

Planning Commission Staff Report

File # 3S25 – SUB-000519-2025

**Public Hearing and Consideration of Approval for Preliminary
Subdivision Amendment to Create 4 Residential Lots and a
Private Lane Exemption Request on 1.42 Acres of Property at
1280 W. Marinwood Ave. in Taylorsville, Utah.**



Department of Community Development

Date:	June 30, 2025
Meeting Date:	July 8, 2025
Agenda Item:	[above]
Subject Property Address:	1276 & 1280 W. Marinwood Ave.
Applicant:	George Halliday
Author:	Terryne Bergeson, Planner I
Parcel #:	21111510190000; 21111510130000
Applicable Ordinances:	Including, but not limited to LDC Chapters 13.20; 13.21; 13.30; 14.12.
Agenda Item #:	5

Attachments:

Exhibit A: Zoning Map
Exhibit B: General Plan Map
Exhibit C: Vicinity Map
Exhibit D: Site Map
Exhibit E: Original Plat

Exhibit F: Civil Plans
Exhibit G: Draft Plat
Exhibit H: Consolidated Comments
Exhibit I: Exemption Request

Summary

George and Cynthia Halliday own the properties that comprise the Halliday Estates subdivision, which consists of family lots on the southeast quadrant of the neighborhood located at about 1250 West Marinwood Avenue. In 2023, this property was included in a subdivision plat approval to clean up parcel lines and zoning designations.

Lot 103 at 1280 W Marinwood (21111510190000) is the largest of the lots with 1.42 acres. The applicants are requesting an amendment to the Halliday Estates subdivision to create four residential lots.

In addition to the subdivision plat amendment request, the applicants are requesting several subdivision design standard exemptions from the Planning Commission. This report includes staff recommendations and the applicant's requests, as well as the review criteria for subdivision amendments for the Planning Commission's consideration of the approval of the preliminary plat and exemption requests.

Site Description

Lot 103 is located at 1280 W. Marinwood Ave. The lot is zoned R-1-10 and is an undeveloped parcel with 1.42 acres (61,802.93 square feet). Surrounding zoning designations are as follows:

North	South	East	West
R-1-20 (Single-Family Residential)	R-1-10 (Single-Family Residential)	R-2-10 (Two-Family Residential)	R-1-20 (Church)

General Plan Analysis

The subject property is currently designated as "*Low Density Residential*" in the Taylorsville General Plan and is described as follows (see General Plan pg 3-4):

"Low Density Residential (LDR) districts are residential areas that contain existing or proposed residential developments less than 6 dwelling units per acre (excluding ER districts). Properties that are assigned the LDR classification are generally (but not necessarily limited to) neighborhoods consisting of single-family dwellings."

The proposed subdivision amendment would create 4 new lots on 1.42 acres of land and meets the density for the General Plan designation.

Application Analysis

The subdivision design standards are to ensure the orderly development of the city with adequate provisions for traffic and other public improvements (see [§13.21.010](#)). The proposed 42' wide private street configuration does not meet city standards, specifically [§13.21.110](#) which states that, "*Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission. A private street/lane system may be approved where it can be shown, based upon property width, connectivity (or the inability to connect to the existing street patterns), topographical concerns, overall subdivision design, the ability to provide service (which includes, but is not limited to, snowplowing, street sweeping, trash collection, and overall street maintenance), that a full width public street may not be the best solution for a new subdivision.*"

Per [§13.21.100 \(P\)](#), “*The requirements of this section may be waived or modified by the planning commission after considering a recommendation from the city engineer,*” the applicants are requesting an exemption for the following standards:

1. An exemption to designate the proposed street as a private street, under Taylorsville City Code §13.21.110.
2. An exemption to allow a 42' right-of-way instead of the standard 50' required for public roads.
3. Type H curb and gutter instead of a type A curb and gutter.

Exhibit I summarizes the applicants rationale for the exemption request. Planning staff and the City Engineer support the approval of a subdivision with a public street that meets current city standards to enable orderly development in the near- and long-term. Creating a public stub street will provide more options long-term for the properties with public street frontage and the surrounding neighborhood, while private streets tend to constrain development potential. Public streets with sidewalks provide safe pedestrian access and improve circulation, hence the standard that new subdivisions provide a stub street: §13.21.110(D), “*At least two (2) points of ingress/egress shall be provided for each subdivision or PUD project unless the project has one or more of the following: 3. The future extension of a stub street that will provide additional access including a temporary turnaround approved by the UFA and city engineer.*”

Staff recommends the subdivision include a 42'-wide right-of-way allowed in city code to satisfy the public street standard and allow reasonable development of the property. A standard 50-foot-wide public street would decrease the developable area and result in fewer lots that satisfy the R-1-10 design standards. Standards supporting a 42' wide public right-of-way design are in §13.21.100(G) and [§14.12.100: Minimum Right of Way and Pavement Design Standards](#):

	Right Of Way Width	Pavement Width	Minimum Design Section
Local	42 feet	25 feet	8 inch base 3 inch asphalt

The City Engineer also reviewed the exemption request for curb and gutter and will reevaluate the request after the Planning Commission’s decision regarding the required right-of-way.

Review Criteria

This preliminary subdivision application is subject to the approval criteria in LDC [§13.30.060\(H\)](#). The Planning Commission shall decide a preliminary plat application in accordance with the following:

1. Planning Commission: Notwithstanding applications that require City Council approval, the Planning Commission shall decide a plat amendment application in accordance with § 13.43.070: Step 6: Application Decision and Action, based on the following review criteria:
 - a. There is good cause for the vacation or amendment;

- b. No public street or municipal utility easement has been vacated or amended;
- c. Is consistent with the intent of the underlying zoning district;
- d. **Complies with applicable dimensional and development standards in this LDC;**
- e. Does not affect a recorded easement without approval from the easement holder;
- f. **Provides a layout of lots, roads, utilities, drainage, and other public facilities and services that are compliant with city engineering standards and this LDC;**
- g. Provides evidence of adequate public facilities to serve the proposed development;
- h. Does not result in the creation of a remnant lot or parcel that cannot be developed according to the requirements of this LDC and other applicable laws;
- i. Does not remove or attempt to remove recorded covenants or restrictions; and
- j. Proposes reasonable phasing as it relates to infrastructure capacity, state, and county governments and other relevant entities with jurisdiction over the property or the current or proposed use of the property.

Public Comment

A public notice was mailed to all affected entities and residents within 300 feet of the property on June 18, 2025. Additionally, a notice was published on the Utah State Notice Website and the City's website.

As of July 1, 2025, no public comments have been received regarding this subdivision application.

Findings

1. This application was initiated by the property owner, George Halliday.
2. The applicant is requesting preliminary subdivision approval for an amendment to lot 103 of the Halliday Estates subdivision to create four new residential lots at 1280 W. Marinwood Ave. in Taylorsville.
3. Lot 103 is an undeveloped lot that contains 1.42 acres.
4. The subject property is zoned R-1-10.
5. The subdivision proposal aligns with the current General Plan Map designation for the property "*Low Density Residential*".
6. A subdivision is subject to the standards in Chapter 13.21 of the Land Development Code.
7. A subdivision application is subject to the review procedures adopted in [Chapter 13.30](#) of the Land Development Code.
8. The preliminary subdivision application is subject to the approval criteria in LDC [§13.30.060\(H\)](#).
9. This subdivision application has been reviewed by city departments and elements of the development proposal that do not meet city standards has been communicated to the applicant.
10. The applicant is requesting preliminary approval of the subdivision as well as an exception to the 50'-wide right-of-way and private/ public standard listed in the Land Development Code.
11. A public notice was mailed to all affected entities and residents within 300 feet of the property on June 18, 2025 and published on the Utah State Notice Website and the City's website.

12. The Planning Commission is the decision-making authority for preliminary subdivision review and the associated exemption requests.

Conditions

The following conditions are recommended should the Planning Commission decide to grant conditional preliminary approval for the subdivision amendment and any exemption requests. The following conditions shall be met prior to recording the final plat:

1. All outstanding city department and review agency comments be resolved and subsequent revisions comply with applicable city ordinances, codes, and standards prior to plat recording.
2. Any standards for which an exemption is not granted be revised to meet applicable city standards.
3. The type of curb and gutter to be installed shall be reviewed and approved by the City Engineer.
4. The plat is compliant with all requirements and standards of Salt Lake County.
5. All required fees and bonds are paid to the City.

Staff Recommendation

Overall, staff recommends the subdivision plat be considered at a later date when the plans address all outstanding comments and illustrate a 42' wide public stub street that meets city standards. Alternatively, the Planning Commission may decide to approve or deny certain exemptions, and deny, or grant conditional approval of the preliminary subdivision plat. Staff has outlined potential motions below.

Potential Motions

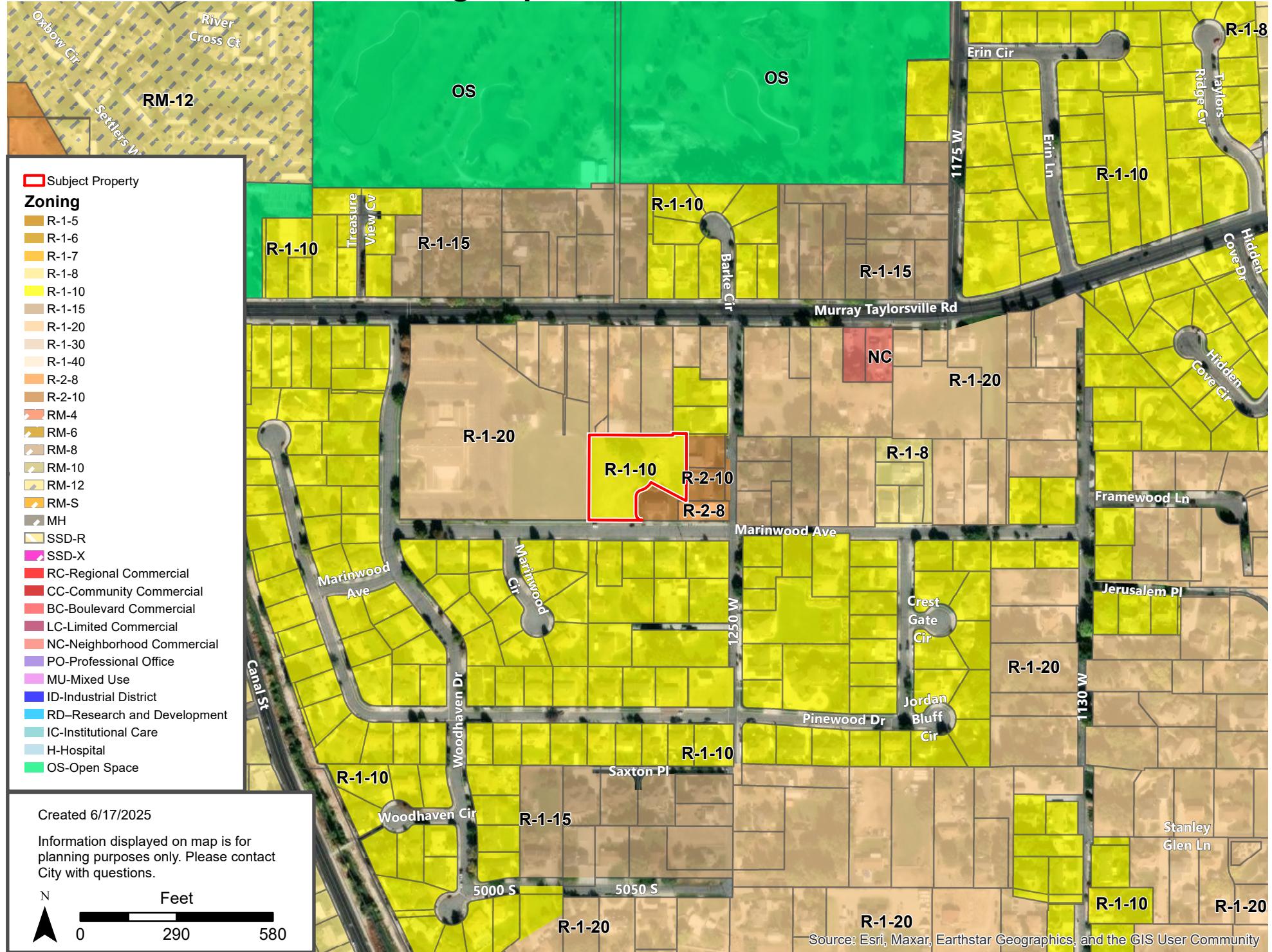
- I move that we **approve** File #3S25/SUB-000519-2025 the request for preliminary approval of a subdivision amendment and all requested exemptions based on the findings and conditions outlined in this staff report.
- I move that we **continue** File #3S25/SUB-000519-2025 the request for preliminary approval of a subdivision amendment until a later date, when the application documents have been revised to show compliance with applicable dimensional and development. The following exemptions are hereby granted and any denied shall be addressed on the revised preliminary subdivision plat and associated plans:

Exemption Request	Yes	No
1. Designate proposed access as a private street.		
2. Reduce right-of-way width from 50 feet to 42 feet.		
3. Installation of type H curb and gutter.	<i>Defer to city engineer</i>	

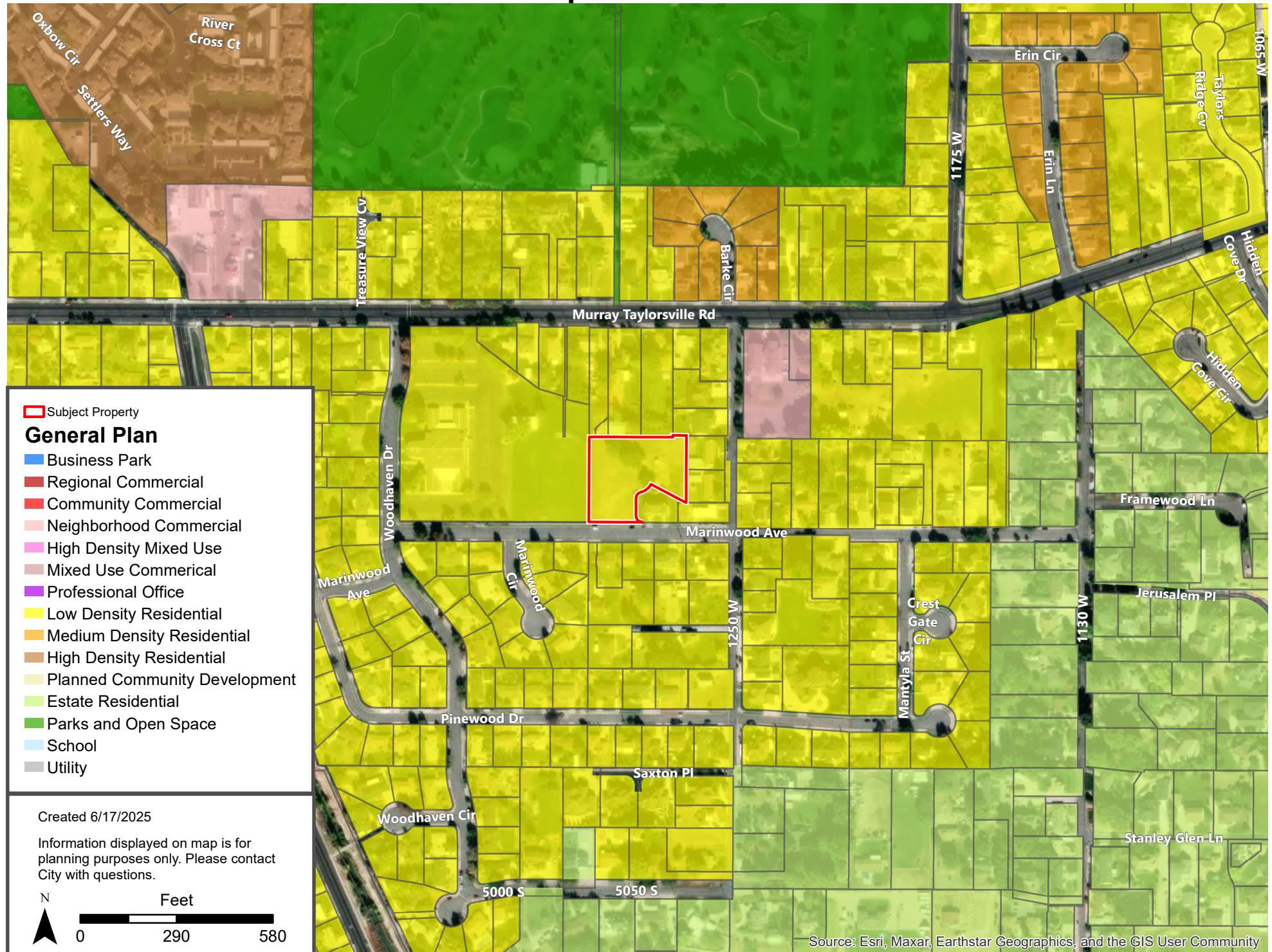
- I move that we **deny** File #3S25/SUB-000519-2025 the request for the exemptions and preliminary approval of a subdivision amendment based on the following reasons [state for the record].

Exhibit A

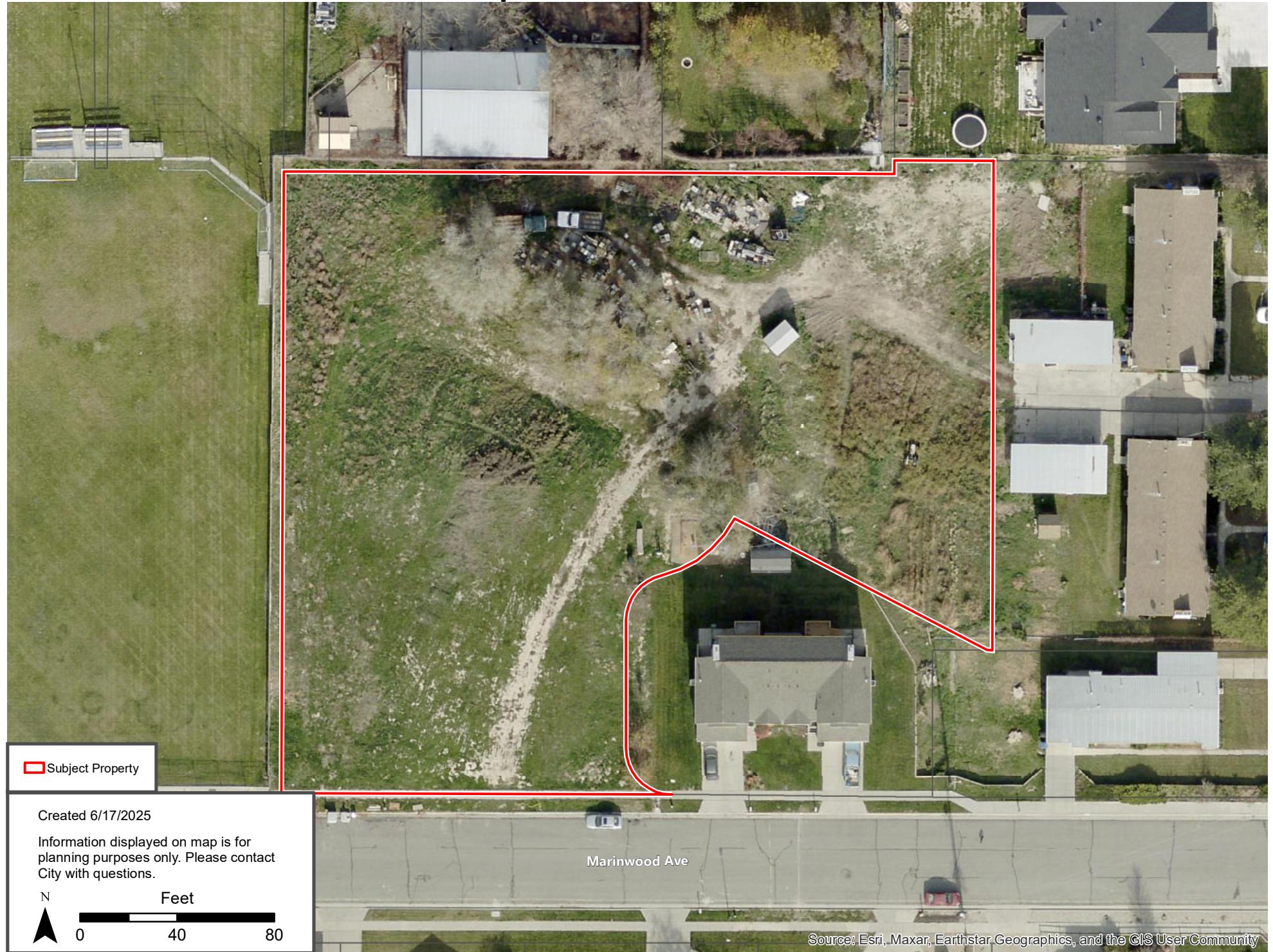
Zoning Map: 1280 W Marinwood Ave



General Plan Map: 1280 W Marinwood Ave



Site Map: 1280 W Marinwood Ave



Vicinity Map: 1280 W Marinwood Ave

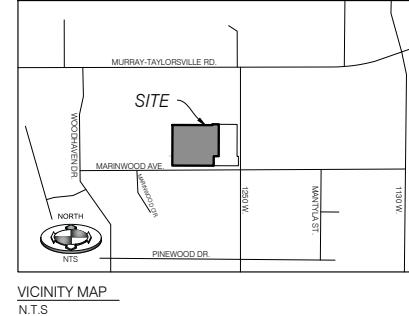
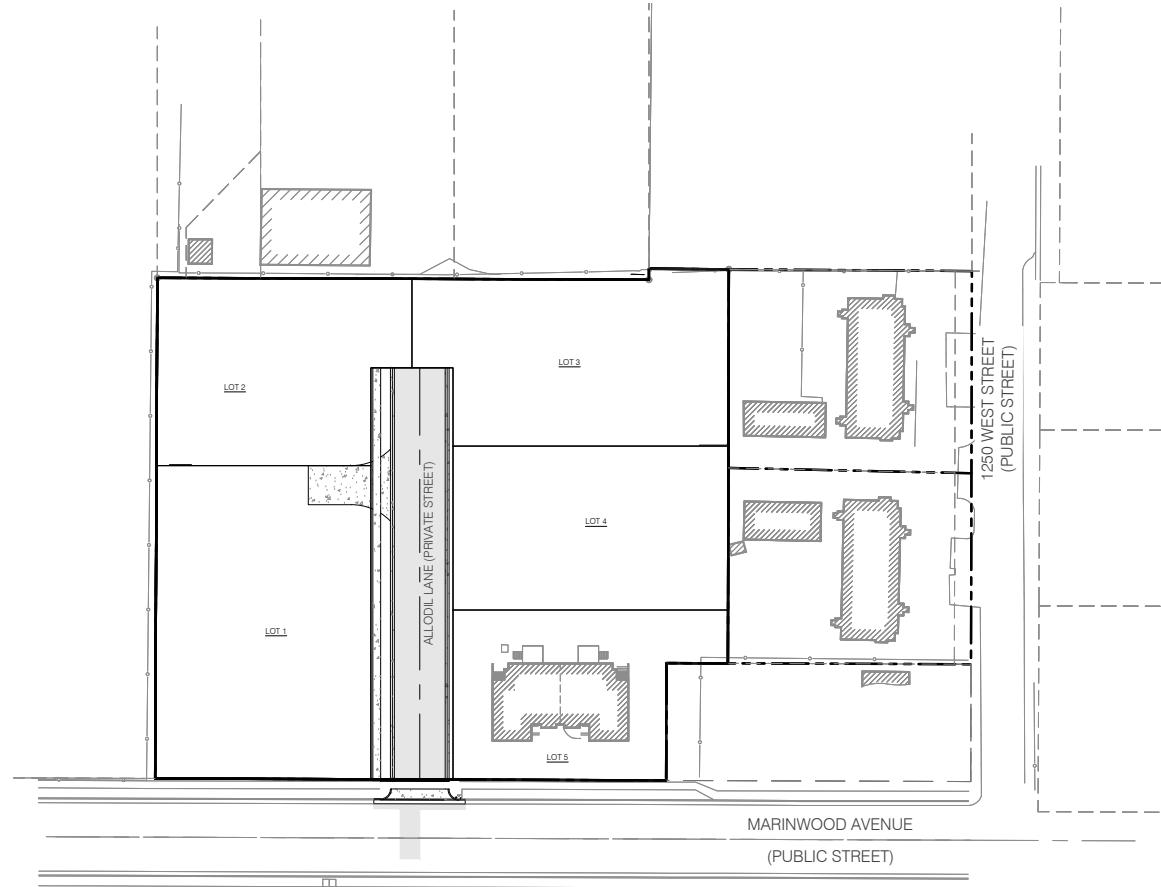
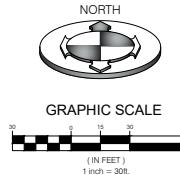


Exhibit F

HALLIDAY ESTATES SUBDIVISION AMENDED & EXTENDED

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SALT LAKE COUNTY, UTAH

1274 & 1280 W MARINWOOD AVE,
TAYLORSVILLE, UTAH



OWNER: GEORGE & CYNTHIA HALLIDAY
1356 WOODHAVEN CIR,
TAYLORSVILLE, UT 84123
385-707-3478 (GEORGE); 801-633-8200 (CYNTHIA)
gphalliday@gmail.com; cbhalliday@gmail.com

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CGN.02	TBID GENERAL NOTES
CDP.01	DEMO PLAN
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CPP.01	PLAN & PROFILE SHEET
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

PRELIMINARY CIVIL PLANS
NOT FOR CONSTRUCTION

BENCHMARK CIVIL		PRELIMINARY PLAN PROFESSIONAL ENGINEER No. 11366833 ALLISON G. ALBERI, State of Utah		BENCHMARK ENGINEERING & LAND SURVEYING 9138 SOUTH STATE STREET SUITE #100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkciv.com	
HALLEY ESTATES SUBDIVISION AMENDED & EXTENDED 1274 & 1280 W MARINWOOD AVE, TAYLORSVILLE, UTAH					
No.	DATE	DESCRIPTION	DATE	REVISION	DATE
1	09/03/2025	REVISED PER CITY COMMENTS	10/03/2025		10/03/2025
2	09/03/2025	REVISED PER CITY COMMENTS			
PROJECT NO. 240102					
COVER					
1 OF 12					

BENCHMARK ENGINEERING CONTACT: ALLISON G. ALBERI, PE

Exhibit F

TBID GENERAL NOTES FOR WATER AND SEWER

SECTION 33 11 00 WATER DISTRIBUTION AND TRANSMISSION

PART 1 GENERAL

1.1 SECTION INCLUDES

A. THIS SECTION INCLUDES WATER SYSTEM TRANSMISSION OR DISTRIBUTION PIPING, VALVES, FITTINGS AND ACCESSORIES, HYDRANTS, THRUST BLOCKING, CORROSION PROTECTION, INSTALLATION, PROTECTION, CLEANING, AND HYDROSTATIC AND LEAKAGE TESTING FOR POTABLE WATER SYSTEMS.

1.2 RELATED WORK

A. SECTION 33 23 00 EXCAVATION, BACKFILLING AND COMPACTION.

1. EXCAVATION OF TRENCHES, BEDDING AND BACKFILL, COMPACTION OF BACKFILL

B. SECTION 33 13 00 - CONSTRUCTION OF WATER DISTRIBUTION SYSTEMS

C. SECTION 33 10 00 - CAST-IN-PLACE CONCRETE

1. THRUST BLOCKS, VAULTS AND OTHER STRUCTURES ASSOCIATED WITH WATER SYSTEMS.

1.3 REFERENCES

A. THE APPLICABLE PROVISIONS OF THE LATEST EDITIONS OF THE REFERENCES LISTED BELOW SHALL GOVERN THE WORK COVERED UNDER THIS SECTION, UNLESS THERE IS A CONFLICT BETWEEN SAID REFERENCES AND THE REQUIREMENTS OF THIS SECTION. IN THE CASE OF SUCH A CONFLICT, THE REQUIREMENTS OF THIS SECTION SHALL APPLY.

B. AMERICAN WATER WORKS ASSOCIATION (AWWA)

C. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)

D. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)

E. AMERICAN ASSOCIATION OF HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)

1. STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES

F. DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA)

G. UNI-BELL PVC PIPE ASSOCIATION

H. AMERICAN PUBLIC WORKS ASSOCIATION (APWA)

1.4 SUBMITTALS

A. SUBMIT SHOP DRAWINGS, MANUFACTURER'S LITERATURE, CERTIFICATIONS, AND OTHER PRODUCT DATA IN ACCORDANCE WITH SECTION 01 33 00 - SUBMITTALS.

B. REQUIRED SUBMITTALS INCLUDE, BUT ARE NOT LIMITED TO:

1. EVIDENCE OF MATERIALS CONFORMANCE WITH THESE SPECIFICATIONS TAYLORSVILLE-BENNION IMPROVEMENT DISTRICT PAGE 2 OF 17 WATER DISTRIBUTION AND TRANSMISSION
REVISED NOVEMBER 2024 33 11 00

2. MANUFACTURER'S RECOMMENDED TRANSPORTATION, UNLOADING AND STORAGE REQUIREMENTS, MANUFACTURER'S INSTALLATION GUIDES AND INSTRUCTIONS.

3. DIMENSIONAL INFORMATION FOR PIPE, VALVES, FITTINGS, CASTINGS, AND STRUCTURES.

4. CONTRACTOR SHALL MAINTAIN ACCURATE CONSTRUCTION RECORD DRAWINGS OF ALL AS-BUILT VALVE, FITTING, MANHOLE LOCATIONS, MANHOLE LOCATIONS, PIPE LENGTHS, AND OTHER RELEVANT DATA AND SHALL SUBMIT THESE RECORDS TO THE DISTRICT FOR APPROVAL PRIOR TO APPLICATION FOR FINAL COMPLETION IN ACCORDANCE WITH SECTION 01 78 50 - CLOSEOUT PROCEDURES.

1.5 QUALITY ASSURANCE

A. TRANSPORTATION, HANDLING, STORAGE AND INSTALLATION PRACTICES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PRACTICE FOR MATERIALS PROVIDED AS PART OF THE WORK.

B. CONTRACTOR'S PERSONNEL SHALL BE EXPERIENCED IN THE INSTALLATION OF MATERIALS PROVIDED AS PART OF THE WORK, AND SHALL COMPLY WITH MANUFACTURER'S RECOMMENDED PRACTICES DURING PLACEMENT AND INSTALLATION OF SUCH MATERIALS.

C. PIPE, VALVE AND APPURTENANT MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ANSI/AWWA B1.11-18, AS APPROPRIATE, AS APPLICABLE.

1.6 DELIVERY, STORAGE AND HANDLING

A. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER TRANSPORTATION, UNLOADING, HANDLING, STORAGE AND SECURITY OF ALL EQUIPMENT AND MATERIALS PROVIDED AS PART OF THIS SPECIFICATION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

B. MATERIALS SHALL BE STORED IN SUCH A MANNER AS TO PREVENT DAMAGE OR DEGRADATION. ANY MATERIALS DAMAGED PRIOR TO INSTALLATION SHALL BE REMOVED FROM THE PROJECT AND REPLACED WITH NEW MATERIALS AT NO ADDITIONAL COST. LOST OR STOLEN MATERIALS SHALL BE REPLACED AT NO ADDITIONAL COST.

C. LOAD AND UNLOAD PIPE, FITTINGS, SPECIALS, VALVES AND ACCESSORIES BY LIFTING WITH HOISTS OR SKIDDING SO AS TO AVOID SHOCK OR DAMAGE. DO NOT SKID OR ROLL PIPE ON SKIDWAYS AGAINST PIPE OR ON THE GROUND.

D. END LENGTH OF PIPE SHALL BE UNLOADDED OPPOSITE OR NEAR THE PLACE WHERE IT IS TO BE LAID IN THE TRENCH.

E. POLYVINYL CHLORIDE (PVC) PIPING, FITTINGS, AND MATERIALS SHALL BE PROTECTED DURING STORAGE FROM ULTRAVIOLET AND OZONE DEGRADATION. NOTICEABLY FADED MATERIALS SHALL NOT BE INSTALLED AND SHALL BE PROMPTLY REMOVED FROM PROJECT SITE.

F. IF THE TRENCH IS LAVING IS NOT IN PROGRESS, THE OPEN END(S) OF PIPE IN THE TRENCH SHALL BE CLOSED BY A WATERSTOP PLUG.

1.7 PERFORMANCE REQUIREMENTS

A. DEPTH OF COVERTAYLORSVILLE-BENNION IMPROVEMENT DISTRICT PAGE 3 OF 17 WATER DISTRIBUTION AND TRANSMISSION

REVISED NOVEMBER 2024 33 11 00

1. MINIMUM COVER SHALL BE 3-1/2" FROM TOP OF PIPE TO GROUND SURFACE

2. WHERE VERTICAL CONFLICTS EXIST WITH THE WATERLINE, A PRE-FAB STEEL LOOP WILL BE REQUIRED TO BE INSTALLED.

B. LAYOUT

1. COMPLY WITH UTAH ADMINISTRATIVE RULES R08-550, AS A MINIMUM, LOCATE POTABLE WATER PIPE AT LEAST 18 INCHES VERTICAL AND 10 FEET HORIZONTAL EDGE-TO-EDGE BETWEEN WATER AND SEWER LINES. PLACE WATER LINES ABOVE SEWER LINE.

2. WHEN A WATER CROSSES OVER A SEWER FORCE MAIN, A CASING SHALL BE PROVIDED FOR THE SEWER LINE WITHIN 10 FEET OF THE CROSSING.

3. WHERE MINIMUM SEPARATION STANDARDS CANNOT BE MET, ALTERNATIVE DESIGN BE REQUIRED. SUBMIT ALTERNATIVE DESIGN TO THE DISTRICT FOR APPROVAL AND TO THE DIPRA FOR APPROVAL FOR AN EXCEPTION TO RULE.

4. DO NOT PUT POTABLE WATER LINES IN THE SAME TRENCH WITH SEWER LINES, STORM DRAINS OR ELECTRICAL WIRES.

C. MINIMUM WATER MAIN SIZE

1. THE MINIMUM WATER MAIN SIZE SHALL BE 8-INCHES.

2. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SLOPE TO A CATCH BASIN, INLET BOX OR OUT INTO A STREET. CONTRACTOR TO VERIFY FINISH SLOP ELEVATIONS AND NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE PUDDLING ON THE SITE.

SECTION 33 31 00 SANITARY SEWER SYSTEMS

PART 1 GENERAL

1.1 SECTION INCLUDES

A. THIS SECTION INCLUDES THE FOLLOWING: SEWER PIPING, MANHOLES, AND SERVICE LATERALS.

3. CONNECTIONS WITH EXISTING SEWER FACILITIES.

4. CLEANING, FLUSHING, AND TESTING SEWERAGE FACILITIES.

1.2 RELATED WORK

A. SECTION 31 23 00 - EXCAVATION, BACKFILLING, AND COMPACTION1. TRENCH EXCAVATION, OVERLAPPING OF UNSUITABLE MATERIALS, BACKFILL PLACEMENT AND COMPACTION ASSOCIATED WITH INSTALLATION OF ITEMS SPECIFIED AS PART OF THE WORK.

B. SECTION 03 10 00 - CAST-IN-PLACE CONCRETE

1. CONSTRUCTION OF CONCRETE STRUCTURES ASSOCIATED WITH OR REQUIRED AS PART OF THIS WORK.

1.3 REFERENCES

A. THE APPLICABLE PROVISIONS OF THE LATEST EDITIONS OF THE REFERENCES LISTED BELOW SHALL GOVERN THE WORK COVERED UNDER THIS SECTION, UNLESS THERE IS A CONFLICT BETWEEN SAID REFERENCES AND THE REQUIREMENTS OF THIS SECTION. IN THE CASE OF SUCH A CONFLICT, THE REQUIREMENTS OF THIS SECTION SHALL APPLY.

B. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)

C. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)

D. UNI-BELL PVC PIPE ASSOCIATION - HANDBOOK OF PVC PIPE

E. DUCTILE IRON PIPE RESEARCH INSTITUTE (DIPRA)

F. AMERICAN ASSOCIATION OF SAFETY AND HIGHWAY TRANSPORTATION OFFICIALS (AASHTO)

G. UTAH DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARDS (UDOT)

H. AMERICAN PUBLIC WORKS ASSOCIATION (APWA) - STANDARDS SPECIFICATIONS

1.4 SUBMITTALS

A. SUBMIT SHOP DRAWINGS, MANUFACTURER'S LITERATURE, CERTIFICATIONS, AND OTHER PRODUCT DATA IN ACCORDANCE WITH SECTION 03 33 00 - SUBMITTALS.

TAYLORSVILLE-BENNION IMPROVEMENT DISTRICT PAGE 2 OF 12 SANITARY SEWER SYSTEMS
REVISED NOVEMBER 2024 33 11 00

1.2 SUBMITTAL DATA SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO THE FOLLOWING:

1. MANUFACTURER'S RECOMMENDED TRANSPORTATION, UNLOADING, AND STORAGE REQUIREMENTS, MANUFACTURER'S INSTALLATION GUIDES AND INSTRUCTIONS.

2. EVIDENCE OF CONFORMANCE WITH THE REQUIREMENTS OF THESE SPECIFICATIONS.

3. DIMENSIONAL INFORMATION FOR STRUCTURES, CASTINGS, AND FITTINGS.

4. CONTRACTOR SHALL MAINTAIN ACCURATE CONSTRUCTION RECORD DRAWINGS OF ALL AS-BUILT INVERT ELEVATION, MANHOLE LOCATIONS, PIPE LENGTHS, AND WYE LOCATIONS AND SHALL SUBMIT THESE RECORDS TO THE DISTRICT FOR APPROVAL PRIOR TO APPLICATION FOR FINAL COMPLETION.

1.5 QUALITY ASSURANCE

A. TRANSPORTATION, HANDLING, STORAGE AND INSTALLATION PRACTICES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PRACTICE FOR MATERIALS PROVIDED AS PART OF THIS WORK.

B. CONTRACTOR'S PERSONNEL SHALL BE EXPERIENCED IN THE INSTALLATION OF MATERIALS PROVIDED AS PART OF THE WORK, AND SHALL COMPLY WITH MANUFACTURER'S RECOMMENDED PRACTICES DURING PLACEMENT AND INSTALLATION OF SUCH MATERIALS.

1.6 DELIVERY AND HANDLING

A. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER TRANSPORTATION, UNLOADING, HANDLING, STORAGE AND SECURING OF ALL EQUIPMENT AND MATERIALS PROVIDED AS PART OF THIS SPECIFICATION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PRACTICES.

B. MATERIALS SHALL BE STORED IN SUCH A MANNER AS TO PREVENT DAMAGE OR DEGRADATION. ANY MATERIALS DAMAGED PRIOR TO INSTALLATION SHALL BE REMOVED FROM THE PROJECT AND REPLACED WITH NEW MATERIALS AT NO ADDITIONAL COST. LOST OR STOLEN MATERIALS SHALL BE REPLACED AT NO ADDITIONAL COST.

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A. DEPTH OF COVERTAYLORSVILLE-BENNION IMPROVEMENT DISTRICT PAGE 3 OF 17 WATER DISTRIBUTION AND TRANSMISSION

REVISED NOVEMBER 2024 33 11 00

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2. WHERE VERTICAL CONFLICTS EXIST WITH THE WATERLINE, A PRE-FAB STEEL LOOP WILL BE REQUIRED TO BE INSTALLED.

B. LAYOUT

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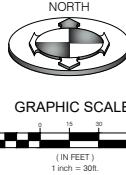
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PROJECT NO.	2401012
CONTRACT NO.	16122024
OWNER	PEPPERL STOELLE & ENGINERS, INC.
ARCHITECT	ALLISON G. ALBERT
GENERAL CONTRACTOR	Blue Stakes of UTAH 811
LAND SURVEYOR	LAND SURVEYING & ENGINEERING & CIVIL
ADDRESS	817 S 1400 E, SUITE 100, SALT LAKE CITY, UT 84111
PHONE	(801) 542-7102
FAX	(801) 542-7102
EMAIL	www.benchmarkutah.com
WEBSITE	

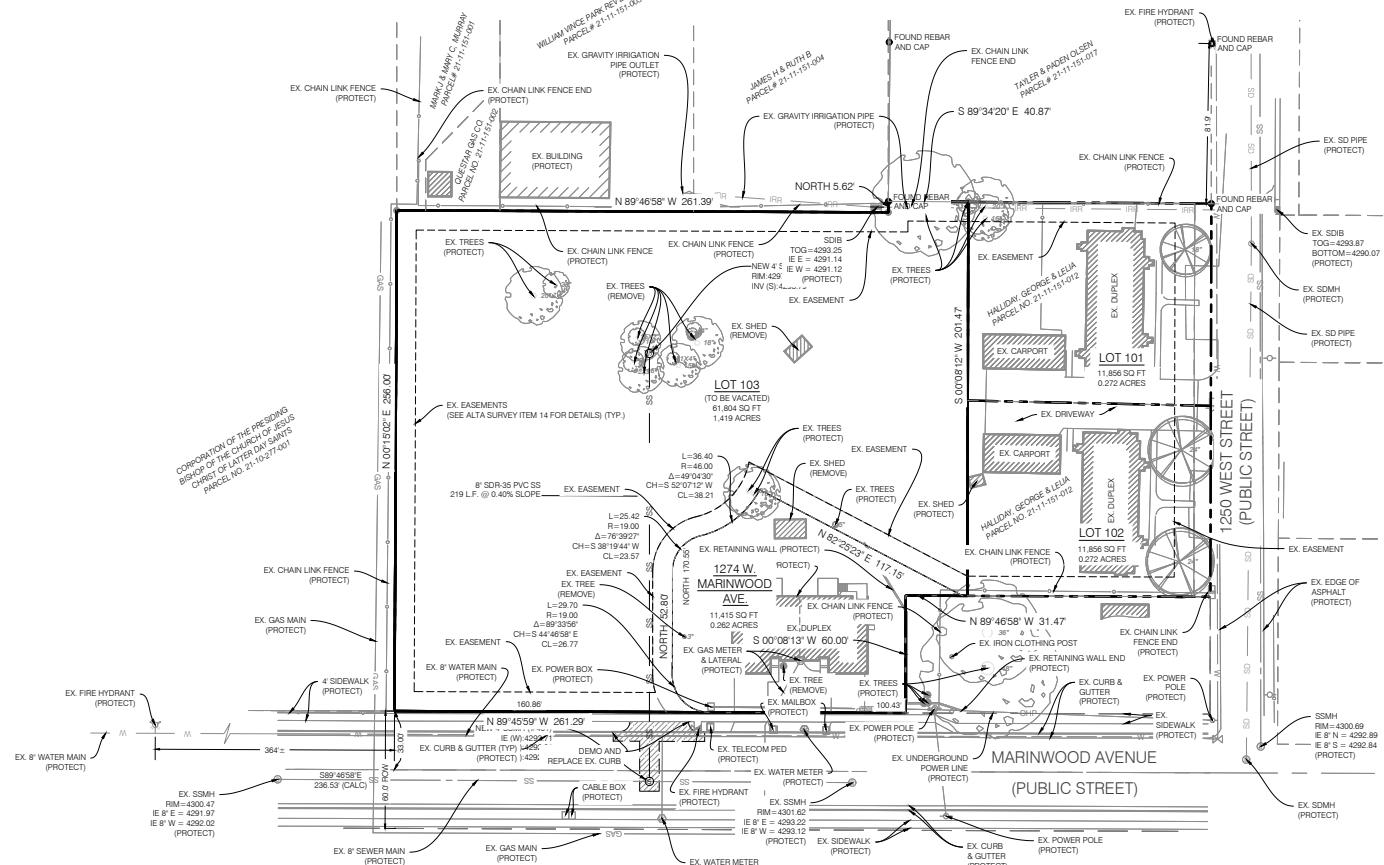
Exhibit F



GRAPHIC SCALE

(IN FEET)

1 inch = 30ft.



HALLIDAY ESTATES SUBDIVISION
AMENDED & EXTENDED
1274 & 1280 W MARINWOOD AVE,
TAYLORSBURG UTAH



DEMO
PLAN
CDP.01
4 OF 12

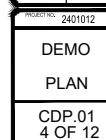
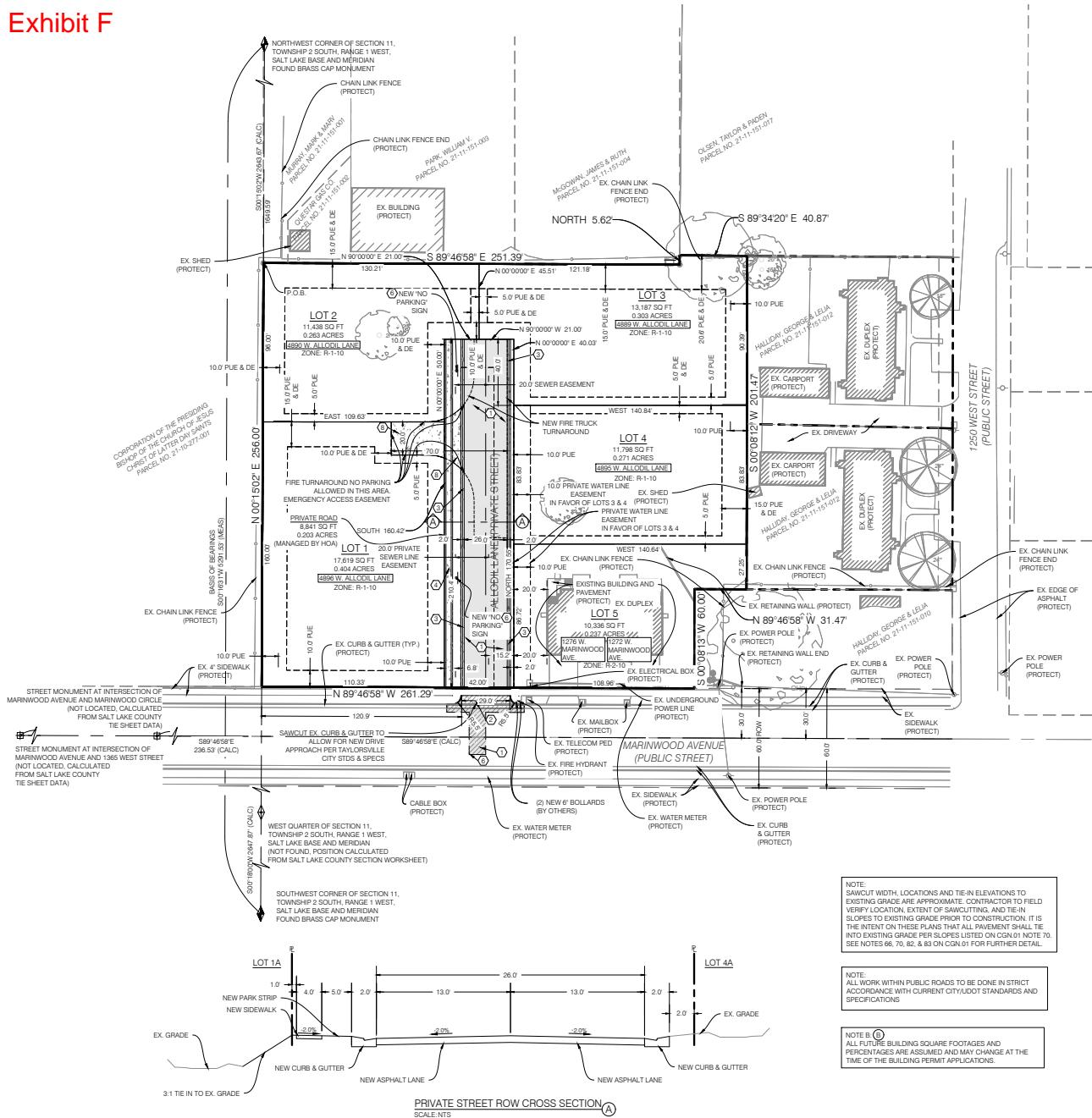
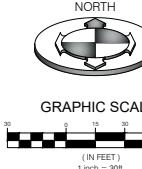


Exhibit F



CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT
②	RADIAUSED CURB REPAIR TAYLORSVILLE CITY STDS	
③	CONCRETE CURB AND GUTTER PER APWA #205-3 TYPE 'H' 24" STANDARD	
④	SIDEWALK PER APWA #231	
⑤	CONCRETE CURB AND GUTTER PER APWA #205 TYPE 'A'	2/CDT
⑥	NO PARKING SIGN TAYLORSVILLE CITY STDS	
⑦	SAWCUT AND REPAIR PER APWA PLAN #255	
⑧	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT
⑨	TRANSITION CURB & GUTTER	



PROPOSED SUBDIVISION AREA TAB	
PARTICULARS	S.F.
BUILDING	2,472
HARDSCAPE	8,750
LANDSCAPE	61,997
TOTAL	73,219

LOT 2 AREA TABLE (DESIGN) (C)		
PARTICULARS	S.F.	%
BUILDING	2,500	21.8
HARDSCAPE	1,004	8.8
LANDSCAPE	7,934	69.4
TOTAL	11,438	100.0
ROAD DRAINAGE LANDSCAPE	1,089	
ROAD DRAINAGE HARDSCAPE	4,173	

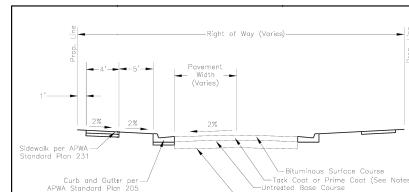
LOT 3 AREA TABLE (DESIGN)		
PARTICULARS	S.F.	%
BUILDING	2,500	18.00
HARDSCAPE	1,000	7.20
LANDSCAPE	10,288	74.00
TOTAL	13,788	100.00
ROAD DRAINAGE LANDSCAPE	421	
ROAD DRAINAGE HARDCAPE	3,158	

LOT 1 AREA TABLE (DESIGN) (B)		
PARTICULARS	S.F.	%
BUILDING	2,500	14.2
Hardscape	1,614	9.2
Landscape	13,505	76.6
TOTAL	17,619	100.0

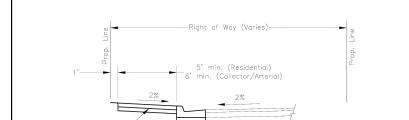
LOT 4 AREA TABLE (DESIGN)		
PARTICULARS	S.F.	%
BUILDING	2,500	2%
HARDSCAPE	1,000	8%
LANDSCAPE	8,298	70%
TOTAL	11,798	100%

PRIVATE ROAD AREA TABLE		
PARTICULARS	S.F.	%
HARDSCAPE	7,331	82.9
LANDSCAPE	1,510	17.1
TOTAL	8,841	100.0

LOT 5 AREA TABLE (EXIST)		
PARTICULARS	S.F.	%
BUILDING	2,472	23%
HARDSCAPE	1,282	12%
LANDSCAPE	6,582	63%



2014 RELEASE UNDER E.O. 14176



CONTINUOUS SIDEWALK

BITUMINOUS CONCRETE MIX DESIGNATOR BY ROADWAY CLASSIFICATION	
ROADWAY CLASSIFICATION*	BITUMINOUS CONCRETE MIX DESIGN
Local/Private – Collector (60')	PG64-28, DM-1/2, 50 Blown
Collector (80') – Arterial (100')	PG64-34, DM-1/2, 50 Blown
Canyon Roads Det. Cat. 2 – 6	PG64-28, DM-1/2, 50 Blown
Canyon Roads Cat. 1	PG64-34, DM-1/2, 50 Blown

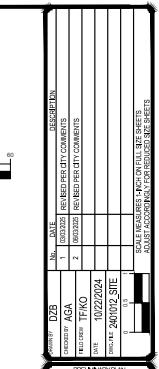
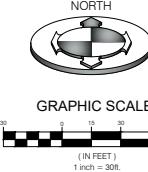


HALLIDAY ESTATES SUBDIVISION
AMENDED & EXTENDED
1274 & 1280 W MARINWOOD AVE,
TAYLORSVILLE, UTAH

PROJECT NO. 2401012
SITE
PLAN
CSP.01
5 OF 12

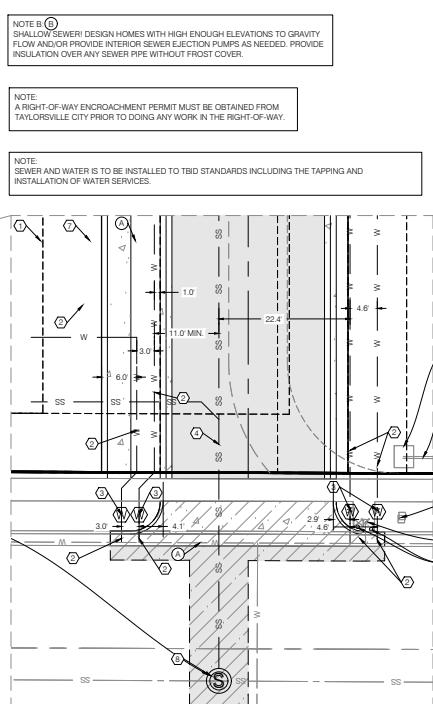
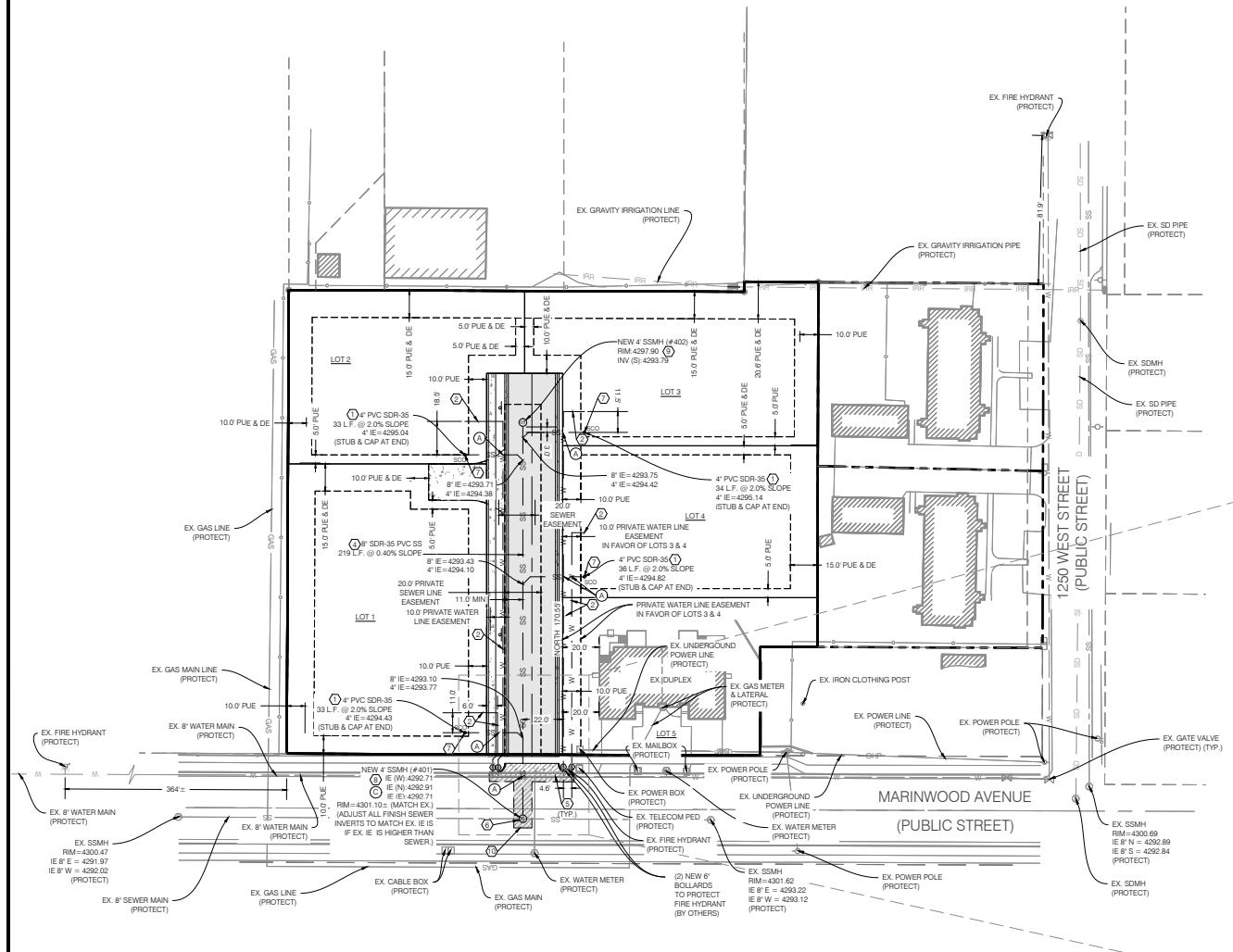
Exhibit F

CONSTRUCTION KEY NOTE REFERENCE		
NO	DESCRIPTION	DATE
④	PVC SDR-35 SEWER LATERAL PER TBID STD #TB-102	3/CDT
④/4	POLY WATER SERVICE LINE PER TBID STD #TB-203	3/CDT
④/4	WATER METER & VAULT PER TBID STD #TB-203	2/CDT
⑧	PVC SDR-35 SEWER MAIN	
⑥	HOT TAP OR WATER LATERAL CONNECTION PER TBID STD'S & SPECS	
⑥	UTILITY TRENCH PER TBID STD #TB-201	3/CDT
④	SEWER CLEANOUT PER TBID STD #TB-102 (EVERY 50' MIN)	3/CDT
④	DIAMETER CAST IN PLACE SSMH PER TBID STD #TB-108	2/CDT
④	SSM PER TBID STD #TB-105	1/CDT
④	SAWCUT PER APWA PLAN #255	



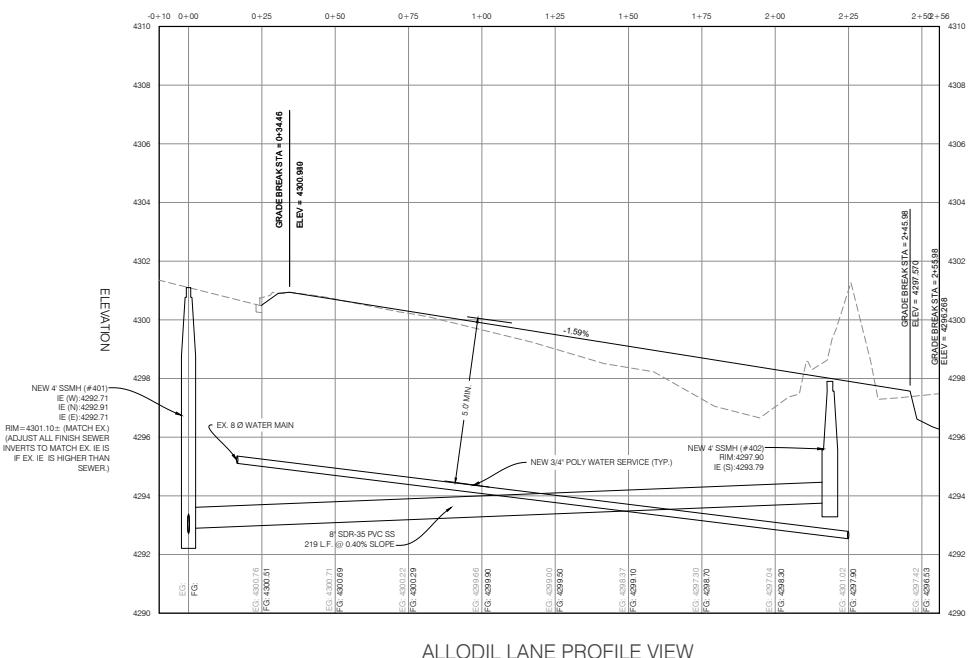
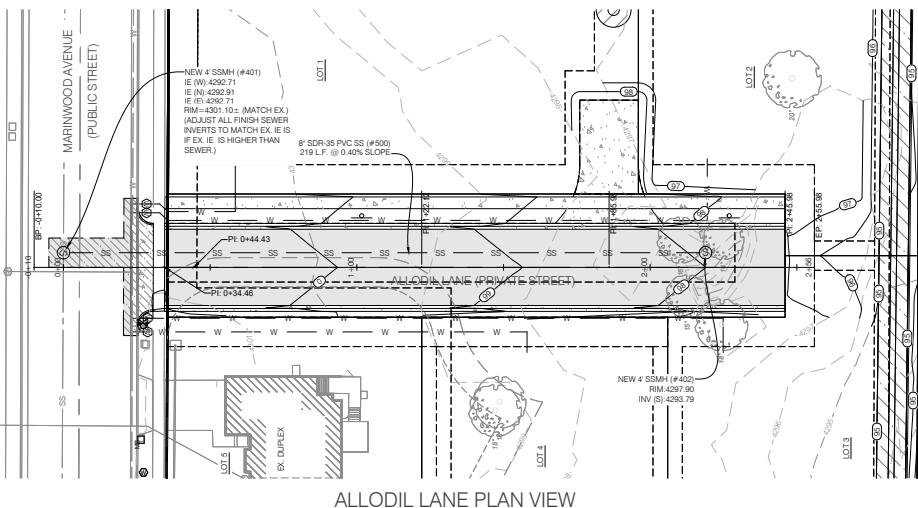
**HALLIDAY ESTATES SUBDIVISION
AMENDED & EXTENDED**

274 & 1280 W MARINWOOD AVE,
TAXI ORSVILLE UTAH



ENLARGED VIEW
SCALE: 1" = 10'

Exhibit F



The logo for the Blue Stakes of UTAH 811. It features the text "Blue Stakes of UTAH 811" in a bold, sans-serif font. The "811" is larger and has a small blue checkmark icon to its right. Below the main text is the slogan "Dig with Care" in a smaller, italicized font.

PLAN
AND
PROFILE
CPP.01
8 OF 12

**HALLIDAY ESTATES SUBDIVISION
AMENDED & EXTENDED
1274 & 1280 W MARINWOOD AVE.
TAYLORSVILLE, UTAH**

PROJECT NO. 2401012
PLAN
AND
PROFILE
CPP.01
8 OF 12

Exhibit F



GRAPHIC SCALE

SWPPP KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1.CEP
②	INLET PROTECTION WATTLE	2.CEP
③	MATERIALS STORAGE	3.CEP
④	PORTABLE TOILETS	4.CEP
⑤	SILT FENCE	6.CEP
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7.CEP

NOTE:
CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALCS, ETC.) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR AGRICULTURE. THE CONTRACTOR SHALL PAY FOR THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTORS EXPENSE. TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.



HALLDAY ESTATES SUBDIVISION
AMENDED & EXTENDED
1274 & 1280 W MARINWOOD AVE,
TAYLORVILLE UTAH



PROJECT NO. 2401012

EROSION
CONTROL
PLAN

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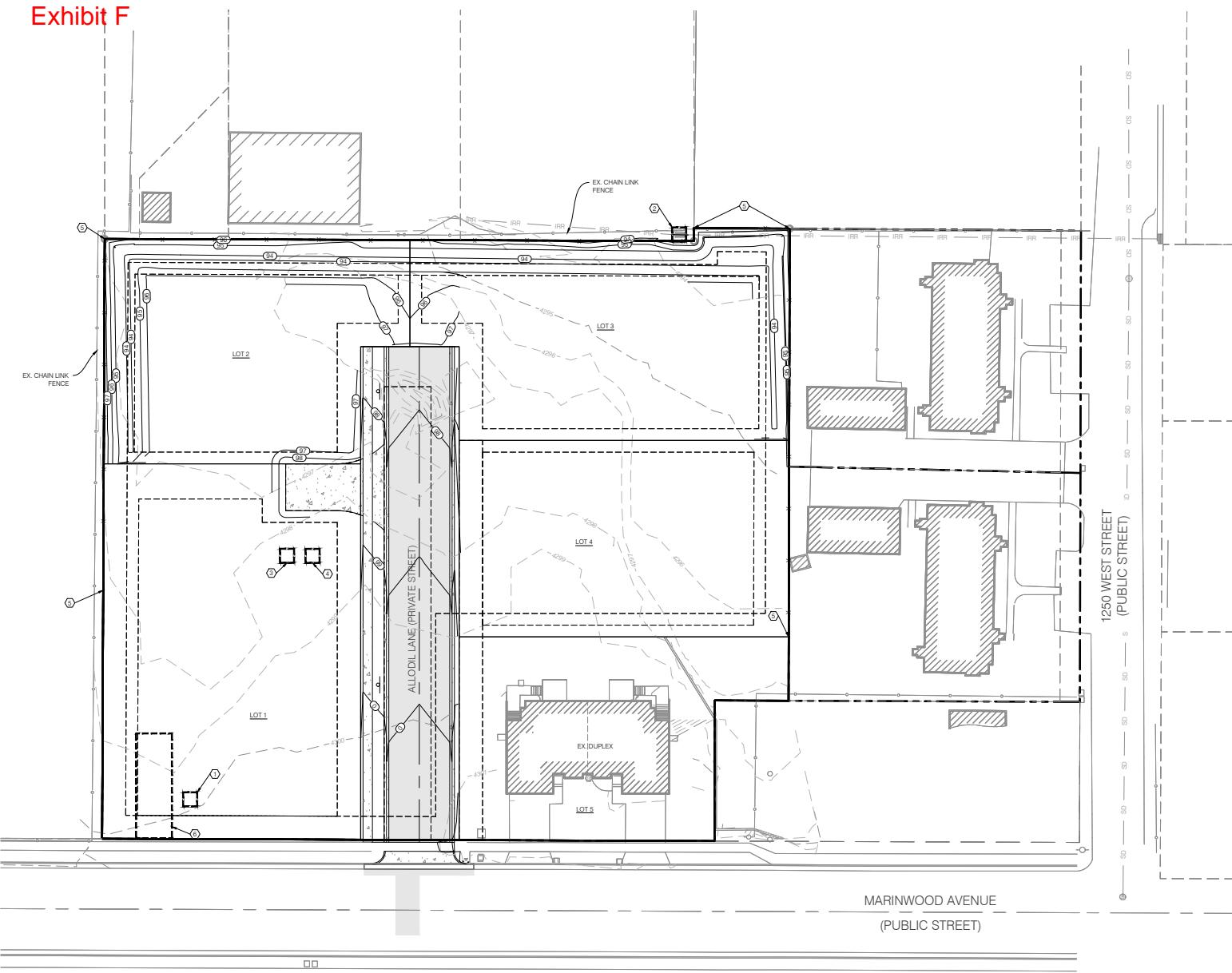
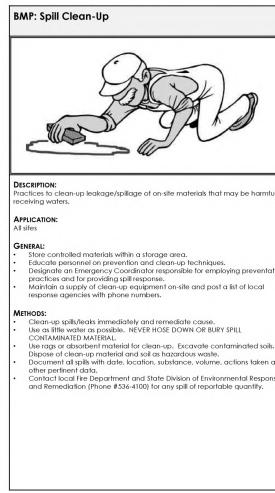
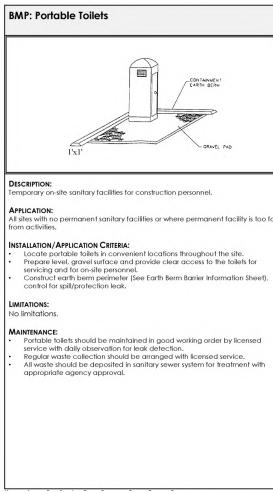
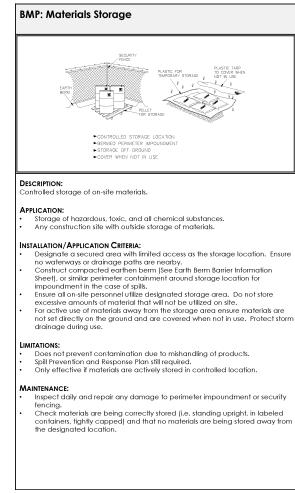
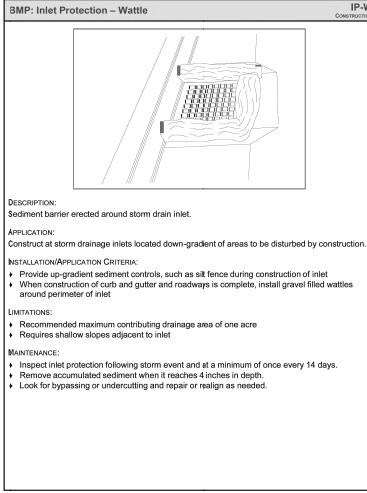
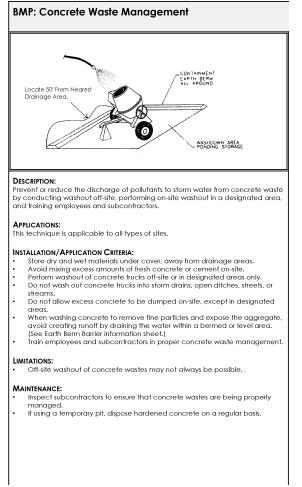


Exhibit F



CONCRETE WASTE MANAGEMENT ①

SCALE: NTS

INLET PROTECTION WATTLE ②

SCALE: NTS

MATERIALS STORAGE ③

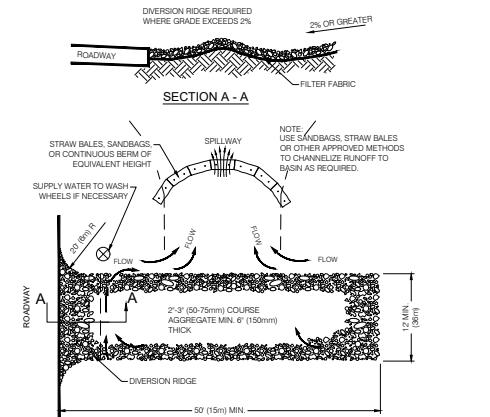
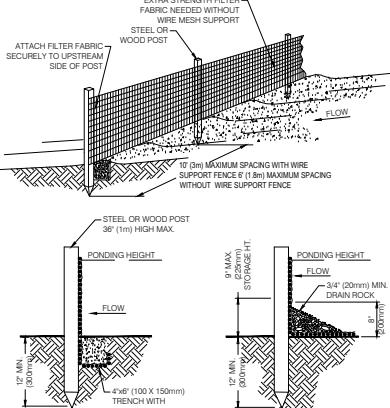
SCALE: NTS

PORTABLE TOILETS ④

SCALE: NTS

SPILL CLEAN UP ⑤

SCALE: NTS

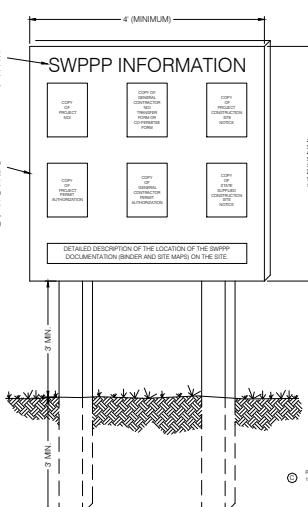


SWPPP INFORMATION MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS POLYVINYL OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

NOTES:

- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
- 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO-TERMINATION (NOT) IS FILED FOR THE PERMIT.
- 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
- 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.



HALLIDAY ESTATES SUBDIVISION AMENDED & EXTENDED
1274 & 1280 W MARINWOOD AVE., TAYLORSVILLE, UTAH

EROSION CONTROL DETAILS
CEP 02 100F 12



From: [Terryne Bergeson](#)
To: [GEORGE V JR HALLIDAY](#)
Cc: [Isaac Halliday](#); ["Samhalliday52@gmail.com"](#); ["sterlingtholen@yahoo.com"](#)
Bcc: [Wayne Harper](#); [Matthew Tilly](#); [Jim Spung](#); [Mark McGrath](#); [Ben White](#); [Tammy North](#); [Tom Smolka](#); [Tom Smolka](#); [JT \(J. Taylor\)](#); [Tracy Cowdell](#); [Stephanie Sherman](#); [Brittany Kempff](#)
Subject: File Review #3S25 - SUB-000519-2025 -Halliday Estates Amended and Extended
Date: Friday, April 11, 2025 2:06:00 PM
Attachments: [image001.png](#)
[2025-4-3 Redlines - Civil Plans.pdf](#)
[2025-4-3 Redlines - Draft Plat.pdf](#)

George and team,

This transmittal contains consolidated comments from reviewing agencies. Please address the individual reviewer directly with questions relating to their review.

Taylorsville Engineering Department: Reviewer: Ben White, City Engineer, bwhite@taylorsvilleut.gov, 801-293-8344

1. Review the attachments for redlines and address in revised draft plat and civil plans.

Taylorsville Building Department: Reviewer: Steve Porten, Building Official, sporten@taylorsvilleut.gov, 385-379-5495

2. Comments will be provided through building permit.

Taylorsville-Bennion Improvement District: Reviewer: Tammy North, District Engineer, tnorth@tbid.org, 801-968-9081

3. General notes need to be updated for this project. Sewer and Water is to be installed to TBID standards including the tapping and installation of water services.
4. If the road is not a public road, 20' easements in favor of TBID for the sewer will need to be granted. Reciprocal easements are needed for the water service lines if the road is not public.
5. Plans call for 1" water service lines. The standard size for residential homes is ¾". There is a significant difference in impact fee costs between the two sizes. You might want to consider resizing of the service.
6. Keyed notes 10 and 13 reference copper service lines- TBID standard is for poly services.

Unified Fire Authority: Reviewer: Tom Smolka, Fire Marshal, tsmolka@unifiedfire.org, 801-743-7236

7. No parking on fire access roads less than 26 feet wide (26-32 feet wide parking allowed on 1 side only).
8. Show signs installed, note on plat that no parking is allowed anytime in hammerhead.

Taylorsville Community and Development: Reviewer: Terryne Bergeson, Planner, tbergeson@taylorsvilleut.gov, 385-308-0534

GENERAL

9. The proposed street configuration does not meet code and is requesting multiple exemptions from the planning commission. As previously discussed, the construction of a public street

stubbed to the north would set the stage for an orderly street system as the area redevelops in the future and is required by city code. [§13.21.110 Private Streets/ Lanes](#) states that *“Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission. A private street/lane system may be approved where it can be shown, based upon property width, connectivity (or the inability to connect to the existing street patterns), topographical concerns, overall subdivision design, the ability to provide service (which includes, but is not limited to, snowplowing, street sweeping, trash collection, and overall street maintenance), that a full width public street may not be the best solution for a new subdivision.”* **Please consider the information below and update your plans and submittals according to how you would like to proceed.**

- a. 50-foot-wide public right-of-way: This layout would meet requirements of the code and would not require any additional information or exemptions for approval. Plans addressing agency comments that show a 50' wide public right-of-way would be presented with a favorable recommendation to planning commission for preliminary review and approval.
 - i. Update the plans to show the residential lots will be accessed by a public road with a temporary turnaround.
 - ii. Provide 50' wide right-of-way stubbed to the northern border of the property with temporary turnaround. Sidewalks can end where turnaround begins. Temporary turnaround can be an easement.
 - iii. Address comments in attachments and #10-20 according to changes.
 - iv. Construction of the road or bond for the improvements would be required prior to recording of the plat.
- b. 42-foot-wide public right-of-way: This does not meet the full width standard. This scenario would be providing a public right-of-way but asking the planning commission to consider an exemption to the width. The planning commission has the authority to approve deviations from standard roadway widths, but since it does not fully meet the code, applicant is responsible to provide information that demonstrates the reason for the exemption request. The commission would review the application and accompanying information and decide at their discretion.
 - i. Update the plans to show the residential lots will be accessed by a public road with a temporary turnaround.
 - ii. Make the 42' wide right-of-way public and extend to the northern border of the property with temporary turnaround as easement. Sidewalk can end where turnaround begins.
 - iii. Address comments in attachments and #10-20 according to changes.
 - iv. Provide information that supports the reason for the departure from 50' right-of-way width (narrative, site plans, any other applicable information).

- v. Construction of the road or bond for the improvements will be required prior to recording of the plat.
- c. 50-foot-wide private right-of-way: This does not meet the public right-of-way standard. [§13.21.110 Private Streets/ Lanes](#) requires *Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission.* [§13.21.110\(A\)\(2\)](#) states private streets shall have a 50' wide right-of-way with 26' of pavement. The planning commission has the authority to approve deviations. Proposing this layout would require the planning commission to approve an exemption to the public street requirement. The applicant would need to provide information that demonstrates why providing a full width private street is a better scenario for this subdivision amendment. This would be reviewed and decided at the discretion of the planning commission.
 - i. Update the plans to show the 50' wide private right-of-way that meets standards above.
 - ii. Address comments in attachments and #10-21 according to changes.
 - iii. Provide information that supports the reason for the departure from public street requirement (narrative, site plans, any other applicable information).
 - iv. Construction of the road or bond for the improvements would be required prior to recording of the plat.
- d. 42-foot-wide private right-of-way: This does not meet public right-of-way requirement or private street standards. [§13.21.110 Private Streets/ Lanes](#) states that *“Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission.* [§13.21.110\(A\)\(2\)](#) states private streets shall have a 50' wide right-of-way with 26' of pavement. Requesting two exemptions to subdivision standards will require that the applicant demonstrate why the property cannot meet the requirements of the code and that the narrow private street is a better scenario for this subdivision amendment. This would be reviewed and decided at the discretion of the planning commission.
 - i. Address comments #10-21.
 - ii. Provide information that supports the reason for the departure standards above (narrative, site plans, any other applicable information).
 - iii. Construction of the road or bond for the improvements will be required prior to recording of the plat.

10. Adjust lot areas, easements, and any other applicable details affected by street changes.
11. Submit a title report dated within the last 90 days for the parcel # 21111510130000.
12. Show the area of the existing lots (parcel 21111510190000 and 21111510130000).
13. Contact Matthew Tilly, GIS Planner to determine addressing for new lots. Identify name of the new road on the plat and update addresses on all plans; properties will be addressed off the

street they are facing.

CIVIL

14. Show setbacks for all sides of duplex from new property lines.
15. Adjust the “Area Tables” calculations to reflect correct lot sizes.

DRAFT PLAT

16. Specify water easements with “In favor of Lot XX” language.
17. Remove zoning from lots.
18. Remove setbacks for Lot 5A from plat.
19. Fire turnaround can be accomplished by providing a 20’ wide emergency access on lots. This could be done as an easement with no parking notes. If the turnaround is part of the street, it will need to be developed to the same standards as the street (ie width, curb, gutter).
20. Remove the “A” designation from the lots.
21. If pursuing the private street configuration, add a note to the plat that releases city from responsibility for maintaining street.

Please review the comments and upload the revised plans to the portal. When they are uploaded please send an email so that I know they are ready for review. Thank you!

Best,

Terryne Bergeson

Planner I



2600 W. Taylorville Blvd.
Taylorville, Utah 84129
Office: (385) 308-0534
E-mail: tbergeson@taylorsvilleut.gov
Website: www.taylorsvilleut.gov