



Memorandum

To: Planning Commission
From: Niall Connolly, Principal Planner
Date: August 15th, 2025
Re: Design Development Review Revision, New Residence at 54 Hummingbird Lane

Introduction

The Planning Commission approved a design development review for development at 54 Hummingbird Lane at the September 18th 2024 meeting. This development consisted of a single family home and casita/ detached garage. Approval was given subject to thirteen planning conditions.

Proposed Revisions

This DDR revision application has been made to seek approval to revise the access arrangements that were approved last September. Access to this property and its neighbouring properties (no. 50 and no. 44) is not straightforward. As shown in figure 1, the access for the application property passes through a corner of the front yard of no. 50. The access for no. 44 does also, as well as passing through no. 54. Staff's understanding is that these existing access arrangements are informal and do not involve any recorded easements. The plans which were approved included a shared parking area for no. 44 and 54, which would have straddled the property boundary. Following further discussion between the property owners in question, they have decided they would instead prefer to create separate accesses and separate parking areas. This application seeks approval for these revised access arrangements.

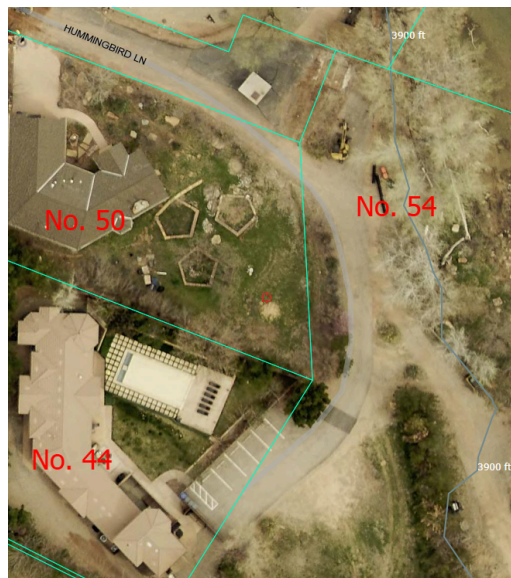


Figure 1. Aerial view showing the complex access arrangement of these properties. The green lines are the property lines.

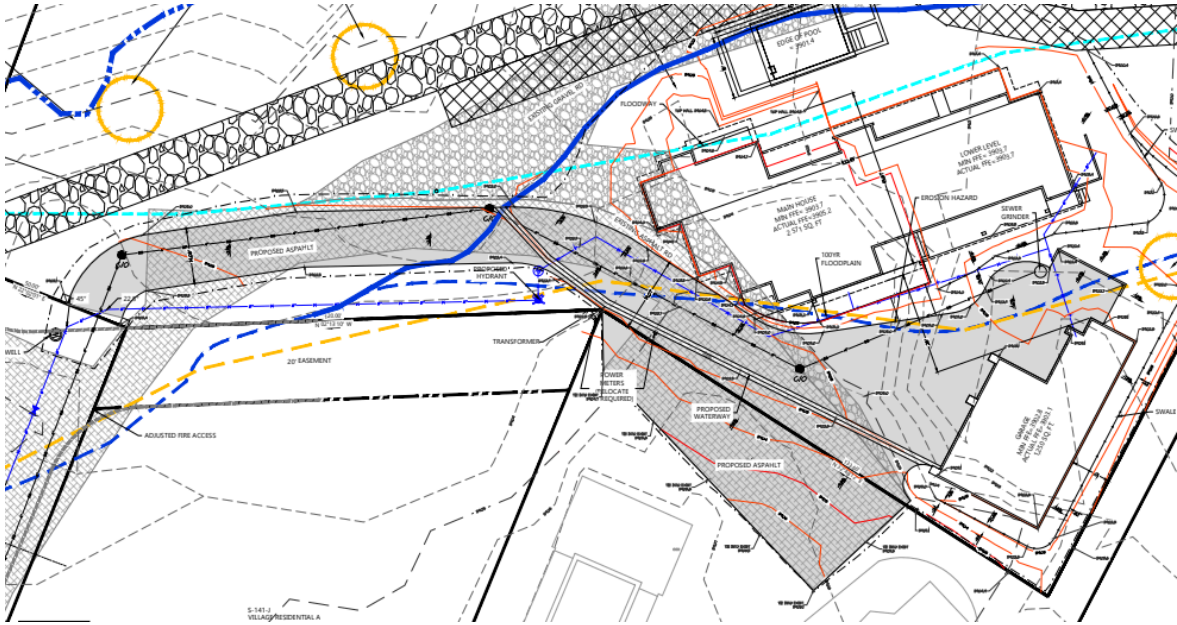


Figure 2. Layout that was approved, which included a shared parking area for no. 44 and 54.

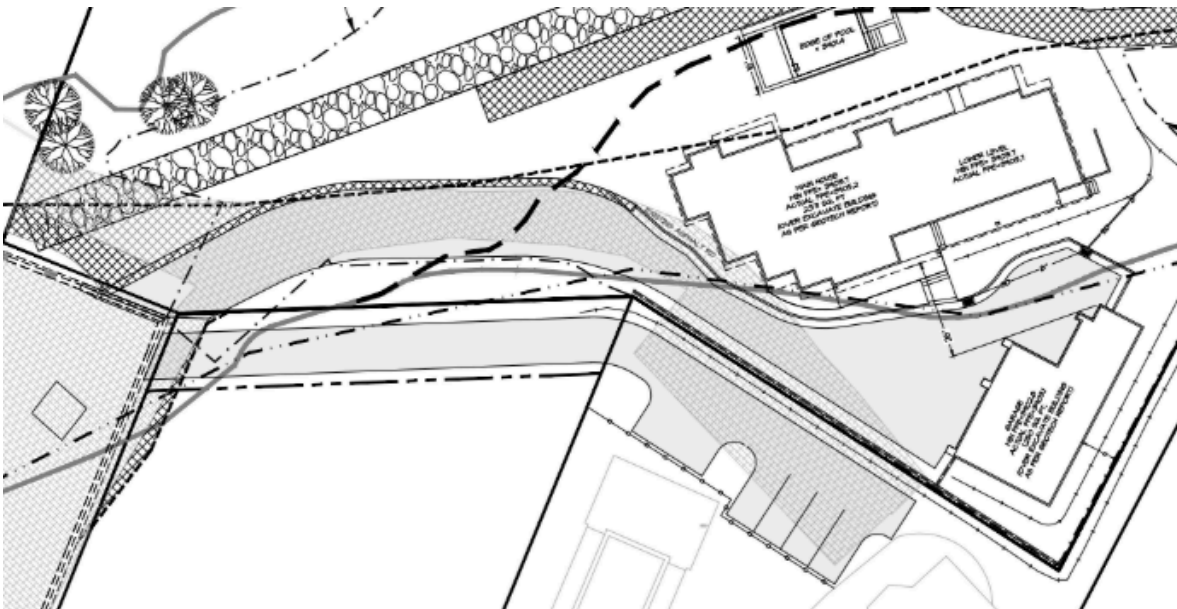


Figure 3. Revised Access now proposed, with separated parking areas

The approved plans retained the existing shared driveway through no. 54, and then a parking lot which would be shared by both no. 44 and 54. The access layout now proposed would separate the access and parking of these two properties. No. 54 would continue to use the same access, and have its own parking area. No. 44 would now be accessed through a new driveway passing through the yard of no. 50. There is an existing easement which allows them to create this new driveway. They would also now have their own parking area.

Access Easements

As outlined above, the existing access arrangements which involve passing through each other's properties are informal. The new access arrangement will require two easements:

- Firstly, for the new driveway through the yard of no. 50 to access no. 44. Although this has not been used until now, an easement already exists here.

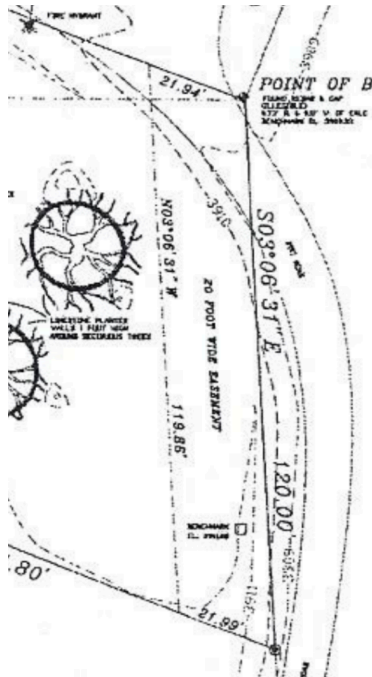


Figure 4. Easement through no. 50 which benefits no. 44

- Secondly, an additional area of the yard of no. 50 will be needed to benefit no. 54 (the application property). This is to allow fire truck access. A 20 ft wide fire access is required, and this additional area of land is needed to get around the Town's pump house which is situated at the bottom of Hummingbird Lane. No such easement exists at present, however Town staff has been presented with an unsigned draft of this easement. Fire district approval is part of the building permit stage. A signed and recorded version of this new easement will be required before the building permit can be issued.

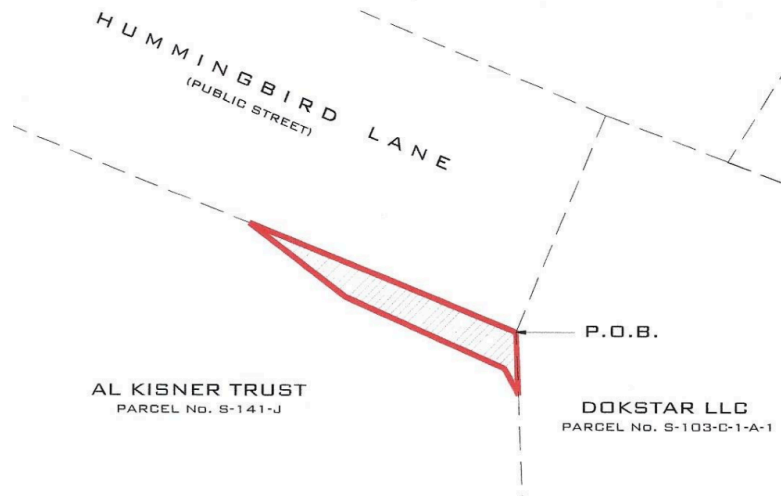


Figure 5. New easement that will be required to create fire truck access to no. 54

Other Changes

Other than the revised access arrangements, the plans are otherwise almost identical to the already approved plans. There are two additional changes however:

- The approved plans showed the roof of the house as standing seam metal. The plans now show the roof as EDPM membrane with aluminum flashing. This should comply with the Code so long as the color of the roof is on the Town color palette and the aluminum is non-reflective.
- Sheet 4 of the Civils Plans (Site Grading and Drainage Plan) by Rosenberg Engineers shows re-grading on the riverward side of the erosion protection trench. This was not shown on previous grading plans. This is potentially problematic because the flood modelling that was done in support of the floodplain development permit and erosion permit to show “no-rise” was not based on this re-grading. Staff therefore recommend that if the planning commission approves these revised plans, the approval is conditional on the grading being as originally shown, and not this new arrangement.

Other than these points, the plans are identical to those approved before. Staff recommends that the commission need not revisit the original approval, other than these specific changes which are proposed. As this is an application to “revise” the existing DDR approval, the existing DDR expiry date still applies (**September 17, 2025**) and will not be extended by this revision application.

Planning Conditions

The September 2024 approval was subject to 13 conditions. It would be advisable to restate some of these conditions on any approval for this revised DDR. However, some of the conditions will no longer be applicable. The table below lays this out:

Condition	Comments
1. The applicant must provide a sample of the roof material to the Town in advance of construction to ensure it complies with the Town's color palette.	We recommend this condition is included with any revised approval. Particularly as the roof material now proposed is different from the original approval.
2. Any native trees, such as cottonwoods, that are lost during construction must be replaced at a rate of 2:1 new trees for every tree which is lost.	We recommend this condition is included with any revised approval.
3. Replacement trees must be the same or similar approved species and native to Zion Canyon.	We recommend this condition is included with any revised approval.
4. The applicant must obtain a separate pool permit for the swimming pool and the lighting must meet the outdoor lighting requirements of the ordinances.	We recommend this condition is included with any revised approval.
5. The applicant must enter into a common parking agreement with the owners of 44 Hummingbird Lane, as described in Section 10-23-8(B) of the Springdale Municipal Code.	This is no longer necessary, as the shared access and parking is no longer proposed.
6. An easement must be recorded on the property to ensure perpetual access for parking for parcel S-141-G-1-A.	This is no longer necessary, as the shared access and parking is no longer proposed.
7. The pump house on Hummingbird Lane is not to be removed.	We recommend this condition is included with any revised approval.
8. If at any future time the property owner or applicant desires to turn the property into a vacation rental, they must follow the then applicable Transient Lodging Ordinances and requirements such as the Transient Lodging Overlay Zone that is enforced now.	We recommend this condition is included with any revised approval.
9. The Town and the applicant will review section 10-25-10 of the Town Code and determine if that applies to this shared driveway making it a lane and requiring a Road Maintenance Agreement.	At the time, staff verified that this section of the code did not apply. The newly proposed accesses do not involve any shared driveways. Staff does not recommend this condition is carried forward to a revised approval.
10. The applicant and the Town staff will perform a site walkthrough to reconfirm all of the native trees that will remain or be removed and confirm that those that are removed will be replaced 2:1.	The applicant's representatives and Town staff did a site walkthrough in October 2024 to confirm the native vegetation. The landscape plan was to be updated based on this, but no updated plan has

	<p>been provided in the intervening time.</p> <p>We recommend this condition is not carried forward, but that a condition requiring an updated landscape plan is required (see below).</p>
<p>11. The staff will review the grading plans for this DDR in combination with the erosion permit that was granted in 2021 to review the entire common grading and make sure that the grading meets the requirements of both plans.</p>	<p>This review has since been carried out and it was confirmed that the proposed grading matched the grading on the erosion hazard permit plans.</p> <p>The new plans however show different grading than was proposed before. Staff recommends a new condition (see below) to address this point.</p>
<p>12. The applicant will provide access to a potential future trail connection to the park from the end of Hummingbird Lane that would potentially access a bridge over the river to the property on the other side.</p>	<p>We recommend this condition is included with any revised approval.</p>
<p>13. The casita cannot be rented separately in accordance with the development agreement, and if any rentals do occur of the house and casita, they must be rented together to a single association, family, or other similar group.</p>	<p>We recommend this condition is included with any revised approval.</p>
<p>The Following Additional Conditions are Recommended</p>	
<p>Prior to the issuance of a building permit, the applicant must provide the Town evidence of a recorded easement allowing access across no. 50 Hummingbird Lane to benefit no. 54 Hummingbird Lane. This easement is required to accomplish the required fire truck access.</p>	<p>Staff recommends that this condition is added.</p>
<p>An updated landscape plan must be provided to the Town. This plan must detail the native vegetation taller than 6ft which is to be removed, and show where the required two replacement trees for every one that is lost.</p>	<p>Staff recommends that this condition is added, in place of the original condition 10.</p>
<p>The re-grading shown on the riverward side of the erosion protection on Civil Sheet no. 4 (Site Grading and Drainage Plan) is not approved. Any grading in this area must conform to the plans previously approved with the floodplain development permit, unless further hydraulic and</p>	<p>This condition is recommended to ensure that any re-grading in the floodway complies with the Town's ordinances and does not lead to a rise in the base flood elevation.</p>

hydrological modelling is provided which demonstrates that any such re-grading will not lead to a rise in the base flood elevation on or off site.	
This revised approval does not include the new parking area shown on the plans at no. 44, nor the new driveway through no. 50's yard to serve no. 44. A separate permit application will be required for approval of those improvements.	These elements of the plans are indicative only, and the property owners in question would need to make that permit application.

Applicable Ordinances

The Commission may wish to refer to the following ordinances to help inform the review of this application:

- Section 10- 11B: Village Commercial Zone
- Section 10- 18: Landscaping

The Planning Commission may also wish to refer to the Development Agreement that relates to this property.

Planning Commission Action

The Planning Commission should review the proposed Design Development Review Revision to determine if it complies with the applicable standards in the Town Ordinance. Staff recommends the Commission specifically consider the following:

- Does the proposed development meet all the requirements of the Village Commercial (VC) Zone?

Sample Motion Language

The Planning Commission may refer to the following sample language when making a motion on the application:

*The Planning Commission **approves/ denies** the proposed Design Development Review Revision for a single family home and detached garage/ casita at 54 Hummingbird Lane, as discussed at the Commission meeting on August 20th, 2025. The motion is based on the following findings:*

[LIST FINDINGS]

If making a motion for approval, the planning commission may wish to consider the conditions of approval which are listed in the table above.

Appendix 1. Application Drawings

Appendix 2. Development Agreement

Appendix 1: Application Drawings



SPRINGDALE SNOWLEOPARD

54 HUMMINGBIRD LANE
SPRINGDALE, UTAH, 84767

PROJECT DATA

OWNER: BRECK DOCKSTADER
LEGAL DESCRIPTION: S-103-C-1-A-1
BLDG CLASSIFICATION: SINGLE FAMILY RESIDENCE
TYPE OF CONSTRUCTION: VB

CODES: HOMES SHALL BE CONSTRUCTED TO ALL LOCAL CODE REQUIREMENTS OF WASHINGTON COUNTY.

*2021 INTERNATIONAL RESIDENTIAL CODE('21 IRC)
*2021 INTERNATIONAL BUILDING CODE('21 IBC)
*2021 INTERNATIONAL PLUMBING CODE('21 IPC)
*2021 INTERNATIONAL MECHANICAL CODE('21 IMC)
*2021 NATIONAL ELECTRICAL CODE('21 NEC)
*2021 INTERNATIONAL ENERGY CONSERVATION CODE ('21 ECC) UTAH EDITION

SQUARE FOOTAGE	
MAIN HOUSE	
LOWER LEVEL	1,190' SQFT
MAIN LEVEL	1,768' SQFT
2ND LEVEL	1,990' SQFT
MAIN HOUSE TOTAL LIVING SQFT	4,948' SQFT
CASITA / GARAGE	
1ST LEVEL	1,319' SQFT
2ND LEVEL	1,215' SQFT
CASITA / GARAGE TOTAL LIVING SQFT	1,215' SQFT
TOTAL LIVING SQFT	6,217' SQFT

DEVELOPMENT SERVICES ITEMS CHECKLIST

- ELEVATION AT SIDEWALK CALLOUT
- SETBACK - MAX. & MIN.
- CORNER LOT SETBACKS
- ALL SETBACKS
- DOWN SPOUT PIPED TO LANDSCAPE STRIP OR STORM DRAIN
- GARAGE ENTRY ORIENTATION
- RETAIN & PRIVACY WALLS
- EXTERIOR LIGHT, NIGHT SKY COMP.

GENERAL NOTES

- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO FINAL INSPECTION. CONSTRUCTION DEBRIS SHALL BE SECURED AT ALL STAGES OF CONSTRUCTION TO PREVENT TRAVELING FROM THE JOB SITE.
- ALL CONSTRUCTION MUST CONFORM TO ALL ADOPTED CODES AND STATUTES OF THE JURISDICTION IN WHICH CONSTRUCTION TAKES PLACE.
- ANY EARTH FILL TO SUPPORT CONCRETE FLOORS, WALKS, DRIVEWAYS, ETC. MUST BE COMPACTED TO 90%.
- ALL FOOTINGS TO BE PLACED 12" BELOW UNDISTURBED GROUND AND A MINIMUM OF 30" BELOW FINISHED GRADE OR AS REQUIRED FOR LOCAL FROST LINE. TOP OF FOUNDATION SHALL BE 4" MIN. ABOVE FINISHED GRADE. FINISHED GRADE MUST SLOPE AWAY FROM THE BUILDING. A MIN. OF 6" FOR THE FIRST 10'-0" AND 2% AFTER. DRAINAGE FROM LOT SHALL FLOW INTO AN APPROVED DRAINAGE SYSTEM.
- 1/2" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE SHALL BE A MAXIMUM OF 32" O.C. AND NO MORE THAN 12" FROM THE CORNERS w/ 3" X 3" X 1/4" PLATE WASHERS.
- CURBS, GUTTERS AND SIDEWALKS AT FRONTAGE OF THE LOT SHALL BE INSTALLED AT THE TIME OF NEW CONSTRUCTION. CURB, GUTTER, AND SIDEWALKS SHALL BE CLEAN AND IN NEW CONDITION AT TIME OF FINAL INSPECTION.
- NO STUMPS, ROOTS, OR ORGANIC MATERIAL SHALL BE PRESENT IN SOIL AT THE AREA OF THE BUILDING.
- CONTRACTOR SHALL PROVIDE A MIN. OF 7'-0" HEADROOM IN ALL AREAS OF DWELLING. BEAMS MY PROJECT 6" BELOW REQUIRED CEILING HEIGHT. CEILING HEIGHT IN BASEMENT WITHOUT HABITABLE ROOMS MAY BE 6'-8" MIN. WITH BEAMS PROJECTING 4" BELOW CEILING HEIGHT.
- APPROVED NUMBERS SHALL BE PROVIDED FOR ADDRESS OF NEW BUILDINGS AND PLACED IN A POSITION WHICH IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET AT FRONTAGE OF PROPERTY.
- STAIRWAYS SHALL BE A MINIMUM OF 36" WIDE, MINIMUM HEADROOM OF 4'-8". A MAXIMUM RISE OF 7-3/4". MINIMUM RUN OF 10". A MAXIMUM VARIATION OF 3/8" IS PERMITTED IN RISE, RUN, OR PROJECTION IN A RUN OF STAIRS. SOLID RISERS (CONCRETE, ETC. REQUIRES A 3/4" - 1 1/4" NOSING OR A 10" MINIMUM RUN. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 4" AT ANY POINT.
- HANDRAILS MUST BE INSTALLED ON STAIRS WITH 2 OR MORE RISERS. HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINALS. HAND RAILINGS SHALL NOT BE LESS THAN 34" OR MORE THAN 38" ABOVE NOSE OF TREAD. HANDRAIL SHALL HAVE A DIAMETER NOT LESS THAN 1 1/8" OR MORE THAN 2".
- GUARDRAILS SHALL BE NOT LESS THAN 36" IN HEIGHT. OPEN RAILING SHALL HAVE INTERMISSION RAILS SPACED SUCH THAT A 4" SPHERICAL OBJECT CANNOT PASS THROUGH.
- LANDINGS SHALL BE A MIN. 36" X 36" AT ALL EXTERIOR SWINGING HINGED DOORS AND AT TOP AND BOTTOM OF ALL STAIRS.
- INSTALL DENSE, NONABSORBENT WATER PROOF SHEET ROCK ON WALLS OF SHOWERS, TUBS, ETC. ENTIRE HEIGHT OF WALL.
- PROVIDE ATTIC ACCESS OF NOT LESS THAN 22" X 30" CLEAR OPENING AND ALLOW 30" MIN. HEADROOM. ATTIC ACCESS MUST BE LOCATED IN A READILY ACCESSIBLE LOCATION (NOT IN A CLOSET).
- ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE A CLEAR CROSS VENTILATION AREA TO THE OUTSIDE. VENTS SHALL PROVIDE AIR INTAKE TO ALLOW A MIN. OF 1/150 OF TOTAL SQ. FT. OF ATTIC SPACE IN BOTH GABLE / ROOF VENTS. VENTS FOR SOFFITS SHALL PROVIDE AIR INTAKE TO ALLOW A MIN. OF 1/300 SQ. FT.
- CHIMNEYS FOR FIREPLACES SHALL EXTEND A MIN. OF 2'-0" ABOVE ROOF OR 10'-0" AWAY FROM OUTSIDE AIR INTAKE OPENINGS.
- ALL GARAGE WALLS, BEAMS, AND CEILINGS TO HAVE 5/8" TYPE 'X' SHEET ROCK INSTALLED. IN DWELLINGS WHICH HAVE LIVING SPACE OVER THE GARAGE INSTALL 5/8" TYPE 'X' SHEET ROCK OR EQUIVALENT.
- PROVIDE COUNTER FLASHING AND CAULKING AT ALL EXTERIOR OPENINGS (DOORS, WINDOWS, DRYER VENTS, ETC.) AND INSTALL PER MFG'R SPECS.
- PROVIDE METAL FLASHING OR 15# FELT BETWEEN WOOD SHEATHING AND CONCRETE PORCHES, LANDINGS AND STAIRS.
- ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS DOORS, LOUVERS, OR OTHER APPROVED OPENING TO THE OUTSIDE AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OF SHALL OTHERWISE BE READILY CONTROLLED BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.

FRAMING

- JOISTS UNDER PARALLEL BEARING PARTITIONS TO BE DOUBLED AND JOISTS UNDER PARALLEL NONBEARING WALLS SHALL BE DOUBLED IF WALL EXCEEDS 1/3 THE LENGTH OF THE JOIST 12" AND LONGER. 3/4" PLYWOOD OR O.S.B. SHALL BE USED FOR SUB FLOOR IF JOIST SPACING IS 24" O.C.
- FIRE STOPPING
 - FIRE BLOCK STUD SPACES OVER 10'-0" IN HEIGHT, FURRED SPACES, SOFFITS, DROP CEILINGS, COVE CEILINGS, STAIR STRINGERS AT TOP AND BOTTOM OF RUN, BEARING WALLS AND CEILING JOIST LINES, ETC. FIRE STOPPING SHALL CONSIST OF 2" NOMINAL LUMBER.
 - FIRE STOP OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND FIREPLACES AT CEILING AND FLOOR LEVERS WITH APPROVED NONCOMBUSTIBLE MATERIALS.
- STUDS WHICH EXCEED 9'-0" IN LENGTH SHALL BE 2X6 UNLESS OTHERWISE SPECIFIED BY ENGINEER.
- SOLID BLOCK BETWEEN JOISTS, RAFTERS, AND TRUSSES OVER BEARING WALLS, BLOCKING TO BE A 2" NOMINAL THICKNESS AND FULL DEPTH OF JOISTS, RAFTER, OR TRUSS.
- UNLESS OTHERWISE NOTED, BRACE ALL EXTERIOR WALL AND CROSS STUD PARTITIONS WITH MIN. 7/16" O.S.B. OR EQUIVALENT PLYWOOD WITH 8d NAILS @ 6" O.C. ON PANEL EDGES AND 12" O.C. IN FIELD OF PANEL.
- NAIL PLATES SHALL BE INSTALLED TO PROTECT CONCEALED PIPING PASSING THROUGH OR NOTCHED INTO STRUCTURAL MEMBERS WHERE THERE IS LESS THAN 1- 1/2" TO THE FACE OF THE MEMBER. WIRING INSIDE OF FRAMING MEMBERS WHERE THE BORED HOLE IS CLOSER THE 1- 1/4" TO THE NEAREST EDGE OF THE FRAMING MEMBER OR THE FRAMING MEMBER IS NOTCHED. A STEEL PLATE NOT LESS THAN 1/16" THICK AND APPROPRIATE LENGTH AND WIDTH SHALL BE INSTALLED TO COVER THE AREA.

WINDOW

- WINDOWS SHOULD BE HEAD AT DOOR HEIGHT.
- BEDROOM WINDOW SILLS SHALL BE WITHIN 44" OF THE FINISHED FLOOR. SUCH WIDOW SHALL HAVE A MIN. CLEAR OPENING OF 5.7 SQ. FT. WITH A MIN. HEIGHT CLEARANCE OF 24" AND A MIN. WIDTH CLEARANCE OF 20". (EGRESS REQUIREMENTS)
- ALL OPERABLE WINDOWS AND GLASS DOORS SHALL INCLUDE SCREENS.
- ALL BASEMENT WINDOWS NOT FULLY 6" ABOVE GRADE SHALL BE PROTECTED BY GALVANIZED IRON OR CONCRETE WINDOW WELLS. (SEE WINDOW WELL REQUIREMENTS).
- ALL WINDOWS SHALL BE DOUBLE GLAZED WITH 1/4" MIN. SPACES. U-VALUE OF WINDOW PER RES-CHECK MIN.
- SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED.
- FRAMELESS GLASS DOORS, GLASS IN DOORS, FIXED GLASS PANELS, WINDOWS OVER BATH TUBS, ALL GLASS WITHIN 24" OF ANY DOOR, WINDOW WITHIN 18" OF FINISHED FLOOR, AND SIMILAR GLAZED OPENING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS.
- PROVIDE C FLASHING AROUND ALL WINDOWS AND DOORS WITH SILL PLATE FLASHING.

PLUMBING

- PLUMBING VENTS SHALL TERMINATE AT LEAST 3'-0" ABOVE AND 10'-0" AWAY FROM OUTSIDE AIR INTAKE OPENINGS AND CAN NOT BE FLAG POLED.
- INSTALL FREEZE-LESS BACK FLOW PREVENTION HOSE BIBS.
- SHOWER HEADS TO BE 2.5 GALLONS PER MINUTE MAX.
- ALL TOILETS AND WATER CLOSETS TO HAVE 1.6 GALLON FLUSH MAX.
- PROVIDE ANTI-SCALD VALVES ON ALL SHOWER HEADS AND BATH TUB COMBINATIONS.
- THE WALL AREA ABOVE THE BUILT-IN TUBS HAVING INSTALLED SHOWER HEADS AND IN-SHOWER COMPARTMENT WALLS SHALL FORM A WATERTIGHT JOINT WITH EACH OTHER AND WITH EITHER THE TUB, RECEPTOR, OR SHOWER FLOOR.
- WATER HEATER SHALL BE ANCHORED OR STRAPPED IN THE UPPER & LOWER THIRD OF THE APPLIANCE TO RESIST A MIN. 1/3 OF THE OPERATING WEIGHT OF THE APPLIANCE.
- PROVIDE ACCESS TO JETTED TUB PUMP PER MANUFACTURERS INSTALLATION INSTRUCTIONS. PROVIDE ACCESS TO ELECTRICAL WITHOUT DAMAGE TO BUILDING OF FINISHES. ELECTRICAL OUTLET FOR TUB TO BE GFCI PROTECTED. ALL METAL PIPING SYSTEMS, METAL PARTS OR ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER NOT SMALLER THAN #8 SOLID UNLESS IT IS AN APPROVED LISTED DOUBLE INSULATED SYSTEM.

AIR BARRIER

- AIR BARRIER AND THERMAL BARRIER
 - A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE
 - EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER
 - BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED
 - AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL
- CEILING/ATTC
 - THE AIR BARRIER IN ANY DROPPED CEILING /SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED.
 - ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
- WALLS
 - CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.
 - THE JUNCTION OF THE TOP PLATE AND THE TOP OF THE EXTERIOR WALLS SHALL BE SEALED.
 - EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER
 - KNEE WALLS SHALL BE SEALED.
 - WINDOWS, SKYLIGHTS AND DOORS
 - THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED
 - RIM JOISTS
 - RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER
 - FLOORS (INCLUDING ABOVE GRADE AND CANTILEVERED FLOORS)
 - INSULATION SHALL BE INSTALLED TO MAINTAIN A PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING
 - THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
 - CRAWL SPACE WALLS
 - WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
 - EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
 - SHAFT PENETRATIONS
 - DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
 - NARROW CAVITIES
 - BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
 - GARAGE SEPERATION
 - AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
 - RECESSED LIGHTING
 - RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRY WALL
 - PLUMBING AND WIRING
 - BATT INSULATION SHALL BE CUT CLEARLY TO FIR AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
 - SHOWER/TUB ON EXTERIOR WALL
 - EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
 - ELECTRICAL/PHONE BOX ON EXTERIOR WALLS
 - THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.
 - HVAC REGISTER BOOTS
 - HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL.
 - FIREPLACE
 - AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACE SHALL HAVE GASKETED DOORS.

MECHANICAL

- FURNACE TO BE RHEEM (OR EQUAL) BTUH OUTPUT PER HEAT LOSS CALCULATIONS. EFFICIENCY SHALL BE PER RES-CHECK.
- PROVIDE 30" WORK SPACE IN FRONT OF ALL HEATING CONTROLS WITH A 3" MIN. WORK SPACE AT THE SIDES, BACK, AND TOP. INSTALL ACCORDING TO MANUFACTURERS INSTALLATION AND CLEARANCE INSTRUCTIONS.
- FURNACES AND WATER HEATERS SHALL BE INSTALLED SUCH THAT THEY CAN BE REMOVED INDIVIDUALLY WITHOUT REMOVING THE OTHER APPLIANCE.
- FLUE VENTS AND EXHAUST FAN VENTS SHALL BE AT LEAST 3'-0" ABOVE IF LOCATED WITHIN 10'-0" OF AN OUTSIDE AIR INLET.
- EXHAUST FANS SHALL BE CAPABLE OF EXHAUSTING A MIN. OF 50 CFM OF AIR TO THE OUTSIDE AND IS REQUIRED IN BATHROOMS, TOILET ROOMS, AND SIM. COMPARTMENTS WITHOUT A MIN. 1.5 SQ. FT. OF OPERABLE WINDOW.
- JOINTS FOR RESIDENTIAL HEATING DUCTS SHALL BE MECHANICALLY FASTENED BY MEANS OF A LEAST (3) SCREWS EVENLY SPACES. SUPPORT DUCTS WITH APPROVED METAL SUPPORTS.
- PROVIDE ADEQUATE COMBUSTION AIR TO OUTSIDE AND SIZED FOR FURNACE AND WATER HEATER. COVER INLET OF SUCH VENT WITH A CORROSION RESISTANT METAL SCREEN OF 1/4" MESH. VENT SHALL TERMINATE 4'-0" BELOW OR 4'-0" HORIZONTALLY AND AT LEAST 1'-0" ABOVE A DOOR, OPERABLE WINDOW, OR GRAVITY AIR INLET INTO BUILDING.
- ALLOW 30" MIN. CLEARANCE BETWEEN RANGE AND COMBUSTIBLE MATERIALS. ALLOW A SIDE CLEARANCE PER MANUFACTURERS SPECS ON APPLIANCE.

ELECTRICAL

- TEMPORARY WIRING SHALL BE IN ACCORDANCE WITH N.E.C. ARTICLE 305
- ELECTRICAL PANEL TO BE 200 AMP, (ELECTRICIAN TO VERIFY)
- CLEARANCE FOR ELECTRICAL PANEL SHALL BE 30" DEEP BY 36" TALL. MIN. ELECTRICAL PANEL IS NOT TO BE INSTALLED IN BATHROOMS, FIRE RATED GARAGE WALLS, OR CLOSETS.
- PACIFIC CORP REQUIRED THAT THE MAIN ELECTRICAL SERVICE ENTRANCE MUST BE WITHIN 10'-0" OF THE FRONT CORNER OF THE HOUSE. ELECTRICAL METER MUST BE ON THE SIDE OF THE HOUSE. ELECTRICAL SERVICE ENTRANCE CANNOT BE LOCATED OVER A WINDOW WELL OR WITHIN 3'-0" OF THE GAS METER.
- KITCHEN COUNTER RECEPTACLES SHALL BE GFCI PROTECTED AND SUPPLIED BY A MIN. OF TWO 20 AMP SMALL APPLIANCE CIRCUITS. BATHROOM AND LAUNDRY AREA RECEPTACLES SHALL BE GFCI PROTECTED AND SUPPLIED BY AT LEAST ONE 20 AMP CIRCUIT.
- A UFER GROUNDING SYSTEM IS REQUIRED WHEN AVAILABLE.
- ELECTRICAL CENTRAL HEATING EQUIPMENT, OTHER THAN FIXED ELECTRICAL SPACE HEATING EQUIPMENT, SHALL BE SUPPLIED WITH AN INDIVIDUAL BRANCH CIRCUIT.
- ELECTRICAL CONVENIENCE OUTLETS SHALL BE SPACED SUCH THAT NO POINT ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6'-0" FROM AN OUTLET.
- ALL ELECTRICAL OUTLETS LOCATED OUTSIDE, IN THE GARAGE, OR AS CALLED OUT ON PLAN SHALL BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTERS.
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS, AT THE HALLWAYS LEADING TO BEDROOMS, AND AT EVERY FLOOR LEVEL (INCLUDING BASEMENT). SMOKE DETECTORS SHALL BE HARD WIRED IN A SERIES WITH A BATTERY BACKUP.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTERS.
- LIGHTS IS CLOSETS SHALL HAVE A MIN. 12" CLEARANCE BETWEEN INCANDESCENT FIXTURE AND STORAGE SPACE OR 6" CLEARANCE BETWEEN FLUORESCENT FIXTURE AND STORAGE SPACE.
- ELECTRICAL BOXES IN GARAGE TO BE 2HR. RATED.

DRYER

- DRYER VENT DUCTS SHALL BE METAL WITH SMOOTH INTERIOR SURFACES AND SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS. THE DUCTS MUST TERMINATE AT THE EXTERIOR OF THE BUILDING AND MUST NOT BE INSTALLED WITH SHEET METAL SCREWS.
- DRYER VENT DUCT SHALL BE 4" DIAMETER MIN. WITH A MAXIMUM LENGTH OF 25'-0" LESS 2.5' FOR EACH 45 DEG. BEND.
- DRYER VENT SHALL NOT CONNECT TO ANY OTHER VENT, DUCT, OR CHIMNEY. VENT HOOD SHALL BE A MIN. OF 12" ABOVE FINISHED GRADE.
- ALL DRYER VENTS SHALL BE COUNTER FLASHED AND CAULKED.

ABBREVIATIONS

AC - AIR CONDITIONING ALT - ALTERNATE APPROX - APPROXIMATE ARCH - ARCHITECT	FT - FEET FLR - FLOOR FIN FLR - FINISH FLOOR FE - FIRE EXTINGUISHER FIN - FINISH FD - FLOOR DRAIN FR - FRAME FTG - FOOTING FND - FOUNDATION	OC - ON CENTER OPP - OPPOSITE OD - OUTSIDE DIAMETER OA - OVERALL OH DR - OVERHEAD DOOR
BD - BOARD BRG - BEARING BLKG - BLOCKING BLDG - BUILDING	GA - GAUGE GALV - GALVANIZE GI - GALVANIZED IRON G.C. - GENERAL CONTRACTOR GLU-LAM - GLUE LAMINATED GYP BD - GYPSUM BOARD	PR - PAIR PERP - PERPENDICULAR PLAM - PLASTIC LAMINATE PL - PLATE PLBG - PLUMBING PREFAB - PREFABRICATED P.L. - PROPERTY LINE
CLG - CEILING C - CENTERLINE CO - CLEANOUT CONC - CONCRETE CMU - CONCRETE MASONRY UNIT CONF - CONFERENCE CONSTR - CONSTRUCTION CONT - CONTINUOUS CONTR - CONTRACTOR CJ - CONTROL JOINT COORD - COORDINATE CORR - CORRIDOR CSK - COUNTERSINK	H.B. - HOSE BIB HDWE - HARDWARE HC - HANDICAP HVAC - HEATING VENTILATION & AIR CONDITIONING HORIZ - HORIZONTAL ID - INSIDE DIAMETER INT - INTERIOR ISO - ISOMETRIC	REFR - REFRIGERATOR REINF - REINFORCE REQD - REQUIRED RD - ROOF DRAIN R/S - ROD AND SHELF SCHD - SCHEDULE SIM - SIMILAR SPEC - SPECIFICATION SQ - SQUARE STD - STANDARD SUSP CLG - SUSPENDED CEILING
DEMO -DEMOLITION DIAG - DIAGONAL DIA - DIAMETER DIM - DIMENSION DN -DOWN DS - DOWNSPOUT DWG - DRAWINGS	MAINT - MAINTENANCE MH - MANHOLE MFR - MANUFACTURER MO - MASONRY OPENING MAX - MAXIMUM MECH - MECHANICAL MEZZ - MEZZANINE MIN - MINIMUM MISC - MISCELLANEOUS	THK - THICK T & G - TONGUE AND GROOVE T.O. - TOP OF T.O.B. - TOP OF BEAM T.O.S. - TOP OF SLAB T.O.W. - TOP OF WALL TRANSF - TRANSFORMER TYP - TYPICAL U.L. - UNDERWRITERS LABORATORY
ELEC - ELECTRICAL EWC - ELECTRIC WATER COOLER EL - ELEVATION ELEV - ELEVATOR EQ - EQUAL EQUIP - EQUIPMENT (E) EXIST - EXISTING EXP - EXPANSION EXP JT - EXPANSION JOINT EXT - EXTERIOR EIFS - EXTERIOR INSULATION & FINISH SYSTEM	(N) NEW NOM - NOMINAL NIC - NOT IN CONTRACT NO - NUMBER	VTR - VENT THROUGH ROOF VERT - VERTICAL VEST - VESTIBULE VCT - VINYL COMPOSITION TILE WC - WATER CLOSET W/D - WASHER / DYER WH - WATER HEATER WWF - WELDED WIRE FABRIC W/ - WITH

SYMBOLS LEGEND

	BUILDING SECTION OR WALL SECTION WALL SECTION DESIGNATION SHEET WHERE SECTION IS DRAWN
	DETAIL DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN
	REFERENCE NOTE
	GRID LINE
	WINDOW
	DOOR NUMBER
	ELEVATION

MATERIALS LEGEND

	EARTH
	GRAVEL
	CONCRETE-SMALL SCALE
	METAL (SECTION)
	RIGID INSULATION
	STRUCTURAL STEEL
	BATT INSULATION
	(N) STUD WALLS
	(E) STUD WALLS

Project Number: 23061
ISSUANCE NAME DATE

ISSUED:

COVER SHEET

A001

- SLAB PLAN NOTES
1. SEE SHEETS PROVIDED BY STRUCTURAL ENGINEER FOR ALL SHEAR WALL CALLOUTS, NOTES AND DETAILS.

2. PROVIDE CONTROL JOINTS IN ALL WALK-WAYS AT 4'-0" O.C. OR U.N.O. BY CONTRACTOR.

3. PROVIDE CONTROL JOINTS IN DRIVEWAY AT 12'-0" O.C. OR U.N.O. BY CONTRACTOR.

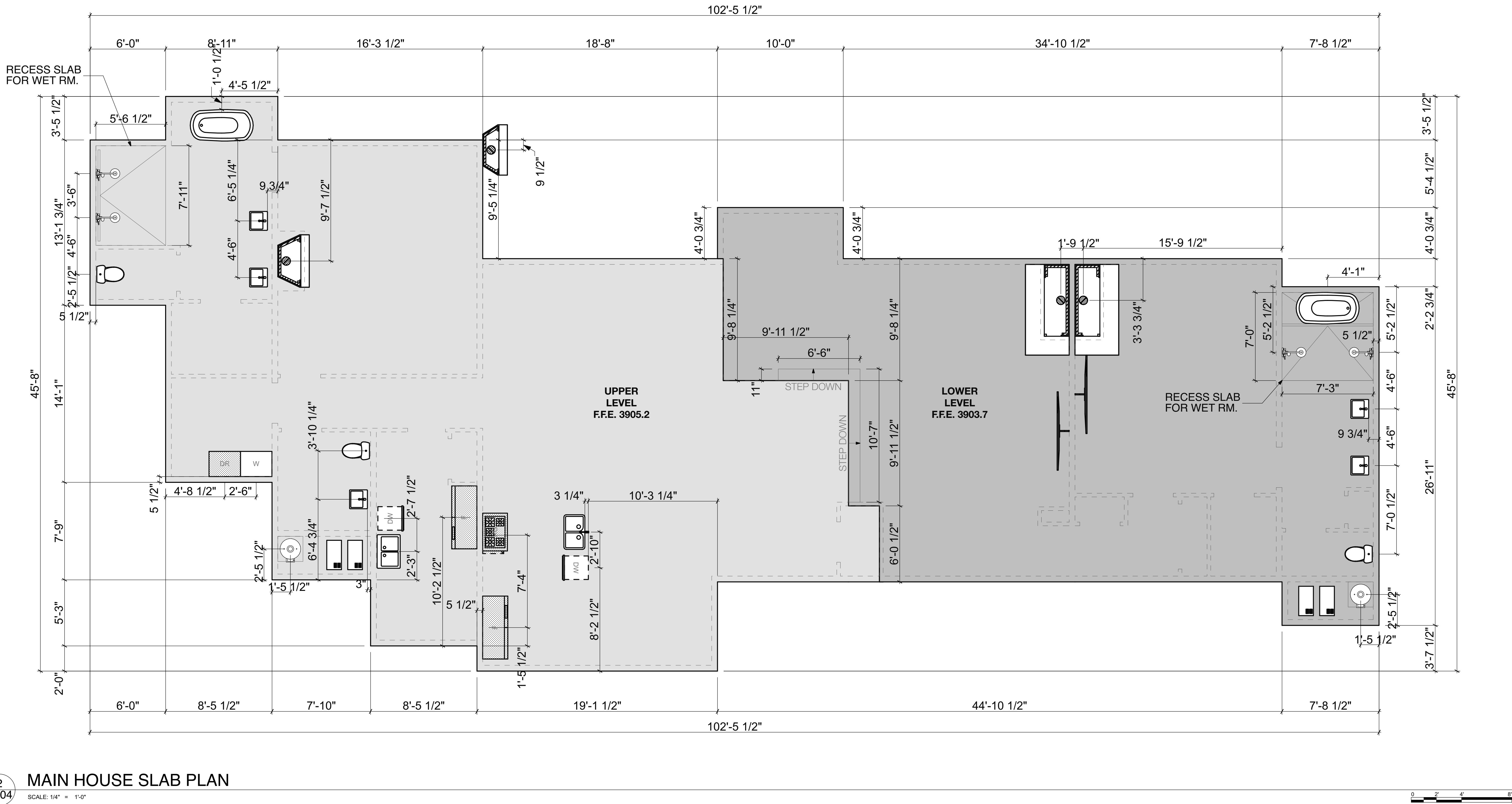
4. PROVIDE REBAR 3' O.C. OR WIRE MESH IN HOUSE SLAB AND DRIVEWAY OR U.N.O.

GH
TD

G.H. TURNER DESIGN
ARCHITECTS

GHTURNERDESIGN@GMAIL.COM

1604 S DWEE DR, SUITE H-111
SAINT GEORGE, UT 84770
435.229.9706



**SNOW
LEOPARD**
54 HUMMINGBIRD LANE
SPRINGDALE UTAH 84767

Project Number: 23061	
△ ISSUANCE NAME	DATE
ISSUED:	
MAIN HOUSE SLAB PLAN	

A004

1. SEE SHEETS PROVIDED BY STRUCTURAL ENGINEER FOR ALL SHEAR WALL CALLOUTS, NOTES AND DETAILS.
2. PROVIDE CONTROL JOINTS IN ALL WALK-WAYS AT 4'-0" O.C. OR U.N.O. BY CONTRACTOR.
3. PROVIDE CONTROL JOINTS IN DRIVEWAY AT 12'-0" O.C. OR U.N.O. BY CONTRACTOR.
4. PROVIDE REBAR 3' O.C. OR WIRE MESH IN HOUSE SLAB AND DRIVEWAY OR U.N.O.



**SNOW
LEOPARD**
54 HUMMINGBIRD LANE
SPRINGDALE UTAH 84767

△ ISSUANCE NAME	DATE
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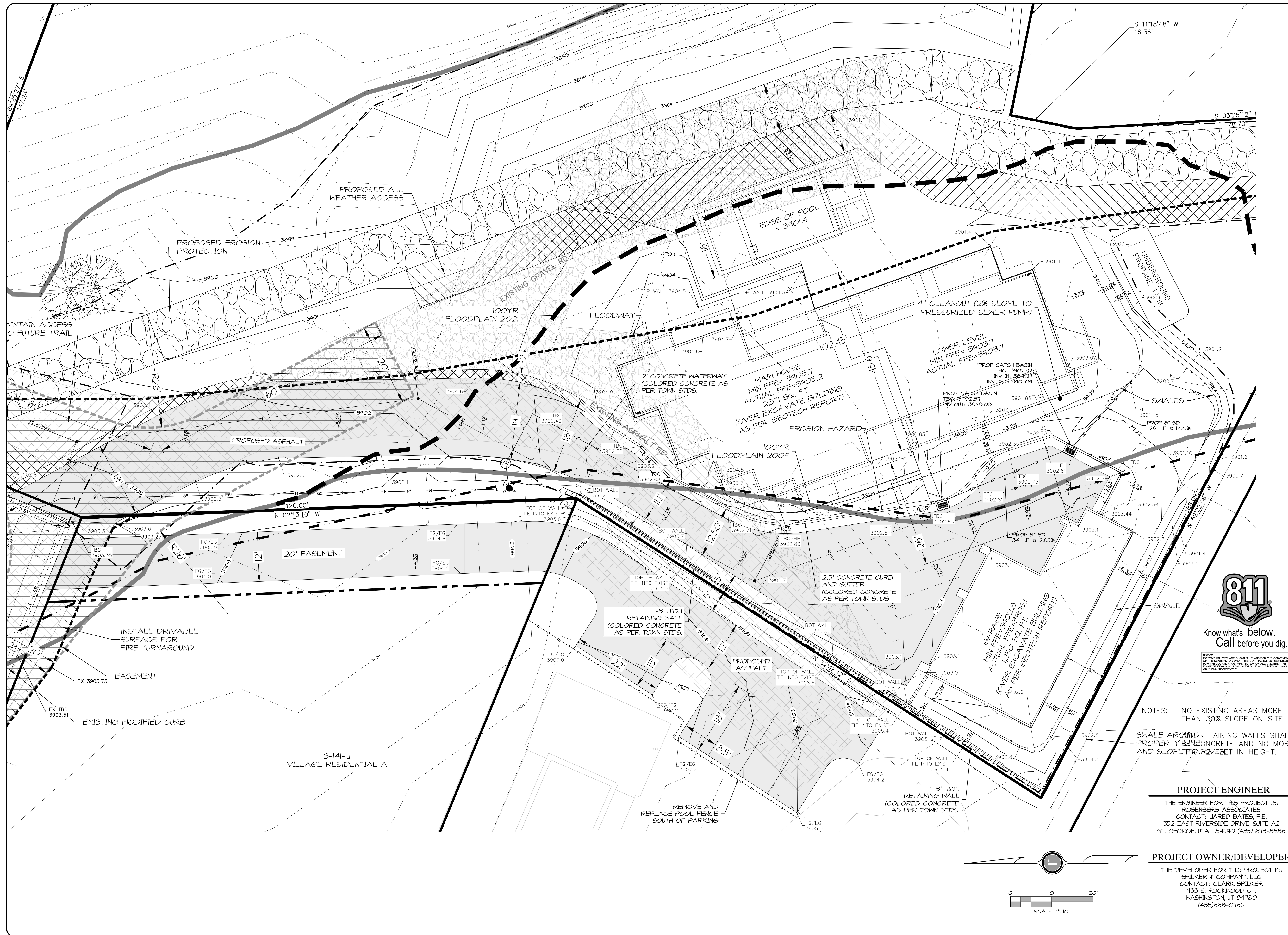
SUED: _____

Printed: 7/29

3
A005

CASITA & GARAGE SLAB PLAN

SCALE: 1/2" = 1'-0"



NOT TO SCALE

DATE: 5/20/2024
JOB NO.: 12456-20
DESIGNED BY: ALN
CHECKED BY: JMB
DWG: 12456-20 CONST

REVISIONS

ROSENBERG
A S S O C I A T E S
CIVIL ENGINEERS • LAND SURVEYORS

352 East Riverside Drive, Suite A-2
St. George, Utah 84790
Ph (435) 673-8386 Fax (435) 673-8397
www.racivil.com

SITE GRADING AND DRAINAGE PLAN
FOR
SNOW LEOPARD
54 E. HUMMINGBIRD LANE
SPRINGDALE, UTAH

PROFESSIONAL ENGINEER
JARED W. BATES
58175
STATE OF UTAH

SHEET
4
4 OF 7 SHEETS



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**SNOW
LEOPARD**
54 HUMMINGBIRD LANE
SPRINGDALE UTAH 84767

ct Number: 23061

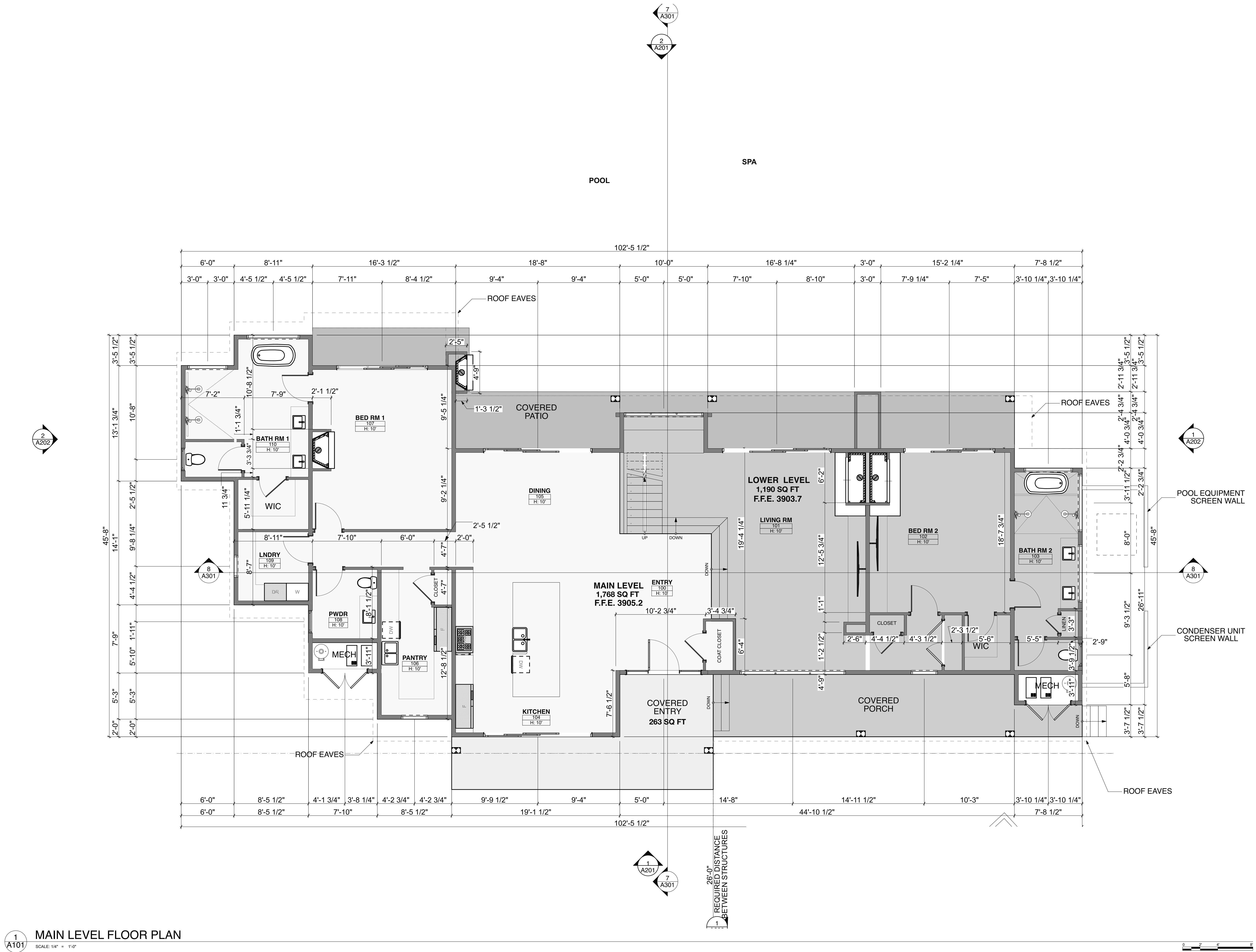
ISSUANCE NAME	DATE
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ED:

IN HOUSE First Flo Plan

A101

ed: 7/29





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SNOW
LEOPARD
54 HUMMINGBIRD LANE
SPRINGDALE UTAH 84767

Project Number: 23061

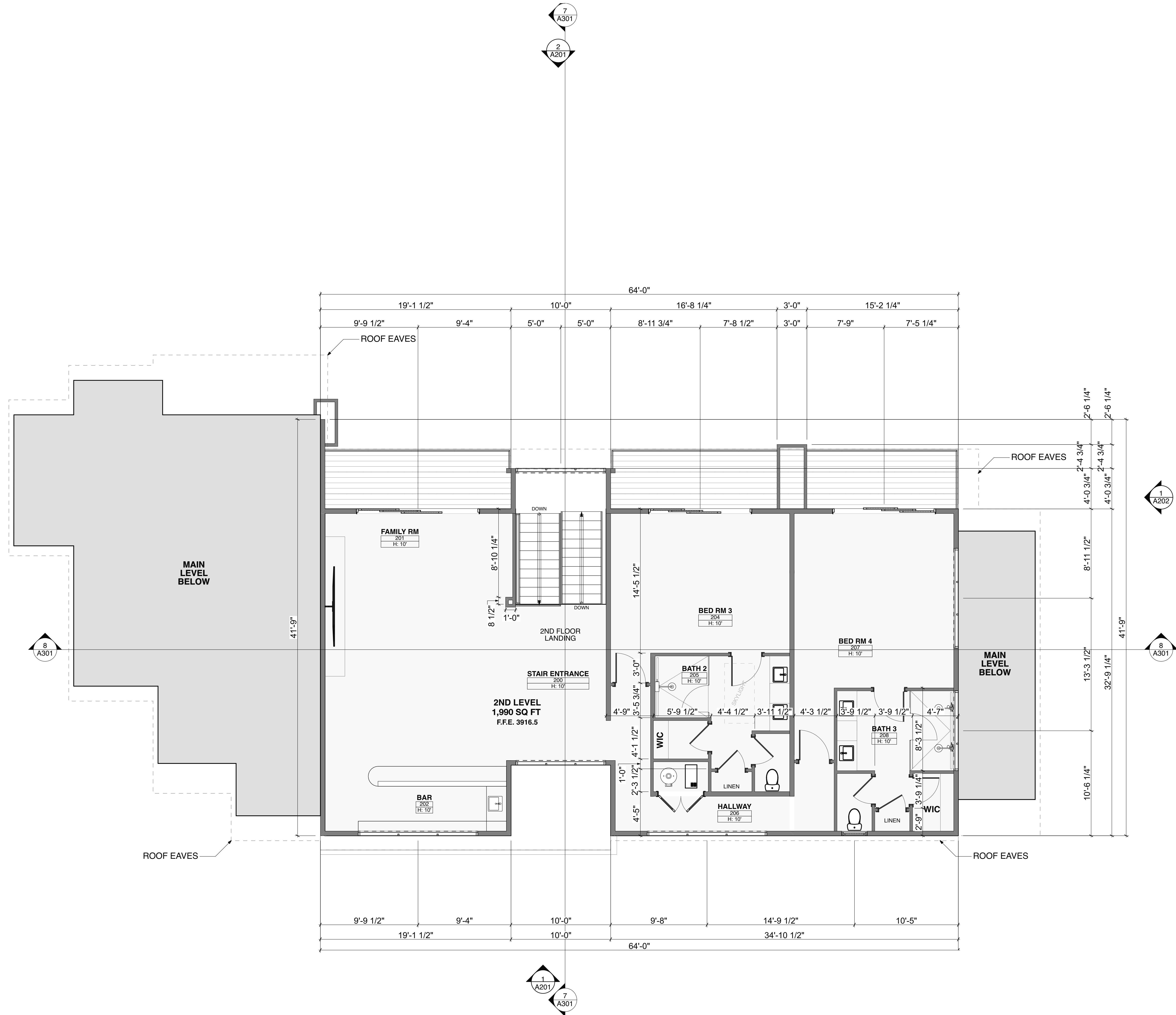
ISSUANCE NAME DATE

ISSUED:

MAIN HOUSE Second
Floor Plan

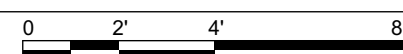
A102

Printed: 7/29/25



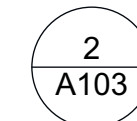
1 A102 2ND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

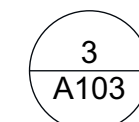


1. ROOF VENTILATION AND ACCESS TO COMPLY WITH CURRENT I.R.C.
2. BRACING IS TO COMPLY WITH CURRENT I.R.C.
3. ALL GYPSUM BOARD APPLICATION TO COMPLY WITH CURRENT I.R.C.
4. WATERPROOF FLASHING AROUND ALL WINDOW AND DOOR OPENINGS UNLESS NOTED OTHERWISE.
5. ALL UNDER LAYMENTS SHALL BE RATED FOR THE TEMPERATURE RANGE OF THE LOCAL ENVIRONMENT.
6. BUILDER AND/OR TRUSS MANUFACTURER IS TO VERIFY TRUSS LAYOUT.
7. ENCLOSED ATTIC AND RAFTER VENTILATION SHALL COMPLY WITH CURRENT I.R.C. UNLESS NOTED OTHERWISE.
(1/150 OF SPACE FOR GABLE TYPE VENTS)
(1/300 OF SPACE VENTILATED FOR GABLE-EAVE VENT COMBINATIONS)
8. ROOF SHALL BE VENTED WITH THE USE OF RIDGE VENTS, TURTLE VENT OR O'HAGIN VENTS IN CONJUNCTION WITH UNDER SOFFIT TO MEET OR EXCEED MINIMUM VENTABLE AREA.
9. ROOF DRAINAGE SHALL BE PER CURRENT I.R.C.

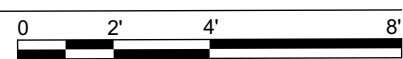
$$\frac{3,973}{300} = 13 \text{ SQ. FT. ATTIC VENTING REQUIRED}$$

$$13 \times 144 = 1,907 \text{ SQ. IN. VENTILATION REQUIRED}$$


SCALE: 1/4" = 1'-0"



SCALE: 1:35.87



ROOF NOTES

1. ROOF VENTILATION AND ACCESS TO COMPLY WITH CURRENT I.R.C.
2. BRACING IS TO COMPLY WITH CURRENT I.R.C.
3. ALL GYPSUM BOARD APPLICATION TO COMPLY WITH CURRENT I.R.C.
4. WATERPROOF FLASHING AROUND ALL WINDOW AND DOOR OPENINGS UNLESS NOTED OTHERWISE.
5. ALL UNDER LAYMENTS SHALL BE RATED FOR THE TEMPERATURE RANGE OF THE LOCAL ENVIRONMENT.
6. BUILDER AND/OR TRUSS MANUFACTURER IS TO VERIFY TRUSS LAYOUT.
7. ENCLOSED ATTIC AND RAFTER VENTILATION SHALL COMPLY WITH CURRENT I.R.C. UNLESS NOTED OTHERWISE.
(1/150 OF SPACE FOR GABLE TYPE VENTS)
(1/300 OF SPACE VENTILATED FOR GABLE-EAVE VENT COMBINATIONS)
8. ROOF SHALL BE VENTED WITH THE USE OF RIDGE VENTS, TURTLE VENTS, OR O'HAGIN VENTS IN CONJUNCTION WITH UNDER SOFFIT TO MEET OR EXCEED MINIMUM VENTABLE AREA.
9. ROOF DRAINAGE SHALL BE PER CURRENT I.R.C.

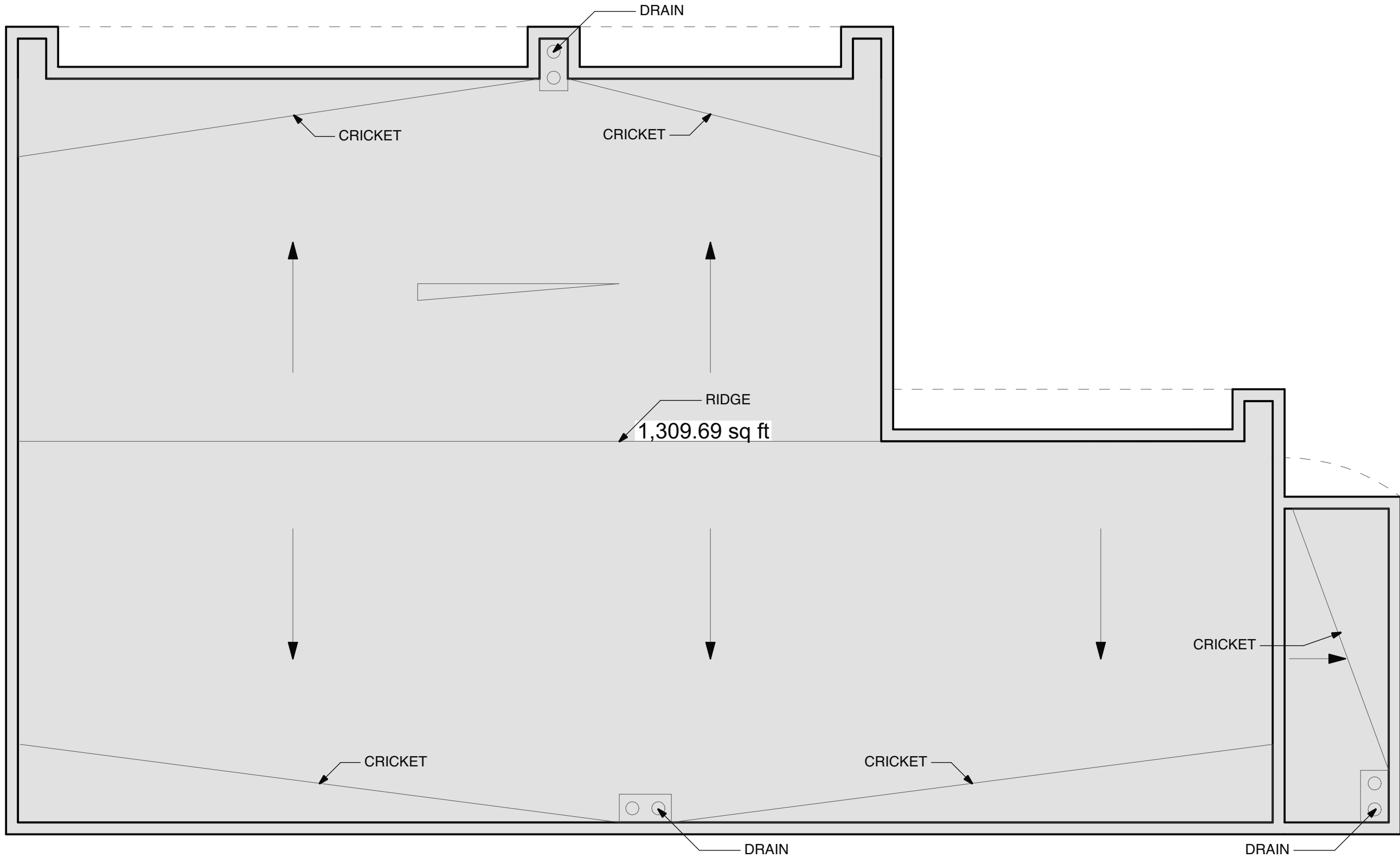
VENTILATION CALCULATION

TOTAL ROOF SQUARE FOOTAGE = 1,310

ATTIC VENTING REQUIREMENTS:

GABLE TYPE VENTS-
 $1,310/150 = 9$ SQ. FT. ATTIC VENTING REQUIRED
 $9 \times 144 = 1,296$ SQ. IN. ATTIC VENTILATION REQUIRED

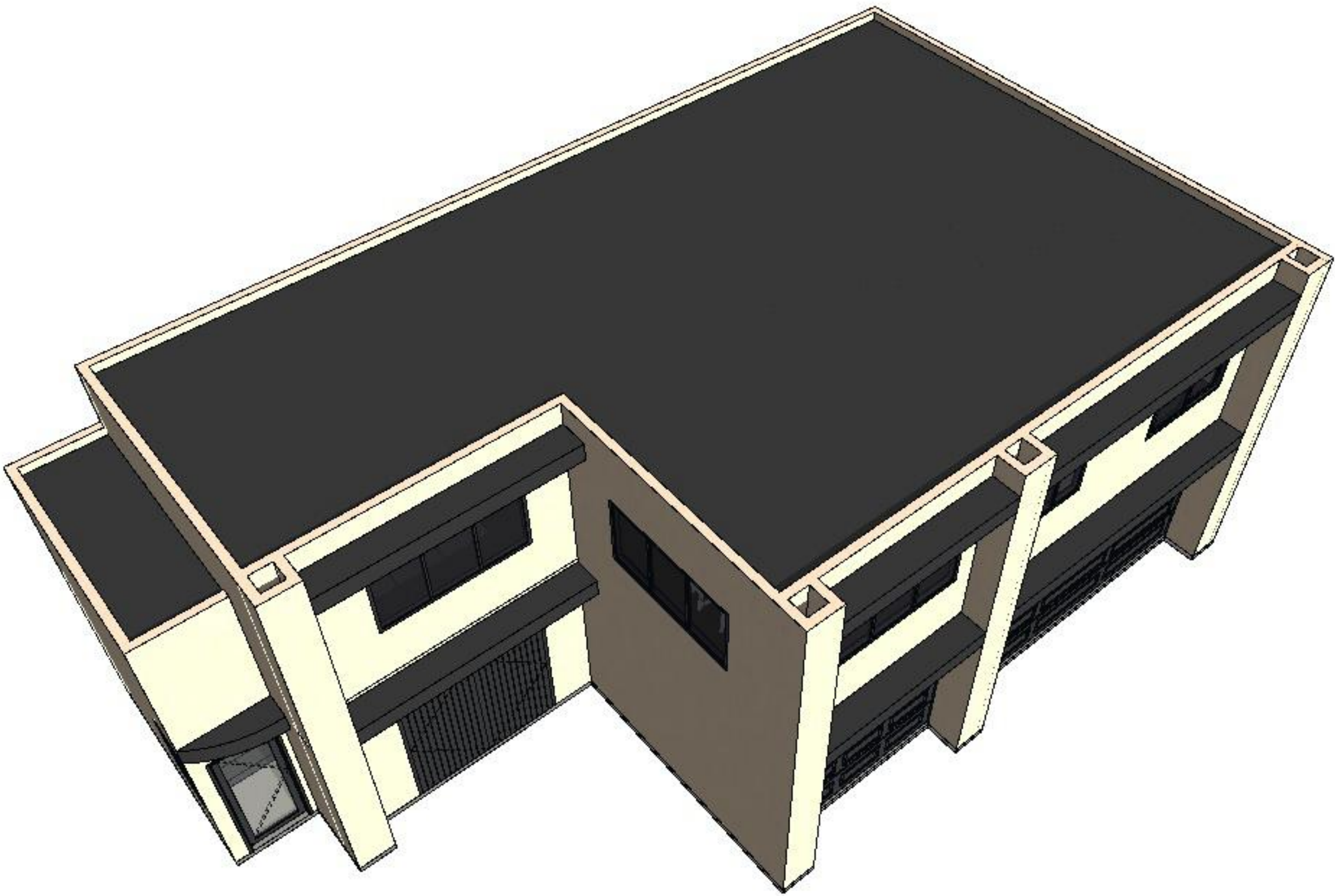
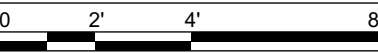
GABLE-EAVE VENT COMBINATION-
 $1,310/300 = 4$ SQ. FT. ATTIC VENTING REQUIRED
 $4 \times 144 = 576$ SQ. IN. VENTILATION REQUIRED



1
A105

CASITA / GARAGE ROOF PLAN

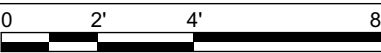
SCALE: 1/4" = 1'-0"



2
A105

CASITA / GARAGE: 3D ROOF VIEW

SCALE: 1/4" = 1'-0"



Project Number: 23061

△ ISSUANCE NAME	DATE

ISSUED:

CASITA / GARAGE Roof
Plan

A105



**SNOW
LEOPARD**
54 HUMMINGBIRD LANE
SPRINGDALE UTAH 84767

ct Number: 23061

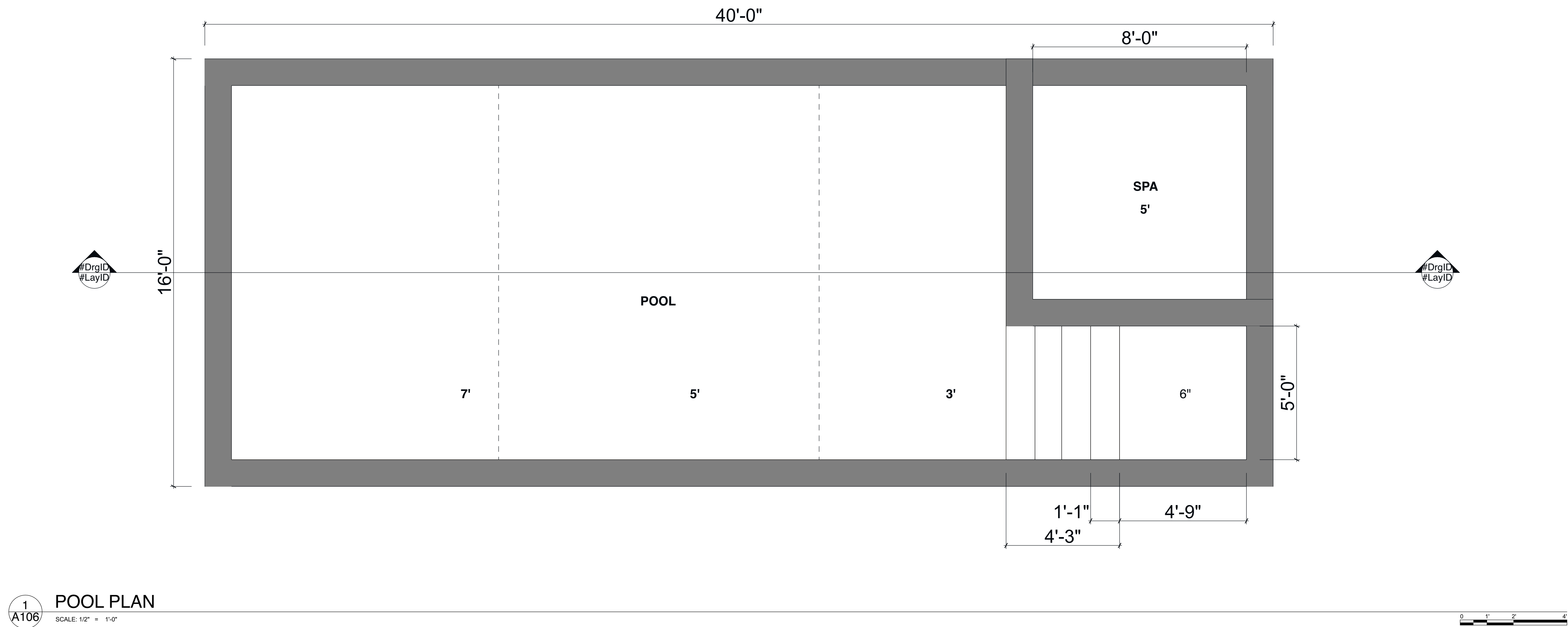
ISSUANCE NAME	DATE
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ED: _____

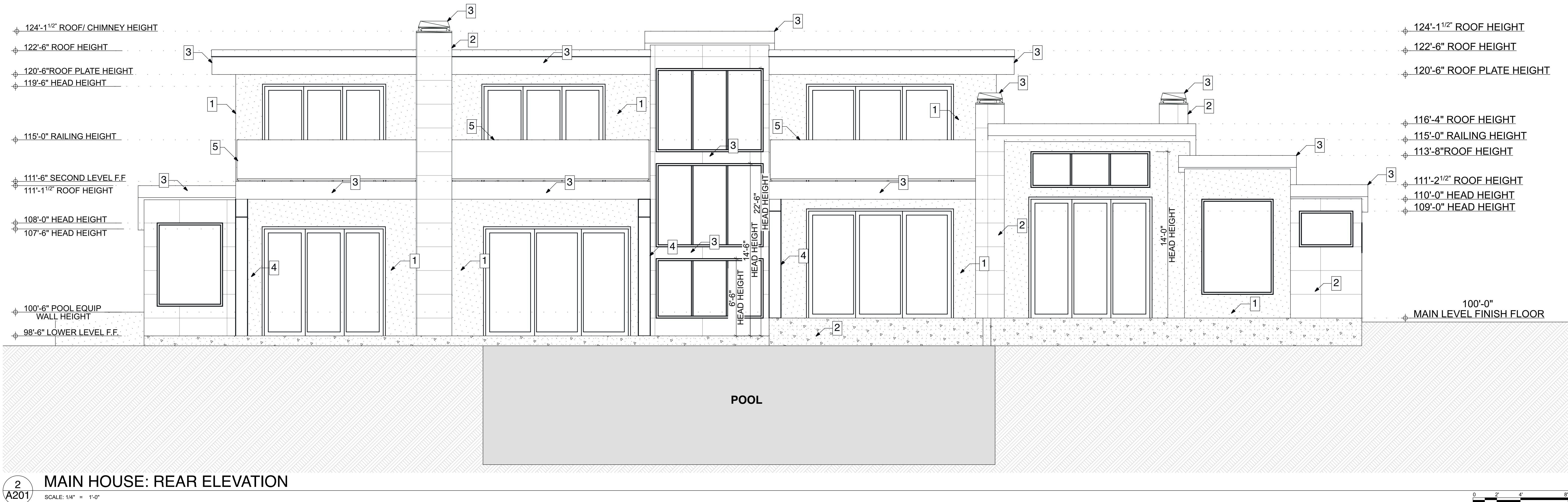
POOL PLAN

A106

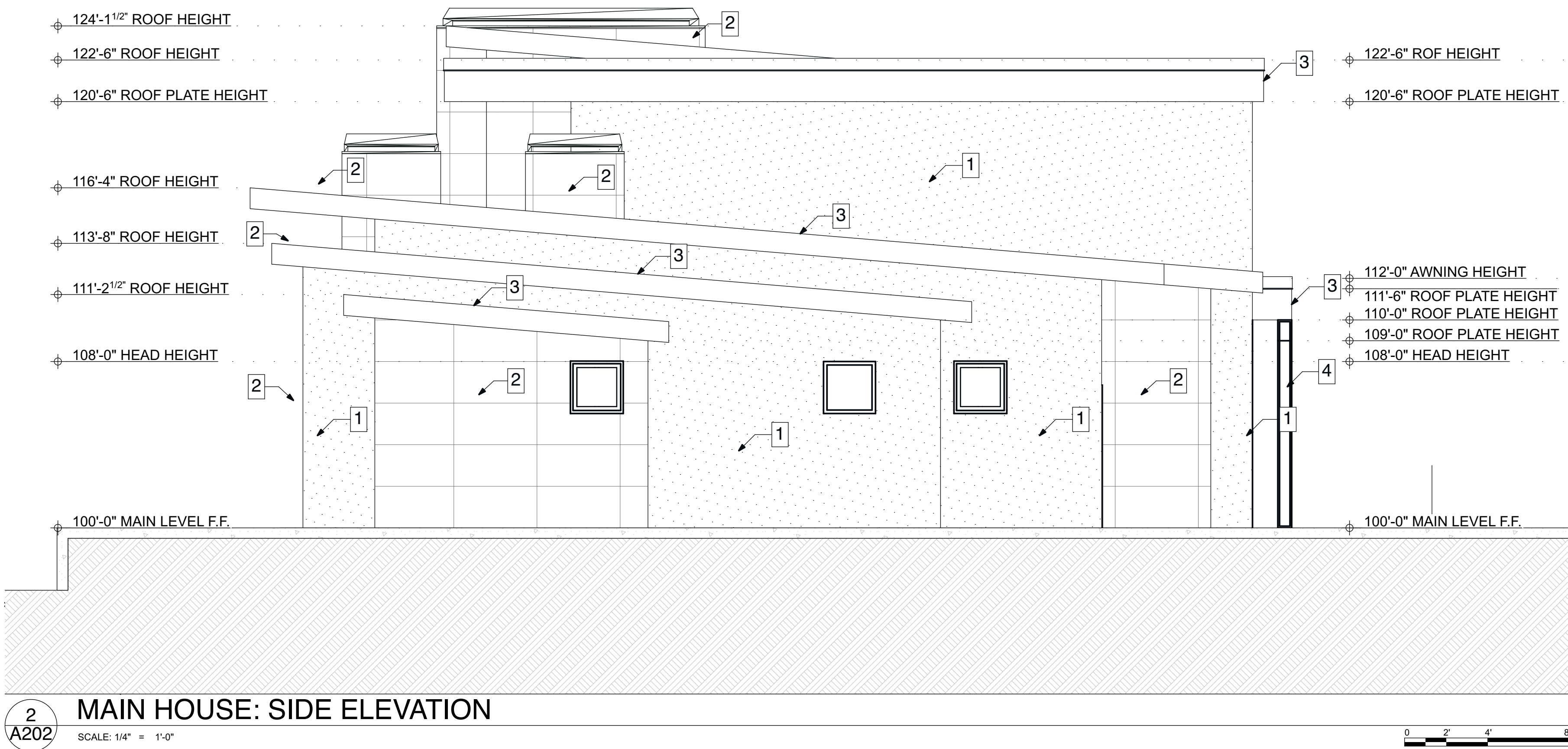
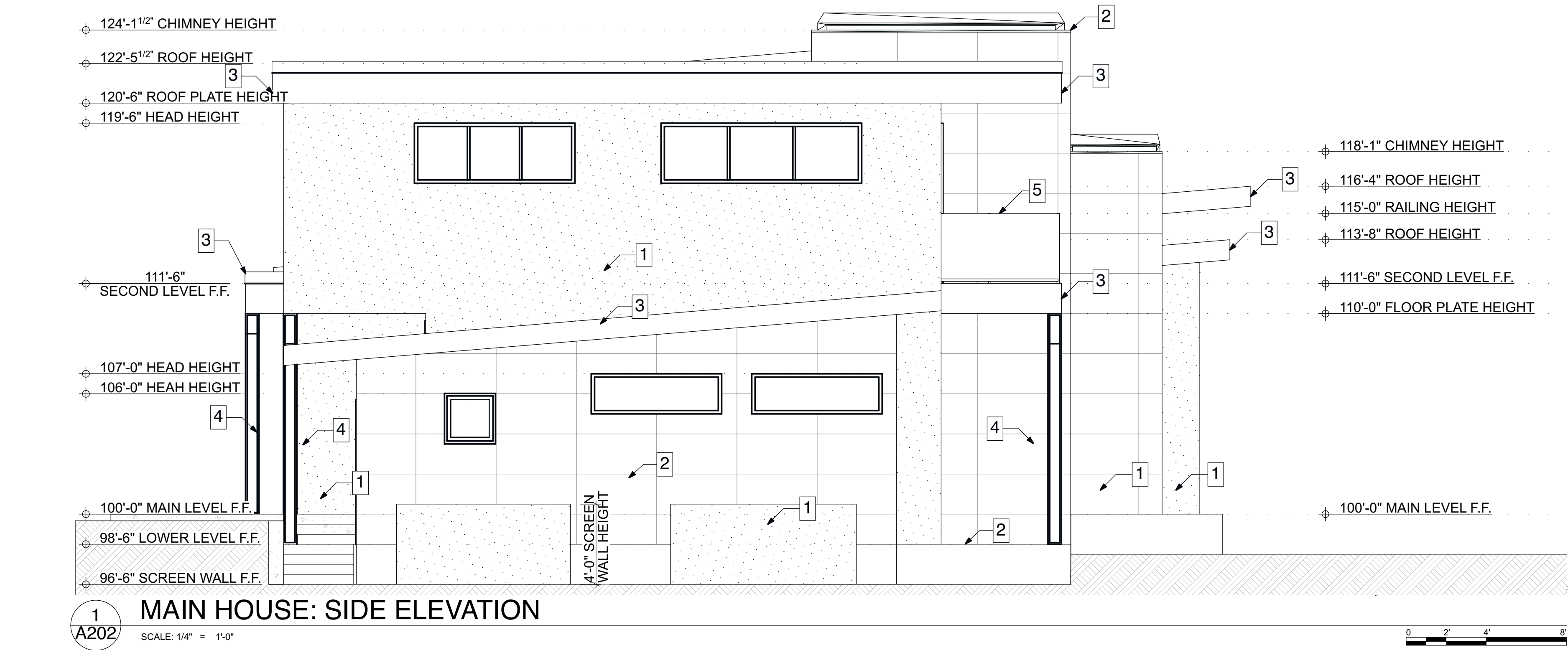
Printed: 7/29



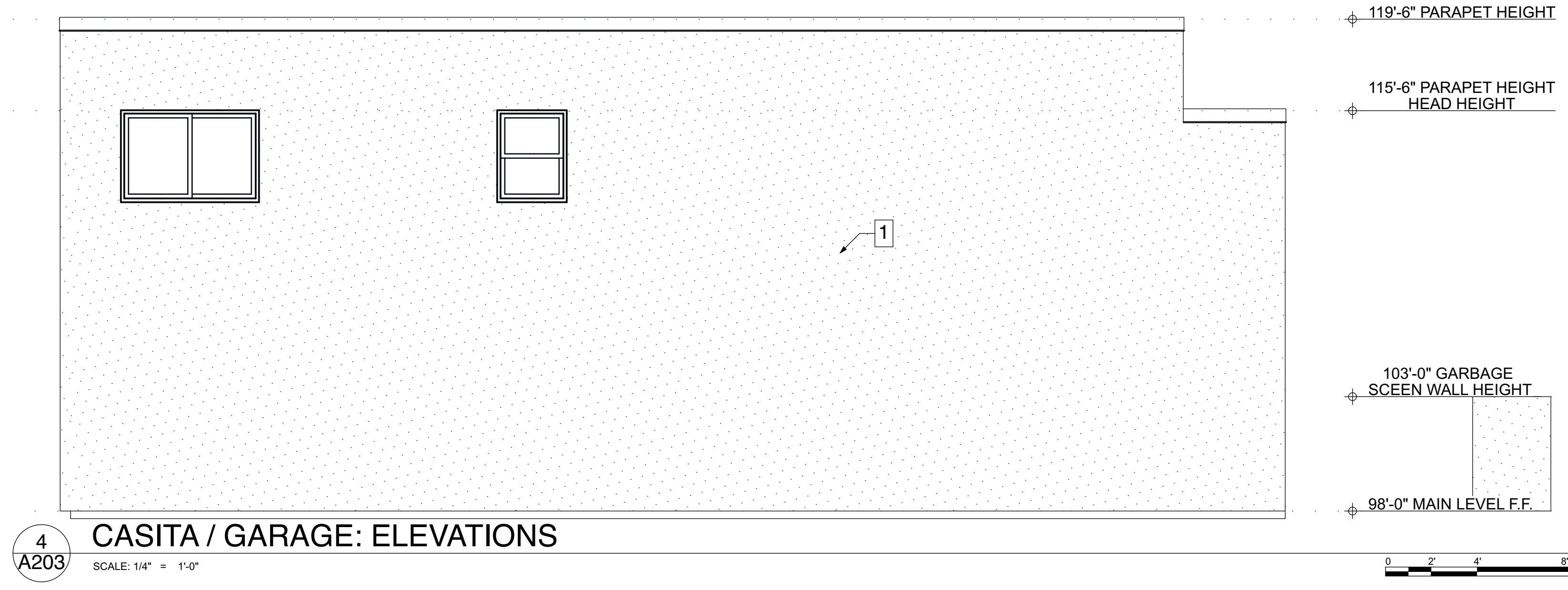
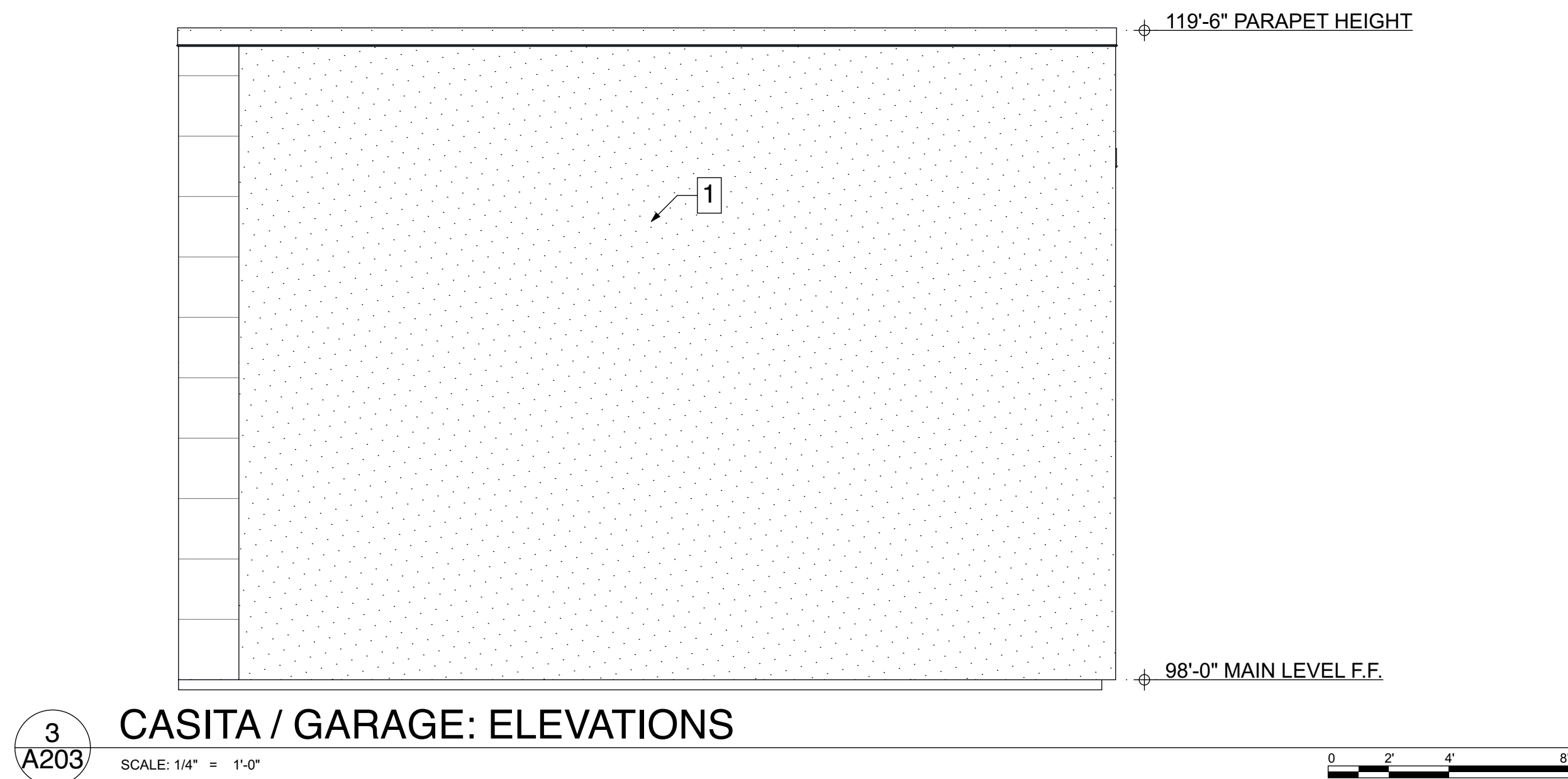
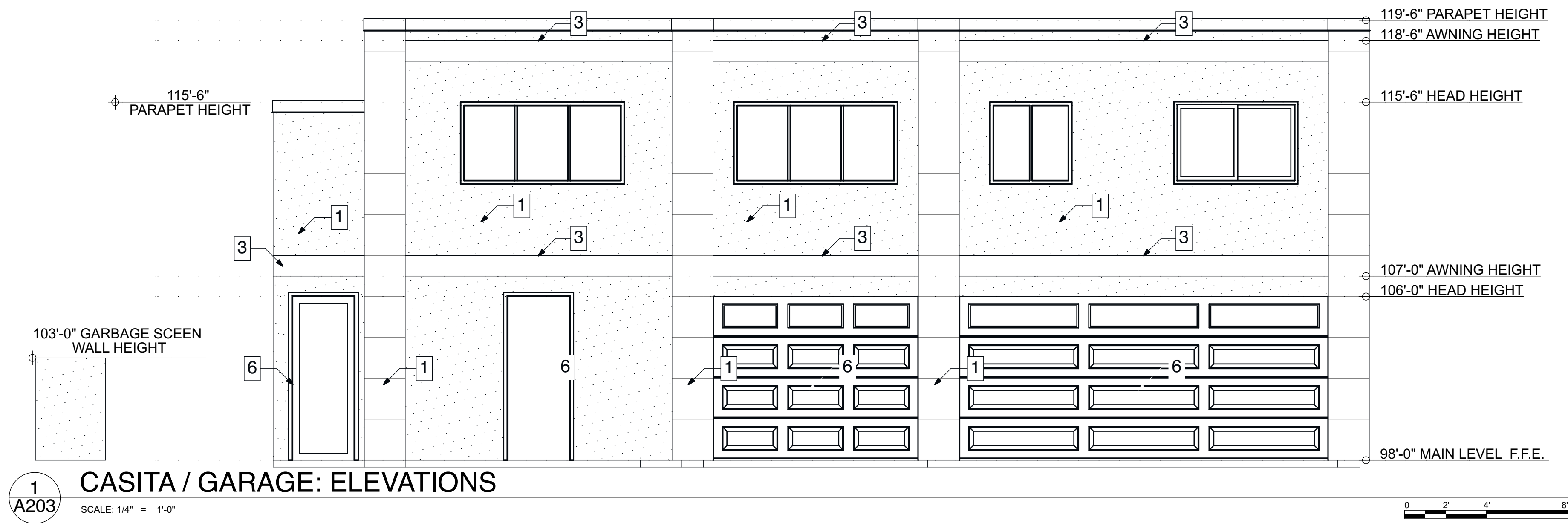
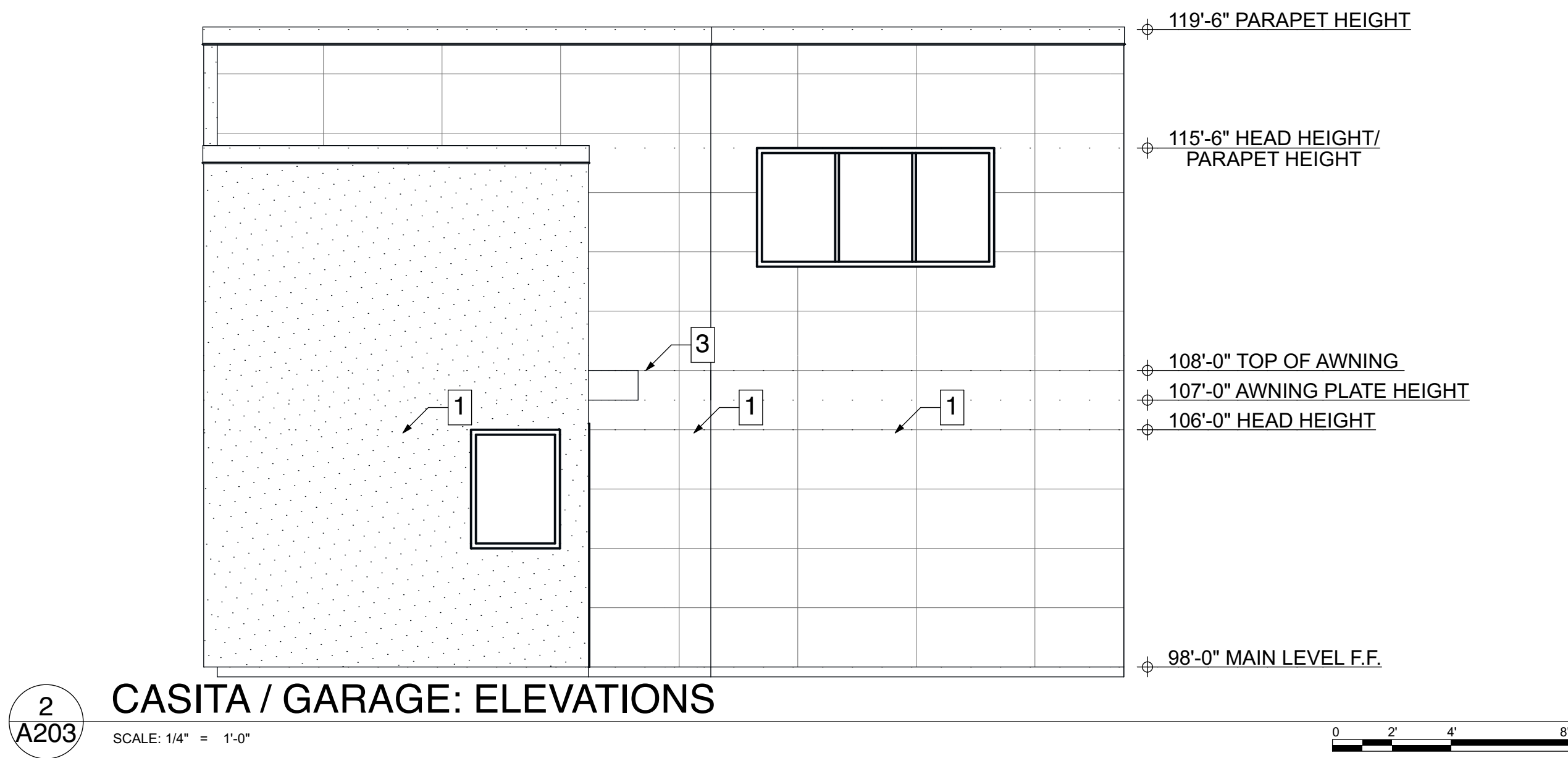
ELEVATION LEGEND	
1	- WOOD CLADDING
2	- LOCAL SANDSTONE STRETCHER
3	- PRE-FINISHED METAL / ANODIZED BRONZE
4	- STEEL COLUMN / CORTEN STEEL
5	- CABLE / GLASS RAILING / DARK GRAY OR ANODIZED BRONZE
6	- DOOR TRIM / ANODIZED BRONZE



<u>ELEVATION LEGEND</u>	
1	- WOOD CLADDING
2	- LOCAL SANDSTONE STRETCHER
3	- PRE-FINISHED METAL / ANODIZED BRONZE
4	- STEEL COLUMN / CORTEN STEEL
5	- CABLE / GLASS RAILING / DARK GRAY OR ANODIZED BRONZE
6	- DOOR TRIM / ANODIZED BRONZE

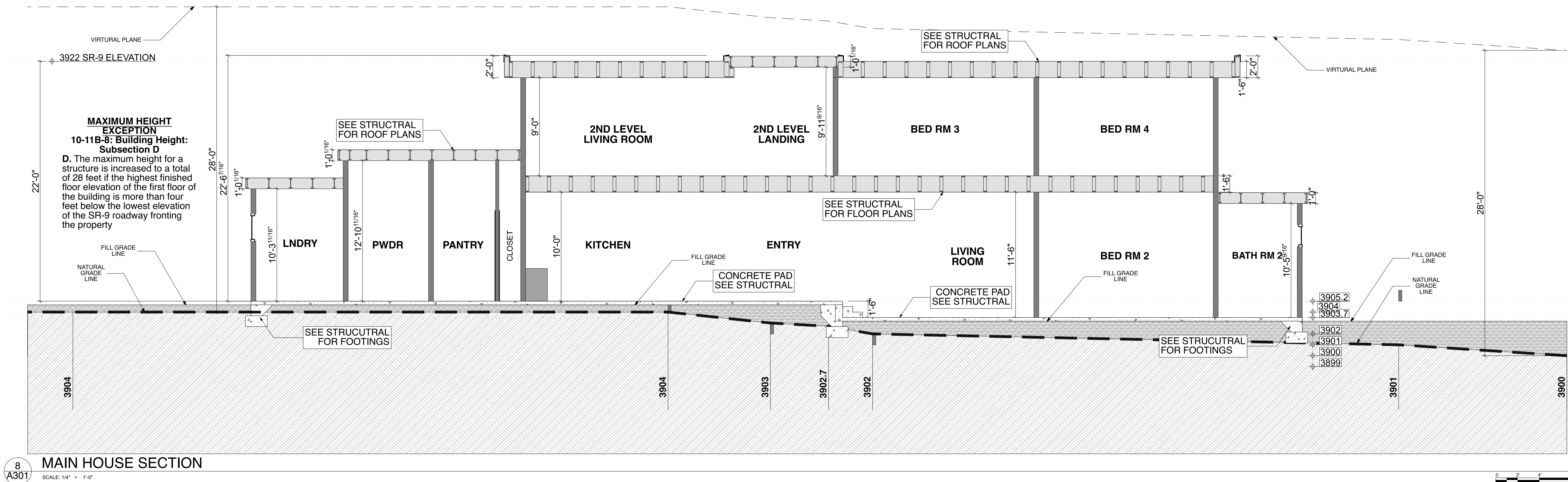
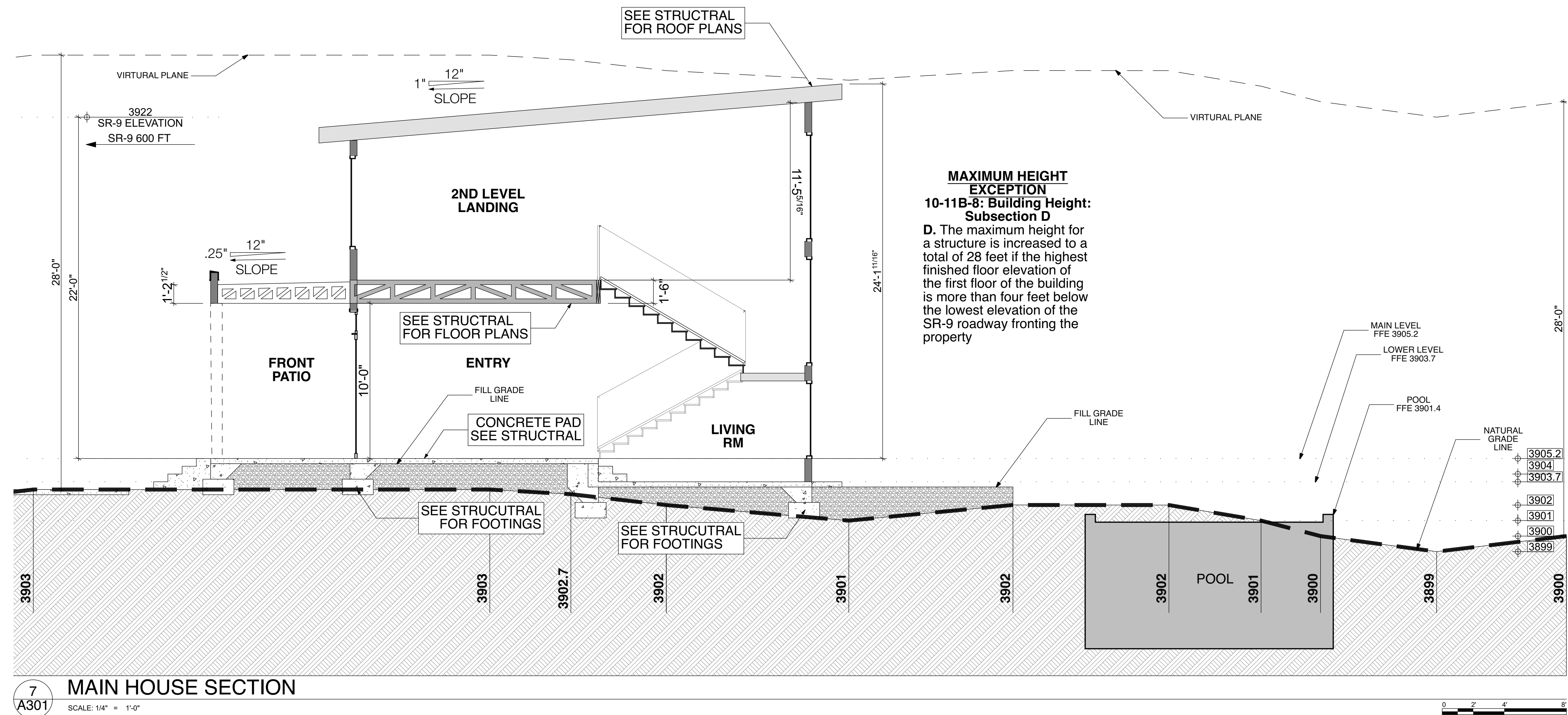


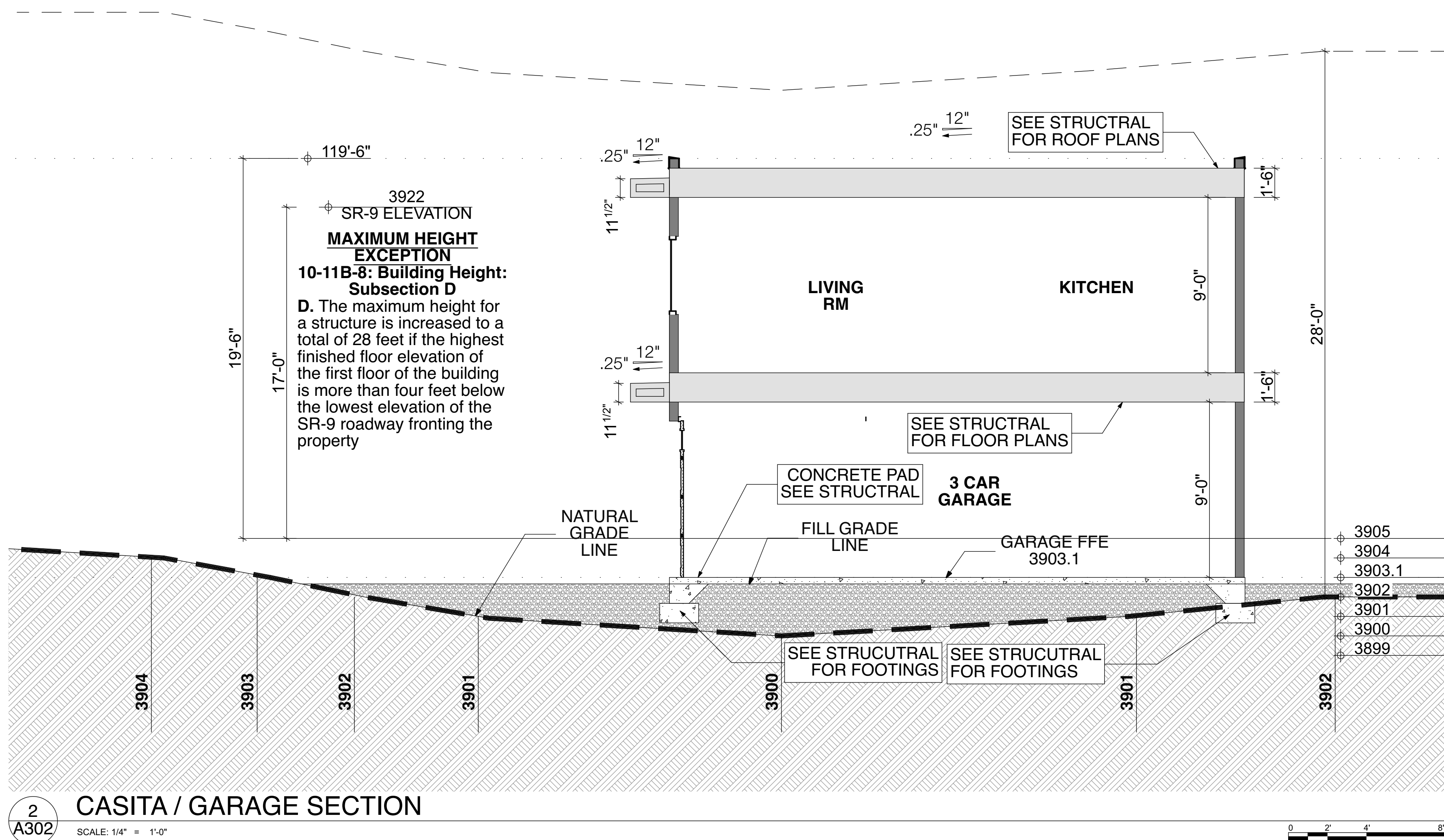
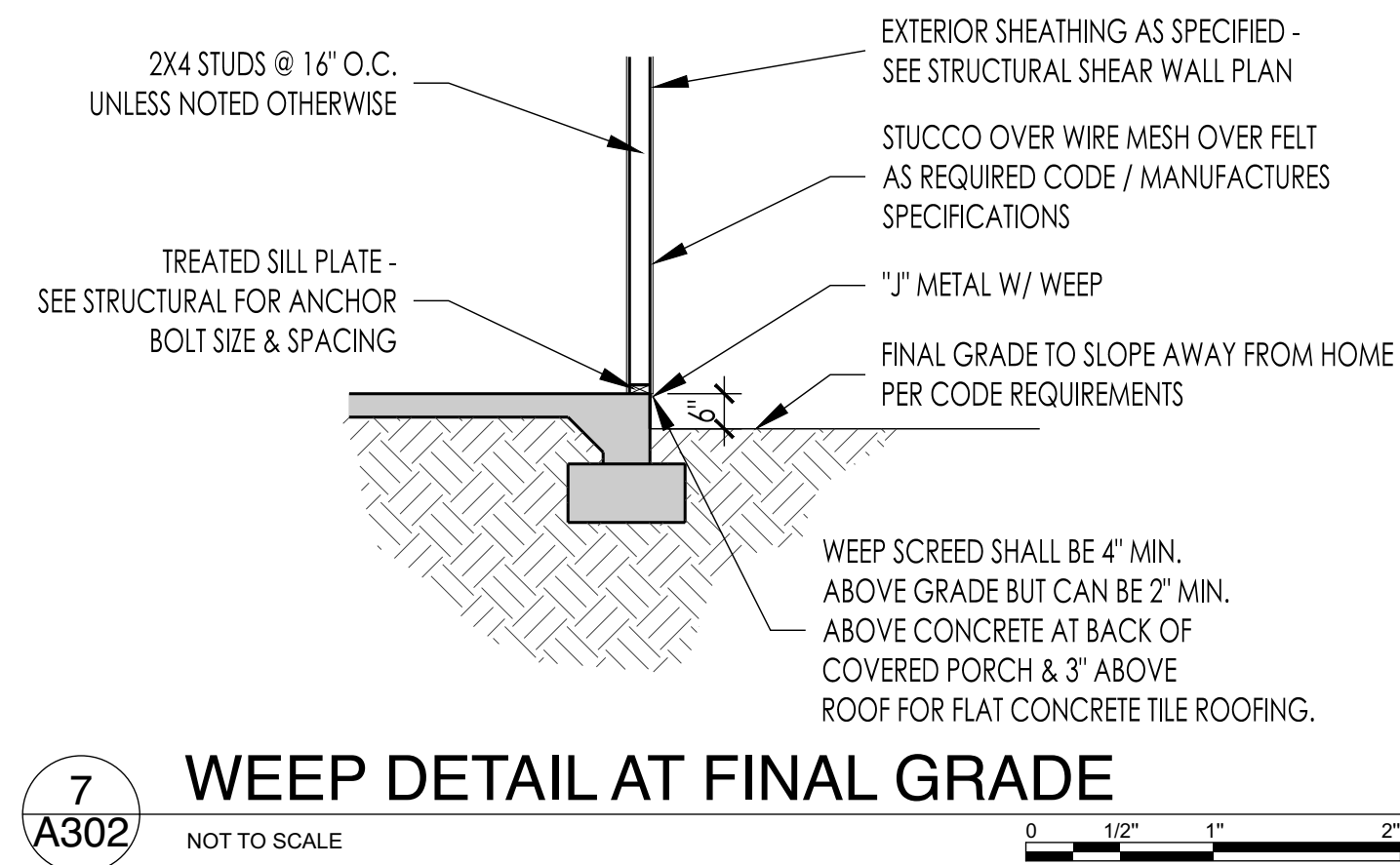
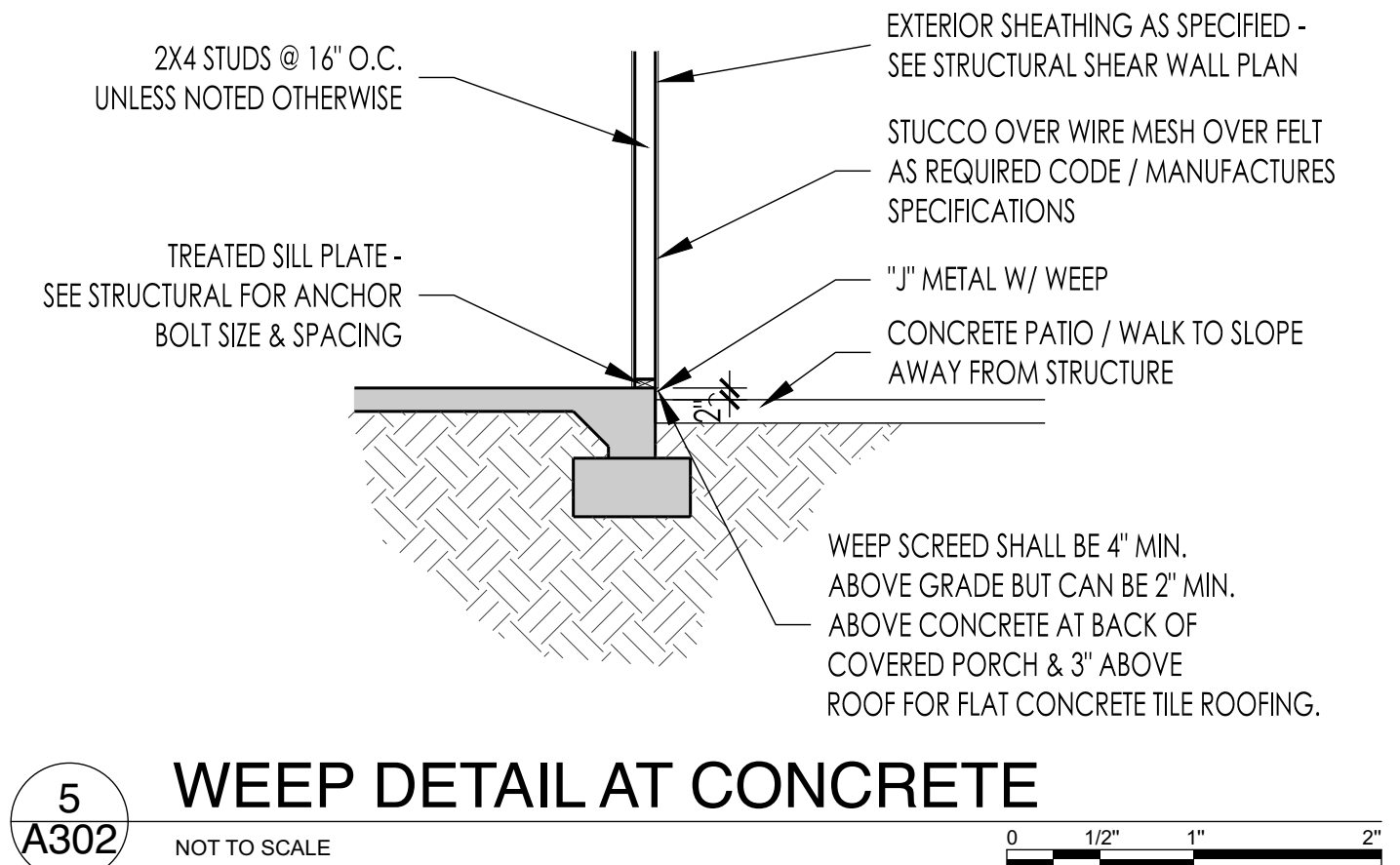
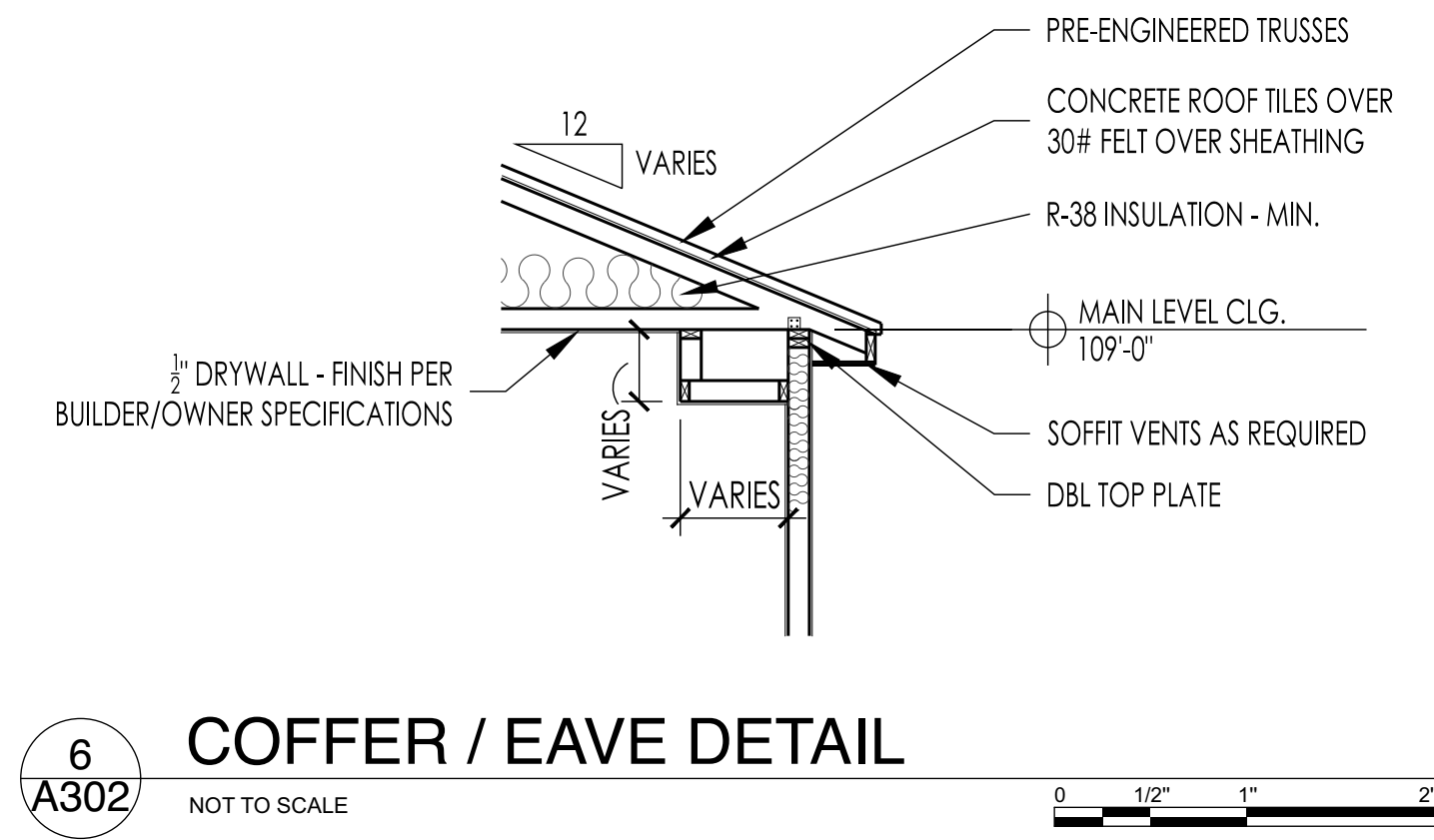
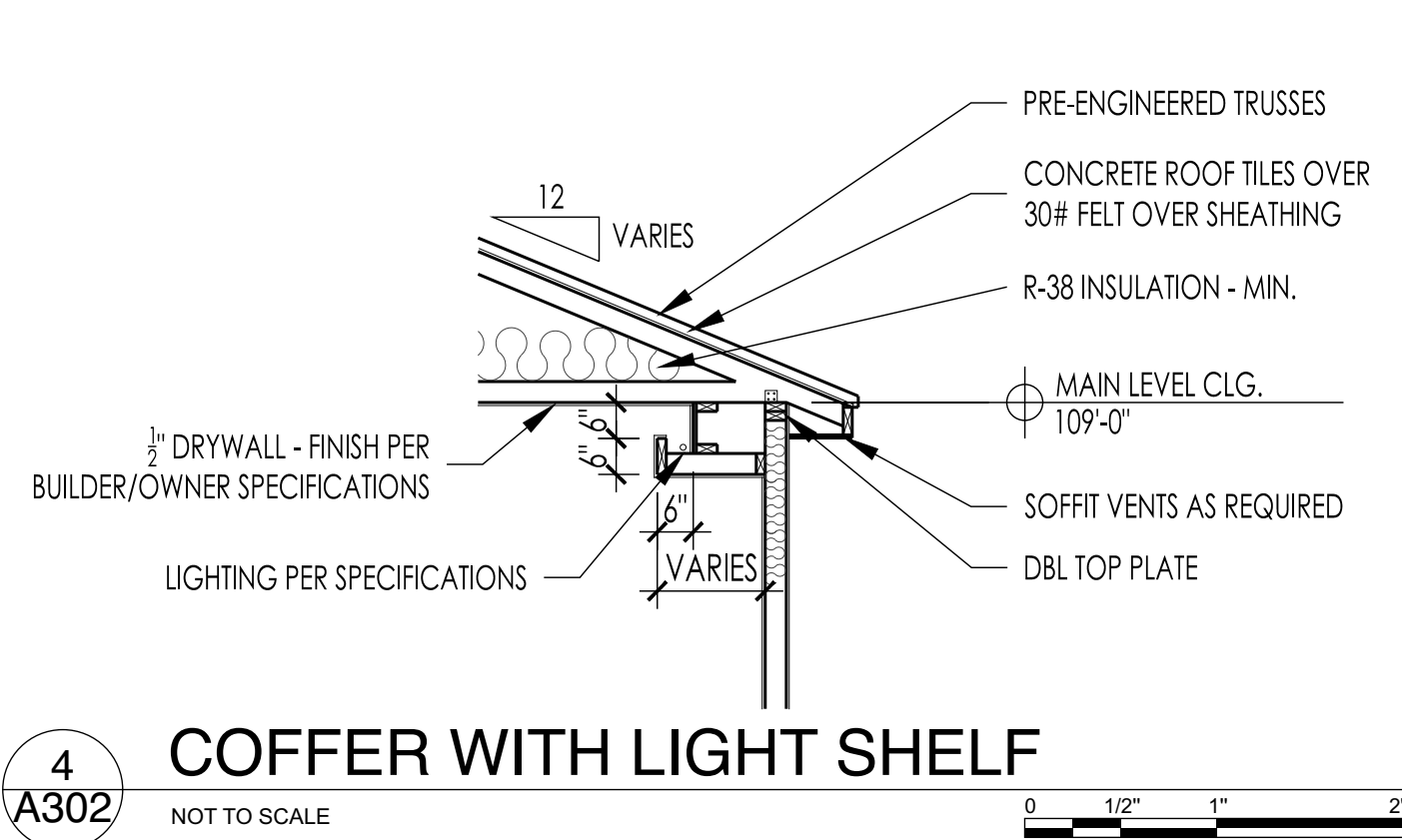
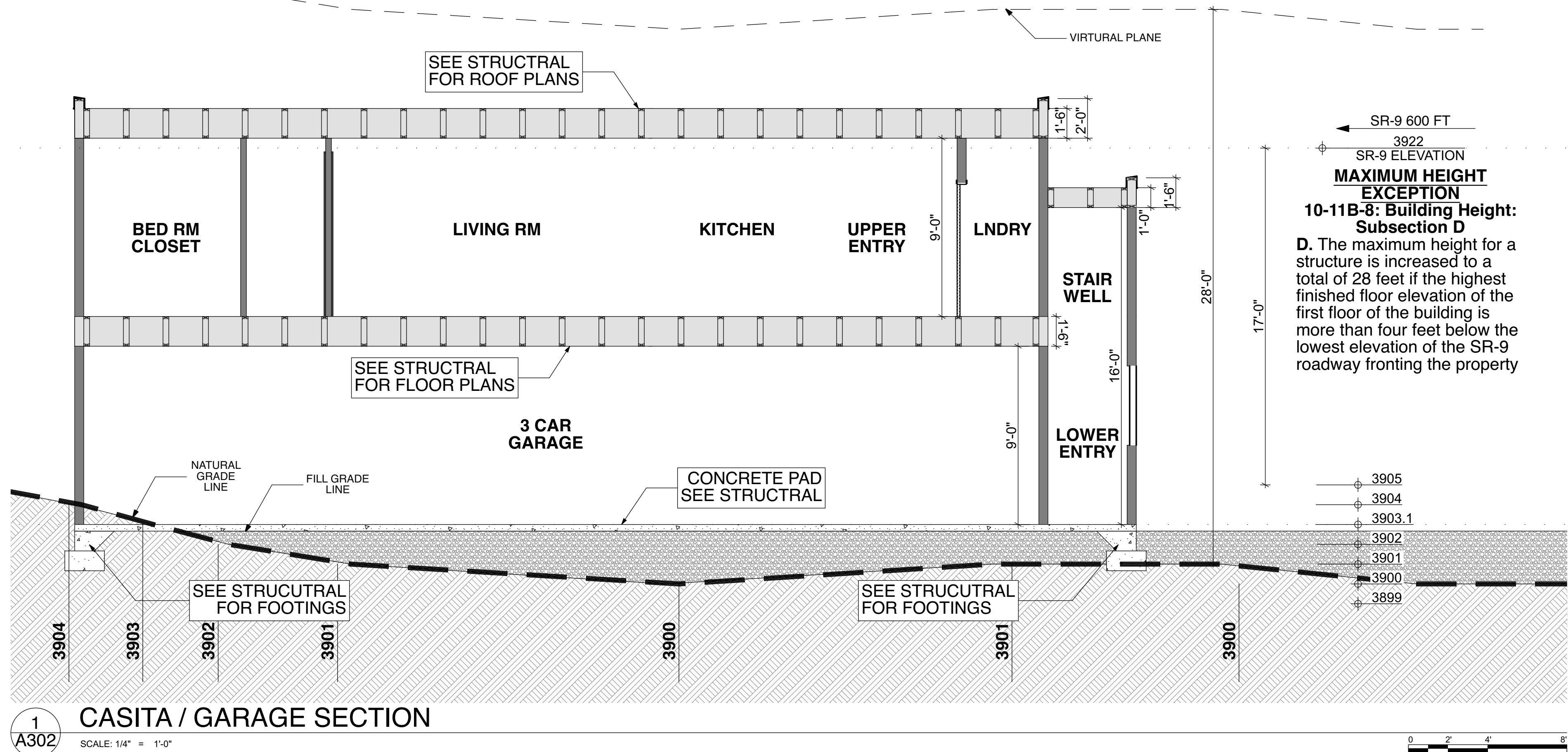
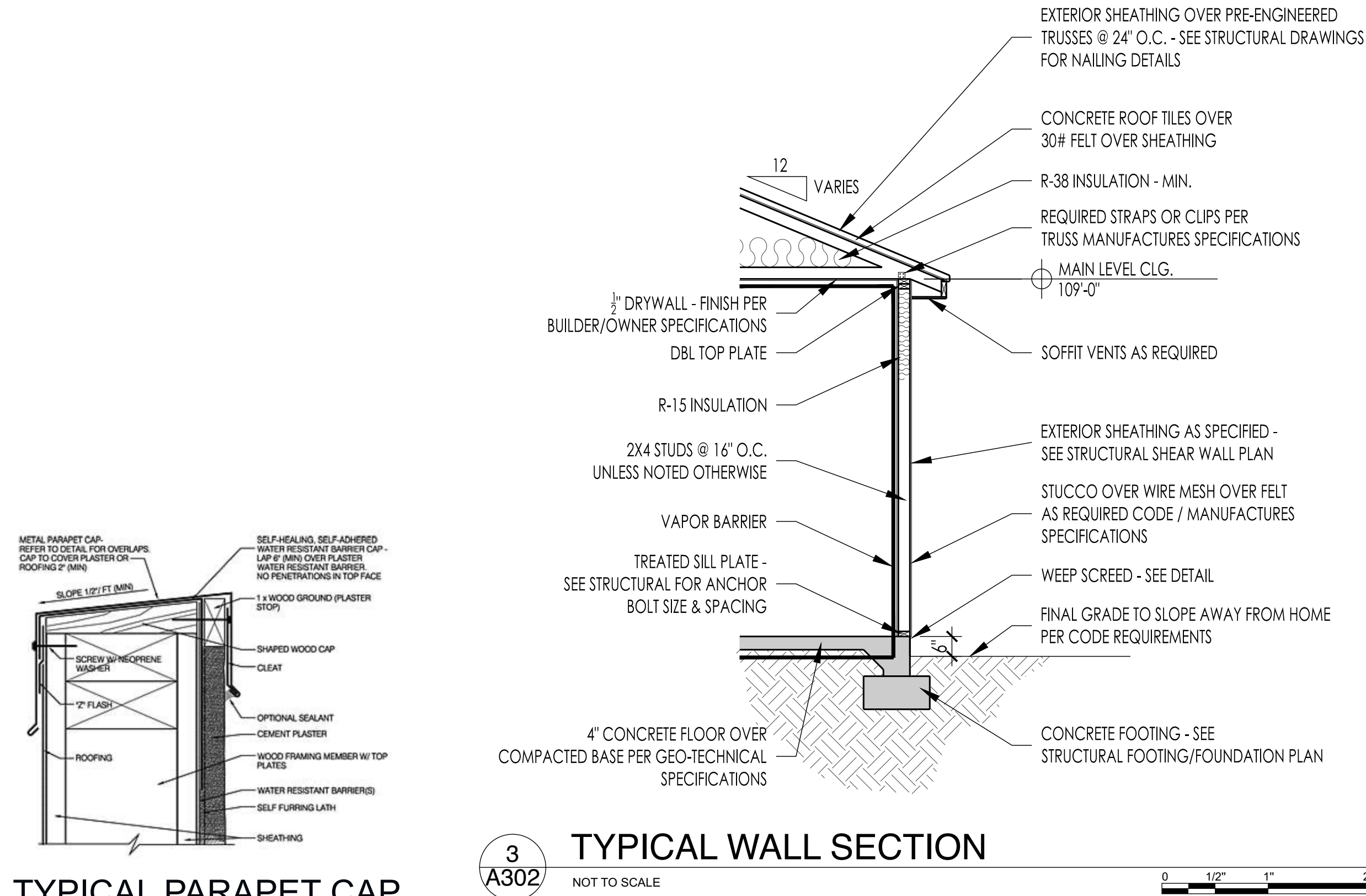
ELEVATION LEGEND	
1	- WOOD CLADDING
2	- LOCAL SANDSTONE STRETCHER
3	- PRE-FINISHED METAL / ANODIZED BRONZE
4	- STEEL COLUMN / CORTEN STEEL
5	- CABLE / GLASS RAILING / DARK GRAY OR ANODIZED BRONZE
6	- DOOR TRIM / ANODIZED BRONZE

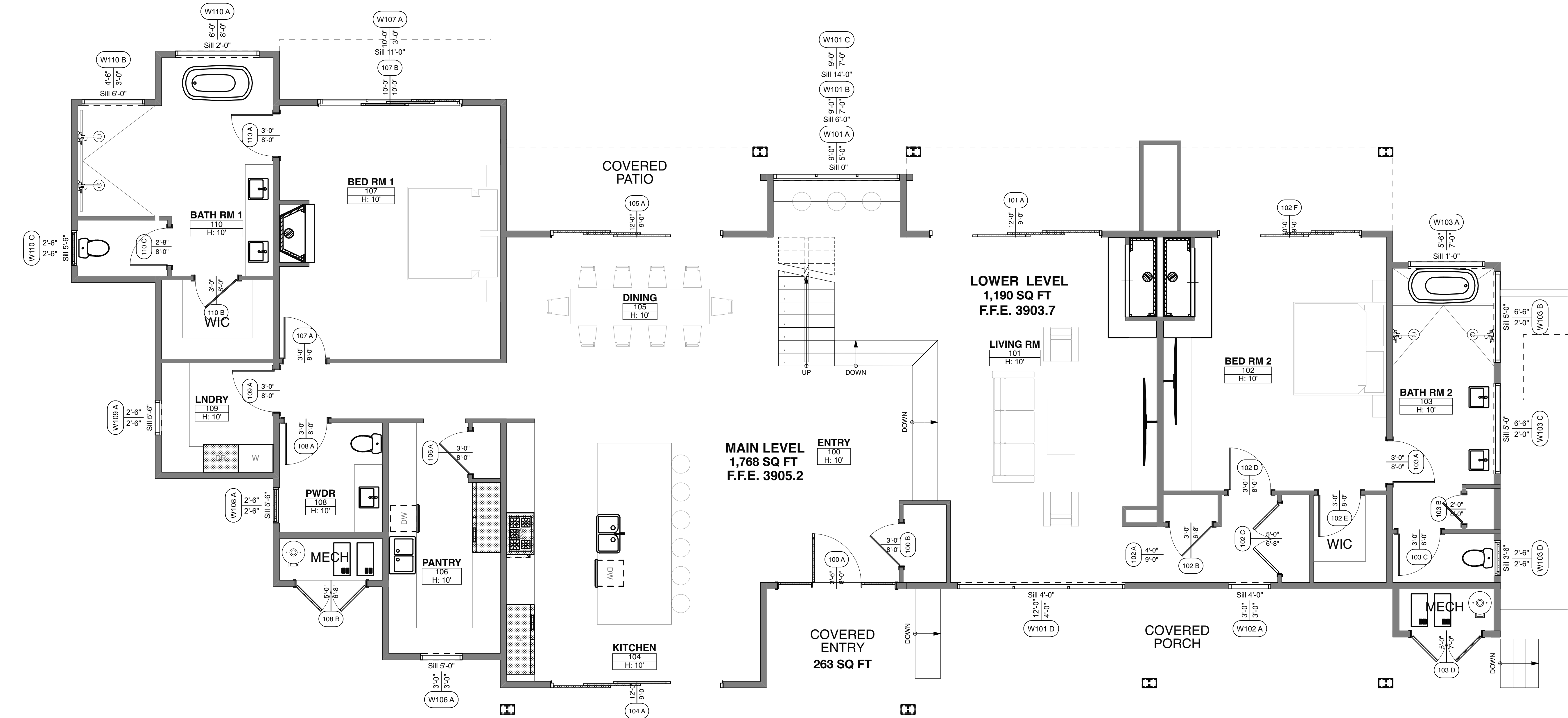


SNOW
LEOPARD
54 HUMMINGBIRD LANE
SPRINGDALE UTAH 84767

Project Number: 23061	
△ ISSUANCE NAME	DATE
ISSUED:	
CASITA / GARAGE ELEVATIONS	



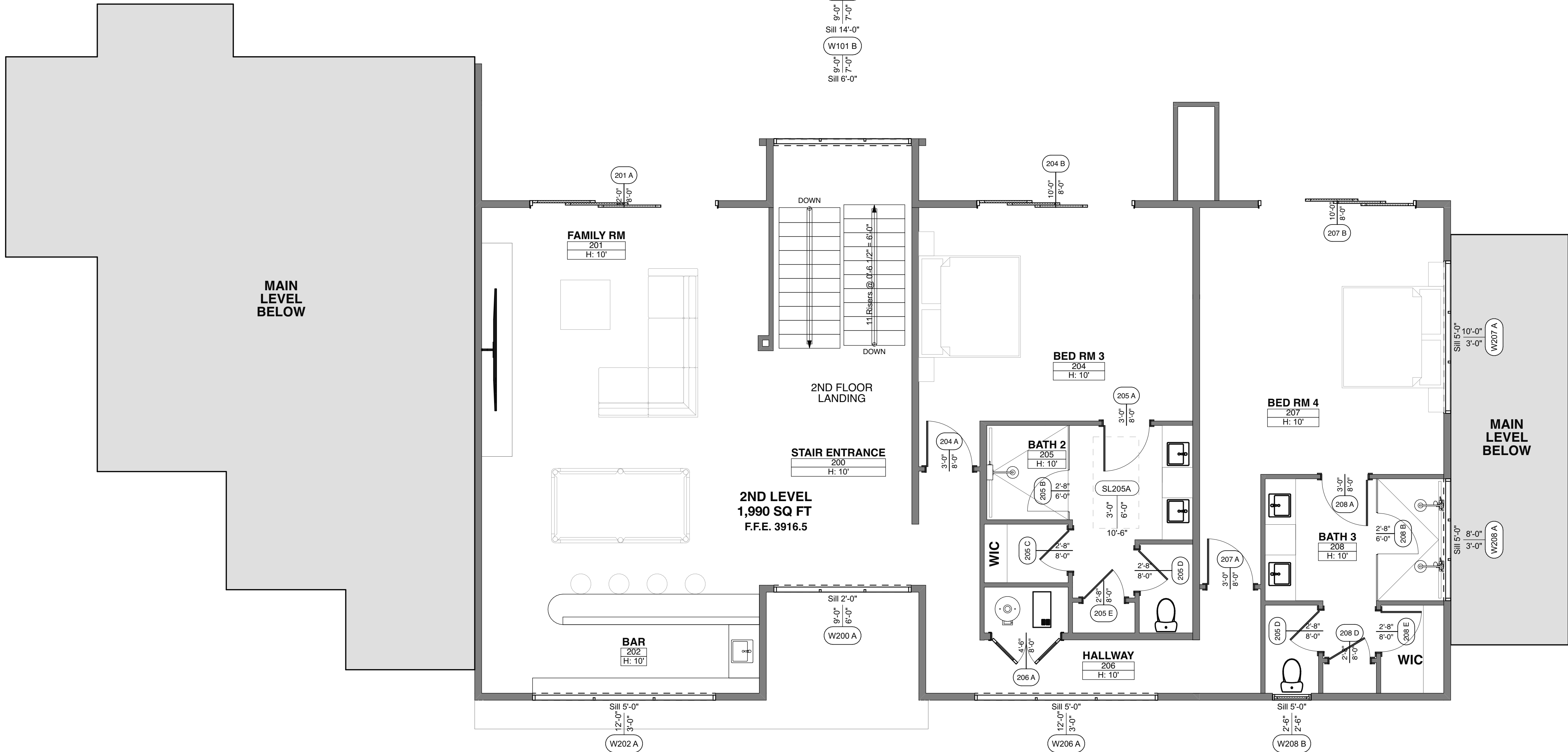
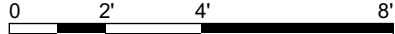




DOOR SCHEDULE				
ID	DOOR		FIRE	NOTES
	W	HT		
100 A	3'-6"	8'-0"	Unrated	
100 B	3'-0"	8'-0"	Unrated	
101 A	12'-0"	9'-0"	Unrated	
102 A	4'-0"	9'-0"	Unrated	
102 B	3'-0"	6'-8"	Unrated	
102 C	5'-0"	6'-8"	Unrated	
102 D	3'-0"	8'-0"	Unrated	
102 E	3'-0"	8'-0"	Unrated	
102 F	10'-0"	9'-0"	Unrated	
103 A	3'-0"	8'-0"	Unrated	
103 B	2'-0"	8'-0"	Unrated	
103 C	3'-0"	8'-0"	Unrated	
103 D	5'-0"	7'-0"	Unrated	
104 A	12'-0"	9'-0"	Unrated	
105 A	12'-0"	9'-0"	Unrated	
106 A	3'-0"	8'-0"	Unrated	
107 A	3'-0"	8'-0"	Unrated	
107 B	10'-0"	10'-0"	Unrated	
108 A	3'-0"	8'-0"	Unrated	
108 B	5'-0"	6'-8"	Unrated	
109 A	3'-0"	8'-0"	Unrated	
110 A	3'-0"	8'-0"	Unrated	
110 B	3'-0"	8'-0"	Unrated	
110 C	2'-8"	8'-0"	Unrated	
111 A	18'-0"	8'-0"	Unrated	
111 B	10'-0"	8'-0"	Unrated	
111 C	8'-0"	8'-0"	Unrated	
111 D	3'-0"	8'-0"	Unrated	
201 A	12'-0"	8'-0"	Unrated	
204 A	3'-0"	8'-0"	Unrated	
204 B	10'-0"	8'-0"	Unrated	
205 A	3'-0"	8'-0"	Unrated	
205 B	2'-8"	6'-0"	Unrated	
205 C	2'-8"	8'-0"	Unrated	
205 D	2'-8"	8'-0"	Unrated	
205 E	2'-8"	8'-0"	Unrated	
206 A	4'-6"	8'-0"	Unrated	
207 A	3'-0"	8'-0"	Unrated	
207 B	10'-0"	8'-0"	Unrated	
208 A	3'-0"	8'-0"	Unrated	
208 B	2'-8"	6'-0"	Unrated	
208 D	2'-8"	8'-0"	Unrated	
208 E	2'-8"	8'-0"	Unrated	
210 A	5'-0"	6'-8"	Unrated	
211 A	6'-0"	6'-8"	Unrated	
214 A	3'-0"	8'-0"	Unrated	
215 A	3'-0"	8'-0"	Unrated	
215 B	5'-6"	6'-8"	Unrated	
216 A	3'-0"	8'-0"	Unrated	
216 B	5'-6"	6'-8"	Unrated	

1 1ST FLOOR DOOR & WINDOW PLAN

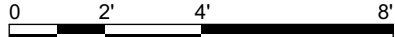
SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE					
ID	SIZE		Tempered	Egress	Type
	WIDTH	HEIGHT			
W101 A	9'-0"	5'-0"	No	No	Fixed
W101 B	9'-0"	7'-0"	No	No	Fixed
W101 C	9'-0"	7'-0"	No	No	Fixed
W101 D	12'-0"	4'-0"	No	No	Fixed
W102 A	3'-0"	3'-0"	No	No	Fixed
W103 A	5'-6"	7'-0"	Yes	No	Fixed
W103 B	6'-6"	2'-0"	Yes	No	Fixed
W103 C	6'-6"	2'-0"	Yes	No	Fixed
W103 D	2'-6"	2'-6"	Yes	No	Fixed
W106 A	3'-0"	3'-0"	No	No	Fixed
W107 A	10'-0"	3'-0"	No	No	Fixed
W108 A	2'-6"	2'-6"	Yes	No	Fixed
W109 A	2'-6"	2'-6"	No	No	Fixed
W110 A	6'-0"	8'-0"	Yes	No	Fixed
W110 B	4'-6"	3'-0"	Yes	No	Fixed
W110 C	2'-6"	2'-6"	Yes	No	Fixed
W111 A	3'-0"	4'-0"	No	No	Folding Wall
W200 A	9'-0"	6'-0"	No	No	Fixed
W202 A	12'-0"	3'-0"	No	No	Fixed
W206 A	12'-0"	3'-0"	No	No	Fixed
W207 A	10'-0"	3'-0"	No	No	Fixed
W208 A	8'-0"	3'-0"	Yes	No	Fixed
W208 B	2'-6"	2'-6"	Yes	No	Fixed
W209 A	8'-0"	4'-0"	No	No	Fixed
W212 A	8'-0"	4'-0"	No	No	Fixed
W212 B	8'-0"	4'-0"	No	No	Fixed
W213 A	4'-0"	4'-0"	No	No	Fixed
W214 A	3'-0"	5'-0"	Yes	No	Fixed
W215 A	8'-0"	4'-0"	No	Yes	Sliding Window
W216 A	6'-0"	4'-0"	No	Yes	Sliding Window
SL205A	6'-0"	3'-0"	YES	NO	FIXED SKY LIGHT

2 2ND FLOOR DOOR & WINDOW PLAN

SCALE: 1/4" = 1'-0"





**SNOW
LEOPARD**
54 HUMMINGBIRD LANE
SPRINGDALE UTAH 84767



WINDOW SCHEDULE						
ID	SIZE		Tempered	Egress	Type	
	WIDTH	HEIGHT				
W101 A	9'-0"	5'-0"	No	No	Fixed	
W101 B	9'-0"	7'-0"	No	No	Fixed	
W101 C	9'-0"	7'-0"	No	No	Fixed	
W101 D	12'-0"	4'-0"	No	No	Fixed	
W102 A	3'-0"	3'-0"	No	No	Fixed	
W103 A	5'-6"	7'-0"	Yes	No	Fixed	
W103 B	6'-6"	2'-0"	Yes	No	Fixed	
W103 C	6'-6"	2'-0"	Yes	No	Fixed	
W103 D	2'-6"	2'-6"	Yes	No	Fixed	
W106 A	3'-0"	3'-0"	No	No	Fixed	
W107 A	10'-0"	3'-0"	No	No	Fixed	
W108 A	2'-6"	2'-6"	Yes	No	Fixed	
W109 A	2'-6"	2'-6"	No	No	Fixed	
W110 A	6'-0"	6'-0"	Yes	No	Fixed	
W110 B	4'-6"	3'-0"	Yes	No	Fixed	
W110 C	2'-6"	2'-6"	Yes	No	Fixed	
W111 A	3'-0"	4'-0"	No	No	Folding Wall	
W200 A	9'-0"	6'-0"	No	No	Fixed	
W202 A	12'-0"	3'-0"	No	No	Fixed	
W206 A	12'-0"	3'-0"	No	No	Fixed	
W207 A	10'-0"	3'-0"	No	No	Fixed	
W208 A	8'-0"	3'-0"	Yes	No	Fixed	
W208 B	2'-6"	2'-6"	Yes	No	Fixed	
W209 A	8'-0"	4'-0"	No	No	Fixed	
W212 A	8'-0"	4'-0"	No	No	Fixed	
W212 B	8'-0"	4'-0"	No	No	Fixed	
W213 A	4'-0"	4'-0"	No	No	Fixed	
W214 A	3'-0"	5'-0"	Yes	No	Fixed	
W215 A	6'-0"	4'-0"	No	Yes	Sliding Window	
W216 A	6'-0"	4'-0"	No	Yes	Sliding Window	



△ ISSUANCE NAME	DATE
-----------------	------

A402

1. ALL SMOKE ALARMS TO BE 120V
UL LISTED BATTER BACKED-UP AND
INTERCONNECTED.
2. CO DETECTORS ON EACH LEVEL TO
BE 120V POWERED BATTERY
BACKED-UP AND INTERCONNECTED.
3. CO DETECTORS ARE TO BE
LOCATED ON EACH LEVEL IN THE
IMMEDIATE VICINITY OF THE
BEDROOMS.
4. SMOKE DETECTORS ARE TO
BE LOCATED IN EACH BEDROOM
ON EACH LEVEL IN THE IMMEDIATE
VICINITY OF THE BEDROOMS.
5. ALL 115-20 AMP RECEPTACLES
TO BE UL LISTED AND RESISTANT.
6. Branch circuits that supply
125-volt single phase and
20 amp outlets installed in
kitchens, family rooms, dining
rooms, living rooms, bedrooms,
libraries, den, bedrooms,
sunrooms, recreation rooms
and other living areas, fireplaces
and similar rooms or areas shall
be protected by AFCI.
7. OUTLETS ARE REQUIRED TO BE
INSTALLED SO THAT NO POINT
ON THE WALL IS MORE THAN 6'
FROM AN OUTLET.
8. GFCI PROTECTION SHALL BE
PROVIDED FOR OUTLETS THAT SUPPLY
ELECTRIC CHARGE DISPOSAL &
DISHWASHER.



2
E001

MAIN H

SCALE: 1/4" = 1'-0"

LIGHT FIXTURE:

1) KICHLER LIGHTING - DLRCO4R2790WHT
DIRECT TO CEILING RECESSED LED DOWNLIGHT
6" X 2" | 2700 K | 700 LUMENS

2) KICHLER LIGHTING - 9234BK -
SMALL OUTDOOR WALL MOUNT
7" X 4.75" | 60-WATT BULBS | 800 LUMENS

LIGHTING NOTES:

1) ALL LIGHTING TO MEET LZ-2 LOW AMBIENT LIGHTING OR 40,000 LUMENS PER ACRE

2) ALL LIGHTING TO COMPLY WITH "FULL CUTOFF FIXTURE" STANDARDS: ALL OUTDOOR LIGHTING TO FACE DOWNWARD WITH OPAQUE SHIELDING - RECESSED INTO HOUSING BY 2" CUT SHEET

3) ALL EXT LIGHTING TO BE 3000K < (WARM COLOR TEMP)

LUMEN COUNT:

1ST FLOOR MAIN HOUSE.....	8X700 + 1X800 =	6,400
2ND FLOOR MAIN HOUSE... ..	2X800 + 3X700 =	3,700
1ST FLOOR ADU/GARAGE.....	6X800 =	4,800
2ND FLOOR ADU/GARAGE.....		0
TOTAL LUMENS.....		14,900

A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 2, and 4, representing feet.

E002

1) - RECESSED CAN LIGHT

2) -  DOWNLIGHT SCNCE

1) KICHLER LIGHTING - DLR04R2790WHT
DIRECT TO CEILING RECESSED LED DOWNLIGHT
6" X 2" | 2700 K | 700 LUMENS

2) KICHLER LIGHTING - 9234BK -
SMALL OUTDOOR WALL MOUNT
7" X 4.75" | 60-WATT BULBS | 800 LUMENS

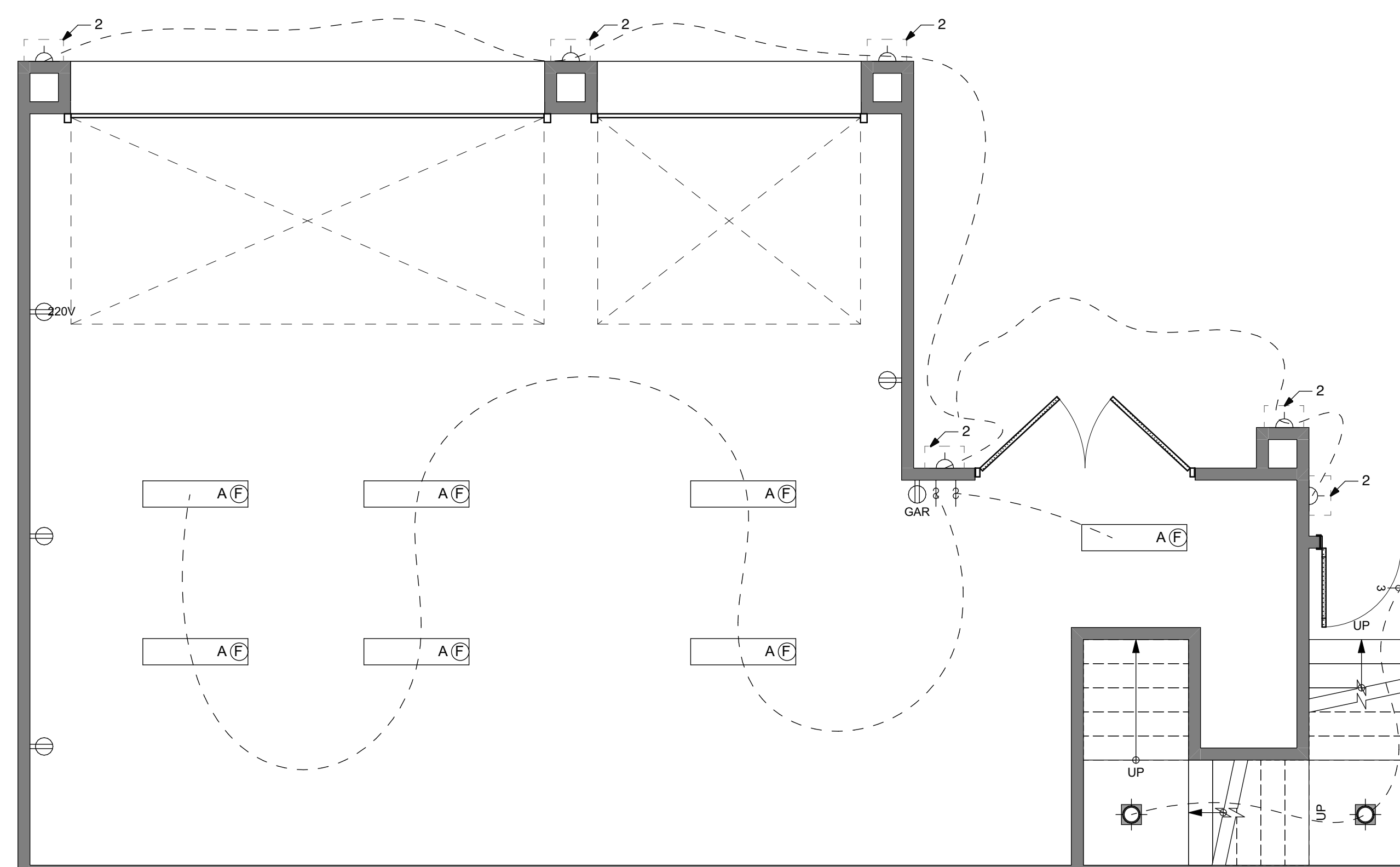
1) ALL LIGHTING TO MEET LZ-2 LOW AMBIENT LIGHTING OR 40,000 LUMENS PER ACRE

2) ALL LIGHTING TO COMPLY WITH "FULL CUTOFF FIXTURE" STANDARDS: ALL OUTDOOR LIGHTING TO FACE DOWNWARD WITH OPAQUE SHIELDING - RECESSED INTO HOUSING BY 2" CUT SHEET

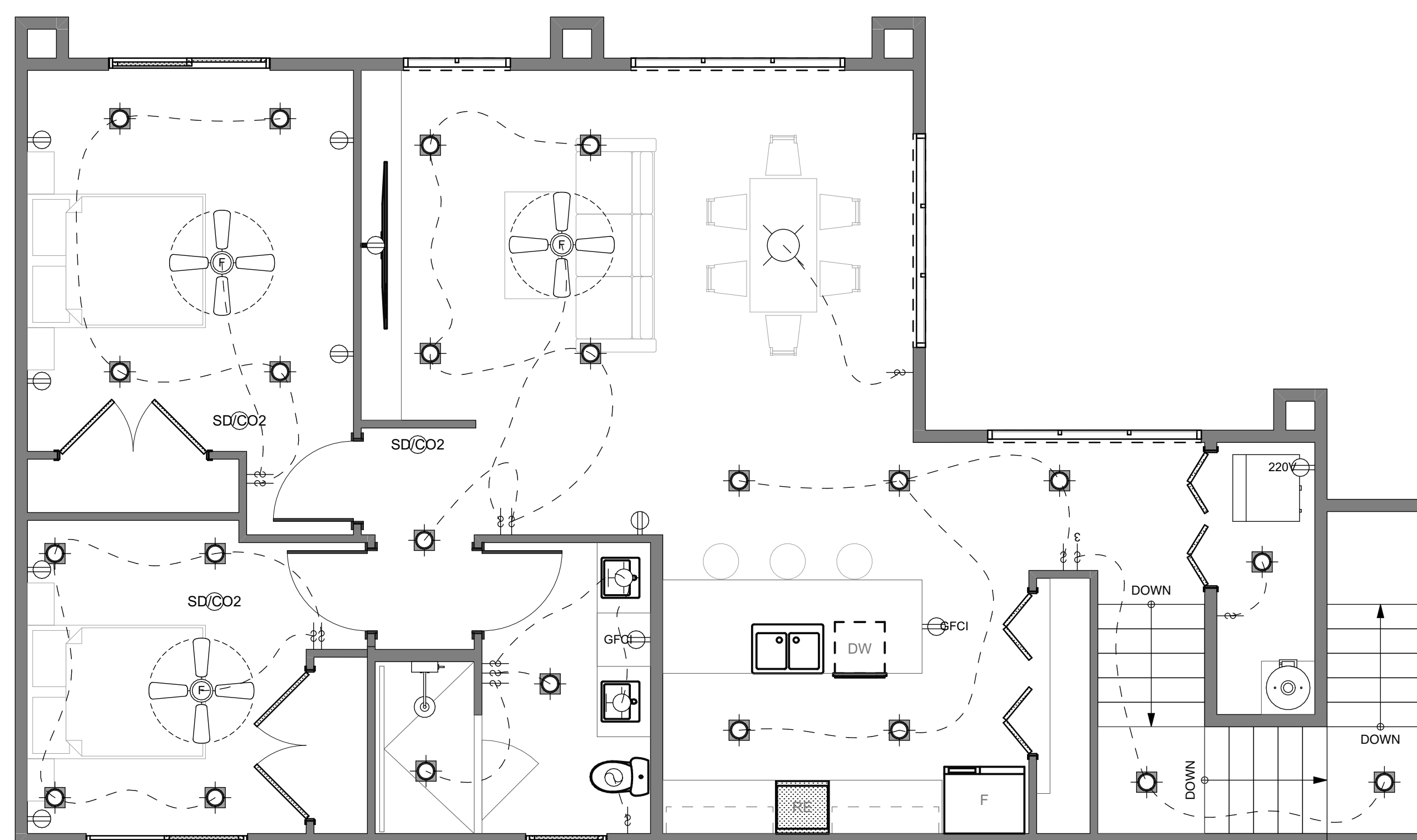
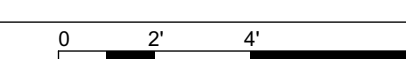
3) ALL EXT LIGHTING TO BE 3000K < (WARM COLOR TEMP)

LUMEN COUNT:

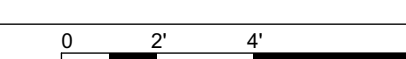
1ST FLOOR MAIN HOUSE.....	8X700 + 1X800 = 6,400
2ND FLOOR MAIN HOUSE....	2X800 + 3X700 = 3,700
1ST FLOOR ADU/GARAGE.....	6X800 = 4,800
2ND FLOOR ADU/GARAGE.....	0
TOTAL LUMENS.....	14,900



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

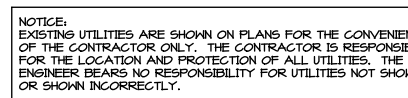




SCALE: 1"=40'

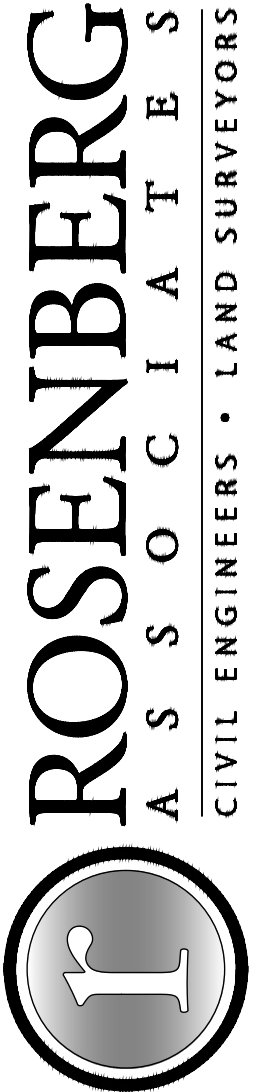
SHEET INDEX

1. ALL ELEVATIONS AND HORIZONTAL LOCATIONS ARE BASED ON THE NAVD 88 VERTICAL DATUM AND STATE PLANE COORDINATE SYSTEM.
2. A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING, OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICES INSPECTORS.
3. PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINNINGS. THE SIGN WILL HAVE A MINIMUM SIZE, PLACE AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT & GRADING PERMIT NUMBER.
4. ALL WORK SHALL BE CONTAINED ON THE SUBJECT SITE ONLY. NO STOCKPILING OR CONSTRUCTION ACTIVITY SHALL OCCUR OFF OF THE APPROVED LOT AREA.
5. THE PROJECT SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL.
6. A WAIVER OF DUST SHALL BE AVAILABLE ON-SITE THROUGHOUT CONSTRUCTION TO CONTROL AIRBORNE PARTICLES.
7. THE CONTRACTOR SHALL PROVIDE PORTABLE RESTROOMS AND A TEMPORARY TRASH ENCLOSURE ON SITE DURING ALL CONSTRUCTION ACTIVITIES.
8. ALL FIELD DESIGN CHANGES SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

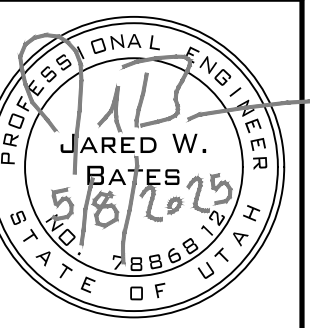


THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
CONTACT: JARED BATES, P.E.
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790 (435) 673-8586

THE DEVELOPER FOR THIS PROJECT IS:
SPILKER & COMPANY, LLC
CONTACT: CLARK SPILKER
933 E. ROCKWOOD CT.
WASHINGTON, UT 84780
(435)668-0762



COVER SHEET
FOR
SNOW LEOPARD
54 E. HUMMINGBIRD LANE
SPRINGDALE, UTAH



1

OF 7 SHEETS



LEGEND

EFFECTIVE 100 YEAR FLOODPLAIN
(2009 WASHINGTON CO & RECENT LOMRS)

EFFECTIVE FLOODWAY
(2009 WASHINGTON CO, FIS)

100 YEAR FLOODPLAIN
(2021 ANALYSIS)

EROSION HAZARD BOUNDARY
HIGH HAZARD (2019 STUDY)

NATIVE TREE OVER 6' TALL

NATIVE TREE OVER 6' TALL TO BE
REMOVED FOR CONSTRUCTION AND TO BE
REPLACED PER SPECIFICATIONS BY TOWN
OF SPRINGDALE - (18 TOTAL REMOVED=36
TO BE PLANTED ON PROPERTY)

EXISTING ASPHALT

PROPOSED ASPHALT

EXISTING ALL WEATHER SURFACE

PROPOSED ALL WEATHER SURFACE

PROPOSED EROSION PROTECTION

DATE:	5/20/2024
JOB NO.:	12456-20
DESIGNED BY:	ALN
CHECKED BY:	JWB
DWG:	12456-20 CONST
DATE:	
REVISIONS:	

ROSENBERG
ASSOCIATES
CIVIL ENGINEERS • LAND SURVEYORS

352 East Riverside Drive, Suite A-2
St. George, Utah 84790
Ph (435) 673-8586 Fx (435) 673-8397
www.rachill.com

SITE AND UTILITY PLAN
FOR
SNOW LEOPARD
54 E. HUMMINGBIRD LANE
SPRINGDALE, UTAH

PROJECT ENGINEER

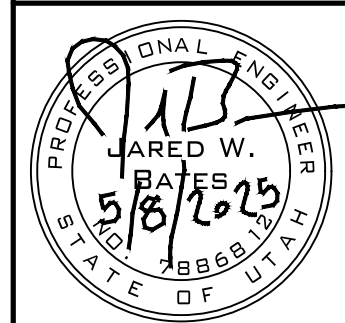
THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
CONTACT: JARED BATES, P.E.
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790 (435) 673-8586

PROJECT OWNER/DEVELOPER

THE DEVELOPER FOR THIS PROJECT IS:
SPILKER & COMPANY, LLC
CONTACT: CLARK SPILKER
433 E. ROCKWOOD CT.
WASHINGTON, UT 84780
(435) 668-0762



NOTICE: EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVEYANCE OF THE CONTRACT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.





LEGEND	
EFFECTIVE 100 YEAR FLOODPLAIN (2009 WASHINGTON CO & RECENT LOMRS)	—————
EFFECTIVE FLOODWAY (2009 WASHINGTON CO. FIS)	- - - - -
100 YEAR FLOODPLAIN (2021 ANALYSIS)	— · — · —
EROSION HAZARD BOUNDARY HIGH HAZARD (2019 STUDY)	- · - · -
EXISTING ASPHALT	
PROPOSED ASPHALT	
EXISTING ALL WEATHER SURFACE	
PROPOSED ALL WEATHER SURFACE	
PROPOSED EROSION PROTECTION	



NOTES: NO EXISTING AREAS MORE THAN 30% SLOPE ON SITE.

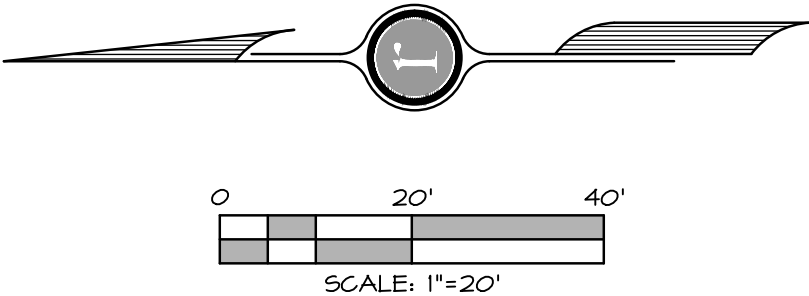
ALL RETAINING WALLS SHALL BE CONCRETE AND NO MORE THAN 2 FEET IN HEIGHT.

PROJECT ENGINEER

THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
CONTACT: JARED BATES, P.E.
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790 (435) 673-8586

PROJECT OWNER/DEVELOPER

THE DEVELOPER FOR THIS PROJECT IS:
SPILKER & COMPANY, LLC
CONTACT: CLARK SPILKER
933 E. ROCKWOOD CT.
WASHINGTON, UT 84780
(435)668-0762



DATE: 5/20/2024

JOB NO.: 12456-20

DESIGNED BY: ALN

CHECKED BY: JWB

DWG: 12456-20 CONST

DATE:

REVISIONS:

ROSENBERG ASSOCIATES

CIVIL ENGINEERS • LAND SURVEYORS

352 East Riverside Drive, Suite A-2
St. George, Utah 84790
Ph (435) 673-8586 Fx (435) 673-8397
www.racivil.com

OVERALL GRADING PLAN

FOR

SNOW LEOPARD

54 E. HUMMINGBIRD LANE
SPRINGDALE, UTAH

PROFESSIONAL ENGINEER

JARED W. BATES

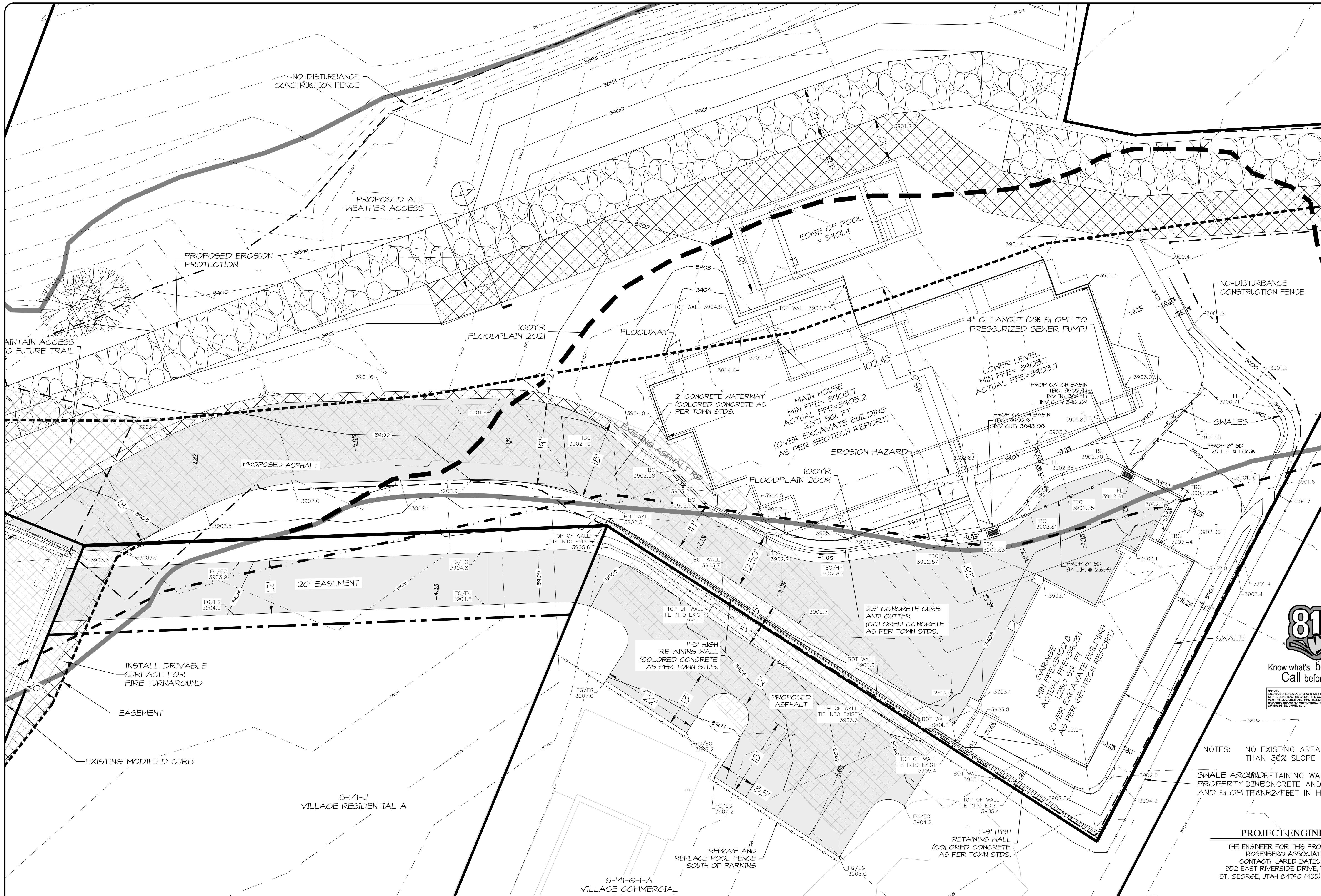
5187625

STATE OF UTAH

SHEET

3

3 OF 7 SHEETS



NOTES:
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

NOTES: NO EXISTING AREAS MORE THAN 30% SLOPE ON SITE.

SWALE AROUND RETAINING WALLS SHALL BE CONCRETE AND NO MORE THAN 12" IN HEIGHT.

PROJECT ENGINEER

THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
CONTACT: JARED BATES, P.E.
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790 (435) 673-8586

PROJECT OWNER/DEVELOPER

THE DEVELOPER FOR THIS PROJECT IS:
SPILKER & COMPANY, LLC
CONTACT: CLARK SPILKER
433 E. ROCKWOOD CT.
WASHINGTON, UT 84780
(435) 668-0762

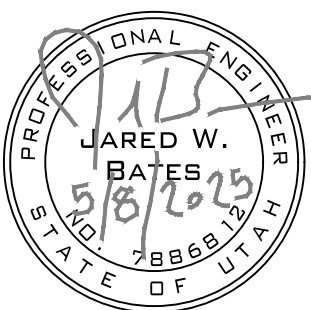
DATE:	5/20/2024
JOB NO.:	12456-20
DESIGNED BY:	ALN
CHECKED BY:	JWB
DWG:	12456-20 CONST
DATE:	
REVISIONS:	



352 East Riverside Drive, Suite A-2
St. George, Utah 84790
Ph (435) 673-8586 Fx (435) 673-8397
www.racivil.com

SITE GRADING AND DRAINAGE PLAN

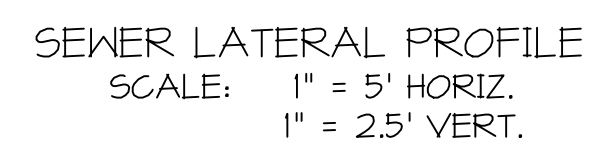
FOR
SNOW LEOPARD
54 E. HUMMINGBIRD LANE
SPRINGDALE, UTAH



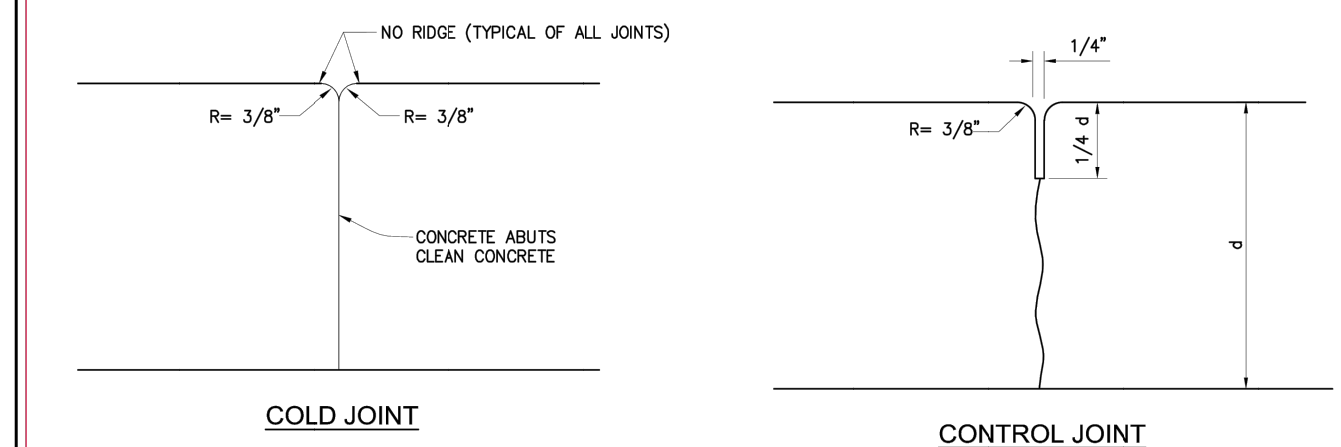
SHEET

4

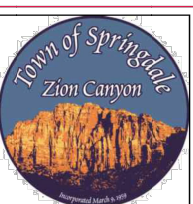
4 OF 7 SHEETS



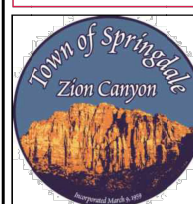
OF 7 SHEETS



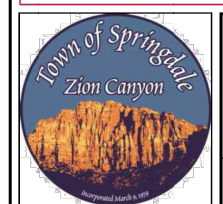
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122



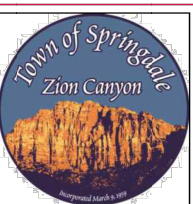
Std Dwg No.
230



Std Dwg No.
231



Std Dwg No.
300



Std Dwg No.

303



Std Dwg No.
100

1. AVERAGE ROCK SIZE, D50=24", USE ANGULAR-SHAPED ROCK FREE FROM CRACKS, OVERBURDEN, SHALE, WITH A MINIMUM DENSITY OF 156 LB. PER CUBIC FT. (SPECIFIC GRAVITY = 2.50), WITH THE BREADTH OR THICKNESS OF A SINGLE STONE NOT LESS THAN ONE THIRD ITS LENGTH. FURNISH ROCK GRADED AS INDICATED IN THE TABLE. ALL ROCK RIP-RAP SHALL BE INSPECTED BY THE ENGINEER PRIOR TO INSTALLATION AND BACKFILL.
2. FILTER FABRIC SHALL BE: MIRRI 180 N 8 OZ. NON WOVEN GEO-TEXTILE OR APPROVED EQUAL. FABRIC SHALL BE PLACED AS SHOWN HEREON AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. CARE SHALL BE TAKEN TO PREVENT FABRIC FROM TEARING DURING ROCK PLACEMENT.
3. CONTRACTOR SHALL FILL Voids IN RIP-RAP EROSION PROTECTION WITH SEDIMENT USING WATER JETTING OR OTHER APPROVED METHODS. ALL ROCK RIP-RAP SHALL BE INSPECTED BY THE ENGINEER PRIOR TO SEDIMENT PLACEMENT.
4. ALL UNSUITABLE VEGETATION AND WOODY DEBRIS MATERIAL SHALL BE REMOVED FROM THE WORK AREA AND DISPOSED OF PROPERLY OFFSITE.
5. ALL WORK SHALL COMPLY WITH THE ARMY CORPS OF ENGINEERS AND STATE OF UTAH PERMIT REQUIREMENT & CONDITIONS.
6. RIP-RAP EROSION PROTECTION REPAIR TERMINATION LOCATIONS TO BE VERIFIED BY ENGINEER BASED ON FIELD CONDITIONS.

ROCK RIP-RAP D50=24": 3.9 CU YDS PER LF

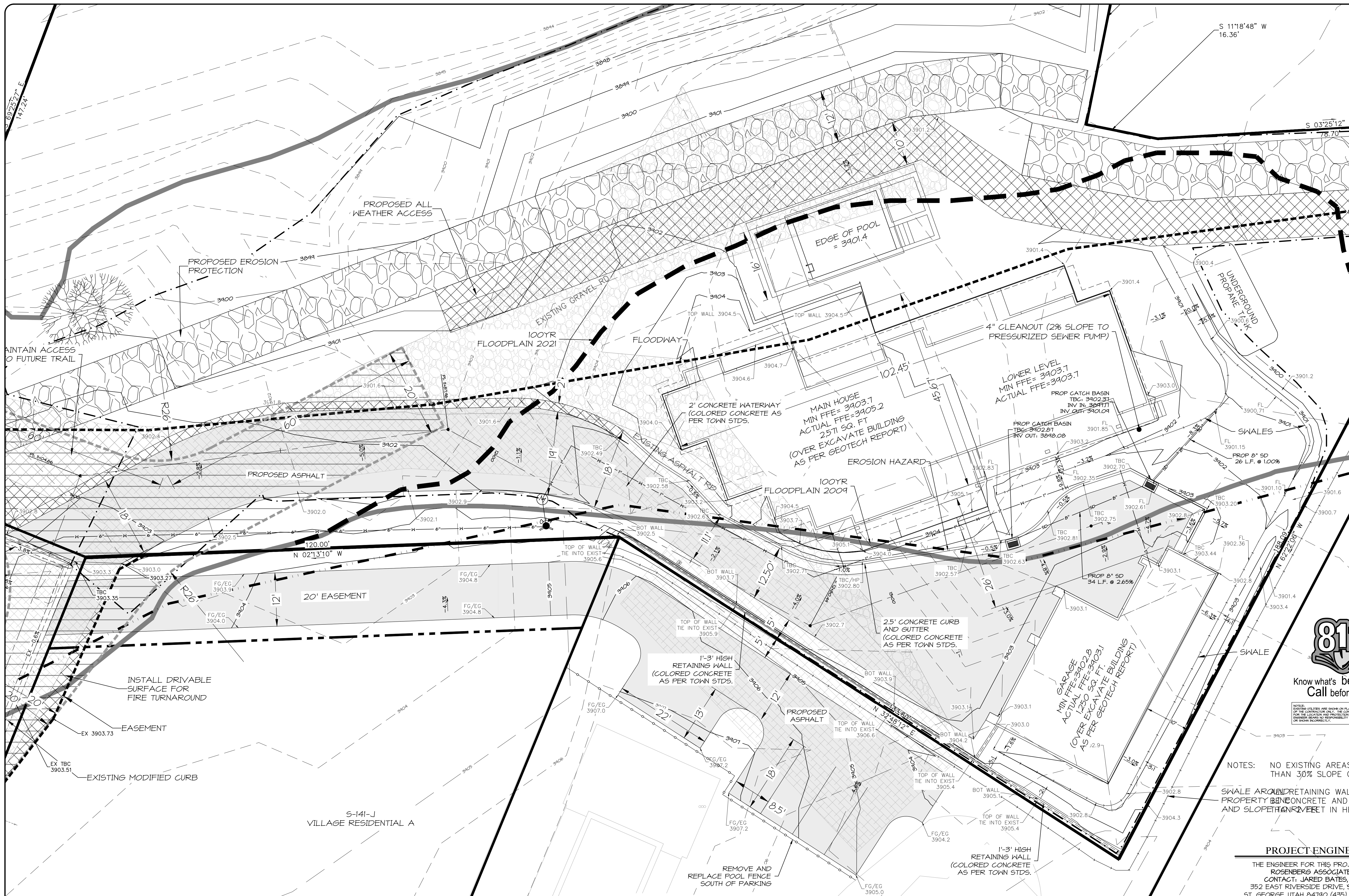
FILTER FABRIC: 3.8 SQ YDS PER LF

D100	42"
D75	36"
D50	24"
D25	18"
MIN SIZE	12"



DETAILS
FOR
SNOW LEOPARD
54 E. HUMMINGBIRD LANE
SPRINGDALE, UTAH

7
7 SHEETS



Know what's below.
Call before you dig.

NOTES:
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES NOT SHOWN ON THESE PLANS.

NOTES: NO EXISTING AREAS MORE THAN 30% SLOPE ON SITE.

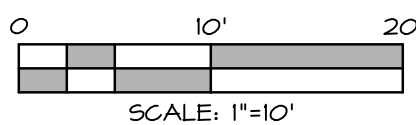
SWALE AROUND RETAINING WALLS SHALL BE BUILT WITH 18\"/>

PROJECT ENGINEER

THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
CONTACT: JARED BATES, P.E.
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790 (435) 673-8586


PROJECT OWNER/DEVELOPER

THE DEVELOPER FOR THIS PROJECT IS:
SPILKER & COMPANY, LLC
CONTACT: CLARK SPILKER
433 E. ROCKWOOD CT.
WASHINGTON, UT 84780
(435) 668-0762



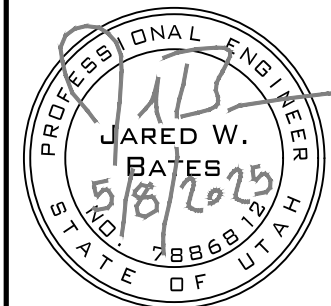
DATE:	5/20/2024
JOB NO.:	12456-20
DESIGNED BY:	ALN
CHECKED BY:	JWB
DWG:	12456-20 CONST
DATE:	
REVISIONS:	

ROSENBERG
ASSOCIATES
CIVIL ENGINEERS • LAND SURVEYORS



352 East Riverside Drive, Suite A-2
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www.racivil.com

SITE GRADING AND DRAINAGE PLAN
FOR
SNOW LEOPARD
54 E. HUMMINGBIRD LANE
SPRINGDALE, UTAH



Appendix 2: Development Agreement



DEVELOPMENT AGREEMENT

This Development Agreement ("Agreement") is entered into on this 11th day of August, 2010 by and between the TOWN OF SPRINGDALE, a Utah municipal corporation ("Town"), and Dokstar, LLC, a Utah limited liability company ("Dokstar"), owner of real property impacted by this Agreement.

Recitals

- A. Dokstar is the owner of two parcels of property in Springdale, identified by parcel numbers S-141-G-1-A and S-103-C-1-A-1, and generally located at the end of Humming Bird Lane (hereafter the "Properties"). A complete legal description of both Properties is attached hereto as Exhibit A.
- B. Dokstar has applied for a zone change on the Properties. The request would change the zoning on the Properties from Valley Residential (VR) to Village Commercial (VC).
- C. The purpose of the requested zone changes is to allow an existing single family residence on parcel S-141-G-1-A and a contemplated single family residence on parcel S-103-C-1-A-1 to be used commercially as vacation rentals (a type of transient lodging facility).
- D. The Springdale Planning Commission and Town Council have found that the zone change will promote the goals and objectives of the General Plan, but only if the future use on and development of the Properties is regulated by this Agreement.

Therefore, the parties make the following agreements:

AGREEMENT

- 1. The Town will change the zone on the Properties from Valley Residential (VR) to Village Commercial (VC).
- 2. Notwithstanding the change in zoning designation, the only uses allowed on the Properties will be those allowed in the Valley Residential zone and vacation rentals.
 - a. For the purposes of this Agreement, "vacation rental" means a single family residence rented as a complete structure for less than 31 days to a single association, family, or other similar group at a time.
 - b. Individual rooms in the vacation rental may not be rented separately.

3. The parties both understand and agree that a vacation rental is a type of transient lodging facility. The parties further understand and agree that transient lodging facilities are a conditional use in the Village Commercial zone.
 - a. Therefore, notwithstanding the provisions in this Development Agreement, Dokstar must apply for and be granted a conditional use permit before a vacation rental use may be established on the Properties.
 - b. Additional restrictions may be imposed on the vacation rental use through the conditional use process, consistent with the standards for granting conditional use permits established in the Town Code.
4. The Properties are surrounded by parcels currently zoned Valley Residential. The current Springdale General Plan contemplates that this surrounding area may be changed to the Village Commercial zone at some point in the future.
 - a. If the surrounding parcels (except for those in Zion National Park) are changed to the Village Commercial zone without any use limitations, the use limitations for Dokstar's Properties in Section 2 are annulled.
 - b. The Town Council may remove the use limitations by amending this Agreement if it finds that the use limitation is no longer necessary to protect the residential character of the surrounding area.
5. The parties both support the development of the Zion Canyon Trail, a ten foot wide paved pedestrian and bicycle trail running from Zion National Park to Rockville, generally along the Virgin River.
 - a. The final alignment for the Zion Canyon Trail has not yet been established. However, Dokstar commits to work with the Town to establish an easement for the trail (ten feet in width plus slope and temporary five foot construction easements on either side of the trail) to the Town if and when similar trail easements or public rights-of-way are obtained on adjacent properties that would allow the development of a continuous trail through and across the adjacent properties.
 - b. Dokstar commits to remain flexible in the trail easement location to best facilitate the development of a continuous trail network that will make feasible and logical connections with trail easements obtained on adjacent properties.
 - c. The Town commits to remain flexible in the design and location of the trail easement in order to maintain the highest amount of privacy possible and to not limit the viable use of the Properties.

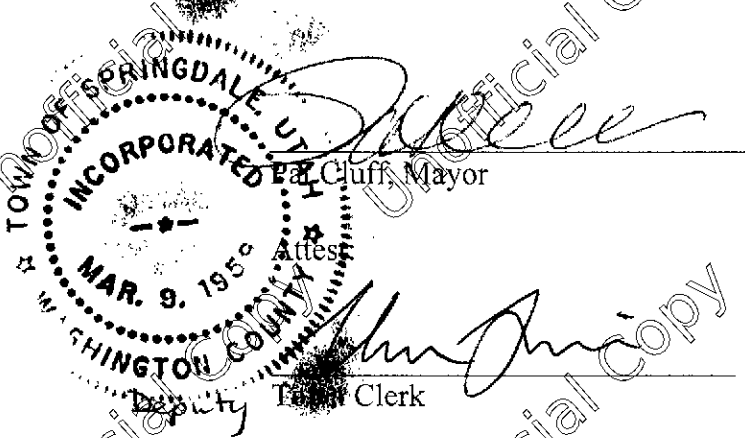
6. The parties both agree and understand that the Town requires paved access to commercial developments. If and when the Properties are used as vacation rentals, Dokstar commits to provide paved access, designed to meet minimum Town standards as set forth in the Town Code or other Town ordinances, to the Properties.
7. The parties acknowledge that the Properties are contiguous to the Cliffrose Lodge. Despite the fact that the Properties are contiguous to the Cliffrose Lodge, Dokstar may not transfer density (units per acre) from the Properties to the Cliffrose Lodge.
8. The Town has found that the requested zone change will promote the goals and objectives of the General Plan, only if conditioned as outlined in this Agreement. Therefore, should Dokstar fail to comply with the terms of this Agreement, the Town reserves the right to revert the Properties to the Valley Residential zone.
 - a. If the Town determines Dokstar has not complied with the Agreement, the Town shall inform Dokstar in writing of the alleged non-compliance and give Dokstar fifteen (15) days to remedy the situation and comply with the terms of the Agreement.
 - b. If Dokstar fails to bring the Properties into compliance after the fifteen (15) day remedy period, the Town shall revert the Properties back to the Valley Residential zone, following the process for zone changes contained in the Town Code.
9. All of the provisions of this Agreement run with the land and shall inure to the benefit of and be binding upon the successors and assigns of the parties hereof.
10. This Agreement constitutes the entire agreement between the parties hereto pertaining to the subject matter hereof. All prior and contemporaneous agreements, representations and understandings of the parties, oral or written, are hereby superseded and merged herein.
11. Any modification of, or amendment to, any provision contained in this Agreement shall be effective only if the modification or amendment is in writing, signed by both parties, and recorded in the office of the Washington County Recorder. Any oral representation or modification concerning this Agreement shall be of no force or effect.
12. The parties expressly agree that the prevailing party in any dispute (whether or not such dispute is resolved formally or informally, or by trial or alternative dispute resolution) shall be entitled to an award of all of its costs and attorneys fees.

13. The parties agree that the Fifth Judicial District Court for Washington County, Utah shall have jurisdiction to resolve all legal disputes; and the proper venue for any and all dispute resolution shall be in Washington County, Utah.
14. All claims, disputes, and other matters in question arising out of, or relating to, this Agreement or the breach of this Agreement shall first be sent to mediation. The parties must put forth reasonable efforts to resolve any disputes in mediation. The parties furthermore agree to equally share the cost of the mediator. The demand for mediation shall be made within a reasonable time after the claim, dispute, or other matter in question has arisen. In no event shall the demand for mediation be made after institution of legal or equitable proceedings based on such claim, dispute, or other matter in question would be barred by the applicable statute of limitations.
15. Nothing in this Agreement shall be construed as creating any personal liability on the part of any officer or agent of any public body that may be a party to this Agreement, nor shall it be construed as giving any rights or benefits under this Agreement to anyone other than the parties to this Agreement.
16. Dokstar acknowledges and agrees that unless expressly stated otherwise herein, nothing in this Agreement shall be deemed to relieve Dokstar from the obligation to comply with all applicable laws and requirements of the Town. Failure of any party hereto to exercise any right hereunder shall not be deemed a waiver of such right and shall not affect the right of such party to exercise at some future date any such right or any other right it may have.
17. Nothing in this Agreement is intended to, or shall be deemed to be a waiver of the Town's governmental immunity as set forth in applicable statutory and case law.
18. Each party has participated in negotiating and drafting this Agreement and therefor no provision of this Agreement shall be construed for or against either Party based on which Party drafted any particular portion of this Agreement.
19. The parties to this Agreement each warrant that they have all of the necessary authority to execute this Agreement. The signature of the Mayor of the Town is affixed to this Agreement pursuant to an authorizing motion passed on August 11, 2010.
20. This Agreement does not create a joint venture relationship, partnership or agency relationship between the Town and Dokstar. The parties do not intend this Agreement to create any third-party beneficiary rights. The parties acknowledge that this Agreement refers to a private development and that the Town has no interest in, responsibility for, or duty to any third parties concerning any improvements to the Properties.

21. Dokstar expressly acknowledges that the law firm of Snow Jensen & Reece has heretofore represented, and will hereafter continue to represent, only the Town in all aspects of this transaction, including the negotiation and drafting of this Agreement and its incorporated Exhibits and in performing periodic legal reviews associated with the development of the Project as requested by the Town. Dokstar further expressly acknowledges that it has not relied upon any representation, counsel or legal advice from Snow Jensen & Reece or any of its attorneys in deciding whether to enter into this transaction or in evaluating this Agreement or its incorporated Exhibits, and that Dokstar has relied, and will continue to rely, solely upon the representations, counsel and legal advice of its own attorneys as deemed necessary by Dokstar.
22. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. The signature pages from one or more counterparts may be removed from such counterparts and such signature pages all attached to a single instrument so that the signature of all parties may be physically attached to a single document.
23. If any provision of this Agreement is declared invalid by a court of competent jurisdiction, the parties consider and intend that this Agreement shall be deemed amended to the extent necessary to make it consistent with such decision and the remaining provisions shall not to be affected and shall remain in full force and effect.

TOWN OF SPRINGDALE

DOKSTAR, LLC



Its:

Managing Member

Approved as to form:

Town Attorney

DEVELOPER ACKNOWLEDGMENT:

STATE OF UTAH)
)
) :SS
COUNTY OF WASHINGTON)

On the 11 day of August, 2010, personally appeared before me Colin Dockstader who being duly sworn, did say that he is the managing member of Dokstar, LLC, a Utah limited liability company, and that this Development Agreement was duly authorized by the company at a lawful meeting held by authority of its operating agreement and signed in behalf of said company.

Fay Cope
NOTARY PUBLIC

My Commission Expires:

Residing at:

10/24/13

Springdale, Utah

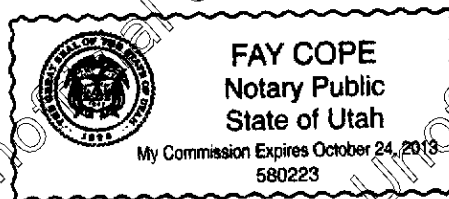


Exhibit A

Dokstar Development Acmt
8/11/10

Legal Descriptions

Account Number 0363732

Parcel Number S-141-G-1-A

Tax District 10 - Springdale Town

Situs 44 HUMMINGBIRD LN , SPRINGDALE

Acres 0.65

Legal S: 28 T: 41S R: 10W COM AT SW COR OF SE1/4 NW1/4 SEC 28, T41S R10W, RN TH N0°11'27" E ALG 1/16 SEC/L 666.78 FT; TH S89°48'33" E 608.63 FT; TH S3°06'31" E 120.00 FT TO TRUE POB; TH S31°54'51" W 133.60 FT; TH S63°15'27" E 188.09 FT; TH N4°18'33" W 78.70 FT; TH N10°25'27" E 16.36 FT; TH S79°34'33" E 42.76 FT; TH S10°25'27" W 10.82 FT; TH S4°18'33" E 110.60 FT; TH N63°15'27" W 366.86 FT; TH N1°28'07" E 138.42 FT; TH S68°31'29" E 194.80 FT TO TRUE POB. LESS: PRPTY OWNED WAYNE L & MARGOT B HAMILTON TRS, DEED REC ENTRY # 812545. TOG W/ EASEMENT

Account Number 0104185

Parcel Number S-103-C-1-A-1

Tax District 10 - Springdale Town

Situs , Adjacent riverside lot to 44 Hummingbird Lane

Acres 1.17

Legal S: 28 T: 41S R: 10W COM AT SW COR SE1/4 NW1/4 SEC 28, T41S R10W; RN TH N0°11'27" E ALG 1/16 SEC/L 666.78 FT; TH S89°48'33" E 608.63 FT TO TRUE POB; TH N21°08'40" E 50.00 FT; TH S70°21'38" E 28.13 FT; TH S70°18'48" E 147.24 FT; TH S10°25'27" W 222.28 FT; TH N79°34'33" W 42.76 FT; TH S10°25'27" W 16.36 FT; TH S4°18'33" E 78.70 FT; TH N63°15'27" W 188.09 FT; TH N31°54'51" E 133.60 FT; TH N3°06'31" W 120.00 FT TO TRUE POB. LESS: PRPTY OWNED BY WAYNE L & MARGOT B HAMILTON, TRS, DEED REC AS ENTRY # 812545.