

# Planning Commission Staff Report

**File # 4S25 – SUB-000525-2025**

**Public Hearing and Consideration for a Subdivision Plat  
Amendment Allowing a Two-Family Lot Split for the Properties  
Located at 4719 & 4717 South Cathay Circle in Taylorsville,  
Utah.**



## Department of Community Development

<b>Date:</b>	June 24, 2025
<b>Meeting Date:</b>	July 8, 2025
<b>Agenda Item:</b>	Public Hearing and Consideration for a Subdivision Plat Amendment Allowing a Two-Family Lot Split for the Properties Located at 4719 & 4717 South Cathay Circle in Taylorsville, Utah.
<b>Subject Property Address:</b>	4719 S. Cathay Cir.
<b>Applicant:</b>	Weston Beltran on behalf Michael Williams
<b>Applicant Agent:</b>	N/A
<b>Author:</b>	Terryne Bergeson, Planner I
<b>Zoning Designation:</b>	R-2-8
<b>General Plan Designation:</b>	Medium-Density Residential
<b>Parcel #:</b>	21112260350000
<b>Applicable Ordinances:</b>	Including, but not limited to 13.20 ; 13.21 ; and 13.30
<b>Agenda item #:</b>	4

### Attachments:

**Exhibit A:** Zoning Map  
**Exhibit B:** General Plan Map  
**Exhibit C:** Site Map  
**Exhibit D:** Vicinity Map

**Exhibit E:** Xanadu Subdivision Plat  
**Exhibit F:** Civil Plans  
**Exhibit G:** Draft Plat  
**Exhibit H:** Consolidated Comments

## **Summary**

The property at 4719 South Cathay Circle is currently one lot, identified as Lot 27 on the Xanadu subdivision plat. The lot is part of a duplex development and over the years many of the properties have been subdivided to create twin homes out of the existing duplexes. Weston Beltran has submitted an application on behalf of the property owner requesting preliminary approval for the two-family lot split to create two lots. All required documents have been submitted and show compliance with key standards so that the Planning Commission may consider preliminary approval of the subdivision request. Staff has determined that there are some outstanding items that will need to be addressed prior to the final recording of the plat, discussed in this report and listed as conditions of final approval.

## **Site Description**

### **Adjacent Land Uses**

<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
R-2-8	R-2-8	R-M-4	R-2-8

## **Land Development Code Analysis**

### **General Plan Analysis**

The Proposed Land Use Map in the General Plan sets the foundation for all land uses within the City of Taylorsville. The subject properties are designated as "Medium Density Residential" on the Proposed Land Use Map. The General Plan describes the intent of the Medium Density Residential designation (pg 3-4):

*"Medium Density Residential (MDR) districts are residential areas that contain existing or proposed residential development with a density between 6 and 8.9 dwellings per acre. Land assigned the MDR classification typically contains townhouse and condominium type developments as well as higher density single family dwelling neighborhoods (i.e. R-1-5 zoning districts)."*

The proposed subdivision amendment will not affect the number of units per acre and is consistent with the General Plan designation.

### **Zoning Designation Analysis**

Properties located within the Xanadu subdivision are zoned R-2-8. The intent of this zoning designation is described below:

*"R-2 Districts (Two-Family): R-2 districts are established to provide a residential environment within the City that is characterized by slightly higher densities than single-family districts, single-family housing interspersed with two-family housing, a variety of housing sizes, a minimum of vehicular traffic, and quiet residential neighborhoods favorable for family life."*

The draft plat (Exhibit G) illustrates the area and lot width for each new proposed lot: lot 101 will contain 3,379 SF with a width of 33.37' and lot 102 will have 3,198 SF, 31.63' wide. These dimension meet the minimum standards for R-2-8 lots listed in [Section 13.20.030\(Note 2\)](#):

*"Single-family and duplex lots must have at least 8,000 square feet and 70 feet of width. Each side of a twin home lot must have at least 3,000 square feet and 30 feet of width."*

### **Development Standards Analysis**

Civil plans (Exhibit G) illustrate the existing conditions of the property. Utilities serving each unit will be maintained on the respective lots. Building code requires that a building bisected by a property line must have 2-hour fire rated wall separating the two units. The survey also shows a covered patio that is encroaching within the setback, which will need to be removed so that the existing structure complies with the standards of the underlying zone. The removal of the structure can be completed with the building permit application (RBLD-307692-2025) for the installation of the required fire rated wall. The building department has stated that the permit must be closed prior to the final recording of the plat.

### **Public Comment**

Public notice was sent to all property owners within 300 feet of the property on June 27, 2025. Staff have received no calls in response to the notice.

### **Findings**

1. Michael Williams owns the property at 4719 S Cathay Cir (parcel ID 21112260350000).
2. The property is identified as lot 27 on the Xanadu subdivision plat.
3. The lot is zoned R-2-8 and contains one duplex.
4. The lot meets the area and width requirements in the Taylorsville Land Development Code to be subdivided into two lots.
5. Michael Williams has submitted a complete subdivision amendment application to subdivide lot 27 to create two twin homes.
6. The Planning Commission is the deciding body for preliminary subdivision plat amendment requests.
7. The applicant has received comments regarding revisions needed to show compliance with applicable standards.
8. All reviewing agencies must approve the draft prior to recording the final plat.
9. The Salt Lake County Recorder office will review and must approve of the draft prior to final recording of the plat.

### **Conditions of Approval**

Staff recommends approval of the request, subject to the following conditions:

1. The applicant shall comply with the requirements of all reviewing agencies.
2. A building permit must be issued and completed to meet requirements for fire-rated walls and setbacks for covered patio to be in compliance with building code and city standards, prior to recording the final plat.
3. The director is authorized to issue final approval.
4. The draft plat must be approved by the Salt Lake County Recorder's office.

### **Staff Recommendation**

Staff recommends that the Planning Commission approve File #4S25 – SUB-000525-2025, approving a subdivision plat amendment allowing a two-family lot split for the properties located at 4719 & 4717 South Cathay Circle in Taylorsville, Utah.

## **Recommended Motion**

I move that we approve File #4S25 – SUB-000525-2025, approving a subdivision plat amendment allowing a two-family lot split for the properties located at 4719 & 4717 South Cathay Circle in Taylorsville, Utah.

## Zoning Map: 4719 S Cathay Cir

## Exhibit A



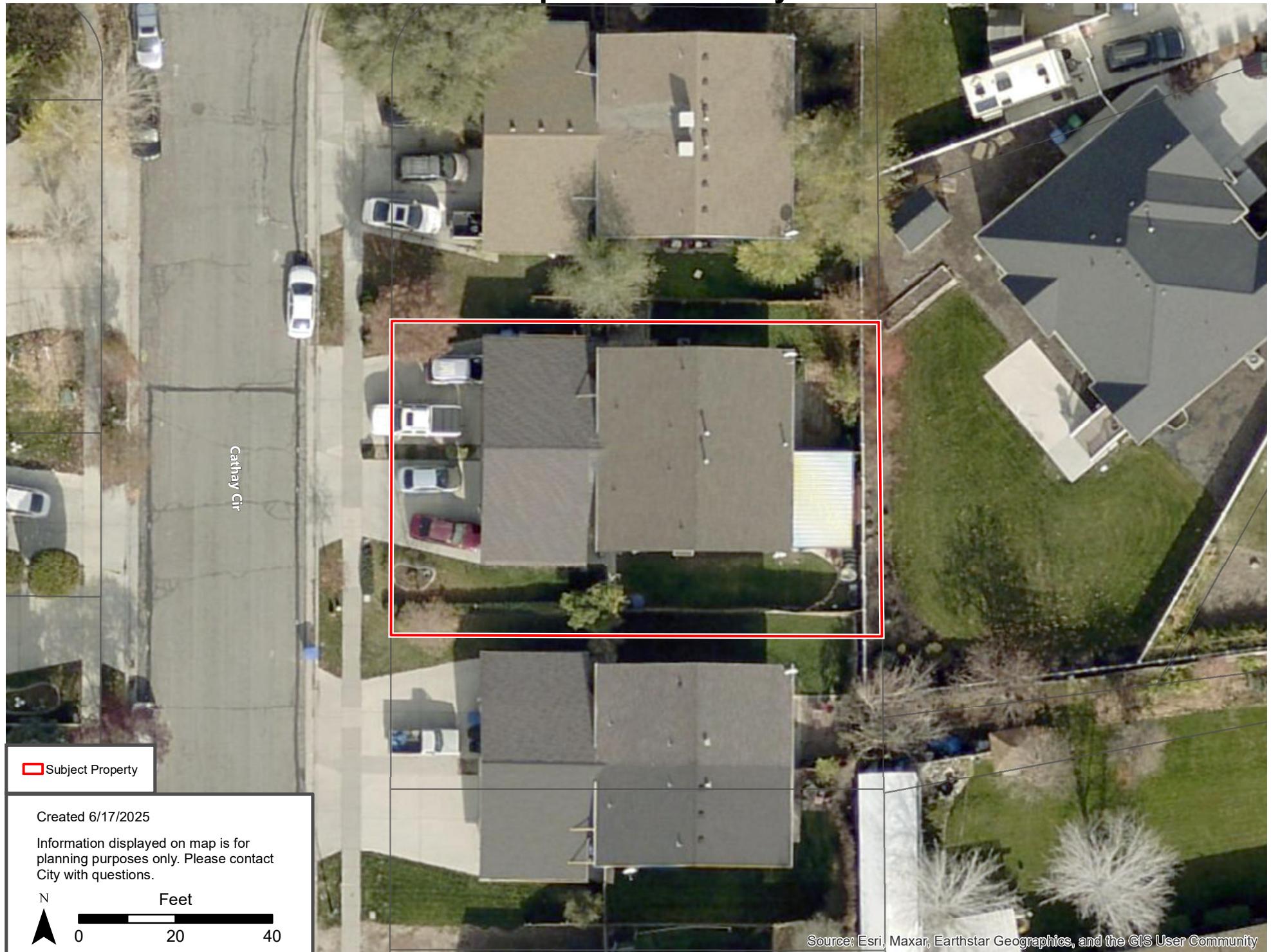
## Exhibit B

## General Plan Map: 4719 S Cathay Cir



# Site Map: 4719 S Cathay Cir

Exhibit C



## Vicinity Map: 4719 S Cathay Cir

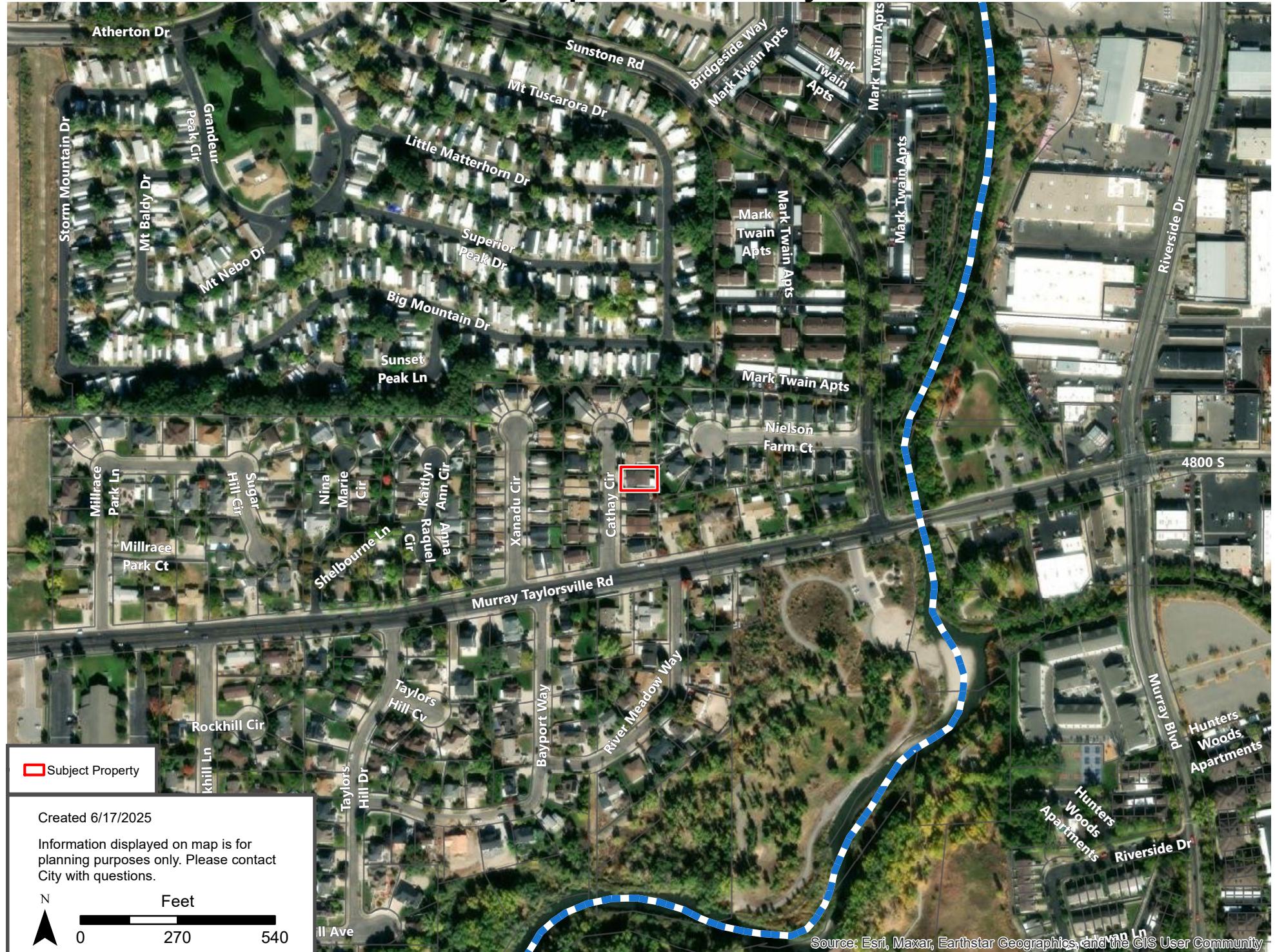
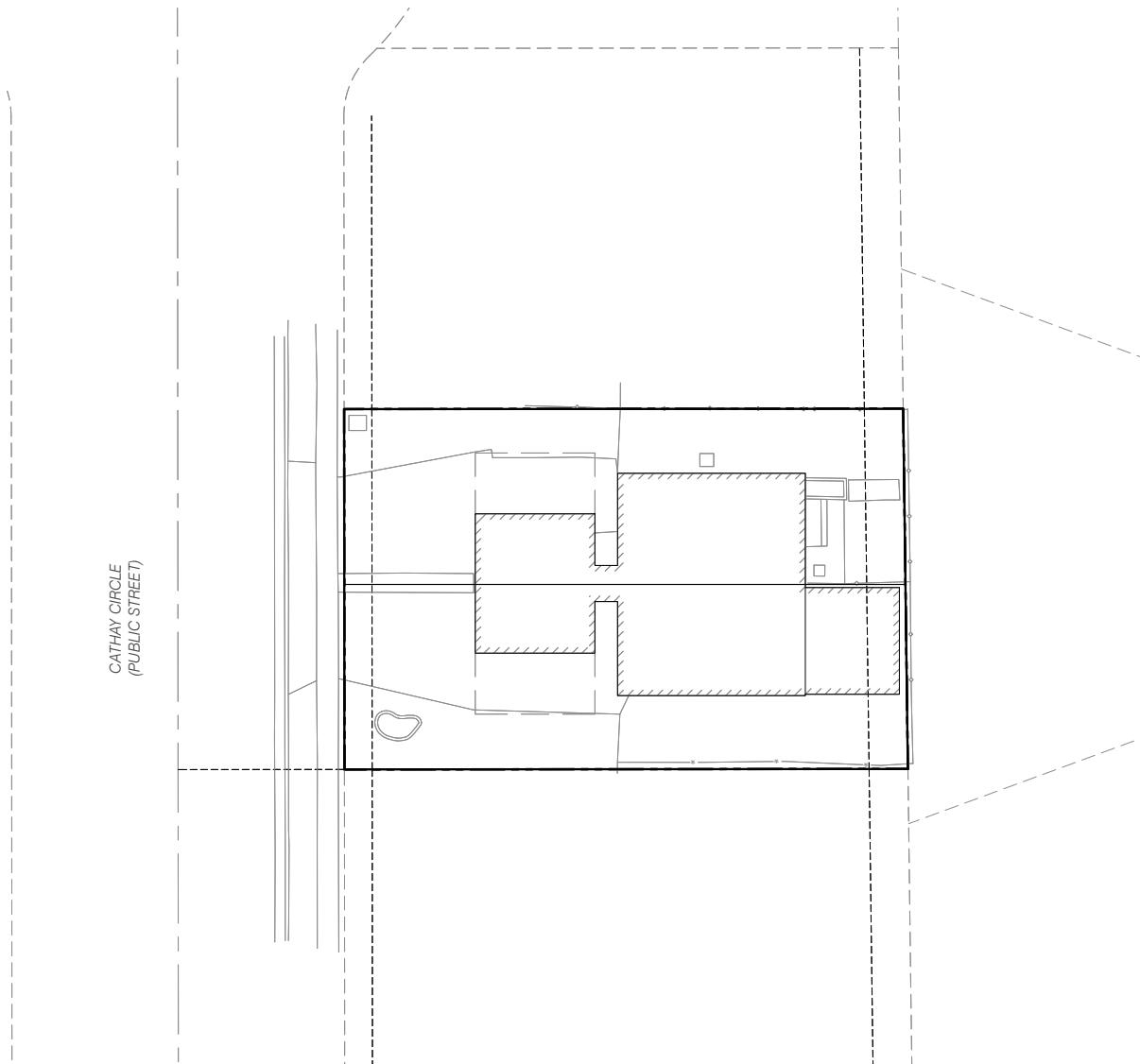




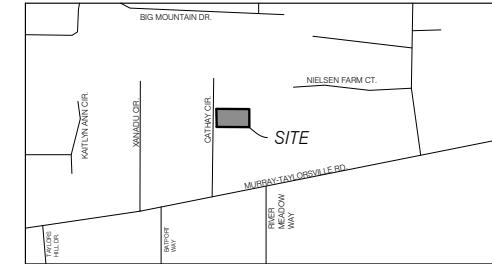
Exhibit F

# XANADU LOT 27 SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
TAYLORSVILLE CITY, SALT LAKE COUNTY, UTAH



## GRAPHIC SCALE



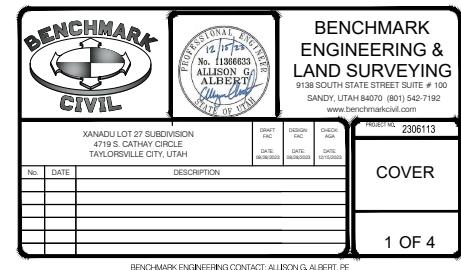
VICINITY MAP  
N.T.S.

MICHAEL WILLIAMS  
8950 S 280 E SANDY, UT 84070  
801.979.4985  
sundance4985@gmail.com

## DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CSP.01	SITE PLAN
CUP.01	UTILITY & DRAINAGE PLAN

PRELIMINARY CIVIL PLANS  
NOT FOR CONSTRUCTION





## Exhibit F



A graphic scale consisting of a horizontal line with tick marks. The first tick mark is labeled '0', the second is labeled '5', and the third is labeled '10'. The distance between '0' and '5' is equivalent to the distance between '5' and '10', representing 5 feet. Below the scale, the text '(IN FEET)' is centered, and below that, '1 inch = 10ft.' is also centered.

**CATHAY CIRCLE  
(PUBLIC STREET)**

BASIS OF BEARINGS  
N 000°03'00" W 65.00' (412.72' MEASURED)  
(412.72' RECORD)

EX. CURB & GUTTER (PROTECT)

EX. SIDEWALK (PROTECT)

EX. DRIVE APPROACH (PROTECT)

N 89°57'00" E 100.80'

N 000°03'00" W 65.00'

EX. CONCRETE DRIVEWAY (PROTECT)

23.5

8.81

8.81

EX. GARAGE  
GFFE = 4263.10

EX. GARAGE  
GFFE = 4263.20

EX. CONCRETE DRIVEWAY (PROTECT)

20.8

33.37

EX. COVERED PARKING (PROTECT)

EX. COVERED PARKING (PROTECT)

EX. CHAIN LINK FENCE (PROTECT)

EX. MOW STRIP (PROTECT)

5.0' PUE

1.5

3.198 SQ FT  
0.073 ACRES

LOT 102

EAST 101.19'

EX. BUILDING  
FFE = 4264.90

EX. A/C UNIT (PROTECT)

EX. VINYL FENCE (PROTECT)

17.7

31.76

EX. Curb Wall (Protect)

EX. A/C UNIT (Protect)

EX. VINYL FENCE (Protect)

EX. BRICK PAD (PROTECT)

EX. CONCRETE PAD (PROTECT)

EX. A/C UNIT (PROTECT)

EX. VINYL FENCE (PROTECT)

1.2

13.4 33.28

S 004°49'20" E 65.00'

13.1

EX. WOOD FENCE (PROTECT)

7.0' PUE

AB WAGATCH FRONT PROPERTIES, LLC  
LOT 26, WAGATCH SUB  
PARCEL # 21-11-228-024

CINDI WAGWOOD  
PARCEL # 21-11-228-116

TARA AVE  
LOT 12, COTTAGES AT CHAPEL CREEK  
PARCEL # 21-11-228-129

247.83

NOTE:  
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT  
ACCORDANCE WITH TAYLORSVILLE CITY STANDARDS AND  
SPECIFICATIONS

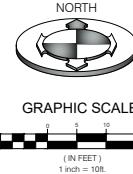


## XANADU LOT 27 SUBDIVISION

PRODUCT NO. 2306113  
SITE  
PLAN  
CSP.01  
3 OF 4



## Exhibit F



#### GRAPHIC SCALE

( IN FEET )

1 inch = 10 mm



This site plan illustrates the locations of various utility components within the Cathay Circle (Public Street) area. The plan is bounded by dashed lines and features a grid of utility markers (W, M, SS, SCO) and a central building footprint.

**Key Features and Labels:**

- EX. SSMH:** SSMH RIM=4262.64 IE 8' = 4262.34
- EX. MAIN SEWER LINE (PROTECT):** Located on the left side.
- EX. WATER METER (PROTECT):** Located on the left side.
- EX. WATER LINE (PROTECT):** Located on the left side.
- EX. LATERAL SEWER LINE (PROTECT):** Located on the left side.
- EX. WATER METER (PROTECT):** Located on the left side.
- EX. WATER LINE (PROTECT):** Located on the left side.
- EX. SEWER CLEANOUT (PROTECT):** Located on the left side.
- EX. WATER METER (PROTECT):** Located on the left side.
- EX. WATER LINE (PROTECT):** Located on the left side.
- EX. HYDRANT (PROTECT):** Located on the left side.
- EX. CABLE BOX (PROTECT):** Located on the left side.
- EX. CABLE BOX (PROTECT):** Located on the right side.
- EX. CABLE BOX (PROTECT):** Located on the right side.
- EX. GARAGE GFFE = 4263.10**
- EX. GARAGE GFFE = 4263.20**
- EX. BUILDING GFFE = 4264.90**
- EX. WATER LATERAL (LOCATION SHOWN FOR REFERENCE ONLY ACTUAL LOCATION UNKNOWN TO BE LOCATED & PROTECTED ON SITE):** Shown for reference only.
- EX. WATER LATERAL (LOCATION SHOWN FOR REFERENCE ONLY ACTUAL LOCATION UNKNOWN TO BE LOCATED & PROTECTED ON SITE):** Shown for reference only.
- Coordinates:**
  - Top: N 89°57'00" E 100.80'
  - Bottom: S 89°57'00" W 101.59'
  - Left: N 00003000 W 65.00'
  - Right: S 004520 E 65.00'
  - Bottom Left: N 89°57'00" E 100.00'
  - Bottom Right: S 89°57'00" W 101.59'
  - Bottom Center: 24785'
- SSMH:** SSMH RIM=4261.53 IE 8' N = 4250.93

**SURVEY CONTROL NOTE:**  
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS AND BY THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE HORIZONTAL CONTROL POINTS SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS OR SURVEY MONUMENTS OR PLATES PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

BENCHMARK:  
STREET MONUMENT IN THE INTERSECTION OF CATHAY  
CIRCLE AND MURRAY-TAYLORSVILLE RD.  
ELEVATION = 4260.45

**XANADU LOT 27 SUBDIVISION**  
4719 S. CATHAY CIRCLE



PRODUCT NO. 2306113

**UTILITY  
& DRAINAGE  
PLAN**

CUP.01  
4 OF 4



**From:** [Terryne Bergeson](#)  
**To:** [weston@wescoastcontracting.com](#)  
**Cc:** [Michael Williams](#)  
**Bcc:** [Jim Spung](#); [Matthew Tilly](#); [Brittany Kempff](#); [Wayne Harper](#); [Mark McGrath](#); [Ben White](#); [Steve Porten](#); [Tammy North](#); [Tom Smolka](#); [JT \(J. Taylor\)](#); [Tracy Cowdell](#); [Stephanie Shelman](#)  
**Subject:** File Review #4S25 - SSUB-000525-2025 - Two-family Lot Split Xanadu Lot 27  
**Date:** Tuesday, May 6, 2025 2:47:00 PM  
**Attachments:** [image001.png](#)  
[4S25 - DRAFT PLAT COMMENTS.pdf](#)

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This transmittal contains review comments for the two-family lot split for the property at 4719 S. Cathay Cir. Please contact the individual reviewer directly with questions relating to their review.

**Taylorsville Engineering Department:** Reviewer: Ben White, City Engineer, [bwhite@taylorsvilleut.gov](mailto:bwhite@taylorsvilleut.gov), 801-293-8344

1. Sewer for both units is on Lot 101. Add sewer easement on Lot 101 in favor of Lot 102.

**Taylorsville Building Department:** Reviewer: Steve Porten, Building Official, [sperten@taylorsvilleut.gov](mailto:sperten@taylorsvilleut.gov), 385-379-5495

2. Building review comments will be provided under permit #307692-2025. Proper firewall will need to be installed, and permit closed prior to final approval of the subdivision.

**Taylorsville-Bennion Improvement District:** Reviewer: Tammy North, District Engineer, [tnorth@tbid.org](mailto:tnorth@tbid.org), 801-968-9081

3. Both units already have separate water and sewer, no comments.

**Unified Fire Authority:** Reviewer: Tom Smolka, Fire Marshal, [tsmolka@unifiedfire.org](mailto:tsmolka@unifiedfire.org), 801-743-7236

4. Please show smoke alarms on floor plans for building permit.

**Taylorsville Community and Development:** Reviewer: Terryne Bergeson, Planner, [tbergeson@taylorsvilleut.gov](mailto:tbergeson@taylorsvilleut.gov), 385-308-0534

5. Site plan: Show the slope to verify that lots will not drain onto adjacent property.
6. Site plan: The structure must comply with the setbacks of the underlying zone. R-2-8 requires that covered patio structures are a minimum 5 feet from the rear property line. Please address this in the building permit by bringing the structure into compliance. Update plans to reflect the changes to the covered patio and add dimensions to the site plan that confirm compliance with this standard. (Patio and fire insulation will need to be complete with building permit closed prior to recording the final plat.)
7. Utility plan: Show gas and electric utilities serving each unit, and if crossing over new lots add easements in favor of to protect utility lines.
8. Plat: Add a note referencing the CCRs adopted with the original plat as stated in the title report (exception #13).
9. Plat: Address all redlines on attached draft plat.

Please address the comments above and notify me when the revised plans have been uploaded to the portal and are ready for review. Feel free to reach out if there are any questions. Thank you!

*Terryne Bergeson*

Planner I



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