



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

NORTH SALT LAKE PLANNING COMMISSION NOTICE & AGENDA August 26, 2025 6:30 p.m.

Notice is given that the City of North Salt Lake Planning Commission will hold a regular meeting on the above noted date and time in the City Council Chambers located at 10 East Center Street.

- 1) Welcome and Introduction
- 2) Public comments
- 3) Public Hearing: Consideration of an amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106), Kenneth Jensen, KCMP Holdings LLC, applicant (Legislative)
- 4) Consideration of site plan approval for Oaks Medical Group at Foxboro Market Place at 691 North Redwood Road, Lee Cox, AWA, applicant (Administrative)
- 5) Report on City Council actions on items recommended by Planning Commission
- 6) Approval of minutes:
 - a. 07/08/2025

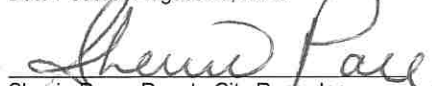
This meeting will be broadcasted live through the City's YouTube channel: <https://www.youtube.com/@nslutah4909/streams>.

Planning Commission meetings are open to the public. If you need special accommodation to participate in the meeting, please call (801) 335-8709 with at least 24 hours' notice. Meetings of the Planning Commission may be conducted via electronic means pursuant to Utah Code Ann. §52-4-207 as amended. In such circumstances, contact will be established and maintained via electronic means and the meetings will be conducted in accordance with the City's Electronic Meetings Policy.

Notice of Posting:

I, the duly appointed Deputy City Recorder for the City of North Salt Lake, certify that copies of the agenda for the Planning Commission meeting to be held **August 26, 2025** were posted on the Utah Public Notice Website: <https://www.utah.gov/pmn/>, City's Website: <https://www.nslcity.org>, and at City Hall: 10 E. Center St. North Salt Lake.

Date Posted: August 25, 2025


Sherrie Pace, Deputy City Recorder





CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission
FROM: Mackenzie Johnson, Planner
DATE: August 26, 2025
SUBJECT: Consideration of an amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106)

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the proposed amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106) with the following conditions:

1. Action on the amendment to the Self Storage and Storage Shed Overlay zone map does not guarantee nor entitle approval of site plan or permissible drive access locations from the public street (Center Street); and
2. The overlay boundary shall be the parcel, less the area acquired by UDOT for the expansion of I-15.

BACKGROUND

The property of 100 West Center Street is 2.9104 acres in size, zoned Manufacturing-Distribution (MD), and is owned by Kenneth Jensen's business known as Jensen's Architectural Woodwork. Mr. Jensen has made application to amend the Self Storage and Storage Shed Overlay zone map to include the subject property. The property is a long narrow parcel located between the I-15 South Center Street offramp and the railroad tracks. The depth of the property is approximately 2,400 feet and the narrowest portion is approximately 50 feet. There are limited uses in the MD Zone that this property could be utilized for given additional regulations for fire code and internal circulation that would be necessary for most businesses.

Additionally, the imminent I-15 Expansion Project will require UDOT to acquire some of the subject property for the expansion of UDOT's right-of-way. This has prompted Mr. Jensen to make application for a map amendment that would offer a land use that is compatible with the property configuration. In addition to the unusual constraints for redevelopment due to its odd shape, the planned transportation impacts, limited frontage on Center Street, and proximity to the active rail lines and Union Pacific regulations.

The property owner has expressed an interest in constructing two buildings with self storage units behind the existing workshop. This zoning map amendment will give them the opportunity to make site plan application. At site plan application, all applicable codes will be addressed and enforced. The zoning map amendment does not guarantee nor entitle approval of site plan review or permissible drive access locations from the public street (Center Street).

The existing Self Storage and Storage Shed Overlay zone locations are: running north to south between 1100 North and Center street between the railroad main lines and a spur line; beginning approximately 700 feet south of Center Street, bounded by the interstates and the railroad; and at 50 east Pacific Avenue. All of these areas overlay the MD zone. Self-storage is only permitted in the MD Zone within the Storage Unit Overlay. This property is north of Center Street and directly east of the existing overlay. Staff is recommending the zone change on the entire parcel, less that portion of the property acquired by UDOT.

POSSIBLE MOTION

I move that the Planning Commission recommend approval to the City Council of the proposed amendment to the Self Storage and Storage Shed Overlay zone map to include the property of 100 West Center Street (Parcel ID: 01-082-0106) with the following conditions:

1. Action on the amendment to the Self Storage and Storage Shed Overlay zone map does not guarantee nor entitle approval of site plan review or permissible drive access locations from the public street (Center Street); and
2. The overlay boundary shall be the parcel, less the area acquired by UDOT for the expansion of I-15.

Attachments:

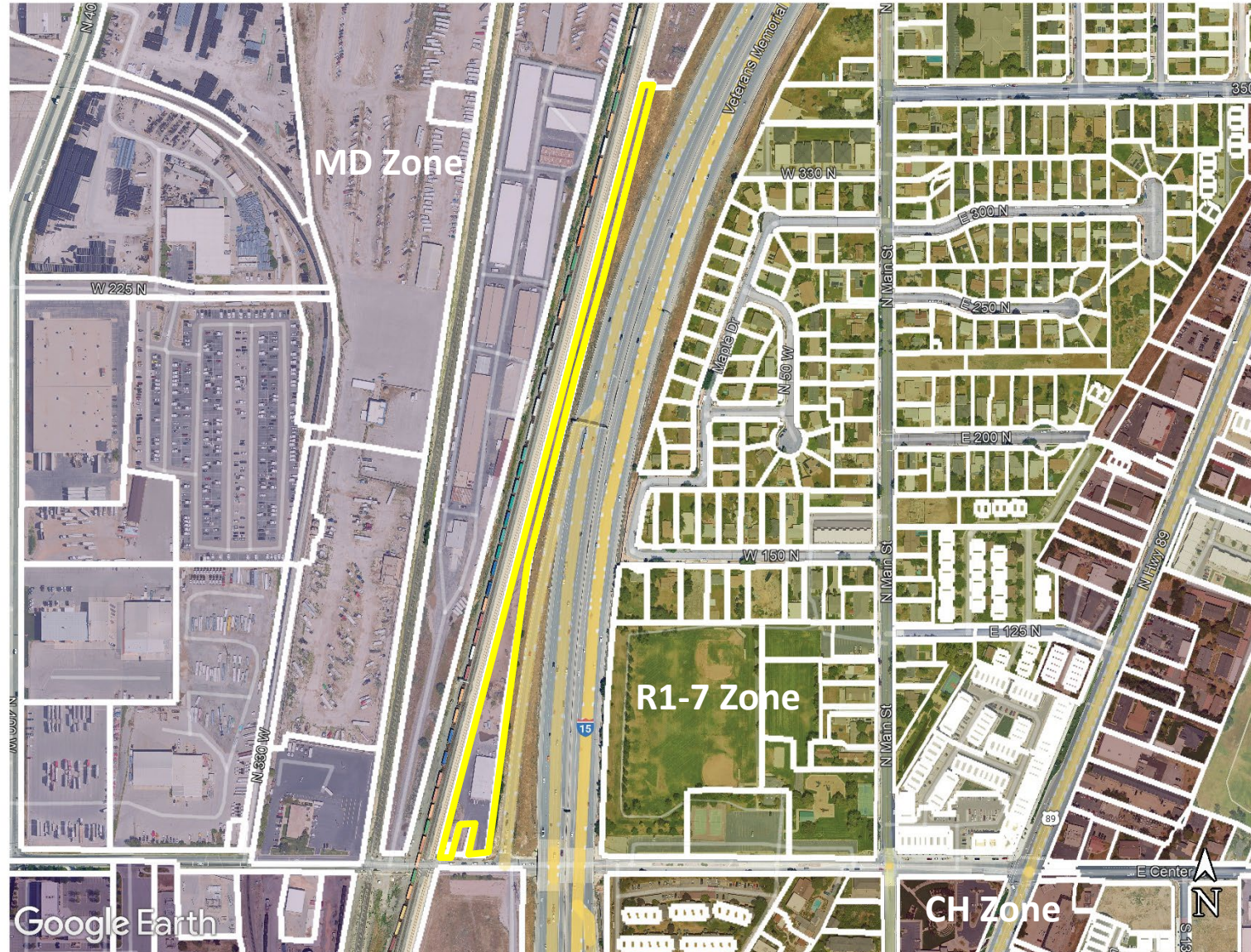
- 1) Zoning Map
- 2) Self Storage and Storage Shed Overlay Map
- 3) 100 West Center - UDOT I-15 Farmington to SLC FEIS: Potential ROW Impact (Oct. 2024)



Self Storage and Storage Shed Overlay Zone Amendment

100 West Center Street

Zoning Map

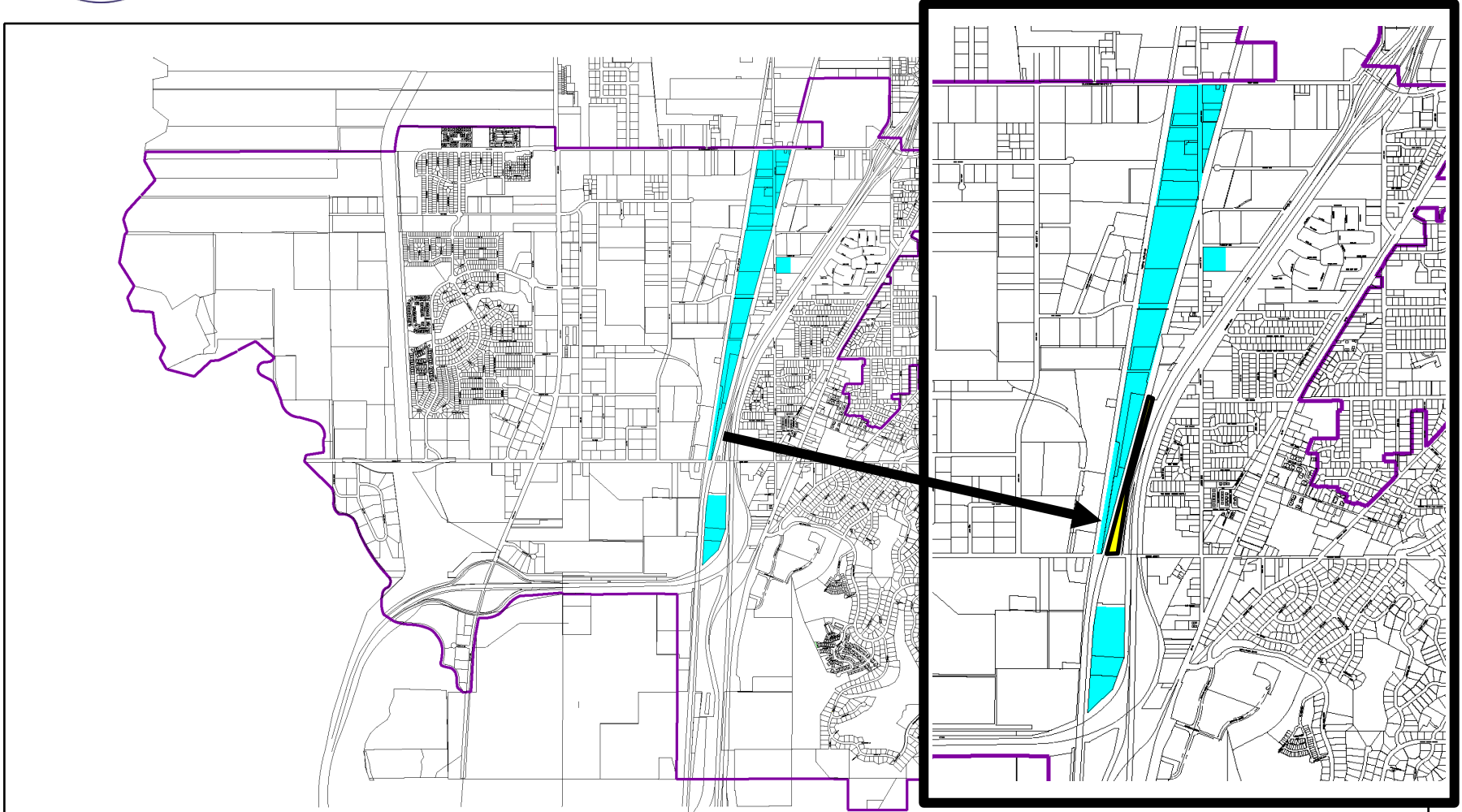




Self Storage and Storage Shed Overlay Zone Amendment

100 West Center Street

Self Storage and Storage Shed Overlay Map



REVISION	DATE	BY	DESCRIPTION	DESIGN
				PAD
				DRAWN
				PAD
				CHECKED
				PAD
				DATE
				DEC 2011
				BY: J. B. TAYLOR
				FOR: PAD

NORTH SALT LAKE CITY
SELF STORAGE &
STORAGE SHED
OVERLAY MAP



CITY OF NORTH SALT LAKE
10 West Center Street
North Salt Lake, Utah 84054
LEONARD K. ARVIE
Mayor
BARRY EDWARDS
City Manager

SHEET
OF
PROJECT NO.



Self Storage and Storage Shed Overlay Zone Amendment

100 West Center Street

UDOT I-15 Potential ROW Impact (Oct. 2024)

**I-15 ENVIRONMENTAL
IMPACT STATEMENT**
Farmington to Salt Lake City









UDOT I-15 Farmington to Salt Lake City FEIS: Potential ROW Impacts October 2024

To select an alternative, please select
from the top right segment selector.

The FEIS Selected Alternative includes
the North - Farm. 400 W. Option and the
South - SLC 1000 N. Northern Option.

*Disclaimer: This map shows the ROW
impacts for the FEIS in October 2024.*

Legend:

-  Area of Potential Impact
-  Full Acquisition
-  Partial Acquisition
-  Relocation
-  Potential Relocation
-  Perpetual Easement
-  Temporary Construction Easement
-  Access Change





CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
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MEMORANDUM

TO: Planning Commission
FROM: Caden Baines, Planning Intern
DATE: August 26, 2025
SUBJECT: Site Plan for Oaks Medical Group at 691 North Redwood Road

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the site plan for Oaks Medical Group located at 691 North Redwood Road with the following condition:

1. Correction of any outstanding engineering redlines prior to issuance of a building permit.

BACKGROUND

The subject 0.425 acre property is the last undeveloped building pad in the Foxboro Marketplace Planned District (P). According to the applicant, the Oaks Medical Group intends to build a multi-tenant building with two units. The north 3,000 sq. ft unit will be a medical office for Oaks Medical Group and the south 2,000 sq. ft. unit will be leased as office space. Both medical offices and general office are permitted uses in the Foxboro Marketplace Development Agreement. The total footprint of the building is 5,000 sq. ft. Oaks Medical Group currently operates a clinic at Foxboro Marketplace at 763 North Redwood Road.

REVIEW

There will be no modification to City right-of-way as the lot is surrounded on all sides by Foxboro Marketplace. The plans indicate that asphalt paving will be installed and striped for parking. City Code requires that parking for medical office be installed at a rate of 1 stall for every 200 square feet of gross floor area. The required parking for general office is 1 stall per 250 square feet for the first 20,000 square feet. The medical office would be required to have 15 parking spaces and the general office 8 with a total requirement of 23 parking stalls. The applicant proposes to provide 24 stalls, 2 of which meet ADA requirements.

The Foxboro Marketplace Development Agreement allows landscaping islands within the parking areas to be reduced to a width of six (6) feet. Parking islands on single rows of parking are required to have a minimum of one tree. The submitted plans meet this requirement. The applicant has provided 1,027 sq. ft. of landscaping in the 18,513 sq. ft. site (5%). The landscaping provided is consistent with the

approved landscaping plan in the Foxboro Marketplace Development Agreement. The applicant is proposing to install rock mulch with a drip irrigation system to support the vegetated areas and there is no sod/lawn present on the site.

There are no required setbacks and lot coverage regulations in the Foxboro Marketplace Development Agreement. City code 10-1-33 requires adequate screening of dumpsters by a masonry or concrete wall not less than six feet (6') in height that matches the architecture of the structure. The submitted plans meet this requirement.

ARCHITECTURAL REVIEW

All primary facades (front) and street sides shall be designed with a consistent architectural style, detail, façade and roof treatments and trim features similar to Lee's Marketplace. The Foxboro Marketplace Owners Association has approved the submitted elevations.

The proposed building will be 22 feet tall from finished grade to roof peak. The facades of the building will primarily consist of fiber-cement panels and stone veneer. Below is an outline of the architectural standards for the sides of the building visible from the public right of way:

Massing

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*Each principal building greater than thirty feet (30') in height shall have a change in cladding material or surface plane or other building material treatments, colors and textures that visually interrupt the wall plane. No single cladding material or surface plane (as applicable) may extend for an uninterrupted vertical distance of more than thirty feet (30'). (meets standard)*
- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (meets standard)*
- Primary Building Entrance: *Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (meets standard)*

Materials

- High quality materials-factory finished, integrally colored, or otherwise suitably treated **(meets standard)**
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%) **(meets standard)**
- Metal roofs & doors permitted **(meets standard)**

POSSIBLE MOTION

I move that the Planning Commission approve the site plan for Oaks Medical Group located at 691 North Redwood Road with the following condition:

1. Correction of any outstanding engineering redlines prior to issuance of a building permit.

Attachments:

- 1) Zoning Map
- 2) Aerial Map
- 3) Site Plan
- 4) Landscape Plan
- 5) Building Elevations
- 6) Dumpster Enclosure

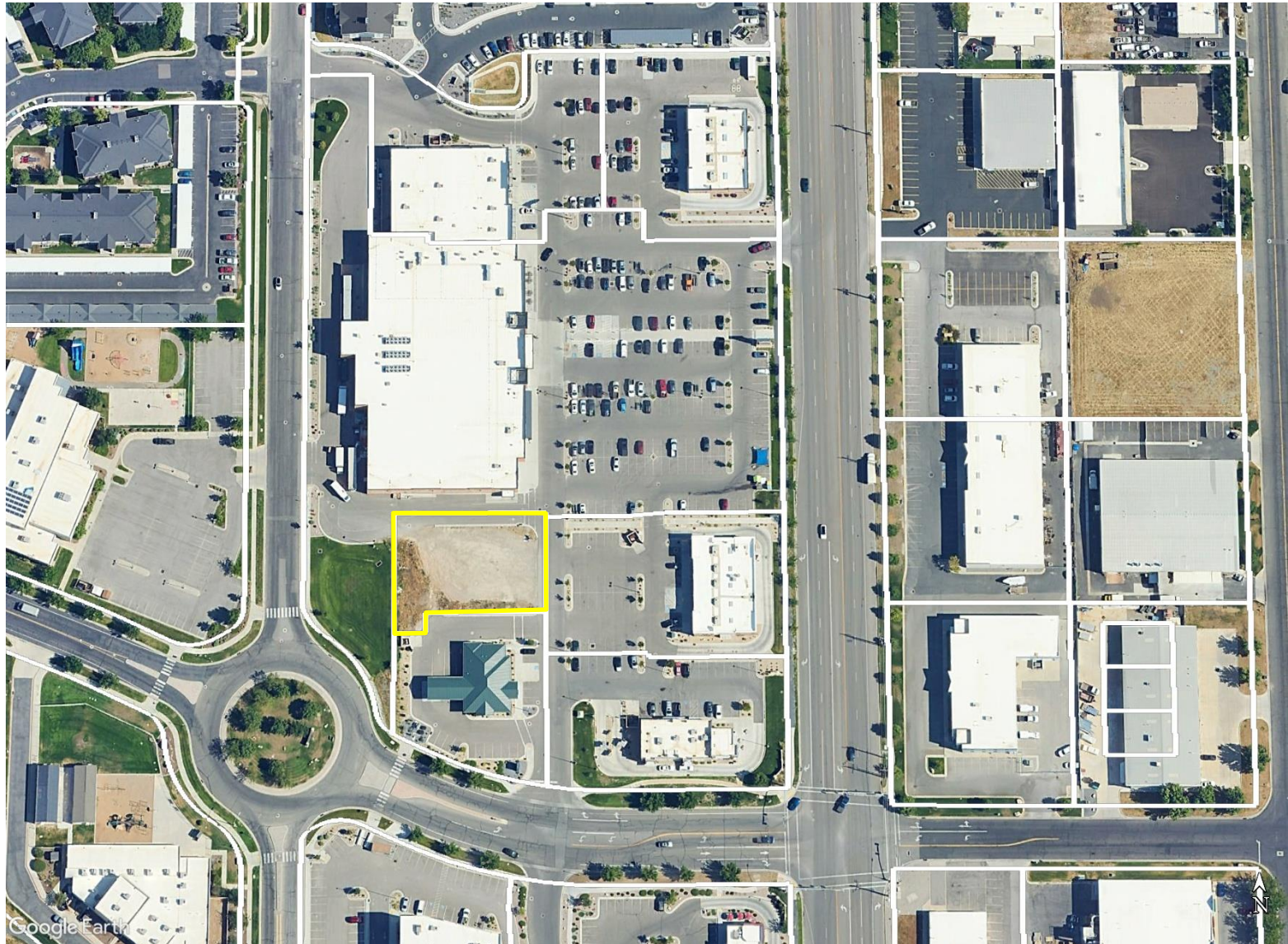


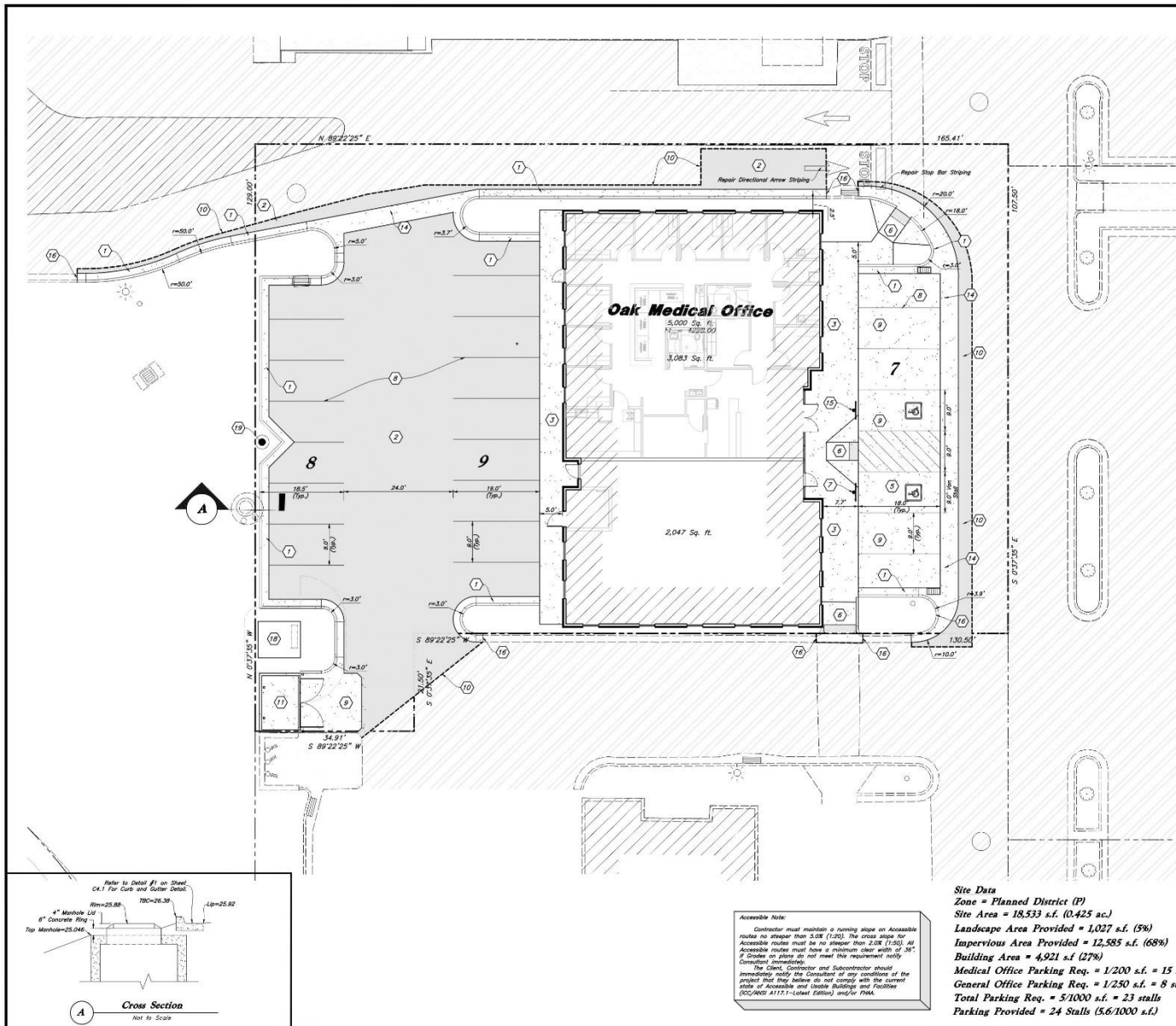
Site Plan Oaks Medical Group Zoning Map





Site Plan Oaks Medical Group Aerial Map





Scale: 1" = 10'



Site Construction Notes

- (1) Const. 24" Curb & Gutter (C4.1)
- (2) Const. Asphalt Paving (C4.1)
- (3) Not Used
- (4) Const. Thickened Edge Sidewalk (C4.1)
- (5) Const. Accessible Striping per MUTCD & IGC/ANSI A117.1 (Latest Edition) (C4.1)
- (6) Const. Accessible Ramp per IGC/ANSI A117.1 (Latest Edition) (C4.1)
- (7) Const. Accessible Van Sign per MUTCD & IGC/ANSI A117.1 (Latest Edition) (C4.1)
- (8) Const. 4" White Paint Stripe (Type) (C4.1)
- (9) Const. Conc. Paving (C4.1)
- (10) Sewer: Provide Smooth Clean Edge
- (11) Dumpster Enclosure (See Arch. Plans)
- (12) Const. Directional Arrows per MUTCD
- (13) Const. 8" White Paint Stripe Pedestrian Crosswalk
- (14) Const. 4" concrete walkway per ANNA Plan No. 211
- (15) Const. Accessible Sign per MUTCD & IGC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- (16) Conn. & Match Existing Improvements
- (17) Not Used
- (18) Const. Transformer (See Site Electrical Plans)
- (19) Const. Light Pole (See Site Electrical Plans)
- (20) Relocate Stop Sign #1-1

General Site Notes

1. Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
2. Fire line markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted of each driveway as shown on the plans.
4. All dimensions are to back of curb unless otherwise noted.
5. Const. curb transition at all points where curb abuts sidewalk, see detail.
6. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
7. Contractor must meet all North Salt Lake City specifications and standards within the City right-of-way.

Construction Survey Note

The Construction Survey Layout for this project will be provided by Anderson Whalen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the selected Contractor(s) for inclusion in their bid. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note

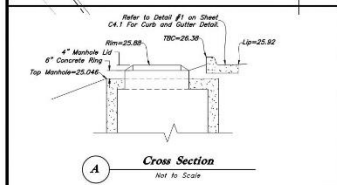
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) member standards for any surveying or construction layout to be completed using Anderson Whalen and Associates' ALTA Survey or Anderson Whalen and Associates' construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Whalen and Associates. The surveyor shall also use the benchmark as shown on the plan, and verify them against no less than three existing fixed improvement signals included on their plan or on electronic data provided by Anderson Whalen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and receive the discrepancy before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property that this responsibility shall apply continuously and not be limited to normal working hours, and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, including from claims arising from the sole negligence of the owner or the engineer.

Site Data
Zone = Planned District (P)
Site Area = 18,533 s.f. (0.425 ac.)
Landscape Area Provided = 1,027 s.f. (5%)
Impervious Area Provided = 12,585 s.f. (68%)
Building Area = 4,921 s.f. (27%)
Medical Office Parking Req. = 1/200 s.f. = 15 stalls
General Office Parking Req. = 1/250 s.f. = 8 stalls
Total Parking Req. = 5/1000 s.f. = 23 stalls
Parking Provided = 24 Stalls (5.6/1000 s.f.)

Accessible Note:
 Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". Grades on plans do not meet this requirement notify Consultant immediately.
 The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or ADA.

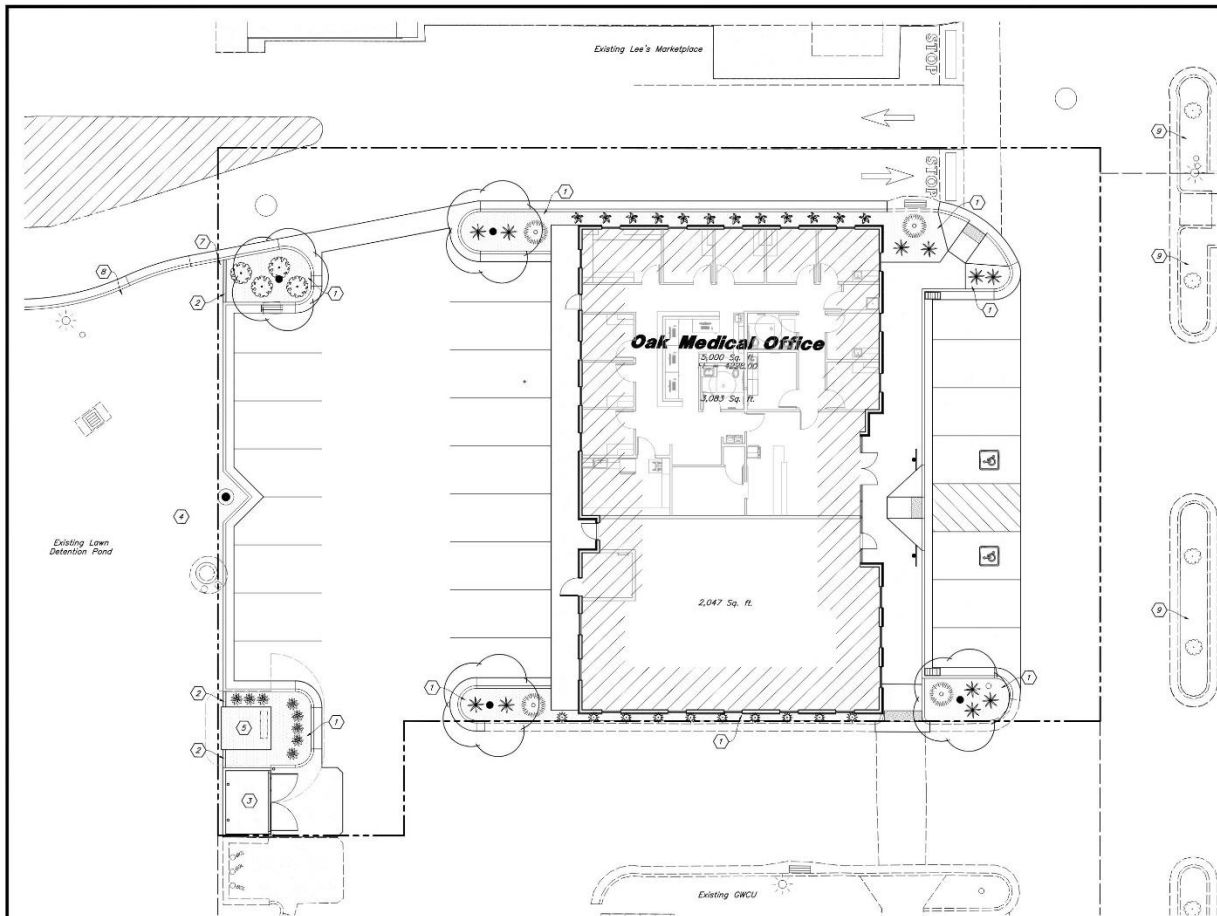


Designed by: LC
 Drafted by: SR
 Client Name: Foxboro
 25-002-SP

ANNA
 2010 North Redwood Road, Salt Lake City, Utah 84118
 (801) 571-9879 - www.annamg.com

Site Plan
Oaks Medical Building at Foxboro
 691 North Redwood Road
 City of North Salt Lake, Davis County, Utah

DATE: 8/16/2025
C1.1



Landscape Data
 Zone = Paved District (P)
 Site Area = 18,533 s.f. (0.425 ac.)
 Landscape Area Provided = 1,027 s.f. (5%)
 Shrub Area = 1,027 s.f. (100%)
 Lawn Area = 0 s.f. (0%)

Scale: 1" = 10'



Landscape Notes:

1. See Sheet L.S.1 for Landscape Details.
2. All New Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Plant Source Site Shall be Used to Irrigate Shrub Areas. See Sheet L.S.1 for Layout and Sheet L.S.1 for Irrigation Details.
3. Adjust Plant Material as Needed to Provide Easy Access to Existing / New Utilities and Irrigation Lines.
4. All Plant Material Shall Receive Landscape Treatment. Contact Landscape Architect if There Are Areas in Question.

Landscape Installation Keynotes

1. Install Shrub Planter with Decorative Stone and Weed Barrier - See Material Sub. for Stone Type.
2. Install Landscape Concrete Curb Between New Shrub Area and Undeveloped Landscape - See Concrete Curb Detail.
3. Trash Enclosure - See Arch. Plans.
4. Undeveloped Landscape Edge. Verify that Area Does Not Conflict Construction and Landscape Details.
5. Elect. Transformer - See Site Elect. Plans for New Detail. Adjust Plant Material as Needed to Allow Access to Transformer.
6. New Light - See Site Elect. Plans. Evenly Space Plants Around Light Poles.
7. Secondary Water Irrigation Connection Location - See Irrigation Plans for More Detail.
8. Repair Existing Landscape and Irrigation Adjacent to New Curb and Sitter.
9. Existing Fuboro Retail Development Parking Lot Landscape.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
TREES			
	4	Zelkova serrata 'Green Vase' / Green Vase Zelkova	2" Caliper
DECIDUOUS SHRUBS			
	12	Cornus sericea 'Kobay' / Kobay's Dwarf Red Twig Dogwood	3 gal
	4	Rhus aromatica 'Crisp-Leaf' / Crisp-Leaf Fragrant Sumac	2 gal
	11	Spiraea betulifolia 'Tor' / White Frost Birchleaf Spiraea	5 gal
EVERGREEN SHRUBS			
	4	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal
PERENNIALS			
	8	Coleragella x acutifolia 'Fort Forester' / Fort Forester Grass	5 gal
	10	Hemerocallis 'Bleeding Hearts' / Bleeding Hearts Daylily	1 gal

MATERIAL SCHEDULE

Decorative Stone - Install a Three (3) inch Depth Over Dwell Pro® Weed Barrier. Stone Shall be Used in all Specified Shrub Areas and Blended Into Existing Landscape. Stone Shall be 1 1/2" to 2" in Size. Color Stone and to Match Existing Used in Lee's Marketplace.

General Landscape Notes:

1. Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified materials. The contractor shall provide sufficient quantities of plants equal to the quantity listed or to fill the area shown on the plans using the specified spacing. Plants take precedence over plant schedule quantities.
2. Contractor shall call Blue State before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall make damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period and repair any and all damage to utilities, structures, site appearances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the owner/contractor in writing of unfavorable conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, and color. Plant and culture only as approved by the Landscape Architect.
11. It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee the life of plants.

13. The contractor shall install all landscape material per plan, notes and details.
14. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, extracted quantities and remarks.
15. No grading or soil placement shall be undertaken when soils are wet or frozen.
16. Imported topsoil shall be used for all landscape work. The landscape contractor shall perform a soil test on imported topsoil and amend per soil test recommendations. Soil test shall be done by certified soil testing agency. Imported topsoil must be a premium quality dark sandy loam. Free of rocks, clots, roots, and plant matter. Topsoil shall be installed in all landscaping areas.
17. Prior to placement of material in all landscaping areas, remove all construction debris and trash. All adjacent areas shall be secured by enclosing the site to a depth of 6' in order to create a transition layer between existing and new soils.
18. Provide on 4 inch depth of imported topsoil in all shrub areas. Planting depths shall require 12 inches of topsoil.
19. All plant material bolls shall be dug below the diameter of the rootball and 4 inches deep. Landscape material shall be removed from the site and replaced with plant bolls. The top of the root bolls shall be planted flush with the final grade.

20. Plant bolls shall be composed of 3 parts topsoil to 1 part soil. Deep water of plant material immediately after planting. Add bolls mixture to depressures as needed.
21. All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule.
22. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive a specified stone over Dwell Pro® weed barrier. Overlay weed barrier an (1) inch of stone and stone shall be evenly spread in a carefully prepared grade free of weeds. The top of stone should be slightly below final grade and concrete areas. All stone shall be washed prior to installation.
23. All deciduous trees shall be double staked per tree staking details as needed. Verify that all trees are straight. If it is the contractor's responsibility to remove tree staking in a timely manner since staked trees have been root. Tree ties shall be U.S. Grade Type #12.
24. Landscape installer shall repair or replace plantings and accessories that die or become damaged, or grow within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, rotting, for defects resulting from drainage, lack of adequate maintenance, or neglect by owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance.

Designed by: LC
 Drafted by: SR
 Client Name:
 Fuboro
 25-002-15

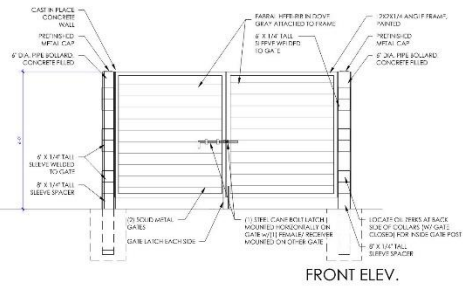


Landscape Plan
Oaks Medical Building at Foxboro
 691 North Business Road
 City of North Salt Lake, Davis County, Utah



8 Jul 2025

SHEET NO.
L1.1



1 CITY OF NORTH SALT LAKE
2 PLANNING COMMISSION MEETING
3 CITY HALL-10 EAST CENTER STREET, NORTH SALT LAKE
4 JULY 8, 2025
5

6 **DRAFT**
7

8 Commission Chair Larson called the meeting to order at 6:30 p.m.
9

10 PRESENT: Commission Chair BreAnna Larson
11 Commissioner Ryan Holbrook
12 Commissioner Ron Jorgensen
13 Commissioner Irene Stone
14 Commissioner Brandon Tucker
15 Commission Vice Chair William Ward
16

17 EXCUSED: Commissioner Johnathan Marsh
18

19 STAFF PRESENT: Sherrie Pace, Community Development Director; Mackenzie Johnson,
20 Planner; Caden Baines, Planning Intern.
21

22 OTHERS PRESENT: Dee Lalliss, Gentry Holbrook, residents; David Johnson, Shane Dean,
23 Structural Steel.
24

25 1. PUBLIC COMMENTS
26

27 There were no public comments.
28

29 2. CONSIDERATION OF SITE PLAN APPROVAL FOR STRUCTURAL STEEL'S MAIN
30 YARD IMPROVEMENTS AT 125 WEST 500 NORTH, BRIAN DEAN, STRUCTURAL
31 STEEL, APPLICANT
32

33 Mackenzie Johnson reported on the site plan application for Structural Steel at 125 West 500
34 North. She noted the 15.43 acre property was located in the industrial area adjacent to the rail
35 lines in the Manufacturing-Distribution (MD) zone. She clarified that there were existing
36 buildings on the site, and that the application was only for site improvements to the parking and
37 outdoor storage areas. She shared an aerial view of the property and a site plan which included
38 the outdoor storage area, the request to pave the main yard area including 340,929 square feet of
39 asphalt, install new storm drain infrastructure, and improve 100,871 square feet of landscaping.
40

Ms. Johnson continued that City Code 10-20-3 required that the redevelopment of industrial sites that added or replaced (alone or in combination) 5,000 sq. ft. of impervious surface or disturb 5,000 sq. ft. of land must include a Low Impact Development (LID) analysis that met the objective of retaining on site, with no discharge, the 0.6-inch, 24- hour rainfall event. She then shared the proposed landscaping plan. She said the proposed site plan provided 100,871 square feet of landscaping which was 15% of the entire lot which meets the minimum requirement in the MD zone. She reviewed the landscape improvements including decorative gravel, silver maple, and cottonwood trees with the request to focus the trees along the back property line to shield the view from the FrontRunner rail line.

Mackenzie Johnson stated the City Engineer confirmed that the proposed plan has adequate retention and drainage infrastructure. She said the Development Review Committee (DRC) recommended approval of the site plan for Structural Steel's Main Yard Improvements at 125 West 500 North with no conditions.

Commissioner Tucker moved that the Planning Commission approve the site plan for Structural Steel's Main Yard Improvements at 125 West 500 North with no conditions. Commissioner Ward seconded the motion. The motion was approved by Commissioners Holbrook, Jorgensen, Larson, Stone, Tucker, and Ward. Commissioner Marsh was excused.

3. REPORT ON CITY COUNCIL ACTIONS ON ITEMS RECOMMENDED BY PLANNING COMMISSION

Mackenzie Johnson reported that there were no items of note from the June 17th City Council meeting and added that the July 1st Council meeting had been canceled.

She said the required Planning Commission training for fiscal year 24-25 had been completed. She shared that the 2025 APA Utah fall conference would be held on October 9th and 10th at The Gateway in Salt Lake City.

4. APPROVAL OF MINUTES

The Planning Commission meeting minutes of June 10, 2025 were reviewed and approved.

Commissioner Jorgensen moved to approve the meeting minutes as drafted for the June 10, 2025 Planning Commission meeting. Commissioner Ward seconded the motion. The motion was approved by Commissioners Holbrook, Jorgensen, Larson, Stone, Tucker, and Ward. Commissioner Marsh was excused.

5. ADJOURN

Commission Chair Larson adjourned the meeting at 6:36 p.m.

The foregoing was approved by the Planning Commission of the City of North Salt Lake on Tuesday, August 26, 2025 by unanimous vote of all members present.

BreAnna Larson, Commission Chair

Wendy Page, City Recorder