

**Notice of the Work Meeting Agenda of the  
PLANNING COMMISSION OF LAYTON, UTAH  
FOR  
Tuesday, July 8, 2025**

**PUBLIC NOTICE** is hereby given that the work meeting of the Planning Commission of Layton, Utah, will be held on **Tuesday, July 8, 2025**, in the City Council Conference Room, 437 North Wasatch Drive, Layton, Utah, at **6:15 PM** for review of the agenda items listed below.

**ADMINISTRATIVE REVIEW**

1. Wall Homes LLC – CONDITIONAL USE (6 min.)
2. Angels Townhomes Subdivision – PRELIMINARY PLAT (10 min.)
3. Eastridge Park PRUD Phases 5D and 5E – FINAL PLAT (10 min.)

**PUBLIC HEARING**

4. Front Door Standards – TEXT AMENDMENT (10 min.)

**ADJOURNMENT**

\*Disclaimer: Times noted are an approximate duration for each item. Each item will be discussed by the Planning Commission without public input and may take more or less time than allotted.

This public notice is posted on the Utah Public Notice website [www.utah.gov/pmn/](http://www.utah.gov/pmn/), the Layton City website [www.laytoncity.org](http://www.laytoncity.org) and at the Layton City Center. Audio recordings and pending minutes for this advisory body can be requested in the Planning and Zoning Division of the Community Development Department, 437 N Wasatch Drive, or by calling 801-336-3780.

In compliance with the Americans with Disabilities Act, persons in need of special accommodations or services to participate in this meeting shall notify the City at least 48 hours in advance at 801-336-3826 or 801-336-3820.

**Notice of the Regular Meeting Agenda of the  
PLANNING COMMISSION OF LAYTON, UTAH  
FOR  
Tuesday, July 8, 2025**

**PUBLIC NOTICE** is hereby given that the regular meeting of the Planning Commission of Layton, Utah, will be held on **Tuesday, July 8, 2025** in the City Council Chambers, 437 North Wasatch Drive, Layton, Utah, at **7:00 PM**.

**PLEDGE OF ALLEGIANCE AND INVOCATION**

**APPROVAL OF MINUTES:** PLANNING COMMISSION WORK AND REGULAR MEETINGS – JUNE 24, 2025.

**ADMINISTRATIVE REVIEW**

**1. Wall Homes LLC – CONDITIONAL USE**

The applicant, Michael Wall, is requesting a conditional use permit for a high-impact home occupation for contractor services. The property is located at 2501 West 1275 North.

**2. Angels Townhomes Subdivision – PRELIMINARY PLAT**

The applicant, Cody Rhees, is requesting preliminary plat approval for a nine-townhome subdivision in the R-M1 (Low/Medium Density Residential) zone. The property is located at 1615 North Angel Street.

**3. Eastridge Park PRUD Phases 5D and 5E – FINAL PLAT**

The applicant, Adams Property LLC, is requesting final plat approval for the last two phases of the Eastridge Park PRUD for single-family lot development. The property is located at approximately 1900 North Emerald Drive.

**PUBLIC HEARING**

**4. Front Door Standards – TEXT AMENDMENT**

Layton City is proposing to establish a definition and design standards for front doors for single- and two-family dwellings.

**ADJOURNMENT**

This public notice is posted on the Utah Public Notice website [www.utah.gov/pmn/](http://www.utah.gov/pmn/), the Layton City website [www.laytoncity.org](http://www.laytoncity.org) and at the Layton City Center. Audio recordings and pending minutes for this advisory body can be requested in the Planning and Zoning Division of the Community Development Department, 437 N Wasatch Drive, or by calling 801-336-3780.

In compliance with the Americans with Disabilities Act, persons in need of special accommodations or services to participate in this meeting shall notify the City at least 48 hours in advance at 801-336-3826 or 801-336-3820.

**DRAFT**

**LAYTON CITY PLANNING COMMISSION WORK MEETING MINUTES  
JUNE 24, 2025**

**MEMBERS PRESENT:** Chair Trevor Steenblik, Commissioners Scott Carter, Chase Freebairn, Zach Heslop, Peter McDonough, Bret Nielsen, and Julie Pierce

**MEMBERS ABSENT:** Vice Chair Justin Whitworth, Commissioner Wesley Felice

**OTHERS PRESENT:** Staff: City Planner Brad McIlrath, Planner Kem Weaver, Planner Zachary Kadin, Secretary Michelle Williams, and Assistant City Attorney Jadyn Applonie

Chair Steenblik called the work meeting to order at 6:30 p.m.

**ADMINISTRATIVE REVIEW**

**1. Layton RV and Boat Storage – CONDITIONAL USE AMENDMENT**

Planner Kadin presented the conditional use amendment for Layton RV and Boat Storage for auto and trailer storage at 857 North Marshall Way. The property is zoned M-2 (Heavy Manufacturing/Industrial) with existing industrial uses. This property is located between Marshall Way and the Denver and Rio Grande Western Rail Trail (Rail Trail). Across the Rail Trail to the west is an elementary school and a vacant City-owned parcel.

This is an amendment for an existing conditional use which was approved in 2000 for indoor auto and trailer storage. It was approved with the condition that if any outdoor storage were to be used, an amendment would need to be approved.

In 2015, the property received site plan approval for the conversion of an existing contractor storage use on the same property. At that time, the conversion should have undergone a conditional use expansion, but it did not. Therefore, this action tonight is intended to expand the outdoor storage use under the original 2000 conditional use and bring the 2015 site plan conversion into compliance with the City Code. In addition to the previous approves, the request is to provide additional outdoor storage along the west property line and to the south of the central storage building.

Outdoor storage does require screening. Currently, there is a chain link fence that will require double slatting to ensure proper screening.

Staff recommends approval of the conditional use amendment.

Chair Steenblik asked for the height requirement for the screening fence. Planner Kadin responded it is 6'.

Commissioner Pierce commented that the turn radius is narrow and noted the challenge of maneuvering long vehicles onto the property. Planner Kadin responded that the use has been operating since 2000 with an expansion in 2015. There is plenty of asphalt which gives space for repositioning.

Commissioner Heslop asked if the chain link fence would need to have slats. Planner Kadin affirmed.

Commissioner Carter asked if there would be parallel parking along the west property line. Planner Kadin affirmed and noted that the number of spaces was not determined as it depended on the length of the vehicles stored there. Commissioner Carter asked for the elevation of the Rail Trail in comparison to the property. Planner Kadin answered that it is higher; however, there is vegetation between the two uses.

## **2. Seboya Farms PRUD Subdivision – PRELIMINARY PLAT**

Planner Weaver presented the preliminary plat for Seboya Farms PRUD. The council approved the rezone on February 20, 2025, from A (Agriculture) and R-S (Residential Suburban) to R-1-8 PRUD (Single Family Residential, Planned Residential Community Development). The property is located at about 1275 West Gentile Street. There is M-2 (Heavy Manufacturing/Industrial) zoning to the east and northeast. The Denver and Rio Grande Western Rail Trail (Rail Trail) runs along the east property line.

The Rail Trail is a nice amenity to be used by the residents and neighboring areas. The property has 15.96 acres with 87 proposed units. This plan is the same as the previously proposed concept plan. There will be 61 single-family homes and 26 townhomes. There are some transitional uses with the townhomes along the east boundary and single-family to the west.

The project will likely be split into 2 phases. There will be open space provided in each phase to ensure that each phase can stand on its own. Phasing will be addressed during the final plat review.

Some of the amenities for the development include a large open space in the middle with horseshoe pits, a walking trail, and a pavilion for gathering. Two pickleball courts and a playground area are provided to the east with trails meandering through the development with access to Rail Trail.

All streets are public streets with private alleys between the townhomes that will be managed by the Homeowners Association (HOA). There are benches along the interior trail. Street trees are located along public streets giving street enhancement. There will be landscaping around townhome foundations and in between driveways. A buffer is required between the townhomes and the Tennis Academy of Utah per the Development Agreement.

The density for the project is 5.46 units per acre. The developer sought a 35% density bonus to achieve the 5.46 units per acre. The Development Review Committee (DRC) granted a density bonus of up to 40%, which is the maximum allowed by Code. The bonus was achieved through the building architecture, open



space availability, recreational amenities, two-car garages for single-family and townhomes, and for the use of masonry materials on the front elevations. Façade designs and materials were shared.

Chair Steenblik asked if the single-family homes would be one level. Planner Weaver affirmed. It was mentioned in both Planning Commission and City Council meetings that these would be marketed to the 55 and over demographic. Chair Steenblik asked if that requirement could be maintained by law. City Planner McIlrath noted that the age restriction can be noted in a Development Agreement but the City cannot get involved in the selling of the property. There is no City Code that enforces it. The HOA will govern the age requirement.

Commissioner Heslop shared that there is a percentage of ownership to be qualified as an Active Living Community. Eighty-five percent can be sold to 55+ and 15% could be sold to younger individuals/families.

Chair Steenblik clarified that it has nothing to do with the City Code. City Planner McIlrath affirmed and stated that the age restriction may be in the Development Agreement but the HOA will govern the limitation.

Commissioner Pierce asked what would happen when an age-appropriate couple leaves their home to a descendent that isn't 55+ and they want to move in. City Planner McIlrath restated that the HOA is the enforcement body but they could revise their covenants to remove the limitation.

Commissioner McDonough asked if there was enough parking for townhome visitors. Planner Weaver affirmed and stated that the townhome driveways will hold two cars and are intended for visitor parking along with the designated parking areas shown.

Commissioner Freebairn questioned the access to the pickleball courts for some of the townhome residents who would need to use a sidewalk that is on the Tennis Academy property. City Planner McIlrath noted that there could be gated access. Commissioner Freebairn questioned what would happen if Lot 2 of the Tennis Academy of Utah was purchased and a fence went up to restrict the residents. Planner Weaver stated there will be a fence separating the two developments. The residents would have to use the sidewalks that are not on the Tennis Academy property.

Commissioner Pierce asked if there was a walkway on the east side of the units, it would be in their backyard. Planner Weaver stated the walkway would be in the common area.

Commissioners discussed the sidewalk access to the pickleball courts for the townhome residents. Commissioner McDonough asked if it is something the Commission could require. Planner Weaver stated it is something Staff could present and work with the Developer to address. Assistant City Attorney Applonie stated the idea can be a suggestion but it cannot be a requirement for approval. This is an administrative review item.

**ADJOURNMENT:**

At 6:56 p.m., Chair Steenblik adjourned the work session to proceed to the regular meeting.



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Michelle Williams  
Planning Commission Secretary

DRAFT

**DRAFT**

**LAYTON CITY PLANNING COMMISSION REGULAR MEETING MINUTES  
JUNE 24, 2025**

**MEMBERS PRESENT:**

Chair Trevor Steenblik, Commissioners Scott Carter, Chase Freebairn, Zach Heslop, Peter McDonough, Bret Nielsen, and Julie Pierce

**MEMBERS ABSENT:**

Vice Chair Justin Whitworth, Commissioner Wesley Felice

**OTHERS PRESENT:**

Staff: City Planner Brad McIlrath, Planner Kem Weaver, Planner Zachary Kadin, Secretary Michelle Williams, and Assistant City Attorney Jadyne Applonie

**PLEDGE OF ALLEGIANCE AND INVOCATION (7:00 PM)**

Chair Steenblik conducted the pledge of allegiance and offered the invocation.

**APPROVAL OF MEETING MINUTES: PLANNING COMMISSION WORK AND REGULAR MEETING – June 10, 2025.**

Chair Steenblik called for a motion to approve the minutes. Commissioner Carter moved to accept the Planning Commission Work and Regular Meeting Minutes for June 10, 2025. Commissioner Pierce seconded the motion; following a roll-call vote, the meeting minutes were accepted and approved unanimously.

**ADMINISTRATIVE REVIEW**

**1. Layton RV and Boat Storage – CONDITIONAL USE AMENDMENT**

The applicant, Kelly Cheney, is requesting a conditional use amendment to expand an existing Auto and Travel Trailer Storage facility. The property is located at 857 North Marshall Way.

Planner Kadin presented the item.

**Background:** The applicant, Kelly Cheney, who is the owner of Layton RV and Boat Storage, is requesting a conditional use amendment to expand an existing auto and travel trailer storage facility. Auto and travel trailer storage is an allowed use in the M-2 zoning district but requires conditional use approval. To the north, south, and east are existing manufacturing and industrial uses. To the west is a vacant property owned by Layton City, and Ellison Park Elementary School, which are separated from the subject property by the Denver and Rio Grande Western Rail Trail (D&RGW Rail Trail). The subject property includes three buildings, one adjacent to Marshall Way, and two adjacent to the D&RGW Rail Trail. The proposed expansion is for outdoor trailer storage to the west and south of the property.

**Alternatives to the Motion:** Alternatives are to: 1) Grant conditional use amendment approval of the auto and travel trailer storage subject to the applicant meeting all conditions listed in the Staff Report; or 2) Grant conditional use amendment approval for the auto and travel trailer storage with additional conditions if the Planning Commission identifies additional reasonably anticipated detrimental effects of the proposed use that need to be mitigated.

**Recommendation:** Staff recommends that the Planning Commission grant conditional use amendment approval of the auto and travel trailer storage, subject to the applicant meeting all conditions listed in the Staff Report.

**Planning Commission Discussion:**

Chair Steenblik asked for clarification on the site plan approval in 2015. Planner Kadin stated site plan review was typically done prior to a building permit to ensure the site can accommodate the use and proposed building. Generally, if a conditional use is required it would go through at the same time. Chair Steenblik stated that the conditional use expansion was missed then in 2015. Planner Kadin responded that it is hard to know why it wasn't addressed previously. Chair Steenblik asked if it was a separate property. Planner Kadin stated that it was one property.

**Public Comment:**

NONE

**MOTION:**

Commissioner Pierce motioned the Planning Commission to grant conditional use amendment approval of the auto and travel trailer storage, subject to the applicant meeting all conditions listed in the Staff Report. Commissioner Heslop seconded the motion, which was approved unanimously following a roll-call vote.

**2. Seboya Farms PRUD Subdivision – PRELIMINARY PLAT**

The applicant, Brad Frost representing Capital Reef Management, is requesting preliminary plat approval for the Seboya Farms PRUD Subdivision, which includes 61 single-family residential lots and 26 townhome units. The property is located at approximately 1275 West Gentile Street.

Planner Weaver presented the item.

**Background:** The applicant, Brad Frost representing Capital Reef Management, is requesting preliminary plat approval for the Seboya Farms PRUD (Planned Residential Unit Development) on a vacant property located approximately 1275 West Gentile Street. The subject property is adjacent to a Residential Suburban (R-S) zoned subdivision to the west and R-S zoned parcels to the south across Gentile Street. Heavy Manufacturing/Industrial (M-2) parcels are to the north and east, and the Denver and Rio Grande (D&RG) Rail Trail separates the majority of the proposed PRUD subdivision and the M-2 zone.

On February 20, 2025, the City Council approved the rezone of the property from A (Agriculture) and R-S to R-1-8 PRUD with an associated Development Agreement. The proposed PRUD preliminary plat includes

61 single-family residential lots and 26 townhome units. The PRUD ordinance allows for a maximum of 30 percent of the PRUD development to be townhomes.

The proposed PRUD development contains 15.94 acres with a density of 5.46 units per acre. The proposed PRUD needs to achieve a 35 percent density bonus during the preliminary plat review to qualify for the density of 5.46 units per acre.

The PRUD development includes amenities such as pickleball courts, playground area, walking trail,s and gathering places with seating areas and a pavilion. As part of the proposed PRUD's internal trail system, the City is requiring there be an access to the D&RG Rail Trail. The plan identifies trees along the Rail Trail; however, there is an identified gas line easement in that area, and trees are not allowed over the gas line. The City will work with the Developer during the Final Plat phase for alternative options for landscaping.

The applicant and Staff met with the Design Review Committee (DRC) on June 4, 2025, to review the design and amenity aspects of the proposed PRUD development. The DRC is recommending the PRUD development receive a total density bonus of 40 percent, which exceeds the required 35 percent density bonus for the development. Therefore, as proposed, the Planning Commission may grant the 35 percent density bonus necessary based on the development as proposed.

A resident sent in an email commenting on the potential development. That email was shared with the Planning Commission in the work meeting and will be added to the record.

**Alternatives to the Motion:** Alternatives are to: 1) Grant preliminary plat approval for the Seboya Farms PRUD Subdivision subject to the recommendations of the DRC; or 2) Deny the preliminary plat.

**Recommendation:** Staff recommends that the Planning Commission approve the preliminary plat for the Seboya Farms PRUD Subdivision subject to meeting the recommendations of the DRC and meeting all City requirements.

#### **Planning Commission Discussion:**

Chair Steenblik referenced the citizen email, which expressed concern about the number of proposed abutting neighbors and asked if the setbacks would be modified from a regular R-1-8 zoned development. Planner Weaver said there is flexibility in the setbacks for a PRUD. An R-1-8 zone has a 25' rear setback, and the PRUD has a 20' rear setback. Chair Steenblik clarified that if this wasn't a PRUD development there would be a 25' rear setback. Planner Weaver affirmed. Chair Steenblik asked if the developer could change the single-family home elevations to two-story. Planner Weaver responded that there is no regulation requiring the homes to remain single-level. Chair Steenblik asked if the home is two-story would it have a larger setback. Planner Weaver said that it wouldn't have a larger setback but there is a 30' height limit to the home. The homes to the west in Mary's Meadows range from 25' to 35' tall.

Commissioner Pierce asked if Parcel A would serve as a detention basin. Planner Weaver affirmed.

Commissioner McDonough asked what the average square footage of the single-family home would be. Planner Weaver indicated that would be better asked of the developer.

Commissioner Heslop noted that the lots average 50' wide and asked if that was dictated by the R-1-8 zone. Planner Weaver responded that the PRUD ordinance requires a 50' width for front-loaded homes. Anything less would need to be rear-loaded.

Commissioner Freebairn asked if the recommendation to change some areas to grass would impact the water-wise calculation and water usage. Planner Weaver responded that it does not because the ordinance does not have a minimum/maximum calculation. The grass will increase water usage but it won't be significant.

**Public Comment:**

Chair Steenblik called for a motion to open the public comment. Commissioner McDonough motioned to open the public comment. Commissioner Nielsen seconded the motion, which was approved unanimously following a roll-call vote.

**Michael Christensen, resident** – expressed that he had no issues with the plat map but expressed frustration that these “starter homes” were being owned by empty nesters. There should be twice as many bedrooms in the development. It is an offensive use of housing property so close to the train station, it has way more potential than what is being proposed.

Chair Steenblik called for a motion to close the public comment. Commissioner Pierce motioned to close the public comment. Commissioner Freebairn seconded the motion, which was approved unanimously following a roll-call vote.

Commissioner McDonough asked Applicant representative, Craig Jacobsen, what was the average square footage of the homes in the development. Mr. Jacobsen responded that the homes will range from 1,700 to 3,000 square feet and are all single-level homes for active adults. Some of the models have an option for a loft area that can add additional living space.

Mr. Jacobsen expressed appreciation to the Staff and Commission for the efforts made on this project.

Chair Steenblik noted the previous discussion about this development being phased and that adequate open space was required for each phase. Planner Weaver affirmed and shared that each phase has to meet the ordinance requirements for open space. Chair Steenblik asked where the phase break would be located. Planner Weaver responded that the lots with 100-level lot numbers would be Phase 1 and lots with a 200-level lot numbers would be Phase 2. (See Landscape Plan in Packet)

**MOTION:**

Commissioner Nielsen motioned the Planning Commission to approve the preliminary plat for the Seboya Farms PRUD Subdivision subject to meeting the recommendations of the DRC and meeting all City requirements. Commissioner Freebairn seconded the motion, which was approved unanimously following a roll-call vote.

## ADJOURNMENT

At 7:37 PM, Commissioner Carter motioned to adjourn. Commissioner Pierce seconded the motion, which was approved unanimously following a roll-call vote and the meeting was adjourned.



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Michelle Williams  
Planning Commission Secretary

DRAFT

LAYTON CITY  
AGENDA ITEM COVER SHEET

**Item Number: 1**

**Subject:** Conditional Use – High-Impact Home Occupation – Wall Homes LLC – 2501 West 1275 North

Contact: Jeffrey Montague, Planner I

**Background:**

The applicant and property owner, Michael Wall, is requesting a conditional use permit for a high-impact home occupation. High-impact home occupations are required to either obtain signatures of approval from adjacent and abutting neighbors or request the Planning Commission review their application as a conditional use permit at a public meeting. The applicant has requested their application be reviewed by the Planning Commission as a conditional use permit.

The proposed home occupation intends to provide contractor services for residential construction. The proposed home occupation will occupy a 150 square-foot area of the main floor as an office. The business will use the concrete parking pad east of the main driveway to store a 9' enclosed trailer. This trailer will contain construction tools/equipment. All utilized space complies with the requirements for a home occupation.

**Alternatives to the Motion:** Alternatives are to: 1) Grant conditional use approval of the High-Impact Home Occupation subject to the applicant meeting all conditions listed in the Staff Report; or 2) Grant conditional use approval for the High-Impact Home Occupation with additional conditions if the Planning Commission identifies additional reasonably anticipated detrimental effects of the proposed use that need to be mitigated.

**Recommendation:** Staff recommends the Planning Commission grant conditional use approval of the High-Impact Home Occupation, subject to the applicant meeting all conditions listed in the Staff Report.





**COMMUNITY AND ECONOMIC  
DEVELOPMENT DEPARTMENT  
PLANNING DIVISION**

## **STAFF REPORT**

**To:** Planning Commission

**From:** Jeffrey Montague, Planner I

A handwritten signature in black ink, appearing to read "Jeffrey Montague", written over the printed name.

**Date:** July 8, 2025

**Re:** Conditional Use for a High-Impact Home Occupation – Wall Homes LLC

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**Location:** 2501 West 1275 North

**Zoning:** R-1-8 (Single Family Residential)

### **Background**

The applicant and property owner, Michael Wall, is requesting a conditional use permit for a high-impact home occupation. The proposed home occupation, Wall Homes LLC, intends to provide general contractor services for residential construction.

High-impact home occupations are required to either obtain signatures of approval from adjacent and abutting neighbors or request the Planning Commission review their application as a conditional use permit at a public meeting. The applicant has requested that their application be reviewed by the Planning Commission as a conditional use permit.

### **Staff Review**

Home occupations are classified as either low-impact or high-impact. Home occupations receive a high-impact classification if one of the following criteria are met: (1) the occupation requires clients to visit their residence; (2) the home occupation may cause neighborhood impacts, such as noise, traffic, etc. if not properly managed; or (3) the home occupation has two non-household employees who will visit the home. The applicant has indicated that no clients will visit the home occupation and the applicant is the sole employee of Wall Homes LLC.

The current application is considered a high-impact home occupation because the proposed use is classified as a contractor business. Layton Municipal Code 19.06.030.2 (2) identifies contractor businesses as home occupations that may cause neighborhood impacts, such as noise, traffic, etc. if not properly managed.

The City's Home Occupation Ordinance states that no more than 25% of the total main or upper floor area may be utilized for a home occupation. Wall Homes will utilize 150 sq. ft. of the main floor of the home for an office space, which is compliant with this standard.

Layton Municipal Code 19.06.030.3 (7) requires trailers to be stored next to an approved driveway leading to a garage or carport, and that they be located at least 10' from the public right-of-way. The business will utilize a 9' enclosed trailer for storage of tools and equipment. This trailer will be stored atop the concrete parking pad to the east of the main driveway and will be located at least 10' back from the public right of way.

There is an existing low-impact home occupation located at the home: A Gentle Space LLC, which provides off-site doula services. A Gentle Space utilizes the home only as an office space. The combined impacts of the two businesses do not exceed the requirements of the City's home occupation ordinance, and therefore, per 19.06.030.3 (1.b.ii.) this additional home occupation for Wall Homes LLC may be approved.

The applicant has acknowledged that any expansion of the business would require additional approval.

#### **Staff Recommendation**

Staff recommends that the Planning Commission approve the conditional use permit for a high-impact home occupation at this location subject to the following conditions:

1. Building Division, Planning Division, and Fire Department requirements shall be met before receiving a Layton City Business License.
2. No outdoor storage of materials and equipment, except entirely within an enclosed vehicle or trailer per Layton Municipal Code 19.06.030.3 (7)(n).
3. The home occupation shall comply with all standards for home occupations as outlined in Layton Municipal Code 19.06.030.









Wall Homes  
LLC

2501 West 1275 North

Conditional  
Use Permit for a  
High-Impact  
Home Occupation

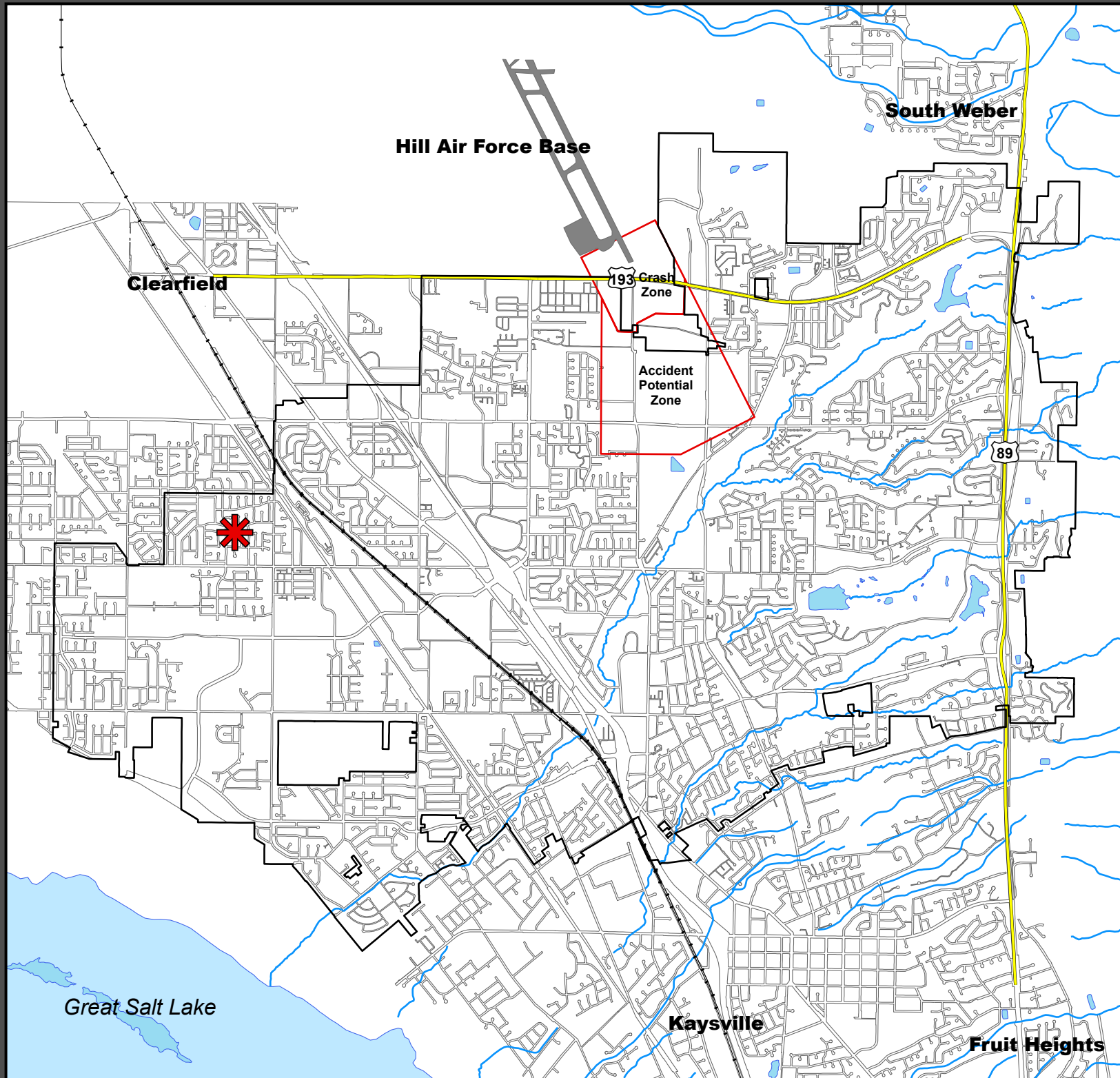
### Legend

-  City Boundary
-  Rail Lines
-  Interstate 15
-  APZ
-  Lakes
-  Streams

 - Project Site



Map 1












Wall Homes  
LLC

2501 West 1275 North

Conditional  
Use Permit for a  
High-Impact  
Home Occupation

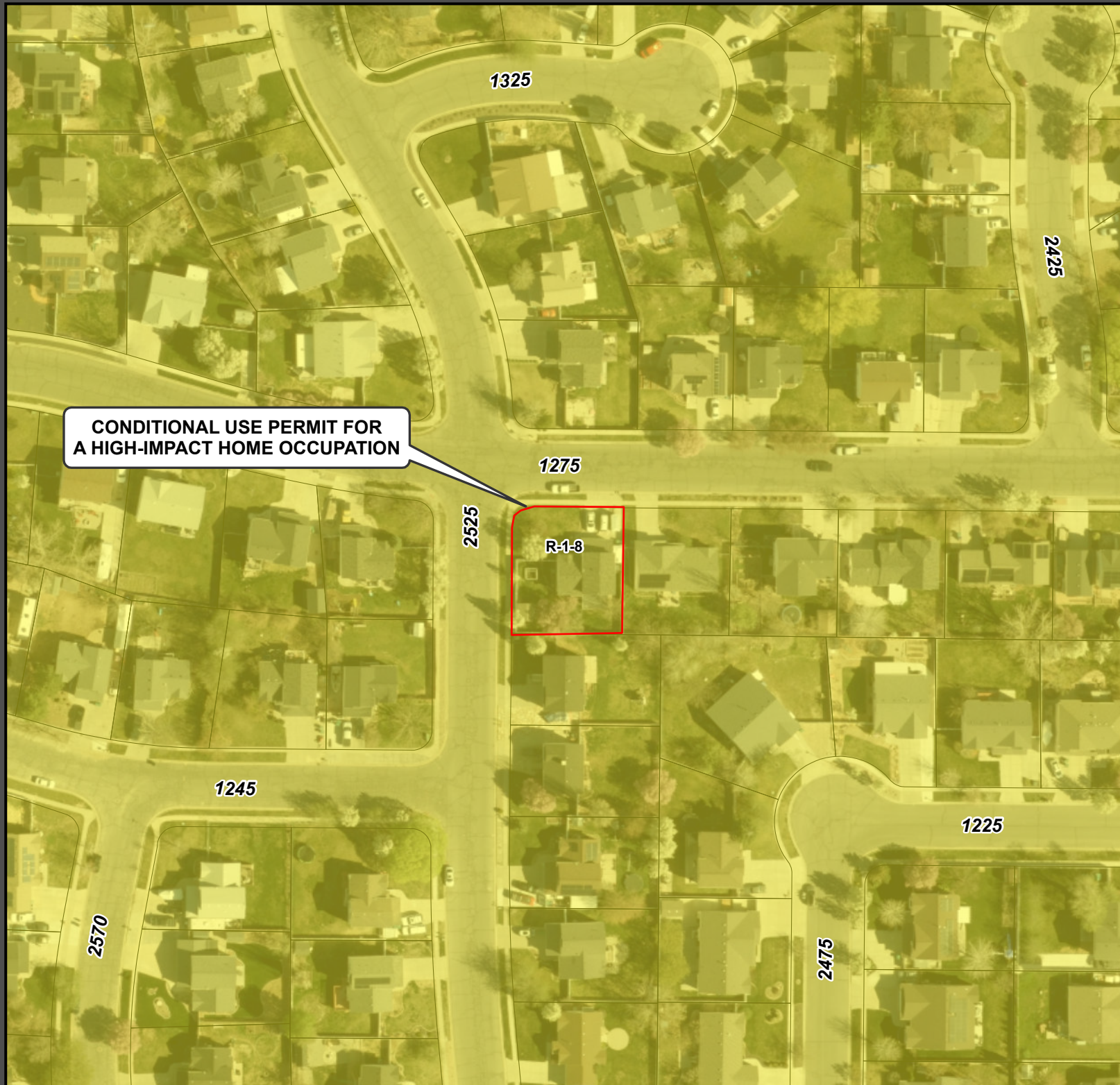
### Legend

-  Interstate Highways
-  City Boundary
-  Highways
-  Lakes
-  Streams

 - Project Area



Map 2












Wall Homes  
LLC

2501 West 1275 North

Conditional  
Use Permit for a  
High-Impact  
Home Occupation

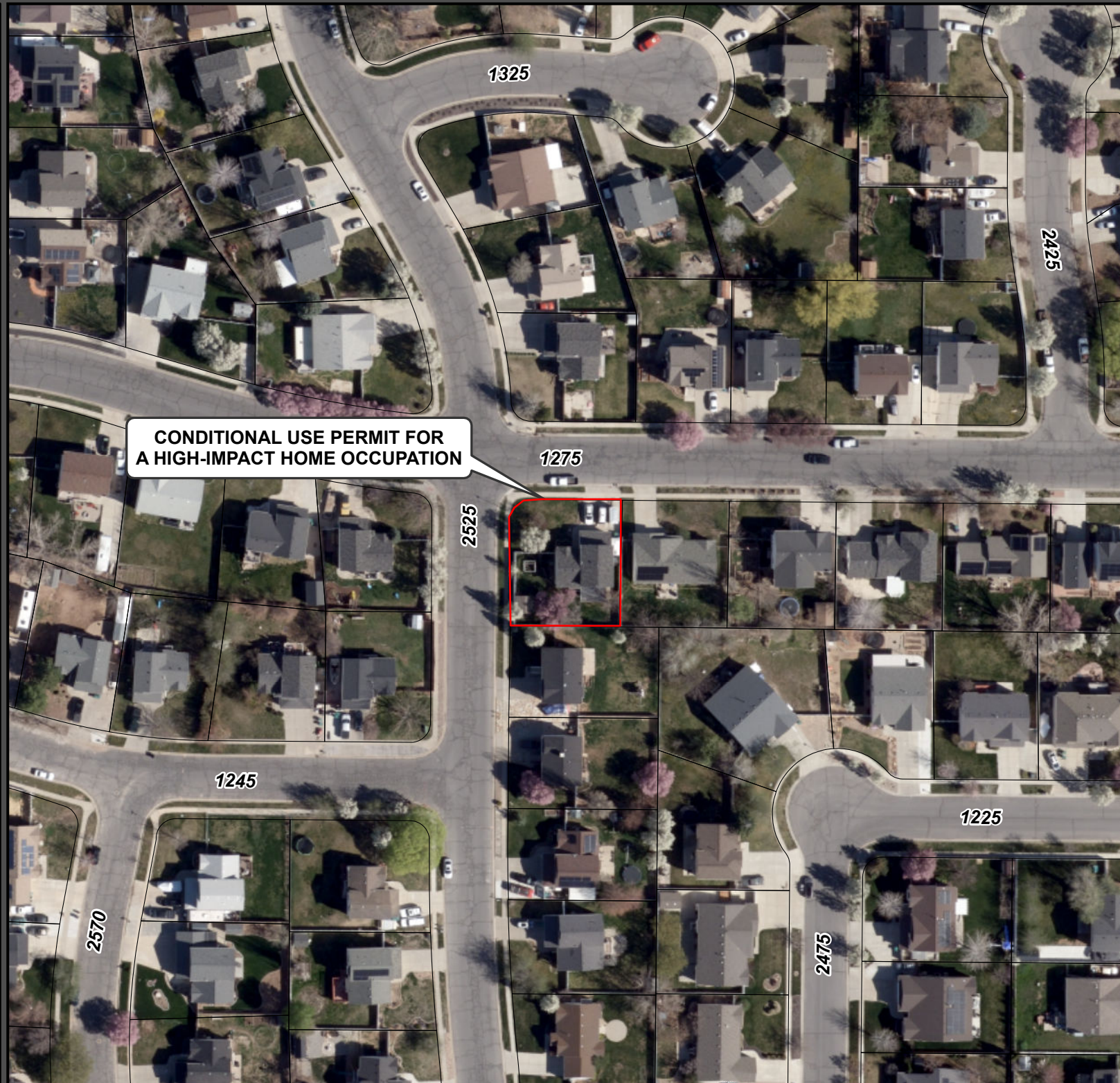
### Legend

-  Interstate Highways
-  City Boundary
-  Highways
-  Lakes
-  Streams

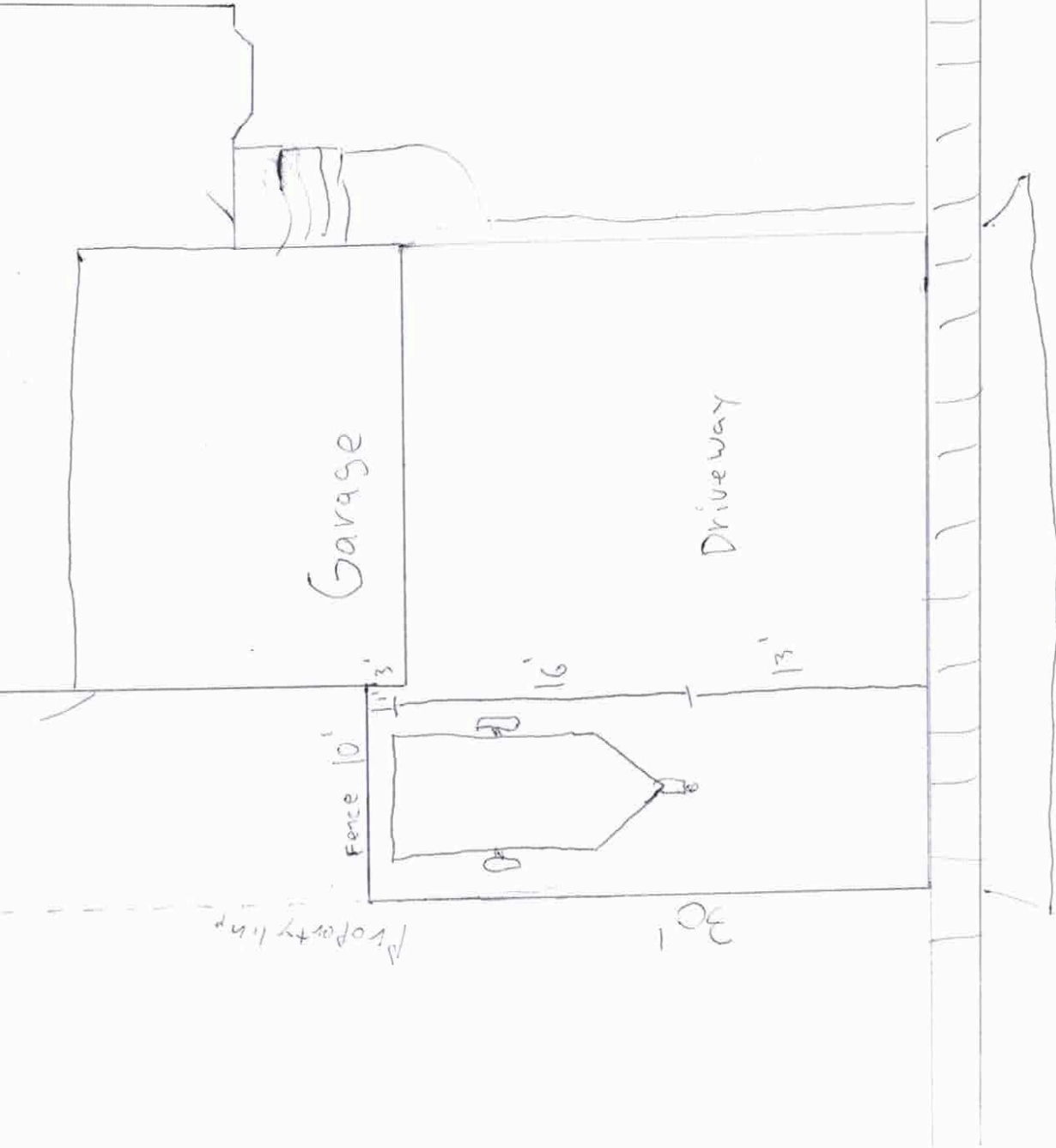
 - Project Area



Map 3



Trailer Storage Area  
Site Plan



**LAYTON CITY  
AGENDA ITEM COVER SHEET**

**Item Number: 2**

**Subject:** Preliminary Plat – The Angels Townhomes – 1615 North Angel Street

**Staff Contact:** Kem Weaver, Planner II

**Background:** The applicant, Cody Rhees, is requesting preliminary plat approval for The Angels Townhomes Subdivision. The proposed subdivision is surrounded by R-M1 (Low/Medium Density Residential) zoning and land uses.

The proposed nine townhomes are currently under construction after receiving site plan approvals from the City. The applicant came to a decision during construction to create separate tax identifications for each townhome unit, which requires the applicant to go through the plat entitlement process with the City.

Outside the footprints of the townhomes is common area, which includes landscaping and the private drive access. Limited common area is for the purpose of the driveways and front door access for each townhome unit. The common areas will be owned and maintained through a homeowner's association.

**Alternatives:** Alternatives are to: 1) Grant preliminary plat approval of The Angels Townhomes Subdivision subject to meeting all City requirements; or 2) Deny the preliminary plat identifying that the request does not comply with City requirements.

**Recommendation:** Staff recommends the Planning Commission approve the preliminary plat for The Angels Townhomes Subdivision subject to meeting all City requirements as outlined in Staff memorandums.



**COMMUNITY AND ECONOMIC  
DEVELOPMENT DEPARTMENT  
PLANNING DIVISION**

## **STAFF REPORT**

**TO:** Planning Commission

**FROM:** Kem Weaver, Planner II

A handwritten signature in blue ink, appearing to read "Kem Weaver", is written over a horizontal line.

**DATE:** July 8, 2025

**RE:** The Angels Townhomes Preliminary Plat

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**LOCATION:** 1615 North Angel Street

**ZONING:** R-M1 (Low/Medium Density Residential)

### **DESCRIPTION**

The applicant, Cody Rhees, is requesting preliminary plat approval for The Angels Townhomes Subdivision on property that contains .75 acres. The proposed subdivision is surrounded by similar R-M1 zoning and uses.

### **BACKGROUND**

The proposed subdivision has been under construction this past year by building nine townhomes, which meets the density requirements of the R-M1 zone. The applicant went through site plan review and approval with City staff. Once construction began on the site, the applicant made a decision to create a separate tax identification for each unit, which requires the applicant to receive preliminary and final plat approvals from the City as part of the entitlement process. If approved by the City, a dedication plat would be recorded with Davis County and each unit will receive a separate tax identification number.

The preliminary plat consists of nine townhome units. The remaining property outside the townhome footprints is to be common area for the residents to own and maintain through a homeowner's association. Limited common area for each townhome unit will include driveways and access to the front door.



**STAFF RECOMMENDATION**

Staff recommends the Planning Commission approve the preliminary plat for The Angels Townhomes Subdivision subject to meeting City requirements as outlined in Staff memorandums to the developer.



***Attention Engineers & Developers:** Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a submittal of a preliminary plan and within 20 business days of a submittal of a final plan. Thank you.*

## MEMORANDUM

TO: Jalin Anderson; [jalin.anderson@creationswest.com](mailto:jalin.anderson@creationswest.com)  
Michelle Geer; [michelle@heritagecrafthomes.com](mailto:michelle@heritagecrafthomes.com)  
Cody Rhees; [cody@heritagecrafthomes.com](mailto:cody@heritagecrafthomes.com)

CC: CED Department/Fire Marshal/Legal Department

FROM: Ryan Bankhead, Senior Staff Engineer

DATE: June 4, 2025

SUBJECT: The Angels Townhomes – Preliminary Dedication Plat – 2<sup>nd</sup> review  
1615 North Angel Street

We have reviewed the Dedication Plat submitted on May 15, 2025 and received in Engineering on May 16, 2025 for the Angels Townhomes located at 1615 North Angel Street. The plat has been stamped "Approved as Corrected." The following comments will need to be addressed with the final subdivision application. Municipal Code (MC) and Development Guidelines and Design Standards (DG) references are provided in parenthesis. Items that have been addressed have strikethroughs and new comments based on changes to the drawings are in red.

1. Requirements from all other City Staff will also need to be addressed on the dedication plat.
2. As-built drawings for the storm drain outfall will be required prior to entering warranty. (DG 14.02)
3. ~~Exceptions identified in the title report, specifically exception 12, 13, 14, 16, & 17, will need to be shown on the plat with their respective entry, book, and page numbers~~ **will need to be added to the easements. Signature blocks for the easement holders will need to be added to the plat. Bearing and distances will need to be added to the easements so that they can be recreated.**
4. ~~The 30' (front and rear), 12' and 10' PU&DE's will need to be removed from the plat. Two private detention basin easement (exceptions 13 & 14) and a 7' PU&DE (exception 16) were recorded with the approval of the site plan. The 7' PU&DE and common space easements are sufficient for this development.~~
5. ~~The common area will need to be added to the legend.~~
6. ~~The length of L65 (114.27') and the summation of L91, L86, L81, L76, L72, & L75 (114.26') will need match.~~
7. ~~All line length totals for the buildings will need be the same. Some are shown as or total 51.20' or 51.21'.~~
  - a. ~~L5 + L17, L18, L20, L43, L53, L7 + L17, and L32 + L34 are 51.21'.~~
  - b. ~~L3 + L1, L19 + L9, L4 + L2, L38 + L36, and L45 + L47 are 51.20'.~~

8. The length of L21 (22.25') and the summation of L4 and L2 (22.38') will need to match.
9. The length of L22 (22.12') and the summation of L26 and L6 (22.00') will need to match.
10. The bearing of L68 (89°27'10") will need to match the bearing of L2 (89°37'50").
11. The bearing of L77 (89°29'17") will need to match the bearing of L6 (89°37'50").
12. The bearing of L87 (89°13'17") will need to match the bearing of L30 (89°37'50").
13. The bearing of L106 (88°24'41") will need to match the bearing of L14 (8°37'50").
14. L92 and L93 are missing from the line table(s).
15. The limited common area overlaps Unit E by 0.08' (appears to be caused by L105).
16. A note will need to be added to the plat that indicates that all utilities, with the exception of the master meter, which will be owned by Layton City, are owned and maintained by the HOA.
17. A note will need to be added to the plat that indicates that the detention basins shall be managed and maintained (according to the Long Term Storm Water Management Plan and agreement) by the HOA.
18. A note will need to be added that basements are not permitted with the development. The minimum floor elevations provided on the development plans will need to be added to the plat.
19. **The private right-of-way access easement will need to be recorded separately from the plat. The description of the access easement will need to be submitted for review. Once approved it will need to be recorded and the entry, book, and page will need to be added to the plat.**
20. **The City Council Acceptance signature block will need to be the Land Use Authority Acceptance.**
21. **The County Recorder has been returning plats for correction that have obstructed or overlapping text. The following may cause a delay in recording:**
  - a. **Locating line for lots 8 and 9 from the southwest boundary corner to L52 by the detention basin A easement line.**
  - b. **L98 by the power easement line.**

**CC&R's (Updated CC&R's were not provided at the time of this review)**

1. The restrictive covenants will need to indicate that the POA is responsible for the maintenance of all utilities (sewer, water, fire hydrants, and storm drain), with the exception of the master meter, to the connection point of the respective City main in Angel Street.
2. The restrictive covenants will need to indicate that the detention basins and structures will need to be managed and maintained according to the Long Term Storm Water Management Plan and agreement.
3. Provision 14 – Utilities – The sewer is treated by the North Davis Sewer District rather than Layton City and is paid for on the Layton City utility bill. Also, the Storm Water Facilities may include above ground basins as well as the mentioned underground and gravel basins.
4. Provision 20 is blank. Is there a provision missing or is this a mis-numbering?
5. Provision 21 – Landscape – The landscaping will need to meet Layton City standards and cannot be changed without City approval.
6. Notaries will need to be added for all property owners.



Community • Prosperity • Choice


Mayor • Joy Petro  
City Manager • Alex R. Jensen

• Fire Department •  
Kevin Ward • Fire Chief  
Telephone: (801) 336-3940  
Fax: (801) 546-0901

***Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a submittal of a preliminary plan and within 20 business days of a submittal of a final plan. Thank you.***

## MEMORANDUM

TO: Community Development

FROM: Gavin Moffat, Deputy Fire Marshal 

RE: The Angels Townhomes Subdivision

CC: 1) Engineering  
2) Jalin Anderson, [jalín.anderson@creationwest.com](mailto:jalín.anderson@creationwest.com)  
3) Cody Rhees, [cody@heritagecrafthomes.com](mailto:cody@heritagecrafthomes.com)

DATE: June 9, 2025

I have reviewed the preliminary plat submitted on May 15, 2025 for the above referenced project. The Fire Prevention Division of this department has no comments/concerns.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Layton City.

GM\#1 subdivision site plan:sh  
Plan #S25-067 District #51  
Project Tracker #LAY2504103442

# Memorandum

**To:** Jalin Anderson, Cody Rhees, Michelle Gee  
**CC:** Community Development, Fire, & Engineering  
**From:** JoEllen Grandy, City Landscape Architect – Parks & Recreation  
**Date:** May 16, 2025  
**Re:** The Angels Townhomes Subdivision, Preliminary Approval – 1615 N. Angel St.  
**Review:** Review 2

---

The Angel Street Townhomes Subdivision located at 1615 North Angel Street lies within the existing neighborhood park service area of Vae View Park.

The Parks & Recreation Department has reviewed the plans submitted on May 16<sup>th</sup> and has no comments or concerns regarding The Angels Townhomes Subdivision.

***Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a preliminary submittal and within 20 business days of a final submittal. Thank you.***







THE ANGELS  
TOWNHOMES

1615 NORTH  
ANGEL STREET

PRELIMINARY  
PLAT

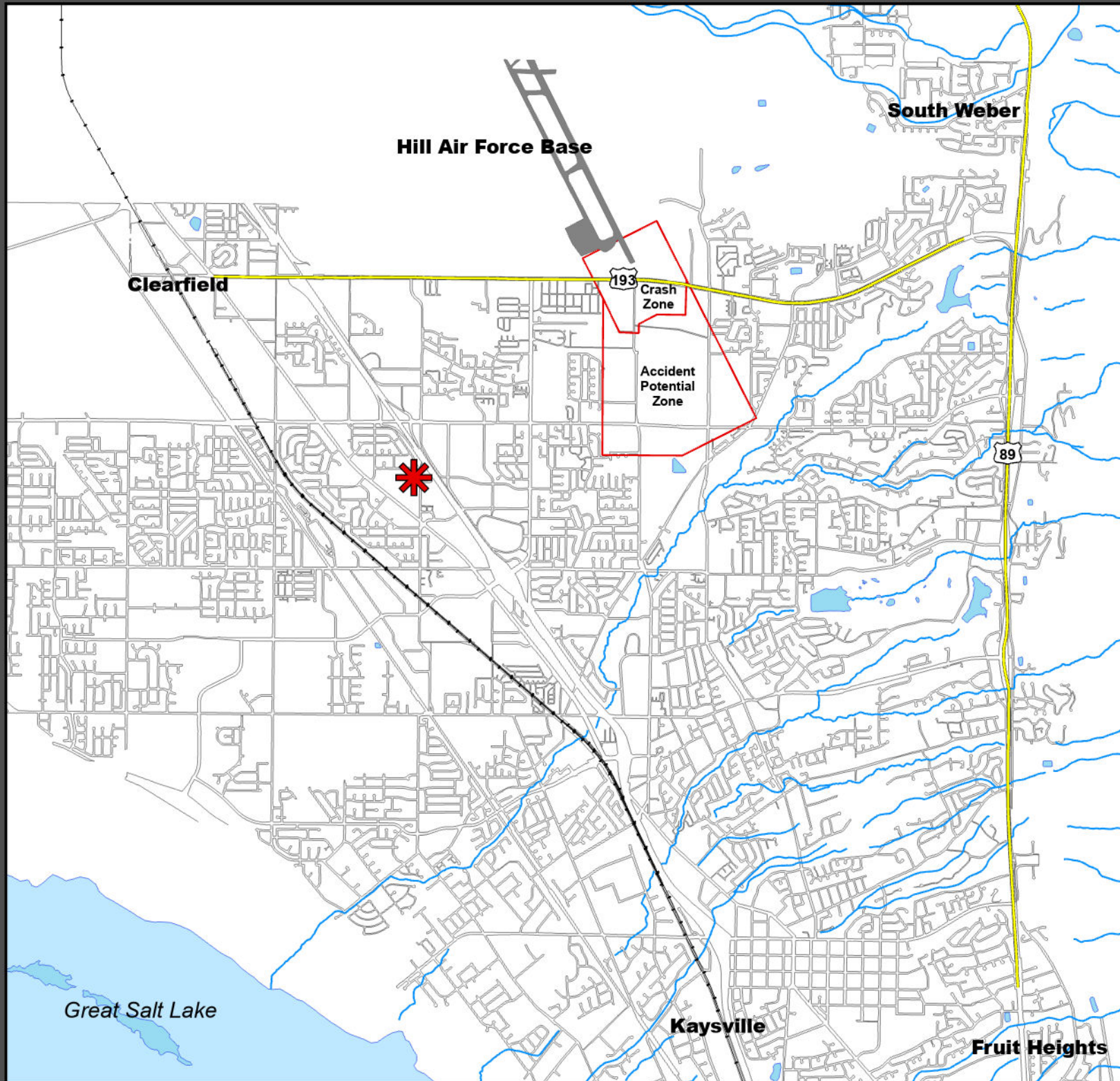
Legend

- City Boundary
- Rail Lines
- APZ
- Interstate 15
- Lakes
- Streams

- Project Site



Map 1







## THE ANGELS TOWNHOMES

1615 NORTH  
ANGEL STREET

PRELIMINARY  
PLAT

### Legend

Interstate Highways	M-2
Centerlines	MU
APZ	MU DO-1
<b>Zoning</b>	MU TOD
<b>Zone</b>	Not In Layton City
A	PB
B-RP	R-1-10
C-H	R-1-10 (PRUD)
C-TH	R-1-6
CP-1	R-1-6 (PRUD)
CP-2	R-1-8
CP-3	R-1-8 (PRUD)
M-1	R-2
	R-2 (PRUD)

- Project Area



# Map 2







## THE ANGELS TOWNHOMES

1615 NORTH  
ANGEL STREET

PRELIMINARY  
PLAT

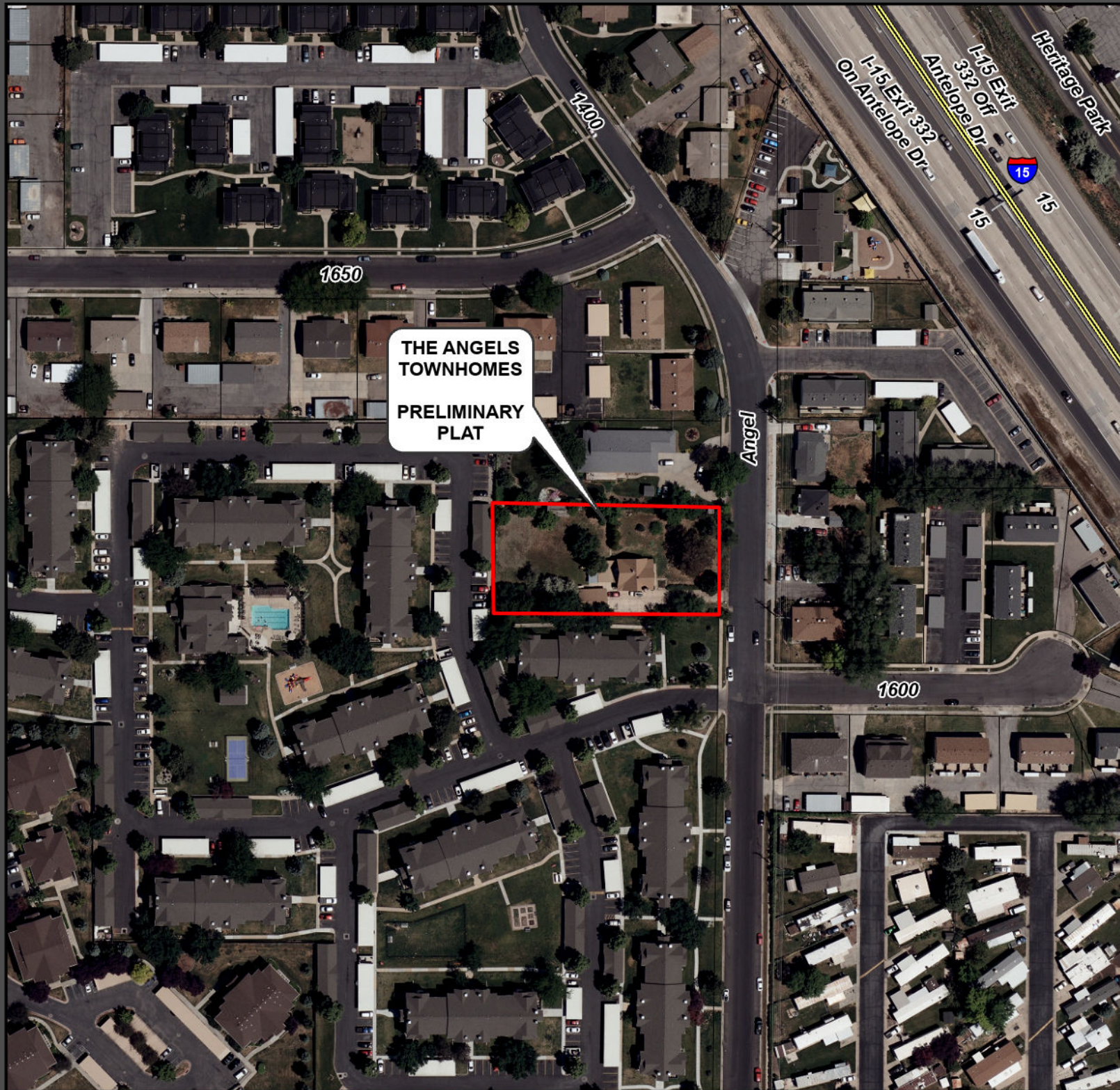
### Legend

-  Interstate Highways
-  City Boundary
-  Highways
-  Lakes
-  Streams

 - Project Area



Map 3





Lot Line Table		
Line #	Bearing	Distance
L1	S0°22'10"W	32.38'
L2	N89°37'50"W	10.00'
L3	S0°22'10"W	18.83'
L4	N89°37'50"W	12.25'
L5	N0°22'10"E	18.83'
L6	N89°37'50"W	9.88'
L7	S0°22'10"W	18.83'
L8	N89°37'50"W	12.25'
L9	N89°37'50"W	12.25'
L10	N0°22'10"E	18.83'
L11	N89°37'50"W	9.88'
L12	N89°37'50"W	9.88'
L13	S0°22'10"W	18.83'
L14	N89°37'50"W	12.25'
L15	N89°37'50"W	12.25'
L16	N0°22'10"E	18.83'
L17	N89°37'50"W	10.00'
L18	N0°22'10"E	32.38'
L19	S89°37'50"E	110.89'
L20	S89°37'50"E	22.25'
L21	S89°37'50"E	22.13'
L22	S89°37'50"E	22.13'
L23	S89°37'50"E	22.13'
L24	S89°37'50"E	22.25'
L25	N0°22'10"E	32.38'
L26	S0°22'10"W	51.21'
L27	S0°22'10"W	32.38'
L28	N0°22'10"E	51.21'
L29	S89°37'50"E	24.50'

Lot Line Table		
Line #	Bearing	Distance
L30	S89°37'50"E	24.50'
L31	N0°22'10"E	51.21'
L32	S49°37'50"E	32.38'
L33	S40°22'10"W	10.00'
L34	S49°37'50"E	18.83'
L35	S40°22'10"W	24.50'
L36	N49°37'50"W	18.83'
L37	S40°22'10"W	10.00'
L38	N49°37'50"W	32.38'
L39	N40°22'10"E	44.50'
L40	N40°22'10"E	12.25'
L41	N40°22'10"E	12.25'
L42	N40°22'10"E	22.25'
L43	N49°37'50"W	51.21'
L44	N40°22'10"E	22.25'
L45	S89°37'50"E	32.38'
L46	S0°22'10"W	10.00'
L47	S89°37'50"E	18.83'
L48	S0°22'10"W	24.50'
L49	N89°37'50"W	18.83'
L50	S0°22'10"W	10.00'
L51	N89°37'50"W	32.38'
L52	N0°22'10"E	44.50'
L53	N89°37'50"W	51.21'
L54	N0°22'10"E	22.25'
L55	N0°22'10"E	12.25'
L56	N0°22'10"E	12.25'
L57	N0°22'10"E	22.25'

LCA Line Table		
Line #	Bearing	Distance
L68	S89°37'50"E	5.21'
L69	S0°22'10"W	23.83'
L70	N89°37'50"W	5.00'
L71	S0°22'10"W	15.00'
L72	N89°37'50"W	12.12'
L73	N0°22'10"E	20.00'
L74	S89°37'50"E	11.92'
L75	S89°37'50"E	4.06'
L76	S89°37'50"E	9.79'
L77	S89°37'50"E	5.42'
L78	S0°22'10"W	23.83'
L79	N89°37'50"W	5.00'
L80	S0°22'10"W	15.00'
L81	N89°37'50"W	24.25'
L82	N0°22'10"E	15.00'
L83	N89°37'50"W	5.00'
L84	N0°22'10"E	23.83'
L85	S89°37'50"E	4.33'
L86	S89°37'50"E	19.59'
L87	S89°37'50"E	5.85'

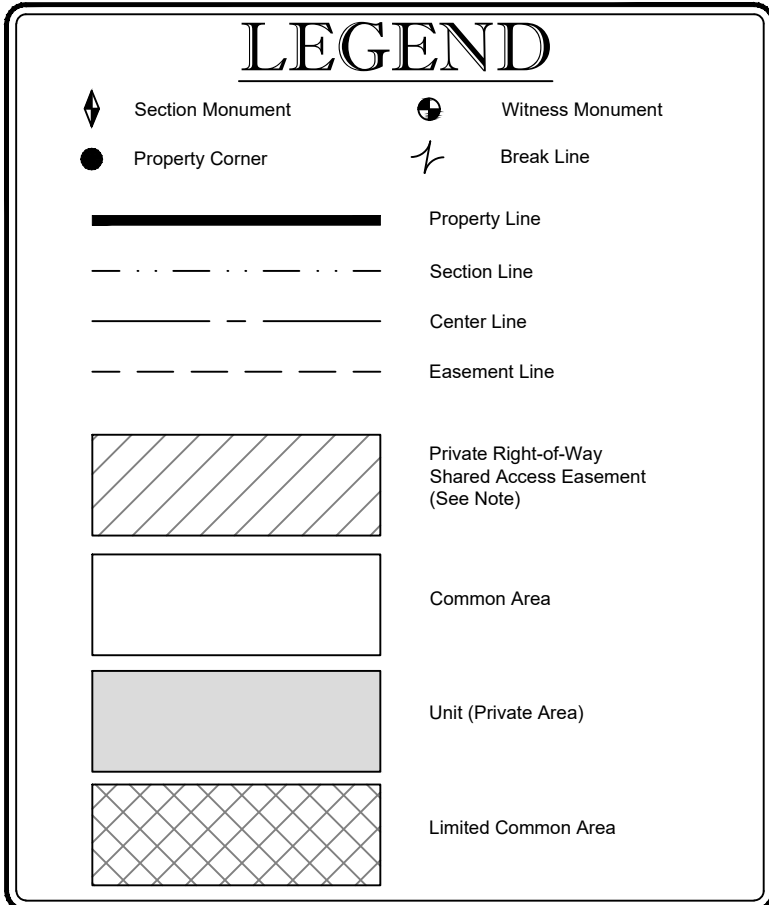
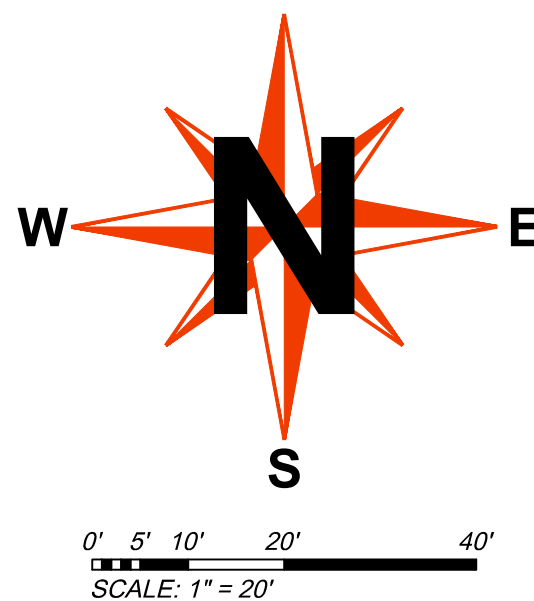
LCA Line Table		
Line #	Bearing	Distance
L88	S0°22'10"W	23.83'
L89	N89°37'50"W	5.00'
L90	S0°22'10"W	15.00'
L91	N89°37'50"W	44.46'
L92	S0°22'10"W	20.21'
L93	N89°37'50"W	17.00'
L94	S0°22'10"W	5.00'
L95	N89°37'50"W	28.83'
L96	N0°22'10"E	5.21'
L97	N0°22'10"E	4.54'
L98	S89°37'50"E	26.77'
L99	N49°37'50"W	20.22'
L100	N40°22'10"E	4.27'
L101	N40°22'10"E	5.48'
L102	S49°37'50"E	24.57'
L103	S40°22'10"W	5.00'
L104	S49°37'50"E	12.86'
L105	N0°22'10"E	15.91'
L106	S89°37'50"E	3.90'
L107	N0°22'10"E	18.29'

Lot Information Table			
Lot #	Area (sq/ft)	Area (Acres)	Address
1	957.45	0.022	1631 N. Angel St.
2	947.00	0.021	1629 N. Angel St.
3	947.00	0.021	1627 N. Angel St.
4	947.00	0.021	1625 N. Angel St.
5	951.05	0.022	1623 N. Angel St.
6	951.05	0.022	1621 N. Angel St.
7	951.05	0.022	1619 N. Angel St.
8	951.05	0.022	1617 N. Angel St.
9	951.05	0.022	1615 N. Angel St.
CA	14,969.74	0.343	N/A
LCA	3,802.60	0.087	N/A
Ease	5,514.56	0.127	N/A
Total	32,840.60	0.75	N/A

Easement Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	18.46'	23.50'	45°00'02"	S67°52'11"W	17.99'

LCA Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	2.27'	1.00'	130°00'00"	N65°22'10"E	1.81'
C3	2.44'	1.00'	140°00'00"	N20°22'10"E	1.88'

Easement Line Table		
Line #	Bearing	Distance
L58	N0°22'10"E	78.31'
L59	N0°22'10"E	19.50'
L60	S0°22'10"W	28.50'
L61	N89°37'48"W	9.58'
L62	S45°22'10"W	12.89'
L63	N89°37'50"W	114.69'
L64	N0°22'10"E	38.50'
L65	S89°37'50"E	114.27'
L66	N70°28'18"E	17.63'
L67	S89°37'50"E	19.15'



- ### GENERAL NOTES
1. THE COMMON AREA GRANTS AND SERVES AS A PUBLIC UTILITY AND DRAINAGE EASEMENT.
  2. LIMITED COMMON AREA IS TO BE USED AS DRIVEWAYS DIRECTLY IN FRONT OF EACH OF THE INDIVIDUAL LOTS AND ARE NOT TO BE BLOCKED, FENCED OR OTHERWISE OBSTRUCTED.
  3. THE PRIVATE RIGHT-OF-WAY SHARED ACCESS EASEMENT IS TO REMAIN IN THE OWNERSHIP AND TO BE MAINTAINED BY THE HOA.
  4. THE DETENTION BASINS SHALL BE MANAGED AND MAINTAINED (ACCORDING TO THE LONG TERM STORM WATER MANAGEMENT PLAN AND AGREEMENT) BY THE HOA.
  5. BASEMENTS ARE NOT PERMITTED WITH THE DEVELOPMENT.
  6. ALL UTILITIES, WITH THE EXCEPTION OF THE MASTER METER, WHICH WILL BE OWNED BY LAYTON CITY, ARE OWNED AND MAINTAINED BY THE HOA.

### NARRATIVE

-THE PURPOSE OF THIS SUBDIVISION WAS TO SUBDIVIDE THE OVERALL PARCEL INTO NEW RESIDENTIAL LOTS.  
-THE SURVEY AND SUBDIVISION WAS ORDERED BY CODY RHEES. THE DEED USED TO DEFINE THE PROPERTY WAS THE CERTAIN WARRANTY DEED ENTRY NO. 2782600 FROM THE DAVIS COUNTY RECORDERS OFFICE.  
-THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED USING FOUND DAVIS COUNTY SURVEYOR BRASS CAP MONUMENTS LOCATED AT THE EAST QUARTER CORNER AND THE REFERENCE MONUMENT TO THE CENTER OF SECTION 18, TOWNSHIP 4 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AS SHOWN ON THIS SURVEY PLAT.

**UTAH LAND SURVEYING, LLC**  
A PROFESSIONAL LICENSED LAND SURVEYING COMPANY

1359 FAIRWAY CIR  
FARMINGTON, UT 84025  
PHONE 801.725.8395  
mikew@utahlandsurveying.com

www.utahlandsurveying.com

### Planning Commission

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 2025  
BY THE PLANNING COMMISSION OF LAYTON CITY.

CHAIRMAN \_\_\_\_\_

### City Attorney's Approval

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 2025.

LAYTON CITY ATTORNEY \_\_\_\_\_

### City Engineer's Approval

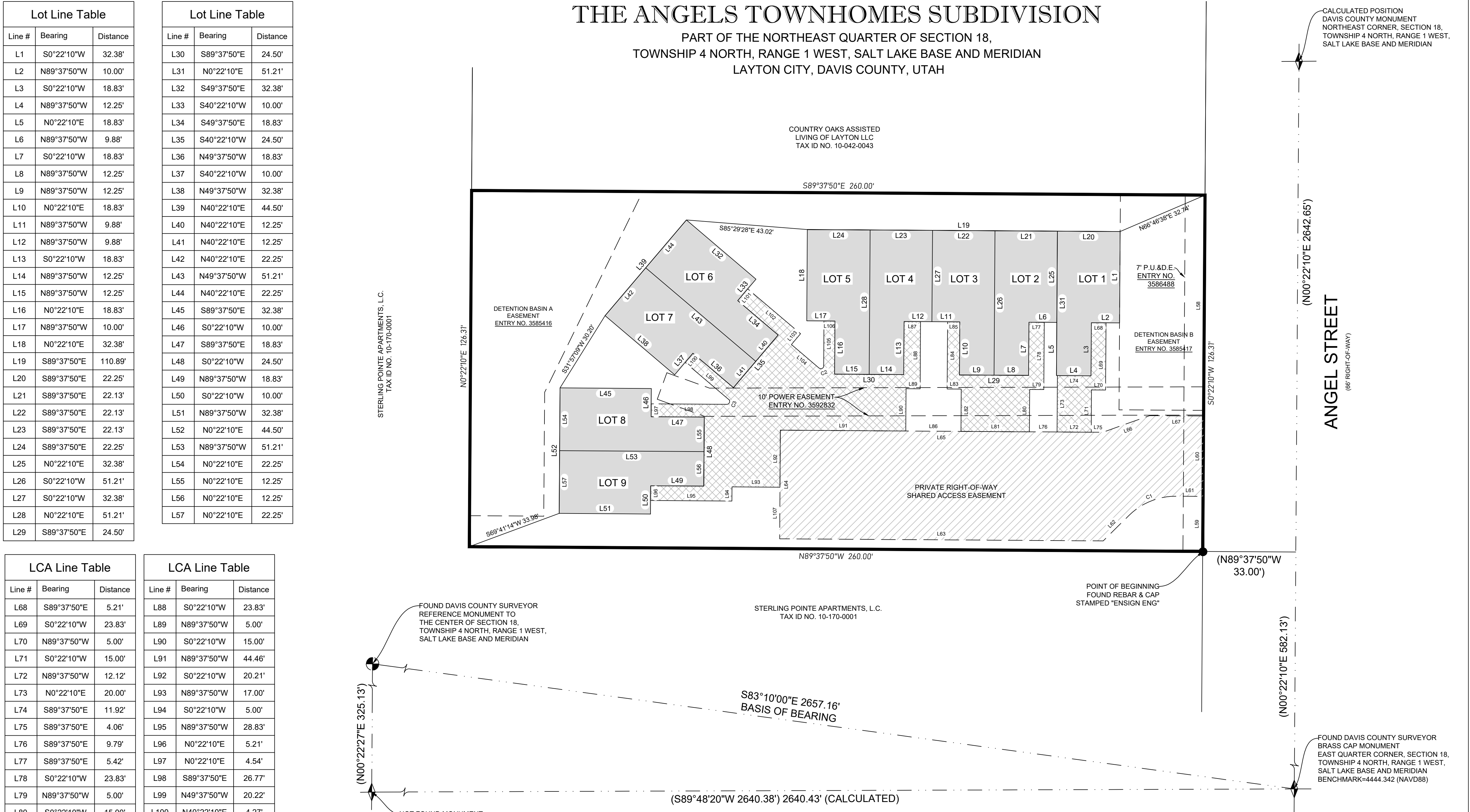
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 2025.

LAYTON CITY ENGINEER \_\_\_\_\_

### City Council Acceptance

PRESENTED TO THE CITY COUNCIL OF LAYTON CITY, UTAH, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2025

MAYOR \_\_\_\_\_ CITY RECORDER \_\_\_\_\_



**LAYTON CITY**  
**AGENDA ITEM COVER SHEET**

**Item Number: 3**

**Subject:** Final Plat – Eastridge Park PRUD Phases 5D and 5E – Approximately 1900 North Emerald Drive

Staff Contact: Kem Weaver, Planner II

**Background:** The applicant, Adams Property LLC, is requesting final plat approval for the last two phases of the Eastridge Park PRUD development with a total of 8.18 acres. The two phases are single-family lots, similar to the single-family lots being developed to the northeast and south in previous phases of Eastridge Park. The North Fork of Kays Creek is to the west, which includes the 15-foot wide Kays Creek Trail easement.

The applicant/developer received preliminary plat approval from the City Council on May 7, 2015. Since this approval, the developer has constructed the majority of the development, which contains townhomes, cottage homes and detached single-family homes on typical single-family lots. The current proposal for Phases 5D and 5E includes 21 single-family homes within the two phases.

As part of the mass grading for these two phases, the developer is implementing certain conditions that were approved with the preliminary plat by the City Council. These conditions are outlined in the staff report and consist of waiving the land drain system and plat notices.

**Alternatives for Phase 5D:** Alternatives are to: 1) Recommend the City Council grant final plat approval of Eastridge Park PRUD Phase 5D subject to meeting all City requirements as outlined in Staff memos to the developer; or 2) Recommend the City Council deny final plat approval finding it is not compliant with the Layton City Municipal Code and Development Standards.

**Alternatives for Phase 5E:** Alternatives are to: 1) Recommend the City Council grant final plat approval of Eastridge Park PRUD Phase 5E subject to meeting all City requirements as outlined in Staff memos to the developer; or 2) Recommend the City Council deny final plat approval finding it is not compliant with the Layton City Municipal Code and Development Standards.

**Recommendation:** Staff recommends the Planning Commission forward a recommendation of approval to the City Council for the final plat for Eastridge Park PRUD Phases 5D and 5E subject to meeting all City requirements as outlined in Staff memos to the developer.





**COMMUNITY AND ECONOMIC  
DEVELOPMENT DEPARTMENT  
PLANNING DIVISION**

## **STAFF REPORT**

**TO:** Planning Commission

**FROM:** Kem Weaver, Planner II

A handwritten signature in blue ink, appearing to read "Kem Weaver", written over a horizontal line.

**DATE:** July 8, 2025

**RE:** Eastridge Park PRUD Phases 5D and 5E Final Plat

---

**LOCATION:** Approximately 1900 North Emerald Drive

**ZONING:** R-1-10 PRUD (Single Family Residential – Planned Residential Unit Development)

### **DESCRIPTION:**

On May 7, 2015, the City Council unanimously approved the preliminary plat for Eastridge Park PRUD subject to a number of conditions that are required to be addressed at final plat approval and which are outlined below. The applicant, Adams Property LLC, represented by Cliff Allen, is requesting final plat approval for the final two phases of the development, as described in this report. Phases 5D and 5E are in the center and western edge of the single-family lots.

Surrounding these proposed phases are Phases 1G, 3B and 5C, which consist of single-family residential homes that have been constructed to the north, east and south with the North Fork of Kays Creek to the west. The surrounding residential land uses have a density range of 2 to 4 units per acre.

### **BACKGROUND INFORMATION AND STAFF REVIEW**

The preliminary plat was approved subject to the following conditions to be addressed by the developer. A few of the items from preliminary plat approval relate to the initial seven phases of the subdivision (townhomes) only and are not included in this report. The two items below address mass grading and are to be noted on the final plat.

➤ *Waiver of Land Drain System.*

As with subsequent phases in the Eastridge Park PRUD development, this phase has received a waiver from the typical requirement of installing a land drain system. Section 18.40.020 of the City's Subdivision ordinance states that a waiver of the land drain system can be given as an exception. A drainage system is not required when a geotechnical engineer, currently licensed to practice by the State of Utah, expressly affirms in a geotechnical report, the following:

1. Soil Classification - The soil classification, as outlined in Table R405.1 of the International Residential Code, has been studied, and a drainage system is not required to achieve soil stabilization or address the possibility of future flooding; and,
2. Groundwater - The property's groundwater condition has been studied and a drainage system is not required to achieve soil stabilization or address the possibility of flooding.

A "Notice to All Lot Owners" has been placed on the plats stating the waiver and giving direction to a prospective home buyer who may want to review the geotechnical engineer's waiver report.

➤ *Notices on plats.*

The City has required the developer to place notes on the phased plats for the development. The note gives notice to prospective home buyers that this property is regulated as "Sensitive Lands" by Layton City ordinance and about the geotechnical and geological reports and studies that have been completed on the property. The notice will reference the geotechnical company, IGES, and where the reports and studies can be accessed, such as Layton City and IGES' offices.

In addition, a Notice of Disclosure will be recorded on each lot giving notice of the geotechnical and geological reports and where they can be viewed. This statement will show on the title of the individual lot. When a lot is sold in the future, this Notice of Disclosure appears in a title report for future home buyers.

### **Final Plats**

The following phases of the development have been reviewed by Staff since preliminary plat approval was given by the City Council, as described below:

Phase 5D – This 3.20 acre phase is located to the north of Phases 5B and 5C. The phase consists of 10 single-family lots fronting a public street. The lot sizes range from 6,800 to 20,300 square feet.

Phase 5E – This 4.98 acre phase is located adjacent to Phase 5D with Phases 1G, 3B and 5C located to the north, east and south respectively. The 20-foot wide Kays Creek Trail easement is located on the west or rear portion of Lots 551 to 553, which requires these lots to be identified as restricted lots on the plat. The phase consists of 11 single-family lots fronting a public street. The lot sizes range from 6,700 to 17,100 square feet.

The City is requiring the plat to include easements where retaining walls are required to assist in slope stability. The easements will protect the required retaining walls from being removed or changed/shifted by builders and future homeowners.

### **Sensitive Land Ordinance**

The Sensitive Land Ordinance requires compliance with the following items.

➤ *Average Slope Chart*

This chart refers to the average slope of the development site with regard to the required lot size and width. Because the average slope of the development is 14% or less, the lot sizes and widths are determined by the zoning and PRUD ordinance allowances. The plat is compliant with this requirement.

➤ *Qualified Geotechnical Engineer on Site*

The applicant has contracted with a consulting geotechnical engineer from IGES to be on-site to study daily compaction reports and vibration monitoring. These reports are submitted to the City. Once the street and utility improvements of the development begin to be installed, the geotechnical engineer will be required to submit letters stating that all improvements have been installed as required. The letters will need to be provided to the City five working days from the completion of the improvements.

➤ *Restrictive Covenants*

The developer has submitted master covenants and sub-covenants with the previous phases of the PRUD development. Supplementary covenants are to be submitted and reviewed for these phases of the subdivision. The supplementary covenants refer to the master covenants and sub-covenants that have already been recorded. The master covenants give references to all geotechnical reports from IGES and reviews by Golder Associates. The covenants also give a complete description of the geological condition of the property. The covenants give restrictions regarding structures, grading, retaining walls, and vegetation. This will alert homeowners about their responsibilities for not modifying the grade, retaining walls, and vegetation.

**STAFF RECOMMENDATION**

Staff recommends the Planning Commission forward a recommendations of approval to the City Council for Eastridge Park PRUD Phases 5D and 5E subject to meeting all City requirements as outlined in Staff memos to the developer.



*Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a preliminary submittal and within 20 business days of a resubmittal. Thank you.*

## MEMORANDUM

TO: Cliff Allen; callen@hawkingshomes.net

CC: Planning Department; Fire Marshal; Legal Department

FROM: Shannon Hansen, Assistant City Engineer - Development

DATE: June 26, 2025

SUBJECT: Eastridge Park Phase 5A-E Construction Drawings  
Eastridge Park Phase 5D Dedication Plat  
Approximately 1900 North Emerald Drive

I have reviewed the dedication plat for Eastridge Park Phase 5D received in Engineering on June 26, 2025. The plans have been stamped "Approved as Corrected." A preconstruction meeting will not be held because the previous contractor is remaining in place for the construction of Phases 5D and 5E. Any items from other City departments will also need to be addressed.

**Street Lighting** – One SL-02 street light will be required with the development of Phase 5D. The fee amount of \$12,235.00 for the lights and installation has been paid.

**Water Exaction** – The water exaction requirement of 2.2 acre feet for Phase 5D has been addressed

**Bonding** – A letter-in-lieu is in place for construction costs.

### General Notes

1. An approval letter from Weber Basin for the secondary waterlines has been submitted. A copy of the receipt for payment of any required fees for this phase will need to be submitted prior to issuance of a construction permit.

**Construction Drawings** – These items have been red-lined on the drawings.

### Sheet C-001 – General Notes

1. The sanitary sewer/culinary water-crossing table has been crossed out. The table is labeled for Phase 1G to 1J.

### Sheet C-101 – Overall Site Plan

1. The street lights are anticipated to be at the shared lot line of lots 548/549 and lots 558/559. The street lights at the shared lot lines of 547/528, 554/555, and 560/561 have been crossed out.

### Sheet C-301 – Overall Utility

1. The temporary flushing hydrant at the end of Amaryllis Way in Phase 5B has been red-lined to be removed with the construction of Phase 5D.
2. The sewer lateral for lot 546 was installed with Phase 5B. This was noted on the plans.

**Sheets C302, C304, C305, C306 were constructed with Phases 5A and 5B and were removed from this plan set.**



Community • Prosperity • Choice


Mayor • Joy Petro  
City Manager • Alex R. Jensen  
Asst. City Manager • Steve Garside

• Fire Department •  
Kevin Ward • Fire Chief  
Telephone: (801) 336-3940  
Fax: (801) 546-0901

***Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 7-10 business days of a submittal and within 7 business days of a resubmittal. Thank you.***

## M E M O R A N D U M

TO: Community Development

FROM: Gavin Moffat, Deputy Fire Marshal 

RE: Eastridge Park PRUD 5D

CC: 1) Engineering  
2) Cliff Allen, [callen@hawkinshomes.net](mailto:callen@hawkinshomes.net)

DATE: April 17, 2025

I have reviewed the site plan and plat submitted on March 19, 2025 for the above referenced project. The Fire Prevention Division of this department has the following comments/concerns.

1. Prior to beginning construction of any buildings, a fire flow test of the new hydrants shall be conducted to verify the actual fire flow available for this project. The Fire Prevention Division of this department shall witness this test and shall be notified a minimum of 48 hours prior to the test.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Layton City.

CF#1 subdivision site plan:sh  
Plan #S25-046 District #22  
Project Tracker #LAY2503193434  
ERS #12709





## Memorandum

**To:** Cliff Allen  
**CC:** Community Development, Fire, & Engineering  
**From:** JoEllen Grandy, City Landscape Architect – Parks & Recreation  
**Date:** March 25, 2025  
**Re:** Eastridge Park PRUD PH 5D, Final Approval – 1900 N. Emerald Dr  
**Review:** Review 1

---

Eastridge Park PRUD Phase 5D located at approximately 1900 North Emerald Drive is within the future service area of South Fork Park Open Space.

The Parks and Recreation Department has reviewed the plans submitted on March 17<sup>th</sup> and has the following comments:

- Label the Trail Easement on the Plat to say the following instead:
  - “20’ WIDE PUBLIC TRAIL & ACCESS EASEMENT DEDICATED TO LAYTON CITY”

Provided the notes are acknowledged above, the Parks and Recreation Department has no other comments or concerns regarding Eastridge Park PRUD PH 5D.

***Attention Engineers & Developers:*** Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a preliminary submittal and within 20 business days of a final submittal. Thank you





*Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a preliminary submittal and within 20 business days of a final submittal. Thank you.*

## MEMORANDUM

TO: Cliff Allen; callen@hawkingshomes.net

CC: Planning Department; Fire Marshal; Legal Department

FROM: Shannon Hansen, Assistant City Engineer - Development

DATE: June 26, 2025

SUBJECT: Eastridge Park Phase 5E Dedication Plat  
Approximately 1900 North Emerald Drive

I have reviewed the dedication plat for Eastridge Park Phase 5E received in Engineering on June 24, 2025. The plans have been stamped "Approved as Corrected." The following comments will need to be addressed on the final mylar submitted for City signatures and recording. A preconstruction meeting will not be held because the previous contractor is remaining in place for the construction of Phases 5D and 5E. Any items from other City departments will also need to be addressed.

**Street Lighting** – One SL-02 street light will be required with the development of Phase 5E. The fee amount of \$11,635.00 for the lights and installation has been paid.

**Water Exaction** – The water exaction requirement of 4 acre feet for Phase 5E has been addressed.

**Bonding** – A letter-in-lieu in is place for construction cost.

### General Notes

1. An approval letter from Weber Basin for the secondary waterlines has been submitted. A copy of the receipt for payment of any required fees for this phase will need to be submitted prior to issuance of a construction permit.

### Dedication Plat – Phase 5E

1. The Owner's dedication will also need to include the subdivision into "Common Area".
2. The length of the common area from point 21 to point 23 will need to be labeled.
3. All delinquent taxes will need to be paid prior to recording the dedication plat.

**Construction Drawings** – See Review memo for Eastridge Park Phase 5D



Community • Prosperity • Choice

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City Manager • Alex R. Jensen  
Asst. City Manager • Steve Garside

• Fire Department •  
Kevin Ward • Fire Chief  
Telephone: (801) 336-3940  
Fax: (801) 546-0901

***Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 7-10 business days of a submittal and within 7 business days of a resubmittal. Thank you.***

## MEMORANDUM

TO: Community Development

FROM: Gavin Moffat, Deputy Fire Marshal 

RE: Eastridge Park PRUD 5E @ 1900 Emerald Drive

CC: 1) Engineering  
2) Cliff Allen, [callen@hawkinshomes.net](mailto:callen@hawkinshomes.net)

DATE: April 17, 2025

I have reviewed the plat submitted on March 19, 2025 for the above referenced project. The Fire Prevention Division of this department has the following comments/concerns.

1. Prior to beginning construction of any buildings, a fire flow test of the new hydrants shall be conducted to verify the actual fire flow available for this project. The Fire Prevention Division of this department shall witness this test and shall be notified a minimum of 48 hours prior to the test.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Layton City.

GM\#1 subdivision site plan:sh  
Plan #S25-047 District #22  
Project Tracker #LAY2503193435  
ERS #12709



# Memorandum

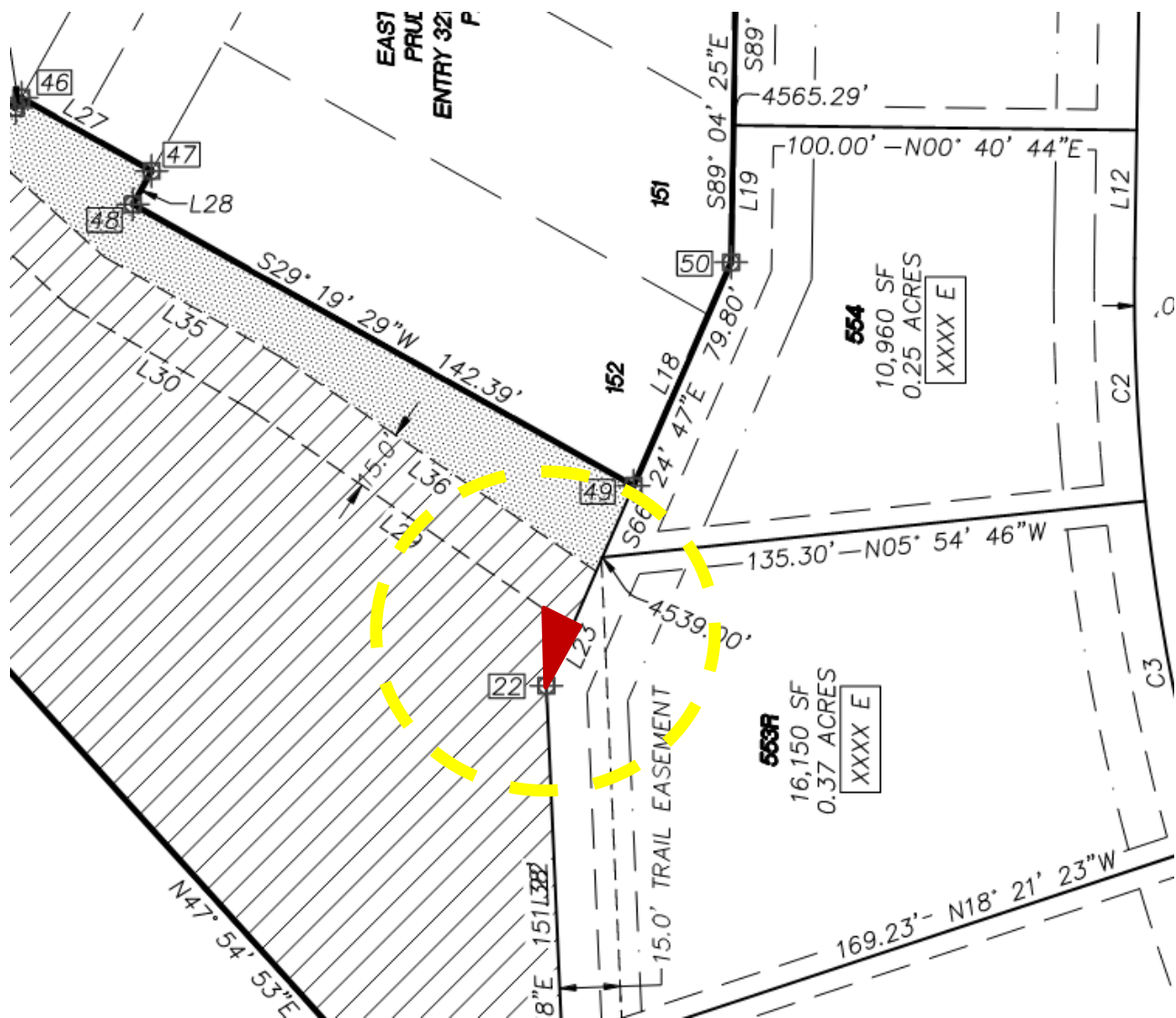
**To:** Cliff Allen  
**CC:** Community Development, Fire, & Engineering  
**From:** JoEllen Grandy, City Landscape Architect – Parks & Recreation  
**Date:** March 25, 2025  
**Re:** Eastridge Park PRUD PH 5E, Final Approval – 1900 N. Emerald Dr  
**Review:** Review 1

---

Eastridge Park PRUD Phase 5E located at approximately 1900 North Emerald Drive is within the future service area of South Fork Park Open Space.

The Parks and Recreation Department has reviewed the plans submitted on March 17<sup>th</sup> and has the following comments:

- Label the Trail Easements on the Plat to say the following instead:
  - “15’ WIDE PUBLIC TRAIL & ACCESS EASEMENT DEDICATED TO LAYTON CITY”
  - “20’ WIDE PUBLIC TRAIL & ACCESS EASEMENT DEDICATED TO LAYTON CITY”
- Maintain 15’ through the area. The area shown in red below also needs to be included as part of the easement:



Provided the notes are acknowledged above, the Parks and Recreation Department has no other comments or concerns regarding Eastridge Park PRUD PH 5E.

**Attention Engineers & Developers:** Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a preliminary submittal and within 20 business days of a final submittal. Thank you







EASTRIDGE  
PARK PRUD  
PHASES 5D AND 5E

APPROXIMATELY  
1900 NORTH  
EMERALD DRIVE

FINAL PLATS

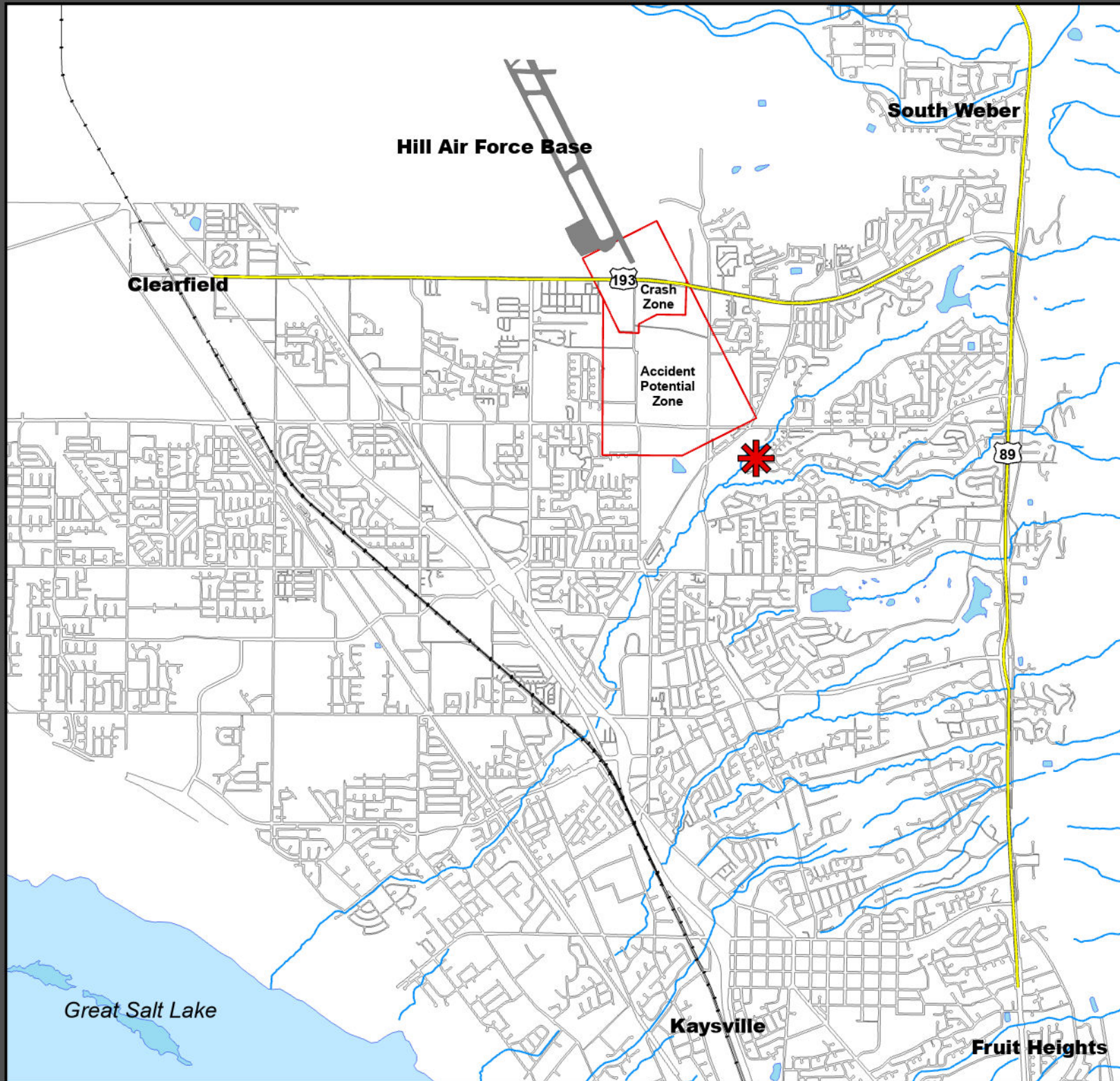
### Legend

- City Boundary
- Rail Lines
- APZ
- Interstate 15
- Lakes
- Streams

- Project Site



Map 1











**EASTRIDGE  
PARK PRUD  
PHASES 5D AND 5E**

**APPROXIMATELY  
1900 NORTH  
EMERALD DRIVE**

**FINAL PLATS**

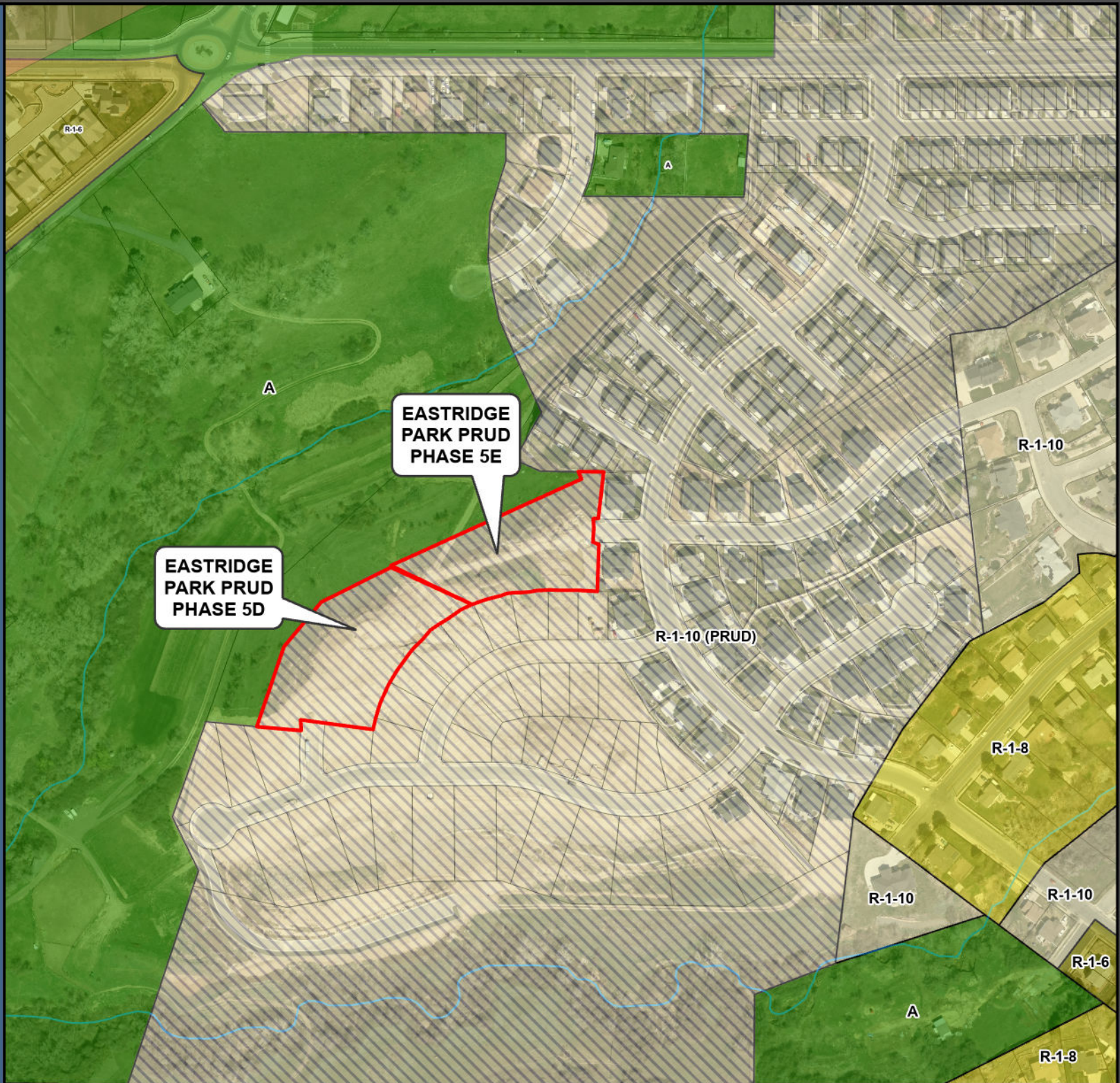
**Legend**

-  Interstate Highways
-  City Boundary
-  Lakes
-  Streams

 - Project Area



**Map 2**







**EASTRIDGE  
PARK PRUD  
PHASES 5D AND 5E**

**APPROXIMATELY  
1900 NORTH  
EMERALD DRIVE**

**FINAL PLATS**

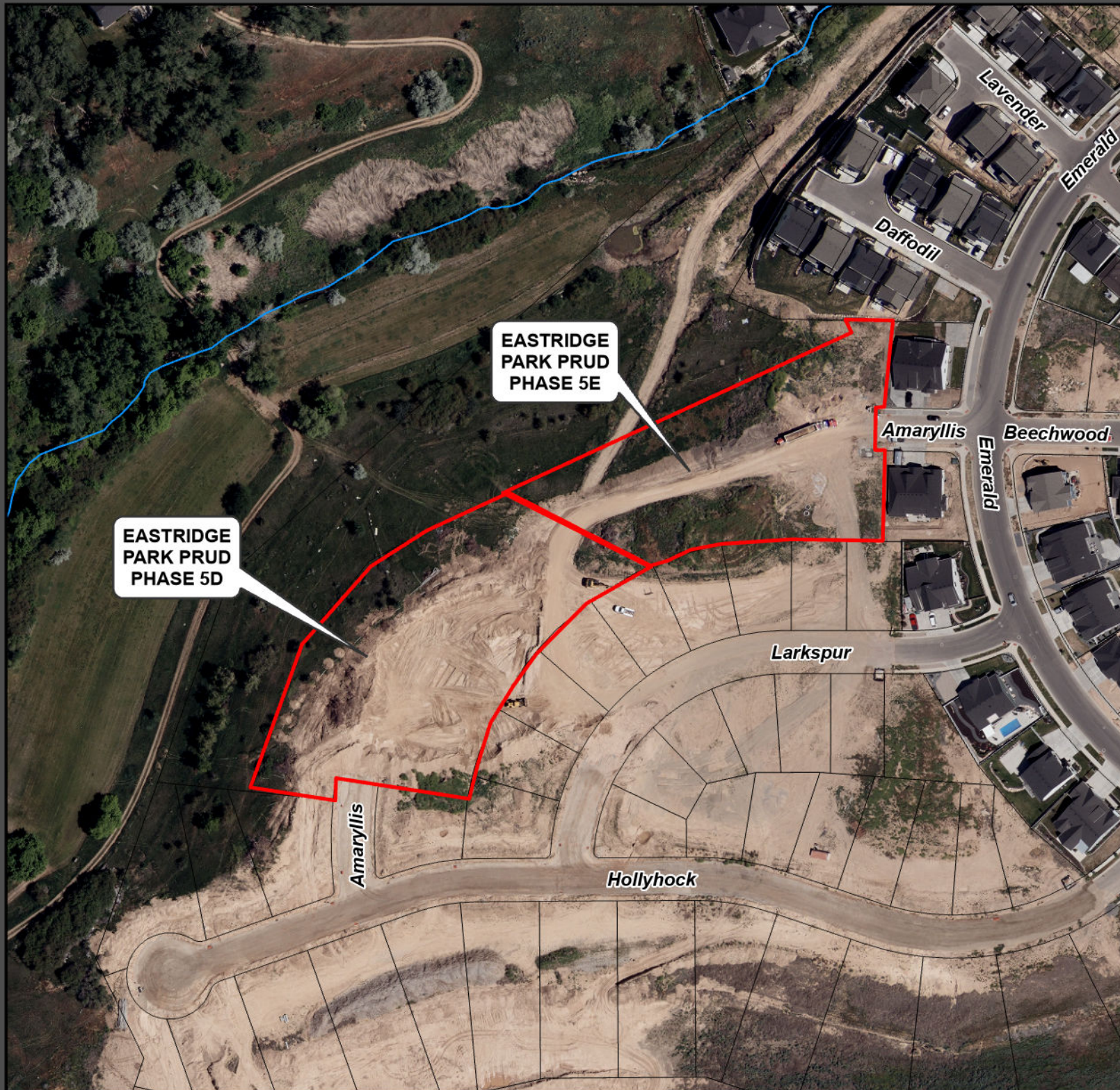
**Legend**

-  Interstate Highways
-  City Boundary
-  Highways
-  Lakes
-  Streams

 - Project Area



**Map 3**







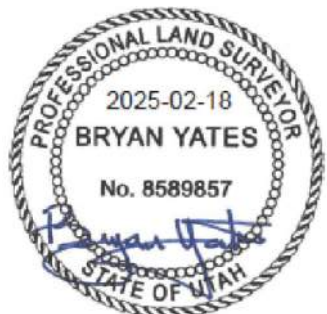


SURVEYOR'S CERTIFICATE

I, BRYAN YATES, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 8589857 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE THE SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS:

EASTRIDGE PARK PRUD PHASE 5D

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.



LEGAL DESCRIPTION

COMMENCING AT A FOUND BRASS CAP SECTION MONUMENT AT THE NORTH QUARTER (N 1/4) OF SECTION 15, TOWNSHIP 4 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE EAST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 15, SOUTH 00°02'24" WEST 1254.99 FEET; THENCE DEPARTING SAID WEST LINE WEST 886.57 FEET TO A POINT ON THE NORTHWESTERLY SUBDIVISION LINE OF EASTRIDGE PARK PRUD PHASE 5C PER ENTRY NUMBER 3609652 IN BOOK 8709 AT PAGE 70 ON FILE AT THE DAVIS COUNTY, UTAH RECORDER'S OFFICE; SAID POINT ALSO BEING THE SOUTH CORNER OF THE PROPOSED EASTRIDGE PARK PRUD PHASE 5E AND THE POINT OF BEGINNING;

THENCE ALONG THE SUBDIVISION LINE OF SAID PHASE 5C THE FOLLOWING NINE (9) COURSES; (1) SOUTH 53°32'46" WEST 3.00 FEET; (2) SOUTH 49°10'00" WEST 52.44 FEET; (3) SOUTH 42°38'48" WEST 30.87 FEET; (4) SOUTH 38°08'27" WEST 24.66 FEET; (5) SOUTH 31°52'43" WEST 55.62 FEET; (6) SOUTH 29°42'15" WEST 2.83 FEET; (7) SOUTH 22°44'26" WEST 53.01 FEET; (8) SOUTH 16°50'01" WEST 29.71 FEET; (9) SOUTH 11°24'36" WEST 26.44 FEET TO THE NORTHEAST CORNER OF EASTRIDGE PARK PRUD PHASE 5B PER ENTRY NUMBER 3551833 IN BOOK 8383 AT PAGE 1155 ON FILE AT THE DAVIS COUNTY, UTAH RECORDER'S OFFICE; THENCE DEPARTING SAID PHASE 5C SUBDIVISION LINE AND ALONG THE NORTHERLY SUBDIVISION LINE OF SAID PHASE 5B THE FOLLOWING THREE (3) COURSES; (1) NORTH 82°07'58" WEST 154.47 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; (2) 24.63 FEET ALONG SAID CURVE, HAVING A RADIUS OF 505.00 FEET WITH A CENTRAL ANGLE OF 02°47'39", CHORD BEARS SOUTH 06°28'12" WEST 24.62 FEET; (3) NORTH 84°32'23" WEST 204.17 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF THE PROPERTY OWNED BY BEECHER DAN ADAMS LIMITED PARTNERSHIP- ET AL, PARCEL NUMBER 10-001-0062; THENCE ALONG SAID EASTERLY BOUNDARY LINE THE FOLLOWING TWO (2) COURSES; (1) NORTH 19°02'40" EAST 256.75 FEET; (2) NORTH 47°54'53" EAST 332.09 FEET TO THE WEST CORNER OF THE PROPOSED EASTRIDGE PARK PRUD PHASE 5E; THENCE DEPARTING SAID EASTERLY BOUNDARY LINE OF THE BEECHER DAN ADAMS LIMITED PARTNERSHIP- ET AL PROPERTY AND ALONG SAID PHASE 5E SUBDIVISION LINE THE FOLLOWING THREE (3) COURSES; (1) SOUTH 34°43'36" EAST 144.33 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; (2) 5.09 FEET ALONG SAID CURVE, HAVING A RADIUS OF 505.00 FEET WITH A CENTRAL ANGLE OF 00°34'41", CHORD BEARS SOUTH 54°08'03" WEST 5.09 FEET; (3) SOUTH 36°09'17" EAST 159.37 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED CONTAINS 139,511 SQUARE FEET OR 3.20 ACRES.

BASIS OF BEARING

SOUTH 89°13'30" WEST, BEING THE BEARING OF THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 4 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN. (ROTATE CLOCKWISE 00°21'33" TO EQUAL NAD 83 BEARING, SOUTH 89°35'03" WEST)

OWNER'S DEDICATION

KNOW THAT ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND PUBLIC STREETS TO BE HEREAFTER KNOWN AS:

EASTRIDGE PARK PRUD PHASE 5D

THE UNDERSIGNED OWNERS HEREBY DEDICATES TO LAYTON CITY PUBLIC STREETS. ALSO, THE OWNERS HEREBY CONVEY TO LAYTON CITY AND TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR DRAINAGE AND THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. ALSO, THE OWNERS HEREBY GRANT TO LAYTON CITY A PUBLIC TRAIL AND ACCESS EASEMENT AS SHOWN ON THIS PLAT.

IN WITNESS WHEREOF HAVE HEREUNTO SET THIS DAY OF A.D. 2025.

BY: NAME: CLIFF ALLEN  
TITLE: AUTHORIZED REPRESENTATIVE  
FOR: ADAMS PROPERTY, LLC

LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

ON THE DAY OF A.D., 2025, CLIFF ALLEN PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF DAVIS IN THE STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT ADAMS PROPERTY LLC, A LIMITED LIABILITY COMPANY, THAT HE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES NOTARY PUBLIC  
RESIDING IN COUNTY

PLAT NOTES:

1. THE PROPERTY WITHIN THIS PLAT IS PARTIALLY OR WHOLLY LOCATED WITHIN LAYTON CITY'S SENSITIVE LANDS OVERLAY ZONE, AS SHOWN ON LAYTON CITY SENSITIVE LANDS AND GEOLOGIC HAZARDS MAP DATED 3/14/2008. IN CONJUNCTION WITH THE APPROVAL OF THE EASTRIDGE PARK PRUD SUBDIVISION, SUBDIVISION LEVEL GEOTECHNICAL AND GEOLOGIC STUDIES AND REPORTS WERE CONDUCTED AND PREPARED ON THE PROPERTY. SAID STUDIES AND REPORTS ARE ON FILE FOR PUBLIC INSPECTION WITH THE LAYTON CITY PLANNING DEPARTMENT. EACH INDIVIDUAL LOT OWNER/BUILDING CONTRACTOR/PURCHASER IS RESPONSIBLE FOR COMPLYING WITH THE GEOTECHNICAL STUDIES AND REPORTS COMPLETED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC. (IGES). LAYTON CITY IS NOT RESPONSIBLE FOR ANY ENGINEERING OR INSPECTION FAILURE OR ANY DAMAGES RESULTING THEREFROM. ANY DAMAGE CAUSED TO PUBLIC PROPERTY, PUBLIC INTEREST IN PROPERTY, PUBLIC IMPROVEMENTS, OR PUBLIC FACILITIES IN THE SUBDIVISION, BY EITHER A FAILURE TO COMPLY WITH THE REFERENCED REPORTS, SHALL BE REPAIRED BY THE PARTY FAILING TO COMPLY THEREWITH. EACH LOT OWNER/BUILDING CONTRACTOR WILL BE REQUIRED TO SIGN A DOCUMENT PREPARED BY LAYTON CITY THAT INDICATES THE EXISTENCE OF GEOTECHNICAL REPORTS REGARDING THE SUBDIVISION AND WILL COMPLY WITH SAID REPORTS.

2. ALL UTILITIES AND INFRASTRUCTURE OUTSIDE THE PUBLIC RIGHT OF WAY IN THE ENTIRE DEVELOPMENT ARE TO BE OWNED AND MAINTAINED BY THE HOA, EXCEPT FOR UTILITY MAIN LINES LOCATED IN EASEMENTS.

3. ALL ON-SITE DETENTION BASINS ARE TO BE OWNED AND MAINTAINED BY THE HOA. OFF-SITE DETENTION BASINS ARE TO BE MAINTAINED BY THE HOA.

4. ALL DRAIN LINES FROM RETAINING WALLS, EXCEPT WHERE BUILT ON INDIVIDUAL LOTS, ARE TO BE OWNED AND MAINTAINED BY THE HOA.

5. NOTICE TO ALL LOT OWNERS - THE DEVELOPER HAS RECEIVED A WAIVER ON THIS SUBDIVISION TO ELIMINATE THE LAND DRAIN SYSTEM AND FOOTING/FOUNDATION DRAIN REQUIREMENTS OF SECTION 18.40.020 OF THE LAYTON MUNICIPAL CODE. A COPY OF THE GEOTECHNICAL REPORT IS AVAILABLE FOR REVIEW WITH THE LAYTON CITY ENGINEERING OR COMMUNITY ECONOMIC DEVELOPMENT DEPARTMENTS.

6. SECONDARY WATER HAS BEEN ALLOCATED TO PARCELS BASED ON AN ANTICIPATED LANDSCAPE AREA (INCLUDING THE PARK STRIP) OF NO MORE THAN 64% OF THE GROSS PARCEL SIZE AND THAT 2/3 OF THE LANDSCAPE AREA IS PLANTED IN TURF AND 1/3 OF THE LANDSCAPE AREA IS PLANTED IN LOW WATER USE PLANTS. LARGER TOTAL LANDSCAPE AREAS, HIGHER PERCENTAGE TURF AREAS, INEFFICIENT DESIGN OF IRRIGATION SYSTEM, OR INEFFICIENT OPERATION OF IRRIGATION SYSTEM MAY RESULT IN HOMEOWNER INCURRING ADDITIONAL BILLING CHARGES AND/OR SECONDARY WATER SERVICE BEING SHUT OFF.

AGRICULTURE OPERATION AREA

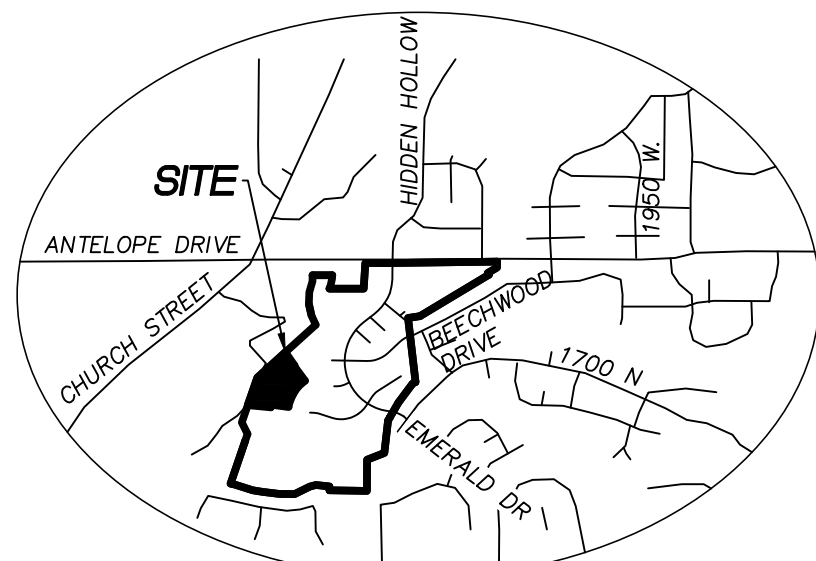
THIS PROPERTY MAY BE LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE OPERATION IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AREA IN WHICH THE AGRICULTURAL OPERATION IS BEING CARRIED ON. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

EASEMENT NOTE:

THE ROCKERY WALLS ON LOTS 549 AND 550 ARE PROTECTED BY RETAINING WALL EASEMENTS HEREBY GRANTED TO LAYTON CITY THAT ARE 10.0' WIDE. 5.0' OF EITHER SIDE OF THE EXISTING CENTER OF SAID ROCKERY WALLS. EACH PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF SAID ROCKERY WALLS. THE WALLS SHALL REMAIN INTACT UNLESS WRITTEN PERMISSION IS GIVEN BY THE CITY.

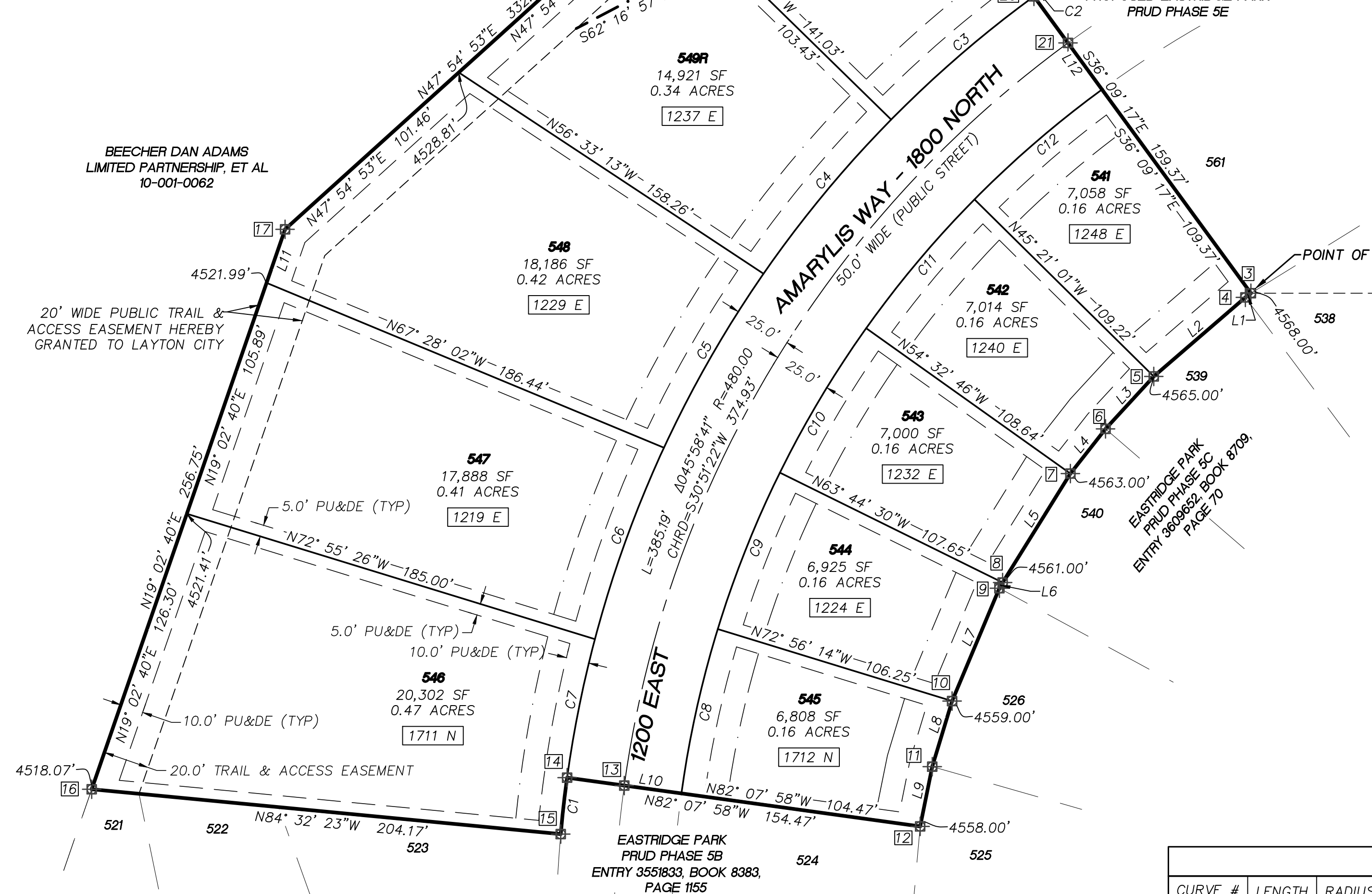
EASTRIDGE PARK PRUD PHASE 5D

LYING WITHIN THE NORTHWEST QUARTER (NW 1/4)  
SECTION 15, TOWNSHIP 4 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
LAYTON CITY, DAVIS COUNTY, UTAH



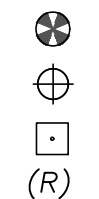
VICINITY MAP

NOT TO SCALE



LEGEND

- MAP BOUNDARY LINE
- LOT LINE
- STREET CENTERLINE
- TIE LINE
- SECTION LINE
- PUBLIC UTILITY AND DRAINAGE EASEMENT
- TRAIL EASEMENT LINE
- BUILDING SETBACK LINE
- FOUND SECTION MONUMENT AS DESCRIBED
- SET REBAR AND CAP STAMPED "REDCON PLS 8589857" UNLESS OTHERWISE NOTED
- CALCULATED POSITION NOTHING FOUND/SET
- RECORD CALL



HIT VENTURES LLC

RECEIVED AND ACKNOWLEDGED  
THIS DAY OF 2025,

MATTHEW HAWKINS

PLANNING COMMISSION APPROVAL

APPROVED THIS DAY OF 2025,  
BY THE LAYTON CITY PLANNING COMMISSION.

LAYTON CITY PLANNING COMMISSION

CITY ATTORNEY APPROVAL

APPROVED AS TO FORM THIS DAY OF 2025.

LAYTON CITY ATTORNEY

CITY ENGINEER APPROVAL

APPROVED THIS DAY OF 2025,  
BY THE LAYTON CITY ENGINEER.

LAYTON CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS DAY OF 2025,  
BY THE LAYTON CITY COUNCIL.

ATTEST: CITY RECORDER MAYOR

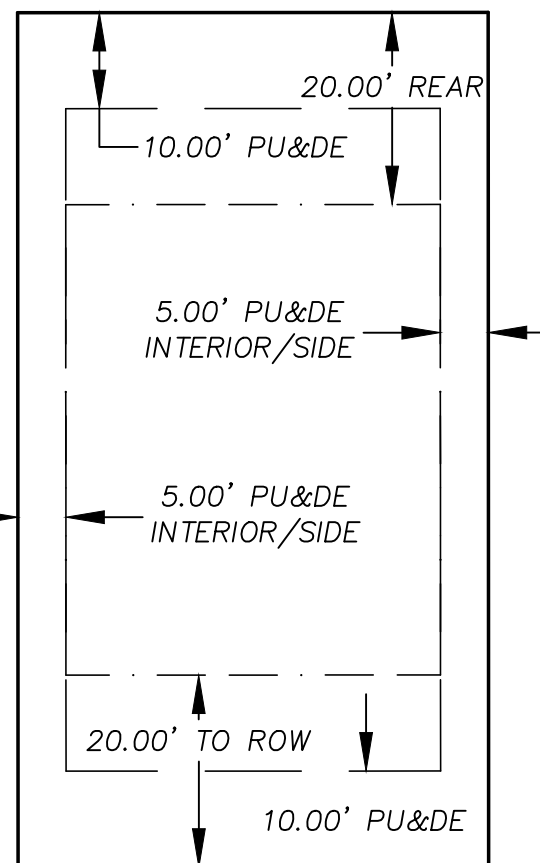
DAVIS COUNTY RECORDER

ENTRY NO. FEE PAID  
FILED FOR RECORD AND RECORDED THIS DAY OF 2025,  
AT IN BOOK OF OFFICIAL RECORDS PAGE

DAVIS COUNTY RECORDER

BY: DEPUTY RECORDER

TYPICAL MIDDLE  
SETBACK, PU&DE DETAIL



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	3.00'	S53°32'46"W
L2	52.44'	S49°10'00"W
L3	30.87'	S42°38'48"W
L4	24.66'	S38°08'27"W
L5	55.62'	S31°52'43"W
L6	2.83'	S29°42'15"W
L7	53.01'	S22°44'26"W
L8	29.71'	S16°50'01"W
L9	26.44'	S11°24'36"W
L10	50.00'	N82°07'58"W
L11	24.56'	N19°02'40"E
L12	50.00'	S36°09'17"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD LENGTH
C1	24.63'	505.00	2°47'39"	S06°28'12"W	24.62'
C2	5.09'	505.00	0°34'41"	S54°08'03"W	5.09'
C3	81.84'	505.00	9°17'06"	S49°12'10"W	81.75'
C4	86.83'	505.00	9°51'04"	S39°38'05"W	86.72'
C5	87.01'	505.00	9°52'20"	S29°46'23"W	86.91'
C6	88.31'	505.00	10°01'10"	S19°49'38"W	88.20'
C7	61.26'	505.00	6°57'01"	S11°20'32"W	61.22'
C8	73.02'	455.00	9°11'44"	N12°27'54"E	72.95'
C9	73.02'	455.00	9°11'44"	N21°39'38"E	72.95'
C10	73.02'	455.00	9°11'44"	N30°51'22"E	72.95'
C11	73.02'	455.00	9°11'44"	N40°03'07"E	72.95'
C12	73.02'	455.00	9°11'44"	N49°14'51"E	72.95'

N88° 52' 56"E 2682.73'  
N88° 52' 50"E 2681.51' (R)  
FOUND BRASS CAP  
SECTION 15,  
TOWNSHIP 4 NORTH,  
RANGE 1 WEST, S.L.B.M.

N88° 52' 04"E 2661.13'  
N88° 52' 50"E 2661.45' (R)  
(CALCULATED POSITION)  
SECTION 15,  
TOWNSHIP 4 NORTH,  
RANGE 1 WEST, S.L.B.M.

W 1/4  
SEC 15

CENTER  
SEC 15

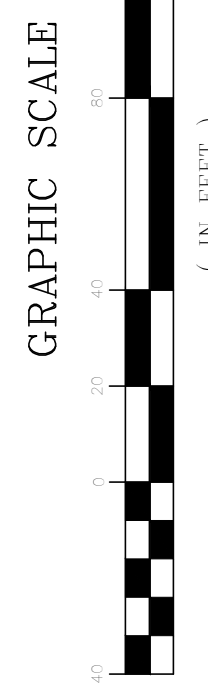
(S00° 02' 24"W 2591.25'  
CALCULATED PER ROS 5038-A)  
N00° 02' 30"E 2590.05' (R)

N 1/4  
SEC 15

NE COR  
SEC 15

(BASIS OF BEARING)  
S89° 13' 30"W 2669.06' (R)  
S89° 13' 30"W 2668.40'  
FOUND BRASS CAP  
SECTION 15,  
TOWNSHIP 4 NORTH,  
RANGE 1 WEST, S.L.B.M.

FOUND BRASS CAP  
SECTION 15,  
TOWNSHIP 4 NORTH,  
RANGE 1 WEST, S.L.B.M.



GRAPHIC SCALE  
(IN FEET)  
1 inch = 10 feet

EASTRIDGE PARK PRUD PHASE 5D  
LYING WITHIN THE (NW 1/4)  
OF SECTION 15  
TOWNSHIP 4 NORTH, RANGE 1 WEST, S.L.B.M.

REDCON, INC.  
LAND SURVEYORS  
25 SOUTH MAIN STREET, SUITE 200  
CENTERVILLE, UTAH 84014  
(801) 298-2401 FAX (801) 298-2024  
REDCON.COM

JOB NUMBER  
419017

DWG: 419017 PH5D  
DATE: 02/25/2025

SHEET 1 OF 1



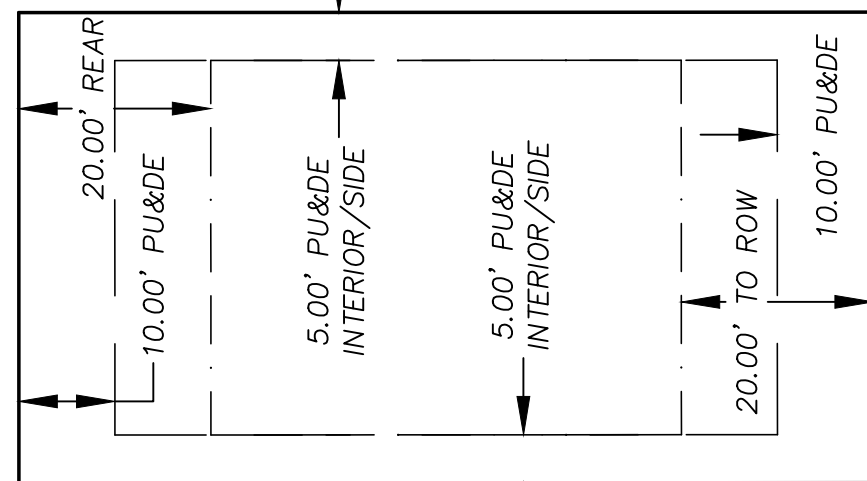
EASTRIDGE PARK  
PRUD PHASE 1A  
ENTRY 2914880, BOOK 6429,  
PAGE 403

EASTRIDGE PARK  
PRUD PHASE 1U  
ENTRY 3488496, BOOK 8053,  
PAGE 980

# EASTRIDGE PARK PRUD PHASE 5E

LYING WITHIN THE NORTHWEST QUARTER (NW 1/4)  
SECTION 15, TOWNSHIP 4 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
LAYTON CITY, DAVIS COUNTY, UTAH

TYPICAL MIDDLE  
SETBACK, PU&DE DETAIL  
UNLESS OTHERWISE NOTED



CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD BRG
C1	5.09'	505.00	0°34'41"	N54°08'03"E
C2	60.28'	505.00	6°50'21"	S87°30'25"W
C3	86.59'	505.00	9°49'26"	S79°10'31"W
C4	88.34'	505.00	10°01'20"	S69°15'08"W
C5	86.53'	505.00	9°49'04"	S59°19'56"W
C6	73.02'	455.00	9°11'44"	S58°26'35"W
C7	73.02'	455.00	9°11'44"	S67°38'19"W
C8	73.02'	455.00	9°11'44"	S76°50'04"W
C9	73.02'	455.00	9°11'44"	S86°01'48"W
C10	2.37'	455.00	0°17'55"	S89°13'23"E

LINE TABLE		
LINE #	BEARING	DIST.
L1	N89°04'25"W	10.00'
L2	S00°55'35"W	50.00'
L3	S89°04'25"E	11.65'
L4	S88°52'07"W	22.29'
L5	S84°28'55"W	55.89'
L6	S82°08'22"W	3.32'
L7	S75°16'52"W	52.37'
L8	S68°56'55"W	30.70'
L9	S64°24'25"W	24.86'
L10	S58°09'27"W	55.43'
L11	N89°04'25"W	82.47'
L12	N89°04'25"W	31.77'
L13	N36°09'17"W	50.00'
L14	S89°04'25"E	61.89'
L15	S89°04'25"E	52.35'
L16	N88°58'59"W	64.00'
L17	S87°28'38"W	41.44'
L18	S66°24'47"E	60.42'
L19	S89°04'25"E	33.95'
L20	S47°54'53"W	52.06'
L21	N87°28'38"E	58.77'

LINE 37-42 DEFINE THE  
BEGINNING WALL EASEMENT  
AND SETBACK LINE FOR  
THE RESTRICTED LOTS

POINT TABLE		
POINT	NORTHING	EASTING
37	192204.57	99293.20
38	192146.44	99240.61
39	192144.69	99242.54
40	192117.25	99217.72
41	192116.34	99218.73
42	192043.78	99153.08
43	192055.96	99136.21
44	192016.88	99100.53
45	191978.38	99078.91
46	191976.97	99081.42
47	191944.71	99063.30
48	191949.36	99055.02
49	191825.22	98985.29
50	191801.04	99040.66

NOTE  
POINTS LISTED  
IN THE POINT TABLE  
ARE MODIFIED STATE  
PLANE COORDINATES.

POINT TABLE		
POINT	NORTHING	EASTING
19	191606.82	98739.68
20	191725.44	98657.46
21	191840.19	98784.52
22	191846.85	98935.75
23	192029.30	98993.92
24	192066.50	98981.58
25	192114.21	99069.40
26	192186.57	99145.16
27	192265.12	99210.91
28	192390.72	99279.95
29	192391.02	99473.14
30	192443.38	99476.49
31	192443.40	99486.51
32	192378.40	99482.35
33	192332.34	99406.22
34	192231.96	99302.49
35	192230.36	99300.44
36	192213.82	99282.97

POINT TABLE		
POINT	NORTHING	EASTING
1	192766.23	102385.18
2	192730.14	99717.03
3	191798.86	99175.74
4	191699.01	99165.87
5	191699.17	99155.88
6	191649.17	99155.07
7	191648.99	99166.72
8	191543.87	99165.02
9	191545.74	99059.60
10	191545.30	99037.31
11	191539.92	98981.68
12	191539.47	98978.40
13	191526.16	98927.74
14	191515.13	98899.09
15	191504.40	98876.67
16	191475.15	98829.58
17	191563.46	98765.05
18	191603.83	98735.55

DETENTION BASIN EASEMENT  
THE DETENTION BASIN, AS CONSTRUCTED, IS AN INTEGRAL PART  
OF THE SUBDIVISION INFRASTRUCTURE. THE DETENTION BASIN IS  
PROTECTED BY A PERPETUAL EASEMENT HEREBY GRANTED TO  
LAYTON CITY TO ENSURE IT IS NOT REMOVED OR MODIFIED.

20' WIDE PUBLIC  
TRAIL & ACCESS  
EASEMENT HEREBY  
GRANTED TO LAYTON  
CITY  
BEECHER DAN ADAMS  
LIMITED PARTNERSHIP, ET AL  
10-001-0062

GRAPHIC SCALE

( IN FEET )  
1 inch = 40 ft.

## LEGEND

MAP BOUNDARY LINE
LOT LINE
ADJOINING LOT/PARCEL LINE
RIGHT-OF-WAY LINE
STREET CENTERLINE
THE LINE
BUILDING SETBACK LINE
SECTION LINE
PUBLIC UTILITY AND DRAINAGE EASEMENT
TRAIL EASEMENT LINE
LIMITED COMMON ELEMENT (8,179 S.F.)
COMMON AREA (76,589 S.F.)
FOUND SECTION MONUMENT AS SHOWN AND DESCRIBED CALCULATED POSITION NOTHING FOUND/SET RECORD CALL

## DAVIS COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025,  
AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS PAGE \_\_\_\_\_

DAVIS COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY RECORDER

EASTRIDGE PARK PRUD PHASE 5E

LYING WITHIN THE (NW 1/4)

OF SECTION 15

TOWNSHIP 4 NORTH, RANGE 1 WEST, S.L.B.M.

REDCON, INC.

LAND SURVEYORS  
25 SOUTH MAIN STREET, SUITE 200  
CENTERTOWN, UTAH 84014  
(801) 298-2401 FAX (801) 298-2024  
REDCON.COM

JOB NUMBER  
419017

DWG: 419017 PHSE  
DATE: 02/25/2025

SHEET 2 OF 2

SCALE (H): 1" = 40'

DRAWN BY: P. RICHTER

CHECKED BY: B. YATES

TAX ID NO.

UTAH

DAVIS COUNTY

LAYTON CITY

**LAYTON CITY  
AGENDA ITEM COVER SHEET**

**Item Number:** 4

**Subject:** Proposed amendments to Layton City Municipal Code, Title 19 “Zoning”, Chapter 19.02 “Definitions” and Chapter 19.13 “Development Plan Requirement for New Construction of a Single or Two-Family Dwelling in Layton City” to Establish a Definition and Design Standards for Orientation of the Front Façade and Location of a Front Door for Single and Two-Family Dwellings

**Staff Contact:** Brad McIlrath, City Planner

**Background:**

Staff has prepared a draft amendment to codify the orientation of a single and two-family home as well as the location of the front door of those homes. The purpose of this amendment is to require that the front façade and front doors of homes are oriented towards the front property line and not to the side or rear lot lines of a property. The intent is to provide for a consistent orientation of homes throughout the city and greater ease of access to the front door of a home from nearest public or private sidewalk in a development.

There are certain circumstances wherein a property owner may want to orient the home to the side or rear of a property. These circumstances usually present themselves with infill lots within existing subdivisions or flag lots. By orienting homes to the side or rear of properties, even in these limited circumstances, the home becomes inconsistent with the development pattern and character of the neighborhood. A unified and cohesive character for single and two-family dwellings is desirable to promote the livability and character of the community. The draft amendment would require that the front façade of a home faces the street and that a front door is required along the front façade. These requirements will assist to promote uniformity and common character of residential areas within the City.

**Recommendation:**

Staff recommends the Planning Commission forward a recommendation of approval to the City Council to adopt the proposed amendments to Title 19 “Zoning”, Chapter 19.02 “Definitions” and Chapter 19.13 “Development Plan Requirement for New Construction of a Single or Two-Family Dwelling in Layton City” as proposed.



## 19.02.020 Definitions

**"Yard, Front":** Any yard between the front lot line and the setback line of a main building and extending for the full width of the lot or parcel. (See Diagram A-2).

**"Façade, Front":** means the building façade that is parallel or nearly parallel (including slightly skewed orientations) to the street from which the building derives its primary access. The front facade of a building may face a common open space or passageway as part of a master planned development.

## 19.13.050 Development Plan Requirements For New Construction Of A Single Or Two-Family Dwelling In Layton City

Applications for new construction of a single-family or two-family dwelling in Layton City shall be accompanied by and shall comply with the following:

1. Appropriate application form and fees.
2. One copy of the development plan shall be required, which plan shall include a site plan and an architectural plan with appropriate drawings of adequate scale showing building materials, exterior elevations, and floor plans of all proposed structures.
3. The following design criteria shall be required:
  - a. both the exterior building design and the exterior building materials of all buildings shall be of sufficient quality, durability, and resistance to the elements to satisfy the purpose of this Chapter. Exterior siding materials may include, but shall not be limited to, brick, concrete, glass, metal lap, vinyl lap, tile, stone, stucco, and/or wood. All exterior materials shall be installed in a professional workmanlike manner and be guaranteed to be maintenance-free for at least ten years. Finishes upon exterior materials shall be guaranteed maintenance-free for a minimum of five years. Materials or finishes without such guarantees shall not be permitted. Guarantees shall be in writing from the manufacturer.
  - b. each dwelling shall have a site built concrete or masonry foundation around the entire perimeter with interior supports capable of supporting all design loads including wind, seismic, and roof loads as required by the current design provisions. The dwelling shall be permanently tied to the foundation system in accordance with approved, engineered specifications.
  - c. the roof of each dwelling shall have a minimum pitch of 2.5":12". At non-gable ends of the roof, there shall be an overhang at the eaves of not less than 12" inclusive of rain gutters. For homes with cantilevered rooms, 60% of the eaves length shall have a 12" eave. The roof overhang shall be measured perpendicular to the vertical side of the dwelling. Unfinished galvanized steel or aluminum

roofing shall not be permitted. These pitch and overhang provisions shall not apply to porch covers, bay windows, or similar appendages.

- d. each dwelling shall be not less than 20' in depth at the narrowest point. The depth shall be considered to be the lesser of the two primary dimensions of the dwelling exclusive of attached garages, bay windows, room additions, or other similar appendages.
- e. any previously occupied dwelling which is to be moved from an existing location to a lot within Layton City shall be inspected by the Building Official of Layton City, or a designated representative, prior to the move to ensure that it meets applicable building codes.
- f. landscaping on residential lots shall comply with the following:
  - i. landscaping shall be installed in front yards between the front line of the house and the sidewalk on the entire width of the lot excluding the driveway. On corner lots, landscaping shall be installed in all areas between the sidewalk and the side of the house between the front property line and the rear property line which are visible from the public right-of-way.
  - ii. landscaping shall include at least one tree and a combination of lawn, shrubs, or groundcover. Groundcover may include vegetative vines, low-spreading shrubs, or annual or perennial flowering or foliage plants. Groundcover may also include mineral or nonliving organic permeable material or nonliving organic permeable material in not more than 50% of the net landscaped area. Mineral groundcover may include such materials as rocks, boulders, gravel, or brick over sand. Species, size, and placement of landscape elements shall be determined by the homeowner.
  - iii. where secondary water is not available, at the time the water supply line to a house is installed, the builder shall furnish and install a stop-and-waste valve with an access sleeve and capped mainline to the surface to facilitate future sprinkler system installation. The stop-and-waste valve may also be located inside the home with a mainline extended to the exterior of the foundation wall and capped.
  - iv. on lots over one-half acre in size, the landscaping shall only be required on 80' of street frontage to the depth of the front yard setback. On corner one-half acre lots, 80' of frontage shall be landscaped on each street. The 80' frontage may include customary access drives.
  - v. front yard landscaping shall be installed within 18 months after the issuance of the certificate of occupancy.
- g. single family residential dwellings shall be provided with a two-car garage having a minimum interior width of 20' and constructed concurrently with the dwelling (see section 19.12.110).
- h. Each dwelling unit shall have a primary pedestrian entrance door (front door) located along the front façade. The front door shall provide direct access into

habitable space of the home. Garage doors, and/or doors located inside or along the exterior wall of a garage shall not be considered a primary pedestrian entrance.

~~g~~.i. There shall be a clear pathway at least 4' wide extending from the front door to the nearest public or private sidewalk, walkway or right-of-way if no sidewalk exists, an approved driveway may function as a portion of the pathway.

~~h~~.j. each dwelling must be provided with 400 cubic feet of storage space. Said space may be added to the minimum dimension of the garage or located as a separate space to the rear of the home.

~~i~~.k. final grading of individual lots shall be performed in such a way that excess water shall be contained entirely on the site or directed to an improved street or directed to an approved drainage inlet, drainage channel, or drainage easement. Excess water shall not be allowed to drain onto adjacent private property unless approved as part of an overall system, as reflected in the subdivision approval or otherwise. Residents shall cooperate to ensure that drainage water is properly channeled to and through the proper easements. Rain gutters, in addition to those required by the building code, may be required.

~~j~~.l. in order to allow double driveways, and to allow hard-surface access to the rear yard, up to, but not more than, 40% of a front yard may be hard surfaced.

~~k~~.m. all dwellings shall meet any additional state or federal requirements to be classified and taxed as real property.

~~l~~.n. all single family detached dwellings shall have a minimum area of 900 square feet on the main floor, or floors. A basement shall not be considered as a main floor. Measurements to determine the minimum area of a dwelling shall be taken from the outside of foundation walls.

~~m~~.o. the site plan shall reflect all easements on the property.

~~n~~.p. in hillside areas, site plans shall reflect the finish grading with contours at an interval of not more than two feet, and shall indicate the location of any retaining structures.

## Diagram A-2

Existing

### Maximum Impervious Surface Coverage

Front Yard Area: 50%

Minimum Rear Yard Setback:

25% Accessory Structures

50% Impervious Surfaces

Entire Property:

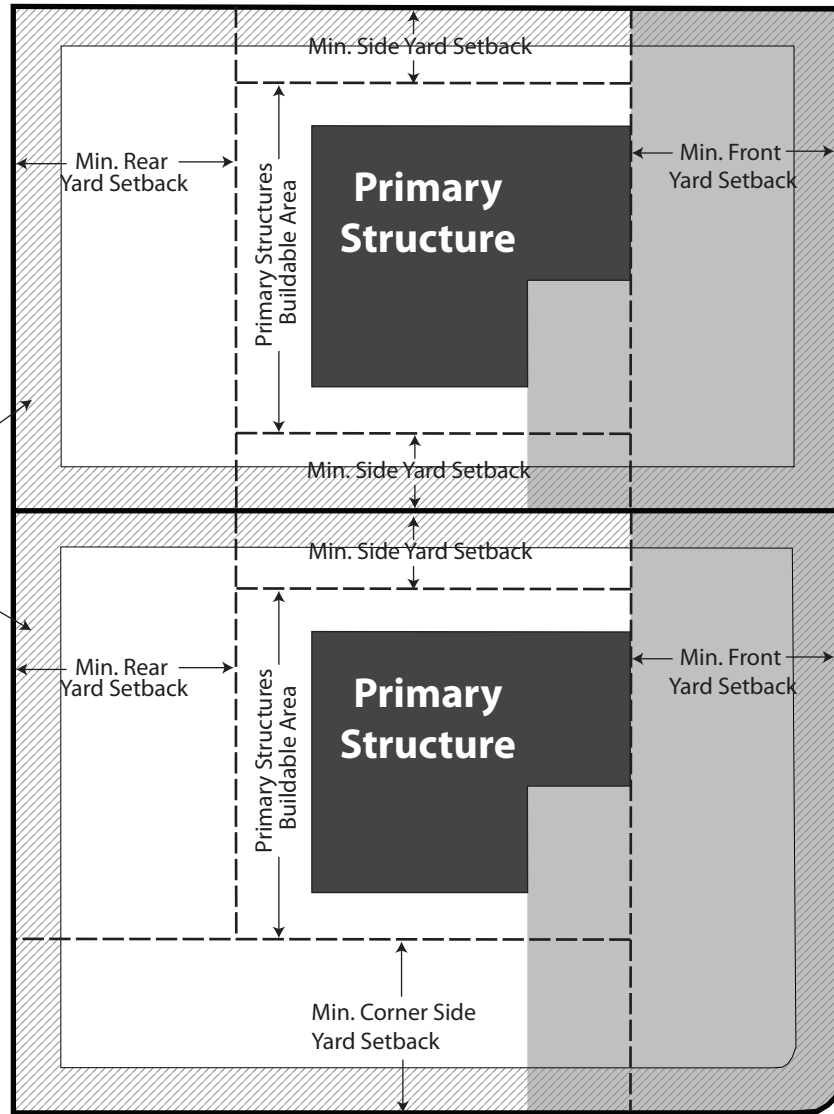
60% Impervious Surfaces

- Public Utility & Drainage Easement (PU&DE)
- Front Yard Area

Interior Lot

Structures over 200 square feet, footings, or foundation shall not be located within the PU&DE

Corner Lot



Street Frontage



## Diagram A-2

Proposed

### Maximum Impervious Surface Coverage

Front Yard Area: 50%

Minimum Rear Yard Setback:

25% Accessory Structures

50% Impervious Surfaces

Entire Property:

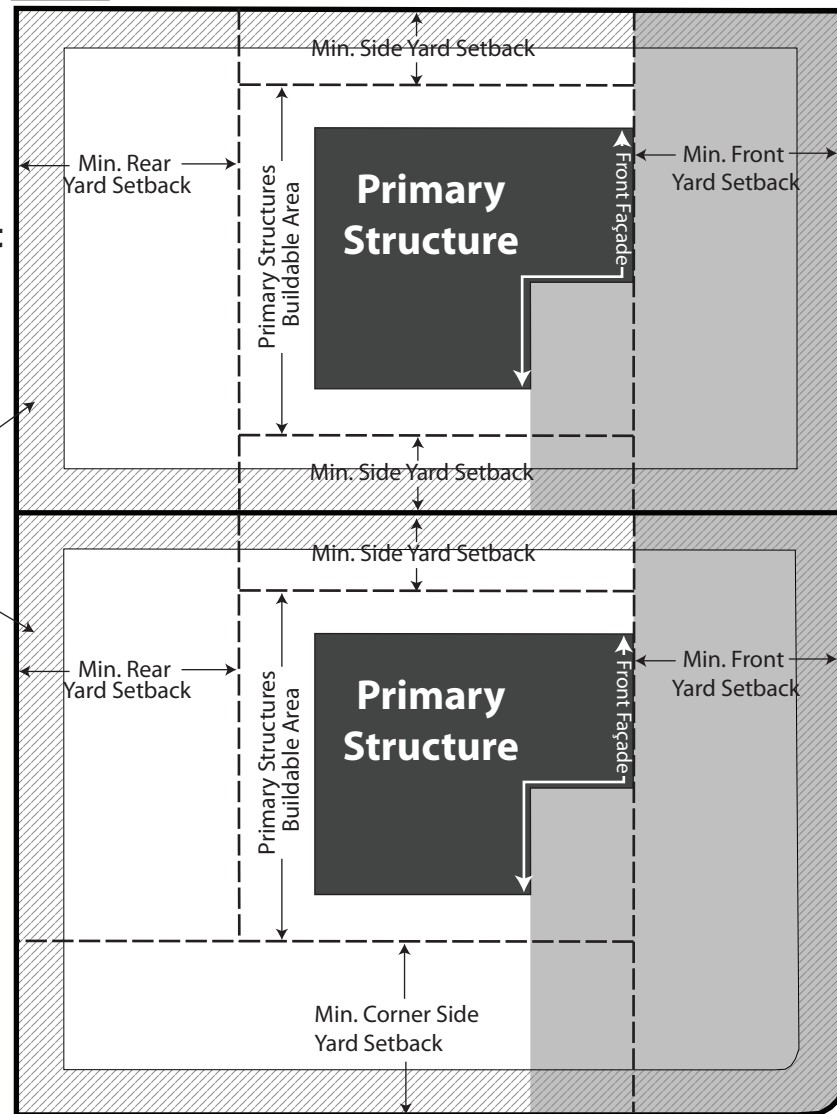
60% Impervious Surfaces

Public Utility & Drainage Easement (PU&DE)  
Front Yard Area

Interior Lot

Structures over 200 square feet, footings, or foundation shall not be located within the PU&DE

Corner Lot



Street Frontage

Street Frontage