



## FARR WEST CITY COUNCIL AGENDA

July 17, 2025 at 6:30 p.m.  
City Council Chambers  
1896 North 1800 West  
Farr West, UT 84404

Notice is hereby given that the City Council of Farr West City will hold its regular meeting at 6:30 p.m. on Thursday, July 17, 2025 at the Farr West City Hall, 1896 North 1800 West, Farr West

Call to Order – Mayor Ken Phippen

1. Opening Ceremony
  - a. Opening Prayer
  - b. Pledge of Allegiance
2. Comments/Reports
  - a. Public Comments (*2 minutes*)
  - b. Report from the Planning Commission
  - c. Report on Central Weber Sewer Improvement District Truth in Taxation – Bob Blind
3. Consent Items
  - a. Assignments and directions for Planning Commission
  - b. Consider approval of minutes dated June 19, 2025
  - c. Consider approval of bills dated July 16, 2025
4. Business Items
  - a. Consider approval of business license – Andy’s Energy LLC – *Andrew & Heidi Lythgoe*  
Clean Cans Utah LLC (Solicitor) – *Braden Kohli*
  - b. Consider approval of the Comcast Cable Television Franchise Agreement
  - c. Public hearing to consider the request to vacate a public utility easement for Kaylon Layne located at 2449 West 2425 North – *Kaylon Layne*
  - d. Consideration of the request to vacate a public utility easement for Kaylon Layne located at 2449 West 2425 North – *Kaylon Layne*
  - e. Consideration of the Camden Dale Holdings Commercial Site Plan located at 1309 North 1200 West – *Caleb Stoker*
  - f. Consider approval of the Farr West Landing Commercial Subdivision Preliminary Plat located along 1900 West between 2775 North and 2725 North – *Woodsonia Real Estate*
  - g. Public hearing to consider incorporating a Transportation Utility Fee (TUF) in Farr West City
5. Mayor/Council Follow-up
  - a. Report on Assignments
6. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on July 11, 2025.

Lindsay Afuvai  
Recorder

# Memo

**To:** Board of Trustees  
**From:** Kevin Hall & Camille Cook  
**Date:** June 30, 2025  
**Subject:** Legislative Reporting Criteria

On June 23, 2025, the Central Weber Sewer Improvement District Board of Trustees declared an intent to increase property tax above the certified rate. During this discussion, a request was made of Trustees to report this in a public meeting. This report is intended to comply with a recent addition to Utah Code (17B-1-1003). The notice attached to this memo contains the required elements of this report.

## Supporting Information

The District treats wastewater from 16 municipal entities, which collectively produced 32.93 million gallons per day (32.93 MGD) in calendar year 2024. There are 4 comparable District's along the Wasatch Front with a similar scope of responsibility. The District seeks to convey and treat wastewater from member entities in a cost efficient manner. The District has lower than average operating expenses when compared to these peer facilities.

The District went through the truth in taxation process in 2023 and 2024 to increase the property tax rate. Prior to 2023, due to increased property valuations, the District had not increased the property tax rate since 2012 and has sought to continue to operate efficiently. At this time, the District must respond to increasing operating expenses due to inflation in the cost of essential operating needs, such as chemicals and utilities used in the treatment process.

## **NOTICE OF PROPOSED TAX INCREASE**

### **Central Weber Sewer Improvement District – Weber County**

The Central Weber Sewer Improvement District (Weber County) is proposing to increase its property tax revenue.

The Central Weber Sewer Improvement District (Weber County) tax on a \$483,000 residence would increase from \$143.45 to \$156.73, which is \$13.28 per year.

The Central Weber Sewer Improvement District (Weber County) tax on a \$483,000 business would increase from \$260.82 to \$284.97, which is \$24.15 per year.

If the proposed budget is approved, Central Weber Sewer Improvement District (Weber County) would receive an additional \$1,308,368 in property tax revenue per year as a result of the tax increase. If the proposed budget is approved, Central Weber Sewer Improvement District (Weber County) would increase its property tax budgeted revenue by 9.14% above last year's property tax budgeted revenue excluding eligible new growth.

The Central Weber Sewer Improvement District (Weber County) invites all concerned citizens to a public hearing for the purpose of hearing comments regarding the proposed tax increase and to explain the reasons for the proposed tax increase. You have the option to attend or participate in the public hearing in person or online.

### **PUBLIC HEARING**

Date/Time: 08/18/2025 at 6:00 p.m.

Location: CWSID Administration Building, District Office

2618 W. Pioneer Road

Marriott-Slaterville, Utah

Virtual Meeting Link: <https://us06web.zoom.us/j/85259284010>

To obtain more information regarding the tax increase, citizens may contact Central Weber Sewer Improvement District at 801-731-3011 or visit [www.centralweberut.gov/public-notices](http://www.centralweberut.gov/public-notices).

# Application for Business License



Application date: 6/26/25

Owner Name: Andrew & Heidi Lythgoe

Owner Address

Telephone

Business Name: Andy's Energy LLC DBA: \_\_\_\_\_

Business Address: 1924 N 2000 W City: Farr West State: UT Zip: 84404

Mailing Address: Same City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Business Phone Number: 801-430-1715 Number of employees: 0

Manager Name: \_\_\_\_\_ Contact Phone: \_\_\_\_\_

\*\*If business is commercial or manufacturing/warehousing, please list square footage: \_\_\_\_\_

State Sales Tax ID # \_\_\_\_\_ State License # 84-2699329

If a daycare of preschool, number of own children: \_\_\_\_\_; number of other children: \_\_\_\_\_

Describe your type of business in detail: Construction. Specializing in custom outdoor type buildings & more

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # \_\_\_\_\_ or check if not applicable \_\_\_\_\_

**All new business licenses or change of ownership/tenant are required to undergo a fire inspection from Weber Fire District and a building code compliance inspection from Farr West City Building Department. Please contact Jolene at Weber Fire District at 801-782-3580 to schedule the fire inspection and the city office at 801-731-4187 for the building inspection. Proof of passed inspections must be submitted with the business license application before any approval is given.**

## BUSINESS LICENSE FEE SCHEDULE

### COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

### MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

### OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

### ALCOHOL

Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

\*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? No

Type of License Applying For: Contractor License fee due: 100.00

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature: Heidi Lytngae Date: 6/26/25

For office use only:

Amount paid: \$100- Date paid: 6/26/25 Receipt Number: 9.000003052  
City Council Date: July 17, 2025 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
License number: \_\_\_\_\_ Date issued: \_\_\_\_\_

# Application for Solicitors Business License



Date of Application: 6.9.25

Owner's Name: Braden Kohl

Owner's Address: [REDACTED]

Phone: [REDACTED]

\*\*\*\*\*  
Business Name: Clean Cars Utah LLC DBA: Clean Cars Utah LLC

Business Address: 4139 W 1975 N City: Plain City State: UT Zip: 84404

Mailing Address: 4139 W 1975 N City: Plain City State: UT Zip: 84404

Manager's Name: Braden Kohl Contact Phone: 801-866-3728

State Sales Tax I.D. # 16196476-002-SPC State License # 14554971-0160

\*A BRIEF DESCRIPTION OF THE NATURE OF THE BUSINESS AND THE GOODS TO BE SOLD:

Power washing service

\*A BRIEF DESCRIPTION OF WHERE THE APPLICANT OBTAINS THE GOODS TO BE SOLD:

I use water, cleaning solution, and fuel all purchased from local stores.

\*LENGTH OF TIME IN WHICH APPLICANT DESIRES TO ENGAGE IN BUSINESS WITHIN FARR WEST CITY:

off and on throughout year

\*PLEASE LIST ALL OTHER MUNICIPALITIES IN WHICH YOU HAVE DONE BUSINESS WITHIN THE SIX-MONTH PERIOD PRECEDING THE DATE OF THIS APPLICATION:

Have not started business yet have a few other solicitors applications submitted with neighboring cities

\*Application must also include a current (within 6 months) Bureau of Criminal Identification (BCI) background check for all solicitors, two photographs not larger than two by three inches of each applicant taken within the last twelve months and a corporate surety bond of \$5,000.00 in order to be processed.

# Application for Solicitors Business License



## BUSINESS LICENSE FEE SCHEDULE

### SOLICITOR

LICENSE BOND	LICENSE FEE(s)
\$5,000.00 min (supplied by applicant)	\$100.00/business \$10.00/person

\*All Solicitors must be aware of and comply with Chapter 5.20 of the Farr West City Municipal Code

Number of Solicitors: 1

Total License fee due: \$10:00

I, the Applicant, am aware of and conform to all State and Federal Regulations, as well as the Codes and Ordinances of Farr West City for Business License Regulations (Title 5).

I also understand I need to attend a city council meeting to answer any questions prior to license approval.

Applicant's Signature: [Signature] Date: 6.9.2025

Amount Paid: 10- Date Paid: 7/2/25 Receipt Number: \_\_\_\_\_  
City Council Date: 7/17/25 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
License Number \_\_\_\_\_ Date Issued: \_\_\_\_\_

## CABLE TELEVISION FRANCHISE AGREEMENT

by and between

CITY OF FARR WEST, UTAH

and

COMCAST OF CALIFORNIA/MASSACHUSETTS/MICHIGAN/UTAH, LLC

THIS FRANCHISE AGREEMENT (hereinafter, the "Agreement" or "Franchise Agreement") is made between the City of Farr West (hereinafter, the "City"), a Utah municipal corporation located in Weber County, and Comcast of California/Massachusetts/Michigan/Utah, LLC (hereinafter, "Grantee"). This agreement shall be effective when fully executed by both parties (the "Effective Date").

The City, having determined that the financial, legal and technical abilities of the Grantee are reasonably sufficient to provide the services, facilities, and equipment necessary to meet the future cable-related needs of the City, desires to enter into this Franchise Agreement with the Grantee and grant a nonexclusive franchise for the construction, operation and maintenance of a cable system on the terms and conditions set forth herein.

This Agreement is entered into by and between the parties under the authority and shall be governed by the Cable Communications Policy Act of 1984, as amended from time to time, 47 U.S.C. Sections 521 *et seq.* (the "Cable Act"), Utah state law, and applicable local ordinances, as amended from time to time.

### Article I – Nonexclusive Franchise Hereby Granted

a. The City hereby agrees to permit the Grantee to construct, operate and maintain a cable system in the City, subject to the terms and provisions of the City's generally applicable ordinances governing the streets and rights of way of the City.

b. The City hereby agrees that, provided the Grantee is in compliance with all generally applicable City codes and ordinances, this Franchise Agreement shall be effective for a period of five (5) years from and after the Effective Date.

### Article II – Operations within the City's Rights of Way

a. The Grantee hereby agrees to occupy the rights of way in accordance with the terms and provisions of Utah state law and the City's generally applicable ordinances governing the streets and rights of way of the City.

b. The Grantee shall be responsible for obtaining, at its own cost and expense, all generally applicable permits, licenses, or other forms of approval or authorization necessary to construct, operate, maintain or repair Grantee's cable system, or any part thereof, prior to the commencement of any such activity. Construction, installation, and maintenance of Grantee's cable system shall be performed in a safe, thorough and reliable manner using materials of good and durable quality. All transmission and distribution structures, poles, other lines, and equipment installed by the Grantee for use in Grantee's cable system in accordance with the terms and conditions of this Franchise Agreement shall be located so as to minimize the interference with the proper use of the Public Ways and the rights and reasonable convenience of property owners who own property that adjoins

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any such Public Way. Prior to performing installation, maintenance, repair, removal, or other work within public utility easements, the Grantee will provide reasonable notice to the affected property owners. The notice shall contain (a) company contact information, (b) the date, time, and estimated duration of the work, and (c) a general description of the location and type of work.

a. In accordance with applicable law, City shall have the right to, on reasonable prior written notice and in the presence of Grantee's employee, periodically inspect the construction and maintenance of Grantee's cable system as necessary to monitor Grantee's compliance with the provisions of this Franchise Agreement

c. .

d. b. The Grantee shall at all times maintain insurance and shall provide the City with certificates of insurance in accordance with local right-of-way requirements, as currently in effect and as may be subsequently amended. Said certificates of insurance shall name the City and its elected and appointed officers, officials, agents and employees as additional insureds.

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### **Article III – Franchise Fee**

a. The Grantee shall pay a franchise fee to the City for the privilege of operating in the City's rights of way in a manner consistent with the provisions of the Cable Act, as now in effect and as may be subsequently amended from time to time. The franchise fee shall be in an amount equal to five percent (5%) of annual gross revenues received from the operation of the cable system to provide cable service in the City, and shall be made on a quarterly basis, and shall be due forty-five (45) days after the close of each calendar quarter. If mailed, the Franchise Fee shall be considered paid on the date it is postmarked. The City hereby agrees that the total franchise fee, as interpreted under the Cable Act, shall not exceed the greater of the percentage of fees any other video service provider, under state authorization or otherwise, providing service in the Franchise Area pays to the City.

b. As used in this agreement, gross revenue means the cable service revenue derived by the Grantee from the operation of the cable system in the City's rights of way to provide cable services, calculated in accordance with Generally Accepted Accounting Principles. Gross revenues shall also include such revenue sources from the provision of cable service as may now exist or hereafter develop from or in connection with the operation of the cable system within the City, provided that such revenues, fees, receipts, or charges may lawfully be included in the gross revenue base for purposes of computing the City's permissible franchise fee under the Cable Act, as may be amended from time to time.

c. Within three years of a franchise fee payment, the City may conduct an audit of the franchise fee payment. Any audit shall be conducted in accordance with generally applicable auditing standards.

### **Article IV – Cable Communications Policy Act of 1984**

Nothing in this Agreement shall be construed to limit, in any way, the Grantee's rights or responsibilities under the Cable Communication Policy Act of 1984, as amended and the renewal of this Agreement shall be governed by that Act.

### **Article V – Customer Service Standards**

**Customer Service Obligations.** The City and Grantee acknowledge that the customer service standards and customer privacy protections are set forth in the Cable Communication Policy Act of 1984 and associated Federal Communications Commissions rules thereunder, as amended from time to time. Enforcement of such requirements and standards and the penalties for non-compliance with such standards shall be consistent with that Act.

**IN WITNESS WHEREOF,** this Franchise Agreement has been executed by the duly authorized representatives of the parties as set forth below, as of the date set forth below:

CITY OF FARR WEST, UTAH:

COMCAST OF CALIFORNIA/MASSA-  
CHUSETTS/MICHIGAN/UTAH, LLC:

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

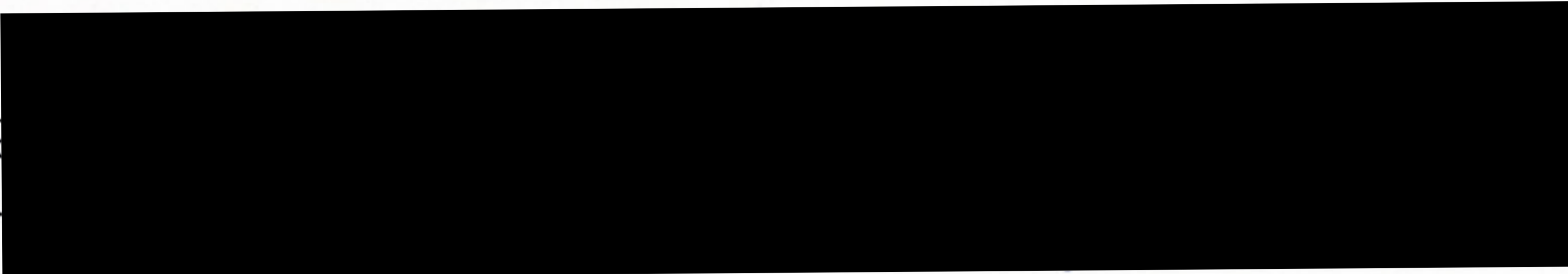
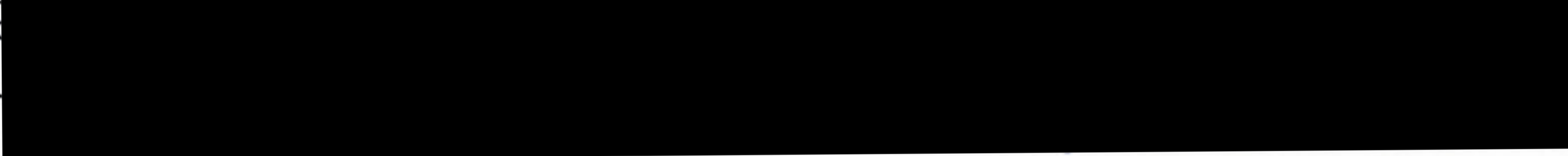
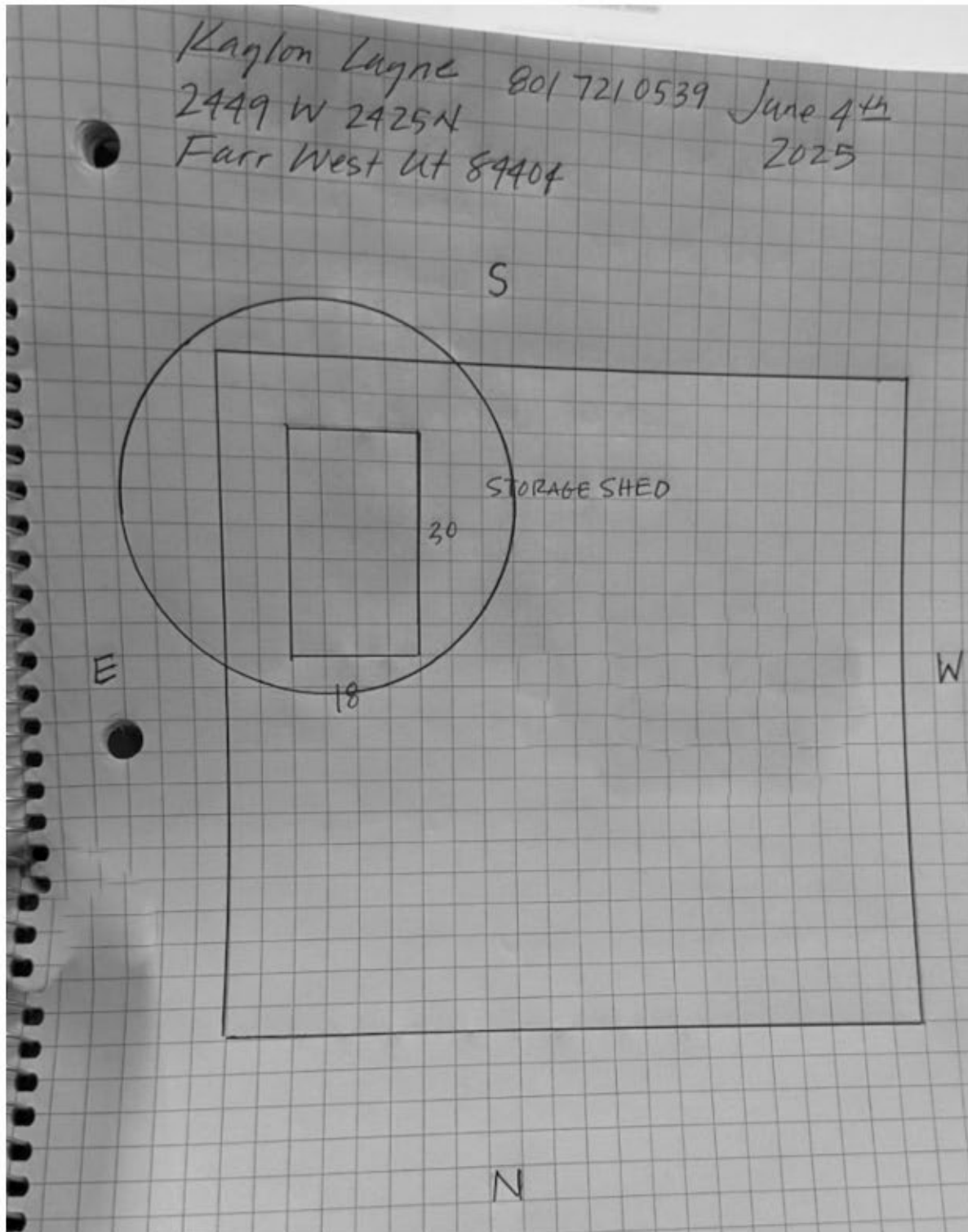
APPLICATION		
Date Submitted: 6/24/25	Fees (office use)	
Type of Vacation or Modification Request: <input checked="" type="checkbox"/> Easement <input type="checkbox"/> Road <input type="checkbox"/> Subdivision <input type="checkbox"/> Subdivision Lot		
APPLICANT CONTACT INFORMATION		
Name of Applicant: Kaylon Layne		
Mailing Address: 		
Phone: 		
PROPERTY INFORMATION		
Property Address 2449 W 2425 N	Land Serial Number	
Subdivision Name: Hales Estate 3	Lot Number	
Description of Project or Requested Action:		
Included Documents: <input type="checkbox"/> Petition <input checked="" type="checkbox"/> Approval Letters <input type="checkbox"/> Amended Plat		
Signature of Applicant: Kaylon Layne		Date 6/24/25

EXHIBIT A



# Application for Site Plan Approval



1896 North 1800 West  
Farr West, UT 84404  
Phone – (801)731-4187  
Fax – (801) 731-7732

Date Submitted: 6/13/25

Applicant Name: Caleb Stoker Applicant Address: [REDACTED]

Phone: [REDACTED]

Business Name: Camden Dale Holdings, LLC Application Number:                     

Business Address: 1296 W 1100 N Farr West Phone: 801.941.4855

Address and description of site being considered: 1309 N 1200 W Existing vacant lot between horse ranch and Enbridge gas station .

Tax ID number of site being considered: 158400001

Current zoning of site: C-2

## FEE SCHEDULE

**Application: \$100.00 Engineering Deposit: \$1,000.00**

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- ☒ All proposed new development except single-family detached residences.
- ☐ All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- ☐ Issuance of a conditional use permit for new construction.
- ☐ New signs
- ☐ Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- ☐ All plans for earth sheltered dwellings.

**The following information is required for site plan approval (check box next to all items submitted with application):**

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- ☐ A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, **and** in an electronic PDF format.
- ☐ Lot dimensions and orientations: North arrow, etc.
- ☐ Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- ☐ Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- ☐ Indication of proposed use of buildings.
- ☐ All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- ☐ Height of all existing and proposed walls and fences and type of construction.
- ☐ Location and type of landscaping.
- ☐ All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- ☐ All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- ☐ Location, type, lighting and size of proposed and existing signs.
- ☐ Location, type and size of proposed and existing light poles.
- ☐ A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- ☐ One copy of a current county ownership plat showing the property and adjacent properties.
- ☐ Approval letter from Weber Fire District (801-782-3580).
- ☐ Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

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**Answer the following questions as applicable:** (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? We would like to have tradesman  
shops. Already have a conditional use permit from last year for this on the property.

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2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

1200 W main road to the freeway. We feel the use/landscaping will make the property more appealing to

traffic. Lot has been weeds for many years and this will help with that. Traffic count should not change greatly due to the nature of the businesses.

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**Signature of Applicant:**

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. **All** property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.

Caleb Stoker

Owner Signature

Caleb Stoker

Print Name

Holly Stoker

Owner Signature

Holly Stoker

Print Name

I/We authorize \_\_\_\_\_ to act as my/our agent in all matters relating to this application.  
(Print name)

Owner Signature

Print Name

Owner Signature

Print Name

Authorized Agent Signature

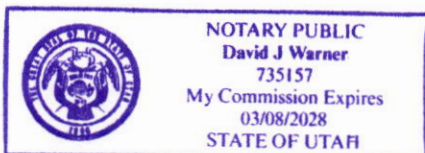
Signature of City Recorder/Clerk  
(Not Required if Notarized)

State of Utah )

§

Count of Weber

On this 12 day of June, in the year 2025, before me David J Warner,  
a notary public, personally appeared Caleb Stoker and Holly Stoker, proved  
on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,  
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



David J Warner  
NOTARY PUBLIC

- PART OF THE SE.1/4, OF SECTION 1, T.6N., R.2W., S.L.B. & M.

840

# FARR WEST STATION SUBDIVISION

IN FARR WEST CITY

TAXING UNIT: 145

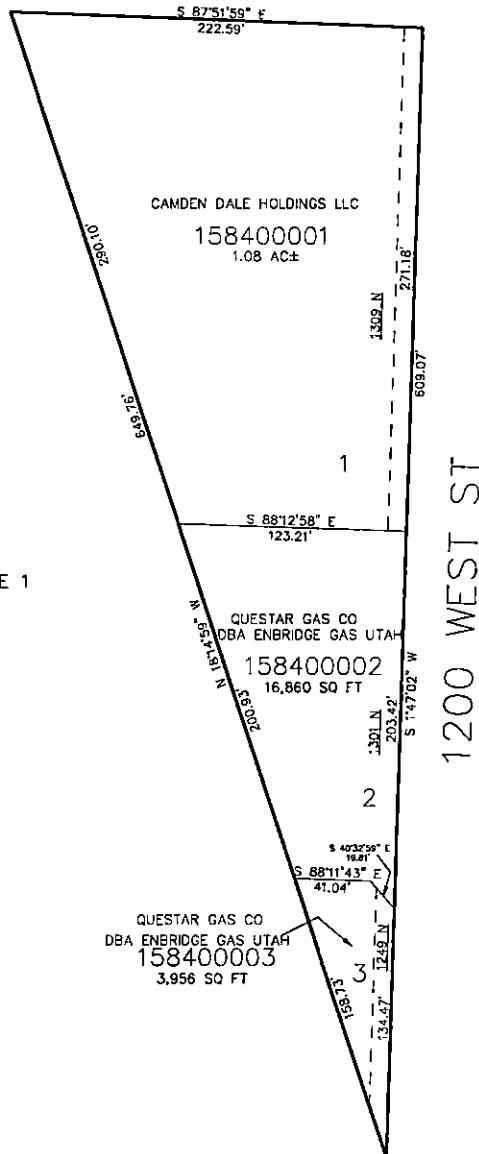
SCALE 1" = 50'

SEE PAGE 1

SEE PAGE 1

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10' UTILITY & DRAINAGE EASEMENTS EACH  
SIDE OF PROPERTY LINES AS INDICATED  
BY DASHED LINES EXCEPT AS OTHERWISE  
SHOWN.

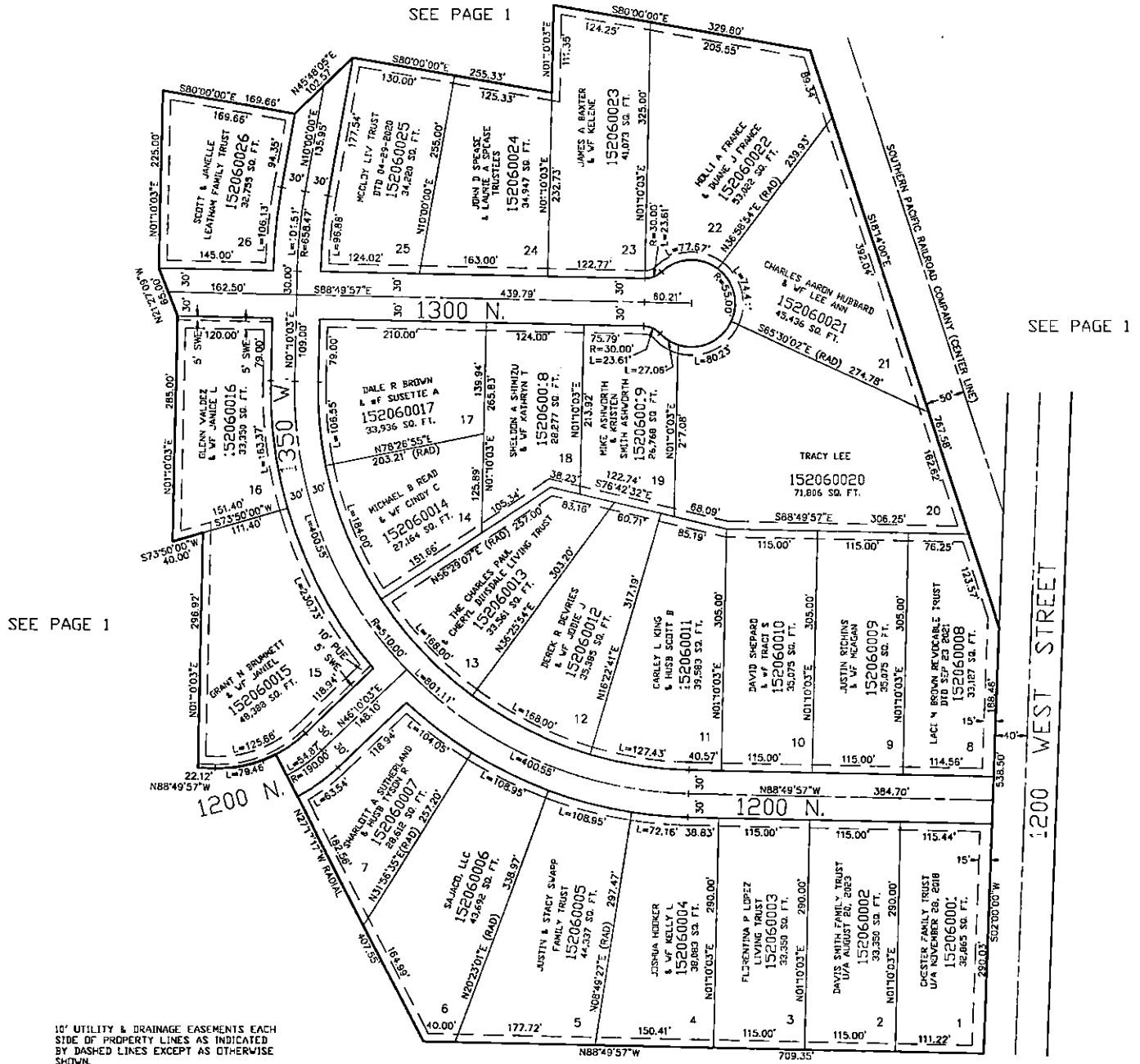
FOR COMPLETE SURVEY DATA SEE  
ORIGINAL DEDICATION PLAT IN  
BOOK 97, PAGE 69 OF RECORDS.

PART OF THE SOUTH 1/2 OF SEC. 1, T.6N., R.2W., S.L.B. & M.  
MOUNTAIN VIEW SUBDIVISION PHASE 1

206

TAXING UNIT: 145

IN FARR WEST CITY  
SCALE 1" = 100'



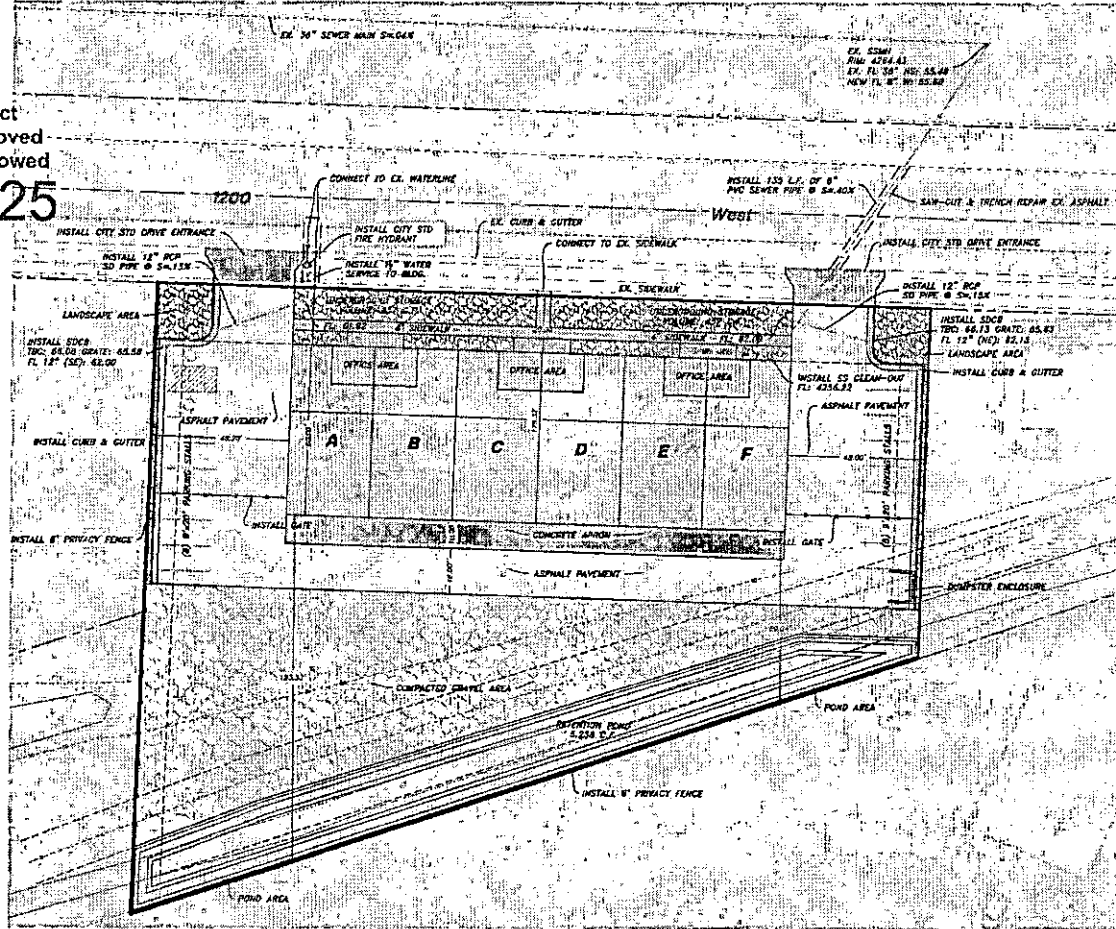
10' UTILITY & DRAINAGE EASEMENTS EACH SIDE OF PROPERTY LINES AS INDICATED BY DASHED LINES EXCEPT AS OTHERWISE SHOWN.

FOR COMPLETE ENG DATA SEE ORIGINAL DEDICATION PLAT IN BOOK 42, PAGE 10 OF RECORDS.

SEE PAGE 1

\*FOR TAX PURPOSES ONLY\*

05/27/2025




















### PROJECT DATA

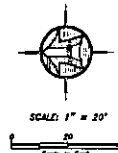
PROJECT ZONING:	C-2
TOTAL PROJECT AREA:	48,872 S.F.
TOTAL LANDSCAPE AREA:	11,363 S.F.
{10% REQUIRED LANDSCAPE}	{24.8%}
OFFICE BUILDING FOOTPRINT AREA:	1,200 S.F.
MECHANIC SHOP FOOTPRINT AREA:	9,300 S.F.
OTHER IMPERVIOUS AREAS:	18,603 S.F.
OTHER PERVIOUS SURFACES (PERCENT %)	

### **ZONE C-2 REQUIREMENTS**

MINIMUM LOT SIZE .....	#### S.F.
CORNER LOT SIZE .....	#### S.F.
MIN. LOT WIDTH @ 30' SETBACK ....	###'
FRONT SETBACK .....	20'
SIDE YARD SETBACK FACING STREET .....	20'
SIDE YARD SETBACK .....	10'
TOTAL OF BOTH SIDE YARDS .....	20'
REAR SETBACK .....	10'
TOTAL LANDSCAPING .....	10%

LEGEND:

-----	SUBSTATION BOUNDARY		CUSTOMER STORM DRAIN INLET
-----	PROPOSED PROPERTY LINE		CUSTOMER BASE WATER
-----	CUSTOMER PROPERTY LINE		CUSTOMER STORM DRAIN
-----	CUSTOMER SERVICE LINE		CUSTOMER LIGHT POLE
-----	CUSTOMER WATER LINE		PROPOSED STORM MANHOLE
-----	CUSTOMER SECONDARY WATER LINE		PROPOSED STORM DRAIN MANHOLE
-----	CUSTOMER STORM DRAIN		PROPOSED STORM DRAIN INLET
-----	PROPOSED SERVICE LINE		PROPOSED BASE WATER
-----	PROPOSED WATER LINE		PROPOSED STORM DRAIN
-----	PROPOSED SECONDARY WATER LINE		PROPOSED STORM DRAIN INLET
-----	PROPOSED STORM DRAIN		PROPOSED STORM DRAIN
-----	PROPOSED STORM DRAIN PUMP		PROPOSED STORM DRAIN
-----	EXISTING 1" CONDUIT		PROPOSED STORM DRAIN
-----	EXISTING 2" CONDUIT		PROPOSED STORM DRAIN
-----	EXISTING 3" CONDUIT		PROPOSED STORM DRAIN
-----	EXISTING SERVICE MANHOLE		PROPOSED STORM DRAIN
-----	CUSTOMER STORM DRAIN MANHOLE		PROPOSED STORM DRAIN



NOTICE

**Call BEFORE YOU Dig**

1-800-682-4111

### Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans are included in available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measures to protect any utility lines shown, and any other lines established by the contractors research, and others not of record or not shown on these plans.

**CAMDEN DALE HOLDINGS**  
SITE & UTILITY PLAN FOR  
1500 North 1200 West

2  
of  
4



June 12, 2025

New Development  
1309 N 1200 W  
Farr West, UT

Dear Developer:

*Re: Natural Gas Service Availability Letter*

Natural gas can be made available to serve the New Development when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules and/or buildings that will be served by natural gas, and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, homes, building).
2. Review by Enbridge Gas' Engineering and/or Pre-Construction Department to determine load requirements. System reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Enbridge Gas' review of the development's natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Sincerely,

Cody Randall  
Pre-Construction Representative



## *Bona Vista Water Improvement District*

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

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5/19/2025

Farr West Planning Commission  
1896 North 1800 West  
Farr West, UT 84404

RE: **AVAILABILITY LETTER** – Camden Dale Holdings

The development is located at 1309 N 1200 W, approximately and consists of 1 lots.

This letter is **ONLY** to state that the above-named project is in the boundaries of the Bona Vista Water Improvement District but water will **ONLY** be available under the following conditions:

- The property is annexed into the District, if necessary.
- Review fees and fire line fees are paid to the District.
- The utility plan, including profiles (line elevations) be reviewed and approved by the District.
- Proof of Secondary Water is provided to the District.

The plan review fee for commercial properties is \$1,000 plus \$300 per acre and includes running one fire flow model. Fire line fees are based on line sizing and are \$100 per line inch. We consider this fee to be minimal and is only to cover the cost of review by the District and the District Engineer. If additional models are requested, supplementary fees will be required. Only the phase in consideration is guaranteed service, and the Plan Review is good only for a period of one year from the date of the Will Serve letter, if not constructed.

Furthermore, the District's responsibility is to provide flow and pressure to the development. The Developer and his Engineer are then responsible to provide proper flow and pressure throughout the development. This may require some over-sizing within the Development, as determined by the District.

This letter is the first of two letters that will be issued for this development. Following the acceptance of the above conditions the District will issue the "Will Serve" letter.

This development must have a secondary water system for all outside irrigation usage. Prior to the District accepting fees for individual connections, the owner or developer must furnish proof of secondary water.

If you have any questions, please feel free to call me. I can be reached at 801-621-0474 ext. 202, Monday through Friday, 8am – 4pm.

Sincerely,

Kenny Hefflefinger,  
Assistant Manager

---

Board of Directors  
Ronald Stratford – Chairman – Univ. Weber County  
Ken Phippen – Vice Chairman – Farr West  
Scott Van Leeuwen – Marriott/Staterville  
Jon Beesley – Plain City  
Michelle Tait, - Harrisville

Management  
Matt Fox, Manager  
Marc Doolan, Administrative Manager

May 27, 2025

Caleb Stroker  
[calebstroker@msn.com](mailto:calebstroker@msn.com)  
Work Request #7421314

Dear Caleb Stroker:

Rocky Mountain Power will supply power to a site located at or near 1309 N 1200 W Farr West, Weber County, Utah.

- Applicant will apply for power by calling 1-888-221-7070.
- Applicant or Developer will supply a signed, approved recorded property plat map with lot numbers, addresses, and section corners identified if applicable.
- Residential and Commercial Developer will supply an electronic copy of the subdivision by e-mail, (Auto-cad version 2011), to the estimator assigned to the project.
- Residential Subdivision Developer will pay all costs which are non-refundable above the \$750.00 per lot allowance according to line extension tariff, regulation 12.
- All single lot applicants will be subject to the line extension rules and regulation 12.
- Applicant is responsible to sign a contract after job is approved by Rocky Mountain Power management and pay any associated costs before work can be scheduled or materials ordered.
- Rocky Mountain Power engineering review may be required and may be subject to additional charges according to our filed line extension tariff, regulation 12.

If you have any questions regarding these provisions, please feel free to call me at 801-629-4224.

Respectfully,

Calvin Olson  
Estimator  
Rocky Mountain Power



## Central Weber Sewer Improvement District

June 12, 2025

Nate Carver  
1896 North 1800 West  
Farr West, UT 84404

SUBJECT: Camden Dale Holdings  
Sanitary Sewer Service  
Will Serve Letter

Felix:

We have reviewed the request of Caleb Stoker to provide sanitary sewer treatment services to Camden Dale Holdings, a commercial Property of 10,500 sq. ft. Tradesman shops located at approximately 1309 N. 1200 W. Farr West We offer the following comments regarding Central Weber Sewer Improvement District (the district') providing sanitary sewer service.

1. At this time, the district has the capacity to treat the sanitary sewer flow from this subdivision. Inasmuch as the system demand continuously changes with growth, this assessment is valid for three (3) years from the date issued on this letter.
2. If any connection is made directly into the district's facilities the connection must be constructed in accordance with District standards and must be inspected by the district while the work is being done. A minimum of 48-hour notice for inspection shall be given to the district prior to any work associated with the connection.
3. Central Weber Sewer Improvement District is a wholesale wastewater treatment provider to Farr West. The connection to the sewer system must be through a retail provider, which we understand to be Farr West. The district will not take responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that will be installed to serve this subdivision.
4. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. The District's Wastewater Control Rules and Regulations state:



## Central Weber Sewer Improvement District

*Prohibited Discharge into Sanitary Sewer. No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.*

5. The entire parcel of property to be served must be annexed into the Central Weber Sewer Improvement District prior to any sewer service connection or connection to the district's facilities. This annexation must be complete before the sale of any lots in the subdivision. Annexation into the District is permitted by the District's Board of Trustees. This will serve letter is a statement of available capacity and does not guarantee board approval of annexation.
6. Impact fees must be paid no later than the issuance of any building permits.

If you have any further questions or need additional information, please let us know.

Sincerely,

Clayton Marriott  
Digitally signed by Clayton Marriott  
DN: cn=US, o=Central Weber Sewer  
Improvement District, ou=Central  
Weber Sewer Improvement District, cn=Clayton  
Marriott  
Reason: I am the author of this  
document  
Date: 2025.06.12 13:28:41 -0500

Clay Marriott

Project Manager

CC: Chad Meyerhoffer, Weber County  
Kevin Hall, Central Weber Sewer  
Paige Spencer  
Caleb Stoker

# MEMORANDUM

TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.  
City Engineer

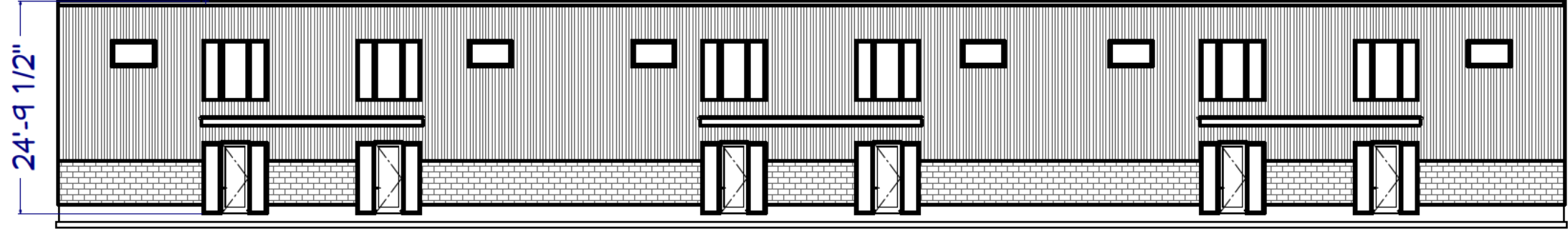
RE: **CAMDEN DALE HOLDINGS COMMERCIAL SITE (1309 NORTH 1200 WEST)**  
Site Plan Review

Date: July 7, 2025

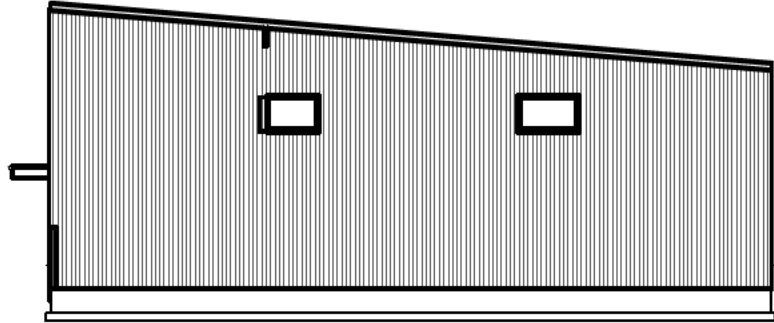
Our office has completed a review of the drawings for the referenced site plan. The proposed development includes the construction of a new building to provide tradesman shops and has previously received approval of a conditional use permit for the use. We recommend approval of the site plan if the following items are completely addressed prior to beginning construction:

1. Provide a grading plan with the existing and proposed elevations shown on the plan, including the finish floor elevation of the new building.
2. Show more detail on the proposed underground storage and the retention pond and provide stormwater calculations per section 15.25 of the city code.
3. A landscape plan was submitted but the plans do not show a secondary water lateral. Show the secondary water lateral and obtain approval from Pineview Water for the connection.
4. Obtain final approval of the plans from Bona Vista Water.
5. Complete a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent with the State.
6. A Long-Term Stormwater Management Agreement will need to be signed and recorded on the property to ensure that the private, on-site stormwater system is maintained and to give the City permission to inspect the system.
7. A pre-construction conference with the Developer and their Contractor should be held with the City and utility providers prior to beginning any construction.

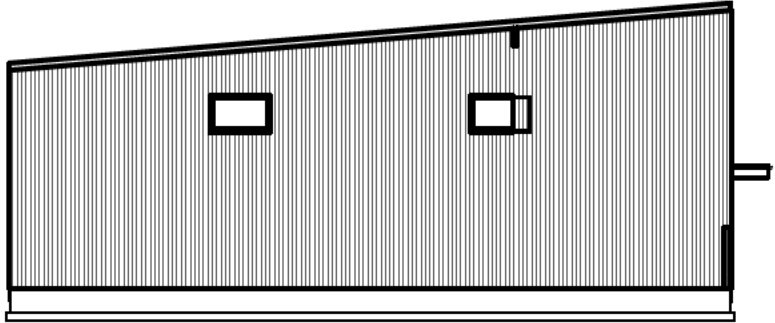
Please let me know if there are any questions.



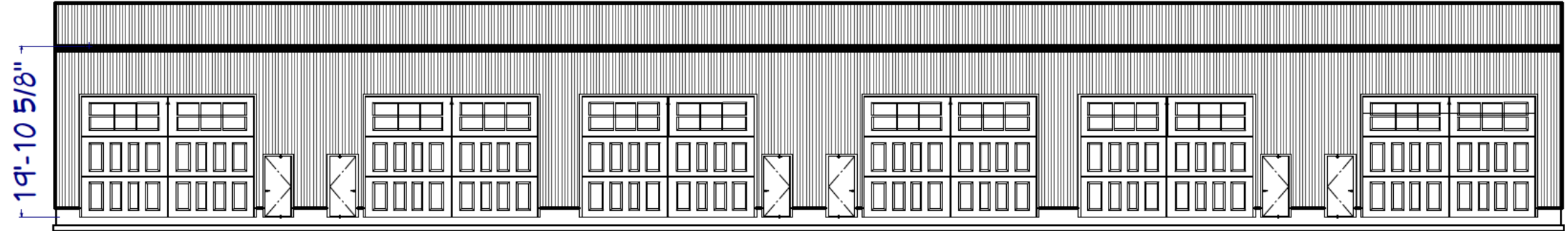
Front



North



South



Rear

Scale 1/16"=1'

Contractor/Designer



1296 W 1100 N  
Farr West, UT 84404  
(801) 941-4855

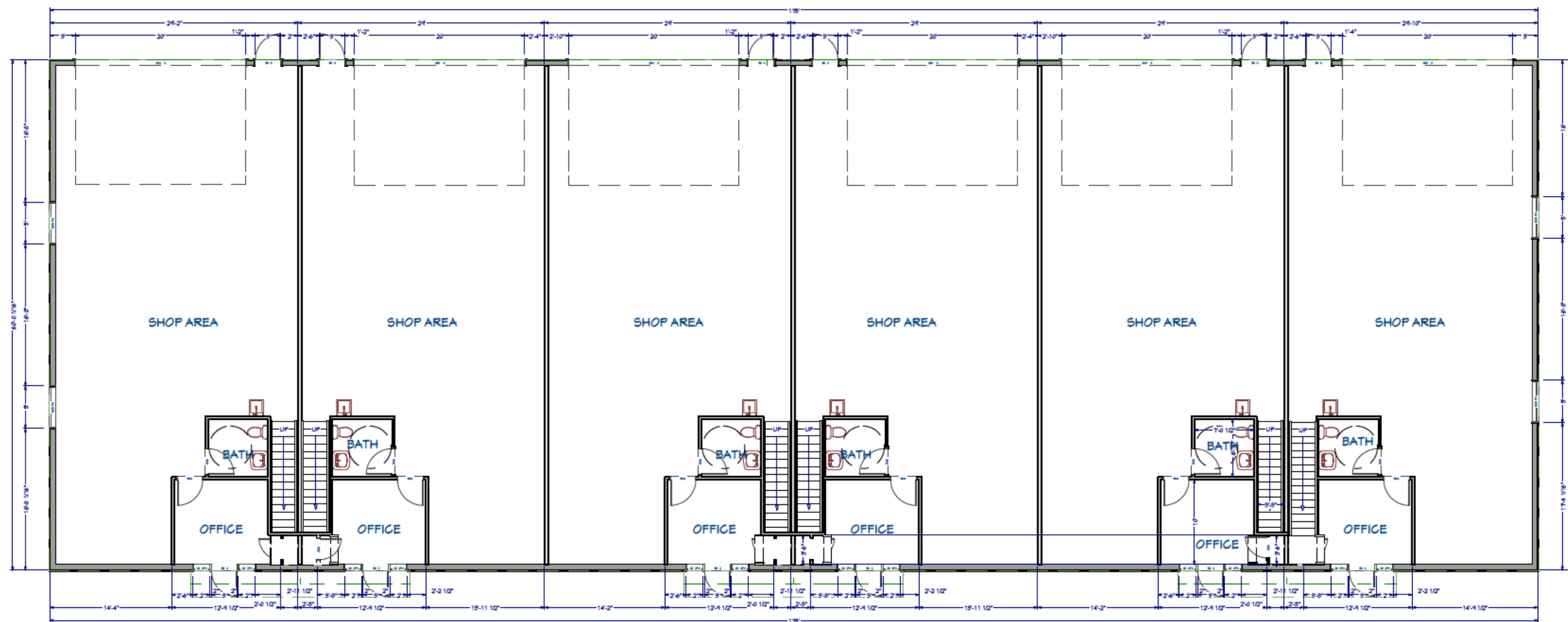
Camden Dale Holdings  
1309 N 1200 W  
Farr West, UT 84404

Date

6/11/25

Page

1



1st Floor

Scale 1/16"=1'

Contractor/Designer



1296 W 1100 N  
Farr West, UT 84404  
(801) 941-4855

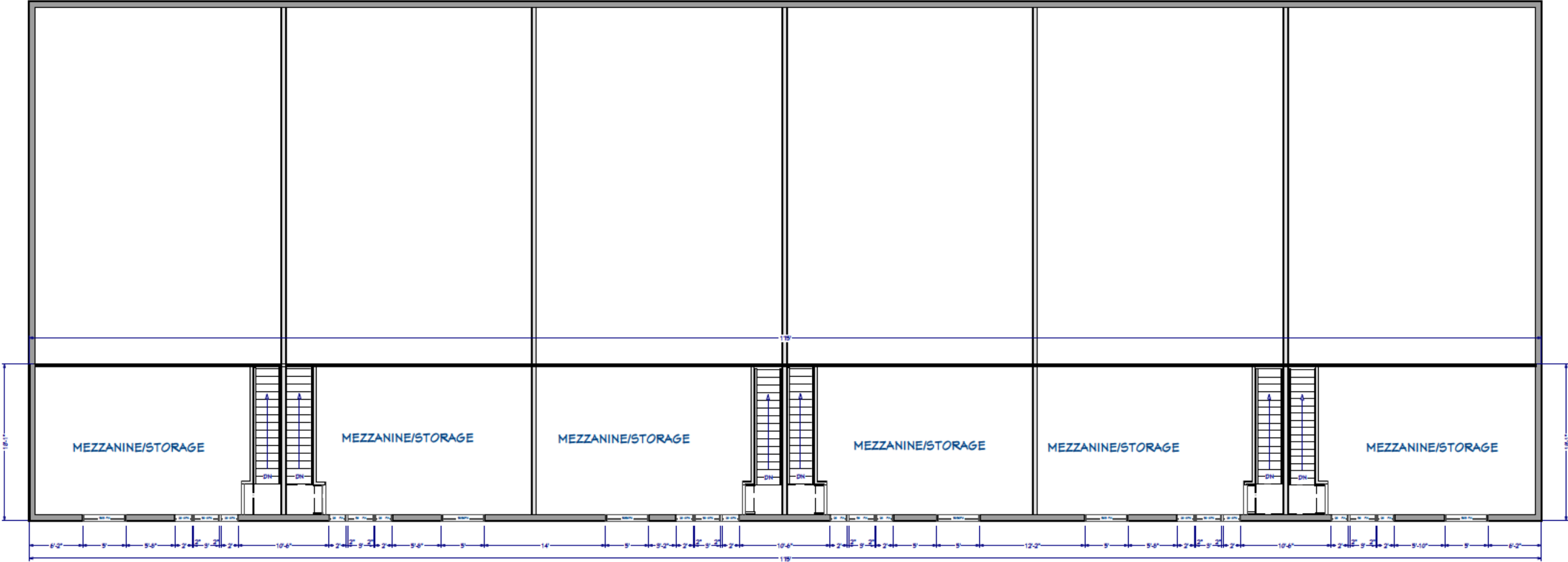
Camden Dale Holdings  
1309 N 1200 W  
Farr West, UT 84404

Date

6/11/25

Page

2



Mezzanine

Scale 1/16"=1'

Contractor/Designer



1296 W 1100 N  
Farr West, UT 84404  
(801) 941-4855

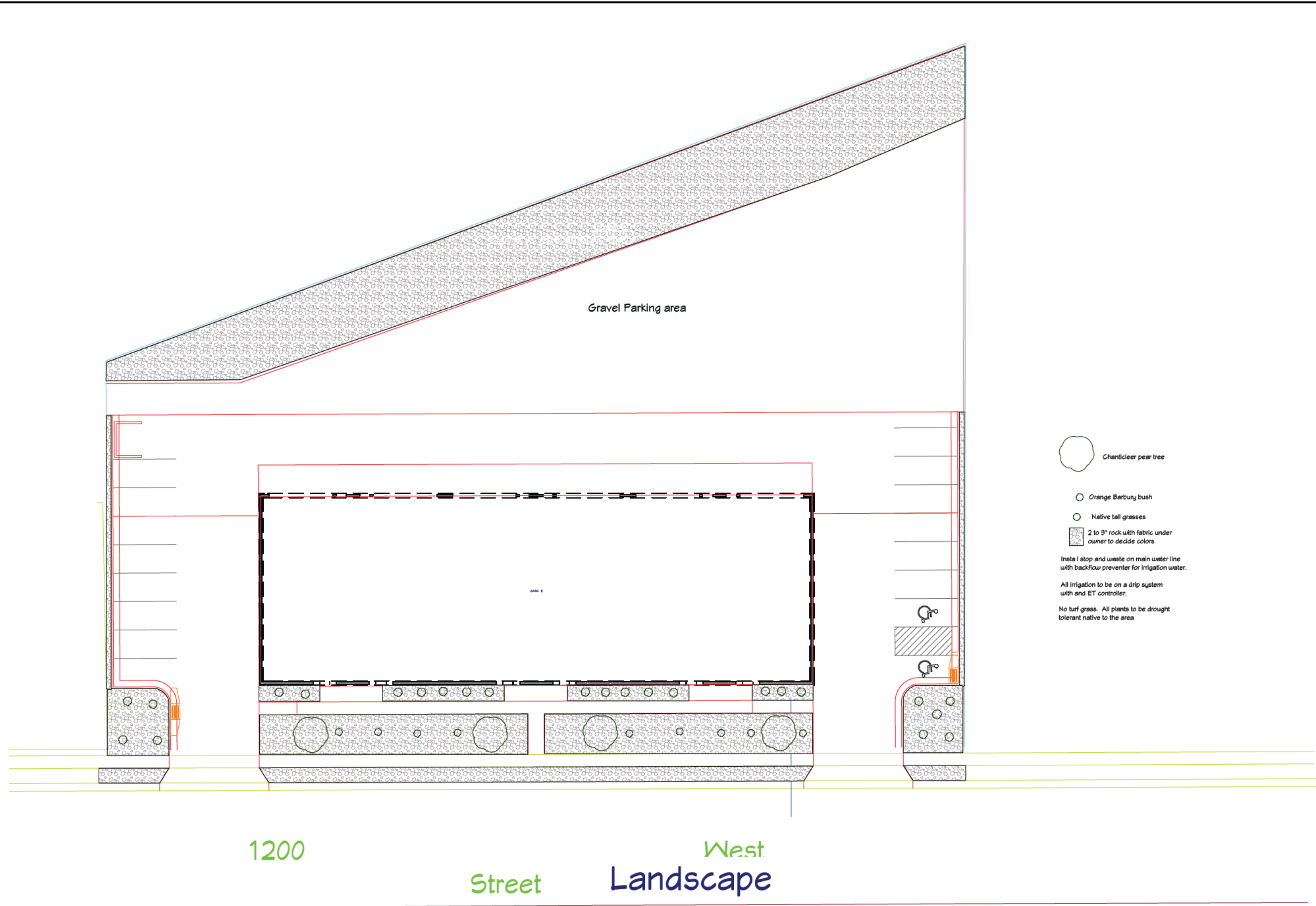
Camden Dale Holdings  
1309 N 1200 W  
Farr West, UT 84404

Date

6/11/25

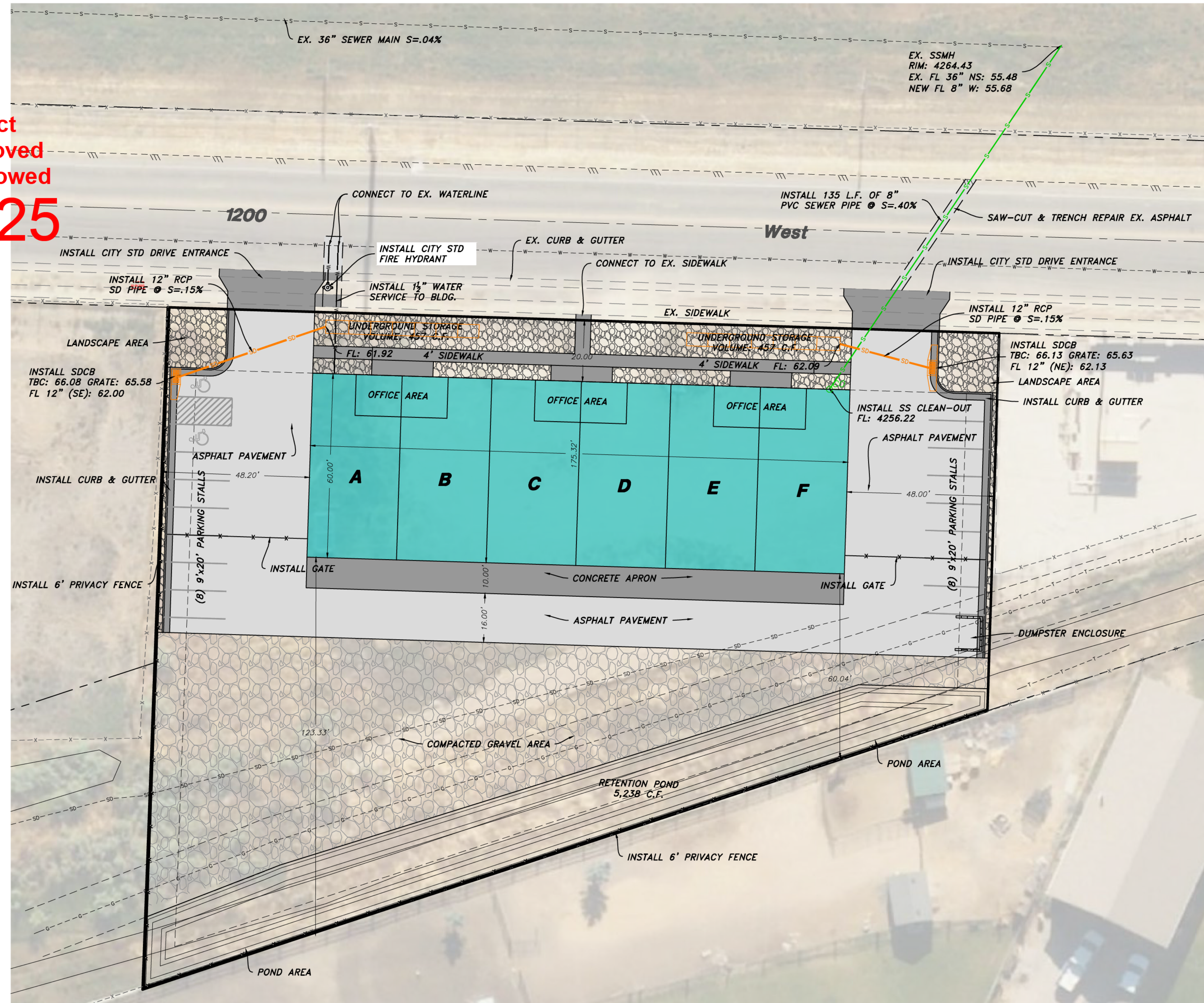
Page

3



Camden Dale Holdings  
1309 N 1200 W  
Farr West, UT 84404

**Weber Fire District  
Reviewed and Approved  
if comments are followed  
05/27/2025**



**NOTICE!**

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

### Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

## PROJECT DATA

PROJECT ZONING:	C-2
TOTAL PROJECT AREA:	46,972 S.F.
TOTAL LANDSCAPE AREA:	11,565 S.F.
(10% REQUIRED LANDSCAPE)	(24.6%)
OFFICE BUILDING FOOTPRINT AREA:	1,200 S.F.
MECHANIC SHOP FOOTPRINT AREA:	9,300 S.F.
OTHER IMPERVIOUS AREAS: (CURB & GUTTER, SIDEWALK, PAVEMENT, ETC)	18,605 S.F.
PARKING REQUIREMENTS:	
OFFICE/BUSINESSES	
1 STALL PER 200 S.F.	6 STALLS
WAREHOUSE	
1 STALL PER 1000 S.F.	9 STALLS
TOTAL PARKING REQUIRED:	15 STALLS
PARKING PROVIDED:	16 STALLS
ADA STALLS REQ'D:	(2 STALLS)

### **ZONE C-2 REQUIREMENTS**

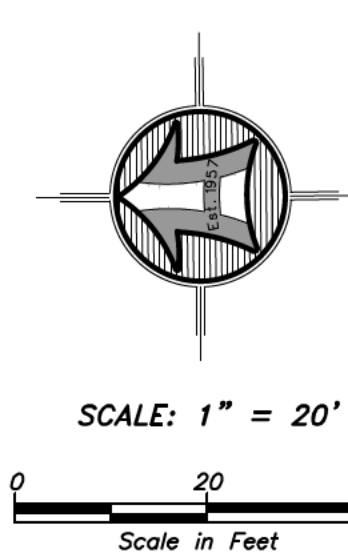
MINIMUM LOT SIZE .....	*****	S.F.
CORNER LOT SIZE .....	*****	S.F.
MIN. LOT WIDTH @ 30' SETBACK ....	***'	
FRONT SETBACK .....		20'
SIDE YARD SETBACK FACING STREET .....		20'
SIDE YARD SETBACK .....		10'
TOTAL OF BOTH SIDE YARDS .....		20'
REAR SETBACK .....		10'
TOTAL LANDSCAPING .....		10%

L E G E N D:

Diagram illustrating proposed storm drain and sewer lines, showing various symbols and labels:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT RECD.
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE

EXISTING STORM DRAIN INLET  
EXISTING WATER METER  
EXISTING FIRE HYDRANT  
EXISTING LIGHT POLE  
PROPOSED SEWER MANHOLE  
PROPOSED STORM DRAIN MANHOLE  
PROPOSED STORM DRAIN INLET  
PROPOSED WATER METER  
PROPOSED FIRE HYDRANT  
EXISTING CURB & GUTTER  
EXISTING SIDEWALK  
PROPOSED CURB & GUTTER  
PROPOSED SIDEWALK  
PROPOSED ASPHALT PAVEMENT



**CAMDEN DALE HOLDINGS**

**SITE & UTILITY PLAN FOR**

1300 North 1200 West

Sheet  
**2**  
of  
**4**  
Sheets

Drawn By: BTC Date: 05/14/25  
 Designed By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Approved By: \_\_\_\_\_  
 Scale: 1" = \*\*  
 Drawing File: 24-5-57v23 CP.dwg  
 JOB NUMBER: 24-5-57

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