



ALPINE CITY PLANNING COMMISSION MEETING

NOTICE is hereby given that the **PLANNING COMMISSION** of Alpine City, Utah will hold a **Public Meeting** on **Tuesday, July 29th, 2025, at 6:00 p.m. at City Hall, 20 North Main Street, Alpine, Utah.**

The public may attend the meeting in person or view it via the Alpine City YouTube Channel. A direct link to the channel can be found on the homepage of the Alpine City website, alpineut.gov.

I. GENERAL BUSINESS

- A. Welcome and Roll Call: Alan MacDonald
- B. Prayer/Opening Comments: By Invitation
- C. Pledge of Allegiance: John MacKay

II. REPORTS AND PRESENTATIONS

- A. None

III. ACTION/DISCUSSION ITEMS:

- A. **Action Item:** Review of Proposed Guest House by Newell Whitney Located on Ranch Circle
- B. **Public Hearing:** Proposed material change to Lambert Park: Adding a turnaround and parking area at the West end of Box Elder Way.

IV. COMMUNICATIONS

V. APPROVAL OF PLANNING COMMISSION MINUTES:

- A. **July 1st, 2025**

ADJOURN

Chair Alan MacDonald
July 25th, 2025

THE PUBLIC IS INVITED TO ATTEND ALL PLANNING COMMISSION MEETINGS. If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 5.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted at Alpine City Hall, 20 North Main, Alpine, UT. It was also sent by e-mail to The Daily Herald located in Provo, UT a local newspaper circulated in Alpine, UT. This agenda is also available on the City's web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html.



PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversations with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction with the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers, or other noise-making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on a conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing, there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Review of Guest Houses Proposal

FOR CONSIDERATION ON: July 29th, 2025

PETITIONER: Newell Whitney-Property Owner

ACTION REQUESTED BY PETITIONER: Recommend Approval of Proposed Guest House

Review Type: Administrative

BACKGROUND INFORMATION:

A proposal has been submitted to construct a guest house on the property located at **747 W Ranch Circle**. The property, owned by Newell Whitney, is just over five acres in size. The proposed guest house would be located over 120 feet from the main dwelling, more than 200 feet from the rear property line, with side yard setbacks of 40 feet on the west side and over 216 feet on the east side. These setbacks exceed the minimum requirements established in the Alpine Development Code for a guest house.

The property is within the CR-40,000 zone, where guest houses are permitted through a Conditional Use Permit (CUP). Additional requirements and review criteria for such uses are outlined in Section 3.23.060 of the Alpine Development Code.

City staff have reviewed the application under the standards in Section 3.23 and found that the proposal complies with all applicable requirements. Because guest houses are a conditional use in this zone, the City may impose additional conditions to mitigate any potential detrimental effects of the proposed use.

If the City Council approves this application, City staff and the Building Department will conduct further review for compliance with setbacks, building height, and all applicable building code requirements during the building permit process.

CONDITIONAL USE PERMITS (CUP)

A Conditional Use Permit (CUP) allows specific land uses listed in each zone that, because of their unique nature, may require additional review and conditions to address potential impacts. Typical impacts may include increased traffic, noise, or environmental concerns.

Under Utah Code § 10-9a-507, a CUP must be approved if reasonable conditions can mitigate any anticipated detrimental effects of the proposed use.

CITY CODE REFERENCE

- Alpine Development Code 3.04.030 – Conditional Uses
- Alpine Development Code 3.23 – Conditional Uses

See attached staff analysis for further details.

NOTICING

A public hearing is not required by State or City Code for this item.

STAFF RECOMMENDATION

Based on the information provided by the applicant and the review conducted, staff finds that the proposal meets the applicable standards in the Alpine Development Code. Staff will also coordinate with the applicant regarding hookup fees, which are typically collected during the building permit process. Additionally, the City Recorder is working with the applicant to secure the necessary water rights for the guest house; this must be completed before a building permit is issued if the CUP is approved.

If the Planning Commission or City Council identifies any potential detrimental impacts, it may impose reasonable conditions to mitigate those impacts. Note that Alpine City Code already prohibits:

- More than one family residing in the guest house
- Use of the guest house as a short-term rental
- Any commercial use

These prohibitions are automatically enforced and do not need to be added as separate conditions.

SAMPLE MOTIONS

Motion to Approve:

I move to recommend approval of a Conditional Use Permit for a guest house located at 747 W Ranch Circle, as proposed.

Motion to Approve with Conditions:

I move to recommend approval of a Conditional Use Permit for a guest house located at 747 W Ranch Circle, with the following conditions:

**Insert Conditions*

Motion to Table or Deny:

**“I move to table/deny the Conditional Use Permit for a guest house located at 747 W Ranch Circle, based on the following findings:*

**Insert findings*

[illegible]

PROJECT LOCATION



SHEET INDEX			
SHEET	SHEET NAME	REV	REV DATE
A000	COVER	A1	6/30/25
A001	GENERAL ARCH NOTES		
A100	BASEMENT FLOOR PLAN		
A101	MAIN FLOOR LAYOUT		
A102	UPPER LEVEL		
A103	ROOF PLAN		
A201	SECTION VIEWS		
A301	NORTH ELEVATION		
A302	SOUTH ELEVATION		
A303	EAST ELEVATION		
A304	WEST ELEVATION		
C101	OVERALL SITE PLAN	A1	6/30/25
C102	Site Plan		
S001	STRUCTURAL GENERAL NOTES		
S101	BASEMENT FOUNDATION		
S102	MAIN LEVEL FOUNDATION		
S103	MAIN LEVEL FRAMING		
S104	UPPER LEVEL FRAMING		
S105	ROOF FRAMING		
S501	STRUCTURAL DETAILS		



ISSUED FOR PERMIT

Designer:
Sheeran Design LLC
Parker Sheeran
87 East 470 North
Bountiful UT, 84010

DEFERRED SUBMITTALS

S

sheerandesignllc@gmail.com
801-514-4502

747 W RANCH CIRCLE
ALPINE, UT 84004

[illegible]

Cabin

COVER

Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	WW

A000

	Scale
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OVERALL GENERAL COMPLIANT:

- 1 DESIGN MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING ALL APPLICABLE (FEDERAL / STATE / LOCAL) CODES AND REQUIREMENTS. PROJECT SPECIFICATIONS, CONTRACT DOCUMENTS, DRAWINGS AND GENERAL NOTES
- 2 PRECEDENCE WILL TAKE PLACE IN THE FOLLOWING ORDER: APPLICABLE (FEDERAL / STATE / LOCAL) CODES AND REQUIREMENTS OVER PROJECT SPECIFICATIONS, CONTRACT DOCUMENTS, DRAWINGS AND GENERAL NOTES OVER TYPICAL DETAILS
- 3 ANY CONFLICTS OR DISCREPANCIES DISCOVERED WITHIN THE CONSTRUCTION DOCUMENTATION AND / OR THE ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER AND ENGINEER BEFORE PROCEEDING WITH THE WORK
- 4 THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE ALL STRUCTURES ARE DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER ERECTION IS FULLY COMPLETED
- 5 THE SLOPE OF THE CONTRACTOR IS RESPONSIBLE TO DETERMINE MEANS, METHODS, ERECTION PROCEDURE AND SEQUENCING TO PROTECT AND ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS THROUGHOUT THE CONSTRUCTION. THIS INCLUDES ALL CONSTRUCTION LOADS AND THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUYS OR THE DOWNS WHICH MAY BE NECESSARY. SUCH MATERIALS SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT
- 6 THE CONTRACTOR SHALL PROVIDE AN ERECTION EMPLOYER A REGISTERED PROFESSIONAL ENGINEER FOR THE DESIGN OF ANY TEMPORARY SHORING AND / OR BRACING
- 7 THE CONTRACTOR SHALL PROVIDE ALL MEASURES NEEDED TO PROTECT THE EXISTING SURROUNDING STRUCTURES DURING CONSTRUCTION
- 8 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING FABRICATION AND / OR CONSTRUCTION
- 9 WHERE NO DETAILS OR GENERAL NOTES ARE PROVIDED, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT IN ACCORDANCE WITH THE INDUSTRY'S BEST-KNOWN STANDARDS AND PRACTICES
- 10 ANY ADDITIONAL PLUMBING, ELECTRICAL, ARCHITECTURAL OR MECHANICAL COMPONENTS, SUCH AS PIPES, DUCTS, SLEEVES, CHASES ETC. NOT SHOWN ON THE CONSTRUCTION DRAWINGS MAY NOT HAMPER OR IMPEDE THE INTEGRITY OF ANY STRUCTURAL ELEMENTS AND ARE TO BE INSTALLED AT THE CONTRACTOR'S RISK
- 11 THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ENGINEER AND THE PROJECT MANAGER OF ANY CHANGES IN THE FINAL LOADS IMPOSED ONTO THE STRUCTURE THAT DIFFERS FROM THOSE IDENTIFIED ON THE CERTIFIED CONSTRUCTION DOCUMENTS. THEY SHALL PROVIDE DOCUMENT MARK-UP STRUCTURAL PLANS INDICATING LOCATION OF CHANGES
- 12 REQUESTS FOR INFORMATION (RFI) FOR ANY SPECIFIED ITEMS MAY BE SUBMITTED WITH ADEQUATE TECHNICAL DOCUMENTATION TO THE ENGINEER AND PROJECT MANAGER FOR REVIEW PRIOR TO IMPLEMENTATION

GOVERNING CODES	
• Building Code	2021 International Building Code including Appendix J
• Residential Code	2021 International Residential Code including Appendix E and Q
• Electrical Code	2020 National Electrical Code
• Plumbing Code	2021 International Plumbing Code
• Mechanical Code	2021 International Mechanical Code
• Fuel Gas	2021 International Fuel Code
• Energy Code Commercial	2021 International Energy Conservation Code (ASHRAE/IEC 50.1)
• Accessibility Code	2021 International Building Code (ICC/ANSI 109)

*Construction will comply with applicable local ordinances and building codes. UCA 10-6-106(B)(a)

*Construction will comply with applicable local ordinances and building codes. UCA 10-6-106(8)(a)

ARCHITECTURAL GENERAL NOTES & SCHEDULES

A. GENERAL INFORMATION & CONFORMANCE

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCALLY ADOPTED CODES AND REGULATIONS SET BY THE GOVERNING JURISDICTION IN WHICH CONSTRUCTION TAKES PLACE
2. NOT ALL GENERAL NOTES MAY APPLY
3. THE SCOPE OF WORK FOR THE PROJECT SHALL INCLUDE ALL LABOR, MATERIALS, DEVICES, SUPPLIES, EQUIPMENT, AND OTHER FACILITIES NECESSARY FOR AND INCIDENTAL TO THE EXECUTION AND COMPLETION OF WORK DESCRIBED IN THESE DOCUMENTS
4. THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENT FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK
5. THE CONTRACTOR SHALL PAY ALL FEDERAL, STATE, LOCAL AND ALL OTHER TAXES THAT ARE APPLICABLE TO THIS CONTRACT
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME GENERALLY FAMILIAR WITH THE JOB SITE AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK
7. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, THE G.C. SHALL REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK
8. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE DESIGNER
9. ITEMS LABELED NIC ARE "NOT IN CONTRACT" OR IF LABELED "BY OTHERS" IS ALSO NOT IN CONTRACT THE G.C., HOWEVER, IS RESPONSIBLE FOR ALL R.O., NECESSARY BLOCKING AND COORDINATION OF WORK
10. WHERE A SYSTEM OR ASSURANCE IS CALLED FOR, ALL MANUFACTURER'S PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION SYSTEM SHALL BE PROVIDED AND BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS
11. ALL SYSTEMS & MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INSTRUCTIONS AND SPECIFICATIONS
12. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES. COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES, BLOCKING OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES
13. CONTRACTOR TO COORDINATE AND SCHEDULE WORK OF ALL TRADES SO AS TO NOT DELAY AT ANY PHASE OF COMPLETION. CONSTRUCTION DUE TO INTERCONNECTING WORK OR LATE SCHEDULING IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-TRADES ARE FAMILIAR WITH THE COMPLETE CONSTRUCTION DOCUMENTS PACKAGE INCLUDING WORK THAT MAY OR MAY NOT BE PART OF THEIR SCOPE. CONTRACTOR SHALL KEEP OWNER INFORMED OF PROJECT SCHEDULE AND INFORM THE OWNER OF ANY CHANGES TO THE SCHEDULE FOR ANY REASON
14. ALL WORK SHALL BE PERFORMED WITH THE BEST ACCEPTED PRACTICES OF THE RESPECTED TRADES
15. ALL MATERIALS TO BE NEW (UNLESS OTHERWISE NOTED ON DRAWINGS), FIRST CLASS, IN EVERY RESPECT, AND SHALL CONFORM TO CONTRACT DOCUMENTS & OWNER'S SPECIFICATIONS
16. CONTRACTOR TO COORDINATE CUTTING & PATCHING OF ALL TRADES MATCH EXISTING MATERIALS AS REQUIRED
17. CONTRACTOR TO COORDINATE ALL MATERIALS AND ALL HARDWARE FINISHES WITH OWNER
18. CONTRACTOR TO COORDINATE THE INSTALLATION OF ALL ELECTRICAL, ALARM, SECURITY, DATA AND TELEPHONE LINES. CONCEAL ALL NEW UTILITIES IN FINISHED AREAS AS REQUIRED. TELEPHONES TO BE FURNISHED AND INSTALLED BY OWNER
19. LIFE SAFETY SYSTEMS SHALL BE INSTALLED AS REQUIRED, PER N F P A, AND LOCAL REGULATIONS
20. CONTRACTOR TO COORDINATE ALL DELIVERY SCHEDULES AND LOCATIONS FOR ALL OWNER FURNISHED ITEMS WITH EACH SUPPLIER. VERIFY THAT OWNER FURNISHED ITEMS WITH OWNERS REPRESENTATIVE. G.C. TO PROVIDE SOLID WOOD BLOCKING AS REQUIRED FOR ALL FURNISHINGS
21. CONTRACTOR SHALL REMOVE ALL TEMPORARY ITEMS, TRASH, TOOLS, AND EXCESS MATERIALS AT THE COMPLETION OF WORK AND LEAVE THE ENTIRE PROJECT SITE IN A NEAT, CLEAN, ACCEPTABLE CONDITION
22. PRIOR TO TURNING THE COMPLETED PROJECT OVER TO THE OWNER, THE CONTRACTOR SHALL REMOVE ALL GREASE, DUST, DIRT, STAINS, GRIME, FINGERPRINTS AND OTHER FOREIGN MATERIALS FROM SIGHT, AND SWEEP, WET-SHOP AND VACUUM ALL FLOORS
23. THE CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRICAL POWER AND LIGHTING AS REQUIRED
24. THE GENERAL CONTRACTOR SHALL MAINTAIN A SAFE AND SECURE SITE DURING ALL PHASES OF CONSTRUCTION
25. ALL WORK PERFORMED SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND REQUIREMENTS, AS WELL AS THE MOST RECENT REQUIREMENTS OF THE APPLICABLE ACCESSIBILITY CODES
26. THE GENERAL CONTRACTOR SHALL SUBMIT A WRITTEN GUARANTEE FOR THEIR MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF OWNER
27. DISRUPTED ELECTRICAL AND WATER LINES R-O-ROUTED DURING PROJECT CONSTRUCTION ARE TO REMAIN IN CONTINUOUS SERVICE AS COORDINATED WITH THE OWNER
28. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE AND SOUND CONSTRUCTION PRACTICE
29. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY VARIATIONS IN THE WALL PLANE

B. GENERAL CONSTRUCTION

- 1 PROVIDE ATTIC ACCESS CLEAR OPENING OF 22"x30" ACCESS SHALL NOT BE LOCATED ABOVE A CLOSET SHELF AND SHALL HAVE 30" MIN HEAD ROOM
- 2 PANELS IN SHOWER AREA. 1" RC R702.42
- 3 INSTALL 5/8" TYPE "X" GYP ON 1/4" WALLS, CEILING, BEAMS AND SUPPORTS IN GARAGE FOR FIRE PROTECTION BETWEEN HOUSE AND GARAGE (INSTALL 2" LAYERS OF TYPE "X" GYPSUM BOARD PERPENDICULAR TO THE CEILING FRAMING FOR GARAGE CEILINGS BENEATH HABITABLE ROOMS; OTHERWISE EITHER DIRECTION WILL SUFFICE). EASH SHEET TO BE NAILED 4" @ C EDGES AND 6" @ C. IN FIELD.
- 4 EXTERIOR WALLS TO BE FINISHED WITH 1/2" OF ATTC ARE.
- 5 ALL FOOTINGS SHALL BE PLACED 12" BELOW UNDISTURBED EARTH AND A MIN OF 3" BELOW FINISHED GRADE OR AS NOTED ON PLAN. TOP OF FOUNDATION TO BE A MIN OF 5" ABOVE GRADE. FINISHED GRADE TO HAVE A MIN OF 6" SLOPE AWAY FROM BUILDING FOR FIRST 10 FEET. ALL DRAINAGE FROM LOT TO DRAIN INTO APPROVED DRAINING SYSTEM.
- 6 EXTERIOR FINISHING REQ'D FOR WALKWAYS TO BE 12" FROM FOUNDATION UP THE FIRST THREE COURSES, & 3/4" WEAP HOLES 33" @ C. FLASHING TO EXTEND BEYOND FOUNDATION EDGE 12".
- 7 EXTERIOR WALL FINISHES MUST BE LISTED, LABELED, AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 8 INSPECTION OF THE WEATHER-RESISTIVE BARRIER AND FLASHING IN ORDER TO PREVENT FROM ENTERING THE WEATHER-RESISTANT EXTERIOR WALL ENVELOPE BE REQ'D TO BE 12" FROM FOUNDATION UP THE FIRST THREE COURSES, & 3/4" WEAP HOLES 33" @ C.
- 9 CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
- 10 ROOF MANUFACTURE TO FIELD VERIFY WALL ELEVATIONS AND DIMENSIONS PRIOR FABRICATING TRUSSES

NOTES:

1. F.V. = FIELD VERIFY
2. SIM = SIMILAR
3. E.W. EACH WAY.

C. WINDOWS

1. BEDROOM WINDOWS SHALL HAVE A MIN CLEAR OPENING OF 5.7 SQ FT. WITH A MIN NET CLEAR OPENING WIDTH OF 20" (FOR A TALL WINDOW) AND MIN NET CLEAR OPENING HEIGHT OF 24" (FOR A WIDE WINDOW) AND A FINISHED SILL HEIGHT NOT TO EXCEED 4" ABOVE THE FINISHED FLOOR.
2. GLASS USED IN TUB OR SHOWER ENCLOSURES TO BE FULLY TEMPERED.
3. TEMPERED GLASS SHALL BE USED IN ALL GLASS DOORS, WINDOWS OVER BATHTUBS, WINDOWS WITHIN 15" OF THE FLOOR, GLAZING IN GUARD RAILINGS, AND WINDOWS WITHIN 24" OF ANY DOOR.
4. PROVIDE 9" FLASHING AROUND ALL WINDOWS & DOORS WITH SILL PLATE FLASHING.
5. FLASH & CAULK AROUND ALL EXTERIOR WINDOWS & DOORS PER MANUFACTURER'S SPECIFICATIONS.
6. WINDOW WELL REQUIREMENTS: IF WINDOW SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION:
 - A. ALL WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 4" SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER. ALL LADDERS MUST HAVE A 14" MIN WIDTH, 14" MAX SPACING BETWEEN RUNGS, AND A 6" MIN TIE SPACE.
 - B. ANY GRATES, BARS, GRILLS, DOMES OR SIMILAR DEVICES ON WINDOW WELLS REQUIRE AN APPROVED RELEASE MECHANISM.
7. EGRESS/RESCUE WINDOWS ARE REQUIRED TO BE 5.7 SQ FT. CLEAR OPEN WITH A MIN NET CLEAR OPENING WIDTH OF 20" (FOR A TALL WINDOW), AND A MIN NET CLEAR OPENING HEIGHT OF 24" (FOR A WIDE WINDOW) AND A FINISHED SILL HEIGHT NOT TO EXCEED 4" ABOVE THE FINISHED FLOOR.
8. EGRESS/RESCUE WINDOWS ARE REQUIRED IN EVERY BEDROOM AND AT LEAST ONE IN A BASEMENT. VERIFY WINDOWS MEET EGRESS AS INDIVIDUAL MANUFACTURERS MAY VARY IN NET CLEAR OPENINGS.

D. ELECTRICAL

1. SMOKE DETECTORS AT EACH BEDROOM, AT HALLWAYS LEADING TO BEDROOMS, AT EVERY FLOOR LEVEL INCLUDING BASEMENTS, AT THE TOP OF EACH STAIRWAY ON FLOORS WITHOUT BEDROOMS, AND IN ROOMS SERVING BEDROOMS WHERE THE CEILING HEIGHT OF THE ROOM IS 24' OR GREATER IN HEIGHT THAN THE BEDROOM SERVED FROM SUCH ROOM. SMOKE DETECTORS SHALL BE HARD Wired TOGETHER IN SERIES IN EACH BATTERY CIRCUIT.
2. BATHROOM RECEPTICLE OUTLET SHALL BE SUPPLIED BY DEDICATED 20 AMP BRANCH CIRCUIT W/ NOT OTHER OUTLETS
3. ELECTRICAL RECEPTICLE OUTLETS SHALL BE SUPPLIED WITHIN 25' OF HVAC EQUIP (IRC E301.11).
4. LIGHTS IN CLOSETS SHALL CONFORM TO CLEARANCES SPECIFIED PER CODE
5. TEMP WIRING SHALL CONFORM TO APPLICABLE CODE
6. ANY LIGHT FIXTURES OVER TUBS AND SHOWERS SHALL COMPLY WITH CURRENT CODE REQUIREMENTS
7. ALL CEILING FANS TO HAVE FAN RATED BOX
8. ALL KITCHEN SURFACE OUTLETS, BATH OUTLETS, GARAGE OUTLETS, OUTLETS OUTDOORS WITH DIRECT GRADE LEVEL ACCESS INCLUDING DECKS, BALCONIES, UNDER EAVES, CRAWL SPACES, AND UNFINISHED BASEMENTS TO BE GFCI
9. ALL OUTLETS TO BE TAMPER RESISTANT
10. EXTERIOR OUTLETS SHALL BE OUTDOOR RATED
11. ELECTRICAL CONTRACTOR TO MEET WITH OWNER FOR GENERAL WALK THRU OF HOUSE PRIOR TO INSTALLING SWITCH BOXES AND CEILING AND WALL OUTLETS TO DETERMINE EXACT LOCATION AND VERIFY OHM SWING
12. ALL ELECTRICAL SHOWN ARE INFORMATION AND LOCATION ONLY. CONTRACTOR SHALL FIELD DETERMINE ALL LOCATIONS AND LOADS PRIOR TO INSTALLATION
13. ALL GARAGE OUTLETS TO BE ON GROUND FAULT CIRCUIT
14. ALL ROOM OUTLETS TO BE ON ARCH VOLT CIRCUIT INTERRUPTER
15. UNDERGROUND ELECTRICAL SERVICE SHALL BE A MINIMUM 1" DEEP AND INSTALLED IN 2" RIGID RISER AND ELBOW ATTACHED TO 2" PVC ELECTRICAL DUCT TO WITHIN 1' OF PEDESTAL
16. ARC FAULT PROTECTION REQUIRED ON BEDROOM OUTLETS
17. SMOKE DETECTORS SHALL BE HARD Wired TO HOUSE AND SHALL BE HAVE BATTERY BACK-UP. SMOKE DETECTORS SHALL BE WIRED IN SERIES

E. FRAMING

1. REFER TO STRUCTURAL
2. PLANS ARE NOT COMPLETE WITHOUT STRUCTURAL CALCULATIONS
3. REFER TO THE STRUCTURAL CALCULATIONS FOR THE GENERAL STRUCTURAL NOTES
4. SOLID BLOCKING BETWEEN JOISTS, RAFTERS, AND TRUSSES OVER BEARING WALLS
5. PROVIDE DBL JOISTS UNDER BEARING WALL LOCATIONS WHERE SUCH WALLS ARE PARALLEL WITH JOISTS
6. ALL EXTERIOR FRAMING TO BE 2x6 DFP2 STUDS @ 16" O.C. U.N.O. (SEE STRUCTURAL)
7. ALL INTERIOR NON-LOADING BEARING FRAMING TO BE 2x4 DFP2 STUDS @ 16" O.C. U.N.O. (SEE STRUCTURAL)
8. ALL INTERIOR NON-LOAD BEARING FRAMING TO BE 2x4 DFP2 STUDS @ 16" O.C. P.N.O. (SEE STRUCTURAL)
9. PROVIDE 1/4" METAL ZOG FLASHING AT ALL EXTERIOR DOOR OPENINGS AND WHERE CONCRETE COMES IN CONTACT WITH WOOD.
10. FRAMER SHALL CHALK-LINE ALL WALLS FOR OWNERS APPROVAL PRIOR TO WALL CONSTRUCTION TO INSURE THAT SPACE BUILD-OUT MEETS OWNER REQUIREMENTS
11. SEE BEM SCHEDULE FOR BEAM SIZES

F. FURNISHINGS:

1. ALL FURNISHINGS SHALL BE SELECTED BY THE OWNER AND COORDINATED WITH THE CONTRACTOR

G. MECHANICAL NOTES

1. WATER HEATER AND EXPANSION TANK SHALL HAVE SEISMIC STRAPS PER CODE.
2. DRYER MUST VENT OUTSIDE WITH A MIN 4" DIA. DUCT AND A MAX. LENGTH OF 14'.
3. COMBUSTION AIR SHALL BE SUPPLIED FROM OUTSIDE BASED ON 1" PER 3000 BTU'S OF TOTAL INPUT OF APPLIANCES.
4. EXHAUST FANS AND FULE VENTS SHALL BE LOCATED 4' FROM PROPERTY LINE AND A MIN. OF 3' ABOVE OR 10' AWAY FROM ALL OUTSIDE AIR INTAKE OPENINGS.
5. VENTS SHALL BE LOCATED A MIN. OF 1' ABOVE, 4' BELOW AND 4" HORIZONTALLY FROM OPENABLE WINDOW OR DOOR.

H. PLUMBING NOTES

1. ALL PLUMBING, WATER AND DRAIN LINES IN AREAS SUBJECT TO FREEZING SHALL BE INDIVIDUALLY INSULATED
2. ON MAIN WATER LINE PROVIDE PRESSURE REGULATING VALVE
3. TOILETS SHALL BE MAX 1/2 GALLONS PER FLUSH
4. PROVIDE OUTSIDE AIR FOR WATER HEATER COMBUSTION AIR
5. SHOWER HEADS SHALL HAVE MAX OUTPUT OF 1/2 GALLONS PER MINUTE
6. EQUIPPING OF PLUMBING VENTS IS NOT PERMITTED IF ROOF IS OCCUPIED
7. SLIP-JOINT PLUMBING CONNECTIONS SHALL NOT BE USED IN CONCEALED CONSTRUCTION AREAS
8. PLUMBING VENTS SHALL BE LOCATED A MIN OF 3' ABOVE AND 10' AWAY FROM ALL OUTSIDE AIR INTAKE OPENINGS
9. FREEZELESS, BACKFLOW PREVENTION HOSE BIBS REQUIRED

I. EXTERIOR WALLS

1. EXTERIOR WALL CONSTRUCTION, PROJECTIONS, OPENINGS, AND PENETRATIONS OF EXTERIOR WALLS OF DWELLING AND ACCESSORY BUILDING MUST BE LOCATED PER IRC 302.1 AND TABLE 302.1.

I. SCHEDULES

DOOR NOTES:

1. ALL DOORS TO BE SELECTED BY OWNER & CONTRACTOR.
2. MIN U FACTOR FOR DOORS WITH LESS THAN %50 GLAZING SHALL BE = 0.32
3. MIN U FACTOR FOR DOORS WITH MORE THAN %50 GLAZING SHALL BE = 0.32
4. EXTERIOR DOORS SHALL BE EXTERIOR RATED AND INSTALLED PER MANUFACTURER'S SPECS

DOOR SCHEDULE

Type Mark	Count	Height	Width	Comments
114	1	6'-8"	2'-6"	
127	5	7'-0"	3'-0"	
138	2	8'-0"	10'-0"	
143	7	7'-0"	2'-10"	
144	1	7'-0"	6'-0"	
146	4	7'-0"	3'-0"	
148	5	7'-0"	3'-0"	
149	2	7'-0"	3'-0"	<varies>

WINDOW SCHEDULE

Type Mark	Count	Height	Width	Sill Height
78	2	3'-0"	4'-0"	3'-0"
82	5	4'-0"	3'-0"	3'-0"
92	2	4'-0"	5'-0"	3'-0"
101	4	6'-0"	2'-0"	<varies>
102	2	6'-0"	4'-0"	<varies>
113	1	4'-0"	3'-0"	3'-0"
117	2	2'-0"	3'-0"	5'-0"
120	1	6'-0"	3'-0"	1'-0"
121	7	4'-0"	3'-0"	<varies>
122	1	5'-0"	8'-0"	1'-9"

WINDOW NOTES:

- 1 ALL WINDOWS TO BE SELECTED BY OWNER & CONTRACTOR AND SHALL MEET MINIMUM THERMAL & TEMPERED CODE REQUIREMENTS
- 2 ALL WINDOWS SHALL BE CONSTRUCTED OF VINYL MATERIAL
- 3 ALL WINDOWS SHALL BE A MIN OF DOUBLE PANE, U N O AND SHALL MEET MIN U FACTOR REQUIREMENTS
- 4 MIN U FACTOR FOR WINDOWS SHALL BE = 0.32
- 5 MIN U FACTOR FOR SKYLIGHTS SHALL BE = 0.44
- 6 WINDOWS SHALL BE HAVE FLASHING AND SEALANT AND INSTALLED PER MANUFACTURER'S SPECS
- 7 WINDOW SILL HEIGHT SHALL BE FIELD VERIFIED BY CONTRACTOR

GENERAL NOTES - DEMOLITION

1. DEMOLITION CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, STANDARDS, RULES AND REGULATIONS FOR THE SAFETY OF PERSONS OR PROPERTY, OR TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS.
2. DEMOLITION CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR THE SAFETY AND PROTECTION OF THE PUBLIC - INCLUDING THE POSTING OF DANGER AND OTHER WARNING SIGNS AGAINST HAZARDS.
3. DEMOLITION SHALL BE ACCOMPANISHED WITH THE REMOVAL OF ALL HAND OR EQUIPMENT SO AS TO NOT CREATE DANGERS TO AREAS THAT ARE INTENDED TO REMAIN INTACT. ANY DAMAGE CAUSED BY DEMOLITION SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR.
4. IN THE EVENT OF THE REMOVAL OF ANY LOAD BEARING PARTITION OR STRUCTURE, APPROPRIATE SHORING SHALL BE PROVIDED AS REQUIRED TO SUPPORT THE ADJACENT LOADS OR STRUCTURE. SHORING SHALL BE DESIGNED TO SUPPORT FULLY THE LOADS SUPERIMPOSED WITH THE APPROPRIATE SAFETY FACTORS. CALCULATIONS, DESIGN AND/OR EQUIPMENT USED SHALL BE THE SOLE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR. ALL SHORING SHALL COMPLY WITH LOCAL AND FEDERAL STANDARDS, INCLUDING OSHA.
5. ANY CALCULATIONS REQUIRED BY THE MUNICIPALITY FOR ANY SHORING OR OTHER TEMPORARY SUPPORT SHALL BE THE SOLE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR.
6. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY ARCHITECT & DESIGNER IN EVENT OF DISCREPANCIES BEFORE PROCEEDING. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL SYSTEMS. (EXCEPT WHERE NOTED) VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
7. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DETAILS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALL REMOVALS THEREFORE IN PREPARING BID. THE CONTRACTOR'S RESPONSIBILITY IS NOT NECESSARILY LIMITED TO THOSE LISTED HERE. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE FINISHED PROJECT.
8. GENERAL CONTRACTOR SHALL PROVIDE AND CONSTRUCT ADEQUATE DUST BARRIERS TO PROTECT OCCUPIED AREAS OF THE BUILDING FROM DEMOLITION. CONSTRUCTION DUST AND DEBRIS.
9. DEMOLISHED MATERIALS SHALL BECOME THE GENERAL CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT THE GENERAL CONTRACTOR'S OPTION, EXCEPT FOR ITEMS OR MATERIAL INDICATED TO BE REUSED, SALVAGED, OR REINSTALLED, OR OTHERWISE INDICATED TO BE REMOVED FROM THE PROJECT.
10. MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
11. DEMOLITION CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS OF ALL WALLS AND CEILING PRIOR TO SUBMITTING A BID FOR THIS PORTION OF WORK.
12. WHERE FUTURE WORK, MIRRORS, WALL COVERING OR OTHER MATERIALS ARE BEING REMOVED FROM AN EXISTING WALL, FLOOR OR ENCLOSURE THAT IS BEING DEMOLISHED, THE DEMOLITION CONTRACTOR IS TO REMOVE SKIN, COAT WALL AS REQUIRED TO RECEIVE NEW FINISHES.
13. TOTAL SCOPE OF DEMOLITION MAY NOT BE COVERED ON THIS SHEET. REVIEW ALL SHEETS IN DRAWING SET TO DETERMINE TOTAL SCOPE OF DEMOLITION WORK. GO TO TRADES, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
14. EXISTING FIRE EXTINGUISHERS ARE TO BE REMOVED (RECONDITIONED IF NECESSARY) AND SAVED FOR REUSE PER LOCAL BUILDING CODE REQUIREMENTS.
15. BROOM SWEEP THE AREA ON COMPLETION OF SELECTIVE DEMOLITION OPERATION.

GENERAL NOTES - ELECTRICAL DEMOLITION

1. CONTRACTOR SHALL VISIT THE SITE AND DOCUMENT EXISTING CIRCUITS SERVING LIGHTING FIXTURES, RECEPTACLES, AND ANY SPECIAL POWER REQUIREMENTS WITHIN THE LIMIT OF THE DEMISED AREA PRIOR TO THE START OF A NEW INSTALLATION.
2. ELECTRICALLY DISCONNECT BACK TO THE PANEL BOARD, ALL ELECTRICAL EQUIPMENT BEING REMOVED AS PART OF THE DEMOLITION WORK. AFTER TESTING TO DETERMINE "POWER OFF" TO EQUIPMENT, REMOVE AND DISPOSE OF EQUIPMENT UNLESS SPECIFICALLY DIRECTED OTHERWISE.
3. ALL CONDUIT AND WIRE FOR EQUIPMENT LOCATED OUTSIDE THE AREA OF DEMOLITION SHALL REMAIN IN SERVICE. THE EXACT METHOD OF REROUTING NEW CONDUIT AND WIRE TO EQUIPMENT REMAINING SHALL BE COORDINATED WITH WORK OF OTHER TRADES PRIOR TO ANY INSTALLATION.
4. PROVIDE TEMPORARY LIGHTING AND POWER, IF REQUIRED, DURING AND AFTER DEMOLITION OF AREAS WITHIN THE LIMITS OF THE WORK. SUCH SERVICE SHALL BE TAKEN FROM EXISTING PANEL BOARDS, AND EXISTING EQUIPMENT MAY BE UTILIZED WHERE FEASIBLE.
5. IF APPLICABLE, EXISTING SOUND AND SECURITY SYSTEM EQUIPMENT AND WIRING SHALL BE DISCONNECTED AND REMOVED OR RELOCATED AS NECESSARY.
6. CAREFULLY REVIEW DRAWINGS FOR ANY OTHER ADDITIONAL ITEMS TO BE REMOVED AND/OR RELOCATED. INCLUDE ALL COSTS IN BASE BID FOR REMOVAL, DISCONNECTING OR RELOCATION OF EQUIPMENT AFFECTED BY DEMOLITION OF OTHER TRADES.
7. ALL EXISTING CONDUIT AND WIRING INTERFERING WITH THE NEW WORK SHALL BE RE-ROUTED, AND CONCEALED WITHIN THE NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
8. ALL CONDUIT AND WIRE REMOVED SHALL BE COMPLETELY REMOVED BACK TO THE POWER SOURCE AND ANY OVER-CURRENT PROTECTIVE DEVICES PROTECTED AND LABELED "SPARE".
9. SHUTDOWN OF ANY SERVICE TO EQUIPMENT REMAINING SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE, AND SHALL BE ONLY FOR THE TIME AGREED UPON.
10. EXISTING WALL MOUNTED RECEPTACLE, TELEPHONE OUTLETS, WIRING, ETC. IN THE DEMISED AREA SHALL REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.
11. THE CONTRACTOR SHALL COORDINATE WITH OWNER WHICH CIRCUITS (IF ANY) ARE TO REMAIN ACTIVE AT ALL TIMES DURING THE WORK, AND PROVIDE CONTINUITY OF SERVICE TO THOSE ITEMS.

S

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[illegible]

Cabin

GENERAL ARCH NOTES

Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	WW

A001

Scale $12'' = 1'-0''$



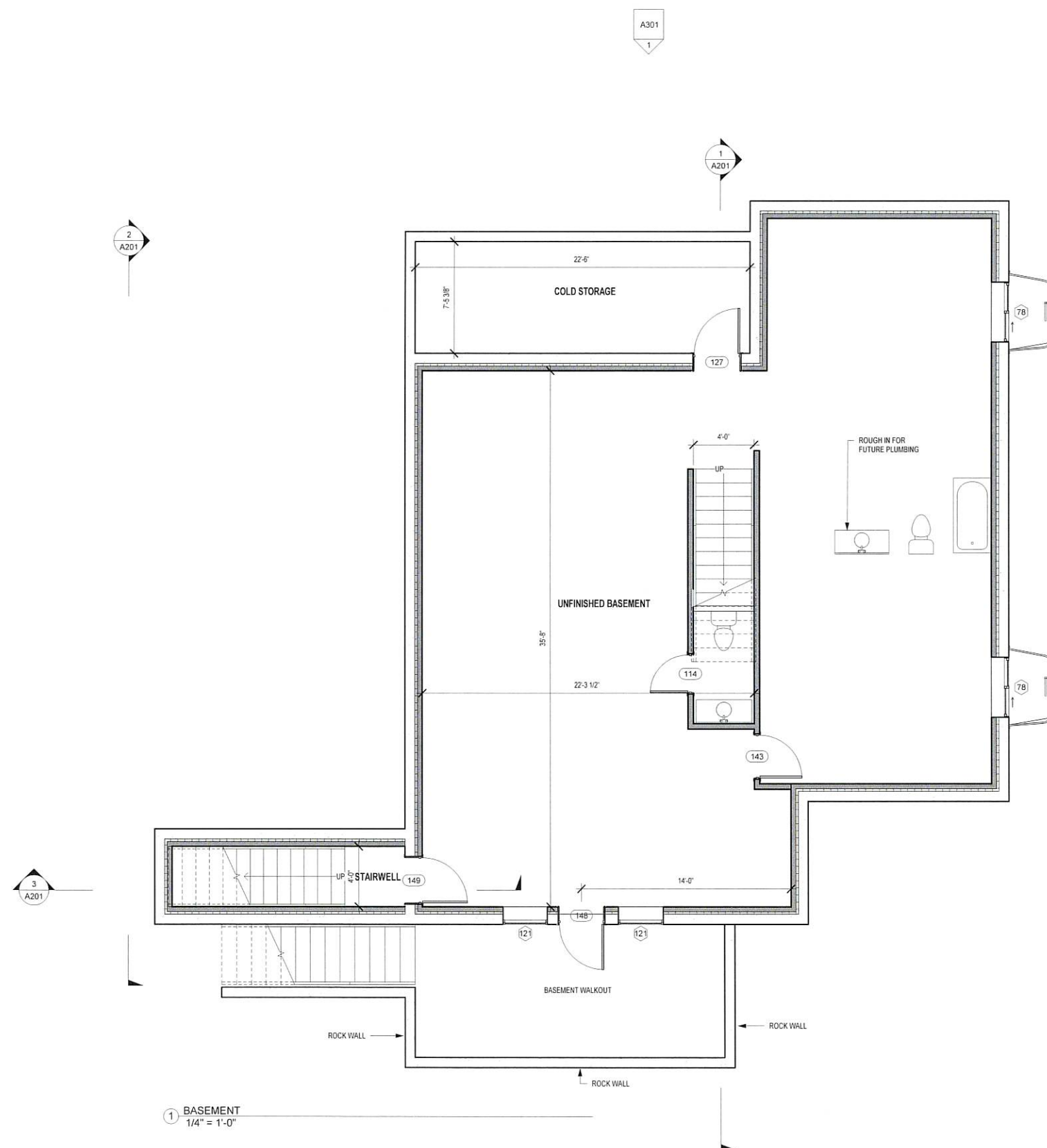
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Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	WW

Scale $1/4" = 1'-0"$

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① BASEMENT
1/4" = 1'-0"

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Cabin

MAIN FLOOR LAYOUT

Project Number	241123
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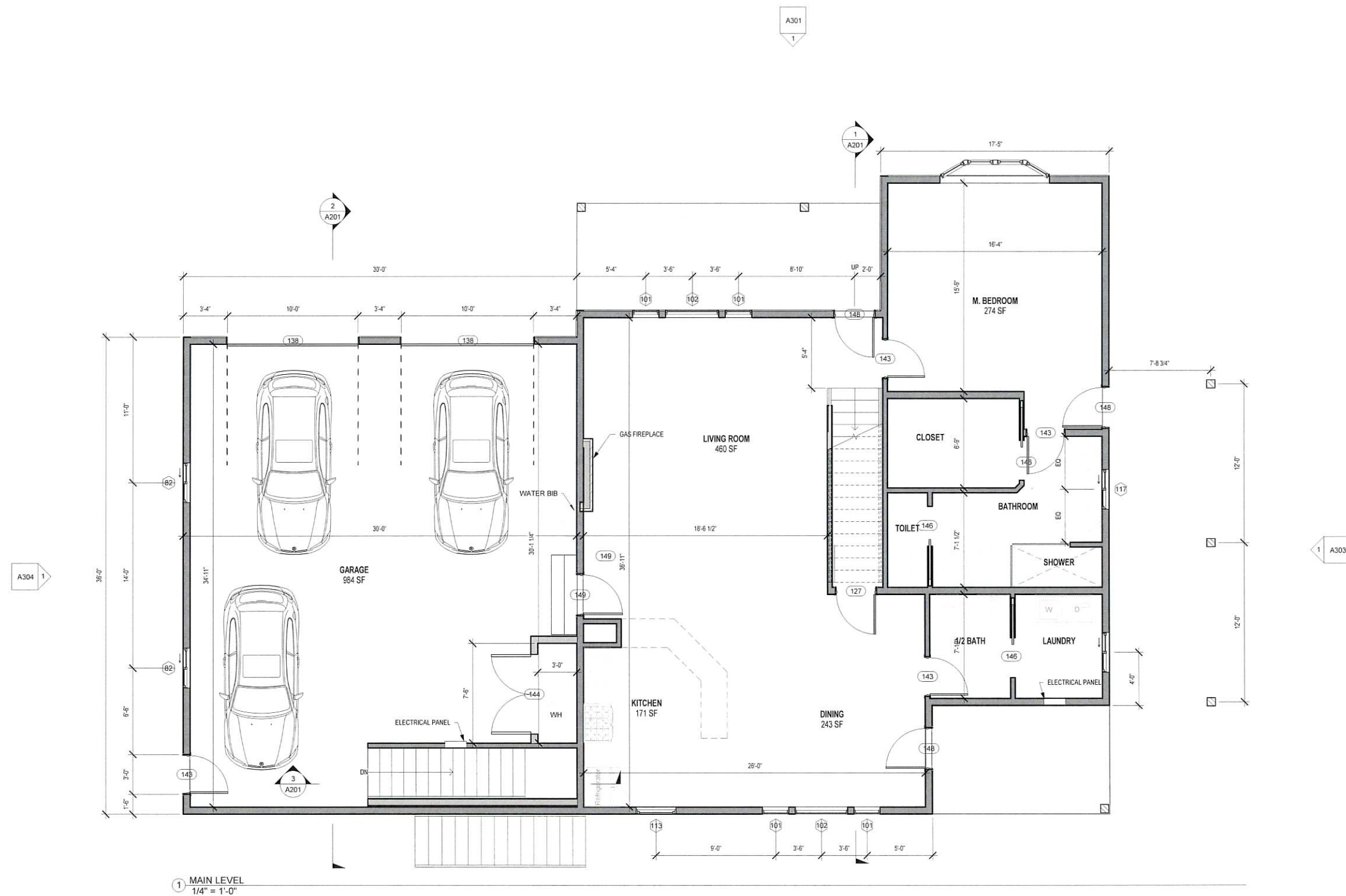
Date	5/20/25
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Drawn By	PS
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Checked By	WW	PM
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A101

Scale	$1/4" = 1'-0"$
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- 1 SEE SHEET #001 FOR WALL TYPES
- 2 INTERIOR WALL DIMENSIONS ARE TO INTERIOR FACE TO INTERIOR FACE, U N O
- 3 OPENINGS ARE DIMENSIONED TO FINISH FACE OF OPENING, U N O
- 4 FIRE EXTINGUISHER CABINETS TO BE SEMI-RECESSED
- 5 FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK. ANY DISCREPANCIES SHOULD BE COORDINATED WITH ARCHITECT
- 6 CONTRACTOR TO COORDINATE WITH TENANT FOR ALL OPENINGS, SUCH AS WINDOWS AND DOORS, TO ENSURE NO CONFLICTS WITH EQUIPMENT
- 7 CONTRACTOR TO VERIFY LOCATION OF PLUMBING AND ADJUST ACCORDINGLY FOR MIXING AND MOP AREA

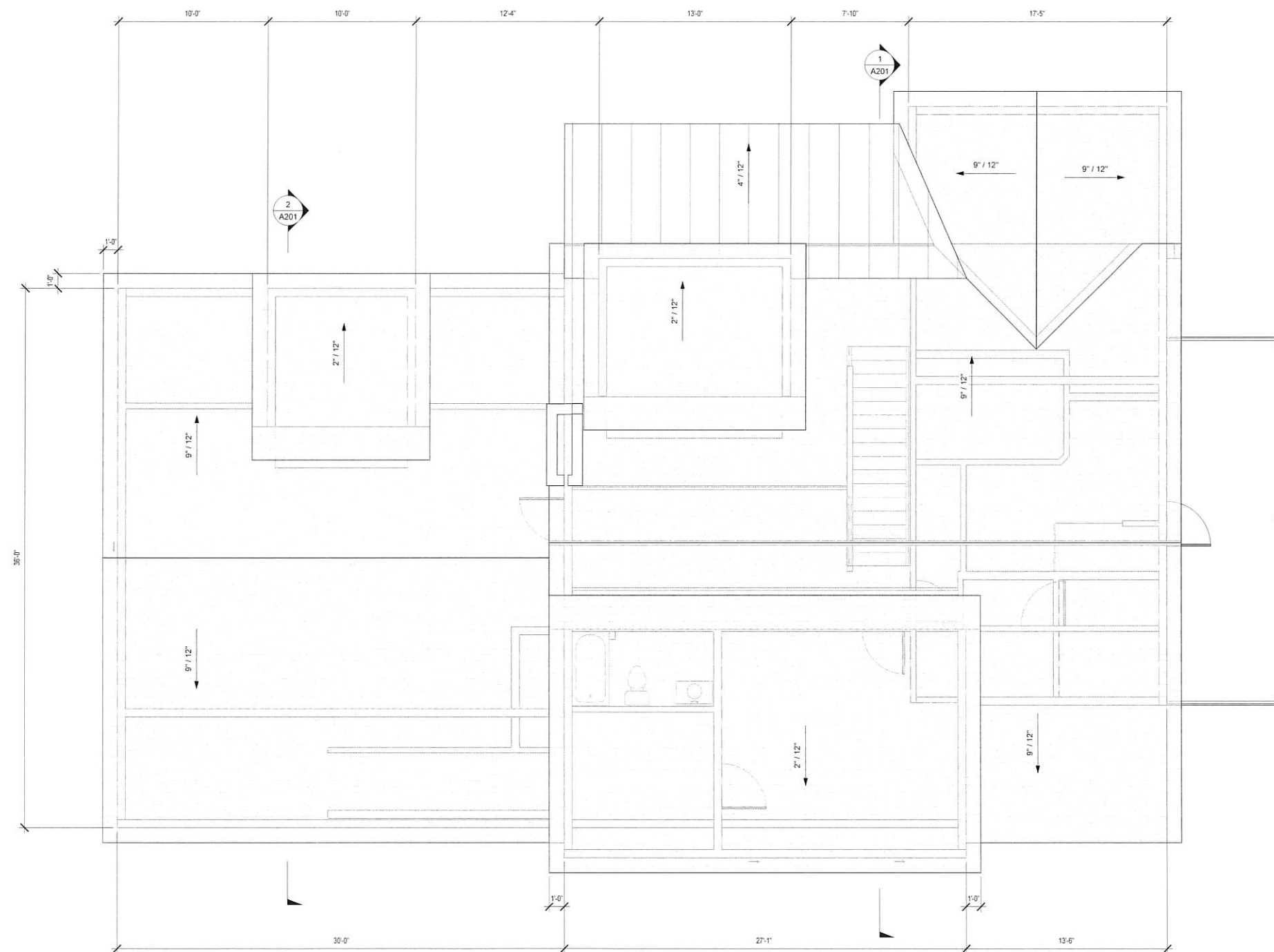


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Scale	1/4" = 1'-0"
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① ROOF PLAN
1/4" = 1'-0"

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Cabin

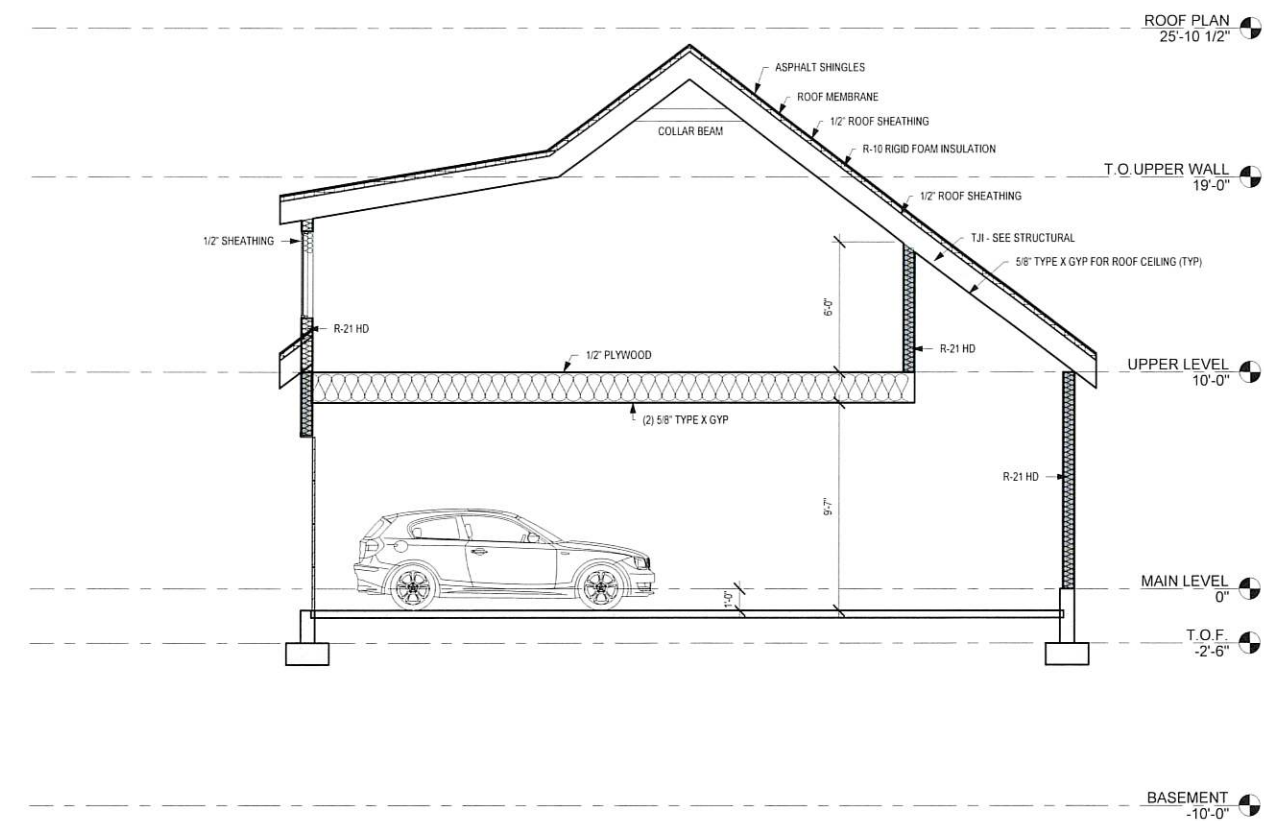
SECTION VIEWS

Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	WW

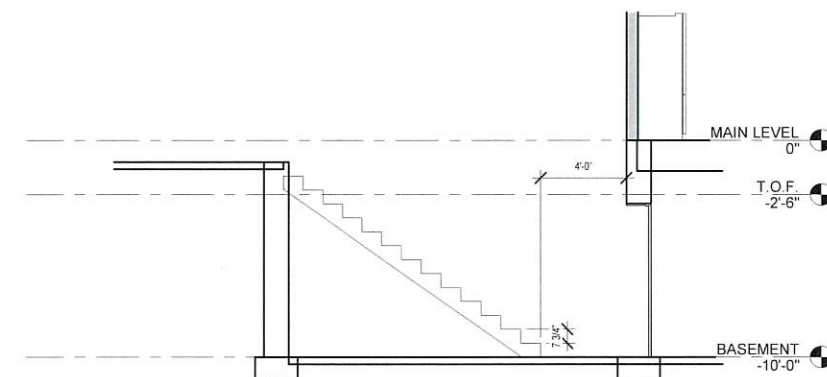
A201

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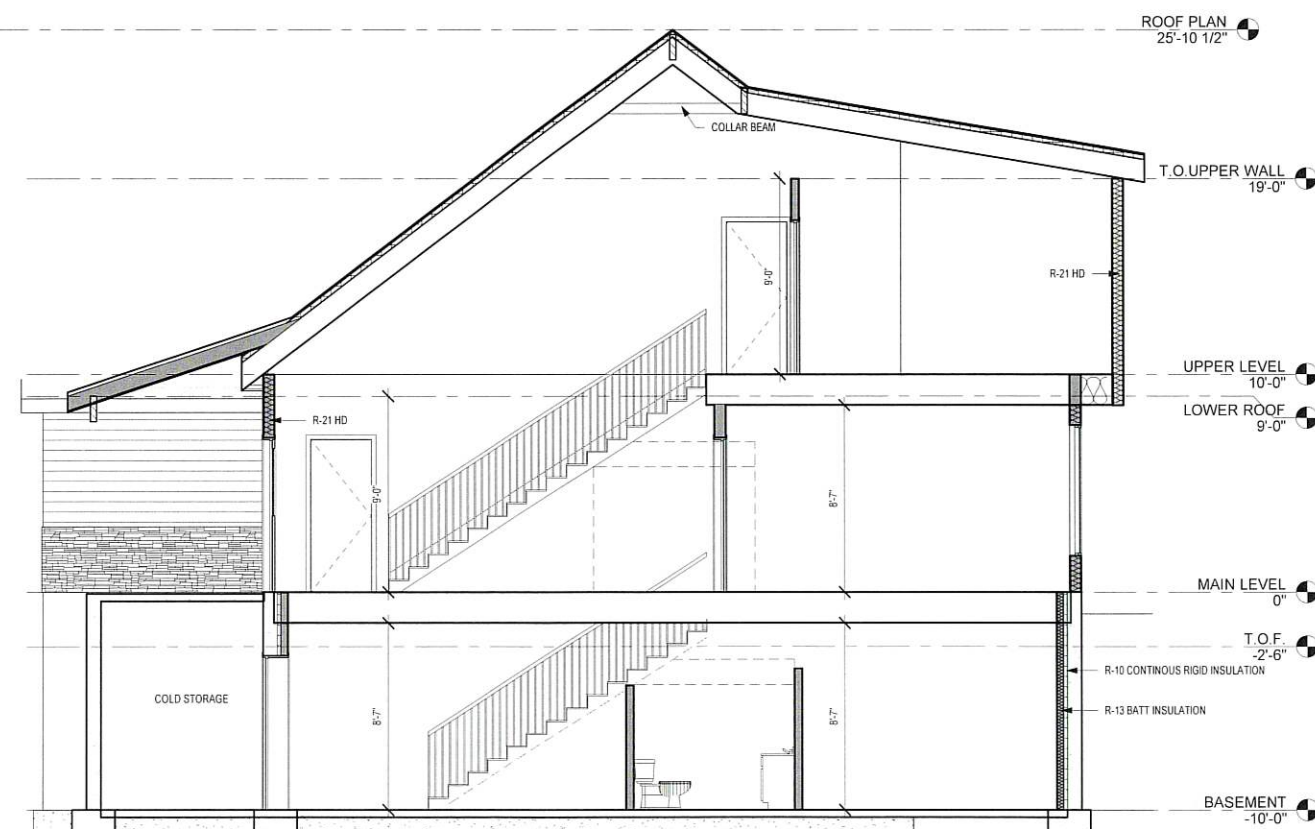
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② Section 2
1/4" = 1'-0"



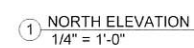
③ Section 3
1/4" = 1'-0"



① Section 1
1/4" = 1'-0"



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Cabin

NORTH ELEVATION

Project Number	241123
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Date	5/20/25
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Drawn By	PS
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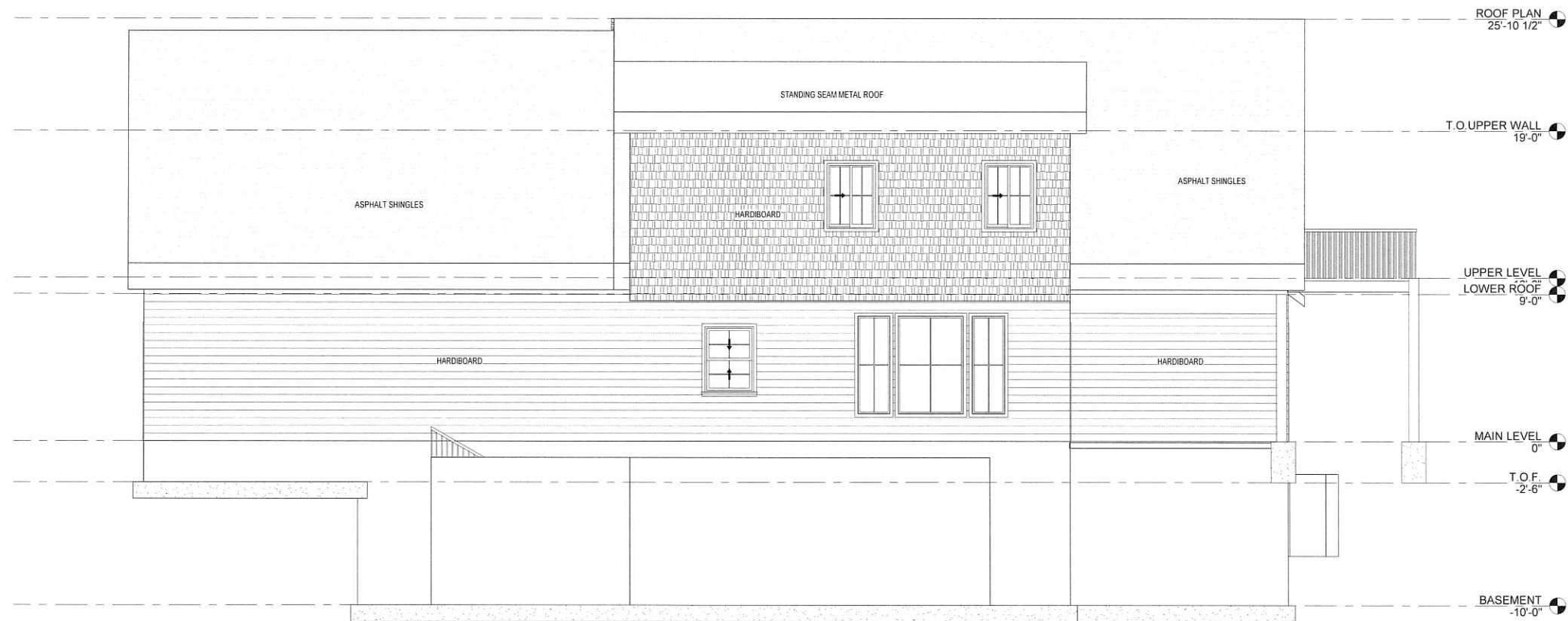
Checked By	WW
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A301

Scale	$1/4" = 1'-0"$
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1 SOUTH ELEVATION
1/4" = 1'-0"

[illegible]

SOUTH ELEVATION

Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	WW

A302

Scale	1/4" = 1'-0"
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WEST ELEVATION

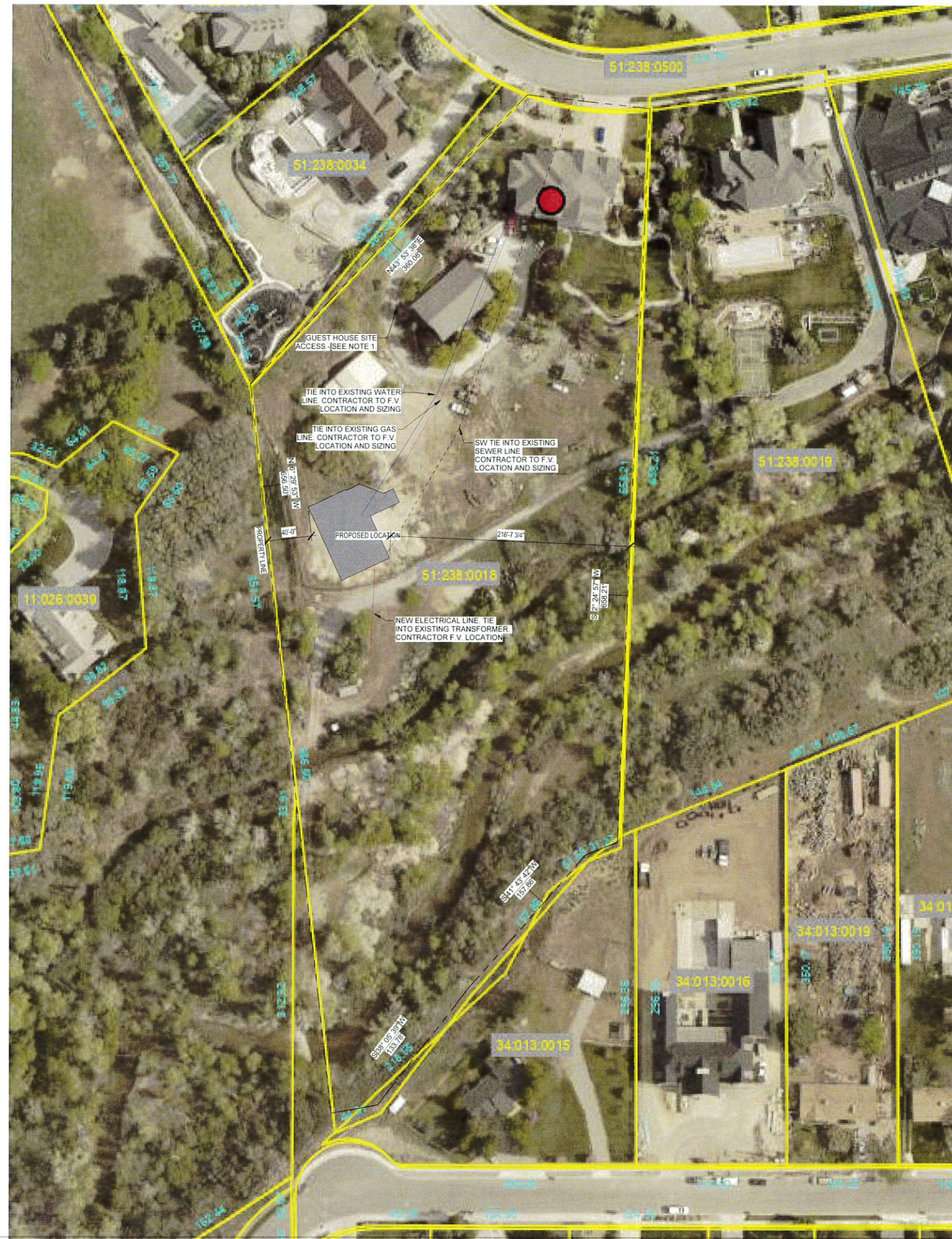
Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	WW

A304

Scale $1/4" = 1'-0"$



① WEST ELEVATION
1/4" = 1'-0"



① OVERALL SITE PLAN
1" = 50'-0"

SITE NOTES:
1. THE GUESTHOUSE SHALL BEE AN INTEGRAL PART OF THE SITE PLAN FOR THE PRICIPLE DWELLING AND ATTENDANT LOT AREA. VEHICULAR ACCESS TO THE GUEST HOUSE SHALL BE OVER THE SAME DRIVEWAY AS FOR THE PRIMARY DWELLING.



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OVERALL SITE PLAN

Project Number	241123
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Date	5/20/25
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Drawn By	PS
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Checked By	WW
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C101

Scale	1" = 50'-0"
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3/4" APA RATED T&G STURD-I-FLOOR SHEATHING
GLUED TO FRAMING AND NAILED W/ 10d COMMON
OR SIMPSON WSNTL2L2 #8 SCREW AT 6" OC AT
PANEL EDGES AND 12" OC IN THE FIELD

7/16" APA RATED OSB SHEATHING NAILED W/ 8d
COMMON AT 6" OC AT PANEL EDGES, OVER SHEAR
WALLS AND BLOCKING AND 6" OC IN THE FIELD,
PROVIDE GAPS BETWEEN SHTS PER MANU REQ.

- NO DEVIATION FROM TRUSS LAYOUT ON PLAN ALLOWED WITHOUT WRITTEN PERMISSION FROM ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE A COPY OF TRUSS MANUFACTURER'S LAYOUT AND DESIGN DRAWINGS TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION. ALLOW ONE WEEK MINIMUM REVIEW PERIOD.
- SEE FRAMING PLANS FOR ADDITIONAL TRUSS DESIGN INFORMATION.
- PRE-ENGINEERED TRUSSES SHALL BE BLOCKED AND BRACED PER MANUFACTURER'S REQUIREMENTS.
- ALL TRUSS CONNECTION HARDWARE SHALL BE DESIGNED BY THE TRUSS MANUFACTURER.

- FRAME ROOF OVERBLAD AREAS WITH 2x DF#2 JOISTS AT 24" O.C. (PER ROOF MANUFACTURE).
- BRACE JOISTS AT 6'-0" O.C. TO FRAMING BELOW.
- USE 2" X 8" DF#2 RIDGE BOARD BRACED AT 4'-0" O.C.
- USE 2" X 8" DF#2 VALLEY MEMBERS LAYED FLAT AND NAILED TO TRUSSES WITH (2) 16d EACH TRUSS/RAFTER.
- BRACE RIDGE AND JOISTS SUCH THAT LOAD IS DISTRIBUTED UNIFORMLY TO TRUSSES BELOW.
- SHEATH UNDER ALL OVERBLAD AREAS.
- PROVIDE ACCESS AND VENTILATION TO OVERBLAD AREAS AS NECESSARY.

- PROVIDE (2) T512 VERTICAL STRAPS OR EQUIVALENT EACH END CONNECTED TO SUPPORTING POST TO RESIST UPLIFT FORCES AT ALL GIRDER TRUSSES UNLESS NOTED OTHERWISE
- ANCHOR DRAG STRUT TRUSSES TO ENDS OF SHEAR WALL BELOW WITH 24" LONG C516 OR EQUIVALENT WHERE BEAMS BEAR ON A DOUBLE TOP PLATE OF A BEARING WALL PROVIDE (2) T512 VERTICAL STRAPS OR EQUIVALENT TO CONNECT BEAM TO THE SUPPORTING POST UNLESS OTHERWISE NOTED
- WHERE BEAMS REST ON AN ISOLATED POST USE PC/EPC CAP AT TOP AND ABU BASE AT BOTTOM UNLESS OTHERWISE NOTED

EXTERIOR WALLS TO BE 2x6 DF STUDS AT 16" O.C.
WALLS OVER 10'-0" IN HEIGHT TO BE 2x6 DF STUDS
AT 16" O.C. (TYP).
USE THREE STUDS MINIMUM AT ALL CORNERS
UNLESS NOTED OTHERWISE.
PROVIDE 272K AT ENDS OF ALL BEAMS FOR SPANS
LESS THAN 4'. USE A MINIMUM OF 373K FOR SPANS
GREATER THAN 4'. UNLESS NOTED OTHERWISE.
T = TRIMMER (JACK) STUD SUPPORTING HEADER
OR BEAM.
K = FULL HEIGHT KING STUD FACE NAILED TO
TRIMMERS AND HEADER OR BEAM.
I.E. 272K = 2 TRIMMERS, 2 KING STUDS W/ WIDTH
TO MATCH ADJACENT WALL FRAMING UNLESS
NOTED OTHERWISE.
INTERIOR WALLS ARE 2x4 DF @ 16" O.C. U.N.O.

SHEAR WALL SCHEDULE						
MARK	SHEATHING	SHEATH BOTH SIDES	NAILS	EDGE SPACING	MIN CHORD SIZE	NOTES
1	7/16" OSB	NO	8d	6" OC	(2) 2x6	1-3
2	7/16" OSB	NO	8d	4" OC	(2) 2x6	1-3
3	7/16" OSB	NO	8d	3" OC	(2) 2x6	1-4
4	7/16" OSB	NO	8d	2" OC	(3) 2x6	1-4
5	7/16" OSB	YES	8d	4" OC	(3) 2x6	1-4
11	S1 7/16" OSB	NO	8d	6" OC	(1) 6x6	1-4
12	S1 7/16" OSB	NO	8d	4" OC	(1) 6x6	1-4
13	S1 7/16" OSB	NO	8d	3" OC	(1) 6x6	1-4
14	S1 7/16" OSB	NO	8d	2" OC	(2) 2x6	1-4
15	S1 7/16" OSB	YES	8d	6" OC	(1) 6x6	1-4
16	S1 7/16" OSB	YES	8d	4" OC	(1) 6x6	1-4

1. USE COMMON OR GALVANIZED BOX NAILS. FIELD NAIL AT 12" OC
2. PROVIDE ALL PANEL EDGES
3. BLOCK 3"x3"x0.229" PLATE WASHERS WITH DIAGONAL SLOTTED HOLE AND STANDARD CUT WASHER TO BE PLACED BETWEEN THE 3"x3"x0.229" WASHER AND NUT ON ANCHOR BOLTS (TYPICAL)
4. USE 3" NOMINAL MEMBERS AT BUTTING PANEL EDGES. (DOUBLE 2x MEMBERS FACE NAILED w/ 16d AT 4" OC STAGGERED MAY BE SUBSTITUTED FOR SINGLE 3x)
5. ALL SHEAR WALLS MAY NOT BE USED. SEE SHEAR WALL PLANS FOR REQUIRED WALLS.
6. S1 = STRUCTURAL GRADE 1.

HOLDOWN & STRAP SCHEDULE		
MARK	ANCHOR	NOTES (1,2)
	HDU4-SDS2.5	7,8
	HDU8-SDS2.5	4,6
	DEFINED ON PLAN VIEW	
	MSTA36 STRAP (18 Ga, 26-10d NAILS)	5
	MSTA24 STRAP (18 Ga, 18-10d NAILS)	5

1. ALL ANCHORS ARE SIMPSON STRONG TIE OR EQUIVALENT.
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS. USE RIM JOIST MODELS (RJ) WHEN INSTALLED AT RIMBOARD/JOIST.
3. RETROFIT OPTIONS:
 - M5T48 - NAIL UP PORTION OF STRAP INTO (2) 2x STUDS PER MANU REQ. ANCHOR BOTTOM TO FOUNDATION W/ (2) 1/2" DIA WEDGE ANCHORS W/ 4" MIN EMBEDMENT (START MIN 6" DOWN FROM TOP OF FOUNDATION).
 - HDU4 - PROVIDE 5/8" DIA A307 ATR EPOXIED 12" INTO CONCRETE.
 - PRE-CAST A34 THREADED ROD TO MATCH HDU SPECIFIED SIZE EMBEDDED TO FTG (SEE DETAIL 1 - S502). CONTRACTOR SHALL ENSURE THE PLACEMENT OF THE ANCHORS IN FTG AND FND WALL ALIGN IN THE CORRECT LOCATION PRIOR TO POURING CONCRETE.
5. NAILS NOT REQUIRED IN THE RIM BOARD AREA.
6. MIN THICKNESS OF THE CHORD FOR A HDU IS A 3 1/2". MATCH WALL STUDS FOR WIDTH OF POST (FOR EXAMPLE, A 2x6 STUD WALL WOULD REQUIRE A 6x4 CHORD. IT IS PERMISSIBLE TO USE A 6x6 CHORD).
7. MIN OF (2) 2x CHORD W/ MIN ANCHOR EMBED OF 8" INTO CONCRETE.
8. ANCHOR BOLT DIA TO MEET SIMPSON REQUIREMENTS AND SHALL BE ASTM F1554 GR. 36 HEAVY HEX W/ MIN EMBED OF 12" (CAST-IN-PLACE ONLY).

1/2" DIAMETER x 10" LONG ANCHOR BOLTS
EMBEDDED 7" MINIMUM AT 32" OC W/ 2x TREATED
SILL PLATE, TYPICAL EXCEPT WHEN SPECIFICALLY
NOTED ON FOUNDATION PLAN.

ALL ANCHOR BOLTS FOR SHEAR WALLS REQUIRE 3"x3"x0.229" PLATE WASHERS WITH DIAGONAL SLOTTED HOLE. PLACE EDGE OF WASHER MAX 1/2" FROM INSIDE FACE OF WALL SHEATHING. PROVIDE STANDARD CUT WASHER BETWEEN 3"x3"x0.229" WASHER AND NUT.

FOUNDATION WALL SCHEDULE ⁽¹⁾				
MAX HEIGHT	TOP EDGE SUPPORT	WALL THICK.	REINFORCING BARS	
			VERTICAL (2)	HORIZONTAL (3)
2'-0"	NONE	8"	# 5 @ 12" (5)	(2) # 5
3'-0"		8"	# 5 @ 12"	(3) # 5
4'-0"		8"	# 5 @ 12"	(4) # 5
6'-0"		8"	# 5 @ 12"	(5) # 5
8'-0"		8"	# 5 @ 12"	(7) # 5
9'-0"		12"	# 6 @ 12" (9)	(8) # 6 (9)
11'-0"		14"	# 7 @ 12" (9)	(10) # 7 (9)
12'-0"		14"	# 7 @ 12" (9)	(11) # 7 (9)
STEPDOWN / WALKOUT BASEMENT FOUNDATIONS (NOTE 8)				
4'-0"	NONE	8"	# 5 @ 12"	# 5 @ 12"
9'-0"	FLOOR (6)	12"	# 6 @ 12"	# 6 @ 12"
11'-0"	FLOOR (6)	14"	# 7 @ 12"	# 7 @ 12"

1. BASED ON 4,000 PSI CONCRETE AND 60,000 PSI STEEL.
2. VERTICAL BARS ARE TO BE PLACED IN THE CENTER OF WALL & EXTEND FROM THE FOOTING TO WITHIN 3" OF THE TOP OF WALL. DOWELS OF #5 REBAR W/ STANDARD HOOK SHALL BE PROVIDED IN THE FOOTING TO MATCH THE VERTICAL BARS WITH THE VERTICAL LEG EXTENDING 24" INTO FOUNDATION WALL.
3. ONE BAR SHALL BE LOCATED IN THE TOP 5", ONE BAR IN THE BOTTOM 4" AND ALL BARS SPACED EQUALLY IN BETWEEN.
4. PLACE (2) #5 BARS ABOVE AND (1) #5 BAR EACH SIDE AND BELOW ALL OPENINGS. BARS SHALL BE PLACED WITHIN 2" OF THE OPENINGS & EXTEND 24" BEYOND EDGE OF OPENING. VERTICAL BARS MAY TERMINATE 3" FROM THE TOP OF CONCRETE.
5. DOWELS OF #5 REBAR AT 24" O.C. WITH STANDARD HOOK SHALL BE PROVIDED IN THE FOOTING WITH VERTICAL LEG EXTENDING 24" INTO FDN WALL.
6. FLOOR FRAMING MEMBERS SHALL BEAR DIRECTLY ON SILL PLATE ATTACHED TO TOP OF FOUNDATION WALL. NO FRAMED PUN WALLS ARE ALLOWED. REFER TO "STEPDOWN / WALKOUT" FOUNDATION REQUIREMENTS WHERE PUN WALLS WILL BE BUILT ON TOP OF FOUNDATION WALLS. DIAGRAM TO CONFORM TO SECTION 2308.
7. SOIL BACKFILL SHALL BE GW, GP, SO OR SW PER IBC TABLE 1610.1. SOIL SHALL NOT BE SUBMERGED OR SATURATED IN GROUND WATER.
8. STEPDOWN / WALKOUT BASEMENTS ON SLOPING SITES REQUIRE SPECIAL REINFORCING WHERE FOUNDATIONS HAVE A GRADE DIFFERENCE GREATER THAN 5'-0" ACROSS THE OVERALL STRUCTURE. REINFORCING IS BASED ON AMERICAN CONCRETE INSTITUTE (ACI) MINIMUM WALL REINFORCEMENT REQUIREMENTS.
9. DOUBLE LAYER OF REBAR W/ MIN EDGE DISTANCE OF 2" FOR EA LAYER OF REBAR.

MARK	SIZE	LONGITUDINAL REBAR	TRANSVERSE REBAR	NOTES
F1	20" x 12" x CONT.	(2) #5	#5 @ 12" OC	-
F2	2'-0" x 12" x CONT.	(2) #5	#5 @ 12" OC	-
F3	3'-0" x 12" x CONT.	(3) #5	#5 @ 10" OC	-
F4	4'-0" x 12" x CONT.	(4) #5	#5 @ 12" OC	-
F5	6'-0" x 12" x CONT.	(6) #6	#6 @ 12" OC	TOP & BOT
F6	8'-0" x 14" x CONT.	(8) #7	#7 @ 12" OC	TOP & BOT
F7	9'-0" x 14" x CONT.	(9) #7	#7 @ 12" OC	TOP & BOT
F8	10'-0" x 14" x CONT.	(10) #7	#7 @ 12" OC	TOP & BOT
F9	24" x 24" x 10' SPOT	(3) #5	(3) #5	-
F10	36" x 36" x 10' SPOT	(4) #5	(4) #5	-
F11	48" x 48" x 10' SPOT	(5) #5	(5) #5	-
F12	60" x 60" x 10' SPOT	(6) #5	(6) #5	-
F13	72" x 72" x 10' SPOT	(7) #5	(7) #5	-

1. SIZES ARE WIDTHxTHICK FOR CONTINUOUS FOOTINGS AND WIDTHxLENGTHxTHICK FOR SPOT FOOTINGS
2. SOIL BEARING = 1,500 PSF (MIN PROSCRIPTIVE MIN)
3. F'C = 4,000 PSI
4. GRADE 60 REBAR
5. PLACE REBAR 3" FROM BOTTOM OF FOOTING & 1 1/2" FROM TOP OF FOOTING IF TOP & BOTTOM BAR ARE REQ'D.
6. ALL FOOTINGS MAY NOT BE USED, SEE PLAN
7. FOLLOW SOIL PREPARATION REQUIREMENTS AS FOUND IN THE SOIL'S REPORT PRIOR TO ANY CONCRETE POUR.

GOVERNING CODE		2021 IRC
<u>SOIL</u>		
BEARING PRESSURE*	1,500	PSF
<u>WIND</u>		
WIND SPEED, V	115	
GUST	3	SEC
EXPOSURE	C	
RISK CATEGORY	II	
<u>SEISMIC</u>		
DESIGN CATEGORY	D	
IMPORTANCE FACTOR	1.0	
SDS	1.08	
R	6.5	
Cs	0.1253	
OVERSTRENGTH	4	
AMPLIFICATION FACTOR	EQUIVALENT LATERAL FORCE METHOD	
<u>ROOF LOADS</u>		
DEAD LOAD	15	PSF
GROUND SNOW LOAD, Pg	20#SF	(UNBALANCED)
ROOF SNOW LOAD, Ps	41.3#SF	BALANCED
ROOF LIVE LOAD	20	PSF
<u>FLOOR LOADS</u>		
DEAD LOAD	15	PSF
LIVE LOAD	40	PSF
DECK LIVE LOAD	60	PSF (1.5 x LL PER ASCE 7)
ATTIC W/ STORAGE	20	PSF
* MIN PROSCRIPTIVE ALLOWABLE BEARING USED. REFER TO STRUCTURAL CALCULATIONS FOR FURTHER INFORMATION ON LOADS, GENERAL STRUCTURAL NOTES, AND OTHER STRUCTURAL REQUIREMENTS.		
** PER MAGNA CITY ORDINANCE NO. 21-04-01 A BLAST LOAD OF 0.3 psi TO BE APPLIED, WHICH AN EQUIVALENT OVERPRESSURE OF V = 167 mph IS PERMITTED.		

BEAM MARK	SIZE AND TYPE
B1	(2) 2" x 6" DF-L No. 2
B2	(2) 2" x 8" DF-L No. 2
B3	(2) 2" x 10" DF-L No. 2
B4	(2) 2" x 12" DF-L No. 2
B5	(3) 2" x 6" DF-L No. 2
B6	(3) 2" x 8" DF-L No. 2
B7	(3) 2" x 10" DF-L No. 2
B8	(3) 2" x 12" DF-L No. 2
B9	(2) 1-3/4" x 9 1/4" 2.0E LVL
B10	(3) 1-3/4" x 9 1/4" 2.0E LVL
B11	(2) 1-3/4" x 11-7/8" 2.0E LVL
B12	(3) 1-3/4" x 11-7/8" 2.0E LVL
B13	(2) 1-3/4" x 14" 2.0E LVL
B14	(3) 1-3/4" x 14" 2.0E LVL
B15	(2) 1-3/4" x 16" 2.0E LVL
B16	(3) 1-3/4" x 16" 2.0E LVL
B17	(4) 1-3/4" x 16" 2.0E LVL
B18	(1) 5 1/2" x 27" V48-DF GLULAM
B19	(4) 1-3/4" x 16" 2.0E LVL
B20	(1) 1-3/4" x 16" 2.0E LVL
B21	(2) 1-3/4" x 18" 2.0E LVL
B22	(3) 1-3/4" x 18" 2.0E LVL
B23	(4) 1-3/4" x 18" 2.0E LVL
B24	(3) 1-3/4" x 20" 2.0E LVL
B25	(2) 1-3/4" x 24" 2.0E LVL
B26	(3) 1-3/4" x 24" 2.0E LVL

CL1 (2) #5 ADDITIONAL BARS, 3" ABOVE AND 2' BEYOND OPENING

BEAM MARK	SIZE AND TYPE
P1	(2) 2x
P2	(3) 2x
P3	(4) 2x
P4	(1) 4x4
P5	(1) 6x4
P6	(1) 6x6
P7	(1) 8x6
P8	(1) 8x8

1. DF-L No. 2. U.N.O. ON PLANS.



SHEERAN DESIGN

sheerandesignllc@gmail.com
801-514-4502

Newell Whitney

747 W RANCH CIRCLE
ALPINE, UT 84004

[illegible]

Cabin

STRUCTURAL GENERAL NOTES

Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	WW

S001

Scale



sheerandesignllc@gmail.com
801-514-4502

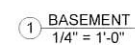
747 W RANCH CIRCLE
ALPINE, UT 84004

Cabin

BASEMENT FOUNDATION

S101

Scale $1/4" = 1'-0"$





sheerandesignllc@gmail.com
801-514-4502

747 W RANCH CIRCLE
ALPINE, UT 84004

[illegible]

MAIN LEVEL FOUNDATION

Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	--

S102

Scale $1/4" = 1'-0"$

6/30/2025 9:21:13 PM

① MAIN LEVEL FOUNDATION
1/4" = 1'-0"



sheerandesignllc@gmail.com
801-514-4502

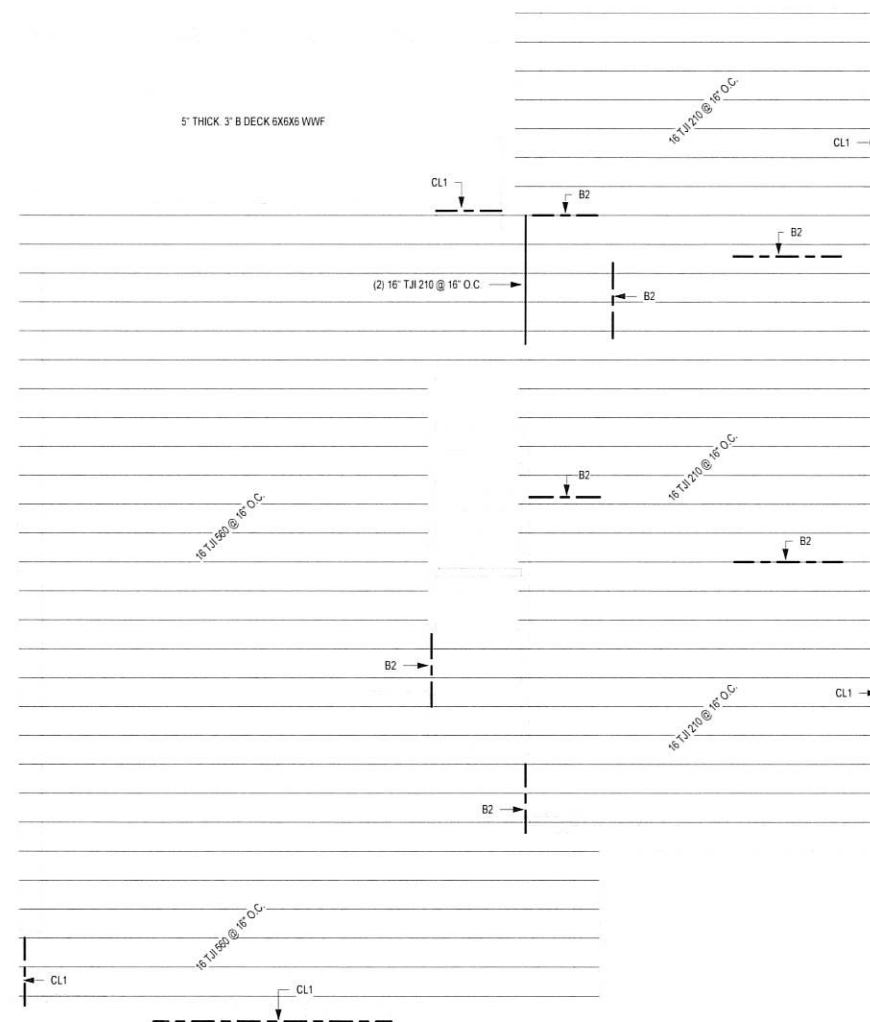
747 W RANCH CIRCLE
ALPINE, UT 84004

Cabin

Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	--

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① MAIN LEVEL(1)
1/4" = 1'-0"



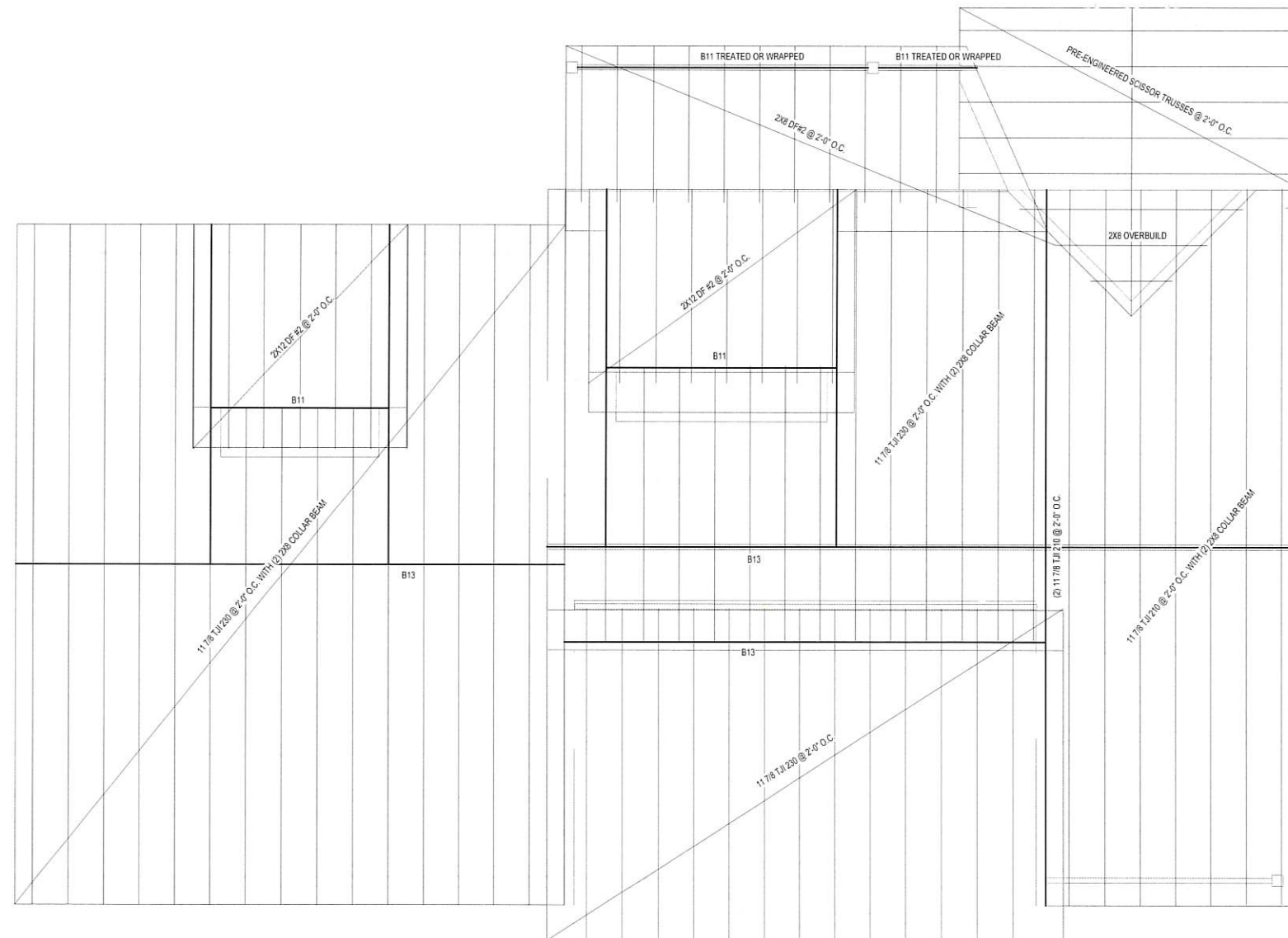
747 W RANCH CIRCLE
ALPINE, UT 84004



Project Number	241123
Date	5/20/25
Drawn By	PS
Checked By	--

Scale	1/4" = 1'-0"
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6/30/2025 9:21:15 PM



① ROOF FRAMING PLAN
1/4" = 1'-0"



Scale

ALPINE CITY PLANNING COMMISSION AGENDA

SUBJECT: Lambert Park Turnaround Proposal

FOR CONSIDERATION ON: July 29th, 2025

PETITIONER: Jason Thelin & Jessica Smuin - Alpine City Councilmembers.

ACTION REQUESTED BY PETITIONER: Recommend Approval of a Turnaround
Located at the west end of Box Elder Way
into Lambert Park.

REVIEW TYPE: Administrative

BACKGROUND INFORMATION

Jason Thelin and Jessica Smuin, as members of the City Council, have requested the construction of a turnaround area at the west end of Box Elder Way, located within Lambert Park. This turnaround would be similar to the one constructed at the east end of Moyle Drive, which is also in Lambert Park. The purpose of the turnaround is to provide additional parking, finish the road and create a safe area for vehicles to turn around, and preventing them from continuing onto the emergency access road. It would also support visitors wishing to enjoy features of the park, such as the poppy fields by allowing additional parking spaces.

The proposed turnaround area may be surfaced with either asphalt (preferred) or gravel and would accommodate approximately eleven (11) parking spaces. Existing flexible bollards would be relocated to the end of the new cul-de-sac to discourage non-emergency vehicle access through the park. If the turnaround surface is asphalt, snow would be removed from it in the winter. If the surface is gravel, snowplow drivers would continue to plow through this area rather than attempting to plow the entire turnaround.

The design criteria for roads are outlined in *Alpine Development Code 4.07.090 – Road Grades*. Specifically, the slope leading to a negative grade cul-de-sac should not exceed 4%. The existing grade on Box Elder Way is 10.94%. This is an existing condition in the field that cannot be changed. In addition, negative grade cul-de-sacs should not exceed 3% grade for the last 100 feet of the traveled surface. The grade of the gravel road through Lambert Park has a grade of approximately 10%. With grades on either side of the proposed turnaround being greater than or equal to 10%, a turnaround with a 3% grade for the last 100 feet of travelled surface becomes impractical. The depth of fill would increase, which would also increase the footprint of the project to tie into the existing gravel road on the downhill side since the slope is following away from the turnaround to the west. Also, the grade of the road connection between the turnaround and the gravel road increases as the fill depth increases.

Former city engineer, Jed Muhlestein, prepared a plan to try to “meet in the middle” based on the characteristics of the site. His design included a 6% grade through the turnaround area, which resulted in a 13.02% grade transitioning back to the existing gravel road. Alpine Development Code 4.07.090 (2.) requires roads over 10% grade to

be approved by the Fire Marshal. The grade through the turnaround, which exceeds the 3% maximum, could be addressed by the city council granting an exception to that requirement. The road grade exceeding 10% would need to be approved by the fire marshal.

According to *Alpine Development Code 3.16.040*, any material changes to city-owned property requires a public hearing before the Planning Commission prior to City Council consideration. The Planning Commission's role is to hold the public hearing and then make a recommendation to the City Council.

In September of 2023, the Alpine City Council approved a Conservation Easement and Management Plan regarding Lambert Park. In the Management Plan, a unanimous vote of all members of the City Council is required to allow the addition of a paved parking area. If the parking area is not paved, Alpine Development Code 3.16.040 requires four (4) positive votes from the City Council to approve a material change to city property. Two trails will be impacted by the proposed turnaround addition, including Judy's trail which is roughly thirty (30') feet from the existing end of Box Elder Way and Lambert Luge trail which is roughly two hundred (200') feet from the end of Box Elder Way. These trails will only be impacted where crossing the emergency access road. Due to the depth of the fill for the turnaround, Judy's Trail will require the most significant changes to make it walkable.

Fire Chief Review: The Lone Peak Fire Department will need to provide additional feedback on the proposed turnaround. In initial conversations it was discussed the need to make sure the truck did not high center. However, the width will also need to be capable of a firetruck and other first responder vehicles. A further review will be provided as needed.

CITY CODE REFERENCE

- **Alpine Development Code 3.16.040 Special Provisions**
 - Land included in these parks shall not be materially changed, improved, altered, disposed of in any manner or used for any other purpose except after a recommendation of the Planning Commission following a public hearing and by a super majority vote of the City Council (4 positive votes out of 5 City Council members are required). A material change shall include, but is not limited to, a change to the park's present and essential defining characteristics, creation of or improvement of roadways or parking lots within the park.

NOTICING

This agenda item has been properly noticed in accordance with State and City Code requirements. A public hearing must be held as part of the Planning Commission's review process.

STAFF RECOMMENDATION

This is an administrative action that applies existing regulations concerning material changes to city-owned property. According to Alpine Development Code 3.16.090, the standards for approval include:

- Adherence to general and designated guidelines
- Compliance with city ordinances
- A site visit

If these standards are met, staff recommends that the Planning Commission forward a positive recommendation to the City Council.

SAMPLE MOTIONS:

Motion to Approve

I move to recommend approval of the proposed turnaround at the west end of Box Elder Way in Lambert Park, as presented, finding that the request meets the requirements of Alpine Development Code Section 3.16.090.

Motion to Approve with Conditions

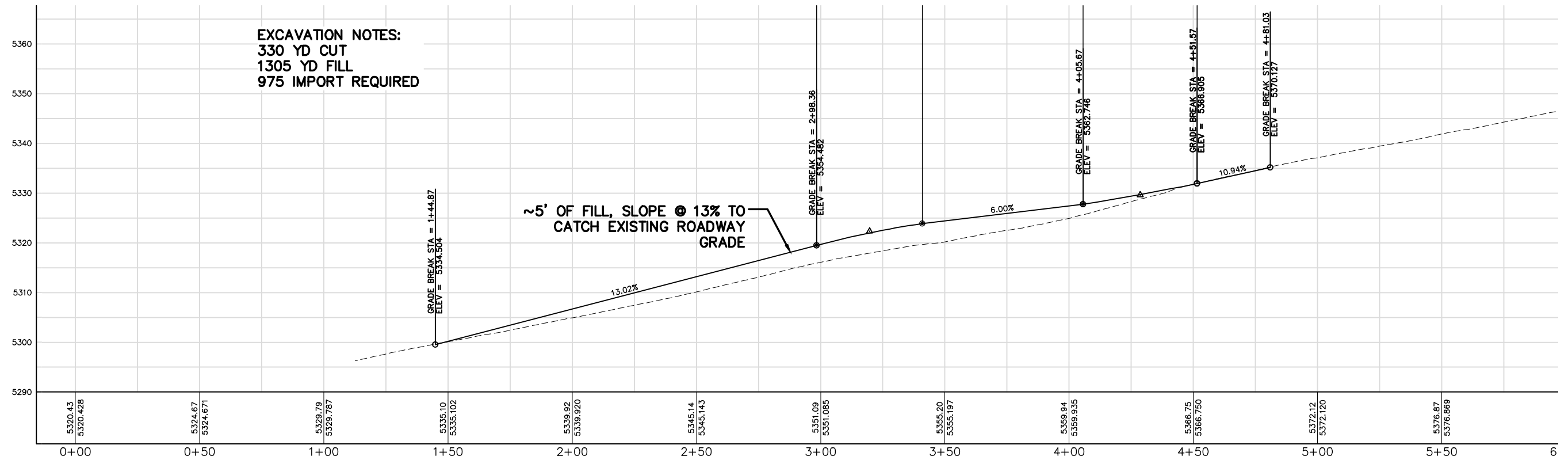
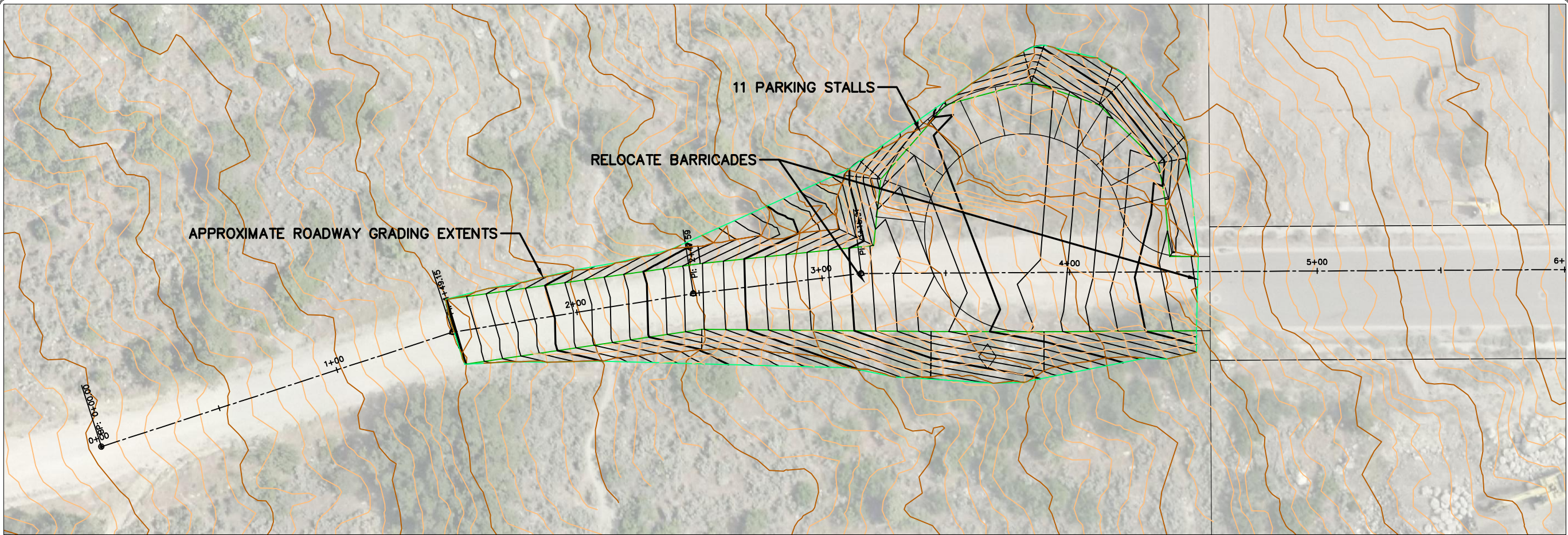
I move that to recommend approval of the proposed turnaround at the west end of Box Elder Way in Lambert Park, subject to the following conditions:

**Insert Conditions*

Motion to Deny

"I move that to recommend denial of the proposed turnaround at the west end of Box Elder Way in Lambert Park, finding that the request does not sufficiently meet the requirements of Alpine Development Code Section 3.16.090.

**Insert Findings*



REMARKS

1.

LAMBERT UPPER PARKING
BOX ELDER WAY
JUNE 2023

CONCEPTUAL PARKING PLAN

Engineering File
Number:

—

Drawing: ##

Sheet: # of ##

ALPINE CITY PLANNING COMMISSION MEETING
Alpine City Hall, 20 North Main, Alpine, UT
July 1, 2025

I. GENERAL BUSINESS

- A. Welcome and Roll Call:** The meeting was called to order at 6:00 p.m. by Alan Macdonald.
The following were present and constituted a quorum:

Chair: Alan Macdonald

Commission Members: Troy Slade, Michelle Schirmer, Jeff Davis, Susan Whittenburg, Greg Buttterfield

Excused: John MacKay

Staff: Ryan Robinson, Jason Judd, Marla Fox

Others:

B. Prayer/Opening Comments: Michelle Schirmer

C. Pledge of Allegiance: Jeff Davis

II. REPORTS AND PRESENTATIONS

None

III. ACTION ITEMS

A. Review of Commercial Building Sign Application: Mecah Ventures 341 S Main Street

Ryan Robinson said Mecah Ventures has submitted an application for a commercial building sign located at 341 S Main Street. This sign is located on the south side of the building replacing the current Gold Back's sign. The new sign is 52 square feet and takes up less than 3% of the side of the building. The lighting for the sign will have a halo effect, outlining the outside around the lettering of the sign itself which is compliant with the current language in the code.

Staff has reviewed the sign application and as proposed meets the requirements as found in the Alpine City Code. [DCA 3.25.080](#) requires the following to be met for approval of an application as applicable:

1. Signs shall be painted on, attached to, or erected on the building that houses the business, or upon the property occupied by the business which the sign(s) advertise. There shall be a maximum of one (1) sign per business.
2. Signs or any portion thereof which are illuminated by lighting from an internal source that shines through the sign and is directed outward are prohibited. Signs may have lighting that is positioned behind the sign creating a halo or outline effect around the sign itself.
3. The illuminance of a sign center shall not increase ambient lighting conditions by more than 3.3 lumens when measured perpendicular to the sign face at a distance set forth below. (see link for table)
4. All signs attached to a building shall meet the approval of Alpine City to ensure that the sign meets the applicable building and electrical codes.
5. The total area of all sign(s) on any one building shall not exceed 15% or 60 square feet of the area of the side of the building where a sign is displayed, whichever is smaller.
6. The area of a sign shall be construed as the area of the overall background. Signs without a background, such as letters or numbers hung together, shall be assumed to be attached to a background that shall be depicted on the application rendering.

7. The color, size, number, lighting, and placement of business commercial signs is subject to approval by the Planning Commission, consistent with the guidelines set forth in the Gateway/Historic District.

Ryan Robinson said the Planning Commission will need to see if this proposal meets the Gateway Historic Guidelines.

Susan Whittenburg liked the sign and thought the colors went well with the building.

Greg Butterfield said he thought the colors looked better than the gold sign that was previously there.

Troy Slade said he liked the back lighting.

MOTION: Planning Commission member Susan Whittenburg moved to approve of the sign application for Meca Ventures located at 341 S Main Street as proposed.

Jeff Davis seconded the motion. There were 6 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Michelle Schirmer
Troy Slade
Alan Macdonald
Jeff Davis
Susan Whittenburg
Greg Butterfield

Nays:

Excused

John Mackay

B. Public Hearing: Proposed Code Amendments to Sections 3.02.050, 3.03.050, 3.04.050, 3.05.050, and 3.06.040 adding setbacks for Pool Structures

Ryan Robinson said currently the city code for accessory structures is written geared more towards sheds or other similar structures. Every other structure is required to meet these standards. This practice has caused issues in the past with items such as structures that are associated with pools. This amendment creates a new standard that is more appropriate to the variety of structures that are submitted for accessory uses.

Ryan Robinson said we have had problems with slides and jump structures that are large next to the property line. He said the new ordinance would require a ten-foot setback to keep pools and structures out of the Public Utility Easement.

Alan Macdonald opened the Public Hearing. There were no comments, and Alan Macdonald closed the Public Hearing.

Susan Whittenburg asked how these structures got approved in the first place. Ryan Robinson said pools require a permit and must be fenced and have a certain setback. These structures have fallen in with the shed ordinance with a zero- or two-foot setback. Because these structures have people climbing on top of them, who could fall off, it has become a problem.

Jeff Davis said he would like to be able to put his pool equipment in a shed closer to the fence in the back where it is out of sight.

Alan Macdonald asked about equipment sheds and the setbacks for them. Ryan Robinson said there are setbacks for those and with these new jump structures, people are putting the pool equipment underneath or inside them. Alan Macdonald asked if the pool equipment is noisy. Ryan Robinson said we have not had complaints from residents about noise from the pool equipment.

Alan Macdonald asked if we could take the pool equipment out of the ten-foot requirement because most people want it removed from sight and hidden in the back close to the fence.

Greg Butterfield asked if there was a material requirement. He said he would rather see a permanent rock or timber building that looks good rather than a Tuff Shed put in. Ryan Robinson said he would check on that but doesn't think we can dictate that to the residents. He said we have more control over that for commercial buildings but not for residential. Alan Macdonald said he agreed, residents can build what they want in their own backyard. Ryan Robinson said our Attorney said we can't regulate ugly.

Ryan Robinson said slides are a little trickier because they wind around. He said we measure them from the average grade.

MOTION: Planning Commission member Jeff Davis moved to recommend approval of O2025-10 providing setback and height standards for pool-related structures as proposed with the following changes:

1. Deletion of storage structures for pool equipment.

Greg Butterfield seconded the motion. There were 6 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Michelle Schirmer
Troy Slade
Jeff Davis
Susan Whittenburg
Alan Macdonald
Greg Butterfield

Nays:

Excused

John MacKay

C. Public Hearing: Proposed Code Amendment to Sections 3.02.090, 3.03.100, 3.04.100, 3.05.100, 3.07.080 Amending standards for Helicopters.

Ryan Robinson said Alpine City currently does not allow heliports (*An area on land or upon a building or structure set aside and used for the landing or takeoff of helicopters or other manned rotary wing aircrafts capable of vertical takeoff or landing*) within city limits. The Proposed code amendments further clarify the landing or taking off of helicopters except by first responders is prohibited so there is no confusion regarding helicopters taking off or landing within city limits.

Ryan Robinson said we have had more and more requests for people to drop people off and pick people up. Our ordinance is a gray area because it says you can't have a heliport but does not say you can land and take off on private property.

Ryan Robinson said there are some areas that would be okay to land a helicopter, but other places that would not work.

Alan Macdonald asked why we don't want to allow this if there was enough room to do so. He said he could see a carve out for a permitted use. Ryan Robinson said we could take a look at allowing a certain size property, not landing in certain neighborhoods, etc.

Susan Whittenburg said helicopters are landing and taking off in Alpine and they are very noisy. Alan Macdonald said we may need a fine if people aren't following the ordinance.

Alan Macdonald opened the Public Hearing. There were no comments, and Alan Macdonald closed the Public Hearing.

Jeff Davis said West Jordan requires a conditional use permit and you have to be 1000 feet away from a residential building, there are time and setback requirements. He said maybe people could come in for a conditional use permit.

Susan Whittenburg said helicopter use so far has been for emergency use and she said that should take precedence. Ryan Robinson said this wouldn't apply to first responders or emergency flights. He said requests are for weddings, or people just wanting a ride in or out of Alpine.

MOTION: Planning Commission member Greg Butterfield moved to recommend approval of Ordinance 2025-11 the proposed code amendment regulating helicopter takeoff or landing within city limits.

Michelle Schirmer seconded the motion. There were 6 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Michelle Schirmer
Troy Slade
Alan Macdonald
Jeff Davis
Susan Whittenburg
Greg Butterfield

Nays:

Excused

John MacKay

IV. COMMUNICATIONS

None

V. APPROVAL OF PLANNING COMMISSION MINUTES: June 3, 2025

MOTION: Planning Commissioner Susan Whittenburg moved to approve the minutes for June 3, 2025, as written.

Troy Slade seconded the motion. There were 6 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Michelle Schirmer
Troy Slade

Nays:

Excused:

John MacKay

1 Alan Macdonald
2 Jeff Davis
3 Susan Whittenburg
4 Greg Butterfield
5

6 **MOTION:** Planning Commissioner Susan Whittenburg moved to adjourn the meeting.
7

8 Jeff Davis seconded the motion. There were 6 Ayes and 0 Nays (recorded below). The motion passed.
9

10 **Ayes:**

11 Michelle Schirmer
12 Troy Slade
13 Alan Macdonald
14 Jeff Davis
15 Susan Whittenburg
16 Greg Butterfield
17

Nays:

Excused

John MacKay

18 The meeting was adjourned at 6:52 p.m.