



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

NORTH SALT LAKE PLANNING COMMISSION NOTICE & AGENDA

August 26, 2025
6:30 p.m.

Notice is given that the City of North Salt Lake Planning Commission will hold a regular meeting on the above noted date and time in the City Council Chambers located at 10 East Center Street.

- 1) Welcome and Introduction
- 2) Public comments
- 3) Public Hearing: Consideration of an amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106), Kenneth Jensen, KCMP Holdings LLC, applicant (Legislative)
- 4) Consideration of site plan approval for Oaks Medical Group at Foxboro Market Place at 691 North Redwood Road, Lee Cox, AWA, applicant (Administrative)
- 5) Report on City Council actions on items recommended by Planning Commission
- 6) Approval of minutes:
 - a. 07/08/2025

This meeting will be broadcasted live through the City's YouTube channel: <https://www.youtube.com/@nslutah4909/streams>.

Planning Commission meetings are open to the public. If you need special accommodation to participate in the meeting, please call (801) 335-8709 with at least 24 hours' notice. Meetings of the Planning Commission may be conducted via electronic means pursuant to Utah Code Ann. §52-4-207 as amended. In such circumstances, contact will be established and maintained via electronic means and the meetings will be conducted in accordance with the City's Electronic Meetings Policy.

Notice of Posting:
I, the duly appointed Deputy City Recorder for the City of North Salt Lake, certify
that copies of the agenda for the Planning Commission meeting to be held
August 26, 2025 were posted on the Utah Public Notice Website:
<https://www.utah.gov/pmn/>, City's Website: <https://www.nslcity.org>, and at
City Hall: 10 E. Center St. North Salt Lake.

Date Posted: August 25, 2025

The signature of Sherrie Pace, Deputy City Recorder, in cursive ink.
Sherrie Pace, Deputy City Recorder





CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
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MEMORANDUM

TO: Planning Commission

FROM: Mackenzie Johnson, Planner

DATE: August 26, 2025

SUBJECT: Consideration of an amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106)

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the proposed amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106) with the following conditions:

1. Action on the amendment to the Self Storage and Storage Shed Overlay zone map does not guarantee nor entitle approval of site plan or permissible drive access locations from the public street (Center Street); and
2. The overlay boundary shall be the parcel, less the area acquired by UDOT for the expansion of I-15.

BACKGROUND

The property of 100 West Center Street is 2.9104 acres in size, zoned Manufacturing-Distribution (MD), and is owned by Kenneth Jensen's business known as Jensen's Architectural Woodwork. Mr. Jensen has made application to amend the Self Storage and Storage Shed Overlay zone map to include the subject property. The property is a long narrow parcel located between the I-15 South Center Street offramp and the railroad tracks. The depth of the property is approximately 2,400 feet and the narrowest portion is approximately 50 feet. There are limited uses in the MD Zone that this property could be utilized for given additional regulations for fire code and internal circulation that would be necessary for most businesses.

Additionally, the imminent I-15 Expansion Project will require UDOT to acquire some of the subject property for the expansion of UDOT's right-of-way. This has prompted Mr. Jensen to make application for a map amendment that would offer a land use that is compatible with the property configuration. In addition to the unusual constraints for redevelopment due to its odd shape, the planned transportation impacts, limited frontage on Center Street, and proximity to the active rail lines and Union Pacific regulations.

The property owner has expressed an interest in constructing two buildings with self storage units behind the existing workshop. This zoning map amendment will give them the opportunity to make site plan application. At site plan application, all applicable codes will be addressed and enforced. The zoning map amendment does not guarantee nor entitle approval of site plan review or permissible drive access locations from the public street (Center Street).

The existing Self Storage and Storage Shed Overlay zone locations are: running north to south between 1100 North and Center street between the railroad main lines and a spur line; beginning approximately 700 feet south of Center Street, bounded by the interstates and the railroad; and at 50 east Pacific Avenue. All of these areas overlay the MD zone. Self-storage is only permitted in the MD Zone within the Storage Unit Overlay. This property is north of Center Street and directly east of the existing overlay. Staff is recommending the zone change on the entire parcel, less that portion of the property acquired by UDOT.

POSSIBLE MOTION

I move that the Planning Commission recommend approval to the City Council of the proposed amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106) with the following conditions:

1. Action on the amendment to the Self Storage and Storage Shed Overlay zone map does not guarantee nor entitle approval of site plan review or permissible drive access locations from the public street (Center Street); and
2. The overlay boundary shall be the parcel, less the area acquired by UDOT for the expansion of I-15.

Attachments:

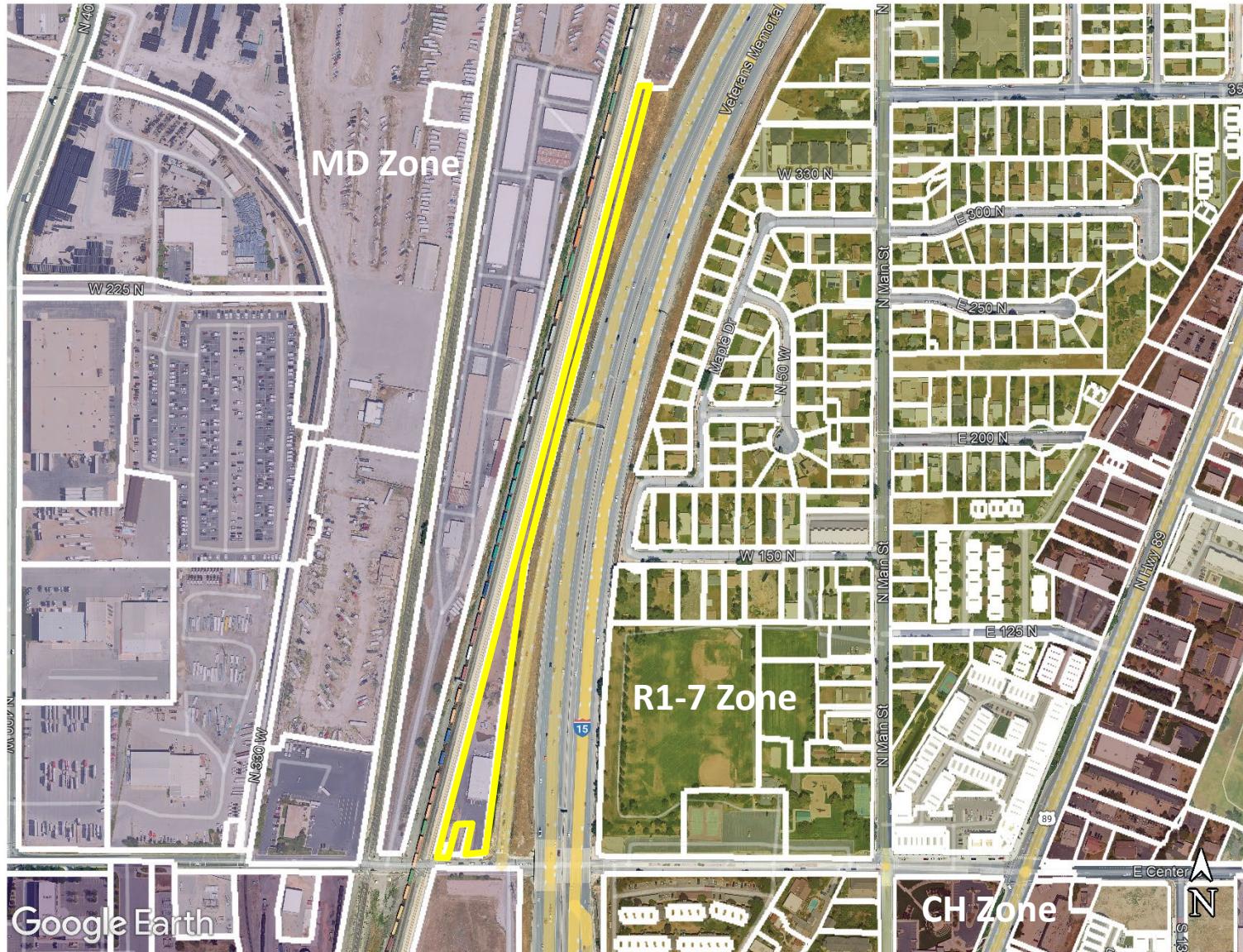
- 1) Zoning Map
- 2) Self Storage and Storage Shed Overlay Map
- 3) 100 West Center - UDOT I-15 Farmington to SLC FEIS: Potential ROW Impact (Oct. 2024)



Self Storage and Storage Shed Overlay Zone Amendment

100 West Center Street

Zoning Map



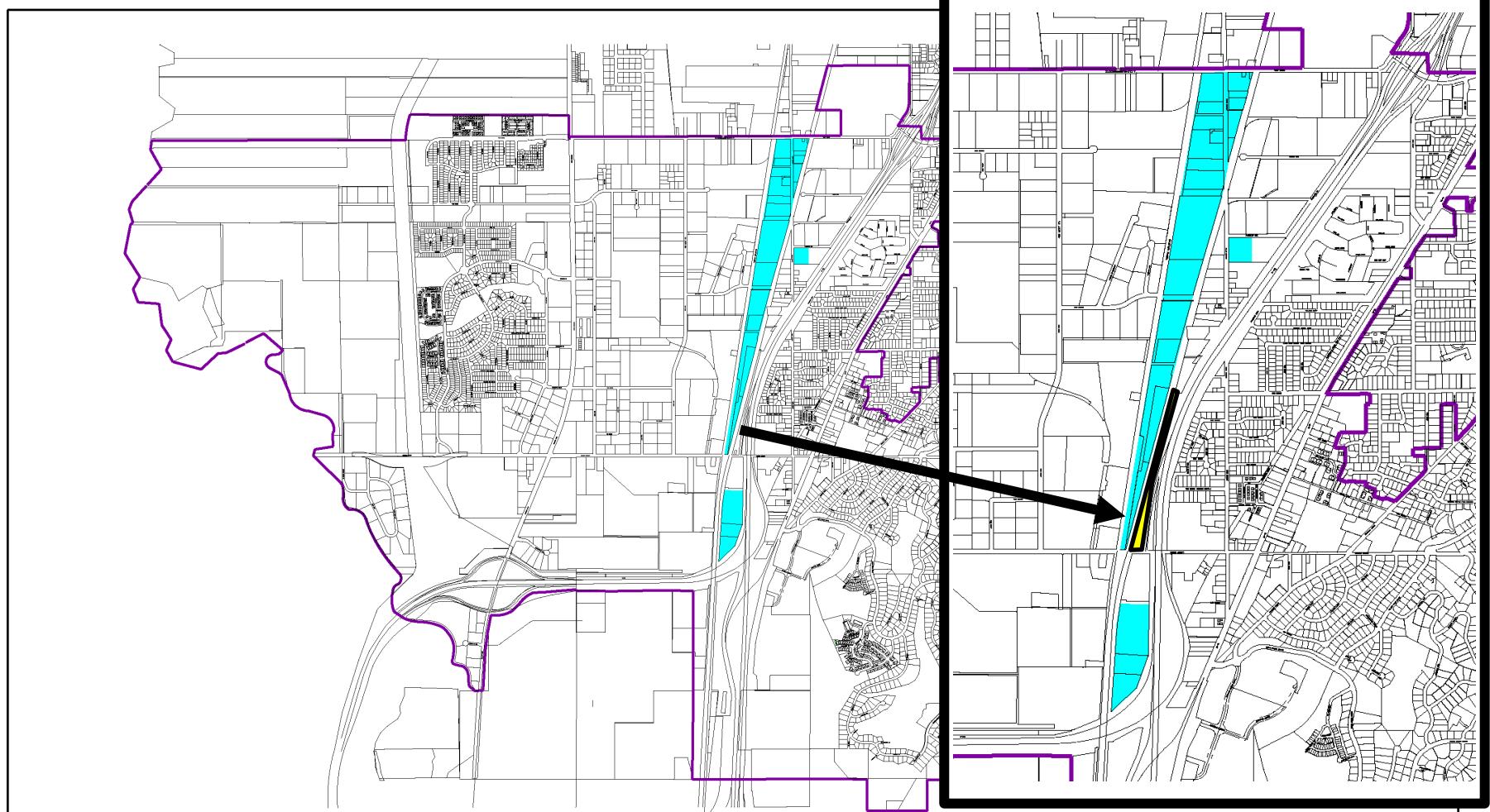
Google Earth



Self Storage and Storage Shed Overlay Zone Amendment

100 West Center Street

Self Storage and Storage Shed Overlay Map



REVISION	DATE	BY	DESCRIPTION	DESIGN PAGE
				DRAWN PAGE
				CHECKED
				DATE
	001	2011		001
				F.I.R. NO. P.G. NO.

NORTH SALT LAKE CITY SELF STORAGE & STORAGE SHED OVERLAY MAP



CITY OF NORTH SALT LAKE
10 East Center Street
North Salt Lake, Utah 84004
(801) 335-8700
LEONARD K. ARAYE
CITY MANAGER

SHEET 1
OF 1
PROJECT NO. _____

BARRY EDWARDS
City Manager



Self Storage and Storage Shed Overlay Zone Amendment

100 West Center Street

UDOT I-15 Potential ROW Impact (Oct. 2024)

I-15 ENVIRONMENTAL IMPACT STATEMENT

Farmington to Salt Lake City

UDOT I-15 Farmington to Salt Lake City FEIS: Potential ROW Impacts October 2024

To select an alternative, please select from the top right segment selector.

The FEIS Selected Alternative includes the North - Farm. 400 W. Option and the South - SLC 1000 N. Northern Option.

Disclaimer: This map shows the ROW impacts for the FEIS in October 2024.

Legend:

- Area of Potential Impact
- Full Acquisition
- Partial Acquisition
- Relocation
- Potential Relocation
- Perpetual Easement
- Temporary Construction Easement
- Access Change





CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
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MEMORANDUM

TO: Planning Commission
FROM: Caden Baines, Planning Intern
DATE: August 26, 2025
SUBJECT: Site Plan for Oaks Medical Group at 691 North Redwood Road

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the site plan for Oaks Medical Group located at 691 North Redwood Road with the following condition:

1. Correction of any outstanding engineering redlines prior to issuance of a building permit.

BACKGROUND

The subject 0.425 acre property is the last undeveloped building pad in the Foxboro Marketplace Planned District (P). According to the applicant, the Oaks Medical Group intends to build a multi-tenant building with two units. The north 3,000 sq. ft unit will be a medical office for Oaks Medical Group and the south 2,000 sq. ft. unit will be leased as office space. Both medical offices and general office are permitted uses in the Foxboro Marketplace Development Agreement. The total footprint of the building is 5,000 sq. ft. Oaks Medical Group currently operates a clinic at Foxboro Marketplace at 763 North Redwood Road.

REVIEW

There will be no modification to City right-of-way as the lot is surrounded on all sides by Foxboro Marketplace. The plans indicate that asphalt paving will be installed and striped for parking. City Code requires that parking for medical office be installed at a rate of 1 stall for every 200 square feet of gross floor area. The required parking for general office is 1 stall per 250 square feet for the first 20,000 square feet. The medical office would be required to have 15 parking spaces and the general office 8 with a total requirement of 23 parking stalls. The applicant proposes to provide 24 stalls, 2 of which meet ADA requirements.

The Foxboro Marketplace Development Agreement allows landscaping islands within the parking areas to be reduced to a width of six (6) feet. Parking islands on single rows of parking are required to have a minimum of one tree. The submitted plans meet this requirement. The applicant has provided 1,027 sq. ft. of landscaping in the 18,513 sq. ft. site (5%). The landscaping provided is consistent with the

approved landscaping plan in the Foxboro Marketplace Development Agreement. The applicant is proposing to install rock mulch with a drip irrigation system to support the vegetated areas and there is no sod/lawn present on the site.

There are no required setbacks and lot coverage regulations in the Foxboro Marketplace Development Agreement. City code 10-1-33 requires adequate screening of dumpsters by a masonry or concrete wall not less than six feet (6') in height that matches the architecture of the structure. The submitted plans meet this requirement.

ARCHITECTURAL REVIEW

All primary facades (front) and street sides shall be designed with a consistent architectural style, detail, façade and roof treatments and trim features similar to Lee's Marketplace. The Foxboro Marketplace Owners Association has approved the submitted elevations.

The proposed building will be 22 feet tall from finished grade to roof peak. The facades of the building will primarily consist of fiber-cement panels and stone veneer. Below is an outline of the architectural standards for the sides of the building visible from the public right of way:

Massing

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*Each principal building greater than thirty feet (30') in height shall have a change in cladding material or surface plane or other building material treatments, colors and textures that visually interrupt the wall plane. No single cladding material or surface plane (as applicable) may extend for an uninterrupted vertical distance of more than thirty feet (30'). (meets standard)*
- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (meets standard)*
- *Primary Building Entrance: Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (meets standard)*

Materials

- High quality materials-factory finished, integrally colored, or otherwise suitably treated (**meets standard**)
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%) (**meets standard**)
- Metal roofs & doors permitted (**meets standard**)

POSSIBLE MOTION

I move that the Planning Commission approve the site plan for Oaks Medical Group located at 691 North Redwood Road with the following condition:

1. Correction of any outstanding engineering redlines prior to issuance of a building permit.

Attachments:

- 1) Zoning Map
- 2) Aerial Map
- 3) Site Plan
- 4) Landscape Plan
- 5) Building Elevations
- 6) Dumpster Enclosure



Site Plan

Oaks Medical Group

Zoning Map

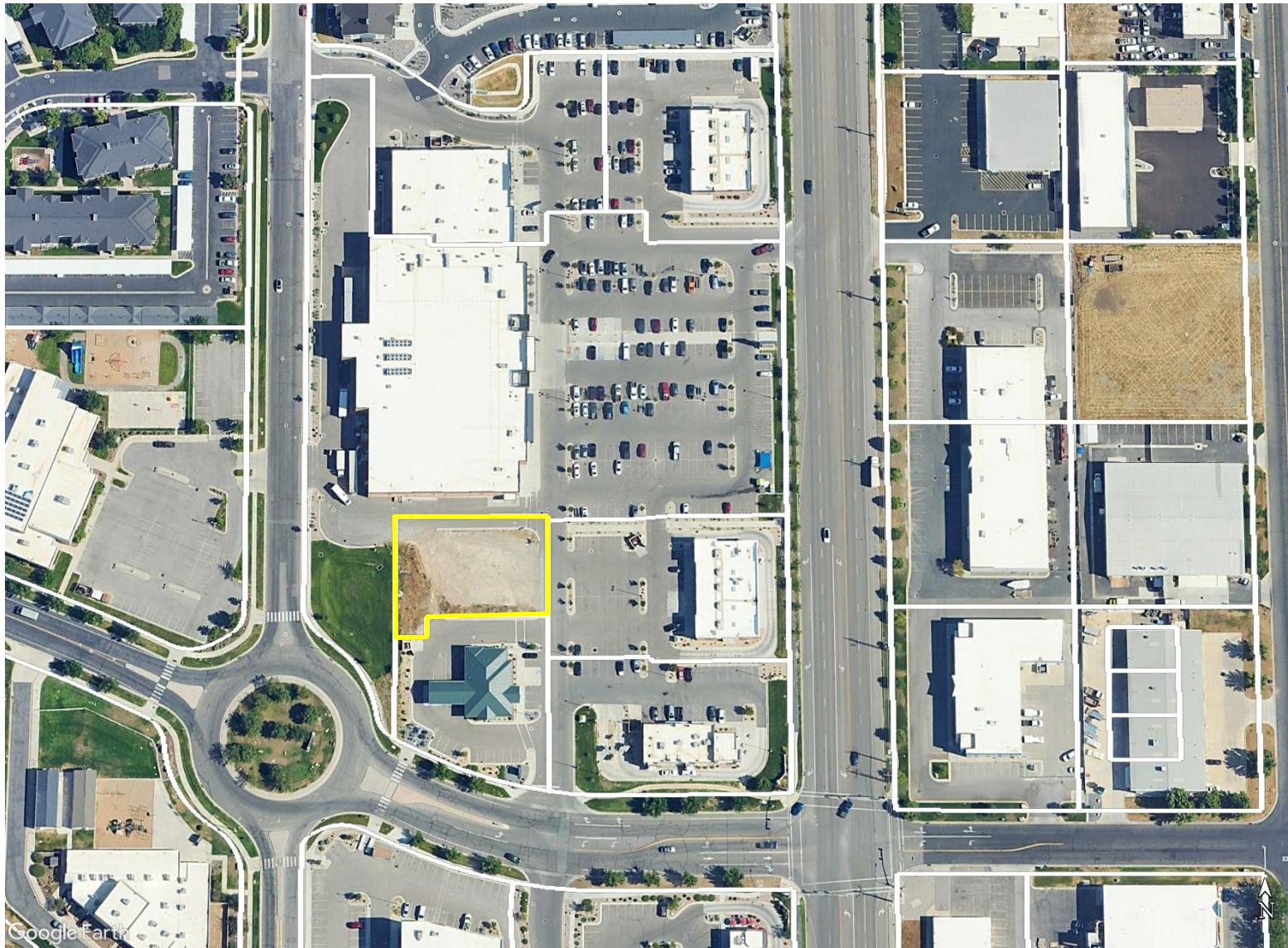


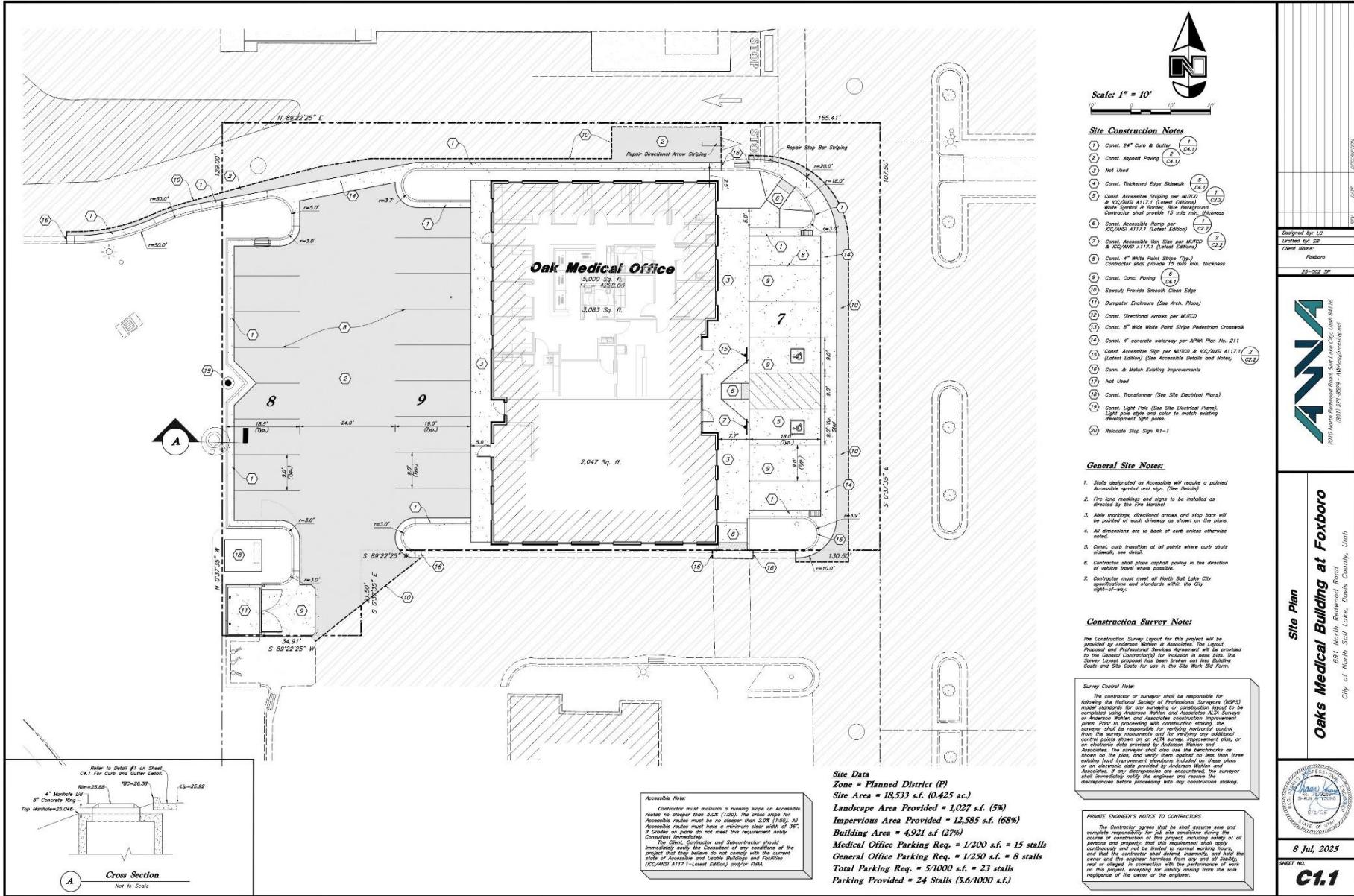


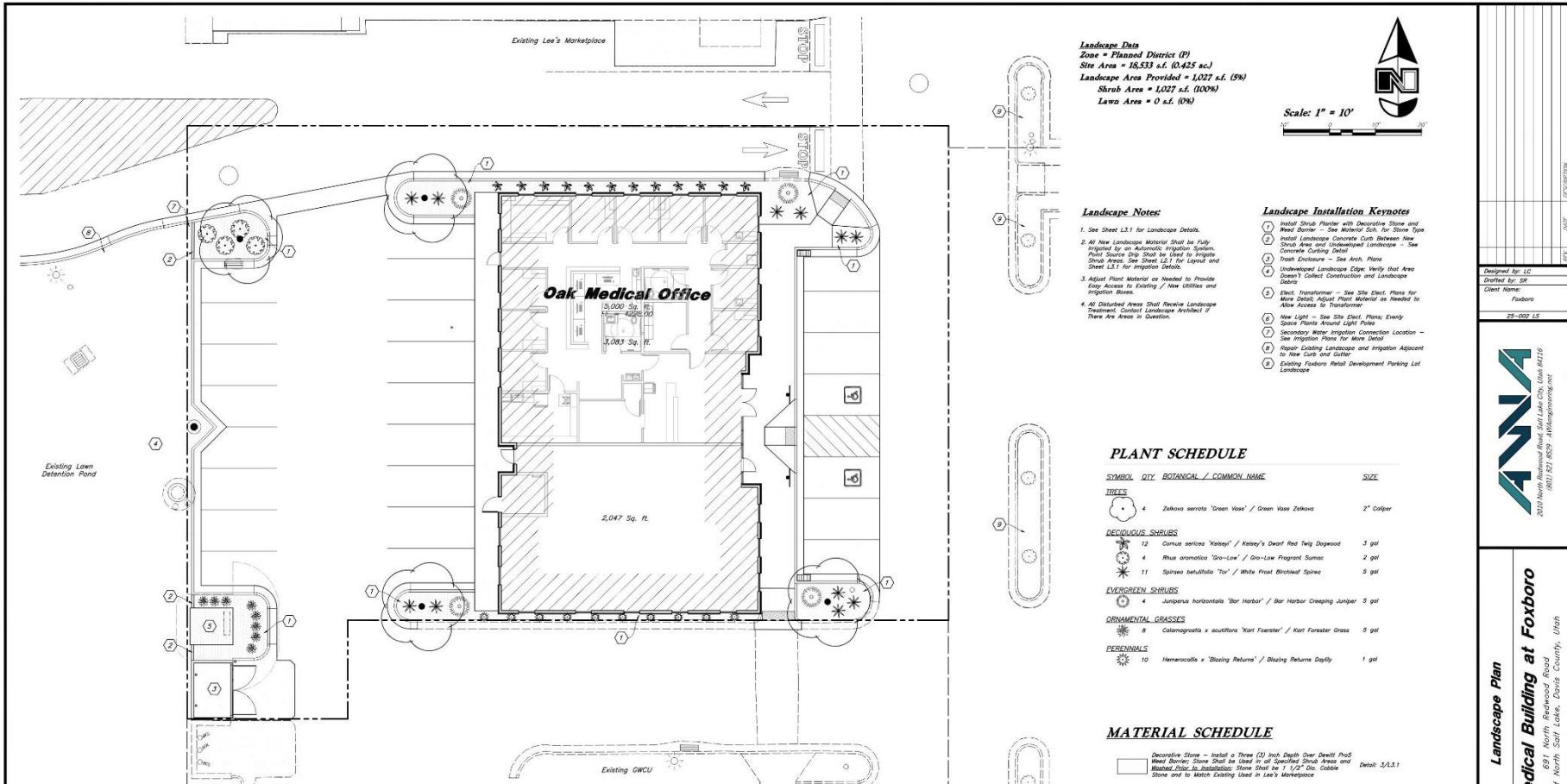
Site Plan

Oaks Medical Group

Aerial Map







General Landscape Notes:

- Plant material quantities are provided for bidding purposes only, it is the contractor's responsibility to verify all quantities on the plans and the availability of all plants and materials specified on the plans prior to submitting a bid. The contractor must notify the landscape architect in writing if there is any question concerning a quantity deficiency or availability problem with specified materials, the quantity of any substitutions must be approved by the landscape architect prior to the start of work. Please take precautions over plant scheduling.
- Contractor shall Blue Stone before excavation for plant material.
- Permit to excavate, the contractor shall be responsible for securing the appropriate permits. It shall occur during or at all times during the course of the work. It shall be the responsibility of the contractor to obtain all necessary permits, including, but not limited to, zoning, any and all permits in utilities, structures, site, septic systems, etc.
- The landscape contractor shall assess the site conditions under which the work is to be performed and notify the general contractor in writing of any necessary conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required to complete the installation of all landscape work as specified and shown on the drawings.

- See civil and architectural drawings for all structures, landscape, grading, and drainage information.
- Contractor surface clean up must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and contractor shall be responsible for removal of all debris and trash from cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines published by the American Association of Nurseries, Inc. In addition, all new plant material shall be certified as being free of pests.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equal or greater value. The contractor shall be responsible for all plant, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests and disease. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to ensure the safety of all employees and the public to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for complete abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or saturated.
- Imported topsoil shall be used for all landscape use. The landscape contractor shall perform a soil test on imported topsoil and amend per test results. Imported topsoil shall be delivered to the job site at the even spread on a carefully prepared grade free of weeds. At the top of stone walls, the topsoil shall be placed on the stone and concrete walls. All stone shall be washed prior to installation.
- All deciduous trees shall be double staked per tree. Staking details as needed for each tree. The landscape contractor shall be responsible to remove tree staking in a timely manner once stated trees have reached a height of 6' above ground. C.R.S. 1972.02.02
- Landscape materials shall repeat or replace plants and plantations that fail in materials, workmanship, or growth within specified warranty period. The contractor shall be responsible for all materials and unsatisfactory growth, except for defects resulting from abuse, rock damage, or other acts of God. The contractor shall be responsible for all materials and plantations that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance.

PLANT SCHEDULE

SYMBOL	CITY	BOTANICAL / COMMON NAME	SIZE
•	4	Zelkova serrata 'Green Vase' / Green Vase Zelkova	2" Caliper
DECIDUOUS SHRUBS	12	Corus sericea 'Kewei' / Kewei's Dwarf Red Twig Dogwood	3 gal
	4	Rhus aromatica 'Gra-Low' / Gra-Low Fragrant Sumac	2 gal
	11	Spiraea betulifolia 'Tor' / White Frost Birchleaf Spirea	5 gal
EVERGREEN SHRUBS	4	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal
ORNAMENTAL GRASSES	8	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Grass	5 gal
PERENNIALS	10	Hemerocallis x 'Blazing Returns' / Blazing Returns Daylily	1 gal

MATERIAL SCHEDULE

Decorative Stone - Install a Three (3) Inch Depth Over Geotextile Poly Weed Barrier. Stone Shall be Used in All Specified Shrub Areas and Between Shrub Areas and New Curbs and Gutter. Detail: J-1.1.1

Landscape Plan
Oaks Medical Building at Foxboro
691 North Railroad Road, Salt Lake City, Utah 84116
City of North Salt Lake, Davis County, Utah



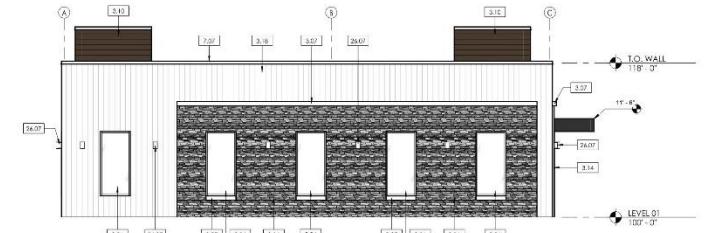
8 Jul, 2025

Know what's below.
Call before you dig.

L1.1



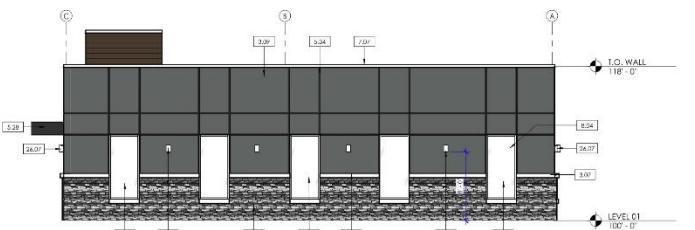
EAST ELEVATION



2
A201 **SOUTH ELEVATION**



3
A201 **WEST ELEVATION**
3'10" x 1'-6"



804

GENERAL PROJECT NOTES



5 7/9/2025 1:43:26 PM

OAKS MEDICAL GROUP

3591 NORTH REDWOOD ROAD, NORTH SALT LAKE CITY, UTAH

KEYNOTE LEGEND	
3.07	IFRECAST CONCRETE DAY
3.09	IFRECAST CONCRETE DAY, BIMFIAL PANR HARDIE PANEL, VESTEAL SYSTEM OR APPROX
3.10	IFRECAST BOARD, ARTISAN BOARD BY JAMES HARDIE OR APPROVED EGUL
3.14	STONE VENEER - JESSI OWNER FOR FINISH
3.15	IFRECAST BOARD, PREMIUM PLANK
3.28	ENTRANCE CANOPY
3.34	BEST TRIM, RIVSEAL SYSTEM
7.07	METAL PARAPET CAP - SEE 3.07
8.04	STORRPOINT GLAZING SYSTEM - SEE 3.07
26.07	WALL PACK LIGHTING FEATURES THAT CAN SKY OR INHABITANT - SEE ELECTRICAL

GENERAL EXTERIOR FINISH NOTES:

1. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING. COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
2. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYUFTPHERE SEALANT.
3. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

EXTERIOR ELEVATION COLOR:

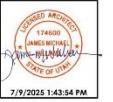
- FIBER CEMENT BOARD
ROYCROFT PENTR - SW 2648
- VERTICAL FIBER CEMENT PLANK
ICE CURE - SW 5532
- FIBER CEMENT BOARD
DARK CLOVE - SW P163

 = AUSTIN LEDGERSTONE

ANSWER

BUILDING ELEVATIONS

PROJECT STATUS	DATE: PROJECT ISSUE DATE	
	SHEET #:	
A201		
COPYRIGHT ASBESTOS C		

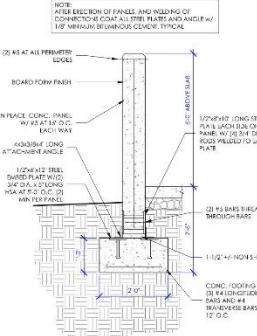


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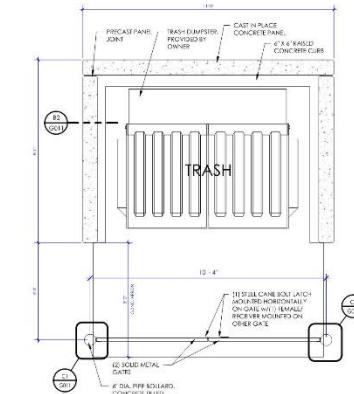
OAKS MEDICAL GROUP
691 NORTH REDWOOD ROAD, NORTH SALT LAKE CITY, UTAH



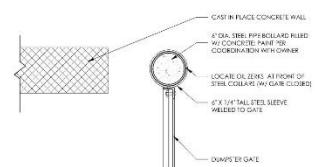
AE2024.339
SITE DETAILS
DATE: PROJECT ISSUE
SHEET #: G011
COPRIGHT: AERIA, L.C.



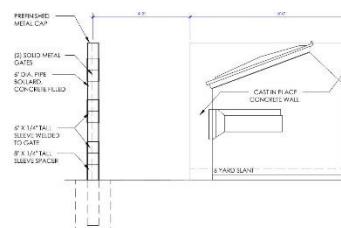
DUMPSTER ENCLOSURE WALL SECTION
CAST IN PLACE CONCRETE WALL



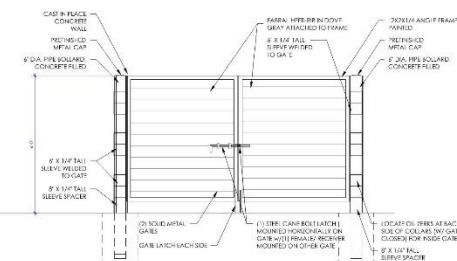
SINGLE DUMPSTER ENCLOSURE PLAN



DUMPSTER ENCLOSURE DETAIL



DUMPSTER ENCLOSURE ELEVATIONS



FRONT ELEV.

PROJECT STATUS
DATE: PROJECT ISSUE
SHEET #: G011
COPRIGHT: AERIA, L.C.

**CITY OF NORTH SALT LAKE
PLANNING COMMISSION MEETING
CITY HALL-10 EAST CENTER STREET, NORTH SALT LAKE
JULY 8, 2025**

DRAFT

Commission Chair Larson called the meeting to order at 6:30 p.m.

PRESENT: Commission Chair BreAnna Larson
Commissioner Ryan Holbrook
Commissioner Ron Jorgensen
Commissioner Irene Stone
Commissioner Brandon Tucker
Commission Vice Chair William Ward

EXCUSED: Commissioner Johnathan Marsh

STAFF PRESENT: Sherrie Pace, Community Development Director; Mackenzie Johnson, Planner; Caden Baines, Planning Intern.

OTHERS PRESENT: Dee Lalliss, Gentry Holbrook, residents; David Johnson, Shane Dean, Structural Steel.

1. PUBLIC COMMENTS

There were no public comments.

2. CONSIDERATION OF SITE PLAN APPROVAL FOR STRUCTURAL STEEL'S MAIN YARD IMPROVEMENTS AT 125 WEST 500 NORTH, BRIAN DEAN, STRUCTURAL STEEL, APPLICANT

Mackenzie Johnson reported on the site plan application for Structural Steel at 125 West 500 North. She noted the 15.43 acre property was located in the industrial area adjacent to the rail lines in the Manufacturing-Distribution (MD) zone. She clarified that there were existing buildings on the site, and that the application was only for site improvements to the parking and outdoor storage areas. She shared an aerial view of the property and a site plan which included the outdoor storage area, the request to pave the main yard area including 340,929 square feet of asphalt, install new storm drain infrastructure, and improve 100,871 square feet of landscaping.

41 Ms. Johnson continued that City Code 10-20-3 required that the redevelopment of industrial sites
42 that added or replaced (alone or in combination) 5,000 sq. ft. of impervious surface or disturb
43 5,000 sq. ft. of land must include a Low Impact Development (LID) analysis that met the
44 objective of retaining on site, with no discharge, the 0.6-inch, 24- hour rainfall event. She then
45 shared the proposed landscaping plan. She said the proposed site plan provided 100,871 square
46 feet of landscaping which was 15% of the entire lot which meets the minimum requirement in
47 the MD zone. She reviewed the landscape improvements including decorative gravel, silver
48 maple, and cottonwood trees with the request to focus the trees along the back property line to
49 shield the view from the FrontRunner rail line.

50
51 Mackenzie Johnson stated the City Engineer confirmed that the proposed plan has adequate
52 retention and drainage infrastructure. She said the Development Review Committee (DRC)
53 recommended approval of the site plan for Structural Steel's Main Yard Improvements at 125
54 West 500 North with no conditions.

55
56 **Commissioner Tucker moved that the Planning Commission approve the site plan for**
57 **Structural Steel's Main Yard Improvements at 125 West 500 North with no conditions.**
58 **Commissioner Ward seconded the motion. The motion was approved by Commissioners**
59 **Holbrook, Jorgensen, Larson, Stone, Tucker, and Ward. Commissioner Marsh was excused.**

60
61 3. REPORT ON CITY COUNCIL ACTIONS ON ITEMS RECOMMENDED BY
62 PLANNING COMMISSION

63
64 Mackenzie Johnson reported that there were no items of note from the June 17th City Council
65 meeting and added that the July 1st Council meeting had been canceled.

66
67 She said the required Planning Commission training for fiscal year 24-25 had been completed.
68 She shared that the 2025 APA Utah fall conference would be held on October 9th and 10th at The
69 Gateway in Salt Lake City.

70
71 4. APPROVAL OF MINUTES

72
73 The Planning Commission meeting minutes of June 10, 2025 were reviewed and approved.

74
75 **Commissioner Jorgensen moved to approve the meeting minutes as drafted for the June 10,**
76 **2025 Planning Commission meeting. Commissioner Ward seconded the motion. The motion**
77 **was approved by Commissioners Holbrook, Jorgensen, Larson, Stone, Tucker, and Ward.**
78 **Commissioner Marsh was excused.**

80 5. ADJOURN

81

82 Commission Chair Larson adjourned the meeting at 6:36 p.m.

83

84

85 *The foregoing was approved by the Planning Commission of the City of North Salt Lake on*
86 *Tuesday, August 26, 2025 by unanimous vote of all members present.*

87

88

89

90 _____
90 BreAnna Larson, Commission Chair

91 _____
91 *Wendy Page, City Recorder*