



Washington City Council
Regular Meeting Agenda
August 13, 2025

PUBLIC NOTICE is hereby given that the Washington City Council will hold a Public Electronic Regular Meeting on **Wednesday, August 13, 2025 at 6:00 P.M.** hosted at Washington City Hall located at 111 North 100 East, Washington, Utah. The meeting will be broadcast via Youtube Live linked online at <https://washingtoncity.org/meetings>

Invocation

Pledge of Allegiance

1. APPROVAL OF AGENDA

2. ANNOUNCEMENTS

3. DECLARATION OF ABSTENTIONS & CONFLICTS

4. OATH OF OFFICE

- a. Introduction and Oath of Office for the Fire Department. Chief Matt Evans

5. CONSENT AGENDA

a. APPROVAL OF MINUTES

- i. Consideration to approve the minutes from the City Council Meeting of 7/23/25.

b. BOARD AUDIT REPORT

- i. Consideration to approve the Board Audit Report from July 2025.

6. AWARD OF BID

- a. Consideration to award the bid for the Washington City 2025 Canal Trails to Interstate Rock Products in the amount of \$619,577.00.

7. PUBLIC HEARING

*****Public comments will be accepted at: washingtoncity.org/meetings, until 5:00 pm the day before the meeting. After that time only in person comments will be taken.*****

- a. Public Hearing and consideration to approve an Ordinance repealing and replacing City Code Title 8 Chapter 7 Stormwater Management.

8. AGREEMENT

- a. Consideration to approve an Zone Designation agreement for Zone Change Z-25-06. Applicant: American Land Consulting

9. ORDINANCES

- a. Consideration to approve an Ordinance for Zone Change Z-25-06 from C-3 to R-1-12 and OS located at Rocky Point Circle and Arizona Drive. Applicant: American Land Consulting
- b. Consideration to approve an Ordinance for Zone Change Z-25-17 from R-1-10 to PUD-R located at 990 E George Washington Blvd. Applicant: Lance Miller
- c. Consideration to approve an Ordinance for General Plan Amendment G-25-04 from Low Density to PUD-C located at 2651 S Washington Fields Road. Applicant: Ascend Land Consulting
- d. Consideration to approve an Ordinance changing a portion of Landfill Road to Country Way.

10. REPORT OF OFFICERS FROM ASSIGNED COMMITTEE

11. CITY MANAGER REPORT

12. CLOSED SESSION

- a. Purchase, exchange, or lease of property;
- b. Pending or potential litigation;
- c. Character or professional competence of an individual.

13. ADJOURNMENT

POSTED this 7th day of August 2025

Tara Pentz, City Recorder

In accordance with the Americans with Disabilities Act, Washington City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by calling the City Recorder at 656-6308 at least 24 hours in advance of the meeting to be held.

BANKCARD SUMMARY BY LAST 4 DIGITS OF CC**JUNE 2025**

| DEPARTMENT | AMOUNT |
|-------------------------|------------------|
| Admin | 2,015.27 |
| Attorney | 86.24 |
| Cemetery Department | 72.62 |
| City Manager | 1,262.53 |
| Community Center | 6,133.31 |
| Community Development | 748.53 |
| Economic Development | 222.82 |
| Finance Department | 396.56 |
| Fire Department | 5,267.65 |
| Golf Department | 4,132.22 |
| IT Department | 902.31 |
| Legislative Affairs | 243.93 |
| Maintenance Dept | 5,635.38 |
| Mayor | 97.33 |
| Parks Department | 5,597.29 |
| Police Department | 4,719.85 |
| Power Department | 10,583.77 |
| Public Works | 1,304.39 |
| Recorder Department | 434.33 |
| Washington City Council | 632.23 |
| Grand Total | 50,488.56 |

| GL | DEPARTMENT | DESCRIPTION | AMOUNT | DATE |
|---|-----------------------|--|---------|---------|
| 10-4145-4210 - DUES AND MEMBERSHIPS | Admin | 3870 FSP*UTAH STATE BAR-BAR ANNUAL DUES FOR THAD SEEGMILLER | 490.00 | 6/2/25 |
| 10-4145-4210 - DUES AND MEMBERSHIPS | Admin | 3870 PY *INTERNATIONAL MUNICIP-IMLA DUES | 689.07 | 6/10/25 |
| 10-4111-4610 - MISCELLANEOUS | Admin | 3870 COSTCO WHSE #0672-ITEMS FOR CITY COUNCIL | 91.87 | 6/11/25 |
| 10-4131-4790 - OTHER PROJECTS | Admin | 3870 AMAZON MKTPL-RETIREMENT DECORATIONS FOR DREW'S PARTY | 14.75 | 6/13/25 |
| 10-4131-4790 - OTHER PROJECTS | Admin | 3870 137 RUMBI ISLAND GRILL-RETIREMENT PARTY FOOD FOR DREW'S PARTY | 729.58 | 6/27/25 |
| 10-4145-4610 - MISCELLANEOUS | Attorney | 3904 ROYAL THAI CUISINE-LUNCH WITH PROSECUTORS | 40.24 | 6/9/25 |
| 10-4145-4610 - MISCELLANEOUS | Attorney | 3904 TST*GEORGES CORNER REST-LUNCH WITH LANE WOOD | 46.00 | 6/26/25 |
| 10-4510-4270 - BUILDING & GROUNDS | Cemetery Department | 4994 THE HOME DEPOT #4412-2X3-8 SELECT STUD | 12.72 | 6/11/25 |
| 10-4590-4211 - SOFTWARE | Cemetery Department | 4994 ANC* NEWSPAPERS.COM-ANCESTRY.COM SUBSCRIPTION | 59.90 | 6/13/25 |
| 10-4131-4610 - MISCELLANEOUS | City Manager | 1354 TST*SAND HOLLOW GRILLE-LUNCHEON CONCERNING INSURANCE | 66.72 | 6/4/25 |
| 10-4131-4610 - MISCELLANEOUS | City Manager | 1354 SQ*DOUGHNUTSVILLE 001 LL-DOUNUTS FOR EMPLOYEE OF THE MONTH | 22.63 | 6/6/25 |
| 10-4131-4230 - TRAINING & TRAVEL | City Manager | 1354 AMERICAN AIR-JEREMY REDD TICKET TO POWER | 339.97 | 6/6/25 |
| 10-4111-4610 - MISCELLANEOUS | City Manager | 1354 AMERICAN AIR-CRAIG COATS TICKET TO POWER | 339.97 | 6/6/25 |
| 10-4131-4240 - OFFICE EQUIP, SUPPLIES & MAINT | City Manager | 1354 OPENAI *CHATGPT SUBSCR-RECURRING CHARGE | 21.35 | 6/13/25 |
| 10-4131-4610 - MISCELLANEOUS | City Manager | 1354 ROYAL THAI CUISINE-JEREMY AND TROY DISCUSS CITY BUSINESS | 31.44 | 6/17/25 |
| 10-4131-4610 - MISCELLANEOUS | City Manager | 1354 SQ*HAWAIIAN POKE BOWL-LUNCH CONCERNING POLICE | 36.62 | 6/18/25 |
| 10-4131-4211 - SOFTWARE | City Manager | 1354 GRAMMARIY CO-PROGRAM FOR COMPUTER | 153.72 | 6/18/25 |
| 10-4131-4610 - MISCELLANEOUS | City Manager | 1354 CLIFF SIDE RESTAURANT-ECONOMIC DEVELOPMENT | 250.11 | 6/25/25 |
| 10-4560-4610 - MISCELLANEOUS | Community Center | 3281 WAL-MART #1439-DEPT HEAD MEETING | 59.10 | 6/9/25 |
| 10-4560-4610 - MISCELLANEOUS | Community Center | 3281 CHICK-FIL-A #03006-DEPT HEAD MEETING | 100.99 | 6/10/25 |
| 10-4562-4230 - TRAINING & TRAVEL | Community Center | 4364 MAVERIK #302-LEADERSHIP ACADEMY GAS | 41.15 | 6/3/25 |
| 10-4562-4210 - DUES AND MEMBERSHIPS | Community Center | 4364 AMERICAN RED CROSS-SHALLOW WATER CERTIFICATION | 470.00 | 6/3/25 |
| 10-4562-4230 - TRAINING & TRAVEL | Community Center | 4364 TST*THE LUCKY SLICE 2-LEADERSHIP ACADEMY | 5.83 | 6/3/25 |
| 10-4562-4230 - TRAINING & TRAVEL | Community Center | 4364 CHEVRON 0381217-GAS FOR LEADERSHIP ACADEMY | 44.97 | 6/6/25 |
| 10-4562-4210 - DUES AND MEMBERSHIPS | Community Center | 4364 AMERICAN RED CROSS-SHALLOW WATER CERTIFICATION | 235.00 | 6/7/25 |
| 10-4562-4230 - TRAINING & TRAVEL | Community Center | 4364 UTAH RECREATION AND PARKS-AQUATIC LEADERSHIP WORKSHOP SERENA | 35.00 | 6/9/25 |
| 10-4562-4691 - FOOD COSTS | Community Center | 4364 COSTCO WHSE #0672-HOT DOG BUNS | 16.44 | 6/13/25 |
| 10-4562-4210 - DUES AND MEMBERSHIPS | Community Center | 4364 STARFISHAQU-F348E733T1-SWIM LESSON TRAINING PACK | 50.00 | 6/17/25 |
| 10-4562-4210 - DUES AND MEMBERSHIPS | Community Center | 4364 STARFISHAQU-F348E741T1-SWIM LESSON TRAINING PACK | 50.00 | 6/18/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-PLAY DOH, BUBBLES FOR PROGRAMS | 158.05 | 6/1/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-BUTTONS, BEADS FOR PROGRAMS | 295.76 | 6/1/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WAL-MART #1439-PAINT SET FOR PRESCHOOL | 7.83 | 6/2/25 |
| 10-4565-4610 - MISCELLANEOUS | Community Center | 6706 LOWES #01118-FLOWERS FOR PRESCHOOL | 111.24 | 6/3/25 |
| 10-4560-4150 - UNIFORMS | Community Center | 6706 MEGA PRO SCREENPRINT-SHIRTS FOR STAFF | 427.50 | 6/3/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-PIRATE BEAN BAG TOSS | 19.18 | 6/5/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-PIRATE TABLE COVER | 6.47 | 6/6/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-PIRATE TABLE COVER | 6.47 | 6/7/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON RETA* N68EX5UE0-TOTE BAGS FOR PROGRAMS | 49.98 | 6/7/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-PIRATE TABLE COVER | 6.47 | 6/7/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM-GLUE STICKS, SUGAR ETC PROGRAMS | 80.21 | 6/8/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM-MARSHMELLOWS, COOKIES, STICKS PROGRAMS | 151.97 | 6/8/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-ADDRESS LABELS FOR PRESCHOOL | 20.34 | 6/9/25 |
| 10-4560-4210 - DUES AND MEMBERSHIPS | Community Center | 6706 NRPA OPERATING-CPR CERTIFICATION TESS | 70.00 | 6/9/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM-PAPER TOWELS, PLATES ETC PROGRAMS | 74.93 | 6/9/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-PRINTER PAPER PRESCHOOL | 83.47 | 6/10/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM 8009256278-SKEWERS, EGGS, FRUIT FOR PROGRAMS | 180.97 | 6/10/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 ETSY, INC.-CLIP ART FOR PRESCHOOL | 12.61 | 6/11/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM-REFUND OF AIRHEADS PROGRAMS | (13.85) | 6/13/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WAL-MART #1439-SUGAR COOKIES, SUGAR PROGRAMS | 80.74 | 6/13/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-LEGO TECHNIC BATTERY FOR PROGRAMS | 519.80 | 6/13/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 MICHAELS STORES 1601-MERINGER FOR PROGRAMS | 26.97 | 6/17/25 |
| 10-4560-4230 - TRAINING & TRAVEL | Community Center | 6706 EFOODHANDLERS-FOOD HANDLERS MICHELLE | 20.00 | 6/19/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WM SUPERCENTER #1439-BLACK COLOR PAPER PRESCHOOL | 42.60 | 6/19/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 TEACHERSPAYTEACHERS.COM-WORKSHEET FOR PRESCHOOL | 4.25 | 6/23/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WAL-MART #1439-VINAGER FOR PRESCHOOL | 11.82 | 6/23/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM 8009256278-FRUIT ROLL UPS, GUSHERS ETC PROGRAMS | 39.15 | 6/23/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 MICHAELS #9490-FROSTING FOR PROGRAMS | 29.95 | 6/24/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM-CAKE MIX EGGS, STICKS PROGRAMS | 58.25 | 6/24/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-MASKING TAPE, CABLE TIES ETC PROGRAMS | 80.06 | 6/24/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM 8009256278-VANILLA FROSTING PROGRAMS | 38.63 | 6/25/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-FONDANT FOR PROGRAMS | 113.45 | 6/25/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 WALMART.COM 8009256278-POP POMS AND RIBBONS-PROGRAMS | 54.65 | 6/26/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 AMAZON MKTPL-GLUE MOD PODGE, PAINT PROGRAMS | 162.21 | 6/26/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 6706 HARMONS - SANTA CLARA #6-CAKES FOR PROGRAMS | 70.00 | 6/27/25 |
| 10-4560-4314 - MARKETING EXPENSE | Community Center | 8966 FACEBK *AH4FAS42V2-MONTHLY ADVERTISING | 81.49 | 5/31/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 8966 ETSY, INC.-DIGITAL PRESCHOOL GAMES | 2.60 | 6/2/25 |
| 10-4558-4211 - SOFTWARE | Community Center | 8966 JOINHOMEBASE.COM-GOLF COURSE HOMEBASE | 614.88 | 6/2/25 |
| 10-4560-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-WHITE NOISE MACHINES, BUBBLES DAYCARE | 98.76 | 6/6/25 |
| 10-4560-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-MICRPHONE WINDSCREENS | 9.95 | 6/7/25 |
| 10-4560-4260 - SMALL TOOLS & MINOR EQUIPMENT | Community Center | 8966 AMAZON.COM*NH2211CDO-DUMBBELLS FOR FITNESS | 119.97 | 6/7/25 |
| 10-4560-4210 - DUES AND MEMBERSHIPS | Community Center | 8966 NRPA OPERATING-CPR CERTIFICATION TIFFANY | 80.00 | 6/9/25 |
| 10-4562-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-GLUCOSE GEL FOR FIRST AID ROOM | 26.44 | 6/10/25 |
| 10-4562-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-BANDAIDS AND ADHESIVE BANDAGES | 82.98 | 6/10/25 |
| 10-4565-4250 - SUPPLIES & MATERIALS | Community Center | 8966 ETSY.COM*EVALOSTUDIO-CLIP ART FOR PRESCHOOL | 5.98 | 6/11/25 |
| 10-4562-4691 - FOOD COSTS | Community Center | 8966 WWW COSTCO COM-CANDY | 159.59 | 6/11/25 |
| 10-4562-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-GLOVES FOR POOL | 105.98 | 6/12/25 |
| 10-4560-4260 - SMALL TOOLS & MINOR EQUIPMENT | Community Center | 8966 AMAZON.COM*NA7YY3VHG1-DUMBBELLS FOR FITNESS | 39.99 | 6/16/25 |
| 10-4562-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-GAFFERS TAPE FOR POOL | 42.99 | 6/19/25 |
| 10-4562-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-WRISTBAND FOR PATRONS | 103.98 | 6/20/25 |
| 10-4560-4314 - MARKETING EXPENSE | Community Center | 8966 MAILCHIMP-MONTHLY EMAIL BLASTS | 234.60 | 6/21/25 |
| 10-4562-4250 - SUPPLIES & MATERIALS | Community Center | 8966 AMAZON MKTPL-AIRHEADS FOR SWIM LESSONS | 67.59 | 6/24/25 |
| 10-4566-4250 - SUPPLIES & MATERIALS | Community Center | 8966 THE HOME DEPOT #4412-PLASTER FOR PROGRAMS | 32.94 | 6/24/25 |
| 10-4567-4260 - SMALL TOOLS & MINOR EQUIPMENT | Community Center | 9263 AMAZON MKTPL-VBALL FAVORS REC | 11.99 | 6/27/25 |
| 10-4610-4230 - TRAINING & TRAVEL | Community Development | 3845 UABO CUSTOMER SERVICE-VIRTUAL TRAINING DW | 100.00 | 6/2/25 |
| 10-4610-4230 - TRAINING & TRAVEL | Community Development | 3845 INTL CODE COUNCIL INC-ONLINE EXAM CJ | 240.00 | 6/11/25 |
| 10-4610-4610 - MISCELLANEOUS | Community Development | 3845 BLACK BEAR DINER 2-RETIREMENT | 260.27 | 6/17/25 |

| GL | DEPARTMENT | DESCRIPTION | AMOUNT | DATE |
|---|-----------------------|---|----------|---------|
| 10-4610-4230 - TRAINING & TRAVEL | Community Development | 3845 UTAH CHAPTE* UTAH CHAPT-WEBINAR | 148.26 | 6/25/25 |
| 10-4652-4610 - MISCELLANEOUS | Economic Development | 7935 PYXL.AI-RECURRING SOFTWARE SUBSCRIPTION. THIS WAS CANCELLED AND CHARGE IS BEING DISPUTED. NO RECEIPT | 19.99 | 6/1/25 |
| 10-4652-4610 - MISCELLANEOUS | Economic Development | 7935 TST*SEVEN BROTHERS - ST.-BUSINESS MEETING & MEAL - CPIT LUNCH MEETING | 53.33 | 6/3/25 |
| 10-4652-4610 - MISCELLANEOUS | Economic Development | 7935 TST*BOOK CLUB-BUSINESS MEETING & MEAL - EXECUTIVE LUNCH | 129.15 | 6/13/25 |
| 10-4652-4610 - MISCELLANEOUS | Economic Development | 7935 TST*RIGGATTIS WOOD FIRE-BUSINESS MEETING & MEAL - CPIT LUNCH MEETING | 20.35 | 6/17/25 |
| 10-4141-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Finance Department | 5221 AMAZON MKTPL-LAPTOP BRIEFCASE | 18.99 | 6/5/25 |
| 10-4141-4210 - DUES AND MEMBERSHIPS | Finance Department | 5221 PAYROLLORG-PAYROLL MEMBERSHIP | 305.00 | 6/9/25 |
| 10-4141-4610 - MISCELLANEOUS | Finance Department | 5221 PIZZA FACTORY PINE VIEW-FINANCE MEETING | 72.57 | 6/18/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 2712 EINSTEIN BAGEL BROS 40-BREAKFAST FOR STAFF FOR FULLTIME TESTING | 40.83 | 6/11/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 2712 PAR*MO BETTAHS - 17 BLUFF-ACLS TRAINING | 62.75 | 6/21/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 2712 DINO DASH CAR WASH WASH-MONTHLY CAR WASHES FOR ADMIN TRUCKS | 83.00 | 6/28/25 |
| 10-4220-4260 - SMALL TOOLS & MINOR EQUIPMENT | Fire Department | 5089 ROGUE-WEIGHTS FOR STATIONS | 1,408.72 | 6/2/25 |
| 10-4220-4260 - SMALL TOOLS & MINOR EQUIPMENT | Fire Department | 5089 ZOLL MEDICAL CORP-CARDIAC MONITOR LEADS | 159.90 | 6/3/25 |
| 10-4220-4260 - SMALL TOOLS & MINOR EQUIPMENT | Fire Department | 5089 ZOLL MEDICAL CORP-CARDIAC MONITOR CABLES | 2,193.04 | 6/12/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 5089 AMAZON MARK* NO7JVBP2-ELECTROLYTES PACKETS | 203.88 | 6/18/25 |
| 10-4220-4250 - SUPPLIES & MATERIALS | Fire Department | 7346 WM SUPERCENTER #1439-EMS SUPPLIES | 44.97 | 6/2/25 |
| 10-4220-4250 - SUPPLIES & MATERIALS | Fire Department | 7346 AMAZON MKTPL-CHAINSAW PART-CLUTCH DRUM | 15.99 | 6/4/25 |
| 10-4220-4250 - SUPPLIES & MATERIALS | Fire Department | 7346 THE HOME DEPOT #4412-AIRCOMPRESSOR FITTING | 34.96 | 6/4/25 |
| 10-4220-4250 - SUPPLIES & MATERIALS | Fire Department | 7346 WAL-MART #1439-RACHETS STRAPS & TIRE SHINE | 52.42 | 6/5/25 |
| 10-4220-4250 - SUPPLIES & MATERIALS | Fire Department | 7346 THE HOME DEPOT #4412-ANT SPRAY & C-BATTERIES | 25.83 | 6/7/25 |
| 10-4220-4250 - SUPPLIES & MATERIALS | Fire Department | 7346 OREILLY 3798-Drip TRAYS | 59.96 | 6/9/25 |
| 10-4220-4230 - TRAINING & TRAVEL | Fire Department | 7346 GET TRAINED UTAH-ACLS TRAINING-T.YUZUIK | 275.00 | 6/10/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 7346 JIMMY JOHNS 102 MOTO-FT TESTING FOR STAFF-LUNCH | 4.73 | 6/11/25 |
| 10-4220-4230 - TRAINING & TRAVEL | Fire Department | 7346 TST* PORK BELLYS EATERY A-PEER SUPPORT TRAINING | 60.00 | 6/11/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 7346 JIMMY JOHNS 102 ECOMME-FT TESTING FOR STAFF-LUNCH | 111.77 | 6/11/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 7346 TST* KNEADERS BAKERY AND-MONTHLY CAPTAINS MEETING | 128.80 | 6/13/25 |
| 10-4220-4250 - SUPPLIES & MATERIALS | Fire Department | 7346 OREILLY 3798-MOTOR OIL-GAL | 23.99 | 6/14/25 |
| 10-4220-4310 - PROFESSIONAL & TECHNICAL | Fire Department | 7346 BUGZAPPER PEST CONTROL-BI-MONTHLY PEST CONTROL FOR ST.61 | 57.00 | 6/18/25 |
| 10-4220-4310 - PROFESSIONAL & TECHNICAL | Fire Department | 7346 BUGZAPPER PEST CONTROL-BI-MONTHLY PEST CONTROL FOR ST.62 | 57.00 | 6/18/25 |
| 10-4220-4610 - MISCELLANEOUS | Fire Department | 7346 ANNE MARIE R LOVINGLY-SYMPATHY PLANT-J.REYES | 130.18 | 6/20/25 |
| 10-4220-4251 - FUEL | Fire Department | 7346 MAVERIK #657-FUEL-BRUSH TRK-POSSIBLE PINE VALLEY FIRE | 32.93 | 6/20/25 |
| 10-4559-4280 - UTILITIES | Golf Department | 1859 PY INFOWEST-CLUB HOUSE SECURITY MONITORING | 39.99 | 6/1/25 |
| 10-4559-4692 - MERCHANDISE PURCHASE | Golf Department | 1859 UNTA GOLF #107-MERCHANDISE | 298.04 | 6/6/25 |
| 10-4559-4314 - MARKETING EXPENSE | Golf Department | 1859 IN *DIXIE DIRECTII, INCO-ADVERTISING | 299.00 | 6/18/25 |
| 10-4559-4692 - MERCHANDISE PURCHASE | Golf Department | 1859 UNTA GOLF #107-MERCHANDISE | 66.99 | 6/19/25 |
| 10-4559-4692 - MERCHANDISE PURCHASE | Golf Department | 1859 UNTA GOLF #107-MERCHANDISE | 985.00 | 6/23/25 |
| 10-4559-4250 - SUPPLIES & MATERIALS | Golf Department | 1859 STAR SIGN-SUPPLIES - CART DIRECTIONAL SIGN | 269.29 | 6/26/25 |
| 10-4559-4692 - MERCHANDISE PURCHASE | Golf Department | 1859 UNTA GOLF #107-MERCHANDISE | 181.80 | 6/27/25 |
| 10-4558-4250 - SUPPLIES & MATERIALS | Golf Department | 7237 TMOBILE*PREPAID WEB-SIM CARD PLAN | 10.00 | 6/2/25 |
| 10-4558-4250 - SUPPLIES & MATERIALS | Golf Department | 7237 TMOBILE*PREPAID WEB-SIM CARD PLAN | 10.00 | 6/2/25 |
| 10-4558-4260 - SMALL TOOLS & MINOR EQUIPMENT | Golf Department | 7237 AMAZON MKTPL-REPAIR TOOL | 169.99 | 6/2/25 |
| 10-4558-4250 - SUPPLIES & MATERIALS | Golf Department | 7237 AMAZON MKTPL-AIR FILTERS | 23.98 | 6/12/25 |
| 10-4558-4260 - SMALL TOOLS & MINOR EQUIPMENT | Golf Department | 7237 HARBOR FREIGHT TOOLS 528-BALL JOINT KIT | 269.84 | 6/16/25 |
| 10-4558-4250 - SUPPLIES & MATERIALS | Golf Department | 7237 AMAZON MKTPL-ROCKER SWITCH | 48.94 | 6/20/25 |
| 10-4558-4250 - SUPPLIES & MATERIALS | Golf Department | 7237 IN *MCARTHUR WELDING-LOGO TEE MARKERS | 810.00 | 6/20/25 |
| 10-4558-4250 - SUPPLIES & MATERIALS | Golf Department | 7237 ROCKY MOUNTAIN ATV - WASH-FLY WHEEL | 269.40 | 6/24/25 |
| 10-4558-4250 - SUPPLIES & MATERIALS | Golf Department | 7237 ROCKY MOUNTAIN ATV - WASH-STATER | 379.96 | 6/24/25 |
| 10-4139-4211 - SOFTWARE | IT Department | 9790 MISCELLANEOUS FEE - FOREIGN CURRENCY FEE-CANADIAN FRIENDSHIP FEE | 1.92 | 6/1/25 |
| 10-4139-4240 - OFFICE EQUIP, SUPPLIES & MAINT | IT Department | 9790 SINCH MAILGUN-EMAIL API USAGE | 3.29 | 6/1/25 |
| 10-4139-4211 - SOFTWARE | IT Department | 9790 TAILSCALE-VPN X6 USERS | 64.05 | 6/1/25 |
| 10-4139-4211 - SOFTWARE | IT Department | 9790 LINODE .AKAMAI-CLOUD SERVERS MONTHLY | 124.92 | 6/1/25 |
| 10-4139-4240 - OFFICE EQUIP, SUPPLIES & MAINT | IT Department | 9790 FAXAGE-HR EFAX | 7.95 | 6/3/25 |
| 10-4139-4211 - SOFTWARE | IT Department | 9790 TWILIO SENDGRID-EMAIL API MONTHLY | 19.95 | 6/3/25 |
| 10-4150-4310 - PROFESSIONAL & TECHNICAL | IT Department | 9790 MAILCHIMP-EMAIL NEWSLETTER MONTHLY | 234.60 | 6/7/25 |
| 10-4139-4211 - SOFTWARE | IT Department | 9790 PAYPAL-PARALLELS RENEWAL | 127.73 | 6/10/25 |
| 10-4139-4250 - SUPPLIES & MATERIALS | IT Department | 9790 AMAZON MKTPL-HDMI CABLE FOR AX CONFERENCE ROOM | 14.44 | 6/12/25 |
| 10-4139-4211 - SOFTWARE | IT Department | 9790 TWILIO CH6W5X2W8DLSV69-COMMUNICATION API REFILL | 20.27 | 6/12/25 |
| 10-4140-4260 - SMALL TOOLS & MINOR EQUIPMENT | IT Department | 9790 AMAZON MKTPL-FLEET COMPUTER PERIPHERALS | 230.50 | 6/12/25 |
| 10-4139-4240 - OFFICE EQUIP, SUPPLIES & MAINT | IT Department | 9790 SQSP* INV186474685-2X DOMAIN RENEWAL | 42.70 | 6/17/25 |
| 10-4139-4240 - OFFICE EQUIP, SUPPLIES & MAINT | IT Department | 9790 APPLE.COM/BILL-ICLOUD UPGRADE - IS DIRECTOR | 9.99 | 6/28/25 |
| 10-4150-4230 - TRAINING & TRAVEL | Legislative Affairs | 6730 SQ*J. DAWGS ST. GEORGE-LUNCH FOR HANA AND TARA DURING CANDIDATE FILING PERIOD | 25.86 | 6/3/25 |
| 10-4150-4230 - TRAINING & TRAVEL | Legislative Affairs | 6730 FAMILY DOLLAR-BATTERIES FOR SOUND SYSTEM | 10.30 | 6/5/25 |
| 10-4150-4230 - TRAINING & TRAVEL | Legislative Affairs | 6730 GREEN SPRING GOLF COURSE-ROUNDS OF GOLF FOR COUNTY COMMISSION EVENT | 140.00 | 6/9/25 |
| 10-4150-4230 - TRAINING & TRAVEL | Legislative Affairs | 6730 SQ*BBERRIES-N-CREAM LLC-MEETING WITH JEREMY, RUSTY, JORDAN | 30.78 | 6/13/25 |
| 10-4150-4230 - TRAINING & TRAVEL | Legislative Affairs | 6730 SQ*NEIGHBORHOOD CONNECTI-DONATION FOR NEIGHBORHOOD CONNECTION GOLF TOURNAMENT | 20.00 | 6/16/25 |
| 10-4150-4230 - TRAINING & TRAVEL | Legislative Affairs | 6730 GANNETT MEDIA CO-RECURRING | 16.99 | 6/27/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-BATTERYS, LIGHT BULBS | 57.72 | 6/2/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-FILTER, WATER LINE | 87.65 | 6/2/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 JUSTBLINDS.COM #2152-WOOD BLINDS | 194.40 | 6/3/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 WAL-MART #1439-AIR CONDITIONER WINDOW UNIT | 185.00 | 6/9/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-PAINT | 95.96 | 6/9/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 LOWES #01118-MISC HARDWARE | 128.51 | 6/10/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-PAINT ROLLERS | 21.88 | 6/10/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-SEALENT, SILCONE | 35.60 | 6/11/25 |
| 10-4210-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-TAPCON HEX HEAD | 21.00 | 6/16/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-SILICONE II | 34.41 | 6/16/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT 4412-FRIDGE FILTERS | 89.96 | 6/16/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-CASTERS PODIUM | 33.72 | 6/17/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 7115 THE HOME DEPOT #4412-PIPE FITTINGS | 11.17 | 6/20/25 |
| 10-4160-4211 - SOFTWARE | Maintenance Dept | 7115 SPICEWORKS-MAINTENANCE TICKET SUBSCRIPTION | 480.00 | 6/24/25 |
| 10-4160-4260 - SMALL TOOLS & MINOR EQUIPMENT | Maintenance Dept | 7115 THE HOME DEPOT #4412-ROPE | 12.20 | 6/24/25 |
| 10-4160-4250 - SUPPLIES & MATERIALS | Maintenance Dept | 8765 AMAZON MARK* NH9Z89FA2-POOL SKIMMER SOCKS | 8.47 | 6/3/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 WM SUPERCENTER #1439-DAWN SOAP | 50.42 | 6/3/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 THE HOME DEPOT #4412-TILE SCRAPPER COMBO KIT | 21.46 | 6/3/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 AMAZON MKTPL-BELL & GOSETT PUMP CIRCLE FOUNTAIN | 780.76 | 6/4/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 SUPPLYHOUSE.COM-TEMP CONTROL CARTRIDGE | 1,026.02 | 6/4/25 |

| GL | DEPARTMENT | DESCRIPTION | AMOUNT | DATE |
|---|-------------------|---|----------|---------|
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 AMAZON RETA* N63RD3840-SHOWER HEADS | 117.00 | 6/5/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 AMAZON MKTPL-AMERICAN STANDARD URINAL | 197.09 | 6/5/25 |
| 10-4160-4250 - SUPPLIES & MATERIALS | Maintenance Dept | 8765 AMAZON MKTPL-3M MARINE ADHESIVE | 114.78 | 6/6/25 |
| 10-4160-4250 - SUPPLIES & MATERIALS | Maintenance Dept | 8765 AMAZON MARK* NH3FM85Q2-STENNER PUMP TUBES | 115.80 | 6/6/25 |
| 10-4160-4211 - SOFTWARE | Maintenance Dept | 8765 GOOD SPORTSMAN MARKETING -STEALTHCOMMAND SUBSCRIPTION | 57.00 | 6/9/25 |
| 10-4160-4250 - SUPPLIES & MATERIALS | Maintenance Dept | 8765 SPORTS ART AMERICA INC-CARDIO PARTS | 188.49 | 6/9/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 AMAZON MARK* NH2P28581-LINGXIAO POOL PUMP | 1,149.00 | 6/10/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 COSTCO WHSE #0672-WATER SOFTNER SALT | 70.66 | 6/12/25 |
| 10-4160-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 AMAZON MKTPL-BEMIS TOILET SEATS | 51.16 | 6/18/25 |
| 10-4210-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 AMAZON MKTPL-SIEMENS FLOW RATE TERMINAL VALVE | 73.53 | 6/18/25 |
| 10-4210-4270 - BUILDING & GROUNDS | Maintenance Dept | 8765 AMAZON MKTPL-SIEMENS ELECTRONIC ACTUATOR | 124.56 | 6/18/25 |
| 10-4150-4790 - OTHER PROJECTS | Mayor | 9321 RED ROBIN NO 262-INTERFAITH COUNCIL RETIREMENT - KS & RALPH CLINGAN | 51.92 | 6/4/25 |
| 10-4150-4790 - OTHER PROJECTS | Mayor | 9321 SAKURA JAPANESE STEAKHOU-UTAH TECH MENTOR PROGRAM - KS & DALLIN GRANT | 45.41 | 6/4/25 |
| 10-4510-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Parks Department | 3513 AMAZON MKTPL-LETTER STICKERS | 19.47 | 6/3/25 |
| 10-4510-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Parks Department | 3513 AMAZON MKTPL-KEY FOBS FOR OFFICE DOORS | 24.00 | 6/3/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON MKTPL-SAFETY END CAPS FOR BLEACHERS | 41.44 | 6/3/25 |
| 10-4510-4260 - SMALL TOOLS & MINOR EQUIPMENT | Parks Department | 3513 HARBOR FREIGHT TOOLS 528-COMPACT TROLLEY JACK | 49.99 | 6/3/25 |
| 10-4510-4260 - SMALL TOOLS & MINOR EQUIPMENT | Parks Department | 3513 AMAZON MKTPL-FUEL INJECTOR TOOL KIT, BUCKET FABRIC PACK | 91.75 | 6/3/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON.COM*N63LG0AL0-WORK GLOVES, RESPIRATOR | 355.40 | 6/3/25 |
| 10-4510-4150 - UNIFORMS | Parks Department | 3513 WAL-MART #1439-WORK BOOTS FOR ANEITA MILLETT, DAYTON CHRISTENSEN | 113.95 | 6/4/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON.COM*N656F26V1-56 GAL. TRASH BAGS | 550.50 | 6/4/25 |
| 10-4510-4230 - TRAINING & TRAVEL | Parks Department | 3513 DEPT OF AGRICULTURE-PESTICIDE APPLICATION SPENCER WOODRUFF | 20.00 | 6/5/25 |
| 10-4510-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Parks Department | 3513 AMAZON.COM*N64CK16C0-BATTERY SURGE PROTECTOR | 179.99 | 6/5/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON MKTPL-DIGITAL SAFETY SCOREBOARD | 185.00 | 6/5/25 |
| 10-4510-4260 - SMALL TOOLS & MINOR EQUIPMENT | Parks Department | 3513 HARBOR FREIGHT TOOLS 528-PRY BAR, MAGENIC PARTS HOLDER, PLIERS, RATCHET, MISC TOOLS | 182.44 | 6/6/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON MKTPL-SECURITY CAMERA, MEMORY CARDS | 535.98 | 6/7/25 |
| 10-4510-4230 - TRAINING & TRAVEL | Parks Department | 3513 SQ*THE CREAMERY KITCHEN-LUNCH FOR TRAVEL FOR BEST OF STATE CONFERENCE | 30.34 | 6/10/25 |
| 10-4510-4230 - TRAINING & TRAVEL | Parks Department | 3513 MAVERIK #694-GAS FOR TRAVEL TO BEST OF STATE CONFERENCE | 44.92 | 6/11/25 |
| 10-4510-4230 - TRAINING & TRAVEL | Parks Department | 3513 HYATT REG SALT LAKE CITY-PARKING FOR BEST OF STATE CONFERENCE | 25.00 | 6/11/25 |
| 10-4510-4230 - TRAINING & TRAVEL | Parks Department | 3513 HYATT REG SALT LAKE CITY-PARKING FOR BEST OF STATE CONFERENCE | 25.00 | 6/11/25 |
| 10-4510-4230 - TRAINING & TRAVEL | Parks Department | 3513 TST*ROTACO SLC-LUNCH FOR TRAVEL FOR BEST OF STATE CONFERENCE | 26.10 | 6/11/25 |
| 10-4510-4230 - TRAINING & TRAVEL | Parks Department | 3513 DEPT OF AGRICULTURE-PESTICIDE APPLICATION RYKER TUCKNESS | 20.00 | 6/12/25 |
| 10-4510-4260 - SMALL TOOLS & MINOR EQUIPMENT | Parks Department | 3513 C-A-L RANCH STORES #19-HAMMER, DRIVE SOCKETS | 67.35 | 6/13/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON MKTPL-TAIL LIGHTS | 73.99 | 6/15/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON MKTPL-WORK GLOVES | 192.99 | 6/16/25 |
| 21-4500-4795 - CAPITAL PROJECTS | Parks Department | 3513 IWP ST GEORGE-RECLAIMED OAK FOR BISHOPS STOREHOUSE | 1,567.20 | 6/17/25 |
| 21-4500-4795 - CAPITAL PROJECTS | Parks Department | 3513 IWP ST GEORGE-PINE RECLAIMED WOOD FOR BISHOPS STOREHOUSE | 546.56 | 6/18/25 |
| 10-4510-4260 - SMALL TOOLS & MINOR EQUIPMENT | Parks Department | 3513 AMAZON MKTPL-JUMPER CABLES | 28.49 | 6/23/25 |
| 10-4510-4270 - BUILDING & GROUNDS | Parks Department | 3513 THE HOME DEPOT #4412-2X3 GALV STYLE D DRIP BRN | 14.60 | 6/23/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 AMAZON MKTPL-WATER PUMP ATTACHMENTS FOR DRILLS, CARGO NET | 149.48 | 6/25/25 |
| 10-4510-4211 - SOFTWARE | Parks Department | 3513 GOOD SPORTSMAN MARKETING -SECURITY CAMERA SUBSCRIPTION | 35.00 | 6/26/25 |
| 10-4510-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Parks Department | 3513 PACK IT SHIP IT-POSTAGE AND PACKING FEES TO SEND MUSEUM BELL ELECTRONICS FOR SERVICING | 73.17 | 6/26/25 |
| 10-4510-4260 - SMALL TOOLS & MINOR EQUIPMENT | Parks Department | 3513 AMAZON MKTPL-CHAINSAW CHAPS | 109.26 | 6/26/25 |
| 10-4510-4250 - SUPPLIES & MATERIALS | Parks Department | 3513 THE HOME DEPOT #4412-20' HVPEF FAN, 5 GL GAMMA | 105.96 | 6/26/25 |
| 10-4510-4260 - SMALL TOOLS & MINOR EQUIPMENT | Parks Department | 3513 HARBOR FREIGHT TOOLS 528-DRIVER SET, PRESSURE TESTER, BATTERIES | 111.97 | 6/27/25 |
| 10-4210-4310 - PROFESSIONAL & TECHNICAL | Police Department | 3093 SQ*FREEDOM TOWING-TOWING FEES FOR TOWING ERROR | 297.50 | 6/25/25 |
| 10-4150-4610 - MISCELLANEOUS | Police Department | 4729 HARMONS -ST. GEORGE #61-DEPT HEAD BREAKFAST | 5.14 | 6/3/25 |
| 10-4150-4610 - MISCELLANEOUS | Police Department | 4729 HARMONS -ST. GEORGE #61-DEPT HEAD BREAKFAST | 11.17 | 6/3/25 |
| 10-4150-4610 - MISCELLANEOUS | Police Department | 4729 DD/BR #365723-DEPT HEAD BREAKFAST | 39.76 | 6/3/25 |
| 10-4210-4610 - MISCELLANEOUS | Police Department | 4729 THE TOLL ROADS OF OC-TOLL FEE FOR TRANSPORT IN CALIFORNIA | 51.55 | 6/9/25 |
| 10-4210-4610 - MISCELLANEOUS | Police Department | 4729 WMM SUPERCENTER #1439-TREATS AND OFFICE SUPPLIES | 122.15 | 6/18/25 |
| 10-4210-4270 - BUILDING & GROUNDS | Police Department | 4729 WP*LMS SERVICES ENTERPRI-TINT FOR FRONT WINDOWS AT PD | 1,387.00 | 6/18/25 |
| 10-4150-4610 - MISCELLANEOUS | Police Department | 4729 HARMONS -ST. GEORGE #61-DEPT HEAD BREAKFAST | 31.91 | 6/24/25 |
| 10-4150-4610 - MISCELLANEOUS | Police Department | 4729 EINSTEIN BAGEL BROS 40-DEPT HEAD BREAKFAST | 43.30 | 6/24/25 |
| 10-4210-4610 - MISCELLANEOUS | Police Department | 4729 SMITHS #4278-MONTEZ' FAREWELL DINNER | 32.96 | 6/26/25 |
| 10-4210-4270 - BUILDING & GROUNDS | Police Department | 4729 BUG BLASTERS PEST-PEST CONTROL FOR AC | 50.00 | 6/26/25 |
| 10-4210-4310 - PROFESSIONAL & TECHNICAL | Police Department | 4729 IN *THE LOCKSMEN-LOCKSMITH FOR INCIDENT | 60.00 | 6/26/25 |
| 10-4210-4270 - BUILDING & GROUNDS | Police Department | 4729 BUG BLASTERS PEST-PEST CONTROL FOR PD | 75.00 | 6/26/25 |
| 10-4210-4610 - MISCELLANEOUS | Police Department | 4729 HUNGRY HOWIES 2103-MONTEZ' FAREWELL DINNER | 189.50 | 6/26/25 |
| 10-4210-4260 - SMALL TOOLS & MINOR EQUIPMENT | Police Department | 5451 THE HOME DEPOT #4412-ANIMAL SHELTER HOSES, TRASH BAGS, AND SPARY NOZZELS. | 66.88 | 6/4/25 |
| 10-4210-4260 - SMALL TOOLS & MINOR EQUIPMENT | Police Department | 5451 LAPOLICE GEAR INC-BOOTS FOR NEW HIRES AT ACO. | 4.99 | 6/19/25 |
| 10-4210-4260 - SMALL TOOLS & MINOR EQUIPMENT | Police Department | 5451 LAPOLICE GEAR INC-BOOTS FOR NEW HIRES AT ACO. | 277.44 | 6/19/25 |
| 10-4210-4150 - UNIFORMS | Police Department | 5451 5.11, INC.-UNIFORM PANTS FOR NEW ACO HIRES. | 341.60 | 6/20/25 |
| 10-4210-4230 - TRAINING & TRAVEL | Police Department | 5451 PIOCHE VILLAGE PARK CITY-EXTRA CHARGES FOR B MOORE'S TRAINING STAY | 1.60 | 6/27/25 |
| 10-4210-4250 - SUPPLIES & MATERIALS | Police Department | 9249 AMAZON RETA* NN46H0W70-XLARGE NITRILE GLOVES | 209.93 | 6/1/25 |
| 10-4210-4310 - PROFESSIONAL & TECHNICAL | Police Department | 9249 BEST FRIENDS ANIMAL SOCIE-SHELTER ANIMAL NEEDS | 232.13 | 6/3/25 |
| 10-4210-4260 - SMALL TOOLS & MINOR EQUIPMENT | Police Department | 9249 PAYPAL-REPAIR FOR GETAC | 989.95 | 6/3/25 |
| 10-4210-4250 - SUPPLIES & MATERIALS | Police Department | 9249 WAL-MART #1439-TRUCK ACCESSORIES | 50.68 | 6/23/25 |
| 10-4210-4310 - PROFESSIONAL & TECHNICAL | Police Department | 9249 BEST FRIENDS ANIMAL SOCIE-SHELTER ANIMAL NEEDS | 114.75 | 6/25/25 |
| 10-4210-4610 - MISCELLANEOUS | Police Department | 9249 LINS EAST ST GEORG-COOKIES FOR MONTEZ DINNER | 32.96 | 6/26/25 |
| 53-5300-4260 - SMALL TOOLS & MINOR EQUIPMENT | Power Department | 3345 IN *INTERMOUNTAIN SALES I-LOCATOR REPAIRED | 3,180.00 | 6/6/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 3345 LOVES #0835 OUTSIDE-RICK UAMPS MEETING | 32.60 | 6/16/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 3345 LOVES #0835 OUTSIDE-RICK UAMPS MEETING | 54.25 | 6/18/25 |
| 53-5300-4250 - SUPPLIES & MATERIALS | Power Department | 5854 HARBOR FREIGHT TOOLS 528-TOOLS | 35.97 | 6/2/25 |
| 53-5300-4250 - SUPPLIES & MATERIALS | Power Department | 5854 HARBOR FREIGHT TOOLS 528-TOOLS REFUNDED TAX WAS ADDED | (38.40) | 6/2/25 |
| 53-5300-4250 - SUPPLIES & MATERIALS | Power Department | 5854 HARBOR FREIGHT TOOLS 528-TOOLS | 38.40 | 6/2/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 5854 MAVERIK #254-KADEN IPSA TESTING | 37.60 | 6/3/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 5854 ERNIES TRUCK PLAZA-KADEN IPSA TESTING | 50.45 | 6/3/25 |
| 53-5300-4310 - PROFESSIONAL & TECHNICAL | Power Department | 5854 MELDRUM SCALE CO-RECALIBRATING OF DYNOS | 1,231.90 | 6/5/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 5854 HYATT HOUSE SALT LAKE-HOTEL FOR KADEN IPSA TESTING | 328.94 | 6/5/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 5854 HYATT HOUSE SALT LAKE-HOTEL FOR TREYDEN IPSA TESTING | 328.94 | 6/5/25 |
| 53-5300-4610 - MISCELLANEOUS | Power Department | 5854 CHICK-FIL-A #03006-SAFETY MEETING | 9.70 | 6/11/25 |
| 53-5300-4610 - MISCELLANEOUS | Power Department | 5854 CHICK-FIL-A #03006-SAFETY MEETING | 86.53 | 6/11/25 |
| 53-5300-4250 - SUPPLIES & MATERIALS | Power Department | 6604 THE HOME DEPOT #4412-SUPPLIES FOR GENERATION | 58.04 | 6/2/25 |
| 53-5300-4270 - BUILDING & GROUNDS | Power Department | 6604 WESTERN PEST CONTROL-SPRAYING OF THE BUILDING | 69.77 | 6/3/25 |
| 53-5300-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Power Department | 6604 AMAZON MARK* N620S3AX0-OFFICE SUPPLIES | 153.31 | 6/3/25 |
| 53-5300-4251 - FUEL | Power Department | 6604 C-A-L RANCH STORES #19-PROPANE FOR FORKIFT | 44.35 | 6/5/25 |

| GL | DEPARTMENT | DESCRIPTION | AMOUNT | DATE |
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| 53-5300-4310 - PROFESSIONAL & TECHNICAL | Power Department | 6604 BIERER AND ASSOCIATES INC-REPAIR OF ST800 | 250.00 | 6/9/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 6604 MISCELLANEOUS FEE - FOREIGN CURRENCY FEE-XFMR WITNESS TESTING JAKE | 14.77 | 6/9/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 6604 DFW WHATABURGER - D12-XFMR WITNESS TESTING JAKE MONDAY LUNCH | 19.37 | 6/9/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 6604 VETTA DISTRITO UNO AUTOGR-XFMR WITNESS TESTING JAKE HOTEL | 492.44 | 6/9/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 6604 MISCELLANEOUS FEE - FOREIGN CURRENCY FEE-XFMR WITNESS TESTING JAKE | 0.67 | 6/11/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 6604 WENDYS #11526-XFMR WITNESS TESTING JAKE WEDNESDAY DINNER | 21.49 | 6/11/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 6604 VETTA DISTRITO UNO AUTOGR-XFMR WITNESS TESTING JAKE MONDAY DINNER | 22.31 | 6/11/25 |
| 53-5300-4610 - MISCELLANEOUS | Power Department | 6604 COSTCO WHSE #0672-RETURN OF PALLET - WATER FOR SHOP | (75.00) | 6/18/25 |
| 53-5300-4610 - MISCELLANEOUS | Power Department | 6604 COSTCO WHSE #0672-WATER FOR SHOP | 266.52 | 6/18/25 |
| 53-5300-4250 - SUPPLIES & MATERIALS | Power Department | 6604 IN *INTERMOUNTAIN SALES I-ADAPTER FOR CLAMP ON LOCATOR | 98.00 | 6/23/25 |
| 53-5300-4150 - UNIFORMS | Power Department | 6604 AMAZON RETA* NQ6C455D2-JAKE UNIFORMS | 175.80 | 6/24/25 |
| 53-5300-4150 - UNIFORMS | Power Department | 6604 AMAZON MARK* NO9HE4MA2-JAKE UNIFORMS | 839.61 | 6/24/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 7108 HYATT PLACE SALT LAKE-HOTEL SCOTT UAMPS | 369.90 | 6/18/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 7108 DELTA AIR-FLIGHT SCOTT UAMPS CONFERENCE IN AUG | 636.97 | 6/25/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 7635 UBER *TRIP-JESSICA UBER TIP FROM AIRPORT TO HOTEL METER SCHOOL TRAINING | 4.00 | 6/9/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 7635 UBER *TRIP-JESSICA UBER FROM AIRPORT TO HOTEL METER SCHOOL TRAINING | 11.48 | 6/9/25 |
| 53-5300-4230 - TRAINING & TRAVEL | Power Department | 7635 EMBASSY SUITES MYRTLE BE-HOTEL JESSICA METER SCHOOL TRAINING | 1,733.09 | 6/12/25 |
| 51-5100-4250 - SUPPLIES & MATERIALS | Public Works | 4606 AMAZON MKTPL-ICE MACHINE WATER PUMP | 34.29 | 6/3/25 |
| 10-4140-4250 - SUPPLIES & MATERIALS | Public Works | 4606 AMAZON MKTPL-BATTERY | 198.99 | 6/4/25 |
| 51-5100-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Public Works | 4606 COSTCO WHSE #0672-BATTERIES AND WATER | 75.88 | 6/5/25 |
| 52-5200-4250 - SUPPLIES & MATERIALS | Public Works | 4606 AMAZON MKTPL-BATTERY FOR CORAL CANYON LIFT STATION | 36.85 | 6/15/25 |
| 10-4411-4250 - SUPPLIES & MATERIALS | Public Works | 7229 THE HOME DEPOT #4412-TRAFFIC SIGNAL TOOLS | 40.00 | 6/16/25 |
| 10-4411-4250 - SUPPLIES & MATERIALS | Public Works | 7229 THE HOME DEPOT #4412-TRAFFIC SIGNAL TOOLS | (84.97) | 6/16/25 |
| 10-4411-4250 - SUPPLIES & MATERIALS | Public Works | 7229 THE HOME DEPOT 4412-TRIM LINE AND TORQUE WRENCH-TRAFFIC SIGNAL TOOLS | 94.94 | 6/16/25 |
| 51-5000-4250 - SUPPLIES & MATERIALS | Public Works | 7260 UNITED METAL PRODUCTS-PART FOR TREATMENT PLANT | 591.00 | 6/25/25 |
| 10-4140-4250 - SUPPLIES & MATERIALS | Public Works | 9598 FLEX AUTO CENTER LLC-ALIGNMENT ON 0610 | 84.95 | 6/4/25 |
| 10-4411-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Public Works | 4606 COSTCO WHSE #0672-STAMPS, LYSOL WIPES, NAPKINS | 42.12 | 6/25/25 |
| 51-5100-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Public Works | 4606 COSTCO WHSE #0672-STAMPS, LYSOL WIPES, NAPKINS | 42.12 | 6/25/25 |
| 52-5200-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Public Works | 4606 COSTCO WHSE #0672-STAMPS, LYSOL WIPES, NAPKINS | 42.12 | 6/25/25 |
| 57-5700-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Public Works | 4606 COSTCO WHSE #0672-STAMPS, LYSOL WIPES, NAPKINS | 42.12 | 6/25/25 |
| 51-5000-4240 - OFFICE EQUIP, SUPPLIES & MAINT | Public Works | 4606 COSTCO WHSE #0672-JANITORIAL SUPPLIES FOR TREATMENT PLANT | 63.98 | 6/25/25 |
| 10-4144-4610 - MISCELLANEOUS | Recorder Department | 3990 CHICK-FIL-A #03006-ELECTION LUNCH HP & TP | 20.21 | 6/2/25 |
| 10-3000-3690 - MISCELLANEOUS REVENUES | Recorder Department | 3990 DD "DOORDASH DASH PASS-DOOR DASH PASS PAID IN ERROR | 96.00 | 6/5/25 |
| 10-4144-4610 - MISCELLANEOUS | Recorder Department | 3990 MIXED GREENS FAST FRESH-ELECTION LUNCH HP & TP | 31.25 | 6/5/25 |
| 10-4144-4610 - MISCELLANEOUS | Recorder Department | 3990 SQ "BOWLS SUPERFOODS-ELECTION LUNCH HP & TP | 28.09 | 6/6/25 |
| 10-4144-4230 - TRAINING & TRAVEL | Recorder Department | 3990 SO UT UNIV E-COMMERCE - M-UBLA CONFERENCE - HP | 225.00 | 6/10/25 |
| 10-4144-4250 - SUPPLIES & MATERIALS | Recorder Department | 9919 AMAZON MKTPL-EMPLOYEE BADGE REEL CLIPS | 33.78 | 6/3/25 |
| 10-4111-4610 - MISCELLANEOUS | Washington City Council | 8670 RED ROBIN INC 262-COUNCIL DINNER | 228.37 | 6/12/25 |
| 10-4111-4610 - MISCELLANEOUS | Washington City Council | 8670 OLIVE GARDEN 0021725-COUNCIL DINNER | 403.86 | 6/25/25 |
| | | | 50,488.56 | 50,488.56 |



BOARD AUDIT SUMMARY BY FUND-DEPARTMENT

July 2025

| Fund | Department | Amount |
|-------------------|----------------------------------|------------|
| 10 - GENERAL FUND | 0000 - BALANCE SHEET | 26,900.21 |
| 10 - GENERAL FUND | 4111 - LEGISLATIVE | 2,000.00 |
| 10 - GENERAL FUND | 4121 - JUDICIAL | 6,250.00 |
| 10 - GENERAL FUND | 4134 - HUMAN RESOURCES | 2,781.40 |
| 10 - GENERAL FUND | 4143 - TREASURER | 19,150.00 |
| 10 - GENERAL FUND | 4144 - RECORDER | 1,471.00 |
| 10 - GENERAL FUND | 4145 - ATTORNEY | 2,038.90 |
| 10 - GENERAL FUND | 4150 - NON-DEPARTMENTAL | 25,963.78 |
| 10 - GENERAL FUND | 4160 - GOVERNMENTAL BLDGS | 15,511.02 |
| 10 - GENERAL FUND | 4210 - POLICE | 179,083.09 |
| 10 - GENERAL FUND | 4220 - FIRE | 72,085.22 |
| 10 - GENERAL FUND | 4411 - STREETS | 29,419.57 |
| 10 - GENERAL FUND | 4423 - WASTE COLLECTION | 268,928.14 |
| 10 - GENERAL FUND | 4510 - PARKS | 34,145.67 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 35,990.11 |
| 10 - GENERAL FUND | 4559 - GOLF COURSE CLUB HOUSE | 5,809.11 |
| 10 - GENERAL FUND | 4560 - COMMUNITY CENTER | 38,264.45 |
| 10 - GENERAL FUND | 4562 - COMMUNITY CENTER AQUATICS | 1,122.50 |
| 10 - GENERAL FUND | 4590 - CEMETERIES | 1,378.24 |
| 10 - GENERAL FUND | 4610 - COMMUNITY DEVELOPMENT | 11,575.00 |

| | | |
|-----------------------------------|---------------------------------|---------------------|
| 10 - GENERAL FUND | 4652 - ECONOMIC DEVELOPMENT | 2,919.75 |
| 21 - RAP TAX SPECIAL REVENUE FUND | 4500 - PARKS,REC & PUBLIC PRPTY | 1,567.20 |
| 22 - WASHINGTON CITY FOUNDATION | 4200 - PUBLIC SAFETY | 2,126.68 |
| 37 - MUNICIPAL BUILDING AUTHORITY | 4700 - DEBT SERVICE | 826,548.24 |
| 43 - CAPITAL PROJECT LEISURE SRVC | 4500 - PARKS,REC & PUBLIC PRPTY | 1,839.75 |
| 51 - WATER | 0000 - BALANCE SHEET | 51,468.75 |
| 51 - WATER | 5000 - WATER TREATMENT | 441,371.24 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 165,776.83 |
| 52 - SEWER | 0000 - BALANCE SHEET | 240,047.94 |
| Grand Total | | 4,353,301.41 |

Board Audit

Transactions by Department

July 2025

| Fund | Department | Account | Memo | Check Date | Check# | Amount |
|-------------------|--------------------------------|---|--|------------|--------|------------|
| 10 - GENERAL FUND | 0000 - BALANCE SHEET | 2133 2133 - STATE SURCHARGE PAYABLE | WASHINGTON CITY JUSTICE COURT REVENUE DEPOSIT JUNE 2025 | 07-02-2025 | 95142 | 26,900.21 |
| 10 - GENERAL FUND | 4111 - LEGISLATIVE | 4310 4310 - PROFESSIONAL & TECHNICAL | LEGISLATURE MONITORING | 07-02-2025 | 0 | 2,000.00 |
| 10 - GENERAL FUND | 4121 - JUDICIAL | 4311 4311 - LEGAL FEES | CRIMINAL PROSECUTION-JULY 2025 | 07-02-2025 | 0 | 6,250.00 |
| 10 - GENERAL FUND | 4134 - HUMAN RESOURCES | 4310 4310 - PROFESSIONAL & TECHNICAL | EMPLOYEE ASSISTANCE COVERAGE | 07-10-2025 | 0 | 1,008.00 |
| 10 - GENERAL FUND | 4134 - HUMAN RESOURCES | 4310 4310 - PROFESSIONAL & TECHNICAL | JUN 2025 BACKGROUND CHECKS | 07-10-2025 | 0 | 1,773.40 |
| 10 - GENERAL FUND | 4143 - TREASURER | 4211 4211 - SOFTWARE | UTILITY BILLING, CASH RECEIPTS, & FINANCE INTEGRATION SUBSCRIPTION 07/01/2 | 07-10-2025 | 0 | 19,150.00 |
| 10 - GENERAL FUND | 4144 - RECORDER | 4230 4230 - TRAINING & TRAVEL | TUITION REIMBURSEMENT FOR SPRING 2025 | 07-17-2025 | 0 | 1,471.00 |
| 10 - GENERAL FUND | 4145 - ATTORNEY | 4310 4310 - PROFESSIONAL & TECHNICAL | 7853.1-ROA GENERAL INC DBA REAGAN OUTDOOR ADVERTISING APR 2025 | 07-17-2025 | 0 | 2,038.90 |
| 10 - GENERAL FUND | 4150 - NON-DEPARTMENTAL | 4280 4280 - UTILITIES | 026494-036 111 N 100 E | 07-10-2025 | 95179 | 3,605.80 |
| 10 - GENERAL FUND | 4150 - NON-DEPARTMENTAL | 4280 4280 - UTILITIES | 026494-190 82 N. MAIN ST - OLD CHURCH | 07-10-2025 | 95179 | 1,206.27 |
| 10 - GENERAL FUND | 4150 - NON-DEPARTMENTAL | 4290 4290 - TELEPHONE | CN-5243919-2405 VARIOUS DATES THROUGH JULY 2025 | 07-10-2025 | 0 | 1,740.10 |
| 10 - GENERAL FUND | 4150 - NON-DEPARTMENTAL | 4510 4510 - INSURANCE | 14680 WORKERS COMP JUNE 2025 | 07-09-2025 | 0 | 11,256.21 |
| 10 - GENERAL FUND | 4150 - NON-DEPARTMENTAL | 4790 4790 - OTHER PROJECTS | HERITAGE HALL TINTING | 07-02-2025 | 95141 | 3,155.40 |
| 10 - GENERAL FUND | 4150 - NON-DEPARTMENTAL | 4790 4790 - OTHER PROJECTS | USS UTAH COMMISSIONING COMMITTEE CORPORATE LEVEL SPONSORSHIP | 07-02-2025 | 95140 | 5,000.00 |
| 10 - GENERAL FUND | 4160 - GOVERNMENTAL BLDGS | 4270 4270 - BUILDING & GROUNDS | 8765 AMAZON MARK* NH2PZ8581-LINGXIAO POOL PUMP | 07-15-2025 | 0 | 1,149.00 |
| 10 - GENERAL FUND | 4160 - GOVERNMENTAL BLDGS | 4270 4270 - BUILDING & GROUNDS | 8765 SUPPLYHOUSE.COM-TEMP CONTROL CARTRIDGE | 07-15-2025 | 0 | 1,026.02 |
| 10 - GENERAL FUND | 4160 - GOVERNMENTAL BLDGS | 4270 4270 - BUILDING & GROUNDS | CONTROLS INSTALLATION | 07-10-2025 | 95149 | 11,866.00 |
| 10 - GENERAL FUND | 4160 - GOVERNMENTAL BLDGS | 4270 4270 - BUILDING & GROUNDS | INTALL 2 COMMERCIAL GRADE ELECTRONIC PIN-PAD LOCKS | 07-10-2025 | 0 | 1,470.00 |
| 10 - GENERAL FUND | 4210 - POLICE | 4211 4211 - SOFTWARE | 807889 DESKOFFICER MONTHLY LICENSE FOR JUN 2025 FY25 | 07-17-2025 | 0 | 1,018.46 |
| 10 - GENERAL FUND | 4210 - POLICE | 4211 4211 - SOFTWARE | ANNUAL LAW ENFORCEMENT POLICY MANUAL 07/01/25-06/30/26 | 07-17-2025 | 0 | 9,480.25 |
| 10 - GENERAL FUND | 4210 - POLICE | 4211 4211 - SOFTWARE | DESKTOP PRESENTATION SOFTWARE 08/26/26 | 07-17-2025 | 0 | 2,310.00 |
| 10 - GENERAL FUND | 4210 - POLICE | 4250 4250 - SUPPLIES & MATERIALS | 30 HDLO Tactical Earpiece | 07-17-2025 | 0 | 2,916.00 |
| 10 - GENERAL FUND | 4210 - POLICE | 4270 4270 - BUILDING & GROUNDS | 4729 WPY*LMS SERVICES ENTERPRISE-TINT FOR FRONT WINDOWS AT PD | 07-15-2025 | 0 | 1,387.00 |
| 10 - GENERAL FUND | 4210 - POLICE | 4280 4280 - UTILITIES | 026494-139 135 N 100 E POLICE DEPARTMENT | 07-10-2025 | 95179 | 1,719.84 |
| 10 - GENERAL FUND | 4210 - POLICE | 4310 4310 - PROFESSIONAL & TECHNICAL | EQUIPMENT USE AND MAINTENANCE 2025-2026 FY26 | 07-17-2025 | 95208 | 2,500.00 |
| 10 - GENERAL FUND | 4210 - POLICE | 4310 4310 - PROFESSIONAL & TECHNICAL | MATTHEW PAGE TERMINATION APPEAL | 07-17-2025 | 95188 | 8,404.00 |
| 10 - GENERAL FUND | 4210 - POLICE | 4310 4310 - PROFESSIONAL & TECHNICAL | ORIGINAL & CERTIFIED EMPLOYEE APPEALS BOARD HEARING 06/17/25 FY25 | 07-17-2025 | 95202 | 1,673.30 |
| 10 - GENERAL FUND | 4210 - POLICE | 4740 4740 - CAPITAL EQUIPMENT PURCHASE | 2024 POLICE RESPONDER F-150 4X4VN#1FTFW1P87RKE9078 | 07-17-2025 | 0 | 50,449.80 |
| 10 - GENERAL FUND | 4210 - POLICE | 4740 4740 - CAPITAL EQUIPMENT PURCHASE | 2025 FORD EXPLORER POLICE AWD VN #1FM5K8AC8SGA51016 | 07-10-2025 | 0 | 48,612.22 |
| 10 - GENERAL FUND | 4210 - POLICE | 4740 4740 - CAPITAL EQUIPMENT PURCHASE | 2025 FORD EXPLORER POLICE AWD VN #1FM5K8AV6SGA50964 | 07-10-2025 | 0 | 48,612.22 |
| 10 - GENERAL FUND | 4220 - FIRE | 4254 4254 - FLEET CHARGES | ALLISON TRANSMISSION FLUID, AIR CLEANER | 07-17-2025 | 0 | 4,537.86 |
| 10 - GENERAL FUND | 4220 - FIRE | 4260 4260 - SMALL TOOLS & MINOR EQUIPMENT | 5089 ROGUE-WEIGHTS FOR STATIONS | 07-15-2025 | 0 | 1,408.72 |
| 10 - GENERAL FUND | 4220 - FIRE | 4260 4260 - SMALL TOOLS & MINOR EQUIPMENT | 5089 ZOLL MEDICAL CORP-CARDIAC MONITOR CABLES | 07-15-2025 | 0 | 2,193.04 |
| 10 - GENERAL FUND | 4220 - FIRE | 4280 4280 - UTILITIES | 026494-045 250 W BUENA VISTA BLVD FIRE STATION 61 | 07-10-2025 | 95179 | 1,329.88 |
| 10 - GENERAL FUND | 4220 - FIRE | 4790 4790 - OTHER PROJECTS | LUCAS 3, 3.1, IN SHIPPING BOX & BATTERY, LUCAS | 07-17-2025 | 0 | 60,651.81 |
| 10 - GENERAL FUND | 4220 - FIRE | 4790 4790 - OTHER PROJECTS | LUCAS BATTERY CHARGER, MAINS PLUG | 07-02-2025 | 0 | 1,963.91 |
| 10 - GENERAL FUND | 4411 - STREETS | 4211 4211 - SOFTWARE | SMALL GOVT ELA US ENTERPRISE AGREEMENT FY 26 | 07-10-2025 | 0 | 5,275.00 |
| 10 - GENERAL FUND | 4411 - STREETS | 4250 4250 - SUPPLIES & MATERIALS | TRAFFIC SIGNAL MAINT | 07-10-2025 | 0 | 4,668.90 |
| 10 - GENERAL FUND | 4411 - STREETS | 4318 4318 - MASS TRANSIT | JULY 2025 SUNTRAN ROUTE | 07-10-2025 | 95170 | 19,475.67 |
| 10 - GENERAL FUND | 4423 - WASTE COLLECTION | 4344 4344 - SOLID WASTE SERVICE FEES | UNIT BILLING GARBAGE QTY 14,493 JUNE 2025 | 07-10-2025 | 0 | 195,365.64 |
| 10 - GENERAL FUND | 4423 - WASTE COLLECTION | 4345 4345 - RECYCLING SERVICE FEES | UNIT BILLING BLUE CAN QTY 11,770 JUNE 2025 | 07-10-2025 | 0 | 73,562.50 |
| 10 - GENERAL FUND | 4510 - PARKS | 4270 4270 - BUILDING & GROUNDS | 3/4 COMMERCIAL ROAD BASE" | 07-17-2025 | 0 | 1,994.46 |
| 10 - GENERAL FUND | 4510 - PARKS | 4270 4270 - BUILDING & GROUNDS | P-220 GLOBE/ANGLE VALVE 2 NPT" | 07-10-2025 | 0 | 1,149.23 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-044 30 S 200 W LANDSCAPE | 07-10-2025 | 95179 | 1,305.31 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-075 1366 N HORIZON PKWY LANDSCAPE | 07-10-2025 | 95179 | 2,094.11 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-081 500 N RED STONE RD SIENNA HILLS PARK | 07-10-2025 | 95179 | 2,558.27 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-085 1775 N GREEN SPRING DR LANDSCAPE AND PARK | 07-10-2025 | 95179 | 5,864.63 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-090 4050 S CROWN JEWEL WAY TREASURE VALLEY PARK | 07-10-2025 | 95179 | 1,903.94 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-091 1016 W CHURREA DR | 07-10-2025 | 95179 | 3,830.69 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-095 965 S WASHINGTON FIELDS RD SULLIVAN VIRGIN RIVER PARK | 07-10-2025 | 95179 | 4,906.93 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-145 1320 E BLACK BRUSH DR - SHOOTING STAR PARK | 07-10-2025 | 95179 | 2,257.45 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-170 685 S COUNTRY WAY LANDSCAPE | 07-10-2025 | 95179 | 1,438.07 |
| 10 - GENERAL FUND | 4510 - PARKS | 4280 4280 - UTILITIES | 026494-50 3234 E GRASSLANDS PKWY LANDSCAPE | 07-10-2025 | 95179 | 1,952.58 |
| 10 - GENERAL FUND | 4510 - PARKS | 4790 4790 - OTHER PROJECTS | ASSEMBLE FUEL TANKS AND WIRE GAS PUMPS AT WASHINGTON CITY PARKS | 07-10-2025 | 0 | 2,890.00 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4251 4251 - FUEL | ULSD #2 DYED | 07-10-2025 | 0 | 1,399.38 |

Board Audit

Transactions by Department

July 2025

| Fund | Department | Account | Memo | Check Date | Check# | Amount |
|----------------------------------|----------------------------------|--|--|------------|--------|------------|
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4251 4251 - FUEL | UNL NON ETHANOL PREMIUM GAS | 07-10-2025 | 0 | 2,669.40 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4251 4251 - FUEL | UNL NON ETHANOL PREMIUM GAS | 07-17-2025 | 0 | 1,971.92 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4270 4270 - BUILDING & GROUNDS | 21-0 COARSE SGN 130 W/ANTI-CAKE | 07-17-2025 | 0 | 4,836.00 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4270 4270 - BUILDING & GROUNDS | CONV, 1.5IN, PC, 51-54NOZ, TRUJ | 07-10-2025 | 0 | 2,539.20 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4270 4270 - BUILDING & GROUNDS | CONV, 1IN, PC, 31-34NOZ, TRU J | 07-10-2025 | 0 | 2,946.29 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4270 4270 - BUILDING & GROUNDS | SUBDUE MAXX, ACELETRYN, PRIM MAXX, & DACONIL ACTION | 07-17-2025 | 0 | 2,807.50 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4280 4280 - UTILITIES | 026494-022 GOLF COURSE PUMP STATION #1 | 07-10-2025 | 95179 | 4,456.07 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4280 4280 - UTILITIES | 026494-024 SULLIVAN WELL | 07-10-2025 | 95179 | 3,248.25 |
| 10 - GENERAL FUND | 4558 - GOLF COURSE MAINTENANCE | 4850 4850 - LEASE PURCHASE | MAINTENANCE SERVICE SERVICE AND LEASE PAYMENTS 70 CLUB CARS | 07-10-2025 | 0 | 9,116.10 |
| 10 - GENERAL FUND | 4559 - GOLF COURSE CLUB HOUSE | 4250 4250 - SUPPLIES & MATERIALS | BALL RANGE | 07-17-2025 | 95203 | 1,957.41 |
| 10 - GENERAL FUND | 4559 - GOLF COURSE CLUB HOUSE | 4280 4280 - UTILITIES | 026494-015 588 N GREEN SPRING DR | 07-10-2025 | 95179 | 1,802.16 |
| 10 - GENERAL FUND | 4559 - GOLF COURSE CLUB HOUSE | 4692 4692 - MERCHANDISE PURCHASE | TITL PRO V1 | 07-02-2025 | 95128 | 2,049.54 |
| 10 - GENERAL FUND | 4560 - COMMUNITY CENTER | 4280 4280 - UTILITIES | 026494-080 350 N COMMUNITY CENTER DR WCCC | 07-10-2025 | 95179 | 35,786.78 |
| 10 - GENERAL FUND | 4560 - COMMUNITY CENTER | 4280 4280 - UTILITIES | NATURAL GAS JUNE 2025 FY25 | 07-10-2025 | 0 | 2,477.67 |
| 10 - GENERAL FUND | 4562 - COMMUNITY CENTER AQUATICS | 4270 4270 - BUILDING & GROUNDS | HAZMAT 15 GALLON ACID DRUM | 07-10-2025 | 0 | 1,122.50 |
| 10 - GENERAL FUND | 4590 - CEMETERIES | 4270 4270 - BUILDING & GROUNDS | CONV, 1IN, PC, 31-34NOZ, BDY, RSRLESS, 1IN, NPT ST | 07-17-2025 | 0 | 1,378.24 |
| 10 - GENERAL FUND | 4610 - COMMUNITY DEVELOPMENT | 4310 4310 - PROFESSIONAL & TECHNICAL | HOMEWOOD SUITES 4TH REVIEW 06/04/25 | 07-10-2025 | 95182 | 1,025.00 |
| 10 - GENERAL FUND | 4610 - COMMUNITY DEVELOPMENT | 4310 4310 - PROFESSIONAL & TECHNICAL | MAINTENANCE & UPDATE YEARLY FEES FOR SOFTWARE 7/1/25-6/30/26 | 07-17-2025 | 0 | 9,500.00 |
| 10 - GENERAL FUND | 4610 - COMMUNITY DEVELOPMENT | 4310 4310 - PROFESSIONAL & TECHNICAL | PLAN REVIEW SERVICES | 07-17-2025 | 95210 | 1,050.00 |
| 10 - GENERAL FUND | 4652 - ECONOMIC DEVELOPMENT | 4610 4610 - MISCELLANEOUS | PREMIUM TRUCKER MESH BACK CAP RED/WHITE & ROYAL BLUE/WHITE | 07-10-2025 | 95148 | 2,919.75 |
| 21 - RAP TAX SPECIAL REVENUE FU | 4500 - PARKS,REC & PUBLIC PRPRTY | 4795 4795 - CAPITAL PROJECTS | 3513 IWP ST GEORGE-RECLAIMED OAK FOR BISHOPS STOREHOUSE | 07-15-2025 | 0 | 1,567.20 |
| 22 - WASHINGTON CITY FOUNDATI | 4200 - PUBLIC SAFETY | 4250 4250 - SUPPLIES & MATERIALS | REIMBURSEMENT FOR TRAVEL EXPENSES TO PICK UP K9 | 07-10-2025 | 0 | 2,126.68 |
| 37 - MUNICIPAL BUILDING AUTHOI | 4700 - DEBT SERVICE | 4795 4795 - CAPITAL PROJECTS | 12781-25-004 WC WHEELS PARK CONSTRUCTION MGMT 06.01.25-06.30.25 | 07-10-2025 | 0 | 22,761.25 |
| 37 - MUNICIPAL BUILDING AUTHOI | 4700 - DEBT SERVICE | 4795 4795 - CAPITAL PROJECTS | 250042 WHEELS PARK 04/12/25-06/15/25 | 07-02-2025 | 95130 | 7,170.00 |
| 37 - MUNICIPAL BUILDING AUTHOI | 4700 - DEBT SERVICE | 4795 4795 - CAPITAL PROJECTS | WHEELS PARK CONSTRUCTION 05.02.2025-05.28.2025 | 07-10-2025 | 0 | 796,616.99 |
| 43 - CAPITAL PROJECT LEISURE SRV | 4500 - PARKS,REC & PUBLIC PRPRTY | 4940 4940 - IMPACT FEE EXPENSE | 24-056 WASHINGTON CITY CANAL TRAIL ROW JUN 2026 FY25 | 07-17-2025 | 0 | 1,839.75 |
| 51 - WATER | 0000 - BALANCE SHEET | 2161 2161 - ST. GEORGE CITY/TREATMENT FEES | WASHINGTON CITY EXCESS WATER SURCHARGE | 07-10-2025 | 95181 | 51,468.75 |
| 51 - WATER | 5000 - WATER TREATMENT | 4250 4250 - SUPPLIES & MATERIALS | CAUSTIC SODA 50% DR452 | 07-10-2025 | 0 | 1,860.00 |
| 51 - WATER | 5000 - WATER TREATMENT | 4250 4250 - SUPPLIES & MATERIALS | CITRIC ACID 50% | 07-17-2025 | 0 | 4,752.00 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-007 WELL #4 | 07-10-2025 | 95179 | 7,011.97 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-008 WELL #2 | 07-10-2025 | 95179 | 4,780.66 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-009 WELL #3 3000 N MAIN #1 | 07-10-2025 | 95179 | 1,224.02 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-012 4000 N MAIN Well #5 | 07-10-2025 | 95179 | 6,523.59 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-013 WELL #6 | 07-10-2025 | 95179 | 7,297.15 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-033 GRAPE VINE WELL #1 | 07-10-2025 | 95179 | 2,353.21 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-041 GRAPEVINE WELL #2 | 07-10-2025 | 95179 | 2,436.34 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-053 4250 E TELEGRAPH ST | 07-10-2025 | 95179 | 6,803.96 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-164 GRAPEVINE WELL #3 WASHINGTON UT 84780- | 07-10-2025 | 95179 | 2,030.70 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-165 GRAPEVINE WELL #4 WASHINGTON UT 84780- | 07-10-2025 | 95179 | 1,840.86 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-166 GRAPEVINE WELL #5 WASHINGTON UT 84780- | 07-10-2025 | 95179 | 2,501.50 |
| 51 - WATER | 5000 - WATER TREATMENT | 4280 4280 - UTILITIES | 026494-167 GRAPEVINE WELL #6 WASHINGTON UT 84780- | 07-10-2025 | 95179 | 2,976.68 |
| 51 - WATER | 5000 - WATER TREATMENT | 4430 4430 - WATER PURCHASE SANDHOLLOW | REGIONAL PIPELINE USAGE FY25 | 07-17-2025 | 95209 | 302,806.82 |
| 51 - WATER | 5000 - WATER TREATMENT | 4432 4432 - WATER PURCHASE/QUAIL LAKE/RAW | QUAIL LAKE SECONDARY MONTHLY USAGE PER 1000 GAL | 07-17-2025 | 95209 | 64,994.43 |
| 51 - WATER | 5000 - WATER TREATMENT | 4790 4790 - OTHER PROJECTS | GA15FLX FF 175 MEAF | 07-10-2025 | 0 | 19,177.35 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4211 4211 - SOFTWARE | ANNUAL HARMONY RENEWAL JULY 1, 2025-JUNE 30, 2026 | 07-10-2025 | 95165 | 45,853.73 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4211 4211 - SOFTWARE | SMALL GOVT ELA US ENTERPRISE AGREEMENT FY 26 | 07-10-2025 | 0 | 5,275.00 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4250 4250 - SUPPLIES & MATERIALS | REIMBURSE FOR DAMAGES TO DRIVEWAY CAUSED FROM WATER LEAK AND FOR PL | 07-10-2025 | 95172 | 4,269.54 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4250 4250 - SUPPLIES & MATERIALS | WATER LEAK REPAIR | 07-17-2025 | 0 | 1,209.63 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4310 4310 - PROFESSIONAL & TECHNICAL | 446-25-01 WATER SYSTEM MODELING MAINT 05/31/25-06/27/25 FY25 | 07-17-2025 | 95189 | 2,571.50 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4310 4310 - PROFESSIONAL & TECHNICAL | S09215000 ON-CALL 2023 THROUGH MAY 31, 2025 | 07-10-2025 | 0 | 4,099.75 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4431 4431 - DISTRICT SURCHARGE | WATER DEVELOPMENT SURCHARGES | 07-17-2025 | 95209 | 33,116.51 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4795 4795 - CAPITAL PROJECTS | 250218 SOLENTE WATER TRANSMISSION LINE 05/12/25-06/15/25 | 07-02-2025 | 95130 | 2,472.50 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4795 4795 - CAPITAL PROJECTS | SOLENTE TRANSMISSION LINES 20 CL250 DCLDI FASTITE PIPE JUNE BUDGET | 07-10-2025 | 95158 | 12,467.00 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4940 4940 - IMPACT FEE EXPENSE | 446-24-02 CHURCH FARM RD PS & PIPELINE PROJECT 03/29/25 TO 05/30/25 FY25 | 07-17-2025 | 95189 | 42,358.50 |

Board Audit

Transactions by Department

July 2025

| Fund | Department | Account | Memo | Check Date | Check# | Amount |
|------------------|---------------------------|--|--|------------|--------|--------------|
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4940 4940 - IMPACT FEE EXPENSE | CHURCH FARM RD PUMP STN & PIPELINE | 07-02-2025 | 0 | 3,618.00 |
| 51 - WATER | 5100 - WATER DISTRIBUTION | 4940 4940 - IMPACT FEE EXPENSE | REGIONAL PIPELINE BOND PAYMENT 60",N/A" | 07-10-2025 | 95181 | 8,465.17 |
| 52 - SEWER | 0000 - BALANCE SHEET | 2161 2161 - ST. GEORGE CITY/TREATMENT FEES | SEWER TREATMENT FEES JUN 2025 FY25 | 07-17-2025 | 95206 | 240,047.94 |
| 52 - SEWER | 5200 - SEWER | 4211 4211 - SOFTWARE | SMALL GOVT ELA US ENTERPRISE AGREEMENT FY 26 | 07-10-2025 | 0 | 5,275.00 |
| 52 - SEWER | 5200 - SEWER | 4280 4280 - UTILITIES | 026494-042 3015 E TELEGRAPH ST CORAL CANYON LIFT STATION | 07-10-2025 | 95179 | 2,568.30 |
| 53 - ELECTRIC | 0000 - BALANCE SHEET | 1511 1511 - INVENTORY | LED HID REPLACEMENT LAMP | 07-10-2025 | 0 | 4,237.50 |
| 53 - ELECTRIC | 0000 - BALANCE SHEET | 1511 1511 - INVENTORY | OKON 15KV 16X14 2500' | 07-17-2025 | 0 | 43,022.92 |
| 53 - ELECTRIC | 0000 - BALANCE SHEET | 1511 1511 - INVENTORY | SUPPLY PARTS ELECTRIC POWER GENERATOR | 07-10-2025 | 0 | 2,300.47 |
| 53 - ELECTRIC | 0000 - BALANCE SHEET | 1511 1511 - INVENTORY | Transformers & Spark Plugs | 07-17-2025 | 0 | 1,530.34 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4001 4001 - SYSTEM MAINTENANCE | STAINLESS STEEL STANDS | 07-10-2025 | 0 | 7,000.00 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4003 4003 - POOL PROJECT | POOL | 07-29-2025 | 0 | 136,112.12 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4004 4004 - CENTRAL/ST. GEORGE (138 LINE) | CENTRAL STG | 07-29-2025 | 0 | 58,075.83 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4005 4005 - RESOURCE (IPP) | RESOURCE | 07-29-2025 | 0 | 3,285.74 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4006 4006 - CRSP POWER | CRSP | 07-29-2025 | 0 | 5,000.41 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4007 4007 - CONTRACT PURCHASES | CONTRACT PURCHASES | 07-29-2025 | 0 | 322,166.13 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4008 4008 - TRANSMISSION | TRANS | 07-29-2025 | 0 | 170,316.14 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4009 4009 - UAMPS EXPENSES | UAMPS | 07-29-2025 | 0 | 7,761.31 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4010 4010 - HORSE BUTTE WIND | HB WIND F | 07-29-2025 | 0 | 17,227.72 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4011 4011 - PAYSON POWER PRODUCTION | PAYSON PROD | 07-29-2025 | 0 | 173,734.74 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4012 4012 - WIND | PV WIND | 07-29-2025 | 0 | 3,240.06 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4014 4014 - PAYSON POWER PROJECT | PAYSON FIXED | 07-29-2025 | 0 | 77,206.29 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4016 4016 - GOVERNMENT AND PUBLIC AFFAIRS | G&PA | 07-29-2025 | 0 | 2,292.13 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4019 4019 - WASHINGTON GEN FIXED COSTS | WASH GEN F | 07-29-2025 | 0 | 24,592.04 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4021 4021 - NATURAL GAS PROJECT | NATURAL GAS | 07-29-2025 | 0 | 61,657.96 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4022 4022 - REBATE PROGRAM | REBATE | 07-29-2025 | 0 | 1,374.94 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4023 4023 - WASTE HEAT | WASTE HEAT F | 07-29-2025 | 0 | 41,923.09 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4027 4027 - Steel Solar | STEEL SOLAR 1A & 1B | 07-29-2025 | 0 | 80,762.68 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4211 4211 - SOFTWARE | SMALL GOVT ELA US ENTERPRISE AGREEMENT FY 26 | 07-10-2025 | 0 | 21,100.00 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4230 4230 - TRAINING & TRAVEL | 7635 EMBASSY SUITES MYRTLE BE-HOTEL JESSICA METER SCHOOL TRAINING | 07-15-2025 | 0 | 1,733.09 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4250 4250 - SUPPLIES & MATERIALS | MOBIL PEGASUS 805 ULTRA | 07-10-2025 | 0 | 7,320.18 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4260 4260 - SMALL TOOLS & MINOR EQUIPMENT | 3345 IN *INTERMOUNTAIN SALES I-LOCATOR REPAIRED | 07-15-2025 | 0 | 3,180.00 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4280 4280 - UTILITIES | 026494-131 4250 E TELEGRAPH ST UNIT B | 07-10-2025 | 95179 | 7,656.97 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4310 4310 - PROFESSIONAL & TECHNICAL | 5854 MELDRUM SCALE CO-RECALIBRATING OF DYNOS | 07-15-2025 | 0 | 1,231.90 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | 250236 GRAPEVINE SUBSTATION 05/12/25-06/15/25 - Soils & Concrete Testing | 07-02-2025 | 95130 | 2,430.00 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | AS BUILT DRAWINGS | 07-10-2025 | 95161 | 1,247.50 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | FIXED FEE PROFESSIONAL SERVICES MIGRATION | 07-02-2025 | 0 | 3,405.97 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | FOUNDATIONS | 07-02-2025 | 0 | 463,359.76 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | MIGRATION METER IMPORT/EXPORT SESSION | 07-17-2025 | 0 | 2,865.33 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | OTHER | 07-02-2025 | 0 | 15,762.31 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | PROTECTION & CONTROL | 07-17-2025 | 95195 | 12,642.50 |
| 53 - ELECTRIC | 5300 - ELECTRIC | 4795 4795 - CAPITAL PROJECTS | TRAFFIC SIGNALS & Control | 07-10-2025 | 0 | 2,627.25 |
| 57 - STORM DRAIN | 5700 - STORM DRAIN | 4211 4211 - SOFTWARE | SMALL GOVT ELA US ENTERPRISE AGREEMENT FY 26 | 07-10-2025 | 0 | 5,275.00 |
| 57 - STORM DRAIN | 5700 - STORM DRAIN | 4310 4310 - PROFESSIONAL & TECHNICAL | 2025 EROSION PROTECTION PROJECT APR 2025 | 07-10-2025 | 0 | 4,190.00 |
| 57 - STORM DRAIN | 5700 - STORM DRAIN | 4310 4310 - PROFESSIONAL & TECHNICAL | MILLCREEK BOX CULVERT APRON REPAIR LABOR THROUGH 06/30/25 | 07-10-2025 | 0 | 4,880.00 |
| 57 - STORM DRAIN | 5700 - STORM DRAIN | 4340 4340 - OTHER CONTRACTUAL SERVICES | FLOOD CONTROL DIST FEE - JUN 2025 | 07-10-2025 | 95180 | 24,006.00 |
| 57 - STORM DRAIN | 5700 - STORM DRAIN | 4795 4795 - CAPITAL PROJECTS | 06078-23-008 SULLIVAN PARK STREAMBANK STABILIZATION PROJECT JUNE 2025 | 07-10-2025 | 0 | 1,012.50 |
| 57 - STORM DRAIN | 5700 - STORM DRAIN | 4795 4795 - CAPITAL PROJECTS | SULLIVAN PARK STREAMBANK STABILIZATION PROJECT APR 2025 | 07-02-2025 | 0 | 1,177.50 |
| Total | | | | | | 4,353,301.41 |

BID TABULATION
2025 CANAL TRAILS
PREPARED BY Alliance Consulting
Project No. 4531
CLOSING DATE 7-23-2025

ALLIANCE CONSULTING
A Planning and Engineering Firm
2303 North Coral Canyon Blvd
Suite 201
Washington, UT 84780
t. 435.673.8060
f. 435.673.8065



| 2025 CANAL TRAILS | | | | | | | | | | | | | | | | | |
|---|---|------|----------|--------------------------|-------------|-----------------------|-------------|----------------------------|-------------|------------------------|-------------|---------------------|-------------|--------------------|-------------|---------------------|-------------|
| No. | Item | Unit | Quantity | INTERSTATE ROCK PRODUCTS | | WHITAKER CONSTRUCTION | | COMPETITIVE EXCAVATION INC | | CALIBER CONTRACTOR LLC | | M&T ENTERPRISES LLC | | WRX CONTRACTING | | | |
| | | | | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | | |
| Base Bid | | | | | | | | | | | | | | | | | |
| 1 | General Condition/Mobilization | LS | 1 | \$31,800.00 | \$31,800.00 | \$60,000.00 | \$60,000.00 | \$24,456.00 | \$24,456.00 | \$20,000.00 | \$20,000.00 | \$36,500.00 | \$36,500.00 | \$26,000.00 | \$26,000.00 | \$70,000.00 | \$70,000.00 |
| 2 | Traffic Control (Trail) | LS | 1 | \$4,500.00 | \$4,500.00 | \$7,000.00 | \$7,000.00 | \$3,145.25 | \$3,145.25 | \$6,000.00 | \$6,000.00 | \$7,900.00 | \$7,900.00 | \$6,000.00 | \$6,000.00 | \$16,000.00 | \$16,000.00 |
| 3 | Clear & Grub (Approx 0.90 Acres) | LS | 1 | \$2,850.00 | \$2,850.00 | \$11,000.00 | \$11,000.00 | \$5,831.79 | \$5,831.79 | \$5,000.00 | \$5,000.00 | \$4,850.00 | \$4,850.00 | \$12,000.00 | \$12,000.00 | \$6,000.00 | \$6,000.00 |
| 4 | Dust Control | LS | 1 | \$3,650.00 | \$3,650.00 | \$5,500.00 | \$5,500.00 | \$10,429.22 | \$10,429.22 | \$16,500.00 | \$16,500.00 | \$12,100.00 | \$12,100.00 | \$18,000.00 | \$18,000.00 | \$18,000.00 | \$18,000.00 |
| 5 | Pre-Construction Condition | LS | 1 | \$4,650.00 | \$4,650.00 | \$1,100.00 | \$1,100.00 | \$1,112.59 | \$1,112.59 | \$2,500.00 | \$2,500.00 | \$1,650.00 | \$1,650.00 | \$9,000.00 | \$9,000.00 | \$1,400.00 | \$1,400.00 |
| 6 | SWPPP & BMP Items | LS | 1 | \$15,200.00 | \$15,200.00 | \$6,000.00 | \$6,000.00 | \$27,230.41 | \$27,230.41 | \$21,500.00 | \$21,500.00 | \$7,650.00 | \$7,650.00 | \$6,000.00 | \$6,000.00 | \$17,000.00 | \$17,000.00 |
| | | | | TOTAL | | \$62,650.00 | | \$90,600.00 | | \$72,205.26 | | \$71,500.00 | | \$70,650.00 | | \$77,000.00 | |
| Uintah Dr to Red Sands Dr | | | | | | | | | | | | | | | | | |
| 7 | Earthwork/Import/Rework | LS | 1 | \$4,050.00 | \$4,050.00 | \$8,700.00 | \$8,700.00 | \$15,107.66 | \$15,107.66 | \$19,000.00 | \$19,000.00 | \$17,700.00 | \$17,700.00 | \$6,503.40 | \$6,503.40 | \$20,000.00 | \$20,000.00 |
| 8 | Remove Existing Fence & Pillar (North End) | LS | 1 | \$230.00 | \$230.00 | \$735.00 | \$735.00 | \$638.04 | \$638.04 | \$1,000.00 | \$1,000.00 | \$2,550.00 | \$2,550.00 | \$1,800.00 | \$1,800.00 | \$600.00 | \$600.00 |
| 9 | 2.5" Thick Asphalt (Voidless Asphalt Mix) (Trail) | SF | 14,855 | \$1.95 | \$28,967.25 | \$2.20 | \$32,681.00 | \$2.13 | \$31,641.15 | \$2.12 | \$31,492.60 | \$2.40 | \$35,652.00 | \$2.32 | \$34,463.60 | \$2.60 | \$38,623.00 |
| 10 | 6" Thick Type II Gravel Roadbase (Trail) | SF | 14,855 | \$1.15 | \$17,083.25 | \$1.60 | \$23,768.00 | \$1.16 | \$17,231.80 | \$1.76 | \$26,144.80 | \$1.00 | \$14,855.00 | \$2.00 | \$29,710.00 | \$1.90 | \$28,224.50 |
| 11 | Shoulder Type II Gravel Road Base | SF | 7,430 | \$1.45 | \$10,773.50 | \$1.50 | \$11,145.00 | \$1.14 | \$8,470.20 | \$2.03 | \$15,082.90 | \$1.10 | \$8,173.00 | \$2.00 | \$14,860.00 | \$2.20 | \$16,346.00 |
| 12 | 4" Concrete Flatwork with Roadbase | SF | 260 | \$12.00 | \$3,120.00 | \$14.00 | \$3,640.00 | \$14.49 | \$3,767.40 | \$12.15 | \$3,159.00 | \$3.90 | \$1,014.00 | \$14.40 | \$3,744.00 | \$11.00 | \$2,860.00 |
| 13 | Trail ADA Ramp with Saw Cuts | LS | 1 | \$2,400.00 | \$2,400.00 | \$5,250.00 | \$5,250.00 | \$3,227.12 | \$3,227.12 | \$4,620.00 | \$4,620.00 | \$2,600.00 | \$2,600.00 | \$1,800.00 | \$1,800.00 | \$5,000.00 | \$5,000.00 |
| 14 | Trail Pavement Markings | LS | 1 | \$600.00 | \$600.00 | \$600.00 | \$600.00 | \$557.05 | \$557.05 | \$1,000.00 | \$1,000.00 | \$605.00 | \$605.00 | \$600.00 | \$600.00 | \$580.00 | \$580.00 |
| 15 | Signs Plaques on Wood Posts | Each | 7 | \$350.00 | \$2,450.00 | \$350.00 | \$2,450.00 | \$321.54 | \$2,250.78 | \$400.00 | \$2,800.00 | \$510.00 | \$3,570.00 | \$3,720.00 | \$26,040.00 | \$522.00 | \$3,654.00 |
| 16 | Wood Post Fence (Triple Rail)/ with Metal Wire | LF | 40 | \$42.00 | \$1,680.00 | \$41.50 | \$1,660.00 | \$53.77 | \$2,150.80 | \$39.50 | \$1,580.00 | \$46.00 | \$1,840.00 | \$42.96 | \$1,718.40 | \$43.00 | \$1,720.00 |
| | | | | TOTAL | | \$71,354.00 | | \$90,629.00 | | \$85,042.00 | | \$105,879.30 | | \$88,559.00 | | \$121,239.40 | |
| Washington Dam Rd to Silver Falls Dr | | | | | | | | | | | | | | | | | |
| 17 | Earthwork/Import/Rework | LS | 1 | \$1,200.00 | \$1,200.00 | \$4,400.00 | \$4,400.00 | \$17,109.01 | \$17,109.01 | \$23,485.00 | \$23,485.00 | \$15,950.00 | \$15,950.00 | \$3,678.00 | \$3,678.00 | \$25,000.00 | \$25,000.00 |
| 18 | Remove Existing Fence/Gate (Approx. 12') (North End) | LS | 1 | \$1,050.00 | \$1,050.00 | \$1,000.00 | \$1,000.00 | \$604.58 | \$604.58 | \$1,000.00 | \$1,000.00 | \$1,100.00 | \$1,100.00 | \$1,074.00 | \$1,074.00 | \$700.00 | \$700.00 |
| 19 | Remove Existing Fence & Headwall (Approx. 15')(South End) | LS | 1 | \$1,050.00 | \$1,050.00 | \$1,600.00 | \$1,600.00 | \$1,684.59 | \$1,684.59 | \$800.00 | \$800.00 | \$3,650.00 | \$3,650.00 | \$600.00 | \$600.00 | \$820.00 | \$820.00 |
| 20 | 6" Thick Type II Gravel Roadbase (Trail) | SF | 27,670 | \$1.15 | \$31,820.50 | \$1.60 | \$44,272.00 | \$1.22 | \$33,757.40 | \$1.76 | \$48,699.20 | \$1.00 | \$27,670.00 | \$2.00 | \$55,340.00 | \$1.90 | \$52,573.00 |
| 21 | Bike Chicane | LS | 1 | \$7,150.00 | \$7,150.00 | \$7,000.00 | \$7,000.00 | \$14,521.54 | \$14,521.54 | \$7,950.00 | \$7,950.00 | \$19,600.00 | \$19,600.00 | \$7,329.60 | \$7,329.60 | \$10,000.00 | \$10,000.00 |
| 22 | Trail Pavement Markings | LS | 1 | \$1,250.00 | \$1,250.00 | \$1,200.00 | \$1,200.00 | \$1,144.21 | \$1,144.21 | \$1,250.00 | \$1,250.00 | \$1,400.00 | \$1,400.00 | \$1,368.00 | \$1,368.00 | \$1,400.00 | \$1,400.00 |
| 23 | Signs Plaques on Wood Posts | Each | 4 | \$350.00 | \$1,400.00 | \$350.00 | \$1,400.00 | \$321.54 | \$1,286.16 | \$400.00 | \$1,600.00 | \$515.00 | \$2,060.00 | \$1,200.00 | \$4,800.00 | \$550.00 | \$2,200.00 |

2025 CANAL TRAILS

| No. | Item | Unit | Quantity | INTERSTATE ROCK PRODUCTS | | WHITAKER CONSTRUCTION | | COMPETITIVE EXCAVATION INC | | CALIBER CONTRACTOR LLC | | M&T ENTERPRISES LLC | | WRX CONTRACTING | | PROGRESSIVE CONTRACTING INC | |
|---|---|------|----------|--------------------------|-------------|-----------------------|-------------|----------------------------|--------------|------------------------|-------------|---------------------|--------------|---------------------|--------------|-----------------------------|-------------|
| | | | | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price | Unit Price | Total Price |
| 24 | Wood Post Fence (Triple Rail)/ with Metal Wire | LF | 1,270 | \$37.50 | \$47,625.00 | \$37.00 | \$46,990.00 | \$34.57 | \$43,903.90 | \$35.36 | \$44,907.20 | \$45.00 | \$57,150.00 | \$39.78 | \$50,520.60 | \$39.00 | \$49,530.00 |
| 25 | Wood Post Fence (Gates)(3 Gates) | LS | 1 | \$2,600.00 | \$2,600.00 | \$2,600.00 | \$2,600.00 | \$3,226.17 | \$3,226.17 | \$2,500.00 | \$2,500.00 | \$2,750.00 | \$2,750.00 | \$2,694.00 | \$2,694.00 | \$700.00 | \$700.00 |
| 26 | Re-Collar Existing Valve | Each | 1 | \$570.00 | \$570.00 | \$700.00 | \$700.00 | \$984.05 | \$984.05 | \$850.00 | \$850.00 | \$670.00 | \$670.00 | \$1,200.00 | \$1,200.00 | \$730.00 | \$730.00 |
| Phases 1,3,5 Asphalt | | | | | | | | | | | | | | | | | |
| 27 | 10' Trail 2.5" Thick Asphalt (Voidless Asphalt Mix) | SF | 24,325 | \$1.95 | \$47,433.75 | \$2.20 | \$53,515.00 | \$2.18 | \$53,028.50 | \$2.13 | \$51,812.25 | \$2.40 | \$58,380.00 | \$2.32 | \$56,434.00 | \$2.60 | \$63,245.00 |
| 28 | Shoulder Type II Gravel Road Base | SF | 4,865 | \$1.45 | \$7,054.25 | \$1.50 | \$7,297.50 | \$1.27 | \$6,178.55 | \$2.03 | \$9,875.95 | \$1.00 | \$4,865.00 | \$2.00 | \$9,730.00 | \$2.30 | \$11,189.50 |
| Phases 2,4 Asphalt | | | | | | | | | | | | | | | | | |
| 29 | 10' Trail 2.5" Thick Asphalt (Voidless Asphalt Mix) | SF | 3,345 | \$1.95 | \$6,522.75 | \$2.70 | \$9,031.50 | \$2.64 | \$8,830.80 | \$2.56 | \$8,563.20 | \$2.80 | \$9,366.00 | \$2.80 | \$9,366.00 | \$2.60 | \$8,697.00 |
| 30 | Shoulder Type II Gravel Road Base | SF | 670 | \$1.45 | \$971.50 | \$1.50 | \$1,005.00 | \$1.28 | \$857.60 | \$2.05 | \$1,373.50 | \$1.00 | \$670.00 | \$2.00 | \$1,340.00 | \$2.30 | \$1,541.00 |
| TOTAL | | | | \$157,697.75 | | \$182,011.00 | | \$187,117.06 | | \$204,666.30 | | \$205,281.00 | | \$205,474.20 | | \$228,325.50 | |
| Silver Falls Dr to Lost Ridge Dr | | | | | | | | | | | | | | | | | |
| 31 | Earthwork/Import/Rework (3,464 C.Y.) Approx. | LS | 1 | \$96,400.00 | \$96,400.00 | \$95,000.00 | \$95,000.00 | \$135,022.62 | \$135,022.62 | \$79,783.00 | \$79,783.00 | \$126,000.00 | \$126,000.00 | \$103,920.00 | \$103,920.00 | \$85,000.00 | \$85,000.00 |
| 32 | Topsoil Remove and Replace (Approx. 6") | SF | 33,610 | \$0.15 | \$5,041.50 | \$0.30 | \$10,083.00 | \$0.22 | \$7,394.20 | \$1.10 | \$36,971.00 | \$0.50 | \$16,805.00 | \$0.89 | \$29,912.90 | \$1.20 | \$40,332.00 |
| 33 | Remove Existing Fence & Headwall (Approx. 15')(North) | LS | 1 | \$1,050.00 | \$1,050.00 | \$1,600.00 | \$1,600.00 | \$1,886.18 | \$1,886.18 | \$850.00 | \$850.00 | \$2,550.00 | \$2,550.00 | \$1,800.00 | \$1,800.00 | \$700.00 | \$700.00 |
| 34 | Remove Existing Fence & Column (South) | LS | 1 | \$580.00 | \$580.00 | \$2,100.00 | \$2,100.00 | \$2,229.11 | \$2,229.11 | \$850.00 | \$850.00 | \$3,100.00 | \$3,100.00 | \$600.00 | \$600.00 | \$580.00 | \$580.00 |
| 35 | Remove & Replace Existing Gates (2 Locations) | LS | 1 | \$2,900.00 | \$2,900.00 | \$2,900.00 | \$2,900.00 | \$2,258.86 | \$2,258.86 | \$2,750.00 | \$2,750.00 | \$4,250.00 | \$4,250.00 | \$4,200.00 | \$4,200.00 | \$7,000.00 | \$7,000.00 |
| 36 | 12"PVC SDR-35 Pipe and Inlet Box (Beehive Grate) | LS | 1 | \$1,850.00 | \$1,850.00 | \$7,500.00 | \$7,500.00 | \$3,129.80 | \$3,129.80 | \$2,750.00 | \$2,750.00 | \$3,800.00 | \$3,800.00 | \$4,800.00 | \$4,800.00 | \$3,000.00 | \$3,000.00 |
| 37 | Irrigation Line Removal & Replacement | LS | 1 | \$5,050.00 | \$5,050.00 | \$11,000.00 | \$11,000.00 | \$15,445.98 | \$15,445.98 | \$14,003.00 | \$14,003.00 | \$10,900.00 | \$10,900.00 | \$8,400.00 | \$8,400.00 | \$15,000.00 | \$15,000.00 |
| 38 | 2.5" Thick Asphalt (Voidless Asphalt Mix) (Trail) | SF | 14,650 | \$1.95 | \$28,567.50 | \$2.20 | \$32,230.00 | \$2.19 | \$32,083.50 | \$2.13 | \$31,204.50 | \$2.40 | \$35,160.00 | \$2.32 | \$33,988.00 | \$2.60 | \$38,090.00 |
| 39 | 6" Thick Type II Gravel Roadbase (Trail) | SF | 14,650 | \$1.15 | \$16,847.50 | \$1.60 | \$23,440.00 | \$1.18 | \$17,287.00 | \$1.76 | \$25,784.00 | \$1.00 | \$14,650.00 | \$2.00 | \$29,300.00 | \$1.96 | \$28,714.00 |
| 40 | Shoulder Type II Gravel Road Base | SF | 10,375 | \$1.45 | \$15,043.75 | \$1.50 | \$15,562.50 | \$1.16 | \$12,035.00 | \$2.03 | \$21,061.25 | \$1.00 | \$10,375.00 | \$2.00 | \$20,750.00 | \$2.30 | \$23,862.50 |
| 41 | Trail Pavement Markings | LS | 1 | \$920.00 | \$920.00 | \$900.00 | \$900.00 | \$850.63 | \$850.63 | \$1,000.00 | \$1,000.00 | \$1,150.00 | \$1,150.00 | \$1,140.00 | \$1,140.00 | \$1,200.00 | \$1,200.00 |
| 42 | Signs Plaques on Wood Posts | Each | 6 | \$350.00 | \$2,100.00 | \$350.00 | \$2,100.00 | \$321.54 | \$1,929.24 | \$400.00 | \$2,400.00 | \$515.00 | \$3,090.00 | \$1,740.00 | \$10,440.00 | \$522.00 | \$3,132.00 |
| 43 | Wood Post Fence (Triple Rail)/ with Metal Wire | LF | 1,430 | \$37.50 | \$53,625.00 | \$37.00 | \$52,910.00 | \$32.23 | \$46,088.90 | \$35.36 | \$50,564.80 | \$45.00 | \$64,350.00 | \$39.78 | \$56,885.40 | \$37.10 | \$53,053.00 |
| 44 | Wood Post Fence (Gates)(3 Gates) | LS | 1 | \$2,000.00 | \$2,000.00 | \$1,900.00 | \$1,900.00 | \$2,150.78 | \$2,150.78 | \$2,000.00 | \$2,000.00 | \$2,050.00 | \$2,050.00 | \$2,040.00 | \$2,040.00 | \$7,540.00 | \$7,540.00 |
| TOTAL | | | | \$231,975.25 | | \$259,225.50 | | \$279,791.80 | | \$271,971.55 | | \$298,230.00 | | \$308,176.30 | | \$307,203.50 | |
| George Washington BLVD to 3930 South | | | | | | | | | | | | | | | | | |
| 45 | Earthwork/Import/Rework | LS | 1 | \$1,500.00 | \$1,500.00 | \$6,000.00 | \$6,000.00 | \$11,716.15 | \$11,716.15 | \$14,850.00 | \$14,850.00 | \$5,700.00 | \$5,700.00 | \$4,134.00 | \$4,134.00 | \$15,660.00 | \$15,660.00 |
| 46 | Remove Existing Fence (2 Places) | LS | 1 | \$1,150.00 | \$1,150.00 | \$1,600.00 | \$1,600.00 | \$922.78 | \$922.78 | \$1,000.00 | \$1,000.00 | \$2,750.00 | \$2,750.00 | \$600.00 | \$600.00 | \$1,400.00 | \$1,400.00 |
| 47 | 2.5" Thick Asphalt (Voidless Asphalt Mix) (Trail) | SF | 15,280 | \$1.95 | \$29,796.00 | \$2.20 | \$33,616.00 | \$2.19 | \$33,463.20 | \$2.13 | \$32,546.40 | \$2.40 | \$36,672.00 | \$2.32 | \$35,449.60 | \$2.60 | \$39,728.00 |
| 48 | 6" Thick Type II Gravel Roadbase (Trail) | SF | 15,280 | \$1.15 | \$17,572.00 | \$1.60 | \$24,448.00 | \$1.19 | \$18,183.20 | \$1.76 | \$26,892.80 | \$1.00 | \$15,280.00 | \$1.20 | \$18,336.00 | \$2.00 | \$30,560.00 |
| 49 | Shoulder Type II Gravel Road Base | SF | 3,060 | \$1.45 | \$4,437.00 | \$1.50 | \$4,590.00 | \$1.24 | \$3,794.40 | \$2.03 | \$6,211.80 | \$1.00 | \$3,060.00 | \$1.20 | \$3,672.00 | \$2.30 | \$7,038.00 |
| 5 | | | | | | | | | | | | | | | | | |

Historic Canal Trail Bid Approval Briefing Document

Description: Parks Department is requesting the award of the bid to Interstate Rock Products in the amount of \$619,577 for the construction of three additional sections of the Historic Canal Trail.

Presenter: Paul Walker

Submitted By: Paul Walker

Background Information: Bids were received for this project on July 23rd. A total of 7 bids were received. Interstate Rock Projects were the lowest qualified bidder.

Impacted Fund: Park Impact Fee Fund

Recommendation: Staff recommends approval of the bid award to Interstate Rock Products.

**WASHINGTON CITY
CITY COUNCIL MEETING
STAFF REVIEW**

HEARING DATE: August 13, 2025

ACTION REQUESTED: Adoption of an amended ordinance for the Stormwater Program

APPLICANT: Public Works

REVIEWED BY: John Hehnke; New Development Manager

Background

During the State of Utah's audit of our stormwater program, a review was completed of the various ordinances passed by Washington City for our stormwater program. As part of the State's findings, it was determined that our ordinances were deficient.

The major deficiency noted is that the various ordinances were not in effect as they were not included as part of the codified ordinances. The various ordinances had been passed by the city council but never made a part of the codified ordinances of Washington City.

The previous ordinances were:

2009-15 An Ordinance Establishing Methods for controlling Introduction of Pollutants into the City Storm Sewer System to Comply with Federal Requirements

2012-07: An Ordinance to Establish Requirements for the Maintenance of Storm Water Facilities to Comply with Federal Requirements

2020-16: An Ordinance Amending the Washington City Code by Replacing Chapter 7 (Postconstruction Stormwater Management) of Title 8 (Building Codes and Construction Regulations) in order to comply with current Federal and State Requirements.

2022-36: An Ordinance Amending and Adopting the Washington City Grading, Erosion, and Sediment Control (GESC) Manual

In order to address the audit deficiency, staff has created the following single ordinance to incorporate all of the stormwater requirements into an amended section within the codified ordinances under Title 8 (Building Codes and Construction Regulations) Chapter 7. This ordinance reflects the combination of the above ordinances as well as revisions to update language to meet current permit requirements and state statutes.

This amended ordinance is one of our August submissions required to comply with the audit findings and bring our stormwater program into compliance.

SECTION 8-7-1: GENERAL PROVISIONS

A. Purpose: It is the purpose of this chapter to:

1. Protect, maintain, and enhance the environment of Washington City.
2. Establish responsibilities for controlling and managing stormwater runoff.
3. Protect the public health, safety and the general welfare of the city and its inhabitants by controlling discharges of pollutants to the city's stormwater facilities and to maintain and improve the quality of the receiving waters into which the stormwater outfalls flow, including, but not limited to, lakes, rivers, streams, ponds, wetlands, and groundwater of the city.
4. Enable the city to comply with the most current National Pollution Discharge Elimination System permit (NPDES) and applicable regulations, 40 CFR section 122.26 for stormwater discharges and the state of Utah, Department of Environmental Quality, Utah Pollution Discharge Elimination System (UPDES) stormwater general permits which include: general stormwater permit for construction activity connected with single-lot housing projects; general permit for stormwater discharges from construction activities; and general permit for discharges from small municipal separate storm sewer systems (MS4s).
5. Allow the city to exercise the powers granted by Utah code, which provides that, among other powers municipalities have with respect to stormwater facilities, the power by ordinance or resolution to:
 - a. Exercise general regulation over the planning, location, construction, operation and maintenance of stormwater facilities in the municipality, whether or not owned and operated by the municipality;
 - b. Adopt any rules and regulations deemed necessary to accomplish the purposes of this chapter, including the adoption of a system of fees for services and permits;
 - c. Establish standards to regulate the quantity of stormwater discharged and to regulate stormwater contaminants as may be necessary to protect water quality;
 - d. Review and approve plans and plats for stormwater management in proposed subdivisions or commercial developments;
 - e. Issue permits for stormwater discharges, or for the construction, alteration, extension, or repair of stormwater facilities;
 - f. Suspend or revoke permits when it is determined that the permittee has violated any applicable ordinance, resolution, or condition of the permit;
 - g. Regulate and prohibit discharges into stormwater facilities of sanitary, industrial, or commercial sewage or waters that have otherwise been contaminated;
 - h. Expend funds to remediate or mitigate the detrimental effects of contaminated land or other sources of stormwater contamination, whether public or private; and
 - i. Establish a viable and fair method of financing the construction, operation and maintenance of the stormwater facilities.

B. Administering Entity: Washington City shall administer the provisions of this chapter. Nothing in this chapter shall relieve any person from responsibility for damage to other persons or property, nor impose upon Washington City, its officers, agents or employees, any liability for damage to other persons or property.

SECTION 8-7-2: DEFINITIONS

For the purpose of this chapter, the definitions in section 8-6-2 shall apply in this chapter as well as the following definitions:

BEST MANAGEMENT PRACTICES (BMPs): Physical, structural, and/or managerial practices that, when used singly or in combination, prevent or reduce pollution of water, that have been approved by

Washington City and that have been incorporated by reference into this chapter as if fully set out therein. For purposes of this title, the relevant BMPs are more particularly defined in the Washington City stormwater management program and city of Washington "Standard Specifications For Design And Construction."

CHANNEL: A natural or artificial watercourse with a definite bed and banks that conducts flowing water continuously or periodically.

WASHINGTON CITY: Washington City or authorized designee.

CITY STORM WATER FACILITIES: Storm systems that receive runoff from public rights-of-way, natural waterways, and drainage systems identified in a city easement.

COMMON PLAN OF DEVELOPMENT OR SALE: a plan to subdivide a parcel of land into separate parts for separate sale. This can be for residential, commercial, or industrial development. The plan originates as a single parcel that is separated into parts. This usually goes through an approval process by a local governmental unit, but in some cases, it may not require that process. The original plan is considered the "common plan of development or sale" whether phased or completed in steps.

CONTAMINANT: Any unnatural, physical, chemical, biological, or radiological substance or matter in water.

DISCHARGE: Dispose, deposit, spill, pour, inject, seep, dump, leak or place by any means including any direct or indirect entry of any solid or liquid matter into the municipal separate stormwater facilities.

EASEMENT: An acquired privilege or right of use or enjoyment that a person, party, firm, corporation, municipality or other legal entity has in the land of another.

EROSION: The removal of soil particles by the action of water, wind, ice or other geological agents, whether naturally occurring or acting in conjunction with or promoted by anthropogenic activities or effects (human cause).

EROSION AND SEDIMENT CONTROL PLAN: A written plan (including drawings or other graphic representations) that is designed to minimize the accelerated erosion and sediment runoff at a site during construction activities.

GRADING PERMIT: A permit issued by Washington City to allow grading of a property.

ILLICIT CONNECTION: Illegal or unauthorized connections to the municipal separate storm sewer system whether or not such connections result in discharges into that system.

ILLICIT DISCHARGE: Any discharge to a municipal separate storm sewer that is not composed entirely of stormwater except discharges pursuant to a UPDES Permit (other than the UPDES Permit for discharges from the municipal separate storm sewer) to waters of the state.

IMMEDIATELY: Requires owner/operator to, on the same day a condition requiring corrective action is found (or as soon afterward as possible considering normal work schedule and task size), take all reasonable steps to minimize or prevent the discharge of pollutants until a permanent solution is installed and made operational.

LAND DISTURBING/GRADING ACTIVITY: Any activity on property that results in a change in the existing soil cover (both vegetative and nonvegetative) and/or the existing soil topography. Land disturbing/grading activities include, but are not limited to, development, redevelopment, demolition, construction, reconstruction, clearing, grading, filling, and excavation.

LONG-TERM STORM WATER MANAGEMENT PLAN: A site-specific written document that identifies potential sources of stormwater pollution. It describes stormwater control measures and best management practices (BMPs) that will be used to reduce or eliminate pollutants in stormwater discharges into the city's MS4. It contains the procedures the owner will implement to comply with the terms and conditions of the stormwater maintenance agreement. The long-term stormwater management plan is required as a condition of the development plan approval and is required as part of the city's small MS4 UPDES general permit from the state of Utah.

MAINTENANCE: Any activity that is necessary to keep a stormwater facility in good working order so as to function as designed. Maintenance shall include complete reconstruction of a stormwater facility if reconstruction is needed in order to restore the facility to its original operational design parameters. Maintenance shall also include the correction of any problem on the site property that may directly impair the functions of the stormwater facility.

MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4): A conveyance or system of conveyances (including roads with drainage systems, municipal streets, catch basins, curbs, gutters, ditches, man-made channels, or storm drains) pursuant to paragraphs R317-8-1.6(4), (8), & (15), or designated under UAC R317-8-11.3(6)(a) and UAC R317-8-11.3(6)(b):

- that is owned or operated by a state, city, town, county, district, association, or other public body (created by or pursuant to State Law) having jurisdiction over disposal of wastes, stormwater, or other wastes, including special districts under State Law such as a sewer district, flood control district or drainage district, or similar entity, or a designated and approved management/agency under section 208 of the CWA that discharges to waters of the state;
- that is designed or used for collecting or conveying stormwater;
- which is not a combined sewer; and
- which is not part of a Publicly Owned Treatment Works (POTW) as defined in 40 CFR 122.2.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT OR NPDES PERMIT: The provisions of the Federal Clean Water Act for the control of stormwater discharges, also a permit issued pursuant to 33 USC section 1342.

NOTICE OF INTENT (NOI): Whenever a contractor disturbs one (1) acre or more of property, or less than one (1) acre if part of a common plan of development, an NOI through the state of Utah must be filed. This is a binding contract between the state of Utah and the contractor stating that the contractor will address stormwater and drainage issues on site and downstream throughout the duration of the project until the NOT is filed.

NOTICE OF TERMINATION (NOT): Whenever a contractor completes a project on one (1) acre or more of property, or less than one (1) acre if part of a common plan of development, it is the contractor's responsibility to maintain the stormwater and drainage controls until such time as the NOT is filed and accepted by the state of Utah and city of Washington.

NOTICE OF VIOLATION (NOV): Whenever Washington City finds that a person is in noncompliance with this chapter, Washington City may order compliance by written notice of violation to the responsible person. Requirements in this notice are at the discretion of Washington City, and may include monitoring, payment to cover costs relating to the noncompliance, and the implementation of best management practices.

PERSON: Any and all persons including any individual, firm or association and any municipal or private corporation organized or existing under the laws of this or any other state or country.

PROPERTY OWNER: Landowner of property within the boundary of Washington City.

REDEVELOPMENT: The replacement or improvement of impervious surfaces on a developed site.

SEDIMENT: Solid material, both mineral and organic, that is in suspension, is being transported, or has been moved from its site of origin by air, water, gravity, or ice and has come to rest on the earth's surface either above or below sea level.

SEDIMENTATION: Soil particles suspended in stormwater that can settle in streambeds and disrupt the natural flow of the stream.

STABILIZATION: Providing adequate measures, vegetative and/or structural, that will prevent erosion from occurring.

STORM WATER FACILITIES: The drainage structures, conduits, ditches, storm sewers, and all device appurtenances by means of which stormwater is collected, transported, pumped, treated or disposed of.

STORM WATER MAINTENANCE AGREEMENT: A document recorded in the Washington County recorder's office that acts as a property deed restriction, and which provides for long-term maintenance of stormwater management practices and will reference a long-term stormwater management plan. The stormwater maintenance agreement is required as a condition of the development plan approval and is required as part of the city's small MS4 UPDES general permit from the state of Utah.

STORM WATER MANAGEMENT: The programs to manage quality and quantity of stormwater runoff.

STORM WATER MANAGEMENT PROGRAM (SWMP): Washington City stormwater master program as adopted by the city.

STORM WATER POLLUTION PREVENTION PLAN (SWPPP): a site-specific, written document that, among other things: (1) identifies potential sources of storm water pollution at the construction site; (2) describes storm water control measures to reduce or eliminate pollutants in storm water discharges from the construction site; and (3) identifies procedures the operator will implement to comply with the terms and conditions of this Permit.

STORM WATER RUNOFF: stormwater runoff from precipitation, snowmelt, and surface runoff and drainage.

STRUCTURAL BMPs: Devices that are constructed or installed to provide control of stormwater runoff.

SURFACE WATER: Includes waters upon the surface of the earth in bounds created naturally or artificially including, but not limited to, streams, other watercourses, lakes and reservoirs.

UPDES: Utah Pollution Discharge Elimination System.

WATERCOURSE: A permanent or intermittent stream or other body of water, either natural or manmade, which gathers or carries surface water.

WATERS OF THE STATE: Means all streams, lakes, ponds, marshes, water-courses, waterways, wells, springs, irrigation systems, drainage systems, and all other bodies or accumulations of water, surface and underground, natural or artificial, public or private which are contained within, flow through, or border upon this state or any portion thereof, except bodies of water confined to and retained within the limits of private property, and which do not develop into or constitute a nuisance, or a public health hazard, or a menace to fish and wildlife which shall not be considered to be "waters of the state" under this definition ("UAC" R317-1-1).

SECTION 8-7-3: GRADING PERMITS

Engineers, Contractors, etc. shall follow all requirements of the most recently approved and adopted Washington City Grading, Erosion, and Sediment Control (GESC) Manual.

SECTION 8-7-4: STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NOTICE OF INTENT (NOI)

Contractors, applicants, etc. shall adhere to the requirements for construction site stormwater as laid out in state law *19-5-108.3 Construction site stormwater runoff control*.

All persons grading or disturbing one (1) acre or more, or less than an acre if part of a common plan of development, shall obtain a notice of intent (NOI) through the state of Utah. This form requires that a stormwater pollution prevention plan (SWPPP) is submitted for review and approval from Washington City. The NOI and SWPPP shall be signed by both the owner and the operator.

The SWPPP must be developed and be consistent with the most current UPDES stormwater general permit for construction activities.

SECTION 8-7-5: STORMWATER FACILITIES DESIGN AND MANAGEMENT STANDARDS

Engineers, architects, contractors, etc. shall follow all requirements of the most recently approved and adopted Washington City Construction Design Standards and Details and the Washington City Grading, Erosion, and Sediment Control (GESC) Manual.

SECTION 8-7-6: POST-CONSTRUCTION

A. Applicability

1. In General. This Ordinance shall apply to any application for a building permit, subdivision approval, site plan approval or other zoning, planning or land use approval that is filed on or after the date of adoption for any *New Development* or *Redevelopment* within the *Municipality* that *Discharges Stormwater* to the *Municipality's MS4* and to associated *Stormwater Management Facilities*.
2. Exception. This Ordinance does not apply to *New Development* or *Redevelopment* on a lot, tract or parcel where that lot, tract or parcel is part of a subdivision that is approved under this Ordinance; said lot, tract or parcel shall not require separate review under this Ordinance, but shall comply with the *Post-Construction Stormwater Management Plan* requirements for that approved subdivision.

B. Post-Construction Stormwater Management Plan Approval

1. General Requirement. Except as provided in Section 5.B. above, no *Applicant* for a building permit, subdivision approval, site plan approval or other land use approval for *New Development* or *Redevelopment* to which this Ordinance is applicable shall receive such permit or approval for that *New Development* or *Redevelopment* unless the *Municipal Permitting Authority* for that *New Development* or *Redevelopment* also determines that the *Applicant's Post-Construction Stormwater Management Plan* for that *New Development* or *Redevelopment* meets the requirements of this Ordinance and the Maintenance Agreement has been recorded in the office of the Washington County Recorder.

C. Standards

1. Stormwater Management Plan Required. The *Applicant* shall make adequate provision for the management of the quantity and quality of all *stormwater* generated by the *New Development* or *Redevelopment* through a *Post-Construction Stormwater Management Plan*. This *Post-Construction Stormwater Management Plan* shall be designed by a Professional Engineer to meet the standards contained in the Grading Manual and must

include evaluation of *Low Impact Development* as well as fully comply with all practices described in the Storm Water General Permit.

2. Stormwater Maintenance Agreement Required. Where the *Applicant* proposes to retain ownership of the *Stormwater Management Facilities* shown in its *Post-Construction Stormwater Management Plan*, the *Applicant* shall submit to the *Municipality* documentation, approved as to legal sufficiency by the *Municipality*'s attorney that the *Applicant*, its successors, heirs and assigns shall have the legal obligation and the resources available to operate, repair, maintain and replace the *stormwater management facilities*. Applications for *New Development* or *Redevelopment* requiring *Stormwater Management Facilities* shall enter into a Maintenance Agreement with the *Municipality*.
3. Location of Facilities. The *Applicant* may meet the quantity and quality standards above either on-site or off-site, but where off-site facilities are used, the *Applicant* must submit to the *Municipality* documentation, approved as to legal sufficiency by the *Municipality*'s attorney, that the *Applicant* has a sufficient property interest in the property where the off-site facilities are located -- by easement, covenant or other appropriate legal instrument -- to ensure that the facilities will be able to provide post-construction *stormwater management* for the *New Development* or *Redevelopment* and that the property will not be altered in a way that interferes with the off-site facilities.
4. Easements and Dedications. Whenever elements of the *Stormwater Management Facilities* are not within the right-of-way of a public street and the facilities will not be offered to the *Municipality* for acceptance as public facilities, the *Municipal Permitting Authority* may require that perpetual easements conforming substantially with the lines of existing natural drainage, and in a form acceptable to the *Municipality*'s attorney, shall be provided to the *Municipality* allowing access for maintenance, repair, replacement and improvement of the *Stormwater Management Facilities*. When an offer of dedication is required by the *Municipal Permitting Authority*, the *Applicant* shall be responsible for the maintenance of these *Stormwater Management Facilities* under this Ordinance until such time (if ever) as they are accepted by the *Municipality*.
5. Standards to Minimize Impacts on Water Quality: New development and redevelopment projects must have requirements or standards to ensure that any stormwater controls or management practices will prevent or minimize impacts to water quality.
6. Standards to Minimize Development In Susceptible Areas: New development and redevelopment projects include nonstructural BMPs such as requirements and standards to minimize development in areas susceptible to erosion and sediment loss; to minimize the disturbance of native soils and vegetation; to preserve areas in the municipality that provide important water quality benefits; to implement measures for flood control; and to protect the integrity of natural resources and sensitive areas.
7. Projects Greater than or Equal to One (1) Acre: Newly developed and redeveloped projects that disturb greater than or equal to one (1) acre, including projects less than one (1) acre that are of a larger common plan of development or sale, are required to submit a low impact development (LID) approach to be evaluated by Washington City. An LID approach promotes the implementation of BMPs that allow stormwater to infiltrate, evapotranspire or harvest and use stormwater on site to reduce runoff from the site and protect water quality. Guidance for implementing LID can be found in state of Utah DWQ's LID controls which are appropriate for use in the state of Utah and can be found in "A Guide to Low Impact Development within Utah" (the Guide), available on DWQ's website or "Green Infrastructure and Low Impact Development Application Guidance for Washington County, Utah," available from Washington City.

8. Specific Criteria: Newly developed and redeveloped projects must meet specific criteria which require that best management practices (BMPs) are designed to manage rainfall on site, and prevent the off-site discharge of the precipitation from all rainfall events less than or equal to the eightieth (80th) percentile rainfall event or a predevelopment hydrologic condition, whichever is less. This objective must be accomplished by the use of practices that are designed, constructed, and maintained to infiltrate, evapotranspire and/or harvest and reuse rainwater, and must be incorporated into the permittee's development plans and long-term stormwater management plan which includes the LID approach. If meeting the eightieth (80th) percentile standard is infeasible an alternative design approach may be used; provided, that the permittee documents that infiltration, evapotranspiration, and rainwater harvesting have been used to the maximum extent feasible and that full employment of these controls is infeasible due to constraints. For guidance including alternative design approaches, see "A Guide to Low Impact Development within Utah" published by the DWQ, and "Green Infrastructure and Low Impact Development Application Guidance for Washington County, Utah."
9. Redevelopment: Redevelopment projects that increase impervious surface by greater than 10% must prevent the off-site discharge of the net increase in stormwater volume associated with precipitation from all rainfall events that are less than or equal to the 80th percentile rainfall event.
10. Stabilization Requirements: Any area that has been disturbed by grading activity shall be stabilized according to a schedule provided by the contractor or the owner/operator and approved by Washington City. A plan must be submitted with the final design describing the vegetative or other stabilization and management techniques to be used at a site. This plan will explain not only how the site will be stabilized, but who will be responsible for the maintenance of vegetation or other stabilization at the site, and what practices will be employed to ensure that adequate cover is preserved. A long-term stormwater management plan and a post-construction stormwater agreement are required prior to the issuance of a grading permit.
11. Engineering and Administrative Fees. At the time of application, the *Applicant* shall pay to the *Municipality* a fee as reflected on the Washington City Master Fee Schedule for the review of the proposal unless it is determined by the Public Works Department that a third party review of the proposal is necessary. If it is determined that a third party review is necessary an estimate will be provided to the owner for payment prior to review by a third party.

In addition, any *persons* required to file an annual certification under Section 8-7-5(D) of this Ordinance shall pay, prior to the issuance of any temporary or permanent certificate of compliance for the *New Development* or *Redevelopment*, a fee as reflected on the Washington City Master Fee Schedule for review of the annual certification.

12. Notice of *BMP Discharge* to *Municipality's MS4*. At the time of application, the *Applicant* shall notify the *Municipal Permitting Authority* if its *Post-Construction Stormwater Management Plan* includes any *BMP(s)* that will *discharge* to the *Municipality's MS4* and shall include in this notification a listing of which *BMP(s)* will so *discharge*.
13. As-Built Certification. Prior to the issuance of a Certificate of Compliance for a project requiring a *Post-Construction Stormwater Management Plan* under this ordinance, the *Applicant* shall submit evidence in the form of a letter or plan prepared and stamped by a Professional Engineer who either prepared the *Post-Construction Stormwater Management Plan* and its associated Facilities or supervised the Plan and Facilities construction and implementation. The letter or plan shall certify that the *Stormwater Management Facilities* have been installed in accordance with the approved *Post-Construction Stormwater Management Plan* and that they will function as intended

by said Plan. This certification must specifically include any *LID* measures incorporated into the *Post-Construction Stormwater Management Plan* and the as constructed volume of each toward the 80th percentile retention requirement. Any *LID* features to be constructed at a later date (such as facilities on individual building lots) shall be specifically approved by the City Council at the time of preliminary plat. If the *LID* proposal is approved, the requirements of such facility shall record as a deed restriction against the property and have notes placed upon the final plat describing the specific requirements for said features.

14. Conflict with State Laws or Rules. In addition to any other applicable requirements of this Ordinance and the *Municipality's* land use ordinances, any *New Development* or *Redevelopment* which also requires a *stormwater* management permit from the State of Utah Department of Environmental Quality (DEQ) shall comply with the rules adopted by DEQ, as the same may be amended from time to time, and the *Applicant* shall document such compliance to the *Municipal Permitting Authority*. Where the standards or other provisions of such *stormwater* rules conflict with municipal ordinances, the stricter (more protective) standard shall apply.

D. Post-Construction Stormwater Management Plan Compliance

1. General Requirements. Any *Person* owning, operating, leasing or having control over *Stormwater Management Facilities* required by a *Post-Construction Stormwater Management Plan* approved under this Ordinance, and the Facilities are located in the *Municipality* and *Discharge Stormwater* to the *Municipality's* MS4, shall at their own expense demonstrate compliance with that Plan as follows.
 - a. Scope of Inspection. A *Qualified Post-construction Stormwater Inspector* shall, at least annually, inspect the *Stormwater Management Facilities*, including but not limited to any parking areas, catch basins, *LID* features, drainage swales, detention basins and ponds, pipes and related structures, in accordance with all municipal and state inspection requirements, cleaning and maintenance requirements of the approved *Post-Construction Stormwater Management Plan*.
 - b. Deficiencies Identified. If the *Stormwater Management Facilities* require maintenance or repair to function as intended by the approved *Post-Construction Stormwater Management Plan*, that *Person* shall take or cause to be taken corrective action(s) to address the deficiency or deficiencies.
 - c. Submission of Inspection Form. A *Qualified Post-construction Stormwater Inspector* shall, on or before July 1 of each year, provide a completed and signed certification to the Public Works Department in a form identical to that attached as Appendix 1 to this Ordinance, certifying that he/she has inspected the *Stormwater Management Facilities* and that they are adequately maintained and functioning as intended by the approved *Post-Construction Stormwater Management Plan*, or that they require maintenance or repair, describing any required maintenance and any deficiencies found during inspection of the *Stormwater Management Facilities* and, if the *Stormwater Management Facilities* require maintenance or repair of deficiencies in order to function as intended by the approved *Post-Construction Stormwater Management Plan*, the *Person* shall provide a record of the required maintenance or deficiency and corrective action(s) taken.
2. Right of Entry. In order to determine compliance with this Ordinance and with the *Post-Construction Stormwater Management Plan*, the *Enforcement Authority* may enter upon property at reasonable hours with the consent of the owner, occupant or agent to inspect the *Stormwater Management Facilities*.

E. Enforcement

1. Enforcement Authority. The *Municipality* may issue notices of violation, stop work orders, citations, and impose civil penalties. The *Municipality* may complete periodic inspections

to ensure that the *Applicant's* chosen *Post-Construction Stormwater Management Facilities* are performing adequately. If facilities are not performing, the *Municipality* may require changes to be made to the *Post-Construction Stormwater Management Plan*.

2. Notification of Violation (NOV)
 - a. Written Notice. Whenever the *Municipality* finds that the *person* discharging *stormwater* has violated or is violating this Ordinance or a permit or order issued hereunder, the *Municipality* may serve upon such *person* written notice of the violation. Within ten (10) days of this notice, an explanation of the violation and a plan for the satisfactory correction and prevention thereof, to include specific required actions, shall be submitted to the *Municipality*. Submission of this plan in no way relieves the discharger of liability for any violations occurring before or after receipt of the notice of violation.
 - b. Consent Orders. The *Municipality* is empowered to enter into consent orders, assurances of voluntary compliance, or other similar documents establishing an agreement with the *person* responsible for the noncompliance. Such orders will include specific action to be taken by the *person* to correct the noncompliance within a time period also specified by the order. Consent orders shall have the same force and effect as administrative orders issued pursuant to subsection 2C and 2D of this section.
 - c. Show Cause Hearing. The *Municipality* may order any *person* who violates this Ordinance or permit or order issued hereunder, to show cause why a proposed enforcement action should not be taken. Notice shall be served on the *person* specifying the time and place for the meeting, the proposed enforcement action and the reasons for such action, and a request that the violator show cause why this proposed enforcement action should not be taken. The notice of the meeting shall be served personally or by mail.
 - d. Compliance Order. When the *Municipality* finds that any *person* has violated or continues to violate this Ordinance or a permit or order issued hereunder, they may issue an order to the violator directing that, following a specific time period, adequate structures or devices be installed or procedures implemented and properly operated. Orders may also contain such other requirements as might be reasonably necessary and appropriate to address the noncompliance, including the construction of appropriate structures, installation of devices, self-monitoring and management practices.
 - e. Cease and Desist Order. When the *Municipality* finds that any *person* has violated or continues to violate this Ordinance or any permit or order issued hereunder, the *Municipality* may issue an order to cease and desist all such violations and direct those persons in noncompliance to:
 1. Comply forthwith; or
 2. Take such appropriate remedial or preventative action as may be needed to properly address a continuing or threatened violation, including halting operations and terminating the discharge.
3. Conflicting Standards. Whenever there is a conflict between any standard contained in this Ordinance and in any other Local, State or Federal requirements, the strictest standard shall prevail.

F. Penalties

1. Violations. Any person who shall commit any act declared unlawful under this Ordinance, who violates any provision of this Ordinance, who violates the provisions of any permit issued pursuant to this Ordinance, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the *Municipality*, shall be guilty of a class B misdemeanor. Each day of violation shall constitute a separate violation.

G. Recovery of Damages and Costs

1. The municipality may recover:

- a. All damages caused by the violator to the *Municipality*, which may include any reasonable expenses incurred in investigating violations of, and enforcing compliance with this Ordinance, or any other actual damages caused by the violation.
- b. The costs of the *Municipality* maintenance of *Stormwater Management Facilities* when the user of such facilities fails to maintain them as required by this Ordinance.
 - 1. Other Remedies: The *Municipality* may bring legal action to enjoin the continuing violation of this chapter, and the existence of any other remedy, at law or equity, shall be no defense to any such actions.
 - 2. Remedies Cumulative: The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one or more of the remedies set forth herein has been sought or granted.

H. Appeals

- 1. Appeal. Any person aggrieved by the imposition of a civil penalty or damage assessment as provided by this ordinance may appeal said penalty or damage assessment to the administrative code enforcement administrative law judge.
- 2. Appeals to be in Writing. The appeal shall be in writing and filed with the Washington City recorder within fifteen (15) days after the civil penalty or damage assessment is served.
- 3. Upon Receipt of an Approval. The administrative law judge shall hold a hearing upon receipt of an appeal. Notice shall be provided to the appealing party at the address provided by the appealing party at the time of the appeal. The decision of the administrative law judge shall be the final municipal administrative decision.
- 4. Appealing Decisions of the Administrative Law Judge. Any alleged violator may appeal a decision of the administrative law judge pursuant to the applicable appeal provisions of the administrative law judge section of this code.

SECTION 8-7-7: ILLICIT DISCHARGES

A. Scope

- 1. This section shall apply to all water generated on developed or undeveloped land entering the city's separate storm sewer system.

B. Prohibition of Illicit Discharges:

- 1. No person shall introduce or cause to be introduced into the municipal separate storm sewer system any discharge that is not composed entirely of stormwater. The commencement, conduct or continuance of any non-stormwater, uncontaminated discharge to the municipal separate storm sewer system is prohibited except as described as follows:
 - a. Water line flushing or other potable water sources,
 - b. Landscape irrigation or lawn watering,
 - c. Diverted stream flows,
 - d. Rising groundwater,
 - e. Groundwater infiltration to storm drains,
 - f. Uncontaminated pumped groundwater,
 - g. Foundation or footing drains,
 - h. Crawl space pumps,
 - i. Air conditioning condensation,
 - j. Springs,

- k. Natural riparian habitat or wetland flows,
- l. Swimming pools (if dechlorinated – typically less than one (1) ppm chlorine),
- m. Firefighting activities, and
- n. Any other uncontaminated water source.
- o. Discharges specified in writing by Washington City as being necessary to protect public health and safety.
- p. Dye testing is an allowable discharge if Washington City has so specified in writing.
- q. The prohibition shall not apply to any non-stormwater discharge permitted under a UPDES permit, waiver, or waste discharge order issued to the discharger and administered under the authority of the State of Utah, Division of Water Quality; provided, that the discharger is in full compliance with all requirements of the permit, waiver, or order and other applicable laws and regulations; and provided, that written approval has been granted for any discharge to the storm drain system.

C. Prohibition of Illicit Connections

- 1. The construction, use, maintenance or continued existence of illicit connections to the separate municipal storm sewer system is prohibited.
- 2. This prohibition expressly includes, without limitation, illicit connections made in the past, regardless of whether the connection was permissible under law or practices applicable or prevailing at the time of connection.

D. Reduction Of Storm Water Pollutants By The Use Of Best Management Practices: Any person responsible for a property or premises, which is, or may be, the source of an illicit discharge, will be required to implement, at the person's expense, the BMPs necessary to prevent the further discharge of pollutants to the municipal separate storm sewer system. Compliance with all terms and conditions of a valid NPDES/UPDES permit authorizing the discharge of stormwater associated with industrial activity, to the extent practicable, shall be deemed in compliance with the provisions of this section.

E. WASTE DISPOSAL PROHIBITIONS. No person shall throw, deposit, leave, maintain, keep or permit to be thrown, deposited, left, or maintained, in or upon any public or private property, driveway, parking area, street, alley, sidewalk, component of the storm drain system or water of the U.S., any refuse, rubbish, garbage, litter, or other discarded or abandoned object, articles and accumulations so that same may contribute to pollution. Wastes deposited in streets in proper waste receptacles or for the purposes of citywide cleanup, no less than two days prior to said event, are exempted from this prohibition.

F. Notification Of Spills:

- 1. Notwithstanding other requirements of law, as soon as any person responsible for a facility or operation, or responsible for emergency response for a facility or operation has information of any known or suspected release of materials which are resulting in, or may result in, illicit discharges or pollutants discharging into the city stormwater facilities, the person shall take all necessary steps to ensure the discovery, containment, and cleanup of such release. In the event of such a release of hazardous materials the person shall immediately notify emergency response agencies of the occurrence via emergency dispatch services. In the event of a release of nonhazardous materials, the person shall notify Washington City in person or by telephone no later than the next business day.

Notifications in person or by telephone shall be confirmed by written notice addressed and mailed to Washington City within three (3) business days of the telephone notice. If the discharge of prohibited materials emanates from a commercial or industrial establishment, the owner or operator of such establishment shall also retain an on-site written record of the discharge and the actions taken to prevent its recurrence. Such records shall be retained for at least three (3) years.

G. Enforcement Authority: Consistent with the most current state of Utah Department of Environmental Quality, UPDES stormwater general permits which include: general stormwater permit for construction activity connected with single lot housing projects; general permit for stormwater discharges from construction activities; general permit for discharges from small municipal separate storm sewer systems (MS4s), and Utah Code Title [19](#), Environmental Quality Code Chapter 5, Water Quality Act, Washington City may detect, investigate, eliminate and enforce against non-stormwater discharges, including illegal dumping, into the MS4. Washington City may apply escalating enforcement procedures as necessary for the severity of violation and the recalcitrance of the violator. Washington City may issue notices of violation, stop work orders, citations, and impose civil penalties. Washington City may also perform necessary maintenance or corrective actions it deems necessary at the expense of the owner/operator.

Non-stormwater discharges to the MS4, including spills, illicit connections, illegal dumping, and sanitary sewer overflows into the storm sewer system, require ceasing the illicit discharge or otherwise eliminating the discharge or removal of such discharges.

The city may complete periodic inspections to ensure that the owner's/operator's chosen BMPs used to address the site's stormwater quality are performing adequately. If BMPs are not performing adequately, the city will have the owner/operator update the erosion and sediment control plan and the stormwater pollution prevention plan. Washington City shall be given access to inspect stormwater BMPs on private properties that discharge to the MS4.

H. Access to Facilities.

1. The Public Works Department shall be permitted to enter and inspect facilities subject to regulation under this ordinance as often as may be necessary to determine compliance with this ordinance. If a discharger has security measures in force which require proper identification and clearance before entry into its premises, the discharger shall make the necessary arrangements to allow access to representatives of the authorized enforcement agency.
2. Facility operators shall allow the Public Works Department ready access to all parts of the premises for the purposes of inspection, sampling, examination and copying of records that must be kept under the conditions of an NPDES permit to discharge stormwater, and the performance of any additional duties as defined by state and federal law.
3. The Public Works Department shall have the right to set up on any permitted facility such devices as are necessary in the opinion of the authorized enforcement agency to conduct monitoring and/or sampling of the facility's stormwater discharge.
4. The Public Works Department has the right to require the discharger to install monitoring equipment as necessary. The facility's sampling and monitoring equipment shall be maintained at all times in a safe and proper operating condition by the discharger at its own expense. All devices used to measure stormwater flow and quality shall be calibrated to ensure their accuracy.

5. Any temporary or permanent obstruction to safe and easy access to the facility to be inspected and/or sampled shall be promptly removed by the operator at the written or oral request of the Public Works Department and shall not be replaced. The costs of clearing such access shall be borne by the operator.
6. Unreasonable delays in allowing the Public Works Department access to a permitted facility is a violation of a stormwater discharge permit and of this ordinance. A person who is the operator of a facility with a NPDES permit to discharge stormwater associated with industrial activity commits an offense if the person denies the authorized enforcement agency reasonable access to the permitted facility for the purpose of conducting any activity authorized or required by this ordinance.
7. If the Public Works Department has been refused access to any part of the premises from which stormwater is discharged, and he/she is able to demonstrate probable cause to believe that there may be a violation of this ordinance, or that there is a need to inspect and/or sample as part of a routine inspection and sampling program designed to verify compliance with this ordinance or any order issued hereunder, or to protect the overall public health, safety, and welfare of the community, then the authorized enforcement agency may seek issuance of a search warrant from any court of competent jurisdiction.

I. Violations:

1. Written Notice Of Violation: Whenever Washington City finds that any permittee or any other person discharging non-stormwater has violated or is violating this chapter or a permit or order issued hereunder, the city may serve upon such person written notice of the violation. An explanation of the violation and a plan for the satisfactory correction and prevention thereof, to include specific required actions, shall be submitted to Washington City. Submission of this plan in no way relieves the discharger of liability for any violations occurring before or after receipt of the notice of violation.
2. Consent Orders: Washington City is empowered to enter into consent orders, assurances of voluntary compliance, or other similar documents establishing an agreement with the person responsible for the noncompliance. Such orders will include specific action to be taken by the person to correct the noncompliance within a time period also specified by the order. The order may also include an order for civil penalties to be paid for the violations. Consent orders shall have the same force and effect as orders issued pursuant to subsections I3 and I4 of this section.
3. Compliance Order: When the city finds that any person has violated or continues to violate this chapter or a permit or order issued hereunder, he may issue an order to the violator directing that, following a specific time period, adequate structures or devices be installed or procedures implemented and properly operated. Orders may also contain such other requirements as might be reasonably necessary and appropriate to address the noncompliance, including civil penalties for the violation(s), the construction of appropriate structures, installation of devices, self-monitoring, and management practices.
4. Cease And Desist Orders: When the city finds that any person has violated or continues to violate this chapter or any permit or order issued hereunder, the city may issue an order to cease and desist all such violations and direct those persons in noncompliance to:
 - a. Comply forthwith;
 - b. Take such appropriate remedial or preventive action as may be needed to properly address a continuing or threatened violation, including halting operations and terminating the discharge; and

- c. Pay any civil penalties assessed for the violation(s).
- 5. Conflicting Standards: Whenever there is a conflict between any standard contained in this chapter and in the Washington City stormwater management program adopted by Washington City, the strictest standard shall prevail.
- 6. Section 8-7-9: Suspension of MS4 access
- 7. Suspension due to Illicit Discharges in Emergency Situations
 - a. The Public Works Department may, without prior notice, suspend MS4 discharge access to a person when such suspension is necessary to stop an actual or threatened discharge which presents or may present imminent and substantial danger to the environment, or to the health or welfare of persons, or to the MS4 or Waters of the United States. If the violator fails to comply with a suspension order issued in an emergency, the authorized enforcement agency may take such steps as deemed necessary to prevent or minimize damage to the MS4 or Waters of the United States, or to minimize danger to persons.
- 8. Suspension due to the Detection of Illicit Discharge
 - a. Any person discharging to the MS4 in violation of this ordinance may have their MS4 access terminated if such termination would abate or reduce an illicit discharge. The authorized enforcement agency will notify a violator of the proposed termination of its MS4 access. The violator may petition the authorized enforcement agency for reconsideration and hearing. A person commits an offense if the person reinstates MS4 access to premises terminated pursuant to this Section, without the prior approval of Washington City.

J. Penalties:

- 1. Violations: Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violates the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action as directed by the Washington City, shall be guilty of a class B misdemeanorEach day of violation shall constitute a separate violation.
- 2. Recovery Of Damages And Costs: The Washington City may recover:
 - a. All damages caused by the violator to the city, which may include any reasonable expenses incurred in investigating violations of and enforcing compliance with this chapter, or any other actual damages caused by the violation.
 - b. The costs of the city's maintenance of stormwater facilities when the user of such facilities fails to maintain them as required by this chapter.
- 3. Civil Penalties: Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violates the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action as directed by Washington City shall be guilty of a Civil Infraction as set forth in section 1-4-1(2) of City Code. A violator of this paragraph, for each and every such violation, shall be punished by a fine not less than \$50.00 per day for an individual or \$100.00 per day for a business, corporation, etc.

4. Other Remedies: The city may bring legal action to enjoin the continuing violation of this chapter, and the existence of any other remedy, at law or equity, shall be no defense to any such actions.
5. Remedies Cumulative: The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one (1) or more of the remedies set forth herein has been sought or granted.

K. Appeals:

1. Appeal: Any person aggrieved by the imposition of a civil penalty or order to bring their property into compliance as provided by this chapter may appeal said penalty or order.
2. Appeals To Be In Writing: The appeal shall be in writing and filed with the city recorder within ten (10) business days after the civil penalty or order is served.
3. Upon Receipt Of An Appeal: The administrative law judge shall conduct a review upon receipt of an appeal. Notice shall be provided to the appealing party at the address provided by the appealing party at the time of appeal. The decision of the administrative law judge shall be final.
4. Standard Of Review And Proof: The administrative law judge shall ensure due process is provided. The person appealing bears the burden of proof that the city's decision was in error. The hearing officer shall review the facts "de novo" without deference to the city's determination of the factual matters. The administrative law judge shall determine the correctness of the city's interpretation and application of the plain meaning of the regulations and shall decide whether the preponderance of the evidence shows that the violation(s) exist. Each party may present witnesses and evidence. The hearing shall be informal, and the rules of evidence do not apply.
5. Compliance Required: No provision of this section shall in any way relieve the violator from compliance with the provisions of this chapter and all applicable federal, state and city stormwater regulations.

SECTION 8-7-11: SEVERABILITY

If any provision of this Ordinance or application thereof to any person or entity or circumstance is held to be unconstitutional or otherwise invalid by a court of competent jurisdiction, such invalidity shall not affect other sections, provisions, clauses or applications thereof which can be implemented without the invalid provision(s), clause(s) or application(s) hereof.

SECTION 8-7-12: Effective Date

This Ordinance shall take effect immediately upon publication or posting in the manner required by law.

ORDINANCE NO 2025-XX

AN ORDINANCE RENAMING CHAPTER 7 (POST-CONSTRUCTION STORMWATER MANAGEMENT) OF TITLE 8 (BUILDING CODES AND CONSTRUCTION REGULATIONS) TO CHAPTER 7 (STORMWATER MANAGEMENT) OF TITLE 8 (BUILDING AND CONSTRUCTION), AND REPEALING AND REPLACING THE CHAPTER TO COMPLY WITH CURRENT FEDERAL AND STATE REQUIREMENTS

WHEREAS, the federal and state governments have established criteria for control of the introduction of pollutants into local municipal storm sewer systems; and

WHEREAS, the federal and state governments have mandated that each municipality adopt regulations in order to establish and control the introduction of pollutants into the local municipal storm sewer system; and

WHEREAS, the federal and state governments have mandated that each municipality adopt regulations in order to require long-term maintenance of post construction stormwater facilities including low impact development features; and

WHEREAS, Washington City acknowledges the federal and state mandates to adopt the regulations pertaining to the long-term maintenance of post construction stormwater facilities including low impact development features consistent with, and in compliance with, the federal and state mandates and regulations; and

WHEREAS, the Utah Department of Environmental Quality has mandated that each MS4 municipality adopt regulations in order to prevent the off-site discharge of the precipitation from all rainfall events less than or equal to the 80th percentile rainfall event, unless technically infeasible, by way of a Low Impact Development approach; and

WHEREAS, Washington City is desirous to comply with the federal and state mandates to adopt the regulations pertaining to the introduction of pollutants into the storm sewer systems consistent with, and in compliance with, the federal and state mandate and regulations; and

WHEREAS, Washington City desires to continue providing uniform and safe standards and guidelines for such construction projects and adopts the Grading, Erosion, and Sediment Control (GESC) Manual as amended in March 2022, which standards promote the health, safety and general welfare of the residents of the municipality as well as the efficient and orderly growth of the municipality; and

WHEREAS, the Washington City Council finds that it is in the best interest of the public, and that it promotes the health, safety, and well being of the community, and is in the best interest of the public to remain in compliance with the mandated federal and state requirements.

THEREFORE, BE IT ORDAINED by the Washington City Council as follows:

SECTION 8-7-1: GENERAL PROVISIONS

- A. Purpose: It is the purpose of this chapter to:
 1. Protect, maintain, and enhance the environment of Washington City.
 2. Establish responsibilities for controlling and managing stormwater runoff.
 3. Protect the public health, safety and the general welfare of the city and its inhabitants by controlling discharges of pollutants to the city's stormwater facilities and to maintain and improve the quality of the receiving waters into which the stormwater outfalls flow, including, but not limited to, lakes, rivers, streams, ponds, wetlands, and groundwater of the city.
 4. Enable the city to comply with the most current National Pollution Discharge Elimination System permit (NPDES) and applicable regulations, 40 CFR section 122.26 for stormwater discharges and the state of Utah, Department of Environmental Quality, Utah Pollution Discharge Elimination System (UPDES) stormwater general permits which include: general stormwater permit for construction activity connected with single-lot housing projects; general permit for stormwater discharges from construction activities; and general permit for discharges from small municipal separate storm sewer systems (MS4s).
 5. Allow the city to exercise the powers granted by Utah code, which provides that, among other powers municipalities have with respect to stormwater facilities, the power by ordinance or resolution to:
 - a. Exercise general regulation over the planning, location, construction, operation and maintenance of stormwater facilities in the municipality, whether or not owned and operated by the municipality;
 - b. Adopt any rules and regulations deemed necessary to accomplish the purposes of this chapter, including the adoption of a system of fees for services and permits;
 - c. Establish standards to regulate the quantity of stormwater discharged and to regulate stormwater contaminants as may be necessary to protect water quality;
 - d. Review and approve plans and plats for stormwater management in proposed subdivisions or commercial developments;
 - e. Issue permits for stormwater discharges, or for the construction, alteration, extension, or repair of stormwater facilities;
 - f. Suspend or revoke permits when it is determined that the permittee has violated any applicable ordinance, resolution, or condition of the permit;
 - g. Regulate and prohibit discharges into stormwater facilities of sanitary, industrial, or commercial sewage or waters that have otherwise been contaminated;
 - h. Expend funds to remediate or mitigate the detrimental effects of contaminated land or other sources of stormwater contamination, whether public or private; and

- i. Establish a viable and fair method of financing the construction, operation and maintenance of the stormwater facilities.

B. Administering Entity: Washington City shall administer the provisions of this chapter. Nothing in this chapter shall relieve any person from responsibility for damage to other persons or property, nor impose upon Washington City, its officers, agents or employees, any liability for damage to other persons or property.

SECTION 8-7-2: DEFINITIONS

For the purpose of this chapter, the definitions in section 8-6-2 shall apply in this chapter as well as the following definitions:

BEST MANAGEMENT PRACTICES (BMPs): Physical, structural, and/or managerial practices that, when used singly or in combination, prevent or reduce pollution of water, that have been approved by Washington City and that have been incorporated by reference into this chapter as if fully set out therein. For purposes of this title, the relevant BMPs are more particularly defined in the Washington City stormwater management program and city of Washington "Standard Specifications For Design And Construction."

CHANNEL: A natural or artificial watercourse with a definite bed and banks that conducts flowing water continuously or periodically.

WASHINGTON CITY: Washington City or authorized designee.

CITY STORM WATER FACILITIES: Storm systems that receive runoff from public rights-of-way, natural waterways, and drainage systems identified in a city easement.

COMMON PLAN OF DEVELOPMENT OR SALE: a plan to subdivide a parcel of land into separate parts for separate sale. This can be for residential, commercial, or industrial development. The plan originates as a single parcel that is separated into parts. This usually goes through an approval process by a local governmental unit, but in some cases, it may not require that process. The original plan is considered the "common plan of development or sale" whether phased or completed in steps.

CONTAMINANT: Any unnatural, physical, chemical, biological, or radiological substance or matter in water.

DISCHARGE: Dispose, deposit, spill, pour, inject, seep, dump, leak or place by any means including any direct or indirect entry of any solid or liquid matter into the municipal separate stormwater facilities.

EASEMENT: An acquired privilege or right of use or enjoyment that a person, party, firm, corporation, municipality or other legal entity has in the land of another.

EROSION: The removal of soil particles by the action of water, wind, ice or other geological agents, whether naturally occurring or acting in conjunction with or promoted by anthropogenic activities or effects (human cause).

EROSION AND SEDIMENT CONTROL PLAN: A written plan (including drawings or other graphic representations) that is designed to minimize the accelerated erosion and sediment runoff at a site during construction activities.

GRADING PERMIT: A permit issued by Washington City to allow grading of a property.

ILLICIT CONNECTION: Illegal or unauthorized connections to the municipal separate storm sewer system whether or not such connections result in discharges into that system.

ILLICIT DISCHARGE: Any discharge to a municipal separate storm sewer that is not composed entirely of stormwater except discharges pursuant to a UPDES Permit (other than the UPDES Permit for discharges from the municipal separate storm sewer) to waters of the state.

IMMEDIATELY: Requires owner/operator to, on the same day a condition requiring corrective action is found (or as soon afterward as possible considering normal work schedule and task size), take all reasonable steps to minimize or prevent the discharge of pollutants until a permanent solution is installed and made operational.

LAND DISTURBING/GRADING ACTIVITY: Any activity on property that results in a change in the existing soil cover (both vegetative and nonvegetative) and/or the existing soil topography. Land disturbing/grading activities include, but are not limited to, development, redevelopment, demolition, construction, reconstruction, clearing, grading, filling, and excavation.

LONG-TERM STORM WATER MANAGEMENT PLAN: A site-specific written document that identifies potential sources of stormwater pollution. It describes stormwater control measures and best management practices (BMPs) that will be used to reduce or eliminate pollutants in stormwater discharges into the city's MS4. It contains the procedures the owner will implement to comply with the terms and conditions of the stormwater maintenance agreement. The long-term stormwater management plan is required as a condition of the development plan approval and is required as part of the city's small MS4 UPDES general permit from the state of Utah.

MAINTENANCE: Any activity that is necessary to keep a stormwater facility in good working order so as to function as designed. Maintenance shall include complete reconstruction of a stormwater facility if reconstruction is needed in order to restore the facility to its original operational design parameters. Maintenance shall also include the correction of any problem on the site property that may directly impair the functions of the stormwater facility.

MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4): A conveyance or system of conveyances (including roads with drainage systems, municipal streets, catch basins, curbs, gutters, ditches, man-made channels, or storm drains) pursuant to paragraphs R317-8-1.6(4), (8), & (15), or designated under UAC R317-8-11.3(6)(a) and UAC R317-8-11.3(6)(b):

- that is owned or operated by a state, city, town, county, district, association, or other public body (created by or pursuant to State Law) having jurisdiction over disposal of wastes, stormwater, or other wastes, including special districts under State Law such as a sewer district, flood control district or drainage district, or similar entity, or a designated and approved management/agency under section 208 of the CWA that discharges to waters of the state;
- that is designed or used for collecting or conveying stormwater;
- which is not a combined sewer; and
- which is not part of a Publicly Owned Treatment Works (POTW) as defined in 40 CFR 122.2.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT OR NPDES PERMIT: The provisions of the Federal Clean Water Act for the control of stormwater discharges, also a permit issued pursuant to 33 USC section 1342.

NOTICE OF INTENT (NOI): Whenever a contractor disturbs one (1) acre or more of property, or less than one (1) acre if part of a common plan of development, an NOI through the state of Utah must be filed. This is a binding contract between the state of Utah and the contractor stating that the contractor will address stormwater and drainage issues on site and downstream throughout the duration of the project until the NOT is filed.

NOTICE OF TERMINATION (NOT): Whenever a contractor completes a project on one (1) acre or more of property, or less than one (1) acre if part of a common plan of development, it is the contractor's responsibility to maintain the stormwater and drainage controls until such time as the NOT is filed and accepted by the state of Utah and city of Washington.

NOTICE OF VIOLATION (NOV): Whenever Washington City finds that a person is in noncompliance with this chapter, Washington City may order compliance by written notice of violation to the responsible person. Requirements in this notice are at the discretion of Washington City, and may include monitoring, payment to cover costs relating to the noncompliance, and the implementation of best management practices.

PERSON: Any and all persons including any individual, firm or association and any municipal or private corporation organized or existing under the laws of this or any other state or country.

PROPERTY OWNER: Landowner of property within the boundary of Washington City.

REDEVELOPMENT: The replacement or improvement of impervious surfaces on a developed site.

SEDIMENT: Solid material, both mineral and organic, that is in suspension, is being transported, or has been moved from its site of origin by air, water, gravity, or ice and has come to rest on the earth's surface either above or below sea level.

SEDIMENTATION: Soil particles suspended in stormwater that can settle in streambeds and disrupt the natural flow of the stream.

STABILIZATION: Providing adequate measures, vegetative and/or structural, that will prevent erosion from occurring.

STORM WATER FACILITIES: The drainage structures, conduits, ditches, storm sewers, and all device appurtenances by means of which stormwater is collected, transported, pumped, treated or disposed of.

STORM WATER MAINTENANCE AGREEMENT: A document recorded in the Washington County recorder's office that acts as a property deed restriction, and which provides for long-term maintenance of stormwater management practices and will reference a long-term stormwater management plan. The stormwater maintenance agreement is required as a condition of the development plan approval and is required as part of the city's small MS4 UPDES general permit from the state of Utah.

STORM WATER MANAGEMENT: The programs to manage quality and quantity of stormwater runoff.

STORM WATER MANAGEMENT PROGRAM (SWMP): Washington City stormwater master program as adopted by the city.

STORM WATER POLLUTION PREVENTION PLAN (SWPPP): a site-specific, written document that, among other things: (1) identifies potential sources of storm water pollution at the construction site; (2) describes storm water control measures to reduce or eliminate pollutants in storm water discharges from the construction site; and (3) identifies procedures the operator will implement to comply with the terms and conditions of this Permit.

STORM WATER RUNOFF: stormwater runoff from precipitation, snowmelt, and surface runoff and drainage.

STRUCTURAL BMPs: Devices that are constructed or installed to provide control of stormwater runoff.

SURFACE WATER: Includes waters upon the surface of the earth in bounds created naturally or artificially including, but not limited to, streams, other watercourses, lakes and reservoirs.

UPDES: Utah Pollution Discharge Elimination System.

WATERCOURSE: A permanent or intermittent stream or other body of water, either natural or manmade, which gathers or carries surface water.

WATERS OF THE STATE: Means all streams, lakes, ponds, marshes, water-courses, waterways, wells, springs, irrigation systems, drainage systems, and all other bodies or accumulations of water, surface and underground, natural or artificial, public or private which are contained within, flow through, or border upon this state or any portion thereof, except bodies of water confined to and retained within the limits of private property, and which do not develop into or constitute a nuisance, or a public health hazard, or a menace to fish and wildlife which shall not be considered to be "waters of the state" under this definition ("UAC" R317-1-1).

SECTION 8-7-3: GRADING PERMITS

Engineers, Contractors, etc. shall follow all requirements of the most recently approved and adopted Washington City Grading, Erosion, and Sediment Control (GESC) Manual.

SECTION 8-7-4: STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NOTICE OF INTENT (NOI)

Contractors, applicants, etc. shall adhere to the requirements for construction site stormwater as laid out in state law 19-5-108.3 *Construction site stormwater runoff control*.

All persons grading or disturbing one (1) acre or more, or less than an acre if part of a common plan of development, shall obtain a notice of intent (NOI) through the state of Utah. This form requires that a stormwater pollution prevention plan (SWPPP) is submitted for review and approval from Washington City. The NOI and SWPPP shall be signed by both the owner and the operator.

The SWPPP must be developed and be consistent with the most current UPDES stormwater general permit for construction activities.

SECTION 8-7-5: STORMWATER FACILITIES DESIGN AND MANAGEMENT STANDARDS

Engineers, architects, contractors, etc. shall follow all requirements of the most recently approved and adopted Washington City Construction Design Standards and Details and the Washington City Grading, Erosion, and Sediment Control (GESC) Manual.

SECTION 8-7-6: POST-CONSTRUCTION

A. Applicability

1. In General. This Ordinance shall apply to any application for a building permit, subdivision approval, site plan approval or other zoning, planning or land use approval that is filed on or after the date of adoption for any *New Development* or *Redevelopment* within the *Municipality* that *Discharges Stormwater* to the *Municipality's MS4* and to associated *Stormwater Management Facilities*.
2. Exception. This Ordinance does not apply to *New Development* or *Redevelopment* on a lot, tract or parcel where that lot, tract or parcel is part of a subdivision that is approved under this Ordinance; said lot, tract or parcel shall not require separate review under this Ordinance, but shall comply with the *Post-Construction Stormwater Management Plan* requirements for that approved subdivision.

B. Post-Construction Stormwater Management Plan Approval

1. General Requirement. Except as provided in Section 5.B. above, no *Applicant* for a building permit, subdivision approval, site plan approval or other land use approval for *New Development* or *Redevelopment* to which this Ordinance is applicable shall receive such permit or approval for that *New Development* or *Redevelopment* unless the *Municipal Permitting Authority* for that *New Development* or *Redevelopment* also determines that the *Applicant's Post-Construction Stormwater Management Plan* for that *New Development* or *Redevelopment* meets the requirements of this Ordinance and the Maintenance Agreement has been recorded in the office of the Washington County Recorder.

C. Standards

1. **Stormwater Management Plan Required.** The *Applicant* shall make adequate provision for the management of the quantity and quality of all *stormwater* generated by the *New Development* or *Redevelopment* through a *Post-Construction Stormwater Management Plan*. This *Post-Construction Stormwater Management Plan* shall be designed by a Professional Engineer to meet the standards contained in the Grading Manual and must include evaluation of *Low Impact Development* as well as fully comply with all practices described in the *Storm Water General Permit*.
2. **Stormwater Maintenance Agreement Required.** Where the *Applicant* proposes to retain ownership of the *Stormwater Management Facilities* shown in its *Post-Construction Stormwater Management Plan*, the *Applicant* shall submit to the *Municipality* documentation, approved as to legal sufficiency by the *Municipality's* attorney that the *Applicant*, its successors, heirs and assigns shall have the legal

obligation and the resources available to operate, repair, maintain and replace the *stormwater management facilities*. Applications for *New Development* or *Redevelopment* requiring *Stormwater Management Facilities* shall enter into a Maintenance Agreement with the *Municipality*.

3. Location of Facilities. The *Applicant* may meet the quantity and quality standards above either on-site or off-site, but where off-site facilities are used, the *Applicant* must submit to the *Municipality* documentation, approved as to legal sufficiency by the *Municipality*'s attorney, that the *Applicant* has a sufficient property interest in the property where the off-site facilities are located -- by easement, covenant or other appropriate legal instrument -- to ensure that the facilities will be able to provide post-construction *stormwater* management for the *New Development* or *Redevelopment* and that the property will not be altered in a way that interferes with the off-site facilities.
4. Easements and Dedications. Whenever elements of the *Stormwater Management Facilities* are not within the right-of-way of a public street and the facilities will not be offered to the *Municipality* for acceptance as public facilities, the *Municipal Permitting Authority* may require that perpetual easements conforming substantially with the lines of existing natural drainage, and in a form acceptable to the *Municipality*'s attorney, shall be provided to the *Municipality* allowing access for maintenance, repair, replacement and improvement of the *Stormwater Management Facilities*. When an offer of dedication is required by the *Municipal Permitting Authority*, the *Applicant* shall be responsible for the maintenance of these *Stormwater Management Facilities* under this Ordinance until such time (if ever) as they are accepted by the *Municipality*.
5. Standards to Minimize Impacts on Water Quality: New development and redevelopment projects must have requirements or standards to ensure that any stormwater controls or management practices will prevent or minimize impacts to water quality.
6. Standards to Minimize Development In Susceptible Areas: New development and redevelopment projects include nonstructural BMPs such as requirements and standards to minimize development in areas susceptible to erosion and sediment loss; to minimize the disturbance of native soils and vegetation; to preserve areas in the municipality that provide important water quality benefits; to implement measures for flood control; and to protect the integrity of natural resources and sensitive areas.
7. Projects Greater than or Equal to One (1) Acre: Newly developed and redeveloped projects that disturb greater than or equal to one (1) acre, including projects less than one (1) acre that are of a larger common plan of development or sale, are required to submit a low impact development (LID) approach to be evaluated by Washington City. An LID approach promotes the implementation of BMPs that allow stormwater to infiltrate, evapotranspire or harvest and use stormwater on site to reduce runoff from the site and protect water quality. Guidance for implementing LID can be found in state of Utah DWQ's LID controls which are appropriate for use in the state of Utah and can be found in "A Guide to Low Impact Development within Utah" (the Guide), available on DWQ's website or "Green Infrastructure and Low Impact Development Application Guidance for Washington County, Utah," available from Washington City.

8. Specific Criteria: Newly developed and redeveloped projects must meet specific criteria which require that best management practices (BMPs) are designed to manage rainfall on site, and prevent the off-site discharge of the precipitation from all rainfall events less than or equal to the eightieth (80th) percentile rainfall event or a predevelopment hydrologic condition, whichever is less. This objective must be accomplished by the use of practices that are designed, constructed, and maintained to infiltrate, evapotranspire and/or harvest and reuse rainwater, and must be incorporated into the permittee's development plans and long-term stormwater management plan which includes the LID approach. If meeting the eightieth (80th) percentile standard is infeasible an alternative design approach may be used; provided, that the permittee documents that infiltration, evapotranspiration, and rainwater harvesting have been used to the maximum extent feasible and that full employment of these controls is infeasible due to constraints. For guidance including alternative design approaches, see "A Guide to Low Impact Development within Utah" published by the DWQ, and "Green Infrastructure and Low Impact Development Application Guidance for Washington County, Utah."
9. Redevelopment: Redevelopment projects that increase impervious surface by greater than 10% must prevent the off-site discharge of the net increase in stormwater volume associated with precipitation from all rainfall events that are less than or equal to the 80th percentile rainfall event.
10. Stabilization Requirements: Any area that has been disturbed by grading activity shall be stabilized according to a schedule provided by the contractor or the owner/operator and approved by Washington City. A plan must be submitted with the final design describing the vegetative or other stabilization and management techniques to be used at a site. This plan will explain not only how the site will be stabilized, but who will be responsible for the maintenance of vegetation or other stabilization at the site, and what practices will be employed to ensure that adequate cover is preserved. A long-term stormwater management plan and a post-construction stormwater agreement are required prior to the issuance of a grading permit.
11. Engineering and Administrative Fees. At the time of application, the *Applicant* shall pay to the *Municipality* a fee as reflected on the Washington City Master Fee Schedule for the review of the proposal unless it is determined by the Public Works Department that a third party review of the proposal is necessary. If it is determined that a third party review is necessary an estimate will be provided to the owner for payment prior to review by a third party.

In addition, any *persons* required to file an annual certification under Section 8-7-5(D) of this Ordinance shall pay, prior to the issuance of any temporary or permanent certificate of compliance for the *New Development* or *Redevelopment*, a fee as reflected on the Washington City Master Fee Schedule for review of the annual certification.
12. Notice of *BMP Discharge* to *Municipality's MS4*. At the time of application, the *Applicant* shall notify the *Municipal Permitting Authority* if its *Post-Construction Stormwater Management Plan* includes any *BMP(s)* that will *discharge* to the

Municipality's MS4 and shall include in this notification a listing of which *BMP(s)* will so *discharge*.

13. As-Built Certification. Prior to the issuance of a Certificate of Compliance for a project requiring a *Post-Construction Stormwater Management Plan* under this ordinance, the *Applicant* shall submit evidence in the form of a letter or plan prepared and stamped by a Professional Engineer who either prepared the *Post-Construction Stormwater Management Plan* and its associated Facilities or supervised the Plan and Facilities construction and implementation. The letter or plan shall certify that the *Stormwater Management Facilities* have been installed in accordance with the approved *Post-Construction Stormwater Management Plan* and that they will function as intended by said Plan. This certification must specifically include any *LID* measures incorporated into the *Post-Construction Stormwater Management Plan* and the as constructed volume of each toward the 80th percentile retention requirement. Any *LID* features to be constructed at a later date (such as facilities on individual building lots) shall be specifically approved by the City Council at the time of preliminary plat. If the *LID* proposal is approved, the requirements of such facility shall record as a deed restriction against the property and have notes placed upon the final plat describing the specific requirements for said features.
14. Conflict with State Laws or Rules. In addition to any other applicable requirements of this Ordinance and the *Municipality's* land use ordinances, any *New Development* or *Redevelopment* which also requires a *stormwater* management permit from the State of Utah Department of Environmental Quality (DEQ) shall comply with the rules adopted by DEQ, as the same may be amended from time to time, and the *Applicant* shall document such compliance to the *Municipal Permitting Authority*. Where the standards or other provisions of such *stormwater* rules conflict with municipal ordinances, the stricter (more protective) standard shall apply.

D. Post-Construction Stormwater Management Plan Compliance

1. General Requirements. Any *Person* owning, operating, leasing or having control over *Stormwater Management Facilities* required by a *Post-Construction Stormwater Management Plan* approved under this Ordinance, and the Facilities are located in the *Municipality* and *Discharge Stormwater* to the *Municipality's MS4*, shall at their own expense demonstrate compliance with that Plan as follows.
 - a. Scope of Inspection. A *Qualified Post-construction Stormwater Inspector* shall, at least annually, inspect the *Stormwater Management Facilities*, including but not limited to any parking areas, catch basins, *LID* features, drainage swales, detention basins and ponds, pipes and related structures, in accordance with all municipal and state inspection requirements, cleaning and maintenance requirements of the approved *Post-Construction Stormwater Management Plan*.
 - b. Deficiencies Identified. If the *Stormwater Management Facilities* require maintenance or repair to function as intended by the approved *Post-Construction Stormwater Management Plan*, that *Person* shall take or cause to be taken corrective action(s) to address the deficiency or deficiencies.
 - c. Submission of Inspection Form. A *Qualified Post-construction Stormwater Inspector* shall, on or before July 1 of each year, provide a

completed and signed certification to the Public Works Department in a form identical to that attached as Appendix 1 to this Ordinance, certifying that he/she has inspected the Stormwater Management Facilities and that they are adequately maintained and functioning as intended by the approved Post-Construction Stormwater Management Plan, or that they require maintenance or repair, describing any required maintenance and any deficiencies found during inspection of the Stormwater Management Facilities and, if the Stormwater Management Facilities require maintenance or repair of deficiencies in order to function as intended by the approved Post-Construction Stormwater Management Plan, the Person shall provide a record of the required maintenance or deficiency and corrective action(s) taken.

2. Right of Entry. In order to determine compliance with this Ordinance and with the *Post-Construction Stormwater Management Plan*, the *Enforcement Authority* may enter upon property at reasonable hours with the consent of the owner, occupant or agent to inspect the *Stormwater Management Facilities*.

E. Enforcement

1. Enforcement Authority. The *Municipality* may issue notices of violation, stop work orders, citations, and impose civil penalties. The *Municipality* may complete periodic inspections to ensure that the *Applicant's* chosen *Post-Construction Stormwater Management Facilities* are performing adequately. If facilities are not performing, the *Municipality* may require changes to be made to the *Post-Construction Stormwater Management Plan*.
2. Notification of Violation (NOV)
 - a. Written Notice. Whenever the *Municipality* finds that the *person* discharging *stormwater* has violated or is violating this Ordinance or a permit or order issued hereunder, the *Municipality* may serve upon such *person* written notice of the violation. Within ten (10) days of this notice, an explanation of the violation and a plan for the satisfactory correction and prevention thereof, to include specific required actions, shall be submitted to the *Municipality*. Submission of this plan in no way relieves the discharger of liability for any violations occurring before or after receipt of the notice of violation.
 - b. Consent Orders. The *Municipality* is empowered to enter into consent orders, assurances of voluntary compliance, or other similar documents establishing an agreement with the *person* responsible for the noncompliance. Such orders will include specific action to be taken by the *person* to correct the noncompliance within a time period also specified by the order. Consent orders shall have the same force and effect as administrative orders issued pursuant to subsection 2C and 2D of this section.
 - c. Show Cause Hearing. The *Municipality* may order any *person* who violates this Ordinance or permit or order issued hereunder, to show cause why a proposed enforcement action should not be taken. Notice shall be served on the *person* specifying the time and place for the meeting, the proposed enforcement action and the reasons for such action, and a request that the violator show cause why this proposed enforcement action should not be taken. The notice of the meeting shall be served personally or by mail.
 - d. Compliance Order. When the *Municipality* finds that any *person* has violated or continues to violate this Ordinance or a permit or order issued hereunder, they may issue an order to the violator directing that, following

a specific time period, adequate structures or devices be installed or procedures implemented and properly operated. Orders may also contain such other requirements as might be reasonably necessary and appropriate to address the noncompliance, including the construction of appropriate structures, installation of devices, self-monitoring and management practices.

- e. Cease and Desist Order. When the *Municipality* finds that any person has violated or continues to violate this Ordinance or any permit or order issued hereunder, the *Municipality* may issue an order to cease and desist all such violations and direct those persons in noncompliance to:
 1. Comply forthwith; or
 2. Take such appropriate remedial or preventative action as may be needed to properly address a continuing or threatened violation, including halting operations and terminating the discharge.
3. Conflicting Standards. Whenever there is a conflict between any standard contained in this Ordinance and in any other Local, State or Federal requirements, the strictest standard shall prevail.

F. Penalties

1. Violations. Any person who shall commit any act declared unlawful under this Ordinance, who violates any provision of this Ordinance, who violates the provisions of any permit issued pursuant to this Ordinance, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the *Municipality*, shall be guilty of a class B misdemeanor. Each day of violation shall constitute a separate violation.

G. Recovery of Damages and Costs

1. The municipality may recover:
 - a. All damages caused by the violator to the *Municipality*, which may include any reasonable expenses incurred in investigating violations of, and enforcing compliance with this Ordinance, or any other actual damages caused by the violation.
 - b. The costs of the *Municipality* maintenance of *Stormwater Management Facilities* when the user of such facilities fails to maintain them as required by this Ordinance.
 1. Other Remedies: The *Municipality* may bring legal action to enjoin the continuing violation of this chapter, and the existence of any other remedy, at law or equity, shall be no defense to any such actions.
 2. Remedies Cumulative: The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one or more of the remedies set forth herein has been sought or granted.

H. Appeals

1. Appeal. Any person aggrieved by the imposition of a civil penalty or damage assessment as provided by this ordinance may appeal said penalty or damage assessment to the administrative code enforcement administrative law judge.
2. Appeals to be in Writing. The appeal shall be in writing and filed with the Washington City recorder within fifteen (15) days after the civil penalty or damage assessment is served.
3. Upon Receipt of an Approval. The administrative law judge shall hold a hearing

upon receipt of an appeal. Notice shall be provided to the appealing party at the address provided by the appealing party at the time of the appeal. The decision of the administrative law judge shall be the final municipal administrative decision.

4. **Appealing Decisions of the Administrative Law Judge.** Any alleged violator may appeal a decision of the administrative law judge pursuant to the applicable appeal provisions of the administrative law judge section of this code.

SECTION 8-7-7: ILLICIT DISCHARGES

A. Scope

1. This section shall apply to all water generated on developed or undeveloped land entering the city's separate storm sewer system.

B. Prohibition of Illicit Discharges:

1. No person shall introduce or cause to be introduced into the municipal separate storm sewer system any discharge that is not composed entirely of stormwater. The commencement, conduct or continuance of any non-stormwater, uncontaminated discharge to the municipal separate storm sewer system is prohibited except as described as follows:
 - a. Water line flushing or other potable water sources,
 - b. Landscape irrigation or lawn watering,
 - c. Diverted stream flows,
 - d. Rising groundwater,
 - e. Groundwater infiltration to storm drains,
 - f. Uncontaminated pumped groundwater,
 - g. Foundation or footing drains,
 - h. Crawl space pumps,
 - i. Air conditioning condensation,
 - j. Springs,
 - k. Natural riparian habitat or wetland flows,
 - l. Swimming pools (if dechlorinated – typically less than one (1) ppm chlorine),
 - m. Firefighting activities, and
 - n. Any other uncontaminated water source.
 - o. Discharges specified in writing by Washington City as being necessary to protect public health and safety.
 - p. Dye testing is an allowable discharge if Washington City has so specified in writing.
 - q. The prohibition shall not apply to any non-stormwater discharge permitted under a UPDES permit, waiver, or waste discharge order issued to the discharger and administered under the authority of the State of Utah, Division of Water Quality; provided, that the discharger is in full compliance with all requirements of the permit, waiver, or order and other applicable laws and regulations; and provided, that written approval has been granted for any discharge to the storm drain system.

C. Prohibition of Illicit Connections

1. The construction, use, maintenance or continued existence of illicit connections to the separate municipal storm sewer system is prohibited.

2. This prohibition expressly includes, without limitation, illicit connections made in the past, regardless of whether the connection was permissible under law or practices applicable or prevailing at the time of connection.

D. Reduction Of Storm Water Pollutants By The Use Of Best Management Practices: Any person responsible for a property or premises, which is, or may be, the source of an illicit discharge, will be required to implement, at the person's expense, the BMPs necessary to prevent the further discharge of pollutants to the municipal separate storm sewer system. Compliance with all terms and conditions of a valid NPDES/UPDES permit authorizing the discharge of stormwater associated with industrial activity, to the extent practicable, shall be deemed in compliance with the provisions of this section.

E. WASTE DISPOSAL PROHIBITIONS. No person shall throw, deposit, leave, maintain, keep or permit to be thrown, deposited, left, or maintained, in or upon any public or private property, driveway, parking area, street, alley, sidewalk, component of the storm drain system or water of the U.S., any refuse, rubbish, garbage, litter, or other discarded or abandoned object, articles and accumulations so that same may contribute to pollution. Wastes deposited in streets in proper waste receptacles or for the purposes of citywide cleanup, no less than two days prior to said event, are exempted from this prohibition.

F. Notification Of Spills:

1. Notwithstanding other requirements of law, as soon as any person responsible for a facility or operation, or responsible for emergency response for a facility or operation has information of any known or suspected release of materials which are resulting in, or may result in, illicit discharges or pollutants discharging into the city stormwater facilities, the person shall take all necessary steps to ensure the discovery, containment, and cleanup of such release. In the event of such a release of hazardous materials the person shall immediately notify emergency response agencies of the occurrence via emergency dispatch services. In the event of a release of nonhazardous materials, the person shall notify Washington City in person or by telephone no later than the next business day. Notifications in person or by telephone shall be confirmed by written notice addressed and mailed to Washington City within three (3) business days of the telephone notice. If the discharge of prohibited materials emanates from a commercial or industrial establishment, the owner or operator of such establishment shall also retain an on-site written record of the discharge and the actions taken to prevent its recurrence. Such records shall be retained for at least three (3) years.

G. Enforcement Authority: Consistent with the most current state of Utah Department of Environmental Quality, UPDES stormwater general permits which include: general stormwater permit for construction activity connected with single lot housing projects; general permit for stormwater discharges from construction activities; general permit for discharges from small municipal separate storm sewer systems (MS4s), and Utah Code Title [19](#), Environmental Quality Code Chapter 5, Water Quality Act, Washington City may detect, investigate, eliminate and enforce against non-stormwater discharges, including illegal dumping, into the MS4. Washington City may apply escalating enforcement procedures as necessary for the severity of violation and the recalcitrance of the violator. Washington City may issue notices of violation, stop work orders, citations, and impose civil penalties. Washington City may also perform necessary maintenance or corrective actions it deems necessary at the expense of the owner/operator.

Non-stormwater discharges to the MS4, including spills, illicit connections, illegal dumping, and sanitary sewer overflows into the storm sewer system, require ceasing the illicit discharge or otherwise eliminating the discharge or removal of such discharges.

The city may complete periodic inspections to ensure that the owner's/operator's chosen BMPs used to address the site's stormwater quality are performing adequately. If BMPs are not performing adequately, the city will have the owner/operator update the erosion and sediment control plan and the stormwater pollution prevention plan. Washington City shall be given access to inspect stormwater BMPs on private properties that discharge to the MS4.

H. Access to Facilities.

1. The Public Works Department shall be permitted to enter and inspect facilities subject to regulation under this ordinance as often as may be necessary to determine compliance with this ordinance. If a discharger has security measures in force which require proper identification and clearance before entry into its premises, the discharger shall make the necessary arrangements to allow access to representatives of the authorized enforcement agency.
2. Facility operators shall allow the Public Works Department ready access to all parts of the premises for the purposes of inspection, sampling, examination and copying of records that must be kept under the conditions of an NPDES permit to discharge stormwater, and the performance of any additional duties as defined by state and federal law.
3. The Public Works Department shall have the right to set up on any permitted facility such devices as are necessary in the opinion of the authorized enforcement agency to conduct monitoring and/or sampling of the facility's stormwater discharge.
4. The Public Works Department has the right to require the discharger to install monitoring equipment as necessary. The facility's sampling and monitoring equipment shall be maintained at all times in a safe and proper operating condition by the discharger at its own expense. All devices used to measure stormwater flow and quality shall be calibrated to ensure their accuracy.
5. Any temporary or permanent obstruction to safe and easy access to the facility to be inspected and/or sampled shall be promptly removed by the operator at the written or oral request of the Public Works Department and shall not be replaced. The costs of clearing such access shall be borne by the operator.
6. Unreasonable delays in allowing the Public Works Department access to a permitted facility is a violation of a stormwater discharge permit and of this ordinance. A person who is the operator of a facility with a NPDES permit to discharge stormwater associated with industrial activity commits an offense if the person denies the authorized enforcement agency reasonable access to the permitted facility for the purpose of conducting any activity authorized or required by this ordinance.
7. If the Public Works Department has been refused access to any part of the premises from which stormwater is discharged, and he/she is able to demonstrate probable cause to believe that there may be a violation of this ordinance, or that there is a need to inspect and/or sample as part of a routine inspection and sampling program designed to verify compliance with this ordinance or any order issued hereunder, or to protect the overall public health, safety, and welfare of the community, then the authorized enforcement agency may seek issuance of a search warrant from any court of competent jurisdiction.

I. Violations:

1. Written Notice Of Violation: Whenever Washington City finds that any permittee or any other person discharging non-stormwater has violated or is violating this chapter or a permit or order issued hereunder, the city may serve upon such person written notice of the violation. An explanation of the violation and a plan for the satisfactory correction and prevention thereof, to include specific required actions, shall be submitted to Washington City. Submission of this plan in no way relieves the discharger of liability for any violations occurring before or after receipt of the notice of violation.
2. Consent Orders: Washington City is empowered to enter into consent orders, assurances of voluntary compliance, or other similar documents establishing an agreement with the person responsible for the noncompliance. Such orders will include specific action to be taken by the person to correct the noncompliance within a time period also specified by the order. The order may also include an order for civil penalties to be paid for the violations. Consent orders shall have the same force and effect as orders issued pursuant to subsections I3 and I4 of this section.
3. Compliance Order: When the city finds that any person has violated or continues to violate this chapter or a permit or order issued hereunder, he may issue an order to the violator directing that, following a specific time period, adequate structures or devices be installed or procedures implemented and properly operated. Orders may also contain such other requirements as might be reasonably necessary and appropriate to address the noncompliance, including civil penalties for the violation(s), the construction of appropriate structures, installation of devices, self-monitoring, and management practices.
4. Cease And Desist Orders: When the city finds that any person has violated or continues to violate this chapter or any permit or order issued hereunder, the city may issue an order to cease and desist all such violations and direct those persons in noncompliance to:
 - a. Comply forthwith;
 - b. Take such appropriate remedial or preventive action as may be needed to properly address a continuing or threatened violation, including halting operations and terminating the discharge; and
 - c. Pay any civil penalties assessed for the violation(s).
5. Conflicting Standards: Whenever there is a conflict between any standard contained in this chapter and in the Washington City stormwater management program adopted by Washington City, the strictest standard shall prevail.
6. Section 8-7-9: Suspension of MS4 access
7. Suspension due to Illicit Discharges in Emergency Situations
 - a. The Public Works Department may, without prior notice, suspend MS4 discharge access to a person when such suspension is necessary to stop an actual or threatened discharge which presents or may present imminent and substantial danger to the environment, or to the health or welfare of persons, or to the MS4 or Waters of the United States. If the violator fails to comply with a suspension order issued in an emergency, the authorized enforcement agency may take such steps as deemed necessary to prevent or minimize damage to the MS4 or Waters of the United States, or to minimize danger to persons.
8. Suspension due to the Detection of Illicit Discharge
 - a. Any person discharging to the MS4 in violation of this ordinance may have their MS4 access terminated if such termination would abate or reduce an illicit discharge. The authorized enforcement agency will notify

a violator of the proposed termination of its MS4 access. The violator may petition the authorized enforcement agency for reconsideration and hearing. A person commits an offense if the person reinstates MS4 access to premises terminated pursuant to this Section, without the prior approval of Washington City.

J. Penalties:

1. **Violations:** Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violates the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action as directed by the Washington City, shall be guilty of a class B misdemeanor. Each day of violation shall constitute a separate violation.
2. **Recovery Of Damages And Costs:** The Washington City may recover:
 - a. All damages caused by the violator to the city, which may include any reasonable expenses incurred in investigating violations of and enforcing compliance with this chapter, or any other actual damages caused by the violation.
 - b. The costs of the city's maintenance of stormwater facilities when the user of such facilities fails to maintain them as required by this chapter.
3. **Civil Penalties:** Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violates the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action as directed by Washington City shall be guilty of a Civil Infraction as set forth in section 1-4-1(2) of City Code. A violator of this paragraph, for each and every such violation, shall be punished by a fine not less than \$50.00 per day for an individual or \$100.00 per day for a business, corporation, etc.
4. **Other Remedies:** The city may bring legal action to enjoin the continuing violation of this chapter, and the existence of any other remedy, at law or equity, shall be no defense to any such actions.
5. **Remedies Cumulative:** The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one (1) or more of the remedies set forth herein has been sought or granted.

K. Appeals:

1. **Appeal:** Any person aggrieved by the imposition of a civil penalty or order to bring their property into compliance as provided by this chapter may appeal said penalty or order.
2. **Appeals To Be In Writing:** The appeal shall be in writing and filed with the city recorder within ten (10) business days after the civil penalty or order is served.
3. **Upon Receipt Of An Appeal:** The administrative law judge shall conduct a review upon receipt of an appeal. Notice shall be provided to the appealing party at the address provided by the appealing party at the time of appeal. The decision of the administrative law judge shall be final.
4. **Standard Of Review And Proof:** The administrative law judge shall ensure due process is provided. The person appealing bears the burden of proof that the city's decision was in error. The hearing officer shall review the facts "de novo" without deference to the city's determination of the factual matters. The administrative law judge shall determine the correctness of the city's interpretation and application of the plain meaning of the regulations and shall decide whether the preponderance of the evidence shows that the violation(s)

exist. Each party may present witnesses and evidence. The hearing shall be informal, and the rules of evidence do not apply.

5. Compliance Required: No provision of this section shall in any way relieve the violator from compliance with the provisions of this chapter and all applicable federal, state and city stormwater regulations.

SECTION 8-7-11: SEVERABILITY

If any provision of this Ordinance or application thereof to any person or entity or circumstance is held to be unconstitutional or otherwise invalid by a court of competent jurisdiction, such invalidity shall not affect other sections, provisions, clauses or applications thereof which can be implemented without the invalid provision(s), clause(s) or application(s) hereof.

SECTION 8-7-12: Effective Date

This Ordinance shall take effect immediately upon publication or posting in the manner required by law.

APPENDIX 1 in Exhibit A

PASSED AND ORDERED POSTED on this 13th day of August, 2025.

Washington City

Attest:

Kress Staheli, Mayor

Tara Pentz, City Recorder

COUNCIL MEMBERS OF WASHINGTON CITY, UTAH:

Troy Belliston Aye Nay

Kim Casperson Aye Nay

Craig Coats Aye Nay

Bret Henderson Aye Nay

Kurt Ivie Aye Nay

APPENDIX 1

MAIL TO:
Washington City
1305 E Washington Dam Rd.
Washington, UT 84780

Stormwater Management Facilities Certification (to be sent to Washington City)

I, _____, certify the following:
(Name of Qualified Post-Construction Stormwater Inspector)

1. I am making this Stormwater Management Facilities Certification for the following property: _____, located at
(Name of subdivision, condominium or other development)

_____, (the "Property");
(Address)

2. The owner, operator, tenant, lessee or homeowners' association of the Property is:

(name(s) of owner, operator, tenant, lessee, homeowners' association or other party having control over Property);

3. I am a Qualified Post-Construction Stormwater Inspector hired by the person/entity named in Paragraph 2;

4. I have knowledge of erosion and stormwater control and have reviewed the approved Post-Construction Stormwater Management Plan for the Property;

5. On _____, 20____, I inspected the Stormwater Management Facilities, including but not limited to parking areas, catch basins, drainage swales, detention basins, LID features, ponds, pipes and related structures required by the approved Post-Construction Stormwater Management Plan for the Property;

6. At the time of my inspection of the Stormwater Management Facilities on the Property, I identified the following need(s) for routine maintenance or deficiencies in the Stormwater Management Facilities:

7. On _____, 20_____, the owner, operator, tenant, lessee or president of the homeowners' association took or had taken the following routine maintenance or the following corrective action(s) to address the deficiencies in the Stormwater Management Facilities stated in 6 above:

8. As of the date of this certification, the Stormwater Management Facilities are functioning as intended by the approved Post-Construction Stormwater Management Plan for the Property.

Date: _____, 20_____
By: _____
(Signature)

(Print Name)

9. To ensure all correspondence related to this and future certifications is correctly delivered, please document current contact information for the property below.

Name: _____

Address: _____

Email: _____

Phone Number: _____

AGREEMENT

This Agreement is entered into between Washington City, Utah, herein "City" and Dean T. Terry and Carol Terry, herein "Developer", the day and year stated below.

RECITALS

Whereas, Developer desires to apply for a zone change on that certain property located within Washington City, Utah, known as The Pointe at Washington City, and more particularly described in Exhibit A, attached hereto, herein "the Project", from C-3 Commercial to R-1-12 Residential, and

Whereas, Developer is required to submit a proposed preliminary plat for the Project in conjunction with the request for zone change; and

Whereas, the City has agreed that in the event the proposed preliminary plat, containing nine building lots as proposed by the Developer, is not approved as proposed, Developer may seek a change back to the previous C-3 commercial zone; and

Whereas, the City has agreed to grant a zone change back to C-3 commercial zone upon request by Developer;

Now, therefore, the parties agree as follows:

AGREEMENT

1. Developer is applying for a zone change on that certain property located within Washington City, Utah, known as The Pointe at Washington City, and more particularly described in Exhibit A, attached hereto, containing nine building lots, herein "the Project", from C-3 Commercial to R-1-12 Residential.

2. Developer is submitting a proposed preliminary plat for the Project, containing nine building lots, in conjunction with the request for zone change.

3. The City agrees that in the event the proposed preliminary plat with its nine building lots, as proposed by the Developer, is not approved by the City as proposed, Developer may seek a zone change back to the previous C-3 commercial zone, and the City agrees to grant a zone change back to the previous C-3 commercial zone.

Dated this _____ day of _____, 2025.

Washington City:

Kress Staheli, Mayor

Developer:

Dean T. Terry

Carol Terry

Approved as to form and content:

Thad Seegmiller, City Attorney

**WASHINGTON CITY
CITY COUNCIL MEETING
STAFF REVIEW**

| | |
|--------------------------|--|
| HEARING DATE: | August 13th, 2025 |
| ACTION REQUESTED: | Z-25-06 - A request to rezone approximately 5.51 acres located at Rocky Point Circle and Arizona Drive, from the current C-3 zoning, to a proposed R-1-12 and OS zoning designation. |
| APPLICANT: | Dean Terry |
| OWNER: | Dean Terry Investments |
| ENGINEER: | American Consulting and Engineering |
| REVIEWED BY: | Eldon Gibb, Community Development Director |
| RECOMMENDATION: | Recommend approval onto the City Council |

Background

The applicant is requesting approval to change the zoning of approximately 5.43 acres, located at Rocky Point Circle and Arizona Drive. The requested change is from the current zoning of C-3, to a proposed R-1-12 and OS zoning designation.

The General Plan for this area is Residential Low Density which supports 3-4 units/acre commonly associated with 10,000 sq.ft lots and larger. The surrounding zoning to this parcel is R-1-12 to the north, C-3 to the east and south and St. George City residential to the west.

The R-1-12 and OS request is for the purpose of developing the land into a single family residential development. The proposal is asking to change 4.45 acres to R-1-12 and .97 acres to OS. This project is in the Hillside and was reviewed by the Hillside Review Board which minutes are attached to this report.

The applicant has asked to bring forward a special agreement with this zone change that the City Council will need to approve. In the agreement, the applicant is asking that if the 9 lot preliminary plat is not approved, they would be able to revert back to the C-3 zoning. With the applicant asking for this special agreement which involves the preliminary plat, the preliminary plat has been included with the exhibit so that everything is known at this time.

If this Zone Change and accompanying agreement is approved, the applicant would need to submit the required preliminary plat application for city approval.

Recommendation

The Planning Commission reviewed this request on July 16th and unanimously recommended approval of Z-25-06, for the zone change request from C-3, to the proposed R-1-12 and OS zoning designations, based on the following findings below.

Findings

1. That the requested zoning conforms to the intent of the land use designation of the General Plan.
2. The utilities that will be necessary for this type of development will be readily accessible to the site.

Hillside Review Committee Minutes

May 9, 2024

In Attendance: Eldon, Councilman Ivie, Dave Black, James Dotson, Jason Smith, Adam Allen, Dean Terry and daughter/son

The committee met on site and walked the property observing the survey points that identified the center of the cul-de-sac and proposed property lines.

The committee discussed the beauty of the natural rock formations on this property and the proposed disturbance to the land in relation to these natural rock formations.

The committee discussed the viewshed of the ridge from the community and I-15 and the prominent natural rock features on this land. The committee discussed the placement of homes on this property, walkout basements and proposed retaining walls.

The committee identified the proposed development as showing the top of the plateau being cut down 20 feet, the proposed retaining wall locations and walk out basements.

Adam discussed the project noting the proposed retaining walls are maxed out at 8 feet tall, walkout basements are being utilized to minimize the disturbance and that two story homes (from street view) will not be built in this subdivision. Adam identified that the top plateau is not visible from down below in that no one will notice the removal of the top plateau.

The committee discussed the prominent ridges and identified the proposed plan in that the homes are being pushed out towards these prominent ridges specifically lots 4,5 and 6. The committee felt uneasy about lots 4, 5 and 6 due to their proximity to the ridge and distraction from the natural ridge and blocking the viewshed corridor in this area.

Dave motioned for a partial recommendation for approval due to the amount of disturbance for this subdivision stating the hillside committee is comfortable with the disturbance on lots 1,2,3 ,8 and 9 with lot 8 relocating its access to arizona drive (east to west street) and lot 3 should be reconfigured to avoid the 40% or greater slopes. We have reservations for the proposed lots 4,5,6 and 7 as currently proposed with the note that lot 7 could possibly be accessed from the lower elevation as noted and recommended for lot 8. Lot 7 and 8 should not be accessed from the top cul-de-sac as proposed. We recommend not approving disturbance beyond these lots which would require reconfiguration of the cul-de-sac. Todd seconded the motion which passed unanimously.

July 16th, 2025 Planning Commission Minutes

https://youtube.com/live/_acFu8DMSAA?t=2394

Community Development Director Eldon Gibb reviewed the application.

New Development Manager John Hehnke spoke to the item.

Commissioner Mitchell opened the public hearing.

The following individuals spoke to the item:

- Don Jackson
- Randy Roberts
- Robert Dane

Commissioner Mitchell closed the public hearing.

Adam Allen with American Land Consulting spoke to the item.

Commissioner Tupou made a motion to recommend approval to City Council Zone Change Request Z-25-06 with the findings and conditions of staff. Commissioner Anderson seconded the motion; which passed with the following role call vote:

| | |
|-----------------------|-----|
| Commissioner Anderson | Aye |
| Commissioner Davis | Aye |
| Commissioner Mitchell | Aye |
| Commissioner Tupou | Aye |



2/12/2025

Re: Zone Change Review

To whom it may concern,

The purpose of this zone change is to change the current zoning from C-3 to R-1-12, in conformance with the general plan, and to better match the surrounding neighborhoods.

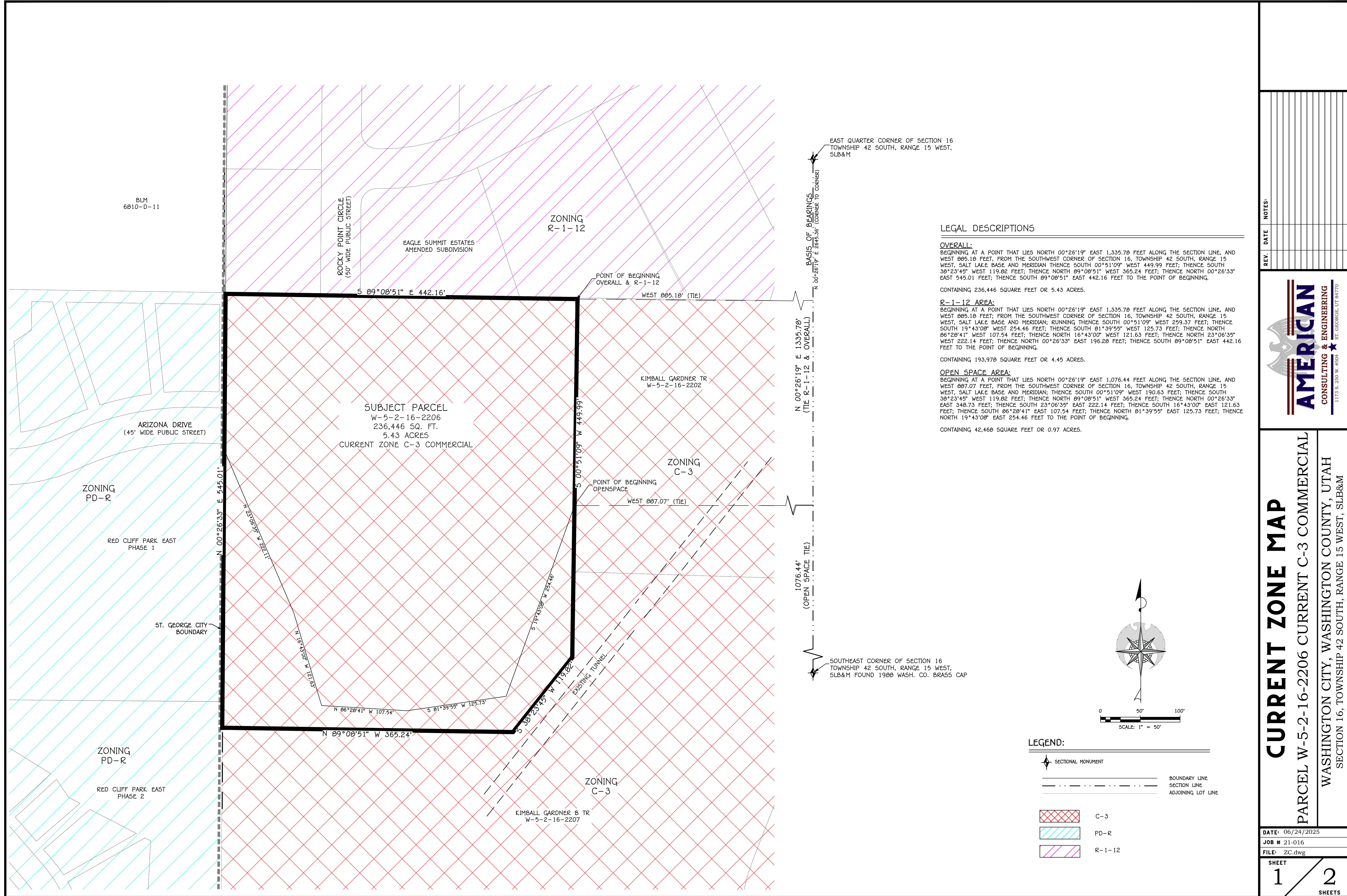
Thank You for your Consideration,

Adam Allen, Manager – American Consulting and Engineering



**PROJECT FLOW CARD: Z-25-06 - Zone Change - The Point at Washington
Rocky Point Cir & Arizona Dr**

| | | |
|------------------|--|--|
| Planning | This zone change is in line with the general plan. Staff should note this parcel is in the hillside overlay zone. The applicant has completed a hillside review. | |
| Hillside | The committee met on May 9th, 2024 and provided a partial recommendation for approval due to concerns with the layout of the proposed subdivision. See staff report for specifics. | |
| Public Works | Reviewed - OK to proceed with rezoning request. Recommend review of Hillside for establishment of "No Build" boundary at time of preliminary plat. | |
| Engineer | Reviewed, no concerns. | |
| Parks/Trails | Reviewed, no concerns | |
| Building Dept | Reviewed no concern DE | |
| Washington Power | Power is ok with the proposed zone change. | |
| Economic Dev | Reviewed no concern RH | |



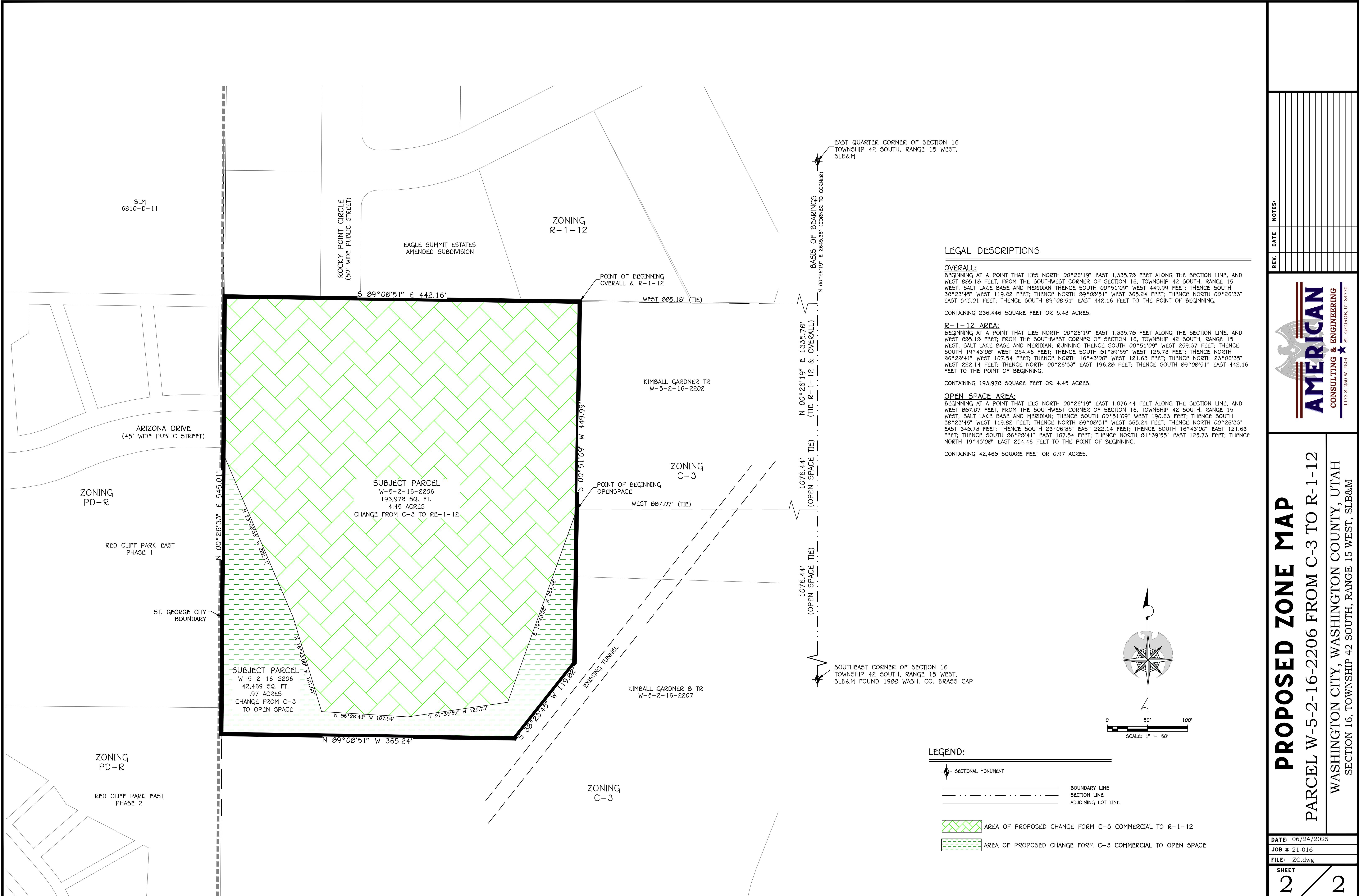
PROPOSED ZONE MAP

PARCEL W-5-2-16-2206 FROM C-3 TO R-1-12
WASHINGTON CITY, WASHINGTON COUNTY, UTAH
SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SLB&M



ST. GEORGE, UT 84770
1173 S. 250 W. #504

DATE: 06/24/2025
JOB #: 21-016
FILE: ZC.dwg
SHEET 2 / 2 SHEETS



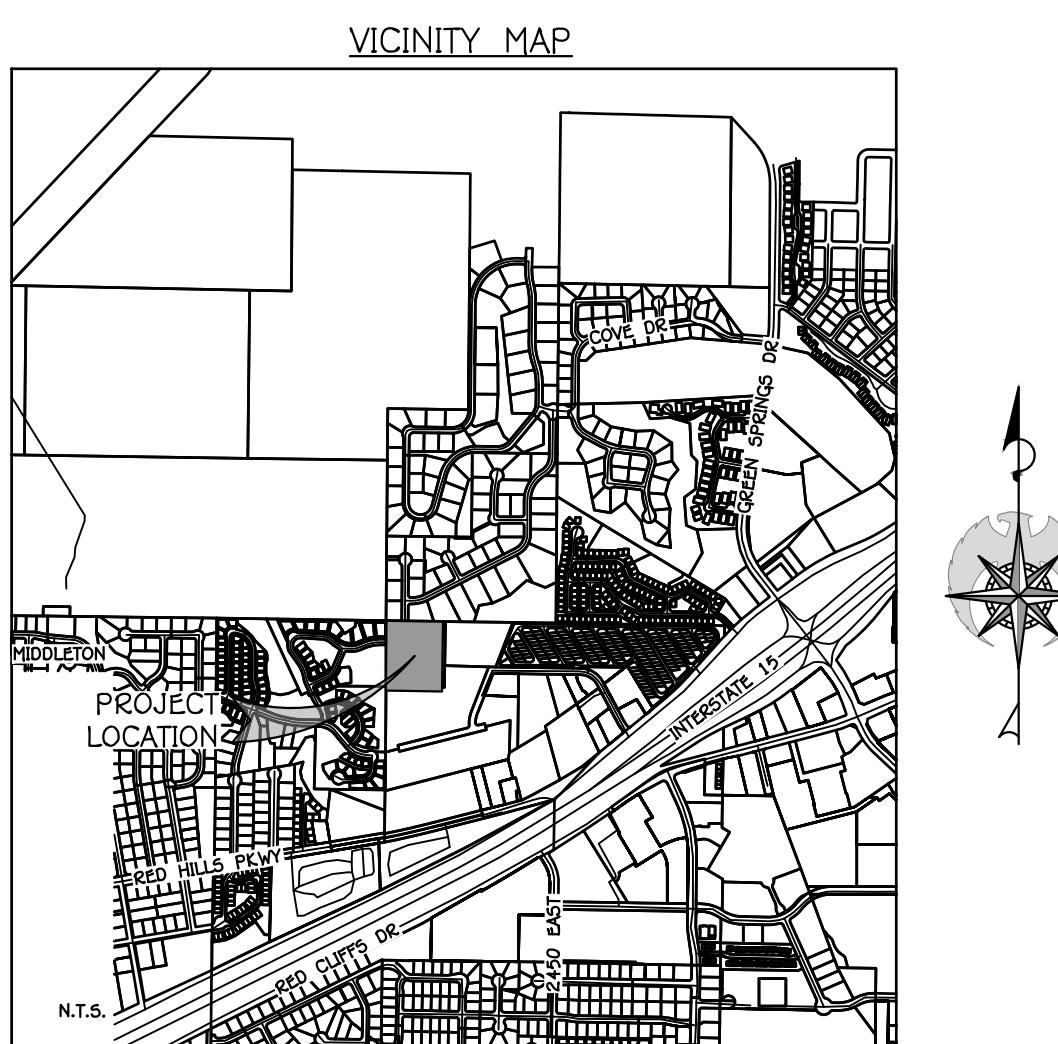
THE POINTE AT WASHINGTON CITY

LOCATED IN WASHINGTON, UTAH

SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST

SALT LAKE BASE AND MERIDIAN

MAY 2024



| SHEET NO. | DESCRIPTION |
|-----------|---------------|
| 1 | COVER SHEET |
| 2 | SITE PLAN |
| 3 | SLOPE MAP |
| 4 | GRADING PLAN |
| 5 | UTILITY PLAN |
| 6 | SITE SECTIONS |

OWNER / DEVELOPER

DEAN TERRY INVESTMENTS, LLC.
PO BOX 717
ST GEORGE, UTAH 84771

CONTACT:
DEAN TERRY
(435) 632-5079

ENGINEERING CONTACT

AMERICAN CONSULTING & ENGINEERING,
1173 SOUTH 250 WEST #502
ST GEORGE, UT 84770

ADAM ALLEN - PROJECT MANAGER
(435) 288-3330

BOUNDARY DESCRIPTION:

BEGINNING AT A POINT NORTH 0°53' WEST 1322.60 FEET ALONG THE SECTION LINE AND SOUTH 89°32' WEST 885.35 FEET ALONG THE 1/16 LINE FROM THE SOUTHEAST CORNER OF SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE SOUTH 0°28' EAST 545.00 FEET; THENCE SOUTH 89°32' WEST 442.0 FEET MORE OR LESS TO A POINT ON THE WEST LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16; THENCE NORTH 0°54'30" WEST ALONG THE WEST LINE 545.00 FEET MORE OR LESS TO THE NORTHWEST CORNER; THENCE NORTH 89°32' EAST ALONG THE 1/16 442.16 FEET TO THE POINT OF BEGINNING.

NOTES:

1. SUBJECT SITE IS LOCATED WITHIN GENERAL COMMERCIAL ZONE "C-3" PROPOSED USE IS SINGLE FAMILY RESIDENTIAL

COVER SHEET

THE POINTE AT WASHINGTON CITY
WASHINGTON CITY, WASHINGTON COUNTY, UTAH
SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SIR&M

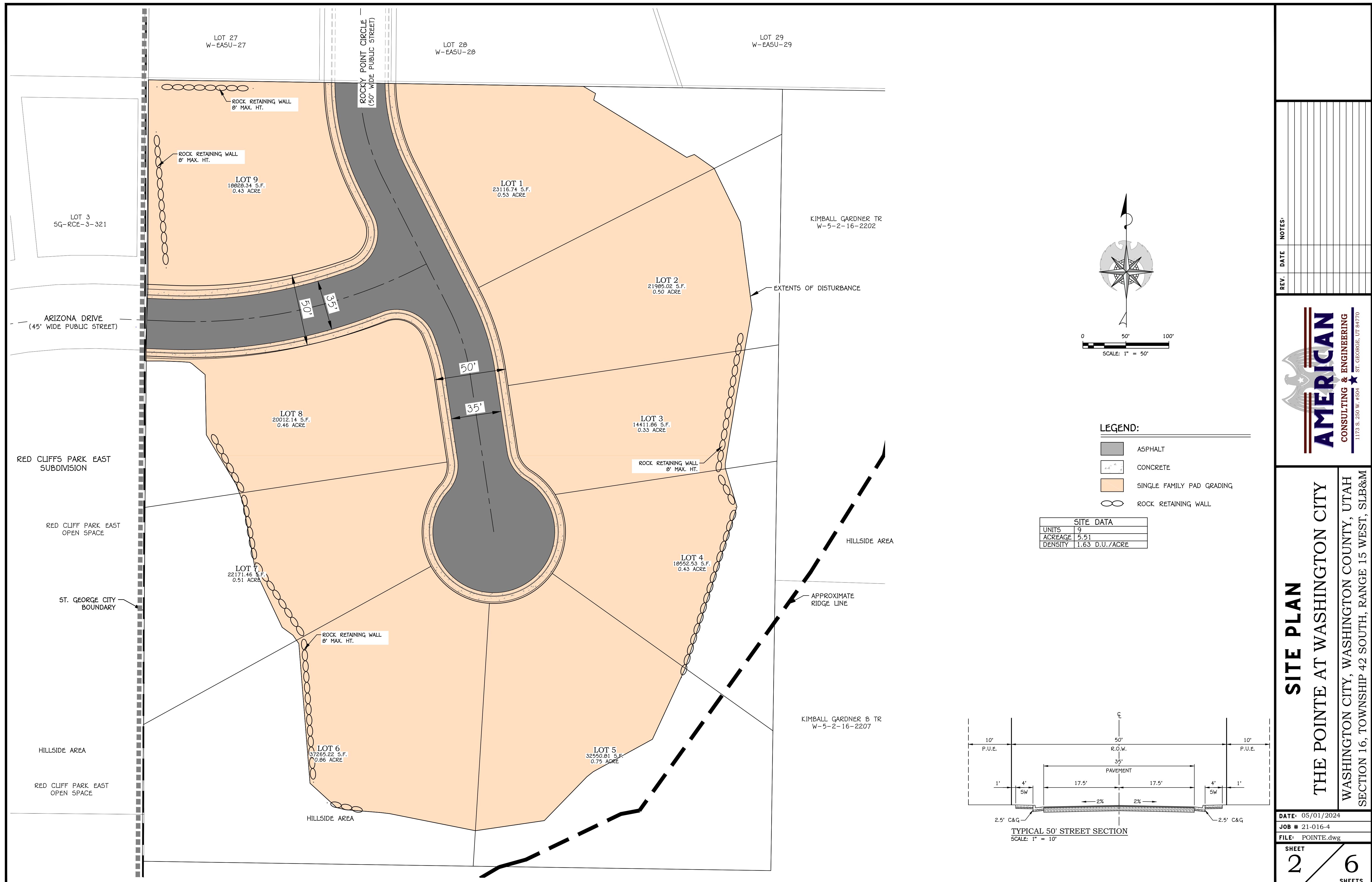
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JOB #: 21-016-4
FILE: POINTE.dwg
SHEET
1 / 6
SHEETS

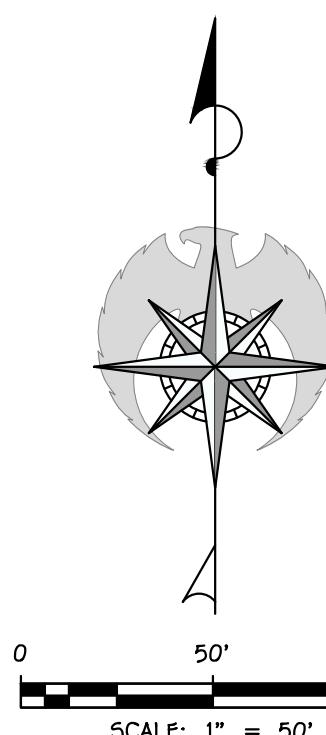
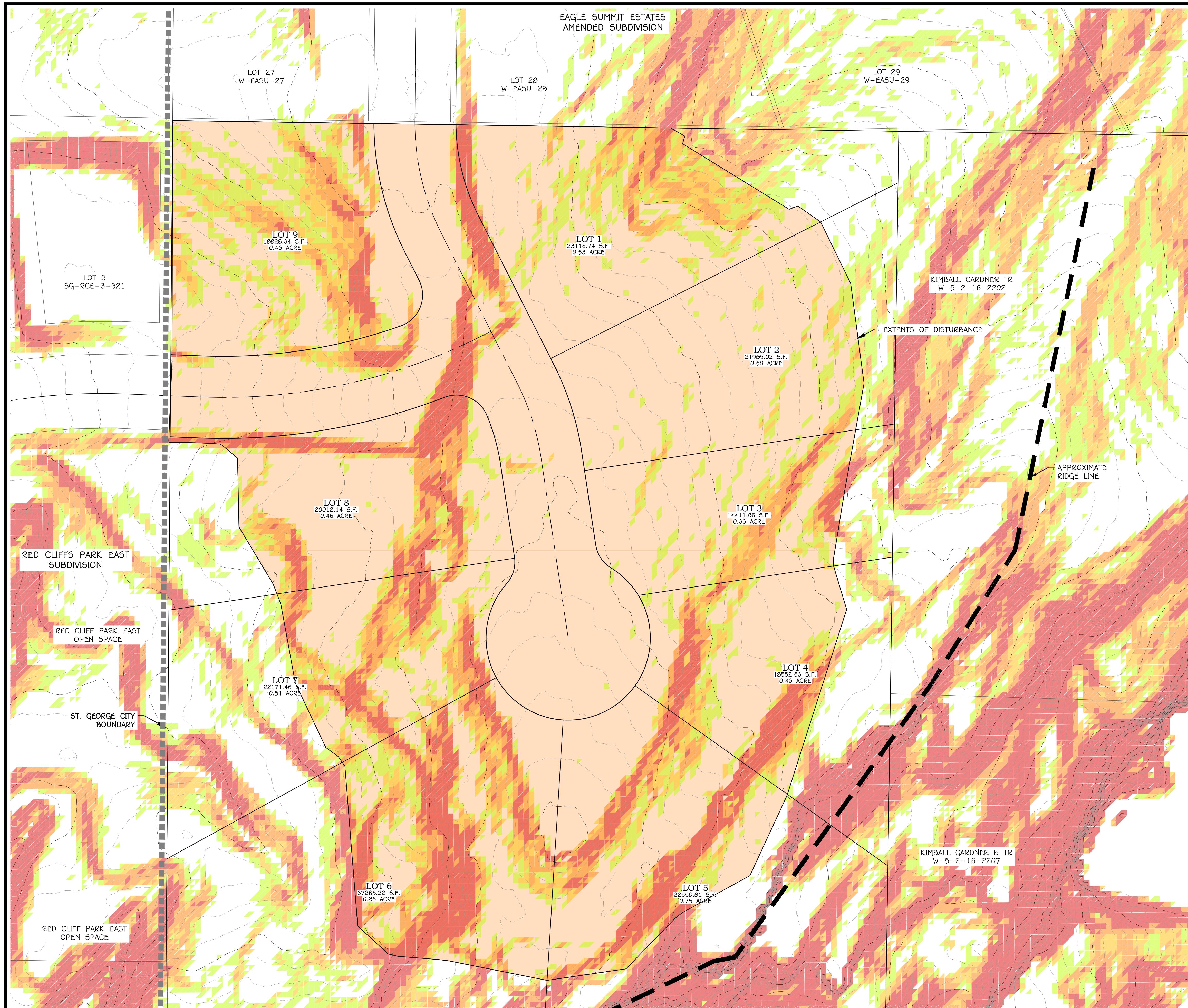


CONSULTING & ENGINEERING

1173 S. 250 W. #502

ST. GEORGE, UT 84770

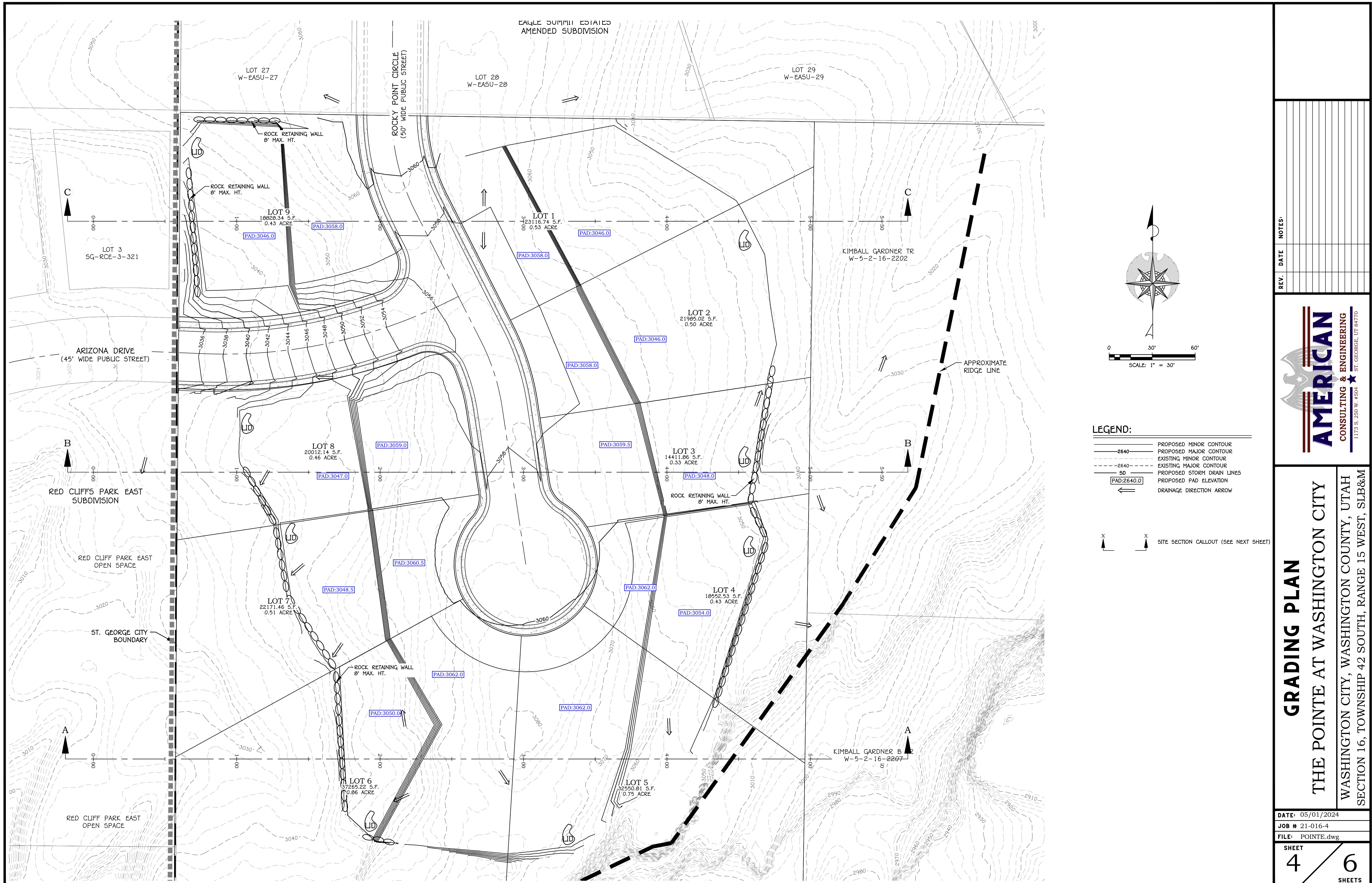


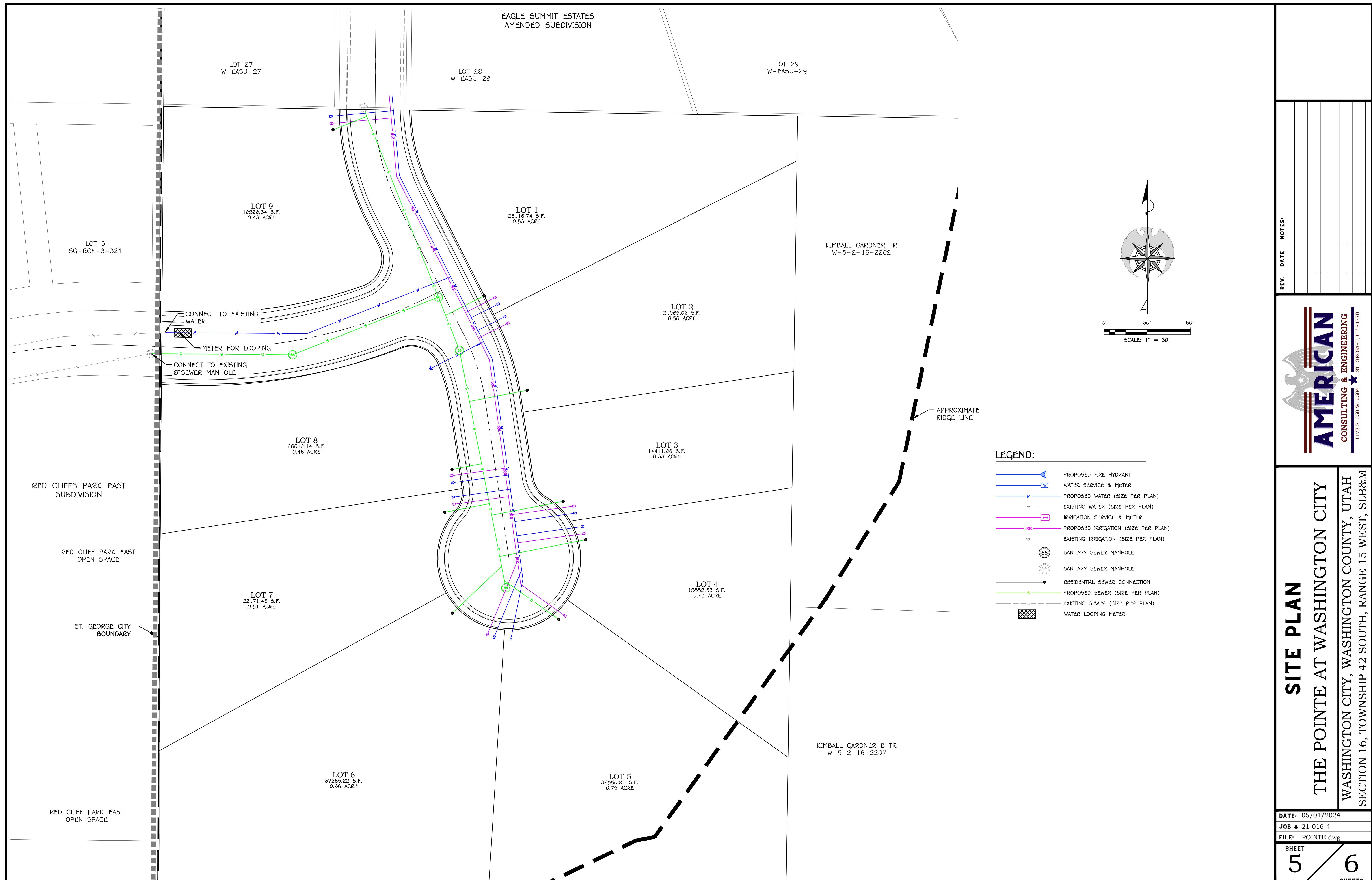


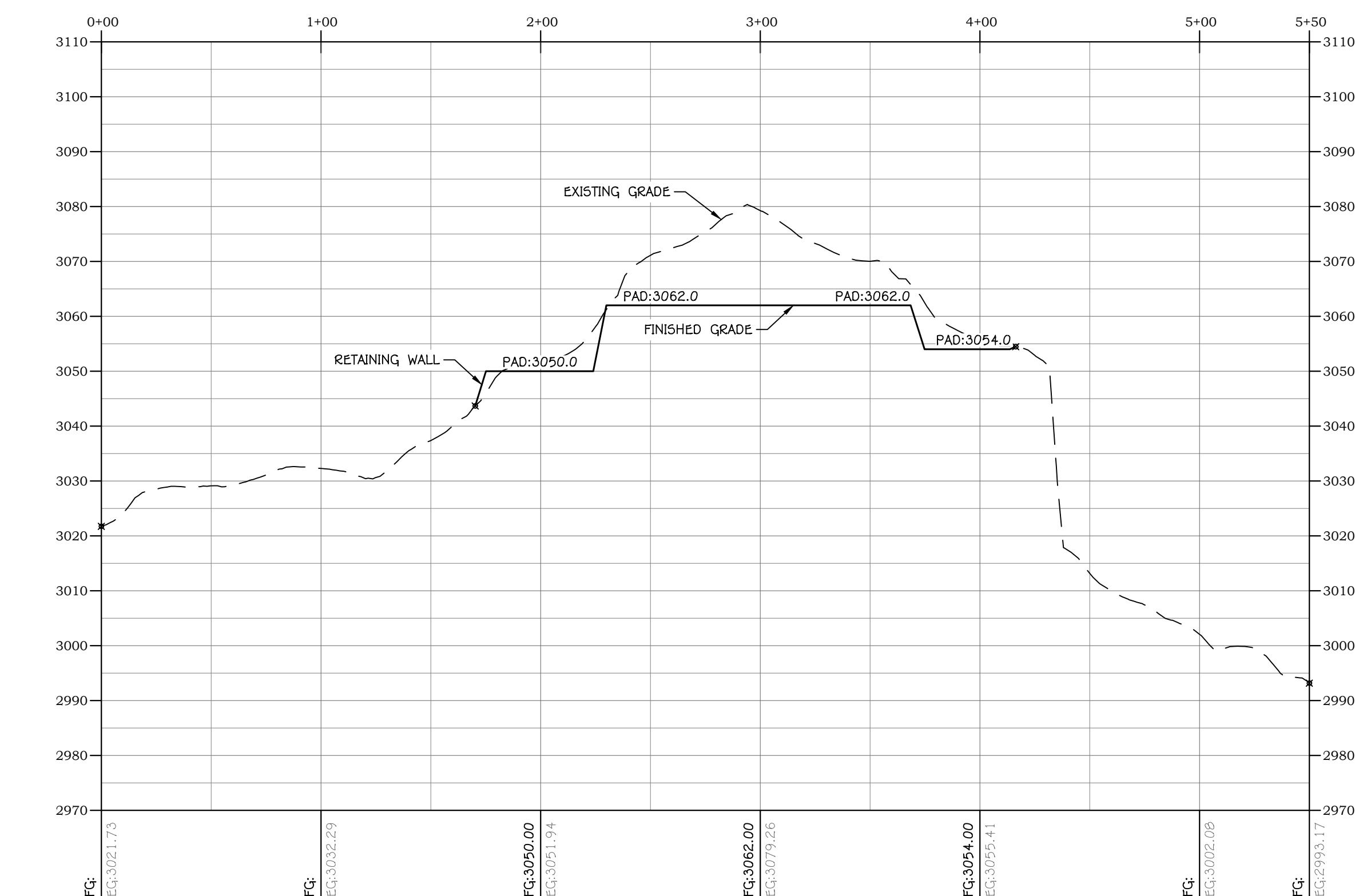
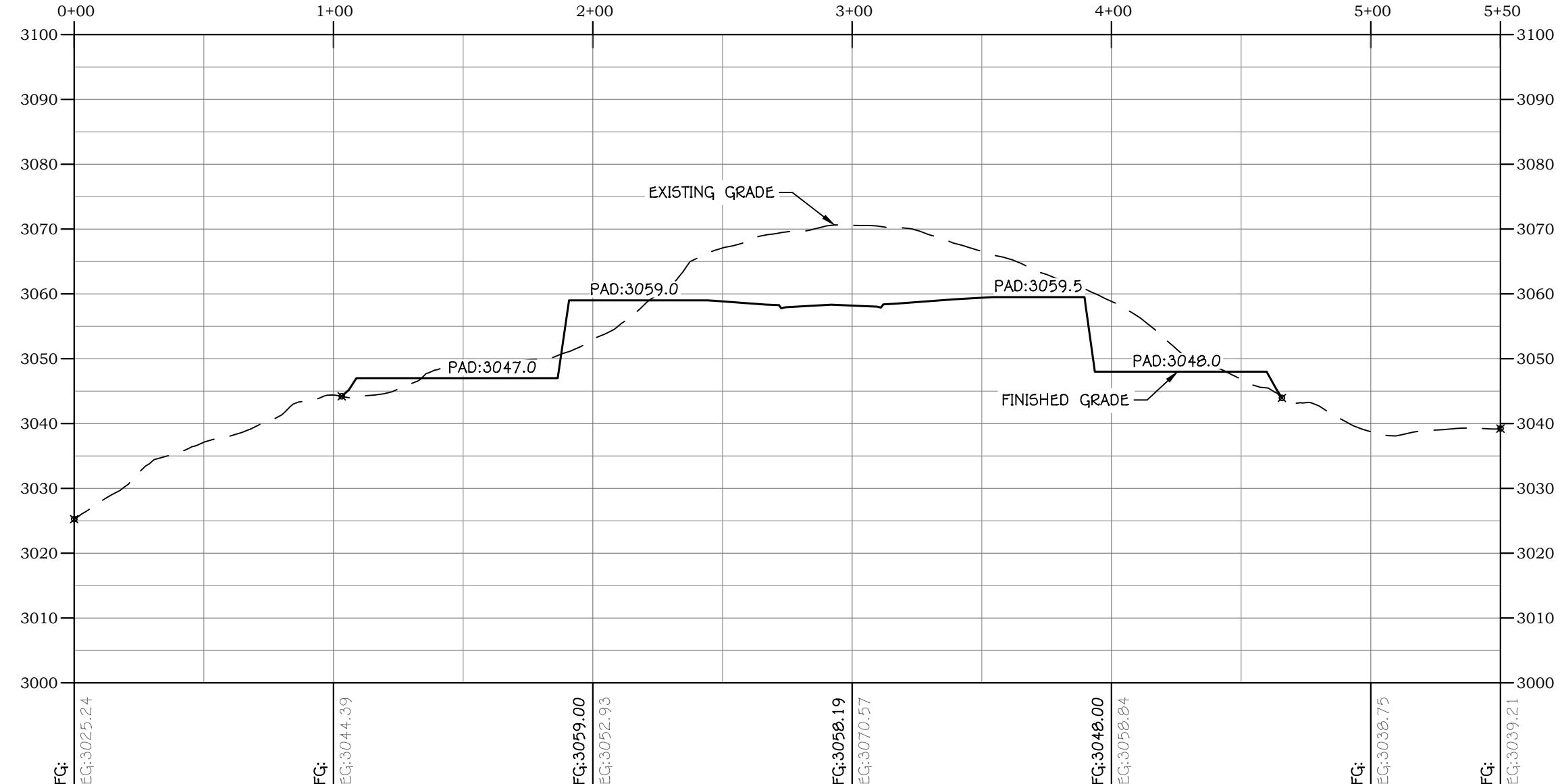
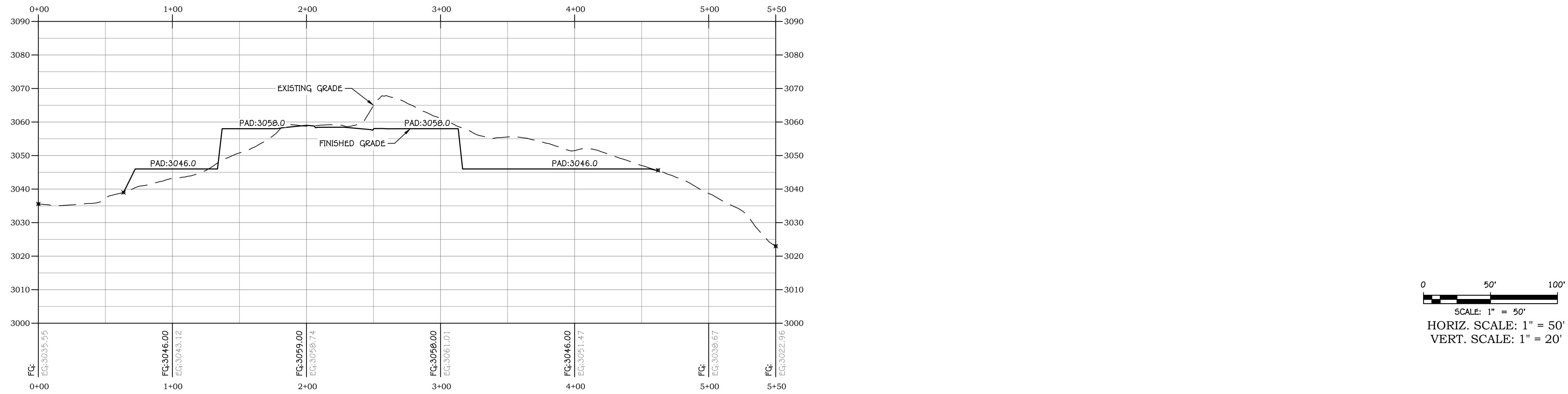
HILLSIDE SLOPE MAP

THE POINTE AT WASHINGTON CITY
WASHINGTON CITY, WASHINGTON COUNTY, UTAH
SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SLOPE & MORE

DATE: 05/01/2024
JOB #: 21-016-4
FILE: POINTE.dwg
SHEET
3 6 SHEETS







GRADING PLAN

THE POINTE AT WASHINGTON CITY

WASHINGTON CITY, WASHINGTON COUNTY, UTAH

SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SLO&M

DATE: 05/01/2024
JOB #: 21-016-4
FILE: POINTE.dwg

6 / **6**
SHEET
SHEETS

AMERICAN
CONSULTING & ENGINEERING
ST. GEORGE, UT 84770
1173 S. 250 W. 150A

WASHINGTON CITY

Washington City
Where Dixie Begins

Washington City GIS
111 North 100 East
Washington City, UT 84780
(435)656-6300

Z-25-06 Exhibit

Rocky Point Cir
Angels Landing Dr

Dean T Terry Investments LC
W-5-2-16-2206
5.53 acres

Existing Tunnel

Red Ledge Rd

Canyon Breeze Dr (Private)
K-1 Rd (Private)

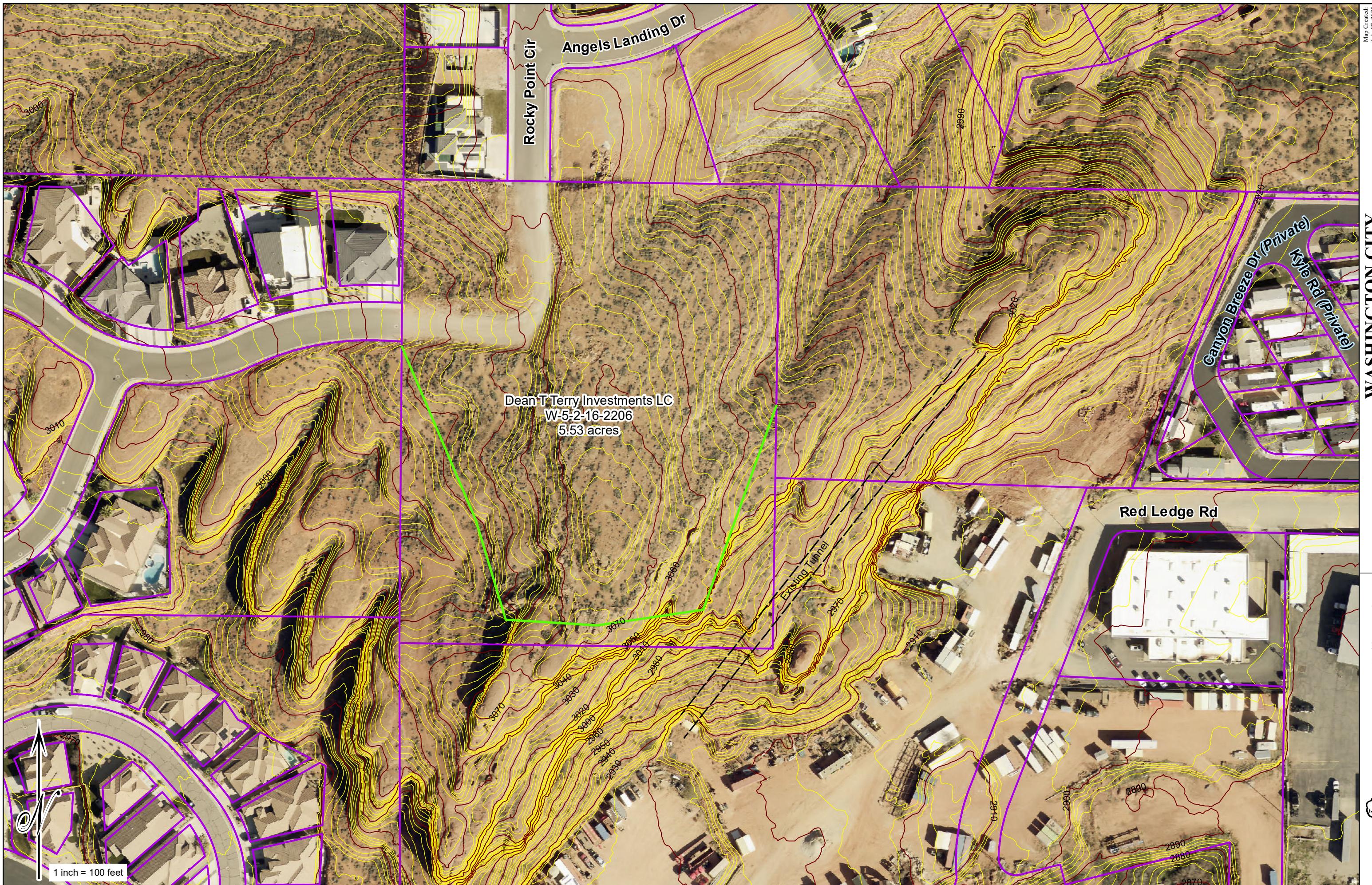
1 inch = 100 feet

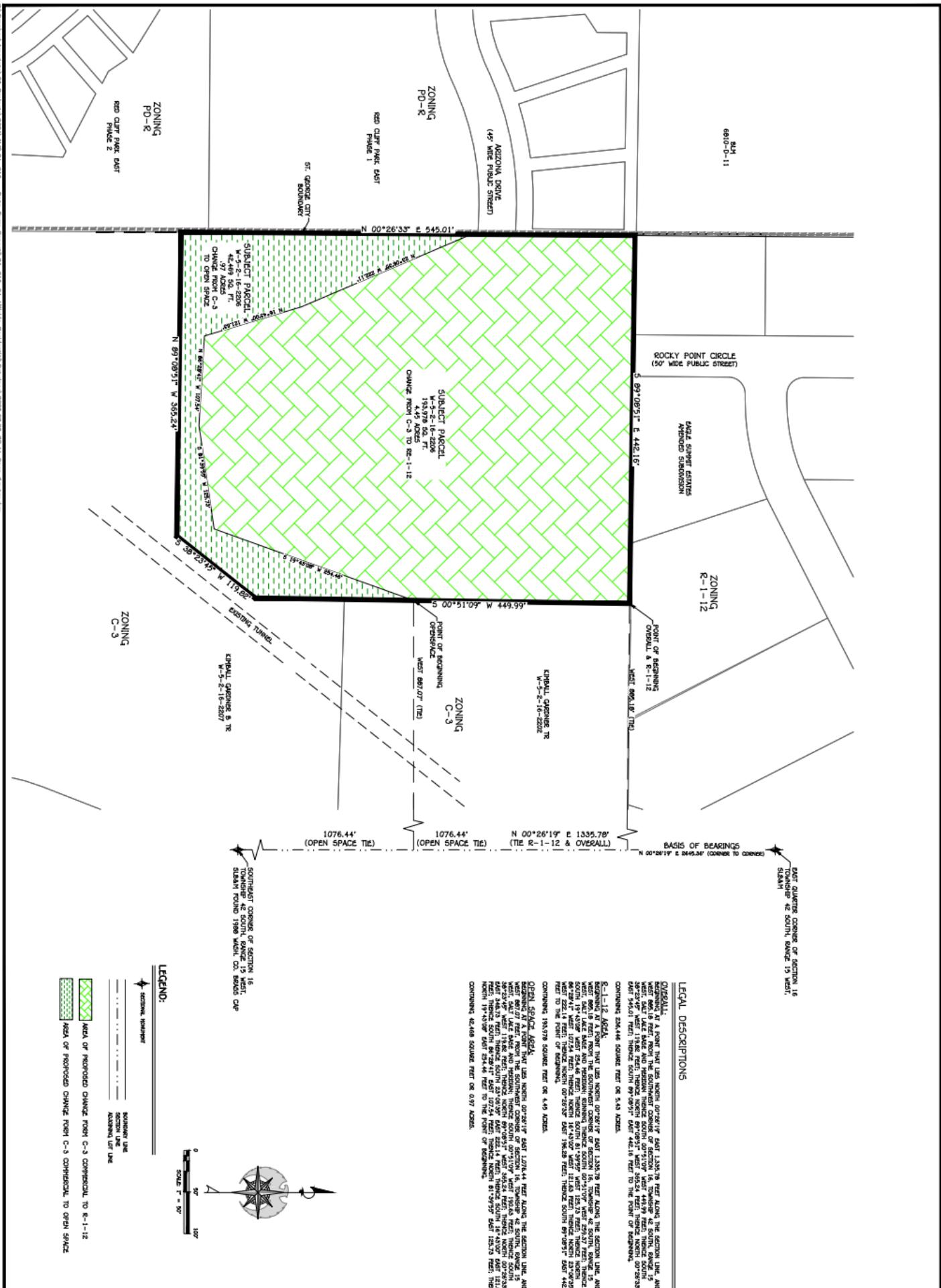
WASHINGTON CITY

Washington City
Where Dixie Begins

Washington City GIS
111 North 100 East
Washington City, UT 84780
(435)656-6300

Z-25-06 Exhibit





PROPOSED ZONE MAP

PARCEL W-5-2-16-2206 FROM C-3 TO R-1-12

WASHINGTON CITY, WASHINGTON COUNTY, UTAH
SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST, S.L.B&M



ORDINANCE NO. 2025-XX
AN ORDINANCE AMENDING THE ZONING
DESIGNATION WITHIN WASHINGTON CITY, UTAH

WHEREAS, the Washington City Community Development Department has recommended the following Zone Change be adopted; and

WHEREAS, the Planning Commission, pursuant to applicable notice requirements, conducted a public hearing on July 16th, 2025, which public hearing was closed, for the purpose of considering the proposed Zone Change and the making of formal recommendation to the City Council; and

WHEREAS, the City Council, pursuant to applicable notice requirement, conducted a public meeting on August 13th, 2025; and

WHEREAS, the City Council has reviewed this amendment and determined that it is in the best interest of the public and promotes the health, safety and general welfare of the community; and

WHEREAS, the City Council of Washington City, Utah, desires to amend the Official Zoning Map of Washington City, and

BE IT ORDAINED BY THE CITY COUNCIL OF WASHINGTON CITY, UTAH, that the following described property is hereby amended by Zone Change request Z-25-06, from the current C-3 to R-1-12 and OS zoning designations, located at approximately Rocky Point Circle and Arizona Drive as detailed in exhibit A and shown in exhibit B:

Parcel ID and Detailed Legal Description in Exhibit A
Parcel map details in Exhibit B

PASSED AND ORDERED POSTED on this 13th day of August, 2025.

Washington City

Attest:

Kress Staheli, Mayor

Tara Pentz, City Recorder

COUNCIL MEMBERS OF WASHINGTON CITY, UTAH:

Troy Belliston Aye Nay

Kim Casperson Aye Nay

Craig Coats Aye Nay

Bret Henderson Aye Nay

Kurt Ivie Aye Nay

Exhibit A

R-1-12 Legal Description

Beginning at a point that lies North 00°26'19" East 1,335.78 feet along the Section line, and West 885.18 feet; from the Southwest Corner of Section 16, Township 42 South, Range 15 West, Salt Lake Base and Meridian; Running thence South 00°51'09" West 259.37 feet; thence South 19°43'08" West 254.46 feet; thence South 81°39'55" West 125.73 feet; thence North 86°28'41" West 107.54 feet; thence North 16°43'00" West 121.63 feet; thence North 23°06'35" West 222.14 feet; thence North 00°26'33" East 196.28 feet; thence South 89°08'51" East 442.16 feet to the point of beginning.

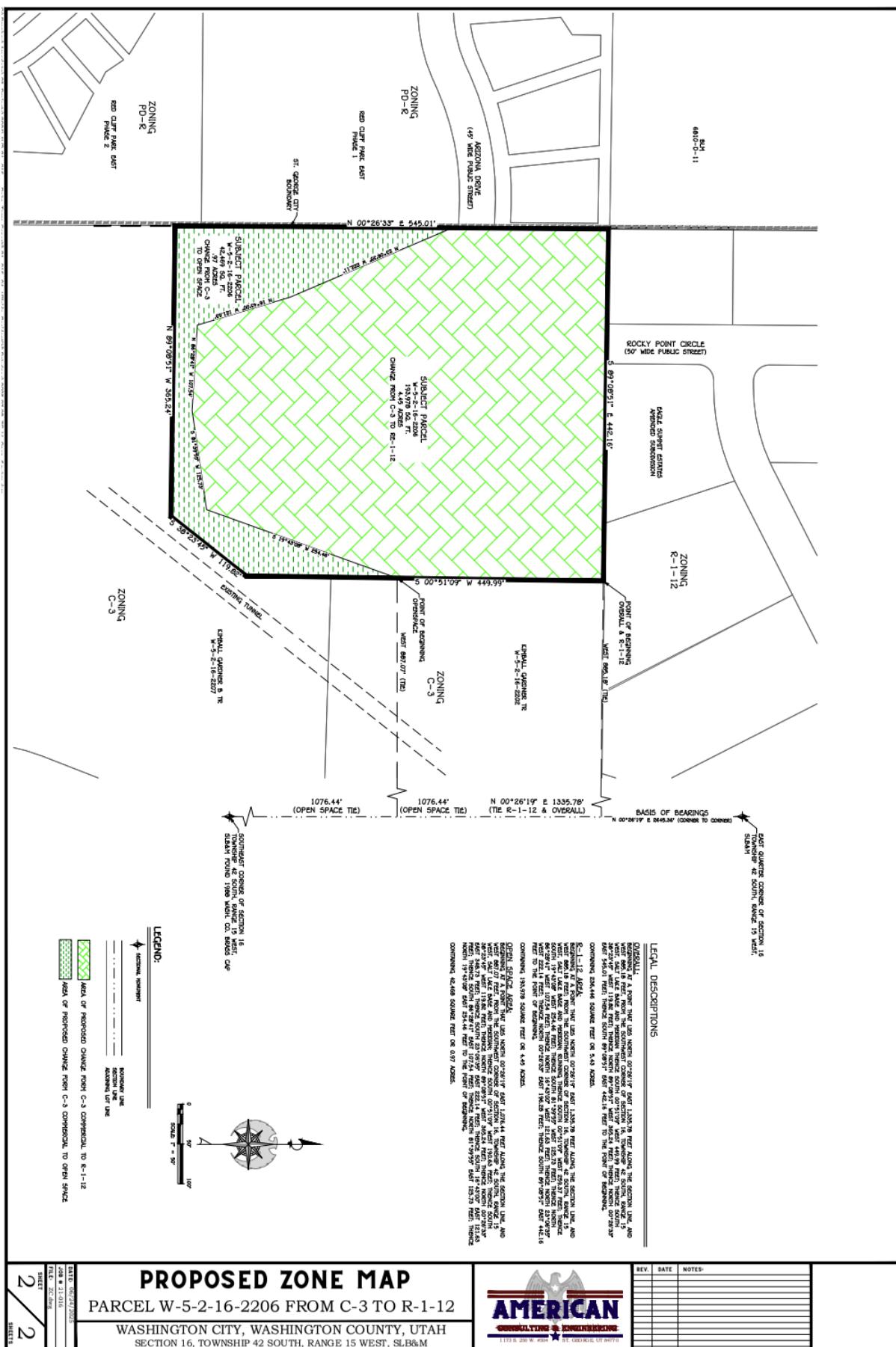
Containing 193,978 Square Feet or 4.45 Acres.

Open space Legal Description

Beginning at a point that lies North 00°26'19" East 1,076.44 feet along the Section Line, and West 887.07 feet, from the Southwest Corner of Section 16, Township 42 South, Range 15 West, Salt Lake Base and Meridian; thence South 00°51'09" West 190.63 feet; thence South 38°23'45" West 119.82 feet; thence North 89°08'51" West 365.24 feet; thence North 00°26'33" East 348.73 feet; thence South 23°06'35" East 222.14 feet; thence South 16°43'00" East 121.63 feet; thence South 86°28'41" East 107.54 feet; thence North 81°39'55" East 125.73 feet; thence North 19°43'08" East 254.46 feet to the point of beginning.

Containing 42,468 Square Feet or 0.97 Acres.

Exhibit B



PROPOSED ZONE MAP

PARCEL W-5-2-16-2206 FROM C-3 TO R-1-12
WASHINGTON CITY, WASHINGTON COUNTY, UTAH
SECTION 16, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SLB&M



Washington City
Ordinance 2025-xx
Page 4 of 4

**WASHINGTON CITY
CITY COUNCIL MEETING
STAFF REVIEW**

| | |
|--------------------------|---|
| HEARING DATE: | August 13th, 2025 |
| ACTION REQUESTED: | Z-25-17 - A request to change the zoning of 3.6 acres located at approximately 990 East George Washington Blvd, from the current R-1-10 zoning to a proposed PUD-R zoning designation |
| APPLICANT: | Lance Miller |
| OWNER: | Miller Lance Tr |
| ENGINEER: | Bush & Gudgell |
| REVIEWED BY: | Eldon Gibb, Community Development Director |
| RECOMMENDATION: | Recommend approval with conditions |

Background

The applicant is requesting approval for a zone change of approximately 3.6 acres in size. The property is located at 990 East George Washington Blvd. The proposal is to change the zoning from R-1-10 to a proposed PUD-R zoning designation, utilizing the Single Family Development Standards. In 2022, Washington City approved a preliminary plat for this property and since this approval, the applicant became aware of a fault line significantly hindering the layout of the approved plan.

The proposal includes 13 single family lots ranging from 5,100 - 11,000 sq ft. This is a 3.61 d.u./acre ratio. The proposal includes 29,000 sq ft of open space left in its natural vegetation with a 10' foot asphalt trail which is part of the required amenity for this subdivision. The asphalt trail will be maintained by the HOA.

The surrounding zoning is RA-1 to the north with bonus density credits, R-1-15 to the east, R-1-8 to the south and PUD-R to the west. The general plan for this area is LD allowing for 3-4 units per acre. The project meets the 3-4 units per acre but staff should note the smaller lot sizes on the proposed plan; however, does recognize the location of the fault line and the increased traffic on George Washington Blvd.

There is a master planned trail on the north side of George Washington Blvd and the applicant is planning to extend the back of the existing sidewalk so that the width of the sidewalk is 10' feet. This extension of sidewalk will be dedicated over to the city.

Recommendation

On August 6th, 2025 the Planning Commission reviewed this request and unanimously recommended approval of Z-25-17, for the zone change request from the current R-1-10 to the proposed PUD-R zoning designation as shown in the exhibit, onto the City Council, based on the following findings and conditions:

Findings

1. That the requested zoning conforms to the intent of the land use designation of the General Plan.
2. The utilities that will be necessary for this type of development will be readily accessible to the site.

Conditions

1. The project shall conform to the standards of the PUD - Residential (Single Lot Development) Zone and be built in accordance with the attached exhibit and conditions of this proposal. The building elevations shown are examples of the type of home that could be built in this subdivision.
2. A traffic study shall be submitted for review and approval prior to submitting building permit applications. The study will address the city's Master Transportation Plan.
3. A final drainage study and grading and drainage plan shall be submitted for review and approval prior to site development. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
4. Detailed landscape and irrigation plans shall be submitted for review and approval with the Construction Drawing application and shall conform to the city's water conservation ordinance and approved zoning plan. The developer shall install the landscaping and irrigation infrastructure prior to the occupancy of any unit.
5. All structure and site improvements shall meet the requirements of City-adopted building and fire codes.
6. A Post Construction Maintenance Agreement needs to be recorded prior to any plat recordations.
7. The proposed amenity area and landscape improvements shall be completed prior to the occupancy of any unit

August 6th, 2025 Planning Commission Minutes

<https://youtube.com/live/VF37MDoXaeA?t=2250>

Community Development Director Eldon Gibb reviewed the application.

Commissioner Bulloch opened the public hearing.

The following individuals spoke to the item:

- Tony Bodell
- Peggy Benson

Commissioner Bulloch closed the public hearing.

Rick Meyer with Bush and Gudgell spoke on behalf of the applicant.

Commissioner Mitchell made a motion to recommend approval to the City Council for Zone Change Request Z-25-17 based on the findings and conditions of staff.

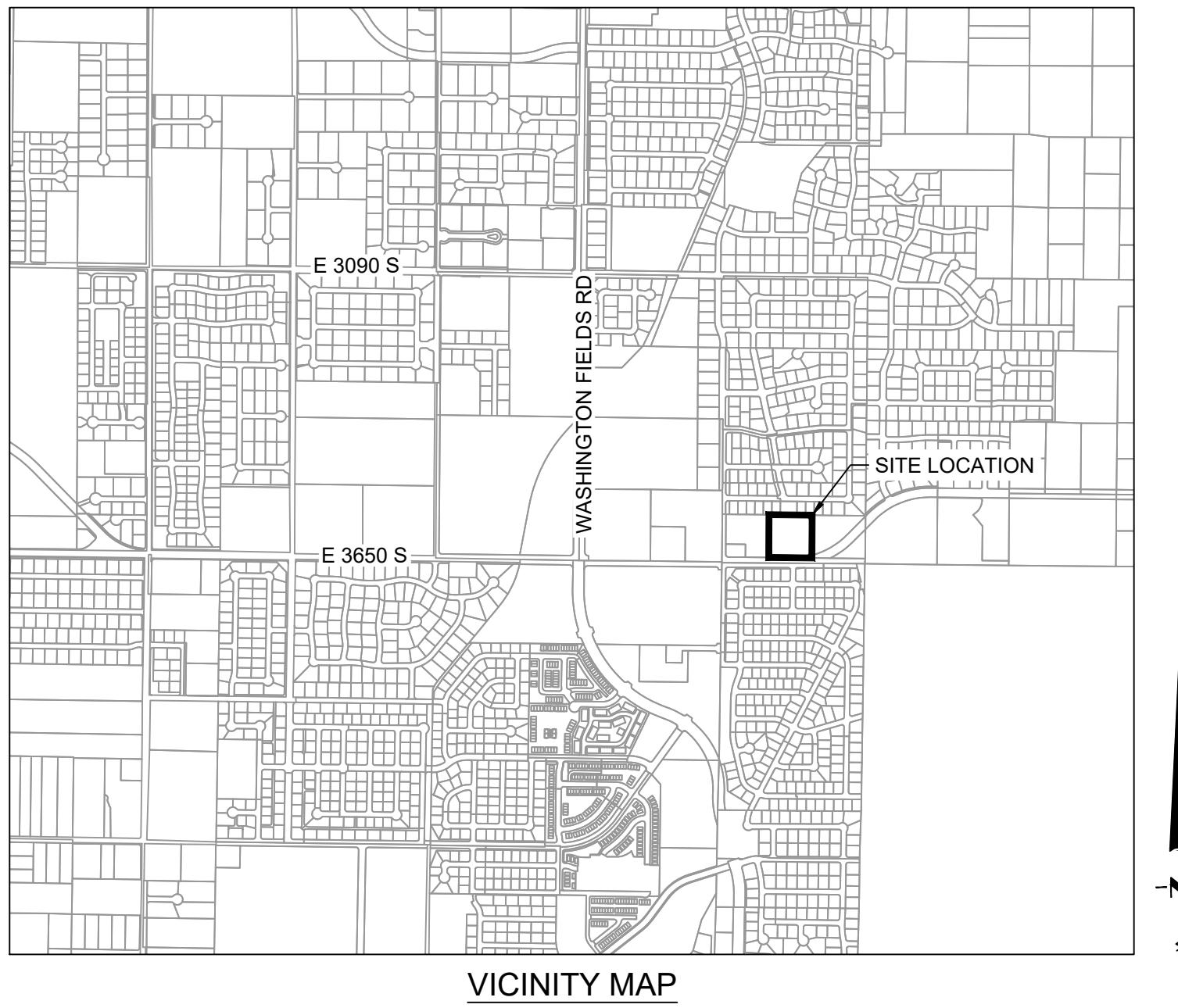
Commissioner Davis seconded the motion; which passed with the following role call vote:

| | |
|-----------------------|-----|
| Commissioner Bulloch | Aye |
| Commissioner Mitchell | Aye |
| Commissioner Davis | Aye |

B&G PROJECT NUMBER 251020
CRIMSON COURT

**PLANNED DEVELOPMENT ZONE CHANGE
LOCATED IN WASHINGTON, UTAH**

SECTION 1, T 43 S, R 15 W, SLB&M
PARCEL #W-WBKS-2-A



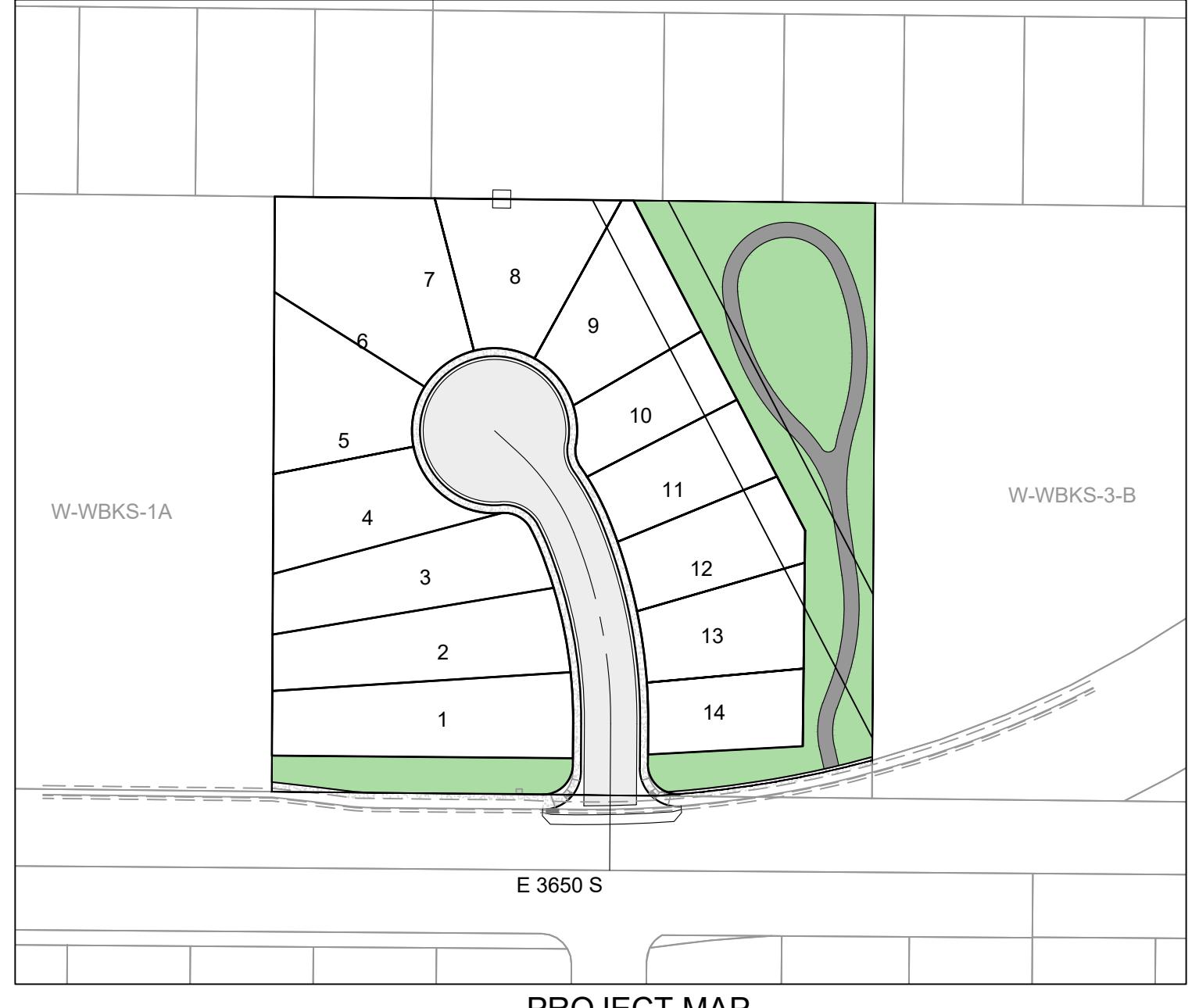
VICINITY MAP

| SHEET NO. | DESCRIPTION |
|-----------|-------------------------|
| 1 | COVER SHEET |
| 2 | SITE PLAN |
| 3 | GRADING & DRAINAGE PLAN |
| 4 | UTILITY PLAN |
| 5 | VICINITY PLAN |

LEGAL DESCRIPTION:

BEGINNING AT A POINT THAT LIES SOUTH 89°21'44" EAST ALONG THE TOWNSHIP LINE 434.76 FEET AND DUE NORTH 45.83 FEET FROM THE SOUTHWEST CORNER OF SECTION 36, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 00°18'42" EAST 396.57 FEET; THENCE SOUTH 89°22'52" EAST 400.00 FEET; THENCE SOUTH 00°18'42" WEST 370.13 FEET; THENCE WESTERLY ALONG A 719.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 82°49'41" WEST A DISTANCE OF 195.54 FEET), CENTER POINT LIES NORTH 14°58'55" WEST THROUGH A CENTRAL ANGLE OF 15°37'12", A DISTANCE OF 198.15 FEET; THENCE NORTH 89°21'43" WEST 206.12 FEET TO THE POINT OF BEGINNING.

CONTAINING 156,945 SQUARE FEET OR 3.60 ACRES.



PROJECT MAP

GENERAL NOTES

- 1) CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK IN ANY ZONE.
- 2) ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS.
- 3) PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.
- 4) PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- 5) A MAINTENANCE CONSTRUCTION PERMIT WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRADING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS.
- 6) FOLLOW APPENDIX J'S STANDARDS FOUND IN THE IBC.
- 7) ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

DUST CONTROL

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:

EARTH MOVING ACTIVITIES:

- 1) APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES.
- 2) PRE-APPLY WATER AS NECESSARY PRIOR TO PROPOSED CUTS OR EQUIPMENT PENETRATION.
- 3) APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
- 4) OPERATE EQUIPMENT APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.

DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:

- 1) WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
- 2) INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

JULY 2025
BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors

205 East Tabernacle #4
St. George, Utah 84770
Phone (435) 673-2337

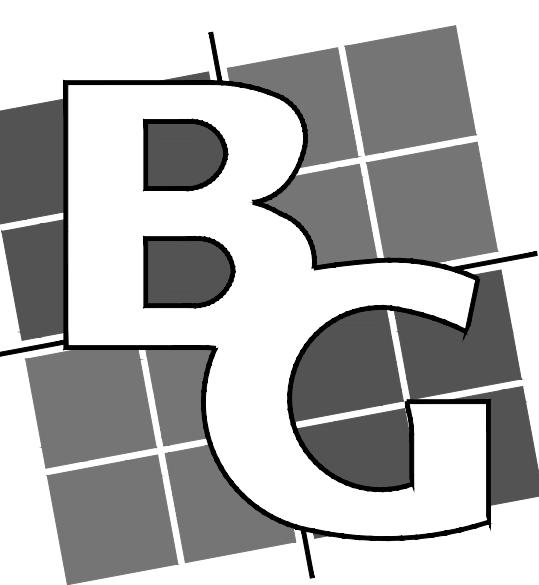


OWNER/DEVELOPER

LANCE MILLER
801-367-2245
lance.miller@gmail.com

ENGINEERING CONTACT

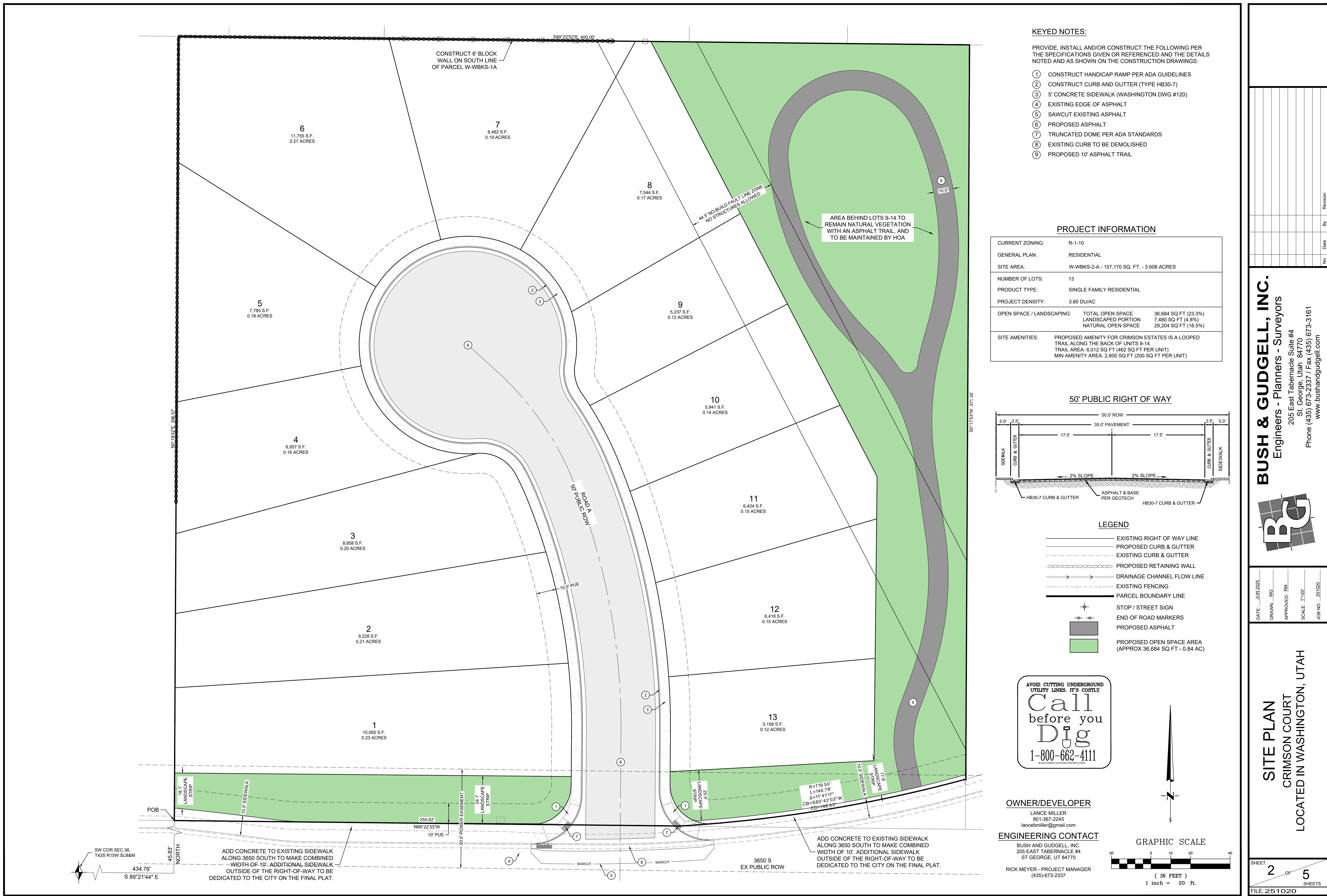
BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770
RICK MEYER - PROJECT MANAGER
(435) 673-2337

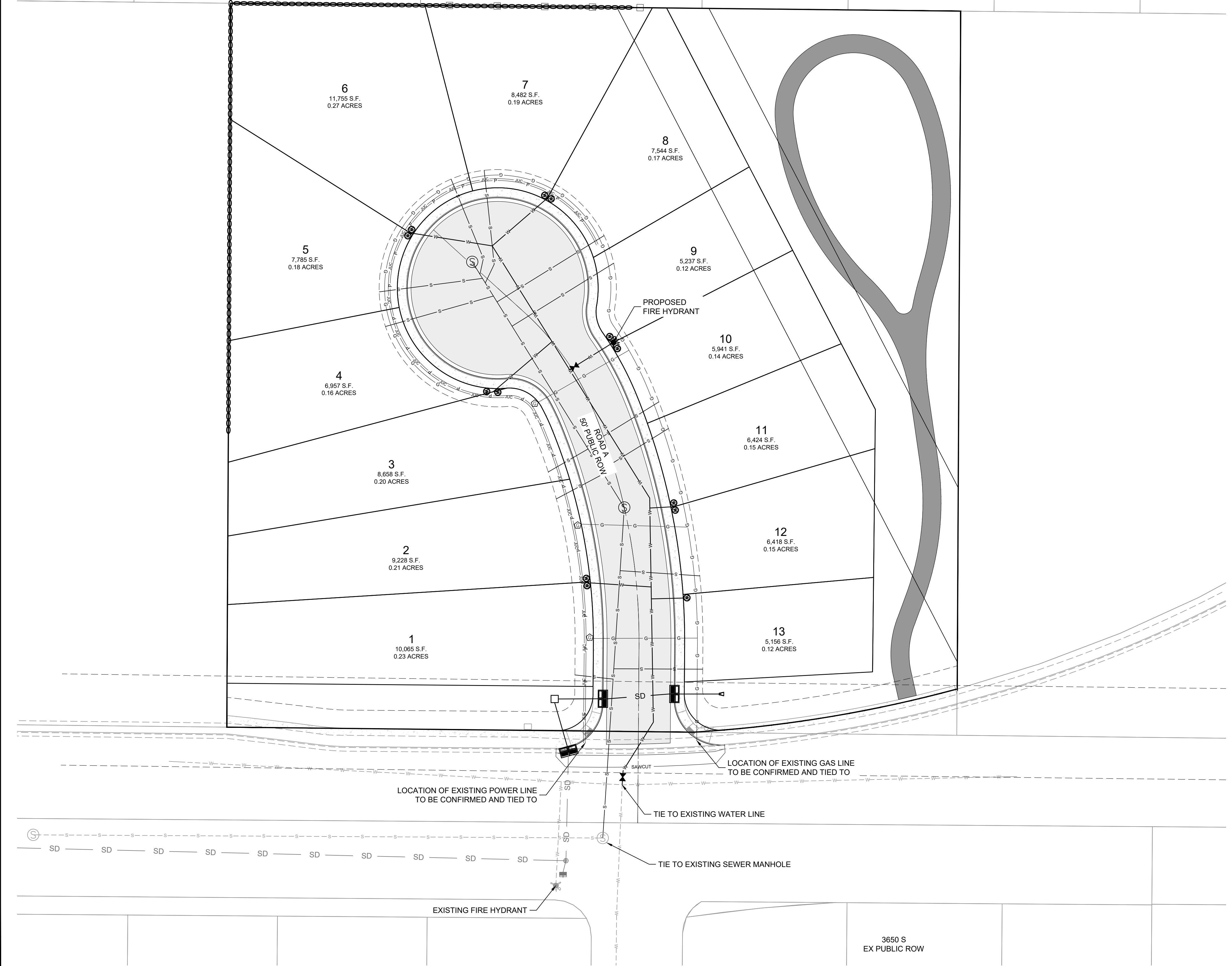


COVER SHEET
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors
205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com

SHEET
1
OF
5
SHEETS
FILE: 251020





OWNER/DEVELOPER

LANCE MILLER
801-367-2245
lancebmiller@gmail.com

ENGINEERING CONTACT

**BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4**

203 EAST TABERNACLE #4
ST GEORGE, UT 84770

(435)-673-2337

3030 S
EX PUBLIC ROW

GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft.

**UTILITIES PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH**

BUSH & GUDGELL, INC.

Engineers - Planners - Surveyors

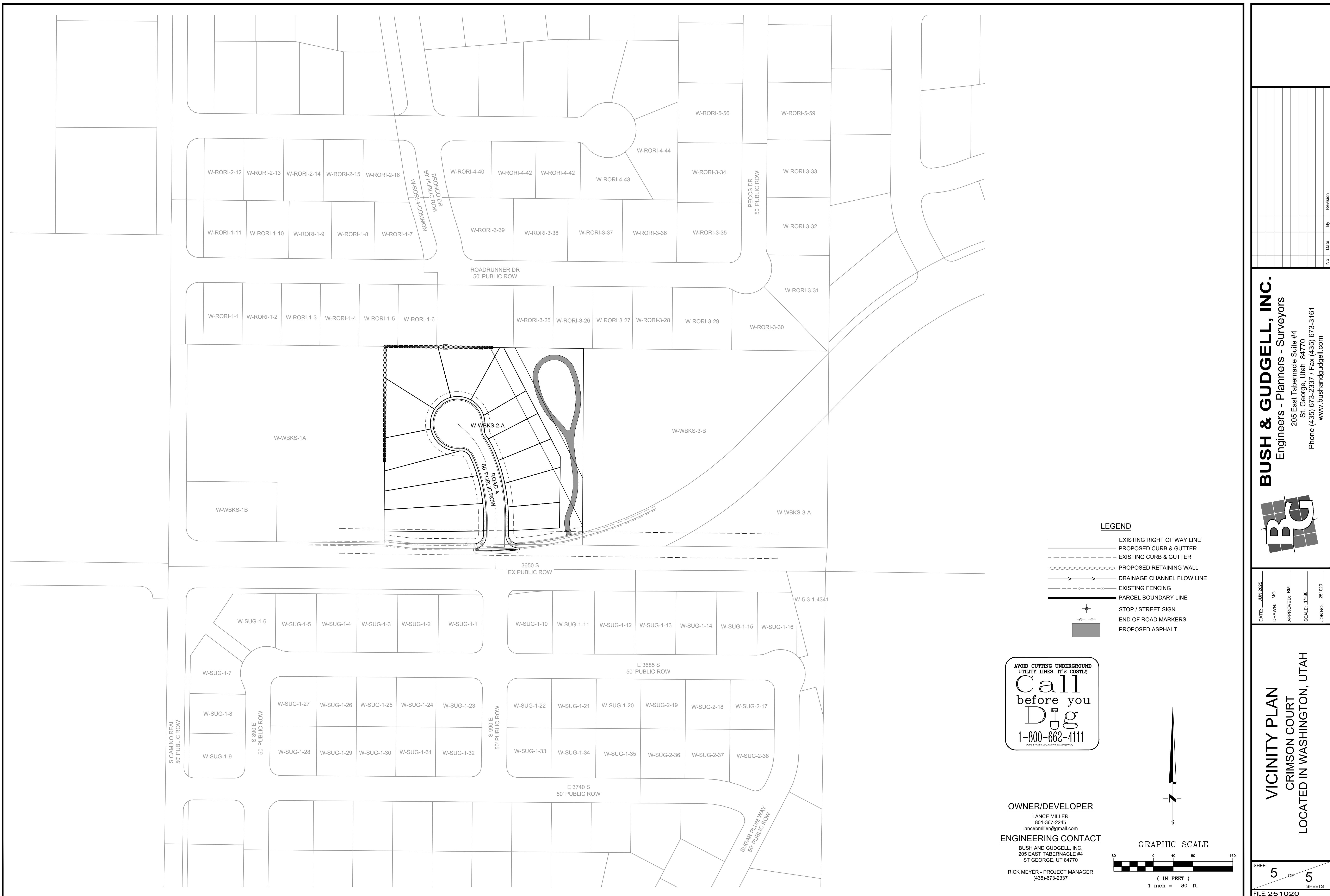
205 East Tahernacle Suite #4

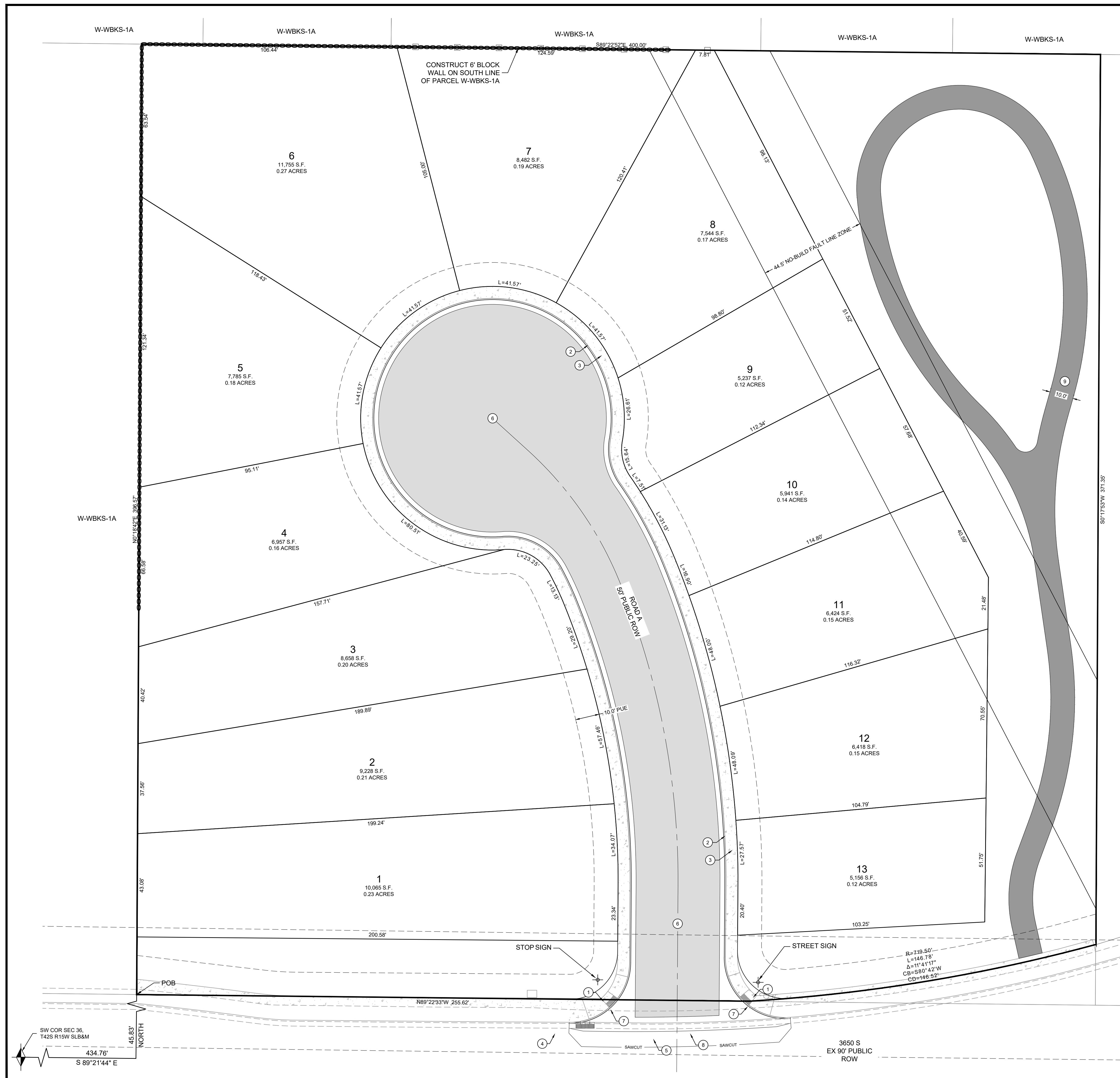
200 East 25th Street, Suite 100
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com

H & GUDGELL, INC.

Engineers - Planners - Surveyors

SHEET
4 OF 5 SHEETS
FILE: 251020





KEYED NOTES:

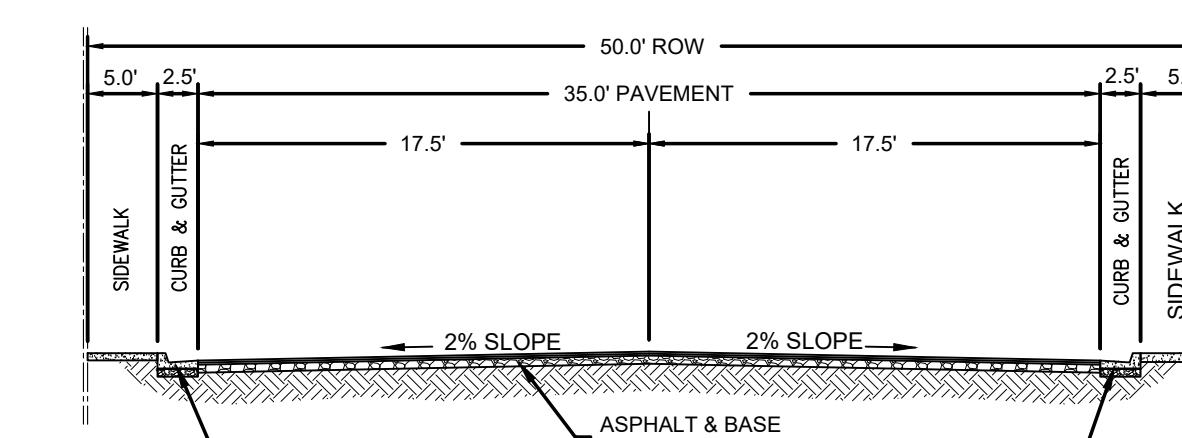
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① CONSTRUCT HANDICAP RAMP PER ADA GUIDELINES
- ② CONSTRUCT CURB AND GUTTER (TYPE HB30-7)
- ③ 5' CONCRETE SIDEWALK (WASHINGTON DWG #120)
- ④ EXISTING EDGE OF ASPHALT
- ⑤ SAWCUT EXISTING ASPHALT
- ⑥ PROPOSED ASPHALT
- ⑦ TRUNCATED DOME PER ADA STANDARDS
- ⑧ EXISTING CURB TO BE DEMOLISHED
- ⑨ PROPOSED 10' ASPHALT TRAIL

PROJECT INFORMATION

| | | | | | | | |
|-------------------------------|---|-------------------------------|----------------|--------------------|--------|------|-----|
| CURRENT ZONING: | R-1-10 | | | | | | |
| GENERAL PLAN: | RESIDENTIAL | | | | | | |
| SITE AREA: | W-WBKS-2-A - 157,170 SQ. FT. - 3.608 ACRES | | | | | | |
| NUMBER OF LOTS: | 13 | | | | | | |
| LAND USE: | SINGLE FAMILY RESIDENTIAL | | | | | | |
| PROJECT DENSITY: | 3.60 DU/AC | | | | | | |
| SETBACK REQUIREMENTS: | <table> <tr> <td>FRONT</td> <td>20'</td> </tr> <tr> <td>REAR</td> <td>20'</td> </tr> <tr> <td>SIDE</td> <td>10'</td> </tr> </table> | FRONT | 20' | REAR | 20' | SIDE | 10' |
| FRONT | 20' | | | | | | |
| REAR | 20' | | | | | | |
| SIDE | 10' | | | | | | |
| LANDSCAPING: | <table> <tr> <td>TOTAL LANDSCAPE AREA PROVIDED</td> <td>110,979 SQ. FT</td> </tr> <tr> <td>LANDSCAPE COVERAGE</td> <td>70.61%</td> </tr> </table> | TOTAL LANDSCAPE AREA PROVIDED | 110,979 SQ. FT | LANDSCAPE COVERAGE | 70.61% | | |
| TOTAL LANDSCAPE AREA PROVIDED | 110,979 SQ. FT | | | | | | |
| LANDSCAPE COVERAGE | 70.61% | | | | | | |

50' PUBLIC RIGHT OF WAY



LEGEND

— EXISTING RIGHT OF WAY LINE

— PROPOSED CURB & GUTTER

— EXISTING CURB & GUTTER

·○○○○○○○○○○○○· PROPOSED RETAINING WALL

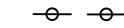
—>—>— DRAINAGE CHANNEL FLOW LINE

— X — EXISTING FENCING

— PARCEL BOUNDARY LINE

 STOP / STREET SIGN

 END OF ROAD MARKERS

 PROPOSED ASPHALT

AVOID CUTTING UNDERGROUND
UTILITY LINES. IT'S COSTLY

Call before you Dig

1-800-662-4111

Call Before You Dig

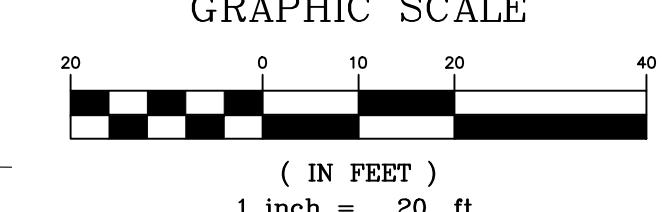
OWNER/DEVEL OPER

LANCE MILLER
801-367-2245
lancebmiller@gmail.com

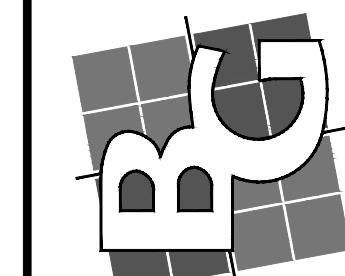
ENGINEERING CONTACT

BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435) 672-2007



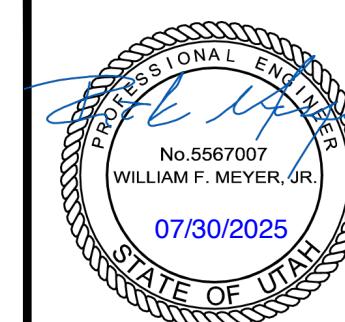
SITE PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

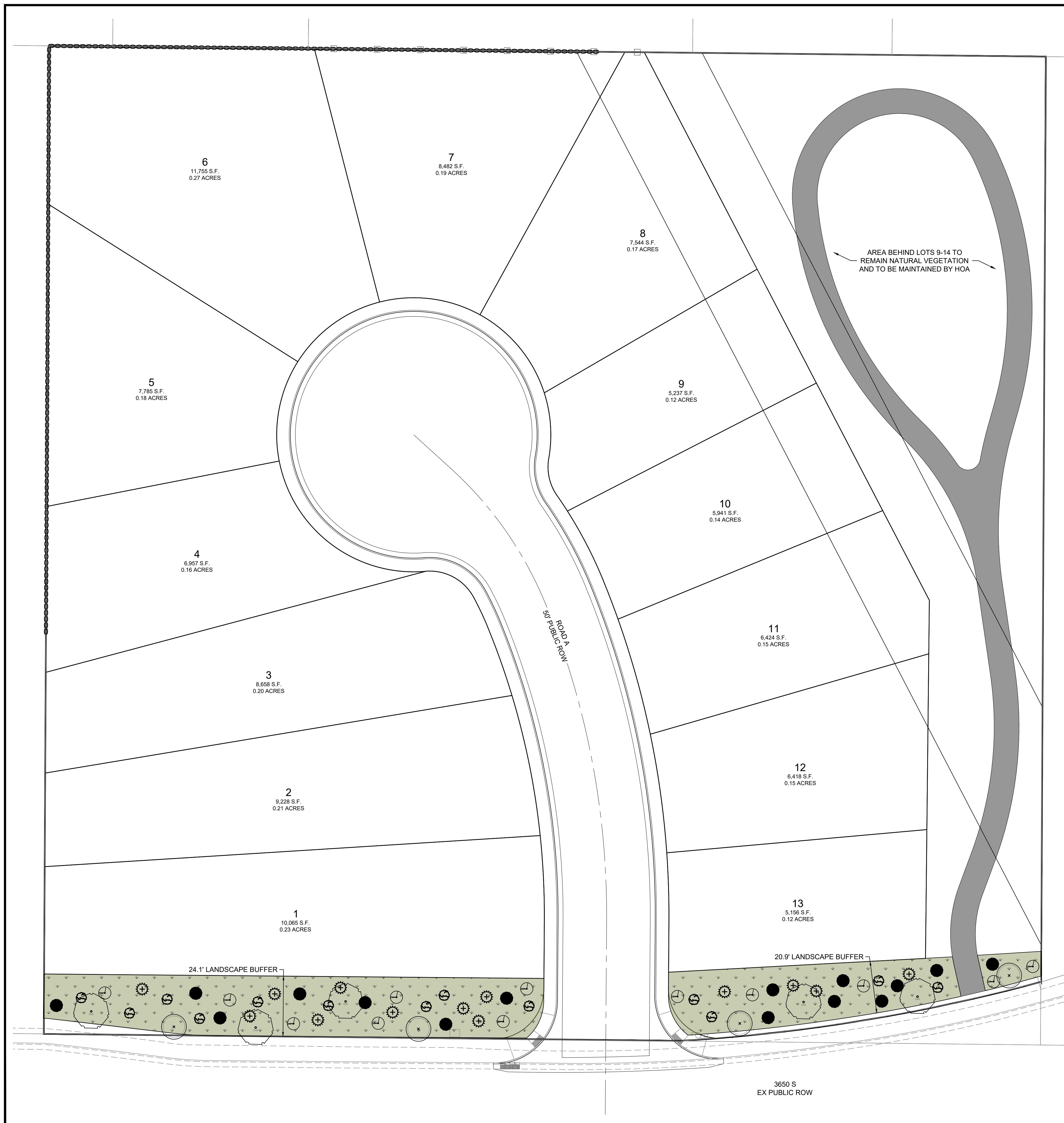


BUSH & GUDGELL, INC.

Engineers - Planners - Surveyors

205 East Tabernacle Suite #4
St. George, Utah 84770



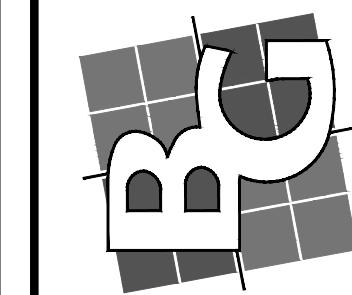


| PLANT SCHEDULE | | | | |
|----------------|--|------------------------------------|--------|-------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | COUNT |
| ● | Mulenbergia capillaris | Pink Muhy Grass | 5 gal. | 15 |
| ◎ | Agave angustifolia "Marginata" | Variegated Caribbean Century Plant | 5 gal. | 13 |
| 🕒 | Spartium junceum | Spanish Broom | 5 gal. | 12 |
| 🕒 | Miscanthus sinensis "Morning Light" | Morning Light Eulalia Grass | 5 gal. | 13 |
| 🕒 | Chitalpa x taskentensis | Pink Dawn Chitalpa | 24 box | 5 |
| 🕒 | Prosopis glandulosa 'Maverick' - Multi-Trunk | Maverick Honey Mesquite | 24 box | 4 |
| Total | | | | 62 |



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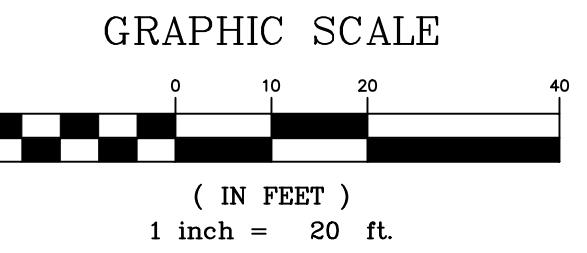


OWNER/DEVELOPER

LANCE MILLER
801-367-2245
lancebmill@gmail.com

ENGINEERING CONTACT

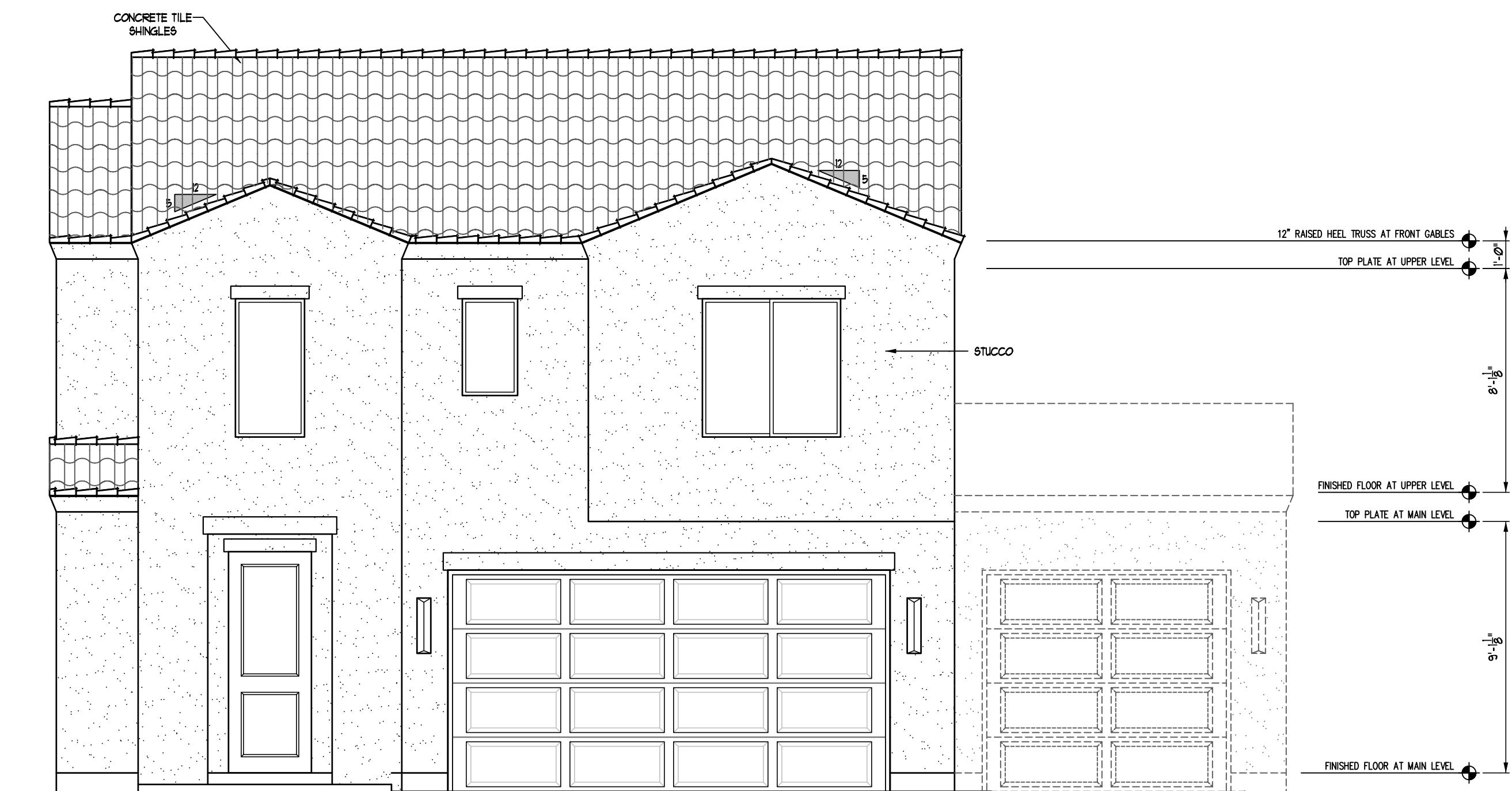
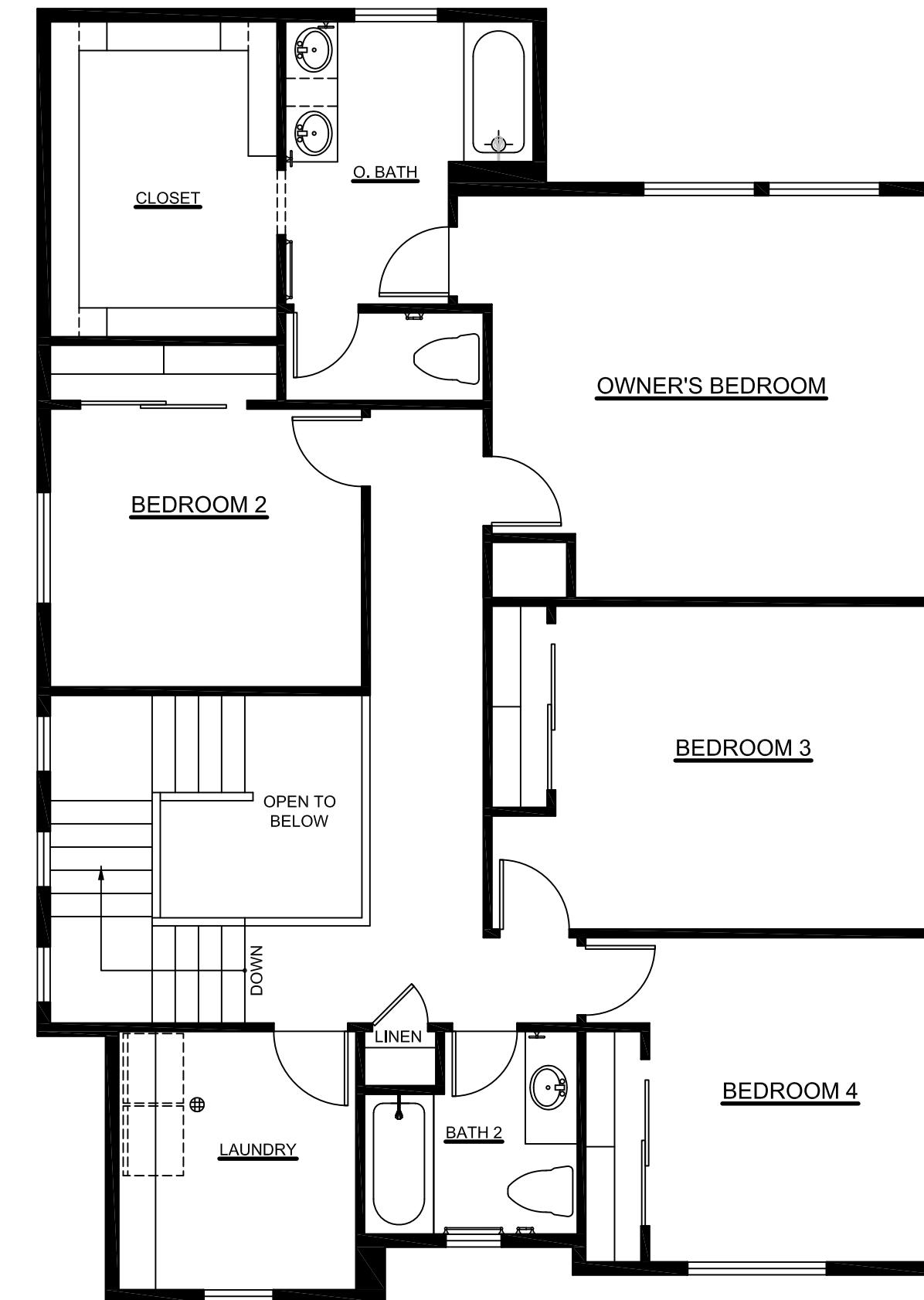
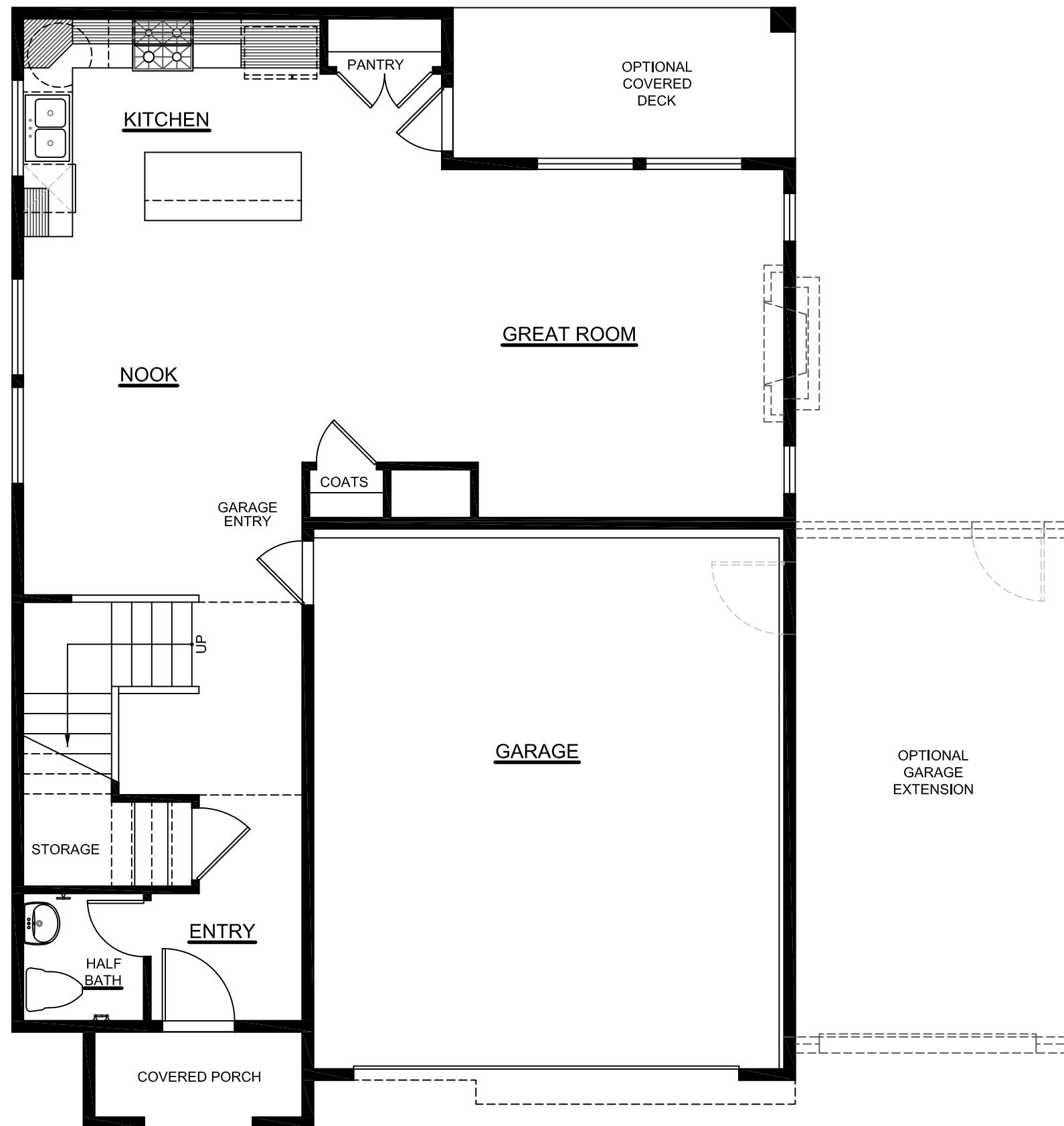
BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770
RICK MEYER - PROJECT MANAGER
(435) 673-2337

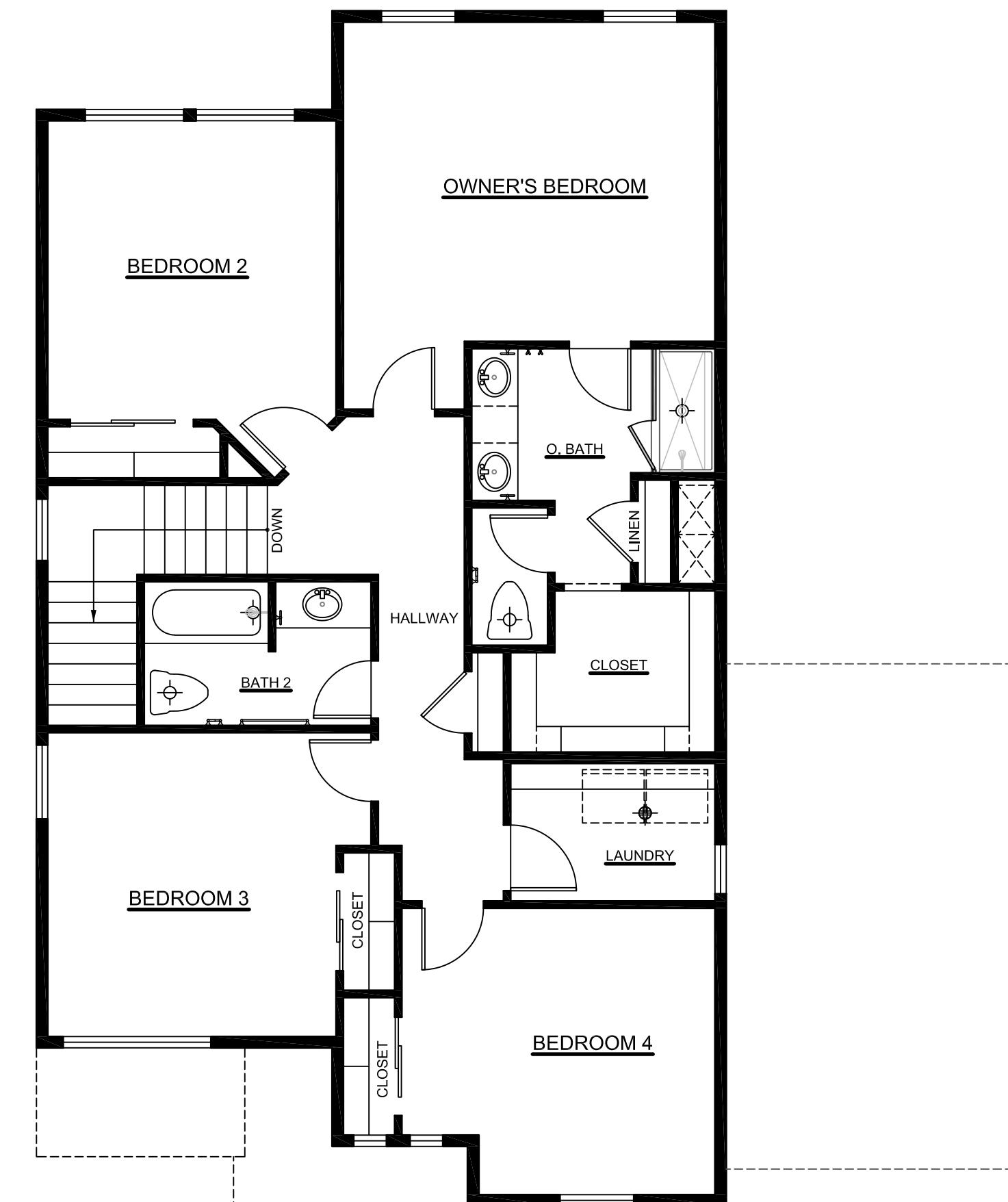
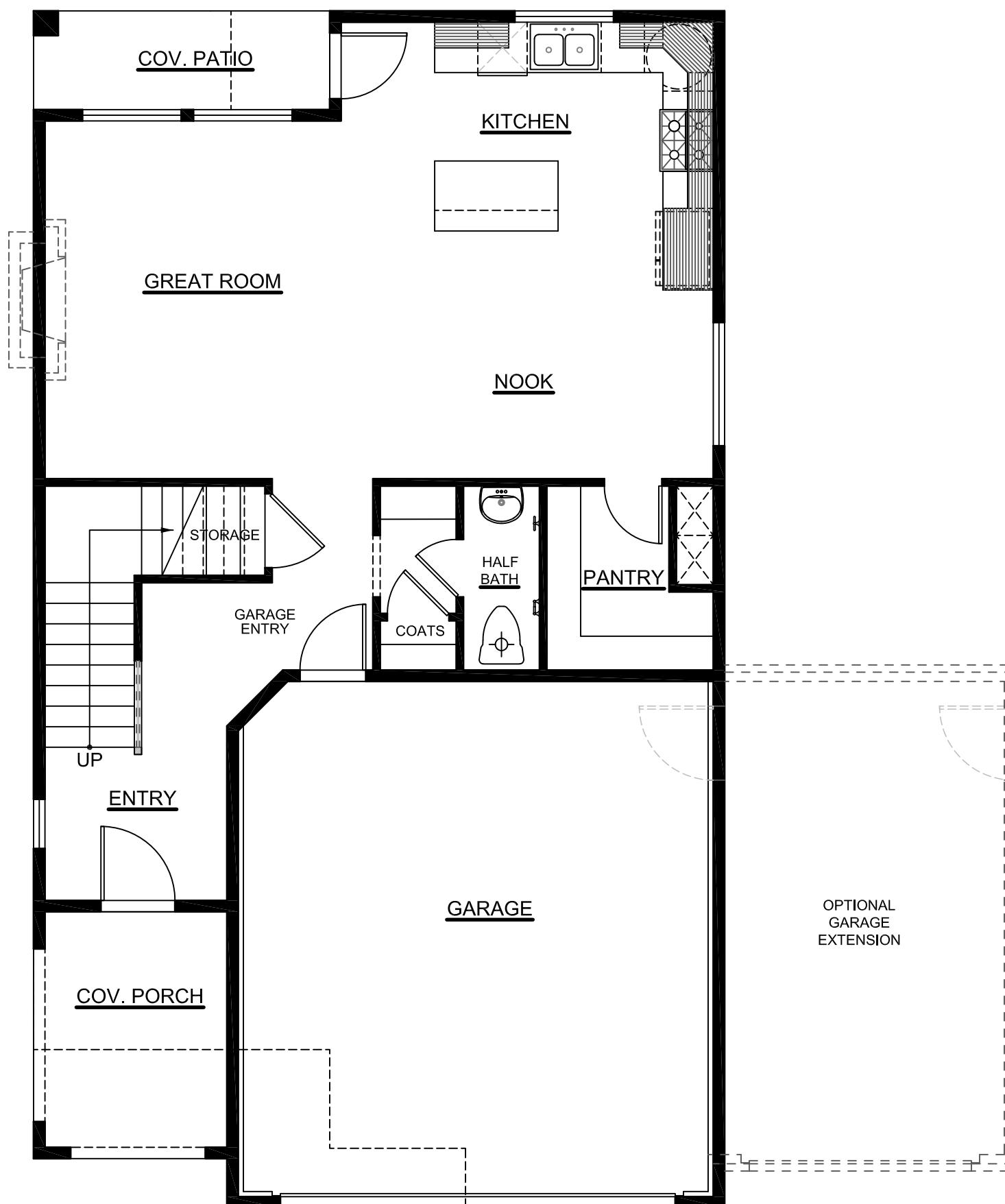


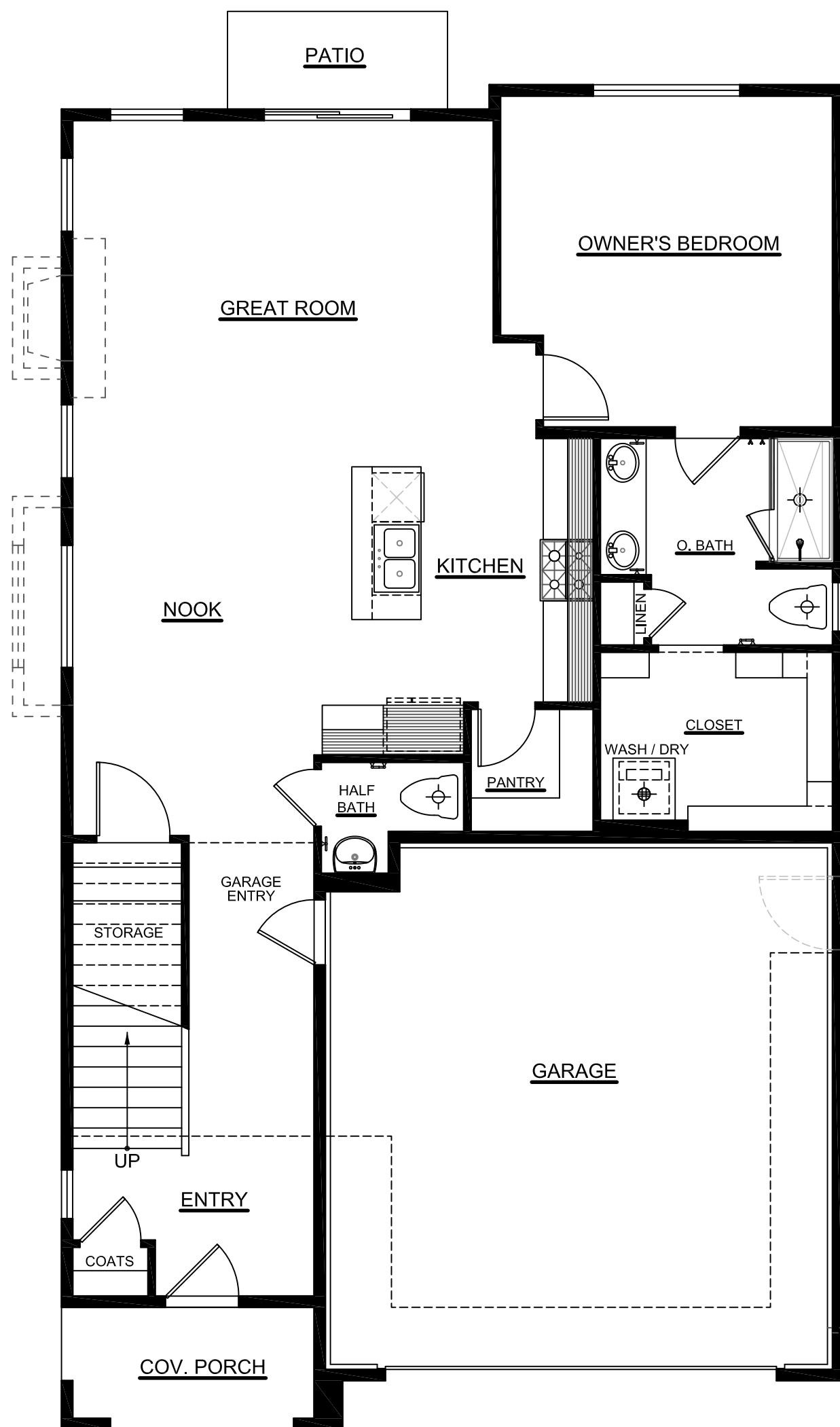
LANDSCAPE PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

FILE: 251020

| No. | Date | By | Revision |
|-----|------|----|----------|
| | | | |

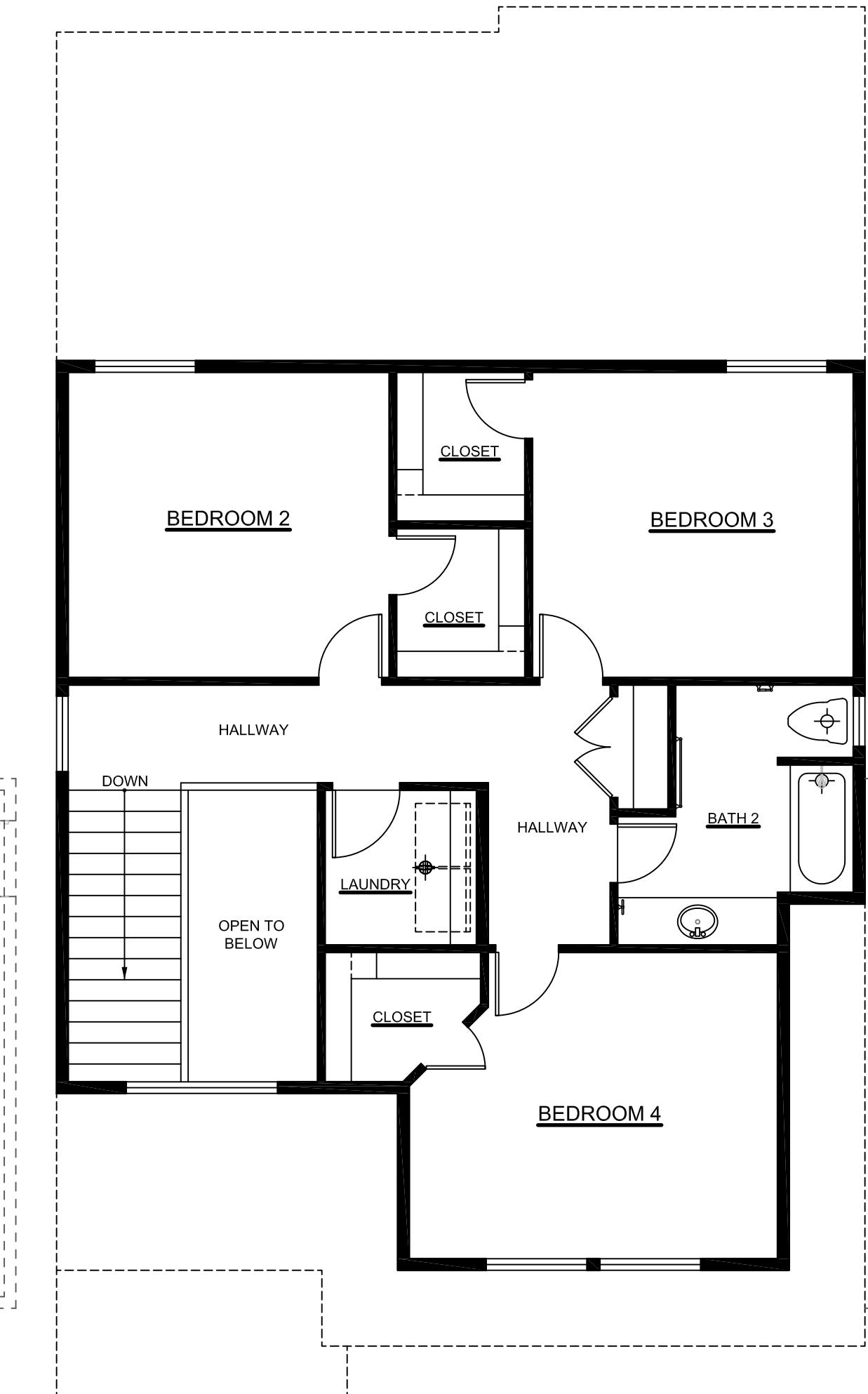






MAIN LEVEL

1185 S.F. SCALE: 3/16=1'-0"



UPPER LEVEL

890 S.F. SCALE: 3/16=1'-0"



PORTLAND MEDITERRANEAN

2075 S.F. SCALE: 1/4=1'-0"

ORDINANCE NO. 2025-xx
AN ORDINANCE AMENDING THE ZONING
DESIGNATION WITHIN WASHINGTON CITY, UTAH

WHEREAS, the Washington City Community Development Department has recommended the following Zone Change be adopted; and

WHEREAS, the Planning Commission, pursuant to applicable notice requirements, conducted a public hearing on June 18th, 2025, which public hearing was closed and tabled to August 6th, 2025 for further discussion for the purpose of considering the proposed Zone Change and the making of formal recommendation to the City Council; and

WHEREAS, the City Council, pursuant to applicable notice requirement, conducted a public hearing on August 13th, 2025; and

WHEREAS, the City Council has reviewed this information and determined that it is in the best interest of the public and promotes the health, safety and general welfare of the community; and

WHEREAS, the City Council of Washington City, Utah, desires to amend the Official Zoning Map of Washington City, and

BE IT ORDAINED BY THE CITY COUNCIL OF WASHINGTON CITY, UTAH, that the following described property is hereby amended by Zone Change request **Z-25-17**, from the current R-1-10 to a PUD-R zoning designation and associated site plan located at approximately 990 East George Washington Boulevard as detailed in Exhibit A and shown in Exhibit B:

Parcel ID and Detailed Legal Description in Exhibit A
Site Layout in Exhibit B

PASSED AND ORDERED POSTED on this 13th day of August 2025.

Washington City

Attest:

Kress. Staheli, Mayor

Tara Pentz, City Recorder

COUNCIL MEMBERS OF WASHINGTON CITY, UTAH:

Troy Belliston Aye Nay

Kim Casperson Aye Nay

Craig Coats Aye Nay

Bret Henderson Aye Nay

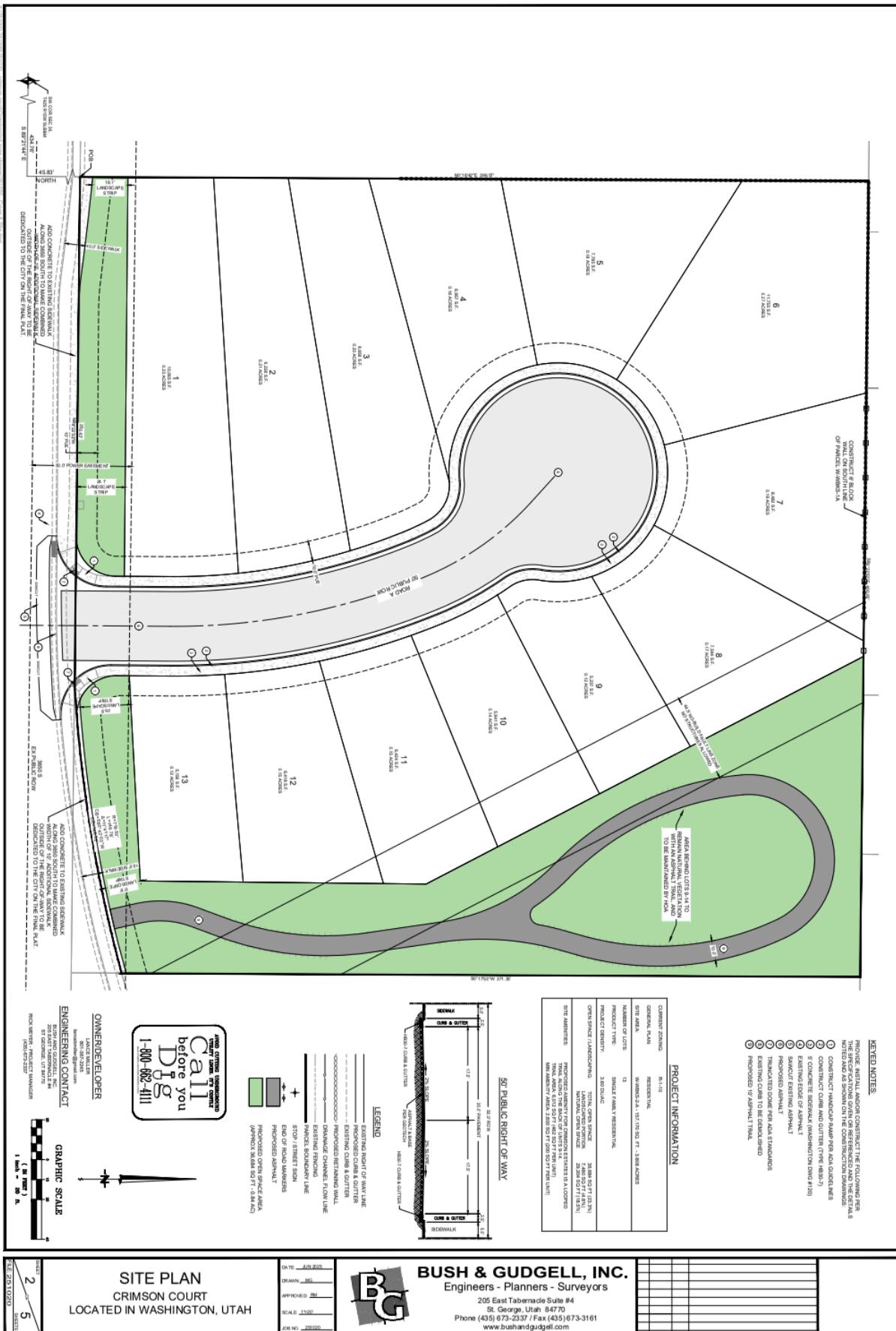
Kurt Ivie Aye Nay

Exhibit A

BEGINNING AT A POINT THAT LIES SOUTH 89°21'44" EAST ALONG THE TOWNSHIP LINE 434.76 FEET AND DUE NORTH 45.83 FEET FROM THE SOUTHWEST CORNER OF SECTION 36, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 00°18'42" EAST 396.57 FEET; THENCE SOUTH 89°22'52" EAST 400.00 FEET; THENCE SOUTH 00°18'42" WEST 370.13 FEET; THENCE WESTERLY ALONG A 719.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 82°49'41" WEST A DISTANCE OF 195.54 FEET), CENTER POINT LIES NORTH 14°58'55" WEST THROUGH A CENTRAL ANGLE OF 15°37'12", A DISTANCE OF 196.15 FEET; THENCE NORTH 89°21'43" WEST 206.12 FEET TO THE POINT OF BEGINNING.

CONTAINING 156,945 SQUARE FEET OR 3.60 ACRES.

Exhibit B



Washington City
Ordinance 2025-xx
Page 4 of 4

**WASHINGTON CITY
CITY COUNCIL MEETING
STAFF REVIEW**

| | |
|--------------------------|---|
| HEARING DATE: | August 13th, 2025 |
| ACTION REQUESTED: | G-25-04, A request to amend the General Plan Land Use Map from LD to the proposed PUD-C located at 2651 South Washington Fields Rd. |
| APPLICANT: | Bryan & Jennica Burnett |
| OWNER: | Bryan & Jennica Burnett |
| ENGINEER: | American Consulting and Engineering |
| REVIEWED BY: | Eldon Gibb, Community Development Director |
| RECOMMENDATION: | Recommend Approval |

Background

The applicant is proposing to amend the General Plan Land Use Map located at 2651 South Washington Fields Road covering approximately 8.35 acres. The current Land Use designation at this location is LD Residential and the applicant is proposing a change to PUD-C for the possibility of developing the area into a commercial use.

The surrounding General Plan Land Use designations are LD to the north, east, south and NCOMM to the west. Staff has reviewed the request and is comfortable with the proposal, as it ties into the NCOMM to the west and could provide a buffer from the land adjacent to Washington Fields Road and the existing residential units to the east and south.

Recommendation

On August 6th, the Planning Commission reviewed this request and unanimously recommended Denial (3-0) due to the concern of access of G-25-04, amending the General Plan Land Use Map from the current LD to the proposed PUD-C, as outlined above and shown in the exhibit, onto the City Council.

August 6th, 2025 Planning Commission Minutes

<https://youtube.com/live/VF37MDoXaeA?t=192>

Community Development Director Eldon Gibb reviewed the application.

Commissioner Bulloch opened the public hearing.

The following individuals spoke to the item:

- Sue Schmidt
- Ryan McAllister
- Joan Chipman

Commissioner Bulloch closed the public hearing.

The applicant Bryan Burnett spoke to the item.

Commissioner Davis made a motion to recommend denial to City Council for General Plan Amendment G-25-04 due to the ambiguity of the access. Commissioner Mitchell seconded the motion; which passed with the following role call vote:

| | |
|-----------------------|-----|
| Commissioner Bulloch | Aye |
| Commissioner Mitchell | Aye |
| Commissioner Davis | Aye |

The Fields – Event Center & Floral Boutique - Narrative

“The Fields” is a proposed modern farmhouse-style event center and floral boutique that offers a charming and unique location for events while also providing a profitable business opportunity. The center’s rustic and vintage feel appeals to many and creates a warm, inviting atmosphere that also celebrates the history and spirit of the Washington Fields area.

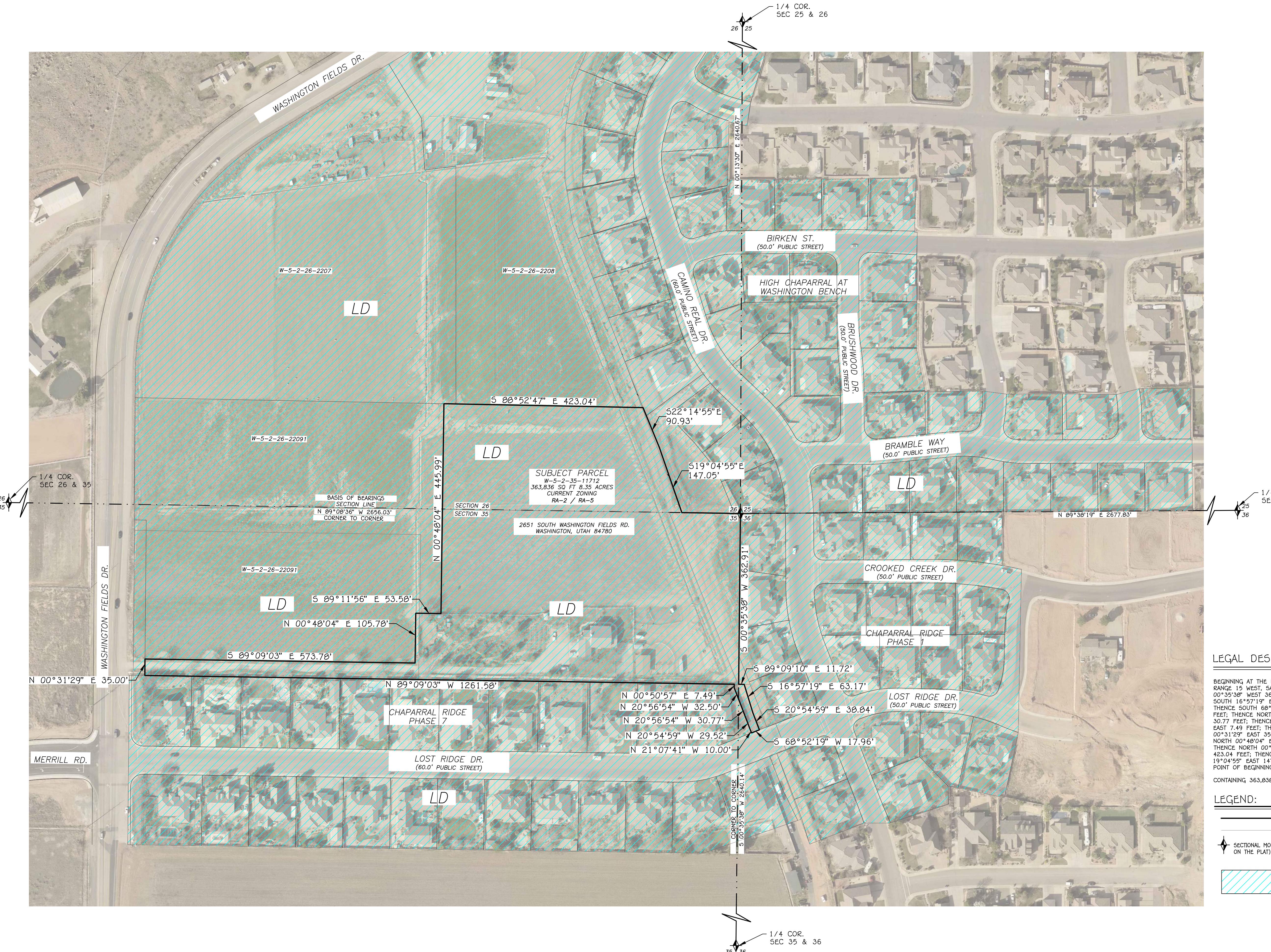


PROJECT FLOW CARD: G-25-04 - General Plan Amendment - Burnett Event Center
2651 S Washington Fields Rd

| | | |
|--------------|---|--|
| Planning | Reviewed. No concerns. | |
| Public Works | Reviewed - OK to proceed with the General Plan Amendment. Will likely have concerns to address moving forward with zoning and development. | |
| Engineer | No concerns for a general plan amendment | |
| Parks/Trails | Reviewed. No concerns | |
| Dixie Power | Reviewed. No concerns. | |
| Economic Dev | Reviewed. No concerns. | |

EXISTING GENERAL PLAN

LOCATED IN THE SE 1/4 SECTION 26, AND THE NE 1/4 SECTION 35, TOWNSHIP 42 SOUTH, RANGE 15 WEST
TOWNSHIP 42 SOUTH, RANGE 15 WEST SALT LAKE BASE AND MERIDIAN
WASHINGTON CITY, WASHINGTON COUNTY, UTAH



LEGAL DESCRIPTION

BEGINNING AT THE NORTHEAST CORNER OF SECTION 35, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN; RUNNING; THENCE SOUTH $00^{\circ}35'38''$ WEST 362.89 FEET; THENCE SOUTH $89^{\circ}09'10''$ EAST 11.72 FEET; THENCE SOUTH $16^{\circ}57'19''$ EAST 63.18 FEET; THENCE SOUTH $20^{\circ}54'59''$ EAST 38.84 FEET; THENCE SOUTH $68^{\circ}52'19''$ WEST 17.96 FEET; THENCE NORTH $21^{\circ}07'41''$ WEST 10.00 FEET; THENCE NORTH $20^{\circ}54'59''$ WEST 29.52 FEET; THENCE NORTH $20^{\circ}56'54''$ WEST 30.77 FEET; THENCE NORTH $20^{\circ}56'54''$ WEST 32.50 FEET; THENCE NORTH $00^{\circ}50'57''$ EAST 7.49 FEET; THENCE NORTH $89^{\circ}09'03''$ WEST 1,252.18 FEET; THENCE NORTH $00^{\circ}31'29''$ EAST 35.00 FEET; THENCE SOUTH $89^{\circ}09'03''$ EAST 573.70 FEET; THENCE NORTH $00^{\circ}48'04''$ EAST 105.70 FEET; THENCE SOUTH $89^{\circ}11'56''$ EAST 53.58 FEET; THENCE NORTH $00^{\circ}48'04''$ EAST 445.99 FEET; THENCE SOUTH $88^{\circ}52'47''$ EAST 423.04 FEET; THENCE SOUTH $22^{\circ}14'55''$ EAST 90.93 FEET; THENCE SOUTH $19^{\circ}04'55''$ EAST 147.05 FEET; THENCE SOUTH $89^{\circ}08'25''$ EAST 124.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 363.838 SQUARE FEET OR 8.35 ACRES.

LEGEND:

PROPERTY LINE
ADJOINING LOT LINE
SECTIONAL MONUMENTATION (TYPE LOCATION ETC. AS SHOWN)

EXISTING GENERAL PLAN
LD-LOW DENSITY

EXISTING GENERAL PLAN

WASHINGTTON CITY, WASHINGTON COUNTY, UTAH
NE 1/4 OF SECTION 35, T42S, R15W, SLB&M

OLD FARM FAMILY LLC

FOR

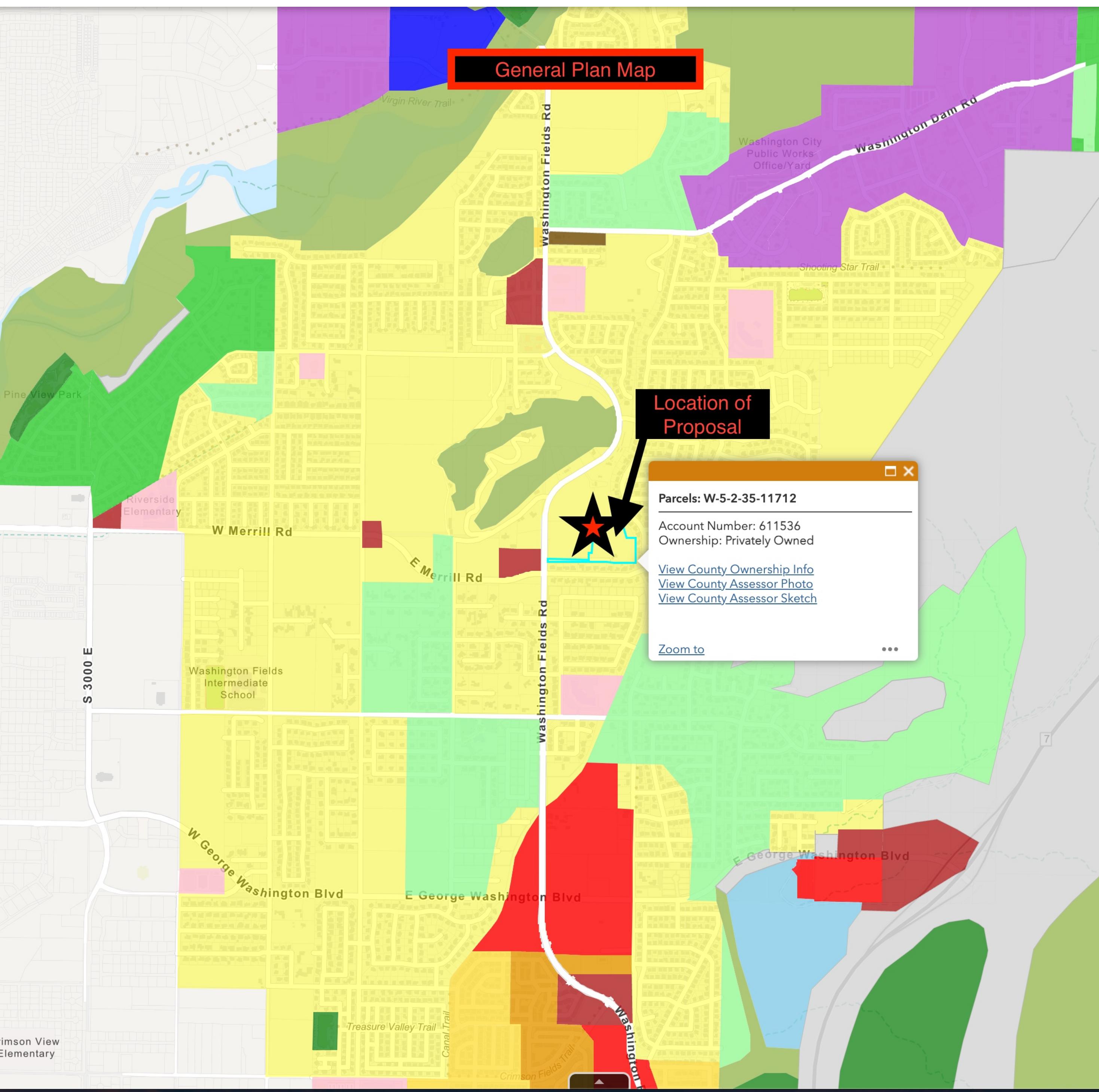
DATE: 03/29/2024
JOB #: 24-011
FILE: ROS.dwg

SHEET
1 **4**
SHEETS

PROPOSED GENERAL PLAN

LOCATED IN THE SE 1/4 SECTION 26, AND THE NE 1/4 SECTION 35, TOWNSHIP 42 SOUTH, RANGE 15 WEST
 TOWNSHIP 42 SOUTH, RANGE 15 WEST SALT LAKE BASE AND MERIDIAN
 WASHINGTON CITY, WASHINGTON COUNTY, UTAH





PROPOSED GENERAL PLAN

LOCATED IN THE SE 1/4 SECTION 26, AND THE NE 1/4 SECTION 35, TOWNSHIP 42 SOUTH, RANGE 15 WEST
 TOWNSHIP 42 SOUTH, RANGE 15 WEST SALT LAKE BASE AND MERIDIAN
 WASHINGTON CITY, WASHINGTON COUNTY, UTAH



ORDINANCE NO. 2025-XX
AN ORDINANCE AMENDING THE GENERAL PLAN LAND USE
DESIGNATION WITHIN WASHINGTON CITY, UTAH

WHEREAS, the Washington City Community Development Department has recommended the following General Plan Land Use Map designation be adopted; and

WHEREAS, the Planning Commission, pursuant to applicable notice requirements, conducted a public hearing on August 6th, 2025, which public hearing was closed, for the purpose of considering the proposed amended General Plan Land Use Map designation and the making of formal recommendation to the City Council; and

WHEREAS, the City Council, pursuant to applicable notice requirement, conducted a public meeting on August 13th, 2025; and

WHEREAS, the City Council has reviewed this amendment and determined that it is in the best interest of the public and promotes the health, safety and general welfare of the community; and

WHEREAS, the City Council of Washington City, Utah, desires to amend the General Plan Land Use Map of Washington City, and

BE IT ORDAINED BY THE CITY COUNCIL OF WASHINGTON CITY, UTAH, that the following described property is hereby amended by General Plan Land Use Map request **G-25-04**, from the current LD to a PUD-C designation, located at approximately 2651 South Washington Fields Road as detailed in exhibit A and shown in exhibit B:

Parcel ID and Detailed Legal Description in Exhibit A
Parcel map details in Exhibit B

PASSED AND ORDERED POSTED on this 13th day of August, 2025.

Washington City

Attest:

Kress Staheli, Mayor

Tara Pentz, City Recorder

COUNCIL MEMBERS OF WASHINGTON CITY, UTAH:

Troy Belliston Aye Nay

Kim Casperson Aye Nay

Craig Coats Aye Nay

Bret Henderson Aye Nay

Kurt Ivie Aye Nay

Exhibit A

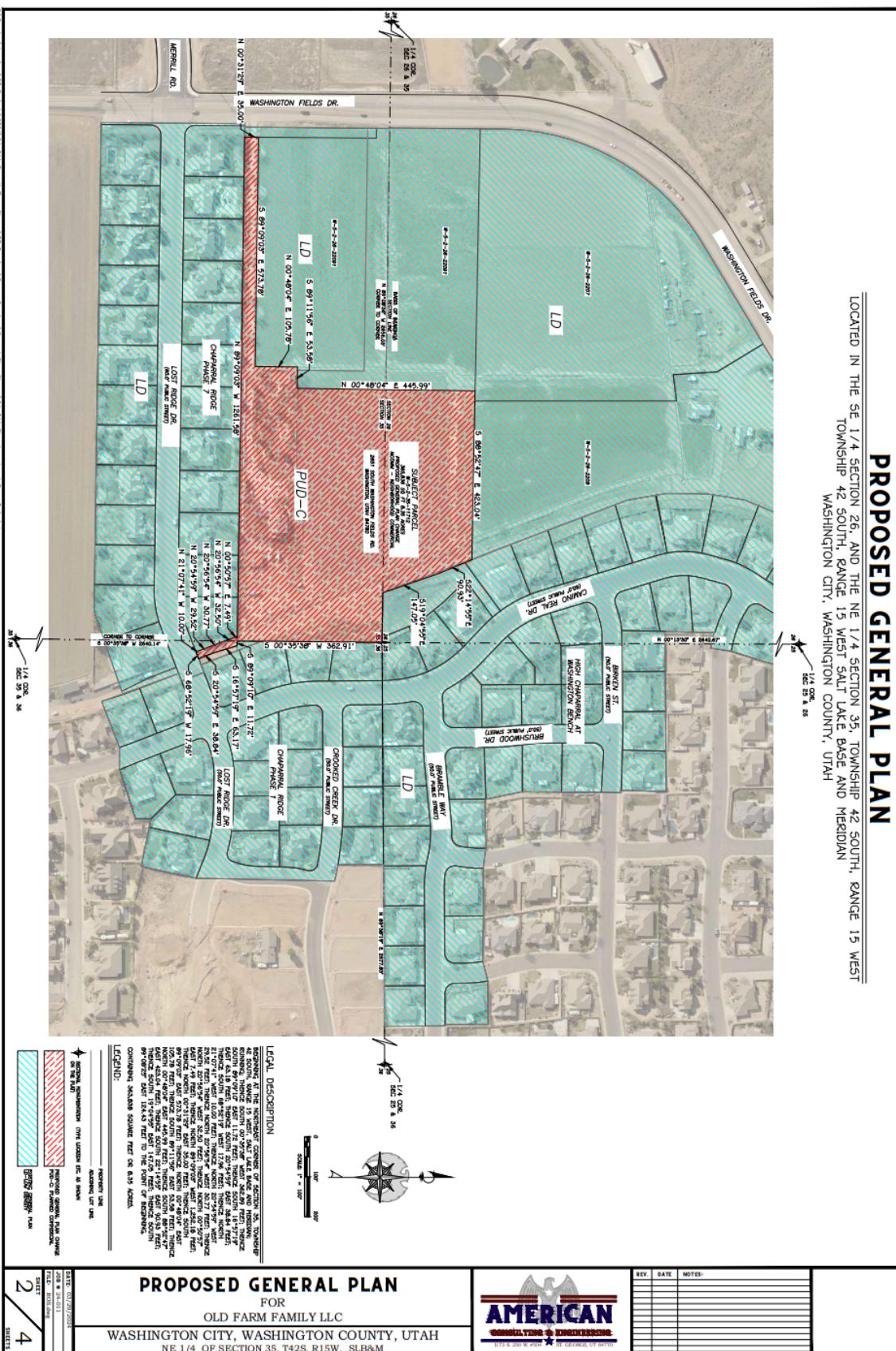
Beginning at the Northeast Corner of Section 35, Township 42 South, Range 15 West, Salt Lake Base and Meridian; Running; thence South 00°35'38" West 362.89 feet; thence South 89°09'10" East 11.72 feet; thence South 16°57'19" East 63.18 feet; thence South 20°54'59" East 38.84 feet; thence South 68°52'19" West 17.96 feet; thence North 21°07'41" West 10.00 feet; thence North 20°54'59" West 29.52 feet; thence North 20°56'54" West 30.77 feet; thence North 20°56'54" West 32.50 feet; thence North 00°50'57" East 7.49 feet; thence North 89°09'03" West 1,252.18 feet; thence North 00°31'29" East 35.00 feet; thence South 89°09'03" East 573.78 feet; thence North 00°48'04" East 105.78 feet; thence South 89°11'56" East 53.58 feet; thence North 00°48'04" East 445.99 feet; thence South 88°52'47" East 423.04 feet; thence South 22°14'55" East 90.93 feet; thence South 19°04'55" East 147.05 feet; thence South 89°08'25" East 124.43 feet to the point of beginning.

Containing 363,838 Square Feet or 8.35 Acres.

Exhibit B

PROPOSED GENERAL PLAN

LOCATED IN THE SE 1/4 SECTION 26, AND THE NE 1/4 SECTION 35, TOWNSHIP 42 SOUTH, RANGE 15 WEST
TOWNSHIP 42 SOUTH, RANGE 15, WEST SALT LAKE UTAH AND MERIDIAN
WASHINGTON CITY, WASHINGTON COUNTY, UTAH



**PROPOSED GENERAL PLAN
FOR
OLD FARM FAMILY LLC**



Partial Road Name Change from Landfill Road to Country Way

Briefing Document

Purpose:

To request the City Council approval for the renaming of Landfill Road, which connects Country Way and Telegraph Street, to Country Way, in order to improve the public perception of the area and to better align with surrounding development.

Submitted by:

Paul Mogle

Background Information:

This portion of Landfill Road is a connector road between Country Way and Telegraph Street. It is approximately 6,975 ft of road from the intersection of Telegraph St and Landfill Rd to the intersection of Landfill Rd and Country Way.

It is the desire to change the current name, "Landfill Road" to "Country Way." As development continues in the area, residents and stakeholders have expressed concern that the existing name negatively impacts property perception and future investments.

Renaming this section of Landfill Rd to Country Way helps to establish a cohesive street naming convention throughout the City.

There are currently no properties that are addressed to this section of Landfill Rd.

This section of Landfill Rd to be renamed is described in the attachments "Exhibit A" and "Exhibit B".

Recommendation:

Staff recommends approval of renaming this section of Landfill Road to Country Way.

FISCAL IMPACT:

The cost to replace street signs and staff hours to file paperwork to Washington County.

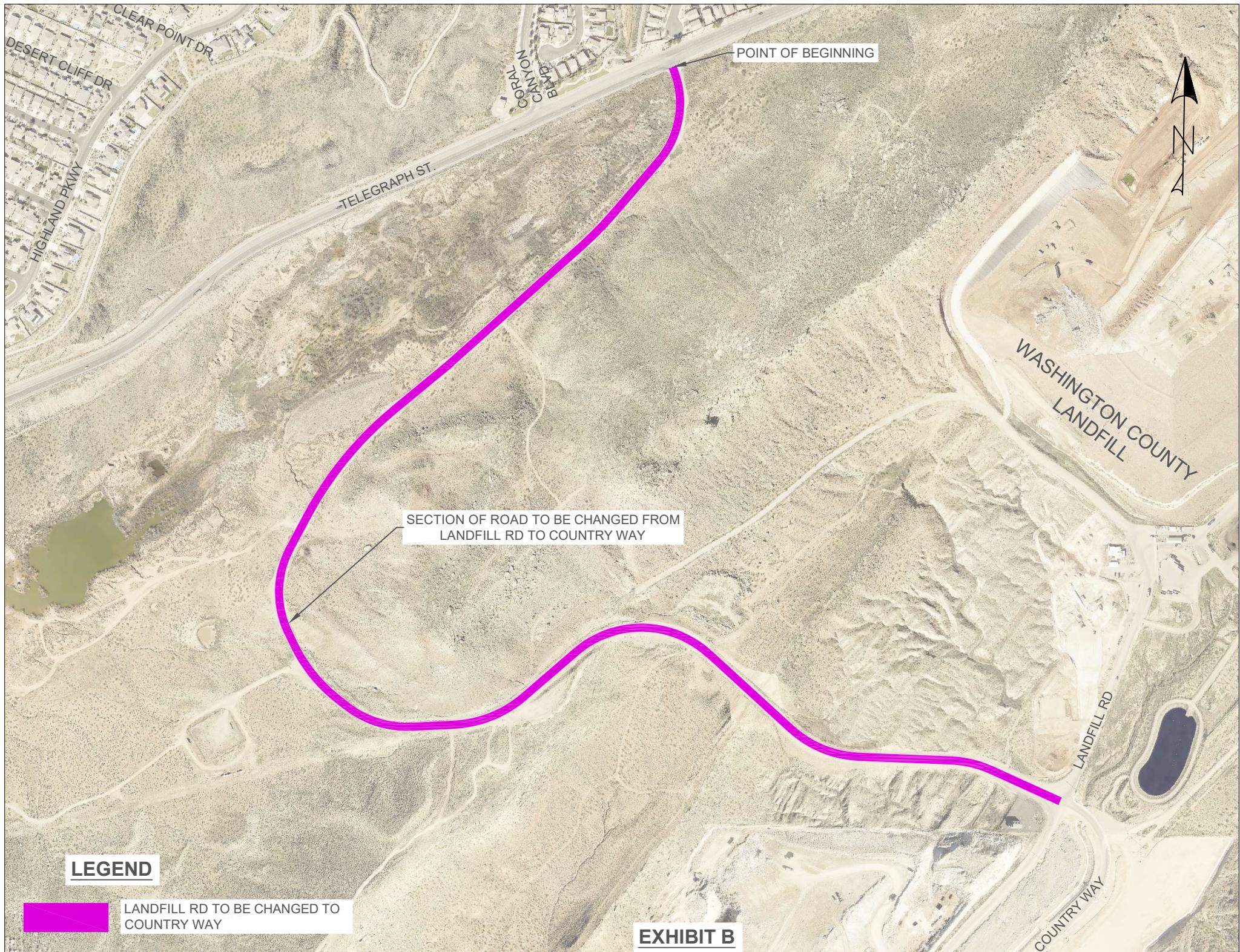
EXHIBIT A

Existing asphalt road for the purpose of renaming Landfill Road to Country Way in Washington City, Washington County, Utah:

THAT PORTION OF THE PUBLIC ROAD known as "Landfill Road," beginning in Section 8, Township 42 South, Range 14 West, Salt Lake Base & Meridian, Washington City, Utah, more particularly described as follows:

BEGINNING at the intersection of the centerline of said "Landfill Road" with the southerly right-of-way line of Telegraph Street; thence in a southerly and southwesterly direction along the centerline of said "Landfill Road" for an approximate distance of 6,975 feet to its intersection with the northerly right-of-way line of Country Way; ending in Section 17, Township 42 South, Range 14 West, Salt Lake Base & Meridian.

SAID PORTION OF THE PUBLIC ROAD, as herein described, is to be hereafter known and designated as "Country Way" at the locations described herein and as further depicted in Exhibit B, the attached roadway name change map.



ORDINANCE NO. 2025-XX
AN ORDINANCE CHANGING THE NAME OF A PORTION OF
LANDFILL ROAD TO COUNTY WAY

WHEREAS, the City Council of Washington City, Utah, finds it in the interest of public clarity, safety, and navigation to rename a portion of Landfill Road; and

WHEREAS, this action has been reviewed by City staff and other applicable agencies, and the proposed name change has been determined to be beneficial to the community; and

WHEREAS, in accordance with applicable law, notice of the proposed road name change was given, and a public meeting was held during the regularly scheduled City Council meeting on **August 13, 2025**, after appropriate notice was given; and

WHEREAS, upon a finding of good cause and that neither the public interest nor any person is materially affected, the Washington City Council has approved a partial road name from Landfill Road to Country Way, Washington, Utah; and

WHEREAS, the described roadway areas hereby shown shall be subject to the Washington City Access Management requirements as currently established or as may be revised, and

THEREFORE BE IT ORDAINED, that the described property in Exhibit A and Exhibit B will be renamed to Country Way, with the City maintaining any and all existing easements which may exist within the below described property:

Exhibit A

PASSED AND ORDERED POSTED on this 13th day of August 2025.

Washington City

Attest by:

Kress Staheli, Mayor

Tara Pentz, City Recorder

COUNCIL MEMBERS OF WASHINGTON CITY, UTAH:

Troy Belliston Aye Nay

Kim Casperson Aye Nay

Craig Coats Aye Nay

Bret Henderson Aye Nay

Kurt Ivie Aye Nay

Exhibit A

Existing asphalt road for the purpose of renaming Landfill Road to Country Way in Washington City, Washington County, Utah:

THAT PORTION OF THE PUBLIC ROAD known as "Landfill Road," beginning in Section 8, Township 42 South, Range 14 West, Salt Lake Base & Meridian, Washington City, Utah, more particularly described as follows:

BEGINNING at the intersection of the centerline of said "Landfill Road" with the southerly right-of-way line of Telegraph Street; thence in a southerly and southwesterly direction along the centerline of said "Landfill Road" for an approximate distance of 6,975 feet to its intersection with the northerly right-of-way line of Country Way; ending in Section 17, Township 42 South, Range 14 West, Salt Lake Base & Meridian.

SAID PORTION OF THE PUBLIC ROAD, as herein described, is to be hereafter known and designated as "Country Way" at the locations described herein and as further depicted in Exhibit B, the attached roadway name change map.

