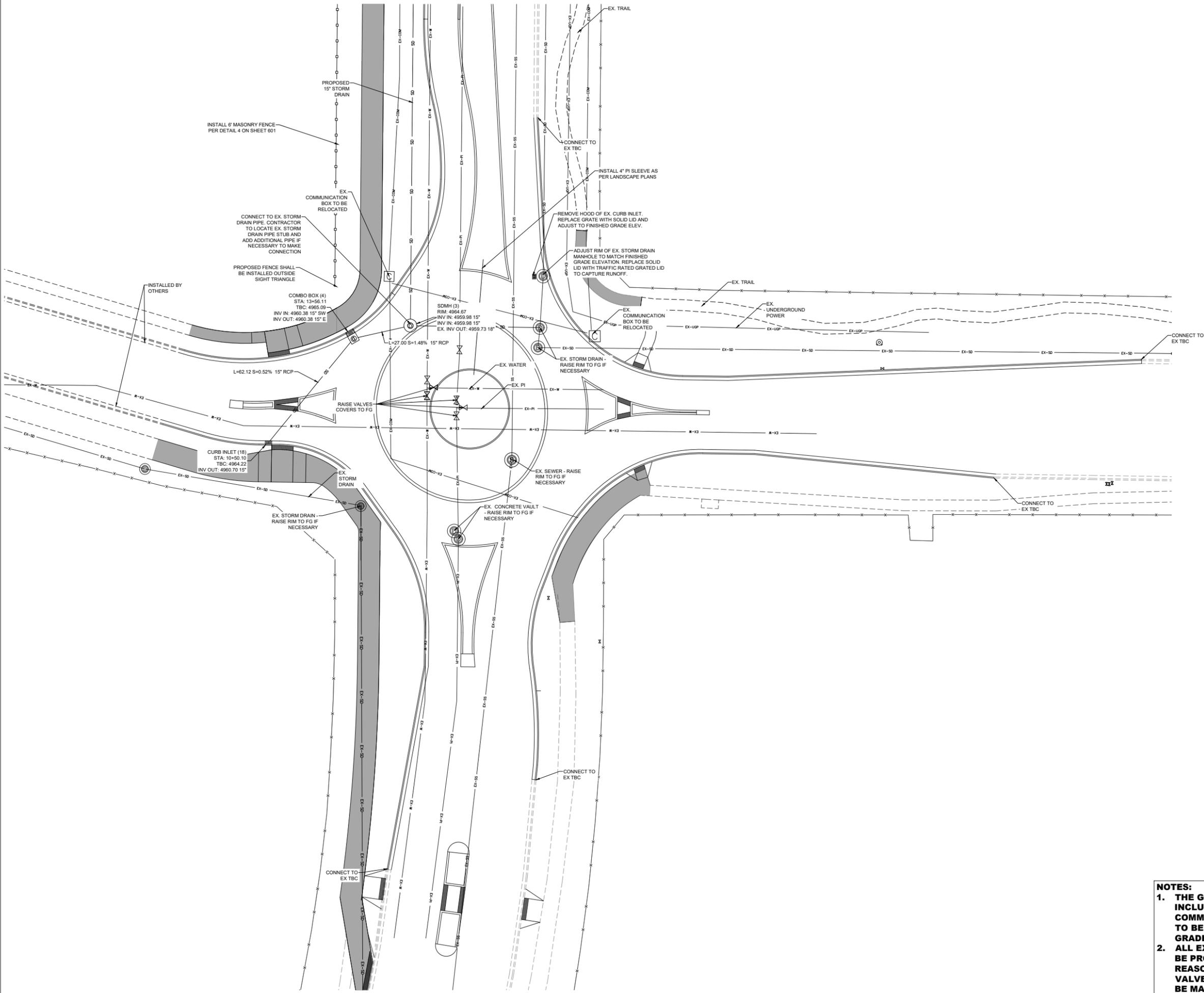
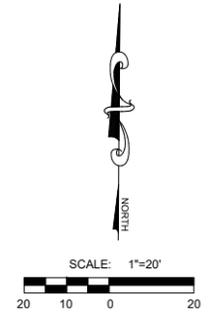
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2020-0067
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DATE:
06/06/2025

SHEET
102



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 Spanish Fork, UT 84660
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HIGHLAND BLVD
 HIGHLAND, UTAH
 ROUNDABOUT UTILITY PLAN

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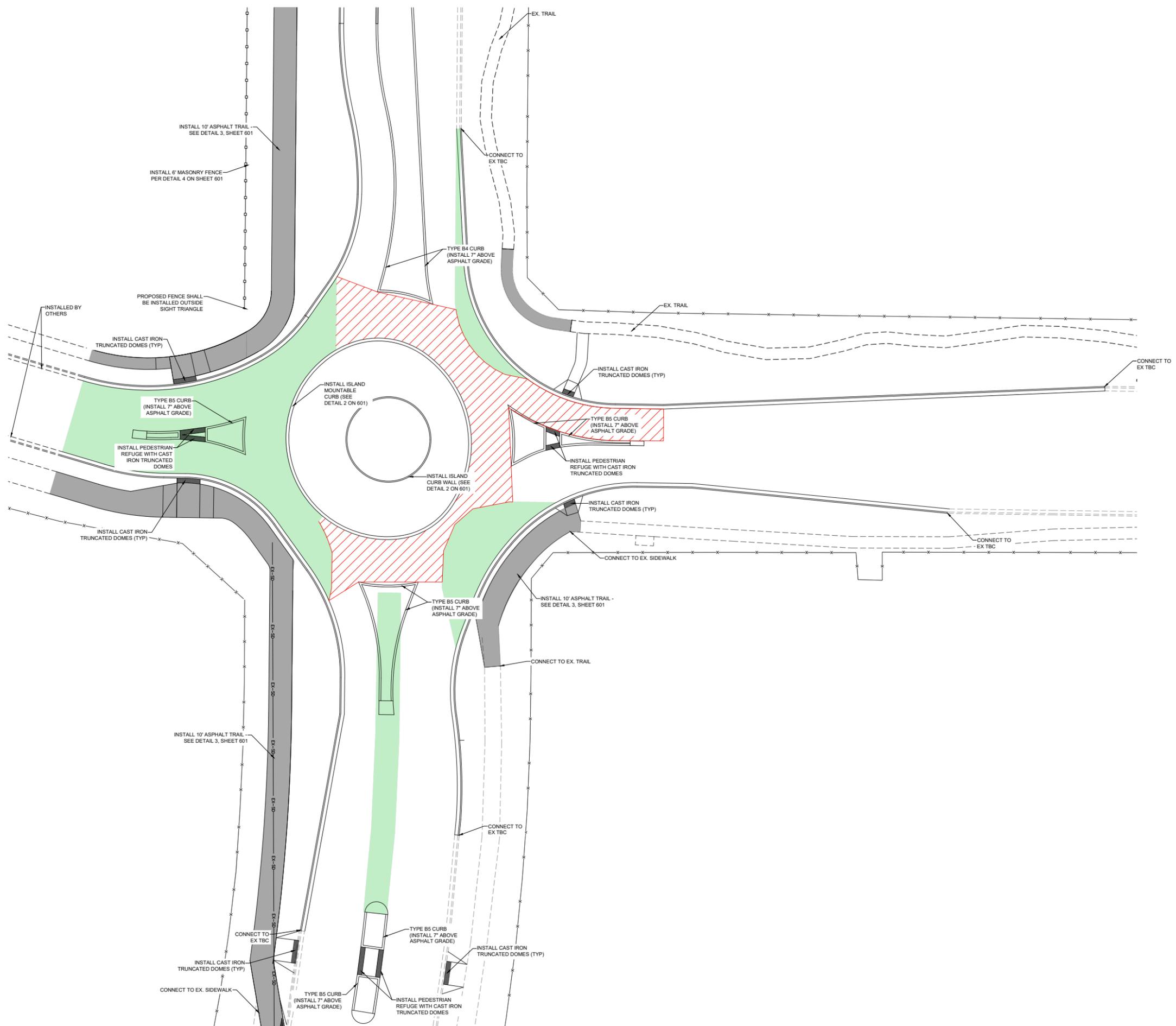
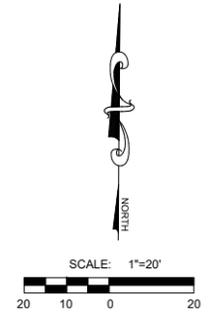
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06/06/2025

NOTES:
 1. **THE GRADE OF ALL EXISTING STRUCTURES, INCLUDING MANHOLES, VALVE BOXES, COMMUNICATION BOXES, FIRE HYDRANTS ETC. TO BE ADJUSTED TO THE DESIGN FINISHED GRADE AS SHOWN.**
 2. **ALL EXISTING VALVES AND VALVE BOXES SHALL BE PROTECTED DURING CONSTRUCTION. REASONABLE WORKING ACCESS TO ALL EXISTING VALVES AND OTHER EXISTING UTILITIES SHALL BE MAINTAINED DURING CONSTRUCTION.**



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3302 N. Main Street
 Spanish Fork, UT 84660
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 Fax: 801.798.9393
 office@lei-eng.com
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HIGHLAND BLVD
 HIGHLAND, UTAH
 ROUNDABOUT ASPHALT PLAN

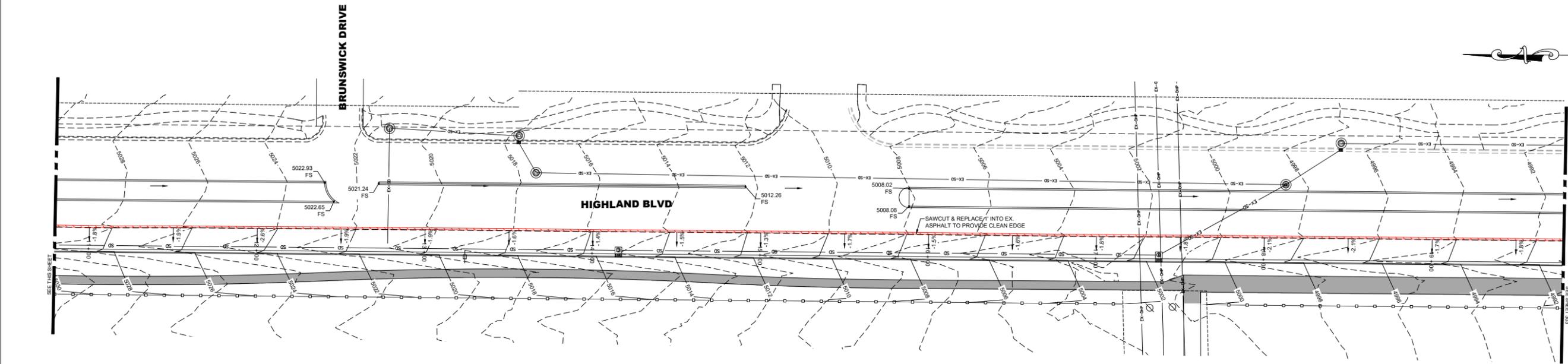
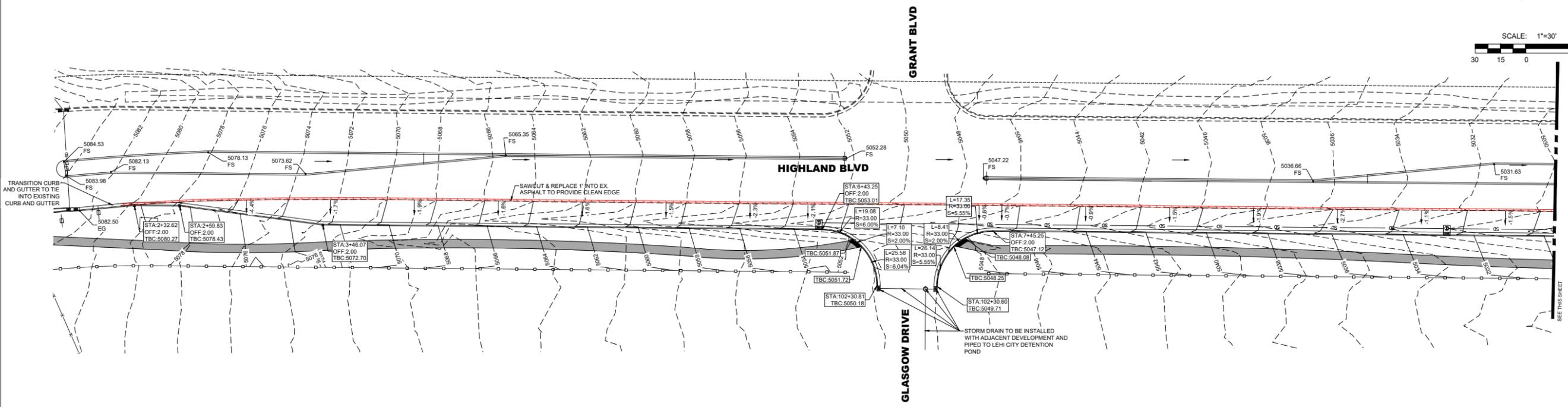
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2020-0067
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DSE/BJA
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BCT
 SCALE:
1"=20'
 DATE:
06/06/2025

SHEET
202



SCALE: 1"=30'
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HIGHLAND BLVD
 HIGHLAND, UTAH
GRADING PLAN 1

NO.	REVISIONS
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LEI PROJECT #:
2020-0067
 DRAWN BY:
DSE/BJA
 DESIGNED BY:
BCT
 SCALE:
1"=30'
 DATE:
06/06/2025

SHEET
302

NOTE:
 1. ALL ELEVATION TAGS ON CURB ISLANDS & CURB MEDIANS, INCLUDING THE ROUNDABOUT CIRCLE, REPRESENT THE ASPHALT FINISHED SURFACE ELEVATION AT THAT LOCATION. ACTUAL TBC ELEVATIONS SHALL BE FOUND BY ADJUSTING THE ELEVATION AS NOTED ON THE PLANS. REFER TO DETAIL 2 SHEET 601 FOR ALL CURB DETAILS.

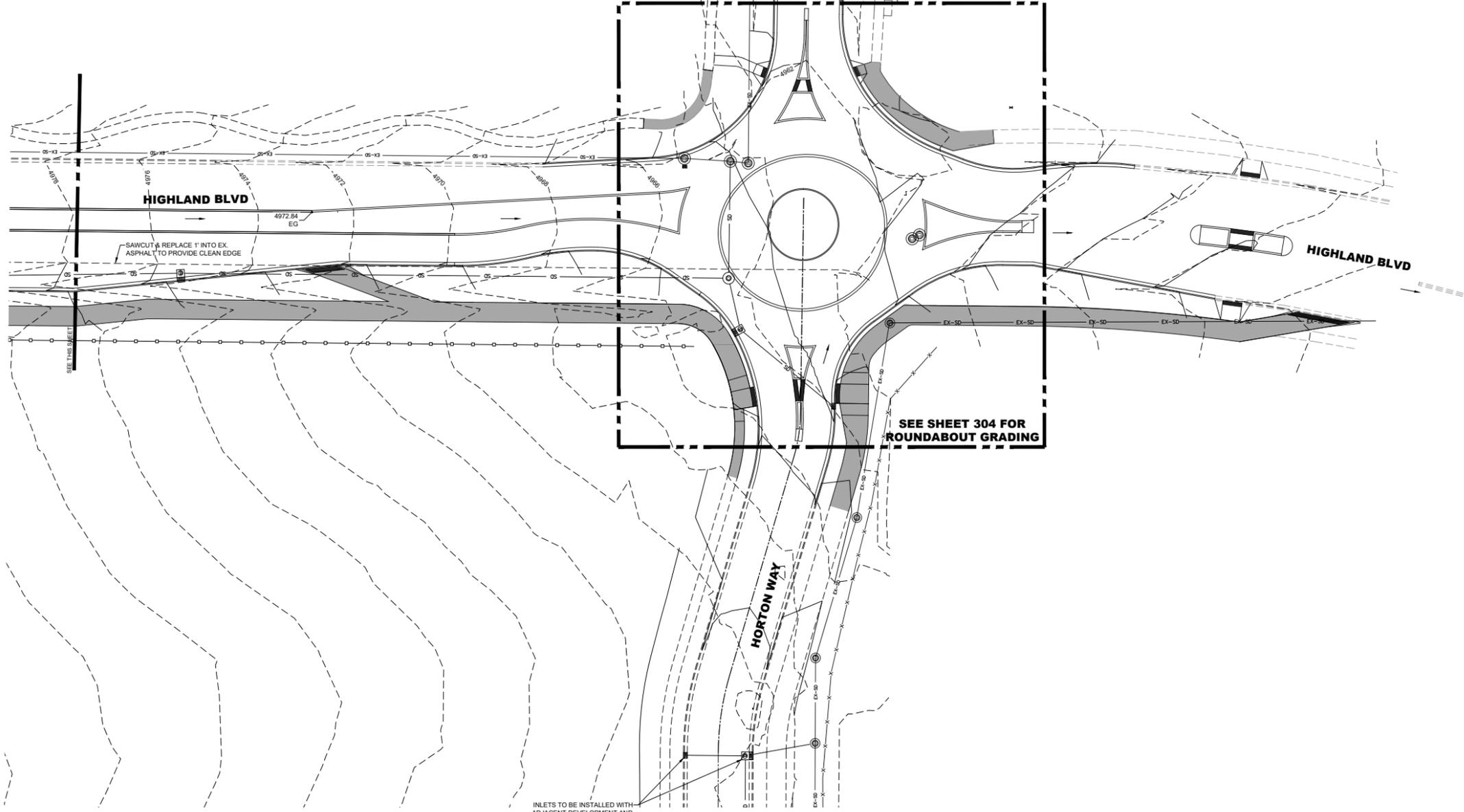
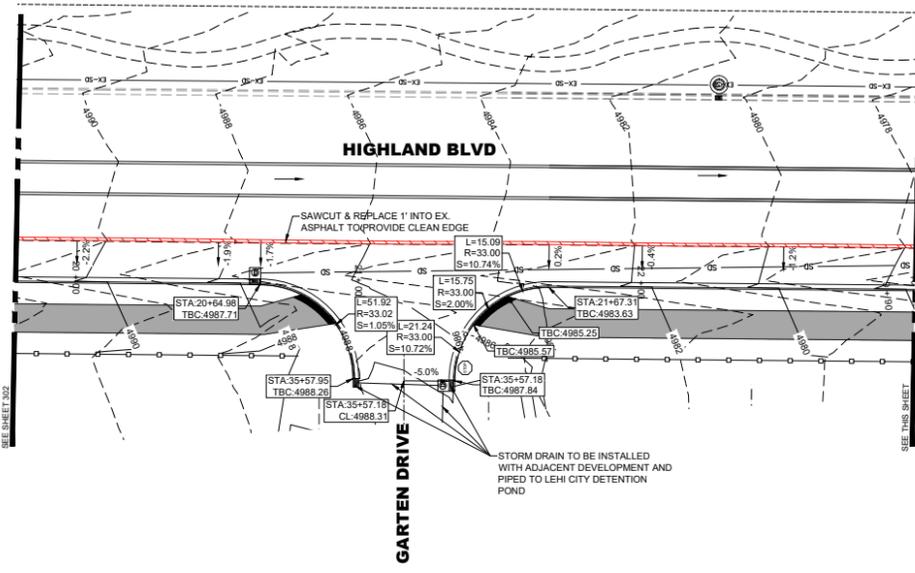


SCALE: 1"=30'
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Fax: 801.798.9393
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HIGHLAND BLVD
HIGHLAND, UTAH
GRADING PLAN 2

REVISIONS

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LEI PROJECT #:
2020-0067
DRAWN BY:
DSE/BJA
DESIGNED BY:
BCT
SCALE:
1"=30'
DATE:
06/06/2025

SHEET

303

NOTE:
1. ALL ELEVATION TAGS ON CURB ISLANDS & CURB MEDIANS, INCLUDING THE ROUNDABOUT CIRCLE, REPRESENT THE ASPHALT FINISHED SURFACE ELEVATION AT THAT LOCATION. ACTUAL TBC ELEVATIONS SHALL BE FOUND BY ADJUSTING THE ELEVATION AS NOTED ON THE PLANS. REFER TO DETAIL 2 SHEET 601 FOR ALL CURB DETAILS.

07/27/2025 10:00 AM

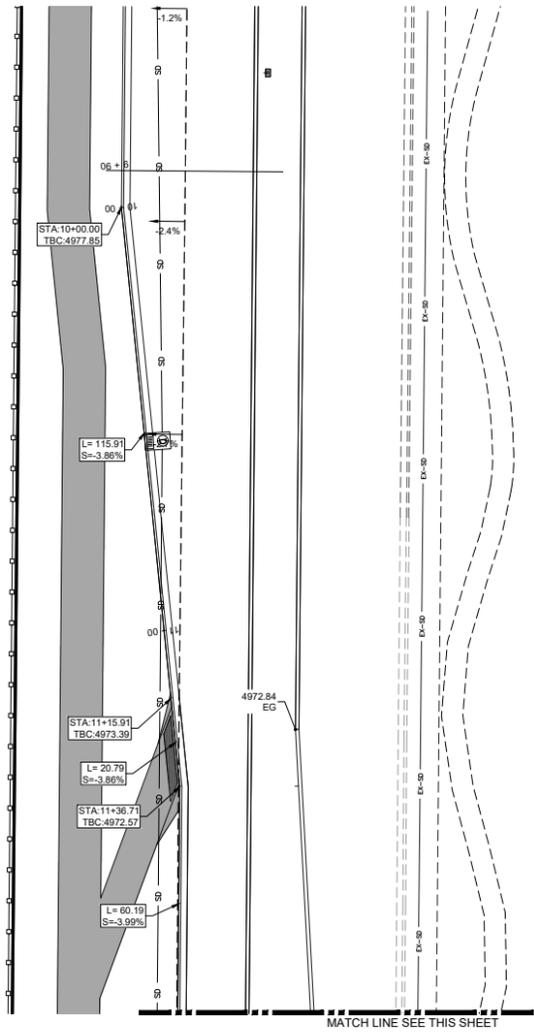
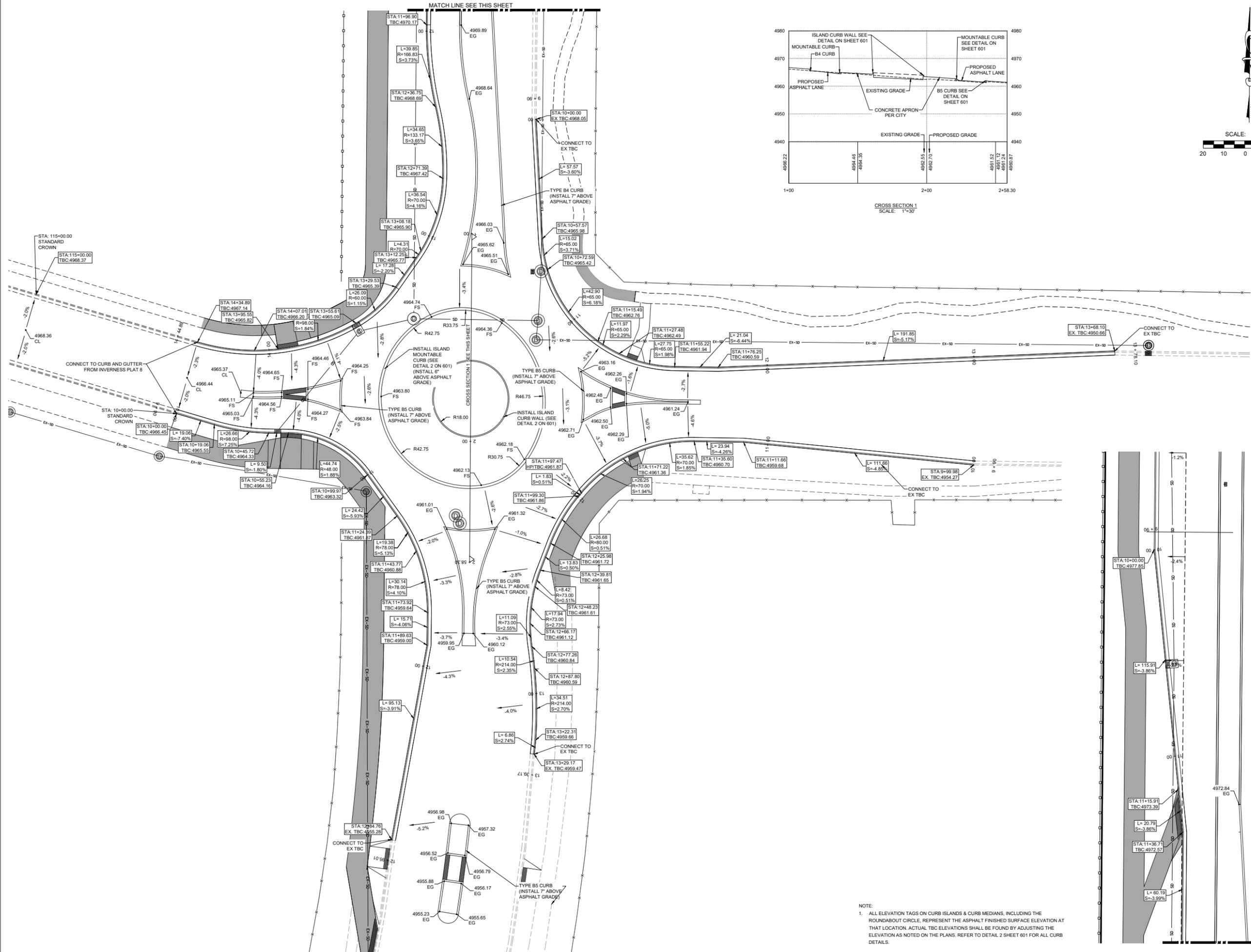
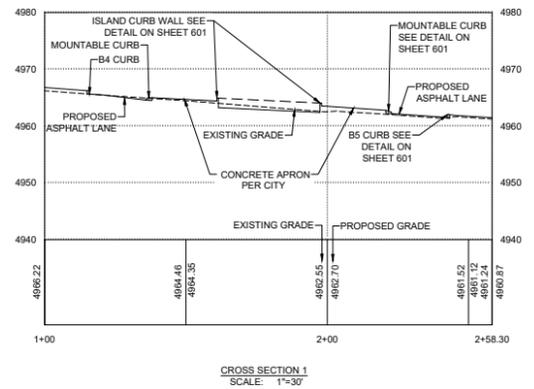
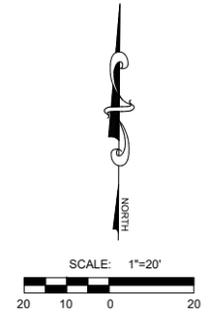


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ENGINEERS
SURVEYORS
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 Spanish Fork, UT 84660
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HIGHLAND BLVD
 HIGHLAND, UTAH
GRADING PLAN 3



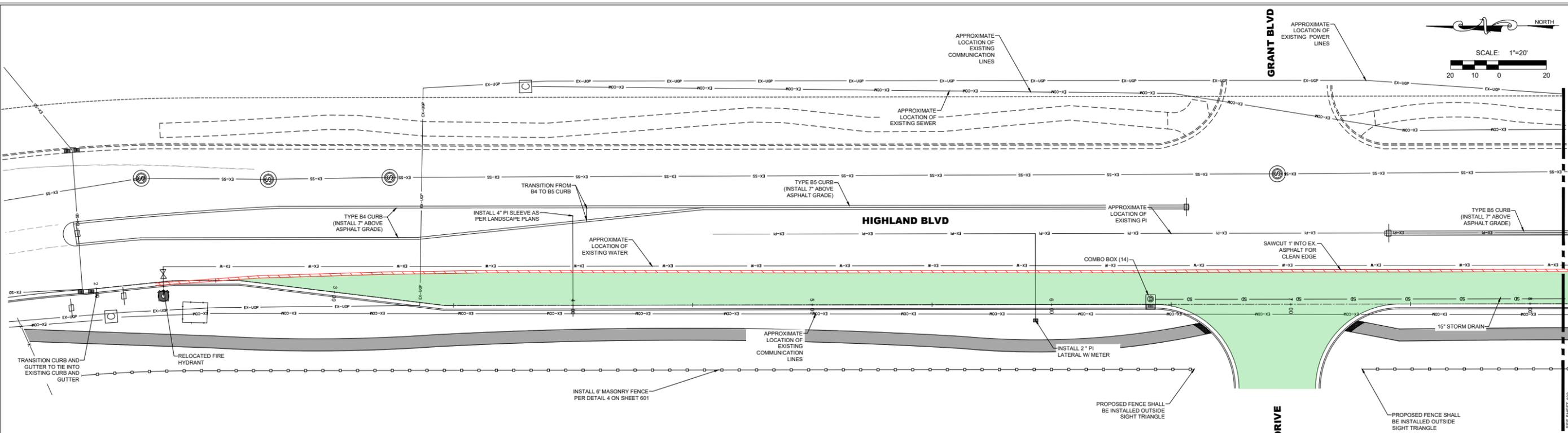
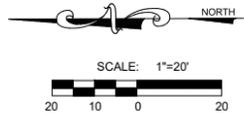
NOTE:
 1. ALL ELEVATION TAGS ON CURB ISLANDS & CURB MEDIANS, INCLUDING THE ROUNDABOUT CIRCLE, REPRESENT THE ASPHALT FINISHED SURFACE ELEVATION AT THAT LOCATION. ACTUAL TBC ELEVATIONS SHALL BE FOUND BY ADJUSTING THE ELEVATION AS NOTED ON THE PLANS. REFER TO DETAIL 2 SHEET 601 FOR ALL CURB DETAILS.

REVISIONS	
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DSE/BJA
 DESIGNED BY:
BCT
 SCALE:
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06/06/2025

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HIGHLAND BLVD PLAN VIEW

SAWCUT REMOVE AND REPLACE EXISTING ASPHALT
 PROPOSED NEW AREAS OF ASPHALT
 (REFER TO SHEET 601 FOR PAVING SECTION DETAILS)



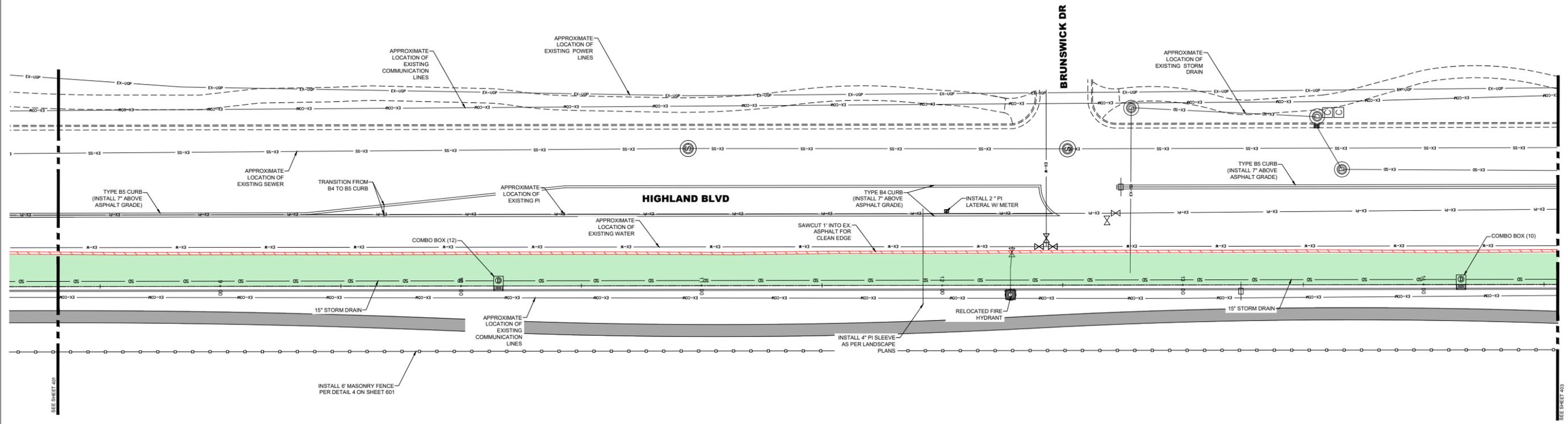
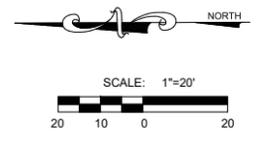
HIGHLAND BLVD PROFILE VIEW

HIGHLAND BLVD
 HIGHLAND, UTAH

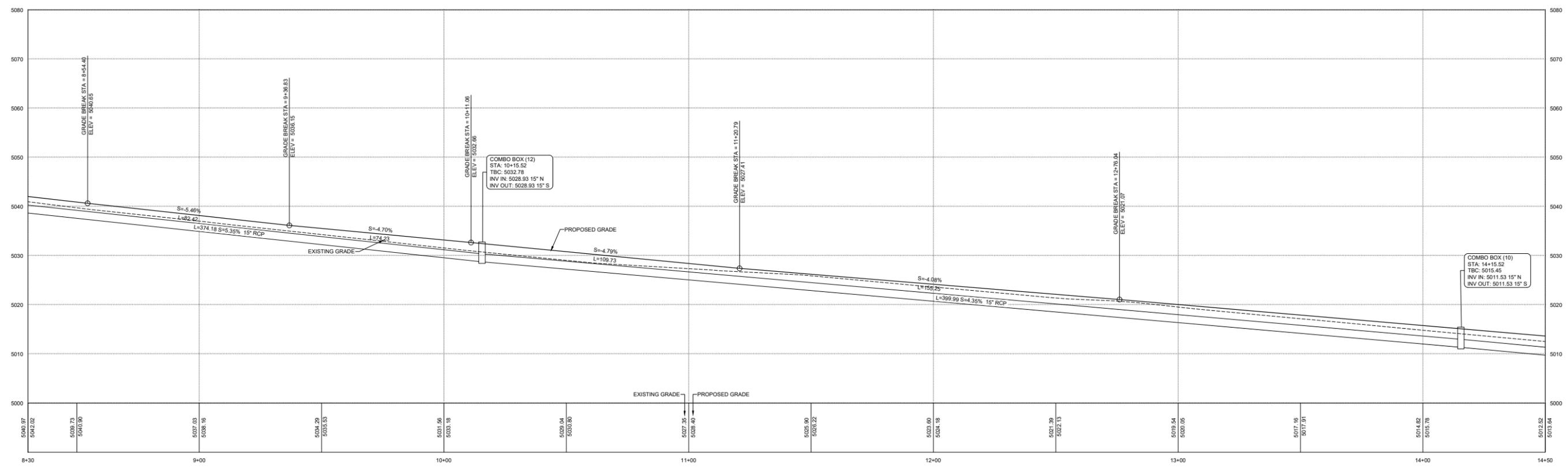
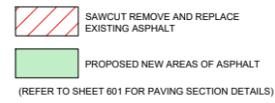
HIGHLAND BLVD PLAN AND PROFILE STA 2+00.00 - STA 8+30.00

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HIGHLAND BLVD PLAN VIEW



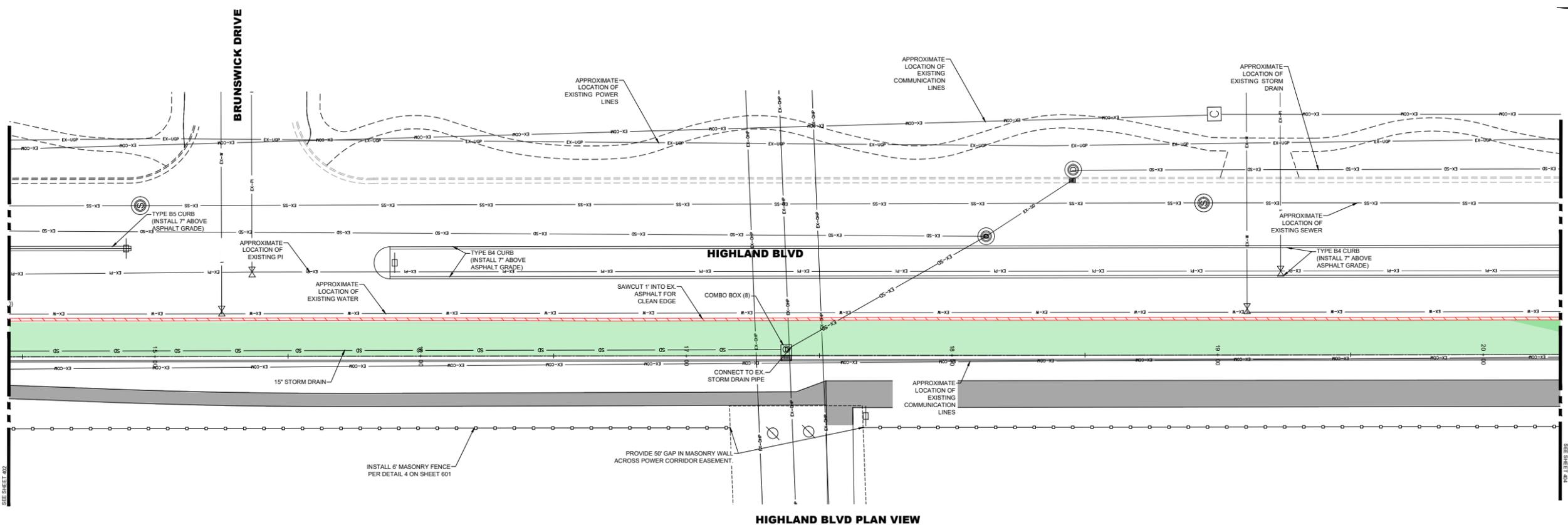
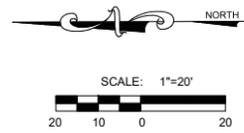
HIGHLAND BLVD PROFILE VIEW

HIGHLAND BLVD
 HIGHLAND, UTAH
 HIGHLAND BLVD PLAN AND PROFILE STA 8+30.0 - STA 14+50.00

REVISIONS

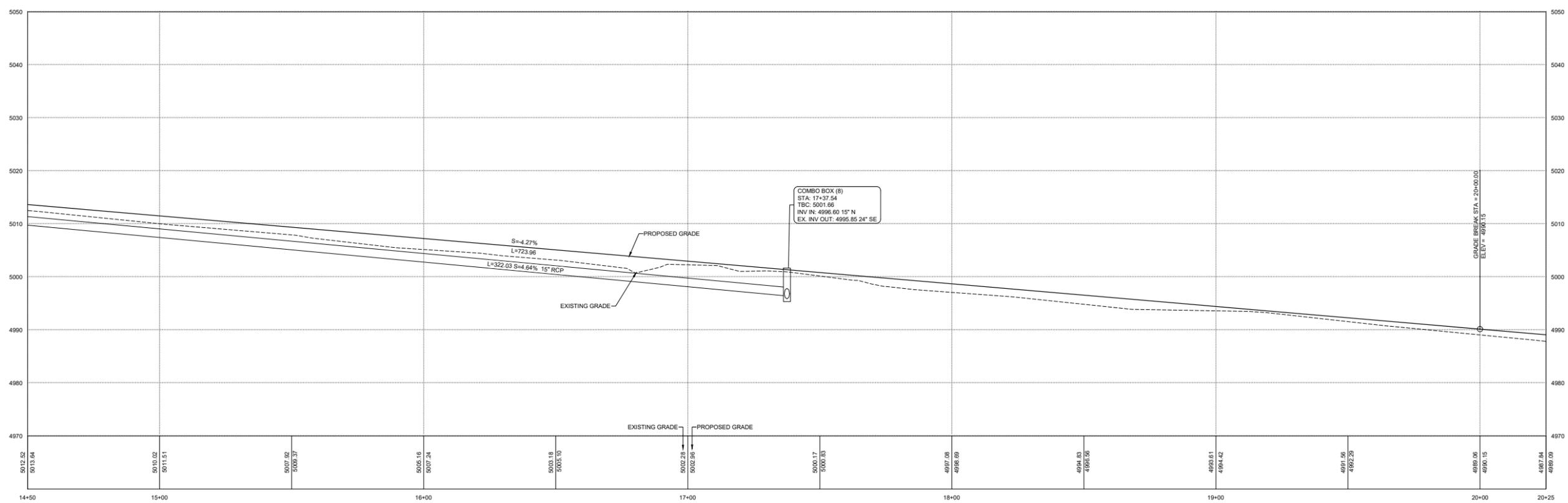
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HIGHLAND BLVD PLAN VIEW

SAWCUT REMOVE AND REPLACE EXISTING ASPHALT
 PROPOSED NEW AREAS OF ASPHALT
 (REFER TO SHEET 601 FOR PAVING SECTION DETAILS)



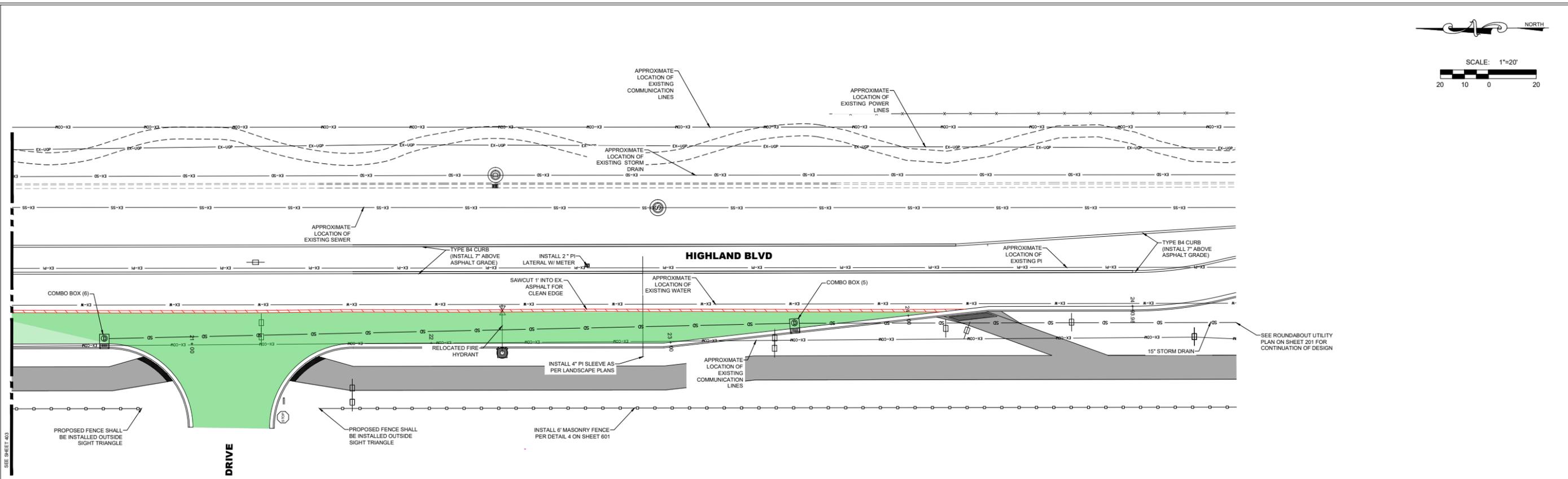
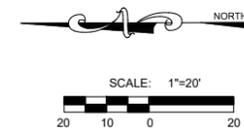
HIGHLAND BLVD PROFILE VIEW

HIGHLAND BLVD
 HIGHLAND, UTAH

HIGHLAND BLVD PLAN AND PROFILE STA: 14+50.00 - 20+25.00

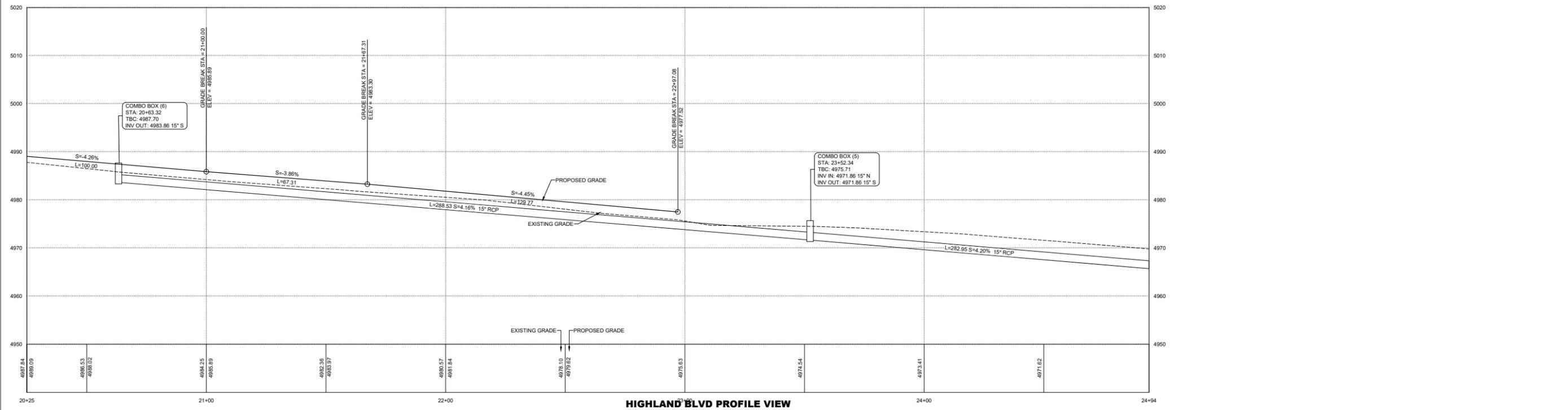
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2020-0067
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06/06/2025



HIGHLAND BLVD PLAN VIEW

SAWCUT REMOVE AND REPLACE EXISTING ASPHALT
 PROPOSED NEW AREAS OF ASPHALT
 (REFER TO SHEET 601 FOR PAVING SECTION DETAILS)



HIGHLAND BLVD PROFILE VIEW

HIGHLAND BLVD
 HIGHLAND, UTAH
 HIGHLAND BLVD PLAN AND PROFILE STA 20+25.00 - STA 24+94.00

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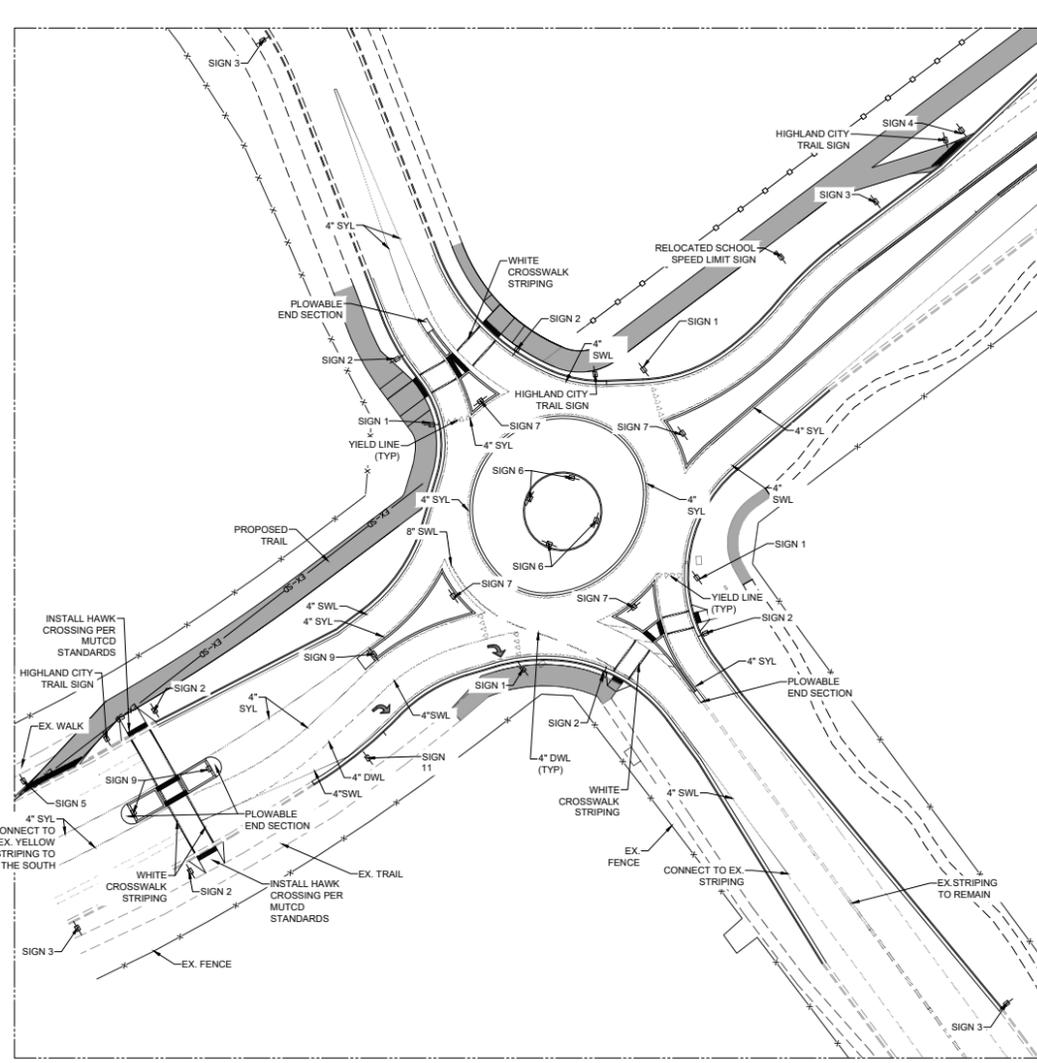


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 SURVEYORS
 PLANNERS**

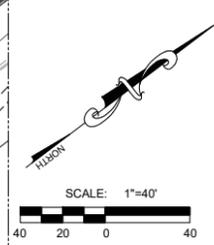
3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com



HIGHLAND BLVD
 HIGHLAND, UTAH
SIGNAGE & STRIPING PLAN

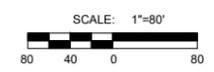
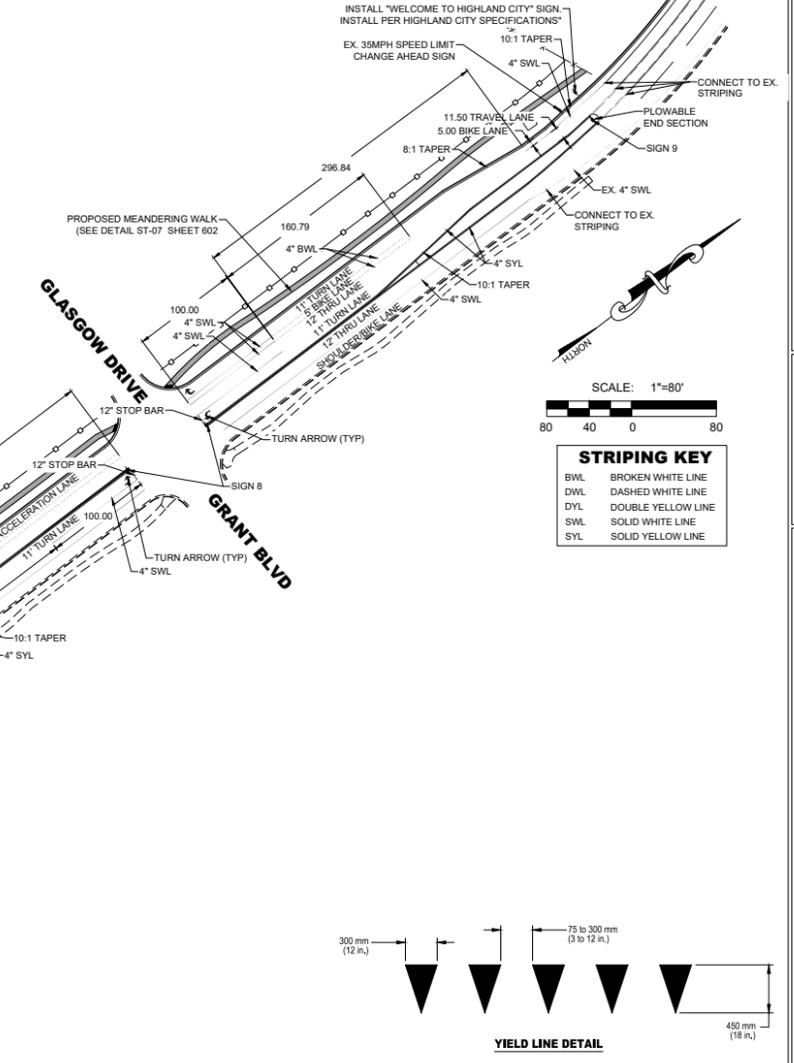


ROUNDABOUT DETAIL



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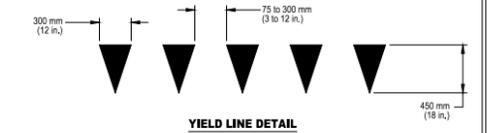
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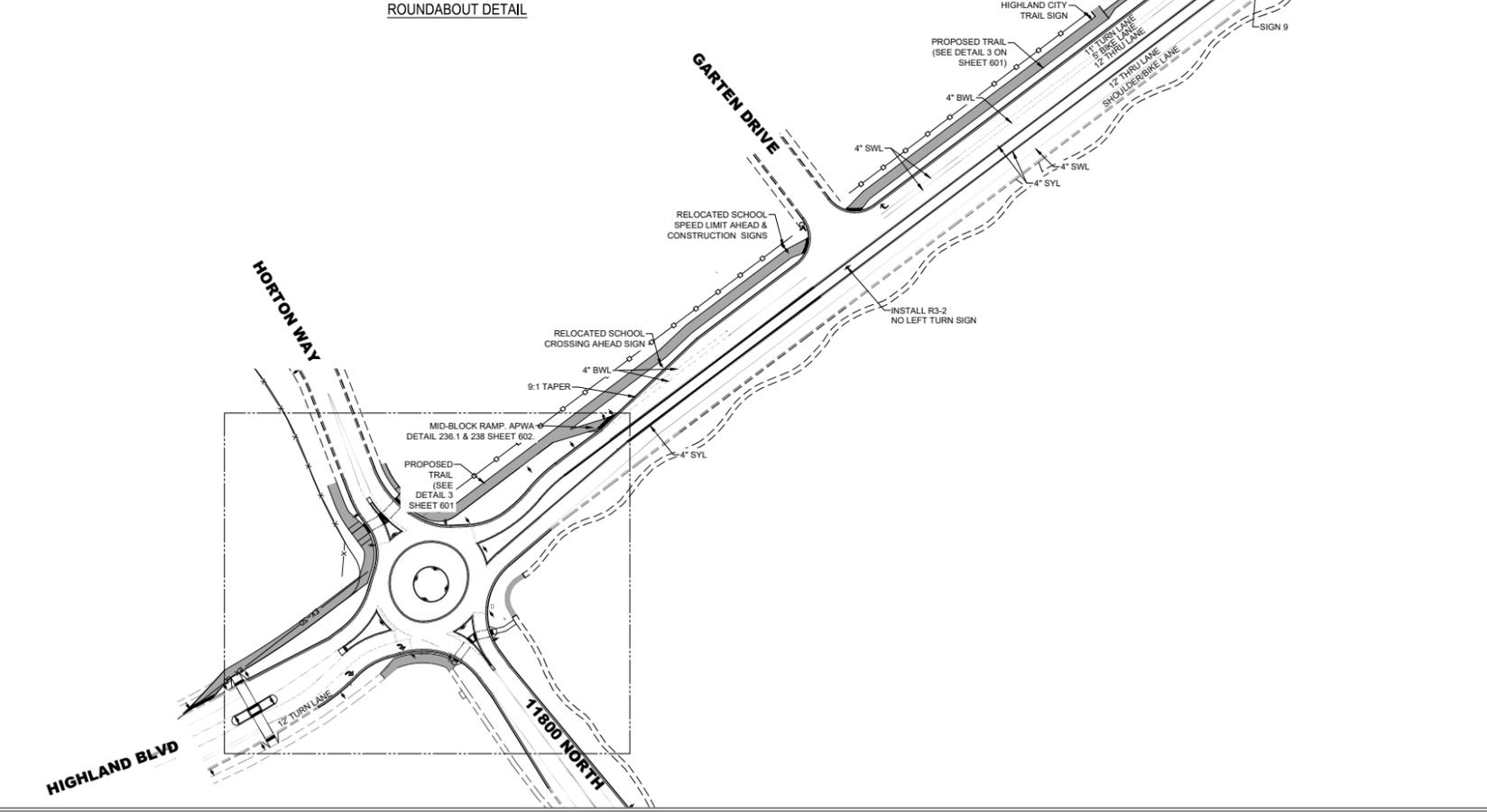
SCALE: 1"=80'

STRIPING KEY

BWL	BROKEN WHITE LINE
DWL	DASHED WHITE LINE
DYL	DOUBLE YELLOW LINE
SWL	SOLID WHITE LINE
SYL	SOLID YELLOW LINE



YIELD LINE DETAIL



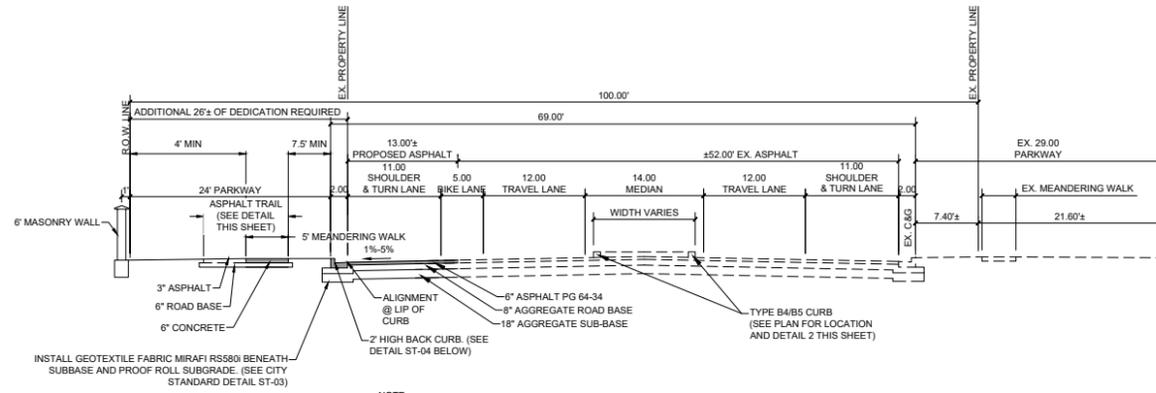
SIGN 1		R1-2 REQ'D, TYP.	SIGN 4		D11-1 REQ'D, TYP.	SIGN 8		R4-7C REQ'D, TYP.
		W2-6 REQ'D, TYP.			M7-1R REQ'D, TYP.			
SIGN 2		W11-2 REQ'D, TYP.	SIGN 5		D11-1 REQ'D, TYP.	SIGN 9		OM3-L REQ'D, TYP.
		M7-1L REQ'D, TYP.			M7-1L REQ'D, TYP.			
SIGN 3		W2-6 REQ'D, TYP.	SIGN 6		R6-1R REQ'D, TYP.	SIGN 10		W5-1 REQ'D, TYP.
		D3-1,1A REQ'D, TYP.	SIGN 7		D3-1,1A REQ'D, TYP.	SIGN 11		R3-5R REQ'D, TYP.

REVISIONS

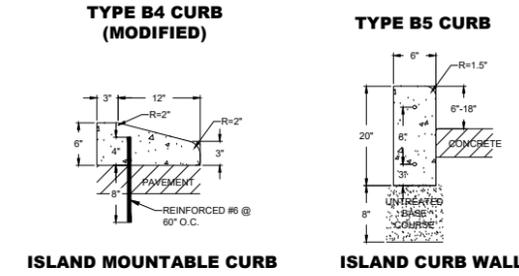
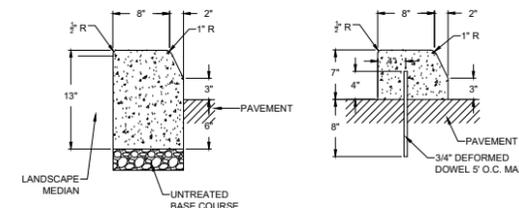
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LEI PROJECT #:
2020-0067
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DSE/BJA
 DESIGNED BY:
BCT
 SCALE:
1"=80'
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06/06/2025

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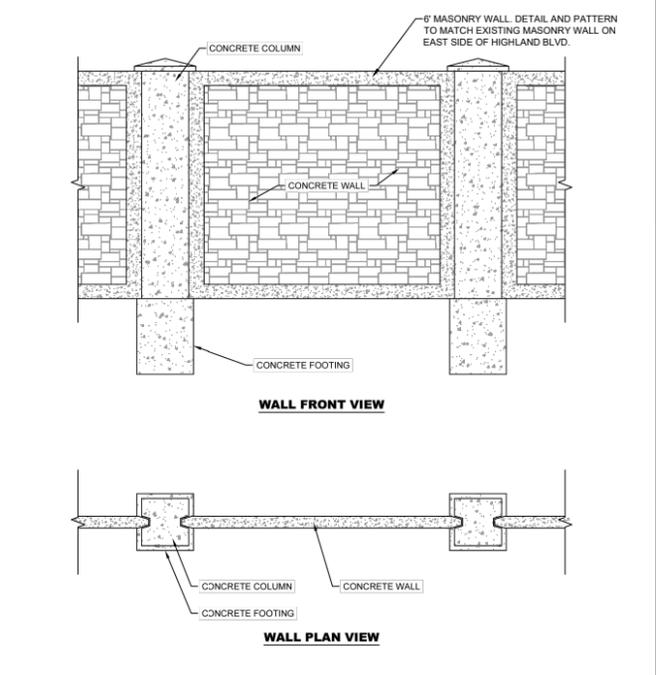
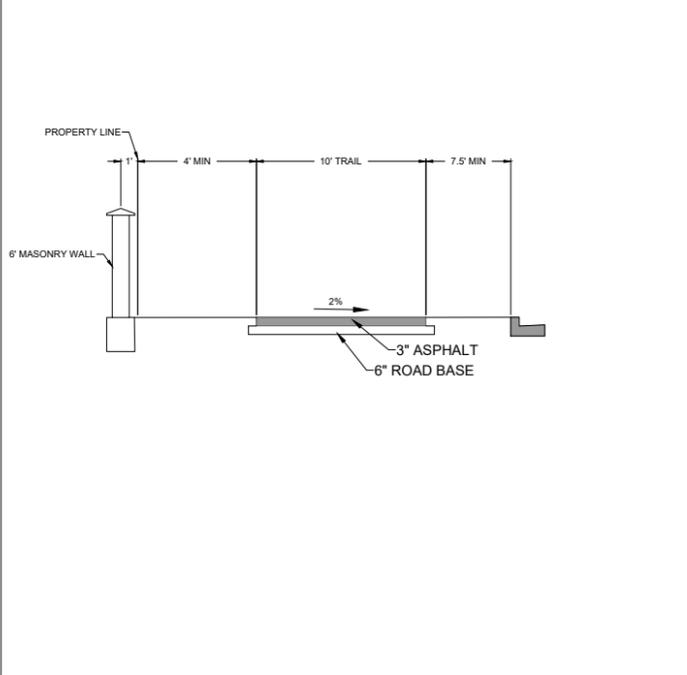


- NOTE:
1. MEANDERING WALK OR TRAIL TO MAINTAIN MINIMUM SPACING DIMENSIONS AS SHOWN ABOVE AND AS SHOWN ON DETAILS BELOW.
 2. CBR VALUE OF 4.0 WAS USED IN THIS DESIGN. (REFER TO GEOTECHNICAL STUDY)
 3. ASPHALT TO BE PG 64-34 PER CITY STANDARDS DETAIL ST-03



1 100' ROW - MAJOR COLLECTOR (HIGHLAND BLVD)

2 CURB AND GUTTER DETAILS



3 TRAIL DETAIL

4 MASONRY WALL DETAIL

LEI
 A Utah Corporation
ENGINEERS
SURVEYORS
PLANNERS
 3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com



HIGHLAND BLVD
 HIGHLAND, UTAH
DETAILS 1

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LEI PROJECT #: **2020-0067**
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 DESIGNED BY: **BCT**
 SCALE: **NONE**
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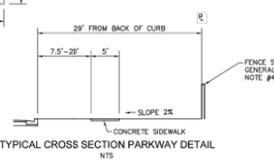
GENERAL NOTES:

- THE PARKWAY IS DESIGNED AS A 29 FOOT WIDE STRIP WITH A 5 FOOT MEANDERING SIDEWALK INCLUDING THE FOLLOWING:
 - THE LENGTH OF THE PARKWAY MUST BE REVEALED. THE PARKWAY PLANTING PLAN AND LAYOUT SHALL BE PROVIDED FOR REVIEW AS PART OF THE CITY PLAN APPROVAL PROCESS. DESIGN SHALL CONFORM TO CITY DESIGN STANDARDS FOUND IN THE LATEST DEVELOPMENT CODE. THE GROUND COVER IS REQUIRED TO BE 1-1/2" TO 2" SOUTHWEST COBBLE WITH 5/8" DIA. 3/4" MED. HARDER FABRIC. THE TREES WILL BE SPACED AN MINIMUM OF 10 FEET APART AND CLOSER THAN 7.5 FEET FROM THE CURB OR THE FENCE.
 - ALL TREES WILL BE AT LEAST 2 INCH CALIPER Girth & 18 INCH DBH AND BE PROPERLY STAKED. TREES WILL BE GUARANTEED BY THE DEVELOPER FOR 18 MONTHS AFTER PLANTING. TREE TYPES ARE TO BE APPROVED PER THE CITY TREE COMMITTEE. NO SUBSTITUTES MUST BE APPROVED BY HIGHLAND CITY.
 - THE BACK SIDE OF THE PARKWAY SHALL HAVE A 6 FOOT TYPICAL WALL FOR CITY DEVELOPMENT CODE. HEIGHT OF THE FENCE WILL BE MEASURED FROM THE SIDEWALK ELEVATION. FENCE IS OWNED AND MAINTAINED BY PROPERTY OWNER. TO BE PLACED EXTERIOR TO PROPERTY OWNER PROPERTY.
 - SIDEWALK SHOULD BE INSTALLED WITH GRADUAL CURVES IN A RANDOM, LESS STRUCTURED FORMAT.
 - THE PARKWAY SHALL BE GRADED AT A 2% SLOPE TOWARDS THE ROADWAY TO DIRECT ALL DRAINAGE TO THE ROAD/GUTTER.
- THE PLAN SHOWN ASSUMES THE HOMES FRONT IS NOT ALONG THE SIDE STREET. SHOULD HOME FRONT SIDE STREET A FENCE IS NOT ALLOWED ON THE SIDE STREET PER CITY DEVELOPMENT CODE.



NOTE:

- THE PLAN SHOWN ASSUMES THE HOMES FRONT IS NOT ALONG THE SIDE STREET. SHOULD HOME FRONT SIDE STREET A FENCE IS NOT ALLOWED ON THE SIDE STREET PER CITY DEVELOPMENT CODE.



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PRESSURIZED IRRIGATION NOTES:

- ALL LATERALS SHALL BE STAMPED WITH "I" ON THE CURB AT THE LATERAL LOCATION.
- MAIN PRESSURIZED IRRIGATION (PI) LINES
 - THE SUBGRADE AND/OR SUB-BASE SHALL BE AT ITS FINAL DESIGN ELEVATION BEFORE THE INSTALLATION OF THE WATER MAINS.
 - ALIGNMENT AND ELEVATION (FROM TRIC) STAKING SHALL BE PROVIDED EVERY TWENTY-FIVE (25) FEET BY A SURVEYOR LICENSED IN THE STATE OF UTAH PRIOR TO INSTALLATION OF THE WATER MAIN. ANY EXCEPTIONS MUST BE APPROVED IN WRITING BY THE WATER SUPERINTENDENT.
 - PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.
- THE PIPE SHALL BE PLUGGED AT THE END OF EACH WORK DAY, OR PERIOD OF WORK SUSPENSION.
- VALVES
 - ALL VALVES SHALL HAVE MECHANICAL JOINT (MJ) TO THE MAIN.
 - VALVE BOXES AND COVERS SHALL BE PROPERLY ALIGNED AND FULLY SERVICEABLE.
 - VALVE STANDS SHALL HAVE A CONCRETE COLLAR.
- THRUST BLOCKS
 - THE CAVITY OF THE THRUST BLOCK SHALL BE INSPECTED PRIOR TO THE PLACEMENT OF CONCRETE.
 - ENGINEERED THRUST BLOCKS, STAMPED BY A PROFESSIONAL ENGINEER, SHALL BE PROVIDED IN NON-TYPICAL SITUATIONS, INCLUDING BEARING AGAINST FULL AND NOT UNDISTURBED SOIL.
 - THE INSPECTOR SHALL BE ON SITE FOR THE FOUR OF THE THRUST BLOCK.
 - A CONCRETE WEIGH TICKET OR BATCH TICKET SHALL BE REQUIRED.
- LOADING AND TESTING
 - PI LINE LOADING SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
 - ALL WATER LINES MUST PASS A HYDROSTATIC PRESSURE TEST OF TWO HUNDRED (200) POUNDS PER SQUARE INCH (PSI), OR ONE-HUNDRED TWENTY-FIVE (125) PERCENT OF THE WORKING PRESSURE, WHICHEVER IS GREATER, FOR A PERIOD OF TWO (2) HOURS.
- SERVICE TAPS
 - IRRIGATION BOXES WILL BE PLACED ONE FOOT BEHIND THE SIDEWALK.
 - BEFORE SERVICES ARE TAPPED, CUT STAKES MUST BE INSTALLED WITHIN FIVE (5) FEET OF THE FINAL CAN PLACEMENT. CUT STAKES SHALL SHOW THE TOP BACK OF CURB LOCATION AND ELEVATION.
 - ALL SERVICE FITTINGS WILL BE BRASS AND INSTALLED BY THE CONTRACTOR.
 - SADDLES WILL BE TIGHTENED WITH A TORQUE WRENCH AND MEET THE PIPE MANUFACTURER'S RECOMMENDATIONS.

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NOTE:
CONTRACTOR JOINTS EVERY 10' MAXIMUM AND EXPANSION JOINTS EVERY 50' MAXIMUM. CONCRETE TO HAVE 7-DAY CURE BEFORE PLACING ADJACENT ASPHALT OR BACKFILL.

24" CURB AND GUTTER DETAIL

*CURB STAMPS FOR ALL UTILITIES AT LATERAL LOCATION

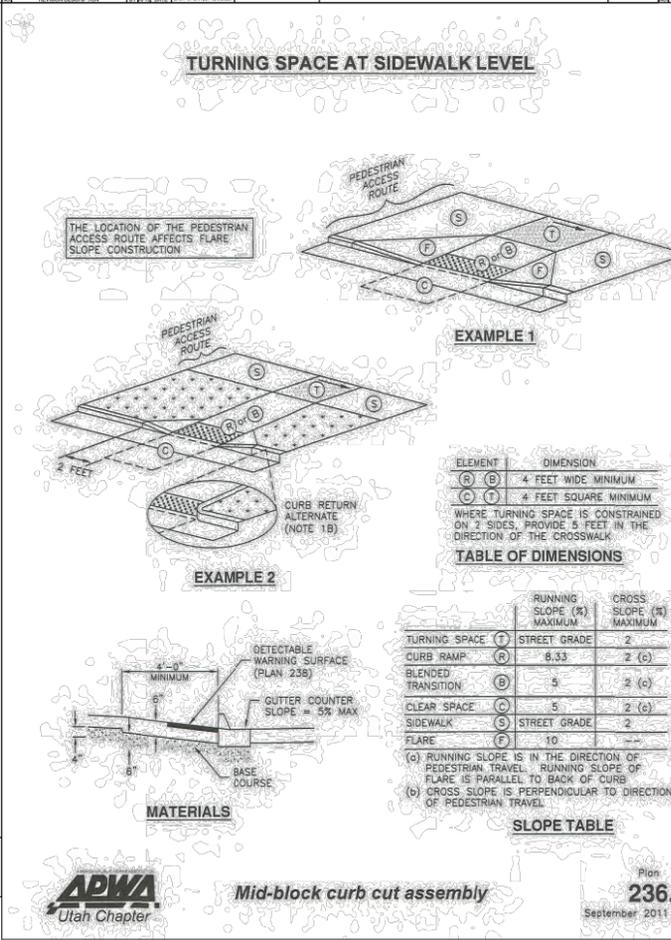
- "S" - SEWER
- "W" - DRINKING WATER
- "PI" - PRESSURIZED IRRIGATION
- "U" - UTILITIES CONDUIT

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SANITARY SEWER NOTES:

- CONTRACTOR TO COMPLY WITH STATE OF UTAH ADMIN CODE 8317-3-2 SEWERS. SEWERS SHALL BE LAD AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- SANITARY SEWER CUT SHEETS SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BY THE CITY ENGINEER PRIOR TO STARTING ON THE SEWER.
- AN APPROVED STAMPED COPY SHALL BE ON-SITE DURING CONSTRUCTION.
- "TYPING" SPECIAL SERVICE DISTRICT (TSSD) REQUIRES AN APPLICATION AND APPROVAL FOR CONNECTION TO THEIR SEWER LINES - AN APPLICATION SUBMITTED BY HIGHLAND CITY.
- IDENTIFICATION OF SEWER LINES - A CLEARLY LABELED TRACER LOCATION TAPE SHALL BE PLACED TWO (2) FEET ABOVE THE TOP OF SEWER LINES LESS THAN OR EQUAL TO TWENTY-FOUR (24) INCHES IN DIAMETER ALONG ITS ENTIRE LENGTH.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPES. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE FOR AT LEAST THIRY (30) DAYS.
- NO PIPE SHALL SHOW A DEFLECTION IN EXCESS OF 8 PERCENT.
- ALL SEWER LINES SHALL BE FLUSHED (FLUSHING BALL) AND TELEVIEWED AFTER THE FINAL ROAD BASE HAS BEEN INSTALLED AND GRADED, AND BEFORE THE PLACEMENT OF ASPHALT.
- A COPY OF THE TELEVIEWED SHEET ON DVD SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT BEFORE THE RELEASE OF ANY SEWER BOND MONEY AND/OR BEFORE THE FINAL WARRANTY PERIOD CAN BEGIN.
- THE SEWER LATERAL RECORD SHEET SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT BEFORE THE RELEASE OF ANY SEWER BOND MONEY AND/OR BEFORE THE FINAL WARRANTY PERIOD CAN BEGIN.
- PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.
- THE PIPE SHALL BE PLUGGED AT THE END OF EACH WORK DAY, OR PERIOD OF WORK SUSPENSION.
- LEAKAGE TESTS. PROCEDURES FOR LEAKAGE TESTS SHALL BE SPECIFIED. THIS MAY INCLUDE APPROPRIATE WATER OR LOW PRESSURE AIR TESTING. THE LEAKAGE OUTWARD OR INWARD (EXFILTRATION OR INFILTRATION) SHALL NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER HOUR FOR ANY ONE INCH OF THE SYSTEM. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET. THE AIR TEST, IF USED, SHALL AS A MINIMUM CONFORM TO THE TEST PROCEDURE DESCRIBED IN THE AMERICAN SOCIETY OF TESTING MATERIALS STANDARDS. THE TESTING METHODS SELECTED SHOULD TAKE INTO CONSIDERATION THE RANGE IN GROUND WATER ELEVATIONS PROJECTED DURING THE TEST.

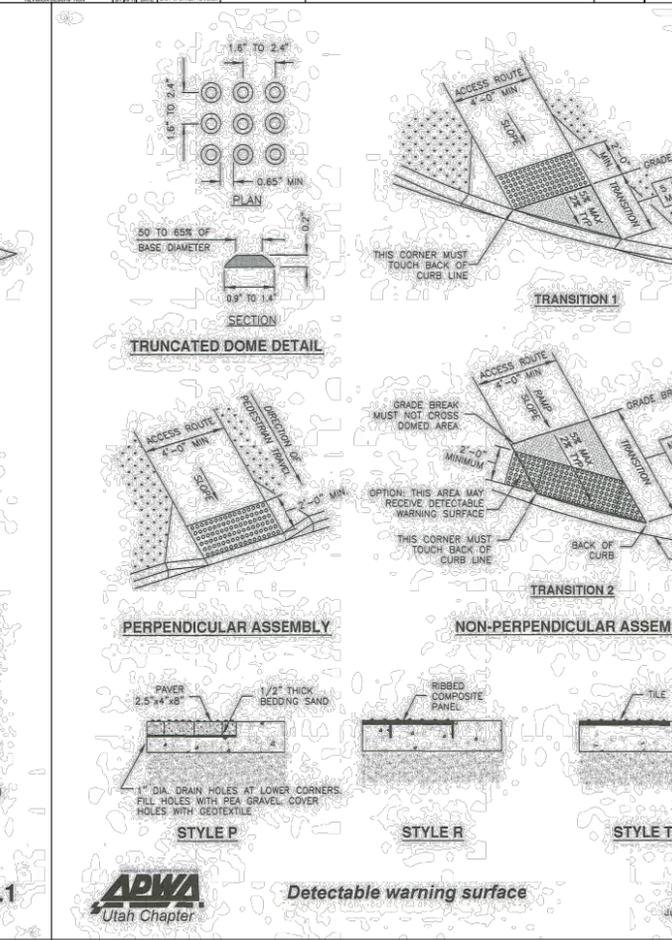
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DRINKING WATER NOTES:

- ALL SURFACES, COATINGS, PIPES, FITTINGS, PROTECTIVE MATERIALS, SEALING MATERIALS AND MECHANICAL DEVICES THAT MAY COME INTO CONTACT WITH DRINKING WATER SHALL COMPLY WITH ANSI/NSF STANDARD 61 OR OTHER STANDARDS APPROVED BY UTAH DIVISION OF DRINKING WATER.
- IF ANY DISCREPANCIES EXIST BETWEEN HIGHLAND CITY STANDARDS OR SPECIFICATIONS AND THE UTAH DIVISION OF DRINKING WATER (DOW) RULES, THE DOW RULES SHALL TAKE PRECEDENCE.
- CONTACT HIGHLAND CITY AT LEAST 72 HOURS IN ADVANCE OF ALL WATER SHUTDOWNS.
- CONTRACTOR SHALL NOT HOLE UTILITIES AT ALL CROSSINGS SUFFICIENTLY IN ADVANCE OF LAYING PIPE TO ALLOW FOR ADJUSTMENTS OF NEW PIPELINE GRADE TO AVOID CONFLICTS.
- CONTRACTOR TO PROVIDE TEMPORARY BLOW OFF VALVES, HYDRANT & FITTINGS TO FLUSH NEW PIPELINES. PROVIDE PLAN TO CITY FOR APPROVAL BEFORE BEGINNING FLUSHING.
- DEFLECTION IN PIPE JOINTS SHALL NOT EXCEED 5 DEGREES FOR DUCTILE IRON PIPE, 1 DEGREE FOR PVC PIPE OR MANUFACTURER'S PUBLISHED DEFLECTIONS.
- PROVIDE CONCRETE THRUST BLOCKS AND JOINT SEPARATORS ON ALL BENDS, FITTINGS & VALVES, UNLESS SPECIFIED OTHERWISE. ALL FITTINGS THAT REQUIRE CONCRETE BLOCKING SHOULD BE COMPLETELY WRAPPED PRIOR TO THE POURING OF THE CONCRETE THRUSTING BLOCK.
- ELEVATIONS OF EXISTING WATER LINES ARE UNKNOWN. CONTRACTOR SHALL PROTECT EXISTING WATER LINES AT CONNECTIONS TO VERIFY LOCATION AND ELEVATION. MODIFICATIONS TO CONNECTION DETAILS MAY BE REQUIRED, BASED ON THE INFORMATION OBTAINED.
- MAIN WATER LINES
 - THE SUBGRADE AND/OR SUB-BASE SHALL BE AT ITS FINAL DESIGN ELEVATION BEFORE THE INSTALLATION OF THE WATER MAINS.
 - ALIGNMENT AND ELEVATION (FROM TRIC) STAKING SHALL BE PROVIDED EVERY TWENTY-FIVE (25) FEET BY A SURVEYOR LICENSED IN THE STATE OF UTAH PRIOR TO THE INSTALLATION OF THE WATER MAIN. ANY EXCEPTIONS MUST BE APPROVED IN WRITING BY THE CITY ENGINEER OR DESIGNER.
 - PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.
 - THE PIPE SHALL BE PLUGGED AT THE END OF EACH WORK DAY, OR PERIOD OF WORK SUSPENSION.
 - CONTRACTOR TO COMPLY WITH STATE OF UTAH ADMIN CODE 8317-3-2 SEWERS. DRINKING WATER MAINS SHALL BE LAD AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING SEWER. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- VALVES
 - ALL VALVES SHALL BE FLANGED TO THE MAIN, INCLUDING FIRE HYDRANT BRANCH LINES.
 - VALVE BOXES AND COVERS SHALL BE PROPERLY ALIGNED AND FULLY SERVICEABLE.
 - VALVE STANDS SHALL BE CONCRETE COLLARED.
 - VALVE LIDS SHALL BE LABELED WATER.
- THRUST BLOCKS
 - THE CAVITY OF THE THRUST BLOCK SHALL BE INSPECTED PRIOR TO THE PLACEMENT OF CONCRETE.
 - ENGINEERED THRUST BLOCKS, STAMPED BY A PROFESSIONAL ENGINEER, SHALL BE PROVIDED FOR NON-TYPICAL CONDITIONS AND WHEN NOT BEARING AGAINST UNDISTURBED SOILS.
 - THE CITY INSPECTOR SHALL BE ON SITE FOR THE FOUR OF THE THRUST BLOCK.
 - A CONCRETE WEIGH TICKET OR BATCH TICKET SHALL BE REQUIRED.
- LOADING AND TESTING
 - WATER LINE LOADING SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
 - ALL WATER LINES MUST PASS A HYDROSTATIC PRESSURE TEST OF TWO HUNDRED (200) POUNDS PER SQUARE INCH (PSI), OR ONE-HUNDRED TWENTY-FIVE (125) PERCENT OF THE WORKING PRESSURE, WHICHEVER IS GREATER, FOR A PERIOD OF TWO (2) HOURS.
 - LEAKAGE AND PRESSURE TESTING MUST BE COMPLETED AFTER DISINFECTION PROCEDURES AND TESTING.
 - ALL DRINKING WATER PIPING SHALL BE DISINFECTED USING AN APPROVED DISINFECTION METHOD IN ACCORDANCE WITH THE "AMERICAN WATER WORKS ASSOCIATION STANDARD FOR DISINFECTING WATER MAINS" (AWWA C651). DISINFECTING MATERIALS SHALL CONSIST OF LIQUID CHLORINE, SODIUM HYPOCHLORITE SOLUTION, OR CALCIUM HYPOCHLORITE GRANULES OR TABLETS.
 - HEAVILY CHLORINATED WATER SHALL NOT BE DISCHARGED ONTO THE GROUND. UPON COMPLETION OF DISINFECTION, SODIUM BISULFATE (NAHSO3) SHALL BE APPLIED TO THE HEAVILY CHLORINATED WATER TO NEUTRALIZE THOROUGHLY THE CHLORINE RESIDUAL REMAINING. WATER SHALL BE NEUTRALIZED TO LESS THAN 1 PPM TOTAL CHLORINE RESIDUAL.
 - AFTER APPROVAL OF DISINFECTION, CONTRACTOR SHALL FLUSH THE NEW SYSTEM AND MAINTAIN A FLOW OF 2.5 FPS UNTIL THE CHLORINE RESIDUAL IS A MAXIMUM OF 0.3 PPM UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
 - ONE WEEK AFTER FINAL FLUSHING AND BEFORE CONNECTING TO THE DISTRIBUTION SYSTEM, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES, TAKEN AT LEAST 24 HOURS APART, SHALL BE COLLECTED FROM THE PIPELINE EVERY 1200 FEET, MINIMUM, OR AT EACH FIRE HYDRANT. ALL SAMPLES SHALL BE TESTED FOR BACTERIOLOGICAL, CHEMICAL AND PHYSICAL QUALITY IN ACCORDANCE WITH "STANDARD METHODS FOR EXAMINATION OF WATER AND WASTEWATERS" AND SHALL SHOW THE ABSENCE OF COLIFORM ORGANISMS. IF THE FINAL DISINFECTION FAILS TO PROVIDE SATISFACTORY BACTERIOLOGICAL RESULTS, OR SHOWS THE PRESENCE OF COLIFORMS, THEN THE LINE SHALL BE RE-CHLORINATED, FLUSHED, AND RE-TESTED UNTIL SATISFACTORY RESULTS ARE OBTAINED AT THE EXPENSE OF THE CONTRACTOR.
- METERS AND SERVICE TAPS
 - WATER METER SERVICE GANS SHALL BE PLACED IN THE PARK STRIPS.
 - BEFORE SERVICES ARE TAPPED, CUT STAKES MUST BE INSTALLED WITHIN FIVE (5) FEET OF THE FINAL CAN PLACEMENT. CUT STAKES SHALL SHOW THE TOP BACK OF THE CURB LOCATION AND ELEVATION. STAKING FOR COU-DE-SAC AND BULK/PAVEMENT STREETS WILL REQUIRE A RADUS POINT TO BE STAKED.
 - THE CONTRACTOR WILL TAP MAINS AND SET METER BOXES TO ESTABLISHED GRADES.
 - SERVICE LATERAL SHALL BE A MINIMUM OF TEN (10) FEET OFFSET FROM SEWER LATERALS.
 - PUBLIC WORKS DEPARTMENT - WATER DIVISION WILL SUPPLY AND INSTALL THE WATER METERS.
- FIRE HYDRANTS
 - HYDRANTS SHALL BE PLACED IN THE PARK STRIP AND ON PROPERTY LINES.
 - HYDRANTS SHALL BE PLACED A MINIMUM OF 5' FROM OTHER OBJECTS, WITH THRUSH BLOCK PLACED AGAINST NATVE SOILS.

THIS DOCUMENT AND ANY ATTACHED DRAWINGS ARE PROVIDED AS A GUIDE ONLY. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. HIGHLAND CITY ENGINEERING SHALL NOT BE HELD LIABLE FOR DAMAGE OR INJURY TO PERSONS OR PROPERTY RESULTING FROM THE USE OF THIS DOCUMENT.		HIGHLAND CITY PUBLIC WORKS AND ENGINEERING DRINKING WATER NOTES	STD DWG # DW-00
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REVISIONS
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4 -
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6 -

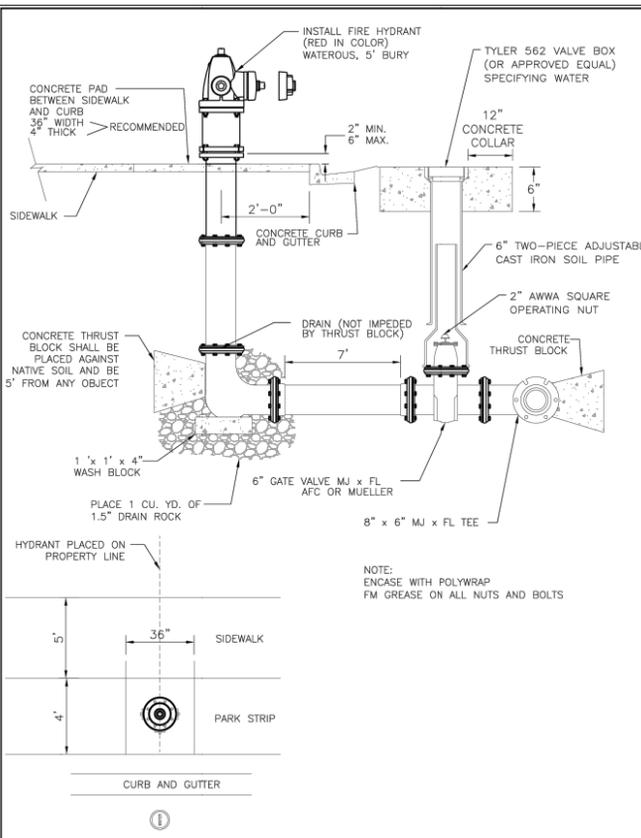
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2020-0067

DRAWN BY:
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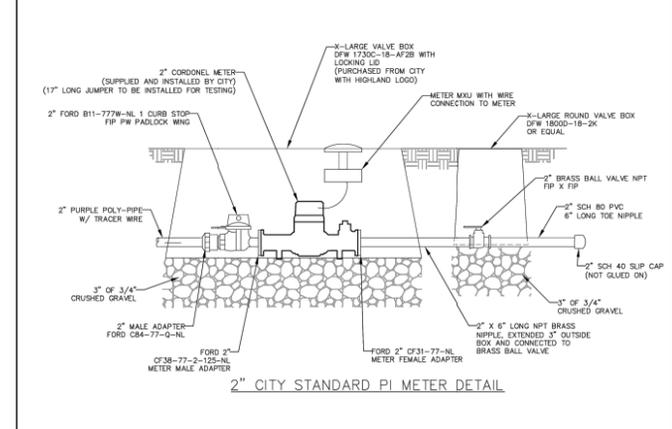
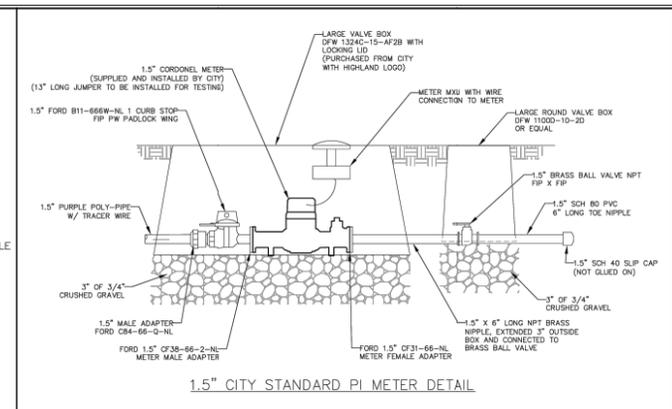
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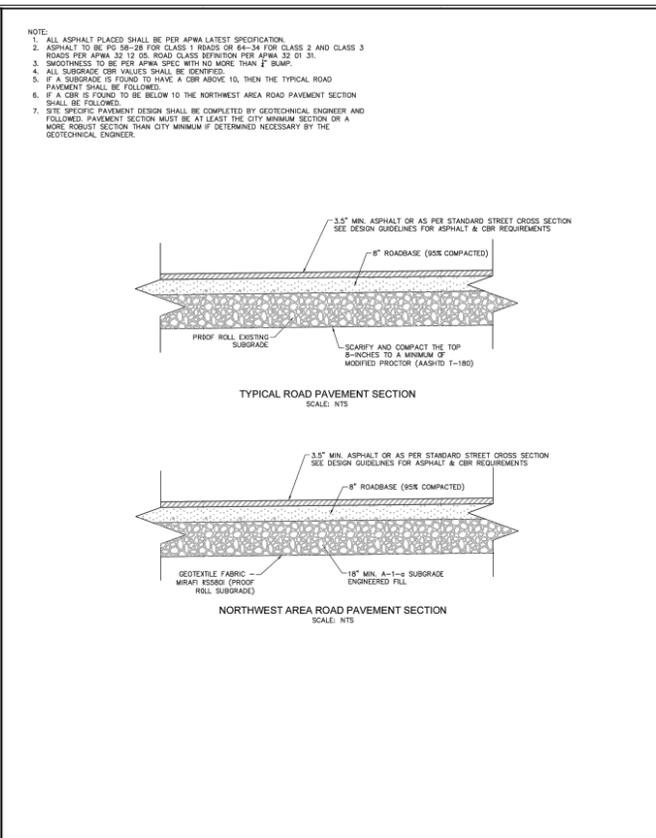
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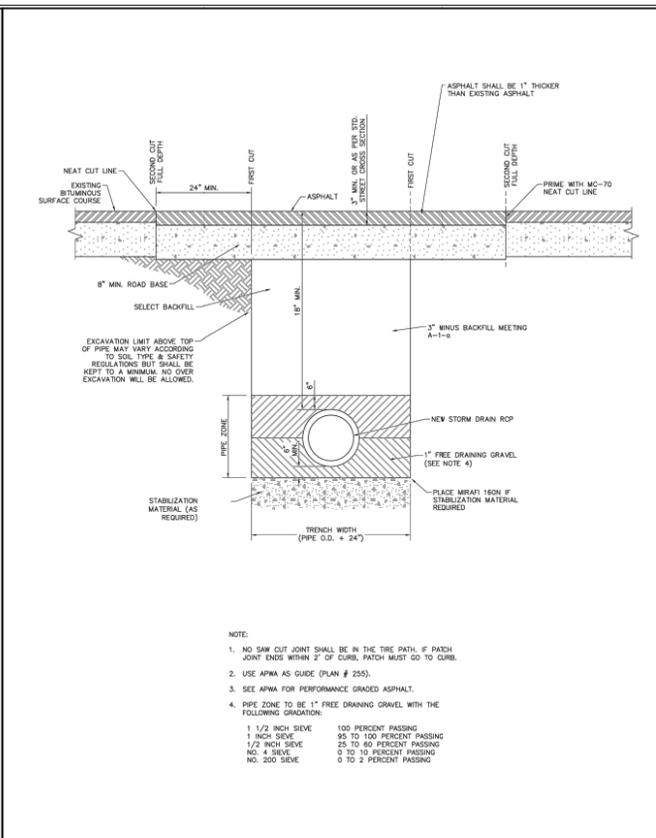
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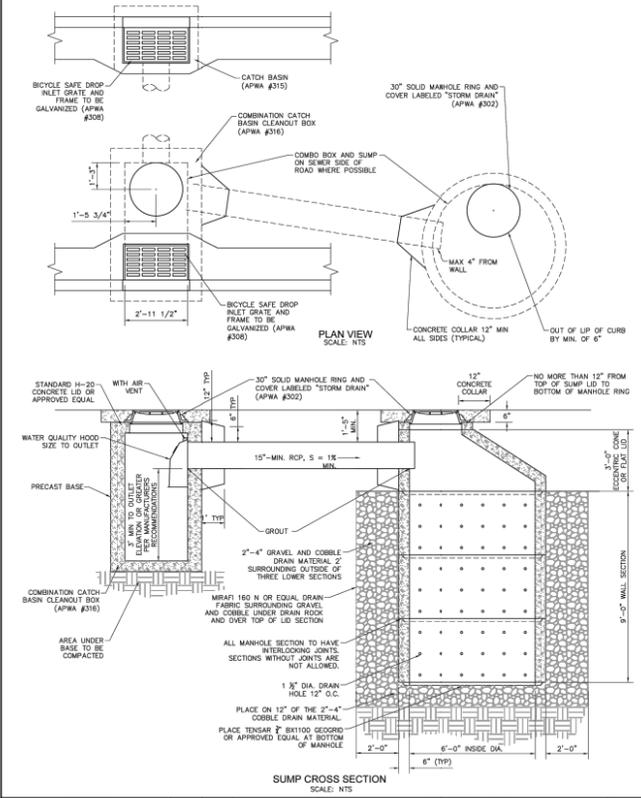
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REVISION	DATE	DESCRIPTION



REVISION	DATE	DESCRIPTION



REVISION	DATE	DESCRIPTION



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06/06/2025

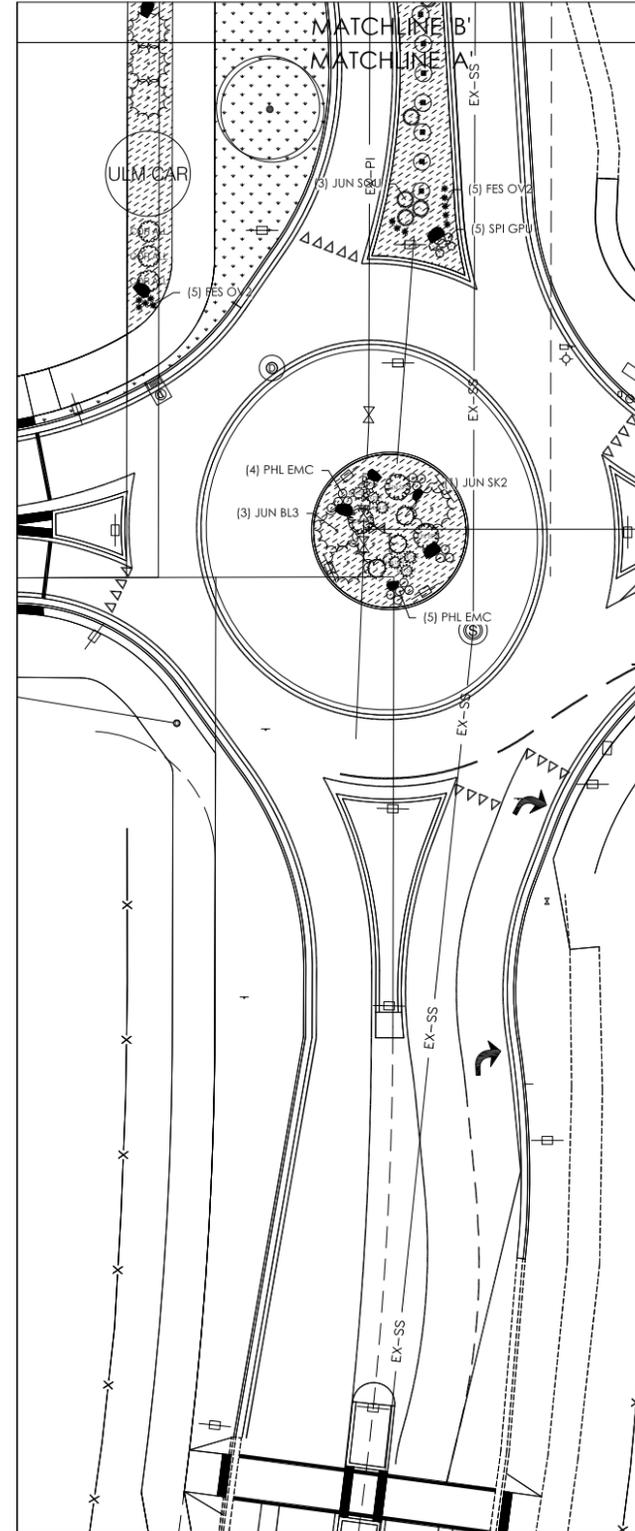
INVERNESS

HIGHLAND BLVD LANDSCAPE PLAN

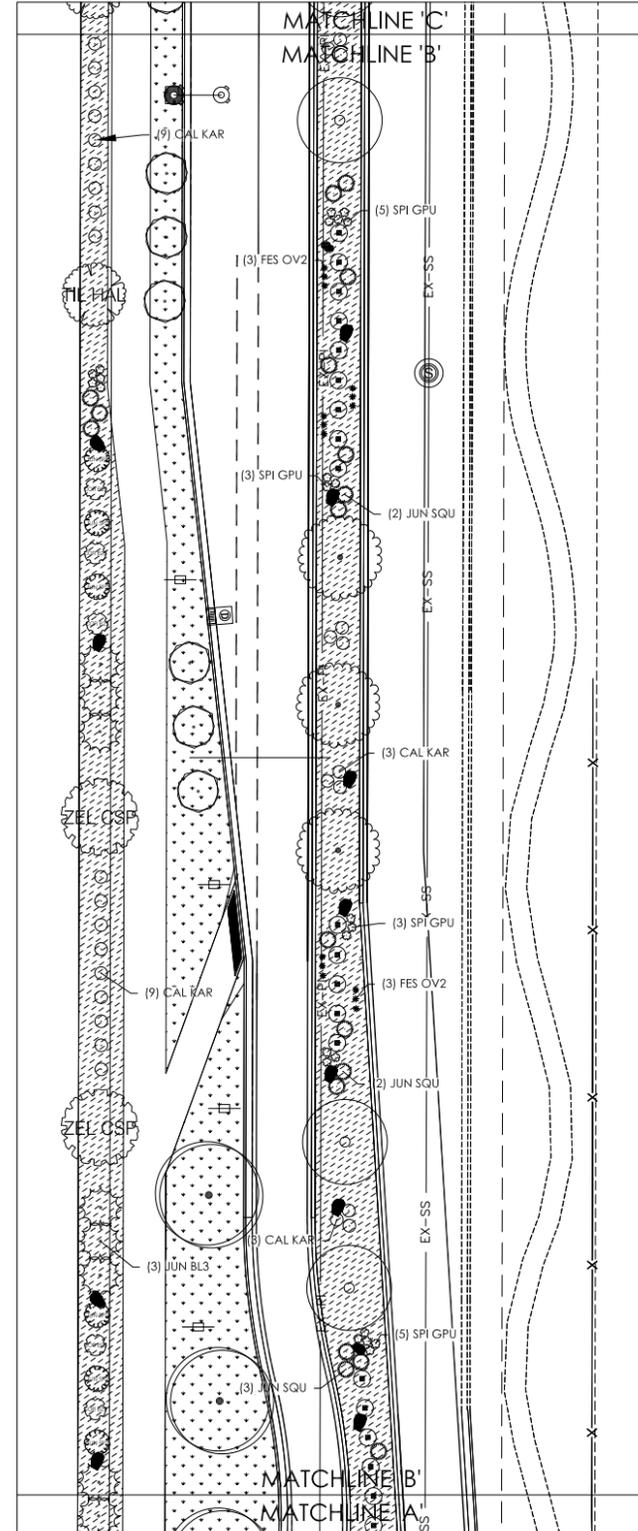
DATE: 05/23/2025
 PROJ. NAME: INVERNESS - MICRON
 DESIGNED BY: MORGAN KOLLMAN
 CHECKED BY: GREG HAWS
 DWG: INVERNESS HIGHLAND BLVD
 SCALE: 1" = 20'



LP1A



LP1B



HIGHLAND BLVD PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
TREES					
	JUN SP2	Juniperus chinensis 'Spartan' / Spartan Juniper	4' Ht.	18	15' H x 6' W
	JUN SK2	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	4' Ht.	3	20' H x 5' W
	MAL SWW	Malus x 'JFS KW213MX' / Raspberry Spear® Crabapple	2' Cal.	21	20' H x 8' W
	MAL SPR	Malus x 'Spring Snow' / Spring Snow Crabapple	2' Cal.	11	25' H x 15' W
	SYR PEK	Syringa pekinensis 'Morton' / China Snow® Peking Lilac	2' Cal.	21	20' H x 20' W
	SYR IVO	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2' Cal.	15	20' H x 20' W
	TIL HAL	Tilia cordata 'Halka' / Summer Sprite® Littleleaf Linden	2' Cal.	9	20' H x 15'
	ULM RUI	Ulmus davidiana japonica 'JFS-Bleberich' / Emerald Sunshine® Elm	2' Cal.	3	35' H x 25' W
	ULM CAR	Ulmus x 'Frontier' / Frontier Elm	2' Cal.	13	25' H x 15' W
	ZEL CSP	Zelkova serrata 'JFS-KW1' / City Sprite® Japanese Zelkova	2' Cal.	13	25' H x 18' W
SHRUBS					
	BUX DER	Buxus sempervirens 'Dee Runk' / Dee Runk Common Boxwood	#2	7	8' H x 3' W
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	#5	153	4-5' H x 2.5-3' W
	COR ALL	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	#2	15	5' H x 5' W
	COR B25	Cornus sericea 'Baileyi' / Bailey's Red Twig Dogwood	#2	15	7' H x 5' W
	FES OV2	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	#1	57	1' H x 1.5' W
	JUN BL3	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	#2	25	10' H x 10' W
	JUN SQU	Juniperus squamata 'Blue Carpet' / Blue Carpet Juniper	#2	59	1' H x 4' W
	PHL EMC	Phlox subulata 'Emerald Cushion Blue' / Emerald Cushion Blue Creeping Phlox	#1	15	4' H x 2' W
	PHL VP2	Phlox x 'Violet Pinwheels' / Violet Pinwheels Phlox	#1	12	5' H x 3' W
	PHY DON	Physocarpus opulifolius 'Donna May' / Little Devil™ Dwarf Ninebark	#5	80	4' H x 4' W
	SPI GPU	Spiraea japonica 'Yan' / Double Play® Gold Spirea	#2	83	2' H x 2' W
GROUND COVERS					
	TUR BLU	Turf Sod Bluegrass / Kentucky Bluegrass			6,115 sf
	GRA TYP	< 1 1/2" + Nephel Sandstone Southtown Cobble			31,411 sf

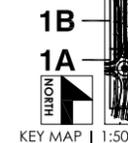
GENERAL NOTES: TREE SPECIES NOTED ON THESE LANDSCAPE PLANS ARE SUBJECT TO CHANGE. TO KEEP CONSISTENCY ON HIGHLAND BOULEVARD, LANDSCAPER TO MATCH EXISTING MEDIAN AND PARK STRIP/BEHIND ASPHALT TRAIL TREE SPECIES. PLEASE UTILIZE TREES ON THESE PLANS AS PLACEHOLDERS, WITH SPECIES TO CHANGE UPON CONFIRMATION OF EXISTING SPECIES ACROSS THE RIGHT-OF-WAY AT THE PROJECT LOCATION.

4" OF TOPSOIL REQ'D. TO BE TESTED W/ RESULTS SENT TO PARKS SUPERINTENDENT TO MEET MINIMUM TOPSOIL STANDARDS

FABRIC UNDER GRAVEL/COBBLE AREAS TO BE DEWIT PRO 5 OR SIMILAR APPROVED PRODUCT

SHRUB/UNDERSTORY SPECIES LISTED IN THE SCHEDULE ABOVE TO BE INSTALLED PER SPECIES/PER PLAN. TYPICAL GRAVEL ALSO TO MATCH EXISTING.

SCALE 1:20



REVISIONS:

DATE	DESCRIPTION
04/17/2025	CITY COMMENTS
05/23/2025	CITY COMMENTS



12351 So. Gateway Park
 Place Suite D-100
 Draper, Utah 84020

LANDSCAPE PLAN
 FOR
 INVERNESS - HIGHLAND BLVD
 LEHI, UT

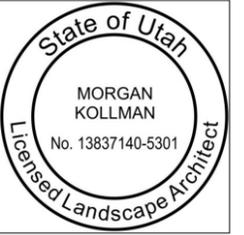
SHEET:

LP1A&B

INVERNESS

HIGHLAND BLVD LANDSCAPE PLAN

DATE: 05/23/2025
 PROJ. NAME: INVERNESS - MICRON
 DESIGNED BY: MORGAN KOLLMAN
 CHECKED BY: GREG HAWS
 DWG: INVERNESS HIGHLAND BLVD
 SCALE: 1" = 20'



REVISIONS:

DATE	REVISION
04/11/2025	- CITY COMMENTS
05/23/2025	- CITY COMMENTS



12351 So. Gateway Park
 Place Suite D-100
 Draper, Utah 84020

LANDSCAPE PLAN

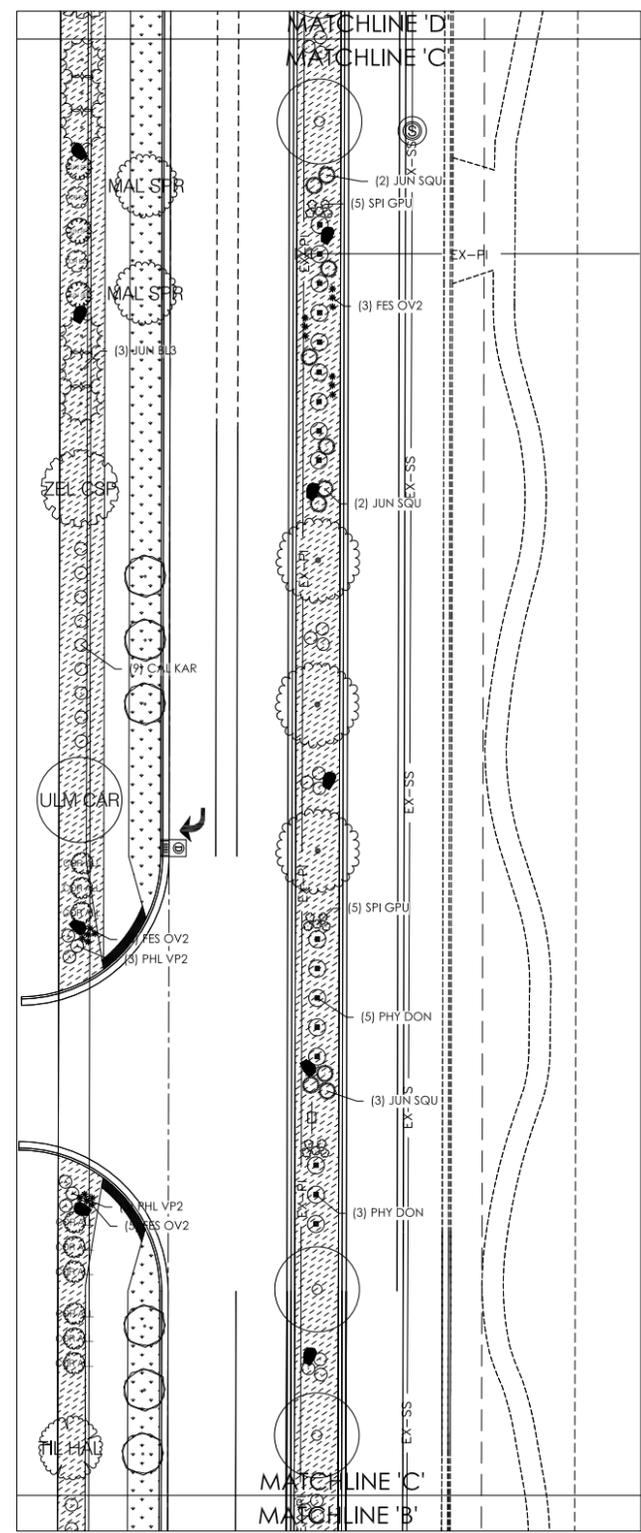
FOR
 INVERNESS - HIGHLAND BLVD

LEHI, UT

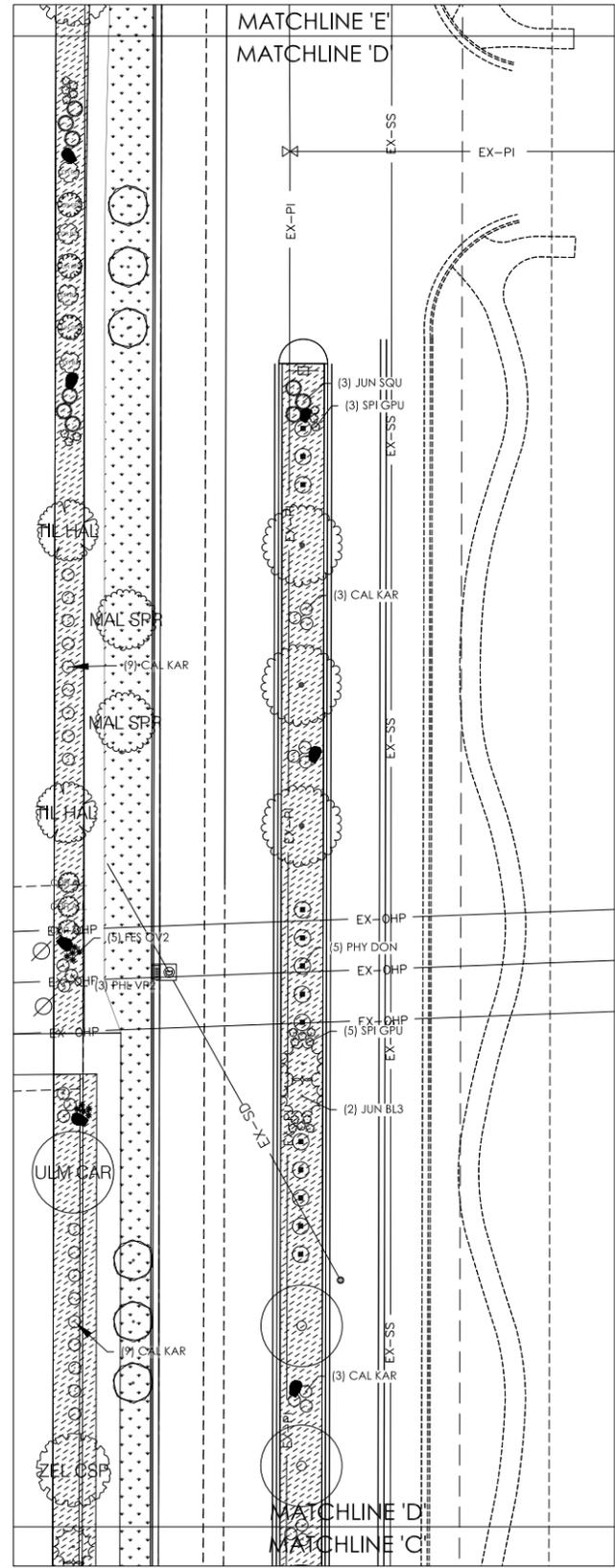
SHEET:

LP2A&B

LP2A



LP2B



HIGHLAND BLVD PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
TREES					
	JUN SP2	Juniperus chinensis 'Spartan' / Spartan Juniper	4' Ht.	18	15' H x 6' W
	JUN SK2	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	4' Ht.	3	20' H x 5' W
	MAL SWW	Malus x 'JFS KW213MX' / Raspberry Spear® Crabapple	2" Cal.	21	20' H x 8' W
	MAL SPR	Malus x 'Spring Snow' / Spring Snow Crabapple	2" Cal.	11	25' H x 15' W
	SYR PEK	Syringa pekinensis 'Morton' / China Snow® Peking Lilac	2" Cal.	21	20' H x 20' W
	SYR IVO	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal.	15	20' H x 20' W
	TIL HAL	Tilia cordata 'Halka' / Summer Sprite® Littleleaf Linden	2" Cal.	9	20' H x 15'
	ULM RUI	Ulmus davidiana japonica 'JFS-Bieberich' / Emerald Sunshine® Elm	2" Cal.	3	35' H x 25' W
	ULM CAR	Ulmus x 'Frontier' / Frontier Elm	2" Cal.	13	25' H x 15' W
	ZEL CSP	Zelkova serrata 'JFS-KW1' / City Sprite® Japanese Zelkova	2" Cal.	13	25' H x 18' W
SHRUBS					
	BUX DER	Buxus sempervirens 'Dee Runk' / Dee Runk Common Boxwood	#2	7	8' H x 3' W
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	#5	153	4-5' H x 2.5-3' W
	COR ALL	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	#2	15	5' H x 5' W
	COR B25	Cornus sericea 'Bailey' / Bailey's Red Twig Dogwood	#2	15	7' H x 5' W
	FES OV2	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	#1	57	1' H x 1.5' W
	JUN BL3	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	#2	25	10' H x 10' W
	JUN SQU	Juniperus squamata 'Blue Carpet' / Blue Carpet Juniper	#2	59	1' H x 4' W
	PHL EMC	Phlox subulata 'Emerald Cushion Blue' / Emerald Cushion Blue Creeping Phlox	#1	15	4' H x 2' W
	PHL VP2	Phlox x 'Violet Pinwheels' / Violet Pinwheels Phlox	#1	12	5' H x 3' W
	PHY DON	Physocarpus opulifolius 'Donna May' / Little Devil™ Dwarf Ninebark	#5	80	4' H x 4' W
	SPI GPU	Spiraea japonica 'Yan' / Double Play® Gold Spirea	#2	83	2' H x 2' W
GROUND COVERS					
	TUR BLU	Turf Sod Bluegrass / Kentucky Bluegrass		6,115	sf
	GRA TYP	< 1 1/2" + Nepheli Sandstone Southtown Cobble		31,411	sf

GENERAL NOTES: TREE SPECIES NOTED ON THESE LANDSCAPE PLANS ARE SUBJECT TO CHANGE. TO KEEP CONSISTENCY ON HIGHLAND BOULEVARD, LANDSCAPER TO MATCH EXISTING MEDIAN AND PARK STRIP/BEHIND ASPHALT TRAIL TREE SPECIES. PLEASE UTILIZE TREES ON THESE PLANS AS PLACEHOLDERS, WITH SPECIES TO CHANGE UPON CONFIRMATION OF EXISTING SPECIES ACROSS THE RIGHT-OF-WAY AT THE PROJECT LOCATION.

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SHRUB/UNDERSTORY SPECIES LISTED IN THE SCHEDULE ABOVE TO BE INSTALLED PER SPECIES/PER PLAN. TYPICAL GRAVEL ALSO TO MATCH EXISTING.

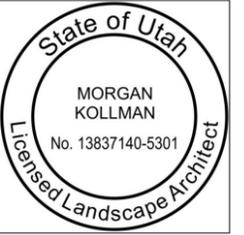
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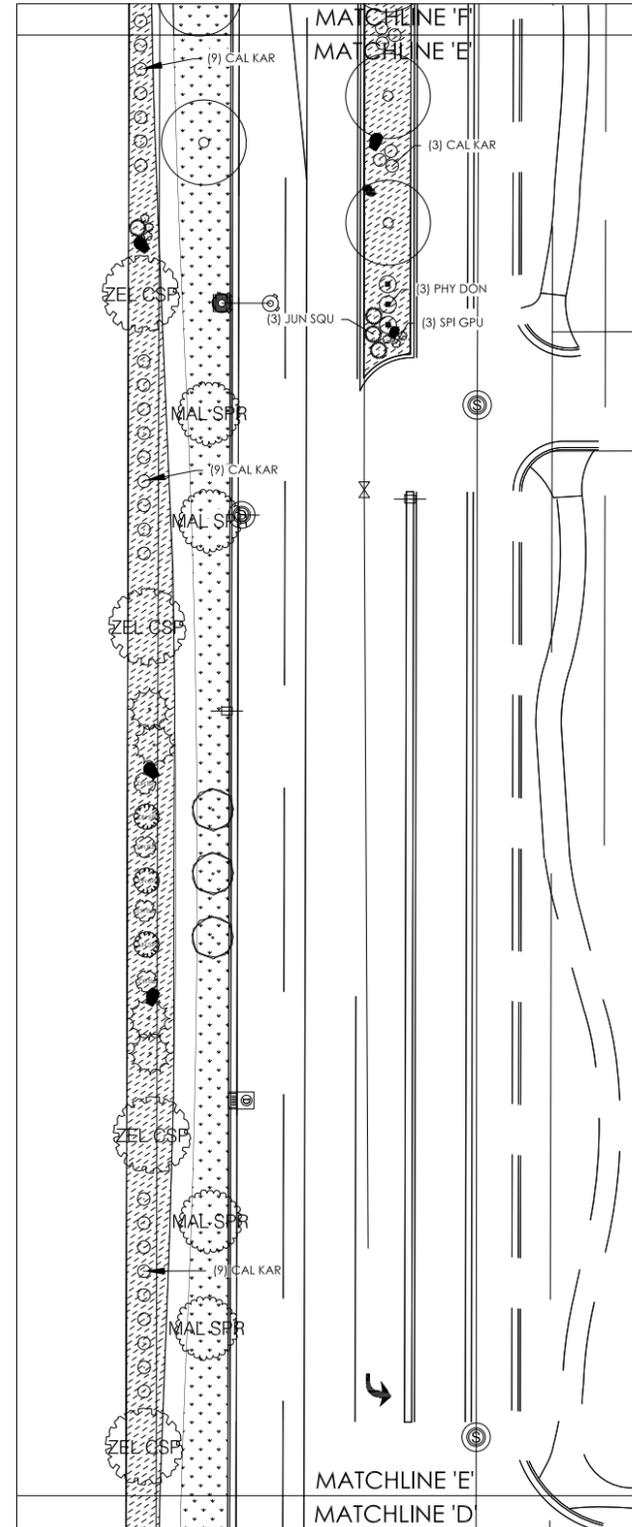
INVERNESS

HIGHLAND BLVD LANDSCAPE PLAN

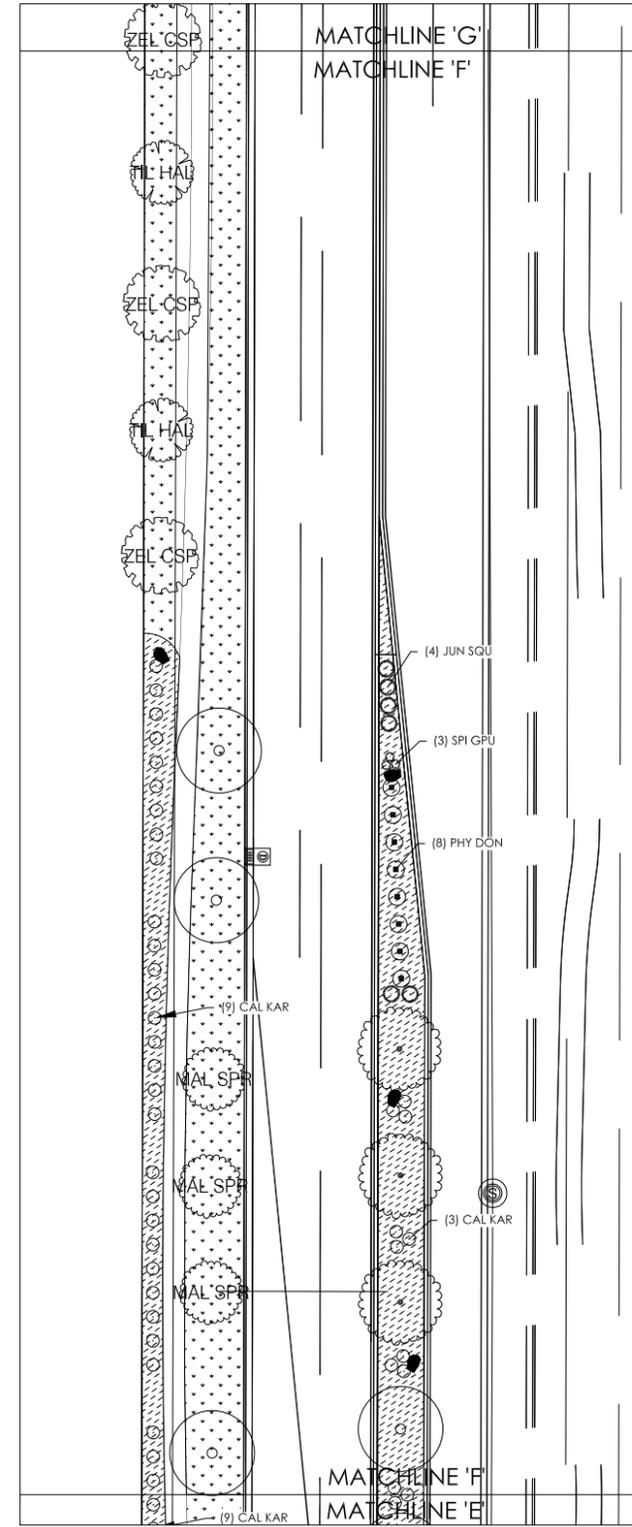
DATE: 05/23/2025
 PROJ. NAME: INVERNESS - MICRON
 DESIGNED BY: MORGAN KOLLMAN
 CHECKED BY: GREG HAWS
 DWG: INVERNESS HIGHLAND BLVD
 SCALE: 1" = 20'



LP3A



LP3B



HIGHLAND BLVD PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
TREES					
	JUN SP2	Juniperus chinensis 'Spartan' / Spartan Juniper	4' Ht.	18	15' H x 6' W
	JUN SK2	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	4' Ht.	3	20' H x 5' W
	MAL SWW	Malus x JFS KW213MX' / Raspberry Spear® Crabapple	2' Cal.	21	20' H x 8' W
	MAL SPR	Malus x 'Spring Snow' / Spring Snow Crabapple	2' Cal.	11	25' H x 15' W
	SYR PEK	Syringa pekinensis 'Morton' / China Snow® Peking Lilac	2' Cal.	21	20' H x 20' W
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	TIL HAL	Tilia cordata 'Halka' / Summer Sprite® Littleleaf Linden	2' Cal.	9	20' H x 15'
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	SPI GPU	Spiraea japonica 'Yan' / Double Play® Gold Spirea	#2	83	2' H x 2' W
GROUND COVERS					
	TUR BLU	Turf Sod Bluegrass / Kentucky Bluegrass			6,115 sf
	GRA TYP	< 1 3/4" + Nephel Sandstone Southtown Cobble			31,411 sf

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REVISIONS:

DATE	DESCRIPTION
04/11/2025	- CITY COMMENTS
05/23/2025	- CITY COMMENTS



12351 So. Gateway Park
 Place Suite D-100
 Draper, Utah 84020

LANDSCAPE PLAN
 FOR
 INVERNESS - HIGHLAND BLVD
 LEHI, UT

SHEET:

LP3A&B

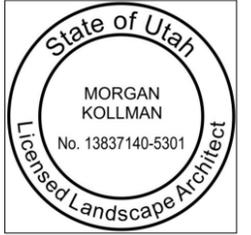


KEY MAP | 1:500

INVERNESS

HIGHLAND BLVD LANDSCAPE PLAN

DATE: 05/23/2025
 PROJ. NAME: INVERNESS - MICRON
 DESIGNED BY: MORGAN KOLLMAN
 CHECKED BY: GREG HAWS
 DWG: INVERNESS HIGHLAND BLVD
 SCALE: 1" = 20'



REVISIONS:

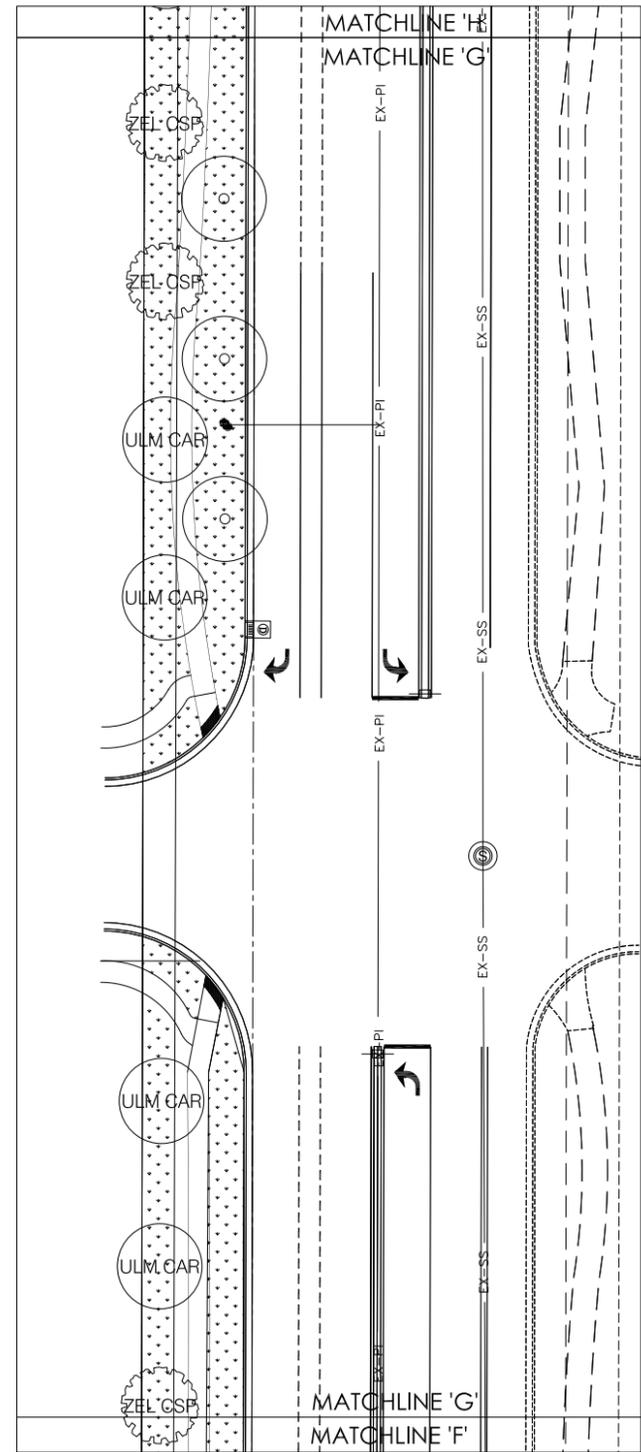
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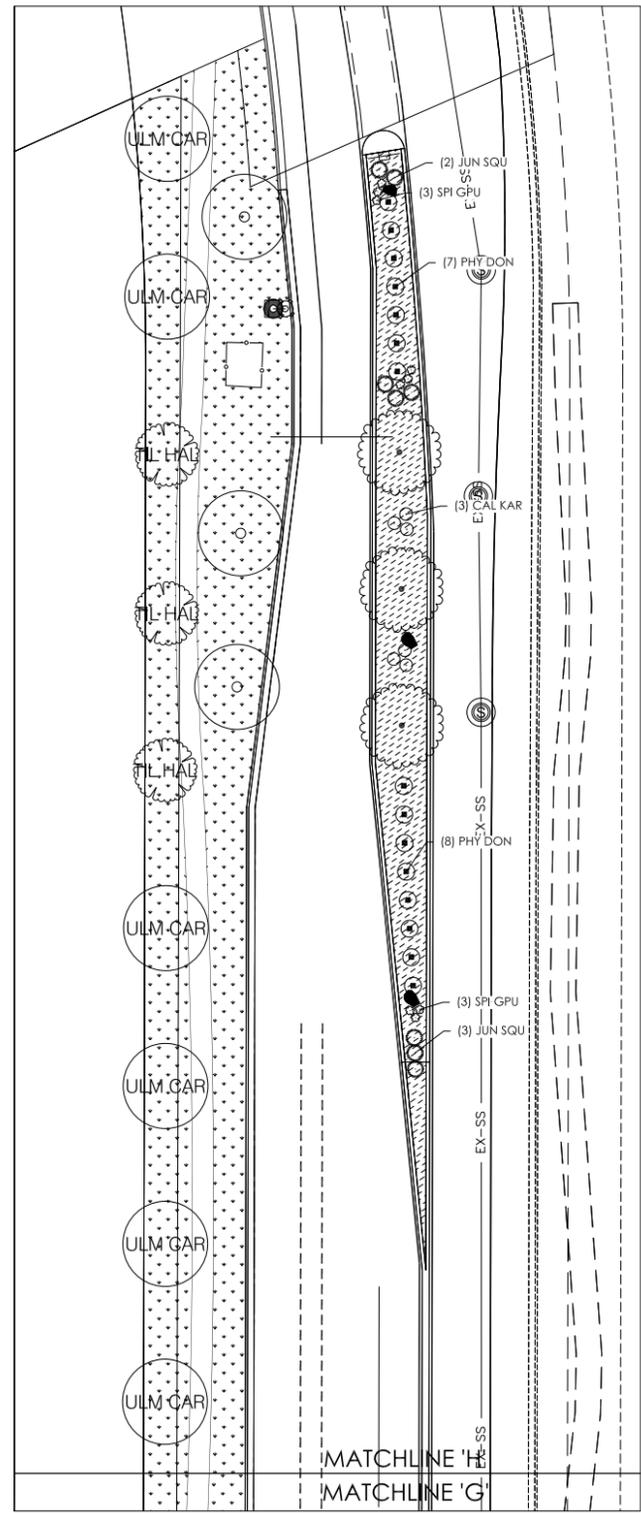
12351 So. Gateway Park
 Place Suite D-100
 Draper, Utah 84020

LANDSCAPE PLAN
 FOR
 INVERNESS - HIGHLAND BLVD
 LEHI, UT

LP4A



LP4B



HIGHLAND BLVD PLANT SCHEDULE

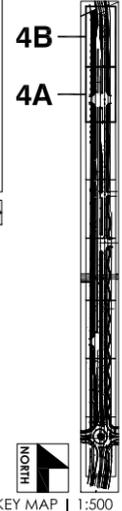
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
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	SYR PEK	Syringa pekinesis 'Morton' / China Snow® Peking Lilac	2' Cal.	21	20' H x 20' W
	SYR IVO	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2' Cal.	15	20' H x 20' W
	TIL HAL	Tilia cordata 'Halka' / Summer Sprite® Littleleaf Linden	2' Cal.	9	20' H x 15'
	ULM RUI	Ulmus davidiana japonica 'JFS-Bleberich' / Emerald Sunshine® Elm	2' Cal.	3	35' H x 25' W
	ULM CAR	Ulmus x 'Frontier' / Frontier Elm	2' Cal.	13	25' H x 15' W
	ZEL CSP	Zelkova serrata 'JFS-KW1' / City Sprite® Japanese Zelkova	2' Cal.	13	25' H x 18' W
SHRUBS					
	BUX DER	Buxus sempervirens 'Dee Runk' / Dee Runk Common Boxwood	#2	7	8' H x 3' W
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	#5	153	4-5' H x 2.5-3' W
	COR ALL	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	#2	15	5' H x 5' W
	COR B25	Cornus sericea 'Bailey' / Bailey's Red Twig Dogwood	#2	15	7' H x 5' W
	FES OV2	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	#1	57	1' H x 1.5' W
	JUN BL3	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	#2	25	10' H x 10' W
	JUN SQU	Juniperus squamata 'Blue Carpet' / Blue Carpet Juniper	#2	59	1' H x 4' W
	PHL EMC	Phlox subulata 'Emerald Cushion Blue' / Emerald Cushion Blue Creeping Phlox	#1	15	4' H x 2' W
	PHL VP2	Phlox x 'Violet Pinwheels' / Violet Pinwheels Phlox	#1	12	5' H x 3' W
	PHY DON	Physocarpus opulifolius 'Donna May' / Little Devil™ Dwarf Ninebark	#5	80	4' H x 4' W
	SPI GPU	Spiraea japonica 'Yan' / Double Play® Gold Spirea	#2	83	2' H x 2' W
GROUND COVERS					
	TUR BLU	Turf Sod Bluegrass / Kentucky Bluegrass			6,115 sf
	GRA TYP	< 1 1/2" + Nepheli Sandstone Southtown Cobble			31,411 sf

GENERAL NOTES: TREE SPECIES NOTED ON THESE LANDSCAPE PLANS ARE SUBJECT TO CHANGE. TO KEEP CONSISTENCY ON HIGHLAND BOULEVARD, LANDSCAPER TO MATCH EXISTING MEDIAN AND PARK STRIP/BEHIND ASPHALT TRAIL TREE SPECIES. PLEASE UTILIZE TREES ON THESE PLANS AS PLACEHOLDERS, WITH SPECIES TO CHANGE UPON CONFIRMATION OF EXISTING SPECIES ACROSS THE RIGHT-OF-WAY AT THE PROJECT LOCATION.

4" OF TOPSOIL REQ'D. TO BE TESTED W/ RESULTS SENT TO PARKS SUPERINTENDENT TO MEET MINIMUM TOPSOIL STANDARDS

FABRIC UNDER GRAVEL/COBBLE AREAS TO BE DEWIT PRO 5 OR SIMILAR APPROVED PRODUCT

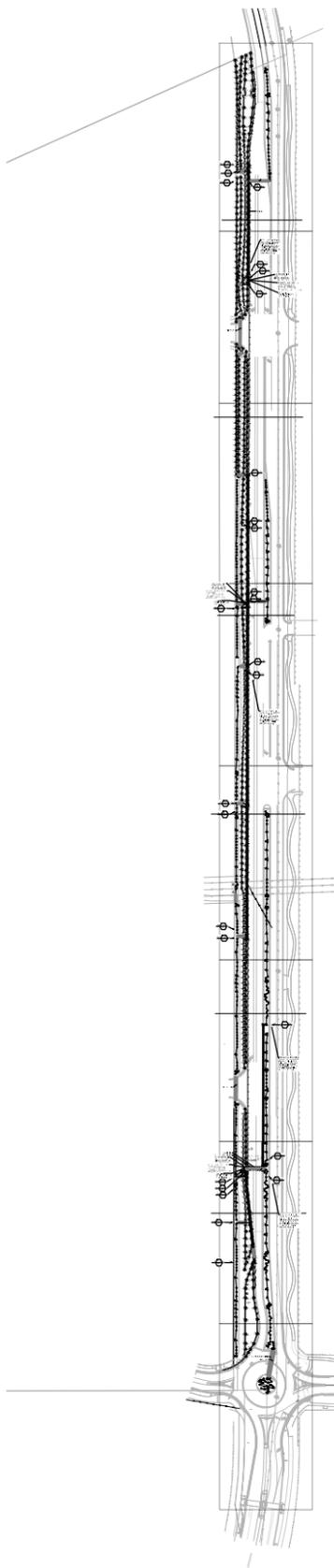
SHRUB/UNDERSTORY SPECIES LISTED IN THE SCHEDULE ABOVE TO BE INSTALLED PER SPECIES/PER PLAN. TYPICAL GRAVEL ALSO TO MATCH EXISTING.



KEY MAP | 1:500

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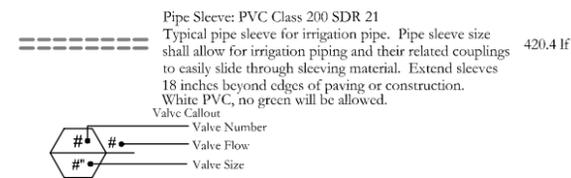


P.O.C. CONFIGURATION

- POC P.O.C.
- ZURN WILKINS 2-500XL 2" 500XL WATER PRESSURE REDUCING VALVE
- SHUTOFF VALVE
- AMIAD SCREEN FILTER
- MASTER VALVE
- 1" FLOW SENSOR
- QUICK COUPLER

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter MP Strip PROS-06-PRS40-CV Turf Rotator, 6in. pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. LCS=Ivory left strip, SS=Brown side strip, RCS=Copper right strip.	7	40
	Hunter MP1000 PROS-06-PRS40-CV Turf Rotator, 6in. pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	525	40
	Hunter MP2000 PROS-06-PRS40-CV Turf Rotator, 6in. pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	26	40
	Hunter MP3000 PROS-06-PRS40-CV Turf Rotator, 6in. pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	10	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ICZ-101-40 1" Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 40psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	11	
	Hunter HDL-09-18-CV Drip Ring(SHRUB)	521	
	Hunter HDL-09-18-CV Drip Ring(TRF)	62	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ICV-G Filter Sentry 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	16	
	Hunter HQ-44RC 1" Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 1in. NPT inlet, 2-piece body.	3	
	Shut Off Valve	3	
	Hunter IBV-BSP: 2" ICV Filter Sentry 1" 1in., 1-1/2in., 2in., and 3in. Brass Electric Master Valve, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use.	3	
	Hunter-ACCU-SYNC-ADJ-PreReduce	27	
	Zurn Wilkins 2-500XL 2" 500XL Water Pressure Redu	3	
	Hunter ACC-PED-A2C-75D-M (2) 75-Station decoder controller in a strong box, MPE-A16-10K, with 20-Amp Breaker, GFI Plug, Roam XL-R, A2C-Lite	1	
	Hunter WR-CLIK Rain Sensor, install within 1000 ft of controller, in line of sight. 22-28 VAC/VDC 100 mA power from timer transformer. Mount on 10' Pole	1	
	Hunter HFS 208 Flow Sensor for use with ACC controller, 2in. Schedule 40 Sensor Body, 24 VAC, 2 amp. Include Flo-Well Stormwater Dry Well System wrapped in fabric and drain rock for flushing mainline at filter	3	
	Mini Sigma 130 Micron 130mm Filter located in strong box SBBC-52AJ. Maximum working pressure 116psi.	3	
	Point of Connection 2"	1	
	Point of Connection 2"	1	
	Point of Connection 2"	1	
	Irrigation Lateral Line: PVC Schedule 40 3/4"	8,877 lf	
	Irrigation Lateral Line: PVC Schedule 40 1"	1,079 lf	
	Irrigation Lateral Line: PVC Schedule 40 1 1/4"	97.6 lf	
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	5.3 lf	
	Irrigation Mainline: PVC Schedule 40 2" All mainline fittings to be Schedule 80	1,586 lf	



ISSUE DATE 6/2/2025	PROJECT NUMBER UT24042	PLAN INFORMATION ** THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 04/23/2025	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT DR HORTON 208-371-7381	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP 	DRAWING INFO PME: JTA DRAWN: ACP CHECKED: JMA PLOT DATE: 6/2/2025																									
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<p>GRAPHIC SCALE: 1" = 150'</p>		<p>THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS PROPERTY OF PKJ DESIGN GROUP. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PKJ DESIGN GROUP.</p>		<p>IRRIGATION OVERALL PLAN CITY PERMIT SET</p> <p>IR-100</p>																												

IRRIGATION PLAN SPECIFICATIONS

IRRIGATION SPECIFICATIONS
PART 1 - GENERAL
1.1 SUMMARY

Work to be done includes all labor, materials, equipment and services required to complete the Project irrigation system as indicated on the Construction Drawings, and as specified herein. Includes but is not limited to: Furnishing and installing underground and above ground sprinkler system complete with any accessories necessary for proper function and operation of the system. All plant material on the Project shall be irrigated. Remove and dispose of any existing sprinkler system components which are disused during the construction process and are not to be saved. Restoration of any altered or damaged existing landscape to original state and condition.

1.2 SYSTEM DESCRIPTION
A. Design of irrigation components: Locations of irrigation components on Construction Drawings may be approximate. Piping, sleeving and/or other components shown on Construction drawings may be shown schematically for graphic clarity and demonstration of component groupings and separations. All irrigation components shall be placed in landscaped areas, with the exception of pipe and wire in drying under handspikes. Actual routing of pipe, wire or other components may be altered due to site conditions not accounted for in the design process.

B. Construction requirements: Actual placement may vary as required to achieve a minimum of 100% coverage without overlap onto hardscape, buildings or other features.
C. Layout of Irrigation Components: During layout and staking, consult with Owner Approved Representative (hereafter referred to as OAR) to verify proper placement of irrigation components, and to provide Contractor recommendations for changes where revisions may be advisable. Small or minor adjustments to system layout are permissible to avoid existing field obstructions such as utility boxes or street light poles. Contractor shall place remote control valves in groups as practical to economize on quantity of manifold isolation valves. Quick coupler valves shall be placed with manifold groups and protected by manifold isolation valves. Quick coupler valves are shown on Construction Documents in approximate locations.

1.3 DEFINITIONS
A. Water Supply: Secondary water piping and components, furnished and installed by others to provide irrigation water to this Project, including but not limited to filter, saddles, ripples, spools, shut off valves, corporation stop valves, water meters, pressure regulation valves, and piping upstream of (or prior to) the Point of Connection.
B. Point of Connection: Location where the Contractor shall tie into the water supply. May require filter, saddle, ripples, spools, isolation valves or Stop and Waste valve for landscape irrigation needs and use.
C. Main Line Piping: Pressurized piping downstream of the Point of Connection to provide water to remote control valves and quick couplers. Normally under constant pressure.
D. Lateral Line Piping: Circuit piping downstream of remote control valves to provide water to sprinkler heads, drip systems or bubblers.

1.4 REFERENCES
A. The following standards will apply to the work of this Section:
a. ASTM-American Society for Testing and Materials
b. IA - The Irrigation Association: Main BMP Document, Landscape Irrigation Scheduling and Water Management Document.
1.5 SUBMITTALS
A. At least thirty (30) days prior to ordering of any materials, the Contractor shall provide manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system. Submittals shall be in three ring binders or other similar bound form. Provide five copies of submittals to OAR for distribution. Place cover or index sheet indicating order or submittal document. No material shall be ordered, delivered or any work precluded in the field until the required submittals have been reviewed in its entirety and stamped approved. Delivered material shall match the approved samples.

B. Operation and Maintenance Manual:
a. At least thirty (30) days prior to final inspection, the Contractor shall provide Operation and Maintenance manual to OAR, containing:
i. Manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system.
ii. Parts list for each operating element of the system
iii. Manufacturer printed literature on operation and maintenance of operating elements of the system.
iv. Section listing instructions for overall system operation and maintenance. Include directions for Spring Start-up and Winterization.
b. Project Record Copy
i. Minimum at project site one copy of all project documents clearly marked "Project Record Copy". Mark any deviation in material installation on Construction drawings. Maintain and update drawing at least weekly. Project Record Copy to be available to OAR on demand.
ii. Completed Project As-Built Drawings

1.6 QUALITY ASSURANCE
A. Acceptance: Do not install work in this section prior to acceptance by OAR.
B. Regulatory Requirements: All work and materials shall be according to any and all rules, regulations or codes, whether they are State or Local laws and ordinances. Contract documents, drawings or specifications may not be construed or interpreted to permit work or materials not conforming to the above codes.
C. Adequate Water Supply: Water supply to this Project exists, installed by others. Connections to these supply lines shall be by this Contractor. Verify that proper connection is available to supply line, and is of adequate size. Verify that secondary connection components may be installed if necessary. Perform static pressure test prior to commencement of work. Notify OAR in writing of problems encountered prior to proceeding.
D. Workmanship and Materials:
a. It is the intent of this specification that all material herein specified and shown on the construction documents shall be of the highest quality available and meeting the requirements specified.
b. All work shall be performed in accordance with the best standards of practice relating to the trade.
E. Contractor Qualifications:
i. Contractor shall provide document or resume including at least the following items:
ii. That Contractor has been installing sprinklers on commercial projects for five previous consecutive years.
iii. That Contractor is licensed to perform Landscape and Irrigation construction in the State of this Project.
iv. That Contractor is bondable for the work to be performed.
v. References of five projects of similar size and scope completed within the last five years. Three of the projects listed shall be local.
vi. Listing of suppliers where materials will be obtained for use on this Project.
vii. Project site Foreman or Supervisor has at least five consecutive years of commercial irrigation installation experience. This person shall be a current Certified Irrigation Contractor in good standing as set forth by the Irrigation Association. This person shall be on Project site at least 75% of each working day.
viii. Evidence that Contractor currently employs workers in sufficient quantities to complete Project within time limits that are established by the Contract.
ix. All General laborers or workers on the Project shall be previously trained and familiar with sprinkler installation and have a minimum of one-year experience. Those workers performing tasks related to PVC pipe shall have certificates designated below.

1.7 DELIVERY/STORAGE/HANDLING
A. During delivery, installation and storage of materials for Project, all materials shall be protected from contamination, damage, vandalism, and prolonged exposure to sunlight. All material stored at Project site shall be neatly organized in a compact arrangement and storage shall not disrupt Project Owner or other trades on Project site. All material to be installed shall be handled by Contractor with care to avoid breakage or damage. Damaged materials attributed to Contractor shall be replaced with new at Contractor's expense.

1.8 SQUELNCING
A. Perform site survey, research utility records, contact utility location services. The Contractor shall familiarize himself with all hazards and utilities prior to work commencement. Install sleeving prior to installation of concrete, paving or other permanent site elements. Irrigation system Point of Connection components, backflow prevention and pressure regulation devices shall be installed and operational prior to all downstream components. All main lines shall be thoroughly flushed of all debris prior to installation of any sprinkler heads.
1.9 WARRANTY
A. Contractor shall provide one year Warranty. Warranty shall cover all materials, workmanship and labor. Warranty shall include filling and/or repairing depressions or replacing turf or other plantings due to settlement of irrigation trenches or irrigation system elements. Valve boxes, sprinklers or other components settled from original finish grade shall be returned to proper grade. Irrigation system shall have been adjusted to provide proper, adequate coverage of irrigated areas.

1.10 OWNER'S INSTRUCTION
A. After system is installed, inspected, and approved, instruct Owner's Representatives in complete operation and maintenance procedures. Coordinate instruction with references to previously submitted Operation and Maintenance Manual.
1.11 MAINTENANCE
A. Finish the following items to Owner's Representative:
a. Two quick coupler keys with hose swivels.
b. One of each type or size of quick coupler valve and remote control valve. Five percent of total quantities used of each sprinkler and sprinkler nozzle.
B. Provide the following services:
a. Winterize entire irrigation system installed under this contract. Winterize by "blow-out" method using compressed air. Compressor shall be capable of minimum of 175 CFM. This operation shall occur at the end of first growing season after need for plant irrigation but prior to freezing. Compressor shall be capable of evacuating system of all water pressure regulation devices. Compressor shall be regulated to not more than 60 PSI. Start up system the following spring after danger of freezing has passed. Contractor shall train Owner's Representative in proper start-up and winterization procedure.

PART 2 - PRODUCTS
2.1 GENERAL NOTES
A. Contractor shall provide materials to be used on this Project. Contractor shall not remove any material purchased for this Project from the Project Site, nor mix Project materials with other Contractor owned materials. Owner retains right to purchase and provide project material.
2.2 POINT OF CONNECTION
A. The Contractor shall connect onto existing irrigation or water main line as needed for Point(s) of Connection. Contractor shall install new main line as indicated.
2.3 CONNECTION ASSEMBLY
A. Secondary water shall be used on this Project. Install filter and RPZ as needed.
2.4 CONTROL SYSTEM
A. Power supply to the irrigation controller shall be provided for by this Contractor.
B. Controller shall be as specified in the drawings. Controller shall be surge protected.
a. Installation of wall-mount/ground pedestal timer controllers: Irrigation contractor shall be responsible for this task. Power configuration for wall mount/ground pedestal timer controllers shall be 120 VAC unless otherwise noted.
b. Locate Controller(s) in general location shown on Construction drawings. Coordinate power supply and breaker allocation with electrical contractor. Contractor shall be responsible for all power connections to Controller, whether they are wall mount or pedestal mount. Contractor shall coordinate with electrical or other Project trades as needed to facilitate installation of power to controllers.
C. Wires connecting the remote control valves to the irrigation controller are single conductors, type PLW. Wire construction shall incorporate a solid copper conductor and polyethylene (PE) insulation with a minimum thickness of 0.045 inches. The wires shall be UL listed for direct burial in irrigation systems and be rated at a minimum of 30 VAC. Paige Electric Co., LP specification number P7019D.
a. A minimum of 24" of additional wire shall be left at each valve, each splice box and at each controller.
b. Common wire shall be white in color, 12 gauge. Control wire shall be red in color, 14 gauge. Spare/extra wire (3 ft.) shall be looped within each valve box of the grouping it is to service.
d. All Home Runs, no splicing allowed. Wire splicing between controller and valves not allowed.

2.5 SLEEVING
A. Contractor shall be responsible to protect existing underground utilities and components. Sleeving minimum size shall be 2". Sleeving 2" through 4" in size shall be S/40 PVC solvent weld. Sleeving 6" and larger shall be CL 200 PVC gasketed. Sleeve diameter shall be at least two times the diameter of the pipe within the sleeve. Sleeve shall be extended 6" minimum beyond walk or pavement. Wire or cable shall not be installed in the same sleeve as piping, but shall be installed in separate sleeves. Sleeve ends on sleeves sizes 4" and larger shall be capped with integral corresponding sized PVC plug cap, pressure fit, until used, to prevent contamination. Sleeves shall be installed at appropriate depths for main line pipe or lateral pipe.
2.6 MAIN LINE PIPE
A. All main line pipe 4" and larger shall be Class 200 gasketed bell end. All main line pipe 3" in size and smaller shall be Schedule 40 PVC solvent weld bell end.
a. Maximum flows allowed through main line pipe shall be:
3/4" 8 GPM
1" 12 GPM
1-1/2" 30 GPM
2" 53 GPM
2-1/2" 75 GPM
3" 110 GPM
4" 180 GPM
b. Main line pipe shall be buried with 24" cover
2.7 MAIN LINE FITTINGS
A. All main line fittings 3" and larger shall be gasketed ductile iron material. All ductile iron fittings having change of direction shall have proper concrete thrust block installed. All main line fittings smaller than 3" in size shall be Schedule 80 PVC.
2.8 ISOLATION VALVES
A. Isolation valves 3" and larger shall be Watco brand model 2500 cast iron gate valve, realine wedge, push on type, with 2" square operating nut. Place sleeve of 6" or larger pipe over top of valve vertically and then extend to grade. Place 10" round valve box over sleeve at grade.
B. Isolation valves 2-1/2" and smaller shall be Apollo brand 70 series brass ball valves, contained in a Carson Standard size valve box. Valves shall be installed with S/80 COE Nipples on both sides of the valve. Valve shall be placed so that the handle is vertical toward the top of the valve box in the "off" position.
2.9 MANIFOLDS
A. Action Manifold fittings shall be used to create unions on both sides of each control valve, allowing the valve to be removed from the box without cutting piping. Valves shall be located in boxes with ample space surrounding them to allow access for maintenance and repair. Where practical, group remote control valves in close proximity, and protect each grouping with a manifold isolation valve as shown in details. Manifold Main Line (or Sub-Main Line) and all manifold components and isolation valves shall be at least as large as the largest diameter lateral served by the respective manifold.
2.10 REMOTE CONTROL VALVES
A. Remote control valves shall be as specified on the drawings. Remote control valves shall be located separately and individually in separate control boxes.
2.11 MANUAL CONTROL VALVES
A. Quick coupler valve shall be attached to the manifold sub-main line using a Lasco G17S212 swing joint assembly with snap-lock outlet and brass stabilizer elbow. Quick coupler valve shall be placed within a Carson 10" round valve box. Top of quick coupler valve cover shall allow for complete installation of valve box lid, but also allow for insertion and operation of key. Base of quick coupler valve and top of quick coupler swing joint shall be encased in 3/4" gravel. Contractor shall not place quick coupler valves farther than 200 feet apart, to allow for spot watering or supplemental irrigation of new plant material. Quick coupler valve at POC shall not be eliminated or relocated.

2.12 LATERAL LINE PIPE
A. All lateral piping shall be Schedule 40 PVC, solvent weld, and bell end. Lateral pipe shall be buried with 12-18" of cover typically. Lateral pipe shall be 3/4", 1", 1 1/2", 1 3/4", 1 1/2" or 2" in size as indicated on Construction Drawings.
2.13 LATERAL LINE FITTINGS
A. All lateral line fittings shall be S/40 PVC.
2.14 SPRAY SPRINKLERS
A. Spray head sprinklers shall be as specified on the drawings. Nozzles shall be as specified on the drawings.
2.15 VALVE BOXES
A. Round valve boxes shall be used on this project. Sizes are as directed in these Specifications, detail sheets or plan sheets. Valve boxes shall be centered over the control valve or element they cover. Valve box shall be sized large enough to allow ample room for services access, removal or replacement of valve or element. Valve box shall be set to finish to finish grade of topsoil or barked areas. Contractor shall provide extensions or stack additional valve boxes as necessary to bring valve box pit to proper grade.
2.16 IMPORT BACKFILL
A. All main line pipe, lateral line pipe and other irrigation elements shall be bedded and backfilled with clean soil, free of rocks 1" and larger. Contractor shall furnish and install additional backfill material as necessary due to rocky conditions. Trenches and other elements shall be compacted and/or water settled to eliminate settling. Debris from trenching operations unsuitable for fill shall be removed from project and disposed of properly by Contractor.
2.17 OTHER PRODUCTS
A. Substitution of equivalent products is subject to the OAR's approval and must be designated as accepted in writing.
a. The Contractor shall provide materials to make the system complete and operational.

PART 3 - EXECUTION
3.1 PREPARATION
A. Contractor shall repair or replace work damaged by irrigation system installation. If damaged work is zero, repair or replacement shall be performed by the original installer of that work. The existing landscape of this Project shall remain in place. Contractor shall protect and work around existing plant material. Coordination of trench and valve locations shall be laid out for the OAR prior to any excavation occurring. Plant material deemed damaged by the OAR shall be replaced with new plant material at Contractor's expense. Contractor shall not cut existing tree roots larger than 2" to install this Project. Route pipe, wire and irrigation elements around tree canopy drip line to minimize damage to tree roots. Contractor shall have no part of existing system used by other portions of site landscape without water for more than 24 hours at a time.
3.2 TRENCHING AND BACKFILLING
A. Pulling of pipe shall not be permitted on this project. Over excavate trenches both in width and depth. Loose base of trench is rock or debris free to protect pipe and wire. Grade trench base to assure that, even support of piping. Backfill with clean soil or import material. Contractor shall backfill no less than 2" around entire pipe with clean, rock free fill. Main line piping and fittings shall not be backfilled until OAR has inspected and pipe has passed pressure testing. Perform balance of backfill operation to eliminate any settling.
3.3 SLEEVING
A. Sleeve all piping and wiring that pass under paving or landscape features. Wiring shall be placed in separate sleeving from piping. Sleeves shall be positioned relative to structures or obstructions to allow for pipe or wire within to be removed if necessary.
3.4 GRADES AND DRAINAGE
A. Place irrigation pipe and other elements at uniform grades. Winterization shall be by evacuation with compressed air. Automatic drains shall not be installed on this Project. Manual drains shall only be installed at POC where designated on Construction Drawings.
3.5 PVC PIPE
A. Install pipe to allow for expansion and contraction as recommended by pipe manufacturer.
B. Install main line pipes with 18" of cover, lateral line pipes with 12" of cover.
C. Drawings show diagrammatic or conceptual location of piping. Contractor shall install piping to minimize change of direction, avoid placement under large trees or large shrubs, avoid placement under landscape features.
D. Plastic pipe shall be cut squarely. Bars shall be removed. Splice ends of pipes 3" and larger shall be beveled.
E. Pipe shall not be glued unless ambient temperature is at least 50 degrees F. Pipe shall not be glued in rainy conditions unless properly treated. All solvent weld joints shall be assembled using IPS T11 glue and P701 primer according to manufacturer's specification, no exceptions. All workers performing glue operations shall provide evidence of certification. Glued main line pipe shall cure a minimum of 24 hours prior to being energized. Lateral lines shall cure a minimum of 2 hours prior to being energized and shall not remain under constant pressure unless cured for 24 hours.
F. Appropriate thrust blocking shall be performed on fittings 3" and larger. All threaded joints shall be wrapped with Teflon tape or paste unless directed by product manufacturer or scaling by rating.
3.6 CONTROLLERS
A. All grounding for pedestal controllers shall be as directed by controller manufacturer and ASCE guidelines, not to exceed a resistance range of 5 OHMS.
B. Locate controllers in protected, inconspicuous places, when possible. Coordinate location of pedestal controllers with Landscape Architect to minimize visibility.
C. Coordinate location of wall mount controllers with building or electrical Contractor to facilitate electrical service and future maintenance needs. Wall mount shall be securely fastened to surface. If exterior mounted, wall mount controllers shall have electrical service wire and field control wire in separate, appropriate sized weatherproof electrical conduit, PVC pipe shall not be used.
D. Wiring under hardscape surfaces shall be placed continuously in conduit. Contractor shall be responsible to coordinate sleeving needs for conduit or ramps above, from exterior to interior of building.
E. Pedestal controllers shall be placed upon VIT Strong Box Quick Pad as per manufacturer's recommendations. Controllers shall be oriented such that Owner's Representative maintenance personnel may access easily and perform field system tests efficiently.
F. Place standard valve box at base of controller or nearby to allow for three to five feet of slack field control wire to be placed at this controller. This Contractor shall provide conduit access if needed for Electrical Contractor, Electrical supply and installation, as well as hook-up to controller shall be by this Contractor.
G. Electrical contractor is in charge of providing 1.5" conduit from controller to outside landscape area. Provide power and room for controller. Provide ethernet to hardware power into the controller.
3.7 VALVES
A. Isolation valves, remote control valves, and quick coupler valves shall be installed according to manufacturer recommendation and Contract Specifications and Details.
B. Valve boxes shall be set over valves so that all parts of the valve can be reached for service.
C. Valve box and lid shall be set to be flush with finished grade. Only one remote control valve may be installed in a valve box. Place a minimum of 4" of 1/2" washed gravel beneath valve box for drainage. Bottom of remote control valve shall be a minimum of 2" above gravel.
3.8 SPRINKLER HEADS
A. No sprinkler shall be located closer than 6" to walks, fences, or buildings.
B. Heads adjacent to walks, curbs, or paths shall be located at grade and 2" away from hardscape.
C. Control valves shall be opened. Then fully flush lateral line pipe and swing joints prior to installation of sprinklers.
D. Spray heads shall be installed and flushed again prior to installation of nozzles.
E. Contractor shall be responsible for adjustment if necessary due to grade changes during landscape construction.
3.9 FIELD QUALITY CONTROL
A. Main line pipes shall not be backfilled or accepted until the system has been tested for 2 hours at 100 psi.
B. Main line pressure test shall include all pipe and components from the point of connection to the upstream side of remote control valves. Test shall include all manifold components under constant pressure. Piping may be tested in sections that can be isolated.
C. Contractor shall provide pressurized water pump to increase or boost pressure where existing static pressure is less than 100 psi.
D. Schedule testing with OAR 48 hours in advance for approval.
E. Leaks or defects shall promptly be repaired or rectified at the Contractor's expense and retested until able to pass testing.
F. Grounding resistance at pedestal controller shall also be tested and shall not exceed 5 OHMS.
3.10 ADJUSTMENT
A. Sprinkler heads shall be adjusted to proper height when installed. Changes in grade or adjustment of head height after installation shall be considered a part of the original contract and at Contractor's expense.
B. Adjust all sprinkler heads for arc, radius, proper trim and distribution to cover all landscaped areas that are to be irrigated.

C. Adjust sprinklers so they do not water buildings, structures, or other hardscape features.
D. Adjust run times of station to meet needs of plant material the station services.
3.11 CLEANING
A. Contractor shall be responsible for cleanliness of jobsite. Work areas shall be swept cleanly and picked up daily.
B. Open trenches or hazards shall be protected with yellow caution tape.
C. Contractor is responsible for removal and disposal of office trash and debris generated as a result of this Project.
D. OAR shall perform periodic as well as a final cleanliness inspection.
E. Contractor shall leave Project as well as a "broom clean" condition.
END OF SECTION

3.12 TRENCHING AND BACKFILLING
A. Pulling of pipe shall not be permitted on this project. Over excavate trenches both in width and depth. Loose base of trench is rock or debris free to protect pipe and wire. Grade trench base to assure that, even support of piping. Backfill with clean soil or import material. Contractor shall backfill no less than 2" around entire pipe with clean, rock free fill. Main line piping and fittings shall not be backfilled until OAR has inspected and pipe has passed pressure testing. Perform balance of backfill operation to eliminate any settling.
3.3 SLEEVING
A. Sleeve all piping and wiring that pass under paving or landscape features. Wiring shall be placed in separate sleeving from piping. Sleeves shall be positioned relative to structures or obstructions to allow for pipe or wire within to be removed if necessary.
3.4 GRADES AND DRAINAGE
A. Place irrigation pipe and other elements at uniform grades. Winterization shall be by evacuation with compressed air. Automatic drains shall not be installed on this Project. Manual drains shall only be installed at POC where designated on Construction Drawings.
3.5 PVC PIPE
A. Install pipe to allow for expansion and contraction as recommended by pipe manufacturer.
B. Install main line pipes with 18" of cover, lateral line pipes with 12" of cover.
C. Drawings show diagrammatic or conceptual location of piping. Contractor shall install piping to minimize change of direction, avoid placement under large trees or large shrubs, avoid placement under landscape features.
D. Plastic pipe shall be cut squarely. Bars shall be removed. Splice ends of pipes 3" and larger shall be beveled.
E. Pipe shall not be glued unless ambient temperature is at least 50 degrees F. Pipe shall not be glued in rainy conditions unless properly treated. All solvent weld joints shall be assembled using IPS T11 glue and P701 primer according to manufacturer's specification, no exceptions. All workers performing glue operations shall provide evidence of certification. Glued main line pipe shall cure a minimum of 24 hours prior to being energized. Lateral lines shall cure a minimum of 2 hours prior to being energized and shall not remain under constant pressure unless cured for 24 hours.
F. Appropriate thrust blocking shall be performed on fittings 3" and larger. All threaded joints shall be wrapped with Teflon tape or paste unless directed by product manufacturer or scaling by rating.
3.6 CONTROLLERS
A. All grounding for pedestal controllers shall be as directed by controller manufacturer and ASCE guidelines, not to exceed a resistance range of 5 OHMS.
B. Locate controllers in protected, inconspicuous places, when possible. Coordinate location of pedestal controllers with Landscape Architect to minimize visibility.
C. Coordinate location of wall mount controllers with building or electrical Contractor to facilitate electrical service and future maintenance needs. Wall mount shall be securely fastened to surface. If exterior mounted, wall mount controllers shall have electrical service wire and field control wire in separate, appropriate sized weatherproof electrical conduit, PVC pipe shall not be used.
D. Wiring under hardscape surfaces shall be placed continuously in conduit. Contractor shall be responsible to coordinate sleeving needs for conduit or ramps above, from exterior to interior of building.
E. Pedestal controllers shall be placed upon VIT Strong Box Quick Pad as per manufacturer's recommendations. Controllers shall be oriented such that Owner's Representative maintenance personnel may access easily and perform field system tests efficiently.
F. Place standard valve box at base of controller or nearby to allow for three to five feet of slack field control wire to be placed at this controller. This Contractor shall provide conduit access if needed for Electrical Contractor, Electrical supply and installation, as well as hook-up to controller shall be by this Contractor.
G. Electrical contractor is in charge of providing 1.5" conduit from controller to outside landscape area. Provide power and room for controller. Provide ethernet to hardware power into the controller.
3.7 VALVES
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C. Contractor is responsible for removal and disposal of office trash and debris generated as a result of this Project.
D. OAR shall perform periodic as well as a final cleanliness inspection.
E. Contractor shall leave Project as well as a "broom clean" condition.
END OF SECTION

WATERING SCHEDULE

90 Day Establishment Period Irrigation Schedule											
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	45 MIN.	45 MIN.	45 MIN.	45 MIN.	45 MIN.	45 MIN.	45 MIN.	Participate in a water check to determine precipitation rate of sprinkler system.
Medium to Low Water Use	SPRINKLER	DRIP	2 GAL/HR.								
High Water Use	SPRINKLER	DRIP	2 GAL/HR.								

Note: Begin irrigation 450 am. Use cycle and soak method in clay soils-divide into 3 waterings for each turf irrigation event. Shrubs to be watered so soil is moist 6" below root ball. Do not overwater shrubs, allow to dry between waterings especially in clay soils. Watch for water stress.

Regular Irrigation Schedule: Begin Spring Watering May 15 (Turf irrigation event once every 5-7 days; Shrubs 2-4 times/month)											
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	60 MIN.							Participate in a water check to determine precipitation rate of sprinkler system.
Medium to Low Water Use	SPRINKLER	DRIP	2 GAL/HR.								
High Water Use	SPRINKLER	DRIP	2 GAL/HR.								

Note: Begin irrigation 450 am. Use cycle and soak method in clay soils-divide into 3 waterings for each turf irrigation event. Do not overwater shrubs, allow to dry between waterings especially in clay soils. Watch for water stress. Days of watering may vary based on local restrictions

Regular Irrigation Schedule: Begin Summer Watering June 15 (Turf irrigation event once every 2-3 days; Shrubs 1 time/week)											
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	60 MIN.							Participate in a water check to determine precipitation rate of sprinkler system.
Medium to Low Water Use	SPRINKLER	DRIP	2 GAL/HR.								
High Water Use	SPRINKLER	DRIP	2 GAL/HR.								

Note: Begin irrigation 450 am. Use cycle and soak method in clay soils-divide into 3 waterings for each turf irrigation event. Do not overwater shrubs, allow to dry between waterings especially in clay soils. Watch for water stress. Days of watering may vary based on local restrictions Reference Utah DNR weekly watering guide: https://enr.enrwater.utah.gov/weekly-lawn-watering-guide/

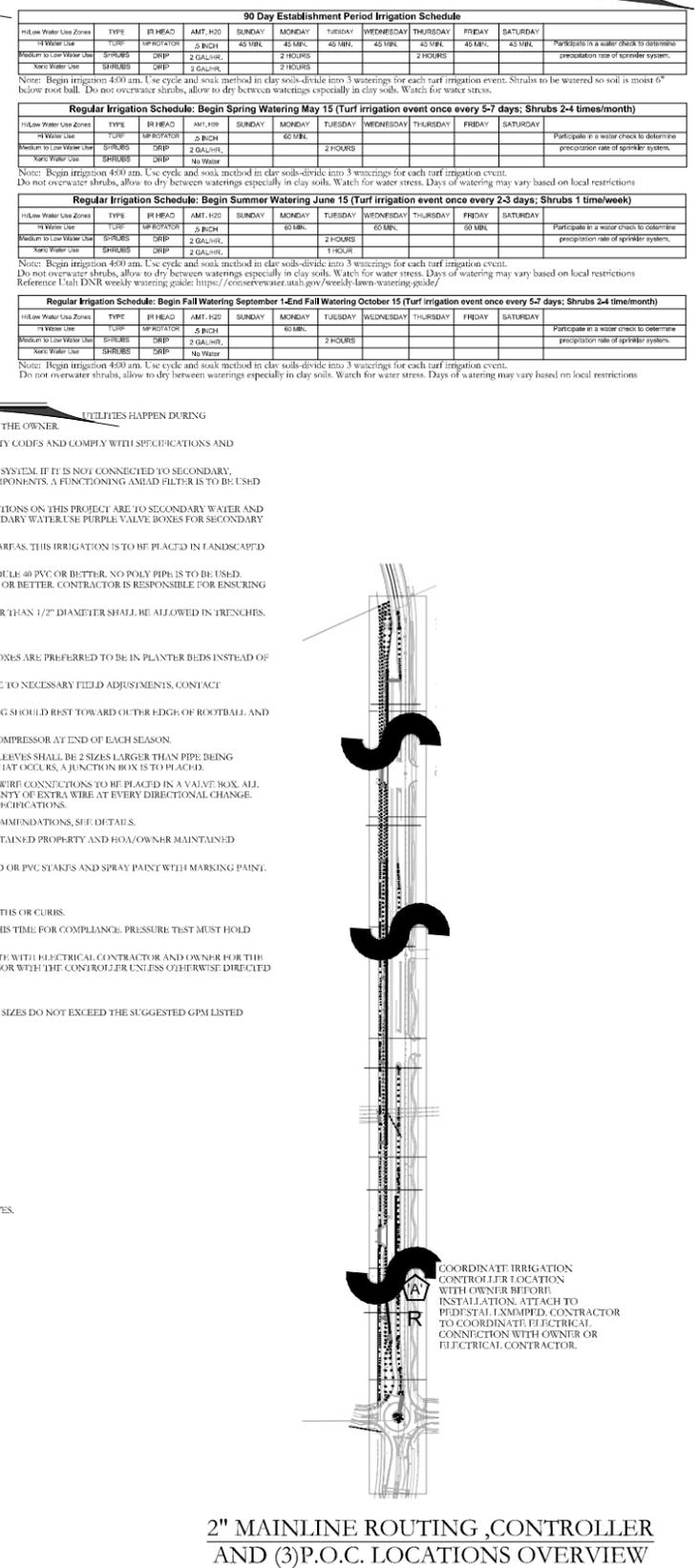
Regular Irrigation Schedule: Begin Fall Watering September 1-End Fall Watering October 15 (Turf irrigation event once every 5-7 days; Shrubs 2-4 times/month)											
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	
IR Water Use Zones	TYPE	IR HEAD	AMT. HDZ	60 MIN.							Participate in a water check to determine precipitation rate of sprinkler system.
Medium to Low Water Use	SPRINKLER	DRIP	2 GAL/HR.								
High Water Use	SPRINKLER	DRIP	2 GAL/HR.								

Note: Begin irrigation 450 am. Use cycle and soak method in clay soils-divide into 3 waterings for each turf irrigation event. Do not overwater shrubs, allow to dry between waterings especially in clay soils. Watch for water stress. Days of watering may vary based on local restrictions

IRRIGATION NOTES

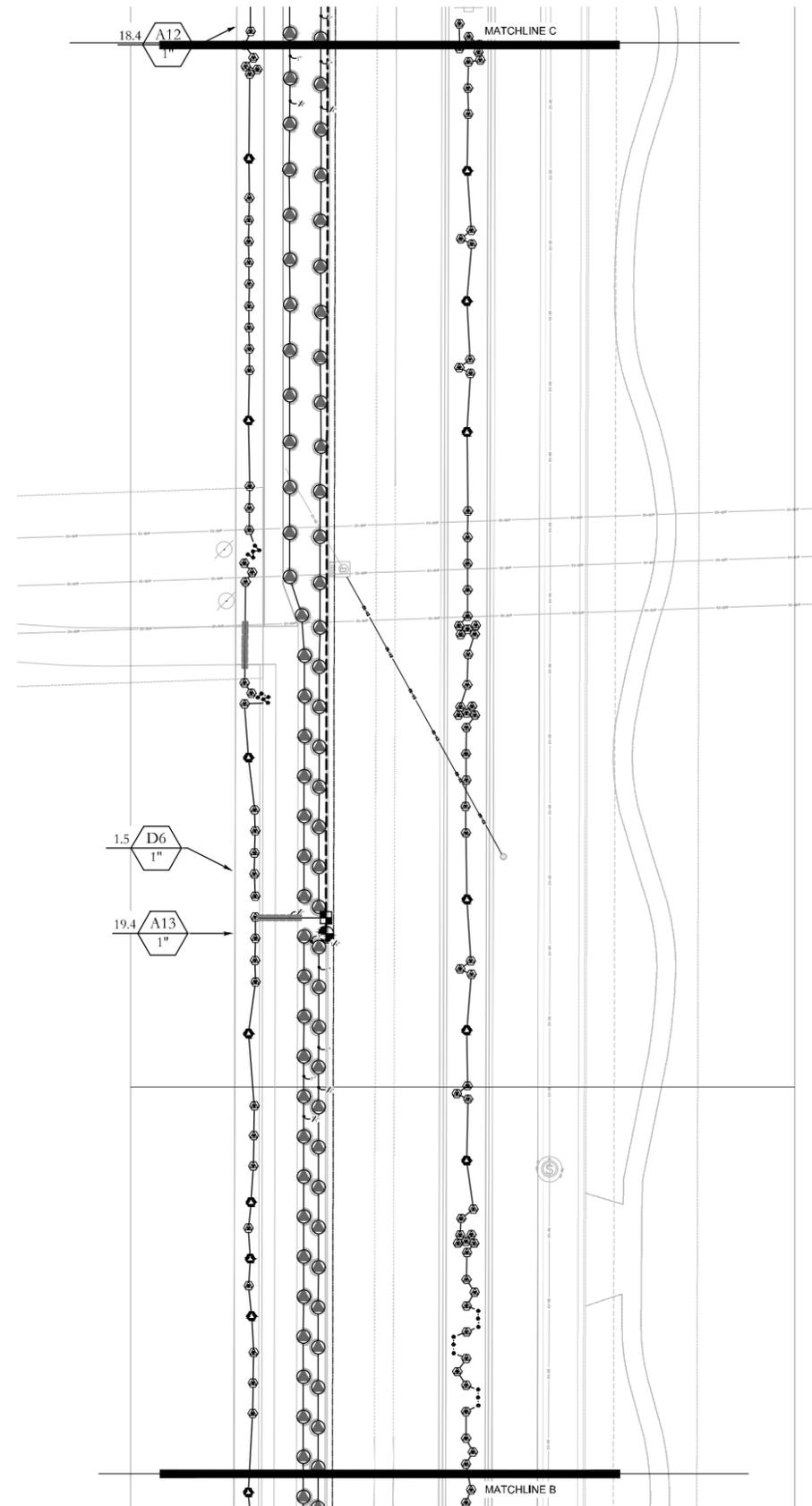
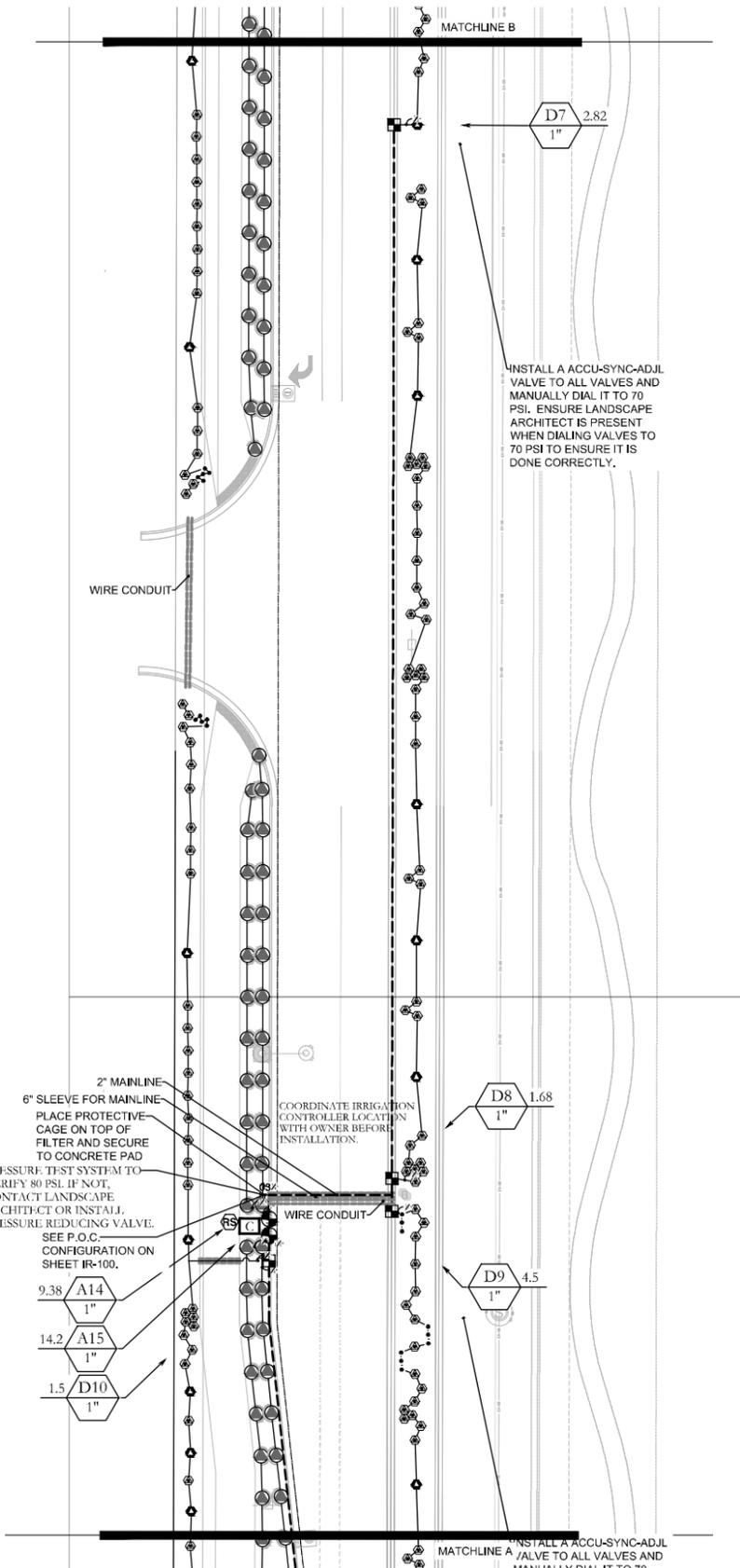
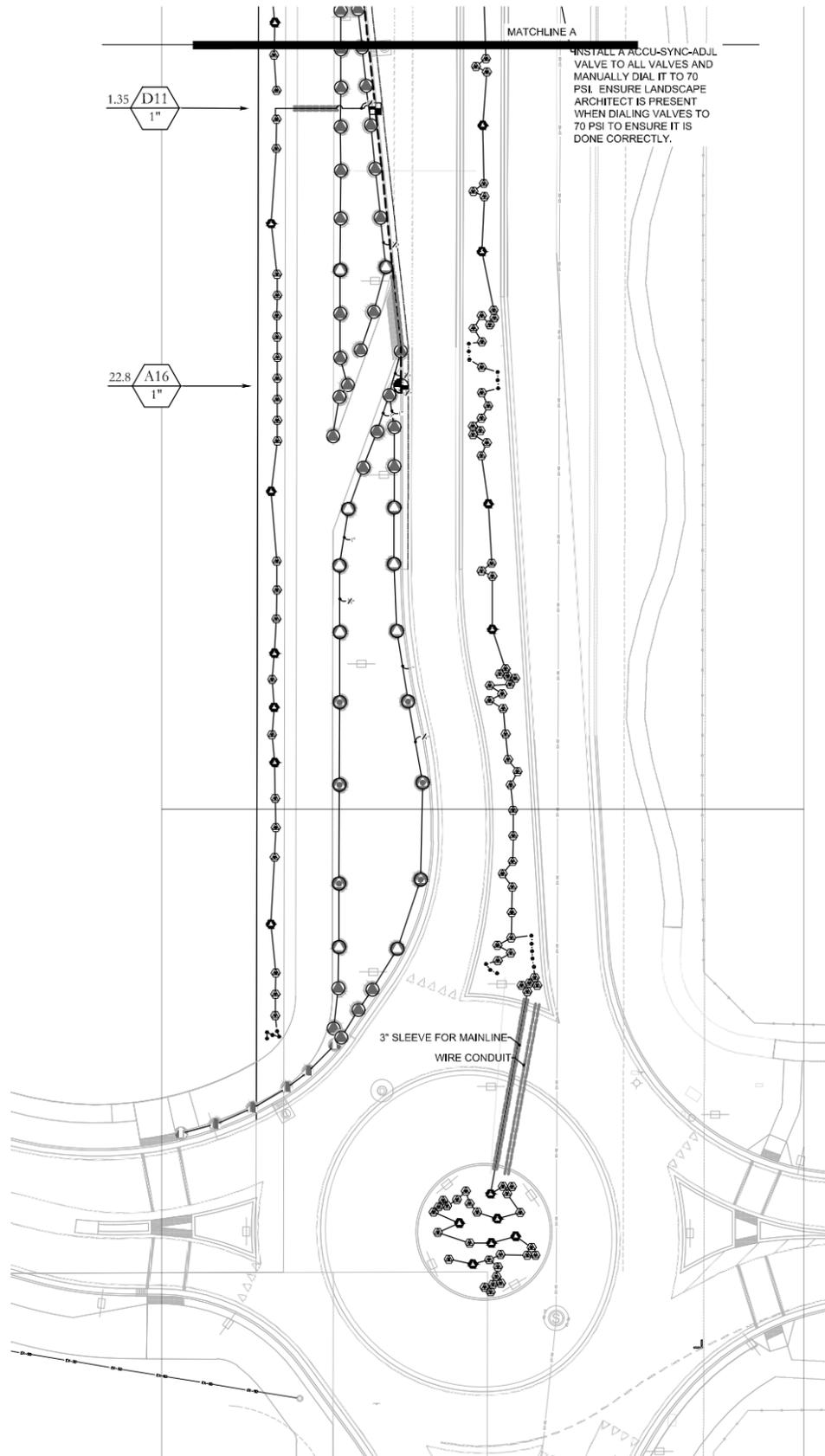
- BEFORE WORK IS TO COMMENCE, BLUE STAKES/DIG LINE IS TO BE CALLED AND NOTIFIED IF ANY DAMAGE TO UTILITIES HAPPEN DURING CONSTRUCTION, THE CONTRACTOR SHALL REPAIR IT AT THEIR EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS IN ACCORDANCE WITH CITY AND/OR COUNTY CODES AND COMPLY WITH SPECIFICATIONS AND DRAWINGS.
- INVESTIGATE TO MAKE SURE THAT THE IRRIGATION SYSTEM IS, IN FACT, BEING CONNECTED TO A SECONDARY SYSTEM. IF IT IS NOT CONNECTED TO SECONDARY, CONTACT THE OWNER AND LANDSCAPE ARCHITECT TO COORDINATE A CULINARY SYSTEM AND REQUIRED COMPONENTS. A FUNCTIONING AMALD FILTER IS TO BE USED AT THE POINT OF CONNECTION.
- VERIFY THAT THE POINT OF CONNECTION IS IN THE CORRECT LOCATION BEFORE INSTALLATION. ALL CONNECTIONS ON THIS PROJECT ARE TO SECONDARY WATER AND SHOULD BE NOTED AS SUCH THEREFORE, ALL PARTS MUST MEET WATER STANDARDS THAT PERTAIN TO SECONDARY WATER USE PURPLE VALVE BOXES FOR SECONDARY WATER SYSTEMS.
- ON OCCASION AND FOR GRAPHIC PURPOSES ONLY, THE IRRIGATION SYSTEM MIGHT BE SHOWN IN HARDSCAPE AREAS. THIS IRRIGATION IS TO BE PLACED IN LANDSCAPED AREAS ON THE PROPERTY SITE.
- CONTRACTOR SHALL USE ONLY COMMERCIAL GRADE IRRIGATION PRODUCTS. THIS INCLUDES PIPE TO BE SCHEDULE 40 PVC OR BETTER. NO POLY PIPE IS TO BE USED. FITTINGS UP TO 1 1/2" SHALL BE SCHEDULE 40 OR BETTER. FITTINGS LARGER THAN 1 1/2" SHALL BE SCHEDULE 80. CONTRACTOR IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION.
- MAIN LINES SHALL BE A MINIMUM OF 2" DEEP AND LATERAL LINES A MINIMUM OF 12" DEEP. NO ROCK GREATER THAN 1/2" DIAMETER SHALL BE ALLOWED IN TRENCHES, TRENCHING BACKFILL, MANIFOLD, SHALL BE COMPACTED TO PROPER FINISHED GRADE.
- NO IRRIGATION MAIN LINE MAY BE LOCATED WITHIN 5 FEET OF ANY STRUCTURE.
- TO AVOID PIPE DAMAGE, ADJUST LOCATION OF PIPES TO NOT BE DIRECTLY UNDER PLANT MATERIALS. VALVE BOXES ARE PREFERRED TO BE IN PLANTER BEDS INSTEAD OF THE LAWN. SYSTEM IS TO BE WINTERIZED IN THE LATE FALL.
- PLAN INDICATES 100% OR BETTER HEAD TO HEAD COVERAGE. SHOULD CONTRACTOR FIND DISCREPANCIES DUE TO NECESSARY FIELD ADJUSTMENTS, CONTACT LANDSCAPE ARCHITECT FOR IRRIGATION CORRECTION.
- DRIP IRRIGATION TO BE INSTALLED PER DETAILS. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS. TUBING SHOULD REST TOWARD OTHER EDGE OF FOOTBALL AND NOT AGAINST TRUNK OF PLANT.
- A QUICK COUPLER SHALL BE INSTALLED AT POINT OF CONNECTION TO ALLOW BLOW OUT OF SYSTEM BY AIR COMPRESSOR AT END OF EACH SEASON.
- INSTALL SLEEVES FOR ALL PIPES AND WIRE CONDUIT THAT ARE PLACED UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE BEING PLACED INTERNALLY. WIRE CONDUIT SHALL BE INSTALLED IN CLASS 200 PIPE. AT ANY DIRECTIONAL CHANGE THAT OCCURS, A JUNCTION BOX IS TO BE PLACED.
- CONDUITS CAN NOT BE SHARED BY WATER AND ELECTRICAL LINES. ALL WIRE TO BE PLACED IN PVC CONDUIT. ALL WIRE CONNECTIONS TO BE PLACED IN A VALVE BOX. ALL WIRE CONNECTIONS TO USE WATERPROOF WIRE CONNECTORS WITH AT LEAST 3' OF EXTRA WIRE. PROVIDE PLENTY OF EXTRA WIRE AT EVERY DIRECTIONAL CHANGE. INSULATE 14 GAUGE COPPER TO BE USED FOR ALL CONTROL WIRES AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO INSTALL LIGHTNING ARRESTOR AND GROUNDING RODS ON SITE PER MANUFACTURER'S RECOMMENDATIONS, SEE DETAILS.
- CONTRACTOR TO SEPARATE SYSTEM (CONTROLLER, VALVES, AND DIFFERENT CONTROL WIRE) FROM CITY MAINTAINED PROPERTY AND HOA/OWNER MAINTAINED PROPERTY. NOTHING CAN BE COMBINED BETWEEN HOA/OWNER AND CITY.
- CUT TAPE ALL SLEEVES TO PREVENT SOIL OR OTHER DEBRIS FROM ENTERING PIPE. IDENTIFY ALL SLEEVES BY WOOD OR PVC STAKES AND SPRAY PAINT WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- TO PREVENT EROSION AND LOW POINT DRAINAGE, CONTRACTOR SHALL INSTALL CHECK VALVES
- LOCATE SPRAY HEADS NO CLOSER THAN 6" FROM WALLS, FENCES OR BUILDINGS AND 2" AWAY FROM WALKS, PATHS OR CURBS.
- PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING. CONTACT LANDSCAPE ARCHITECT/OWNER AT THIS TIME FOR COMPLIANCE. PRESSURE TEST MUST HOLD FOR 4 HOURS.
- CONTRACTOR TO CONSULT WITH OWNER ON EXACT LOCATION OF CONTROLLER. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR AND OWNER FOR THE POWER SUPPLY. INSTALL ALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL INSTALL A RAIN SENSOR WITH THE CONTROLLER UNLESS OTHERWISE DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
- WHEN PIPE SIZE IS LARGER THAN 3" MAKE SURE THAT THRUST BLOCKS ARE USED.
- LATERAL LINES SHALL BE NO SMALLER THAN 3/4". LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES DO NOT EXCEED THE SUGGESTED GPM LISTED BELOW:

I	3/4"	8 GPM
II	1"	12 GPM
III	1-1/2"	30 GPM
IV	2"	53 GPM
V	2-1/2"	75 GPM
VI	3"	110 GPM
VII	4"	180 GPM
- PROVIDE MINIMUM 3" OF BEDDING SAND AROUND MAINLINE
- MAINLINE TO BE 2" SIZE WITH SCHEDULE 80 FITTINGS
- USE P70 PRIMER AND 711 GLUE FOR PVC CONNECTIONS
- DR WIRE NUTS REQUIRED
- HOME RUNS ON WIRE TO CLOCK. IF ANY PHASING IS HAPPENING WITH THIS PHASE, TWO WIRE IS TO BE USED.
- IF CONVENTIONAL WIRE NEEDS EXTRA WIRE, DIFFERENT COLOR IS NEEDED NOT LOOPED TO GROUPS OF VALVES.
- SPRINKLERS MUST RUN AND BE TESTED ON THE CLOCK BEFORE SOIL IS LAID
- LANDSCAPE NEEDS TO BE INSPECTED BETWEEN APRIL 15 AND OCTOBER 1.
- FOR ALL PIPING, NO MALE ADAPTERS ARE TO BE USED.



2" MAINLINE ROUTING, CONTROLLER AND (3) P.O.C. LOCATIONS OVERVIEW

ISSUE DATE 6/2/2025	PROJECT NUMBER UT24042	PROJECT INFORMATION ** THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 04/23/2025	DEVELOPER / PROPERTY OWNER / CLIENT DR HORTON 208-371-7381	LANDSCAPE ARCHITECT / PLANNER PKJ DESIGN GROUP	LICENSE STAMP LICENSED LANDSCAPE ARCHITECT EMILY ANSWORTH 9128/21-5301 6/2/2025 STATE OF UTAH	DRAWING INFO PLOT: JTA DRAWN: ACP CHECKED
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ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
6/2/2025	UT24042	** THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 04/23/2025	HIGHLAND BLVD INVERNESS LEHI, UTAH	DR HORTON 208-371-7381	PKJ DESIGN GROUP		PLOT: JTA DRAWN: ACP CHECKED: JMA PLOT DATE: 6/2/2025

NO.	REVISION	DATE
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811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

0' 10' 20' 40' 80'

GRAPHIC SCALE: 1" = 20'

HIGHLAND BLVD INVERNESS LEHI, UTAH

DR HORTON
208-371-7381

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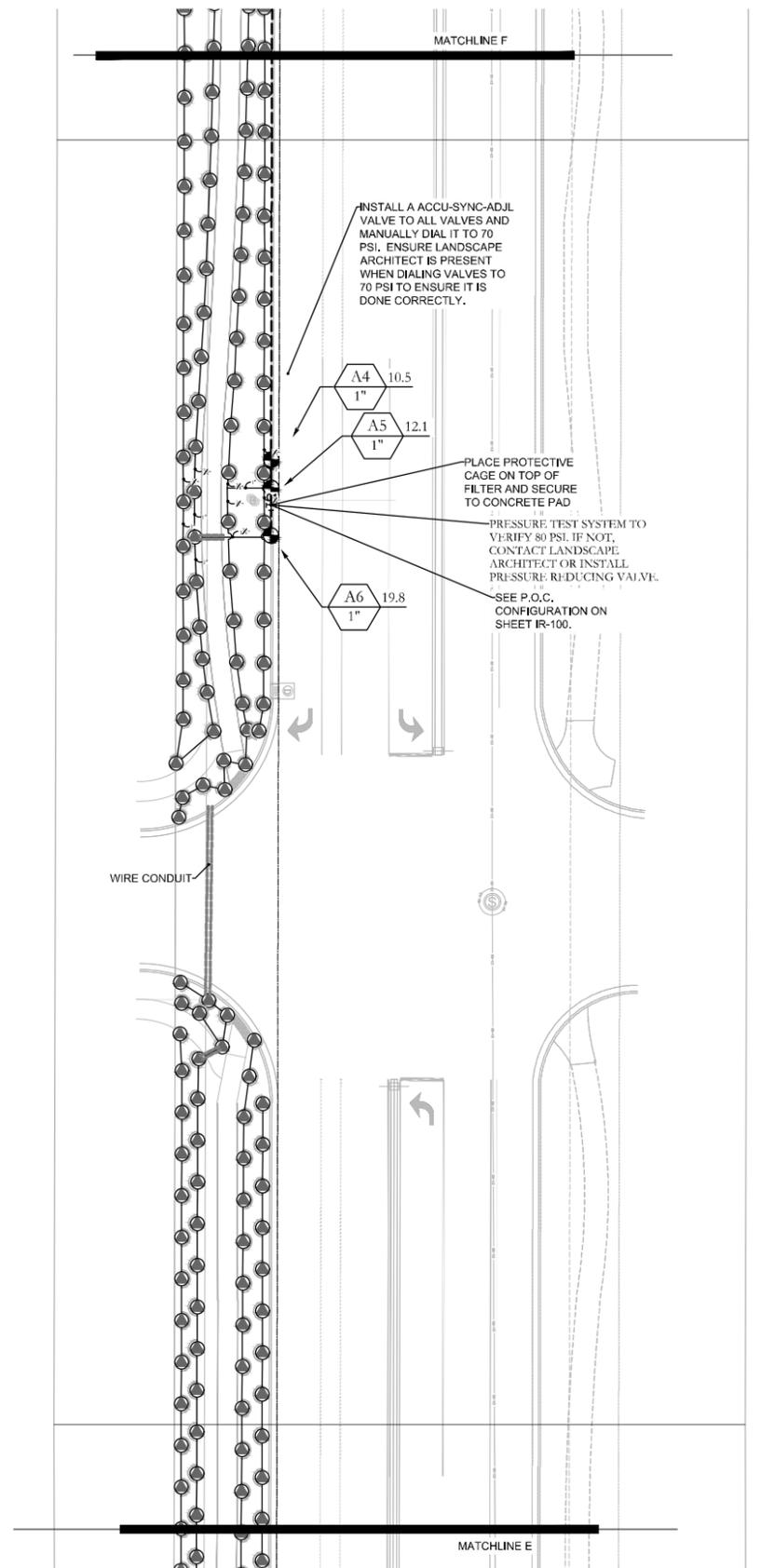
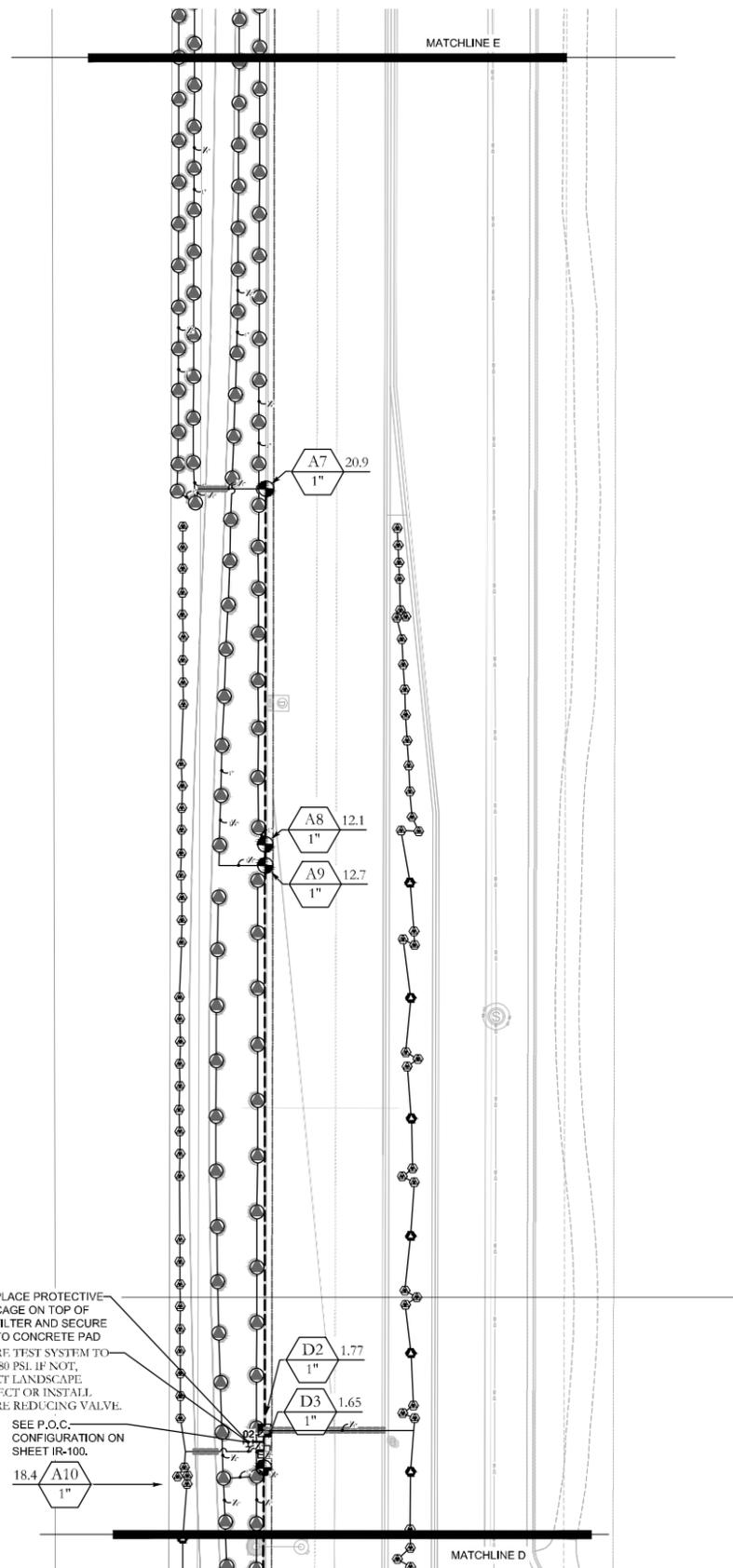
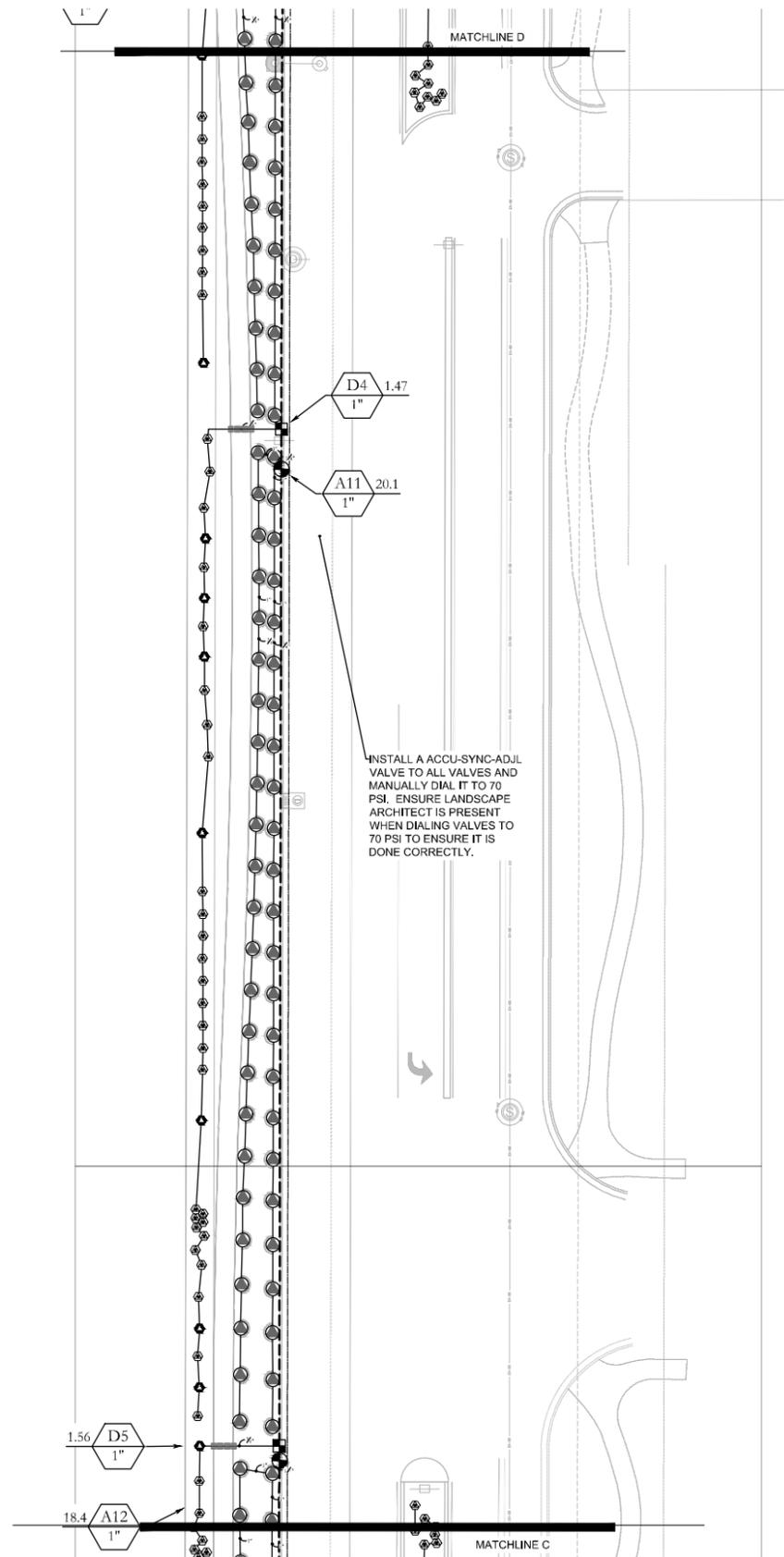
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DESIGN GROUP
Landscape Architecture & Planning & Consulting

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LEHI, UTAH 84043 (801) 995-2217
www.pkjdesigngroup.com

IRRIGATION PLAN
CITY PERMIT SET

IR-102



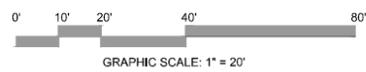
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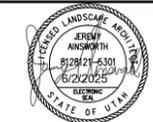


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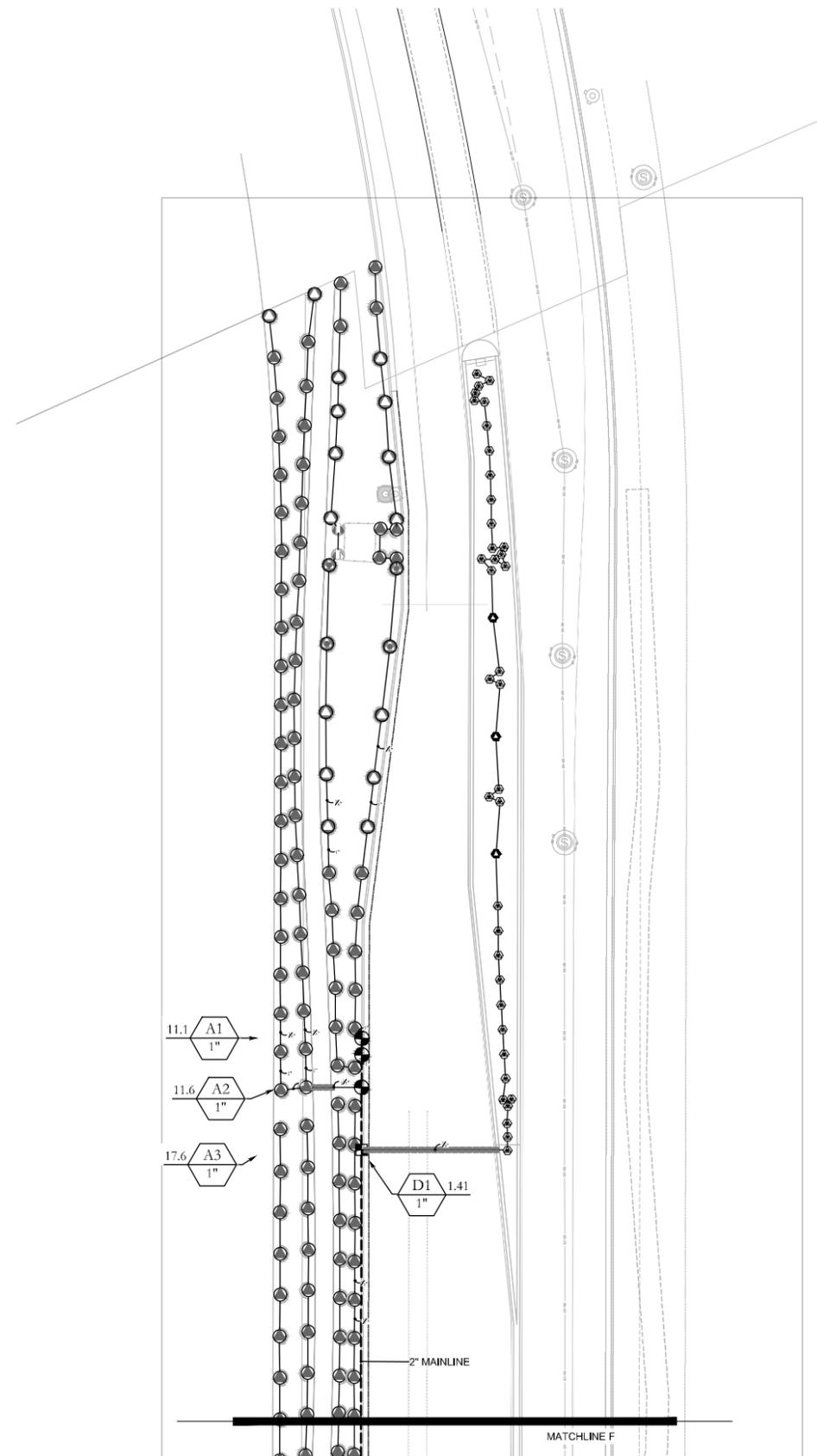
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IRRIGATION PLAN
CITY PERMIT SET

IR-103

DATE	JTA
DRAWN	ACP
CHECKED	JMA
PLOT DATE	6/2/2025



ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
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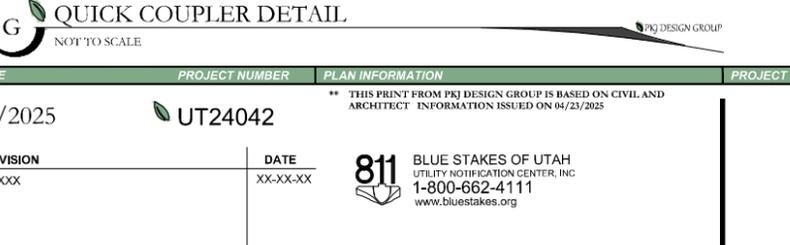
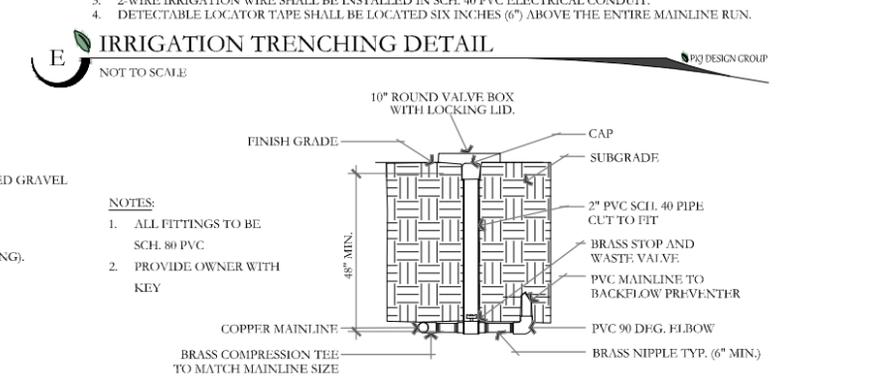
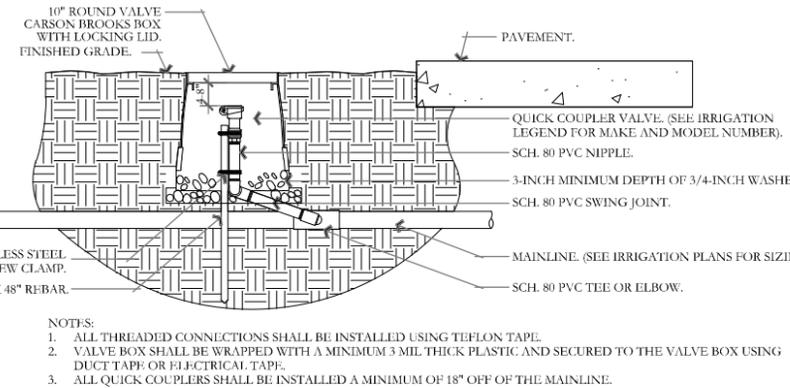
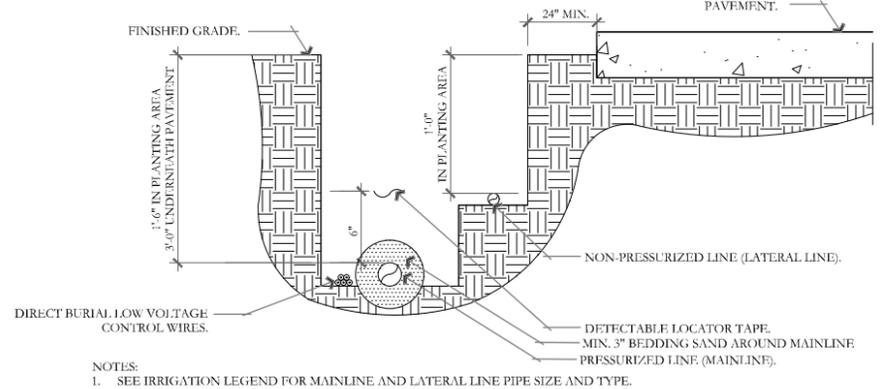
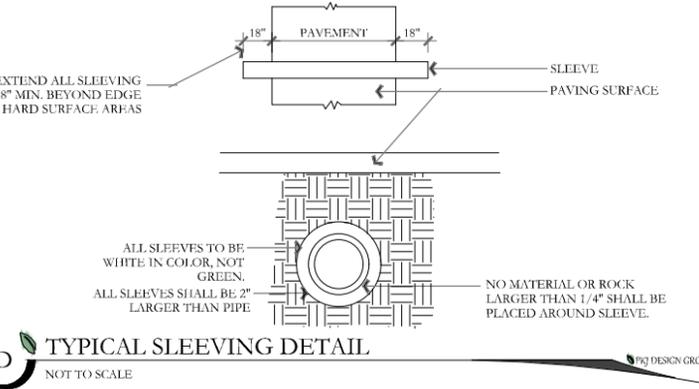
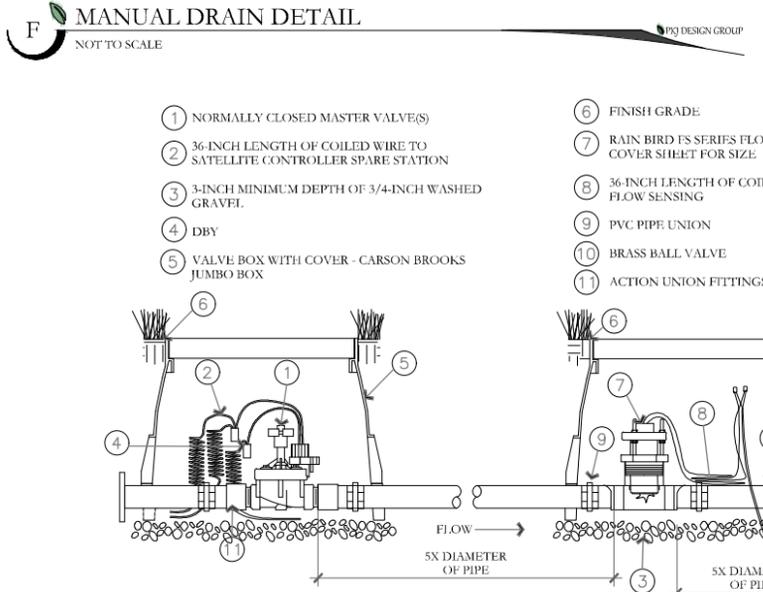
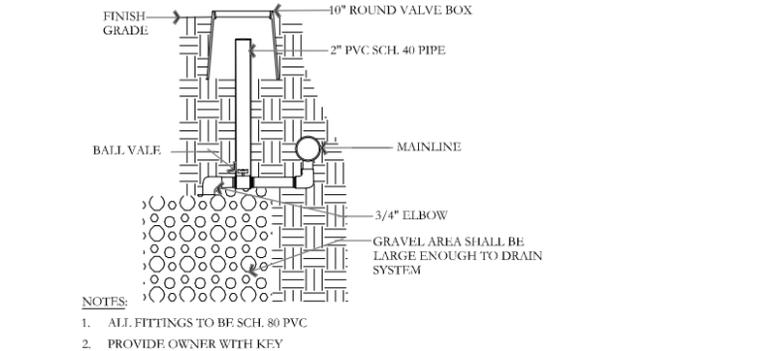
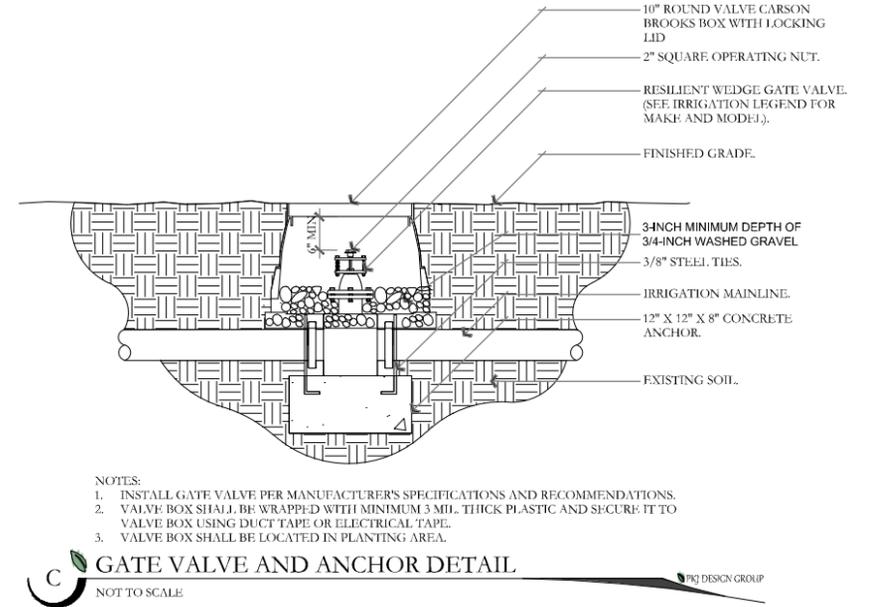
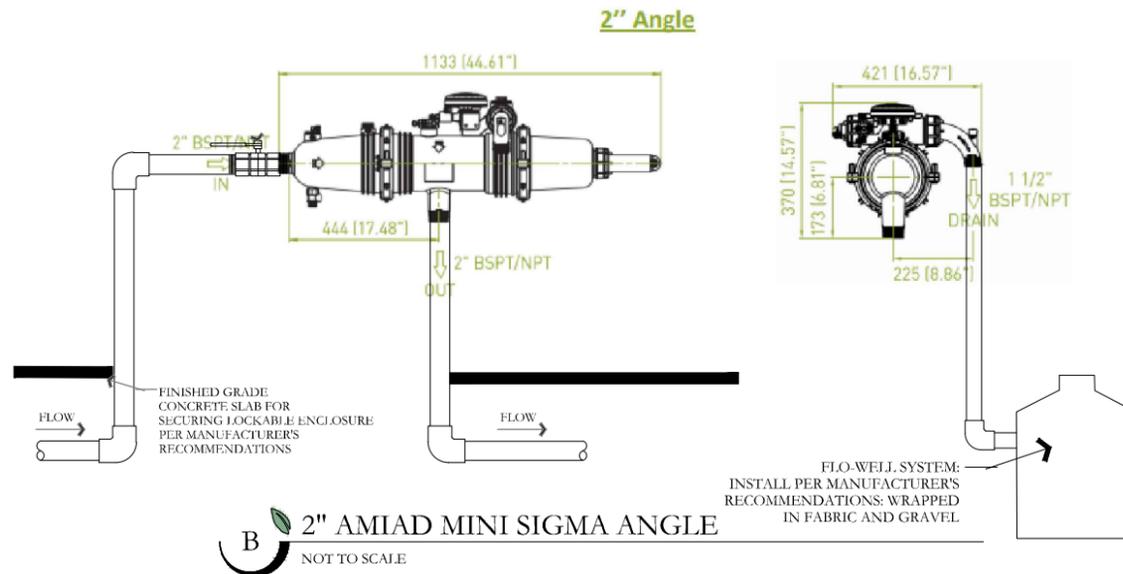
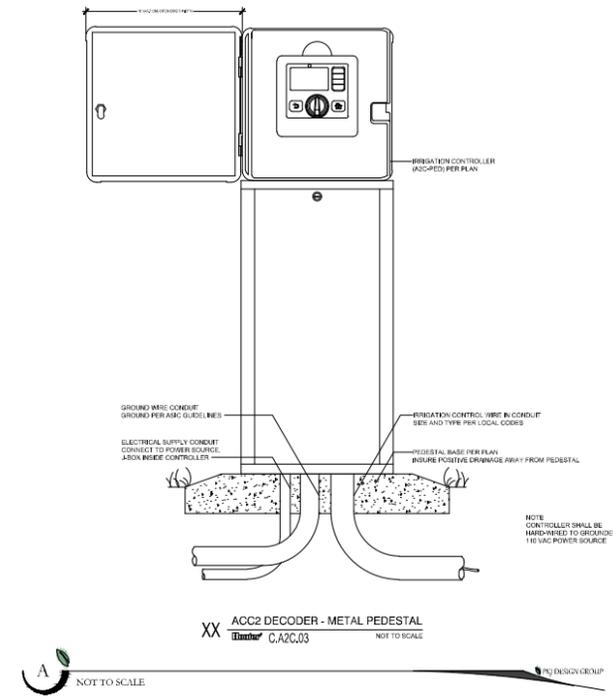
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DRAWN	ACP
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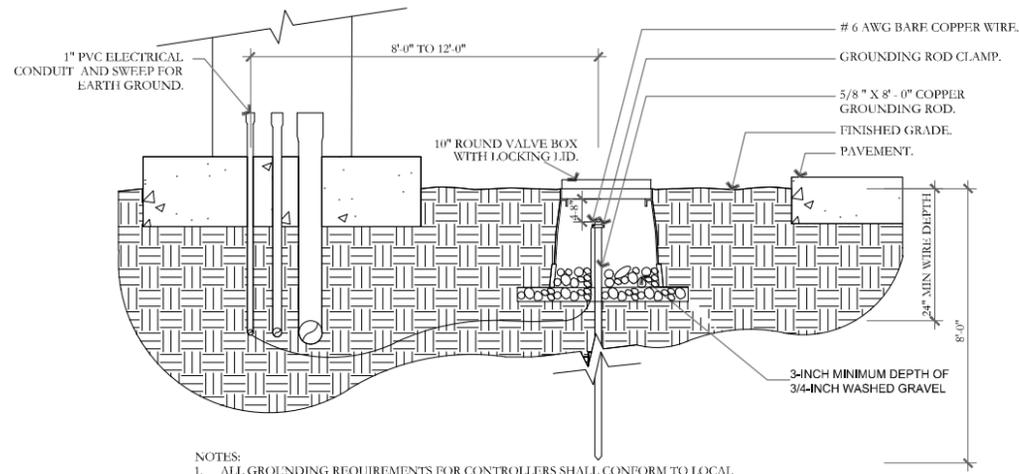
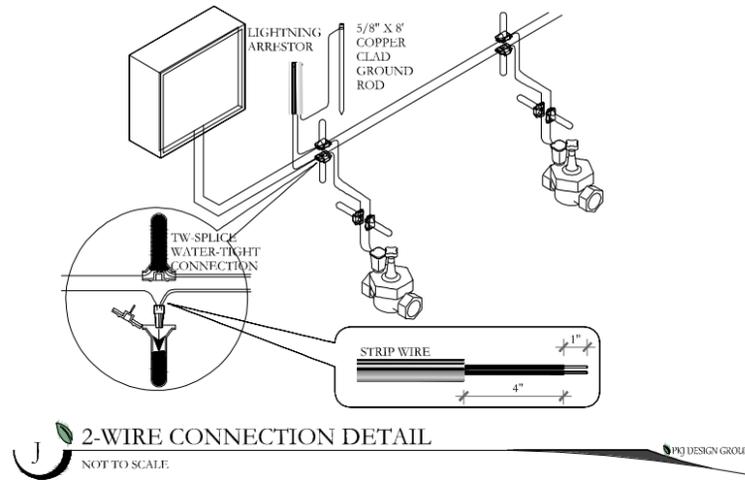
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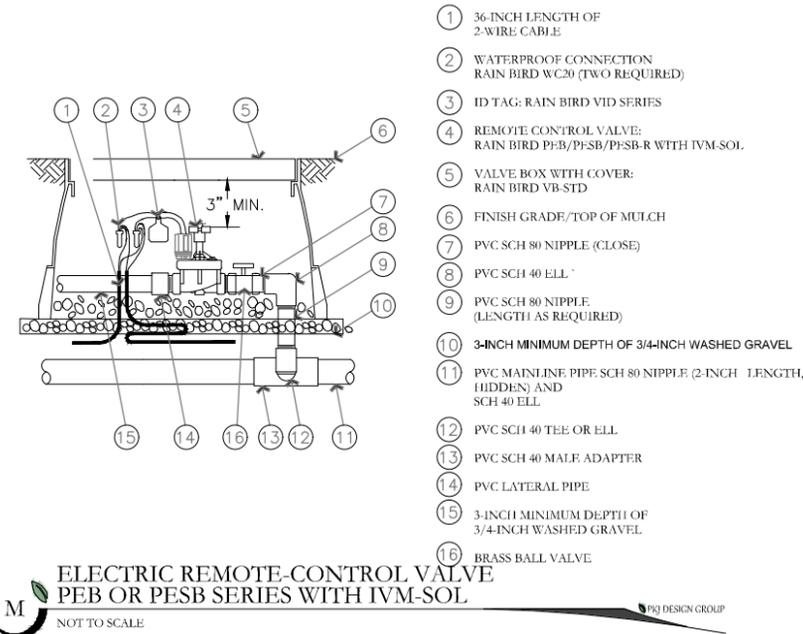
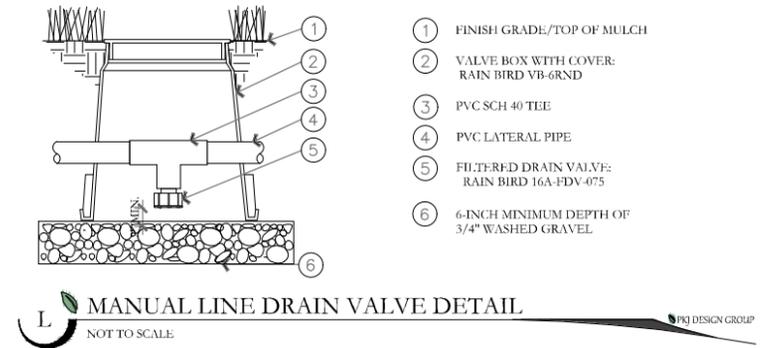
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IRRIGATION DETAILS
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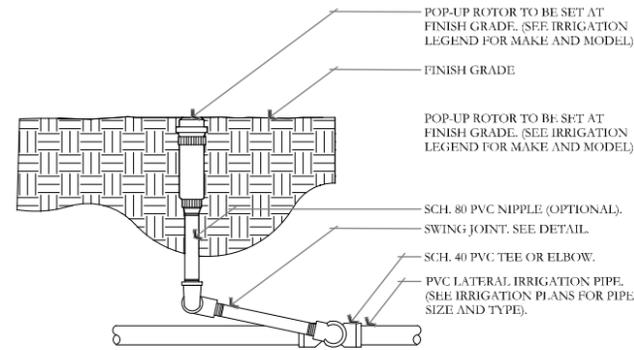
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- NOTES:
1. ALL GROUNDING REQUIREMENTS FOR CONTROLLERS SHALL CONFORM TO LOCAL ELECTRIC CODES.
 2. GROUNDING ROD SHALL NOT BE LOCATED IN THE SAME TRENCH AS THE IRRIGATION MAINLINES OR LATERAL LINES.
 3. VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
 4. INSTALL GROUNDING ROD PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

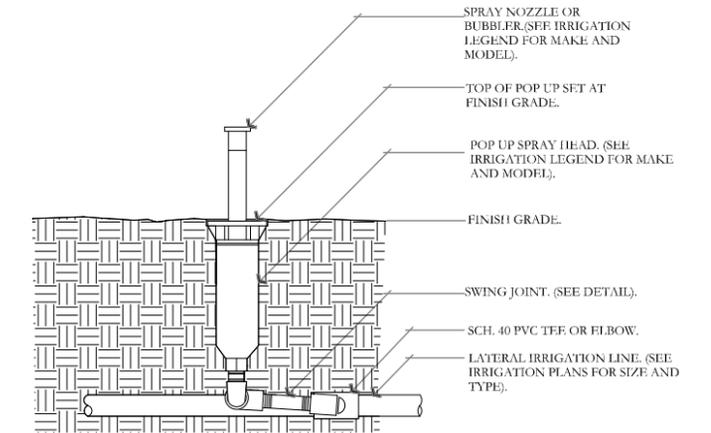


K GROUNDING ROD DETAIL
NOT TO SCALE



- NOTES:
1. ALL THREADED CONNECTION POINTS BETWEEN SCH. 40 PVC AND SCH. 80 PVC FITTING SHALL BE INSTALLED USING TEFLON TAPE.
 2. CONTRACTOR SHALL COMPACT SOIL AROUND ROTOR AND RISER PRIOR TO PLANTING, PLUGGING, SEEDING, OR LAYING OF SOD.

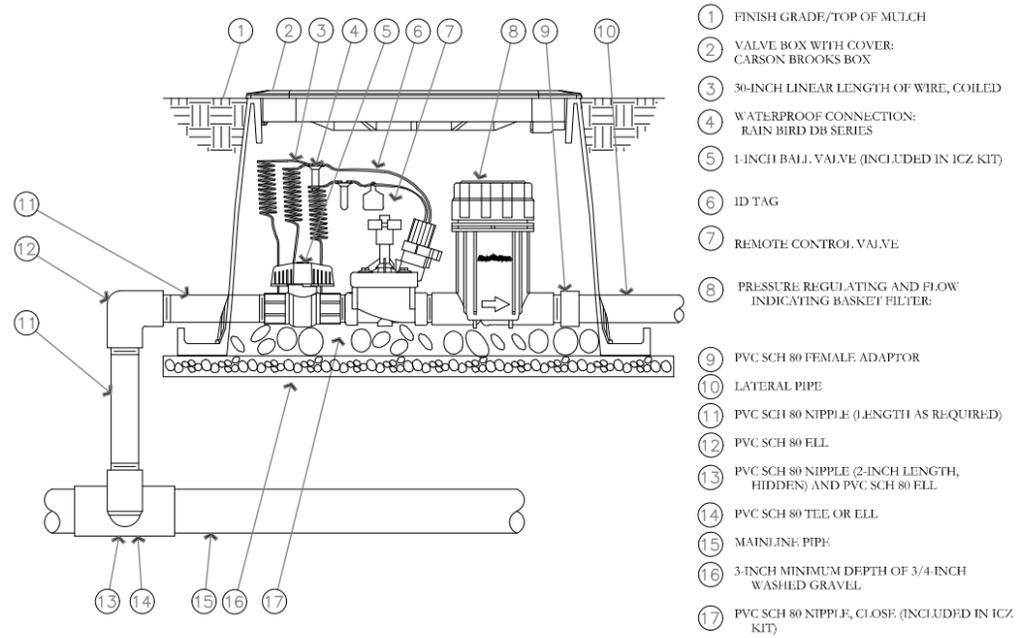
N ROTOR HEAD DETAIL
NOT TO SCALE



- NOTE:
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O POP-UP-SPRAY HEAD DETAIL
NOT TO SCALE

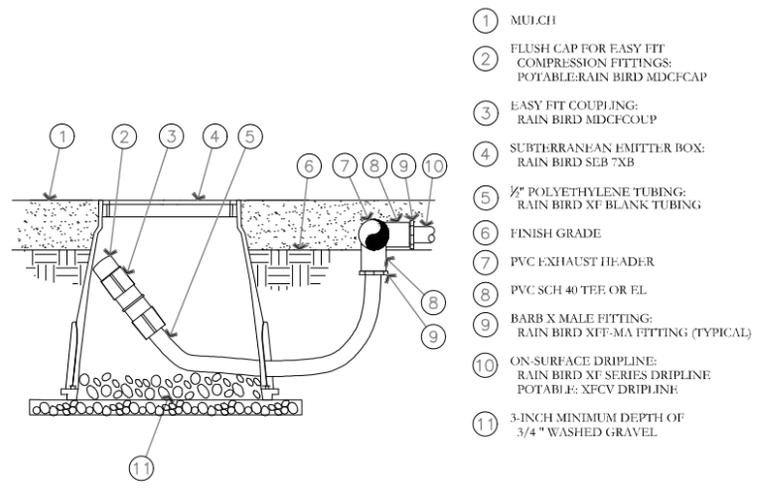
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- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH COVER: CARSON BROOKS BOX
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 5 1-INCH BALL VALVE (INCLUDED IN ICZ KIT)
- 6 ID TAG
- 7 REMOTE CONTROL VALVE
- 8 PRESSURE REGULATING AND FLOW INDICATING BASKET FILTER
- 9 PVC SCH 80 FEMALE ADAPTOR
- 10 LATERAL PIPE
- 11 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 12 PVC SCH 80 FLL
- 13 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 80 FLL
- 14 PVC SCH 80 TEE OR ELL
- 15 MAINLINE PIPE
- 16 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 17 PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN ICZ KIT)

P DRIP CONTROL ZONE KIT DETAIL
NOT TO SCALE

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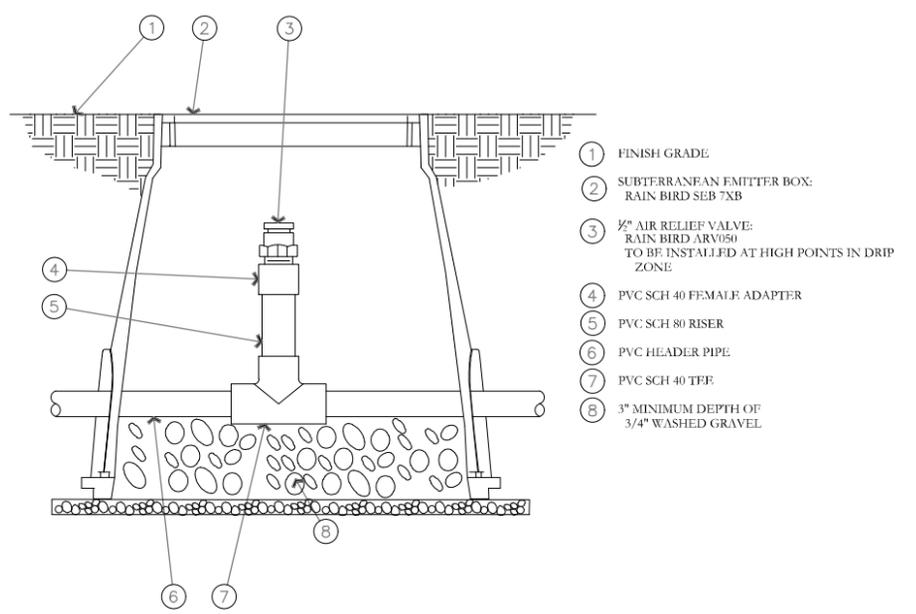


- 1 MULCH
- 2 FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE: RAIN BIRD MDGFCAP
- 3 EASY FIT COUPLING: RAIN BIRD MDGFCOUP
- 4 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 5 1/2" POLYETHYLENE TUBING: RAIN BIRD XF-BLANK TUBING
- 6 FINISH GRADE
- 7 PVC EXHAUST HEADER
- 8 PVC SCH 40 TEE OR EL
- 9 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- 10 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV DRIPLINE
- 11 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL

NOTE:
1. ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

Q ON-SURFACE DRIPLINE FLUSH POINT DETAIL
NOT TO SCALE

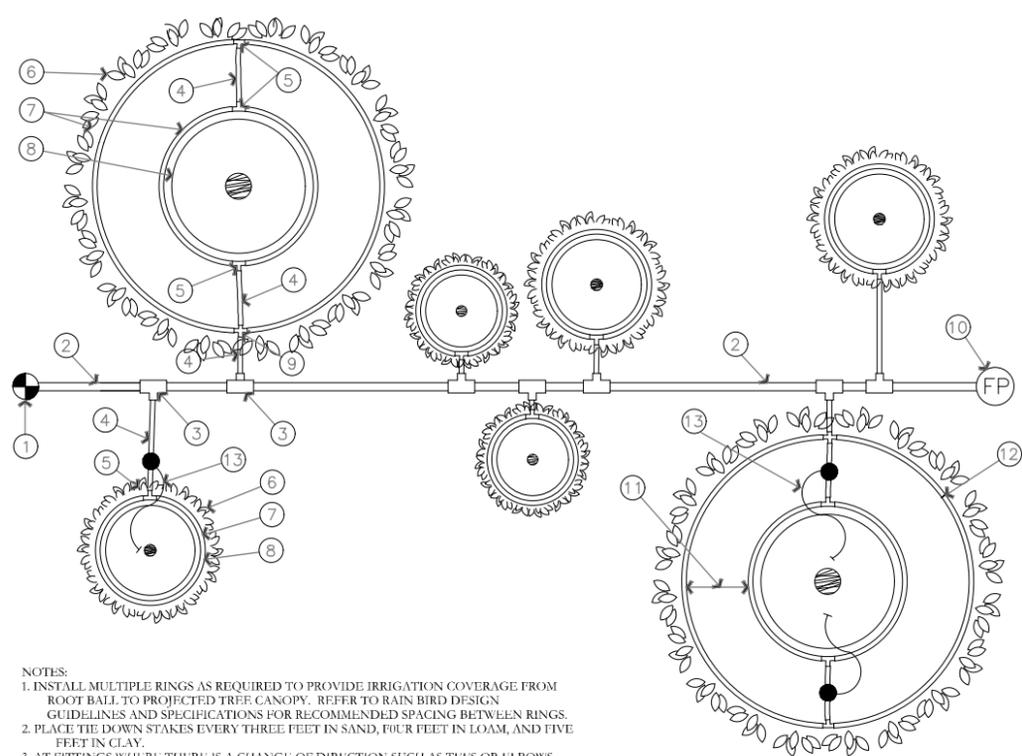
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- 1 FINISH GRADE
- 2 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 3 1/2" AIR RELIEF VALVE: RAIN BIRD ARV050 TO BE INSTALLED AT HIGH POINTS IN DRIPLINE ZONE
- 4 PVC SCH 40 FEMALE ADAPTER
- 5 PVC SCH 80 RISER
- 6 PVC HEADER PIPE
- 7 PVC SCH 40 TEE
- 8 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

R AIR RELIEF VALVE DETAIL
NOT TO SCALE

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- 1 RAIN BIRD CONTROL ZONE KIT (SIZED TO ACCOMMODATE LATERAL FLOW DEMAND)
- 2 PVC DRIP LATERAL PIPE
- 3 PVC SCH 40 TEE OR EL (TYPICAL)
- 4 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES-S FOR COPPER SHEILD (TYPICAL)
- 5 BARB X BARB INSERT TEE: RAIN BIRD XFF-TEE (TYPICAL)
- 6 PROJECTED CANOPY LINE OF TREE OR SHRUB (TYPICAL)
- 7 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV SERIES PLACE AS SHOWN (LENGTH AS REQUIRED, TYPICAL)
- 8 ROOT BALL (TYPICAL)
- 9 BARB X BARB INSERT CROSS: RAIN BIRD XFD-CROSS (TYPICAL)
- 10 DRIPLINE FLUSH POINT (SEE RAIN BIRD DETAIL: "XFCV DRIPLINE FLUSH POINT WITH BALL VALVE")
- 11 SPACING PER SPECIFICATION
- 12 TIE-DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED, SEE NOTES 2,3 BELOW)
- 13 POINT SOURCE EMITTERS FOR ESTABLISHMENT PERIOD. REMOVE AFTER ESTABLISHMENT PERIOD.

NOTES:
1. INSTALL MULTIPLE RINGS AS REQUIRED TO PROVIDE IRRIGATION COVERAGE FROM ROOT BALL TO PROJECTED TREE CANOPY. REFER TO RAIN BIRD DESIGN GUIDELINES AND SPECIFICATIONS FOR RECOMMENDED SPACING BETWEEN RINGS.
2. PLACE TIE-DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

S ON-SURFACE DRIPLINE TREE/SHRUB DETAIL
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ISSUE DATE 6/2/2025	PROJECT NUMBER UT24042	PLAN INFORMATION ** THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 04/23/2025	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT DR HORTON 208-371-7381	LANDSCAPE ARCHITECT / PLANNER PKJ DESIGN GROUP	LICENSE STAMP 	DRAWING INFO PLOT DATE: 6/2/2025																										
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