



PLANNING COMMISSION

Tuesday, August 26, 2025, at 7:00 PM
Council Chambers at City Hall Building and Online
110 S. Center Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://www.youtube.com/@santaquincity> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

WELCOME

INVOCATION/INSPIRATIONAL THOUGHT

PLEDGE OF ALLEGIANCE

ORDER OF AGENDA ITEMS

PUBLIC FORUM

DISCUSSION & POSSIBLE ACTION

1. **PUBLIC HEARING: Major Home Occupation at 275 W. Saddlebrook Drive**
The Planning Commission will hold a public hearing to receive input regarding a proposed Conditional Use Permit for a Major Home Occupation at 275 W. Saddlebrook Drive. (The Oaks Dance Studio)
2. **PUBLIC HEARING: Major Home Occupation at 292 W. 500 N.**
The Planning Commission will hold a public hearing to receive input regarding a proposed Conditional Use Permit for a Major Home Occupation at 292 W. 500 N. (The Oaks Dance Studio)
3. **PUBLIC HEARING: General Plan Amendment**
The Planning Commission will hold a public hearing to receive input regarding a General Plan amendment that addresses changes to the land use map in the northeast quadrant of Santaquin City.
4. **Bella Vista Preliminary Subdivision Plan**

The Planning Commission will conduct a preliminary review of a 122-lot subdivision located at approximately 400 E. 610 N.

OTHER BUSINESS

5. Meeting Minutes Approval

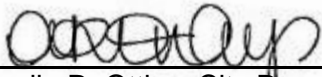
August 12, 2025

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.gov, in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:



Amalie R. Ottley, City Recorder

MEMO



To: Planning Commission

From: Aspen Stevenson, Planner

Date: August 26, 2025

Re: The Oaks Dance Studios Major Home Occupations & Conditional Use Permits

Oakley Johnson submitted a Major Home Occupation and Conditional Use Permit Application for a two dance studios located at 275 W Saddlebrook Drive and 292 W 500 N. The applicant proposes to operate a few dance classes capped at 10 students per class and no more than 24 students per day between 12 pm-8 pm. Any child-oriented home occupation that has more than 8 children is required to get a major home occupation permit and must follow Santaquin City Code (SCC) 10.40.060 and 10.40.040. Major home occupations are subject to Conditional Use Permit approval from the Planning Commission and require a public hearing.

This review is for the Planning Commission to determine whether or not all requirements found in SCC 10.40.060 and 10.40.040 are being followed and a Conditional Use Permit can be granted. A Conditional Use is administrative decision and if all code requirements are being met, the permit needs to be approved. A business license will still need to be acquired, and all required departments will need to review and approve the business license before it can be issued.

Motion: “Motion to (approve/deny) the conditional use permit for the proposed *The Oaks Dance Studio* at 275 W Saddlebrook Dr and 292 W 500 N with the following conditions:

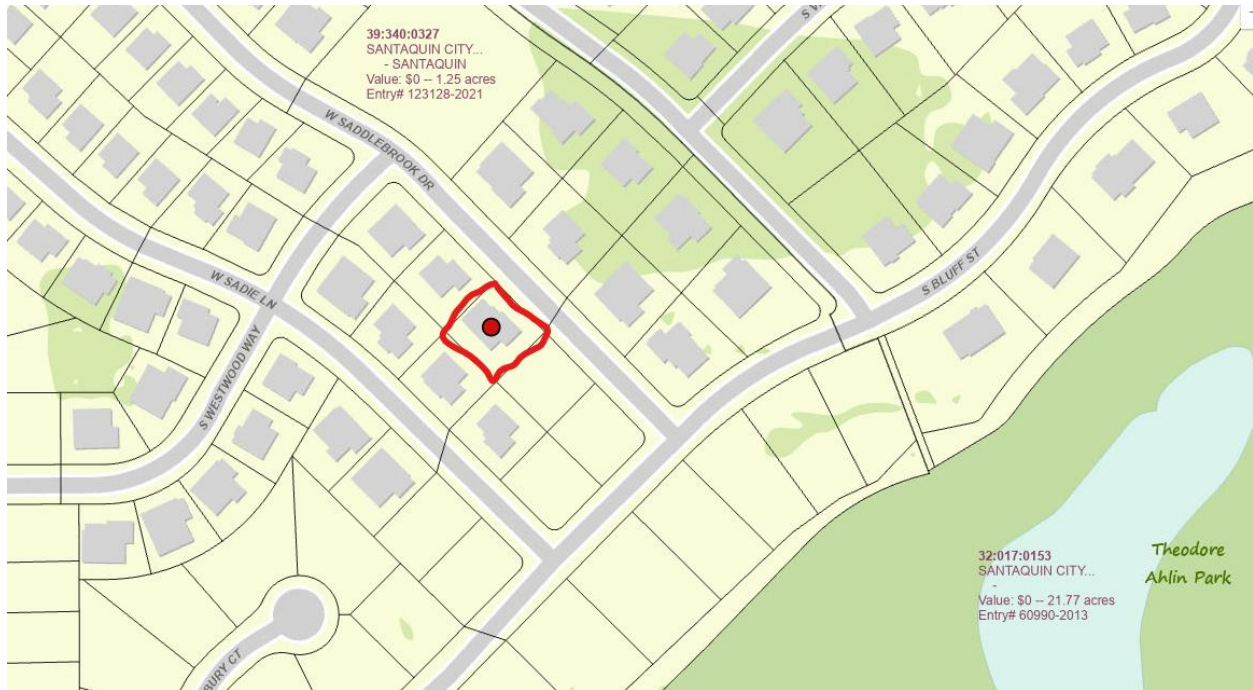
- All code requirements in Santaquin City Code 10.40.060 and 10.40.040 be met.
- A Business License be obtained before operation.

Attachments:

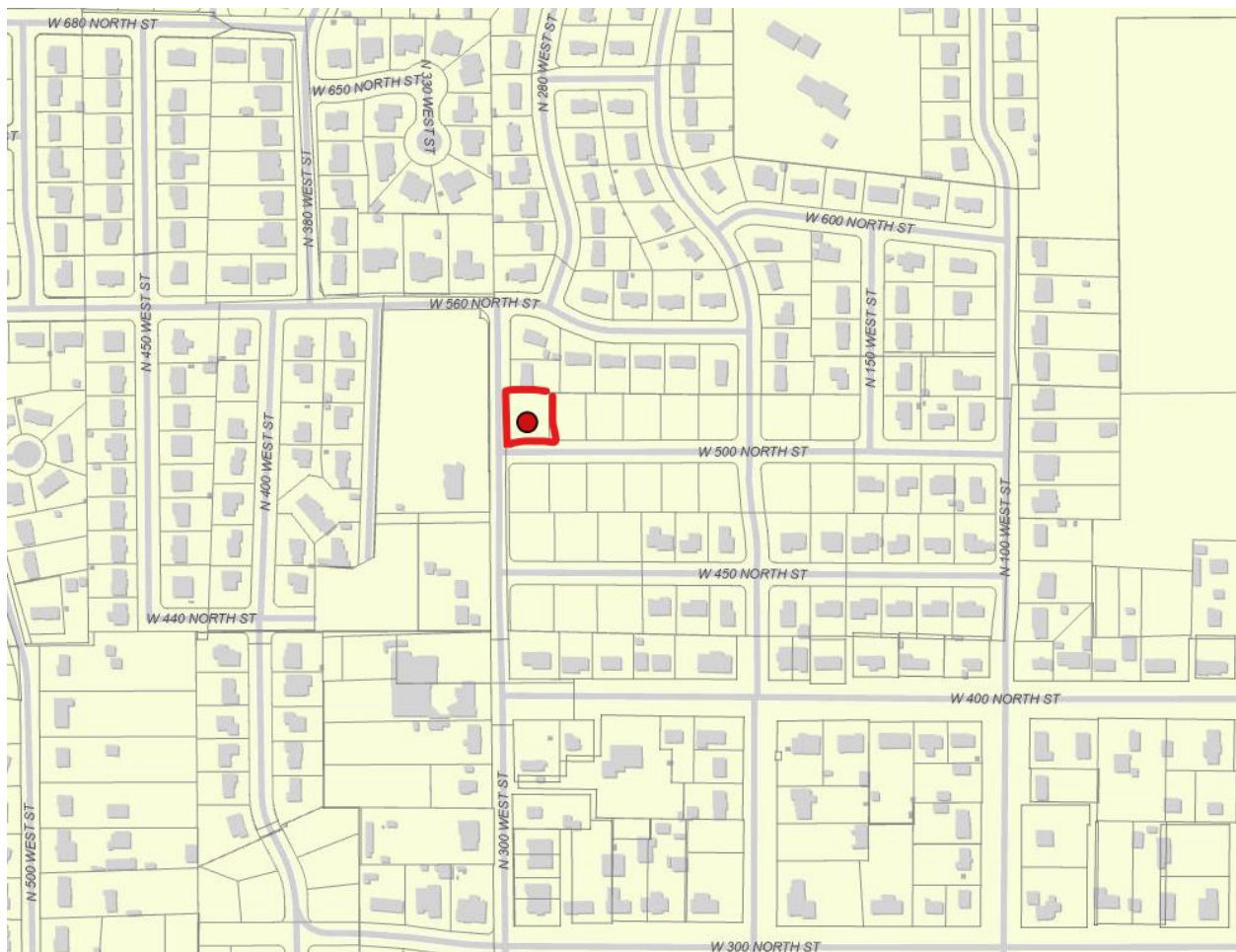
1. Vicinity Map
2. Applicant’s Letter
3. Santaquin City Code 10.40.060 and 10.40.040

Vicinity Map

275 W Saddlebrook



292 W 500 N



275 W Saddlebrook Dr. Santaquin - Business Plan

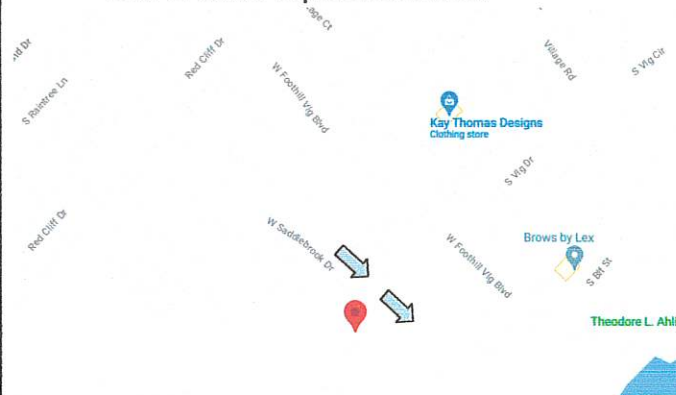
Santaquin City Major Home Occupation Guidelines	Business Plan to Comply with City Guidelines
<p>Child group activity home occupations shall comply with the following conditions:</p> <ol style="list-style-type: none"> 1. Maximum Children Permitted: The following maximum numbers include the licensee's and any employees' children if they are under twelve (12) years of age and are under the care of the licensee at the time the home occupation is conducted: <ol style="list-style-type: none"> a. Child group activities may not exceed twelve (12) students/children per session and a maximum of twenty-four (24) students/children per day. A maximum of two (2) sessions per day may be permitted. There shall be a minimum 30-minute break between the two sessions. 	<ol style="list-style-type: none"> 1. Dance classes are capped out at 10 students per class and we will stay at or below the maximum of 24 children per day.
<p>Yard Requirements:</p> <p>All nonbusiness related structures or on premises hazards are to be made inaccessible to the children attending the daycare facility.</p> <p>All outdoor play areas must be enclosed by a fence at least six feet (6') in height.</p>	<p>All classes are located inside the dance studio garage. Children will be accompanied outside of the dance room after classes to make sure they stay safe around the road when being picked up. There are no other hazards on the property.</p>
<p>Traffic:</p> <p>All vehicular stops for the dropping off or picking up of children shall be done with the passenger side of the vehicle toward the residence.</p> <p>A traffic circulation and safety plan must be submitted to, reviewed and approved by the city.</p> <p>At least one adjacent residential street must be of sufficient width to accommodate the increased average daily vehicular traffic (ADT) counts caused by the business.</p> <p>The number of business-related vehicle stops at the home per day shall not exceed forty-eight (48) (e.g., dropping off and picking up a child would count as 2 vehicle stops).</p>	<p>This dance studio is a group activity that would allow 48 maximum vehicle stops. We'll maintain this vehicle limit by limiting our enrollment at or below 24 students a day. We're planning on many students being able to walk or ride bikes to class but even with every student being dropped off and picked up, the car stops will remain below 48 stops. Traffic circulation plan included below.</p>
<p>Location Requirements: No child group activity home occupation, which requires a conditional use permit, may be operated within three hundred feet (300'), as measured from property line to property line, of another child group activity home occupation operating under a conditional use permit.</p>	<p>There are no child group activities within 300 feet of the dance studio.</p>
<ol style="list-style-type: none"> 1. Licensure: Copies of all licenses required by the state shall be provided to the city for verification of compliance with all state standards. 	<p>I've included all state required licenses and am happy to provide any additional information on state standards.</p>

Traffic Circulation Plan

Site Plan for Pickup and Drop Off:

Parents will be instructed to come from the south on N 300 W St. and pull up along the side of the road. Students will exit and enter the vehicle on the passenger side onto the sidewalk where they can walk into the studio. This will ensure that the flow of traffic remains in one direction and flows smoothly. We also have an available parking spot on our driveway for situations where a parent needs to come in with their student.

1. We'll have no more than 10 students in a dance class at one time. We'll encourage students who are close enough to walk to classes as well as further students to carpool together to reduce car stops.
2. This community dance studio is located at 292 W 500 N St, Santaquin, UT 84655. The flow of traffic is pictured below.



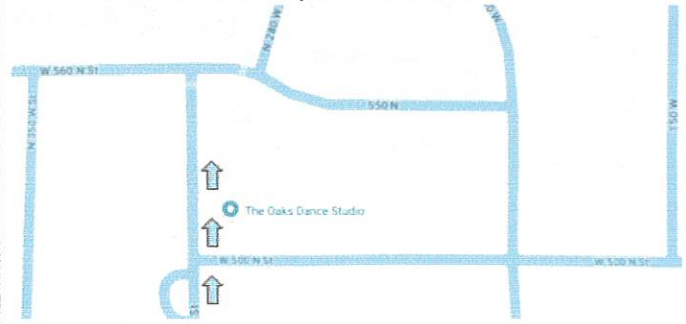
292 W 500 N Santaquin - Business Plan

Santaquin City Major Home Occupation Guidelines	Business Plan to Comply with City Guidelines
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<p>Yard Requirements:</p> <p>All nonbusiness related structures or on premises hazards are to be made inaccessible to the children attending the daycare facility.</p> <p>All outdoor play areas must be enclosed by a fence at least six feet (6') in height.</p>	<p>All classes are located inside the dance studio garage. Children will be accompanied outside of the dance room after classes to make sure they stay safe around the road when being picked up. There are no other hazards on the property.</p>
<p>Traffic:</p> <p>All vehicular stops for the dropping off or picking up of children shall be done with the passenger side of the vehicle toward the residence.</p> <p>A traffic circulation and safety plan must be submitted to, reviewed and approved by the city.</p> <p>At least one adjacent residential street must be of sufficient width to accommodate the increased average daily vehicular traffic (ADT) counts caused by the business.</p> <p>The number of business-related vehicle stops at the home per day shall not exceed forty-eight (48) (e.g., dropping off and picking up a child would count as 2 vehicle stops).</p>	<p>This dance studio is a group activity that would allow 48 maximum vehicle stops. We'll maintain this vehicle limit by limiting our enrollment at or below 24 students a day. We're planning on many students being able to walk or ride bikes to class but even with every student being dropped off and picked up, the car stops will remain below 48 stops. Traffic circulation plan included below.</p>
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<ol style="list-style-type: none"> 1. Licensure: Copies of all licenses required by the state shall be provided to the city for verification of compliance with all state standards. 	<p>I've included all state required licenses and am happy to provide any additional information on state standards.</p>
<p>Traffic Circulation Plan</p>	

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10.40.060 MAJOR HOME OCCUPATIONS

Major home occupations must comply with all of the standards outlined in SCC 10.40.040 and where possible the qualifications of SCC 10.40.050. Major home occupations must be reviewed by the planning commission and granted a conditional use permit before pursuing a business license through the city. Each major home occupation is subject to the pertinent conditions listed below:

1. General conditions for all major home occupations:
 1. Major home occupations may only be conducted from property having a detached single-family dwelling,
 2. The conditional use permit and the home occupation business license shall be maintained in good standing for the entire period that business is being conducted,
 3. Conditional use permits can be revoked based upon unresolved legitimate complaints as determined by the city zoning administrator.
2. Child group activity home occupations shall comply with the following conditions:
 1. Maximum Children Permitted: The following maximum numbers include the licensee's and any employees' children if they are under twelve (12) years of age and are under the care of the licensee at the time the home occupation is conducted:
 1. Child group activities may not exceed twelve (12) students/children per session and a maximum of twenty-four (24) students/children per day. A maximum of two (2) sessions per day may be permitted. There shall be a minimum 30-minute break between the two sessions.
 2. Yard Requirements:
 1. All nonbusiness related structures or on premises hazards are to be made inaccessible to the children attending the daycare facility.
 2. All outdoor play areas must be enclosed by a fence at least six feet (6') in height.
 3. Traffic:
 1. All vehicular stops for the dropping off or picking up of children shall be done with the passenger side of the vehicle toward the residence.
 2. A traffic circulation and safety plan must be submitted to, reviewed and approved by the city.
 3. At least one adjacent residential street must be of sufficient width to accommodate the increased average daily vehicular traffic (ADT) counts caused by the business.
 4. The number of business-related vehicle stops at the home per day shall not exceed forty-eight (48) (e.g., dropping off and picking up a child would count as 2 vehicle stops).
 4. Location Requirements: No child group activity home occupation, which requires a conditional use permit, may be operated within three hundred feet (300'), as measured from property line to property line, of another child group activity home occupation operating under a conditional use permit.
 5. Licensure: Copies of all licenses required by the state shall be provided to the city for verification of compliance with all state standards.
3. Businesses not conducted within a home, which must obtain a conditional use permit, and which may include welding, carpentry, sheet metal work, furniture manufacturing, upholstery and other similar manufacturing activities, must comply with the following:
 1. Machinery Operation: No machinery may be operated between the hours of seven o'clock (7:00) P.M. and eight o'clock (8:00) A.M.
 2. Noise Levels:

1. No power equipment which emits a sound pressure level in excess of seventy-four (74) dB, as measured at a distance of fifty feet (50') (15 m) from such machinery, shall be used.
2. No equipment shall cause a noise disturbance for a consecutive period longer than fifteen (15) minutes or for more than thirty (30) minutes per hour.
3. Business machinery noise levels are not to exceed fifty-five (55) dB when measured at the closest property boundary.
3. Storage Qualifications: All storage qualifications listed in SCC 10.40.050 must be met.
4. Designated Areas: The applicant shall designate the areas of the home, attached/detached garage or accessory structure that will be used for the home occupation and, if approved, the home occupation may be conducted only in the designated areas. (Ord. 08-01-2006, 8-17-2006, eff. 8-17-2006)
4. Businesses having more than four (4) business related vehicles parked or stored at the home at one time or which utilize a commercial vehicle that exceeds the maximum height, weight or length requirements established in SCC 10.40.050, must comply with the following conditions:
 1. All business related commercial vehicles are to be parked on the property and behind the front of the home when parked on the property.
 2. The vehicles and attachments are to be located behind a six foot (6') tall opaque fence, or other obstruction, so as to minimize their view from the front property line.
 3. Proof of proper CDL licensing must be provided with each license renewal.
 4. No maintenance of vehicles exceeding sixteen thousand (16,000) GVW may occur at the home unless conducted within a fully enclosed permanent structure compliant with building codes. (Ord. 02-03-2017, 2-1-2017, eff. 2-2-2017)
5. Businesses entailing food or beverage preparation, storage or catering must comply with the following conditions:
 1. Obtain all authorizations required by a state or county department or agency prior to approval of a business license and maintain all such authorizations for the duration of the business.
 2. Compliance with all business related vehicle qualifications listed in SCC 10.40.050 must be met.
6. Businesses which have operating hours past eight o'clock (8:00) P.M. and before six o'clock (6:00) A.M. must comply with the following:
 1. Applicants must show that any operation conducted after eight o'clock (8:00) P.M. and before six o'clock (6:00) A.M. will be compatible with like uses and operations found in the residential neighborhoods between such hours.
 2. All business activities are to be conducted within closed doors between eight o'clock (8:00) P.M. and six o'clock (6:00) A.M. unless shown to be compatible with like uses and operations found in the residential neighborhood between such hours.
 3. Any business lighting shall be shielded and directed downward away from adjoining properties or contained within the building from which it emanates. (Ord. 08-01-2006, 8-17-2006, eff. 8-17-2006)

10.40.040 STANDARDS FOR ALL HOME OCCUPATIONS

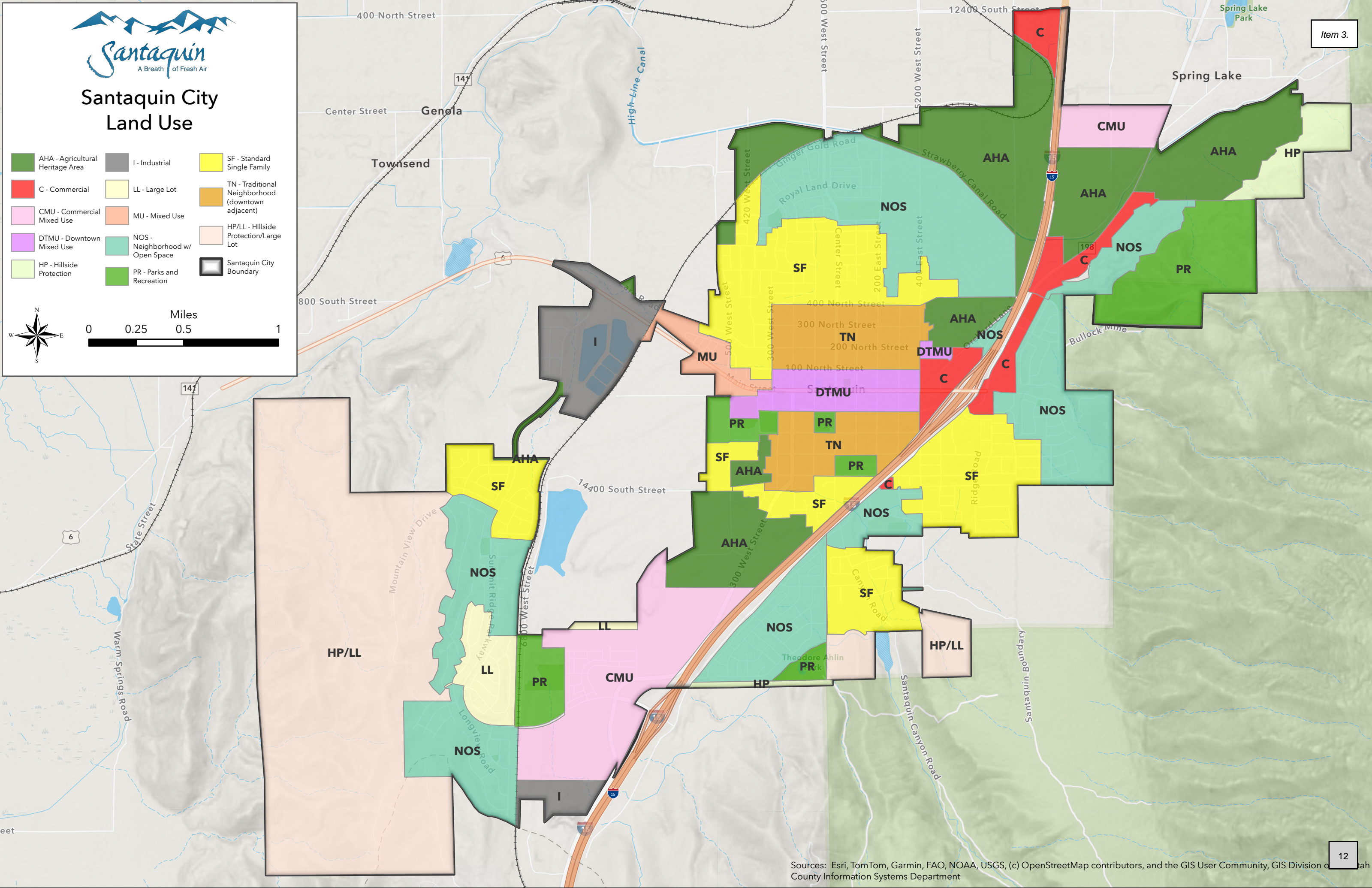
All home occupations must comply with the following "standards" at all times. Bed and breakfast homes are regulated by SCC 10.40.080.

1. Permitted Or Conditional Use: Home occupations must be a permitted or conditional use in the zone in which the home occupation is to be located and not be in conflict with the objectives and characteristics of the same zone.
2. Accessory Use On The Property: The home occupation shall be clearly incidental and secondary to the primary residential use of the property and dwelling.
3. Bona Fide Resident: The home occupation business shall be owned by and carried on only by a resident of the home for which a certificate of occupancy has been issued.
4. Satellite Offices Not Allowed: Established or workstation business activities for an off premises employer shall not be conducted at the home of an employee by other employees of the same business who are not residents of the home.
5. Parking: All business related vehicles, which park at the location of the home occupation, must be legally parked, either in conventional parking spaces on the lot or adjacent to the frontage of the lot. No parking from the home occupation shall be permitted in front of adjacent lots unless approved by the city as part of a traffic circulation and safety plan. Required parking for resident vehicles shall be available at the close of business each day.
6. Signs: Signs are limited to one nonanimated sign not larger in area than two (2) square feet. The sign shall not be directly or internally illuminated.
7. External Appearance: Any exterior alterations to the residence to accommodate the home occupation shall maintain the character and appearance of the residential dwelling in which it is located. Furthermore, the business operation shall not negatively affect the physical appearance, traffic, and other activities of the surrounding neighborhood and not depreciate surrounding property values.
8. Storage Areas: Home occupations are not permitted to store materials or products outside of the dwelling unit, except in a city approved and permitted accessory building.
9. Conformity With Safety Codes: No hazardous materials or equipment may be used in the home occupation, including, but not limited to, anything flammable or unsafe that is not customary to the home in which the occupation is located. There shall be complete conformity with fire, building, plumbing, electrical and all other city, county, state and federal codes.
10. Neighborhood Disruptions Not Permitted: The home occupation shall not disrupt the peace, quiet and domestic tranquility of the neighborhood nor emit noise, odor, dust, fumes, vibration, smoke, electrical interference (including interferences with radio and television reception), or any other interference with the residential use of adjacent properties.
11. Renter/Owner Responsibility: If the applicant for a home occupation license rents or leases the property wherein the home occupation is intended to be conducted, the applicant must provide a letter of acknowledgment and consent from the property owner at the time the application is submitted to the community development department. (Ord. 08-01-2006, 8-17-2006, eff. 8-17-2006)



Santaquin City Land Use

- | | | |
|----------------------------------|----------------------------------|---|
| AHA - Agricultural Heritage Area | I - Industrial | SF - Standard Single Family |
| C - Commercial | LL - Large Lot | TN - Traditional Neighborhood (downtown adjacent) |
| CMU - Commercial Mixed Use | MU - Mixed Use | HP/LL - Hillside Protection/Large Lot |
| DTMU - Downtown Mixed Use | NOS - Neighborhood w/ Open Space | Santaquin City Boundary |
| HP - Hillside Protection | PR - Parks and Recreation | |



Item 3.

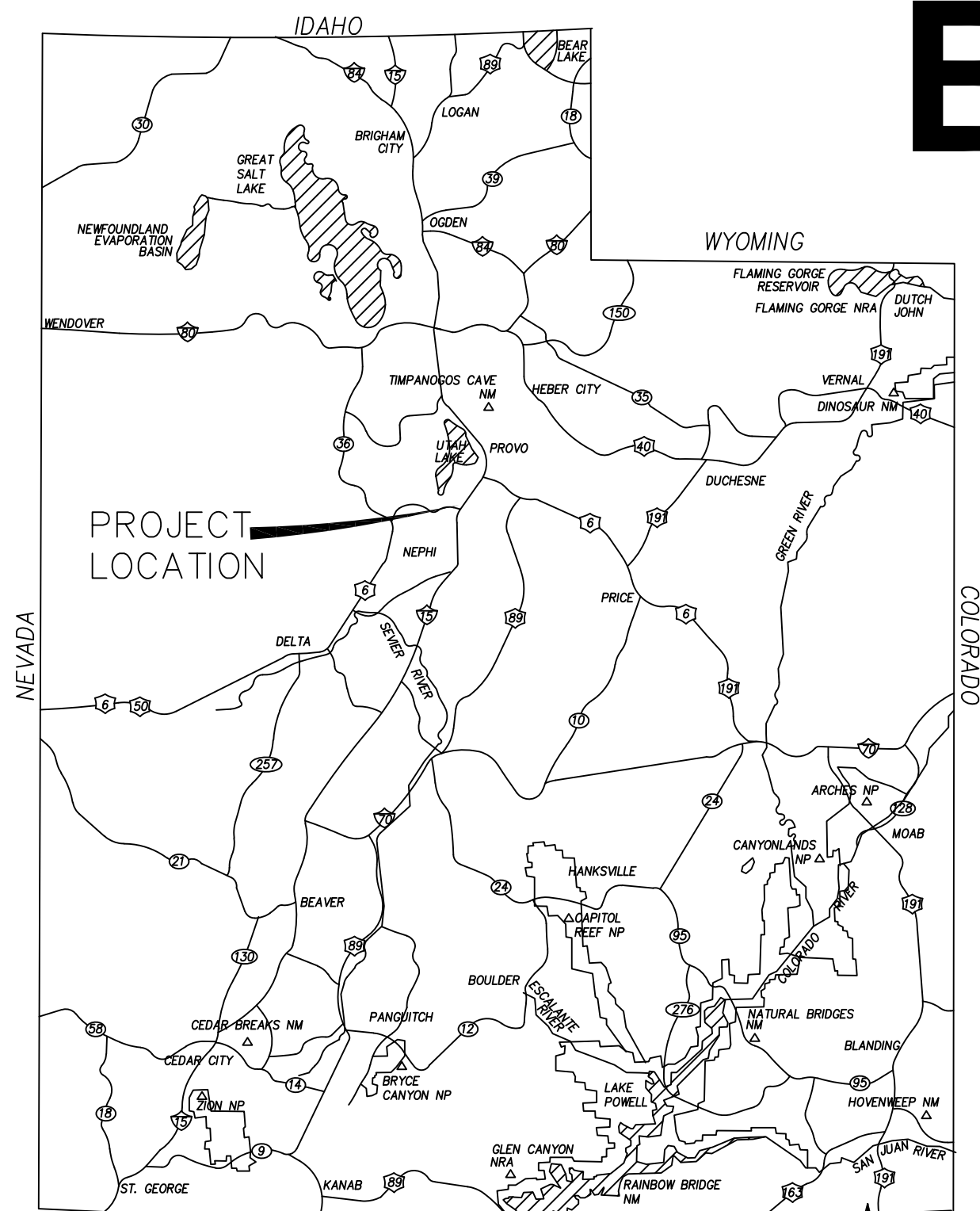
SITE DEVELOPMENT CONSTRUCTION PLANS

BELLA VISTA SUBDIVISION

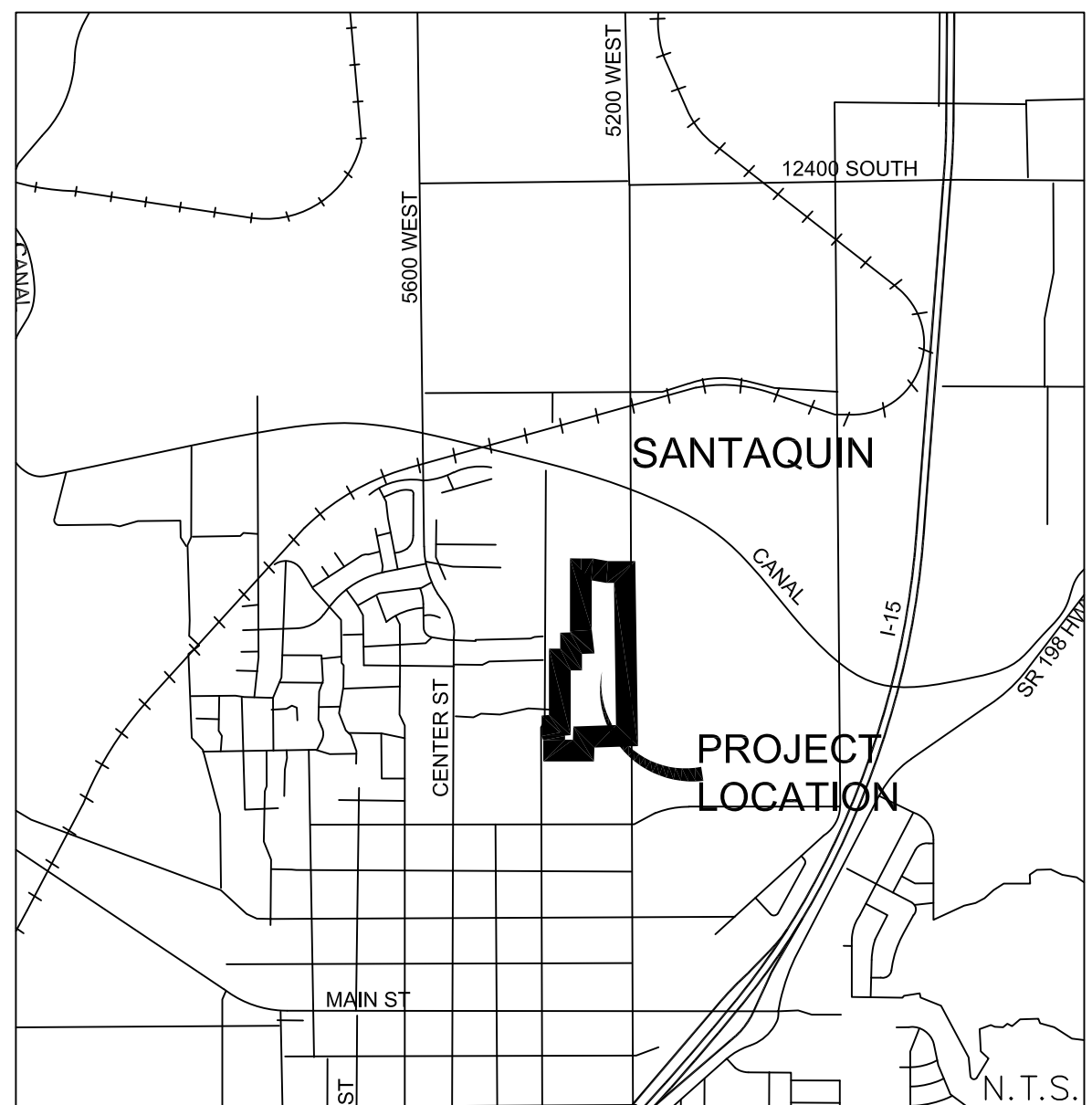
LOCATION

SOUTH HALF OF THE NORTHWEST QUARTER OF
SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANTAQUIN, UTAH COUNTY, UTAH

PRELIMINARY
AUGUST 7, 2025

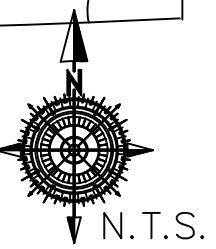


VICINITY MAP

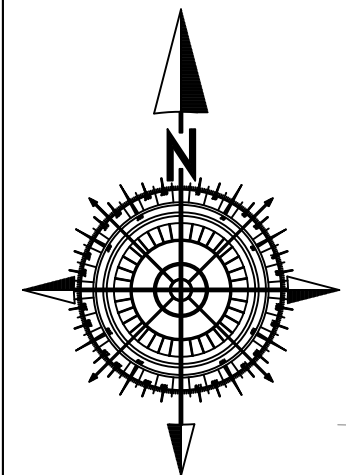


PROPERTY OWNER:
STRATTON ACRES LLC
KAMERON SPENCER
847 E DRAPER MEADOW LANE
DRAPER, UTAH 84020
801-330-0546

ENGINEER:
GATEWAY CONSULTING INC.
PAUL WATSON
PO BOX 951005
RIVERTON, UTAH 84095
801-694-5848



N.T.S.



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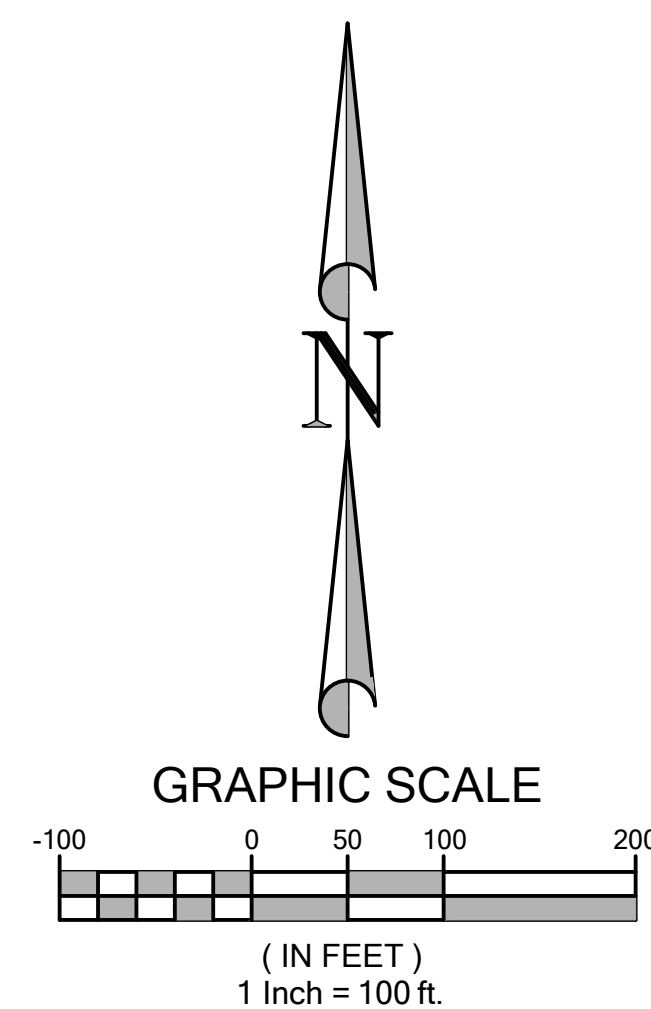
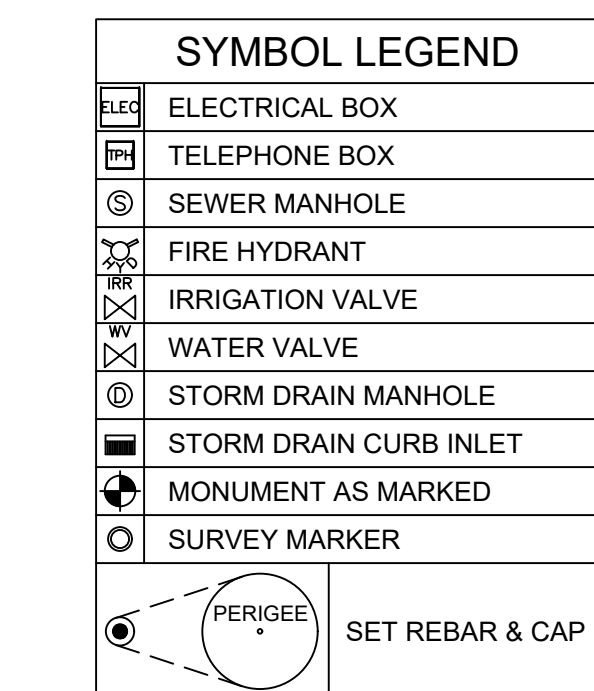
3210 EAST

3220 EAST

SHEET NO. **1/2**



BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN



CITY ENGINEER		DATE
		APPR.
		DATE
		DESCRIPTION
		MARK

DESIGNED BY:	MB		DATE:	REV:
DRAWN BY:		CHK BY:	SOLUTION NO:	
SUBMITTED BY:			CONTRACT NO:	
FILE NAME:				
SIZE	PLOTTED BY:		PLOT DATE	
ANSI				

ALTA / NSPS LAND TITLE
SURVEY PREPARED FOR
CLAYTON PROPERTIES
GROUP II, INC.

SHEET NUMBER
2 OF 2
DRAWING NAME
ALTA

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C102	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C103	26.18'	15.00'	22.98'	S49°59'58"W	100°00'03"
C104	23.56'	15.00'	21.21'	S45°00'03"E	90°00'00"
C108	4.86'	15.00'	4.84'	S18°50'25"W	18°33'52"
C109	23.56'	15.00'	21.21'	S44°59'57"W	90°00'00"
C110	23.47'	15.00'	21.15'	N45°10'10"W	89°39'47"
C112	2.59'	15.00'	2.59'	S4°36'36"W	9°53'45"
C113	23.82'	15.00'	21.40'	S45°30'02"E	90°59'58"
C114	23.30'	15.00'	21.03'	N44°29'58"E	89°00'02"
C115	23.82'	15.00'	21.40'	N45°30'02"W	90°59'58"
C116	23.30'	15.00'	21.03'	S44°29'58"W	89°00'02"
C117	23.87'	15.09'	21.46'	N46°00'01"W	90°39'45"
C118	23.39'	15.00'	21.09'	S44°19'51"W	89°20'15"
C119	23.74'	15.00'	21.34'	S45°40'09"E	90°39'45"
C120	23.39'	15.00'	21.09'	N44°19'51"E	89°20'15"
C121	23.39'	15.00'	21.09'	N44°19'51"E	89°20'15"
C122	23.74'	15.00'	21.34'	N45°40'09"W	90°39'45"
C123	33.81'	300.00'	33.79'	N86°46'18"W	6°27'25"
C124	18.55'	300.00'	18.55'	N81°46'18"W	3°32'35"
C125	54.05'	300.00'	53.98'	S85°09'42"E	10°19'23"
C130	14.16'	15.00'	13.64'	N62°57'34"E	54°04'45"
C131	19.26'	60.00'	19.18'	N45°06'58"E	18°23'32"
C132	79.07'	60.00'	73.47'	S87°56'10"E	75°30'14"
C133	82.00'	60.00'	75.77'	S11°01'51"E	78°18'23"
C134	12.86'	331.00'	12.86'	N89°12'35"W	2°13'36"
C135	46.77'	331.00'	46.73'	N84°02'54"W	8°05'47"
C136	23.56'	15.00'	21.21'	N45°19'49"W	89°59'05"

NOTES:

- ① TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB ① PROJECTION OF SIDE LOT LINES.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- PHASE 1 IS REQUIRED TO BE CONSTRUCTED PRIOR TO, OR CONCURRENTLY WITH PHASE 2
- NO ACCESS TO 400 EAST IS PERMITTED FROM LOTS 122-130.
- NO ACCESS TO ROYAL LAND DR IS PERMITTED FROM LOTS 121-122.

ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. 17-27a-803(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS. BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - ANY OTHER PROVISION OF LAW

Approved this ____ day of ____ 20 ____

ROCKY MOUNTAIN POWER

DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

Approved this ____ day of ____

QUESTAR GAS COMPANY

By: _____

Title: _____

CENTRACOM ACCEPTANCE

APPROVED THIS ____ DAY OF ____ A.D. 20 ____
CENTRACOM COMPANY

BY-____ TITLE _____

CENTURY LINK ACCEPTANCE

APPROVED THIS ____ DAY OF ____ A.D. 20 ____
CENTURY LINK COMPANY

BY-____ TITLE _____

COMCAST ACCEPTANCE

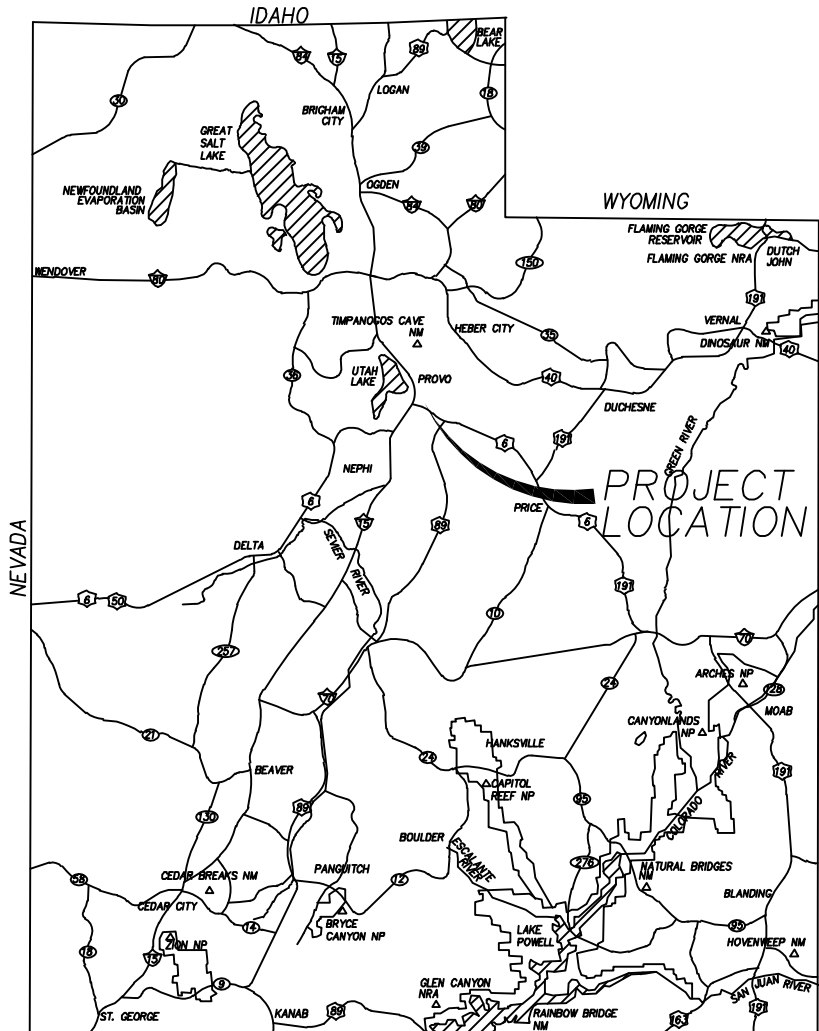
APPROVED THIS ____ DAY OF ____ A.D. 20 ____
CENTURY LINK COMPANY

BY-____ TITLE _____

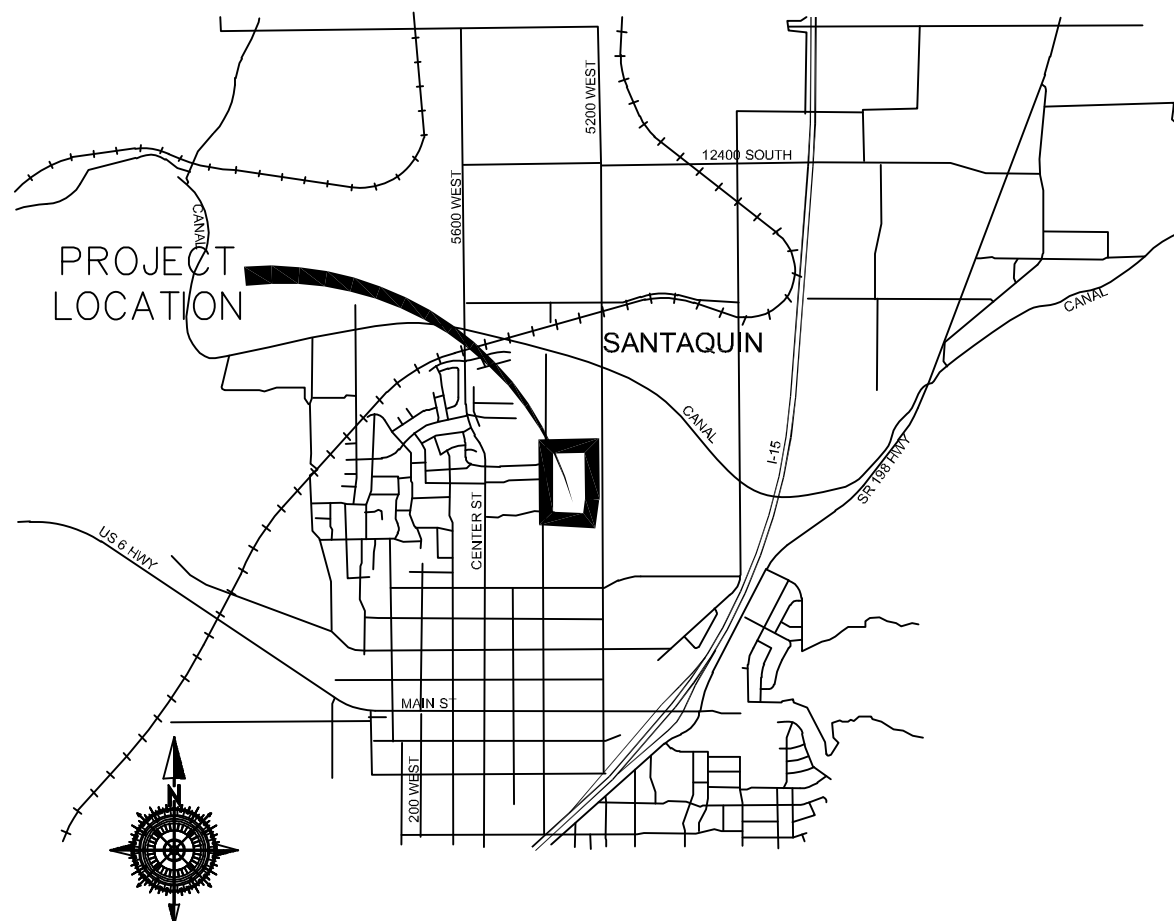
BELLA VISTA SUBDIVISION PHASE 1

PROJECT LOCATED IN THE WEST HALF OF SECTION 36, TOWNSHIP 9 SOUTH,
RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP

SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED
BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE
FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

CASCADE SHADOWS INC. ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED
BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE
FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

STRATTON ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED
BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE
FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

STRATTON ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED
BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE
FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SURVEYOR'S CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH
AND THAT I HOLD LICENSE NO. _____ AS PRESCRIBED
UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22,
PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE
OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND
DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL
MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE
PLAT IS BELLA VISTA SUBDIVISION PHASE 1, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY
TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN
DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM
RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY
ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East, 2,038.92 feet along the quarter section line and
N 00°00'03" W 447.82 feet from the West Quarter Corner of Section 36, Township 9 South, Range
1 East, Salt Lake Base and Meridian and commencing East 119.26 feet to a point on a 331.00'
radius curve to the right, thence along arc of said curve 57.77' through a delta of 10°00'00"
(chord bears S 85°00'00" E 57.70 feet) thence S 80°00'00" E 169.62 feet to a point on a 269.00'
radius curve to the left, thence along arc of said curve 48.47' through a delta of 10°19'23" (chord
bears S 85°09'42" E 48.40 feet), thence N 89°40'37" E 15.42 feet, thence S 00°19'44" E 62.02 feet,
thence N 89°40'16" E 181.50 feet, thence S 00°19'44" E 953.42 feet, thence S 89°39'44" W 124.88
feet, thence S 86°22'39" W 58.10 feet, thence S 89°39'44" W 229.89 feet, thence S 84°04'51" W 124.88
feet, thence S 88°59'59" W 113.77 feet, thence N 01°00'01" W 100.00 feet, thence N
07°35'03" W 64.42 feet, thence N 0°00'03" W 902.78 feet to the point of beginning.

Parcel contains 13.80 acres and 37 lots.

**PRELIMINARY PLAT
FOR REVIEW ONLY**

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS
OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREOF
AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS,
BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS,
BASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HERON FOR THE
PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____
DAY OF _____, A.D. 20 ____

BOARD OF EDUCATION NEBO SCHOOL DISTRICT

STRATTON ACRES LLC
ANDREW FLAMM (MANAGER)

CASCADE SHADOWS INC.
KIMBALL STRATTON

KIMBALL T. STRATTON

MARLENE EVENS STRATTON

BELLA VISTA SUBDIVISION PHASE 1

A SINGLE FAMILY PROJECT LOCATED IN THE WEST HALF OF SECTION 36,
TOWNSHIP 1 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS
THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF
LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE
PUBLIC THIS ____ DAY OF ____ A.D. 20 ____

APPROVED BY MAYOR

APPROVED _____ CITY ENGINEER
(SEE SEAL BELOW)

ATTEST _____ CLERK-RECORDER
(SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF ____ A.D. 20 ____ BY THE
SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION

DATE

DIRECTOR, SECRETARY

DATE

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1
2

BELLA VISTA SUBDIVISION PHASE 2

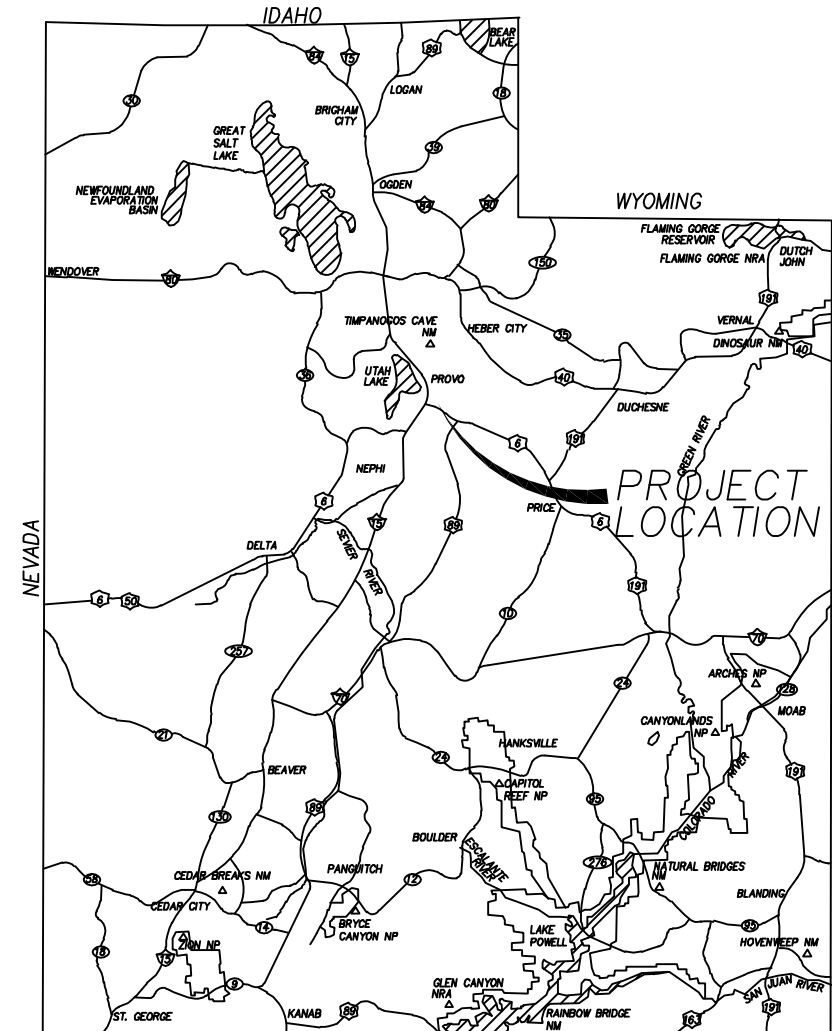
PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT

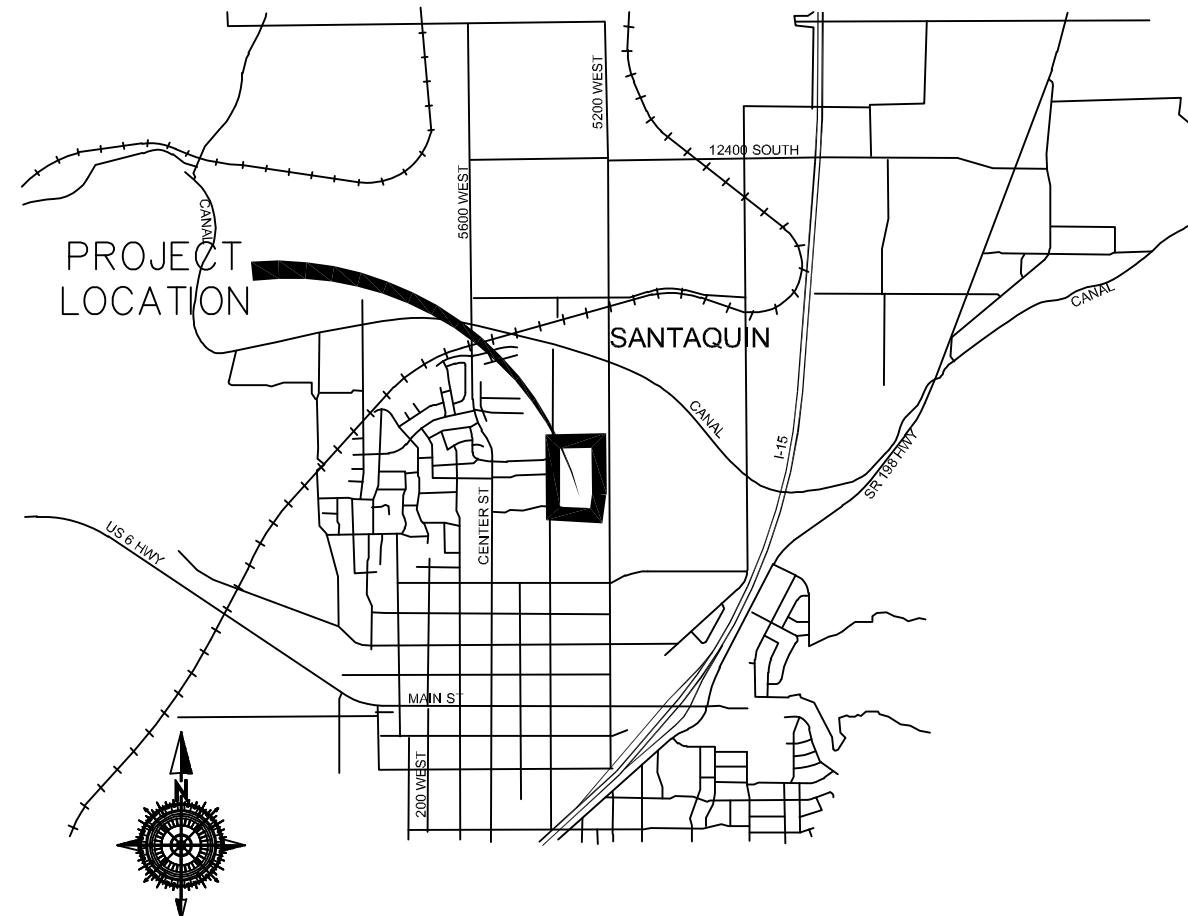
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C130	23.57'	15.00'	21.22'	N45°00'28"W	90°00'50"
C131	23.56'	15.00'	21.21'	N44°59'05"E	89°59'10"
C132	14.16'	15.00'	13.64'	S62°57'49"E	54°06'09"
C133	58.53'	60.00'	56.24'	S63°51'33"E	55°53'37"
C134	79.16'	60.00'	73.54'	N50°23'50"E	75°35'38"
C135	64.37'	60.00'	61.32'	N18°07'55"W	61°27'52"
C136	58.37'	60.00'	56.09'	N76°43'57"W	55°44'11"
C137	41.33'	60.00'	40.52'	S55°39'52"W	39°28'12"
C138	14.15'	15.00'	13.63'	S62°57'26"W	54°03'21"
C139	23.56'	15.00'	21.21'	N44°59'58"E	90°00'03"
C140	14.16'	15.00'	13.64'	S62°57'37"E	54°04'45"
C141	47.21'	60.00'	46.00'	S58°27'48"E	45°05'06"
C142	70.47'	60.00'	66.49'	N65°20'44"E	67°17'50"
C143	66.39'	60.00'	63.05'	N0°00'00"W	63°23'37"
C144	69.76'	60.00'	65.89'	N65°00'09"W	66°36'41"
C145	47.93'	60.00'	46.67'	S58°48'23"W	45°46'15"
C146	14.16'	15.00'	13.64'	S62°57'37"W	54°04'45"
C147	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C148	23.56'	15.00'	21.21'	N44°59'58"E	90°00'03"
C149	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C150	23.56'	15.00'	21.21'	S44°59'58"W	90°00'03"
C151	23.56'	15.00'	21.21'	N45°00'02"W	89°59'57"
C152	23.56'	15.00'	21.21'	S45°00'02"E	89°59'57"
C153	23.56'	15.00'	21.21'	S44°59'58"W	90°00'13"

NOTES:

1. TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS, NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB PROJECTION OF SIDE LOT LINES.
2. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
3. AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
4. PHASE 2 MUST BE CONSTRUCTED AFTER OR CONCURRENTLY WITH PHASE 1.



VICINITY MAP



VICINITY MAP

SURVEYOR'S CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 2, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East, 1887.91 feet along the quarter section line and South 644.95 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing N 88°59'59" E 161.72 feet, thence N 01°00'01" W 24.53 feet, thence N 88°59'59" E 113.77 feet, thence N 84°04'51" E 58.31 feet, thence N 89°39'44" E 114.94 feet, thence S 00°09'41" E 863.44 feet, thence West 117.36 feet, thence S 43°38'39" W 84.03 feet, thence S 89°59'57" W 250.00 feet, thence N 84°05'37" W 58.31 feet, thence West 127.01 feet, thence N 00°01'53" E 280.32 feet, thence N 00°01'53" E 362.01 feet, thence N 89°19'18" E 156.57 feet, thence N 89°40'16" E 5.90 feet, thence N 00°40'59" W 238.01 feet.

Parcel contains 11.52 acres and 31 lots.

**PRELIMINARY PLAT
FOR REVIEW ONLY**

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

BELLA VISTA SANTAQUIN LLC
ANDREW FLAMM (MANAGER)

STRATTON ACRES LLC
ANDREW FLAMM (MANAGER)

BELLA VISTA SUBDIVISION PHASE 2

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 20____

APPROVED BY MAYOR _____

APPROVED _____ CITY ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____ DATE _____

DIRECTOR, SECRETARY _____ DATE _____

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1
2

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-803(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - a. A RECORDED EASEMENT OR RIGHT-OF-WAY
 - b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - c. TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - d. ANY OTHER PROVISION OF LAW

Approved this _____ day of _____ 20____

ROCKY MOUNTAIN POWER

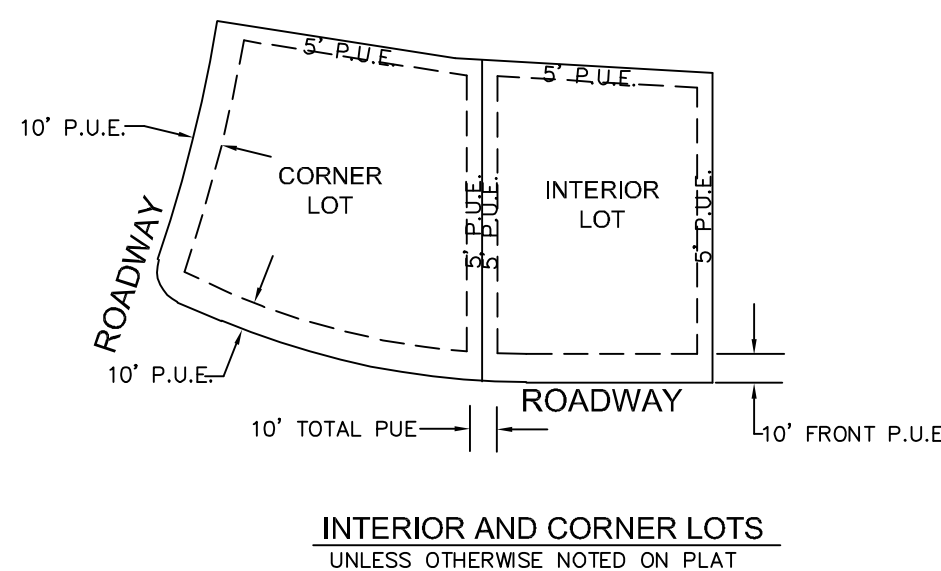
DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS' DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this _____ day of _____ 20____ QUESTAR GAS COMPANY

By: _____

Title _____

TYPICAL LOT P.U.E. DETAILS



INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
1) 10 FEET PUE FRONT AND STREET SIDES.
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

BELLA VISTA SANTAQUIN LLC. ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

STRATTON ACRES LLC ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

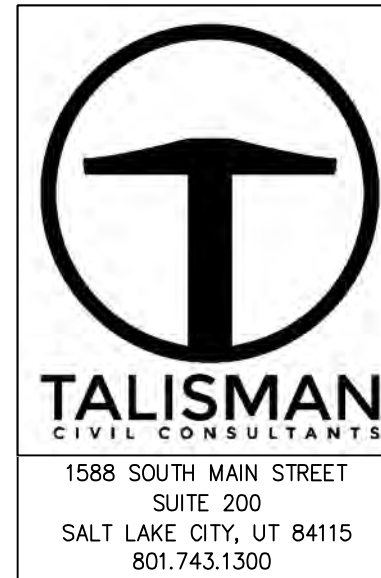
MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

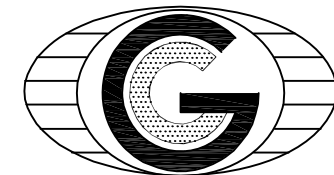
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SURVEYOR OF RECORD:



PROJECT ENGINEER:



GATEWAY CONSULTING, inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

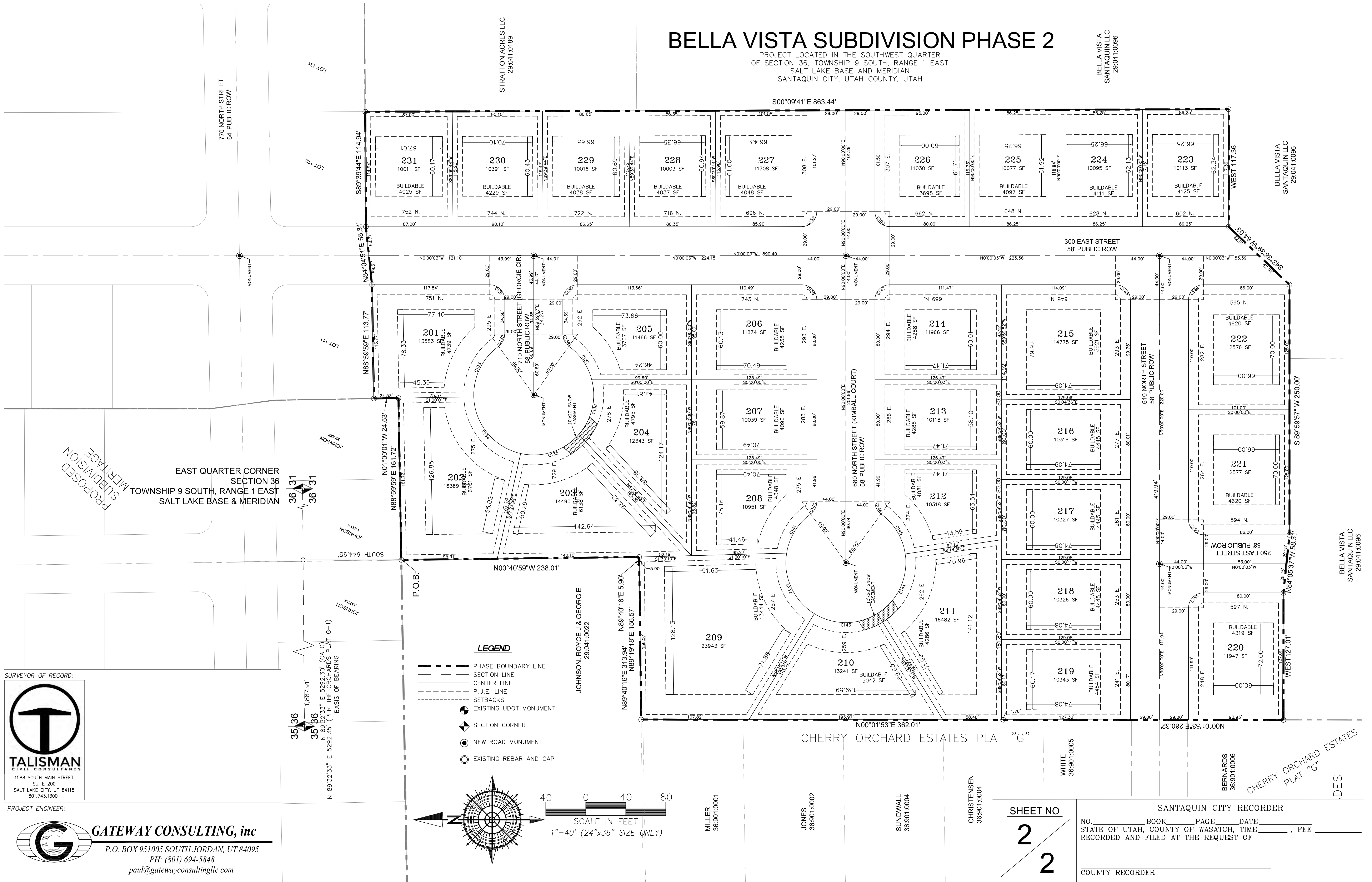
PH: (801) 694-5848

paul@gatewayconsultingllc.com

BELLA VISTA SUBDIVISION PHASE 2

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

BELLA VISTA
SANTAQUIN LLC
29-041:0096



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	40.74'	310.20'	40.71'	N85°37'11"E	7°31'28"
C2	39.99'	271.00'	39.96'	N77°05'09"E	8°27'20"
C3	89.38'	300.00'	89.05'	N81°23'31"E	17°04'12"
C4	46.38'	370.04'	46.35'	S85°53'15"W	7°10'54"
C5	51.63'	329.00'	51.58'	S77°21'09"W	8°59'29"
C6	55.99'	271.00'	55.90'	S78°46'34"W	11°50'19"
C7	69.10'	300.00'	68.95'	S79°27'21"W	13°11'52"
C8	75.78'	329.00'	75.62'	N79°27'21"E	13°11'52"
C9	22.53'	15.00'	20.47'	N43°01'37"E	86°03'21"
C10	11.81'	300.00'	11.81'	S87°10'56"W	2°15'18"
C11	24.95'	15.00'	22.17'	N47°39'10"W	95°16'13"
C12	23.12'	15.00'	20.90'	S44°09'16"W	88°18'38"
C13	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
C14	23.12'	15.00'	20.90'	S44°09'16"W	88°18'38"
C15	24.00'	15.00'	21.52'	S45°50'44"E	91°41'22"
C16	14.16'	15.00'	13.64'	S27°02'26"E	54°04'45"
C17	301.76'	60.00'	70.40'	N89°59'57"E	288°09'30"
C18	14.16'	15.00'	13.64'	N27°02'19"E	54°04'45"

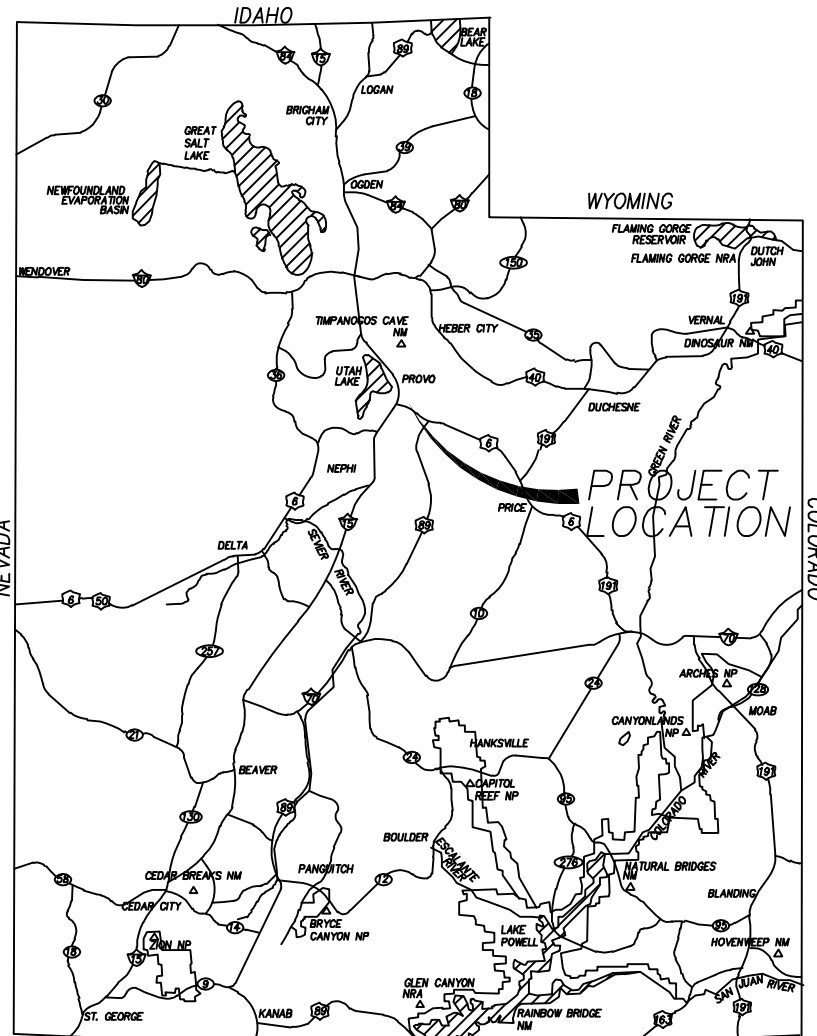
NOTES:

- ① TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB. ② PROJECTION OF SIDE LOT LINES.
- NDCBU – NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- PHASE 3 IS REQUIRED TO BE CONSTRUCTED PRIOR TO, OR CONCURRENTLY WITH PHASE 2

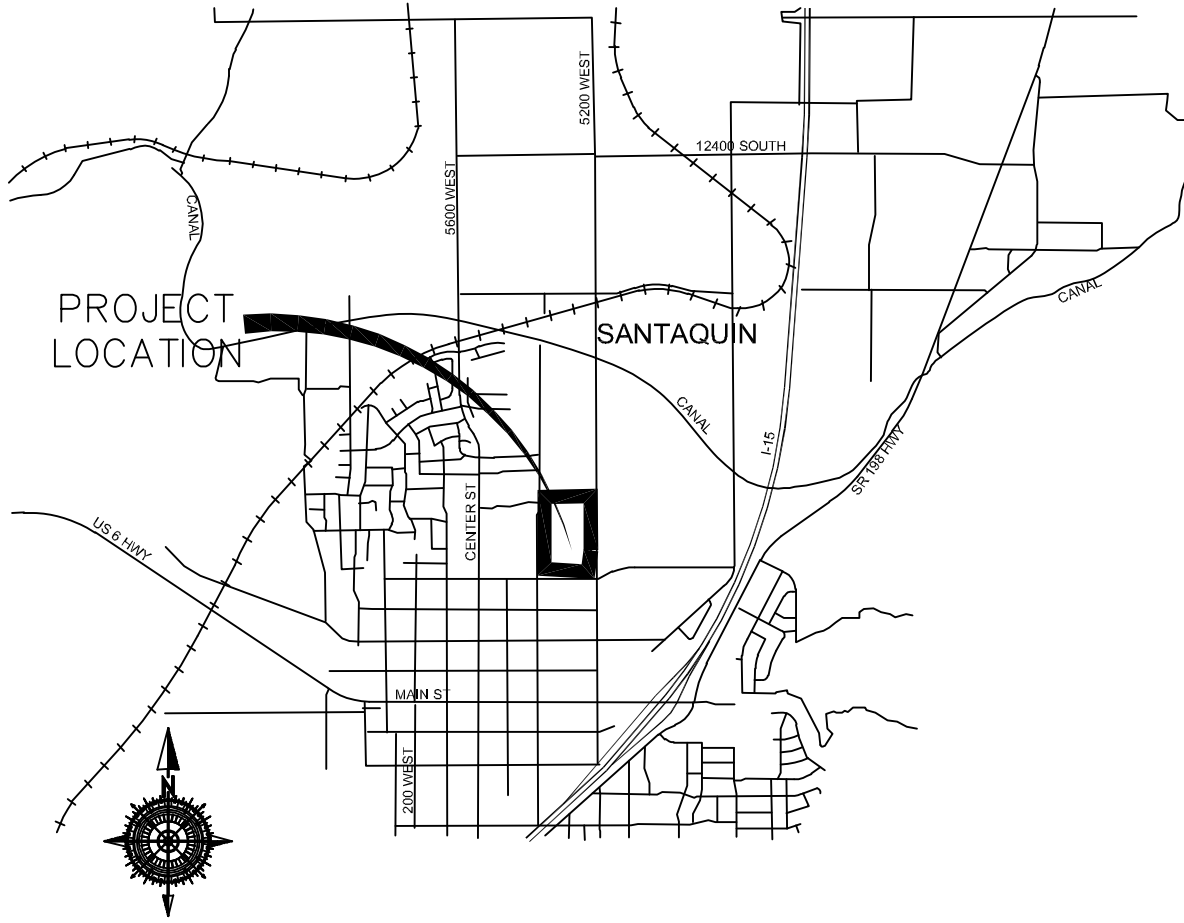
BELLA VISTA SUBDIVISION PHASE 3

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP

SURVEYOR'S CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _____ AND THAT I HOLD LICENSE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 3, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East 1,727.93 feet along the quarter section line and South 1,525.88 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing East, 127.01 feet; thence S 84°05'37" E, 58.31 feet; thence North 89°59'57" East, 250.00 feet; thence N 43°38'39" E, 84.03 feet; thence EAST, 117.36 feet; thence S 00°08'24" E, 500.64 feet; thence S 88°18'35" W, 285.36 feet; thence S 1°48'51" W 203.32 feet, thence West 396.35 feet, thence N 0°04'24" W, 171.75 feet; thence N 23°19'12" W, 60.95 feet; thence N 0°04'26" W, 111.01 feet; thence N 86°41'06" E, 100.92 feet; thence N 0°01'56" E 312.90 feet to the point of beginning.

Phase contain 8.67 ac and 23 lots.

PRELIMINARY PLAT
FOR REVIEW ONLY

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20_____

BELLA VISTA SANTAQUIN LLC
ANDREW FLAMM (MANAGER)

BELLA VISTA SUBDIVISION PHASE 3

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20_____

APPROVED BY MAYOR _____

APPROVED _____
CITY ENGINEER
(SEE SEAL BELOW)

ATTEST _____

CLERK-RECORDER
(SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20_____ BY THE
SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____

DATE _____

DIRECTOR, SECRETARY _____

DATE _____

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1
2

ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. 17-27a-803(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - ANY OTHER PROVISION OF LAW

Approved this _____ day of _____, 20_____

ROCKY MOUNTAIN POWER

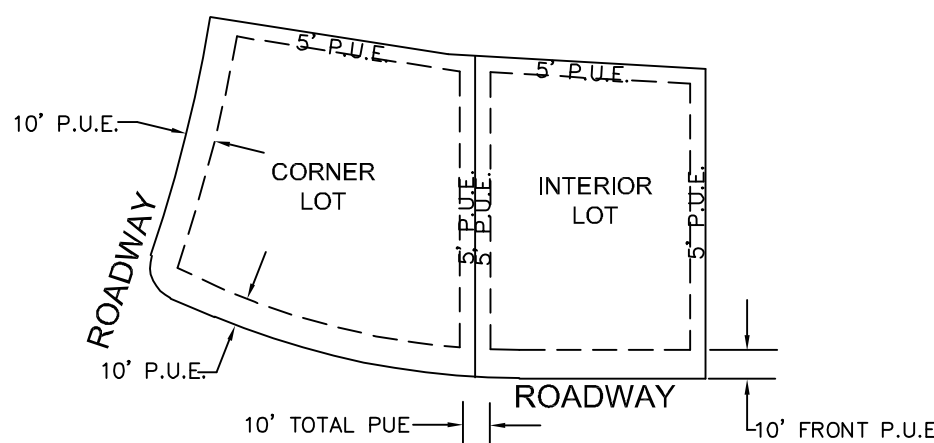
DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532. Approved this _____ day of _____, 20_____

By: _____

Title: _____

TYPICAL LOT P.U.E. DETAILS

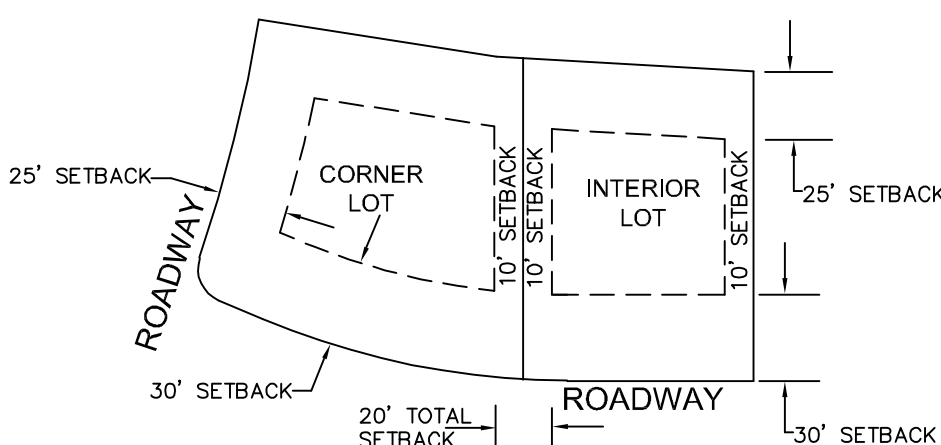


INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
- 10 FEET PUE FRONT AND STREET SIDES.
 - 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

TYPICAL LOT SETBACK DETAILS



INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
- 30FT FRONT SETBACK
 - 25FT REAR SETBACK
 - 10FT SIDE LOT SETBACK

NOT TO SCALE

CASCADE SHADOWS INC. ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF _____ S.S.

ON THE _____ DAY OF _____, 20_____, PERSONALLY APPEARED
BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE
FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

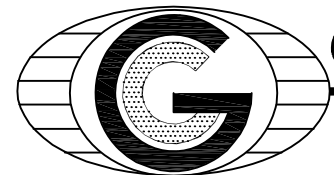
RESIDING IN _____ COUNTY

SURVEYOR OF RECORD:



1588 SOUTH MAIN STREET
SUITE 200
SALT LAKE CITY, UT 84115
801.743.1300

PROJECT ENGINEER:



GATEWAY CONSULTING, inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

BELLA VISTA SUBDIVISION PHASE 3

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

BELLA VISTA
SANTAQUIN LLC
29:041:0097

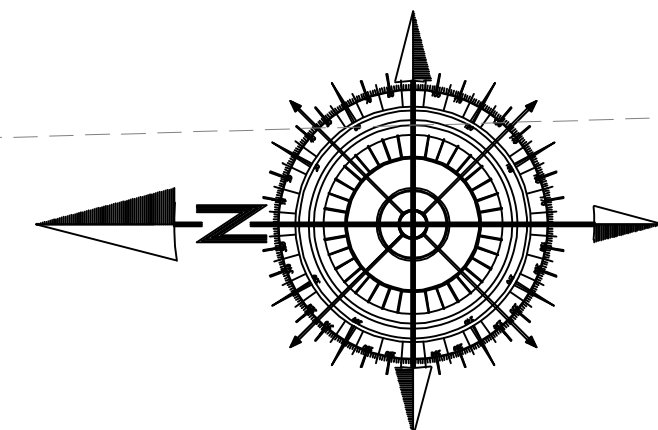
S 00°08'24" E 500.64'

LANCE HOLDINGS LLC
29:041:0174

224
BELLA VISTA
SANTAQUIN LLC
29:041:0097

300 EAST STREET
58' PUBLIC ROW

300 EAST STREET
58' PUBLIC ROW



40 0 40 80
SCALE IN FEET
1"=40' (24"x36" SIZE ONLY)

LEGEND

- PHASE BOUNDARY LINE
- - - SECTION LINE
- CENTER LINE
- - - P.U.E. LINE
- - - SETBACKS
- ⊕ EXISTING UDOT MONUMENT
- ◆ SECTION CORNER
- NEW ROAD MONUMENT
- ⊙ EXISTING REBAR AND CAP

680 NORTH STREET
58' PUBLIC ROW

610 NORTH STREET
58' PUBLIC ROW

250 EAST STREET
58' PUBLIC ROW

530 NORTH STREET
58' PUBLIC ROW

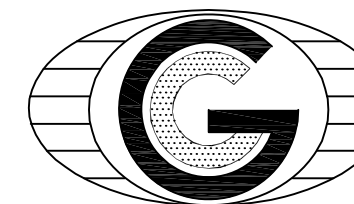
EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

TEMP TURN-A-ROUND

SURVEYOR OF RECORD:



PROJECT ENGINEER:



GATEWAY CONSULTING, inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

BERNARDS
36:901:0006

RHOADES
36:901:0007

TEW
29:041:0151

PEACH TREE ESTATES
PLAT "A"

MARBLE
29:041:0076

VASQUEZ
49:580:0005

PRESCOTT
49:58:0004

STILSON
49:58:0003

WRIGHT
49:58:0002

STRATTON
29:041:0168

STRATTON
29:041:0168

SHEET NO

2 / 2

SANTAQUIN CITY RECORDER

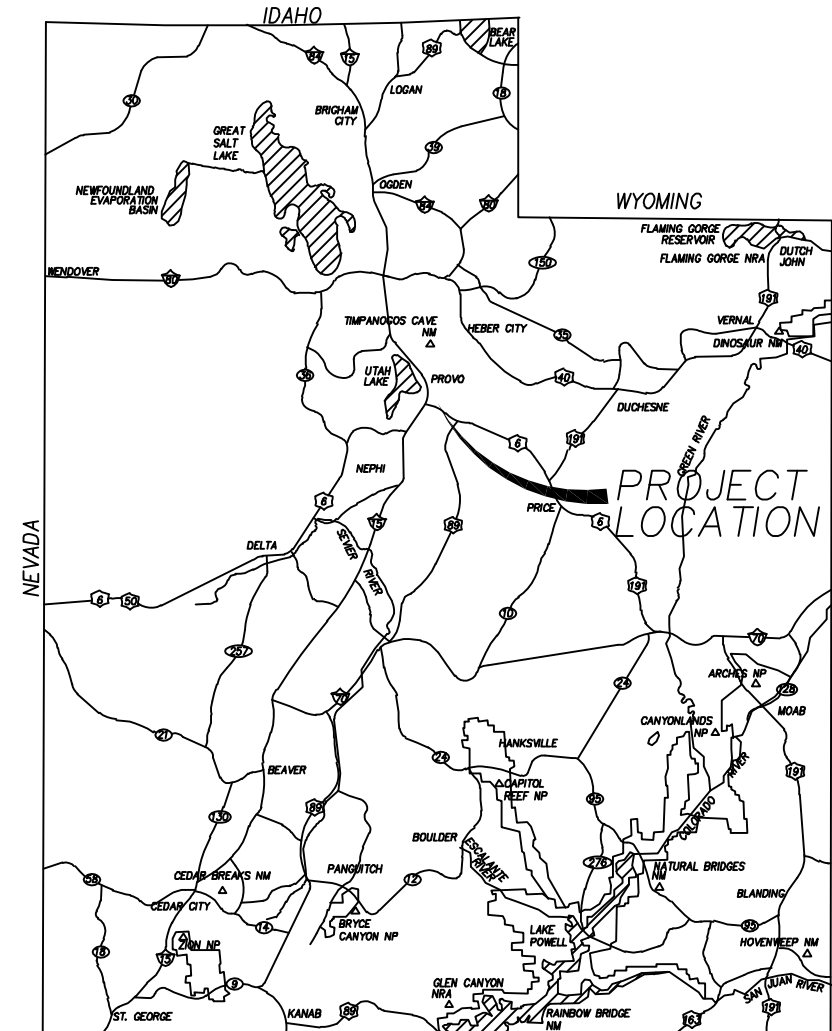
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

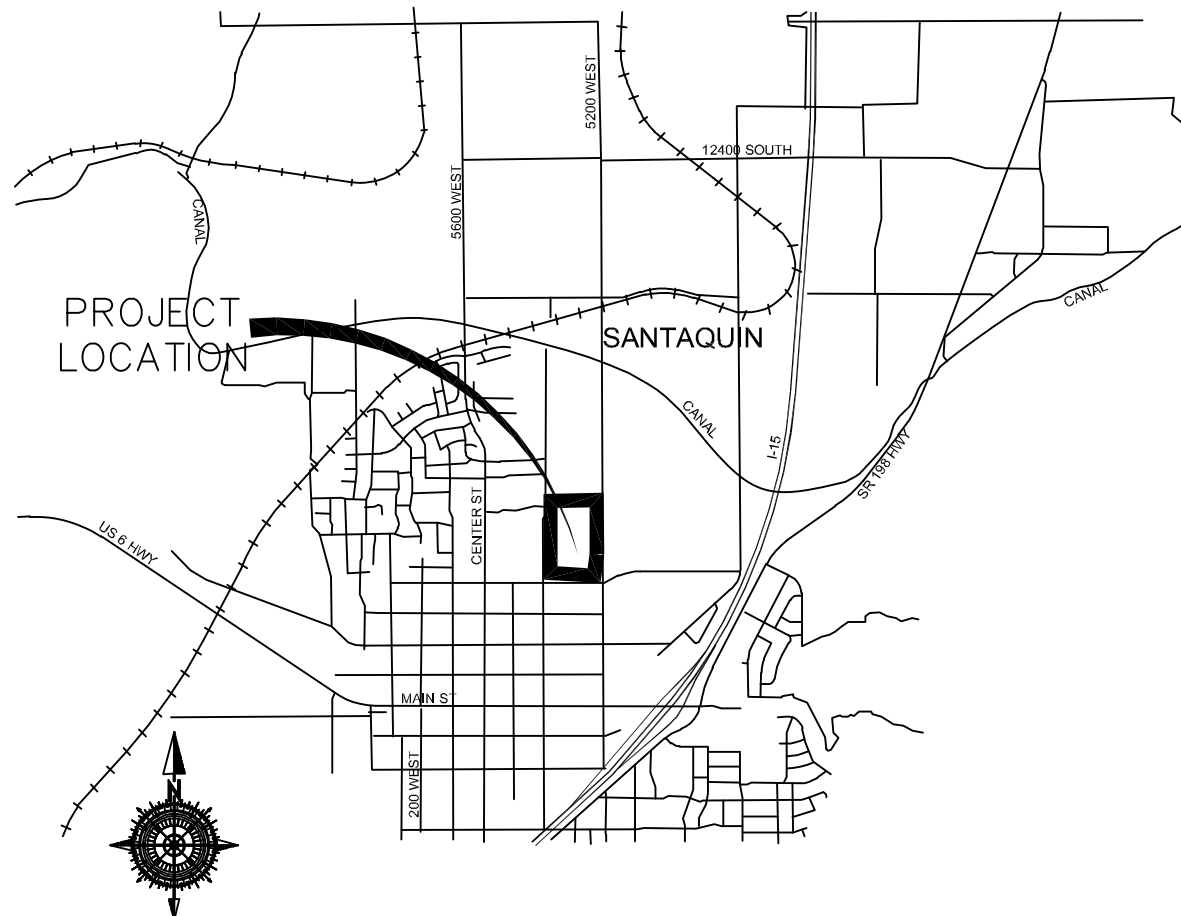
BELLA VISTA SUBDIVISION PHASE 4

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



VICINITY MAP



VICINITY MAP

NOTES:

- ④ TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- PHASE 4 IS REQUIRED TO BE CONSTRUCTED AFTER OR CONCURRENTLY WITH PHASE 1
- NO ACCESS TO 400 EAST FROM LOTS 415-430

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-803(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

Approved this ____ day of ____ 20__

ROCKY MOUNTAIN POWER

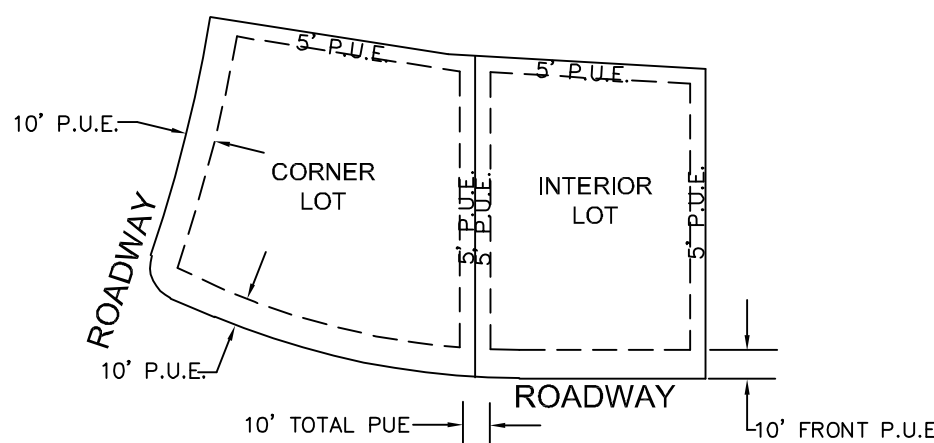
DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.
Approved this ____ day of ____ 20__
QUESTAR GAS COMPANY

By: _____

Title _____

TYPICAL LOT P.U.E. DETAILS



INTERIOR AND CORNER LOTS
UNLESS OTHERWISE NOTED ON PLAT

NOTES:
1) 10 FEET PUE FRONT AND STREET SIDES.
2) 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

BELLA VISTA SANTAQUIN LLC. ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

STRATTON ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF S.S.

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____

FOR AND IN BEHALF OF _____

WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

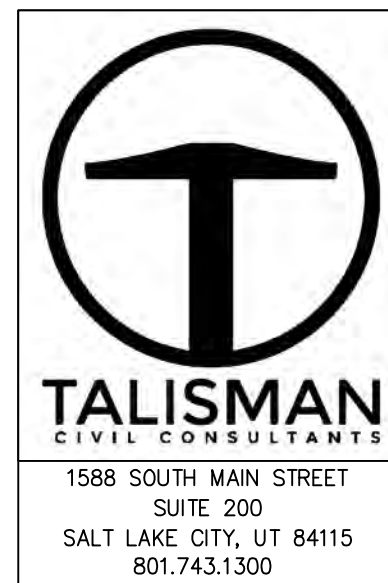
MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SURVEYOR OF RECORD:



PROJECT ENGINEER:



P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

SURVEYOR'S CERTIFICATE

I, _____, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH _____ AND THAT I HOLD LICENSE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THE PLAT IS BELLA VISTA SUBDIVISION PHASE 4, SANTAQUIN, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

Beginning at a point that is North 89°32'33" East 2,335.88 feet along the quarter section line and South 612.49 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian and commencing N 89°39'44" E 114.95 feet, thence N 86°22'39" E 58.10 feet, thence N 89°39'44" E 124.88 feet, thence S 00°19'44" E 1,360.27 feet, thence S 88°18'35" W 302.09 feet, thence N 00°08'24" W 854.39 feet, thence N 00°12'17" W 58.00 feet, thence N 00°10'14" W 451.68 feet to the point of beginning.

Parcel contains 28 lots and 9.37 acres.

PRELIMINARY PLAT
FOR REVIEW ONLY

DATE: _____

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, A.D. 20__

STRATTON ACRES LLC
ANDREW FLAMM (MANAGER)

BELLA VISTA SANTAQUIN LLC
ANDREW FLAMM (MANAGER)

BELLA VISTA SUBDIVISION PHASE 4

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, HEARBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF ____ A.D. 20__

APPROVED BY MAYOR _____

APPROVED _____ ATTEST _____

CITY ENGINEER
(SEE SEAL BELOW)

CLERK-RECORDER
(SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF ____ A.D. 20__ BY THE
SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION _____

DATE _____

DIRECTOR, SECRETARY _____

DATE _____

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

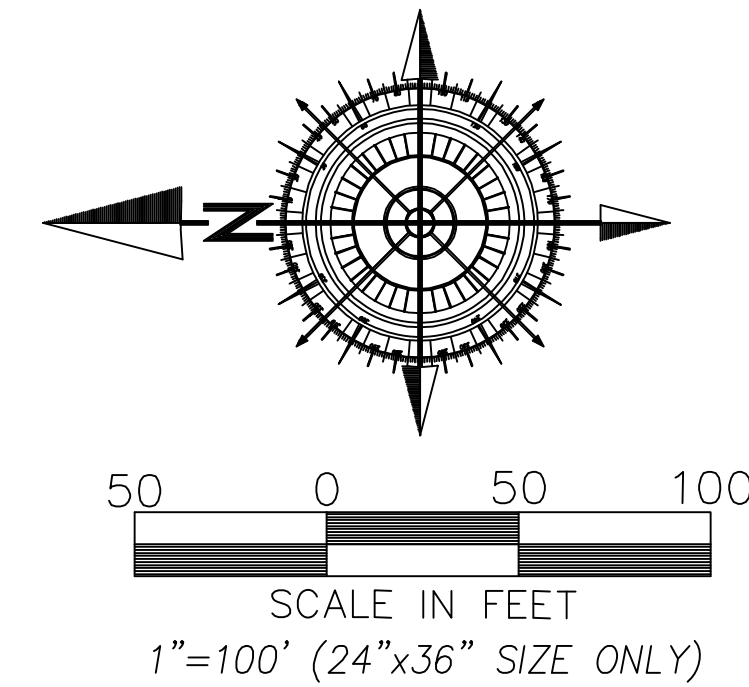
CITY ENGINEER SEAL

SHEET NO

1
2

BELLA VISTA SUBDIVISION PHASE 4

PROJECT LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH



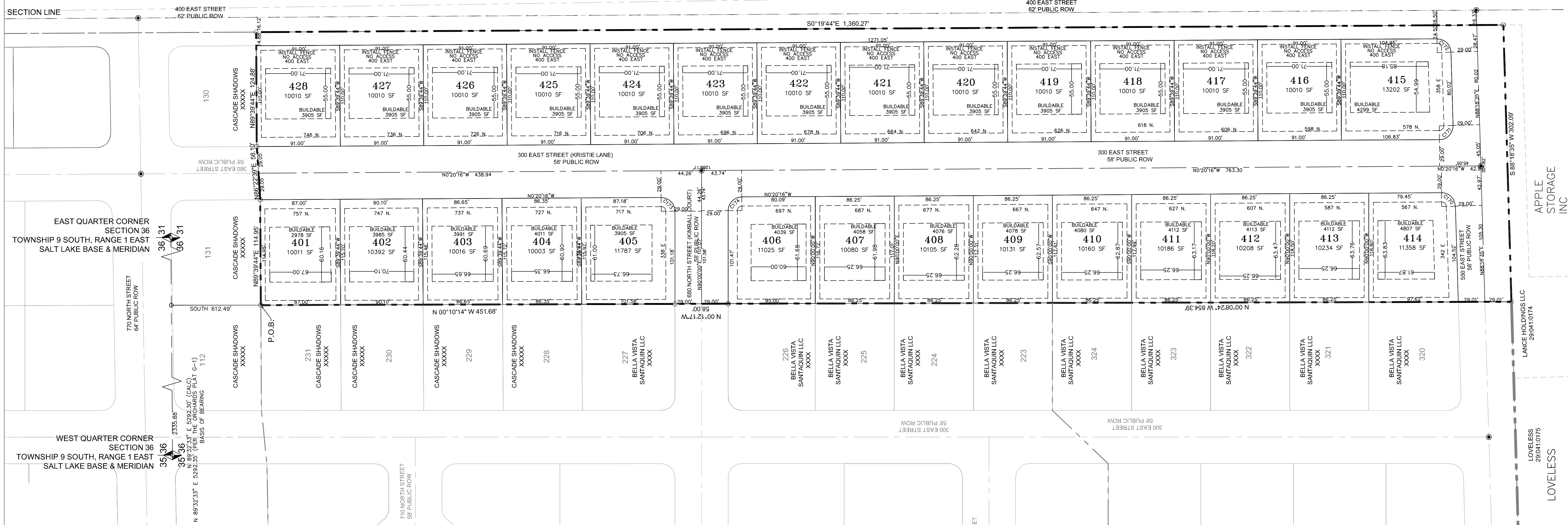
LEGEND

- PHASE BOUNDARY LINE
- - - SECTION LINE
- CENTER LINE
- - - P.U.E. LINE
- - - SETBACKS
- EXISTING UDOT MONUMENT
- ◆ SECTION CORNER
- NEW ROAD MONUMENT
- EXISTING REBAR AND CAP

BOARD OF
EDUCATION
NEBO
SCHOOL

FERGUSON
ORCHARDS

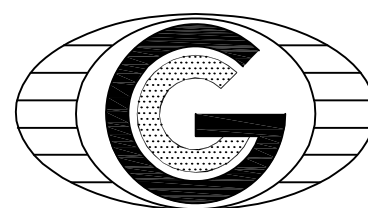
FERGUSON
FAMILY
TRUST



SURVEYOR OF RECORD:



PROJECT ENGINEER:



GATEWAY CONSULTING, inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C170	23.21'	15.00'	20.96'	N43°59'23"E	88°38'51"
C171	23.92'	15.00'	21.46'	S46°00'51"E	91°21'09"
C172	23.21'	15.00'	20.96'	N43°59'09"E	88°38'51"
C173	23.65'	15.00'	21.28'	N44°49'52"E	90°20'16"
C174	23.47'	15.00'	21.15'	N45°10'11"W	89°39'49"

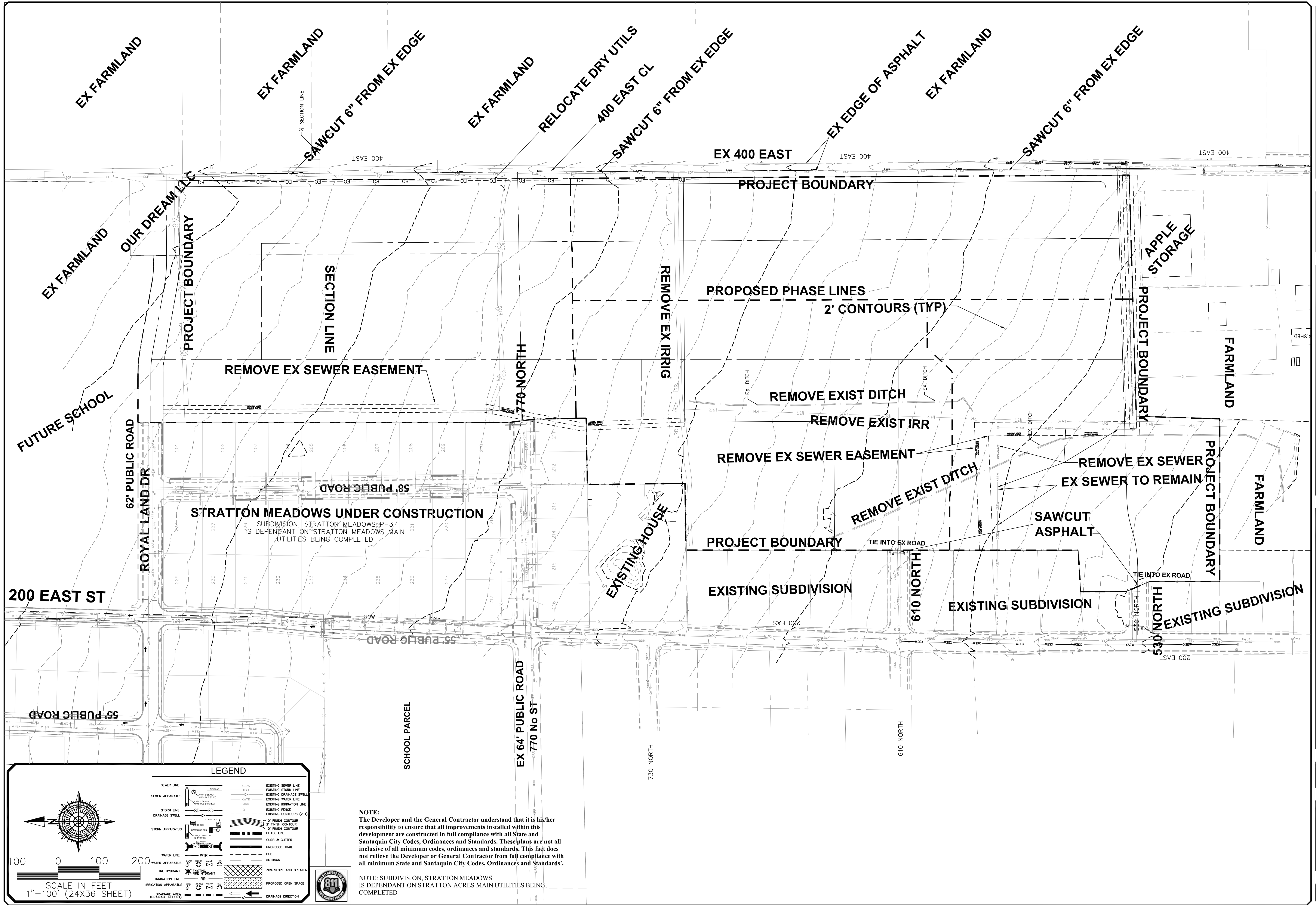
SHEET NO

2 / 2

SANTAQUIN CITY RECORDER

NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHED
DRAINAGE SHED	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR
IRRIGATION APPARATUS	PHASE LINE
(DRAINAGE EASEMENT)	CURB & GUTTER
	PROPOSED TRAIL
	SETBACK
	SOIL SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

SCALE IN FEET
1"=100' (24X36 SHEET)

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

NOTE: SUBDIVISION, STRATTON MEADOWS IS DEPENDANT ON STRATTON ACRES MAIN UTILITIES BEING COMPLETED

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=100'

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

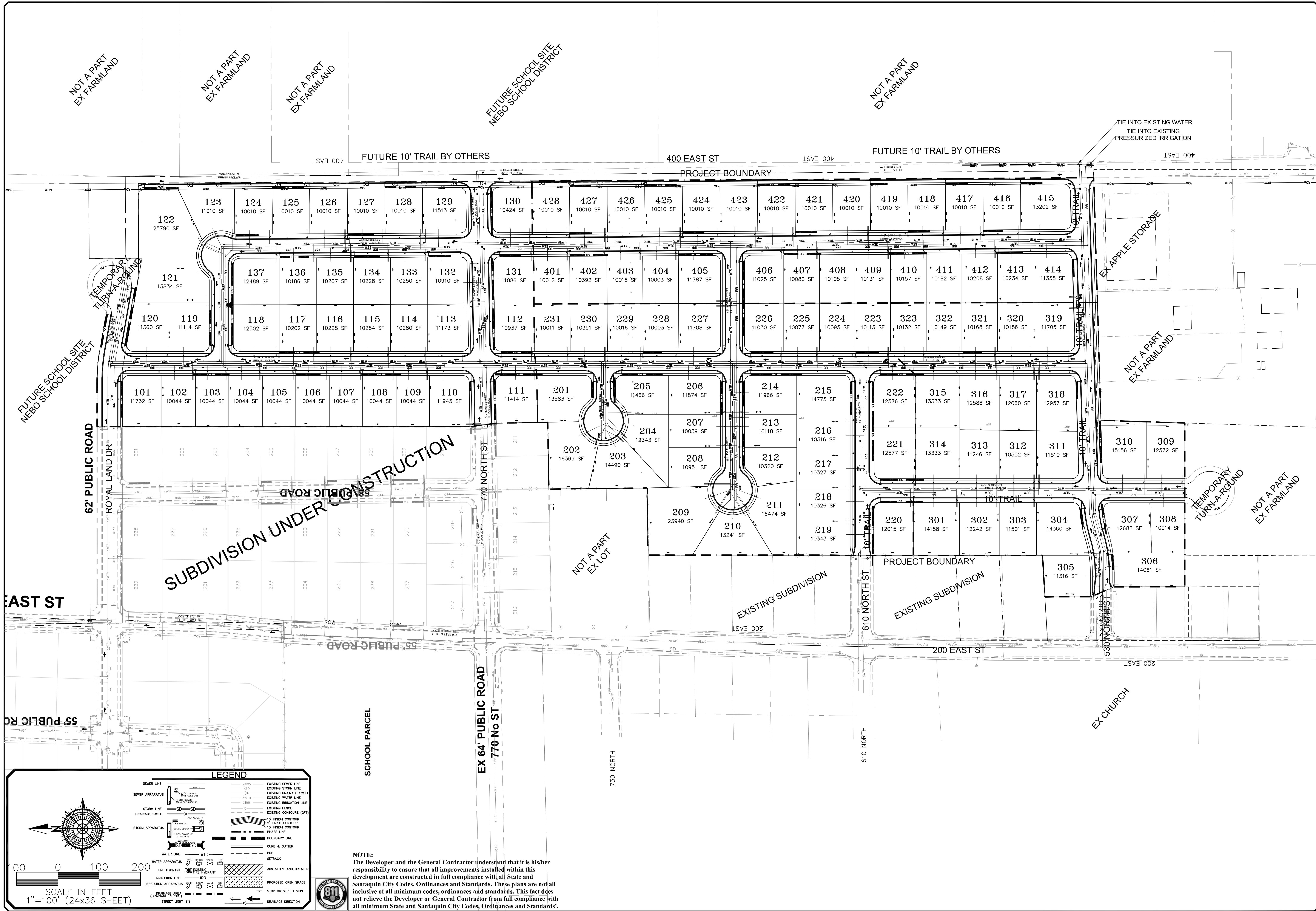
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
EXISTING CONDITIONS AND DEMOLITION SHEET
8-7-2025

SANTAQUIN CITY

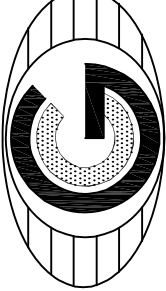
Professional Engineer Seal:
Paul J. Gordon
Professional Engineer
State of Utah
No. 12345
Exp. 12/31/2025

SHEET NO. **2**



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
SURVEY BY: GPM
DRAWN BY: GPM
DESIGNED BY: GPM
CHECKED BY: GPM
SCALE: 1"=40'



GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

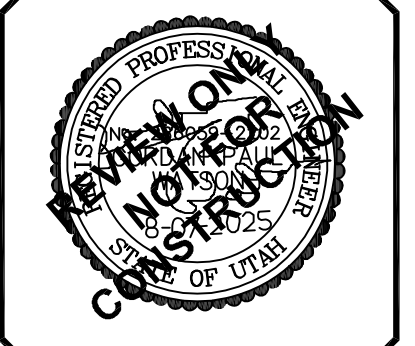
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION

SITE PLAN

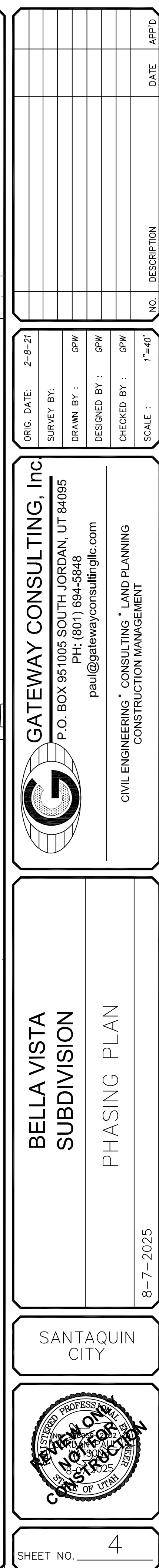
8-7-2025

SANTAQUIN CITY

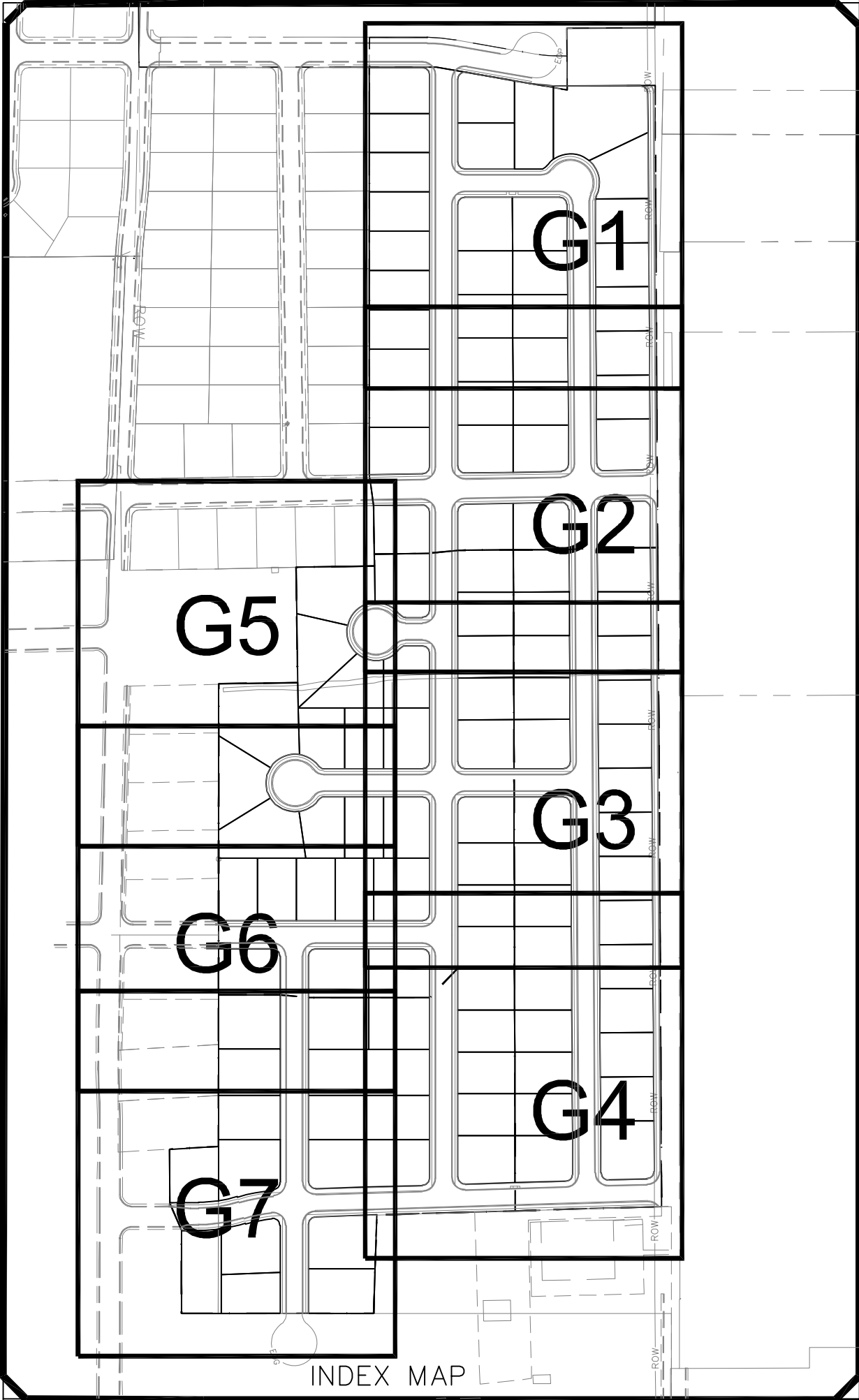


SHEET NO. 3A





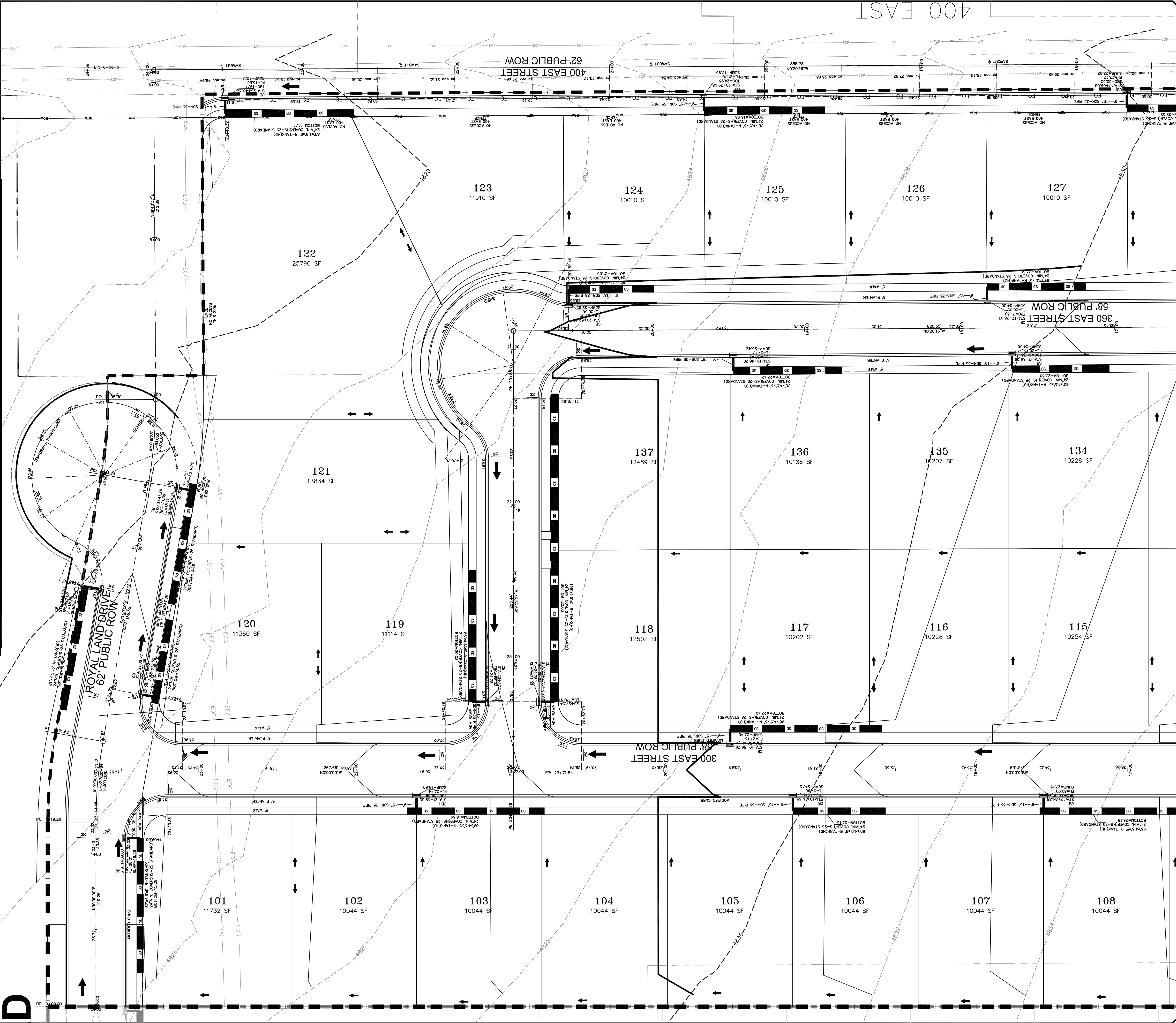
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SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (PT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA (DRAINAGE REPORT)	PRIME LINE
	CURB & GUTTER
	PROPOSED TRAIL
	SETBACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION



ORIG. DATE: 2-8-21	NO.	DESCRIPTION	DATE	APP'D
SURVEY BY: GPM				
DRAWN BY: GPM				
DESIGNED BY: GPM				
CHECKED BY: GPM				
SCALE: 1"=30'				

GATEWAY CONSULTING, Inc.
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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

BELLA VISTA
SUBDIVISION

GRADING

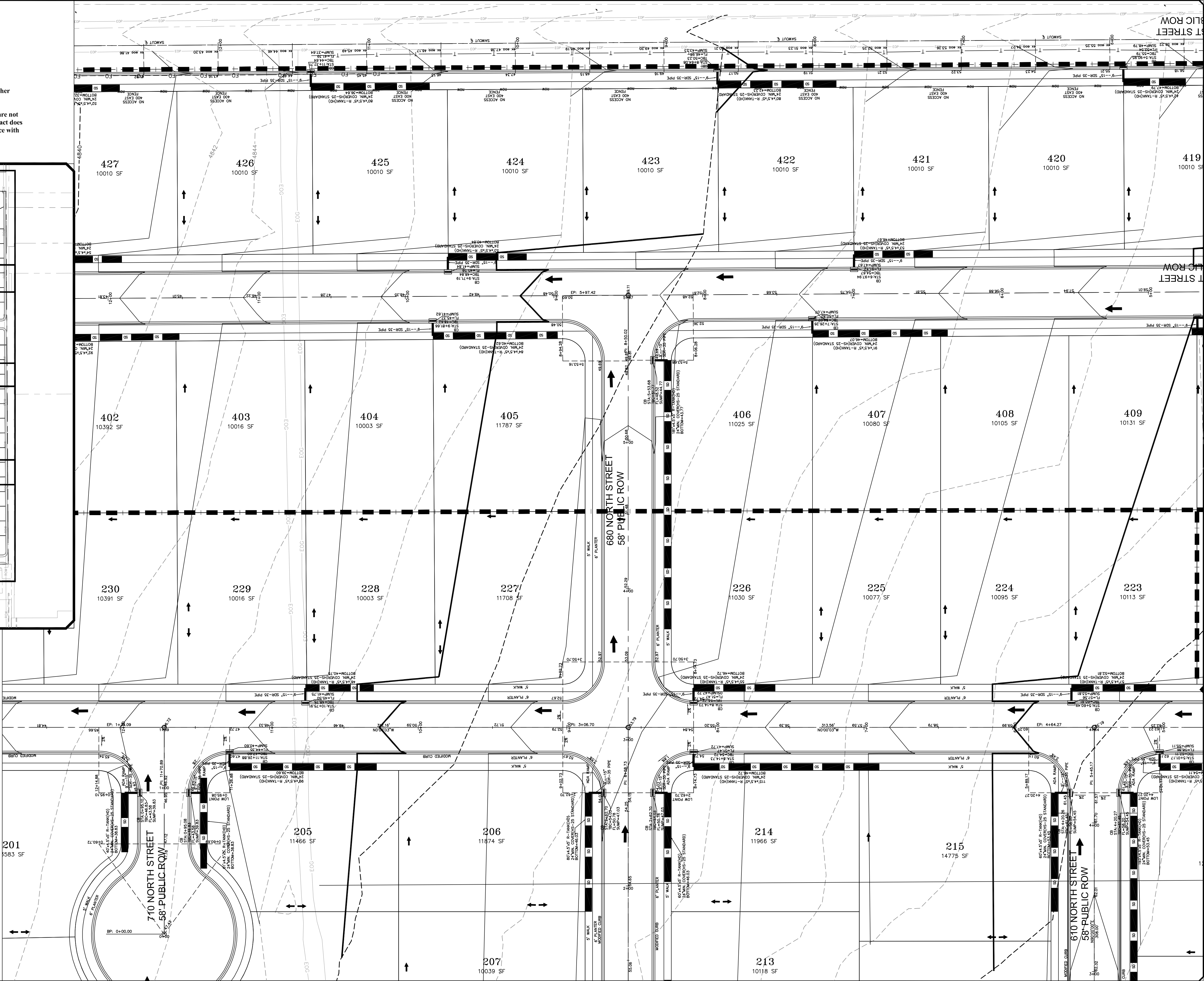
SANTAQUIN
CITY

PAUL J. JORDAN
MECHANICAL ENGINEERING
STATE OF UTAH
LICENSE NO. 12345

SHEET NO. G1

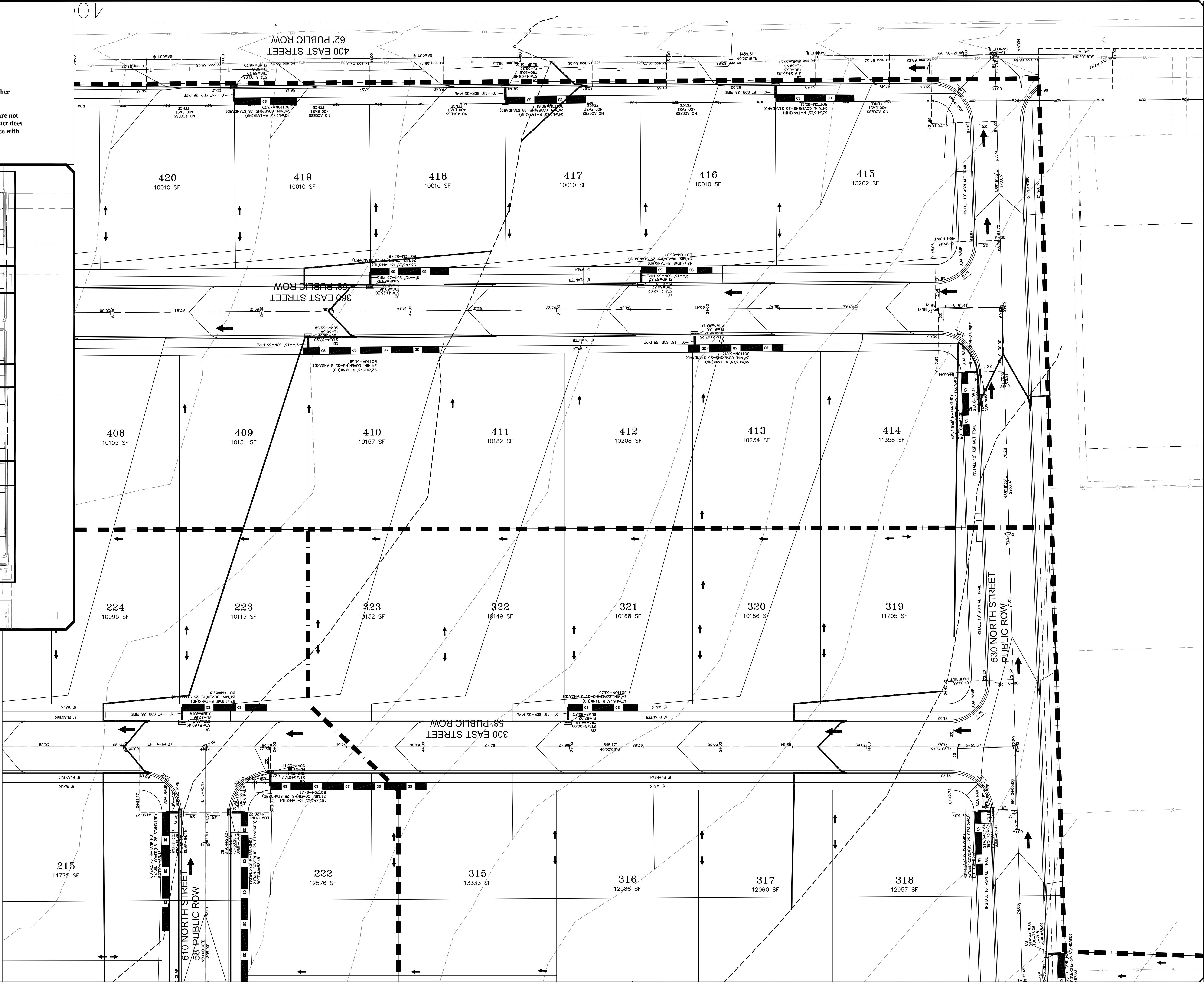
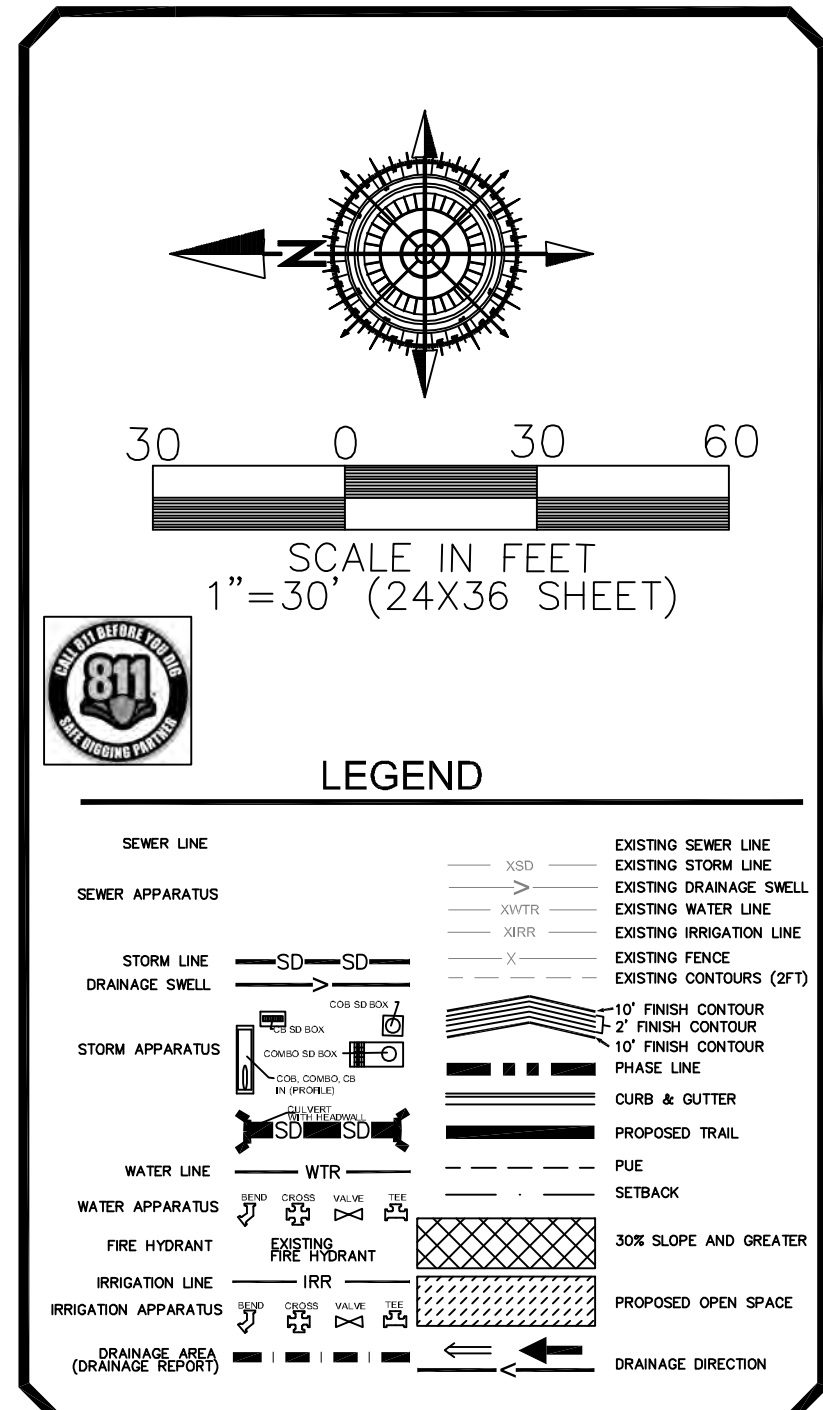
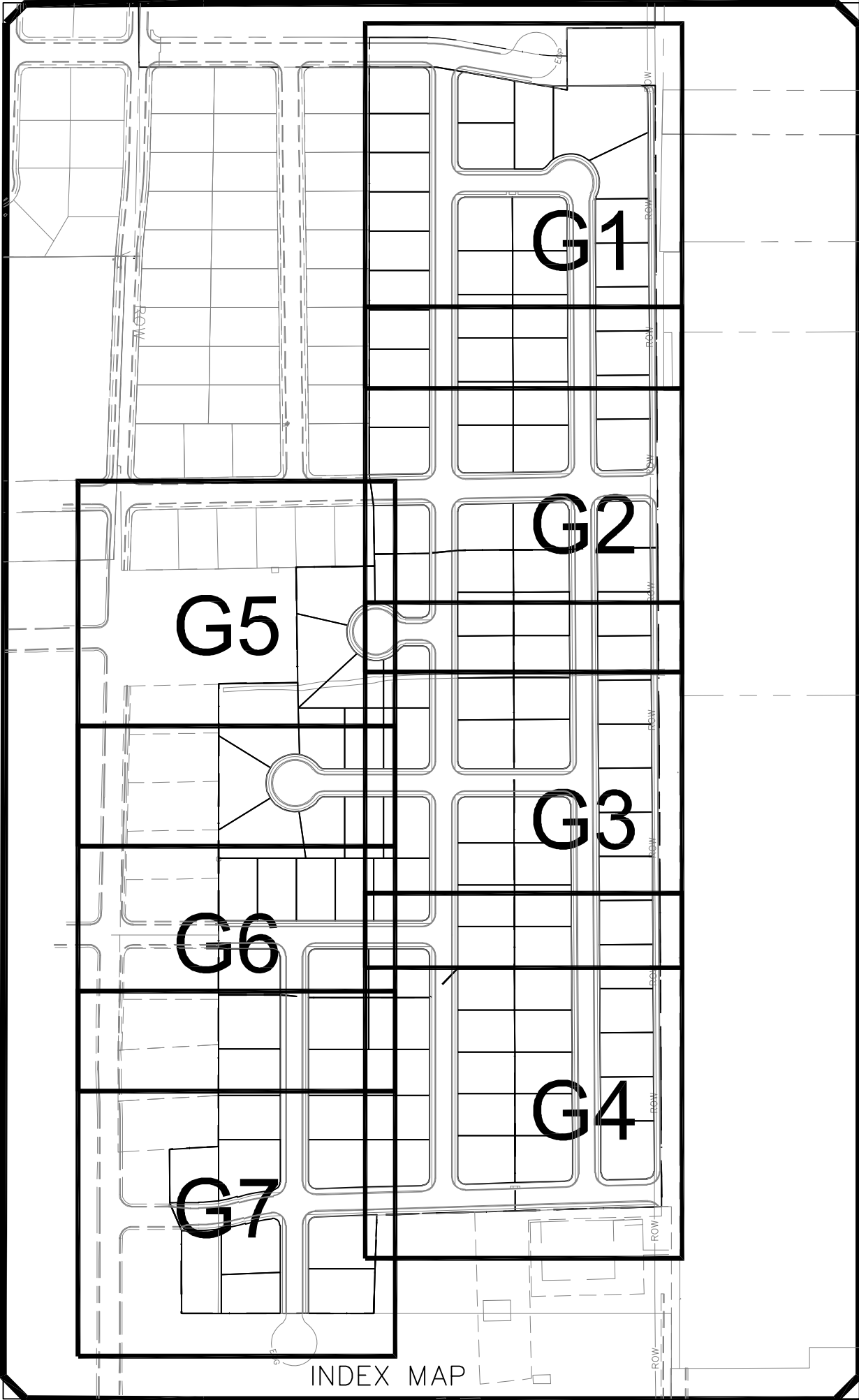


SHEET NO. G2



SHEET NO. G3

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DATE

APP'D

NO.

DESCRIPTION

ORIG. DATE: 2-8-21

SURVEY BY: GPM

DRAWN BY: GPM

DESIGNED BY: GPM

CHECKED BY: GPM

SCALE: 1"=30'

GATEWAY CONSULTING, Inc

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION

GRADING

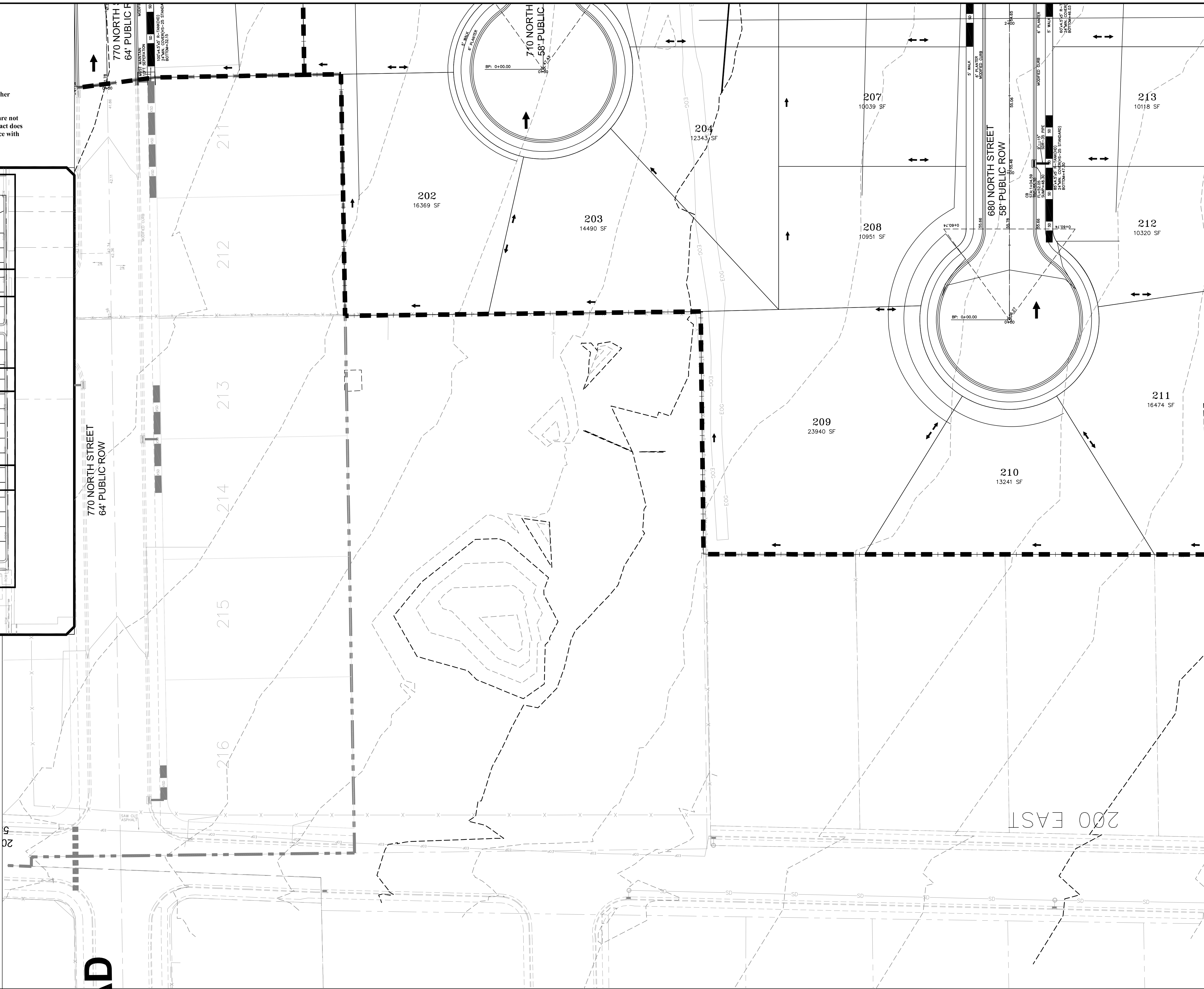
SANTAQUIN CITY

VIEW OF PROJECT

SHEET NO. G4

8-7-2025

34

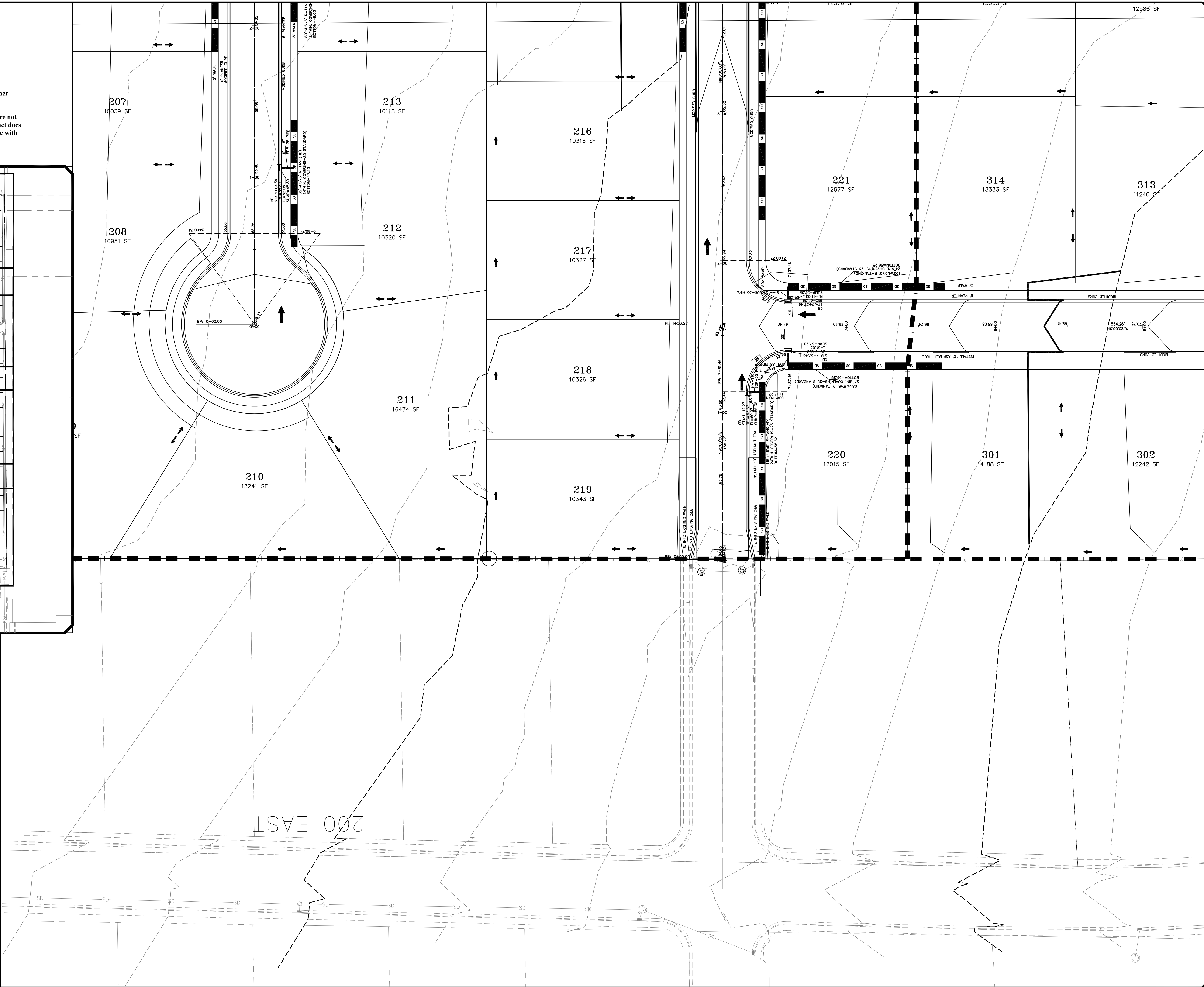
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ORIG. DATE: 2-8-21
SURVEY BY:
DRAWN BY: GPW
DESIGNED BY: GPW
CHECKED BY: GPW
SCALE: 1"=30'

BELLA VISTA SUBDIVISION
GRADING
8-7-2025

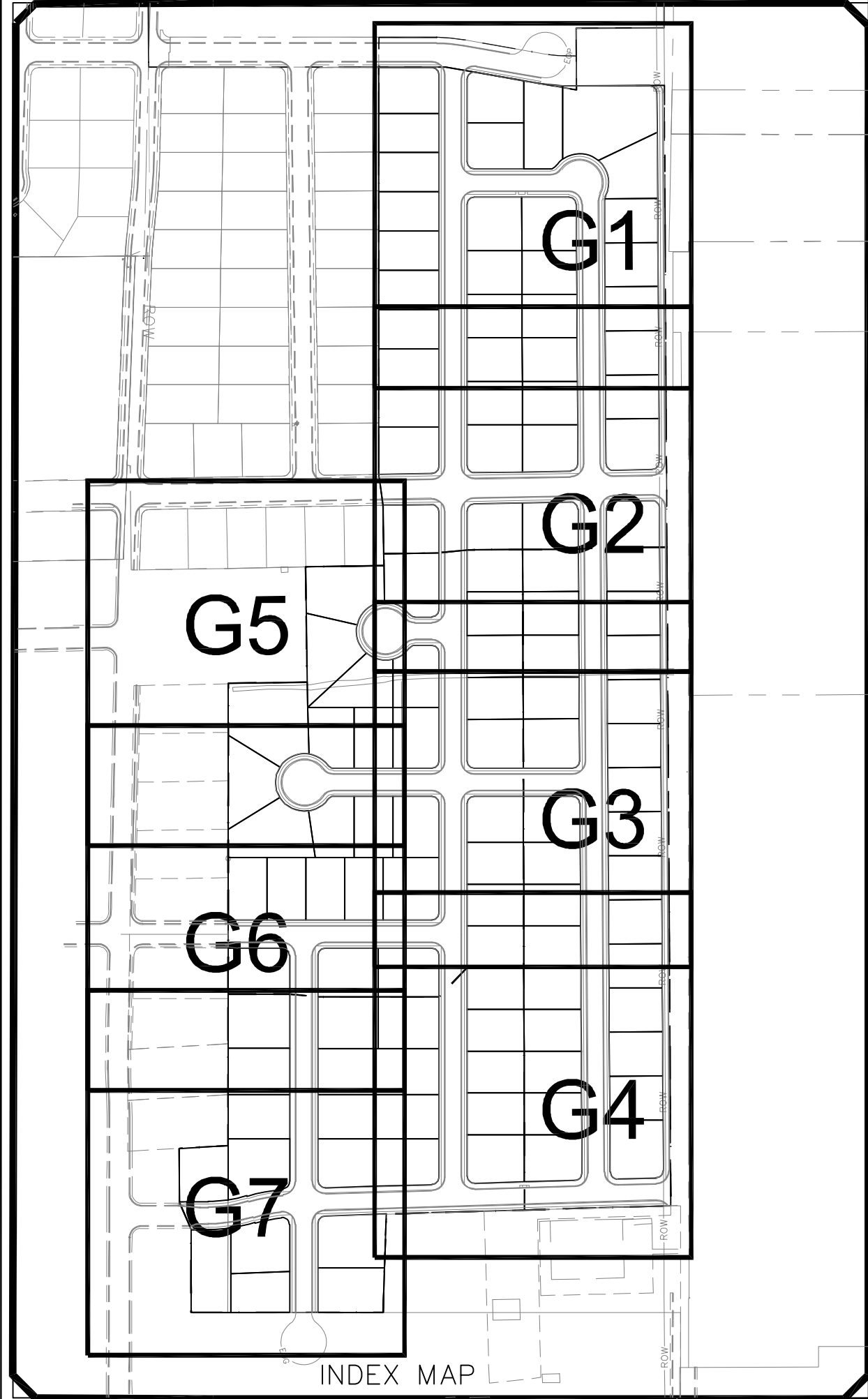
SHEET NO. G5

INDEX MAP



SHEET NO. G6

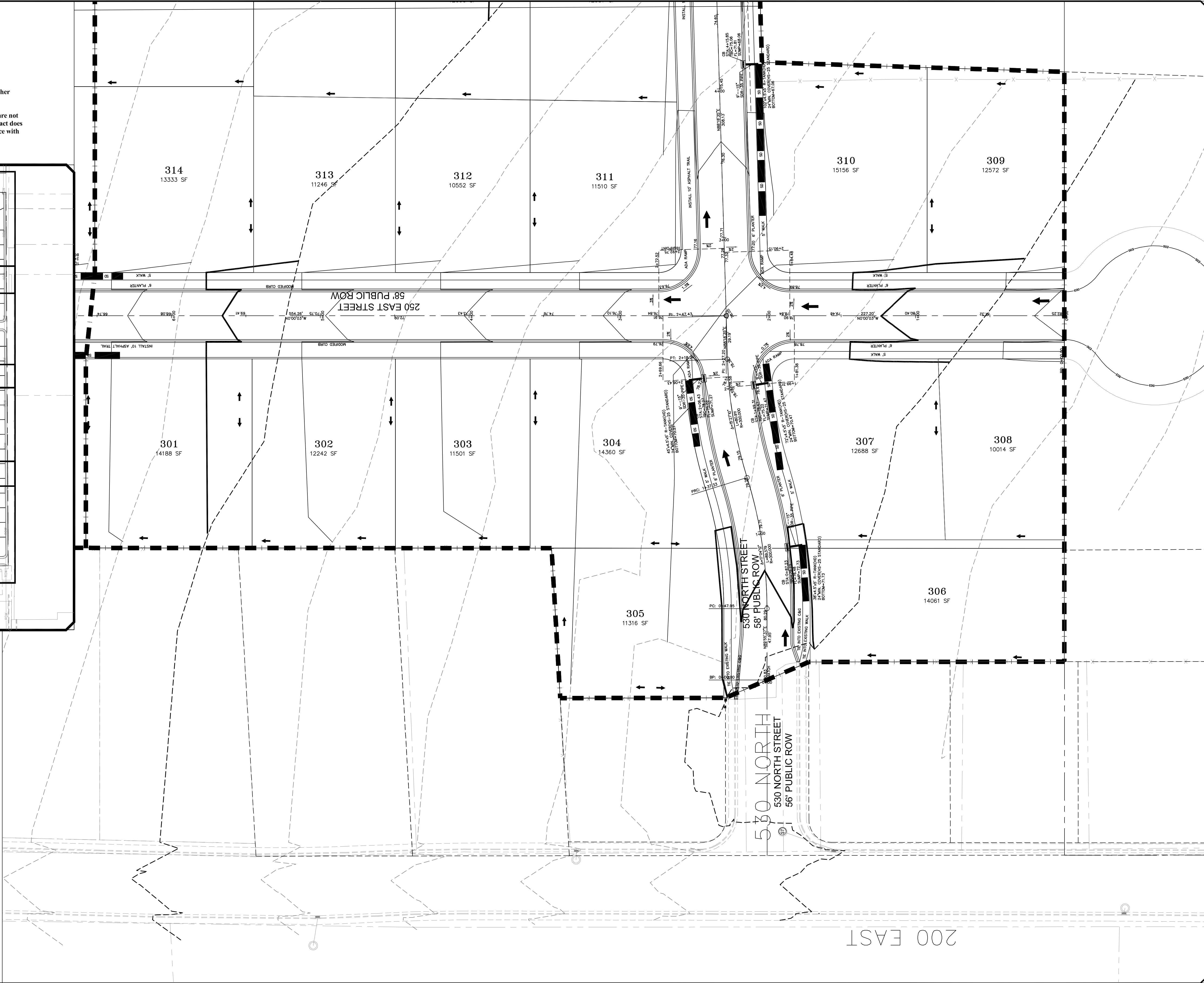
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SCALE IN FEET
1"=30' (24X36 SHEET)

LEGEND

SEWER LINE	SD	EXISTING SEWER LINE	SD
SEWER APPARATUS	SD	EXISTING STORM LINE	SD
STORM LINE	SD	EXISTING DRAINAGE SHELL	SD
DRAINAGE SHELL	SD	EXISTING WATER LINE	SD
STORM APPARATUS	SD	EXISTING IRRIGATION LINE	SD
WATER LINE	WTR	EXISTING FENCE	SD
WATER APPARATUS	WTR	EXISTING CONTOURS (2 FT)	SD
FIRE HYDRANT	SD	10' FINISH CONTOUR	SD
IRRIGATION LINE	IRR	2' FINISH CONTOUR	SD
IRRIGATION APPARATUS	IRR	10' FINISH CONTOUR	SD
DRAINAGE AREA (DRAINAGE REPORT)	SD	PHASE LINE	SD
		CURB & GUTTER	SD
		PROPOSED TRAIL	SD
		PUE	SD
		SETBACK	SD
		30% SLOPE AND GREATER	SD
		PROPOSED OPEN SPACE	SD
		DRAINAGE DIRECTION	SD



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'

GATEWAY CONSULTING, Inc.
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CONSTRUCTION MANAGEMENT

BELLA VISTA
SUBDIVISION

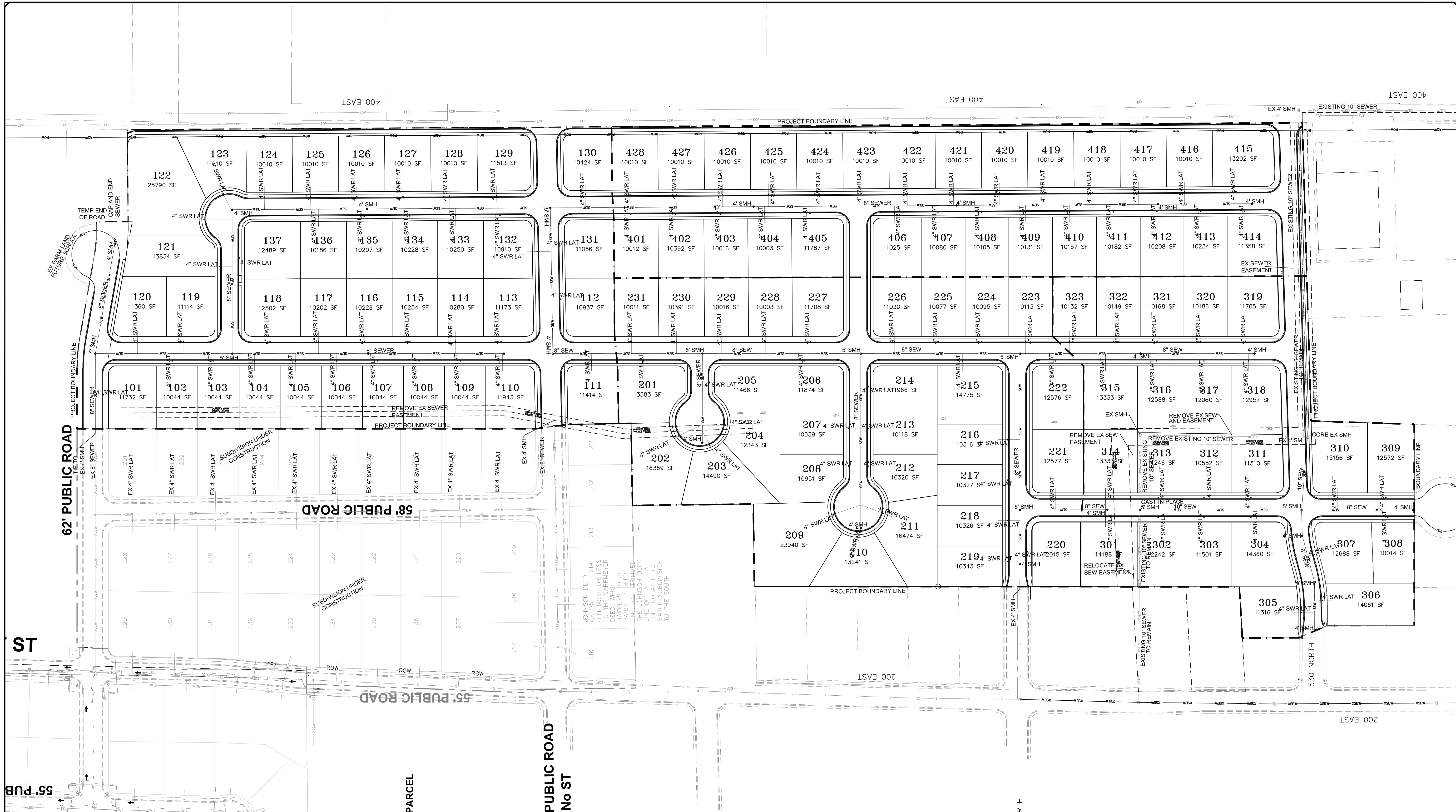
GRADING

8-7-2025

SANTAQUIN
CITY

PAUL J. JORDAN
MECHANICAL ENGINEERING
STATE OF UTAH
LICENSE NO. 12345

SHEET NO. **G7**



90 0 90 180
SCALE IN FEET
1"=90' HORIZONTAL

LEGEND

	SEWER LINE		EXISTING SEWER LINE
	STORM LINE		EXISTING STORM LINE
	WATER LINE		EXISTING WATER LINE
	IRRIGATION LINE		EXISTING IRRIGATION LINE
	PROPOSED ROAD		PROPOSED OPEN SPACE
	PROPOSED GUTTER		PROPOSED SETBACK
	PROPOSED SLOPE AND GREATER		PROPOSED DRAINAGE DIRECTION

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=90'

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
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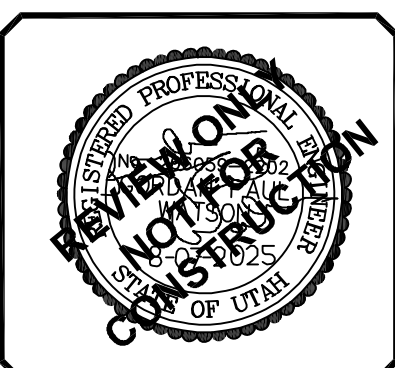
CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT

**BELLA VISTA
SUBDIVISION**

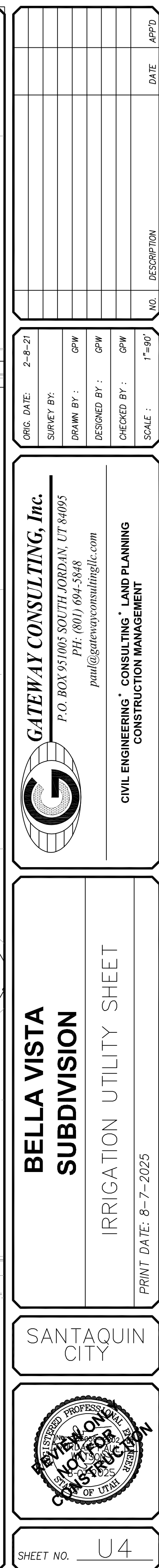
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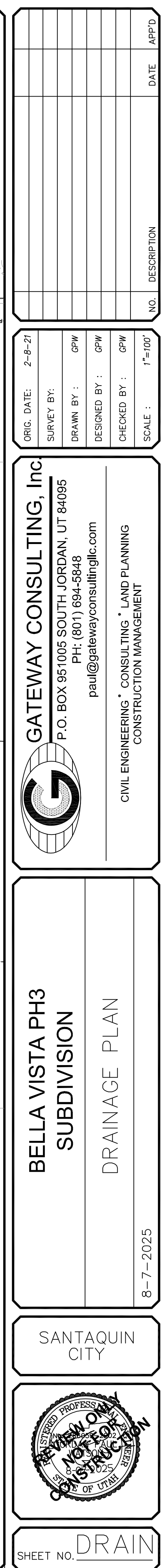
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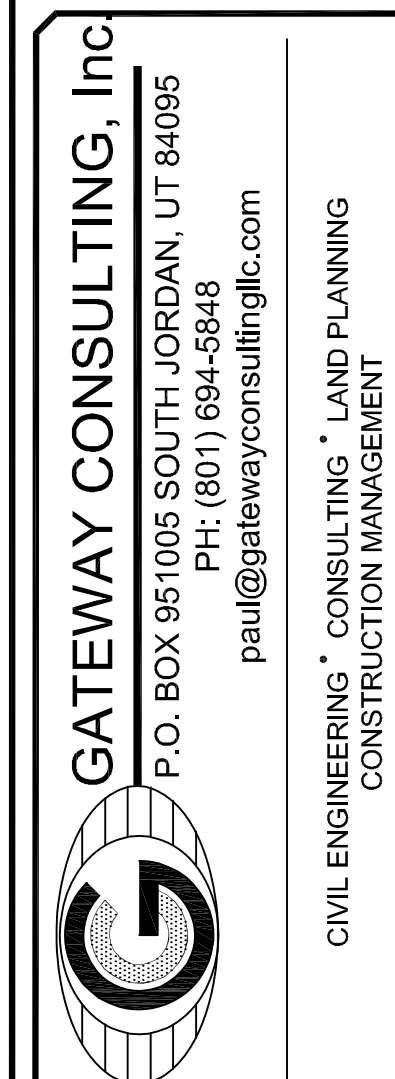
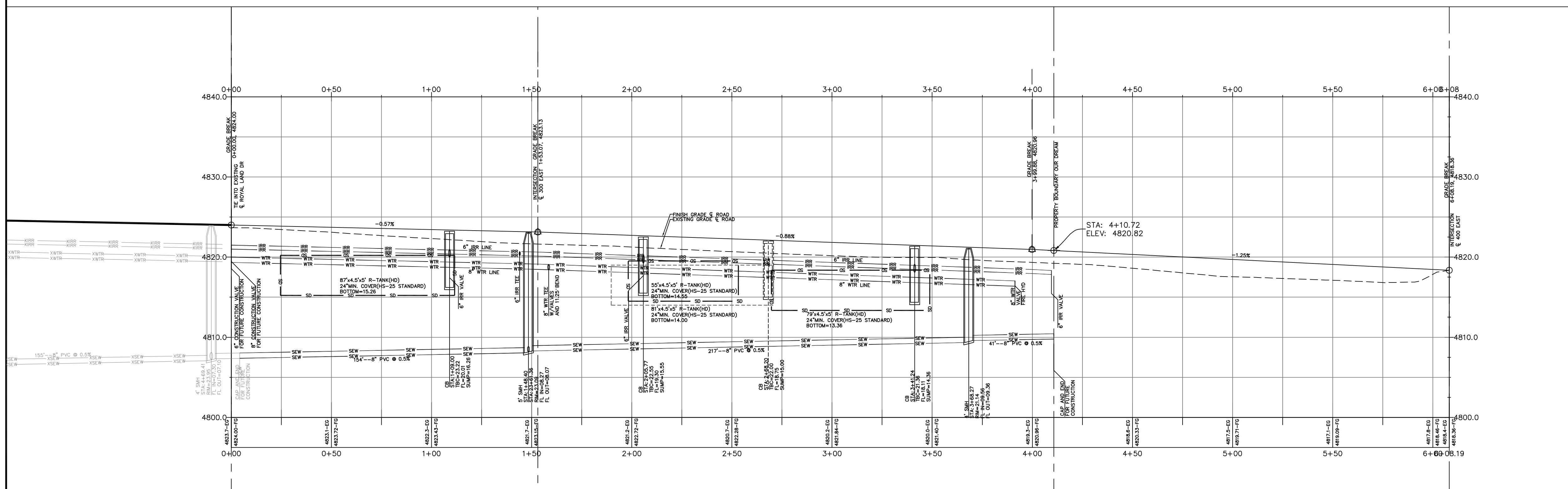
SANTAQUIN CITY



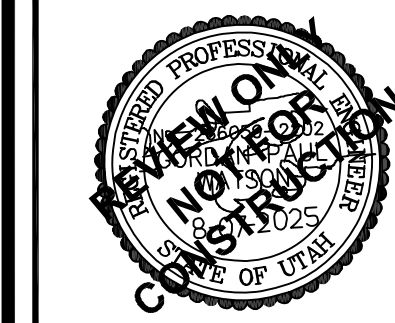
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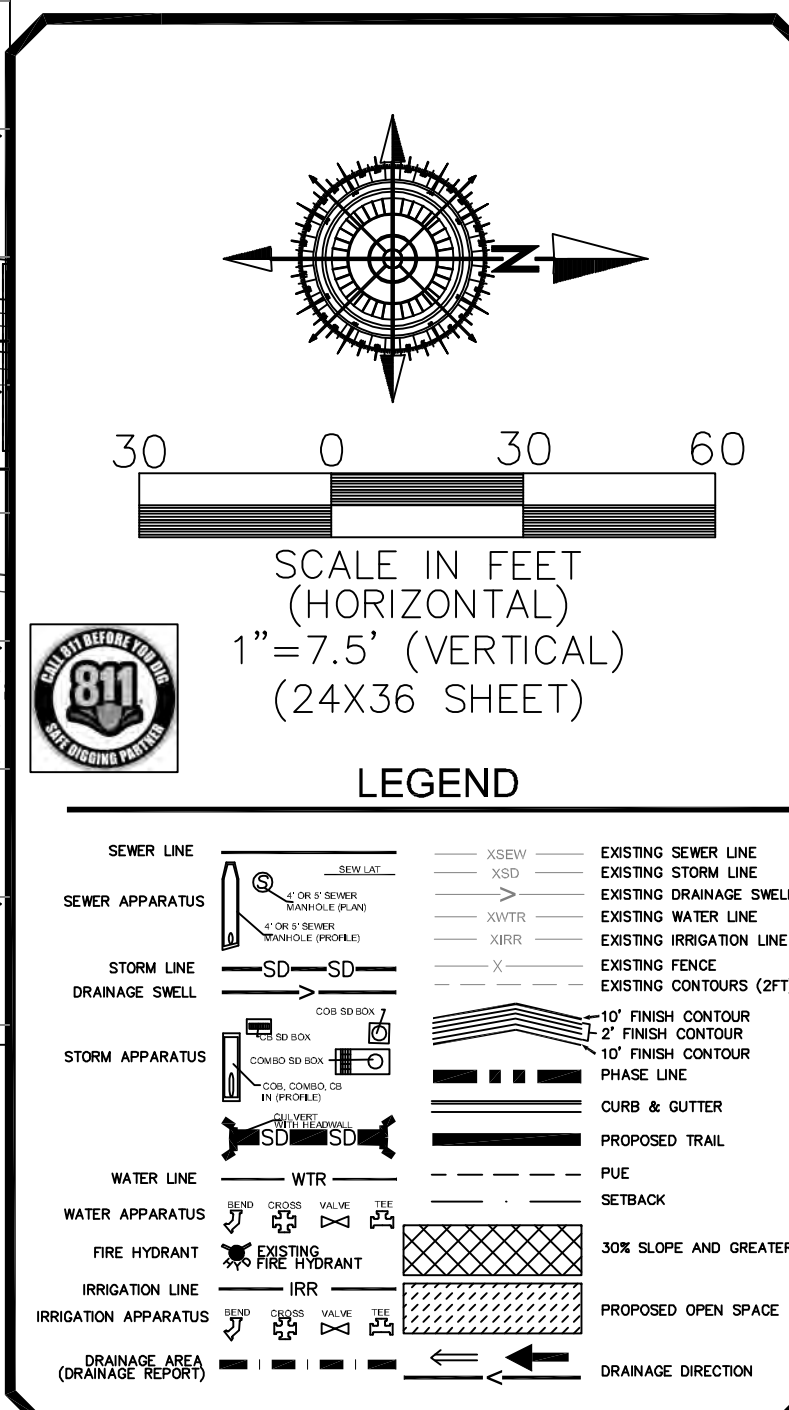
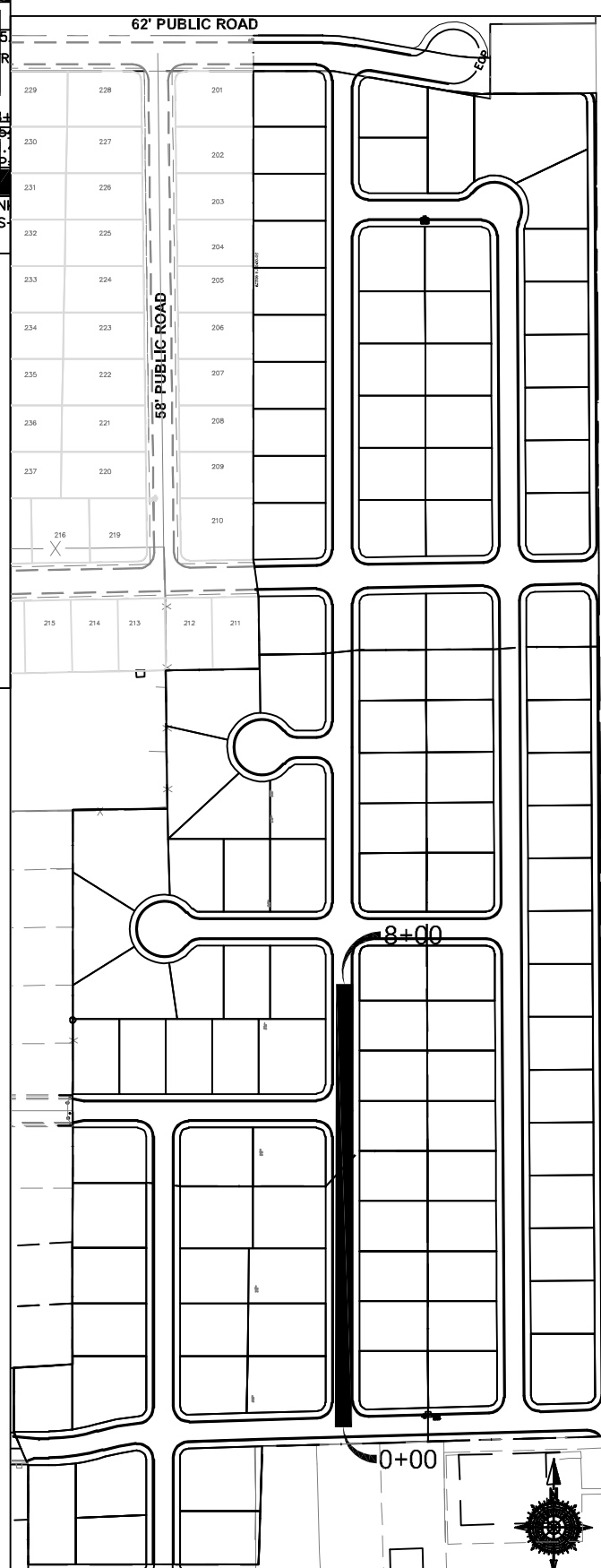


**BELLA VISTA
SUBDIVISION**

SANTAQUIN
CITY

SHEET NO. PP1

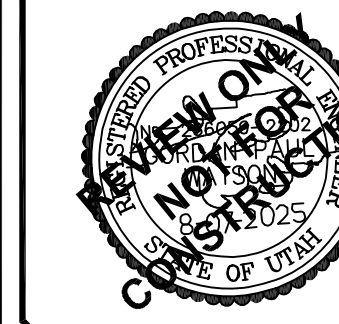
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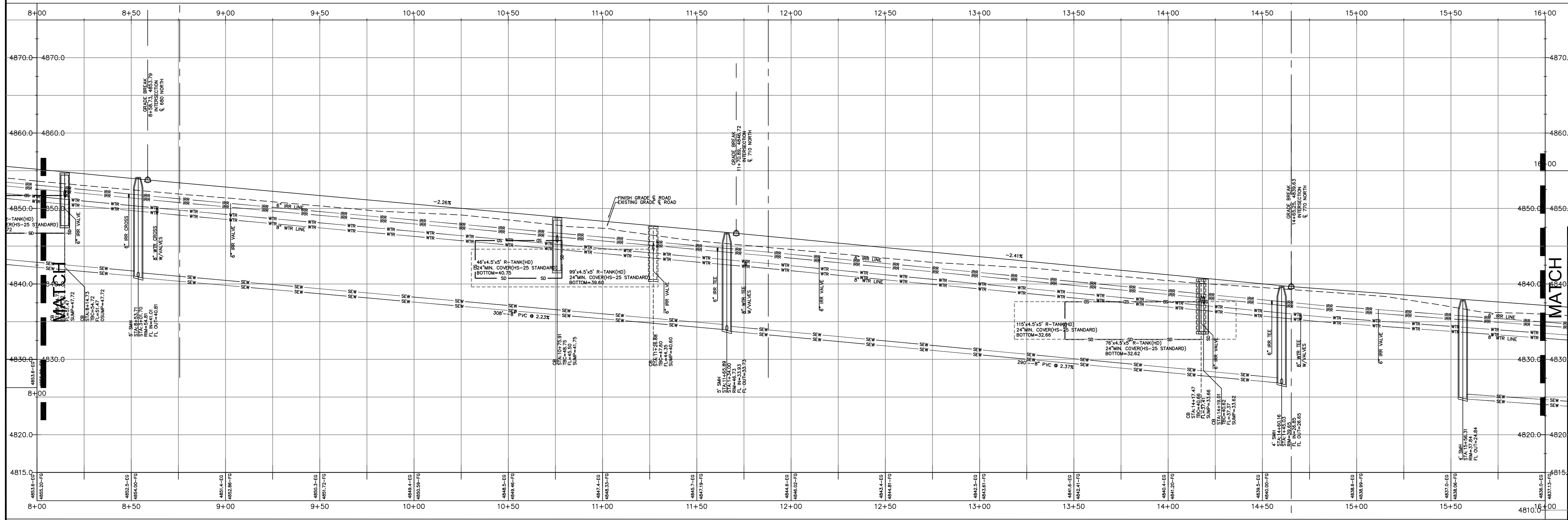
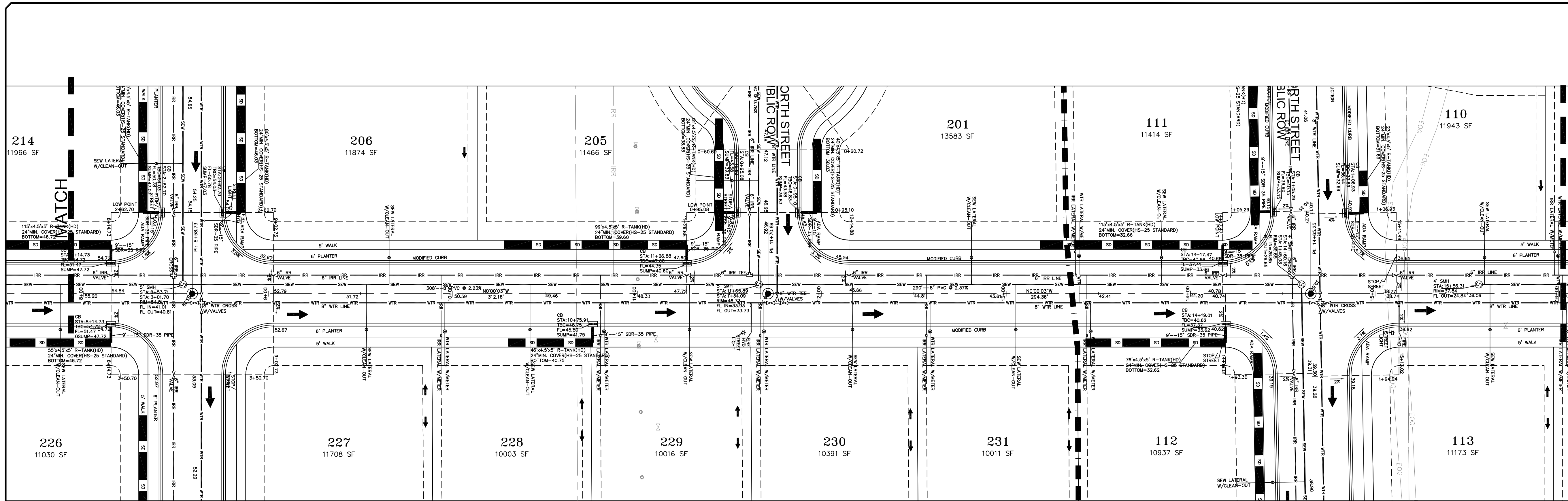
CIVIL ENGINEERING * CONSULTING * LAND PLANNING

BELLA VISTA
SUBDIVISION
PLAN AND PROFILE
300 EAST (STA: 0+00 to 8+00)

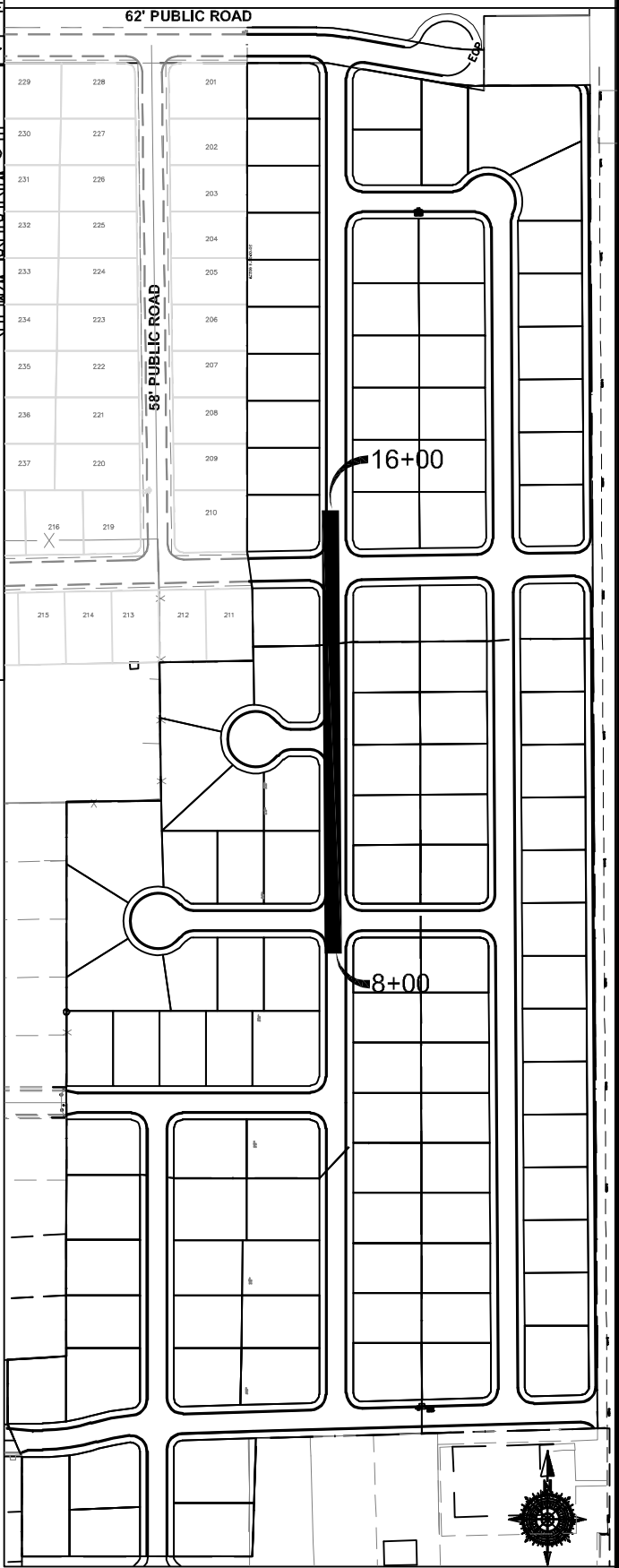
SANTAQUIN
CITY

SHEET NO. PP2

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SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING DRAINAGE SHELL
STORM LINE	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
FIRE HYDRANT	EXISTING CONTOURS (2 FT)
IRRIGATION APPARATUS	EXISTING CONTOURS (2 FT)
	PROPOSED TRAIL
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

GATEWAY CONSULTING, Inc.
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PH: (801) 694-5848
paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT

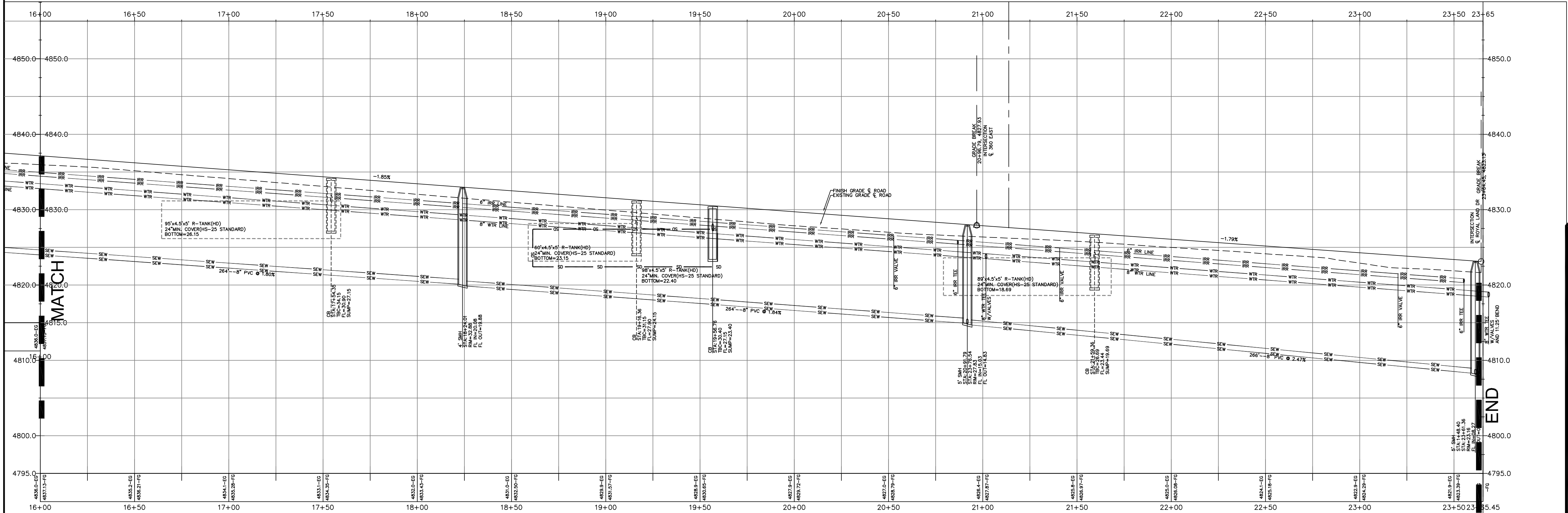
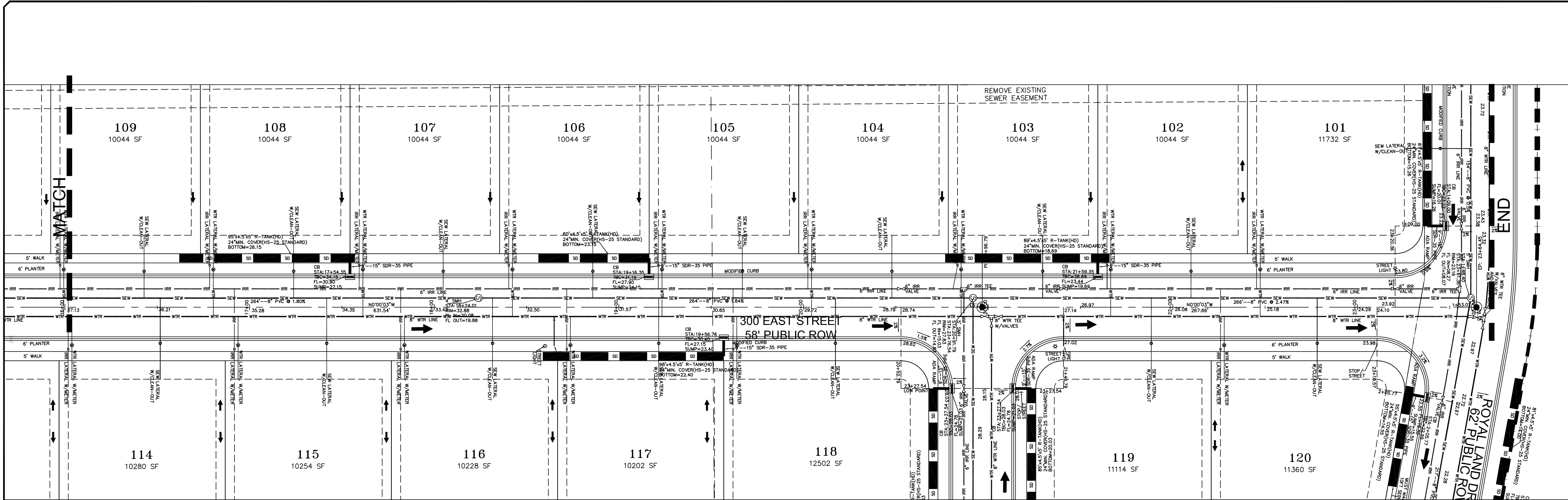
BELLA VISTA SUBDIVISION
PLAN AND PROFILE
300 EAST (STA: 8+00 to 16+00)

SANTAQUIN CITY

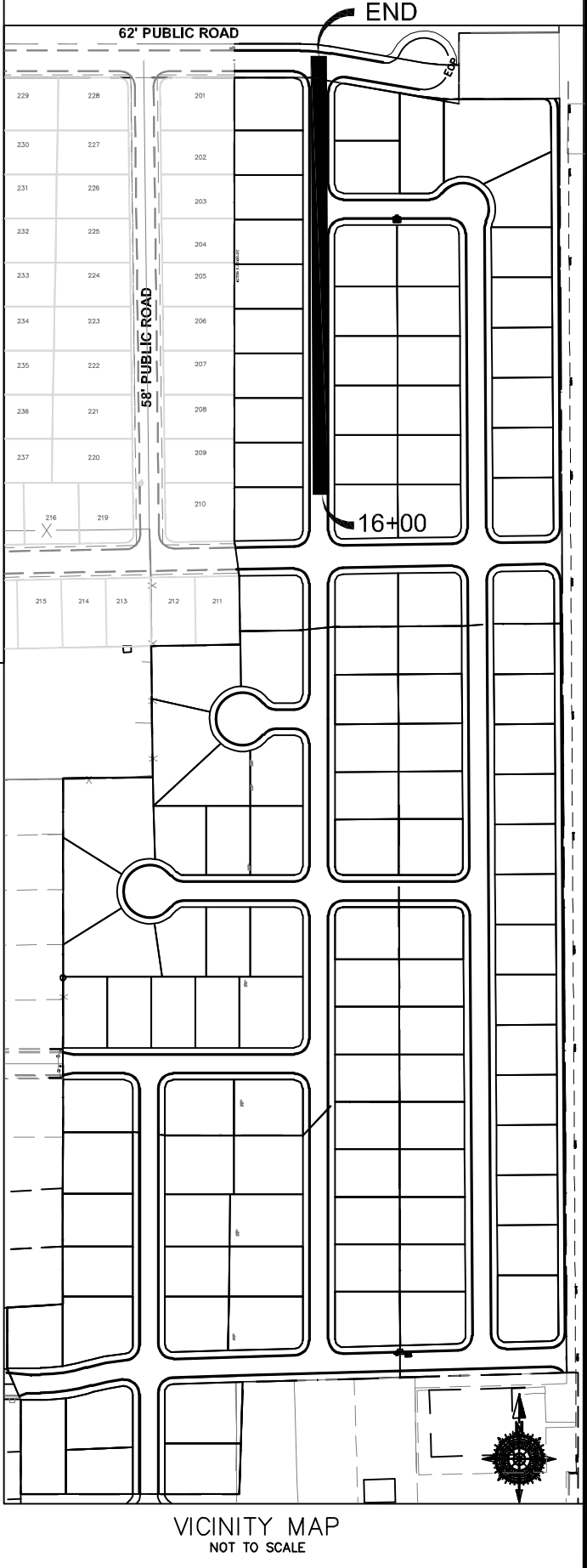
SEAL
Professional Engineer
No. 12345
State of Utah

SHEET NO. **PP3**

DATE: 2-6-21
SURVEY BY: OPW
DRAWN BY: OPW
CHECKED BY: OPW
SCALE: 1"=30'



NOTE:
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SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING DRAINAGE SHELL
STORM LINE	EXISTING STORM LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
FIRE HYDRANT	1' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR
IRRIGATION APPARATUS	PROPOSED TRAIL
	CURB & GUTTER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

ORIG. DATE: 2-6-21

SURVEY BY: GPM

DRAWN BY: GPM

DESIGNED BY: GPM

CHECKED BY: GPM

SCALE: 1"=30'

GATEWAY CONSULTING, Inc.

P.O. BOX 951005 SOUTH JORDAN, UT 84095

PH: (801) 694-5848

paul@gatewayconsultingllc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING

CONSTRUCTION MANAGEMENT

BELLA VISTA
SUBDIVISION

PLAN AND PROFILE

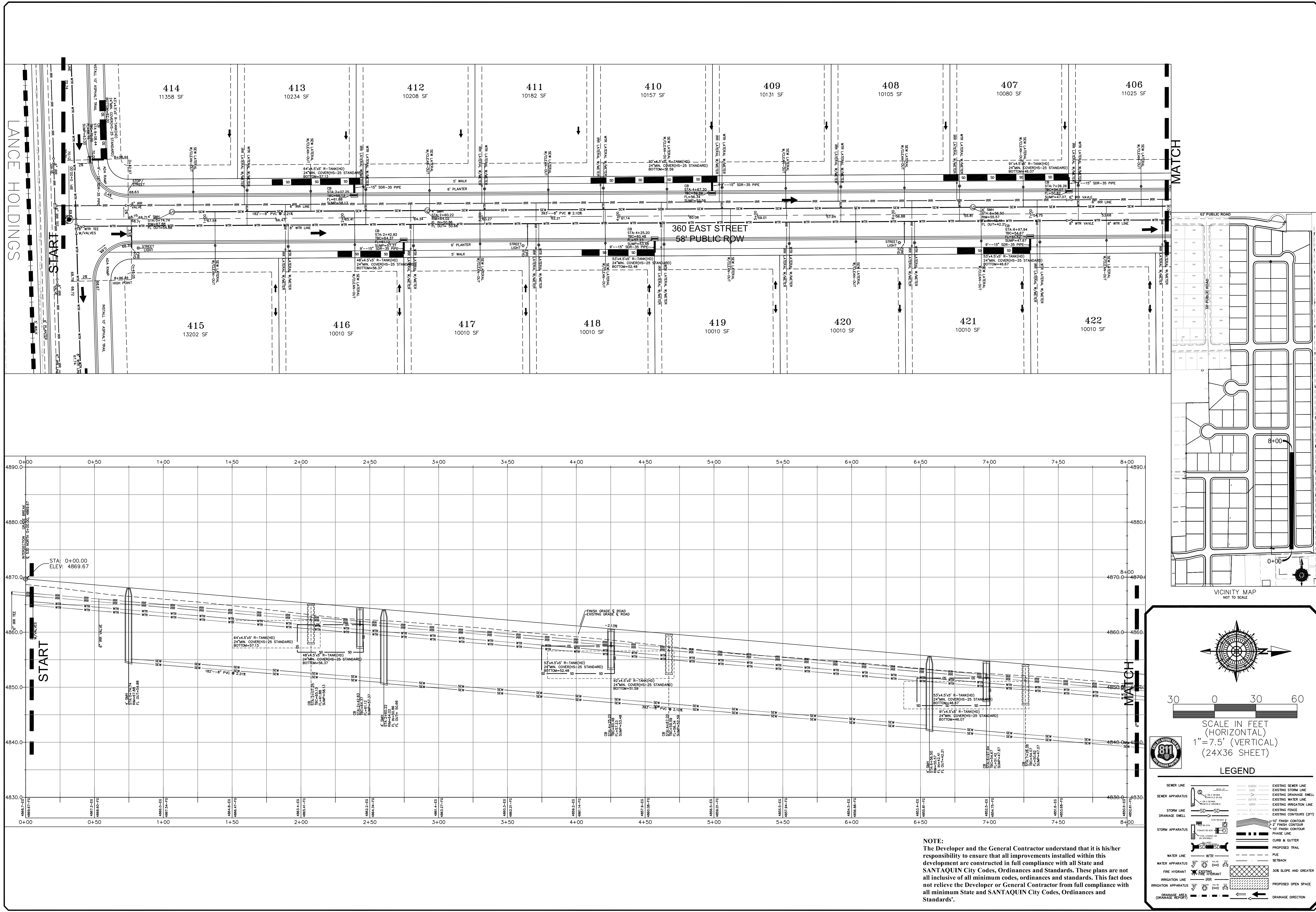
300 EAST (STA: 16+00 to 23+66)

8-7-2025

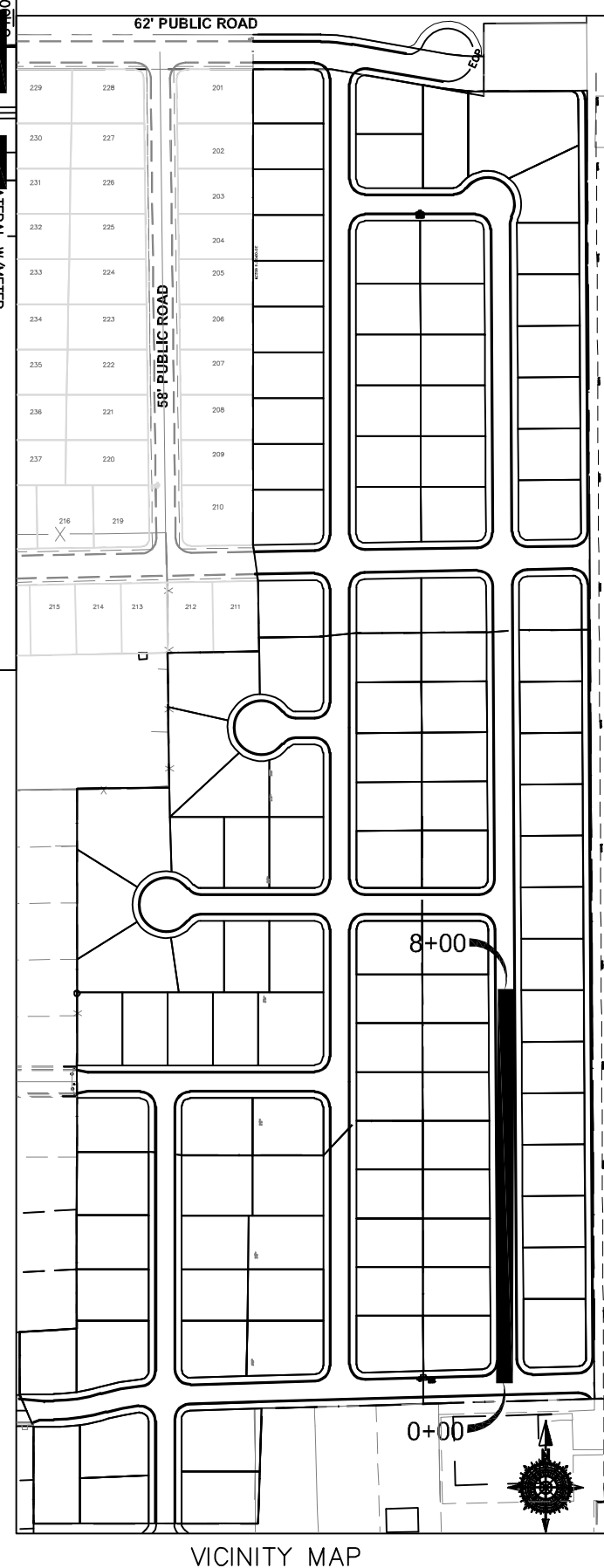
SANTAQUIN CITY

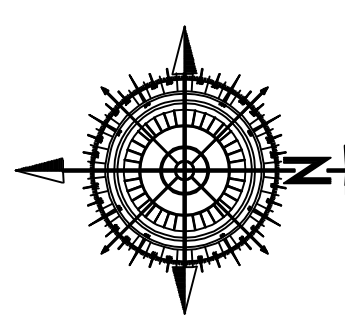
SEAL

SHEET NO. PP4



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SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE
	EXISTING IRRIGATION LINE
	EXISTING FENCE
	EXISTING CONTOURS (2 FT)
	12" FINISH CONTOUR
	2" FINISH CONTOUR
	PROPOSED TRAIL
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT

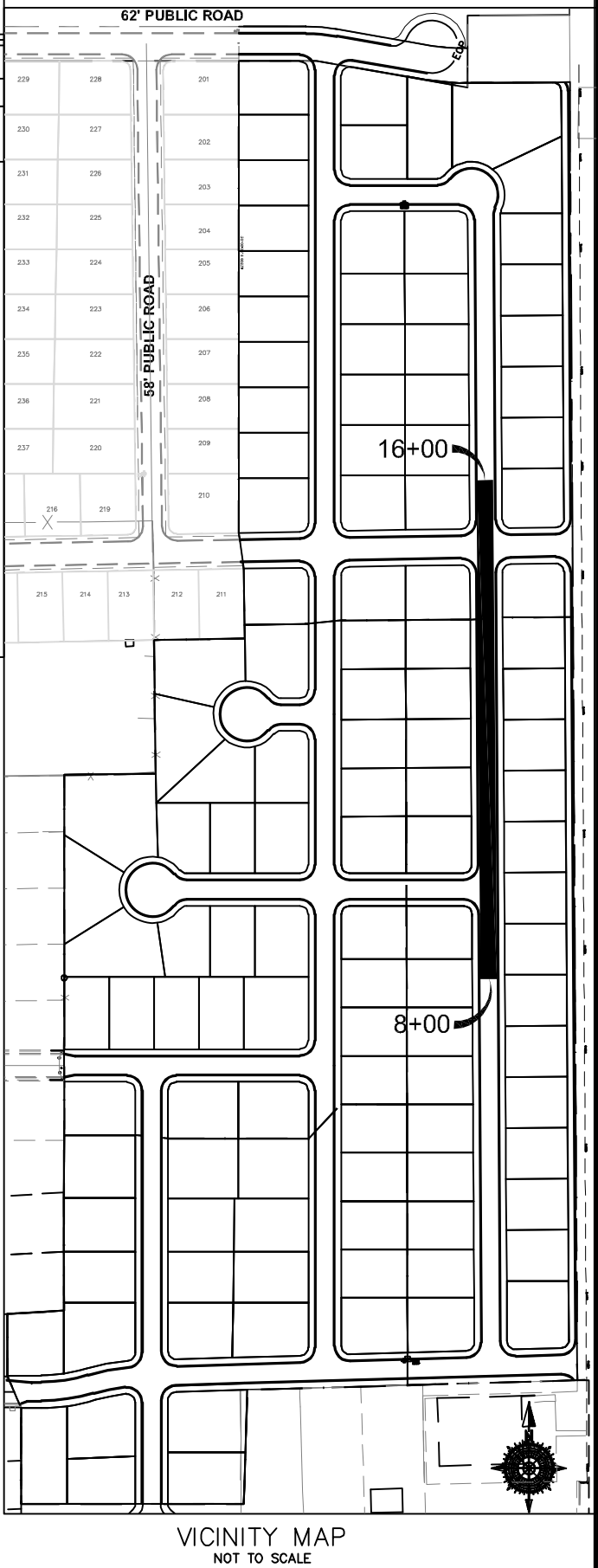
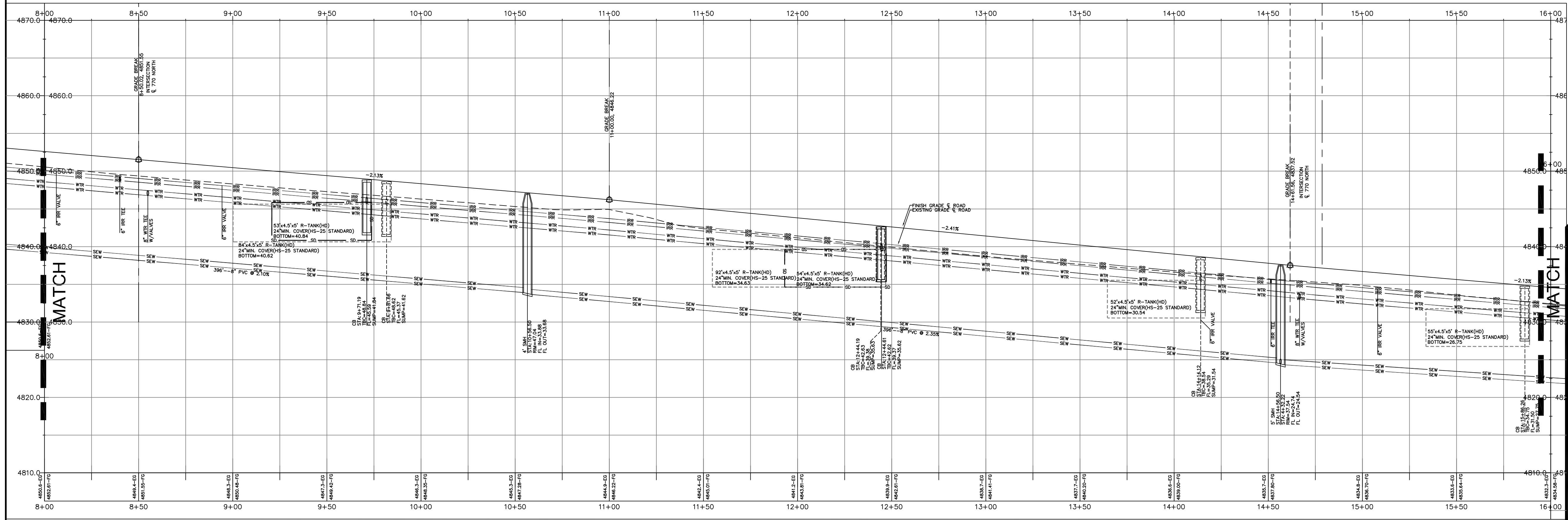
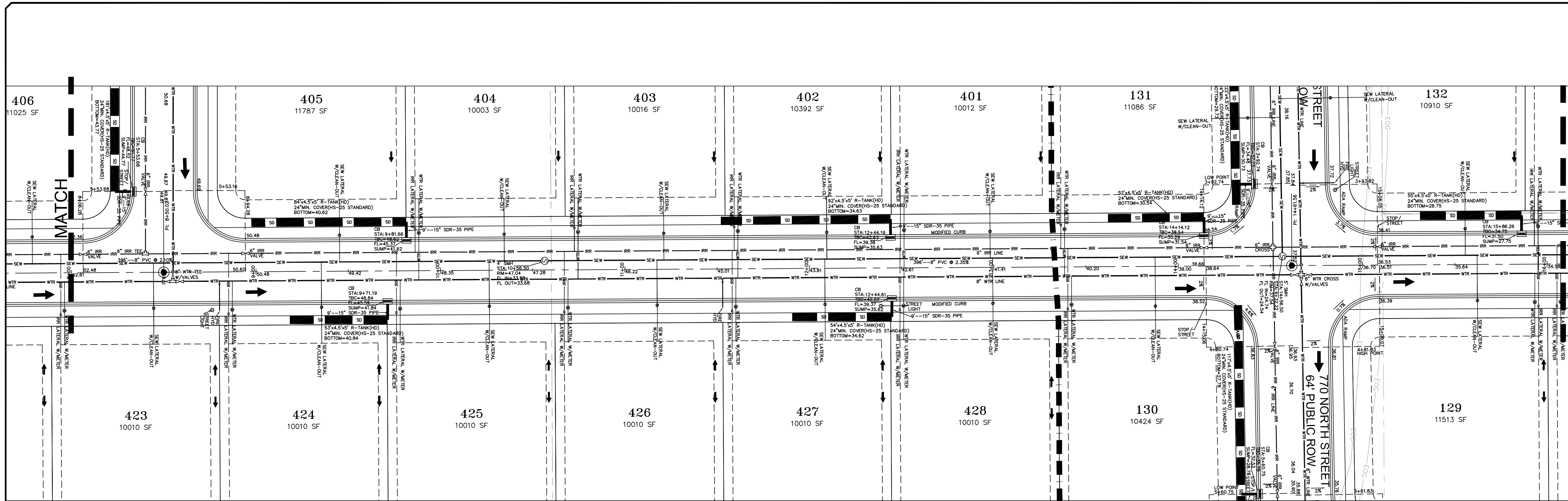
BELLA VISTA SUBDIVISION
PLAN AND PROFILE
360 EAST (STA: 0+00 to 8+00)

SANTAQUIN CITY

SEAL
Professional Engineer
No. 100000000
State of Utah

SHEET NO. **PP5**

DATE: 2-6-21
SURVEY BY: OPW
DRAWN BY: OPW
DESIGNED BY: OPW
CHECKED BY: OPW
SCALE: 1"=30'



SCALE IN FEET
(HORIZONTAL)
1" = 7.5' (VERTICAL)
(24X36 SHEET)

LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOURS (2 FT)
FIRE HYDRANT	15' FINISH CONTOUR
IRRIGATION LINE	2' FINISH CONTOUR
IRRIGATION APPARATUS	PROPOSED TRAIL
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.

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CONSTRUCTION MANAGEMENT

ORIG. DATE: 2-6-21

SURVEY BY: CPW

DRAWN BY: CPW

DESIGNED BY: CPW

CHECKED BY: CPW

SCALE: 1"=30'

**BELLA VISTA
SUBDIVISION**

PLAN AND PROFILE

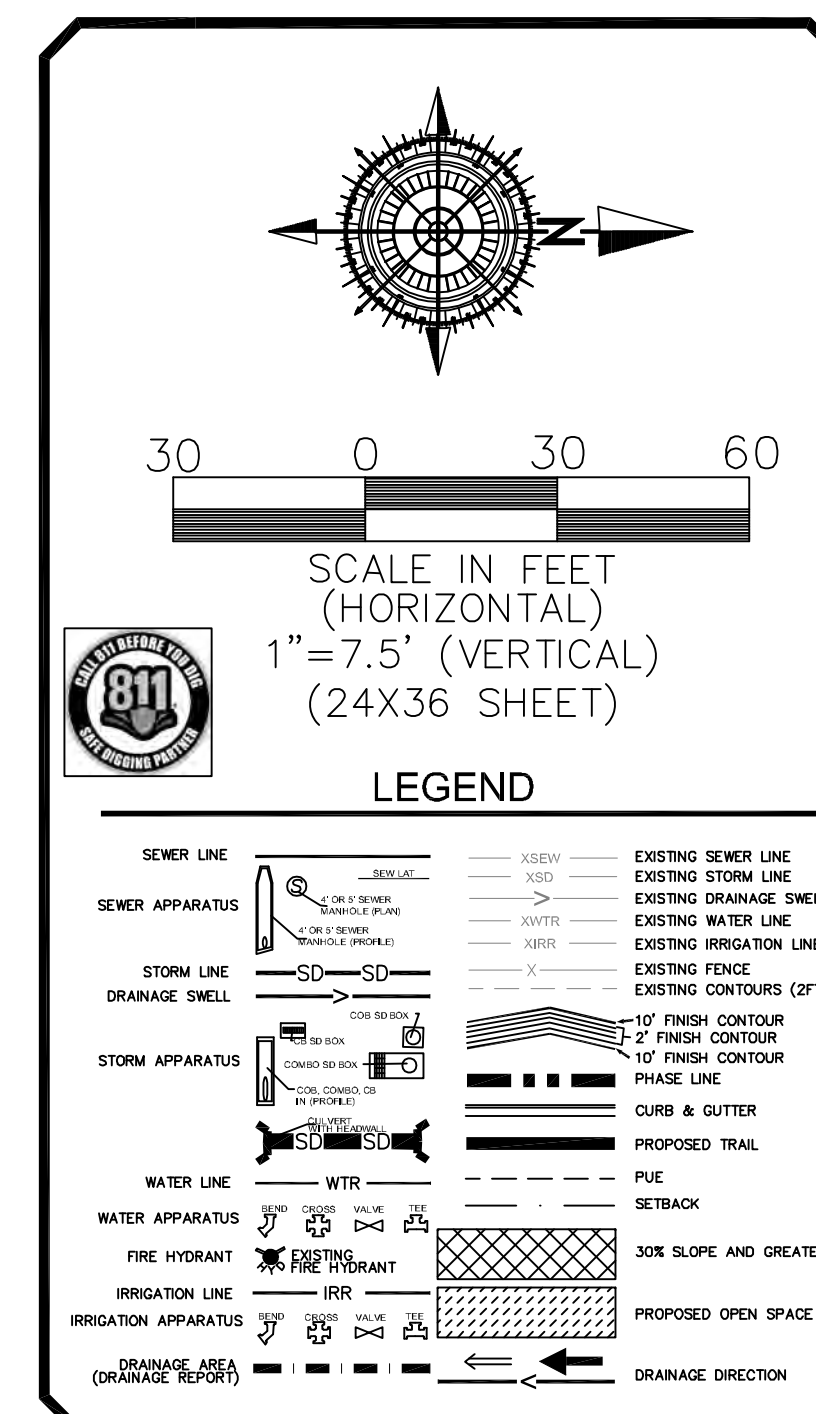
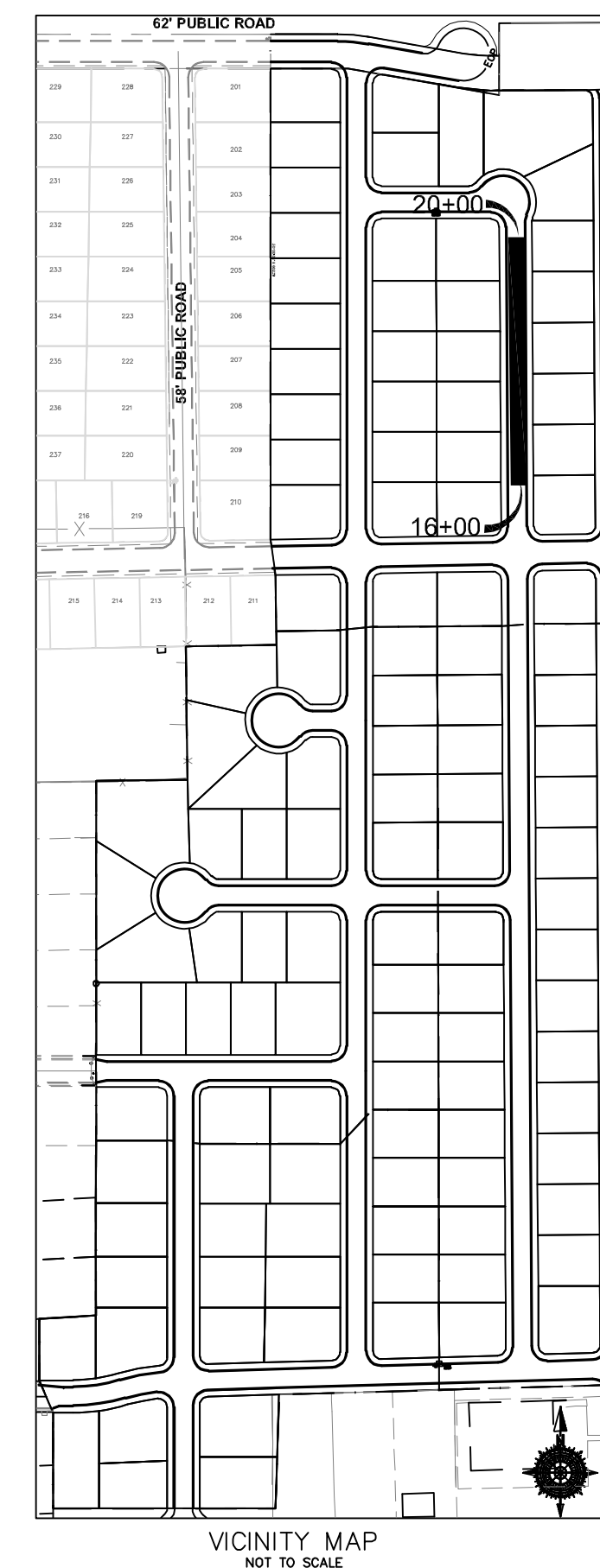
360 EAST (STA: 8+00 to 16+00)

8-7-2025

**SANTAQUIN
CITY**

SEAL


SHEET NO. **PP6**



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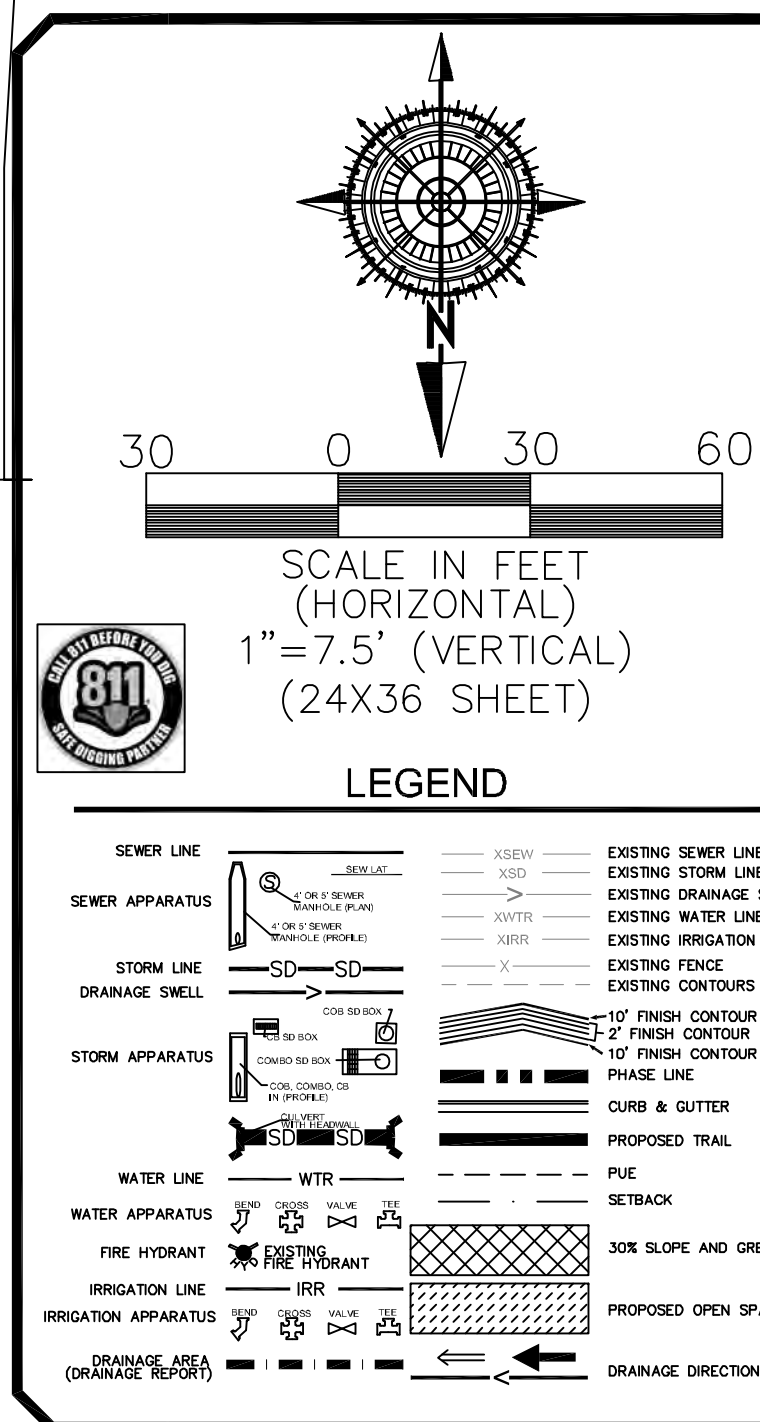
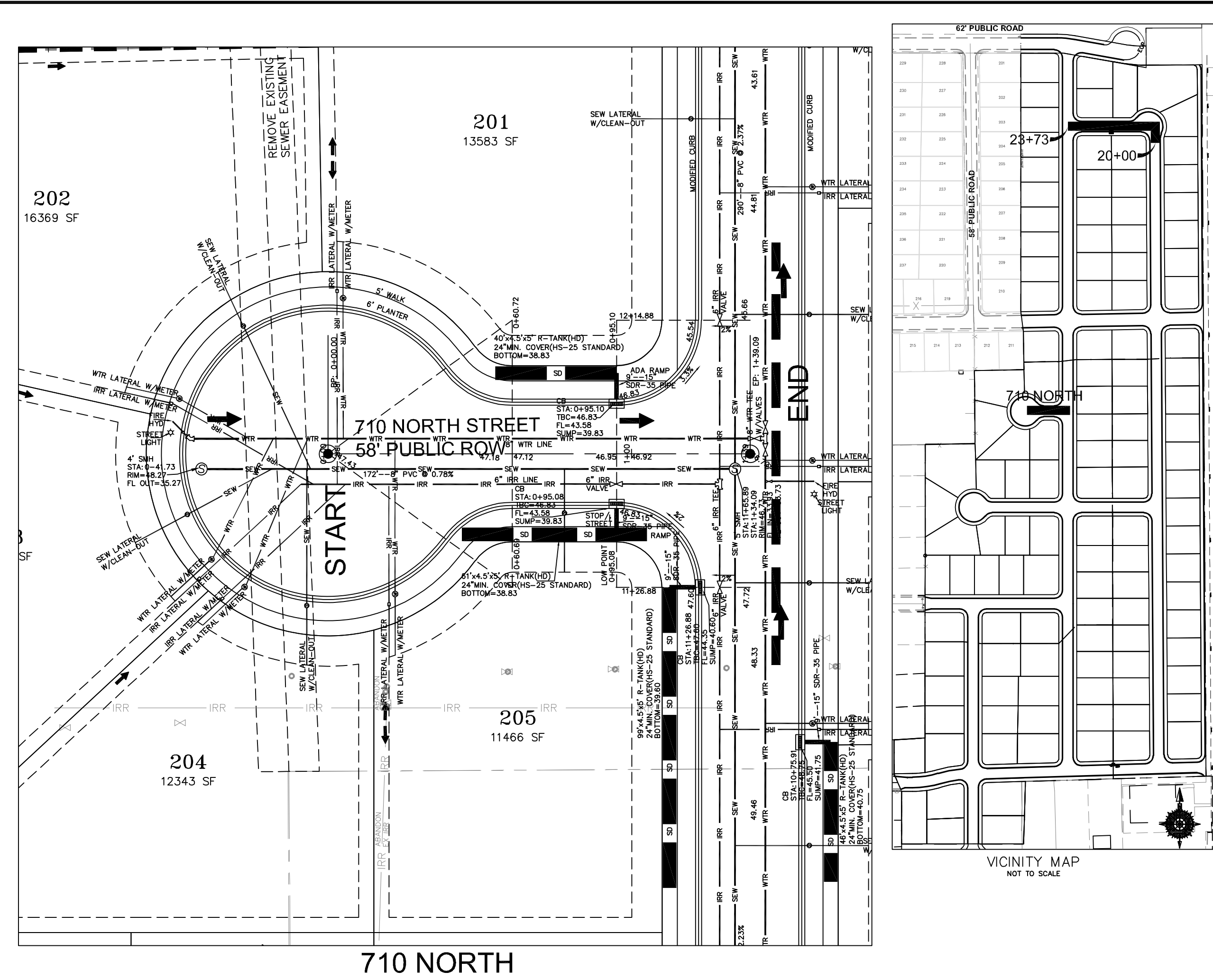
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CONSTRUCTION MANAGEMENT**

SANTAQUIN
CITY




PP7

SHEET NO. _____

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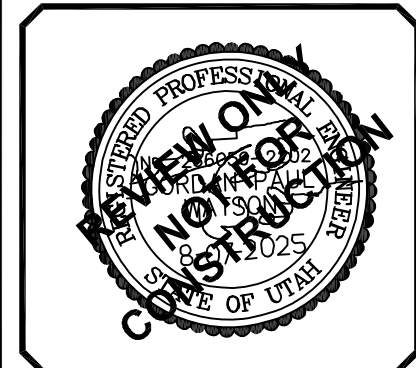
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SURVEY BY:
DRAWN BY : GPW
DESIGNED BY : GPW
CHECKED BY : GPW
SCALE : 1"= 30'

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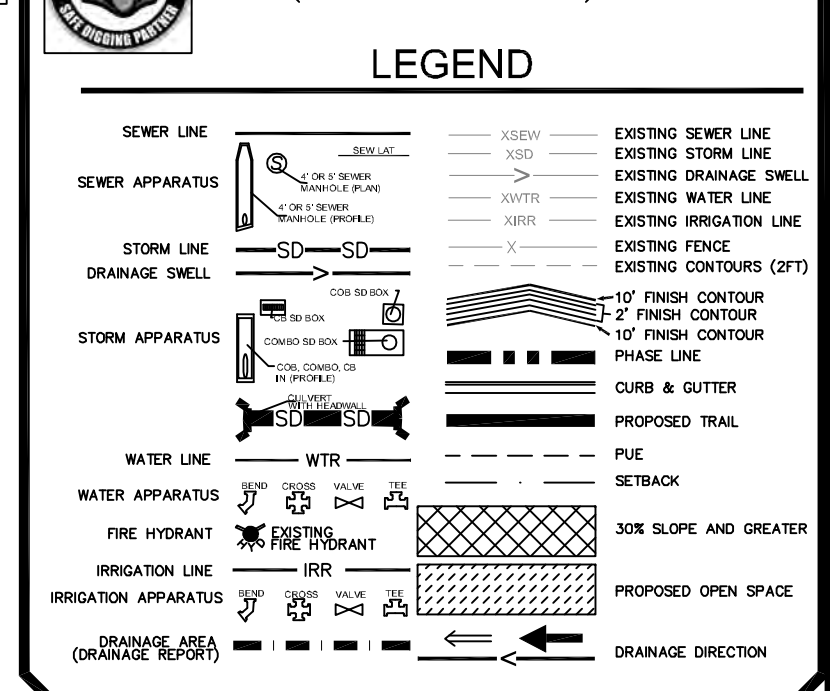
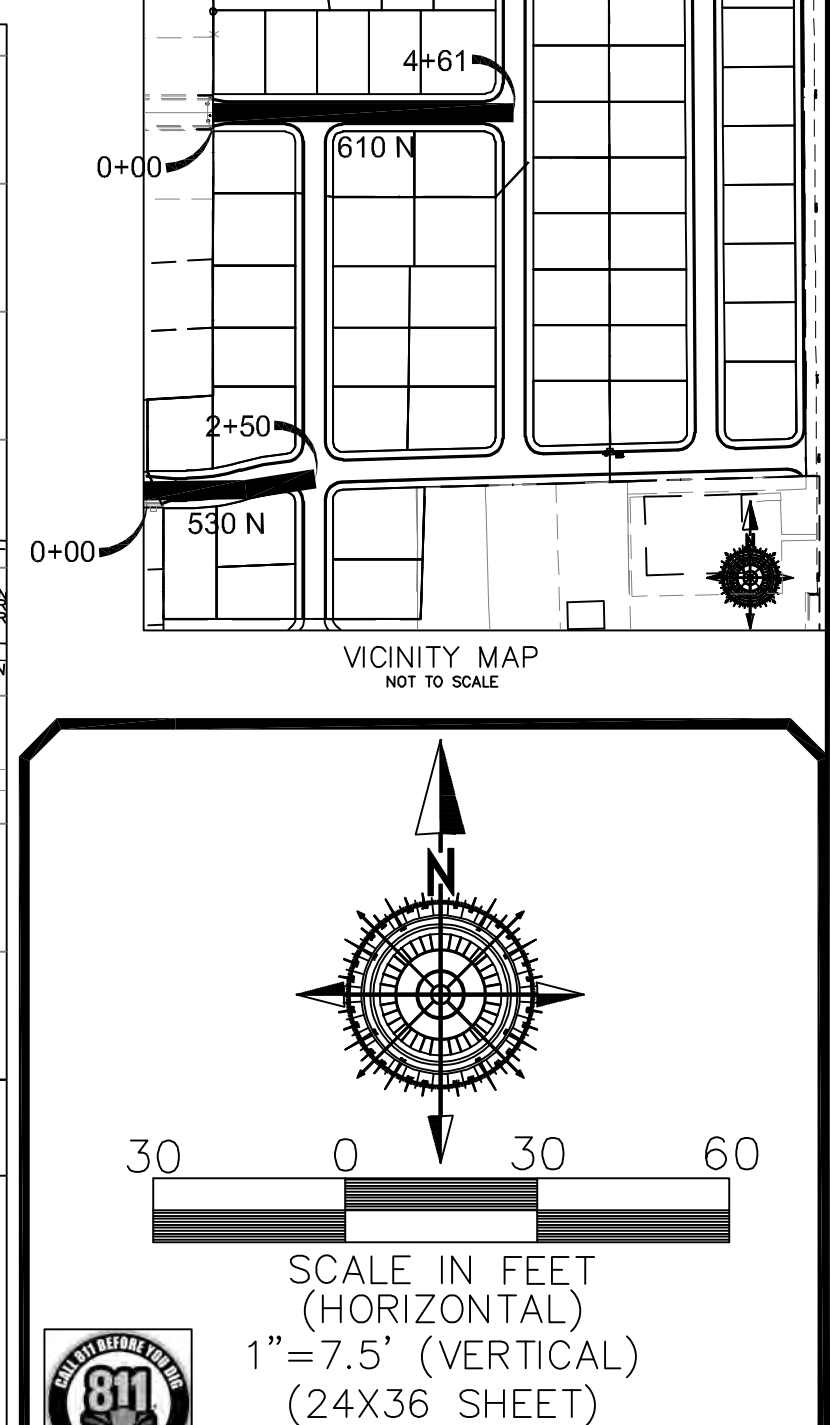
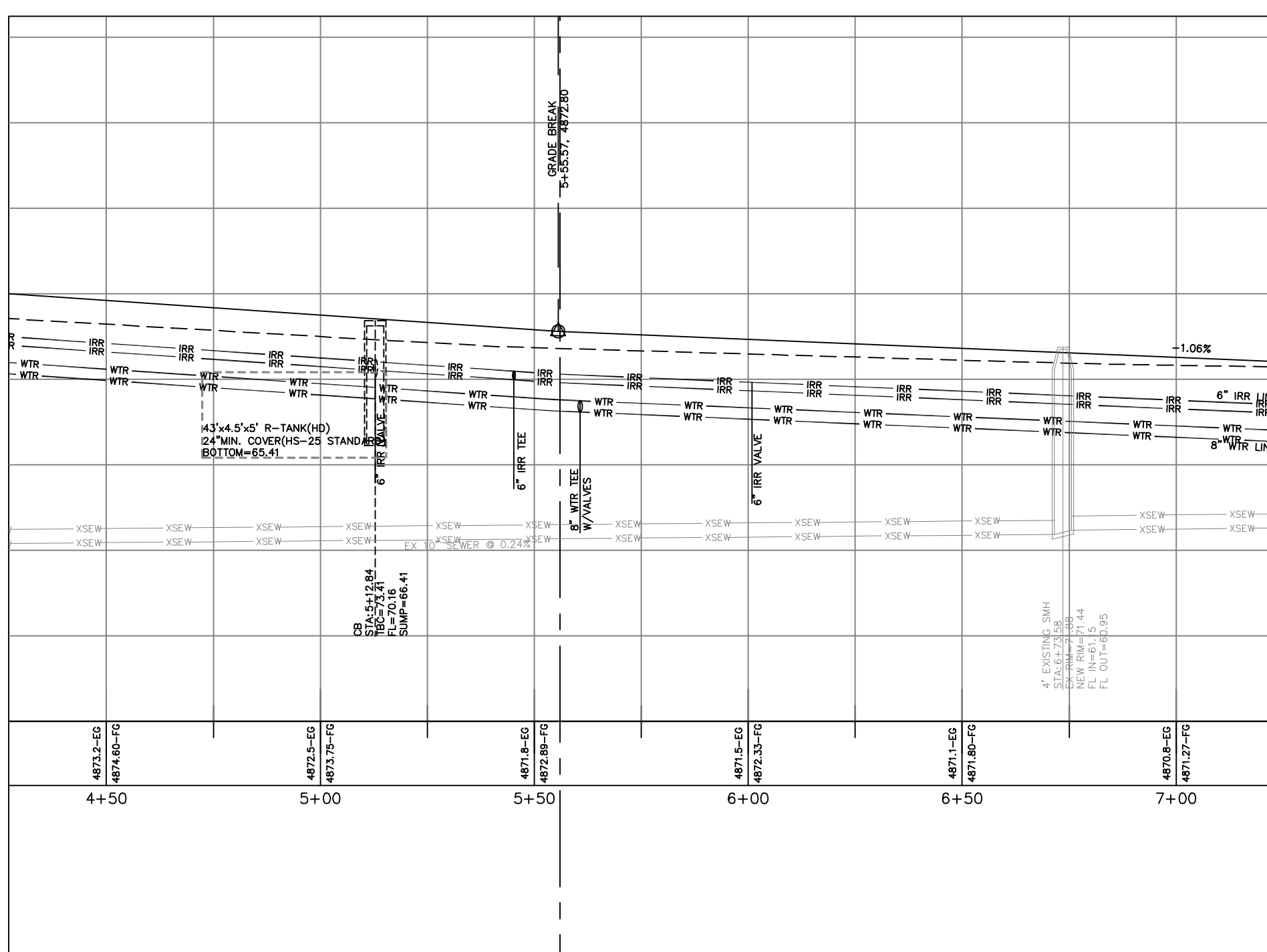
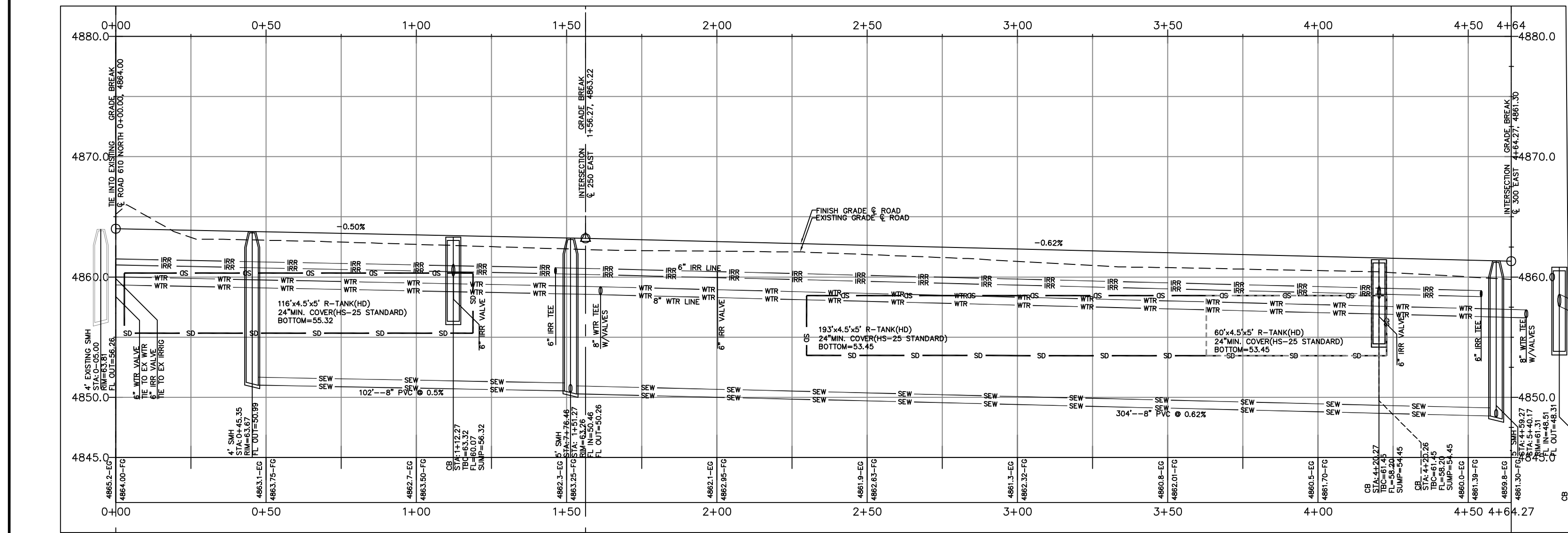
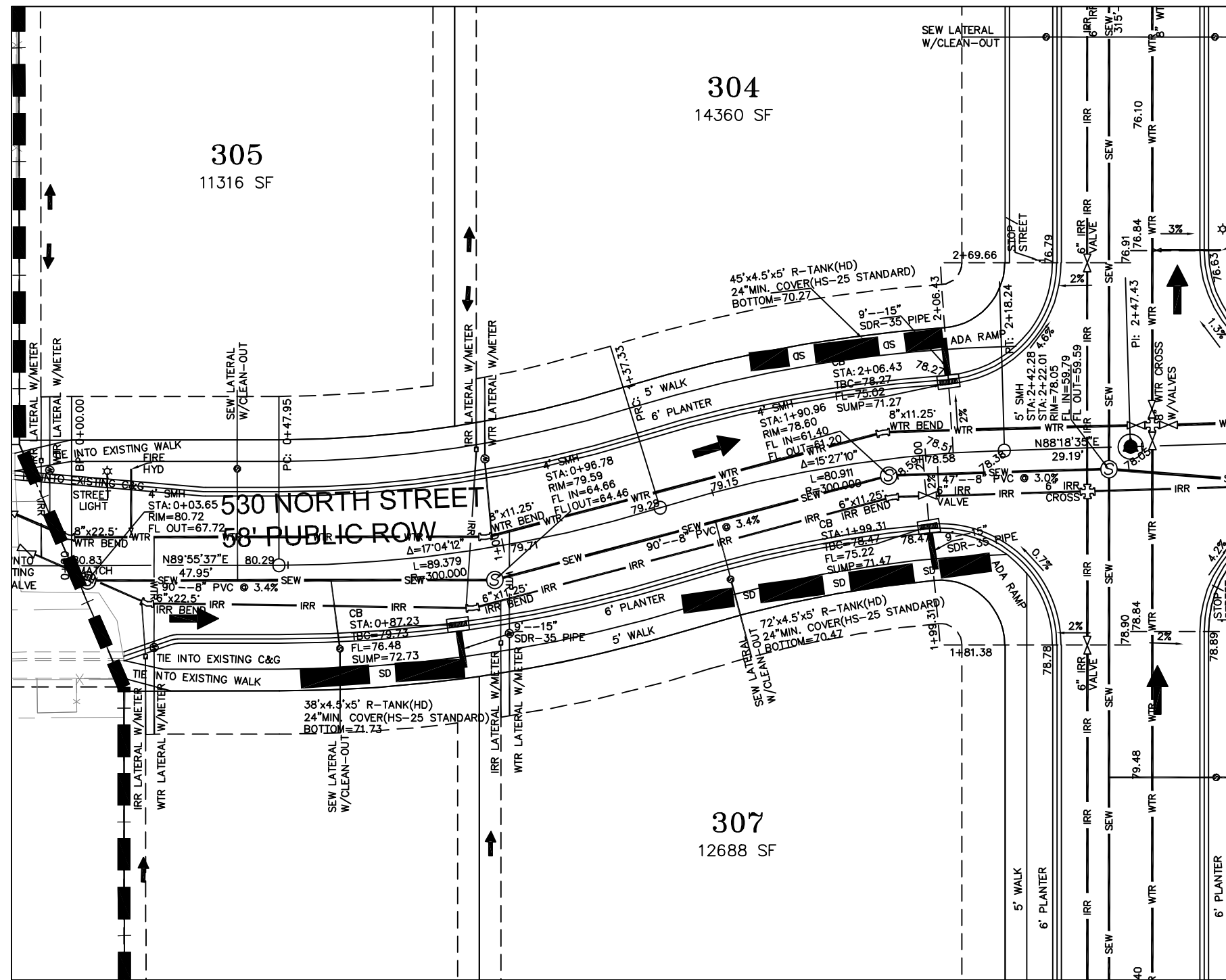
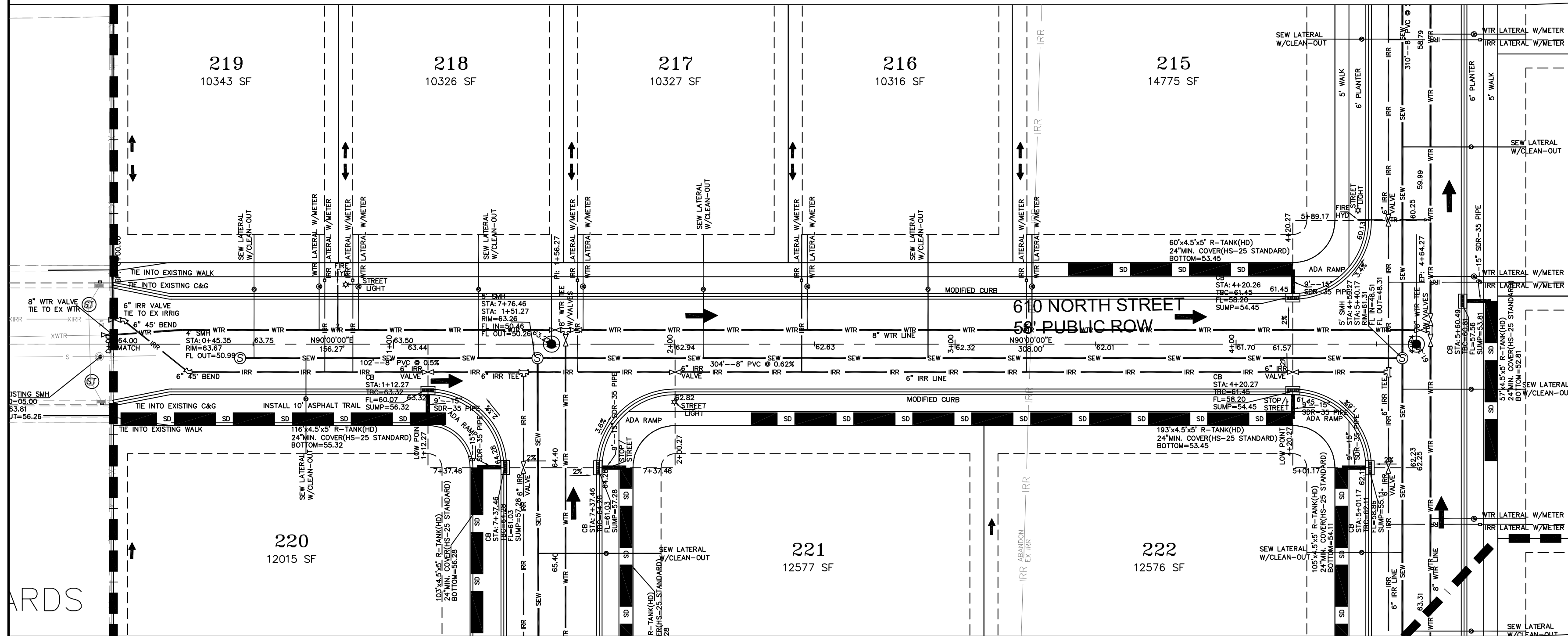
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CONSTRUCTION MANAGEMENT

BELLA VISTA
SUBDIVISION
PLAN AND PROFILE
360 EAST (STA:16+00 to 23+73)
8-7-2025

SANTAQUIN
CITY



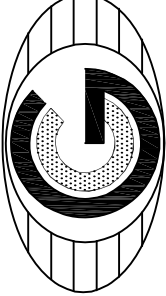
SHEET NO. PP8



NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: OPW
DRAWN BY: OPW
DESIGNED BY: OPW
CHECKED BY: OPW
SCALE: 1"=30'



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BELLA VISTA

SUBDIVISION


PLAN AND PROFILE

610 NORTH

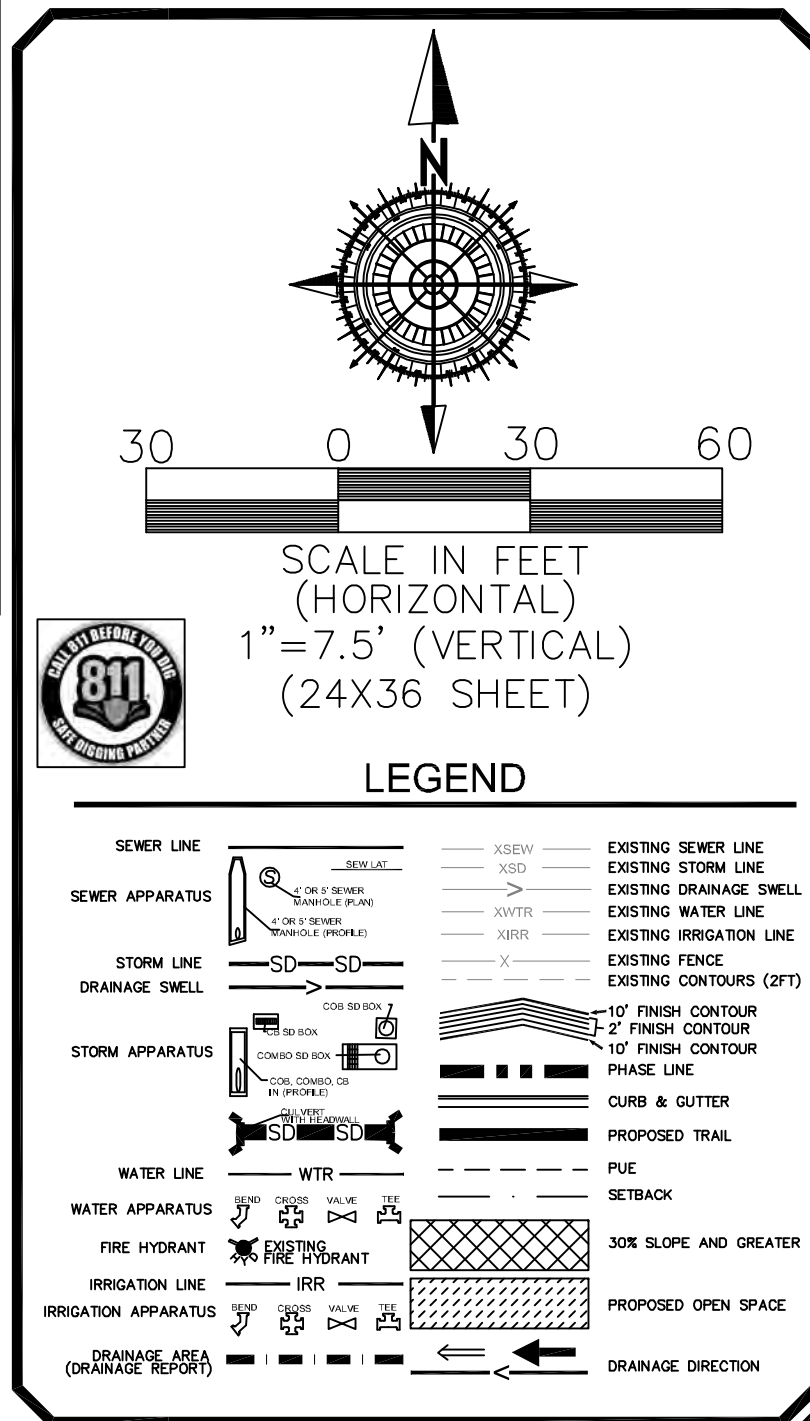
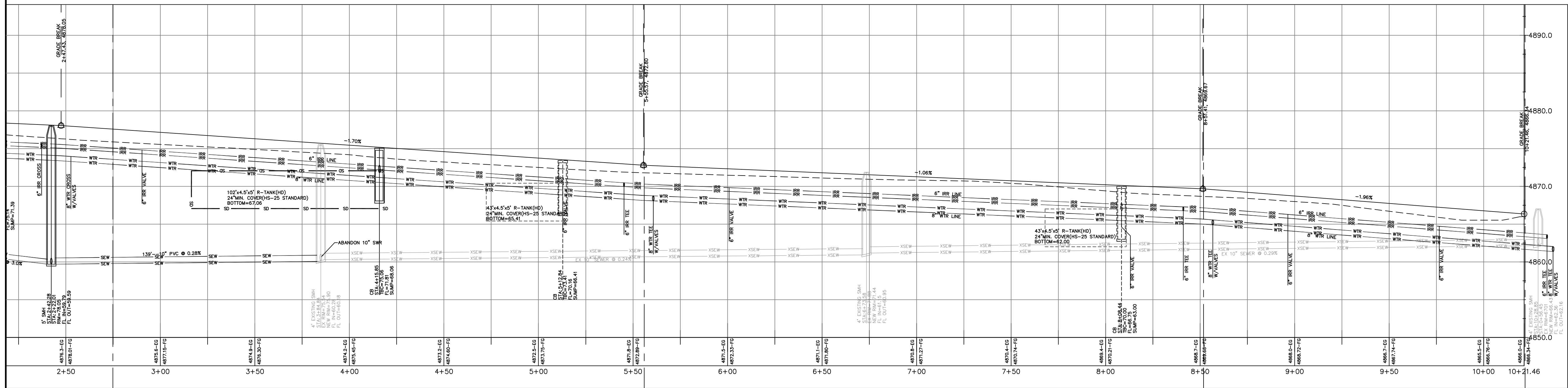
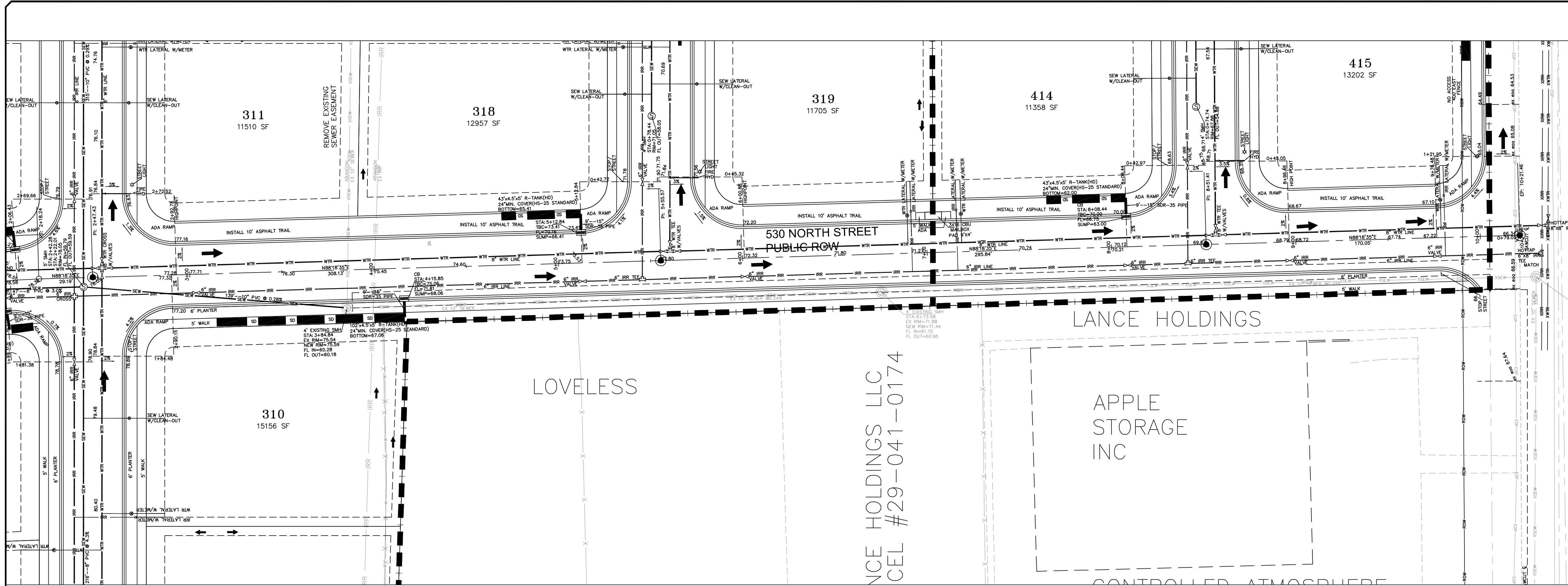
530 NORTH (STA: 0+00 to 2+50)

8-7-2025

SANTAQUIN CITY



SHEET NO. PP9



NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21	SURVEY BY: CPW	DRAWN BY: CPW	DESIGNED BY: CPW	CHECKED BY: CPW	SCALE: 1"=30'
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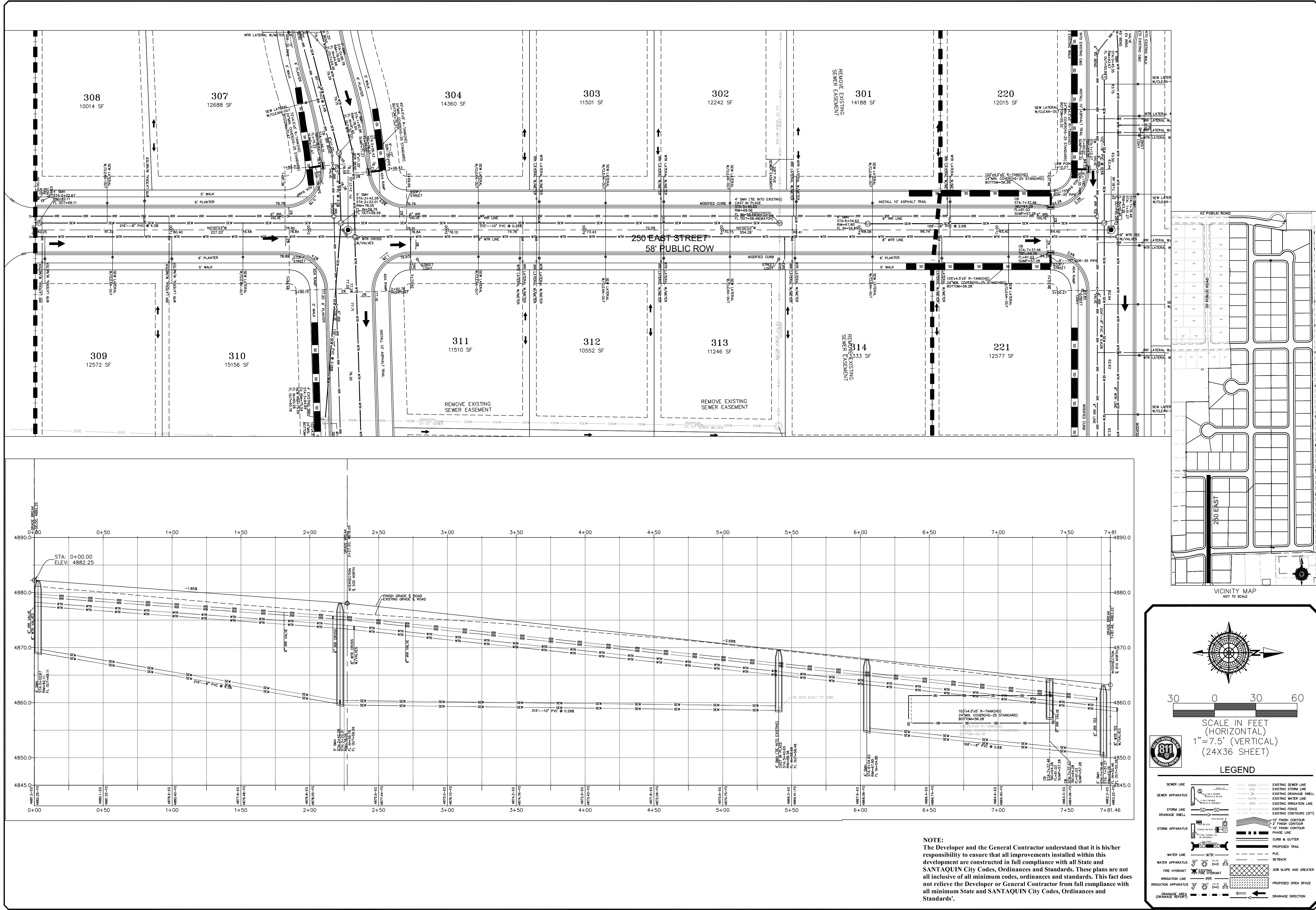
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CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
PLAN AND PROFILE
610 NORTH (STA: 2+50 to 10+21)
8-7-2025

SANTAQUIN CITY


PP10

SHEET NO.



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
SURVEY BY: CPW
DRAWN BY: CPW
DESIGNED BY: CPW
CHECKED BY: CPW
SCALE: 1"=30'



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CONSTRUCTION MANAGEMENT

BELLA VISTA

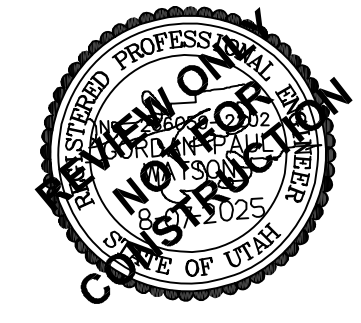
SUBDIVISION

PLAN AND PROFILE

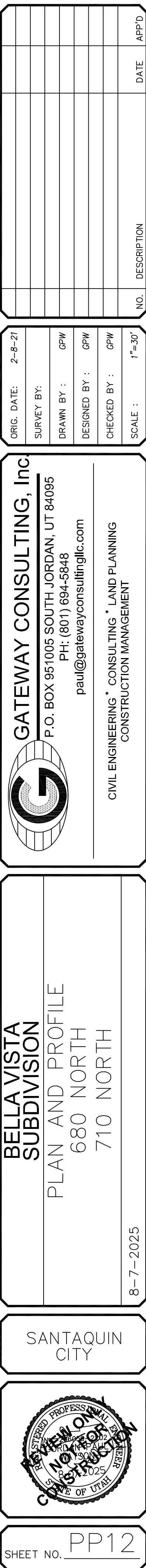
250 EAST

8-7-2025

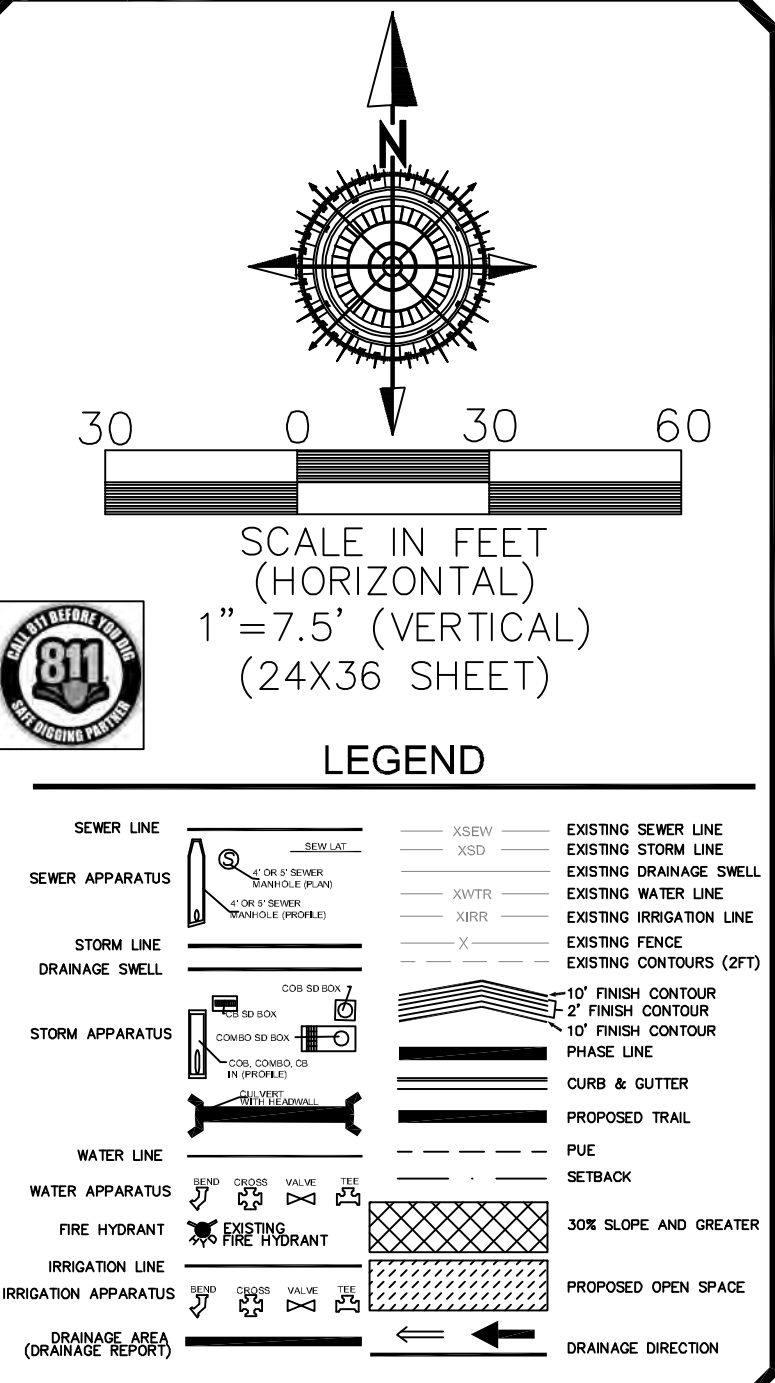
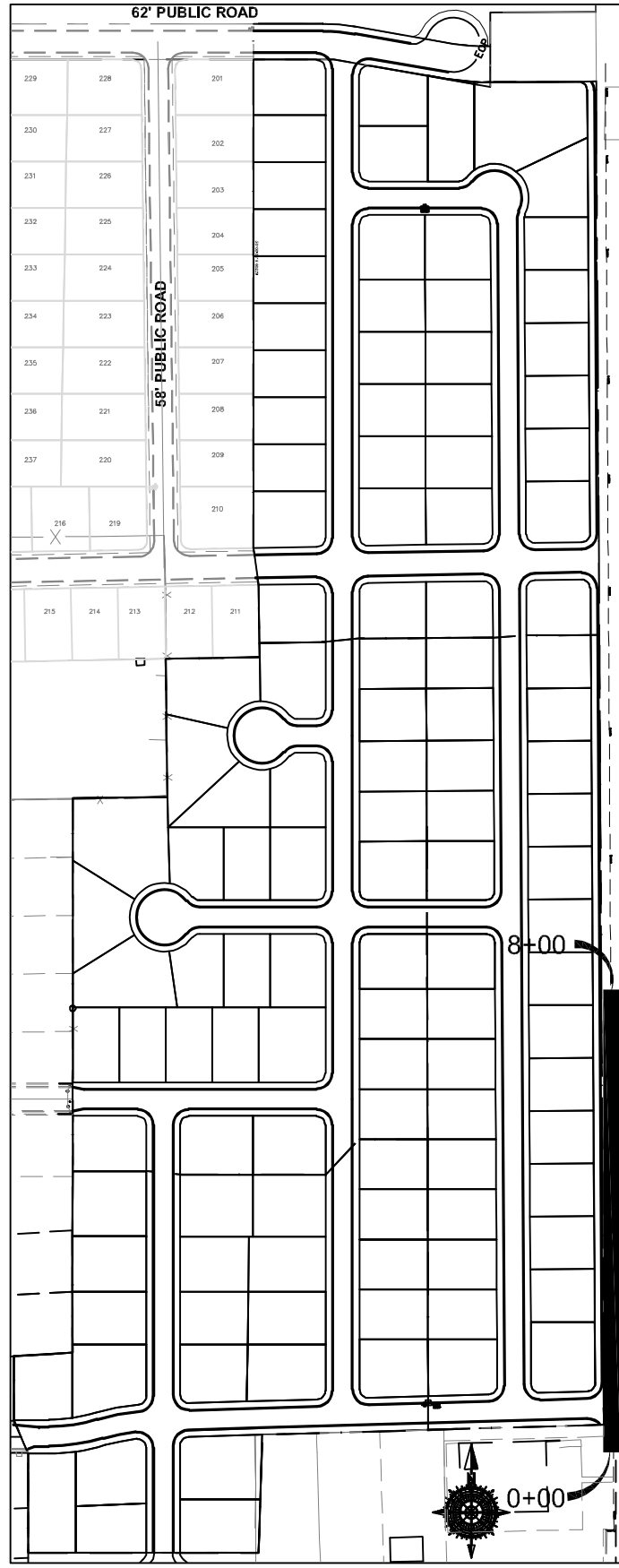
SANTAQUIN CITY





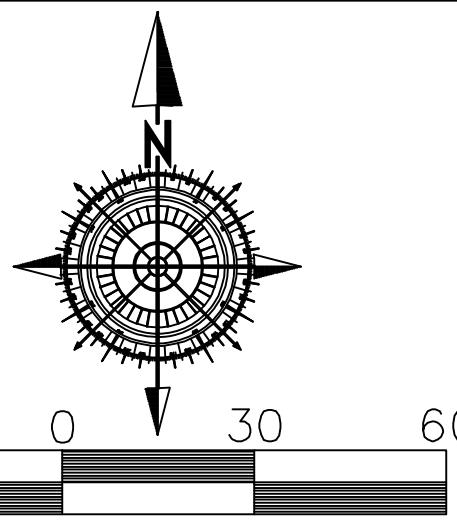
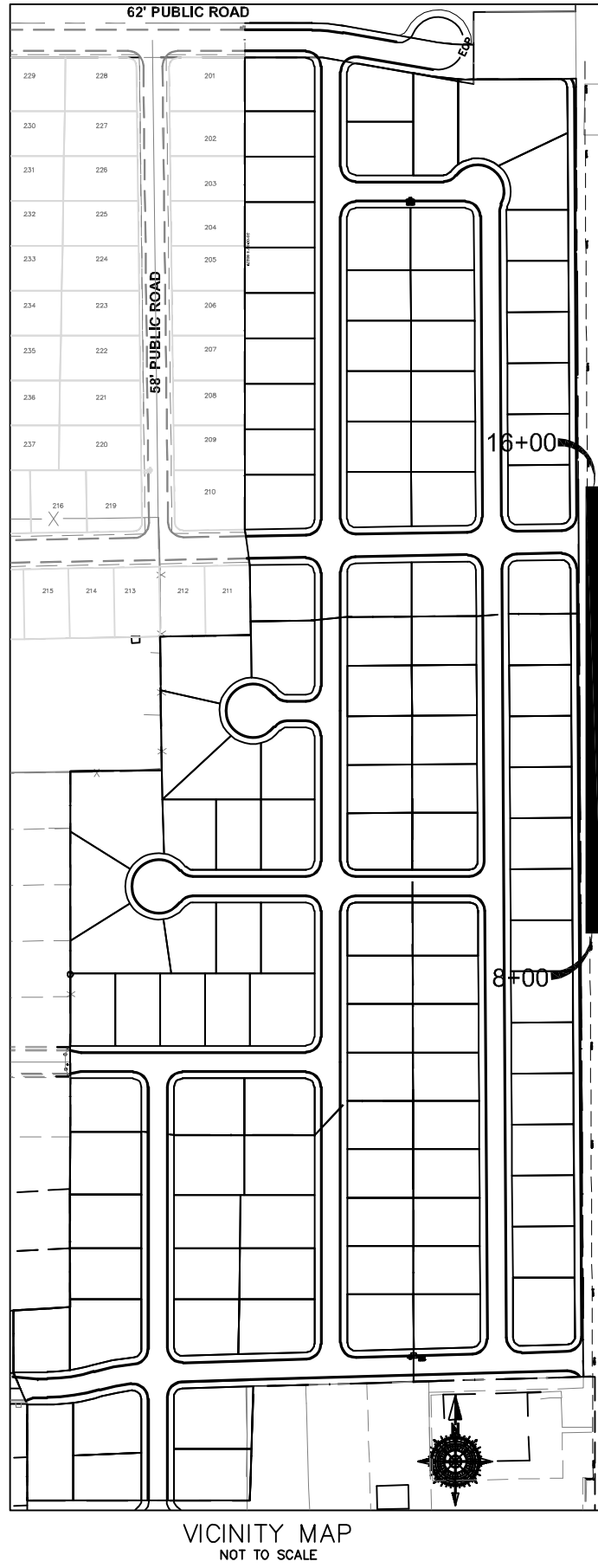
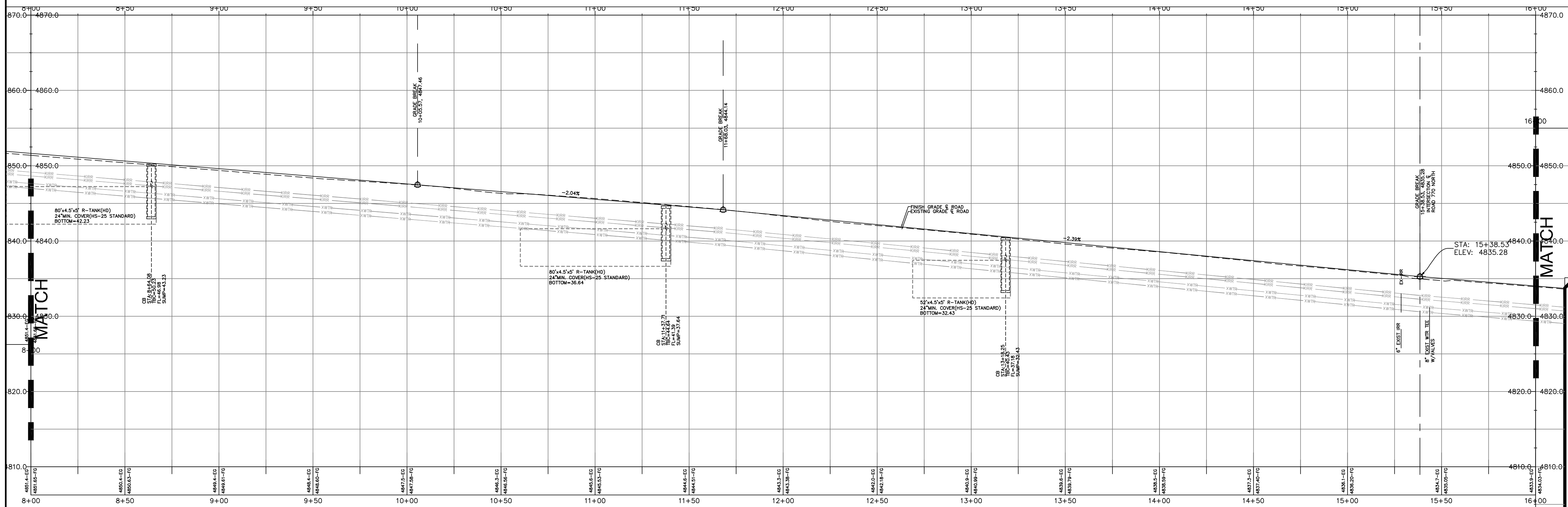
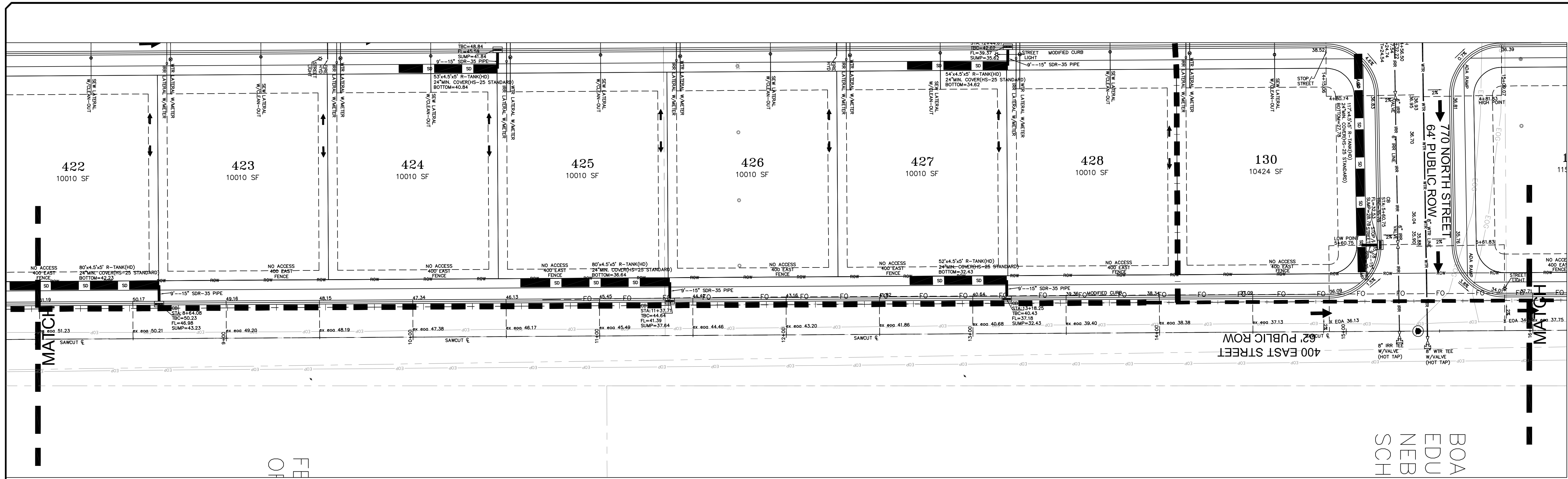
SHEET NO. **PP11**



NOTE: The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and SANTAQUIN City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and SANTAQUIN City Codes, Ordinances and Standards'.



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		SURVEY BY:			
		DRAWN BY: GFW			
		DESIGNED BY: GFW			
		CHECKED BY: GFW			
		SCALE: 1"=30'			
<p>BELLA VISTA SUBDIVISION</p> <p>PLAN AND PROFILE</p> <p>400 EAST (STA: 0+00 to 8+00)</p> <p>8-7-2025</p>		NO.		DESCRIPTION	
<p>SANTAQUIN CITY</p>		DATE		APP'D	
		SHEET NO. PP13			



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SHELL
DRAINAGE SHELL	EXISTING WATER LINE
	EXISTING IRRIGATION LINE
	EXISTING FENCE
	EXISTING CONTOURS (2 FT)
	10' FINISH CONTOUR
	2' FINISH CONTOUR
	PHASE LINE
	CURB & GUTTER
	PROPOSED TRAIL
	PVE
	SETBACK
	30% SLOPE AND GREATER
	PROPOSED OPEN SPACE
	DRAINAGE DIRECTION

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21	OPW
SURVEY BY: OPW	OPW
DRAWN BY: OPW	OPW
DESIGNED BY: OPW	OPW
CHECKED BY: OPW	OPW
SCALE: 1"=30'	

GATEWAY CONSULTING, Inc.
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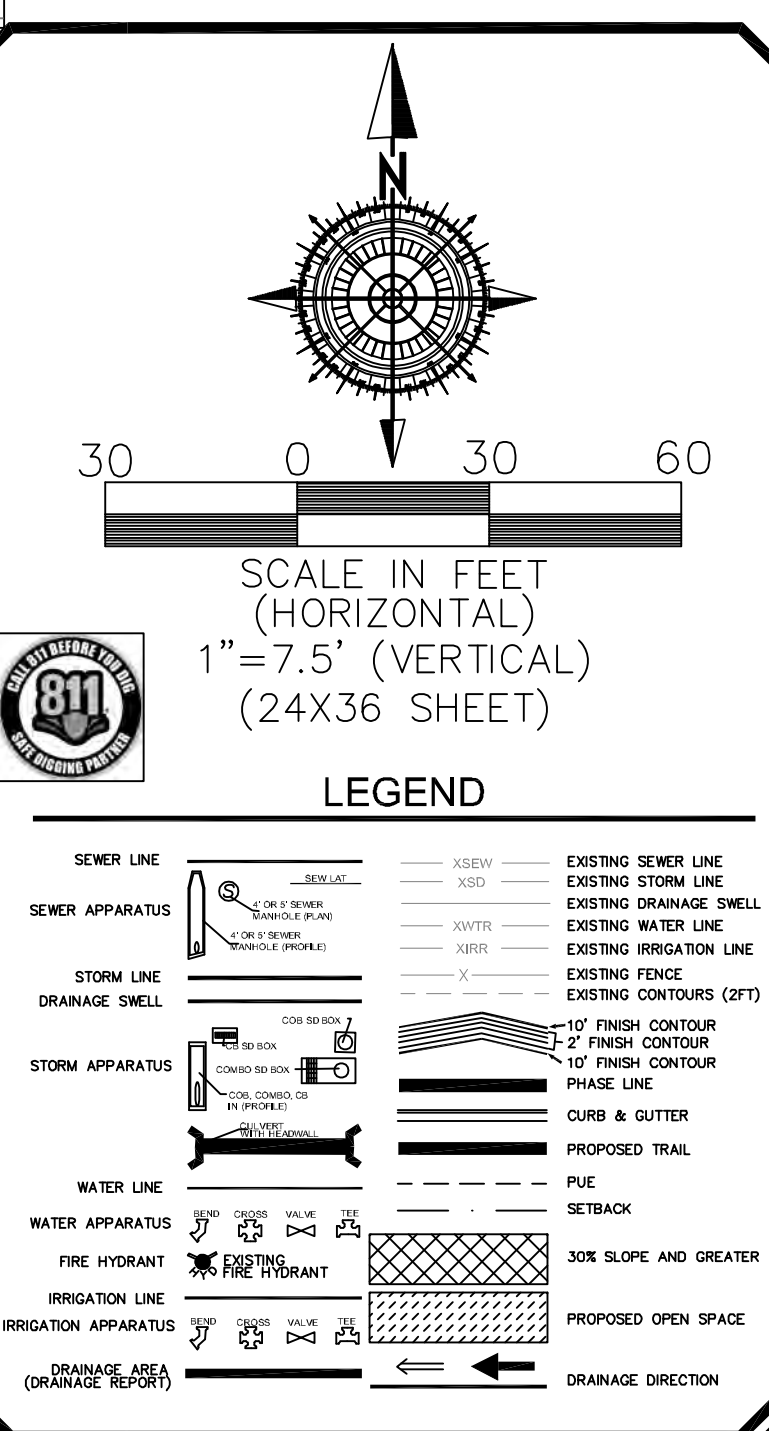
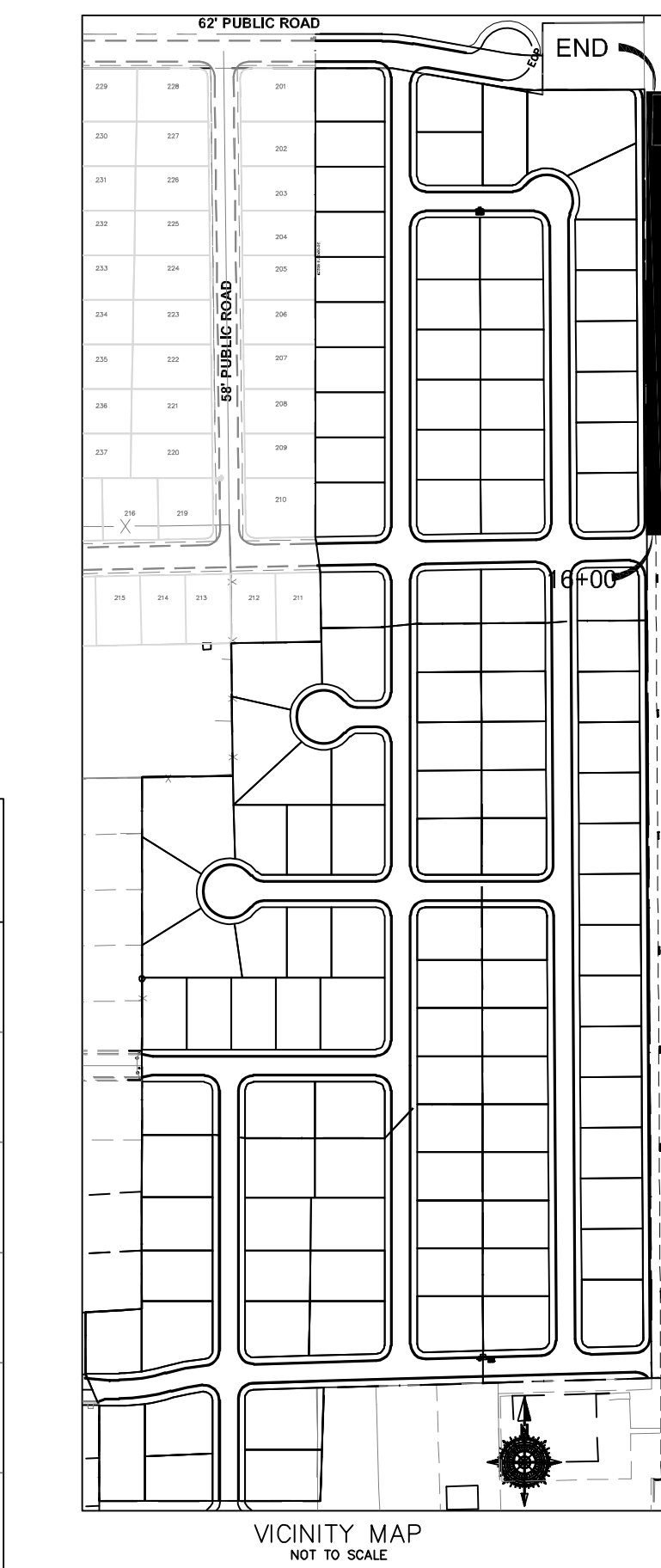
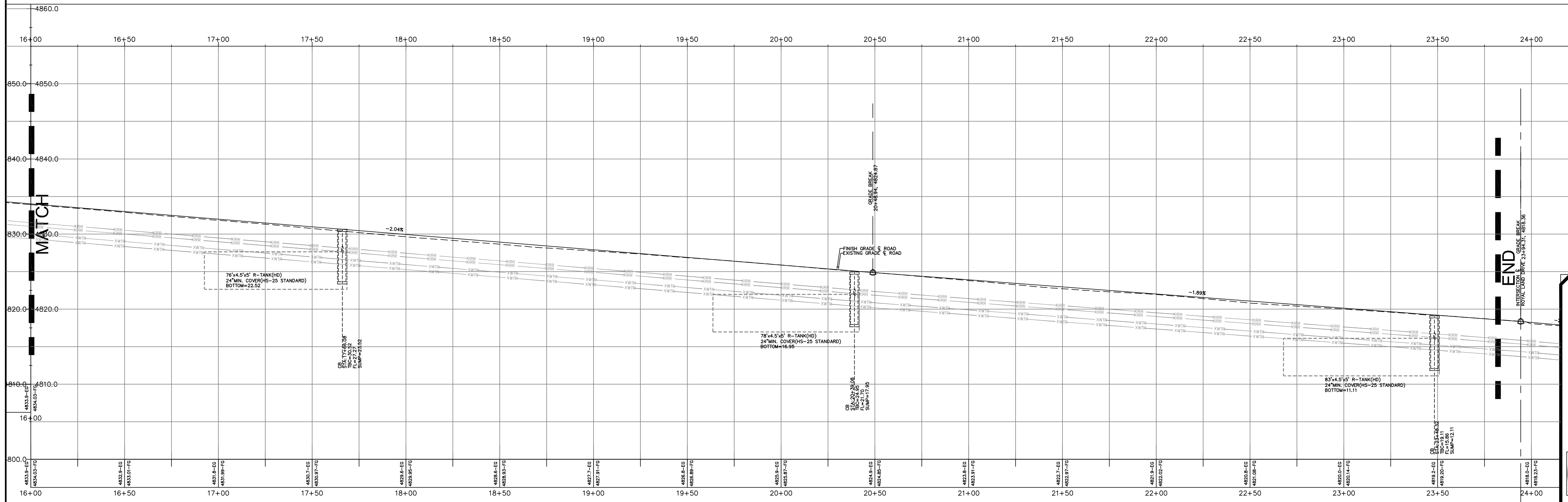
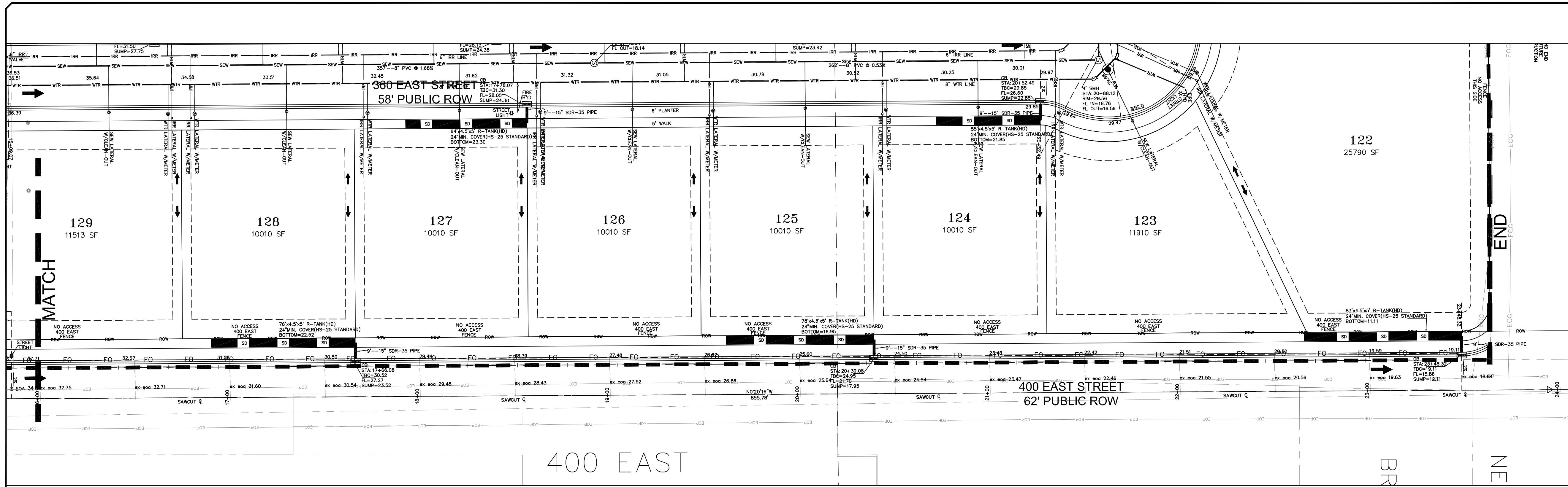
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
PLAN AND PROFILE
400 EAST (STA: 8+00 to 16+00)
8-7-2025

SANTAQUIN CITY

SEAL
Professional Engineer
No. 100000000
State of Utah

SHEET NO. **PP14**



NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21	1"=30'
SURVEY BY: GPW	
DRAWN BY: GPW	
DESIGNED BY: GPW	
CHECKED BY: GPW	
SCALE: 1"=30'	

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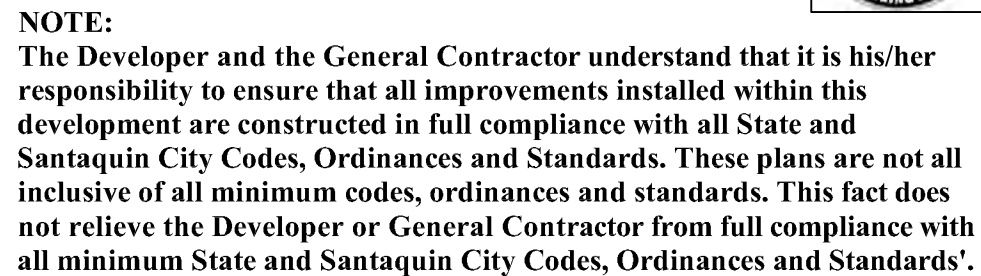
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

BELLA VISTA SUBDIVISION
PLAN AND PROFILE
400 EAST (STA: 16+00 to END)
8-7-2025

SANTAQUIN CITY

SEAL
Professional Engineer
No. 10000
State of Utah

SHEET NO. **PP15**



**BELLA VISTA
SUBDIVISION**

*STORM WATER POLLUTION
PREVENTION PLAN*

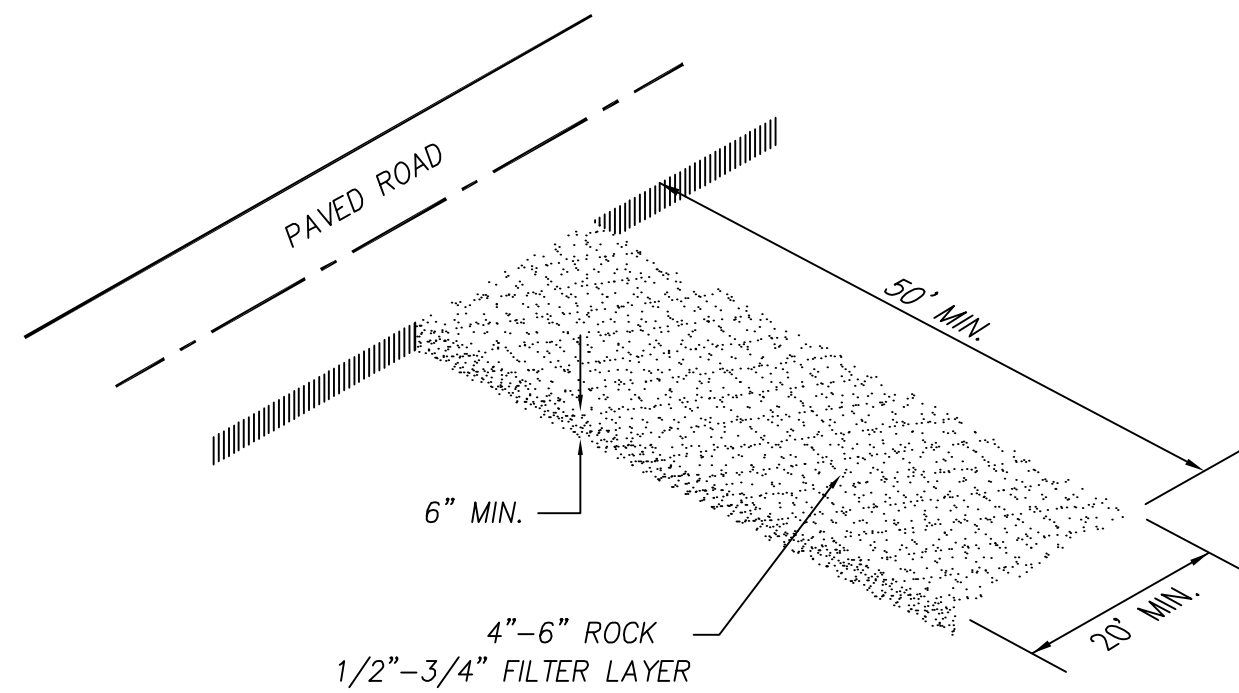
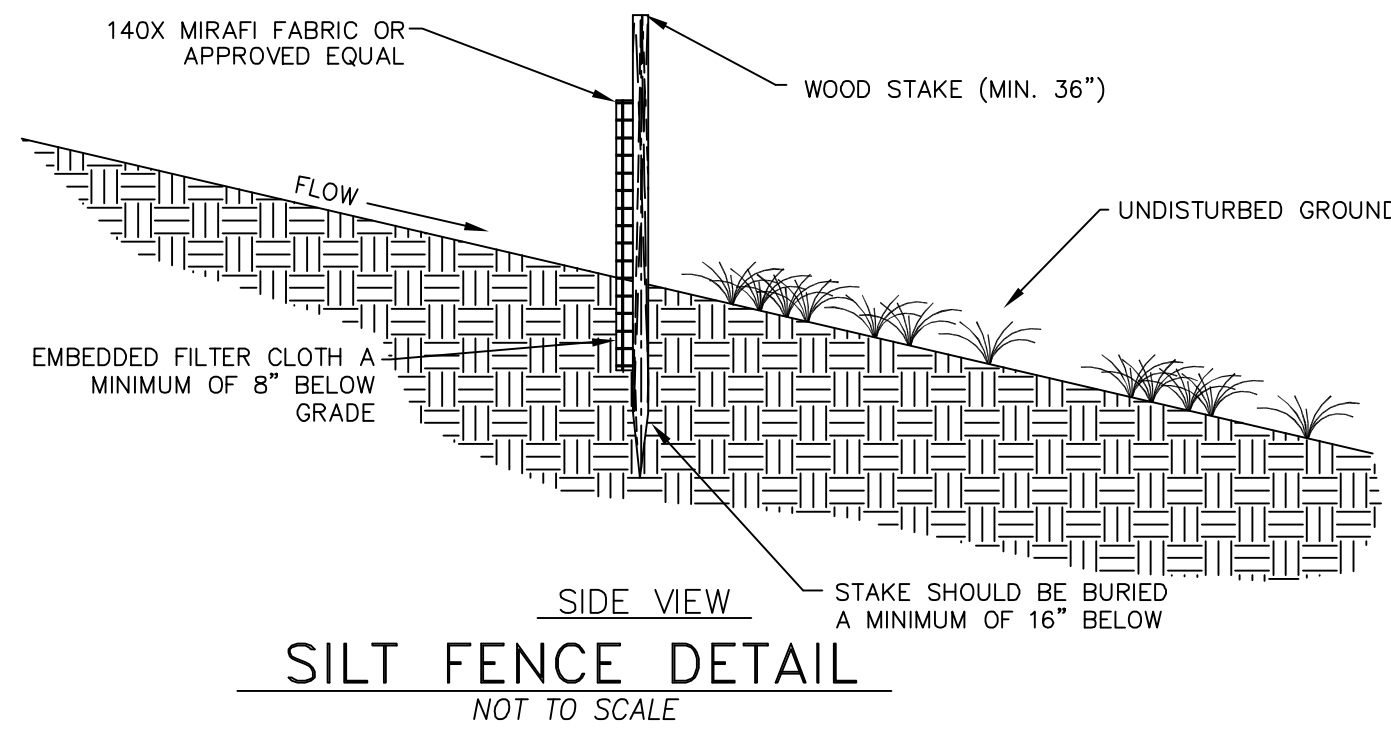
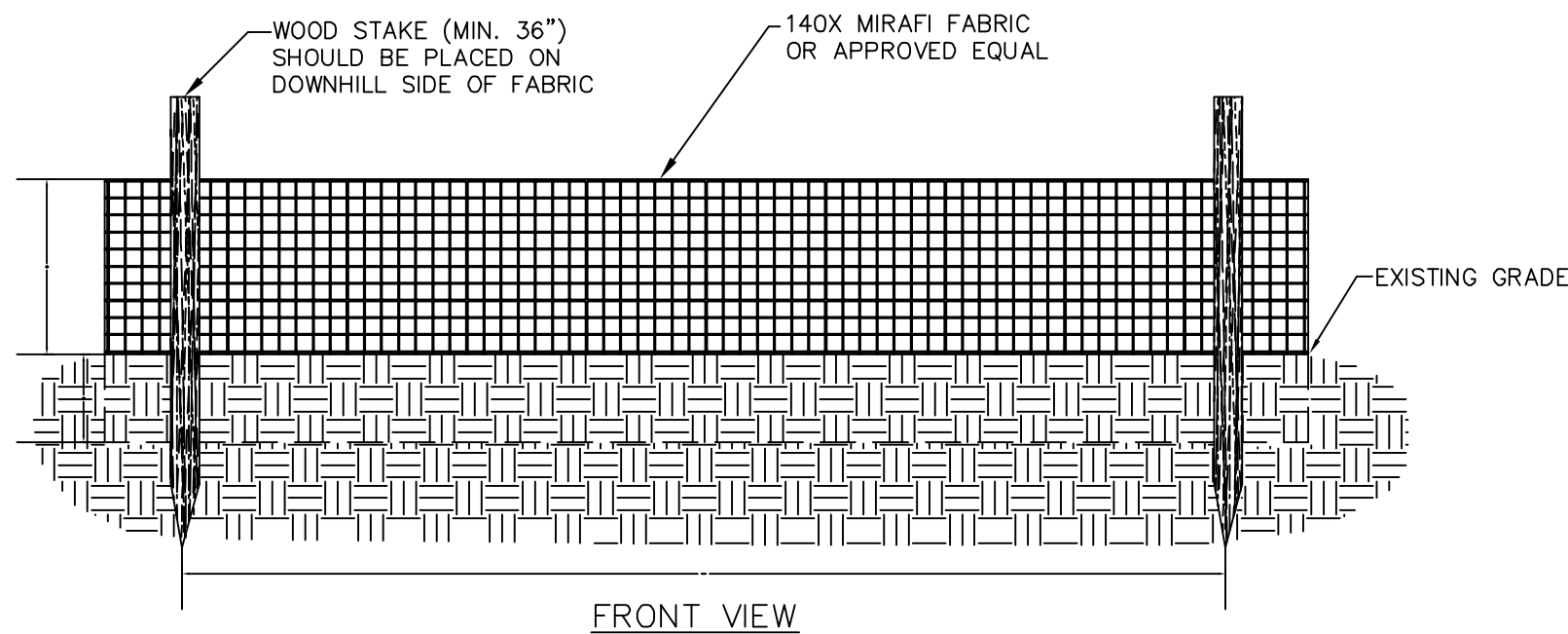
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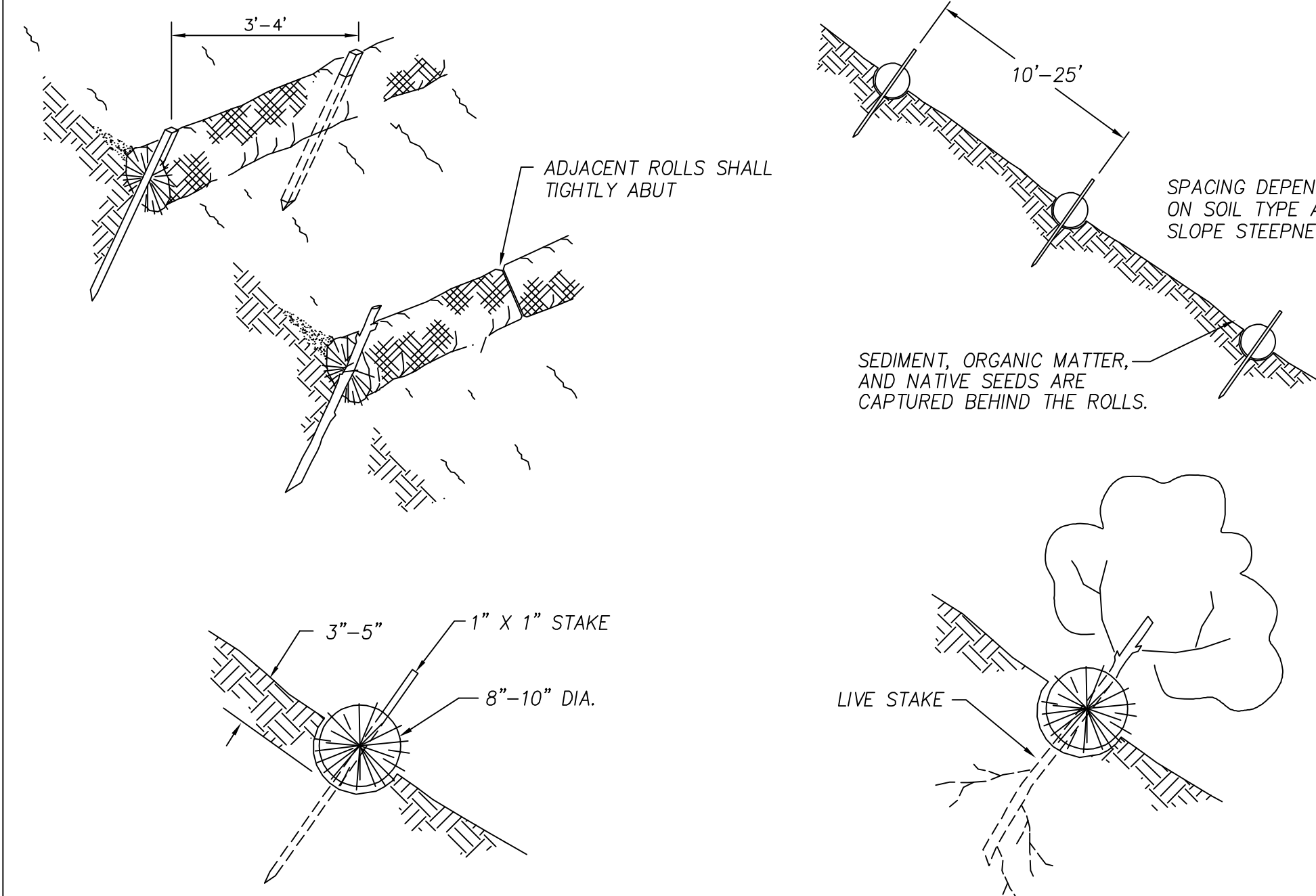
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SURVEY BY:	
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=80'

**CIVIL ENGINEERING · CONSULTING · LAND PLANNING
CONSTRUCTION MANAGEMENT**



- NOTES:
- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
 - 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)
 - 3-PLACE COURSE AGGREGATE 1 TO 2-1/2 INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES
 - 4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

VEHICLE TRACKING DETAIL
NOT TO SCALE



NOTES:

Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

STRAW WATTLE (SILT FENCE ALTERNATIVE)
NOT TO SCALE

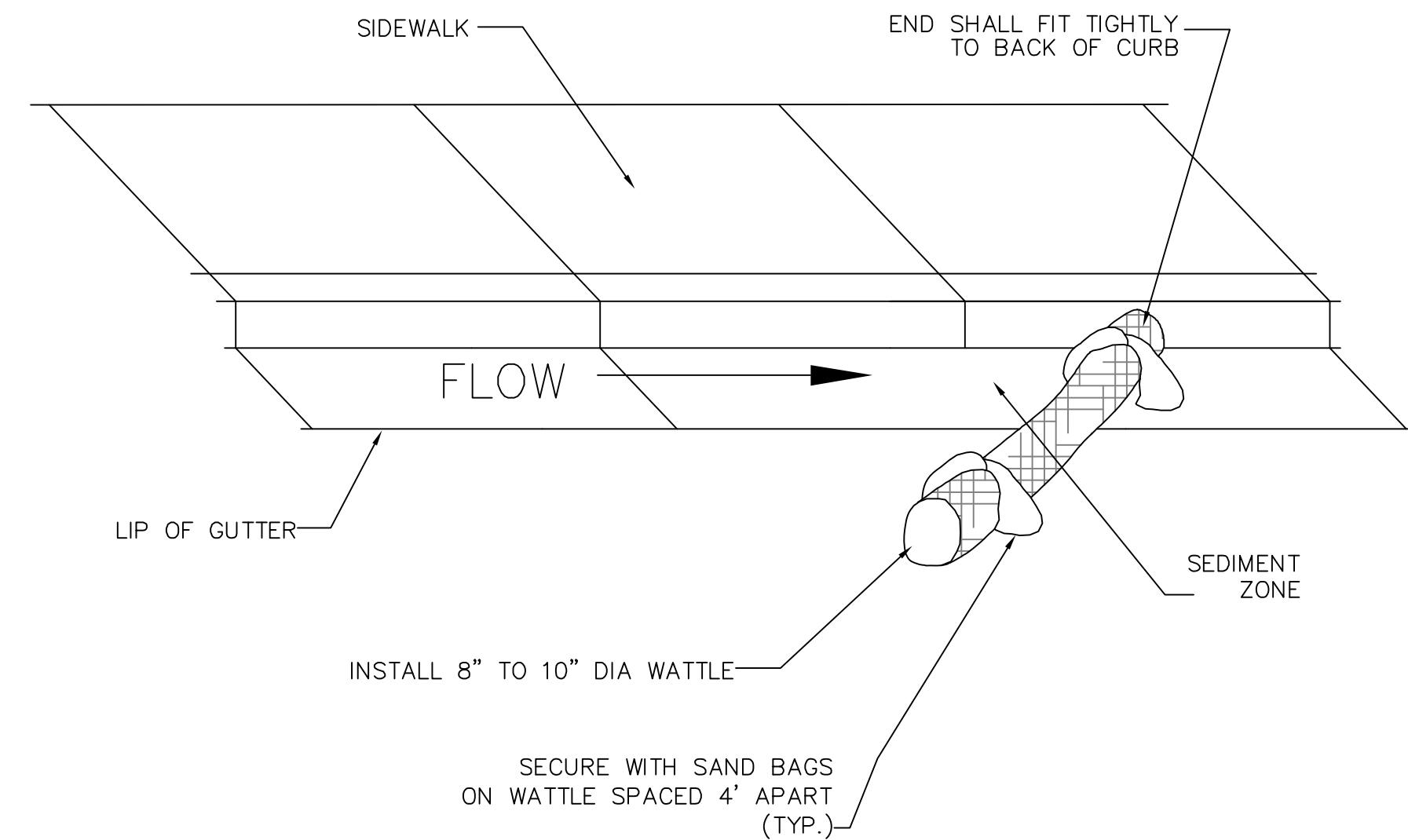
NOTE:

TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

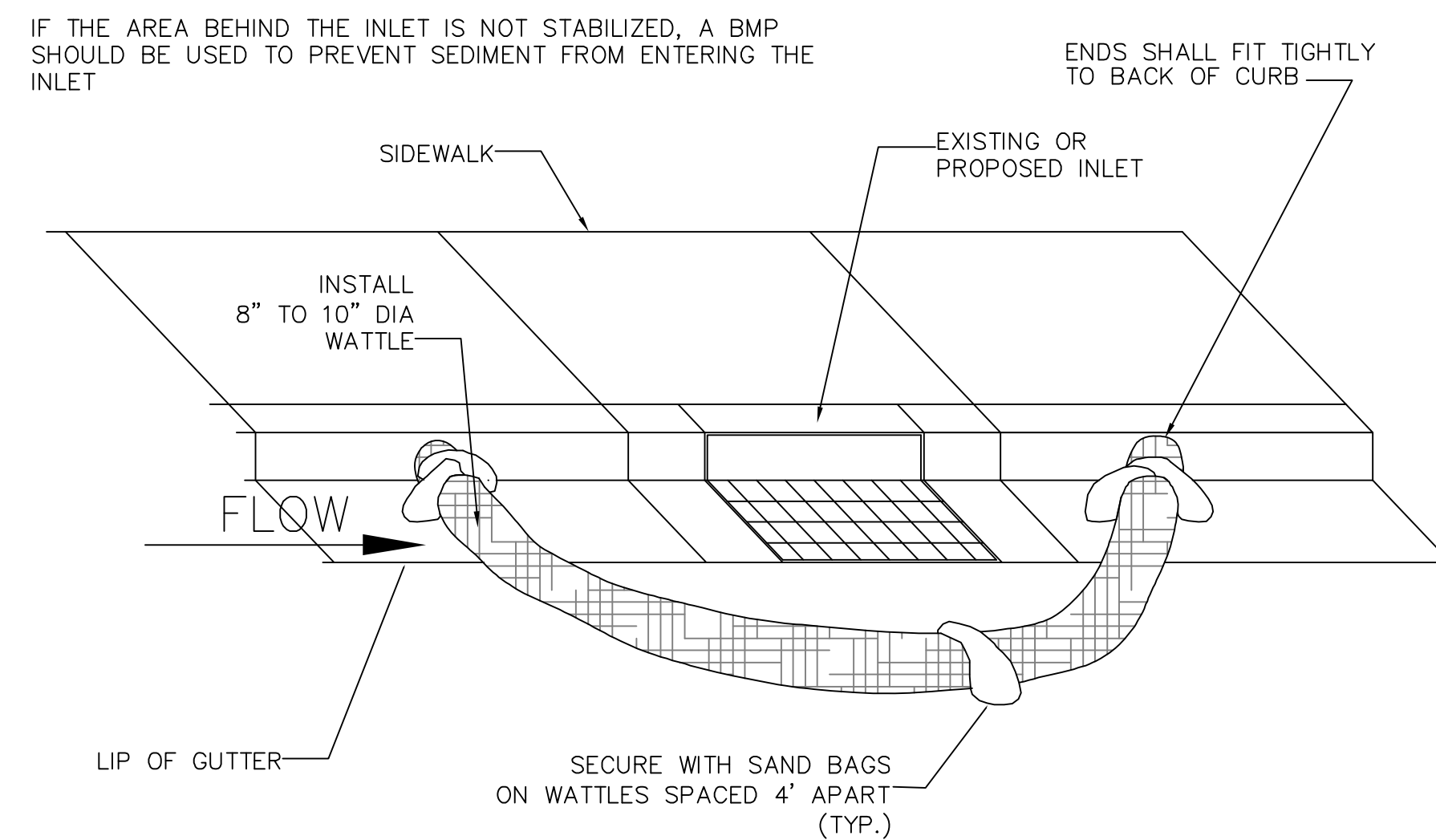
INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



NOTE:

INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP



INLET PROTECTION BARRIERS
NOT TO SCALE

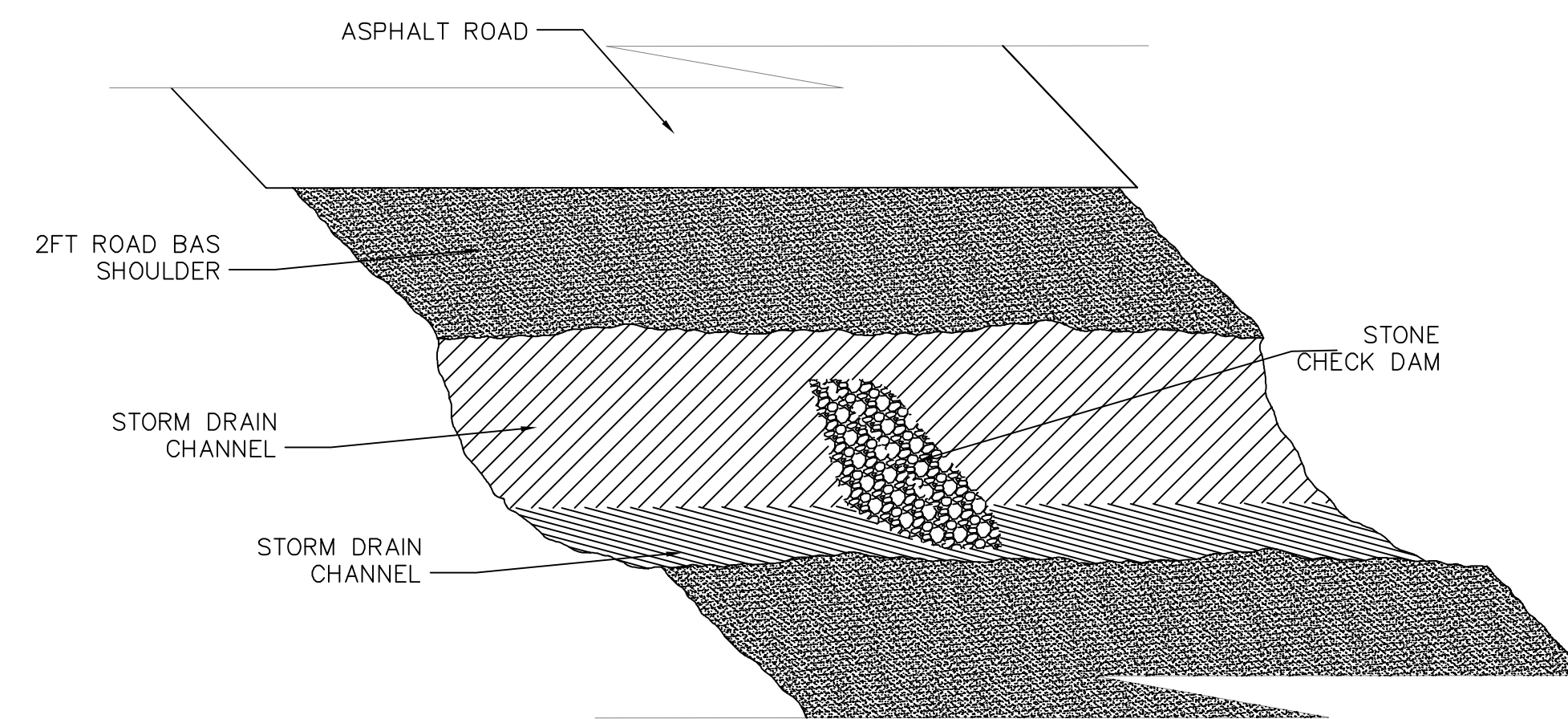
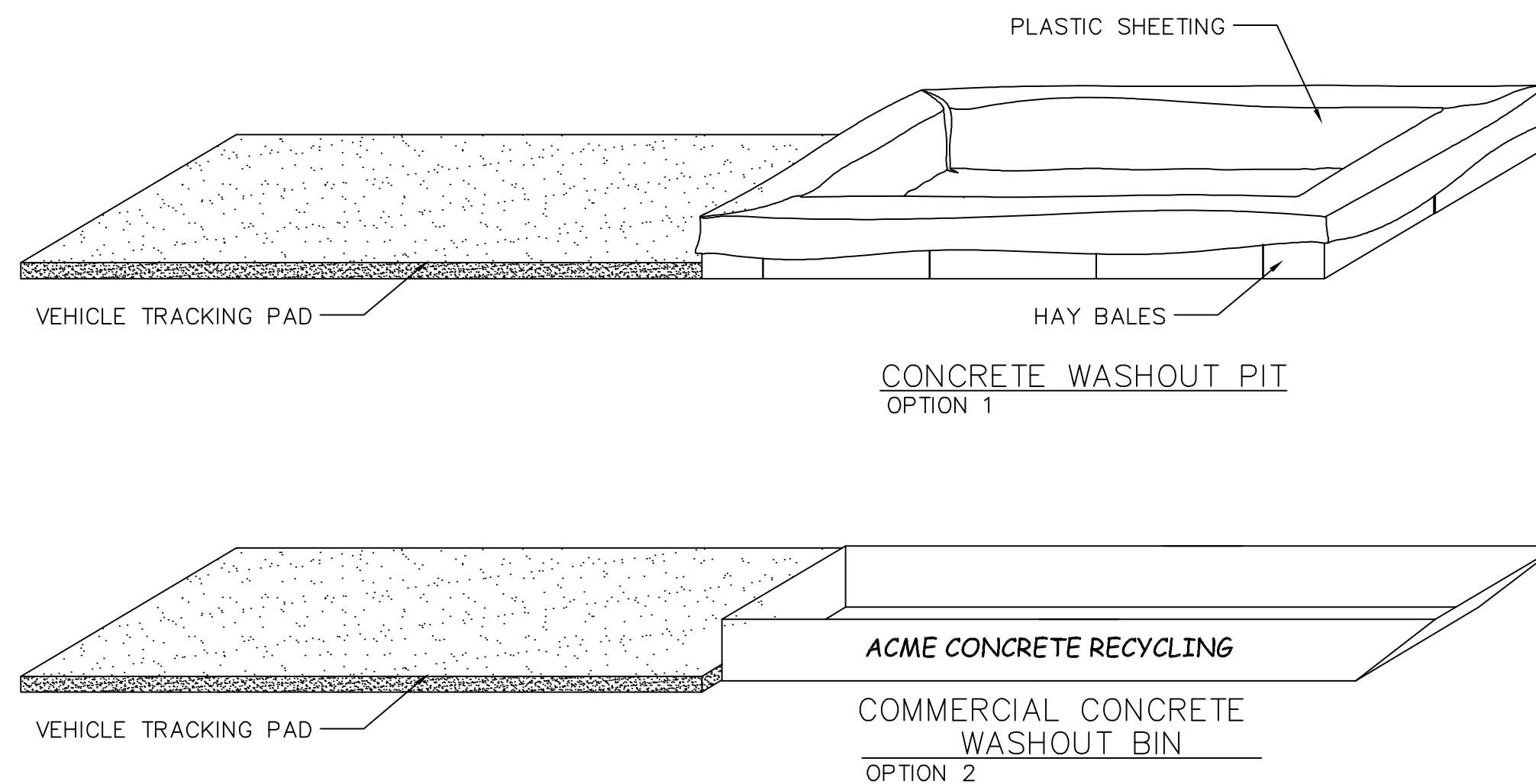
BMP

- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
- 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
- 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
- 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
- 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

USE OF CONCRETE WASHOUT

- 1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
- 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY
- 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE
- END OF EACH WORK DAY.
- 4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
- 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

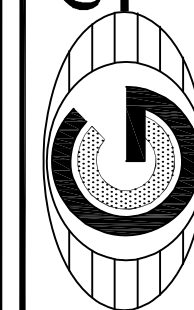
CONCRETE WASHOUT AREA
NOT TO SCALE



- NOTES:
- 1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL
 - 2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
 - 3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
 - 4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

See SANTAQUIN CITY specifications for further information.

GATEWAY CONSULTING, Inc.



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PH: (801) 694-5848
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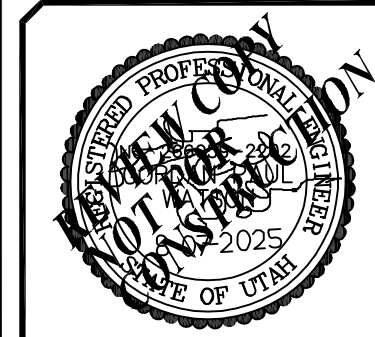
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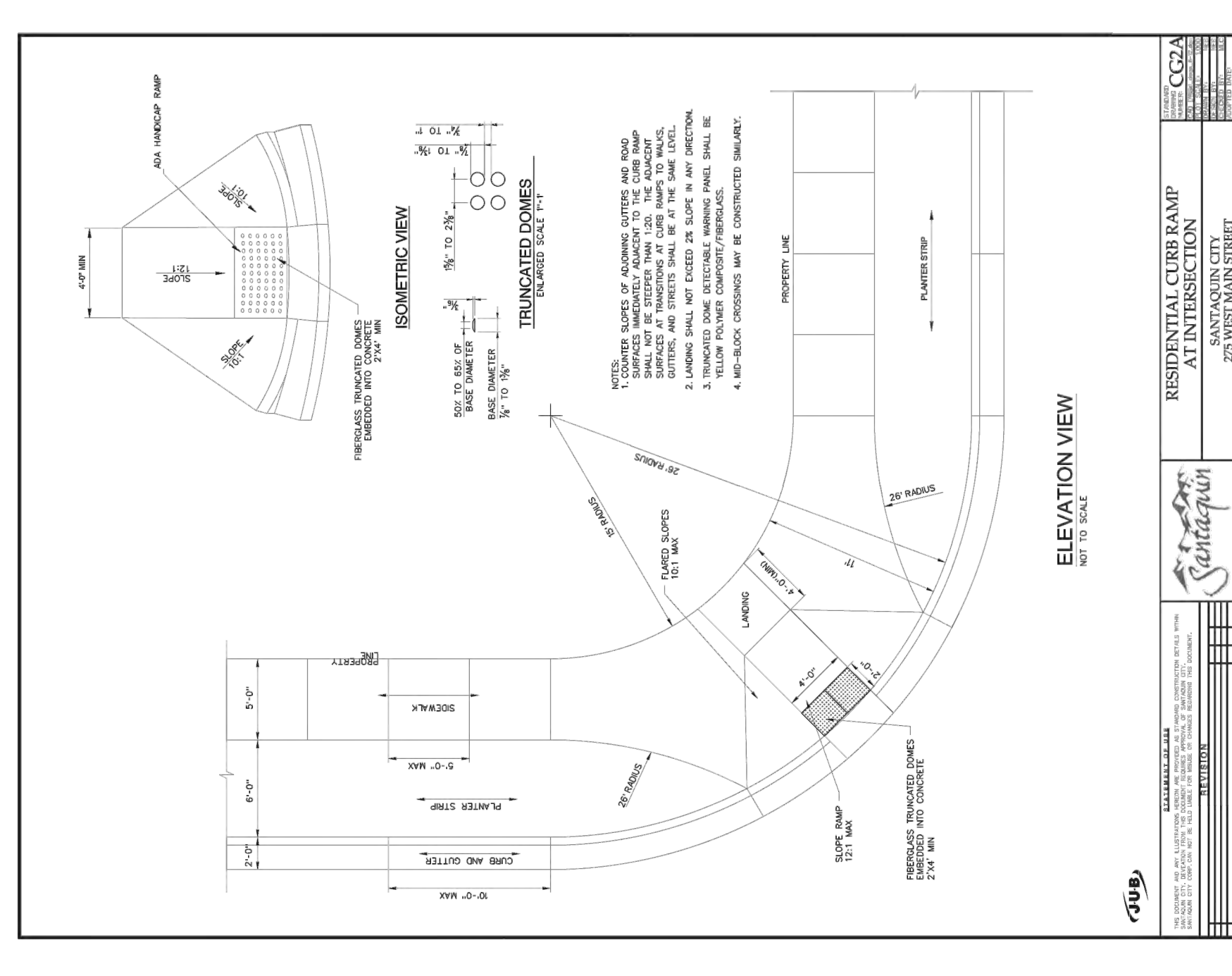
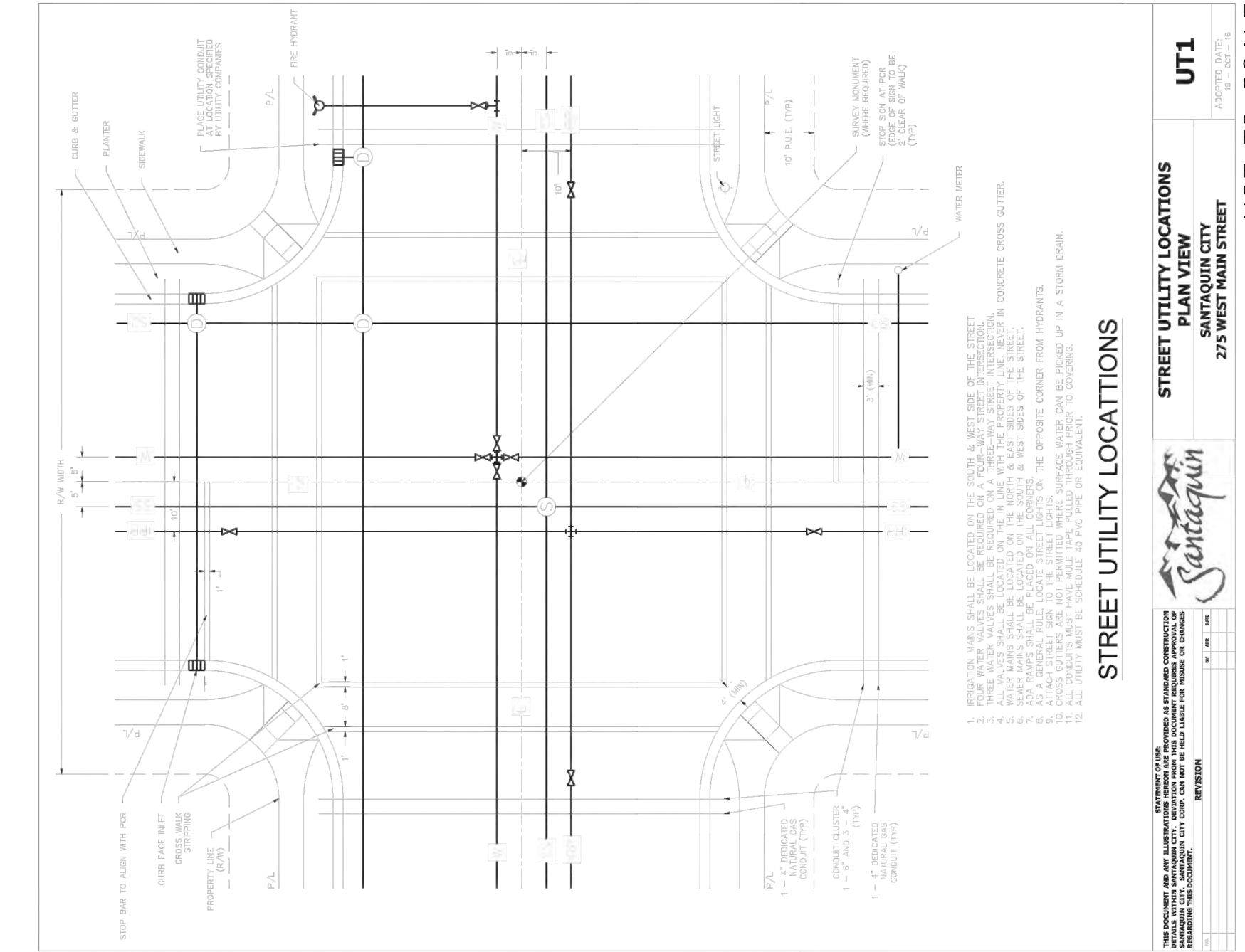
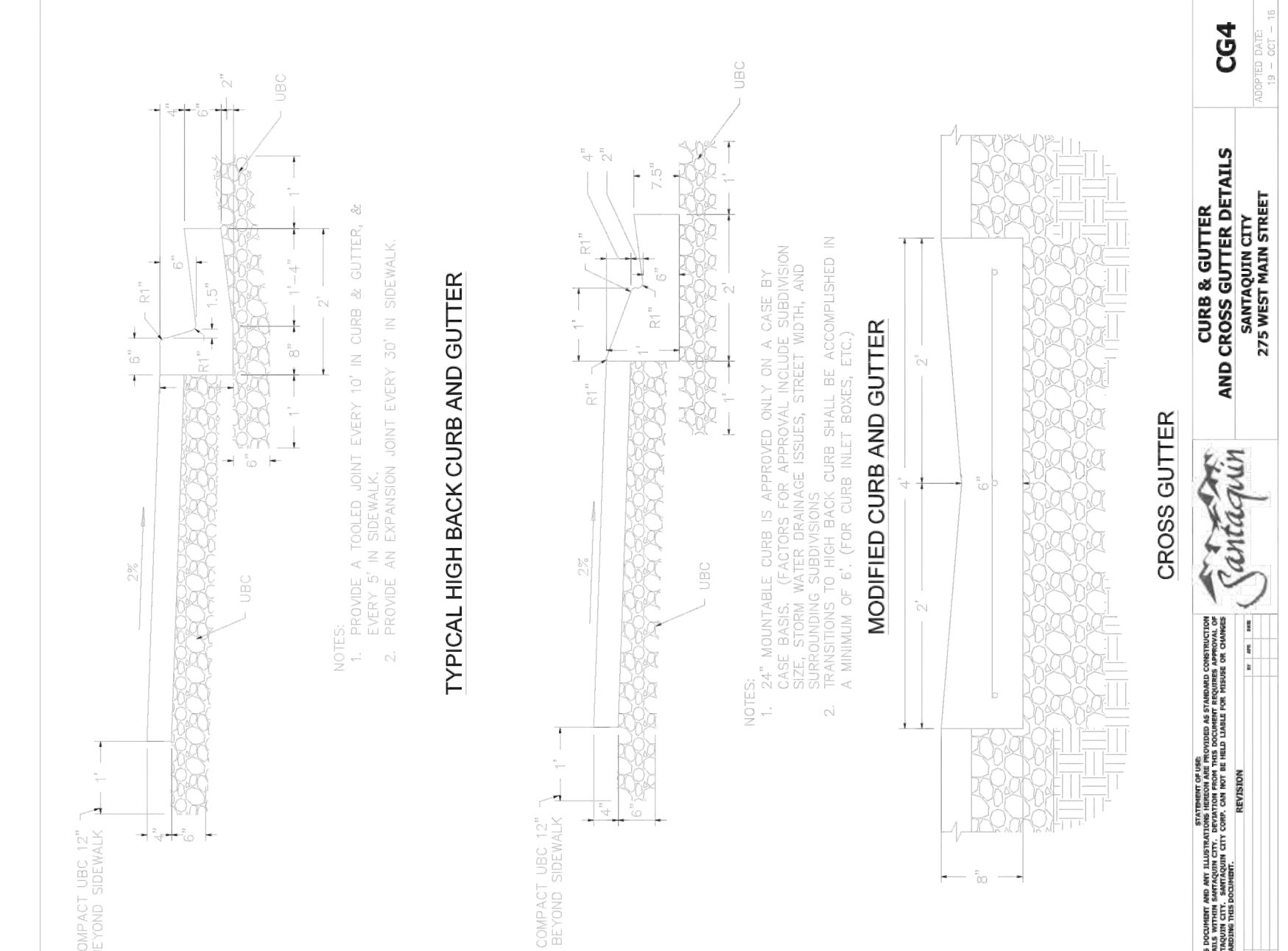
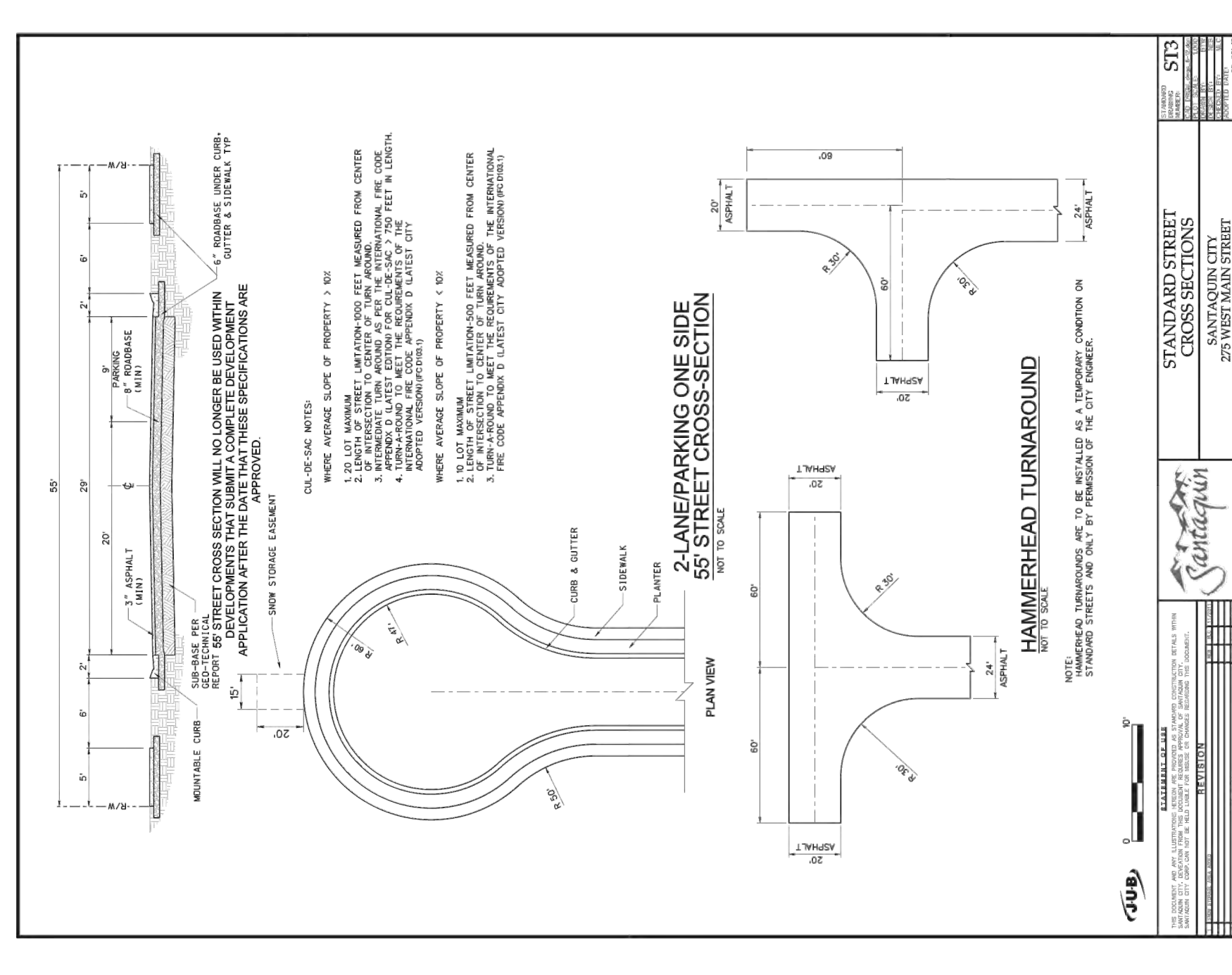
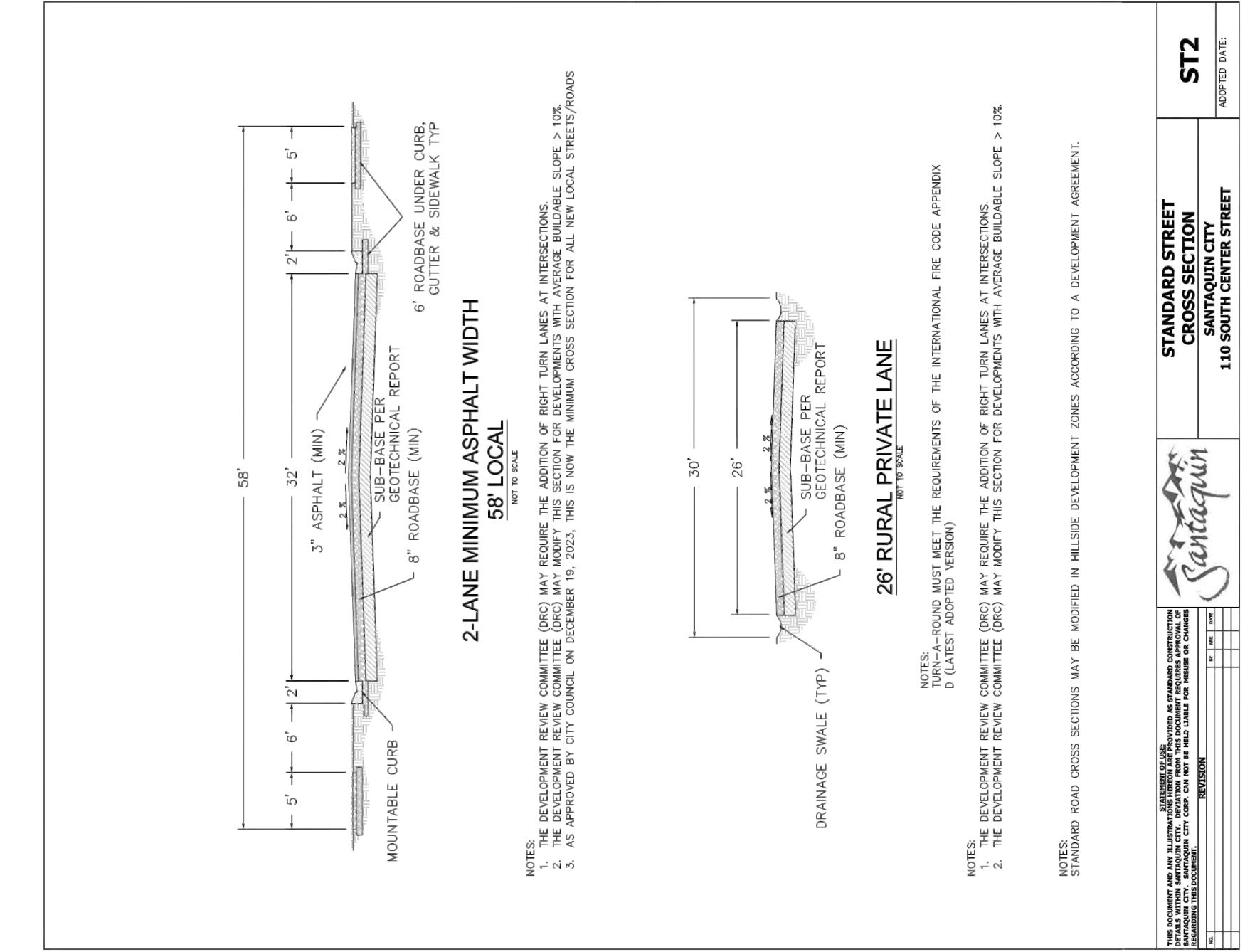
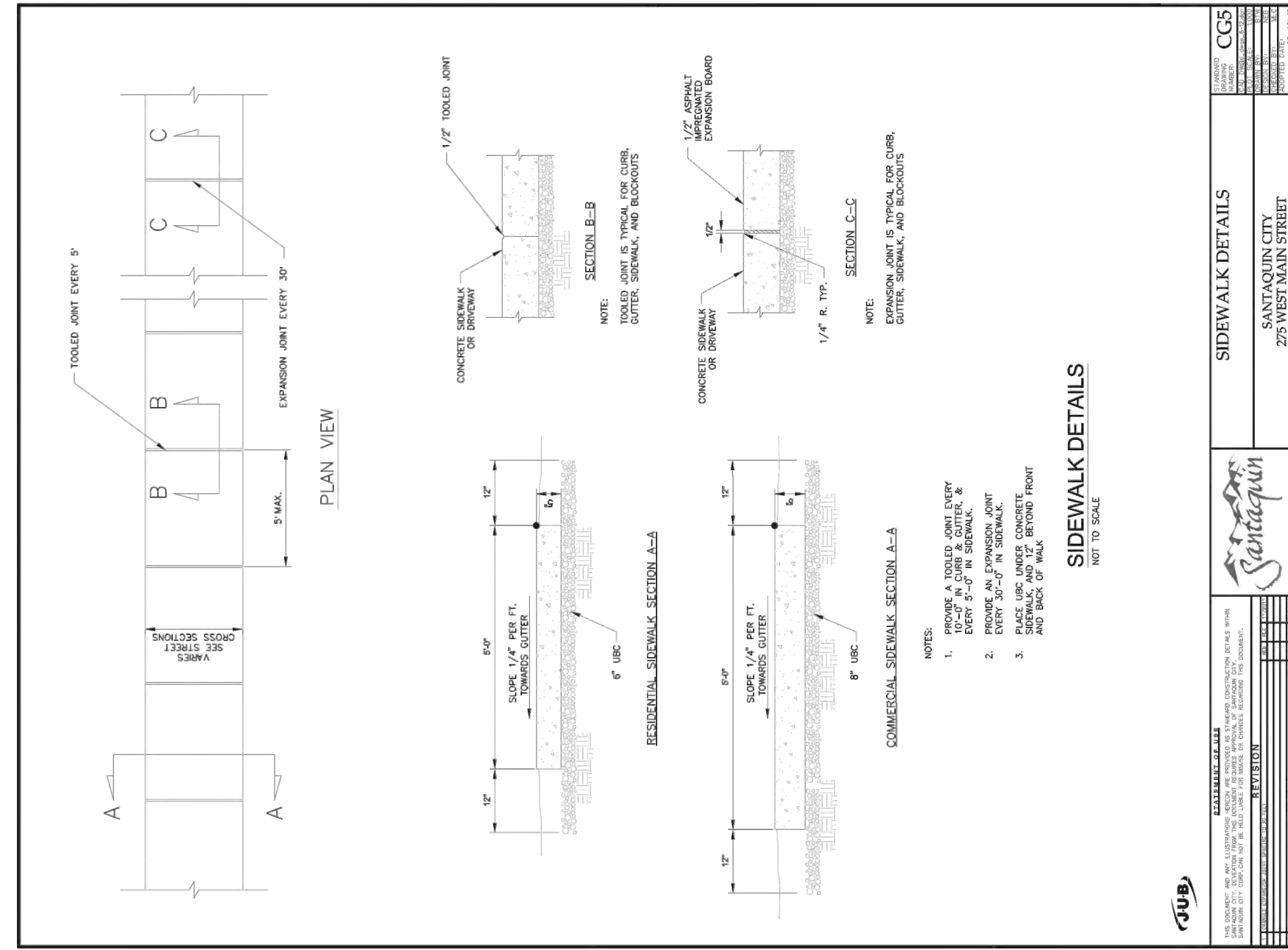
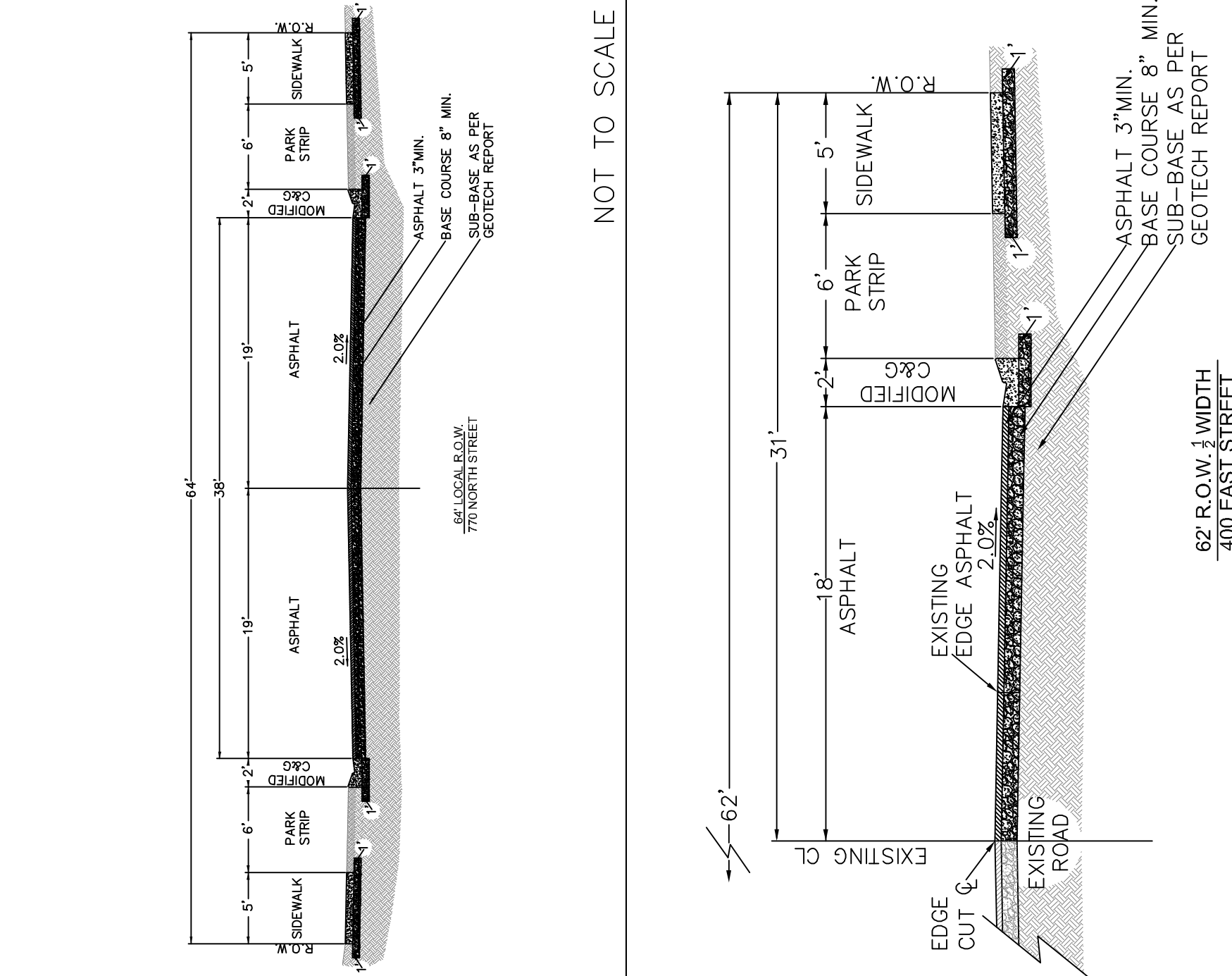
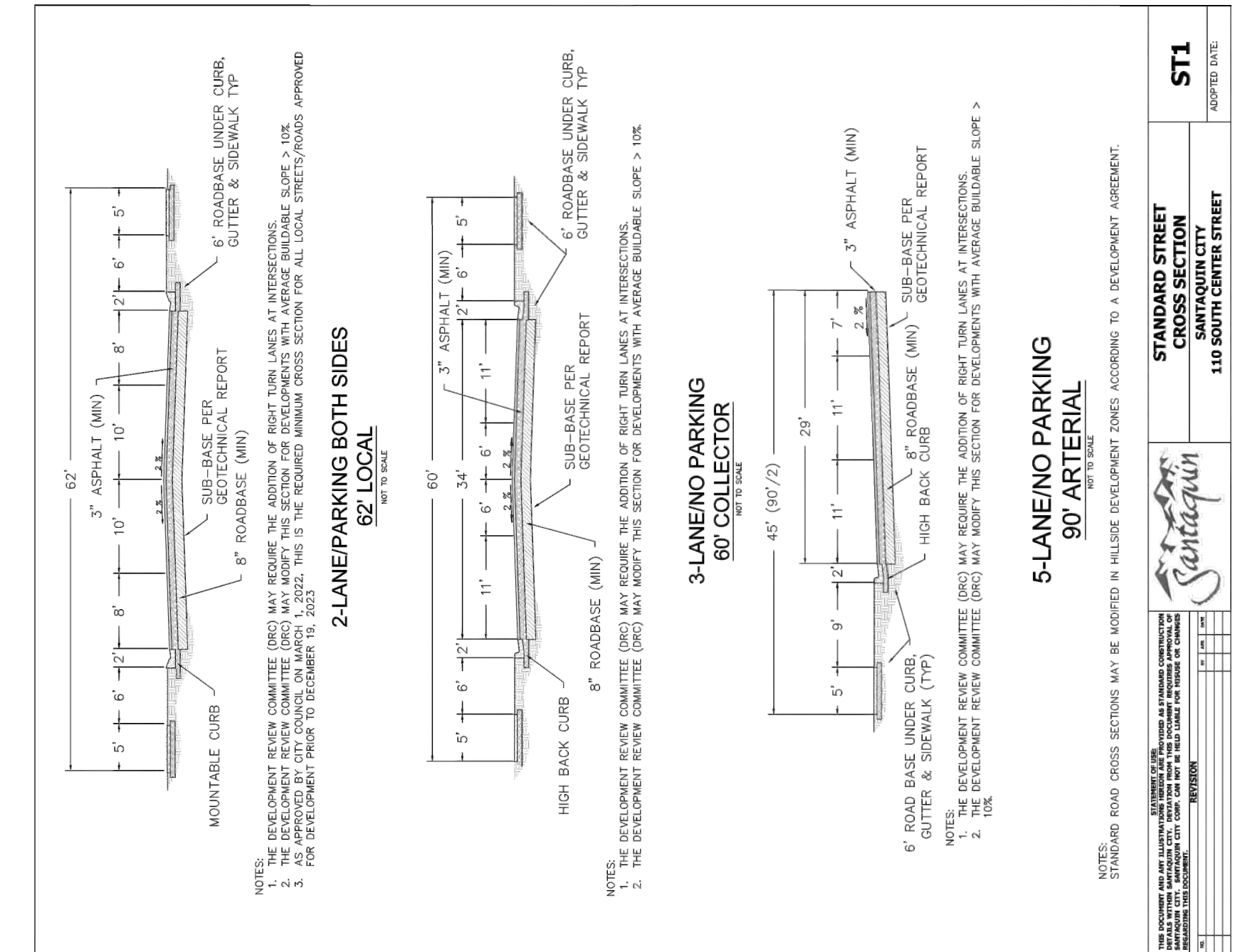
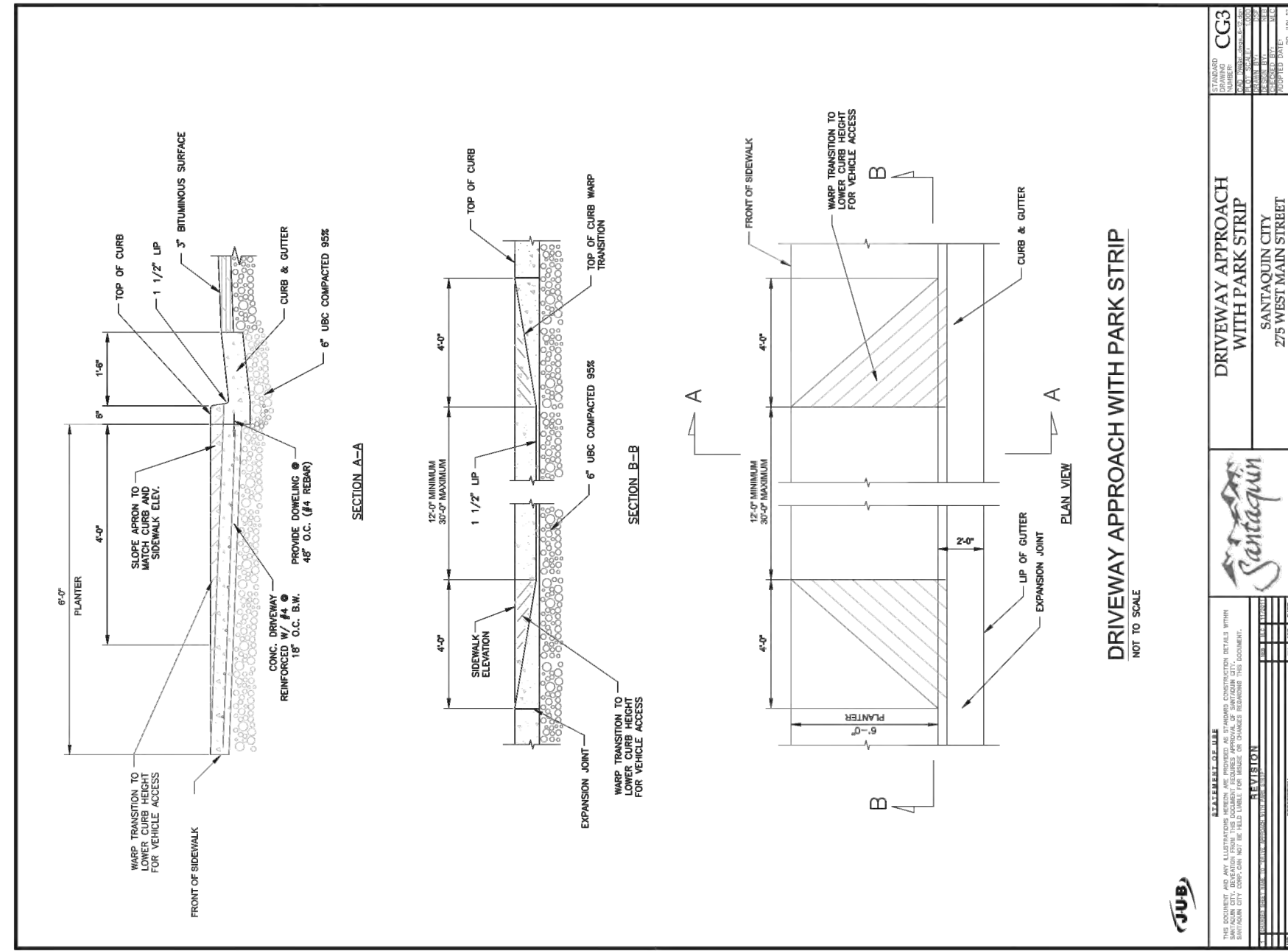
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DETAILS and NOTES

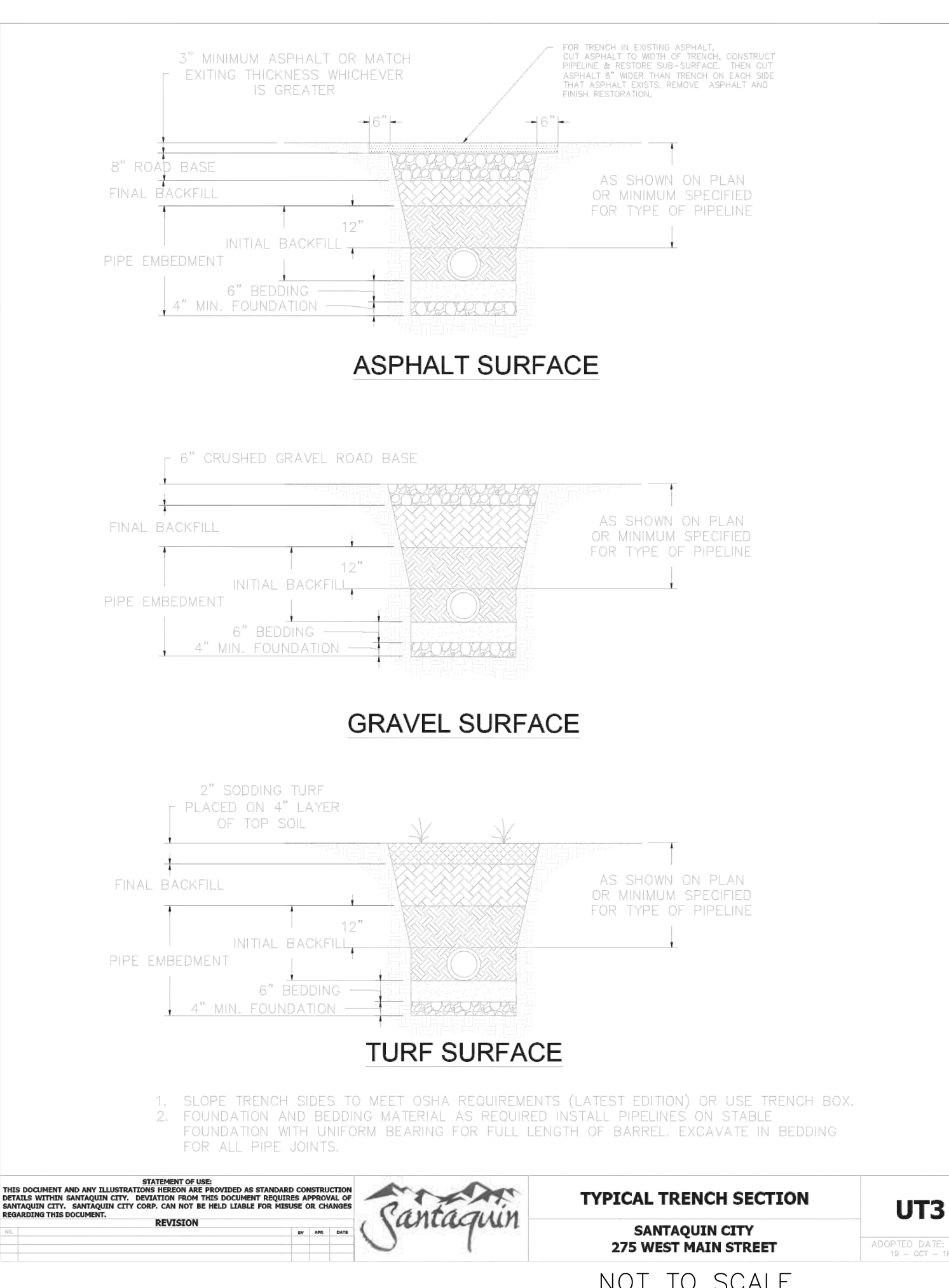
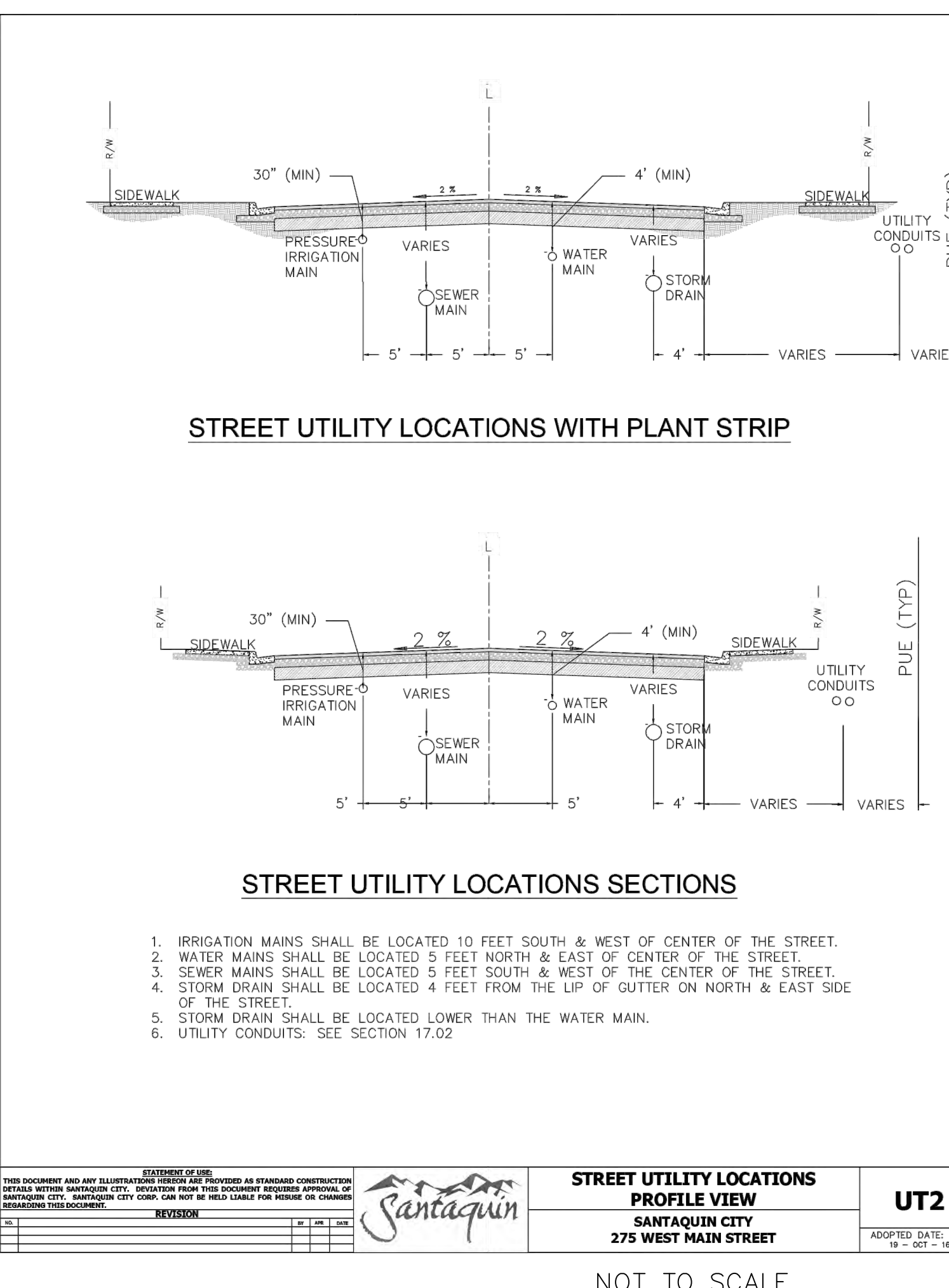
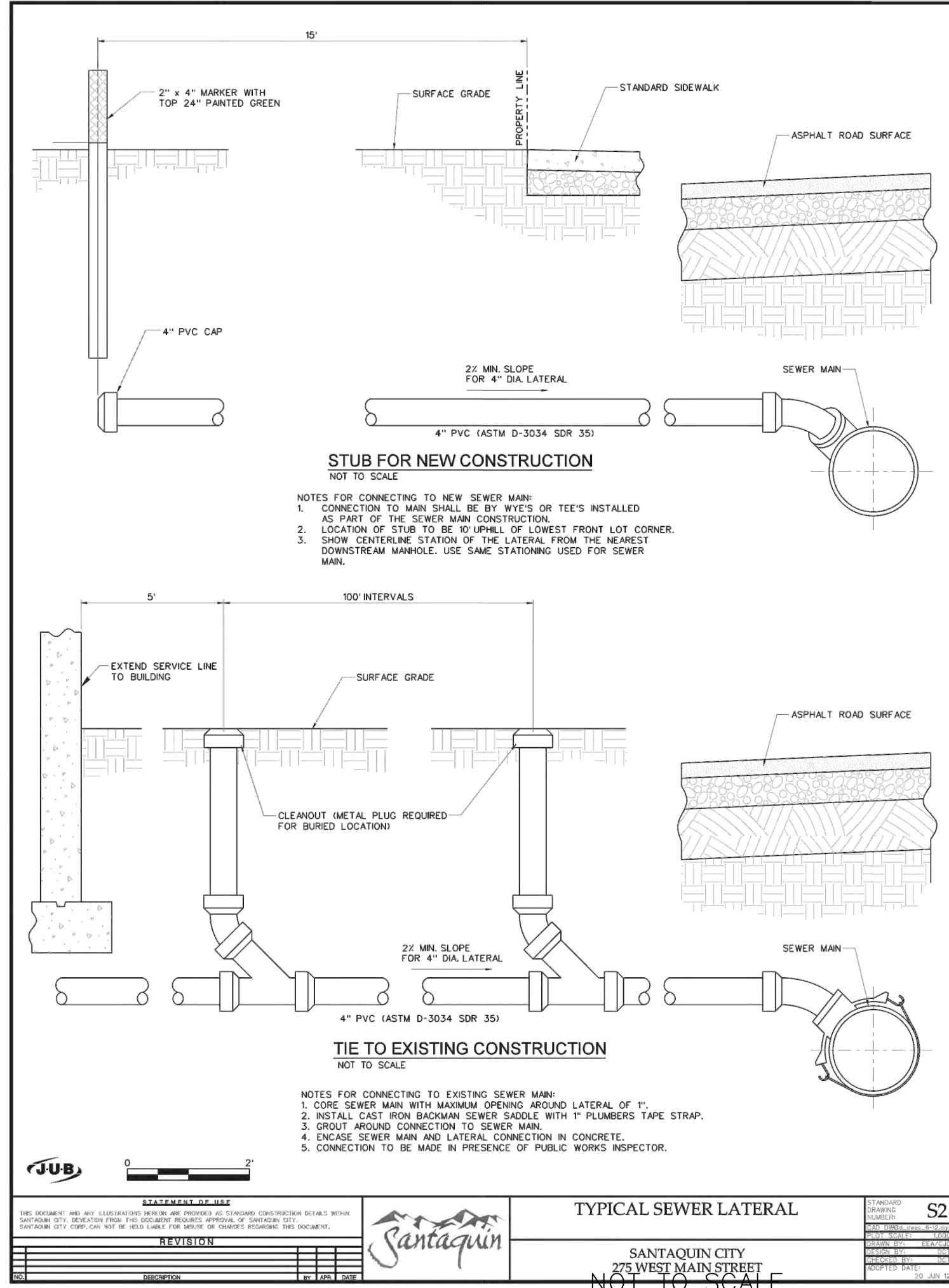
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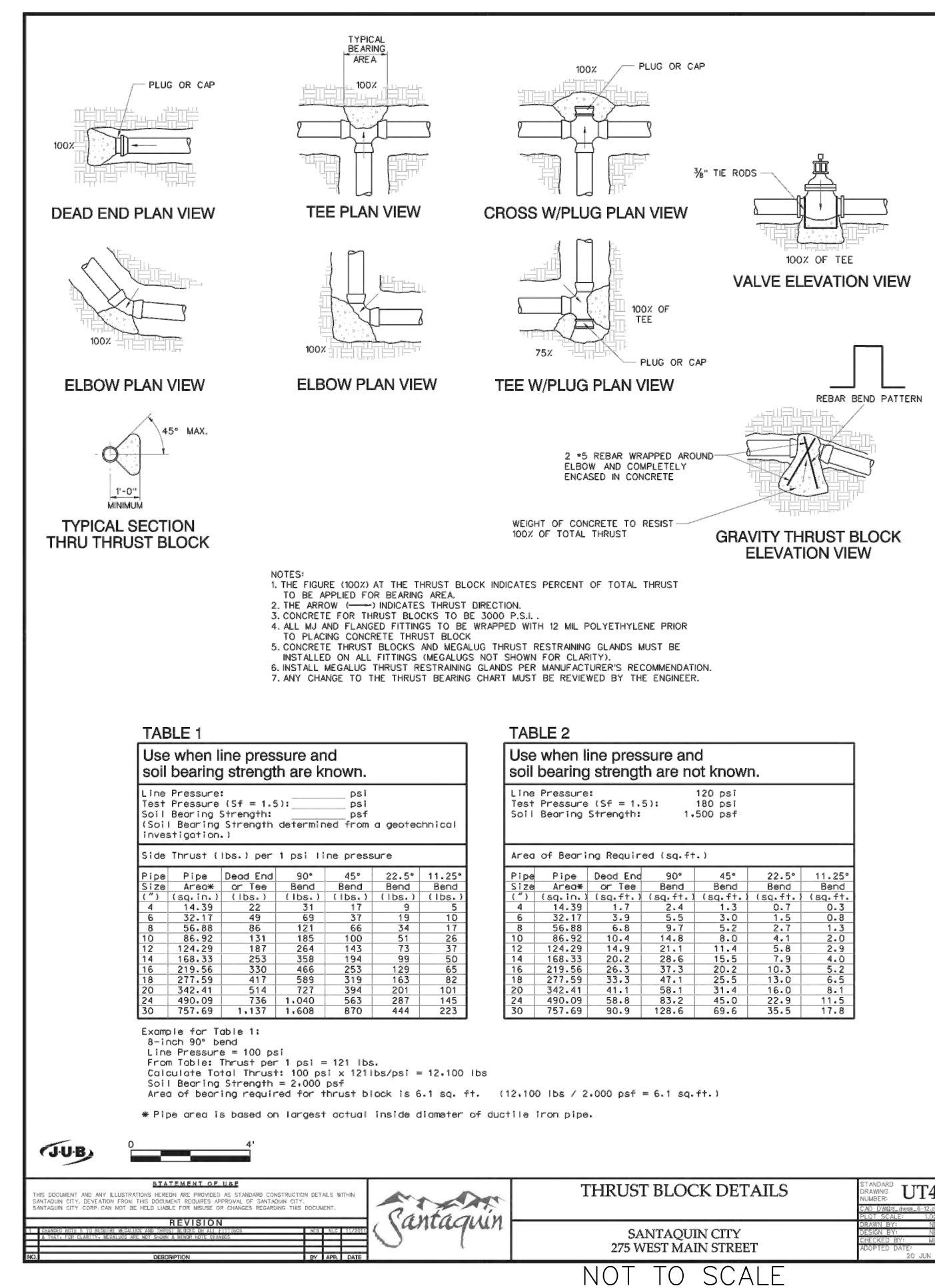
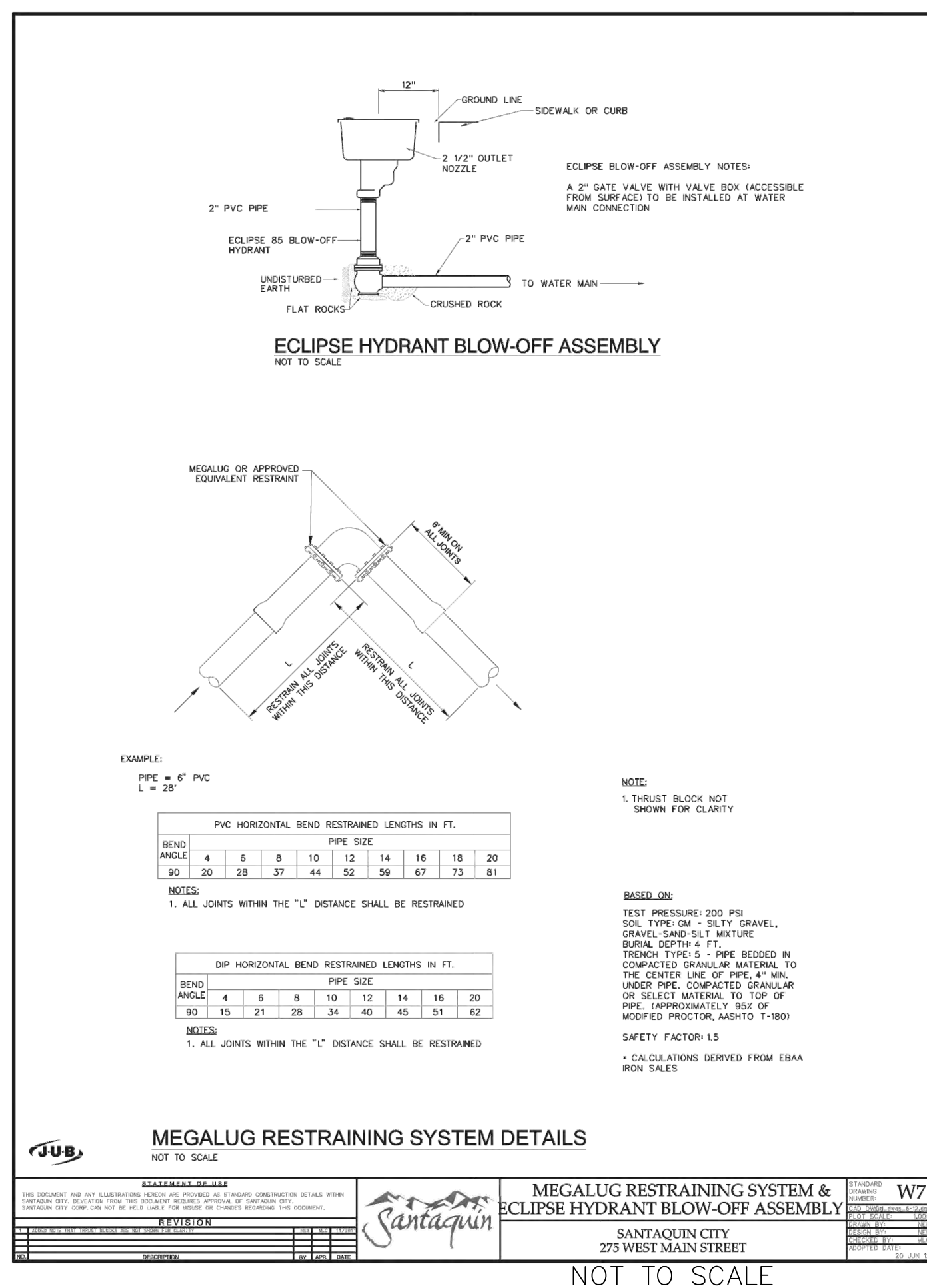
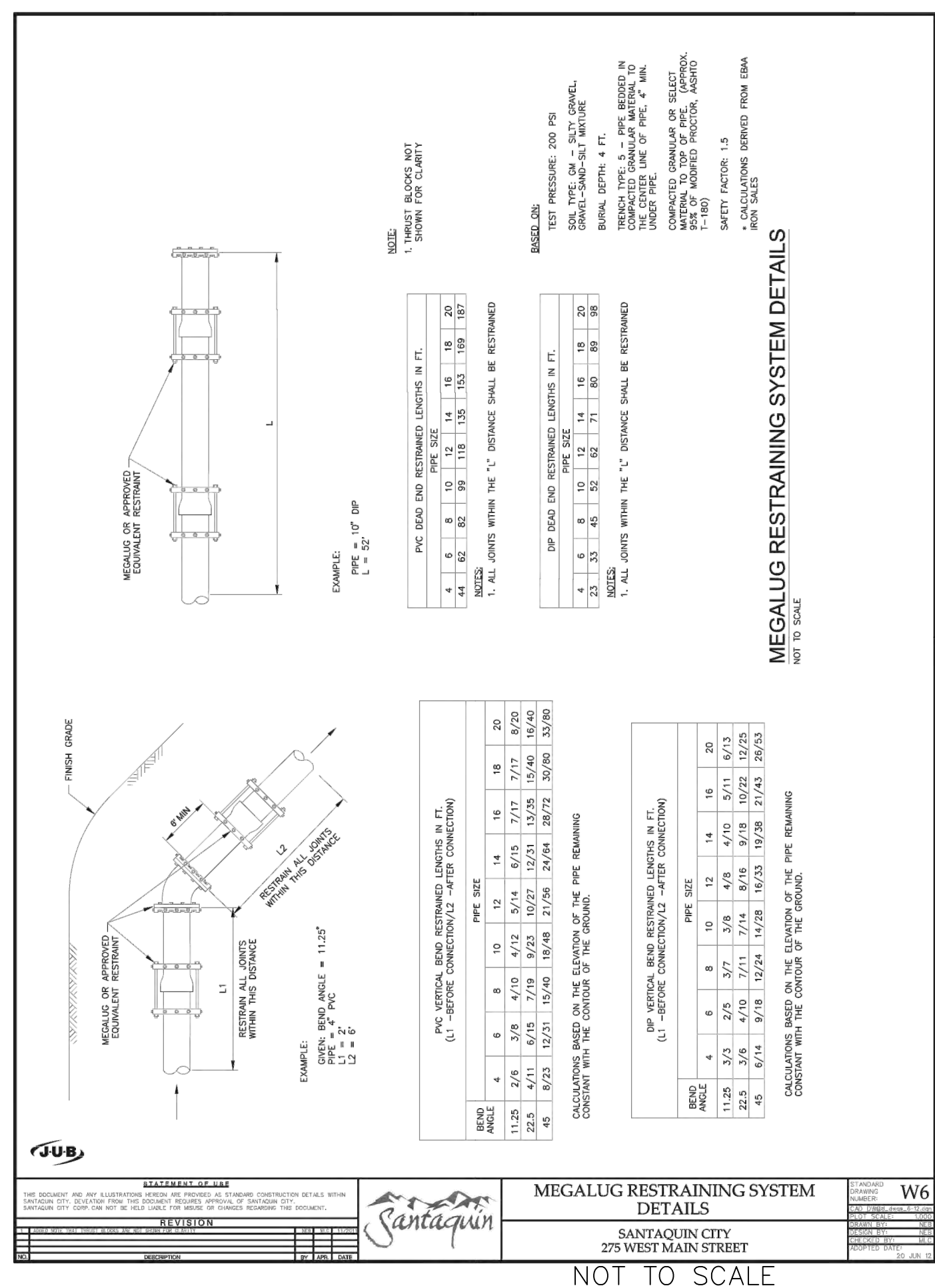
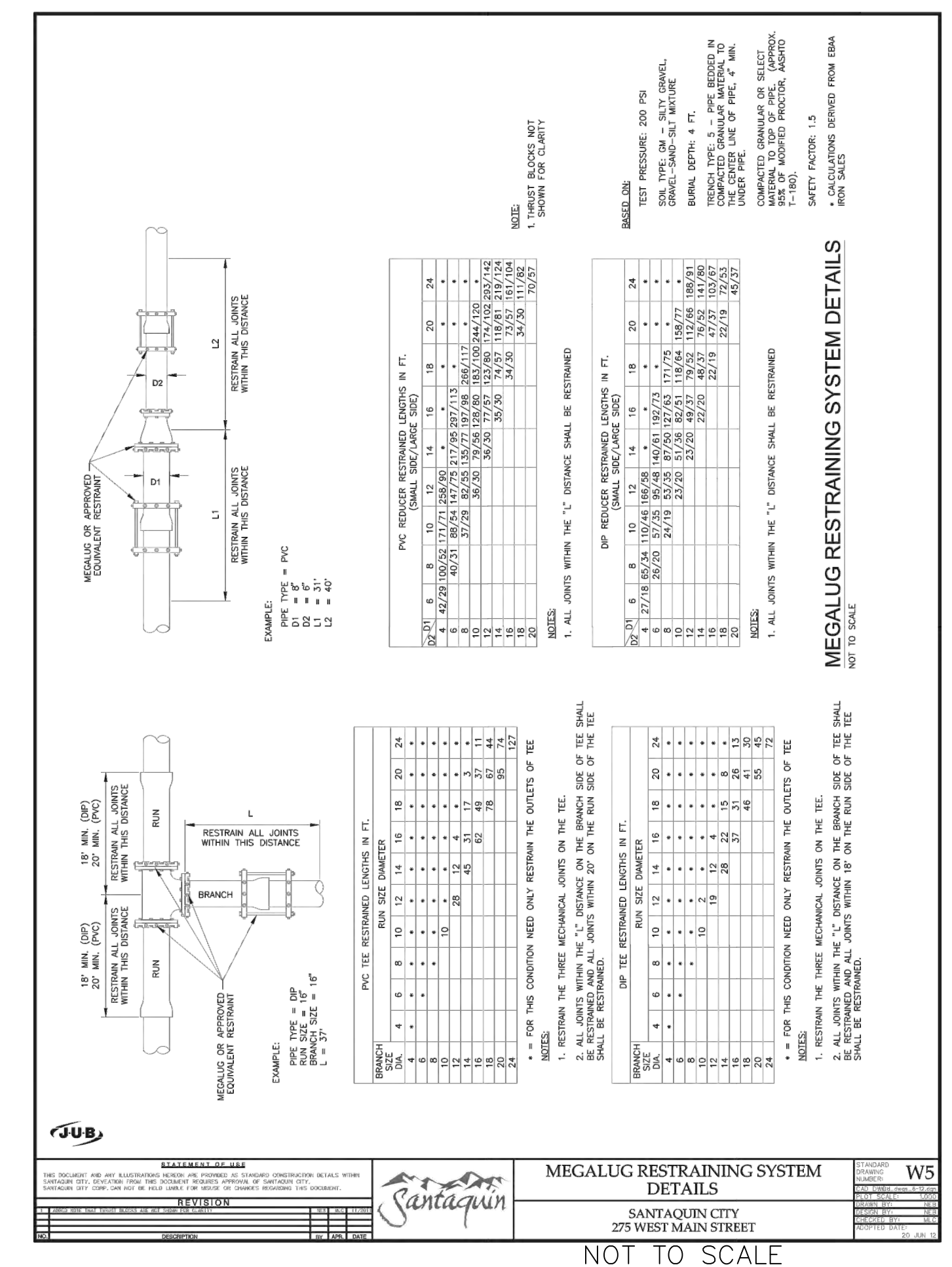
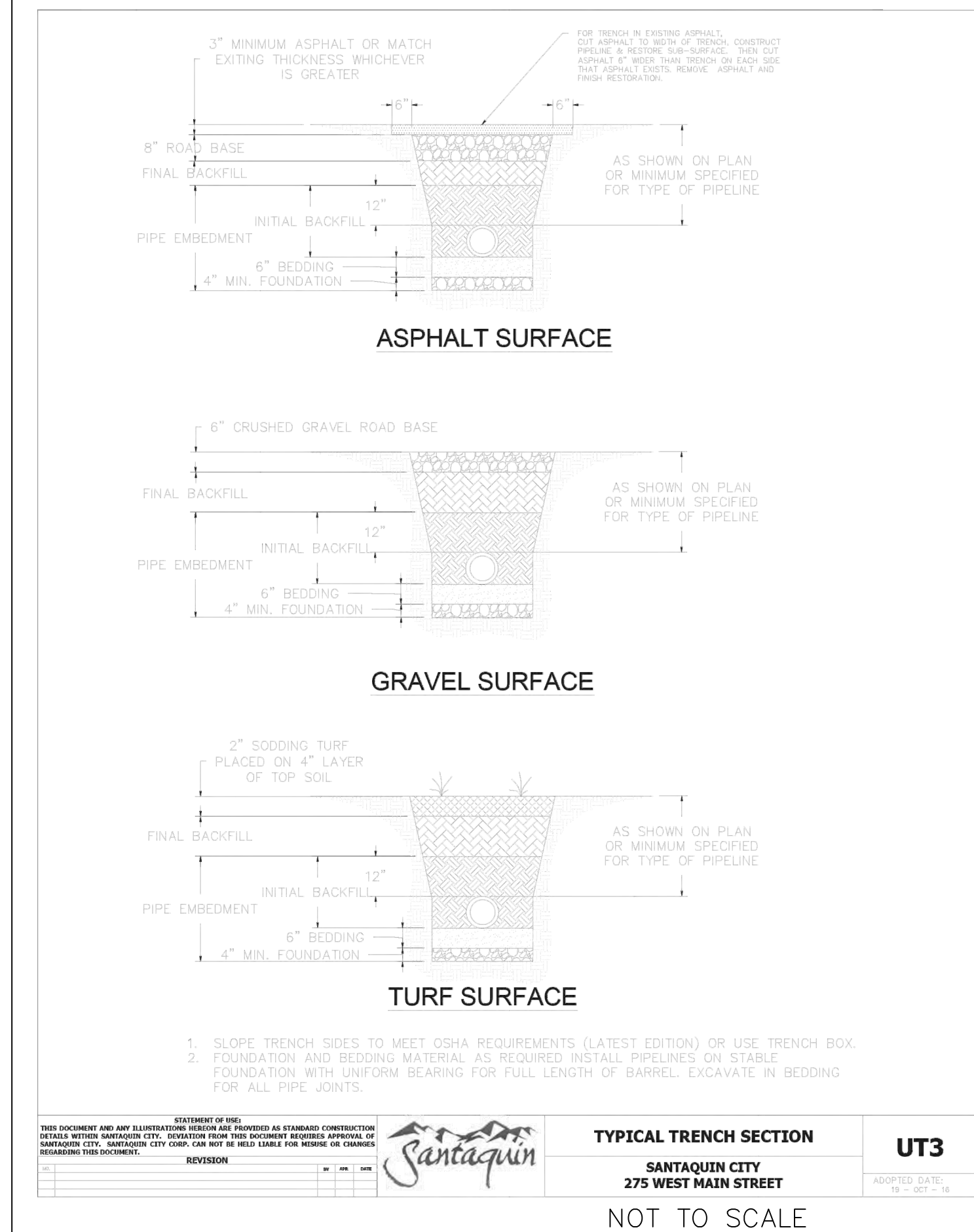
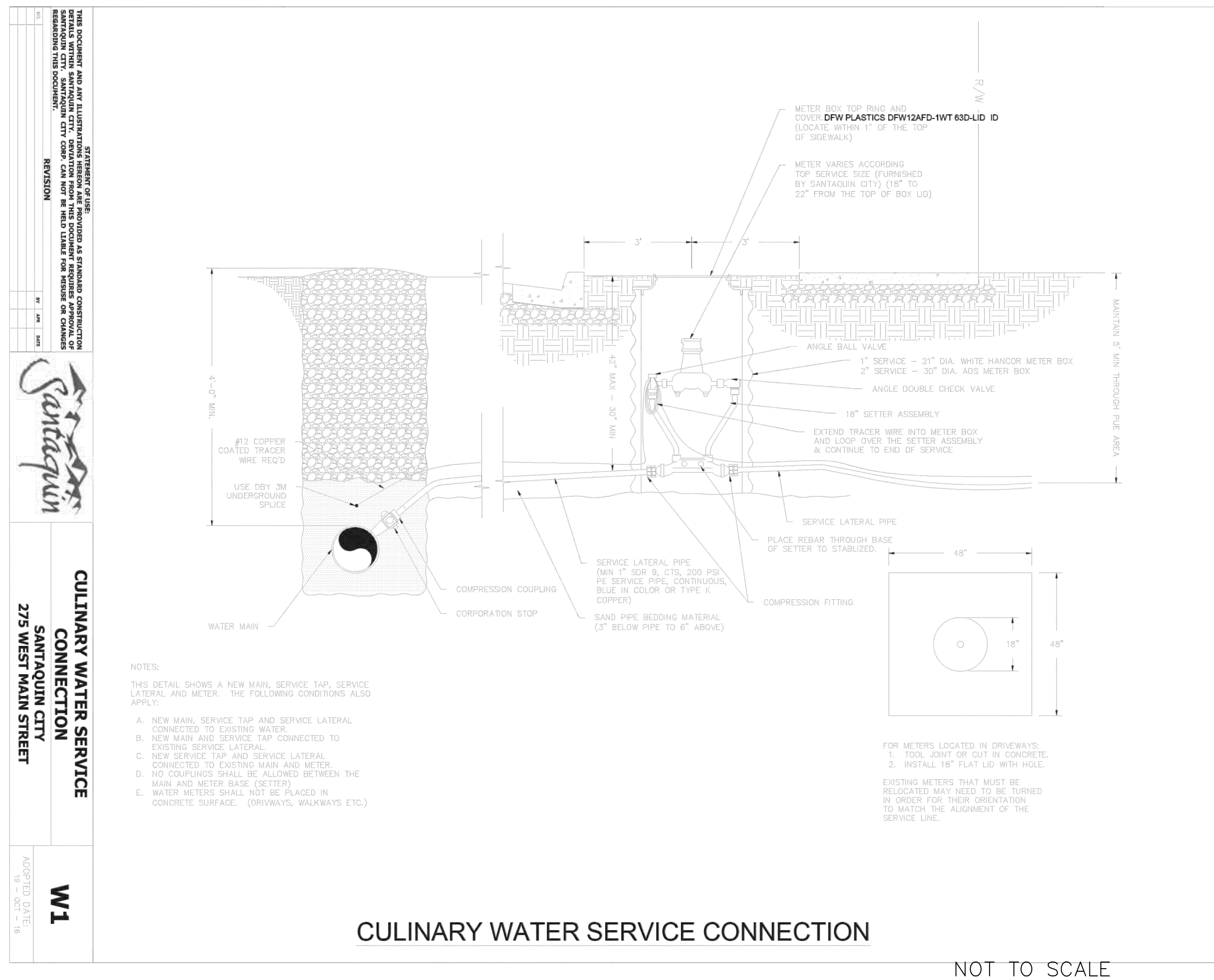
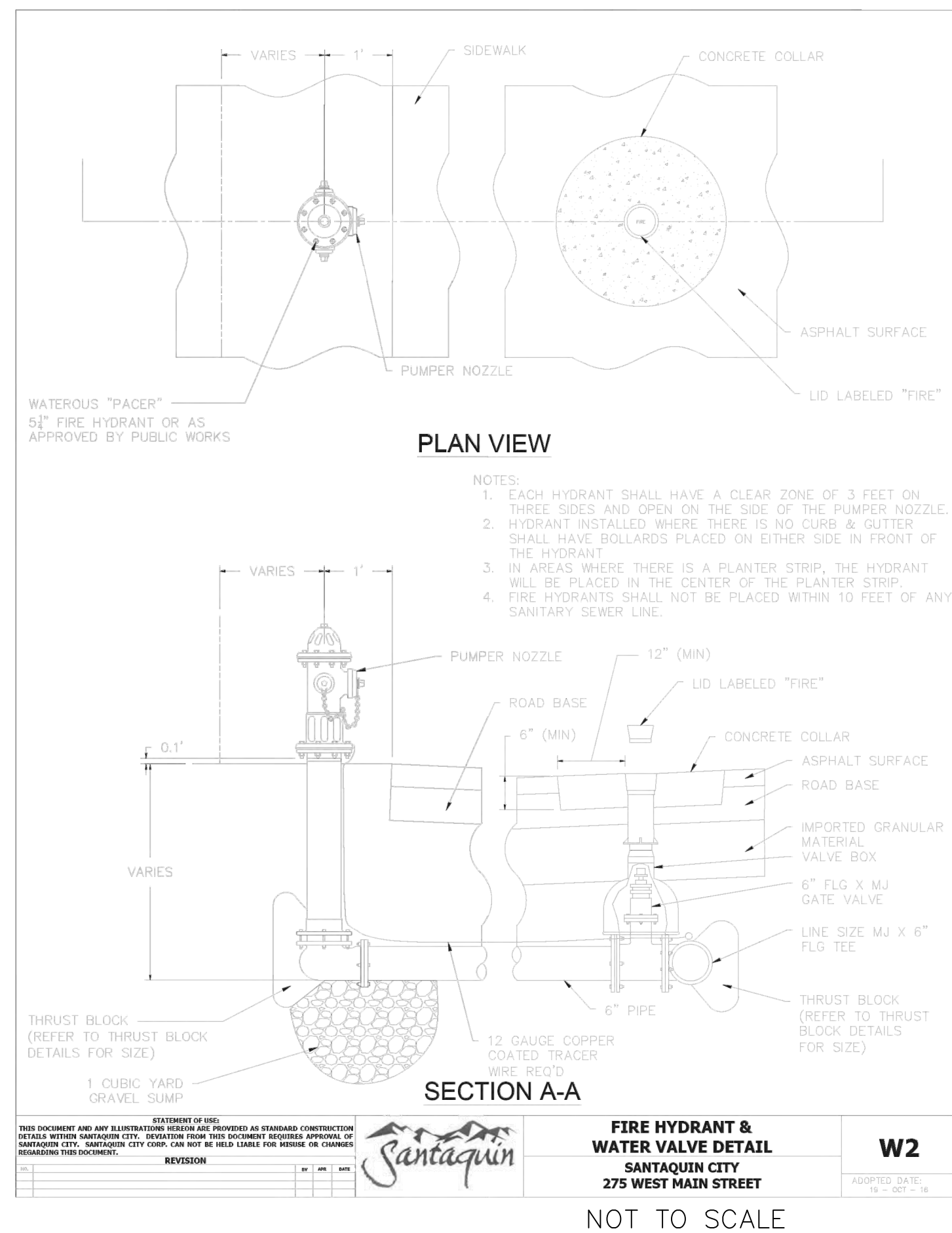


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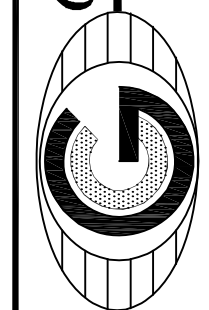




SHEET NO. D2



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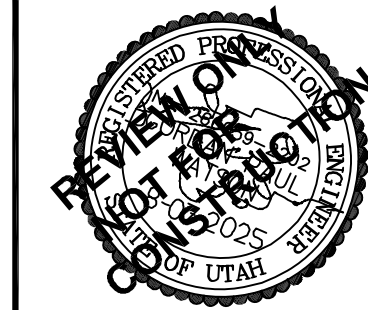


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WATER DETAIL

SANTAQUIN CITY



SHEET NO. **D3**

DESIGN CONSIDERATIONS

Many factors will influence the design of the R-Tank system. While this list is not intended to be all-inclusive, the following design considerations are worth highlighting:

1. PRE-TREATMENT

Removing pollutants from runoff before they enter an underground detention system is the smart way to design and build a system. Trash Guard Plus® is a great tool for this. Be sure the system you select will remove heavy sediments, gross pollutants (trash) and biodegradable debris.

2. BACKFILL MATERIALS

Backfill materials should be angular stone (<1.5" in diameter) or soil (SW, GP SW or SP per the Unified Soil Classification System). Material must be free from lumps, debris and sharp objects that could cut the geotextile. See the R-Tank narrative specification for additional information.

3. RUNOFF REDUCTION

Most designs incorporate an outlet to drain the system at a controlled rate and/or an overflow to prevent flooding in extreme events. Any infiltration that can be achieved on the site should also be taken advantage of. Consider raising the invert of your outlet or creating a sump to capture and infiltrate the water quality volume whenever possible.

4. WATER TABLE

While installing R-Tank below the water table is manageable, a stable base must be created to support the system. Ground water can be allowed to enter and drain from the system, or a liner can be used to prevent ground water from entering the system if measures are taken to prevent the system from floating.

5. CONSTRUCTION LOADS

Construction loads are often the heaviest loads the system will experience. Care must be taken during backfilling and compaction, and post-installation construction traffic should be routed around the system.

6. LATERAL LOADS

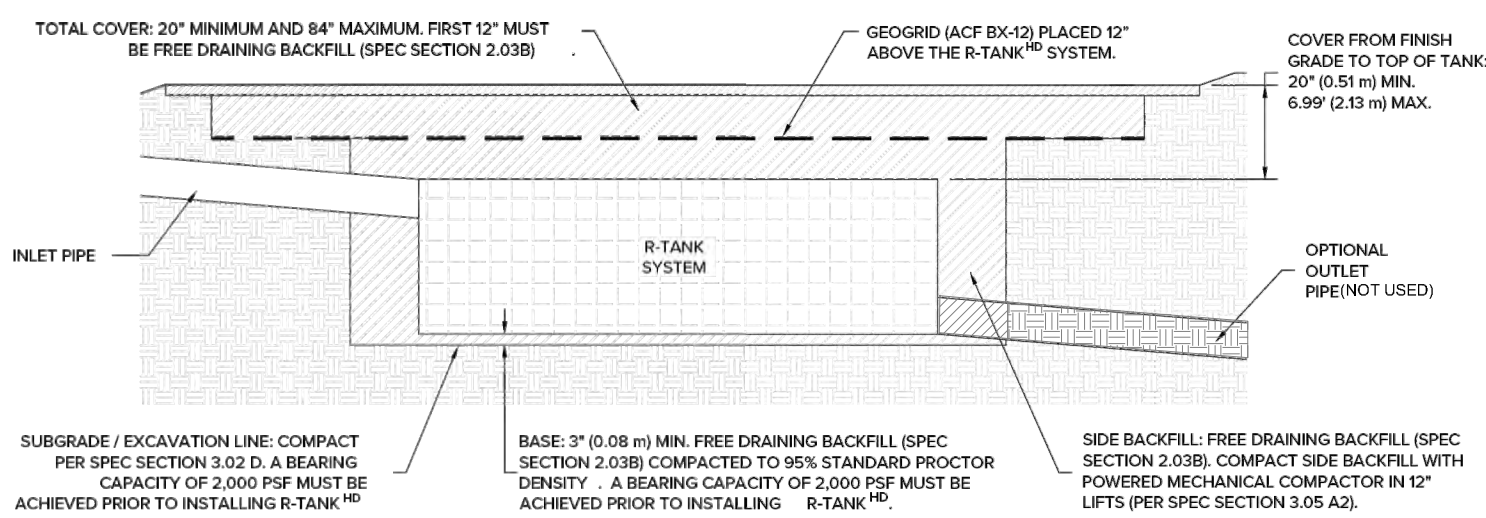
As systems get deeper, the loads acting on the sides of the tank increase. While vertical loads often control the design, lateral loads should also be considered.

7. R-TANK MODULES

Selecting the right module for your application is critical. See page 3 and the specs on the back of this brochure for details. Our team is also here to help!

8. LOAD MODELING

A safety factor of >175 is required when designing an R-Tank System using the AASHTO LRFD Bridge Design Specifications. It is also necessary to run your own loading model with site specific requirements.



4

NOT TO SCALE

DESIGNING AN R-TANK SYSTEM WITH LONGEVITY & MAINTENANCE IN MIND IS A THREE-STEP PROCESS:

1. PRE-TREAT

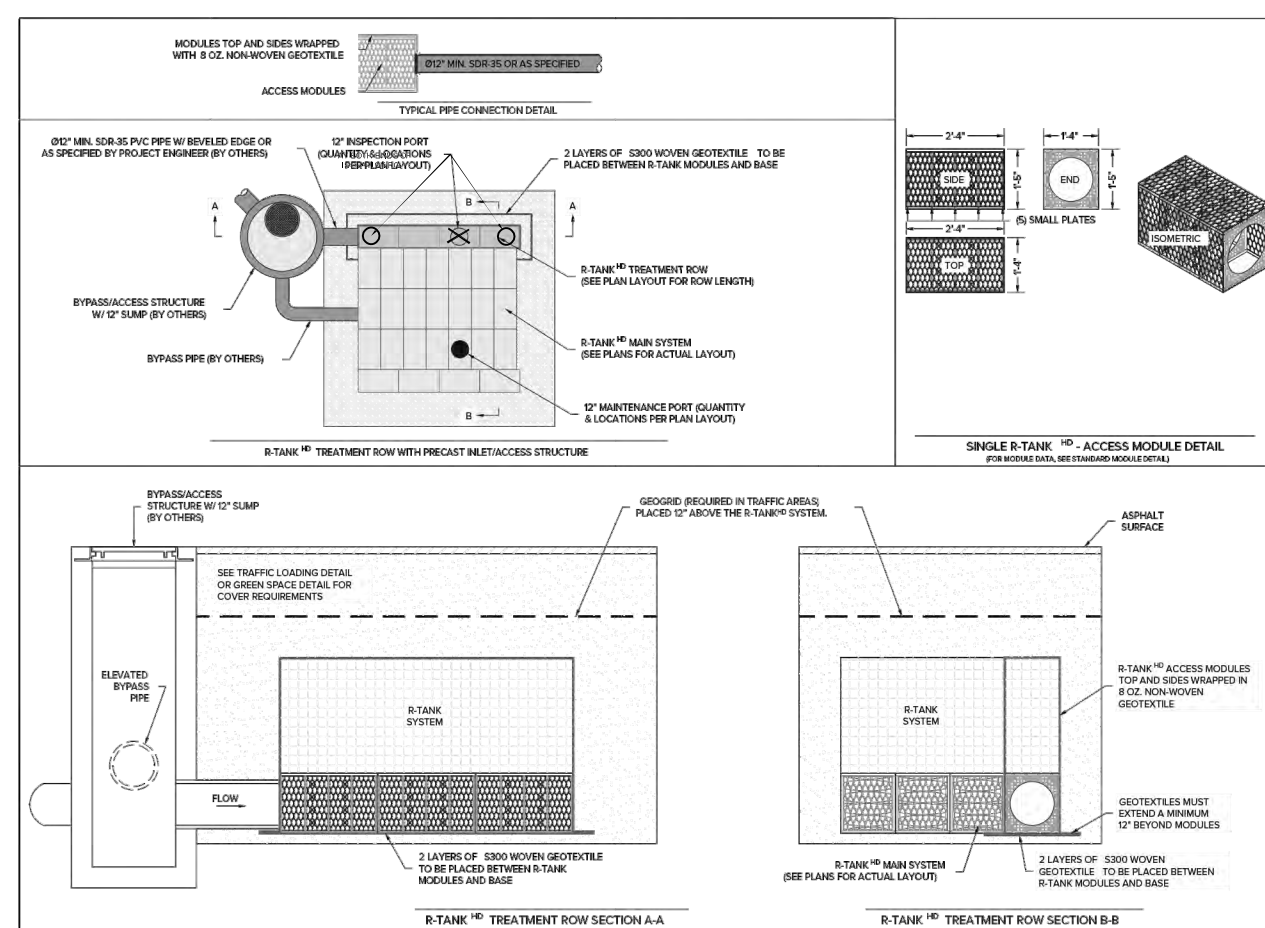
Keep debris out of the system using decentralized filters and screens. Ferguson offers a complete range of options from perforated screen devices to high flow geotextile bag and cartridge based filter drain inserts.

2. ISOLATE

Trap solid pollutants inside the treatment row (see treatment row drawing below) where they can be easily removed using the access modules (available in LD, HD, and UD only). These modules are wrapped in geotextile to retain solids and are fully accessible by conventional jet-vac systems to remove captured pollutants.

3. PROTECT

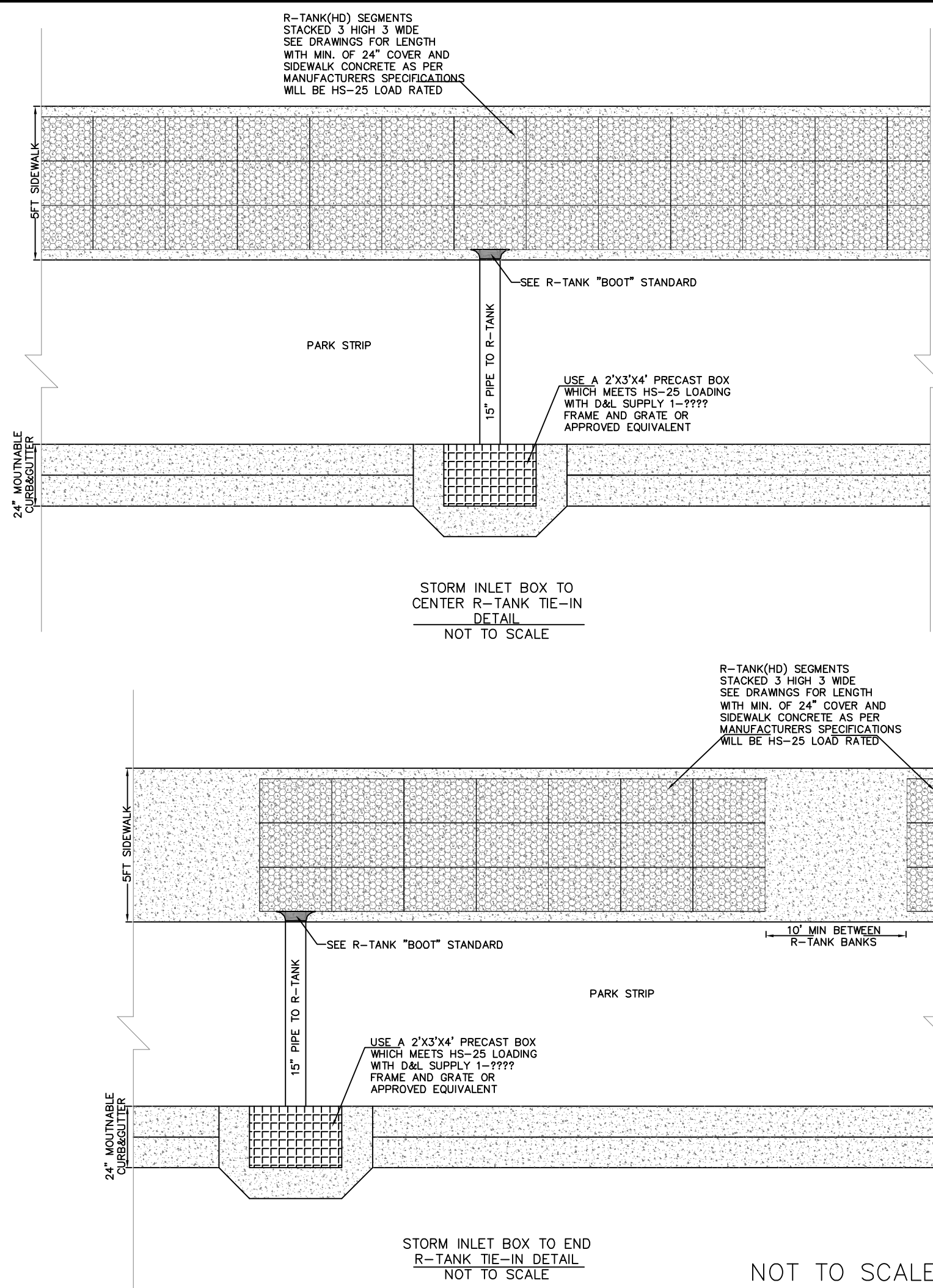
Ensure a long system life by including maintenance ports to remove any pollutants that evade the pre-treatment system and treatment row. Maintenance ports should be specified within 10' of inlet and outlet connections, and roughly 50' on center.



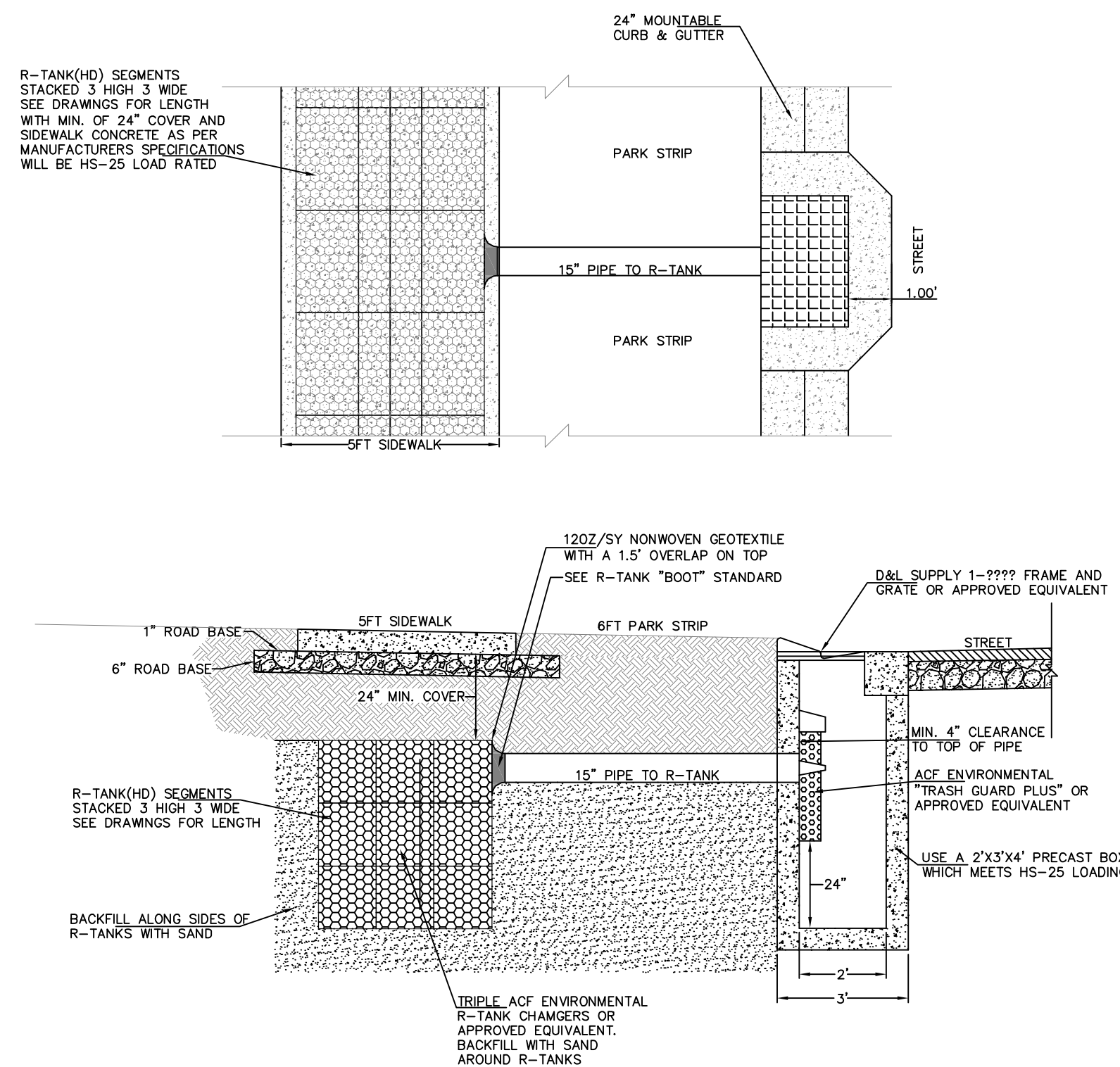
R-TANK(HD)
24" MIN. COVER
(HS-25 STANDARD)

Item	Description	LD	HD	SD	UD	XD
Void Area	Volume available for water storage	95%	95%	95%	95%	95%
Surface Area Void	Surface area available for infiltration	90%	90%	90%	90%	90%
Compressive Strength	ASTM D 2402/ASTM F 238	50.0 psi	53.4 psi	42.9 psi	134.2 psi	320 psi
Unit Weight	Weight of plastic per cubic foot of tank	3.29 lb/cu ft	3.62 lb/cu ft	3.96 lb/cu ft	4.31 lb/cu ft	7.50 lb/cu ft
Rib Thickness	Thickness of backhoeing members	0.39"	0.39"	0.39"	0.39"	0.39"
Service Temperature	Safe temperature range for use	-54 to 75°F	-54 to 75°F	-54 to 75°F	-54 to 75°F	-54 to 75°F
Recycled Content	Use of recycled polyethylene	100%	100%	100%	100%	100%
Minimum Cover	Cover required for HS-20 loading	20"	24"	30"	32"	40"
Maximum Cover	Maximum allowable cover depth	30"	6.99'	9.99'	6.0'	16.7'

NOT TO SCALE



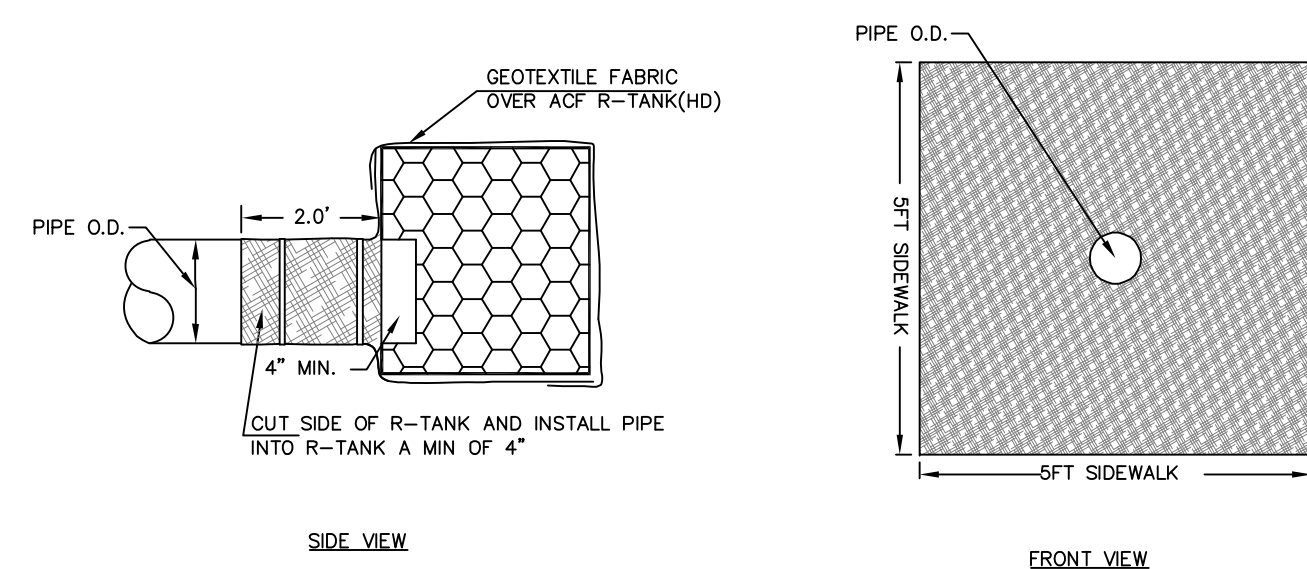
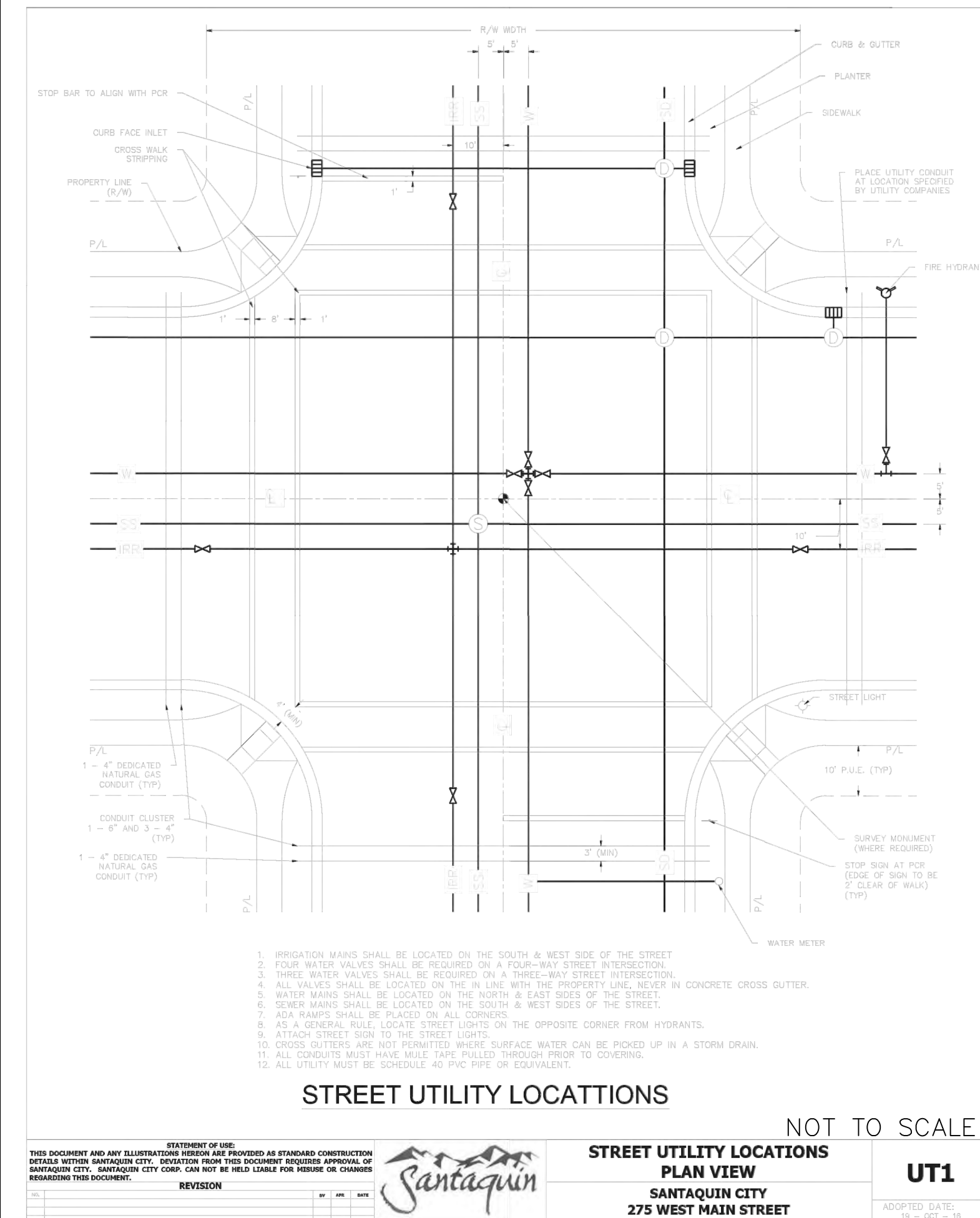
NOT TO SCALE



NOTES:

1. ACF ENVIRONMENTAL R-TANK OR EQUIVALENT ARE SHALL BE INSTALLED AS TO MANUFACTURER'S SPECIFICATIONS.
2. ACF ENVIRONMENTAL TRASH GUARD PLUS SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATION.
3. ALL PLANTER AREAS BETWEEN THE CURB AND SIDEWALK SHALL BE LANDSCAPED WITH PERVIOUS MATERIAL APPROVED BY THE CITY ENGINEER OR DESIGNER.

STORM INLET BOX AND R-TANK DETAIL
NOT TO SCALE

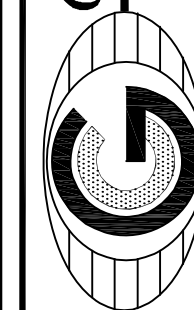


NOTE:

1. CUT FABRIC AND WRAP AROUND PIPE SO THAT PIPE EXTENDS INTO ACF R-TANK(HD) PIPE EFFLUENT SHALL NOT PASS THROUGH FABRIC
2. 12 OZ/SY NONWOVEN GEOTEXTILE WITH A 1.5' OVERLAP
3. FABRIC COLLAR TO FIT OUTSIDE DIAMETER OF INLET/OUTLET PIPE

R-TANK "BOOT" STANDARD
NOT TO SCALE

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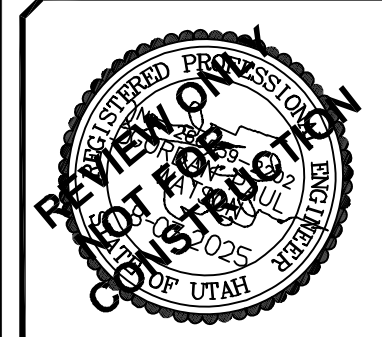
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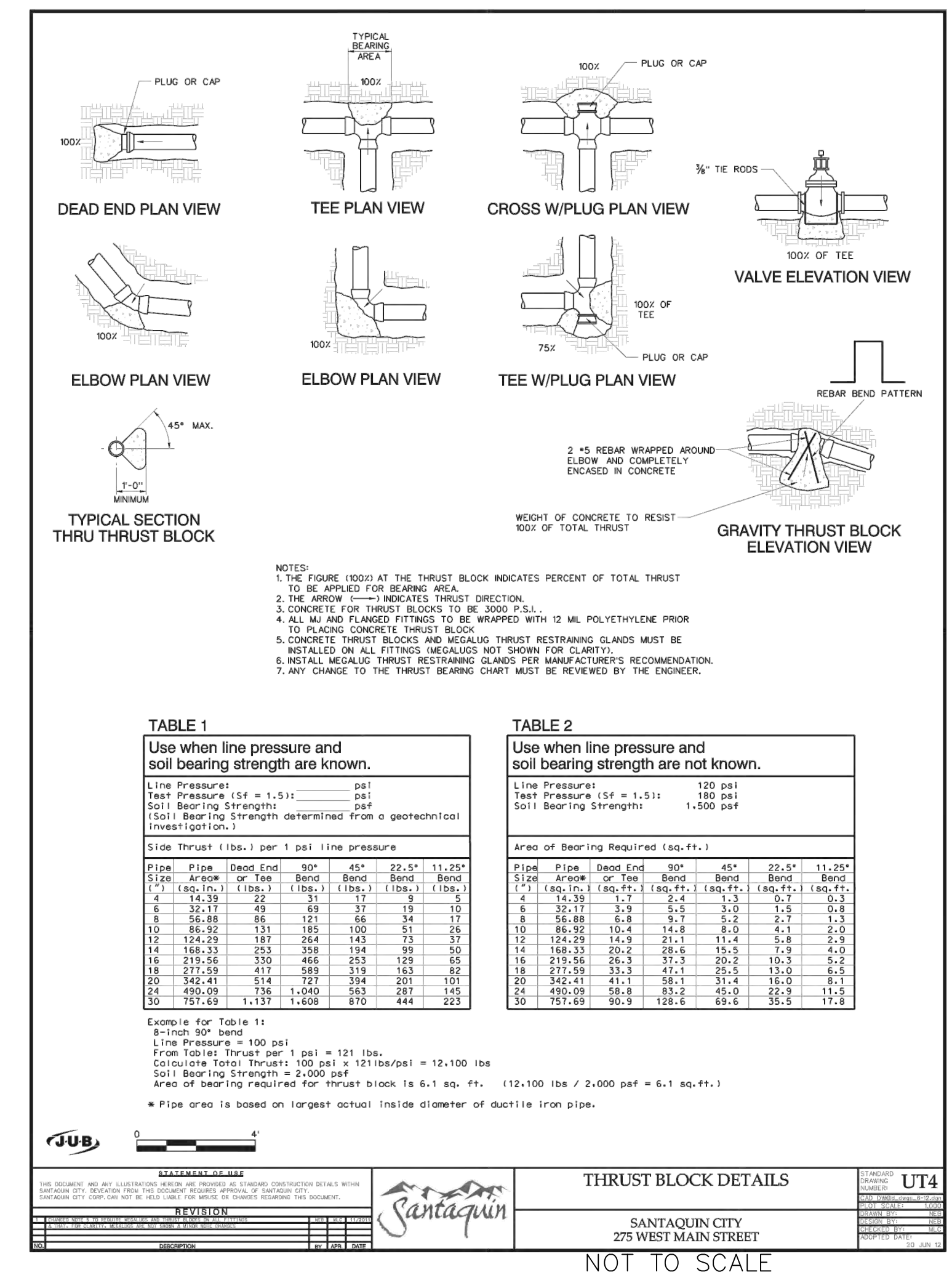
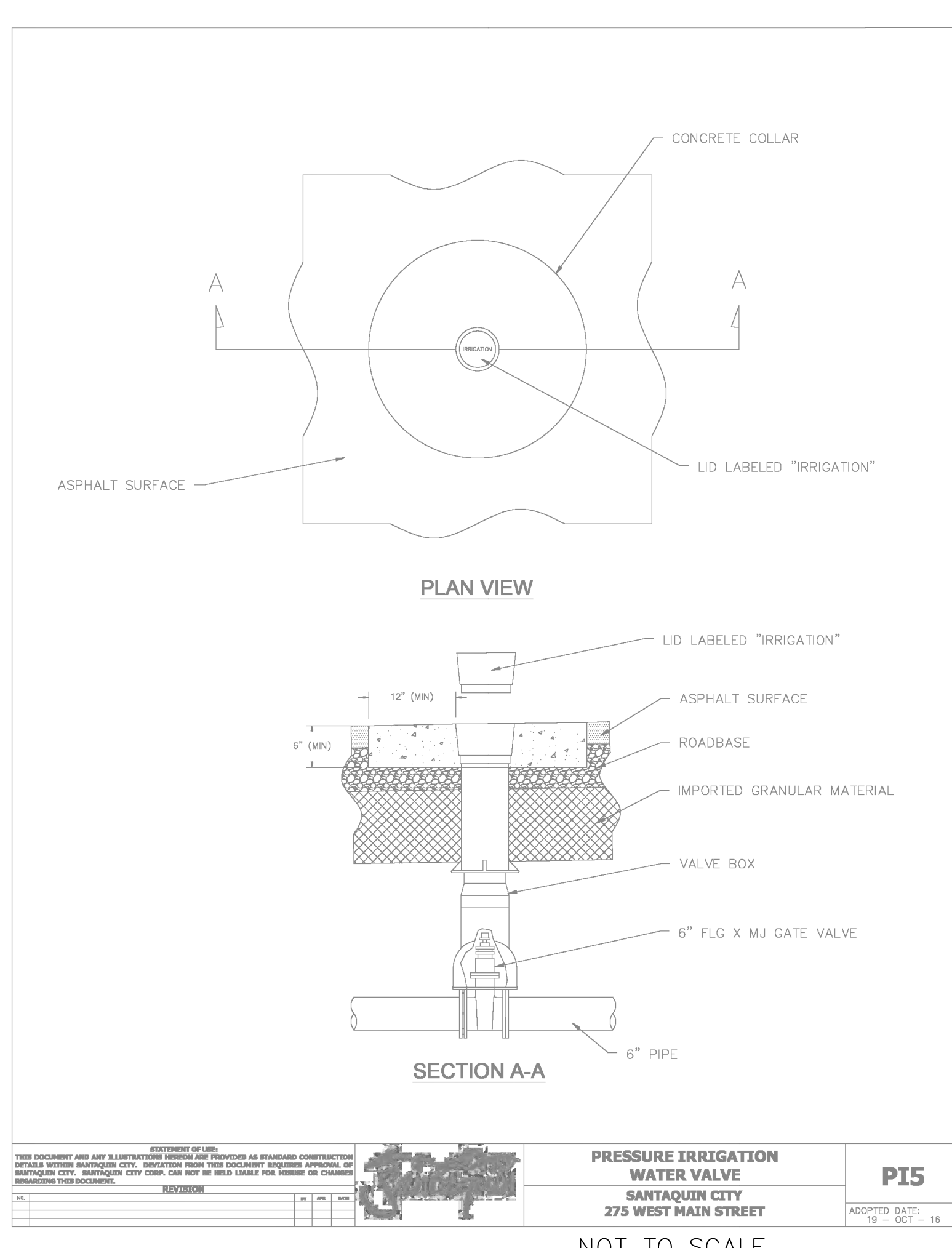
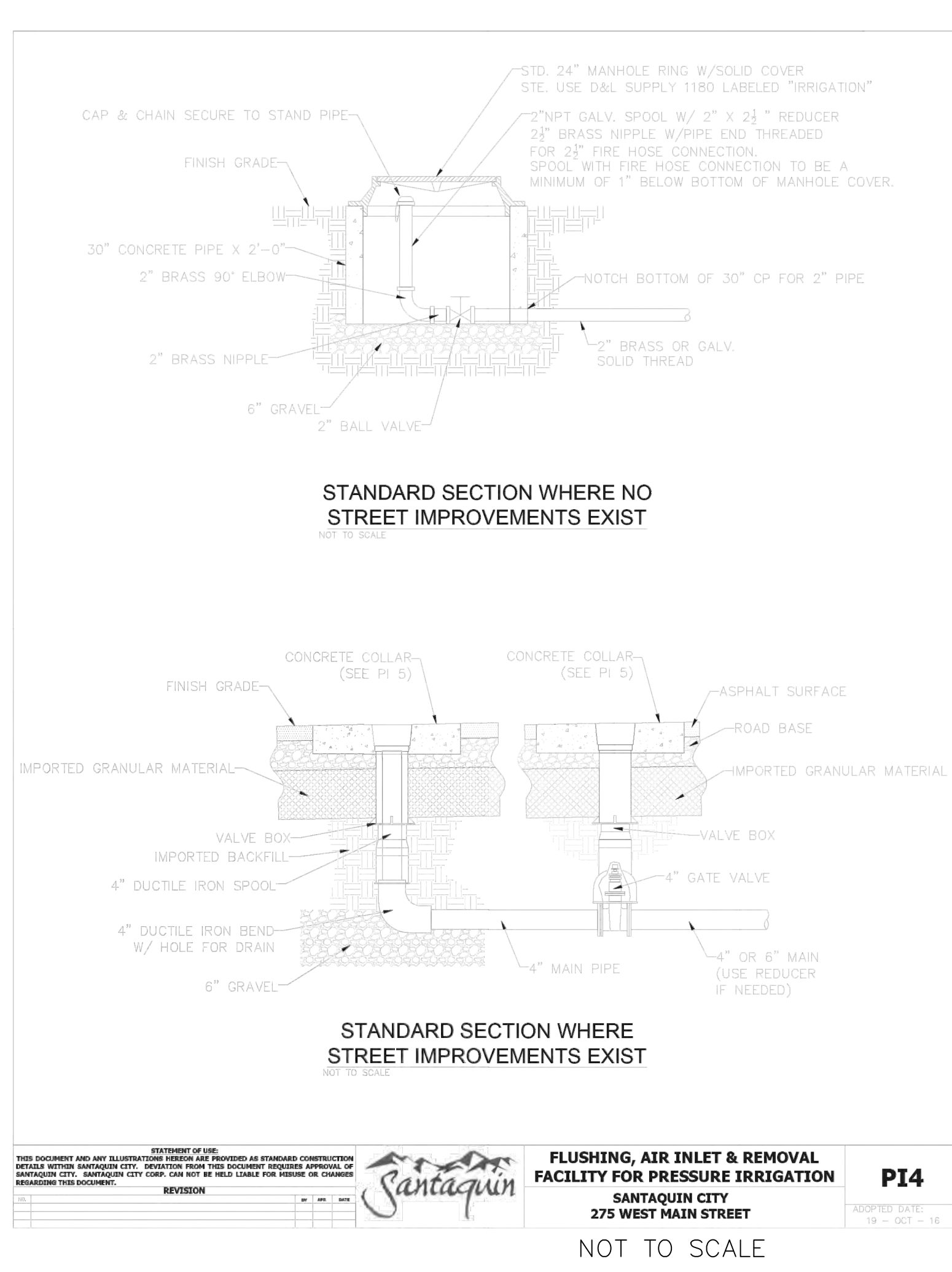
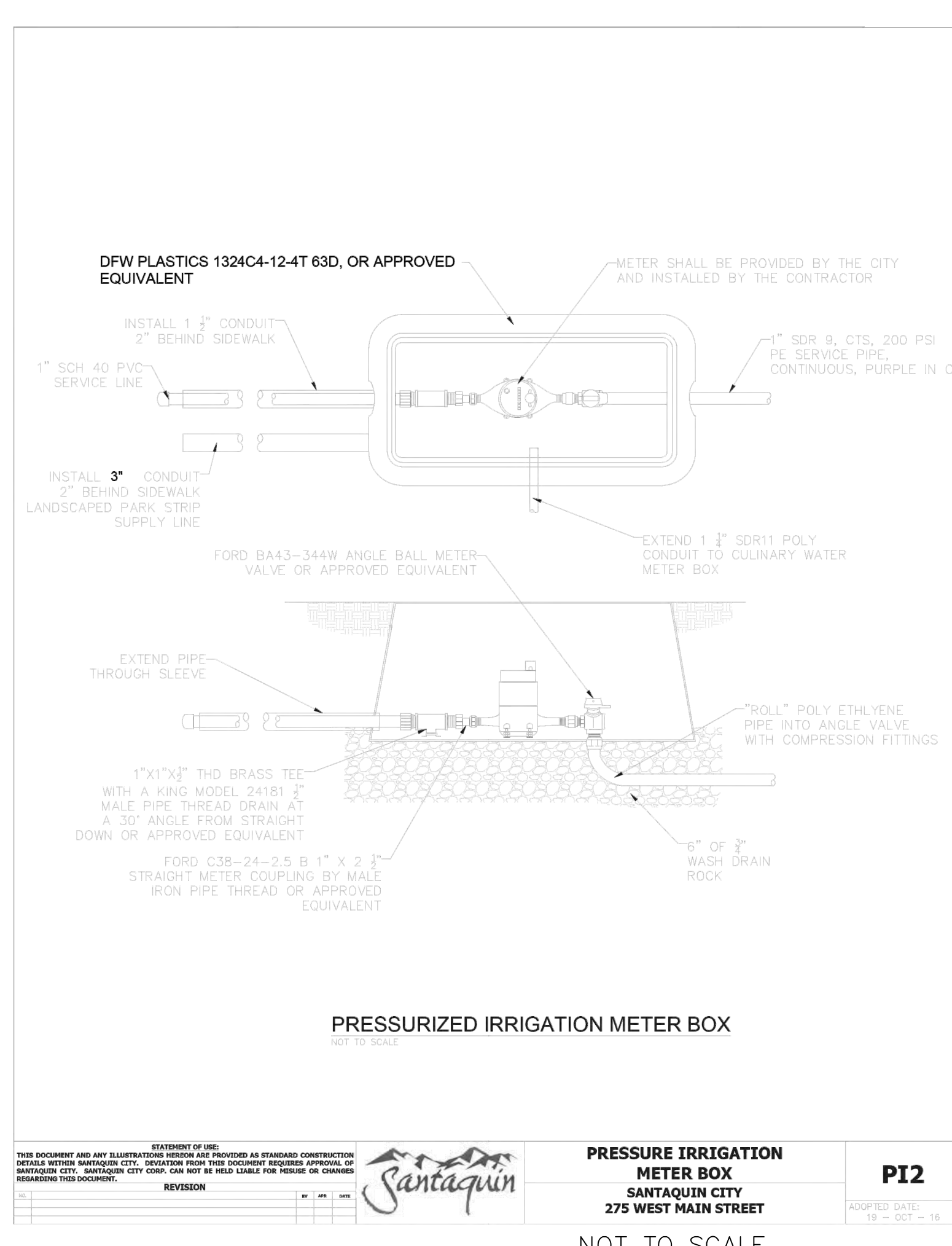
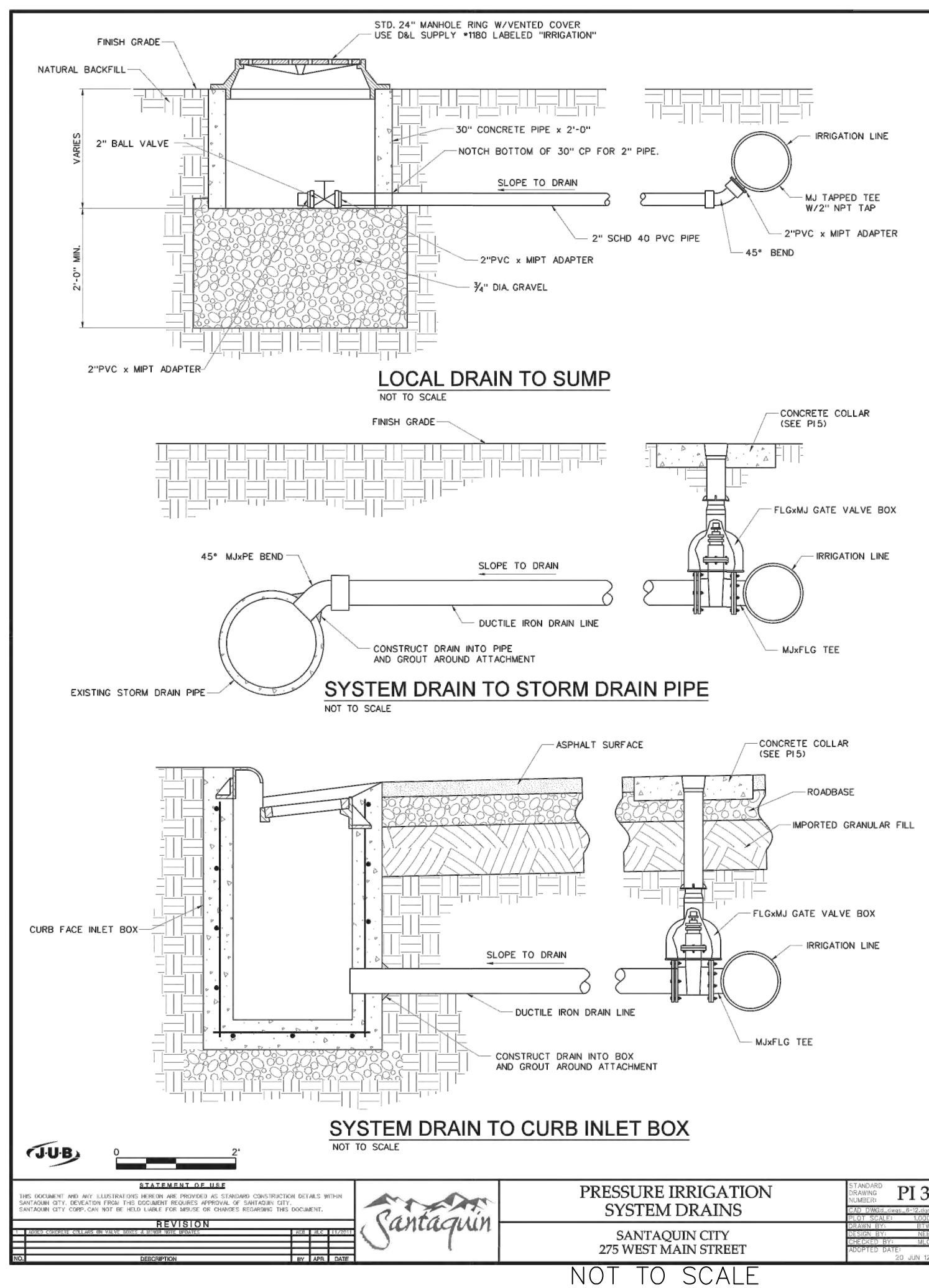
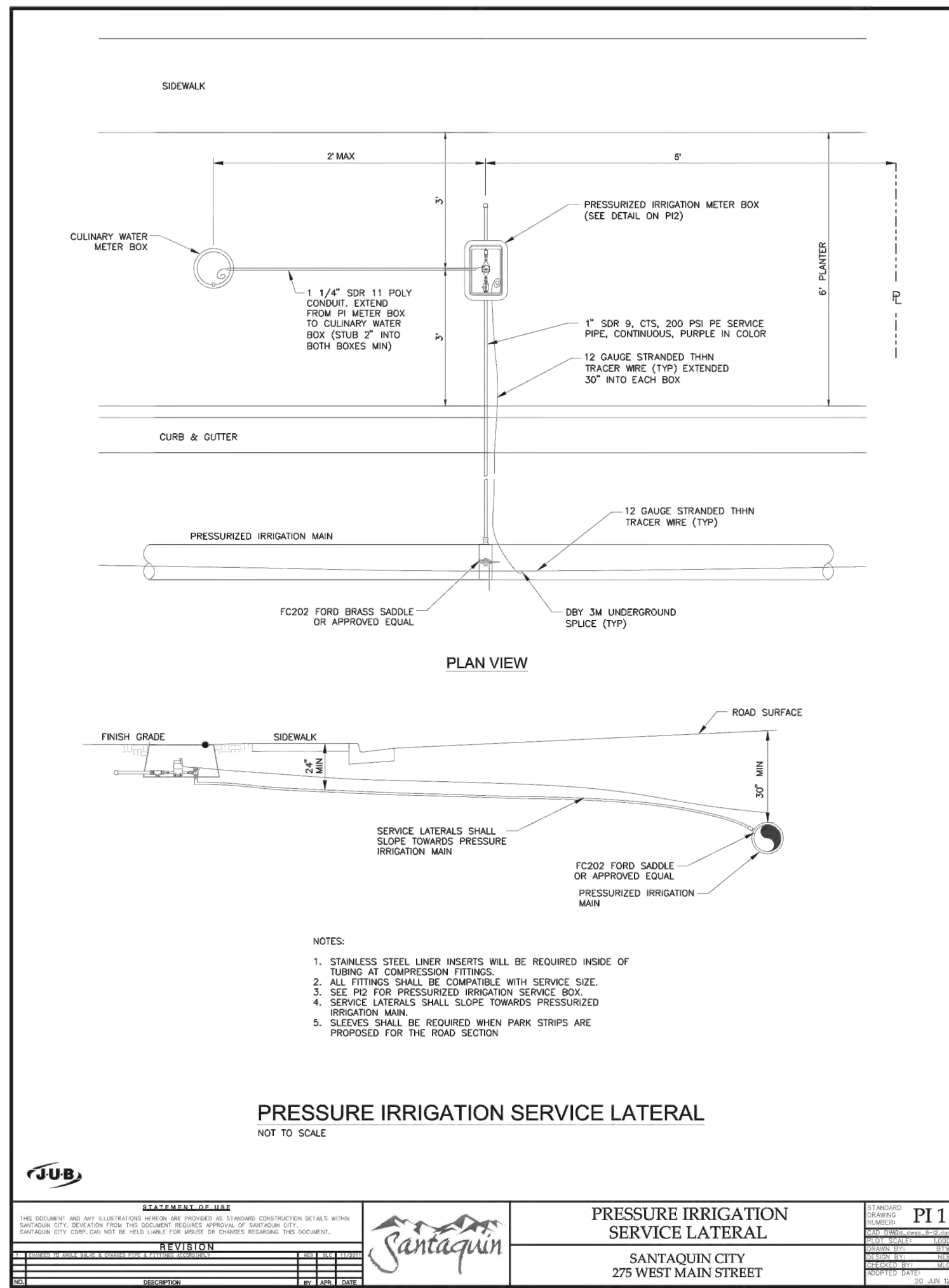
STORM DETAIL

8-7-2025

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SHEET NO. D4



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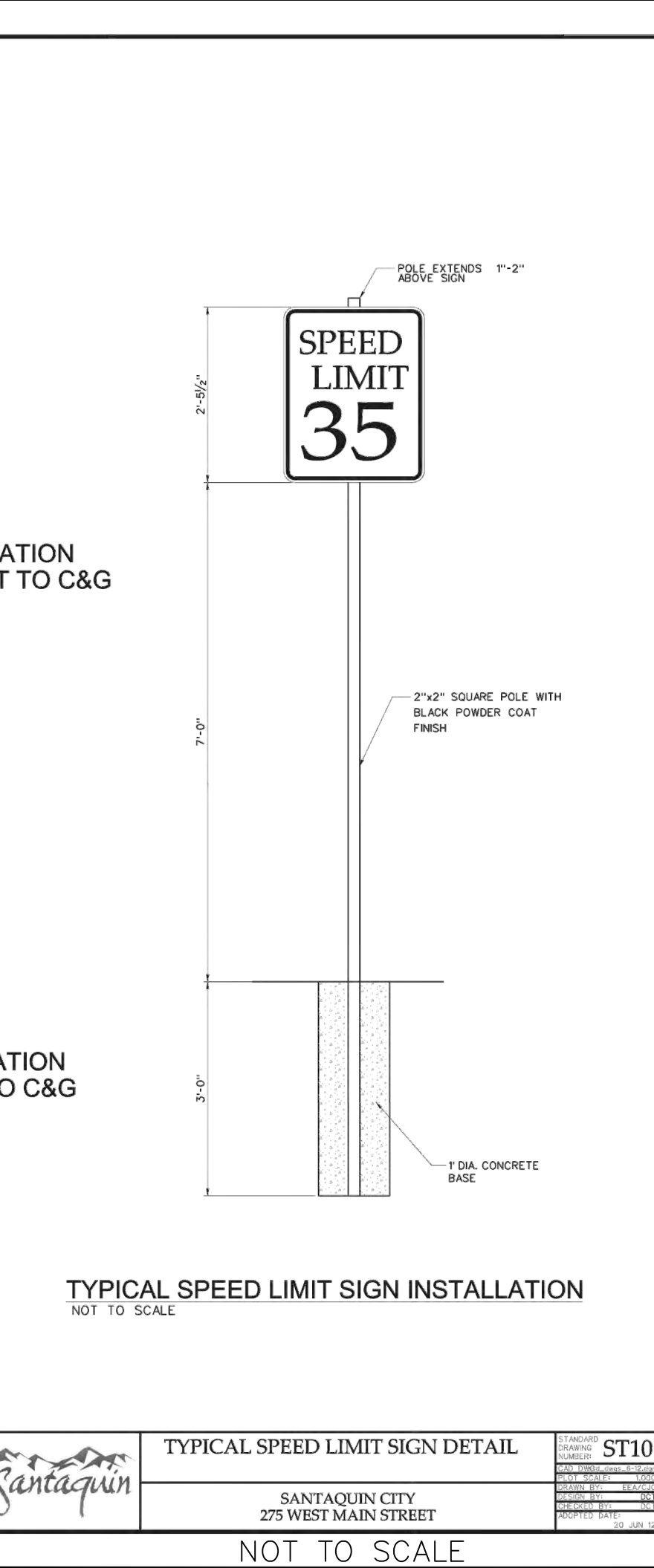
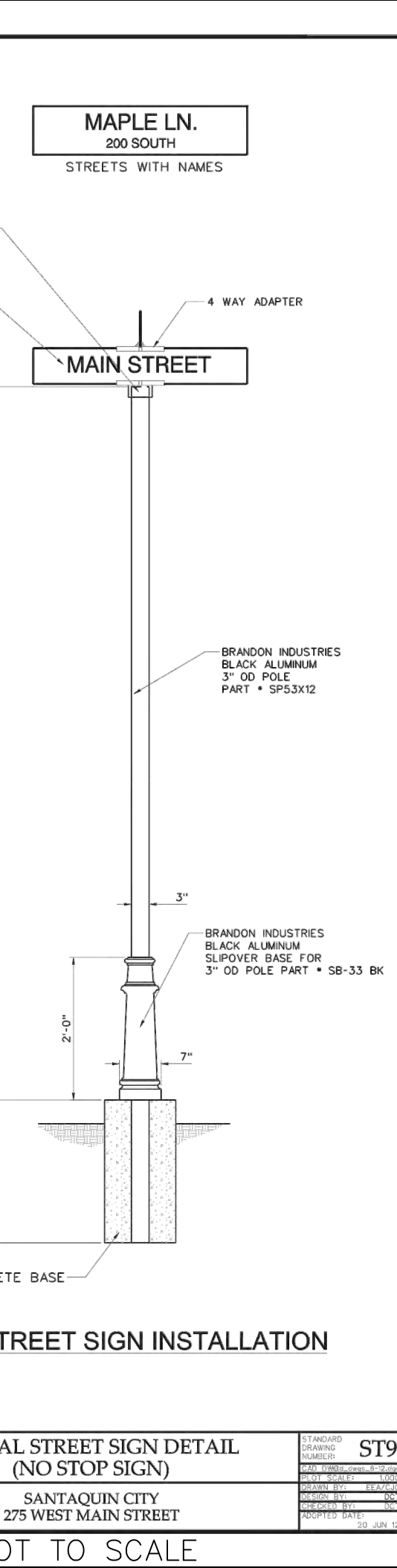
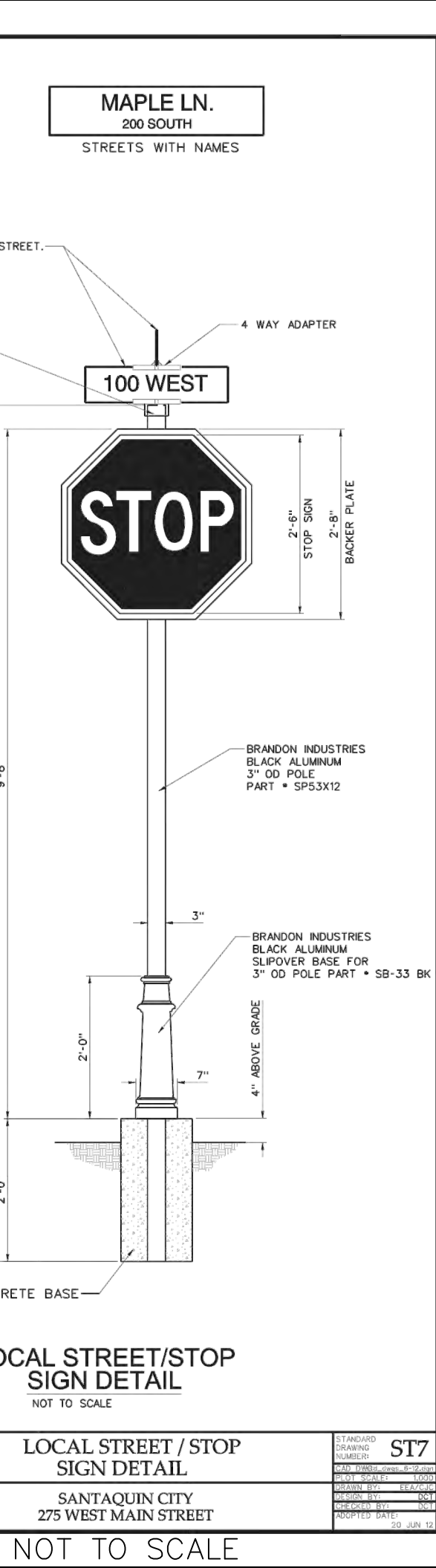
IRRIGATION WATER DETAILS

8-7-2025

SANTAQUIN
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SHEET NO. **D5**



SHEET NO. D6



Planning Commission Members in Attendance: Commissioners Trevor Wood, Mike Weight, Drew Hoffman, Mike Romero, and LaDawn Moak.

Commissioners Jessica Tolman and BreAnna Nixon were excused from the meeting

Others in Attendance: Assistant City Manager Jason Bond, City Council Member Jeff Siddoway, Planner Aspen Stevenson, and Recorder Amalie Ottley.

No members of the public attended the meeting.

Commission Chair Wood called the meeting to order at 7:00 p.m.

INVOCATION/INSPIRATIONAL THOUGHT

Commissioner Romero offered an inspirational thought

PLEDGE OF ALLEGIANCE

Commissioner Weight led the Pledge of Allegiance.

PUBLIC FORUM

Commission Chair Wood opened the Public Forum at 7:01 p.m.

No members of the public wished to address the Planning Commission in the Public Forum.

Commission Chair Wood closed the Public Forum at 7:03 p.m.

DISCUSSION & POSSIBLE ACTION ITEMS:

1. PUBLIC HEARING: Architectural Requirements in the Main Street Business District (MSBD) Zone

Assistant Manager Bond presented a proposed code amendment changing some architectural requirements in the Main Street Business Districts (MSBD) Zone – specifically related to roofline requirements. This proposed change came about because of a current Architectural Review Committee (ARC) review of a proposed Mountain America Credit Union (MACU) building on Main Street. The proposed building does not comply with a specific architectural requirement because the shed roof on the front of the building that faces Main Street has a 2:12 pitch. The code allows for a flat roof or a minimum 5:12 pitch but anything in between is not currently allowed.

Commission Chair Wood opened the Public Hearing at 7:12 p.m.

No members of the public wished to address the Planning Commission in the Public Hearing.

Commission Chair Wood closed the Public Hearing at 7:12 p.m.

The members of the commission agreed that the proposal was straightforward.

Commissioner Weight made a motion to make a positive recommendation to the City Council that the proposed amendment to the architectural requirements in the Main Street Business Districts Zone be approved as written. Commissioner Romero seconded the motion.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Absent
Commissioner Romero	Yes
Commissioner Tolman	Absent
Commissioner Weight	Yes
Commissioner Wood	Yes

The motion passed.

2. PUBLIC HEARING: Requirements for Masonry Fencing Along Double Frontage Lots

Planner Stevenson introduced a proposed code change that amends Santaquin City Code (SCC) 11.24.080 to include a requirement that when double frontage lots cannot be avoided a masonry fence shall be required. This code amendment comes as a request from the Community Development department and City Administration.

Commissioners discussed where there are examples of homes that have double frontage in local neighborhoods that don't front arterial or busy city roads. Commissioner Hoffman suggested that the code amendment apply only to double frontage lots on arterial and connector roads and not to local neighborhood streets. Commissioner Wood suggested that additional landscaping be encouraged when there's a sidewalk up against the masonry fence. Assistant City Manager Bond discussed the difficulty of setting a large number of requirements in development agreement with regard to the public right-of-way.

Commission Chair Wood opened the Public Hearing at 7:26 p.m.

No members of the public wished to address the Planning Commission in the Public Hearing.

Commission Chair Wood closed the Public Hearing at 7:26 p.m.

Commissioner Hoffman made a motion to recommend approval of the proposed code amendment to require fencing on double frontage lots except for lots on designated local roads. Commissioner Moak seconded the motion.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Absent
Commissioner Romero	Yes
Commissioner Tolman	Absent
Commissioner Weight	Yes
Commissioner Wood	Yes

The motion passed.

3. Santaquin Peaks Industrial Subdivision Lots 7 & 8 Plat Amendment

Planner Stevenson presented the site plan for Silver Creek Design currently under review located off Summit Ridge parkway in the Santaquin Peaks Industrial Park. The owner of the lots propose combining lots 7 and 8 within the Santaquin Peaks Industrial Park within the Industrial zone to create a total of 1.98

acres. There are "...no land area requirements, except that an area sufficient to accommodate location requirements, off street parking, loading and unloading, and vehicular access shall be provided and maintained" in the Industrial Zone (SCC 10.20.130).

Commissioners had no questions or issues with the proposed plat amendment.

Commissioner Romero made a motion to approve the Santaquin Peaks Industrial Subdivision Lots 7 & 8 Plat Amendment. Commissioner Weight seconded the motion.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Absent
Commissioner Romero	Yes
Commissioner Tolman	Absent
Commissioner Weight	Yes
Commissioner Wood	Yes

The motion passed.

MEETING MINUTES APPROVAL

Commissioner Romero made a motion to approve the meeting minutes from August 12, 2025. Commissioner Hoffman seconded the motion.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Absent
Commissioner Romero	Yes
Commissioner Tolman	Absent
Commissioner Weight	Yes
Commissioner Wood	Yes

The motion passed.

OTHER BUSINESS

Assistant City Manager Bond let the Planning Commission know that a previous application for a rezone has been rescinded by the applicant.

ADJOURNMENT

Commissioner Weight made a motion to adjourn the meeting.

The meeting was adjourned at 7:31 p.m.

City Recorder – Amalie R. Ottley

Planning Commission Chair – Trevor Wood