

Planning Commission Staff Report

File # 4S25 – SUB-000525-2025

**Public Hearing and Consideration for a Subdivision Plat
Amendment Allowing a Two-Family Lot Split for the Properties
Located at 4719 & 4717 South Cathay Circle in Taylorsville,
Utah.**



Department of Community Development

Date:	June 24, 2025
Meeting Date:	July 8, 2025
Agenda Item:	Public Hearing and Consideration for a Subdivision Plat Amendment Allowing a Two-Family Lot Split for the Properties Located at 4719 & 4717 South Cathay Circle in Taylorsville, Utah.
Subject Property Address:	4719 S. Cathay Cir.
Applicant:	Weston Beltran on behalf Michael Williams
Applicant Agent:	N/A
Author:	Terryne Bergeson, Planner I
Zoning Designation:	R-2-8
General Plan Designation:	Medium-Density Residential
Parcel #:	21112260350000
Applicable Ordinances:	Including, but not limited to 13.20 ; 13.21 ; and 13.30
Agenda item #:	4

Attachments:

Exhibit A: Zoning Map
Exhibit B: General Plan Map
Exhibit C: Site Map
Exhibit D: Vicinity Map

Exhibit E: Xanadu Subdivision Plat
Exhibit F: Civil Plans
Exhibit G: Draft Plat
Exhibit H: Consolidated Comments

Summary

The property at 4719 South Cathay Circle is currently one lot, identified as Lot 27 on the Xanadu subdivision plat. The lot is part of a duplex development and over the years many of the properties have been subdivided to create twin homes out of the existing duplexes. Weston Beltran has submitted an application on behalf of the property owner requesting preliminary approval for the two-family lot split to create two lots. All required documents have been submitted and show compliance with key standards so that the Planning Commission may consider preliminary approval of the subdivision request. Staff has determined that there are some outstanding items that will need to be addressed prior to the final recording of the plat, discussed in this report and listed as conditions of final approval.

Site Description

Adjacent Land Uses

North	South	East	West
R-2-8	R-2-8	R-M-4	R-2-8

Land Development Code Analysis

General Plan Analysis

The Proposed Land Use Map in the General Plan sets the foundation for all land uses within the City of Taylorsville. The subject properties are designated as “Medium Density Residential” on the Proposed Land Use Map. The General Plan describes the intent of the Medium Density Residential designation (pg 3-4):

“Medium Density Residential (MDR) districts are residential areas that contain existing or proposed residential development with a density between 6 and 8.9 dwellings per acre. Land assigned the MDR classification typically contains townhouse and condominium type developments as well as higher density single family dwelling neighborhoods (i.e. R-1-5 zoning districts).”

The proposed subdivision amendment will not affect the number of units per acre and is consistent with the General Plan designation.

Zoning Designation Analysis

Properties located within the Xanadu subdivision are zoned R-2-8. The intent of this zoning designation is described below:

“R-2 Districts (Two-Family): R-2 districts are established to provide a residential environment within the City that is characterized by slightly higher densities than single-family districts, single-family housing interspersed with two-family housing, a variety of housing sizes, a minimum of vehicular traffic, and quiet residential neighborhoods favorable for family life.”

The draft plat (Exhibit G) illustrates the area and lot width for each new proposed lot: lot 101 will contain 3,379 SF with a width of 33.37’ and lot 102 will have 3,198 SF, 31.63 ‘ wide. These dimension meet the minimum standards for R-2-8 lots listed in [Section 13.20.030\(Note 2\)](#):

"Single-family and duplex lots must have at least 8,000 square feet and 70 feet of width. Each side of a twin home lot must have at least 3,000 square feet and 30 feet of width."

Development Standards Analysis

Civil plans (Exhibit G) illustrate the existing conditions of the property. Utilities serving each unit will be maintained on the respective lots. Building code requires that a building bisected by a property line must have 2-hour fire rated wall separating the two units. The survey also shows a covered patio that is encroaching within the setback, which will need to be removed so that the existing structure complies with the standards of the underlying zone. The removal of the structure can be completed with the building permit application (RBLD-307692-2025) for the installation of the required fire rated wall. The building department has stated that the permit must be closed prior to the final recording of the plat.

Public Comment

Public notice was sent to all property owners within 300 feet of the property on June 27, 2025. Staff have received no calls in response to the notice.

Findings

1. Michael Williams owns the property at 4719 S Cathay Cir (parcel ID 21112260350000).
2. The property is identified as lot 27 on the Xanadu subdivision plat.
3. The lot is zoned R-2-8 and contains one duplex.
4. The lot meets the area and width requirements in the Taylorsville Land Development Code to be subdivided into two lots.
5. Michael Williams has submitted a complete subdivision amendment application to subdivide lot 27 to create two twin homes.
6. The Planning Commission is the deciding body for preliminary subdivision plat amendment requests.
7. The applicant has received comments regarding revisions needed to show compliance with applicable standards.
8. All reviewing agencies must approve the draft prior to recording the final plat.
9. The Salt Lake County Recorder office will review and must approve of the draft prior to final recording of the plat.

Conditions of Approval

Staff recommends approval of the request, subject to the following conditions:

1. The applicant shall comply with the requirements of all reviewing agencies.
2. A building permit must be issued and completed to meet requirements for fire-rated walls and setbacks for covered patio to be in compliance with building code and city standards, prior to recording the final plat.
3. The director is authorized to issue final approval.
4. The draft plat must be approved by the Salt Lake County Recorder's office.

Staff Recommendation

Staff recommends that the Planning Commission approve File #4S25 – SUB-000525-2025, approving a subdivision plat amendment allowing a two-family lot split for the properties located at 4719 & 4717 South Cathay Circle in Taylorsville, Utah.

Recommended Motion

I move that we approve approve File #4S25 – SUB-000525-2025, approving a subdivision plat amendment allowing a two-family lot split for the properties located at 4719 & 4717 South Cathay Circle in Taylorsville, Utah.

Exhibit A

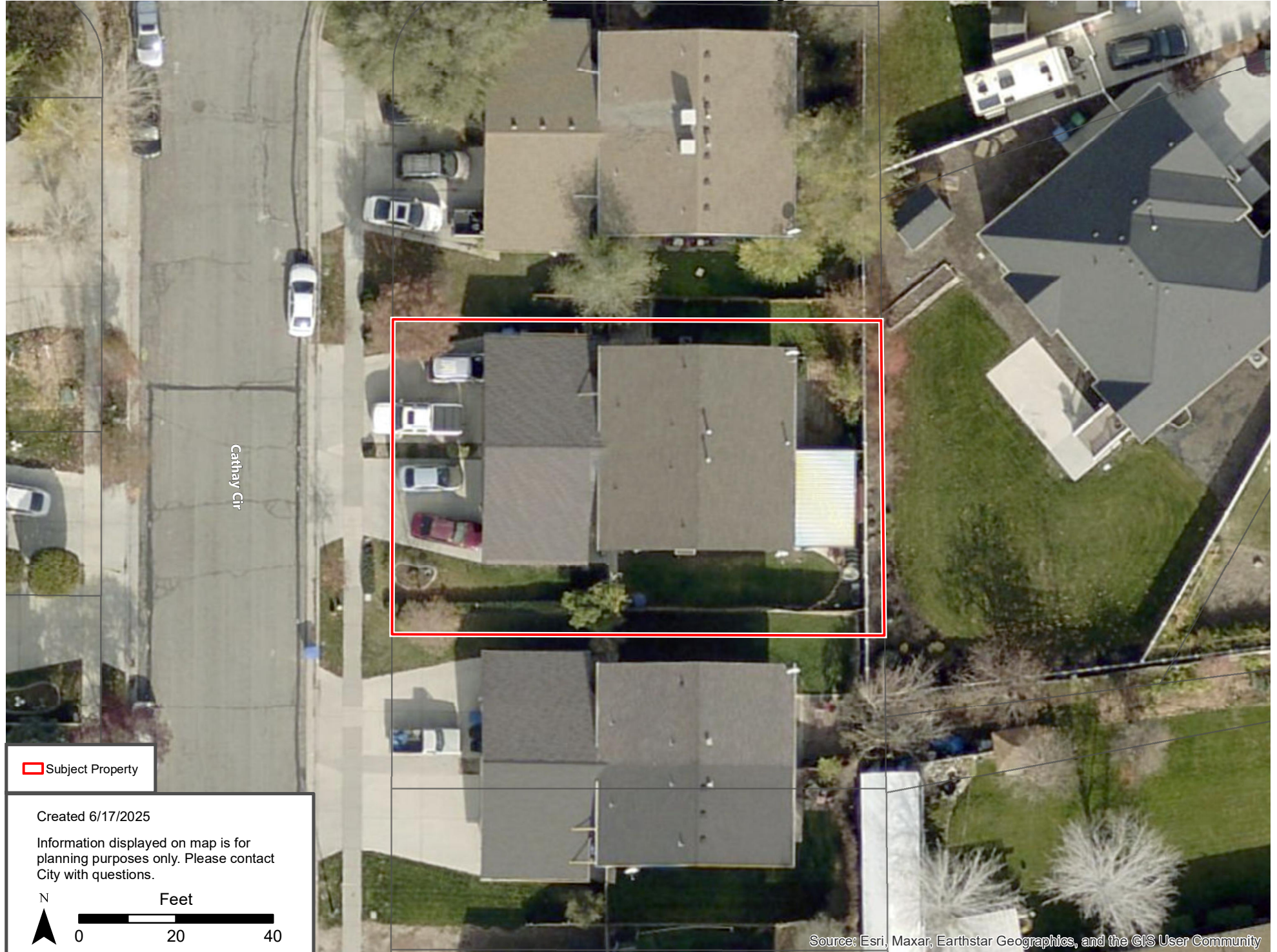
Zoning Map: 4719 S Cathay Cir



General Plan Map: 4719 S Cathay Cir



Site Map: 4719 S Cathay Cir



Vicinity Map: 4719 S Cathay Cir

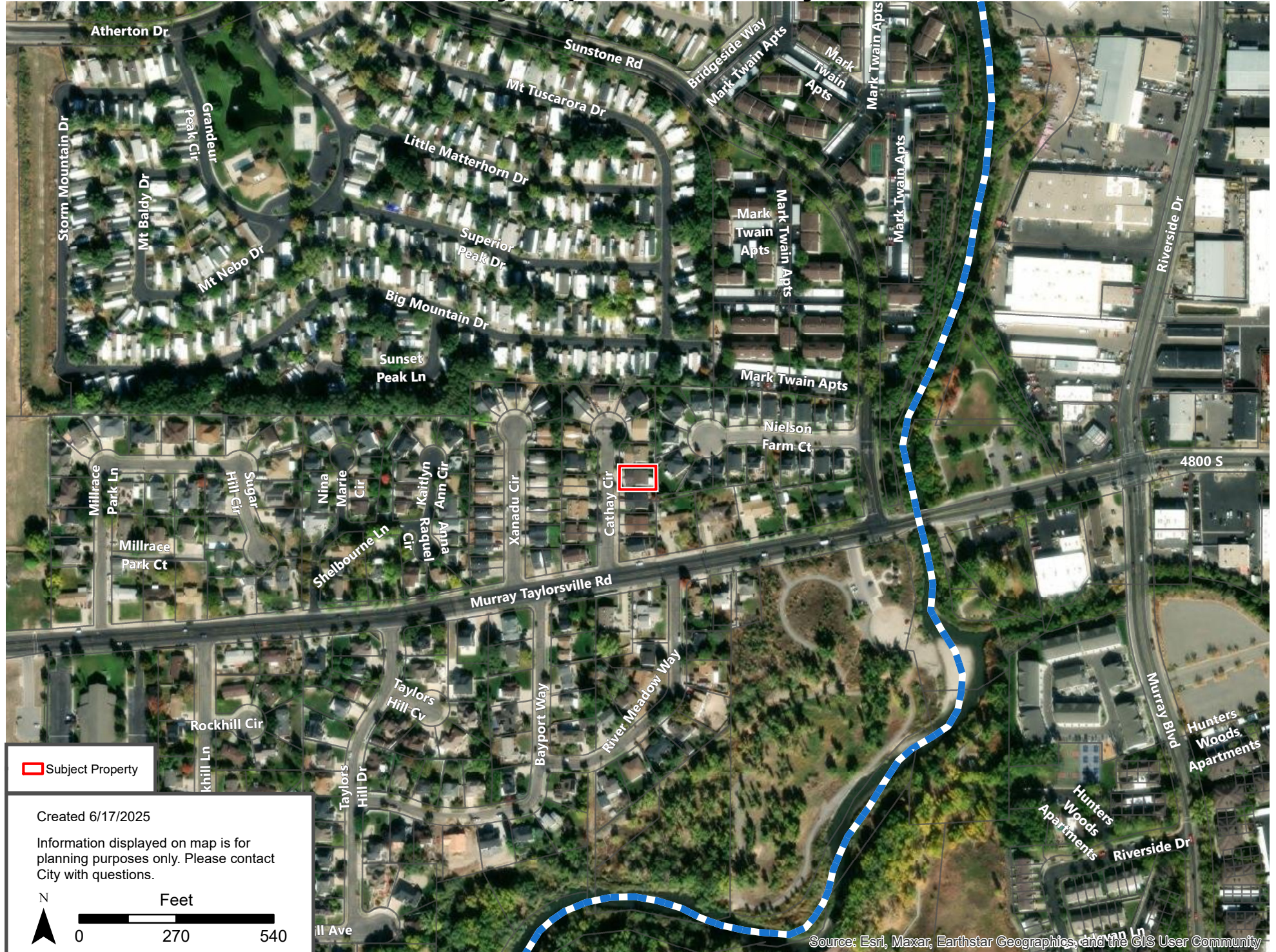
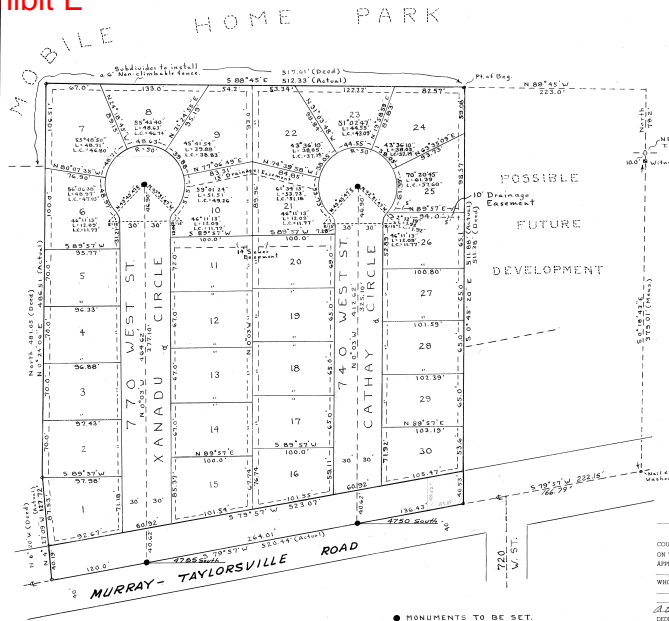


Exhibit E



● MONUMENTS TO BE SET.

✱ FIRE HYDRANTS TO BE INSTALLED.

Note: There is a 5.0' Public Utility drainage easement along all roadside property lines. Also a 5.0' Public Utility and drain line easement along all back lot lines as shown on this plat.

PLANNING COMMISSION APPROVED THIS <u>22</u> DAY OF <u>SEPTEMBER</u> , A.D. 19 <u>82</u> , BY THE SALT LAKE COUNTY PLANNING COMMISSION.	BOARD OF HEALTH APPROVED THIS <u>23</u> DAY OF <u>SEPTEMBER</u> , A.D. 19 <u>82</u> .	FLOOD CONTROL DEPT. APPROVED THIS <u>28</u> DAY OF <u>DECEMBER</u> , A.D. 19 <u>81</u> .	COUNTY ENGINEER I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT TO THE INFORMATION ON FILE IN THIS OFFICE.
BY <u>James L. Taylor</u> COUNTY ENGINEER	BY <u>Robert J. Phillips</u> BOARD OF HEALTH	BY <u>Robert J. Phillips</u> FLOOD CONTROL DEPARTMENT	BY <u>Robert J. Phillips</u> COUNTY ENGINEER

APPROVAL AS TO FORM APPROVED TO FORN THIS <u>14</u> DAY OF <u>MARCH</u> , A.D. 19 <u>82</u> .	COUNTY COMMISSION PRESENTED TO THE BOARD OF SALT LAKE COUNTY COMMISSION THIS <u>14</u> DAY OF <u>MARCH</u> .
BY <u>Robert J. Phillips</u> COUNTY COMMISSION	BY <u>Robert J. Phillips</u> COUNTY COMMISSION

SURVEYOR'S CERTIFICATE		
I, <u>Robert J. Phillips</u> , do hereby certify that I am a Registered Civil Engineer, and or Land Surveyor, and that I hold certificate No. <u>2271</u> , as prescribed under the laws of the State of Utah. I further certify that by authority of the Owner, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as <u>XANADU</u> , and that some has been correctly surveyed and staked on the ground on this plat.		
BOUNDARY DESCRIPTION		
COURSE	DIST	REMARKS
North	70.2	Beginning at a point which is
N88°55'	223.0	ft. and
S64°30'	511.88	ft. from the NE Corner of Section 11, T.25, S.15, R.1W, and running thence
S70°57'	520.44	ft. to the centerline of 4800
N67°00'	127.72	ft. thence
N62°00'	586.31	ft. along said centerline; thence
S68°58'	212.33	ft. to the point of beginning.
I further certify that all lots meet the frontage, width and area requirements of the applicable zoning ordinance.		
D-16-B1 Robert J. Phillips DATE		
OWNER'S DEDICATION		
Know all men by these presents that, the undersigned owner (I) of the above described tract of land, having caused same to be subdivided into lots and streets to be hereinafter known as the <u>XANADU</u> , do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public use.		
In witness whereof, I have hereunto set my hand and seal this <u>14</u> day of <u>MARCH</u> , A.D. 19 <u>82</u> .		
BY <u>Robert J. Phillips</u> <u>Robert J. Phillips, General Partner</u>		
ACKNOWLEDGMENT		
STATE OF UTAH (S.S.) County of Salt Lake On this <u>14</u> day of <u>MARCH</u> , A.D. 19 <u>82</u> , personally appeared before me, the undersigned Notary Public, in and for said County of Salt Lake and State of Utah, the signor, (I) of the above Owner's dedication, in number, who duly acknowledged to me that <u>he</u> signed it freely and voluntarily and for the uses and purposes therein mentioned.		
MY COMMISSION EXPIRES <u>11-3-85</u> <u>Robert J. Phillips</u> NOTARY PUBLIC RESIDING IN SALT LAKE COUNTY		
XANADU		
located in Secs 24, 11, T.25, R.1W.		
SALT LAKE BASE & MERIDIAN REQUIRED ± 2467156 STATE OF UTAH, COUNTY OF SALT LAKE, AND FILED AT THE REC. OFFICE OF BY <u>Phis Enterprises</u> DATE <u>4-19-82</u> TIME <u>10:58AM</u> <u>82-4-30</u> \$25.00 ASSET DEPT. SALT LAKE COUNTY RECORDS		

82-4-30

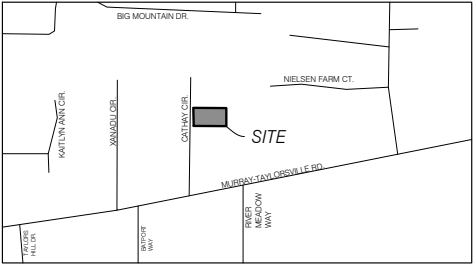
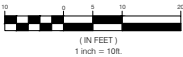
82-4-30

XANADU LOT 27 SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
TAYLORSVILLE CITY, SALT LAKE COUNTY, UTAH



GRAPHIC SCALE



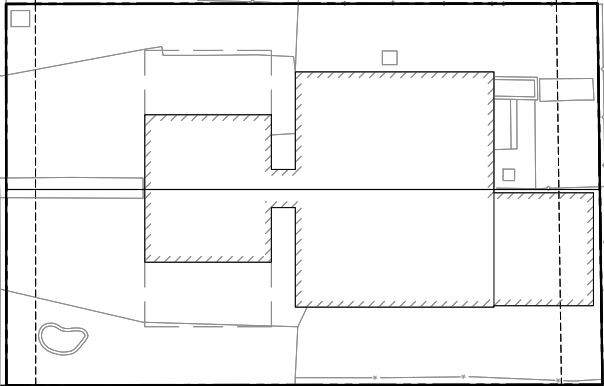
VICINITY MAP
N.T.S.

MICHAEL WILLIAMS
8950 S 280 E SANDY, UT 84070
801.979.4985
sundance4985@gmail.com

DRAWING INDEX

- | | |
|--------|--------------------------------------|
| COVER | COVER SHEET |
| CGN.01 | GENERAL NOTES, LEGEND & ABBREVIATION |
| CSP.01 | SITE PLAN |
| CUP.01 | UTILITY & DRAINAGE PLAN |

CATHAY CIRCLE
(PUBLIC STREET)



PRELIMINARY CIVIL PLANS
NOT FOR CONSTRUCTION

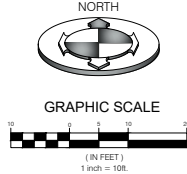
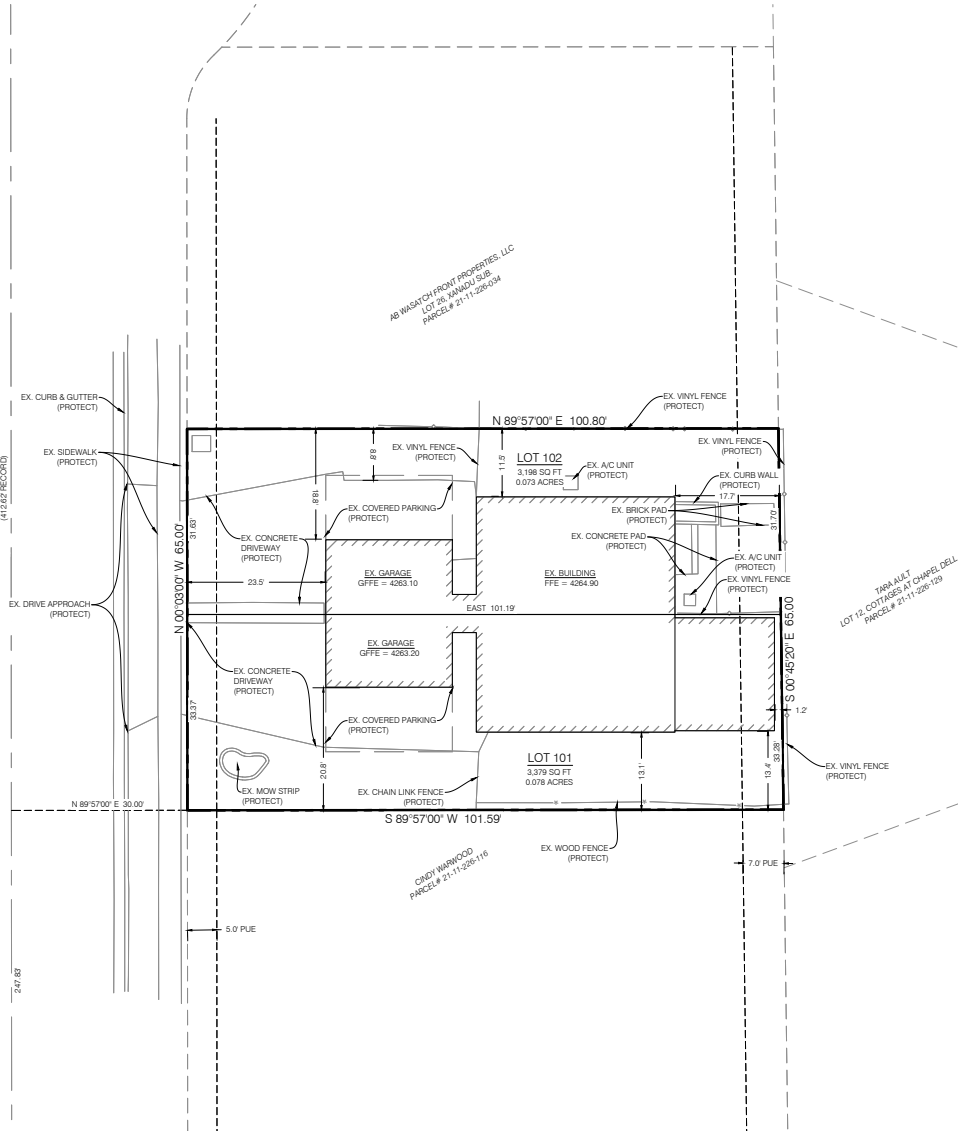
**BENCHMARK
ENGINEERING &
LAND SURVEYING**

9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

XANADU LOT 27 SUBDIVISION 4719 S CATHAY CIRCLE TAYLORSVILLE CITY, UTAH		PROJECT DATE: 8/15/2024	DESIGN DATE: 8/15/2024	REVISION DATE: 8/15/2024	PROJECT NO. 2305113
No.	DATE	DESCRIPTION			COVER
					1 OF 4

CATHAY CIRCLE
(PUBLIC STREET)

BASE OF BEARINGS
N 00°03'00" W 412.73' (MEASURED)
(+/- 1/2" RECORD)



NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT
ACCORDANCE WITH TAYLORSVILLE CITY STANDARDS AND
SPECIFICATIONS



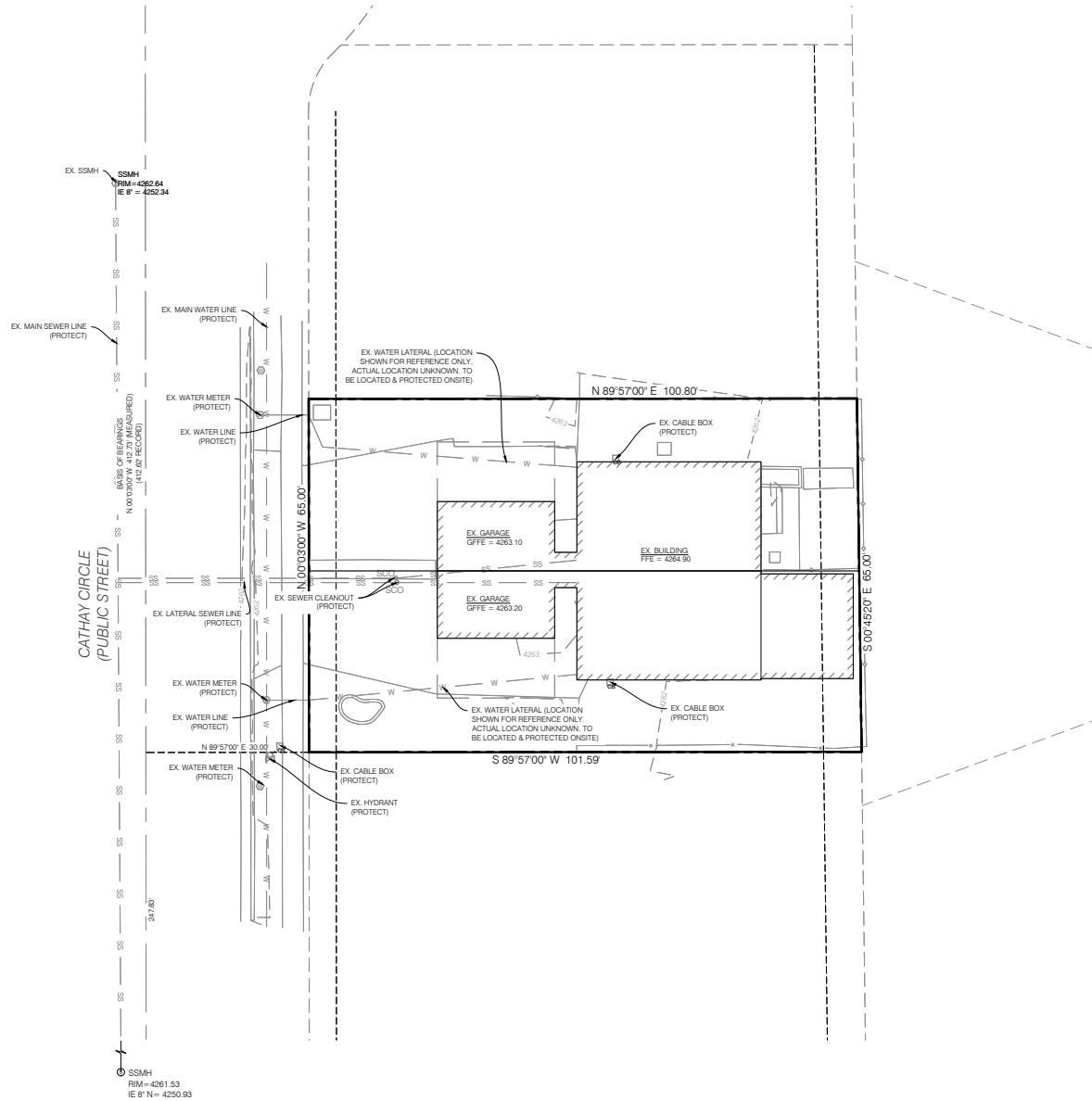
COUNTY FAC		DATE	REVISION
CITY OF AGA			
PROJECT NO. 12/13/2023			
SHEET NO. 280113 SITE			
SCALE: HORIZONTAL: 1" = 100'			
SCALE: VERTICAL: 1" = 10'			
PROJECT: 2305113			
SITE			
PLAN			
CSP.01			
3 OF 4			

BENCHMARK ENGINEERING & LAND SURVEYING
1118 SOUTH STATE STREET SUITE 1100
SANDY, UTAH 84070 (801) 582-7192
www.benchmarkutah.com

PROFESSIONAL ENGINEER
No. 11366633
ALLISON G. ALBERT
STATE OF UTAH

XANADU LOT 27 SUBDIVISION
4719 S. CATHAY CIRCLE
TAYLORSVILLE CITY, UTAH

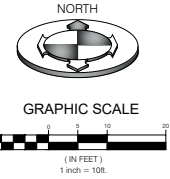
Exhibit F



SURVEY CONTROL NOTE:

THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT INFORMATION TO THE APPROVED PLANNING OFFICIAL. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS NEEDED TO VERIFY OR CORRECT THE CONSTRUCTION LAYOUT. THE CONSTRUCTION LAYOUT PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING, THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT DATUMS OR POINTS SHOWN ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. TO ENSURE THE ACCURACY OF THE CONSTRUCTION LAYOUT, THE SURVEYOR SHALL ALSO USE THE CONSTRUCTION LAYOUT PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

BENCHMARK:
STREET MONUMENT IN THE INTERSECTION OF CATHAY
CIRCLE AND MURRAY-TAYLORSVILLE RD.
ELEVATION = 4260.45



COMPANY	FAC	NO.	DATE	DESCRIPTION
ORDERED BY	AGA			
REG ORDER	KOMP			
DATE	12/13/2023			
DATE IN	2026/13 SITE			
1	0.0			

SCALE MEASURES 1"=100' FULL SIZE SHEETS
 ADJUST ACCORDING TO REDUCED SIZE SHEETS



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www.benchmarkincvt.com



4719 S. CATHAY CIRCLE
TAYLORSVILLE CITY, UTAH

PROJECT NO. 2306113

UTILITY
& DRAINAGE
PLAN

CUP.01
4 OF 4



XANADU SUBDIVISION AMENDED

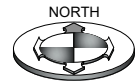
AMENDING LOT 27 OF XANADU SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11,

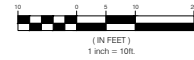
TOWNSHIP 2 SOUTH, RANGE 1 WEST,

SALT LAKE BASE AND MERIDIAN

TAYLORSVILLE CITY, SALT LAKE COUNTY, UTAH



GRAPHIC SCALE



SURVEYOR'S CERTIFICATE

I, BRIAN A. LUNAN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 7240931, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-29-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREFTER TO BE KNOWN AS XANADU SUBDIVISION AMENDED, AMENDING LOT 27 OF XANADU SUBDIVISION AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

A TRACT OF LAND DESCRIBED IN THE FOLLOWING DOCUMENT: WARRANTY DEED, ENTRY NO. 13180255 BOOK 10894 PAGE 86, AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER, LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SAID TRACT OF LAND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 27, XANADU, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

ALSO DESCRIBED AS FOLLOWS: BEGINNING AT A POINT BEING THE NORTHWEST CORNER OF LOT 28 OF XANADU SUBDIVISION, RECORDED APRIL 19, 1982 IN BOOK 82-4 AT PAGE 30 AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER, SAID POINT BEING NORTH 00°00'00" WEST 247.83 FEET AND NORTH 89°57'00" EAST 30.00 FEET FROM THE STREET MONUMENT AT THE INTERSECTION OF 4800 SOUTH & 140 WEST STREETS AND RUNNING THENCE NORTH 00°00'00" WEST 66.00 FEET TO THE SOUTHWEST CORNER OF LOT 28 OF SAID XANADU SUBDIVISION, THENCE NORTH 89°57'00" EAST 100.80 FEET TO THE SOUTHEAST CORNER OF SAID LOT 28, THENCE SOUTH 00°49'20" EAST 65.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 28, THENCE SOUTH 89°57'00" WEST 101.59 FEET TO THE POINT OF BEGINNING.

CONTAINS 6.577 SQ FT OR 0.151 ACRES
2 LOTS



OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREFTER KNOWN AS:

XANADU SUBDIVISION AMENDED
AMENDING LOT 27 OF XANADU SUBDIVISION

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED ALSO DO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN OR NOTED ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN AND/OR NOTED HEREON.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF ____ 20__.

MICHAEL WILLIAMS

ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Salt Lake

ON THE ____ DAY OF ____, A.D. 20 ____, MICHAEL WILLIAMS, PERSONALLY APPEARED BEFORE ME, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE, AND WHO DULY ACKNOWLEDGED TO ME THAT HE SIGNED THE ABOVE OWNERS DEDICATION FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

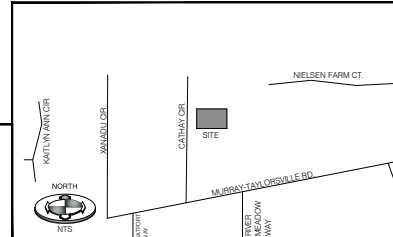
MY COMMISSION EXPIRES: ____ (DATE) COMMISSION NUMBER: ____

PRINT NAME: ____ NOTARY PUBLIC RESIDING IN ____ COUNTY

LEGEND

- STREET MONUMENT (FOUND) (RING & LID)
- BOUNDARY CORNER (SET X REBAR AND CAP OR AS NOTED ON PLAT) (STAMPED BENCHMARK ENCL)
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE/MONUMENT LINE
- EASEMENT
- LOT LINE
- PUE PUBLIC UTILITY EASEMENT
- P.O.B. POINT OF BEGINNING

VICINITY MAP



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9108 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 565-1192
www.benchmarkcivil.com

TAYLORSVILLE BENNION
IMPROVEMENT DISTRICT

APPROVED THIS ____ DAY
OF ____, A.D. 20 ____,

REPRESENTATIVE

DOMINION ENERGY

APPROVED THIS ____ DAY OF ____,
A.D. 20 ____,

DOMINION ENERGY

BOARD OF HEALTH

APPROVED THIS ____ DAY
OF ____, A.D. 20 ____,

BOARD OF HEALTH

ROCKY MOUNTAIN POWER

APPROVED THIS ____ DAY OF ____,
A.D. 20 ____,

ROCKY MOUNTAIN POWER

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS ____
DAY OF ____, A.D. 20 ____,

TAYLORSVILLE CITY ATTORNEY

RECORD OF SURVEY

R.O.S. NO. S

COUNTY SURVEYOR REVIEWER

CITY ENGINEER

APPROVED THIS ____ DAY
OF ____, A.D. 20 ____,

CITY ENGINEER

PLANNING COMMISSION

APPROVED THIS ____ DAY OF ____,
A.D. 20 ____,
BY THE TAYLORSVILLE PLANNING COMMISSION

CHAIRMAN, TAYLORSVILLE PLANNING COMMISSION

TAYLORSVILLE COMMUNITY DEVELOPMENT DEPARTMENT

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED
THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH
INFORMATION ON FILE IN THIS OFFICE.

DATE DIRECTOR

CITY OF TAYLORSVILLE MAYOR

PRESENTED TO THE MAYOR OF THE CITY OF TAYLORSVILLE THIS ____ DAY
OF ____, A.D. 20 ____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED
AND ACCEPTED

ATTEST: RECORDER MAYOR

XANADU SUBDIVISION AMENDED

AMENDING LOT 27 OF XANADU SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11,

TOWNSHIP 2 SOUTH, RANGE 1 WEST,

SALT LAKE BASE AND MERIDIAN

TAYLORSVILLE CITY, SALT LAKE COUNTY, UTAH

SHEET 1 OF 1

SALT LAKE COUNTY RECORDER

RECORDED # ____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF ____
DATE ____ TIME ____ BOOK ____ PAGE ____
FEE \$ ____
DEPUTY SALT LAKE COUNTY RECORDER

From: [Terryne Bergeson](#)
To: weston@wescoastcontracting.com
Cc: [Michael Williams](#)
Bcc: [Jim Spung](#); [Matthew Tilly](#); [Brittany Kempff](#); [Wayne Harper](#); [Mark McGrath](#); [Ben White](#); [Steve Porten](#); [Tammy North](#); [Tom Smolka](#); [JT \(J. Taylor\)](#); [Tracy Cowdell](#); [Stephanie Shelman](#)
Subject: File Review #4S25 - SSUB-000525-2025 - Two-family Lot Split Xanadu Lot 27
Date: Tuesday, May 6, 2025 2:47:00 PM
Attachments: [image001.png](#)
[4S25 - DRAFT PLAT COMMENTS.pdf](#)

This transmittal contains review comments for the two-family lot split for the property at 4719 S. Cathay Cir. Please contact the individual reviewer directly with questions relating to their review.

Taylorsville Engineering Department: Reviewer: Ben White, City Engineer,
bwhite@taylorsvilleut.gov, 801-293-8344

1. Sewer for both units is on Lot 101. Add sewer easement on Lot 101 in favor of Lot 102.

Taylorsville Building Department: Reviewer: Steve Porten, Building Official,
sporten@taylorsvilleut.gov, 385-379-5495

2. Building review comments will be provided under permit #307692-2025. Proper firewall will need to be installed, and permit closed prior to final approval of the subdivision.

Taylorsville-Bennion Improvement District: Reviewer: Tammy North, District Engineer,
tnorth@tbid.org, 801-968-9081

3. Both units already have separate water and sewer, no comments.

Unified Fire Authority: Reviewer: Tom Smolka, Fire Marshal, tsmolka@unifiedfire.org, 801-743-7236

4. Please show smoke alarms on floor plans for building permit.

Taylorsville Community and Development: Reviewer: Terryne Bergeson, Planner,
tbergeson@taylorsvilleut.gov, 385-308-0534

5. Site plan: Show the slope to verify that lots will not drain onto adjacent property.
6. Site plan: The structure must comply with the setbacks of the underlying zone. R-2-8 requires that covered patio structures are a minimum 5 feet from the rear property line. Please address this in the building permit by bringing the structure into compliance. Update plans to reflect the changes to the covered patio and add dimensions to the site plan that confirm compliance with this standard. (Patio and fire insulation will need to be complete with building permit closed prior to recording the final plat.)
7. Utility plan: Show gas and electric utilities serving each unit, and if crossing over new lots add easements in favor of to protect utility lines.
8. Plat: Add a note referencing the CCRs adopted with the original plat as stated in the title report (exception #13).
9. Plat: Address all redlines on attached draft plat.

Please address the comments above and notify me when the revised plans have been uploaded to the portal and are ready for review. Feel free to reach out if there are any questions. Thank you!

Terryne Bergeson

Planner I



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