

Chairman  
JAN YOUNG

City Attorney  
ERIC JOHNSON

Administrative Director  
NICK TATTON

City Recorder  
JACI ADAMS



185 East Main - P.O. BOX 893 - PRICE, UT 84501  
PHONE (435) 636-3184 - Fax (435) 637-2905  
www.pricecityutah.com

**PRICE CITY  
PLANNING AND ZONING COMMISSION**

**Commission**

JUDY BEACCO  
DAVID BLACK  
KYLE HEFFERNAN  
RICHARD ROOT  
RENEE SWINBURNE  
TODD THORNE  
JAN YOUNG  
ERROLL HOLT, ALT.  
CHRIS WOOD, ALT.

**PLANNING AND ZONING AGENDA  
8/25/2025 5:00:00 PM**

**THE PRICE CITY PLANNING AND ZONING COMMISSION WILL HOLD THEIR REGULARLY SCHEDULED MEETING ON THE ABOVE DATE AT 5:00 PM IN THE PRICE CITY HALL COUNCIL CHAMBERS (ROOM 104). THE PLANNING AND ZONING COMMISSION CHAIRMAN RESERVES THE RIGHT TO MODIFY THE SEQUENCE OF AGENDA ITEMS IN ORDER TO FACILITATE SPECIAL NEEDS.**

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. SAFETY SECONDS – Commissioner Wood
4. MINUTES
  - a. MINUTES for July 21, 2025.
5. PUBLIC COMMENT ON AGENDA ITEMS
6. GENERAL BUSINESS
7. CONDITIONAL USE PERMIT
  - a. SITE PLAN AMENDMENT. Consideration and possible approval of a site plan amendment to add an EV charging kiosk location to the Taco Bell site at 120 N Carbonville Road within the commercial 1 zoning district, Ken Takada, Rivian EV Vehicles.
8. UNFINISHED BUSINESS

**PRICE CITY PLANNING AND ZONING REGULAR MEETING  
MINUTES OF JULY 21, 2025**

**PRESENT:**

**Commissioners:**

**Judy Beacco**

**David Black**

**Kyle Heffernan**

**Richard Root**

**Renee Swinburne**

**Chris Wood**

**Jan Young**

**Jaci Adams, City Recorder**

**Miles Nelson, Public Works Director**

**EXCUSED:** Commissioner Holt, Commissioner Thorne, Nick Tatton, Administrative Director

**STAFF/OTHERS:** See Public Meeting Sign-In Sheet

**1. PLEDGE OF ALLEGIANCE**

Chair Young called the meeting to order at 5:00 p.m. Chair Young led the Pledge of Allegiance.

**2. ROLL CALL**

Roll was called with the above Commissioners and staff present.

**3. SAFETY SECONDS**

Chair Young reminded everyone to be safe during summer recreation activities, such as wearing the appropriate equipment; helmets, life jackets, etc.

**4. MINUTES of 04-21-2025.**

**MOTION.** Commissioner Black moved to approve the minutes for 04-21-2025. Commissioner Root seconded and motion carried.

**5. CONDITIONAL USE PERMIT**

**a. MEDICAL AND TRADITIONAL SALON SERVICES LAND USE.** Consideration and possible approval of a medical and traditional salon services land use at 248 S Highway 55 (Main Street) within the Commercial 1 zone district, Revive N Thrive, Tiffany Noyes and Ailese Curtis.

The Commissioners thoroughly discussed the land use for a medical and traditional salon services at 248 S Highway 55 (Main Street) for Revive N Thrive with Tiffany Noyes and Ailese Curtis. Discussion was held regarding the type of services that would be offered such as; IV Therapy, injections, hydra facials, etc. The medication

on site will be vitamins and supplements, which will be locked up and disposed of correctly, there will be 2-3 employees, it is ADA accessible with plenty of parking. Chair Young reviewed the Code sections and read aloud the below conditions for final approval for the land uses identified by the applicants.

- ☐ Exterior lighting during all dark hours when accessed by owners, employees or customers finding that lighted ingress/egress mitigates the potential for accidents. Exterior lighting to be high efficiency LED fixtures.
- ☐ Installation of a minimum of five percent (5%) area landscaping as the site will allow/accommodate. Water wise landscaping requested.
- ☐ Garbage dumpster in an enclosure with a hard surface and a service and capacity to prevent accumulations or wind scatter of garbage, rubbish and debris.
- ☐ Not less than five (5) off-street parking spaces required.
- ☐ Business signage to be submitted, reviewed and approved by the Price City Planning Department prior to installation.
- ☐ Complete a building safety inspection with the Building Inspector and the Price City Fire Chief and compliance with all recommendations stemming from a courtesy inspection. Obtain a building permit and all construction under the auspices of a building permit and inspection, if any. Contact the Carbon County Building Department at 435-636-3260.
- ☐ Restrictions:
  - ☐ No land uses other than (1) medical clinics, a conditional land use based on Section 11.3.5.26 of the Code; (2) professional health care offices, a permitted use based on Section 11.3.5.32 of the Code; and, (3) beauty and barber shops, a permitted use based on Section 11.3.58 of the Code. Specifically, no pharmacy land use permitted. No land uses that may require a sampling manhole or grease trap for protection of the waste water system. Maintain appropriate and required DOPL licensing for employees and providers operating from the site. No medical outpatient or inpatient services permitted. Medical oriented salon services only.
  - ☐ No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.

**ACCEPTANCE:** The applicants acknowledged that they are aware of the conditions of approval, understands the conditions of approval and intends to comply with the conditions of approval.

#### **MOTION.**

Commissioner Root moved to approve the medical and traditional salon services land use at 248 S Hwy 55 (Main Street) within the Commercial 1 zone district, Revive and Thrive. Commissioner Heffernan seconded and motion carried.

## **6. GENERAL BUSINESS/DISCUSSION**

**a. INTRODUCTIONS.** Miles Nelson, Price City Public Works Director, will introduce John Boyd, Price City Project Manager and Justin Orth, Deputy Public Works Director to the Planning Commission.

Miles Nelson, Public Works Director introduced John Boyd and Justin Orth to the Planning and Zoning Commission as the newly hired Project Manager and Deputy Public Works Director. He also highlighted specific duties they would be looking over. The Planning and Zoning Commission also welcomed them.

**b. CLG COMMITTEE.** Convene as the Certified Local Government (CLG) Committee.

Chair Young asked for a motion to recess the regular Planning and Zoning meeting.

### **MOTION.**

Commissioner Swinburne moved to recess the regular Planning and Zoning meeting at 5:17 p.m. Commissioner Black seconded and motion carried.

### **MOTION.**

Commissioner Root moved to convene as the Certified Local Government (CLG) Committee at 5:18 p.m. Commissioner Beacco seconded and motion carried.

The Commission briefly discussed the CLG program. Since there was no business to discuss as the Certified Local Government Committee, Chair Young asked for a motion to recess the CLG Committee.

### **MOTION.**

Commissioner Wood moved to close the Certified Local Government (CLG) Committee at 5:19 p.m. Commissioner Heffernan seconded and motion carried.

### **MOTION.**

Commissioner Swinburne moved to reconvene the regular Planning and Zoning meeting at 5:19 p.m. Commissioner Black seconded and motion carried.

## **7. PUBLIC COMMENT ON AGENDA ITEMS**

No public comment was received or reported.

## **8. UNFINISHED BUSINESS**

No unfinished business was discussed or reported.

Chair Young asked for a motion to close the regular Planning and Zoning meeting.

**MOTION.** Commissioner Root moved to close the regular Planning and Zoning meeting. Commissioner Beacco seconded and motion carried.



**The regular Planning and Zoning meeting was adjourned at 5:20 p.m.**

**APPROVED:** \_\_\_\_\_  
**Chair, Jan Young**

**ATTEST:** \_\_\_\_\_  
**City Recorder, Jaci Adams**

DRAFT



PRICE MUNICIPAL CORPORATION  
185 EAST MAIN • P.O. BOX 893 • PRICE, UT 84501  
PHONE (435) 637-5010 • FAX (435) 637-2905


**CHAIR**  
JAN YOUNG

**COMMISSIONERS**

DALE EVANS  
JUDY BEACCO  
TODD THORNE  
RICHARD ROOT  
JADE POWELL  
DAVID BLACK  
ALTERNATE: DANIEL HINCKLEY  
ALTERNATE: ERROLL HOLT

**DATE:** JULY 30<sup>TH</sup>, 2025

**TO:** PRICE CITY PLANNING AND ZONING COMMISSION

**FROM:** NICK TATTON 

**RE:** CUP – SITE PLAN AMENDMENT, ADD EV CHARGING

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Please find attached a Conditional Use Permit (CUP) application submitted by Justin Boston to amend the site plan and add electric vehicle charging kiosks to the existing land use (restaurant) at 120 N Carbonville Road within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria are listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is identified in Section 11.1.m of the Code. The land use is electric vehicle charging, a Conditional Use, based on Section 11.6.15.5 of the Code.

Please discuss the application, land uses, restrictions and conditions of approval with the applicant. It is the recommendation of staff to provide final approval for the CUP for the site plan amendment.

**RECOMMENDED MOTION(S):**

Move to authorize final approval of a Conditional Use Permit (CUP) to amend the site plan and add electric vehicle charging kiosks to the existing land use (restaurant) at 120 N Carbonville Road within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria are listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is identified in Section 11.1.m of the Code with the land use of electric vehicle charging, a Conditional Use, based on Section 11.6.15.5 of the Code and subject to the following conditions of approval:

1. Exterior lighting during all dark hours when accessed by owners, employees or customers finding that lighted ingress/egress mitigates the potential for accidents. Exterior lighting to be high efficiency LED fixtures.
2. Maintain a minimum of five percent (5%) area landscaping. Water wise landscaping requested.
3. Signage to be reviewed and approved by the Price City Planning Department prior to installation finding that reviewed signage provides for community consistency and Code compliance.
4. Obtain a building permit and all construction/installation under the auspices of a building permit and inspection. Contact the Carbon County Building Department at 435-636-3260.

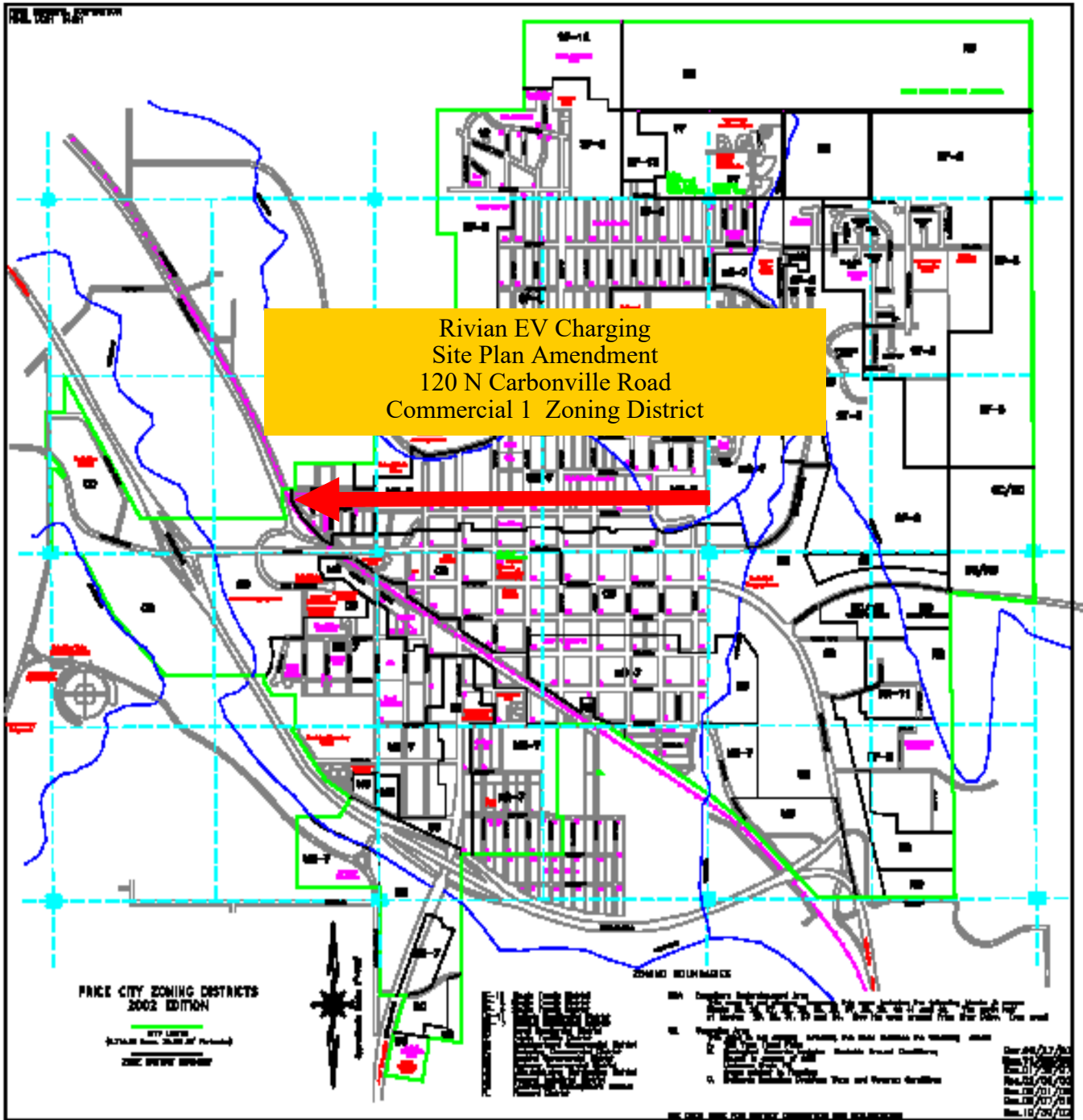
5. Complete a public infrastructure development agreement with the Price City Public Works Department, if required, and submission of any financial surety required. Repair and replace any public infrastructure or utility infrastructure damaged or necessary for construction/installation of the electric vehicle charging kiosks on the site.
6. Obtain a Price City business license for operation of the electric vehicle charging kiosks prior to commercial operation.
7. Electrical Specific Requirements:
  - a. Payment to Price City in an amount of one-hundred twenty-five percent (125%) of the Rocky Mountain Power cost estimate for electrical system connection requirements prior to commencement of any site work. True-up of final cost for electrical system work and connection and refund or additional billing from Price City.
  - b. All connections to the Price City electrical system to be metered for billing purposes, provision of all necessary metering and billing information to Price City prior to meter installation and operation of the electric vehicle charging kiosks.
  - c. All electrical connections to be as indicated on the submitted plans and as directed or further directed by the Price City electric department. Specific electrical connection requirements:
    - i. Excavation for and installation of (2) 6-inch PVC conduits from existing utility sectionalizing cabinet at intersection at West 100 North and Carbonville Road to the existing utility sectionalizing cabinet located in Front of the KFC Restaurant at 130 North Carbonville Road. See note after item #4.
    - ii. Excavation for a new 12 position utility sectionalizing cabinet and basement with the new 6-inch lines from Item #1 on the south side of the north driveway for the Tacobell Restaurant at 120 North Carbonville Road. See note after item #4.
    - iii. Excavation for and installation of (2) 4-inch PVC conduits from proposed utility sectionalizing cabinet near Carbonville Road to, and including, the required transformer vault (provided and installed by the developer) for the development electrical service. See note after item #4.
    - iv. Excavation for and installation of (6) 4-inch PVC conduits from proposed utility transformer vault to the electrical service switchgear (provided and installed by the developer). All elbows must be wide sweep and medium weight fiberglass.
    - v. ***NOTE: All elbows must be wide sweep and medium or heavy weight(duty) fiberglass. Elbows and conduit ends within the sectionalizing cabinets and switchgear must have end bell fittings installed. Conduit ends within the transformer vault must have appropriate fittings, ends, or treatments done or installed to prevent damage to the conductors. The transformer vault must have a drain or means for water to leave the vault by natural forces and the excavation prepared such that any water that leaves the vault can drain away so there will be no standing water within the vault under normal and typical circumstances and weather events. Flat braided wire pulling rope or "Mule tape" rated at a minimum of 1200 lbs. Must be installed in each conduit and tied off at each open end with a minimum of 15 feet of extra line out each end of the conduit. The excavation and backfill for all conduit, sectionalizer cabinets, and the transformer vault must meet the requirements in the PacifiCorp Policy 242 manual which Price City has voluntarily adopted and enforces. All Underground conduit must be inspected by a Price City Electrical Utility Infrastructure Employee prior to backfill. After a backfill of 12 to 18 inches deep has been placed over***

***the conduit, a metallic or traceable warning tape must be installed and inspected again by a Price City Electrical Utility Infrastructure Employee before any further backfill and grade may be done. Ends of any HDPE conduit installed must be properly prepared and chamfered to prevent snags and conductor damage then inspected by a Price City Electrical Utility Infrastructure Employee prior to making connections to any other conduits. Transitions from HDPE to any other type of conduit must be done using the appropriate connectors and must also be inspected prior to backfill.***

- vi. Installation of switchgear with included electrical service disconnect and provisions for the installation of current transformers for metering. A 13-jaw meter socket and enclosure with provisions for the installation of a metering test-switch must be installed on the exterior of the switchgear and include a 1-inch chase, no more than 12 inches in length, from the meter socket enclosure to the current transformer section of the switchgear. A concrete sidewalk or pad that meets ADA and other regulatory width and depth requirements for access, working area, and safety is required in front of the meter socket and the door side of the switchgear and must be kept clear of any obstacles, obstructions, and hazards for personnel access. All utility meters, and disconnect points must be accessible to emergency services and utility personnel at all times day and night all year round without having to enter fenced or walled in areas, going through any part of a building (interior or exterior) or having to unlock locks or other securing means put in place by anyone other than utility personnel. The switchgear and electrical service installation shall meet the requirements of the Rocky Mountain Power 2022 Electrical Service Requirements Manual which Price City has voluntarily adopted and enforces and any other currently enforced local, State, and Federal requirements and regulations.

8. Restrictions:

- a. No new ingress or egress from site, no new vehicle or pedestrian traffic patterns permitted finding that existing vehicle and pedestrian traffic patterns serve to mitigate potential accidents.
  - b. No changes to existing storm water management on site finding that existing storm water flows and management serve to prevent flooding.
  - c. No changes to garbage dumpster enclosure location and service frequency and capacity finding that existing garbage enclosures serves to prevent accumulations or wind scatter of garbage, rubbish and debris.
  - d. No changes to existing off-street parking not utilized for the addition of the electric vehicle charging kiosks.
  - e. No placement of any electric vehicle charging kiosk equipment, materials, infrastructure or appurtenances within the UDOT right of way.
9. No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.
10. Move to acknowledge that the applicant is aware of the conditions of approval, understands the conditions of approval and intends to comply with the conditions of approval.





Dewberry Engineers Inc. | 919.881.9939  
2610 Wycliff Road, Suite 410 | 919.881.9923 fax  
Raleigh, NC 27607-3073 | www.dewberry.com

July 16, 2025

Price, UT, Community Development Dept  
Atten: Nick Tatton  
185 East Main St  
Price, UT 84501

**SUBJ: Conditional Use Permit Application for Electric Vehicle Charging Station**  
**Site Address: 120 N. Carbonville Rd, Price, UT 84501 / Parcel ID: 01-2657-0003**  
**Applicant: Rivian, LLC**  
**Applicant's Site Name: Rivian\_Price, UT, Carbonville Rd**

Dear Nick:

Reference is made to the above-mentioned project, Rivian's proposed electric vehicle charging station at 120 N. Carbonville Rd, Price, UT 84501 / Parcel ID: 01-2657-0003. Enclosed please find Rivian's Conditional Use Permit Application with the following supporting documents:

- a) Completed Application form
- b) Copy of permit fee receipt
- c) Project Narrative
- d) Letter of Authorization
- e) (2) Hard copies of the site development plans.
- f) Copy of the electrical Load sheet.

If you have any question, please contact me at Phone: 919.539.4338 /Email: lmccarthy@dewberry.com.

Sincerely,

A handwritten signature in blue ink that reads "Lloyd McCarthy". The signature is written in a cursive, flowing style.

Lloyd McCarthy  
Dewberry Engineers For the Applicants  
C 919.539.4338 /Email: lmccarthy@dewberry.com

McCarthy. Lloyd

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**From:** PRICE CITY (via Clover) <app@clover.com>  
**Sent:** Thursday, July 10, 2025 3:53 PM  
**To:** Shearin, Kaitlin  
**Subject:** Your receipt from PRICE CITY

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**PRICE CITY**

185 E MAIN ST, PRICE, UT 84501  
+1 435-636-3161

July 10, 2025 - 1:50 PM

**\$200.00**

full transaction receipt

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Fee: \$200



## CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)  
☒ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept  
☐ Preliminary  
☒ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information		[Contacts]			
1. Applicant's Name: Rivian, LLC ("Rivian")		2. Title: Ken Takada/ kentakada@rivian.com / Lloyd McCarthy/ lmccarthy@dewberry.com			
3. Applicant's Mailing Address: C/o Dewberry Engineers, Applicants' Agent 2610 Wycliff Road		4. Suite/Apt. No.: 410			
5. City: Raleigh	6. State: NC	7. Zip Code: 27607			
8. County: Wake		9. Telephone: ( 805 ) 234-6610 / (919) 539-4338			
Project Information					
10. Name of Project (Business): Rivian - Price, UT - EV Charging Station					
11. Address of Proposed Project: 120 Carbonville Road, Price, UT 84501					
12. Zone District (see attached zoning map): C1 - GENERAL COMMERCIAL DISTRICT					
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)					
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input checked="" type="checkbox"/> Excavation <input checked="" type="checkbox"/> Fill Work <input type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input checked="" type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition		
17. Quarter Section(s): SW4 - SE4	18. Section(s): 17	19. Township(s): 14 SOUTH	20. Range(s) & Base: 10 EAST		
21. Estimated Cost of Project: a) Site Work \$ _____ b) Buildings \$ _____ c) Other \$ 171,313 Total \$ 171,313		22. Electrical Load Sheet: (Attach preliminary and final to application)		23. Project Plans: <input checked="" type="checkbox"/> Plans Included <input checked="" type="checkbox"/> Attachments (Number) 3	



<b>24. Brief Description of Project:</b>		
PROPOSED RIVIAN ELECTRIC VEHICLE CHARGING STATION INSTALLED ON THE PERMETER OF THE EXISTING TACO BELL		
PARKING LOT WHICH INCLUDES THE INSTALLATION OF (1) PAD MOUNTED UTILITY TRANSFORMER, (1) 1600A SERVICE		
SWITCHBOARD, (3) RIVIAN POWER CABINETS, AND (6) RIVIAN LEVEL 3 DC FAST CHARGING DISPENSERS		
<b>25. Justification (Explain why this project is needed):</b>		
THIS PROJECT IS NEEDED TO PROVIDE A VALUABLE AMENITY FOR PUBLIC EV OWNERS TO CHARGE THEIR VEHICLES		
<b>26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:</b>		
<b>NAME</b>	<b>ADDRESS (City, ST, Zip)</b>	<b>TELEPHONE</b>
1. QUALITY DISTRIBUTING COMPANY	5544 GREEN STREET MURRY, UT 84123	(    )
2. CIRCLE K CHEVRON LLC	PO BOX 700 PRICE, UT 84501	(    )
3. JN UNLIMITED LLC	PO BOX 1503 HUNTINGTON, UT 84528	(    )
<b>27. Estimated Starting Date:</b> 09 / 29 / 2025	<b>28. Estimated Completion Date:</b> 10 / 31 / 2025	<b>29. Has P.R.W.I.D. Sewer Survey Been Submitted?</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> </div> <div style="width: 45%; text-align: right;"> <b>7/8/2025</b> </div> </div>		
Signature of Property Owner JOHN ROSE		Date PROPERTY OWNER
Please Print Name		Title
<div style="text-align: center;"><b>Office Use Only</b></div> <b>Recommendation of Planning and Zoning Administrator (Community Director):</b> <input type="checkbox"/> Approve <input type="checkbox"/> Decline <b>Comments:</b>    		
Signature: _____ Date: _____		
<b>Requires:</b> <input type="checkbox"/> Building Permit <input type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Code Amendment <input type="checkbox"/> Board of Adjustments Variance <input type="checkbox"/> Flood Plain Development Permit <input type="checkbox"/> Other: _____		

## **SITE PLAN**

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.

July 15, 2025

CITY OF PRICE, UT  
BEFORE THE PLANNING COMMISSION

CONDITIONAL USE PERMIT APPLICATION FOR ELECTRIC VEHICLE CHARGING STATION ("EVCS")  
120 N. Carbonville Rd, Price, UT 84501 / Parcel ID: 01-2657-0003

RIVIAN, EVCS Developer/ Applicant  
Gen2 Utah Properties LLC, Property Owner  
Dewberry Engineers, Inc, Applicants' Agent

**Project Narrative**

RIVIAN and Gen2 Utah Properties LLC (Applicants), seeks Conditional Use Approval from the City of Price, UT, Planning Commission, for the installation of an electric vehicle charging station in the city's jurisdiction. The proposed site is in an existing parking lot, part of an existing commercial use property at 120 N Carbonville Rd, Price, UT 84501.

Rivian's proposed Charging station is extremely important for electric vehicle charging conveniently, abundantly, and reliably for all owners—current and future. Consistent with this goal, it is a high priority for the Applicants to install the electric vehicle charging facility in the location proposed.

In support of the application, Applicants respectfully provide and states the following:

**1. Applicants' Authority—Property Owner Authorization.**

Gen2 Utah Properties LLC is the property owner. Gen2 Utah Properties LLC has duly authorized and appointed Rivian and/or Dewberry Engineers Inc. ("Dewberry") and their employees, agents, and contractors, as Owner's Agent for the purpose of filing and completing any approval or application necessary to ensure its ability to use and/or construct the necessary improvements to the property for the purpose of installing the proposed electric vehicle charging facility. A copy of the applicants' authority and property owner's authorization is attached as **Exhibit A**.

**2. Site Description--Location, Existing Use and Zoning District**

The site is located approximately 200 feet Northeast of the intersection of University Blvd and Carbonville Road, having an address of 120 N. Carbonville Rd, Price, UT 84501 / PID01-2657-0003. According to the city's Zoning Map, the site is in the C 1- General Commercial District. Existing and other nearby uses are also commercial. Hence, Applicants proposed EVCS facility is consistent with the existing use of the property, adjoining uses, and the zoning district. The proposed EVCS is compatible with the current use, property conditions and will contribute to meeting the purpose and intent of the zoning district--Its design objectives and development standards. Maps describing the site are attached as **Exhibit B**.



### **3. Compatibility with the Price City General Plan and 21<sup>st</sup> Century Community Plan**

Applicants proposed electric vehicle charging station will not conflict with the Price City General Plan (2023). The proposed EVCS facility is in the Community Commercial (CC) zone of the city, which includes the C-1 Zoning District, in which general shopping facilities and commercial and service uses are allowed. Furthermore, the site is adjacent to major streets where the service offered by the EVCS is compatible. The site's location in the CC- Community Commercial land use district is **shown in Exhibit C**.

The Applicants reviewed and found no elements of the "Price City 21st Century Community" plan that would be impacted by the project. Applicants however notes that the city's present and emerging demands for Electric Vehicles infrastructure is not specifically considered in the city's 21<sup>st</sup> Century Community strategy or in the General Plan.

### **4. Scope of Work—Electric Vehicle Charging Facility**

Applicants proposed electrical vehicle charging station will be comprised of the following:

- i. One (1) Pad Mounted Utility Transformer
- ii. One(1) 1600A, 277/480V Service Switchboard,
- iii. Three (3) Power Cabinets
- iv. Six(6) Level 3 DCFC Dispensers

The project's scope of work is stated and illustrated in the site development plans provided with the application.

### **5. Construction Plans ("Site Development Plans")**

Applicants provide a full set of scaled site development plans, signed, and sealed by State of Utah licensed engineer, Hugo W. Justiniano, attesting that the site is designed according to the requirements of the applicable state law and relevant regulations. The site development plans illustrate the location of the site, its design, and construction details. Such are depicted in the plans as follows:

- i. Site Plan, Sheet C-1.
- ii. Existing Conditions Plan, Sheet C-2.
- iii. Detailed Parking Plan, Sheet C-3
- iv. Detailed Equipment Plan & Elevations, Sheets C-4
- v. Construction Details, Sheets C-5 & C-6
- vi. Electrical One-Line Diagram, Sheet E-1.
- vii. Electrical Details, Sheets E-2 to E-4.

Equipment to be installed are depicted in the plans on sheet E-3 and C-5.

## 6. Site's Capability to Accommodate Proposed Use

The construction of a new building is not proposed with this EVCS application. No additional access/egress is required are proposed for the site. As indicated in the site development plans, the EV charging stalls will be placed in an existing parking area of the property. Therefore the EVCS will not negatively impact the function and design of any right-of-way adjacent to the property.

## 7. Site's Design and Arrangement

Applicant's EVCS installation in the location proposed will neither alter the design and arrangement of any buildings on the property nor will it cause any meaningful change with the open spaces of the site. Furthermore, it will remain consistent with the existing character, use, planning, and design arrangements of the area.

## 8. Estimated Project Valuation:

Applicants' estimated project cost is One Hundred and Seventy-One Thousand, Three Hundred and Thirteen Dollars (\$171,313.00).

## 9. Additional Information

Correspondences and requests for additional information regarding the application should be addressed to:

Dewberry Engineers Atten: Lloyd McCarthy 2610 Wycliff Road, Suite 410 Raleigh, NC 27607-3073 Phone: 919.539.4338 Email: lmccarthy@Dewberry.com	RIVIAN Atten: Ken Takada 220 Stonebridge Drive Columbia, SC 29210 Email: kentakada@rivian.com
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## 10. Applicants' Certification and Trust

Applicants acknowledge by the signature below that all representations made by the Applicants during the application process, whether written or verbal, shall be considered as a part of the application. Therefore such representations may be relied upon in good faith by the city and its staff.

Respectfully submitted,



Lloyd McCarthy, BCP, MA  
For the Applicants

**EXHIBITS LIST**

EXHIBIT	A	Property Owner's Letter of Authorization
EXHIBIT	B	Maps Describing the Site
EXHIBIT	C	Map of Site in the CC- Community Commercial Land Use District

EXHIBIT A

Owner's Authorization Letter

June 17, 2025

Price City-Community Development  
Atten: Nick Tatton, Director  
185 East Main Street  
Price, UT 84501

**LETTER OF AUTHORIZATION**

**APPLICATION FOR SITE PLAN/ZONING/USE/BUILDING/ELECTRICAL PERMIT**

The undersigned, John Rose, Real Estate Manager, owner of the below described Property ("Owner"), does hereby appoint **Rivian** and/or **Dewberry Engineers Inc. (Dewberry)** and their employees, agents and contractors, as Owner's agent for the purpose of filing and completing any approval or application necessary to ensure its ability to use and/or construct improvements to the Property leased or licensed to it for the purpose of installing an electric car charging facility and for constructing or installing charging stations and related equipment on the Property as Rivian Inc. may require for its electric car charging system. I understand that the application may be denied, modified or approved with conditions and that those conditions or modifications must be complied with prior to issuance of building permits. Owner hereby authorizes the employees of the city and the county to enter upon the Property during normal business hours as necessary to inspect the Property for the purpose of processing this application. **Rivian and/or Dewberry** will be responsible for all costs, fees and expenses incurred in securing any approval.


Property Located at: 120 Carbonville Rd, Price, UT 84501/ PID:01-2657-0003 ("Property")

Owner's Name (print): GEN2 UTAH PROPERTIES LLC

Owner's Address: 3845 STOCKTON HILL ROAD, KINGMAN AZ 86409

Owner's Phone number/email address: (480)322-3822, johnrose@ddofoods.com

Signature (and title, if applicable) of Property Owner:

By: 

Title: Real Estate Manager

Date Executed: July 8, 2025

Site Name: Rivian\_Price, UT



ACKNOWLEDGEMENT

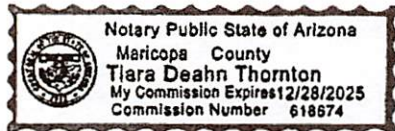
STATE OF Arizona )

: ss.

City/County of Phoenix/Maricopa )

On the 8<sup>th</sup> day of July, 2025, before me, the undersigned Notary Public, personally appeared John Rose, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that s/he executed the same.

IN WITNESS WHEREOF, I have set my hand and seal the day and year as above written.



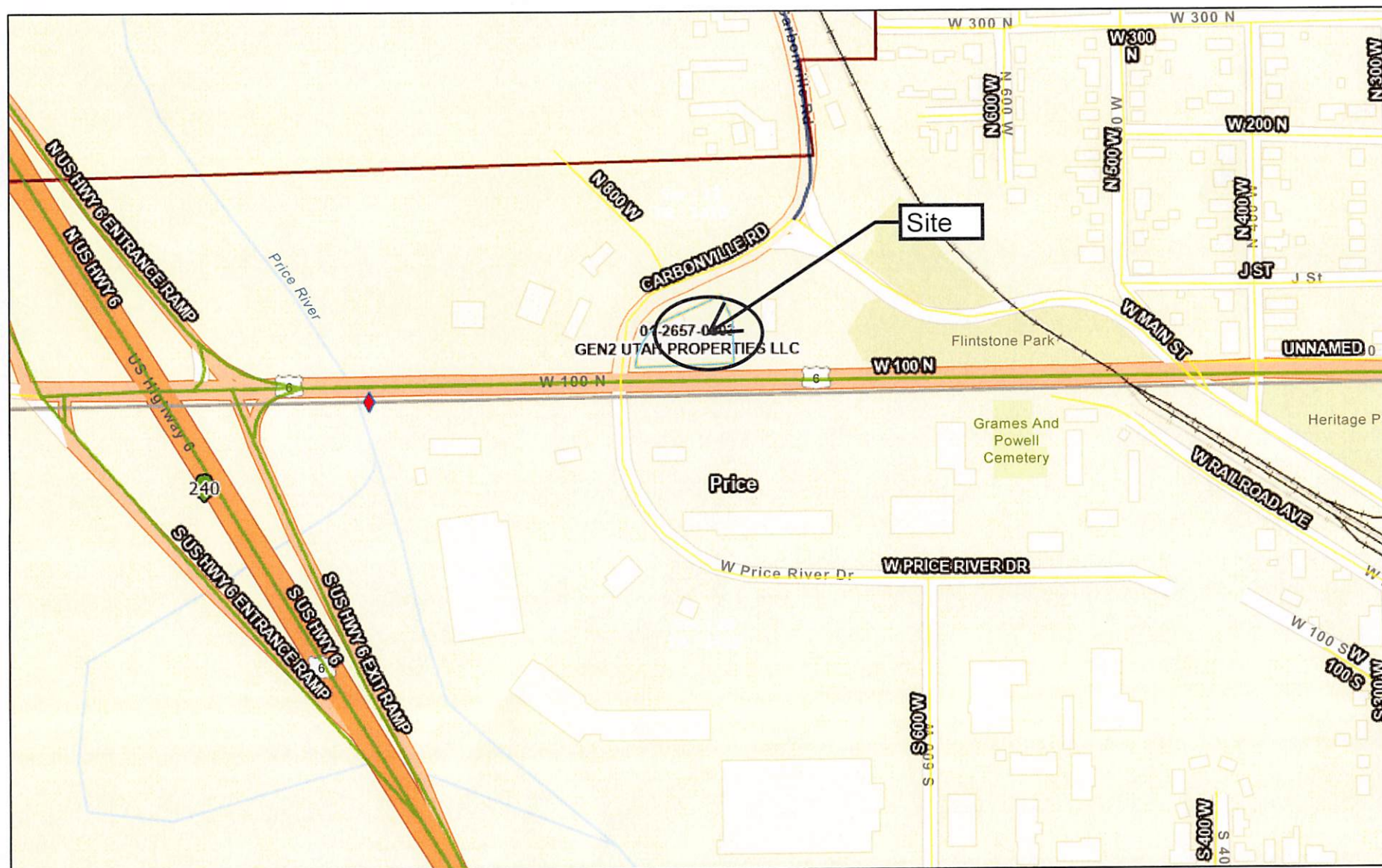
Tiara Deahn Thornton  
Notary Public

Commission Expires: 12/28/2025

## EXHIBIT B

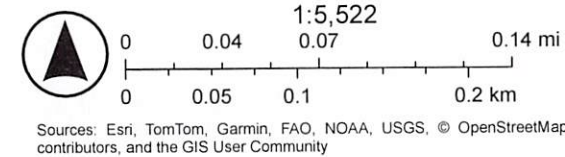
### Maps Describing the Site

## Rivian\_Price\_UT: Street Map



7/15/2025, 3:51:53 PM

- |   |              |   |                 |   |                    |   |                   |
|---|--------------|---|-----------------|---|--------------------|---|-------------------|
|  | Parcels      |  | County Road (B) |  | Cadastre Monuments |  | Sections          |
|  | Mile Markers |  | City Road       |  | Found Monument     |  | Cities            |
|  | Roads        |  | Railroads       |   | Needs Remonumented |  | County Boundaries |
|  | State Road   |   |                 |  | TownRange          |   |                   |



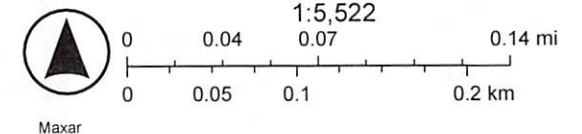


# Rivian\_Price\_UT: Aerial View



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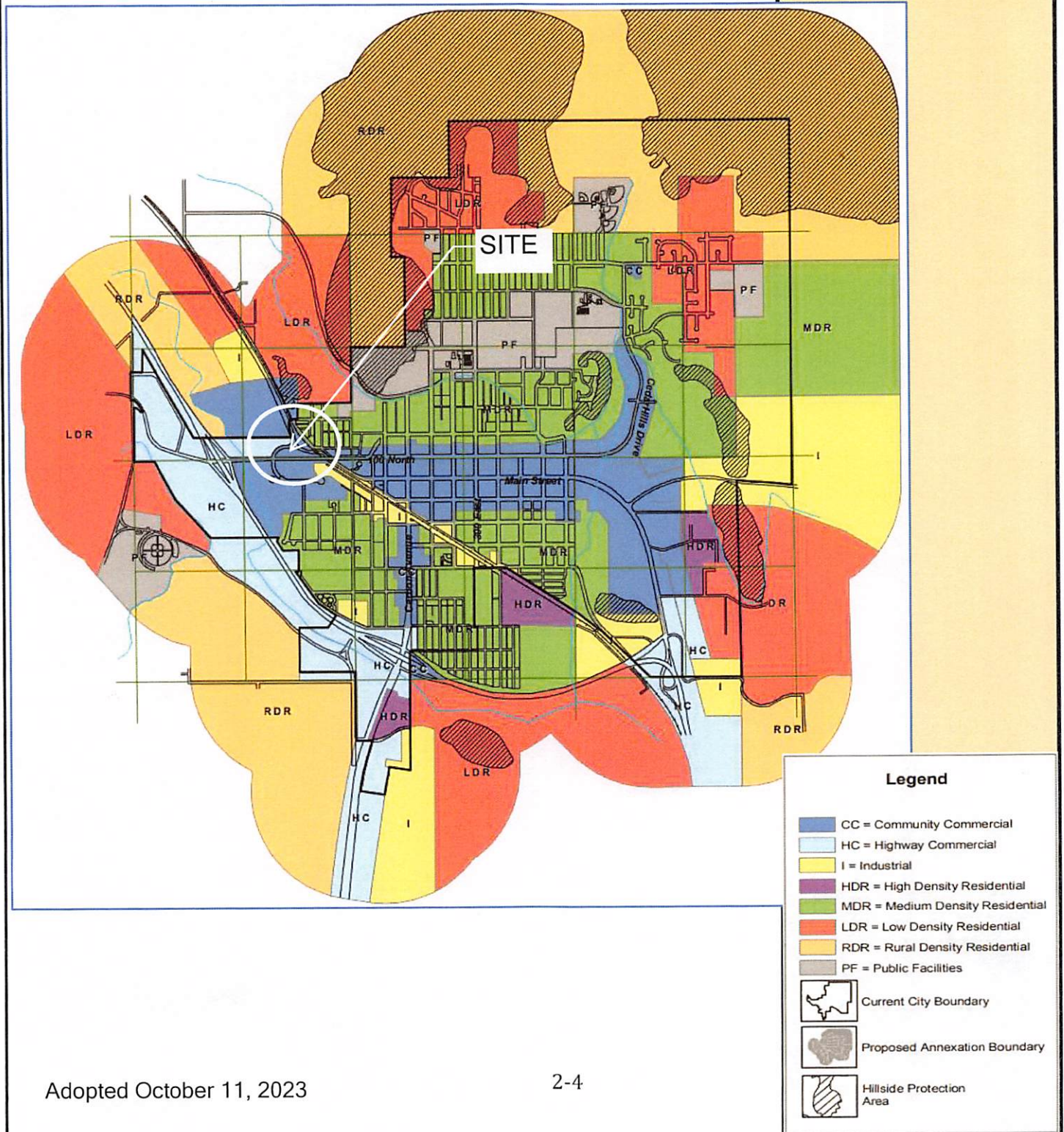
- |              |                 |                    |                   |
|--------------|-----------------|--------------------|-------------------|
| Parcels      | County Road (B) | Cadastre Monuments | Sections          |
| Mile Markers | City Road       | Found Monument     | Cities            |
| Roads        | Railroads       | Needs Remonumented | County Boundaries |
| State Road   |                 | TownRange          |                   |





## EXHIBIT C

Map of Site in the CC- Community Commercial Land Use District





### Commercial / Industrial Customer Information Sheet

*Please complete this form and return to Ken Harney - Price City Utilities  
185 East Main Street • P.O. Box 893 • Price, Utah 84501 • Phone No. (435)636-3166 • Fax No. (435)637-2905*

#### Business Information

Name of Customer's Business: RIVIAN, LLC Address: 220 Stoneridge Dr, Columbia, SC 29210  
Request No: Phone No: 805-234-6610 Fax No:  
**Person responsible for advance and contract billing (if different than monthly billing customers):**  
Name: Ken Takada Address: 220 Stoneridge Dr, Columbia, SC 29210  
Phone No: 805-234-6610 Fax No: E-Mail Address: utilities@rivian.com  
Building Square Footage (Note: breakdown into use i.e.: office, warehouse): 450 sf  
House of Operation (include days & hours): 24/7

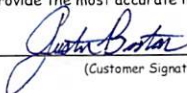
#### Service Description

Desired Secondary Voltage: ☐ 3 Phase 120 / 208v ☒ 3 Phase 277 / 480v  
Note: Not all voltages may be available ☐ 1 Phase 120 / 240v ☐ 1 Phase 120v only ☐ Other  
Panel Size (in amps): 1600A  
Nearest Pole or Equipment Number: Sectionalizing Cabinet at intersection of W Main St and University Blvd Type of Service Desired: ☐ Overhead ☒ Underground  
Electrical Contractor: TBD Phone No: TBD

#### Load List (attach additional sheets if necessary)

Description	Phase and Voltage	New Load to be Added	Load to be Removed	Total Connected Load after Changes	Unit
HVAC					Tons
Exhaust Fans					HP
Electric Heat					kW
Water Heating					kW
Lighting					kW
Outlets					kW
Office Equipment					kW
Kitchen Equipment					kW
Refrigeration Equipment					Tons
Computers, Magnetic Power Supplies					kW
Machinery					kW
Thermoplastic Injection Equipment					kW
Elevators					kW
Boiler					kW
Snow Melting					kW
Signs					kW
X-Ray Equipment					kW
Washer/Dryer					kW
Gas/Fuel/Sump Pump					HP
Small Motors					HP
Air Compressor					HP
Miscellaneous (EV CHARGERS)	3-PHASE / 480V	1118		1118	kW
Heat Exchanger					kW
Humidifier					kW
Swimming Pool					HP
Largest Motor (not included above)					HP
Future					kW
<b>Totals (convert to kW)</b>	3-PHASE / 480V	1118		1118	kW

It is important to provide the most accurate information available.

  
(Customer Signature)

07/10/2025

(Date)

**Note:**

- You may wish to consult a trained professional (electrician, engineer, etc.) prior to providing the information to your estimator.
- Commercial metering can have many restrictions that should be discussed with the estimator prior to the purchase and installation of your metering equipment. There are also restrictions regarding master metering.
- Motors larger than 35hp three phase or 5hp single phase will require approval by our engineering department prior to installation in order to determine the acceptable starting current.

June 17, 2025

Price City-Community Development  
Atten: Nick Tatton, Director  
185 East Main Street  
Price, UT 84501

**LETTER OF AUTHORIZATION**

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Signature (and title, if applicable) of Property Owner:

By: 

Title: Real Estate Manager

Date Executed: July 8, 2025

Site Name: Rivian\_Price, UT



ACKNOWLEDGEMENT

STATE OF Arizona )

: ss.

City/County of Phoenix/Maricopa )

On the 8<sup>th</sup> day of July, 2025, before me, the undersigned Notary Public, personally appeared John Rose, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that s/he executed the same.

IN WITNESS WHEREOF, I have set my hand and seal the day and year as above written.



Tiara Deahn Thornton  
Notary Public

Commission Expires: 12/28/2025

June 17, 2025

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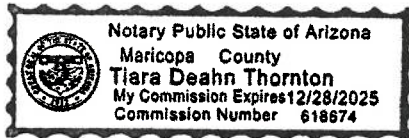
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Request No: Phone No: 805-234-6610 Fax No:

Person responsible for advance and contract billing (if different than monthly billing customers):

Name: Ken Takada Address: 220 Stoneridge Dr, Columbia, SC 29210

Phone No: 805-234-6610 Fax No: E-Mail Address: utilities@rivian.com

Building Square Footage (Note: breakdown into use i.e.: office, warehouse): 450 sf

House of Operation (include days & hours): 24/7

#### Service Description

Desired Secondary Voltage: ☐ 3 Phase 120 / 208v ☒ 3 Phase 277 / 480v

Note: Not all voltages may be available ☐ 1 Phase 120 / 240v ☐ 1 Phase 120v only ☐ Other

Panel Size (in amps): 1600A

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Water Heating					kW
Lighting					kW
Outlets					kW
Office Equipment					kW
Kitchen Equipment					kW
Refrigeration Equipment					Tons
Computers, Magnetic Power Supplies					kW
Machinery					kW
Thermoplastic Injection Equipment					kW
Elevators					kW
Boiler					kW
Snow Melting					kW
Signs					kW
X-Ray Equipment					kW
Washer/Dryer					kW
Gas/Fuel/Sump Pump					HP
Small Motors					HP
Air Compressor					HP
Miscellaneous (EV CHARGERS)	3-PHASE / 480V	1118		1118	kW
Heat Exchanger					kW
Humidifier					kW
Swimming Pool					HP
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07/10/2025

(Date)

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RIVIAN

PRICE, UT

SITE ADDRESS:  
120 N. CARBONVILLE RD.  
PRICE, UT 84501  
COORDINATES:  
39.601302°, -110.822556°



1350 NORTH HAGGERTY ROAD  
PLYMOUTH, MI 48170



Dewberry Engineers Inc.

990 S. BROADWAY  
SUITE 400  
DENVER, CO 80209  
PHONE: 303.825.1802



07/03/25

JOSEPH GIGANTIELLO, P.E.  
UT LICENSE No 13236761-2202

DRAWN BY: RS

CHECKED BY: SES

APPROVED BY: DER

PROJECT #: 50133561

JOB #: 50187142

SUBMITTALS

REV.	DATE	DESCRIPTION
1	07/03/25	ISSUED FOR PERMIT
0	06/16/25	ISSUED FOR 100% REVIEW
A	04/30/25	ISSUED FOR 90% REVIEW

SITE NAME:

PRICE, UT

SITE ADDRESS:  
120 N. CARBONVILLE RD.  
PRICE, UT 84501

COORDINATES:  
39.601302°, -110.822556°

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

SITE INFORMATION

EXISTING SITE ADDRESS:  
120 N. CARBONVILLE RD.  
PRICE, UT 84501

PROPERTY OWNER:  
GEN2 UTAH PROPERTIES LLC  
3845 STOCKTON HILL ROAD  
KINGMAN, AZ 86409

PARCEL:  
PARCEL ID: 01-2657-0003

COUNTY:  
CARBON, UT

SITE COORDINATES:  
39.601302°, -110.822556°

CONTACT PROJECT MANAGER:  
JUSTIN BOSTON  
DEWBERRY ENGINEERS INC.  
(301) 364-1870  
JBOSTON@DEWBERRY.COM

UTILITY:  
ROCKY MOUNTAIN POWER - PRICE CITY, UT  
CONTACT: STEVEN RICHARDSON  
PHONE: 435-636-3166  
EMAIL: STEVENR@PRICEUTAH.NET  
WORK ORDER: TBD

RIVIAN PROJECT MANAGER:  
KEN TAKADA  
PROJECT MANAGER  
(805) 234-6610  
KENTAKADA@RIVIAN.COM

24-HOUR RIVIAN CONTACT:  
(309) 249-8700

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
CARBON COUNTY UNIFORM BUILDING & ENERGY CODES, CONSISTENT WITH THE FOLLOWING CODES:  
  
2021 INTERNATIONAL BUILDING CODE  
2020 NATIONAL ELECTRIC CODE (NEC)  
  
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

PROJECT DESCRIPTION

- INSTALL PAD MOUNTED UTILITY TRANSFORMER (SIZED BY UTILITY)
- INSTALL 1600A, 277/480V SERVICE SWITCHBOARD
- INSTALL (3) POWER CABINETS
- INSTALL (6) LEVEL 3 DCFC DISPENSERS

JURISDICTION INFORMATION

AUTHORITY HAVING JURISDICTION: CARBON COUNTY  
PARCEL NUMBER (APN): 01-2657-0003  
LOT AREA: 0.69 ACRES  
ZONING: C1 - RETAIL COMMERCIAL

DRAWING INDEX

SHT. NO.	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES I
GN-2	GENERAL NOTES II
C-1	SITE PLAN
C-2	EXISTING CONDITIONS PLAN
C-3	DETAILED PARKING PLAN
C-4	DETAILED EQUIPMENT PLAN & ELEVATION
C-5	CONSTRUCTION DETAILS I
C-6	CONSTRUCTION DETAILS II
E-1	ELECTRICAL SINGLE LINE DIAGRAM
E-2	ELECTRICAL DETAILS
E-3	EQUIPMENT DATASHEETS
E-4	UTILITY DETAILS
G-1	GROUNDING RISER & DETAILS

SIGNATURES/APPROVAL

SITE HOST SIGNATURE

DATE

CALL BEFORE YOU DIG

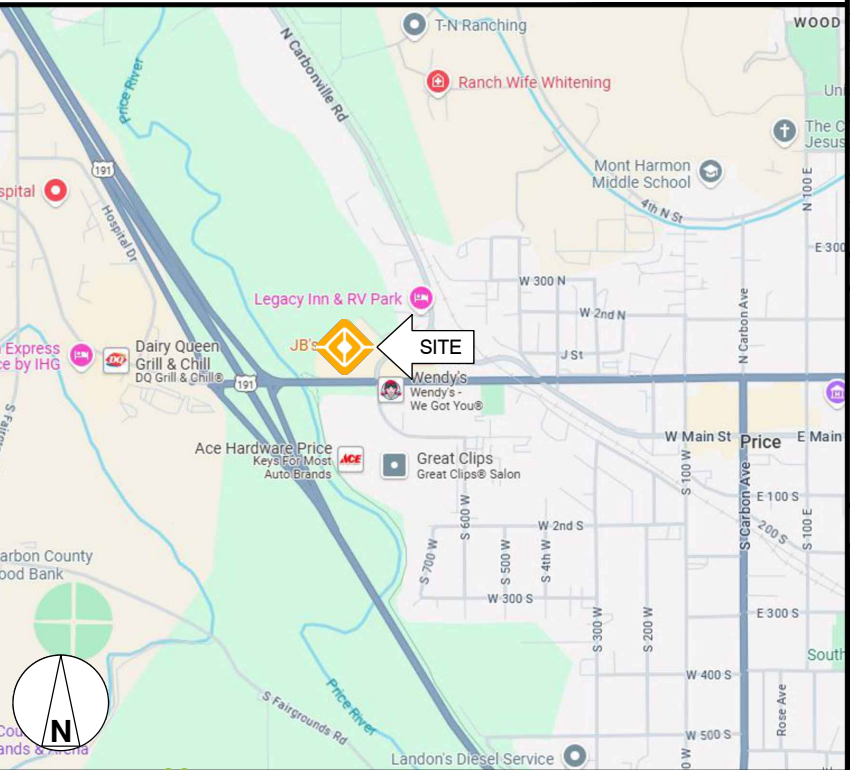


BLUE STAKES OF UTAH  
811 OR (801) 208-2100

AERIAL MAP



LOCATION MAP





GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:  
PROJECT ENGINEER – DEWBERRY ENGINEERS INC.  
PROJECT OWNER – RIVIAN  
PROJECT HOST – RIVIAN

2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUB-CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF PROJECT ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.

3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUB-CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

4. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.

5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE THE INSTALLATION AS INDICATED ON THE DRAWINGS FOR A FULLY FUNCTIONAL CHARGING STATION AND COMPLETE PROJECT.

6. THE SUB-CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.

7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON DRAWINGS, CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE PROJECT ENGINEER. ONLY WRITTEN APPROVALS SHALL BE DEEMED TO CONFIRM ANY SUCH CHANGES AS BEING APPROVED.

8. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE PROJECT MANAGER SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT UNIQUE JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK.

9. CONTRACTOR SHALL CONFIRM THE ROUTING OF CONDUIT, POWER AND GROUNDING CABLES WITH THE PROJECT OWNER AND PROJECT HOST.

10. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE PROJECT HOST. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.

11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF GENERAL CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE PROJECT MANAGER IMMEDIATELY. CONTRACTOR SHALL PAY FOR ALL PERMITS AND CARRY ALL COSTS FOR ANY PERMITS IN THEIR BID PRICE TO RIVIAN.

12. APPLICABLE BUILDING CODES:  
SUB-CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.  
SUB-CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:  

AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)  
MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION

13. FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

14. THE CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.

15. THE CONTRACTOR SHALL COORDINATE THE SCHEDULING AND ALL WORK ACCORDINGLY WITH THEIR SUB-CONTRACTORS THAT ARE PERFORMING WORK ON THEIR BEHALF.

16. CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.

17. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT HOST ACCESS FOR ALL THE TRADES.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.

19. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.

20. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE PROJECT HOST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.

21. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.

22. THE CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OR 2-A-10-B-C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.

23. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO RIVIAN AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.

24. GENERAL CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES AND ALL SPECIFIED CLOSE-OUT DOCUMENTATION TO RIVIAN UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.

25. THE CONTRACTOR SHALL LEAVE THE WORK AREA AND SURROUNDING PREMISES IN A CLEAN CONDITION.

26. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).

27. NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.

SITE WORK NOTES:

PART 1 – GENERAL

- 1.1 REFERENCES:

A. DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION – CURRENT EDITION).

B. AASHTO (AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS)

C. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).

D. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).
- 1.2 INSPECTION AND TESTING:

A. ALL WORK SHALL BE INSPECTED AND VERIFIED FOR CONFORMANCE AND RELEASED BY RIVIAN WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE GENERAL CONTRACTOR(S) RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.
- 1.3 SITE MAINTENANCE AND PROTECTION:

A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE CONTRACT.

B. AVOID DAMAGE AND TAKE PROTECTIVE MEASURES TO THE SITE AND TO EXISTING FACILITIES, IMPROVEMENTS, STRUCTURES, PAVEMENTS, CURBS, AND LANDSCAPING DESIGNATED TO REMAIN. ANY DAMAGED PART SHALL BE REPAIRED AT SUB-CONTRACTOR(S) EXPENSE TO THE SATISFACTION OF THE PROJECT HOST.

C. KEEP SITE FREE OF ALL PONDING OR STANDING WATER.

D. PROVIDE EROSION CONTROL MEASURES, IF REQUIRED, SHALL BE IN ACCORDANCE WITH HOWARD SOIL CONSERVATION DISTRICT, LOCAL PERMITTING AGENCY AND EPA REQUIREMENTS.

E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.

F. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUB-CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.

G. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE PROJECT OWNER AND/OR LOCAL UTILITIES.

H. EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE PROJECT HOST OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE PROJECT HOST AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.

I. PROVIDE A MINIMUM 48-HOUR NOTICE TO RIVIAN AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.

J. THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL CLEAN THE PREMISE DAILY. ALL DEBRIS THAT IS COLLECTED DAILY SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. NO CONTAINERS FOR TRASH REMOVAL ARE ALLOWED ON THE SITE. THE CONTRACTOR SHALL CARRY ALL ASSOCIATED COSTS FOR THIS TASK IN THEIR BID PRICE TO RIVIAN.

K. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT TREES, VEGETATION AND ROOT SYSTEMS DURING CONSTRUCTION.

L. CONTRACTOR TO COORDINATE POST CONSTRUCTION LANDSCAPING FINISHES WITH OWNER AND RIVIAN.

REINFORCED CONCRETE NOTES:

1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
3. ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
4. MAXIMUM AGGREGATE SIZE SHALL BE 3/4".
5. THE FOLLOWING MATERIALS SHALL BE USED (UNLESS SPECIFICALLY NOTED OTHERWISE):

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 615, GRADE 60
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
6. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH "DETAILING MANUAL-2004 PUBLICATION SP-66" AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI-318-08.
7. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B"; ALL HOOKS SHALL BE STANDARD, UNO.
8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH:	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	#6 AND LARGER 2 IN. #5 AND SMALLER & WWF 1-1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:	SLAB AND WALL 3/4 IN. BEAMS AND COLUMNS 1-1/2 IN.
9. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
10. INSTALLATION OF CONCRETE ANCHOR, SHALL BE PER MANUFACTURERS WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
11. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
12. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
13. DO NOT WELD OR TACKWELD REINFORCING STEEL.
14. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
15. LOCATE ADDITIONAL EXPANSION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
16. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
17. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
18. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
19. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
20. MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.
21. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.
22. PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.



1350 NORTH HAGGERTY ROAD  
PLYMOUTH, MI 48170



Dewberry Engineers Inc.  
990 S. BROADWAY  
SUITE 400  
DENVER, CO 80209  
PHONE: 303.825.1802



JOSEPH GIGANTIELLO, P.E.  
UT LICENSE No 13236761-2202

DRAWN BY: RS

CHECKED BY: SES

APPROVED BY: DER

PROJECT #: 50133561

JOB #: 50187142

SUBMITTALS		
REV.	DATE	DESCRIPTION
1	07/03/25	ISSUED FOR PERMIT
0	06/16/25	ISSUED FOR 100% REVIEW
A	04/30/25	ISSUED FOR 90% REVIEW

SITE NAME:  
  
PRICE, UT  
  
SITE ADDRESS:  
120 N. CARBONVILLE RD.  
PRICE, UT 84501  
  
COORDINATES:  
39.601302', -110.822556'

SHEET TITLE  
  
GENERAL NOTES I

SHEET NUMBER  
  
GN-1

ELECTRICAL NOTES:

1.

THE SUB-CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS. ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, SUB-CONTRACTOR SHALL NOTIFY RIVAN AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL RIVAN HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.

2.

THE SUB-CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE SUB-CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE THE SUBCONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.

3.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:

A.

UL – UNDERWRITERS LABORATORIES

B.

NEC – NATIONAL ELECTRICAL CODE

C.

NEMA – NATIONAL ELECTRICAL MANUFACTURERS ASSOC.

D.

OSHA – OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION

E.

SBC – STANDARD BUILDING CODE

F.

NFPA – NATIONAL FIRE PROTECTION ASSOCIATION

4.

DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH RIVAN ANY SIZES AND LOCATIONS WHEN NEEDED.

5.

EXISTING SERVICES: THE SUB-CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE PROJECT HOST.

6.

THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE SUB-CONTRACTOR SHALL FURNISH AND INSTALL, UNLESS OTHERWISE SPECIFIED BY RIVAN.

7.

THE SUB-CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE PROJECT HOST'S CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF RIVAN, PRIOR TO BEGINNING ANY WORK.

8.

CONDUCTORS: SUB-CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE (THWN-2) INSULATION, 600 VOLT, COLOR CODED UNLESS SPECIFIED DIFFERENTLY ON DRAWINGS.

9.

ALL (THWN-2) WIRING INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

10.

OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.

11.

IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. SUB-CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER. SUB-CONTRACTOR IS TO PROVIDE ALL ELECTRICAL EQUIPMENT UNLESS OTHERWISE DIRECTED.

12.

ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL SUB-CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY RIVAN.

13.

ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.

14.

CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.

15.

THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.

16.

ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK. THE PROJECT HOST AND RIVAN SHALL BE NAMED ADDITIONALLY INSURED AND HOLD HARMLESS ON THE INSURANCE CERTIFICATE.

17.

MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.

18.

GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURES CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY RIVAN PRIOR TO INSTALLATION.

19.

ANY CUTTING, PATCHING OR CORING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE SUB-CONTRACTOR(S) RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE PROJECT MANAGER UPON FINAL ACCEPTANCE.

20.

THE SUBCONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES.

21.

DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.

22.

ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NOALOX" BY IDEAL INDUSTRIAL INC. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED ALUMINUM & COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED – NO SUBSTITUTIONS.

23.

ALL EXTERIOR AND INTERIOR ABOVE GROUND CONDUIT SUBJECT TO PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL UNLESS SPECIFIED OTHERWISE. RACEWAYS: ALL CONDUITS SHALL BE SCHEDULE 40 EMT MEETING OR EXCEEDING NEMA TC2 – 1990 UNLESS SPECIFIED OTHERWISE. THE SUB-CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS – 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 3 FT. RADIUS. EMT CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'GOLD GALV'.
25.

HEAVY WALL PVC CONDUIT SHALL BE USED FOR ALL GROUNDING CONDUCTORS AND OTHER SPECIFIC USES AS INDICATED BY THE DRAWINGS. HEAVY WALL PVC CONDUIT SHALL BE SCHEDULE 40, 90 DEGREES C, UL RATED, CONSTRUCTED OF POLYVINYL CHLORIDE AND CONFORMING TO NEMA TC-2 FOR DIRECT BURIAL OR NORMAL ABOVE GROUND USE. FITTING SHALL BE SOLVENT WELD TYPE. CONDUITS SHALL BE SUPPORTED WITH NON-METALLIC DEVICES.

26.

SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.

27.

CONNECTORS FOR POWER CONDUCTORS: SUB-CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.

28.

WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.

29.

ALL BOLTS SHALL BE STAINLESS STEEL.

30.

ALL MATERIALS AND EQUIPMENT SUPPLIED AND INSTALLED BY THE SUBCONTRACTOR SHOULD BE NEW AND UNUSED.
- TRAFFIC MANAGEMENT NOTES:
1.

ALL TEMPORARY CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.

2.

ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.

3.

TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.

4.

TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.

5.

SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES" AND/OR "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).

6.

CONTRACTORS SHALL NOTIFY THE OWNER AND ALL TENANTS OF THIS PROPERTY AT LEAST 48 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.

7.

THE FIRST FIVE PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH TYPE A LIGHTS.

8.

MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.

9.

MINIMUM LANE WIDTH IS TO BE 11 FEET (3.3m) UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.

10.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC THROUGHOUT CONSTRUCTION AT THIS LOCATION. THE CONTRACTOR SHALL INSTALL TEMPORARY TRAFFIC SIGNS, DRUMS, CONES, OR OTHER TRAFFIC CONTROL DEVICES TO DIRECT VEHICLES AND PEDESTRIANS AROUND THE WORK ZONE.
- POST-INSTALLED ANCHORS:
1.

EXCEPT WHERE INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE ICC-ES REPORT AND MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS (MPII):
- | APPLICATION                               | ANCHORING SYSTEM  | ICC-ES REPORT      |
|---|---|--------------------|
| ANCHORAGE TO CONCRETE                     | HILTI HY 200 V3 ADHESIVE w SAFE SET HOLLOW DRILL BIT INSTALLATION | ESR-4868           |
|   | HILTI RE 500 V3 ADHESIVE w SAFE SET HOLLOW DRILL BIT INSTALLATION | ESR-3814           |
|   | HILTI KWIK-X DUAL ACTION ANCHOR                                   | ESR-5065           |
|   | HILTI KWIK BOLT TZ 2  | ESR-4266           |
| REBAR DOWELING                            | HILTI KWIK HUS EZ   | ESR-3027           |
|   | HILTI HY 200 V3 ADHESIVE w SAFE SET HOLLOW DRILL BIT INSTALLATION | ESR-3814           |
| ANCHORAGE TO SOLID GROUTED MASONRY        | HILTI HY 270 ADHESIVE   | ESR-4143           |
|   | HILTI KWIK BOLT TZ 2  | ESR-4561           |
|   | HILTI KWIK HUS EZ   | ESR-3027           |
| ANCHORAGE TO HOLLOW / MULTI-WYTHE MASONRY | HILTI HY 270 ADHESIVE WITH SCREEN TUBE                            | ESR-4143, ESR-4144 |
2.

ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER METHOD AS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT IN BOTH DRY AND WATER SATURATED CONCRETE, INCLUDING AN ICC-ES REPORT SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE, SEISMIC USE, LOAD RESISTANCE, INSTALLATION CATEGORY, IN-SERVICE TEMPERATURE, INSTALLATION TEMPERATURE, ETC.

3.

DRILL HOLES WITH ROTARY IMPACT HAMMER DRILLS USING CARBIDE-TIPPED DRILL BIT, OR HOLLOW DRILL BIT WITH INTEGRAL VACUUM CLEAN AS PERMITTED BY ICC-ESR. USE OF DIAMOND CORE BIT WITH ROUGHENING TOOL SHALL BE PERMITTED AFTER ENGINEERS OF RECORD APPROVAL. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, ALL HOLES MUST BE DRILLED PERPENDICULAR TO THE CONCRETE SURFACE.

4.

ADHESIVE ANCHORS INSTALLED IN A HORIZONTALLY OR UPWARDLY INCLINED ORIENTATION INTO CONCRETE AND SUPPORTING A SUSTAINED TENION LOAD SHALL BE INSTALLED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER. INSTALLER SHALL BE CERTIFIED THROUGH THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM OR APPROVED EQUAL.

5.

CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ON-SITE ANCHOR INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. CONTRACTOR SHALL SUBMIT DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL INSTALLING ANCHORS HAVE RECEIVED THE REQUIRED TRAINING PRIOR TO THE COMMENCEMENT OF WORK.

6.

ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.

7.

CONTINUOUS OR PERIODIC SPECIAL INSPECTION FOR POST INSTALLED ANCHORS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 4.3/4.4 OF THE ICC-ES REPORT FOR THE INDIVIDUAL ANCHOR. SPECIAL INSPECTOR SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION EFFORTS.

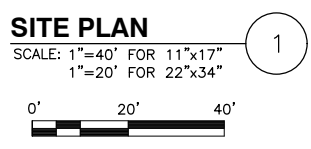
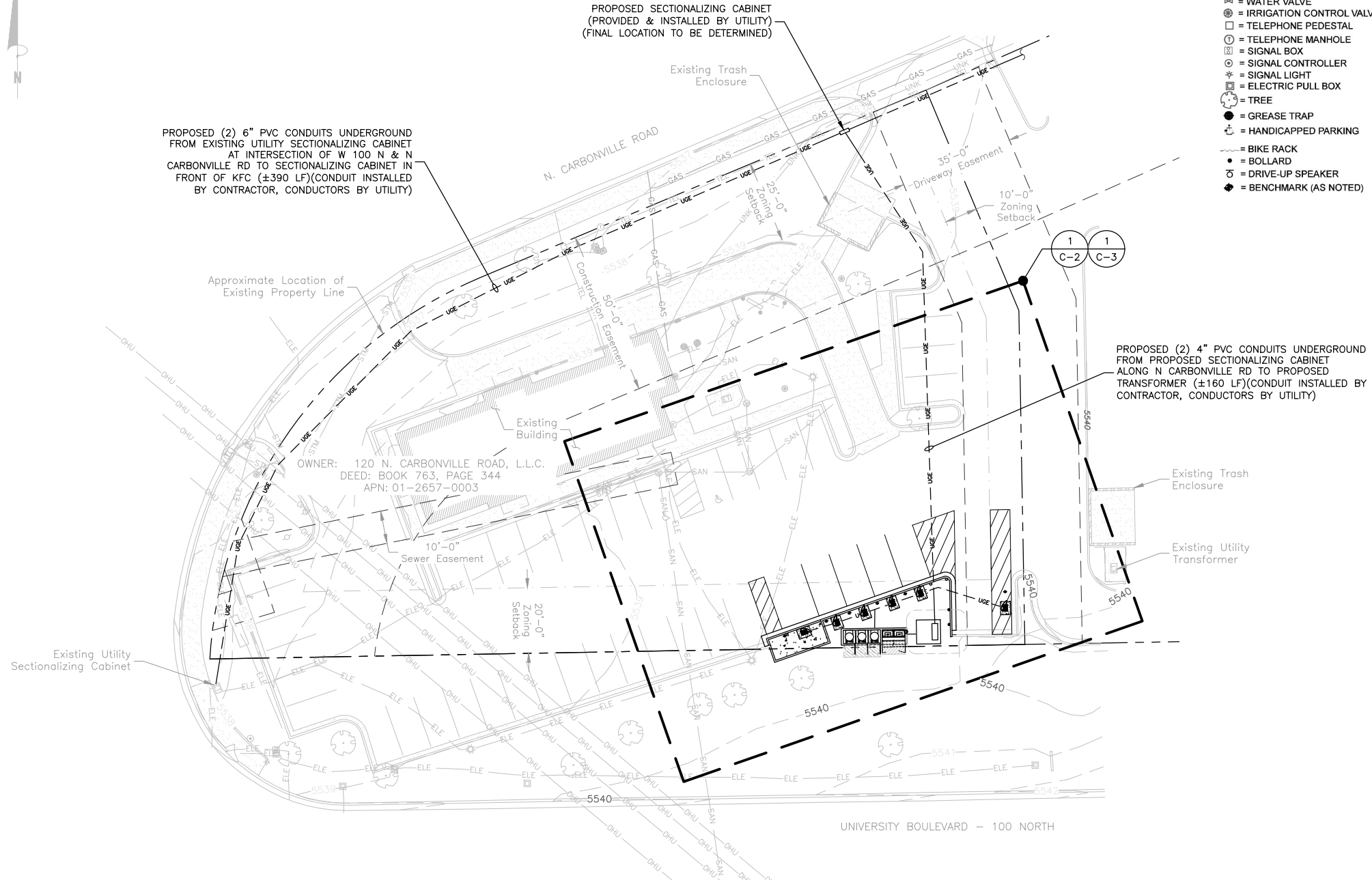
8.

POST INSTALLED ADHESIVE ANCHORS ARE NOT PERMITTED TO BE INSTALLED IN MORTAR JOINTS. ALL ANCHORS TO BE INSTALLED WITHIN THE FACE OF MASONRY UNIT.

9.

CONTRACTOR SHALL VERIFY EXISTING SLAB REINFORCEMENT WITH GPR PRIOR TO DRILLING. MAINTAIN AT LEAST 1" GAP BETWEEN ANCHORS AND EXISTING REINFORCEMENT AND MINIMUM 3" BETWEEN ANCHORS AND EXISTING PRESTRESSING TENDONS.
- 
- 1350 NORTH HAGGERTY ROAD  
PLYMOUTH, MI 48170
- 
- Dewberry Engineers Inc.
- 990 S. BROADWAY  
SUITE 400  
DENVER, CO 80209  
PHONE: 303.825.1802
- 
- JOSEPH GIGANTIELLO, P.E.  
UT LICENSE No 13236761-2202
- DRAWN BY: RS
- CHECKED BY: SES
- APPROVED BY: DER
- PROJECT #: 50133561
- JOB #: 50187142
- | SUBMITTALS |          |                        |
|------------|----------|------------------------|
| REV.       | DATE     | DESCRIPTION            |
|            |          |                        |
|            |          |                        |
|            |          |                        |
|            |          |                        |
|            |          |                        |
|            |          |                        |
| 1          | 07/03/25 | ISSUED FOR PERMIT      |
| 0          | 06/16/25 | ISSUED FOR 100% REVIEW |
| A          | 04/30/25 | ISSUED FOR 90% REVIEW  |
- SITE NAME:
- PRICE, UT
- SITE ADDRESS:  
120 N. CARBONVILLE RD.  
PRICE, UT 84501
- COORDINATES:  
39.601302', -110.822556'
- SHEET TITLE
- GENERAL NOTES II
- SHEET NUMBER
- GN-2
- 35
- 30 of 45






**LEGEND**


- ⚡ = LIGHT POLE
  - ET = ELECTRIC TRANSFORMER
  - ⊙ = ELECTRIC METER
  - ⊕ = UTILITY POLE
  - ⊗ = SANITARY SEWER MANHOLE
  - ⊖ = CLEAN OUT
  - ⊞ = GRATE INLET
  - ⊟ = WATER VALVE
  - ⊠ = IRRIGATION CONTROL VALVE
  - ⊡ = TELEPHONE PEDESTAL
  - ⊢ = TELEPHONE MANHOLE
  - ⊣ = SIGNAL BOX
  - ⊤ = SIGNAL CONTROLLER
  - ⊥ = SIGNAL LIGHT
  - ⊦ = ELECTRIC PULL BOX
  - ⊧ = TREE
  - ⊨ = GREASE TRAP
  - ⊩ = HANDICAPPED PARKING
  - ⊪ = BIKE RACK
  - ⊫ = BOLLARD
  - ⊬ = DRIVE-UP SPEAKER
  - ⊭ = BENCHMARK (AS NOTED)
- ▬ = CONCRETE
  - ▨ = NO PARKING AREA
  - Ⓢ = SCHEDULE B ITEM NO.
- |                       |        |
|-----------------------|--------|
| ADJOINING PROPERTY    | ---    |
| PROPERTY LINE         | PL---  |
| EASEMENT LINE         | ---    |
| CENTERLINE            | ---    |
| ZONING SETBACK LINE   | ---    |
| CHAIN LINK FENCE      | ○ ○ ○  |
| UNDERGROUND SANITARY  | SAN--- |
| UNDERGROUND GAS       | GAS--- |
| UNDERGROUND WATER     | WTR--- |
| UNDERGROUND TELEPHONE | TEL--- |
| UNDERGROUND ELECTRIC  | ELE--- |
| UNKNOWN UTILITY       | UNK--- |
| OVERHEAD UTILITY      | OHU--- |
| UNDERGROUND STORM     | STM--- |

**NOTES:**


- SITE PLAN BASED ON LIMITED TOPOGRAPHIC SURVEY TITLED 'RA N CARBONVILLE RD-PRICE UT' BY CDS COMMERCIAL DUE DILIGENCE SERVICES FIELD DATED 05/10/2022.
- EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
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1350 NORTH HAGGERTY ROAD  
PLYMOUTH, MI 48170



Dewberry Engineers Inc.  
990 S. BROADWAY  
SUITE 400  
DENVER, CO 80209  
PHONE: 303.825.1802



JOSEPH GIGANTIELLO, P.E.  
UT LICENSE No 13236761-2202

DRAWN BY: RS

CHECKED BY: SES

APPROVED BY: DER

PROJECT #: 50133561

JOB #: 50187142

**SUBMITTALS**

REV.	DATE	DESCRIPTION
1	07/03/25	ISSUED FOR PERMIT
0	06/16/25	ISSUED FOR 100% REVIEW
A	04/30/25	ISSUED FOR 90% REVIEW

**SITE NAME:**

PRICE, UT

**SITE ADDRESS:**

120 N. CARBONVILLE RD.  
PRICE, UT 84501

**COORDINATES:**

39.601302', -110.822556'

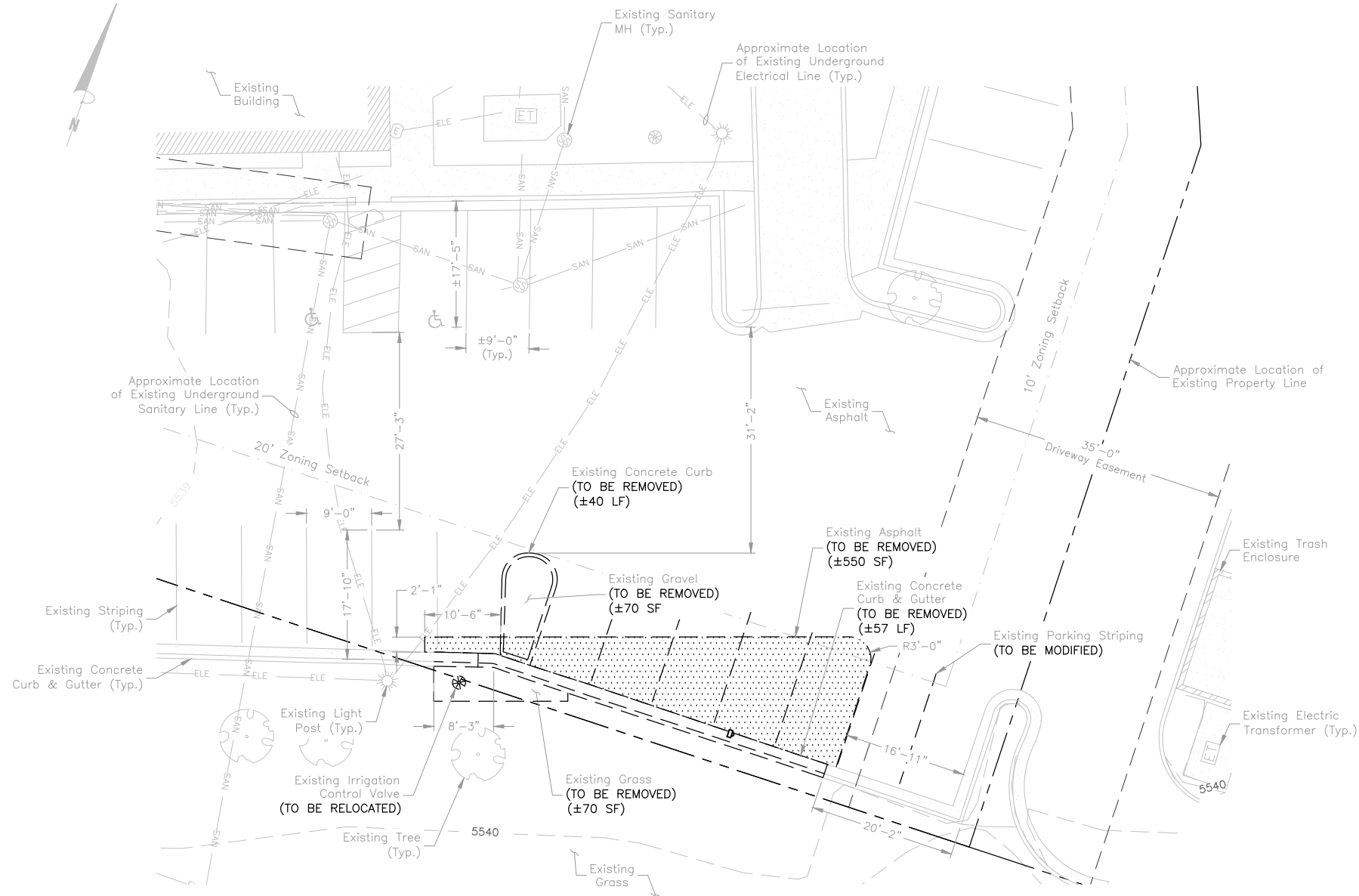
**SHEET TITLE**

SITE PLAN

**SHEET NUMBER**

C-1





**EXISTING CONDITIONS PLAN** 1  
SCALE: 1"=20' FOR 11"x17"  
1"=10' FOR 22"x34"  
0' 10' 20'

**NOTES:**

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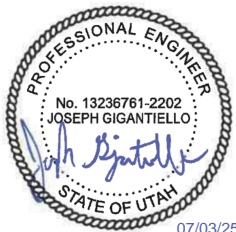


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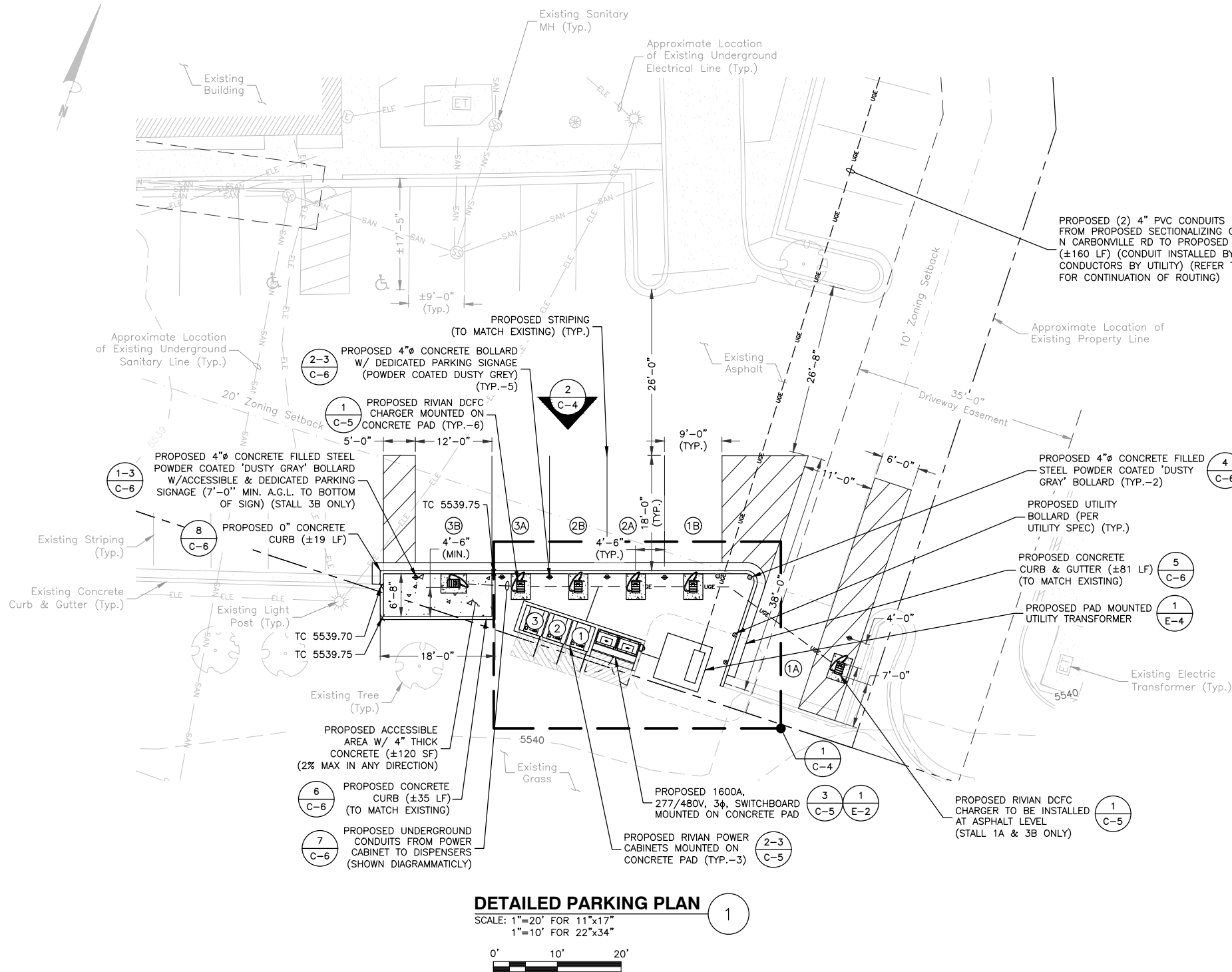
39.601302', -110.822556'

SHEET TITLE

EXISTING CONDITIONS  
PLAN

SHEET NUMBER

C-2



CHARGE POST SCHEDULE				
STALL	TYPE LEVEL 2	POWER CABINET	DESIGNATION	CATALOG #
1A	DCFC (TRAILER)	1	DEDICATED	CH-302
1B	DCFC	1	DEDICATED	CH-302
2A	DCFC	2	DEDICATED	CH-302
2B	DCFC	2	DEDICATED	CH-302
3A	DCFC	3	DEDICATED	CH-302
3B	DCFC	3	DEDICATED/ACCESSIBLE	CH-302

EQUIPMENT CLEARANCES	
C3 CABINET:	3'-8" FRONT 1'-6" REAR 2" SIDES
SWITCHBOARD:	3'-6" FRONT
UTILITY TRANSFORMER:	10'-0" FRONT 3'-0" SIDES & REAR

PARKING STALL SCHEDULE	
EXISTING STANDARD STALLS (TO BE MODIFIED):	7
EXISTING STANDARD STALLS TO REMAIN:	0
PROPOSED EV STALLS:	6
NET STALL CHANGE:	-1

EQUIPMENT SCHEDULE		
QTY.	EQUIPMENT	DESCRIPTION
6	DCFC DISPENSER	300 KW DC DISPENSER
3	RIVIAN C3 CABINET	372.5 KVA EV DC FAST CHARGER

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SHEET TITLE  
DETAILED PARKING PLAN

SHEET NUMBER  
C-3



1350 NORTH HAGGERTY ROAD  
PLYMOUTH, MI 48170



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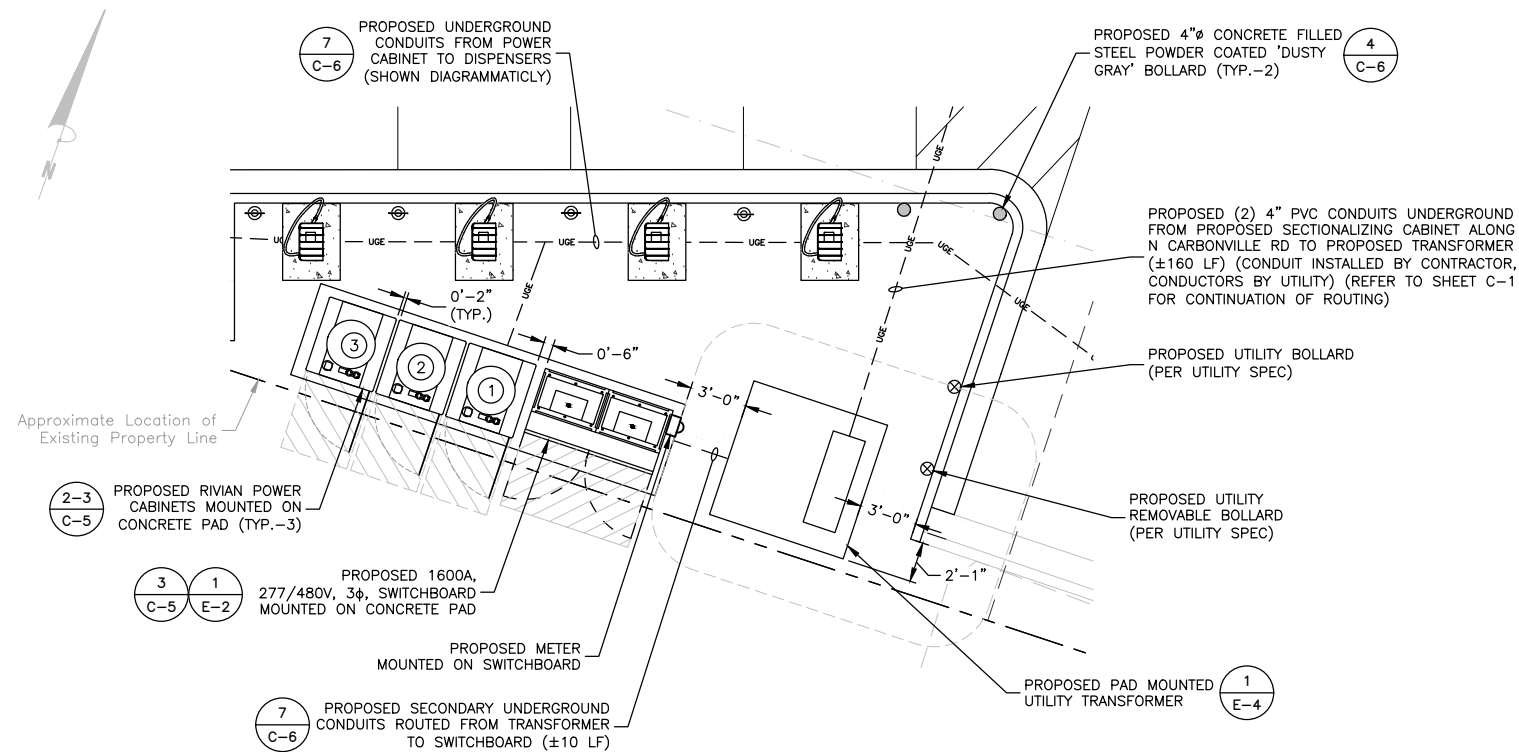
CHECKED BY: SES

APPROVED BY: DER

PROJECT #: 50133561

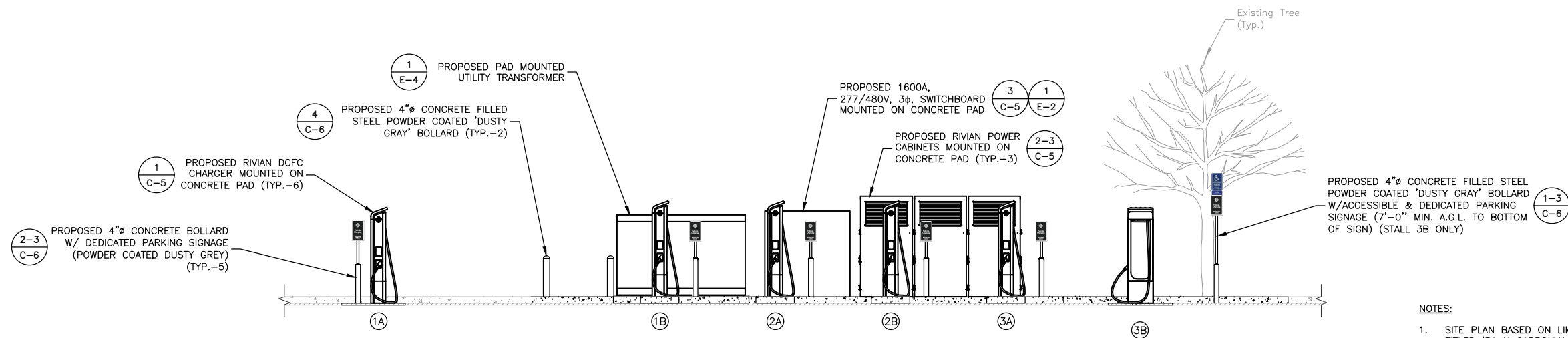
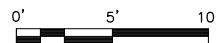
JOB #: 50187142

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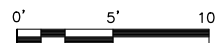
### DETAILED EQUIPMENT PLAN

SCALE: 1"=10' FOR 11"x17"  
1"=5' FOR 22"x34"



### PARKING ELEVATION

SCALE: 1"=10' FOR 11"x17"  
1"=5' FOR 22"x34"



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JOSEPH GIGANTIELLO, P.E.  
UT LICENSE No 13236761-2202

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CHECKED BY: SES

APPROVED BY: DER

PROJECT #: 50133561

JOB #: 50187142

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COORDINATES:

39.601302', -110.822556'

SHEET TITLE

DETAILED EQUIPMENT  
PLAN & ELEVATION

SHEET NUMBER

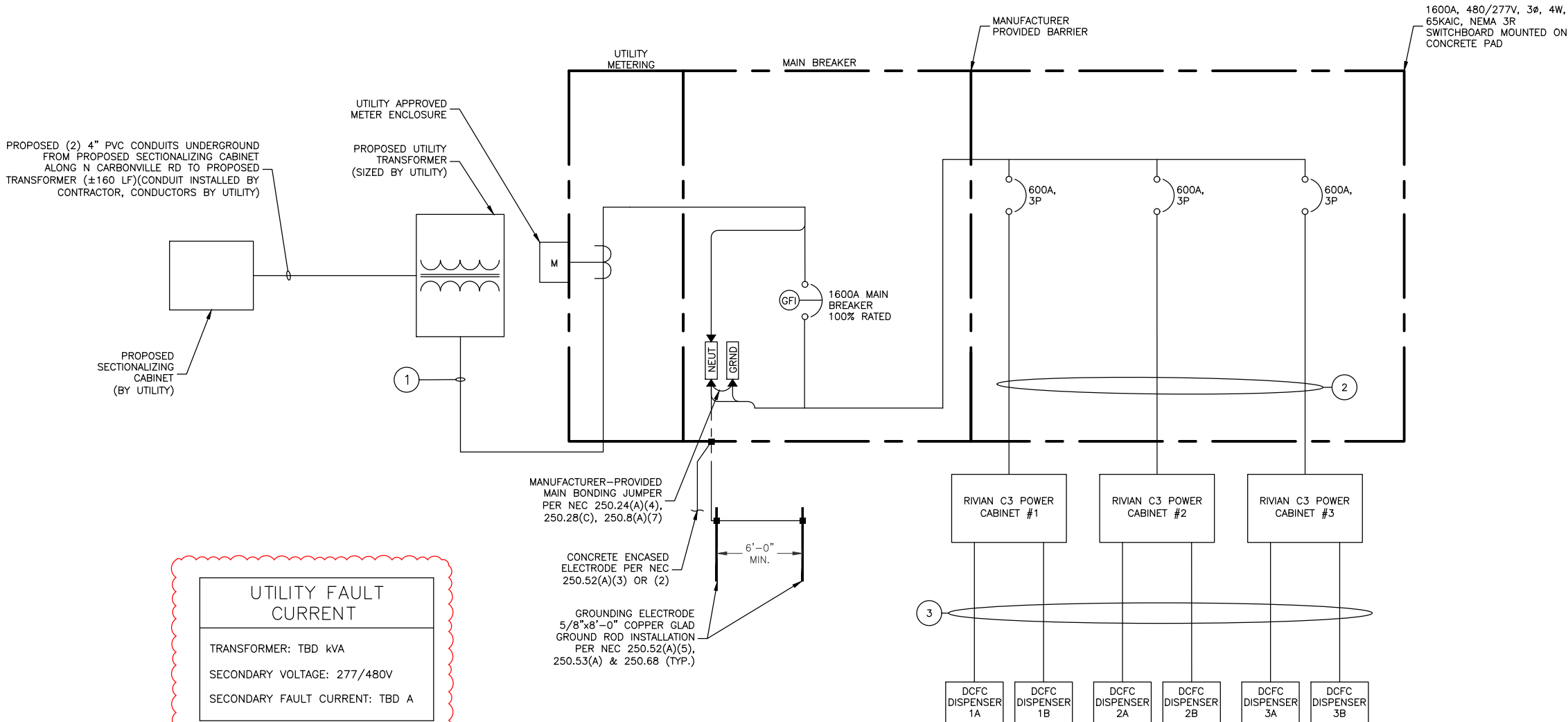
C-4











### SYSTEM ONE-LINE DIAGRAM

SCALE: N.T.S.

1

### SERVICE ELECTRICAL CIRCUIT SCHEDULE

NO:	FROM	TO	CONFIGURATION
1	UTILITY TRANSFORMER	PROPOSED 1600A SWITCHBOARD: INCOMING	[5 SETS] (3) 600KCMIL AL (XHHW-2) & (1) 600KCMIL AL (XHHW-2) NEUT IN 4" PVC CONDUIT (CONDUITS BY CONTRACTOR, CONDUCTORS BY UTILITY)
2	PROPOSED SERVICE BREAKER (600A) (TYP.-3)	PROPOSED RIVIAN POWER CABINET (TYP.-3)	[2 SETS] (3) 500KCMIL AL (XHHW-2) (1) #1 GROUND IN 4" CONDUIT (TYP.-EACH CABINET)
3	PROPOSED RIVIAN POWER CABINET (TYP.-3)	PROPOSED RIVIAN DISPENSER (TYP.-6)	[PER DISPENSER] (4) 500KCMIL AL (XHHW-2) (1000V) (1) #2/0 AWG CU GND (XHHW-2) (2) #14 INTERLOCK CU (XHHW-2) (1000V) (2) #12 CU (XHHW-2) (1) ETHERNET RJ45 BASE 100-T CAT6 (1000V) IN 1/2" INNERDUCT WITHIN CONDUIT IN 4" PVC CONDUIT

### SECONDARY SERVICE LENGTHS

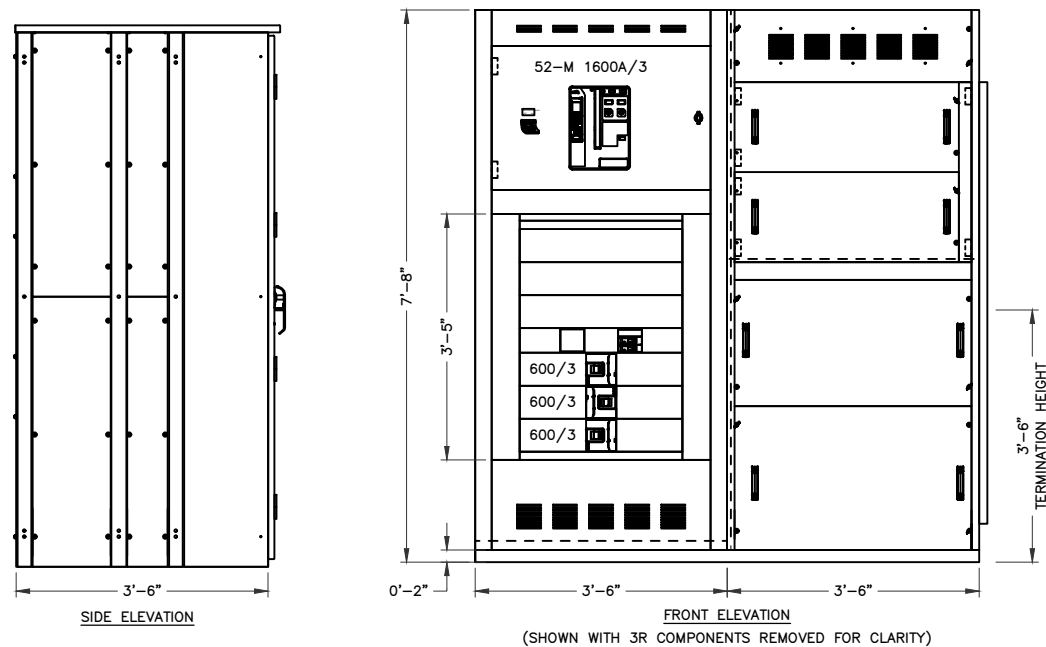
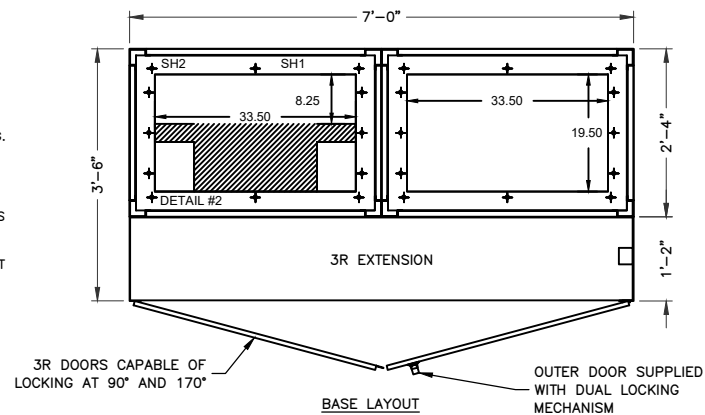
	LINEAR LENGTH	ESTIMATED LENGTH*
TRANSFORMER TO SWITCHBOARD	7'	22'
TOTAL LENGTH OF AC AL WIRE**:		88'
NUMBER OF WIRE SETS:		5
TOTAL LENGTH OF AL WIRE***:		440

#### NOTES:

- \* AC CONDUCTORS: 15 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.
- \*\* ESTIMATED LENGTH OF AL WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SET
- \*\*\* LENGTH OF AL WIRE PER DISCONNECT =ESTIMATED TOTAL LENGTH OF AL WIRE X # WIRE SETS

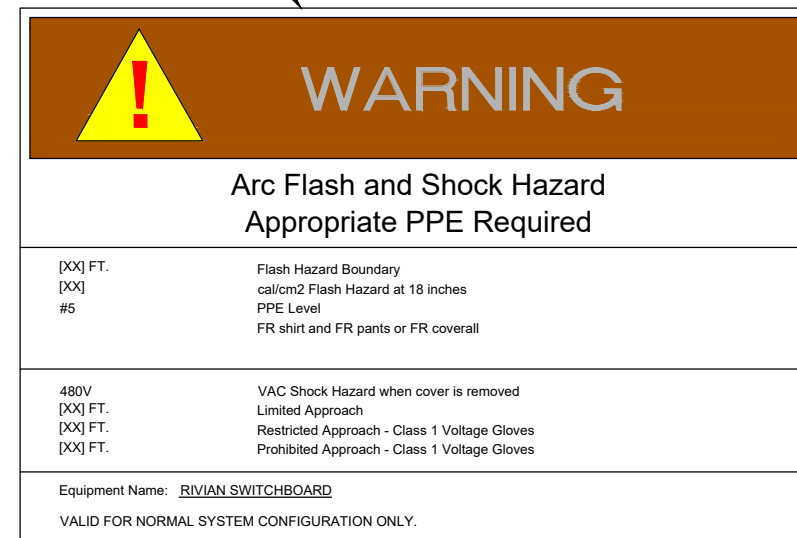
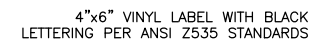
RIVIAN SWITCHBOARD				3P-1600A MAIN	INTERRUPT RATING: 65,000 A.I.C.			3Ø - 4 WIRE - 277/480 VOLT DEMAND AMPS: 1345 1600 AMP BUS	
CIRCUIT #	SERVING		FRAME SIZE	TRIP SETTING	LOAD TYPE	KVA AØ	KVA BØ	KVA CØ	REMARKS
1	C3 POWER CABINET #1		600.00	600.00	NC	124.2	124.2	124.2	EATON PDG3 SERIES 3P 600A FRAME
2	C3 POWER CABINET #2		600.00	600.00	NC	124.2	124.2	124.2	EATON PDG3 SERIES 3P 600A FRAME
3	C3 POWER CABINET #3		600.00	600.00	NC	124.2	124.2	124.2	EATON PDG3 SERIES 3P 600A FRAME
LOAD TYPE		CONNECTED KVA	NEC DEMAND FACTOR		DEMAND (KVA)				
CONTINUOUS LOADS (C)		0.00	125%		0.00				
NON-CONTINUOUS LOADS (NC)		1117.8	100%		1117.8				
							AØ = 372.6 kVA		
							BØ = 372.6 kVA		
							CØ = 372.6 kVA		
							TOTAL CONNECTED = 1117.8 kVA		
							TOTAL DEMAND = 1117.8 kVA		

1. CONTRACTOR SHALL CONFIRM FINAL SWITCHBOARD SPECIFICATIONS WITH UTILITY COMPANY PRIOR TO ORDERING.
2. CONTRACTOR SHALL COORDINATE ORIENTATION OF MAIN SECTION AND DISTRIBUTION SECTION PRIOR TO ORDERING.
3. CONTRACTOR SHALL COORDINATE FINAL STUB-UP LOCATIONS THROUGH
4. CONCRETE PAD WITH SPECIFICATIONS OF SWITCHBOARD THAT IS BEING ORDERED



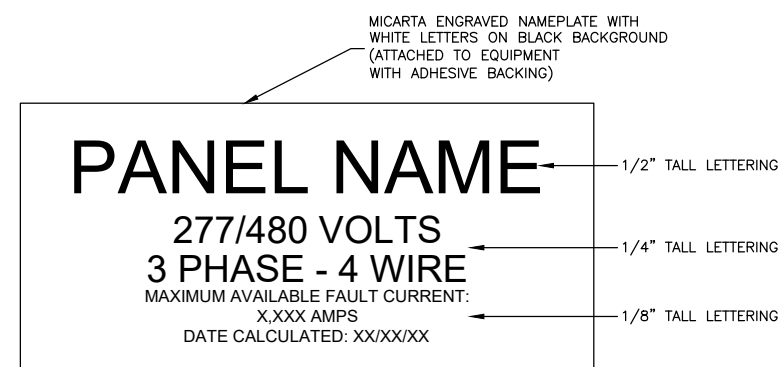
SCALE: N.T.S.

BREAKER SETTINGS – EATON MAIN			
MAIN SERVICE SWITCHBOARD – 1600A MCB – ZPOWER			
		PHASE	GROUND
DESIGNATION	FRAME AMPS	1600A	1600A
	AIC RATING	65	65
FRAME	MANUFACTURER	EATON	EATON
	TYPE/MODEL	SBN–616	SBN–616
TRIP UNIT	SENSOR AMPS	1600	1600
	PLUG AMPS	1600	1600
	DESCRIPTION	LSI, 1600AF, 200–1600AP	GF, 800–6000AF
	TYPE/MODEL	MAGNUM SB, DT 520	MAGNUM SB, DT 520
TRIP UNIT SETTINGS (1600A TRIP)	LONG DELAY PICKUP (I <sub>r</sub> )	1 (1600A)	
	LONG DELAY TIME (t <sub>r</sub> )	24 S	
	SHORT DELAY PICKUP (I <sub>sd</sub> )	2.5 (4000A)	
	SHORT DELAY TIME (I <sub>2t</sub> )	0.1 S	
	INSTANTANEOUS PICKUP (I <sub>i</sub> )	6 (9600A)	
	GROUND FAULT PICKUP (I <sub>g</sub> )		0.75 (1200A)
	GROUND FAULT DELAY TIME (t <sub>g</sub> )		0.5 S
RIVIAN C3 POWER CABINET BREAKER – 600A			
TRIP UNIT	TYPE/MODEL	PDG3 THERMAL MAG TRIP UNIT (600A TRIP)	
TRIP UNIT SETTINGS	INSTANTANEOUS (I <sub>i</sub> )	5 (3000A)	



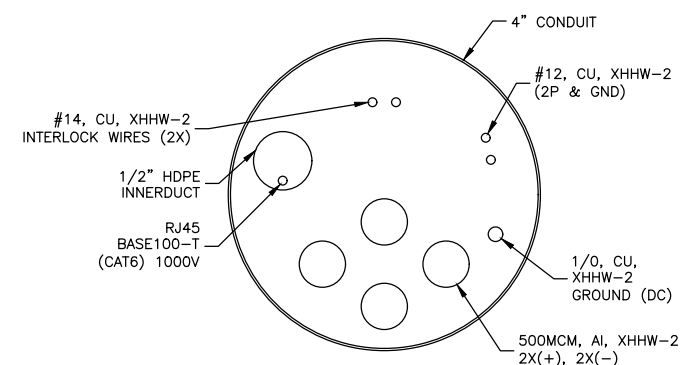
1. TYPICAL LABEL SHOWN. IF REQUIRED BY AHJ, SITE SPECIFIC LABELS TO BE PROVIDED BASED ON ARC FLASH HAZARD ANALYSIS TO BE PROVIDED BY DEWBERRY UNDER SEPARATE SCOPE.
2. "WARNING" HEADING FOR INCIDENT ENERGY <40 CAL/CM2.
3. "DANGER" HEADING FOR INCIDENT ENERGY >40 CAL/CM2.
4. VALUES IN BRACKETS SHALL BE UPDATED ACCORDING TO SITE SPECIFIC ARC FLASH HAZARD ANALYSIS.
5. IF REQUIRED BY AHJ LABELS SHALL BE PROVIDED TO CONTRACTOR IN PDF FORMAT.
6. MATERIAL: WEATHER AND UV RESISTANT VINYL, WITH DURABLE ADHESIVE SUITABLE FOR THE ENVIRONMENT.
7. APPLICABLE NEC SECTIONS: NEC 110.16

SCALE: N.T.S.

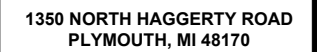


1. PLACE LABEL IN A VISIBLE LOCATION ON SWITCHBOARD.
2. TEXT TO BE ALL CAPITAL LETTERS. ARIAL OR SIMILAR FONT, NON-BOLD.
3. APPLICABLE NEC SECTION: NEC 110.9

SCALE: N.T.S.



SCALE: N.T.S.



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CHECKED BY:	SES
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APPROVED BY: \_\_\_\_\_ DER

PROJECT #:	50133561
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SHEET TITLE

## ELECTRICAL DETAILS

SHEET NUMBER

E-2

DocuSign Envelope ID: 5287CDDE-2557-4650-9AC5-F4FC050DC73B

Technical Specifications



Version 2023.31  
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Rivian Adventure  
Network 1.5 CCS  
Dispenser

Overview	Max Output Power	300 kW DC
	Max Output Current	500 A DC (continuous)
	Output Voltage Range	200-920 V DC
	Connector Type	CCS1
	Dimensions	exp 2,267 H x 595 D x 390 W mm
	Weight	exp 180 kg
	Enclosure Rating	exp 3R
	Certification	exp ETL
	Accessibility	ADA Compliant
	Payment	NFC Contactless Credit Card Reader
	Language	English, Spanish
Connectivity	Local Area Network	100BASE-T ethernet
	Wide Area Network	4G LTE
	Vehicle Communications	DIN 70121, ISO 15118
	Backend Communication	exp OCPP 2.0.1
	Compliance	exp UL 2202 / CSA C22.2 No. 107.1, FCC Part 15
	Software	Over-the-air firmware updates
Environmental	Operational Altitude	exp 7000ft
	Operating Temperature	exp -20°C to 40°C
	Storage Temperature	exp -35°C to 70°C
	Operating Humidity	exp 0-100%

RAN 1.5 CCS Dispenser Product is under development.  
Specification can change without prior notice

Rivian.com

EQUIPMENT DATASHEETS

SCALE: N.T.S.

1

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Technical Specifications

Power Module	Max Output Power	50kW
	Max Output Current	125A
	Power Factor	0.99
	Cooling Method	Liquid
Cabinet	AC Input Voltage	480Y/277 VAC (60Hz)
	AC Input Connection	3-phase L1, L2, L3, GND (no neutral)
	Full Load AC Amps	448 A
	Short Circuit Rating	100 kA
	Max Output Power	300 kW DC
	Output Voltage	200-920 V DC
	Total Output Current	750 A DC (continuous)
	Max Output Current per Channel *	500 A DC (continuous)
	Number of DC Output Channels	3
	Number of DC Dispensers Served	Up to 3
	Number of Power Modules per Cabinet	6
	Dimensions	2,362 H x 1,219 D x 1,118 W mm
	Weight	1,200 kg
	Enclosure Rating	3R

\* The 3 Channel DC Power Cabinet can be installed with either Adventure Network Dispenser or Fleet Dispenser.  
Max output current per channel is determined by the paired dispenser's rated current.

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3 Channel DC  
Power Cabinet



1350 NORTH HAGGERTY ROAD  
PLYMOUTH, MI 48170



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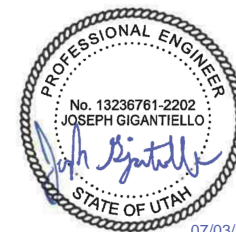
E-3



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UTILITY DETAILS

SHEET NUMBER

E-4

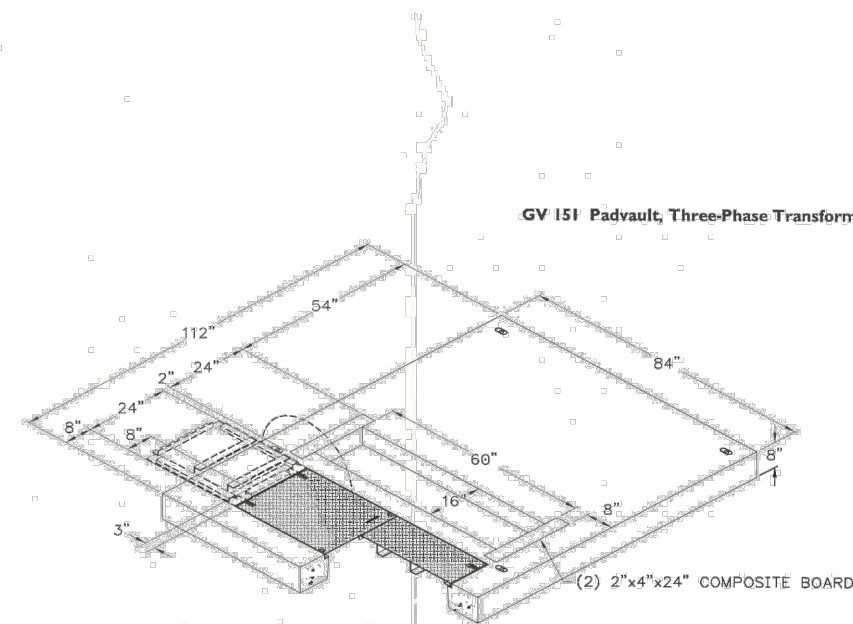


Figure 2—112" x 84" Radial-Feed Transformer Padvault, 1000-2500 kVA  
(S# 7992958)

Distribution Construction Standard  
Page 3 of 6  
Published Date: 3 Sep 13  
Last Reviewed: 3 Sep 13



Deviation from this standard requires prior approval. Contact the standards engineering manager for approval processes and forms. Printed versions of this standard may be out of date. Please consult the online standards for the most recent version. ©2014 by PacifiCorp Engineering Publications.

#### NOTES:

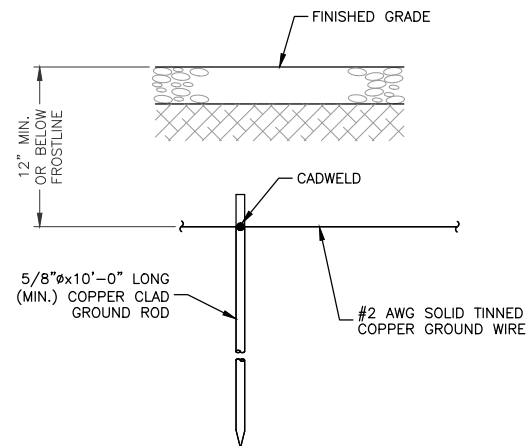
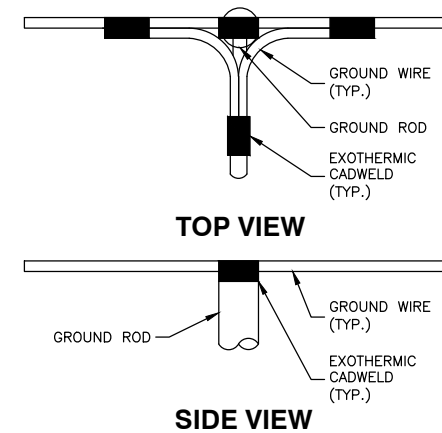
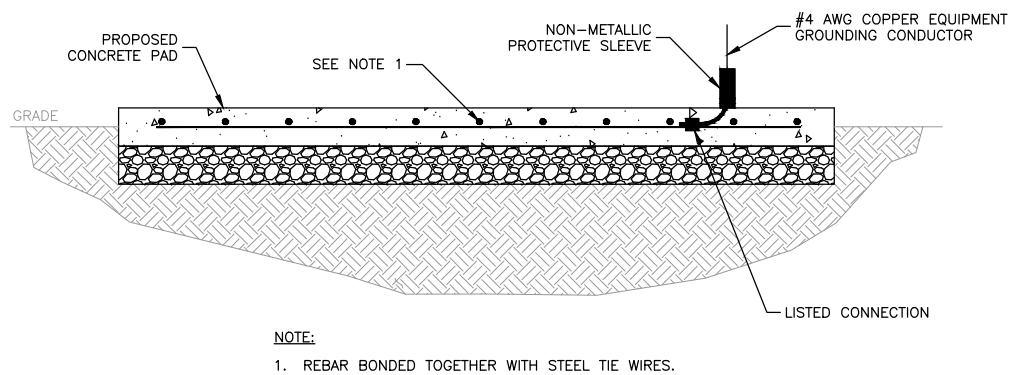
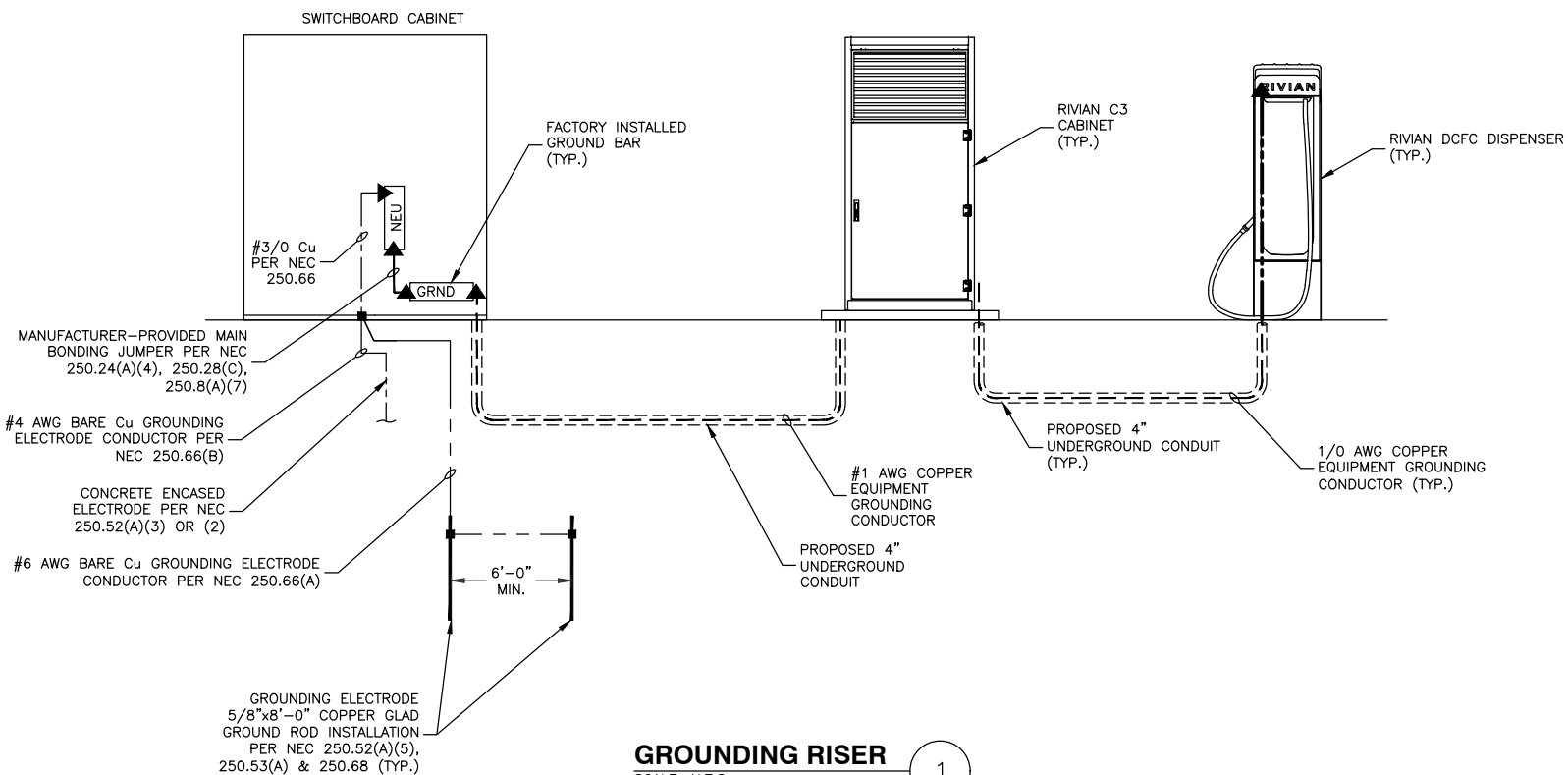
1. PRICE CITY, UT FOLLOWS ROCKY MOUNTAIN POWER INSTALLATION REQUIREMENTS. REFER TO LATEST ONLINE ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.
2. RIVIAN CONTRACTOR FOR PROVIDING & INSTALLING THE PADVAULT PER ROCKY MOUNTAIN POWER REQUIREMENTS. TRANSFORMER PROVIDED & INSTALLED BY PRICE CITY, UT.

RMP TRANSFORMER PAD & VAULT

SCALE: N.T.S.

1





- NOTES:**
- GROUND ROD(S) SHALL BE INSTALLED IN UNDISTURBED SOIL, 12" MIN. AWAY FROM THE POLE. TOP OF GROUND ROD(S) SHALL BE 4" MIN. BELOW FINISHED GRADE. THE GROUNDING RESISTANCE SHALL BE PER THE UTILITY PROVIDER REQUIREMENTS.
  - GROUND PER REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION & UTILITY COMPANY REQUIREMENTS. SEE NATIONAL ELECTRICAL CODE (NEC), SECTION 250.



1350 NORTH HAGGERTY ROAD  
PLYMOUTH, MI 48170



Dewberry Engineers Inc.

990 S. BROADWAY  
SUITE 400  
DENVER, CO 80209  
PHONE: 303.825.1802



JOSEPH GIGANTIELLO, P.E.  
UT LICENSE No 13236761-2202

DRAWN BY: RS

CHECKED BY: SES

APPROVED BY: DER

PROJECT #: 50133561

JOB #: 50187142

#### SUBMITTALS

REV.	DATE	DESCRIPTION
1	07/03/25	ISSUED FOR PERMIT
0	06/16/25	ISSUED FOR 100% REVIEW
A	04/30/25	ISSUED FOR 90% REVIEW

SITE NAME:

PRICE, UT

SITE ADDRESS:

120 N. CARBONVILLE RD.  
PRICE, UT 84501

COORDINATES:

39.601302', -110.822556'

SHEET TITLE

GROUNDING  
RISER & DETAILS

SHEET NUMBER

G-1

**ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY  
THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE  
LAND USE APPLICANT FOR A SITE PLAN AMENDMENT FOR THE LAND USE OF A  
ELECTRIC VEHICLE CHARGING KIOSKS AT 120 N CARBONVILLE ROAD WITHIN THE  
COMMERICAL 1 (C-1) ZONING DISTRICT.**

**Purpose:** the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **KEN TAKADA**, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **AMENDED SITE PLAN FOR ADDITION OF ELECTRIC VEHICLE CHARGING KIOSKS**.

**Parties:** this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **KEN TAKADA** (Applicant), for the property located **120 N CARBONVILLE ROAD**.

**Term:** the term of this agreement commences on **August 25<sup>th</sup>, 2025** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

**Applicant Shall:**

1. Exterior lighting during all dark hours when accessed by owners, employees or customers finding that lighted ingress/egress mitigates the potential for accidents. Exterior lighting to be high efficiency LED fixtures.
2. Maintain a minimum of five percent (5%) area landscaping. Water wise landscaping requested.
3. Signage to be reviewed and approved by the Price City Planning Department prior to installation finding that reviewed signage provides for community consistency and Code compliance.
4. Obtain a building permit and all construction/installation under the auspices of a building permit and inspection. Contact the Carbon County Building Department at 435-636-3260.
5. Complete a public infrastructure development agreement with the Price City Public Works Department, if required, and submission of any financial surety required. Repair and replace any public infrastructure or utility infrastructure damaged or necessary for construction/installation of the electric vehicle charging kiosks on the site.
6. Obtain a Price City business license for operation of the electric vehicle charging kiosks prior to commercial operation.
7. Electrical Specific Requirements:
  - a. Payment to Price City in an amount of one-hundred twenty-five percent (125%) of the Rocky Mountain Power cost estimate for electrical system connection requirements prior to commencement of any site work. True-up of final cost for electrical system work and connection and refund or additional billing from Price City.
  - b. All connections to the Price City electrical system to be metered for billing purposes, provision of all necessary metering and billing information to Price City prior to meter installation and operation of the electric vehicle charging kiosks.
  - c. All electrical connections to be as indicated on the submitted plans and as directed or further directed by the Price City electric department. Specific electrical connection requirements:
    - i. Excavation for and installation of (2) 6-inch PVC conduits from existing utility sectionalizing cabinet at intersection at West 100 North and Carbonville Road to the existing utility sectionalizing cabinet located in Front of the KFC Restaurant at 130 North Carbonville Road. See note after item #4.
    - ii. Excavation for a new 12 position utility sectionalizing cabinet and basement with the new 6-inch lines from Item #1 on the south side of the north driveway for the Tacobell Restaurant at 120 North Carbonville Road. See note after item #4.

- iii. Excavation for and installation of (2) 4-inch PVC conduits from proposed utility sectionalizing cabinet near Carbonville Road to, and including, the required transformer vault (provided and installed by the developer) for the development electrical service. See note after item #4.
- iv. Excavation for and installation of (6) 4-inch PVC conduits from proposed utility transformer vault to the electrical service switchgear (provided and installed by the developer). All elbows must be wide sweep and medium weight fiberglass.
- v. ***NOTE: All elbows must be wide sweep and medium or heavy weight(duty) fiberglass. Elbows and conduit ends within the sectionalizing cabinets and switchgear must have end bell fittings installed. Conduit ends within the transformer vault must have appropriate fittings, ends, or treatments done or installed to prevent damage to the conductors. The transformer vault must have a drain or means for water to leave the vault by natural forces and the excavation prepared such that any water that leaves the vault can drain away so there will be no standing water within the vault under normal and typical circumstances and weather events. Flat braided wire pulling rope or "Mule tape" rated at a minimum of 1200 lbs. Must be installed in each conduit and tied off at each open end with a minimum of 15 feet of extra line out each end of the conduit. The excavation and backfill for all conduit, sectionalizer cabinets, and the transformer vault must meet the requirements in the PacifiCorp Policy 242 manual which Price City has voluntarily adopted and enforces. All Underground conduit must be inspected by a Price City Electrical Utility Infrastructure Employee prior to backfill. After a backfill of 12 to 18 inches deep has been placed over the conduit, a metallic or traceable warning tape must be installed and inspected again by a Price City Electrical Utility Infrastructure Employee before any further backfill and grade may be done. Ends of any HDPE conduit installed must be properly prepared and chamfered to prevent snags and conductor damage then inspected by a Price City Electrical Utility Infrastructure Employee prior to making connections to any other conduits. Transitions from HDPE to any other type of conduit must be done using the appropriate connectors and must also be inspected prior to backfill.***
- vi. Installation of switchgear with included electrical service disconnect and provisions for the installation of current transformers for metering. A 13-jaw meter socket and enclosure with provisions for the installation of a metering test-switch must be installed on the exterior of the switchgear and include a 1-inch chase, no more than 12 inches in length, from the meter socket enclosure to the current transformer section of the switchgear. A concrete sidewalk or pad that meets ADA and other regulatory width and depth requirements for access, working area, and safety is required in front of the meter socket and the door side of the switchgear and must be kept clear of any obstacles, obstructions, and hazards for personnel access. All utility meters, and disconnect points must be accessible to emergency services and utility personnel at all times day and night all year round without having to enter fenced or walled in areas, going through any part of a building (interior or exterior) or having to unlock locks or other securing means put in place by anyone other than utility personnel. The switchgear and electrical service installation shall meet the requirements of the Rocky Mountain Power 2022 Electrical Service Requirements Manual which Price City has voluntarily adopted and enforces and any other currently enforced local, State, and Federal requirements and regulations.

#### 8. Restrictions:

- a. No new ingress or egress from site, no new vehicle or pedestrian traffic patterns permitted finding that existing vehicle and pedestrian traffic patterns serve to mitigate potential accidents.
- b. No changes to existing storm water management on site finding that existing storm water flows and management serve to prevent flooding.

- c. No changes to garbage dumpster enclosure location and service frequency and capacity finding that existing garbage enclosures serves to prevent accumulations or wind scatter of garbage, rubbish and debris.
  - d. No changes to existing off-street parking not utilized for the addition of the electric vehicle charging kiosks.
  - e. No placement of any electric vehicle charging kiosk equipment, materials, infrastructure or appurtenances within the UDOT right of way.
9. No activity or actions that violate the Price City Property Maintenance Code finding that properly maintained structures and outdoor areas protect property values and serve to improve the community aesthetic.
10. Move to acknowledge that the applicant is aware of the conditions of approval, understands the conditions of approval and intends to comply with the conditions of approval.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

**SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.**

Price City

Applicant:

\_\_\_\_\_  
By Jan Young, Chair

\_\_\_\_\_  
[Ken Takada](#)

ATTEST:

\_\_\_\_\_  
Jaci Adams, City Recorder



# CONDITIONAL USE PERMIT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: SITE PLAN AMENDMENT FOR  
PLACEMENT OF ELECTRIC VEHICLE CHARGING  
KIOSKS LOCATED AT 120 N CARBONVILLE  
ROAD WITHIN THE C-1 ZONING DISTRICT.**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH  
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY  
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT  
CODE.

*Price* Utah

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_