

**HEBER CITY CORPORATION
75 North Main Street
Heber City, UT 84032
Planning Commission Meeting**

August 26, 2025

6:00 p.m. – Regular Meeting

-Time and Order of Items are approximate and may be changed as Time Permits-

Public notice is hereby given that the monthly meeting of the Heber City Planning Commission will be in the Heber City Office Building, 75 North Main, South door, in the Council Chambers upstairs.

1. Regular Meeting:

- I. Call to Order
- II. Roll Call
- III. Pledge of Allegiance: By Invitation
- IV. Prayer/Thought by Invitation ()
- V. Recuse for Conflict of Interest

2. Consent Agenda:

- I. July 22, 2025 & August 12, 2025, Draft Minutes for Approval

3. Action Items:

- I. Request for a Site Plan Approval for Hicken Fieldhouse, located at 280 East 600 South (Planner Jacob Roberts)
- II. Request for Subdivision Preliminary approval for The Edge, located at 67 E 200 N (Planner Aubrey Larsen)

4. Work Meeting: N/A

5. Administrative Items:

- I. City Council Communication Item

6. Adjournment:

Ordinance 2006-05 allows Commission Members to participate in meetings via telecommunications media.

In accordance with the Americans with Disabilities Act, those needing special accommodations during this meeting or who are non-English speaking should contact Meshelle Kijanen at the Heber City Offices at 435.657.7898 at least eight hours prior to the meeting.

Posted on _____, in the Heber City Municipal Building located at 75 North Main, the Heber City Website at www.heberut.gov, and on the Utah Public Notice Website at <http://pmn.utah.gov>. Notice provided to the Wasatch Wave.

**HEBER CITY CORPORATION
75 North Main Street
Heber City, UT 84032
Heber City Council Meeting
July 22, 2025**

DRAFT Minutes

6:00 p.m. – Regular Meeting

1. Regular Meeting:

I. Call to Order

Chairman Phil Jordan called the Planning Commission Meeting to order at 6:01 p.m. and welcomed everyone present.

II. Roll Call

Planning Commission Present:

Chairman Phil Jordan
Vice-Chair Tori Broughton
Commissioner Darek Slagowski
Commissioner Robert Wilson
Commissioner Robert McKinley

Planning Commission Absent:

Commissioner Dennis Gunn
Commissioner Dave Richard
Commissioner Josh Knight
Commissioner Greg Royall

Staff Present:

Planning Manager Jamie Baron
Planner Jacob Roberts
Deputy Recorder Robin Raines-Bond

Staff Participating Remotely:

Anthon Beales

Also Present:

John Hernandez, Erin Merryweather, Scott Merryweather, Karl Merryweather, John and Charlette Scheid, Wade Scroggins, Bill Spiker, Shelley Ryan, Jill & Dennis Van Leenuwan, Laura Littman, Mike Johnston

Also Attending Remotely:

Catherine, Grace Doerfler (KPCW)

III. Pledge of Allegiance: By Invitation

Vice Chair Broughton led the recitation of the Pledge of Allegiance.

IV. Prayer/Thought by Invitation: N/A

V. Recuse for Conflict of Interest: N/A

2. Consent Agenda: N/A

3. Action Items:

I. Public Hearing to amend fence heights for Sports Courts (Planner Jamie Baron)

Planning Manager Baron provided background on the public hearing and reported that the Code Enforcement Officer had received a complaint about fencing on a sports court. He detailed that the question up for consideration that evening was if the height of fences on sports courts should be modified in their City ordinance. He shared some images of different fences located throughout Heber City at various sports courts. Planning Manager Baron also shared some of the suggested language that the City was considering using for the updated ordinance. He summarized that the central question was if the City should allow sports court fences to be up to ten feet in height and stated that City Staff recommended that the Planning Commission receive public feedback and then forward a positive recommendation to the City Council.

Chairman Jordan noted the arrival of Commissioner McKinley.

Planning Manager Baron clarified that the current Code did not currently require fences at all, but if there was a fence, it was capped at a height of six feet. Chairman Jordan asked City Engineer Hansen if there were any safety issues posed by changing the height of the fences. Planning Manager Baron clarified that the entirety of a private property could not have a ten-foot-tall fence; only the parts of the property that were used as a sports court could have a fence that was ten feet. City Engineer Hansen added that the ten-foot fence had to be chain-link and could not be a privacy fence, so he had no concerns.

Commissioner McKinley asked if residents needed a permit to build a sports court and expressed concern that people might take advantage of this allowance to build ten-foot-tall fences that were not used for a sports court. Planning Manager Baron provided history about what the City had done in the past and summarized that he did not recommend requiring a permitting process for construction of a sports court. Commissioner McKinley worried that people would take advantage of this ordinance and suggested that a definition of 'sports court' be included in the ordinance. Planning Manager said they could include that language.

Chairman Jordan reminded the public of the rules for public comment. He opened the floor for public comment.

No members of the public came forward, and Chairman Jordan closed the floor for public comment.

Chairman Jordan asked the Commission for feedback on color for the fences.

Commissioner Slagowski stated that he wanted dark colors such as black, brown, or charcoal. Commissioner Broughton suggested black or untreated. There was dissent about if the untreated was a good idea, and Commissioner Broughton noted that they did not want people to put logos or designs on the fences, such as sports teams. Chairman Jordan summarized that the Commission was in favor of black fences. Chairman Jordan commented that his HOA allowed for dark brown or earthtone.

Chairman Jordan asked the Commission if they wanted to include a definition of sports court. Commissioner Broughton opined that was unnecessary, and Chairman Jordan concluded the Commission would leave it to the discretion of City Staff as to if they thought it was helpful to include a definition or not.

Commissioner Broughton moved to forward a positive recommendation for the sport court fencing text amendment as presented in the Staff Report, with the addition of specifying the color to be black. Commissioner McKinley made the second.

Voting Yes: Vice-Chair Tori Broughton, Commissioner Darek Slagowski, Commissioner Robert Wilson, Commissioner Robert Mckinley

Voting No: None.

The motion passed 4-0.

II. Public Hearing for a Development Agreement for accessory building setbacks at 525 N 600 W (Planner Jamie Baron)

Planning Manager Baron introduced the applicants and oriented the Commission to the location of their parcel, located at 525 North 600 West. He explained that when the high school that was adjacent to their parcel was developed several years ago, the School District had taken a portion of the applicant's property for right-of-way access. Planning Manager Baron said that the applicant's land was used for agriculture, and they now wanted to build a barn and add a physical barrier between their land and the future traffic from the high school. He explained that the construction would have a three-foot setback from the right-of-way, and he said the current Code required a ten-foot setback for accessory units. As such, he explained that the applicants were requesting an MDA that included an exemption to the ten-foot requirement.

Planning Manager Baron also provided a history of the Code and noted that in the past, the setback requirement had been smaller than ten feet. He added that the applicant had gone before the City Council, who were looking for ways to work with them so that they could have their construction plans move forward.

The applicants, John Scheid and Charlotte Scheid introduced themselves. Mr. Scheid stated the reason they wished to build the barn was to store equipment that they did not currently have space for. He also explained that if there was a ten-foot setback on the new building, they would not have enough space to park and move their vehicles and farming equipment, so they would have to tear down the existing structure that was on

the property. Mr. Scheid also noted that the school had raised their land, which greatly impacted the privacy of their land.

Commissioner Broughton asked what the height of the barn would be and Mr. Scheid replied it would be 26 feet, which was the maximum height permitted by the Code. Mr. Scheid also detailed where the roads and gates on his property would be located.

Planning Manager Baron discussed the water service that was located 83 feet east of the fence, and said Engineering had some concern about how they would access the water meter. City Engineer Hansen elaborated on the concerns and clarified that he was not opposed to the proposal; he just wanted to ensure that Engineering had access. City Engineer Hansen said that the water meter was on the east side of the proposed building, so he wanted to request that the water service have a ten-foot offset to the front of the building. Additionally, City Engineer Hansen said he needed access to the meter vault, so there either needed to be a gate through the fence or an easement. City Engineer Hansen assumed that an easement was an easier option since the fence would be masonry.

Mr. Scheid spoke about the increased traffic pressure on the road and said the road was dangerous for pedestrians. He said he and his wife planned to put in a fence with a walk-through gate so they could access their mail. Mrs. Scheid added there was an entrance to the property on the other end of the driveway as well. City Engineer Hansen said he needed a 15-foot-wide easement to the meter box so that Public Works would always be able to access it. City Engineer Hansen emphasized this was important so that future property owners could not deny access to the City to maintain the meter. Mrs. Scheid asked for clarification about the easement and City Engineer Hansen said they could either do a blanket ordinance, or they could describe a 15-foot easement in metes and bounds. Planning Manager Baron emphasized that this was not an easement for the public; only for Public Works to do maintenance.

Planning Manager Baron asked if the meter box could be moved to the other side of the fence and City Engineer Hansen said that was not an option. However, City Engineer Hansen said they could possibly move the fence so that the meter was on the roadside, and if they did that the City would not need access through the Scheid's property. City Engineer Hansen clarified that the meter was about five feet underground. Mrs. Scheid clarified that they could put the meter wherever they wanted, as long as it was in the yard and not in the road.

Commissioner Broughton asked why the School District was putting in a fence on the Scheid's property line. Mr. Scheid explained that he had previously owned property that extended to the middle of the road and said he had ceded that land to the School District. He had hoped the fence would keep his property private, but because the school's property had been raised, the fence was not sufficient to keep his property private. Mrs. Scheid added that the school planned to build their sports field on top of the raised lot, and she worried about how they would avoid stray balls from flying into her yard.

Chairman Jordan asked about future plans for services to the west side of the road and asked if Public Works would have sufficient access if the property was ever sold and subdivided in the future. City Engineer Hansen said that the dry utilities would have to

find another route, given the agreement between the School District and the property owners. City Engineer Hansen reiterated that Public Works needed an easement as part of the MDA.

Mr. Scheid noted that the only other utility in the road was the gas line, which he had no way of moving. Planning Manager Baron clarified he was not responsible for moving the gas line.

Chairman Jordan opened the floor for public comment.

Dennis Van Leenuwan, Northfields neighbor, felt that the Scheid 's request was reasonable, especially given the developments by the School District, and he hoped the Commission would approve their request.

Bill Spiker, neighbor to the Scheid's, expressed that the Scheid had done great upgrades to their property and were good neighbors. He felt their request was reasonable given the developments by the school and the bypass, and he noted that he was planting trees on his property in attempt to keep his parcel private. He said it would be untenable for the Scheid to not have a wall or barn to keep a sense of privacy in their home. Mr. Spiker added that this proposal would have no negative impact on the school or any of the neighbors, so he opined that the request be approved.

Chairman Jordan closed the public comment period.

Chairman Jordan opened the floor to the Commissioners for questions.

Commissioner Wilson thought the Scheid should be getting more in return for the high school being developed right next to their house. He spoke about how much the sound of football games traveled and expressed sympathy to the Scheid. Mrs. Scheid said that she had been asked by the developer if they wanted a six-foot or eight-foot wall, and asked if the Commission would be willing to approve a wall of that height. Planning Manager Baron said he would look into the zoning but anticipated that the City would be open to an eight-foot fence if the school was willing to construct one. Mr. Scheid said the original agreement with the school had been for an eight-foot fence, though it had been changed to a six-foot fence in order to be in accordance with City Code. Mr. Scheid recalled that he had not been notified of the change in height until he had signed the agreement with the School Board. Planning Manager Baron said they could put a provision in the MDA that stated the Scheid could have an eight-foot wall.

Commissioner Broughton asked if their positive recommendation to City Council would lock in the 15-foot easement, or if it just affirmed that Public Works needed access in some way. Planning Manager Baron said the recommendation would only state that the City needed some kind of access and was not specific. Commissioner Broughton confirmed they would have time to look into other options about how Public Works could have access.

Chairman Jordan clarified that the construction was still subject to a building permit and Planning Manager Baron replied that it was.

Commissioner Broughton recommended that they only approve 'appropriate access' and not specify that there had to be a 15-foot easement specifically, so they could still look into options like a gate. She expressed that she wanted the Scheids to have flexibility. City Engineer Hansen reiterated that he did not need it to be an easement; he just needed 15 feet of access in some way. City Engineer Hansen elaborated about how the easement would be recorded.

Mrs. Scheid commented that she was interested in looking into an eight-foot wall. Planning Manager Baron discussed that eight-foot walls were permitted in commercial zones, and also in areas where commercial zones abutted residential zones. Planning Manager Baron proposed that an eight-foot wall provision be included in the Commission's recommendation to Council.

A member of the public made a comment from the audience, though it was not intelligible.

Commissioner Slagowski motioned to forward a positive recommendation for the Scheid development agreement located at 525 North 600 West, with the findings and conditions as identified in the Staff Report the property and provision that the Scheids property be permitted to have an eight-foot wall.

Voting Yes: Vice-Chair Tori Broughton, Commissioner Darek Slagowski, Commissioner Robert Wilson, Commissioner Robert Mckinley

Voting No: None.

The motion passed 4-0.

III. Public Hearing for Downtown Heber Food Truck Rendezvous Development Agreement (Planner Jacob Roberts)

Planner Roberts provided background information on this item and identified the applicant as Matt Hansen. He reported that Mr. Hansen wanted to open a temporary food truck court at 89 West 900 South and shared an aerial view of the proposed site. He detailed that the site would have eight food trucks, 16 parking spaces, a dumpster, porta potties, and a seating area. He stated that an MDA would be necessary for this proposal as a food truck was not an approved use in the C-3 zone. He summarized that Staff recommended approval, and said that although the proposal itself was simple, there were several pieces of Code that would need to be addressed in the MDA.

Planner Roberts outlined some of the conditions that needed to be addressed in the MDA, including Dark Sky compliance, landscaping, and parking. He said that the Code did not have parking requirements for food trucks, which made this proposal unique. Planning Manager Baron added that generally, parking standards required hard surfaces like asphalt, though this proposal included gravel parking.

City Engineer Hansen identified that some Engineering policies could not be enforced in this case, due to the temporary nature of the proposal. He said that the current intersection had issues with traffic backing up already, so there was a significant traffic impact that would come from this proposal. He said that generally, the City would

require a traffic impact fee, although the applicant had argued that this fee should not be assessed since the proposal was only for temporary use. Additionally, City Engineer Hansen said there was an impact fee for water use, although it would be difficult to determine how much water this project would actually use. City Engineer Hansen said the Commission had the option to give waivers for both of these fees.

City Engineer Hansen then discussed the gravel parking. He said there needed to be ADA access to the bathrooms and the food court area, and said he did not know how that could be addressed. He also said that generally, storm water needed to comply with the City's storm water design manual, although this could be waived by the Commission as well since it was a temporary project. City Engineer Hansen added that a waiver would also be needed for the sidewalk and curb requirements that were required with permanent developments.

City Engineer Hansen summarized that Engineering needed guidance from the Commission as to if they wanted to waive these requirements since the project was temporary, and he said if the Commission wanted to granted the waivers then he highly recommended that the Commission define 'temporary use' and reevaluate the MDA as time went on.

Commissioner Slagowski asked if there would be fencing to separate the food trucks from the adjacent residential homes, noting that the generators might cause a disturbance to the homes.

Chairman Jordan noted that Councilmember Mike Johnston was present, though not in official capacity as a Councilmember.

Mr. Johnston stated that he was present on behalf of Atwell, where he worked as an engineer. He stated that Mike Hansen was a close friend of his and he was recused from this item on the City Council. He affirmed he was not an applicant, though he was working with Mr. Hansen on this item.

Mr. Johnston noted that none of the food trucks had generators, so there would not be an issue with noise. As far as water was concerned, he said most of the trucks had 30-gallon tanks, which would last them for several days and was only used for cleaning, as most of the food was prepared offsite. Mr. Johnston said the grey water would be disposed of at a sanctioned RV disposal site, and he emphasized that there was only grey water, not black water, although there would also be grease traps installed just in case.

Mr. Johnston also elaborated about the temporary nature of the project, and explained that Mr. Hansen was hoping to wait to develop the property into a permanent building until the surrounding area was more developed. He reported that Mr. Hansen hoped to keep this use for about five years, and said it was his recommendation that the MDA sunset after five years. Mr. Johnston also noted that Mr. Hansen was currently on vacation and unable to phone in, which was why he was not present that evening. Mr. Johnston explained that if the City were to require all of the impact fees, there could be no profit.

Mr. Johnston said that if the food trucks were not allowed to go in, the property would just sit vacant for years until the property was ready to be permanently developed. He also affirmed that the property owner would maintain the property and pay the utility bills. Chairman Jordan asked how the property owner would recoup those expenses

and Mr. Johnston replied that he would assess a flat fee to the food trucks that were parked on the property.

Mr. Johnston opined that the food trucks would not create additional traffic, since people generally did not leave their house specifically to get food from a truck. Rather, he suggested that people who were already driving would see the trucks and stop on their way home, so he did not think the project would increase pressures on traffic.

Commissioner Broughton asked if a striped crosswalk would be needed, since the project would increase pedestrian traffic. Planning Manager Baron said they would need to conduct a traffic study to determine if a crosswalk was necessary.

Mr. Johnston noted that when food trucks came to events, the trucks were not assessed an impact fee so he did not think these food trucks should pay the fees either. He said the project would attract people to the downtown area, which was a goal of the City. He reiterated that he did not think the food trucks would exacerbate the problem with traffic, and noted that UDOT was already aware there were issues with that road. He acknowledged that he was not certain how they would address ADA access with a gravel lot, although he stated they would look into it and find a solution. He added that all lighting would be temporary as well and could be taken down quickly.

Chairman Jordan commented that this proposal could be considered like an event, and so it should be compliant with event requirements.

Chairman Jordan opened the floor for public comment.

Scott Merriweather expressed his opposition to this proposal. He said that the surrounding property was in his family's trust, and he said his parents were currently dealing with drainage issues on their property. Mr. Merriweather said the City needed to address those drainage problems and said the porta potties would make the issue far worse. He acknowledged Commissioner Slagowski's earlier point that the food trucks would cause noise. He further said parking was already an issue with the farmer's market, and noted that people parked on their property for the market and even ate their food from the market on his lawn. Mr. Merriweather said there would need to be a privacy fence and signage, though he felt even those measures would not entirely curb the issue. He cautioned that granting too many waivers would be an issue, and he also worried that the proposal would end up being permanent.

Carl Merriweather reiterated Scott Merriweather's comment about the drainage issue on his property. He complained the City had not appropriately addressed the issue and said the drain water pooled. He also noted parking was an issue.

Ella Merriweather identified herself as Carl Merriweather's wife and Scott Merriweather's mother. She said the base price on their water was \$92 a month, even if no water was used. She argued that if this was their base price, it should be the same for the food trucks. She also commented on the drainage issue. Mrs. Merriweather thought a crosswalk might be helpful, though she said the traffic on the road was constantly backed up and she heard traffic accidents constantly. She also commented that porta potties were not ADA accessible, and stated she did not want porta potties in her backyard. She stated that if this project went through, she wanted a privacy fence put up to separate her property from the development.

Shelley Ryan spoke about the porta potties. She felt that people would come to use

the porta potties and not actually buy anything. She also asked where the parking spaces would be located and Planner Roberts indicated on the map where the stalls would be placed. Planner Roberts clarified the parking stalls were standard size. Mrs. Ryan elaborated about the porta potties.

Lora Litman said she owned a business that was located down the block, and said that while her original intention was to only be there for a couple years, she had been at the business for 23 years. Mrs. Litman did not think the development should be granted all of the waivers, as it was possible that it might not be temporary. She asked that the grass and trees be put back in, and complained that the current state of the lot was an eyesore. She noted that food trucks were required to be attached to a brick and mortar store, and pointed out that there were many businesses in Roy that were already struggling to make it through the slow season. In addition, she refuted the earlier point that the food trucks would not need generators, and she felt that the noise from the generators and smell from the porta potties would pose an issue. She opined that the project was not a good use of the space and was a bad fit for the area.

Planning Manager Baron read aloud an email from George and Shauna Bennett that had been sent to the City in regard to this issue:

"Items to consider: one, will there be curb and gutter sidewalks along public right of way? Two, will public overhead utility line near the southwest corner of the property be buried? Three, will historic south to north drainage in the right of way be restored along 100 West? Four, will permanent toilets, not porta potties, be provided? Five, will there be paving for ADA site and toilet access? Six, will there be paved access to food trucks for access during the winter? Seven, will there be dark sky lighting? What time will it turn off? Eight, where is staff parking? Nine, where is ADA parking? Ten, sewer connection is in the walkway. How and when will vendors dump grey water? Will there be impact fees? Eleven, where are water connections? Will there be impact fees? Twelve, will there be trails and park impact fees? Thirteen, will there be a traffic study? How will this use impact 100 West at Midway Lane? Fourteen, will storm water study be provided? Where will onsite water be stored? Fifteen, how will additional parking impact local businesses? Sixteen, will this be temporary use of this property?"

John Hernandez said he was a neighbor to the property. He said that he had come in that evening thinking the project was a good idea, though he was wary of all of the waivers. He did not think that mitigating the impact to the surrounding properties would be an undue financial burden on the applicant and he noted there were cost-effective ways to minimize the noise and smell that would arise from the project. Mr. Hernandez said that the property owner was going to make a profit from this project, so they could use a portion of the revenue to improve the property. He noted the property was currently an eyesore. Mr. Hernandez then stated that he had been in an accident on that road when he had been hit by someone driving in the shoulder. He discussed that the traffic on that road was a big problem, and in addition to the traffic issues, the sidewalk did not extend all the way down and thus was not ADA-friendly.

Erin Merriweather identified that she was related to the previous commenters, and expressed that while she appreciated that the developer wanted to make use of the space, she felt the property was not suited to the proposed use. She also stated that as a healthcare provider, she did not think the porta potties were appropriate.

Catherine Moore gave an online comment and said she was a neighbor to the property. She questioned that food trucks were going to operate from 10 AM to 10 PM and asked if that would be enforced. She asked how trash was going to be managed and noted that she often had to pick up trash in a nearby park. She also expressed that she did not like the idea of porta potties. Mrs. Moore stated that the food trucks should not get special privileges and be allowed to skip requirements that other developments faced.

Chairman Jordan closed the public comment period.

Mr. Johnston addressed some of the public comments. He said the storm drainage on 100 West could certainly be fixed, and said they could put up 'no parking' signs along the street which would help mitigate the drainage issue. He said they could also change the hours of operation, noting that the 10 AM- 10 PM suggestion was arbitrary and in fact, most food trucks stopped operating before then anyway. He felt that Mr. Hernandez's suggestion of planter boxes to separate the food trucks from the residential area was a great idea, and said they could do a fence as well.

Mr. Johnston emphasized that the development would be mandated to be temporary in the MDA, so they were under contract to not remain indefinitely. He also reiterated that there were no generators as part of the plan. Mr. Johnston said that a privacy fence would be easy to add, and he anticipated that eventually a standalone bathroom could be installed. He said that right now, the applicant was not sure if the development would be successful, so they wanted to wait before installing a permanent bathroom.

Commissioner Broughton commented that porta potties had a wide range, and there were nicer options available than the traditional plastic ones. Chairman Jordan agreed and noted there were ADA porta potties as well. Chairman Jordan said there were porta potties that were on par with permanent public bathrooms. Commissioner Broughton added that the food trucks would also not attract businesses if the porta potties smelled. Commissioner Broughton clarified that she was not arguing for the food trucks, but felt there were provisions they could include in the MDA that would mitigate the issue.

Commissioner Broughton agreed with Mr. Johnston that the storm water drainage needed to be addressed and said she was in favor of a privacy fence. She shared that she ran a business across the street from this property and had a booth at the farmer's market, and affirmed that parking downtown was a huge issue. However, she felt that the 16 parking stalls was sufficient and also noted that Heber did not even have that many food trucks. Commissioner Broughton commented that she spent a lot of time in Moab, which had many successful food trucks and she felt Heber could follow in this model. She said it was important to attract residents to downtown Heber, but the food trucks needed to be developed in a way that was beneficial to all the neighbors and surrounding businesses.

Commissioner Broughton said the Commission needed to define 'temporary' in order to eliminate creating a loophole for future applicants to avoid meeting requirements and impact fees. She further stated that since this project would yield a profit, some of the revenue should be put into curb and gutter improvements for the site. She felt curb and

gutter improvements would be a benefit to the entire area.

Commissioner Wilson agreed with Commissioner Broughton's comments.

Laura Litman commented that Moab had different weather from Heber City, so the viability of a food truck court was not the same in both cities. Mrs. Litman claimed that food trucks needed to be attached to a brick and mortar store, a claim that Chairman Jordan pushed back on as he noted that food trucks were permitted at events without being attached to another building. It was clarified that there was a Heber City ordinance which stated food trucks in commercial zones needed to be located on a property that had a building on it, though the truck did not have to be literally attached to the building. Mrs. Litman continued to say that the point was for patrons of the truck to have access to a bathroom.

Commissioner Broughton said she did not want to limit hours of operation on the trucks, as it might be limiting to trucks that sold coffee and pastries. Chairman Jordan asked if the food trucks would operate every day, and Mr. Johnston replied that they would be open seven days a week, and that although many food trucks chose not to operate on Sundays, there was no ordinance against being open on Sunday.

Mr. Johnston suggested that they reevaluate the MDA after a year or two, and look into their water consumption.

Commissioner McKinley opined that food courts were a good idea, though said he was uncomfortable moving forward until the applicant himself indicated that he was willing to make the concessions that Mr. Johnston had outlined. Commissioner McKinley acknowledged that it seemed this project would be a burden on the surrounding neighbors. Mr. Johnston said that Mr. Hansen would accept the concessions that he had listed earlier, and he pointed out that if the Commission put the concessions in the motion, then Mr. Hansen would not be able to move forward with the project if he did not comply with them. Mr. Johnston said the one item that may pose an issue were the curb and gutter suggestions that Commissioner Broughton had brought up, but expressed that the Commission was welcome to include it in their recommendation and let Mr. Hansen figure it out with the City Council.

Chairman Jordan discussed the word 'temporary' and noted that five years was a long time to be considered temporary. He compared this proposal to an event, and noted that events in Heber City could not be longer than six months. He recommended that the motion include a mechanism for enforcement for the food court in order to ensure compliance with all the noise, light, cleaning, and parking requirements and parameters that the City determined.

Chairman Jordan also spoke about how dangerous the intersection on 100 West was and said the traffic would get worse with the food trucks. He liked the idea of a crosswalk and said that might be helpful, but expressed that a traffic study would be prudent to figure out if a crosswalk was the best way to mitigate the safety issues.

Chairman Jordan liked the idea of reevaluating the site after a year of operation.

He said the porta potties should be limited to the first year, and if the food truck court continued after a year then permanent bathrooms should be installed. Chairman Jordan expressed that lighting was important to consider, especially in the winter when it got dark earlier in the evening and there was ice on the ground. He also discussed that porta potties needed to be emptied every single evening, otherwise it would pose an issue with smell and cleanliness for the neighbors, even with a privacy fence.

Chairman Jordan empathized with the neighbors concerns that the food court was being permitted to bypass regulations that they needed to comply with, though he noted that this proposal was more akin to a restaurant than a residential home. Chairman Jordan summarized that it seemed Mr. Johnston was willing to comply with all of the items that had been brought up by the Commission and members of the public, with the possible exception of the curb and gutter suggestions due to the cost associated with it. He acknowledged that it was important to attract people to the downtown area and said it was a great location, though he expressed concern about parking. He also pointed out the site needed to be kept very clean to avoid having issues with grease, rodents, and pests.

Commissioner Broughton asked if there would be a site plan and Planner Roberts clarified that the proposal that evening constituted the site plan. Mr. Johnston indicated they could modify the site plan as well. Chairman Jordan said they could make a motion to continue to move this item forward, as long as the items that had been discussed that evening were added to the plan. Mr. Johnston said that the Commission also needed to agree that the applicant could have the traffic impact fee be waived, as that was cost-prohibitive to the continuation of the proposal.

Commissioner Slagowski said he wanted to see the MDA be fleshed out and have the concerns be addressed, and then once the MDA draft was updated and the applicant was able to be present the Commission could go through the item again.

Commissioner Slagowski motioned for the item to be continued, and for the MDA draft to be updated and brought back before the Commission for further discussion with the applicant. Commissioner McKinley made the second.

Voting Yes: Vice-Chair Tori Broughton, Commissioner Darek Slagowski, Commissioner Robert Wilson, Commissioner Robert Mckinley

Voting No: None.

The motion passed 4-0.

4. Work Meeting: N/A

5. Administrative Items:

Planning Manager Baron provided a recap of the most recent City Council meeting. He shared that City Council had received the same presentation that the Commission had gotten from Josh Lythgoe at their last meeting. The Commission briefly discussed this presentation and talked about some of the ways that they might be able to implement

Mr. Lythgoe's suggestions.

Planning Manager Baron then reported there had then been a discussion about the Plourde Annexation MDA. He also explained there a fee waiver request for the South Field Park Pump Track, though he noted this item would not come before the Commission. Lastly, he noted the Council had made an amendment to the Upper Jordanelle Ridge MDA.

Chairman Jordan asked when the CHOZ would go before the Council and Planning Manager Baron replied that the Council would look at it next month. Chairman Jordan commented about the historic zone in Heber and said there was currently a study being conducted by Rachel Kaehler to review historic features and properties in the City. He noted that study might even result in the creation of a historic overlay zone, and said the Commission might want to suggest that zone to the City Council in tandem with the CHOZ when they reviewed it in the fall.

6. Adjournment:

The meeting was adjourned at 8:34 PM.

Meshelle Kijanen, Administrative Assistant

HEBER CITY CORPORATION
75 North Main Street
Heber City, UT 84032
Heber City Council Meeting
August 12, 2025

DRAFT Minutes

6:00 p.m. – Regular Meeting

1. Regular Meeting:

I. Call to Order

Chairman Phil Jordan called the Planning Commission Meeting to order at 6:02 PM. and welcomed everyone present.

II. Roll Call

Planning Commission Present:

Chairman Phil Jordan
Vice-Chair Tori Broughton
Commissioner Dennis Gunn
Commissioner Greg Royall
Commissioner Robert McKinley

Planning Commission Absent:

Commissioner Dave Richards
Commissioner Darek Slagowski
Commissioner Josh Knight
Commissioner Robert Wilson

Staff Present:

Planning Manager Jamie Baron
Planner Jacob Roberts
Planning Office Admin Meshelle Kijanen
City Engineer Ross Hansen

Staff Participating Remotely:

Sara Nagel

Also Present:

Gary Bush, Kate Becker, Michael
Bradshaw, Cody Whinton, Mike
Johnston, John McDonald, Jaea
Woreanz,
Cassie and Shawn Harrison

Also Attending Remotely:

Grace Doerfler KPCW, Matt Watson III.

Pledge of Allegiance: By Invitation

Commissioner Gunn led the recitation of the Pledge of Allegiance.

IV. Prayer/Thought by Invitation: N/A

V. Recuse for Conflict of Interest

Chairman Jordan recused himself from Action Item, "Jordanelle Ridge Village 3 Marcella Preliminary Plat."

2. Consent Agenda: N/A

3. Action Items:

I. Bush Annexation, consisting of 1.863 acres, located at approximately 3450 N US 40. (Planner Jamie Baron)

This item was discussed third.

Planning Manager Baron explained this item and introduced Gary Bush and Mike Johnston as the applicant and the engineer, respectively. He said Mr. Bush had proposed that his property be annexed into Heber City and he directed the Commission to the location of his lot. He detailed the annexation process and provided a history of this item thus far. Planning Manager Baron reported that Mr. Bush's application had been approved by the City Council to move forward, so it was now up for review and consideration by the Planning Commission to move on to the next step in the process.

Planning Manager Baron stated that the property was within Heber City's annexation policy plan. He said the County currently had the lot zoned as Town Core, which allowed for up to six ERUs per acre. He then explained that Mr. Bush's proposal for development was to have ten live-work units, two of which would be affordable or deed-restricted. He said this plan fell within the parameters of the zone's density requirements.

Planning Manager Baron shared the site plan and noted that in addition to Mr. Bush's property, a portion of land owned by Finch Creek would be annexed as well with this plan. He indicated where the ten units and an accessory barn would be located and also indicated the elevation of the site.

Planning Manager Baron summarized that Staff recommended approval and was looking to the Commission for direction about the zoning.

Mr. Bush stated he had owned the property for 20 years and hoped to develop it in a way that provided function to the community.

Mr. Johnston made clear that he was participating as a friend of Mr. Bush's, and not serving in his capacity as a Heber City Councilmember. He stated that he had recused himself from this item on the Council and would not vote on the item.

Mr. Johnston provided a history of this parcel and the North Village. He said the zoning had the highest possible density for commercial zones. He said the area was serviced by the North Village Special Services District and the property owners in the area paid

fees to fund the sewer treatment and water treatment plant. Mr. Johnston said Heber City and the County had an MOU for Heber City to annex the area, so annexation of Mr. Bush's land was part of the City's General Plan. He explained Mr. Bush's intent was to build a barn on his property, and noted that nothing could be developed on the property until UDOT fixed the road access issues. He said the property could not be developed without a frontage road, so annexation was necessary.

Mr. Johnston commented that when the frontage road was put in, the homes that were currently in the area would need to be torn down. Mr. Johnston opined that this area was not suited for single-family homes and thought it was better suited for a commercial zone. He said that Mr. Bush's plan to build a storage barn- not a living space- was an appropriate use of the land. He summarized that Mr. Bush was waiting for UDOT to develop the roads, and said the final plan for the development was not set in stone, although he did know the development would be commercial and not residential.

Planning Manager Baron elaborated on the history of the area and said that Mr. Bush's parcel and his neighbors parcels had been part of the original petition for North Village, but the neighbors had requested to be left out and so their parcels had not been included on the final plat.

Mr. Johnston reiterated that the barn Mr. Bush wanted to build was for personal use, and that he knew he had to wait for the roads to be built by UDOT before any kind of development could move forward.

City Engineer Hansen said he had no issues with this application from an engineering perspective.

Chairman Jordan said there would be a public hearing at the City Council about this item after the Planning Commission's recommendation. Chairman Jordan acknowledged there were members of the audience who wanted to speak on this issue, but said that this evening's meeting did not include a public comment period. He invited members of the public to speak if they had relevant information to share about this application, but specified that opinion-based comments would need to wait until the Council's public hearing.

Kate Becker, representative of the owner situated to the north of Mr. Bush, spoke. She said the road was private, and had not been annexed into the City since the majority of landowners in the area had requested to not be annexed. She expressed that annexation would create problems with traffic on the private road. She said that in order for the road to be the mandatory 26 feet required by the City, it would require the drainage ditch to be removed, which would dissolve the property. She opined it was wrong to tell long-time property owners that their houses would be condemned and torn down if this annexation were to go through.

Commissioner Gunn noted a positive recommendation this evening would only continue the discussion, and he anticipated there would be more discussion at the upcoming public hearing.

Motion: Commissioner Gunn moved to forward a positive recommendation of the Bush Annexation, consisting of 1.863 acres, located at approximately 3450 N US 40, subject to the findings and conditions outlined by Staff. Commissioner McKinley

made the second.

Discussion: Vice-Chair Broughton agreed with Commissioner Gunn that it was appropriate to continue this conversation at the City Council level.

Voting Yes: Chairman Jordan, Vice-Chair Broughton, Commissioner Royall, McKinley, Commissioner Gunn

Voting No: None. The Motion Passed 5-0.

II. Jordanelle Ridge Village 3 Marcella Preliminary Plat (Planner Jamie Baron)

This item was discussed first. Planning Manager Baron explained the agenda item, although the audio does not capture the beginning of his summary. The audio also does not reflect that Commissioner Jordan recused himself from this item due to a conflict of interest.

[Audio begins at 00:10:18]

Planner Baron discussed the steep slope and identified two lots, 422 and 521, that needed to be corrected and moved to a location more suitable for development. He overviewed the design requirements. Planner Baron summarized that City Staff recommended approval, subject to findings and conditions from Staff and the City Engineer.

Mike Bradshaw identified himself as the applicant and offered an overview of the development. Mr. Bradshaw said the development had been divided into neighborhoods that each had a distinct feel. He noted there was a lot of open space, with more than double the open space than what was required by the MDA. He also stated that they would add to the trail system as well. Mr. Bradshaw listed some of the amenities, including a golf park, complete walking path system, family clubhouse, and tennis and pickleball court. He shared a rendering of what the central park would look like.

Commissioner McKinley asked about the timeline for the golf park and Mr. Bradshaw replied that they were currently sodding the golf park and planned to officially open in September. Mr. Bradshaw added that the club house would take a little bit longer to complete.

Vice-Chair Broughton asked how many of the amenities would be open to the public. Mr. Bradshaw replied that the trail system was public, though the development itself and the clubhouse were private. Mr. Bradshaw clarified that existing trail use would not be impacted by the development. Vice-Chair Broughton thanked Mr. Bradshaw for making sure that the trails remained open.

Motion: Commissioner Royall moved to approve the Jordanelle Ridge Village 3 Marcella Preliminary Plat, with findings and conditions as identified in the Staff
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Report. Commissioner McKinley made the second.

Discussion: N/A

Voting Yes: Commissioner Gunn, Commissioner Jordan, Commissioner Royall, Commissioner McKinley, Vice-Chair Broughton.

Voting No: None. The Motion passed 5-0.

III. Requesting an MDA approval for Downtown Food Truck Court DA, located at 89 W 100 S. (Planner Jacob Roberts)

This item was discussed second.

Planning Manager Baron overviewed this proposal for a 16-vendor food court lot. He reported it was in the C-3 zone and was a part of the downtown area. Planning Manager Baron stated that Staff recommended approval, as long as the impact to the surrounding area was mitigated to the greatest extent possible. He added that the Planning Commission had previously moved to continue this item, contingent on a revised MDA that addressed all components of the Municipal Code. He listed the requirements that needed to be addressed, namely lighting and landscaping. He noted that 'food truck' also needed to be defined in the development agreement. Planning Manager Baron highlighted that the new plan included ADA access, which had previously been missing.

City Engineer Hansen stated that Engineering had reservations about the use of the word 'temporary' and said that it needed to be clearly defined in the MDA. He explained that the applicant was requesting several waivers on the grounds that the development was temporary, and so the definition needed to be clear. He added that the waivers should be granted by the Commission, rather than the Engineering Staff.

Chairman Jordan asked City Engineer Hansen if there was anything within the plan that concerned him and City Engineer Hansen replied that Engineering would typically require a traffic study and noted that the nearby intersection already had problems with traffic. City Engineer Hansen said he also would usually require enhancements to the curb and gutter if the development was permanent. Chairman Jordan clarified that any issues with traffic and streets would still be the same, regardless of whether the development was permanent or temporary. City Engineer Hansen stated that there were no documents which indicated that temporary developments should be considered with a different set of standards than a permanent development.

Planning Manager Baron went over the new proposal. He stated that per the previous Commission discussion about this item, the proposal had been updated to include the requirements that 'temporary' should be defined as no more than five years, that a sunset clause needed to be included in the MDA, and that permanent bathrooms needed to be installed a year after the food court opened. Planning Manager Baron listed the waivers that had been requested by the applicant, which included waivers for lighting and landscaping standards, Storm Water design manual compliance, escrow fees, and adjoining street expansion and improvement requirements.

Planning Manager Baron concluded that City Staff recommended approval of the plan and found it to be in compliance with the General Plan, though some concerns remained which would need to be addressed in the MDA. He specified that the development would also need to minimize the impact on neighbors. He said that an MDA was required in order to move forward, in which all concerns and conditions of Staff needed to be addressed.

Mr. Bancroft expressed he was willing to answer questions.

Matt Hansen introduced himself as the general contractor for the project. Mike Johnston introduced himself as a friend of Mr. Hansen's and said he had offered to help him with the project. Mr. Johnston clarified that he was present that evening solely as an engineer, not in a formal capacity as a City Councilmember. Mr. Johnston confirmed he was not voting on this item in the Council due to the conflict of interest.

Mr. Johnston stated the only question about this development was that there was no physical building on the site, which was a requirement for a food truck to be present. Mr. Johnston listed several locations in town that had food trucks located on lots that did not have permanent businesses to illustrate that there was a precedent for this situation. He listed the conditions that the applicant had expressed willingness to accommodate. He also mentioned that he had recently hosted the owner of a food truck court in Moab, who had provided him information about how to accommodate ADA accessibility and facilities.

Mr. Johnston said there would be a temporary fence, which would help give the neighbors privacy. He clarified once the food truck court was dismantled, the fence would be taken down. He continued to overview the changes that Mr. Hansen had made to the original proposal, which he opined addressed all of the neighbors' concerns. Mr. Johnston said they could get rid of the word 'temporary' and refer to the development as a five-year development with a sunset clause. He then discussed the water consumption and disposal methods that the food trucks would use, and noted that the City would meter the water usage so that they could evaluate water use after one year of operation.

Mr. Hansen stated that he had already begun design for a multi-use building on this lot and emphasized that he did not anticipate using this site as a food truck court forever. He said that he hoped to be done with this concept in three years and begin working on the permanent building. He explained that he had requested the waivers since the food truck court would not yield a lot of revenue, which he would need in order to cover the cost of the City's requirements.

Mr. Johnston asked if parking lot lighting was required in the Code and Planning Manager Baron replied it was not, but if there was any lighting it needed to be in compliance with the Code. Mr. Johnston said any lighting they had would be Dark Sky compliant, and he also noted they planned to close at 9 PM so minimal lighting would be needed.

Mr. Johnston stated that the trucks could be parked overnight, though that was left to the discretion of the truck owners and it was not a requirement for trucks to be left. Mr. Johnston also stated he would provide power for the trucks, and said that since most of the food was prepped off-site, the power required would be minimal, with two trucks

sharing a 50 amp pedestal.

Chairman Jordan commented that food trucks were popular and he did not think it was a bad idea to have trucks concentrated in one area.

Chairman Jordan asked about what kind of things were required to be granted an event permit. Planning Manager Baron listed that some of the things required included having bathrooms, a business license, and management of street closures. Planning Manager Baron elaborated about how there were different requirements depending on the type of permit. Planning Manager Baron added that a site plan was typically required, depending on the type of event. Chairman Jordan asked if there was generally a lighting requirement and Planning Manager Baron said he would have to look into those requirements. Vice-Chair Broughton noted there was no lighting at the fair that had been held the previous week. Planning Manager Baron commented that generally they only had maximum lighting requirements, not minimum. Chairman Jordan said the City could assess fees and requirements based on the scale and timeframe of the event, and commented that the requirements for the upcoming Olympic Games were substantially different than smaller events.

Chairman Jordan felt there had been great effort made to meet the expectations for a permanent event. Chairman Jordan said that the use of the land was permitted by the City and that the food court created opportunities to engage the public downtown, which was a part of the City that they were working on developing further. He acknowledged there were several safety issues that needed to be addressed and thought it would be helpful for the food court to be inspected every year, not just the first year. Chairman Jordan added that they would need food handling permits and said compliance officers from the County would ensure that food safety protocols were met. He expressed concern about the traffic in the area.

Vice-Chair Broughton thought the applicant had done a good job in addressing the concerns of the neighbors that they had heard at the last meeting, and opined that the addition of permanent bathrooms would help garner goodwill with the community as well as it improved the sanitation of the area. She felt that curb and gutter was expensive and did not think it was necessary at this time, although she highlighted a section where the sidewalk ended and anticipated that could pose an issue with street parking. She commented that in her experience, food truck courts did not become too congested or busy. Mr. Hansen replied he could block off the sidewalk so cars could not go over it and use the compacted blacktop to add to the sidewalk.

Commissioner Gunn opined that the City was negligent by not adding crosswalks at the nearby intersection and noted there were many car accidents in that area. He said the intersection should have crosswalks. Chairman Jordan said he thought that 100 West was due to receive additional stop signs, and Planning Manager Baron clarified that 100 West was undergoing a redesign, but he did not know if that plan included additional stop signs or stoplights. Commissioner Gunn noted that the City could not make any changes without UDOT approval. Chairman Jordan asked about accident rate and Planning Manager Baron said he could work with the police department to get some data. There was a short discussion about traffic calming devices.

Chairman Jordan asked if the food truck court set a precedent for a new type of land

use. Planning Manager Baron replied that this was a legislative request, so it did not necessarily set a precedent and was not a text or Code amendment.

Commissioner McKinley asked about trash disposal. Mr. Johnston indicated on the map where the bathrooms and the enclosed dumpster would be located. Mr. Johnston said the frequency of trash pickup would depend on the volume of customers at the food trucks. Commissioner McKinley pointed out that if the trash sat outside for too long it could cause a smell that would disturb the neighbors. Mr. Johnston said the dumpster would be maintained, noting that smelly trash would also deter customers. Mr. Johnston said the standards for trash maintenance would be similar to restaurants.

Commissioner McKinley said the applicant had done a good job, and asked if the plan was for the food court to be open seven days a week. Mr. Johnston said he would leave it to the discretion of the food truck operators, and anticipated that many vendors would choose to be closed on Sundays due to low volume.

Commissioner Royall opined that the parking would be limited, even with eight stalls. He noted that the traffic in that area was already congested, even without the food court. He said he was in favor of waiving many of the requirements, but he was worried about public safety and thought a traffic study was necessary. He said there had been a big increase in traffic since 2010, when the last traffic study had been conducted. Chairman Jordan asked if Commissioner Royall thought that the need for a new traffic study was unrelated to the current proposal and Commissioner Royall said it was; he felt there were many streets in Heber that should be reevaluated.

Mr. Johnston agreed that traffic was a problem from Main Street to the intersection. He did not think First West was the traffic problem, he thought it was First South. Mr. Johnston imagined that more people would walk or cycle to the food court than drive. He also pointed out that the peak hours for the food court would be during lunchtime, which was not during rush hour. Mr. Johnston discussed that the downtown area was being developed by the City and commented that the City's plan for 100 West was to be a slow, walkable street. He said it was the job of the City to figure out how pedestrians could move across town. He expressed this was a much bigger issue than just one development, and it was the purpose of the City Staff, Council, and Planning Commission to work on connecting the downtown area for residents.

Commissioner Royall acknowledged this point and agreed it was the responsibility of the City as well as the developer to ensure public safety standards. He clarified that the plan was for the food court to be evaluated after a year of operation and Planning Manager Baron said the frequency of inspection could be determined by the City. Chairman Jordan said the City had the right to conduct daily inspections of temporary events. Mr. Johnston relayed that Mr. Hansen was willing to have annual reviews.

Motion: Vice-Chair Broughton moved to forward a positive recommendation for the MDA approval for the Downtown Food Truck Court MDA, located at 89 W 100 S, with the findings and conditions as presented in the Staff Report and the addition of an annual visit and evaluation. Commissioner Gunn made the second.

Discussion: City Engineer Hansen asked the Planning Commission to provide more

definition about water and sewer use requirements. He elaborated that the plan was to monitor the usage for a year so they could determine the appropriate amount of water rights that would need to be turned over for anything beyond the permitted usage. City Engineer Hansen also asked what the next steps would be after the first annual review and what specific things they should look for in the review. He summarized that his main question was definition about water usage, since they were currently operating on the applicant's guess about how much they were going to use.

Vice-Chair Broughton said she could to her motion that the annual review would include specific items determined by Staff and that those items could be outlined in the MDA.

Chairman Jordan expressed concern about setting a precedent for future food courts and said he did not want to keep amending the rules.

City Engineer Hansen explained it was standard operating practice to extract the amount of water that a development would use upfront, but in this case the applicant did not know how much water they would use. He said they would have to wait a year to determine usage. Mr. Johnston said he had expected this and agreed that a calendar year was an appropriate timeframe to determine the average, since they would not use a lot of water in the winter. City Engineer Hansen noted that if the food court used a lot of water, it would mean that the businesses were successful and thus had the revenue to pay the fees for water consumption. City Engineer Hansen said it should be easy to add a clause to the motion which clarified that after one year of operation, the water use would be evaluated and any additional impact fees for sewer and water be paid.

Chairman Jordan asked clarifying questions about the documents included in the Staff Report and Planning Manager Baron confirmed that all documents included in the Staff Report would be a part of the motion.

Sara Nagel, City accountant, made a comment from the audience. Mrs. Nagel asked if the food trucks would work under one sales tax number. Chairman Jordan replied each food truck was a separate business, so they would each have their own number. Mr. Johnston added that the sales tax was paid wherever the food truck was parked.

City Engineer Hansen clarified that the annual review would include all operations, not just sewer and water. Planning Manager Baron confirmed that the Staff Report included the requirement that all operations be inspected.

Vice-Chair Broughton added to her motion that the annual review would be of specific items defined by City Staff, and that the review would include an assessment of the water and sewer usage. The second from Commissioner Gunn stood.

Voting Yes: Commissioner Gunn, Commissioner Jordan, Commissioner McKinley, Vice-Chair Broughton.

Voting No: Commissioner Royall. The Motion passed 4-1.

Chairman Jordan emphasized that the Commissioner's concerns about public safety were about this area as a whole, not this one development specifically. Chairman Jordan commented that any developments in this area would need to be carefully evaluated from a public safety perspective because of how trafficked the street was. He said there would be a lot of pedestrian foot traffic as well, so lighting was important and should perhaps be required in the dark winter months. He suggested to City Staff that lighting requirements be added in the future.

4. Work Meeting: N/A

5. Administrative Items:

I. City Council Communication Item

Planning Manager Baron presented a summary of the most recent City Council meeting. He commented it was a relatively short agenda, and noted he had given a monthly development report in the meeting and could give that presentation to the Commission as well. He reported there had been a presentation about UDOT's traffic mitigation measures. He said the Council had adopted a process that set forth standards for converting private roads into public roads. Planning Manager Baron said the CRA had discussed next steps for moving forward with a revised plan that was slightly smaller than the original proposal.

Planning Manager Baron went over the development report. He noted they were slightly behind than where they had been last year in terms of applications. He said there were currently around 70 open applications that were in various phases of development. He explained that not all the applications were for large projects; some were very small and he also noted that some applications were continuations from the previous year. Planning Manager Baron commented on some of the current applications that were in various stages of development, including plat amendments, development agreements, and site plans.

Chairman Jordan asked about the definition of 'live-work.' Planning Manager Baron explained that live-work units had both commercial and residential spaces within the same unit. He explained that live-work units were distinct from mixed-use zones. Vice-Chair Broughton asked if the units had to be commercial and Planning Manager Baron replied they did not. Planning Manager Baron elaborated that in a live-work space, a business owner could live on the floor above their business, although they did not have to.

Planning Manager Baron explained that live-work spaces had both residential and commercial allowances within the same unit, whereas in mixed-use zones the individual units were either residential or commercial. Planning Manager Baron noted there were some areas in Heber City that allowed for live-work spaces, although they were primarily only used for residential uses. He listed that live-work was not permitted in R-2 and R-3 zones, although those zones did allow for home occupation. Planning Manager Baron stated that live-work was permitted in the planning community mixed-use zone and the North Village overlay.

Chairman Jordan asked Planning Manager Baron if the Commission could have a discussion that resulted in a motion for a recommendation to the Council, or if they needed to add it to a future agenda. Planning Manager Baron said a formal agenda was not required if the Commission wanted to ask the Council to consider a certain item, and he explained that either the Staff could relay that message, or Chairman Jordan could communicate to the Council directly as the Chairman of the Commission.

Chairman Jordan spoke about public safety on 100 West and said the City had a responsibility to consider the development of that area moving forward. He said they should think about conducting a traffic study in that area. Planning Manager Baron said Chairman Jordan could reach out to the City Council to tell them that the Commission wished to have a traffic study done. Commissioner Gunn commented that Chairman Jordan could attend a City Council meeting and make a comment during the public hearing portion of the meeting. Chairman Jordan thought it was more effective to communicate the message in his capacity as a Commissioner and not just a member of the public.

Chairman Jordan asked the Commissioners if they were in favor of a traffic study for 100 West and 100 South. Commissioners Broughton and Gunn affirmed that they were in favor. Vice-Chair Broughton asked if a traffic study was already being done as part of the 100 West redesign and Planning Manager Baron replied he was not sure if Horrocks was doing a study. Vice-Chair Broughton said a traffic study should be done in conjunction with the design. Commissioner McKinley thought a traffic study was a good idea as well.

Commissioner Royall asked City Engineer Hansen how much area was considered in a traffic impact study. City Engineer Hansen replied that all the neighboring affected intersections were considered in the study. City Engineer Hansen said that typically a traffic impact study was done to analyze the impacts that a new development would have on an existing road. City Engineer Hansen said that in this case, the Commission would ask for an existing conditions study, as the new development was not yet in operation. Chairman Jordan thought an existing conditions study would not be sufficient because they were considering a change in land use.

Chairman Jordan felt it was the responsibility of the City, not the individual applicants, who needed to consider the projected usage of that intersection. Planning Manager Baron replied it was generally the responsibility of the applicant, since their business created an impact on the traffic. City Engineer Hansen concurred with Planning Manager Baron and added that each applicant did not necessarily have to conduct a traffic study; in some cases it was sufficient to use a traffic study that had been conducted by a neighboring business.

Chairman Jordan acknowledged these points and said the Staff should direct the Council to look at traffic forecasts at that intersection. Planning Manager Baron replied he could do so, and added that it would be appropriate for a member of the Planning Commission to communicate this issue to the Council directly, or appear in person at a Council meeting and pose the concern during a public hearing. Planning Manager Baron said he could put this item on the Council's agenda as a communication item, but it would likely not be a formal work meeting item for the Council. Planning Manager Baron again recommended that Chairman Jordan communicate with the Council and

Chairman Jordan said he would email the Council.

Commissioner McKinley recalled that the Commission had debated creating a separate zone for the airport at a meeting several weeks ago, and he asked if anything had ever come from that discussion. Chairman Jordan clarified that the City's airport manager had suggested this, although there was no formal proposal to create a new zone. Planning Manager Baron said the Staff could bring the airport item back for more consideration, but he noted that Staff was still researching this item. Planning Manager Baron summarized that the proposal was to create a different airport zone that had different uses, setbacks, and recommendations.

Vice-Chair Broughton asked when the CHOZ would be discussed next and Planning Manager Baron replied the Council would consider it next week.

Planning Admin Kijanen reminded the Planning Commission that they would present to the City Council Planning at the end of the year. Manager Baron elaborated that every year in December, boards and committees in the City made a presentation to the City Council that summarized their main goals and issues for the upcoming year and their accomplishments of the current year.

Chairman Jordan commented that the Planning Commission wanted to move ahead with the elements of the CHOZ that had been pulled out for historic properties. Planning Manager Baron clarified that Chairman Jordan wanted to bring those items back to the CHOZ and Chairman Jordan confirmed, explaining that they had pulled them out because the CHOZ was such a large project. Chairman Jordan noted he had communicated with Planners Kohler and Janson about this issue.

Planning Admin Kijanen noted that Vice-Chair Broughton had indicated she was going to attend the EPA conference. Commissioner Royall said he would go as well. Planning Admin Kijanen commented that Commissioners McKinley and Chairman Jordan were unable to attend.

6. Adjournment:

Motion: Vice-Chair Broughton moved to Adjournment. Commissioner Gunn made the second.

Discussion: N/A

Voting Yes: Commissioner Gunn, Commissioner Jordan, Commissioner McKinley, Vice-Chair Broughton, Commissioner Royall.

Voting No: None. The Motion 5-0.

Meshelle Kijanen, Administrative Assistant



Planning Commission Staff Report

MEETING DATE: 8/26/2025
SUBJECT: Request for a Site Plan Approval for Hicken Fieldhouse, located at 280 East 600 South (Planner Jacob Roberts)
RESPONSIBLE: Jacob Roberts
DEPARTMENT: Planning
STRATEGIC RELEVANCE: Community Development

SUMMARY

The applicant is requesting site plan approval for the Hicken Fieldhouse project, which proposes to convert the former Wasatch High School football locker room into a duplex. A Development Agreement authorizing this use was approved by the City Council on September 5, 2023, and is attached to this report for reference

RECOMMENDATION

Staff recommends approval of the Hicken Fieldhouse site plan, subject to the findings and conditions outlined in this report.

BACKGROUND

In 2023, the applicant approached the City Council with a proposal to convert the old Wasatch High School football locker room into a duplex. Because duplexes are not a permitted use under the existing zoning, a Development Agreement was required to facilitate the project. That agreement was executed on September 5, 2023.

The site plan approval process was formally initiated on March 21, 2025. The application has been reviewed by all relevant City departments, each of which has provided either full approval or conditional approval based on compliance with standard requirements.

DISCUSSION

The project is zoned R-2, but is also under a Development Agreement. The project is consistent with the approved development agreement.

The General Plan designation is South Town Center.

- Uses include multi-family housing, therefore the project is inline with the General Plan.

Findings:

1. The application is consistent with the approved Development Agreement.
2. The application is consistent with the R-2 zoning requirements, not characterized in the DA.
3. The application is consistent with the General Plan designation of South Town Center.

Conditions:**Engineering:**

- Record of survey map shows boundary line agreements are necessary to resolve deed and occupation line overlaps with properties to the east. Please record and submit boundary line agreements.

Planning:

- Street trees be planted consistent with Heber City Street tree ordinances.

FISCAL IMPACT

N/A

CONCLUSION**Conclusion**

The Hicken Fieldhouse project proposes to convert the former Wasatch High School football locker room into a duplex. While the existing R-2 zoning does not typically allow duplexes, the applicant entered into a Development Agreement with the City, approved on September 5, 2023, to authorize this use. The Development Agreement provides the framework for the site plan review and ensures that the project is developed in a manner consistent with City policies and requirements.

Staff has reviewed the site plan application submitted on March 21, 2025, and finds that it aligns with the terms of the Development Agreement, complies with the underlying R-2 zoning standards where applicable, and is consistent with the South Town Center designation in the General Plan. The South Town Center designation supports multi-family residential development, and this project furthers that vision by repurposing an underutilized structure into new housing opportunities.

All reviewing City departments have provided either full or conditional approval of the site plan. The identified conditions are standard in nature and can be reasonably met by the applicant prior to final approvals. Staff concludes that the project is appropriate for the site, compatible with surrounding uses, and in harmony with the City's planning objectives.

Findings

1. The application is consistent with the approved Development Agreement.
2. The application is consistent with the R-2 zoning requirements not otherwise addressed in the Development Agreement.
3. The application is consistent with the General Plan designation of South Town Center, which allows for multi-family residential uses.

Conditions

- **Engineering:**

- Boundary line agreements must be recorded and submitted to resolve deed and occupation line overlaps with properties to the east, as shown on the record of survey map.

- **Planning:**

- Street trees must be planted consistent with Heber City's street tree ordinances prior to issuance of a certificate of occupancy.

ALTERNATIVES

Staff Recommended Option - Approval

I move to **approve the Hicken Fieldhouse Site Plan** as presented, with the findings and conditions as presented in the conclusion above.

POTENTIAL MOTIONS

ACCOUNTABILITY

Department: Planning
Staff member: Jacob Roberts, Planner

EXHIBITS

1. Hicken Fieldhouse Master Development Agreement - Approved
2. 24SM5617 Hicken Fieldhouse - Elevations 2025-03-17 (003)
3. Hicken Fieldhouse Apartments 2025-07-16 Final

ORDINANCE NO. 2023-24

AN ORDINANCE ADOPTING THE HICKEN FIELDHOUSE MASTER DEVELOPMENT AGREEMENT

WHEREAS, the Heber City Council finds it in the public interest to adopt the Hicken Fieldhouse MDA.

BE IT ORDAINED by the City Council of Heber City, Utah, that the Hicken Fieldhouse Master Development Agreement is **ADOPTED** as shown in Exhibit 1.

This Ordinance shall take effect immediately upon passage.

ADOPTED and PASSED by the City Council of Heber City, Utah this 5th day of September, 2023, by the following vote:

| | AYE | NAY |
|-------------------------------|----------|----------|
| Council Member Rachel Kahler | <u>X</u> | ___ |
| Council Member Ryan Stack | ___ | <u>X</u> |
| Council Member Mike Johnston | <u>X</u> | ___ |
| Council Member Yvonne Barney | <u>X</u> | ___ |
| Council Member Scott Phillips | <u>X</u> | ___ |

APPROVED:



Heidi Franco

Mayor Heidi Franco

ATTEST:

Anna W. Leake

Date: 9/5/2023

RECORDER

Date of First Recording: _____

Exhibit A

When recorded return to:

Heber City Corporation
Attn: City Recorder
75 North Main Street
Heber City, UT 84032

Ent 538041 Bk 1457 Pg 45-54
Date: 26-OCT-2023 8:34:15AM
Fee: \$40.00 Check Filed By: KM
MARCY M MURRAY, Recorder
WASATCH COUNTY CORPORATION
For: HICKEN JUNE M

Parcel No. 00-0020-9353
Serial No. OHE-1247-3-005-045

**DEVELOPMENT AGREEMENT
(Hicken Fieldhouse)**

THIS DEVELOPMENT AGREEMENT entered into this 26th day of September, 2023, by and between Heber City, a Utah municipality ("City"), and the June M. Hicken, an individual ("Developer" or "Owner"). Developer and City are, from time to time, hereinafter referred to individually as a "Party" and collectively as the "Parties."

RECITALS

WHEREAS, the Developer is the owner of an approximately .25 acre parcel of real property located at 280 E. 600 S. Heber City, Utah 84032 (the "Property"). A legal description of the Property is attached hereto as Exhibit A; and

WHEREAS, the Developer desires to convert the existing building located on the Property into two approximately 1,000 square foot residential units; and

WHEREAS, the City has reviewed the concept plan for the new residential building, which Concept Plan is attached hereto as Exhibit B (the "Concept Plan"); and

WHEREAS, the City, acting pursuant to its authority under Utah Code Ann. §10-9a-101, *et. seq.*, in compliance with the Heber City Land Use Code, and in furtherance of its land use policies, goals, objectives, ordinances and regulations, has made certain determinations with respect to the Property, and therefore has elected to approve and enter into this Agreement in order to advance the policies, goals and objectives of the City, and to promote the health, safety and general welfare of the public.

AGREEMENT

NOW, THEREFORE, in consideration of the promises, covenants and provisions set forth herein, the receipt and sufficiency of which consideration is hereby acknowledged, the Parties agree as follows:

1. **Zoning.** The property shall be used and developed consistent with the requirements of the R-2 Residential, except as characterized by the approved Concept Plan and elevations shown in Exhibit B.
2. **Density.** The new building shall include two approximately 1,000 square foot residential units.
3. **Parking.** Parking shall be located in the rear (south) of the building, and no parking shall be allowed in the front (north) of the building.
4. **Landscaping.** Developer shall complete the landscaping of the Property consistent with the Concept Plan prior to issuance of a certificate of occupancy for either residential unit.
5. **Lighting.** All lighting on the site shall be dark-sky complaint as per Heber City Zoning requirements.
6. **Permitting.** The site shall be eligible for approval of a building permit upon final site plan approval by the planning and engineering departments.
7. **Applicable Law.** This Agreement shall be construed and enforced in accordance with the laws of the State of Utah. The rules, regulations, official policies, standards and specifications applicable to the development of the Property (the "Applicable Law") shall be in accordance with those set forth in this Agreement, and those rules, regulations, official policies, standards and specifications, including City Ordinances and Resolutions, in force and effect on the date the City Council granted preliminary approval to Developer for the Project. Developer expressly acknowledges and agrees that nothing in this Agreement shall be deemed to relieve Developer from the obligation to comply with all applicable requirements of the City necessary for approval and recordation of the subdivision plat, including the payment of fees and compliance with all other applicable ordinances, resolutions, regulations, policies and procedures of the City.
8. **Default.** Any failure by any party to perform any term or provision of this Agreement, which failure continues uncured for a period of ten (10) calendar days following the receipt of written notice of such failure from the other party shall constitute a "Default" under this Agreement.
 - 8.1 Notice. Any notice of default ("Default Notice") shall: (1) specify the claimed event of Default; (2) identify with particularity the provisions of any applicable law, rule, regulation or provision of this Agreement that is claimed to be in Default; (3) identify why the claimed Default is claimed to be material; and (4) specify the manner in which said failure may be satisfactorily cured.
 - 8.2 Cure. Following receipt of a Default Notice, the defaulting Party shall have thirty (30) days in which to cure such claimed Default (the "Cure Period"). If more than 30 days is required for such cure, the defaulting Party shall have such additional time as is reasonably necessary under the circumstances in which to cure such Default so long as the

defaulting Party commences such cure within the Cure Period and pursues such cure with reasonable diligence. City may, in City's sole discretion, withhold permits or approvals during any Cure Period.

8.3. **Developer's Exclusive Remedy.** Developer's sole and exclusive remedy under this Agreement shall be specific performance of the rights granted in this Agreement and City's obligations under this Agreement. **IN NO EVENT SHALL CITY BE LIABLE TO DEVELOPER, ITS SUCCESSORS OR ASSIGNS, OR ANY DEVELOPER, PROPERTY OWNER OR OTHER PARTIES UNDER THIS AGREEMENT, FOR ANY INDIRECT, SPECIAL, PUNITIVE, INCIDENTAL OR CONSEQUENTIAL DAMAGES, INCLUDING, WITHOUT LIMITATION, LOST PROFITS, COSTS OF DELAY, OR LIABILITIES TO THIRD PARTIES.**

8.4 **City's Remedies Upon Default.** In addition to all other remedies available at law or in equity, City shall have the right to withhold all further reviews, approvals, licenses, building permits and other permits for development of the Property in the case of a Default by Developer, until the Default has been cured. City shall further have the right to draw on any security posted or provided in connection with the Property and relating to remedying of the particular Default.

8.5 **Emergency Defaults.** Anything in this Agreement notwithstanding, if the Council finds on the record in a public meeting that a Default by Property Owners materially impairs a compelling, countervailing public interest and that any delays in imposing a remedy to such a Default would also impair a compelling, countervailing public interest, the City may impose the remedies of Section 14.4 without any further requirements or obligations to the Property Owners. The City shall give Notice to Property Owners in accordance with the City's Vested Laws of any public meeting at which an emergency Default is to be considered and Property Owners shall be allowed to attend such meeting and address the Council regarding the claimed emergency Default..

9. **Fees.** Developer shall be required to pay all permit fees, building permit fees, inspection fees, impact fees or other fees imposed by the City as set forth in the City Code and the City's consolidated fee schedule.
10. **Entire Agreement.** This Agreement, including its Exhibits, contains the entire agreement between the parties, and no statement, promise or inducement made by either party hereto, or agent of either party hereto which is not contained in this written Agreement shall be valid or binding. All waivers of the provisions of this Agreement must be in writing and signed by the appropriate authorities of the City and of the Developer.
11. **Time is of the essence.** In case any party shall fail to perform the obligations on its part at the time fixed for the performance of such obligations by the terms of this Agreement, the other party or parties may pursue any and all remedies available in equity, at law, and/or pursuant to the terms of this Agreement.

12. **Term of Agreement.** The term of this Agreement shall commence on the Effective Date and continue for a period of five (5) years. Unless otherwise agreed between the City and the Developer, the Developer's vested interests and rights contained in this Agreement expire at the end of the Term, or upon termination of this Agreement. Upon termination of this Agreement, the obligations of the Parties to each other hereunder shall terminate, but none of the dedications, easements, deed restrictions, licenses, building permits, or certificates of occupancy granted prior to the expiration of the term or termination of this Agreement shall be rescinded or limited in any manner.
13. **No Third-Party Beneficiary Rights.** This Agreement is not intended to and shall not be construed to give any Third Party any interest or rights (including, without limitation, any third-party beneficiary rights) with respect to or in connection with any agreement or provision contained herein or contemplated hereby.
14. **Recording.** This Agreement shall be recorded with the Wasatch County Recorder as soon as reasonably practicable and no later than thirty (30) days after a binding vote of the City Council approving the Agreement. The City Recorder shall cause to be recorded, at the Developer's expense, a fully executed copy of this Agreement in the Official Records of the County of Wasatch no later than the date on which the first plat for the Project is recorded.
15. **Notices.** Any notice or communication required hereunder between the City and the Developer must be in writing and may be given either personally or by registered or certified mail, return receipt requested. If given by registered or certified mail, such notice or communication shall be deemed to have been given and received on the first to occur of (i) actual receipt by any of the addressees designated below as the Party to whom notices are to be sent, or (ii) five (5) days after a registered or certified letter containing such notice, properly addressed, with postage prepaid, is deposited in the United State mail. If personally delivered, a notice shall be deemed to have been given when delivered to the Party to whom it is addressed. Any Party may at any time, by giving ten (10) days written notice to the other Party, designate any other address to which notices or communications shall be given. Such notices or communications shall be given to the Parties at their addresses as set forth below:

The City:

Heber City Manager
75 N Main Street
Heber City, UT 84032

Developer

June M. Hicken
314 E 600 S
Heber City, UT 84032

16. **Insurance and Indemnification.** Developer shall defend and hold the City and its officers, employees and consultants harmless for any and all claims, liability and damages arising out of the negligent actions or inactions of such Developer, its agents or employees pursuant to this Agreement, unless caused by the City's gross negligence or willful misconduct.
17. **Bodily Injury and Property Damage Insurance.** Developer agrees to and shall indemnify and hold the City and its elected and appointed boards, officers, agents, employees, and consultants harmless from and against all liability, loss, damage, costs, or expenses (including reasonable attorneys' fees and court costs) rising from or as a result of the death of any person or any accident, injury, loss or damage to any person or property directly caused by any acts done or omissions of Developer or its agents, servants, employees or contractors in connection with this Agreement, except for willful misconduct or negligent acts or omissions of the City or its elected or appointed boards, officers, agents, employees or consultants.
18. **Binding Effect.** If Developer conveys any portion of the Property or buildings to one or more owners or sub-developers, the property so conveyed shall have the same rights, privileges, and shall be subject to the same limitations and rights of the City, applicable to such properties under this Agreement prior to such conveyance, without any required approval, review, or consent by the City, except as otherwise provided herein.
19. **No Waiver.** Failure of any Party hereto to exercise any right hereunder shall not be deemed a waiver of any such right and shall not affect the right of such Party to exercise at some future date any such right or any other right it may have.
20. **Severability.** If any provision of this Agreement is held by a court of competent jurisdiction to be invalid for any reason, the Parties consider and intend that this Agreement shall be deemed amended to the extent necessary to make it consistent with such decision and the balance of this Agreement shall remain in full force and affect.
21. **Other Necessary Acts.** Each Party shall execute and deliver to the other Party any further instruments and documents as may be reasonably necessary to carry out the objectives and intent of this Agreement and to provide and secure to the other Party the full and complete enjoyment of its rights and privileges hereunder.
22. **Covenants Running with the Land and Manner of Enforcement.** The provisions of this Agreement shall constitute real covenants, contract and property rights and equitable servitudes, which shall run with all of the land subject to this Agreement. The burdens and benefits of this Agreement shall bind and inure to the benefit of each of the Parties, and to their respective successors, heirs, assigns and transferees. Notwithstanding anything in this Agreement to the contrary, the owners of the individual lot in the Project shall have no right to bring any action under this Agreement as a third-party beneficiary. The City may look to the Developer, its successors and/or assigns, or the lot owners for performance of the provisions of this Agreement relative to the portions of the Projects owned or controlled by such party. The City may, but is not required to, perform any obligation of the Developer

that the Developer fails adequately to perform. Any cost incurred by the City to perform or secure performance of the provisions of this Agreement shall constitute a valid lien on the Project, including prorated portions to the individual lots or units in the Project.

23. **Amendment.** Unless otherwise stated in this Agreement, the Parties may amend this Agreement from time to time, in whole or in part, by mutual written consent. No amendment or modification to this Agreement shall require the consent or approval of any person or entity having any interest in the specific lot, or other portion of the Project. Each person or entity (other than the City and the Developer) that holds any beneficial, equitable, or other interests or encumbrances in all or any portion of the Property at any time hereby automatically, and without the need for any further documentation or consent, subjects and subordinates such interests and encumbrances to this Agreement and all amendments thereof that otherwise comply with this Section 32. Each such person or entity agrees to provide written evidence of that subjection and subordination within fifteen (15) days following a written request for the same from, and in a form reasonably satisfactory to, the City and/or the Developer.

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands the day and year this agreement was first above written.

DATED this 25th day of Oct., 2023.



HEBER CITY:

By: Heidi Franco
Heidi Franco, Mayor

ATTEST:

Mina Walter
Heber City Recorder

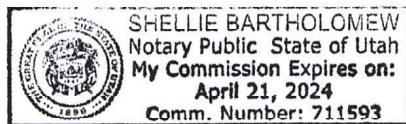
DATED this 25th day of October, 2023.

DEVELOPER/OWNER

By: June M. Hicken
June M. Hicken

STATE OF UTAH)
 : ss.
COUNTY OF WASATCH)

On this 26th day of SEPTEMBER, 2023, personally appeared before me June B. Hicken, who duly acknowledged to me that she is the owner in fee and executed the same as such.



[Signature]
NOTARY PUBLIC

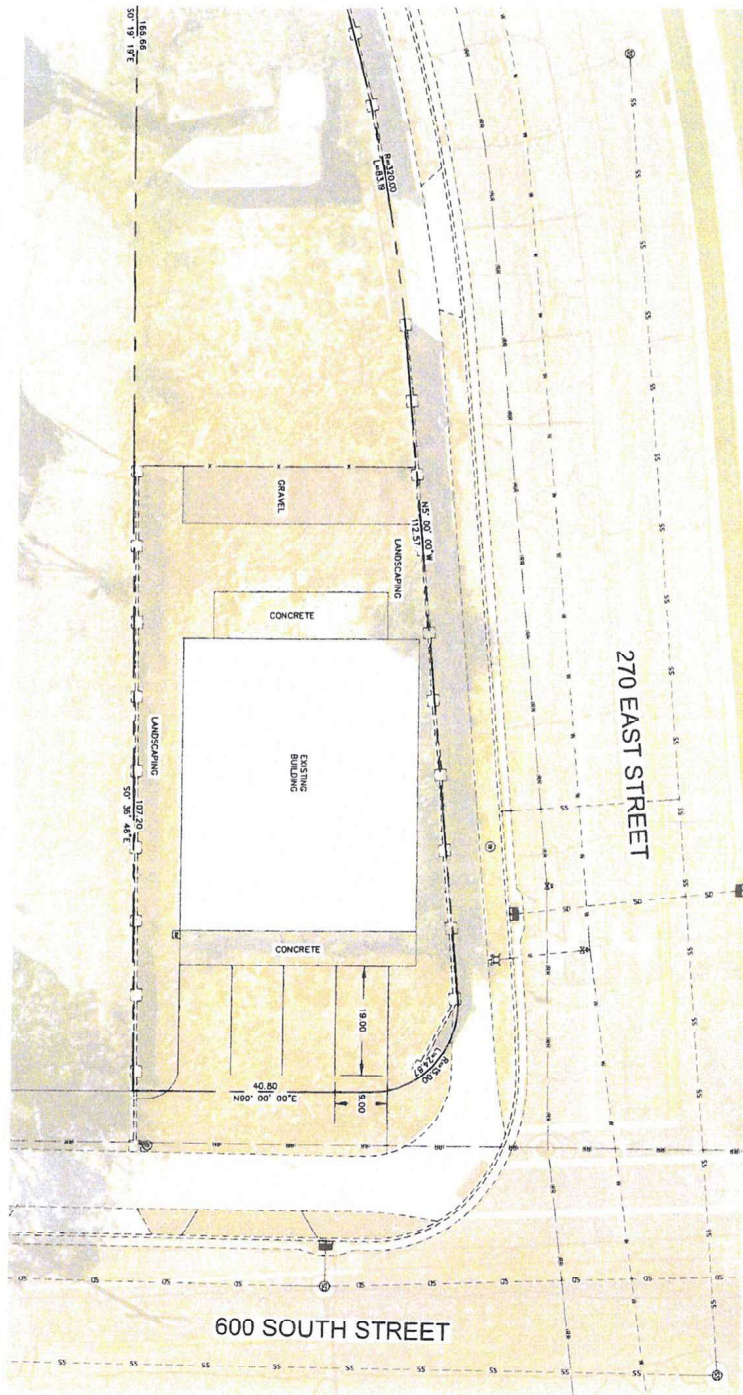
Exhibit A

Legal Description

BEGINNING AT A POINT NORTH 2672.41 FEET AND WEST 992.39 FEET FROM THE S
¼ CORNER OF SEC 5 T4S R5E SLM: S0-36-48E 107.2; S0-19-19E 166.66; THENCE
ALONG THE ARC OF A 15 FOOT RADIUS CURVE TO THE RIGHT 13.88 FEET (CHORD
BEARS N47-27-27W); N19-53-44W 58.51; THENCE ALONG THE ARC OF A 320 FOOT
RADIUS CURVE TO THE RIGHT 82.96 FEET (CHORD BEARS N12-26-52W); N5-0-0W
112.57; THENCE ALONG THE ARC OF A 15 FOOT RADIUS CURVE TO THE RIGHT
22.12 FEET (CHORD BEARS N42-30-0E); N90-0-0E 40.8 TO THE BEGINNING. AREA:
0.25 ACRES

Exhibit B

Concept Plan

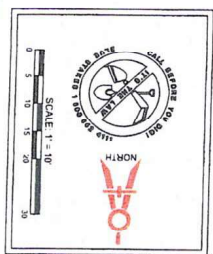


PROJECT ENGINEER
ELEVATE ENGINEERING
12205 WEST 700 SOUTH
SALT LAKE CITY, UT 84118
(801) 718-5993
ELEVATEENGINEERING.COM

LEGEND

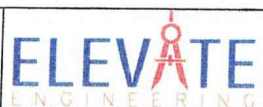
- LOT LINES (PROPERTY)
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- STREET
- BUILDING SETBACK
- LANDSCAPE SETBACK
- EXISTING BUILDING
- EXISTING FENCE
- TOP BACK OF CURB
- FINISHED FLOOR ELEVATION
- LANDSCAPE AREA
- CONCRETE AREA
- GRAVEL
- WATER VALVE
- IRRIGATION VALVE
- WATER METER/MANHOLE
- FIRE HYDRANT/FRISER
- CATCH BASIN
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- GAS METER

SITE DATA
LOT AREA: 11,440 SF (0.264 ACRES)
BUILDING AREA: 7,760 SF (0.18 AC)
ZONING: R-2 (RESIDENTIAL)
CONSTRUCTION TYPE: V-B
SPRINKLERS: NO
FLOOR: 20 FEET
CEILING: 20 FEET
ELEVATION: 5,400 FEET
REMARKS: MULTI-FAMILY DWELLINGS 2 SPACES PER DWELLING UNIT (1)
PROVIDED: 4 STALLS



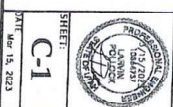
HICKEN FIELD HOUSE SITE PLAN

270 EAST 600 SOUTH HEBER CITY, UTAH

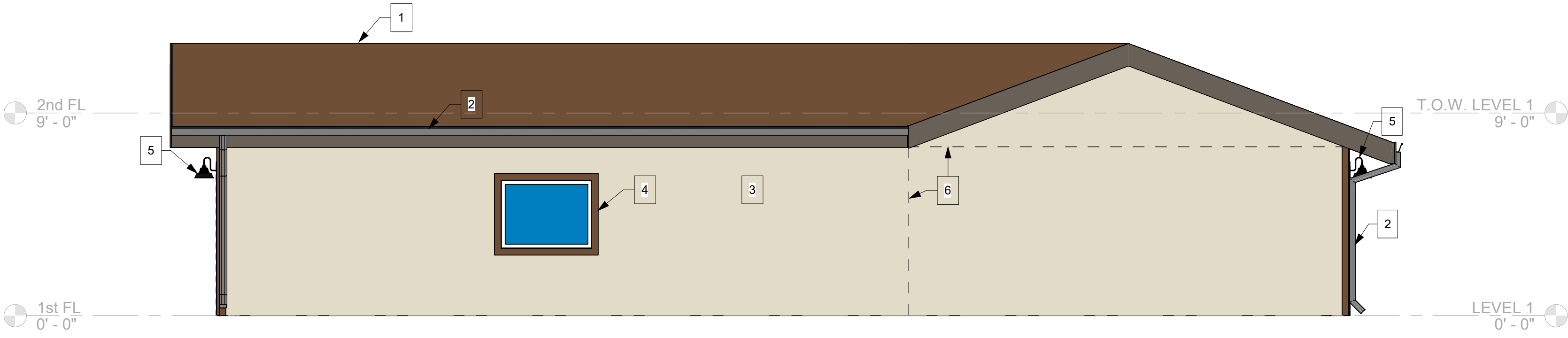
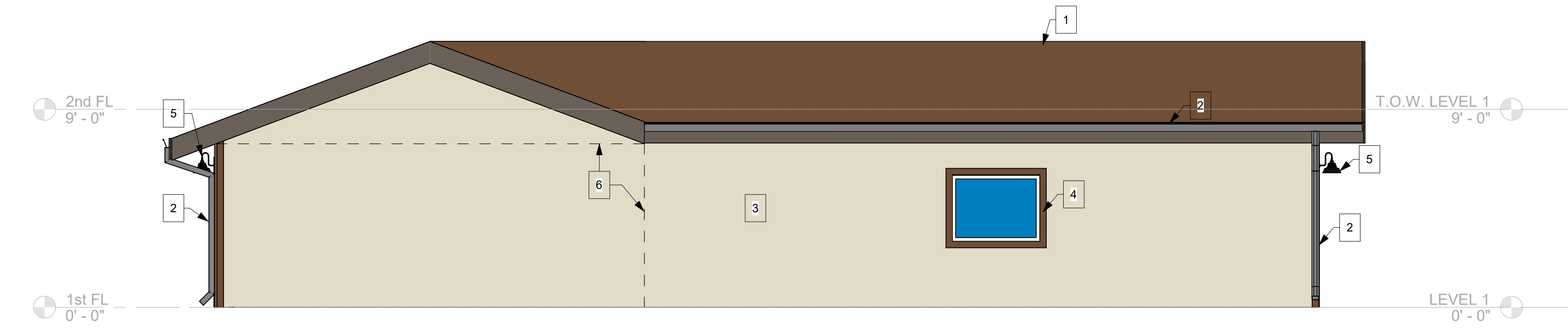
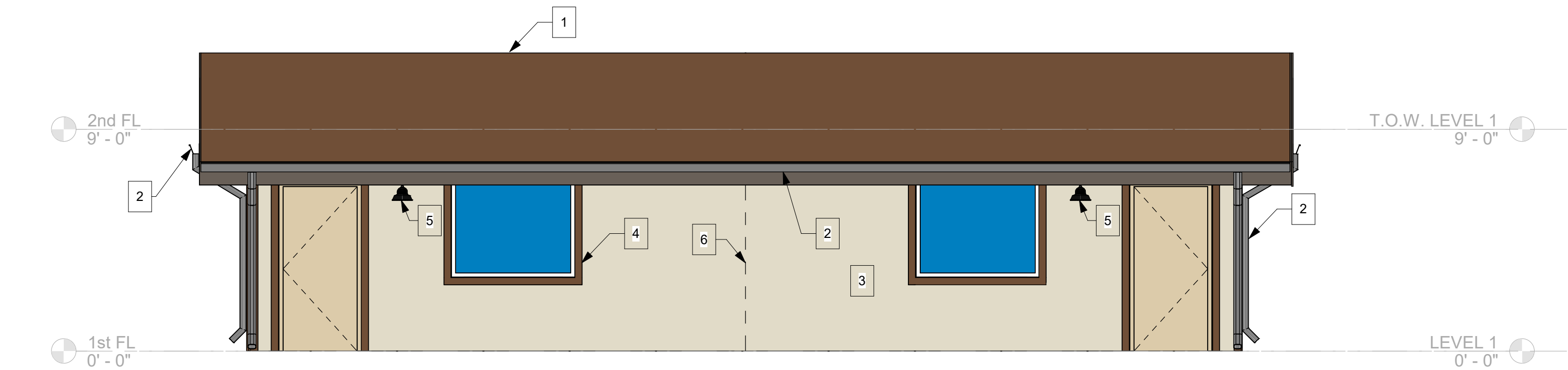
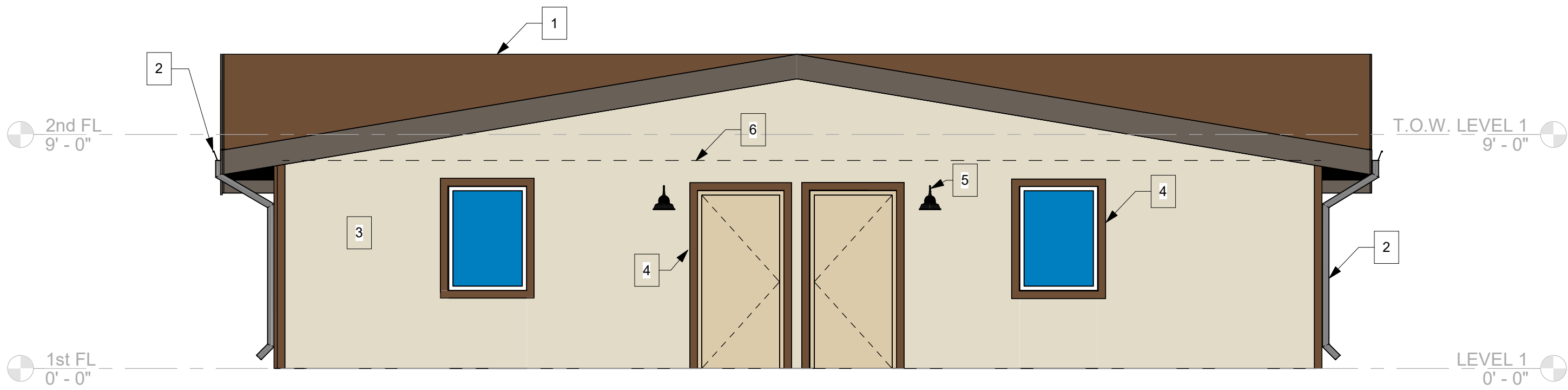


ELEVATE ENGINEERING
2205 WEST 700 SOUTH
SALT LAKE CITY, UT 84118
PHONE: (801) 718-5993
WWW.ELEVATEENGINEERING.COM

| NO. | REVISIONS | BY | DATE |
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SHEET:
C-1
DATE: May 15, 2023



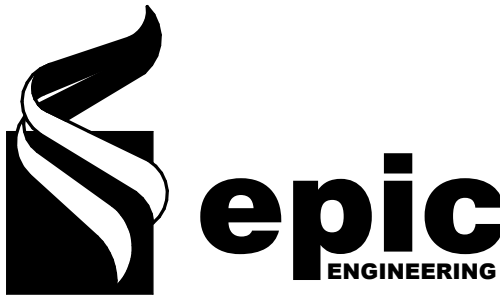
CONSTRUCTION NOTES

KEYNOTES:

1. ROOF: 25 YEAR SHINGLE OVER SYNTHETIC FELT. COLOR PER OWNER.
2. GUTTER & DOWNSPOUT. COLOR PER OWNER.
3. STUCCO, COLOR PER OWNER.
4. TRIM, COLOR PER OWNER.
5. EXTERIOR LIGHTING. STYLE PER OWNER.
6. STUCCO CONTROL JOINT.

DATE

3/17/2025 3:09:47 PM



REVISIONS

| MARK | DATE | DESCRIPTION |
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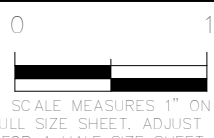
DRAWN: RED
DESIGNER: EPIC
REVIEWED: AJH

PROJECT #

24SM5617

SCALES

1/4" = 1'-0"



PROJECT NAME:

HICKEN FIELDHOUSE
APARTMENTS

PROJECT LOCATION:

314 E 600 S Heber City,
UT, 84032

SHEET TITLE:

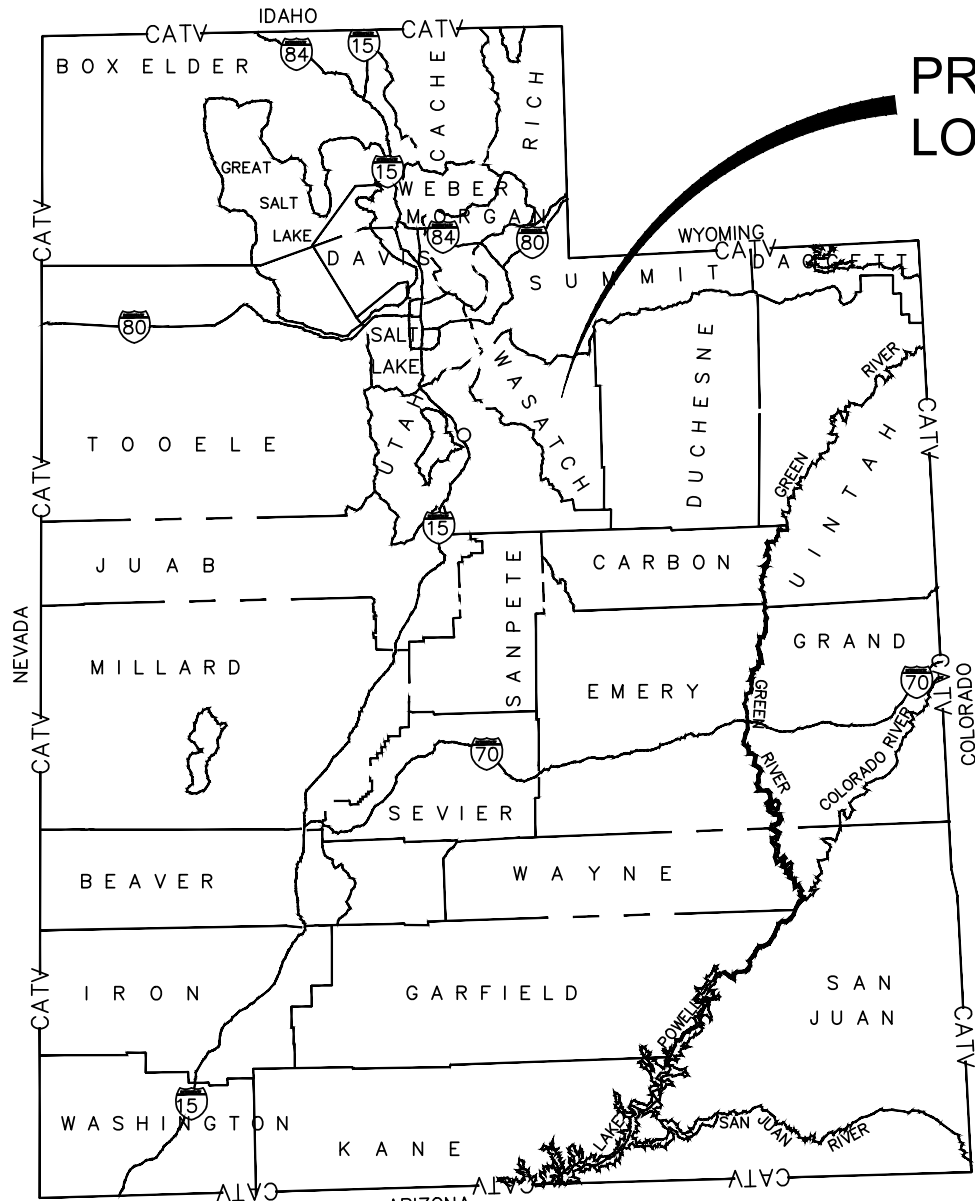
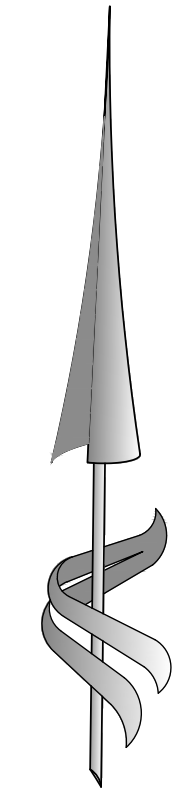
ELEVATIONS

PLAN SET:

PERMIT

SHEET

A2.1



KEY MAP OF UTAH

CITY NAME CITY COUNCIL

MAYOR: HEIDI FRANCO

COUNCIL MEMBERS: AARON CHEATWOOD
SID OSTERGAARD
MIKE JONSTON
SCOTT PHILLIPS
YVONNE BARNEY

PLANNING & ZONING: JAMIE BARON



3341 SOUTH 4000 WEST
WEST VALLEY CITY, UTAH 84120
(801) 955-5605

50 EAST 100 SOUTH
HEBER CITY, UTAH 84032
(435) 654-6600

HEBER CITY

75 NORTH MAIN STREET
HEBER CITY, UTAH 84032
(435) 654-0757

PLANS FOR PROPOSED

HICKEN FIELDHOUSE APARTMENTS

WASATCH COUNTY

INDEX TO SHEETS

| SHEET | DESCRIPTION |
|-------|------------------|
| COVER | COVER SHEET |
| C1.0 | SITE PLAN |
| C1.1 | LANDSCAPING PLAN |
| C2.0 | GRADING PLAN |
| C3.0 | DETAIL PLAN |
| C4.0 | SURVEY PLAN |

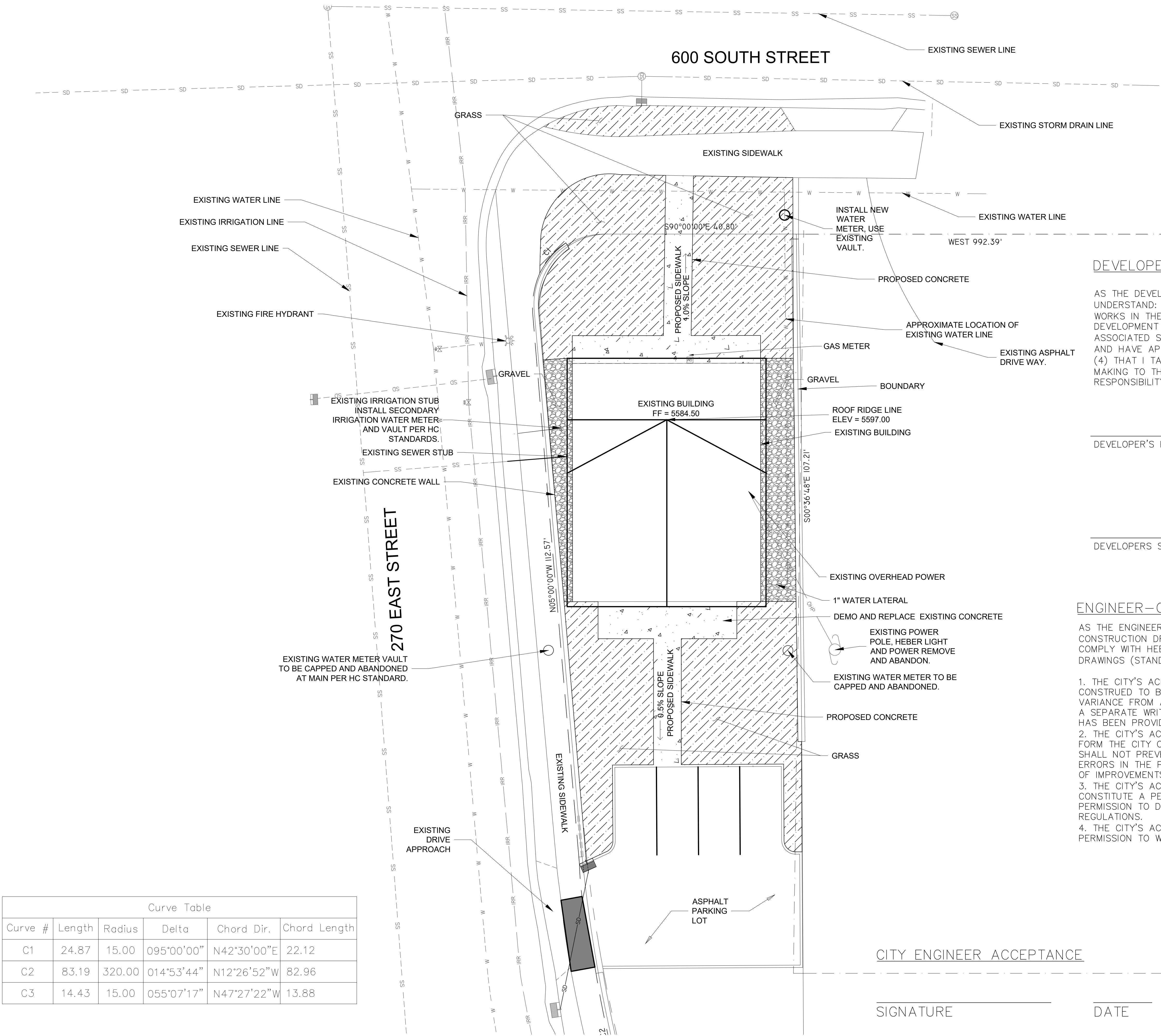


PROJECT VICINITY MAP

NOT TO SCALE

Know what's below.
Call 811 before you dig.

 **BLUE STAKES OF UTAH**
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



| Curve Table | | | | | |
|-------------|--------|--------|------------|-------------|--------------|
| Curve # | Length | Radius | Delta | Chord Dir. | Chord Length |
| C1 | 24.87 | 15.00 | 095°00'00" | N42°30'00"E | 22.12 |
| C2 | 83.19 | 320.00 | 014°53'44" | N12°26'52"W | 82.96 |
| C3 | 14.43 | 15.00 | 055°07'17" | N47°27'22"W | 13.88 |

DEVELOPER'S CERTIFICATION

AS THE DEVELOPER OF THIS PROPERTY, I HEREBY CERTIFY THAT I UNDERSTAND: (1) HOW THE EXISTING GRAVITY IRRIGATION SYSTEM WORKS IN THE VICINITY OF THIS PROPERTY, (2) HOW MY DEVELOPMENT OF THIS PROPERTY WILL AFFECT THIS SYSTEM AND ASSOCIATED STAKEHOLDERS, (3) THAT I HAVE COORDINATED WITH AND HAVE APPROVAL FROM THE SUBJECT IRRIGATION COMPANY(IES), (4) THAT I TAKE FULL RESPONSIBILITY FOR THE CHANGES I AM MAKING TO THIS SYSTEM, (5) HEBER CITY DOES NOT ASSUME RESPONSIBILITY FOR CHANGES I MAKE TO THIS SYSTEM.

DEVELOPER'S PRINTED NAME

DEVELOPERS SIGNATURE

DATE

ENGINEER-OF-RECORD CERTIFICATION

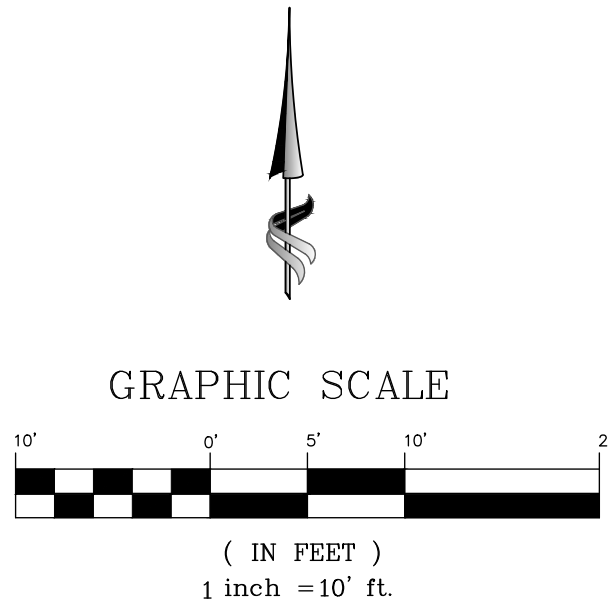
AS THE ENGINEER-OF-RECORD, I HEREBY CERTIFY THAT THESE CONSTRUCTION DRAWINGS AND SUPPORTING INFORMATION (PLANS) COMPLY WITH HEBER CITY CODE AND STANDARD SPECIFICATIONS AND DRAWINGS (STANDARDS). I UNDERSTAND AND AGREE THAT:

1. THE CITY'S ACKNOWLEDGMENT OS THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VARIANCE FROM ANY OF THE PROVISIONS OF THE STANDARDS UNLESS A SEPARATE WRITTEN APPROVAL AUTHORIZING A SPECIFIC DEVIATION HAS BEEN PROVIDED BY THE CITY ENGINEER.
2. THE CITY'S ACKNOWLEDGMENT OF THESE PLANS, OR FEEDBACK FORM THE CITY ON WHETHER THE PLANS MEET THE STANDARDS, SHALL NOT PREVENT THE CITY FROM REQUIRING THE CORRECTION OF ERRORS IN THE PLANS AT ANY TIME, INCLUDING AFTER CONSTRUCTION OF IMPROVEMENTS.
3. THE CITY'S ACKNOWLEDGMENT OF THESE PLANS DOES NOT CONSTITUTE A PERMIT FROM THE FEDERAL OR STATE GOVERNMENT OF PERMISSION TO DEVIATE FROM FEDERAL OF STATE LAWS OR REGULATIONS.
4. THE CITY'S ACKNOWLEDGMENT OF THESE PLANS DOES NOT GRANT PERMISSION TO WORK ON THE PROPERTIES OF OTHERS.

CITY ENGINEER ACCEPTANCE

SIGNATURE

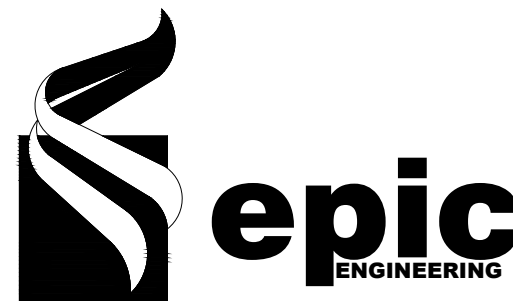
DATE



CONSTRUCTION NOTES

DATE ISSUED

Issue Date

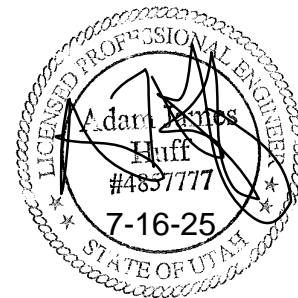


REVISIONS

| REV # | BY | DATE | DESCRIPTION |
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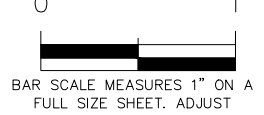
DRAWN: MS
DESIGNER: AH
REVIEWED: AH

PROJECT #
24SM5617



SCALES

HORIZ: 1" = 10'
VERT: 1" = 10'
(24" x 36" SHEET)



PROJECT NAME:

HICKEN FIELDHOUSE
APARTMENTS

PROJECT LOCATION:

270 E 600 S
HEBER, UT.

SHEET TITLE:

SITE PLAN

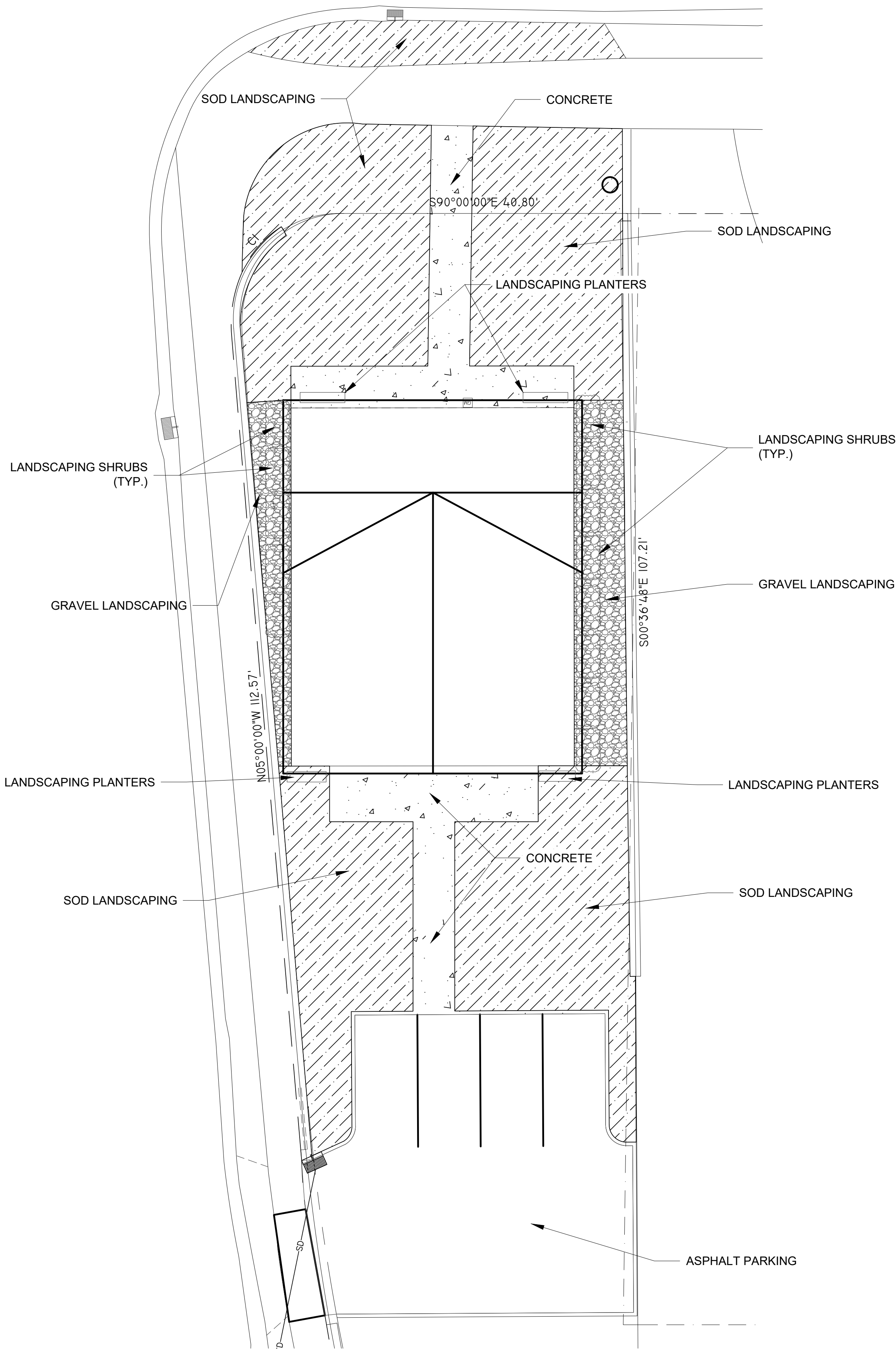
PLAN SET:

PERMIT

SHEET

C1.0

S:\Projects\2405617 Hickman Fieldhouse Apartments\Drawings\LAND\Site Plan.dwg

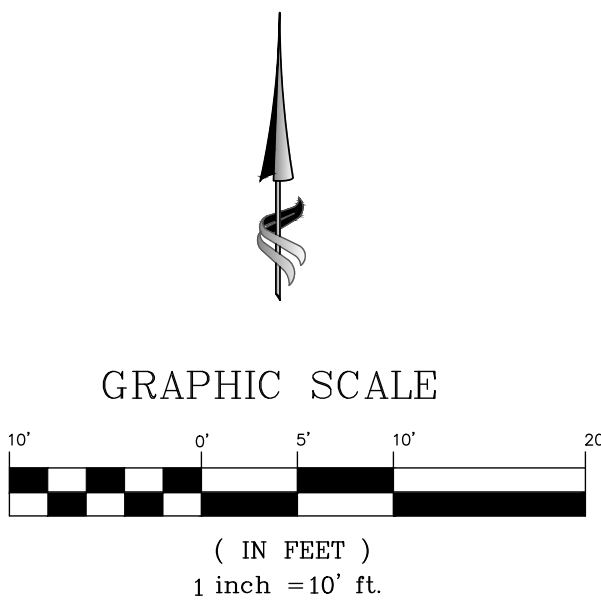


| SITE QUANTATIES | | |
|-----------------|------|----|
| SOD | 3131 | SF |
| GRAVEL | 583 | SF |
| CONCRETE | 805 | SF |
| ASPHALT | 1736 | SF |

CITY ENGINEER ACCEPTANCE

SIGNATURE

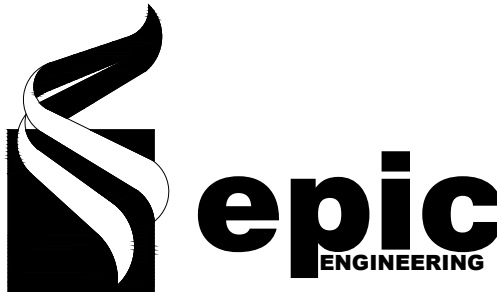
DATE



CONSTRUCTION NOTES

DATE ISSUED

Issue Date



REVISIONS

| REV # | BY | DATE | DESCRIPTION |
|-------|----|------|-------------|
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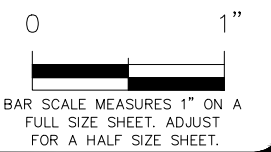
DRAWN: MS
DESIGNER: AH
REVIEWED: AH



PROJECT #
24SM5617

SCALES

HORIZ:
VERT:
(24" x 36" SHEET)



PROJECT NAME:
HICKEN FIELDHOUSE
APARTMENTS

PROJECT LOCATION:

270 E 600 S
HEBER, UT.

SHEET TITLE:

LANDSCAPE PLAN

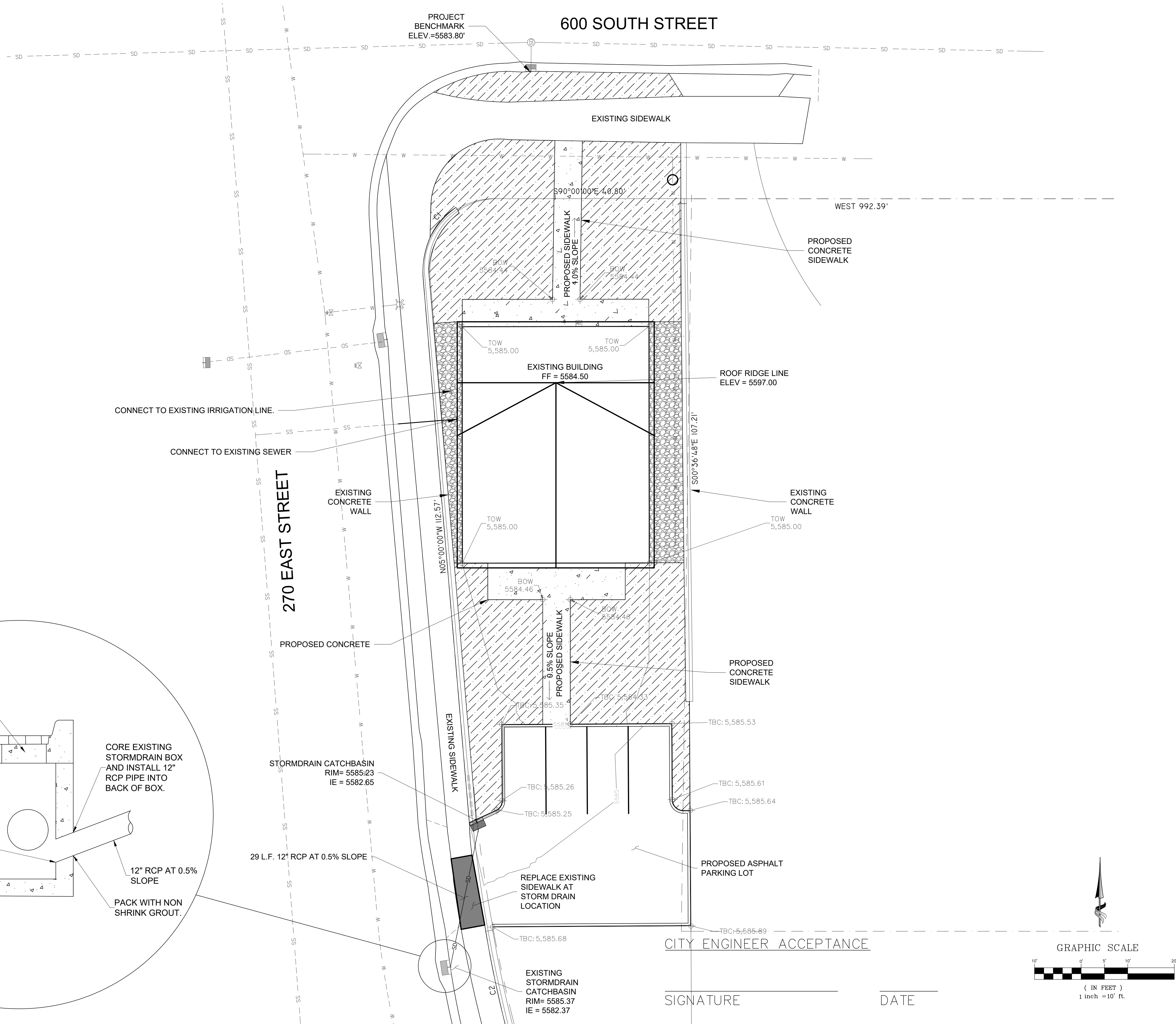
PLAN SET:

PERMIT

SHEET

C1.1

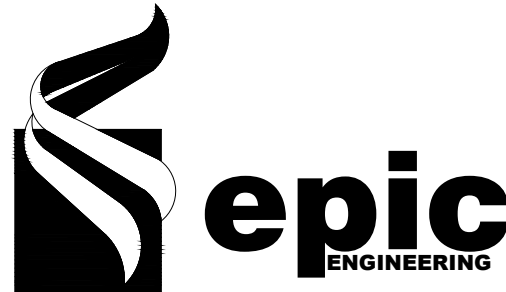
S:\Projects\245617 Hicken Fieldhouse Apartments\Drawings\DWG\Site Plan.dwg



CONSTRUCTION NOTES

SEPTEMBER 2024

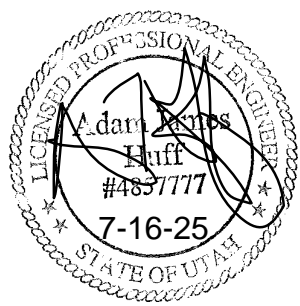
Issue Date



REVISIONS

| REV # | BY | DATE | DESCRIPTION |
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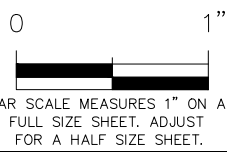
DRAWN: MS
DESIGNER: AH
REVIEWED: AH



PROJECT #
24SM5617

SCALES

HORIZ:
VERT:
(24" x 36" SHEET)



PROJECT NAME:
HICKEN FIELDHOUSE APARTMENTS

PROJECT LOCATION:

**270 E 600 S
HEBER, UT.**

SHEET TITLE:

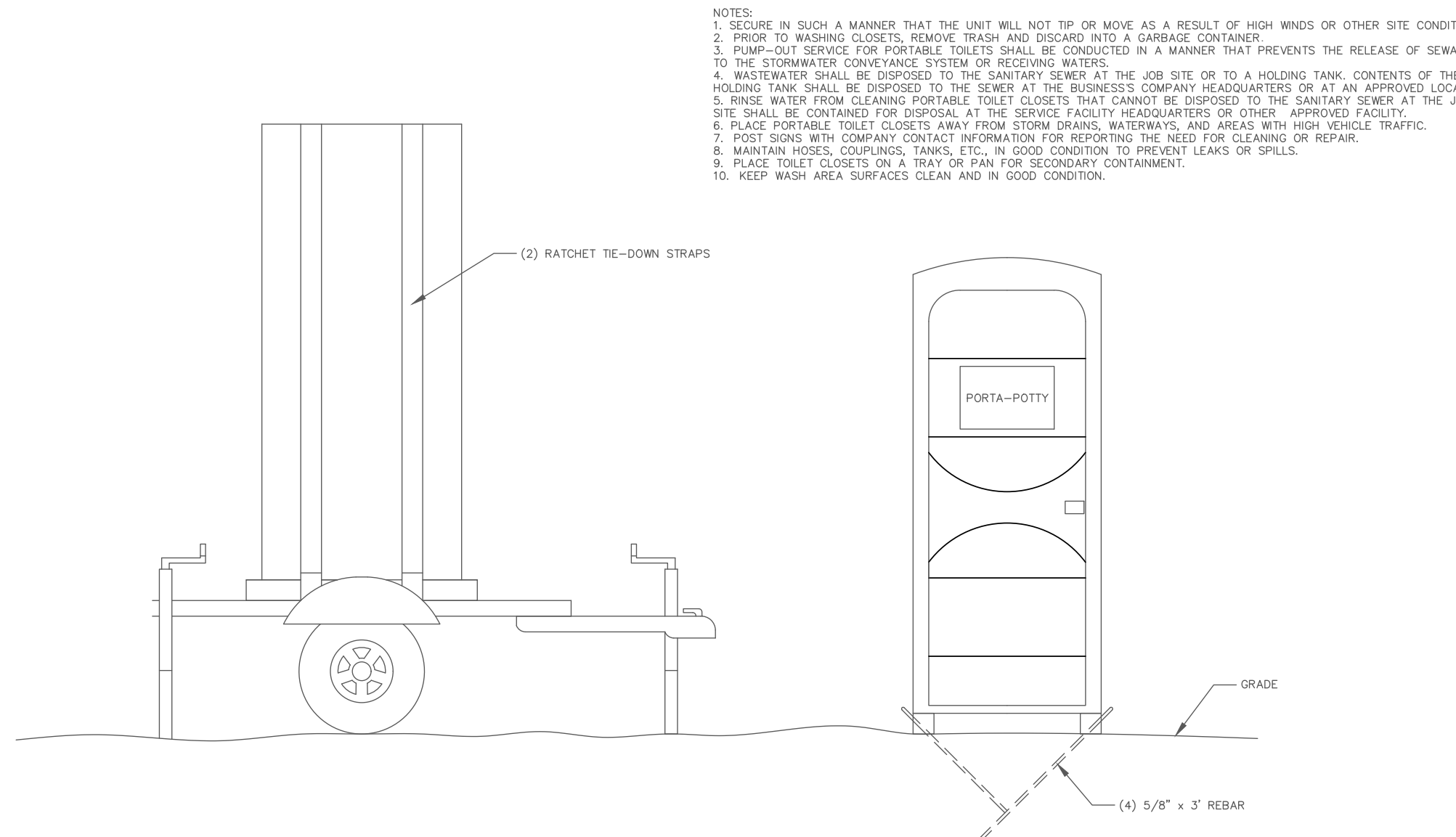
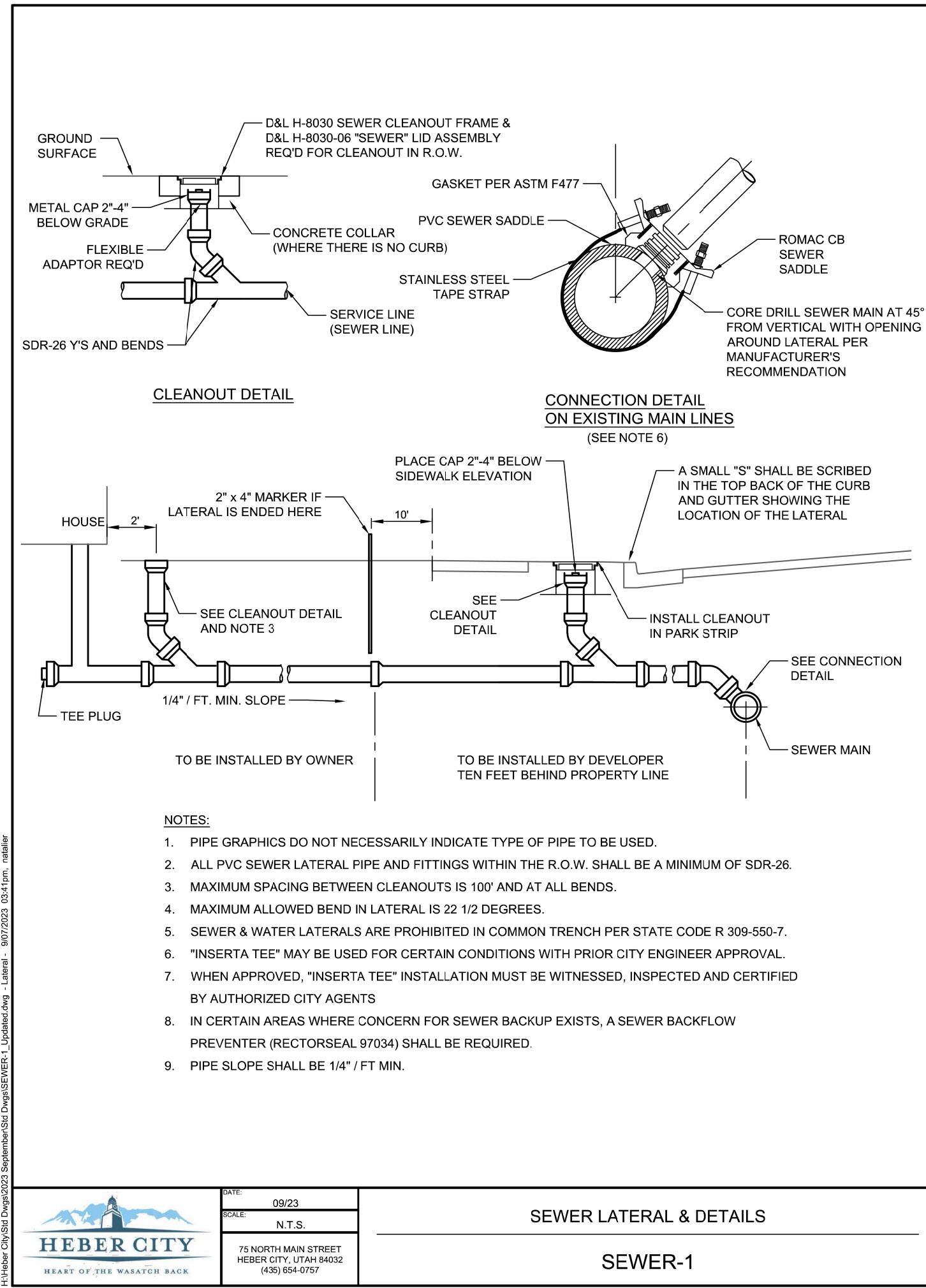
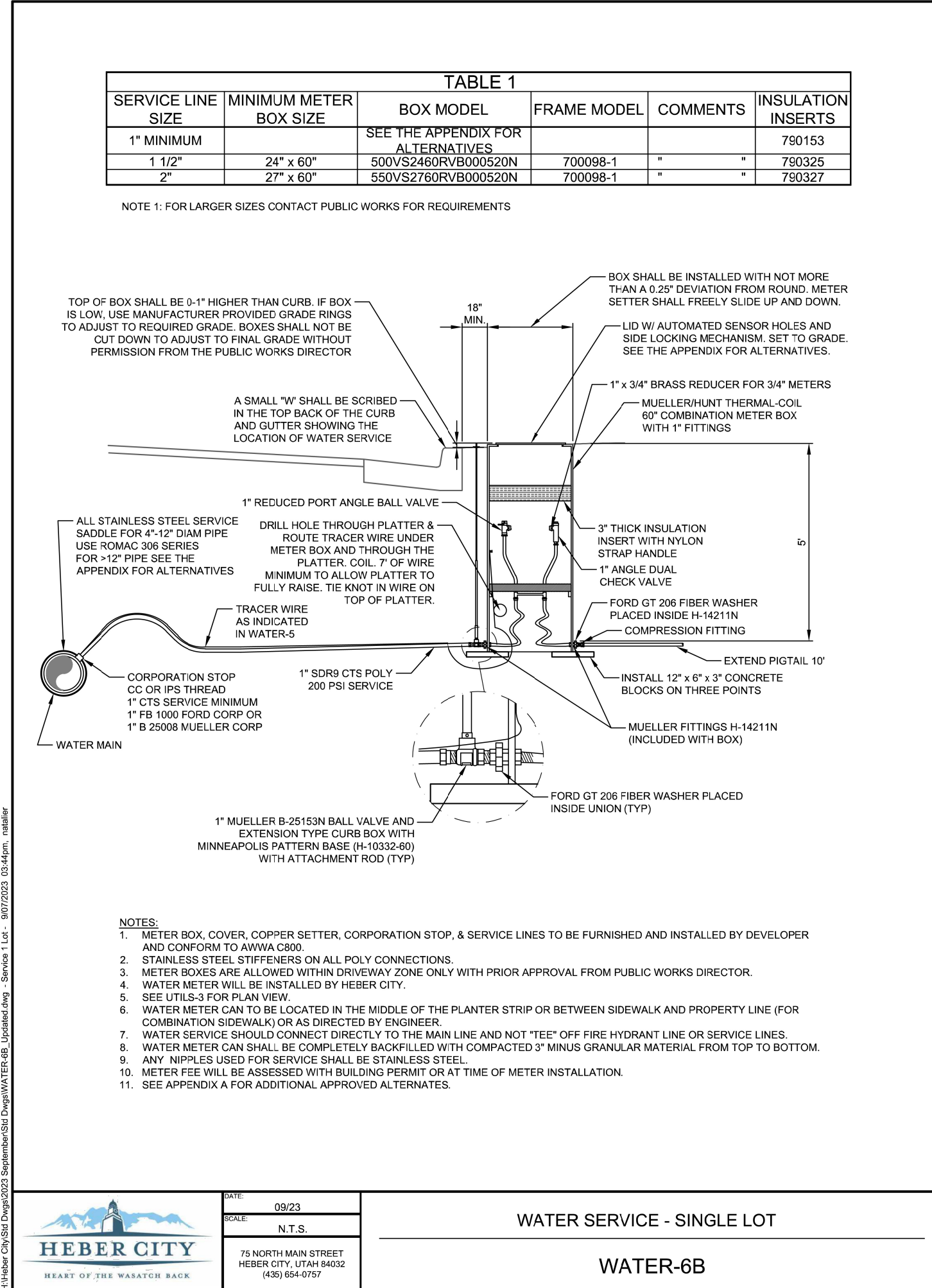
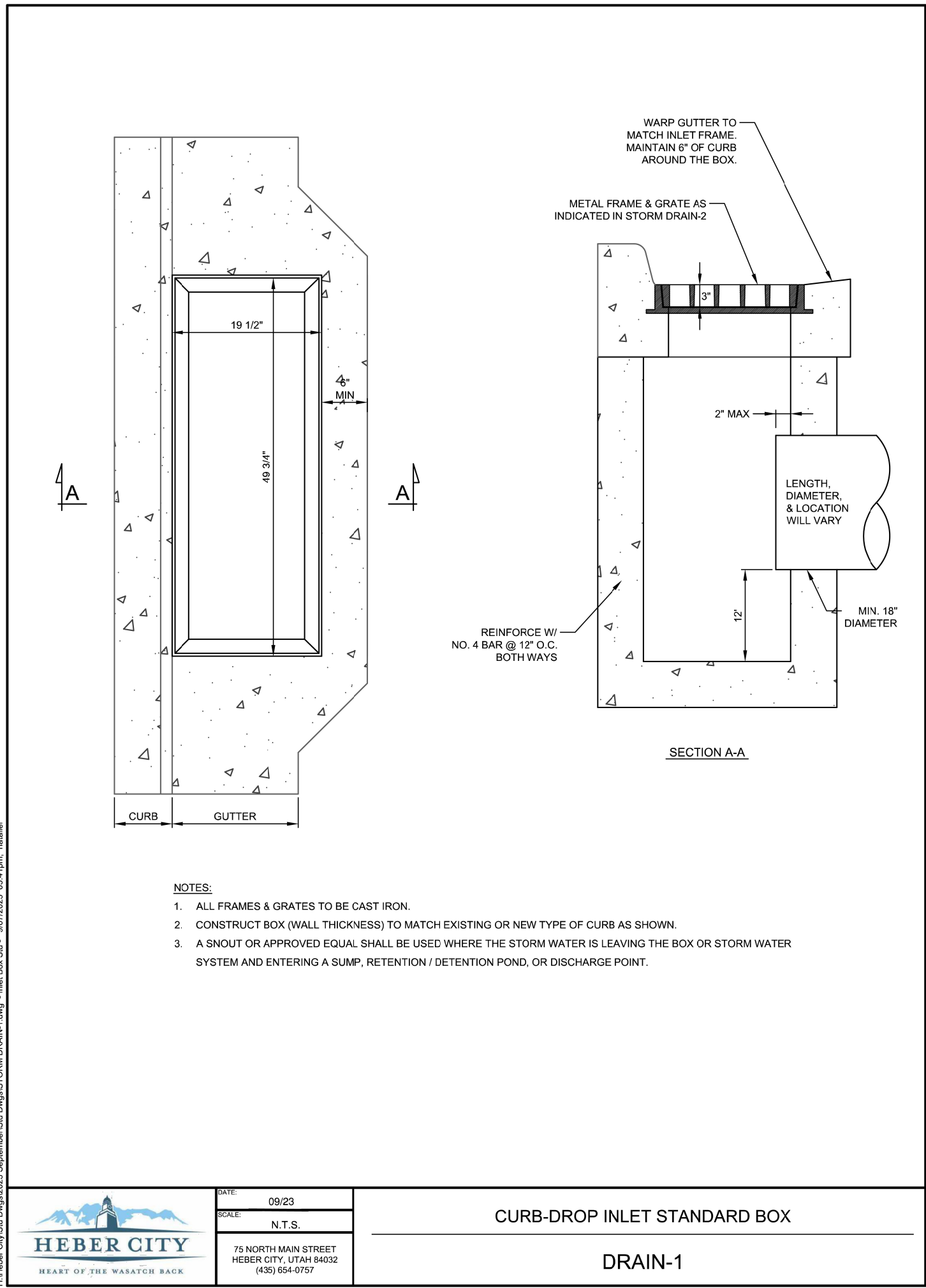
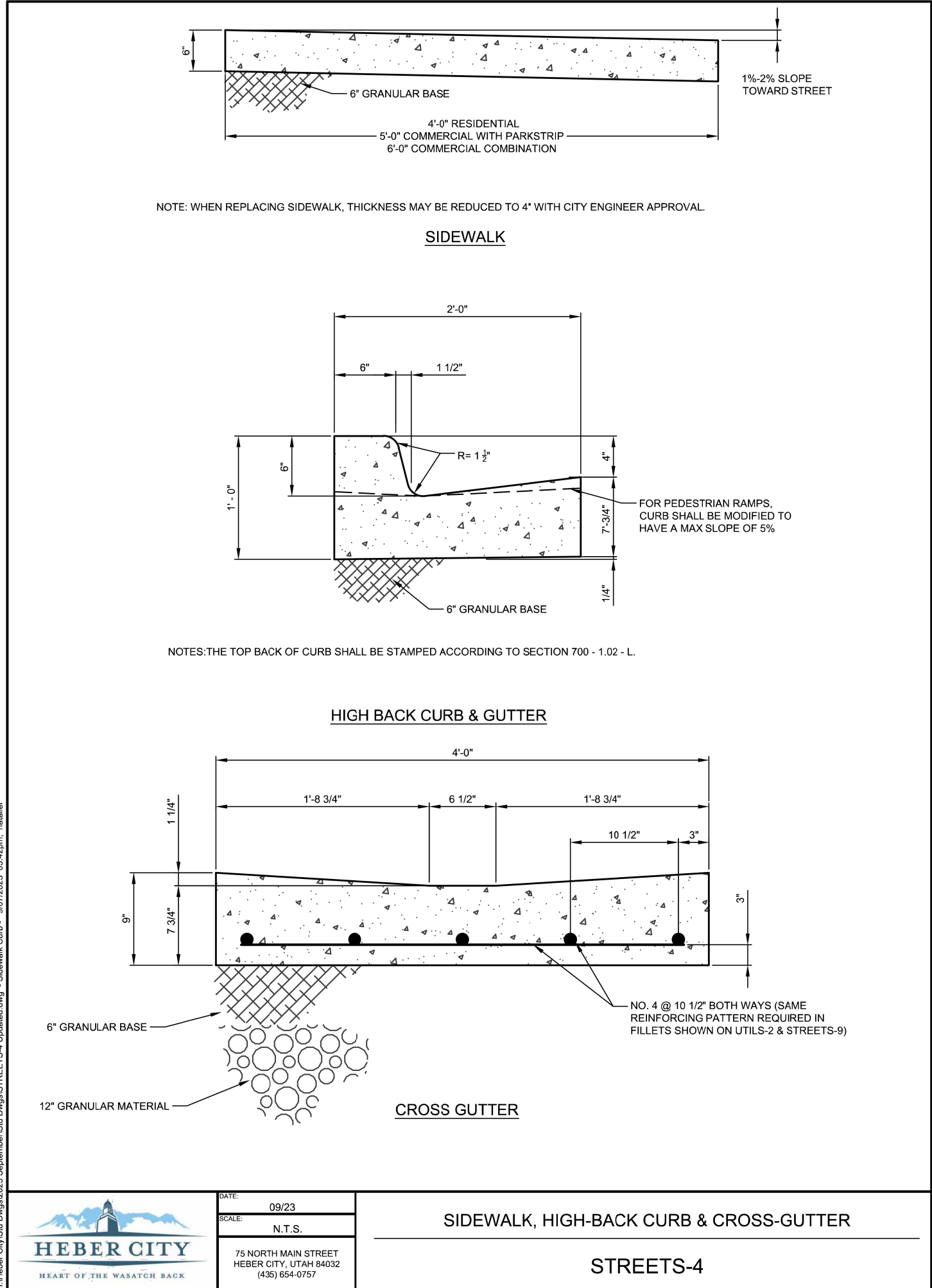
GRADING PLAN

PLAN SET:

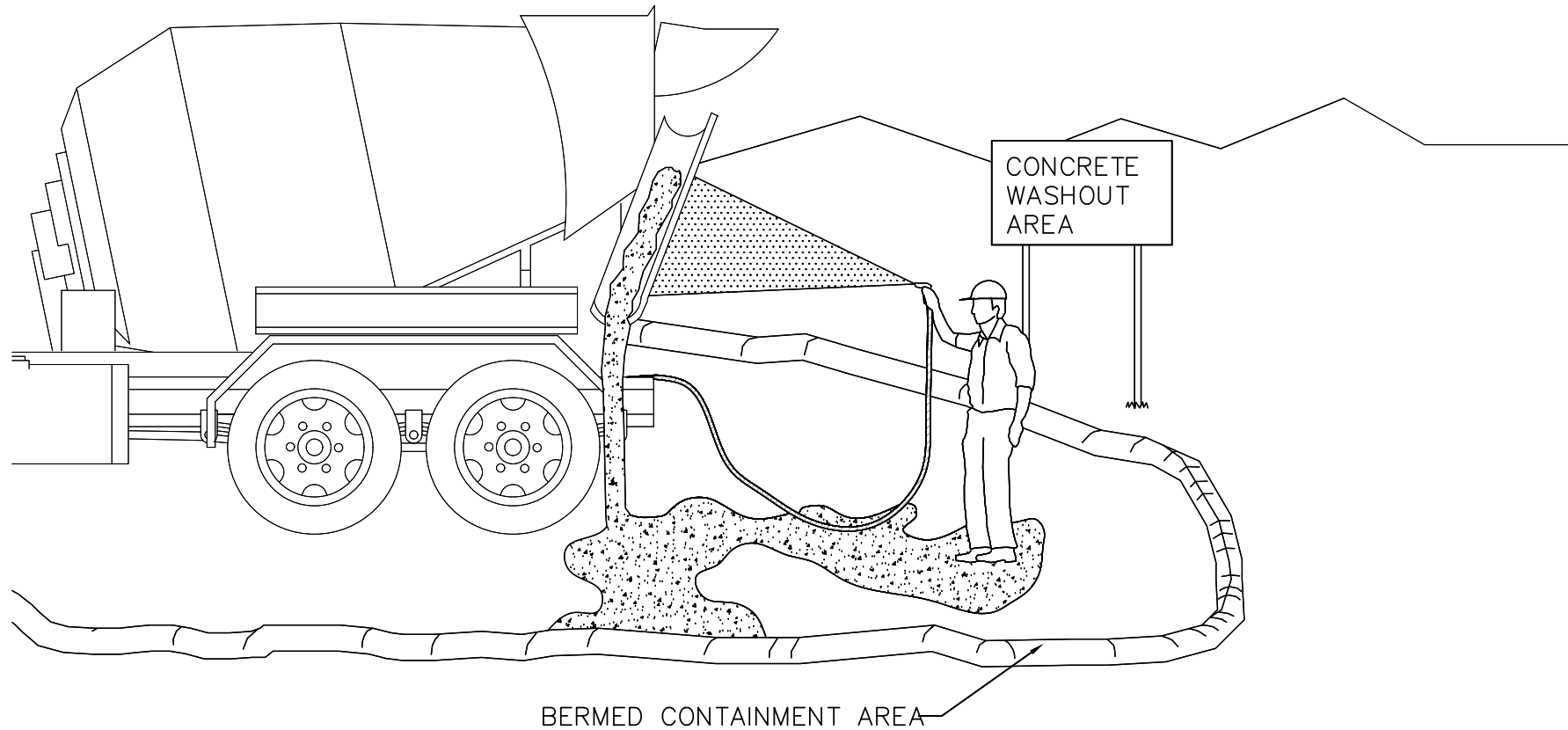
PERMIT

SHEET

C2.0



C PORTABLE TOILET



E CONCRETE WASHOUT

CITY ENGINEER ACCEPTANCE

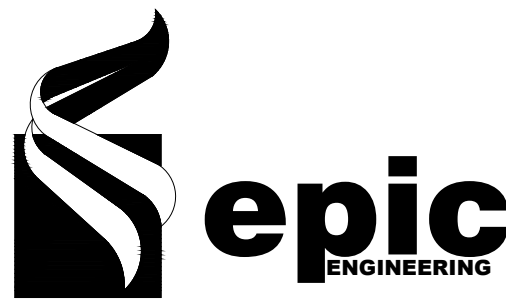
SIGNATURE

DATE

CONSTRUCTION NOTES

DATE ISSUED

Issue Date

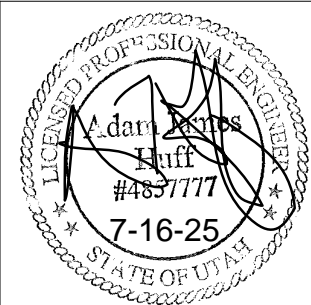


REVISIONS

| REV # | BY | DATE | DESCRIPTION |
|-------|----|------|-------------|
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| | | | |

DRAWN: MS
DESIGNER: AH
REVIEWED: AH

PROJECT #
24SM5617



SCALES

HORIZ: 1" = 24'
VERT: 1" = 36'
(24" x 36" SHEET)

BAR SCALE MEASURED 1" ON A FULL SIZE SHEET. ADJUST FOR A HALF SIZE SHEET.

PROJECT NAME:
HICKEN FIELDHOUSE APARTMENTS

PROJECT LOCATION:

**270 E 600 S
HEBER, UT.**

SHEET TITLE:

DETAIL PLAN

PLAN SET:

PERMIT

SHEET

C3.0



Planning Commission Staff Report

MEETING DATE: 8/26/2025
SUBJECT: Request for Subdivision Preliminary approval for The Edge, located at 67 E 200 N (Planner Aubrey Larsen)
RESPONSIBLE: Aubrey Larsen
DEPARTMENT: Planning
STRATEGIC RELEVANCE: Necessary Administrative Action

SUMMARY

The City has received an application for Subdivision Preliminary for The Edge. The policy questions include the following:

- Should the Planning Commission approve The Edge Subdivision Preliminary?

RECOMMENDATION

Staff is recommending the Planning Commission approve The Edge Subdivision Preliminary with the findings and conditions outlined in the conclusion of the staff report.

BACKGROUND

The Edge Subdivision Preliminary is a condo plat approval for a mixed-use development with 3 commercial units and 22 residential units on .45 acres within the C-3 Zone, located at 67 East 200 North.

The Edge (formerly 67 E Townhomes) was reviewed by DRM in March 2024. The project, originally proposed as solely residential, was changed to a mixed-use development. Staff, through DRM and subsequent reviews, provided feedback and requested corrections in several areas. Engineering comments addressed water line and storm drain easements to Heber City, irrigation requirements, standard City street cross-sections, and clarification on the required fire turnaround length. The Fire Department noted that the rear parking stalls are more than 150 feet from the road, which would require a turnaround, and that the proposed building height will require aerial apparatus access.

Planning staff identified several C-3 zone design requirements and provided detailed comments regarding compliance with the C-3 Design Guidelines. The applicant provided updated sheets with fence and dumpster enclosure details and revised elevations to address balconies, entrances, and windows. Architectural updates included roofline variation, historic design features, and added notes on balconies and open space. The site plan was revised to meet landscaping requirements, setbacks

were confirmed within code, and parking was clarified as sufficient for the intended uses. Lighting specifications were also updated in the photometric plan.

DISCUSSION

Departmental Review Summary

The Planning Department's review indicates the revised proposal is consistent with the C-3 zone and its Design Guidelines. The applicant has addressed all previous comments regarding architectural elements, landscaping, and parking.

The Engineering and Public Works Departments approved the plans with conditions. The applicant has addressed the Public Works Department's feedback from the previous review cycle in a newly uploaded file titled "The Edge Final Application Plans with approved Public Works Utility Plan_7-31-2025." The requested corrections included placing an acceptance stamp on all sheets, coordinating with BHI regarding valve placement, and updating drawings to use a dual service standard for meters.

The Fire Department approved the revised site plan, which addresses its comments regarding fire apparatus access and the required fire turnaround.

FISCAL IMPACT

N/A

CONCLUSION

Staff has determined that the Subdivision Final request meets City requirements and recommends approval to the request subject to the following findings and conditions.

Findings:

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

Conditions:

1. All requirements of the City Engineer shall be met.
 - Based on feedback from the Public Works Department, the City Engineer has approved the plans with the following conditions.
 - Place an acceptance stamp on all sheets so the plans can be signed.
 - After BHI replaces the valves on the main in 200 North, there should not be a need for valves going east and west from the line running north between the buildings. A valve is still needed going north. Please coordinate with BHI to ensure the asphalt does not need to be torn up.
 - To reduce the number of taps and maintain the integrity of the 8" main, the Public Works Department is requesting that 1 1/2" lines be tapped and the dual service standard specification be used for the meters. The drawings must be updated accordingly.
2. Provide Central Utah Water Conservancy District with a copy of the Heber City Water Action Report when it becomes available.

3. All other Code Requirements shall be met.
4. Any other conditions or changes as articulated by the Planning Manager
 - There were no additional conditions or changes requested

ALTERNATIVES

Staff Recommended Option - Approval

I move to **approve** the item as presented, with the findings and conditions as presented in the conclusion above.

Alternative 2 - Continuance

I move to **continue** the item to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

Alternative 3 - DENIAL

I move to **deny** the item with the following findings.

POTENTIAL MOTIONS

ACCOUNTABILITY

Department: Planning
Staff member: Aubrey Larsen , Planning Consultant

EXHIBITS

1. The Edge Final Application Plans with approved Public Works Utility Plan_7-31-2025
2. The Edge - Planning Dept. Response Letter
3. 2025.01.30_Architectural Elevations

THE FOLLOWING ARE THE STANDARD CITY CONSTRUCTION NOTES.

A. TYPICAL

1. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY AND WELL-BEING OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
2. CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AND/OR WRITTEN AGREEMENTS NECESSARY TO COMPLETE THE WORK.
3. CITY OWNED WATER VALVES MAY BE OPERATED ONLY BY CITY STAFF. OPENING, CLOSING OR TAMPERING WITH A CITY WATER VALVE WITHOUT PERMISSION OF THE CITY PUBLIC WORKS DEPARTMENT IS A CLASS B MISDEMEANOR PUNISHABLE BY UP TO SIX MONTHS IN JAIL AND A \$1,000 FINE.
4. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY'S ENGINEERING DEPARTMENT AT LEAST 5 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST ATTEND AND BRING ONE SET OF THE ACKNOWLEDGED CONSTRUCTION DRAWINGS AND A COPY OF THE CURRENT HEBER CITY STANDARD SPECIFICATIONS AND DRAWINGS MANUAL (AVAILABLE AT HEBERUT.GOV).
5. CONTRACTOR SHALL HAVE IN POSSESSION AND ON-SITE AT ALL TIMES ONE COPY OF THE CURRENT ACKNOWLEDGED CONSTRUCTION PLANS STAMPED, SIGNED, AND DATED BY THE ENGINEER OF RECORD, THE APPLICANT, AND THE CITY.
6. DEVELOPER'S ENGINEERS (CIVIL AND GEOTECHNICAL) SHALL PERFORM SUFFICIENT INSPECTIONS AND SURVEYS DURING GRADING AND CONSTRUCTION TO RENDER AN OPINION IN WRITING AS TO ADHERENCE TO THE ACCEPTED STANDARDS AND COMPLIANCE WITH HEBER CITY STANDARD SPECIFICATIONS AND DRAWINGS MANUAL.
7. ANY WORK DONE IN THE ABSENCE OF AN INSPECTOR'S APPROVAL SHALL BE SUBJECT TO REJECTION. ALL UNDERGROUND GPS DATA MUST BE COLLECTED BY A CITY REPRESENTATIVE PRIOR TO BACKFILL. INSPECTORS MAY REQUEST THE CONTRACTOR TO EXPOSE WORK THAT HAS BEEN BACKFILLED WITHOUT PRIOR INSPECTION OR COLLECTION OF GPS DATA. ALL SUCH REWORK SHALL BE COMPLETED AT THE DEVELOPER'S OR OWNER'S EXPENSE.
8. SURVEY MONUMENTS MUST BE INSTALLED IN ACCORDANCE WITH THE CURRENT HEBER CITY AND WASATCH COUNTY SURVEYORS' OFFICE REQUIREMENTS.
9. DISTURBED PROPERTY SURVEY MARKERS SHALL BE RESET IN THEIR ORIGINAL LOCATIONS UPON COMPLETION OF ALL CONSTRUCTION ACTIVITIES.
10. CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL WHICH MUST CONFORM TO THE CURRENT MUTCD. PROVIDE SITE-SPECIFIC TRAFFIC CONTROL PLANS [PREPARED BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) OR AGC-CERTIFIED INDIVIDUAL] PRIOR TO INSTALLATION OF ANY TRAFFIC CONTROL DEVICE. TRAFFIC CONTROL PLANS MUST BE ACCEPTED BY THE CITY PRIOR TO IMPLEMENTATION AND BEFORE ANY SHOULDER, LANE, OR STREET CLOSURE.

B. TRENCHES AND UTILITIES

1. TRENCHES SHALL BE COMPLETED AND RESTORED PER CITY STANDARD DRAWING UTIL-1.
2. POTHOLE EXISTING UTILITIES IN ACCORDANCE WITH CITY STANDARD DRAWING UTIL-5.
3. CONTRACTOR IS RESPONSIBLE TO LOCATE, AVOID, PROTECT, AND REPAIR ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION, WHETHER OR NOT THEY ARE SHOWN ON THE PLANS. LOCATIONS OF UTILITIES UNDERGROUND UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION BY CONTRACTOR.
4. ALL TRENCHES WITHIN PUBLIC RIGHT-OF-WAY MUST BE BACKFILLED OR SECURELY PLATED DURING NONWORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACK-FILLED OR PROTECTED BY APPROVED TEMPORARY FENCING AND/OR BARRICADES DURING NON-WORKING HOURS. TRENCHES IN ROADWAY MUST BE BACKFILLED, COMPACTED, AND PAVED WITHIN 48 HOURS OF ROAD-CUT. PAINT STRIPING SHALL BE REPLACED IN ACCORDANCE TO CITY STANDARDS WITHIN 48-HOURS OF RESTORATION OF PAVEMENT.

C. ROADWAY CONSTRUCTION AND RESTORATION

1. SUBGRADE MUST BE APPROVED PRIOR TO CONSTRUCTION OF UNTREATED BASE COURSE AND PAVEMENT SECTIONS. SUBGRADE APPROVAL REQUIRES THAT A PROOF-ROLL BE COMPLETED AND VERIFIED BY A CITY INSPECTOR, AND THAT ALL UTILITIES BE INSTALLED, INSPECTED WITH CONNECTIONS TO MAIN LINES COMPLETED, AND ACCEPTED BY THE CITY.
2. ASPHALT PATCHING TO ROADS BETWEEN OCTOBER 15 AND APRIL 15 WILL BE CONSIDERED TEMPORARY ONLY, AND MUST BE REPLACED ACCORDING TO CITY STANDARDS AND SPECIFICATIONS BETWEEN THE FOLLOWING APRIL 15 AND JULY 1.
3. MATERIAL SUBMITTALS ARE REQUIRED FOR ALL ITEMS PLACED WITHIN THE CITY RIGHT-OF-WAY. ALL SUBMITTALS MUST BE INSTATED WITHIN 90 DAYS OF THE CONSTRUCTION START DATE (UNLESS SPECIFIED OTHERWISE) AND BE SUBMITTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
4. MORATORIUM STANDARD (NEW, RECONSTRUCTED, AND OVERLAIN STREETS): NO CUTS PERMITTED FOR TWO (2) YEARS FROM THE TIME OF CONSTRUCTION/ RECONSTRUCTION/OVERLAY.
5. SPECIAL RESTORATION STANDARD: THIS STANDARD APPLIES TO NEW, RECONSTRUCTED, OVERLAIN, AND CHIP/SLURRY-SEALED STREETS:
 - A. NEW, RECONSTRUCTED, AND OVERLAIN STREETS (FOR 5 YEARS AFTER END OF MORATORIUM): THE ASPHALT SURFACE SHALL BE MILLED A MINIMUM DEPTH OF TWO (2) INCHES, AND FIFTEEN (15) FEET EACH WAY FROM THE EDGE OF THE CUT. MILLING SHALL BE DONE IN WIDTHS EQUIVALENT TO EXISTING STRIPED TRAFFIC LANES. THE CITY ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL AREA AND/OR DEPTH IF DEEMED APPROPRIATE TO RESTORE ROADWAY TO ORIGINAL CONDITION. APPROVED FABRIC IS REQUIRED WHEN EXISTING PAVEMENT INCLUDED A FABRIC PRIOR TO THE PERMITTED CUT.
 - B. CHIP/SLURRY-SEALED STREETS (FOR ONE YEAR AFTER CHIP/SLURRY APPLICATION): THE ASPHALT SURFACE SHALL BE RE-CHIPPED/SLURRIED A MINIMUM OF FIFTEEN (15) FEET EACH WAY FROM THE EDGE OF THE CUT, IN WIDTHS EQUIVALENT TO EXISTING STRIPED TRAFFIC LANES.
6. ROADS SHALL BE OPENED FOR TRAFFIC DURING PEAK HOURS. LANE CLOSURES MAY ONLY BE IN EFFECT FROM 9AM-2PM, AND 7PM-7AM WHEN NIGHT WORK IS APPROVED. CONTRACTORS SHALL ACCOMMODATE ALL SPECIAL SCHOOL OR LOCAL GOVERNMENT SCHEDULES AND EVENTS. PAINT RESTORING SHALL BE REPLACED IN ACCORDANCE WITH CITY STANDARDS WITHIN 48-HOURS OF RESTORATION OF PAVEMENT.
7. ALL ROAD CLOSURES MUST BE APPROVED BY THE CITY ENGINEER. ALL REQUESTS FOR ROAD CLOSURES SHALL BE MADE IN WRITING AND INCLUDE A SITE-SPECIFIC TRAFFIC CONTROL PLAN FOR THE PROPOSED CLOSURE. WHEN APPROVED, CLOSURES OF COLLECTOR STREETS WILL REQUIRE A 2-WEEK ADVANCE NOTICE TO THE PUBLIC INFORMING THEM OF THE UPCOMING CLOSURE. THE NOTICE SHALL PROVIDE THE USUAL ON-SITE VARIABLE MESSAGE SIGN (VMS) BOARDS INDICATING THE ANTICIPATED START DATE AND DURATION OF THE CLOSURE. VMS BOARDS SHALL REMAIN ON SITE FOR THE FULL TWO WEEK ADVANCE-NOTICE PERIOD. IF THE DURATION OF THE CLOSURE IS EXTENDED BEYOND THE APPROVED PERIOD, THE EXTENSION SHALL BE COORDINATED WITH THE CITY ENGINEER AND SHALL REQUIRE ADDITIONAL VMS BOARD NOTIFICATION TO THE PUBLIC.

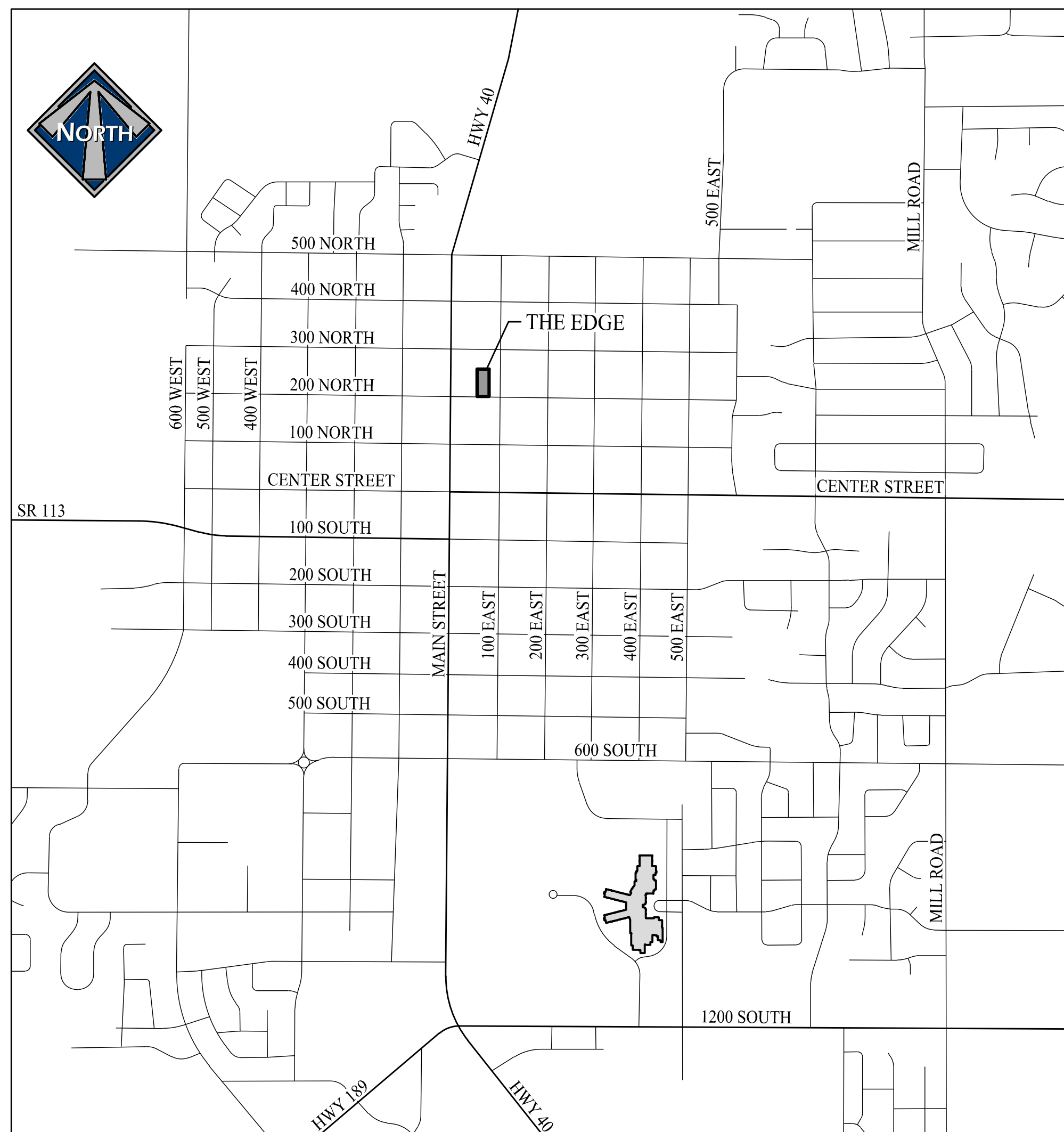
ALL HEBER CITY CONSTRUCTION SPECIFICATIONS AND DETAILS ARE INCORPORATED INTO THIS PLAN SET. HEBER CITY DOES NOT ALLOW CONSTRUCTION DETAILS TO BE INCLUDED IN THE PLANS. PLEASE SEE WWW.HEBERUT.GOV/158/ENGINEERING TO FIND THE SPECIFICATIONS AND DETAILS.

ARCHITECT
RILEY YOUNG
MINT ARCHITECTURE
7585 S. UNION PARK AVE. SUITE 100
SANDY, UTAH 84047
TEL: 801.996.3646

CIVIL ENGINEER
PAUL BERG, P.E.
BERG ENGINEERING
380 EAST MAIN SUITE 204
MIDWAY, UTAH 84049
TEL: 435.657.9749

THE EDGE

FINAL APPLICATION



VICINITY MAP

DEVELOPER'S CERTIFICATION

AS THE DEVELOPER OF THIS PROPERTY, I HEREBY CERTIFY THAT I UNDERSTAND: (1) HOW THE EXISTING GRAVITY IRRIGATION SYSTEM WORKS IN THE VICINITY OF THIS PROPERTY, (2) HOW MY DEVELOPMENT OF THIS PROPERTY WILL AFFECT THIS SYSTEM AND ASSOCIATED STEAKHOLDERS, (3) THAT I HAVE DEALT WITH AN ASSIGNED APPROVE FROM A SUBSIST IRRIGATION COMPANY(S), (4) THAT I TAKE FULL RESPONSIBILITY FOR THE CHANGES I AM MAKING TO THIS SYSTEM, (5) HEBER CITY DOES NOT ASSUME RESPONSIBILITY OR LIABILITY FOR CHANGES I MAKE TO THIS SYSTEM.

DEVELOPER'S PRINTED NAME _____

DEVELOPER'S SIGNATURE

DATE _____

SHEET INDEX

CIVIL

- C02. BOUNDARY & TOPOGRAPHY SURVEY
- C03a. THE EDGE PLAT - 1 of 3
- C03b. THE EDGE PLAT - 2 of 3
- C03c. THE EDGE PLAT - 3 of 3
- C04. EXISTING CONDITIONS & DEMOLITION PLAN
- C05. IMPACT TO IRRIGATION PLAN - 200 NORTH PIPED DITCH
- C06. SITE PLAN
- C07. GRADING PLAN
- C08. OVERALL UTILITY PLAN
- C09. SEWER PLAN & PROFILE
- C10. STORM DRAIN PLAN
- C11. STORM DRAIN CUSTOM DETAILS
- C12. SIGNING & STRIPING PLAN

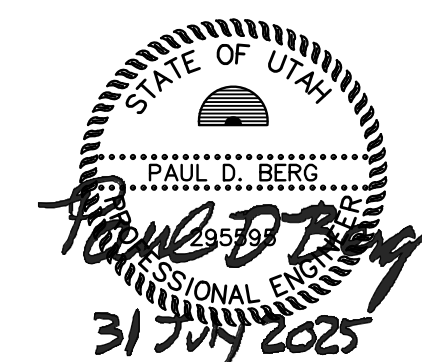
LANDSCAPE

- | | |
|------|------------------------------|
| L01. | LANDSCAPE PLAN |
| L02. | SPRINKLER IRRIGATION PLAN |
| L03. | LANDSCAPE DETAILS |
| L04. | SPRINKLER IRRIGATION DETAILS |



HEBER CITY ENGINEER ACCEPTANCE

RUSSELL FLUNK DATE



200 NORTH LOFTS LLC
THE EDGE

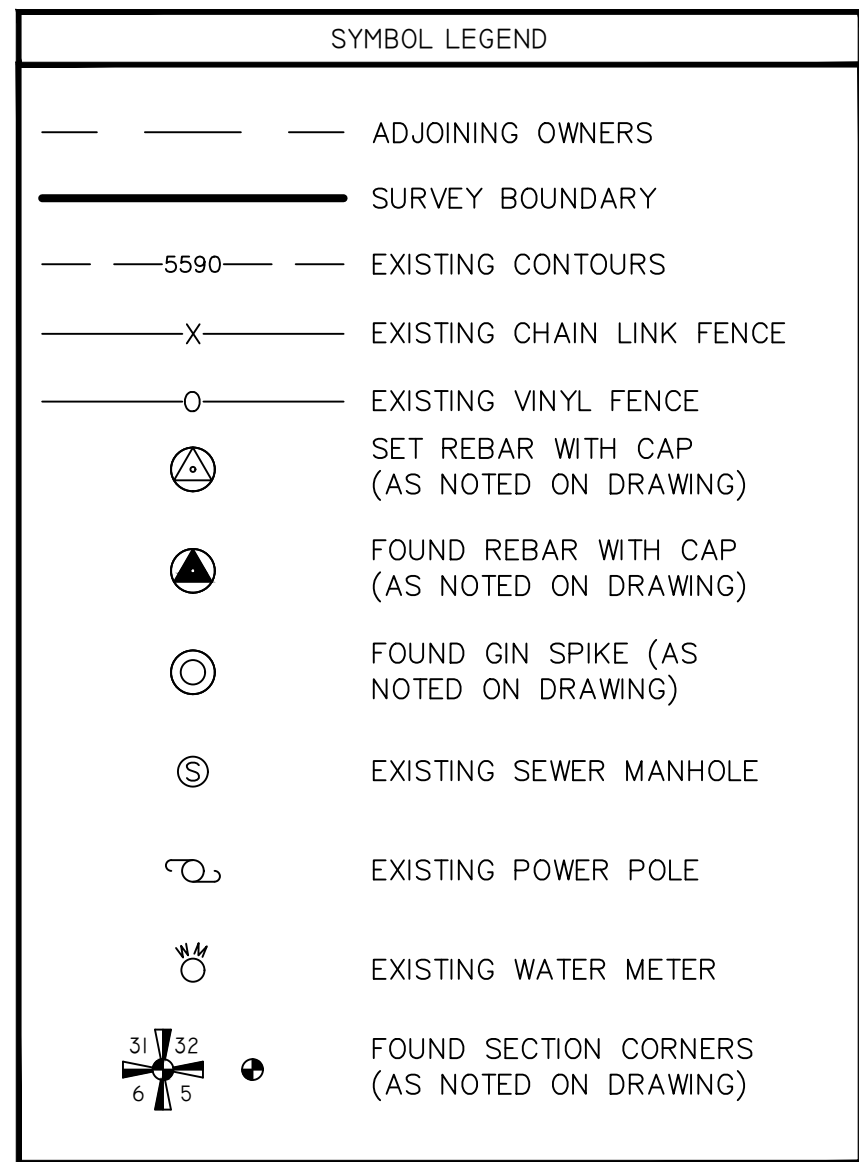
COVER



DESIGN BY: PDB
DRAWN BY: DWA

DATE: 31 JUL 2025
REV:

SHEET
1



I, TROY L TAYLOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 6854112, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I HEREBY CERTIFY THAT DURING THE MONTH OF XXXXXXXX, I HAVE MADE A SURVEY OF THE HEREON DESCRIBED PARCEL AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

Troy L Taylor JULY 31, 2023
TROY L TAYLOR DATE

WAS ASKED BY THE CLIENT TO PERFORM A BOUNDARY AND TOPOGRAPHIC SURVEY OF THE PROPERTY TO AID IN THE DEVELOPMENT OF THE PROPERTY. A SURVEY OF THE ADJOINING PROPERTY TO THE WEST AS PERFORMED BY SUMMIT ENGINEERING WAS FOUND TO BE TRUE AND RECORDED IN THE SASSATCH COUNTY SURVEYORS OFFICE HAVING MAP NUMBER 3779. SAID RECORD OF SURVEY WAS USED AS THE BASIS FOR THIS SURVEY. THE NARRATIVE OF THE SUMMIT SURVEY STATES THAT THE RECORD BEARINGS WERE ROTATED TO BE PARALLEL TO AND MATCH THE EXISTING STREET MONUMENTS. SURVEY MONUMENTS AT PROPERTY CORNERS SHOWN AND CALLED FOR ON THE SUMMIT SURVEY WERE FOUND, ACCEPTED AND USED AS THE BASIS OF BEARING FOR THIS SURVEY. USING SAID MONUMENTS AND BEARINGS, THE BEARING AND DISTANCE MONUMENTS WERE SHOWN. THIS SURVEY, SECTION CORNERS WERE LOCATED AND ARE SHOWN ON THIS SURVEY FOR CONVENIENCE OF RETRACEMENT.

ALL OF THE WEST HALF (W 1/2) OF LOT ONE (1), IN BLOCK ONE HUNDRED FIFTEEN (115) OF THE HEBER CITY SURVEY OF BUILDING LOTS.


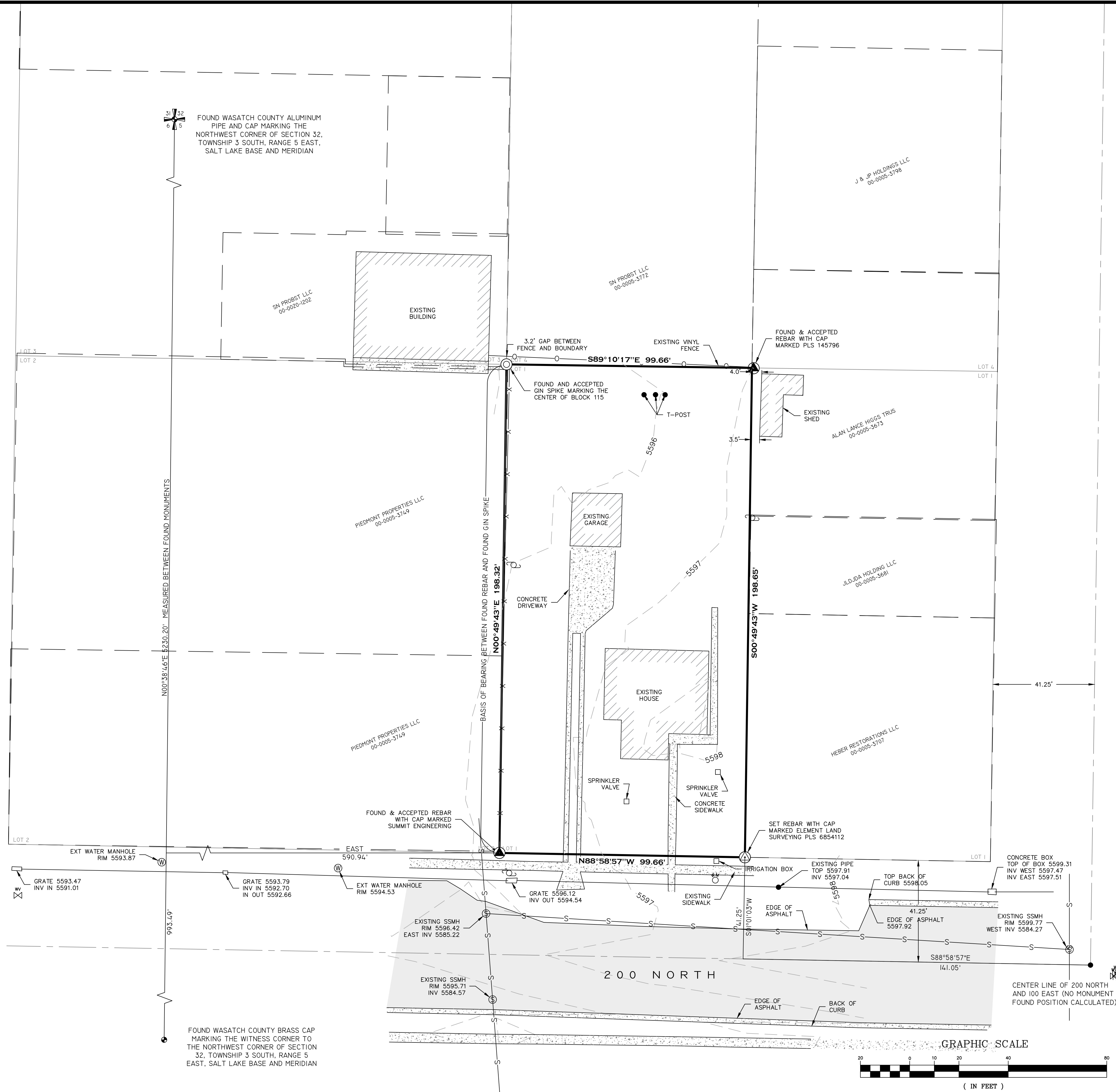
ALSO DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND REBAR WITH CAP MARKED SUMMIT ENG. SAID REBAR MARKING THE SOUTHWEST CORNER OF LOT 1, OF BLOCK 115 OF THE HEBER CITY SURVEY OF BUILDING LOTS, THENCE NORTH 00°49'43" EAST 198.32 FEET ALONG A FENCE AND THE WEST LINE OF SAID LOT 1 TO A FOUND GIN SPIKE MARKING THE CENTER OF SAID BLOCK 115; THENCE SOUTH 89°10'17" EAST ALONG THE NORTH LINE OF SAID LOT 1 TO A FOUND REBAR WITH CAP MARKED PLS 145796 MARKING THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 00°49'43" WEST 198.65 FEET ALONG THE EAST LINE OF SAID LOT 1 TO A SET REBAR WITH CAP MARKED ELEMENT LAND SURVEYING PLS 6854112 AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 88°58'57" WEST 99.66 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING.

AREA = 0.45 ACRES

THE BASIS OF BEARING IS NORTH 00°49'43" EAST FROM THE FOUND REBAR WITH CAP MARKED SUMMIT ENG MARKING THE SOUTHWEST CORNER OF LOT 1 TO THE FOUND GIN SPIKE MARKING THE NORTHWEST CORNER OF LOT 1, ALSO BEING THE CENTER OF BLOCK 115 OF THE HEBER CITY SURVEY OF BUILDING LOTS.

AREA = 0.45 ACRES



ELEMENT
LAND SURVEYING
289 E 180 NORTH, MIDWAY, UTAH 84049
WWW.ELEMENTSURVEYING.COM
801-657-8748

BOUNDARY & TOPOGRAPHIC
SURVEY
WASATCH COUNTY
LOCATED IN THE SOUTHWEST QUARTER OF SECTION
32, TOWNSHIP 3 SOUTH, RANGE 5 EAST, SALT LAKE
BASE & MERIDIAN

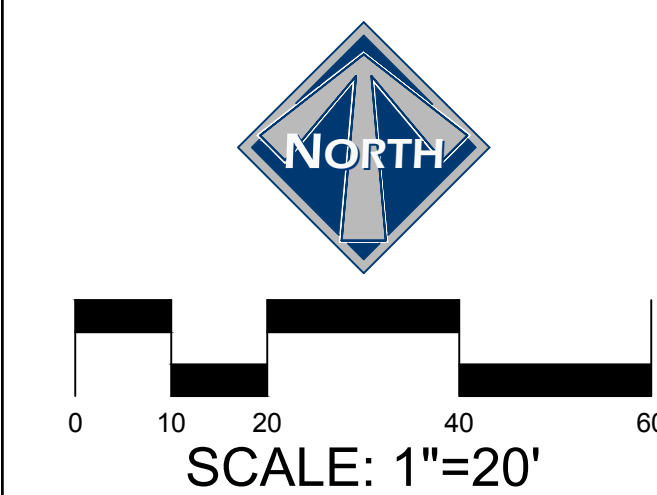
MINT CONSTRUCTION

| | | |
|-------------|-----------|---------------|
| PROJECT NO. | 23-06-223 | PREPARED FOR: |
|-------------|-----------|---------------|

THE EDGE

SHEET

2



- LEGEND
- COMMON AREA (11,742 sqft)
 - PRIVATE AREA (8,039 sqft)
 - PLAT BOUNDARY
 - BUILDING ENVELOPE
 - PUBLIC UTILITY EASEMENT
 - SEWER, STORM DRAIN AND WATER EASEMENTS

| ADDRESS TABLE | |
|---------------|---------------------------|
| UNIT | ADDRESS |
| 1 | 67 EAST 200 NORTH UNIT 1 |
| 2 | 67 EAST 200 NORTH UNIT 2 |
| 3 | 67 EAST 200 NORTH UNIT 3 |
| 4 | 67 EAST 200 NORTH UNIT 4 |
| 5 | 67 EAST 200 NORTH UNIT 5 |
| 6 | 67 EAST 200 NORTH UNIT 6 |
| 7 | 67 EAST 200 NORTH UNIT 7 |
| 8 | 67 EAST 200 NORTH UNIT 8 |
| 9 | 67 EAST 200 NORTH UNIT 9 |
| 10 | 67 EAST 200 NORTH UNIT 10 |
| 11 | 67 EAST 200 NORTH UNIT 11 |
| 12 | 67 EAST 200 NORTH UNIT 12 |
| 13 | 67 EAST 200 NORTH UNIT 13 |
| 14 | 67 EAST 200 NORTH UNIT 14 |

| LINE TABLE | | |
|------------|---------|---------------|
| LINE# | LENGTH | DIRECTION |
| L1 | 10.00' | N89° 34' 28"E |
| L2 | 10.01' | N86° 02' 16"W |
| L3 | 49.45' | S13° 01' 29"W |
| L4 | 49.54' | S11° 49' 57"E |
| L5 | 26.00' | N89° 10' 17"W |
| L6 | 150.19' | N00° 49' 43"E |
| L7 | 26.00' | S88° 58' 57"E |
| L8 | 150.11' | S00° 49' 43"W |
| L9 | 60.84' | S36° 34' 08"E |

UTILITIES

- EACH UNIT WILL HAVE ITS OWN WATER METER, GAS METER, POWER METER AND SEWER LATERAL. EACH UNIT OWNER IS RESPONSIBLE FOR THEIR UTILITY BILLS AND PAYMENT.
- SEWER WITHIN THE PROPERTY IS PRIVATE AND WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- STORM DRAIN WITHIN THE PROPERTY IS PRIVATE AND WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

DATA TABLE

| INFORMATION | AC. | SQ. FT. | %TOTAL | # | NOTES |
|-------------------------------|------|---------|--------|----|---------------------|
| TOTAL PROJECT AREA | 0.45 | 19,781 | 100.0% | | |
| SENSITIVE LANDS | | | 0.0% | | NONE |
| OPEN SPACE | | | 0.0% | | |
| BUILDABLE LAND | 0.45 | 19,781 | 100.0% | | |
| ROW AREA | 0.00 | | 0.0% | | NONE |
| LANDSCAPE AREA | 0.08 | 3,682 | 7.8% | | |
| UNITS—RESIDENTIAL | | | | 22 | |
| UNITS—COMMERCIAL | | | | 3 | |
| NET DENSITY DWELLINGS BY ACRE | 49 | | | | RESIDENTIAL DENSITY |

SURVEYOR
TROY L TAYLOR, PLS
ELEMENT LAND SURVEYING
2296 SOUTH 270 EAST
HEBER CITY, UT 84032
PHONE (801) 657-8748
DATE OF SURVEY: JULY 2023

HEBER CITY STORM DRAIN EASEMENT NOTES:

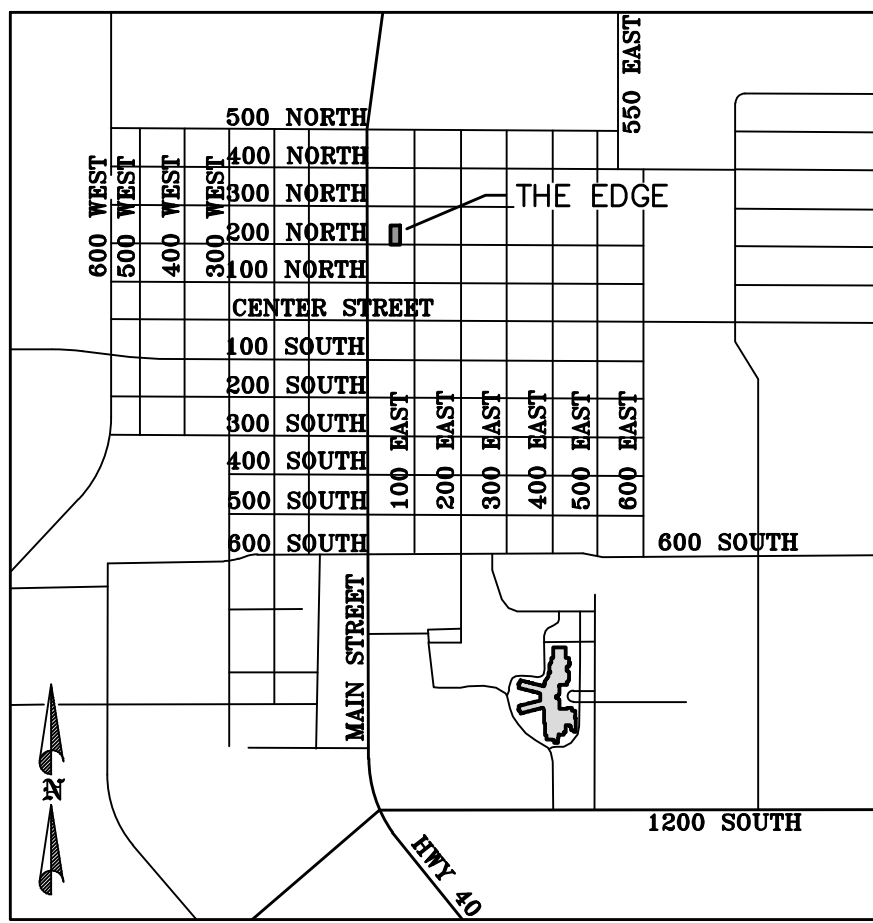
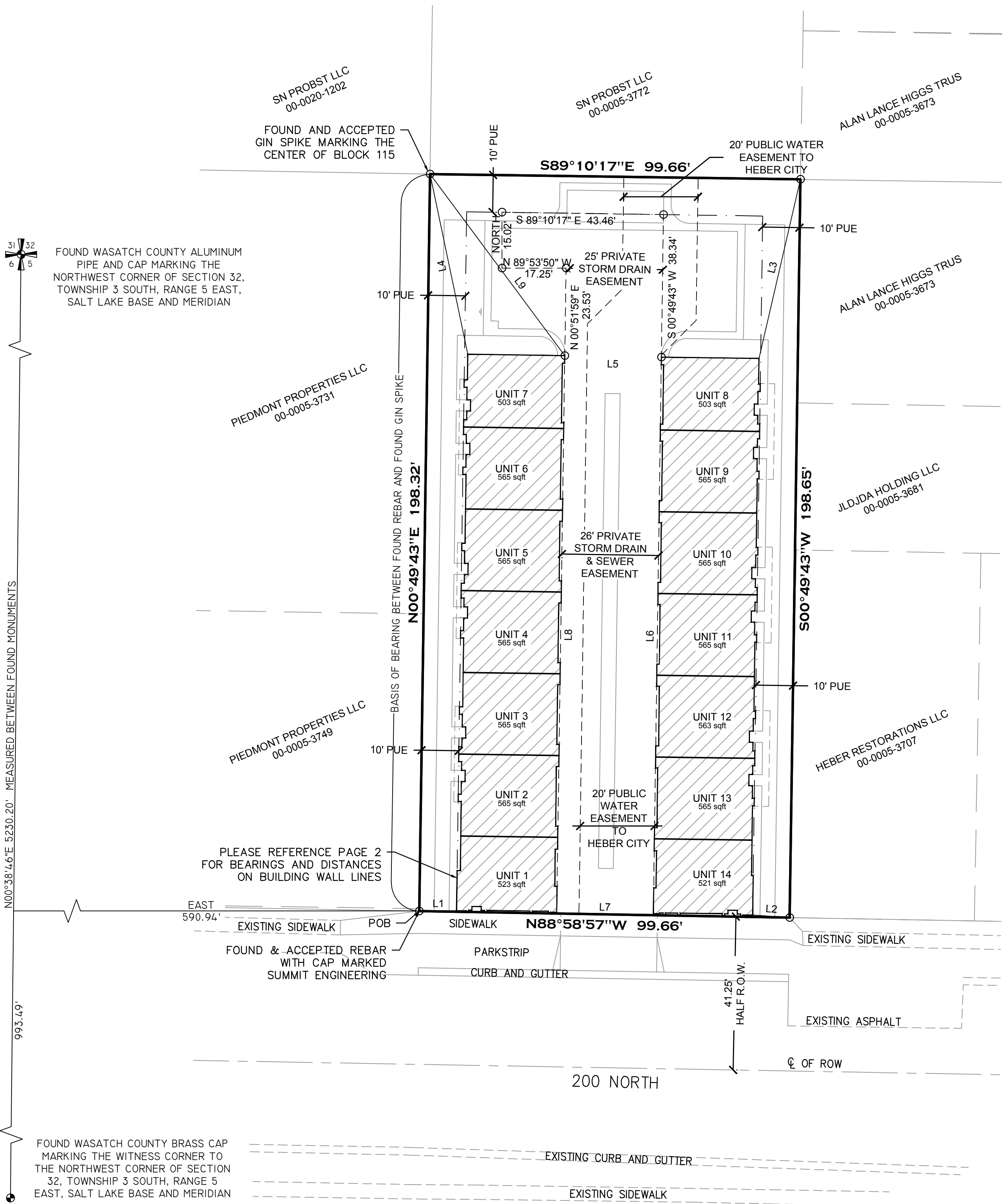
THE COMMON AREA DRIVEWAY AND PARKING AREA MAY BE USED BY HEBER CITY AS A MAINTENANCE ACCESS TO STORM DRAIN INFRASTRUCTURE INCLUDING CATCH BASINS, PIPELINES, STORM TREATMENT UNITS AND SUMPS IN CASE OF EMERGENCIES.

ENGINEERING FIRM NAME: BERG ENGINEERING
ENGINEERING FIRM ADDRESS: 380 EAST MAIN SUITE 204, MIDWAY UT 84049
SURVEYING FIRM NAME: ELEMENT SURVEYING
SURVEYING FIRM ADDRESS: 2296 SOUTH 270 EAST HEBER CITY UT 84032

FEMA FLOOD_ZONE
THIS PROPERTY IS LOCATED IN ZONE X.
PLEASE SEE FEMA PANEL FIRM 49051C0118E.

THE EDGE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 32 AND THE WEST HALF OF SECTION 32 TOWNSHIP 3 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.



STANDARD PLAT NOTES

- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- ALL COMMON AND PARKING AREAS, AS APPLICABLE, AND PRIVATE STREETS, ARE DEDICATED AS CITY UTILITY EASEMENTS. HEBER CITY HAS THE RIGHT OF ACCESS THROUGH THESE EASEMENTS TO ACCESS, MAINTAIN, AND REPAIR CITY UTILITIES. NO CHANGES TO TOPOGRAPHY, STRUCTURES, ABOVE OR BELOW GROUND ARE ALLOWED IN EASEMENTS WITHIN 10 FEET OF CITY UTILITIES WITHOUT WRITTEN PERMISSION FROM THE HEBER CITY ENGINEER. ANY OBSTACLES ERRECTED WITHIN THESE EASEMENTS WITHOUT WRITTEN PERMISSION WILL BE REMOVED AT THE CURRENT PROPERTY OWNER'S EXPENSE. ALL STORM DRAIN UTILITIES AND THEIR MAINTENANCE WITHIN PRIVATE PROPERTY SHALL BE THE RESPONSIBILITY OF PROPERTY OWNER. ALL SEWER LATERALS AND THEIR MAINTENANCE TO THE PUBLIC RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL DRINKING WATER AND PRESSURIZED IRRIGATION SERVICES AND THEIR MAINTENANCE FROM THE WATER METER OR SERVICE VAULT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY AGECE APPLIED GEOTECH, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS, ACCORDING TO THE BUILDING CODE.

NOTES FOR PLATS WITH COMMON AREA

- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- UNITS WILL BE SUBJECT TO THE EDGE HOMEOWNERS ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S." SEE ENTRY _____, BOOK _____, PAGE _____.
- EACH UNIT OWNER WILL BE RESPONSIBLE FOR THE PAYMENT OF UTILITY BILLS FOR THEIR UNIT.

COUNTY RECORDER

BASIS OF BEARINGS

THE BASIS OF BEARING IS NORTH 00°49'43" EAST FROM THE FOUND REBAR WITH CAP MARKED SUMMIT ENG MARKING THE SOUTHWEST CORNER OF LOT 1 TO THE FOUND GIN SPIKE MARKING THE NORTHWEST CORNER OF LOT 1, ALSO BEING THE CENTER OF BLOCK 115 OF THE HEBER CITY SURVEY OF BUILDING LOTS.

COUNTY SURVEYOR

APPROVED ON THIS _____ DAY OF _____, 20____.

COUNTY SURVEYOR

SURVEYOR'S CERTIFICATE

I, THE UNDERSIGNED SURVEYOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD A LICENSE (NUMBER SHOWN BELOW) IN ACCORDANCE WITH UTAH CODE TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT, BY AUTHORITY OF THE OWNERS, I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, TOGETHER WITH EASEMENTS, AND HAVE PLACED MONUMENTS ON THE GROUND AS REPRESENTED ON THE PLAT. I ALSO CERTIFY THAT I HAVE FILED WITH THE WASATCH COUNTY SURVEYOR, PURSUANT TO STATE LAW, A MAP OF THE SURVEY I COMPLETED.

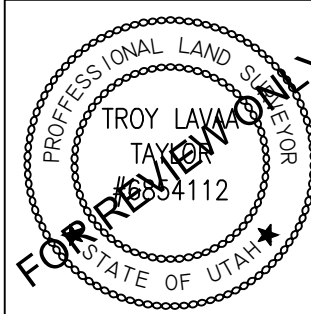
SIGNATURE _____ DATE _____

BOUNDARY DESCRIPTION

ALL OF THE WEST HALF (W 1/2) OF LOT ONE (1), IN BLOCK ONE HUNDRED FIFTEEN (115) OF THE HEBER CITY SURVEY OF BUILDING LOTS. ALSO DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND REBAR WITH CAP MARKED SUMMIT ENG. SAID REBAR MARKING THE SOUTHWEST CORNER OF LOT 1, OF BLOCK 115 OF THE HEBER CITY SURVEY OF BUILDING LOTS, THENCE NORTH 00°49'43" EAST 198.32 FEET ALONG A FENCE AND THE WEST LINE OF SAID LOT 1 TO A FOUND GIN SPIKE MARKING THE CENTER OF SAID BLOCK 115; THENCE SOUTH 89°10'17" EAST ALONG THE NORTH LINE OF SAID LOT 1 TO A FOUND REBAR WITH CAP MARKED PLS 145796 MARKING THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 00°49'43" WEST 198.65 FEET ALONG THE EAST LINE OF SAID LOT 1 TO A SET REBAR WITH CAP MARKED ELEMENT LAND SURVEYING PLS 6854112 AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 88°58'57" WEST 99.66 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING.

AREA = 0.45 ACRES



ACRES: 0.45, # OF UNITS 14, # OF PARCELS 14, SURVEYOR'S SEAL

OWNER'S DEDICATION

THE UNDERSIGNED OWNER(S) OF THE ABOVE-DESCRIBED TRACT OF LAND HAS/HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

THE EDGE

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE UNDERSIGNED OWNER(S), AGENTS, SUCCESSORS, AND ASSIGNS SHALL VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE UNDERSIGNED OWNER(S), AGENTS, SUCCESSORS, AND ASSIGNS ALSO HEREBY CONVEY ANY OTHER EASEMENTS, AS SHOWN AND/OR NOTED ON THIS PLAT, TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN AND/OR NOTED HEREON. THE CITY ASSUMES NO LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS _____ DAY OF _____, 20____.

SIGNATURE _____ PRINT NAME _____ TITLE & ENTRY _____

SIGNATURE _____ PRINT NAME _____ TITLE & ENTRY _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____, WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES).

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC FULL NAME: _____

COMMISSION NUMBER: _____ MY COMMISSION EXPIRES _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

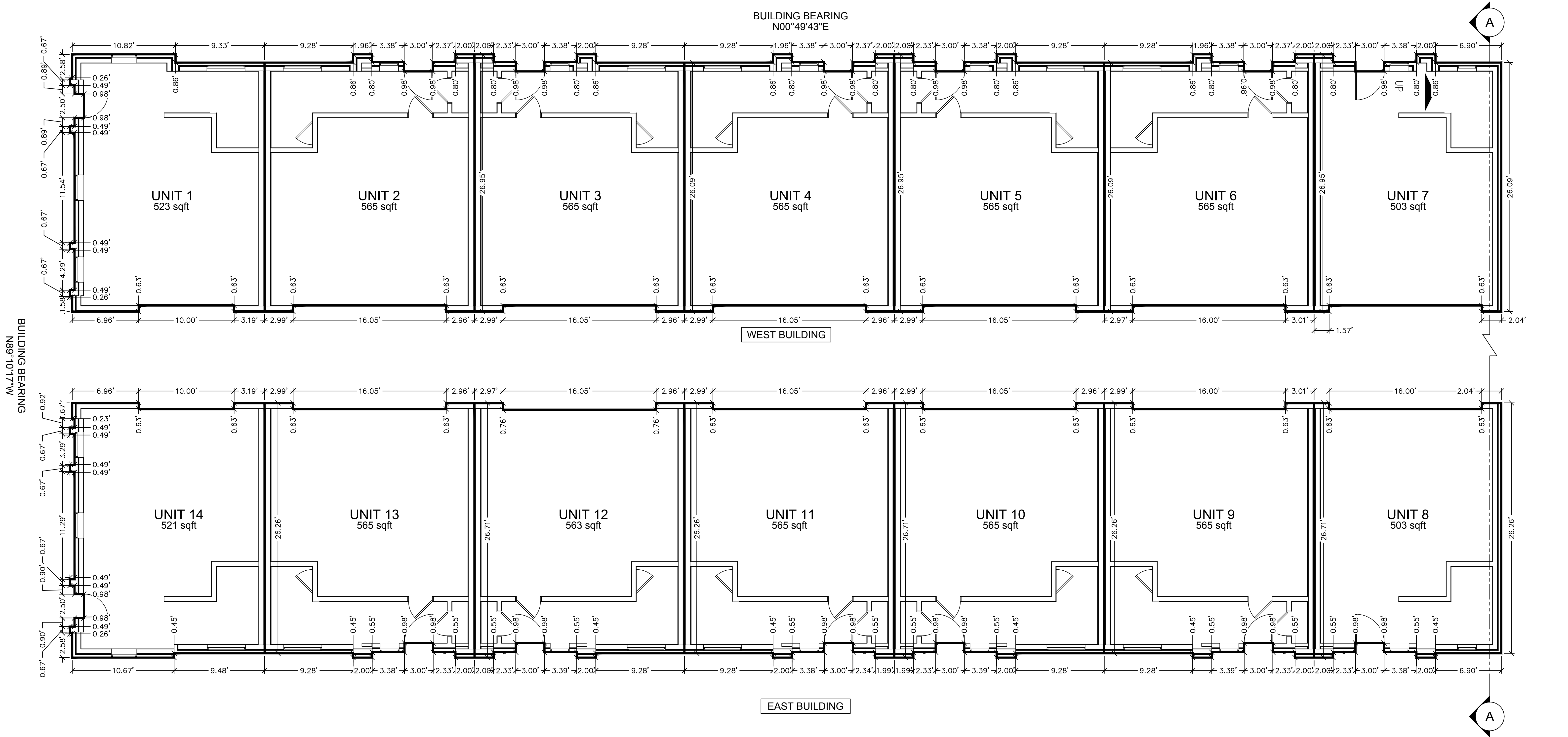
THE CITY COUNCIL OF HEBER CITY, COUNTY OF WASATCH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

MAYOR _____ DATE _____ RECORDER'S SEAL

THE EDGE

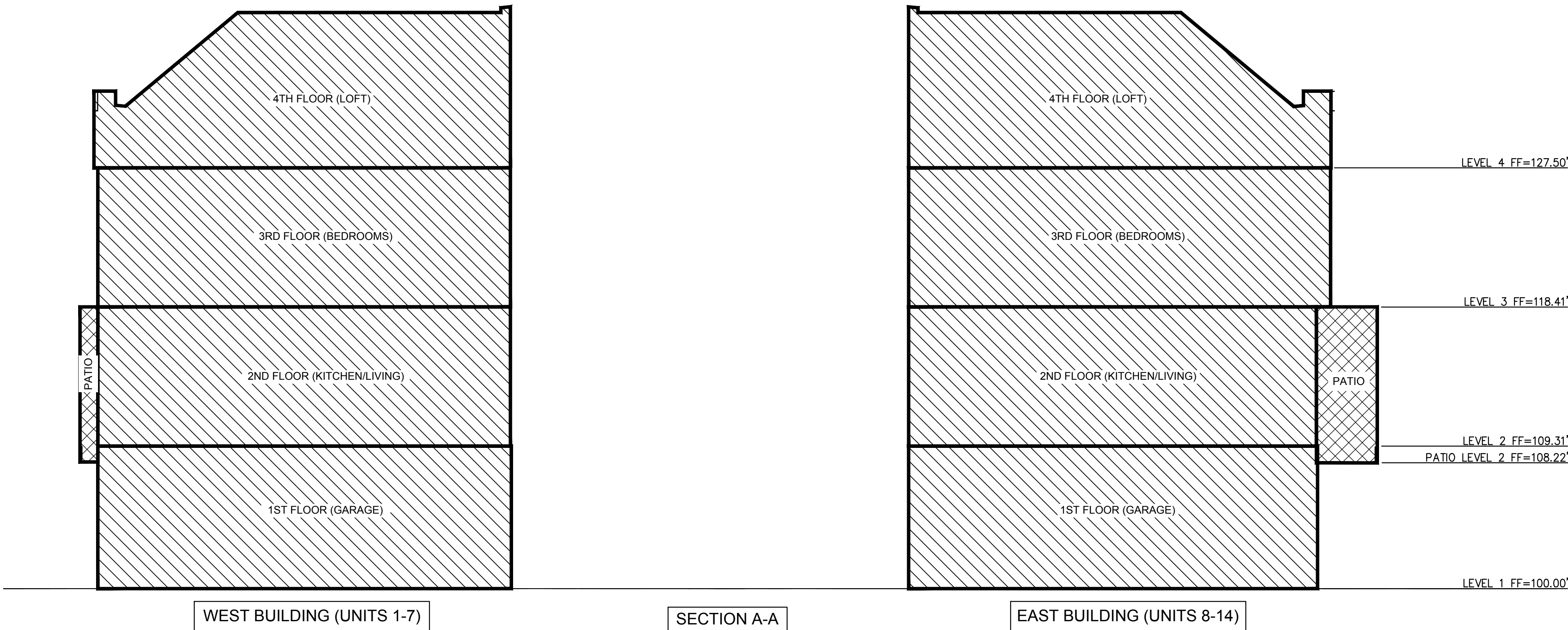
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 32 AND THE WEST HALF OF SECTION 32 TOWNSHIP 3 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.

SURVEYOR
TROY L TAYLOR, PLS
ELEMENT LAND SURVEYING
2296 SOUTH 270 EAST
HEBER CITY, UT 84032
PHONE (801) 657-8748
DATE OF SURVEY: JULY 2023



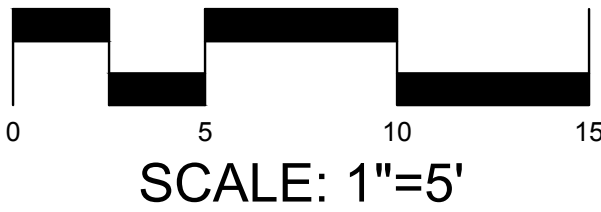
THE EDGE PLAT -- 31 JULY 2025

SURVEYOR
TROY L TAYLOR, PLS
ELEMENT LAND SURVEYING
2296 SOUTH 270 EAST
HEBER CITY, UT 84032
PHONE (801) 657-8748
DATE OF SURVEY: JULY 2023



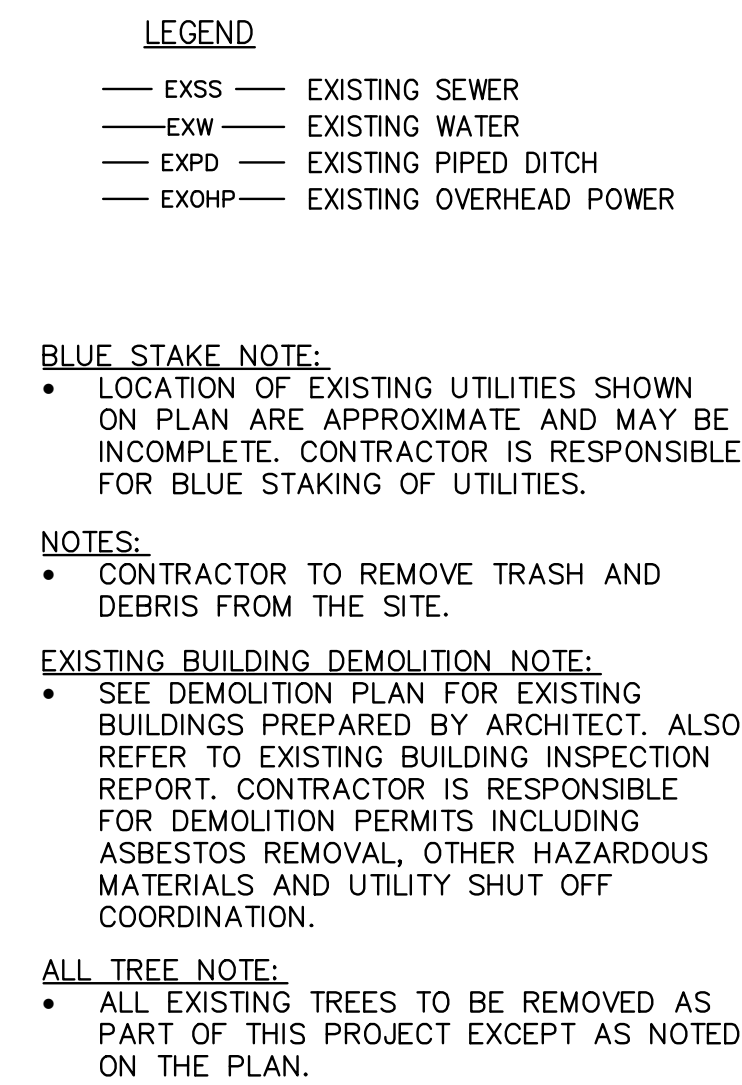
- NOTES:
1. PLANS AND DIMENSIONS SHOWN ON THIS PLAT WERE COMPILED FROM ARCHITECTURAL DRAWINGS PREPARED BY MINT ARCHITECTURE.
 2. ALL UNIT EXTERIOR DIMENSIONS ARE TO THE OUTSIDE WALL.
 3. ALL UNIT INTERIOR DIMENSIONS ARE WALL TO WALL.
 4. FOR COMPLETE DESCRIPTION OF OWNERSHIP COVENANTS, RESTRICTIONS AND CONDITIONS REFER TO THE EDGE RECIPROCAL EASEMENT AGREEMENT ENTRY _____, BOOK _____, PAGES _____.
 5. PRIVATE OWNERSHIP IS WALL TO WALL AND CEILING TO FLOOR. ALL WALLS ARE COMMON AREA. ALL FLOOR AND ROOF DECKS ARE COMMON.

LEGEND
LIMITED COMMON
PRIVATE AREA



THE EDGE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 32 AND THE WEST HALF OF SECTION 32 TOWNSHIP 3 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.
A SUBDIVISION IN _____ HEBER _____ CITY, WASATCH COUNTY, STATE OF UTAH
SCALE: 1" = .5 FEET



| | |
|--------------|------|
| RUSSELL FUNK | DATE |
|--------------|------|



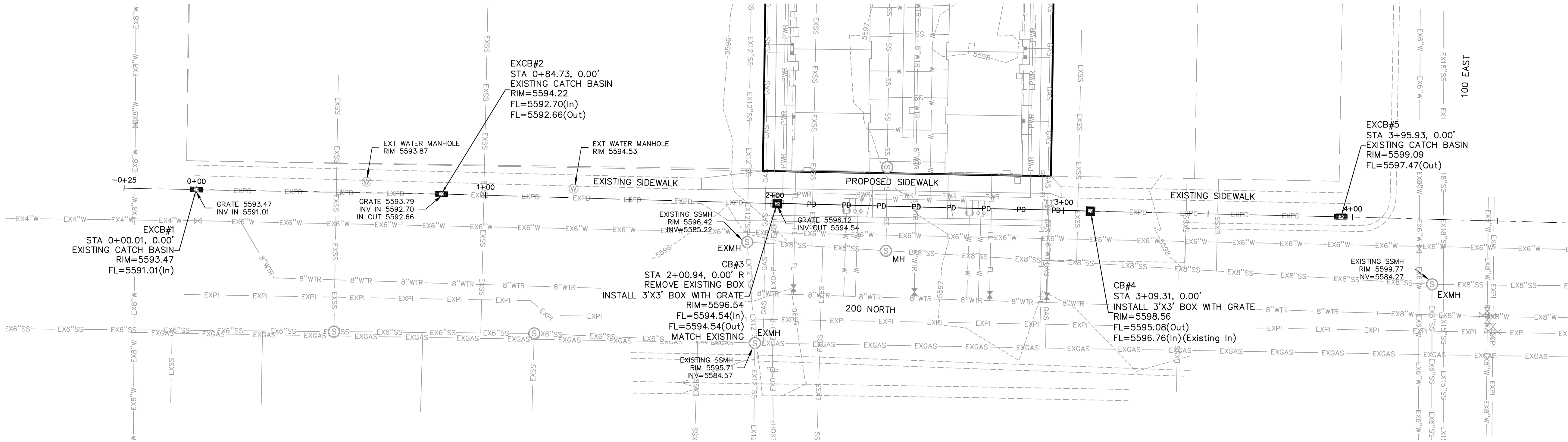
SCALE: 1"=20'
Scale 1" = 40' for 11x11'

200 NORTH LOFTS
THE EDGE

EXISTING CONDITIONS & DEMOLITION PLAN



| | | |
|---------------------------------|---------------------------|--------------|
| DESIGN BY: PDB DRAWN BY: DWA | DATE: 31 JUL 2025 REV: | SHEET C04 |
|---------------------------------|---------------------------|--------------|

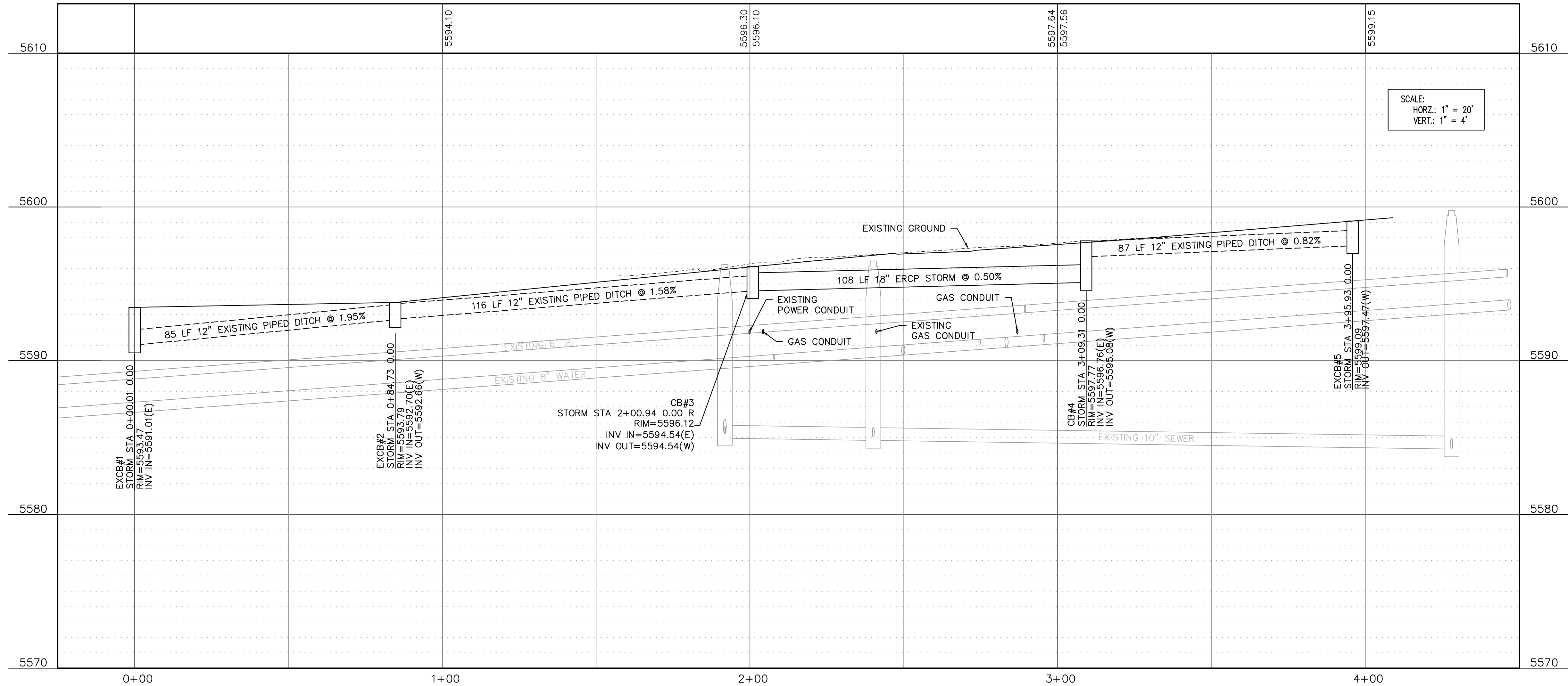


- LEGEND**
- EXSS — EXISTING SEWER
 - EXW — EXISTING WATER
 - EXPI — EXISTING PRESSURIZED IRRIGATION
 - EXPD — EXISTING PIPED DITCH
 - EXGAS — EXISTING GAS
 - GAS — PROPOSED GAS
 - CHP — EXISTING OVERHEAD POWER
 - PWR — PROPOSED POWER
 - PI — PROPOSED PRESSURIZED IRRIGATION
 - SS — PROPOSED SEWER
 - 8"WTR — PROPOSED WATER
 - PD — PROPOSED PIPED DITCH
 - MH — MANHOLE
 - EXMH — EXISTING MANHOLE

- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

- STORM DRAIN CONSTRUCTION NOTE:**
- ALL STORM DRAIN IMPROVEMENTS SHALL MEET HEBER CITY STANDARDS AND SPECIFICATIONS.

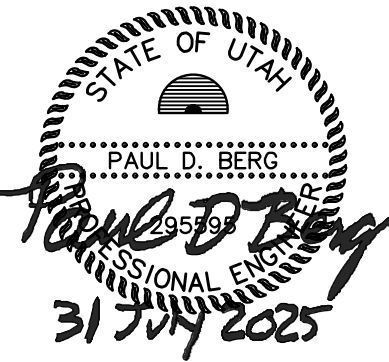
SEE SHEET C11 FOR A 3'X3' BOX DETAIL
INSTALL PIPED DITCH TRENCH PER HEBER CITY
DETAIL UTILITY-1



EXISTING GROUND
FINISHED GROUND

HEBER CITY ENGINEER ACCEPTANCE

RUSSELL FUNK DATE

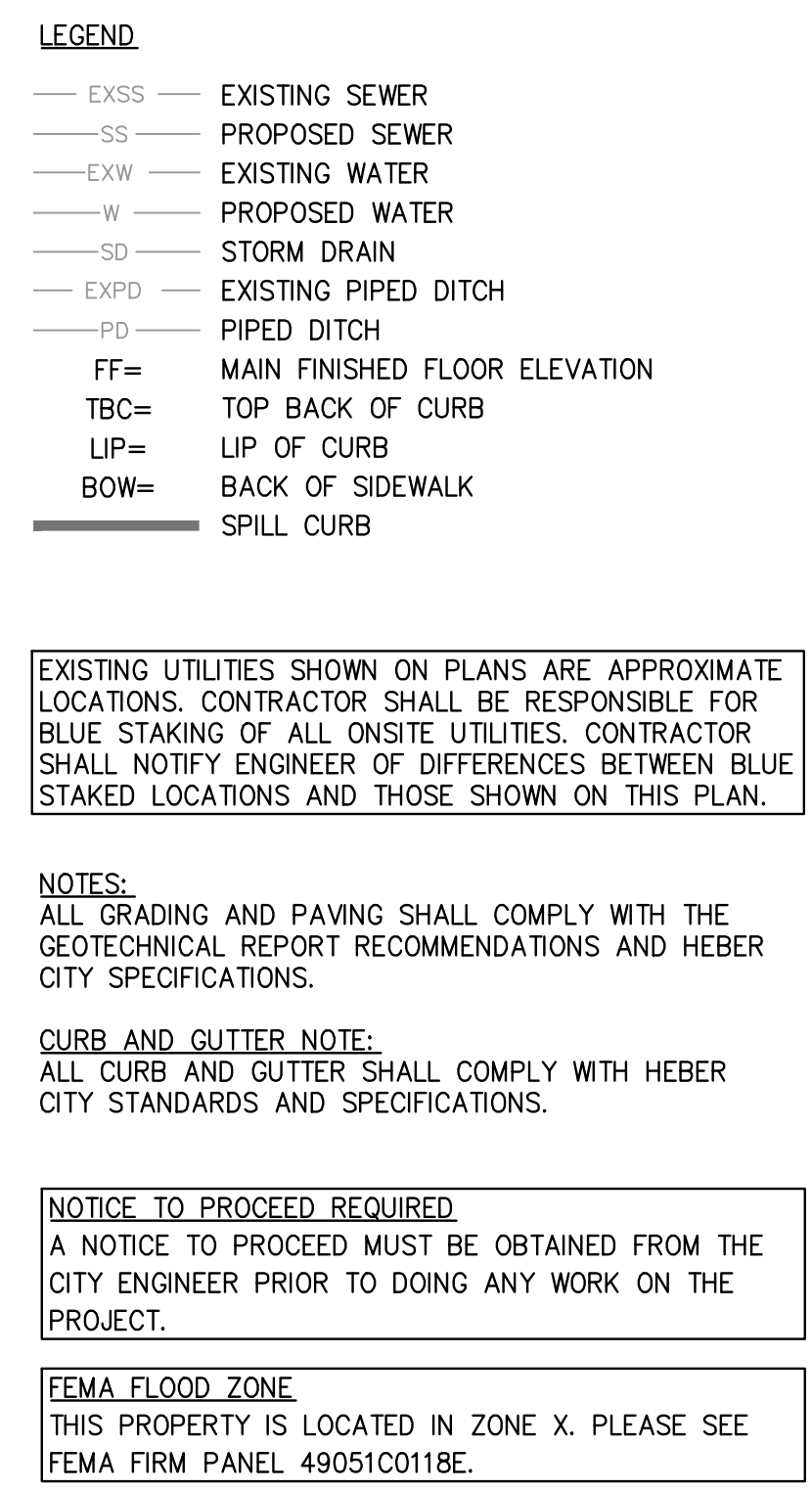


SCALE: 1"=20'
Scale 1" = 40' for 11x17

200 NORTH LOFTS LLC
THE EDGE
IMPACT TO IRRIGATION - 200 NORTH
PIPED DITCH PLAN & PROFILE



DESIGN BY: PDB DATE: 31 JUL 2025
DRAWN BY: DWA REV: SHEET C05



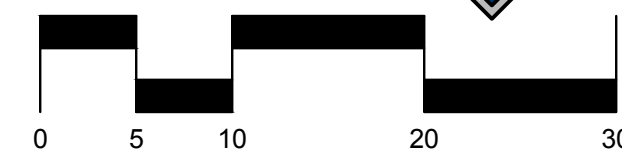
SPILL CURB & GUTTER

INSTALL SIDEWALKS PER HEBER
CITY DETAIL STREETS-4

PARKING LOT SECTION
ALL MATERIALS & INSTALLATION
TO HEBER CITY STANDARDS AND
SPECIFICATIONS

HEBER CITY ENGINEER ACCEPTANCE

RUSSELL FUNK DATE



SCALE: 1"=10'
Scale 1" = 20' for 11x17

200 NORTH LOFTS
THE EDGE

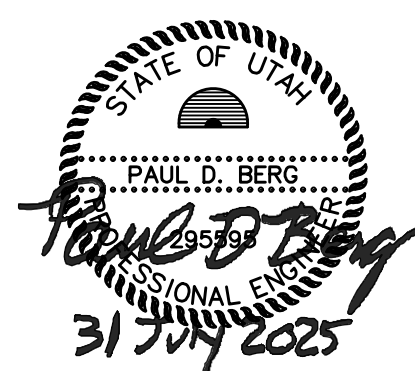
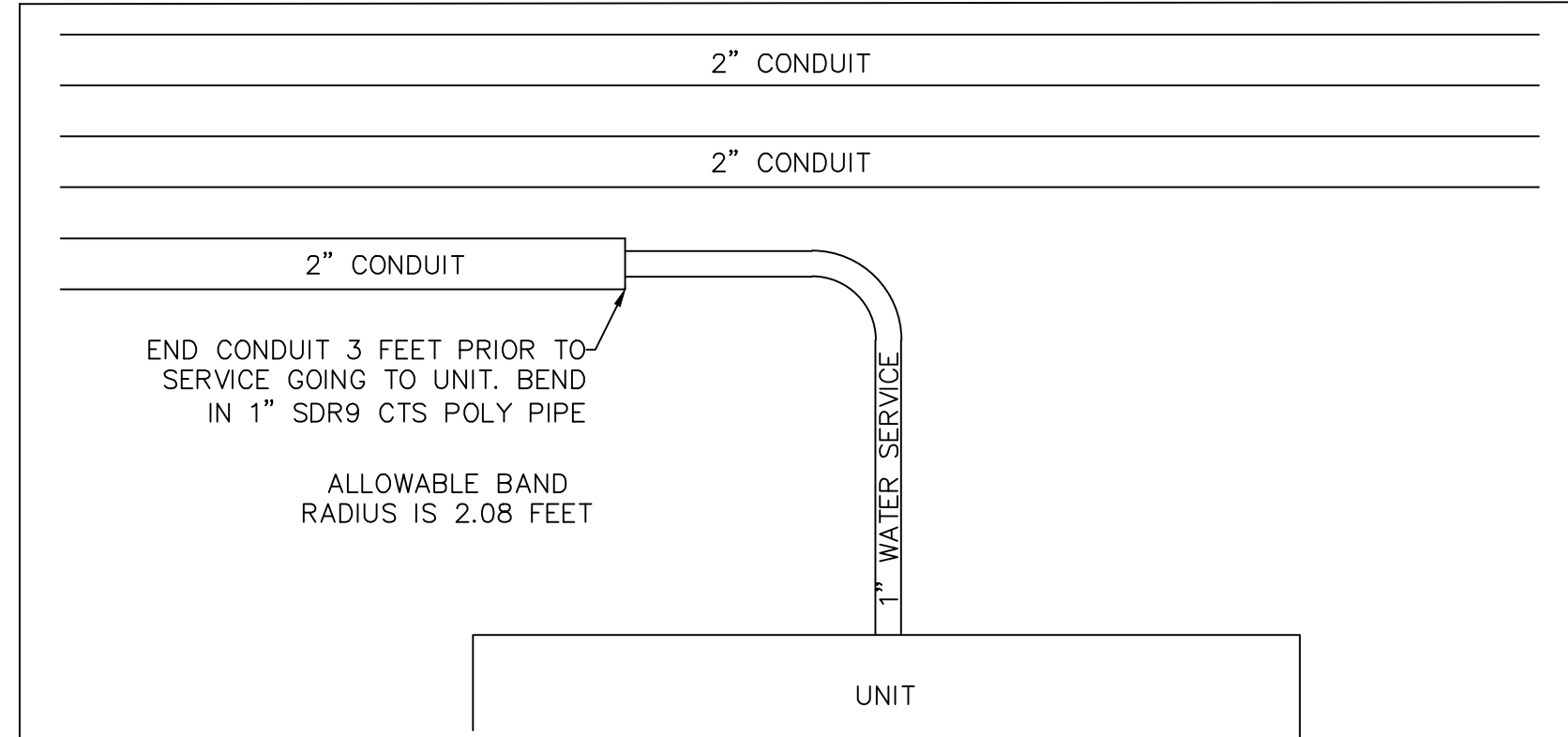
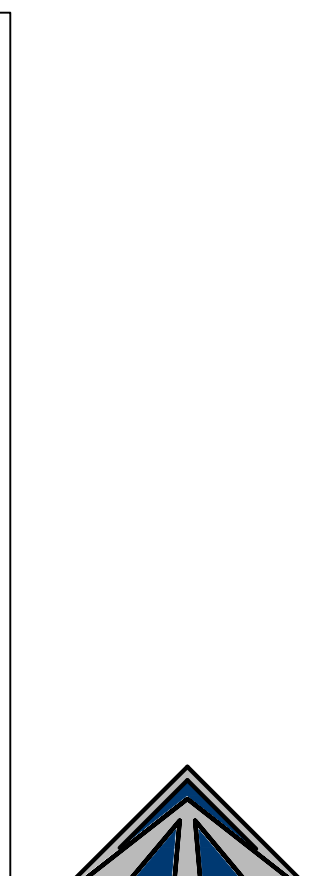
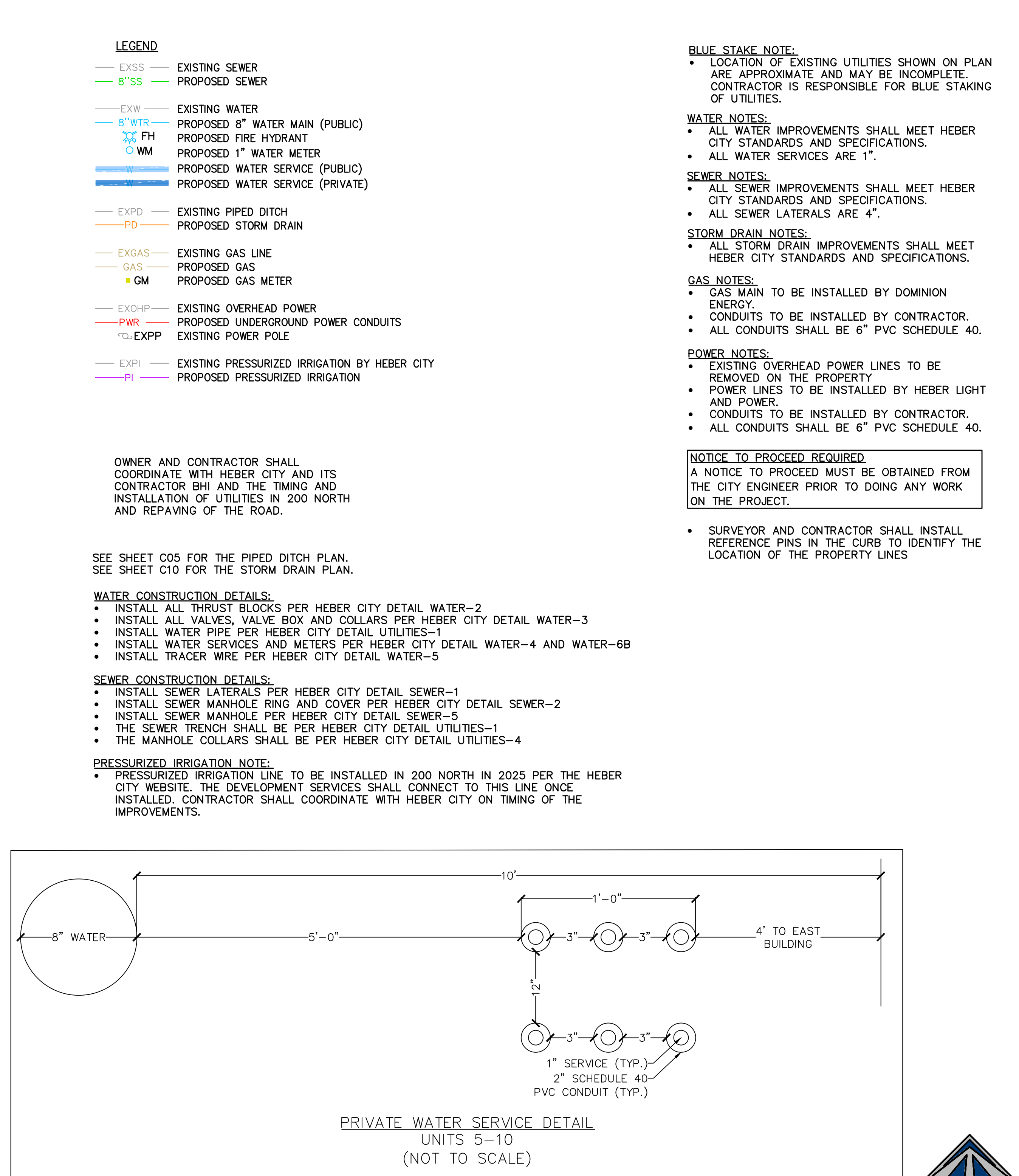
GRADING PLAN



DESIGN BY: PDB
DRAWN BY: DWA

DATE: 31 JUL 2025
REV:

SHEET
C0'




0 10 20 40 60

SCALE: 1"=20'
Scale 1" = 40' for 11x17

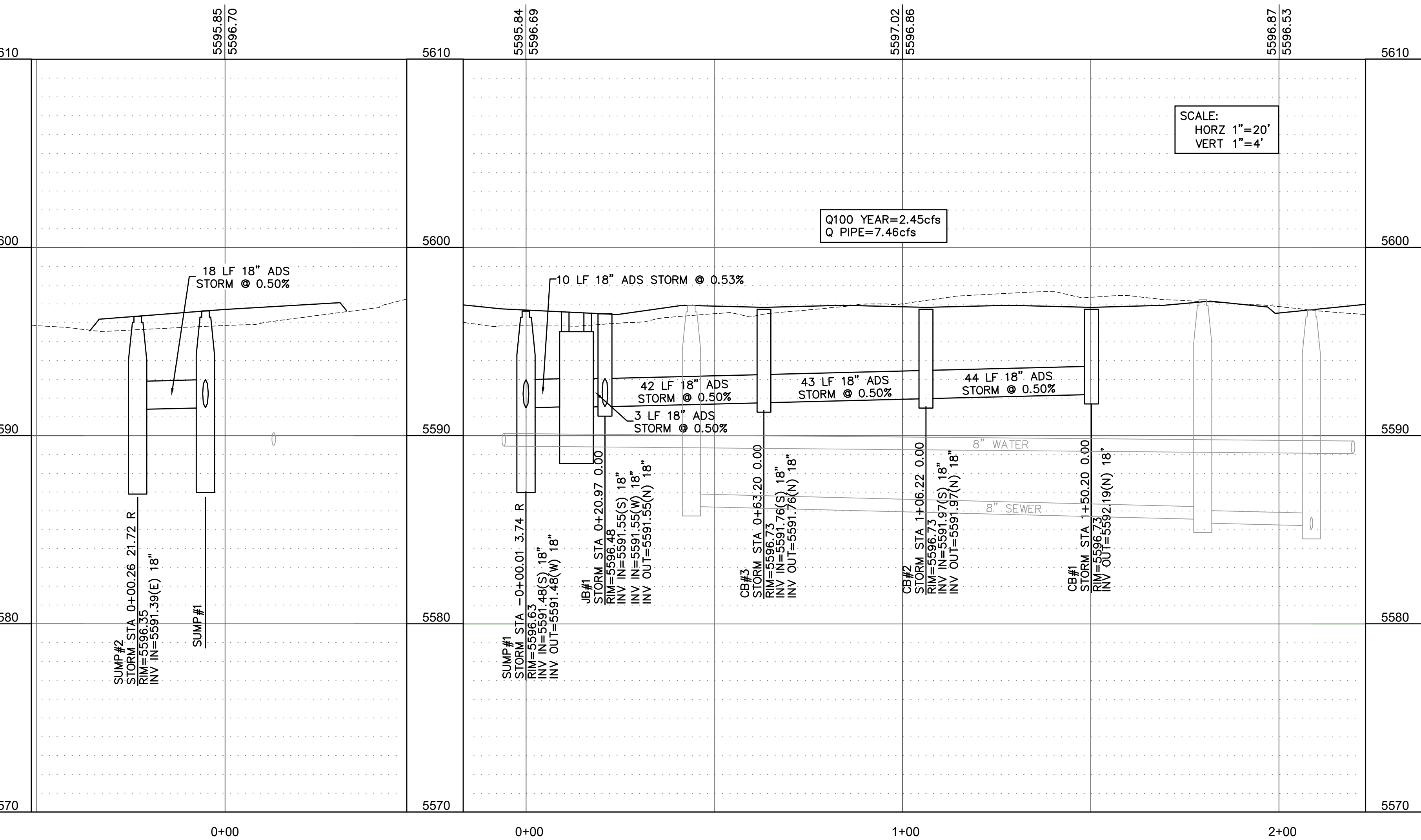
200 NORTH LOFTS LLC
THE EDGE

OVERALL UTILITY PLAN

 **ENGINEERING**
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

| | |
|----------------|-------------------|
| DESIGN BY: PDB | DATE: 31 JUL 2025 |
| DRAWN BY: DWA | REV: _____ |

SHEET
C08



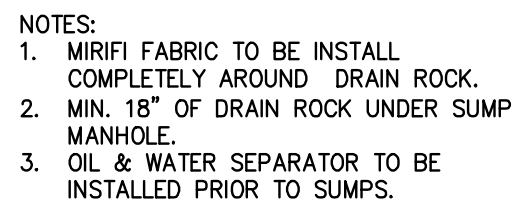
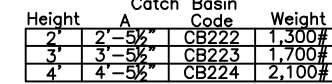
FEMA FLOOD ZONE
THIS PROPERTY IS LOCATED IN ZONE X. PLEASE
SEE FEMA FIRM PANEL 49051C0118E.

| Time Period (min) | 2 Year Rainfall Intensity (in/hr) | Drainage Area (acres) | Developed Runoff Coefficient | Peak Runoff Rate (cfs) | Total Runoff Volume (cu ft) |
|-------------------|-----------------------------------|-----------------------|------------------------------|------------------------|-----------------------------|
| 5 | 1.54 | 0.45 | 0.83 | 0.73 | 218 |
| 10 | 1.48 | 0.45 | 0.83 | 0.56 | 333 |
| 15 | 1.22 | 0.45 | 0.83 | 0.46 | 412 |
| 30 | 0.88 | 0.45 | 0.83 | 0.31 | 556 |
| 60 | 0.55 | 0.45 | 0.83 | 0.19 | 899 |
| 120 | 0.31 | 0.45 | 0.83 | 0.12 | 848 |
| 180 | 0.24 | 0.45 | 0.83 | 0.09 | 960 |
| 240 | 0.16 | 0.45 | 0.83 | 0.06 | 1,296 |
| 360 | 0.10 | 0.45 | 0.83 | 0.04 | 1,571 |
| 1440 | 0.08 | 0.45 | 0.83 | 0.02 | 1,879 |



BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

SHEET
C10



path: X:\Heber\Clark, Jeremy - Mint Townhomes\Final Townhomes_July 2024\
file name: 11_STORM_CUSTOM DETAILS.dwg | plot date: August 13, 2025



Blue Stakes of
UTAH 811
Bluestakes.org

200 NORTH LOFTS LLC
THE EDGE
STORM DRAIN CUSTOM
DETAILS



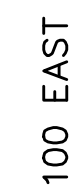
BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDE

DATE: 31 JUL 2025

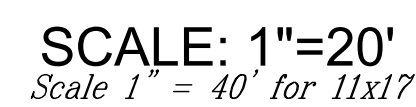
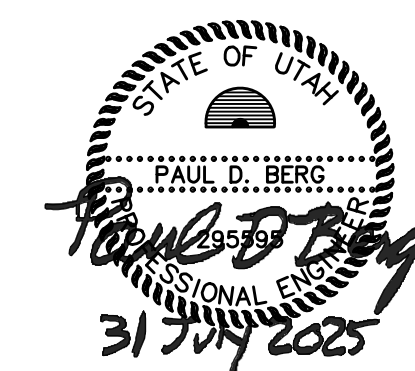
SHEET
C11

Page 64 of 81



SCALE: 1"=10'

STOP SIGN NOTE:
1. ALL STOP SIGNS SHALL
COMPLY WITH MUTCD
STANDARDS AND HEBER CITY
STREETS DETAIL-10



200 NORTH LOFTS LLC
THE EDGE

SIGNING & STRIPING PLAN



DESIGN BY: PDB
DRAWN BY: DWA

DATE: 31 JUL 2025
REV:

| | |
|--|-----|
| | SHE |
| | C1 |



SITE NOTES:

GENERAL

- OWNERS WILL VEGETATE, IRRIGATE, AND MAINTAIN THE AREA FROM THE EDGE OF ASPHALT TO THE PRIVATE AREA WITH PLANTS AND TREES SELECTED FROM THE APPROVED PLANT LIST.
- OWNERS ARE RESPONSIBLE TO PROVIDE ACCESS TO AND TO REPAIR DAMAGE THAT MAY OCCUR WITHIN THE PUE'S AND RIGHTS-OF-WAY BY ANY UTILITY COMPANY OR THE ASSOCIATION FOR ANY SERVICES, REPAIRS, OR MAINTENANCE INCLUDING SNOW REMOVAL.
- ALL WORK IS TO BE PERFORMED BY AN EXPERIENCED LANDSCAPE CONTRACTOR WITH NO LESS THAN FIVE(5) YEARS OF EXPERIENCE OF PROJECTS SIMILAR IN SCOPE AND SIZE.
- THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION. ALL UTILITIES MUST BE CLEARLY MARKED. BEFORE EXCAVATION ALL UTILITIES ARE TO BE POT-HOLED BY HAND OR EQUIPMENT IN A MANNER THAT DOES NOT CAUSE DAMAGE.
- UTILITY SETBACKS:
WATER & SEWER LINES - 10 FEET
GAS LINES - 4 FEET
FIRE HYDRANTS- 5 FEET (LIMIT PLANT HEIGHT TO 8")
- CONTRACTOR TO VERIFY ALL PLANT LOCATIONS AND QUANTITY BEFORE INSTALLATION. IF DISCREPANCIES BETWEEN PLAN AND PLANTING SCHEDULE EXIST, PLAN TAKES PRECEDENCE OVER PLANTING SCHEDULE.
- ANY FIELD ADJUSTMENTS TO PLANT LOCATIONS SHALL BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ANY PLANT LOCATION ADJUSTMENTS OR SUBSTITUTIONS SHALL BE APPROVED BY THE CITY PLANNING OFFICE PRIOR TO ANY CHANGE FROM THE APPROVED LANDSCAPE PLAN.
- THE WARRANTY PERIOD UNLESS STATED OTHERWISE WILL BE ONE YEAR AFTER SUBSTANTIAL COMPLETION. ALL LANDSCAPE MATERIAL DAMAGED OR DEAD DUE TO INSTALLATION METHODS WILL BE REPLACED AT OWNER'S DISCRETION.

LANDSCAPE NOTES:

PLANTING

- ALL TREES IN TURF AREAS ARE TO BE PLANTED WITH SPECIFIED WOOD MULCH AT A DEPTH OF 4". NO WEED BARRIER FABRIC UNDER CEDAR MULCH.
- STAKE ALL TREES WITH 6" TREATED PINE POSTS. USE GUY WIRES WITH NON-STRETCH NYLON PROTECTIVE STRAPS AROUND TRUNK.
3 STAKES PER DECIDUOUS TREE
3 STAKES PER EVERGREEN TREE
- ALL PLANTING PITS ARE TO BE CLEARED OF ALL ROCK, SUB BASE MATERIAL, AND DEBRIS. AMENDED TOPSOIL TO BE INSTALLED WITHIN, PER DETAIL.
- NO FINAL GRADES CAUSING DRAINAGE AWAY FROM CURBS, DESIGNATED DRAINAGE INLETS, OR STAGNATE WATER WILL BE ALLOWED.
- PLACE 4" CORRUGATED PIPE AROUND ALL TREE TRUNKS. TOP OF THE PIPE MUST BE 4" MIN. FROM THE LOWEST BRANCH.
- ALL TREES TO BE BALLED & BURLAP WITH SIZES AND SPECIES TRUE TO THE PLANT LEGEND.
- PLANT SUBSTITUTIONS SHALL BE REQUESTED IN WRITING AND APPROVED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION BY OWNER.
- ALL PLANTING MATERIAL SHALL BE APPROVED AND INSPECTED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TREE AND SHRUB TAGS SHALL BE LEFT ON PLANTS UNTIL INSPECTED.
- LANDSCAPE CONTRACTOR IS TO COORDINATE SCHEDULE IN A MANNER THAT ALLOWS PLANTING MATERIAL TO BE INSTALLED IN A TIMELY MANNER. IF TEMPORARY STORAGE IS NECESSARY, CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FROM WEATHER AND HEAT. REGULAR WATERING IS REQUIRED UNTIL INSTALLATION.
- NO OPEN PLANTING PITS SHALL BE LEFT OPEN OR UNATTENDED.
- THE PLANT SCHEDULE IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES AND LOCATIONS SHOWN ON THE LANDSCAPE PLAN.
- ALL PLANTING MATERIAL SHALL COMPLY TO THE STANDARDS OF ANSI FOR NURSERY STOCK.
- GROUND COVERS/MULCHES
- THE FINAL GRADE IN TURF AREAS ARE TO BE 1" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN SOD.
- THE FINAL GRADE IN ALL MULCHED AREAS ARE TO BE 3" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN MULCH.
- ROCK MULCH AREAS ARE TO HAVE WEED BARRIER FABRIC INSTALLED UNDERNEATH. DEPTH OF ROCK MULCH SHALL BE 4" MINIMUM & OBTAINED FROM A LOCAL SUPPLIER. OWNER TO APPROVE PROVIDED SAMPLE BEFORE INSTALLATION.
- WEED BARRIER FABRIC IS TO BE DEWITT PRO 5.5 OR APPROVED EQUAL. SECURE FABRIC WITH COMMERCIAL GRADE FABRIC PINS, 6" LONG BY 1" WIDE. LAY FABRIC PARALLEL TO FINAL GRADE WITH 6" OVERLAPS BETWEEN SECTIONS.
- WOOD MULCH AREAS DO NOT REQUIRE WEED BARRIER FABRIC. DEPTH OF CEDAR MULCH SHALL BE 4" MINIMUM & OBTAINED FROM A LOCAL SUPPLIER. OWNER TO APPROVE PROVIDED SAMPLE BEFORE INSTALLATION.

TURF

- REFER TO LANDSCAPE PLAN AND SCHEDULE FOR ALL TURF AREAS. TURF SHALL BE AN IMPROVED KENTUCKY BLUEGRASS VARIETY WITH AT LEAST THREE VARIETIES.
- CONTRACTOR TO SUBMIT PRODUCT INFORMATION TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LAY TURF WITHIN 24 HOURS OF DELIVERY. PRIOR TO INSTALLATION THE CONTRACTOR SHALL HAVE THE IRRIGATION SYSTEM FULLY OPERATIONAL.
- TURF SHALL BE FREE OF NOXIOUS WEEDS AND IN HEALTHY CONDITION. ALL DEBRIS 1 INCH OR GREATER SHALL BE REMOVED.
- ON FINAL GRADES 3:1 OR GREATER, CONTRACTOR TO STABILIZE ROLLS WITH WOOD PEGS OR SOD STAPLES. TURF TO BE LAID PARALLEL TO SLOPE, STAGGER ROLLS WITH NO OVERLAPPING OR GAPS.
- AFTER TURF IS INSTALLED, ALL AREAS ARE TO BE IMMEDIATELY IRRIGATED.
- CONTRACTOR TO ERECT FENCING OR WARNING TAP AROUND TURF AREAS TO DETER FOOT TRAFFIC DURING THE ENTIRETY OF THE WARRANTY PERIOD OR UNTIL SOD IS COMPLETELY ESTABLISHED.
- SOIL PREPARATION & EROSION CONTROL
- AREAS RECEIVING PLANT MATERIAL SHALL BE AMENDED WITH COMMERCIAL GRADE CLASS II COMPOST.
- COMPOST SHALL BE SPREAD AT A RATE OF 3 CY / 1000 SQ FT IN PLANTING BEDS AND TURF AREAS, 2 CY / 1000 SQ FT IN SEEDED AREAS. TILL COMPOST INTO TOPSOIL AT A DEPTH OF 6 INCHES.
- CLEAR SOIL OF ALL ROCK, BRANCHES OR MISC. DEBRIS OVER 1 INCH IN SIZE.
- FERTILIZER
- SOD - COMMERCIAL GRADE (NPK: 18-46-0) APPLICATION RATE: 10LBS / 1000 SQ FT
- SEED - COMMERCIAL GRADE (NPK: 18-46-0) APPLICATION RATE: 10LBS / 1000 SQ FT
- PLANTS - BIOSOLE FORTE (NPK: 7-2-1)

PLANT SCHEDULE

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL |
|--------|-----|----------------|-------------|------|-----|
|--------|-----|----------------|-------------|------|-----|

DECIDUOUS TREES

| | | | | | |
|--|---|--|------------------------|-----|--------|
| | 6 | POPULUS TREMULOIDES ERECTA 40'H X 10"W Z2 YELLOW FALL COLOR COLUMNAR | SWEDISH ASPEN | B&B | 2" CAL |
| | 2 | PRUNUS VIRGINIANA 'CANADA RED' 25'H X 25"W Z2 WHITE BLOOM PURPLE FOLIAGE ORANGE FALL COLOR | CANADA RED CHOKECHERRY | B&B | 2" CAL |

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | CONT |
|--------|-----|----------------|-------------|------|
|--------|-----|----------------|-------------|------|

DECIDUOUS SHRUBS

| | | | | |
|--|----|---|---------------------------------|-------|
| | 24 | CORNUS ALBA 'JEFREB' 4'H X 4"W Z2 WHITE BLOOM LATE SPRING TO EARLY SUMMER | LITTLE REBEL® TATARIAN DOGWOOD | 5 GAL |
| | 21 | FORSYTHIA X INTERMEDIA 'KOLGOLD' 5'H X 4'W Z5 YELLOW BLOOM EARLY SPRING | MAGICAL GOLD FORSYTHIA | 5 GAL |
| | 12 | HYDRANGAEA PANICULATA 'NCHP1' 5'H X 5'W Z3 WHITE BLOOMS EARLY SUMMER TO EARLY FALL | PUFFER FISH® PANICLE HYDRANGAEA | 5 GAL |
| | 23 | HYDRANGAEA PANICULATA 'SMNHPSB' 3'H X 3'W Z3 LATE SUMMER WHITE BLOOM | TINY QUICK FIRE™ HYDRANGAEA | 5 GAL |
| | 9 | POTENTILLA FRUTICOSA 4'H X 5'W Z3 YELLOW BLOOM JUNE TO SEPTEMBER | BUSH CINQUEFOIL | 5 GAL |
| | 17 | RHAMNUS FRANGULA 'FINE LINE' 7'H X 3'W Z2 | FINE LINE BUCHTHORN | 5 GAL |
| | 9 | RHAMNUS FRANGULA COLUMNARIS 15'H X 4'W Z2 | TALLHEDGE BUCKTHORN | 5 GAL |
| | 6 | SPIRAEA PRUNIFOLIA 'BRIDALWREATH' 6'H X 6'W Z5 WHITE BLOOM MAY | BRIDAL WREATH SPIREA | 5 GAL |

ORNAMENTAL GRASSES

| | | | | |
|--|---|--|--------------------|-------|
| | 9 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' 5'H X 3'W Z3 | FEATHER REED GRASS | 1 GAL |
|--|---|--|--------------------|-------|

PERENNIALS

| | | | | |
|--|----|--|------------------|-------|
| | 9 | PEROVSKIA ATRIPLICIFOLIA 'FILIGRAN' 4'H X 3'W Z5 PURPLE BLOOM MAY TO JUNE | RUSSIAN SAGE | 1 GAL |
| | 11 | RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' 3'H X 2'W Z3 YELLOW BLOOM JUNE TO SEPTEMBER | BLACK-EYED SUSAN | 1 GAL |

PERENNIALS/GROUNDCOVERS

| | | | | |
|--|----|---|-------------------------|-------|
| | 11 | PHLOX SUBULATA 'EMERALD BLUE' 6"H X 24"W Z2 PURPLE BLOOM LATE SPRING | EMERALD BLUE MOSS PHLOX | 1 GAL |
|--|----|---|-------------------------|-------|

GROUND COVERS

| | | | | |
|--|--------|---------------|--------------------|-----|
| | 664 SF | POA PRATENSIS | KENTUCKY BLUEGRASS | SOD |
|--|--------|---------------|--------------------|-----|

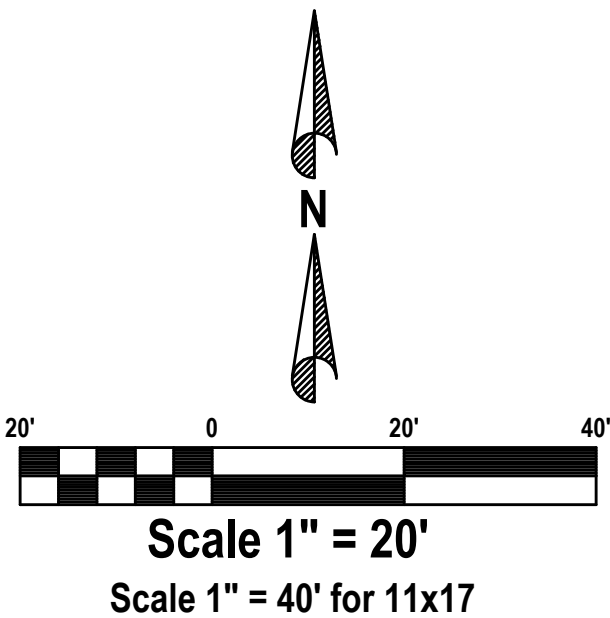
MULCH

| | | | | |
|--|----------|-----------------------|--|-------|
| | 2,773 SF | WASHED LANDSCAPE ROCK | 2-4" COBBLE ROCK WIDEWITT PRO-5 WEED BARRIER | MULCH |
|--|----------|-----------------------|--|-------|

HEBER CITY LANDSCAPE REQUIREMENTS PER SECTION 17.38.040 AND 18.76.030 OF CODE:

- TREES TO BE 2" CALIPER.
- TREES IN GRASS TO HAVE A GRASS-FREE RING AROUND TRUNK.
- LANDSCAPED AREAS LESS THAN 8' WIDE TO BE XERISCAPE DESIGN.

| LANDSCAPE CALCULATIONS | | | |
|--|-----------|-------------------------|----------|
| ON-SITE | | OFF-SITE (RIGHT OF WAY) | |
| TOTAL AREA | 19,781 SF | TOTAL AREA | N/A |
| BUILDING AREA | 8,039 SF | BUILDING AREA | 00 SF |
| HARD SURFACE AREA | 8,961 SF | HARD SURFACE AREA | 1,179 SF |
| REMAINING SITE AREA (LANDSCAPED AREA) | 2,780 SF | LANDSCAPED AREA | 664 SF |
| TOTAL LANDSCAPED AREA | | 556 SF (20%) | |
| REQUIRED TO BE PLANTER BEDS | | 2,780 SF (100%) | |
| PROVIDED PLANTER BEDS | | 2,773 SF (100%) | |
| REQUIRED TO BE COVERED IN VEGETATION | | 1,112 SF (40%) | |
| PROVIDED COVERED IN VEGETATION | | 1,682 SF (61%) | |
| MAXIMUM TURF IN FRONT YARD | | 556 SF (20%) | |
| PROVIDED TURF IN FRONT YARD | | 0 SF (00%) | |
| *FRONT YARD DEFINITION FROM SECTION 18.08.630 OF HEBER CITY CODE | | | |



200 NORTH LOFTS LLC
THE EDGE

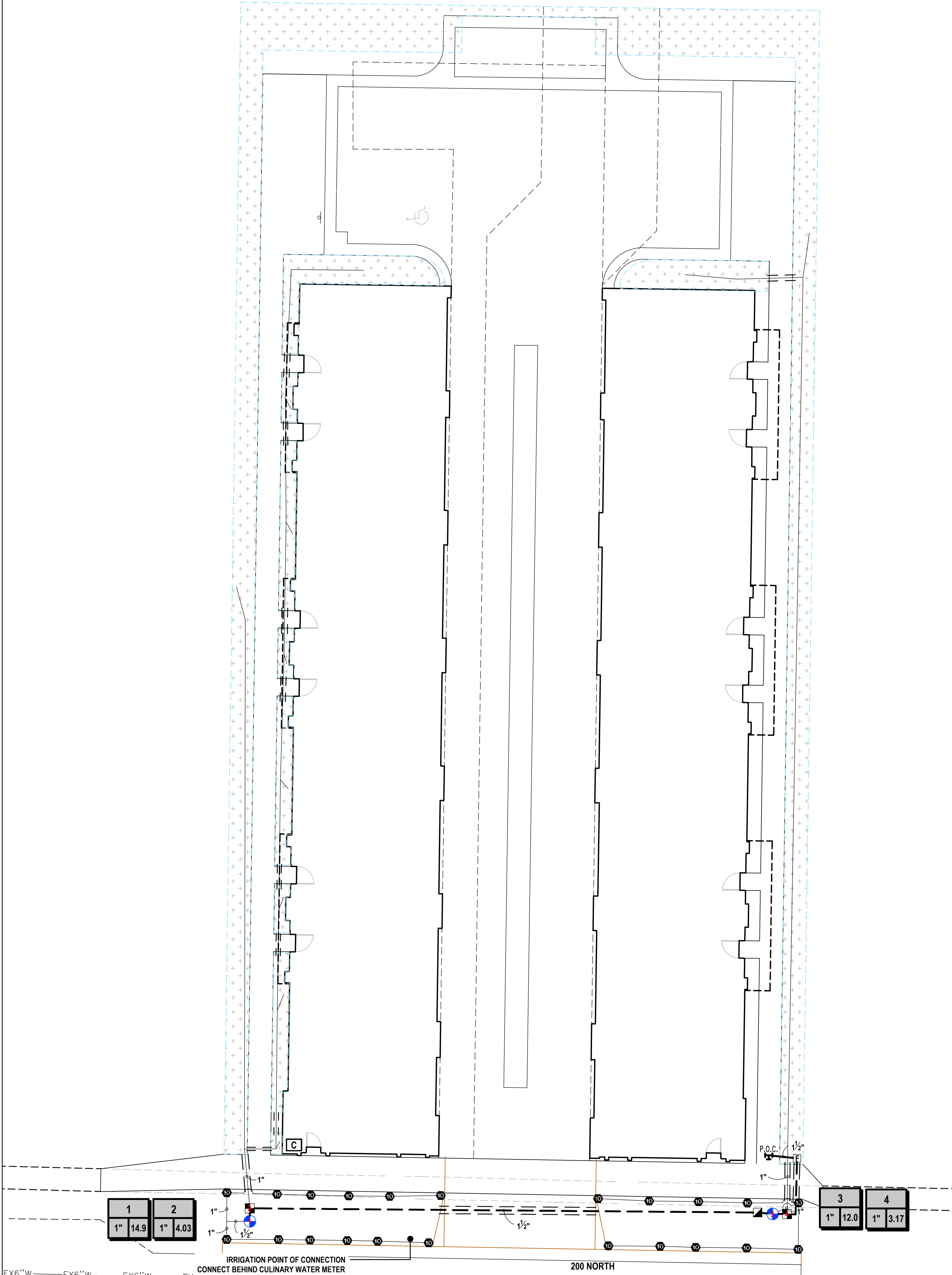
LANDSCAPE SITE PLAN

380 E Main St, Suite 204
Midway, Ut 84049 ph. (801) 723-2000

DESIGN BY: DAA
CHECKED BY: BMN

DATE: 31 JUL 2025
REV: 00

SHEET
L01



IRRIGATION NOTES:

- ALL LANDSCAPE AREAS TO RECEIVE IRRIGATION BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. ALL TREES AND SHRUB BEDS TO BE DRIP IRRIGATED, ALL SOD TO BE IRRIGATED WITH SPRAY AND ROTOR HEADS.
- THE IRRIGATION SYSTEM IS TO BE INSTALLED BY THE LANDSCAPE CONTRACTOR. CONTRACTOR TO VERIFY LOCATION OF POINT OF CONNECTION, AND STATIC PRESSURE OF SYSTEM BEFORE INSTALLATION.
- TREES PLANTED IN ROCK MULCHED AREAS SHOULD HAVE DRIP IRRIGATION WITH A MINIMUM OF 3 EMITTERS OR BUBBLERS PLACED ON OPPOSITE SIDES OF THE STEM OR DRIP TUBING RINGS (PREFERRED) WITH A MINIMUM OF 4 IN-LINE EMITTERS. ALL EMITTERS SHOULD BE PLACED ON TOP OF THE ROOT, AT THE PERIMETER OF THE AMENDED SOIL AREA.

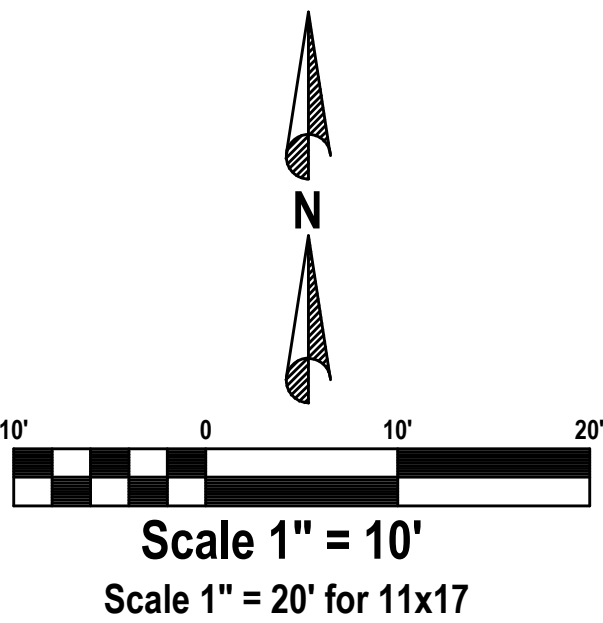
IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | PSI |
|--------|---|----------|-----|
| | RAIN BIRD 1804 ADJ TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. | 22 | 30 |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | |
| | RAIN BIRD XCB-100-PRF 1" LOW FLOW DRIP CONTROL KIT, 1" LOW FLOW VALVE, 3/4" PRESSURE REGULATING RBY FILTER, AND 30PSI PRESSURE REGULATOR. 0.2GPM-5GPM. | 2 | |
| | AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 0.5 GPH emitters (3 assigned to each B&B, 1" Cal plant) 0.5 GPH emitters (1 assigned to each 1 gal plant) 0.5 GPH emitters (1 assigned to each 1 GAL plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (3 assigned to each B&B, 5-7' plant) 2.0 GPH emitters (3 assigned to each B&B, 6' plant) 2.0 GPH emitters (3 assigned to each B & B, 8-10' plant) 2.0 GPH emitters (3 assigned to each B & B, 1" Cal plant) 2.0 GPH emitters (3 assigned to each B & B, 5-7' plant) 2.0 GPH emitters (3 assigned to each B&B, 2" Cal plant) 2.0 GPH emitters (3 assigned to each B&B, 1.5" Cal plant) 2.0 GPH emitters (3 assigned to each B&B, 8-10' plant) | 2,780 SF | |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | |
| | RAIN BIRD PEB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. | 2 | |
| | RAIN BIRD 44-RC 1" 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY. | 1 | |
| | RAIN BIRD RZX8 8 STATION CONTROLLER, OUTDOOR. | 1 | |
| | AMIAD 1-S-DISC ELEMENT 250MM AMIAD 1" SUPER MANUAL PLASTIC FILTER, DISC ELEMENT, ENGINEERED-PLASTIC MATERIAL, MAXIMUM WORKING PRESSURE 145PSI. | 1 | |
| | IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1" | 646.9 LF | |
| | IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2" | 4.0 LF | |
| | IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2" | 110.8 LF | |
| | PIPE SLEEVE: PVC SCHEDULE 80 | 84.8 LF | |

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
|--------|--|----------|
| | RAIN BIRD PEB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. | 2 |
| | RAIN BIRD 44-RC 1" 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY. | 1 |
| | RAIN BIRD RZX8 8 STATION CONTROLLER, OUTDOOR. | 1 |
| | AMIAD 1-S-DISC ELEMENT 250MM AMIAD 1" SUPER MANUAL PLASTIC FILTER, DISC ELEMENT, ENGINEERED-PLASTIC MATERIAL, MAXIMUM WORKING PRESSURE 145PSI. | 1 |
| | IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1" | 646.9 LF |
| | IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2" | 4.0 LF |
| | IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2" | 110.8 LF |
| | PIPE SLEEVE: PVC SCHEDULE 80 | 84.8 LF |
| | Valve Callout | |
| | Valve Number | |
| | Valve Flow | |
| | Valve Size | |

CRITICAL ANALYSIS

| | |
|------------------------------------|------------------|
| Generated: | 2025-03-26 14:01 |
| P.O.C. NUMBER: 01 | |
| Water Source Information: | |
| FLOW AVAILABLE | |
| Point of Connection Size: | 1" |
| Flow Available | 19.62 GPM |
| PRESSURE AVAILABLE | |
| Static Pressure at POC: | 70 PSI |
| Pressure Available: | 70 PSI |
| DESIGN ANALYSIS | |
| Maximum Station Flow: | 14.92 GPM |
| Flow Available at POC: | 19.62 GPM |
| Residual Flow Available: | 4.69 GPM |
| Critical Station: | 1 |
| Design Pressure: | 30 PSI |
| Friction Loss: | 0.3 PSI |
| Fittings Loss: | 0.03 PSI |
| Elevation Loss: | 0 PSI |
| Loss through Valve: | 2.34 PSI |
| Pressure Req. at Critical Station: | 32.7 PSI |
| Loss for Fittings: | 0 PSI |
| Loss for Main Line: | 0.71 PSI |
| Loss for POC to Valve Elevation: | 0 PSI |
| Loss for Backflow: | 0 PSI |
| Critical Station Pressure at POC: | 33.4 PSI |
| Pressure Available: | 70 PSI |
| Residual Pressure Available: | 36.6 PSI |



31 JULY 2025

200 NORTH LOFTS LLC
THE EDGE

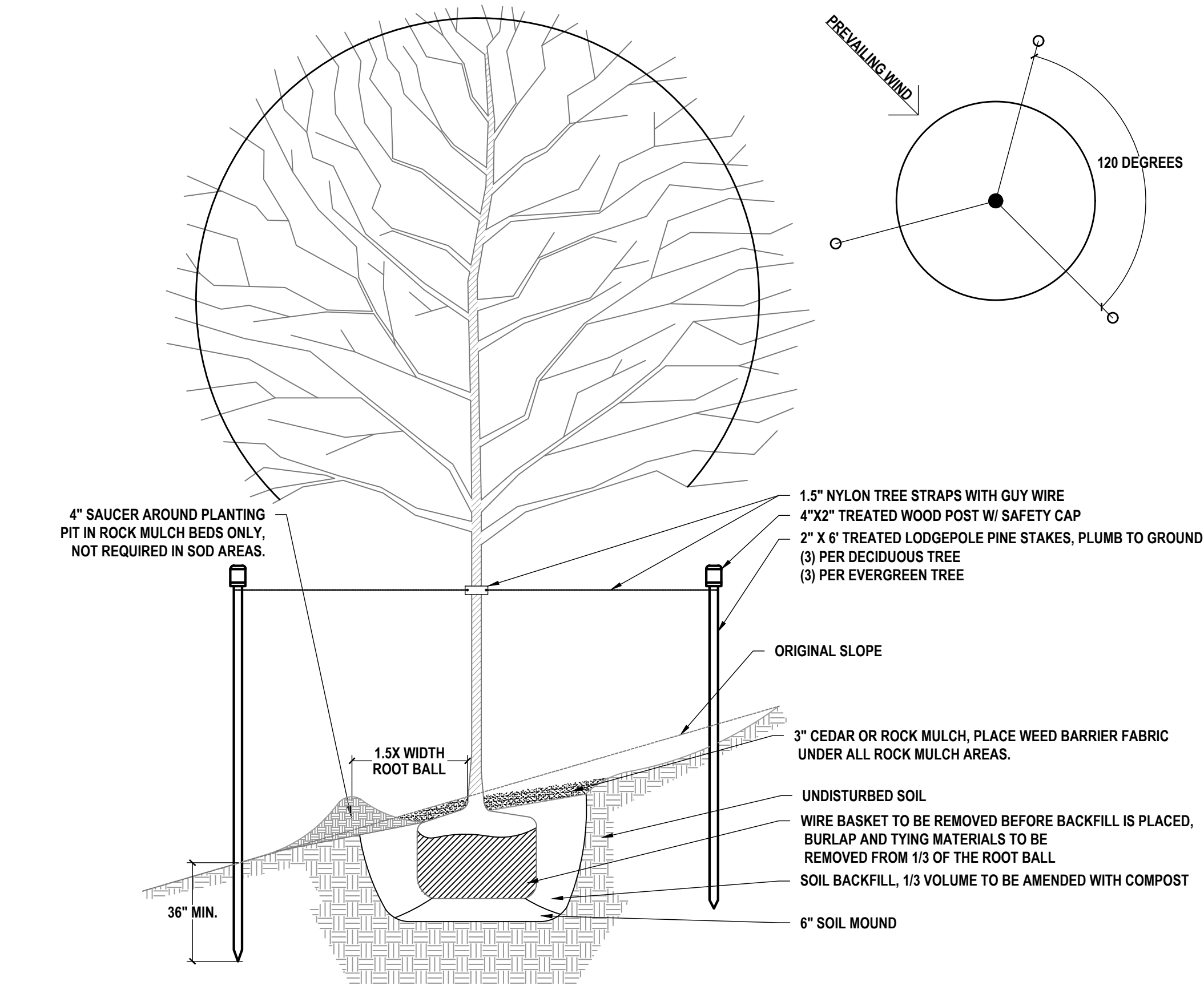
IRRIGATION PLAN

380 E Main St, Suite 204
Midway, Ut 84049 ph. (801) 723-2000

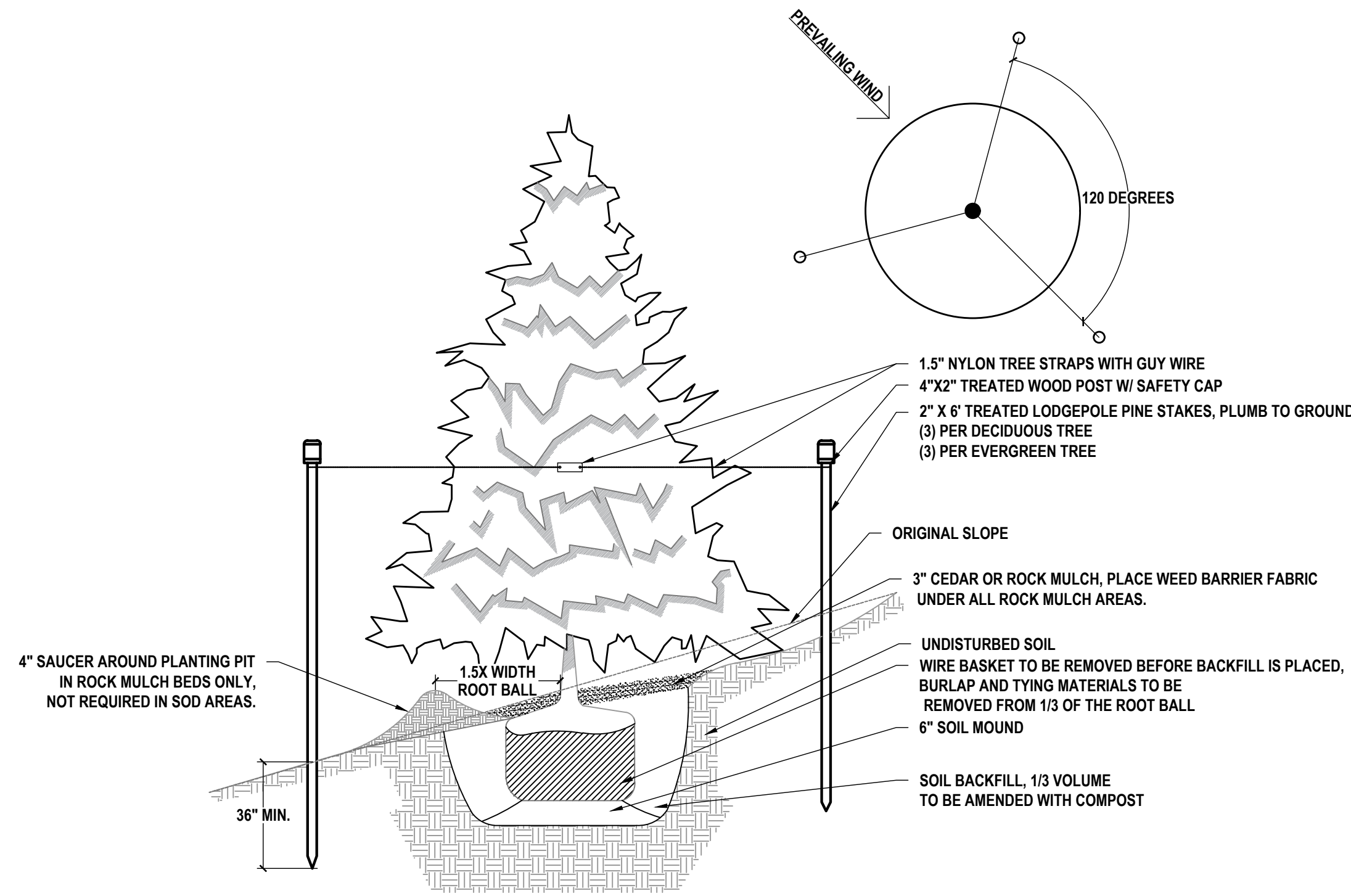
DESIGN BY: DAA
CHECKED BY: BMN

DATE: 31 JUL 2025
REV: 00

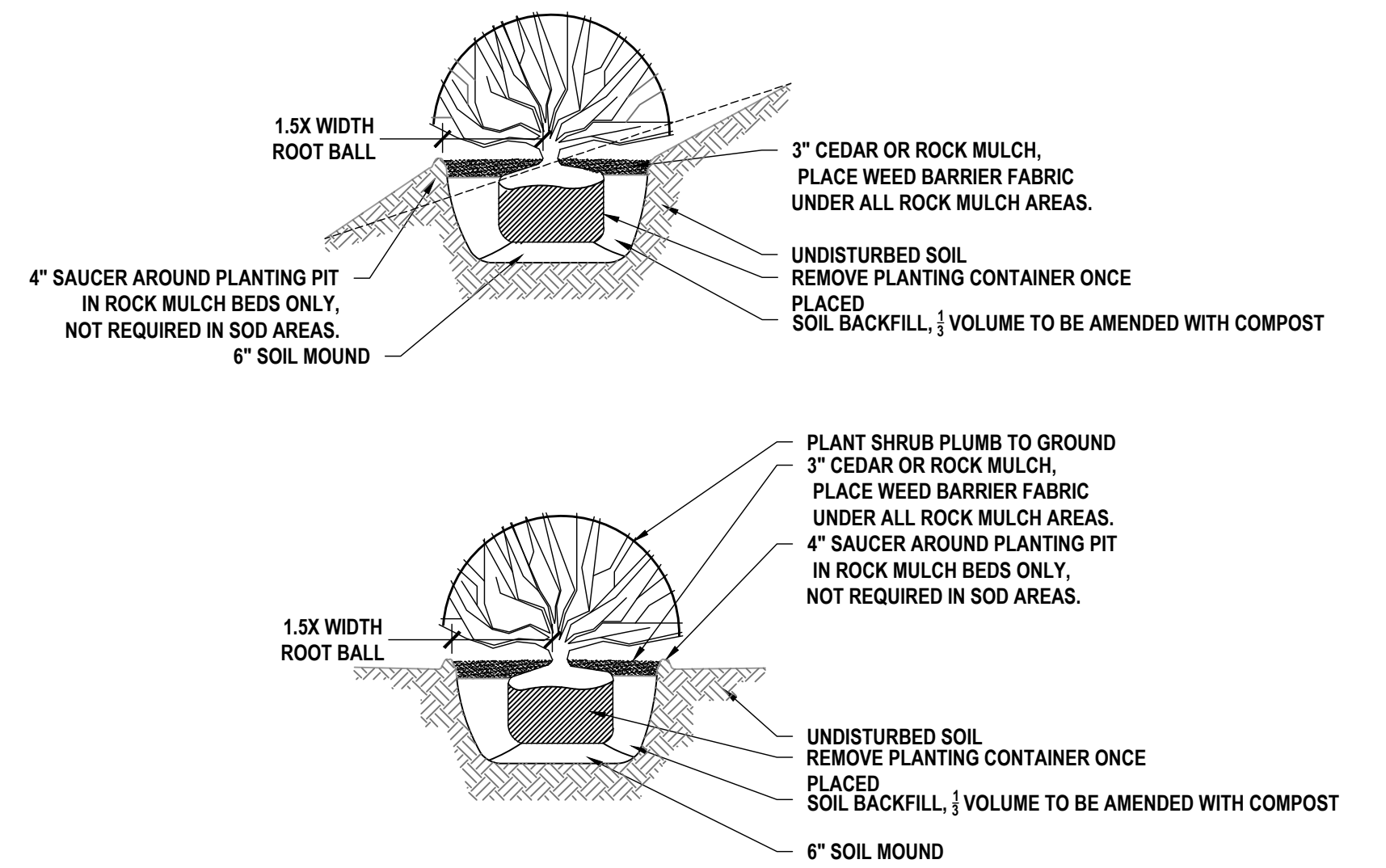
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L02



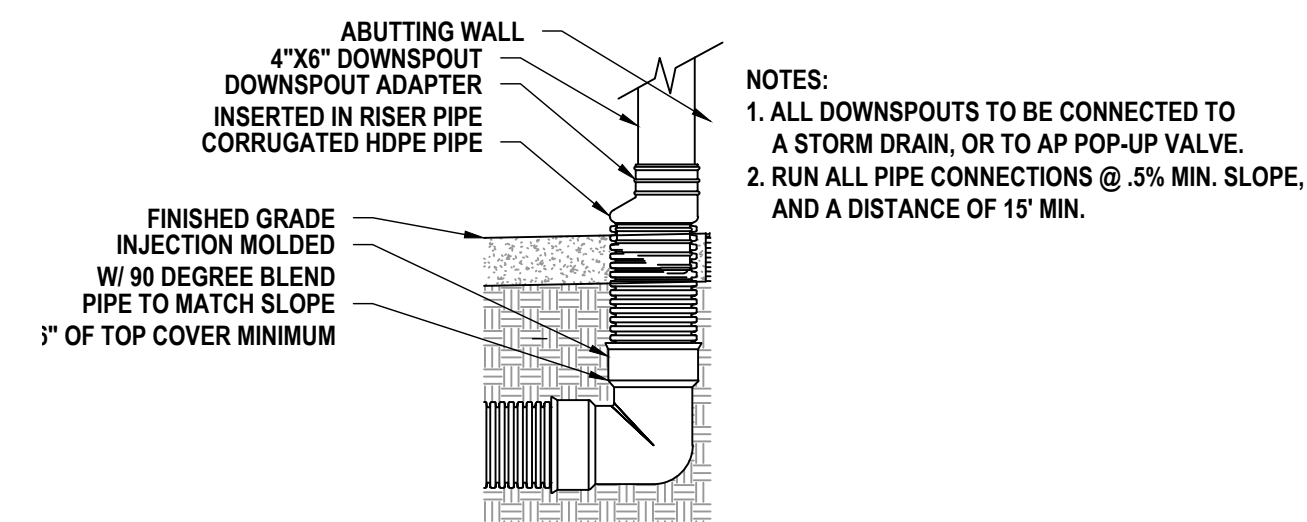
01 DECIDUOUS TREE, TYP.
NTS



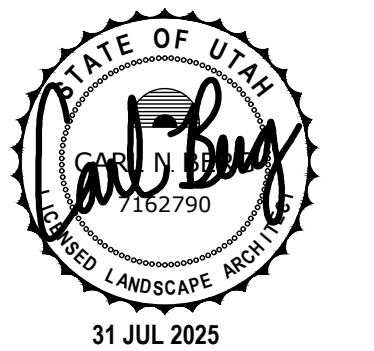
02 EVERGREEN TREE, TYP.
NTS



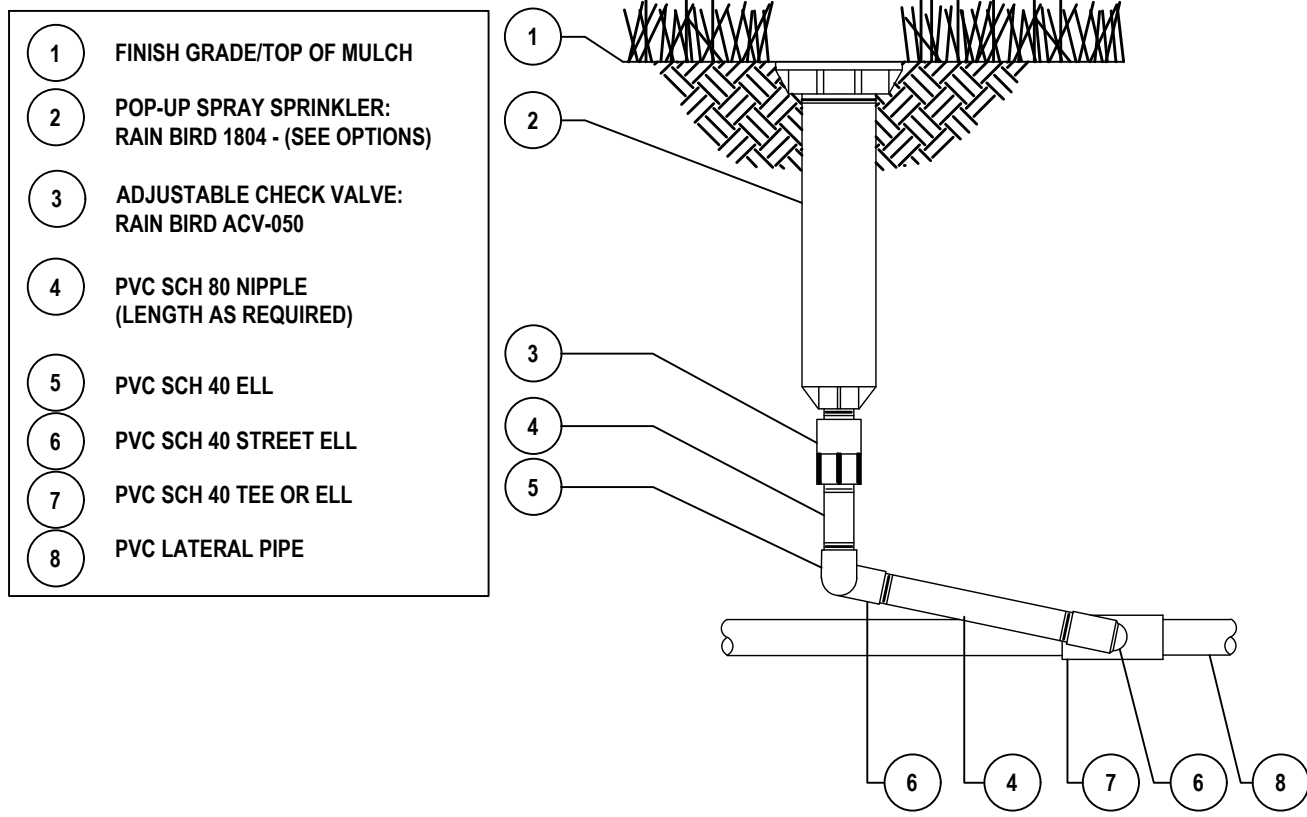
03 SHRUB, TYP.
NTS



04 DOWNSPOUT CONNECTION, TYP.
NTS

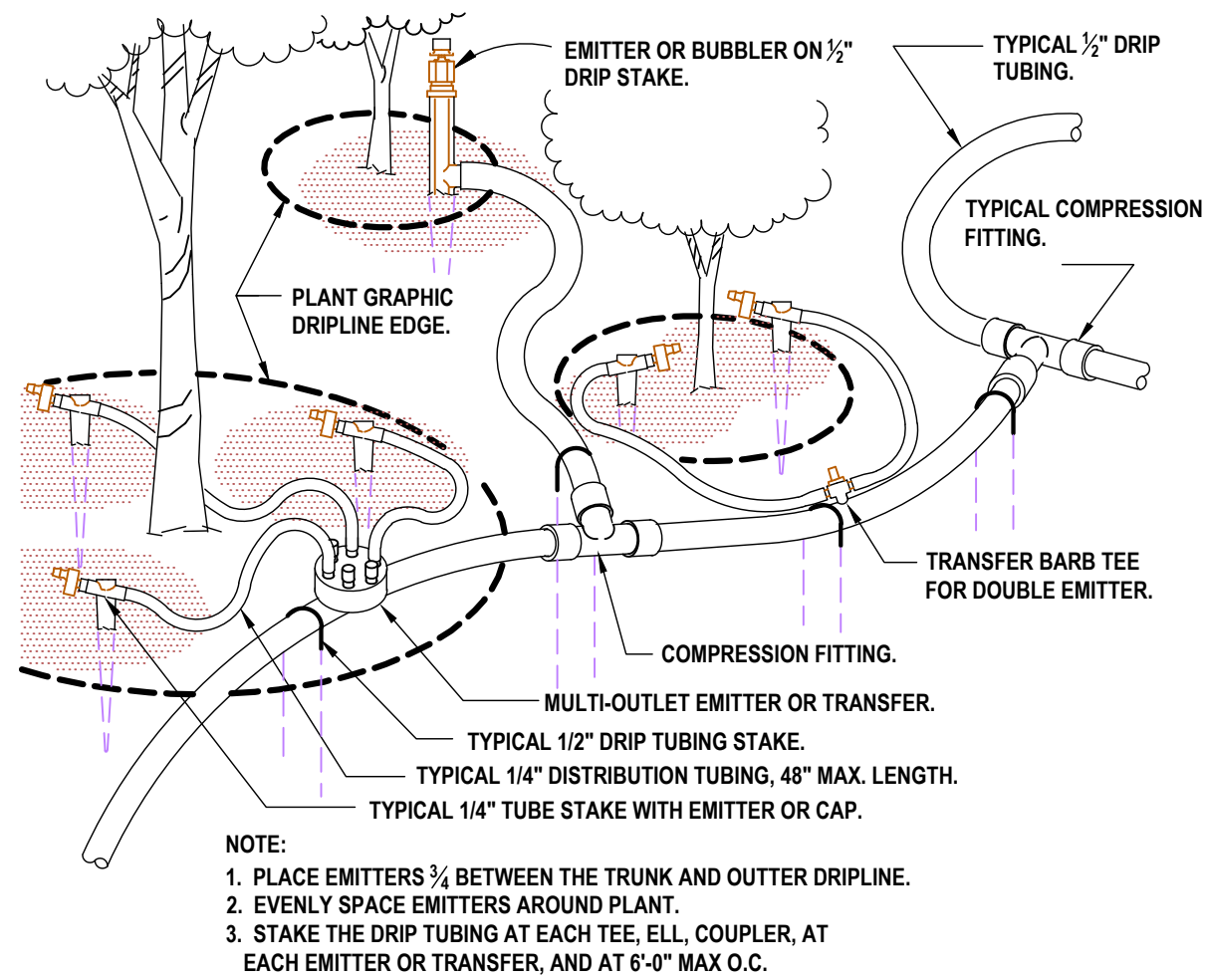


| | |
|--|------------------------------|
| 200 NORTH LOFTS LLC THE EDGE | |
| LANDSCAPE DETAILS | |
|  380 E Main St, Suite 204 Midway, Ut 84049 ph. (801) 723-2000 | |
| DESIGN BY: DAA CHECKED BY: BMN | DATE: 31 JUL 2025 REV: 00 |
| SHEET L03 | |



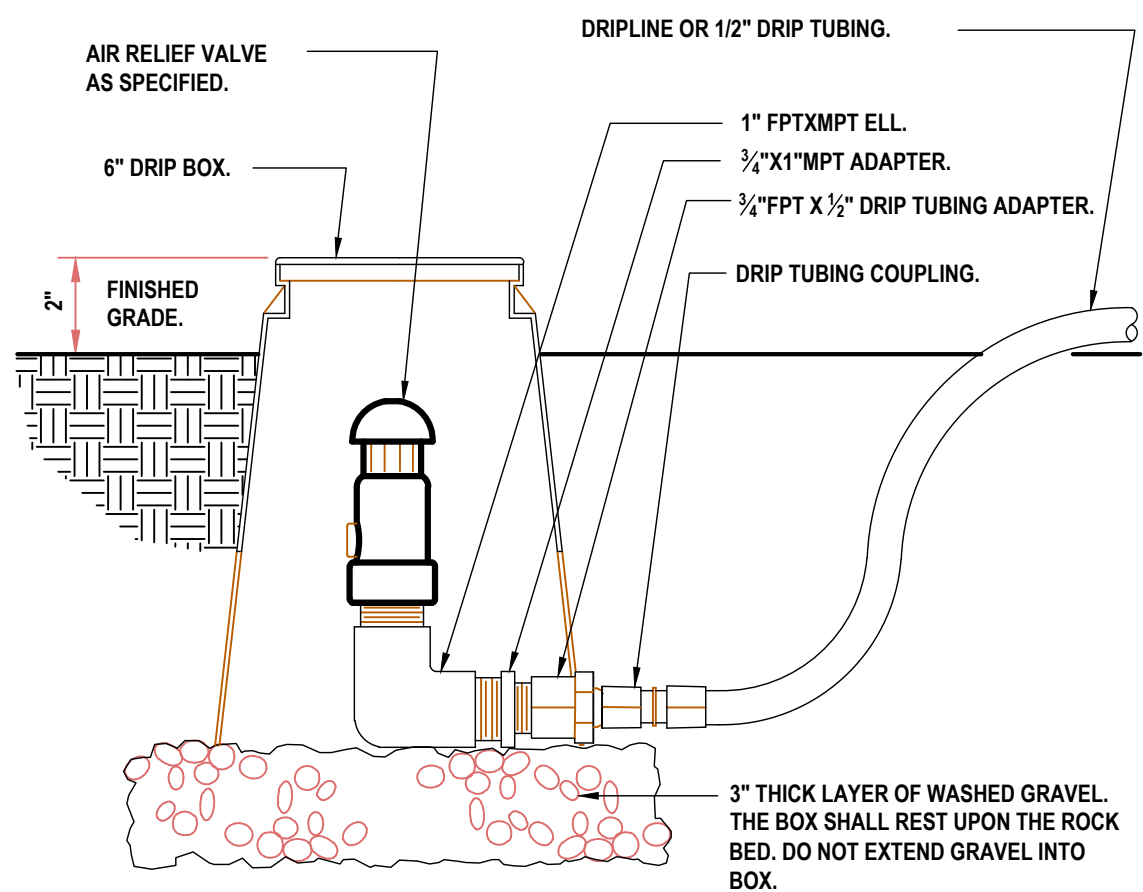
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 045-263.

01 POP-UP SPRAY SPRINKLER NTS

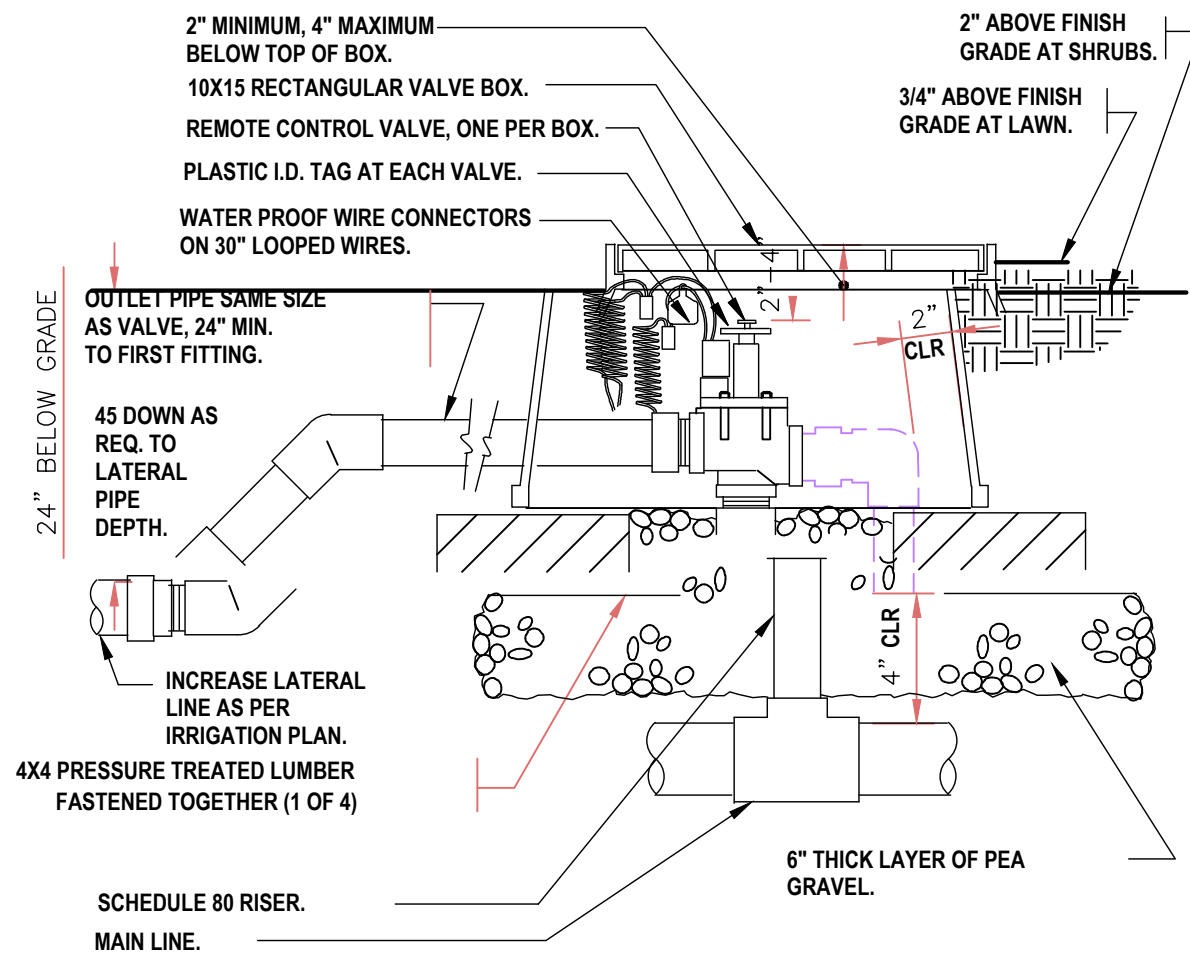


- NOTE:
1. PLACE EMITTERS 3/4" BETWEEN THE TRUNK AND OUTER DRIPLINE.
 2. EVENLY SPACE EMITTERS AROUND PLANT.
 3. STAKE THE DRIP TUBING AT EACH TEE, ELL, COUPLER, AT EACH EMITTER OR TRANSFER, AND AT 6'-0" MAX O.C.

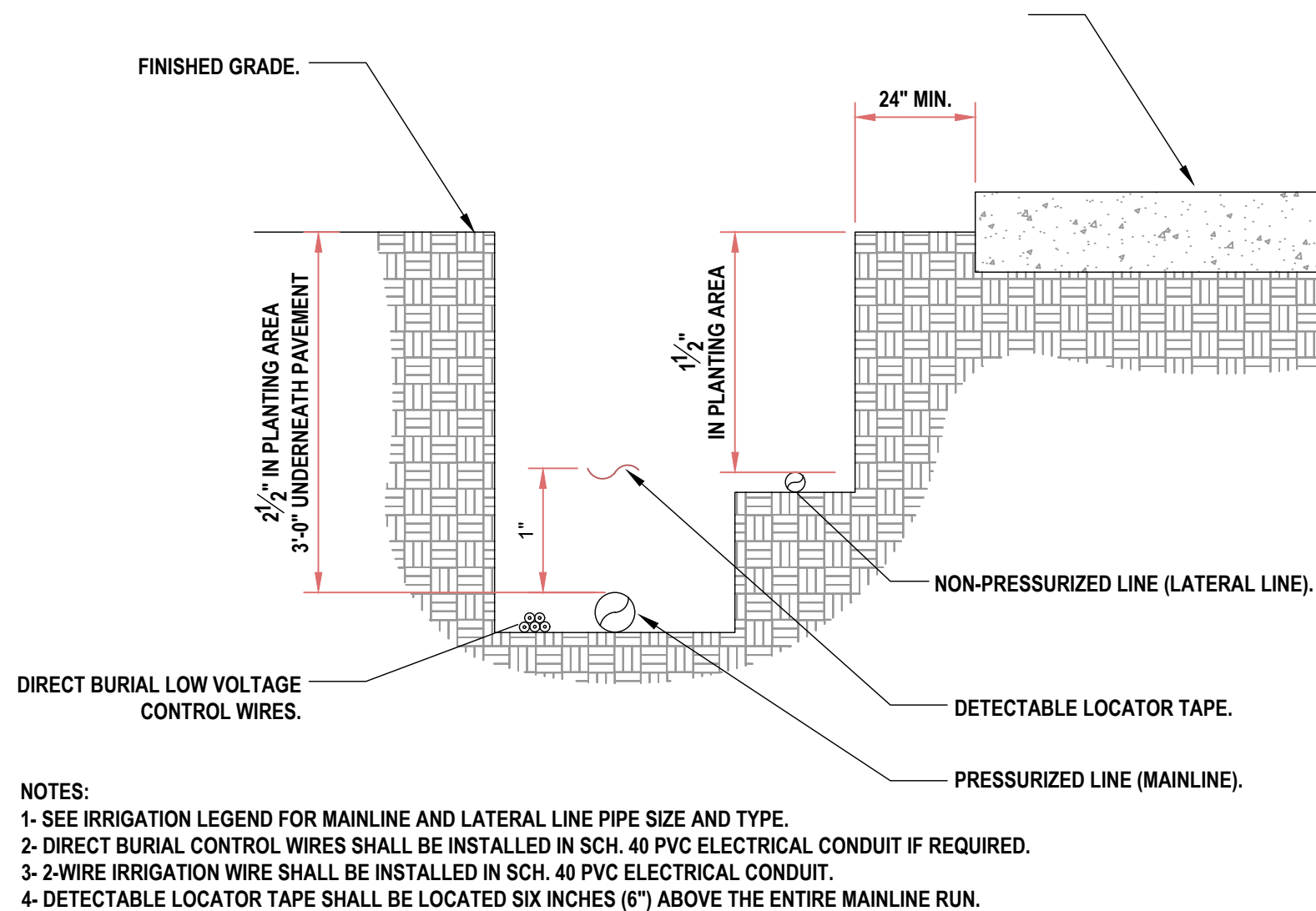
05 TYPICAL DRIP TUBING NTS



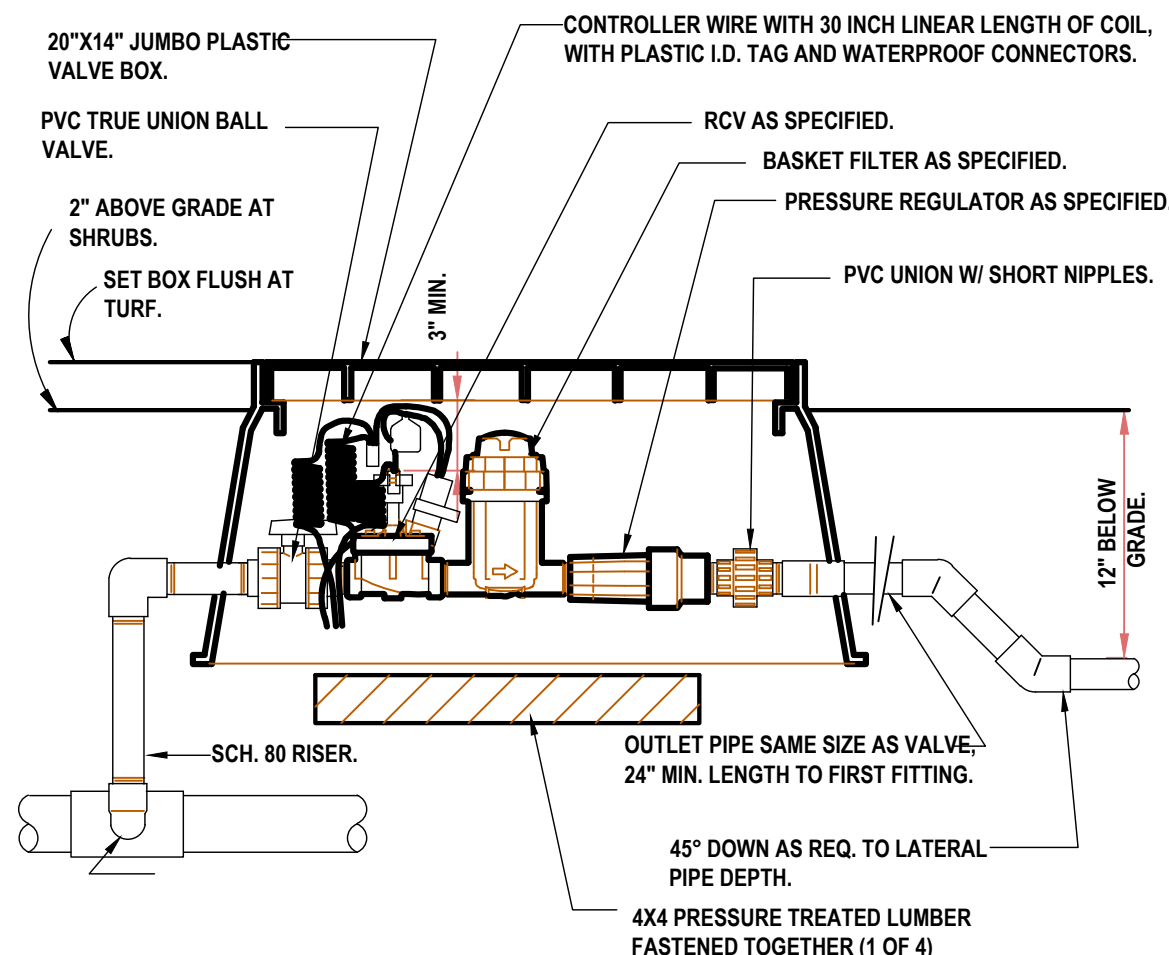
09 DRIP AIR RELIEF VALVE IN BOX NTS



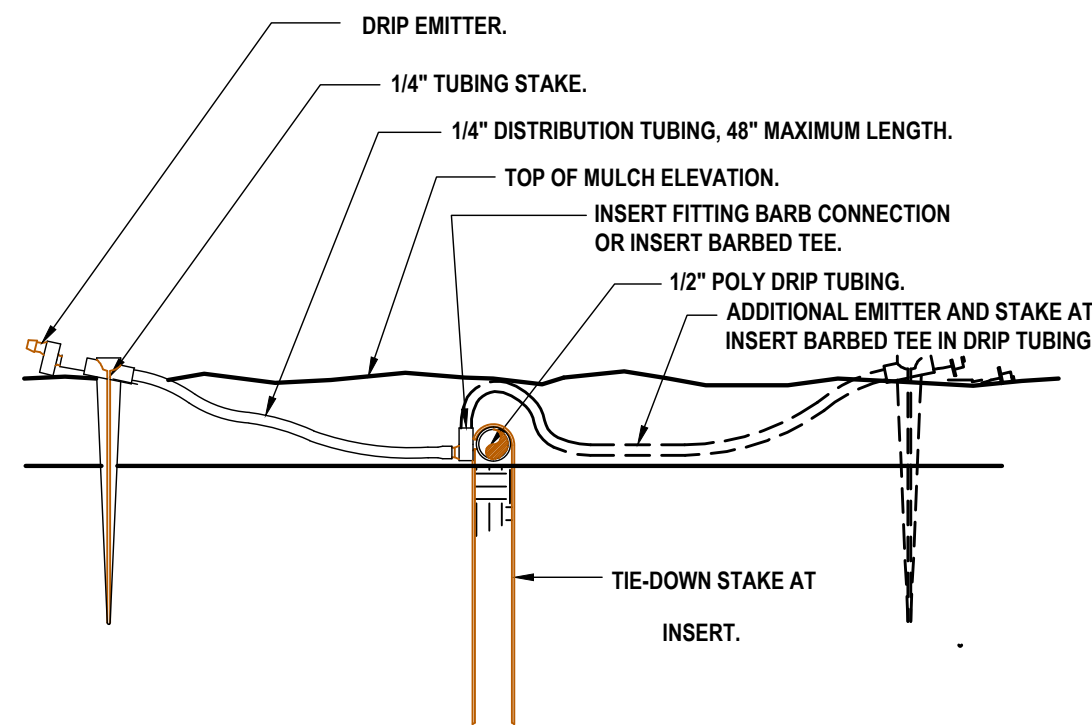
02 ELECTRIC REMOTE CONTROL VALVE NTS



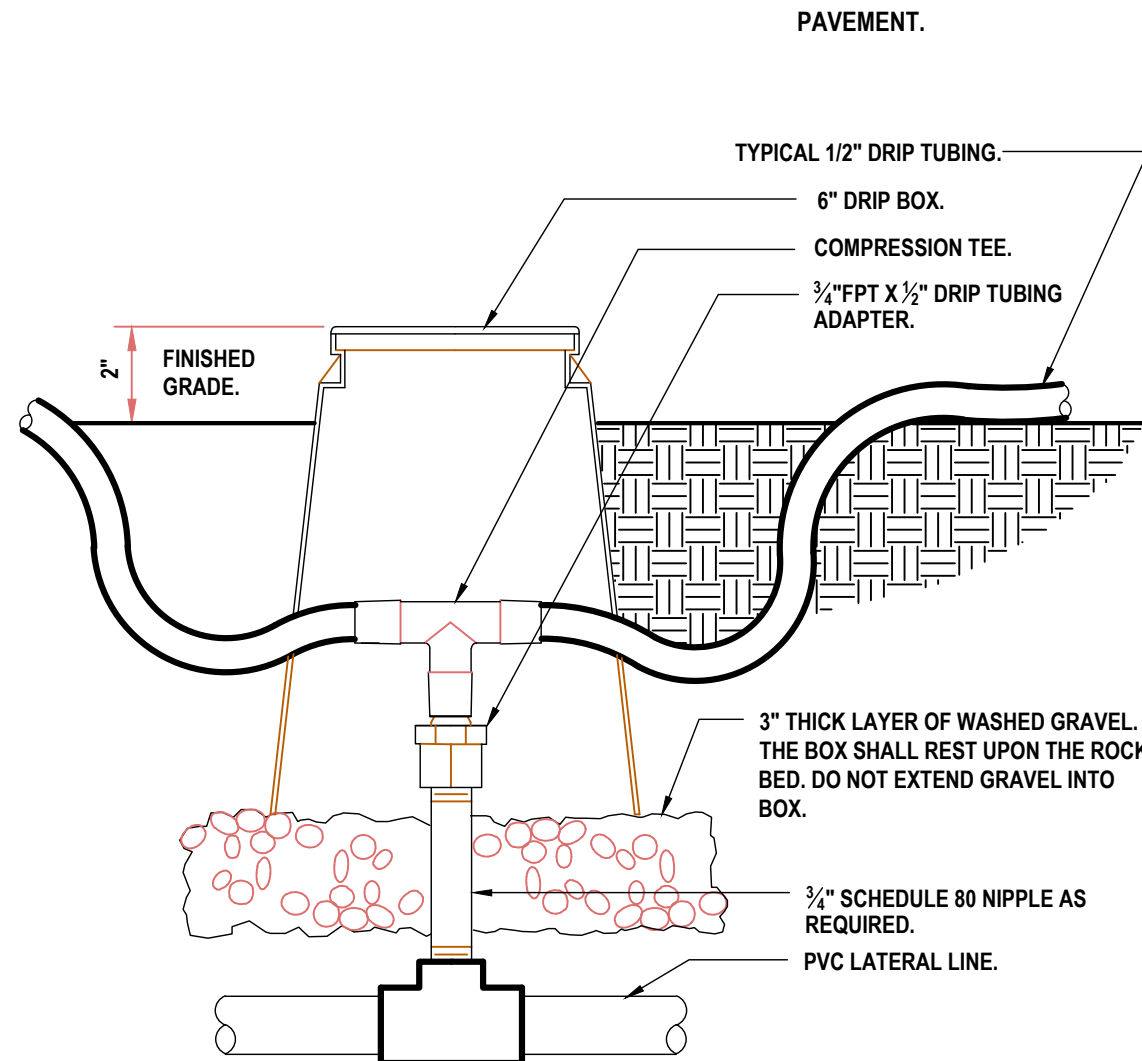
06 IRRIGATION TRENCHING NTS



11 TYPE A - MANUAL DRAIN VALVE NTS

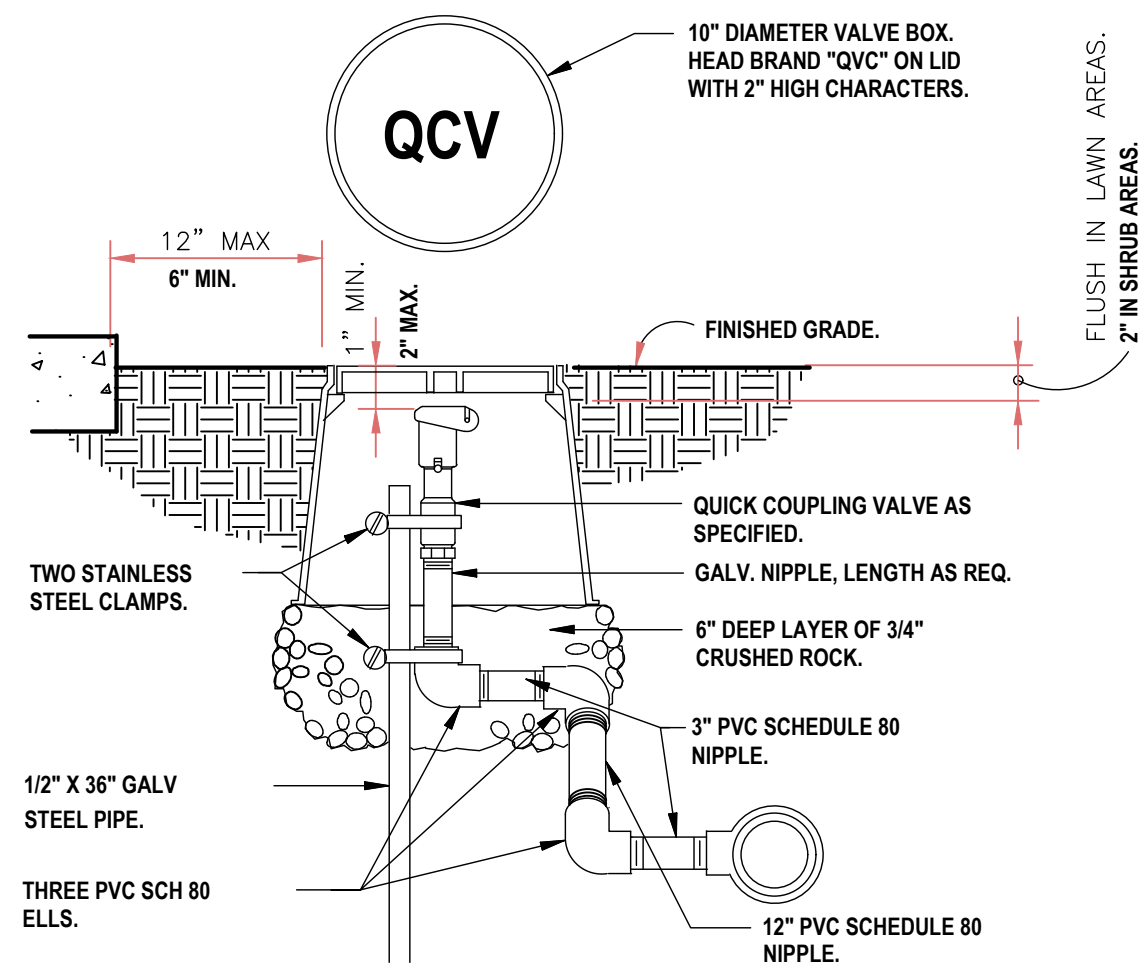


03 DRIP EMITTER AT 1/4" TUBING NTS

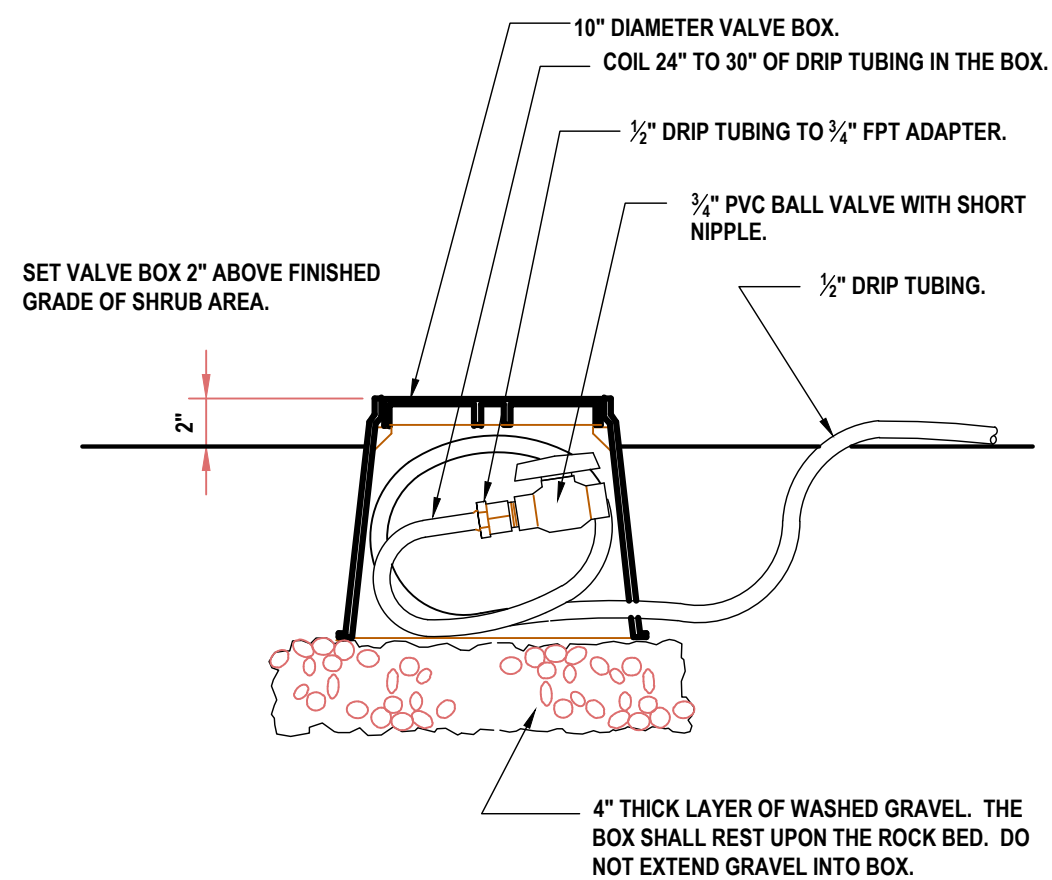


07 ZONE CONTROL NTS

- INSPECTION: PRIOR TO BACKFILLING AROUND DRAIN, SECURE INSPECTION OF DRAIN INSTALLATION BY LANDSCAPE ARCHITECT. SYSTEM MUST BE PRESSURIZED DURING INSPECTION.
- BACKFILL: INSTALL BACKFILL MATERIAL AROUND PIPE AND VALVE AND COMPACT TO PREVENT SETTLING.
- PLACEMENT: PROVIDE POSITIVE DRAINAGE IN ENTIRE SYSTEM. DON NOT INSTALL AUTOMATIC DRAIN VALVES ON THE END OF LATERAL PIPES. INSTALL UPSTREAM OF THE LAST HEAD OR AT A LOW POINT TO OBTAIN FULL DRAINAGE.
- INSTALLATION: LOCATE ALL VALVES AT ALL LOW POINTS ON CIRCUIT PIPE.



04 QUICK COUPLING VALVE IN BOX NTS



08 DRIP FLUSH VALVE NTS



200 NORTH LOFTS LLC
THE EDGE

IRRIGATION DETAILS

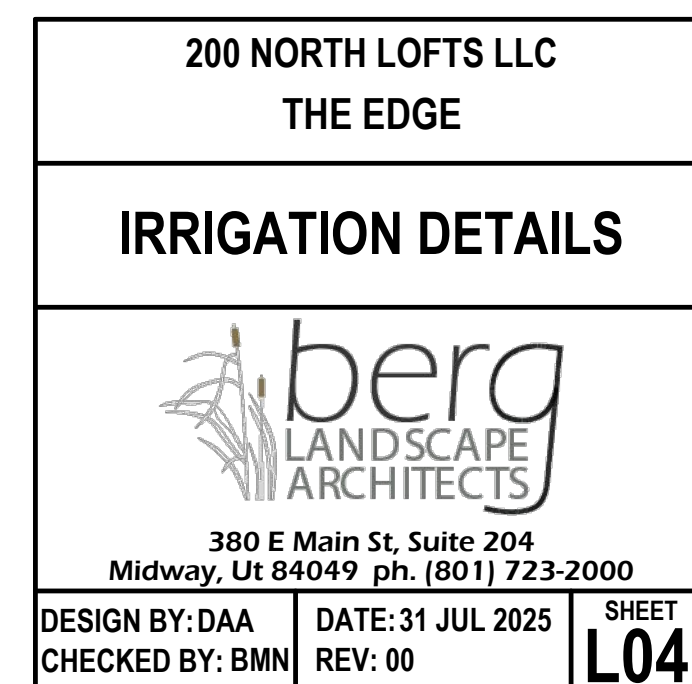


380 E Main St, Suite 204
Midway, Ut 84049 ph. (801) 723-2000

DESIGN BY: DAA
CHECKED BY: BMN

DATE: 31 JUL 2025
REV: 00

SHEET
L04





ARCHITECTURAL COMMENT RESPONSE LETTER

September 23, 2024

The Edge
67 East 200 North
Heber, Utah 84032

Re: Heber Planning Department

To: Heber Planning Department

We are in receipt of the following comments regarding the plan review and propose the following responses in **RED**:

Planning and Design Review Comments

1. DETAILS NEEDED: Please provide details of the fence.
 - a. **See updated sheet P901 for a section view showing the east site fence, height and material type.**
2. DETAIL NEEDED: Please provide details of the trash enclosure.
 - a. **See sheet P901 for details of dumpster enclosure design.**
3. NEEDS RESOLVED: Residential use balconies are required per C-3 zone but the C-3 Design Guidelines require balconies be limited to the rear (see 18.28.040 Development Standards as well).
 - a. **See updated sheet elevations with additional notes and design elements. It thinks its worth noting this project is 300-feet off Main Street, and a townhome project with no retail or commercial use on the property.**
4. PLEASE CLARIFY: Is this mixed use? If not, it is not a permitted use in the C-3 zone.
 - a. **Townhomes are now permitted in this zone per the new zone amendment.**
5. CORRECTION NEEDED: Entrances and windows do not meet standard. NEEDS RESOLVED: Residential use balconies are required per city code but the C-3 Design Guidelines require balconies be limited to the rear (see C-3 Design Guidelines Section 322).
 - a. **See elevations, the end units against 200 North have unit entries and windows facing the public road. As this project does not face Main Street, architectural we don't feel our design is a deterrent having the balconies face East and West allowing residents to take in the beautiful surroundings. Having the balconies in the alley way would not allow for current fire access that has been reviewed by Clint at Wasatch County Fire Department.**
6. CORRECTION NEEDED: Top floor architectural differentiation is needed.



P E R F E C T S P A C E S M A T T E R

7585 S. Union Park Ave Suite 100
Sandy, UT 84047
www.buildwithmint.com





- a. See the updated elevations and extended bump-outs that are now extending above the top of the parapet to vary the roof line.
- 7. CORRECTION NEEDED: Design does not include at least 4 historic features.
 - a. Architectural I wouldn't have any concerns with these design features. However, as the project does not face Main Street, and does not have any retail or commercial use, I don't believe a lot of these features make sense for the design. Please see updated elevations and 3D perspective for design features. See sheet P907 for additional notes regarding design features.
- 8. CORRECTION NEEDED: Open space or substitution requirement is not met.
 - a. See updated site plan on sheet P901. We have adjusted the landscaping to meet the 20% open space, and that percentage has been updated on the sheet.
- 9. CORRECTION NEEDED: Design must incorporate setbacks.
 - a. Under 18.28.040 Development Standards sub letter (L) "In the C-3 zone, height shall be a maximum of three stories without a setback (see Figure 2), and shall not exceed 46 feet." Our projects fall within this design.
- 10. NOTE: Parking will need to be adjusted pending mixed-use.
 - a. As this is not a mixed use project, just townhomes, our parking should be adequate for the site.
- 11. PLEASE CLARIFY: Is the OW1 label 3000K? Please specify in lighting schedule.
 - a. See updated site photometric and schedule on that sheet.

Sincerely,
Mint Architecture, LLC
Riley Young

Riley Young
(Signature)

09.23.2024
(Date)

RE: Geotechnical Report - The Edge



Paul Berg <paul@bergeng.net>

To ● Scott Anderson; ● Riley Young; ● Jeremy Clark

Cc ● Jay Peters



Reply



Reply All



Forward



Fri 10/11/2024 9:57 AM

Follow up. Start by Friday, October 11, 2024. Due by Friday, October 11, 2024.

This message is part of a tracked conversation. Click here to find all related messages or to open the original flagged message.

Start your reply all with:

Sounds good, thank you.

Thank you!

That would be great, thank you!

Feedback

Thank you. We can add this to the review comment response.

From: Scott Anderson <ScottA@agecinc.com>

Sent: Thursday, October 10, 2024 12:15 PM

To: Paul Berg <paul@bergeng.net>; Riley Young <ryoung@designwithmint.com>; Jeremy Clark <clarkj1229@gmail.com>

Cc: Jay Peters <jpeters@buildwithmint.com>

Subject: RE: Geotechnical Report - The Edge

Paul,

I just spoke with Ross Hansen at Heber City. He was very cordial and helpful. He asked that I provide an email describing the situation and that would help him resolve this review comment. He indicated you could provide my written response with other redlines that you are working on for the project.

Here is the text to provide to him:

Paul,

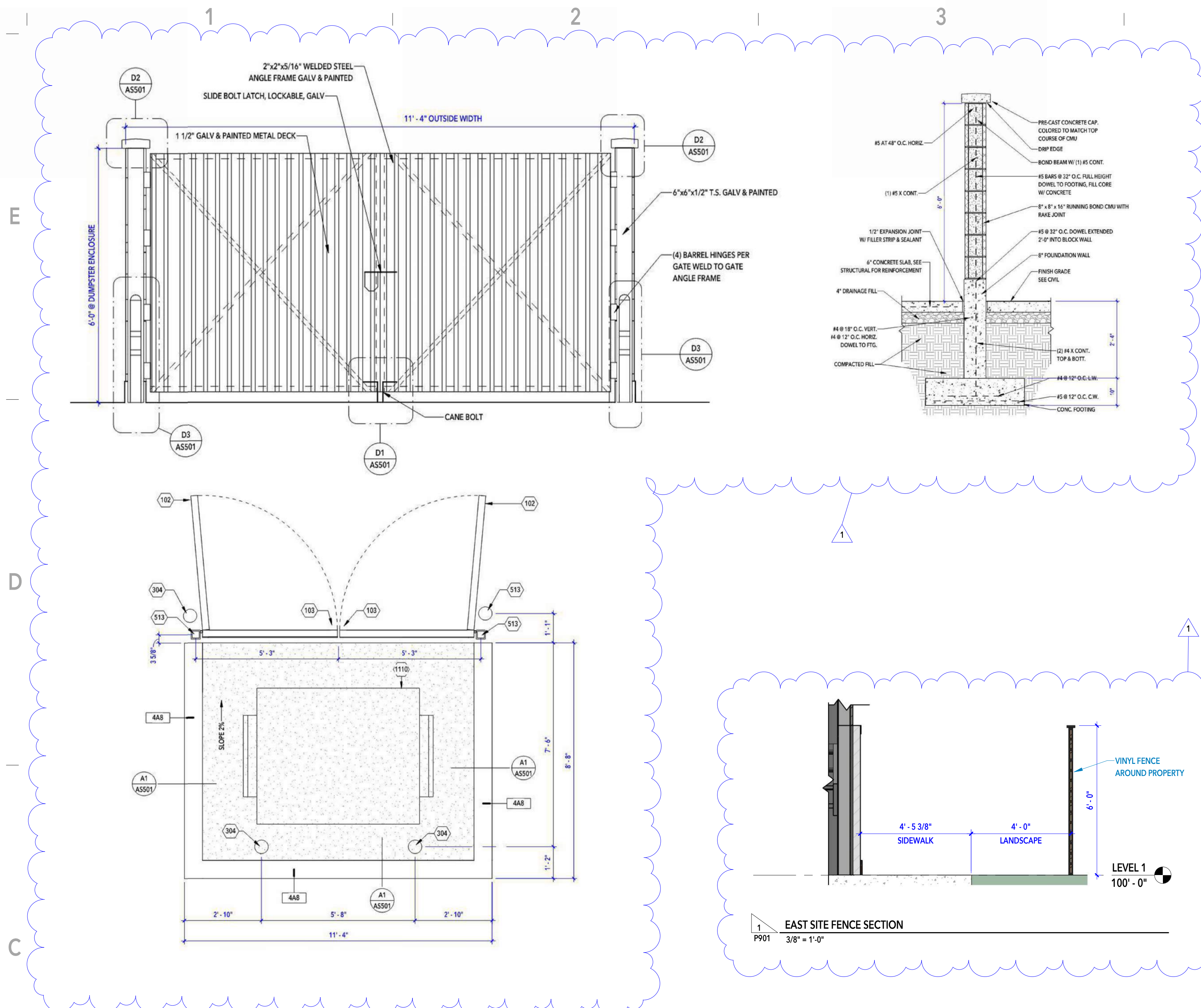
I spoke with Ross Hansen (Heber City) this morning, October 10, 2024. We discussed a review comment regarding The Edge project. I understand there was a review comment questioning why a double-ring infiltrometer test was not performed at the site. We did the field work at the site on December 6, 2023. We arranged and met with Gordon Miner (Heber City) on site while we excavated the test pits. He agreed with us that an infiltration test was not possible due to the amount of gravel and cobble in the soil. He also indicated that we could perform a percolation test. The results of the percolation test are included in the geotechnical report.

Please let me know if you have any additional questions.

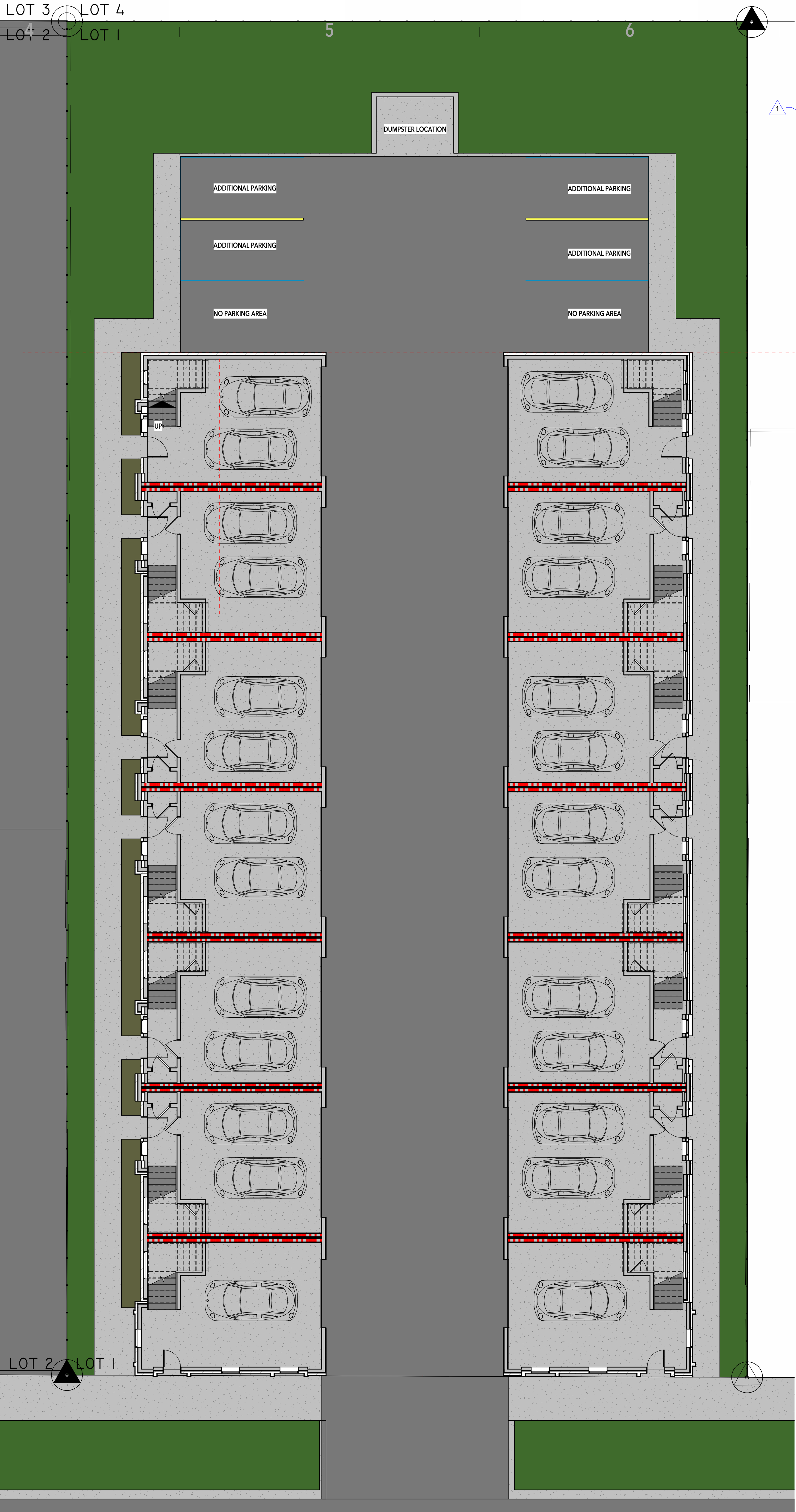
Scott Anderson, P.E.

Sr. Engineer

Cell 801.651.3864



SITE LOCATION



PROJECT INFORMATION

- 14 TOWNHOMES
- 0.46 ACRE
- 20% LANDSCAPING
- 1. INCLUDING
 - A. COMINATION OF TREES, FLOWER BEDS, SHRUBBERY, LAWN, BOULDERS, PLANTED BEAMS AND MOUNDS
 - B. RIGHT OF WAY LANDSCAPE WITH GRASS AND TREES EVERY 30 FEET.
 - C. TREES AT LEAST 2" CALIPER, SHRUBBERY AT LEAST 2 GALLON PER PLANT.
 - D. AUTOMATIC IRRIGATION OR USE OF EXISTING CULINARY SYSTEM
- 41% OPEN SPACE
- GARAGE FOR TOWN HOMES

| MARK | ISSUE DESCRIPTION | ISS. DATE | REV. DESCRIPTION | REV. DATE | DRAWN BY |
|------|-------------------|-----------|------------------|-----------|----------|
| 1 | PLANNING COMMENTS | | | 09.20.24 | RY |

HEBER 67 EAST TOWNHOMES
67 EAST 200 NORTH
HEBER, UT 84032

DEVELOPER APPROVAL

DATE

SIGNATURE




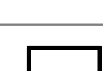
ISSUE DATE
08.20.2024

SITE PLAN

SHEET

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D

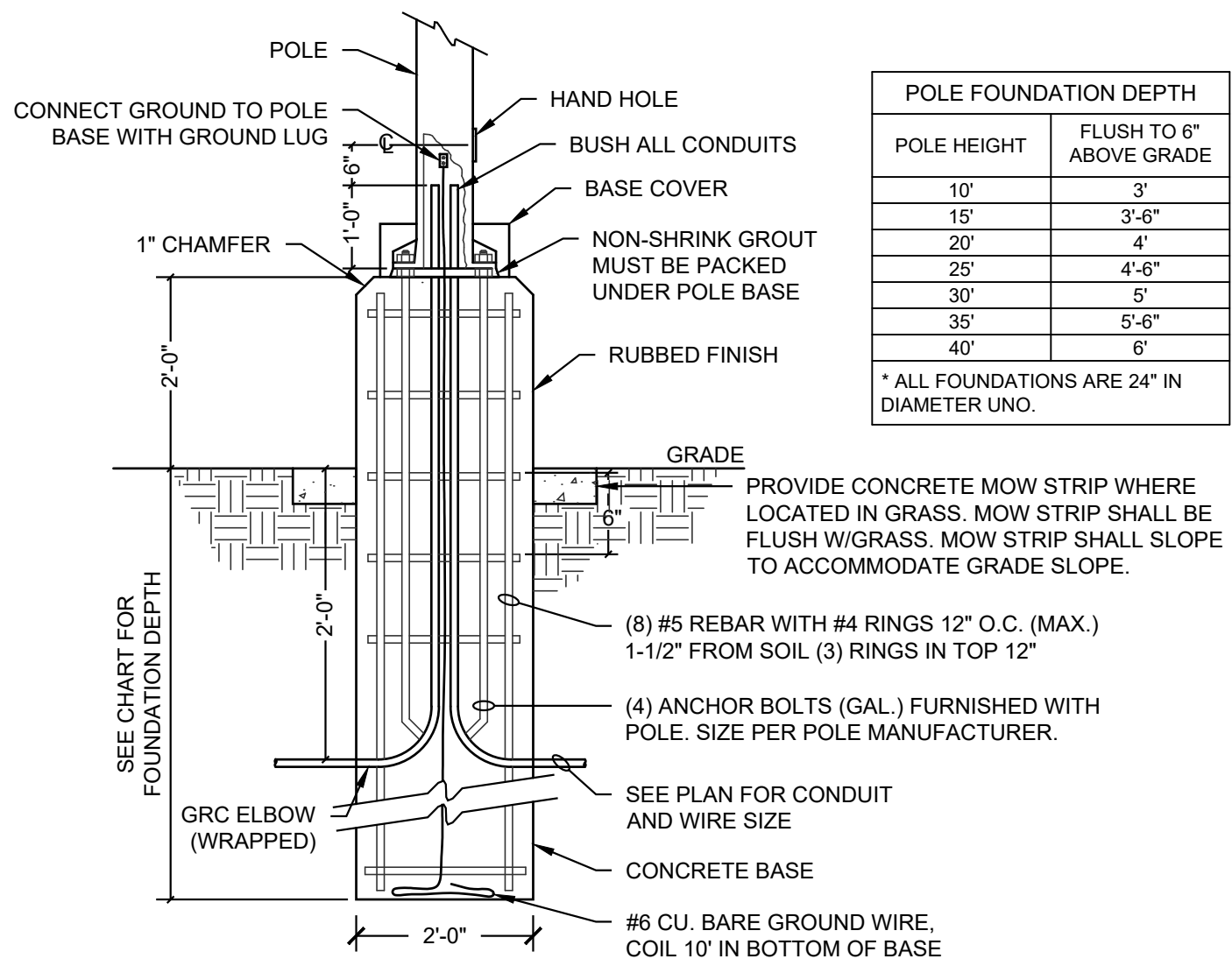
| Schedule | | | | | | | | |
|---|-------|-----|-------------------|---------------------------|---|--------------|-------------|-------------|
| Symbol | Label | QTY | Manufacturer | Catalog | Description | Number Lamps | Lamp Output | Input Power |
|  | OW2 | 2 | Lithonia Lighting | WST LED P1 30K VF HVOLT | WST LED, Performance package 1, 3000 K, visual comfort forward throw, HVOLT | 1 | 1529 | 14 |
|  | OW1 | 15 | ISM | CCT: 2986K, CRI: 82.0Ra | WCED3D-13W-830; 3000 K | 1 | 833 | 13.2 |
|  | OW3 | 14 | Lithonia Lighting | WDGE1 LED P1 30K 90CRI VW | WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 90CRI, VISUAL COMFORT WIDE OPTIC | 1 | 1030 | 10.0002 |
|  | PL1 | 1 | Lithonia Lighting | RSX1 LED P1 30K AFR HS | RSX LED Area Luminaire Size 1 P1 Lumen Package 3000K CCT Type AFR Distribution with HS shield | 1 | 4901 | 51.34 |

| Statistics | | | | | | |
|---------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| PROPERTY LINE | + | 0.0 fc | 0.1 fc | 0.0 fc | N/A | N/A |
| WALKWAY | + | 1.6 fc | 23.7 fc | 0.0 fc | N/A | N/A |
| PARKING AREA | + | 3.3 fc | 23.7 fc | 0.2 fc | 118.5:1 | 16.5:1 |

C

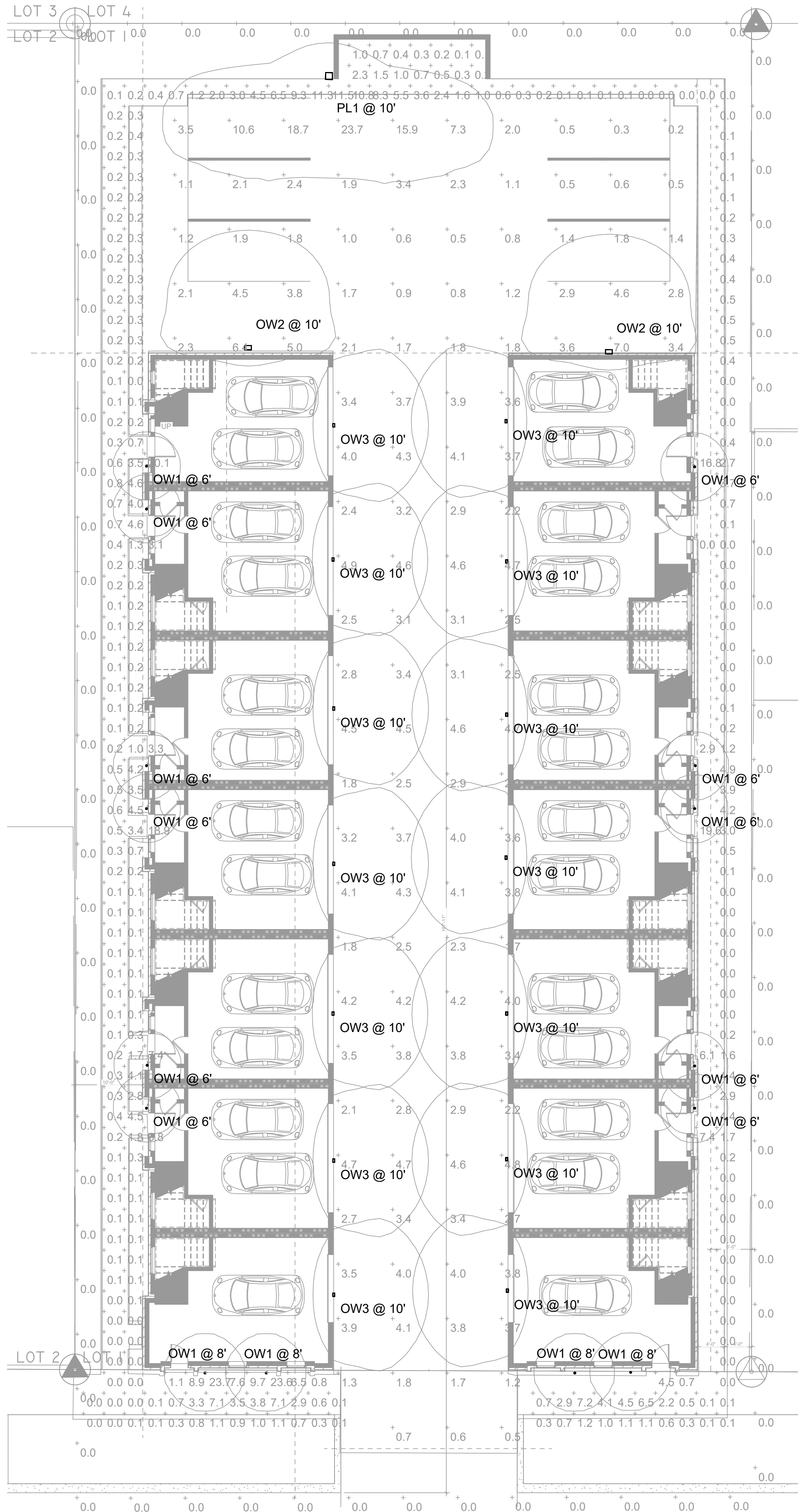
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2 LIGHT POLE BASE DETAIL
ES001 NO SCALE

1 PHOTOMETRIC SITE PLAN
ES001 SCALE: 3/32" = 1'0"



76 W 13775 S, STE 3
DRAPER, UT 84020
(801) 618-9656
eric@elementalelectricalengineers.com

REVISIONS

DESCRIPTION
PERMIT SET

MARK DATE
10/12/23

67 EAST HEBER TOWNHOMES
67 EAST 200 NORTH
HEBER, UTAH

SHEET TITLE:

PHOTOMETRIC
SITE PLAN

ES001

D

C

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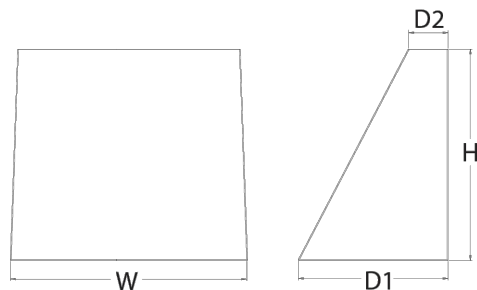


WDGE1 LED Architectural Wall Sconce



Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
(without options)



| | |
|----------------|-----|
| Catalog Number | |
| Notes | |
| Type | OW3 |

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

| WDGE LED Family Overview | | | | | | | | | |
|--------------------------|------------------|----------------|---------------------|--------|--------|----------------|--------|--------|--------|
| Luminaire | Standard EM, 0°C | Cold EM, -20°C | Sensor | P1 | P2 | Lumens (5000K) | | | |
| WDGE1 LED | 4W | --- | --- | 1,200 | 2,000 | --- | --- | --- | --- |
| WDGE2 LED | 10W | 10W | Standalone / nLight | 1,200 | 2,000 | 3,000 | 4,500 | 6,000 | --- |
| WDGE3 LED | 15W | 10W | Standalone / nLight | 7,500 | 8,500 | 10,000 | 12,000 | --- | --- |
| WDGE4 LED | --- | --- | Standalone / nLight | 12,000 | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 |

| Ordering Information | | | | | | | | | |
|---|---------|---|-------|--------------|------------|---|--|--|--|
| EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD | | | | | | | | | |
| Series | Package | Color Temperature | EB | Distribution | Voltage | Mounting | | | |
| WDGE1 LED | P1 | 27K 2700K | 80CRI | VF | MVOLT 347° | Shipped included SRM Surface-mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ¹ Shipped separately AWS 3-finch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there's no junction box available | | | |
| | P2 | 30K 3000K 35K 3500K 40K 4000K 50K ¹ 5000K | 90CRI | VW | | | | | |

| Options | | Finish | |
|--------------------------------|---|--------|---|
| EAWH ² | Emergency battery backup, Certified in CA Title 20 MAEBS (9W, 0°C min) | DDBXD | Dark bronze |
| PE ⁴ | PhotoCell, button type | DBLXD | Black |
| DS | Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) | DNAXD | Natural aluminum |
| DMG | 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) | DBWXD | White |
| BCA | Bottom conduit entry for back box (PBBW). Total of 4 entry points. | DSXD | Sandstone |
| BAA | Buy America(n) Act Compliant | | |
| Accessories | | NOTES | |
| Ordered and shipped separately | | | |
| WDGEAWS (DBXD) | WDGE 3-finch Architectural Wall Spacer (specify finish) | 1 | 50K not available in 90CRI. |
| WDGE1PBBW (DBXD) | WDGE 1 surface-mounted back box (specify finish) | 2 | 347V not available with EAWH, DS or PE. |
| | | 3 | EAWH not available with PE or DS. |
| | | 4 | PE not available with DS. |
| | | 5 | Not qualified for DLC. Not available with EAWH. |

| | | | |
|--|--------------------|--|----------------------------|
| | COMMERCIAL OUTDOOR | One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2019-2022 Acuity Brands Lighting, Inc. All rights reserved. | WDGE1 LED Rev. 03/01/22 |
|--|--------------------|--|----------------------------|

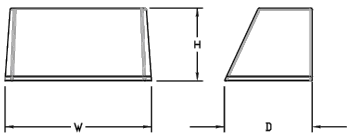


WST LED Architectural Wall Sconce



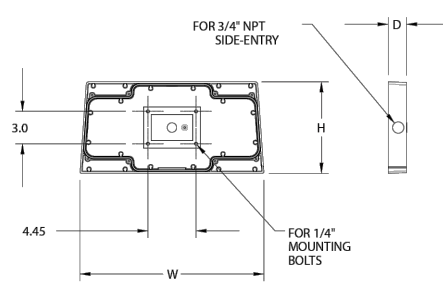
Specifications Luminaire

Height: 8-1/2" (21.59 cm)
Width: 17" (43.18 cm)
Depth: 10-3/16" (25.9 cm)
Weight: 20 lbs (9.1 kg)



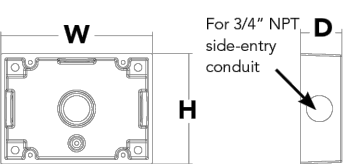
Optional Back Box (PBBW)

Height: 8.49" (21.56 cm)
Width: 17.01" (43.21 cm)
Depth: 1.70" (4.32 cm)



Optional Back Box (BBW)

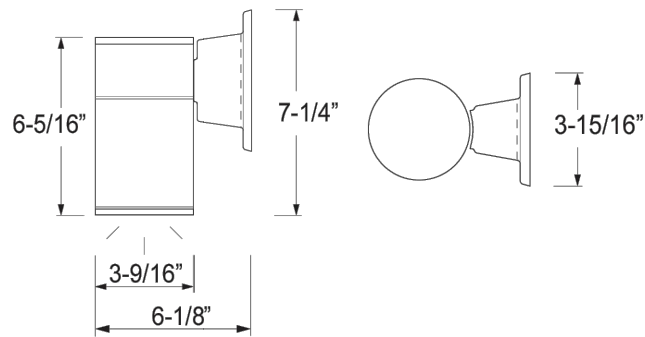
Height: 4" (10.2 cm)
Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)



| | | | |
|--|--------------------|--|--------------------------|
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|--|--------------------|--|--------------------------|

4423 120V

3" LED Architectural Cylinder Downlight



DESCRIPTION

The Outdoor LED Cylinder Family features wet location rated wall mount style cylinders with down light and up & down light options. Choose from energy efficient 13W or 17W AC modules, with finishes available in white, black, brushed nickel, or oil-rubbed bronze. Features Triac dimming down to 5%, using most standard dimmers. Utilizes AC circuit on board technology for cooler operating temperature and extended lifetime.

DESIGN FEATURES

- Construction**
 - Aluminum die-cast with powder coat finish
- Electrical**
 - 120V Direct AC operation with DOB
 - Triac dimming down to 5%
 - Various wattages of modules available
 - Cooler operating temperature without driver
 - Stable driving current prevents inrush damage to circuit switches and modules
 - Operating temperature: -31°F (-35°C) to 122°F (50°C)
 - Available in 80CRI, 3000K & 4000K
- Installation**
 - Easy surface mounting for simple installation using anchors and screws
 - J-box mountable
- Lens**
 - Clear acrylic lens protects LEDs while allowing for optimum lumen output
 - 37° Beam angle
- Finish**
 - Available in black, brushed aluminum and oil-rubbed bronze
- Certifications**
 - cCSAus for wet location
 - 5 year limited warranty
 - Wet location rated



TEL: 800.937.6925 | Fax: 800.207.9509 | www.rplighting.com

Specifications and dimensions subject to change without notice. RP LIGHTING • FANS



RSX1 LED Area Luminaire

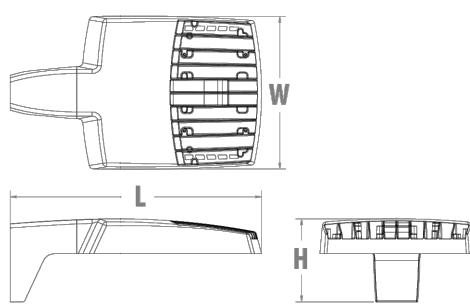


| | |
|----------------|-----|
| Catalog Number | |
| Notes | |
| Type | PL1 |

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA (ft²@0°): 0.57 ft² (0.05 m²)
Length: 21.8" (55.4 cm) (SPA mount)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.4 cm) Arm
Weight (max): 31.0 lbs (14.1 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

| Ordering Information | | | | | EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD | | | | |
|--|---|-------------------|---|---|--|---|--|--|--|
| RSX LED | | | | | | | | | |
| Series | Performance Package | Color temperature | Distribution | Voltage | Mounting | | | | |
| RSX1 LED | P1 | 30K 3000K | R2 Type 2 Wide | MVOLT (120V-277V) ¹ | SPA Square pole mounting (3.0" min. SD pole for 1 at 90°, 3.5" min. SD pole for 2, 3, 4 at 90°) | | | | |
| | P2 | 40K 4000K | R3 Type 3 Wide | HVOLT (347V-480V) ² | RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 135°) | | | | |
| | P3 | 50K 5000K | R3S Type 3 Short | (use specific voltage for options as noted) | | MA Mast arm adaptor (fits 2-3/8" OD horizontal tension) | | | |
| | P4 | | R4S Type 4 Wide | 120 ³ 277 ³ | IS Adjustable slipfitter (fits 2-3/8" OD tension) ⁴ | | | | |
| | | | R5 Type 5 Wide | 208 ³ 347 ³ | WBA Wall bracket | | | | |
| | | | R5S Type 5 Short | 240 ³ 480 ³ | WBASC Wall bracket with surface conduit box | | | | |
| | | | AFR Automotive front Row | | AASP Adjustable tilt arm square pole mounting ⁴ | | | | |
| | | | AFR890 Automotive front Row Right Rotated | | AARP Adjustable tilt arm round pole mounting ⁴ | | | | |
| | | | | | AARB Adjustable tilt arm with wall bracket ⁴ | | | | |
| | | | AFRL90 Automotive front Row Left Rotated | | AARBW Adjustable tilt arm wall bracket and surface conduit box ⁴ | | | | |
| Options | | | | | | Finish | | | |
| Shipped Installed | | | | | | DDBXD Dark Bronze | | | |
| HS | House-side shield ¹ | | | | | DBLXD Black | | | |
| PE | Photocontrol, button style ^{4,5} | | | | | DNAXD Natural Aluminum | | | |
| PEX | Photocontrol external threaded, adjustable ¹⁸ | | | | | DWHXD White | | | |
| PEP7 | Seven-wire twist lock interlock only (no controls) ^{18,19} | | | | | DDBXD Textured dark Bronze | | | |
| CE34 | Conduit entry 3/4" NPT (Qty 2) | | | | | DBLXD Textured black | | | |
| SF | Single face (120, 277, 347) ¹ | | | | | DNAXD Textured Natural Aluminum | | | |
| DF | Double face (208, 240, 480) ¹ | | | | | DWHGXD Textured White | | | |
| SP020KV | 20KV Surge pack (10KV standard) | | | | | | | | |
| FX0 | Field adjustable output ²⁰ | | | | | | | | |
| DMG | 0-10V lead wires extended (no controls) ^{1,21} | | | | | | | | |
| *Standalone and Networked Sensors/Controls (factory default settings, see table page 9) | | | | | | | | | |
| NLTR2 nLight AIR generation 2 ^{10,22} | | | | | | | | | |
| PIRIN Networked, Bi-Level motion/ambient sensor (for use with NLTR2) ^{10,23} | | | | | | | | | |
| *Note: PIRIN with nLight AIR can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted. | | | | | | | | | |
| Shipped Separately (requires some field assembly) | | | | | | | | | |
| EGS External glare shield ¹ | | | | | | | | | |
| EGFV External glare full view (360° around light aperture) ¹ | | | | | | | | | |
| BS Blat shields ¹ | | | | | | | | | |

| | | | |
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|--|--------------------|--|--|

D

C

B

A



76 W 13775 S, STE 3
DRAPER, UT 84020
(801) 618-9656
eric@elementalelectricalengineers.com

REVISIONS

MARK DATE DESCRIPTION PERMIT SET

67 EAST HEBER TOWNHOMES

67 EAST 200 NORTH
HEBER, UTAH

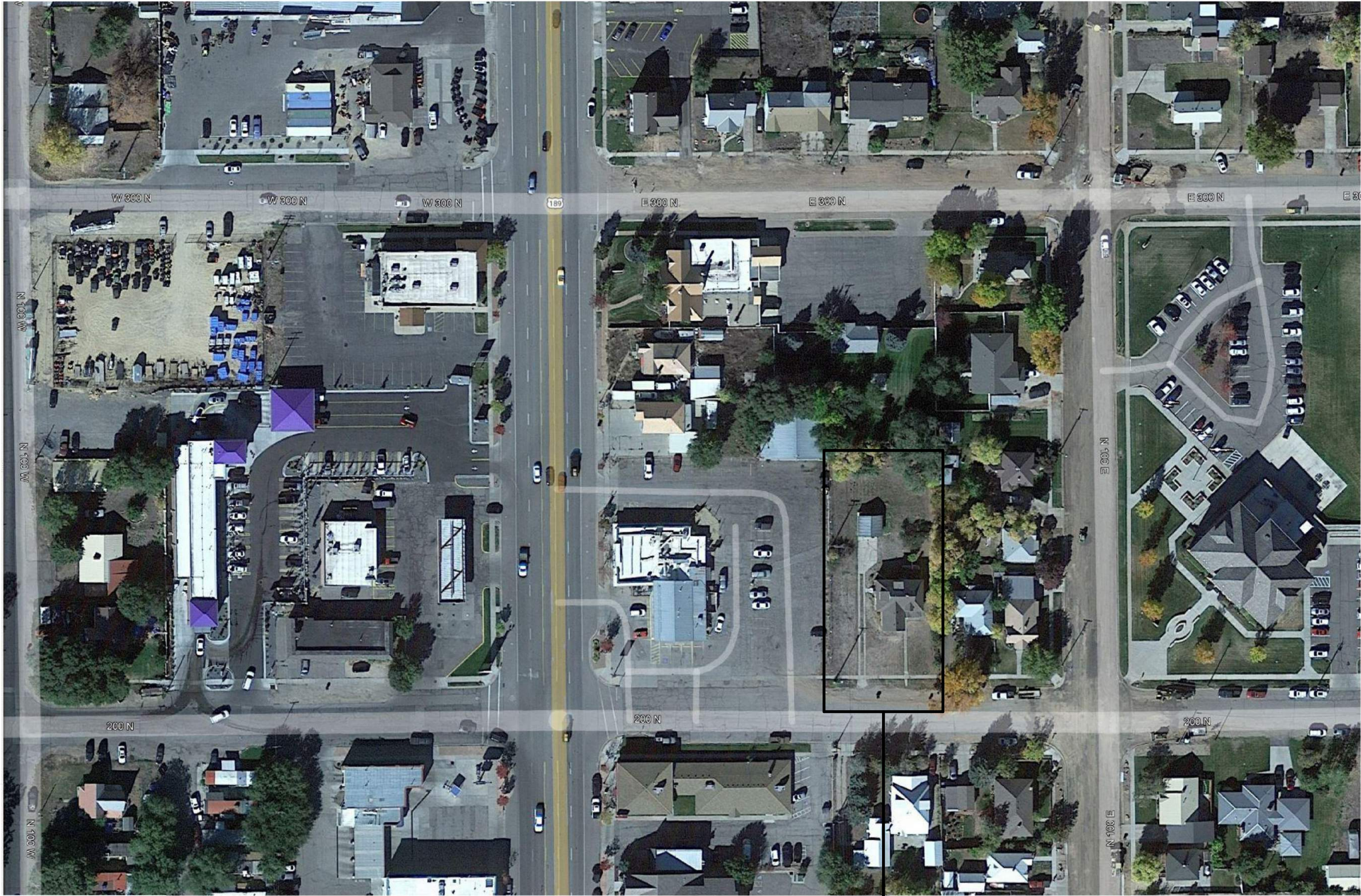
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PHOTOMETRIC
DETAILS

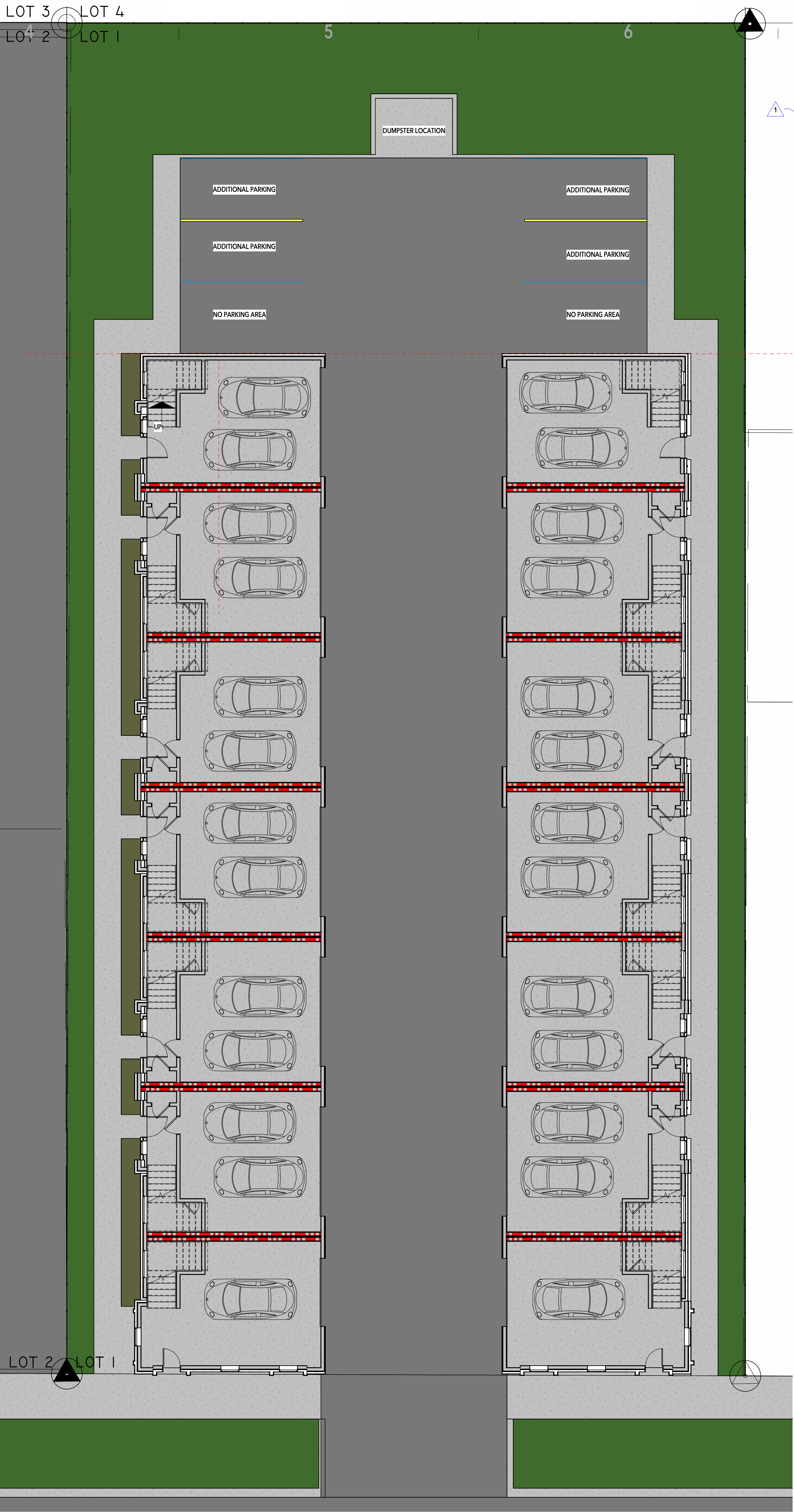
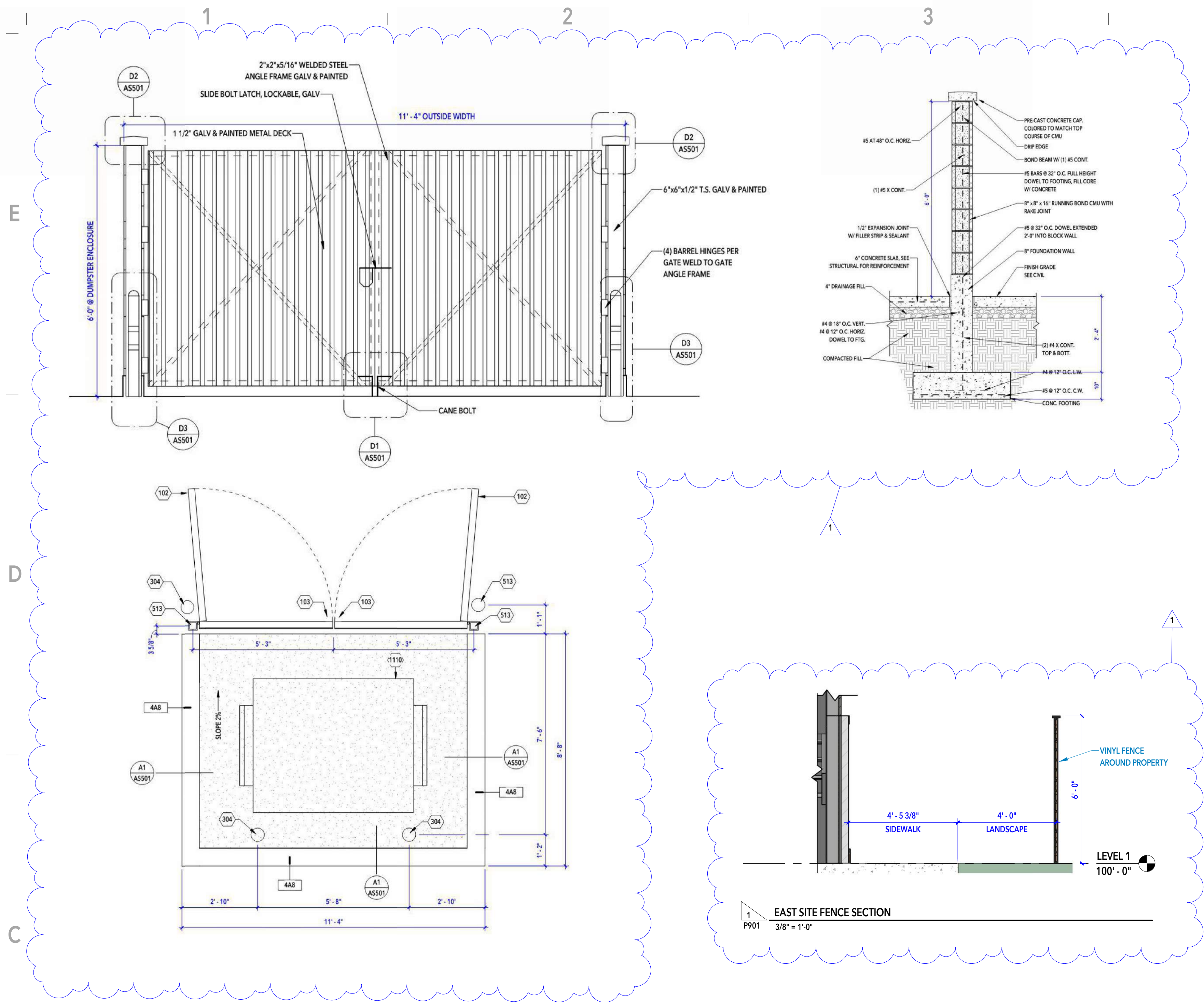
ES002

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SITE LOCATION



PROJECT INFORMATION

- 14 TOWNHOMES
- 0.46 ACRE
- 20% LANDSCAPING
- 1. INCLUDING
 - A. COMINATION OF TREES, FLOWER BEDS, SHRUBBERY, LAWN, BOULDERS, PLANTED BEAMS AND MOUNDS
 - B. RIGHT OF WAY LANDSCAPE WITH GRASS AND TREES EVERY 30 FEET.
 - C. TREES AT LEAST 2" CALIPER, SHRUBBERY AT LEAST 2 GALLON PER PLANT.
 - D. AUTOMATIC IRRIGATION OR USE OF EXISTING CULINARY SYSTEM
- 41% OPEN SPACE
- GARAGE FOR TOWN HOMES

HEBER 67 EAST TOWNHOMES
67 EAST 200 NORTH
HEBER, UT 84032

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DEVELOPER APPROVAL

ISSUE DATE
08.20.2024

SITE PLAN

SHEET

P901

| DRAWN BY | |
|-----------|-------------------|
| RY | |
| MARK | ISSUE DESCRIPTION |
| REV. DATE | REV. DESCRIPTION |
| 1 | PLANNING COMMENTS |

7585 S UNION PARK AVE., STE 100
SANDY, UT 84071
PHONE: 801.996.3666
www.bouldermint.com

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HEBER 67 EAST TOWNHOMES
67 EAST 200 NORTH
HEBER, UT 84032

DEVELOPED APPROVAL

ISSUE DATE
08.20.2024

3D VIEWS

SHEET

P907



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| EXTERIOR MATERIALS BY ORIENTATION | | | | |
|-----------------------------------|------------------------------|---------|-----------|------|
| WALL ORIENTATION | MATERIAL | CALLOUT | AREA | % |
| EAST 1 | | | | |
| EAST 1 | BRICK - HARVEST BROWN | BR-01 | 344 SF | 9% |
| EAST 1 | EIFS - GREY | EF-01 | 2,488 SF | 66% |
| EAST 1 | STANDING SEAM METAL | SS-01 | 912 SF | 24% |
| | | | 3,743 SF | 100% |
| NORTH 1 | | | | |
| NORTH 1 | BRICK - HARVEST BROWN | BR-01 | 233 SF | 28% |
| NORTH 1 | HARDIE BOARD VERTICAL SIDING | HB-02 | 50 SF | 6% |
| NORTH 1 | WOOD SIDING - MOUNTAIN OAK | CC-01 | 562 SF | 66% |
| | | | 845 SF | 100% |
| SOUTH 1 | | | | |
| SOUTH 1 | BRICK - HARVEST BROWN | BR-01 | 1,174 SF | 64% |
| SOUTH 1 | BRICK - IRON MOUNTAIN | BR-02 | 340 SF | 18% |
| SOUTH 1 | WOOD SIDING - MOUNTAIN OAK | CC-01 | 331 SF | 18% |
| | | | 1,845 SF | 100% |
| WEST 1 | | | | |
| WEST 1 | BRICK - HARVEST BROWN | BR-01 | 1,860 SF | 43% |
| WEST 1 | BRICK - IRON MOUNTAIN | BR-02 | 860 SF | 20% |
| WEST 1 | HARDIE BOARD VERTICAL SIDING | HB-02 | 296 SF | 7% |
| WEST 1 | WOOD SIDING - MOUNTAIN OAK | CC-01 | 1,279 SF | 30% |
| | | | 4,294 SF | 100% |
| APPROXIMATE TOTAL S.F. | | | 10,729 SF | |

| DRAWN BY | |
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| RY | |
| REV. DATE | REV. DESCRIPTION |
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67 EAST 200 NORTH
HEBER, UT 84032

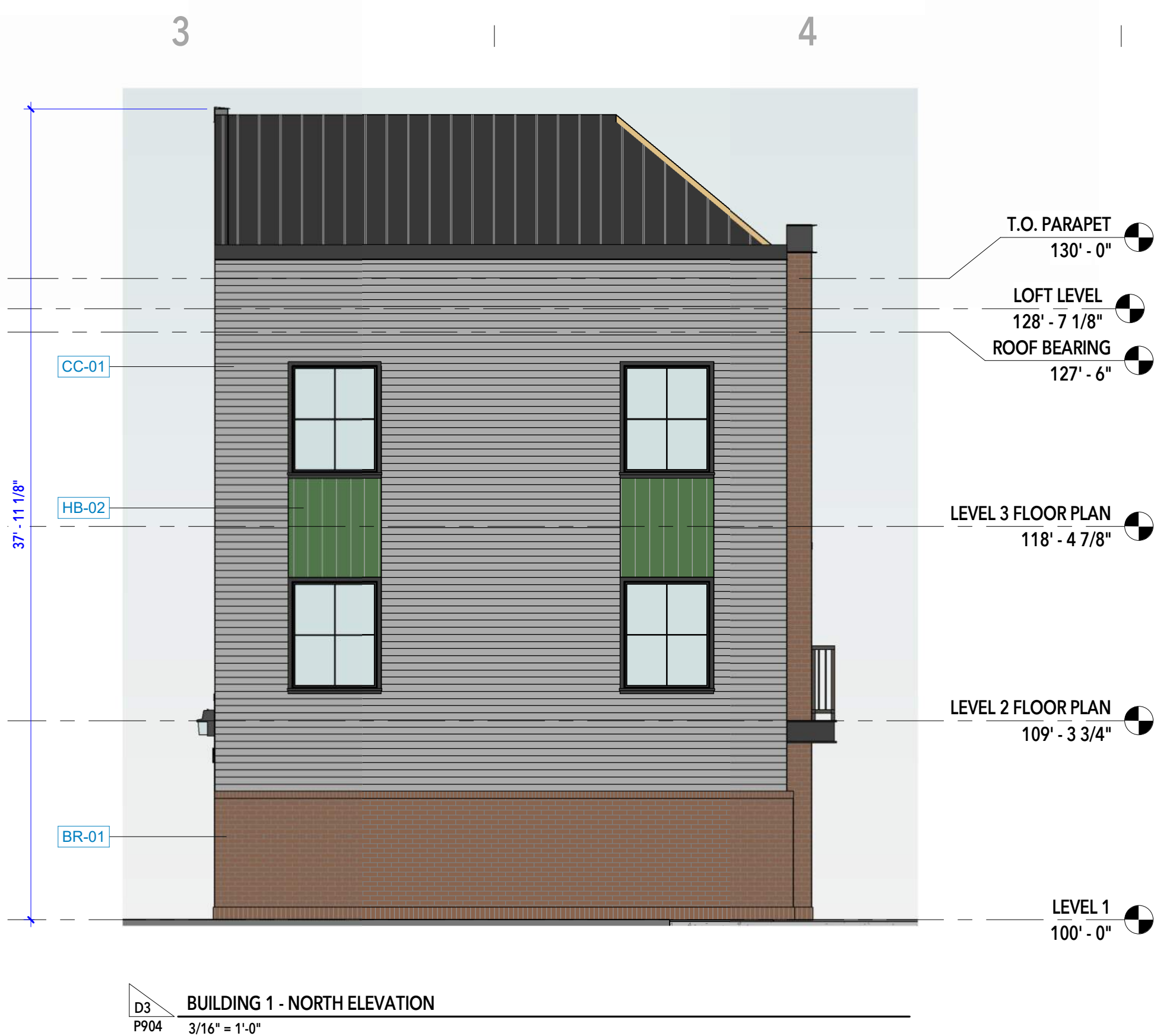
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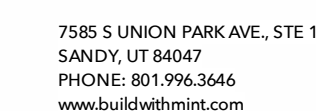
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ISSUE DATE
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BUILDING 1 -
ELEVATIONS

SHEET



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67 EAST 200 NORTH
HEBER, UT 84032

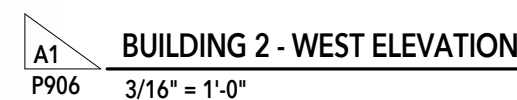
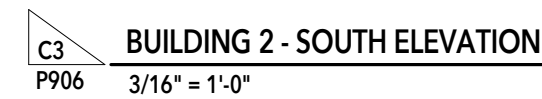
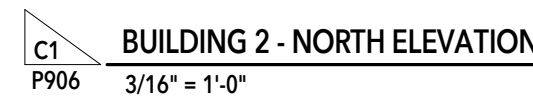
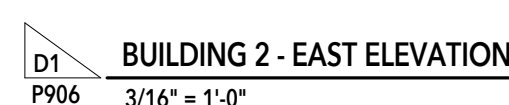
BUILDING 2 - ELEVATIONS

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|-------|-------------------|
| SHEET | ISSUE DATE |
| | 08.20.2024 |

DEVELOPER APPROVAL _____

SIGNATURE DATE

P906



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BUILDING 2 - ELEVATIONS

SHEET

P906

Page 81 of 81

DEVELOPER APPROVAL

ISSUE DATE

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BUILDING 2 - ELEVATIONS

SHEET

P906