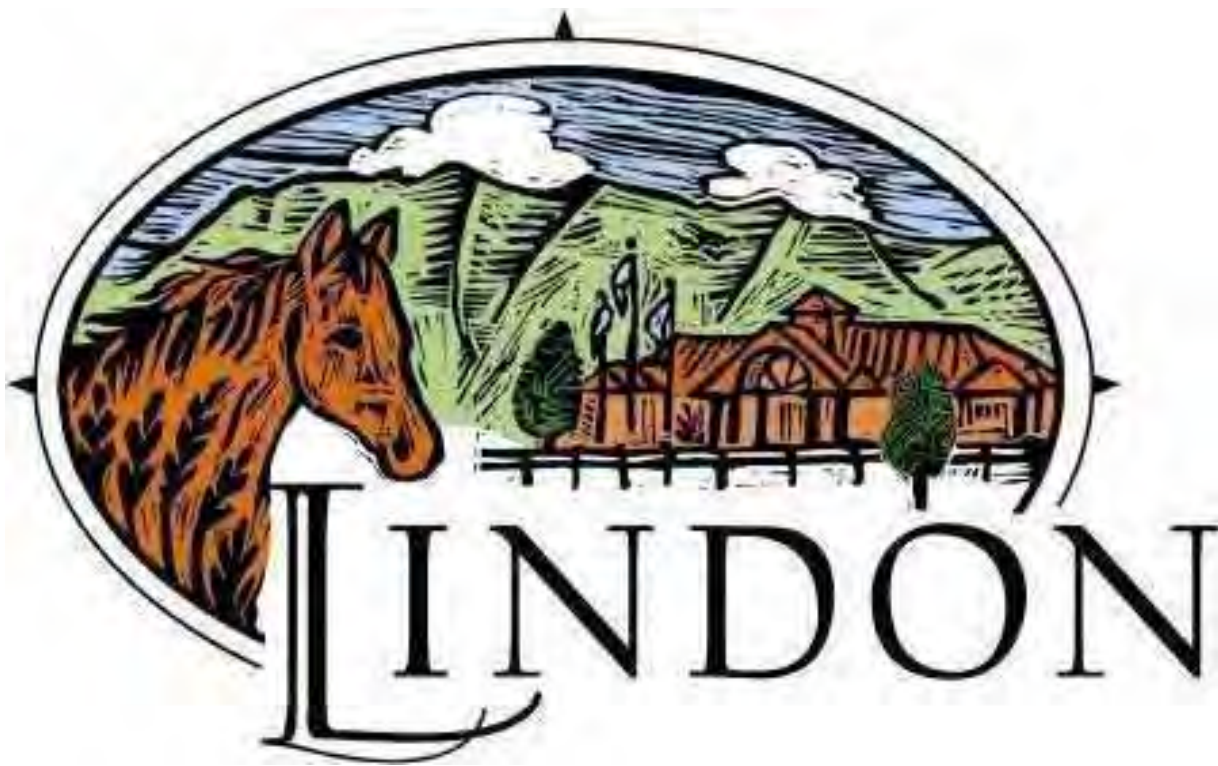


Lindon City Planning Commission Staff Report



July 8, 2025

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, July 8, 2025**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **6:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. Meetings are broadcast live at www.youtube.com/LindonCity. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order
2. Approval of minutes - Planning Commission 6/24/2025
3. Public Comment
4. Minor Subdivision – State Street Marketplace Subdivision
Chase Bryan is proposing a minor subdivision to divide the property located at 680 N. State Street into two lots. (Parcel 14:046:0052) (10 minutes)
5. Public Hearing – General Plan Future Land Use Map Amendment.
Jeff Alexander has made an application to amend the Lindon City General Plan Future Land Use Map designation for the property located at 377 S 800 W (Parcel 45:417:0017) from Flex Office to Flex Commercial. (20 minutes)
6. Public Hearing – Zoning Map Amendment.
Jeff Alexander has made an application to amend the Lindon City Zoning Map designation on the property located at 377 S. 800 W. (Parcel 45:417:0017) from Research & Business (R&B) to Regional Commercial (RG). (20 minutes)
7. Site Plan Approval – 310 N. Geneva Road
Nate Reiner, has made application for site plan approval of two office warehouse buildings to be located at 310 N. Geneva Road in the Light Industrial zone. (20 minutes)
8. Community Development Director Report - General City Updates

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Community Development Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Britni Laidler at 785-1971, **giving at least 24 hours' notice.**

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

**The duration of each agenda item is approximate only*

Posted By: Britni Laidler, City Recorder

Date: 07/3/2025 Time: 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Notice of Meeting

Lindon City Planning Commission



Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Karen Danielson
Ryan Done

The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday, June 24, 2025 beginning at 6:00 p.m.** at the Lindon City Center, City Council Chambers, 100 North State Street, Lindon, Utah.

REGULAR SESSION – 6:00 P.M.

Conducting: Steve Johnson, Chairperson
Invocation: Scott Thomson, Commissioner
Pledge of Allegiance: Steve Johnson, Chairperson

PRESENT

Steve Johnson, Chairperson
Scott Thompson, Commissioner
Rob Kallas, Commissioner
Mike Marchbanks, Commissioner
Jared Schauers, Commissioner
Sharon Call, Commissioner
Karen Danielson, Commissioner
Michael Florence, Community Dev. Director
Britni Laidler, City Recorder

EXCUSED

Ryan Done, Commissioner

1. CALL TO ORDER – The meeting was called to order at 6:00 p.m.

2. APPROVAL OF MINUTES –The minutes of the regular meeting of the Planning Commission meeting of June 10, 2025 were reviewed.

COMMISSIONER SCHAUERS MOVED TO APPROVE THE MINUTES OF THE REGULAR MEETING OF JUNE 10, 2025 AS PRESENTED. COMMISSIONER KALLAS SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

3. PUBLIC COMMENT – Chairperson Johnson called for comments from any audience member who wishes to address any issue not listed as an agenda item. There were no public comments.

CURRENT BUSINESS –

4. Subdivision Plat Amendment – Lindon Treasury Plat G Kevin Young is proposing a subdivision plat amendment to the Lindon Treasury Plat G, to consolidate the lots at 116 S. 200 W and 237 W. 110 S. into one lot. (Parcels 45:800:0010 & 45:800:0009)

Mike Florence, Community Development Director, presented this item and noted that Kelli Jensen was present to represent the applicant. Mr. Florence noted that the applicant is seeking plat amendment approval to consolidate the owners two lots at 116 S. 200 W. & 237 W. 110 S. into one lot. He then stated that the existing lot sizes are 26,362 (116 S. 200 W.) and 20,249 (237 W. 100 S.) which would bring the new lot size to be 46,612 square feet.

2 Chairperson Johnson called for any further comments or discussion from the
Commission. Hearing none he called for a motion.

4
6 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE APPLICANT'S
REQUEST FOR PLAT AMENDMENT APPROVAL FOR THE LINDON TREASURY PLAT
G SUBDIVISION LOCATED AT 116 S. 200 W. & 237 W. 110 S. WITH THE FOLLOWING
8 CONDITIONS: 1. THE APPLICANT WILL CONTINUE TO WORK WITH THE CITY
ENGINEER TO MAKE ALL FINAL CORRECTIONS TO THE SUBDIVISION PLAT; 2.
10 PRIOR TO PLAT RECORDING, THE APPLICANT WILL UPDATE THE FINAL PLAT
MYLAR TO INCLUDE NOTARIZED SIGNATURES AND OBTAIN SIGNATURES OF ALL
12 ENTITIES INDICATED ON THE SUBDIVISION PLAT ATTACHED HERETO; 3. THE
PLAT WILL MEET APPLICABLE SPECIFICATIONS AS FOUND IN THE LINDON CITY
14 DEVELOPMENT MANUAL; 4. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER
SCHAUERS SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

16 CHAIRPERSON JOHNSON AYE
COMMISSIONER THOMPSON AYE
18 COMMISSIONER KALLAS AYE
COMMISSIONER MARCHBANKS AYE
20 COMMISSIONER SCHAUERS AYE
COMMISSIONER CALL AYE
22 COMMISSIONER DANIELSON AYE
THE MOTION CARRIED UNANIMOUSLY.

24
26 **5. Public Meeting - Continued from June 10, 2025 – Amendment to Title 17.44.090 –**
Projections Into Yards. A request by Nickolas Slade to amend Lindon City Code
17.44.090 to increase the allowed eave/porch projections in the front yard/setback. The
28 planning commission may also consider alternative approaches to this application, such
as lesser setbacks or other modifications, during their discussion, deliberation, and
30 recommendation to the city council.

32 Mike Florence, Community Development Director, presented this item. He noted that the
applicant Nickolas Slade and Carlene Veenker were present. Mr. Florence stated that the
34 planning commission held the public hearing on June 10, 2025 and then continued the item after
giving city staff feedback on the proposed ordinance amendment and proceeded to present the
36 outlined key points of the draft ordinance as follows:

- 38 1. Single family dwellings in residential zones may have a front porch projecting into the
front yard setback.
- 40 2. The porch may project up to 30% of the allowable front yard setback, including roof
structure and stairs.
- 42 3. The porch may extend up to 25% of the width along the front elevation.
4. The porch must remain open on three sides, with walls no taller than 40 inches if present.
- 44 5. The projected portion cannot include living or storage space.

2 Mr. Florence then asked for feedback on changing "single family dwellings" to
"residential dwellings" to potentially include duplexes and other residential structures. The
4 commission discussed the implications of this change, considering fairness to different housing
types and potential visual impacts.

6 Mrs. Veenker, expressed appreciation for the commission's consideration, citing safety
concerns related to icy stairs during winter.

8 Chairperson Johnson called for any further comments or discussion from the
Commission. Hearing none he called for a motion.

10
12 COMMISSIONER DANIELSON MOVED TO RECOMMEND THE APPROVAL OF
ORDINANCE AMENDMENT 2025-8-O WITH THE CHANGE OF WORDING FROM
SINGLE FAMILY DWELLING TO RESIDENTIAL. COMMISSIONER CALL SECONDED
14 THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON JOHNSON AYE

16 COMMISSIONER THOMPSON AYE

COMMISSIONER KALLAS AYE

18 COMMISSIONER MARCHBANKS AYE

COMMISSIONER SCHAUERS AYE

20 COMMISSIONER CALL AYE

COMMISSIONER DANIELSON AYE

22 THE MOTION CARRIED UNANIMOUSLY.

24 **6. Public Hearing: Ordinance #2025-09-O; Street Classification Update.** The Council
will review and consider an update to LCC 17.32.110, the Street Master Plan Map
26 adding Major and Minor Arterial street classifications to certain regionally significant
roadways, and updating the Lindon City Land Development Policies, Standard
28 Specifications and Drawing (development manual) to include Major and
Minor Arterial streets and establishing a cross-section for Minor Arterials.

30
32 Mike Florence, Community Development Director, presented this item and noted that the
applicant is Lindon City. He then presented the proposed changes to the street classification
system. He explained that the city engineers have reviewed the transportation map and
34 recommended the following changes:

1. Add two new classifications: major arterial and minor arterial.
- 36 2. Change the designation of certain highlighted streets from collector to minor arterial.
3. Update the development manual to include the minor arterial classification.

38
40 Mr. Florence emphasized that these changes would not increase road widths or speeds but
would allow the city to apply for federal and state funding through MAG (Mountainland
Association of Governments) for road improvements.

42 The commission discussed the implications of these changes, including:

- The difference between collector and minor arterial designations
- 44 • Potential impacts on speed limits
- How the changes align with neighboring cities' classifications
- 46 • The primary purpose of accessing additional funding opportunities

2 COMMISSIONER CALL MOVED TO OPEN THE PUBLIC HEARING.
3 COMMISSIONER DANIELSON SECONDED THE MOTION. ALL PRESENT VOTED IN
4 FAVOR. THE MOTION CARRIED.

6 Chairperson Johnson asked for any public comment, hearing none, he called for a motion
7 to close the public hearing.

8
9 COMMISSIONER THOMPSON MOVED TO CLOSE THE PUBLIC HEARING.
10 COMMISSIONER CALL SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR.
11 THE MOTION CARRIED.

12
13 Following general discussion, Chairperson Johnson called for any further comments or
14 discussion from the Commission. Hearing none he called for a motion.

15
16 COMMISSIONER KALLAS RECOMMEND APPROVAL OF ORDINANCE 2025-09-
17 O OF THE CITY'S REQUEST TO AMEND TITLE 17.32 OF THE LINDON CITY CODE TO
18 INCLUDE MAJOR AND MINOR ARTERIAL STREETS, AMEND THE LINDON CITY
19 STREET MASTER PLAN MAP TO INCLUDE MINOR AND MAJOR ARTERIAL STREET
20 CLASSIFICATIONS AND DESIGNATE SUCH ROADWAYS ON THE STREET MASTER
21 PLAN MAP, AND AMEND THE LINDON CITY LAND DEVELOPMENT POLICIES,
22 STANDARD SPECIFICATIONS AND DRAWING (DEVELOPMENT MANUAL) TO
23 INCLUDE MINOR ARTERIAL STREETS TO HAVE THE SAME ROADWAY CROSS-
24 SECTION AS COLLECTOR AND LOCAL COMMERCIAL STREETS. COMMISSIONER
25 CALL SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

26 CHAIRPERSON JOHNSON	AYE
27 COMMISSIONER THOMPSON	AYE
28 COMMISSIONER KALLAS	AYE
29 COMMISSIONER MARCHBANKS	AYE
30 COMMISSIONER SCHAUERS	AYE
31 COMMISSIONER CALL	AYE
32 COMMISSIONER DANIELSON	AYE

33 THE MOTION CARRIED UNANIMOUSLY.

34
35 **7. Community Development Director**

- 36 • July 15th meeting has been moved to July 8th
- 37 • A new city planner has been hired and will be starting July 21st
- 38 • The former Lindon Care Center property has been purchased, and the new owner
39 plans to subdivide it for two fast-food restaurants.
- 40 • Misc. City Updates

41 **ADJOURN** –

42
43 COMMISSIONER KALLAS MOVED TO ADJOURN THE MEETING AT 6:58 PM.
44 COMMISSIONER MARCHBANKS SECONDED THE MOTION. ALL PRESENT VOTED IN
45 FAVOR. THE MOTION CARRIED.

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Approved, July 8, 2025

Steven Johnson, Chairperson

Michael Florence, Community Development Director

Item 4: Minor Subdivision Approval. 680 N. State

Date: July 8, 2025

Applicant: Chase Bryan

Presenting Staff: Michael Florence

General Plan: General Commercial

Current Zone: Commercial
General

Property Owner: SCIOTO
PROPERTIES SP-16 LLC.

Parcel ID's: 14:046:0052

Type of Decision: Administrative
Council Action Required: No
City File # 25-025-0



SUMMARY OF KEY ISSUES

1. The applicant is seeking minor subdivision approval for a two-lot subdivision at 680 N. State
2. The building on the property previously house the Lindon Care Center and offices.
3. There are currently two structures on the property
4. The parcel is 1.9403 acres in size
5. There is slight discrepancy between the current lot size and the proposed subdivision plat. The new subdivision lot is slightly larger (705.67 sq ft). According to the surveyor there are a number of "gaps" in the current description that will now be cleaned up when the plat is recorded.

OVERVIEW

1. The applicant is proposing to subdivide the commercial property into two lots with the following acreage:
 - a. Lot 1: .7296 acres (31,782 sq ft)
 - b. Lot 2: 1.2269 acres (53,446 sq ft)
2. The applicant in the future will be demolishing the two existing buildings on the property and proposing two drive-through pad sites.

MOTION

I move to (*approve, deny, continue*) the applicant's request for minor subdivision approval at 680 N. State with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the engineering documents and plat;
2. If required, complete (or post an adequate improvement completion assurance), warrant and post required assurance for all required public infrastructure improvements;
3. Prior to plat recording, the applicant will update the final plat Mylar to include notarized signatures of owners' consent to dedication; and obtain signatures of all entities indicated on the subdivision plat attached hereto;
4. The plans and plat will meet and be constructed as per applicable specifications as found in the Lindon City Development Manual; and
5. All items of the staff report.

Surrounding Zoning and Land Use

North: Commercial General (CG) – pawn shop

South: Commercial General (CG) – car wash

East: Commercial General (CG) – car wash and single-family residential

West: Commercial General (CG) – fast food businesses

Lot Size Requirements (Commercial General)

Required	Lot 1	Lot 2	Compliant with City Standards
Minimum Lot Size: 20,000 square feet	31,782 sq ft	53,446 sq ft	Yes

Subdivision Requirements

Required	Compliant
No single lot shall be divided by municipal or county boundary lines, roads, alleys, or other lots.	Yes
A lot shall not be divided by a road, alley, or other lot.	Yes
Side lot lines shall be at right angles or radial to street lines, except where justified by the subdivider and approved by the planning commission.	
Sidewalks, curbs and gutters shall be provided on both sides of all streets to be dedicated to the public	Yes
Easements shall follow rear and side lot lines whenever practical and shall have a minimum total width of 10 feet apportioned equally in abutting properties. 10 foot front easement.	No – these will need to be added to the subdivision plat
Underground utilities and piped sanitary sewerage shall be provided by the subdivider.	Yes
No lot shall be created which is more than three times as long as it is wide.	Yes
Storm drain plans provided that meet city drainage requirements.	Yes

Engineering Requirements

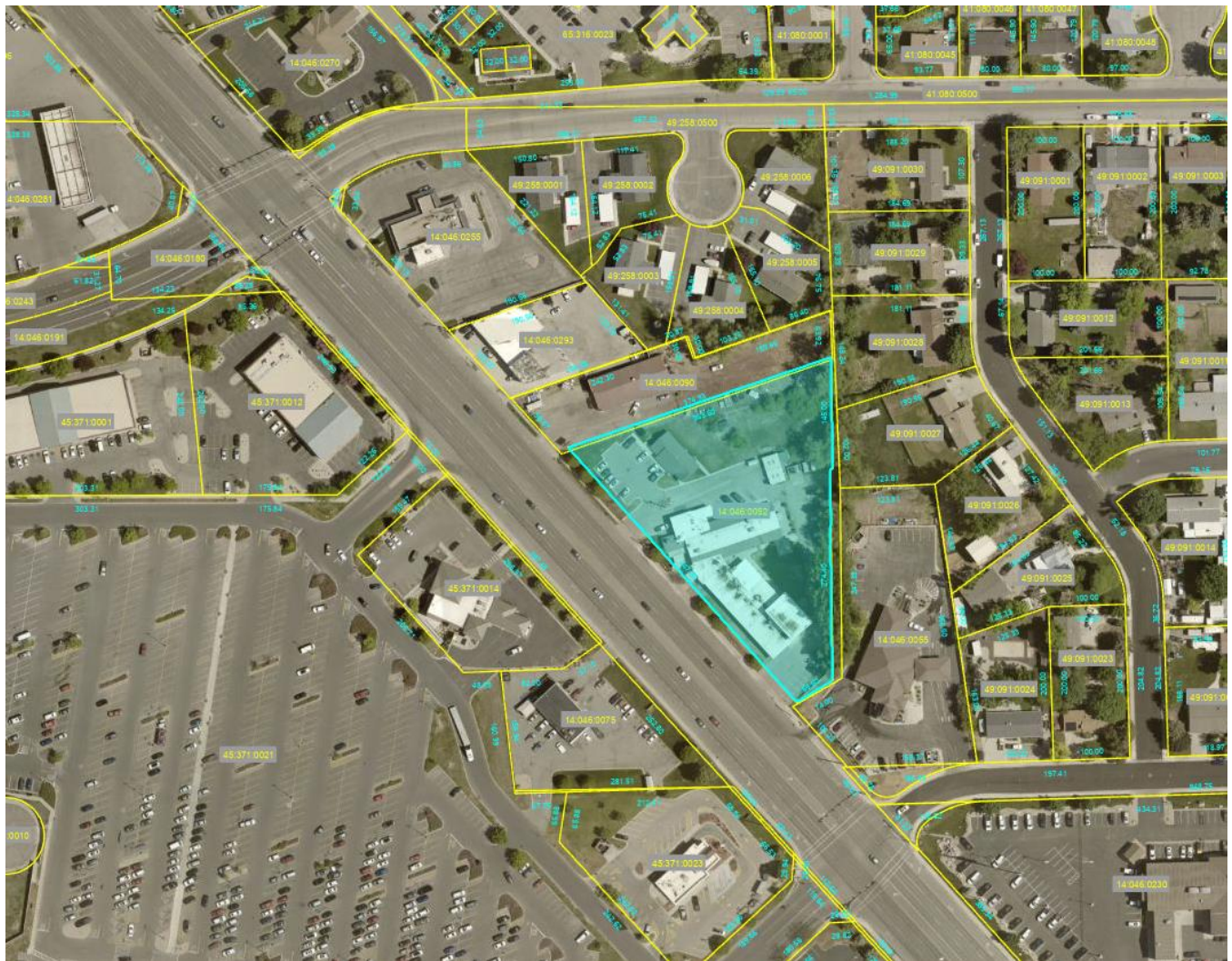
The City Engineer is working through technical issues related to the plat and will ensure all plat related issues are resolved before final approval is granted.

Staff Analysis

The applicant has put together a concept site plan that shows two drive-thru businesses on the property. The Lindon Care Center building has been vacant for some time now and the care center building is not in great shape. New development for the property would be a benefit to this area of State Street.

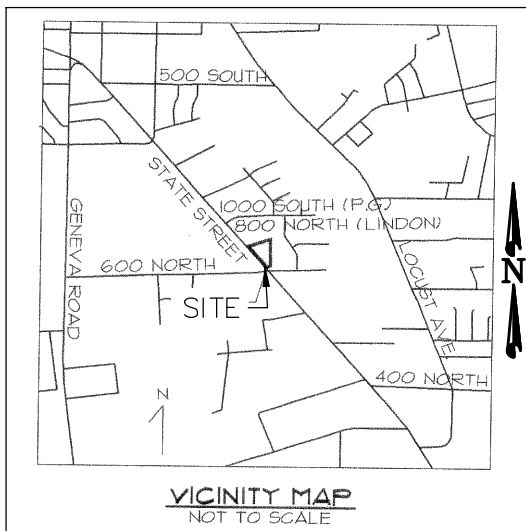
EXHIBITS

1. Aerial photo
2. Subdivision Plat
3. Concept Site Plan

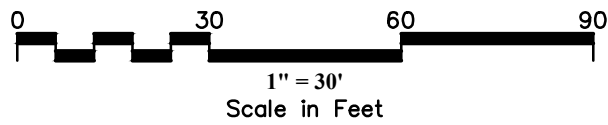


28 28 BASIS OF BEARINGS N89°44'49"E 5317.48'

FOUND 2000 UTAH COUNTY
BRASS CAP MONUMENT FOR
THE WEST QUARTER CORNER,
SECTION 28, T5S, R2E, SLB&M



VICINITY MAP
(N.T.S.)



28 27 FOUND 1995 UTAH COUNTY
BRASS CAP MONUMENT FOR
THE EAST QUARTER CORNER,
SECTION 28, T5S, R2E, SLB&M

FIDELITY FUNDING COMPANY
ENTRY 20707:1995
14-046-0090

LOT 5
PEBBLE CREEK VILLA
PLAT "A"

LOT 4
PEBBLE CREEK VILLA
PLAT "A"

LOT 28
PEBBLE CREEK ACRES
SUBDIVISION
49-091-0028

LOT 27
PEBBLE CREEK ACRES
SUBDIVISION
49-091-0027

LOT 1
0.7296 ACRES
31,782 SQ. FT.
706 NORTH

LOT 2
1.2269 ACRES
53,446 SQ. FT.
680 NORTH

612 NORTH STATE STREET LLC
ENTRY 0078:2019
14-046-0055

LEGEND

SET REBAR/CAP MARKED
"ELEVATE ENGINEERING PLS 5183760"

BOUNDARY LINE

TITLE LINES

CROSS ACCESS EASEMENT
IN FAVOR OF LOTS 1 AND 2

LINE TABLE

LINE #	LENGTH	BEARING
L1	13.00'	N42° 16' 10"W
L2	64.53'	N48° 53' 16"E
L3	177.44'	N71° 20' 00"E
L4	10.20'	N18° 50' 06"W
L5	6.29'	S0° 37' 00"E
L6	169.25'	S71° 20' 00"W
L7	69.04'	S48° 53' 16"W
L8	13.00'	N42° 16' 10"W

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	15.67'	40.00'	22°26'35"	15.57'	S60°06'33"W
C2	7.95'	25.00'	18°13'06"	7.92'	N9°43'33"W
C3	5.88'	15.00'	22°26'51"	5.84'	S60°06'41"W

FOUND 1979 UTAH COUNTY BRASS
CAP WITNESS CORNER MONUMENT
FOR THE SOUTHWEST CORNER,
SECTION 28, T5S, R2E, SLB&M

SUBDIVISION NOTES:

1. **OCCUPANCY RESTRICTION NOTICE:** IT IS UNLAWFUL TO OCCUPY ANY
BUILDING WITHIN THIS SUBDIVISION WITHOUT FIRST HAVING OBTAINED A
CERTIFICATE OF OCCUPANCY ISSUED BY THE CITY.

28 28

CALCULATED LOCATION FOR
THE SOUTHWEST CORNER,
SECTION 28, T5S, R2E, SLB&M

N89°39'49"E 2658.50'

CALCULATED LOCATION FOR
THE SOUTH QUARTER CORNER,
SECTION 28, T5S, R2E, SLB&M

SURVEYOR'S CERTIFICATE

I, CORY B. NEERINGS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD
LICENSE NO. 5183760 IN ACCORDANCE WITH UTAH CODE, TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS
AND PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF
THE OWNERS, I HAVE PERFORMED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED
BELOW IN ACCORDANCE WITH SECTION 17-23-17 OF UTAH CODE AND HAVE SUBDIVIDED SAID TRACT OF
LAND INTO LOTS AND STREETS, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON
THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF STATE STREET (U.S. 89), SAID POINT
BEING SOUTH 0°21'42" EAST 1679.95 FEET ALONG THE SECTION LINE AND EAST 1204.99 FEET FROM THE
NORTHWEST CORNER OF SECTION 28, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
THENCE NORTH 70°55'48" EAST 367.66 FEET;
THENCE SOUTH 0°37'00" EAST 140.25 FEET;
THENCE SOUTH 71°20'00" WEST 3.72 FEET;
THENCE SOUTH 0°37'00" EAST 278.23 FEET;
THENCE SOUTH 60°19'00" WEST 57.79 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE STREET;
THENCE NORTH 42°16'10" WEST 443.43 FEET ALONG SAID RIGHT-OF-WAY TO THE POINT OF BEGINNING.

CONTAINS 2 LOTS
1.9565 ACRES
85,228 SQUARE FEET, MORE OR LESS

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89°44'49" EAST BETWEEN THE WEST
QUARTER CORNER AND THE EAST QUARTER CORNER OF SECTION 28, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT
LAKE BASE AND MERIDIAN, ACCORDING TO NAD83 UTAH CENTRAL ZONE BEARINGS.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I / WE, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED
TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE

STATE STREET MARKETPLACE SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND
EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

IN WITNESS WHEREOF I / WE HAVE HEREUNTO SET MY / OUR HAND(S).

PRINT NAME _____

PRINT NAME _____

SIGNATURE _____

SIGNATURE _____

DATE _____

DATE _____

ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF UTAH }

ON THE ____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, _____,
THE SIGNER OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE DID FREELY
AND VOLUNTARILY EXECUTE THE SAME FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____

COMMISSION NUMBER _____

NOTARY PUBLIC
COMMISSIONED IN UTAH
(SEE SEAL BELOW)

NOTARY PUBLIC _____
RESIDING IN _____ COUNTY

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY OF LONDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE
DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PERPETUAL USE
OF THE PUBLIC, THIS ____ DAY OF _____, A.D. 20____.

MAYOR _____

PLANNING COMMISSION CHAIR _____

COMMUNITY DEVELOPMENT DIRECTOR _____

CITY ENGINEER _____

CITY ATTORNEY _____

CITY RECORDER _____

STATE STREET MARKETPLACE SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF
SECTION 28, TOWNSHIP 5 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN
LONDON, UTAH COUNTY, UTAH

ELEVATE
ENGINEERING

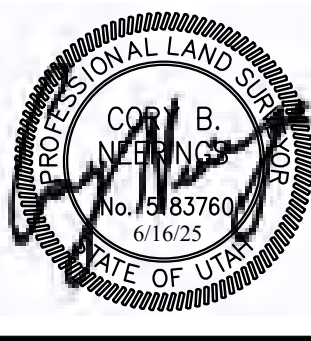
ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateng.com

SURVEYOR SEAL

NOTARY SEAL

CITY ENGINEER SEAL

CLERK/RECORDER SEAL



Recorder

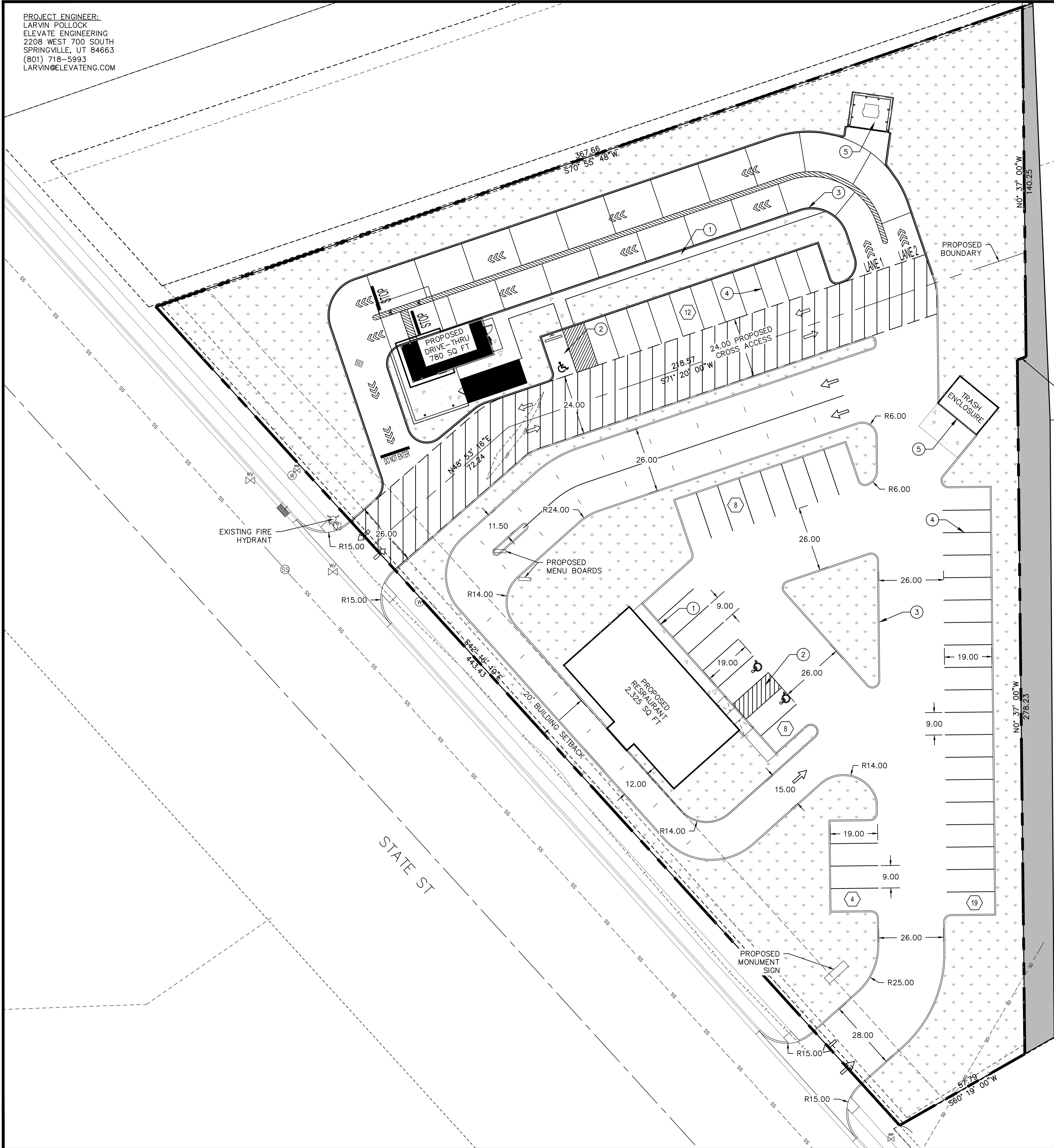
DATE: 6/16/25

SCALE: 1"=30'

PAGE: 1 OF 1

PROJECT: S25-032

PROJECT ENGINEER:
LARVIN POLLOCK
ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
(801) 718-5993
LARVIN@ELEVATEENG.COM



LEGEND

LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	---
STRIPING	---
BUILDING SETBACK	---
LANDSCAPE SETBACK	---
EXISTING BUILDING	---
EXISTING FENCE	---
TOP BACK OF CURB	TBC
FINISHED FLOOR ELEVATION	FFE
LANDSCAPE AREA	---
CONCRETE AREA	---

SITE DATA

TOTAL LOT AREA:	85,228	SF (1.96 ACRES)
DRIVE-THRU LOT AREA:	31,783	SF (0.73 ACRES)
RESTAURANT LOT AREA:	53,445	SF (1.23 ACRES)
BUILDING AREA:	3,105	SF± 3.6%
PAVEMENT AREA:	52,140	SF± 61.2%
LANDSCAPE AREA:	29,983	SF± 35.2%

ZONING: CG - GENERAL COMMERCIAL
PERMITTED USE
PARCEL ID#: 140460052

BUILDING DATA

CONSTRUCTION TYPE: V-B
SPRINKLERS: NO
SETBACKS:
FRONT= 20 FEET
REAR= 0 FEET
SIDE= 0 FEET

PARKING TABULATION

REQUIRED: 1 PER 2 SEATS OR 1 PER 100 SF OF FLOOR AREA, WHICHEVER IS GREATER

DRIVE-THRU: 6 STALLS

RESTAURANT: 24 STALLS

PROVIDED:
DRIVE-THRU:
12 STALLS; 1 ADA STALL
20 STACKING

RESTAURANT:
39 STALLS; 2 ADA STALLS
23 STACKING

- PROPOSED 5' SIDEWALK PER LINDON CITY DETAIL 3. SEE SHEET C-5 FOR DETAILS.
- ALL HANDICAP STALLS AND RAMPS TO BE INSTALLED PER ADA & APWA STANDARDS. SEE SHEET C-5 FOR DETAILS.
- PROPOSED CURB PER LINDON CITY DETAIL 4. SEE SHEET C-5 FOR DETAILS.
- PAINT 4" SOLID YELLOW PAINT STRIPE AS SHOWN (TYPICAL).
- PROPOSED DUMPSTER LOCATION. SEE SHEET C-5 FOR DETAILS.

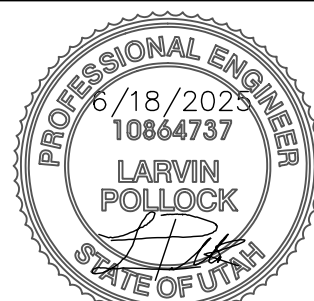


SCALE: 1" = 20'
0 10 20 30 40 60

ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com

ELEVATE
ENGINEERING

LINDON RESTAURANT PADS
SITE PLAN
680 NORTH STATE ST, LINDON, UT



SHEET:
C-1

DATE: Jun 18, 2025

Item 5: General Plan Future Land Use Map Amendment – 377 S. 800 W.

Date: July 8, 2025

Project Address: Parcels
45:417:0017

Applicant: Jeff Alexander
Property Owner: Mecca Holdings, LLC

General Plan: Flex Office
Current Zone: Research & Business

City File Number: 25-027-6

Type of Decision: Legislative Council Action Required: Yes
Presenting Staff: Michael Florence



Summary of Key Issues

1. Whether to approve a request to amend the Lindon City General Plan Future Land Use Map to change the designation of the subject property from Flex Office to Flex Commercial.

Overview

- The applicant is requesting an amendment to the General Plan Future Land Use Map to purchase the property and construct a new office/warehouse building.
- The Lindon Gateway Plat C subdivision was recorded in December 2005.
- The property has a current general plan map designation of Flex Office, and the zoning is Research & Business.
- The applicant is proposing to amend the general plan map designation to Flex Commercial and amend the zoning map to Regional Commercial.
- The Canopy Business Park was initially set up as a technology and research office park. It is a very well-maintained business park with high commercial design standards.

Motion

I move to recommend (approval, denial, or continue) ordinance 2025-10-O to amend the Lindon City General Plan Future Land Use for the property located at 377 S. 800 W. from Flex Office to Flex Commercial with the following conditions:

1. All items of the staff report

Surrounding General Plan & Zoning Designations and Land Use

North: Flex Office, Research & Business (RB) – Office parking lot
East: Flex Office, Research & Business (RB) – Office building
South: General Commercial, PC-1/PC-2 – Car dealerships
West: Light Industrial, Light Industrial – Steel manufacturing plant

General Plan

The current general plan designation for this area is Flex Office. The general plan states the following for the Flex Office and Flex Commercial designations:

Flex Office - This category supports a range of commercial, technology and professional office uses within unified and attractive office park settings. Focused in the south end of the city, this district provides a transition between established commercial uses near the 1600 North interchange and surrounding low density residential and light industrial uses. The area should continue to be developed as a well-planned, campus-like office setting and leverage the close proximity of I-15. .

Flex Commercial - These areas provide an attractive setting for a wide range of commercial, retail, office, wholesale, and service uses. They should be developed as part of well-planned, campus-like settings, strategically located in high visibility areas of the city in close proximity to Interstate-15, major gateways, and freeway interchanges. Clear and consistent urban design, streetscape, architectural, and site design standards should be established for these areas to ensure a unified and high quality appearance is achieved.

Land Use and Community Character

Policy 1.1 - Strike a balance between meeting future growth needs and demands while safeguarding the “Little Bit of Country” sense of place and high quality of life in Lindon

1.1a - Accommodate a full range of land uses in Lindon, including a balanced mix of residential, commercial, industrial, and special uses.

Economic Development Implementation Measures

1.1a - Organize and develop land use areas to take full advantage of Lindon’s strategic location in relation to transportation infrastructure.

2.1a - Expand the range of retail and commercial goods and services available within the community.

2.1c - Periodically review the future land use map and table to ensure that the uses continue to be compatible with the vision of the community.

Staff Analysis

- The Canopy Business Park is a well-maintained and attractive office complex in the city
- July 2021 the planning commission and city council amended the zoning of the two parcels north of The Home Depot from PC-1 and Research & Business to Regional Commercial. When the Kia dealership came in, the property for the dealership was amended back to PC-1 but the property east of the dealership remains Regional Commercial.
- The Research and Business zone is restrictive in that the purpose of the zone as follows:
 - The purpose of the Research and Business (R&B) zone is to provide an aesthetically attractive working environment exclusively for and conducive to the development and protection of offices, research and development institutions, and certain specialized assembling and packaging uses as a secondary use to the primary function of the building. The essential purpose of this zone is to achieve development in a park-like setting that is an economic asset to the owners, neighbors, and the community. This zone is more restrictive than other commercial and manufacturing zones in the city with grounds that have an abundance of landscaping, and land uses that do not create air, ground, noise, or water pollution. Because the zone may be located adjacent to residential development it must be properly screened with a wall and landscaping to create compatibility. The zone should always be located adjacent to collector or arterial streets. The zone is to be characterized by attractively designed buildings and off-street parking lots situated among lawns, shrubs, and trees which give a more pleasing appearance than other commercial and business zones.

- The allowable uses in the Research & Business zone are limited to office type uses with secondary packaging or minor assembly. A few of the buildings do have overhead doors but they are limited and mostly screened from public view. It is not an area that has a lot of semi-truck deliveries except for the property at the corner of 500 S. 400 W.
- The planning commission should carefully consider the application to ensure that proposed office/warehouse design and future allowable uses of the Regional Commercial zone fit into the business park. The following links provide the allowable uses in both the Regional Commercial and Research and Business Zones
 - Regional Commercial – <https://lindon.municipal.codes/Code/17.54.020>
 - Research & Business (see list of uses under R&B in the table) - <https://lindon.municipal.codes/Code/AxA-III>
- The Regional Commercial zone does have its own design standards. The projects west of the PG Interchange are located within the Regional Commercial zone. The planning commission should evaluate those developments to see the types of buildings that would be considered if the general plan and zoning map were amended.
- The applicant, Jeff Alexander, owns Alexander Printing in Lindon, located at 245 S. 1060 W. It is a very well-maintained and landscaped property and a great business in the community. Mr. Alexander intends to construct a 50,000-60,000 square-foot building.
- City staff have recently been contacted by other potential developers for the vacant property north of the property for this application. They are also in the process of considering whether to submit an application to amend the general plan to Flex Commercial and zoning map to Regional Commercial for that property.



Exhibits

1. Aerial Photo
2. Current General Plan Map Designation
3. Proposed General Plan Map Designation
4. General Plan Ordinance Amendment

Exhibit 1

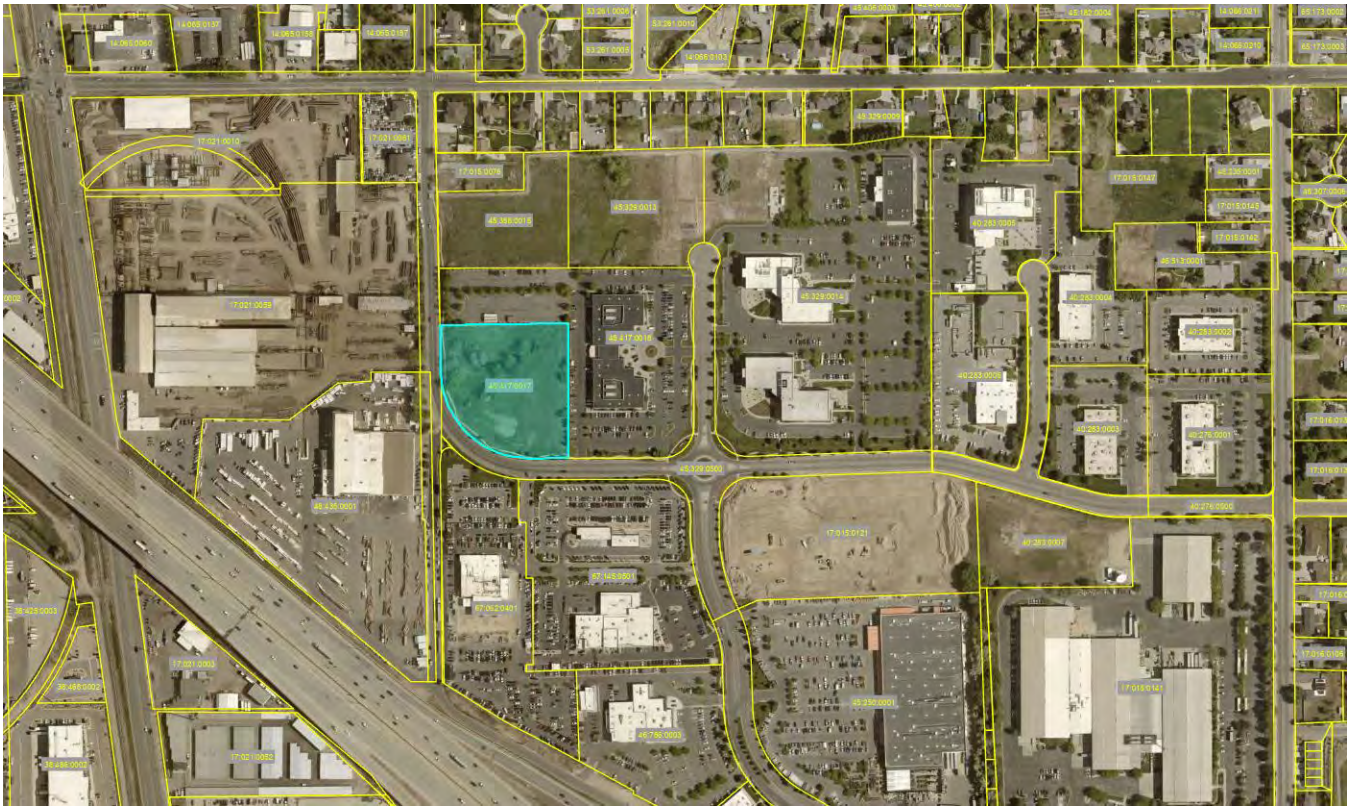


Exhibit 2: Current General Plan Map Designation

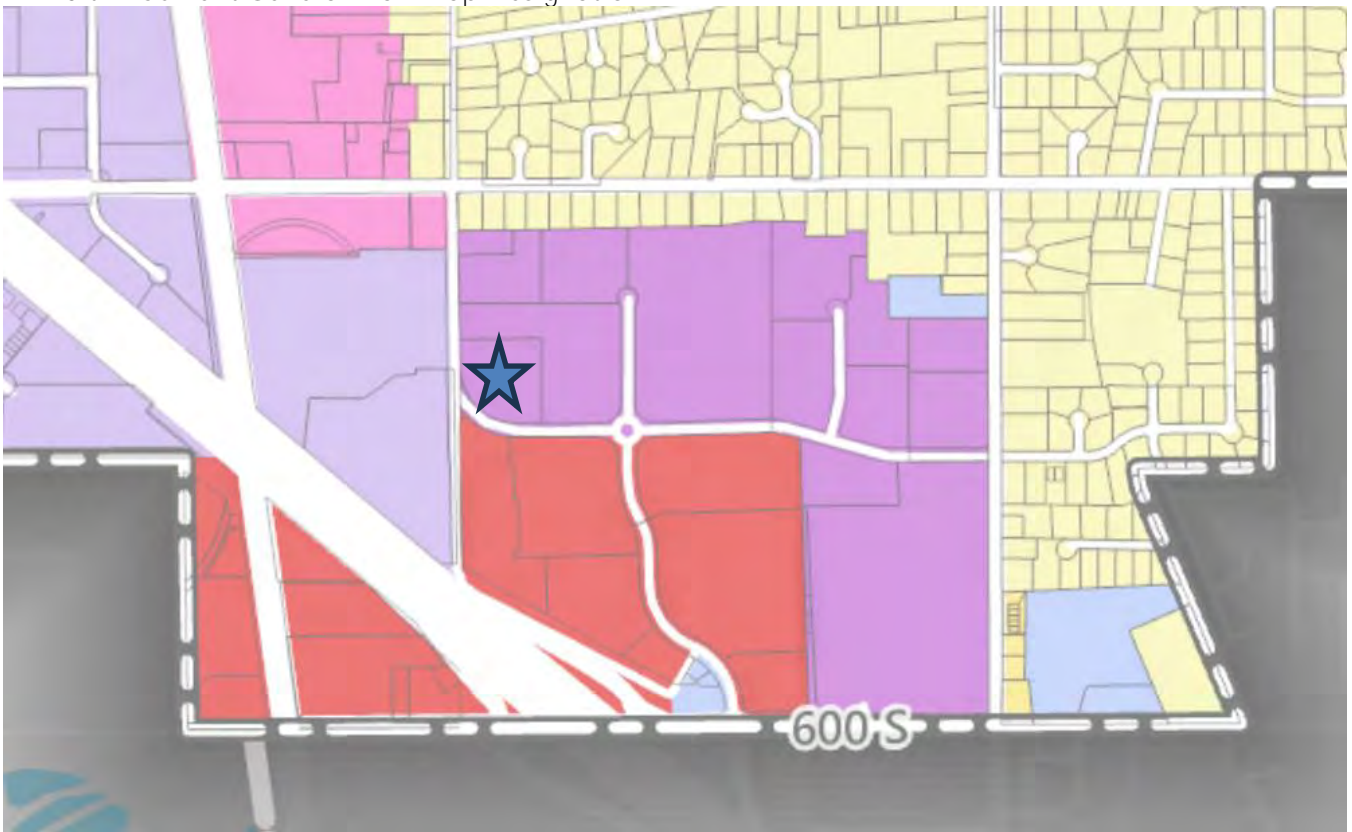
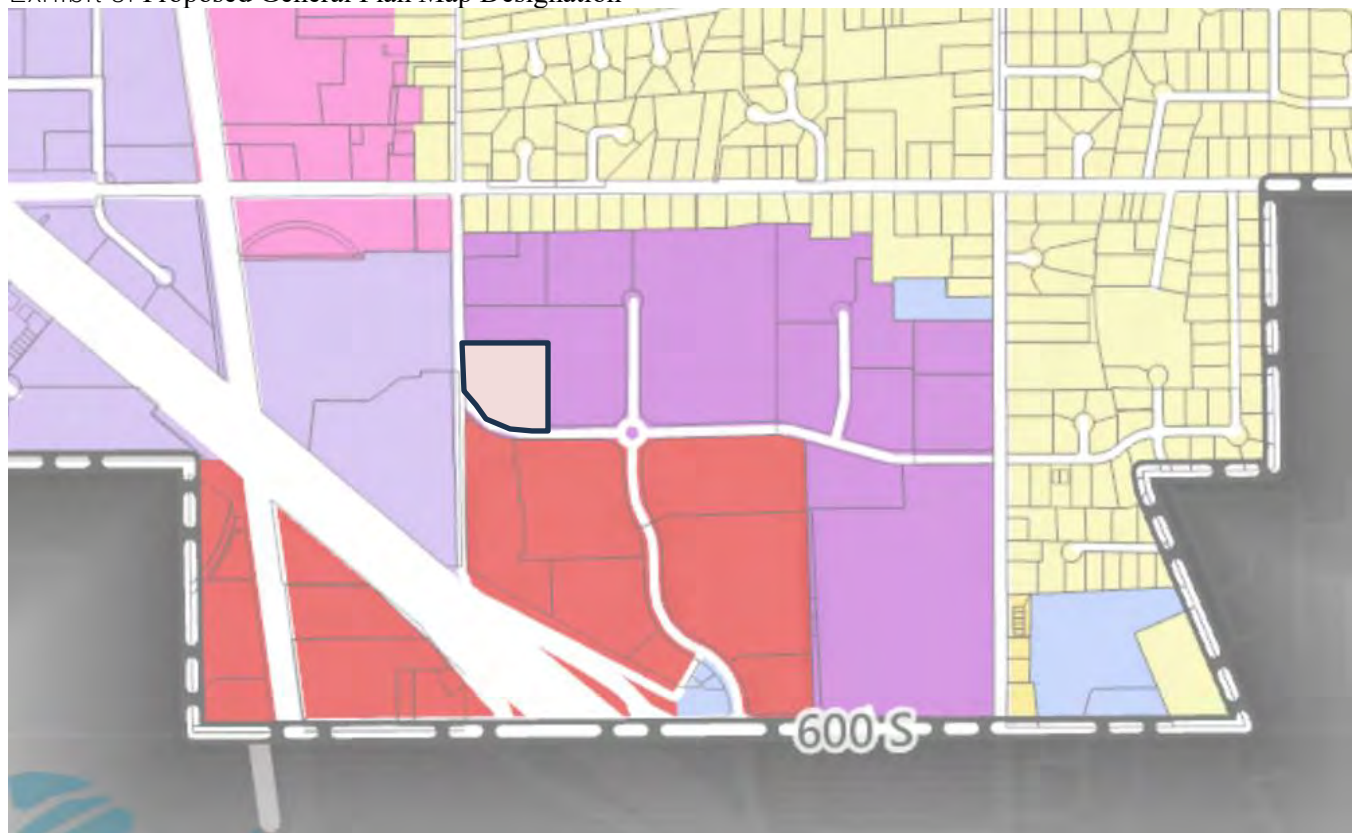


Exhibit 3: Proposed General Plan Map Designation



- | | |
|--|--|
|  Low Density Residential |  Commercial Gateway |
|  Medium Density Residential |  Transit/Commercial Node |
|  Mixed Density/Residential High |  Light Industrial |
|  Mixed Commercial |  Heavy Industrial |
|  General Commercial |  Open Space and Parks |
|  Flex - Commercial |  Natural Open Space |
|  Flex - Office |  Community Facilities |
|  Neighborhood Oriented Commercial |  Lindon City Boundary |

ORDINANCE NO. 2025-10-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING THE LINDON CITY GENERAL PLAN FUTURE LAND USES MAP ON A PORTION OF THE PROPERTY IDENTIFIED BELOW FROM FLEX OFFICE TO FLEX COMMERCIAL AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council is authorized by state law to amend the Lindon City zoning map; and

WHEREAS, on June 26, 2025, a land use application was submitted to Lindon City to amend a portion of the Lindon City General Plan Future Land Use Map on parcel 45:417:0017 from Flex Office to Flex Commercial; and

WHEREAS, on July 8, 2025, the Planning Commission held a properly noticed public hearing to hear testimony regarding the ordinance amendment; and

WHEREAS, after the public hearing, the Planning Commission further considered the general plan map amendment, and recommended that the City Council adopt the Flex Commercial designation for the area highlighted in the maps associated with this ordinance; and

WHEREAS, the City Council finds that certain changes are desirous in order to implement the City's general plan goals Strike a balance between meeting future growth needs and demands while safeguarding the "Little Bit of Country" sense of place and high quality of life in Lindon; and

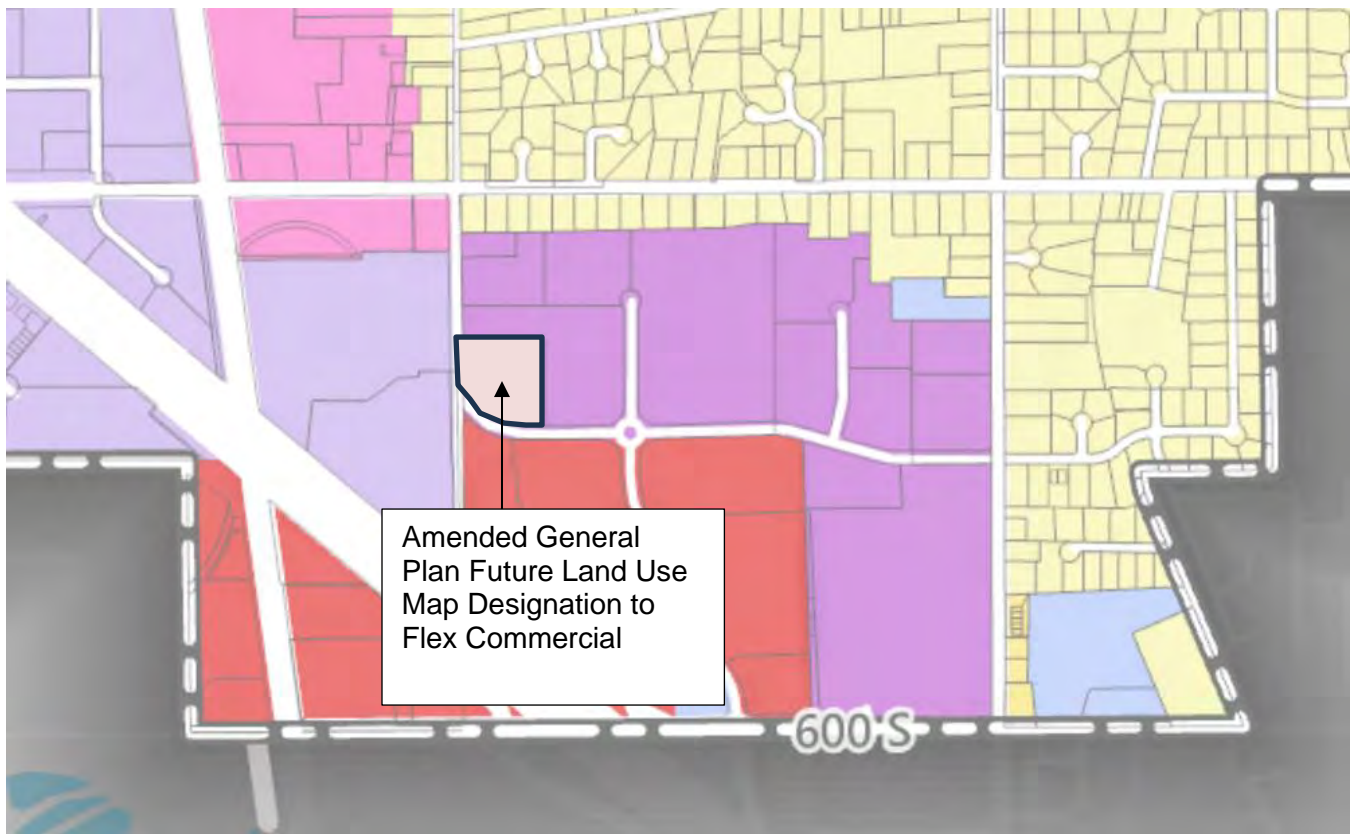
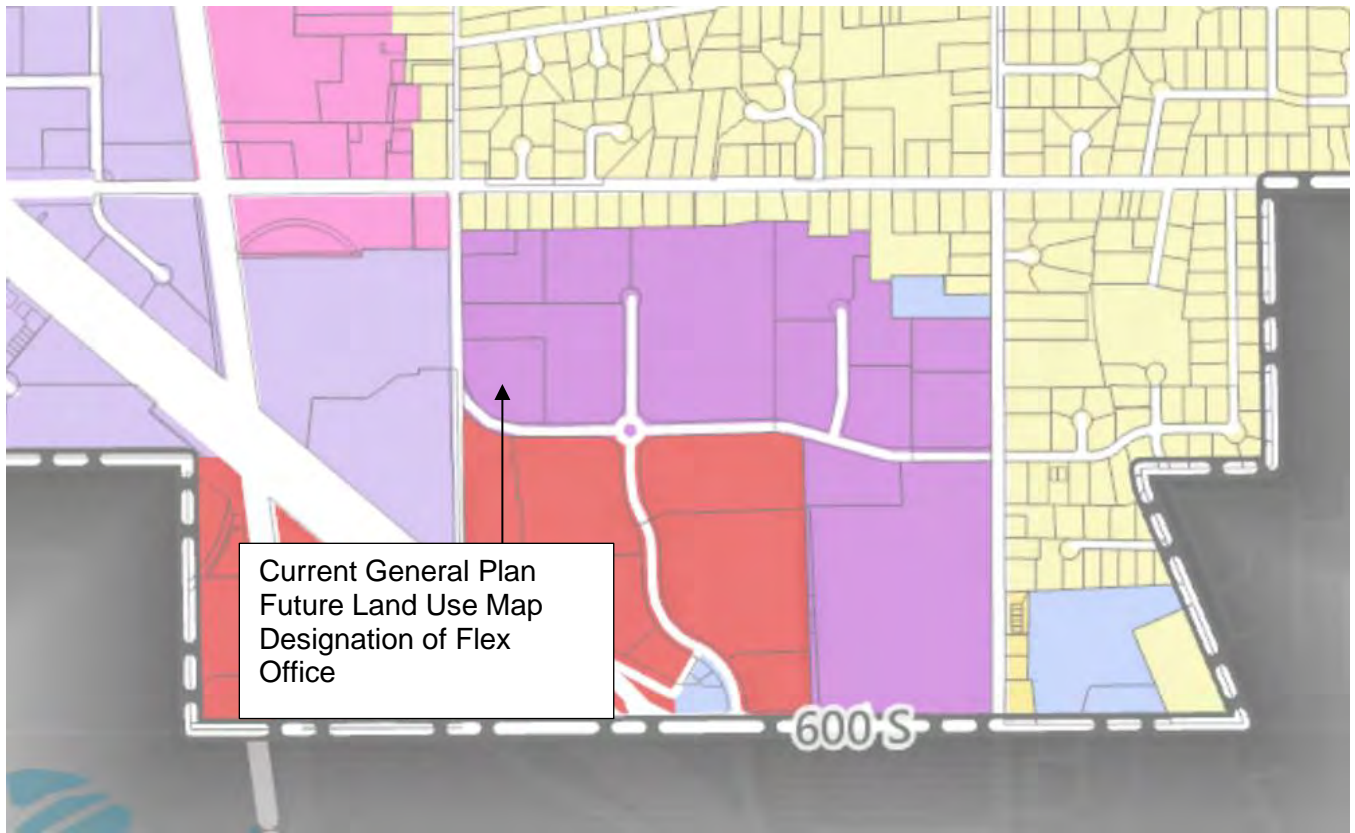
WHEREAS, the City Council finds that certain changes are desirous in order to implement the City's general plan goal to periodically review the future land use map and table to ensure that the uses continue to be compatible with the vision of the community.; and

WHEREAS, the Council held a public hearing _____, 20__, to consider the recommendation and the Council received and considered all public comments that were made therein; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lindon, Utah County, State of Utah, as follows:

SECTION I: The Lindon City General Plan Future Land Use Map is hereby amended as follows:

Parcel ID	Property Owner	Address
45:417:0017	MECCA HOLDINGS LLC	377 S 800 W





SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provided by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this _____ day of _____, 2025.

Carolyn Lundberg, Mayor

ATTEST:

Britni Laidler,
Lindon City Recorder

SEAL

Item 6: Zoning Map Amendment – Regional Commercial

Date: July 8, 2025

Project Address: Parcels 45:417:0017

Applicant: Jeff Alexander

Property Owner: Mecca Holdings, LLC

General Plan: Flex Office

Current Zone: Research & Business

City File Number: 25-028-3

Type of Decision: Legislative

Council Action Required: Yes

Presenting Staff: Michael Florence



Summary of Key Issues

1. Whether to recommend approval of a request to amend the Research & Business zone to Regional Commercial.

Overview

The purpose of the request is to:

- Modify the zoning map boundaries between the R1-20 and General Commercial zones.
- Align the zoning boundaries with existing and proposed lot lines.
- Amend the Plat D of the Lindon Treasury Subdivision, contingent upon approval of the associated General Plan and zoning map amendments.
- Historically, city leaders designated the first 500 feet along State Street as General Commercial zoning. In some cases, the zoning and Future Land Use Map designations did not follow parcel boundaries, resulting in split-zoned properties.

Motions

I move to (*approve, deny, or continue*) ordinance 2025-11-O to amend the Lindon City zoning map from Research & Business to Regional Commercial with the following conditions:

1. All items of the staff report

Surrounding Zoning Designations and Land Use

North: Research & Business (RB) – Office parking lot

East: Research & Business (RB) – Office building

South: PC-1/PC-2 – Car dealerships

West: Light Industrial – Steel manufacturing plant

General Plan

See general plan goals and policies as found in the General Plan Land Use Map Amendment report for this same property.

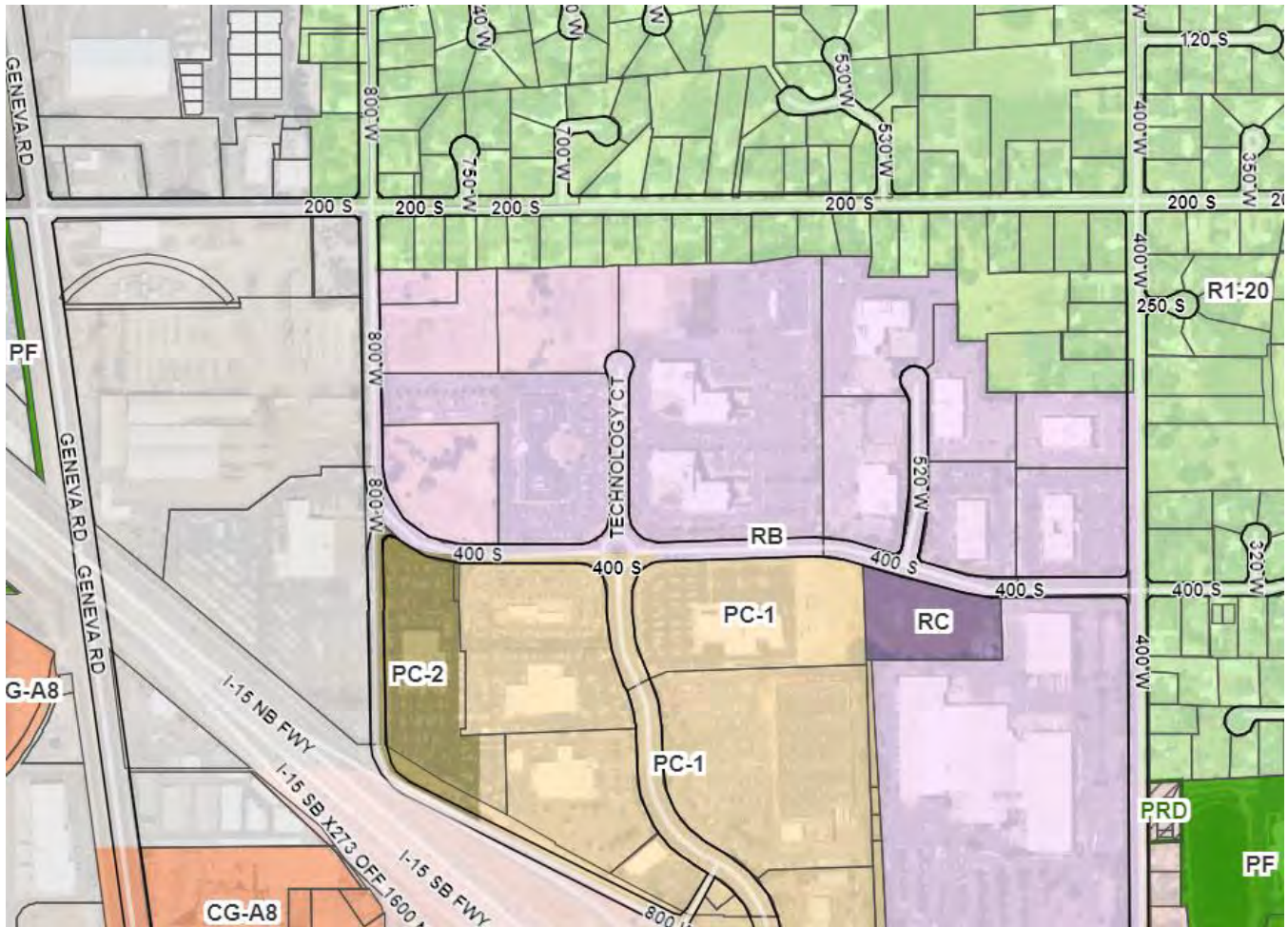
Staff Analysis

- See staff's analysis as found in the General Plan Land Use Map Amendment report for this same property.

Exhibits

1. Current Zoning Map Designation
2. Proposed Zoning Map Designation
3. Zoning Map Ordinance Amendment

Exhibit 1





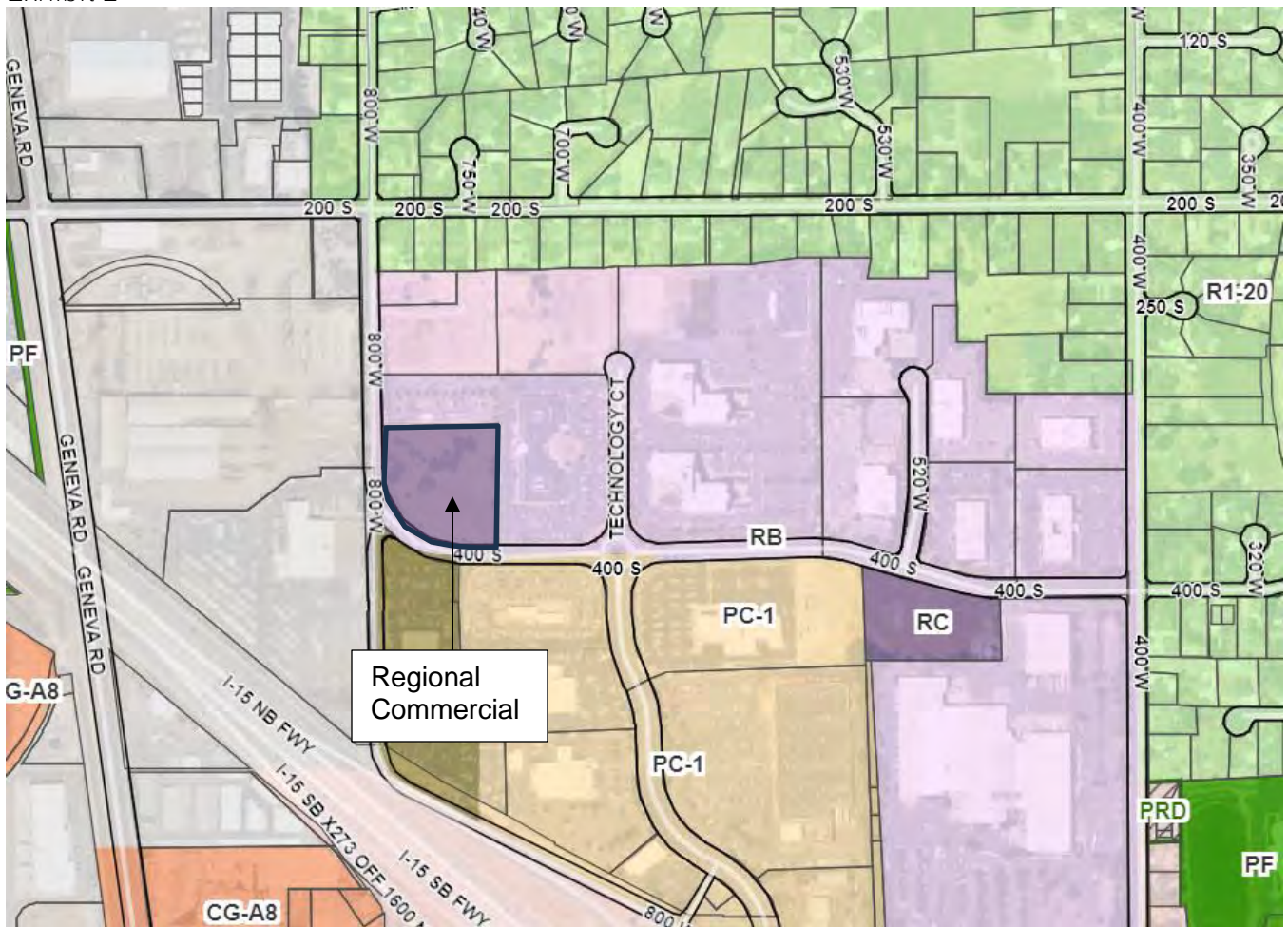
-  Research & Business
-  Regional Commercial

Exhibit 2



ORDINANCE NO. 2025-11-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING THE ZONING MAP ON PROPERTY IDENTIFIED BELOW FROM RESEARCH & BUSINESS TO REGIONAL COMMERCIAL AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council is authorized by state law to amend the Lindon City zoning map; and

WHEREAS, on June 26, 2025, a land use application was submitted to Lindon City to amend the Lindon City Zoning Map from Research & Business to Regional Commercial for parcel 45:417:0017; and

WHEREAS, on July 8, 2025, the Planning Commission held a properly noticed public hearing to hear testimony regarding the ordinance amendment; and

WHEREAS, after the public hearing, the Planning Commission further considered the proposed rezone, and recommended that the City Council adopt the zone map amendment as adopted in this ordinance; and

WHEREAS, the City Council finds that certain changes are desirous in order to implement the City's general plan goals Strike a balance between meeting future growth needs and demands while safeguarding the "Little Bit of Country" sense of place and high quality of life in Lindon; and

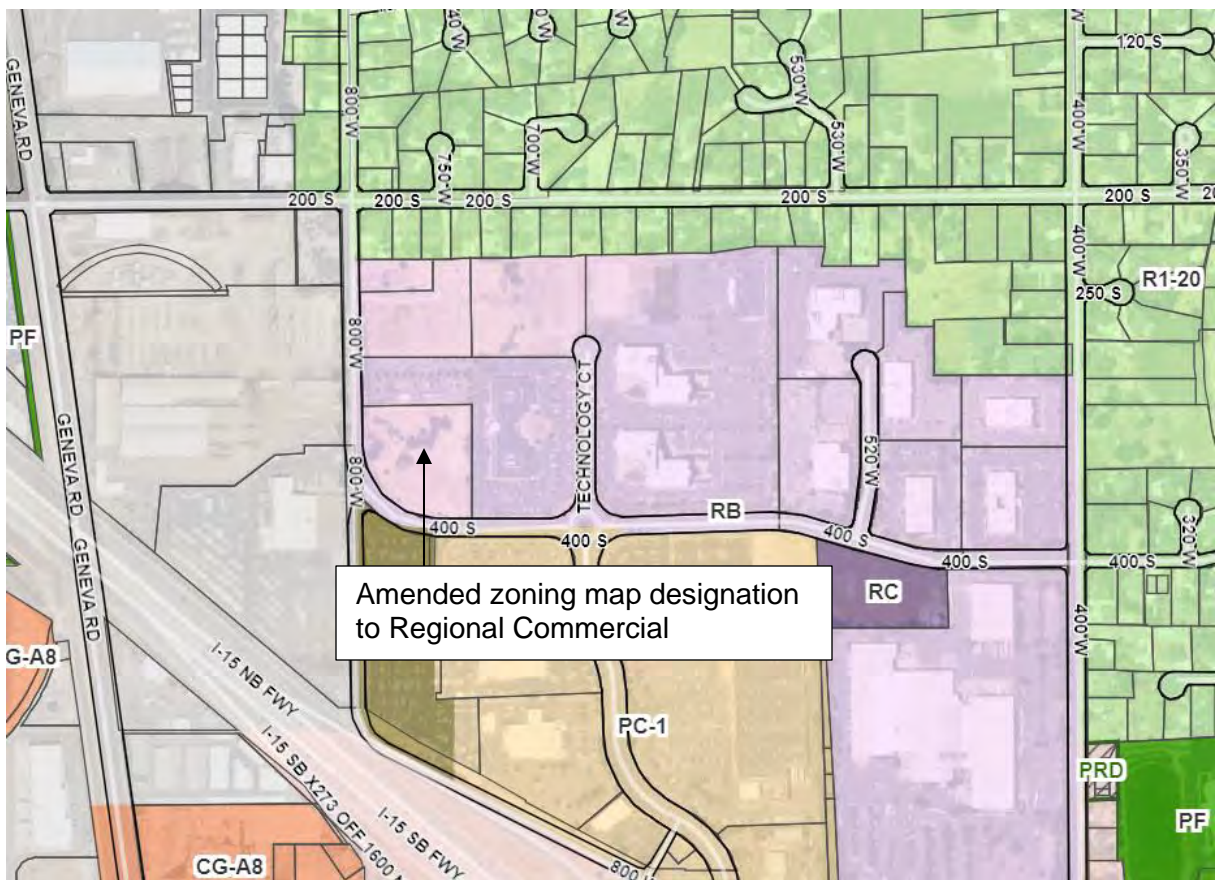
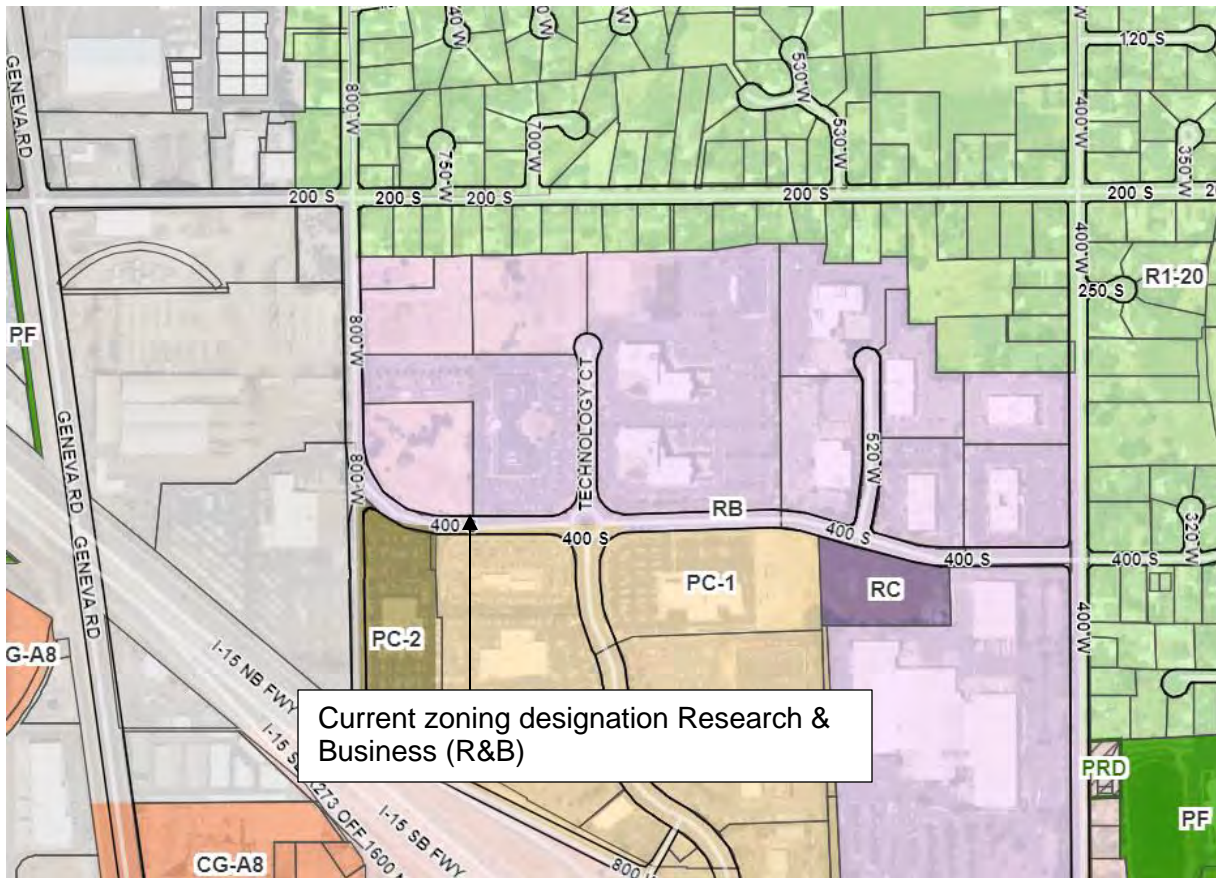
WHEREAS, the City Council finds that certain changes are desirous in order to implement the City's general plan goal to periodically review the future land use map and table to ensure that the uses continue to be compatible with the vision of the community.; and

WHEREAS, the Council held a public hearing _____, 20__, to consider the recommendation and the Council received and considered all public comments that were made therein; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lindon, Utah County, State of Utah, as follows:

SECTION I: The Lindon City Zoning Map is hereby amended as follows:

Parcel ID	Property Owner	Address
45:417:0017	MECCA HOLDINGS LLC	377 S 800 W





SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provided by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this _____ day of _____, 2025.

Carolyn Lundberg, Mayor

ATTEST:

Britni Laidler,
Lindon City Recorder

SEAL

Item 7: Site Plan Approval – 310 N. Geneva Road

Date: July 8, 2025

Applicant: Nate Reiner

Presenting Staff: Michael Florence

General Plan: Light Industrial

Current Zone: Light Industrial

Property Owner: DMR

INVESTMENTS LLC

Parcel ID: 14:064:0145

Type of Decision: Administrative

Council Action Required: No

Project #: 25-020-2



SUMMARY OF KEY ISSUES

1. The applicant is seeking site plan approval to develop 11.2 acres into two office/warehouse buildings

OVERVIEW

1. The applicant is proposing to construct two office/warehouse buildings.
 - a. Building 1 – 140,986 sq ft
 - b. Building 2 – 57,133

MOTION

I move to (*approve, deny, or continue*) the applicant's request for site plan approval for the property located at 310 North Geneva Road with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the engineering plans;
2. The plans will meet zoning and development specifications as found in the Lindon City Development Manual;
3. If required, complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required public infrastructure improvements;
4. Final building and site design will meet the requirements of the Light Industrial zone and applicable development requirements as found in Title 17 of the Lindon City Code;
5. Landscape percentages will be added to the plan to ensure landscape requirements are met; and
6. All items of the staff report.

Surrounding Zoning and Land Use

North: Light Industrial – office/warehouse

East: Public Facilities – Pheasant Brook Park

South: Light Industrial and Public Facilities – office/warehouse & Pheasant Brook Park

West: Heavy Industrial – Steel manufacturing plant

Site Development Standards

Parking

Parking standards are based on the zone and the different uses in the building and their respective square footage.

Required	Provided	Compliant?
250	253	Yes
Drive isle 24' width	26'	Yes
Bicycle parking. 6 required	8	Yes

Traffic Conditions

The site will have two access points. One access from Geneva Road and the other from 240 N.

Landscaping Standards

Landscaping standards are based on the zone and the amount of parking.

Interior Parking Lot Landscaping Standards	Compliant?
A parking lot with 10 or more required parking spaces shall provide at least 40 sq ft of interior landscaped area for each parking space. $45 \times 253 = 10,120$ sq ft required.	Yes, 10,128
The landscape materials shall consist of at least 75% living vegetation, and 25% of xeriscape materials.	Not indicated, but the site appears to meet this requirement
Trees must be installed within the interior parking lot landscaping areas at a ratio of 1 tree for every 10 required parking stalls.	Yes

Required Site Landscaping	Provided	Compliant?
A landscape strip 20 ft in width from the back of the sidewalk.	20'	Yes
Required nonlawn landscape area shall include a minimum seventy percent (70%) water efficient vegetative coverage.	Not indicated, but the landscape plan does not show lawn areas as part of the development	Yes
Trees must be planted every 30 ft on center along public streets. Also 10 ft from the edge of the landscape strip.	Trees are planted every 30'	Yes

Other Site Requirements

Requirements	Provided	Compliant?
Minimum Lot Size of 1 acre	11.2 acres	Yes
Building Setback <ul style="list-style-type: none">• Front: 20'• Rear: 0'• Side: 0	27 55' 130'/83'	Yes
Building Height: 48'	41'	Yes

Building Design and Architectural Standards

Architectural Design

Design Element	Design Standard Requirement	Proposed Design Element
Building Materials	Twenty-five percent (25%) minimum of the exterior of all buildings (except as permitted in 17.49.070(4)) shall be covered with brick, decorative block, stucco, wood, or other similar materials as approved by the Planning Commission. Precast concrete or concrete tilt-up buildings also meet the architectural treatment requirement, subject to the standards in section 17.49.070(2). (These architectural treatment standards are not applicable in the HI zone).	Yes. The applicant is proposing concrete tilt-up buildings. Architectural features will consist of glass storefront windows, canopies over the entrances, and an architectural metal panel. The applicant is also proposing similar architectural features for the side of the building facing Geneva Road.
Color	Earth-tone colors	Earth-tone colors

Engineering Requirements

The City Engineer is working through technical issues related to the civil engineering plans and will ensure all engineering related issues are resolved before final approval is granted.

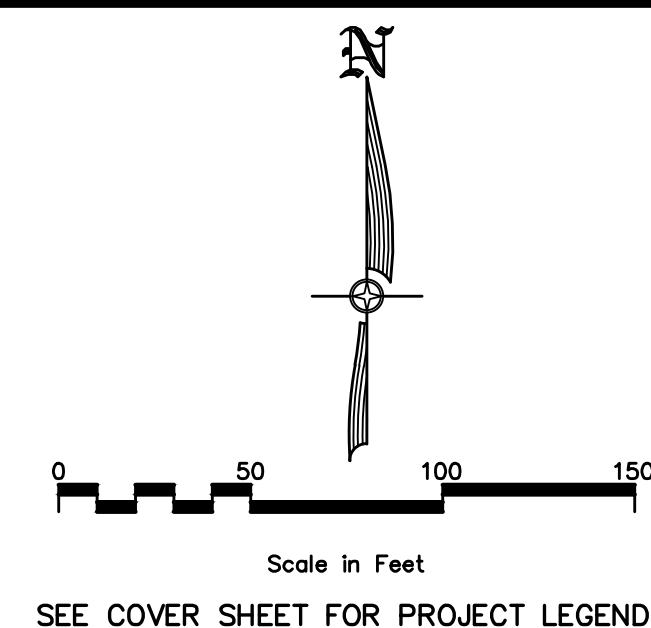
Staff Analysis

The developer is providing a well-designed site great landscape treatments. The development will replace an under utilized property. It is unclear from the plans if a fence will be installed between the development and Pheasant Brook Park. The park is zoned Public Facilities so a fence is not required to be installed. However, it would be a good idea for the developer to install a fence. Additional discussion regarding the fence should be discussed with the planning commission.

EXHIBITS

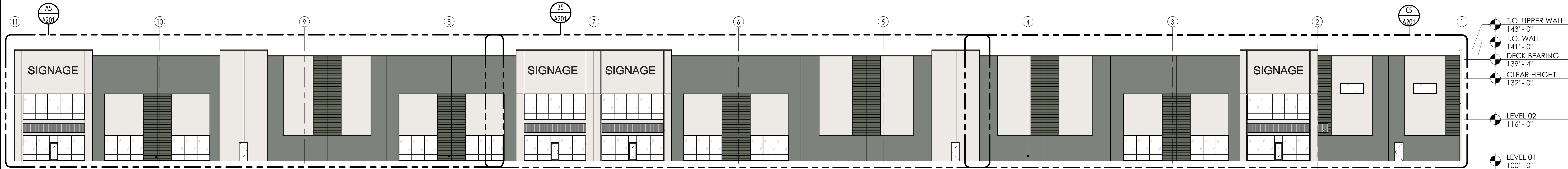
1. Aerial photo
2. Site plan
3. Architectural renderings
4. Landscape plan





PROJECT ID	DATE:
E25-030	05/19/25
FILE NAME:	SCALE:
PRJ-LRI	1"=50'

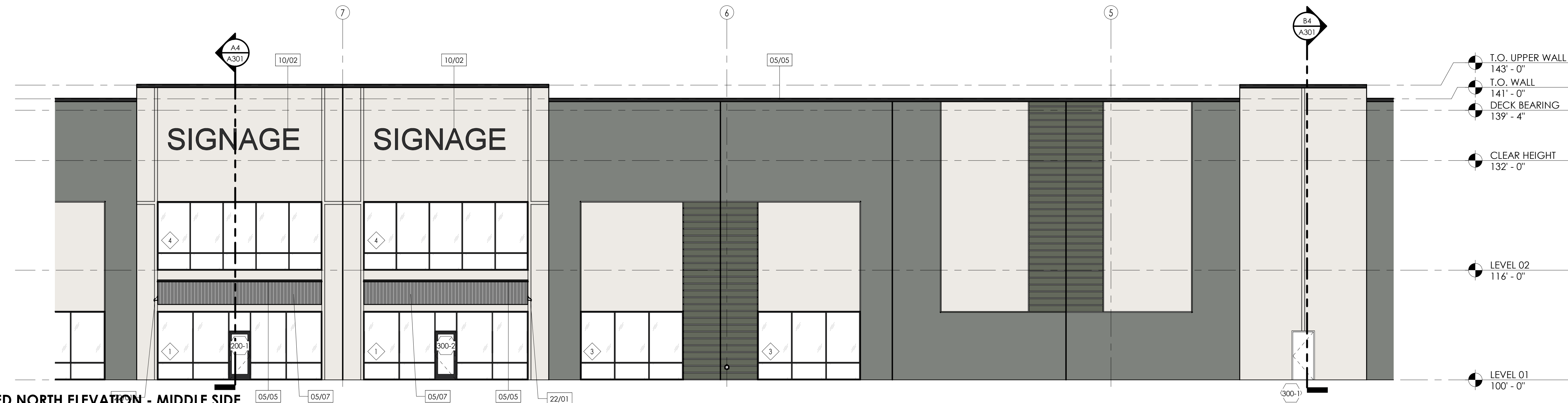




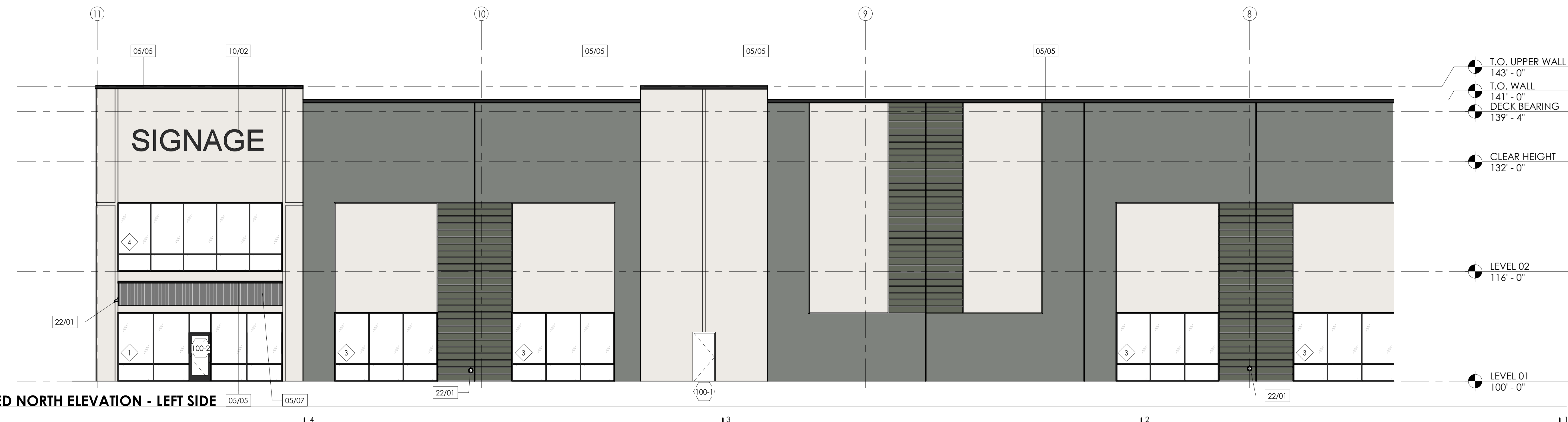
NORTH ELEVATION
1/16" = 1'-0"



ENLARGED NORTH ELEVATION - RIGHT SIDE
1/8" = 1'-0"



ENLARGED NORTH ELEVATION - MIDDLE SIDE
1/8" = 1'-0"



ENLARGED NORTH ELEVATION - LEFT SIDE
1/8" = 1'-0"

GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A-501 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHAN SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
- ALL GLAZING TO MATCH LOOK AND STYLE.

FOR FUTURE TENANTS

PROVIDE MOUNTING DETAILS FOR WALL MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED AND MONUMENT SIGNS EXCEEDING 6 FT TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2 FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

EXTERIOR ELEVATION COLOR:

- = PAINTED TILT-UP CONCRETE PANEL. COLOR - SW 7067 CITYSCAPE
- = PAINTED TILT-UP CONCRETE PANEL. COLOR - SW 7004 SNOWBOUND
- = PAINTED TILT-UP CONCRETE PANEL. COLOR - SW 6187 ROSEMARY
- = ACM METAL PANEL. COLOR - ALUCOBOND PLUS FOCUS BLACK
- = STOREFRONT/ CURTAINWALL GLAZING
- = MULLIONS - BLACK ANNOXIDIZED

NOTES

- CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
- ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
- SEE SHEET A702 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
- ALL EXTERIOR GLASS TO BE DOUBLE PANE TINTED AND TO BE LOW 'E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
- REFER TO MECHANICAL COM-CHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

GLAZING LEGEND:

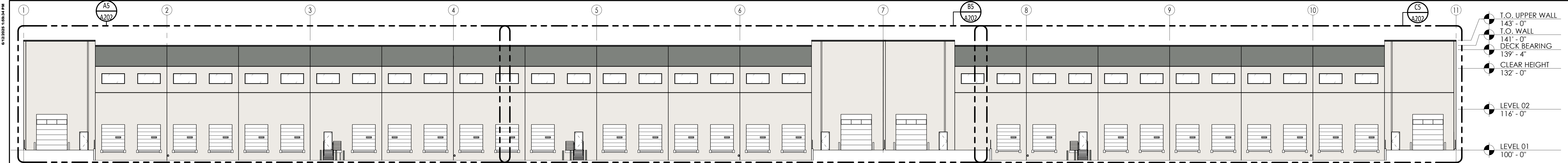
- DOUBLE PANE TINTED GLASS - LOW 'E' U-FACTOR: 0.38 MAX. SHGC: 0.38 MIN.
- DOUBLE PANE CLEAR TEMPERED GLASS - LOW 'E' U-FACTOR: 0.38 MAX. SHGC: 0.38 MIN.
- SPANDREL GLASS
- DOUBLE PANE CLEAR GLASS

KEYNOTE LEGEND

DATE	DESCRIPTION
05/05	METAL CAP FLASHING
05/07	ENTRANCE CANOPY. SEE DETAIL C2/A121.
10/02	BUILDING SIGNAGE COORDINATED BY OWNER - SIGNAGE PERMIT TO BE SEPARATE FROM BUILDING PERMIT.
22/01	6" COW TONGUE DOWNSPOUT

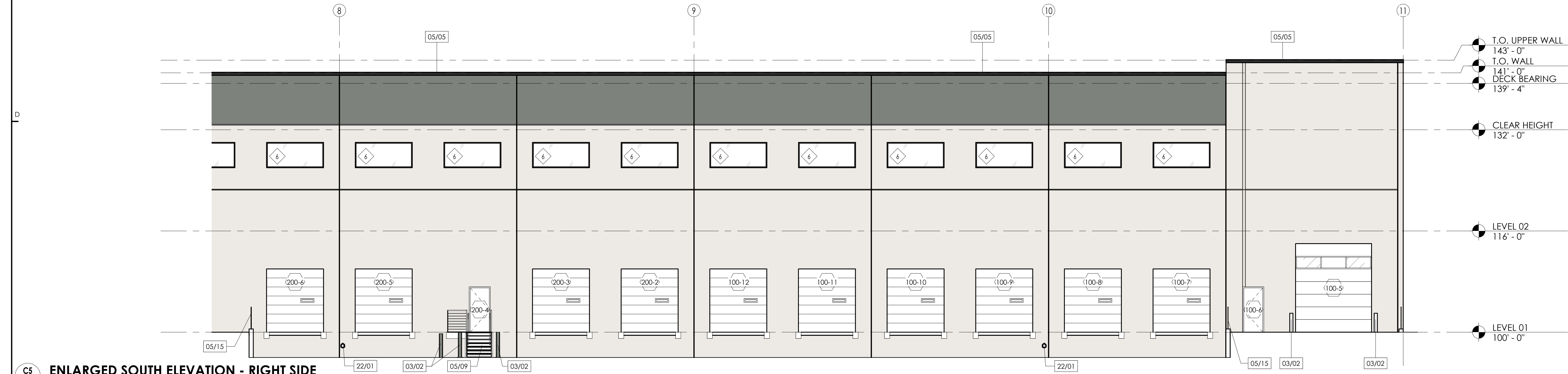
C:\Users\jordan\Documents\AE2025.066 - Forge - Linton Industrial - Building 01 - gendesigns.com.rvt

C:\Users\jordan\Documents\AE2025.066 - Forge - Linton Industrial - Building 01 - gendesigns.com.rvt



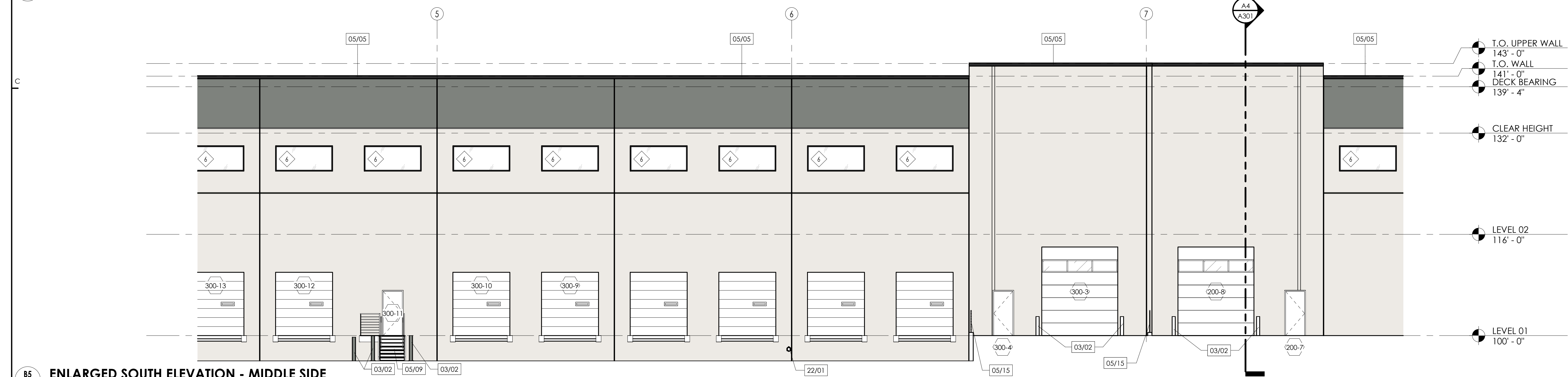
SOUTH ELEVATION

DS
A202
1/16" = 1'-0"



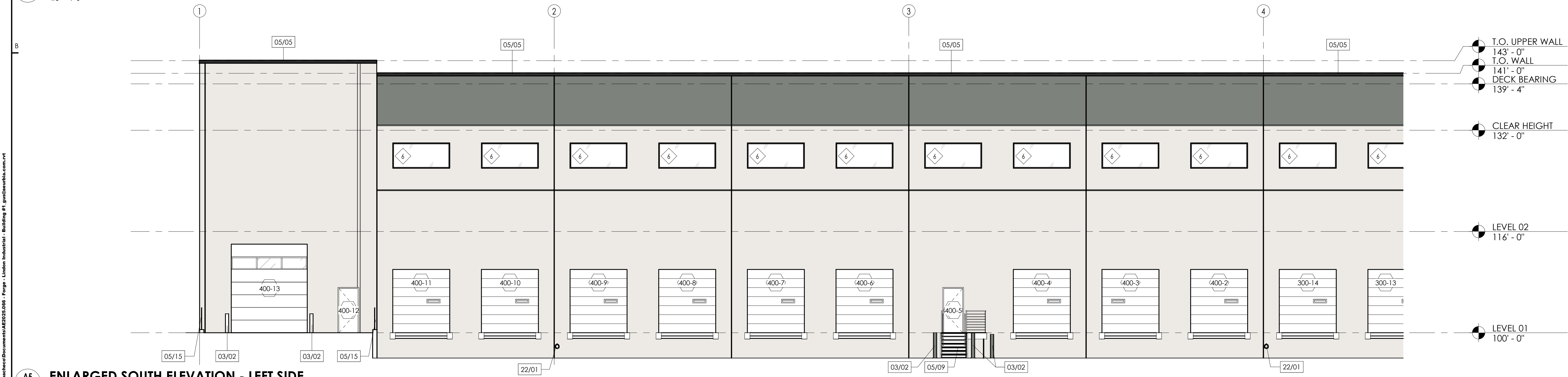
ENLARGED SOUTH ELEVATION - RIGHT SIDE

CS
A202
1/8" = 1'-0"



ENLARGED SOUTH ELEVATION - MIDDLE SIDE

BS
A202
1/8" = 1'-0"



ENLARGED SOUTH ELEVATION - LEFT SIDE

AS
A202
1/8" = 1'-0"

GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A-501 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHAN SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
- ALL GLAZING TO MATCH LOOK AND STYLE.

FOR FUTURE TENANTS

PROVIDE MOUNTING DETAILS FOR WALL MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED AND MONUMENT SIGNS EXCEEDING 6 FT TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2 FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

EXTERIOR ELEVATION COLOR:

- = PAINTED TILT-UP CONCRETE PANEL. COLOR - SW 7067 CITYSCAPE
- = PAINTED TILT-UP CONCRETE PANEL. COLOR - SW 7004 SNOWBOUND
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- = ACM METAL PANEL. COLOR - ALUCOBOND PLUS FOCUS BLACK
- = STOREFRONT/ CURTAINWALL GLAZING
- = MULLIONS - BLACK ANNOXIDIZED

NOTES

- CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
- ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
- SEE SHEET A702 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
- ALL EXTERIOR GLASS TO BE DOUBLE PANE TINTED AND TO BE LOW 'E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
- REFER TO MECHANICAL COM-CHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

GLAZING LEGEND:

- DOUBLE PANE TINTED GLASS - LOW 'E' U-FACTOR: 0.38 MAX. SHGC: 0.38 MIN.
- DOUBLE PANE CLEAR TEMPERED GLASS - LOW 'E' U-FACTOR: 0.38 MAX. SHGC: 0.38 MIN.
- SPANDREL GLASS
- DOUBLE PANE CLEAR GLASS

KEYNOTE LEGEND

DATE	DESCRIPTION	REVISION
03/02	6" STEEL BOLLARD FILLED WITH CONCRETE	
05/05	METAL CAP FLASHING	
05/09	METAL GRATING STAIR, GALVANIZED FINISH. PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION.	
05/15	42" GUARDRAILING, GALVANIZED FINISH - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION.	
22/01	6" COW TONGUE DOWNSPOUT	

**PRELIMINARY
NOT FOR
CONSTRUCTION**

6/12/2025 1:59:34 PM

FORGE - LINDON INDUSTRIAL BLD#1
FORGE CONTRACTORS
310 NORTH GENEVA ROAD
LINDON, UT 84042

Revision Schedule	Revision Date
DATE	DESCRIPTION
DATE	DESCRIPTION

AE2025.066
**BUILDING
ELEVATION**

DATE: **06.17.2025**

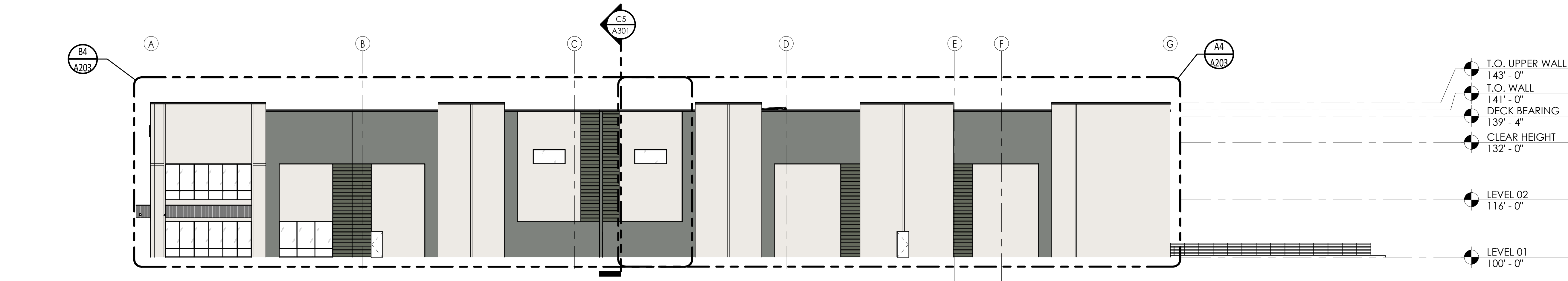
SHEET #:

A202

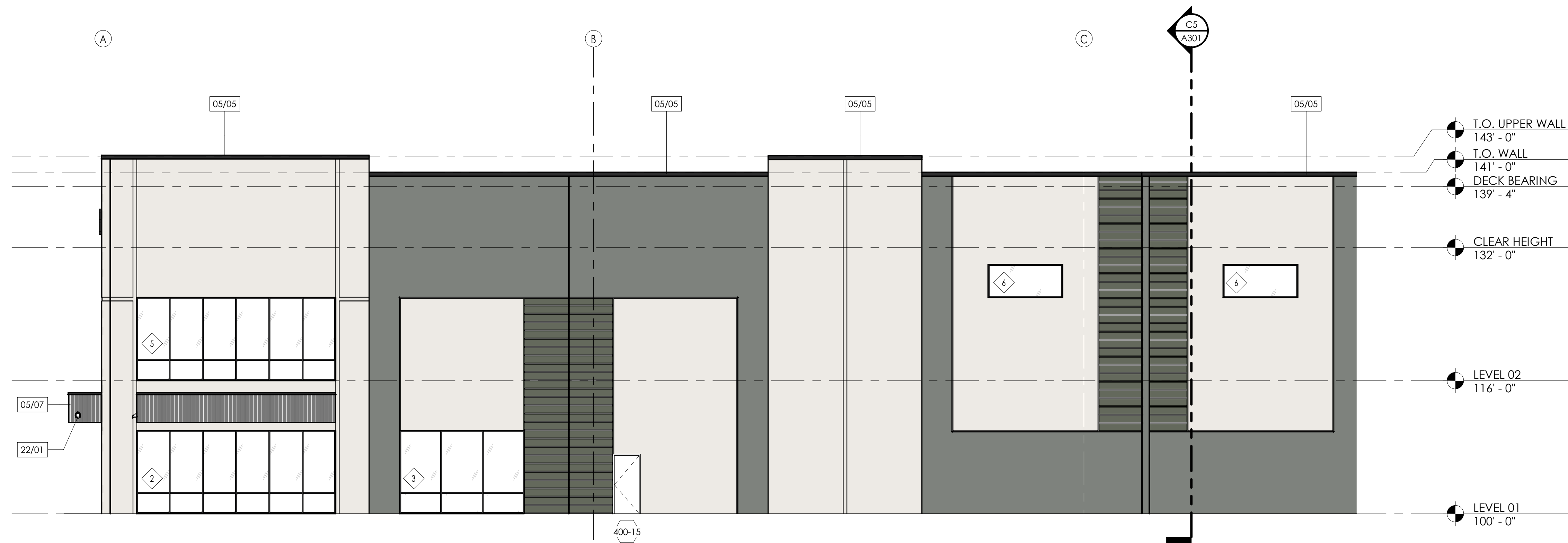
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PROJECT STATUS

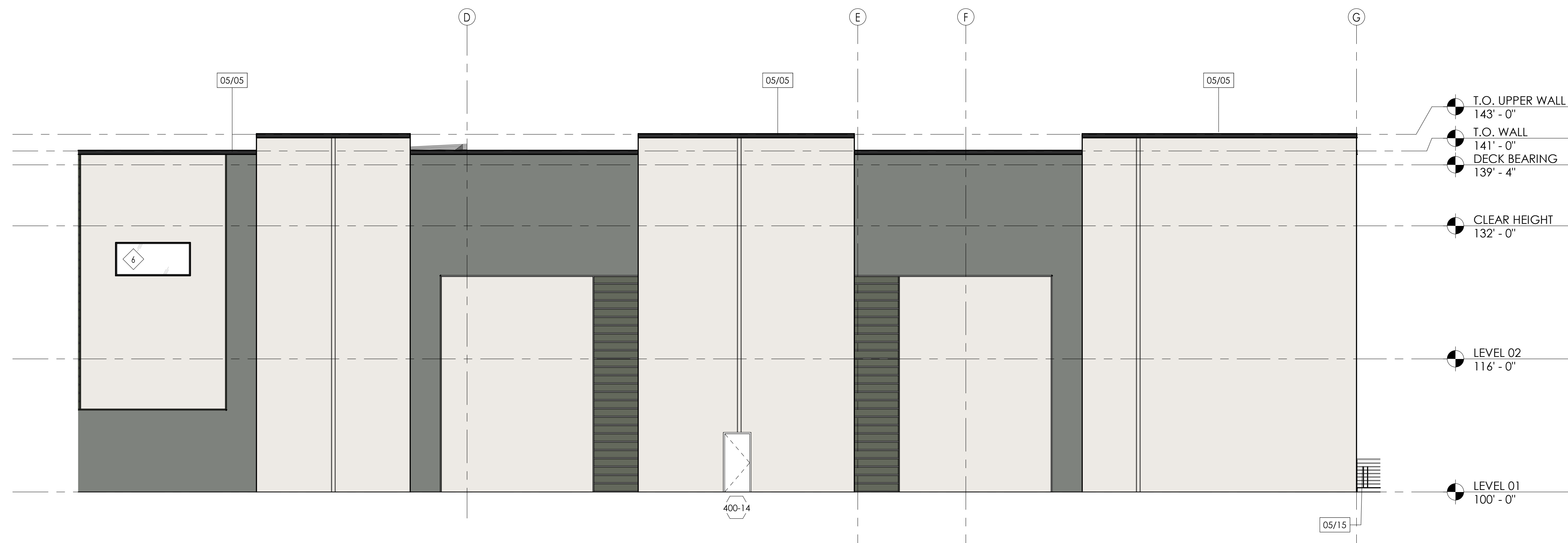
6/12/2025 1:59:34 PM



D5 A203
WEST ELEVATION
1/16" = 1'-0"



B4 A203
ENLARGED WEST ELEVATION - LEFT SIDE
1/8" = 1'-0"



A4 A203
ENLARGED WEST ELEVATION - RIGHT SIDE
1/8" = 1'-0"

GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A-501 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHAN SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
- ALL GLAZING TO MATCH LOOK AND STYLE.

FOR FUTURE TENANTS

PROVIDE MOUNTING DETAILS FOR WALL MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED AND MONUMENT SIGNS EXCEEDING 6 FT TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2 FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

EXTERIOR ELEVATION COLOR:

- = PAINTED TILT-UP CONCRETE PANEL, COLOR - SW 7067 CITYSCAPE
- = PAINTED TILT-UP CONCRETE PANEL, COLOR - SW 7004 SNOWBOUND
- = PAINTED TILT-UP CONCRETE PANEL, COLOR - SW 6187 ROSEMARY
- = ACM METAL PANEL, COLOR - ALUCOBOND PLUS FOCUS BLACK
- = STOREFRONT/ CURTAINWALL GLAZING
- = MULLIONS - BLACK ANNOXIDIZED

NOTES

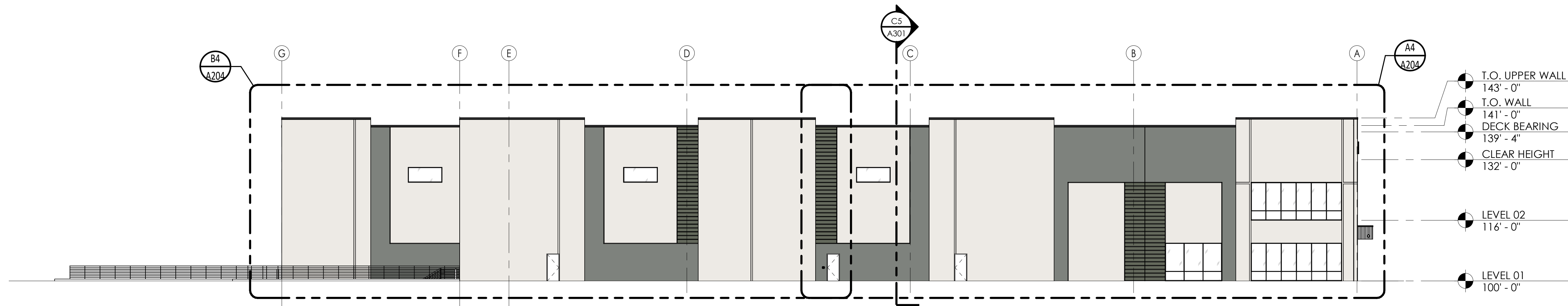
- CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
- ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
- SEE SHEET A702 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
- ALL EXTERIOR GLASS TO BE DOUBLE PANE TINTED AND TO BE LOW 'E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
- REFER TO MECHANICAL COM-CHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

GLAZING LEGEND:

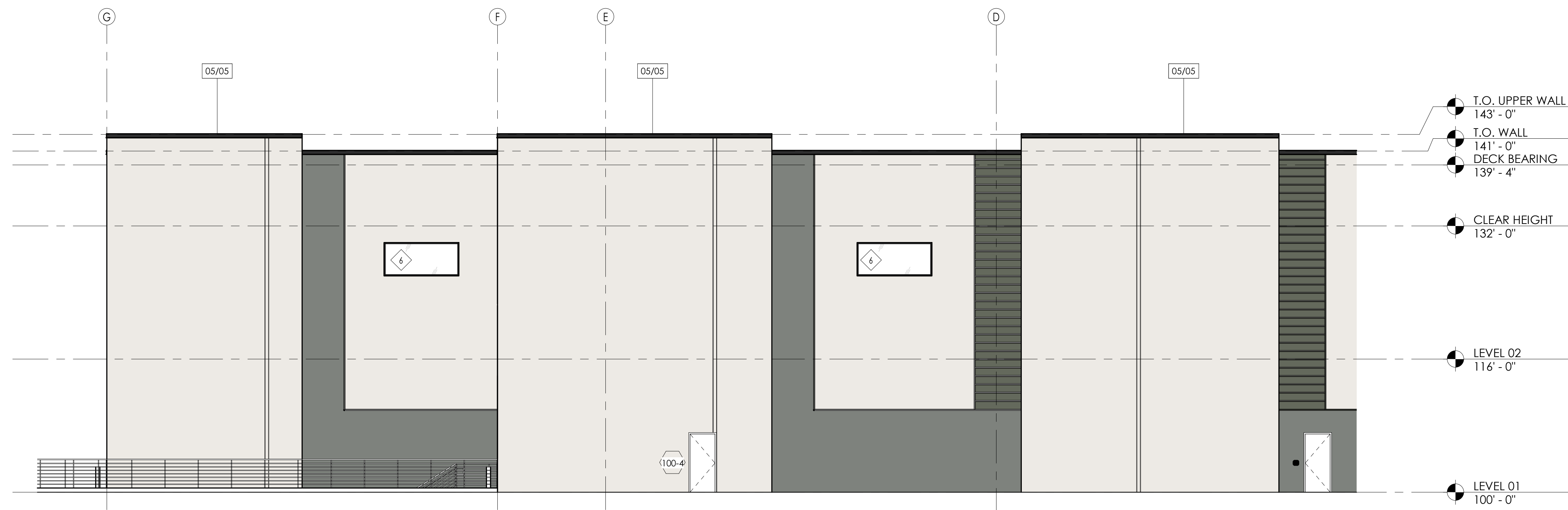
- DOUBLE PANE TINTED GLASS - LOW 'E' U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- DOUBLE PANE CLEAR TEMPERED GLASS - LOW 'E' U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- SPANDREL GLASS
- DOUBLE PANE CLEAR GLASS

KEYNOTE LEGEND

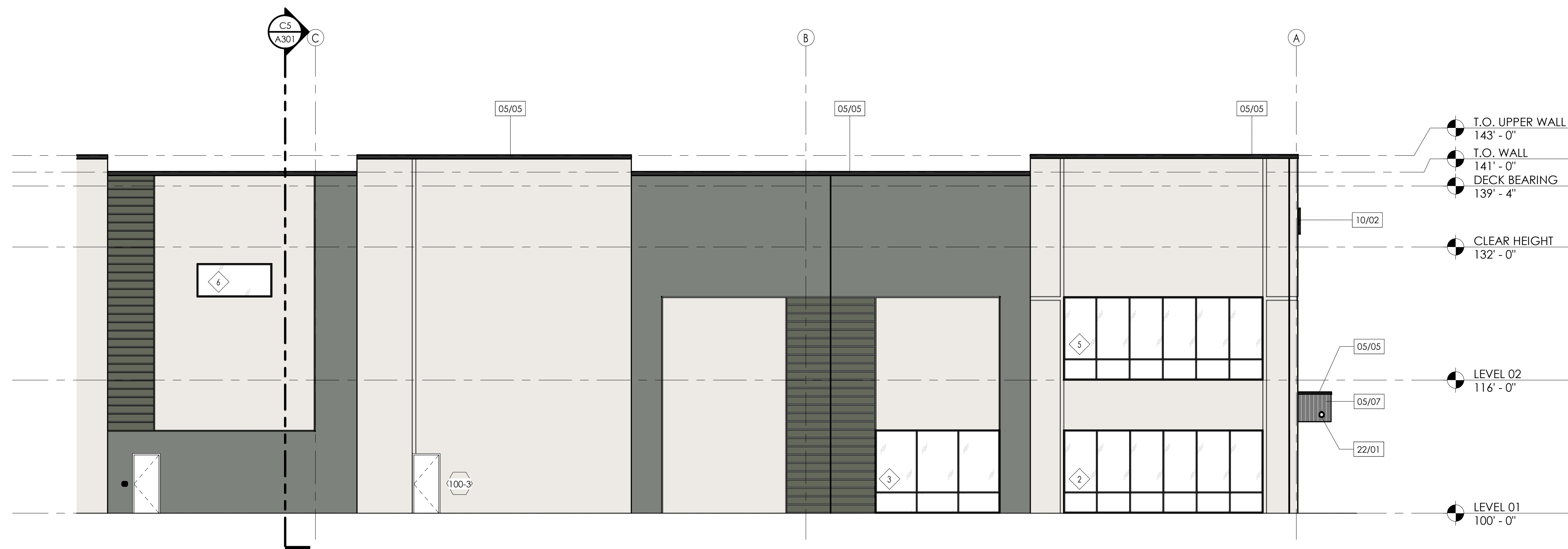
DATE	DESCRIPTION
05/05	METAL CAP FLASHING
05/07	ENTRANCE CANOPY, SEE DETAIL C2/A121.
05/15	42" GUARDRAILING, GALVANIZED FINISH - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION.
22/01	6" COW TONGUE DOWNSPOUT



**D4
A204** **EAST ELEVATION**
1/16" = 1'-0"



**B4
A204** **ENLARGED EAST ELEVATION - LEFT SIDE**
1/8" = 1'-0"



**A4
A204** **ENLARGED EAST ELEVATION - RIGHT SIDE**
1/8" = 1'-0"

GENERAL EXTERIOR FINISH NOTES

1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A-501 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHAN SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
6. ALL GLAZING TO MATCH LOOK AND STYLE.

FOR FUTURE TENANTS

PROVIDE MOUNTING DETAILS FOR WALL MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED AND MONUMENT SIGNS EXCEEDING 6 FT TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2 FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

EXTERIOR ELEVATION COLOR:

- PAINTED TILT-UP CONCRETE PANEL
COLOR - SW 7067 CITYSCAPE
- PAINTED TILT-UP CONCRETE PANEL
COLOR - SW 7004 SNOWBOUND
- PAINTED TILT-UP CONCRETE PANEL
COLOR - SW 6187 ROSEMARY
- ACM METAL PANEL
COLOR - ALUCOBOND PLUS FOCUS BLACK
- STOREFRONT/ CURTAINWALL GLAZING
- MULLIONS - BLACK ANNOXIDIZED

NOTES

1. CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
2. ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
3. SEE SHEET A702 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
4. ALL EXTERIOR GLASS TO BE DOUBLE PANE TINTED AND TO BE LOW 'E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
5. REFER TO MECHANICAL COM-CHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

GLAZING LEGEND:

- DOUBLE PANE TINTED GLASS - LOW 'E'
U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- DOUBLE PANE CLEAR TEMPERED GLASS - LOW 'E'
U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- SPANDREL GLASS
- DOUBLE PANE CLEAR GLASS

KEYNOTE LEGEND

DATE	DESCRIPTION
05/05	METAL CAP FLASHING
05/07	ENTRANCE CANOPY, SEE DETAIL C2/A121.
10/02	BUILDING SIGNAGE COORDINATED BY OWNER - SIGNAGE PERMIT TO BE SEPARATE FROM BUILDING PERMIT.
22/01	6" COW TONGUE DOWNSPOUT

**PRELIMINARY
NOT FOR
CONSTRUCTION**

6/12/2025 1:59:36 PM

FORGE - LINDON INDUSTRIAL BLD#1
FORGE CONTRACTORS
310 NORTH GENEVA ROAD
LINDON, UT 84042

Revision	Schedule	Description	Revision Date
1	1	1	1

AE2025.066

**BUILDING
ELEVATION**

DATE: **06.17.2025**

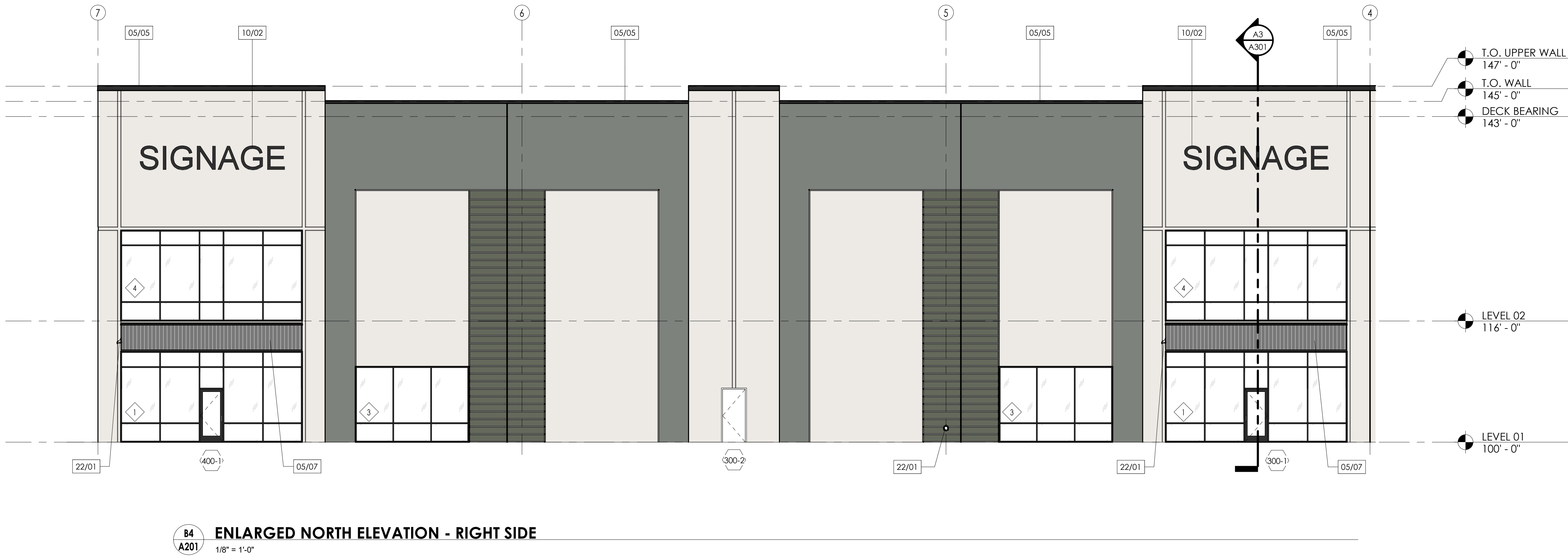
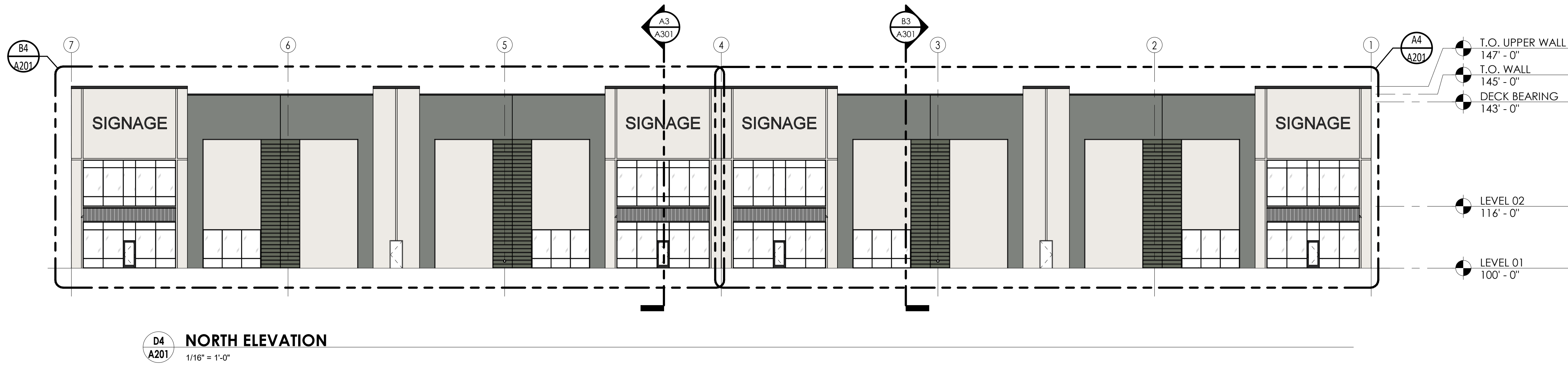
SHEET #:

A204

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PROJECT STATUS

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GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A-501 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHAN SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
- ALL GLAZING TO MATCH LOOK AND STYLE.

FOR FUTURE TENANTS

PROVIDE MOUNTING DETAILS FOR WALL MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED AND MONUMENT SIGNS EXCEEDING 6 FT TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2 FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

EXTERIOR ELEVATION COLOR:

- PAINTED TILT-UP CONCRETE PANEL, COLOR - SW 7067 CITYSCAPE
- PAINTED TILT-UP CONCRETE PANEL, COLOR - SW 7004 SNOWBOUND
- PAINTED TILT-UP CONCRETE PANEL, COLOR - SW 6187 ROSEMARY
- ACM METAL PANEL, COLOR - ALUCOBOND PLUS FOCUS BLACK
- STOREFRONT/ CURTAINWALL GLAZING
- MULLIONS - BLACK ANNOXIDIZED

NOTES

- CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
- ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
- SEE SHEET A702 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
- ALL EXTERIOR GLASS TO BE DOUBLE-PANE TINTED AND TO BE LOW 'E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
- REFER TO MECHANICAL COM-CHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

GLAZING LEGEND:

- DOUBLE PANE TINTED GLASS - LOW 'E' U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- DOUBLE PANE CLEAR TEMPERED GLASS - LOW 'E' U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- SPANDREL GLASS
- DOUBLE PANE CLEAR GLASS

KEYNOTE LEGEND

REVISION	DESCRIPTION	DATE
05/05	METAL CAP FLASHING	
05/07	ENTRANCE CANOPY, SEE DETAIL C2/A121.	
10/02	BUILDING SIGNAGE COORDINATED BY OWNER - SIGNAGE PERMIT TO BE SEPARATE FROM BUILDING PERMIT.	
22/01	6" COW TONGUE DOWNSPOUT	

PRELIMINARY
NOT FOR
CONSTRUCTION

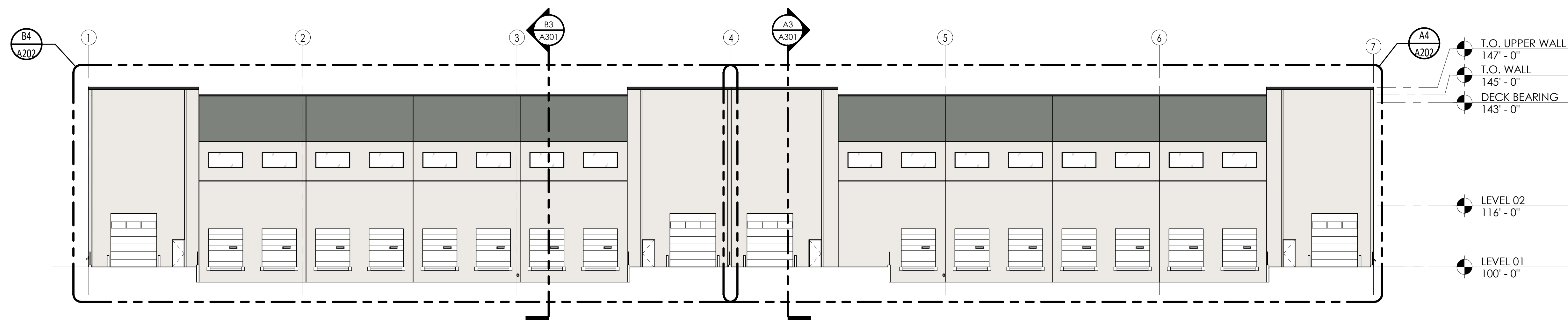
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FORGE - LINDON INDUSTRIAL BLD#2
CLIENT NAME
310 NORTH GENEVA ROAD
LINDON, UT 84042

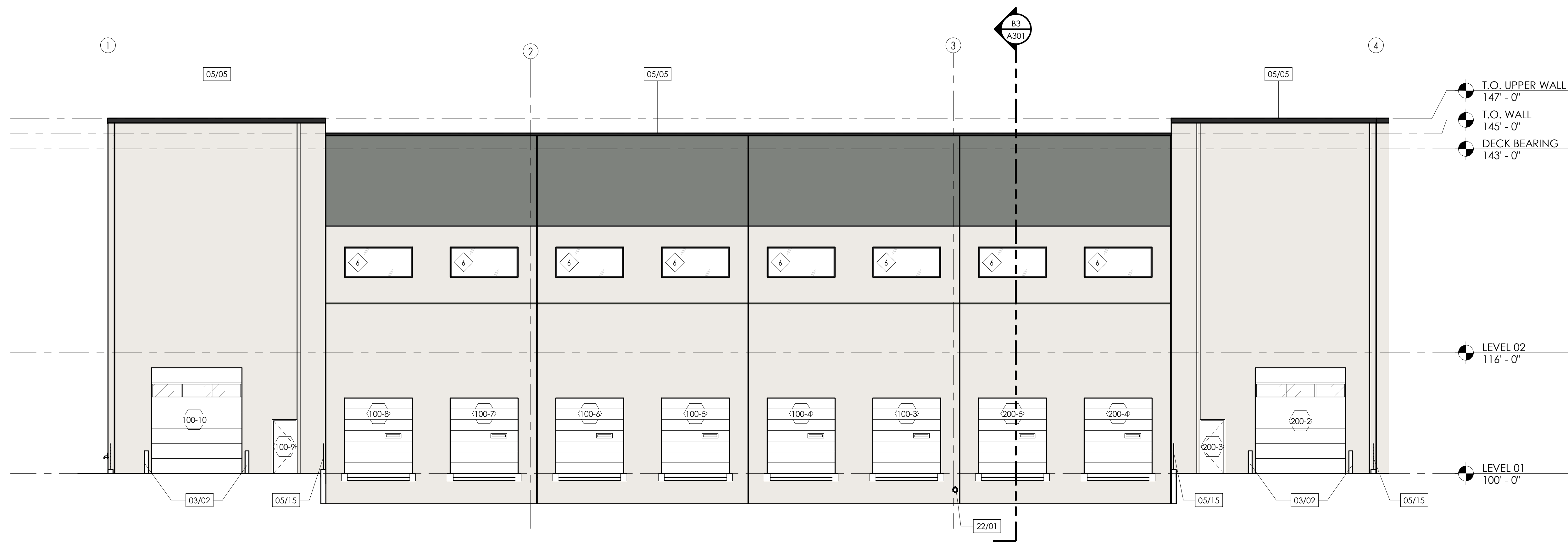
PROJECT STATUS

A201

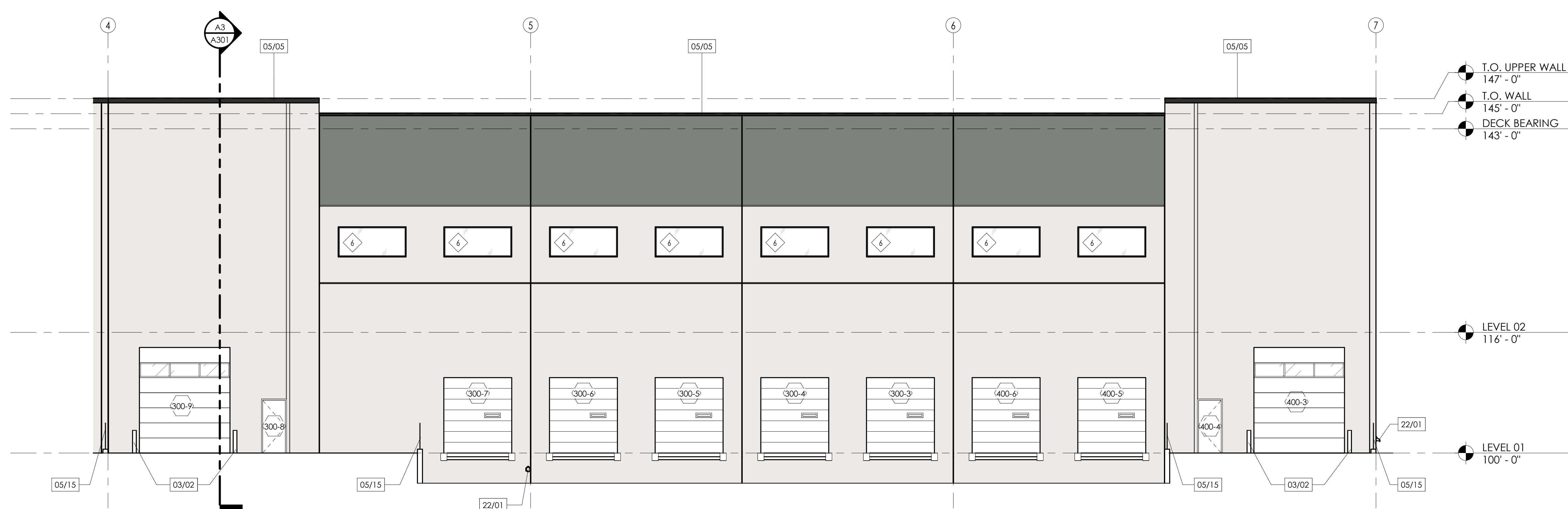
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D4 SOUTH ELEVATION
A202
1/16" = 1'-0"



B4 ENLARGED SOUTH ELEVATION - LEFT SIDE
A202
1/8" = 1'-0"



A4 ENLARGED SOUTH ELEVATION - RIGHT SIDE
A202
1/8" = 1'-0"

GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
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- = ACM METAL PANEL, COLOR - ALUCOBOND PLUS FOCUS BLACK
- = STOREFRONT/ CURTAINWALL GLAZING
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NOTES

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- REFER TO MECHANICAL COM-CHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

GLAZING LEGEND:

- 1 DOUBLE PANE TINTED GLASS - LOW 'E'
U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- 2 DOUBLE PANE CLEAR TEMPERED GLASS - LOW 'E'
U-FACTOR: 0.38 MAX, SHGC: 0.38 MIN.
- 3 SPANDREL GLASS
- 4 DOUBLE PANE CLEAR GLASS

KEYNOTE LEGEND

REVISION	DATE	DESCRIPTION
03/02		6" STEEL BOLLARD FILLED WITH CONCRETE
05/05		METAL CAP FLASHING
05/15		42" GUARDRAILING, GALVANIZED FINISH - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION.
22/01		6" COW TONGUE DOWNSPOUT

**PRELIMINARY
NOT FOR
CONSTRUCTION**

5/19/2025 10:10:22 AM

FORGE - LINDON INDUSTRIAL BLD#2

CLIENT NAME
310 NORTH GENEVA ROAD
LINDON, UT 84042

AE2025.066

**BUILDING
ELEVATION**

DATE: **04.25.2025**

SHEET #:

A203

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PROJECT STATUS
5/19/2025 10:10:22 AM

Revision Schedule
Revision Date
MARK DESCRIPTION

GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
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FOR FUTURE TENANTS

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- = PAINTED TILT-UP CONCRETE PANEL. COLOR - SW 6187 ROSEMARY
- = ACM METAL PANEL. COLOR - ALUCOBOND PLUS FOCUS BLACK
- = STOREFRONT/ CURTAINWALL GLAZING
- = MULLIONS - BLACK ANNOXIDIZED

NOTES

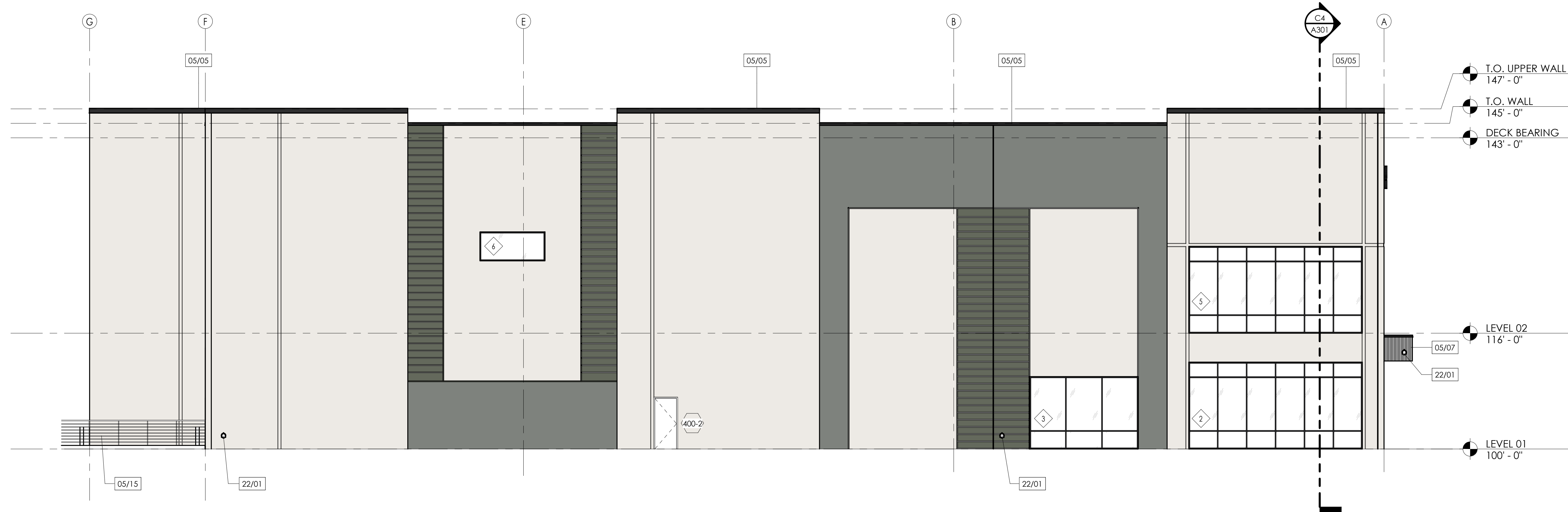
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GLAZING LEGEND:

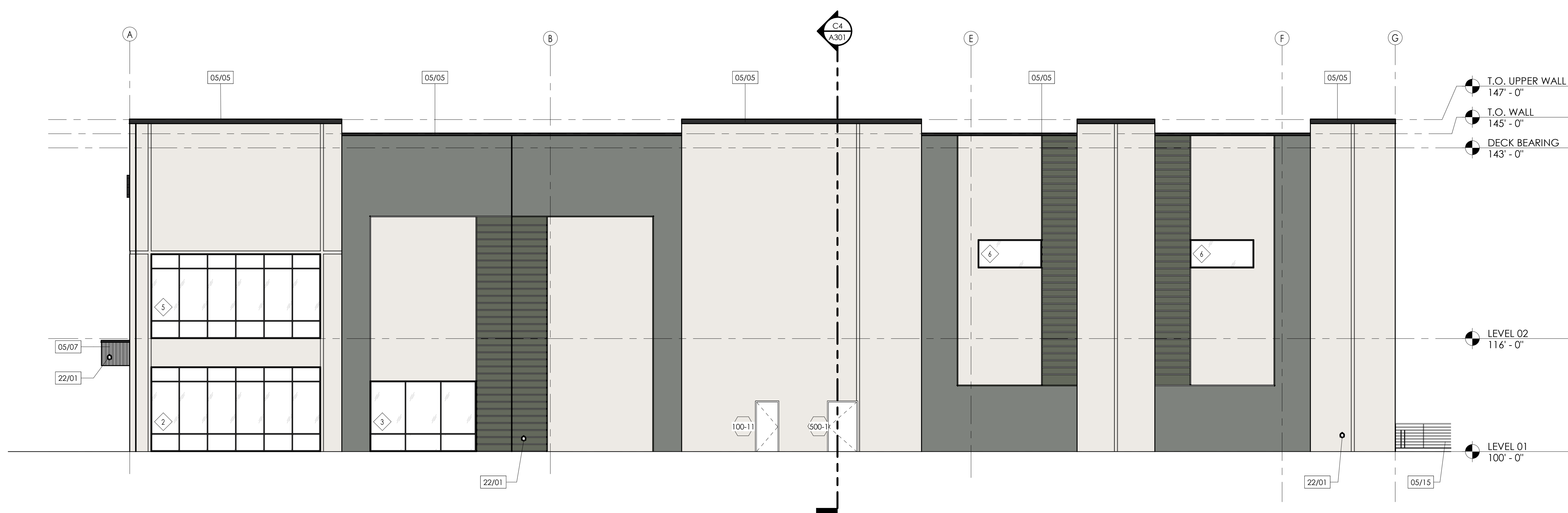
- DOUBLE PANE TINTED GLASS - LOW 'E' U-FACTOR: 0.38 MAX. SHGC: 0.38 MIN.
- DOUBLE PANE CLEAR TEMPERED GLASS - LOW 'E' U-FACTOR: 0.38 MAX. SHGC: 0.38 MIN.
- SPANDREL GLASS
- DOUBLE PANE CLEAR GLASS

KEYNOTE LEGEND

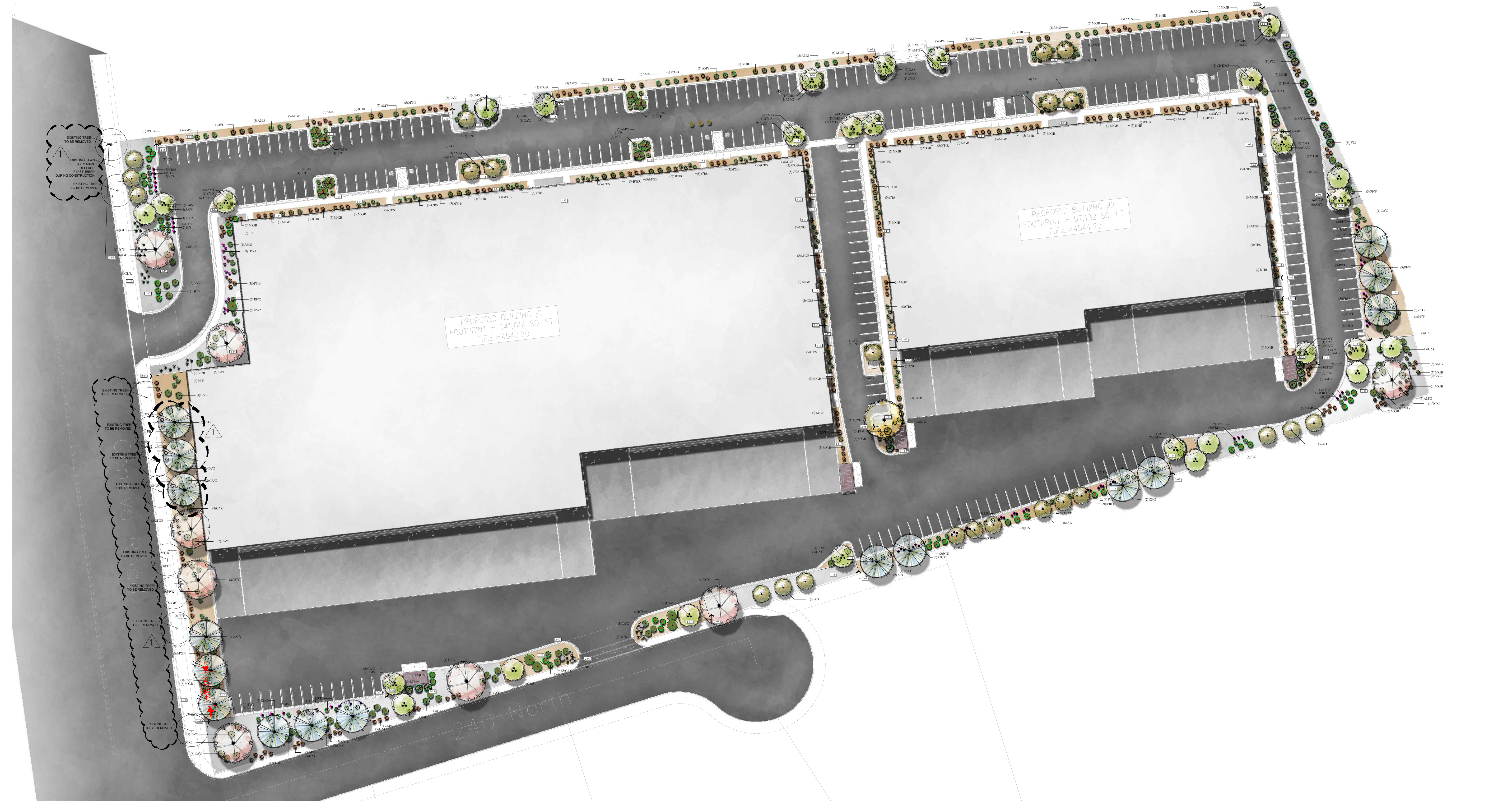
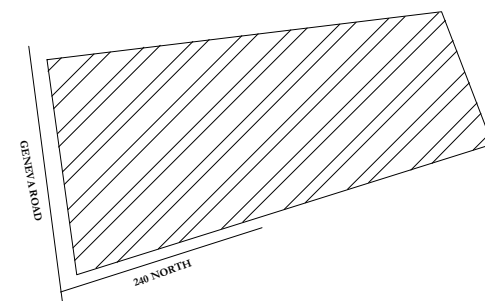
DATE	DESCRIPTION
05/05	METAL CAP FLASHING
05/07	ENTRANCE CANOPY. SEE DETAIL C2/A121.
05/15	42" GUARDRAILING, GALVANIZED FINISH - PROVIDE SUBMITAL FOR APPROVAL PRIOR TO FABRICATION.
22/01	6" COW TONGUE DOWNSPOUT



**C5
A203** **EAST ELEVATION**
1/8" = 1'-0"

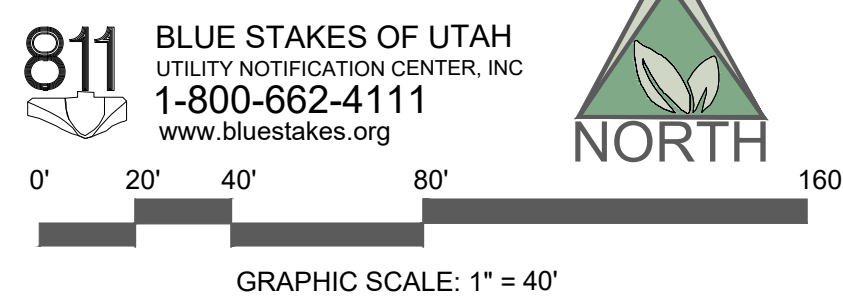


**D5
A203** **WEST ELEVATION**
1/8" = 1'-0"



ISSUE DATE		PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
6/17/2025		UT25089	THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 06/17/2025		AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455	PKJ DESIGN GROUP Landscape Architecture Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 995-2217 www.pkjdesigngroup.com		PM: JTA DRAWN: ACP CHECKED: KBA PLOT DATE: 6/17/2025
NO.	REVISION	DATE						
1	CITY COMMENTS	06-17-2025						
2								
3								
4								

FORGE - LINDON INDUSTRIAL 240 N. GENEVA ROAD LINDON, UTAH



COLOR ILLUSTRATION
CITY PERMIT SET
LP-COLOR