

PLANNING COMMISSION

Tuesday, August 26, 2025, at 7:00 PM Council Chambers at City Hall Building and Online 110 S. Center Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- In Person The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- YouTube Live Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at https://www.youtube.com/@santaquincity or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

WELCOME

INVOCATION/INSPIRATIONAL THOUGHT

PLEDGE OF ALLEGIANCE

ORDER OF AGENDA ITEMS

PUBLIC FORUM

DISCUSSION & POSSIBLE ACTION

1. PUBLIC HEARING: Major Home Occupation at 275 W. Saddlebrook Drive

The Planning Commission will hold a public hearing to receive input regarding a proposed Conditional Use Permit for a Major Home Occupation at 275 W. Saddlebrook Drive. (The Oaks Dance Studio)

2. PUBLIC HEARING: Major Home Occupation at 292 W. 500 N.

The Planning Commission will hold a public hearing to receive input regarding a proposed Conditional Use Permit for a Major Home Occupation at 292 W. 500 N. (The Oaks Dance Studio)

3. PUBLIC HEARING: General Plan Amendment

The Planning Commission will hold a public hearing to receive input regarding a General Plan amendment that addresses changes to the land use map in the northeast quadrant of Santaguin City.

4. Bella Vista Preliminary Subdivision Plan

The Planning Commission will conduct a preliminary review of a 122-lot subdivision located at approximately 400 E. 610 N.

OTHER BUSINESS

5. Meeting Minutes Approval

August 12, 2025

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.gov, in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, https://www.utah.gov/pmn/index.html. A copy of the notice may also be requested by calling (801)754-1904.

BY:

Amalie R. Ottley, City Recorder

MEMO



To: Planning Commission

From: Aspen Stevenson, Planner

Date: August 26, 2025

Re: The Oaks Dance Studios Major Home Occupations & Conditional Use Permits

Oakley Johnson submitted a Major Home Occupation and Conditional Use Permit Application for a two dance studios located at 275 W Saddlebrook Drive and 292 W 500 N. The applicant proposes to operate a few dance classes capped at 10 students per class and no more than 24 students per day

between 12 pm-8 pm. Any child-oriented home occupation that has more than 8 children is required to get a major home occupation permit and must follow Santaquin City Code (SCC) 10.40.060 and 10.40.040. Major home occupations are subject to Conditional Use Permit approval from the Planning

Commission and require a public hearing.

This review is for the Planning Commission to determine whether or not all requirements found in SCC 10.40.060 and 10.40.040 are being followed and a Conditional Use Permit can be granted. A Conditional Use is administrative decision and if all code requirements are being met, the permit needs to be approved. A business license will still need to be acquired, and all required departments will need to review and approve the business license before it can be issued.

Motion: "Motion to (approve/deny) the conditional use permit for the proposed *The Oaks Dance Studio* at 275 W Saddlebrook Dr and 292 W 500 N with the following conditions:

- All code requirements in Santaquin City Code 10.40.060 and 10.40.040 be met.
- A Business License be obtained before operation.

Attachments:

- 1. Vicinity Map
- Applicant's Letter
- 3. Santaquin City Code 10.40.060 and 10.40.040

Vicinity Map



292 W 500 N



275 W Saddlebrook Dr. Santaguin - Business Plan Santaguin City Major Home Occupation Guidelines Business Plan to Comply with City Guidelines Child group activity home occupations shall comply with 1. Dance classes are capped out at 10 students per class and we will stay at or below the the following conditions: maximum of 24 children per day. 1. Maximum Children Permitted: The following maximum numbers include the licensee's and any employees' children if they are under twelve (12) years of age and are under the care of the licensee at the time the home occupation is conducted: a. Child group activities may not exceed twelve (12) students/children per session and a maximum of twenty-four (24) students/children per day. A maximum of two (2) sessions per day may be permitted. There shall be a minimum 30-minute break between the sessions. All classes are located inside the dance studio Yard Requirements: All nonbusiness related structures or on premises garage. Children will be accompanied outside of the hazards are to be made inaccessible to the children dance room after classes to make sure they stay attending the daycare facility. safe around the road when being picked up. There are no other hazards on the property. All outdoor play areas must be enclosed by a fence at least six feet (6') in height. This dance studio is a group activity that would allow Traffic: 48 maximum vehicle stops. We'll maintain this All vehicular stops for the dropping off or picking up of children shall be done with the passenger vehicle limit by limiting our enrollment at or below 24 side of the vehicle toward the residence. students a day. We're planning on many students being able to walk or ride bikes to class but even with A traffic circulation and safety plan must be submitted to, reviewed and approved by the city. every student being dropped off and picked up, the At least one adjacent residential street must be of car stops will remain below 48 stops. Traffic circulation plan included below. sufficient width to accommodate the increased average daily vehicular traffic (ADT) counts caused by the business. The number of business-related vehicle stops at the home per day shall not exceed forty-eight (48) (e.g., dropping off and picking up a child would count as 2 vehicle stops). Location Requirements: No child group activity home There are no child group activities within 300 feet of occupation, which requires a conditional use permit, may the dance studio. be operated within three hundred feet (300'), as measured from property line to property line, of another child group activity home occupation operating under a conditional use permit. 1. Licensure: Copies of all licenses required by the I've included all state required licenses and am state shall be provided to the city for verification happy to provide any additional information on state standards. of compliance with all state standards.

Traffic Circulation Plan

Site Plan for Pickup and Drop Off:

Parents will be instructed to come from the south on N 300 W St. and pull up along the side of the road. Students will exit and enter the vehicle on the passenger side onto the sidewalk where they can walk into the studio. This will ensure that the flow of traffic remains in one direction and flows smoothly. We also have an available parking spot on our driveway for situations where a parent needs to come in with their student.

- We'll have no more than 10 students in a dance class at one time. We'll encourage students who are close enough to walk to classes as well as further students to carpool together to reduce car stops.
- This community dance studio is located at 292 W 500 N St, Santaquin, UT 84655. The flow of traffic is pictured below.



Traffic Circulation Plan

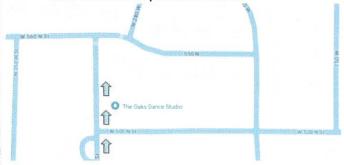
292 W 500 N Santaguin - Business Plan

Santaguin City Major Home Occupation Guidelines Business Plan to Comply with City Guidelines Child group activity home occupations shall comply with 1. Dance classes are capped out at 10 students the following conditions: per class and we will stay at or below the 1. Maximum Children Permitted: The following maximum of 24 children per day. maximum numbers include the licensee's and any employees' children if they are under twelve (12) years of age and are under the care of the licensee at the time the home occupation is conducted: a. Child group activities may not exceed twelve (12) students/children per session and a maximum of twenty-four (24) students/children per day. A maximum of two (2) sessions per day may be permitted. There shall be a minimum 30-minute break between the two sessions. Yard Requirements: All classes are located inside the dance studio All nonbusiness related structures or on premises garage. Children will be accompanied outside of the hazards are to be made inaccessible to the children dance room after classes to make sure they stay attending the daycare facility. safe around the road when being picked up. There All outdoor play areas must be enclosed by a are no other hazards on the property. fence at least six feet (6') in height. Traffic: This dance studio is a group activity that would allow 48 maximum vehicle stops. We'll maintain this All vehicular stops for the dropping off or picking vehicle limit by limiting our enrollment at or below 24 up of children shall be done with the passenger students a day. We're planning on many students side of the vehicle toward the residence. A traffic circulation and safety plan must be being able to walk or ride bikes to class but even with every student being dropped off and picked up, the submitted to, reviewed and approved by the city. car stops will remain below 48 stops. Traffic At least one adjacent residential street must be of sufficient width to accommodate the increased circulation plan included below. average daily vehicular traffic (ADT) counts caused by the business. The number of business-related vehicle stops at the home per day shall not exceed forty-eight (48) (e.g., dropping off and picking up a child would count as 2 vehicle stops). There are no child group activities within 300 feet of Location Requirements: No child group activity home occupation, which requires a conditional use permit, may the dance studio. be operated within three hundred feet (300'), as measured from property line to property line, of another child group activity home occupation operating under a conditional use permit. I've included all state required licenses and am 1. Licensure: Copies of all licenses required by the state shall be provided to the city for verification happy to provide any additional information on state of compliance with all state standards. standards.

Site Plan for Pickup and Drop Off:

Parents will be instructed to come from the south on N 300 W St. and pull up along the side of the road. Students will exit and enter the vehicle on the passenger side onto the sidewalk where they can walk into the studio. This will ensure that the flow of traffic remains in one direction and flows smoothly. We also have an available parking spot on our driveway for situations where a parent needs to come in with their student.

- We'll have no more than 10 students in a dance class at one time. We'll encourage students who are close enough to walk to classes as well as further students to carpool together to reduce car stops.
- This community dance studio is located at 292 W 500 N St, Santaquin, UT 84655. The flow of traffic is pictured below.



10.40.060 MAJOR HOME OCCUPATIONS

Major home occupations must comply with all of the standards outlined in SCC 10.40.040 and where possible the qualifications of SCC 10.40.050. Major home occupations must be reviewed by the planning commission and granted a conditional use permit before pursuing a business license through the city. Each major home occupation is subject to the pertinent conditions listed below:

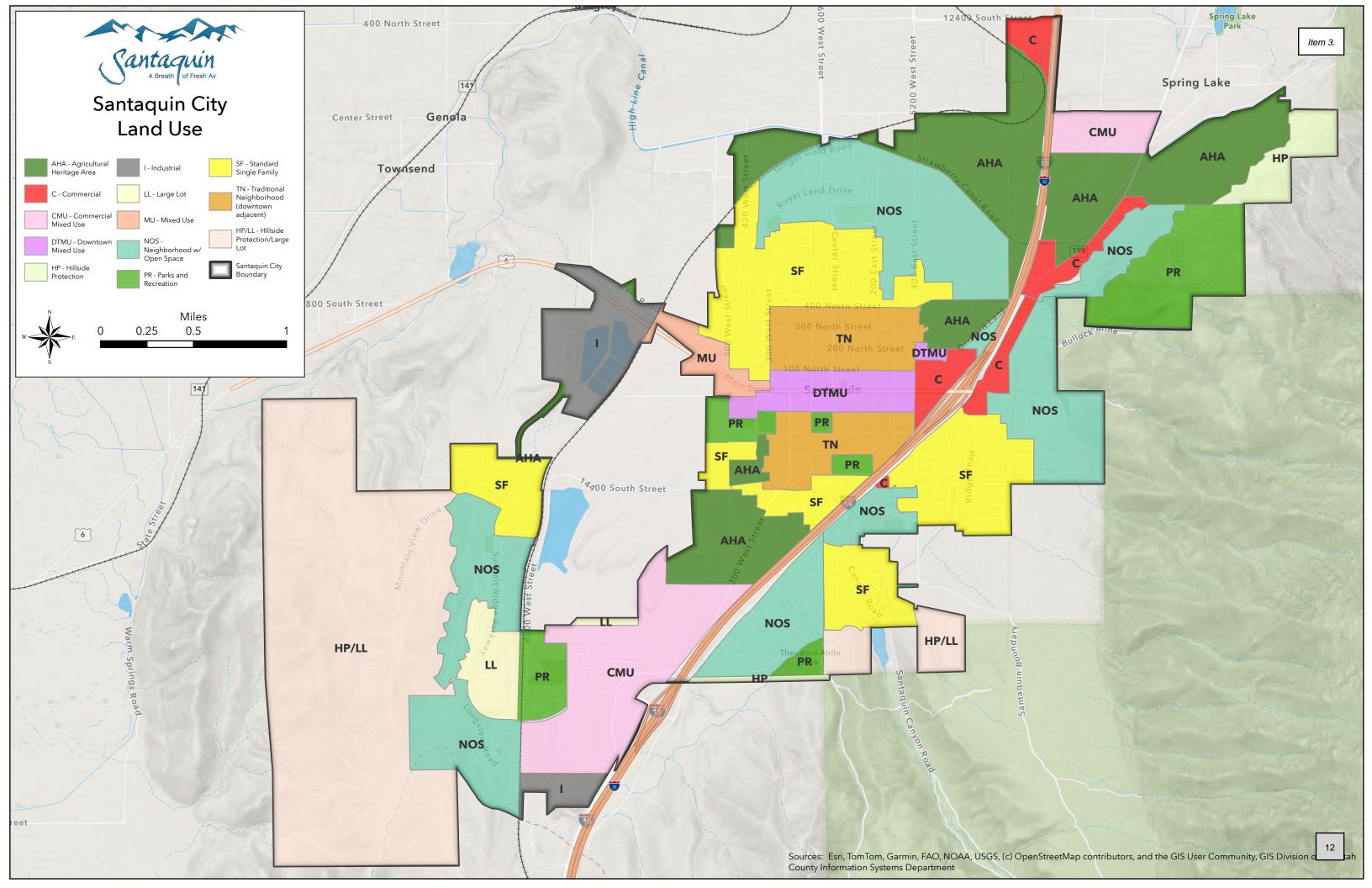
- 1. General conditions for all major home occupations:
 - Major home occupations may only be conducted from property having a detached singlefamily dwelling,
 - 2. The conditional use permit and the home occupation business license shall be maintained in good standing for the entire period that business is being conducted,
 - 3. Conditional use permits can be revoked based upon unresolved legitimate complaints as determined by the city zoning administrator.
- 2. Child group activity home occupations shall comply with the following conditions:
 - 1. Maximum Children Permitted: The following maximum numbers include the licensee's and any employees' children if they are under twelve (12) years of age and are under the care of the licensee at the time the home occupation is conducted:
 - 1. Child group activities may not exceed twelve (12) students/children per session and a maximum of twenty-four (24) students/children per day. A maximum of two (2) sessions per day may be permitted. There shall be a minimum 30-minute break between the two sessions.
 - 2. Yard Requirements:
 - 1. All nonbusiness related structures or on premises hazards are to be made inaccessible to the children attending the daycare facility.
 - 2. All outdoor play areas must be enclosed by a fence at least six feet (6') in height.
 - Traffic:
 - 1. All vehicular stops for the dropping off or picking up of children shall be done with the passenger side of the vehicle toward the residence.
 - 2. A traffic circulation and safety plan must be submitted to, reviewed and approved by the city.
 - 3. At least one adjacent residential street must be of sufficient width to accommodate the increased average daily vehicular traffic (ADT) counts caused by the business.
 - The number of business-related vehicle stops at the home per day shall not exceed forty-eight (48) (e.g., dropping off and picking up a child would count as 2 vehicle stops).
 - 4. Location Requirements: No child group activity home occupation, which requires a conditional use permit, may be operated within three hundred feet (300'), as measured from property line to property line, of another child group activity home occupation operating under a conditional use permit.
 - 5. Licensure: Copies of all licenses required by the state shall be provided to the city for verification of compliance with all state standards.
- 3. Businesses not conducted within a home, which must obtain a conditional use permit, and which may include welding, carpentry, sheet metal work, furniture manufacturing, upholstery and other similar manufacturing activities, must comply with the following:
 - 1. Machinery Operation: No machinery may be operated between the hours of seven o'clock (7:00) P.M. and eight o'clock (8:00) A.M.
 - 2. Noise Levels:

- 1. No power equipment which emits a sound pressure level in excess of seventy-four (74) dB, as measured at a distance of fifty feet (50') (15 m) from such machinery, shall be used.
- 2. No equipment shall cause a noise disturbance for a consecutive period longer than fifteen (15) minutes or for more than thirty (30) minutes per hour.
- 3. Business machinery noise levels are not to exceed fifty-five (55) dB when measured at the closest property boundary.
- 3. Storage Qualifications: All storage qualifications listed in SCC 10.40.050 must be met.
- 4. Designated Areas: The applicant shall designate the areas of the home, attached/detached garage or accessory structure that will be used for the home occupation and, if approved, the home occupation may be conducted only in the designated areas. (Ord. 08-01-2006, 8-17-2006, eff. 8-17-2006)
- 4. Businesses having more than four (4) business related vehicles parked or stored at the home at one time or which utilize a commercial vehicle that exceeds the maximum height, weight or length requirements established in SCC 10.40.050, must comply with the following conditions:
 - 1. All business related commercial vehicles are to be parked on the property and behind the front of the home when parked on the property.
 - 2. The vehicles and attachments are to be located behind a six foot (6') tall opaque fence, or other obstruction, so as to minimize their view from the front property line.
 - 3. Proof of proper CDL licensing must be provided with each license renewal.
 - 4. No maintenance of vehicles exceeding sixteen thousand (16,000) GVW may occur at the home unless conducted within a fully enclosed permanent structure compliant with building codes. (Ord. 02-03-2017, 2-1-2017, eff. 2-2-2017)
- 5. Businesses entailing food or beverage preparation, storage or catering must comply with the following conditions:
 - Obtain all authorizations required by a state or county department or agency prior to approval of a business license and maintain all such authorizations for the duration of the business.
 - 2. Compliance with all business related vehicle qualifications listed in SCC 10.40.050 must be met
- 6. Businesses which have operating hours past eight o'clock (8:00) P.M. and before six o'clock (6:00) A.M. must comply with the following:
 - 1. Applicants must show that any operation conducted after eight o'clock (8:00) P.M. and before six o'clock (6:00) A.M. will be compatible with like uses and operations found in the residential neighborhoods between such hours.
 - All business activities are to be conducted within closed doors between eight o'clock (8:00)
 P.M. and six o'clock (6:00)
 A.M. unless shown to be compatible with like uses and operations found in the residential neighborhood between such hours.
 - Any business lighting shall be shielded and directed downward away from adjoining properties or contained within the building from which it emanates. (Ord. 08-01-2006, 8-17-2006, eff. 8-17-2006)

10.40.040 STANDARDS FOR ALL HOME OCCUPATIONS

All home occupations must comply with the following "standards" at all times. Bed and breakfast homes are regulated by SCC 10.40.080.

- 1. Permitted Or Conditional Use: Home occupations must be a permitted or conditional use in the zone in which the home occupation is to be located and not be in conflict with the objectives and characteristics of the same zone.
- Accessory Use On The Property: The home occupation shall be clearly incidental and secondary to the primary residential use of the property and dwelling.
- 3. Bona Fide Resident: The home occupation business shall be owned by and carried on only by a resident of the home for which a certificate of occupancy has been issued.
- 4. Satellite Offices Not Allowed: Established or workstation business activities for an off premises employer shall not be conducted at the home of an employee by other employees of the same business who are not residents of the home.
- 5. Parking: All business related vehicles, which park at the location of the home occupation, must be legally parked, either in conventional parking spaces on the lot or adjacent to the frontage of the lot. No parking from the home occupation shall be permitted in front of adjacent lots unless approved by the city as part of a traffic circulation and safety plan. Required parking for resident vehicles shall be available at the close of business each day.
- 6. Signs: Signs are limited to one nonanimated sign not larger in area than two (2) square feet. The sign shall not be directly or internally illuminated.
- 7. External Appearance: Any exterior alterations to the residence to accommodate the home occupation shall maintain the character and appearance of the residential dwelling in which it is located. Furthermore, the business operation shall not negatively affect the physical appearance, traffic, and other activities of the surrounding neighborhood and not depreciate surrounding property values.
- 8. Storage Areas: Home occupations are not permitted to store materials or products outside of the dwelling unit, except in a city approved and permitted accessory building.
- 9. Conformity With Safety Codes: No hazardous materials or equipment may be used in the home occupation, including, but not limited to, anything flammable or unsafe that is not customary to the home in which the occupation is located. There shall be complete conformity with fire, building, plumbing, electrical and all other city, county, state and federal codes.
- 10. Neighborhood Disruptions Not Permitted: The home occupation shall not disrupt the peace, quiet and domestic tranquility of the neighborhood nor emit noise, odor, dust, fumes, vibration, smoke, electrical interference (including interferences with radio and television reception), or any other interference with the residential use of adjacent properties.
- 11. Renter/Owner Responsibility: If the applicant for a home occupation license rents or leases the property wherein the home occupation is intended to be conducted, the applicant must provide a letter of acknowledgment and consent from the property owner at the time the application is submitted to the community development department. (Ord. 08-01-2006, 8-17-2006, eff. 8-17-2006)



SITE DEVELOPMENT CONSTRUCTION PLANS

BELLA VISTA SUBDIVISION

LOCATION

SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANTAQUIN, UTAH COUNTY, UTAH

> PRELIMINARY AUGUST 7, 2025



section line and N 00°00'03" W 447.82 feet from the West Quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, and running thence East 119.26 feet, to a point on a 331.00' radius curve to the right, thence along arc of said curve 557.77 feet through a delta of 10°0'00" (chord bears S 85°00'00" E 57.70 feet), thence S 80°00'00" E 169.62 feet to a point on a 269.00' radius curve to the left, thence along arc of said curve 48.47' through a delta of 10°19'23" (chord bears S 85°09'42" E 48.40 feet), thence N 89°40'37" E 15.42 feet, thence S 00°19'44" E 62.02 feet, thence N 89°40'16" E 181.50 feet, thence S 00°19'44" E 2,313.69 feet, thence S 88°18'35" W 587.45 feet, thence S 01°48'51" W 203.32 feet, thence West 396.35 feet, thence N 00°04'24" W 171.75 feet, thence N 23°19'12" W 60.95 feet, thence N 00°04'26" W 111.01 feet, thence N 86°41'06" E 100.92 feet, thence N 00°01'56" E 593.22 feet, thence N 00°01'53 E 362.01 feet, thence N 89°19'18" E 156.57 feet, thence N 89°40'16" E 5.90 feet, thence N 00°40'59" W 238.01 feet, thence N 88°59'59" E 161.72 feet, thence N 01°00'01" W 124.53 feet, thence N 07°35'03" W 64.42 feet, thence N 00°00'03" W 902.78 feet to the point of BEGINNING. Parcel contains 43.38 ac.

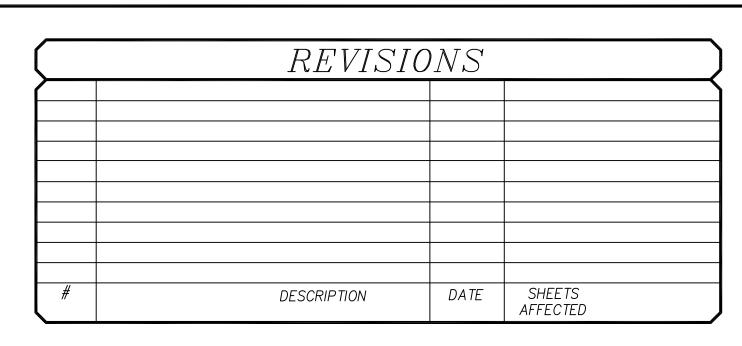
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

All recommendations made in a pertinent geotechnical report/study shall be followed explicitly during construction of buildings and site

Bella Vista not to be constructed until after Stratton Meadows Subdivision. It may be constructed concurrently with Stratton Meadows Subdivision.

ZONE	R-10
LOTS	119
ACREAGE	42.8 ac.
ACREAGE LOTS	30.49 ac.
ACREAGE ROW	12.31 ac.
DENSITY	2.78 lots/ac.

	LEC	GEND							
	LEGEND								
SEWER LINE	SEW SEWLAT	XSEW	EXISTING SEWER LINE						
	Sew Lai	XSD	EXISTING STORM LINE EXISTING DRAINAGE SWELL						
SEWER APPARATUS	MANHOLE (PLAN) 4' OR 5' SEWER	XWTR	EXISTING WATER LINE						
	MANHOLE (PROFILE)	XIRR	EXISTING IRRIGATION LINE						
STORM LINE	—SD—SD—SD—	x	EXISTING FENCE EXISTING CONTOURS (2FT)						
DRAINAGE SWELL	COB SD BOX 7		-10' FINISH CONTOUR						
	□ Eso Box		2' FINISH CONTOUR						
STORM APPARATUS	сомво sd вох		10' FINISH CONTOUR PHASE LINE						
	COB, COMBO, CB IN (PROFILE)		CURB & GUTTER						
	CULVERT WITH HEADWALL								
	SDISD		PROPOSED TRAIL						
WATER LINE	WTR		PUE						
WATER APPARATUS	BEND CROSS VALVE TEE	- · - · -	SETBACK						
FIDE LIVED ANT			30% SLOPE AND GREATER						
FIRE HYDRANT	EXISTING FIRE HYDRANT		COLUMN TO STEP OF THE STEP OF						
IRRIGATION LINE	IRR	***************************************	PROPOSED OPEN SPACE						
IRRIGATION APPARATUS	EEND CROSS VALVE TEE		FINOFOSED OFEN SPACE						
DRAINAGE AREA (DRAINAGE REPORT)		\leftarrow	DRAINAGE DIRECTION						
(DRAINAGE REPORT)			DRAINAGE DIRECTION						

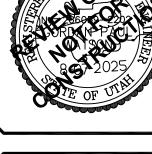


	INDEX OF SHEETS
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY
	PLATS
2	EXISTING CONDITIONS/DEMOLITION PLAN
3A	OVERALL SITE PLAN
3B	OVERALL SITE PLAN DIMENSIONS
4	OVERALL PHASE PLAN
G1-G7	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
DRAIN	SITE DRAINAGE PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	ROYAL LAND DRIVE
PP2	300 EAST STREET
PP3	300 EAST STREET
PP4	300 EAST STREET
PP5	360 EAST STREET
PP6	360 EAST STREET
PP7	360 EAST STREET
PP8	360 EAST STREET
PP9	610 NORTH/530 NORTH STREET
PP10	610 NORTH STREET
PP11	250 EAST STREET
PP12	680 NORTH 710 NORTH STREET
PP13	400 EAST STREET
PP14	400 EAST STREET
PP15	800 NORTH STREET
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS

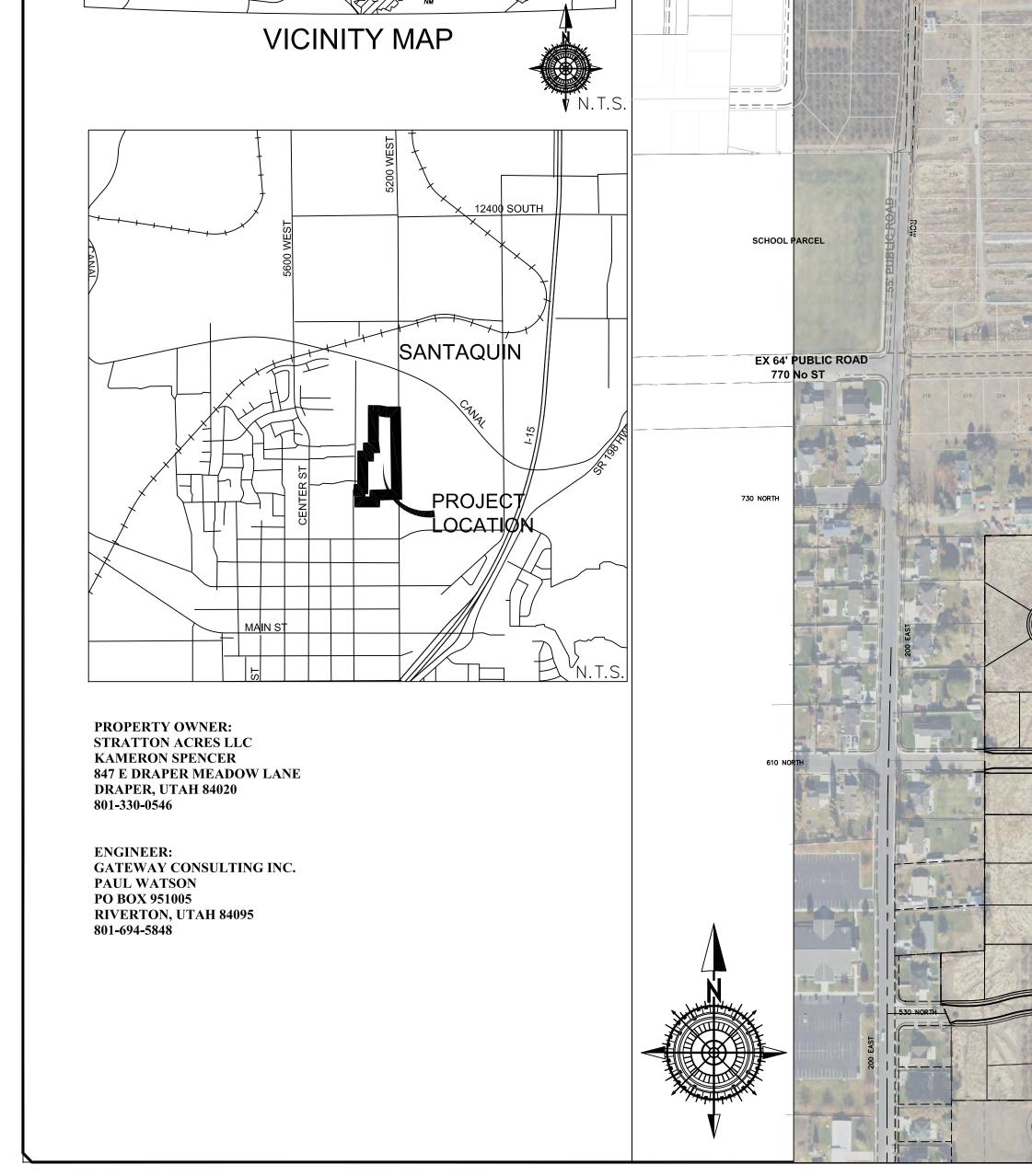


PH: (801) 694-5848 paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING CONSTRUCTION MANAGEMENT







LOCATION

N.T.S.

Construction Notes

1. All work to be done in conformity to SANTAQUIN CITY standards and specification and as directed by the **SANTAQUIN CITY engineer or his representatives.** 2. All sewer and water system construction shall be in accordance with SANTAQUIN CITY standards and specifications. Contractor to obtain current standards from the SANTAQUIN CITY.

3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities. 4. Contractor responsible for protection of all utilities shown or not shown.

5. Contractor shall be responsible to obtain and pay for necessary permits.

6. Contractors shall attend all pre-construction conferences.

7. Contractor shall be responsible for all public safety and OSHA standards.

8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines. 9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with **SANTAQUIN CITY standards.**

10. All culinary water lines shall be per SANTAQUIN CITY standards.

11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets. 12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 12 inches from the waterline. 13. All ductile iron valves, hydrants, and buried fittings shall be wrapped with 8 mil thick polyethylene film tube

or sheet. The film shall be held in place by and approved adhesive tape, equal to scotchrap no. 50. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings.

14. Sanitary sewer laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted green.

15. All sewer laterals will be marked with a "S" stamped into the curb above. 16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12"

painted blue. 17. All culinary water laterals will be marked with a "W" on the curb above.

18. Contractor to verity as build sewer laterals for building FF design. Existing sewer lateral to govern. MISC CONSTRUCTION NOTES

GENERAL NOTES:

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

SANTAQUIN CITY STANDARD SPECIFICATIONS, LATEST EDITION, AND ALL AMENDMENTS THERETO

UNLESS OTHERWISE STATED. TO DATE. AND THE UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION (UPW), THE M.U.T.C.D. MANUAL FOR STRIPING AND LAND DISTURBANCE, AND THE MANUAL FOR EROSION CONTROL, WHERE APPLICABLE,

PRIOR TO PERFORMING ANY WORK. THE CONTRACTOR SHALL CONTACT SANTAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.

MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING 2) CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES THEIR BID. OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.

4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION. OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. FIRST QUALITY ARE TO BE USED.

5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL 12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT 13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. 14) THE CONTRACTOR AGREES THAT: CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES. WHICH MAY CREATE DURING THE CONSTRUCTION PROGRAM LINUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS. PROPERTY AND THE ENVIRONMENT CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY. EASEMENTS. AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.

7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SANTAQUIN CITY AND UDOT CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8) THE CONTRACTOR SHALL. AT THE TIME OF BIDDING. AND THROUGHOUT THE PERIOD OF THE CONTRACT. BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.

THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT OF THE OWNER OR THE ENGINEER. THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS PI ANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN OPERATIONS. KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR. OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS I) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL

OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

LOSS OR DISTURBANCE.

ORDERLY MANNER AT ALL TIMES

THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.

B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND

THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS. EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.

THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.

UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND. INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY 9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK

> 16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.

17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN. WATER. AND ELECTROLIERS MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR BACK CHARGE TO THE CONTRACTOR.

SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND THE START OF ACTUAL EXCAVATION. PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL,

| ONLY THE NECESSARY CONSTRUCTION TRAFFIC CONTROL CONTRACTOR SHALL, | 5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILE. AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.

19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE 9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND 11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS CONNECTIONS TO SERVICES. PULLBOXES, AND WIRE SIZES. AS—BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND 1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE

ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MOISTURE. MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

DESCRIPTION: NORTHEAST CORN SEC 36, T9S, R1E, SLB&M FOUND 3" BRASS CAP CLEARING AND GRADING NOTES:

ELEVATION: 4759.858

24) BENCHMARK:

1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SANTAQUIN CITY STANDARD SPECIFICATIONS, AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL INVESTIGATION.

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY

3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SANTAQUIN CITY CITY, AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE OWNER, CITY OF SANTAQUIN, AND POWER CO. TO HAVE THE ELECTRICAL SYSTEM ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND AND ALL STREET LIGHTS ENERGIZED. SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/REVEGETATION PLAN" SHEETS AND REPORTS.

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA STATE OF T SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION

DEWATERING NOTES:

GROUNDWATER LEVEL.

1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION 1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRICT TO THE EXTENT OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY AND THE PROPERTY OF THE PROPERTY STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE LINDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC

> THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED. 10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR 3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

> 11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY 4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS. PREVENT DISTURBANCE OF COMPACTED BACKFILL. AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR

UNDERGROUND UTILITIES:

THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE FITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT. INCLUDING BUT NOT LIMITED TO. SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY—EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES. SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.

2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE FACH UTILITY COMPANY LOCATE. IN THE FIFLD. THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY FXCAVATION. IT WILL THE CONTRACTOR SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT

3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 — EXCAVATIONS, AND SECTION 69 — TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A 4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE

WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO WHERE SUCH UNDERGROUND INSTALLATIONS ARE THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE 18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS. THE CONTRACTOR AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO

TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET

6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS: * TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS * TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SANTAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

> 8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE SANTAQUIN CITY DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

SANTAQUIN CITY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

O) WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY TITTINGS AND THRUST BLOCKS.

OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUCTORS, POINTS OF INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.

12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

SURFACE IMPROVEMENTS:

CONDUCTED PER THE LATEST GEOTEC REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB GRADE SHOULD BE SCARIFIED AND RECOMPACTED AT THE PROPER MOISTURE CONTENT TO 96 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY 23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS

ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. IN PAVED AREAS, PROVIDE A 1 FOOT BY 1 FOOT CONCRETE COLLAR . SET CONCRETE COLLAR 3/8 INCH LOWER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER SANTAQUIN CITY STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

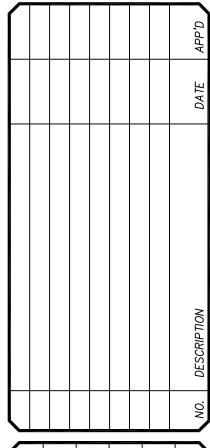
3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK

4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SANTAQUIN CITY DEVELOPMENT GUIDELINES.

5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.

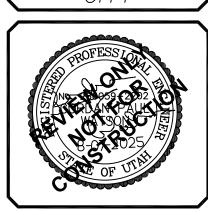






F₀ SI SI Ш S

SANTAQUIN



The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaguin City Codes, Ordinances and Standards'.

LEGAL DESCRIPTIONS

PARCEL 1

Commencing 17.76 chains East of the Southwest corner of the Northwest quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence East 5.98 chains; thence North 13.59 chains; thence East 25 links; thence North 6.45 chains to a point 20 chains North of the South line of said Northwest quarter; thence West 5.78 chains; thence South 6.45 chains; thence West 50 links; thence South 13.59 chains to the beginning.

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

LESS AND EXCEPTING THEREFROM the following:

Beginning at a point located North 89°32'33" East along the quarter section line 1,136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

ALSO LESS AND EXCEPTING that portion of land deeded to Kenyon L. Farley and Irene Farley aka Irene L. Farley by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

PARCEL 2:

Commencing North 1323.92 feet and East 1184.66 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 423.05 feet; thence West 22.17 feet; thence North 01°41'33" East 21.06 feet; thence North 00°13'13" West 402 feet; thence East 23.09 feet to the beginning.

PARCEL 3:

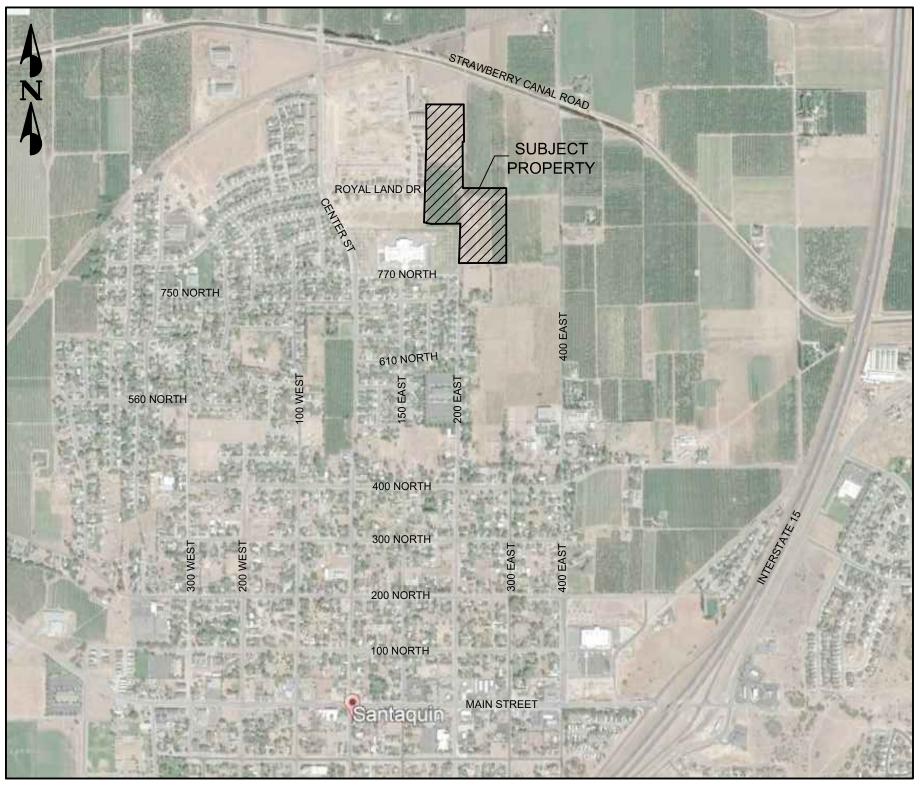
Commencing 9.20 chains West of the Southeast Corner of the Northwest Quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 6.72 chains; thence West 8.04 chains; thence North 6.72 chains; thence East 1.07 chains; thence North 16.99 chains; thence East 25 links; thence North 1.47 chains; thence East 6.72 chains; thence South 18.46 chains to beginning.

LESS AND EXCEPTING the following:

Beginning at the intersection of the North boundary line of Plat "B", Alpine View Subdivision and the Easterly right-of-way line of Center Street (a 99' wide public road) as dedicated on Plat "E", The Orchards Subdivision official plat. Said intersection lies 2,050.41 feet N. 00°16'52" W. along the section line and 407.76 feet East of the Southwest corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence N. 00°12'34" E. 123.48 feet along said right-of-way, thence continuing along said right-of-way along a curve turning to the left with an arc length of 538.70 feet, a radius of 1,054.00 feet and a chord bearing and distance of N. 14°25'59" W. 532.85 feet to the ¼ section line, thence N. 89°32'36" E. 1,257.59 feet along the ¼ section line, thence S. 02°13'39" W. 626.31 feet to the Northeast corner of said Plat "B", Alpine View Subdivision, thence S. 88°46'00" W. 1,101.10 feet along said subdivision to the point of beginning.

ALSO LESS AND EXCEPTING the following:

Beginning at a point that lies S 00°20'15" E 1371.20 feet along the Quarter Section Line and 27.63 feet West from the North Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, thence S. 00°33'21" E. 156.60 feet along the West line of a Warranty Deed as recorded in the Utah County Recorder's office as Entry Number 56278, thence N. 89°24'42" E. 10.35 feet along the South line of said Warranty Deed to the West line of 5200 West Street, thence along said West line of said 5200 West Street the following 2 courses (1) S. 00°24'57" E. 500.88 feet, (2) S. 00°19'44" E. 155.45 feet, thence S. 89°40'02" W. 181.50 feet, thence S. 00°19'44" E. 127.73 feet, thence N. 80°00'00" W. 274.06 feet, thence West 613.10 feet to the Southeast corner of a Quit Claim Deed as recorded in the Utah County Recorder's Office as Entry Number 93946:2017, thence N. 00°27'24" W. 506.49 feet along the East line of said Quit Claim Deed, thence N. 89°32'36" E. 33.00 feet to the East line of a 2 rod street as platted in Map 34-E (a Subdivision of the West half of said Section 36 filed June 3, 1908 in the office of the Utah County Recorder), thence N. 00°27'24" W. 551.60 feet along said East line, thence N. 89°32'36" E. 49.50 feet along Lot 3 of said Subdivision, thence N. 00°27'24" W. 203.58 feet along Lot 3 of said Subdivision to the South Line of Strawberry High-line Canal Easement, thence S. 69°35'24" E. 16.70 feet along said South line to the Northeast Corner of a less and excepting parcel of land as recorded in the Utah County Recorder's Office as Entry Number 55820:2008, thence S. 00°33'00" E. 4.67 feet along the West line of said Parcel of Land, thence S. 69°32'40" E. 1023.79 feet to the point of beginning.



VICINITY MAP

(NOT TO SCALE)

REFERENCE DOCUMENTS CHERRY ORCHARD ESTATES PLAT-G ENTRY: 16468:2001 MAP #8952

THE ORCHARDS PLAT "G-4" ENTRY: 131982:2021 MAP #17824

APPLE VALLEY PLAT A ENTRY: 46147:2018 MAP #16048

BENCHMARK

EAST 1/4 CORNER SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN NAD83 ELEVATION=4793.24

LOCATION

LOCATED IN PORTIONS OF THE NORTHWEST AND SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

FLOOD ZONE

PARCELS LIE WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD COMMUNITY-PANEL NUMBER 49049C0975F, EFFECTIVE DATE: JUNE 19, 2020

TITLE REPORT EXCEPTIONS

Republic National Title Insurance Company Cottonwood Title Insurance Agency

File Number: 155143-RCM

Commitment Date: August 18, 2022 at 7:30AM

1.-15. {Not a survey matter}

16. Easement Agreement in favor of Qwest Corporation d/b/a CenturyLink QC, its successors, assigns, lessees, licensees, agents and affiliates to construct, operate, maintain, repair, expand, replace and remove a communication system and incidental purposes, by instrument recorded October 7, 2020, as Entry No. 156593:2020. {Does not affect Subject Property as shown hereon}

NOTE: The legal description therein appears to contain an error.

17. Rights of the public, and others entitled thereto, to use for street and incidental purposes any portion of the Land lying within 200 East Street. {Affects Subject Property as shown hereon}

18.-22. {Not a survey matter}

NARRATIVE

The purpose of this survey is to show the relationship of Survey Parcel with surrounding parcels and improvements, as well as to provide those named in the Surveyors Certificate a ALTA/NSPS survey for their use in evaluating the site.

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its ad joiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

This survey represents opinions based on facts and evidence. As the evidence changes or if new evidence is discovered or recovered, then the surveyor reserves the right to modify or alter his opinions pertaining to this survey according to this new evidence.

This survey shows all easements of record as disclosed by the title report as shown hereon. The surveyor has made no independent search for record easements or encumbrances. This survey depicts all observable improvements or other indications of easements and utilities. Utilities shown hereon are based on a combination of visual inspection by survey crews and drawings provided by local utility companies during the course of the survey. It is the contractors responsibility to seek blue stake information and verify utility locations prior to any excavation.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

SURVEY DESCRIPTION

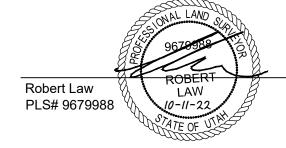
Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North, 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls; 1) North 01°38'35" E, 595.10 feet; 2) North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 506.49 feet; thence East, 475.18 feet; thence South 00°00'03" East, 819.47 feet; thence South 89°37'56" West, 519.60 feet; thence North 02°13'39" East, 432.44 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 320.88 feet to a point on a non-tanget 790.00 foot radius curve to the right; thence 79.47 feet along said curve through a central angle of 05°45'50" (chord bears North 78°07'37" West, 79.44 feet) to a point on the easterly boundary line of The Orchards Plat G-4, Entry Number 131982:2021, Map Number 17824; thence North 01°38'35" East, along said easterly boundary line, 301.17 feet to the point of beginning.

Contains: 21.69 Acres

SURVEYORS CERTIFICATE

To: Stratton Acres, LLC, a Utah limited liability company, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on: September 23, 2022.



10-11-2022 Date:

2022				
CREW				
ВСВ				
N/A				
RSL				
,=60,	NO.	NO. DESCRIPTION	DATE	APP'D

SURVEY BY: PEPG CREW

DRAWN BY: BCB

DESIGNED BY: N/A

CHECKED BY: RSL

SCALE: 1"=60'

T 84070
562-2551

ON ENGINEERING
CIALTY LAB

T 84070

DESIGN
CHECK
CHECK

SCALE

ST • SANDY, UT 84070
ST • SANDY, UT 84070
ST • FAX: (801) 562-2551
SERVICES • LAB TESTING • GEOTECHN
SKING • TRANSPORTATION ENGINEERIN

9270 SOUTH 300 WEST • SAI PHONE: (801) 562-2521 • FAX IATERIALS TESTING · INSPECTION SERVICES · L. ENVIRONMENTAL · CIVIL ENGINEERING · TRANS

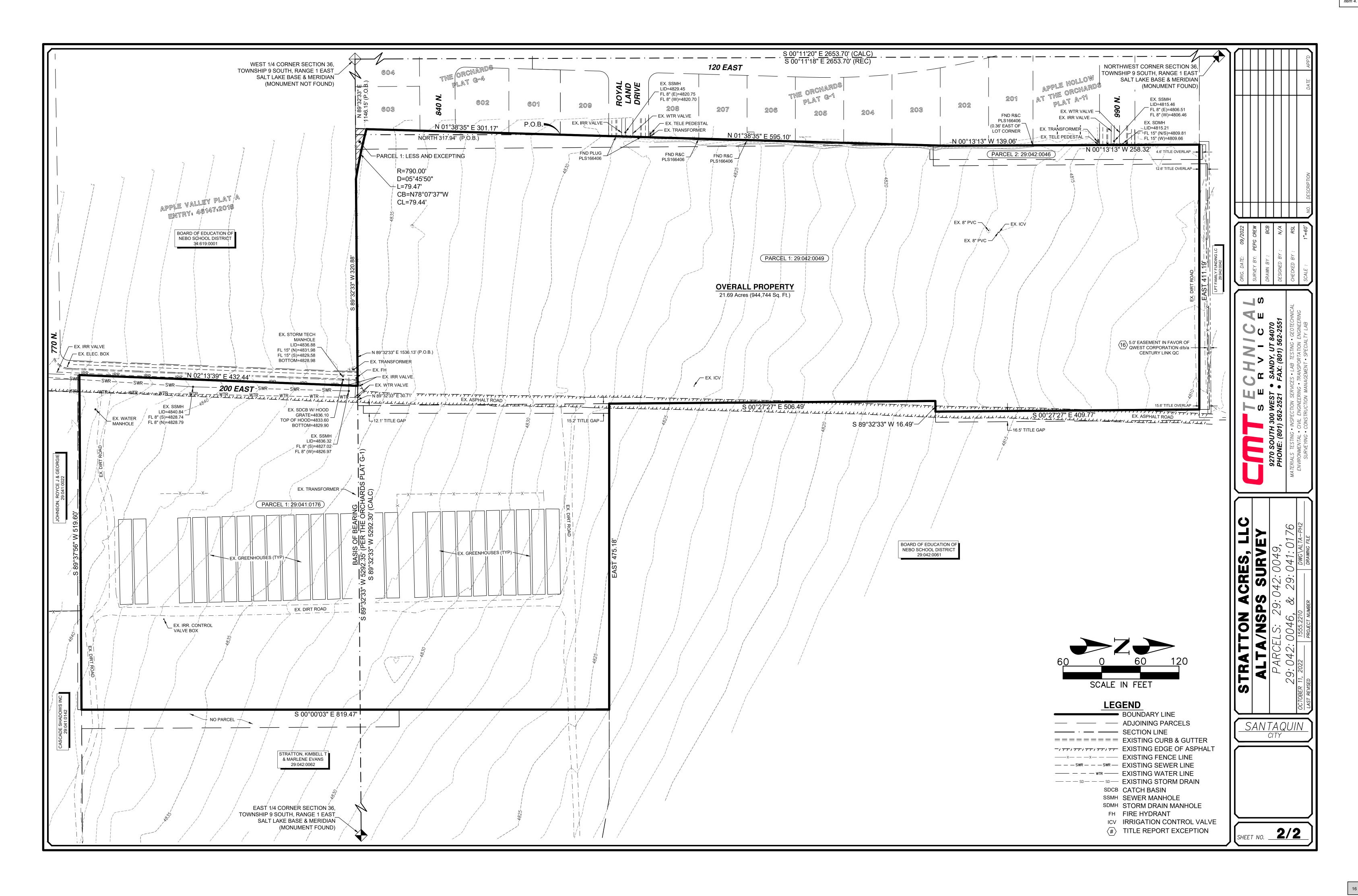
JRVEY
0049,
041:0176

NSPS SURV S: 29:042:0049

PARCELS: 29:042:0046

SANTAQUIN CITY

SHEET NO. __**1/2**



AS-PROVIDED DESCRIPTION

PARCEL 1:

Beginning at a point which is North 660.17 feet and West 20.29 feet from the South quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 88°18'35" West 549.74 feet; thence North 00°19'44" West 1098.49 feet; thence North 89°40'16" East 549.58 feet; thence South 00°19'44" East 1085.43 feet to the point of beginning.

Commencing North 1742.47 feet and West 576.1 feet from the South guarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 00°19'44" East 1098.49 feet; thence South 88°18'35" West 37.71 feet; thence South 01°48'51" West 203.32 feet; thence West 320.28 feet; thence North 00°01'53" East 344.59 feet; thence North 00°01'53" East 593.15 feet; thence North 89°40'16" East 313.94 feet; thence North 00°19'44" West 363 feet; thence North 89°40'15" East 45.74 feet to the point of beginning.

PARCEL 3:

Commencing North 439.65 feet and West 934.22 feet from the South quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 00°01'53" East 344.59 feet; thence South 86°41'06" West 100.92 feet; thence South 00°04'26" East 111.03 feet; thence South 23°19'12" East 60.95 feet; thence South 00°04'24" East 171.75 feet; thence East 76.07 feet to the point of beginning.

AS-SURVEYED DESCRIPTION

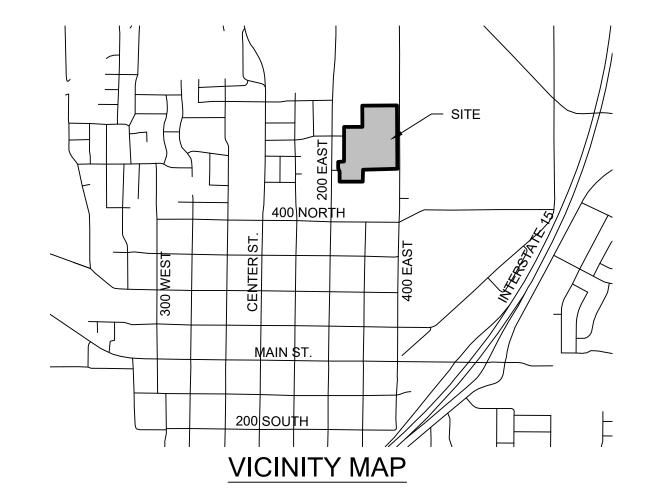
Beginning at a point lying 16.5 feet perpendicularly distant Westerly from the North-South Quarter Section line of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, said point lies North 660.170 feet (Basis of bearings is North 0°19'44" West between the South Quarter Corner and the North Quarter Corner of Section 36, T9S, R1E) and West 20.290 feet from the South Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and running thence South 88°18'35" West 587.450 feet; thence South 01°48'51" West 203.320 feet; thence West 396.350 feet to the East Line of Peach Tree Estates Plat A; thence along said East Line the following (3) courses: 1) North 00°04'24" West 171.750 feet; 2) North 23°19'12" West 60.950 feet; 3) North 00°04'26" West 111.010 feet; thence North 86°41'06" East 100.919 feet; thence North 00°01'53" East 593.174 feet along the East Line and East Line extended of Cherry Orchard Estates Plat G; thence North 89°40'16" East 313.940 feet; thence North 00°19'44" West 363.004 feet; thence North 89°40'16" East 595.326 feet to a point lying 16.5 feet perpendicularly distant Westerly from said North-South Quarter Section line; thence along said 16.5 feet perpendicularly distant Westerly line South 00°19'44" East 1085.429 feet to the point of beginning.

Property contains 22.457 acres

ALTA / NSPS LAND TITLE SURVEY PREPARED FOR

CLAYTON PROPERTIES GROUP II, INC.

BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN



AREA

22.457 ACRES MORE OR LESS

ZONING

NOT PROVIDED BY TITLE COMMITMENT

BASIS OF BEARING

NORTH 0°19'44" WEST - BEING THE NORTH-SOUTH QUARTER SECTION LINE BETWEEN THE SOUTH QUARTER CORNER AND THE NORTH QUARTER CORNER OF SECTION 36. TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

FLOOD INSURANCE DATA

PER THE FEMA WEBSITE, FEMA HAS NOT COMPLETED A STUDY TO DETERMINE FLOOD HAZARDS FOR THE SUBJECT PROPERTY. THEREFORE A FLOOD MAP HAS NOT BEEN PUBLISHED AT THIS TIME

PARKING STALLS

NO PARKING STALLS WERE OBSERVED AT TIME OF SURVEY

SURVEYORS COMMENTS

- THE CERTIFYING SURVEYOR HAS NOT MADE AN INDEPENDENT TITLE SEARCH AND HAS RELIED SOLELY ON SUPPLIED DOCUMENTATION SHOWN IN A PRELIMINARY TITLE REPORT PROVIDED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, FILE NO. 101763-CAF, EFFECTIVE DATE MARCH 21, 2018, AND SPECIFICALLY DISCLAIMS ANY ITEMS NOT SHOWN WHICH MAY OR MAY NOT BE OF PUBLIC RECORD THAT MIGHT AFFECT THE PROPERTY SHOWN ON THIS SURVEY.
- ADDRESS:
- SANTAQUIN CITY, UTAH COUNTY, UTAH
- 3. SUBJECT PROPERTY HAS NO OBSERVABLE EVIDENCE OF RECENT CONSTRUCTION. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. IMPROVEMENTS SHOWN REPRESENT SITE CONDITIONS AT TIME OF SURVEY, BUT MAY BE SUBJECT TO CHANGE.
- SUBJECT PROPERTY HAS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS.
- THE SURVEYOR RELIED ON A COMMITMENT FOR TITLE INSURANCE, COMMONWEALTH LAND TITLE INSURANCE COMPANY, FILE NO. 101763-CAF, EFFECTIVE DATE MARCH 21, 2018, AND DID NOT RESEARCH CHAIN OF TITLE OR SENIOR RIGHTS.
- 6. THE SURVEYOR MADE A PRUDENT ATTEMPT TO DISCLOSE ALL RECORD EASEMENTS SHOWN ON SAID COMMITMENT FOR TITLE INSURANCE AS WELL AS LOCATING VISIBLE UTILITY STRUCTURES AND OTHER STRUCTURES BUT DOES NOT WARRANT THEM TO BE ALL INCLUSIVE.
- 7. A PORTION OF THE PROPERTY HAS ACCESS TO 610 NORTH STREET, 530 NORTH STREET & 400 EAST STREET (PUBLIC STREETS).
- 8. NEAREST INTERSECTING STREETS SHOWN ON PLANS
- TAX PARCEL NUMBER: 29-041-0097, 29-041-0096 & 29-041-0146
- 10. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND. VISIBLE STRUCTURES AND BLUE STAKE GROUND. MARKINGS. THEREFORE LOCATIONS SHOWN HEREON ARE APPROXIMATE

NARRATIVE:

1. THE PURPOSE OF THIS SURVEY IS TO PROVIDE AN ALTA/NSPS SURVEY TO SHOW ALL IMPROVEMENTS AND STRUCTURES RELATIVE TO BOUNDARY LINES.

SURVEYOR'S CERTIFICATE

- TO: CLAYTON PROPERTIES GROUP II, INC., A COLORADO CORPORATION DBA OAKWOOD HOMES COMMONWEALTH LAND TITLE INSURANCE COMPANY
- THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 8, 9, 11, 13, 14, 16 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 24, 2018.



SCHEDULE "B" ITEMS

- a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims which are not shown by the Public Records but that could be ascertained by inspection of the Land or that may be asserted by persons in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
- 4. Any encroachment, encumbrance, violation, variation, of adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
- 5. a) Unpatented mining claims; b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; c) water rights, claims or title to water, whether or not the matters excepted under a), b), or c) are shown by the Public Records.
- 6. Any liens, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown by the Public Records.
- 7. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.
- 8. Any service, installation, connection, maintenance or construction charges for sewer, water, electricity or garbage collection or disposal or other utilities unless shown as an existing lien by the Public Records.
- 9. Taxes for the year 2018 are accruing as a lien, not yet due and payable under Parcel No. 29-041-0097
- Taxes for 2017 are a lien past due and payable in the amount of \$113.68, plus penalties and interest under Parcel No. 29-041-0097. (affects Parcel 1)
- 10. Taxes for the year 2018 are accruing as a lien, not yet due and payable under Parcel No. 29-041-0096.
- Taxes for 2017 are a lien past due and payable in the amount of \$2,382.23, plus penalties and interest under Parcel No. 29-041-0096. (affects Parcel 2)
- 11. Taxes for the year 2018 are accruing as a lien, not yet due and payable under Parcel No. 29-041-0146.
- Taxes for 2017 are a lien past due and payable in the amount of \$202.14, plus penalties and interest under Parcel No. 29-041-0146. (affects Parcel 3)
- 12. The herein described property is located within the boundaries of Santaquin City, Utah County, Central Utah Water Conservancy District, Wasatch Mental Health Special Service District, South Utah Valley Animal Special Service District, Santaquin Special Service District, Utah Valley Dispatch Special Service District and Santaquin SSD for Road Maintenance, and is subject to any and all charges and assessments levied thereunder.
- 13. Resolution 11-01-2004 to Create the Santaquin City, Utah Special Improvement District No. 2004-1, recorded November 22, 2004 as Entry No. 131626:2004
- 14. Notice of Impending Boundary Action Santaquin Community Development and Renewal Agency, recorded December 8, 2010 as Entry No. 106902:2010.
- Ordinance No. 11-02-2010 Approving the Creation of a Community Development and Renewal Agency, recorded December 8, 2010 as Entry No.
- 15. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
- 16. Claim, right, title or interest to water or water rights whether or not shown by the public records.
- 17. Warranty Deed and Agreements for Easement and Right of Way by and between Wilber E. Shaw and Blanche B. Shaw, husband and wife and W. K. Degraffenried, also known as Willard K. Degraffenried and Ellen W. Degraffenried, husband and wife and Donald O. Armstrong and Alice Armstrong, husband and wife, dated November 23, 1955 and recorded November 26, 1955 as Entry No. 15678 in Book 698 at Page 299.
- 18. Right-of-Way Easement in favor of Santaquin City Corporation for a construction easement and perpetual easement over, across, under and through said property, recorded December 14, 1993 as Entry No. 91385 in Book 3322 at Page 294.
- 19. Right of Entry Agreement between Vern Alma Stratton and Pamela K. Stratton and Santaquin City for the construction and maintenance of a sewer line, dated February 24, 1994 and recorded February 28, 1994 as Entry No. 16466 in Book 3379 at Page 333.
- 20. Notwithstanding those items described herein-above, the land is also subject to any additional discrepancies, conflicts in the boundary lines, shortage in area, encroachments, or any other facts which an ALTA/NSPS Survey, (made in accordance with the current Minimum Standard Detail Requirements for Land Title Surveys jointly established and adopted by (ALTA) American Land Title Association and (NSPS) National Society of Professional Surveyors) may disclose.
- 21. Rights of tenants in possession, as tenants only, under unrecorded leases.
- 22. Taxes for 2017 are a lien past due and payable in the amount of \$113.68, plus penalties and interest under Parcel No. 29-041-0097. (affects Parcel 1)
 - Taxes for 2017 are a lien past due and payable in the amount of \$2,382.23, plus penalties and interest under Parcel No. 29-041-0096. (affects Parcel 2)
- Taxes for 2017 are a lien past due and payable in the amount of \$202.14, plus penalties and interest under Parcel No. 29-041-0146. (affects Parcel 3)

SCHEDULE "B" NOTES

ITEMS 1-16: INFORMATION / BLANKET

ITEM 18:

ITEM 17: AFFECTS - PLOTTED, SHOWN ON SHEET 2

ITEM 19: AFFECTS - PLOTTED, SHOWN ON SHEET 2 - RECORDED DOCUMENT APPEARS TO CONTAIN A TYPOGRAPHICAL ERROR. THE RECORDED DESCRIPTION IS INCONSISTANT WITH THE APPARENT INTENT OF THE EASEMENT SHOWN

IN THE RECORDED EXHIBIT. EASEMENT DEPICTED HEREON, SURVEYOR CHANGED THE FIRST CALL FROM

FOUND IN THE FIELD. TITLE TO CONFIRM

ITEM 20: AFFECTS PER TITLE REPORT, BLANKET

AFFECTS PER TITLE REPORT, NOT SURVEY RELATED ITEM 21:

ITEM 22: AFFECTS PER TITLE REPORT, NOT SURVEY RELATED

AFFECTS - PLOTTED, SHOWN ON SHEET 2

NORTH 87°43'37" WEST TO NORTH 87°43'37" EAST, WHICH MATCHED A PORTION OF THE SEWER IMPROVEMENTS

M a **D** "

Що

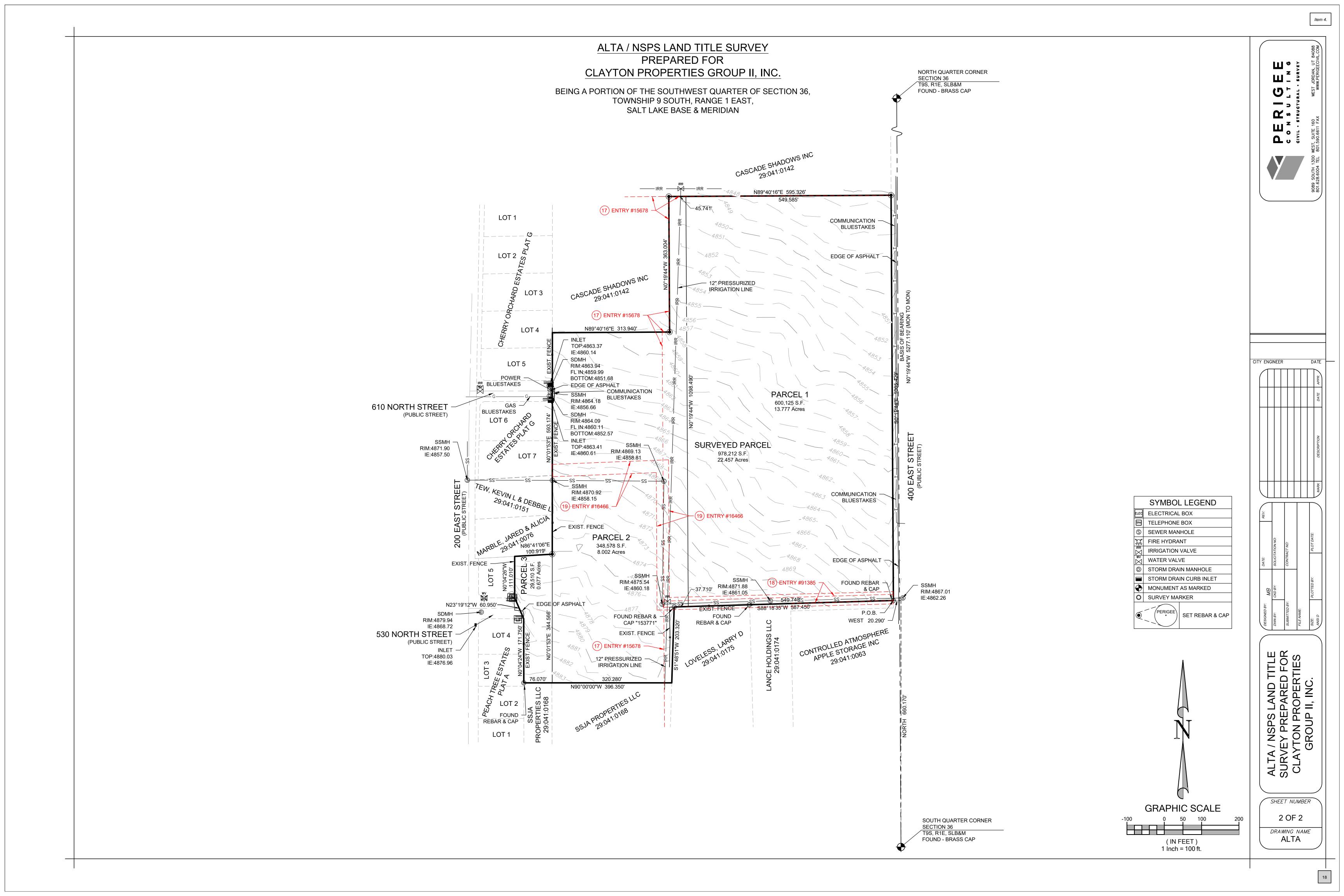
CITY ENGINEER

PROI JP II,

SHEET NUMBER

DRAWING NAME COVER

1 OF 2



Item 4.

		CU	irve tabl	.E	
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C102	23.56'	15.00'	21.21'	N45°00'02"W	89.59.57"
C103	26.18'	15.00'	22.98'	S49*59'58"W	100.00,03
C104	23.56'	15.00'	21.21'	S45°00'03"E	90.00,00
C108	4.86'	15.00'	4.84'	S18 [.] 50'25"W	18'33'52"
C109	23.56'	15.00'	21.21'	S44'59'57"W	90.00,00
C110	23.47'	15.00'	21.15'	N45°10'10"W	89'39'47"
C112	2.59'	15.00'	2.59'	S4'36'36"W	9*53'45"
C113	23.82'	15.00'	21.40'	S45°30'02"E	90.59.58"
C114	23.30'	15.00'	21.03'	N44°29'58"E	89.00,02,
C115	23.82'	15.00'	21.40'	N45°30'02"W	90°59'58"
C116	23.30'	15.00'	21.03'	S44'29'58"W	89.00,02
C117	23.87	15.09'	21.46'	N46°00'01"W	90°39'45"
C118	23.39'	15.00'	21.09'	S44'19'51"W	89°20'15"
C119	23.74'	15.00'	21.34'	S45°40'09"E	90°39'45"
C120	23.39'	15.00'	21.09'	N44"19'51"E	89°20'15"
C121	23.39'	15.00'	21.09'	N44°19'51"E	89°20'15"
C122	23.74'	15.00'	21.34'	N45°40'09"W	90°39'45"
C123	33.81'	300.00'	33.79'	N86°46'18"W	6'27'25"
C124	18.55'	300.00'	18.55'	N81°46'18"W	3'32'35"
C125	54.05'	300.00'	53.98'	S85 [.] 09'42"E	10"19'23"
C130	14.16'	15.00'	13.64'	N62°57'34"E	54.04,45
C131	19.26'	60.00'	19.18'	N45°06'58"E	18'23'32"
C132	79.07	60.00'	73.47'	S87°56'10"E	75:30'14"
C133	82.00'	60.00'	75.77'	S11°01'51"E	78'18'23"
C134	12.86'	331.00'	12.86'	N8912'35"W	2'13'36"
C135	46.77	331.00'	46.73	N84°02'54"W	8°05'47"
C136	23.56'	15.00'	21.21'	N4519'49"W	89.59,05"

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION. AGRICULTURE PROTECTION AREA
- THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR
- NO ACCESS TO 400 EAST IS PERMITTED FROM LOTS 122-130.
- 6. NO ACCESS TO ROYAL LAND DR IS PERMITTED FROM LOTS 121-122.

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER FASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN

POWER HAS UNDER: a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

Approved this _____ day of _____20___

ROCKY MOUNTAIN POWER

APPROVED THIS

d. ANY OTHER PROVISION OF LAW

DOMINION ENERGY QUESTAR CORPORATION

STATE OF UTAH

COUNTY OF

TYPICAL LOT P.U.E. DETAILS

25' SETBACK—

1) 30FT FRONT SETBACK 2) 25FT REAR SETBACK 3) 10FT SIDE LOT SETBACK

30' SETBACK—

ROADWAY

NOT TO SCALE

INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT

APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this _____ day of____ QUESTAR GAS COMPANY

DOMINION ENERGY QUESTAR CORPORATION

Ву
Title_

______DAY OF ______, A.D. 20_____

CENTRACOM ACCEPTANCE

CENTRACOM COMPANY
BYTITLE
CENTURY LINK ACCEPTANCE
APPROVED THISDAY OF, A.D. 20, CENTURY LINK COMPANY
DV TITLE

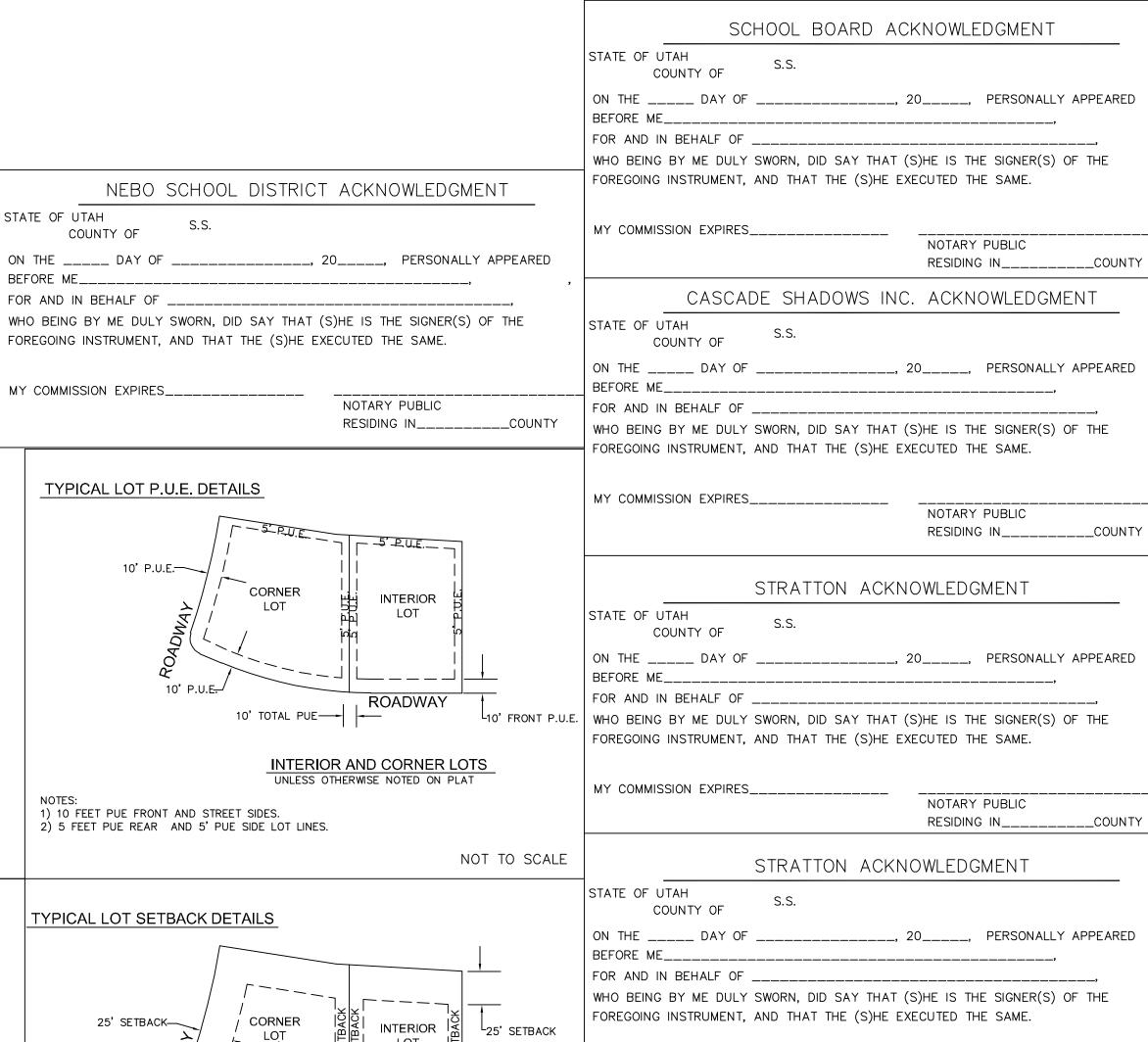
COMCAST ACCEPTANCE

APPROVED THISDAY OF CENTURY LINK COMPANY	, A.D. 20
BY	_ TITLE

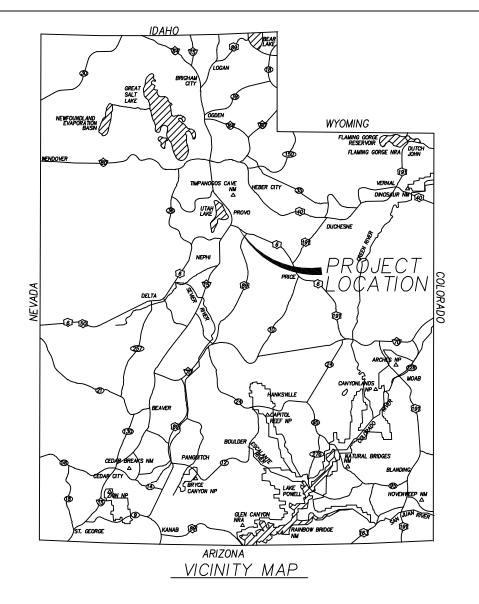
BELLA VISTA SUBDIVISION PHASE 1

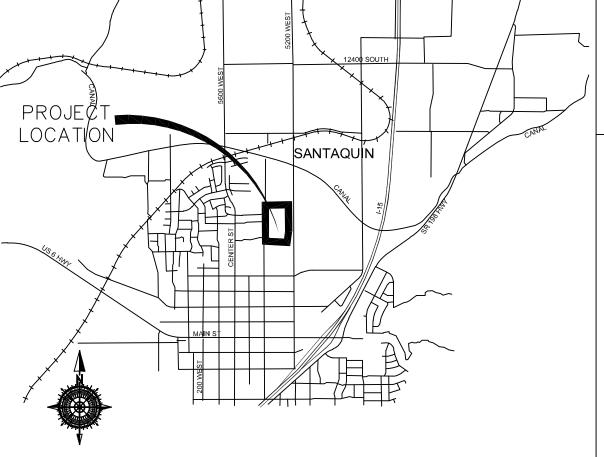
PROJECT LOCATED IN THE WEST HALF OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



MY COMMISSION EXPIRES__





VICINITY MAP

GATEWAY CONSULTING, inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

COUNTY RECORDER SEAL

PH: (801) 694-5848 paul@gatewayconsultingllc.com

SURVEYOR OF RECORD:

TALISMAN

1588 SOUTH MAIN STREET

SALT LAKE CITY, UT 84115

801.743.1300

PROJECT ENGINEER:

NOTARY PUBLIC

BOOK PAGE DATE

STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE

RECORDED AND FILED AT THE REQUEST OF

COUNTY RECORDER

RESIDING IN_____COUNTY

UTAH COUNTY RECORDER

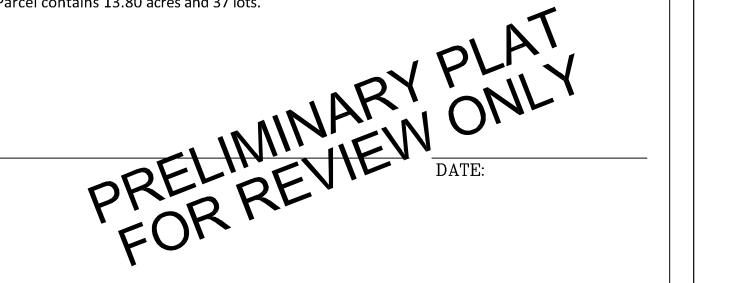
SURVEYOR'S CERTIFICATE

DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH AND THAT I HOLD LICENSE NO. _____ UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58. CHAPTER 22. PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND PLAT IS BELLA VISTA SUBDIVISION PHASE 1, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East, 2,038.92 feet along the quarter section line and N 00°00'03" W 447.82 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing East 119.26 feet to a point on a 331.00' radius curve to the right, thence along arc of said curve 57.77' through a delta of 10°00'00" (chord bears S 85°00'00" E 57.70 feet) thence S 80°00'00" E 169.62 feet to a point on a 269.00' radius curve to the left, thence along arc of said curve 48.47' through a delta of 10°19'23" (chord bears S 85°09'42" E 48.40 feet), thence N 89°40'37" E 15.42 feet, thence S 00°19'44" E 62.02 feet, thence N 89°40'16" E 181.50 feet, thence S 00°19'44" E 953.42 feet, thence S 89°39'44" W 124.88 feet, thence S 86°22'39" W 58.10 feet, thence S 89°39'44" W 229.89 feet, thence S 84°04'51" W 58.31 feet, thence S 88°59'59" W 113.77 feet, thence N 01°00'01" W 100.00 feet, thence N 07°35'03" W 64.42 feet, thence N 0°00'03" W 902.78 feet to the point of beginning.

Parcel contains 13.80 acres and 37 lots.



OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS. BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

Ī	WITNESS	HEREOF	WE	HAVE	HEREUNTO	SET	OUR	HANDS	THIS	
43	OF			, A.:	D. 20					

BOARD	OF	EDUCATION	NEBO	SCHOOL	DISTRICT

STRATTON ACRES LLC

ANDREW FLAMM (MANAGER)

CASCADE SHADOWS INC. KIMBALL STRATTON

KIMBALL T STRATTON

MARLENE EVENS STRATTON

BELLA VISTA SUBDIVISION PHASE 1

A SINGLE FAMILY PROJECT LOCATED IN THE WEST HALF OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

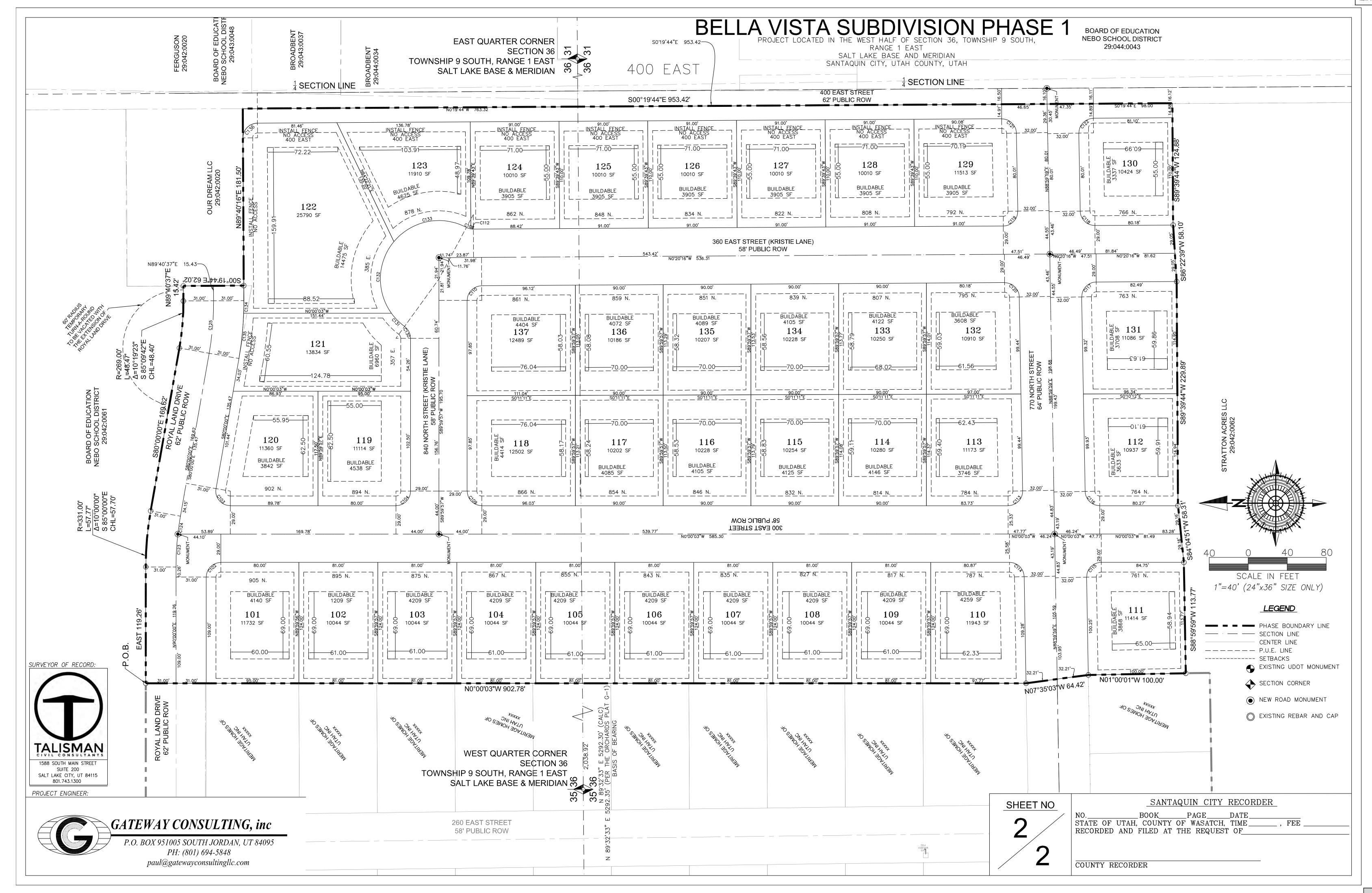
ACCEPTANCE BY LETTHE CITY COUNCIL OF SANTAQUIN, COUNTITIE DEDICATION OF ALL STREETS, EASEM LAND INTENDED FOR PUBLIC PURPOSES IN PUBLIC THIS DAY OF	TY OF UTAH, HEARE ENTS, AND OTHER I	 BY ACCEPTS PARCELS OF
APPROVED BY MAYOR		
APPROVEDCITY_ENGINEER (SEE SEAL BELOW)	ATTEST	CLERK-RECORDER (SEE SEAL BELOW)
PLANNING COMMISSION. PLANNING COMMISSION.		=
CHAIRPERSON, PLANNING COMMISSION	DATE	

DIRECTOR, SECRETARY

SURVEYORS SEAL CITY ENGINEER SEAL CITY CLERK SEAL

SHEET NO

Date 8-7-2025 File: PPLAT STRATTON MEADOW



Item 4.

CURVE TABLE						
CURVE TABLE						
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA	
C130	23.57'	15.00'	21.22'	N45'00'28"W	90.00,20	
C131	23.56'	15.00'	21.21'	N44'59'05"E	89'59'10"	
C132	14.16'	15.00'	13.64'	S62°57'49"E	54.06,09"	
C133	58.53'	60.00'	56.24'	S63 ⁻ 51 ² 33 ^e	55'53'37"	
C134	79.16'	60.00'	73.54'	N50°23'50"E	75'35'38"	
C135	64.37'	60.00'	61.32'	N18'07'55"W	61'27'52"	
C136	58.37'	60.00'	56.09'	N76°43'57"W	55°44'11"	
C137	41.33'	60.00'	40.52'	S55*39'52"W	39'28'12"	
C138	14.15'	15.00'	13.63'	S62*57'26"W	54.03,21,	
C139	23.56'	15.00'	21.21'	N44°59'58"E	90.00,03	
C140	14.16'	15.00'	13.64'	S62'57'37"E	54.04,45"	
C141	47.21	60.00'	46.00'	S58'27'48"E	45.05,06"	
C142	70.47	60.00'	66.49'	N65°20'44"E	67'17'50"	
C143	66.39'	60.00'	63.05'	N0°00'00"W	63'23'37"	
C144	69.76'	60.00'	65.89'	N65°00'09"W	66'36'41"	
C145	47.93'	60.00'	46.67'	S58'48'23"W	45'46'15"	
C146	14.16'	15.00'	13.64'	S62*57'37"W	54.04,45"	
C147	23.56'	15.00'	21.21'	N45*00'02"W	89'59'57"	
C148	23.56'	15.00'	21.21'	N44'59'58"E	90.00,03,	
C149	23.56'	15.00'	21.21'	N45°00'02"W	89'59'57"	
C150	23.56'	15.00'	21.21'	S44'59'58"W	90.00,03	
C151	23.56'	15.00'	21.21'	N45°00'02"W	89.59.57"	
C152	23.56'	15.00'	21.21'	S45'00'02"E	89'59'57"	
C153	23.56'	15.00'	21.21'	S44'59'58"W	90.00,13,	

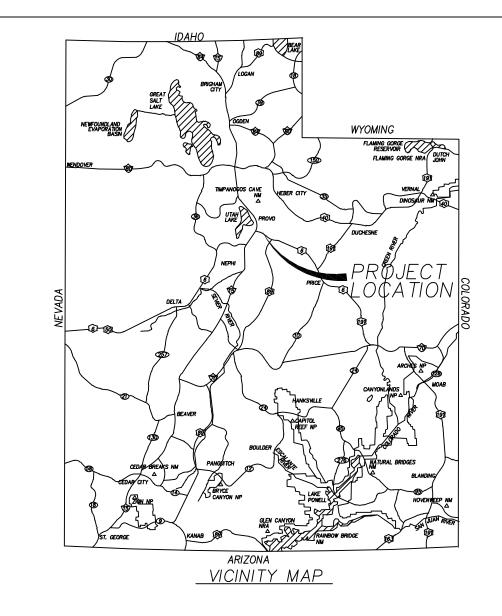
NOTES:

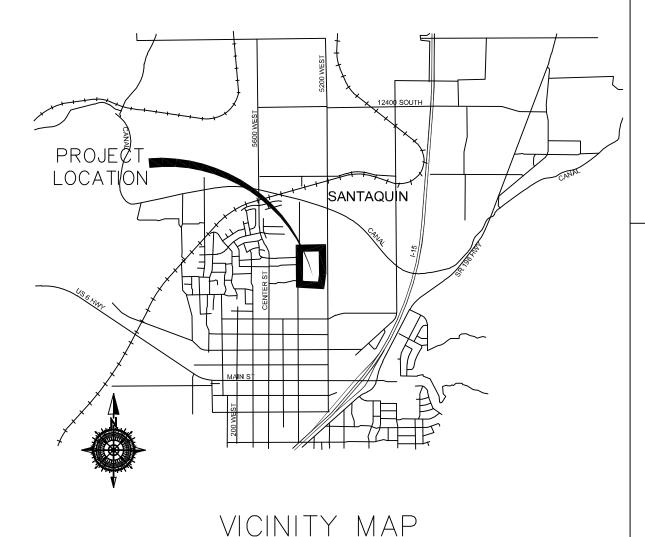
- SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE
- SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND
- 4. PHASE 2 MUST BE CONSTRUCTED AFTER OR CONCURRENTLY WITH PHASE 1.

BELLA VISTA SUBDIVISION PHASE 2

OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT





SURVEYOR'S CERTIFICATE

DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH AND THAT I HOLD LICENSE NO. ___ UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58. CHAPTER 22. PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBÉD BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL PLAT IS <u>BELLA VISTA SUBDIVISION PHASE 2,</u> SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East, 1887.91 feet along the quarter section line and South 644.95 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing N 88°59'59" E 161.72 feet, thence N 01°00'01" W 24.53 feet, thence N 88°59'59"E 113.77 feet, thence N 84°04'51" E 58.31 feet, thence N 89°39'44" E 114.94 feet, thence S 00°09'41" E 863.44 feet, thence West 117.36 feet, thence S 43°38'39" W 84.03 feet, thence S 89°59'57" W 250.00 feet, thence N 84°05'37" W 58.31 feet, thence West 127.01 feet, thence N 00°01'53" E 280.32 feet, thence N 00°01'53" E 362.01 feet, thence N 89°19'18" E 156.57 feet, thence N 89°40'16" E 5.90 feet, thence N 00°40'59"W 238.01

Parcel contains 11.52 acres and 31 lots.



OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20_____

BELLA VISTA SUBDIVISION PHASE 2

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF

SECTION 36,

TOWNSHIP 9 SOUTH, RANGE 1 EAST

SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEARBY ACCEPTS

APPROVED THIS _____ DAY OF ____ A.D. 20__ BY THE

THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF

LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF ____ A.D. 20___.

BELLA VISTA SANTAQUIN LLC ANDREW FLAMM (MANAGER)

STRATTON ACRES LLC ANDREW FLAMM (MANAGER)

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR d. ANY OTHER PROVISION OF LAW

Approved this _____ day of _____20___

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this _____ day of____

QUESTAR GAS COMPANY

TYPICAL LOT P.U.E. DETAILS INTERIOR

ON THE _____ DAY OF _____, 20___, PERSONALLY APPEARED WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME. MY COMMISSION EXPIRES_____ TALISMAN RESIDING IN_____COUNTY 1588 SOUTH MAIN STREET STRATTON ACRES LLC ACKNOWLEDGMENT SUITE 200 SALT LAKE CITY, UT 84115 801.743.1300

_BOOK_____PAGE____DATE_ STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE

STATE OF UTAH COUNTY OF S.S. ON THE _____ DAY OF ______, 20____, PERSONALLY APPEARED WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME. MY COMMISSION EXPIRES__ NOTARY PUBLIC RESIDING IN_____COUNTY UTAH COUNTY RECORDER

RECORDED AND FILED AT THE REQUEST OF

COUNTY RECORDER

BELLA VISTA SANTAQUIN LLC. ACKNOWLEDGMENT

COUNTY OF S.S.

PROJECT ENGINEER: GATEWAY CONSULTING, inc P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848 paul@gatewayconsultingllc.com

COUNTY RECORDER SEAL

SURVEYOR OF RECORD:

DIRECTOR, SECRETARY SURVEYORS SEAL CITY ENGINEER SEAL CITY CLERK SEAL

SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION

CITY ENGINEER

(SEE SEAL BELOW)

APPROVED BY MAYOR

SHEET NO

CLERK-RECORDER

CENTRACOM ACCEPTANCE

APPROVED THIS ______, A.D. 20_____

CENTRACOM COMPANY				
BY	TITLE			
CENTURY LINK ACCEPTANCE				
APPROVED THISCENTURY LINK COMPANY	DAY OF	, A.D. 20		

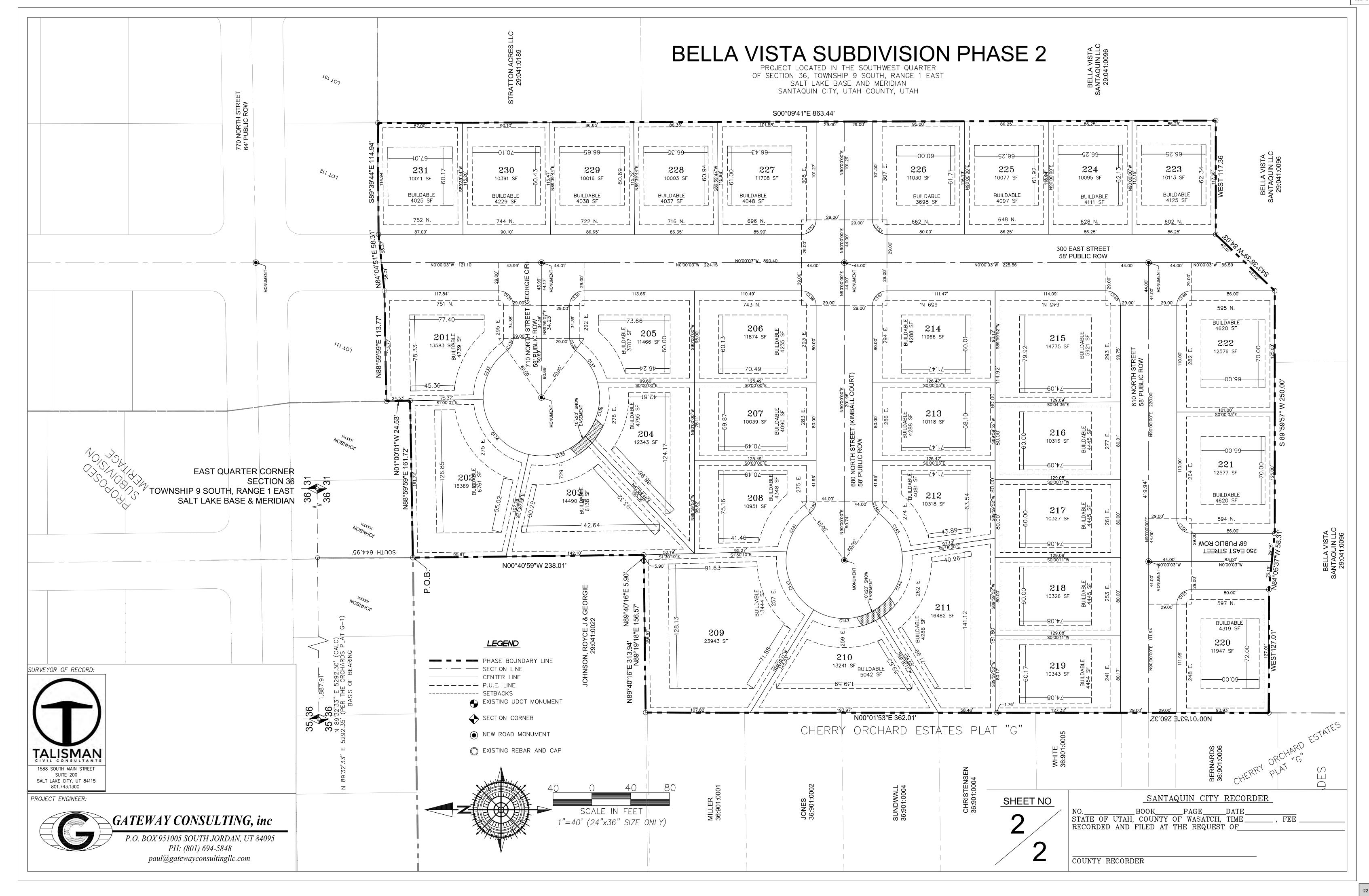
COMCAST ACCEPTANCE

	MIOACI ACCEI IANCE	
APPROVED THIS CENTURY LINK COMPANY	DAY OF	, A.D. 20
BY	TITLE	

UNLESS OTHERWISE NOTED ON PLAT 1) 10 FEET PUE FRONT AND STREET SIDES. 2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES. NOT TO SCALE TYPICAL LOT SETBACK DETAILS CORNER 25' SETBACK— INTERIOR 30' SETBACK-ROADWAY INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT 1) 30FT FRONT SETBACK 2) 25FT REAR SETBACK 3) 10FT SIDE LOT SETBACK NOT TO SCALE

STATE OF UTAH

Date8-7-2025 File: PPLAT STRATT<u>ON MEADOW</u>



Item 4.

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	40.74	310.20'	40.71'	N85°37'11"E	7'31'28"
C2	39.99'	271.00'	39.96'	N77°05'05"E	8'27'20"
С3	89.38'	300.00'	89.05'	N81°23'31"E	17'04'12"
C4	46.38'	370.04	46.35'	S85 [.] 53'15"W	7'10'54"
C5	51.63'	329.00'	51.58'	S77'21'09"W	8'59'29"
C6	55.99'	271.00'	55.90'	S78'46'34"W	11'50'19"
C7	69.10'	300.00'	68.95'	S79'27'21"W	13'11'52"
C8	75.78'	329.00'	75.62'	N79°27'21"E	13'11'52"
С9	22.53'	15.00'	20.47'	N43°01'37"E	86.03,21,
C10	11.81'	300.00'	11.81'	S87'10'56"W	2'15'18"
C11	24.95'	15.00'	22.17'	N47'39'10"W	95'18'13"
C12	23.12'	15.00'	20.90'	S44'09'16"W	88'18'38"
C13	24.00'	15.00'	21.52'	S45°50'44"E	91.41,22"
C14	23.12'	15.00'	20.90'	S44°09'16"W	88'18'38"
C15	24.00'	15.00'	21.52'	S45°50'44"E	91.41.22"
C16	14.16'	15.00'	13.64'	S27'02'26"E	54.04,45"
C17	301.76	60.00'	70.40'	N89°59'57"E	288'09'30"
C18	14.16'	15.00'	13.64'	N27°02'19"E	54°04'45"

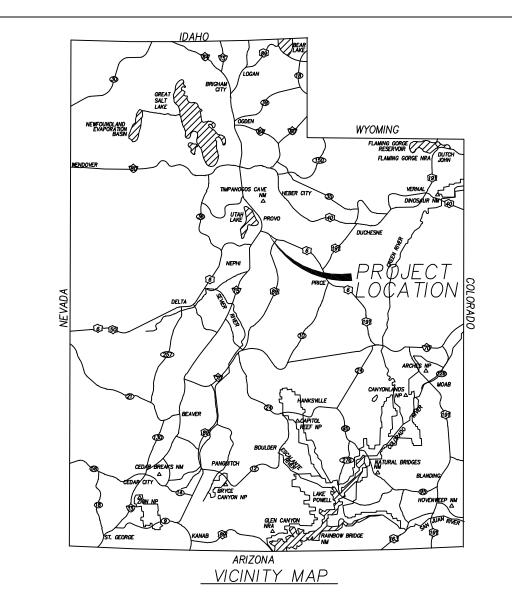
NOTES:

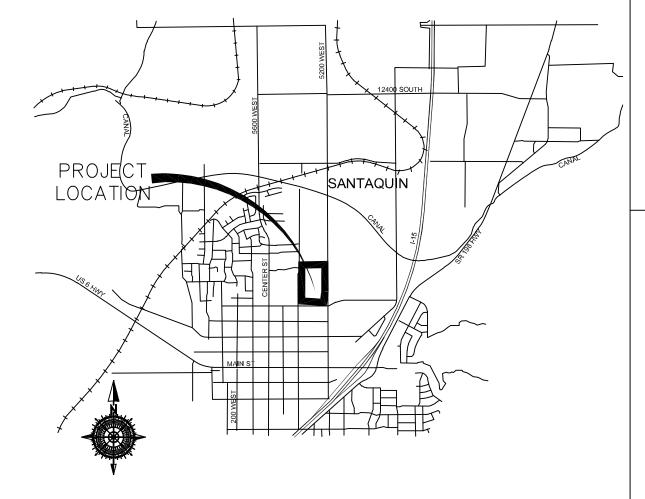
- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB ® PROJECTION OF SIDE LOT LINES.
- NDCBU NEIGHBORHOOD DELIVERY BOX UNIT.
 ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE
 SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW
 AREAS, WHICH MAY IMPACT HOME ORIENTATION.
 AGRICULTURE PROTECTION AREA
- THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND
- 5. PHASE 3 IS REQUIRED TO BE CONSTRUCTED PRIOR TO, OR CONCURRENTLY WITH PHASE 2

BELLA VISTA SUBDIVISION PHASE 3

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT





VICINITY MAP

SURVEYOR'S CERTIFICATE

I, ______, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _______ AND THAT I HOLD LICENSE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 3, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East 1,727.93 feet along the quarter section line and South 1,525.88 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing East, 127.01 feet; thence S 84°05'37" E, 58.31 feet; thence North 89°59'57" East, 250.00 feet; thence N 43°38'39" E, 84.03 feet; thence EAST, 117.36 feet; thence S 00°08'24" E, 500.64 feet; thence S 88°18'35" W, 285.36 feet; thence S 1°48'51" W 203.32 feet, thence West 396.35 feet, thence N 0°04'24" W, 171.75 feet; thence 23°19'12" W, 60.95 feet; thence N 0°04'26" W, 111.01 feet; thence N 86°41'06" E, 100.92 feet; thence N 0°01'56" E 312.90 feet to the point of beginning.

Phase contain 8.67 ac and 23 lots.



OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _______DAY OF _____, A.D. 20______

BELLA VISTA SANTAQUIN LLC ANDREW FLAMM (MANAGER)

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS LINDED.

POWER HAS UNDER:

a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 8a, DAMAGE TO
UNDERGROUND UTILITY FACILITIES OR

Approved this _____ day of _____ 20___

ROCKY MOUNTAIN POWER

d. ANY OTHER PROVISION OF LAW

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this _____ day of____ 20____ QUESTAR GAS COMPANY

CENTRACOM ACCEPTANCE

APPROVED THIS ______DAY OF ________, A.D. 20_____
CENTRACOM COMPANY

BY-______TITLE______

CENTURY LINK ACCEPTANCE

OMI AN I

COMCAST ACCEPTANCE

APPROVED THIS _____ DAY OF _____, A.D. 20____
CENTURY LINK COMPANY

TITLE

D. 20_____

25' SETBACK

CORNER

LOT

SETBACK

CORNER

LOT

SETBACK

20' TOTAL
SETBACK

INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT

NOTES:

1) 30FT FRONT SETBACK
2) 25FT REAR SETBACK
3) 10FT SIDE LOT SETBACK
3) 10FT SIDE LOT SETBACK

TYPICAL LOT P.U.E. DETAILS

1) 10 FEET PUE FRONT AND STREET SIDES.

2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

INTERIOR

UNLESS OTHERWISE NOTED ON PLAT

NOT TO SCALE

CASCADE SHADOWS INC. ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF
S.S.

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED
BEFORE ME_____,
FOR AND IN BEHALF OF _____,
WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE
FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

NOT TO SCALE

CASCADE SHADOWS INC. ACKNOWLEDGMENT
STATE OF UTAH
COUNTY OF
S.S.
ON THE ____ DAY OF ____, 20____, PERSONALLY APPEARED
BEFORE ME_____,
WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE
FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

NOTARY PUBLIC
RESIDING IN ______COUNTY

UTAH COUNTY RECORDER

PROJECT ENGINEER:

GATEWAY CONSULTING, inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

COUNTY RECORDER SEAL

SURVEYOR OF RECORD:

SUITE 200 SALT LAKE CITY, UT 84115 801.743.1300

NO. BOOK PAGE DATE STATE OF UTAH, COUNTY OF WASATCH, TIME , FEE RECORDED AND FILED AT THE REQUEST OF

BELLA VISTA SUBDIVISION PHASE 3 A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF

SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEARBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS DAY OF A.D. 20
APPROVED BY MAYOR

CITY ENGINEER (SEE SEAL BELOW) (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____ A.D. 20___ BY THE SANTAQUIN CITY PLANNING COMMISSION.

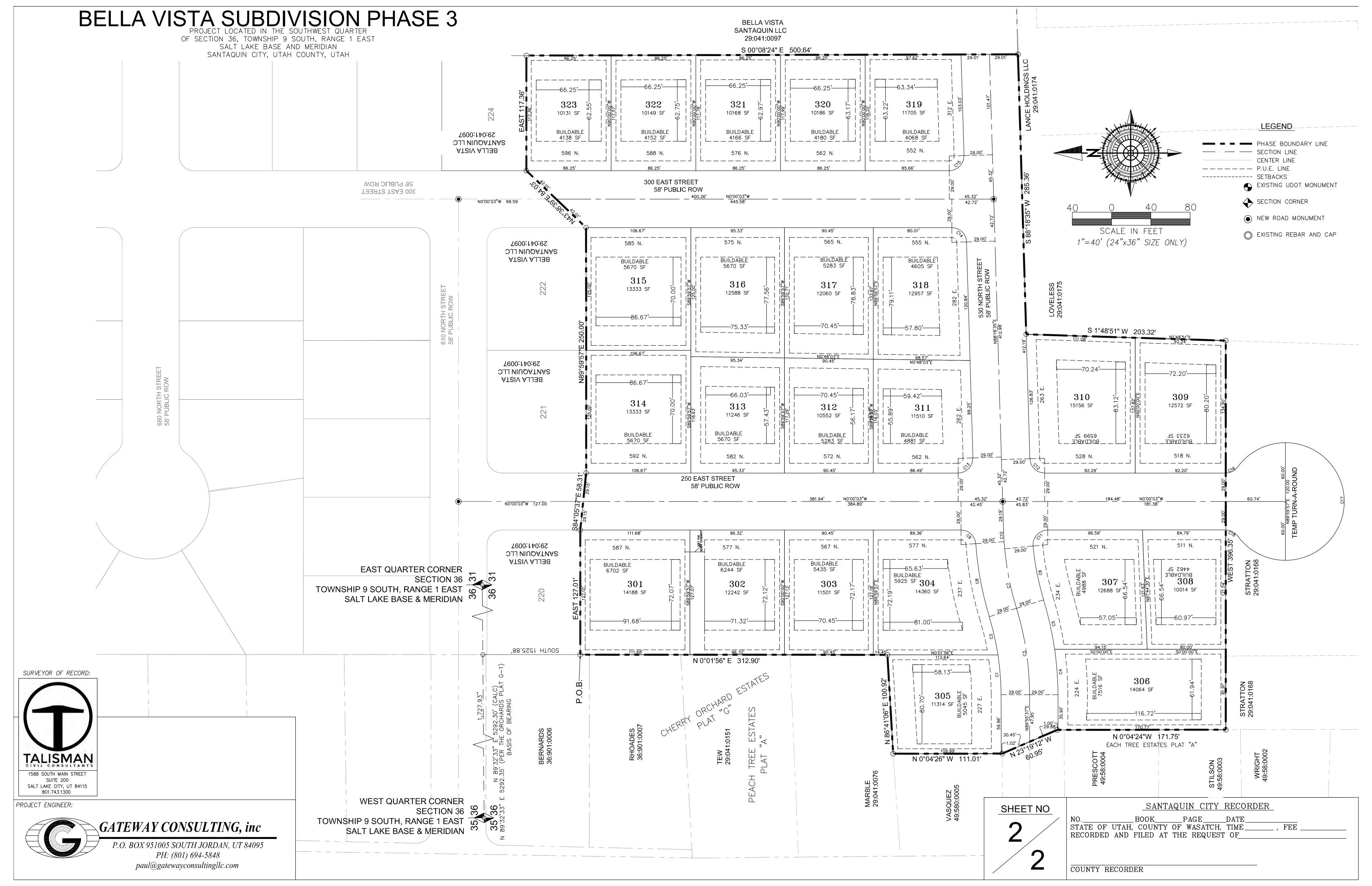
CHAIRPERSON, PLANNING COMMISSION DATE

DIRECTOR, SECRETARY

CITY CLERK SEAL SURVEYORS SEAL CITY ENGINEER SEAL

SHEET NO 1 2

Date 8–7–2025 File: PPLAT BELLA VISTA



BELLA VISTA SUBDIVISION PHASE 4

OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT

BELLA VISTA SANTAQUIN LLC. ACKNOWLEDGMENT

STRATTON ACKNOWLEDGMENT

NOTARY PUBLIC

RESIDING IN_____COUNTY

COUNTY OF S.S.

COUNTY OF S.S.

COUNTY RECORDER

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNÈRS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB ® PROJECTION OF SIDE LOT LINES.
- NDCBU NEIGHBORHOOD DELIVERY BOX UNIT. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS. WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND
- PHASE 4 IS REQUIRED TO BE CONSTRUCTED AFTER OR CONCURRENTLY WITH PHASE 1 6. NO ACCESS TO 400 EAST FROM LOTS 415-430

DOMINION ENERGY

QUESTAR CORPORATION

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT DOMINION ENERGY QUESTAR CORPORATION CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN. 2. PURSUANT TO UTAH CODE ANN. 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS. BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN

POWER HAS UNDER: a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

ROCKY MOUNTAIN POWER

Approved this _____ day of _____20___

d. ANY OTHER PROVISION OF LAW

ROCKY MOUNTAIN POWER

APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDE BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this _____ day of____

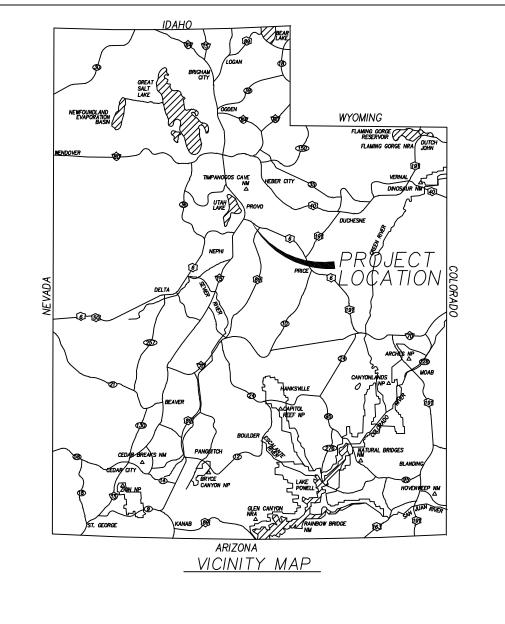
QUESTAR GAS COMPANY

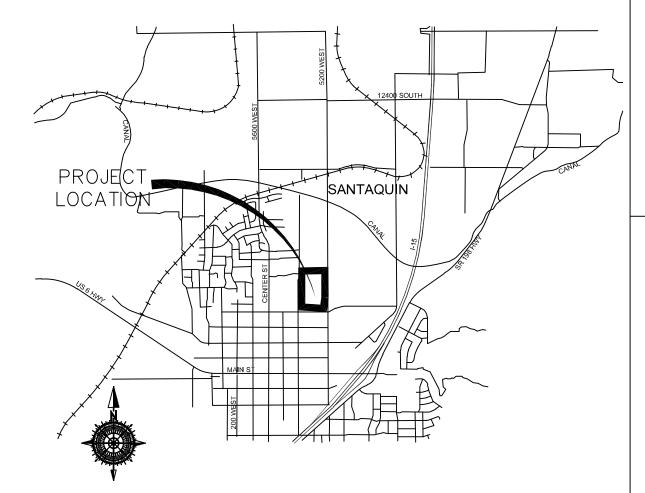
CENTRACOM ACCEPTANCE

APPROVED THISCENTRACOM COMPANY	DAY OF	, A.D. 20
BY	TITLE	
CENTU	JRY LINK ACCEP	TANCE
0	JRY LINK ACCEP	

COMCAST ACCEPTANCE				
APPROVED THISDAY OF CENTURY LINK COMPANY	, A.D. 20			
BY T	ITLE			

TYPICAL LOT P.U.E. DETAILS INTERIOR STATE OF UTAH ON THE _____ DAY OF _____, 20___, PERSONALLY APPEARED FOR AND IN BEHALF OF ______, WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME. INTERIOR AND CORNER LOTS MY COMMISSION EXPIRES_____ 1) 10 FEET PUE FRONT AND STREET SIDES. 2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES. NOT TO SCALE STATE OF UTAH TYPICAL LOT SETBACK DETAILS 25' SETBACK— CORNER INTERIOR MY COMMISSION EXPIRES__ 30' SETBACK-ROADWAY 20' TOTAL SETBACK INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT 1) 30FT FRONT SETBACK 2) 25FT REAR SETBACK 3) 10FT SIDE LOT SETBACK NOT TO SCALE





VICINITY MAP

SURVEYOR'S CERTIFICATE

DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH AND THAT I HOLD LICENSE NO. ____ UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58. CHAPTER 22. PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL PLAT IS <u>BELLA VISTA SUBDIVISION PHASE 4,</u> SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East 2,335.88 feet along the quarter section line and South 612.49 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing N 89°39'44" E 114.95 feet, thence N 86°22'39" E 58.10 feet, thence N 89°39'44" E 124.88 feet, thence S 00°19'44" E 1,360.27 feet, thence S 88°18'35" W 302.09 feet, thence N 00°08'24" W 854.39 feet, thence N 00°12'17" W 58.00 feet, thence N 00°10'14" W 451.68 feet to the point of beginning.

Parcel contains 28 lots and 9.37 acres.



OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20_____

STRATTON ACRES LLC ANDREW FLAMM (MANAGER)

APPROVED BY MAYOR

BELLA VISTA SANTAQUIN LLC ANDREW FLAMM (MANAGER)

BELLA VISTA SUBDIVISION PHASE 4

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST

SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEARBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF ____ A.D. 20___.

CITY ENGINEER CLERK-RECORDER (SEE SEAL BELOW) PLANNING COMMISSION APPROVAL

_____ DAY OF _____ A.D. 20___ BY THE APPROVED THIS _ SANTAQUIN CITY PLANNING COMMISSION.

DIRECTOR, SECRETARY

SURVEYORS SEAL CITY ENGINEER SEAL CITY CLERK SEAL

CHAIRPERSON, PLANNING COMMISSION

SHEET NO

ON THE _____ DAY OF ______, 20____, PERSONALLY APPEARED PROJECT ENGINEER: BEFORE ME______ GATEWAY CONSULTING, inc WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE P.O. BOX 951005 SOUTH JORDAN, UT 84095 FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME. PH: (801) 694-5848 paul@gatewayconsultingllc.com NOTARY PUBLIC RESIDING IN_____COUNTY COUNTY RECORDER SEAL UTAH COUNTY RECORDER _BOOK_____PAGE____DATE_ STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE RECORDED AND FILED AT THE REQUEST OF

SURVEYOR OF RECORD:

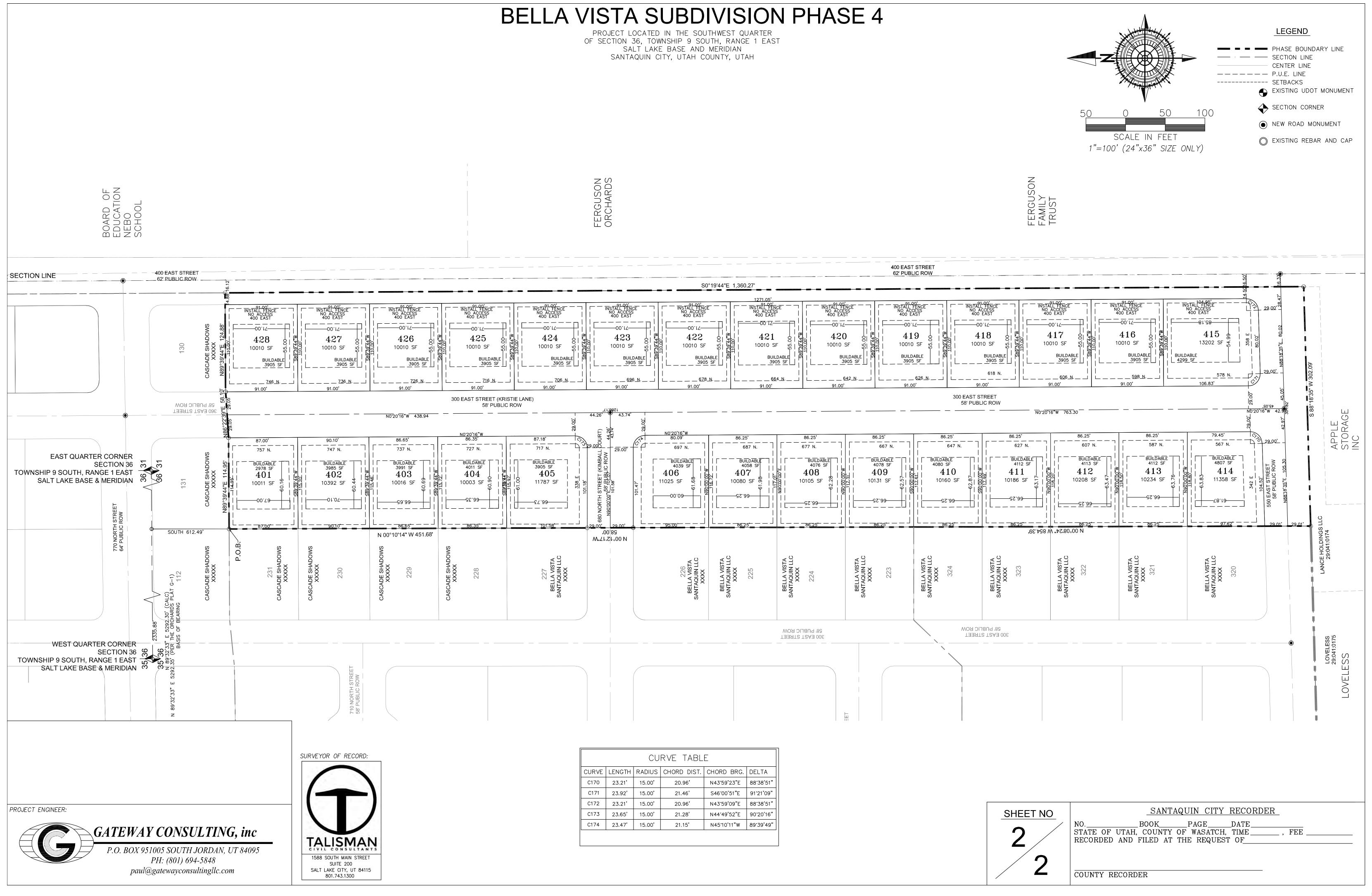
TALISMAN

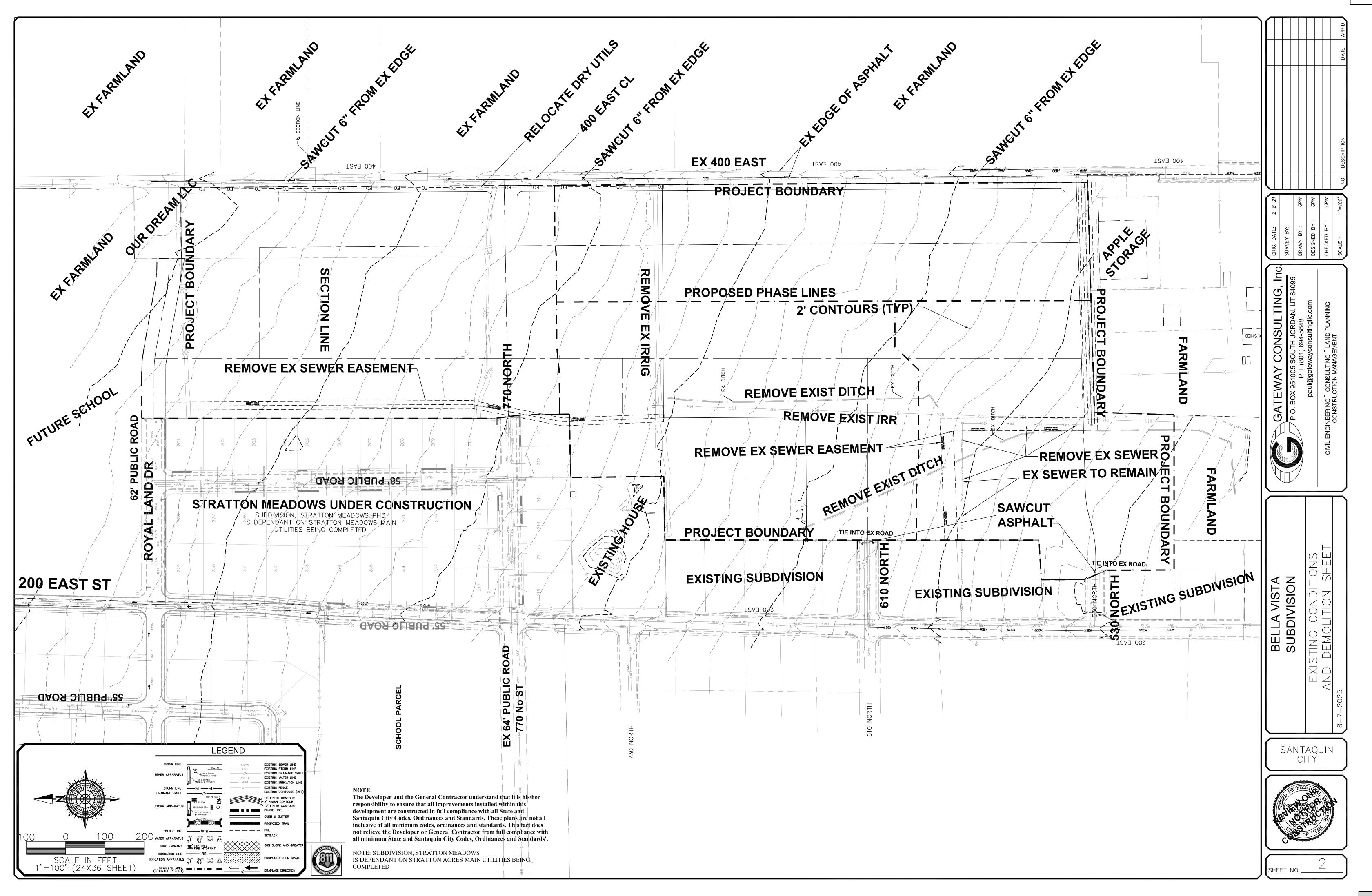
1588 SOUTH MAIN STREET

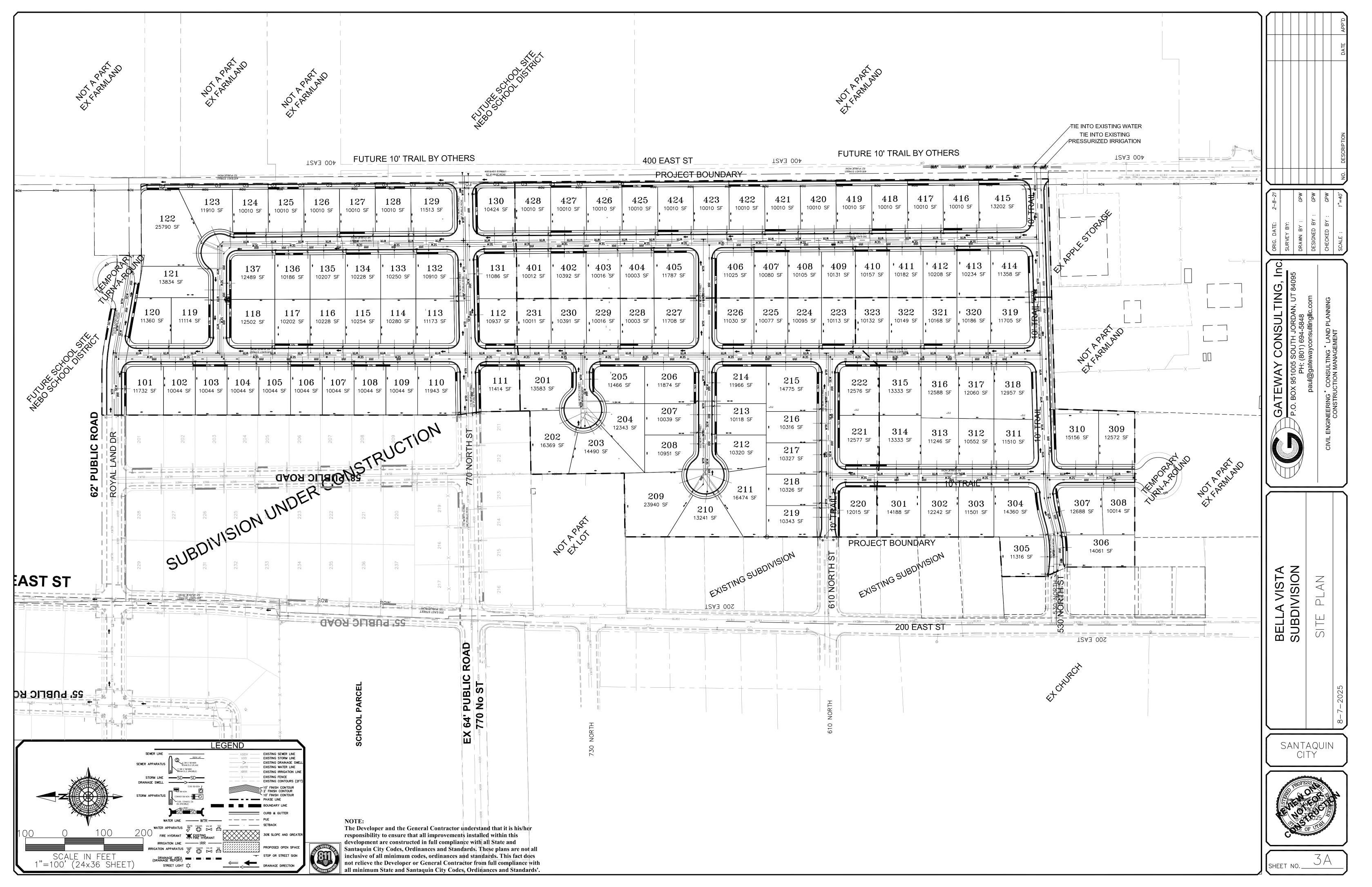
SUITE 200 SALT LAKE CITY, UT 84115

801.743.1300

Date 8–7–2025 File: PPLAT BELLA VISTA







122 25790 SF

. 102 10044 SF

. 104 510044 SF

LEGEND

STREET LIGHT 🌣

inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with

all minimum State and Santaquin City Codes, Ordinances and Standards'.

FUTURE SCHOOL SITE NEBO SCHOOL DISTRICT

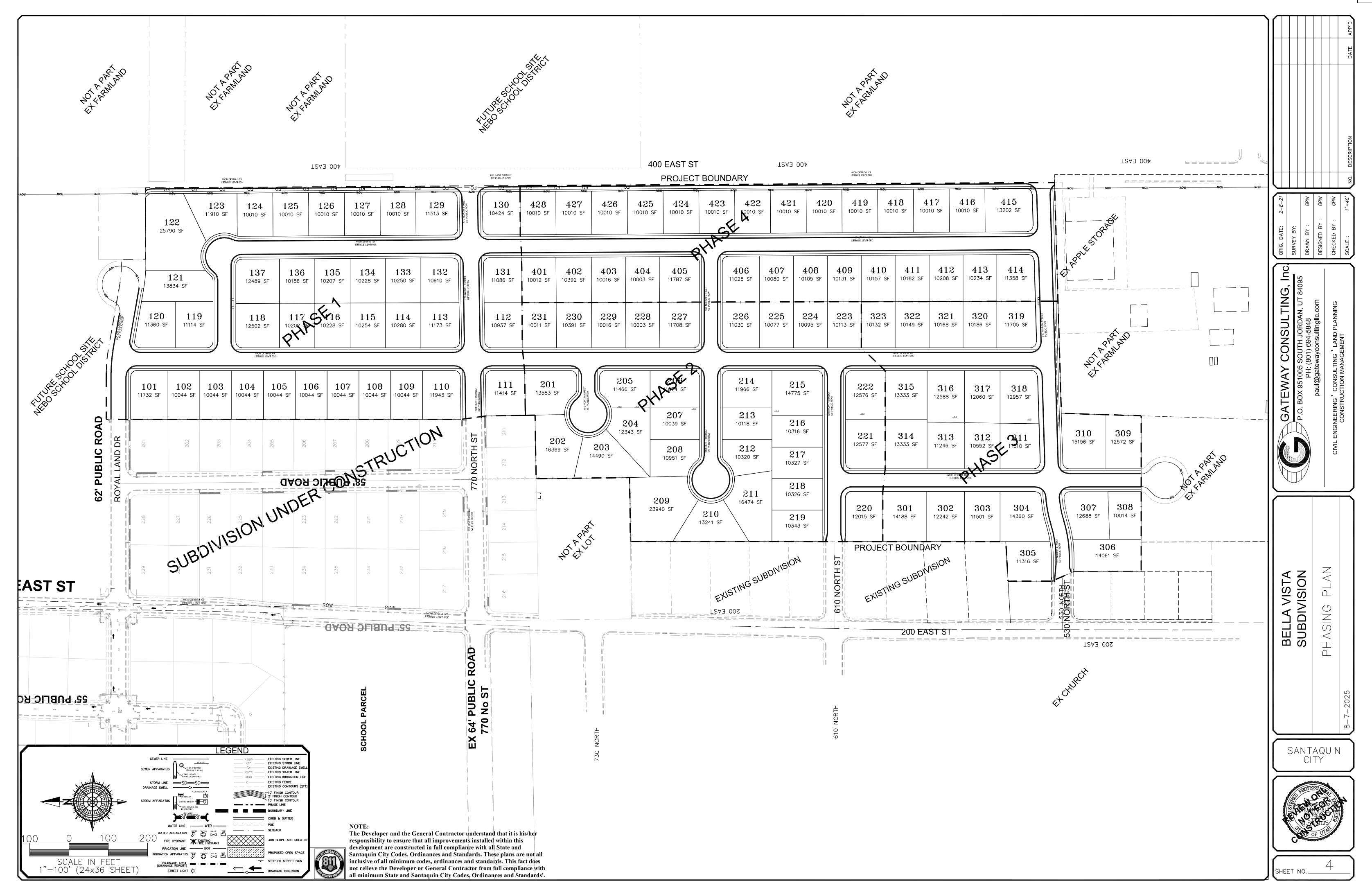
ST

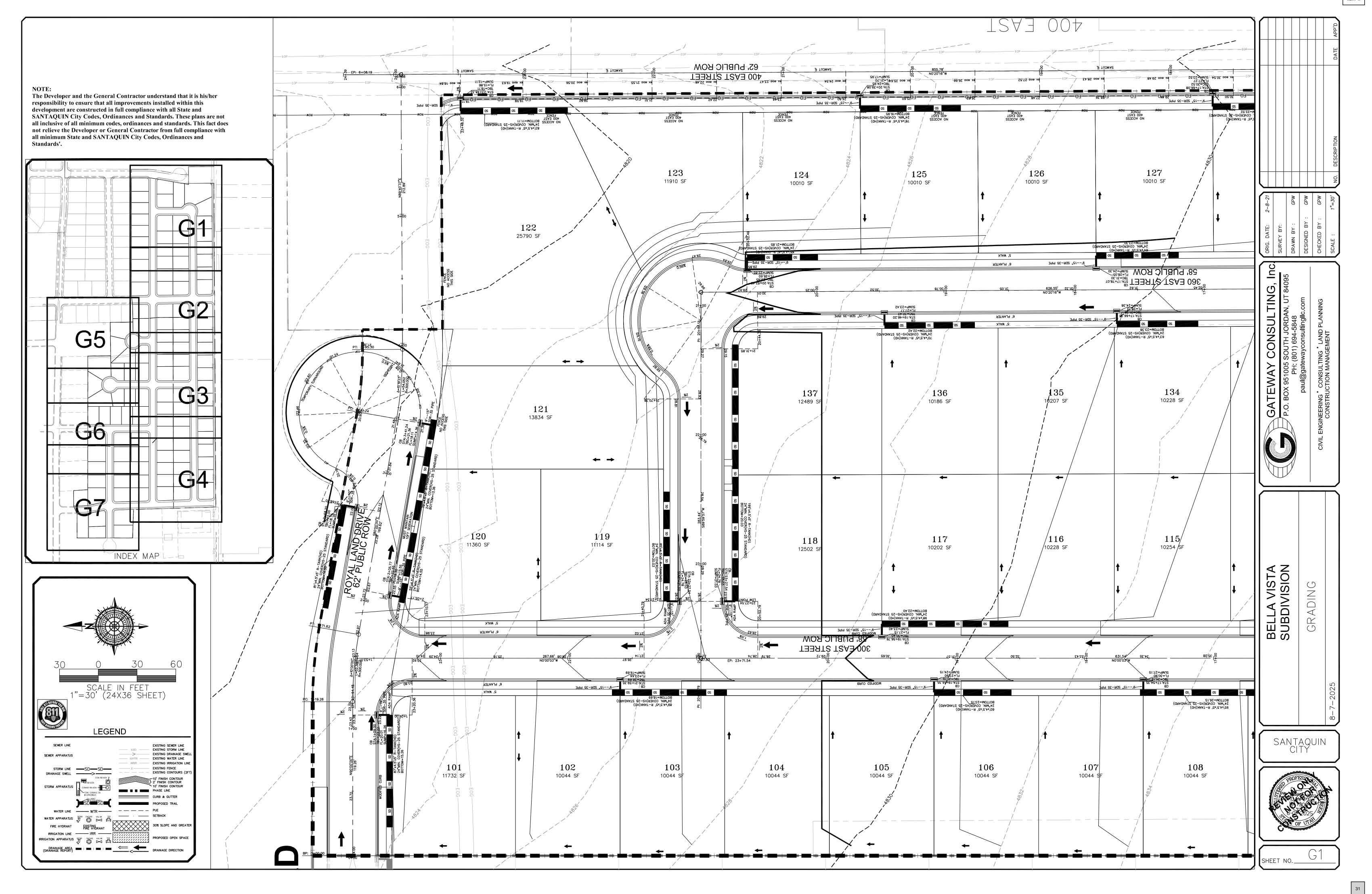
PT: 3+95.30

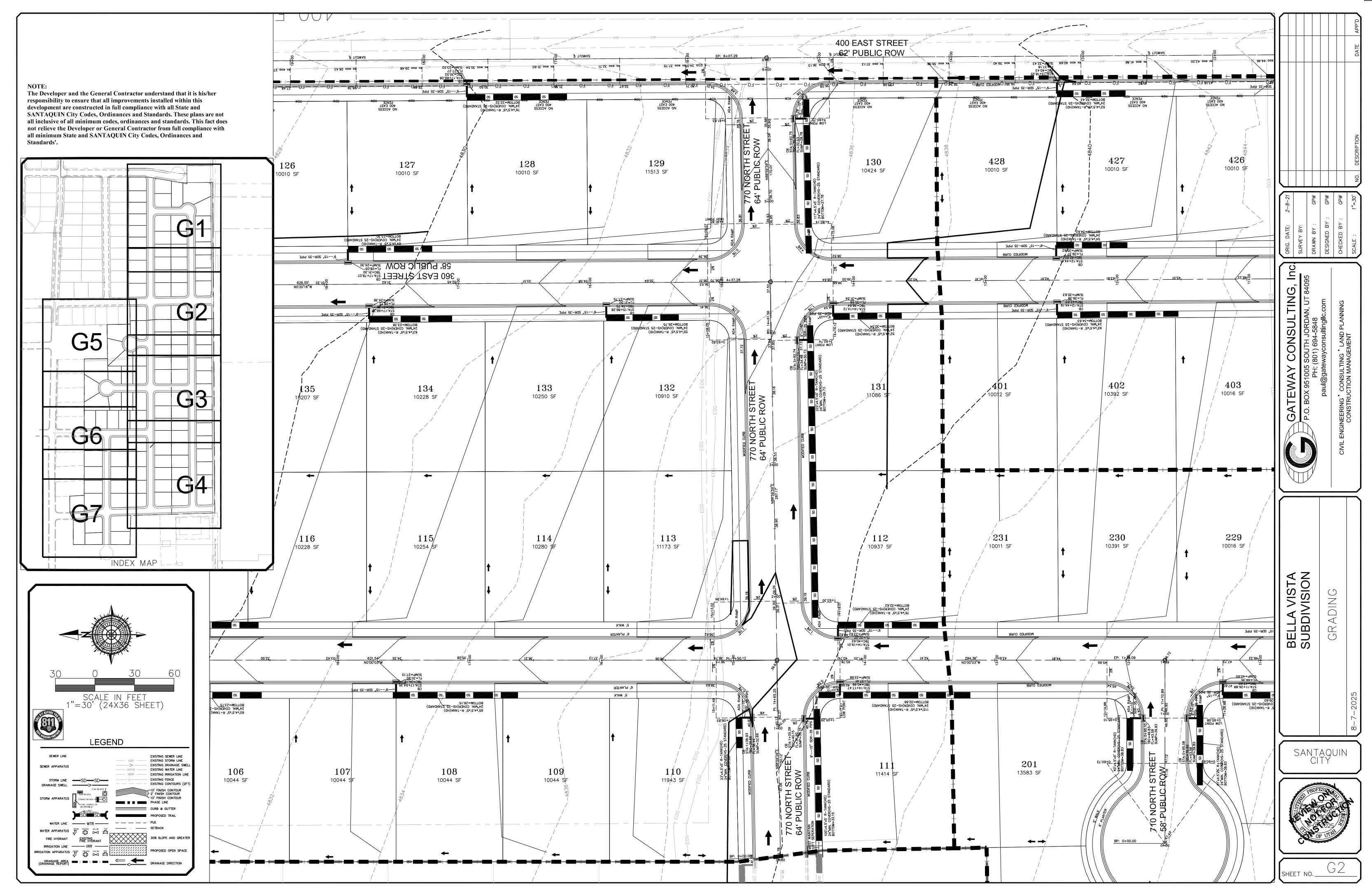
62' PUBLIC ROAD ROYAL LAND DR

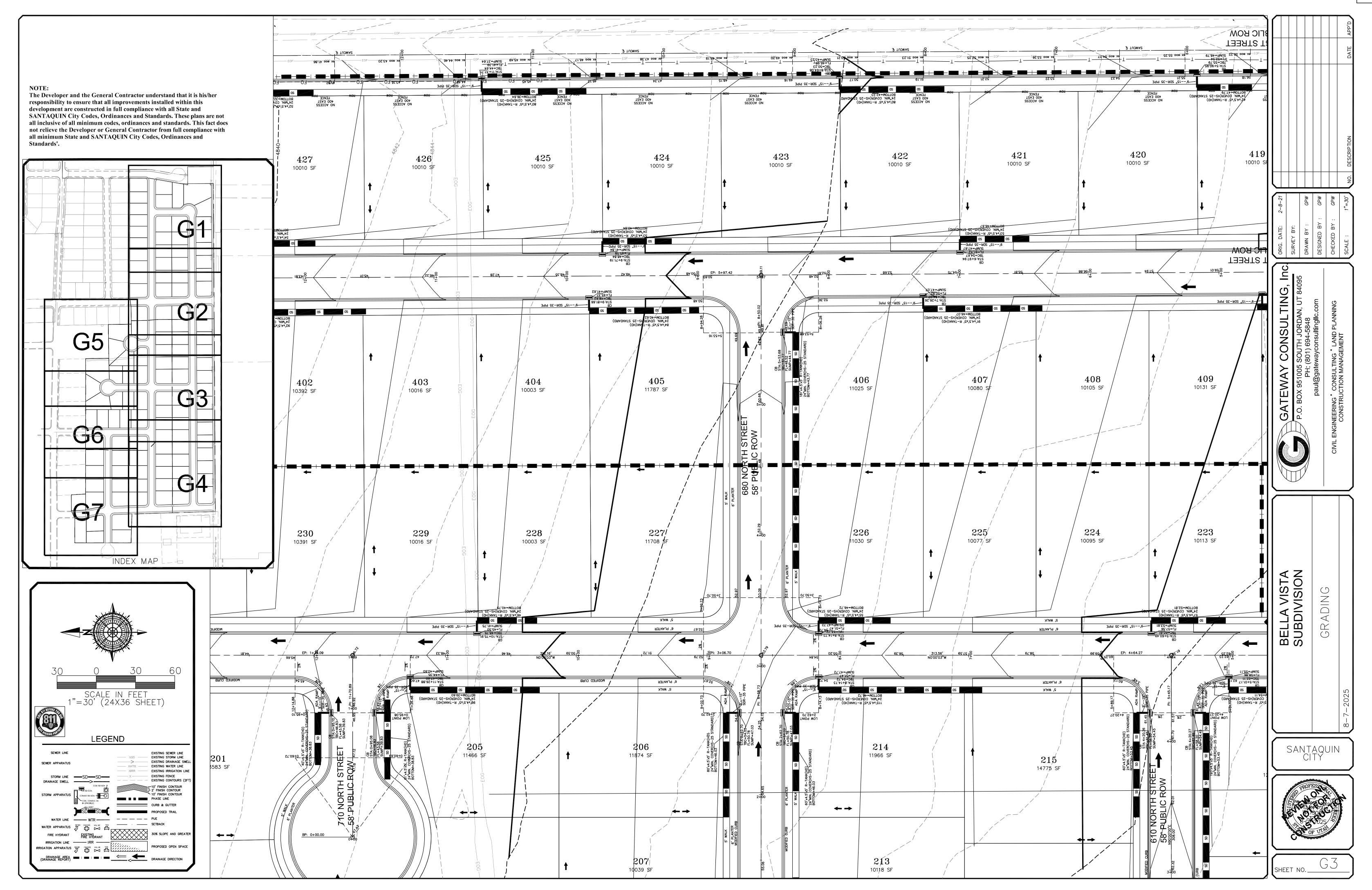
SCALE IN FEET =90' (24x36 SHE

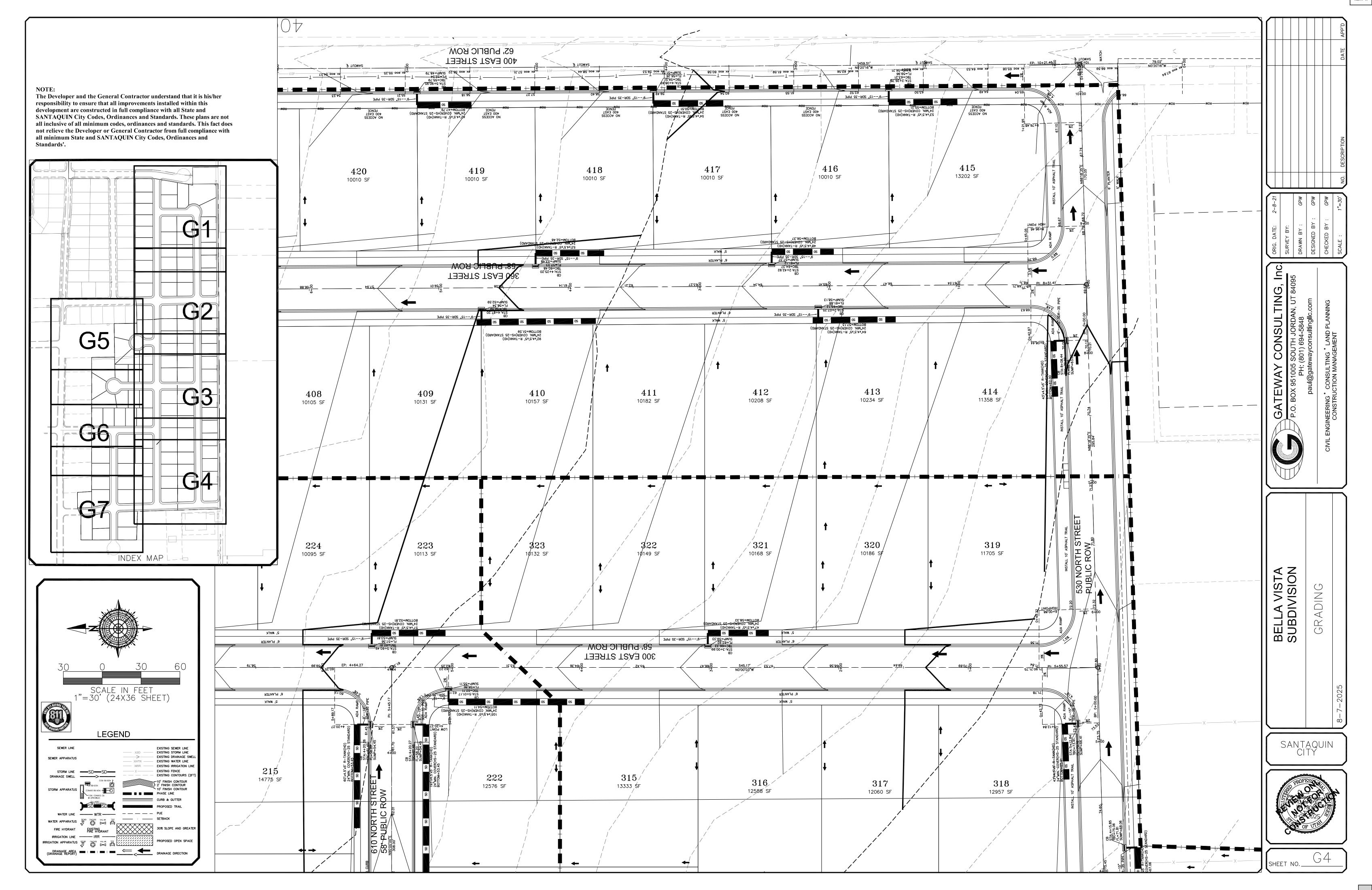
(24x36 SHEET

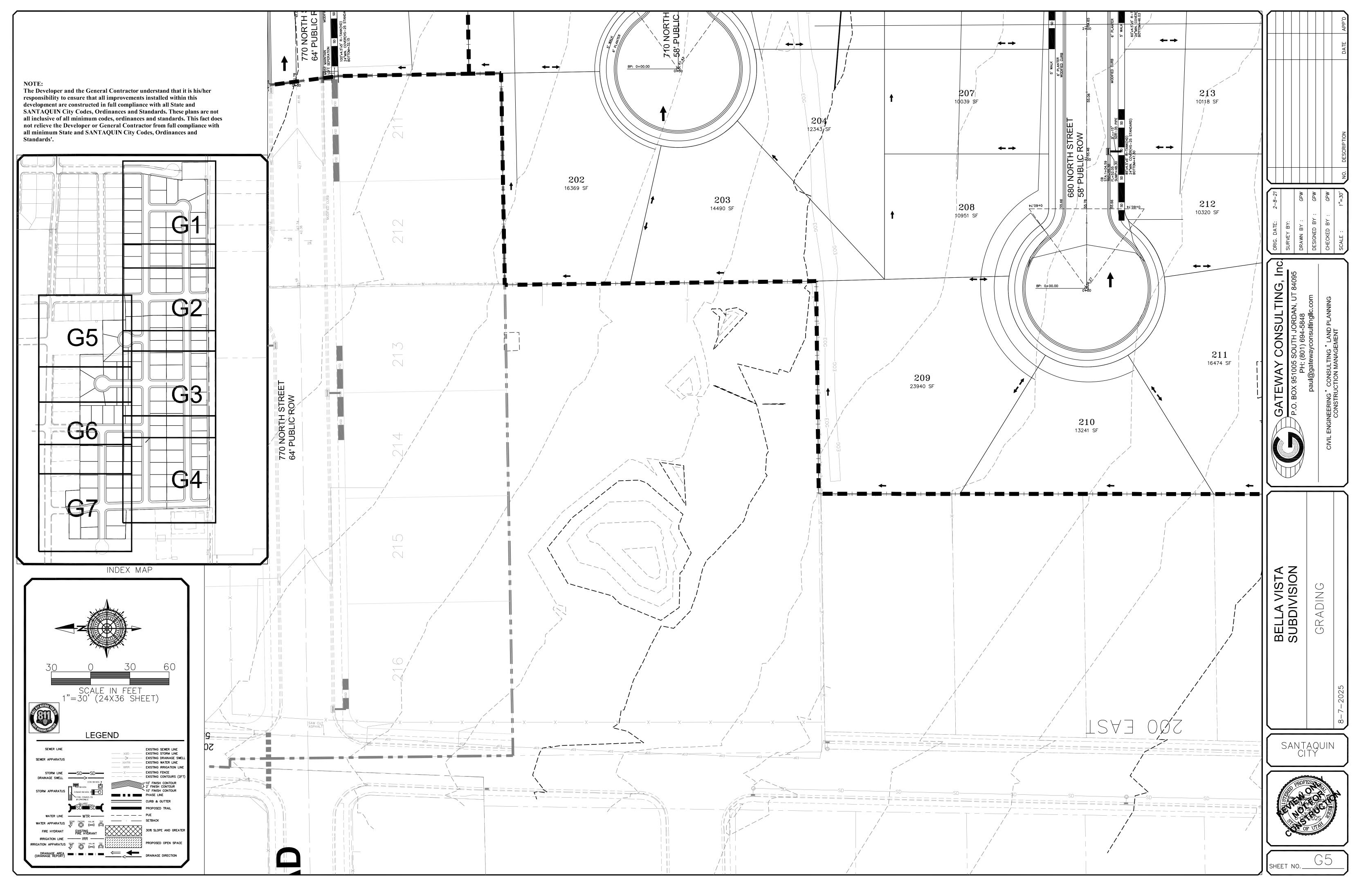


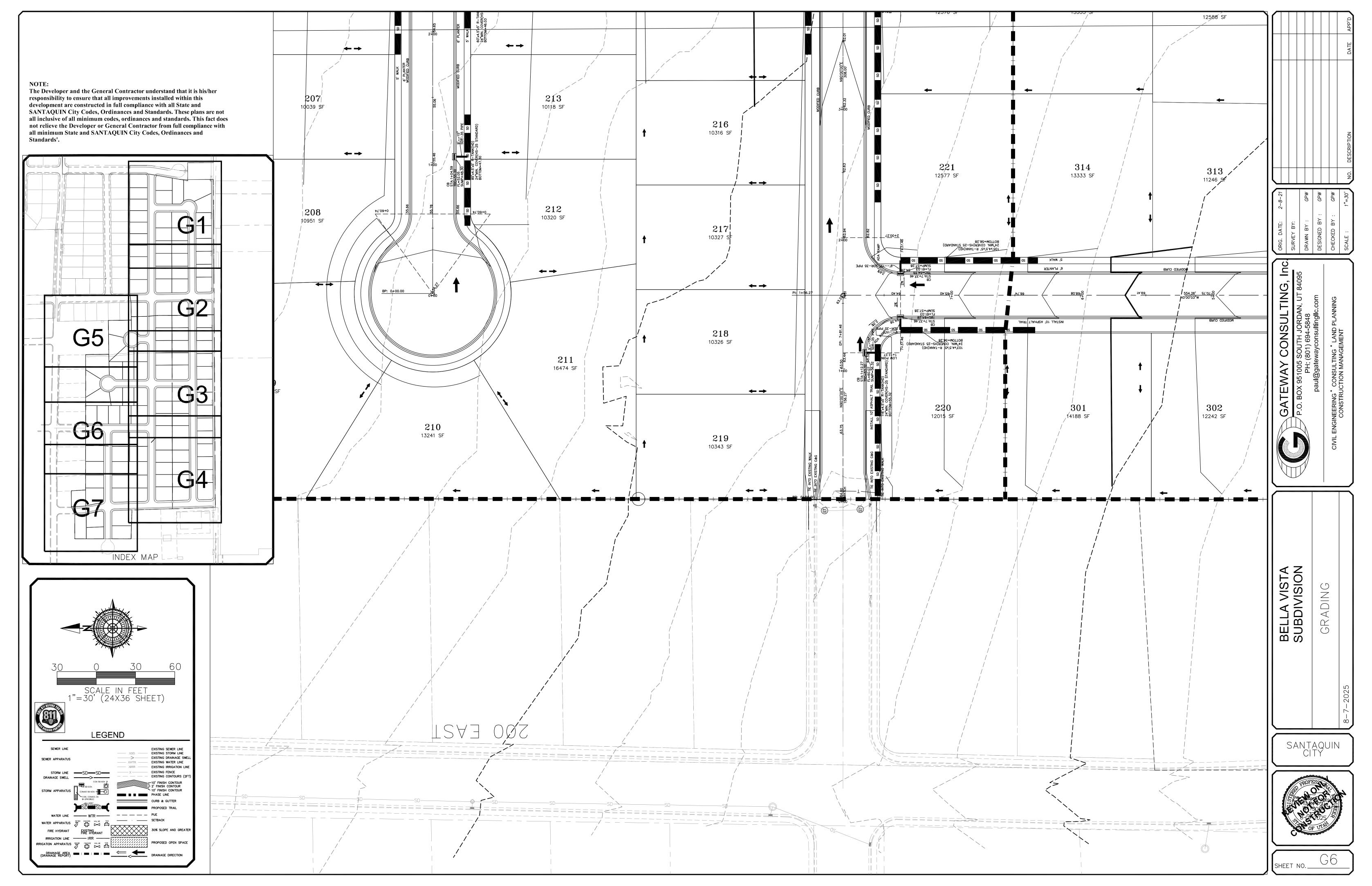




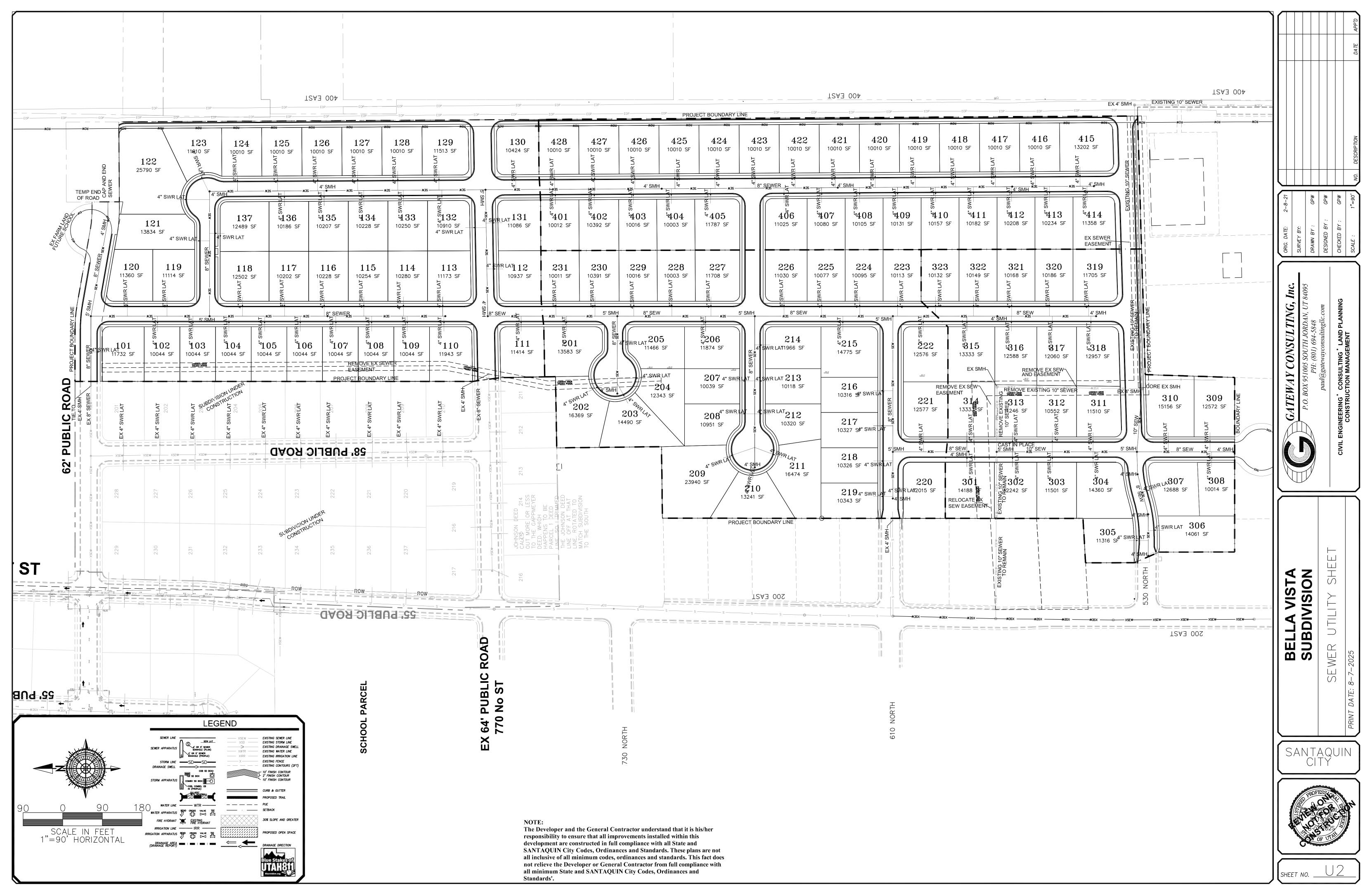


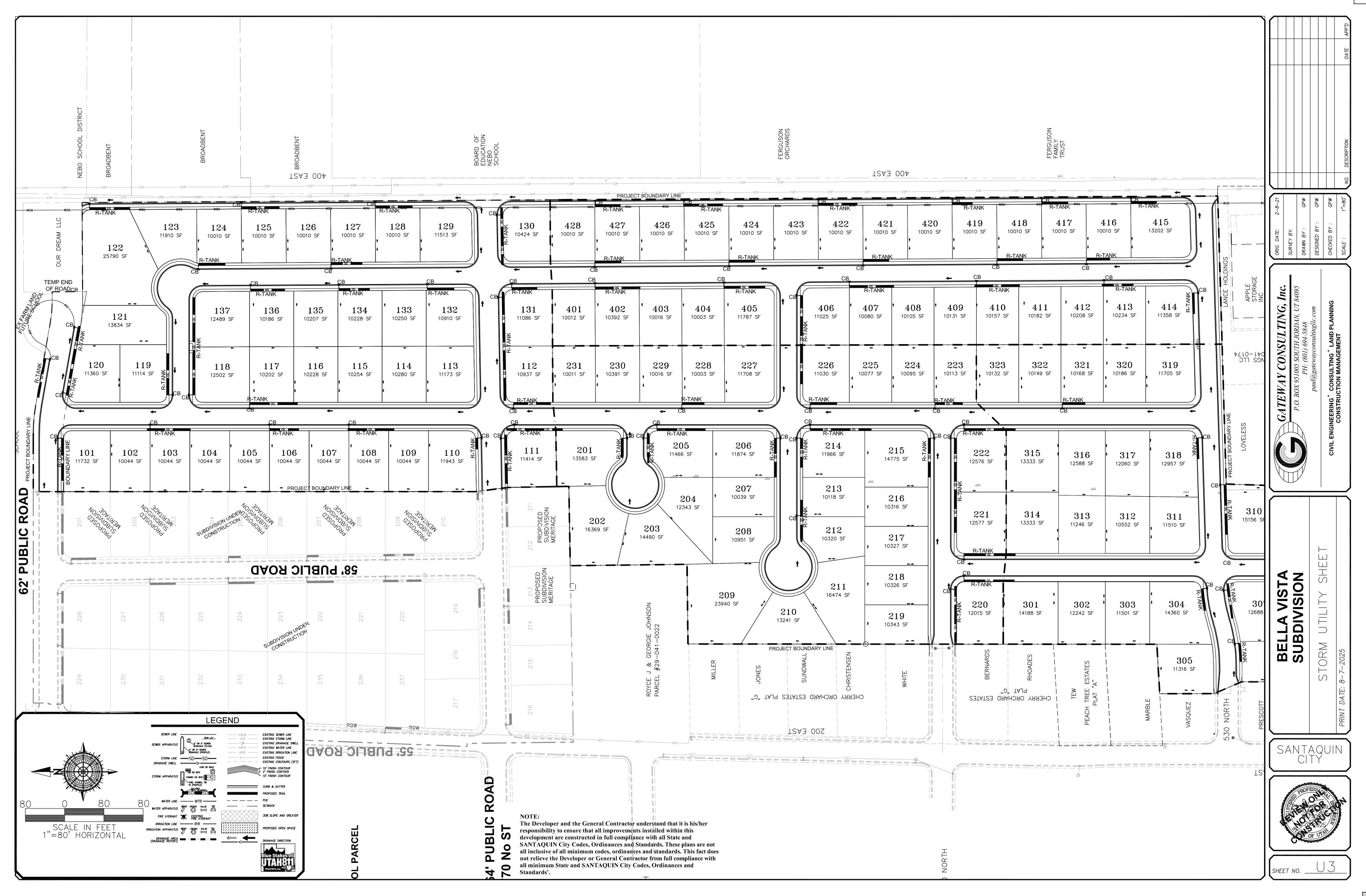


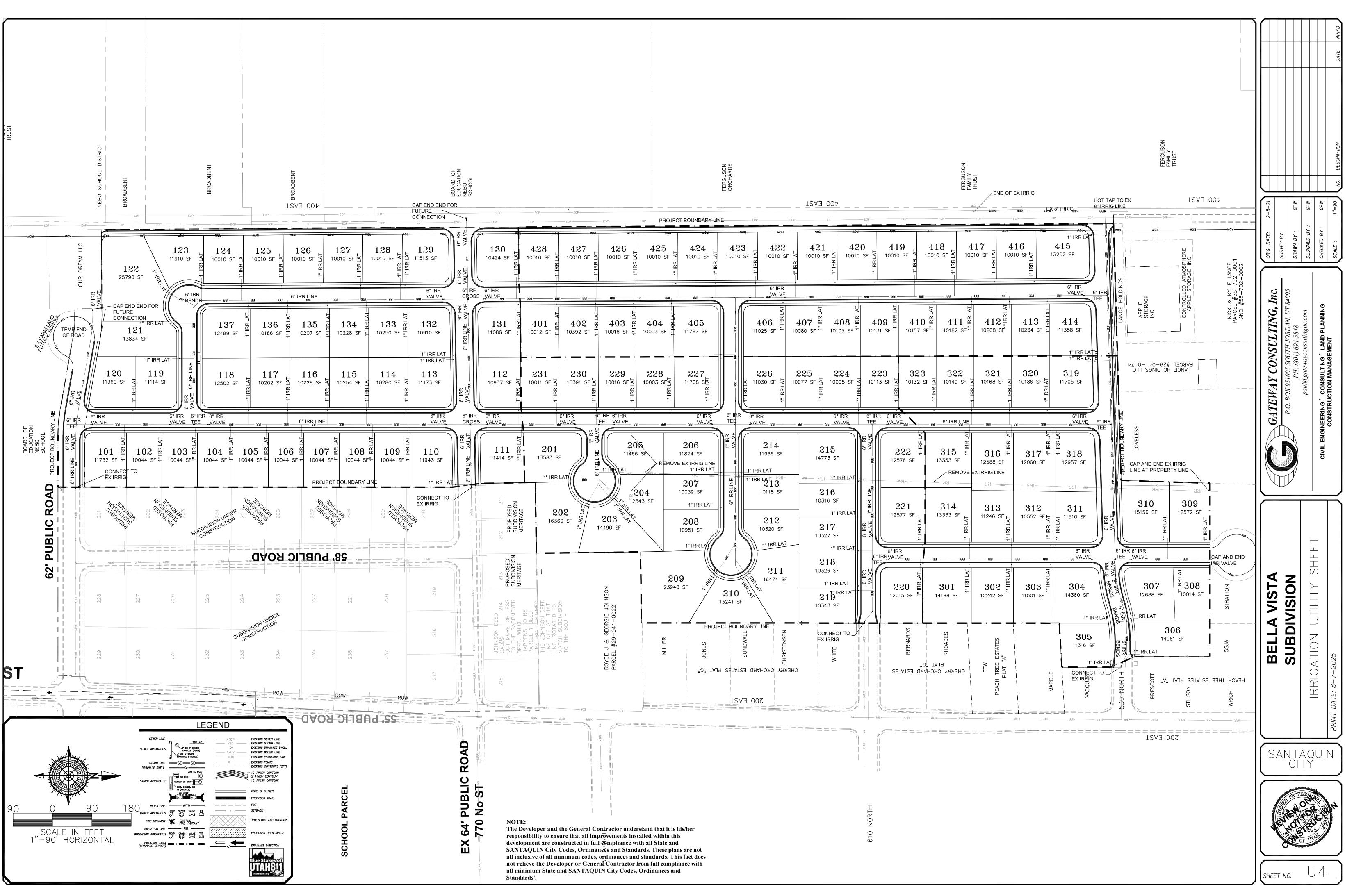


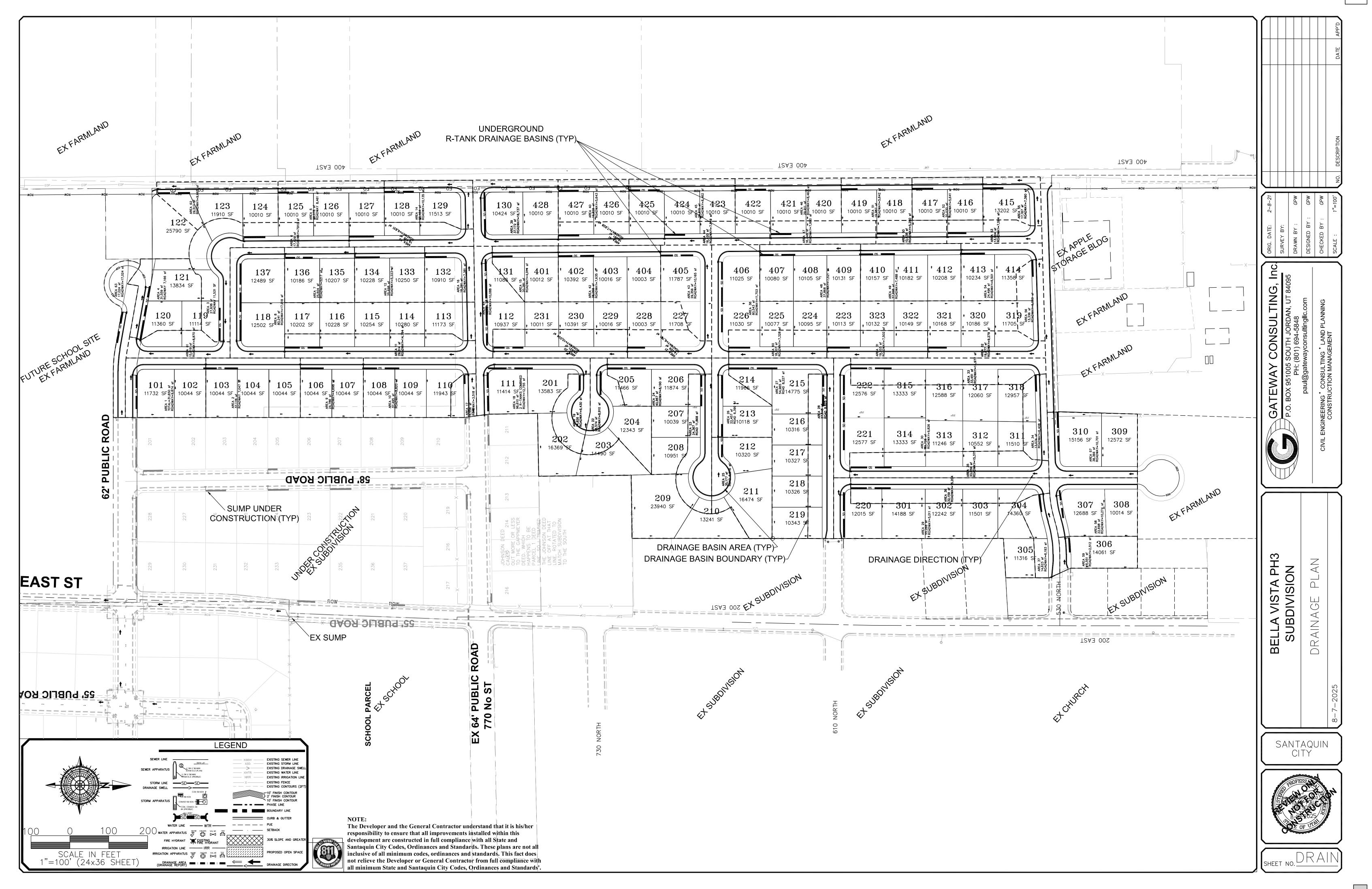


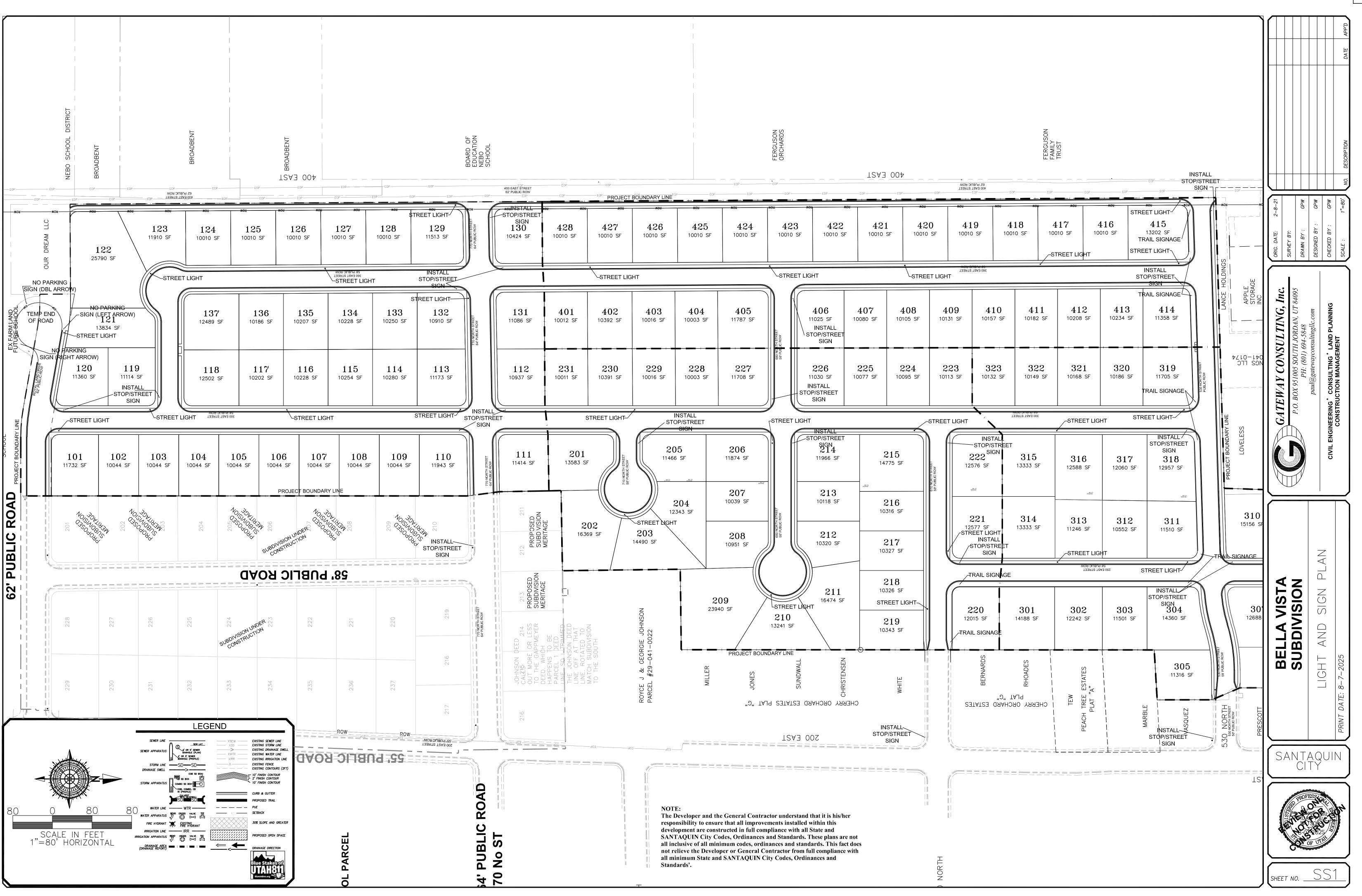


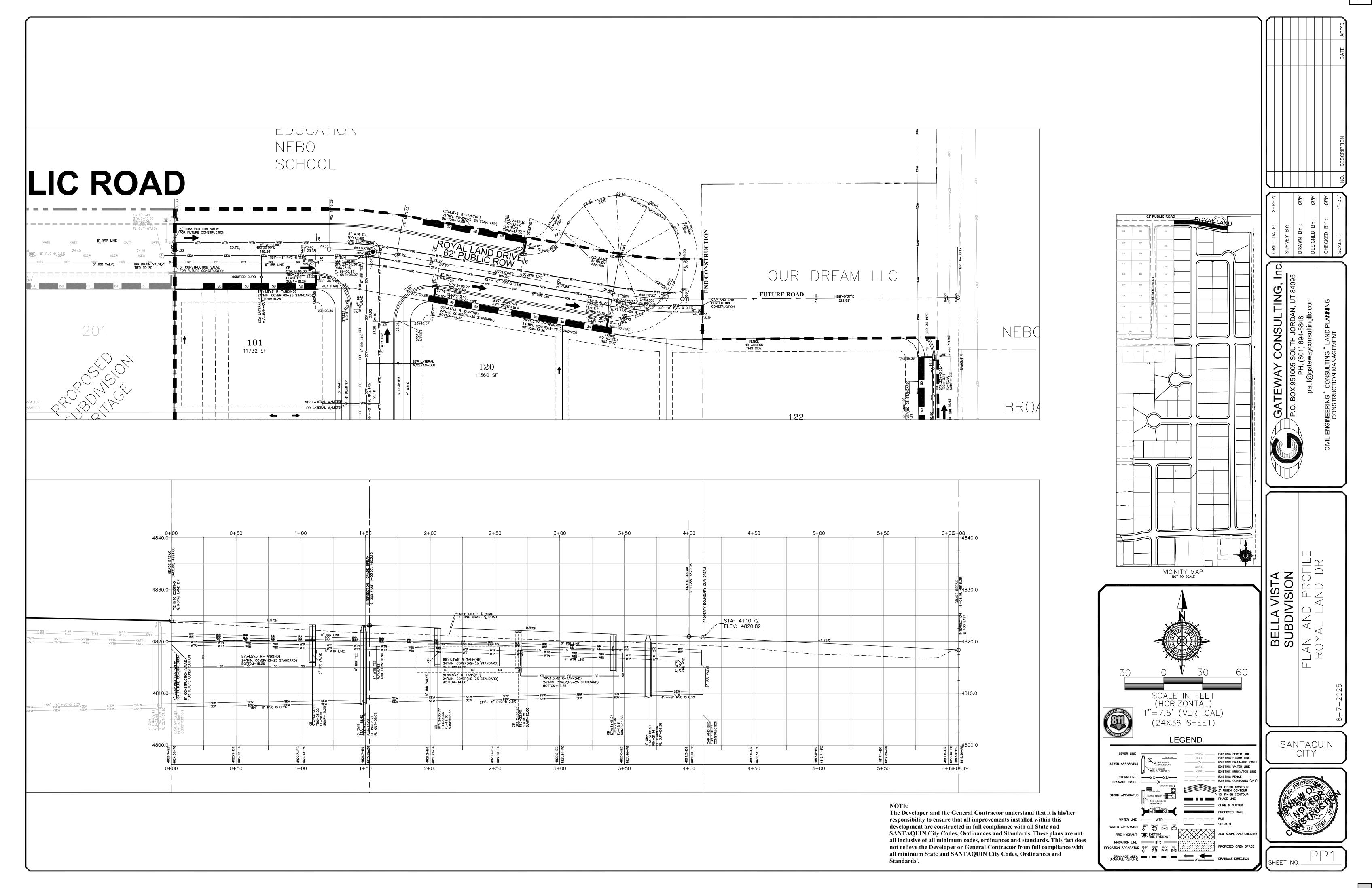


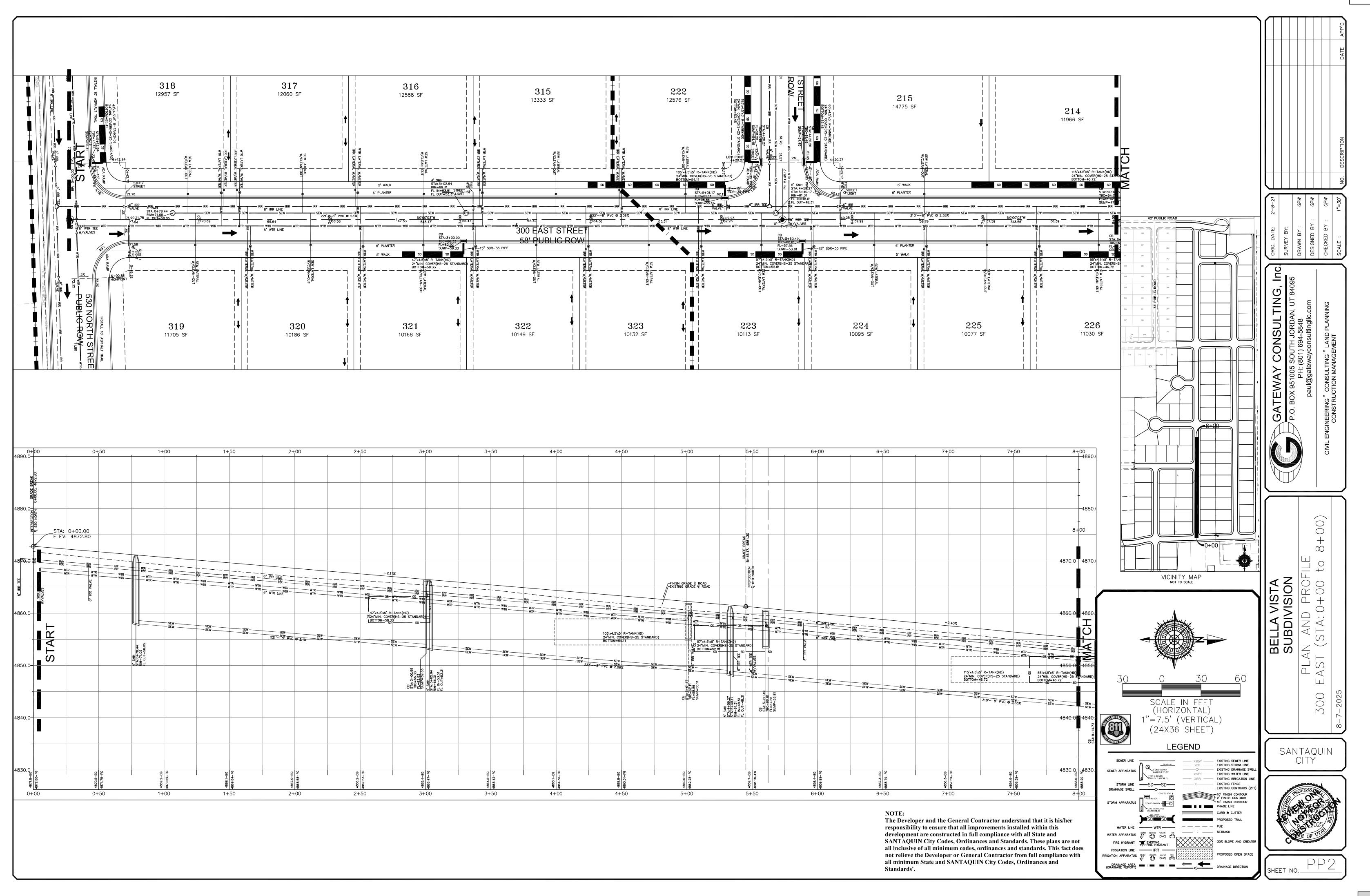


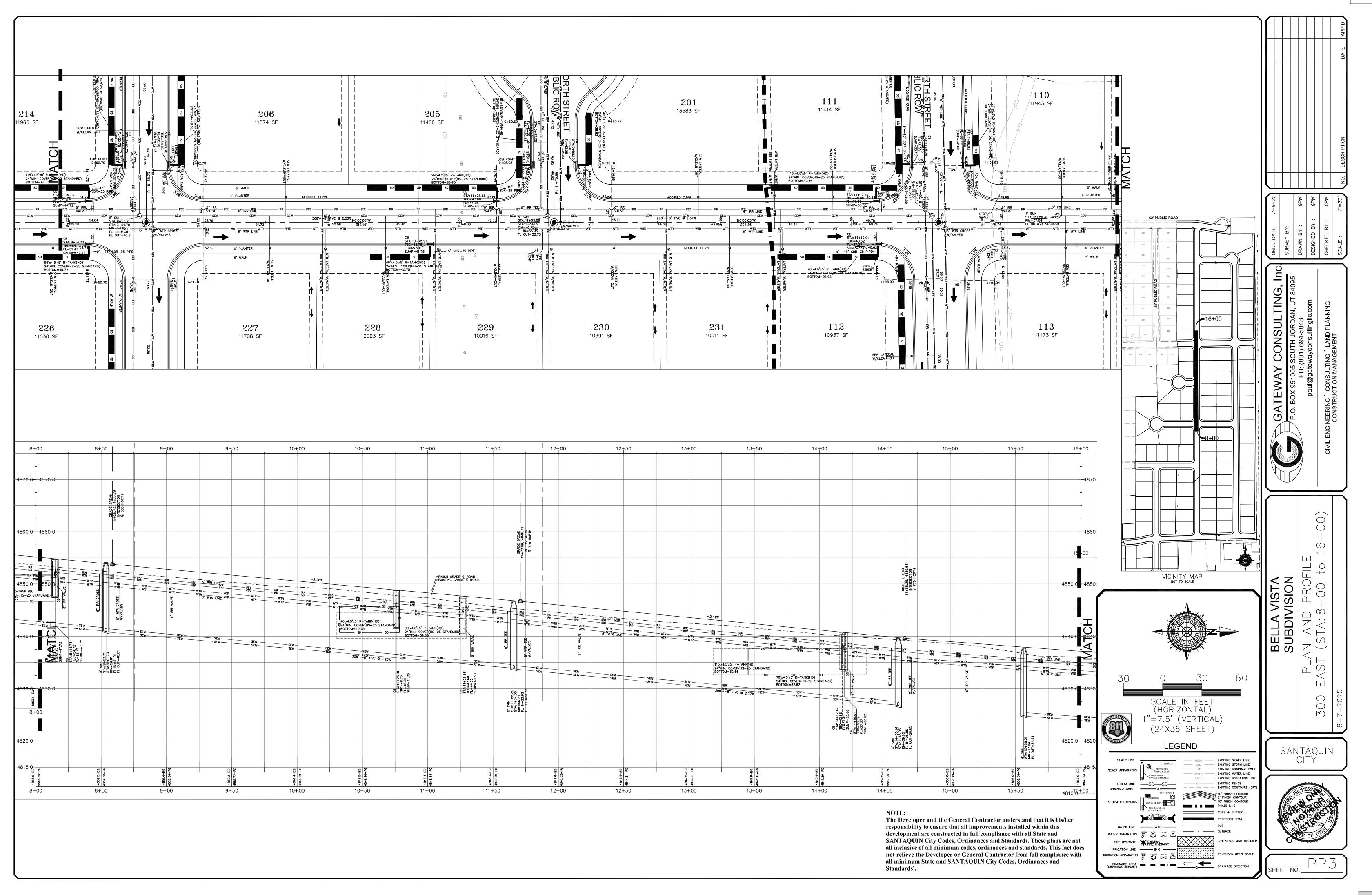


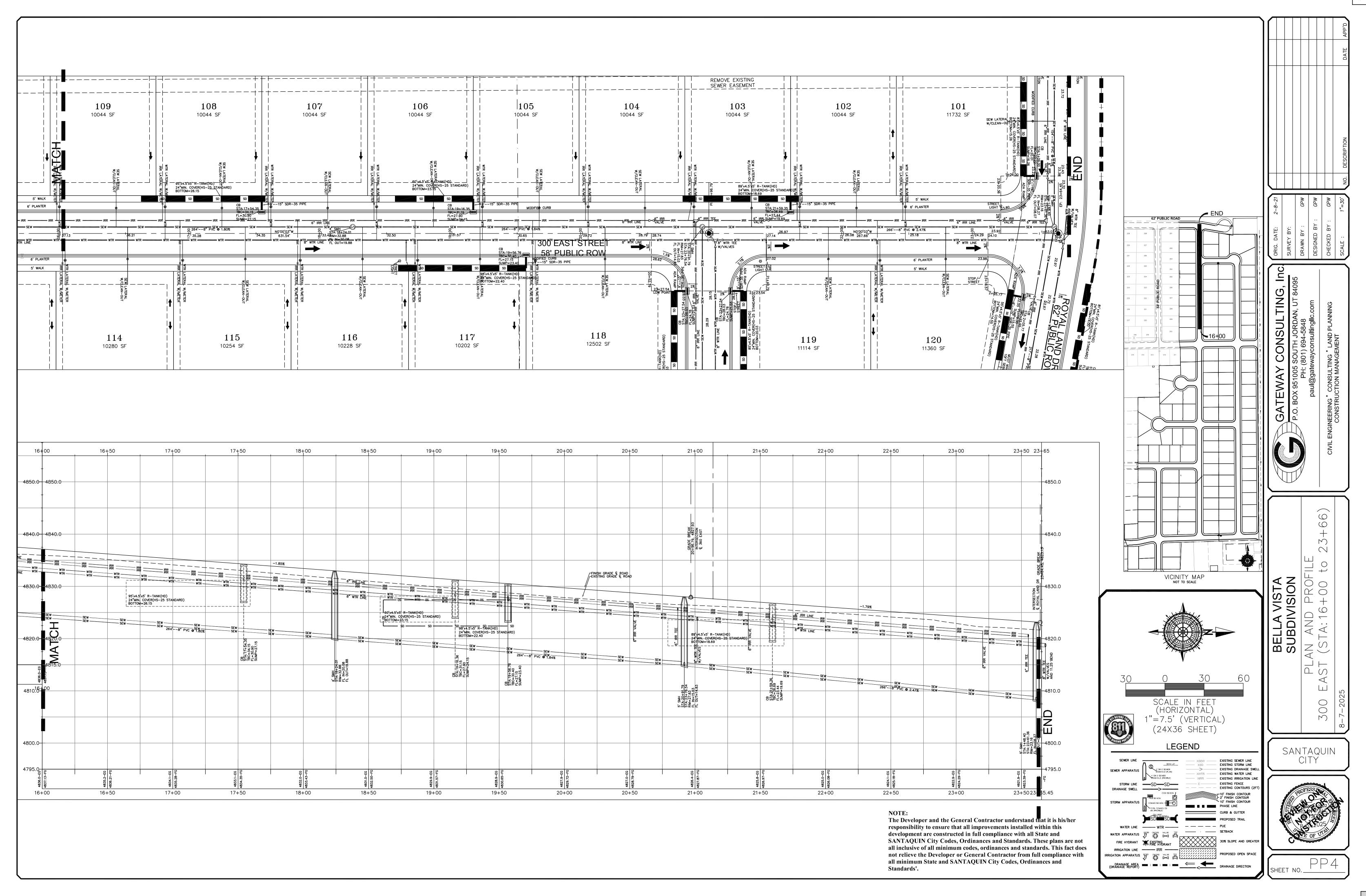


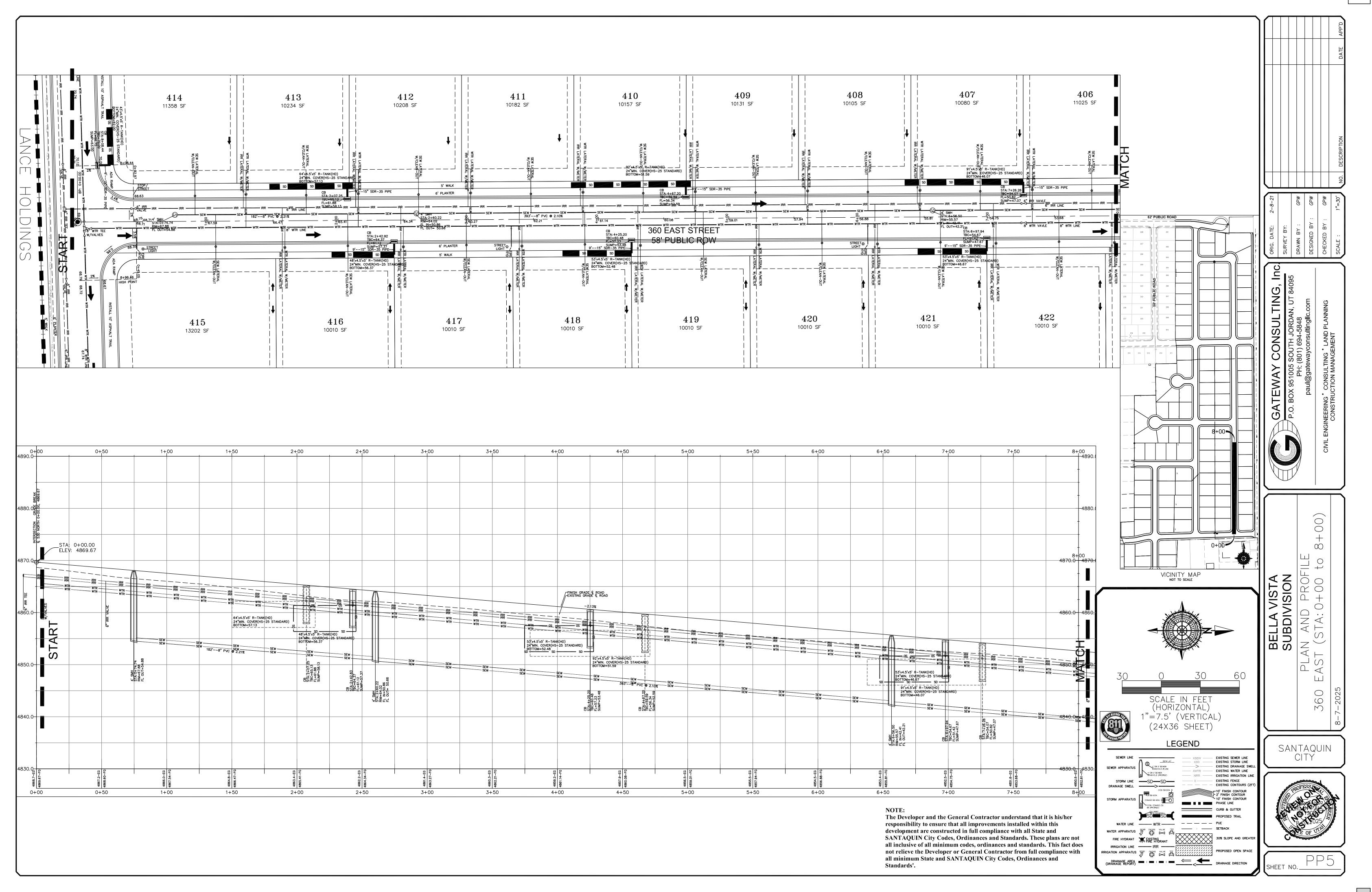


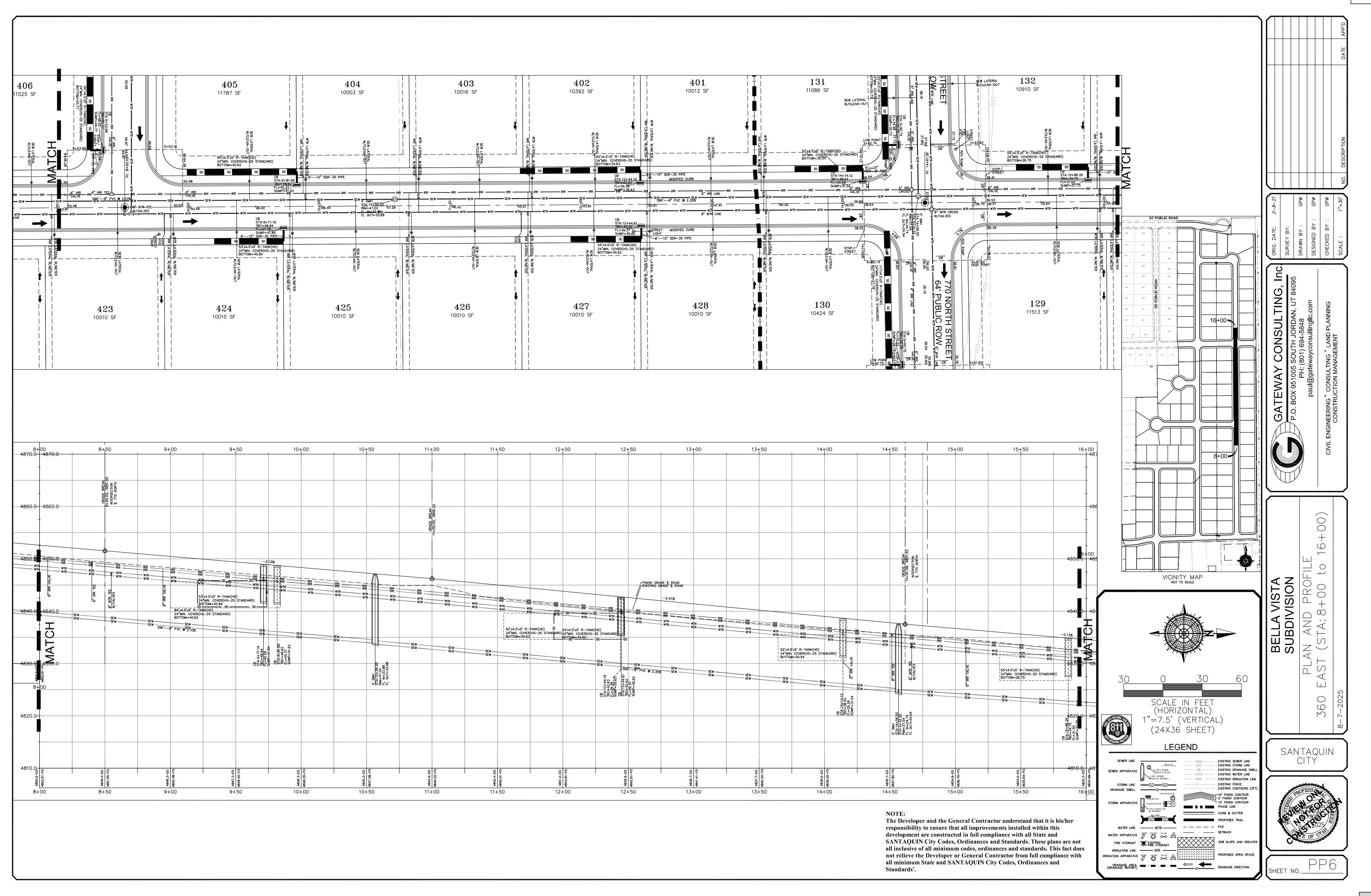


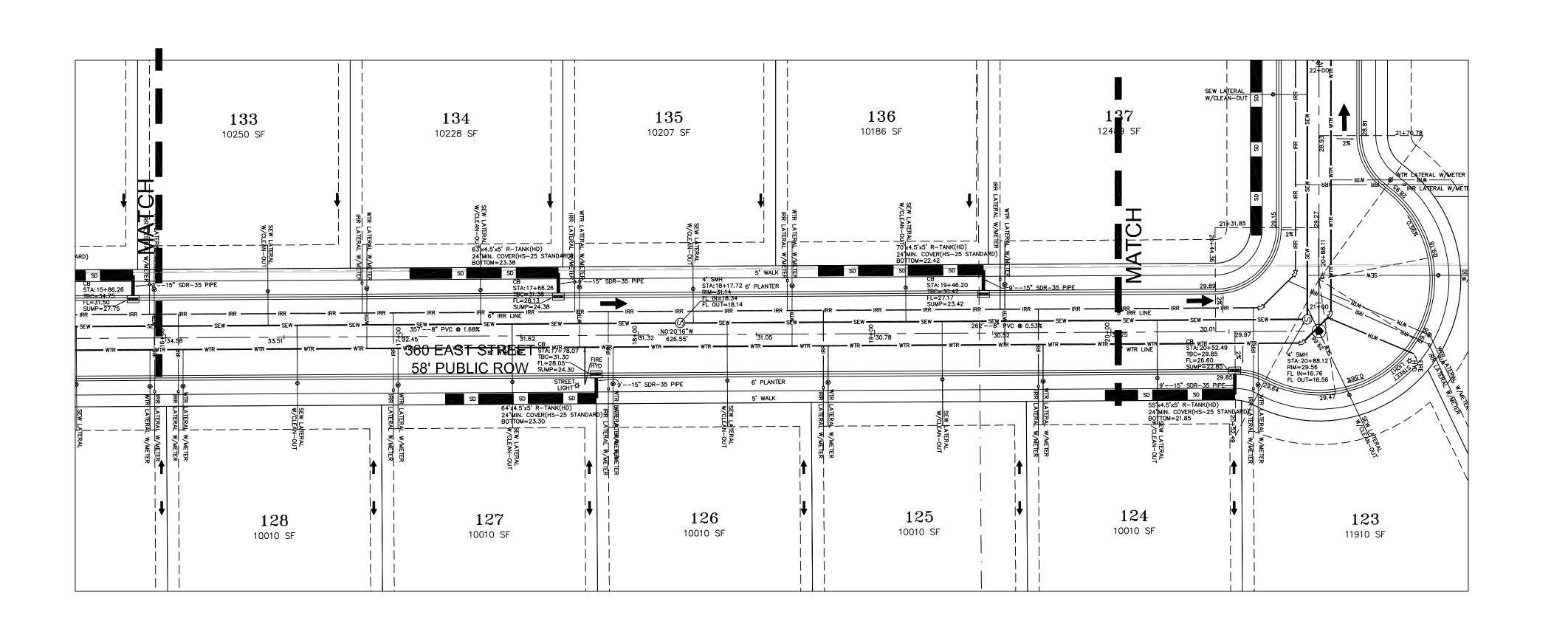


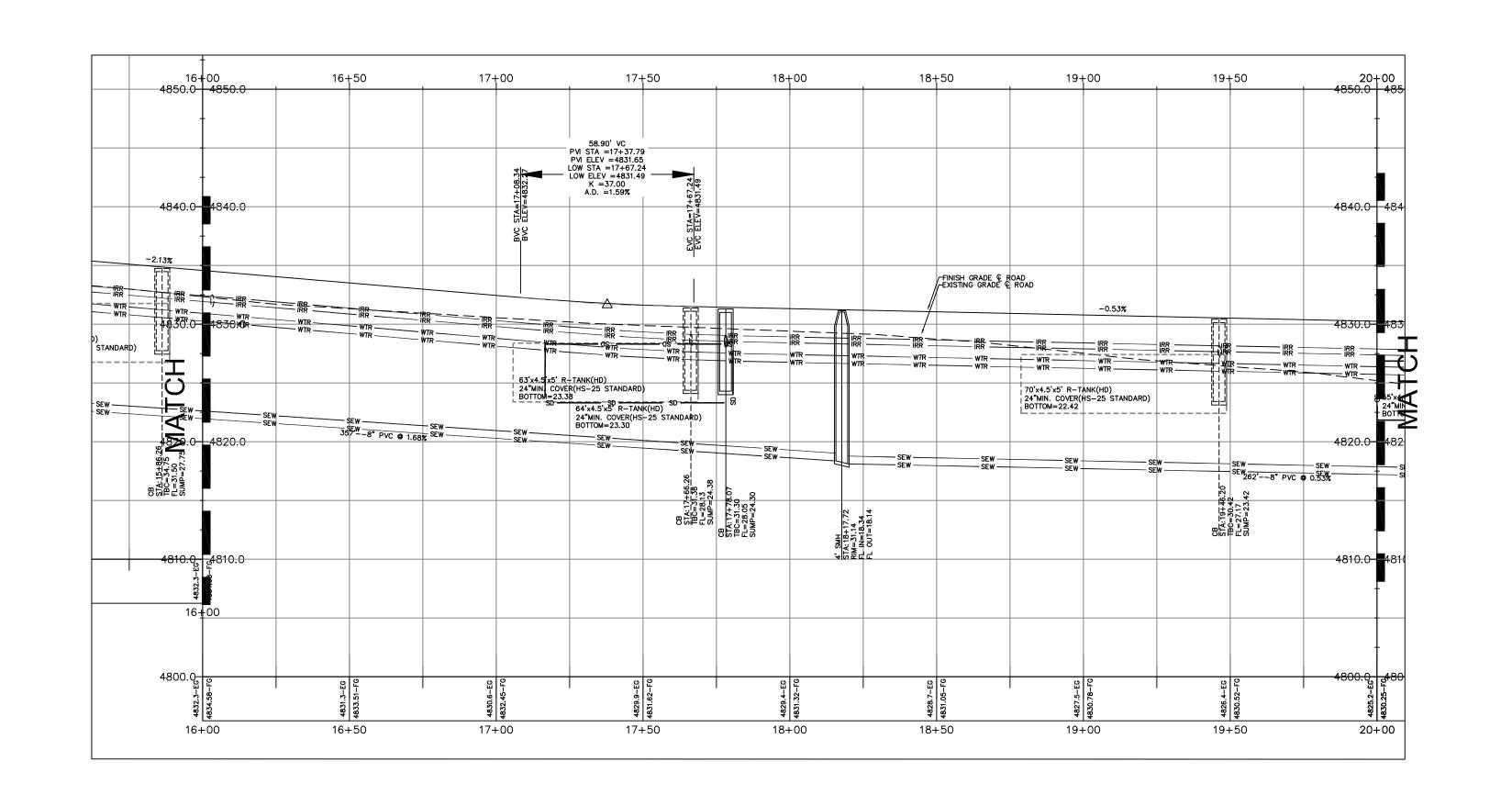


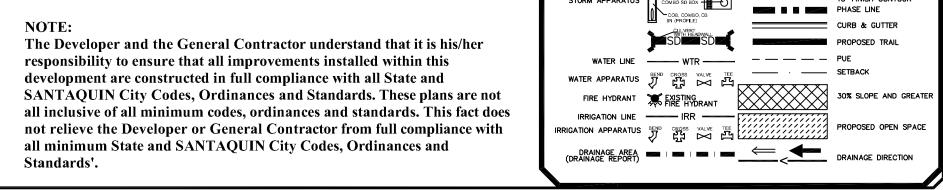


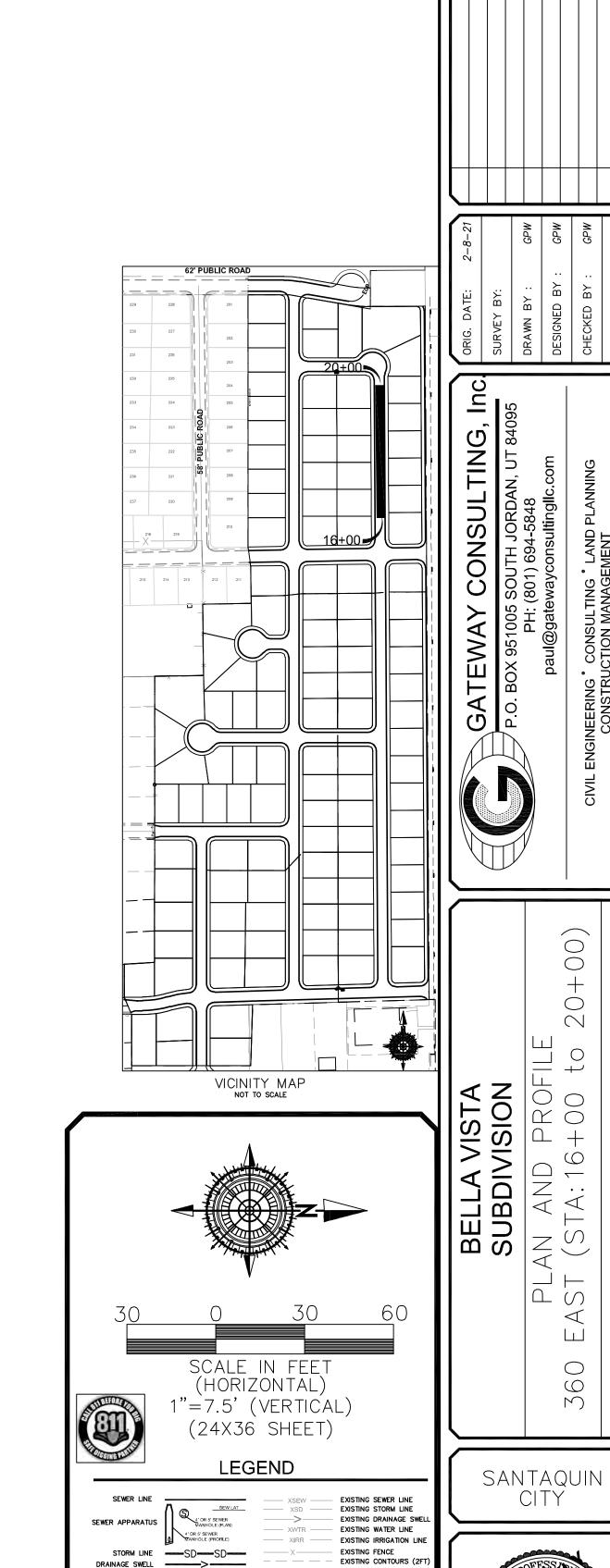










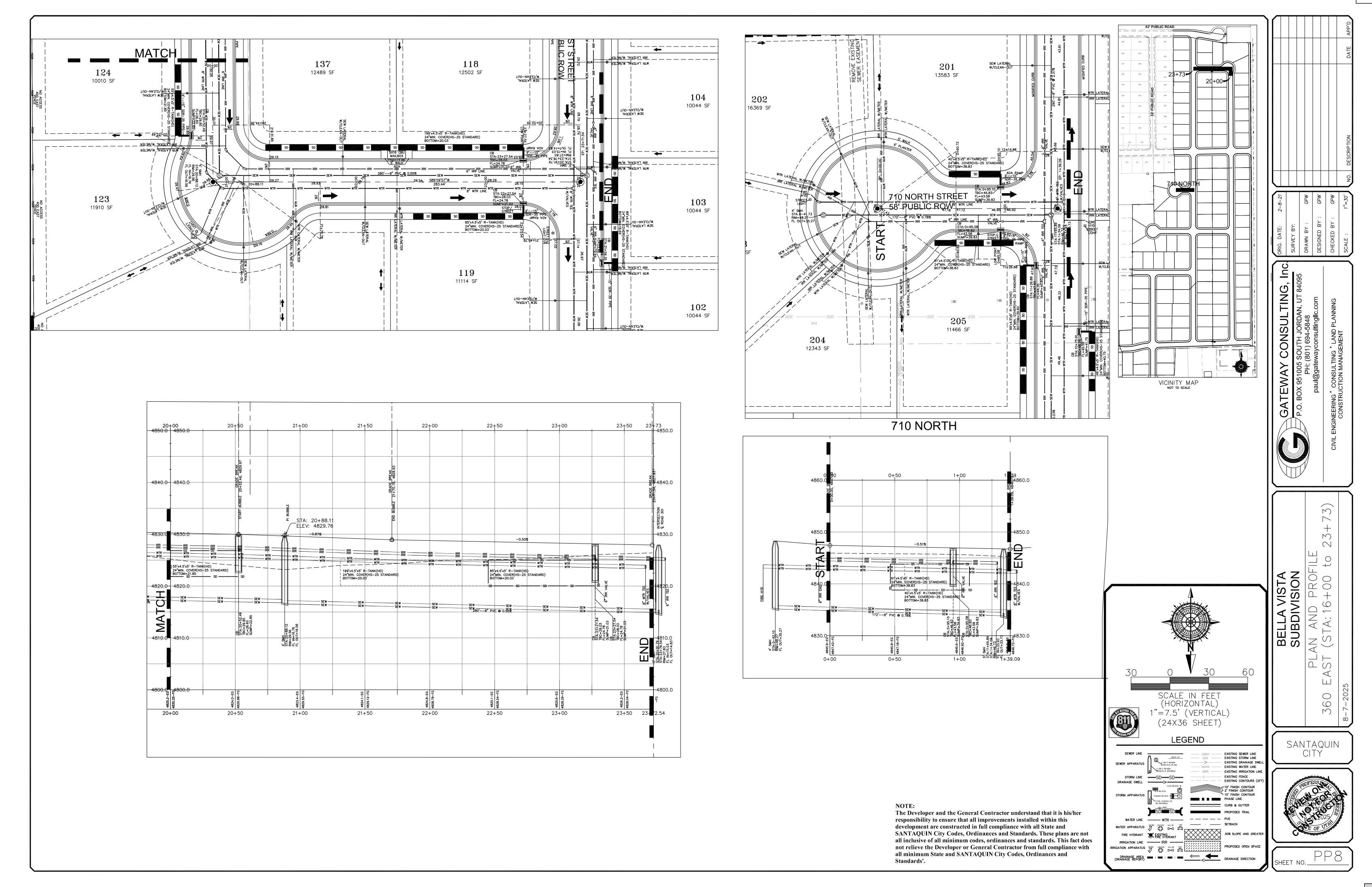


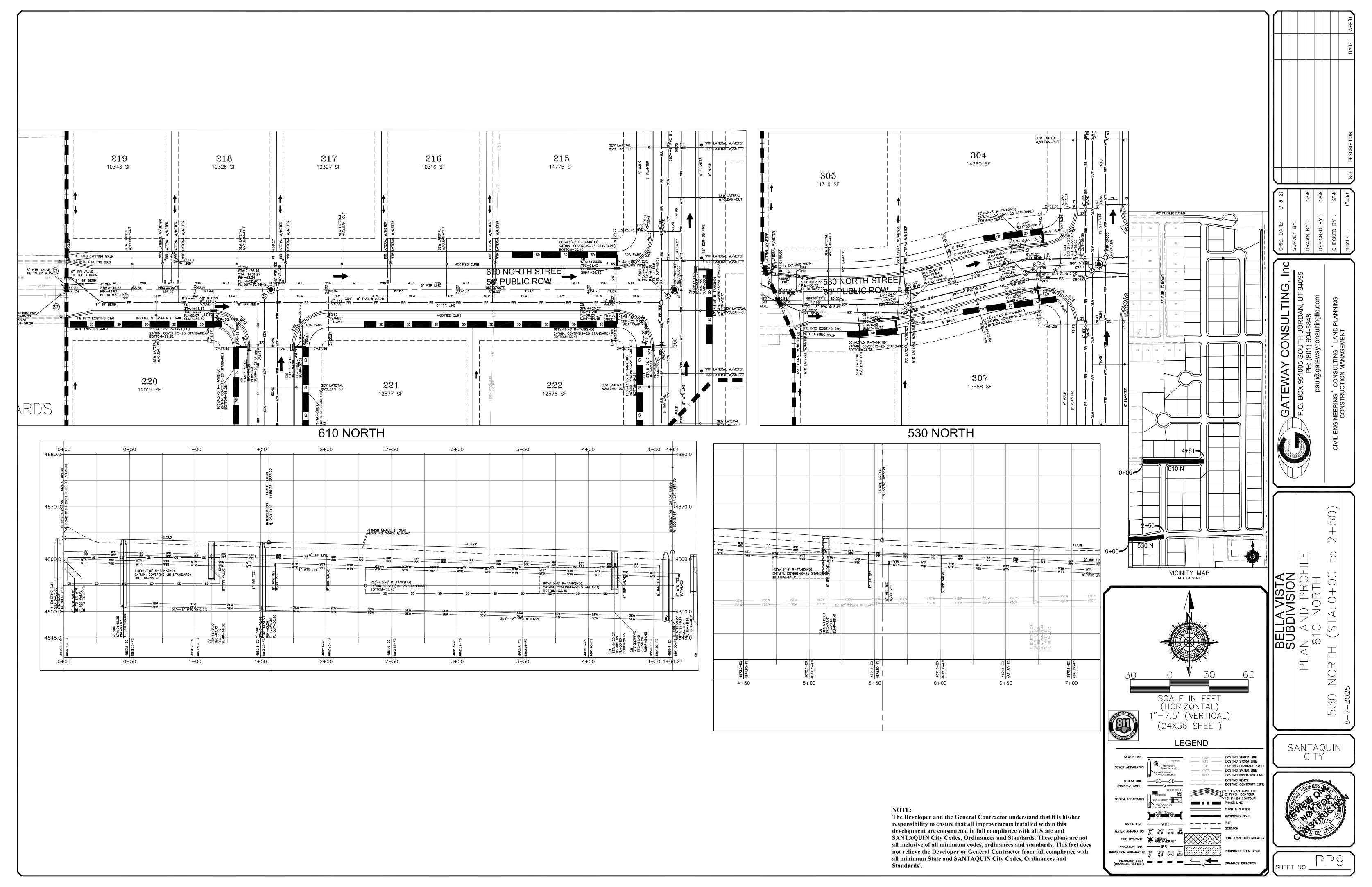
10' FINISH CONTOUR 2' FINISH CONTOUR 10' FINISH CONTOUR

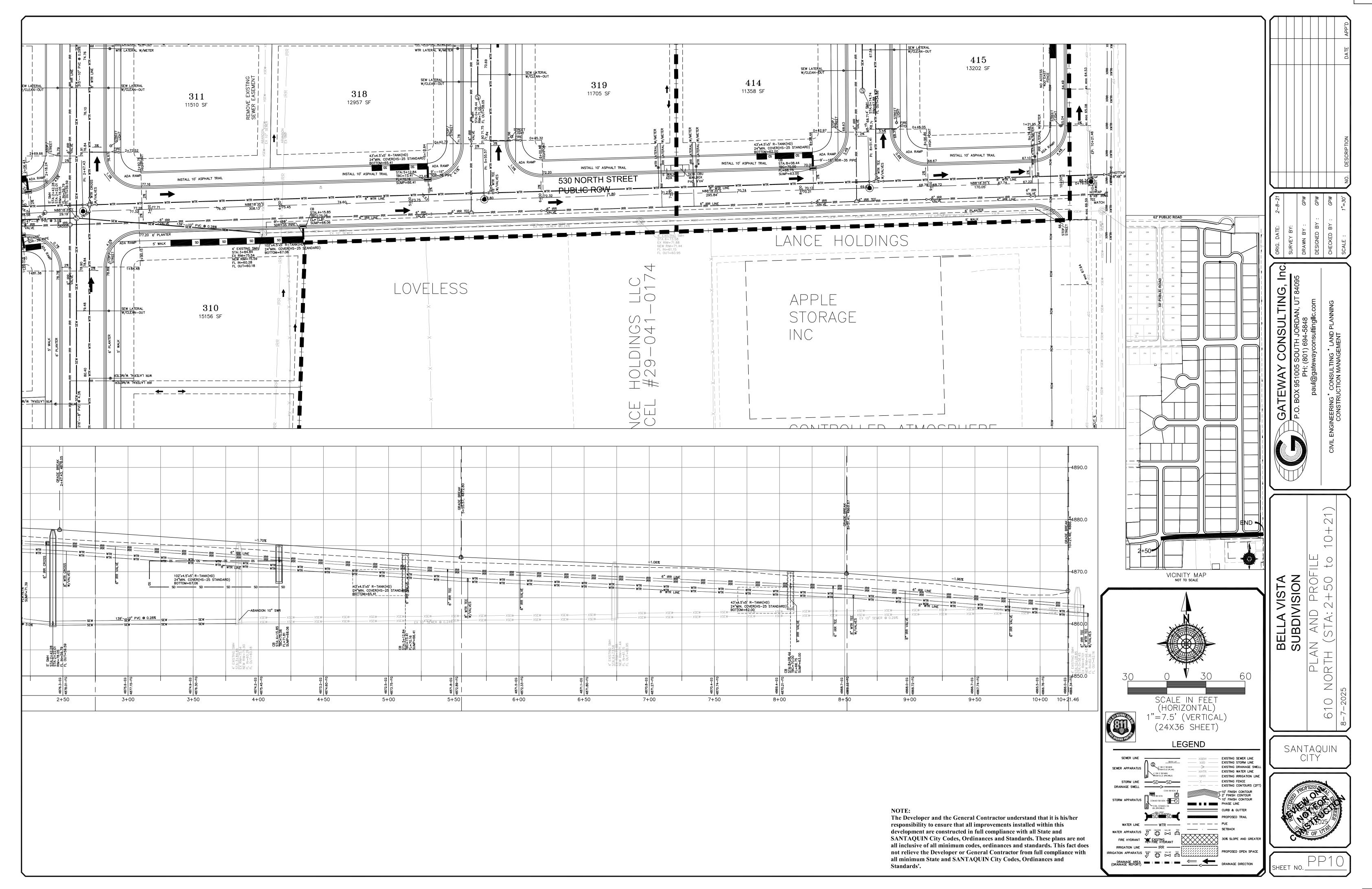
PHASE LINE CURB & GUTTER (00)

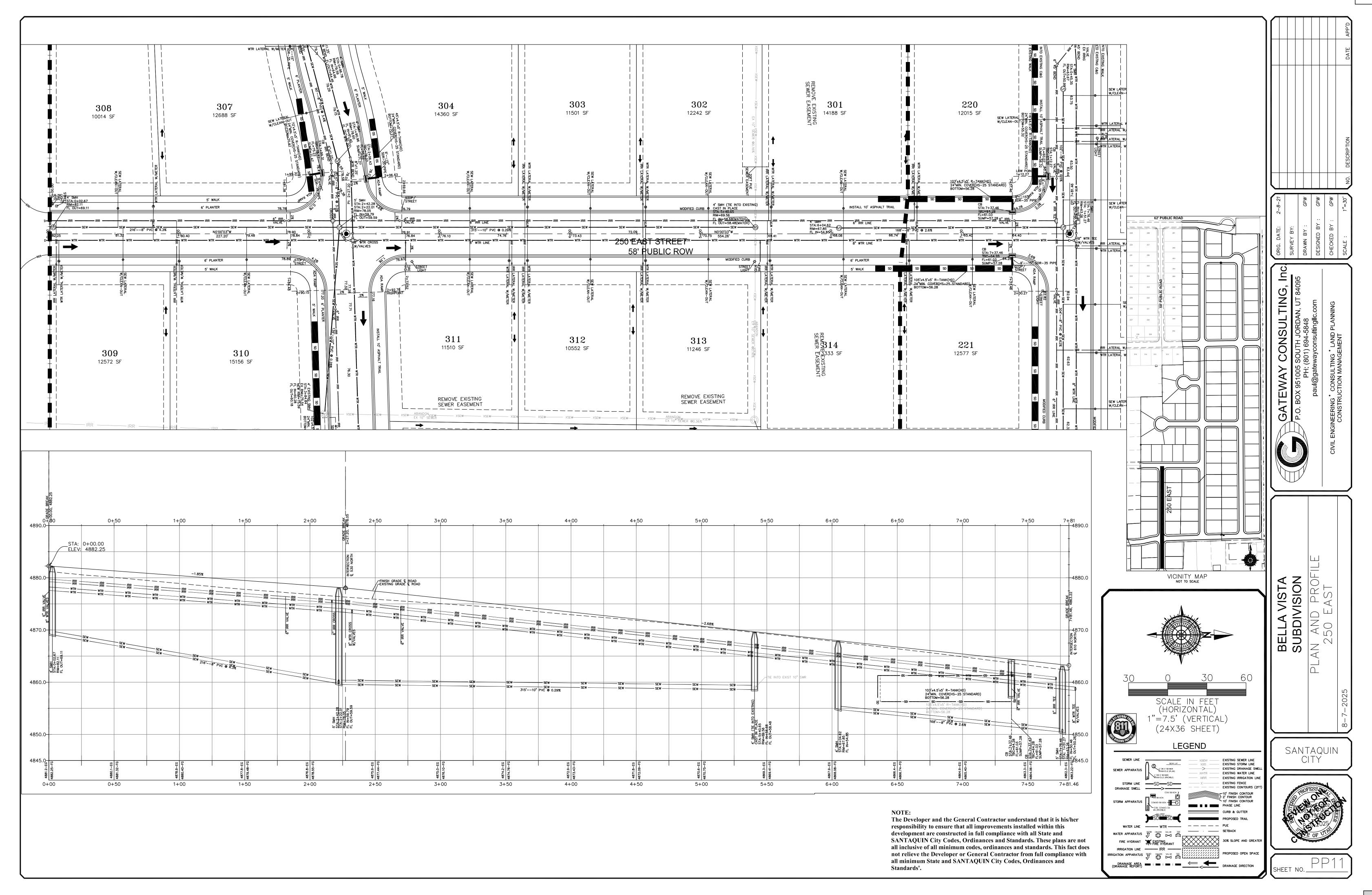
 \sim

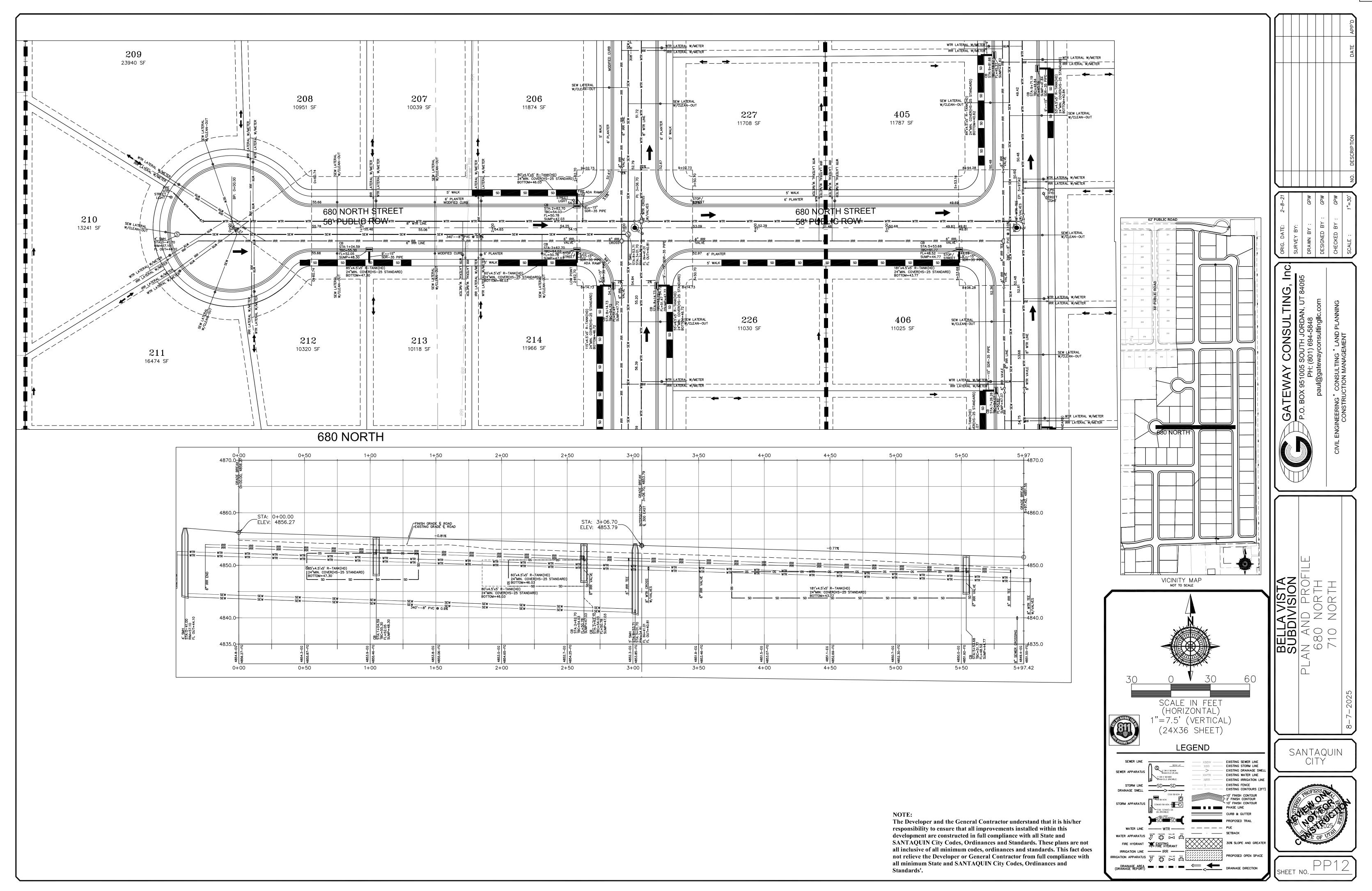
 \bigcirc

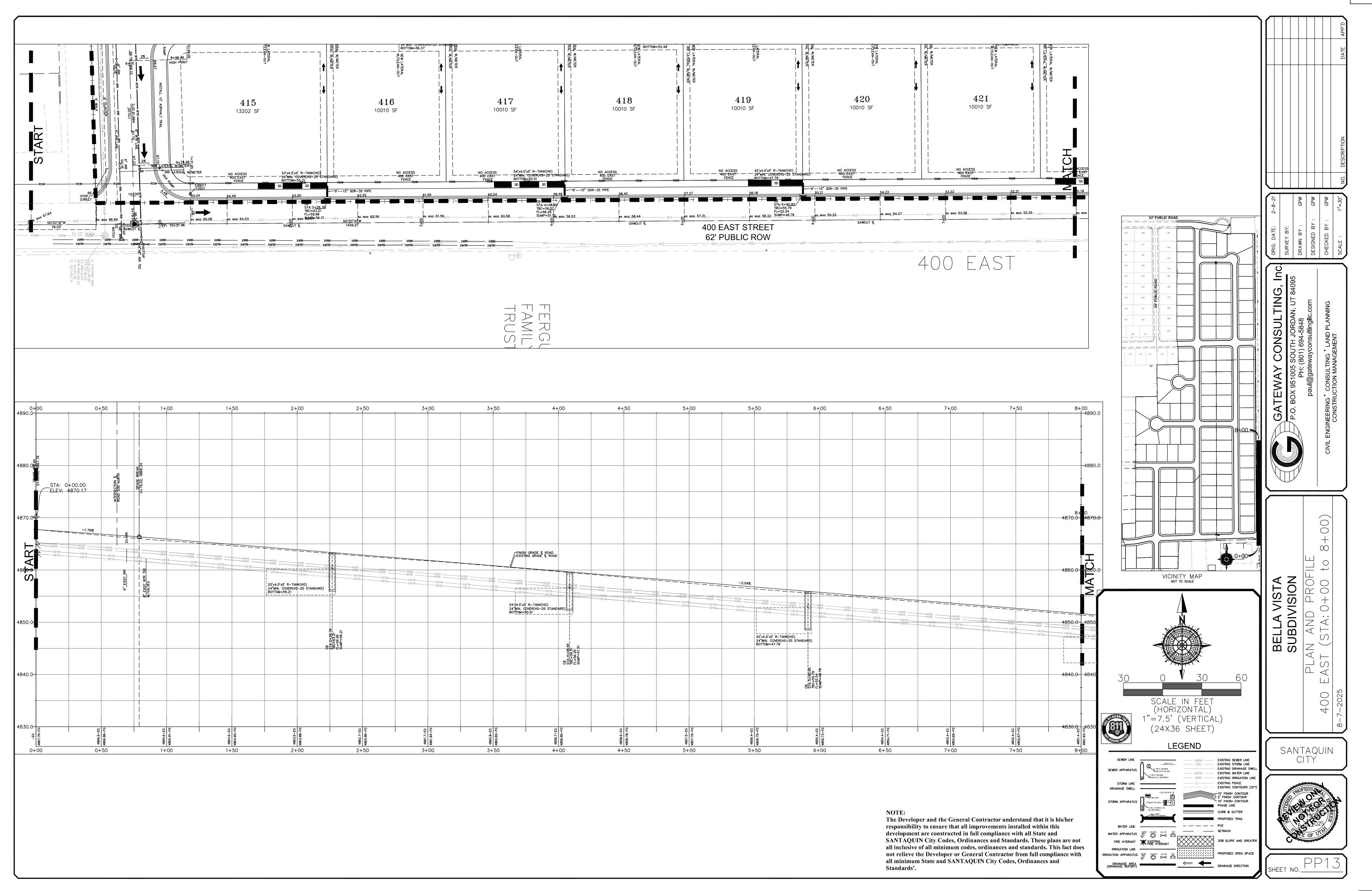


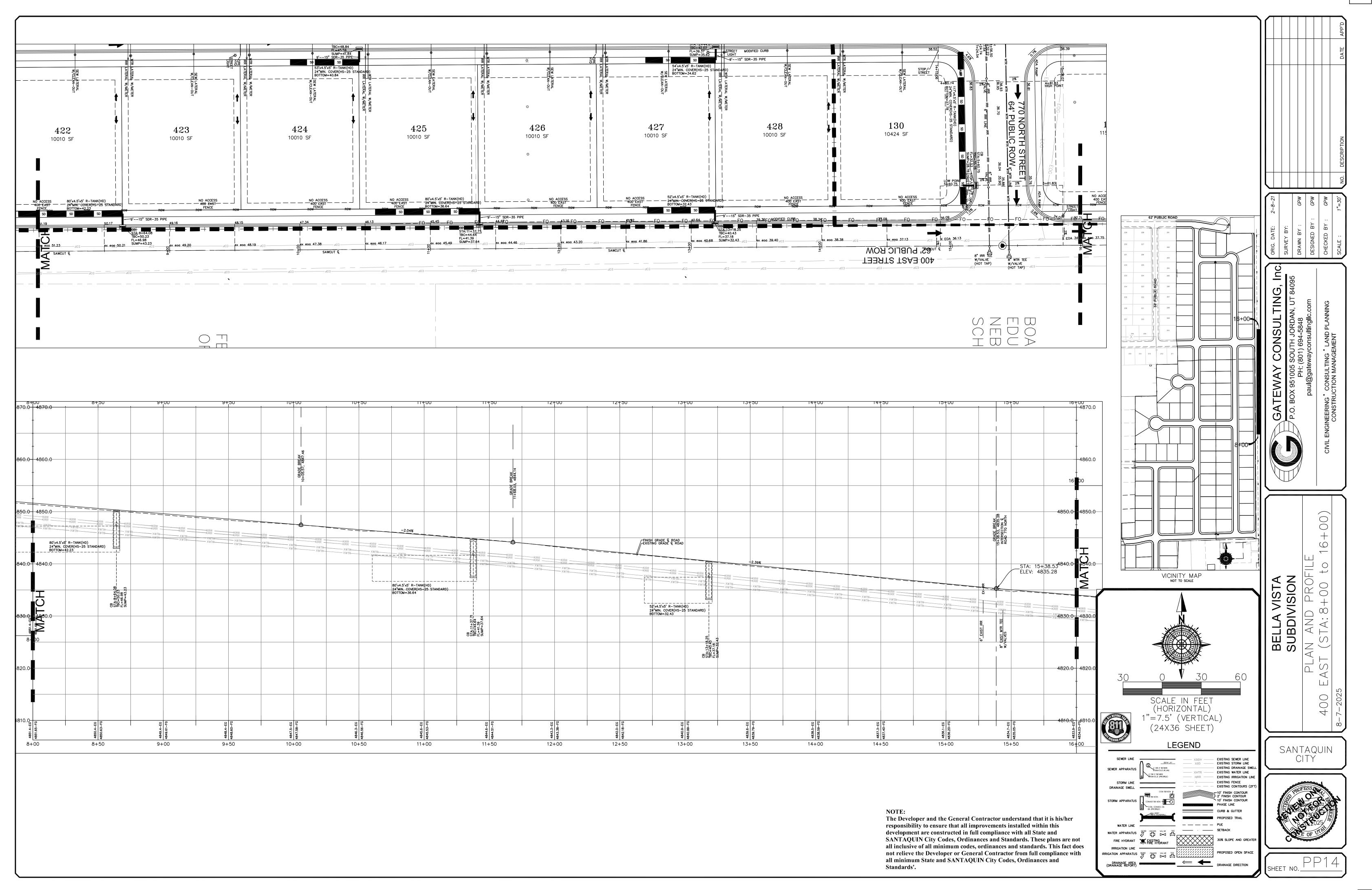


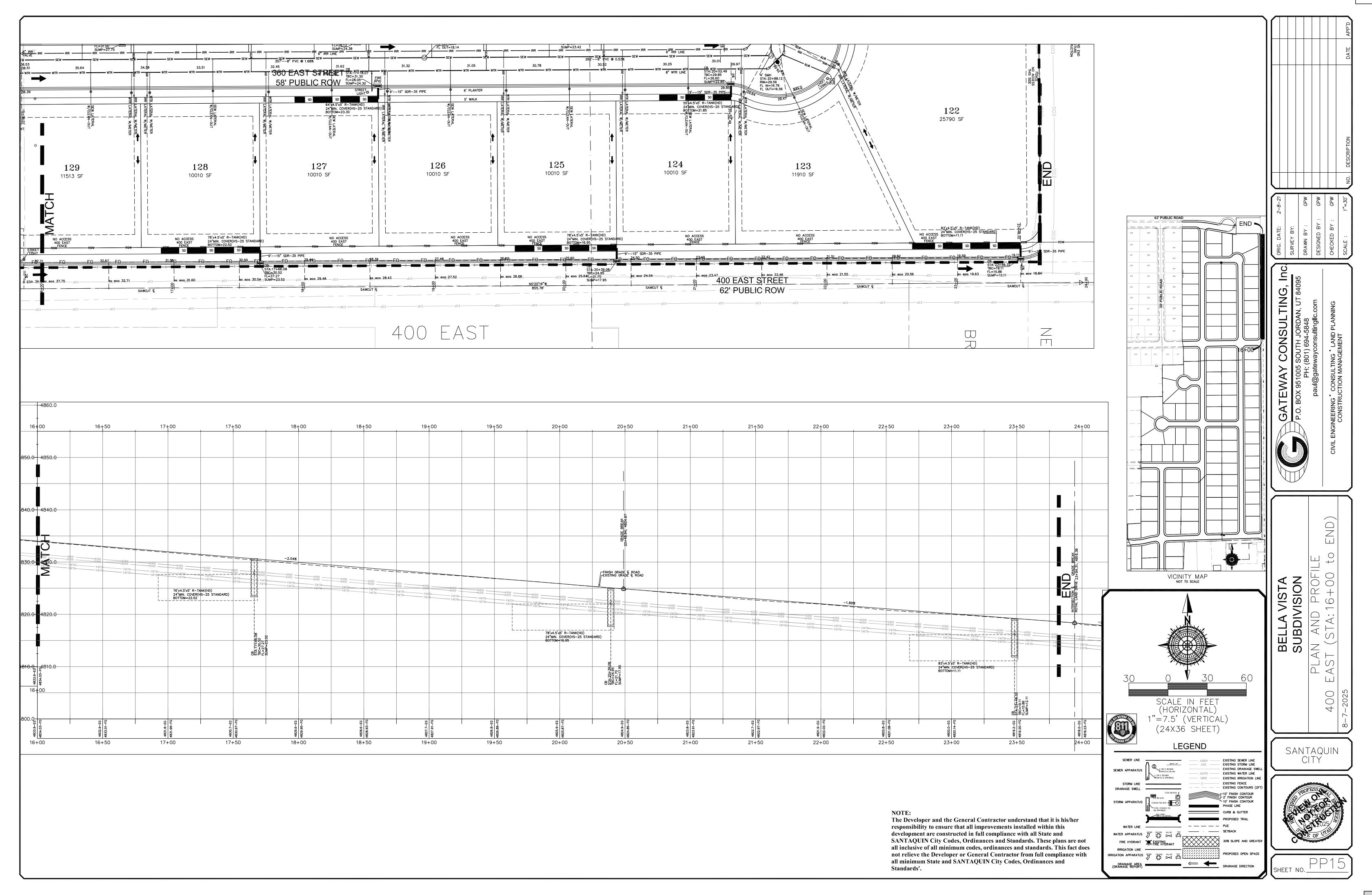


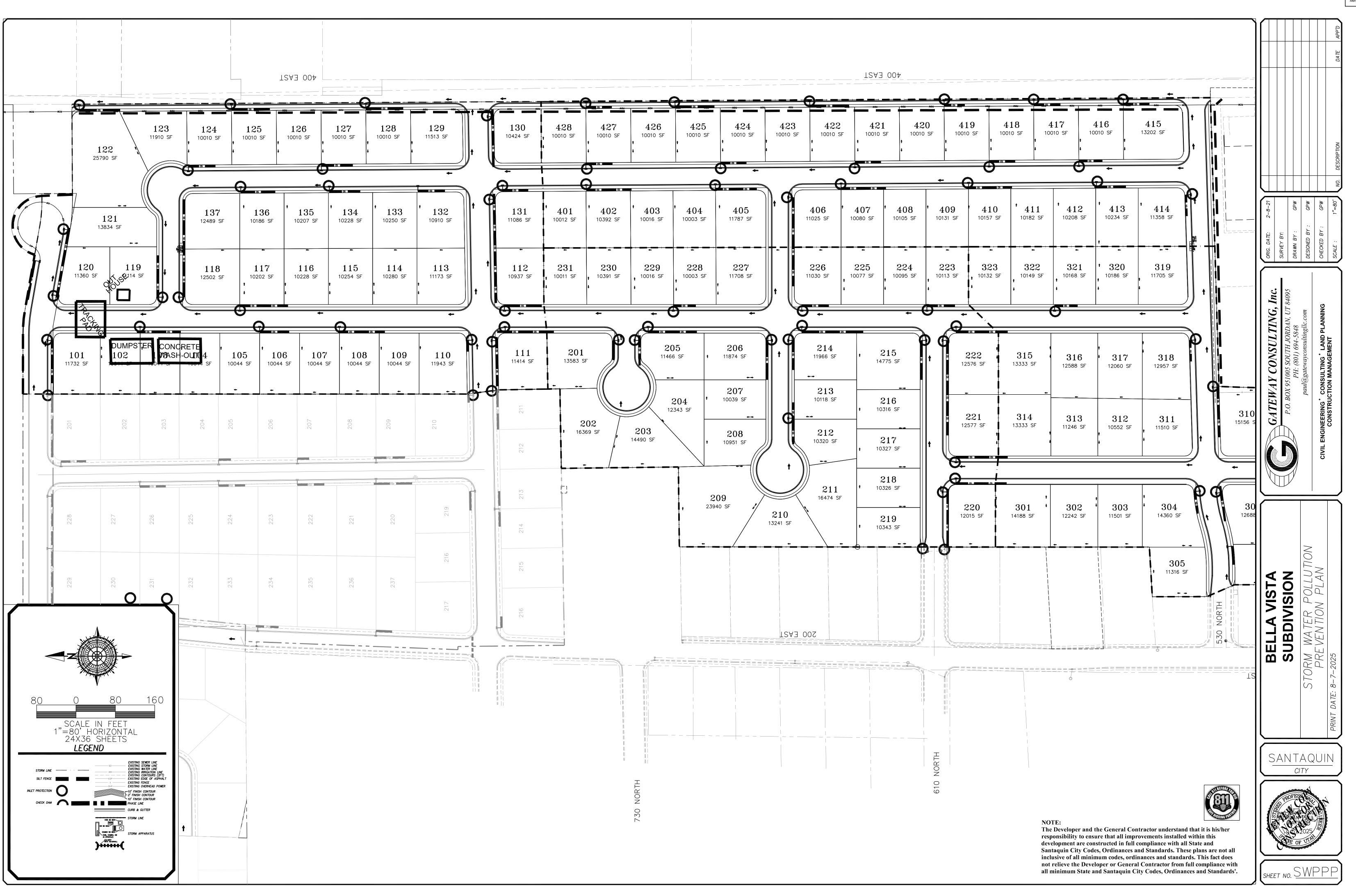












GENERAL EROSION CONTROL NOTES

DURING CONSTRUCTION

GENERAL EROSION CONTROL NOTES: 1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.

2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVISES UPON INSPECTION OF PROPOSED FACILITIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.

4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.

5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX. AND PLANTING SPECIFICATIONS.

6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATIONS. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN N PLACE UNTIL PAVEMENT IS COMPLETE. 7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.

8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.

9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST, THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE. DEVELOPMENT OF THE PROJECT.

11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY.

13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE. DOWNGRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

ADDITIONAL EROSION CONTROL NOTES

POST CONSTRUCTION

1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL

2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.

3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS. CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.

4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.

5. ORGANIC MATERIALS WILL BE SEPARATED. REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.

6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.

7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.

8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO SANTAQUIN CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL

9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)

> NATIVE GRASSES % Pure Grass Type Hard fescue 15.00 Pubescent wheat grass Orchard grass (sod forming) 15.00 smooth brom grass Stream bank wheat grass (sod forming) 20.00 15.00 Western wheat grass

TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.

10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.

11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.

12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.

13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.

14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.

15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:

- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING

UNIFORM FIRE CODE

17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.

18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR ROAD BASE MATERIAL.

19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.

20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.

21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND SANTAQUIN CITY SPECIFICATIONS CONTRACTOR IS RESPONSIBLE TO NOTIFY THE THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.

22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.

23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.

24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.

25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

EROSION CONTROL BLANKET - ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL - PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW - COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW, IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

ELEVATION 4000 TO 6000 FT ABOVE 6000 FT

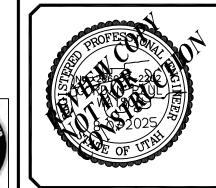
SEEDING WINDOW SEPT. 15 TO DEC. 1 SEPT. 1 TO NOV 15

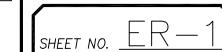
SURVEY BY: DRAWN BY: DESIGNED BY: CHECKED BY:		СРИ	СРИ	СРШ	
	SURVEY BY:			٠.	L C



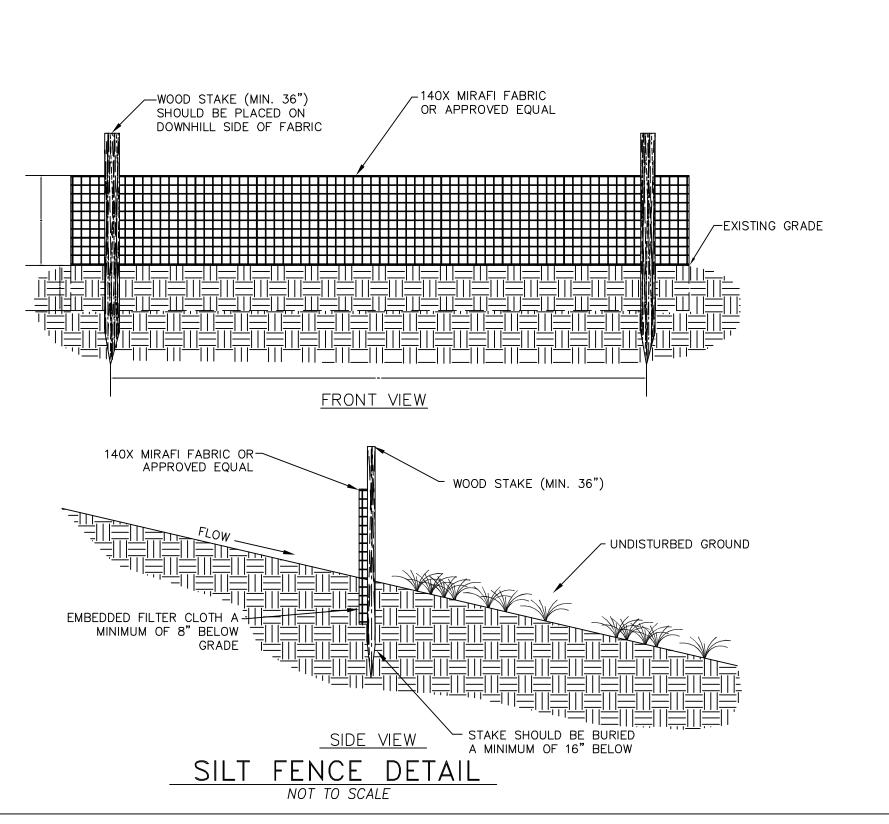
SELLA VISTA SUBDIVISION 回 S

SANTAQUIN CITY









PAVED ROAD

6" MIN.

4"-6" ROCK

1/2"-3/4" FILTER LAYER

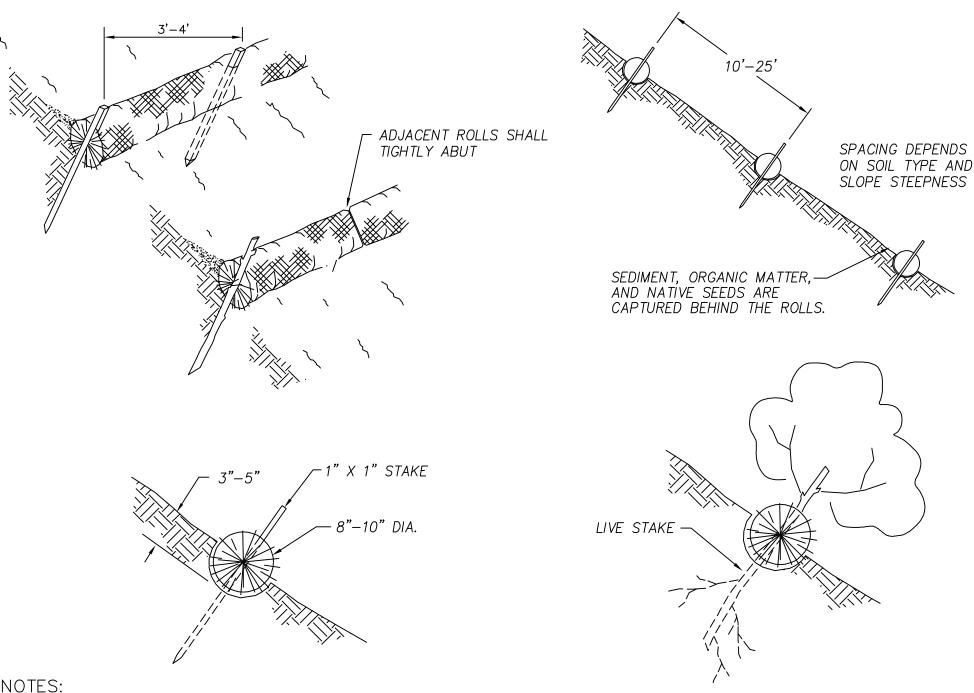
NOTES:

1—CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
2—COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)

3-PLACE COURSE AGGREGATE, 1 TO $2-\frac{1}{2}$ INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

VEHICLE TRACKING DETAIL

NOT TO SCALE



Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay—type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and

into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing

STRAW WATTLE (SILT FENCE ALTERNATIVE) NOT TO SCALE

NOTE:
TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE

PLASTIC SHEETING —

SIDEWALK

END SHALL FIT TIGHTLY
TO BACK OF CURB

FLOW

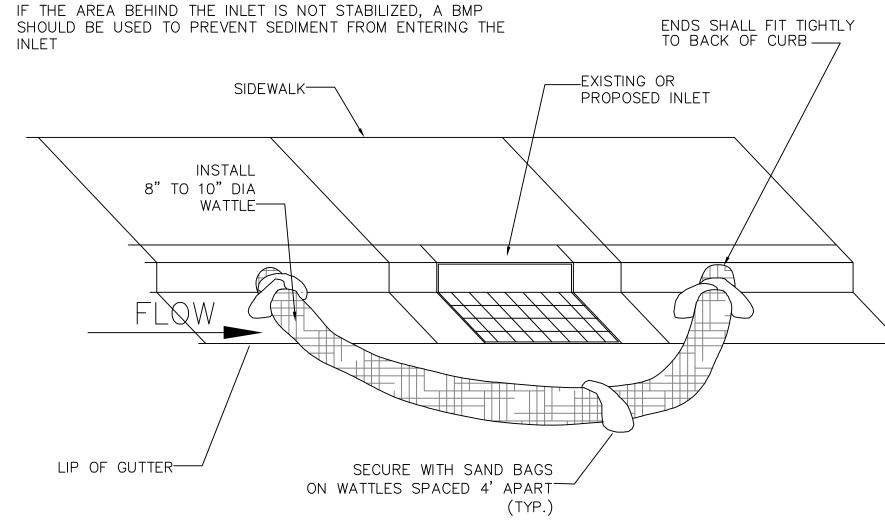
LIP OF GUTTER

SEDIMENT
ZONE

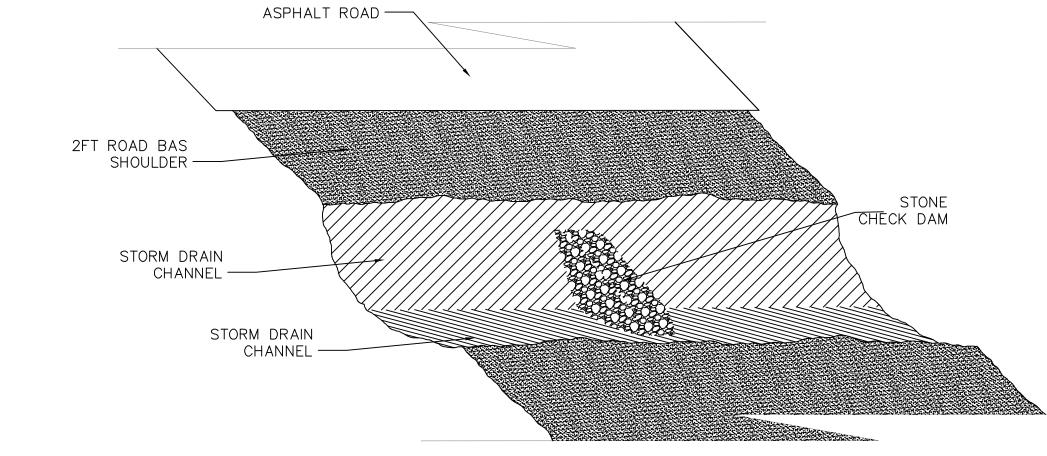
SECURE WITH SAND BAGS
ON WATTLE SPACED 4' APART
(TYP.)

NOTE: INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS



DRAINAGE CHANNEL

PROTECTION

1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL
2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

See SANTAQUIN CITY specifications for further information.

1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE. 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA

3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET. 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

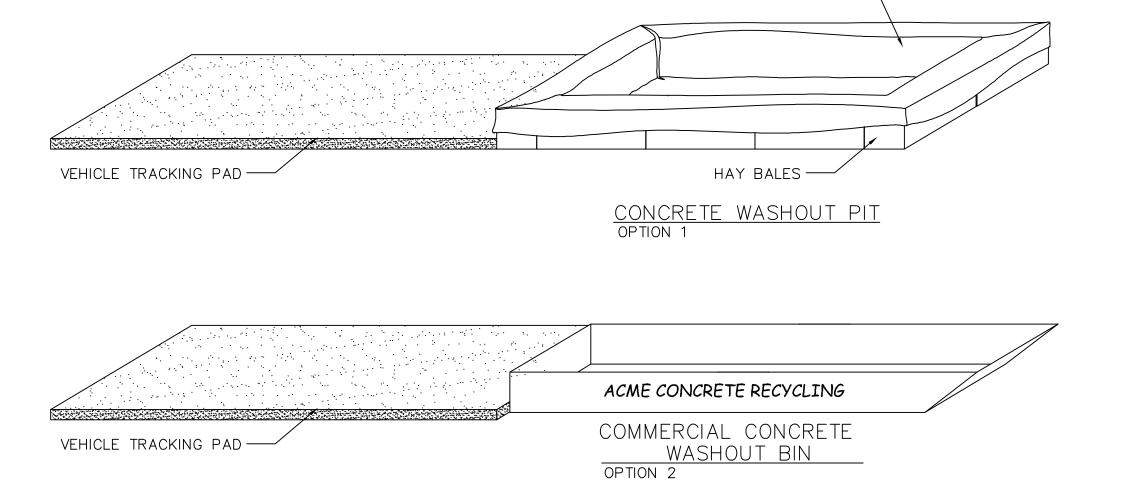
<u>USE OF CONCRETE WASHOUT</u>

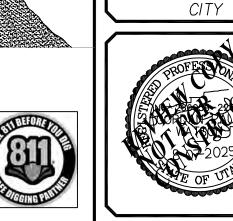
1—IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA. 2—WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY

3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE END OF EACH WORK DAY.

4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

CONCRETE WASHOUT AREA

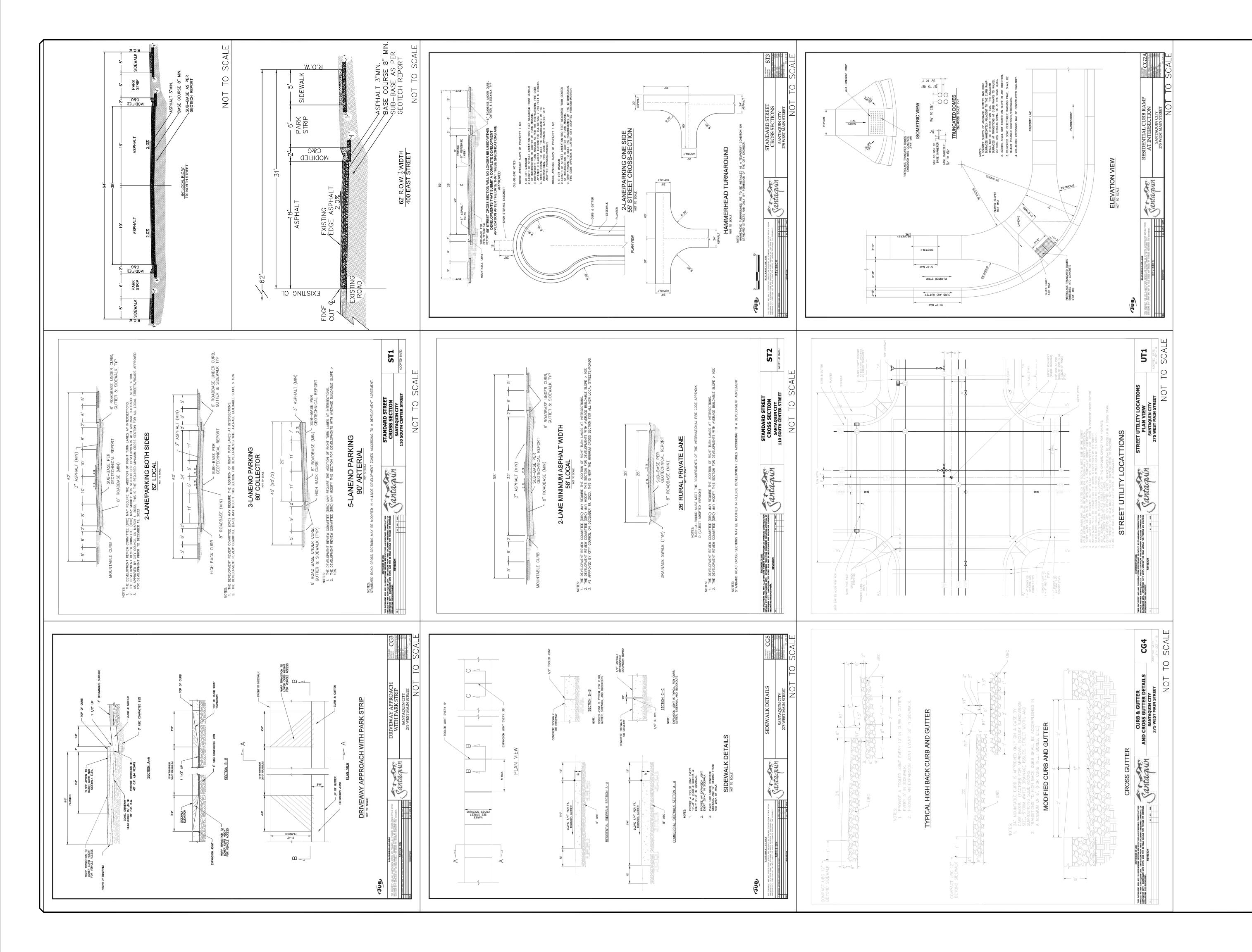




BELLA VISTA SUBDIVISION

 \int sheet no. ER-2

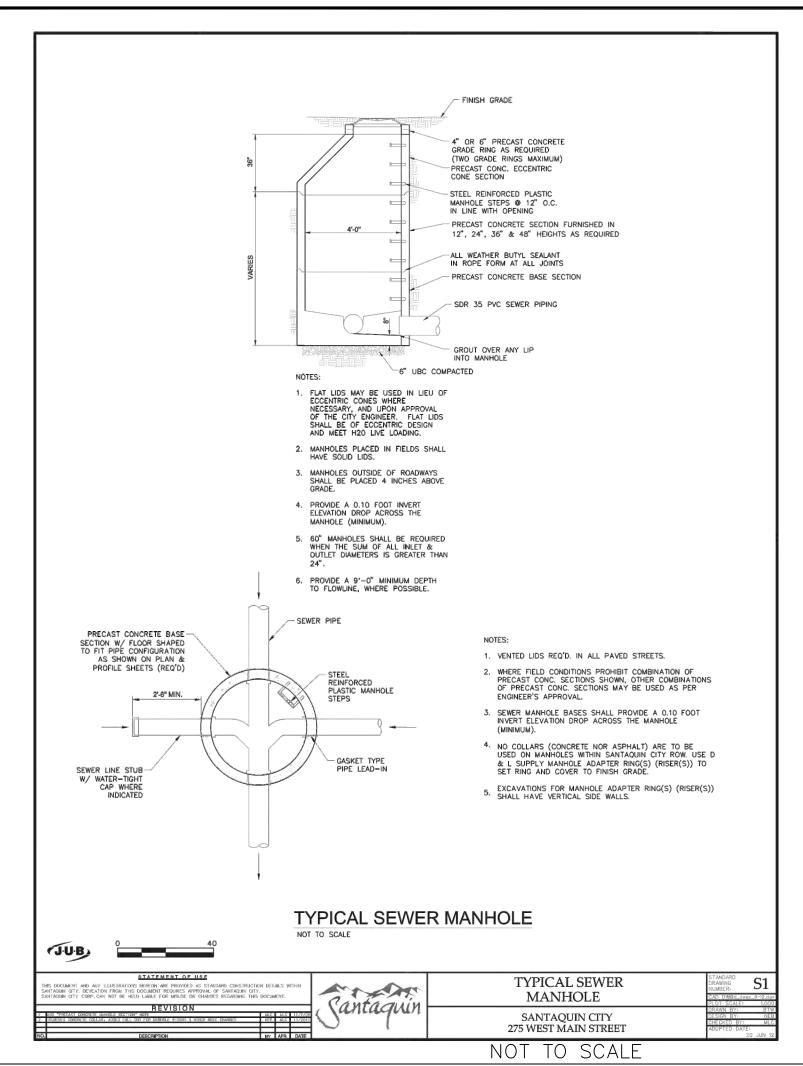
SANTAQUIN

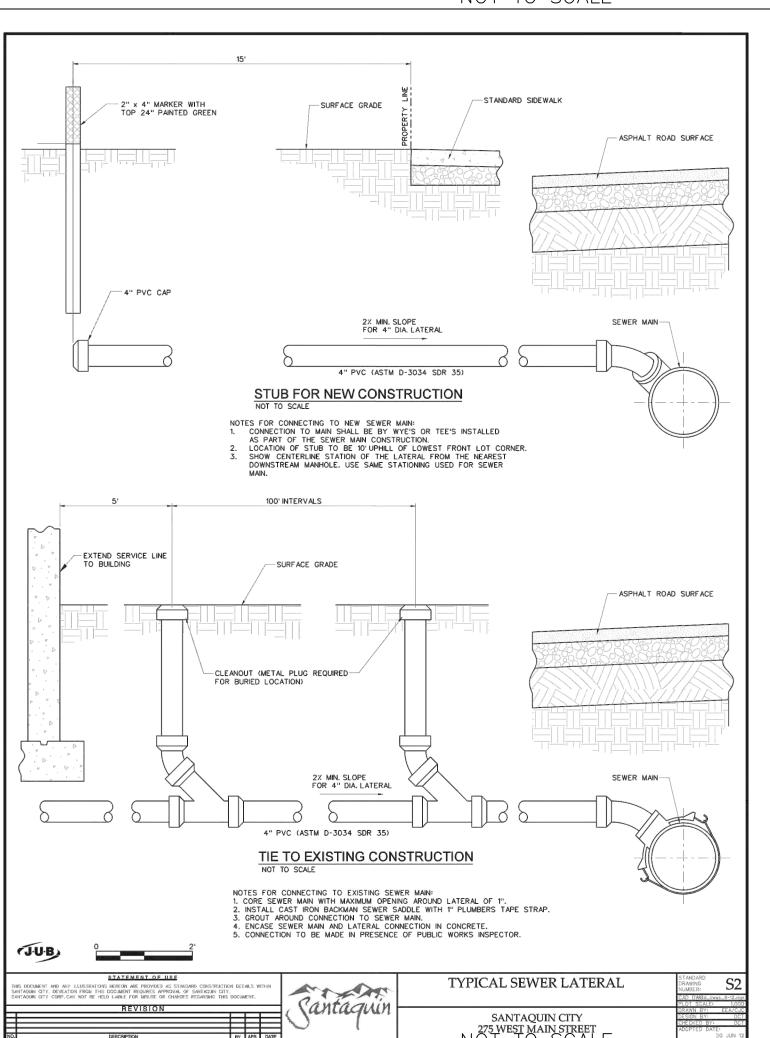


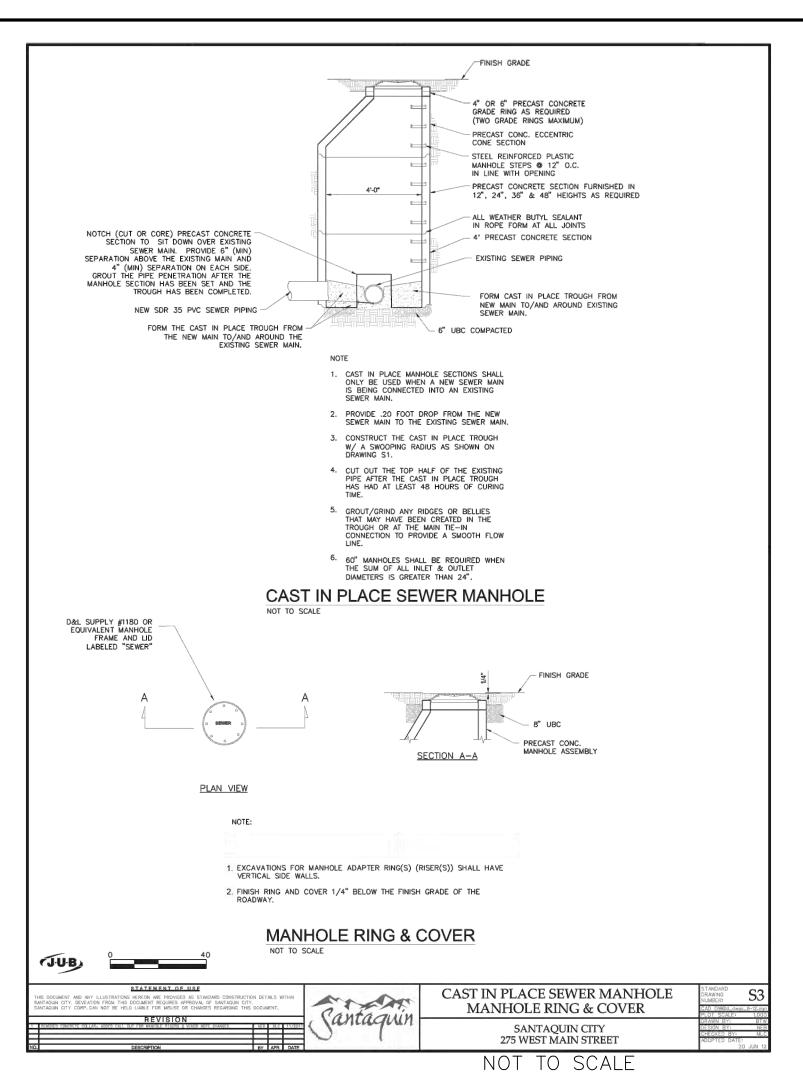


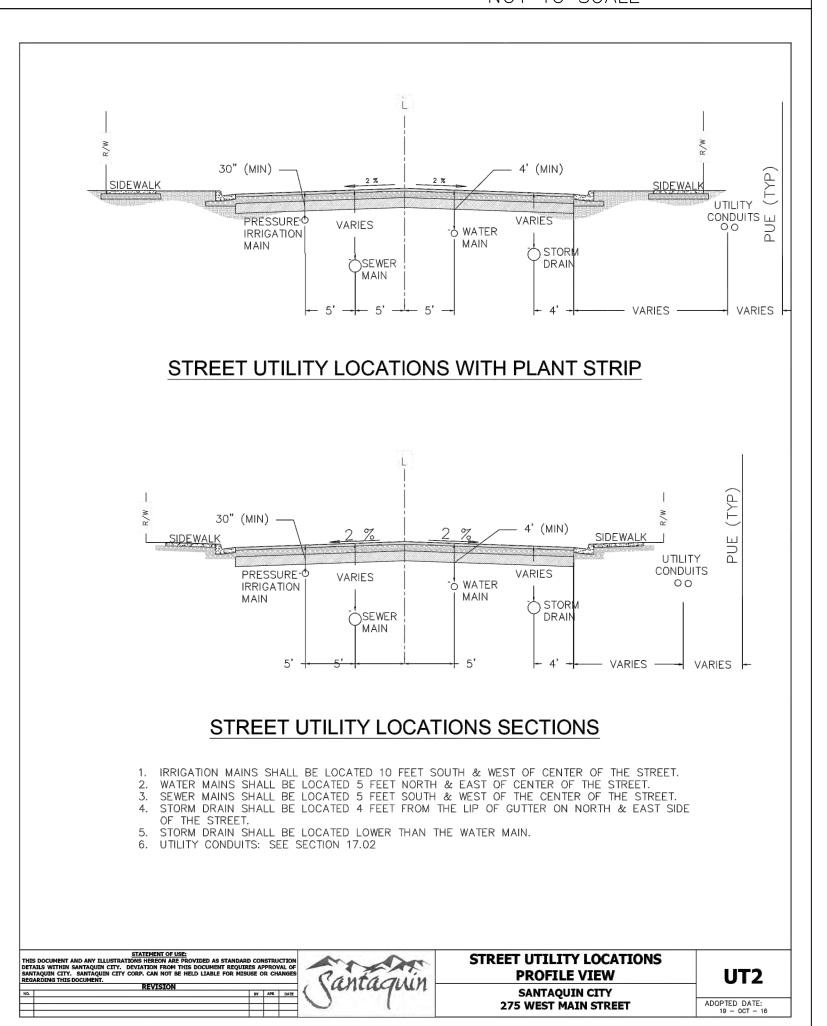
BELLA VISTA SUBDIVISION

SANTAQUIN CITY

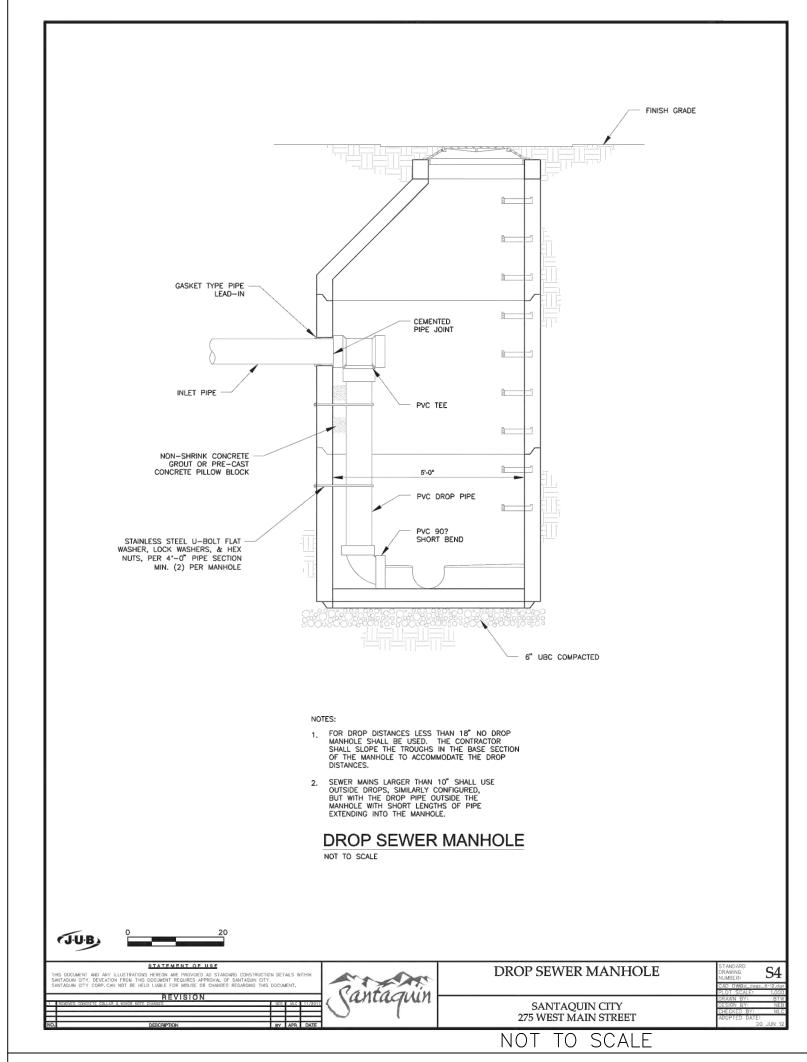


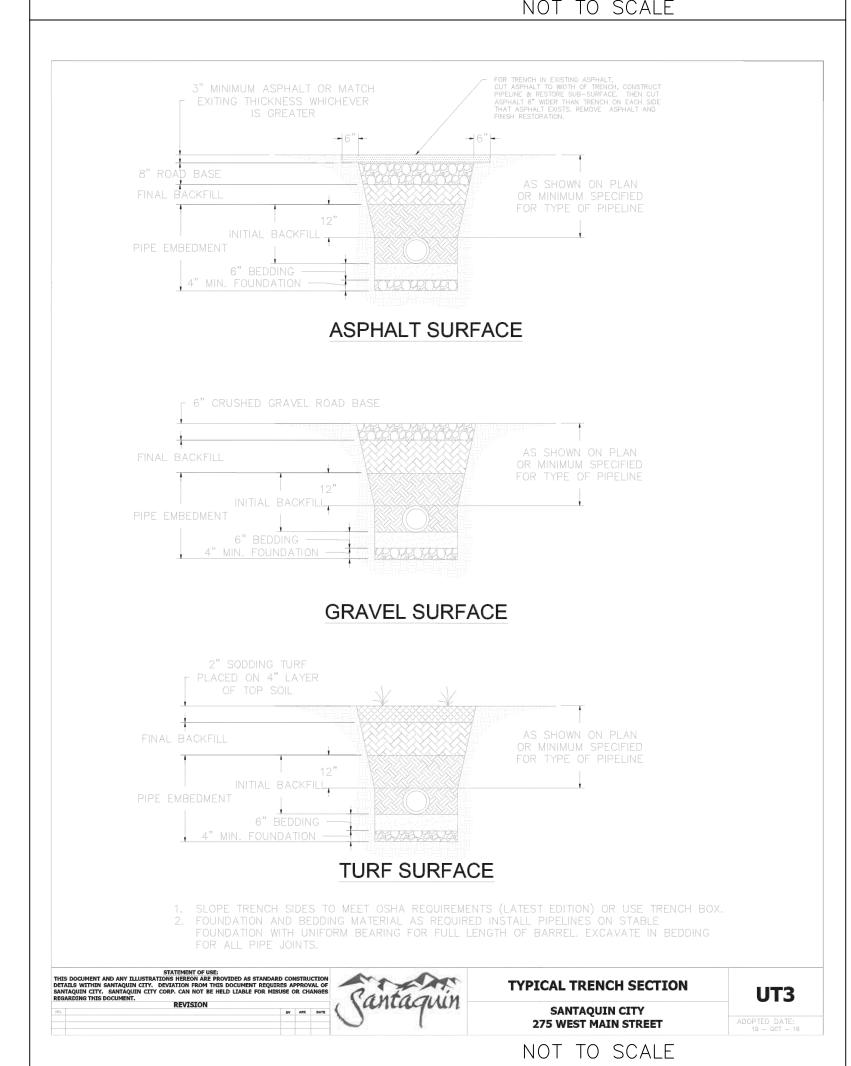


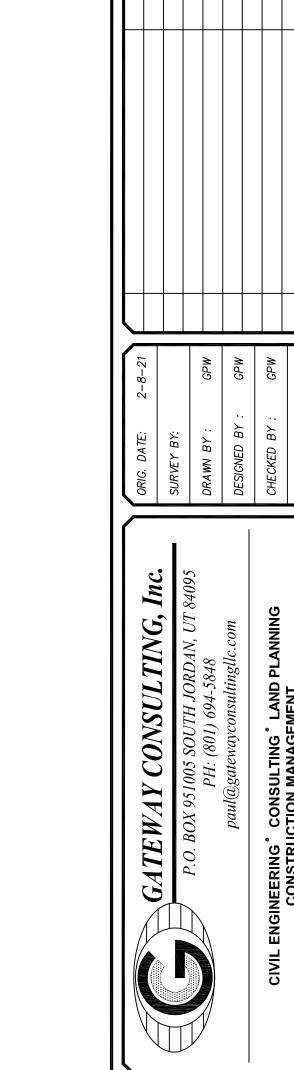


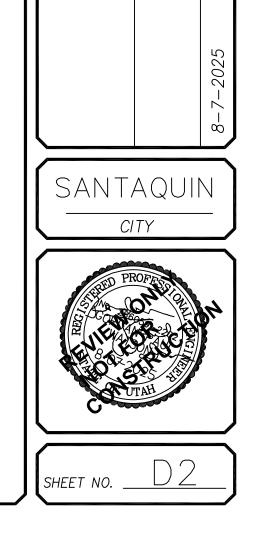


NOT TO SCALE

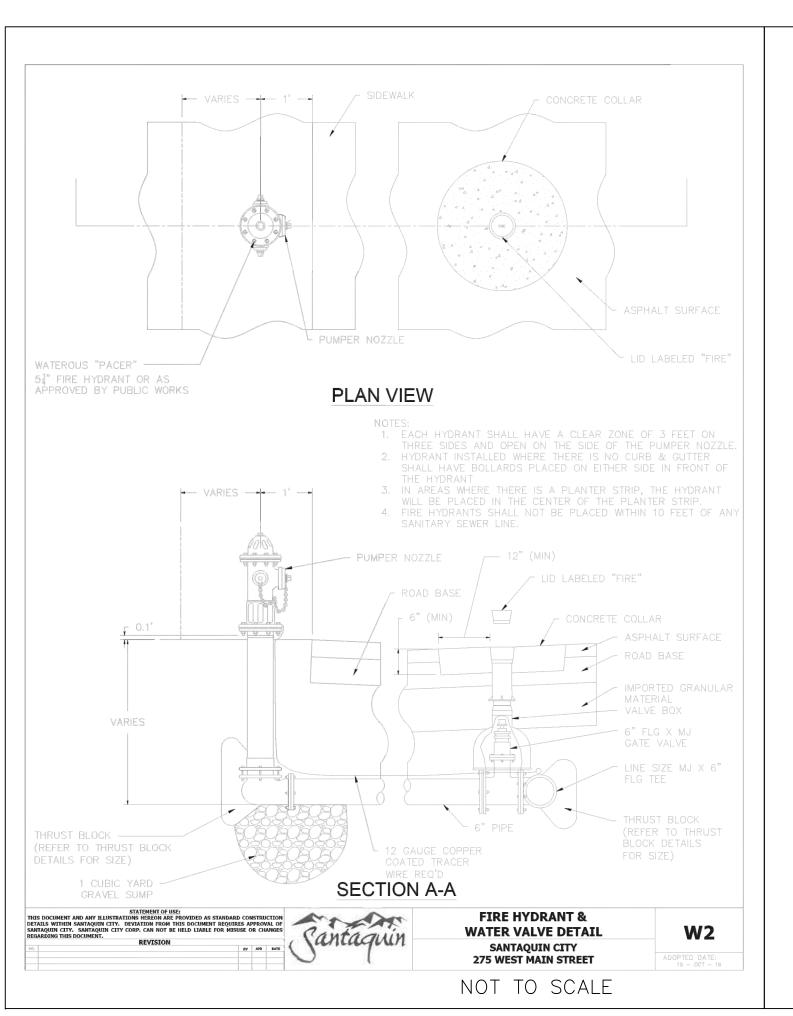


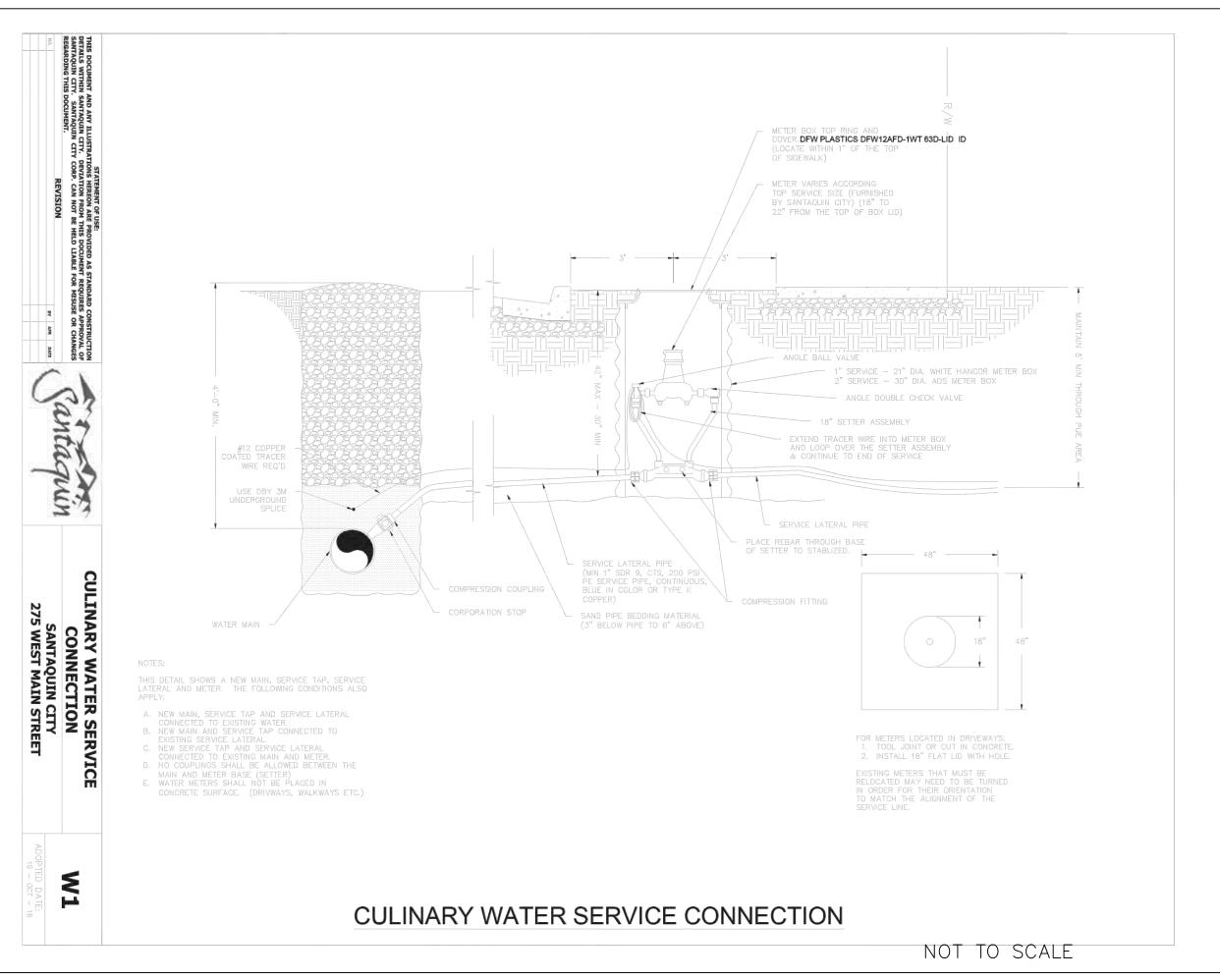


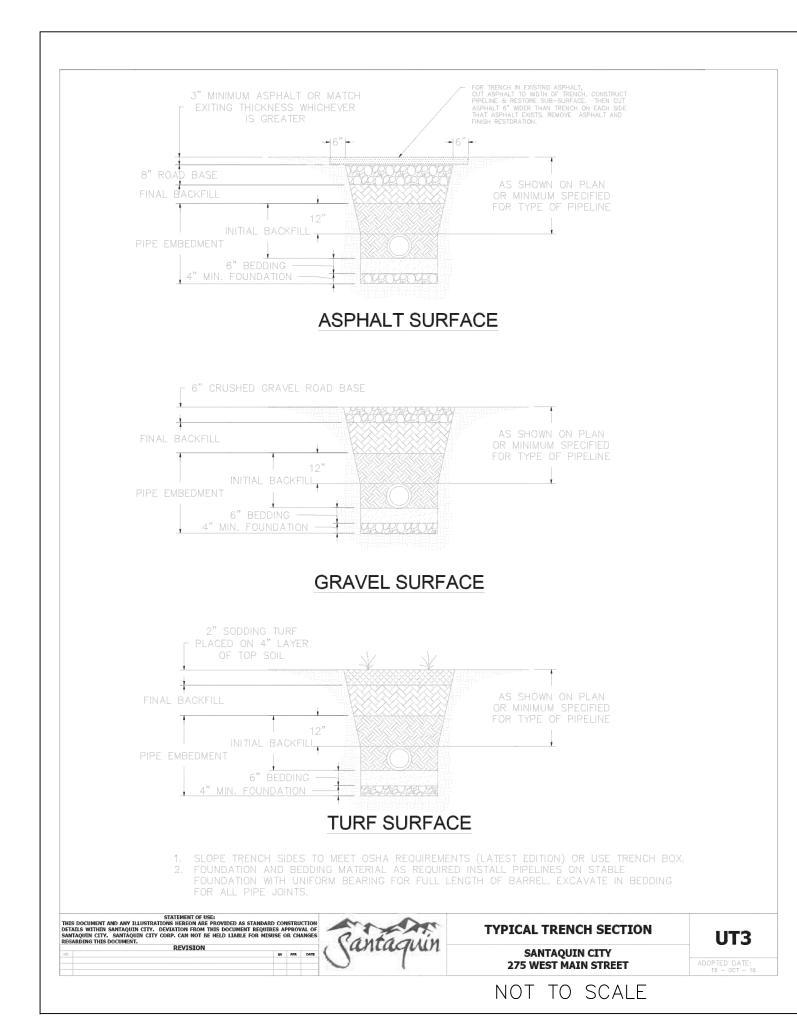


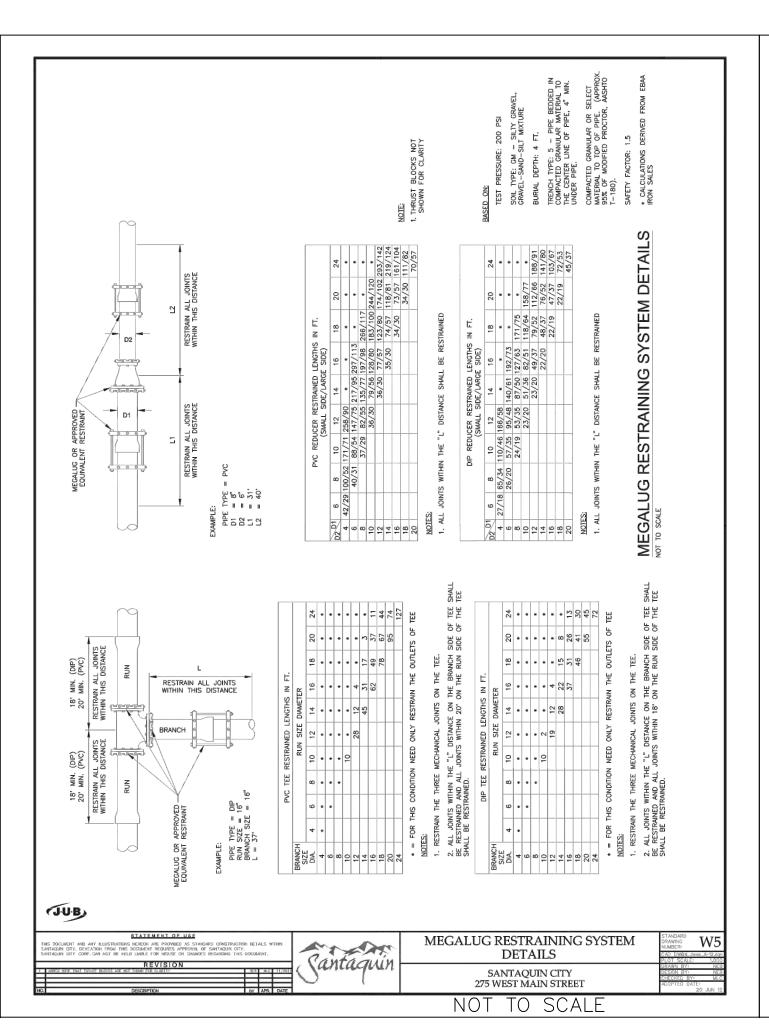


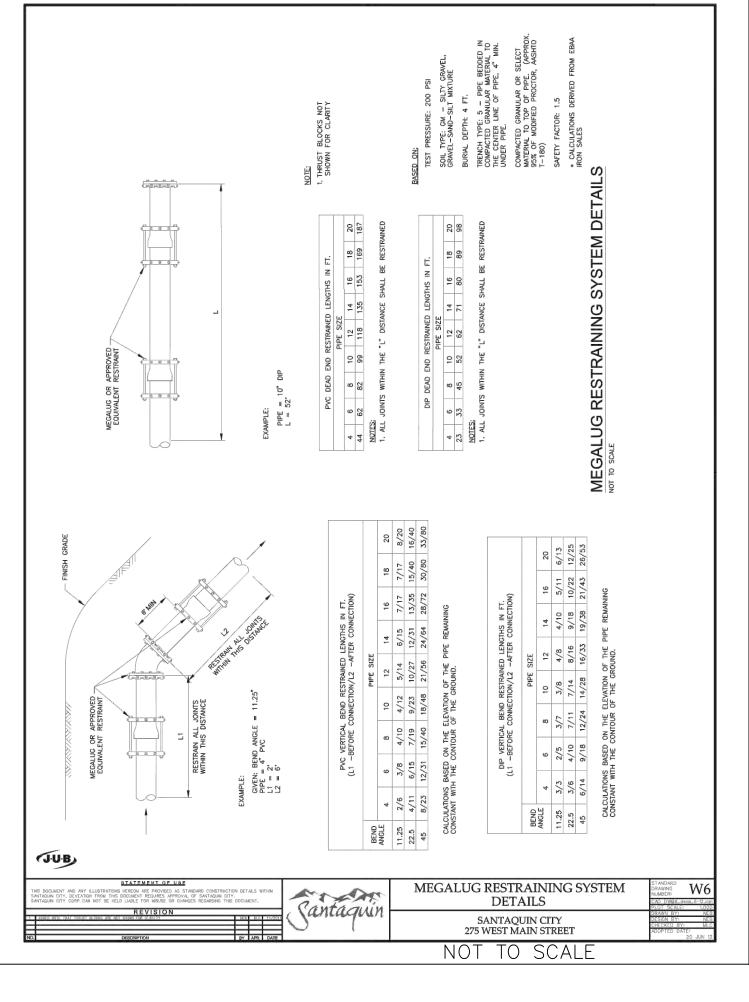
BELLA VISTA SUBDIVISION

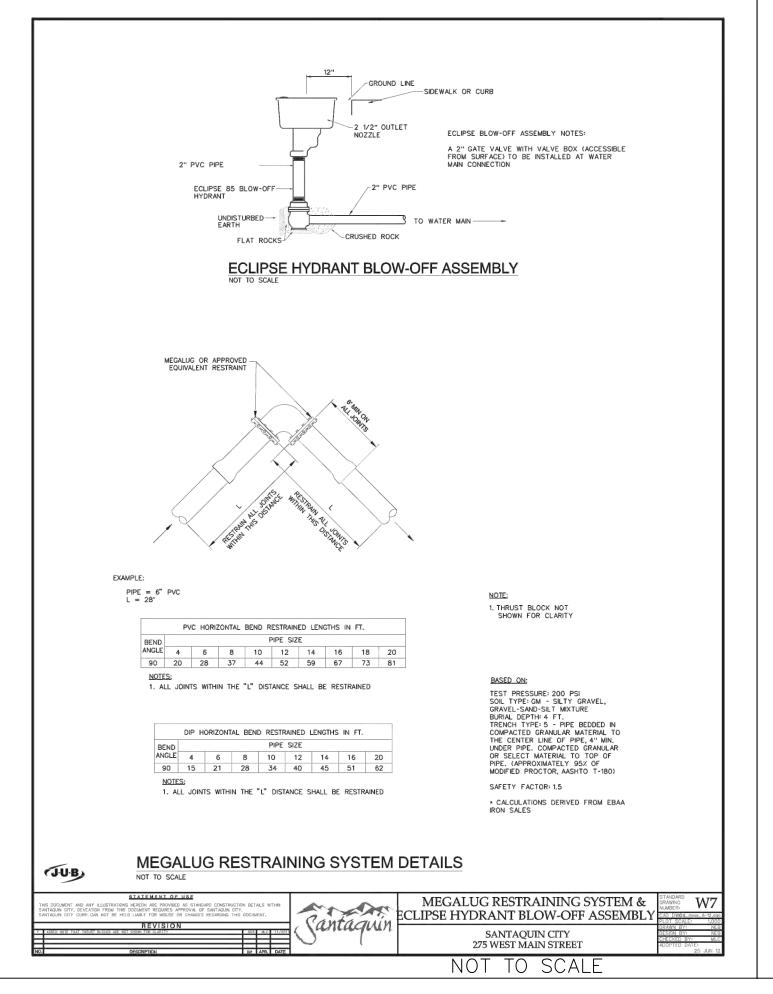


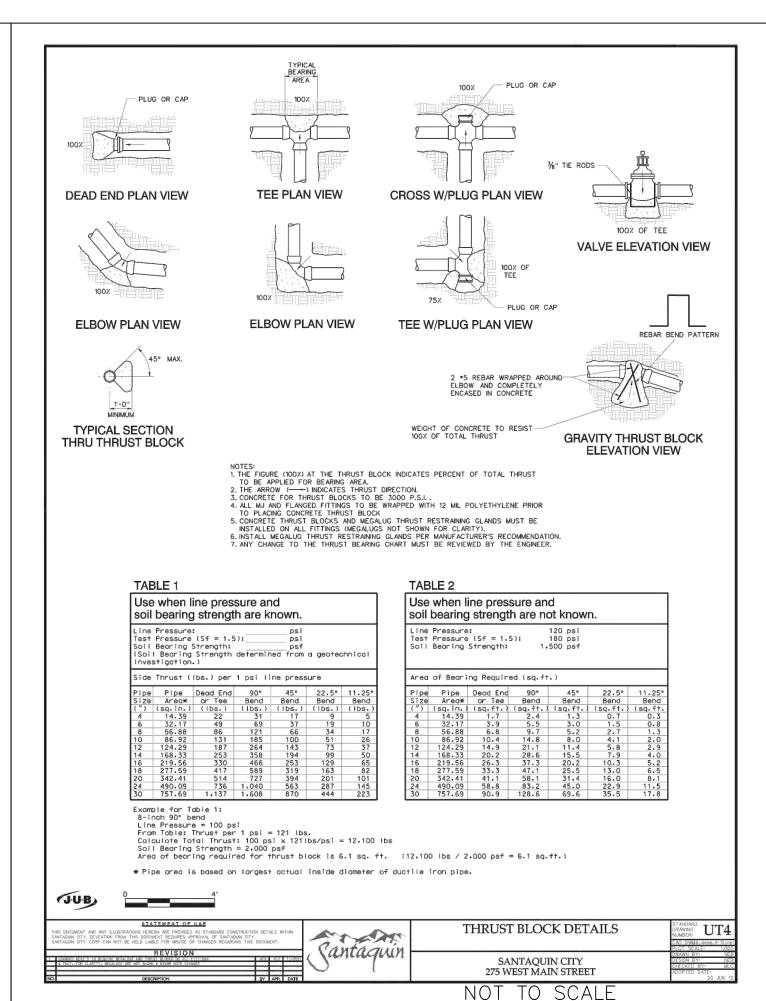


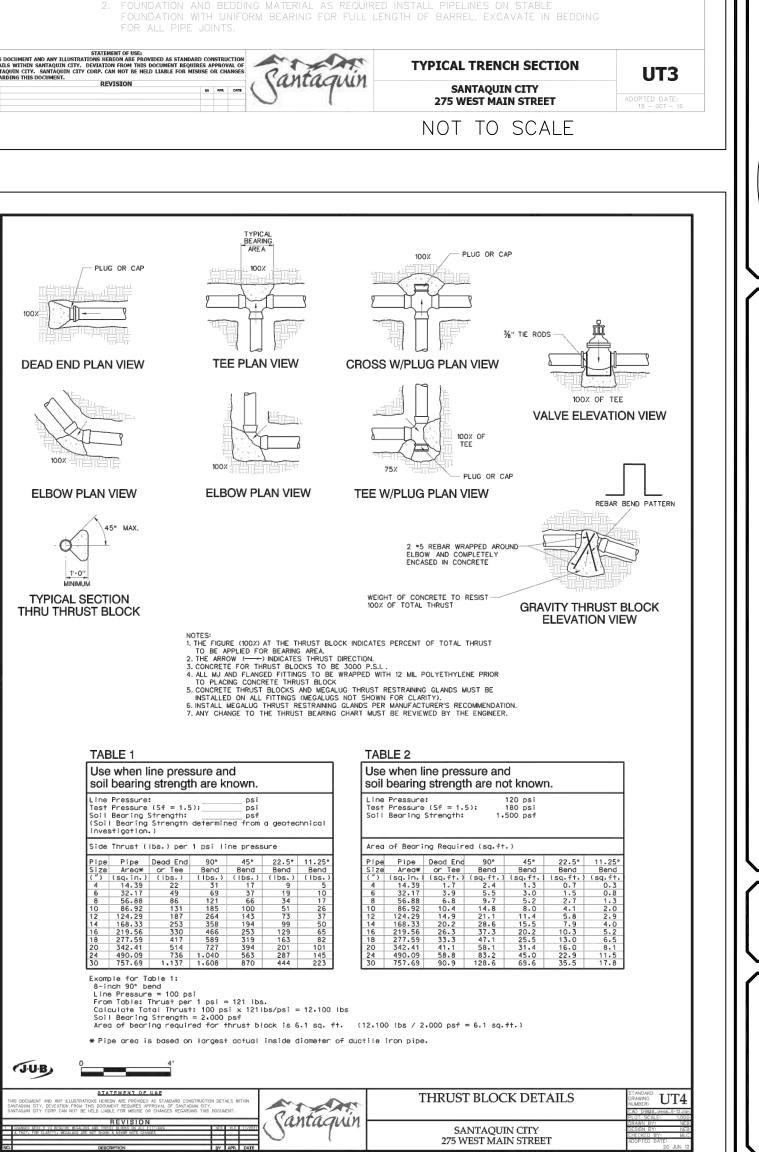


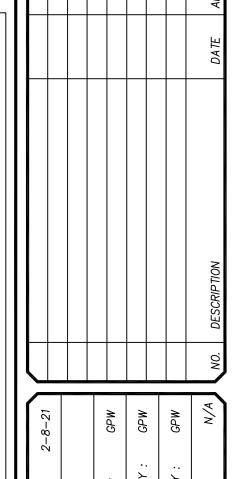








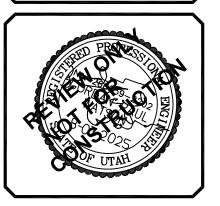




GATEWAY CONSULTING, Inc.	P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848	paul@gatewayconsultingllc.com	CIVIL ENGINEERING CONSULTING LAND PLANNING	CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION

SANTAQUIN



DESIGN CONSIDERATIONS

Many factors will influence the design of the R-Tank system. While this list is not intended to be all-inclusive, the following design considerations are worth highlighting:

1. PRE-TREATMENT

Removing pollutants from runoff before they enter an underground detention system is the smart way to design and build a system. Trash Guard Plus® is a great tool for this. Be sure the system you select will remove heavy sediments, gross pollutants (trash) and biodegradable debris.

2. BACKFILL MATERIALS

Backfill materials should be angular stone (<1.5" in diameter) or soil (GW, GP SW or SP per the Unified Soil Classification System). Material must be free from lumps, debris and sharp objects that could cut the geotextile. See the R-Tank narrative specification for additional information.

3. RUNOFF REDUCTION

Most designs incorporate an outlet to drain the system at a controlled rate and/or an overflow to prevent flooding in extreme events. Any infiltration that can be achieved on the site should also be taken advantage of. Consider raising the invert of your outlet or creating a sump to capture and infiltrate the water quality volume whenever possible.

While installing R-Tank below the water table is manageable, a stable base must be created to support the system.

Ground water can be allowed to enter and drain from the system, or a liner can be used to prevent ground water from entering the system if measures are taken to prevent the system from floating.

5. CONSTRUCTION LOADS

Construction loads are often the heaviest loads the system will experience. Care must be taken during backfilling and compaction, and post-installation construction traffic should be routed around the system.

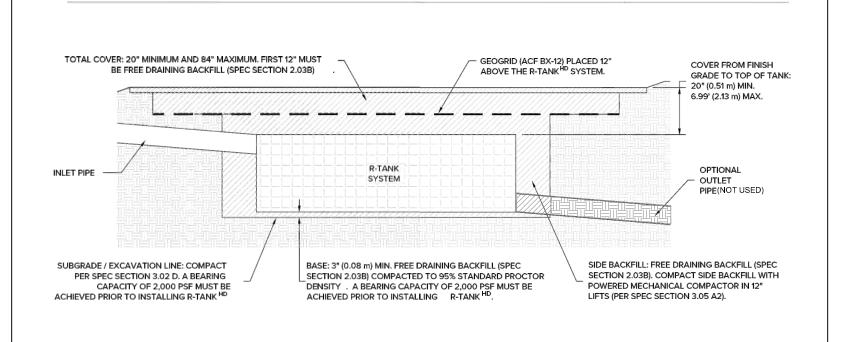
As systems get deeper, the loads acting on the sides of the tank increase. While vertical loads often control the design, lateral loads should also be considered.

7. R-TANK MODULES

Selecting the right module for your application is critical. See page 3 and the specs on the back of this brochure for details. Our team is also here to help!

8. LOAD MODELING

A safety factor of >1.75 is required when designing an R-Tank System using the AASHTO LRFD Bridge Design Specifications. It is also necessary to run your own loading model with site specific requirements.



NOT TO SCALE

DESIGNING AN R-TANK SYSTEM WITH LONGEVITY & MAINTENANCE IN MIND IS A THREE-STEP PROCESS:

1. PRE-TREAT Keep debris out of the system

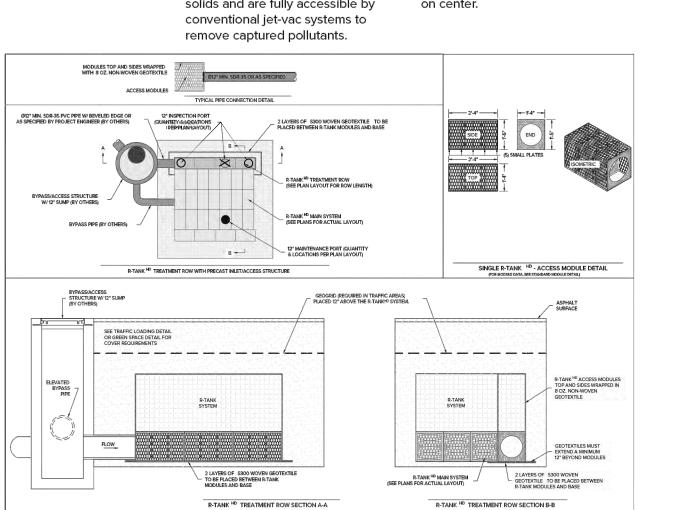
filter drain inserts.

using decentralized filters and screens. Ferguson offers a complete range of options from perforated screen devices to high flow geotextile bag and cartridge based

2. ISOLATE

Trap solid pollutants inside the treatment row (see treatment row drawing below) where they can be easily removed using the acess modules (available in LD, HD, and UD only). These modules are wrapped in geotextile to retain solids and are fully accessible by

Ensure a long system life by including maintenance ports to remove any pollutants that evade the pretreatment system and treatment row. Maintenance ports should be specified within 10' of inlet and outlet connections, and roughly 50'



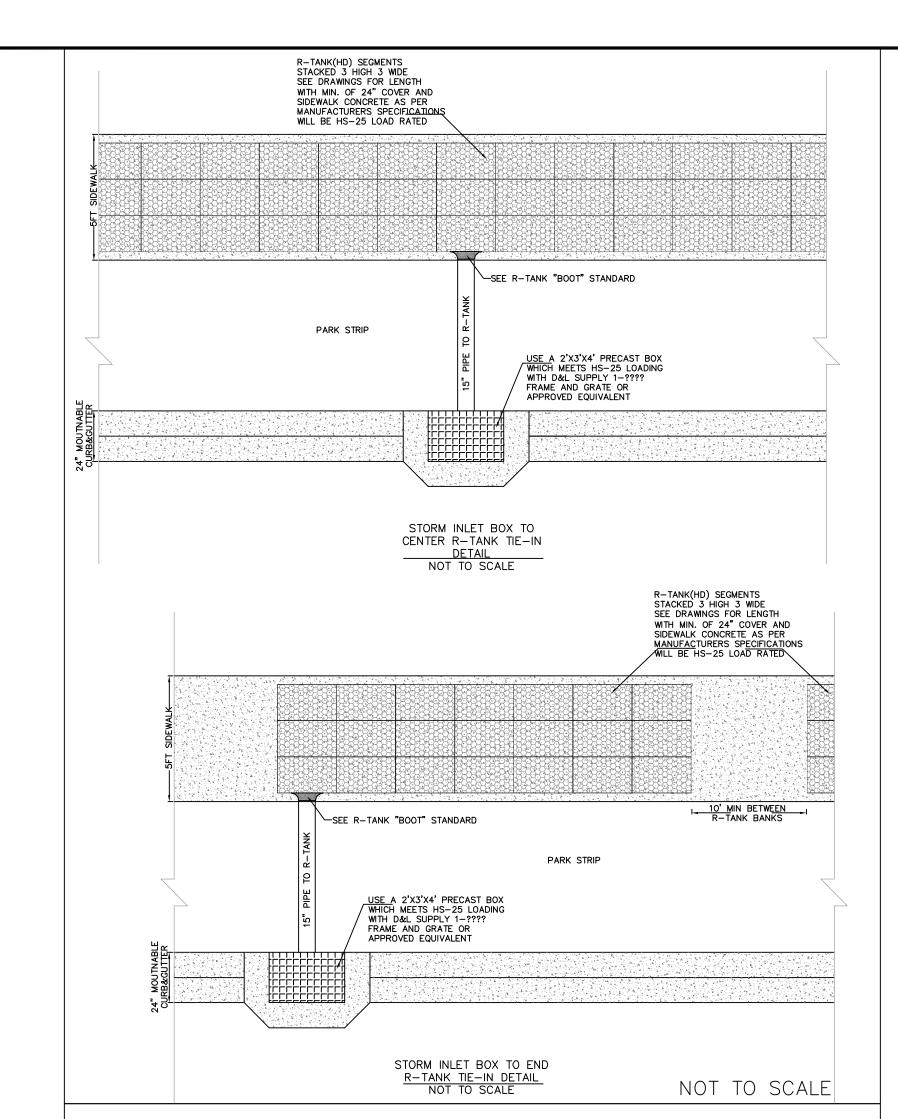
NOT TO SCALE R-TANK(HD)

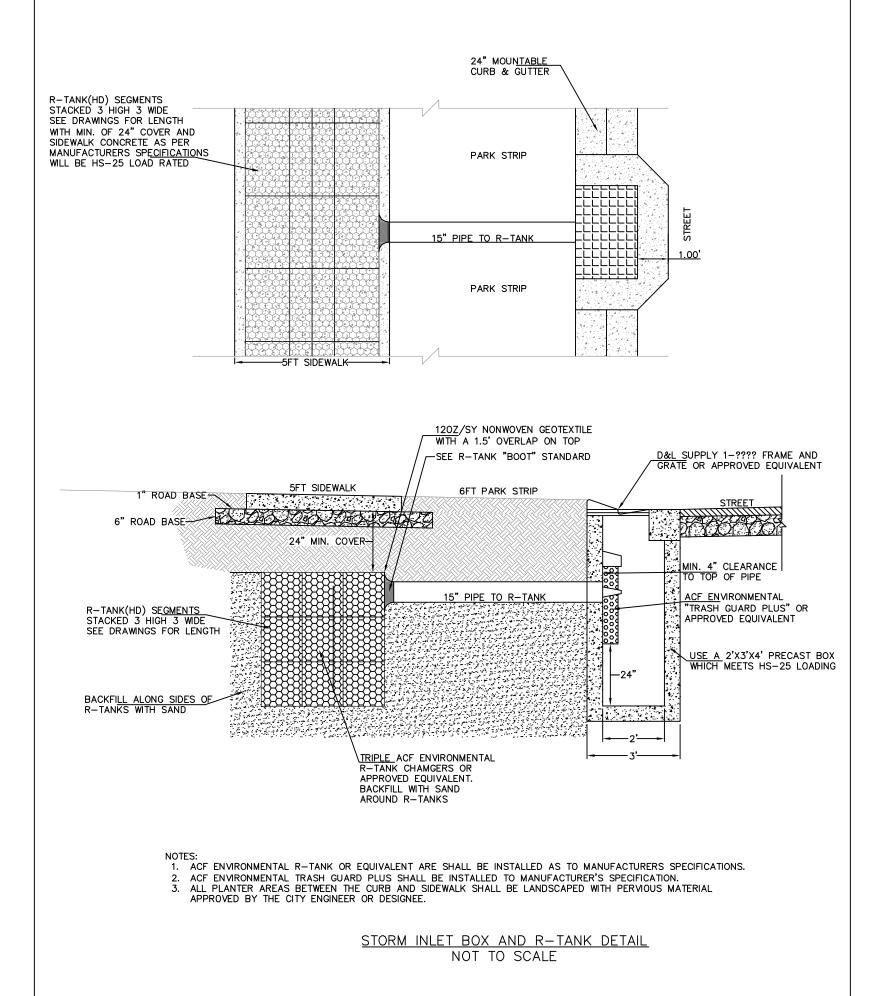
Volume available for water storage Compressive Strength ASTM D 2412/ASTM F 2318 Unit Weight Weight of plastic per cubic foot of tank 3.29 lbs/cf 3.62 lbs/cf 3.96 lbs/cf
 Service Temperature
 Safe temperature range for use
 -14-167° F
 -14-167° F
 -14-167° F
 -14-167° F
 -14-167° F
 Recycled Content Use of recycled polypropylene Minimum Cover Cover required for HS-20 loading Not traffic rated 20" 18" 12"–14" 6" Not traffic rated 24" 18" 15"-17" 6" 36" 6.99' 9.99' 5.0' 16.7' Cover required for (HS-25) loading

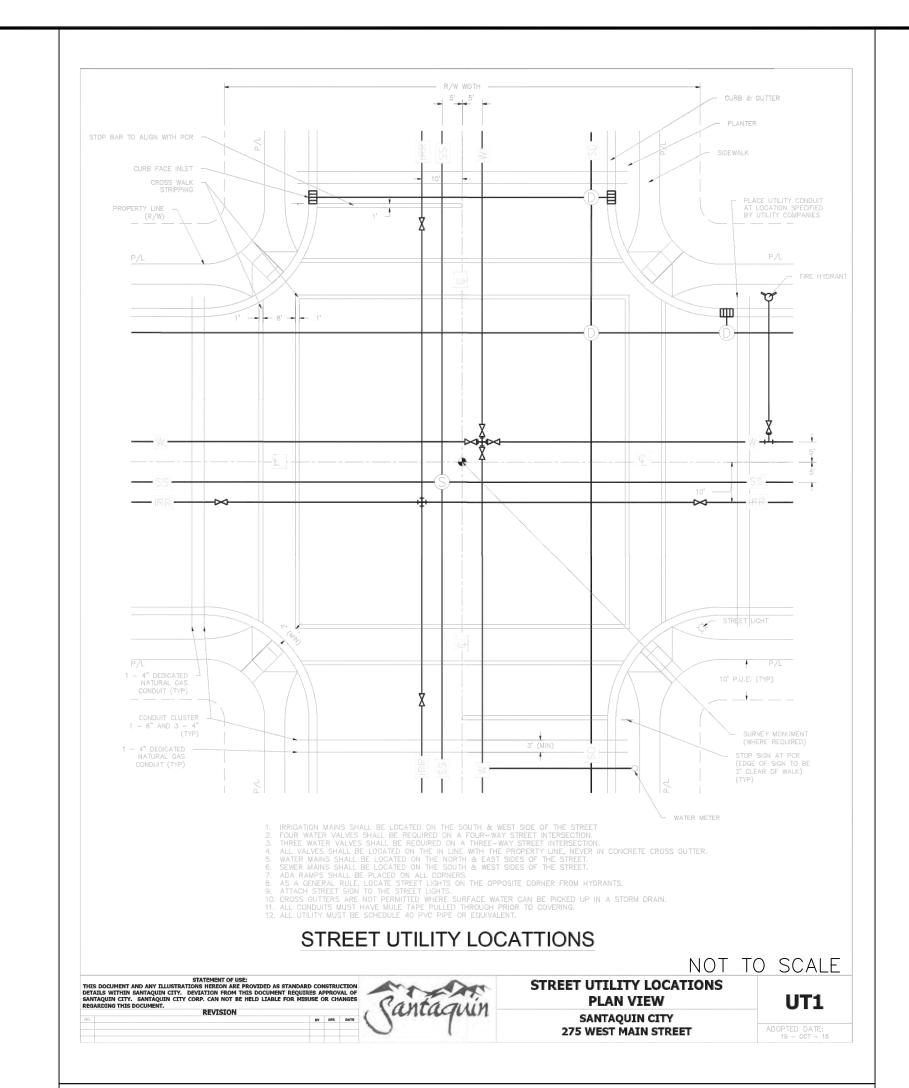
24"MIN. COVER

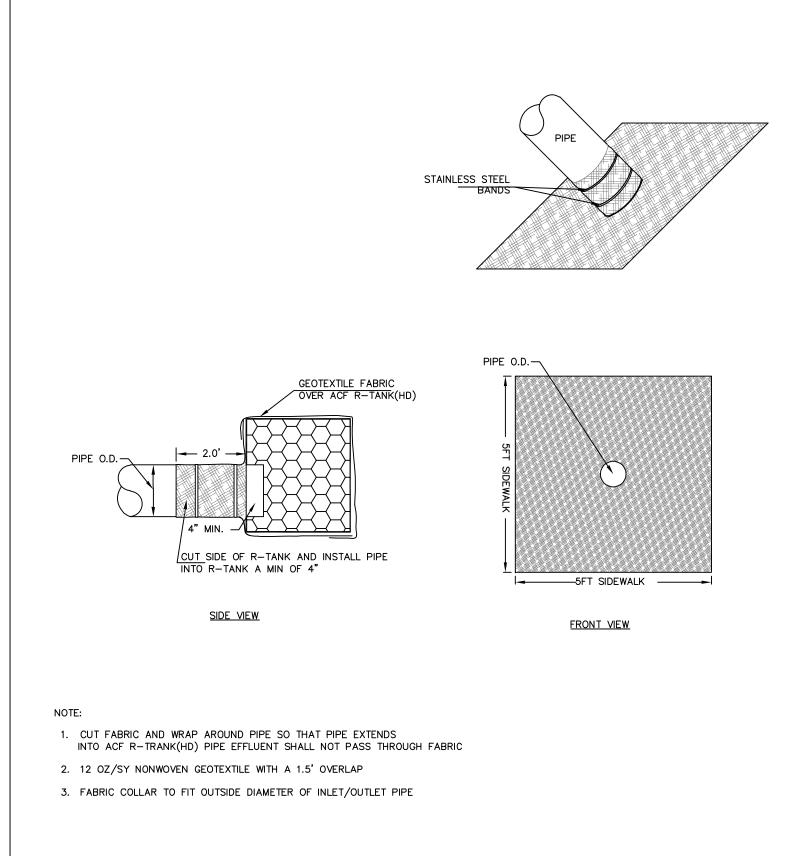
Maximum Cover Maximum allowable cover depth

(HS-25 STANDARD)



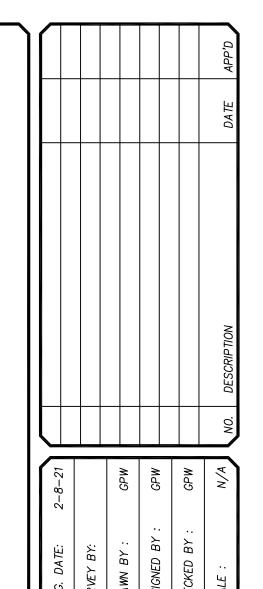






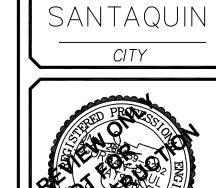
<u>R-TANK "BOOT" STANDARD</u>

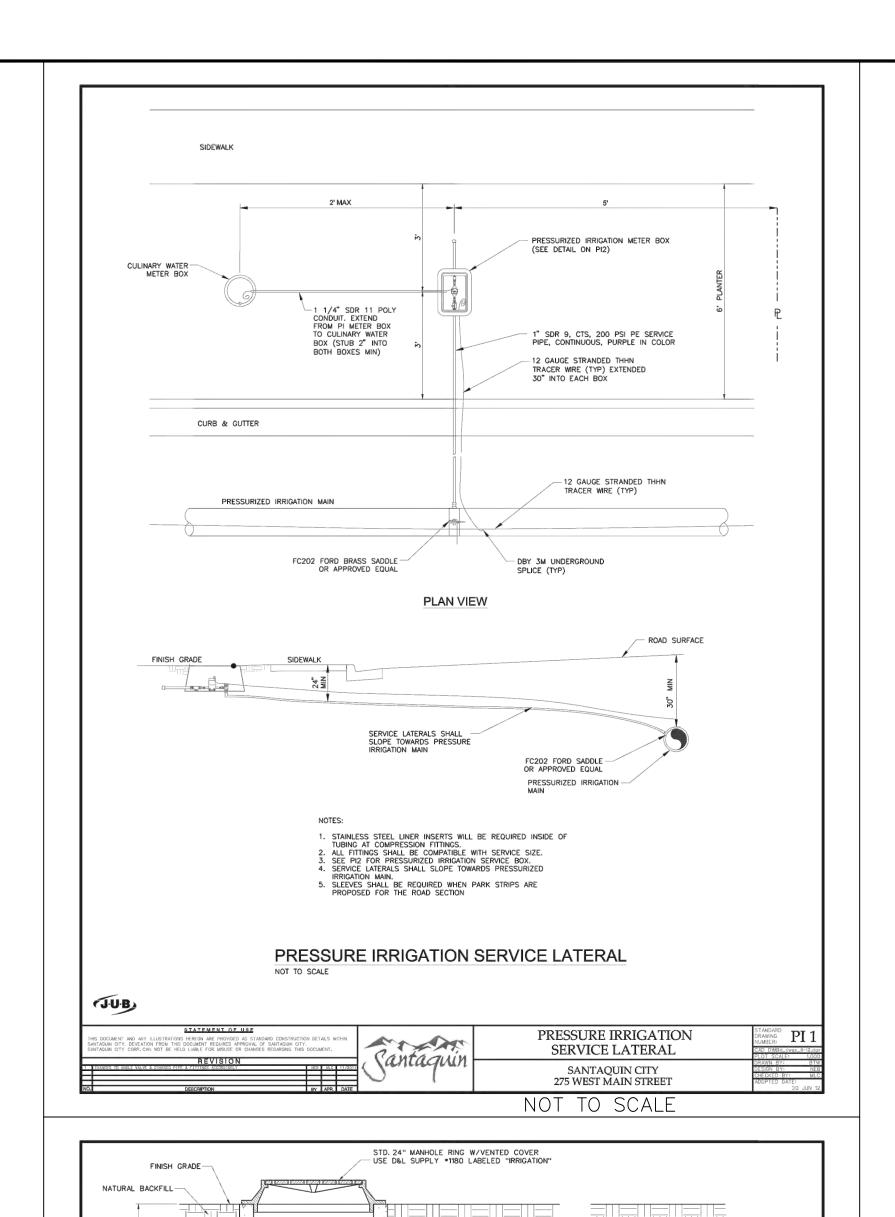
NOT TO SCALE



GATEWAY CONSIII TING Inc	ORIG
P.O. BOV OSTOOS SOUTHI JOBBAN 11T 84005	SUR
7 F.U. BUA 921002 SUUTH JUNDAN, UI 04093 PH: (801) 694-5848	DRA
paul@gatewayconsultingllc.com	DESI
SINEERING CONSULTING LAND PLANNING	CHE
CONSTRUCTION MANAGEMENT	SCA

SUBDIVISIO





30" CONCRETE PIPE x 2'-0"

NOTCH BOTTOM OF 30" CP FOR 2" PIPE.

- 2" SCHD 40 PVC PIPE

SLOPE TO DRAIN

- 2"PVC x MIPT ADAPTER

— ¾" DIA. GRAVEL

LOCAL DRAIN TO SUMP

SLOPE TO DRAIN

SYSTEM DRAIN TO STORM DRAIN PIPE

SLOPE TO DRAIN

SYSTEM DRAIN TO CURB INLET BOX

A COM

Cantaquin

DUCTILE IRON DRAIN LINE

 CONSTRUCT DRAIN INTO BOX AND GROUT AROUND ATTACHMENT

PRESSURE IRRIGATION

SYSTEM DRAINS

SANTAQUIN CITY

275 WEST MAIN STREET

NOT TO SCALE

- CONSTRUCT DRAIN INTO PIPE AND GROUT AROUND ATTACHMENT

- DUCTILE IRON DRAIN LINE

- ASPHALT SURFACE

FINISH GRADE

2" BALL VALVE -

2"PVC x MIPT ADAPTER

EXISTING STORM DRAIN PIPE-

CURB FACE INLET BOX-

(JUB)

REVISION
ADDED CONCRETE COLLARS ON VALVE BOXES & MINOR NOTE UPDATES

45° MJxPE BEND -

- IRRIGATION LINE

2"PVC x MIPT ADAPTER

FLGxMJ GATE VALVE BOX

— MJxFLG TEE

- CONCRETE COLLAR (SEE PI5)

- FLGxMJ GATE VALVE BOX

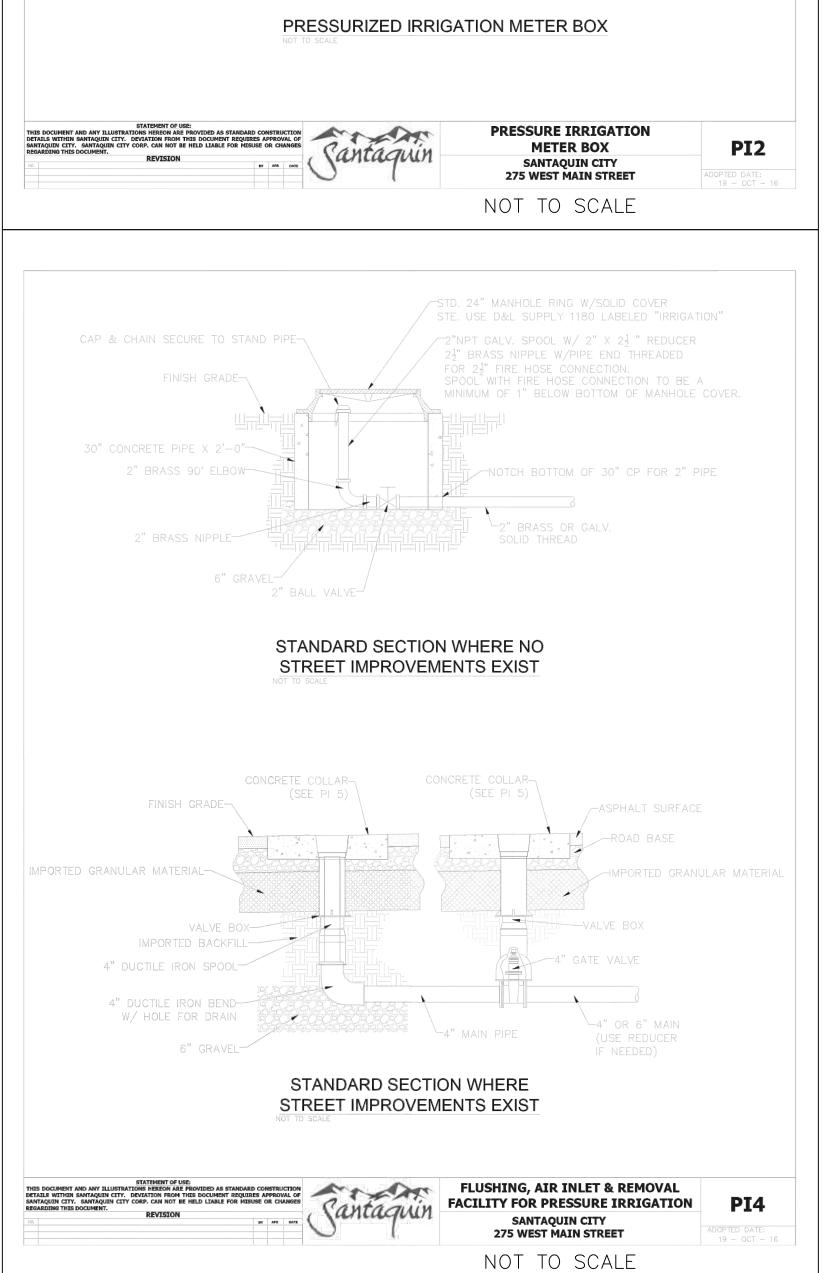
— MJxFLG TEE

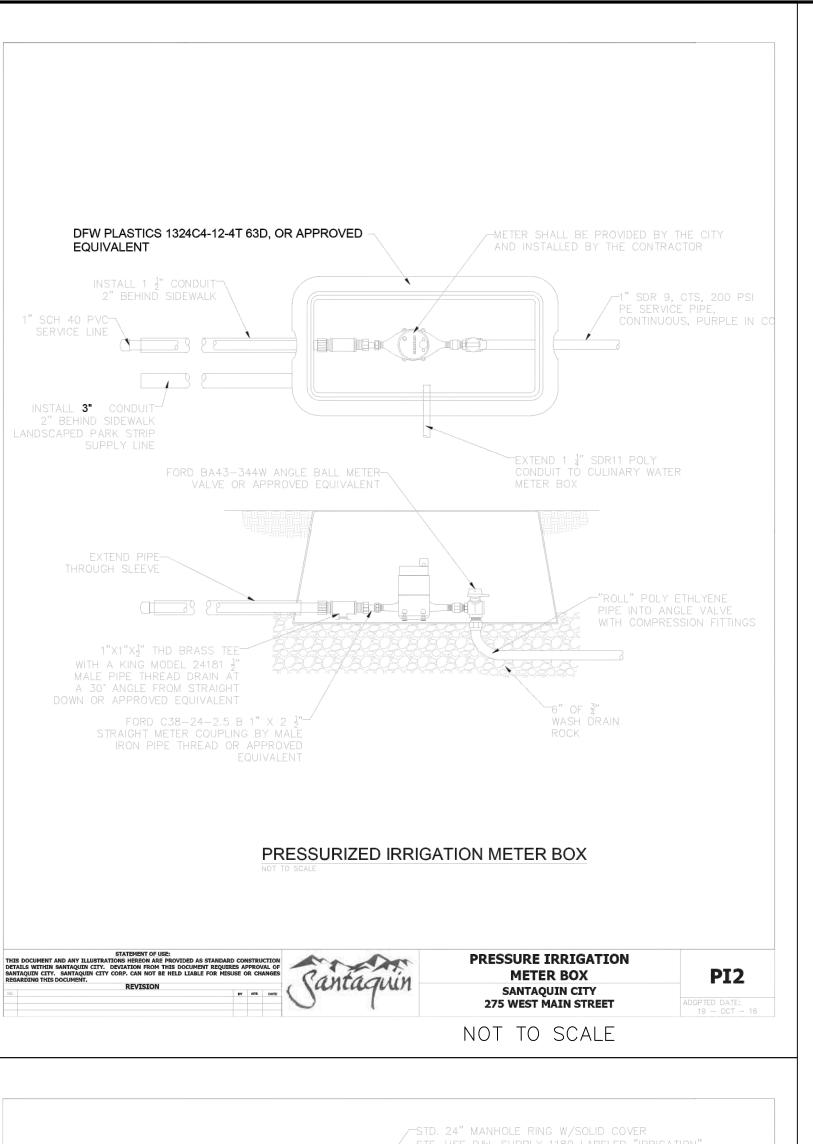
- IRRIGATION LINE

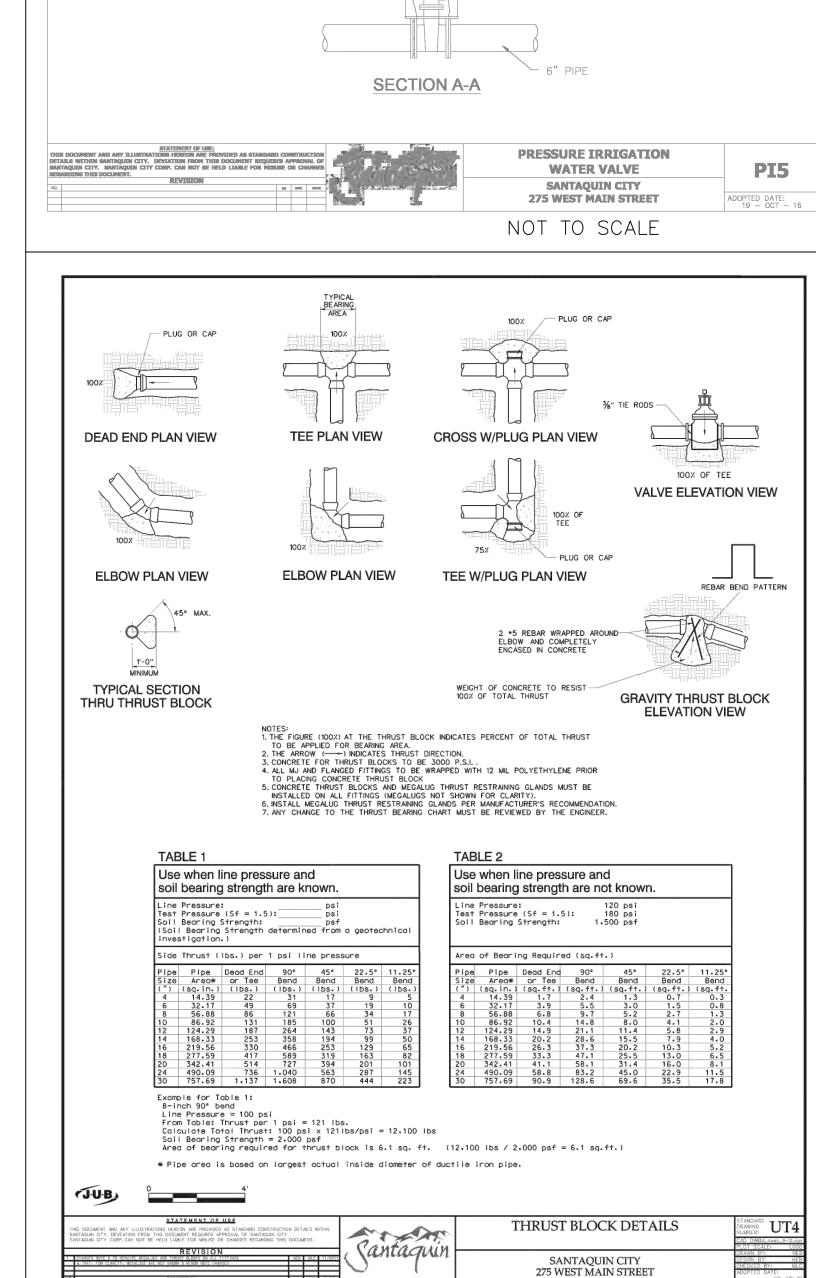
- IMPORTED GRANULAR FILI

°PI3

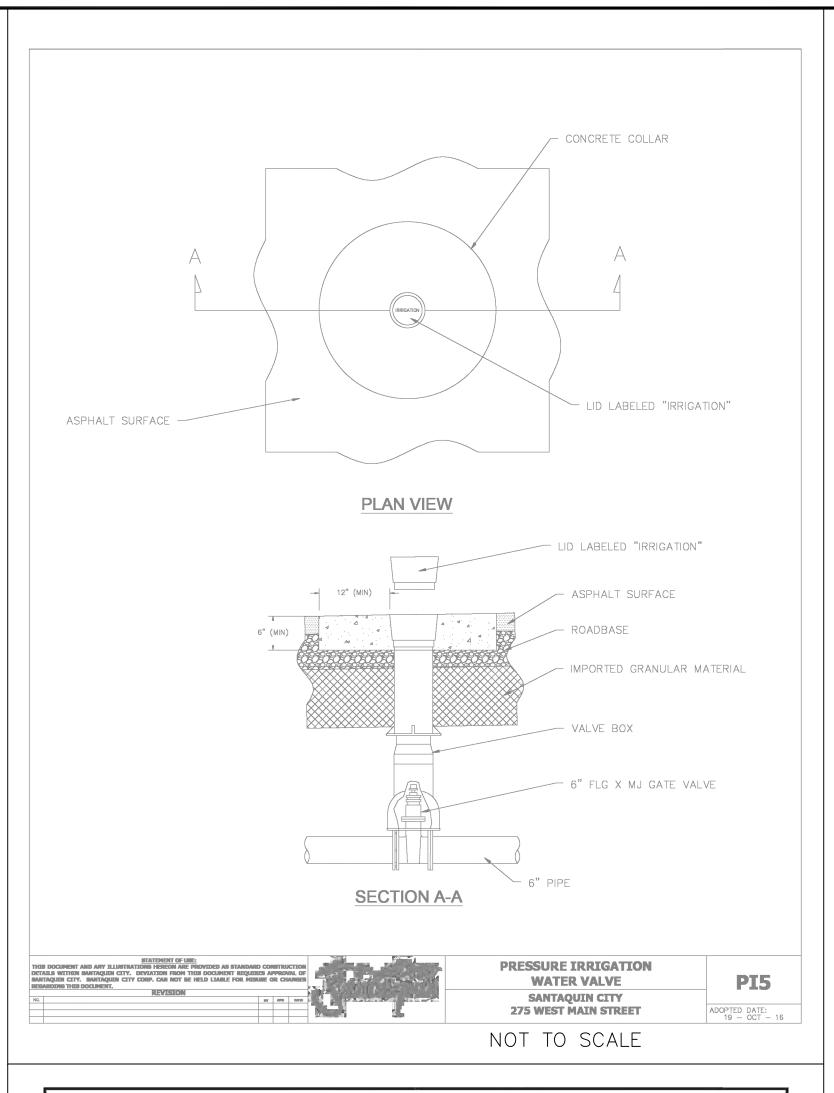
45° BEND

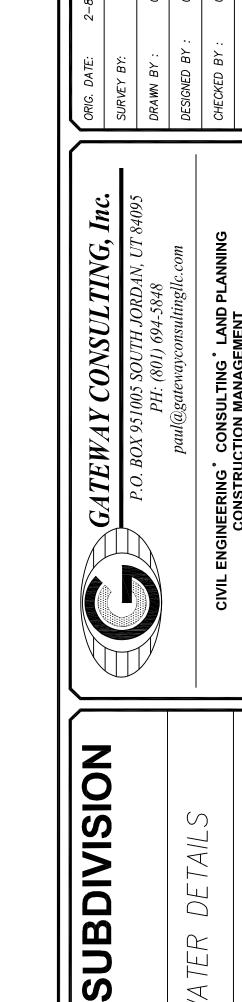


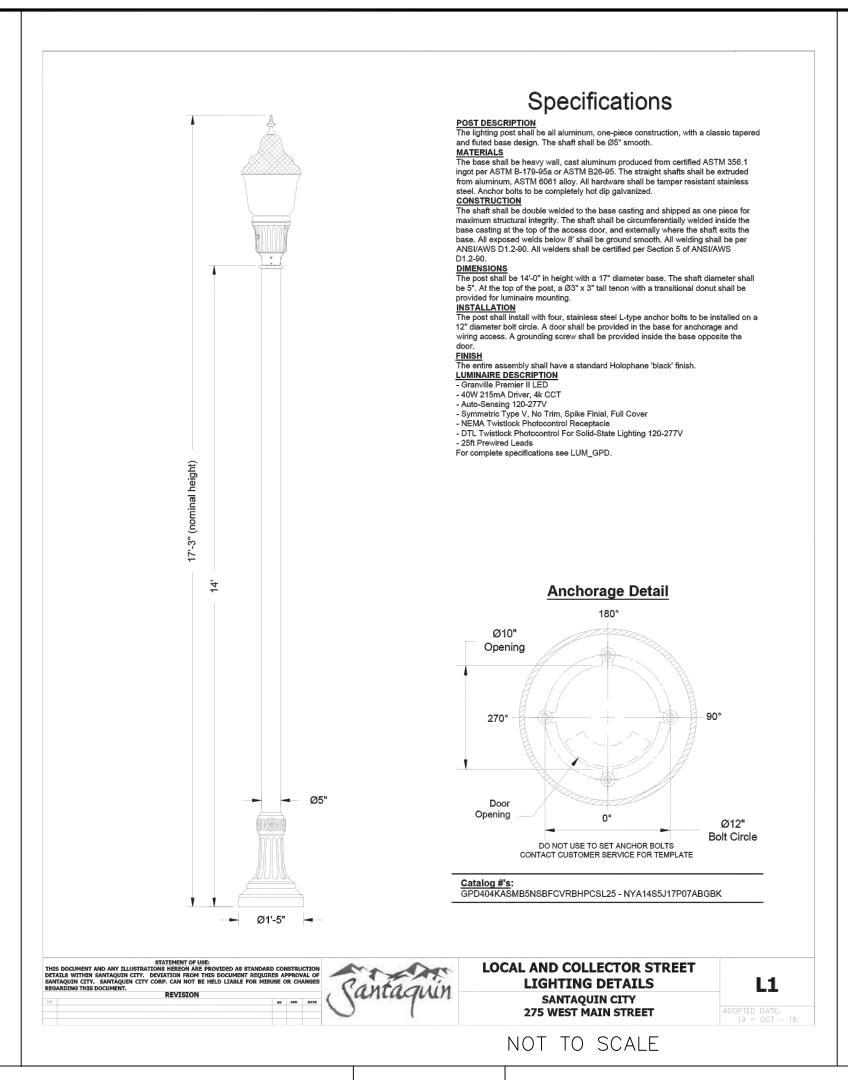


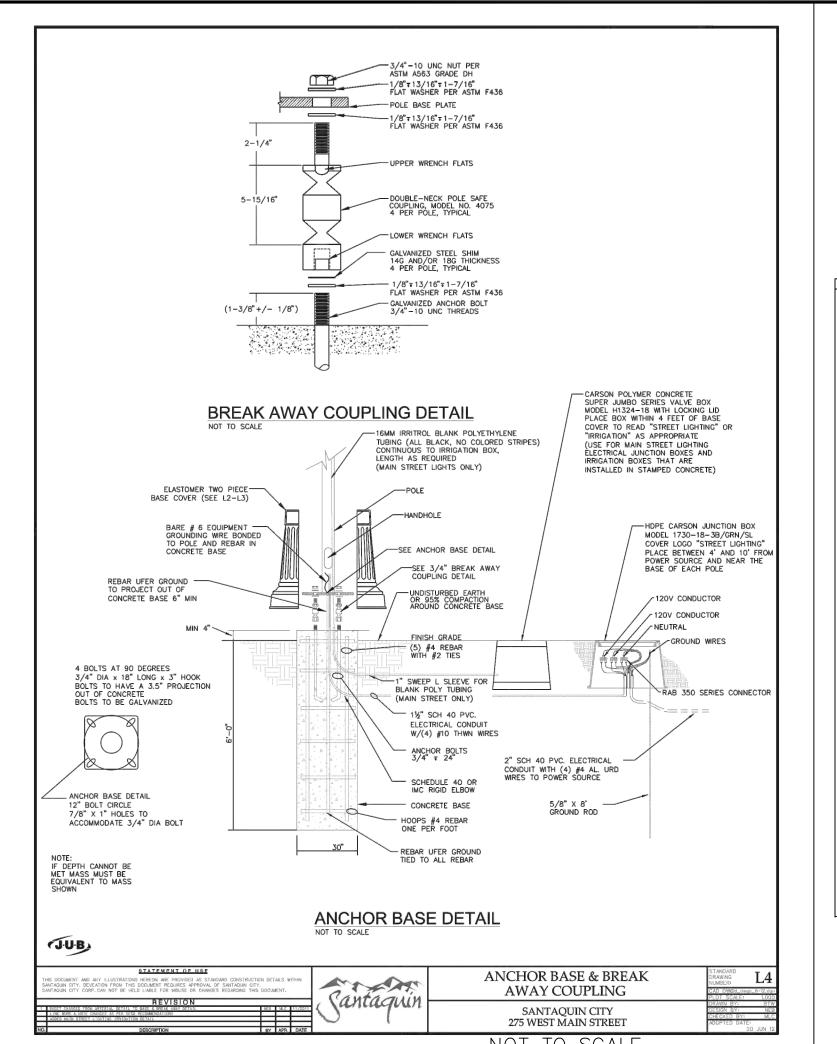


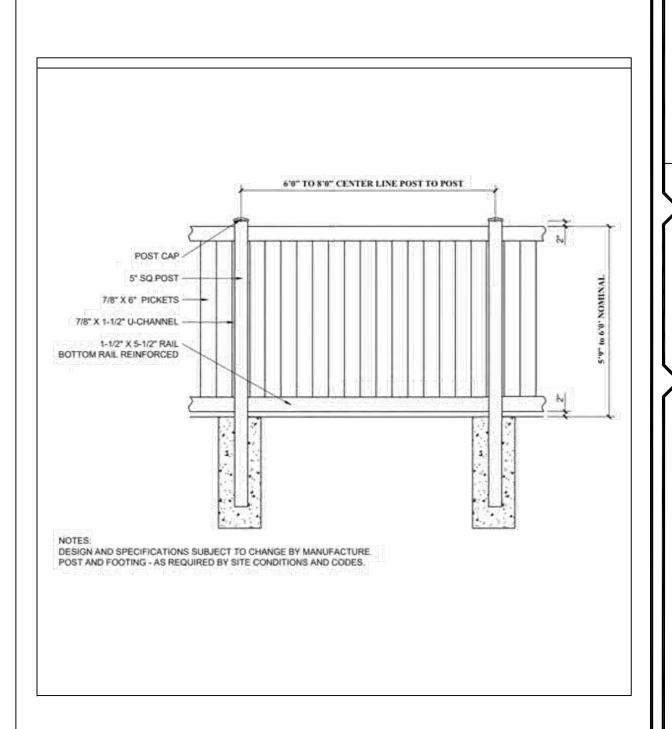
NOT TO SCALE

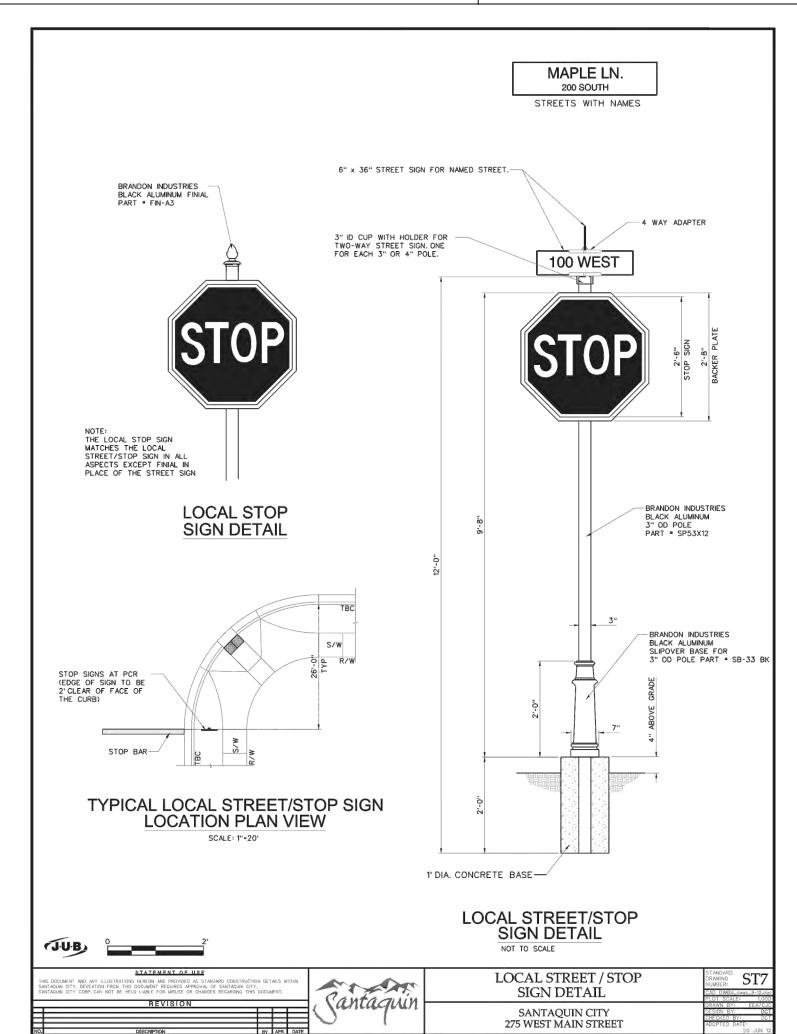




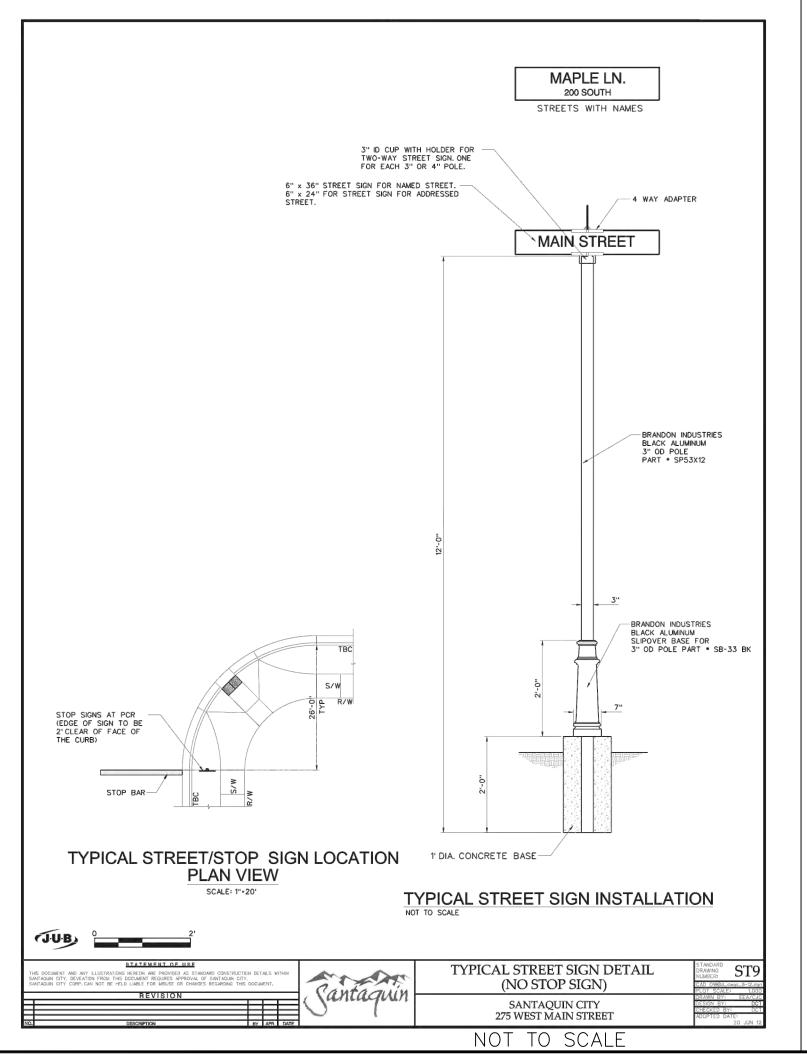


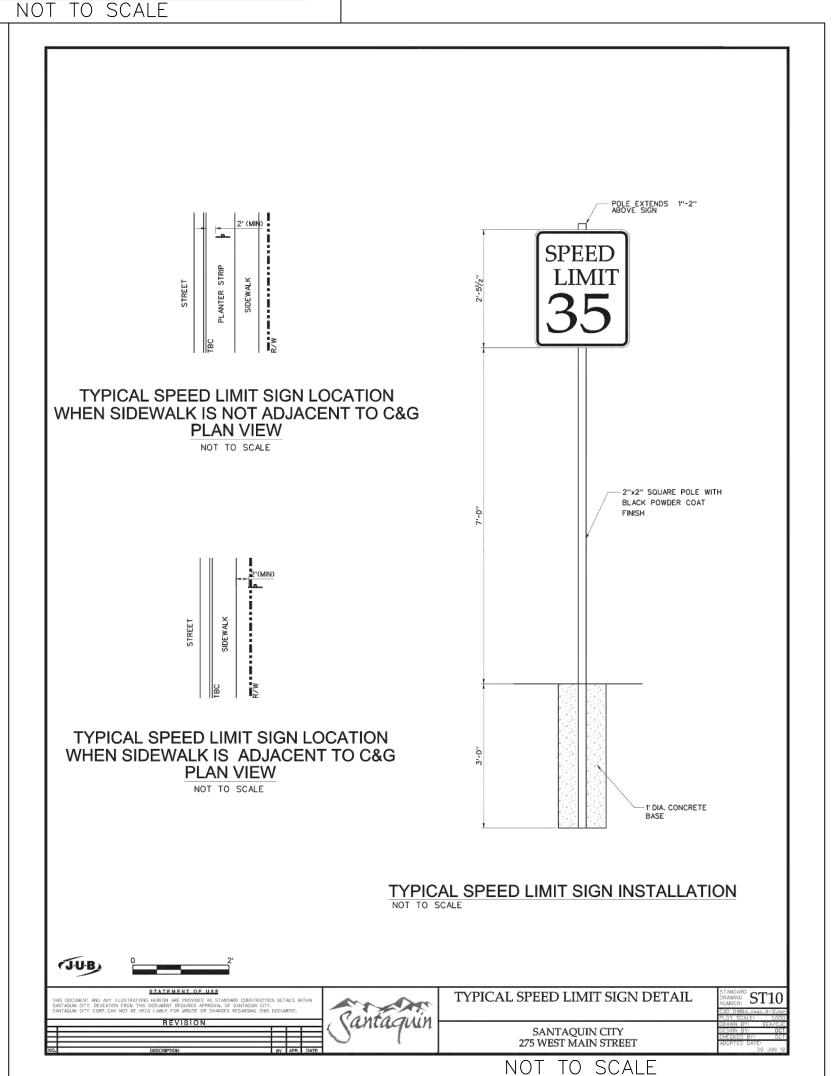


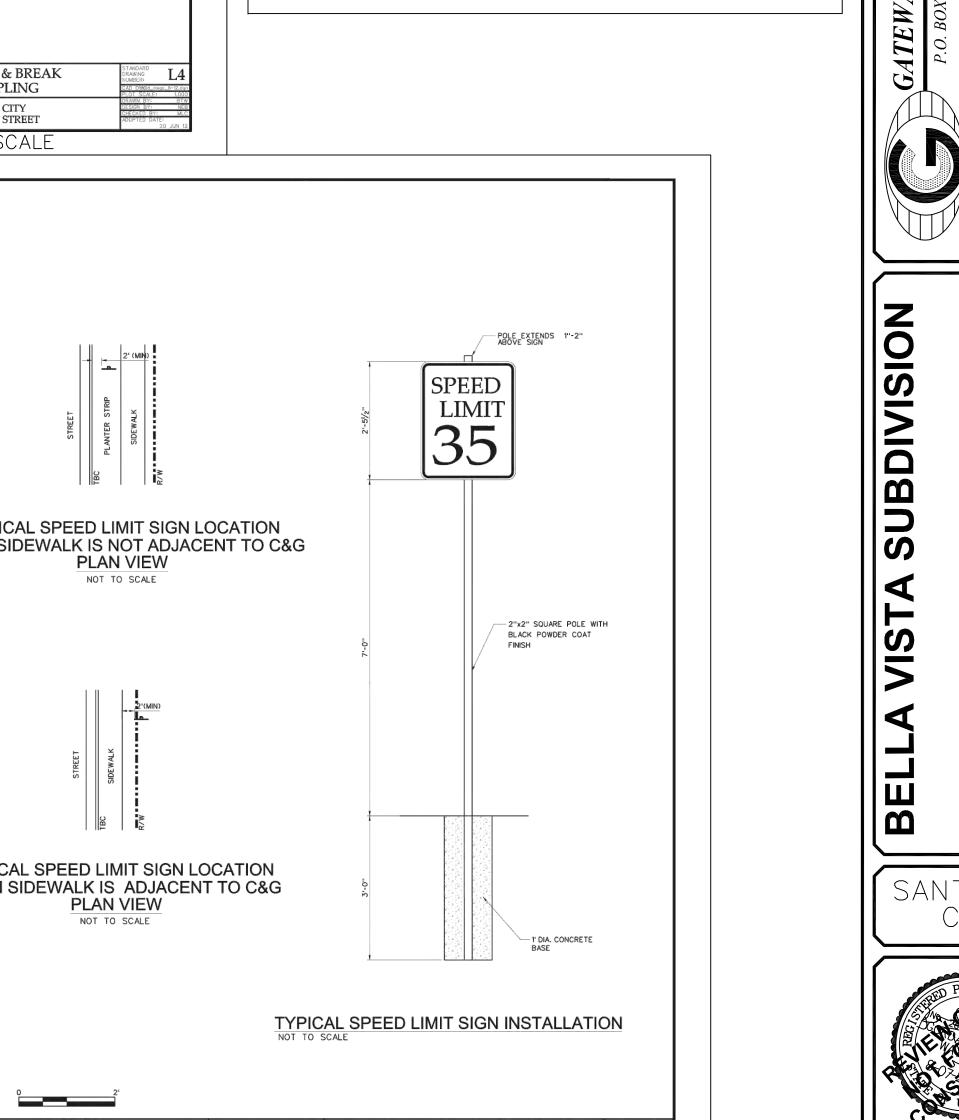


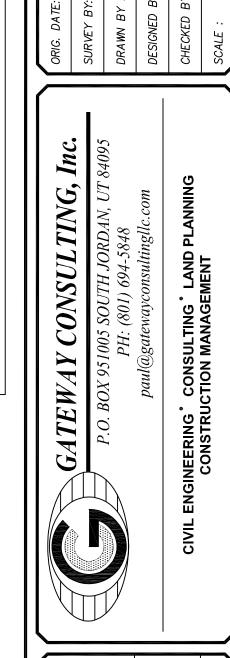


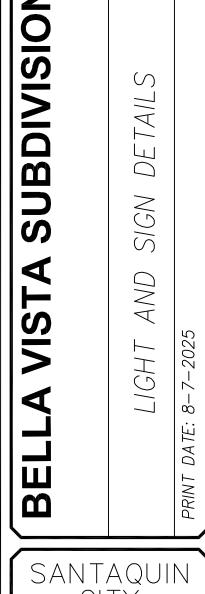
NOT TO SCALE

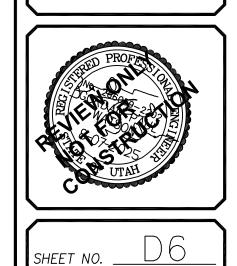
















Santaquin City Planning Commission August 12, 2025

Planning Commission Members in Attendance: Commissioners Trevor Wood, Mike Weight, Drew Hoffman, Mike Romero, and LaDawn Moak.

Commissioners Jessica Tolman and BreAnna Nixon were excused from the meeting

Others in Attendance: Assistant City Manager Jason Bond, City Council Member Jeff Siddoway, Planner Aspen Stevenson, and Recorder Amalie Ottley.

No members of the public attended the meeting.

Commission Chair Wood called the meeting to order at 7:00 p.m.

INVOCATION/INSPIRATIONAL THOUGHT

Commissioner Romero offered an inspirational thought

PLEDGE OF ALLEGIANCE

Commissioner Weight led the Pledge of Allegiance.

PUBLIC FORUM

Commission Chair Wood opened the Public Forum at 7:01 p.m.

No members of the public wished to address the Planning Commission in the Public Forum.

Commission Chair Wood closed the Public Forum at 7:03 p.m.

DISCUSSION & POSSIBLE ACTION ITEMS:

1. PUBLIC HEARING: Architectural Requirements in the Main Street Business District (MSBD) Zone Assistant Manager Bond presented a proposed code amendment changing some architectural requirements in the Main Street Business Districts (MSBD) Zone — specifically related to roofline requirements. This proposed change came about because of a current Architectural Review Committee (ARC) review of a proposed Mountain America Credit Union (MACU) building on Main Street. The proposed building does not comply with a specific architectural requirement because the shed roof on the front of the building that faces Main Street has a 2:12 pitch. The code allows for a flat roof or a minimum 5:12 pitch but anything in between is not currently allowed.

Commission Chair Wood opened the Public Hearing at 7:12 p.m.

No members of the public wished to address the Planning Commission in the Public Hearing.

Commission Chair Wood closed the Public Hearing at 7:12 p.m.

The members of the commission agreed that the proposal was straightforward.

Commissioner Weight made a motion to make a positive recommendation to the City Council that the proposed amendment to the architectural requirements in the Main Street Business Districts Zone be approved as written. Commissioner Romero seconded the motion.

Santaquin City Planning Commission August 12, 2025

Commissioner Hoffman Yes
Commissioner Moak Yes
Commissioner Nixon Absent
Commissioner Romero Yes
Commissioner Tolman Absent
Commissioner Weight Yes
Commissioner Wood Yes

The motion passed.

2. PUBLIC HEARING: Requirements for Masonry Fencing Along Double Frontage Lots

Planner Stevenson introduced a proposed code change that amends Santaquin City Code (SCC) 11.24.080 to include a requirement that when double frontage lots cannot be avoided a masonry fence shall be required. This code amendment comes as a request from the Community Development department and City Administration.

Commissioners discussed where there are examples of homes that have double frontage in local neighborhoods that don't front arterial or busy city roads. Commissioner Hoffman suggested that the code amendment apply only to double frontage lots on arterial and connector roads and not to local neighborhood streets. Commissioner Wood suggested that additional landscaping be encouraged when there's a sidewalk up against the masonry fence. Assistant City Manager Bond discussed the difficulty of setting a large number of requirements in development agreement with regard to the public right-of-way.

Commission Chair Wood opened the Public Hearing at 7:26 p.m.

No members of the public wished to address the Planning Commission in the Public Hearing.

Commission Chair Wood closed the Public Hearing at 7:26 p.m.

Commissioner Hoffman made a motion to recommend approval of the proposed code amendment to require fencing on double frontage lots except for lots on designated local roads. Commissioner Moak seconded the motion.

Commissioner Hoffman Yes
Commissioner Moak Yes
Commissioner Nixon Absent
Commissioner Romero Yes
Commissioner Tolman Absent
Commissioner Weight Yes
Commissioner Wood Yes

The motion passed.

3. Santaquin Peaks Industrial Subdivision Lots 7 & 8 Plat Amendment

Planner Stevenson presented the site plan for Silver Creek Design currently under review located off Summit Ridge parkway in the Santaquin Peaks Industrial Park. The owner of the lots propose combining lots 7 and 8 within the Santaquin Peaks Industrial Park within the Industrial zone to create a total of 1.98

Item 5.

Santaquin City Planning Commission August 12, 2025

acres. There are "...no land area requirements, except that an area sufficient to accommodate location requirements, off street parking, loading and unloading, and vehicular access shall be provided and maintained" in the Industrial Zone (SCC 10.20.130).

Commissioners had no questions or issues with the proposed plat amendment.

Commissioner Romero made a motion to approve the Santaquin Peaks Industrial Subdivision Lots 7 & 8 Plat Amendment. Commissioner Weight seconded the motion.

Commissioner Hoffman Yes
Commissioner Moak Yes
Commissioner Nixon Absent
Commissioner Romero Yes
Commissioner Tolman Absent
Commissioner Weight Yes
Commissioner Wood Yes

The motion passed.

MEETING MINUTES APPROVAL

Commissioner Romero made a motion to approve the meeting minutes from August 12, 2025. Commissioner Hoffman seconded the motion.

Commissioner Hoffman Yes
Commissioner Moak Yes
Commissioner Nixon Absent
Commissioner Romero Yes
Commissioner Tolman Absent
Commissioner Weight Yes
Commissioner Wood Yes

The motion passed.

OTHER BUSINESS

Assistant City Manager Bond let the Planning Commission know that a previous application for a rezone has been rescinded by the applicant.

ADJOURNMENT

Commissioner Weight made a motion to adjourn the meeting.

The meeting was adjourned at 7:31 p.m.

City Recorder – Amalie R. Ottley

Planning Commission Chair – Trevor Wood