



## DEVELOPMENT REVIEW COMMITTEE

Tuesday, July 08, 2025, at 10:00 AM  
Council Chambers at City Hall Building and Online  
110 S. Center Street, Santaquin, UT 84655

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://www.youtube.com/@santaquincity> or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### NEW BUSINESS

**1. Cortland Townhomes Preliminary Plan**

A preliminary plan review of the Cortland Townhomes multifamily subdivision located at approximately 200 N and 400 E.

**2. Santaquin Research & Tech (Summit Data) Center Industrial Site Plan**

An industrial site plan for a proposed technology center located at approximately 1900 S. Frontage Road.

### MEETING MINUTES APPROVAL

**3. June 24, 2025**

### ADJOURNMENT

## CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at [www.santaquin.gov](http://www.santaquin.gov), in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:

  
\_\_\_\_\_  
Amalie R. Ottley, City Recorder

# CORTLAND TOWNHOMES

## A RESIDENTIAL SUBDIVISION

### SANTAQUIN, UTAH COUNTY, UTAH

#### PRELIMINARY PLAN SET

#### MAY 2025

**CONTRACTOR NOTE:**

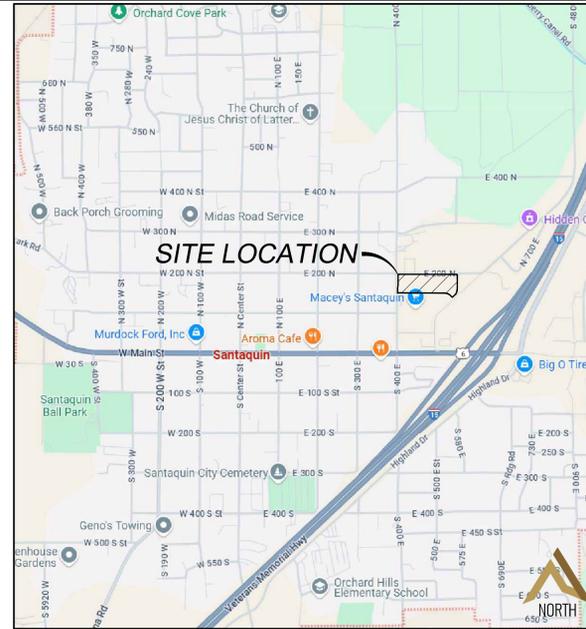
THE SIZE, ELEVATION, & LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES SHOWN HEREON ARE ASSUMED AND APPROXIMATELY SHOWN BASED UPON THE FIELD DATA FROM THE SURVEY. ALL SIZES, LOCATIONS & ELEVATIONS ARE TO BE VERIFIED. IF THERE ARE DIFFERENCES OR DISCREPANCIES, ATLAS ENGINEERING, LLC NEEDS TO BE NOTIFIED BEFORE CONSTRUCTION. ATLAS ENGINEERING, LLC WILL NOT BE LIABLE OR RESPONSIBLE FOR REMOVAL, CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS THAT ARE NOT IN ACCORDANCE WITH THESE PLANS. ANY AND ALL CHANGES OR VARIATIONS IN THE REMOVAL, CONSTRUCTION OR INSTALLATION OF THE IMPROVEMENTS MADE WITHOUT THE APPROVAL OF THE DESIGNER WILL RESULT IN SOLE LIABILITY TO THE CONTRACTOR. IN ADDITION, ATLAS ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR ANY AND ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN AND ASSUMES NO LIABILITY FOR FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES, SHOULD THERE BE INCIDENT.

**GENERAL NOTES:**

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCE AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT/ STUDY FOR PROPOSED RIDLEY'S FAMILY MARKET DEVELOPMENT DATED APRIL 26, 2018 PERFORMED BY GSH GEOTECHNICAL, INC., JOB NO.2588-001-18 SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

**BOUNDARY DESCRIPTION:**

BEGINNING AT A POINT ON THE EASTERLY LINE OF 400 EAST STREET LOCATED S00°30'42" E 1737.86 FEET ALONG THE QUARTER SECTION LINE AND S'89°29'04" 29.85 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 1; AND RUNNING THENCE S89°29'04"E 666.49 FEET; THENCE SOUTHEASTERLY 94.95 FEET ALONG THE ARC OF A 115.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH THE CENTRAL ANGLE OF 47°18'24", THE CHORD BEARS S65°49'52"E 92.28 FEET; THENCE S42°10'40"E 27.48 FEET; THENCE N47°49'42"E 67.30 FEET; THENCE ALONG THE FUTURE STREET RIGHT-OF-WAY LINES THE FOLLOWING NINE (9) COURSES TO WIT: (1) NORTHEASTERLY 85.97 FEET ALONG THE ARC OF A 171.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 28°48'16", THE CHORD BEARS N14°37'55"E 85.06 FEET, (2) N00°13'47"E 181.28 FEET, (3) ALONG THE ARC OF A NORTHWESTERLY 18.65 FEET ALONG THE ARC OF A 12.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 90°00'00", THE CHORD BEARS N44°46'13"W 16.97 FEET, (4) N89°46'13"W 432.01 FEET, (5) N89°51'46"W 376.98 FEET, (6) SOUTHWESTERLY 18.77 FEET ALONG THE ARC OF A 12:00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 89°37'17", THE CHORD BEARS S45°19'35"W 16.91 FEET, (7) S00°30'56"W 139.43 FEET, (8) S06°47'35"W 54.87 FEET, (9) S00°30'56"W 53.50 FEET TO THE POINT OF BEGINNING. CONTAINING 5.10 ACRES.



VICINITY MAP  
-NTS-

**-SHEET INDEX-**

SHEET	SHEET NAME
1	COVER & INDEX
2	SITE PLAN
3	GRADING PLAN
4	FINAL PLAT
5	EXISTING TOPOGRAPHY PLAN
6	FIRE ACCESS/ OPEN SPACE PLAN
7	PHASING PLAN
DT-01	DETAIL SHEET

**ENGINEER/SURVEYOR CONTACT INFO:**

ATLAS ENGINEERING LLC  
(801) 655-0566  
946 E. 800 N. SUITE A  
SPANISH FORK, UT 84660

**OWNER/DEVELOPER**

JIMMY DEGRAFFENRIED  
WOODLAND HILLS, UTAH  
801-830-5490

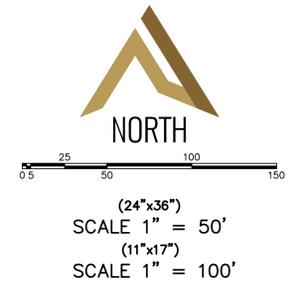
**DATA TABLE**

ZONING CLASSIFICATION=MSR  
NUMBER OF UNITS=92  
ACREAGE=5.10 ACRES  
ACREAGE TO BE DEDICATED FOR STREET ROW=0 SF  
PARCEL SIZE SF=220  
PARKING UNITS 1-5 REQUIRED=15  
PARKING UNITS 6-10 REQUIRED=13.75  
PARKING UNITS 11-15 REQUIRED=12.5  
PARKING UNITS 16-92 REQUIRED=173.25  
TOTAL PARKING REQUIRED=215  
PARKING PROVIDED=218  
BUILDING AREA SF=92x509.33=46,859  
PARKING LOT AREA SF=84,000  
LANDSCAPE AREA IN SF=91,297 (41%)

**LEGEND**

(APPLIES TO ALL SHEETS)

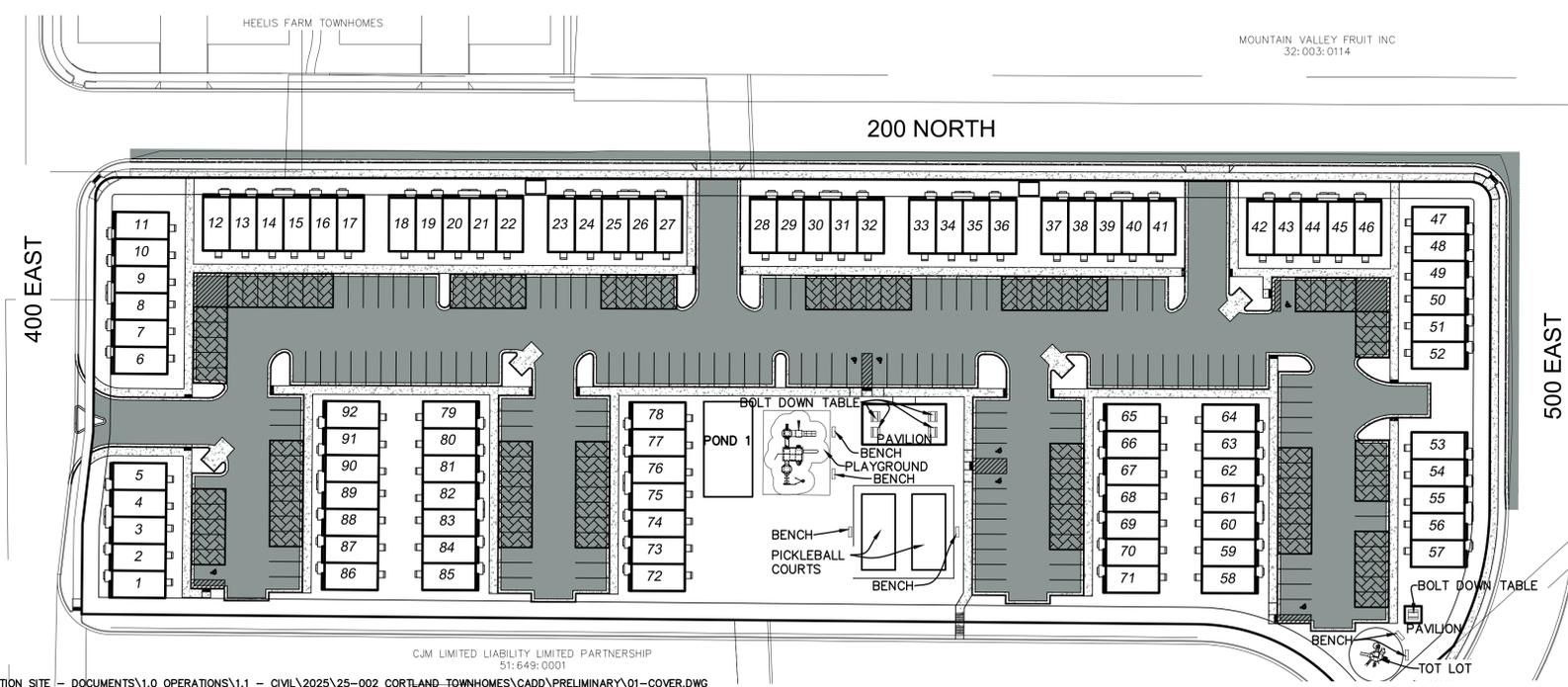
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING STREET LIGHT
	EXISTING SIGN
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
	PROPOSED ASPHALT
	PROPOSED CONCRETE/CURB & GUTTER
	REVERSE LIP CURB



### CORTLAND TOWNHOMES

**ATLAS ENGINEERING**  
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-655-0566  
946 E. 800 N. SUITE A  
SPANISH FORK, UT 84660



CANFIELD, BETTY JO (ET AL) 37:163:0005

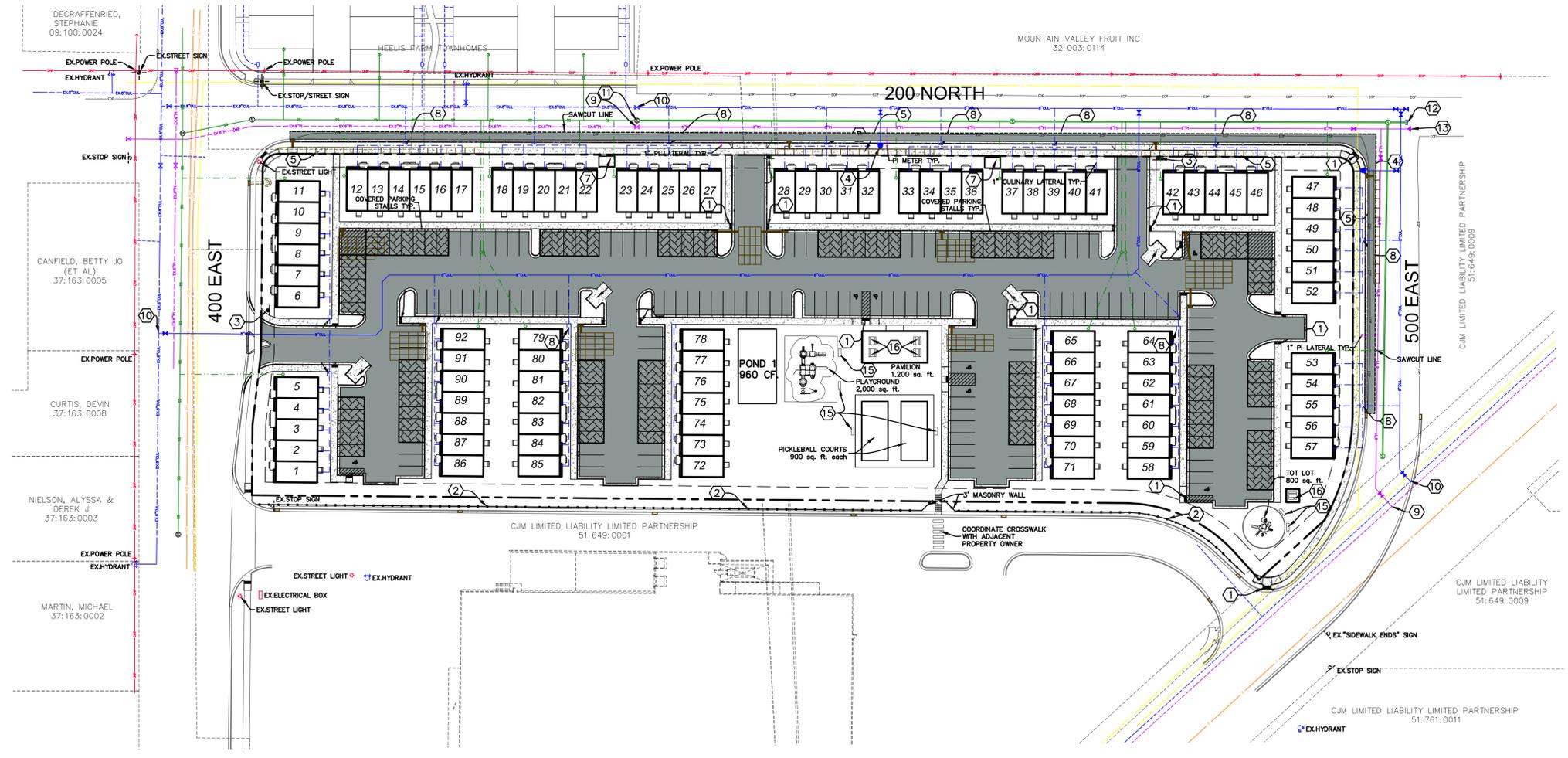
CURTIS, DEVIN 37:163:0008

NIELSON, ALYSSA & DEREK J 37:163:0003

CJM LIMITED LIABILITY LIMITED PARTNERSHIP  
51:649:0001

**GENERAL NOTES:**

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**LEGEND**

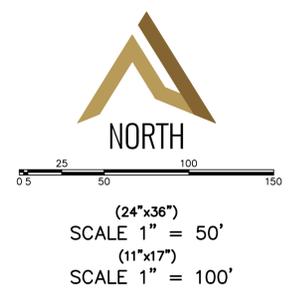
- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
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- PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
- PROPOSED ASPHALT
- PROPOSED CONCRETE/CURB & GUTTER
- REVERSE LIP CURB

**NOTES**

1. IRRIGATION PIPE SIZE TO BE APPROVED BY SCIC.
2. PIPE MATERIALS TO BE C900.

**CONSTRUCTION NOTES**

1. INSTALL ADA RAMP PER SANTAQUIN CITY STANDARDS.
2. INSTALL 6" MASONRY WALL.
3. INSTALL STOP SIGN PER SANTAQUIN CITY STANDARDS.
4. INSTALL FIRE HYDRANT ASSEMBLY PER SANTAQUIN CITY STANDARDS.
5. INSTALL SC-740 STORMTECH CHAMBERS (OR EQUIVALENT).
6. TRASH ENCLOSURE LOCATION.
7. MAIL BOX LOCATION.
8. INSTALL 1.5" CULINARY WATER METER.
9. LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION.
10. LOCATE AND TIE TO EXISTING CULINARY WATER.
11. LOCATE AND TIE TO EXISTING SEWER LINE.
12. STUB/ CAP AND MARK TO SURFACE.
13. INSTALL TEMPORARY BLOW-OFF VALVE PER SANTAQUIN CITY STANDARDS.
14. INSTALL 45° BEND.
15. INSTALL BENCH.
16. BOLT DOWN TABLE



SHEET NO.

2

NO.	REVISIONS	BY	DATE
12			
11			
10			
9			
8			
7			
6			
5			
4			
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2			
1			

SITE PLAN

SANTAQUIN, UTAH

CORTLAND TOWNHOMES

**ATLAS ENGINEERING**  
 CIVIL · STRUCTURAL · SURVEY

PHONE: 801-455-4566  
 946 E. BOON, SUITE A  
 SPANISH FORK, UT 84601

C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2025\25-002\_CORTLAND\_TOWNHOMES\CADD\PRELIMINARY\02 - SITE PLAN.DWG



### SURVEYOR'S CERTIFICATE

I, GORDON M. HAIGHT III DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 12653677 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

DATE

### BOUNDARY DESCRIPTION

SEE LEFT

### OWNER'S DEDICATION

(I)WE, \_\_\_\_\_ BEING THE UNDERSIGNED OWNER(S) OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.  
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS(S) THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2025.

MEMBER: \_\_\_\_\_  
MEMBER: \_\_\_\_\_  
MEMBER: \_\_\_\_\_

### CORPORATE ACKNOWLEDGMENT

STATE OF UTAH \_\_\_\_\_ S.S.  
COUNTY OF UTAH \_\_\_\_\_  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2025 PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT THEY ARE THE \_\_\_\_\_ OF \_\_\_\_\_ AND THAT SAID DOCUMENT WAS SIGNED BY THEM IN BEHALF OF SAID \_\_\_\_\_ BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID ACKNOWLEDGED TO ME THAT SAID \_\_\_\_\_ EXECUTED THE SAME.

A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

COMMISSION NUMBER / EXPIRES \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

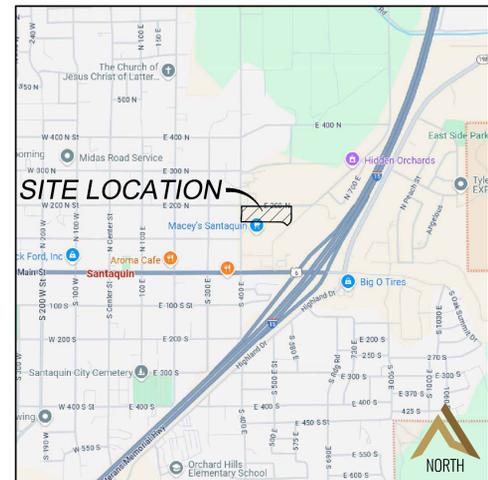
### ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2025.  
APPROVED \_\_\_\_\_ APPROVED \_\_\_\_\_  
CITY MANAGER CITY ATTORNEY  
APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
ENGINEER (SEE SEAL) CLERK-RECORDER  
APPROVED \_\_\_\_\_  
COMMUNITY DEVELOPMENT DIRECTOR

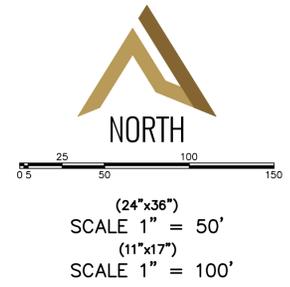
### CORTLAND TOWNHOMES

A RESIDENTIAL SUBDIVISION IN  
SANTAQUIN CITY, UTAH COUNTY, UTAH  
CONTAINING 92 UNITS AND 5.10 ACRES.  
LOCATED IN THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

CLERK-RECORDER SEAL SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER SEAL COUNTY RECORDER SEAL



VICINITY MAP -NTS-



**DATA TABLE**  
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 PARKING PROVIDED=218  
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 PARKING LOT AREA SF=84,000  
 LANDSCAPE AREA IN SF=91,297 (41%)

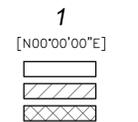
**ENGINEER/SURVEYOR CONTACT INFO:**  
ATLAS ENGINEERING LLC  
(801) 655-0566  
946 E. 800 N, SUITE A  
SPANISH FORK, UT 84660

**OWNER/DEVELOPER**  
JIMMY DEGRAFFENRIED  
WOODLAND HILLS, UTAH  
801-830-5490

**BOUNDARY DESCRIPTION:**  
BEGINNING AT A POINT ON THE EASTERLY LINE OF 400 EAST STREET LOCATED S00°30'42" E 1737.86 FEET ALONG THE QUARTER SECTION LINE AND S89°29'04" 29.85 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 1; AND RUNNING THENCE S89°29'04"E 666.49 FEET; THENCE SOUTHEASTERLY 94.95 FEET ALONG THE ARC OF A 115.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH THE CENTRAL ANGLE OF 47°18'24", THE CHORD BEARS S65°49'52"E 92.28 FEET; THENCE S42°10'40"E 27.48 FEET; THENCE N47°49'42"E 67.30 FEET; THENCE ALONG THE FUTURE STREET RIGHT-OF-WAY LINES THE FOLLOWING NINE (9) COURSES TO WIT: (1) NORTHEASTERLY 85.97 FEET ALONG THE ARC OF A 171.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 28°48'16", THE CHORD BEARS N14°37'55"E 85.06 FEET, (2) N00°13'47"E 181.28 FEET, (3) ALONG THE ARC OF A NORTHWESTERLY 18.65 FEET ALONG THE ARC OF A 12.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 90°00'00", THE CHORD BEARS N44°46'13"W 16.97 FEET, (4) N89°46'13"W 432.01 FEET, (5) N89°51'46"W 376.98 FEET, (6) SOUTHWESTERLY 18.77 FEET ALONG THE ARC OF A 12.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 89°37'17", THE CHORD BEARS S45°19'35"W 16.91 FEET, (7) S00°30'56"W 139.43 FEET, (8) S06°47'35"W 54.87 FEET, (9) S00°30'56"W 53.50 FEET TO THE POINT OF BEGINNING.  
CONTAINING 5.10 ACRES.

### LEGEND

- UTAH COUNTY MONUMENT
- FOUND MONUMENT
- SET 5/8" REBAR AND CAP
- SET CURB PLUG
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- SETBACK
- EASEMENT
- CENTERLINE
- ADDRESSES
- PROPOSED LOT NUMBERS
- BEARING
- COMMON AREA/OPEN SPACE
- LIMITED COMMON OWNERSHIP
- PRIVATE OWNERSHIP



- NOTES**
- VERTICAL DATA BASED ON NAVD 88.
  - COORDINATE SYSTEM = NAD83

**LINE TABLE**

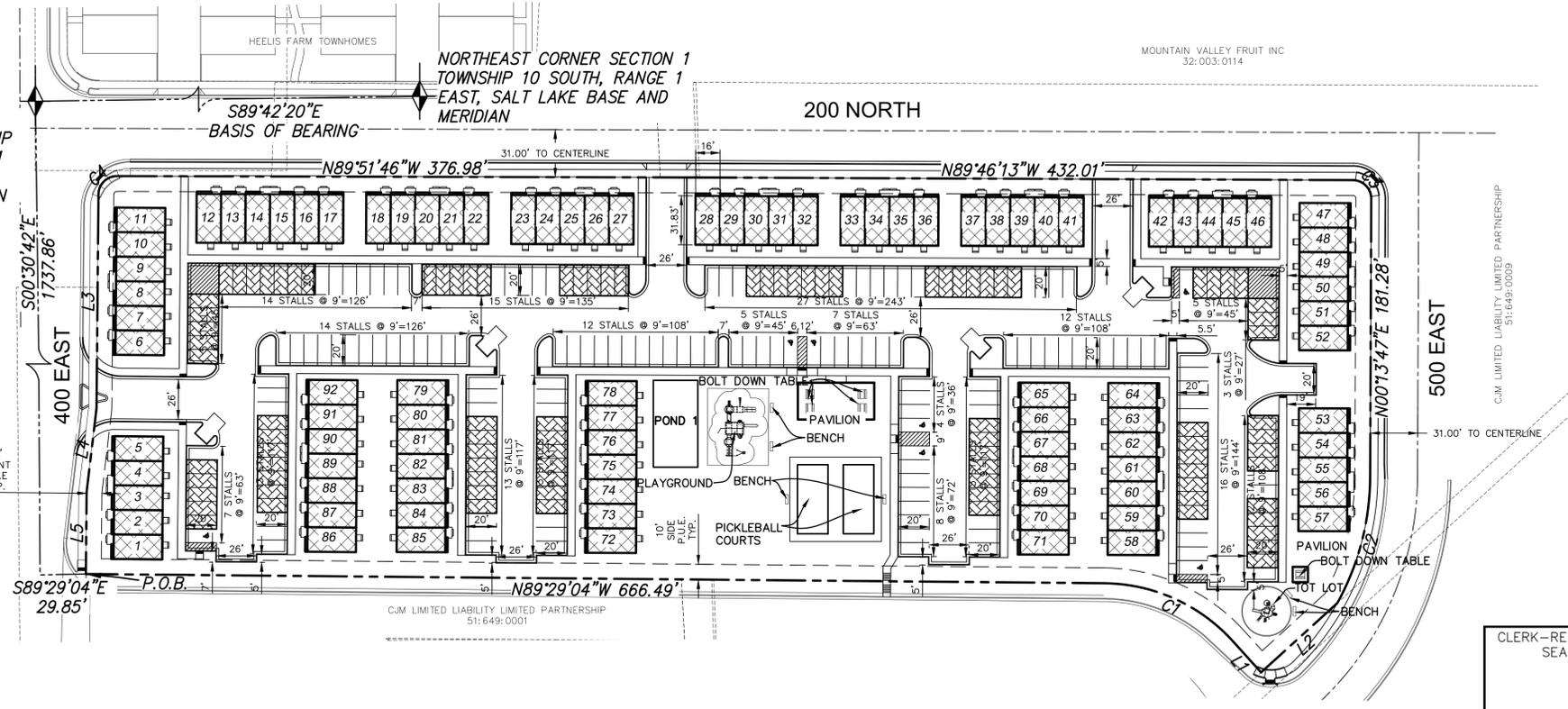
LINE	DIRECTION	LENGTH
L1	S42°10'40"E	27.48'
L2	N47°49'42"E	67.30'
L3	S0°30'56"W	139.43'
L4	S6°47'35"W	54.87'
L5	S0°30'56"W	53.50'

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	94.95'	115.00'	92.28'	S65°49'52"E	47°18'24"
C2	85.97'	171.00'	85.06'	N14°37'55"E	28°48'16"
C3	18.85'	12.00'	16.97'	N44°46'13"W	90°00'00"
C4	18.77'	12.00'	16.91'	S45°19'35"W	89°37'17"

DEGRAFFENRIED, STEPHANIE 09:100:0024

NORTH 1/4 CORNER SECTION 1 TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

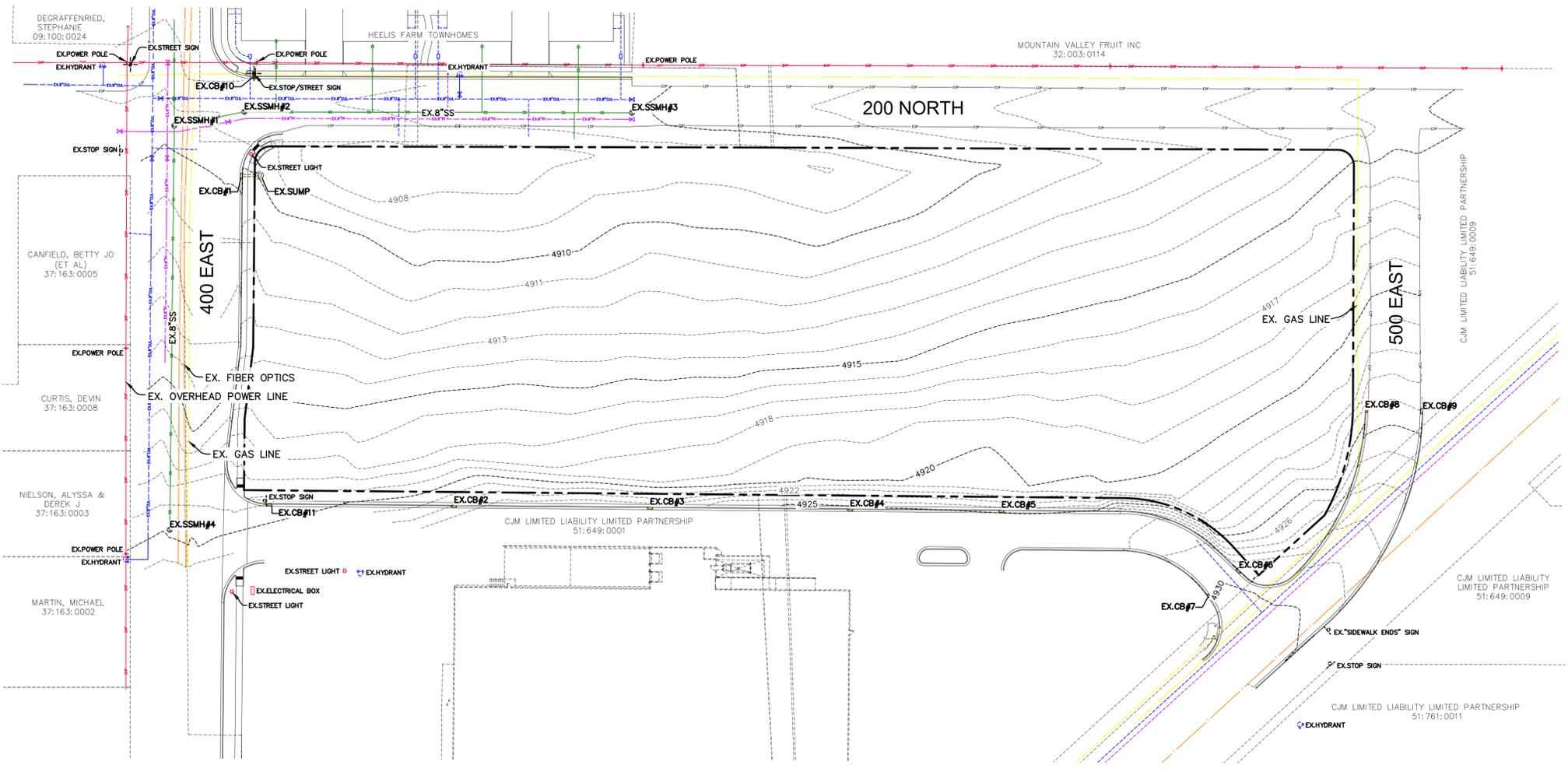


CANFIELD, BETTY JO (ET AL) 37:163:0005

CURTIS, DEVIN 37:163:0008

NIELSON, ALYSSA & DEREK J 37:163:0003

MARTIN, MICHAEL 37:163:0002



**LEGEND**

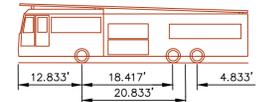
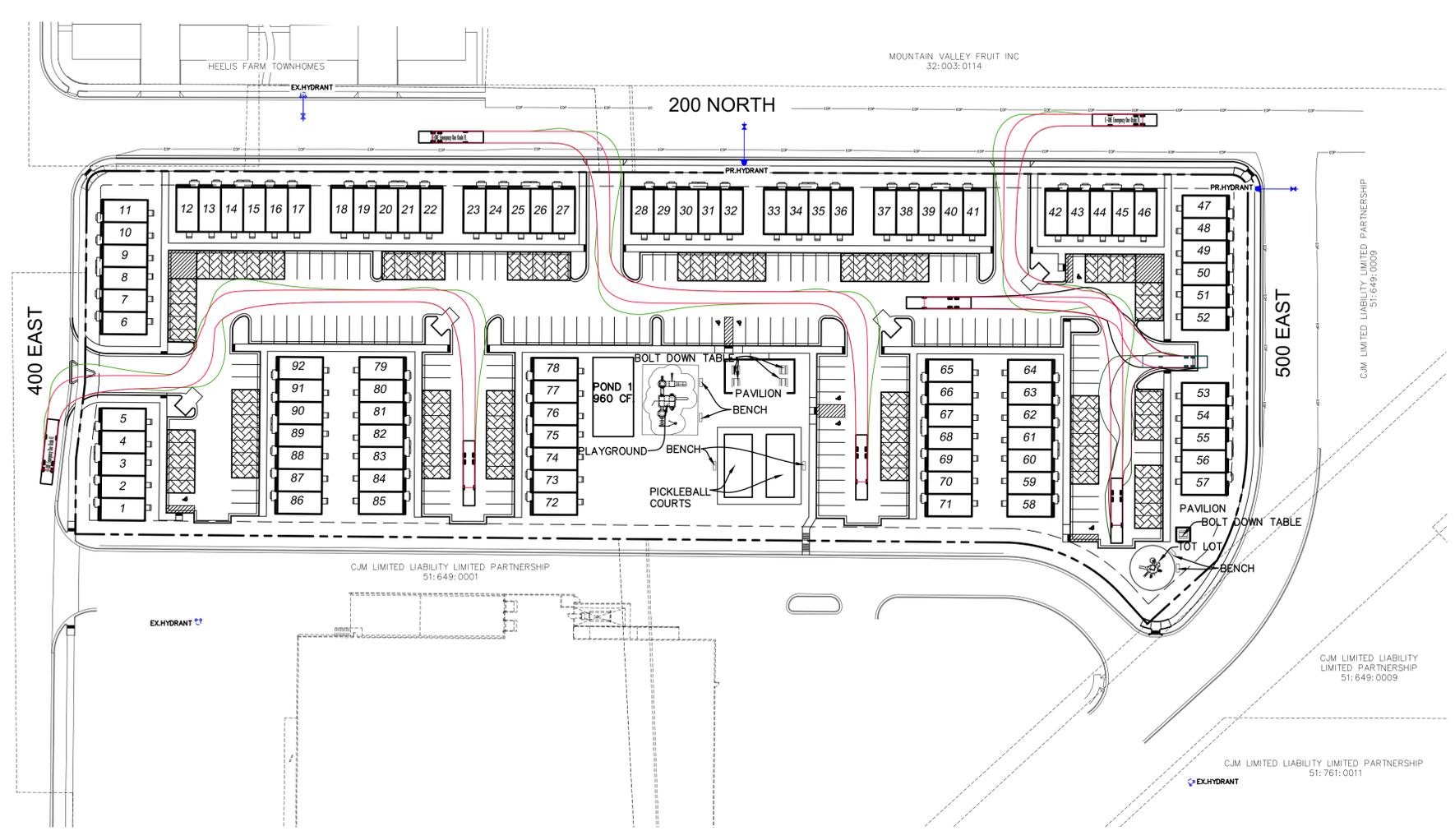
- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
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- EXISTING SIGN
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- PROPOSED STORM DRAIN
- PROPOSED CULINARY WATER
- PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
- PROPOSED ASPHALT
- PROPOSED CONCRETE/CURB & GUTTER
- REVERSE LIP CURB

**NORTH**

(24"x36")  
SCALE 1" = 50'  
(11"x17")  
SCALE 1" = 100'

<b>SHEET NO.</b>		<b>5</b>
<b>EXISTING TOPOGRAPHY</b>	<b>SANTAQUIN, UTAH</b>	
<b>CORTLAND TOWNHOMES</b>	<b>ATLAS ENGINEERING</b> CIVIL · STRUCTURAL · SURVEY <small>PHONE: 801-455-6565 946 E. BOON SUITE A SPANISH FORK, UT 84603</small>	
C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2025\25-002_CORTLAND_TOWNHOMES\CADD\PRELIMINARY\05- EXISTING TOPOGRAPHY.DWG		

NO.	DATE	BY	REVISIONS
12			
11			
10			
9			
8			
7			
6			
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4			
3			
2			
1			



E-ONE Emergency one ocals FL

Overall length - 46.333ft

Overall width - 8.333ft

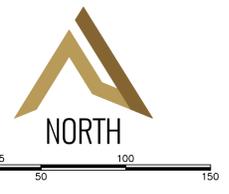
Overall body height - 11.833ft

Min body ground clearance - 1.393ft

Track width - 8.333ft

Lock-to-lock time - 6.00 sec.

Max wheel angle - 45°



(24"x36")  
SCALE 1" = 50'  
(11"x17")  
SCALE 1" = 100'

CORTLAND TOWNHOMES

ATLAS ENGINEERING  
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-455-4566  
946 E. 800 N. SUITE A  
SPRINGFORK, UT 84660

C:\USERS\GAVINWEST\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2025\25-002\_CORTLAND\_TOWNHOMES\CADD\PRELIMINARY\06-FIRE ACCESS PLAN.DWG

FIRE ACCESS/ OPEN SPACE PLAN

SANTAQUIN, UTAH

SHEET NO. 6

NO.	REVISIONS	BY	DATE
12			
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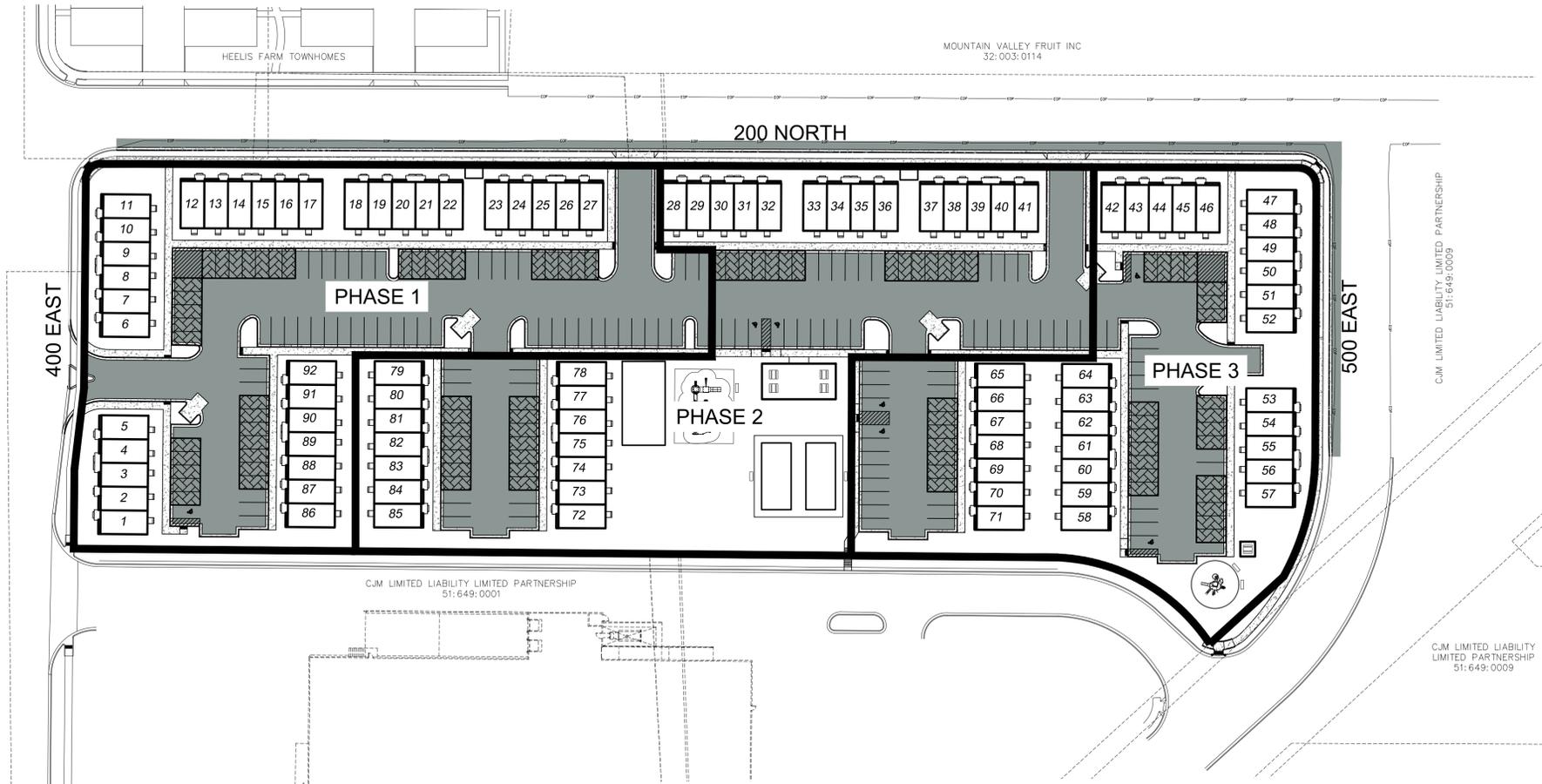
DEGRAFFENRIED, STEPHANIE  
09:100:0024

CANFIELD, BETTY JO (ET AL)  
37:163:0005

CURTIS, DEVIN  
37:163:0008

NIELSON, ALYSSA & DEREK J  
37:163:0003

MARTIN, MICHAEL  
37:163:0002



**LEGEND**

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- OHP
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING STORM DRAIN W/MH
- EXISTING WATER
- EXISTING PRESSURIZED IRRIGATION
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- PROPOSED CULINARY WATER
- PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
- PROPOSED ASPHALT
- PROPOSED CONCRETE/CURB & GUTTER
- REVERSE LIP CURB

**NORTH**

(24"x36")  
SCALE 1" = 50'  
(11"x17")  
SCALE 1" = 100'

**CORTLAND TOWNHOMES**

**ATLAS ENGINEERING**  
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-555-6565  
946 E. BOON SUITE A  
SPANISH FORK, UT 84601

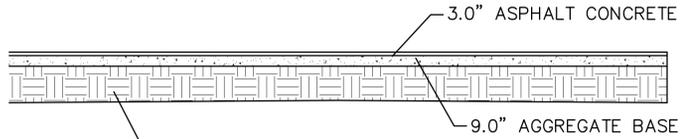
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**PHASING PLAN**

**SANTAQUIN, UTAH**

**SHEET NO. 7**

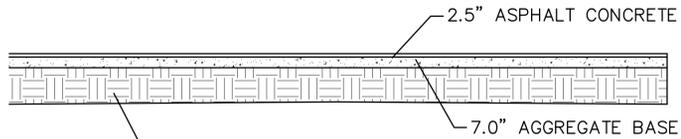
NO.	REVISIONS	BY	DATE
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1			



PROPERLY PREPARED NATURAL SUBGRADE SOILS AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO PROPERLY PREPARED NATURAL SUBGRADE SOILS.

**DRIVE AREA PAVEMENT SECTION**

-NTS-

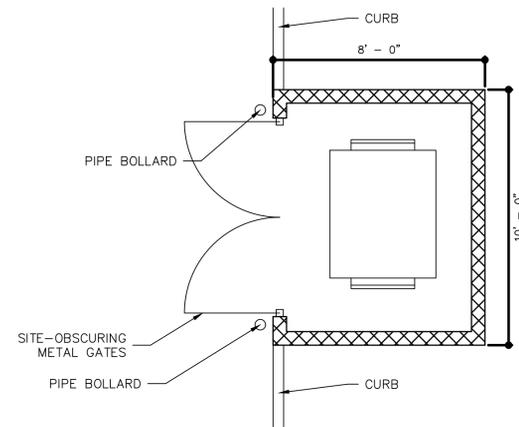


PROPERLY PREPARED NATURAL SUBGRADE SOILS AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO PROPERLY PREPARED NATURAL SUBGRADE SOILS.

**PARKING AREA PAVEMENT SECTION**

-NTS-

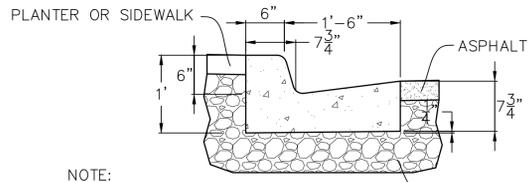
**NOTE:**  
FOLLOW RECOMMENDATIONS FROM GEOTECHNICAL INVESTIGATION FOR PROPOSED RIDLEY'S FAMILY MARKET DEVELOPMENT DATED APRIL 26, 2018 PERFORMED BY GSH GEOTECHNICAL, INC., JOB NO.2588-001-18



**DUMPSTER ENCLOSURE**

-NTS-

**NOTE:**  
SCREENED ON THREE (3) SIDES WITH A MASONRY WALL HAVING A HEIGHT OF AT LEAST ONE (1') FOOT ABOVE RECEPTACLE. A STEEL SITE-OBSCURING GATE AT LEAST SIX (6') FEET HIGH IS REQUIRED.

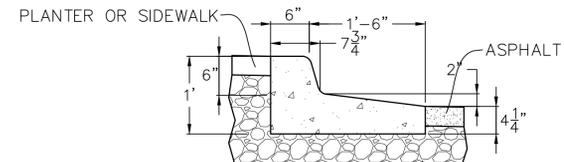


**NOTE:**  
PLACE CONTROL JOINTS AT 10 FOOT INTERVALS

6" UNTREATED BASE COARSE (MIN) COMPACTED TO 96% OF MAX. DRY DENSITY (UNTREATED BASE COARSE AND IMPORTED FILL TO MATCH PAVEMENT SECTION)

**24" STANDARD CURB & GUTTER**

FOR USE IN PRIVATE STREETS  
-NTS-

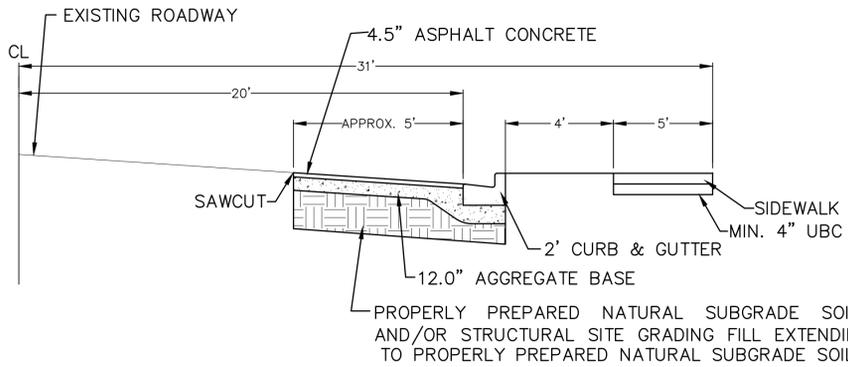


**NOTE:**  
PLACE CONTROL JOINTS AT 10 FOOT INTERVALS

6" UNTREATED BASE COARSE (MIN) COMPACTED TO 96% OF MAX. DRY DENSITY (UNTREATED BASE COARSE AND IMPORTED FILL TO MATCH PAVEMENT SECTION)

**24" REVERSE LIP CURB & GUTTER**

FOR USE IN PRIVATE STREETS  
-NTS-



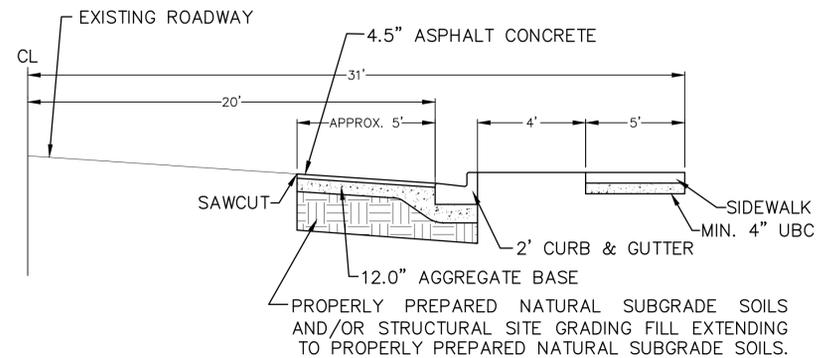
\*2" THICK OVERLAY REQUIRED ON 200 NORTH TO 25' IN EACH DIRECTION PAST THE LAST TRENCH CUT

**200 NORTH DETAIL**

-NTS-

**NOTES:**

1. 100-YEAR WATER ELEVATION MAY NOT ENCR OACH WITHIN 6" VERTICALLY OF ANY HABITABLE STRUCTURE OR EXCEED THE EDGE OF RIGHT-OF-WAY.
2. 100-YEAR WATER ELEVATION MAY NOT RISE ABOVE AN ELEVATION OF 3" BELOW THE TOP OF ANY BERM OR EDGE OF RIGHT-OF-WAY IF ADJACENT EXISTING BUILDINGS ARE BELOW STREET LEVEL.
3. THE CROWN OF THE ROAD SHALL BE HELD TO EXISTING GRADE, UNLESS PERMITTED OTHERWISE BY THE CITY ENGINEER WHERE NEEDED TO ENABLE CONTAINMENT OF 100-YEAR STORM, TO MATCH GRADE AT ADJACENT PREVIOUSLY DEVELOPED PROPERTIES, OR TO MEET GRADE AT INTERSECTIONS



**500 EAST DETAIL**

-NTS-

SHEET NO.

**DT-01**

NO.	DATE	BY	REVISIONS
12			
11			
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DETAIL SHEET

SANTAQUIN, UTAH

CORTLAND TOWNHOMES

ATLAS ENGINEERING  
CIVIL · STRUCTURAL · SURVEY

PHONE: 801-455-4555  
946 E. BOON, SUITE A  
SPRINGFORK, UT 84660

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# SUMMIT DATA CENTER

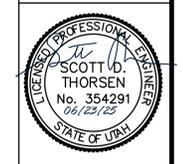
SOUTH RIDGE FARMS ROAD  
SANTAQUIN CITY, UTAH 84655

JUNE 4, 2025  
REVISED JUNE 23, 2025

ROW	NO.	REVISIONS	BY	DATE
1				

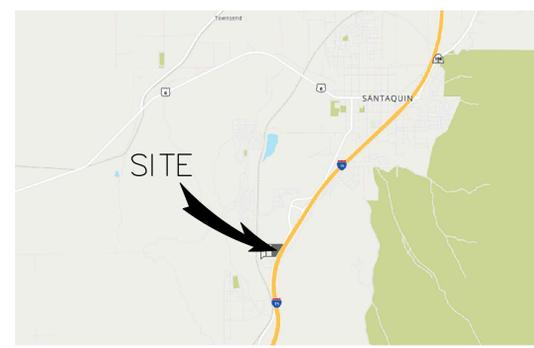
**CIVIL ENGINEERING + SURVEYING**  
10718 S BECKSTEAD LANE, SUITE 102  
South Jordan, Utah - 801-949-6296

SUMMIT DATA CENTER  
SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
COVER SHEET



SHEET NO.	CV
PROJECT ID	E23-143
DATE	06/23/25
FILE NAME	PRJ-SJ
SCALE	

LEGEND	
---	PROPERTY LINE
---	EASEMENT LINE
-4240.0	PROPOSED GRADE CONTOURS
-4240.0	EXISTING GRADE CONTOURS
---	EXISTING CURB
---	PROPOSED CURB AND GUTTER
---	PROPOSED CURB WALL
---	REVERSE PAN CURB & GUTTER
---	EXISTING SEWER
SS	PROPOSED SEWER
---	EXISTING WATER
W	PROPOSED WATER
---	EXISTING FIRE LINE
F	PROPOSED FIRE LINE
---	EXISTING STORM DRAIN
SD	PROPOSED STORM DRAIN
---	PROPOSED ROOF DRAIN
---	EXISTING GAS
G	PROPOSED GAS
---	EXISTING OVERHEAD POWER
UGP	EXISTING UNDERGROUND POWER
UGP	PROPOSED UNDERGROUND POWER
---	EXISTING TELEPHONE LINE
T	PROPOSED TELEPHONE LINE
---	EXISTING FIBER OPTIC LINE
FO	PROPOSED FIBER OPTIC LINE
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED LANDSCAPING
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	EXISTING STREET LIGHT
[Symbol]	PROPOSED STREET LIGHT
[Symbol]	PROPOSED PARKING LOT LIGHT
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING GATE VALVE
[Symbol]	EXISTING OVERHEAD POWER POLE
TBC	TOP BACK CONCRETE
FF	FINISHED FLOOR
HW	HIGH WATER
TOG	TOP OF GRATE
TOL	TOP OF LID
IE	INVERT ELEVATION
EX	EXISTING
NG	NATURAL GROUND
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
EC	EDGE OF CONCRETE
EA	EDGE OF ASPHALT
TOW	TOP OF WALL
TG	TOP OF GRAVEL
TL	TOP OF LANDSCAPING
TS	TOP OF SIDEWALK
PROP	PROPOSED
[Symbol]	TBC CALLOUT UNLESS OTHERWISE DESIGNATED



VICINITY MAP  
NOT TO SCALE

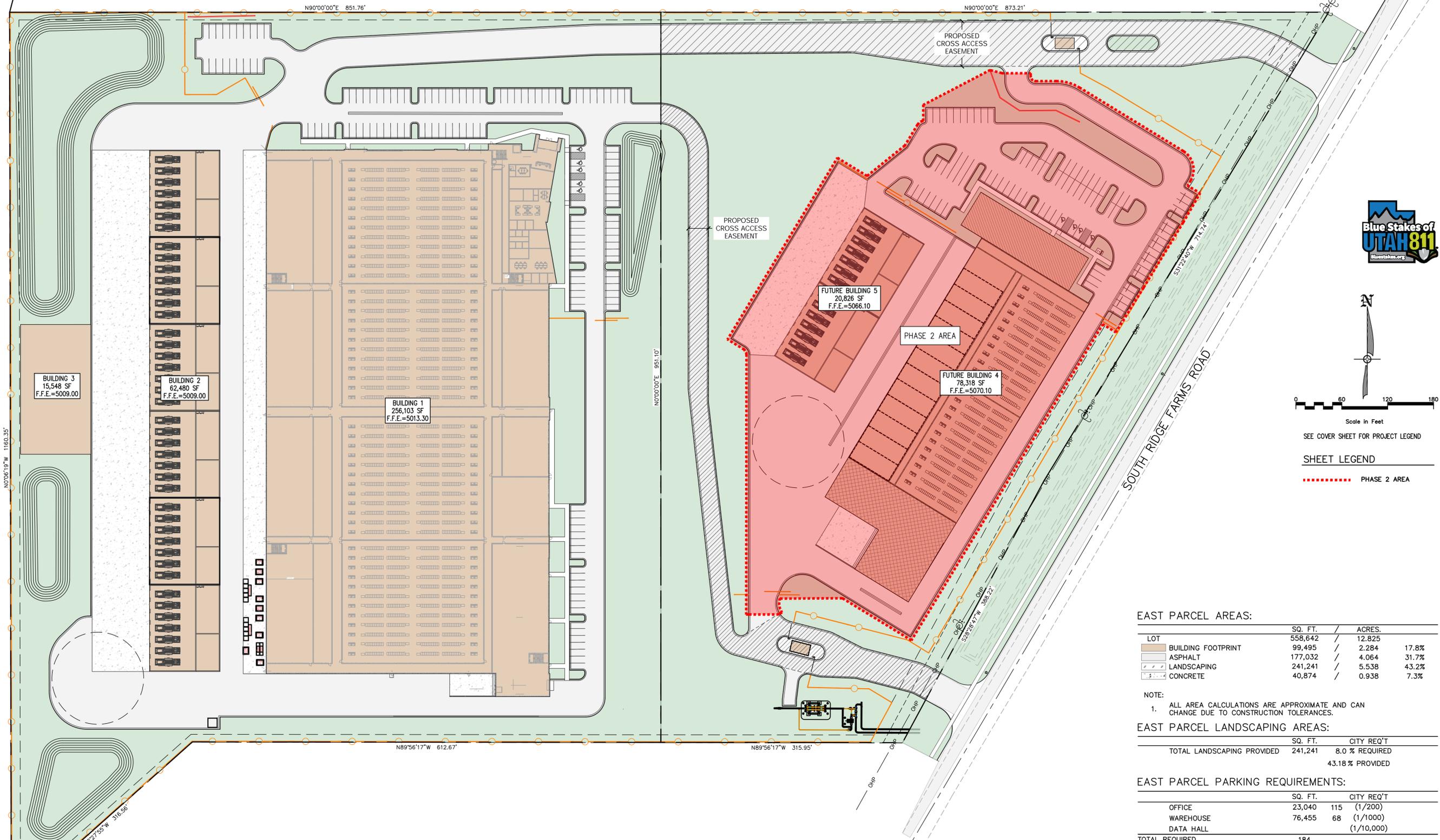
- PROJECT CONSTRUCTION NOTES:**
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
  - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
  - ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
  - ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
  - CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
  - CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
  - CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
  - INSTALL ALL SIDEWALKS PER CITY STANDARDS.
  - INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS.
  - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER CITY STANDARDS AND SPECIFICATIONS.
  - ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
  - ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
  - FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS.
  - ALL WATER LINES TO HAVE A MINIMUM 5' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
  - THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
  - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
  - ALL ACCESSIBLE ROUTES AND ACCESSIBLE MEANS OF EGRESS ROUTES, THE MAXIMUM SLOPE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. ALL EXTERIOR LANDINGS AT DOORS SHALL NOT EXCEED 2% SLOPE.

**SHEET INDEX**

- |      |                             |      |   |
|------|-----------------------------|------|---|
| CV   | COVER SHEET                 | C4.1 | ROAD WIDENING PLAN & PROFILE<br>(STA: 20+00 TO 26+50) |
| C1.0 | SITE PLAN OVERVIEW          | C4.2 | ROAD WIDENING PLAN & PROFILE<br>(STA: 26+50 TO 33+00) |
| C1.1 | SITE PLAN                   | C5.1 | UTILITY PLAN & PROFILE<br>(STA: 20+00 TO 26+00)       |
| C1.2 | SITE PLAN                   | C5.2 | UTILITY PLAN & PROFILE<br>(STA: 26+00 TO 32+00)       |
| C1.3 | SITE PLAN                   | C5.3 | UTILITY PLAN & PROFILE<br>(STA: 32+00 TO 36+00)       |
| C1.4 | SITE PLAN                   | C6.0 | DETAIL SHEET  |
| C2.0 | GRADING & DRAINAGE OVERVIEW | C6.1 | SANTAQUIN CITY DETAIL SHEET                           |
| C2.1 | GRADING PLAN                | C7.0 | EROSION CONTROL PLAN (SWPPP)                          |
| C2.2 | GRADING PLAN                | C7.1 | EROSION CONTROL DETAIL SHEET                          |
| C2.3 | GRADING PLAN                |      |   |
| C2.4 | GRADING PLAN                |      |   |
| C2.5 | DRAINAGE PLAN               |      |   |
| C2.6 | DRAINAGE PLAN               |      |   |
| C2.7 | DRAINAGE PLAN               |      |   |
| C2.8 | DRAINAGE PLAN               |      |   |
| C3.0 | UTILITY PLAN OVERVIEW       |      |   |
| C3.1 | UTILITY PLAN                |      |   |
| C3.2 | UTILITY PLAN                |      |   |
| C3.3 | UTILITY PLAN                |      |   |
| C3.4 | UTILITY PLAN                |      |   |

<p>CIVIL ENGINEER:</p> <p>10718 S BECKSTEAD LANE, SUITE 102 South Jordan, Utah - 801-949-6296</p>	
<p>ARCHITECT:</p> <p><b>AE URBIA</b></p> <p>909 W SOUTH JORDAN PARKWAY SOUTH JORDAN, UTAH 84095 CONTACT PERSON: ANDREW BOLLSCHWEILER PH: (801) 746-0456</p>	





Scale in Feet  
SEE COVER SHEET FOR PROJECT LEGEND

**SHEET LEGEND**  
- - - - - PHASE 2 AREA

**WEST PARCEL AREAS:**

LOT	SQ. FT.	ACRES.	
BUILDING FOOTPRINT	833,834	19.142	40.1%
ASPHALT	334,482	7.679	18.3%
LANDSCAPING	152,384	3.498	30.4%
CONCRETE	253,245	5.814	11.2%
	93,722	2.152	

NOTE:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**WEST PARCEL LANDSCAPING AREAS:**

	SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING PROVIDED	253,245	8.0 % REQUIRED
		30.3 % PROVIDED

**WEST PARCEL PARKING REQUIREMENTS:**

	SQ. FT.	CITY REQ'T
OFFICE	12,148	61 (1/200)
WAREHOUSE	19,329	20 (1/1000)
DATA HALL	224,322	23 (1/10,000)
TOTAL REQUIRED	104	
TOTAL PROVIDED	134	
ACCESSIBLE SPACES	5	(5 REQ'D 101 TO 150)

**EAST PARCEL AREAS:**

LOT	SQ. FT.	ACRES.	
BUILDING FOOTPRINT	558,642	12.825	17.8%
ASPHALT	99,495	2.284	31.7%
LANDSCAPING	177,032	4.064	43.2%
CONCRETE	241,241	5.538	7.3%

NOTE:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**EAST PARCEL LANDSCAPING AREAS:**

	SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING PROVIDED	241,241	8.0 % REQUIRED
		43.18 % PROVIDED

**EAST PARCEL PARKING REQUIREMENTS:**

	SQ. FT.	CITY REQ'T
OFFICE	23,040	115 (1/200)
WAREHOUSE	76,455	68 (1/1000)
DATA HALL		(1/10,000)
TOTAL REQUIRED	184	
TOTAL PROVIDED	98	
ACCESSIBLE SPACES	4	(4 REQ'D 76-100)

NO.	REVISIONS	BY	DATE
1			

**CIVIL ENGINEERING + SURVEYING**  
 10718 S BECKSTEAD LANE, SUITE 102  
 South Jordan, Utah · 801-949-6296

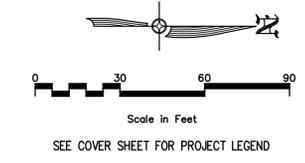
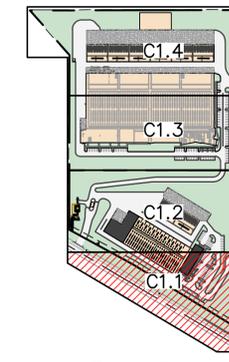
**SUMMIT DATA CENTER**  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
**SITE PLAN OVERVIEW**

PROFESSIONAL ENGINEER  
 SCOTT D. THORSEN  
 No. 354291  
 06/23/25  
 STATE OF UTAH

SHEET NO. **C1.0**  
 PROJECT ID: E23-143  
 DATE: 06/23/25  
 FILE NAME: PRJ-SJI  
 SCALE: 1"=60'

**SITE PLAN KEYNOTES:**

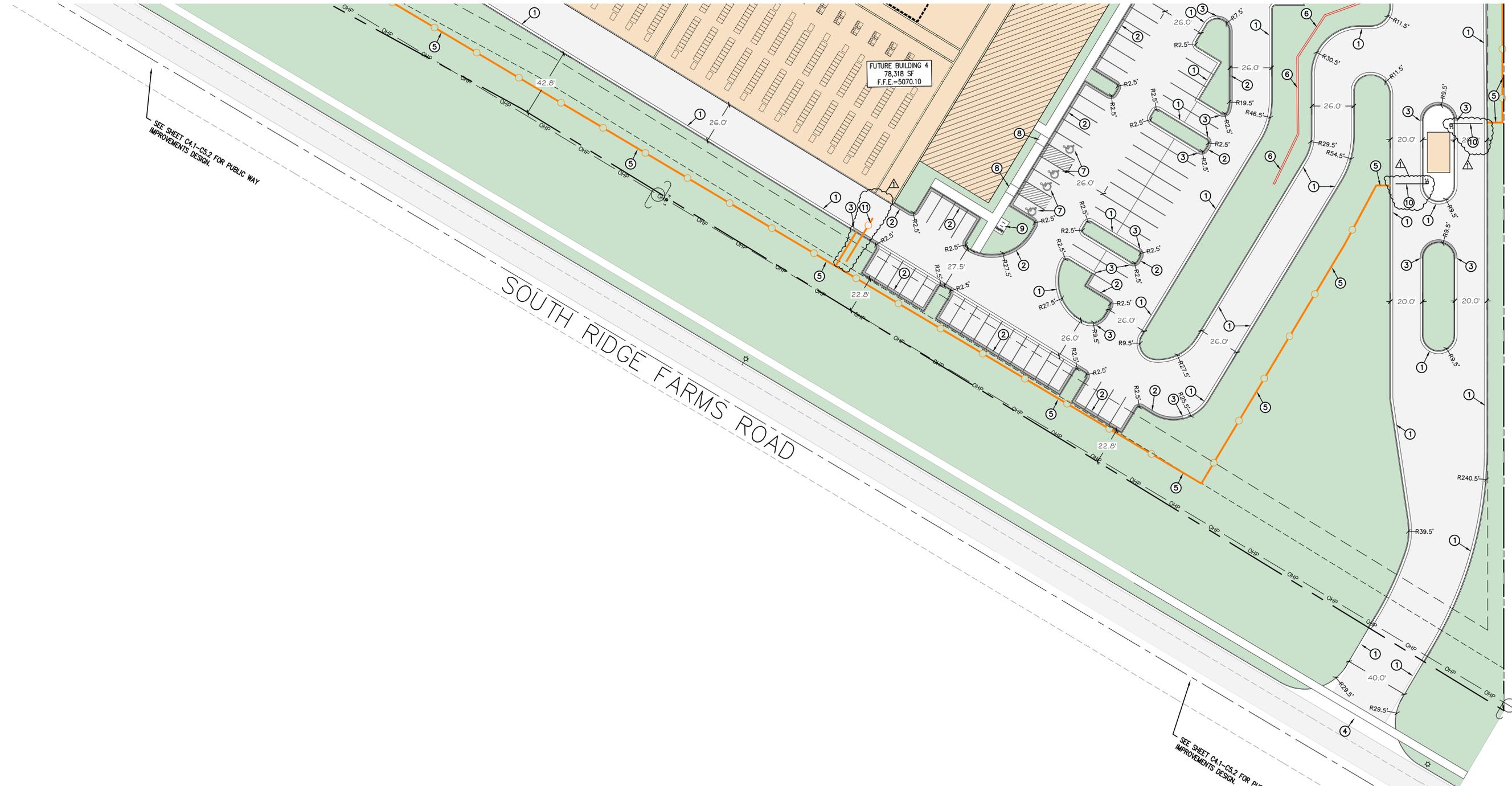
- ① INSTALL 24" CATCH CURB & GUTTER PER APWA STD. PLAN NO. 205.1 TYPE E. SEE DETAIL 1/C5.0.
- ② INSTALL 24" REVERSE PAN CURB & GUTTER PER APWA STD. PLAN NO. 205. SEE DETAIL 2/C5.0.
- ③ PROVIDE SMOOTH TRANSITION FROM CATCH TO REVERSE PAN CURB & GUTTER.
- ④ INSTALL DRIVE APPROACH PER SANTAQUIN CITY STANDARDS. SEE DETAIL CG3/CG.1.
- ⑤ PROPOSED SECURITY FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑥ INSTALL RETAINING WALL, TO BE DESIGNED BY OTHERS.
- ⑦ INSTALL ADA PARKING STALLS PER ADA STANDARDS. SLOPES TO BE LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 9/C5.0.
- ⑧ INSTALL PEDESTRIAN ACCESS RAMP. RAMP TO MEET ADA STANDARDS. RAMP SLOPE TO BE LESS THAN 8.33%. SEE DETAIL 5/C5.0 & 6/5.0.
- ⑨ INSTALL "U" STYLE BIKE RACKS PER SLC STANDARDS. SEE DETAILS ON SHEET C5.1.
- ⑩ INSTALL BARRIER ARM W/ SIREN CONTROLLED ACCESS SENSOR.
- ⑪ INSTALL 26' WIDE SLIDE GATE W/ SIREN CONTROLLED ACCESS SENSOR.



ROW	DATE	BY	DATE
1	06/23/25		

DESIGNER: SDT  
PROJECT ENGINEER: SDT

MATCHLINE -SEE SHEET C1.2



SEE SHEET CA.1-CS.2 FOR PUBLIC WAY IMPROVEMENTS DESIGN.

SEE SHEET CA.1-CS.2 FOR PUBLIC WAY IMPROVEMENTS DESIGN.

**CIR** CIVIL ENGINEERING + SURVEYING  
 10718 S BECKSTEAD LANE, SUITE 102  
 South Jordan, Utah - 801-549-6296

SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 SITE PLAN

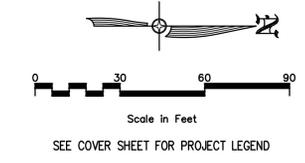
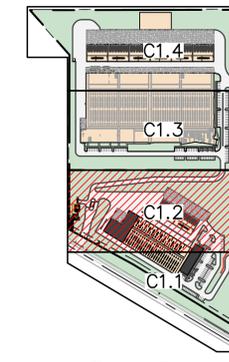


SHEET NO. C1.1

PROJECT ID	DATE:
E23-143	06/23/25
FILE NAME:	SCALE:
PRJ-SJ1	1"=30'

**SITE PLAN KEYNOTES:**

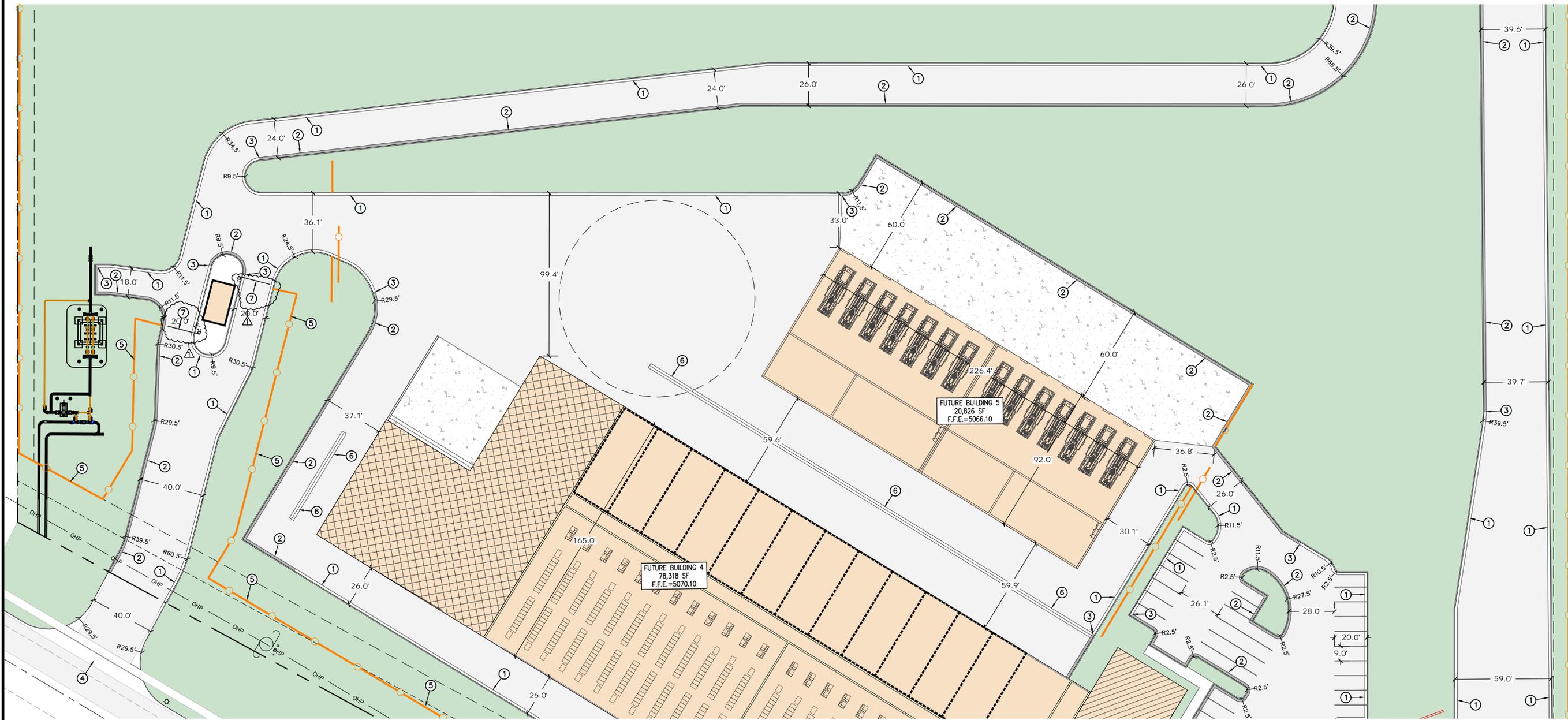
- ① INSTALL 24" CATCH CURB & GUTTER PER APWA STD. PLAN NO. 205.1 TYPE E. SEE DETAIL 1/C5.0.
- ② INSTALL 24" REVERSE PAN CURB & GUTTER PER APWA STD. PLAN NO. 205. SEE DETAIL 2/C5.0.
- ③ PROVIDE SMOOTH TRANSITION FROM CATCH TO REVERSE PAN CURB & GUTTER.
- ④ INSTALL DRIVE APPROACH PER SANTAQUIN CITY STANDARDS. SEE DETAIL CG3/C6.1.
- ⑤ PROPOSED SECURITY FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑥ INSTALL 3' WIDE CONCRETE WATERWAY PER APWA STD. PLAN NO. 211. SEE DETAIL 4/C5.0
- ⑦ INSTALL BARRIER ARM W/ SIREN CONTROLLED ACCESS SENSOR.



NO.	REVISIONS	BY	DATE
1	PRE COMMENTS		

**CIVIL ENGINEERING + SURVEYING**  
 10718 S BECKSTEAD LANE, SUITE 102  
 South Jordan, Utah · 801-949-6296

MATCHLINE -SEE SHEET C1.3



MATCHLINE -SEE SHEET C1.1

**SUMMIT DATA CENTER**  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655

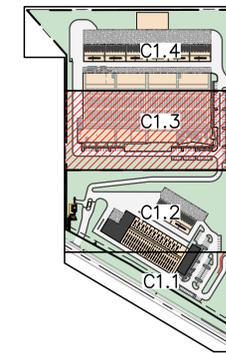
**SITE PLAN**



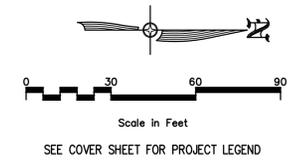
SHEET NO.	<b>C1.2</b>
PROJECT ID	E23-143
DATE	06/23/25
FILE NAME	PRJ-SJ1
SCALE	1"=30'

**SITE PLAN KEYNOTES:**

- ① INSTALL 24" CATCH CURB & GUTTER PER APWA STD. PLAN NO. 205.1 TYPE E. SEE DETAIL 1/C5.0.
- ② INSTALL 24" REVERSE PAN CURB & GUTTER PER APWA STD. PLAN NO. 205. SEE DETAIL 2/C5.0.
- ③ PROVIDE SMOOTH TRANSITION FROM CATCH TO REVERSE PAN CURB & GUTTER.
- ④ PROPOSED SECURITY FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑤ INSTALL ADA PARKING STALLS PER ADA STANDARDS. SLOPES TO BE LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 9/C5.0.
- ⑥ INSTALL PEDESTRIAN ACCESS RAMP. RAMP TO MEET ADA STANDARDS. RAMP SLOPE TO BE LESS THAN 8.33%. SEE DETAIL 5/C5.0 & 6/5.0.
- ⑦ INSTALL 3' WIDE CONCRETE WATERWAY PER APWA STD. PLAN NO. 211. SEE DETAIL 4/C5.0
- ⑧ INSTALL 4' WIDE WARPED ROLL GUTTER. SEE DETAIL ON SHEET C5.0.
- ⑨ INSTALL 26' WIDE SLIDE GATE W/ SIREN CONTROLLED ACCESS SENSOR.



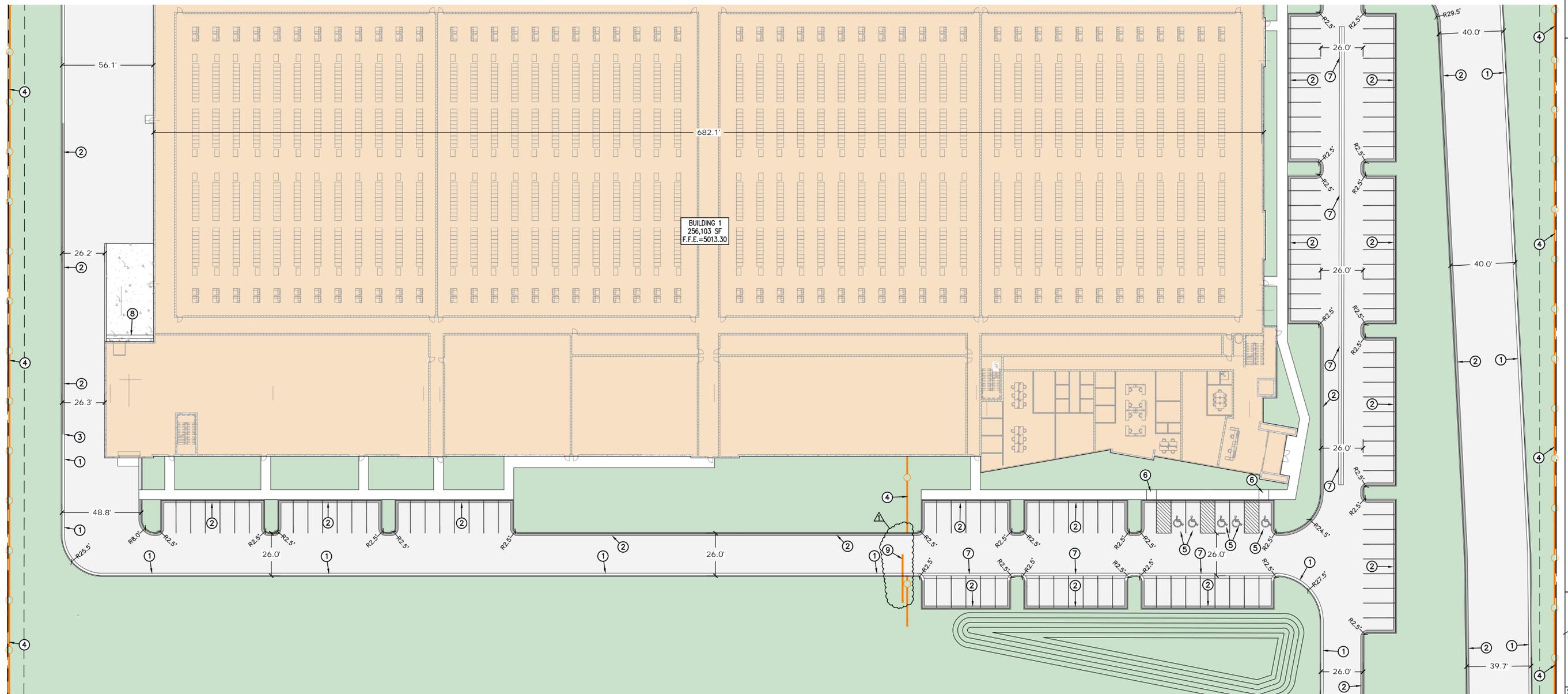
KEYMAP



ROW	DATE	BY	DATE
1	06/23/25		

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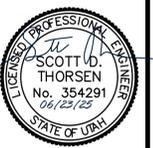
MATCHLINE -SEE SHEET C1.4



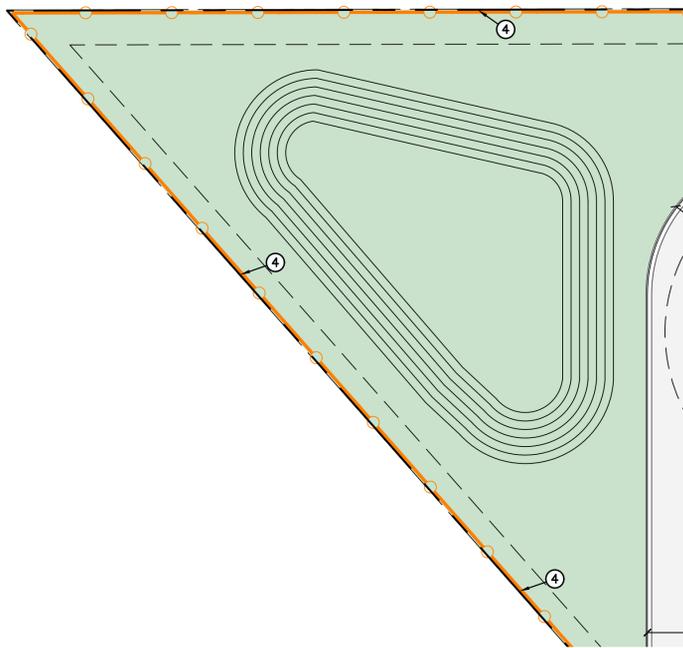
MATCHLINE -SEE SHEET C1.2

**SUMMIT DATA CENTER**  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655

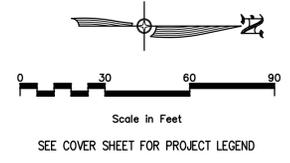
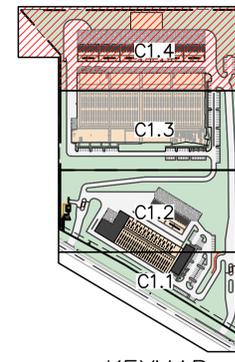
**SITE PLAN**



SHEET NO.	C1.3
PROJECT ID	E23-143
DATE	06/23/25
FILE NAME	PRJ-SJI
SCALE	1"=30'

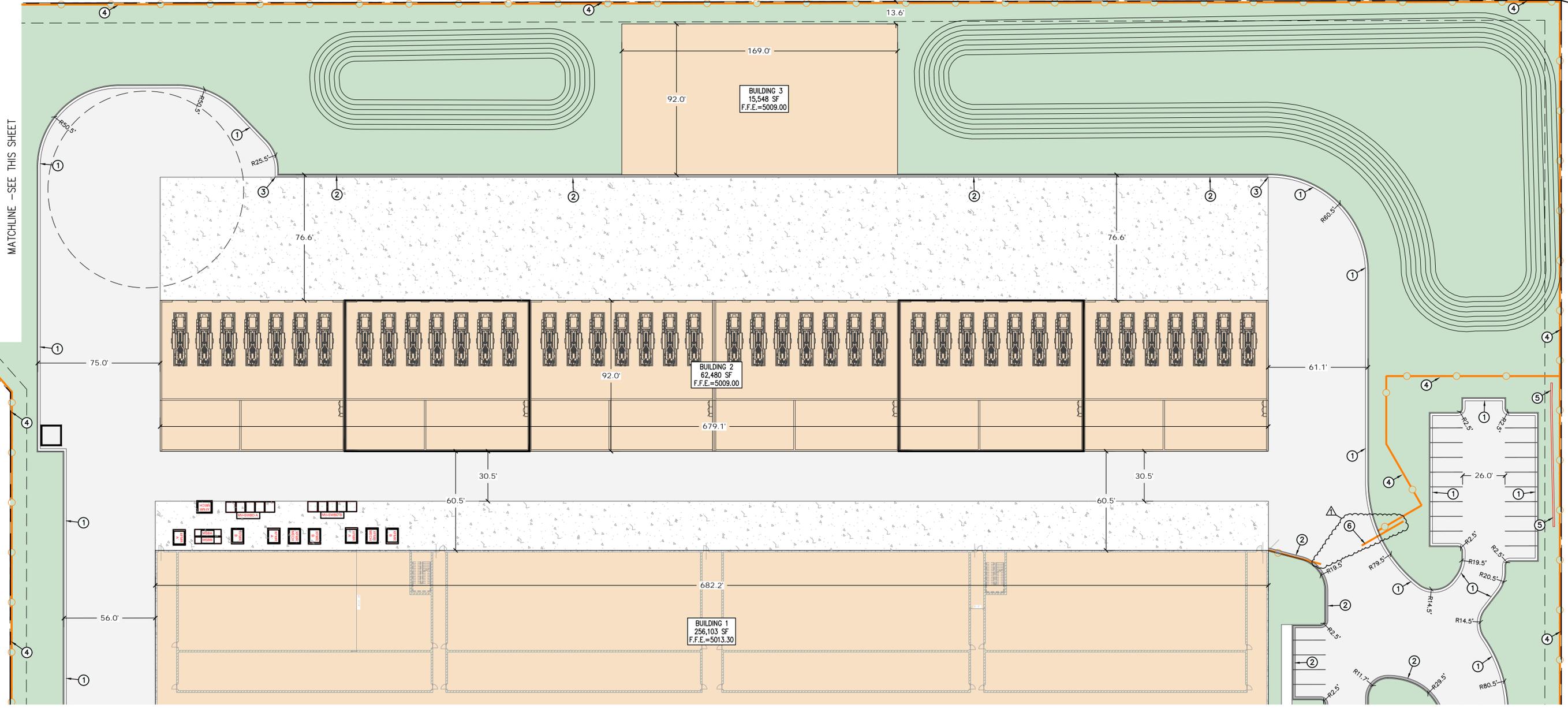


- SITE PLAN KEYNOTES:**
- ① INSTALL 24" CATCH CURB & GUTTER PER APWA STD. PLAN NO. 205.1 TYPE E. SEE DETAIL 1/C5.0.
  - ② INSTALL 24" REVERSE PAN CURB & GUTTER PER APWA STD. PLAN NO. 205. SEE DETAIL 2/C5.0.
  - ③ PROVIDE SMOOTH TRANSITION FROM CATCH TO REVERSE PAN CURB & GUTTER.
  - ④ PROPOSED SECURITY FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - ⑤ PROPOSED RETAINING WALL, TO BE DESIGNED BY OTHERS.
  - ⑥ INSTALL 40' SLIDING GATE W/ SIREN CONTROLLED ACCESS SENSOR.



ROW	DATE	BY	DATE
1	06/23/25		

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SHEET NO.	C1.4
PROJECT ID	E23-143
DATE	06/23/25
FILE NAME	PRJ-SJI
SCALE	1" = 30'

MATCHLINE - SEE SHEET C1.3

NO.	REVISIONS	BY	DATE
1	PRE COMMENTS		05/23/25

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SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 OVERALL GRADING PLAN

DESIGNED BY: SDT  
 PROJECT ENGINEER: SDT

SHEET NO. **C2.0**

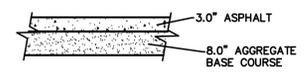
PROJECT ID: E23-143  
 DATE: 06/23/25

FILE NAME: PRJ-SJ1  
 SCALE: 1"=60'



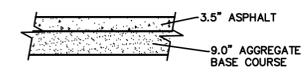
Scale in Feet  
 SEE COVER SHEET FOR PROJECT LEGEND

**SHEET LEGEND**  
 DETENTION AREA



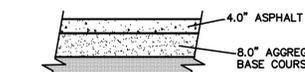
OVER PROPERLY PREPARED FILLS, NATURAL SUBGRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO PROPERLY PREPARED FILLS AND/OR NATURAL SUBGRADE SOILS.

**LIGHT ASPHALT PAVEMENT**  
 N.T.S.



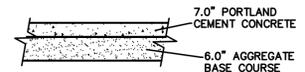
OVER PROPERLY PREPARED FILLS, NATURAL SUBGRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO PROPERLY PREPARED FILLS AND/OR NATURAL SUBGRADE SOILS.

**MEDIUM ASPHALT PAVEMENT**  
 N.T.S.



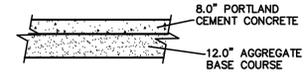
OVER PROPERLY PREPARED FILLS, NATURAL SUBGRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO PROPERLY PREPARED FILLS AND/OR NATURAL SUBGRADE SOILS.

**HEAVY ASPHALT PAVEMENT**  
 N.T.S.



OVER PROPERLY PREPARED NATURAL SUBGRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL EXTENDING TO PROPERLY PREPARED NATURAL SUBGRADE SOILS.

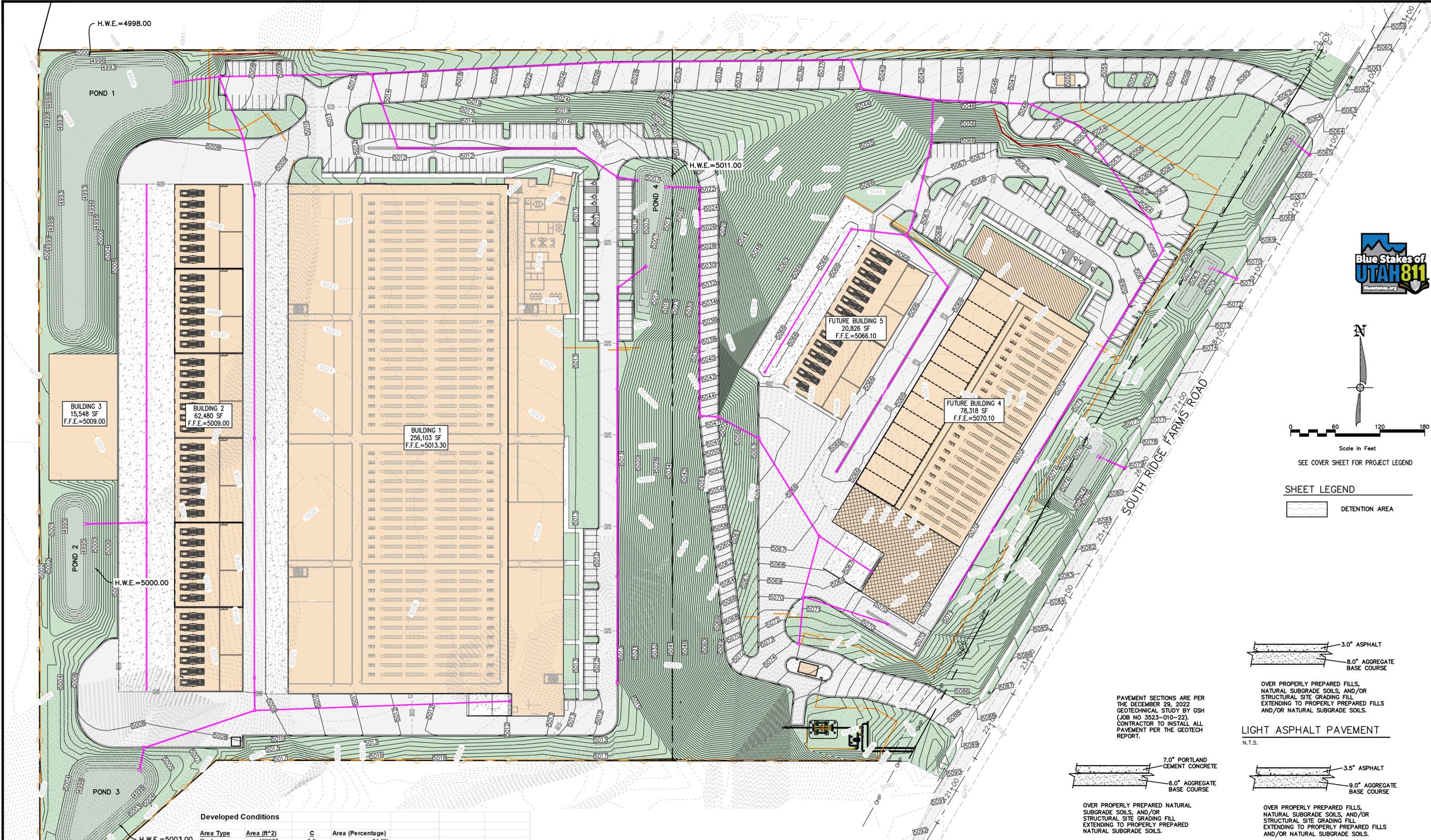
**DOCK CONCRETE PAVEMENT**  
 N.T.S.



OVER PROPERLY PREPARED NATURAL SUBGRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL. DUMPSTER PADS SHOULD NOT BE CONSTRUCTED OVERLAPPING NON-ENGINEERED FILLS UNDER ANY CIRCUMSTANCES.

**DUMPSTER PAD CONCRETE**  
 N.T.S.

PAVEMENT SECTIONS ARE PER THE DECEMBER 29, 2022 GEOTECHNICAL STUDY BY GSH (JOB NO 3523-010-22). CONTRACTOR TO INSTALL ALL PAVEMENT PER THE GEOTECH REPORT.



**Developed Conditions**

Area Type	Area (ft <sup>2</sup> )	C	Area (Percentage)
Roof	433977	0.9	31.2%
Hard Surfaces	464328	0.9	33.3%
Landscape	494171	0.15	35.5%
<b>Subtotal</b>	<b>1392476</b>		

Total = 31.97 acres  
 C average = 0.63

Frequency: 100 Year Release Rate (cfs) = 0.00      0 cfs/acre

Time (min)	Intensity (in/hr)	Intensity (in)	Acc. Vol (ft <sup>3</sup> )	Re. Vol (ft <sup>3</sup> )	Req. Stor. (ft <sup>3</sup> )	Peak Flow (cfs)
5	6.29	0.52	38222	0	38222	127.41
10	4.79	0.80	58208	0	58208	97.01
15	3.96	0.99	72140	0	72140	80.16
30	2.66	1.33	97013	0	97013	53.90
60	1.65	1.65	120355	0	120355	33.43
120	0.93	1.85	134943	0	134943	18.74
180	0.63	1.90	138590	0	138590	12.83
360	0.34	2.05	149531	0	149531	6.92

**Overall Required Retention Volume 149,531 CF**

**Pond 1**

Elevation	Area (ft <sup>2</sup> )	Volume (ft <sup>3</sup> )	Acc. Volume (ft <sup>3</sup> )
4998.00	5682	0	0
4999.00	6660	6171	6171
5000.00	7700	7180	13351
5001.00	8800	8250	21601
5002.00	9954	9377	30978
5003.00	11166	10560	41538
5004.00	12435	11801	53339

**Pond 2**

Elevation	Area (ft <sup>2</sup> )	Volume (ft <sup>3</sup> )	Acc. Volume (ft <sup>3</sup> )
4995.00	3306	0	0
4996.00	4258	3782	3782
4997.00	5265	4762	8544
4998.00	6326	5796	14339
4999.00	7441	6884	21223
5000.00	8611	8026	29249
5001.00	9835	9223	36472

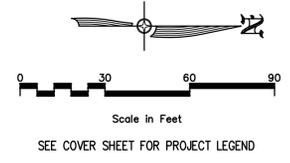
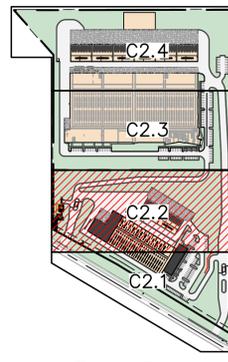
**Pond 3**

Elevation	Area (ft <sup>2</sup> )	Volume (ft <sup>3</sup> )	Acc. Volume (ft <sup>3</sup> )
4993.00	19661	0	0
4994.00	22452	21057	21057
4995.00	25306	23879	44936
4996.00	28226	26766	71702
4997.00	31210	29718	101420
4998.00	34252	32731	134151

**Pond 4**

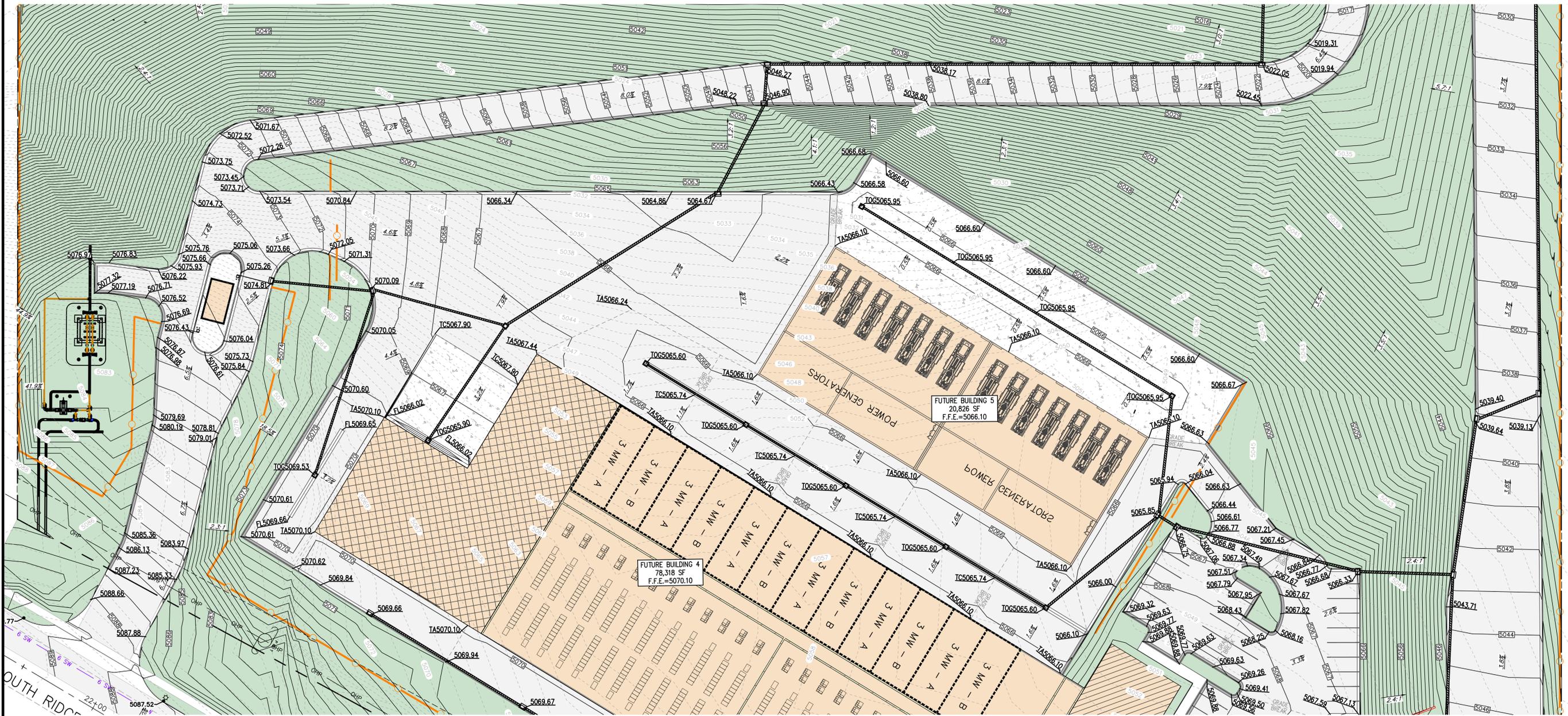
Elevation	Area (ft <sup>2</sup> )	Volume (ft <sup>3</sup> )	Acc. Volume (ft <sup>3</sup> )
5007.00	1938	0	0
5008.00	22931	12435	12435
5009.00	4048	13490	25924
5010.00	5289	4669	30593
5011.00	6655	5972	36565
5012.00	8145	7400	43965





KEYMAP

MATCHLINE -SEE SHEET C2.3



MATCHLINE -SEE SHEET C2.1

NO.	REVISIONS	BY	DATE
1	PRE COMMENTS		

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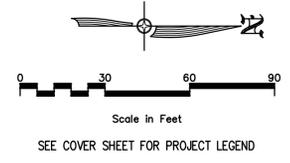
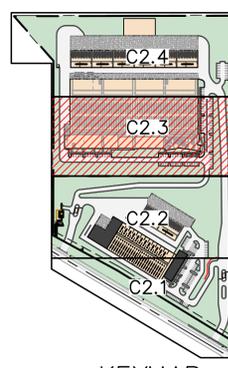
SUMMIT DATA CENTER  
SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655

GRADING PLAN

SHEET NO. **C2.2**  
PROJECT ID: E23-143  
DATE: 06/23/25  
FILE NAME: PRJ-SJ  
SCALE: 1"=30'

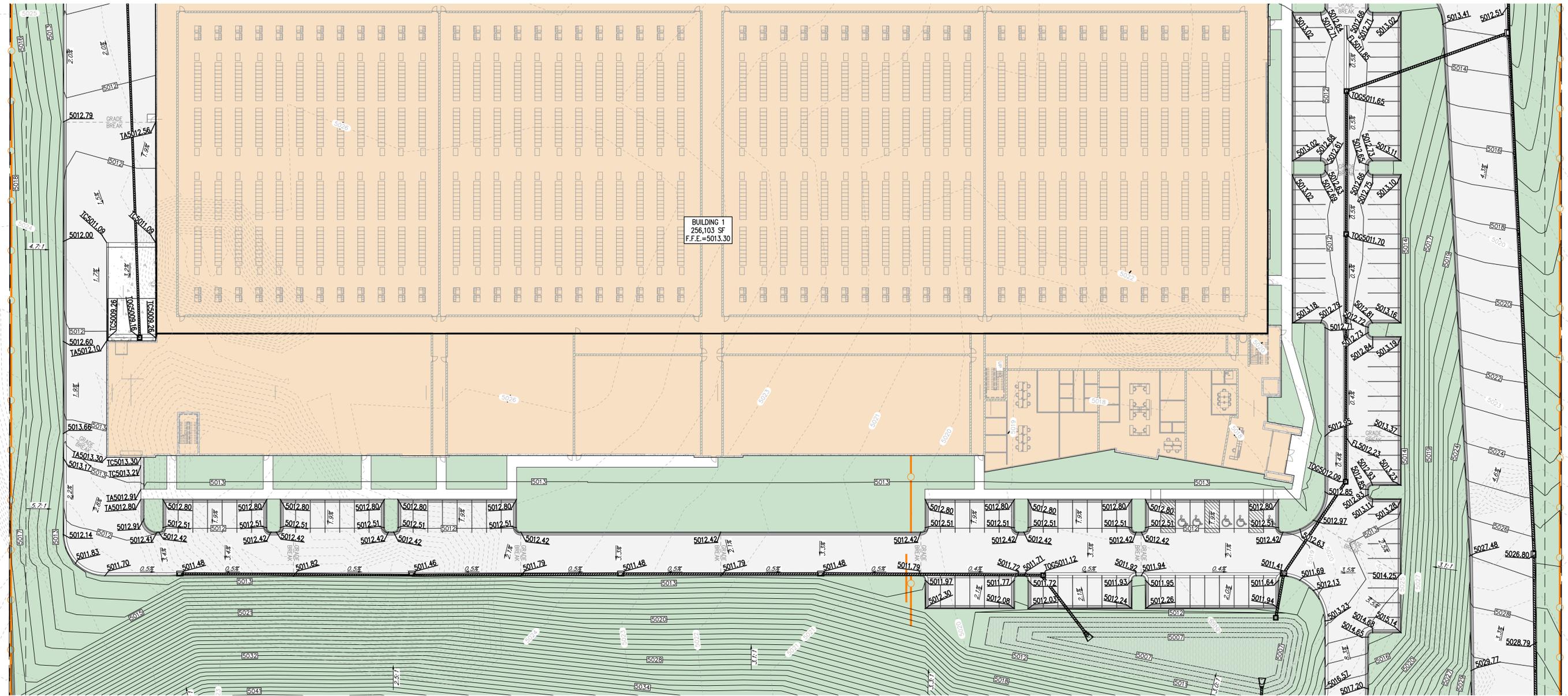


ROW	06/23/25	BY	DATE
NO.		DESIGNER	SDT
NO.		REVISIONS	
NO.		PROJECT ENGINEER	SDT



KEYMAP

MATCHLINE -SEE SHEET C2.4

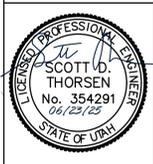


MATCHLINE -SEE SHEET C2.2

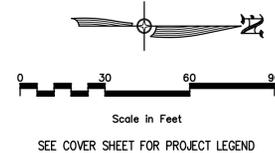
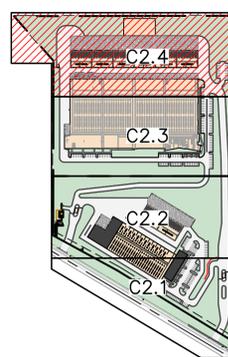
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SUMMIT DATA CENTER  
SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655

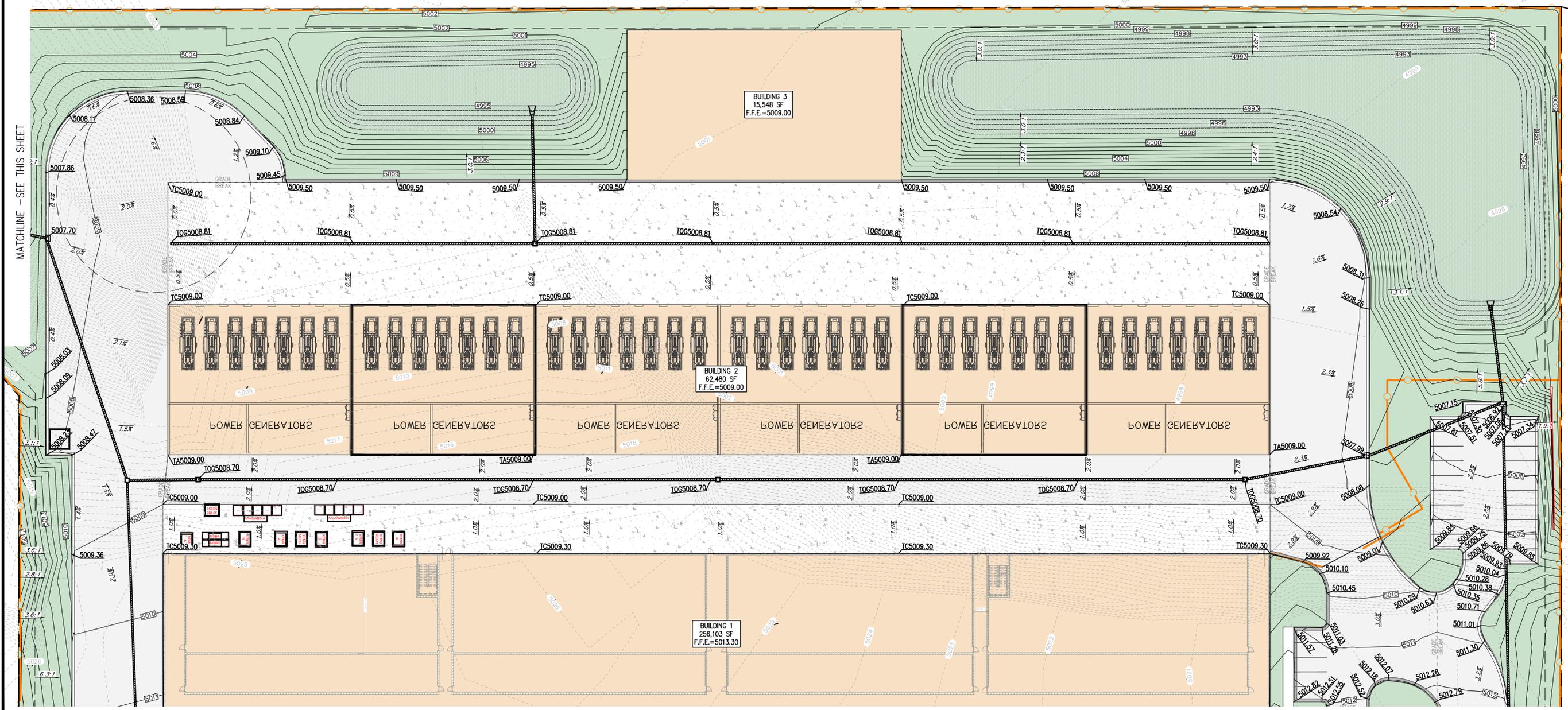
GRADING PLAN



SHEET NO.  
**C2.3**  
PROJECT ID: E23-143  
DATE: 06/23/25  
FILE NAME: PRJ-SJ  
SCALE: 1"=30'



KEYMAP



MATCHLINE - SEE THIS SHEET

MATCHLINE - SEE SHEET C2.3

NO.	REVISIONS	BY	DATE
1	PRE COMMENTS		06/23/25

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SUMMIT DATA CENTER  
SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655



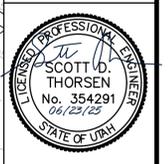
SHEET NO. C2.4  
PROJECT ID: E23-143  
DATE: 06/23/25  
FILE NAME: PRJ-SJ1  
SCALE: 1" = 30'

GRADING PLAN

ROW	05/23/25				
NO		REVISIONS	BY	DATE	
1		PRE COMMENTS			
		DESIGNER: SDT			
		PROJECT ENGINEER: SDT			

**CIVIL ENGINEERING + SURVEYING**  
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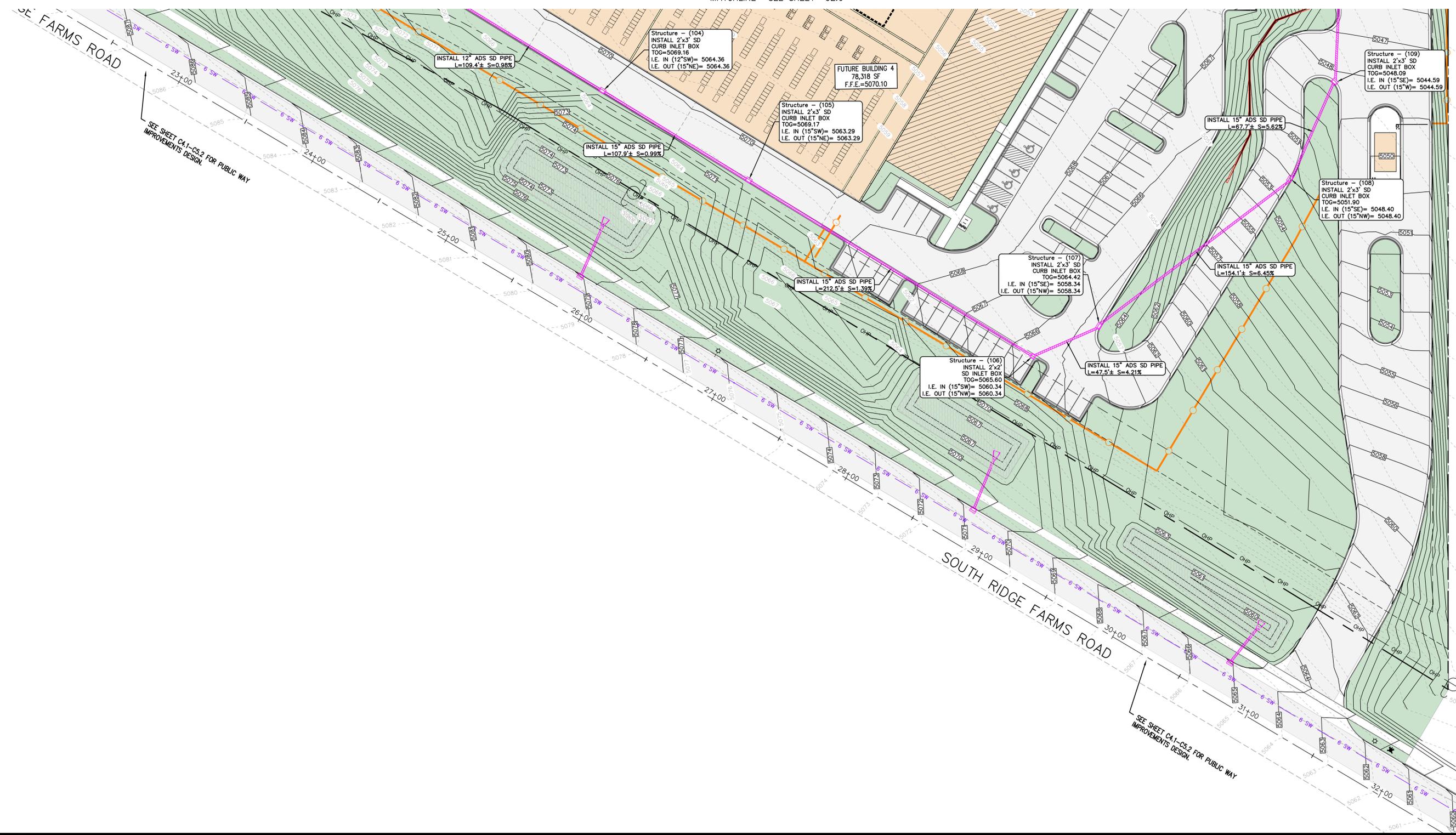
SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 DRAINAGE PLAN



SHEET NO. **C2.5**  
 PROJECT ID: E23-143  
 DATE: 06/23/25  
 FILE NAME: PRJ-SJT  
 SCALE: 1" = 30'

Scale In Feet  
 0 30 60 90  
 SEE COVER SHEET FOR PROJECT LEGEND

MATCHLINE - SEE SHEET C2.6



NO.	REVISIONS	BY	DATE
1	PRE COMMENTS		

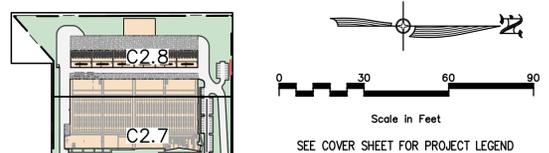
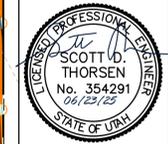
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**Summit Data Center**  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655

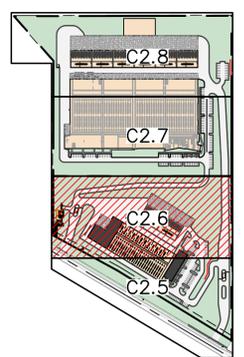
**DRAINAGE PLAN**

SHEET NO. **C2.6**

PROJECT ID: E23-143  
 DATE: 06/23/25  
 FILE NAME: PRJ-SJ  
 SCALE: 1"=30'



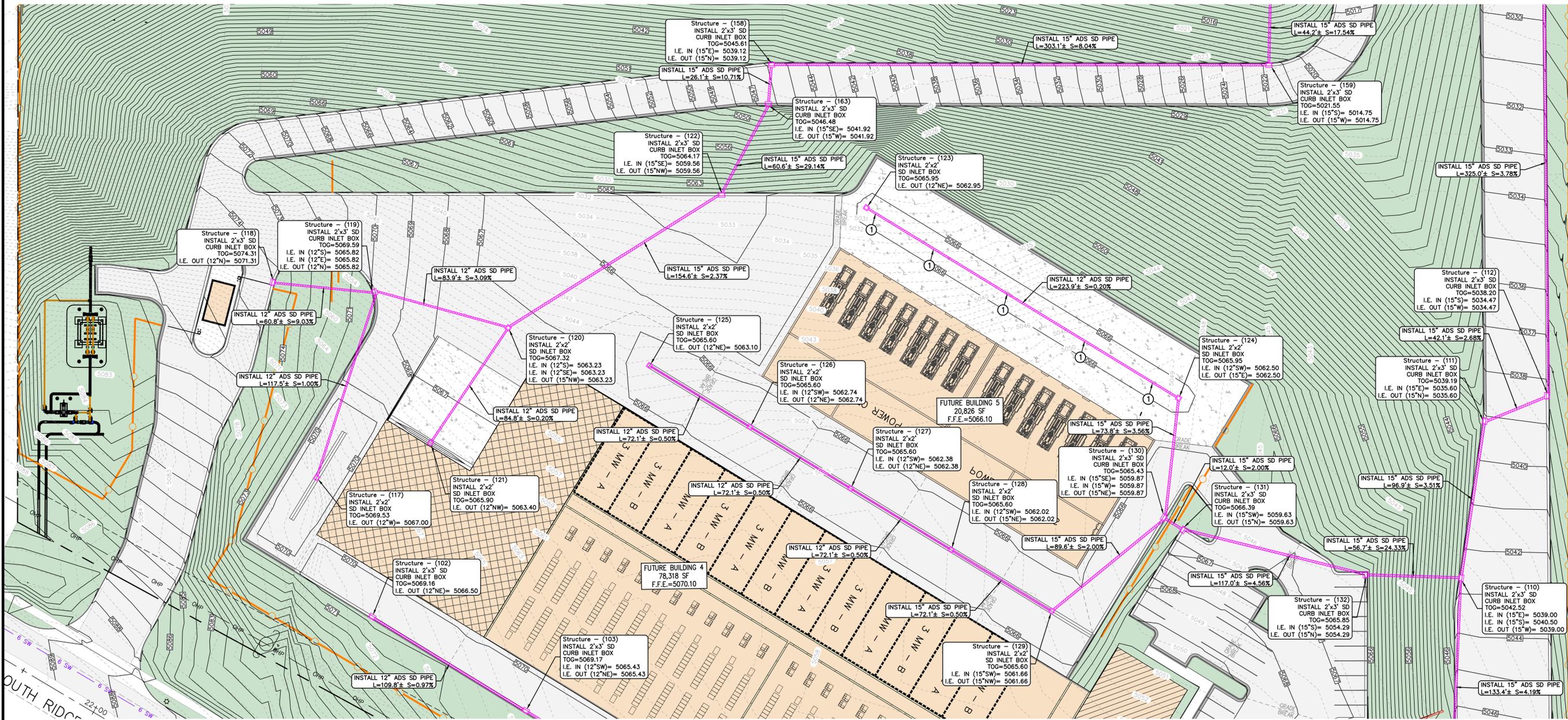
KEYMAP



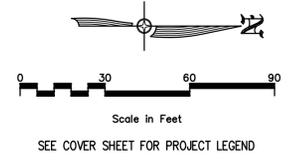
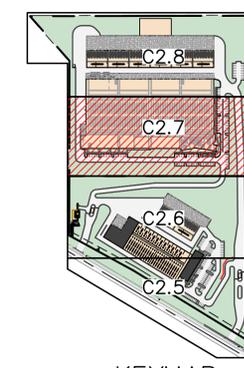
**PLAN KEYNOTE:**  
 ① INSTALL ADS DURASLOT XL TRENCH DRAIN OVER N-12 PIPE. TOG=5065.95.

MATCHLINE -SEE SHEET C2.7

MATCHLINE -SEE SHEET C2.5

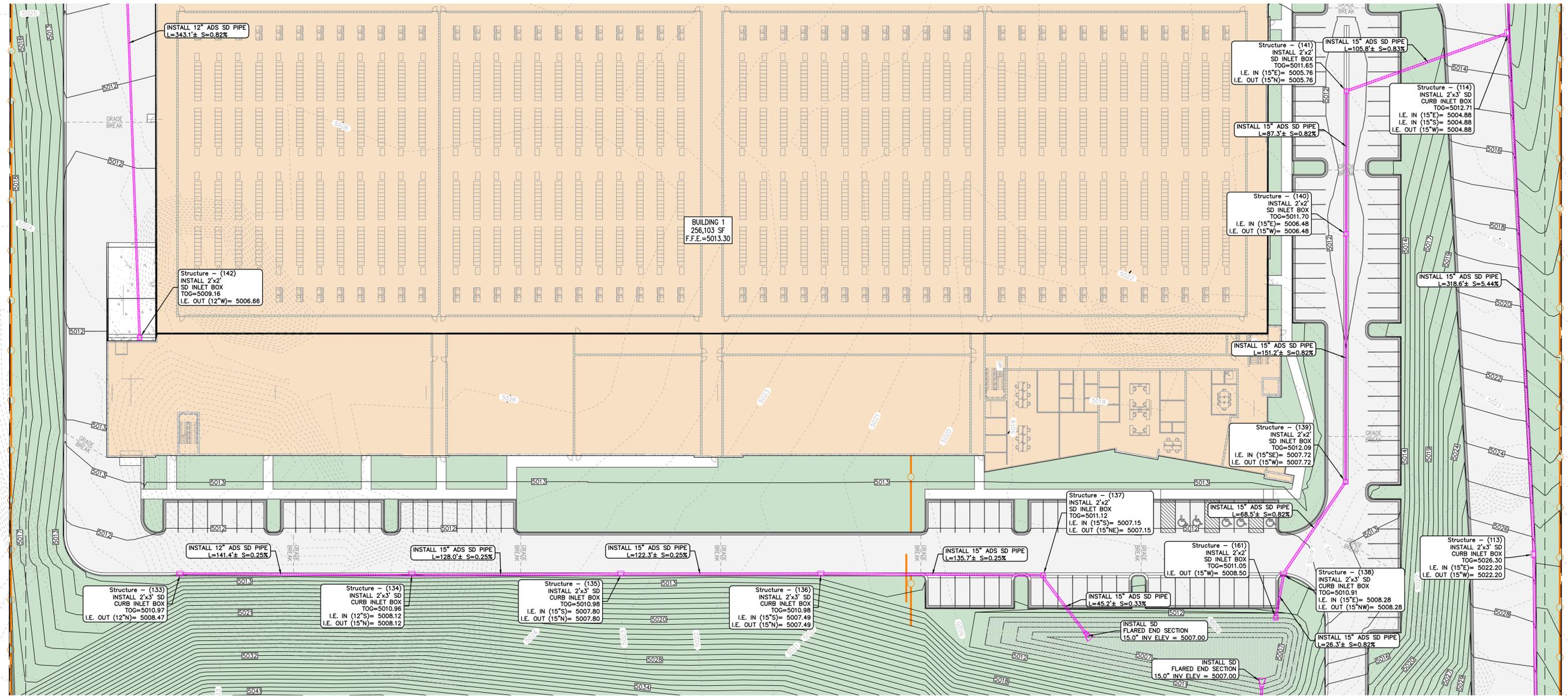


ROW	DATE	BY	DATE
1	06/23/25		
REVISIONS		PROJECT ENGINEER: SDT	
NO		DESIGNER: SDT	



KEYMAP

MATCHLINE -SEE SHEET C2.8



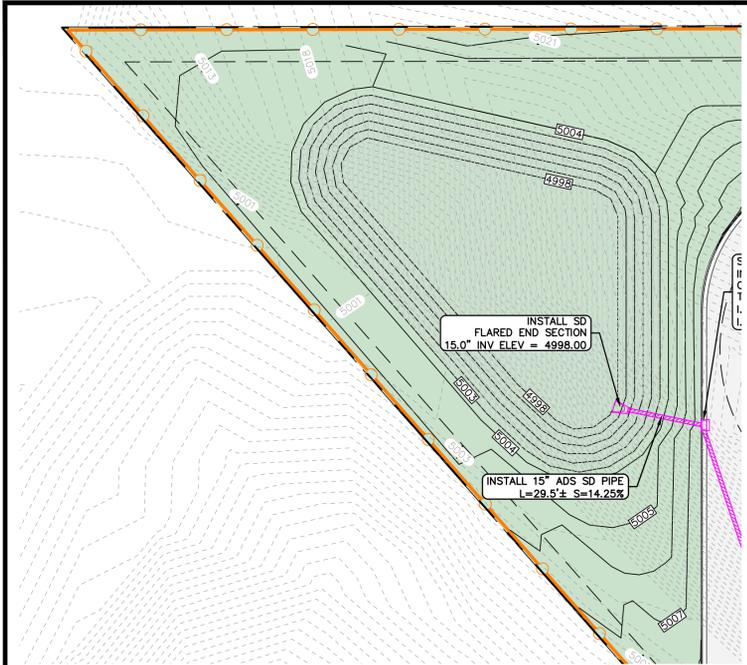
MATCHLINE -SEE SHEET C2.6

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SUMMIT DATA CENTER  
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 DRAINAGE PLAN

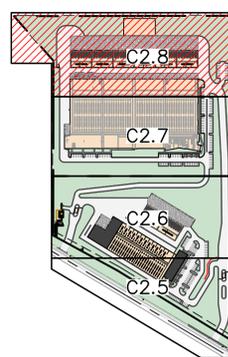


SHEET NO. **C2.7**  
 PROJECT ID: E23-143  
 DATE: 06/23/25  
 FILE NAME: PRJ-SJ  
 SCALE: 1"=30'

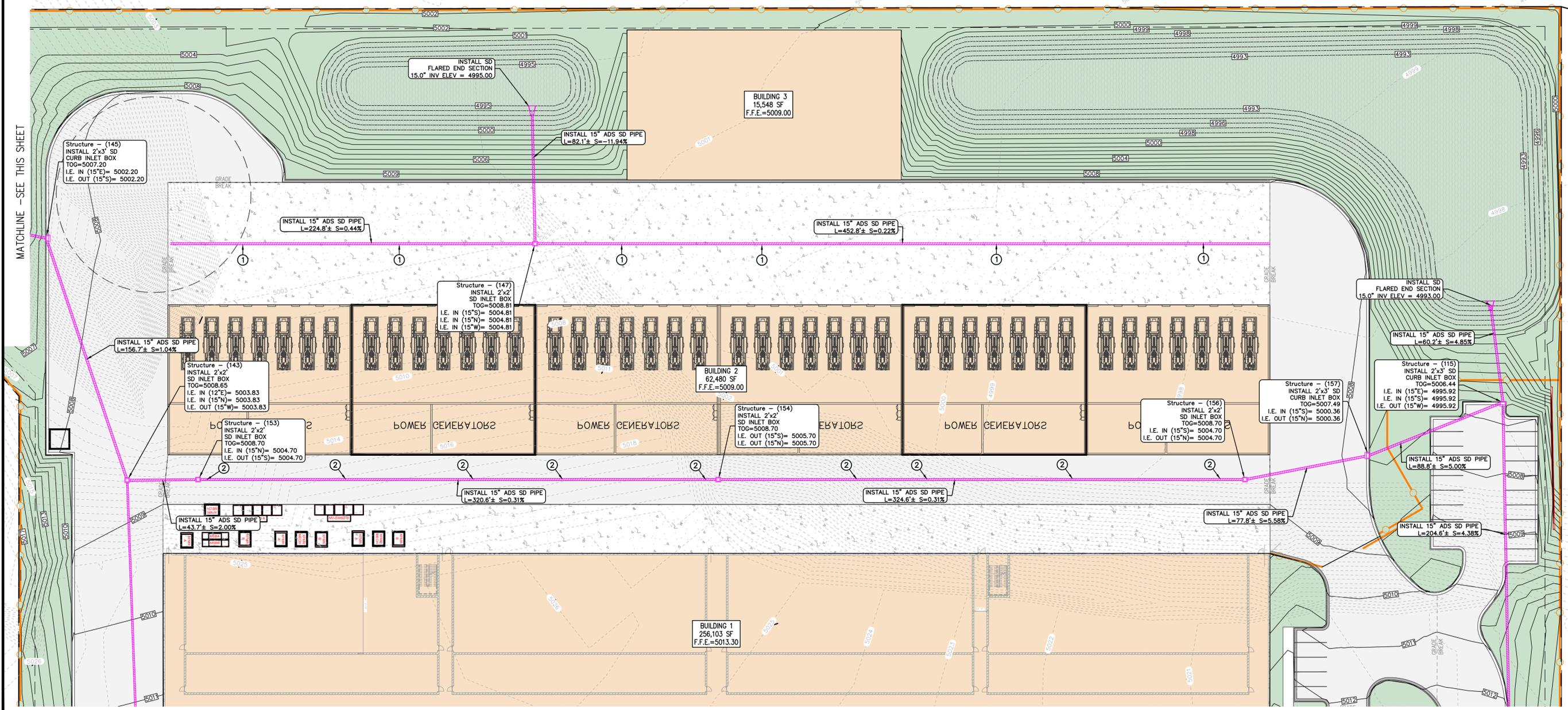
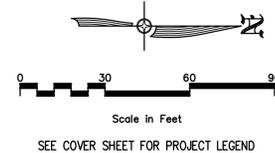


MATCHLINE - SEE THIS SHEET

- PLAN KEYNOTE:**
- ① INSTALL ADS DURASLOT XL TRENCH DRAIN OVER N-12 PIPE. TOG=5008.81.
  - ② INSTALL ADS DURASLOT XL TRENCH DRAIN OVER N-12 PIPE. TOG=5008.70.



KEYMAP



MATCHLINE - SEE THIS SHEET

MATCHLINE - SEE SHEET C2.3

ROW	DATE	BY	DATE
1	06/23/25		

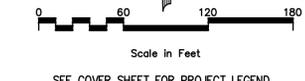
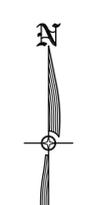
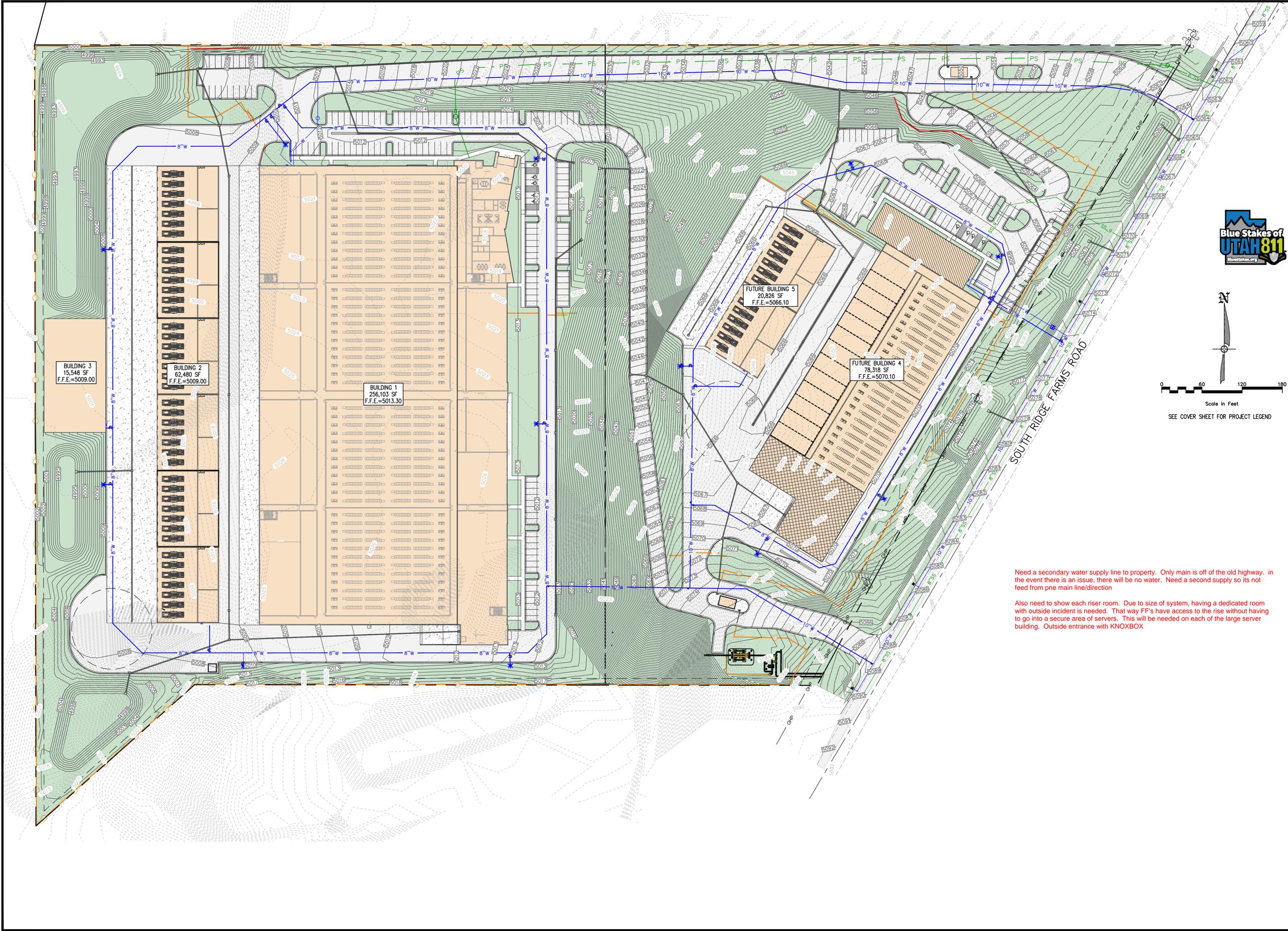
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SUMMIT DATA CENTER  
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SHEET NO. **C2.8**  
 PROJECT ID: E23-143  
 DATE: 06/23/25  
 FILE NAME: PRJ-SJI  
 SCALE: 1"=30'

DRAINAGE PLAN



Scale in Feet  
SEE COVER SHEET FOR PROJECT LEGEND

Need a secondary water supply line to property. Only main is off of the old highway. in the event there is an issue, there will be no water. Need a second supply so its not feed from pne main line/direction

Also need to show each riser room. Due to size of system, having a dedicated room with outside incident is needed. That way FF's have access to the rise without having to go into a secure area of servers. This will be needed on each of the large server building. Outside entrance with KNOXBOX

NO	REVISIONS	BY	DATE
1	PRE COMMENTS		06/23/25

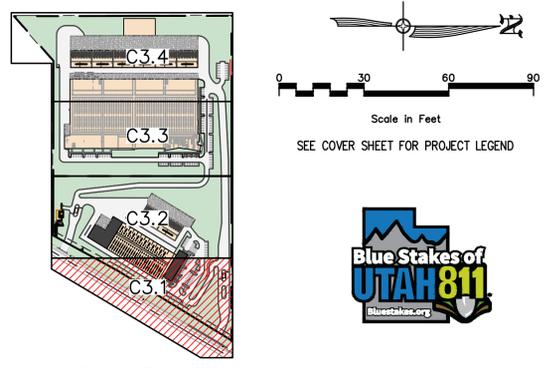
**CIVIL ENGINEERING + SURVEYING**  
 10718 S BECKSTEAD LANE, SUITE 102  
 South Jordan, Utah · 801-949-6296

**SUMMIT DATA CENTER**  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
**OVERALL UTILITY PLAN**

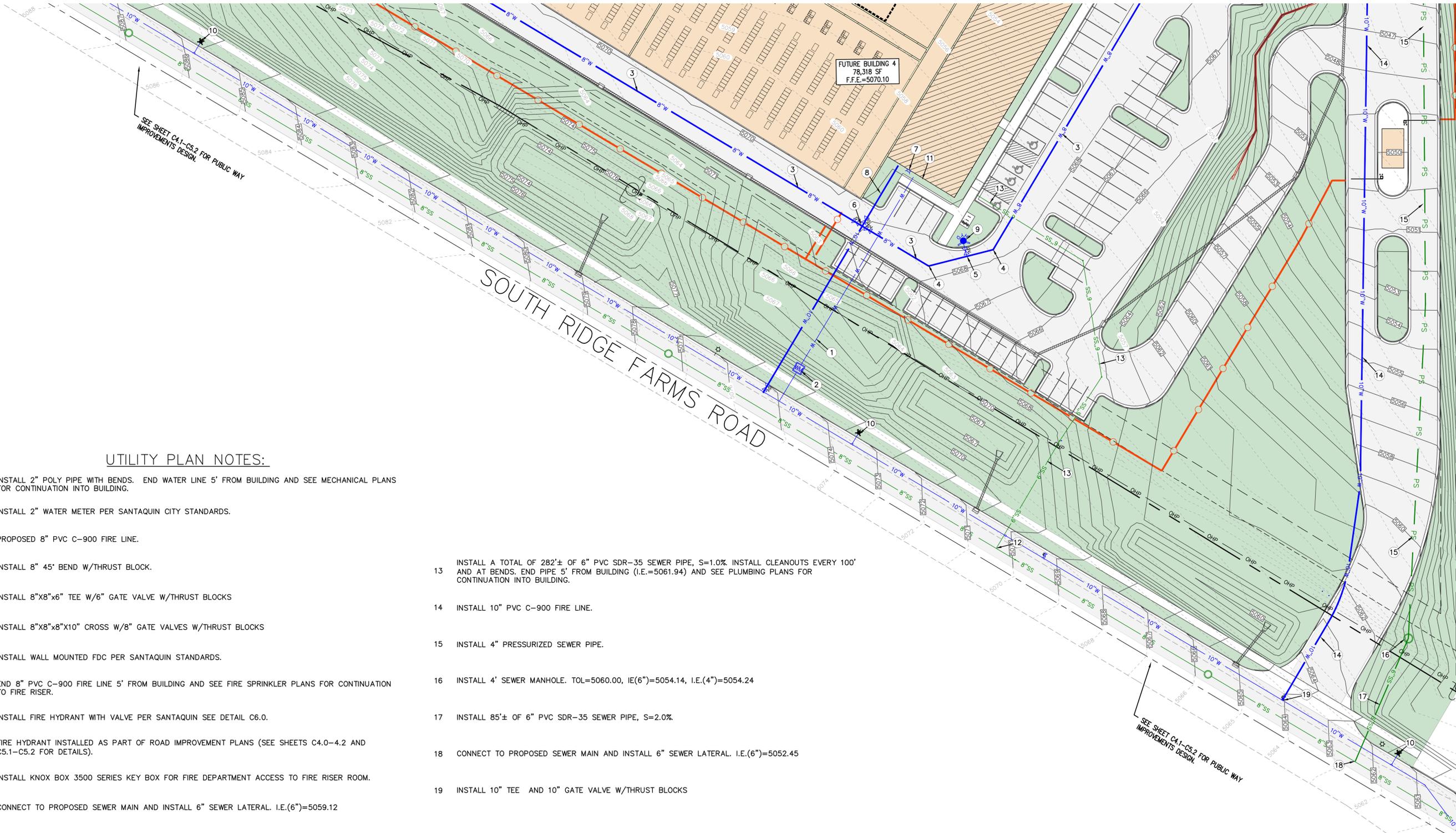


SHEET NO. **C3.0**  
 PROJECT ID: E23-143 DATE: 06/23/25  
 FILE NAME: PRJ-SJ SCALE: 1"=60'

ROW	05/23/25	BY	DATE
NO		REVISIONS	
DESIGNER	SDT	PROJECT ENGINEER	SDT



MATCHLINE -SEE SHEET C3.2

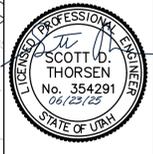


**UTILITY PLAN NOTES:**

- 1 INSTALL 2" POLY PIPE WITH BENDS. END WATER LINE 5' FROM BUILDING AND SEE MECHANICAL PLANS FOR CONTINUATION INTO BUILDING.
- 2 INSTALL 2" WATER METER PER SANTAQUIN CITY STANDARDS.
- 3 PROPOSED 8" PVC C-900 FIRE LINE.
- 4 INSTALL 8" 45° BEND W/THRUST BLOCK.
- 5 INSTALL 8"x8"x6" TEE W/6" GATE VALVE W/THRUST BLOCKS
- 6 INSTALL 8"x8"x8"x10" CROSS W/8" GATE VALVES W/THRUST BLOCKS
- 7 INSTALL WALL MOUNTED FDC PER SANTAQUIN STANDARDS.
- 8 END 8" PVC C-900 FIRE LINE 5' FROM BUILDING AND SEE FIRE SPRINKLER PLANS FOR CONTINUATION TO FIRE RISER.
- 9 INSTALL FIRE HYDRANT WITH VALVE PER SANTAQUIN SEE DETAIL C6.0.
- 10 FIRE HYDRANT INSTALLED AS PART OF ROAD IMPROVEMENT PLANS (SEE SHEETS C4.0-4.2 AND C5.1-C5.2 FOR DETAILS).
- 11 INSTALL KNOX BOX 3500 SERIES KEY BOX FOR FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
- 12 CONNECT TO PROPOSED SEWER MAIN AND INSTALL 6" SEWER LATERAL. I.E.(6")=5059.12
- 13 INSTALL A TOTAL OF 282± OF 6" PVC SDR-35 SEWER PIPE, S=1.0%. INSTALL CLEANOUTS EVERY 100' AND AT BENDS. END PIPE 5' FROM BUILDING (I.E.=5061.94) AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- 14 INSTALL 10" PVC C-900 FIRE LINE.
- 15 INSTALL 4" PRESSURIZED SEWER PIPE.
- 16 INSTALL 4" SEWER MANHOLE. TOL=5060.00, IE(6")=5054.14, I.E.(4")=5054.24
- 17 INSTALL 85± OF 6" PVC SDR-35 SEWER PIPE, S=2.0%.
- 18 CONNECT TO PROPOSED SEWER MAIN AND INSTALL 6" SEWER LATERAL. I.E.(6")=5052.45
- 19 INSTALL 10" TEE AND 10" GATE VALVE W/THRUST BLOCKS

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 UTILITY PLAN

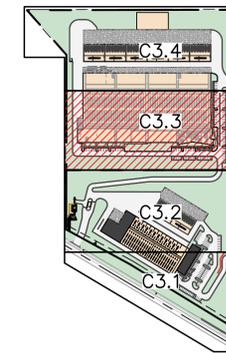


SHEET NO.	C3.1
PROJECT ID	E23-143
DATE	06/23/25
FILE NAME	PRJ-SJ1
SCALE	1"=30'

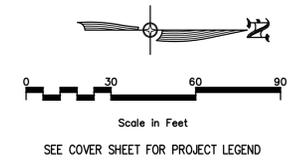


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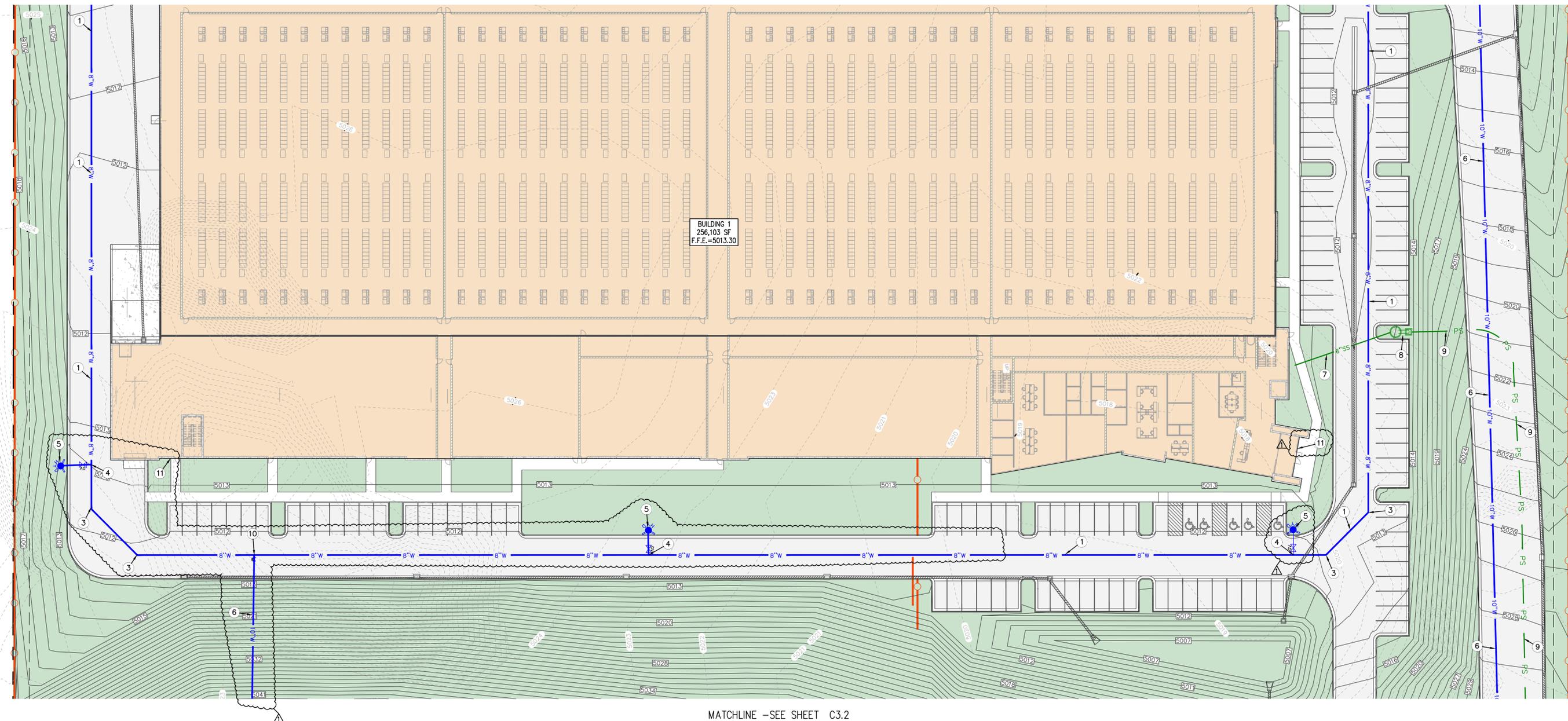
- 1 INSTALL 8" PVC C-900 FIRE LINE.
- 2 INSTALL 8" 22.5° BEND W/THRUST BLOCK.
- 3 INSTALL 8" 45° BEND W/THRUST BLOCK.
- 4 INSTALL 8"x8"x6" TEE W/6" GATE VALVE W/THRUST BLOCKS
- 5 INSTALL FIRE HYDRANT WITH VALVE PER SANTAQUIN SEE DETAIL C6.0.
- 6 INSTALL 10" PVC C-900 FIRE LINE.
- 7 INSTALL 62"± OF 6" PVC SDR-35 SEWER PIPE, S=1.0%. END PIPE 5' FROM BUILDING (I.E.=4996.50) AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- 8 INSTALL SEWER LIFT PUMP. TOL=5013.10, I.E.(6")=4995.88, I.E.(4")=5008.00
- 9 INSTALL 4" PRESSURIZED SEWER PIPE.
- 10 INSTALL 8"x10"x8" TEE AND GATE VALVE W/THRUST BLOCK.
- 11 INSTALL KNOX BOX 3500 SERIES KEY BOX FOR FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.



KEYMAP



MATCHLINE -SEE SHEET C3.4



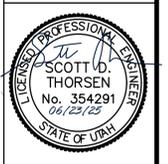
MATCHLINE -SEE SHEET C3.2

BUILDING 1  
256,103 SF  
F.F.E.=5013.30

NO	REVISIONS	BY	DATE
1	REVISED	SDT	06/23/25

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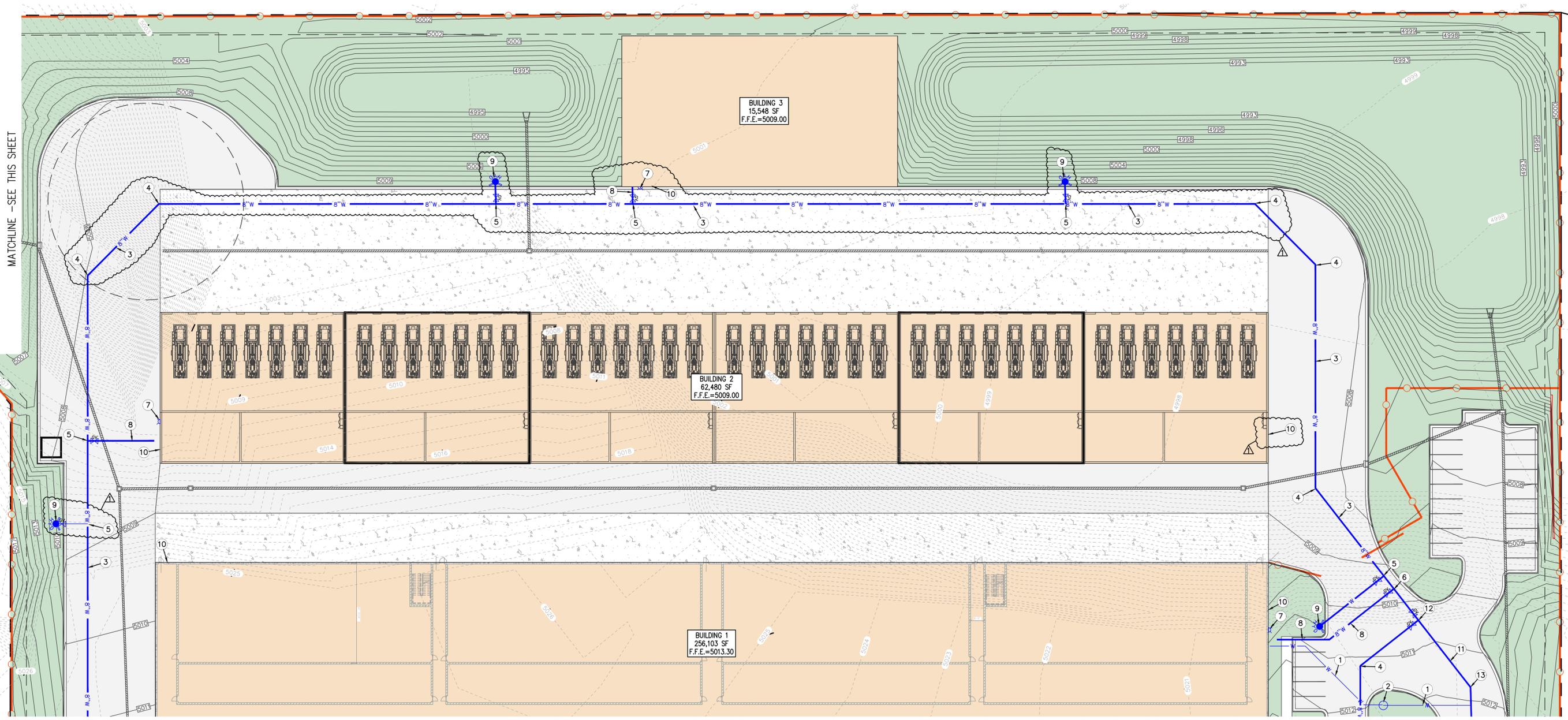
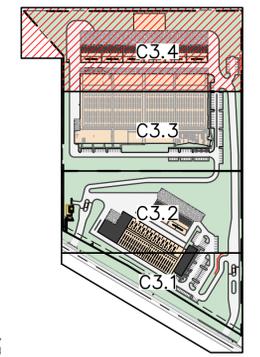
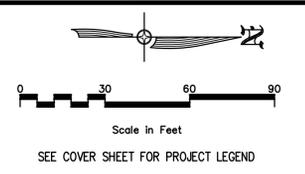
SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 UTILITY PLAN



SHEET NO.	C3.3
PROJECT ID	E23-143
DATE	06/23/25
FILE NAME	PRJ-SJ
SCALE	1"=30'

UTILITY PLAN NOTES:

- 1 INSTALL 2" POLY PIPE WITH BENDS. END WATER LINE 5' FROM BUILDING AND SEE MECHANICAL PLANS FOR CONTINUATION INTO BUILDING.
- 2 INSTALL 2" WATER METER PER SANTAQUIN CITY STANDARDS.
- 3 PROPOSED 8" PVC C-900 FIRE LINE.
- 4 INSTALL 8" 45° BEND W/THRUST BLOCK.
- 5 INSTALL 8"x8"x6" TEE W/6" GATE VALVE W/THRUST BLOCKS
- 6 INSTALL 8"x8"x8" TEE W/8" GATE VALVE W/THRUST BLOCKS
- 7 INSTALL WALL MOUNTED FDC PER SANTAQUIN STANDARDS.
- 8 END 8" PVC C-900 FIRE LINE 5' FROM BUILDING AND SEE FIRE SPRINKLER PLANS FOR CONTINUATION TO FIRE RISER.
- 9 INSTALL FIRE HYDRANT WITH VALVE PER SANTAQUIN SEE DETAIL C6.0.
- 10 INSTALL KNOX BOX 3500 SERIES KEY BOX FOR FIRE DEPARTMENT ACCESS TO FIRE RISER ROOM.
- 11 PROPOSED 10" PVC C-900 FIRE LINE.
- 12 INSTALL 8"x8"x10" TEE W/ TWO 8" GATE VALVE W/THRUST BLOCKS
- 13 INSTALL 10" 45° BEND W/THRUST BLOCK.



NO	REVISIONS	BY	DATE
1	FIRE COMMENTS		

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UTILITY PLAN

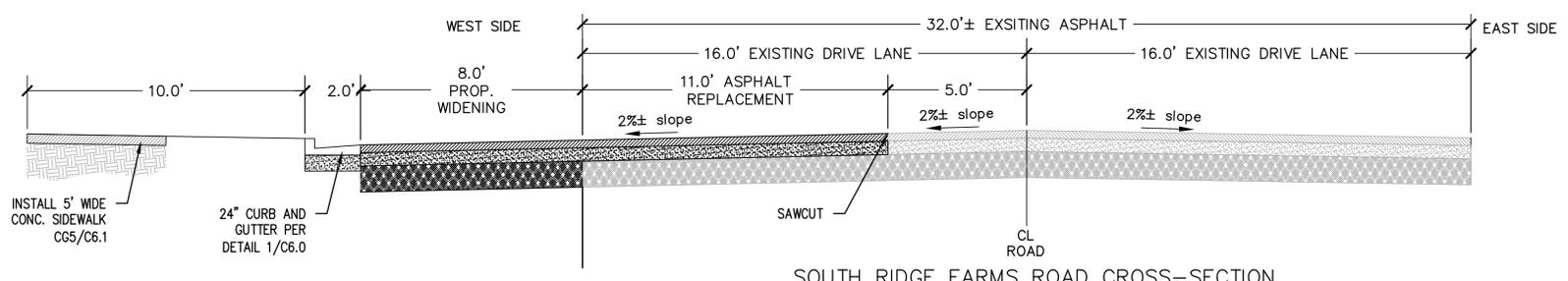
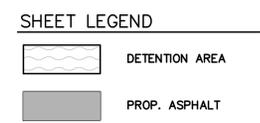
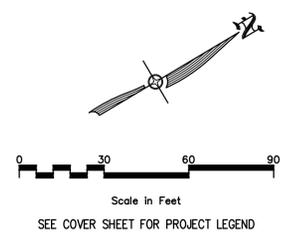
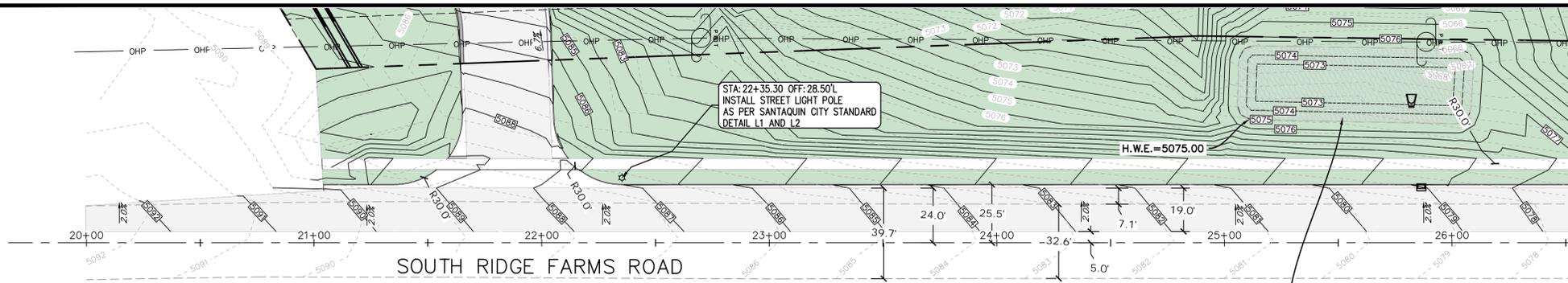
SHEET NO. **C3.4**

PROJECT ID: E23-143  
DATE: 06/23/25

FILE NAME: PRJ-SJI  
SCALE: 1"=30'

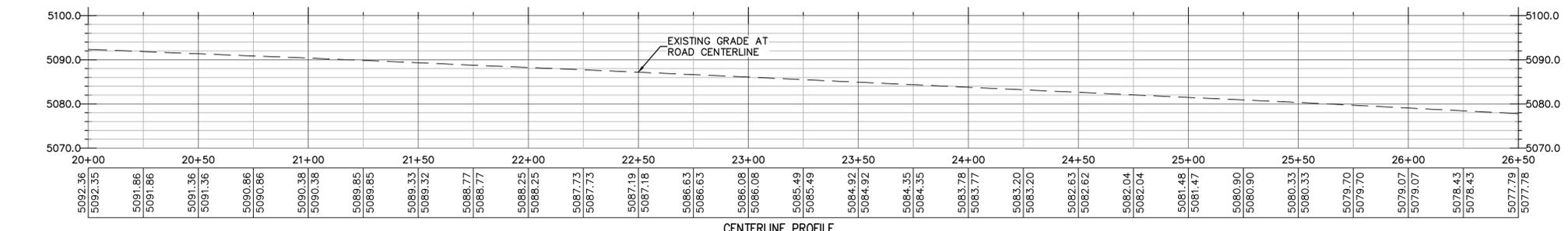
DESIGNER: SDT  
PROJECT ENGINEER: SDT



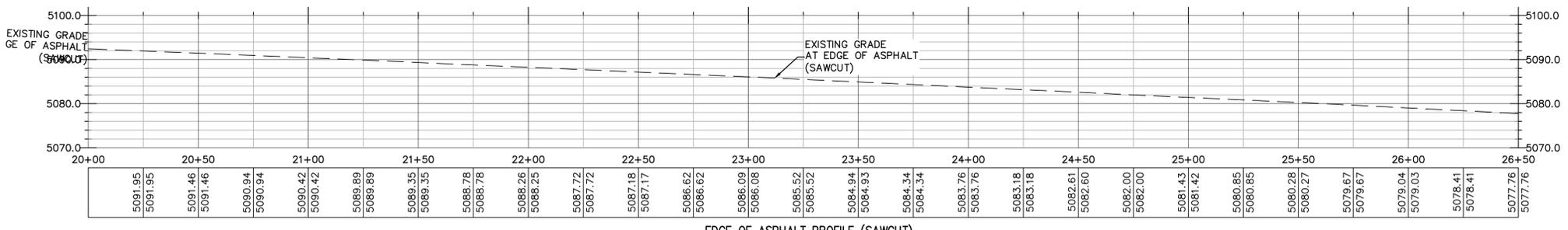


PROPOSED RETENTION POND 1 OF 3  
 DESIGN STORM EVENT = 100 YEAR 24 HOUR  
 RELEASE RATE = 0 CFS (FULL RETENTION)  
 REQUIRED RETENTION VOLUME = 5,635 CF  
 PROVIDED RETENTION VOLUME = 9,120 CF  
 FREEBOARD = 1.0 FEET  
 SIDE SLOPES = 4:1 MAX  
 TOP OF POND ELE. = 5076.0  
 BOTTOM OF POND ELE. = 5072.0  
 H.W.E. = 5075.0

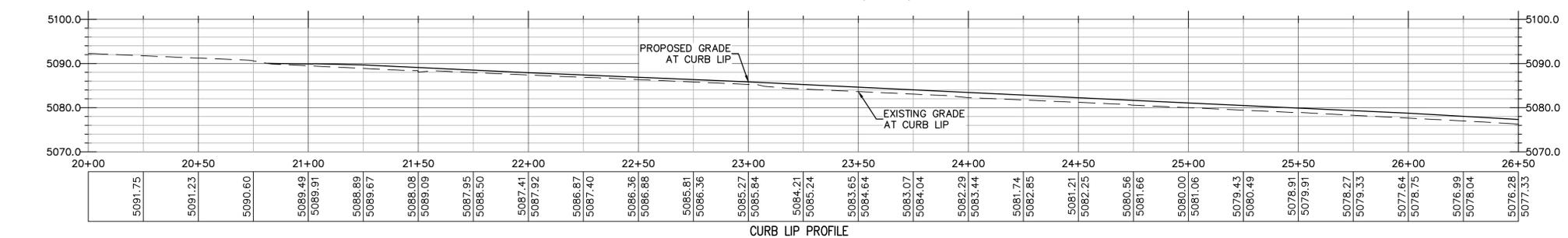
SOUTH RIDGE FARMS ROAD CROSS-SECTION  
 STA: 20+00 TO 33+00



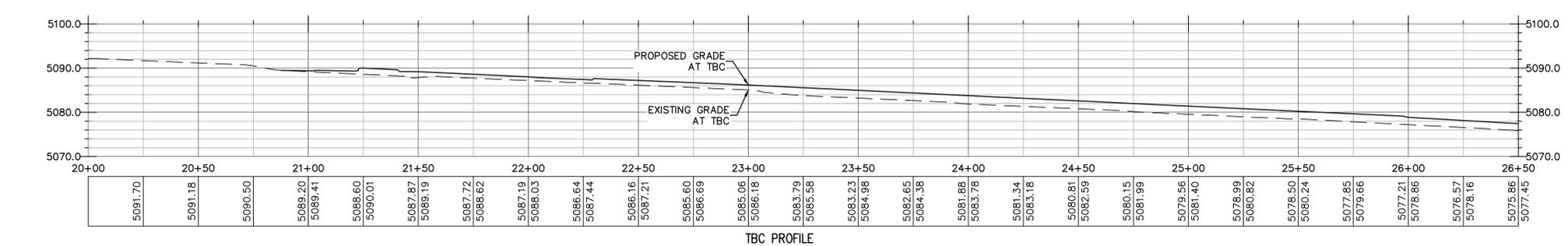
MATCHLINE - STA 26+50  
 SEE SHEET C4.2



MATCHLINE - STA 26+50  
 SEE SHEET C4.2



MATCHLINE - STA 26+50  
 SEE SHEET C4.2



MATCHLINE - STA 26+50  
 SEE SHEET C4.2

ROW	DATE	BY	DATE
1	05/23/25		

DESIGNER: SDT  
 PROJECT ENGINEER: SDT

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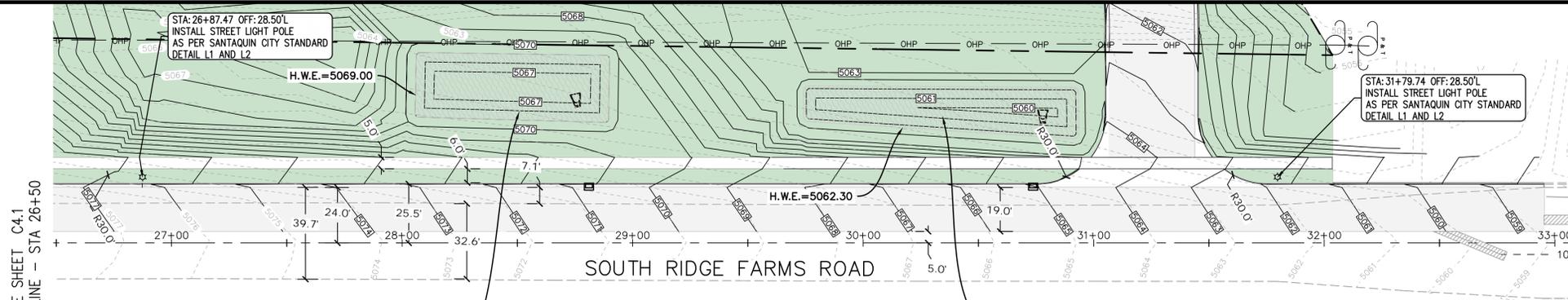
SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 ROAD WIDENING PLAN AND PROFILE  
 STA: 20+00 TO 26+50

SCOTT D. THORSEN  
 No. 354291  
 04/23/25  
 STATE OF UTAH

SHEET NO. C4.1

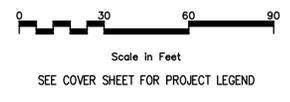
PROJECT ID: E23-143	DATE: 06/23/25
FILE NAME: PRJ-SJ1	SCALE: 1"=30'



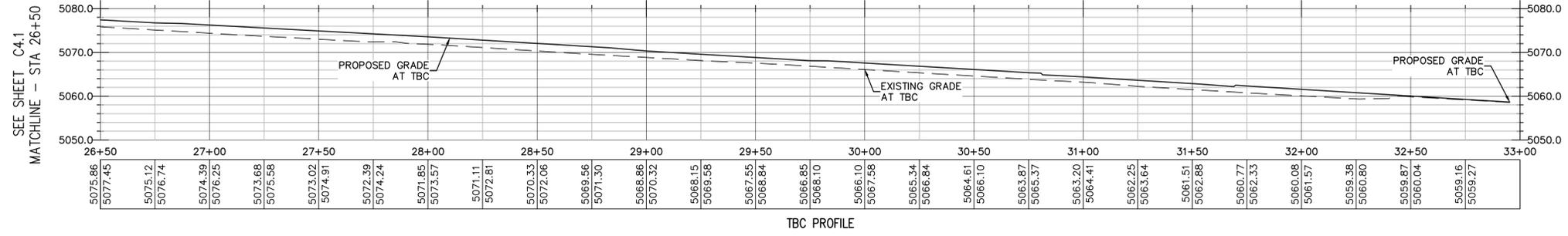
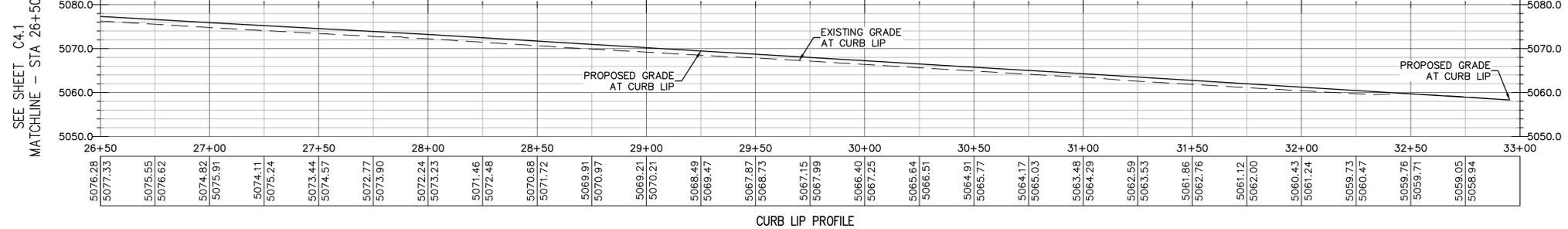
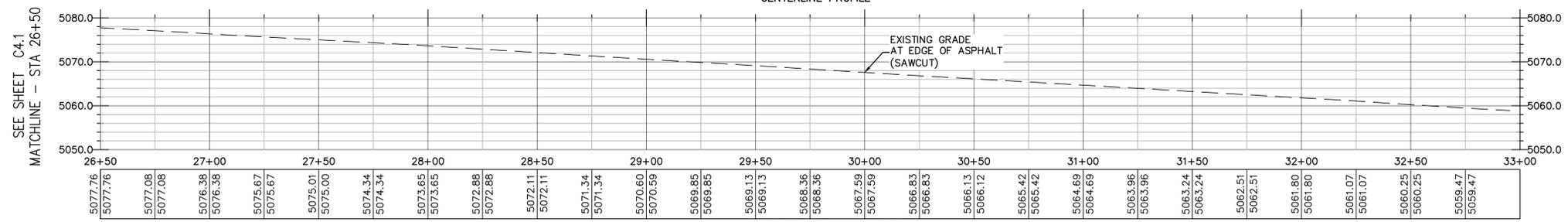
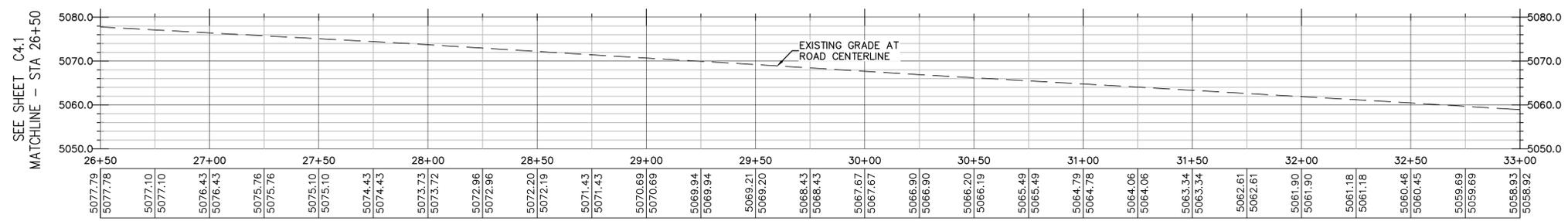


**PROPOSED RETENTION POND 2 OF 3**  
 DESIGN STORM EVENT = 100 YEAR 24 HOUR  
 RELEASE RATE = 0 CFS (FULL RETENTION)  
 REQUIRED RETENTION VOLUME = 3,675 CF  
 PROVIDED RETENTION VOLUME = 6,204 CF  
 FREEBOARD = 1.0 FEET  
 SIDE SLOPES = 4:1 MAX  
 TOP OF POND ELE. = 5070.0  
 BOTTOM OF POND ELE. = 5066.0  
 H.W.E. = 5069.0

**PROPOSED RETENTION POND 3 OF 3**  
 DESIGN STORM EVENT = 100 YEAR 24 HOUR  
 RELEASE RATE = 0 CFS (FULL RETENTION)  
 REQUIRED RETENTION VOLUME = 2,450 CF  
 PROVIDED RETENTION VOLUME = 4,069 CF  
 FREEBOARD = 0.7 FEET  
 SIDE SLOPES = 4:1 MAX  
 TOP OF POND ELE. = 5063.0  
 BOTTOM OF POND ELE. = 5060.0  
 H.W.E. = 5062.3



- SHEET LEGEND**
- DETENTION AREA
  - ASPHALT REPLACEMENT
  - PROP. ASPHALT



ROW	DATE	BY	DATE
1	05/23/25		

DESIGNER: SDT  
PROJECT ENGINEER: SDT

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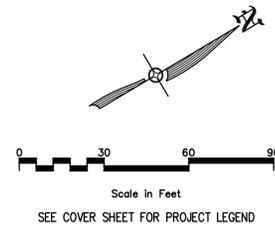
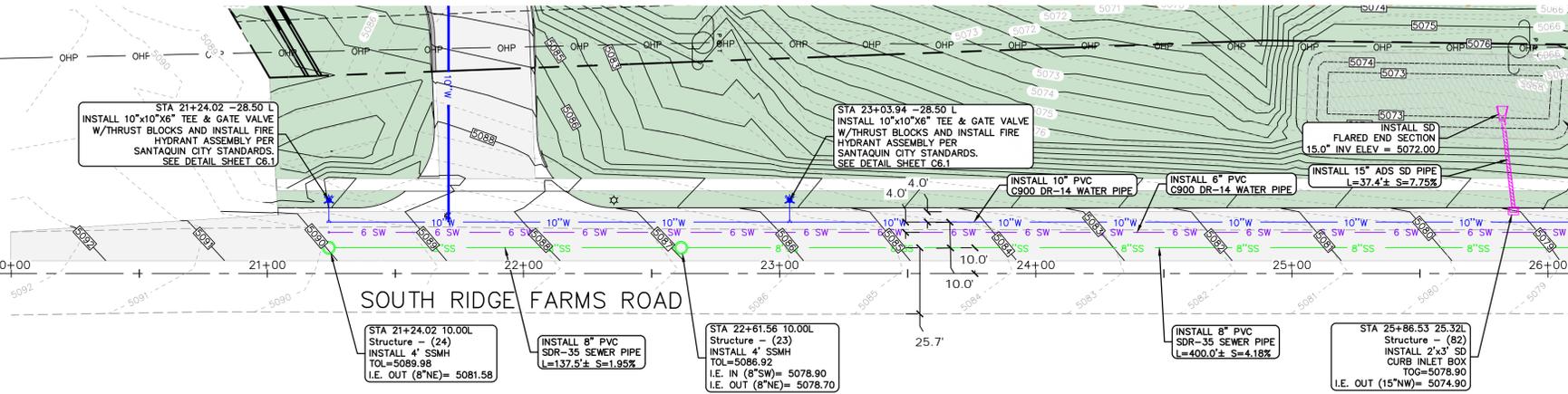
SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 ROAD WIDENING PLAN AND PROFILE  
 STA: 26+50 TO 33+00



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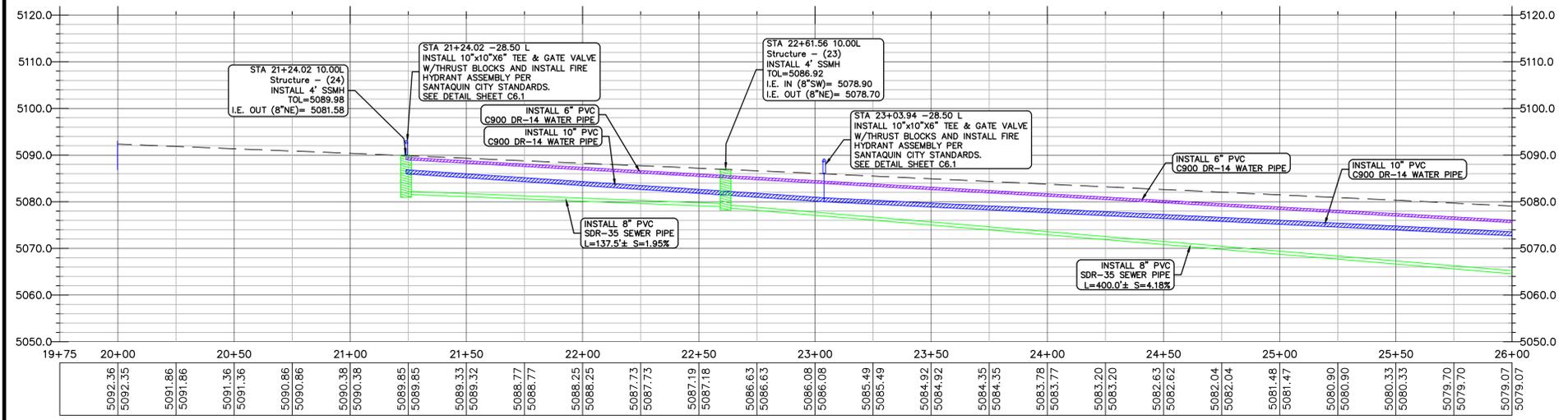
PROJECT ID: E23-143	DATE: 06/23/25
FILE NAME: PRJ-SJ1	SCALE: 1"=30'





**PROPOSED RETENTION POND 1 OF 3**

DESIGN STORM EVENT	= 100 YEAR 24 HOUR
RELEASE RATE	= 0 CFS (FULL RETENTION)
REQUIRED RETENTION VOLUME	= 5,635 CF
PROVIDED RETENTION VOLUME	= 9,120 CF
FREEBOARD	= 1.0 FEET
SIDE SLOPES	= 4:1 MAX
TOP OF POND ELE.	= 5076.0
BOTTOM OF POND ELE.	= 5072.0
H.W.E.	= 5075.0



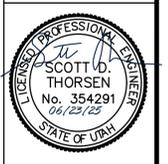
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NO.	REVISIONS	BY	DATE
1	1	SDT	06/23/25

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SUMMIT DATA CENTER  
SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
UTILITY PLAN AND PROFILE  
STA: 20+00 TO 26+00

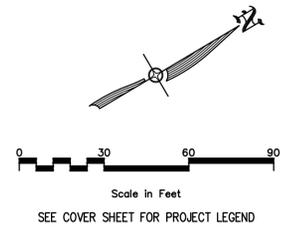


SHEET NO.	C5.1
PROJECT ID	E23-143
DATE	06/23/25
FILE NAME	PRJ-SJ1
SCALE	1"=30'



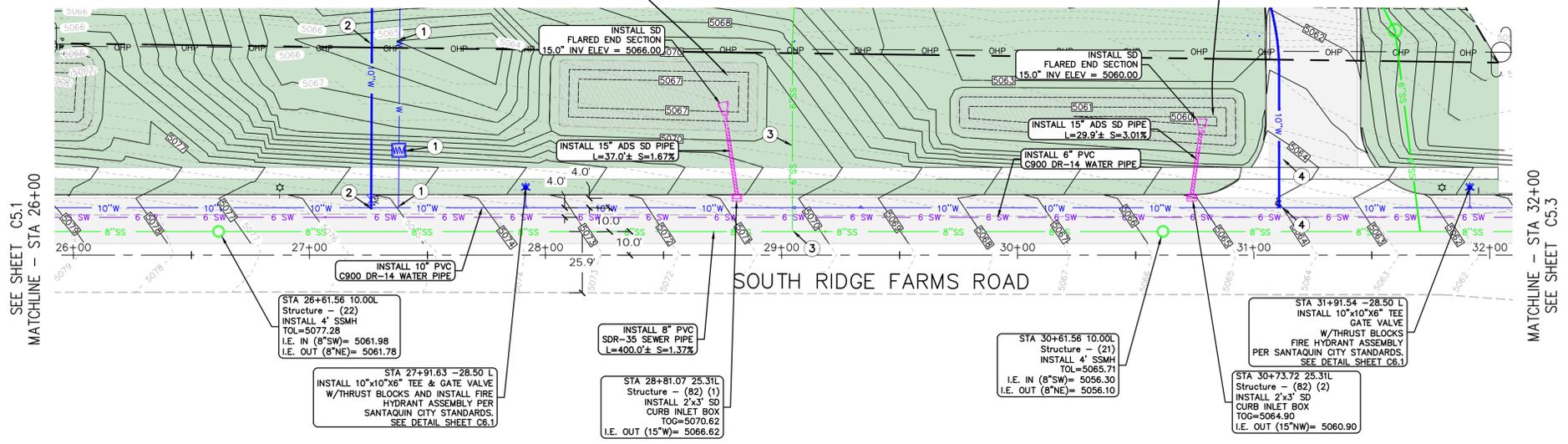
PROPOSED RETENTION POND 2 OF 3  
 DESIGN STORM EVENT = 100 YEAR 24 HOUR  
 RELEASE RATE = 0 CFS (FULL RETENTION)  
 REQUIRED RETENTION VOLUME = 3,675 CF  
 PROVIDED RETENTION VOLUME = 6,204 CF  
 FREEBOARD = 1.0 FEET  
 SIDE SLOPES = 4:1 MAX  
 TOP OF POND ELE. = 5070.0  
 BOTTOM OF POND ELE. = 5066.0  
 H.W.E. = 5069.0

PROPOSED RETENTION POND 3 OF 3  
 DESIGN STORM EVENT = 100 YEAR 24 HOUR  
 RELEASE RATE = 0 CFS (FULL RETENTION)  
 REQUIRED RETENTION VOLUME = 2,450 CF  
 PROVIDED RETENTION VOLUME = 4,069 CF  
 FREEBOARD = 0.7 FEET  
 SIDE SLOPES = 4:1 MAX  
 TOP OF POND ELE. = 5063.0  
 BOTTOM OF POND ELE. = 5060.0  
 H.W.E. = 5062.3



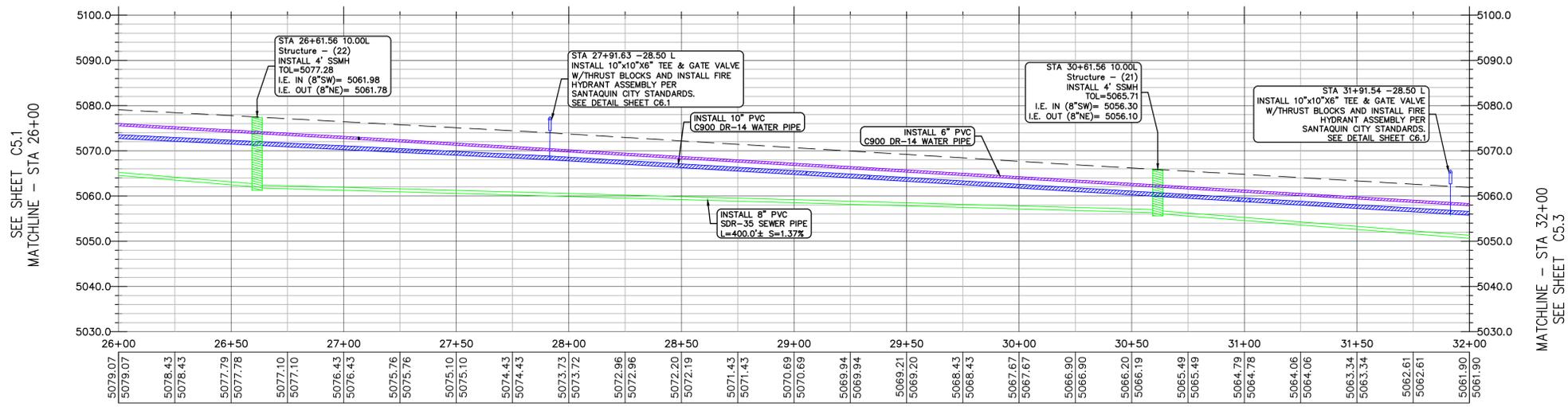
NO.	REVISIONS	BY	DATE
1	ISSUE FOR PERMITS	SDT	06/23/25

DESIGNER: SDT  
 PROJECT ENGINEER: SDT



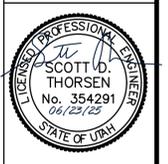
UTILITY PLAN NOTES:

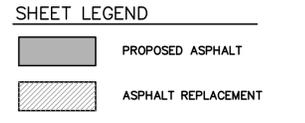
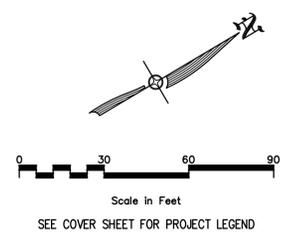
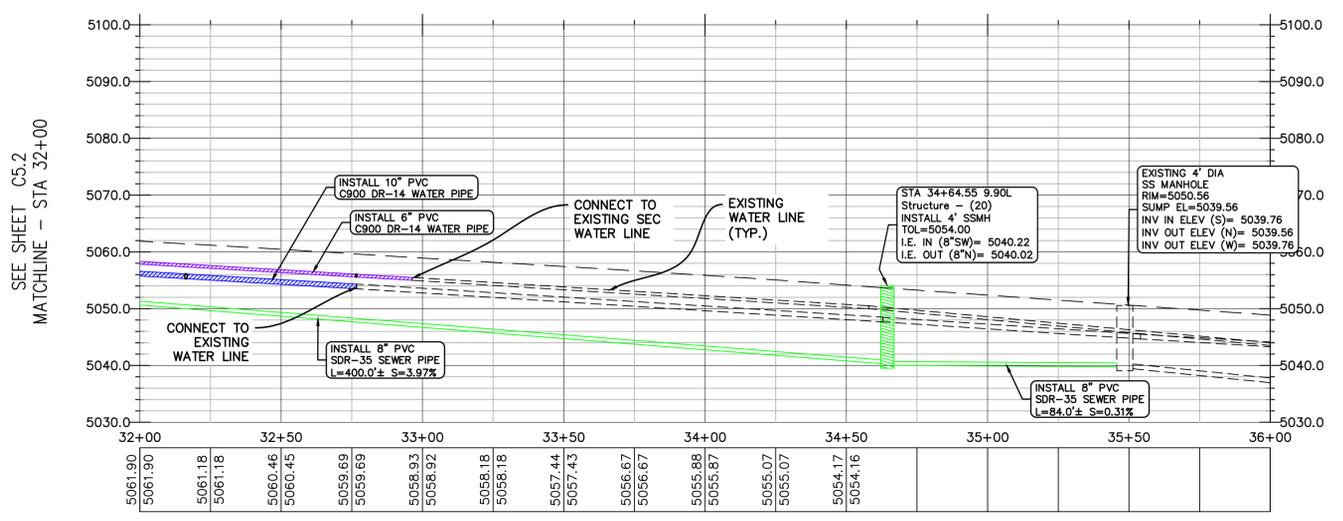
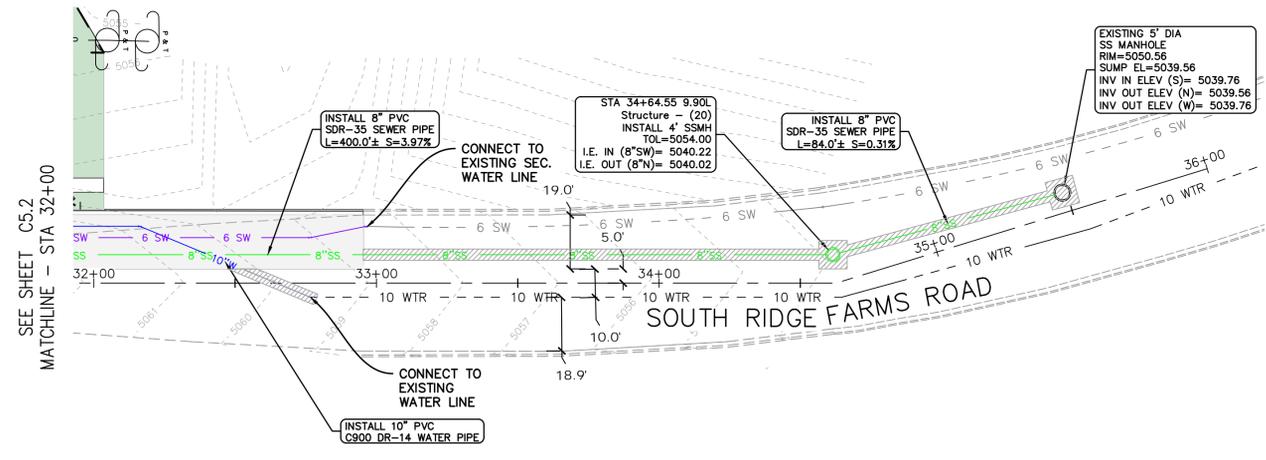
- CONNECT TO PROPOSED 10" WATER MAIN AND INSTALL 2" WATER LATERAL AND 2" WATER METER FOR CULINARY PURPOSES. CAP AND MARK LATERAL 5' PAST PROPERTY LINE FOR FUTURE CONNECTION. ALL WORK TO BE DONE PER SANTAQUIN STANDARDS.
- CONNECT TO PROPOSED 10" WATER MAIN VIA TEE (W/8" GATE VALVE AND THRUST BLOCKS) AND INSTALL 8" FIRE LINE LATERAL. CAP AND MARK LATERAL 5' PAST PROPERTY LINE FOR FUTURE CONNECTION.
- CONNECT TO PROPOSED 8" SEWER MAIN (I.E.(8"MAIN)=5058.26, I.E.(6"LAT)=5068.93) AND INSTALL 84.9' OF 6" PVC SDR-35 SEWER LATERAL, S=1.48%. CAP AND MARK LATERAL 5' PAST PROPERTY LINE FOR FUTURE CONNECTION (I.E.(CAP)=5060.19). ALL WORK TO BE DONE PER SANTAQUIN STANDARDS.
- CONNECT TO PROPOSED 10" WATER MAIN VIA TEE (W/10" GATE VALVE AND THRUST BLOCKS) AND INSTALL 10" FIRE LINE LATERAL. CAP AND MARK LATERAL 10' PAST PROPERTY LINE FOR FUTURE CONNECTION.



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 UTILITY PLAN AND PROFILE  
 STA: 26+00 TO 32+00





NO.	REVISIONS	BY	DATE
1	PRE COMMENTS		06/23/25

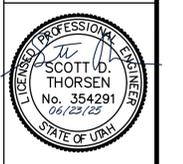
DESIGNER: SDT  
PROJECT ENGINEER: SDT

**CIVIL ENGINEERING + SURVEYING**

**CIR**

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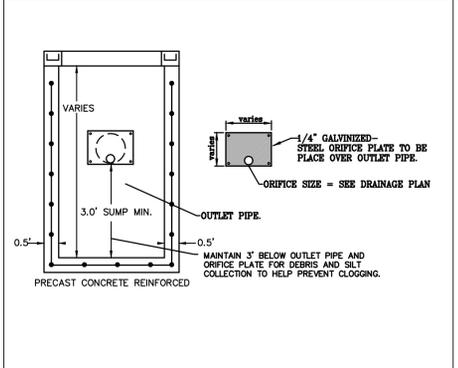
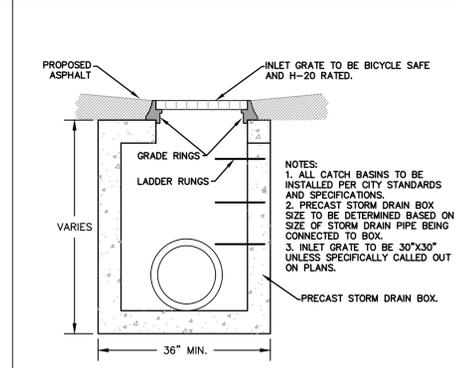
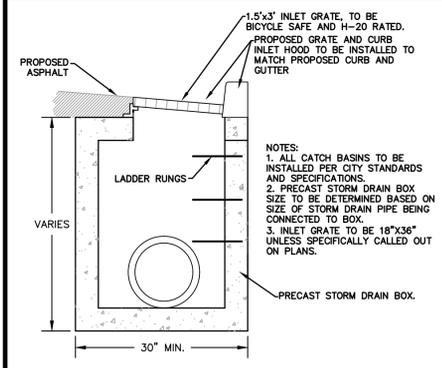
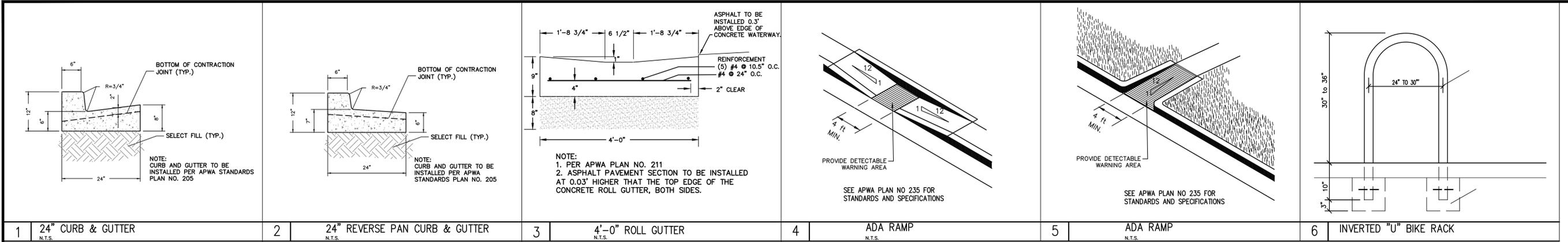
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SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
UTILITY PLAN AND PROFILE  
STA: 32+00 TO 36+00



SHEET NO. C5.3

PROJECT ID: E23-143	DATE: 06/23/25
FILE NAME: PRJ-SJ1	SCALE: 1"=30'

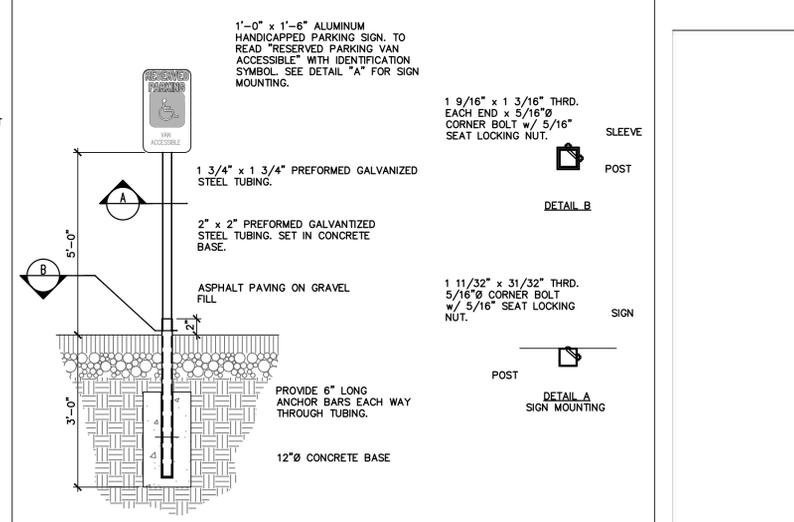
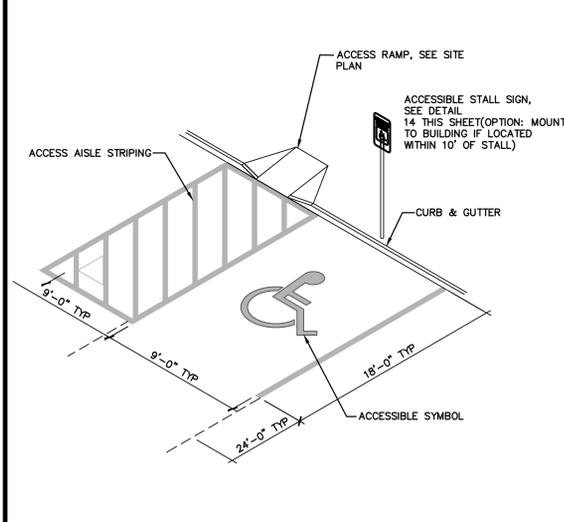




6 STANDARD STORM DRAIN CURB INLET BOX  
N.T.S.

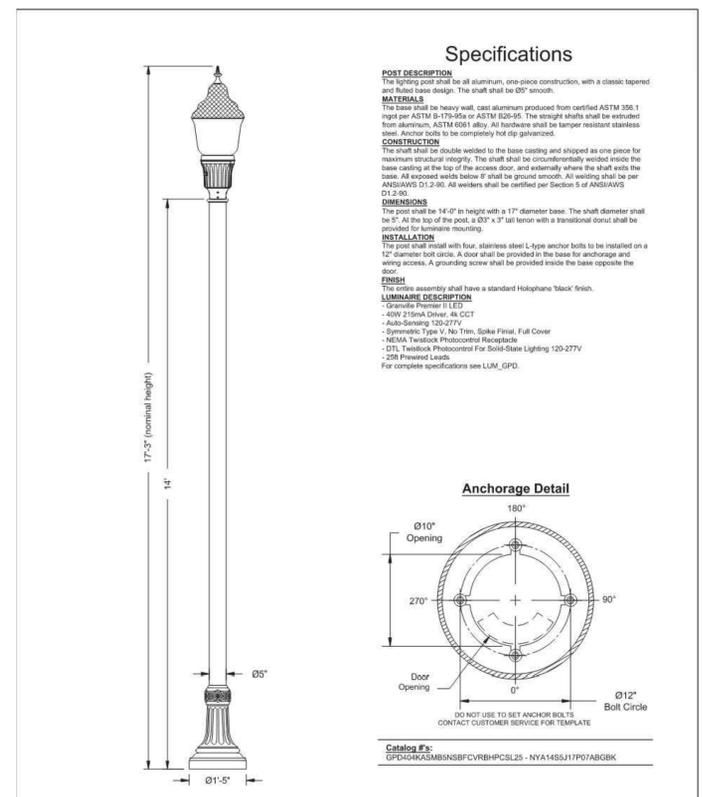
7 STANDARD STORM DRAIN INLET BOX  
N.T.S.

8 ORIFICE PLATE  
N.T.S.

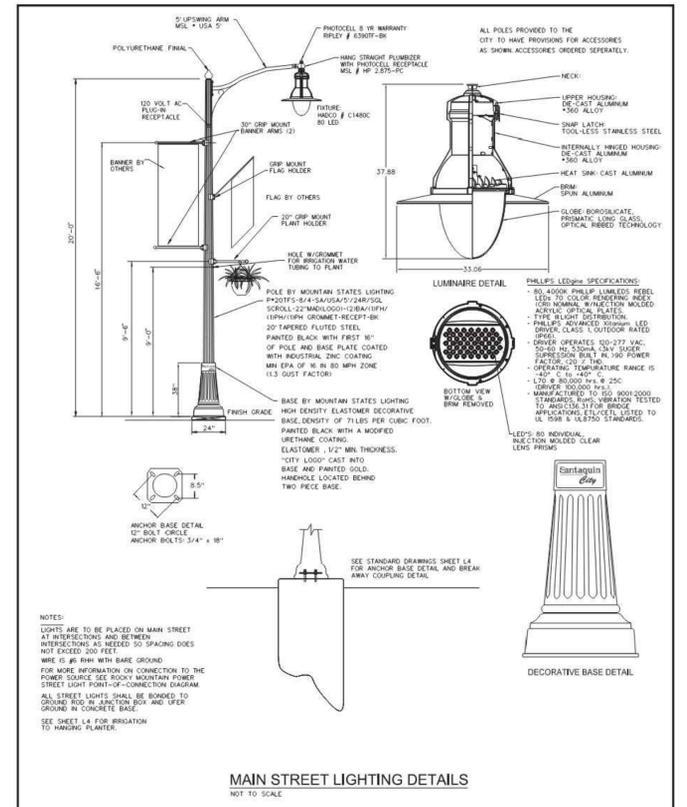


9 ACCESSIBLE PARKING STALL  
N.T.S.

10 HANDICAPPED PARKING SIGN  
N.T.S.



11 LOCAL AND COLLECTOR STREET LIGHTING DETAILS  
SANTAQUIN CITY  
275 WEST MAIN STREET  
L1  
ADOPTED DATE: 10 - OCT - 16



12 MAIN STREET LIGHTING DETAILS  
SANTAQUIN CITY  
275 WEST MAIN STREET  
L2

ROW	DATE	BY	DATE
1	05/23/25		

DESIGNER: SDT  
PROJECT ENGINEER: SDT

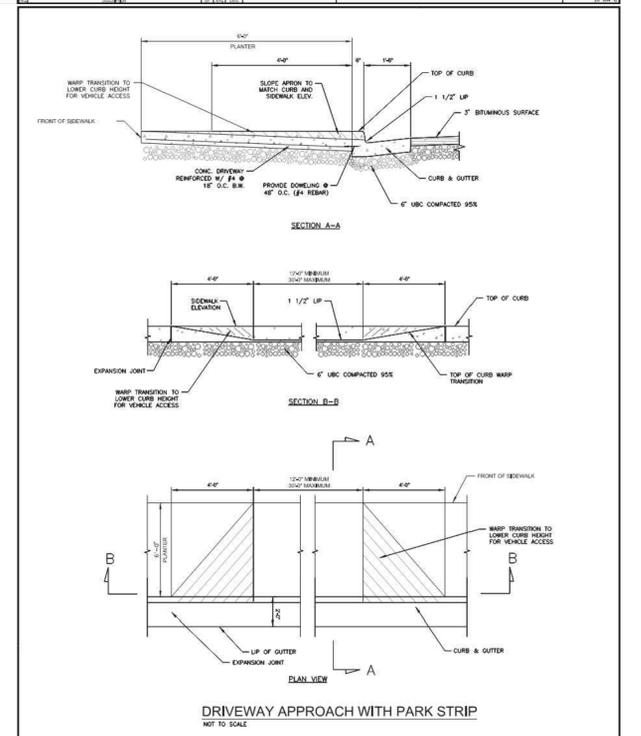
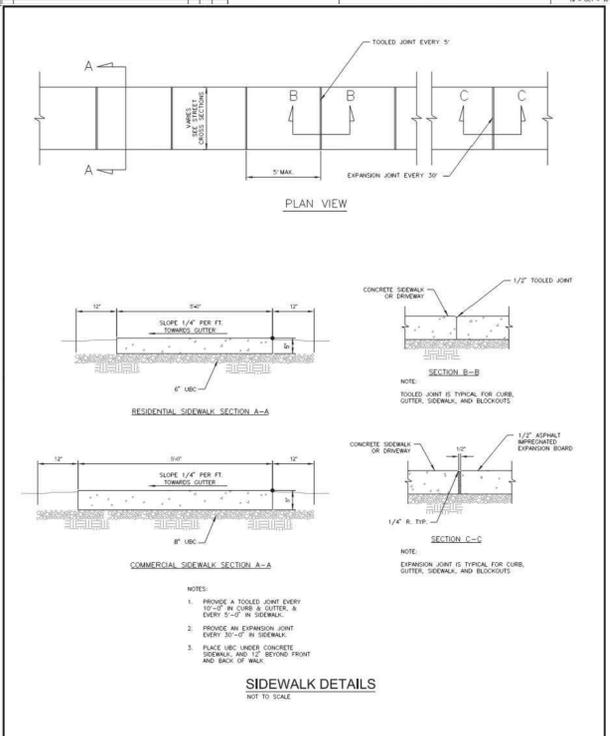
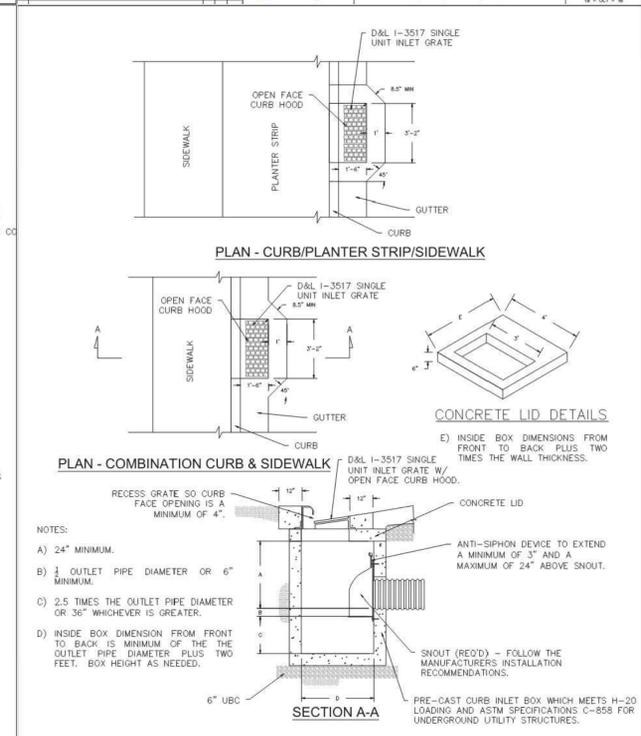
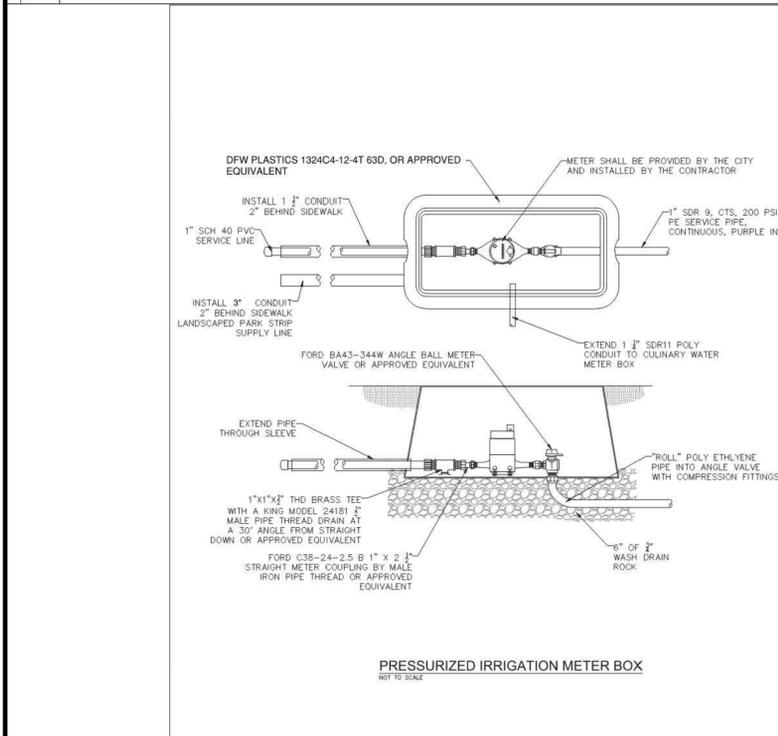
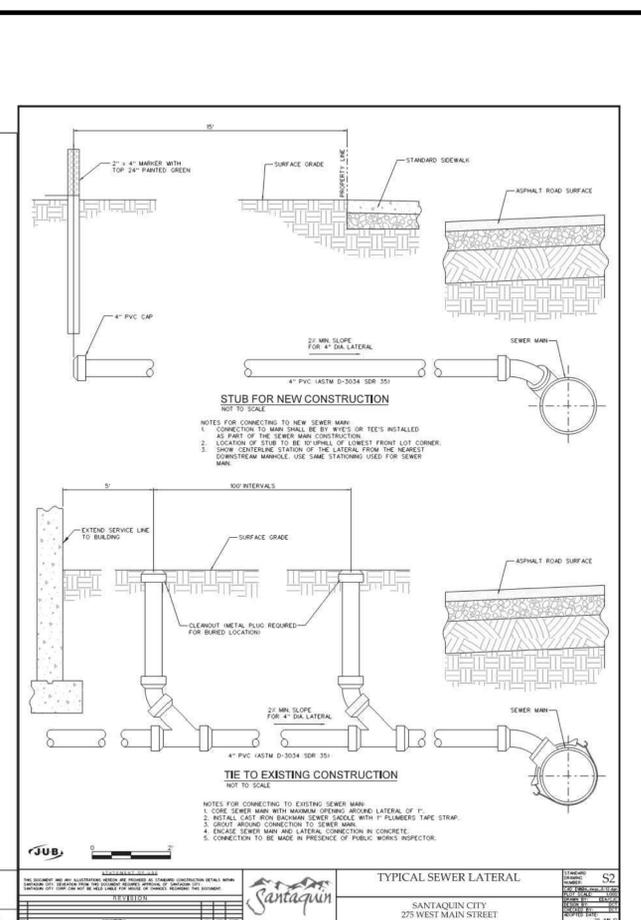
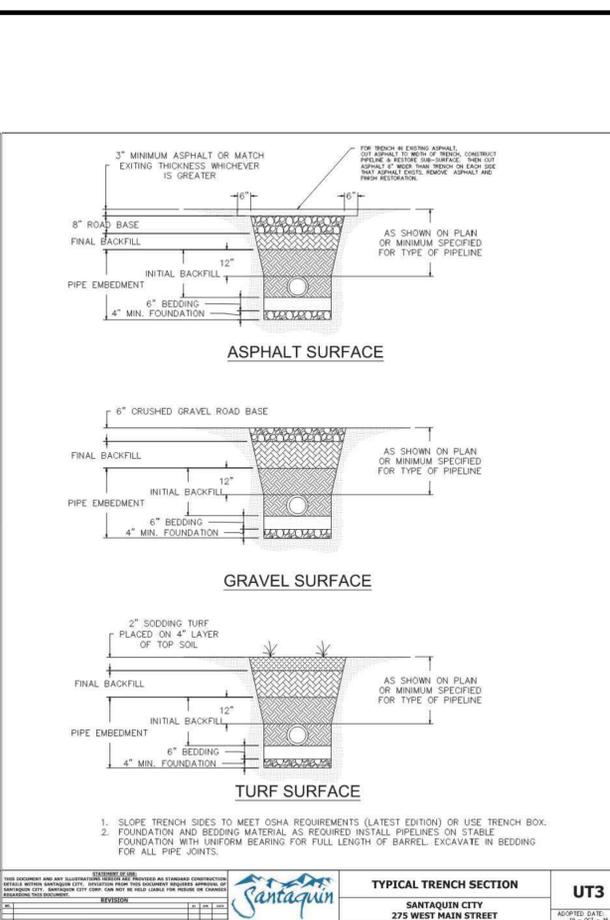
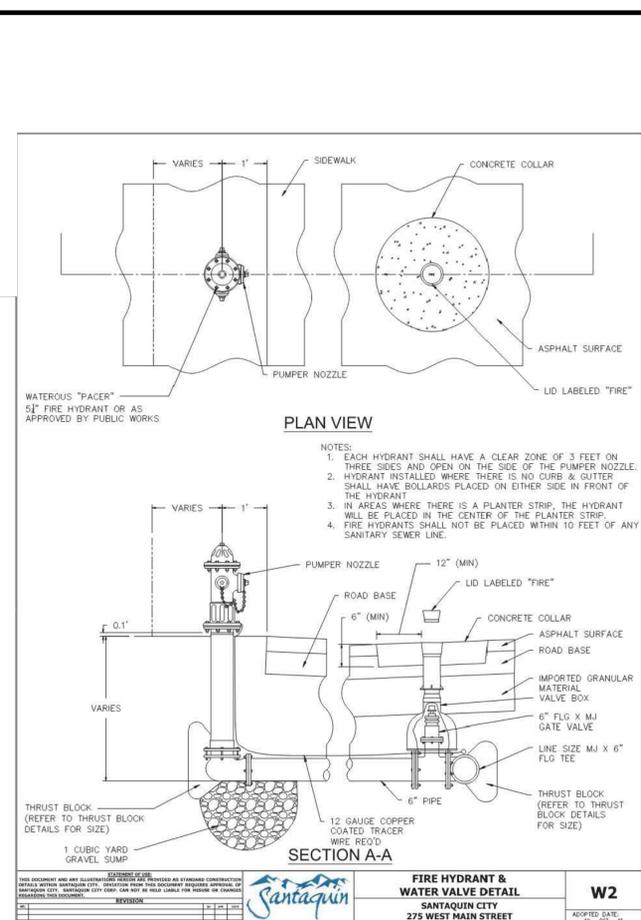
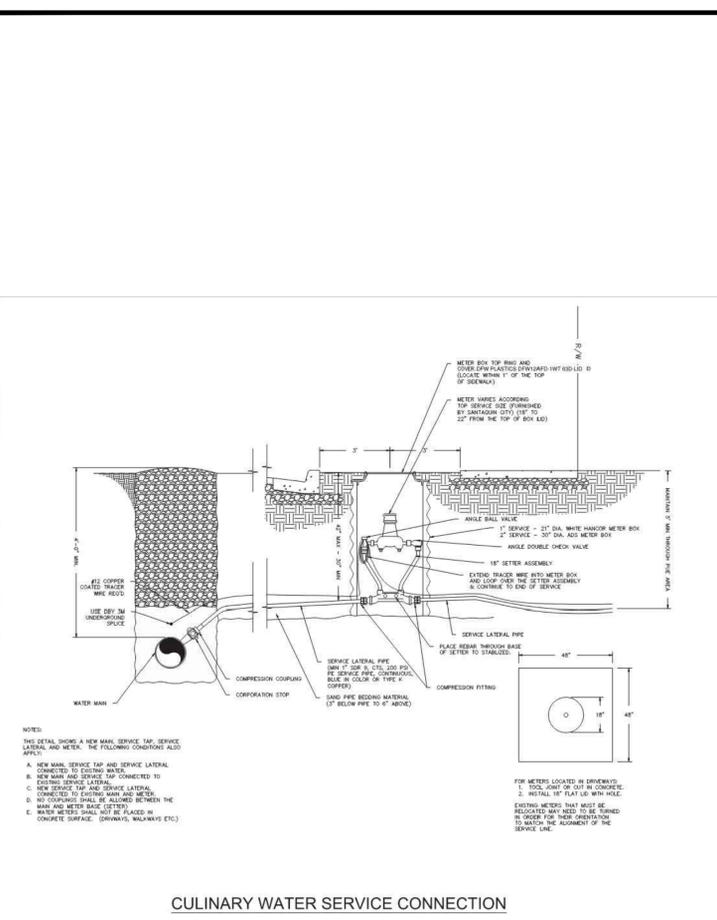
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SUMMIT DATA CENTER  
SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
DETAIL SHEET

SHEET NO. C6.0  
PROJECT ID: E23-143  
DATE: 06/23/25  
FILE NAME: PRJ-SJT



275 WEST MAIN STREET  
 SANTAQUIN CITY  
 W1  
 CULINARY WATER SERVICE CONNECTION  
 06/23/25



SANTAQUIN CITY  
 275 WEST MAIN STREET  
 PI2  
 06/23/25

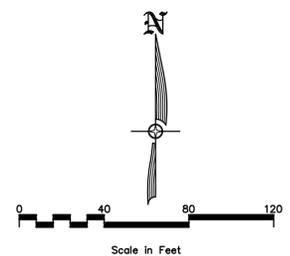
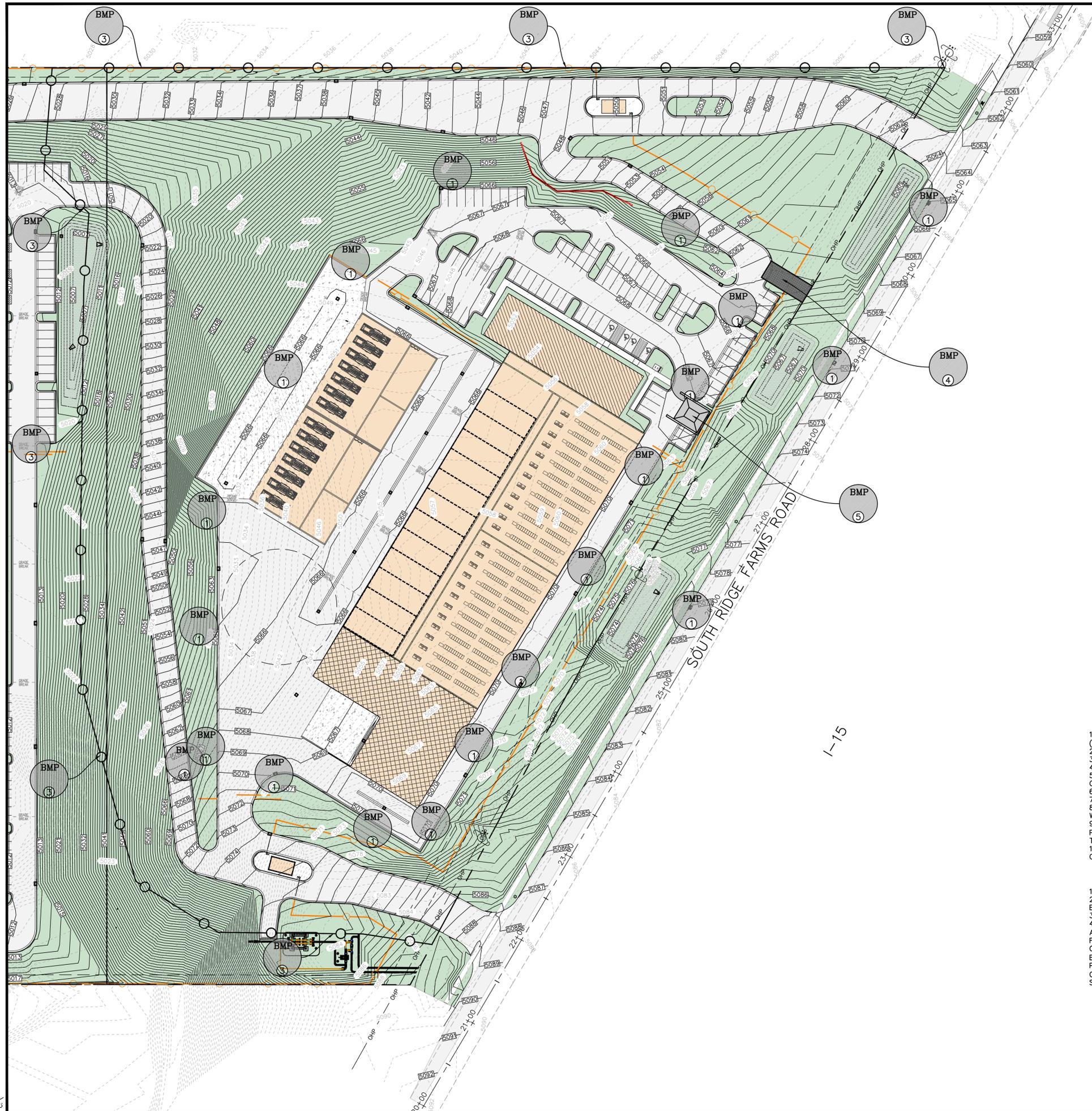
SANTAQUIN CITY  
 275 WEST MAIN STREET  
 SD1  
 06/23/25

SANTAQUIN CITY  
 275 WEST MAIN STREET  
 CG5  
 06/23/25

SANTAQUIN CITY  
 275 WEST MAIN STREET  
 CG3  
 06/23/25

CIVIL ENGINEERING + SURVEYING  
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 South Jordan, Utah - 801-949-6296  
 SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 SANTAQUIN CITY DETAIL SHEET  
 SHEET NO. C6.1  
 PROJECT ID: E23-143  
 DATE: 06/23/25  
 FILE NAME: PRJ-SJ  
 SCALE:  
 DESIGNER: SDT  
 PROJECT ENGINEER: SDT  
 REVISIONS  
 NO. BY DATE  
 1. FIRE COMMENTS





**SHEET LEGEND**

- SILT FENCE
- WHEEL WASH AREA
- BMP AREA
- CONCRETE WASHOUT

**BMP CALLOUTS**

- 1 PLACE A SILT FENCE AROUND THE PERIMETER OF THE INLET, ONCE PAVEMENT AND/OR CURB HAS BEEN INSTALLED PLACE GRAVEL BAGS AROUND THE INLET. GRAVEL BAGS TO BE USED ON PAVED OR CONCRETE SURFACES AND SILT FENCE TO BE USED ON UNIMPROVED SURFACES.  
*NOTE: IN HIGH TRAFFIC AREAS CONTRACTOR TO USE INSERT FILTER FABRIC. IF INLET HAS CURB OPENING, THE FILTER FABRIC IS TO BE EXTENDED UP TO COVER THE CURB OPENING AND GRAVEL BAGS PLACED IN GUTTER AT EACH SIDE OF OPENING TO KEEP FILTER FABRIC SNUG AGAINST CURB WALL.*
- 2 PLACE GRAVEL BAGS AS NECESSARY TO PREVENT SEDIMENT FROM DRAINING INTO EXISTING CATCH BASINS. *SEE NOTE IN CALLOUT 1.*
- 3 INSTALL TYPICAL SILT FENCE, SILT FENCE TO BE INSTALLED PERPENDICULAR TO STORM WATER FLOW. INSTALLATION TO BE DONE SO AS TO PREVENT SEDIMENT FROM LEAVING THE SITE.  
*NOTE: CONTRACTOR TO USE VEGETATIVE BUFFER AND OR CUT BACK INSTEAD OF SILT FENCE WHERE POSSIBLE.*
- 4 CONTRACTOR TO INSTALL A MINIMUM OF 6" DEEP GRAVEL (3" TO 6") OF SUFFICIENT SIZE (MINIMUM OF 50' IN LENGTH AND 20' WIDE) AS TO PROVIDE A WHEEL WASH AREA TO PREVENT THE TRACKING OF MUD OFFSITE. THE LOCATION OF WHEEL WASH MAY VARY FROM LOCATION SHOWN ON PLANS SO AS TO PROVIDE THE BEST PROTECTION AGAINST TRACKING MUD OFFSITE. CONTRACTOR TO MAINTAIN AND CLEAN WHEEL WASH AREA AS NEEDED TO PREVENT THE TRACKING OF MUD OFFSITE.
- 5 CONTRACTOR TO INSTALL CONCRETE WASHOUT AREA. THE LOCATION MAY VARY FROM LOCATION SHOWN ON PLANS.

**DURING CONSTRUCTION**

1. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (MINIMUM ONCE A WEEK) AND AFTER EVERY STORM EVENT
2. CONTRACTOR TO KEEP LAND DISTURBANCE TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
3. LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
4. STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
5. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
6. MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS
7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
8. CONTRACTOR TO HAVE WATER TRUCK AVAILABLE AS WATER SOURCE FOR WHEEL WASH AREA, OR ALTERNATE WATER SOURCE MAY BE USED IF APPROVED BY CITY.
9. IF GROUND WATER IS ENCOUNTERED DURING THE CONSTRUCTION ACTIVITIES AND REQUIRES PUMPING OFF THE PROJECT, THE CONTRACTOR IS TO FILTER THE WATER THROUGH THE USE OF SAND BAGS AND/OR GEO FABRIC. THIS IS TO BE DONE PRIOR TO IT BEING INTRODUCED INTO THE PUBLIC STORM DRAIN SYSTEM.
10. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY

**POST CONSTRUCTION**

1. EROSION CONTROL STRUCTURES MAY BE REMOVED ONCE FINAL LANDSCAPING IS IN PLACE
2. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS BEEN ESTABLISHED
3. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE
4. THE FOLLOWING PRECAUTIONS SHALL BE PERFORMED:
  - A) PERIODIC INSPECTION OF CATCH BASIN SEDIMENT TRAPS AND CLEANING WHEN THE BASIN IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GREASE OR OIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS
  - B) LITTER, DEBRIS AND CHEMICALS MUST BE PICKED UP AND KEPT IN A CONTAINED LOCATION TO PREVENT POLLUTION OF STORM WATER DISCHARGE
  - C) PARKING AREAS SHALL BE KEPT FREE FROM AUTOMOBILE FLUIDS THAT COULD WASH INTO THE STORM DRAIN SYSTEM

NO.	REVISIONS	BY	DATE
1	PRE COMMENTS		

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 South Jordan, Utah - 801-949-6296

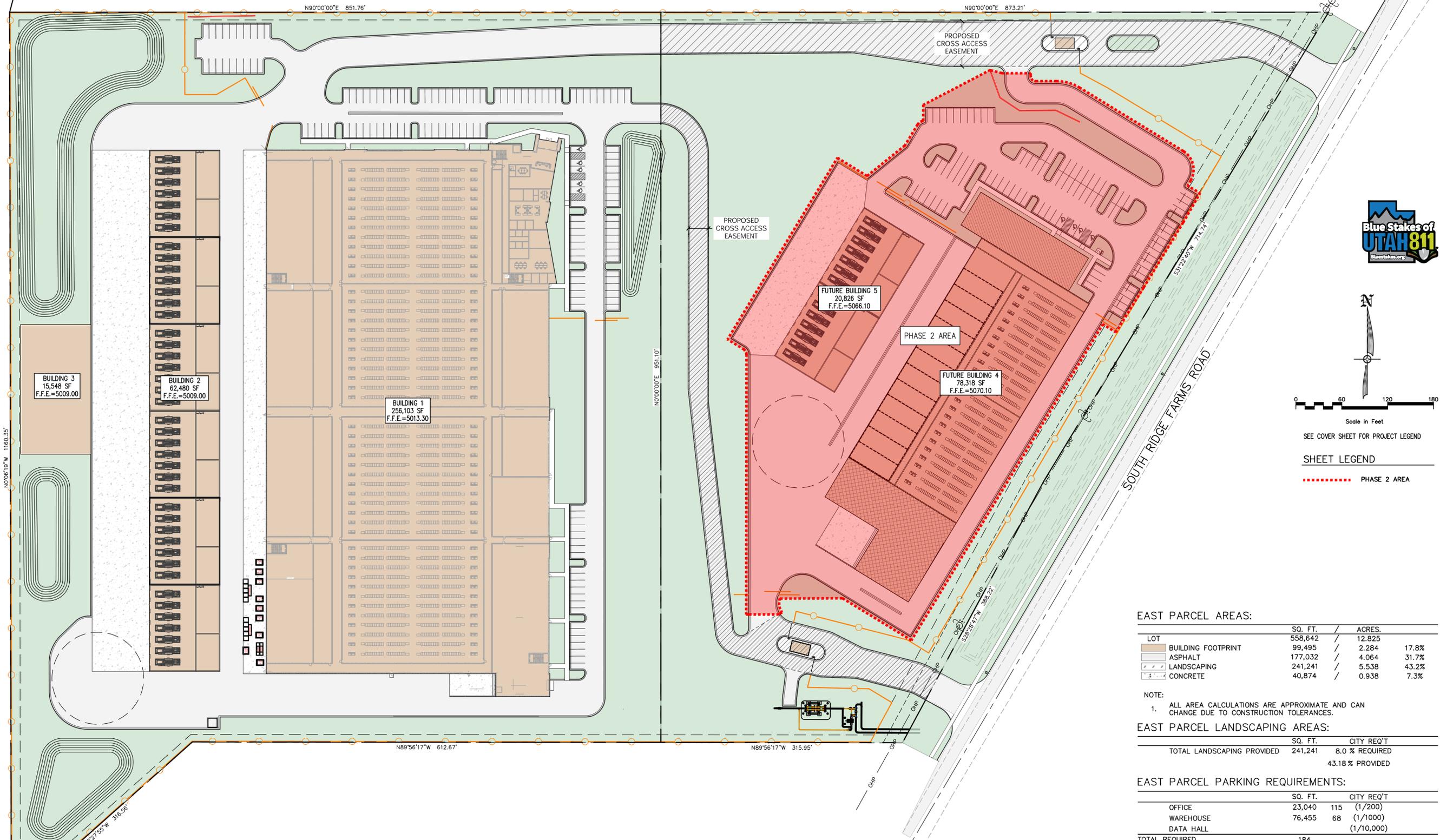
SUMMIT DATA CENTER  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
 EROSION CONTROL PLAN (SWPPP)

PROFESSIONAL ENGINEER  
 SCOTT D. THORSEN  
 No. 354291  
 04/23/25  
 STATE OF UTAH

SHEET NO.	C6.0
PROJECT ID:	E23-143
DATE:	06/23/25
FILE NAME:	PRJ-SJ
SCALE:	1"=60'







Scale in Feet

SEE COVER SHEET FOR PROJECT LEGEND

**SHEET LEGEND**

----- PHASE 2 AREA

**WEST PARCEL AREAS:**

LOT	SQ. FT.	ACRES.	
BUILDING FOOTPRINT	833,834	19.142	40.1%
ASPHALT	334,482	7.679	18.3%
LANDSCAPING	253,245	5.814	30.4%
CONCRETE	93,722	2.152	11.2%

NOTE:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**WEST PARCEL LANDSCAPING AREAS:**

	SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING PROVIDED	253,245	8.0 % REQUIRED
		30.3 % PROVIDED

**WEST PARCEL PARKING REQUIREMENTS:**

	SQ. FT.	CITY REQ'T
OFFICE	12,148	61 (1/200)
WAREHOUSE	19,329	20 (1/1000)
DATA HALL	224,322	23 (1/10,000)
TOTAL REQUIRED	104	
TOTAL PROVIDED	134	

ACCESSIBLE SPACES 5 (5 REQ'D 101 TO 150)

**EAST PARCEL AREAS:**

LOT	SQ. FT.	ACRES.	
BUILDING FOOTPRINT	558,642	12.825	17.8%
ASPHALT	99,495	2.284	31.7%
LANDSCAPING	241,241	5.538	43.2%
CONCRETE	40,874	0.938	7.3%

NOTE:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**EAST PARCEL LANDSCAPING AREAS:**

	SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING PROVIDED	241,241	8.0 % REQUIRED
		43.18 % PROVIDED

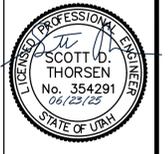
**EAST PARCEL PARKING REQUIREMENTS:**

	SQ. FT.	CITY REQ'T
OFFICE	23,040	115 (1/200)
WAREHOUSE	76,455	68 (1/1000)
DATA HALL		(1/10,000)
TOTAL REQUIRED	184	
TOTAL PROVIDED	98	
ACCESSIBLE SPACES	4	(4 REQ'D 76-100)

NO.	REVISIONS	BY	DATE
1			

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 South Jordan, Utah · 801-949-6296

**SUMMIT DATA CENTER**  
 SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
**SITE PLAN OVERVIEW**



SHEET NO. **C1.0**

PROJECT ID	DATE
E23-143	06/23/25
FILE NAME	SCALE
PRJ-SJI	1"=60'

- 1) Type of Construction will determine the required fire flow. Please provide this information

Type IIB Construction. Based on the type of construction and the largest building size of 256,000 square feet, per IFC Table B105.1(2) the required fire flow would be 8,000 GPM. Because the building is fire sprinkled, per Table B105.2 a 75% reduction can be applied, which would result in a required fire flow of 2,000 GPM. We would like to verify that the 2,000 GPM is the design flow we'll need to meet.

- 2) Please list the type of Fire Suppression system planned to be used. This will help determine the needed flow for the suppression system. The use of the Victaulic Vortex System is advised due to the nature of contents, as well as the reduced water needs.

NFPA 13 & NFPA 20. Three systems: Dry 5%, pre-action double interlock 70% and wet 25%

- 3) A second means of access is required to site at all times. This includes during the construction phase, and must be maintained 24/7/365. If gates are to be installed, Siren Controlled access will be required.

Understood. The second means of access will be provided and maintained and if gates are used, Siren Controlled Access will be provided.

- 4) Multiple KNOXBOXs will be required on building due to size. Each Building will require these boxes. Understood. Knoxbox's are called out at the fire riser rooms and any additional knoxbox locations that are required can be provided as part of the building submittal and approval.

- 5) Fire Alarm system required with the suppression system.

Understood, this will be detailed and approved during building submittal.

- 6) Need to provide water line looping to all hydrants. This project will require a second water line to the property to provide looping to ensure the system is not only fed by one line

Understood. A second connection off the 10" main in the road (South Ridge Farms Road) has been added to the plans at the south end of the site and connected to both building loops. All hydrants are now on a looped system. It is also understood that a second, parallel, water main may be required from the 12" main in Summitt Ridge Parkway, running parallel to the 10" main in South Ridge Farms Road, to the site for a second water line connection to the site. We will be doing a fire hydrant flow test to evaluate flows and pressures to determine the second water line size and resulting fire flow being provided.

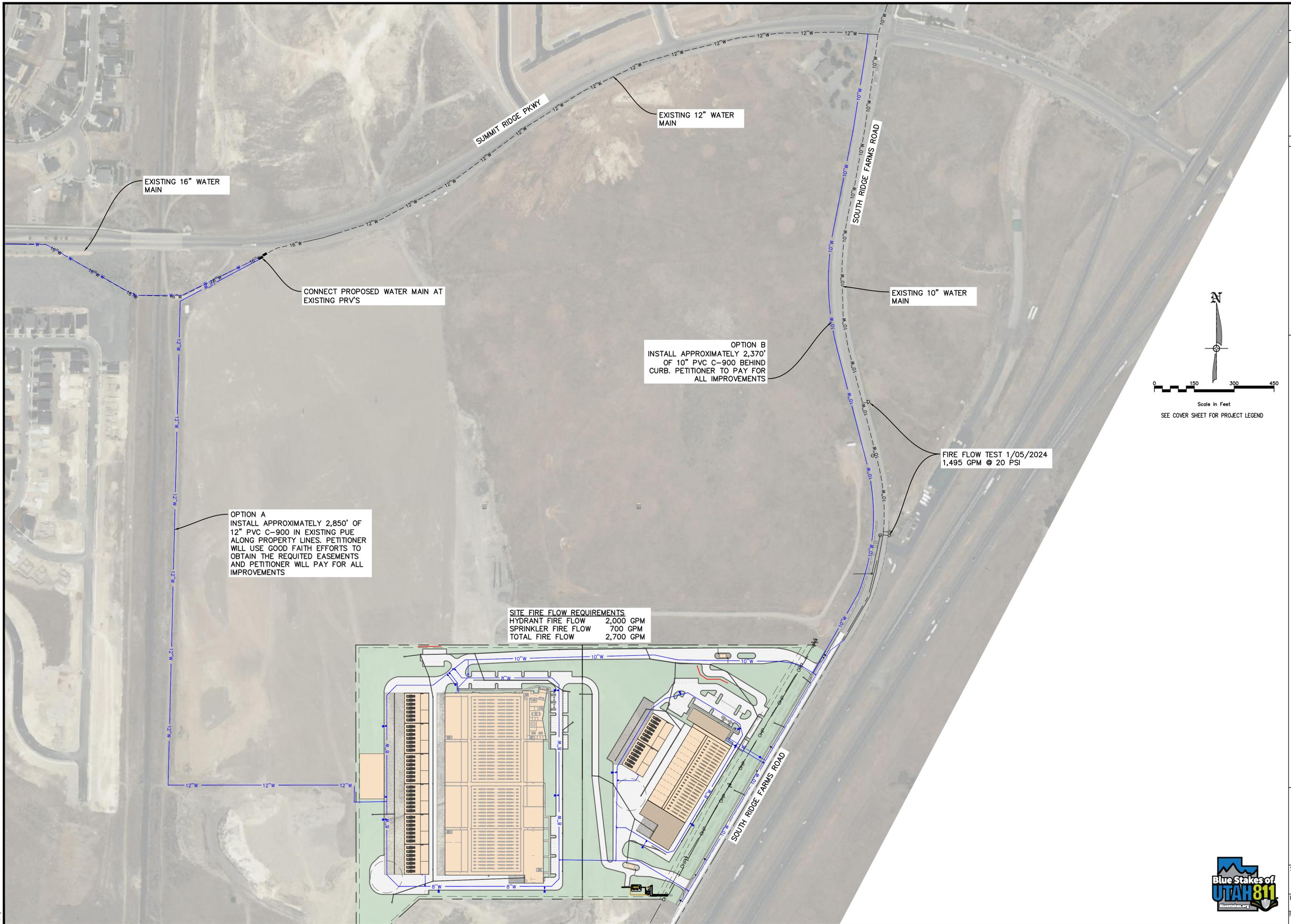
- 7) Need to add additional FH's and reduce the spacing. Some are greater than 700' apart. No more than 400' spacing is allowed by fire code.

Plans have been updated to provide hydrant spacing that does not exceed 400'.

8) All buildings with a suppression system must have a hydrant within 100' of the FDC. This will be accomplished with additional hydrants to the system.

Some hydrants as currently designed, if accessed and used, would restrict additional suppression vehicles from accessing the site and area.

Understood, all FDC locations have a hydrant within 100 feet of the FDC. Also, hydrants have been relocated, where possible, to not be on the opposite side of the drive area to address the restriction of additional suppression vehicles.



EXISTING 16" WATER MAIN

SUMMIT RIDGE PKWY

EXISTING 12" WATER MAIN

SOUTH RIDGE FARMS ROAD

EXISTING 10" WATER MAIN

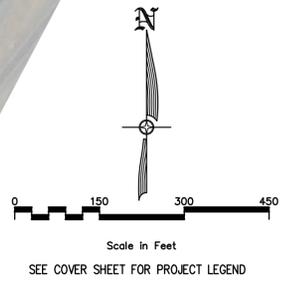
CONNECT PROPOSED WATER MAIN AT EXISTING PRV'S

OPTION B  
INSTALL APPROXIMATELY 2,370'  
OF 10" PVC C-900 BEHIND CURB. PETITIONER TO PAY FOR ALL IMPROVEMENTS

FIRE FLOW TEST 1/05/2024  
1,495 GPM @ 20 PSI

OPTION A  
INSTALL APPROXIMATELY 2,850'  
OF 12" PVC C-900 IN EXISTING PUE ALONG PROPERTY LINES. PETITIONER WILL USE GOOD FAITH EFFORTS TO OBTAIN THE REQUIRED EASEMENTS AND PETITIONER WILL PAY FOR ALL IMPROVEMENTS

SITE FIRE FLOW REQUIREMENTS  
HYDRANT FIRE FLOW 2,000 GPM  
SPRINKLER FIRE FLOW 700 GPM  
TOTAL FIRE FLOW 2,700 GPM



NO.	REVISIONS	BY	DATE

DESIGNER: SDT  
PROJECT ENGINEER: SDT

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SUMMIT DATA CENTER  
SOUTH RIDGE FARMS ROAD, SANTAQUIN UT, 84655  
WATER MAIN EXTENSION OVERVIEW



SHEET NO. C3.0B  
PROJECT ID: E23-143  
DATE: 06/26/25  
FILE NAME: PRJ-SJT  
SCALE: 1"=15'



**DRC Members in Attendance:** City Engineer Jon Lundell, Staff Planner Aspen Stevenson, Building Official Randy Spadafora, Fire Chief Ryan Lind, Public Works Director Jason Callaway, Police Lieutenant Mike Wall, and City Manager Norm Beagley.

**Others in Attendance:** City Recorder Amalie Ottley and Engineer Megan Wilson.

**1. Mountain America Credit Union Commercial Site Plan**

*A review of a commercial site plan located at approximately 209 E. Main Street.*

Representatives for the applicant Brooke Bean, Shane Sanders, and Lee Cox attended the meeting via Zoom.

Planner Stevenson indicated that the building renderings will need to be approved by the Architectural Review Committee (ARC).

Building Official Spadafora had no comments.

Lieutenant Wall had no comments.

Chief Lind and Engineer Lundell discussed the ingress/egress emergency access to the site. Chief Lind indicated that the 26-feet of asphalt shown on the plans is sufficient for emergency vehicle access.

Public Works Director Callaway discussed with Engineer Lundell the new 1" meter that was installed on Main Street for the widening project. They encouraged the applicant to use that current meter and service lateral.

Engineer Lundell pointed out that coordination with the Utah Department of Transportation (UDOT) is needed regarding the existing shared drive approach on Main Street. UDOT will indicate what is required for the existing drive approach such as an Encroachment Permit, and this information will need to indicate that on the plans. Separate sign permits are required for signs on the site and on the building itself. Engineer Lundell addressed the storm water calculations and required storage on the site stating that those measurements need to be added to the plans. The existing infiltration gallery on the site will need to be relocated behind the new curb and gutter. The existing irrigation ditch that is adjacent to the property is owned by Summit Creek Irrigation Co., and will require written approval of the site plan by them will need to be submitted to the city. Engineer Lundell encouraged the applicant to install the fence on the east property line in conjunction with the required fencing on the south side. The applicant indicated that they have worked with the storage unit owners next door and will have fencing on the full south and east sides of the property. Building Official Spadafora inquired about the city code requirement for 2-story buildings in the Main Street Business District area. Engineer Lundell stated that the building height will be addressed at the ARC Meeting.

City Manager Norm Beagley made a motion to table the Mountain America Credit Union Commercial Site Plan. Building Official Randy Spadafora seconded the motion.

Lieutenant Mike Wall	Yes
Public Works Director Jason Callaway	Yes

Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Planner Aspen Stevenson	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed.

**2. Tanner Flats Phase 3 Final Plan**

*A final plan review for phase 3 of the Tanner Flats subdivision located approximately east of Summit Ridge Parkway between S. Stone Brook Lane and S. Cedar Pass Drive.*

Representatives for the applicant Shawn Herring and Jon Bowen attended the meeting via Zoom.

Planner Stevenson pointed out that the applicant needs to clarify which page of the plans is the official plat. The official plat needs to include addressing.

Building Official Spadafora indicated that addressing has been established for the site.

Lieutenant Wall had no comments.

Chief Lind had no comments.

Public Works Director Callaway had no comments.

Manager Beagley confirmed that a sewer lateral is shown on the plans to the park area.

Engineer Lundell pointed out varying distances and bearings that need to be verified as well as the sewer line easement that needs to be shown on the official plat. Pictures of the open space and park need to be updated to match what will be installed on playground equipment and pavilion and still meet City code. Timber wood structures are not allowed per city code. Specifications for the pickleball court need to be provided to the city. Lastly, Engineer Lundell indicated that the park irrigation equipment also needs to be reviewed by the city.

City Manager Norm Beagley made a motion to approve the Tanner Flats Phase 3 Final Plan on the condition that all redlines be addressed. Lieutenant Mike Wall seconded the motion.

Lieutenant Mike Wall	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Planner Aspen Stevenson	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed.

**Meeting Minutes Approval  
June 10, 2025**

Fire Chief Ryan Lind made a motion to approve the June 10, 2025 meeting minutes. Planner Aspen Stevenson seconded the motion.

Lieutenant Mike Wall	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Planner Aspen Stevenson	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

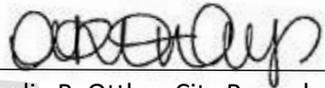
The motion passed.

**Adjournment**

Fire Chief Lind made a motion to adjourn the meeting.

The meeting was adjourned at 10:27 a.m.

\_\_\_\_\_  
Jon Lundell, City Engineer

  
\_\_\_\_\_  
Amalie R. Ottley, City Recorder