

Planning Commission Staff Report

File # 3S25 – SUB-000519-2025

Public Hearing and Consideration of Approval for Preliminary Subdivision Amendment to Create 4 Residential Lots and a Private Lane Exemption Request on 1.42 Acres of Property at 1280 W. Marinwood Ave. in Taylorsville, Utah.



Department of Community Development

Date:	June 30, 2025
Meeting Date:	July 8, 2025
Agenda Item:	[above]
Subject Property Address:	1276 & 1280 W. Marinwood Ave.
Applicant:	George Halliday
Author:	Terryne Bergeson, Planner I
Parcel #:	21111510190000; 21111510130000
Applicable Ordinances:	Including, but not limited to LDC Chapters 13.20; 13.21; 13.30; 14.12.
Agenda Item #:	5

Attachments:

Exhibit A: Zoning Map
Exhibit B: General Plan Map
Exhibit C: Vicinity Map
Exhibit D: Site Map
Exhibit E: Original Plat

Exhibit F: Civil Plans
Exhibit G: Draft Plat
Exhibit H: Consolidated Comments
Exhibit I: Exemption Request

Summary

George and Cynthia Halliday own the properties that comprise the Halliday Estates subdivision, which consists of family lots on the southeast quadrant of the neighborhood located at about 1250 West Marinwood Avenue. In 2023, this property was included in a subdivision plat approval to clean up parcel lines and zoning designations.

Lot 103 at 1280 W Marinwood (21111510190000) is the largest of the lots with 1.42 acres. The applicants are requesting an amendment to the Halliday Estates subdivision to create four residential lots.

In addition to the subdivision plat amendment request, the applicants are requesting several subdivision design standard exemptions from the Planning Commission. This report includes staff recommendations and the applicant's requests, as well as the review criteria for subdivision amendments for the Planning Commission's consideration of the approval of the preliminary plat and exemption requests.

Site Description

Lot 103 is located at 1280 W. Marinwood Ave. The lot is zoned R-1-10 and is an undeveloped parcel with 1.42 acres (61,802.93 square feet). Surrounding zoning designations are as follows:

North	South	East	West
R-1-20 (Single-Family Residential)	R-1-10 (Single-Family Residential)	R-2-10 (Two-Family Residential)	R-1-20 (Church)

General Plan Analysis

The subject property is currently designated as “*Low Density Residential*” in the Taylorsville General Plan and is described as follows (see General Plan pg 3-4):

“Low Density Residential (LDR) districts are residential areas that contain existing or proposed residential developments less than 6 dwelling units per acre (excluding ER districts). Properties that are assigned the LDR classification are generally (but not necessarily limited to) neighborhoods consisting of single-family dwellings.”

The proposed subdivision amendment would create 4 new lots on 1.42 acres of land and meets the density for the General Plan designation.

Application Analysis

The subdivision design standards are to ensure the orderly development of the city with adequate provisions for traffic and other public improvements (see [§13.21.010](#)). The proposed 42' wide private street configuration does not meet city standards, specifically [§13.21.110](#) which states that, “*Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission. A private street/lane system may be approved where it can be shown, based upon property width, connectivity (or the inability to connect to the existing street patterns), topographical concerns, overall subdivision design, the ability to provide service (which includes, but is not limited to, snowplowing, street sweeping, trash collection, and overall street maintenance), that a full width public street may not be the best solution for a new subdivision.*”

Per [§13.21.100 \(P\)](#), “The requirements of this section may be waived or modified by the planning commission after considering a recommendation from the city engineer,” the applicants are requesting an exemption for the following standards:

1. An exemption to designate the proposed street as a private street, under Taylorsville City Code §13.21.110.
2. An exemption to allow a 42’ right-of-way instead of the standard 50’ required for public roads.
3. Type H curb and gutter instead of a type A curb and gutter.

Exhibit I summarizes the applicants rationale for the exemption request. Planning staff and the City Engineer support the approval of a subdivision with a public street that meets current city standards to enable orderly development in the near- and long-term. Creating a public stub street will provide more options long-term for the properties with public street frontage and the surrounding neighborhood, while private streets tend to constrain development potential. Public streets with sidewalks provide safe pedestrian access and improve circulation, hence the standard that new subdivisions provide a stub street: §13.21.110(D), “At least two (2) points of ingress/egress shall be provided for each subdivision or PUD project unless the project has one or more of the following: 3. The future extension of a stub street that will provide additional access including a temporary turnaround approved by the UFA and city engineer.”

Staff recommends the subdivision include a 42’-wide right-of-way allowed in city code to satisfy the public street standard and allow reasonable development of the property. A standard 50-foot-wide public street would decrease the developable area and result in fewer lots that satisfy the R-1-10 design standards. Standards supporting a 42’ wide public right-of-way design are in §13.21.100(G) and [§14.12.100](#): *Minimum Right of Way and Pavement Design Standards*:

	Right Of Way Width	Pavement Width	Minimum Design Section
Local	42 feet	25 feet	8 inch base 3 inch asphalt

The City Engineer also reviewed the exemption request for curb and gutter and will reevaluate the request after the Planning Commission’s decision regarding the required right-of-way.

Review Criteria

This preliminary subdivision application is subject to the approval criteria in LDC [§13.30.060\(H\)](#). The Planning Commission shall decide a preliminary plat application in accordance with the following:

1. Planning Commission: Notwithstanding applications that require City Council approval, the Planning Commission shall decide a plat amendment application in accordance with § 13.43.070: Step 6: Application Decision and Action, based on the following review criteria:
 - a. There is good cause for the vacation or amendment;

- b. No public street or municipal utility easement has been vacated or amended;
- c. Is consistent with the intent of the underlying zoning district;
- d. **Complies with applicable dimensional and development standards in this LDC;**
- e. Does not affect a recorded easement without approval from the easement holder;
- f. **Provides a layout of lots, roads, utilities, drainage, and other public facilities and services that are compliant with city engineering standards and this LDC;**
- g. Provides evidence of adequate public facilities to serve the proposed development;
- h. Does not result in the creation of a remnant lot or parcel that cannot be developed according to the requirements of this LDC and other applicable laws;
- i. Does not remove or attempt to remove recorded covenants or restrictions; and
- j. Proposes reasonable phasing as it relates to infrastructure capacity, state, and county governments and other relevant entities with jurisdiction over the property or the current or proposed use of the property.

Public Comment

A public notice was mailed to all affected entities and residents within 300 feet of the property on June 18, 2025. Additionally, a notice was published on the Utah State Notice Website and the City's website.

As of July 1, 2025, no public comments have been received regarding this subdivision application.

Findings

1. This application was initiated by the property owner, George Halliday.
2. The applicant is requesting preliminary subdivision approval for an amendment to lot 103 of the Halliday Estates subdivision to create four new residential lots at 1280 W. Marinwood Ave. in Taylorsville.
3. Lot 103 is an undeveloped lot that contains 1.42 acres.
4. The subject property is zoned R-1-10.
5. The subdivision proposal aligns with the current General Plan Map designation for the property "*Low Density Residential*".
6. A subdivision is subject to the standards in Chapter 13.21 of the Land Development Code.
7. A subdivision application is subject to the review procedures adopted in [Chapter 13.30](#) of the Land Development Code.
8. The preliminary subdivision application is subject to the approval criteria in LDC [§13.30.060\(H\)](#).
9. This subdivision application has been reviewed by city departments and elements of the development proposal that do not meet city standards has been communicated to the applicant.
10. The applicant is requesting preliminary approval of the subdivision as well as an exception to the 50'-wide right-of-way and private/ public standard listed in the Land Development Code.
11. A public notice was mailed to all affected entities and residents within 300 feet of the property on June 18, 2025 and published on the Utah State Notice Website and the City's website.

12. The Planning Commission is the decision-making authority for preliminary subdivision review and the associated exemption requests.

Conditions

The following conditions are recommended should the Planning Commission decide to grant conditional preliminary approval for the subdivision amendment and any exemption requests. The following conditions shall be met prior to recording the final plat:

1. All outstanding city department and review agency comments be resolved and subsequent revisions comply with applicable city ordinances, codes, and standards prior to plat recording.
2. Any standards for which an exemption is not granted be revised to meet applicable city standards.
3. The type of curb and gutter to be installed shall be reviewed and approved by the City Engineer.
4. The plat is compliant with all requirements and standards of Salt Lake County.
5. All required fees and bonds are paid to the City.

Staff Recommendation

Overall, staff recommends the subdivision plat be considered at a later date when the plans address all outstanding comments and illustrate a 42' wide public stub street that meets city standards. Alternatively, the Planning Commission may decide to approve or deny certain exemptions, and deny, or grant conditional approval of the preliminary subdivision plat. Staff has outlined potential motions below.

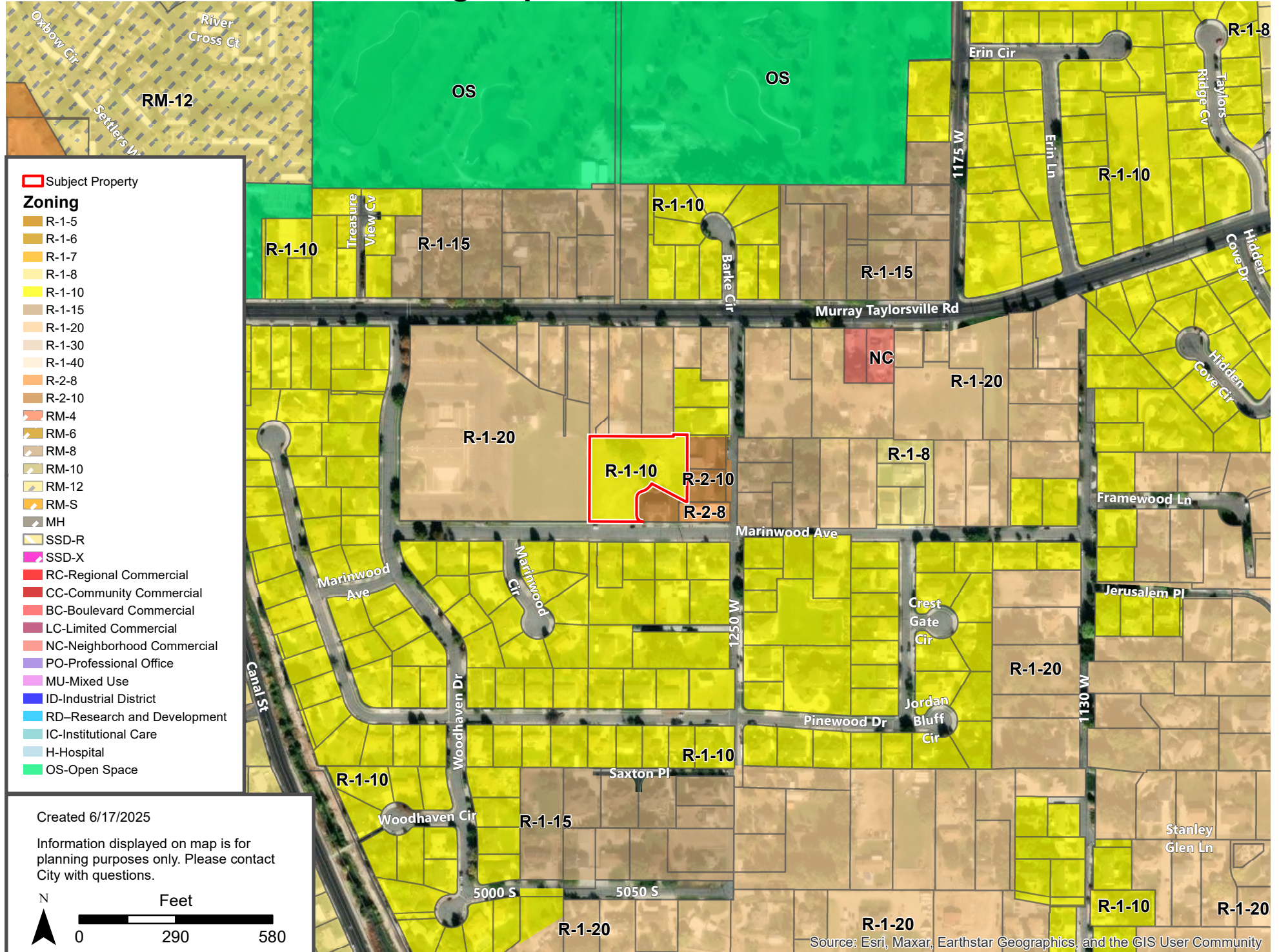
Potential Motions

- I move that we **approve** File #3S25/SUB-000519-2025 the request for preliminary approval of a subdivision amendment and all requested exemptions based on the findings and conditions outlined in this staff report.
- I move that we **continue** File #3S25/SUB-000519-2025 the request for preliminary approval of a subdivision amendment until a later date, when the application documents have been revised to show compliance with applicable dimensional and development. The following exemptions are hereby granted and any denied shall be addressed on the revised preliminary subdivision plat and associated plans:

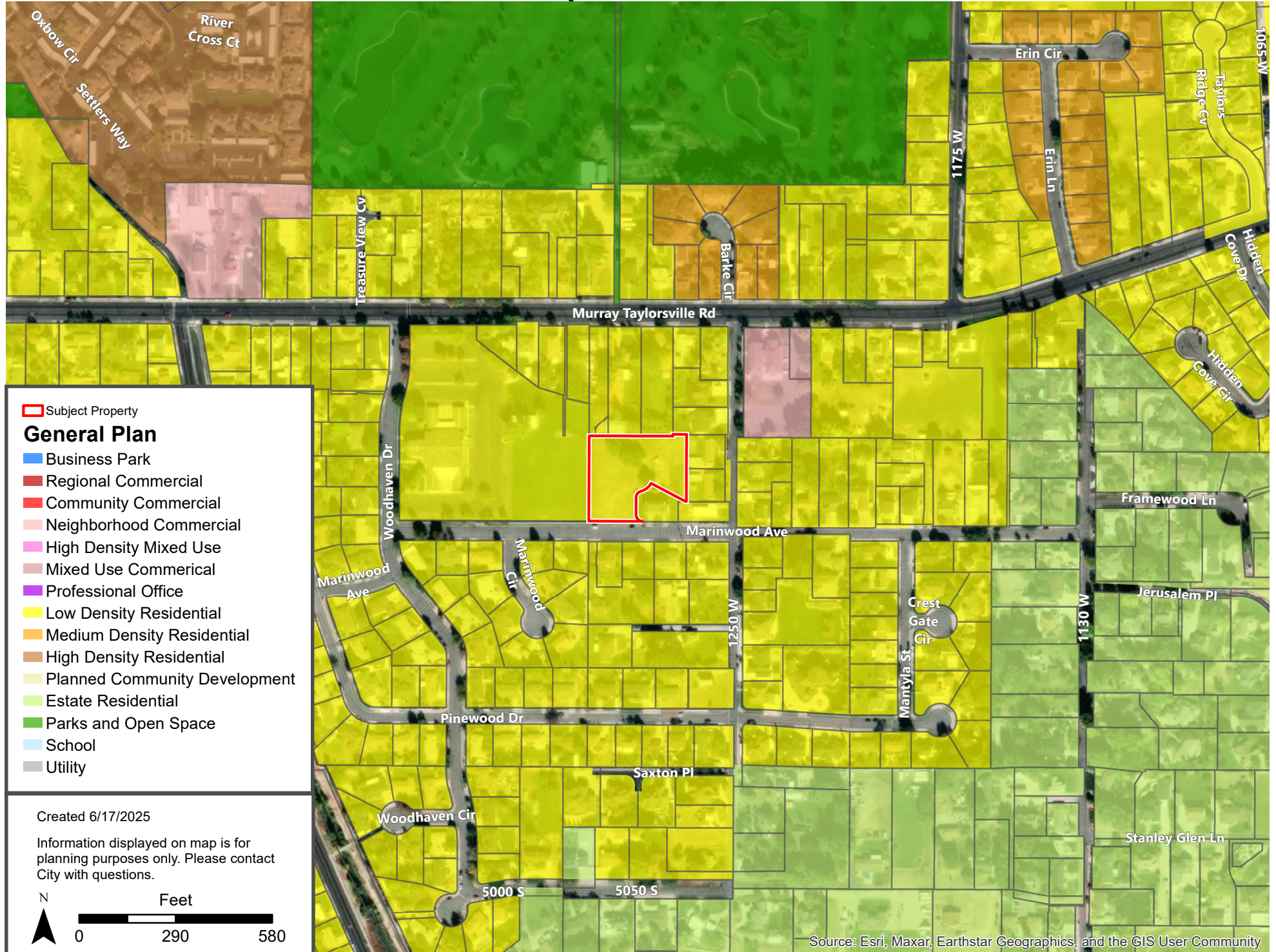
Exemption Request	Yes	No
1. Designate proposed access as a private street.		
2. Reduce right-of-way width from 50 feet to 42 feet.		
3. Installation of type H curb and gutter.	<i>Defer to city engineer</i>	

- I move that we **deny** File #3S25/SUB-000519-2025 the request for the exemptions and preliminary approval of a subdivision amendment based on the following reasons [state for the record].

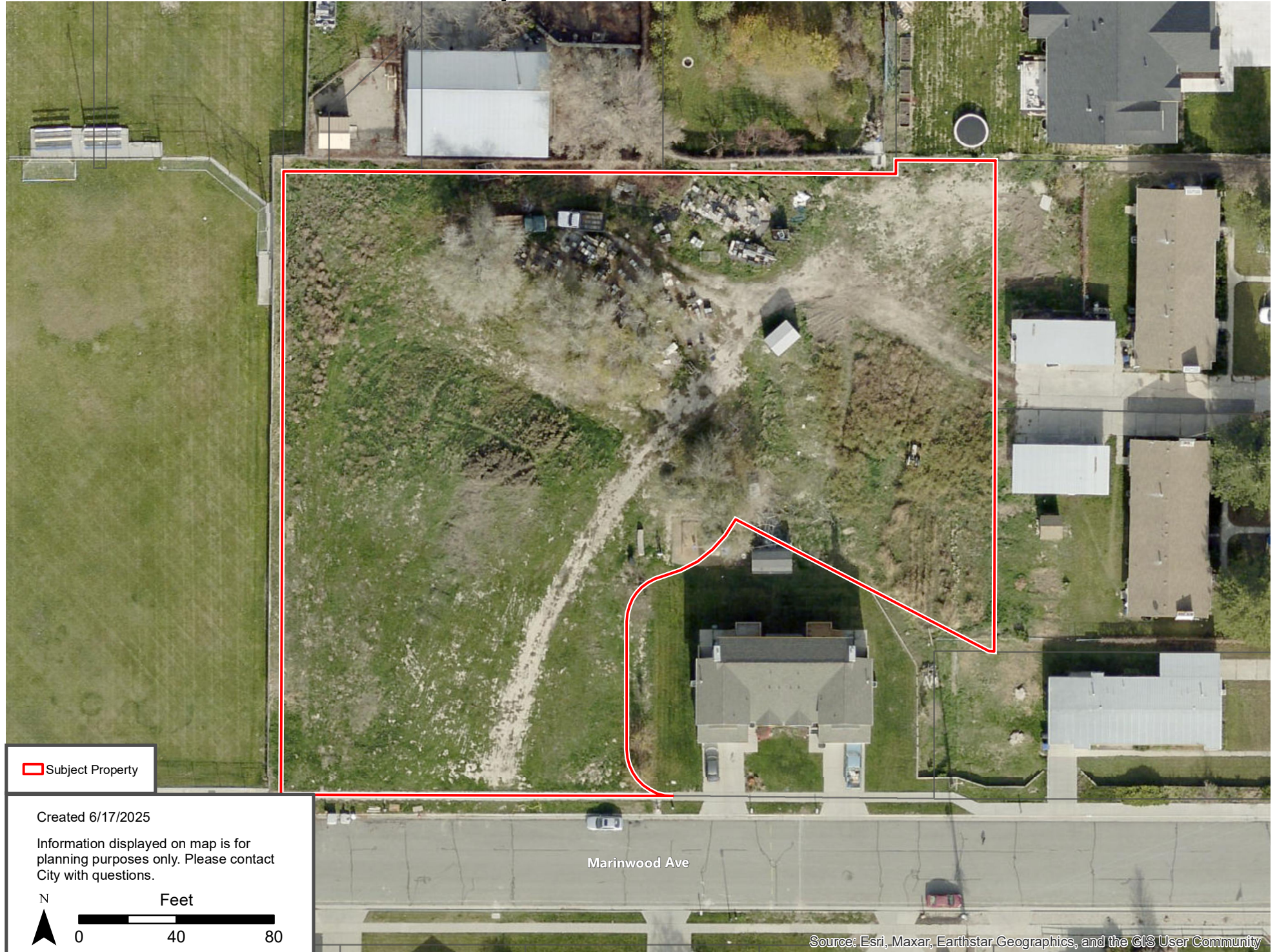
Zoning Map: 1280 W Marinwood Ave



General Plan Map: 1280 W Marinwood Ave



Site Map: 1280 W Marinwood Ave



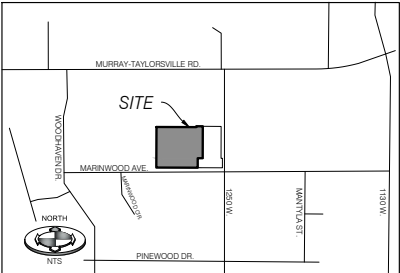
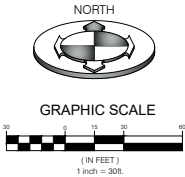
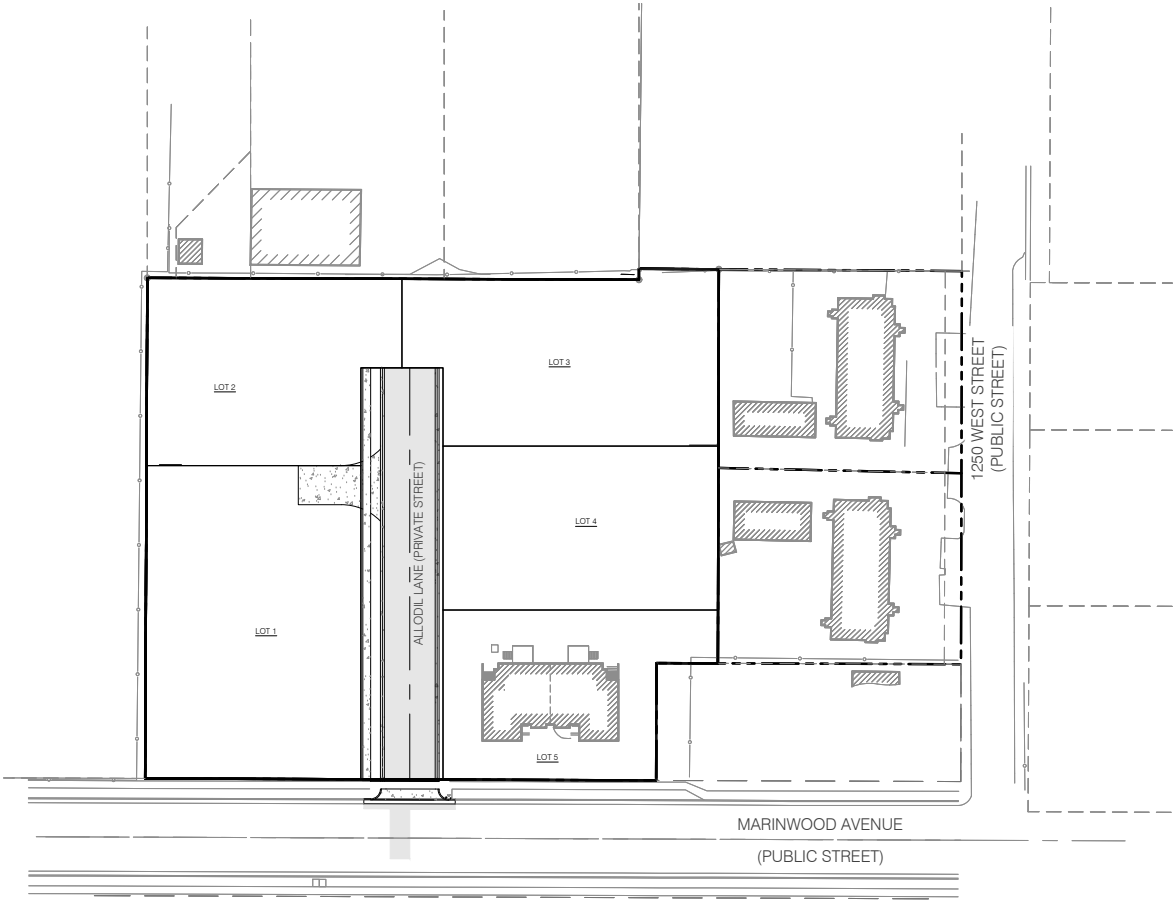
Vicinity Map: 1280 W Marinwood Ave



Exhibit F HALLIDAY ESTATES SUBDIVISION AMENDED & EXTENDED

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SALT LAKE COUNTY, UTAH

1274 & 1280 W MARINWOOD AVE,
TAYLORSVILLE, UTAH



VICINITY MAP
N.T.S.

OWNER: GEORGE & CYNTHIA HALLIDAY
1356 WOODHAVEN CIR.
TAYLORSVILLE, UT 84123
385-707-3478 (GEORGE); 801-633-8200 (CYNTHIA)
gphalliday@gmail.com; cbhalliday@gmail.com

DRAWING INDEX

- | | |
|--------|--------------------------------------|
| COVER | COVER SHEET |
| CGN.01 | GENERAL NOTES, LEGEND & ABBREVIATION |
| CGN.02 | TBID GENERAL NOTES |
| CDP.01 | DEMO PLAN |
| CSP.01 | SITE PLAN |
| CUP.01 | UTILITY PLAN |
| CGD.01 | GRADING & DRAINAGE PLAN |
| CPP.01 | PLAN & PROFILE SHEET |
| CEP.01 | EROSION CONTROL PLAN |
| CEP.02 | EROSION CONTROL DETAILS |
| CDT.01 | DETAILS & NOTES |
| CDT.02 | DETAILS & NOTES |

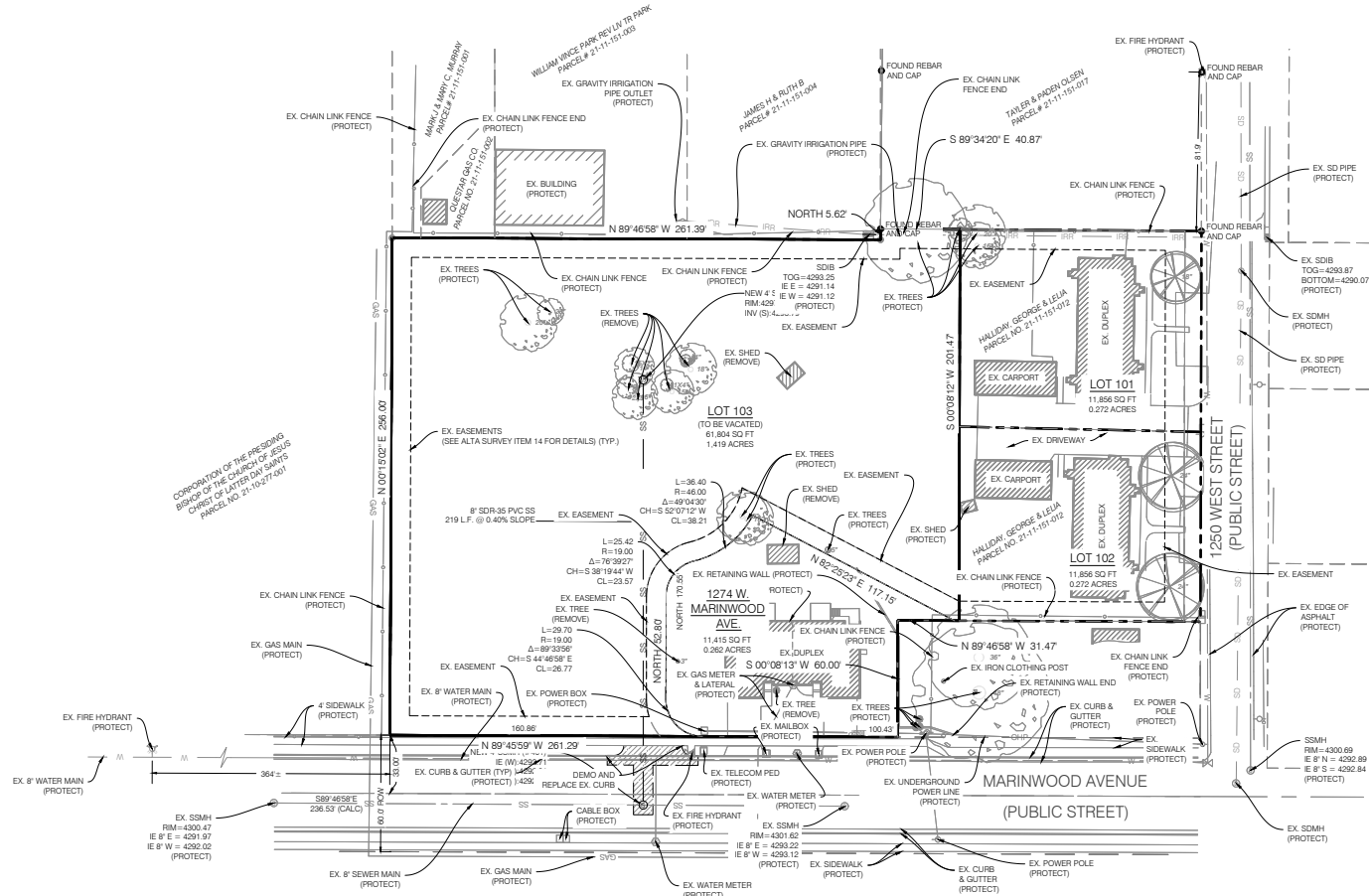
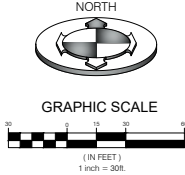
PRELIMINARY CIVIL PLANS
NOT FOR CONSTRUCTION

BENCHMARK CIVIL

PROFESSIONAL ENGINEER
No. 11366633
ALLISON G. ALBERT
STATE OF UTAH

BENCHMARK ENGINEERING & LAND SURVEYING
9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

HALLIDAY ESTATES SUBDIVISION AMENDED & EXTENDED			DATE REVISIONS	DATE REVISIONS	DATE REVISIONS	PROJECT NO. 2401012
No.	DATE	DESCRIPTION				COVER
1	03/03/2024	REVISED PER CITY COMMENTS				
2	06/03/2024	REVISED PER CITY COMMENTS				
						1 OF 12



CORPORATION OF THE PRESIDING BOARD OF THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS PARCEL NO. 11-1027001

NO.	DATE	REVISION	BY	DESCRIPTION
1	11/11/2021	1	AL	ISSUED FOR CITY COMMENTS
2	11/11/2021	2	AL	REVISIONS FOR CITY COMMENTS
3	11/11/2021	3	AL	REVISIONS FOR CITY COMMENTS
4	11/11/2021	4	AL	REVISIONS FOR CITY COMMENTS
5	11/11/2021	5	AL	REVISIONS FOR CITY COMMENTS
6	11/11/2021	6	AL	REVISIONS FOR CITY COMMENTS
7	11/11/2021	7	AL	REVISIONS FOR CITY COMMENTS
8	11/11/2021	8	AL	REVISIONS FOR CITY COMMENTS
9	11/11/2021	9	AL	REVISIONS FOR CITY COMMENTS
10	11/11/2021	10	AL	REVISIONS FOR CITY COMMENTS
11	11/11/2021	11	AL	REVISIONS FOR CITY COMMENTS
12	11/11/2021	12	AL	REVISIONS FOR CITY COMMENTS
13	11/11/2021	13	AL	REVISIONS FOR CITY COMMENTS
14	11/11/2021	14	AL	REVISIONS FOR CITY COMMENTS
15	11/11/2021	15	AL	REVISIONS FOR CITY COMMENTS
16	11/11/2021	16	AL	REVISIONS FOR CITY COMMENTS
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18	11/11/2021	18	AL	REVISIONS FOR CITY COMMENTS
19	11/11/2021	19	AL	REVISIONS FOR CITY COMMENTS
20	11/11/2021	20	AL	REVISIONS FOR CITY COMMENTS



BENCHMARK ENGINEERING & LAND SURVEYING
1111 SOUTH STATE STREET SUITE 1100
SALT LAKE CITY, UT 84143
801.462.7192
www.benchmarkcivil.com

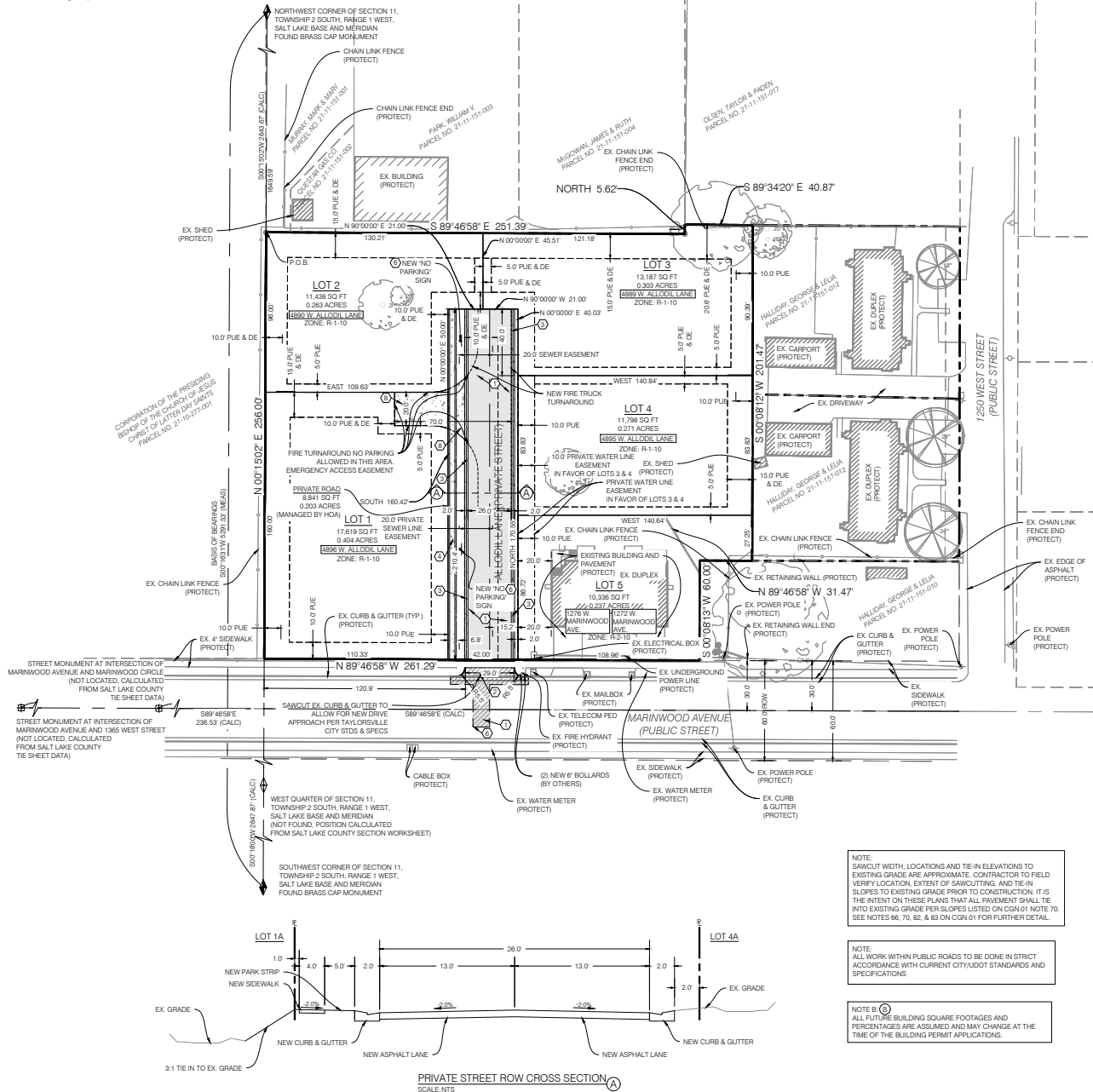


**HALLIDAY ESTATES SUBDIVISION
AMENDED & EXTENDED**
1274 & 1280 W MARINWOOD AVE.
TAYLORSVILLE, UTAH

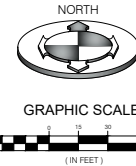
2401012
DEMO
PLAN
CDP.01
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Exhibit F



CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
(A)	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDD/0
(B)	RADIUS CURB RETURNING PER TAYLORVILLE CITY STDS	
(C)	CONCRETE CURB AND GUTTER PER APWA #205.3 TYPE 'H' 2" STANDARD	
(D)	SIDEWALK PER APWA #201	
(E)	CONCRETE CURB AND GUTTER PER APWA #205 TYPE 'A'	2/CDD/0
(F)	'NO PARKING' SIGN PER TAYLORVILLE CITY STDS	
(G)	SAW-CUT AND REPAIR PER APWA PLAN #255	
(H)	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDD/0
(I)	TRANSITION CURB & GUTTER	



PARTICULARS	S.F.	%
BUILDING	2,472	3.3
HARDSCAPE	8,750	12.0
LANDSCAPE	61,997	84.7
TOTAL	73,219	100.0

PARTICULARS	S.F.	%
BUILDING	2,500	21.8
HARDSCAPE	1,004	8.8
LANDSCAPE	7,934	69.4
TOTAL	11,438	100.0
ROAD DRAINAGE LANDSCAPE	1,089	
ROAD DRAINAGE HARDSCAPE	4,173	

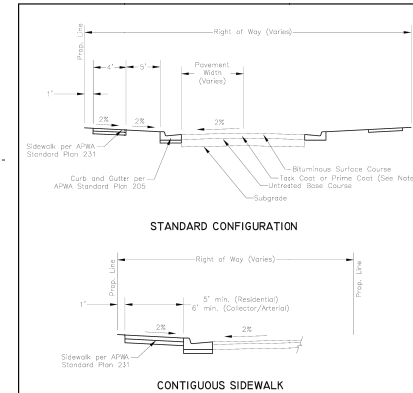
PARTICULARS	S.F.	%
BUILDING	2,500	18.75
HARDSCAPE	1,000	7.50
LANDSCAPE	10,288	74.75
TOTAL	13,788	100.00
ROAD DRAINAGE LANDSCAPE	421	
ROAD DRAINAGE HARDSCAPE	3,158	

PARTICULARS	S.F.	%
BUILDING	2,500	14.2
HARDSCAPE	1,614	9.2
LANDSCAPE	13,505	76.6
TOTAL	17,619	100.0

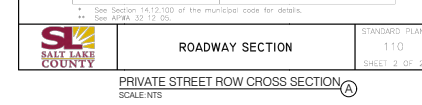
PARTICULARS	S.F.	%
BUILDING	2,500	21.2
HARDSCAPE	1,000	8.5
LANDSCAPE	8,298	70.3
TOTAL	11,798	100.0

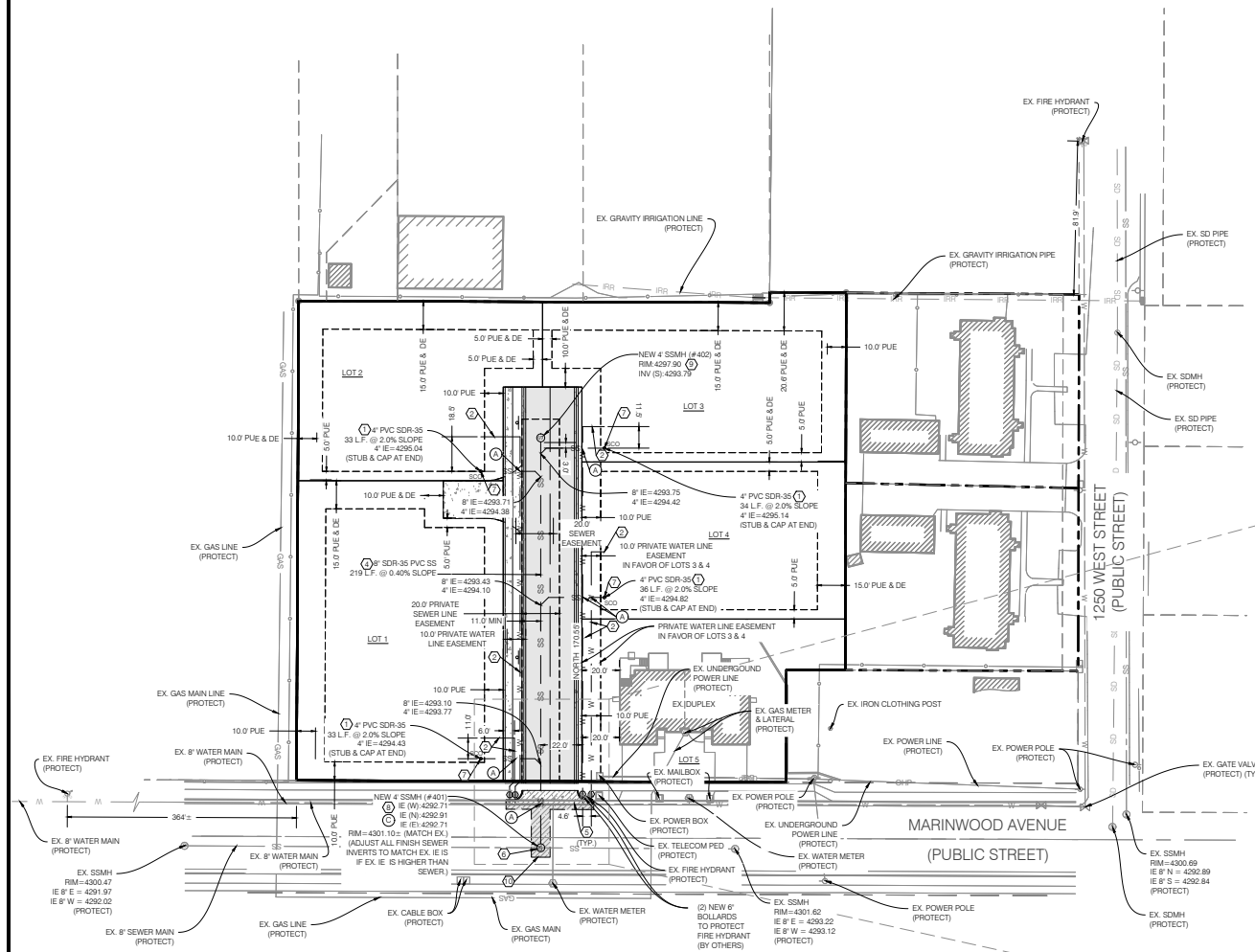
PARTICULARS	S.F.	%
HARDSCAPE	7,331	82.9
LANDSCAPE	1,510	17.1
TOTAL	8,841	100.0

PARTICULARS	S.F.	%
BUILDING	2,472	23.9
HARDSCAPE	1,282	12.4
LANDSCAPE	6,582	63.7
TOTAL	10,336	100.0

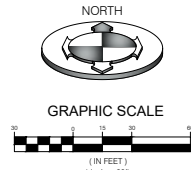


BITUMINOUS CONCRETE MIX DESIGNATOR BY ROADWAY CLASSIFICATION	
ROADWAY CLASSIFICATIONS*	BITUMINOUS CONCRETE MIX DESIGNATION
Local/Private - Collector (60')	PC58-28, DM-1/2, 50 Flow
Collector (80') - Arterial (106')	PC64-34, DM-1/2, 50 Flow
Canyon Roads Cat. 2-6	PC58-28, DM-1/2, 50 Flow
Canyon Roads Cat. 1	PC64-34, DM-1/2, 50 Flow

[illegible]



CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
1	4" PVC SDR-35 SEWER LATERAL PER TBD STD #TB-102	3/CDDT.02
2	3/4" POLY WATER SERVICE LINE PER TBD STD #TB-203	2/CDDT.01
3	3/4" WATER METER & VAULT PER TBD STD #TB-203	2/CDDT.01
4	8" PVC SDR-35 SEWER MAIN	
5	HOT TAP OR WATER LATERAL CONNECTION PER TBD STD & SPECS	
6	UTILITY TRENCH PER TBD STD #TB-201	3/CDDT.01
7	SEWER CLEANOUT PER TBD STD #TB-102 (EVERY 50 MIN)	3/CDDT.02
8	4" DIAMETER CAST IN PLACE SSMH PER TBD STD #TB-108	2/CDDT.02
9	4" SSMH PER TBD STD #TB-105	1/CDDT.02
10	SAWCUT PER APWA PLAN #255	



NOTE C. (C)
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

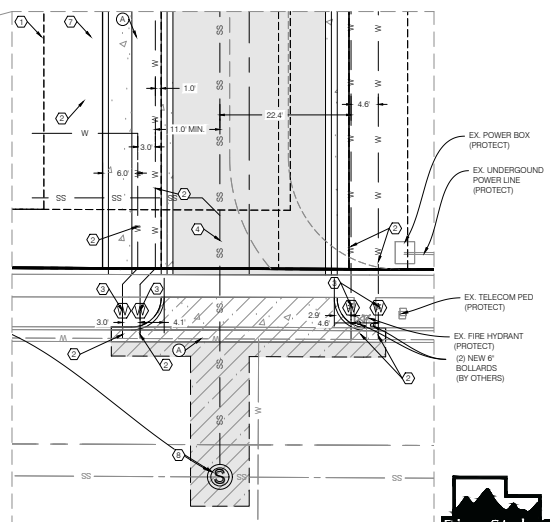
EXISTING UTILITIES NOTE:
EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE. HOWEVER IT IS THE OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN FIELD. POT HOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. NOTIFY ENGINEER IF DISCREPANCIES OR CONFLICTS EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.

NOTE A. (A)
18" OF VERTICAL SEPARATION REQUIRED BETWEEN SEWER AND WATER LINES. CONTACT ENGINEER FOR REDESIGN IF NECESSARY.

NOTE B. (B)
SHALLOW SEWER: DESIGN HOMES WITH HIGH ENOUGH ELEVATIONS TO GRAVITY FLOW AND/OR PROVIDE INTERIOR SEWER EJECTION PUMPS AS NEEDED. PROVIDE INSULATION OVER ANY SEWER PIPE WITHOUT FROST COVER.

NOTE:
A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM TAYLORSVILLE CITY PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY.

NOTE:
SEWER AND WATER IS TO BE INSTALLED TO TBD STANDARDS INCLUDING THE TAPPING AND INSTALLATION OF WATER SERVICES.



ENLARGED VIEW
SCALE: 1"=10'

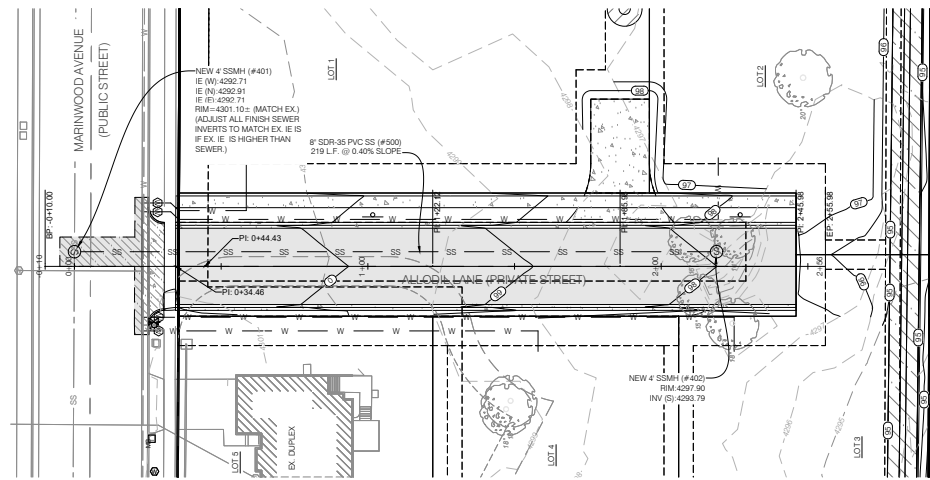


PROJECT NO. 2401012
SUBDIVISION NAME
OWNER
DATE
SCALE
SHEET NO. 1 OF 1
TOTAL SHEETS 1
PROJECT LOCATION
PROJECT DESCRIPTION
PROJECT ENGINEER
PROJECT CHECKER
PROJECT DATE
PROJECT STATUS
PROJECT COMMENTS

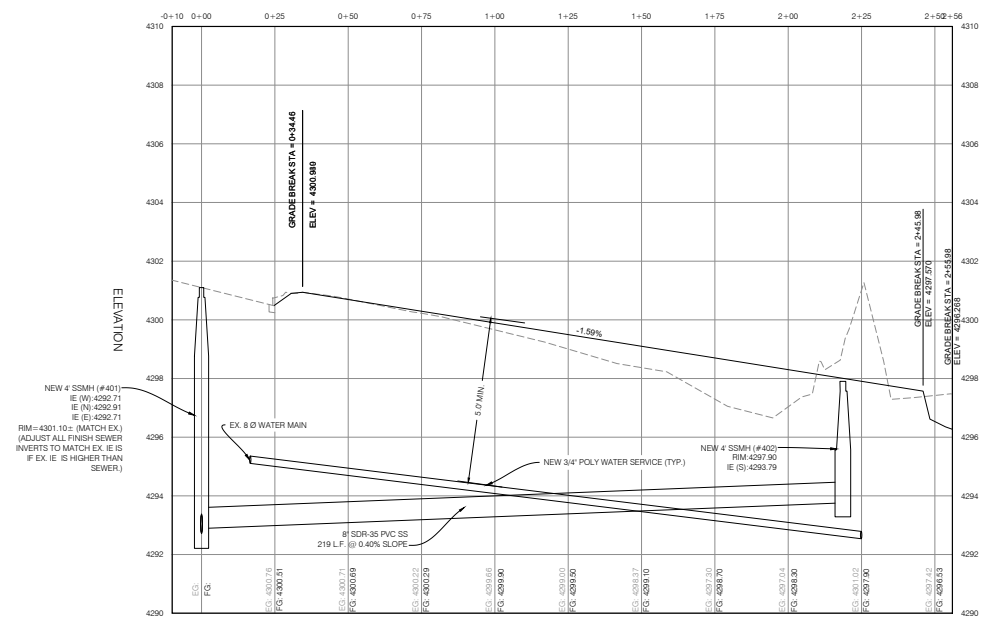
BENCHMARK ENGINEERING & LAND SURVEYING
ALLISON G. ALBERT
STATE OF UTAH
NOTARY PUBLIC
158883
10/22/2024
2401012 SITE

**HALLIDAY ESTATES SUBDIVISION
AMENDED & EXTENDED**
1274 & 1280 W MARINWOOD AVE,
TAYLORSVILLE, UTAH

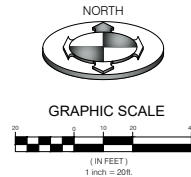
UTILITY PLAN
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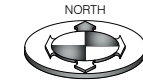
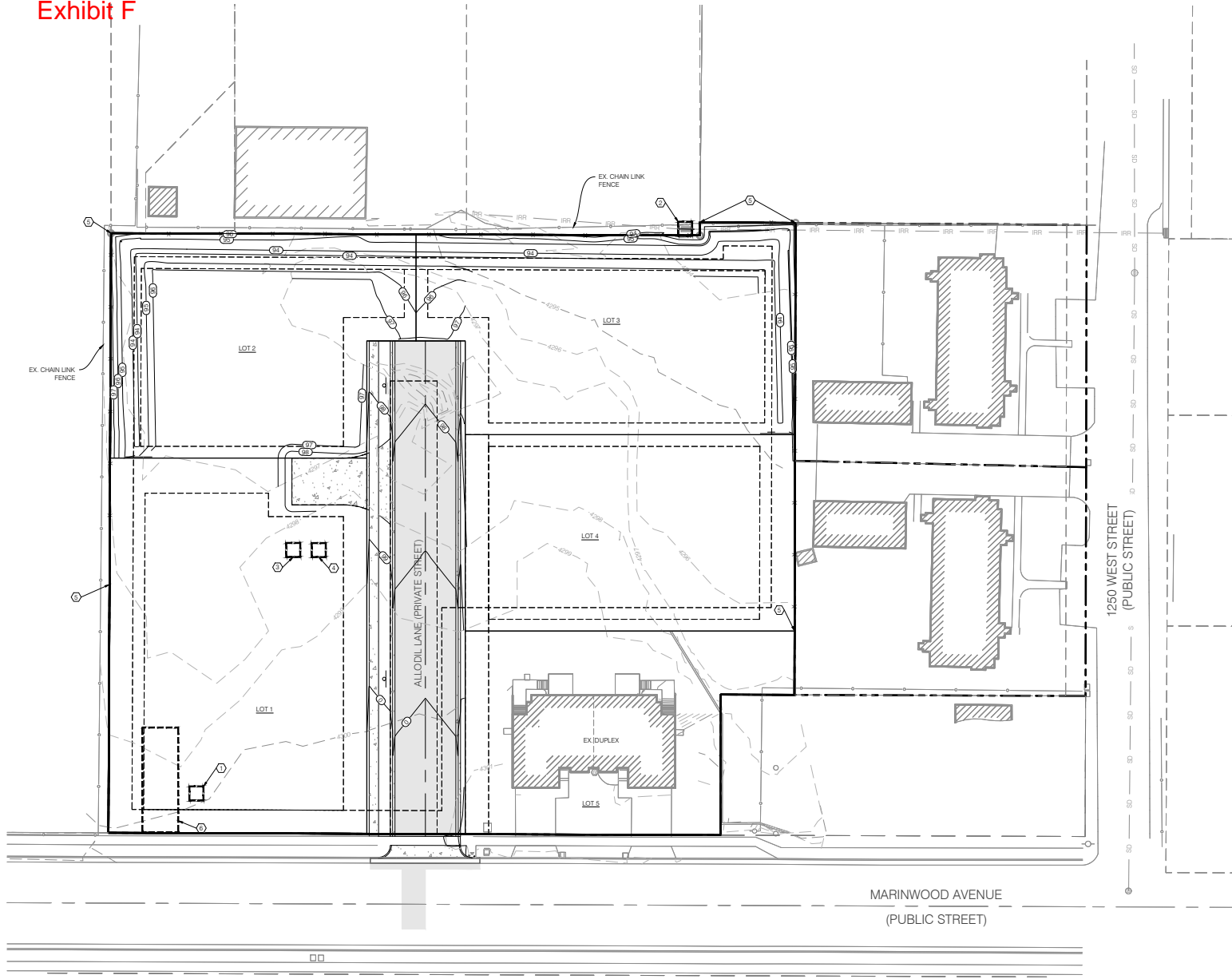
ALLODIL LANE PLAN VIEW



ALLODIL LANE PROFILE VIEW



PROJECT		2401012	
PLAN AND PROFILE		CPP.01 8 OF 12	
HALLIDAY ESTATES SUBDIVISION AMENDED & EXTENDED 1274 & 1280 W MARINWOOD AVE. TAYLORSVILLE, UTAH			
BENCHMARK ENGINEERING & LAND SURVEYING 1118 SOUTH STATE STREET SUITE 410 SANDY, UTAH 84070 (801) 547-7192 www.benchmarkutah.com			
REVISIONS			
NO.	DATE	REVISIONS	BY
1	01/11/2023	REVISIONS	AG
2	02/02/2023	REVISIONS	AG



GRAPHIC SCALE



(IN FEET)
1 inch = 20

SWPPP KEY NOTES REFERENCE

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

NO.	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1/CEP.02
②	INLET PROTECTION WALL	2/CEP.02
③	MATERIALS STORAGE	3/CEP.02
④	PORTABLE TOILETS	4/CEP.02
⑤	SILT FENCE	6/CEP.02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

NOTE:
CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE PLANS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.



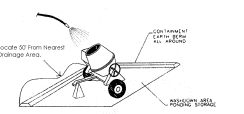
**BENCHMARK
ENGINEERING &
SURVEYING**
138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkinc.com

**HALLIDAY ESTATES SUBDIVISION
AMENDED & EXTENDED**
1274 & 1280 W MARINWOOD AVE,
TAYLORSVILLE, UTAH

PROJECT NO. 2401012
**EROSION
 CONTROL
 PLAN**
 CEP.01
 9 OF 12



BMP: Concrete Waste Management



DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washed off-site, performing on-site washout in a designated area and training employees and subcontractors.

APPLICATION:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in a designated area only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by directing the water within a bermed or leved area. (See Earth Berm Barrier Information Sheet.)
- Train employees and subcontractors in proper concrete waste management.

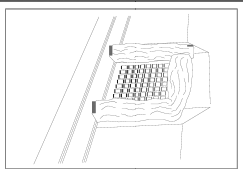
LIMITATIONS:

- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Instruct subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Inlet Protection – Wattle



DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:

- Provide up-gradient sediment controls, such as silt fence during construction of inlet.
- When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet.

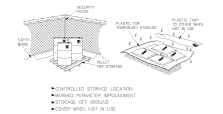
LIMITATIONS:

- Recommended maximum contributing drainage area of one acre
- Requires shallow slopes adjacent to inlet

MAINTENANCE:

- Inspect inlet protection following storm event and at a minimum of once every 14 days.
- Remove accumulated sediment when it reaches 4 inches in depth.
- Look for bypassing or undercutting and repair or resign as needed.

BMP: Materials Storage



DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and of chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

- Designate a restricted area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earth berms (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of materials that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not so directly on the ground and are covered when not in use. Protect storm drainage during use.

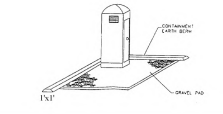
LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan (SPR) required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e., standing upright, in labeled containers, tightly capped) and that no materials are being stored away from the designated location.

BMP: Portable Toilets



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:


- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for subprotection leak.

LIMITATIONS:
No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Spill Clean-Up



DESCRIPTION:
Procedures to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites.

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean-up spills/leaks immediately and intermediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL.
- CONTAMINATED MATERIAL:
- Use rag or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local fire department and state Division of Environmental Response and Remediation (Phone #334-4100) for any spill of reportable quantity.

CONCRETE WASTE MANAGEMENT
SCALE: NTS

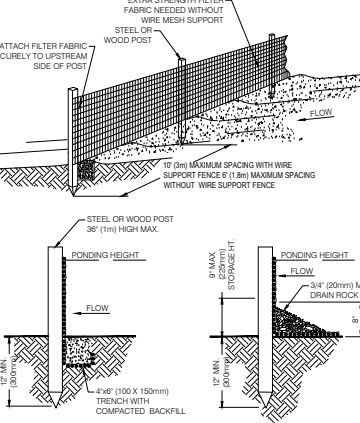
INLET PROTECTION WATTLE
SCALE: NTS

MATERIALS STORAGE
SCALE: NTS

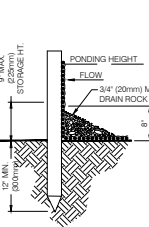
PORTABLE TOILETS
SCALE: NTS

SPILL CLEAN UP
SCALE: NTS

TRENCH DETAIL



INSTALLATION WITHOUT TRENCHING

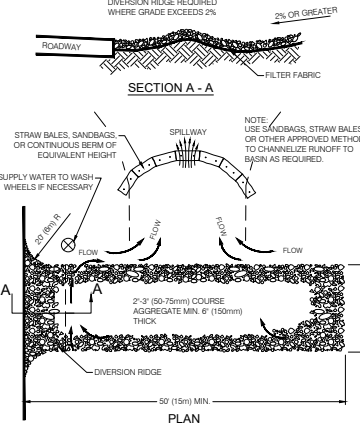


NOTES:

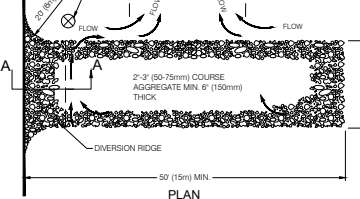
1. Silt fence shall be placed on slope contours to maximize ponding efficiency.
2. Inspect and repair fence after each storm event and remove sediment when necessary. 9' (225mm) maximum recommended storage height.
3. Removed sediment shall be deposited to an area that will not contribute sediment off-site and can be permanently stabilized.

SILT FENCE
SCALE: NTS

SECTION A - A



PLAN

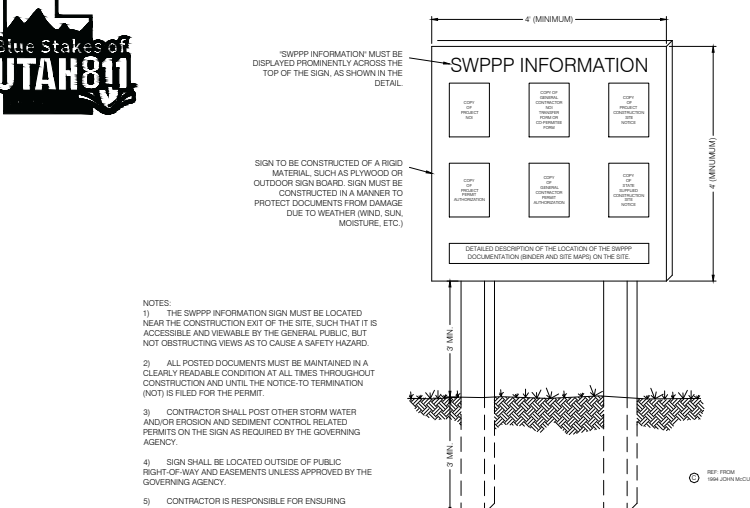


NOTES:

1. The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public right-of-ways. This may require top dressing, repair and/or clean out of any measures used to trap sediment.
2. When necessary, wheels shall be cleaned prior to entrance onto public right-of-way.
3. When washing is required, it shall be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
SCALE: NTS

Blue Stakes of UTAH811



NOTES:

- 1) The SWPPP information sign must be located near the construction exit of the site, such that it is accessible and viewable by the general public, but not obstructing views as to cause a safety hazard.
- 2) All posted documents must be maintained in a clearly readable condition at all times throughout construction and until the notice to termination (NOT) is filed for the permit.
- 3) Contractor shall post other storm water and/or erosion and sediment control related permits on the sign as required by the governing agency.
- 4) Sign shall be located outside of public right-of-way and easements unless approved by the governing agency.
- 5) Contractor is responsible for ensuring stability if the SWPPP information sign.

SWPPP INFORMATION SIGN
SCALE: NTS

BENCHMARK ENGINEERING & LAND SURVEYING

PROFESSIONAL ENGINEER
No. 1356833
ALLISON G. ALBERT
STATE OF UTAH
SITE OF PROJECT

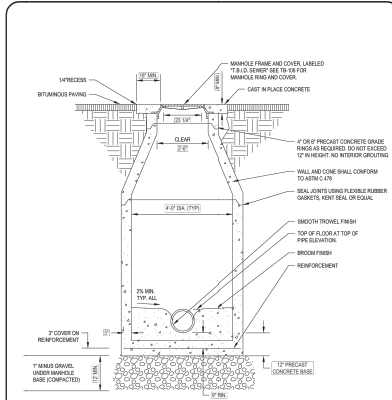
HALLIDAY ESTATES SUBDIVISION AMENDED & EXTENDED
1274 & 1280 W MARINWOOD AVE.
TAYLORSVILLE, UTAH

EROSION CONTROL DETAILS
CEP.02
100F 12

Exhibit F

TYPICAL MANHOLE SECTION NOTES:

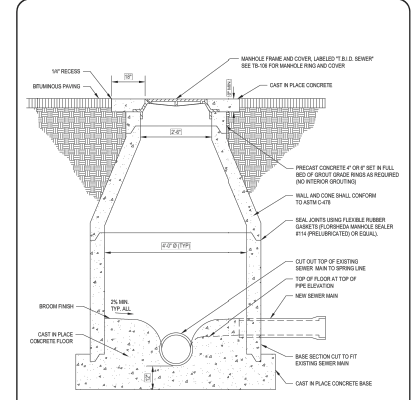
2. CONCRETE OR ECCENTRIC MANHOLE CONES ARE ACCEPTABLE.
3. NO STEPS IN CONE OR ON MANHOLE WALL. IN CONCRETE MANHOLE, STEPS SHALL BE ALIGNED OVER THE FLOOR OF ECCENTRIC MANHOLES
3. MANHOLES SHALL BE OF WELTHRIGHT CONSTRUCTION, UTILIZING EITHER BITUMASTIC SEALANT OR RUBBER GASKET BETWEEN ADJACENT MANHOLE SECTIONS.
4. MANHOLE SHALL BE 5'-0" IF SEWER MAIN IS GREATER THAN 17" Ø, OR IF THREE OR MORE SEWER MAIN PIPES CONDUIT TO MANHOLE, OR IF OTHERWISE SPECIFIED ON DRAWINGS.
10. ALL MANHOLES WILL BE VACUUM TESTED. SEE SECTION 301 31 90 OF TBD STANDARD SPECIFICATIONS FOR MANHOLE TESTING REQUIREMENTS
11. LEVEL & ADJUST LID & FRAME TO FINISH GRADE (1/4" MAX BELOW SURFACE).
12. CONCRETE COLLARS REQUIRED IN PAVED AREAS.
13. MANHOLE REQUIRED ON ALL SEWER MAIN STUB ENDS.
14. THERE IS TO BE A 0.2 DROP DURING EVERY MANHOLE.
15. INSTALL SUITABLE BARRIERS OR COVERS DURING CONSTRUCTION TO PREVENT DEBRIS FROM ENTERING SEWER MAIN PIPING VIA MANHOLES.
16. CONTRACTOR TO 95% MAX DENSITY (UNDER PAVEMENTS AND IMPROVED AREAS). COMPACT TO 90% MAX DENSITY IN UNIMPROVED AREAS.
17. SEE TB-104 FOR ADDITIONAL INFORMATION.



	<p>TYPICAL MANHOLE SECTION NOT TO SCALE</p>	<p>TB-105 PAGE 2 OF 2</p>
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NEW CAST IN PLACE MANHOLE ON EXISTING SEWER

1. CONCENTRIC OR ECCENTRIC HORN CONES ARE ACCEPTABLE.
2. NO STEPS IN CONE OR MANHOLE WALL OF CONCENTRIC MANHOLES. STEPS SHALL BE ALIGNED OVER THE SHELL IN ECCENTRIC MANHOLES.
3. MANHOLES SHALL BE OF WATERTIGHT CONSTRUCTION, UTILIZING EITHER BITUMASTIC SEALANT OR RUBBER GASKET BETWEEN ADJACENT MANHOLE SECTIONS.
4. MANHOLE SHALL BE 5'-0" IF SEWER MAIN IS GREATER THAN 1'-0" OR IF THREE OR MORE SEWER MAINS CONNECT TO MANHOLE, OR IF OTHERWISE SPECIFIED ON DRAWINGS.
5. CAST-IN-PLACE MANHOLE SHALL BE CAST WITH AT LEAST 60% OF THE FULL PIPE DIAMETER BELOW THE SURFACE SHELL.
6. PROVIDE TEMPORARY SUPPORT FOR EXISTING SEWER DURING CONSTRUCTION.
7. INSTALL SUITABLE BARRIERS OR COVERS DURING CONSTRUCTION TO PREVENT DEBRIS FROM ENTERING SEWER MAINS DURING MANHOLE WORK.
8. LEVEL & ADJUST LID & FRAME TO FINISH GRADE (1/4" MAX BELOW SURFACE).
9. CONCRETE COLLARS REQUIRED IN PAVED AREAS.
10. THE BASE RISE SECTION OF A POURED IN PLACE MANHOLE SHALL BE A MINIMUM OF 2 FEET HIGH.
11. MAINTAIN PIPE SLOPE THROUGHOUT OF THE MANHOLE.
12. COMPACT TO 90% MAX DENSITY UNDER PAVEMENTS AND IMPROVED AREAS. COMPACT TO 90% MAX DENSITY IN UNIMPROVED AREAS.
13. SEE T-101 FOR ADDITIONAL INFORMATION.



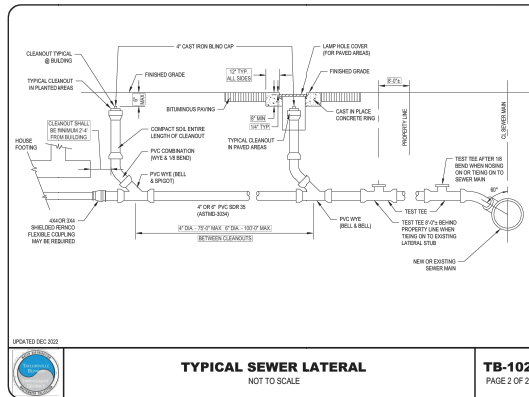
	<p>SECTION - NEW CAST IN PLACE MANHOLE ON EXISTING SEWER</p> <p>NOT TO SCALE</p>	<p>TB-108</p> <p>PAGE 2 OF 2</p>
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STANDARD 4' SEWER MANHOLE (1)
SCALE: NTS

4' CAST IN PLACE SEWER MANHOLE (2)
SCALE: NTS

TYPICAL SEWER LATERAL NOTES:

1. INSTALL PER TYPICAL SEWER TRENCH TB-101.
2. ALL FITTINGS AND PIPE SHALL BE PVC SDR 35.
3. MINIMUM 2' REQUIRED BETWEEN ALL BENDS ON SEWER LATERAL. 90 DEGREE BENDS ARE NOT PERMITTED.
4. PIPE LAYING OPERATIONS SHALL PROCEED IN AN UPHILL DIRECTION WITH ALL BELLS FACING UPHILL.
5. PROVIDE APPROVED "SHIELDED FERRISCO" FITTINGS FOR CONNECTIONS TO EXISTING SERVICES WHERE REQUIRED.
6. COMPACT TO 90% MAX DENSITY UNDER PAVEMENTS AND IMPROVED AREAS. COMPACT TO 90% MAX DENSITY IN UNIMPROVED AREAS.
7. MINIMUM GRADE FOR 4" SEWER LATERAL IS 2%.
8. MINIMUM GRADE FOR 6" SEWER LATERAL IS 1%.
9. DISTRICT TO INSPECT ALL LATERALS.
10. ALL SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED.
11. SEE TB-103 FOR NOTE-ON DETAIL TO EXISTING SEWER.



	<p>TYPICAL SEWER LATERAL</p> <p>NOT TO SCALE</p>	<p>TB-102</p> <p>PAGE 2 OF 2</p>
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TYPICAL SEWER LATERAL

NOTES

TB-102
PAGE 1 OF 2

TYPICAL SEWER LATERAL
NOT TO SCALE

TB-102
PAGE 2 OF 2

SEWER LATERAL AND CLEANOUT (3)
SCALE: NTS

HALLIDAY ESTATES SUBDIVISION AMENDED & EXTENDED

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TAYLORSVILLE, UTAH**

**BENCHMARK
ENGINEERING &
LAND SURVEYING**

CIVIL

SANDY, UTAH 84062 (801) 542-7192
www.benchmarkinc.com

PROJECT NO. **2401012**

**DETAIL
SHEET**

**CDT.02
12 OF 12**

NO.	DESCRIPTION	DATE
1	INITIALS	05/28/2024
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

DESIGNED BY: **AGA**

PROJECT NO: **2401012**

DATE: **10/22/2024**

DRAWN BY: **2401012 SHE**

SCALE: HORIZONTAL 1"=40' VERTICAL 1"=20'

SCALE: AS SHOWN FOR EACH SET OF SHEETS

From: [Terryne Bergeson](#)
To: [GEORGE V JR HALLIDAY](#)
Cc: [Isaac Halliday](#); ["Samhalliday52@gmail.com"](#); ["sterlingtholen@yahoo.com"](#)
Bcc: [Wayne Harper](#); [Matthew Tilly](#); [Jim Spung](#); [Mark McGrath](#); [Ben White](#); [Tammy North](#); [Tom Smolka](#); [Tom Smolka](#); [JT \(J. Taylor\)](#); [Tracy Cowdell](#); [Stephanie Shelman](#); [Brittany Kempff](#)
Subject: File Review #3S25 - SUB-000519-2025 -Halliday Estates Amended and Extended
Date: Friday, April 11, 2025 2:06:00 PM
Attachments: [image001.png](#)
[2025-4-3 Redlines - Civil Plans.pdf](#)
[2025-4-3 Redlines - Draft Plat.pdf](#)

George and team,

This transmittal contains consolidated comments from reviewing agencies. Please address the individual reviewer directly with questions relating to their review.

Taylorsville Engineering Department: Reviewer: Ben White, City Engineer,
bwhite@taylorsvilleut.gov, 801-293-8344

1. Review the attachments for redlines and address in revised draft plat and civil plans.

Taylorsville Building Department: Reviewer: Steve Porten, Building Official,
sporten@taylorsvilleut.gov, 385-379-5495

2. Comments will be provided through building permit.

Taylorsville-Bennion Improvement District: Reviewer: Tammy North, District Engineer,
tnorth@tbid.org, 801-968-9081

3. General notes need to be updated for this project. Sewer and Water is to be installed to TBID standards including the tapping and installation of water services.
4. If the road is not a public road, 20' easements in favor of TBID for the sewer will need to be granted. Reciprocal easements are needed for the water service lines if the road is not public.
5. Plans call for 1" water service lines. The standard size for residential homes is ¾". There is a significant difference in impact fee costs between the two sizes. You might want to consider resizing of the service.
6. Keyed notes 10 and 13 reference copper service lines- TBID standard is for poly services.

Unified Fire Authority: Reviewer: Tom Smolka, Fire Marshal, tsmolka@unifiedfire.org, 801-743-7236

7. No parking on fire access roads less than 26 feet wide (26-32 feet wide parking allowed on 1 side only).
8. Show signs installed, note on plat that no parking is allowed anytime in hammerhead.

Taylorsville Community and Development: Reviewer: Terryne Bergeson, Planner,
tbergeson@taylorsvilleut.gov, 385-308-0534

GENERAL

9. The proposed street configuration does not meet code and is requesting multiple exemptions from the planning commission. As previously discussed, the construction of a public street

stubbed to the north would set the stage for an orderly street system as the area redevelops in the future and is required by city code. [§13.21.110 Private Streets/ Lanes](#) states that *“Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission. A private street/lane system may be approved where it can be shown, based upon property width, connectivity (or the inability to connect to the existing street patterns), topographical concerns, overall subdivision design, the ability to provide service (which includes, but is not limited to, snowplowing, street sweeping, trash collection, and overall street maintenance), that a full width public street may not be the best solution for a new subdivision.”* **Please consider the information below and update your plans and submittals according to how you would like to proceed.**

- a. 50-foot-wide public right-of-way: This layout would meet requirements of the code and would not require any additional information or exemptions for approval. Plans addressing agency comments that show a 50' wide public right-of-way would be presented with a favorable recommendation to planning commission for preliminary review and approval.
 - i. Update the plans to show the residential lots will be accessed by a public road with a temporary turnaround.
 - ii. Provide 50' wide right-of-way stubbed to the northern border of the property with temporary turnaround. Sidewalks can end where turnaround begins. Temporary turnaround can be an easement.
 - iii. Address comments in attachments and #10-20 according to changes.
 - iv. Construction of the road or bond for the improvements would be required prior to recording of the plat.

- b. 42-foot-wide public right-of-way: This does not meet the full width standard. This scenario would be providing a public right-of-way but asking the planning commission to consider an exemption to the width. The planning commission has the authority to approve deviations from standard roadway widths, but since it does not fully meet the code, applicant is responsible to provide information that demonstrates the reason for the exemption request. The commission would review the application and accompanying information and decide at their discretion.
 - i. Update the plans to show the residential lots will be accessed by a public road with a temporary turnaround.
 - ii. Make the 42' wide right-of-way public and extend to the northern border of the property with temporary turnaround as easement. Sidewalk can end where turnaround begins.
 - iii. Address comments in attachments and #10-20 according to changes.
 - iv. Provide information that supports the reason for the departure from 50' right-of-way width (narrative, site plans, any other applicable information).

- v. Construction of the road or bond for the improvements will be required prior to recording of the plat.

 - c. 50-foot-wide private right-of-way: This does not meet the public right-of-way standard. [§13.21.110 Private Streets/ Lanes](#) requires *Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission.* [§13.21.110\(A\)\(2\)](#) states private streets shall have a 50’ wide right-of-way with 26’ of pavement. The planning commission has the authority to approve deviations. Proposing this layout would require the planning commission to approve an exemption to the public street requirement. The applicant would need to provide information that demonstrates why providing a full width private street is a better scenario for this subdivision amendment. This would be reviewed and decided at the discretion of the planning commission.
 - i. Update the plans to show the 50’ wide private right-of-way that meets standards above.
 - ii. Address comments in attachments and #10-21 according to changes.
 - iii. Provide information that supports the reason for the departure from public street requirement (narrative, site plans, any other applicable information).
 - iv. Construction of the road or bond for the improvements would be required prior to recording of the plat.

 - d. 42-foot-wide private right-of-way: This does not meet public right-of-way requirement or private street standards. [§13.21.110 Private Streets/ Lanes](#) states that “*Full width public street systems shall be installed for access to all residential dwelling sites, unless exempted by the planning commission.*” [§13.21.110\(A\)\(2\)](#) states private streets shall have a 50’ wide right-of-way with 26’ of pavement. Requesting two exemptions to subdivision standards will require that the applicant demonstrate why the property cannot meet the requirements of the code and that the narrow private street is a better scenario for this subdivision amendment. This would be reviewed and decided at the discretion of the planning commission.
 - i. Address comments #10-21.
 - ii. Provide information that supports the reason for the departure standards above (narrative, site plans, any other applicable information).
 - iii. Construction of the road or bond for the improvements will be required prior to recording of the plat.
-
- 10. Adjust lot areas, easements, and any other applicable details affected by street changes.
 - 11. Submit a title report dated within the last 90 days for the parcel # 21111510130000.
 - 12. Show the area of the existing lots (parcel 21111510190000 and 21111510130000).
 - 13. Contact Matthew Tilly, GIS Planner to determine addressing for new lots. Identify name of the new road on the plat and update addresses on all plans; properties will be addressed off the

street they are facing.

CIVIL

14. Show setbacks for all sides of duplex from new property lines.
15. Adjust the "Area Tables" calculations to reflect correct lot sizes.

DRAFT PLAT

16. Specify water easements with "In favor of Lot XX" language.
17. Remove zoning from lots.
18. Remove setbacks for Lot 5A from plat.
19. Fire turnaround can be accomplished by providing a 20' wide emergency access on lots. This could be done as an easement with no parking notes. If the turnaround is part of the street, it will need to be developed to the same standards as the street (ie width, curb, gutter).
20. Remove the "A" designation from the lots.
21. If pursuing the private street configuration, add a note to the plat that releases city from responsibility for maintaining street.

Please review the comments and upload the revised plans to the portal. When they are uploaded please send an email so that I know they are ready for review. Thank you!

Best,

Terryne Bergeson

Planner I



2600 W. Taylorsville Blvd.

Taylorsville, Utah 84129

Office: (385) 308-0534

E-mail: tbergeson@taylorsvilleut.gov

Website: www.taylorsvilleut.gov