



# HIGHLAND PLANNING COMMISSION AGENDA

**TUESDAY, AUGUST 26, 2025**

Highland City Council Chambers, 5400 West Civic Center Drive, Highland Utah 84003

## VIRTUAL PARTICIPATION



YouTube Live: <http://bit.ly/HC-youtube>



Email comments prior to meeting: [planningcommission@highlandcity.org](mailto:planningcommission@highlandcity.org)

## 7:00 PM REGULAR SESSION

Call to Order: Chair Christopher Howden

Invocation: Debra Maughan

Pledge of Allegiance: Claude Jones

### 1. UNSCHEDULED PUBLIC APPEARANCES

Please limit comments to three minutes per person. Please state your name.

### 2. CONSENT ITEMS

Items on the consent agenda are of a routine nature. They are intended to be acted upon in one motion. Items on the consent agenda may be pulled for separate consideration.

- a. **Approval of Meeting Minutes - June 24, 2025** *Heather White, Deputy City Recorder*

### 3. ACTION ITEMS

- a. **PUBLIC HEARING/ORDINANCE: PH - Fences Near Trails and Open Space Development Code Update (Legislative)**  
*Rob Patterson, City Attorney/Planning & Zoning Administrator*  
The Planning Commission will hold a public hearing and consider and provide a recommendation on options for regulations for fences near trails and open space.
- b. **ACTION: Highland Town Plaza Lot 3 Site Plan and Architecture Review Land Use (Administrative)**  
*Rob Patterson, City Attorney/Planning & Zoning Administrator*  
The Planning Commission will review and make a recommendation regarding a proposed site plan and building architecture for a commercial building in the Town Center Commercial District.

### 4. COMMUNICATION ITEMS

Communication items are informational only. No final action will be taken.

## ADJOURNMENT

In accordance with Americans with Disabilities Act, Highland City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at (801) 772-

4505 at least three days in advance of the meeting.

### **ELECTRONIC PARTICIPATION**

Members of the Planning Commission may participate electronically during this meeting.

### **CERTIFICATE OF POSTING**

I, Rob Patterson, City Attorney/Planning & Zoning Administrator, certify that the foregoing agenda was posted at the principal office of the public body, on the Utah State website (<http://pmn.utah.gov>), and on Highland City's website ([www.highlandcity.org](http://www.highlandcity.org)).

Please note the order of agenda items are subject to change in order to accommodate the needs of the Planning Commission, staff and the public.

Posted and dated this agenda on the 21 day of August, 2025  
Attorney/Planning & Zoning Administrator

Rob Patterson, City

<b>THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.</b>
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## HIGHLAND CITY

# HIGHLAND PLANNING COMMISSION MINUTES

Tuesday, June 24, 2025

Awaiting Formal Approval

Highland City Council Chambers, 5400 West Civic Center Drive, Highland Utah 84003

### 7:00 PM REGULAR SESSION

Call to Order: Chair Christopher Howden

Invocation: Commissioner Audrey Moore

Pledge of Allegiance: Trent Thayn

The meeting was called to order by Chair Christopher Howden as a regular session at 7:00 pm. The meeting agenda was posted on the Utah State Public Meeting Website at least 24 hours prior to the meeting. The prayer was offered by Commissioner Audrey Moore and those in attendance were led in the Pledge of Allegiance by Commissioner Trent Thayn.

Commissioner Jerry Abbott	Absent
Commissioner Tracy Hill	Present
Commissioner Christopher Howden	Present
Commissioner Claude Jones	Absent
Commissioner Debra Maughan	Absent
Commissioner Audrey Moore	Present
Commissioner Trent Thayn	Present
Alternate Commissioner Sherry Kramer	Present
Alternate Commissioner Wes Warren	Present

CITY STAFF PRESENT: City Attorney/Planning & Zoning Administrator Rob Patterson, City Recorder Stephannie Cottle

OTHERS PRESENT: Jon Hart, Liz Rice, Kristin Richey

### 1. UNSCHEDULED PUBLIC APPEARANCES

Please limit comments to three minutes per person. Please state your name.

There was no public comment.

### 2. CONSENT ITEMS

Items on the consent agenda are of a routine nature. They are intended to be acted upon in one motion. Items on the consent agenda may be pulled for separate consideration.

#### a. Approval of Meeting Minutes - May 27, 2025 Heather White, Deputy City Recorder

Commissioner Audrey Moore *MOVED* to approve the minutes from May 27, 2025.

Commissioner Sherry Kramer *SECONDED* the motion.

<i>Commissioner Jerry Abbott</i>	<i>Absent</i>
<i>Commissioner Tracy Hill</i>	<i>Yes</i>
<i>Commissioner Christopher Howden</i>	<i>Yes</i>
<i>Commissioner Claude Jones</i>	<i>Absent</i>
<i>Commissioner Debra Maughan</i>	<i>Absent</i>
<i>Commissioner Audrey Moore</i>	<i>Yes</i>
<i>Commissioner Trent Thayn</i>	<i>Yes</i>
<i>Alternate Commissioner Sherry Kramer</i>	<i>Yes</i>
<i>Alternate Commissioner Wes Warren</i>	<i>Yes</i>

*The motion carried 6:0*

### **3. ACTION ITEMS**

**a. PUBLIC HEARING/ORDINANCE: PO Zone Daycare Development Agreement Land Use (Legislative)**

*Rob Patterson, City Attorney/Planning & Zoning Administrator*

Consideration of a potential development agreement; however, agreement is not finalized, so the public hearing and review of the agreement must be continued to the next meeting.

Commissioner Wes Warren MOVED to CONTINUE the PO Zone Daycare Development Agreement item.

Commissioner Tracy Hill SECONDED the motion.

<i>Commissioner Jerry Abbott</i>	<i>Absent</i>
<i>Commissioner Tracy Hill</i>	<i>Yes</i>
<i>Commissioner Christopher Howden</i>	<i>Yes</i>
<i>Commissioner Claude Jones</i>	<i>Absent</i>
<i>Commissioner Debra Maughan</i>	<i>Absent</i>
<i>Commissioner Audrey Moore</i>	<i>Yes</i>
<i>Commissioner Trent Thayn</i>	<i>Yes</i>
<i>Alternate Commissioner Sherry Kramer</i>	<i>Yes</i>
<i>Alternate Commissioner Wes Warren</i>	<i>Yes</i>

*The motion carried 6:0*

**b. PUBLIC HEARING/ORDINANCE: Text Amendment Expiration of Approvals and Applications Land Use (Legislative)**

*Rob Patterson, City Attorney/Planning & Zoning Administrator*

The Commission will hold a public hearing to consider proposed amendments that would establish expiration procedures for land use applications and approvals.

Mr. Patterson explained that there were no expirations for many permits or land use applications. The proposed amendment would establish specific deadlines and expiration periods for all land use applications. He reviewed proposed expiration periods for various applications and approvals. He mentioned that, if approved, he would send letters to current applicants explaining new deadline regulations. He also mentioned that city-caused delays would not count against applicants.



Commissioner Thayn wondered what “inactivity” meant. Mr. Patterson explained that it pertained to the applicant. He spoke of an example when an applicant for a text amendment was given direction from the planning commission and didn’t reach out to the city for another six or eight months. Commissioner Warren wondered what would be considered “inactivity” in relation to a fence permit. Mr. Patterson explained that the code was not meant to be punitive. He understood that reasonable time was needed to complete each step of an application.

Commissioner Moore wondered how the proposed amendment would affect improvements on personal property. Mr. Patterson said that finishing basements or outbuilding construction would not change. He there were fence permits that received approval two to three years ago and had not been installed. Since then, fencing regulations changed so their fence would no longer meet current code requirements. He said the permit would now state that they had one year to build the fence.

Commissioner Chris Howden opened the public hearing at 7:10 PM and asked for public comment. Hearing none, he closed the public hearing at 7:10 PM and called for a motion.

*Commissioner Tracy Hill MOVED that the Planning Commission recommend ADOPTION of the proposed amendments related to expiration of land use approvals and applications.*

*Commissioner Trent Thayn SECONDED the motion.*

<i>Commissioner Jerry Abbott</i>	<i>Absent</i>
<i>Commissioner Tracy Hill</i>	<i>Yes</i>
<i>Commissioner Christopher Howden</i>	<i>Yes</i>
<i>Commissioner Claude Jones</i>	<i>Absent</i>
<i>Commissioner Debra Maughan</i>	<i>Absent</i>
<i>Commissioner Audrey Moore</i>	<i>Yes</i>
<i>Commissioner Trent Thayn</i>	<i>Yes</i>
<i>Alternate Commissioner Sherry Kramer</i>	<i>Yes</i>
<i>Alternate Commissioner Wes Warren</i>	<i>Yes</i>

*The motion carried 6:0.*

#### **4. DISCUSSION ITEMS**

Items in this section are for discussion and direction to staff only. No final action will be taken.

**a. ACTION: Proposed PO Zone Amendments Land Use (Legislative)**

*Rob Patterson, City Attorney/Planning & Zoning Administrator*

The Planning Commission will review an initial draft from staff of potential amendments to the PO Professional Office Zone and give direction to staff.

Mr. Patterson explained that the city rejected the developer-proposed amendment in March and gave direction to staff to create a city-led draft amendment. Mr. Patterson reviewed the proposed changes made to the existing code as well as new standards that he thought needed to be part of the code. He encouraged the commissioners to thoroughly review the draft.

Mr. Patterson asked for direction pertaining to the PO Zone next to Lone Peak High School. He wondered if it should remain in the PO Zone or rezoned to Residential Professional Zone. The commissioners talked about the general use of the area. They discussed the definition and uses permitted in the Residential Professional Zone.

Commissioner Kramer thought it would be wise to keep the property in the PO Zone. Other commissioners

agreed. They thought keeping the exhibits as examples was helpful. There were different opinions regarding building height. Mr. Patterson said he would propose different options for the commissioners to consider. He also asked the commissioner to send any other design considerations they wanted to propose.

Commissioner Warren wondered how the changes would address broadening the scope. Mr. Patterson explained that site specific language was removed. He said building designs were replaced with building design standards that could apply to any property. There was a specific area called out in the code which was the one-story restriction on the east side of Highland Blvd.

Commissioner Moore wanted to make sure that the commissioners were okay with the flat roof design. Commissioner Howden explained that the Bull River residents asked that the commercial buildings look like homes in the area. He pointed out that some of the homes had flat roofs. Mr. Patterson said he could include the photos as examples, but did not want to make the photos part of the design requirements.

## **5. COMMUNICATION ITEMS**

Communication items are informational only. No final action will be taken.

Commissioner Howden reviewed upcoming meetings.

## **ADJOURNMENT**

*Commissioner Wes Warren MOVED to adjourn the regular meeting and Commissioner Audrey Moore SECONDED the motion. All voted in favor and the motion passed unanimously.*

The meeting adjourned at 7:34 pm.

I, Heather White, Deputy City Recorder of Highland City, hereby certify that the foregoing minutes represent a true, accurate and complete record of the meeting held on June 24, 2025. This document constitutes the official minutes for the Highland City Planning Commission.

Heather White Deputy  
City Recorder



# PLANNING COMMISSION AGENDA REPORT ITEM #3a

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**DATE:** August 26, 2025  
**TO:** Planning Commission  
**FROM:** Rob Patterson, City Attorney/Planning & Zoning Administrator  
**SUBJECT:** PH - Fences Near Trails and Open Space  
**TYPE:** Development Code Update (Legislative)

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## **PURPOSE:**

The Planning Commission will hold a public hearing and consider and provide a recommendation on options for regulations for fences near trails and open space.

## **STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission consider the options prepared by staff, as well as any other options for fencing regulations, hold a public hearing, and make a recommendation to the City Council.

## **PRIOR REVIEW:**

The Planning Commission addressed fencing along open space and trails on May 28, 2024. During that discussion, the Commission recommended amending the fence code to relax some of the regulations for fencing near open space and trails. However, the Commission did not discuss, and staff did not present, whether to distinguish between fencing along open space areas vs. fencing along trails. That is the point of this discussion.

## **BACKGROUND & SUMMARY OF REQUEST:**

The City recently dealt with a question regarding whether the fence code should distinguish between privacy fences along open space areas that do not have trails and trail corridors with trails. As result of that discussion, the City Council directed staff to address that issue with the Planning Commission and receive a recommendation.

The City's current fencing code, in HDC 3-612(3)(c)(iv), requires fences adjacent to less-visible "trails and open space" to be limited to 4 feet of privacy fencing, with up to 2 feet of open-style fencing on top. This means that any fence near a long and narrow open space area must be partially open, even if there is no trail in the area. There are several examples of this within the City. Some of these open space areas are reserved for future trails, and others are simply open space/park-like areas where no trail is planned. The question for the Commission is whether we should keep the current regulations (applied to trails, trail corridors, and open spaces) or if we should regulate fences only along trail corridors or even just trail corridors where an actual trail is built. Staff has come up with three options:

Option 1 – As-is/No Amendment – Privacy fences are restricted if they are near narrow, lengthy trails or open space areas, regardless of whether trails are existing or planned for that area.

Option 2 – Amendment – Allow full privacy fencing near open space areas but not trail corridors where trails exist or are planned. This would remove references to “open space” or “open space areas” within the fence code, so privacy fences near open space areas would be permitted, but full privacy fences near trail corridors would not be permitted. This option is reflected in the proposed amendment language presented with this report.

Option 3 – Amendment – Allow full privacy fencing near open space areas and trail corridors unless there is a current trail facility. Only if there is a trail would the 4’ maximum privacy fencing regulation apply. If this option is taken, the proposed amendment language presented with this report would be modified slightly to remove the language "or is planned to be used for public trail facilities or access" from the definition of a "trail corridor" where full privacy fencing is restricted (so planned trails that are not yet constructed do not require partially open fencing).

### **PUBLIC NOTICE**

Notice of the public hearing was published on August 14, 2025. As of writing this report, no comments have been received.

### **STAFF REVIEW & PROPOSED FINDINGS:**

Staff has prepared these amendments to provide options on fencing regulations for the Planning Commission's recommendation. The scope of fencing regulations near trails and open space is a policy matter that staff does not have a specific opinion on. Staff supports whatever direction the Planning Commission and City Council decide to take with these regulations.

### **MOTION:**

I move that the Planning Commission recommend Option [1, 2, or 3] regarding fencing near trails and open space. [The Planning Commission may specify additional or different options to be recommended and considered.]

### **ATTACHMENTS:**

1. Proposed Text Amendment
2. Scenarios of Options

## 2. General.

- a. Definitions: As used in this section, the listed terms are defined as follows:

...

x. Trail Corridor. Property, including an easement, owned by Highland City that has a public trail facility [or is planned to be used for public trail facilities or access]. Does not include trails and multi-use paths that are immediately adjacent to or part of public rights-of-way.

### 3.c.iv. Lots adjacent to trails [or open space]

- (1) Open style fences and privacy fences less than four (4) feet in height along the side or rear lot lines that are adjacent to a trail corridor ~~or open space~~ are permitted.
- (2) Privacy fences higher than four (4) feet in height along the side or rear lot lines that are adjacent to a trail corridor ~~or open space~~ are permitted, up to the maximum allowed fence height, except that privacy fencing along the side or rear lot lines adjacent to a trail corridor ~~or open space~~ is limited to a maximum of four (4) feet of privacy fencing, with at least the top two (2) remaining feet open in either of the following circumstances:
  - (A) The trail corridor ~~or open space area~~ is less than thirty (30) feet in width, is not immediately adjacent to a public street or to other property owned by a public entity or utility with open style or no fencing, and the entire area is not visible from a public area such as a street or park within 300 feet.
  - (B) The trail corridor ~~or open space area~~ is wider than thirty (30) feet but cannot be seen from two public areas such as a street or park.
- (3) The Land Use Authority may approve an alternative fence design for fencing adjacent to trail corridorss ~~or open space~~ if:
  - (A) The proposed alternative meets the intent of this section; and,
  - (B) There are special circumstances attached to the property that do not generally apply to other properties in the same subdivision; and,
  - (C) The natural visibility or observation of the trail corridor ~~or open space~~ is not diminished if the proposed alternative is constructed on all the lots adjacent to the trail or open space.

# APPLICATION OF FENCING OPTIONS - SCENARIO 1

## Option 1 - As Is

Lots near narrow open space areas and trails are limited to 4' privacy, 2' open fencing.

Full privacy fence NOT permitted (top 2' must be open)

## Option 2 - Remove Open Space

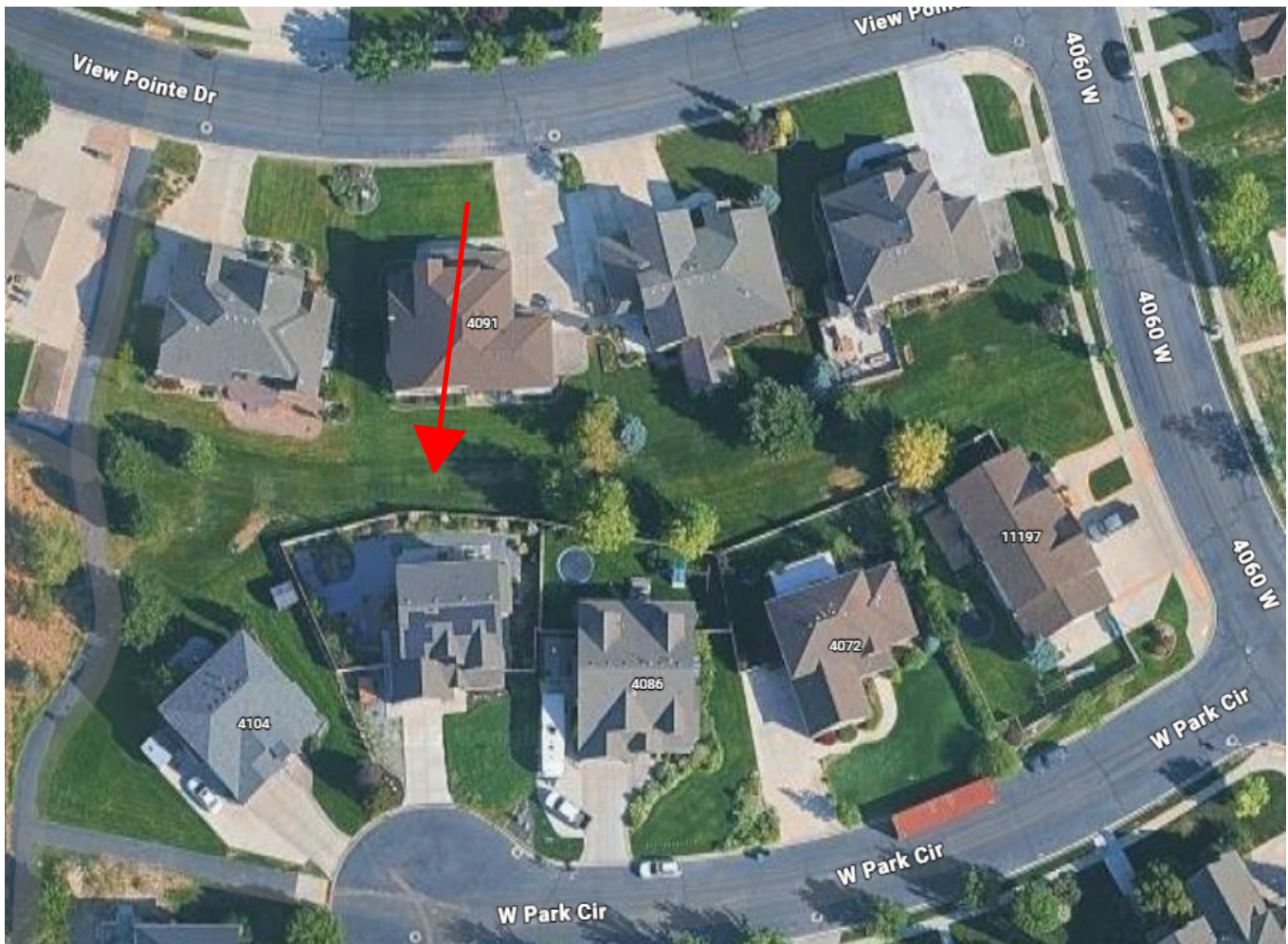
Lots near open space can have privacy fencing, so long as not a trail (planned or existing)

Full privacy fence PERMITTED because no trail existing or planned

## Option 3 - Only Existing Trails

Lots near any open space or trail corridor can have privacy fencing unless there is an existing trail facility

Full privacy fence PERMITTED because no existing trail





## APPLICATION OF FENCING OPTIONS - SCENARIO 2

## Option 1 - As Is

Lots near narrow open space areas and trails are limited to 4' privacy, 2' open fencing.

Full privacy fence NOT permitted (top 2' must be open)

## Option 2 - Remove Open Space

Lots near open space can have privacy fencing, so long as not a trail (planned or existing)

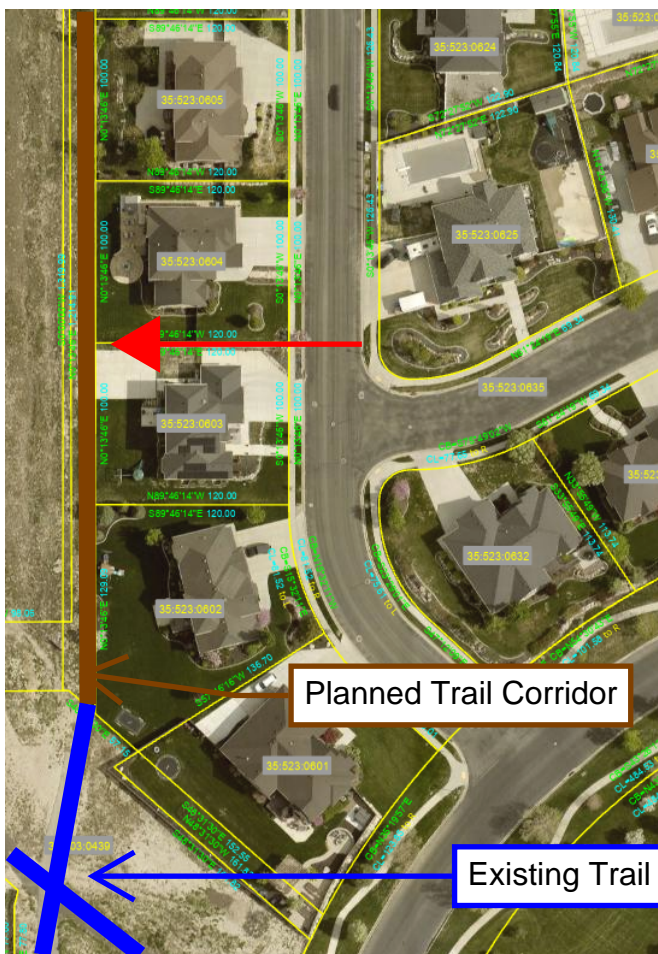
Full privacy fence NOT permitted (top 2' must be open) because trail is planned

### Option 3 - Only Existing Trails

Lots near any open space or trail corridor can have privacy fencing unless there is an existing trail facility

Full privacy fence PERMITTED

## Beacon Hills



## Foxwood Estates/Canterbury North





# PLANNING COMMISSION AGENDA REPORT ITEM #3b

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**DATE:** August 26, 2025  
**TO:** Planning Commission  
**FROM:** Rob Patterson, City Attorney/Planning & Zoning Administrator  
**SUBJECT:** Highland Town Plaza Lot 3 Site Plan and Architecture Review  
**TYPE:** Land Use (Administrative)

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## **PURPOSE:**

The Planning Commission will review and make a recommendation regarding a proposed site plan and building architecture for a commercial building in the Town Center Commercial District.

## **STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission recommend APPROVAL of the site plan and building architecture subject to one (1) stipulation proposed by staff.

## **PRIOR REVIEW:**

On December 10, 2024, the Planning Commission reviewed an early concept plan for this site in connection with a code amendment change seeking to adjust the setbacks that would apply to this site. The Commission unanimously voted to recommend approval of the setback change to facilitate the concept site plan.

## **BACKGROUND & SUMMARY OF REQUEST:**

This application seeks site plan approval and building architecture approval for the development of Lot 3 of the Highland Town Plaza, the site within Town Center just south of Wendy's. Lot 3 has been designated as a buildable lot for many years, and as such, it is entitled to be developed consistent with the City's Town Center Commercial District Zoning.

Under HDC 3-4732(4)-(6), applications for site plan and architectural review approval require review and a recommendation from the Recommending Body, which is the Planning Commission. After the application has received a recommendation, the application is forwarded to the Land Use Authority, which is the City Council. For site plans, an application is required to be approved if the following findings are met:

1. The proposed development complies with all provisions of this ordinance, Commercial Design Standards, and all other ordinances, master plans, general plans, goals, objectives and standards of Highland City.
2. The proposed site development plan's building heights, building locations, access points, and parking areas will not negatively impact adjacent properties or the surrounding neighborhood.
3. The proposed development promotes a functional relationship of structures to one another, to open spaces, and to topography both on the site and in the surrounding neighborhood.
4. Ingress, egress, internal and external traffic circulation, off-street parking facilities, loading and



service areas, and pedestrian ways, is so designed as to promote safety and convenience.

5. All mechanical equipment, appurtenances and utility lines are concealed from view and integral to the building and site design.

For building architectural review, an application is required to be approved if the following findings are met:

1. The proposed development complies with all provisions of this ordinance, Commercial Design Standards, and all other ordinances, master plans, general plans, goals, objectives and standards of Highland City.
2. The height, location, materials, color, texture, area, setbacks, and mass, as well as parts of any structure (buildings, walls, signs, lighting, etc.) and landscaping, is appropriate to the development, the community and the Transit Center Overlay.
3. The architectural character of the proposed structures is in harmony with, and compatible to, structures in the neighboring environment and the architectural character desired for the Transit Center Overlay; avoiding excessive variety or monotonous repetition.

As described below, staff believes that, subject to the review comments provided by staff, the application meets these findings. Accordingly, staff recommends that the Planning Commission recommend approval of both the site plan and building architecture.

## **SITE PLAN REVIEW**

### USE

The proposed use is for a restaurant with a pick-up window. Per HDC 3-47a, "restaurant; full service, catering, delicatessen" and "restaurant; drive-thru" are permitted uses within the Town Center Commercial District.

### PARKING

HDC 3-4726 requires developers to provide 4 parking spaces per 1,000 square feet of retail building floor area. Current parking within the Town Center Commercial District is as follows:

	Building Footprint	Calculation (4x1k SF)	Required Parking	Provided Parking	Extra Parking
Lot 1 (UPS/Fizz)	6200	24.8	25	36	11
Lot 2 (Cubby's)	4600	18.4	19	47	28
Meier's	13,400	53.6	54	46	-8
Wendy's	3300	13.2	14	24	10
Lot 3	0	0	0	14	14
<b>Total</b>	<b>27,500 SF</b>	<b>110</b>	<b>110</b>	<b>167</b>	<b>55</b>

Accordingly, the Town Center Commercial District is "over-parked" in that the approved site plans have each--except for Meier's--provided more parking than was required. Lot 3 is currently providing 14 parking spaces for the district that are not required because Lot 3 has not been developed.

Lot 3's proposed site plan reconfigures the parking for Wendy's and Lot 3, which currently have a combined 38 parking spaces. 13 additional parking spaces are being added under the site plan, which is sufficient parking on its own for the Lot 3 proposed building. This will result in the following parking:

	Building Footprint	Calculation (4x1k SF)	Required Parking	Provided Parking	Extra Parking
Lot 1 (UPS/Fizz)	6200	24.8	25	36	11
Lot 2 (Cubby's)	4600	18.4	19	47	28
Meier's	13,400	53.6	54	46	-8
Wendy's	3300	13.2	14	26	10
Lot 3	2600	10.4	11	25	14
<b>Total</b>	<b>30,100 SF</b>	<b>120.4</b>	<b>121</b>	<b>180</b>	<b>57</b>

The proposed site plan accordingly meets the minimum requirements of the Town Center Commercial District zone for parking spaces. The site plan overall increases the amount of parking available in the site, though it also increases the demand for parking in the site. To the extent there is insufficient parking available in the District, that is a result of Meier's being under-parked and the City's standards for parking being low.

There are also 24 parking spaces (11 west, 13 east) along Town Center Blvd. The proximity of the new building on Lot 3 will hopefully encourage people to use these parking spaces in addition to the on-site parking spaces.

The parking lot has curbing, landscaping/islands, and a pedestrian link to the buildings, as required by HDC 3-4726.

The fire marshal has reviewed the plans and supports the modifications to the Wendy's parking lot, as it provides increased circulation in and out of the Wendy's site for escaping customers and entering emergency responders and vehicles.

#### LOADING

Specific loading berths are required for uses with over 10,000 SF of floor area per HDC 3-4727. The proposed building is approximately 2,600 SF, and therefore separate, dedicated loading berths are not required.

#### ACCESS AND ROADS

The proposed site plan only contains internal development using existing, fully improved accesses from Town Center Blvd. and SR 92. No new driveway/access or public roadway is proposed.

#### TRAFFIC

A study was completed by Hales Engineering, dated March 28, 2025. That study concluded that the restaurant would generate 150 new trips (250 trips total with pass-by), with 20 trips (34 trips total with pass-by) during the evening peak hour. Pass-by trips are trips where someone was already driving for another purpose and decided to enter the business, while a new trip is where someone chose to drive directly to/from the use. Highland City does not have a standard regarding trip generation for commercial projects. Parking for these additional peak hour trips can be met by the additional 13 parking spaces, plus the 24 parking spaces available along Town Center Blvd (37 parking spaces for 34 additional trips), and hopefully some of the trips will use the pick-up window. While there will certainly be an impact on internal parking and circulation, it does not appear to be excessive given the parking and circulation requirements in the development code.

The study concludes that the proposed site would not interfere with the Wendy's circulation. The study also concluded that the pick-up window would not interfere with site circulation, but that the pick-up window could not be converted to a drive-through, because there would be insufficient queuing area.

### REFUSE COLLECTION

The currently existing refuse collection area near the Toscana development will be expanded to provide refuse collection for Lot 3. The expanded refuse collection area and walls will be a similar design and material as the existing collection area and walls. The refuse container will be screened with walls on three sides and a gate. Staff has a couple of minor comments regarding discrepancies in the plans regarding the refuse collection expansion and the adjacent curbing changes that need to be addressed and clarified, but these are relatively minor corrections.

### UTILITIES

All utilities are being provided to the site. There is limited impact to public utility lines, as most of the new utility lines and facilities are private and internal to the site. Most of staff's review comments relate to clarifying or correcting issues with the utilities, including:

- Relocate Wendy's PI meter to the new parking island within the City's utility easement
- Require TSSD approval for sewer connection/traps
- Provide details of culinary meter box
- Ensure sewer manhole is covered and located appropriately with site grading
- Clarify how gas and curb inlets function in connection with retaining wall on east side of building
- Provide additional, specific details for storm drain system

### HARDSCAPE

HDC 3-4731 provides requirements for hardscape improvements. Many of these requirements were previously satisfied by the construction and improvement of Town Center Blvd and its medians. In addition to the existing improvements, a new hardscape pedestrian walkway element is being installed connecting the Town Center Blvd walkway to the parking lot and new building on the north side of Lot 3. A pedestrian crosswalk is also provided on the south side of the building.

### LANDSCAPE

HDC 3-4729 generally requires that a minimum of (15%) "of the project area" be landscaped. The proposed landscaping plan combines the landscaping for the Wendy's lot with Lot 3. Together, there is a total of 16,421 SF of landscaping between the two sites, which is 26.5% of the overall site. The landscaping code does not specify that the landscaping must be entirely located on the property associated with each building. The code only requires 15% of "the project area" be landscaped. Given the history of the Town Center and its original concept as a single, master-planned project, staff is comfortable with using the overall landscaping of the two sites in conjunction. Any additional landscaping would reduce parking and circulation within the site, which is undesired.

### SETBACKS

Due to the text amendment approved at the end of 2024/beginning of 2025, the only setback that applies to this lot is 10-foot minimum setback under HDC 3-4713(5). The site meets this setback requirement.

### ARCHITECTURE REVIEW

Building architecture is regulated by HDC 3-4713 and the City's town center commercial design standards. In general, the building design needs to be consistent with adjacent development and incorporate designs and materials that are high-quality without being overly ornamented. The proposed

architecture aligns with the more recently constructed Lot 1 and Lot 2 buildings (Cubby's and UPS/FIZZ). No prohibited building materials are used.

Earthtone colors are required. While the building incorporates a white color, that color has been approved for other buildings within the Town Center Commercial District, and so staff has not objected to that color.

The roof line is broken up, even though the minimum requirement is that no single roof line extends for more than 75 feet, which would be the entire building. The building is required to have horizontal breaks or changes of materials at least every 14 feet on the exterior facades, which have been provided.

Entrance elements in the form of canopies are provided, consisting of heavy timber, as required by code.

At least 50% of the first floor facade adjacent to Town Center Blvd must be of rock, brick, or stone. At staff's request, the developer is providing 50%+ architectural stone on all facades of the building, as measured from floor to ceiling of the tenant space in the building (the first floor of the building), even though only the one side would be required.

The building height is approximately 24' from finished grade. Maximum building height is 40 feet from top of curb of Town Center Blvd., which actually sits slightly higher than the grade of Lot 3.

In staff's opinion, the building architecture conforms to the requirements of the Town Center Commercial District and is harmonious with adjacent development within the Town Center Commercial District.

#### **STAFF REVIEW & PROPOSED FINDINGS:**

As described above, staff believes that, subject to staff's final review comments, the proposed site plan and building architecture conform to applicable development standards. The staff review comments are somewhat lengthy. These types of comments could have been addressed through another round of resubmission and staff review. However, given the applicant's needs and the City's need to focus on the general plan, staff has elected to move this project forward for approval with stipulations. The City public works and engineering staff and consultants are comfortable that the remaining items to be corrected in the review comments are not items that will cause the project to fail or be unsafe in any way. Staff is comfortable resolving the listed items with the applicant post-approval.

Subject to the stipulation from staff, staff believes that the site plan and building architecture application meet the following findings:

1. A restaurant with a pick-up window/lane is a permitted use within the Town Center Commercial District.
2. The proposed site plan, subject to the stipulation recommended by staff, satisfies the requirements of the Town Center Commercial District, all other ordinances, master plans, general plans, goals, objectives and standards of Highland City, for the reasons described in the staff report above.
3. The proposed site plan's building heights, building locations, access points, and parking areas will not negatively impact adjacent properties or the surrounding neighborhood.
4. The proposed development promotes a functional relationship of structures to one another, to open spaces, and to topography both on the site and in the surrounding neighborhood.
5. Ingress, egress, internal and external traffic circulation, off-street parking facilities, loading and

- service areas, and pedestrian ways, is so designed as to promote safety and convenience.
6. All mechanical equipment, appurtenances and utility lines are concealed from view and integral to the building and site design.
  7. The proposed building architecture satisfies the requirements of the Town Center Commercial District all other ordinances, master plans, general plans, goals, objectives and standards of Highland City, for the reasons described in the staff report above.
  8. The height, location, materials, color, texture, area, setbacks, and mass, as well as parts of any structure (buildings, walls, signs, lighting, etc.) and landscaping, is appropriate to the development, the community and the Town Center Commercial District.
  9. The architectural character of the proposed structures is in harmony with, and compatible to, structures in the neighboring environment and the architectural character desired for the the Town Center Commercial District; avoiding excessive variety or monotonous repetition.

Accordingly, staff recommends that the Planning Commission recommend APPROVAL of the Highland Town Plaza Lot 3 site plan and building architecture, subject to the following stipulation:

1. The corrections and comments provided in the staff review comment sheet, dated August 21, 2025, be addressed and corrected to the city engineer's approval prior to construction.

**MOTION:**

I move that the Planning Commission recommend APPROVAL of the Highland Town Plaza Lot 3 site plan and building architecture, subject to proposed findings and the one (1) stipulation recommended by staff.

[Planning Commission may specify additional or different conditions on approval to ensure the site plan and architecture conform to applicable standards].

**ATTACHMENTS:**

1. Highland Town Plaza - Lot 3 - Review Comments - 2025.08.21 (Stipulation)
2. Project Narrative
3. 1. Highland Town Plaza Lot 3\_Site Plan
4. 2. Highland Town Plaza Lot 3\_Landscape
5. 3. Highland Town Plaza Lot 3\_Building Elevations and Details
6. 4. Highland Mo'Bettahs TGS 20250328 Signed



## **STAFF REVIEW COMMENTS**

### **Highland Town Plaza - Lot 3 - Mo'Bettahs**

### **August 21, 2025**

#### **Planning:**

1. Provide detail of trash enclosure modification. Must meet HDC 3-4723.3.c:  
“The receptacle shall be screened from public view on at least three (3) sides by a solid wall six (6) feet in height and on the fourth side by a solid gate not less than six (6) feet in height. ... The wall and gate shall be architecturally compatible with the surrounding buildings and structures.”
  - a. The trash enclosure details do not match. Please make the correction.
2. Is the curbing or paving to be altered near trash enclosure with the expansion of the enclosure? If so, please show changes in plans.
  - a. Provide curbing or paving changes around trash enclosure.

#### **Sheet 101 & 102 (Cover & General Notes):**

3. Provide Highland City general notes on each respective sheet.
  - a. Provide Highland City general notes for each respective utility.

#### **Sheet 103 (Demolition Plan):**

4. Show all changes to utility connections to lot 2.
  - a. Move PI meter serving lot 2 to the parking island adjacent to the PI main.

#### **Sheet 104 (Proposed Site Plan):**

5. Provide a clear description of trash enclosure changes.
  - a. The details for the trash enclosure conflict between the plan sets.  
Please make corrections and resubmit.
6. South access road (south of lot 3) must remain clear at all times for fire department access. Provide signing, striping and red-painted curb to communicate this requirement to the public. No queuing allowed due to the pickup line.
  - a. This item will remain as a reminder.



7. All easements must be clearly identified on the site plan. Please include all utility easements.
  - a. Please show and label all access and utility easements, as well as Highland City right of way on sheets 201 and 301.

**Sheet 201 (Utility Plan):**

8. Proposed 4" grease line needs to be 6". This line requires approval and inspection from TSSD.
  - a. Please provide documentation of approval from TSSD.
9. Move Culinary Meter Vault out of the drive-thru to park strip or landscaped area. If this can't be achieved, move the meter vault to just off of the existing waterline location. Please show a vault that meets HS-20 loading requirements. The City's detail does not provide that information as the typical location is within a park strip.
  - a. Provide details in the plan set of the culinary meter box that meets the HS-20 loading requirement. The additional note on the standard meter detail is insufficient.
10. The existing PI service to Wendys will need to be extended north to the relocated islands south of their drive-thru. This will need to be reconnected, and the existing lateral will need to be protected in place.
  - a. Please relocate the PI meter to a location as close to the PI main as possible. Suggestions include locating it in the drive isle in an HS-20 rated box, or in the parking island just north of the main.
11. Point of connection for the new Sewer Manhole needs to be 60" per Highland City Standard SS-04.
  - a. The rim and invert elevations provided don't make sense. 7'-0" of fall between the sampling manhole and the new manhole? New rim doesn't match the existing grades shown on the grading plan. Please review and provide updated information.

**Sheet 301 (Grading Plan):**

12. Provide details for the proposed retaining wall.
  - a. Provide more detailed information showing how the proposed curb inlets will be built with the proposed retaining wall footing as shown.



- b. Provide more detailed information showing where the gas line will be located in relation to the retaining wall and 4" perforated pipe and how it will be protected in place.
  - c. Show the utility easement for the gas line as per previous comments.
- 13. Provide updated storm drain system calculations based on the infiltration safety factor.
  - a. Please provide the specific cover and construction details for the installation of this storm drain system in addition to the general detail provided.
  - b. Label all inverts on the Stormbrixx Profile View.
- 14. Provide pavement cross section for proposed asphalt.
  - a. Concrete cross section does not match the geotechnical report. Please confirm all pavement and concrete cross sections.

**Sheet 601-602 (Details):**

- 15. Consider providing full sheets for SD system details.
  - a. A full sheet of the SD system construction details is recommended.



## Project Narrative

Highland Town Plaza Lot 3 is the final commercial lot of this development. The project has been designed as a single used tenant retail building with a drive-thru pickup window. The development is consistent with the General Plan and in compliance with the Highland City Development Code. The proposed construction is compatible with the current zoning designation, adjacent uses, and will be of similar design to the other multi-tenant commercial buildings in the development allowing for a mix of retail options in the city.

The site will reconfigure a portion of Wendy's parking lot allowing for better circulation and more access between the parcels. This reconfiguration has been previously agreed upon in current agreements with Wendy's and previous city approvals. Additionally, new parking lot lighting will be installed, creating improved nighttime visibility at the site, and increasing the safety for both vehicle and pedestrian traffic.

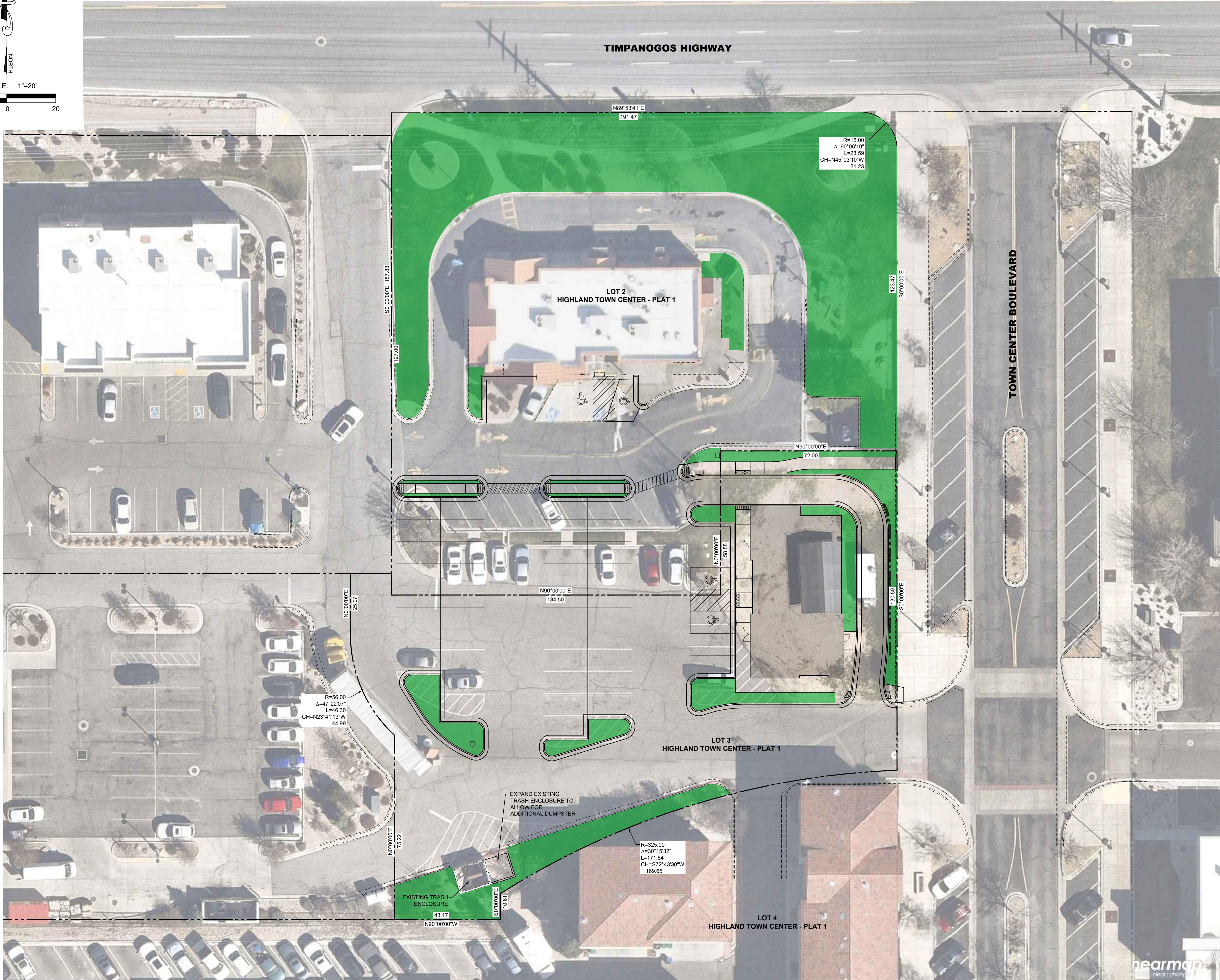
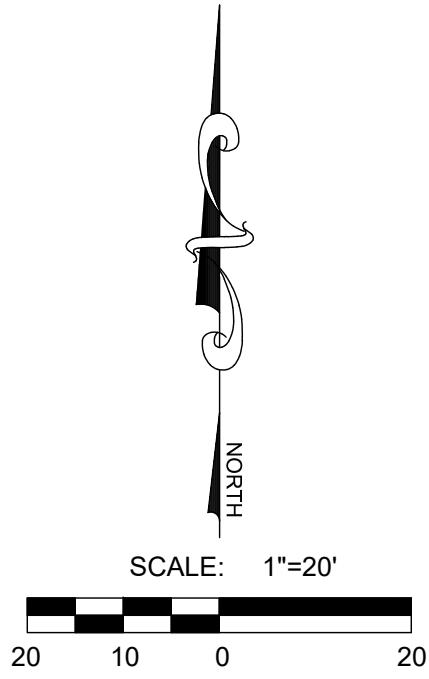
There are three existing ingress and egress points for this site. The access points are located at 5600 W, Timpanogos Hwy, and Town Center Blvd. The site is designed to maximize parking and circulation in the center and add two pedestrian accesses from Town Center Blvd. Both will connect to Lot 3 while the north access will extend further into the development. These accesses will also allow for customer traffic to utilize the off-street parking on Town Center Blvd as well as provide additional routes for pedestrian traffic from the surrounding area.

The original improvements to the city utilities for this development took into consideration Lot 3 as part of a larger development area and the site will not impact on the overall services provided by the city but will provide additional retail opportunities for the residents and other individuals who work in the city.

Once occupied, hours of operation and the number of employees would be typical for the type of tenant in the building. Noise, smoke, odor, dust, vibration or illumination will be consistent with industry standards for the Tenant.

Working with Wendy's and Hale's Engineering, we have discussed and implemented measures to address concerns noted in previous meetings. These concerns mainly revolved around the drive-thru pickup window and associated circulation. To address this the exit of the drive-thru pickup window has been shifted south and the exit slightly angles south encouraging exiting to the south while avoiding head on traffic to Wendy's menu board or other customers. Additionally, with the building shifting to the south, the entrance to the drive-thru pickup window has moved to the south which allows vehicles to enter from either direction without requiring multiple point turning.





VICINITY MAP

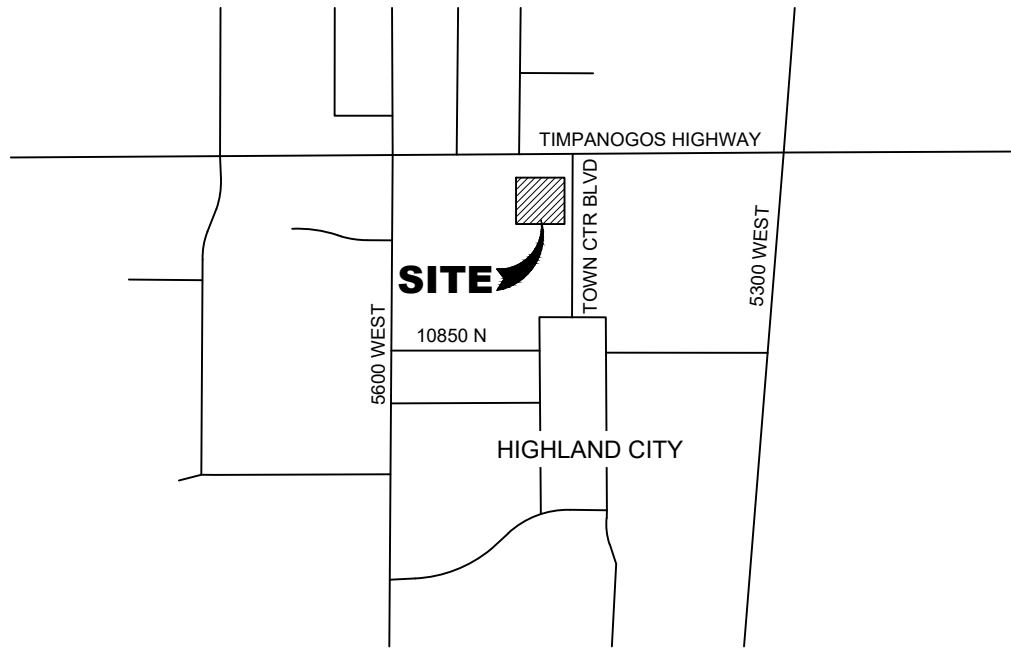


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101	COVER
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602	DETAILS - STORMBRIXX

TABULATIONS

EXISTING ZONE:	TOWN CENTER OVERLAY
LOTS 2 & 3 AREA:	1.42 ACRES
LOT 3 AREA:	0.58 ACRES
BUILDING AREA:	42,552 S.F.
PARKING REQUIRED	
REGULAR STALLS:	23 STALLS
HANDICAP STALLS:	2 STALLS
PARKING PROVIDED	
REGULAR STALLS:	47 STALLS
HANDICAP STALLS:	4 STALLS
LANDSCAPING REQUIRED FOR LOTS 2 & 3 - 9,264 SF	15%
LANDSCAPING PROVIDED FOR LOTS 2 & 3 - 16,421 SF	26.5%

LEGAL DESCRIPTION

LOT 3, HIGHLAND TOWN PLAZA SUBDIVISION & LOT 2 HIGHLAND TOWN CENTER, PLAT 1, AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER.

LEGEND

EXISTING	PROPOSED	
---	---	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
---	---	SEWER PIPE
---	---	SEWER MANHOLE
---	---	SEWER SERVICE
---	---	STORM DRAIN PIPE (RCP)
---	---	STORM DRAIN MANHOLE
---	---	CURB INLET
---	---	COMBO BOX
---	---	4x4' CATCH BASIN
---	---	3x3' CATCH BASIN
---	---	INLET/OUTLET W/ GRATE
---	---	CULINARY WATER PIPE
---	---	45" PIPE ELBOW (W)
---	---	22.5" PIPE ELBOW (W)
---	---	11.25" PIPE ELBOW (W)
---	---	FIRE HYDRANT
---	---	SERVICE & METER (W)
---	---	PRV (W)
---	---	AIR-VAC VALVE (W)
---	---	BLOW-OFF (W)
---	---	TEMP. BLOW-OFF (W)
---	---	VALVE (W & SW)
---	---	TEE
---	---	CROSS
---	---	PRESSURIZED IRRIGATION
---	---	45" PIPE ELBOW (PI)
---	---	22.5" PIPE ELBOW (PI)
---	---	11.25" PIPE ELBOW (PI)
---	---	SINGLE SW SERVICE
---	---	DUAL SW SERVICE
---	---	AIR-VAC VALVE (PI)
---	---	BLOW-OFF (SW)
---	---	TEMP. BLOW-OFF (PI)
---	---	STOP SIGN
---	---	STREET SIGN
---	---	MONUMENT
---	---	FENCE
---	---	STREET LIGHT
---	---	POWER POLE
---	---	DITCH
---	---	FIBER OPTIC
---	---	GAS
---	---	OVERHEAD POWER
---	---	FLOW ARROW
---	---	CONTOURS

DEVELOPER / OWNER

WPI ENTERPRISES INC.  
5455 WEST 11000 NORTH SUITE 202  
HIGHLAND, UT 84003  
(801) 467-7000

ENGINEER

LEI CONSULTING ENGINEERS  
3302 NORTH MAIN  
SPANISH FORK, UTAH 84660  
(801) 798-0555

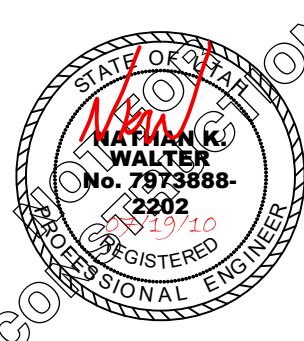
PROJECT NAME

WPI HIGHLAND



CIVIL  
STRUCTURAL  
SURVEY

3302 N. Main Street  
Spanish Fork, UT 84660  
Phone: 801.798.0555  
Fax: 801.798.9393  
office@lei-eng.com  
www.lei-eng.com



HIGHLAND TOWN PLAZA - LOT 3  
10969 NORTH TOWN CENTER BOULEVARD, HIGHLAND, UTAH

COVER

REVISIONS

1	
2	
3	
4	
5	
6	

LEI PROJECT #:

2024-0026

DRAWN BY:

RWH

DESIGNED BY:

BTG

SCALE:

1"=20'

DATE:

07/02/2025

SHEET

101



U:\10\_LEI\_PROJECTS\2024\2024-0026-HIGHLAND-COMM-SITE-PLAN\LDG DWG\FINAL\CA-0026-SITE-PLAN.DWG 7/2/2025 1:40 PM

GENERAL NOTES

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSPECTED IN STRICT ACCORDANCE WITH ALL JURISDICTIONAL AUTHORITIES.
2. CONTRACTOR SHALL COMPLY WITH THE STANDARDS INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES, OWNERS, ENGINEERS, AND UTILITY COMPANIES FIVE DAYS PRIOR TO A PRE-CONSTRUCTION MEETING.
3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF, AND AT, THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, (1) THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
6. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND ANSWER ANY QUESTIONS BEFORE CONSTRUCTION.
7. ALL TRAFFIC CONTROL IS TO CONFORM TO THE CURRENT MUTCD AND UDOT STANDARDS. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAYS OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
8. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
9. CONTRACTOR TO VERIFY EXISTING CONDITIONS, TIE IN POINTS, UTILITY CONNECTIONS, ETC. PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, SECTION CORNERS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY UNNECESSARY LOSS OR DISTURBANCE.
11. CONTRACTOR TO FURNISH, MAINTAIN, AND RESTORE ALL SURVEY MONUMENTS AND MONUMENT REFERENCE MARKERS WITHIN THE PROJECT SITE. CONTRACTOR TO CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT PERMITTING, LOCATIONS AND CONSTRUCTION DETAILS.
12. ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.

GENERAL CLEARING AND GRADING NOTES

1. CLEARING, GRUBBING AND DISPOSAL OF VEGETATIVE MATERIAL NEEDS TO BE IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS, WHICH APPLY TO SOLID WASTE.
2. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON DRAWINGS AND A TOPOGRAPHIC SURVEY PERFORMED BY LEI ENGINEERS (UNLESS OTHERWISE NOTED). IF THE EXISTING GRADE IS DIFFERENT FROM WHAT IS SHOWN ON THE GRADING PLAN, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
3. ALL EARTH WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S REPORT.
4. WHEN USING ELECTRONIC FILES OF MASS GRADING SITES PREPARED BY LEI THE CONTRACTOR MUST USE THE DIGITAL TERRAIN MODEL CREATED BY AUTODESK CIVIL 3D AND NOT A REPRODUCTION OF PROPOSED CONTOURS. LEI IS NOT RESPONSIBLE FOR ANY INACCURACIES, ERRORS AND/OR DISCREPANCIES DUE TO CONVERSION OR USE OF ELECTRONIC FILES.
5. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
6. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION. OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING THE APPROPRIATE PERMITS AND INSPECTIONS. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL UTILITY NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING BLUE STAKES FOR MARKINGS TO VERIFY ALL EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND FOR ALL INTERRUPTIONS CAUSED BY THE RESULTS OF HIS WORK.
2. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY CONTRACTORS WORK FORCE.
3. START AT THE LOW END OF ALL GRAVITY FEED LINES AND WORK UPHILL. DO NOT DRY START GRAVITY FEED LINES THAT TIE INTO EXISTING GRAVITY LINES. FAILURE TO COMPLY WITH THIS NOTE SHALL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.
4. CONTRACTOR SHALL LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF-SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION.
5. ANY POWER, NATURAL GAS, AND COMMUNICATIONS UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE PURPOSES ONLY AND ARE NOT DESIGN DRAWINGS FOR THE RELOCATION OR REMOVAL OF EXISTING UTILITIES, NOR FOR ANY NEW UTILITY SERVICES. CONTRACTOR TO SUBMIT SITE PLAN TO APPROPRIATE UTILITY PROVIDER FOR DESIGN OF SERVICE CONNECTIONS.
6. ALL DIMENSIONS, GRADES AND UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXISTS PRIOR TO CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
7. ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., ARE TO BE RAISED OR LOWERED TO GRADE.
8. THE DRY START OF ANY UTILITY WITHOUT DIRECT CONNECTION TO EXISTING UTILITY INFRASTRUCTURE IS HIGHLY DISCOURAGED UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER. LEI IS NOT RESPONSIBLE FOR ANY ISSUES OR CHANGES RESULTING FROM SUCH CONSTRUCTION METHODS.
9. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER AND AT THE SOLE RISK OF THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER.
10. CONTRACTOR IS RESPONSIBLE TO REMOVE, SALVAGE, AND REPLACE FENCE LINES WHICH ARE DISTURBED DURING CONSTRUCTION.
11. SANITARY SEWER TO BE INSTALLED A MINIMUM OF 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ALL WATER LINES.
12. ALL PIPE LENGTHS SHOWN ON PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
13. UTILITY LATERAL TO BE INSTALLED PER CITY STANDARD LOCATION UNLESS OTHERWISE NOTED.

ELECTRONIC FILE NOTES

1. THE HARD COPIES OF THIS INFORMATION WILL GOVERN OVER THE ELECTRONIC DATA IN THE EVENT ANY DISCREPANCIES ARE FOUND WITH THE INFORMATION. PLEASE CONTACT LEI BEFORE CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND.
2. THE INFORMATION RECORDED ON OR TRANSMITTED AS ELECTRONIC MEDIA WAS CREATED USING AUTODESK CIVIL 3D 2020 SOFTWARE. THEREFORE, THE INFORMATION IS SUBJECT TO UNDETECTABLE ALTERATION, EITHER INTENTIONAL OR UNINTENTIONAL DUE TO, AMONG OTHER CAUSES, TRANSMISSION, CONVERSION, MEDIA DEGRADATION, SOFTWARE ERROR, OR HUMAN ALTERATION.

THESE NOTES TO BE ADDED TO AND KEPT WITH ALL SUBDIVISION IMPROVEMENT PLAN SETS

GENERAL NOTES:

1. THESE NOTES SHALL BE DEEMED AN ADDENDUM TO THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) MANUAL STANDARD SPECIFICATIONS. HIGHLAND CITY FOLLOWS THE MOST CURRENT APWA SPECIFICATIONS AND STANDARD PLANS (AVAILABLE AT WWW.APWAWTAAH.ORG)
2. TWO (2) WORKING DAYS' NOTICE IS REQUIRED FOR ALL INSPECTIONS. INSPECTIONS ARE TO BE SCHEDULED THROUGH THE PUBLIC WORKS SECRETARY EITHER VERBALLY (801-772-4515), OR BY EMAIL (PUBLICWORKS@HIGHLANDCITY.ORG).
3. HIGHLAND CITY ENGINEERING INSPECTORS WORK MONDAY THROUGH THURSDAY (7:00 A.M. TO 5:30 P.M.). INSPECTIONS WILL BE SCHEDULED BETWEEN 7:30 A.M. AND 5:00 P.M.
4. ANY WORK PERFORMED WITHOUT THE PROPER APPROVALS OR INSPECTIONS TAKING PLACE WILL BE REMOVED AT THE CONTRACTOR'S EXPENSE AND RE-DONE WITH THE PROPER APPROVALS OR INSPECTIONS. MATERIAL REPLACEMENT OR RE-DESIGN MAY BE REQUIRED AT THE DISCRETION OF THE CITY INSPECTOR AND AT THE EXPENSE OF THE CONTRACTOR.
5. ALL CONSTRUCTION SHALL BE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS STAMPED "APPROVED FOR CONSTRUCTION, HIGHLAND PUBLIC WORKS" WITH A DATE AND SIGNATURE. THESE PLANS ARE TO BE ON-SITE AT ALL TIMES AND AVAILABLE TO THE CITY INSPECTOR FOR REVIEW. IF THE PLANS ARE NOT ON SITE, A STOPPAGE OF WORK WILL BE ISSUED UNTIL THE PLANS ARE AVAILABLE.
6. ANY CHANGES TO THE APPROVED CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY ENGINEER AND DESIGN ENGINEER. THIS APPROVAL MUST BE GIVEN IN WRITING BY THE CITY ENGINEER TO THE CONTRACTOR AND THE DEVELOPER. UNTIL SUCH WRITTEN AUTHORIZATION IS RECEIVED, THERE HAS BEEN NO APPROVAL GRANTED TO CHANGE THE PLANS.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY ERRORS FOUND ON THE APPROVED DRAWINGS, AS SOON AS THEY ARE DISCOVERED, TO THE CITY ENGINEER AND THE DESIGN ENGINEER. A WRITTEN ADDENDUM, WRITTEN BY THE CITY ENGINEER, WILL BE ISSUED TO THE CONTRACTOR AND THE DEVELOPER NOTIFYING THEM OF THE CHANGE TO THE PLANS. THERE WILL BE NO COST TO THE CITY FOR THESE CHANGES.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY DAMAGE THAT MAY OCCUR FROM THE PROJECT. THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY APPROVALS FOR WORK THAT IMPACTS OR IS LOCATED ON ADJACENT PROPERTIES OR WATER CONVEYANCE FACILITIES ARE OBTAINED IN WRITING AND PROVIDED TO THE CITY PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY REQUIREMENTS ON THE JOB SITE AND WILL ENSURE ENFORCEMENT OF THE NECESSARY AND GOVERNING REGULATIONS.
10. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED (IE NO CONCRETE).
11. THE PARK STRIP SHALL BE FILLED WITH NATIVE TOPSOIL, LEVEL WITH TOP OF CURB, NO ROCKS GREATER THAN THREE (3) INCHES.
12. HIGHLAND CITY DEFINES THE TIME FOR COMPLETION OF THE PUNCH LIST ITEMS TO BE THIRTY (30) DAYS.

UTILITY NOTES:

1. UNLESS OTHERWISE NOTED ON THE PLANS, THE EXISTING UTILITIES AND THEIR LOCATIONS ARE TAKEN FROM RESEARCH DATA OF AVAILABLE RECORDS AND NOT ACTUAL FIELD VERIFICATIONS.
2. THE EXISTING UTILITIES LOCATED ON THE PLANS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. NEITHER THE CITY ENGINEER, DESIGN ENGINEER, NOR THE DEVELOPER WILL BEAR ANY RESPONSIBILITY FOR THE ACCURACY OF THE DATA OR FOR UTILITIES NOT SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THESE UTILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LAWS AND REGULATIONS REGARDING UTILITY LOCATIONS AND EXCAVATING AROUND THESE UTILITIES, INCLUDING THE REQUIRED ROAD CUT / RIGHT OF WAY PERMIT.
4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES THAT ARE TO REMAIN IN PLACE. ANY DAMAGE DONE BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED AND/OR REPLACED SATISFACTORILY BY THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.

QUALITY CONTROL AND TESTING:

- A. BASE
  1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
  2. ALL COMPACTION TESTING SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE MOVING TO THE NEXT PHASE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO ASPHALT, SIDEWALK, CURB, GUTTER, ETC.
  3. ALL TESTING WILL BE PERFORMED BY A CERTIFIED TESTING LABORATORY AND A CERTIFIED TESTER.
  4. COMPACTION SHALL MEET THE 95% MODIFIED PROCTOR REQUIREMENTS.
  5. THE CITY INSPECTOR HAS THE AUTHORITY TO DIRECT THE LOCATION OF TESTING OR TO CALL FOR ADDITIONAL TESTS IF DEEMED NECESSARY.
- B. SUBBASE
  1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
  2. ALL SUBBASES (OR SUBGRADE IF NO SUBBASE IS USED) WILL HAVE A PROOF ROLLING TEST WITH A CITY INSPECTOR ON SITE.
  3. PROOF ROLLING TESTS WILL CONSIST OF DRIVING OVER THE SUBBASE/SUBGRADE WITH A FULLY LOADED FOUR THOUSAND (4,000) GALLON WATER TRUCK TO CHECK FOR ANY TYPE OF DEFLECTION IN THE MATERIAL.
  4. THE CITY INSPECTOR SHALL HAVE THE DISCRETION TO REQUEST THE REMOVAL OF MATERIAL AND THE AMOUNT AT LOCATIONS OF FAILURES.
  5. THE FAILED MATERIAL SHALL BE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR AND RETESTED.
- C. TRENCH COMPACTION
  1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
  2. TESTING RESULTS ARE REQUIRED TO BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE THE NEXT PHASE OF CONSTRUCTION CAN BEGIN.
  3. COMPACTION TESTS ARE REQUIRED EVERY TWO HUNDRED (200) LINEAR FEET OF EACH UTILITY AND EVERY TWO (2) FEET OF VERTICAL LIFT.
  4. MAXIMUM LIFT THICKNESS IS EIGHT (8) INCHES.
- D. SIDEWALKS AND CURB & GUTTER
  1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
  2. TESTING RESULTS ARE REQUIRED TO BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE THE NEXT PHASE OF CONSTRUCTION CAN BEGIN.
  3. SIDEWALKS - COMPACTION TESTS ARE REQUIRED EVERY FOUR HUNDRED (400) LINEAR FEET PER LIFT.
  4. CURB AND GUTTER-COMPACTION TESTS ARE REQUIRED EVERY TWO HUNDRED (200) LINEAR FEET PER LIFT.
  5. MAXIMUM LIFT THICKNESS IS EIGHT (8) INCHES.

TRAFFIC NOTES:

1. ALL CONSTRUCTION SIGNAGE, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
2. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING PUBLIC RIGHTS-OF-WAY THAT WERE WARRANTED IMMEDIATELY AFTER THE FIRST GRADING WORK IS ACCOMPLISHED AND SHALL MAINTAIN SAID SIGNS UNTIL PERMANENT SIGNS ARE INSTALLED.
4. IF IT IS DETERMINED BY THE PUBLIC WORKS DEPARTMENT THAT A SCHOOL ZONE IS ENROACHED UPON BY A CONSTRUCTION WORK ZONE, AND IT IS DETERMINED THAT THERE IS A NEED FOR STUDENTS TO BE ASSISTED IN THE SAFE CROSSING THROUGH THAT WORK ZONE, THE SCHOOL SHALL BE NOTIFIED, AND THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A QUALIFIED CROSSING GUARD. THE GUARD SHALL BE PRESENT FOR THE FULL DURATION OF TIME THOSE CHILDREN ARE LIKELY TO BE PRESENT AND/OR AS REQUESTED BY THE SCHOOL.
5. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL, OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY ENGINEER OR DESIGNEE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGNPOSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS.
7. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION.
7. THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT, AND FLAG PERSONS NECESSARY TO ENSURE THE SAFETY OF WORKERS AND VISITORS.

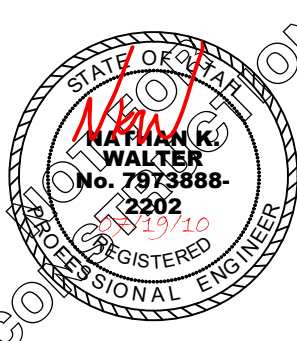
ABBREVIATIONS

NG	NATURAL GROUND
FG	FINISH GRADE
FS	FINISH SURFACE
EG	EXISTING GRADE
EX	EXISTING
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
FF	FINISH FLOOR
GFF	GARAGE FINISH FLOOR
FH	FIRE HYDRANT
PI	PRESSURIZED IRRIGATION
CB	CATCH BASIN
SMH	SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE



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HIGHLAND TOWN PLAZA - LOT 3  
10969 NORTH TOWN CENTER BOULEVARD, HIGHLAND, UTAH

GENERAL NOTES

REVISIONS

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LEI PROJECT #:

2024-0026

DRAWN BY:

RWH

DESIGNED BY:

BTG

SCALE:

NONE

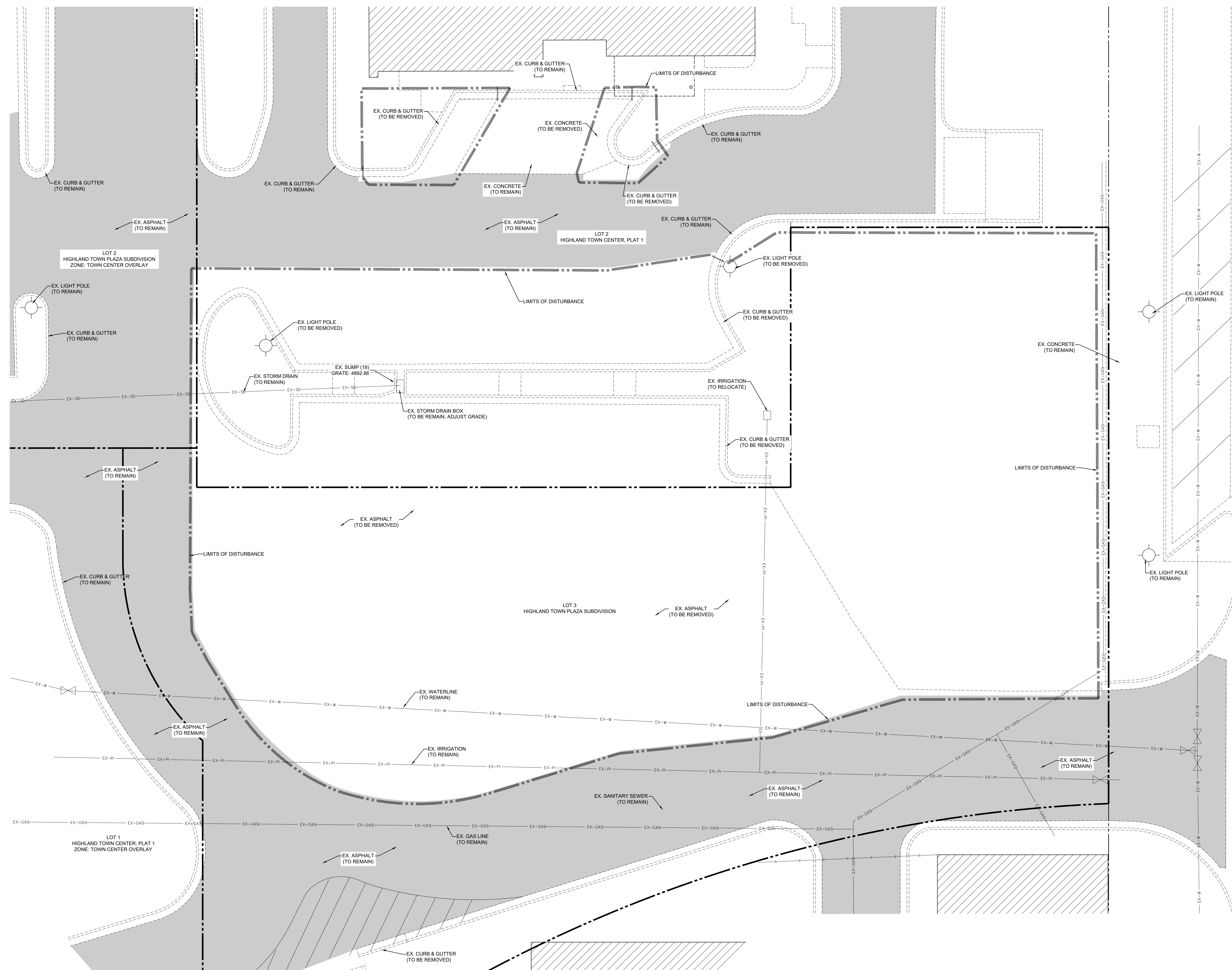
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07/02/2025

SHEET

102





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**HIGHLAND TOWN PLAZA - LOT 3**  
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LEI PROJECT #:

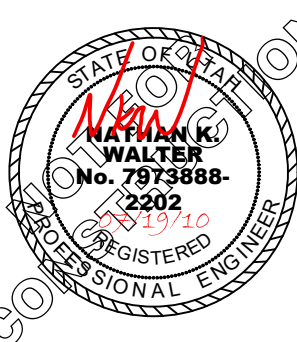
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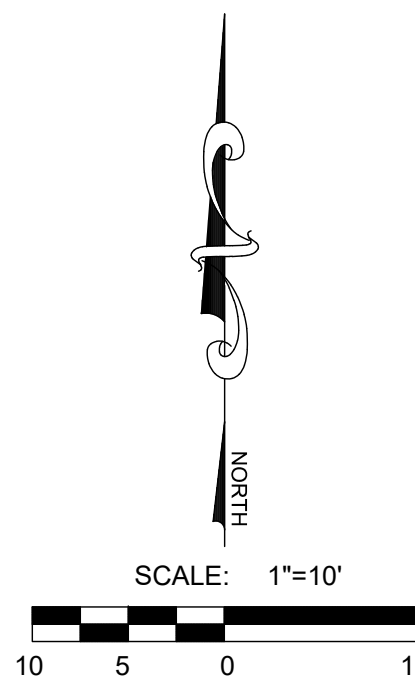


**HIGHLAND TOWN PLAZA - LOT 3**  
10969 NORTH TOWN CENTER BOULEVARD, HIGHLAND, UTAH  
**SITE PLAN**

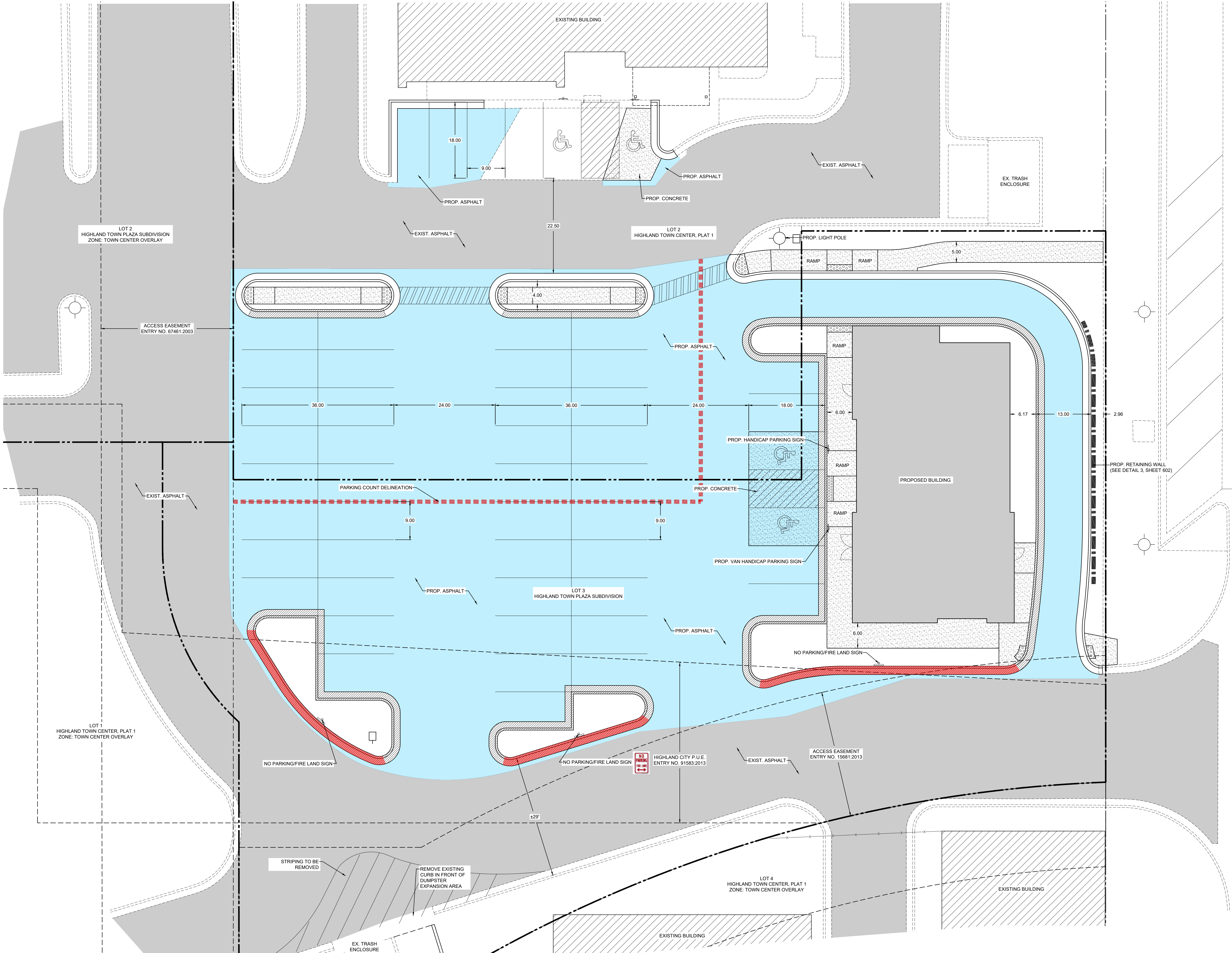
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LEI PROJECT #:  
**2024-0026**  
DRAWN BY:  
**RWH**  
DESIGNED BY:  
**BTG**  
SCALE:  
**1"=10'**  
DATE:  
**07/02/2025**

SHEET  
**104**



TOWN CENTER BOULEVARD





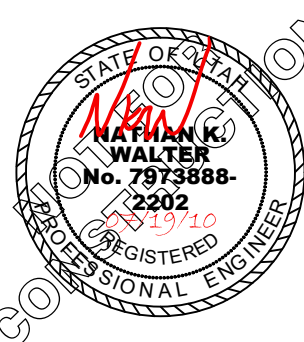






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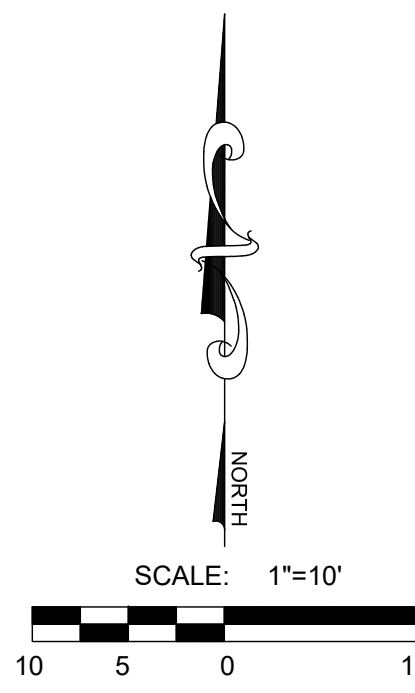


HIGHLAND TOWN PLAZA - LOT 3  
10969 NORTH TOWN CENTER BOULEVARD, HIGHLAND, UTAH  
GRADING PLAN

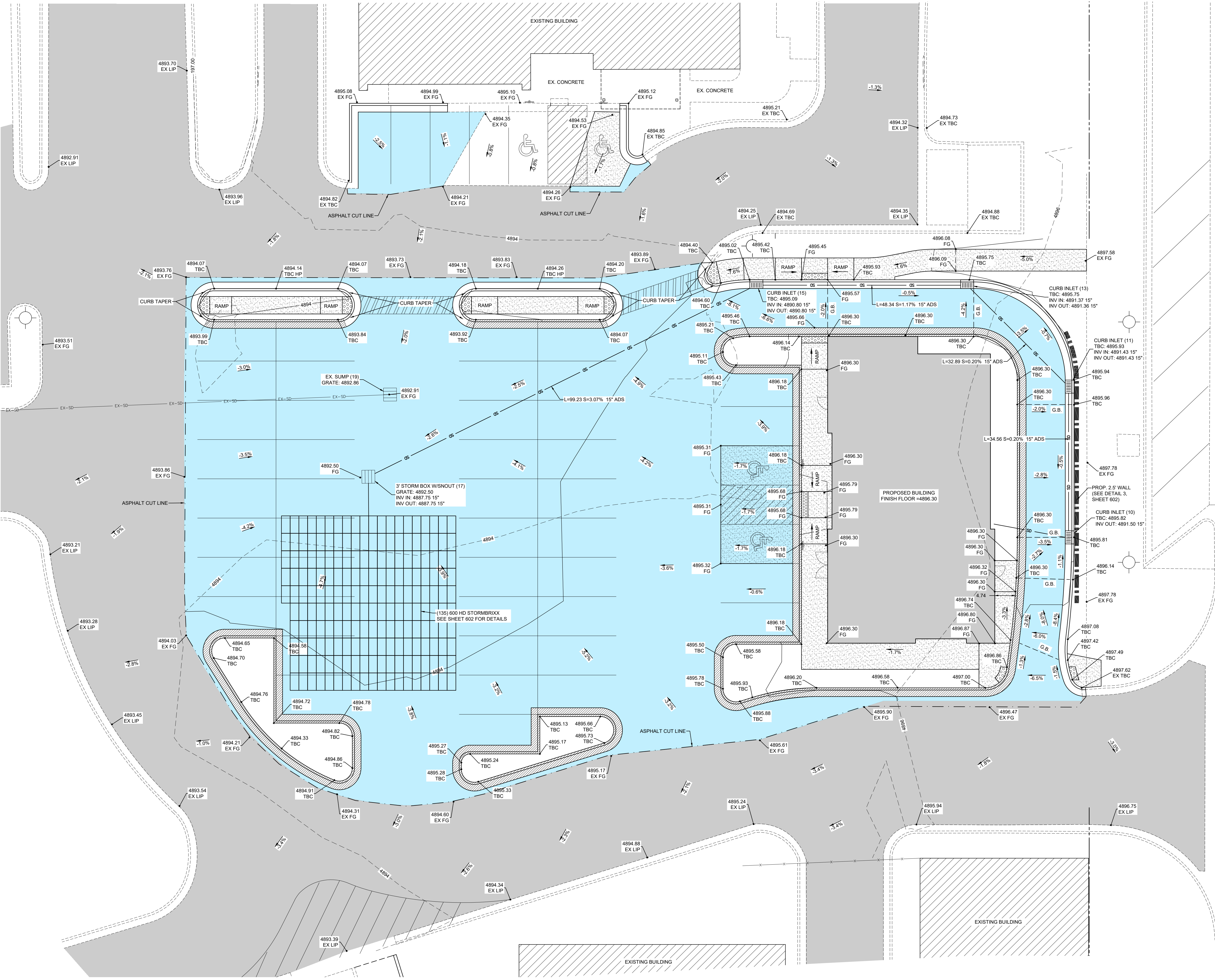
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LEI PROJECT #:  
2024-0026  
DRAWN BY:  
RWH  
DESIGNED BY:  
BTG  
SCALE:  
1"=10'  
DATE:  
07/02/2025

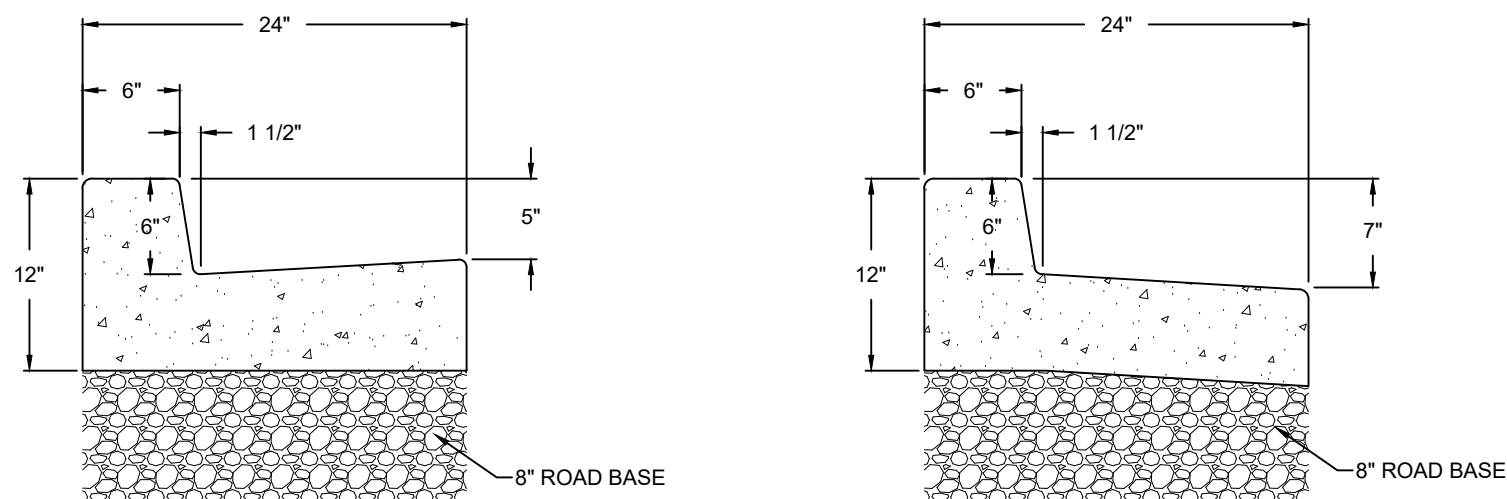
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301



HIGHLAND BOULEVARD

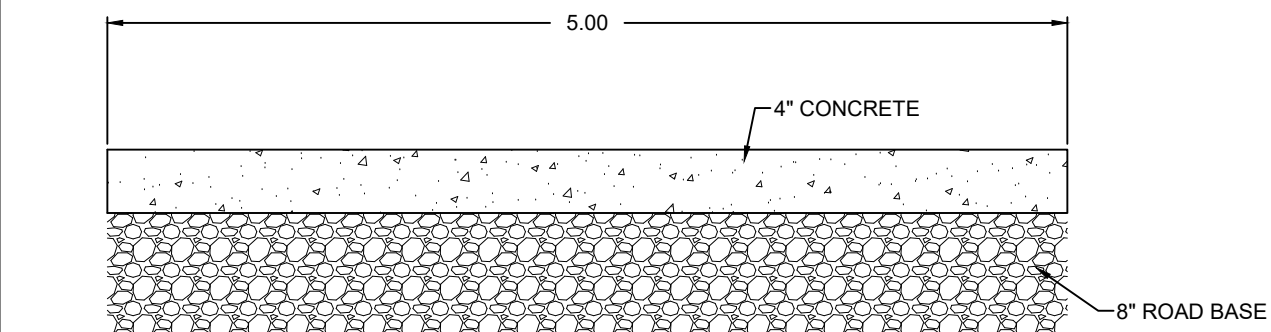




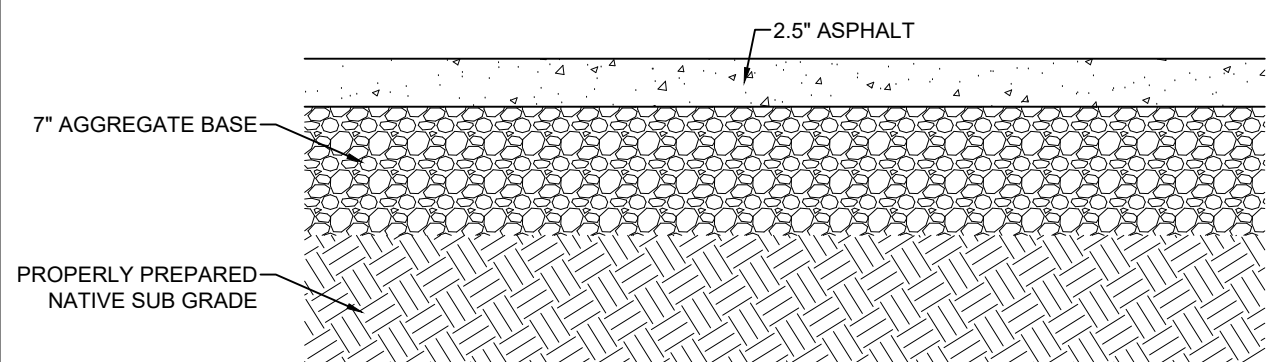


24" FLOW CURB

24" SHED CURB  
(HATCHED ON GRADING PLAN)

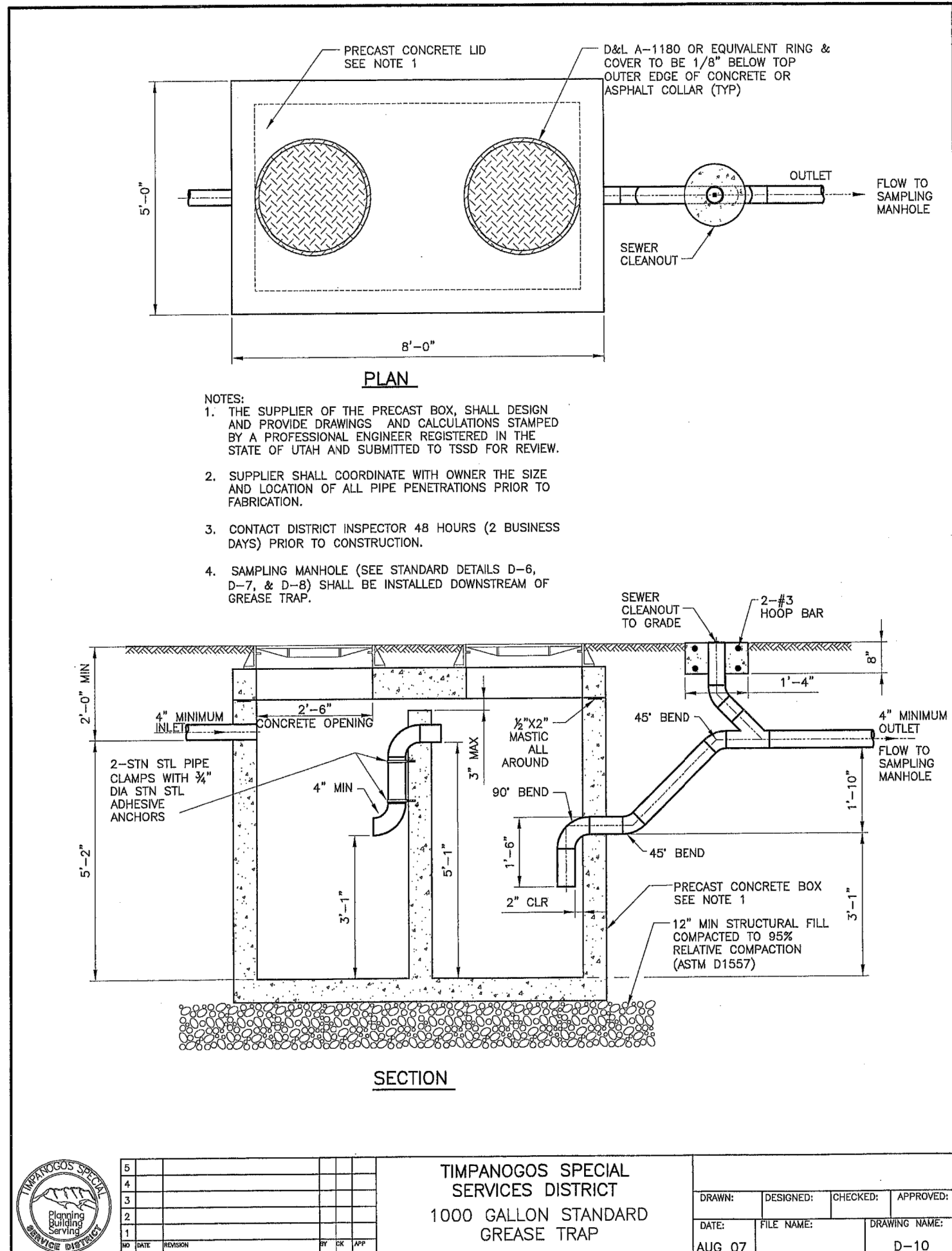


2 SIDEWALK DETAIL

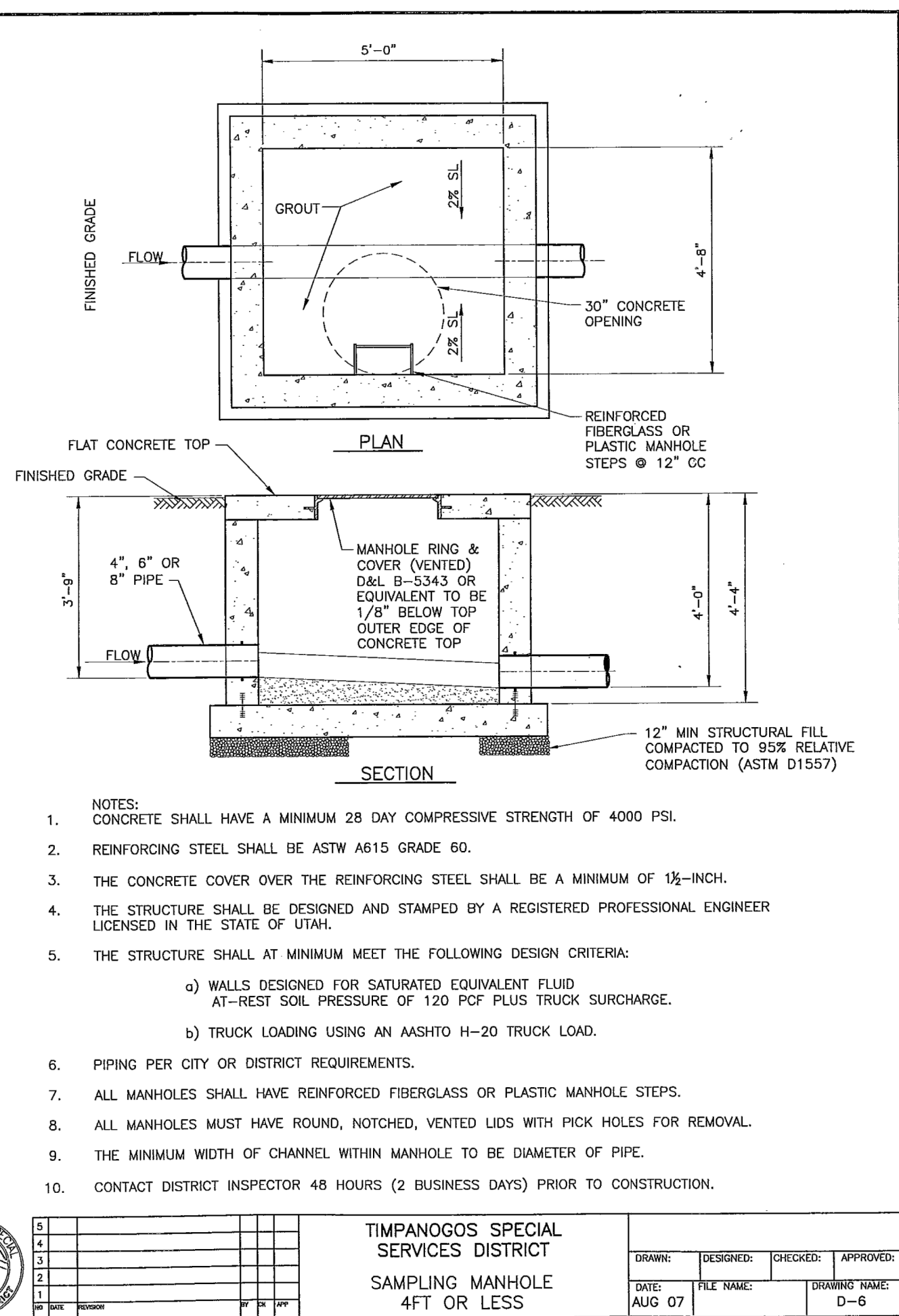


NOTE: SEE HIGHLAND TOWN PLAZA GEOTECHNICAL STUDY BY GSH GEOTECHNICAL

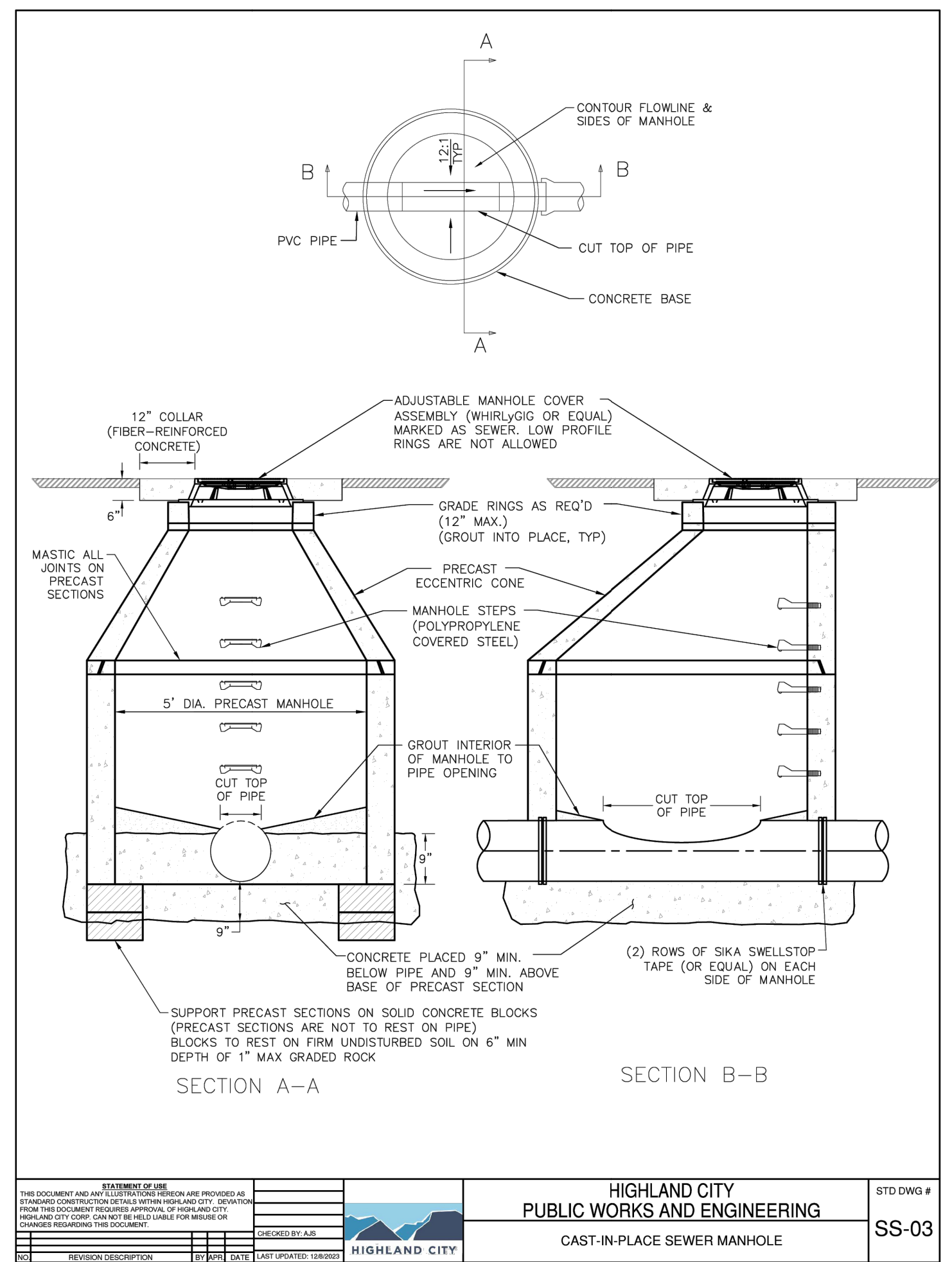
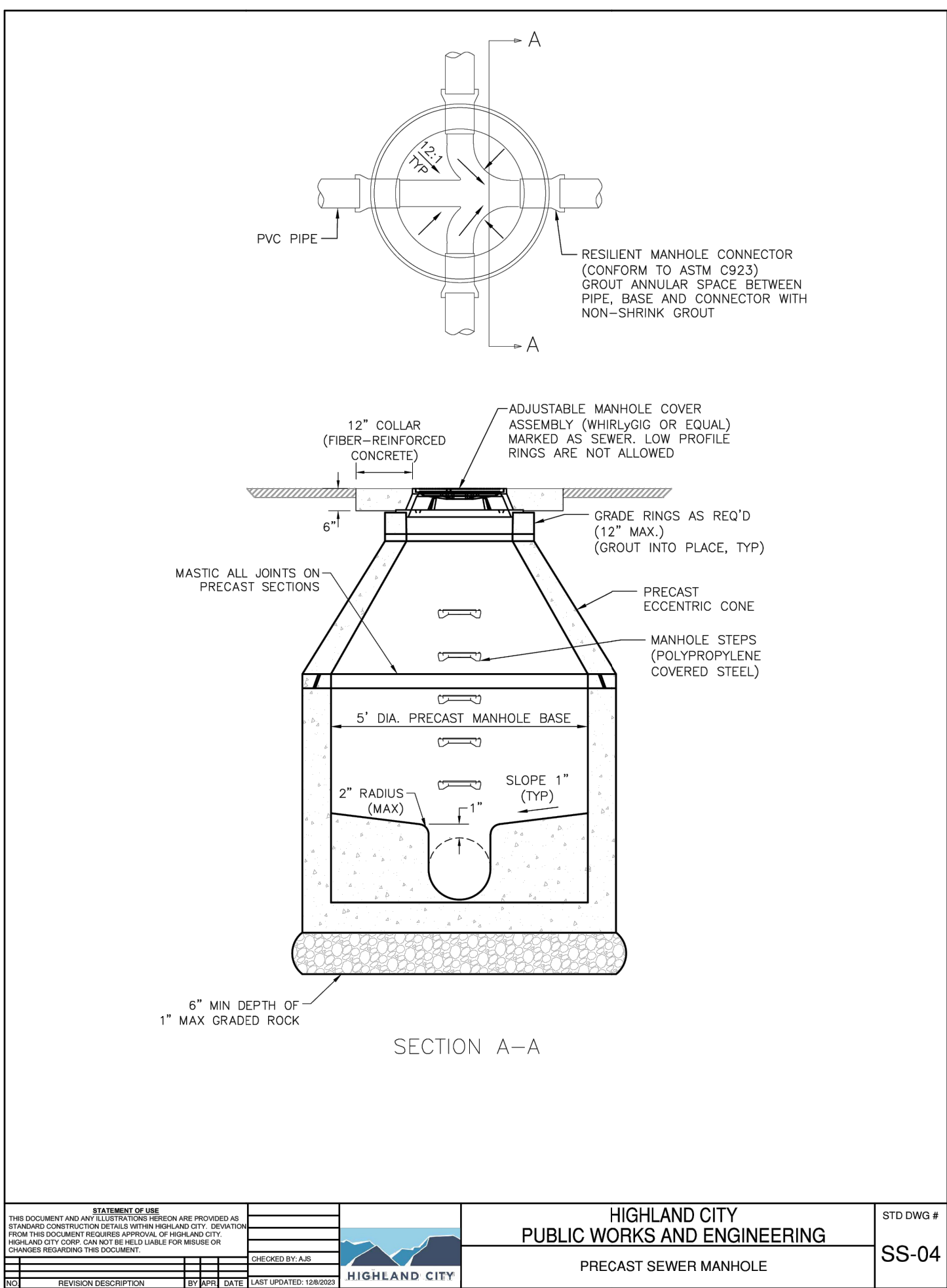
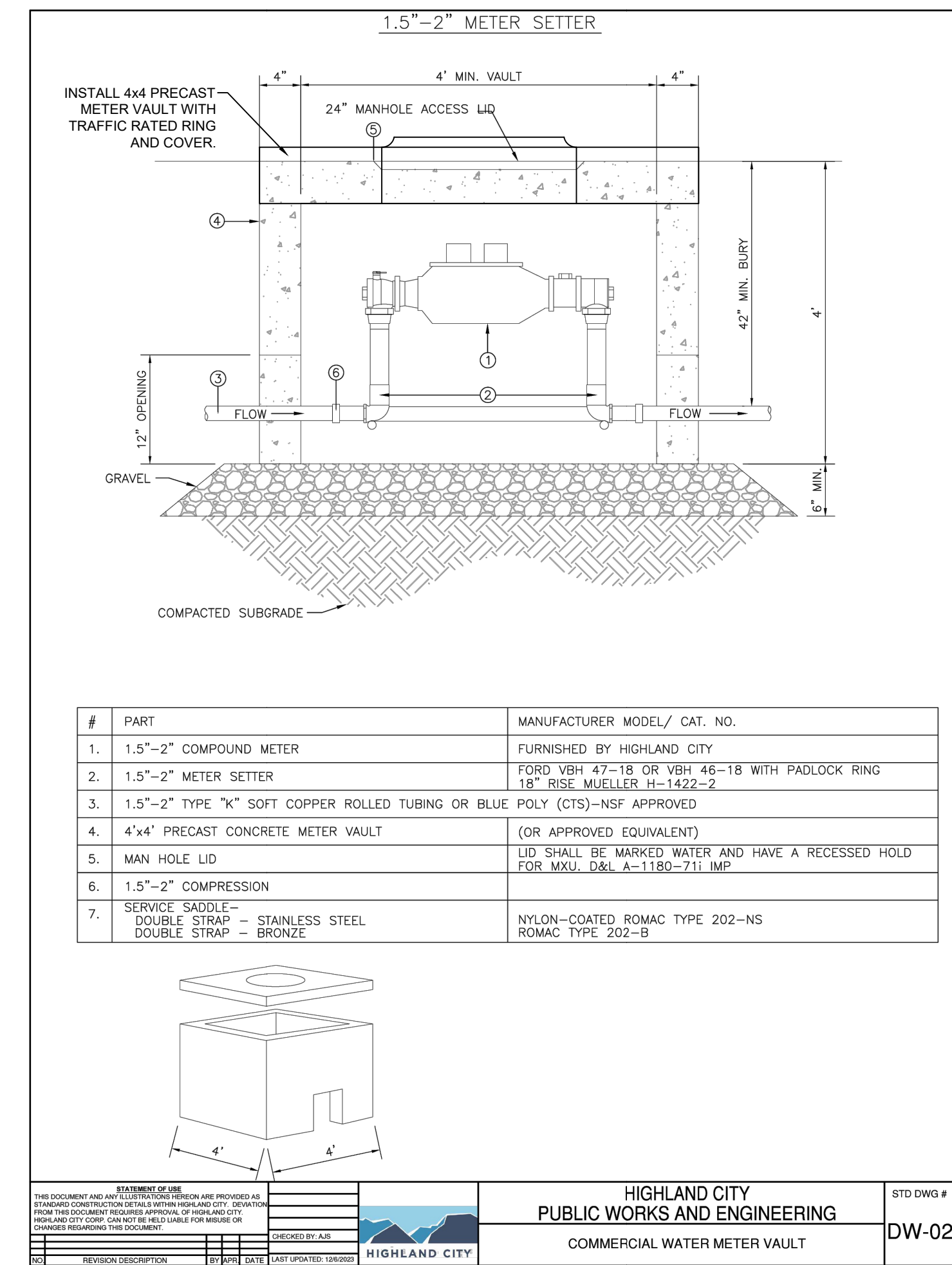
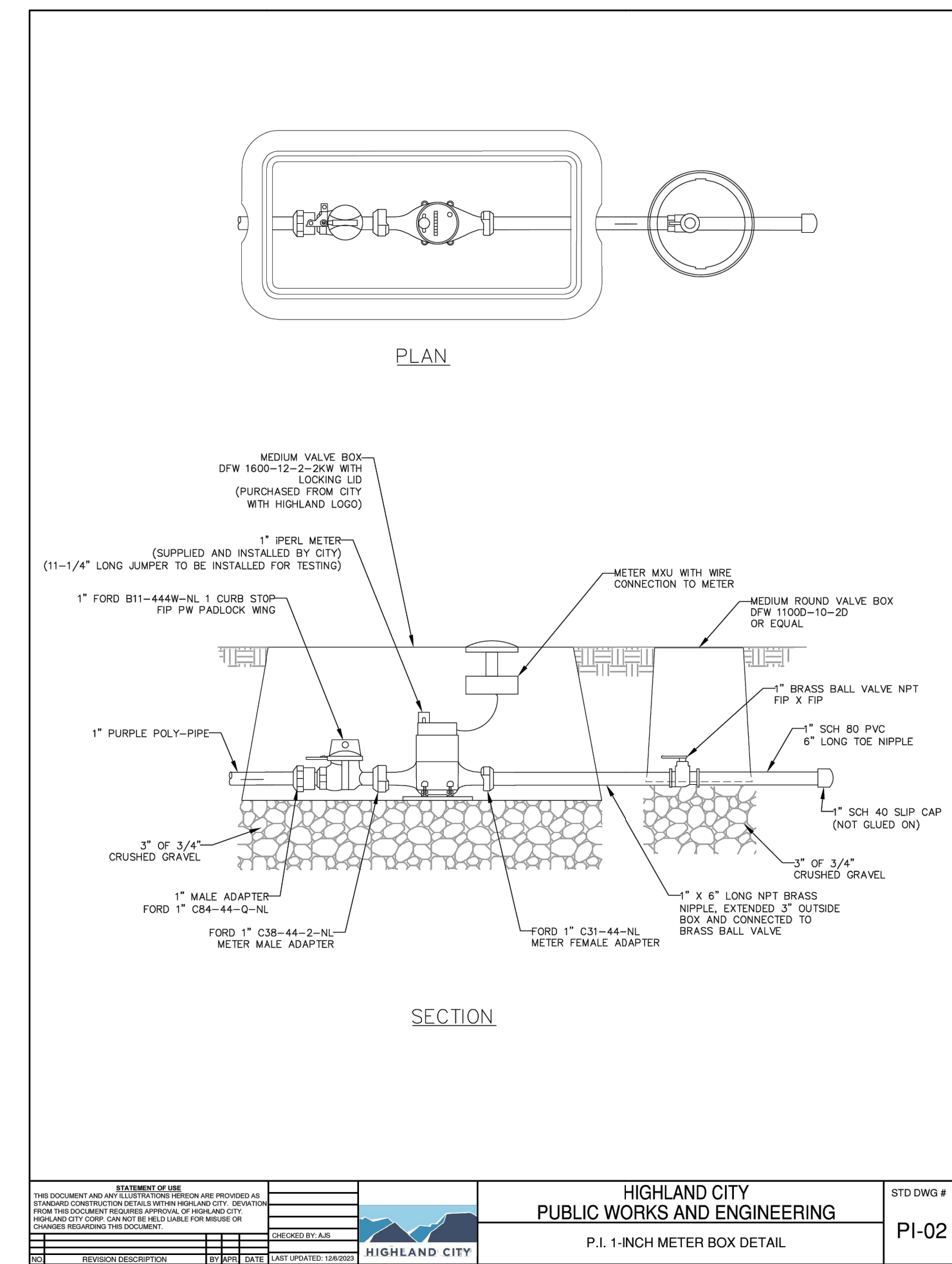
4 PARKING LOT PAVING SECTION



3 SEWER DETAILS



SAMPLING MANHOLE 4FT OR LESS



LEI

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STATE OF UTAH  
WALTER  
No. 7973888  
25172  
REGISTERED  
PROFESSIONAL ENGINEER

HIGHLAND TOWN PLAZA - LOT 3

10969 NORTH TOWN CENTER BOULEVARD, HIGHLAND, UTAH

DETAILS

REVISIONS

1 -  
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LEI PROJECT #:  
2024-0026

DRAWN BY:  
RWH

DESIGNED BY:  
BTG

SCALE:  
1"=1'

DATE:  
07/02/2025

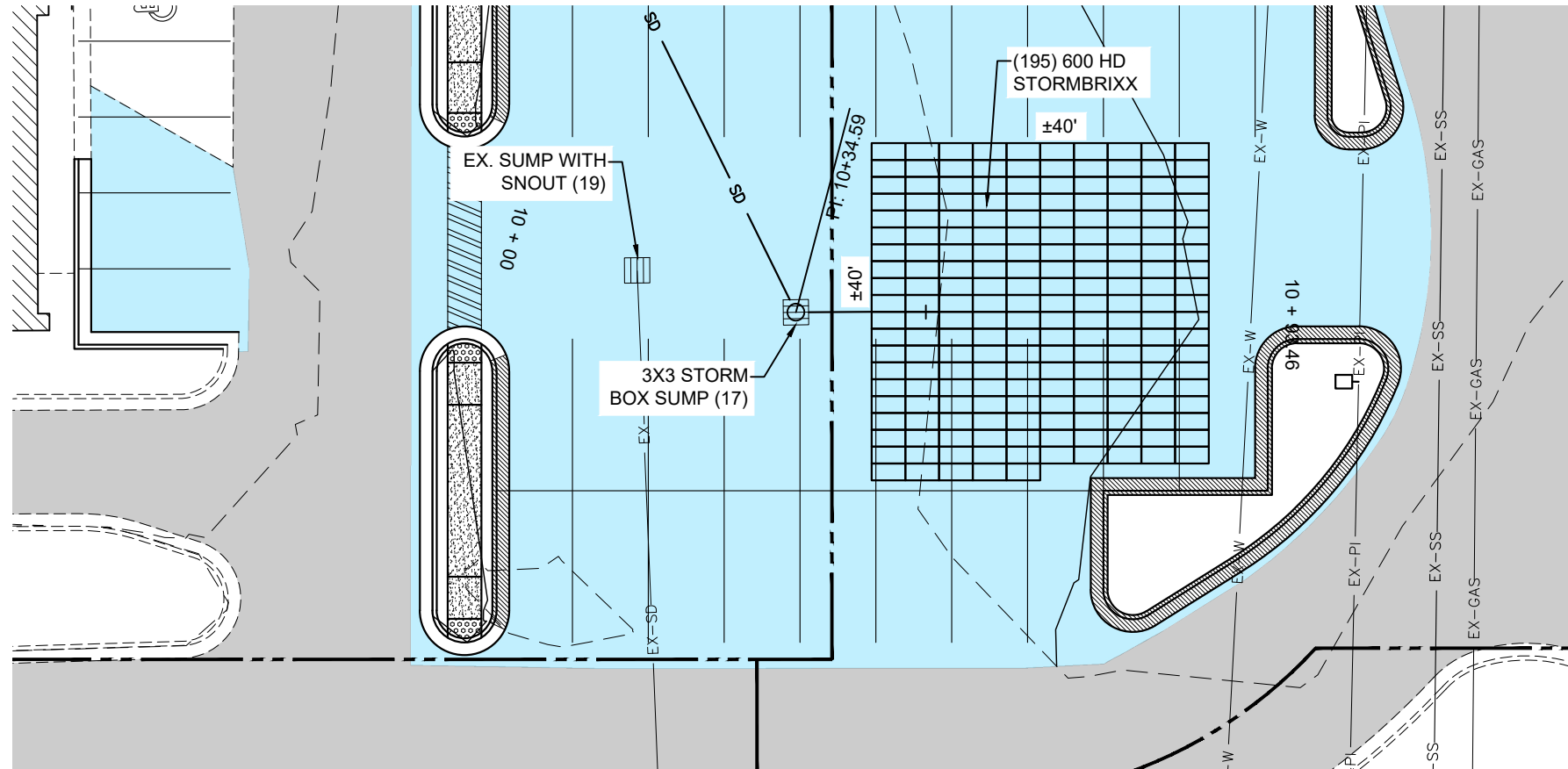
SHEET

601

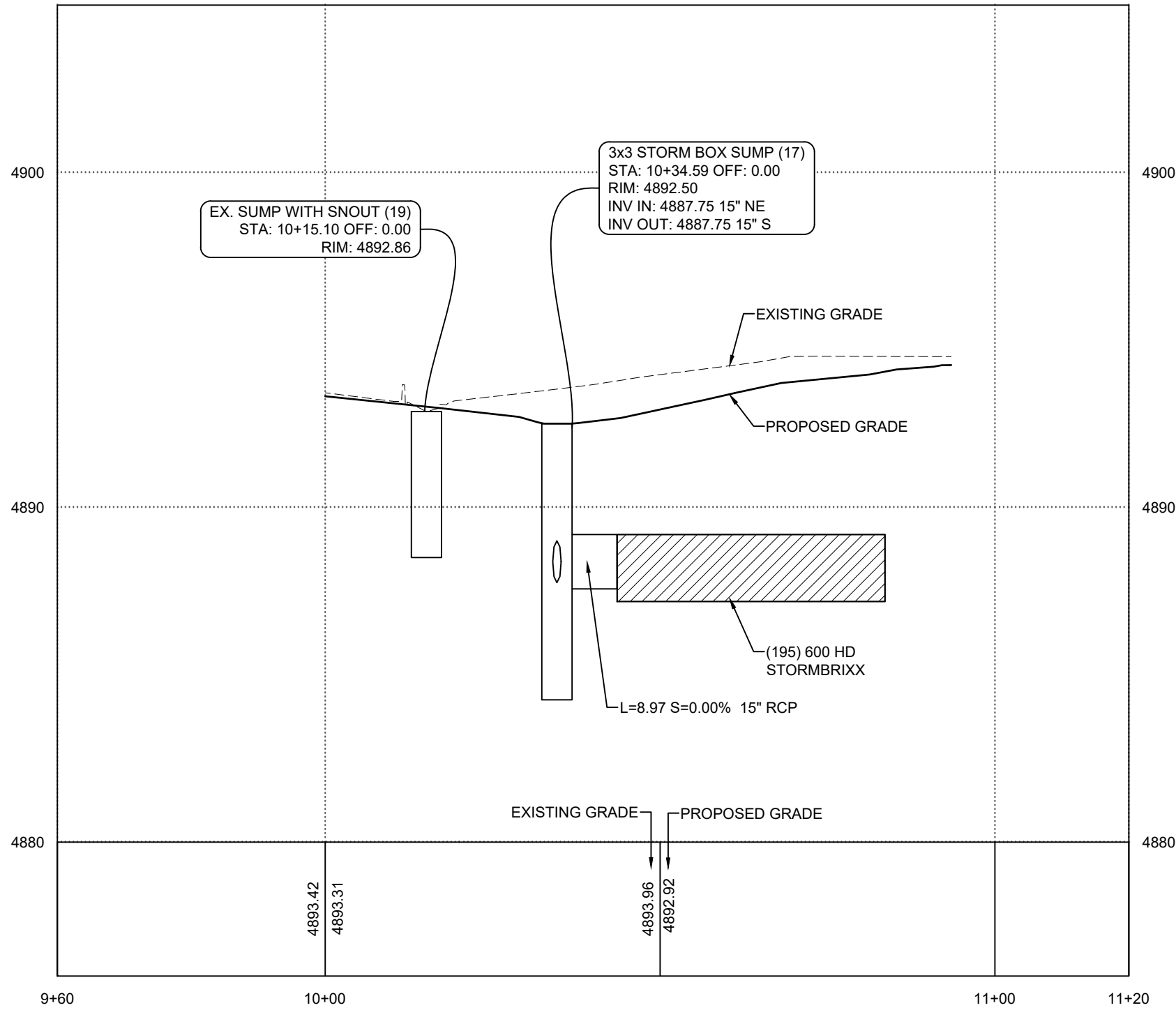




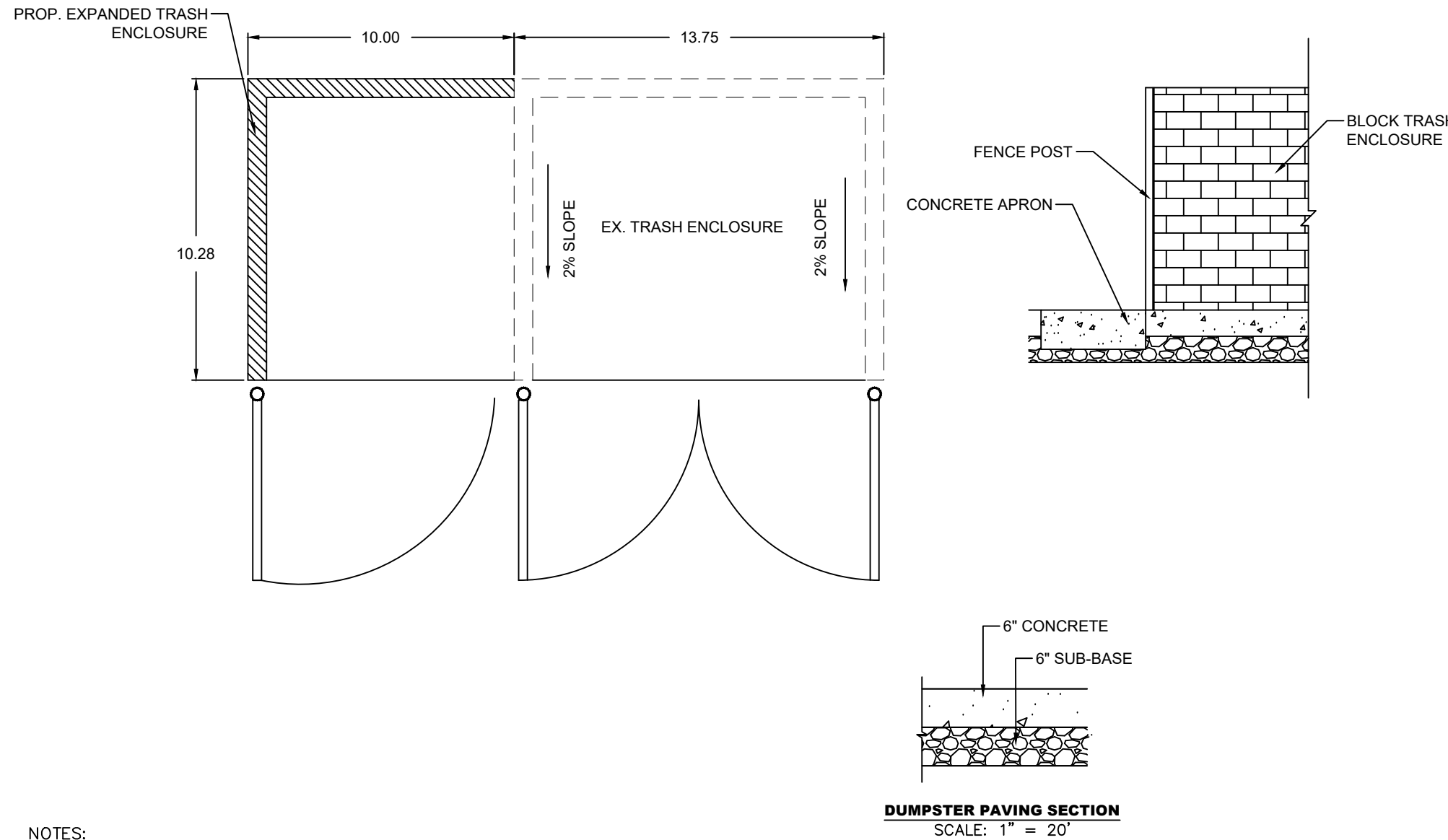
SCALE: 1"=20'



STORMBRIXX PLAN VIEW

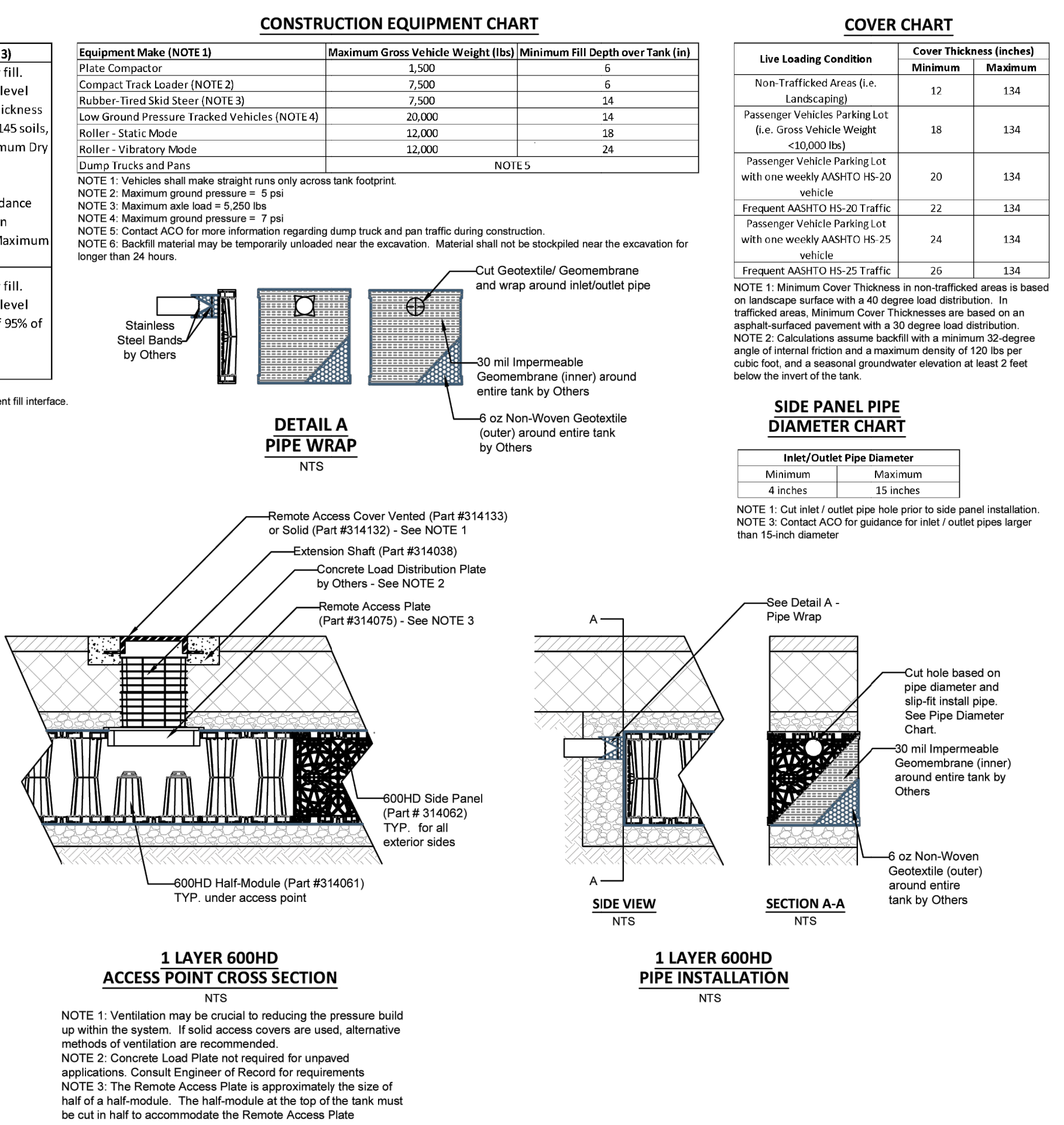


STORMBRIXX PROFILE VIEW



- NOTES:
- ENCLOSURE SHALL BE 6' TALL MIN.
  - ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE.
  - REFER TO ARCHITECTURAL PLANS FOR FOOTING DETAILS.

TRASH ENCLOSURE DETAIL



DRAWN BY  
**A Frye**

CHECKED BY  
**J Jonke**

DATE  
**12/23/2024**

REV.  
**1**

## STORMBRIXX STANDARD DETAILS

### 600HD SYSTEM - 1 LAYER - DETENTION

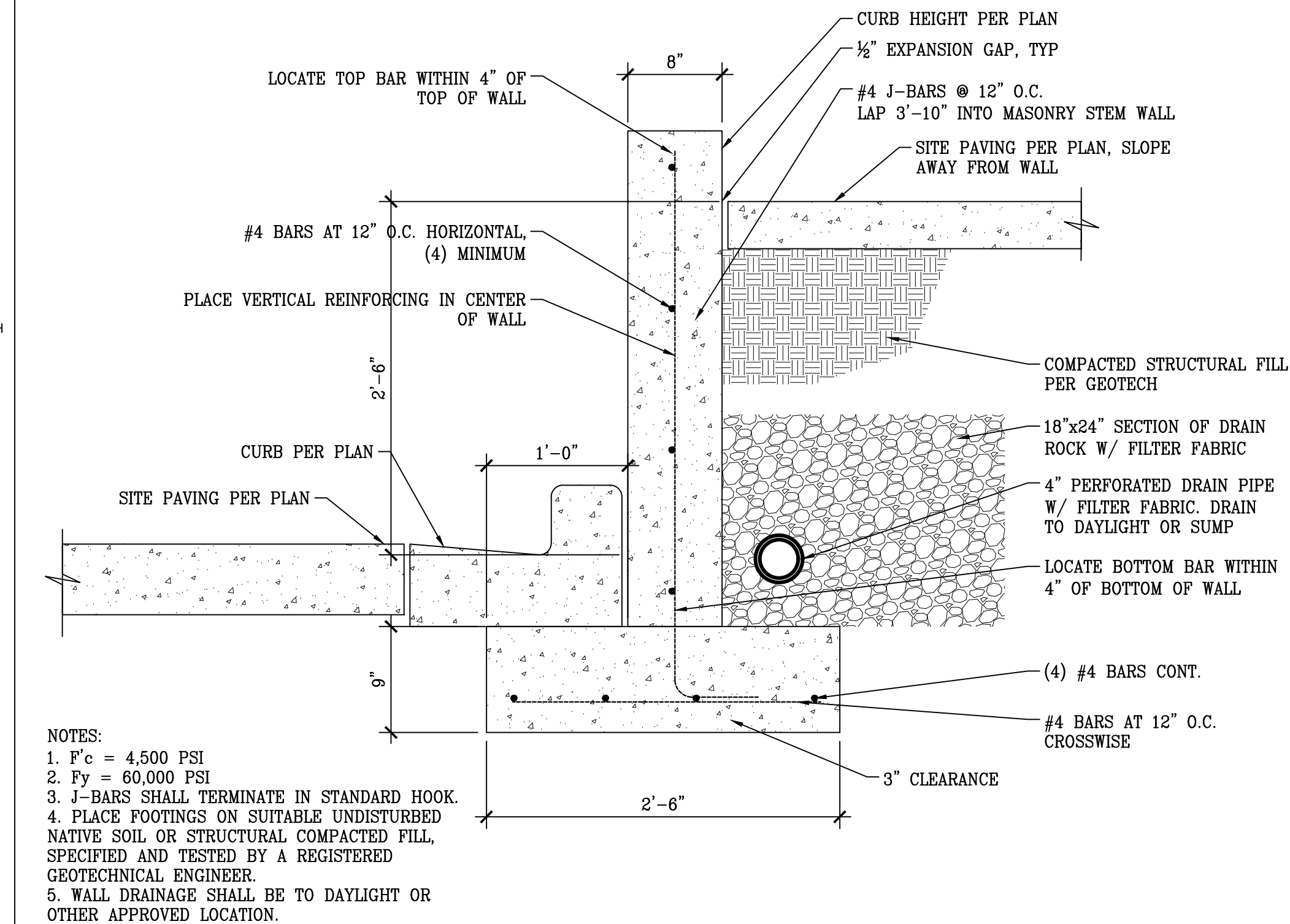
**ACO, INC.**

**WEST SALES OFFICE**  
825 W BEECHCRAFT ST.  
CASA GRANDE, AZ 85122  
Tel. (888) 490-9552  
Fax (520) 421-8899

**EAST SALES OFFICE**  
9470 PINECONE DRIVE  
MENTOR, OH 44060  
Tel. (800) 543-4764  
Fax (440) 639-7235

**SOUTHEAST SALES OFFICE**  
481 MUNN RD. SUITE #225  
FORT MILL, SC 29715  
Tel. (440) 639-7230  
Fax (803) 802-1063

[www.acoswm.com](http://www.acoswm.com)



- NOTES:
- F<sub>c</sub> = 4,500 PSI
  - F<sub>y</sub> = 60,000 PSI
  - J-BARS SHALL TERMINATE IN STANDARD HOOK.
  - PLACE FOOTINGS ON SUITABLE UNDISTURBED NATIVE SOIL OR STRUCTURAL COMPACTED FILL, SPECIFIED AND TESTED BY A REGISTERED GEOTECHNICAL ENGINEER.
  - WALL DRAINAGE SHALL BE TO DAYLIGHT OR OTHER APPROVED LOCATION.

RETAINING WALL DETAIL



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HIGHLAND TOWN PLAZA - LOT 3  
10969 NORTH TOWN CENTER BOULEVARD, HIGHLAND, UTAH

DETAILS

REVISIONS	
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LEI PROJECT #:  
**2024-0026**

DRAWN BY:  
**RWH**

DESIGNED BY:  
**BTG**

SCALE:  
**1"=6'**

DATE:  
**07/02/2025**

SHEET

602

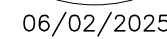




10969 NORTH TOWN CENTER BOULEVARD  
HIGHLAND, UTAH

NO.	yy/mm/day	DESCRIPTION

Starr



Designed By:	TH
Drawn By:	TH
Date:	06/2/21
Checked By:	RD
Project No:	25-144

Drawing Title  
LANDSCAPE  
PLAN

Drawing number

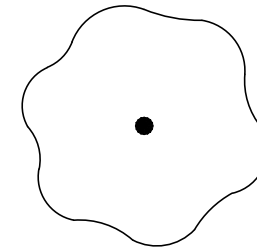
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Page 30 of 43



## SYMBOL

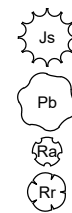
## TREES



●	CERCIS CANADENSIS 'APPALACHIAN RED' / EASTERN REDBUD	2" CAL.	B&B	4
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SYMBOL	BOTANICAL / COMMON NAME	CONT	SF PER PLANT	QTY
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## SHRUBS

ANNUALS/PERENNIALS

## ORNAMENTAL GRASSES



SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
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## GROUND COVERS

 PLANTING BED - 3" DEPTH ROCK MULCH TO MATCH EXISTING / INSTALL OVER DEWITT PRO5 FABRIC BED 2,434 SF

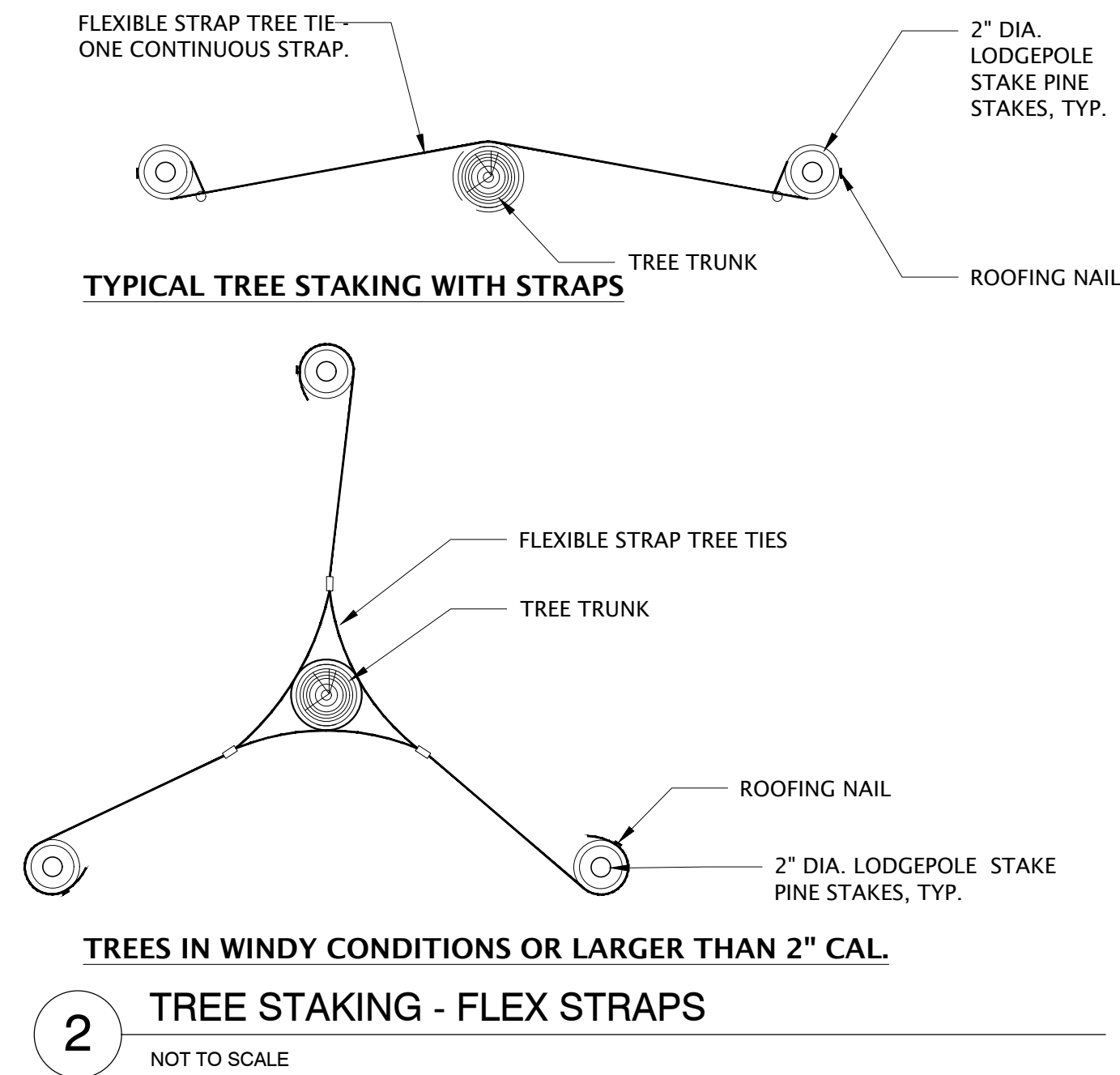
\* ALL SHOWN QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE TO CONDUCT INDEPENDENT TAKEOFFS TO ESTABLISH QUANTITIES. PLAN SYMBOL QUANTITIES OVERRIDE QUANTITIES SHOWN IN SCHEDULE.

SITE PLAN SUBMITTAL

Scale: 1" = 20'-0"



1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND HIGHLAND CITY STANDARDS, SPECIFICATIONS, AND DETAILS.
2. ALL PLANT MATERIAL SHALL GROW A GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THIS WORK AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 UNLESS OTHERWISE NOTED. PROVIDE TREES OF NORMAL GROWTH AND UNIFORM HEIGHTS, ACCORDING TO SPECIES, WITH STRAIGHT TRUNKS AND WELL DEVELOPED LEADERS, LATERALS, AND ROOTS.
3. EXISTING UTILITIES, EASEMENTS, AND STRUCTURES SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, TYPE, AND STRUCTURES TO BE ENCOUNTERED ON THE PROJECT PRIOR TO ANY EXCAVATION AND CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES AND STRUCTURES.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS, LICENSES, AND APPROVALS REQUIRED TO LEGALLY AND RESPONSIBLY COMPLETE THE WORK.
5. DAMAGE TO ANY EXISTING IMPROVEMENTS OR TO ANY PORTION OF THE PROJECT'S SURROUNDING AREA DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL CALL BLUE STAKES AT 1-800-662-4111 FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
7. CONTRACTOR SHALL ROUGH GRADE TO WITHIN +/- A TENTH OF A FOOT FROM FINISH GRADE. ALL SOD AREAS SHALL BE GRADED 4" BELOW PROPOSED FINISH GRADE. ALL SHRUB AREAS SHALL BE GRADED 12" BELOW PROPOSED FINISH GRADE.
8. ALL COMPACTED AREAS DEVELOPED THROUGH CONSTRUCTION WITHIN PROPOSED LANDSCAPE AREAS SHALL BE SCARIFIED AND LOOSENOED TO A DEPTH OF 12" PRIOR TO LANDSCAPE AND IRRIGATION WORK BEGINNING.
9. CONTRACTOR SHALL INSTALL A MIN. OF 12 INCHES OF PLANTING SOIL FOR ALL SHRUB AND PERENNIAL BEDS. SEE SPECIFICATIONS.
10. CONTRACTOR SHALL INSTALL A MIN. OF 3 INCHES OF ROCK MULCH ON WEED BARRIER FABRIC IN ALL PLANTING BEDS AS SHOWN ON PLANS. APPLY PRE-EMERGENT TO ALL PLANTING BEDS BEFORE INSTALLING WEED BARRIER FABRIC.
11. NO PLANT SPECIES SUBSTITUTIONS WILL BE MADE WITHOUT APPROVAL OF OWNER.
12. ALL PLANT LAYOUT SHALL BE VERIFIED AND APPROVED IN FIELD BY OWNER PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL MAY RESULT IN RE-WORK BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. ALL AREAS WITHIN AND AFFECTED BY THIS PROJECT SHALL HAVE POSITIVE DRAINAGE. POSITIVE DRAINAGE SHALL BE PROVIDED TO DIRECT STORMWATER AWAY FROM ALL STRUCTURES.
14. ALL CLARIFICATIONS OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BEGINNING OF WORK.
15. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING FEATURES AND FACILITIES SCHEDULED TO REMAIN AS PART OF THE FINISHED CONSTRUCTION. REPAIR, REPLACEMENT, AND/OR REMOVAL AS DETERMINED BY OWNER SHALL BE AT THE CONTRACTOR'S EXPENSE.
16. CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, AN ESTABLISHMENT PERIOD, AND AN OPTIONAL ONE YEAR MAINTENANCE PERIOD. SEE SPECIFICATIONS.
17. ALL RIGHT OF WAY LANDSCAPING SHALL BE MAINTAINED BY ADJACENT PROPERTY OWNER.

[illegible]





10969 NORTH TOWN CENTER BOULEVARD  
HIGHLAND, UTAH

NO.	yy/mm/dd	DESCRIPTION

Designed By:	TH
Drawn By:	TH
Date:	06/2/20
Checked By:	RD
Project No:	25-144

Drawing number

# LI101


[illegible]


HUNTER IC2-101-40  
DRIP CONTROL ZONE KIT. 1IN. ICV GLOBE VALVE WITH 1IN  
HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI  
FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS  
STEEL SCREEN.

AREA TO RECEIVE DIAPHRAGM  
EXISTING DIAPHRAGM  
EXISTING DIAPHRAGM IN THIS AREA TO BE TIED IN TO NEW  
DIAPHRAGM LATERAL FROM VALVE 2. CONTRACTOR TO CUT  
AND CAP LINE CURRENTLY BEING FED FROM WEST AT  
EDGE OF THIS HATCHED AREA. CONTRACTOR TO ENSURE  
BOTH AREA TIED IN TO NEW VALVE AND EXISTING  
DIAPHRAGM ARE OPERATING PROPERLY.

AREA TO RECEIVE DRIPLINE  
NETAFIM TLCV-04-12  
TECHLINE PRESSURE COMPENSATING LANDSCAPE  
DRIPLINE WITH CHECK VALVE. 0.4 GPH EMITTERS AT 12"  
O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH  
EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
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 HUNTER HQ-44RC  
QUICK COUPLER VALVE, YELLOW RUBBER COVER, RED  
BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET,  
2-PIECE BODY.

 ISOLATION VALVE - APOLLO 77C -LINE SIZED

 STOP & WASTE VALVE- MUELLER MARK II ORISEAL  
LINE SIZED

**D** MANUAL DRAIN - FORD B11-333

**C** HUNTER P2C-400 WITH (01) PCM-300  
LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER,  
7-STATION EXPANDED MODULE CONTROLLER, 120 VAC,  
OUTDOOR/INDOOR MODEL

 HUNTER RFC  
RAIN AND FREEZE SENSOR, WITH CONDUIT INSTALLATION  
MOUNT AS NOTED. NORMALLY CLOSED SWITCH.

**F** AMIAD 2-A-MSIG-STEEL SCREEN  
AMIAD 2" MINI SIGMA, ANGLED SELF-CLEANING FILTER,  
BSPT OR NPT INLET-OUTLET, STAINLESS STEEL  
WEAVEWIRE SCREEN ELEMENT, ADI-P BLUE TOOTH RANGE  
CONTROLLER, MAXIMUM WORKING PRESSURE 116PSI.  
INSTALL IN VIT STRONGBOX ENCLOSURE, PROVIDE 3"  
FLUSH LINE TO STORM DRAIN BOX.

IRRIGATION LATERAL LINE: PVC SCHEDULE 40

— — — — IRRIGATION MAINLINE: PVC SCHEDULE 40

EXISTING IRRIGATION MAINLINE

PIPE SLEEVE: PVC SCHEDULE 40

Valve Callout

#

#"

#

Valve Number

Valve Flow

Valve Size

LAYOUT IS DIAGRAMMATIC  
LOCATE ALL COMPONENTS,  
LINES, ETC IN LANDSCAPE  
AREAS.

Scale: 1" = 20'-0"



SITE PLAN SUBMITTAL



IRRIGATION NOTES

1. THIS DRAWING IS DIAGRAMMATIC AND IS INTENDED TO CONVEY THE GENERAL LAYOUT OF IRRIGATION SYSTEM COMPONENTS. ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. LOCATE MAINLINE AND VALVES NEAR WALKS WHERE FEASIBLE.

2. THE CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE AT THE SITE PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES BETWEEN THE WATER PRESSURE SHOWN ON THE DRAWINGS AND ACTUAL PRESSURE READINGS AT THE POINT OF CONNECTION TO THE LANDSCAPE ARCHITECT. WATER PRESSURE AT THE POINT OF CONNECTION IS EXPECTED TO BE A MINIMUM OF 75 PSI. IN THE EVENT THAT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STRUCTURES, SITE IMPROVEMENTS, WALKS, UTILITIES, AND GRADE CHANGES. COORDINATE LAYOUT OF THE IRRIGATION SYSTEM WITH OTHER TRADES SO THAT CONSTRUCTION CAN CONTINUE IN A NORMAL SEQUENCE OF EVENTS. ADJUSTMENTS MAY BE NECESSARY TO MAINTAIN FULL COVERAGE DEPENDING ON ACTUAL SITE CONDITIONS. ANY SIGNIFICANT CHANGES WILL REQUIRE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO PLACEMENT. ALL MODIFICATIONS SHALL BE RECORDED ON 'AS-BUILT' DRAWINGS.

4. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM WHEN IT IS APPARENT IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRADING DIFFERENCES MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

5. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS AND EXISTING IRRIGATION SYSTEM (IF ANY). IN THE EVENT THAT THE CONTRACTOR DAMAGES, DISPLACES OR OTHERWISE CAUSES OTHER TRADES WORK TO BE REINSTALLED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION AT HIS OWN EXPENSE.

6. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM PERFORMANCE. INSTALL HEADS WITH THE APPROPRIATE ARC AND RADIUS FOR THE AREA TO BE COVERED. ADJUST NOZZLES TO ELIMINATE OVERSPRAY ONTO WALKS, BUILDINGS, ETC.

7. IRRIGATION CONTROLLER(S) SHALL BE GROUNDED PER ESTABLISHED ASIC GUIDELINES.

8. IRRIGATION CONTROL WIRES SHALL BE COLOR CODED WIRE FOR DIRECT BURIAL. COMMON, HOT, & SPARE WIRES SHALL BE 14 AWG (WHITE, RED & YELLOW RESPECTIVELY). FOR CONTROL WIRE RUNS EXCEEDING 3000 FEET OR COMMON WIRE RUNS EXCEEDING 1500 FEET, USE 12 AWG WIRE. CONTRACTOR SHALL RUN 1 DEDICATED SPARE WIRE HOMERUN FROM CONTROLLER TO TERMINUS OF EACH WIRE LEG. WHERE REQUIRED, COMMUNICATION WIRE TO FLOW SENSOR SHALL BE PAIGE ELECTRIC PE-39-3 CABLE. ALL WIRE SPLICES TO BE LOCATED IN VALVE BOX. ALL WIRE CONNECTIONS SHALL BE 3M DBRY.

9. ALL MAINLINES, LATERAL LINES, AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES.

10. ALL MAINLINE AND LATERAL LINE PIPE SHALL BE SCHEDULE 40 PVC THROUGH 3" PIPE. 4" TO 6" PIPE SHALL BE CLASS 200 PVC. ALL LATERAL LINE FITTINGS SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED. ALL MAINLINE FITTINGS UNDER 3" SHALL BE SCHEDULE 80 PVC. MAINLINE FITTINGS 3" AND LARGER SHALL BE HARCO DUCTILE IRON, RESTRAIN PER MANUFACTURER'S RECOMMENDATIONS.

11. CONTRACTOR SHALL USE WELD-ON P-70 PRIMER AND 711 LOW VOC CEMENT FOR ALL SOLVENT WELDED JOINTS.

12. ALL LINES SHALL SLOPE TO DRAIN. ADD MANUAL DRAINS AT ALL MAINLINE LOW POINTS AS NECESSARY FOR COMPLETE DRAINAGE OF THE ENTIRE SYSTEM. INDICATE ALL DRAIN LOCATIONS ON 'AS-BUILT' DRAWINGS.

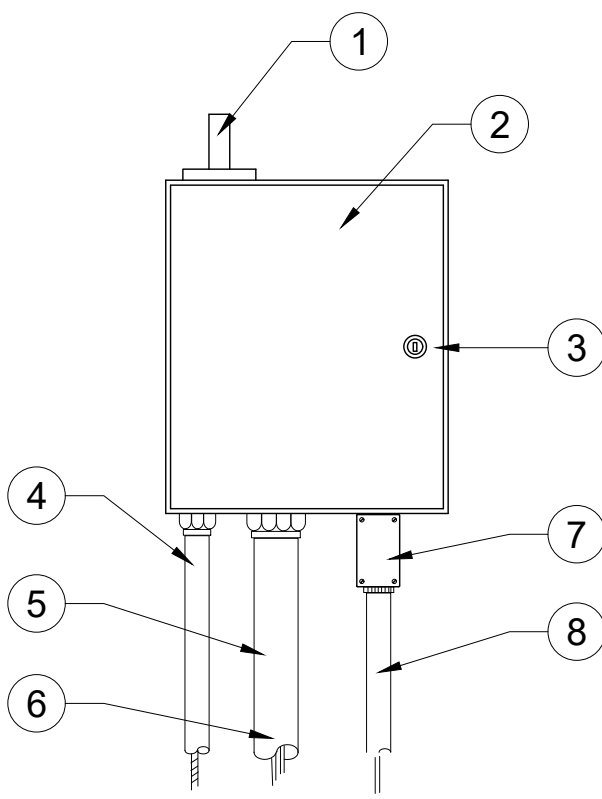
13. ALL VALVE BOXES AND LIDS IN ROCK MULCH AREAS ARE TO BE TAN IN COLOR. VALVE BOXES AND LIDS IN BARK MULCH AND LAWN AREAS ARE TO BE STANDARD GREEN. ALIGN VALVE BOXES PARALLEL WITH EDGE OF PAVEMENT/PLANTING BEDS. WHERE FEASIBLE, LOCATE THE EDGE OF VALVE BOX 12"-18" FROM EDGE OF PAVEMENT.

14. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE. HEADS SHALL BE LOCATED 1" AWAY FROM AND 1/4" BELOW ADJACENT CURBS, WALLS, WALKS, AND MOWSTRIPS.

15. DRIP DISTRIBUTION TUBING TO BE BURIED BELOW MULCH AND STAKED AT MIN. 6" O.C. DRIP FITTINGS SHALL BE BARBED INSERT TYPE FITTINGS. COMPRESSION TYPE FITTINGS WILL NOT BE ACCEPTED. EMITTERS SHALL BE LOCATED ON UPHILL SIDE OF PLANTS. INSTALL DRIP FLUSH VALVE AT LOW POINT OF EACH DRIP ZONE AND AT THE END DRIP LINES.

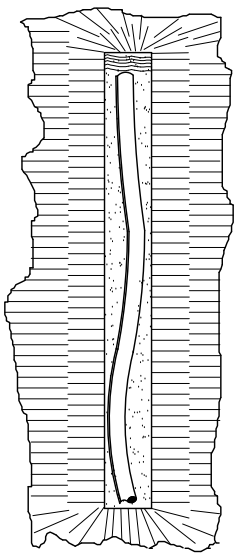
16. GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT, AND WORKMANSHIP. GUARANTEE SHALL COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT, OR WORKMANSHIP TO THE SATISFACTION OF THE OWNER. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.

17. SEE DETAILS FOR ADDITIONAL INFORMATION. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

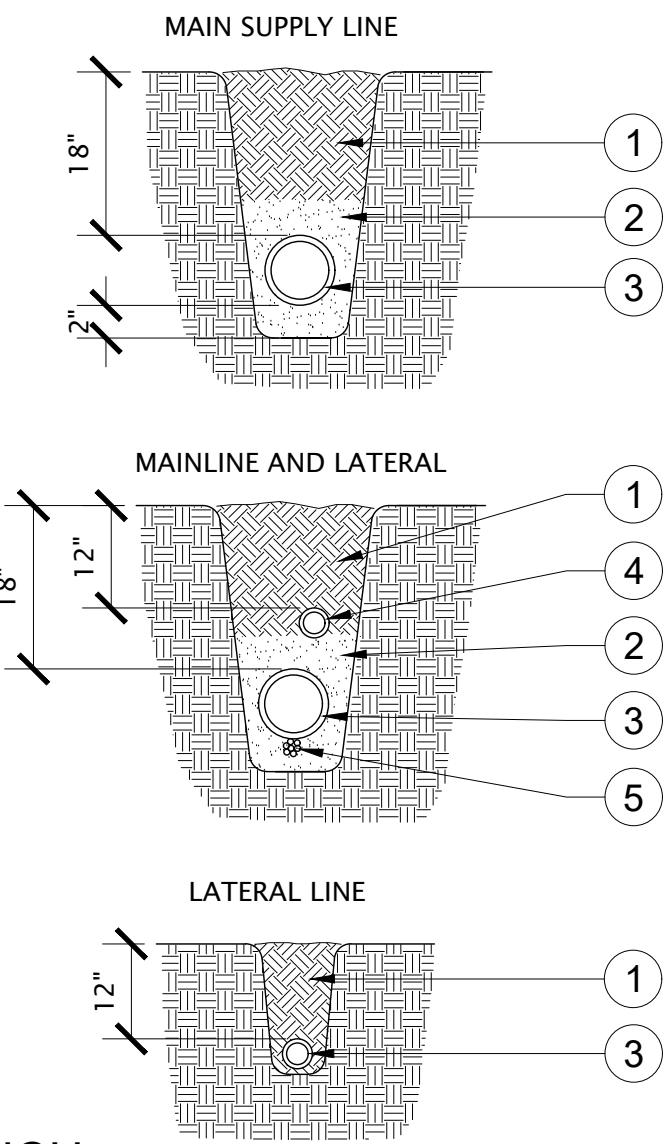


- 1 ANTENNA
- 2 IRRIGATION CONTROLLER
- 3 CENTER OF CONTROLLER TO BE +/- 5'-3" FROM FINISH GRADE
- 4 #6 COPPER GROUND WIRE IN GALVANIZED IMC CONDUIT. CONNECT TO EXTERIOR MOUNTED EARTH GROUND OR BUILDING GROUND.
- 5 2 1/2" GALVANIZED IMC CONDUIT AND FITTINGS
- 6 LOW VOLTAGE CONTROL WIRING FROM AUTOMATIC CONTROLLER TO ELECTRIC CONTROL VALVES.
- 7 POWER JUNCTION BOX
- 8 1/2" GALVANIZED IMC ELECTRICAL CONDUIT AND FITTING TO POWER SUPPLY

PLAN VIEW



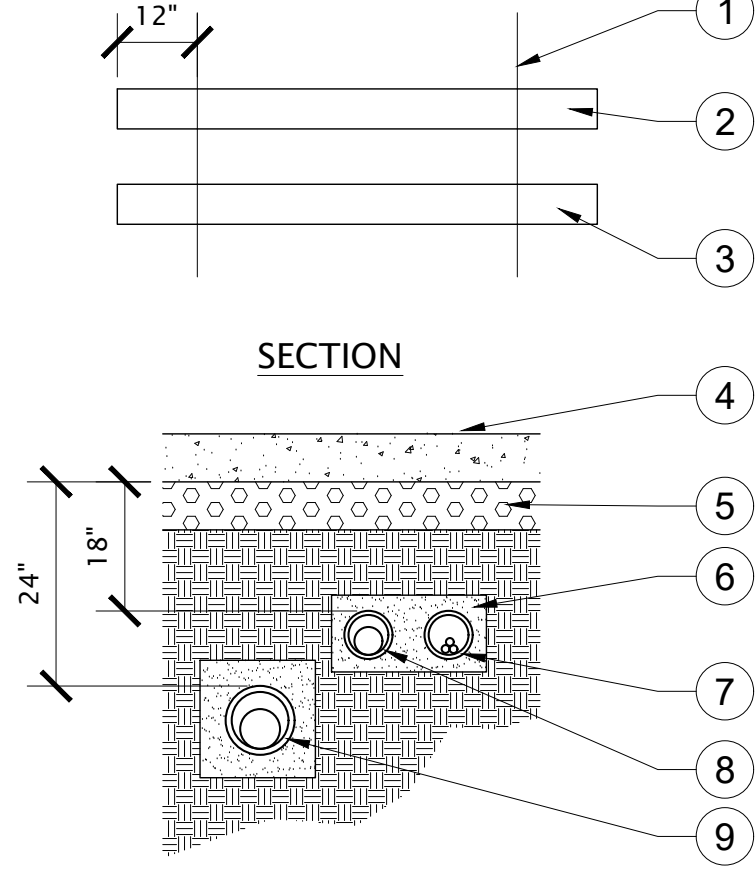
SECTIONS



- 1 DEBRIS FREE FILL
- 2 DEBRIS FREE SAND. 2" ABOVE AND BELOW MAINLINE.
- 3 MAINLINE
- 4 LATERAL LINE
- 5 TUBING OR WIRING TO BE TAPED TO MAINLINE EVERY 10'-0"

NOTES:  
1. TAPE AND BUNDLE TUBING OR WIRING AT 10' INTERVALS  
2. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES  
3. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN  
4. ALL TRENCH WIDTHS 8" MINIMUM

PLAN VIEW

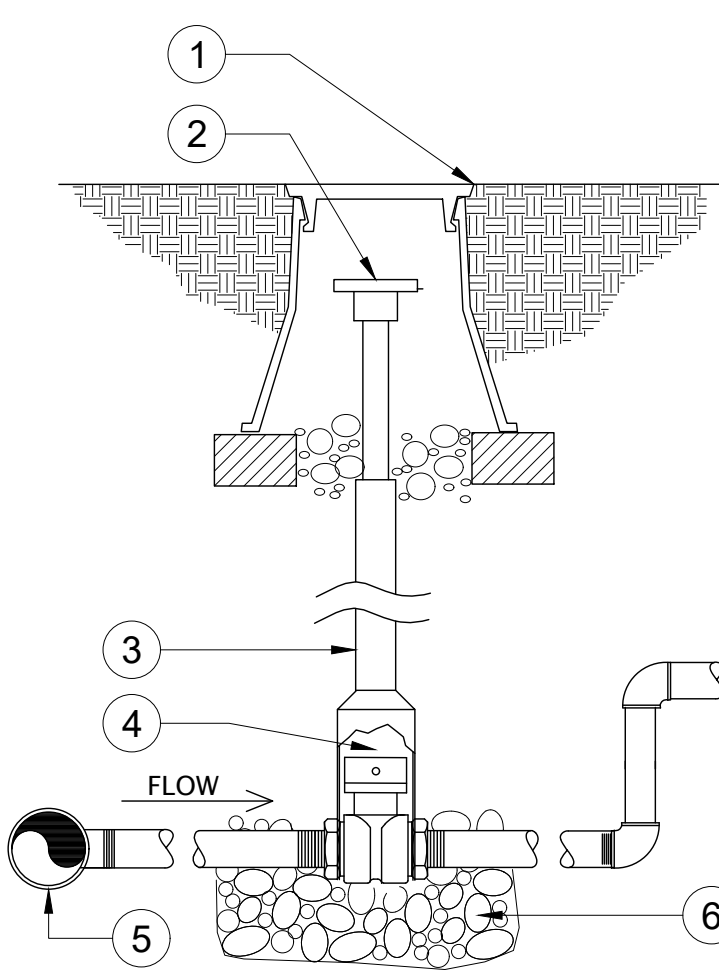


NOTES:  
1. SEE NOTES (IRRIGATION LEGEND) FOR SLEEVE SIZING.  
2. 4" MIN. CLEARANCE IN ANY DIRECTION BETWEEN LATERALS, MAINLINE, OR SLEEVING.

- 1 PAVING SURFACE EDGE
- 2 SLEEVE, TYP.
- 3 EXTEND ALL SLEEVING MIN. OF 12" BEYOND EDGE OF PAVING, TYP.
- 4 PAVING SURFACE
- 5 COMPACTED BASE
- 6 SURROUND SLEEVE WITH 3" OF DEBRIS-FREE SAND.
- 7 IRRIGATION WIRES SLEEVES
- 8 LATERAL SLEEVING
- 9 MAIN LINE SLEEVE

1 CONTROLLER WITH WALL MOUNT

NOT TO SCALE



- 1 10" ROUND VALVE BOX
- 2 CAP
- 3 2" CURB BOX
- 4 STOP AND WASTE VALVE
- 5 SERVICE LINE FROM WATER METER
- 6 CRUSHED GRAVEL SUMP - 2 CU. FT.

NOTE:  
1. PLUMB STOP AND WASTE VALVE TO 40" DEEP IF WATER SUPPLY LINE IS DEEPER.  
2. ALL VALVE BOXES AND LIDS IN ROCK MULCH AREAS ARE TO BE TAN IN COLOR. VALVE BOXES AND LIDS IN BARK MULCH AND LAWN AREAS TO BE STANDARD GREEN.

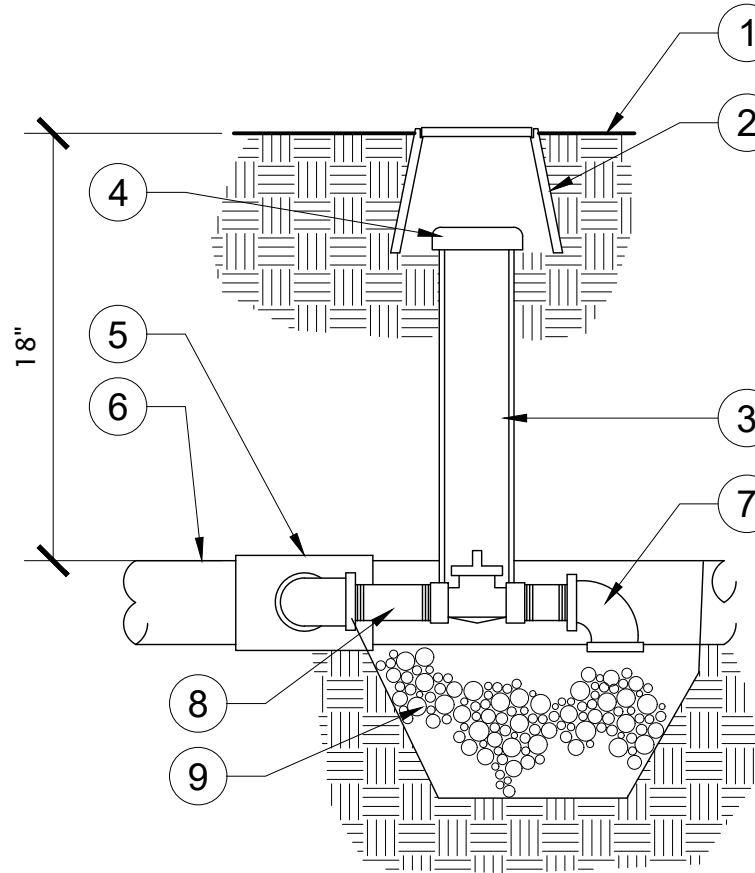
4 STOP AND WASTE VALVE

1" = 1'-0"

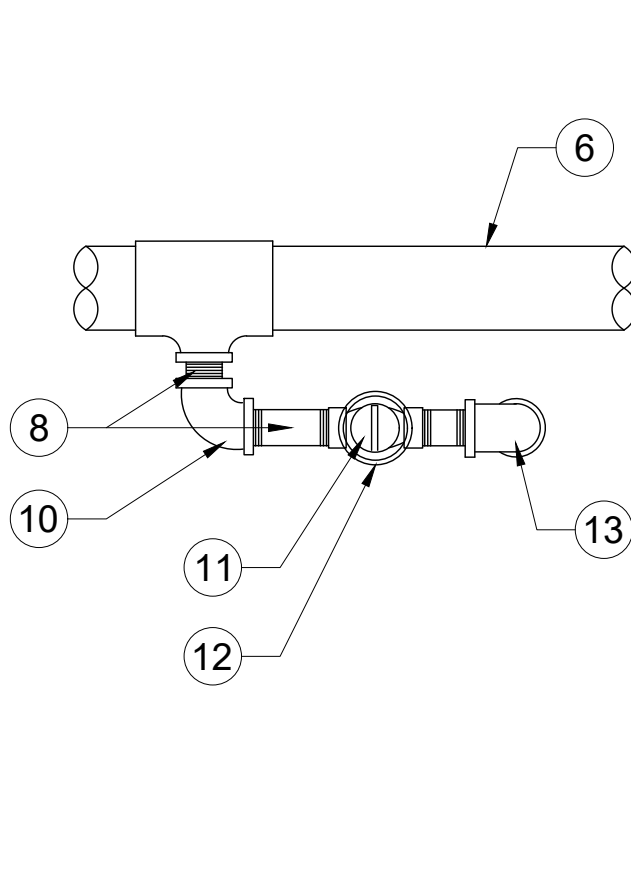
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2 PIPE TRENCH

NOT TO SCALE

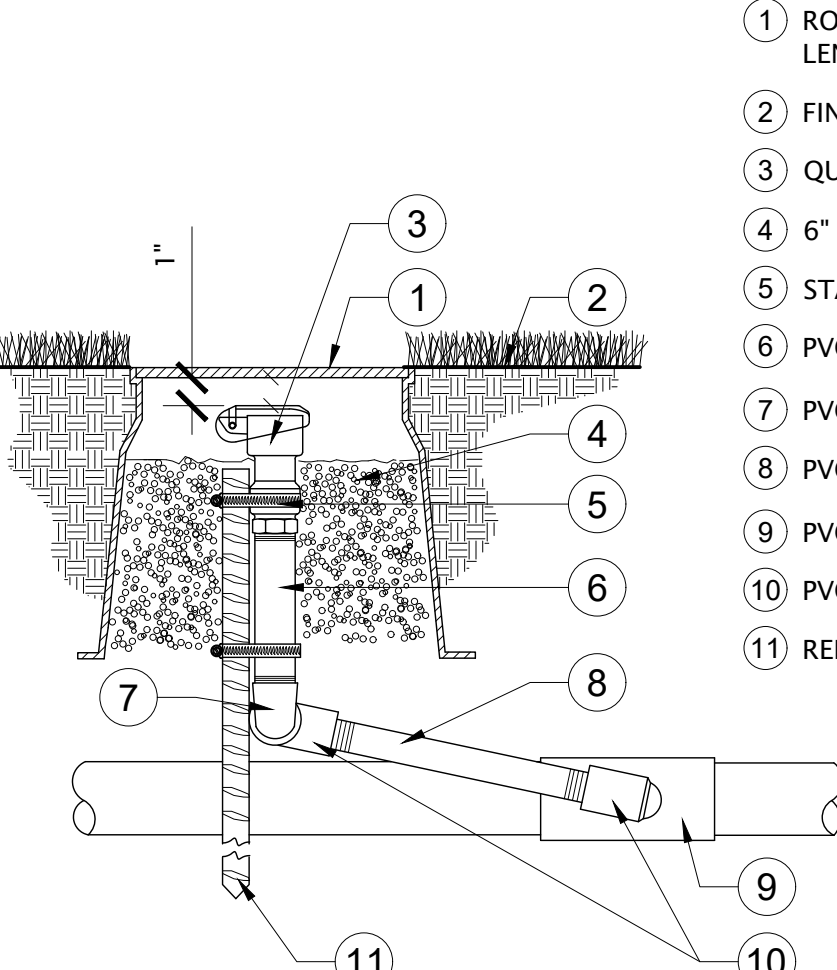


SIDE VIEW



TOP VIEW

- 1 FINISH GRADE
- 2 ROUND VALVE BOX
- 3 2" CLASS 200 PVC SLEEVE
- 4 CAP
- 5 TEE IN MAIN LINE
- 6 MAIN LINE
- 7 MARLEX STREET ELL
- 8 3/4" SCH. 80 PVC THREADED NIPPLE AND ELBOW
- 9 1 CU. FT. PEA GRAVEL SUMP
- 10 3/4" ELBOW
- 11 MANUAL DRAIN
- 12 2" CLASS 200 PVC SLEEVE
- 13 MARLEX STREET ELL

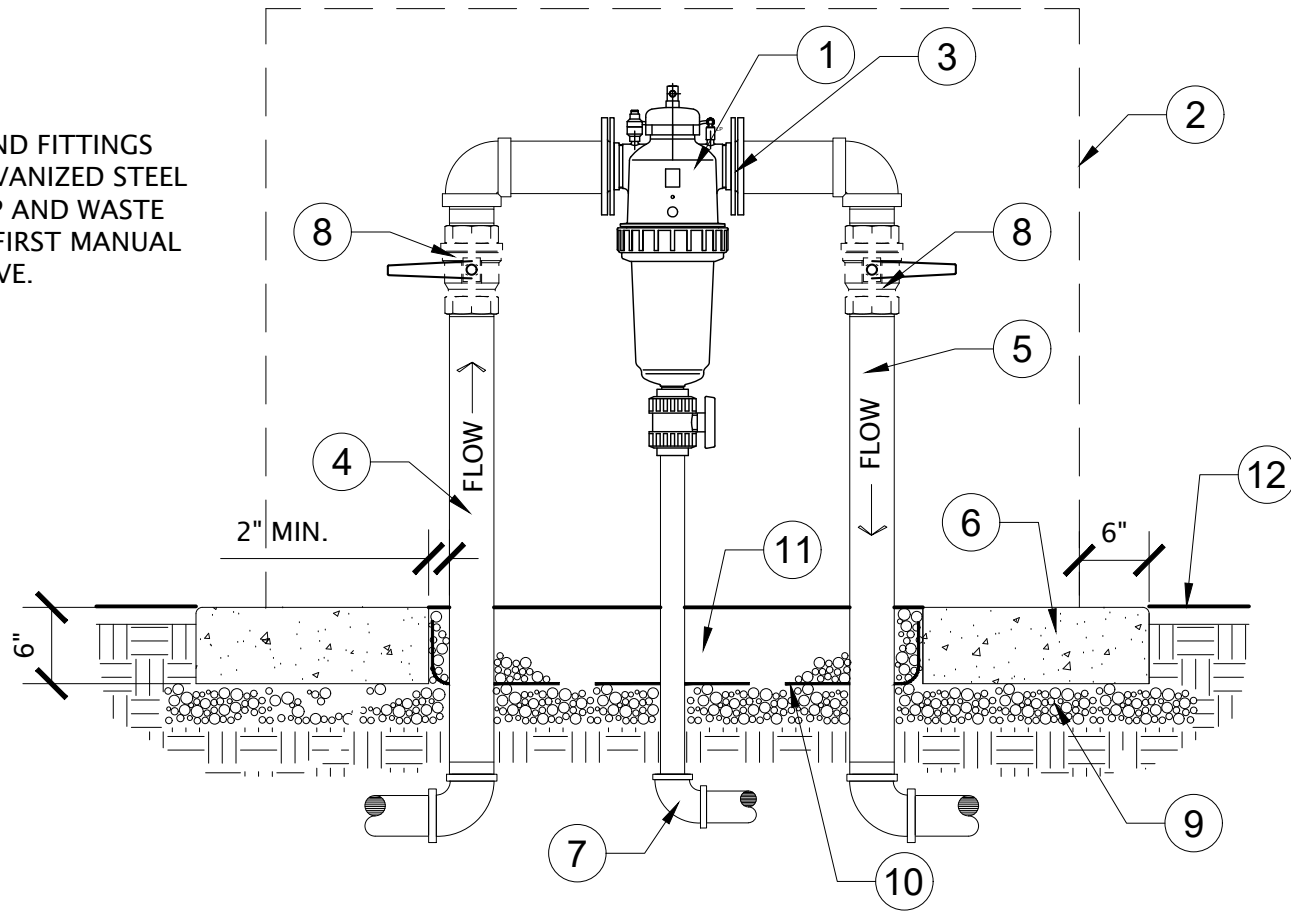


- 1 ROUND VALVE BOX: EXTENSION LENGTH AS REQ'D.
- 2 FINISH GRADE
- 3 QUICK COUPLING VALVE
- 4 6" DEEP PEA GRAVEL
- 5 STAINLESS STEEL GEAR CLAMPS (1 OF 2)
- 6 PVC. SCH. 80 NIPPLE (6" LENGTH)
- 7 PVC. SCH. 80 STREET EL
- 8 PVC. SCH. 80 NIPPLE (8" LENGTH)
- 9 PVC. SCH. 80 TEE
- 10 PVC. SCH. 80 ELL
- 11 REBAR STAKE (24" LENGTH)

6 QUICK COUPLER

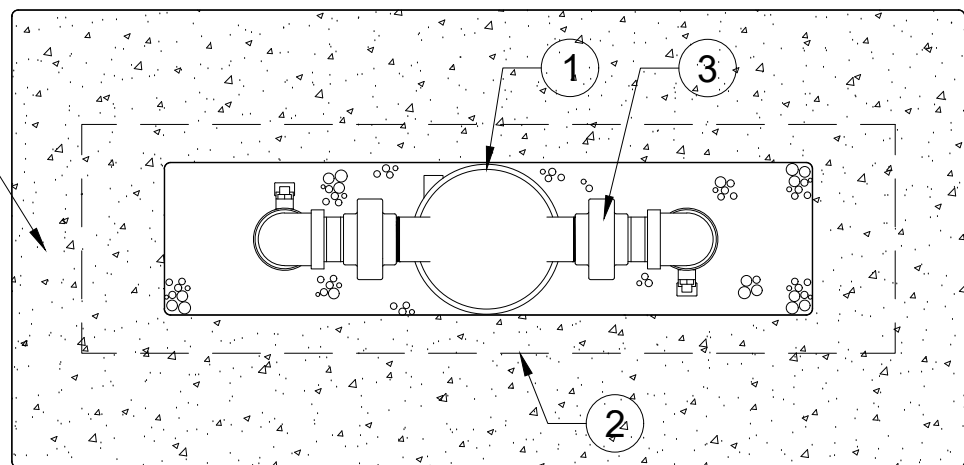
NOT TO SCALE

NOTE:  
ALL PIPE AND FITTINGS TO BE GALVANIZED STEEL FROM STOP AND WASTE VALVE TO FIRST MANUAL DRAIN VALVE.



SECTION/ELEVATION VIEW

- 1 FILTER - PER PLANS
- 2 VIT STRONG BOX ALUMINUM ENCLOSURE SIZED TO ACCOMMODATE FILTER ASSEMBLY
- 3 FLANGE (UNION ON BOTH SIDES IF THREADED FILTER)
- 4 GALVANIZED SUPPLY LINE FROM STOP AND WASTE
- 5 GALVANIZED SUPPLY LINE TO MANUAL DRAIN VALVE
- 6 POURED CONCRETE BASE 6" THICK TO EXTEND 6" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE
- 7 FLUSH PIPING (SCHEDULE 40 PVC) UPSIZE 2x PIPE SIZE FROM ELBOW TO PRECAST DRAIN BOX. MAINTAIN MIN. 2% SLOPE
- 8 ISOLATION VALVE - BALL VALVE
- 9 6" DEPTH 95% COMPACTED UTBC
- 10 FILTER FABRIC
- 11 GRAVEL
- 12 FINISH GRADE

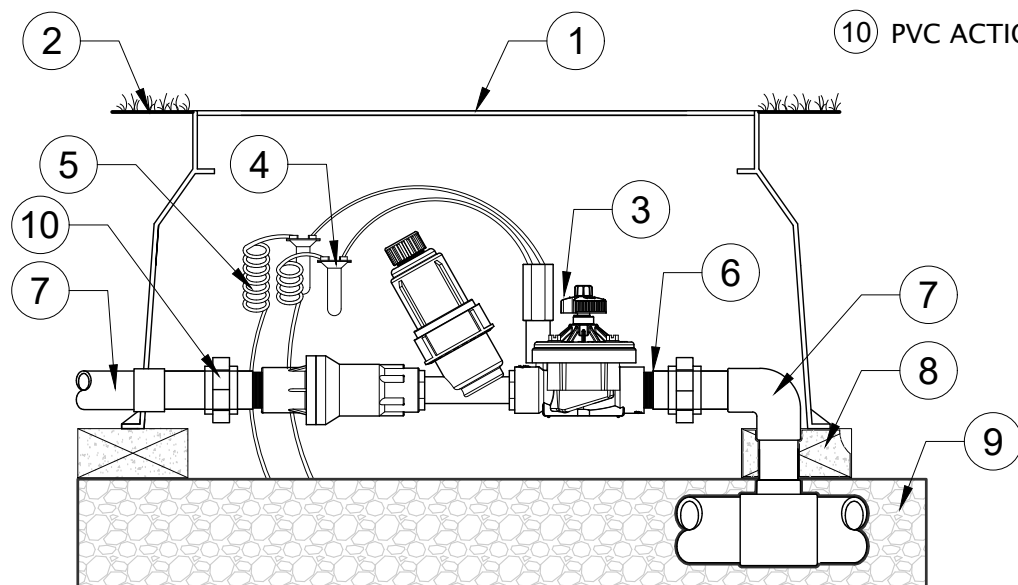


PLAN VIEW

7 AUTOMATIC FILTER

NOT TO SCALE

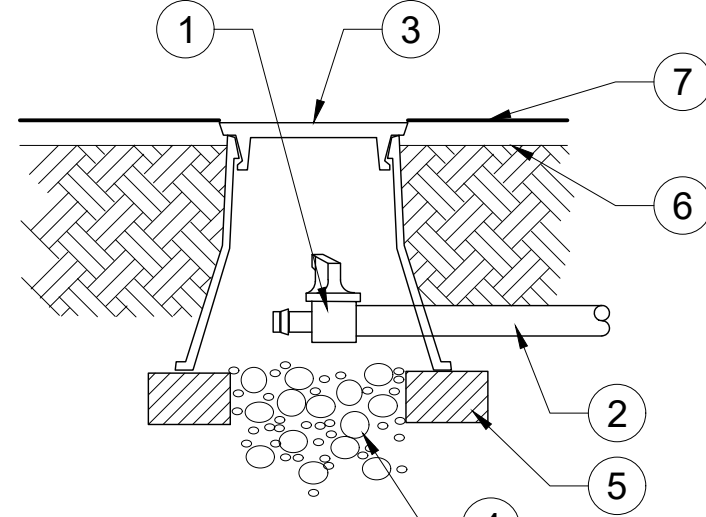
NOTE:  
1. ALL IRRIGATION CONTROL WIRE SPLICES ARE TO BE MADE USING 3M DBRY SPLICE.  
2. ALL VALVE BOXES AND LIDS TO MATCH COLOR OF MULCH AREAS. VALVE BOXES AND LIDS IN LAWN AREAS TO BE STANDARD GREEN.



8 DRIP CONTROL VALVE ASSEMBLY (HUNTER)

NOT TO SCALE

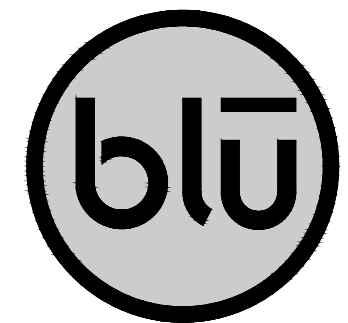
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NOTES:  
1. INSTALL DRIP FLUSH VALVE(S) AT LOW POINT OF EACH DRIP ZONE AND AT END OF LINES.  
2. ALL VALVE BOXES AND LIDS IN ROCK MULCH AREAS ARE TO BE TAN IN COLOR. VALVE BOXES AND LIDS IN BARK MULCH AND LAWN AREAS TO BE STANDARD GREEN.

9 DRIP FLUSH VALVE

NOT TO SCALE



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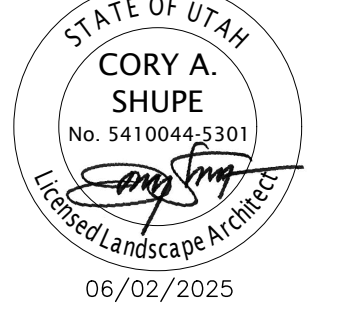
HIGHLAND TOWN PLAZA - LOT 3

10969 NORTH TOWN CENTER BOULEVARD  
HIGHLAND, UTAH

REVISIONS

NO.	DATE	DESCRIPTION
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Stamp



06/02/2025

Designed By: TH  
Drawn By: TH  
Date: 06/2/2025  
Checked By: RD  
Project No: 25-144

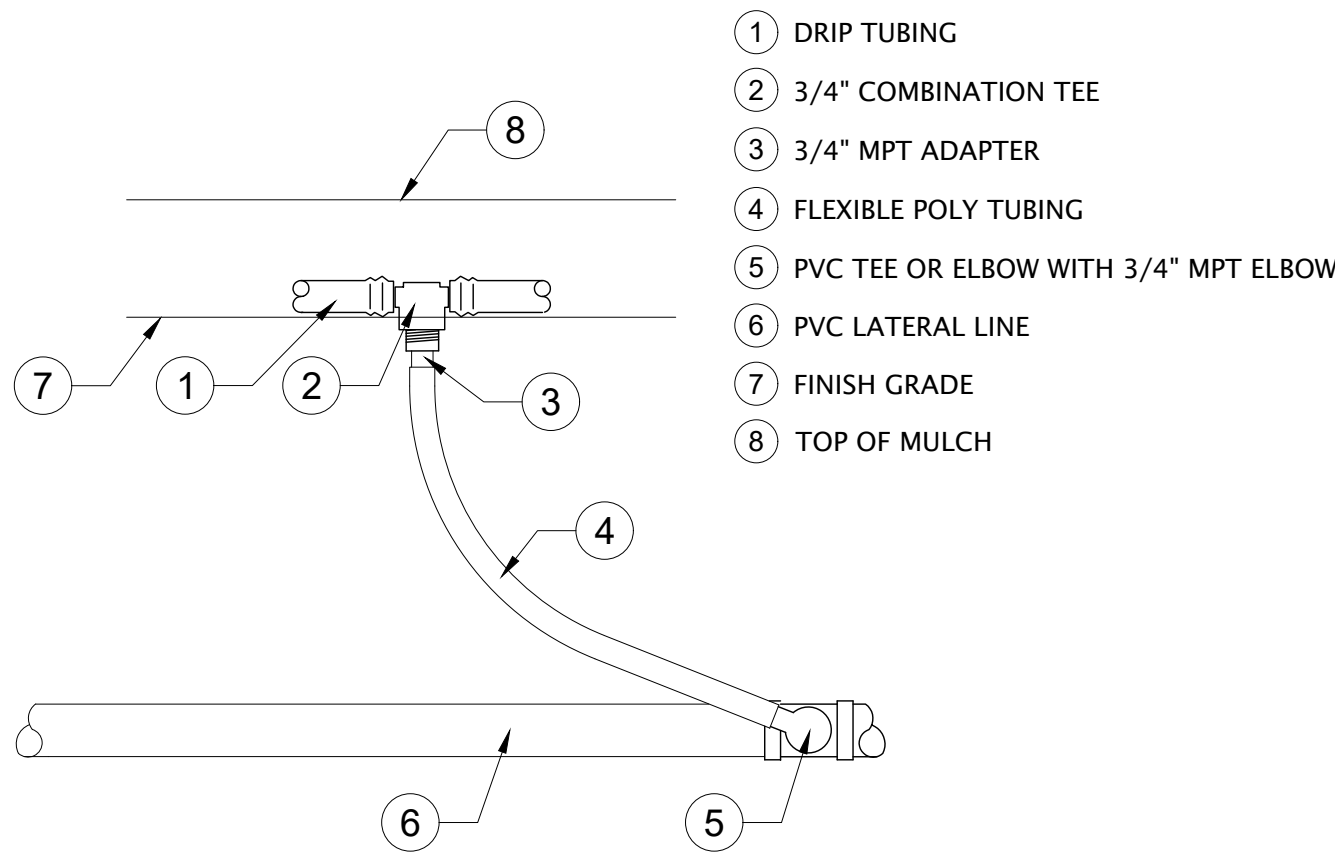
Drawing Title  
IRRIGATION  
NOTES &  
DETAILS

Drawing number

LI501

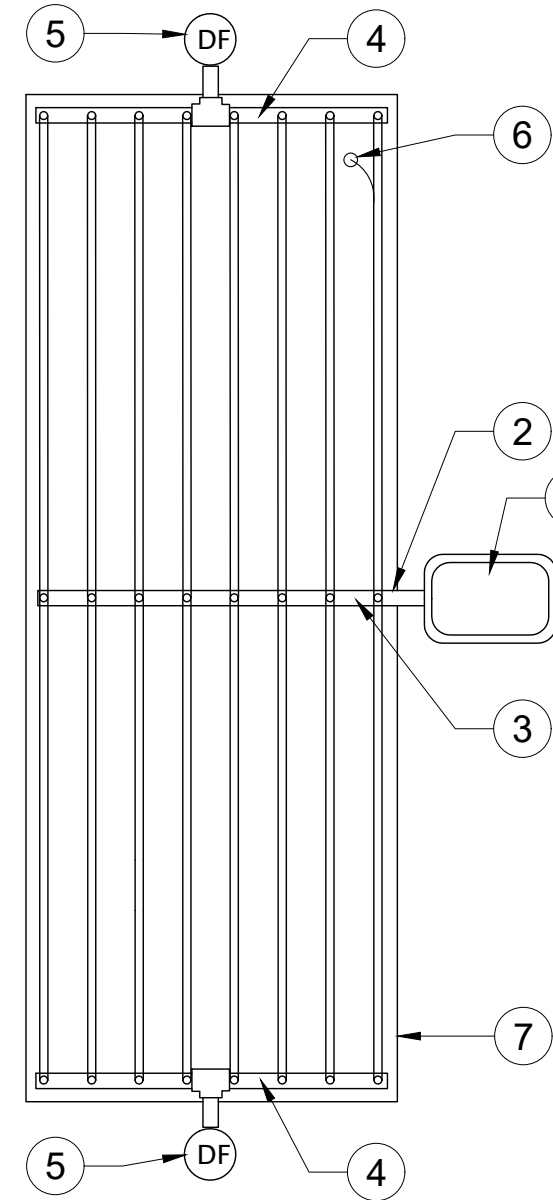
SITE PLAN SUBMITTAL





- NOTES:
1. INSTALL A MINIMUM OF ONE PVC TO DRIP TUBING CONNECTION FOR EVERY 5 GPM OF FLOW.
  2. CONSULT MANUFACTURER'S RECOMMENDATIONS FOR MAXIMUM RUN LENGTH.

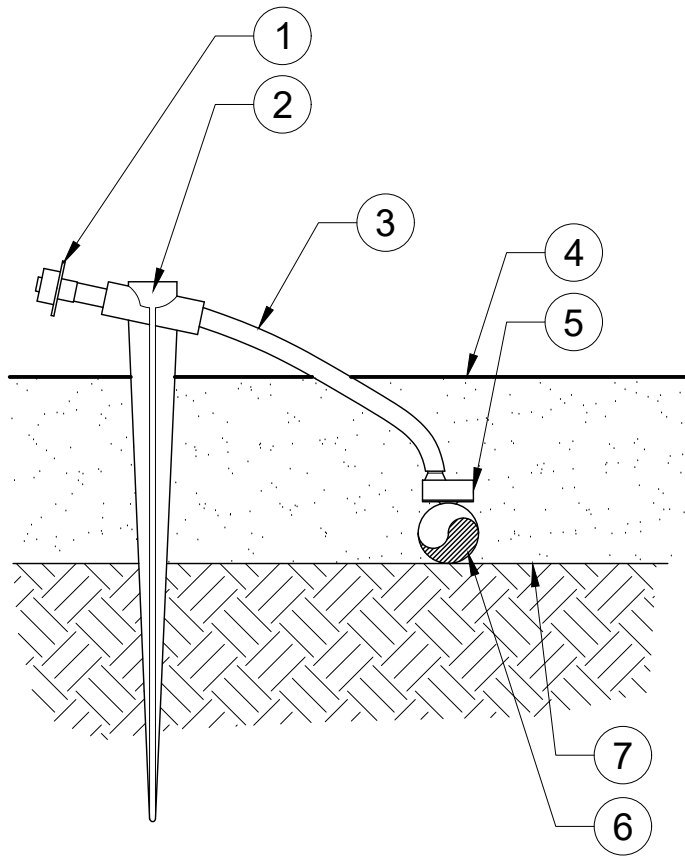
1 PVC TO DRIP TUBING CONNECTION  
NOT TO SCALE



- 1 IRRIGATION CONTROL VALVE
- 2 PVC TO DRIP TUBING CONNECTION (SEE DETAIL)
- 3 PVC SUPPLY HEADER
- 4 PVC EXHAUST HEADER (DRIP TUBING MAY BE USED IN PLACE OF PVC FOR SUB HEADERS PER MANUFACTURER'S DESIGN GUIDELINES)
- 5 DRIP FLUSH VALVE (SEE DETAIL)
- 6 INDICATOR EMITTER - (1) 1 GPH EMITTER INTO IN-LINE DRIP TUBING
- 7 MAINTAIN 4" GAP BETWEEN DRIP TUBING AND PERIMETER OF IRRIGATED AREA

- NOTES:
1. INSTALL A MINIMUM OF ONE PVC TO DRIP TUBING CONNECTION FOR EVERY 5 GPM OF FLOW.
  2. CONSULT MANUFACTURER'S RECOMMENDATIONS FOR MAXIMUM RUN LENGTH.

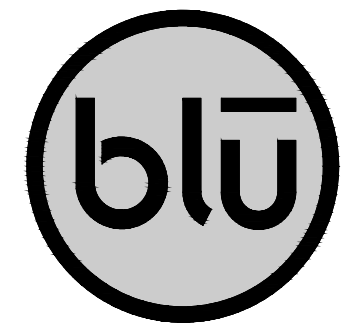
2 CENTER FEED IN LINE DRIP  
NOT TO SCALE



- 1 DIFFUSER CAP: HUNTER HE-DIFF (UNLESS OTHERWISE SPECIFIED)
- 2 UNIVERSAL 1/4" TUBING STAKE
- 3 1/4" DISTRIBUTION TUBING; HUNTER HQV TUBING (LENGTH AS REQUIRED)
- 4 TOP OF MULCH
- 5 SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER: HUNTER POINT SOURCE EMITTER
- 6 1/2" POLYETHYLENE TUBING: HUNTER HDL BLANK TUBING
- 7 FINISH GRADE

- NOTES:
1. USE HUNTER EMITTER MULTI-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" POLYETHYLENE TUBING.

3 DRIP EMITTER (HUNTER)  
NOT TO SCALE

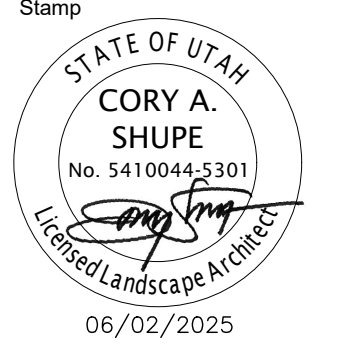


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## HIGHLAND TOWN PLAZA - LOT 3

10969 NORTH TOWN CENTER BOULEVARD  
HIGHLAND, UTAH

REVISIONS	
NO.	DESCRIPTION

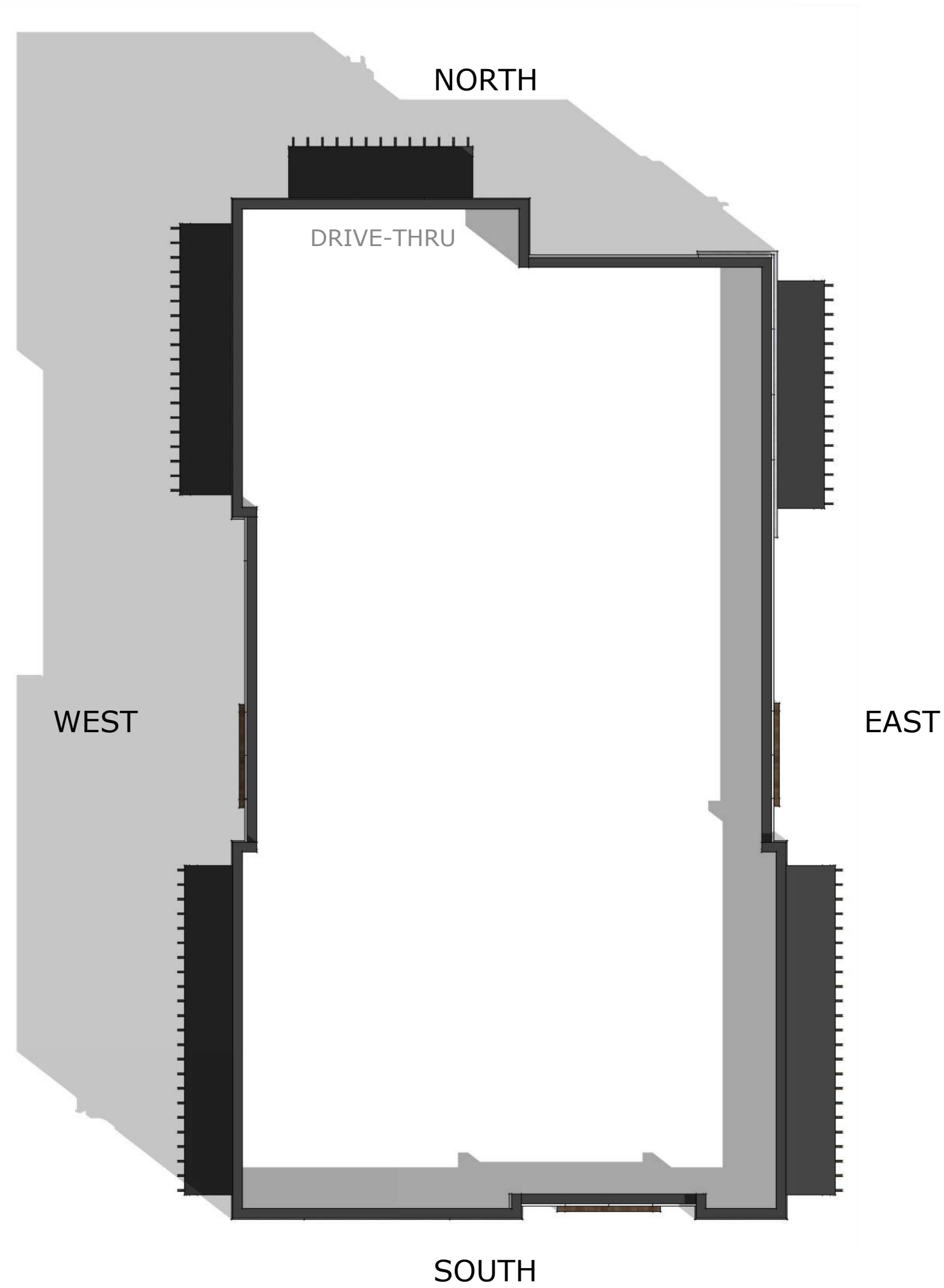


Designed By: TH  
Drawn By: TH  
Date: 06/2/2025  
Checked By: RD  
Project No: 25-144

Drawing Title  
IRRIGATION  
DETAILS

Drawing number

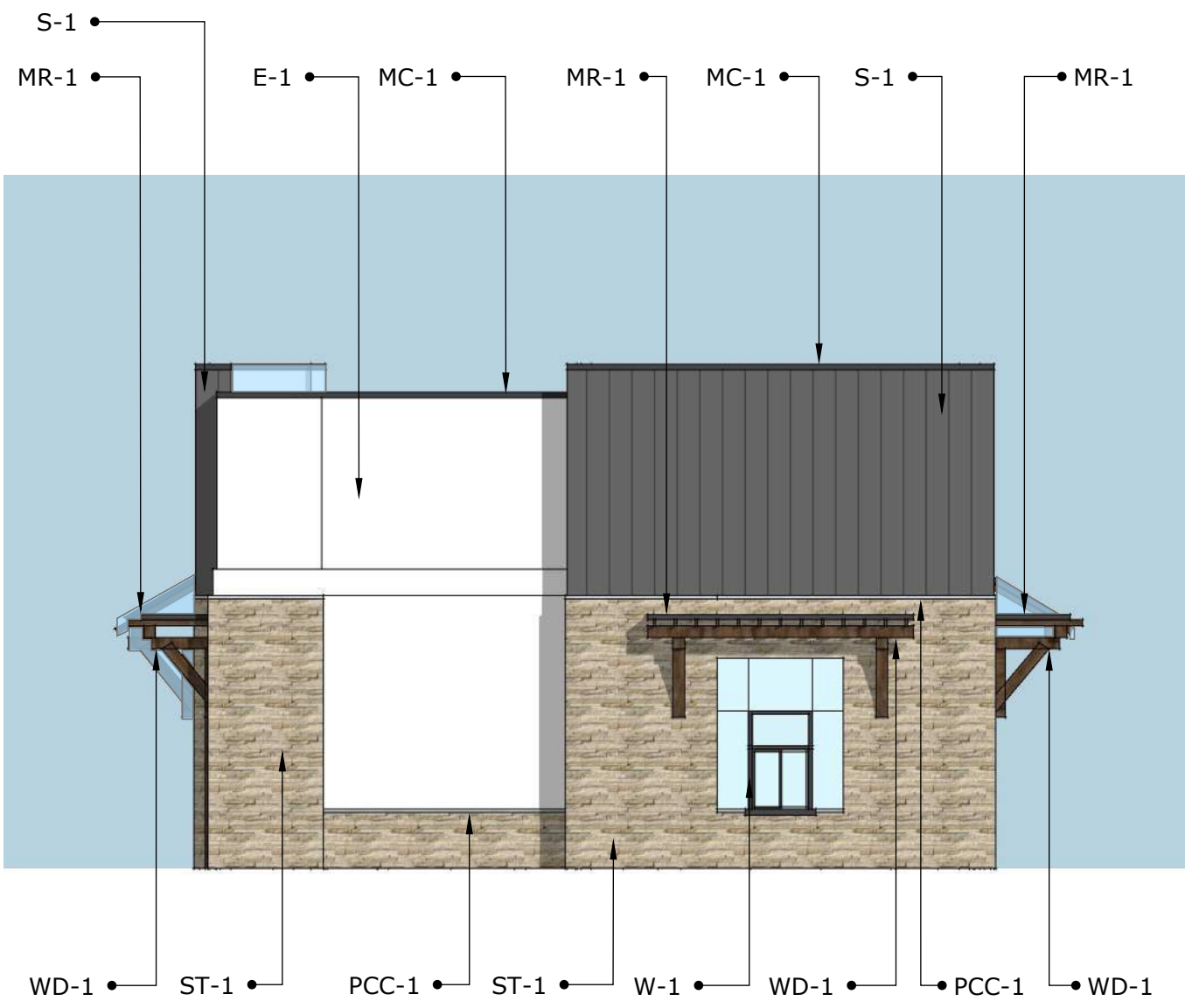
LI502



**BUILDING PLAN**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION (WEST)**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION (NORTH)**  
SCALE: 1/8" = 1'-0"

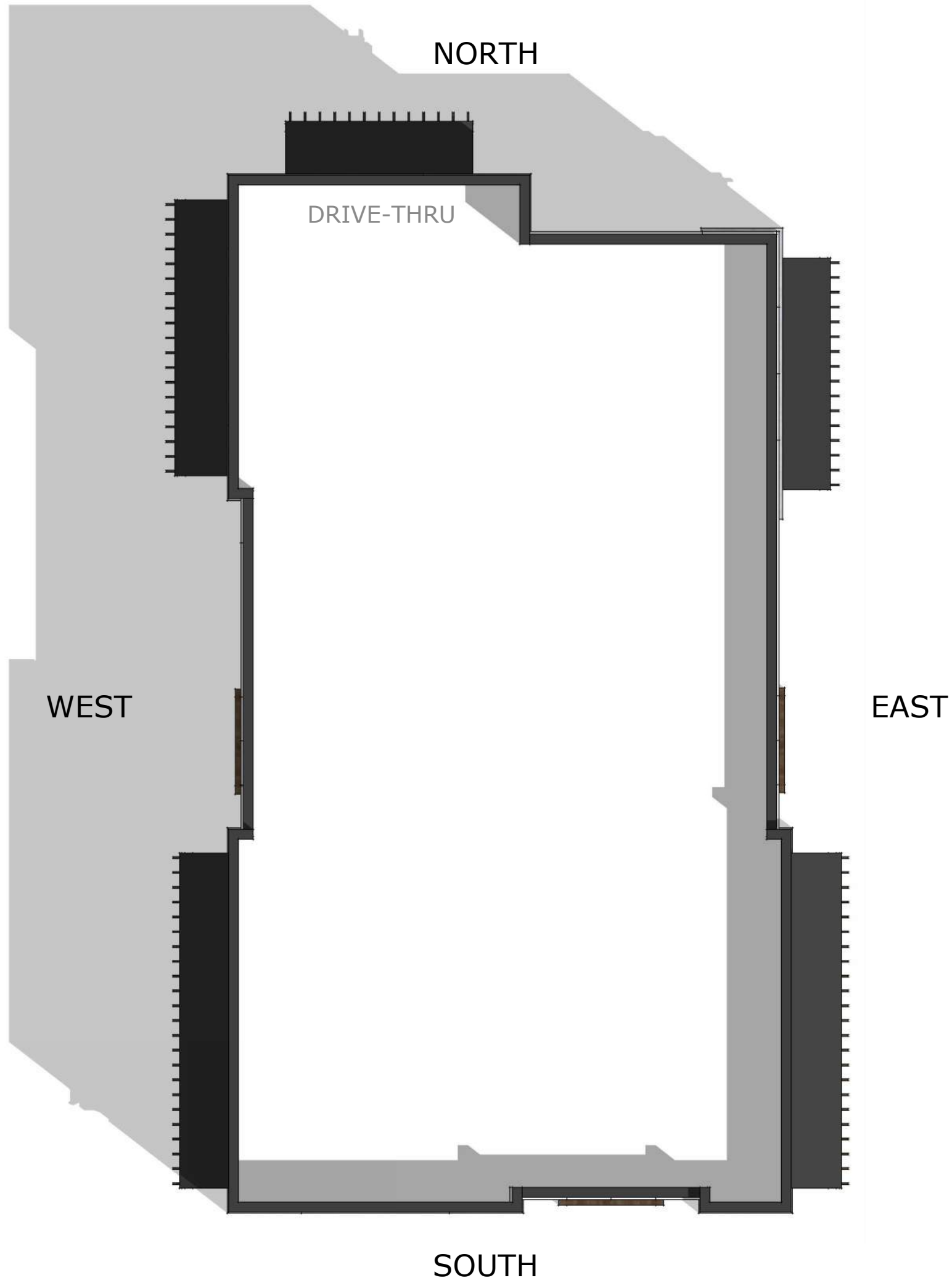


**BACK ELEVATION (EAST)**  
SCALE: 1/8" = 1'-0"

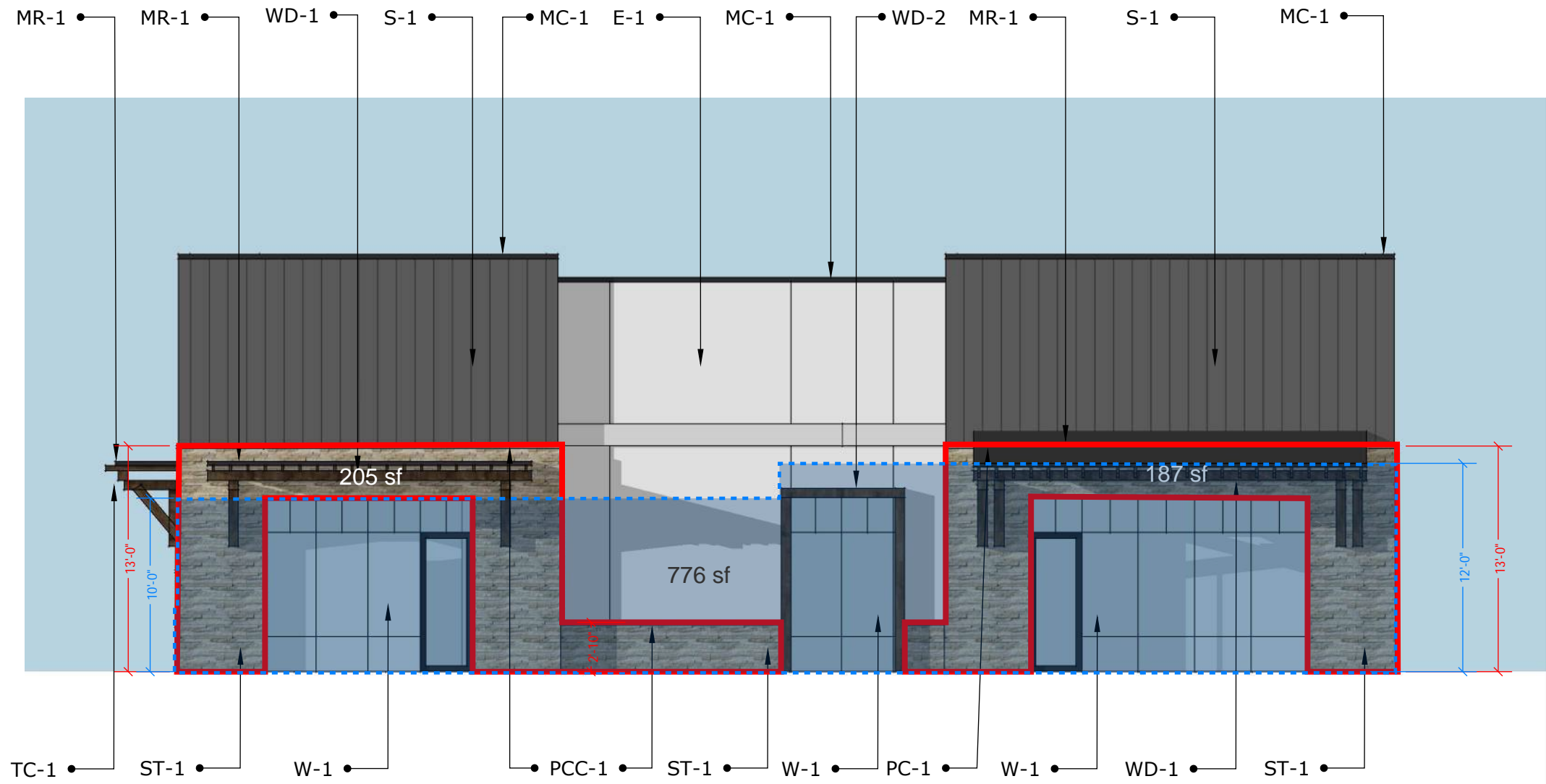


**RIGHT ELEVATION (SOUTH)**  
SCALE: 1/8" = 1'-0"



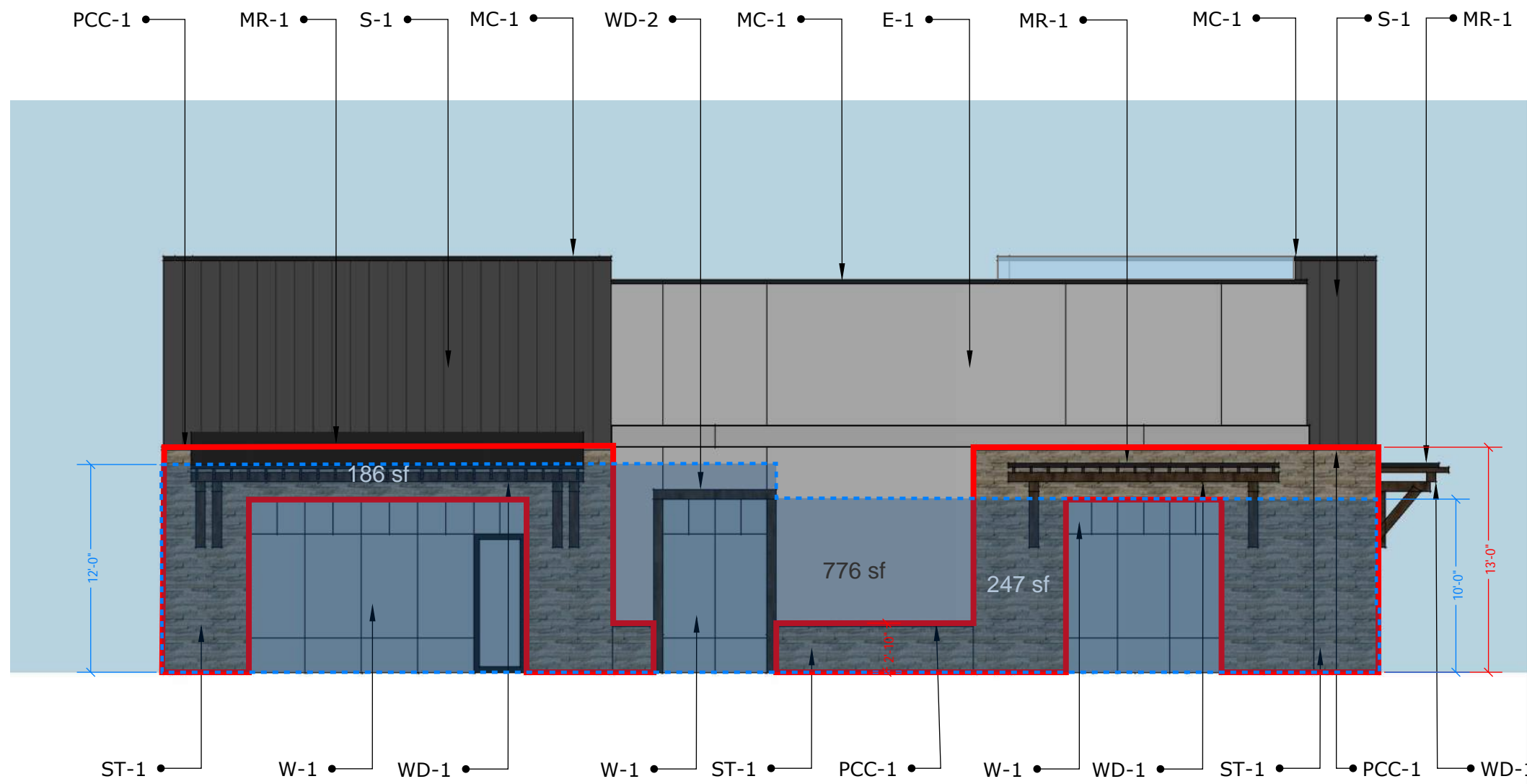


**BUILDING PLAN**  
SCALE: 1/8" = 1'-0"



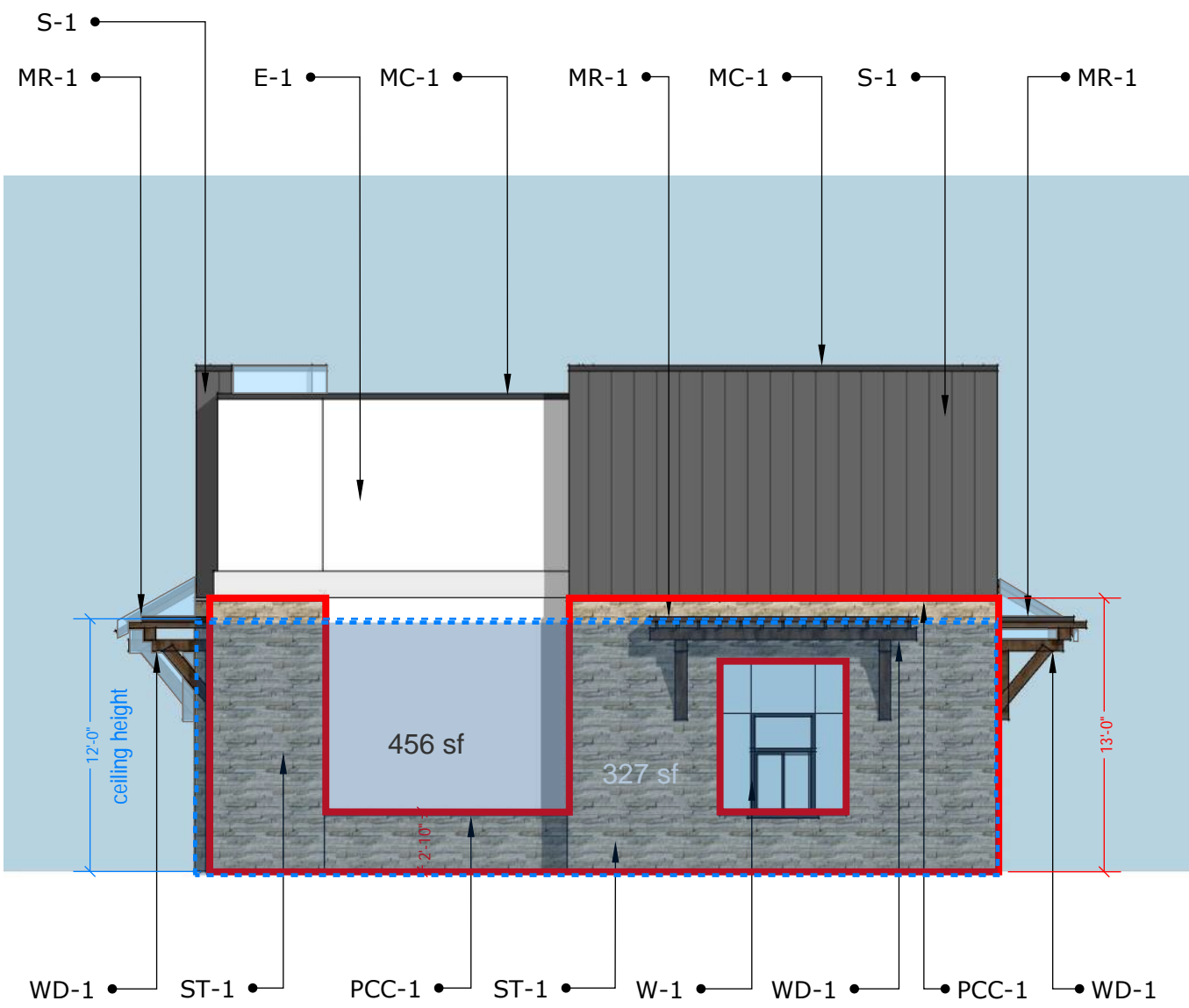
**FRONT ELEVATION (WEST)**  
SCALE: 1/8" = 1'-0"

Total square footage from finish ceiling of TI (front of house 12' tall back of house 10' tall)	776 sf
50% of that total square footage	388 sf required
Total stone on building elevation	392 sf provided



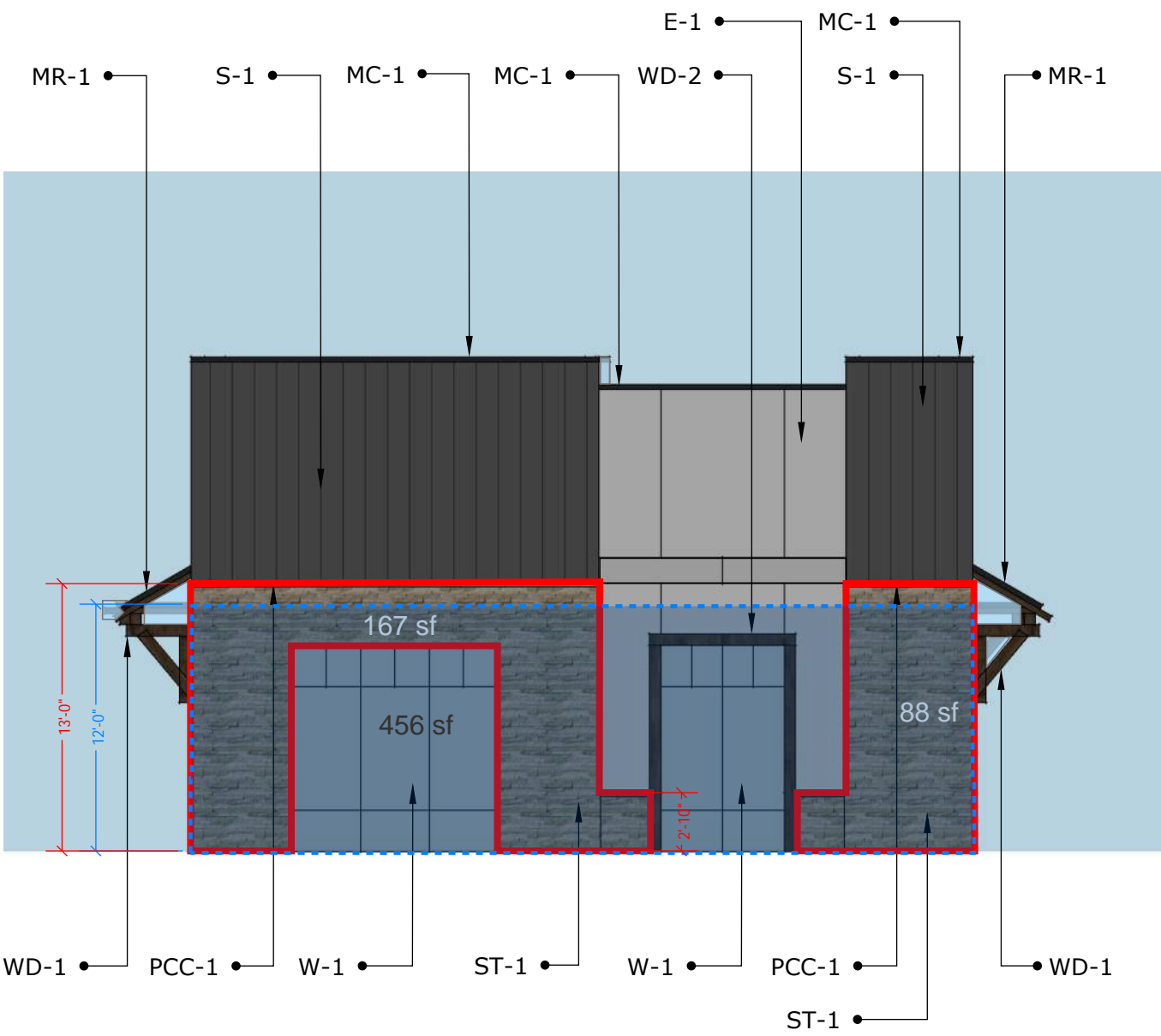
**BACK ELEVATION (EAST)**  
SCALE: 1/8" = 1'-0"

Total square footage from finish ceiling of TI (front of house 12' tall back of house 10' tall)	776 sf
50% of that total square footage	388 sf required
Total stone on building elevation	433 sf provided



**LEFT ELEVATION (NORTH)**  
SCALE: 1/8" = 1'-0"

Total square footage from finish ceiling of TI (front of house 12' tall back of house 10' tall)	327 sf
50% of that total square footage	228 sf required
Total stone on building elevation	327 sf provided



**RIGHT ELEVATION (SOUTH)**  
SCALE: 1/8" = 1'-0"

Total square footage from finish ceiling of TI (front of house 12' tall back of house 10' tall)	327 sf
50% of that total square footage	228 sf required
Total stone on building elevation	255 sf provided



**HIGHLAND TOWN PLAZA RETAIL (2,500 SF)**  
WPI| HIGHLAND, UTAH

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**NORTHEAST ELEVATION**



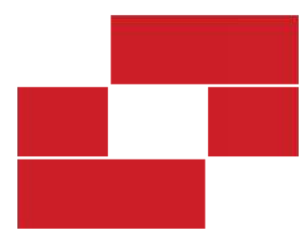
**SOUTHEAST ELEVATION**



**SOUTHWEST ELEVATION**



**NORTHWEST ELEVATION**



Babcock Design

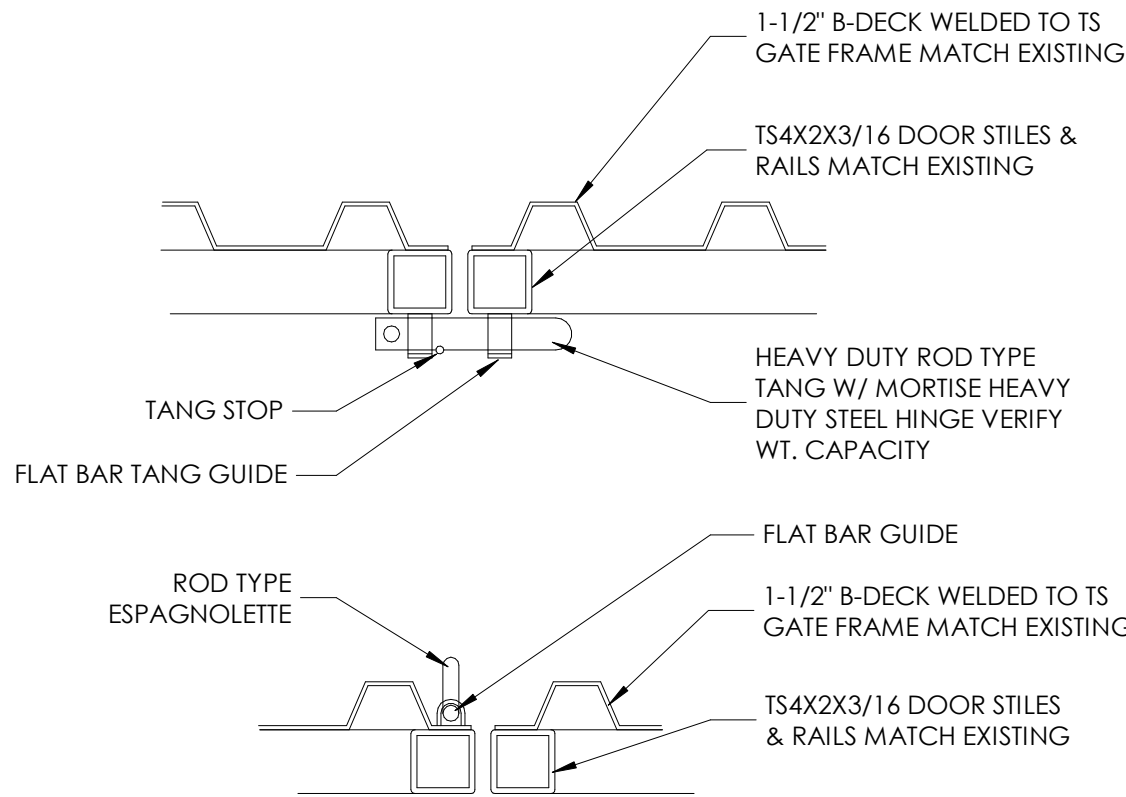
# HIGHLAND TOWN PLAZA RETAIL (2,500 SF) WPI| HIGHLAND, UTAH

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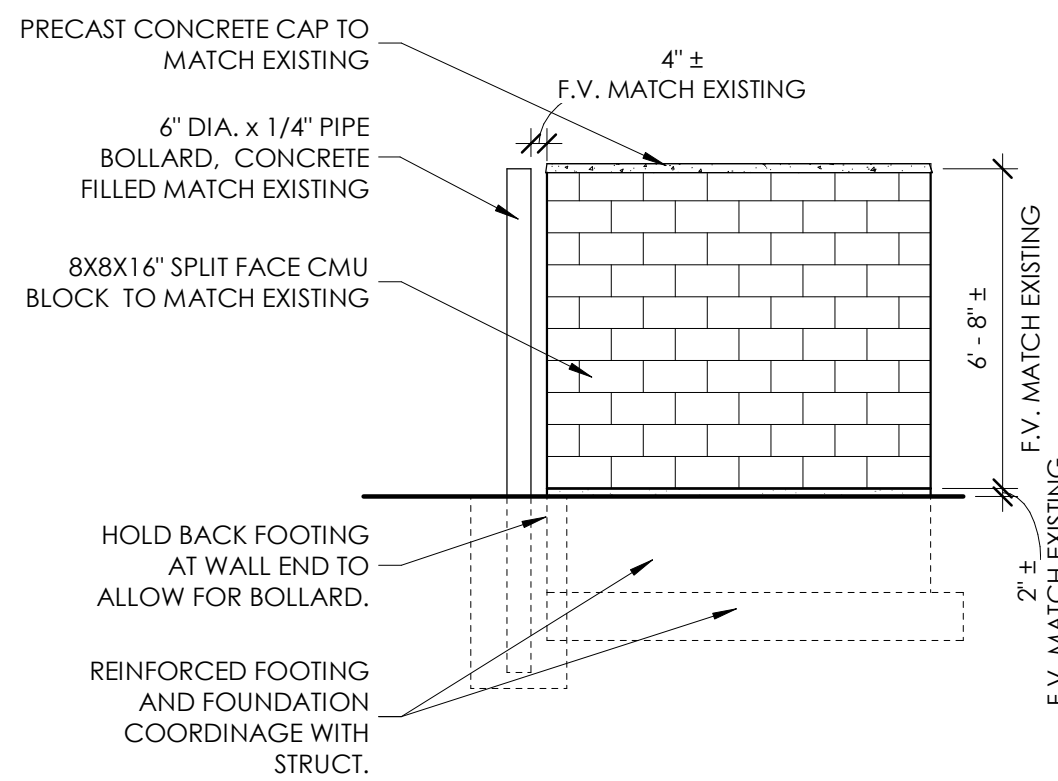
TF-01

June 9, 2025

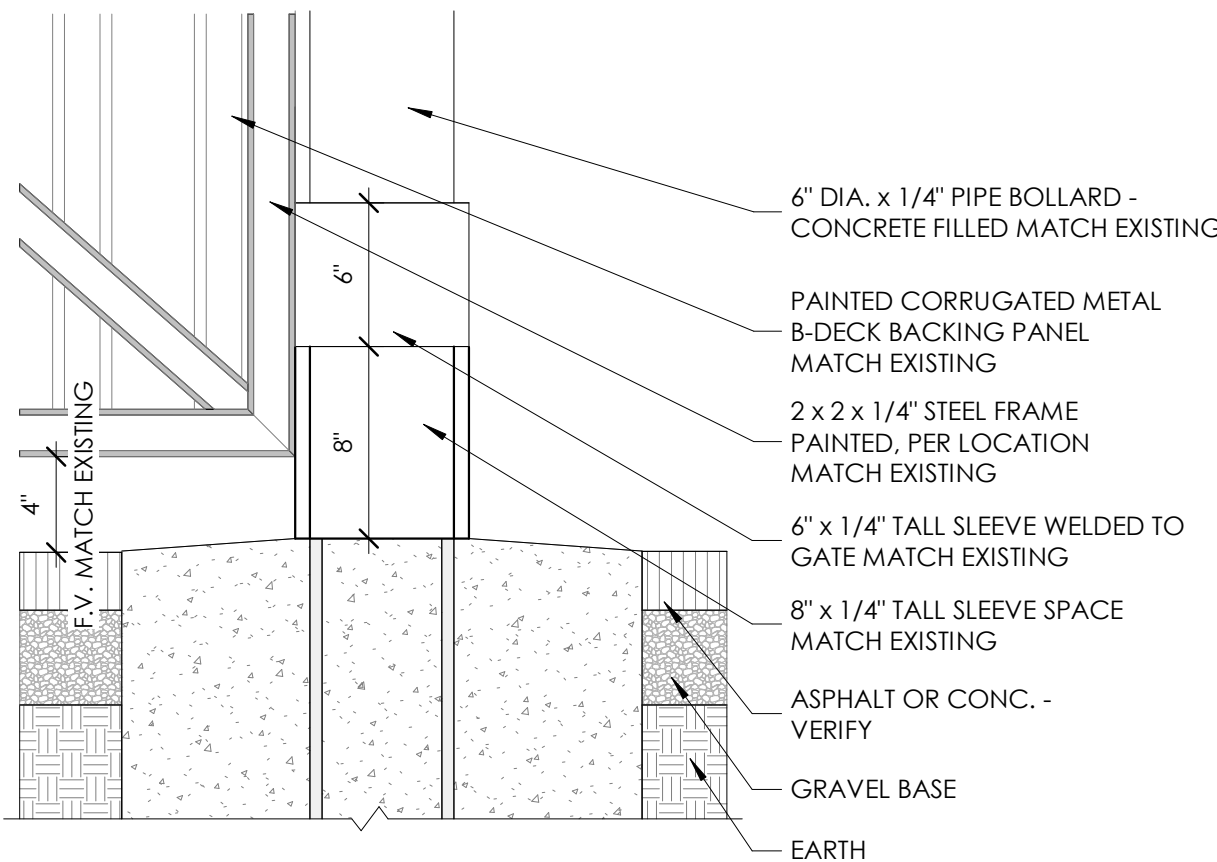




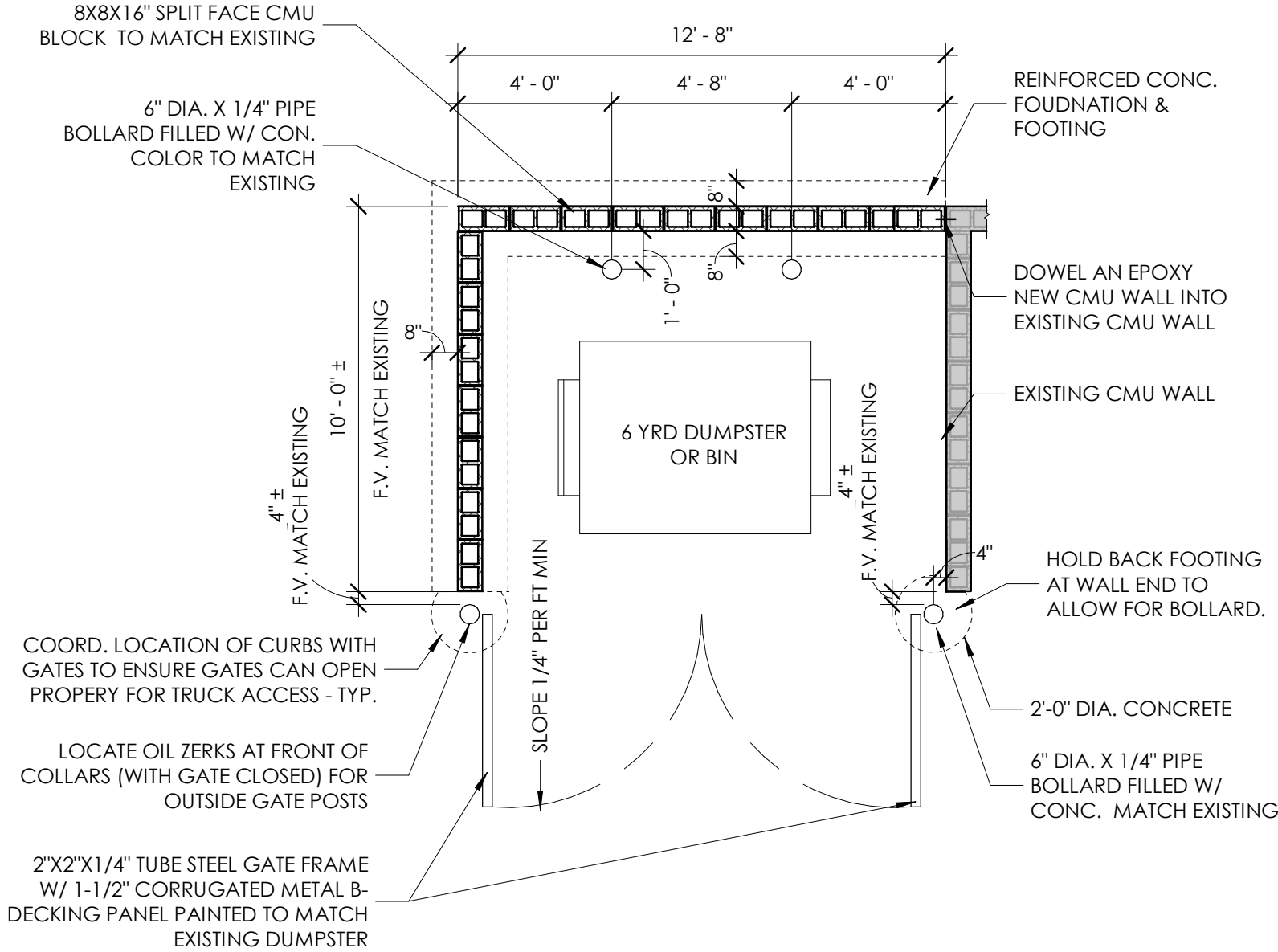
11 | STANDARD GATE ESPAGOLETTE  
1" = 1'-0"



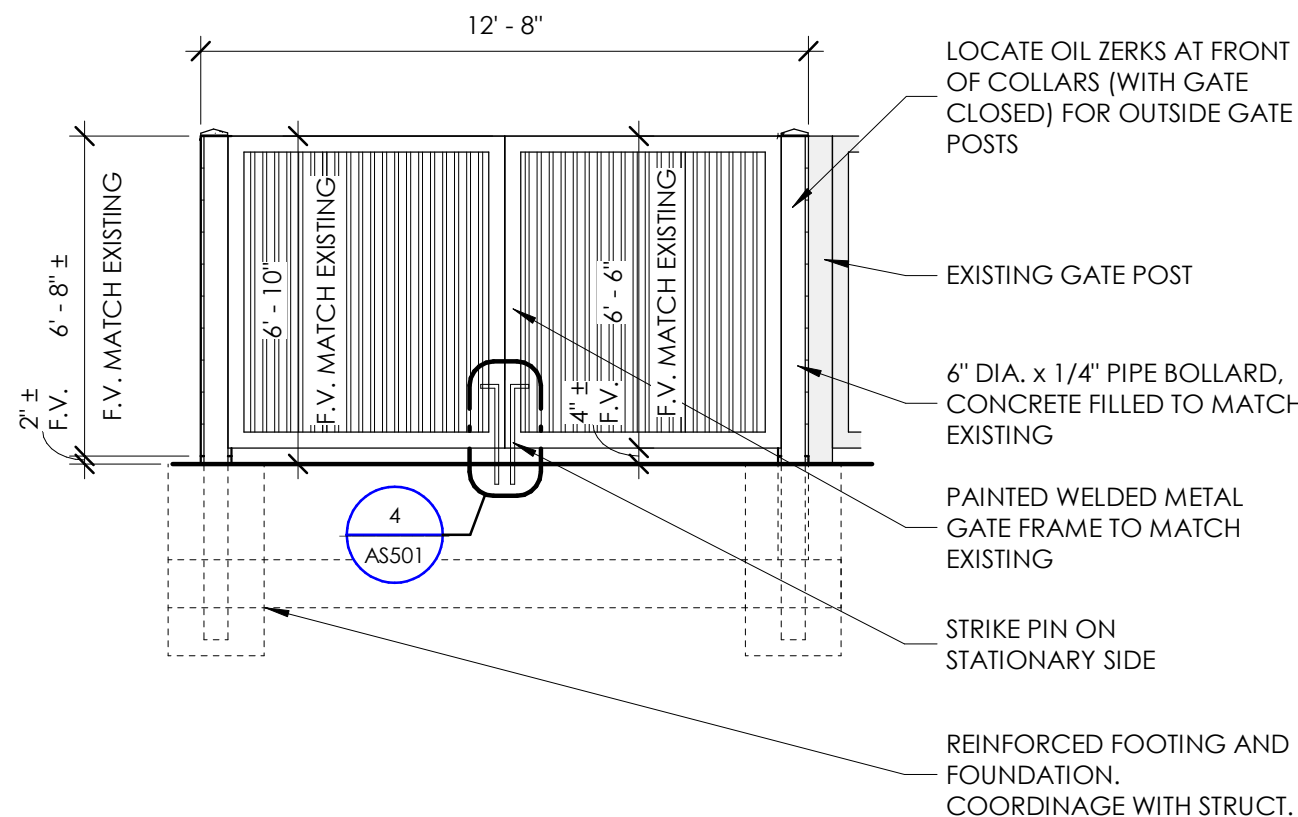
12 | TRASH ENCLOSURE - SIDE ELEVATION  
1/4" = 1'-0"



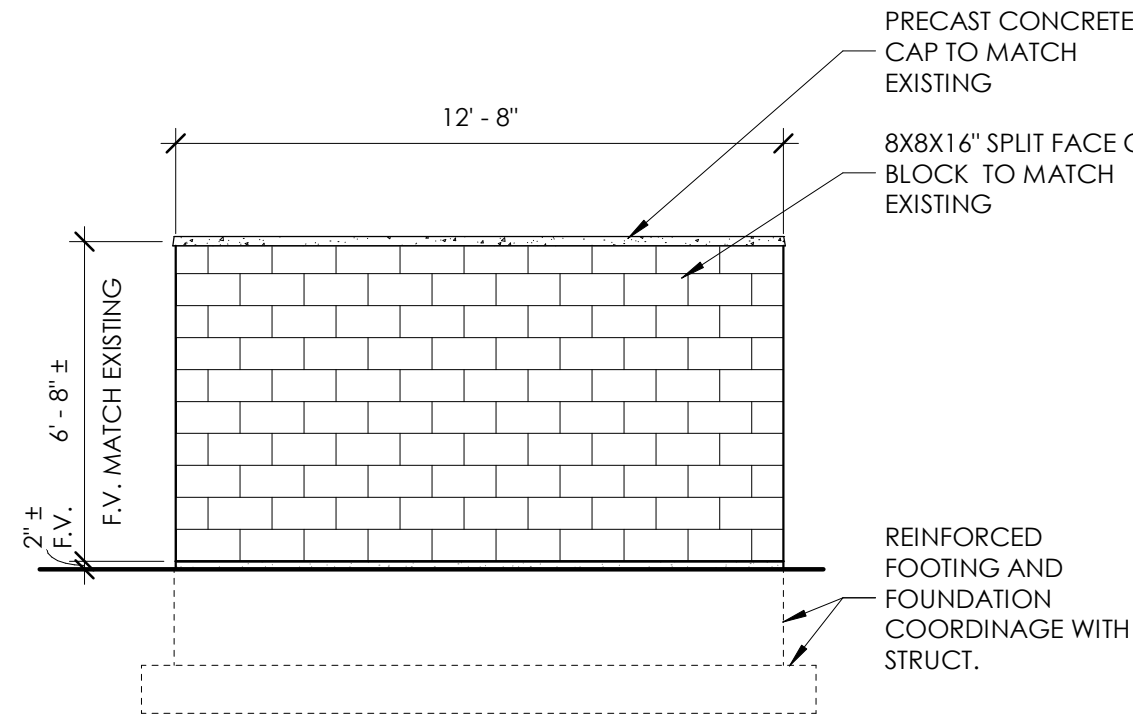
13 | STANDARD DUMPSTER GATE SLEEVE DETAIL  
1 1/2" = 1'-0"



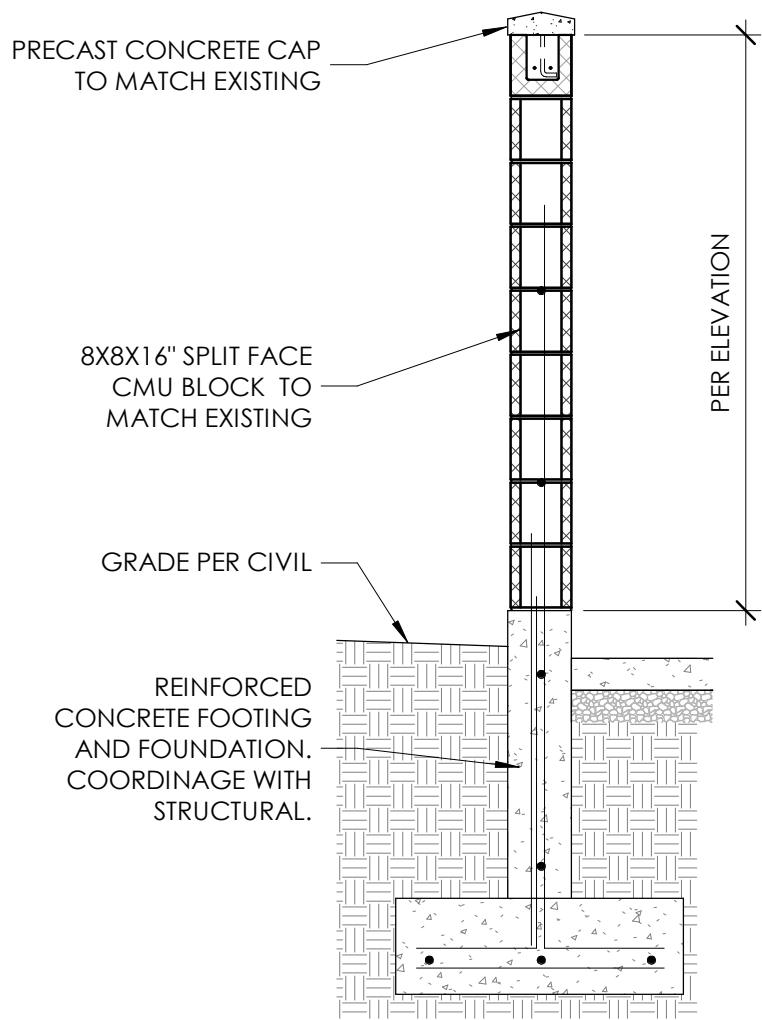
8 | TRASH ENCLOSURE  
1/4" = 1'-0"



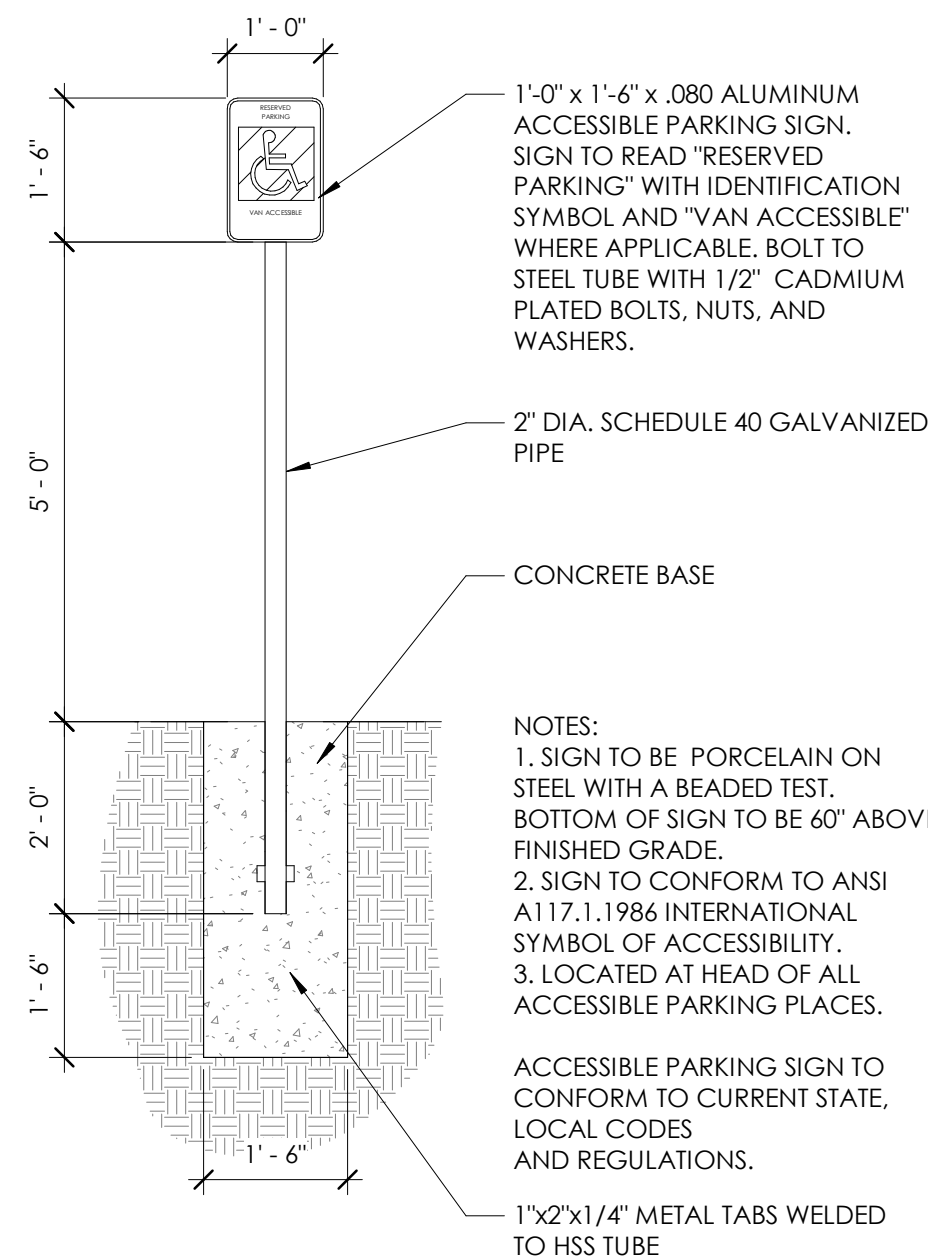
9 | TRASH ENCLOSURE - FRONT ELEVATION  
1/4" = 1'-0"



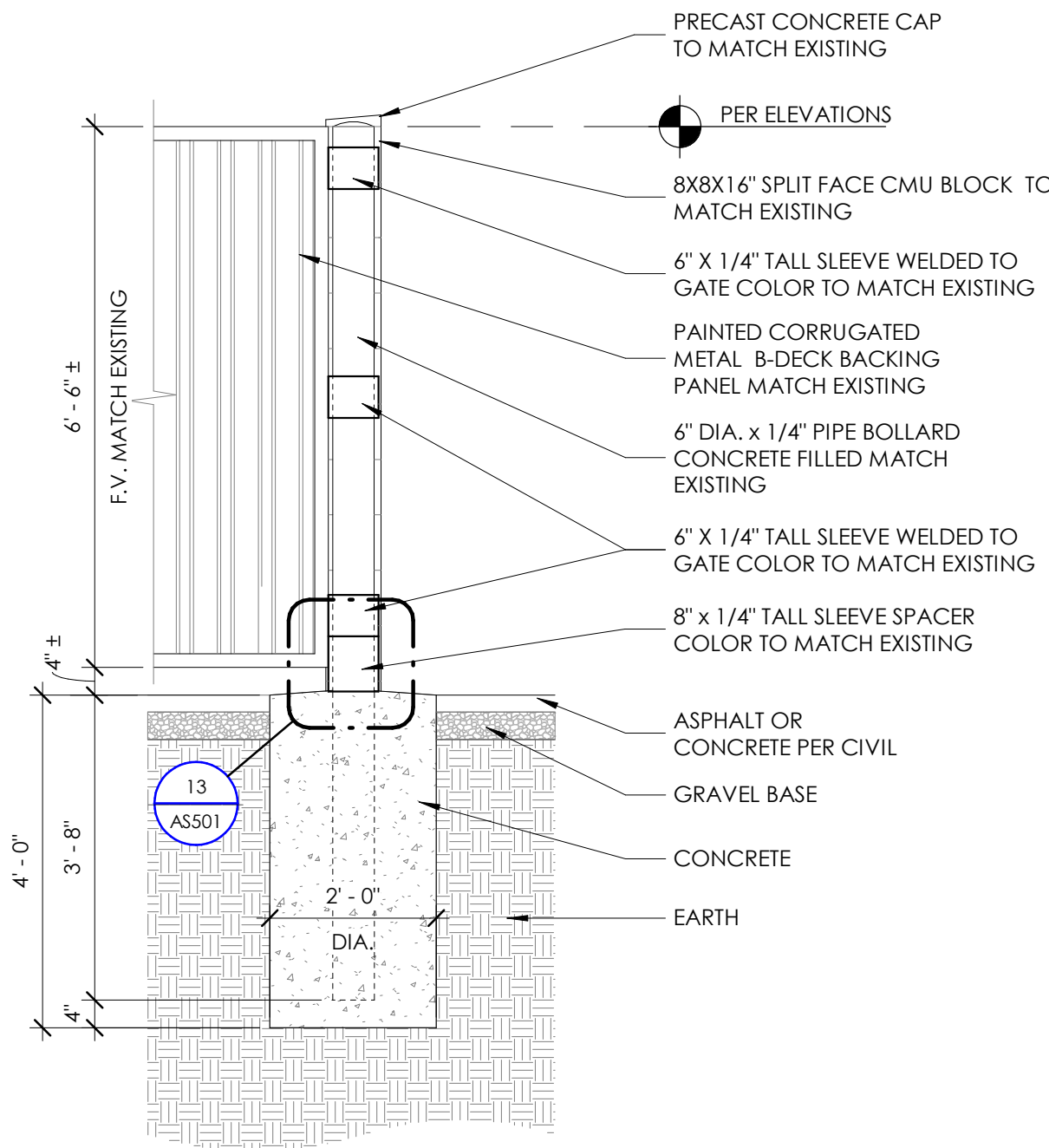
10 | TRASH ENCLOSURE - BACK ELEVATION  
1/4" = 1'-0"



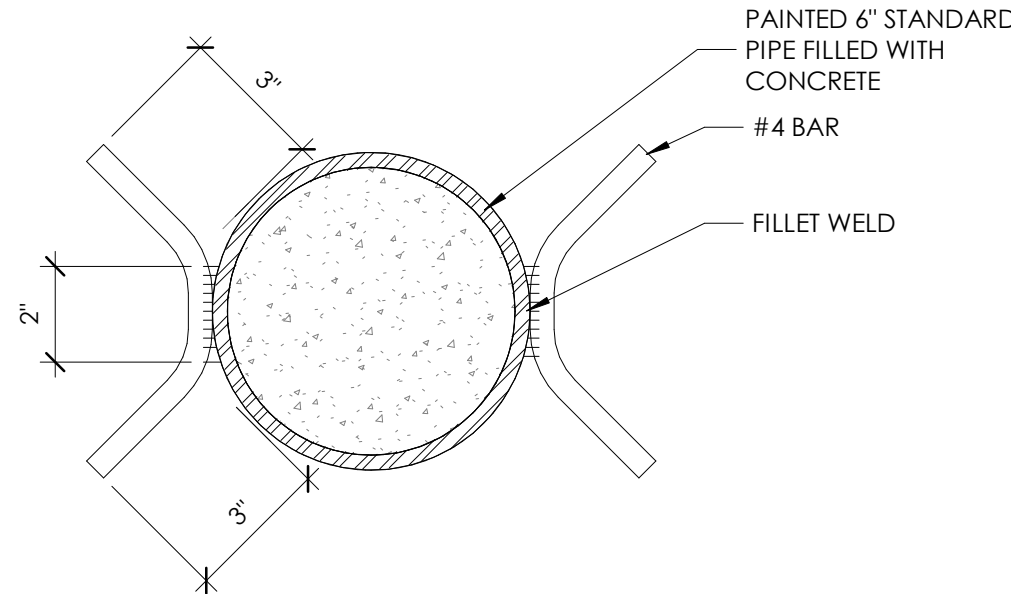
5 | STANDARD TRASH ENCLOSURE WALL SECTION  
1/2" = 1'-0"



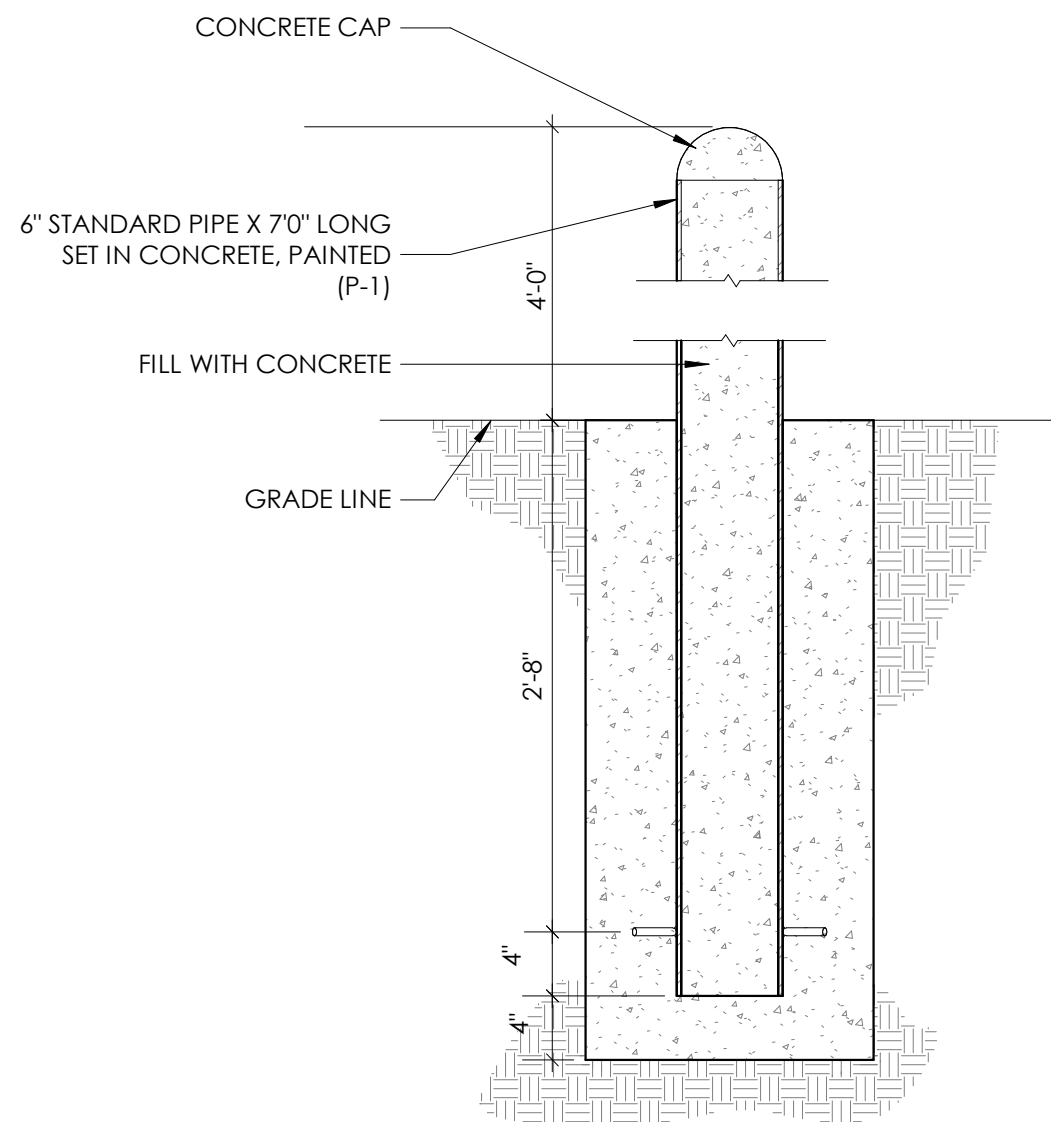
6 | ACCESSIBLE PARKING SIGN  
1/2" = 1'-0"



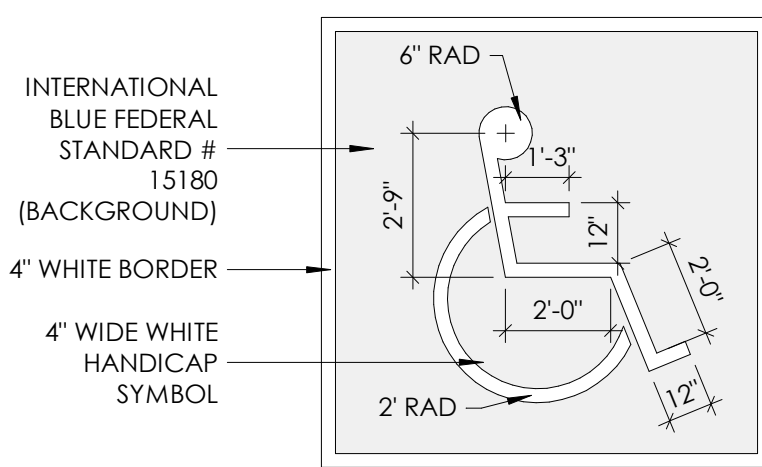
7 | STANDARD DUMPSTER GATE - END POST DETAIL  
1/2" = 1'-0"



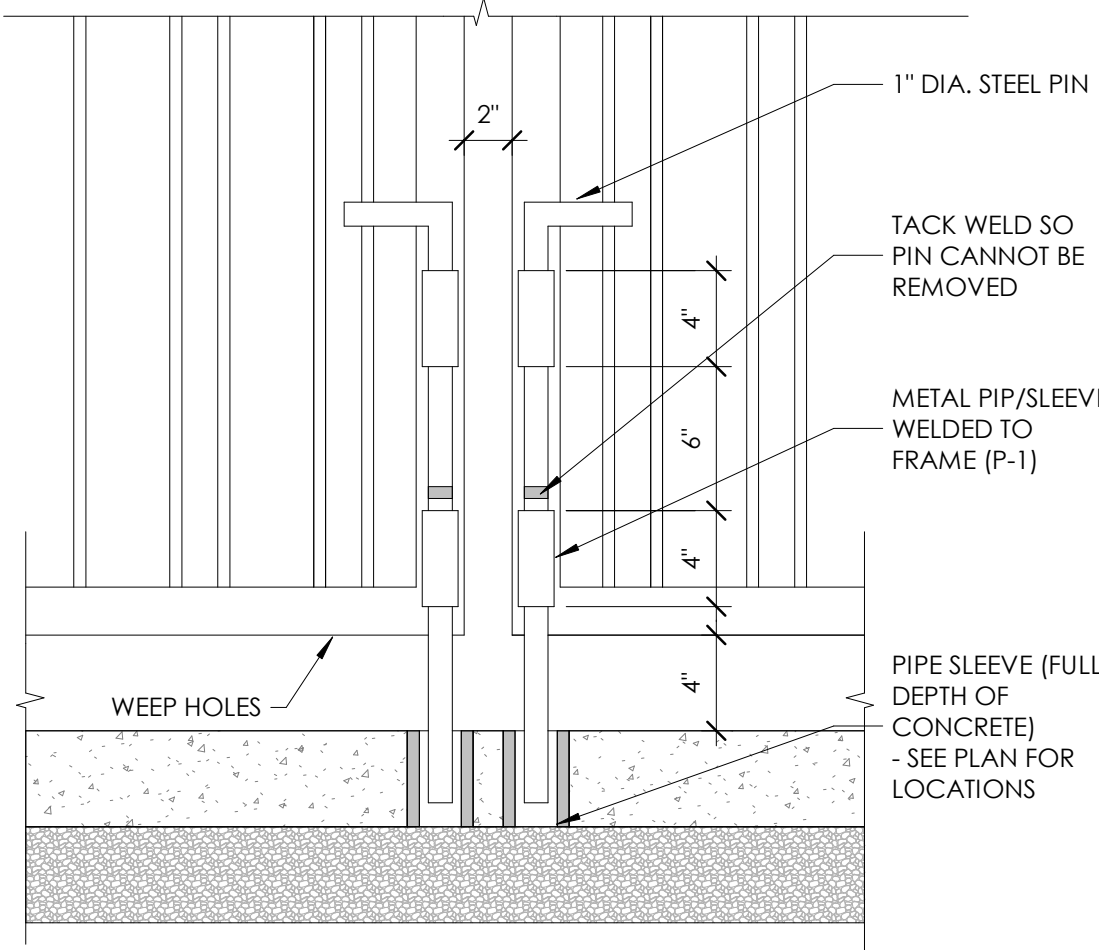
1 | BOLLARD CROSS SECTION  
3" = 1'-0"



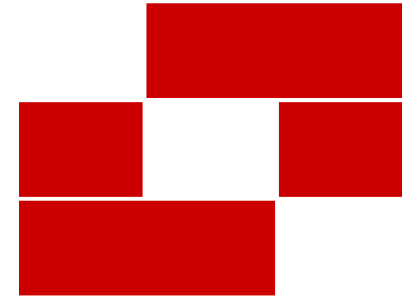
2 | BOLLARD SECTION  
1/2" = 1'-0"



3 | ADA STRIPING SYMBOL  
1 1/2" = 1'-0"



4 | DUMPSTER GATE PIN  
1 1/2" = 1'-0"



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revisions: 

num.	description	date

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project status: PERMIT SET

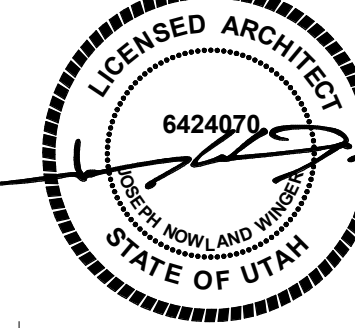
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current as of: 3/25/2025 11:21:55 AM

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project information:

HIGHLAND TOWN PLAZA  
for  
WPI ENTERPRISES  
10969 NORTH TOWN CENTER  
BOULEVARD  
HIGHLAND UT

sheet title:

SITE DETAILS

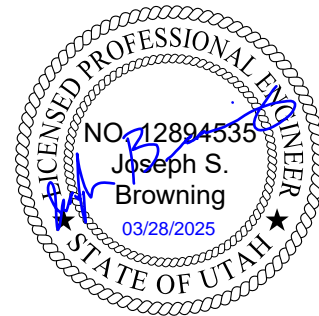
sheet number:

AS501



## MEMORANDUM

Date: March 28, 2025  
To: Highland City  
From: Hales Engineering



**Subject: Highland Mo' Bettahs Trip Generation Study**

UT24-2937

### Introduction

This memorandum discusses the trip generation study completed for the proposed Mo' Bettahs restaurant development in Highland, Utah. A vicinity map of the proposed development is shown in Figure 1.



**Figure 1: Vicinity map of the proposed development in Highland, Utah**

## Background

The proposed development is located near the southwest corner of the Town Center Boulevard / SR-92 intersection in Highland, Utah. The project includes a restaurant of approximately 2,555 square feet with a drive-through. A site plan for the proposed development is included in Appendix A.

## Trip Generation

Trip generation for the development was calculated using trip generation rates published in the Institute of Transportation Engineers (ITE) *Trip Generation (11<sup>th</sup> Edition, 2021)*. Trip generation for the proposed project is included in Table 1.

As shown in Table 1, it is anticipated that the proposed development will generate approximately 150 trips on an average weekday, and 20 new trips during the evening peak hour. It is not anticipated that the development will generate trips during the morning peak hour as other locations are not open during that time.

**Table 1: Trip Generation**

Trip Generation Highland - Mo' Bettahs TGS										
	Land Use <sup>1</sup>	# of Units	Unit Type	Trip Generation			Reductions	New Trips		
				Total	% In	% Out	Pass-by	In	Out	Total
Weekday Daily										
	Fast Casual Restaurant (930)	2.56	KSF	250	50%	50%	40%	75	75	150
PM Peak Hour										
	Fast Casual Restaurant (930)	2.56	KSF	34	55%	45%	40%	11	9	20
1. Land Use Code from the Institute of Transportation Engineers (ITE) <i>Trip Generation</i> ,11th Edition,2021. SOURCE: Hales Engineering, January 2025										

Based on ITE pass-by trip data, the average pass-by percentage for a fast-food restaurant with a drive-through window is 55% during the evening peak hour. A rounded down pass-by rate of 40% was used for the evening peak hour, to be conservative. It is anticipated that there will be 34 evening peak hour trips that use the project access points, 20 of which will be new trips on the roadways.

## Circulation and Queueing

The Mo' Bettahs restaurant will have a pick-up window on the north side of the building. The window will not be a place to make orders. The pick-up orders will be made before arriving at the restaurant via online orders. Although the queue storage has space for only a few vehicles, it is not anticipated to spill into the vehicle circulation area due to the purpose of the pick-up window.

Vehicles will exit the pick-up lane and exit the site without interfering with the circulation of the Wendy's drive-through. Any future tenants to this building should also agree to follow this circulation pattern and pick-up window arrangement as it is not anticipated that there would be sufficient storage for a traditional drive/through model.

## **Conclusions**

The findings of this study are as follows:

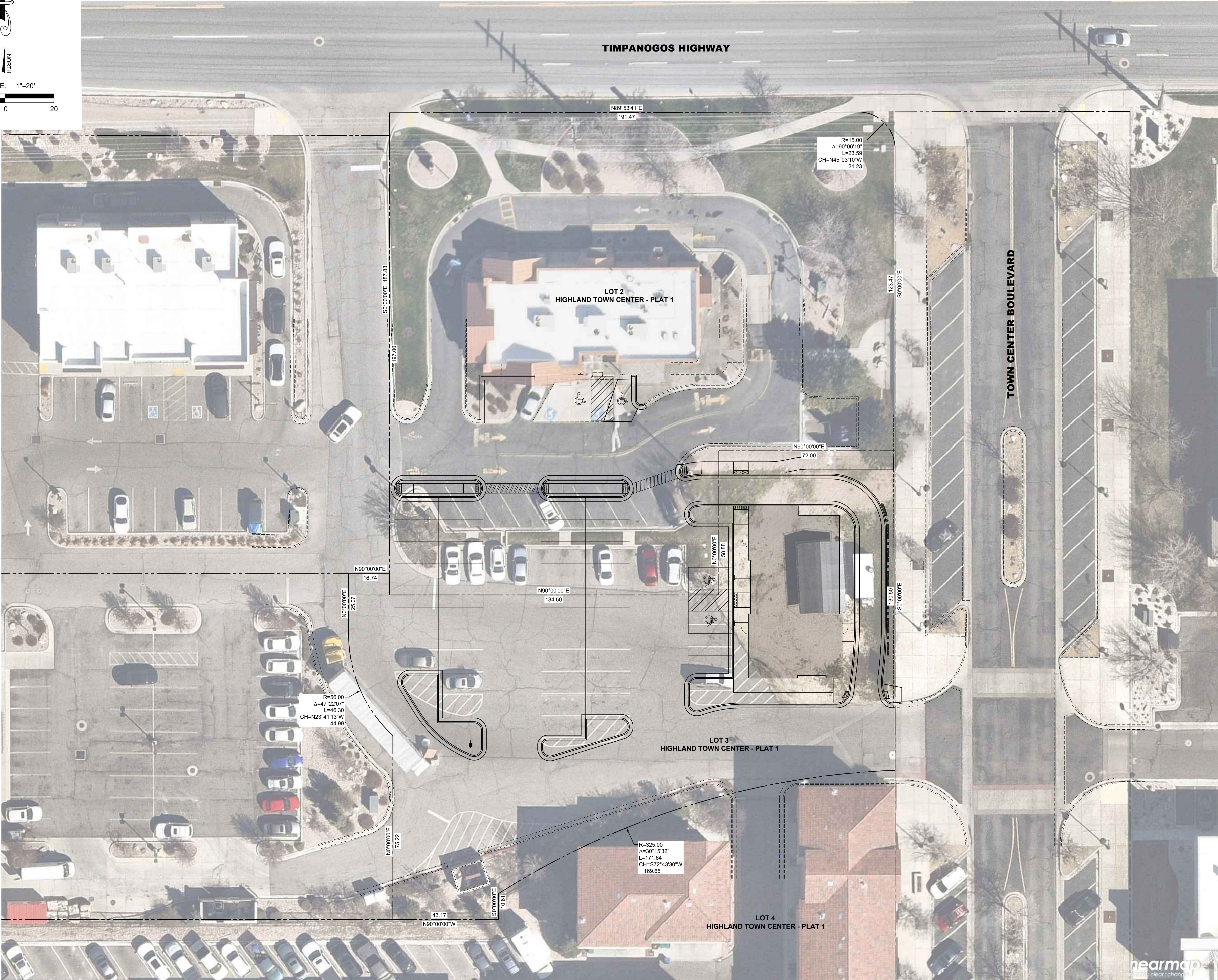
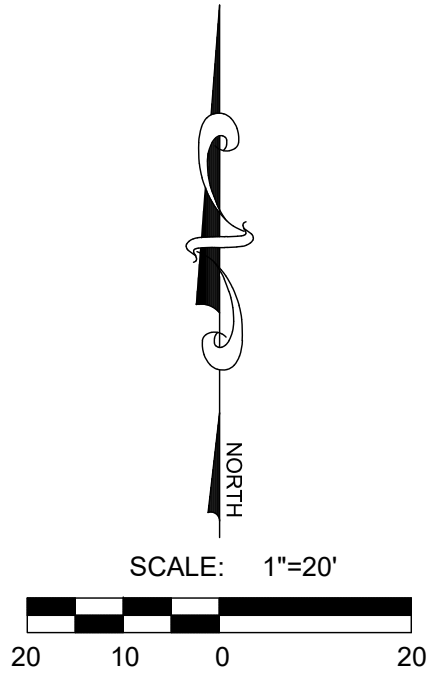
- The proposed development includes a restaurant of approximately 2,555 square feet with a drive-through.
- It is anticipated that the proposed project will generate approximately 150 new trips on an average weekday, including 20 new trips during the evening peak hour.
- The pick-up window is not anticipated to interfere with the site circulation on the site. Future tenants of the building will need to agree to follow a similar pickup-style arrangement.

If you have any questions regarding this memorandum, please contact us at 801.766.4343.

# APPENDIX A

## Site Plan





VICINITY MAP

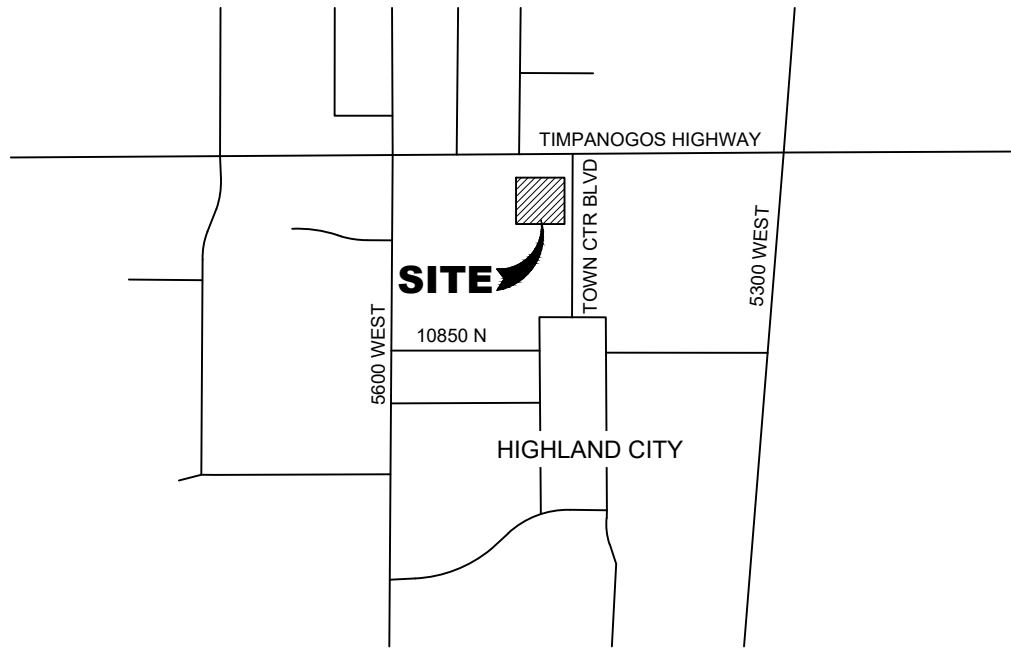


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601	DETAILS
602	DETAILS - STORMBRIXX

TABULATIONS

EXISTING ZONE:	TOWN CENTER OVERLAY
SITE AREA:	1.419 ACRES
IMPROVEMENT AREA:	10.58 ACRES
BUILDING AREA:	22,552 S.F.
PARKING REQUIRED	
REGULAR STALLS:	XXX STALLS
HANDICAP STALLS:	XXX STALLS
PARKING PROVIDED	
REGULAR STALLS:	47 STALLS
HANDICAP STALLS:	4 STALLS

LEGAL DESCRIPTION

LOT 3, HIGHLAND TOWN PLAZA SUBDIVISION & LOT 2 HIGHLAND TOWN CENTER, PLAT 1, AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER.

LEGEND

EXISTING	PROPOSED	
---	---	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
EX-BB	BB	SEWER PIPE
EX-SB	SB	SEWER MANHOLE
EX-SB	SB	SEWER SERVICE
EX-SB	SB	STORM DRAIN PIPE (RCP)
EX-SB	SB	STORM DRAIN MANHOLE
EX-SB	SB	CURB INLET
EX-SB	SB	COMBO BOX
EX-SB	SB	4x4' CATCH BASIN
EX-SB	SB	3x3' CATCH BASIN
EX-SB	SB	INLET/OUTLET W/ GRATE
EX-SB	SB	CULINARY WATER PIPE
EX-SB	SB	45" PIPE ELBOW (W)
EX-SB	SB	22.5" PIPE ELBOW (W)
EX-SB	SB	11.25" PIPE ELBOW (W)
EX-SB	SB	FIRE HYDRANT
EX-SB	SB	SERVICE & METER (W)
EX-SB	SB	PRV (W)
EX-SB	SB	AIR-VAC VALVE (W)
EX-SB	SB	BLOW-OFF (W)
EX-SB	SB	TEMP. BLOW-OFF (W)
EX-SB	SB	VALVE (W & SW)
EX-SB	SB	TEE
EX-SB	SB	CROSS
EX-SB	SB	PRESSURIZED IRRIGATION
EX-SB	SB	45" PIPE ELBOW (PI)
EX-SB	SB	22.5" PIPE ELBOW (PI)
EX-SB	SB	11.25" PIPE ELBOW (PI)
EX-SB	SB	SINGLE SW SERVICE
EX-SB	SB	DUAL SW SERVICE
EX-SB	SB	AIR-VAC VALVE (PI)
EX-SB	SB	BLOW-OFF (SW)
EX-SB	SB	TEMP. BLOW-OFF (PI)
EX-SB	SB	STOP SIGN
EX-SB	SB	STREET SIGN
EX-SB	SB	MONUMENT
EX-SB	SB	FENCE
EX-SB	SB	STREET LIGHT
EX-SB	SB	POWER POLE
EX-SB	SB	DITCH
EX-SB	SB	FIBER OPTIC
EX-SB	SB	GAS
EX-SB	SB	OVERHEAD POWER
EX-SB	SB	FLOW ARROW
EX-SB	SB	CONTOURS

DEVELOPER / OWNER

WPI ENTERPRISES INC.  
5455 WEST 11000 NORTH SUITE 202  
HIGHLAND, UT 84003  
(801) 467-7000

ENGINEER

LEI CONSULTING ENGINEERS  
3302 NORTH MAIN  
SPANISH FORK, UTAH 84660  
(801) 798-0555

PROJECT NAME

WPI HIGHLAND



CIVIL  
STRUCTURAL  
SURVEY

3302 N. Main Street  
Spanish Fork, UT 84660  
Phone: 801.798.0555  
Fax: 801.798.9393  
office@lei-eng.com  
www.lei-eng.com

NOT FOR  
CONSTRUCTION

HIGHLAND TOWN PLAZA - LOT 3  
10969 NORTH TOWN CENTER BOULEVARD, HIGHLAND, UTAH

COVER

REVISIONS

1	
2	
3	
4	
5	
6	

LEI PROJECT #:

2024-0026

DRAWN BY:

RWH

DESIGNED BY:

BTG

SCALE:

1"=20'

DATE:

03/04/2024

SHEET

101