

**WORK MEETING AGENDA OF THE  
CITY COUNCIL OF LAYTON, UTAH**

PUBLIC NOTICE is hereby given that the City Council of Layton, Utah, will hold a public meeting in the Council Conference Room of the City Center Building, 437 North Wasatch Drive, Layton, Utah, commencing at **5:30 PM on July 17, 2025.**

**AGENDA ITEMS:**

1. Mayor's Report
2. Councilmember's Reports
3. Destination Homes – Stevenson Project
4. Fire Department Ambulance Re-licensure
5. Approve a Lease Agreement for the Davis Arts Council to Lease a Portion of Layton City Center – Resolution 25-40
6. Easement Vacation – Parcel 11-050-0108 and Lot 1 Tezak Subdivision (Creek Bend Estates) – Ordinance 25-17 – 876 and 942 East Rosewood Lane
7. Kayscreek Estates Sidewalk, Project 24-55 - Updates

**ADJOURN:**

Notice is hereby given that:

- This meeting will also be live streamed via [laytoncitylive.com](http://laytoncitylive.com) and [facebook.com/Laytoncity](https://facebook.com/Laytoncity)
- In the event of an absence of a full quorum, agenda items will be continued to the next regularly scheduled meeting.
- This meeting may involve the use of electronic communications for some of the members of this public body. Elected Officials at remote locations may be connected to the meeting electronically.
- By motion of the Layton City Council, pursuant to Title 52, Chapter 4 of the Utah Code, the City Council may vote to hold a closed meeting for any of the purposes identified in that chapter.

**Date:** \_\_\_\_\_ **By:** \_\_\_\_\_  
Kimberly S Read, City Recorder

This public notice is posted on the Utah Public Notice website [www.utah.gov/pmn/](http://www.utah.gov/pmn/), the Layton City website [www.laytoncity.org](http://www.laytoncity.org), and at the Layton City Center.

In compliance with the Americans with Disabilities Act, persons in need of special accommodations or services to participate in this meeting shall notify the City at least 48 hours in advance at 801-336-3826 or 801-336-3820.

**LAYTON CITY COUNCIL WORK MEETING  
AGENDA ITEM COVER SHEET**

**Item Number:** 1.

**Subject:**  
Mayor's Report

**Background:**  
N/A

**Alternatives:**  
N/A

**Recommendation:**  
N/A

**LAYTON CITY COUNCIL WORK MEETING  
AGENDA ITEM COVER SHEET**

**Item Number:** 2.

**Subject:**

Councilmember's Reports

**Background:**

N/A

**Alternatives:**

N/A

**Recommendation:**

N/A

**LAYTON CITY COUNCIL WORK MEETING  
AGENDA ITEM COVER SHEET**

**Item Number:** 3.

**Subject:**

Destination Homes – Stevenson Project

**Background:**

Representatives from Destination Homes have asked for the opportunity to discuss the proposed Stevenson PRUD Subdivision and associated pattern book with the Mayor and Council. Planning Staff have met with Destination Homes on several occasions and feel this discussion will be beneficial to all parties.

**Alternatives:**

N/A

**Recommendation:**

N/A



**LAYTON CITY COUNCIL WORK MEETING  
AGENDA ITEM COVER SHEET**

**Item Number:** 4.

**Subject:**

Fire Department Ambulance Re-licensure

**Background:**

In response to Utah State Senate Bill 215 (2025), the Layton Fire Department has undertaken a thorough internal review of our Emergency Medical Services (EMS) program. This legislation requires municipalities and counties to evaluate their community's EMS system every four years to make decisions regarding future service contracts or operational models based on demonstrated performance.

Layton Fire Department is committed to transparency, professional EMS services, excellent patient care, and continual improvement. As such, the briefing documents presented on June 19, 2025, in a public forum demonstrated Layton Fire Department's performance using the framework established by SB 215: Cost, Quality, and Access.

Operational data from 2024, financial details, visual dashboards, and supporting documentation for inter-facility transport, mutual aid, and hospital agreements were presented during the briefing.

A Request for Proposal (RFP) was issued on June 20, 2025, seeking alternative qualified EMS providers. There were no respondents to the RFP.

Layton Fire Department is requesting a letter of support from the City Council to continue the provision of EMS services, to include 9-1-1 and inter-facility transports, within the Layton City licensed geographic boundaries.

**Alternatives:**

N/A

**Recommendation:**

N/A

Date: July 17, 2025

To: Bureau of Emergency Medical Services  
Utah Department of Public Safety

Subject: Letter of Support for Layton Fire Department EMS Re-Licensure

To Whom It May Concern:

On behalf of the Layton City Council, pursuant to the requirements set forth in Utah Code 11-48-103 and 53-2d-501(2), and following the passage of S.B. 215, the Layton City Council held a duly noticed and open public meeting on June 19, 2025, at 5:30 p.m. to evaluate 911 emergency medical services and inter-facility transport providers within the City of Layton.

As part of this process, Layton City issued a Request for Proposal (RFP) for the provision of Emergency Medical Services and Inter-facility Transport Services, which was posted to both the Utah Public Notice website and the Layton City website. The RFP remained open from June 20 through June 30, 2025. The City did not receive any formal proposals from any other entity.

After careful deliberation, the governing body of Layton City determined that Layton Fire Department continues to be the most qualified organization to meet the city's emergency medical service needs in all three of the evaluation categories.

Accordingly, the Layton City Council formally selects and endorses the Layton Fire Department as the designated provider of both 911 emergency medical services and inter-facility transports, and hereby submits this letter as the required support for their re-licensure with the Utah Bureau of Emergency Medical Services.

Should you require additional documentation regarding the evaluation process or public meeting records, please contact our office directly.

Sincerely,

Mayor Joy Petro



**LAYTON CITY COUNCIL WORK MEETING  
AGENDA ITEM COVER SHEET**

**Item Number:** 5.

**Subject:**

Approve a Lease Agreement for the Davis Arts Council to Lease a Portion of Layton City Center – Resolution 25-40

**Background:**

The property formerly leased by the Davis Arts Council (DAC) was demolished to build the new dispatch center. DAC is seeking office space to lease to conduct its operations. Layton City (City) currently has space within a portion of the City Center, located at 437 North Wasatch Drive (Premises) that can be leased on a temporary basis. DAC and the City have negotiated a lease agreement setting forth the terms of a temporary lease of the Premises. DAC will use the Premises for administrative, programming, and other lawful purposes in support of its mission as a nonprofit arts organization.

**Alternatives:**

Alternatives are to: 1) Adopt Resolution 25-40 to approve a lease agreement for the Davis Arts Council to lease a portion of Layton City Center; 2) Adopt Resolution 25-40 with any amendments the Council deems appropriate; or 3) Not adopt Resolution 25-40 and remand to Staff with directions.

**Recommendation:**

Staff recommends the Council adopt Resolution 25-40 to approve a lease agreement for the Davis Arts Council to lease a portion of Layton City Center and authorize the Mayor to sign the necessary documents.

**LAYTON CITY COUNCIL WORK MEETING  
AGENDA ITEM COVER SHEET**

**Item Number:** 6.

**Subject:**

Easement Vacation – Parcel 11-050-0108 and Lot 1 Tezak Subdivision (Creek Bend Estates) – Ordinance 25-17 – 876 and 942 East Rosewood Lane

**Background:**

On June 19, 2025, the Council tabled this item to allow Staff and Phil Holland, representing HG Rosewood, LLC, the Applicant, time to research a neighboring property owner's concern about access to the creek from Parcel 11-050-0108 and 11-050-0103 to provide measures in preventing the creek from flooding. Currently, there are no access easements on Parcel 11-050-0108 and 11-050-0103 that would give the neighboring property owner a right to maintain the creek. Staff has visited the site and found the majority of the south property line of Parcel 11-050-0108 and 11-050-0103 has a 6-foot chain link fence with no access for the neighboring property owner. The Applicant can work with the concerned neighboring property owner if the applicant wants to give future access to the creek. The neighboring property owner will need to contact Davis County Flood Control if there needs to be maintenance in the creek channel to prevent future flooding.

The easement vacations that are before the Council are the public utility and drainage easements (PU&DE), which are easements used for the installation of things such as underground utilities, which include power, fiber, telecommunication, gas, cable T.V., water, sewer, storm drains, irrigation, and sub-surface drains. The PU&DE is also used to convey surface runoff to the nearest street or storm drain structure.

The Applicant is requesting the vacation of four public utility and drainage easements on properties located at 876 and 942 East Rosewood Lane. The property at 876 East Rosewood Lane is not in a subdivision and is identified as Parcel 11-050-0108. The property at 942 East Rosewood Lane is within the Tezak Subdivision and is identified as Lot 1 of that subdivision.

The request is to vacate:

- Two 7' Public Utility and Drainage Easements (PU&DE) in the center of Parcel 11-050-0108;
- A 10' PU&DE along the east property line of Lot 1 of the Tezak Subdivision; and
- A 5' PU&DE along the west property line of Lot 1 of the Tezak Subdivision.

If this easement vacation request is approved, a 10' existing easement will remain in effect on Lot 1 of the Tezak Subdivision along the front (north) property line.

The purpose of vacating the PU&DE easements is due to future development of both properties to a single-family private subdivision that will contain six lots. With the platting of the private subdivision, new PU&DE easements will be recorded on each of the six lots.

Utility providers have reviewed the request to vacate the aforementioned PU&DE easements by submitting letters giving approval to vacate the PU&DE easements.

**Alternatives:**

Alternatives are to: 1) Adopt Ordinance 25-17 to vacate certain public utility and drainage easements located at 876 and 942 East Rosewood Lane; or 2) Deny Ordinance 25-17, finding the proposed easement vacation is not compliant with the Municipal Code and Development Standards.

**Recommendation:**

Staff recommends that the Council adopt Ordinance 25-17 to vacate certain public utility and drainage easements located at 876 and 942 East Rosewood Lane subject to meeting all City requirements and conditions as outlined in Staff memorandums.

**LAYTON CITY COUNCIL WORK MEETING  
AGENDA ITEM COVER SHEET**

**Item Number:** 7.

**Subject:**

Kayscreek Estates Sidewalk, Project 24-55 - Updates

**Background:**

Staff will update the Mayor and Council on the Kayscreek Estates Sidewalk, Project 24-55.

**Alternatives:**

N/A

**Recommendation:**

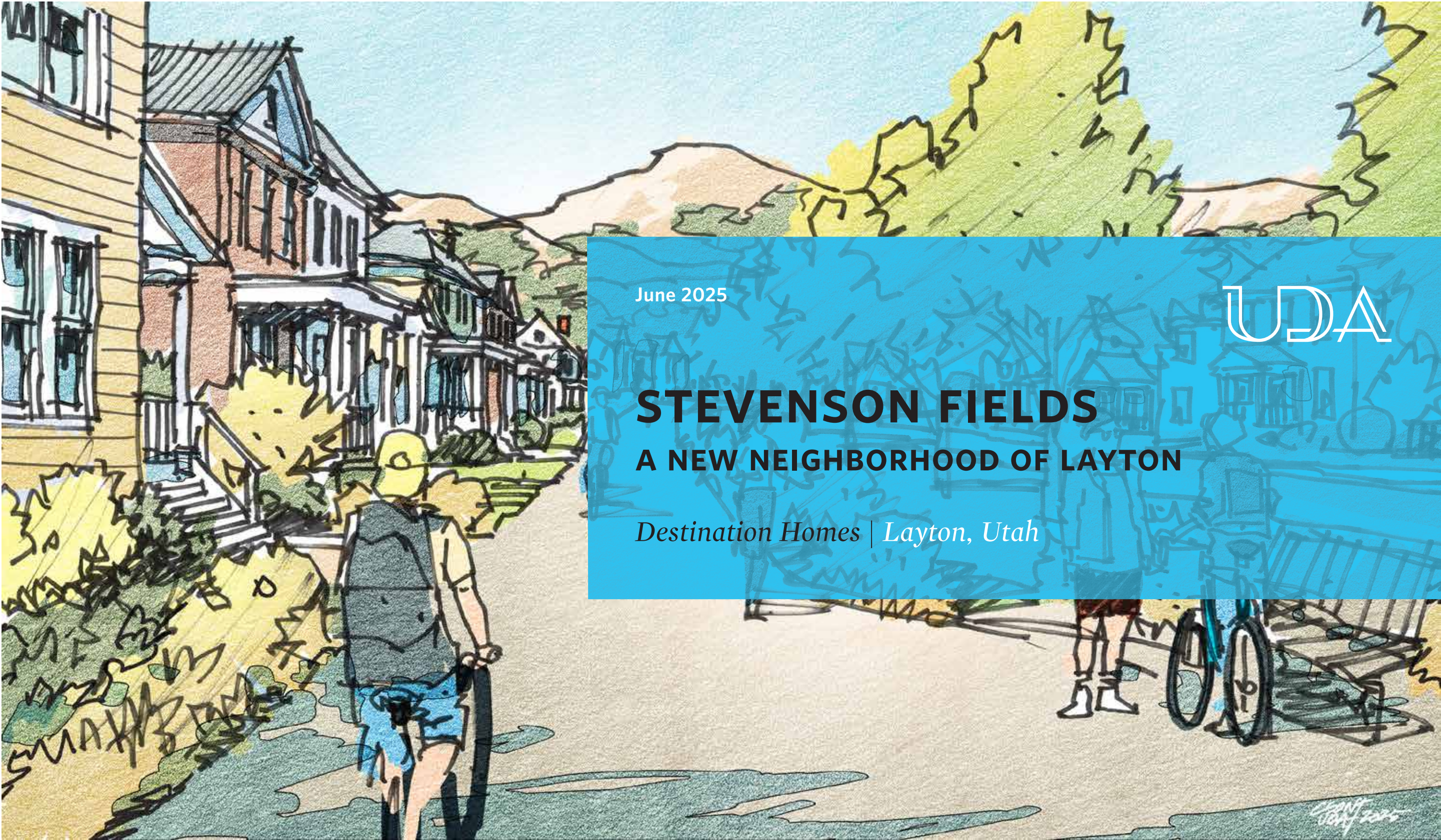
N/A

**ADDITIONAL**

**PACKET**

**ATTACHMENTS**





June 2025

UDA

**STEVENSON FIELDS**  
**A NEW NEIGHBORHOOD OF LAYTON**

*Destination Homes | Layton, Utah*





*Goal:*

**Develop a Thriving New Neighborhood  
in the Legacy of West Layton**



# DAVIS COUNTY LEGACY PLACES



**Agricultural History**



**Walkable Neighborhoods**

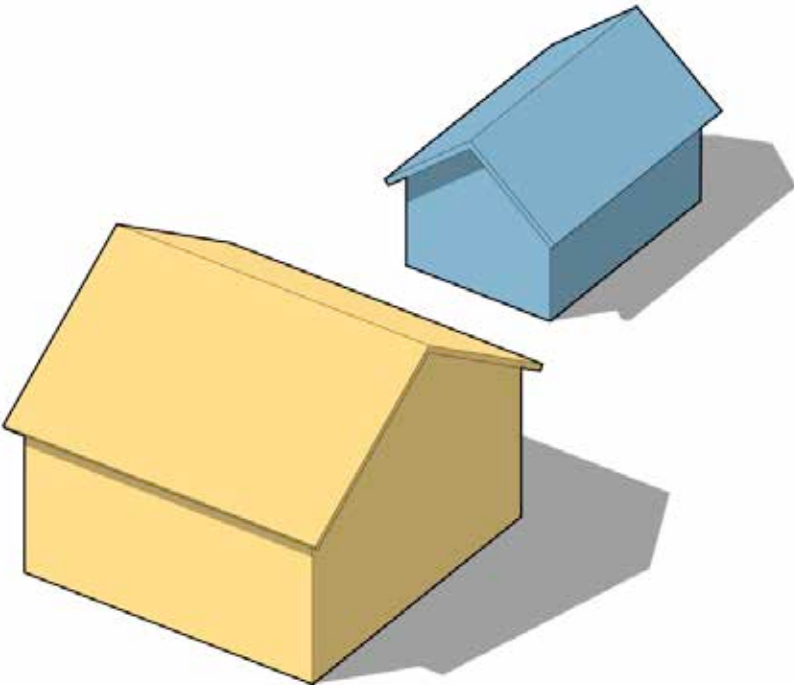


**Views of the Mountains**

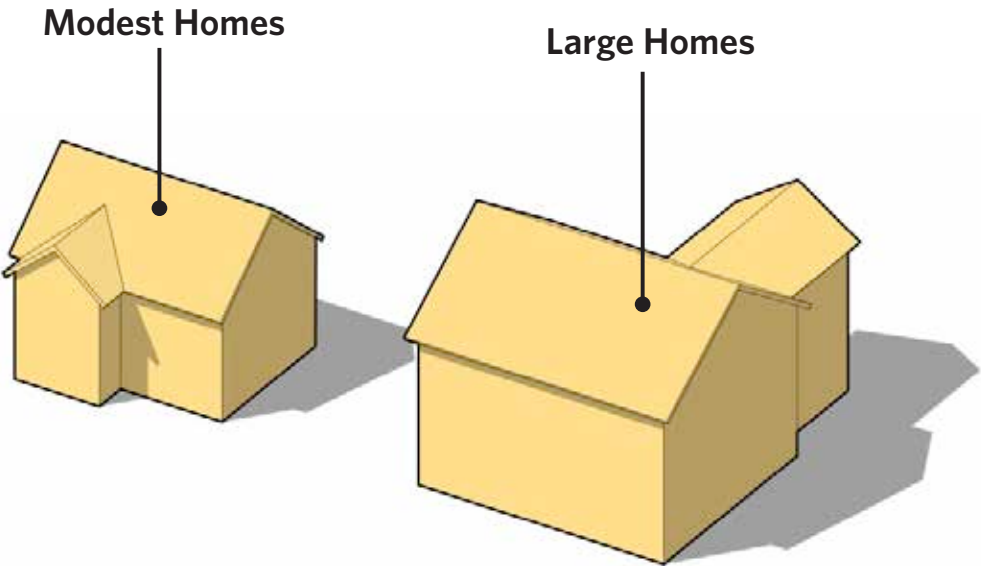


**Architectural History  
& Tradition**

# DAVIS COUNTY ARCHITECTURAL HERITAGE



Simple Building  
Forms



Homes of Varied Size  
& Scale



Folk Victorian



Arts & Crafts



European Romantic



Classical Pioneer

Eclectic Mix of  
Architecture



# DAVIS COUNTY INSPIRATION





# NEIGHBORHOOD DESIGN PRINCIPLES

- Reflect the legacy & DNA of the Stevenson's and Davis County towns
- Deliver a broad spectrum of housing types for all stages of life
- Meaningfully integrate trails into the neighborhood
- Build the experience of small town America





# **A Day in the Life in Stevenson Fields**





*It's a beautiful afternoon. You step out on your porch overlooking one of the many parks at Stevenson Fields. It is full of neighbors.*





*You head out for a walk. The kids are gathering together in the park for a bike ride. They typically ride the neighborhood trails, but today they are heading out on a much longer route on the regional trail network.*





*After you watch the bikes roll out, your kids enjoy a game of cornhole.*





*You and the kids head over to meet your friends for a walk. You stroll the wide and comfortable trails, complete with parents, strollers, and kids on bikes. You wave to your friends on porches as you pass by.*

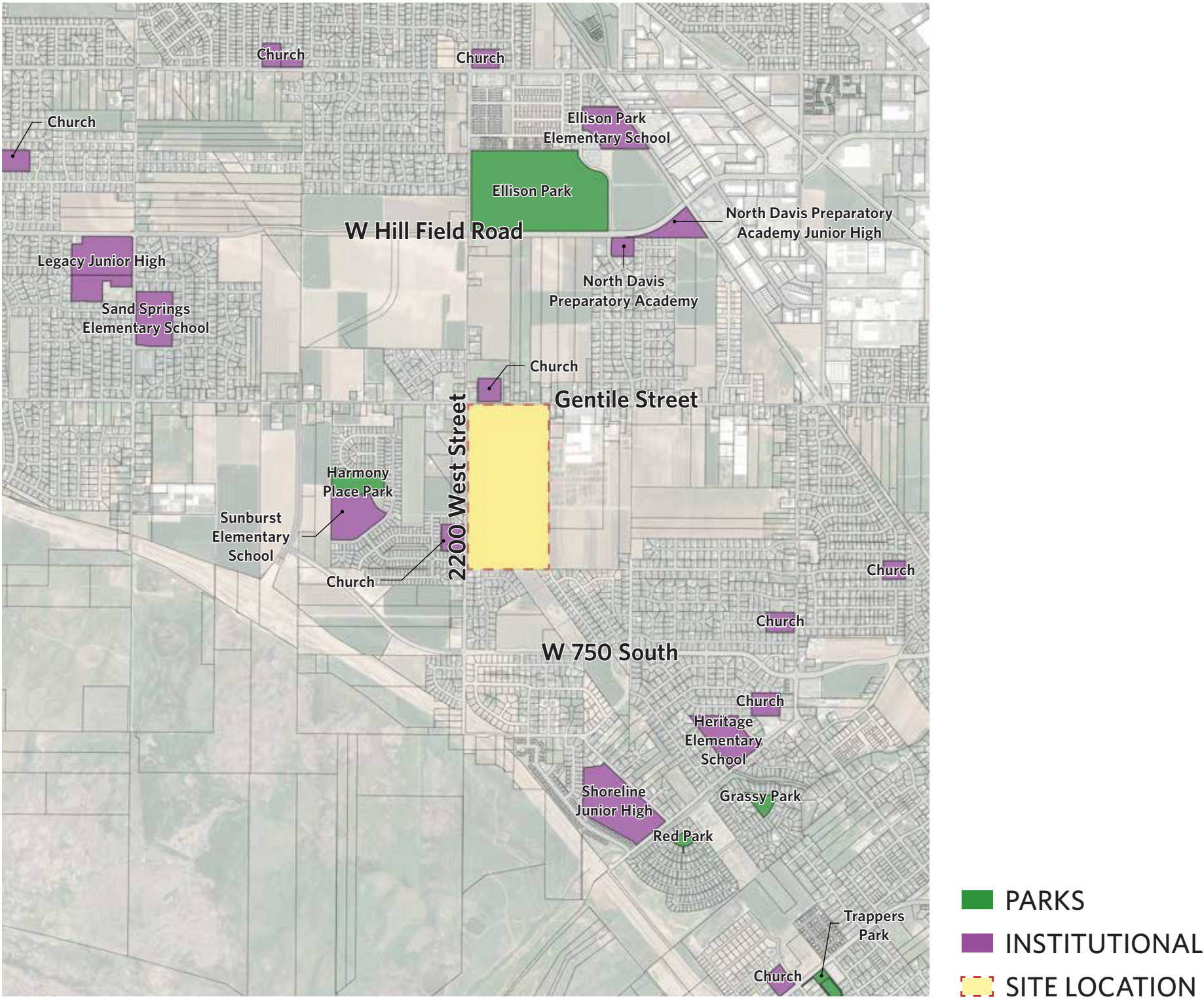




# Planning Context

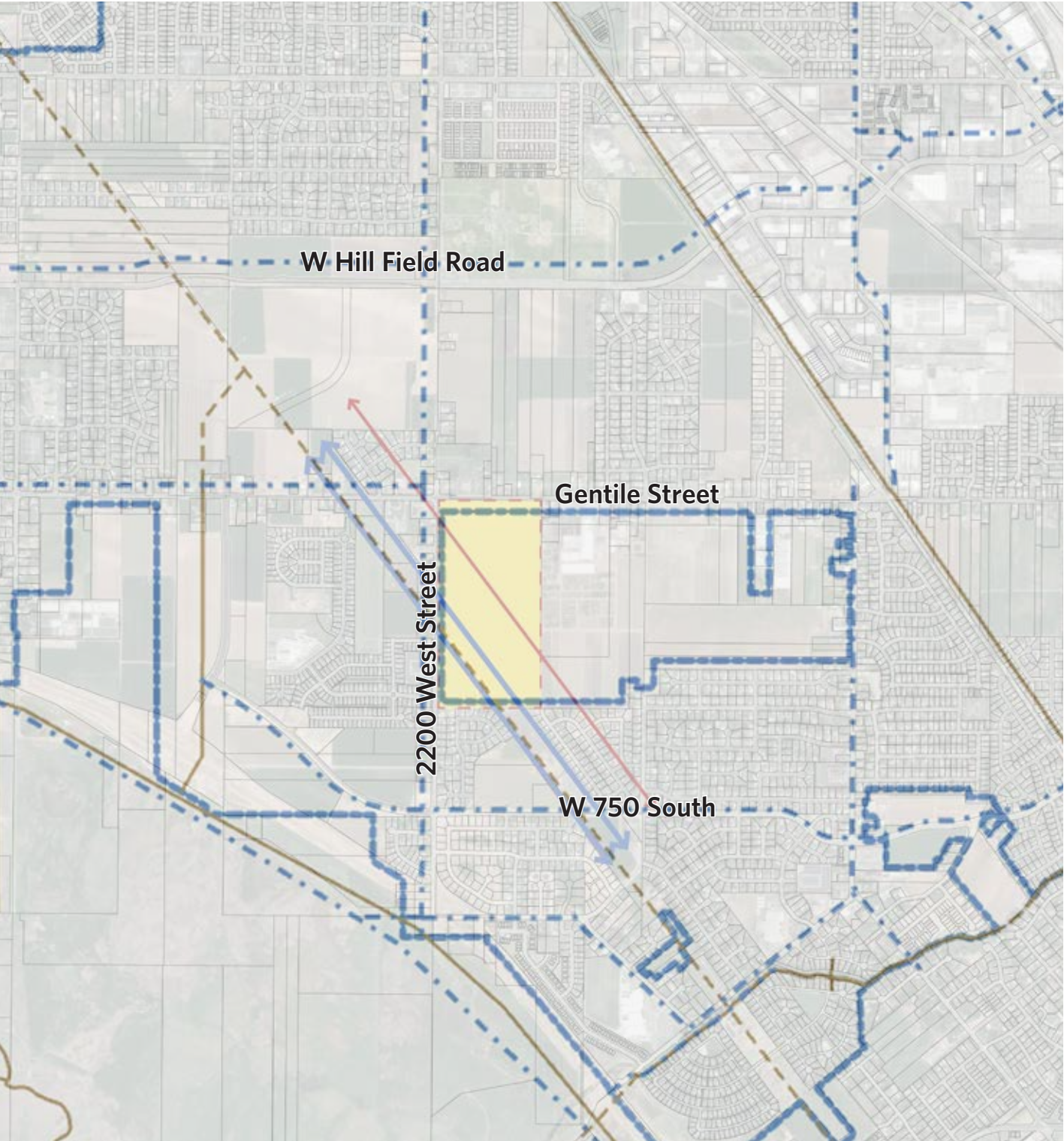


# RESOURCES





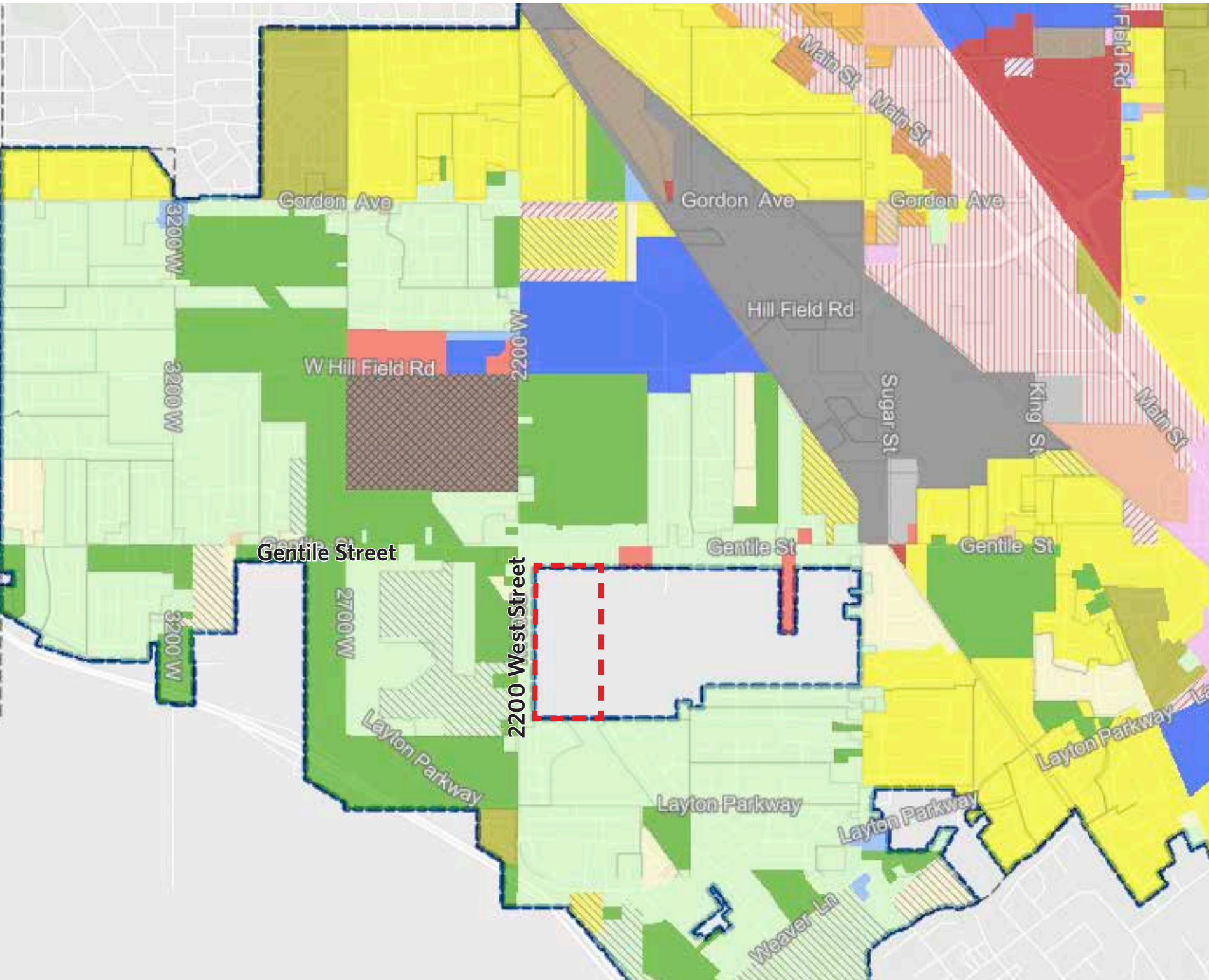
# TRAIL NETWORK



- PROPOSED BIKE LANES
- PROPOSED TRAILS
- EXISTING TRAILS
- SITE LOCATION



# CURRENT ZONING



■ Note: Stevenson Fields is not in Layton City Limits

Zone	
	A
	B-RP
	CP-1
	CP-2
	CP-3
	C-H
	C-TH
	M-1
	M-2
	MU
	MU-TOD
	MU DO-1
	Not In Layton City
	PB
	R-1-10
	R-1-10 (PRUD)
	R-1-6
	R-1-6 (PRUD)
	R-1-8
	R-1-8 (PRUD)
	R-2
	R-2 (PRUD)
	R-H
	R-M1
	R-M1 (PRUD)
	R-M2
	R-M2 (PRUD)
	R-MH
	R-S
	R-S (PRUD)
	Village Center
	R-H (PRUD)




Layton City Boundary





# **Stevenson Fields Vision Plan**

# DESTINATION HOMES DEVELOPMENT PROGRAM

Type	Large Single-Family	Cottage Courts	Townhomes
Access	Street-Loaded	Lane-Loaded	Lane-Loaded
Lot Size	67x110	40x80	20x80
Home Size Range (sf)	2150-3200	1550-1900	1300-1600
			

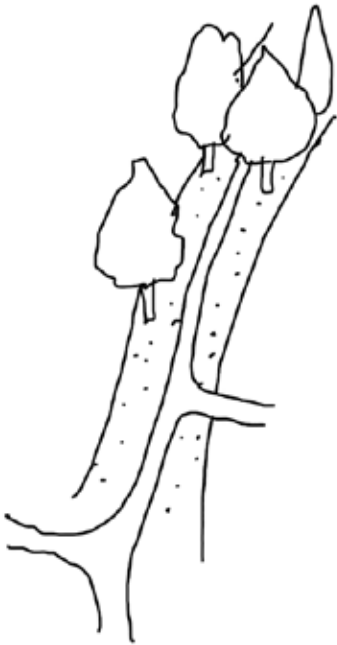
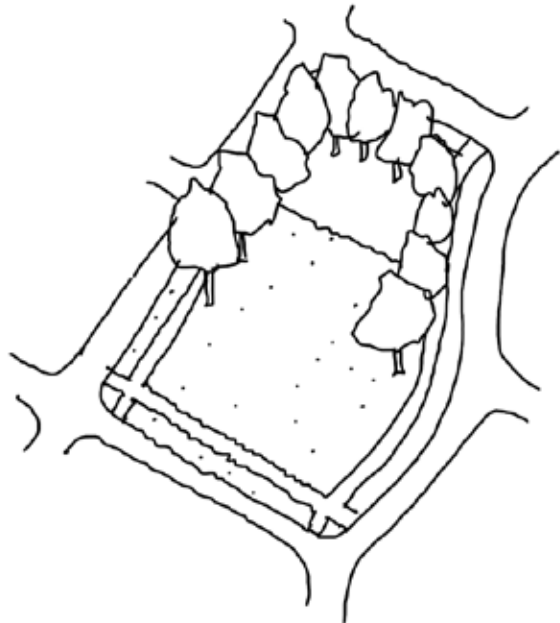


# CONCEPTUAL ARCHITECTURE





# OPEN SPACE TYPES



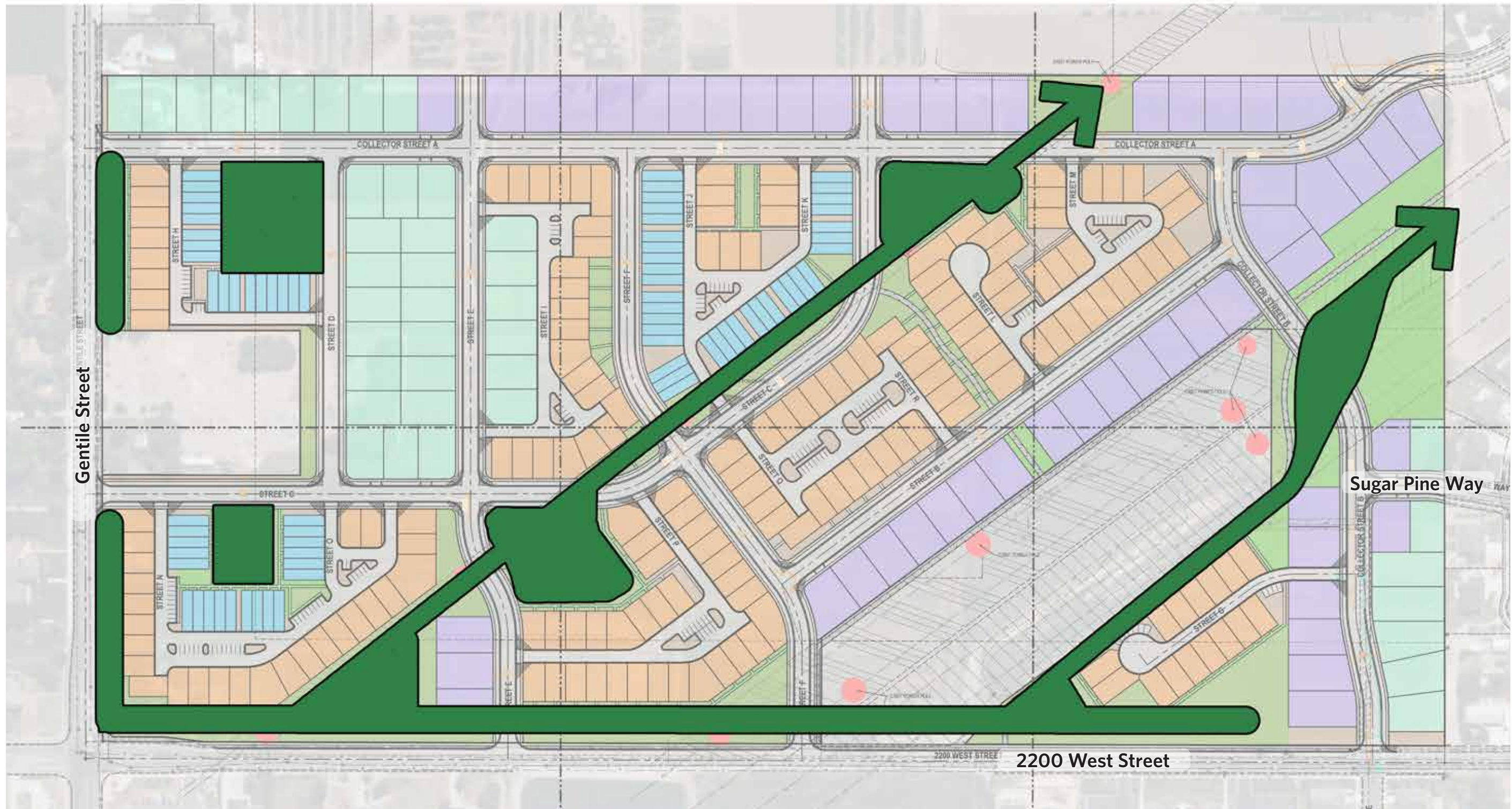
NEIGHBORHOOD PARKS



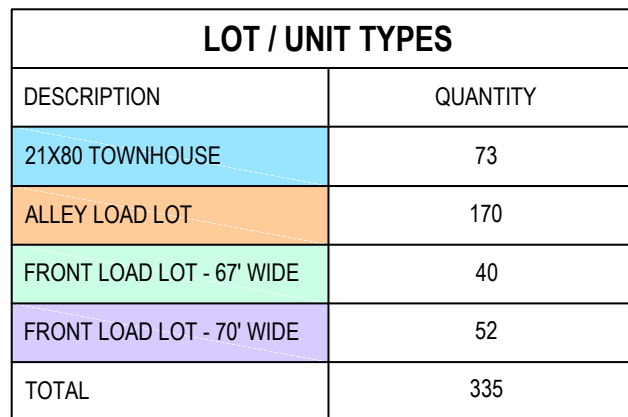
CORRIDORS



# OPEN SPACE DIAGRAM









# STEVENSON FIELDS

## Pattern Book

Note: Masonry, side PUEs, glazing, and townhome composition requirements are still under discussion on how to solve

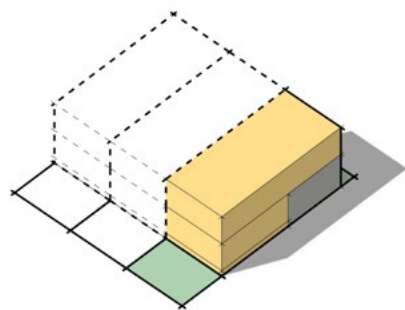
**Destination  
Homes**

  
REAL ESTATE

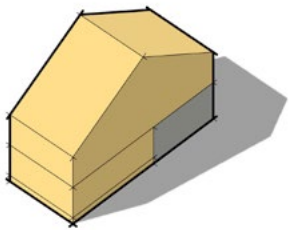


# HOW TO USE THIS DOCUMENT

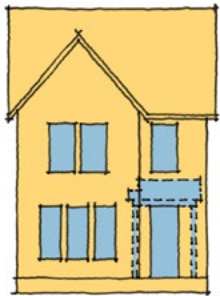
This page provides an overview of the product development process described in this Pattern Book. The process begins with the basic building program for the house, establishing the overall size and plan of the shape. Once an appropriate style has been selected, the architecture is progressively developed to reinforce the characteristics of the style, moving from general shape and composition to details and materials.



**STEP 1: BASIC PLAN & MASSING**  
Establish the program and basic floor plan shape for the house, then pick an appropriate architectural style.



**STEP 2: ROOF MASSING**  
Review the selected style in the Pattern Book and choose a style-appropriate roof shape from the examples presented.



**STEP 3: FACADE COMPOSITION**  
Use the Pattern Book examples as a guide for locating windows, doors and accent openings to create well-composed facades.



**STEP 4: DETAILS & MATERIALS**  
Refer to the style-specific section of the Pattern Book to select window, door, porch, and eave details to apply to the house. Style-appropriate materials should be selected from the matrix found at the end of the Pattern Book.



**STEP 5: CREATING A HOME**



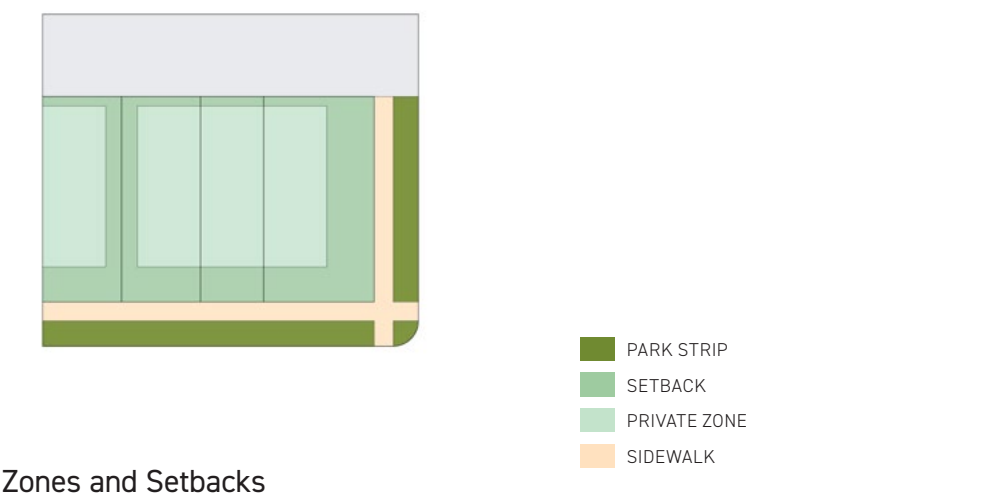
**BEAUTIFULLY DESIGNED STREETS AND NEIGHBORHOODS**



# COMMUNITY PATTERNS

# GENERAL CONDITIONS

## Single-Family Attached Lot Requirements

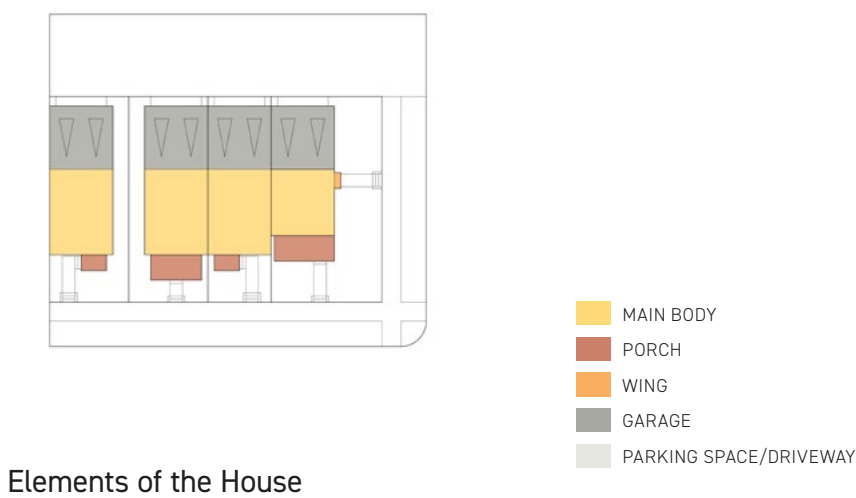


Zones and Setbacks

- » Front Yard: Minimum of 12 feet to house
- » Side Street Yard: Minimum of 8 feet along a local street, minimum of 12 feet along a collector street
- » Side Yard: Minimum of 0 feet when attached
- » Rear Yard: Minimum of 7 feet to house or garage when attached
- » Review final plat documents to identify any additional easements or other constraints on buildable lot area

### Allowable Encroachments

- » Porches may encroach a maximum of 5 feet into the front yard setback
- » Bay Windows may encroach a maximum of 2 feet into front yard setback only
- » Eaves and cantilevered fireplaces may encroach into all setbacks



Elements of the House

### Garage Configurations

- » Lane-loaded attached

### Garage Requirements

- » Minimum 2-car garage required
- » Garages: Minimum width of 20 feet and minimum depth of 20 feet
- » Garage dimensions are to be measured from the interior of the garage
- » Driveways should be less than 8 feet

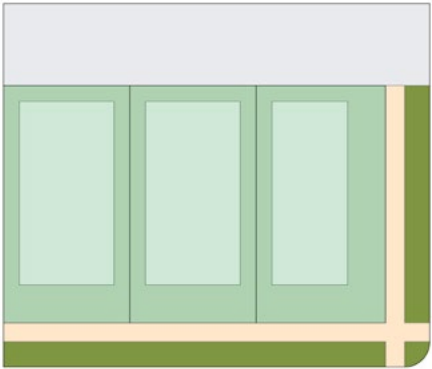
### Porches

- » Minimum 5 foot depth dimension required
- » Equivalent sized area of landscape pavers is an acceptable alternative



# GENERAL CONDITIONS

## Single-Family Detached Narrow Lot Requirements



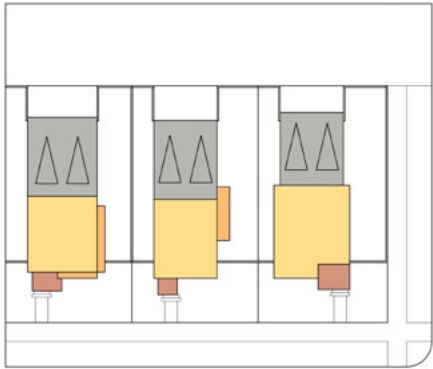
- PARK STRIP
- SETBACK
- PRIVATE ZONE
- SIDEWALK

### Zones and Setbacks

- » Front Yard: Minimum of 12 feet to house
- » Side Street Yard: Minimum of 8 feet along a local street, minimum of 12 feet along a collector street
- » Side Yard: Minimum of 5 feet
- » Rear Yard: Minimum of 7 feet to house or garage
- » Review final plat documents to identify any additional easements or other constraints on buildable lot area

### Allowable Encroachments

- » Porches may encroach 5 feet into the front yard setback
- » Porches may encroach 5 feet into the 40 foot front to front building separation
- » Bay Windows may encroach 2 feet into front yard setback only
- » Eaves and cantilevered fireplaces may encroach into all setbacks



- MAIN BODY
- PORCH
- WING
- GARAGE
- PARKING SPACE/DRIVEWAY

### Elements of the House

#### Garage Configurations

- » Lane-loaded

#### Garage Requirements

- » Minimum 2-car garage required
- » Garages: Minimum width of 20 feet and minimum depth of 20 feet
- » Garage dimensions are to be measured from the interior of the garage
- » Driveways should be less than 8 or greater than 18 feet in depth where possible given grade conditions

### Porches

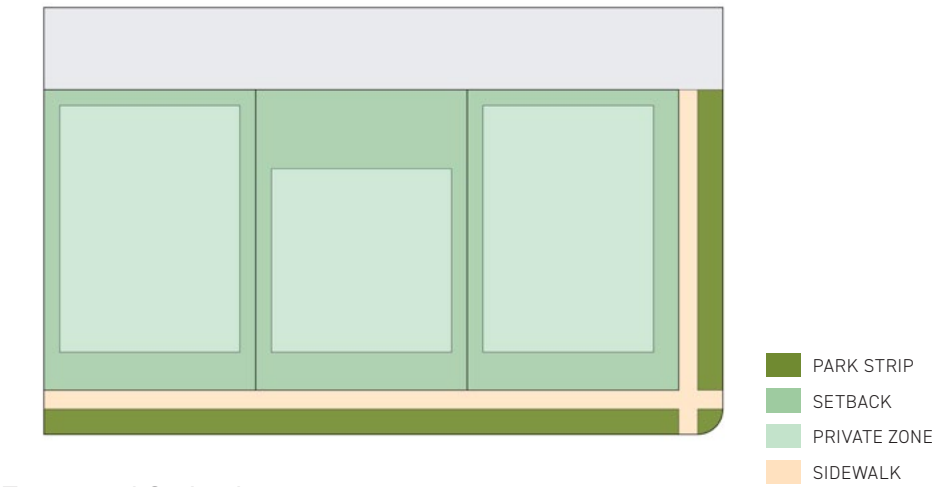
- » Minimum 7 feet by 7 feet dimension required
- » Equivalent sized area of landscape pavers is an acceptable alternative





# GENERAL CONDITIONS

## Single-Family Detached Large Lot Requirements



Zones and Setbacks

### Lot Width

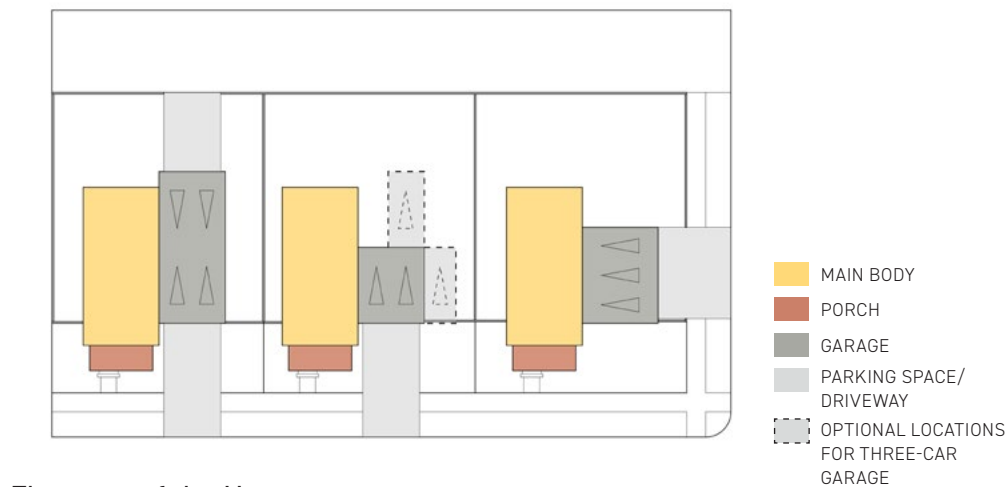
- » Minimum 50 feet

### Setbacks

- » Front Yard: Minimum of 12 feet
- » Side Street Yard: Minimum of 8 feet along a local street, minimum of 12 feet along a collector street
- » Side Yard: Minimum of 5 feet
- » Rear Yard: Minimum of 25 feet to house or garage if front-loaded, minimum of 7 feet to house or garage if rear-loaded
- » Review final plat documents to identify any additional easements or other constraints on buildable lot area

### Allowable Encroachments

- » Porches may encroach 5 feet into the front yard setback
- » Porches may encroach 5 feet into the 40 foot front to front building separation
- » Bay Windows may encroach 2 feet into front yard setback only
- » Eaves and cantilevered fireplaces may encroach into all setbacks



Elements of the House

### Garage Configurations

- » Lane-loaded, front-loaded, and side-loaded

### Garage Requirements

- » Minimum 2-car garage required
- » Garages: Minimum width of 20 feet and minimum depth of 20 feet
- » Garage dimensions are to be measured from the interior of the garage
- » Driveways should be less than 8 or greater than 18 feet in depth where possible given grade conditions

### Porches

- » Minimum 7 feet by 7 feet dimension required
- » Equivalent sized area of landscape pavers is an acceptable alternative





# ARCHITECTURAL PATTERNS



# ARCHITECTURAL CHARACTER

## Critical Components

A well-designed Stevenson Fields house communicates a clear and intentional Architectural Style to the neighborhood.

The components described here define the distinct architectural styles of this pattern book.



**ROOF SLOPE AND SHAPE** The shape and character of a roof is the most critical characteristic to meeting the requirements of a particular style. This is most evident in the comparison of the elegant steep, dramatic angles and lines of a European Romantic house with the austere flat roof of a Modern house. The shape and massing of the house are directly related.



**PORCH DESIGN** Porches are a very American invention and a key contributor to the creation of great American neighborhoods. Generally, the design and location of a porch is highly unique to each style. Some styles have shared characteristics, but generally each style has specific porch characteristics. Porch sizes and styles should vary to help the unique character of each home create a compelling streetscape. Stairs should be outboard of the porch to allow for maximum usability of the porch or stoop.



**ARCHITECTURAL DETAILS** Many of the styles presented in the Pattern Book have shared details, but the style pages indicate what is most common to each style.

# ARCHITECTURAL STYLES

Great neighborhoods are visually diverse, with a rich variety of architectural styles and details. This architectural diversity is a critical ingredient in creating compelling streets and neighborhoods for residents and visitors.

An intentional approach to creating this variety in a product offering is essential to success in Stevenson Fields, regardless of lot or neighborhood type.

SINGLE-FAMILY  
ATTACHED LOTS

SINGLE-FAMILY DETACHED  
NARROW LOTS

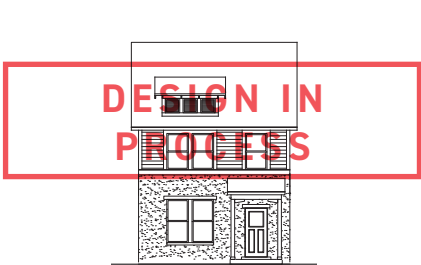
SINGLE-FAMILY DETACHED  
LARGE LOTS

ARTS & CRAFTS

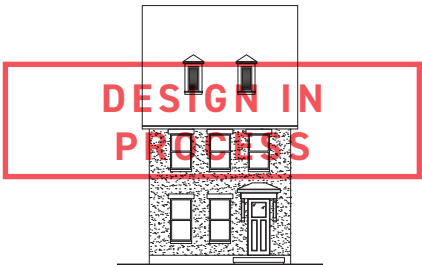
COLONIAL REVIVAL

EUROPEAN ROMANTIC

FARMHOUSE VICTORIAN



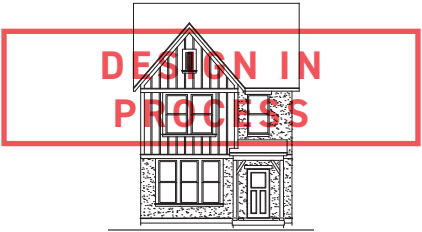
EXAMPLE ONLY



EXAMPLE ONLY



EXAMPLE ONLY



EXAMPLE ONLY



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EXAMPLE ONLY



EXAMPLE ONLY



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EXAMPLE ONLY



EXAMPLE ONLY

Arts & Crafts was influenced by the interest in a return to unique crafting of furniture, housewares, and everyday objects, as well as painting and sculpture in England at the end of the nineteenth century. The architecture was influenced by a more natural and expressive use of materials and forms.

Colonial Revival has been recognized as an 'American-born' architectural style based on classical design principles and influences from the earlier period of the Colonial American period. It incorporates eclectic interpretations of Classical details on simple massing types and straightforward compositions.

European Romantic was based on later interpretations of Traditional English architecture, including medieval cottages, manor houses, and rural village vernacular houses. The interpretations include houses with simple volumes, often with front-facing gables that have steeply pitched roofs.

The Victorian style was named for the last decades of the reign of Queen Victoria in England, and was readily accessible to many home builders as a result of pattern books that provided drawings of these early house designs. Farmhouse Victorian is a variation of the Victorian style that focuses on simpler forms and casual materials.



# ARTS & CRAFTS

## Overview



### UNDERSTANDING THE STYLE

Based on the English Arts & Crafts movement, the Arts & Crafts style (commonly called Craftsman) became popular in the early 20th century. Low-pitched roofs, may have deep overhangs, and sweeping porches and interiors are some of the most recognizable features of this style, along with the use of rich, earthy colors and contrasting or complementary trim.

### REGIONAL INSPIRATION





# ARTS & CRAFTS

## Massing and Composition

Massing and Elevation Composition is the starting point in the design of a beautiful house. The examples presented here are pre-approved. Deviations from these samples are encouraged, if they are within the spirit of the style. Proposals may be accompanied by examples of historical precedents or skillful implementation in Stevenson Fields, or elsewhere.

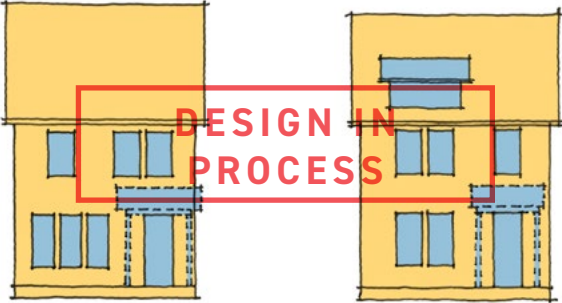
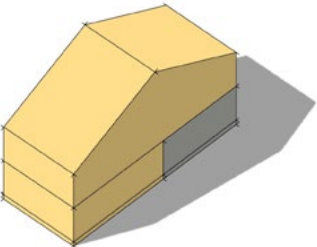
Homes in Stevenson Fields are limited to two- to three-stories or 30 feet in height. Porch widths and depths may vary depending on the architectural style of the home.

Townhomes are thoughtfully arranged to create unique building compositions. Individual townhome elevations may be repeated in a composed building. For more information on townhome building composition, see page 5.

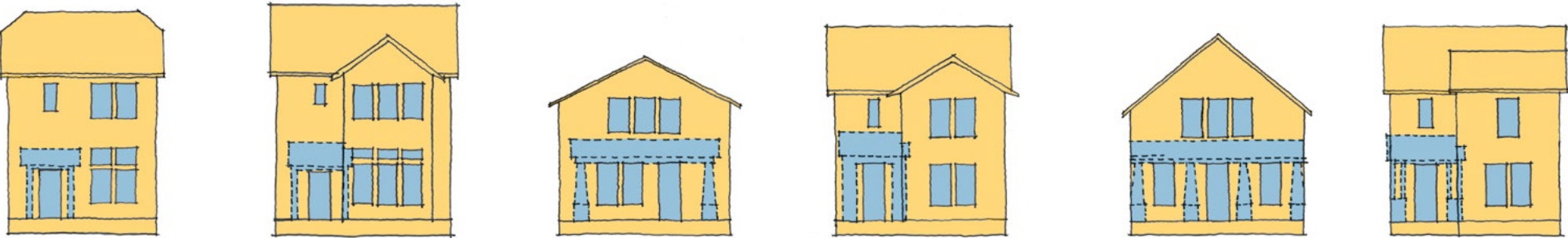
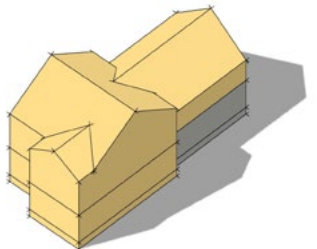
BASIC MASSING

SAMPLE FRONT ELEVATIONS

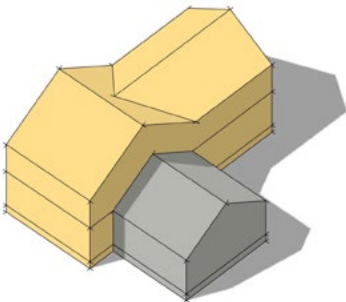
SINGLE-FAMILY  
ATTACHED LOTS



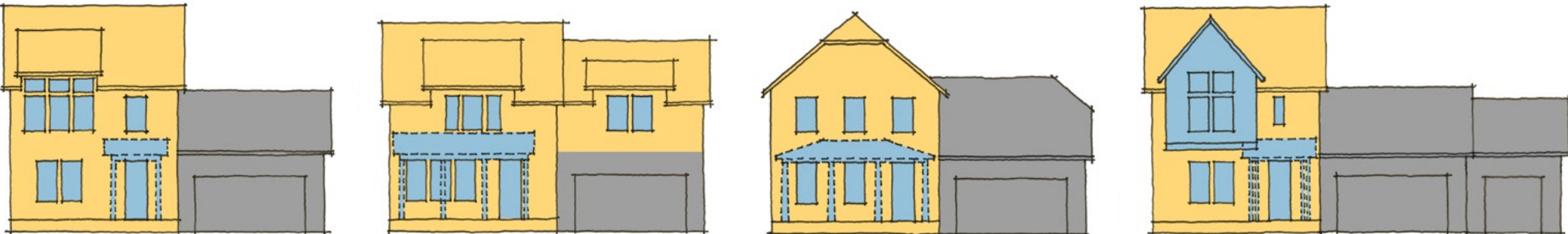
SINGLE-FAMILY DETACHED  
NARROW LOTS



SINGLE-FAMILY DETACHED  
LARGE LOTS



» Garages can be 2 stories tall with livable space above the garage



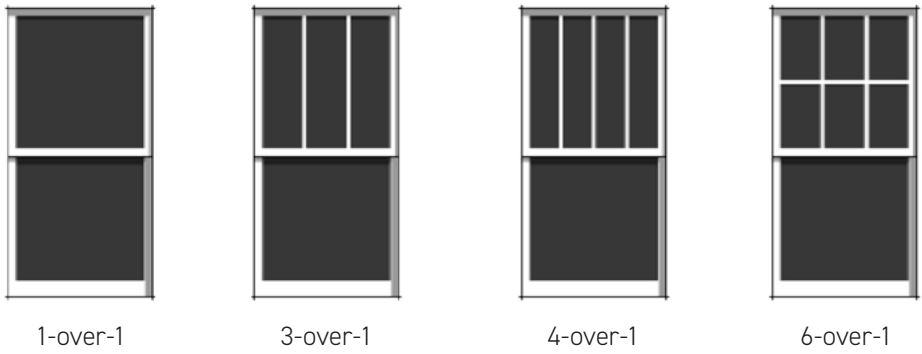


# ARTS & CRAFTS

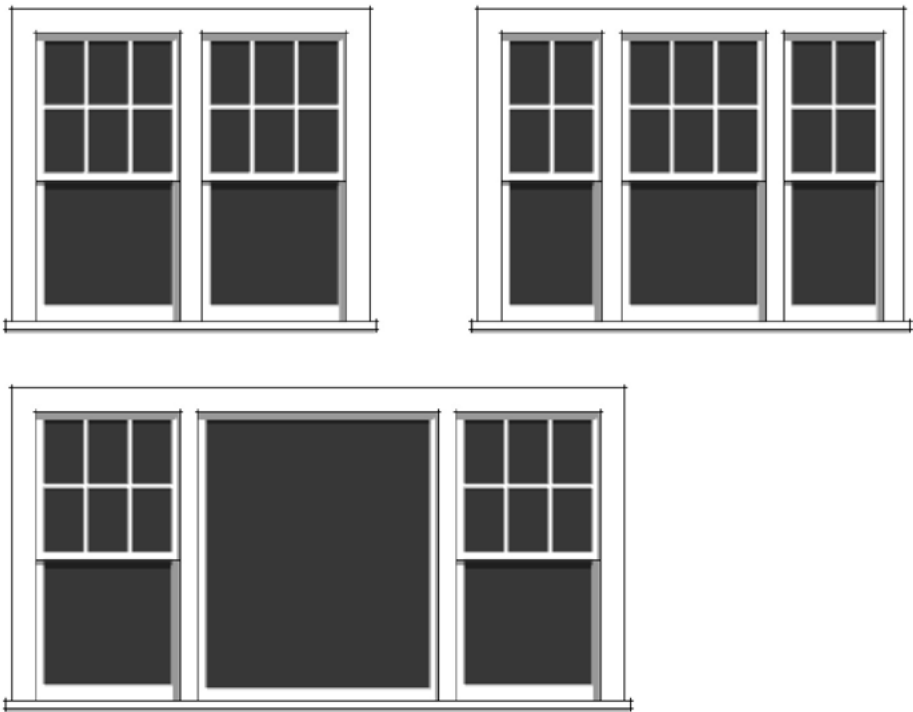
## Windows and Trim

### WINDOWS

Window Muntin Configuration Options

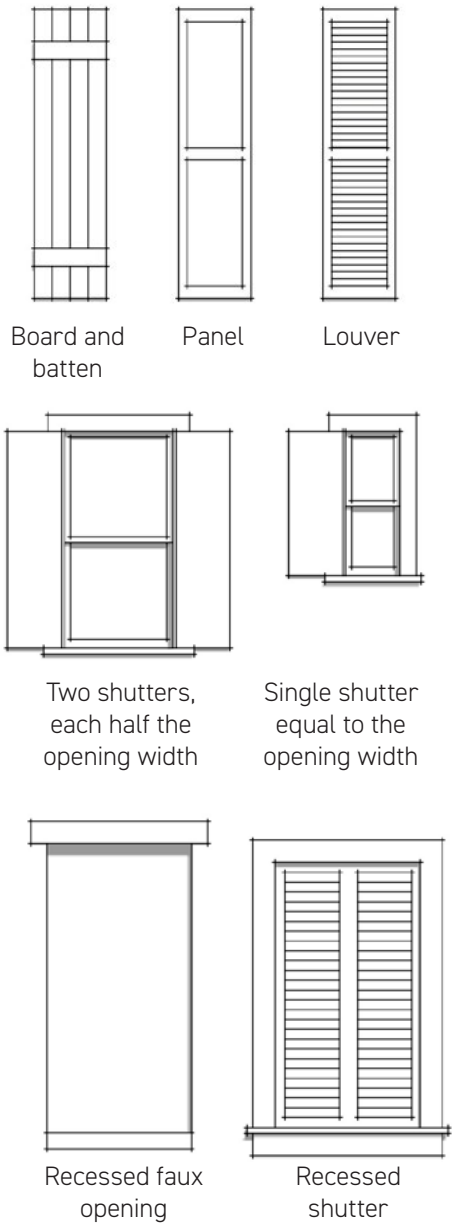


Window Assemblies — Muntins Optional

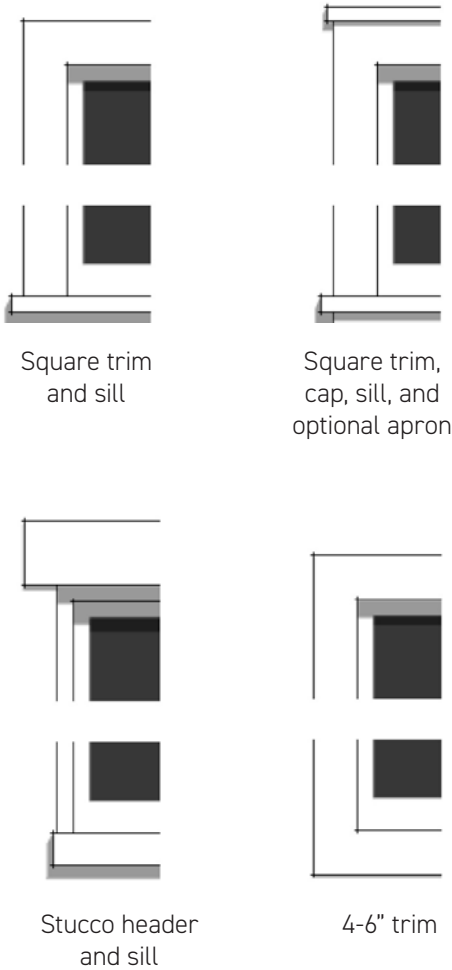


- » Double-hung or casement are most common to this style
- » Use the same window design and proportion throughout except in special locations such as gables and dormers
- » First-floor are typically taller than second and third floor

### SHUTTERS



### WINDOW AND DOOR TRIM



- » Windows in stucco in side or rear elevations may not be recessed
- » See General/Material Palettes for selection requirements



# ARTS & CRAFTS

## Cladding, Porches, and Roof Elements

### CLADDING



- » First and second/third floor may have different cladding and corner treatments
- » Stucco may be used on first floor or whole house
- » Mitered corners and corner boards for siding are permitted
- » Siding may be 4 inches to 8 inches exposure
- » See General/Material Palettes for selection requirements

### PORCH COLUMNS



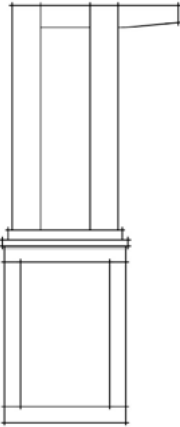
Square straight



Square tapered



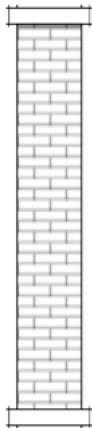
Round tapered



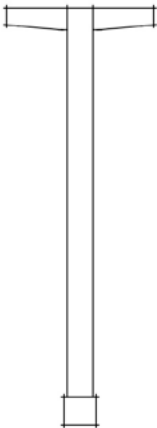
Paired square straight posts on half-wall with panel



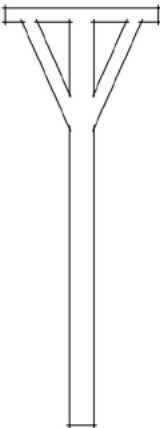
Square posts with brackets



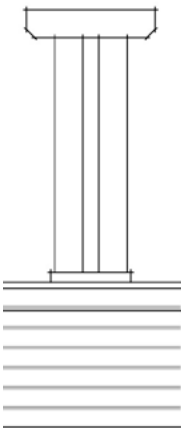
Pier, brick, or stucco



Square post with decorative brackets



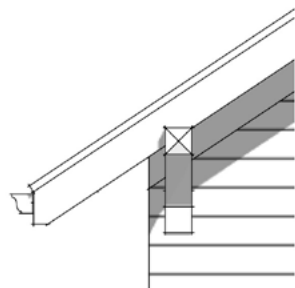
Square post with decorative brackets



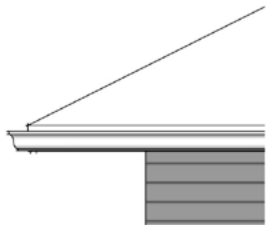
Paired square straight posts on half-wall

- » Posts with brackets may have them on one or both sides
- » Brick and stucco piers may or may not have a base if incorporated into an enclosed porch
- » See General/Material Palettes for selection requirements

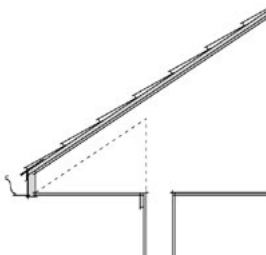
### EAVE DETAILS



Raking eave, gable elevation



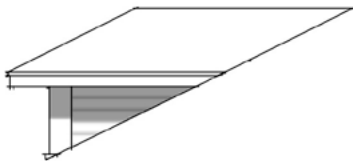
Flat eave, hip elevation



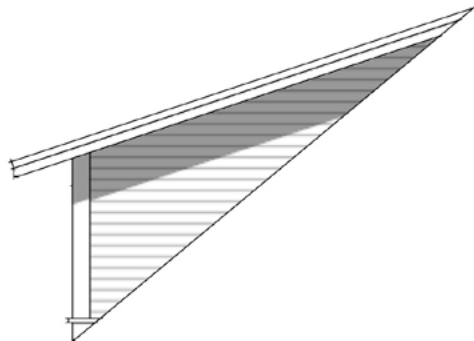
Flat eave, closed soffit (raking eave, closed soffit)

- » 12-inch eave standard, greater than 12 inches acceptable
- » See General/Material Palettes for selection requirements

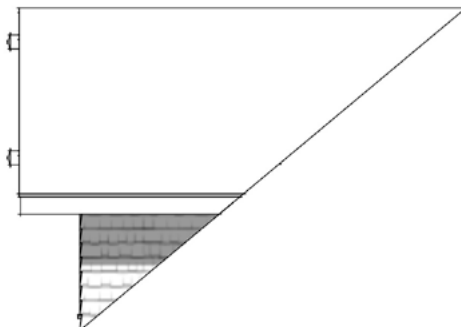
### DORMERS



Hip dormer (vent)

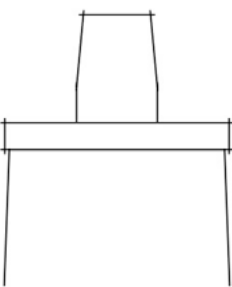


Shed dormer



Gable dormer

### CHIMNEYS



Simple, round or square, clay pot

FOUND DAVIS COUNTY SURVEYOR  
BRASS CAP MONUMENT  
WITNESS CORNER TO THE  
NORTHWEST CORNER, SECTION 27,  
TOWNSHIP 4 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN

(S89°30'20"E 2682.67')  
(S89°30'43"E 2683.23')

FOUND DAVIS COUNTY SURVEYOR  
BRASS CAP MONUMENT  
NORTHWEST CORNER, SECTION 27,  
TOWNSHIP 4 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
BENCHMARK=4381.16

COMMON  
LANDSCAPE  
PARCEL  
1,404.77 SF  
0.032 ACRES

DANIEL & AUDREY RAMOS  
TAX ID NO. 11-554-0002

(S89°46'40"E 113.93')  
NOT FOUND CALCULATED POSITION

ROSEWOOD LANE

**LOT 3 "R"**  
14,416 SF  
0.33 Acres  
BUILDABLE AREA  
8,520 SF  
- 248 SOUTH -

**LOT 6**  
15,867 SF  
0.36 Acres  
BUILDABLE AREA  
7,801 SF  
- 960 EAST -

**LOT 4 "R"**  
12,481 SF  
0.29 Acres  
BUILDABLE AREA  
6,247.4 SF  
- 243 SOUTH -

**LOT 5 "R"**  
18,193 SF  
0.42 Acres  
BUILDABLE AREA  
5,893 SF  
- 231 SOUTH -

**LOT 2**  
16,741 SF  
0.38 Acres  
BUILDABLE AREA  
5,647 SF  
- 236 SOUTH -

**LOT 1**  
11,985 SF  
0.28 Acres  
BUILDABLE AREA  
4,549 SF  
- 224 SOUTH -

PUBLIC UTILITY EASEMENT  
ENTRY#2854822  
BOOK 6226, PAGE 812

10' P.U.E.  
ENTRY#2854821  
BOOK 6226, PAGE 810  
5' PUBLIC UTILITY AND  
DRAINAGE EASEMENT

CORBETT & KRIST  
TAX ID NO. 11-

**LEGEND**

- SECTION CORNER
- EXISTING/NEW STREET MONUMENT
- REFERENCE MONUMENT
- CENTERLINE
- RIGHT OF WAY
- SECTION LINES
- PUBLIC UTILITY AND DRAINAGE  
EASEMENT (P.U.D.E.)
- SETBACK LINES
- BOUNDARY LINE
- OUTER BOUNDARY PROPERTY CORNER
- SHARED PRIVATE ACCESS, DRAINAGE  
AND UTILITY EASEMENT IS OWNED AND  
MAINTAINED BY HOME OWNERS  
ASSOCIATION
- 5' WIDE COMMON LANDSCAPE PARCEL,  
OWNED AND MAINTAINED BY HOME  
OWNERS ASSOCIATION

"R"

LOTS THAT BORDER THE CREEK ARE  
DESIGNATED AS "RESTRICTED" LOTS  
AND WILL REQUIRE A CONSTRUCTION  
PERMIT FROM DAVIS COUNTY FLOOD  
CONTROL PRIOR TO BUILDING PERMIT  
BEING ISSUES FOR THESE LOTS.

BASE FLOOD ELEVATIONS, ZONE "X", ZONE  
& ZONE "A", AND THE PORTION WITHIN ZONE  
"A" & "AE" ARE WITHIN A FLOOD HAZARD  
ACCORDING TO THE FLOOD INSURANCE  
MAP WITH COMMUNITY PANEL NO. 49011  
BEARING AN EFFECTIVE DATE OF SEPTEMBER  
15, 2022.

JONATHAN & JENNA TAYLOR  
TAX ID NO. 11-277-0003

CATHERINE MARTINEZ  
TAX ID NO. 11-277-0004

COLLIN BLACKETT &  
LEXUS LAVOIE  
TAX ID NO. 11-277-0005



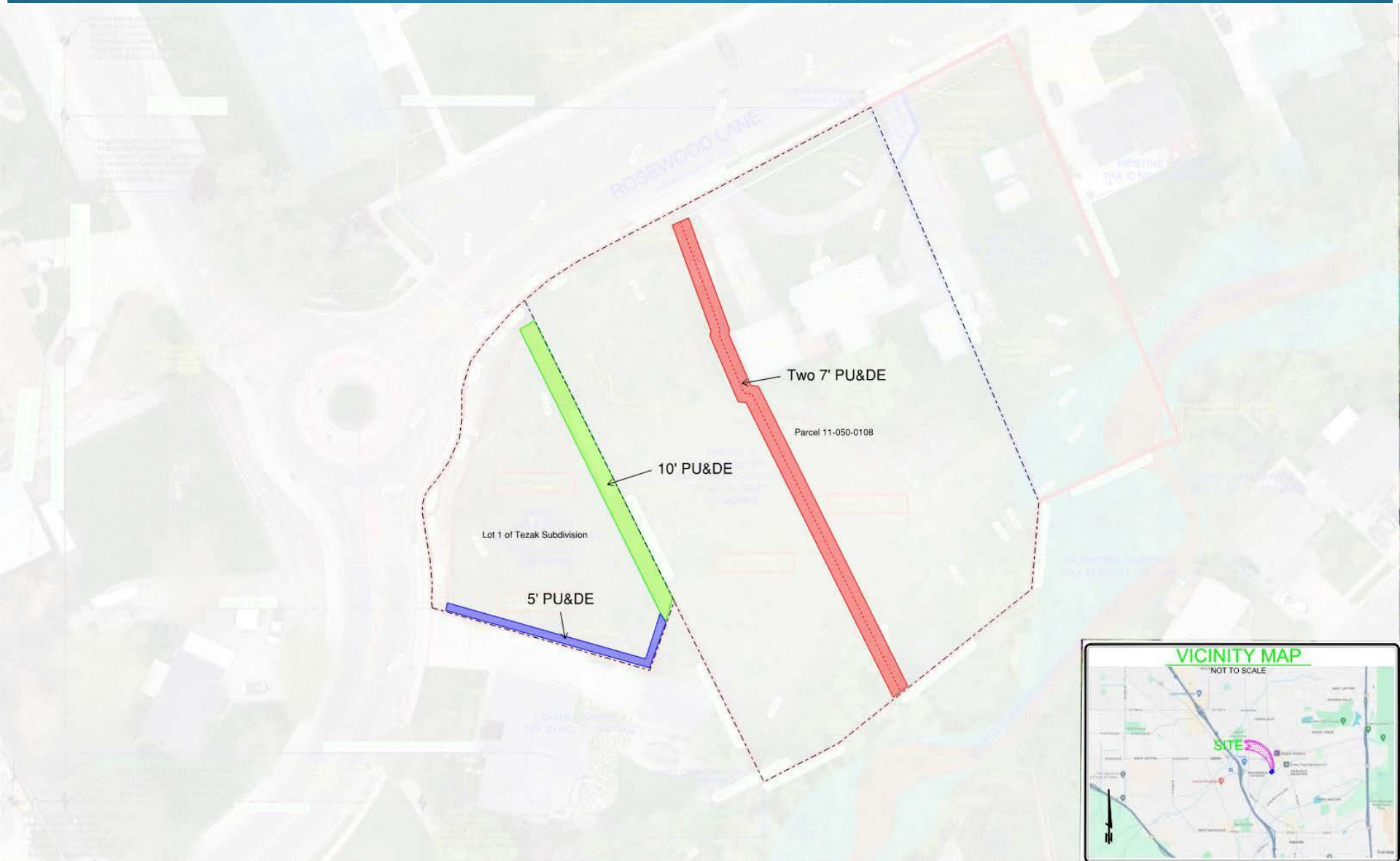


876

961

957

951

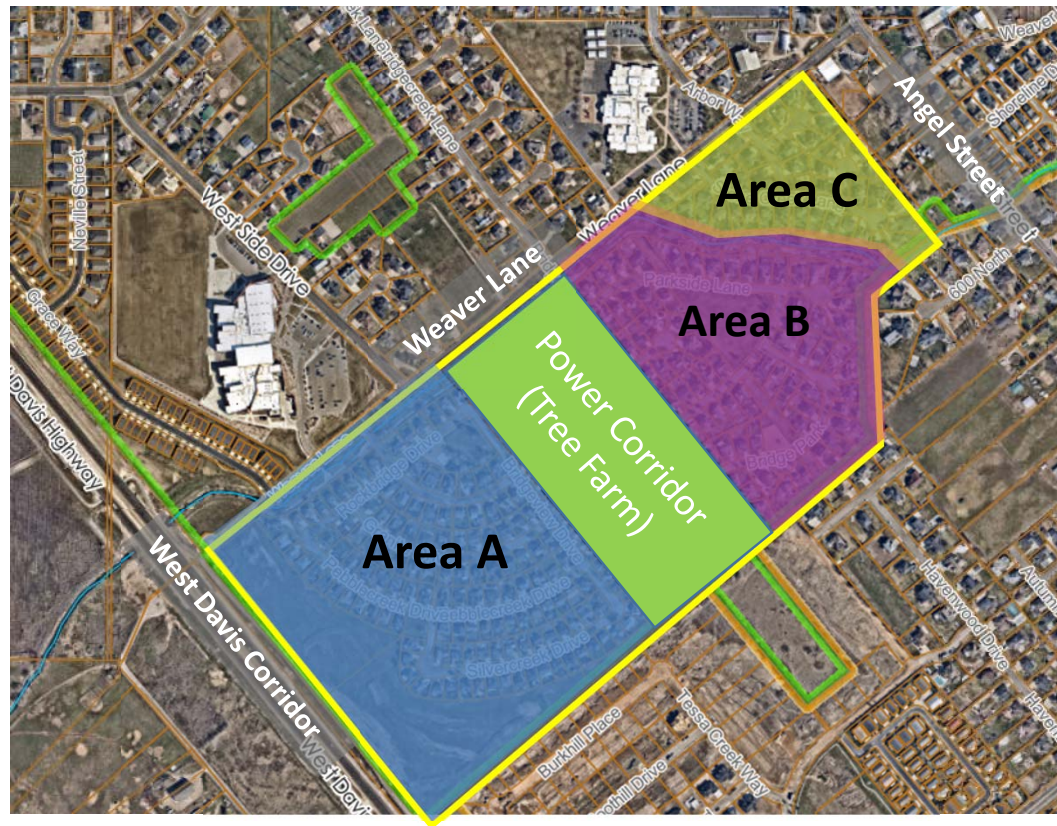






# Kayscreek Estates Sidewalk Repair Project

**Contractors have completed all work.**





# **Kayscreek Estates Sidewalk Repair Project**

## **Project Report**

- **249 ft of curb and gutter replaced (estimated 260 ft)**
- **5,640 ft of sidewalk replaced (estimated 3,300 ft)**
- **54 ADA ramps installed (estimated 54)**
- **199 trees removed with project (estimated up to 310)**

# Kayscreek Estates Sidewalk Repair Project

## Costs

- **Concrete repair and replacement**
  - **\$461,140.72 (original estimate \$342,455.33)**
- **Tree removal services**
  - **\$281,105.00 (original estimate \$401,470.00)**
- **Total project**
  - **\$750,245.72 (original estimate \$743,925.33)**



# Kayscreek Estates Sidewalk Repair Project

## Property Owner Agreements

- **Paid or committed to pay**
  - **69% (89 properties)**
- **Notified with no response**
  - **31 % (40 properties)**