



EAGLE MOUNTAIN PLANNING COMMISSION MEETING

JULY 8, 2025, 5:30 PM

EAGLE MOUNTAIN CITY COUNCIL CHAMBERS

1650 EAST STAGECOACH RUN, EAGLE MOUNTAIN, UTAH 84005

5:30 PM – PLANNING COMMISSION WORK SESSION

1. DISCUSSION ITEMS

1.A. DISCUSSION - Architectural Standards

1.B. DISCUSSION/TRAINING - Review Code Workshop

6:30 PM PLANNING COMMISSION POLICY SESSION

2. CALL TO ORDER

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICTS OF INTEREST

5. MINUTES

5.A. June 24, 2025 Planning Commission Minutes

6. STATUS REPORT

7. ACTION AND ADVISORY ITEMS

7.A. ORDINANCE/PUBLIC HEARING - An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code 17.100 Site Plan Review.

BACKGROUND: (*Presented by Senior Planner, David Stroud*). Amending Chapter 17.100 regarding Site Plan submission requirements.

7.B. AMENDED PRELIMINARY PLAT - Marketplace 4

7.C. ORDINANCE/PUBLIC HEARING - An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code Section 16.05.260, Table 6.10.080, and creating Chapter 6.15 for establishing standards for Alternative Animal Management Plans. It also amends EMMC Table 17.05.200(a) & Sections 17.65.050, 17.65.100, 17.70.040, and 17.105.050.

BACKGROUND: (*Presented by Planner 2, Steven Lehmitz*) A proposal to amend EMMC Section 6.05.260, Table 6.10.080, and to create Chapter 6.15 for establishing standards for Alternative Animal Management Plans. It also amends Table 17.05.200(a), sections 17.65.050, 17.65.100, 17.70.040, and 17.105.050 to remove exceptions to Home Business License and Accessory Dwelling Unit standards -- as well as eliminating public hearings for Variances and Land Use Appeals pursuant to UCA 10-9a-701(5).

7.D. SITE PLAN - Meta/Available Storage Wireless Communication Tower

8. **DISCUSSION ITEMS**
9. **NEXT SCHEDULED MEETING**
10. **ADJOURNMENT**

THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodations for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6611. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 8, 2025**

TITLE:	Discussion of Architectural Standards
ITEM TYPE:	Discussion Item
FISCAL IMPACT:	N/A
APPLICANT:	N/A

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

No

PREPARED BY

David Stroud, Senior Planner

PRESENTED BY

David Stroud

RECOMMENDATION:

N/A

BACKGROUND:

VCBO will present to the Planning Commission the latest draft regarding architectural standards of commercial and multifamily development. Formal recommendation is scheduled on the August 26 Planning Commission.

ITEMS FOR CONSIDERATION:

N/A

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. 2025-07-02 17.72 Design Standards

Chapter 17.72

COMMERCIAL AND MULTIFAMILY DESIGN STANDARDS

Sections:

[17.72.010 What this chapter does.](#)

[17.72.020 Purpose.](#)

[17.72.030 Commercial design standards](#)

[17.72.040~~30~~ Commercial sSite design.](#)

[17.72.050~~40~~ Commercial aArchitectural standards.](#)

[17.72.060 Multi-family design standards](#)

[17.72.070 Multi-family site design](#)

[17.72.080 Multi-family architectural standards](#)

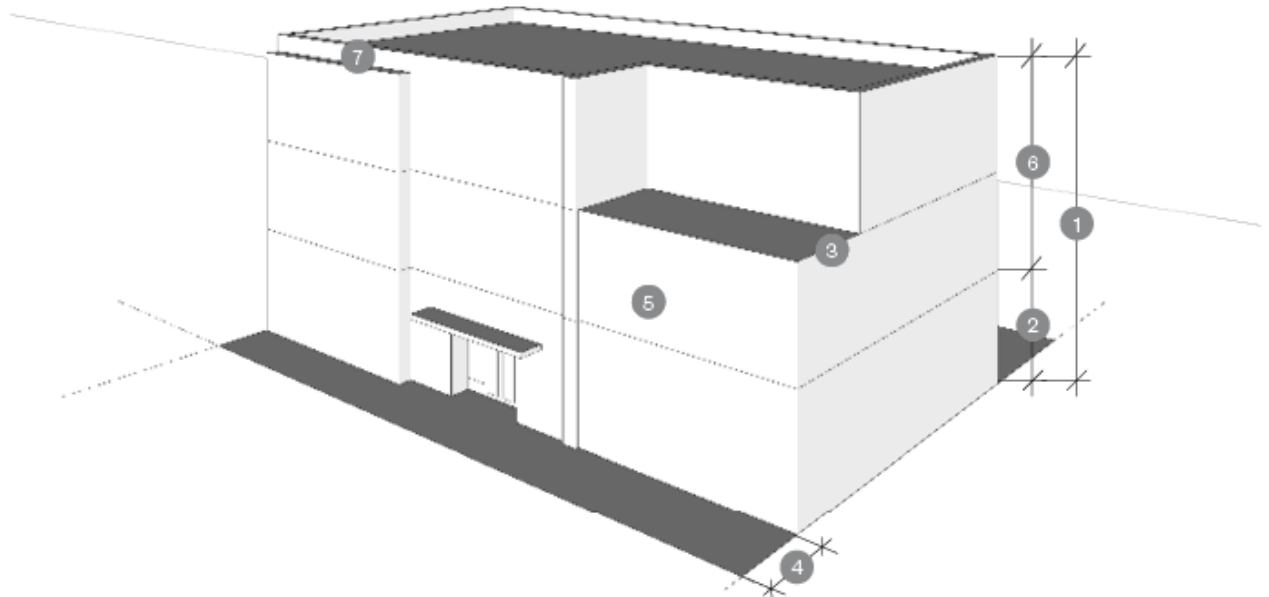
17.72.010 What this chapter does.

This chapter provides standards and guidelines for the site and building design of commercial and multifamily developments. Although these standards are not required for industrial parks, warehouses, or large corporate office or campus developments, they are highly encouraged. [Ord. [O-11-2008](#) § 3 (Exh. B § 24.1)].

17.72.020 Purpose.

The purpose of this chapter is to provide standards and guidelines to enhance the visual quality of development, to help create developments that encourage pedestrian activity, to promote buildings of lasting architecture and aesthetic appeal, to increase functionality and safety of parking areas for pedestrians and vehicles, to minimize the visual expanse of pavement through good site design, and to ensure that a sense of place is created and maintained while the city experiences growth and development. This chapter shall be applied to all commercial and multifamily projects within the city and shall be reviewed during the site plan application process. [Ord. [O-11-2008](#) § 3 (Exh. B § 24.2)].

ARCHITECTURAL TERM DEFINITIONS



- 1 Building Height: Measured from the average grade to the highest point of the roof
- 2 Ground Floor: The level of a building with the primary building entrance(s), typically at ground level. Measured from the floor surface of that level to the floor surface above.
- 3 Horizontal Articulation: Projections from the building inward or outward.
- 4 Setback: Offset from a specific boundary such as the public ROW or the building facade.
- 5 Structural Bay: The space between columns and beams in a building forming a structural module.
- 6 Upper Floors: Any floors above the ground floor
- 7 Vertical Articulation: Projections from the building upward.

17.72.030 Commercial design standards.

These commercial design standards apply to commercial zones referenced in Chapter 17.35 with the addition of Downtown Commercial Area and Business Park Zones.

17.72.04030 Commercial Site design.

The arrangement of different elements of a project on the site is vital to creating an environment that is focused on the street and the pedestrian, rather than the vehicle and parking areas. A site can be designed to be visually appealing from the street and still be functional and safe for vehicular circulation and pedestrian access. Minor variations to these standards may be considered by the Planning Commission and City Council if a property contains one of the following

constraints: wetlands, steep hillsides, major drainage washes, unusual property shape, existing easements, or a similar constraint/difficulty that can be directly tied to a design standard and adequately justified by the applicant.

A. Building Location. Buildings should be located at or near the minimum front setback line as identified in Title 17, with pedestrian access leading to the primary entrance and landscaping placed between the building and the street. ~~Parking should be located to the side or the rear of commercial buildings, not between the street and the building. If parking is situated between the building and the street, significant increases in landscaping, berming, and architectural features are required to break up and screen the expanse of pavement.~~

1. Commercial Building Orientation. The primary entrance to a commercial building should be oriented toward the street and the sidewalk. Orienting the primary entrance to a parking area without addressing the street-facing facade with entrances, display windows, awnings, increased architectural elements, increased landscaping, and/or other pedestrian-oriented features is prohibited.

Table 1. Downtown Commercial Setbacks

	<u>Downtown Commercial Area</u>
<u>Front</u>	<u>Min: 10 feet</u> <u>Max: 10 feet except the main entry which can be set back an additional 5 feet</u>
<u>Rear</u>	<u>Min. 10 feet</u>
<u>Side</u>	<u>Min. 0 feet at interior sides.</u> <u>Min. 10 feet at side street facing activity zone areas.</u>



Required: Building located near front setback, addressing the street.

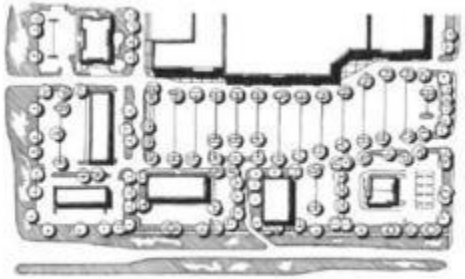
B. ~~Commercial~~ Parking ~~Location~~.- Locate surface parking to the side or the rear of buildings so that they are screened from view from the primary street. Parking should not be located between any commercial building and the street. This is especially important on corners. Large 30,000+ square-foot buildings (excluding Business Parks) shall follow the same standard, or be designed with pad site buildings along the street edge to screen the expanse of pavement.

1. Downtown Commercial Areas. Parking shall be located as indicated in the Downtown Master Plan.

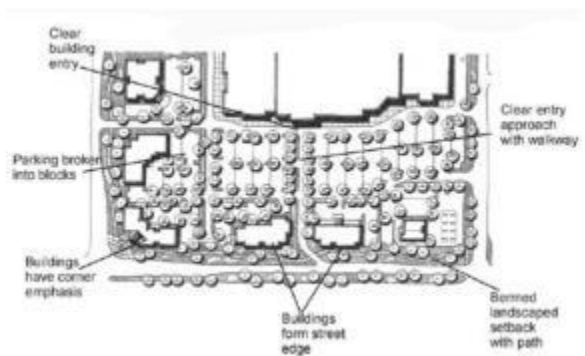
Table 2. Commercial Parking

	<u>Downtown Commercial Area</u>	<u>Commercial Neighborhood</u>	<u>Commercial Community</u>	<u>Commercial Regional</u>	<u>Business Park</u>
<u>% Screened by building from Primary Street</u>	<u>As indicated</u>	<u>50%</u>	<u>50% - pad sites may be used to help screen parking</u>		<u>NA</u>
<u>Landscape between lot and primary street</u>	<u>10'</u>	<u>NA</u>	<u>20'</u>		
<u>Structured parking façade treatment</u>	<u>Shall be wrapped by a façade that meets all of the same architectural standards as the buildings.</u>		<u>NA</u>		

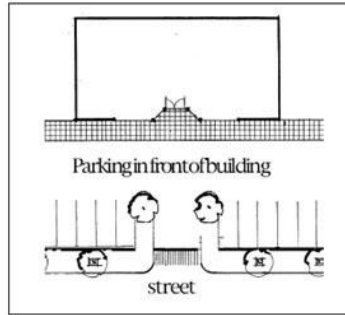
<u>Structured parking fronting primary street</u>	<u>Shall have an active use on the ground floor.</u>	<u>< Should this also apply here? Ask Council</u>	<u>NA</u>
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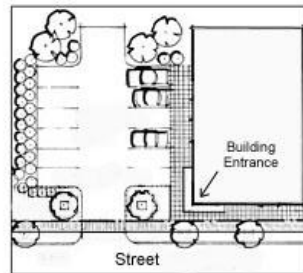
Inappropriate-Not Permitted – Parking and pavement between pad site buildings and street; buildings do very little to screen parking



Appropriate-Encouraged – Pad site buildings are placed at street edge and shield a majority of the parking area



~~Discouraged~~ Not Permitted – Parking between building and street



Encouraged ~~Appropriate~~ – Parking to the side of the building and behind the front facade of building

C. Vehicular Circulation. All commercial developments shall provide a clearly defined and efficient vehicular circulation system that promotes safe and logical traffic flow throughout the site. Vehicular entrances shall comply with Title 16 SUBDIVISIONS, Table 16.35.130 (b). Any drive throughs shall be located to the rear and side of the buildings where feasible and may require screening from street view.

Table 3. Drive Through Standards

	<u>Downtown Commercial Area</u>	<u>Commercial Neighborhood</u>	<u>Commercial Community</u>	<u>Commercial Regional</u>	<u>Business Park</u>
<u>Drive Through Screening</u>	<u>NA</u>	<u>100%</u>	<u>0%</u>		<u>NA</u>
<u>Drive Through</u>	<u>NA</u>	<u>Min width: 10'</u>	<u>Min width: 10'</u>		<u>NA</u>

<u>Service Lane Standard</u>		<u>Max width: 12'</u> <u>Only 1 permitted</u>	<u>Max width: 12'</u> <u>Maximum 2 permitted</u>	
<u>Drive Through Escape Lane</u>	<u>NA</u>	<u>1 lane minimum of 10' wide required in addition to service lane</u>		<u>NA</u>



Permitted: Drive through located on the side of the building.

D. Sidewalks. A public sidewalk from the public right-of-way to the primary entry or entries is required for all developments. Pedestrian access must also comply with 17.55.090 Pedestrian walkways and accesses.

1. Downtown Commercial Areas. Sidewalks shall be provided as indicated in the Downtown Master Plan.

E. Landscaping. Open space and native landscape are a key definingx feature of Eagle Mountain. The entirety of setback area must be landscaped in accordance with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING. Landscape shall align with waterwise planting requirements and turf grass is limited to areas where it will be actively used for recreation such as sports, playgrounds, and community event space within the development. Landscaping shall also comply with 17.55.080 Landscaping in parking and drive lane areas.

1. Downtown Commercial Areas. Landscape elements such as hanging plants and small planters are encouraged in activity and circulation zones and shall

be designed to ensure they enhance and do not interfere with pedestrian activities.

F. Signage. Signage for a commercial development shall be rooted in the ground as a monument sign. Large aerial or pole signage is not permitted. The monument signage shall be located at each primary entryway and shall incorporate natural materials such as natural stone and/or wood. Individual business signage shall be wall or awning-mounted, and is permitted on a maximum of three sides of a building. Animated and digital building-based signage is not permitted. All signage shall comply with Chapter 17.80 SIGN REGULATIONS AND SIGN PERMITS (Chapter 6 of the Eagle Mountain Branding Playbook presents the City Signage, and should be used as a design reference for future developments.)

1. Downtown Commercial Areas. Sidewalks shall be provided as indicated in the Downtown Master Plan.

G. Activity Zone. An activity zone is encouraged and may be required in front of the primary building. This zone shall include hardscape to support pedestrian activities such as outdoor dining, seating, sales area, covered entryways, etc.

Table 4. Activity Zone Standards

	<u>Downtown Commercial Area</u>	<u>Commercial Neighborhood</u>	<u>Commercial Community</u>	<u>Commercial Regional</u>	<u>Business Park</u>
<u>Activity zone</u>	<u>Required</u>			<u>Encouraged</u>	
<u>Minimum depth</u>	<u>10'</u>			<u>15'</u>	
<u>Minimum frontage</u>	<u>Entirety of building frontage</u>	<u>50% of building frontage</u>	<u>Minimum 30' located at primary building entryway</u>		

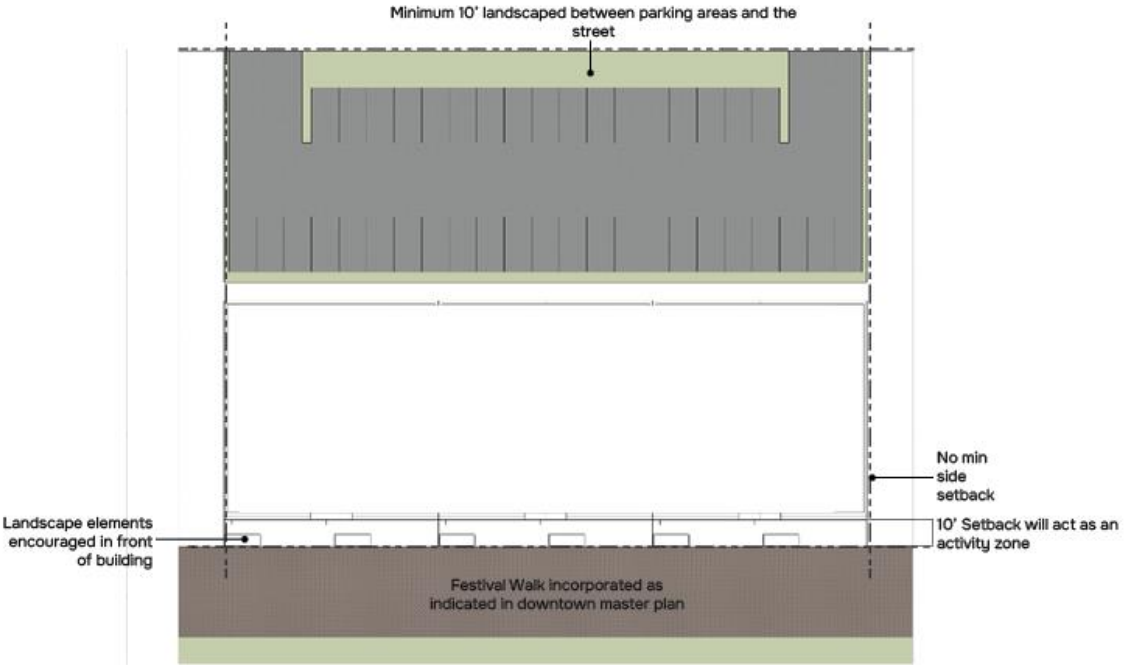


Required: Activity zone in front of primary entrances

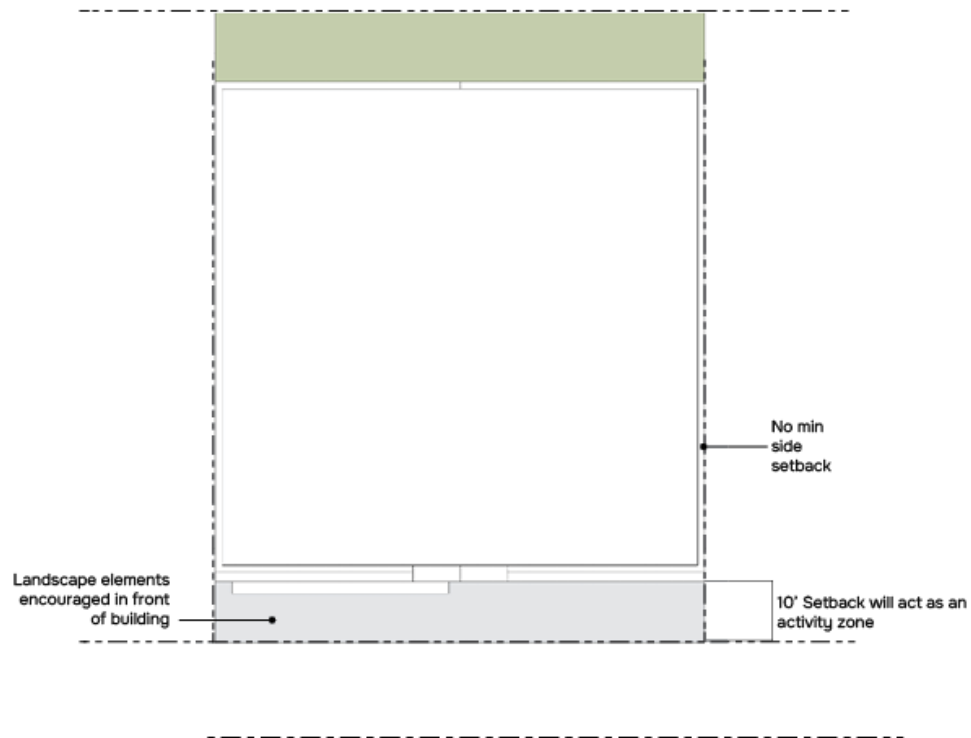


Plaza and open space within retail developments enhances the pedestrian and shopping experience

DOWNTOWN COMMERCIAL - SITE/SETTING

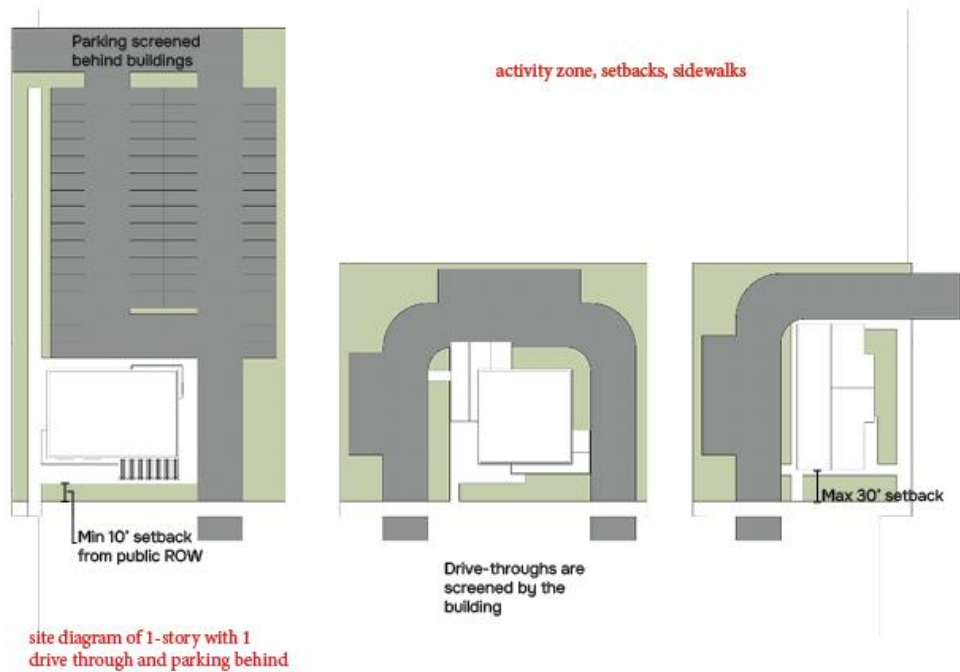


DOWNTOWN COMMERCIAL - SITE/SETTING

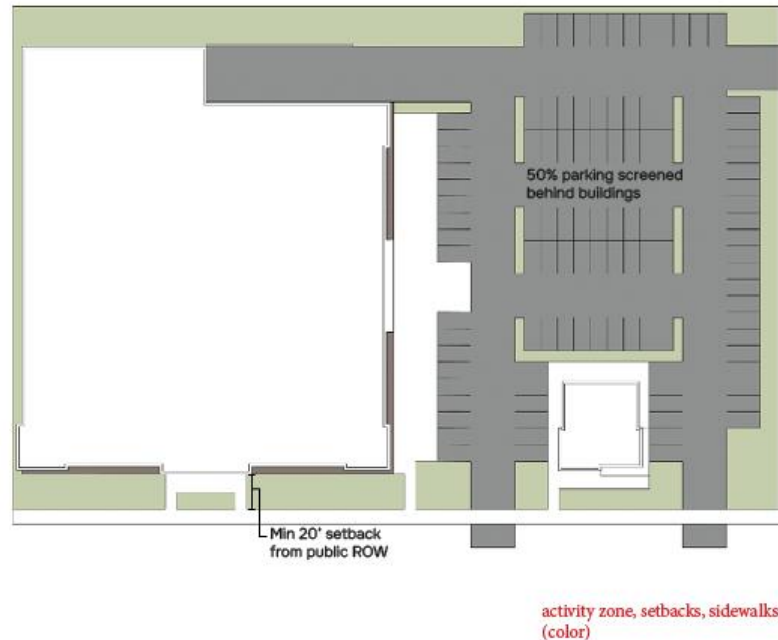


Unless otherwise indicated by the Downtown Master Plan.

COMMERCIAL NEIGHBORHOOD - SITE/SETTING



COMMERCIAL COMMUNITY & COMMERCIAL REGIONAL - SITE/SETTING



~~C. Multifamily Parking/Garages. Garages and parking areas should be placed to the rear of buildings, accessed by a service drive. If garages are placed on the front facade, they shall be staggered and set back so as to minimize their appearance from the street. Garages shall never dominate the street facing facade of a building.~~

~~1. Fire Access.~~

~~a. Access Off of a Minimum 26 Foot Wide Over Sized Alley or Service Drive (Functions in Such Case as a "Fire Access Road"). The 26 foot wide drive fire access, when used, shall be restricted to having parking along only one side (those sides which adjoin fire hydrants) and shall have "No Parking" signs posted along those same sides. In cases where a roadway is at least 35 feet wide, parking may be allowed along both sides of a fire~~

~~access road and no parking restriction will be required.~~



=



~~Appropriate — Multifamily facades not dominated by garages~~





~~Garages accessed by private service drive~~

~~D. Open/Plaza Space. It is important to treat the unbuilt portion of a site as a designed, functioning space. The different elements of a site shall be arranged in a way that maximizes useable open/plaza space. This is especially important in multifamily projects. Buildings should be clustered and open space should be combined in larger, more useable areas. Creativity with open space design is also encouraged.~~



~~Buildings are clustered to maximize useable open space~~



~~Plaza and open space within retail developments enhances the pedestrian and shopping experience~~

[Ord. [O-46-2023](#) § 2 (Exh. A); Ord. [O-02-2019](#) § 2 (Exh. A); Ord. [O-11-2008](#) § 3 (Exh. B § 24.3)].

17.72. ~~040-050 Commercial~~ Architectural standards.

The architectural elements of a building can either enhance the building's visual appeal or detract from the quality of the neighborhood. In order to prevent the construction of bland, out-of-scale buildings that are oriented to vehicular traffic and discourage pedestrian activity, the following minimum architectural standards shall be applied to commercial ~~and multifamily~~ developments. Minor variations to these standards may be considered by the ~~P~~lanning ~~C~~ommission and ~~C~~ity ~~C~~ouncil with very specific justification provided by the applicant of how the proposal is more appropriate for the neighborhood and of higher quality than the standard.

~~For the purpose of this section, a duplex or twin home shall not be considered a multifamily dwelling. The architectural design standards contained in this section shall not apply to duplex or twin home dwellings unless contained in a development agreement.~~

A. Architectural Style/Theme. Commercial buildings should be similar in style as significant adjacent buildings. All facades of commercial ~~and multifamily~~ structures shall be designed with consistent architectural style, detail, and trim features as the primary facade. Separate structures on the site shall be designed similar to the primary structure, including colors, materials, and design elements.

B. Primary Entrance. Building entries must be clearly identifiable through their design from the primary street frontage and the primary vehicular and pedestrian access points. The primary entrance shall be articulated from the primary facade by

a minimum of three feet. All primary entries shall be sheltered either through a setback from the primary façade or through the inclusion of a sheltering element such as an awning, arcade, or roof element that creates a protective entry that is a minimum of three feet in depth.

~~B. Main Entrance. The main entrance of a structure should orient to major sidewalks, pedestrian ways, plazas, courtyards, or other public spaces. It shall also be clearly identifiable, and consist of a sheltering element such as a porch, stoop, awning, arcade, or portico.~~



Required: Clearly identifiable covered entry



~~Multifamily unit entry defined with covered porch~~



~~Inappropriate~~Not Permitted: Entryway not clearly defined; no sheltering element

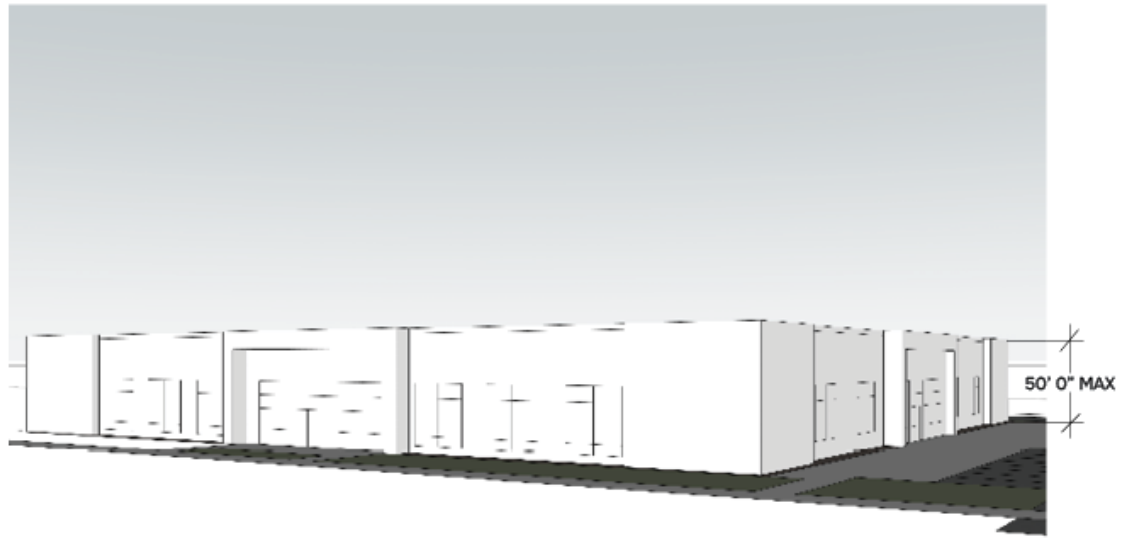
C. Building Height. The max allowable building height shall align with Chapter 17.35.040 Commercial development standards. An additional story may be permitted if the standards for upper level setbacks are met for DC, CC, and CR zones.

1. Downtown Commercial and Commercial Neighborhood. The ground floor shall be a minimum of 15' in height to preserve the prominence of pedestrian level experience.

DOWNTOWN COMMERCIAL & NEIGHBORHOOD COMMERCIAL- BUILDING HEIGHT / MASSING



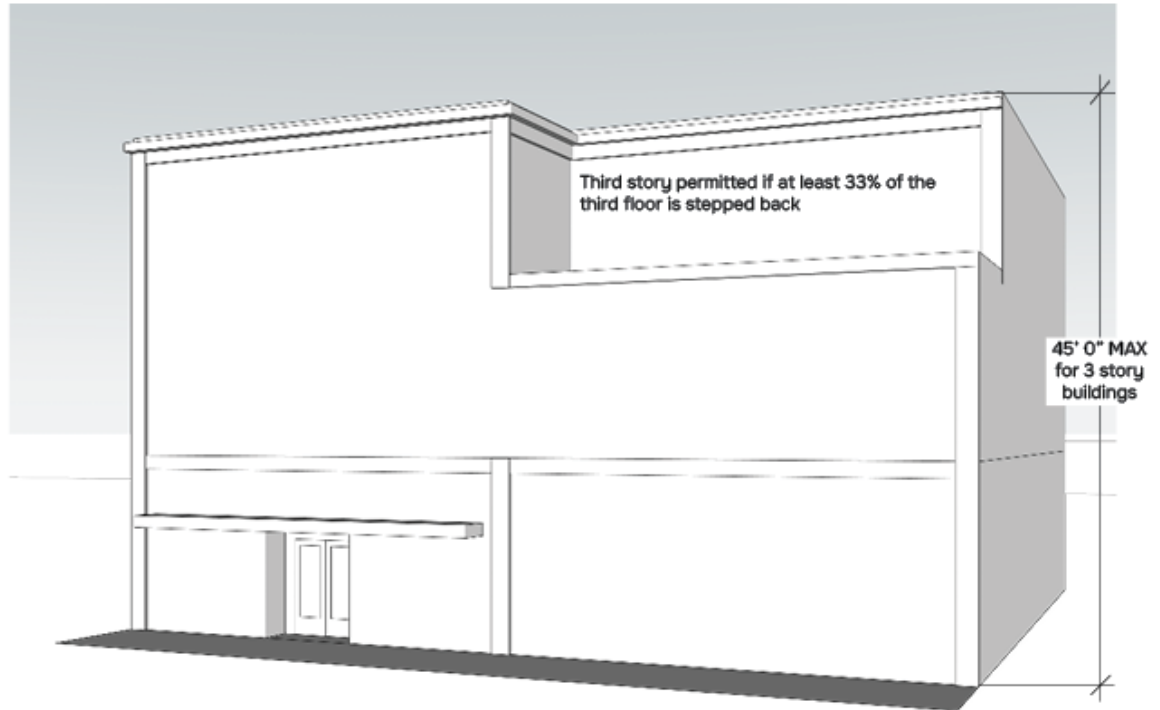
COMMERCIAL COMMUNITY & COMMERCIAL REGIONAL - BUILDING HEIGHT & MASSING



D. Upper Level Setbacks. Setbacks shall be designed to maximize sight lines, create patio/balcony space, and provide visual interest and articulation. The step back from the main facade shall be equal to or greater than the floor height.

1. Commercial Community and Commercial Regional. A minimum of 20% of the length of the front elevation of the fourth floor shall be stepped back from the main façade.

DOWNTOWN COMMERCIAL - BUILDING HEIGHT / MASSING



E. Level Differentiation. For Downtown Commercial, Commercial Neighborhood, and Commercial Community zones, buildings shall be designed with a clear delineation between the ground floor and upper floors. This may be articulated through material variation, detailing such as cornices, lintels, and horizontal detailing above the ground floor. Additional detailing and articulation at the cap or roof are required. This may be achieved through detail elements such as eaves, cornices, and frieze or bracket elements.

F. Façade Articulation. Vertical and horizontal articulation and relief reduces the perceived scale of buildings. All exterior walls facing a street, activity zone, or public space shall be articulated to reflect a human scale. This variation shall include the following strategies:

- Modulate the facade by stepping portions of the building in or out to create shadow lines and visually delineate areas of the building. Or visually highlight the building column structure of the building by using different materials or detailing to articulate engaged columns at the building exterior with a change in plane at the column bays.
- Divide the storefront into distinct areas to provide visual interest. Storefront or window bays should not exceed the length specified without a break or change in material to reflect a human scale.

Table 5. Articulation Standards

	<u>Downtown Commercial Area</u>	<u>Commercial Neighborhood</u>	<u>Commercial Community</u>	<u>Commercial Regional</u>	<u>Business Park</u>
<u>Max wall section without architectural variation on ground floor</u>	<u>35'</u>		<u>50'</u>		<u>NA</u>
<u>Max wall section without architectural variation on upper floors</u>	<u>70'</u>		<u>50'</u>		
<u>Minimum façade step in or out</u>	<u>1'</u>		<u>2'</u>		
<u>Minimum change in plane at the column bays</u>	<u>4"</u>		<u>6"</u>		
<u>Maximum continuous storefront or window bays</u>	<u>20'</u>		<u>25'</u>		<u>30'</u>



Appropriate Articulation



Inappropriate Articulation



Not Permitted: Flat facades with only color changes

G. Window/Wall Ratio. A minimum window-to-wall ratio is required on the ground level at exterior walls facing a street, activity zone, or public space and a minimum or maximum window to wall ratio is identified for the upper levels. Windows are required on all street facing facades at a minimum of 7.5%.

1. Downtown Commercial and Commercial Neighborhood. Windows must meet a 50% minimum of the ground level façade. Upper levels or non-primary facades may have up to 30% windows. Architectural detailing is required at the head and sill of each window.

2. Commercial Community and Commercial Regional. Windows must meet a 25% minimum of the ground level façade. Architectural detailing is encouraged at the head and sill of each window.

HG. Roof Design Expression. The primary roof form of a structure should help reduce the perceived scale of the building. ~~All commercial buildings shall contain either sloping roofs with overhanging eaves, or a decorative parapet and multiple roof planes and heights. Decorative cornices and roof projections such as cupolas or towers are also encouraged. Multifamily buildings shall contain overhanging eaves and multiple roof planes when pitched roofs are used, and varying parapet heights when flat roofs are used.~~

1. Flat roofs shall be screened with parapets on all sides of the building. The parapet height shall be sized to visually obscure any rooftop equipment from the pedestrian view from public and private streets. Where this is not viable, a screen or wall system shall be used to block rooftop equipment from view.

Pitched roofs shall be varied to ensure no singular roof element dominates the building. pitched roofs shall be a minimum slope of 6:12.

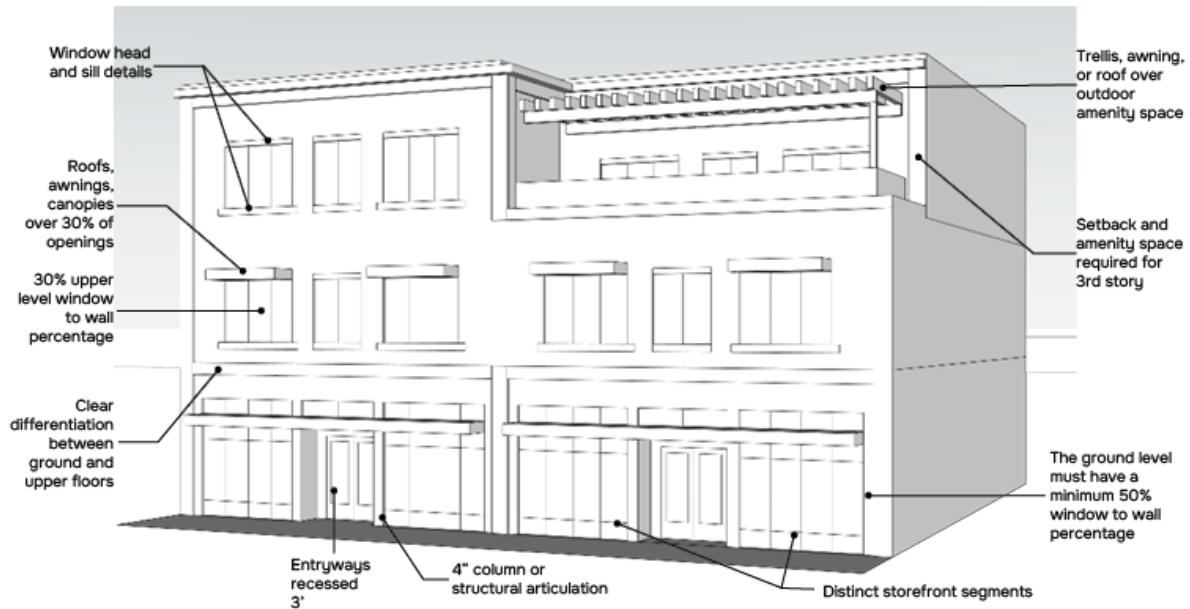
Lower roof elements, trellises, awnings, and other architectural shade elements are required to create visual interest and provide a human scale. These shall be located over the main entry and over occupied rooftop space.

1. Downtown Commercial. Flat roofs are preferred. Pitched roof elements shall be used for architectural interest and variation. No pitched roof shall extend more than 25% the length of the primary street-facing façade. Parapets shall be varied and feature cornice treatments with architectural relief to and an architecturally detailed cap element to clearly delineate the top of the building.

2. Commercial Neighborhood and Commercial Community. Cap element to clearly delineate the top of the building.

3. Commercial Regional and Business Park. The roof must be vertically varied in height with a minimum 2' elevation change, in conjunction with horizontal articulation to add architectural interest to the building.

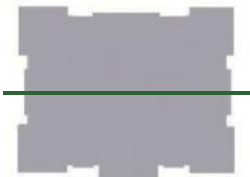
DOWNTOWN COMMERCIAL - ARCHITECTURAL VARIATION



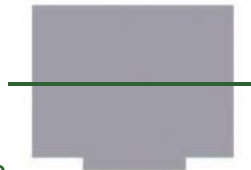


Decorative parapets and multiple roof planes/projections

~~D. Building Articulation. Vertical and horizontal articulation and relief reduces the perceived scale of buildings. Buildings shall include facade modulation (stepping portions of the facade), horizontal and vertical divisions (textures or materials), window patterns, offsets, recesses, projections, varied front setbacks or staggered and jogged unit planes within the same structure, and other techniques to help identify individual residential units in a multifamily structure, and to avoid large, featureless and/or panelized surfaces on commercial buildings. Large uninterrupted~~



~~expanses of a building wall are prohibited.~~



~~Appropriate Articulation~~

~~Inappropriate Articulation~~





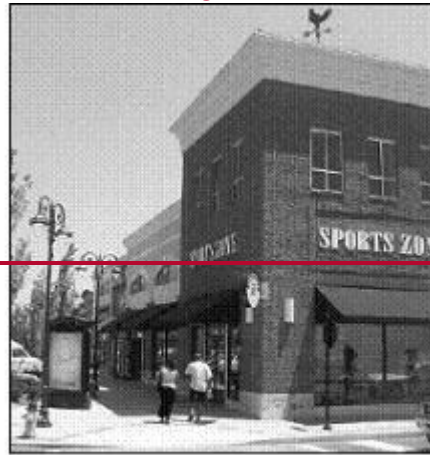
~~Inappropriate~~ Not permitted building articulation

~~E. Architectural Detailing. Pedestrian-scaled architectural features/details shall be incorporated into commercial and multifamily buildings to orient the building to pedestrian activity and to increase the overall visual appeal of the structure.~~

~~1. Commercial buildings shall incorporate a majority of the following architectural details: reveals, canopies, awnings, popouts, columns, decorative trim and moldings, architectural lighting, ornamental cornices, decorative masonry pattern, decorative doors and windows, exposed timbers, and trellis structures. All sides of a building shall include the chosen details.~~



Area between building entrances is treated with awning and windows to create a



pedestrian-friendly environment

Appropriate use of awnings, building materials, and windows addressing the street and sidewalk



~~Trellis structure, decorative parapet, building articulation, awnings~~



~~Tower feature, overhanging eaves, decorative windows, mix of building materials, trellis structures, etc.~~

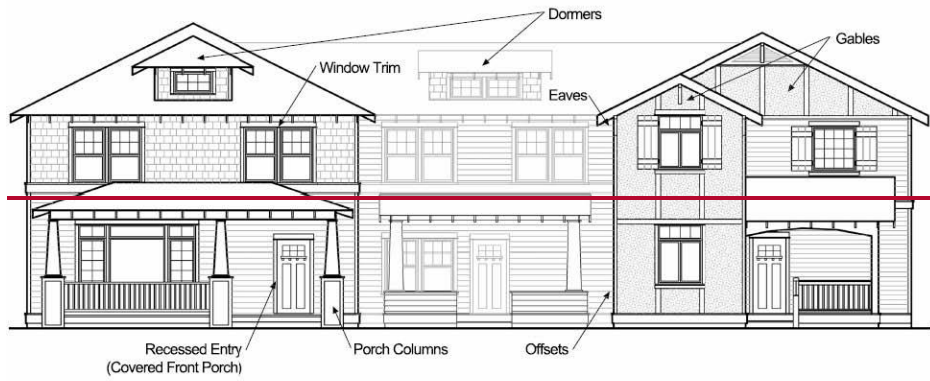
~~2. Multifamily townhome buildings shall incorporate a majority of the following architectural detailing: decorative shutters, bay windows, popouts, trellis or arbor structures, porches, decorative gables, dormer windows, exposed timbers, balconies, columns, turrets, decorative trim and moldings, detailed grilles and railings, architectural lighting, decorative masonry pattern, window grids, and decorative doors and windows. All sides of a building shall include the chosen details, where applicable.~~

~~3. Multifamily stacked buildings shall incorporate a majority of the following architectural detailing: decorative shutters, bay windows, popouts, trellis or arbor structures, porches, decorative gables, dormer windows, exposed timbers, columns, turrets, decorative trim and moldings, detailed grilles and railings, architectural lighting, decorative masonry pattern, window grids, and decorative doors and windows. All sides of a building shall include the chosen details, where applicable. In addition to the above standards, the following shall apply:~~

~~a. Each unit above grade shall include a minimum of a 50 square foot balcony;~~

~~b. At grade or below grade units shall include a minimum of a 75 square foot patio; and~~

~~c. If rooftop amenities are provided, such amenities shall not be used in the calculation of overall required development amenities.~~



~~Porches, window grids, material mix, building articulation~~



~~Porch, balcony, columns, building articulation, window grids, decorative garage doors, decorative roof treatments, multiple roof planes, variation in building color and materials~~

IF. Building Materials. Buildings should incorporate materials used throughout the city and be similar in character and architectural theme as significant neighboring structures. The building facades shall be clad in high-quality natural materials such as brick masonry, natural stone, wood, composite concrete siding that emulates traditional wood siding, or high-quality metal.

- Masonry and stone should reflect natural tones.
- Wood and wood-look materials should be natural in color.
- Painted, powder-coated and high-quality composite metals may be used, colors should be neutral grays and browns.

A material board with actual materials and colors shall be presented to the Land Use Authority for approval.

1. Commercial Neighborhood and Commercial Community. Wood and high-quality wood-look materials are encouraged to reflect the natural environment of Eagle Mountain.

Table 6. Building Material

	<u>Downtown Commercial Area</u>	<u>Commercial Neighborhood</u>	<u>Commercial Community</u>	<u>Commercial Regional</u>	<u>Business Park</u>
<u>Primary building material</u>	<u>Brick or stone masonry</u>	<u>High-quality natural material</u>			
<u>Percent of building entry and primary façade using high-quality natural materials</u>	<u>100%</u>	<u>100%</u>		<u>30%</u>	<u>20%</u>
<u>Secondary material</u>	<u>One or more required.</u>	<u>One or more required and distinct materials in addition to glass</u>			

<u>Other façade treatments</u>				<u>15% of all other facades should also include one or more of these materials for visual interest and quality.</u>	<u>10% of all other facades should also include one or more of these materials for visual interest and quality.</u>
<u>Not Permitted Building Materials</u>	<u>Corrugated metal and EIFS</u>	<u>Corrugated metal</u>			

J. Accent Colors. Accent Colors may be used to support a business brand, or highlight key architectural features or elements.

- No more than 7.5% of any façade and should be finished using an accent color. Accent colors and materials shall compliment the material palette above as well as the Eagle Mountain City Brand Standards, and be approved by the Land Use Authority.
- Artwork, signage and awnings as approved by the Land Use Authority are exempt from this standard.

1. Downtown Commercial. Accent colors may only be used to support a business brand through signage and awnings. Accent colors must be presented to and approved by the Land Use Authority.



Permitted: Accent colors used to support brand while complimenting building materials



InappropriateNot Permitted: bright colors and creative architecture overpower the building form and clash with architecture and theming of neighboring buildings and community

K4. Lighting. All lighting shall be dark sky approved and designed to be shielded and directed downward to prevent light glare from adversely affecting neighboring uses/properties. The light bulb or light source of building lighting shall not be visible from beyond the property. Building lighting and parking lot lighting should be decorative in design to add to the architectural style and character of the building and area. Lighting shall be reviewed based on aesthetics, glare, and adequate light

for safety. A lighting plan and lighting design details are required with a site plan application.



L. Mechanical Equipment. All mechanical equipment shall be screened so as not to be visible from any public or private streets. Screens shall be aesthetically incorporated into the design of the building -and shall conform to the color and materials of the primary building. Screening includes walls, landscaping, parapet walls, or a combination. All electrical service equipment should be painted to match the wall color or screened to blend with the surrounding terrain.

M. Storage, Loading Areas, and Trash Enclosures. Storage and loading areas and trash enclosures shall be located out of view from public streets, and shall be screened and designed with the architectural style of the building, including materials, colors, details, etc. Chain link fences and fencing with vinyl slats are prohibited as screening. The consolidation of trash areas between businesses is encouraged.



Screening wall – same materials as building

[Ord. O-50-2023 § 2 (Exh. A); Ord. O-11-2023 § 2 (Exh. A); Ord. O-09-2017 § 2 (Exh. A); Ord. O-25-2008 § 2 (Exh. A §§ 24.4.9 – 24.4.12); Ord. O-11-2008 § 3 (Exh. B § 24.4)].

~~1. Multifamily structures shall utilize at least two exterior materials, including stucco, vinyl or fiber/cement siding, decorative rock/stone, brick, or other material deemed appropriate by the planning director. Each material shall be used on a minimum of 30 percent of the building, and used on all sides of the building. Other materials may be included as accents. Aluminum siding is prohibited.~~

~~2. All commercial buildings shall avoid large panelized products or featureless surfaces. Commercial buildings shall utilize an appropriate mixture of building materials on all sides, including brick, rock, fiber/cement siding, wood, glass, stucco, and colored architectural CMU (concrete masonry unit). Stucco may not be used on more than 50 percent of a building. Metal, plain CMU, or other materials deemed appropriate by the planning commission and city council may be~~



~~used as accents only.~~

~~Varied materials: brick, stone, decorative CMU, and even tile and metal —~~



~~identifiable franchise elements~~



~~Architectural detailing and mixture of materials on all sides — especially all street-facing sides~~

~~G. Building Color. Buildings should not be restricted to using desert landscape colors, such as beige, tan, grays, browns, etc. A wide palette of colors is recommended, excluding any neon, ultra-bright, or reflective colors. A building's color palette should be similar to that of significant neighboring structures. Franchise colors and elements may be incorporated, but shall not overpower the~~

~~architectural form/theme of the building and/or development.~~



~~Inappropriate: bright colors and creative architecture overpower the building form and clash with architecture and theming of neighboring buildings and community~~

~~H. Multifamily Garage Doors. Garage doors shall not be the most prominent or visible feature on a building. They shall be accessed from the side or rear, or set back from the front facade. If garages are visible from the street, white doors are discouraged. Decorative doors are encouraged.~~



~~I. Lighting. All lighting shall be designed to be shielded and directed downward to prevent light glare from adversely affecting neighboring uses/properties. The light bulb or light source of building lighting shall not be visible from beyond the property. Building lighting and parking lot lighting should be decorative in design to add to the architectural style and character of the building and area. Lighting shall be reviewed based on aesthetics, glare, and adequate light for safety. A lighting~~

~~plan and lighting design details are required with a site plan application.~~



~~J. Mailbox Structures. Cluster mailboxes are generally required by the U.S. Postal Service for multifamily developments. These mailboxes, however, should not detract from the project, as they generally do when designed as a metal structure. Cluster mailboxes should emulate the buildings in materials and color.~~



Inappropriate

Appropriate

~~K. Mechanical Equipment. All mechanical equipment shall be screened so as not to be visible from any public or private streets. Screens shall be aesthetically incorporated into the design of the building and shall conform to the color and~~

~~materials of the primary building. Screening includes walls, landscaping, parapet walls, or a combination. All electrical service equipment should be painted to match the wall color or screened to blend with the surrounding terrain.~~



Screening for mechanical equipment matches building in material and color



~~L. Storage, Loading Areas, and Trash Enclosures. Storage and loading areas and trash enclosures shall be located out of view from public streets, and shall be screened and designed with the architectural style of the building, including materials, colors, details, etc. Chain link fences and fencing with vinyl slats are prohibited as screening. The consolidation of trash areas between businesses is encouraged~~



~~Screening wall — same materials as building~~

~~[Ord. O-50-2023 § 2 (Exh. A); Ord. O-11-2023 § 2 (Exh. A); Ord. O-09-2017 § 2 (Exh. A);
Ord. O-25-2008 § 2 (Exh. A §§ 24.4.9 — 24.4.12); Ord. O-11-2008 § 3 (Exh. B § 24.4)].~~

~~**2. Multifamily Building Orientation.** Multifamily developments often have buildings facing onto internal courtyards and open space. The buildings adjacent to streets, however, shall front those streets and provide a primary entrance toward the street. If the side of a building faces a street, an entrance should be provided on that facade. Blank walls and/or rear facades should not be placed adjacent to streets. Orienting the primary entrances to a courtyard or open space without addressing the street-facing facade with entrances, windows, awnings, increased architectural elements, increased landscaping, and/or other~~



~~pedestrian-oriented features is prohibited.~~



C. Multifamily Parking/Garages. Garages and parking areas should be placed to the rear of buildings, accessed by a service drive. If garages are placed on the front facade, they shall be staggered and set back so as to minimize their appearance from the street. Garages shall never dominate the street-facing facade of a building.

1. Fire Access:

a. Access Off of a Minimum 26-Foot Wide Over-Sized Alley or Service Drive (Functions in Such Case as a “Fire-Access Road”). The 26-foot-wide drive fire access, when used, shall be restricted to having parking along only one side (those sides which adjoin fire hydrants) and shall have “No Parking” signs posted along those same sides. In cases where a roadway is at least 35 feet wide, parking may be allowed along both sides of a fire access road and no parking restriction will be required.





Appropriate — Multifamily facades not dominated by garages



Garages accessed by private service drive

D. Open/Plaza Space. It is important to treat the unbuilt portion of a site as a designed, functioning space. The different elements of a site shall be arranged in a way that maximizes useable open/plaza space. This is especially important in multifamily projects. Buildings should be clustered and open space should be combined in larger, more useable areas. Creativity with open space design is also encouraged.



Buildings are clustered to maximize useable open space

17.72.060 Multi-family design standards.

These standards apply to buildings within the multi-family residential zones including MF1 and MF2.

17.72.080 Multi-family site design.

A. Building Location. Building Location and Orientation. Buildings should be located at or near the minimum front setback line, with pedestrian access leading to the primary entrance and landscaping placed between the building and the street. Multifamily developments often have buildings facing onto internal courtyards and open space. The buildings adjacent to streets, however, shall front those streets and provide a primary entrance toward the street. Each unit for a townhouse, rowhouse, or stacked flat shall have a uniquely designed entrance. These entries shall be highlighted through the integration of a covered porch.

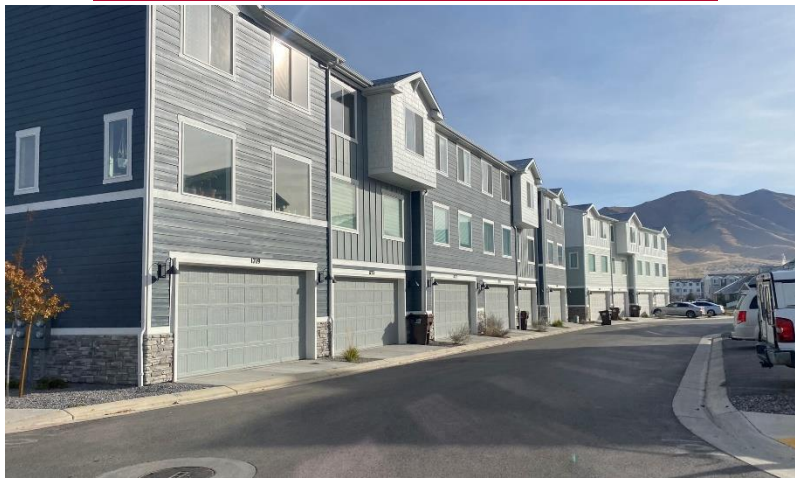
Mansion house or Big house style multi-family buildings can have shared entryways, but these entries shall be clearly identifiable the main entry and shall include a protective roof element with a minimum of four feet in depth. If the side of a building faces a street, an entrance should be provided on that facade. The minimum front setback shall be 15 foot and rear setback 30 foot between buildings, with a side setback minimum of 15 foot. Sidewalks shall be constructed at public right-of-way (ROW) and from ROW to all building entrances in accordance with Title 16 SUBDIVISIONS. Blank walls and/or rear facades should not be placed adjacent to streets. Orienting the primary entrances to a courtyard or open space without addressing the street-facing facade with entrances, windows, awnings, increased architectural elements, increased landscaping, and/or other pedestrian-oriented features is prohibited.

B. Parking. Surface and guest parking areas shall be located to the rear or side of buildings wherever feasible. Where parking may be visible from the primary street, it shall be screened by landscaping or other site elements. Garages shall be placed to the rear of buildings, accessed by a service drive where feasible. If garages must be located on the side or front of the building(s), they shall be a minimum distance of 15' from each other. See Title 17 Residential Zones, Table 17.25.040 Residential development standards. If garages are placed on the front facade, they shall be staggered and set back 5 foot from the front façade and at least 20 foot from the front property line so as to minimize their appearance from the street. Driveways shall not exceed grades of 12 percent. Private services drive to residential parking areas are encouraged, in alignment with Title 16 SUBDIVISIONS, Table 16.35.30 (b).

1. Fire Access. Access Off of a Minimum 26-Foot-Wide Over-Sized Alley or Service Drive (Functions in Such Case as a “Fire-Access Road”). The 26-foot-wide drive fire access, when used, shall be restricted to having parking along only one side (those sides which adjoin fire hydrants) and shall have “No Parking” signs posted along those same sides. In cases where a roadway is at least 35 feet wide, parking may be allowed along both sides of a fire access road and no parking restriction will be required.



Appropriate – Multifamily facades not dominated by garages



Garages accessed by private service drive

D. Vehicular circulation. Private services drives to residential parking areas are encouraged, in alignment with Title 16 SUBDIVISIONS, Table 16.35.30 (b).

E. Open Space. It is important to treat the unbuilt portion of a site as a designed, functioning space. The different elements of a site shall be arranged in a way that maximizes useable open/plaza space. This is especially important in multifamily projects. Buildings should be clustered and open space should be combined in larger, more useable areas. Creativity with open space design is also encouraged.



Buildings are clustered to maximize useable open space

F. Landscaping: Open space and native landscape are a key defining feature of Eagle Mountain. The entirety of setback area must be landscaped in accordance with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING. Landscape shall align with waterwise planting requirements and turf grass is limited to areas where it will be actively used for recreation such as sports, playgrounds, and community event space within the development. Landscaping in surface parking areas shall also comply with 17.55.080 Landscaping in parking and drive lane areas. Traditional, landscaped front yards are required within the front setback. Landscaping shall align with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING.

G. Signage: All signage shall comply with Chapter 17.80 SIGN REGULATIONS AND SIGN PERMITS (Chapter 6 of the Eagle Mountain Branding Playbook presents the City Signage, and should be used as a design reference for future developments.)

I. Lighting: All exterior lighting shall be dark sky complaint. All lighting shall be designed to be shielded and directed downward to prevent light glare from adversely affecting neighboring uses/properties. (Chapter 17.72 EMMC). Building lighting and parking lot lighting should be decorative in design to add to the architectural style and character of the building and area. Lighting shall be reviewed based on aesthetics, glare, and adequate light for safety.

[Ord. O-46-2023 § 2 (Exh. A); Ord. O-02-2019 § 2 (Exh. A); Ord. O-11-2008 § 3 (Exh. B § 24.3)].

17.72.080 Multi-family Architectural standards.

The architectural elements of a building can either enhance the building's visual appeal or detract from the quality of the neighborhood. In order to prevent the construction of bland, out-of-scale buildings that are oriented to vehicular traffic

and discourage pedestrian activity, the following minimum architectural standards shall be applied to multifamily developments. Minor variations to these standards may be considered by the planning commission and city council with very specific justification provided by the applicant of how the proposal is more appropriate for the neighborhood and of higher quality than the standard.

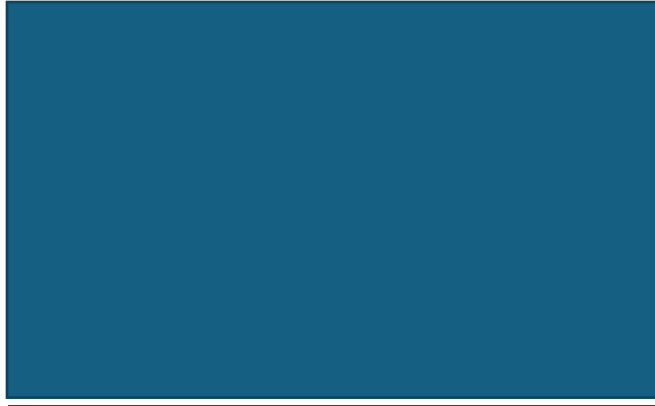
For the purpose of this section, a duplex or twin home shall not be considered a multifamily dwelling. The architectural design standards contained in this section shall not apply to duplex or twin home dwellings unless contained in a development agreement.

A. Architectural Style/Theme. All facades of multifamily structures shall be designed with consistent architectural style, detail, and trim features as the primary facade. Separate structures on the site shall be designed similar to the primary structure, including colors, materials, and design elements.

B. Main Entrance. The primary entrance for each unit for a townhouse, rowhouse, or stacked flat shall have a uniquely designed entrance. These entries shall be highlighted through the integration of a covered porch. Entryways (roofs and porches at a minimum) shall be set forward a minimum of 3 feet from the primary façade. Mansion House or Big House style multi-family buildings may have shared entryways, but these entries shall be clearly identifiable and shall include a protective roof element with a minimum of three feet in depth.



Multifamily unit entry defined with covered porch



Not Permitted: Entryway not clearly defined; no sheltering element

C. Building Height. The maximum allowable building height is 35 feet and up to 3 stories. An additional story may be permitted if the standards for upper level setbacks are met. For any ancillary structure, the maximum height allowed is 10' above primary structure. (Title 17.25 Residential Zones)

D. Upper Level Setbacks. Setbacks shall be designed to maximize sight lines, create patio/balcony space, and provide visual interest and articulation. The step back from the main facade shall be equal to or greater than the floor height.

1. An additional story may be permitted if a minimum of 30% of the length of the front elevation of the fourth floor is stepped back from the main façade.

E. Unit Outdoor Amenities. Each unit above the ground floor shall include a minimum of a 50 square foot balcony or patio with a minimum of 5-foot depth. Each unit on the ground floor or below shall include a minimum of 75 square foot patio.

F. Façade Articulation. All facades shall include articulation. All facades shall not exceed 30 feet without horizontal articulation of at least 2 feet to create visual interest and shadow patterns along the elevation to avoid monotonous building facades in accordance with 17.25 EMMC. A horizontal break in materials or horizontal articulation is required between the second and third floors.

G. Window/Wall Ratio. The front façade should have a minimum of 20% window to wall ratio and the side and rear facades shall have a minimum 12.5% window to wall ratio. All required windows shall be transparent. All windows on the primary façade shall incorporate at least two (2) of the following features

- Trim or molding at least four inches in width
- Canopies, shutters, or awnings proportional to window size; or

- Recessed insets from the primary facade by at least two inches

H. Roof Expression. For multifamily buildings, both flat and pitched roofs are permitted. Multifamily buildings shall contain overhanging eaves and multiple roof planes when pitched roofs are used, and varying parapet heights when flat roofs are used. Pitched roofs shall contain overhanging eaves and multiple roof planes for visual interest. A minimum roof pitch of 6/12 is required for each dwelling, with a minimum 16-inch overhang at the eaves (including gutters) on non-gable ends. Deep eaves, overhangs, canopies and other architectural features that provide shelter from the elements in winter and shade in summer shall be incorporated in the building entryway. Flat roofs are permitted where rooftop amenities are located. Flat roofs shall be buffered from view by using varying parapets heights on all sides to visually obscure any rooftop equipment from the pedestrian view from public and private streets. Mechanical equipment on roofs must be hidden with a visual barrier so it is not readily visible from nearby properties. No roof form shall exceed 30 feet in length without vertical articulation or change of form



Decorative parapets and multiple roof planes/projections

I. Building Materials. Buildings should incorporate materials used throughout the city and be similar in character and architectural theme as significant neighboring structures. The primary building material shall be a human-scaled material such as brick, stone, or composite concrete siding that emulates traditional wood. A secondary material must be provided for a minimum of 20% of any street-facing building façade. Secondary materials must also have a human scale, and may include any of the materials noted above. Non-street facing facades shall have

a human-scaled material for a minimum of 35% of the facade. EIFS, stucco, or other more monolithic materials may only be used on non-street facing facades.

All proposed materials shall be presented to the Land Use Authority on a material board with actual product samples for approval.

- Masonry and stone should reflect natural tones.
- Wood and wood-look materials should be natural in color.
- Corrugated metal is not permitted.
- EIFS, stucco, or other more monolithic materials may only be used on non-street facing facades.



Varied materials: brick, stone, decorative CMU, and even tile and metal – identifiable franchise elements



Architectural detailing and mixture of materials on all sides – especially all street-facing sides

J. Primary and Accent Colors. Each building, excluding the roof, shall use no more than four colors, maintaining a consistent color scheme that follows natural element patterns. A building's color palette should be similar to that of significant neighboring structures. Accent Colors may be used to highlight key architectural features or elements. Accent colors and materials shall compliment the material palette above as well as the Eagle Mountain City Brand Standards, and be approved by the Land Use Authority. Accent materials and colors outside those noted above may be used for up to 10% of the building finishes.

*Developer is responsible for construction of the public right-of-way elements associated with the project in accordance with Chapter 16 of the Eagle Mountain Municipal Code



Permitted: Natural colors that compliment building materials



Not Permitted: bright colors and creative architecture overpower the building form and clash with architecture and theming of neighboring buildings and community

K. Mailbox Structures. Cluster mailboxes are required by the U.S. Postal Service for multifamily developments. These mailboxes, however, should not detract from the project, as they generally do when designed as a metal structure. Cluster mailboxes should emulate the buildings in materials and color.



Not Permitted



Encouraged

L. Mechanical Equipment. All mechanical equipment shall be screened so as not to be visible from any public or private streets. Screens shall be aesthetically incorporated into the design of the building and shall conform to the color and materials of the primary building. Screening includes walls, landscaping, parapet walls, or a combination. All electrical service equipment should be painted to match the wall color or screened to blend with the surrounding terrain.

M. Storage, Loading Areas, and Trash Enclosures. Storage and loading areas and trash enclosures shall be located out of view from public streets, and shall be screened and designed with the architectural style of the building, including materials, colors, details, etc. Chain link fences and fencing with vinyl slats are prohibited as screening.



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 8, 2025**

TITLE:	Discussoin/Training - Reviewing Titles 16 and/or 17
ITEM TYPE:	Discussion Item
FISCAL IMPACT:	N/A
APPLICANT:	N/A

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

No

PREPARED BY

Jason Allen

PRESENTED BY

Jason Allen

RECOMMENDATION:

N/A

BACKGROUND:

N/A

ITEMS FOR CONSIDERATION:

N/A

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

None



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 8, 2025**

TITLE:	
ITEM TYPE:	Minutes
FISCAL IMPACT:	
APPLICANT:	

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE

PUBLIC HEARING

PREPARED BY

PRESENTED BY

RECOMMENDATION:

BACKGROUND:

ITEMS FOR CONSIDERATION:

PLANNING COMMISSION ACTION/RECOMMENDATION:

ATTACHMENTS:

1. Approved Meeting Minutes 6.24.2025



EAGLE MOUNTAIN PLANNING COMMISSION MEETING MINUTES

June 24, 2025, at 5:30 p.m.
Eagle Mountain City Council Chambers
1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Jason Allen, Rod Hess, Robert Fox, Brent Strong, and Craig Whiting. Commissioner Brayn Free was excused.

CITY STAFF PRESENT: Brandon Larsen; Planning Director; Marcus Draper, City Attorney; Robert Hobbs, Senior Planner; David Stroud, Senior Planner; Steven Lehmitz, Planner; David Salazar, Assistant City Engineer; Heather Lamb, Planning Secretary; Megan Green, Planning secretary and Elizabeth Fewkes, Planner.

5:30 P.M. – Eagle Mountain City Planning Commission Work Session

Commissioner Allen called the meeting to order at 5:32 p.m.

1. Discussion Items

1. A. DISCUSSION ITEM – Future Land Use Map (FLUM)

- The map includes designations for open space, industrial, residential, commercial, and mixed-use areas.
- The commission emphasized the importance of balancing land use, creating destination areas, and addressing housing, water, and energy issues.
- Improved traffic flow was also a topic of discussion.

Commissioner Allen adjourned the work session at 6:33 p.m.

6:30 P.M. – Eagle Mountain City Planning Commission Policy Session

2. Commissioner Allen called the policy session to order at 6:40 p.m.

3. Pledge of Allegiance

Commissioner Allen led the Pledge of Allegiance.

4. Declaration of Conflicts of Interest

None.

5. Approval of Meeting Minutes

5. A.

MOTION: *Commissioner Hess moved to approve the minutes of the June 10, 2025, Planning Commission Meeting. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Excused

The motion passed with a unanimous vote.

6. Status Report

Planning Director Brandon Larsen reviewed the planning items discussed and voted upon during the City Council meeting.

7. Action and Advisory Items

7. A. Transportation Master Plan/IFFP

Presentation Summary Points: Eagle Mountain City has contracted with Horrocks Engineering to update the Transportation Master Plan and IFFP. With the tremendous growth in the City, it is important to review and update the Plan and associated IFFP. David Salazar and a representative/engineer, Shane Eller, from Horrocks Engineers provided a power point presentation to the Planning Commission and those in attendance. The following items were presented:

- Updated travel demand models to 2035 and 2050, which prioritize roadway projects based on capacity, connectivity, and safety.
- Regional analysis with average daily trips (ADT), and level of service.
- Projects descriptions and rankings based on necessity and cost.

Discussion Summary Points:

- Concerns were raised about population projections and the need for mass transit planning.
- Commissioner Whiting voiced his concerns with project 128, and requested his comments be noted in the minutes. Project 128 would add a new road going through Cedar Pass Ranch, an HOA Equestrian Community. The roads in the community are only to county standards, not city. There are also no streetlights and no sidewalks. This is a concern for the safety and welfare of people in the Cedar Pass community. There are people on horseback that use the roads, bikers, runners, etc. The new road would go through the wildlife corridor and interrupt the character of the neighborhood.

Commissioner Allen opened the public hearing at 7:05 p.m.

Bettina Cameron with the Eagle Mountain Nature and Wildlife Alliance spoke about the importance of wildlife crossings and suggested incorporating them into the Transportation Master plan.

Commissioner Allen closed the public hearing at 7:09 p.m.

MOTION: *Commissioner Whiting moved to recommend approval to the City Council of Item 7.A. with recommendations that Project 19 connect to Airport Road, Project 128 be removed completely, and that the comments from the Eagle Mountain Nature and Wildlife Alliance be included. Commissioner Strong seconded the motion.*

Jason Allen	No
Robert Fox	Abstain
Rod Hess	No
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Excused

The motion did not pass with a 2 to 2 vote and one abstained.

MOTION: *Commissioner Allen moved to recommend approval to the City Council of Item 7.A. with recommendations that the comments from the Eagle Mountain Nature and Wildlife Alliance be included. Commissioner Hess seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	No
Craig Whiting	No
Bryan Free	Excused

The motion passed with a 3 to 2 vote.

7. B. ANIMAL MANAGEMENT PLAN-RICHARD'S ANIMAL MANAGEMENT PLAN

Presentation Summary Points: A proposed Animal Management Plan by Ashley Richards for her property located at 18423 W Carter Cir. Parcel #: 55:158:0009. The Applicant moved to the White Hills Neighborhood for the rural feel and lack of HOA regulations in order to raise animals to help educate her children and provide emotional support. However, EMMC 6.10.080 regarding residential livestock requires at least a 1/2 acre for goats and 1 acre for horses. As the White Hills zoning is currently under review, it could be argued that residential livestock requirements do not apply. However, the property is designated as residential in the future land use map, and the residential livestock requirements are applied according to the size of the lot. Additionally, all surrounding uses are residential regardless of the current zoning. The code does allow for exceptions within the Equine Overlay Zone, but this overlay does not apply to the White Hills Subdivision. Therefore, the Applicant is currently out of compliance with code and seeks to apply for an animal management plan to mitigate nuisances and retain their animals.

Discussion Summary Points: Commissioner Allen moves to table Item 7b, the animal management plan, until July 8, 2025, PC meeting due to new information and ongoing discussions with the applicant.

Applicant's Statements Summary Points: Applicant requests this be continued after finding a code issue.

MOTION: *Commissioner Allen moved to table Item 7.B., Richard's Animal Management Plan, until the July 8, 2025, meeting. Commissioner Strong seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Excused

The motion passed with a unanimous vote.

7. C. An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code Chapter 16.05.260, Table 6.10.080, and creating Chapter 6.15 for establishing standards for alternative animal management plans. It also amends Table 17.05.200(a), 17.65.050, 17.65.100, 17.70.040, and 17.105.050.

Presentation Summary Points: A proposal to amend EMMC Chapter 6.05.260, Table 6.10.080, and create Chapter 6.15 for establishing standards for alternative animal management plans. It also amends Table 17.05.200(a), 17.65.050, 17.65.100, 17.70.040, and 17.105.050 to remove exceptions to home business license and accessory dwelling unit standards, as well as eliminating public hearings for variances and land use appeals pursuant to UCA 10-9a-701(5).

MOTION: *Commissioner Allen moved to table Item 7.C., A Proposed Amendment for Establishing Standards for Alternative Animal Management Plans, until the July 8, 2025, meeting. Commissioner Fox seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Excused

The motion passed with a unanimous vote.

7.D. An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code Chapter 17.55.040 E.

Presentation Summary Points: A proposal to amend EMMC 17.55.040.E regarding parking lot proximity to uses by specifying a minimum distance between a parking lot and the building which it serves; and 17.55.100 regarding shared parking by reducing the amount of shared parking allowed between businesses, making the City Council the approval authority for shared parking arrangements, to require a users' maintenance agreement with any approved shared parking agreement, and, to provide standards affecting approval of shared parking agreements. About two years ago, the City Council wrestled with the City's shared parking code when evaluating a site plan for a commercial daycare. Separately, the City Council once expressed the desire to have parking lots be in close proximity to the use(s) which they were intended to serve. This latter concern seemed to originate when considering a large, mixed-use commercial and apartment development proposed to the east of the Ridley's store along Pony Express. The proposed amendments seek to stipulate a distance allowance between parking lots and the uses/buildings they are intended to serve, and to reduce the amount of shared parking allowable from 50% of what is required for a business place to 40%, to make the City Council the arbiter of a decision to approve a shared parking agreement, and to require some form of joint maintenance agreement between parties to an approved shared parking lot arrangement.

Discussion Summary Points:

- The need for parking lots to be located near the land use they serve and the concept of shared parking.
- The code requires sufficient parking for each use and that shared parking agreements would be decided by the City Council.
- Does the City have the ability to enforce appropriate parking lot placement and shared parking agreements?

Commissioner Allen opened the public hearing at 7:35 p.m. As there were no comments, he closed the hearing at 7:35 p.m.

MOTION: *Commissioner Allen moved to recommend approval to the City Council of Item 7.D., Title 17 Amendments to Require Parking Lots be in Proximity to Uses and to Standards Governing Shared Parking Arrangements, Commissioner Hess seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	No
Craig Whiting	Yes
Bryan Free	Excused

The motion passed with a 4 to 1 vote.

7. E. An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code Chapter 17.35.050 Drive-Thru Lanes.

Presentation Summary Points The idea of requiring some form of diminutive but still effective bypass/escape lane has been discussed with City decision-makers before. Varying municipalities require or recommend bypass (escape) lanes around drive-thru lanes to ensure traffic can circulate on-site and vehicles are not trapped in queues. Drive-thru bypass lanes help maintain site safety and accessibility, especially in high-traffic commercial areas. Even in places that don't require their presence, various businesses install them as a matter of course. Over a year ago, the Planning Commission recommended their adoption by the City Council. The City Council took the matter of requiring their implementation under advisement, and subsequently tabled the request. One question raised by one of the members of council asked which other jurisdictions in Utah require drive-thru bypass/escape lanes.

Discussion Summary Points:

- What are the stacking distance requirements for drive-through lanes and should they increase them?
- The need for escape lanes in case of medical emergencies, vehicles that may break down, etc.
- Escape lanes would be one car length in front and one care length behind so people can get out.

Commissioner Allen opened the public hearing at 7:44 p.m. As there were no comments, he closed the hearing at 7:44 p.m.

MOTION: *Commissioner Hess moved to recommend approval to the City Council of Item 7.E., EMMC 17 Amendments to Drive-Thru Lanes. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes

Bryan Free

Excused

The motion passed with a unanimous vote.

7. F. An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code Chapter 17 and 10.030 Structure Definition.

Presentation Summary Points: : A proposal to amend Title 17, Chapter 10.030 by adding a definition for a "structure", and, EMMC 17.25.040 the "Residential Development Standards Table" to better clarify that structures housing livestock are to be kept 50' from neighboring residences and 6' from all other structures in the RA1, RA2, RD1, RD2 and FR Zones, and, that structures housing livestock shall be kept 6' away from all structures (including neighboring residences) in the R1, R2, R3, RC, MF1 and MF2 Zones. Also, to amend footnote number 3 under the Table to specify that setback(s) for structures not requiring a building permit shall not be required – save for those that house livestock. Some time ago, a code enforcement matter revealed there would be a benefit to clarifying required setbacks for structures housing livestock (especially chicken coops) as set forth in Table 17.25.040 from neighboring houses, property lines and "other structures". This item is being brought back to the Planning Commission as some time has passed since action was taken on the same, and to re-present it as a stand-alone ordinance draft to the City Council.

Discussion Summary Points:

- Clarifying what is considered a livestock structure versus an accessory and what are the setback requirements?
- Accessories, including chicken coops, are not livestock structures and have different set back requirements than structures housing livestock.

Commissioner Allen opened the public hearing at 7:52 p.m.

Bettina Cameron made a public comment.

Commissioner Allen closed the public hearing at 7:52 p.m.

MOTION:

Commissioner Strong moved to recommend approval to the City Council of Item 7.F., Table 17 Changes to Required Setbacks for Structures Housing Animals. Commissioner Hess seconded the motion.

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Excused

The motion passed with a unanimous vote.

Commented [BL1]: Check the language in the public notice and use it. I do prefer using Table in this situation, but we want to match the notice language.

7. G. An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code Chapter 17 and 10.030 Definitions.

Presentation Summary Points: A proposal to amend Title 17, Chapter 10.030. Definitions by revising the definition of “lot frontage” and adding one for “Property width” for a “structure”, and EMMC 17.25.040 the “Residential Development Standards Table” by denoting that townhouse lots in the MF-1 and MF-2 zones require street frontage to be buildable and that apartments in those zones also require street frontage but may have their parking areas accessed via service drives. A somewhat recent proposal to develop a townhouse project in the MF-1 and MF-2 Zones [wherein townhouse buildings only front on, and make use of, service drives for on-site vehicular circulation and parking] prompted the creation of the attached amendment draft. The proposed code changes are intended to cause both townhouse and apartment lots to have [direct] street frontage – though they would allow apartments to still make use of service drives for on-property traffic circulation and parking.

Discussion Summary Points:

- The front of the town-home would require access to a public street.

Commissioner Allen opened the public hearing at 7:56 p.m. As there were no comments, he closed the hearing at 7:57 p.m.

MOTION:

Commissioner Fox moved to recommend approval to the City Council of Item 7.G., Title 17 Amendments to Definitions and Controls Pertaining to Property Frontage. Commissioner Whiting seconded the motion.

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Excused

The motion passed with a unanimous vote.

8. **Discussion Items:** City Planner, Rob Hobbs presents a request from a property owner to replace a wooden fence with a vinyl fence along a parkway. Commissioners discuss the need for consistency in fencing along parkways and the potential impact of allowing exceptions. The consensus is to maintain the current fencing standards to avoid patchwork and maintain community aesthetics. Rob agrees to explore a code amendment that allows exceptions in keeping with existing fencing standards.

9. Next Scheduled Meeting

The next Planning Commission meeting is scheduled for July 8, 2025.

10. Adjournment

MOTION:

Commissioner Whiting moved to adjourn the meeting at 8:08 p.m. Commissioner Strong seconded the motion.

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Excused

The motion passed with a unanimous vote.

The meeting was adjourned at 8:08 p.m.

Approved by the Planning Commission on

Brandon Larsen
Planning Director

DRAFT



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 8, 2025**

TITLE:	Site Plan Code Amendments
ITEM TYPE:	Development Code Amendment
FISCAL IMPACT:	n/a
APPLICANT:	City-initiated

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

Yes

PREPARED BY

David Stroud, Senior Planner

PRESENTED BY

David Stroud

RECOMMENDATION:

Staff recommends that the Planning Commission forward a positive recommendation to the City Council respecting the proposed site plan amendments.

BACKGROUND:

The proposed amendments contain two primary changes. The first is regarding how access onto a public street from a parking lot or private drive is measured. This was reviewed by the Planning Commission several months ago with the City Council then wanting clarification. The second is adding administrative approval by Staff to review and approve minor site plat amendments. The proposed code lists items that would qualify for administrative site plan approval. If determined a proposal is not minor in nature, the request will be processed as a standard site plan with review by the Planning Commission and final approval by the City Council.

ITEMS FOR CONSIDERATION:

The Planning Commission should consider the potential consequences associated with the proposed code changes if later recommended for adoption. Ordinances pertaining to Development Code Amendments, and processing of the same, may be found in EMMC 17.05.120 & UCA 10-9a-501.

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. 17.100 Site Plan Review

Chapter 17.100

SITE PLAN REVIEW

Sections:

- [17.100.010 What this chapter does.](#)
- [17.100.020 Purpose.](#)
- [17.100.030 Site plan approval required.](#)
- [17.100.040 Master site plans.](#)
- [17.100.050 Site plan development standards.](#)
- [17.100.060 Architectural requirements.](#)
- [17.100.070 Application.](#)
- [17.100.080 Review and approval process.](#)
- [17.100.090 Expirations and extensions of approvals.](#)
- [17.100.100 Issuance of building permit.](#)
- [17.100.110 Issuance of a certificate of occupancy.](#)
- [17.100.120 Temporary site plans.](#)
- [17.100.130 Amended site plans.](#)

17.100.010 What this chapter does.

This chapter identifies the application requirements and approval process for site plans. [Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.1); Ord. [O-11-2008](#) § 2 (Exh. A § 20.1); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.1)].

17.100.020 Purpose.

The site plan procedure establishes a process to evaluate proposed projects, ensuring that development will occur in a safe, functional manner and will not create nuisances for adjacent landowners. [Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.2); Ord. [O-11-2008](#) § 2 (Exh. A § 20.2); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.2)].

17.100.030 Site plan approval required.

Site plan approval shall be required for all developments which contain an industrial, commercial, institutional, or multifamily dwelling, or for other uses for which a site plan is required elsewhere in this title. [Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.3); Ord. [O-11-2008](#) § 2 (Exh. A § 20.3); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.3)].

17.100.040 Master site plans.

When development proposals are larger than five acres in size, proposed to be developed in phases or sold in separate parcels, a master site plan approval by the ~~e~~City ~~e~~Council is required prior to approving the individual sites within the project. The master site plan application shall address the following issues for the entire site: land use, open space and landscaped areas, architectural guidelines, buildable square footage, parking requirements, access and circulation, phasing and timing of improvements, project monument sign locations, storm drainage and all preliminary calculations for infrastructure improvements and traffic impact mitigation related to a traffic impact study, if required. The proposal and accompanying documents shall be reviewed using the same procedure as any site plan application.

A. Waiving Previously Reviewed Materials. All new construction in master site plans shall be required to go through a separate site plan review. To the extent that site plan requirements such as storm drainage, traffic circulation, parking, lighting, or other provisions have been met through the master site plan process, such information may not be required.

B. Planning Commission Final Approval of Phases. The ~~e~~City ~~e~~Council may elect to delegate to the ~~p~~Planning ~~e~~Commission the final approval responsibilities for each site plan phase. This shall be stated in the development agreement for the master site plan. However, if one or more of the following conditions exists, final site plan approval must be obtained from the ~~e~~City ~~e~~Council, upon recommendation from the ~~p~~Planning ~~e~~Commission:

1. The site plan deviates from the approved master site plan.
2. Previous phases have created unforeseen impacts requiring the reevaluation of site standards for subsequent phases with respect to such impacts.

C. Industrial Master Site Plans – Special Conditions. The ~~p~~Planning ~~e~~Director may waive certain requirements of the master site plan that may not be necessary for an industrial proposal larger than five acres in size. The following requirements cannot be waived: land use, open space and landscaped areas, architectural guidelines, access and circulation requirements, and traffic impact study, if required.

D. Master Site Plans Serving as Preliminary Plat. The preliminary plat process ~~described in Chapter 16.20 EMMC~~ may not be required if a master site plan, while going through the initial approval process, complies with the following criteria:

1. A preliminary arrangement of larger blocks of land – later to be subdivided during the final plat process – is included.

2. All required utilities, storm drainage, landscaping, access and circulation requirements, and other aspects of the eventually built-out project are addressed sufficiently with the master site plan.

3. The eCity is not responsible if, over time, the project is unable to service a possible user due to undersized utilities, roadways, or other infrastructure. If upgrades to such facilities are necessary, they will be borne solely by the applicant. [Ord. [O-13-2016](#) § 2 (Exh. A); Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.4); Ord. [O-11-2008](#) § 2 (Exh. A § 20.4); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.4)].

17.100.050 Site plan development standards.

The following are standards required for all site plans in any zoning district:

A. Use of Property. The entire parcel area shall be built upon, landscaped or paved in accordance with the zoning district's open space requirements and other generally applicable development standards.

B. Screening Requirements. Any commercial lot which abuts a residential or agricultural use shall be effectively screened by a combination of a wall, fencing, and landscaping of acceptable design. Required walls or fences shall not be less than six feet in height, unless a wall or fence of a different height is approved by the eCity eCouncil. Such wall, fence and landscaping shall be maintained in good condition with no advertising thereon. All developments shall have the minimum number of trees as required by Chapter [17.60](#) EMMC, Landscaping, Buffering, Fencing and Transitioning, to provide for shade and visual relief.

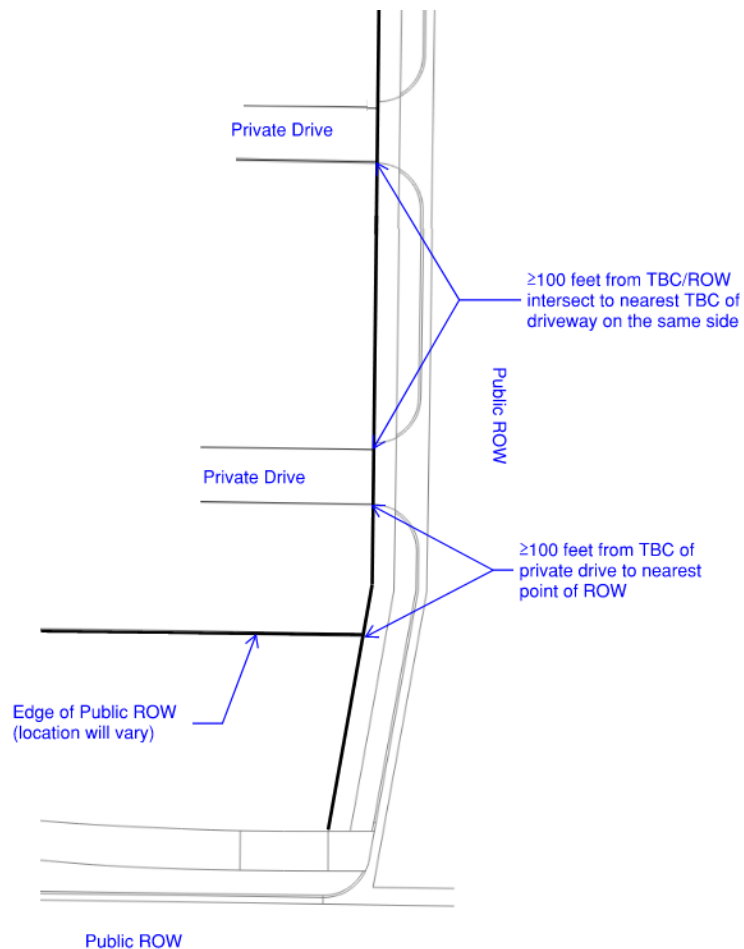
C. Access Requirements.

~~1. Access Onto a Public Street. Access onto public rights-of-way shall not be closer than 100 feet from a public right-of-way intersection or another driveway intersection on the same side of the street. This shall be measured from the curbline of the driveway at the point of intersection with the public right-of-way to the nearest point of the public right-of-way. In the instance of driveway to driveway separation, the measurement shall be from closest curbline to closest curbline at the point of intersection with the public right-of-way. When a parcel has less than 200 feet of frontage on a public right-of-way, then all necessary efforts shall be made to work collaboratively with~~

~~adjacent property owners to share a common ingress and egress straddling the common property line.~~

1. Access Onto a Public Street. Private driveways or drive lanes that intersect with a public right-of-way shall be located a minimum of 100 feet from another private driveway or drive lane on the same side of the street as shown on Figure 17.100.50(a). This shall be measured from the closest points of each where the top back of curb intersects with the public right-of-way. A private driveway or drive lane shall be located a minimum of 100 feet from a public right-of-way intersection. This shall be measured from the nearest point of the public right-of-way to the top back of curb of the private driveway or drive lane where it intersects with the public right-of-way. When a parcel has less than 200 feet of frontage on a public right-of-way, then all necessary efforts shall be made to work collaboratively with adjacent property owners to share a common ingress and egress straddling the common property line or permit internal cross-access between lots.

Figure 17.100.50(a)



2. Access Dimensions. For each commercial lot, access shall be provided and shall meet the following requirements: each roadway shall not be more than 40 feet in width, measured at right angles to the centerline of the driveway except as increased by permissible curb return radii. The entire flare of any return radii shall fall within the right-of-way.

3. Interconnection. All parking and other vehicular use areas shall be interconnected with adjacent properties in order to allow maximum off-street vehicular circulation.

4. Acceleration and Deceleration Lanes. Acceleration and deceleration lanes shall be required on arterials and collectors when deemed necessary by the eCity eEngineer.

D. Off-Street Truck Loading Space. Every building or structure built, remodeled or occupied after the effective date of the ordinance codified in this chapter for manufacturing, commercial trade, or other uses similarly involving the receipt or distribution by vehicles or materials or merchandise shall have provided and maintained on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets or alleys.

E. Utilities. All utility lines shall be underground in designated easements. No pipe, conduit, cable, line for water, gas, sewage, drainage, steam, electrical or any other energy or service shall be installed or maintained upon any lot (outside of any building) above the surface of the ground except for hoses, movable pipes used for irrigation or other purpose during construction. Transformers shall be grouped with other utility meters where possible and screened with vegetation or other appropriate method. Each contractor and owner/developer shall be responsible to know the whereabouts of all underground utilities. Protection of such utilities shall also be the responsibility of the developer.

F. Grading and Drainage. Drainage from any lot must follow current eCity requirements for on-site retention and a maximum allowable discharge at the calculated historical rate for the site. Drainage shall not be allowed to flow upon adjoining lots unless the owner of the lot upon which the water flows has granted an easement for such purpose. The pPlanning eCommission must approve a site plan with grading, drainage, and clearing plans before any such activities may begin. Lot grading shall be kept to a minimum. Where possible, roads and development shall be designed for preservation of a natural grade.

G. Dedication of Water Shares. The applicant shall comply with Chapter [13.25](#) EMMC and shall dedicate to the eCity the amount of water rights specified in that chapter or purchase sufficient water from the eCity prior to the issuance of any building permit.

H. Protection of Steep Slopes and Natural Drainages. Steep slopes and natural drainages shall be protected from development and erosion. It is encouraged that they be incorporated into the design of development. Development or construction near these features shall comply with Chapter 15.80 EMMC, Hillside Site Development. No building lot may have an average slope that exceeds 25 percent. [Ord. [O-19-2023](#) § 2 (Exh. A); Ord. [O-09-2017](#) § 2 (Exh. A); Ord. [O-13-2016](#) § 2 (Exh. A); Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.5); Ord. [O-11-2008](#) § 2 (Exh. A § 20.5); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.5)].

17.100.060 Architectural requirements.

A. Mechanical Equipment. All mechanical equipment shall be located or screened and/or other measures taken so as not to be visible from any public or private streets. Screens shall be aesthetically incorporated into the design of the building whether located on the ground or roof. Rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view. Line of sight measurements may be required. Screening materials shall conform to the color scheme of the primary building. Measures taken to shield mechanical equipment from view, other than screening, must be approved by the eCity eCouncil after recommendation from the pPlanning eCommission.

B. Windows. Windows are encouraged as accents and trim.

C. Building Lighting. Plans for exterior building lighting shall be approved as part of the site plan approval. Building lighting shall be fully shielded and directed downward so that the light source is not visible from beyond the property where the structure is located. Lighting shall be in conformance with Chapter [17.56](#) EMMC.

D. Trash Enclosures, Storage Areas, and External Structures. Landscaping, fencing, berms or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures. Trash and storage areas shall be comparable to the proposed or existing building and with surrounding structures. These areas shall be well maintained and oriented away from public view. The consolidation of trash areas between business and the use of modern disposal and recycling techniques are encouraged. Chain link fences and fencing with vinyl slats are prohibited.

E. Exterior Materials. Buildings shall be finished with high-quality materials. Building elevations shall be submitted that indicate all colors, styles, materials and other proposed building treatments.

F. Landscape Guidelines. All site plans shall conform to the landscaping guidelines established by the eCity.

G. Parking Lot and Street Lighting. All parking lot light fixtures shall be installed to prevent light glare from adversely affecting adjacent properties. Pole-mounted fixtures are required in lots or along roads. Lighting of all pedestrian pathways is required. Lighting will be judged as to how adequately it provides for the health and safety of citizens. Design and location of standards and fixtures shall be specified on the site development drawings. Illumination shall be controlled so that glare or excessive direct light will not adversely affect neighboring areas. All streetlights and interior parking lot lights shall meet the eCity's adopted design standards for lighting.

H. Enclosed Uses. All uses established for any commercial or industrial uses shall be conducted entirely within a fully enclosed approved building except those uses deemed by the eCity eCouncil in consideration of the prior recommendation of the pPlanning eCommission to be customarily and appropriately conducted in the open. Uses which qualify for this exception are vegetation nurseries, home improvement centers with lumber and/or vegetation nurseries, outdoor cafes or auto dealerships. Approved seasonal temporary uses, such as Christmas tree lots, shall be exempt from this requirement.

I. Businesses Moving into Existing Buildings. New businesses moving into existing conforming or nonconforming buildings shall comply with the requirements of this section where possible prior to a business license being issued.

J. Nuisances. All commercial uses shall be free from objectionable odors, noises, hazards or other nuisances. [Ord. [O-12-2014](#) (Exh. A); Ord. O-16-

2010 § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.6); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.6)].

17.100.070 Application.

The property owner or an authorized agent shall make application on forms created by the pPlanning dDirector. No site plan application shall be processed without the submission of the application, all the supporting materials as required by this chapter, and processing fee. Incomplete applications shall not be processed under

any circumstance. When the eCity's ordinances require a conditional use and/or subdivision approval, these applications may be processed concurrently with a site plan.

A. Supporting Materials. The site plan application shall be submitted with the materials listed in this section. The pPlanning dDirector and pPlanning eCommission may determine and require that additional items not listed herein be submitted in order to evaluate the proposed site plan application. If a development has been previously reviewed (conditional use or subdivision approval), or the applicant believes that some of the required supporting materials are not applicable, then the applicant may submit a written statement to identify and clarify why they believe these materials are not needed for review of the project. Upon review of this statement, the pPlanning dDirector may waive the requirements of certain materials relating to improvements that have been reviewed and approved in a previous application process or are not found to be applicable to the project. The following materials must be submitted with a complete application, unless otherwise waived as allowed herein. The number of hard copies and electronic copies, as well as the appropriate format of each, will be determined by the pPlanning dDirector.

1. Ownership Affidavit. A document detailing all covenants, grants of easement or other deed restrictions applicable to the site and an ownership affidavit shall be submitted.

2. Vicinity Map. A vicinity map (which can be included on the site plan) showing the general location and indicating the approximate location of the subject parcel.

3. Context Plan. A context plan including the existing features on the property and within 200 feet of the proposed site plan property line. Existing features include, but are not limited to, buildings, roads, ingress and egress points, landscaping areas, pedestrian paths, and property names.

4. Survey. The survey prepared and stamped by a Utah-registered land surveyor listing the metes and bounds, legal description, and the gross acreage within the subject parcel.

5. Site Plan. A site plan, prepared and stamped by licensed and/or certified professionals including, but not limited to, architects, landscape architects, engineers, surveyors, or other professionals deemed necessary by the pPlanning dDirector. The eCity may require plans prepared by any or all of the above-noted professionals. The site plan shall contain the date, scale, north arrow and the following items:

- a. Boundaries of the subject parcel and the entire parcel (where the project does not occupy the entire parcel of which it is part).
- b. Existing and proposed streets, watercourses, easements and other rights-of-way, and section lines.
- c. Locations, dimensions, uses and heights of all proposed buildings and structures, including overhangs, porches, stairwells, and balconies, and the locations of all structures on adjoining properties.
- d. Access points, provisions for vehicular and pedestrian circulation on site and off site, interconnection to adjacent sites and dimensions of such access and circulation.
- e. Acceleration and deceleration lanes, and dimensions thereof, if required.
- f. Off-street parking and loading areas complying with Chapter [17.55](#) EMMC and indicating the required number of stalls and aisles scaled to the correct dimensions, the correct number of handicapped-accessible parking spaces, lighting, landscaping and irrigation, the percentage of landscaping to impervious surfaces, and pedestrian walkways.
- g. Screening and buffering provisions, including types and heights of existing and proposed buffering and fencing elements.
- h. Location and treatment of refuse collection areas, storage areas, mechanical equipment, and external structures.
- i. Location and size of existing utilities and general location of utility access points and hookups.
- j. Location, type and size of all signage including advertising and directional signage.
- k. Tabulation of square footage devoted to various land uses, ground coverage by structures and other impervious surfaces.
- l. Location of existing and proposed curb, gutter, sidewalk, park strip and edge of asphalt, to be signed and stamped by a licensed professional engineer.

- m. Type of construction of all structures, presence or absence of fire sprinkling and location of existing and proposed fire hydrants.
- n. Location of all existing and proposed irrigation systems, both on site and on adjacent properties, including, but not limited to, ditches, pipes, and culverts.
- o. A statement on the site plan that all applicable elements of the Americans with Disabilities Act accessibility guidelines will be adhered to.
- p. The piping of all existing irrigation ditches which affect the site.
- q. The names of all adjacent property owners.

6. Landscaping Plan. A landscaping plan prepared and stamped by a licensed landscape architect, indicating the location, spacing, types and sizes of landscaping elements, sprinkler system plans, existing trees, if any, and showing compliance with the landscaping or buffering requirements of the appropriate zoning district. The landscaping plan shall include, at a minimum, the following information:

- a. The location and dimension of all existing and proposed structures (when feasible), property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.
- b. The plant names (both botanical and common name), location, quantity, and size of all existing and proposed plants. The proposed plan should indicate the size of the plant material at maturation.
- c. The landscaping plan should also exhibit the existing landscaping 20 feet beyond the property lines.
- d. Existing and proposed grading with contours at one-foot intervals for areas with grades less than five percent. Areas in excess of five percent shall have contours shown at two-foot intervals.
- e. Plans showing the irrigation system shall also be included in the landscaping plan submittal.
- f. Proposed and existing fences and identification of the fencing materials.

g. A summary of the total percentage of landscaped areas, domestic turf grasses, and drought-tolerant plant species along with the estimated cost of all the improvements.

7. Grading, Drainage, and Erosion Plan. A grading, drainage, and erosion plan prepared and stamped by a licensed engineer shall be submitted. The report shall contain the drainage basin map and a plan view of the overall storm water system. The grading, drainage, and erosion plan shall address the following issues: description of features and hydrological conditions; drainage basin and sub-basin; drainage facility design criteria; infrastructure design criteria; grading plan; and erosion control. Specifically, the report shall contain, at a minimum, the following information:

a. The existing roadways, drainage ways, vegetation and hydrological conditions of a 10-year, 24-hour event and a 100-year, 24-hour event.

b. The major basin descriptions referencing all major drainage reports such as FEMA, major drainage planning reports, or flood insurance maps and the basin characteristics and planned land uses.

c. The sub-basin description showing the historical drainage pattern and off-site drainage patterns both upstream and downstream of the property.

d. A general discussion of how the proposed system conforms to existing drainage patterns and off-site upstream drainage will be collected to protect development.

e. The water quality evaluation showing the water quality shall not be degraded from existing storm water quality including how solids are collected and not allowed to be discharged into downstream waters and how oils and greases are separated from storm water.

f. Maintenance plan and procedure for storm water system; thorough narrative of all charts, graphs, tables or other information included in the report describing how it affects the proposed development.

g. Infrastructure design criteria showing the piping is sized to handle the peak intensity of the 10-year storm event; all detention basins are sized to handle 100-year storms while discharging at a maximum 10-year, 24-hour historical rate; a 10-foot traffic lane in both directions is maintained at all locations within the development; and that the roadway and

infrastructure will handle a 100-year storm event without flooding homes or damaging public property.

h. Grading plan showing soil map depicting unique soil features such as collapsible soil, rock features, etc.; a grading plan showing all cut and fill areas within a development including: the identification of slopes; fill and cut depths; and rock features within 10 feet of post-grade soil surface.

i. Erosion control shall show: how erosion will be controlled during construction; explanation and design showing that such construction debris and silts will not be collected by storm water system; show and design for all cut and fill slopes will not be eroded and how these areas will be restored to their natural vegetative state.

8. Lighting Plan. A lighting plan, which indicates the illumination of all interior areas and immediately adjoining streets showing the location, height, lumen output and type of lighting proposed.

9. Elevations. Elevations of all buildings, fences and other structures viewed from all sides indicating heights of structures, the average finished grade of the site at the foundation area of all structures, percentage of building materials proposed, and color of all materials. A letter of approval from the applicable architectural review committee must also be submitted.

10. Traffic Impact Study. A traffic impact study (completed by a professional that is competent in the field of traffic engineering) may be required if it is estimated by the eCity eEngineer that the project could generate traffic impacts that require further study or that may require site improvements to transportation facilities. Said study shall include, but not be limited to, the following: an analysis of the average daily trips generated by the proposed project; an analysis of the distribution of trips on eCity street systems; a description of the type of traffic generated; and recommended on-site improvements that may mitigate negative traffic impacts.

11. Phasing Plan. If the site plan is to be developed in phases, a plan that shows the phasing of the development must be submitted.

12. Water Rights. Documentation of sufficient water rights for the proposed project must be provided.

13. Utility Demands. A summary projecting the utility demands that the development will create for communication lines, water, electricity, natural gas, and sewer.

14. Electronic Files. Electronic files of all the drawings for the project must be submitted.

15. Signage Plan. A signage plan shall be submitted as required by Title 1 Section 15.7.2 and in accordance to the submittal requirements contained in EMMC [17.80.040](#)(A).

16. Public Notice. ~~Addressed and stamped envelopes (the city's address will be the return address on the envelopes) of property owners located within 600 feet of the proposed site plan (including a minimum of at least 25 adjacent property owners). Noticing as required by EMMC 17.05.200(a).~~

17. Fee. The processing fee required by the current consolidated fee schedule approved by the eCity eCouncil. [Ord. [O-12-2014](#) (Exh. A); Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.7); Ord. [O-11-2008](#) § 2 (Exh. A § 20.6); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.7)].

17.100.080 Review and approval process.

The review and approval process for a site plan permit shall be as follows:

A. Planning Commission Public Hearing. Upon receipt of a completed application and subsequent review by the pPlanning dDirector, the pPlanning dDirector shall place the application on the next available pPlanning eCommission agenda for a public hearing no later than 28 days after a complete application has been submitted. The pPlanning dDirector shall cause all property owners within 600 feet of the boundaries of the proposed application area (including a minimum of at least 25 adjacent property owners and affected entities if there be any) to be notified by first class mail of the time and place of the public hearing at least 10 days prior to the pPlanning eCommission meeting. A copy of the public notice of the hearing shall also be posted in three public places (including the eCity offices) within the eCity at least 10 days prior to the hearing.

B. Planning Commission Review. The pPlanning eCommission will review each application and may recommend to the eCity eCouncil: approval; approval with conditions to ensure compliance with standards in this or any other title or representations made by the applicant; or denial of the application based upon finding of facts. The pPlanning eCommission may also defer action if an applicant

fails to appear at the meeting or if the ~~p~~P~~l~~anning ~~e~~C~~o~~mmission requests additional information. After the ~~p~~P~~l~~anning ~~e~~C~~o~~mmission's review and recommendation and prior to ~~e~~C~~o~~lity ~~e~~C~~o~~uncil review, a development agreement based on conditions and special provisions in the ~~p~~P~~l~~anning ~~e~~C~~o~~mmission action for that project shall be prepared and it shall be transmitted to the ~~e~~C~~o~~lity ~~e~~C~~o~~uncil with the site plan unless the ~~e~~C~~o~~lity ~~a~~Attorney advises otherwise. The development agreement may include such items as the architectural drawings, site plan, phasing plans, water rights, and bonding requirements, if any.

C. City Council Review. The ~~e~~C~~o~~lity ~~e~~C~~o~~uncil will review each application and consider the ~~p~~P~~l~~anning ~~e~~C~~o~~mmission's recommendation and may approve; approve with conditions to ensure compliance with standards in this or any other title or representations made by the applicant; or deny the application based upon finding of facts. The ~~e~~C~~o~~lity ~~e~~C~~o~~uncil may also defer action if an applicant fails to appear at the meeting or if the ~~e~~C~~o~~lity ~~e~~C~~o~~uncil requests additional information. The ~~e~~C~~o~~lity ~~e~~C~~o~~uncil may also remand any application, or portion thereof, to the ~~p~~P~~l~~anning ~~e~~C~~o~~mmission for further study and recommendation. Upon the granting or denying of a site plan application, the ~~e~~C~~o~~lity shall prepare and mail or deliver to the applicant a written statement of the decision and, in the case of a denial, the reasons therefor. [Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.8); Ord. [O-11-2008](#) § 2 (Exh. A § 20.7); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.8)].

17.100.090 Expirations and extensions of approvals.

Master site plan approvals shall expire two years from the date of ~~e~~C~~o~~lity ~~e~~C~~o~~uncil approval if a site plan application has not been approved by the ~~e~~C~~o~~lity ~~e~~C~~o~~uncil; site plan approvals shall expire one year from the date of ~~e~~C~~o~~lity ~~e~~C~~o~~uncil approval if a building permit has not been obtained for the project.

A. Extensions of Time. An extension of time may be requested by an applicant with the following requirements:

1. A written, signed request for an extension of time shall be received by the ~~p~~P~~l~~anning ~~d~~D~~i~~rector prior to the expiration date of the project.
2. The request for an extension of time shall specify any progress made on the project's conditions of approval, and the reasons for the extension request, along with supporting documentation.

B. Criteria for Approving Extensions of Time. It is the responsibility of the applicant to request an extension of time prior to a project's expiration. The ~~e~~C~~o~~lity is not responsible to remind applicants of expiration dates. The ~~p~~P~~l~~anning ~~d~~D~~i~~rector shall

approve or deny a request for an extension of time within a reasonable period of time after receiving the request. The ~~p~~Planning ~~d~~Director may grant up to a single one-year extension of time to any project that meets one of the following criteria:

1. The applicant must have shown a good faith effort to initiate the project by systematically completing predevelopment conditions.
2. The applicant's initiation of development activities is based on an action by the ~~e~~City or other public agency which has not taken place or was delayed, resulting in a time delay beyond the permit holder's control.

C. Appeals. An applicant may appeal the ~~p~~Planning ~~d~~Director's decision to the ~~p~~Planning ~~e~~Commission within 15 days of the date of the decision. The applicant may then appeal a decision of the ~~p~~Planning ~~e~~Commission to the ~~e~~City ~~e~~Council within 15 days of the ~~p~~Planning ~~e~~Commission's decision. In no case shall the ~~p~~Planning ~~e~~Commission or ~~e~~City ~~e~~Council approve more than a single one-year extension of time.

D. Resubmitting an Expired Project. A project that has expired may be resubmitted within two years of the expiration date for a fee to cover time and materials, not to exceed 50 percent of the original fee, if the project is substantially similar to the expired plan. The resubmitted project must be in compliance with the current development code at the time of resubmittal. [Ord. [O-16-2010](#) § 3 (Exh. B)].

17.100.100 Issuance of building permit.

Any building permit issued shall expressly require that development be undertaken and completed in conformity with the provisions of the approved site plan.

A. Application Compliance. A building permit shall not be issued for any building or structure, external alterations thereto, or any sign or advertising structures until the provisions of this chapter have been met.

B. Bonds. In order to assure that the development will be constructed to completion in an acceptable manner, the applicant (owner) shall enter into an agreement and provide a bond similar to the requirements applicable to subdivisions. The agreement and bond shall assure timely construction and installation of all required public improvements, including, but not limited to, landscaping, flood control facilities, parking, street improvements and other improvements required for site plan approval. The applicant (owner) shall enter into an agreement and provide a bond for 110 percent of the cost as estimated by the ~~e~~City ~~e~~Engineer. The developer may request 90 percent of the amount for one line item to be released

with authorization by the eCity eEngineer, when that line item is completed, inspected, and accepted by the eCity inspector. One hundred percent of the entire bond may be released when the site is completed, inspected, and accepted by the eCity. The remaining 10 percent will be held to ensure that the improvements shall be maintained in a state of good repair for a period of two years from the date of completion and acceptance by the eCity inspector. Improvement collateral requirements shall be recalculated if the project was approved more than 180 days prior to the date of proposed recordation. [Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.9); Ord. [O-11-2008](#) § 2 (Exh. A § 20.8); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.9). Formerly 17.100.090].

17.100.110 Issuance of a certificate of occupancy.

A certificate of occupancy shall be issued for any building or structure, external alterations thereto, or any sign or advertising structures, when provisions of the approved site plan and/or written development agreements have been met. [Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.10); Ord. [O-11-2008](#) § 2 (Exh. A § 20.9); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.10). Formerly 17.100.100].

17.100.120 Temporary site plans.

The pPlanning dDirector and pPlanning eCommission may recommend waiving some of the requirements of this title or chapter when a site plan is temporary in nature. A temporary site plan approval shall be valid for a period of time as determined by the eCity eCouncil as part of the initial review. Applicants may request that temporary site plan approval be renewed. The same approval process procedures described in this chapter shall be followed, with the exception of the mandatory public hearing requirement. At the discretion of the pPlanning dDirector or pPlanning eCommission, a public hearing may be required when renewing a temporary site plan application. [Ord. [O-16-2010](#) § 3 (Exh. B); Ord. [O-18-2008](#) § 2 (Exh. A § 20.11); Ord. [O-11-2008](#) § 2 (Exh. A § 20.10); Ord. [O-23-2005](#) § 3 (Exh. 1(1) § 20.11). Formerly 17.100.110].

17.100.130 Amended site plans.

Site plan amendment approval shall be required when the City Council, owner of property, or duly authorized agent seeks to execute a site plan that materially deviates from the previously approved site plan.

A. Minor Site Plat Amendments. The Planning Director or designee may approve minor modifications to a site plan previously approved by the City Council or Planning Commission if the amendments do not deviate from the original purposes of the approved site plan and will comply with all requirements of this Section.

B. Process. All processes and procedures set out in Section 17.100, Site Plan Review, shall be applicable.

C. Decisions. Decisions to approve or deny a minor amendment to an approved site plan shall be based on the following criteria:

1. The amendment will be in the public interest; and
2. The amendment will not:
 - a. Negatively impact the adjoining property or neighborhood.
 - b. Adversely impact the site on which the minor modification is requested or any surrounding property.
 - c. Endanger the public health or safety.
 - d. Adversely affect the enjoyment, use, development or value of any property.

D. Minor Amendments. The proposed amendments to the site are minor in nature and enhance the overall site. Minor amendments include, but are not limited to, the following:

1. Increasing the amount of parking.
2. Restriping the parking areas.
3. Reducing the building size.
4. A building addition or new structure, where the proposed addition or structure does not exceed ten percent (10%) of the square footage of the existing building(s) on the same lot.
5. Relocating the on-site utility services.
6. Altering the exterior site lighting.

7. Increasing the amount of landscaping.

8. Relocating parking stalls or changing the number of parking stalls on site. Parking stalls required by EMMC shall not be reduced beyond the minimum number required by Chapter 17.55.

9. Changing the exterior finishing materials from one acceptable material to another acceptable material as listed in the standards for the zone in which the amended site plan is proposed.

10. Additions to an existing building that do not increase the gross floor area of the building such as awnings, canopies, decks, patios, and architectural features designed solely to enhance the aesthetic appeal of the building.

E. Staff Decision. Within 10 business days of the application, the Planning Director or designee shall issue a written decision to approve or ~~deny~~ continue review of the minor modification until the proposed site amendment complies with Code, or determine that the amendment exceeds the criteria for a minor amendment to an approved site plan. Written findings shall be filed documenting the results of the review and the rationale for the decision.

F. Building Permits. Permits granted on the basis of an approved site plan for which a minor amendment was also approved shall only authorize those uses, arrangement, and construction set forth in such approved plans and applications and no other use, arrangement, or construction. Use, arrangement, or construction at variance with the approved site plan shall be deemed a violation of this Title.

G. Major Amendments. All site plan amendments other than those described as Minor Site Plan Amendments in 17.130.030 shall be considered to be Major Site Plan Amendments and may only be approved after filing a site plan amendment application as set out in Section 17.130.050.

H. Site Plan Amendment Application.

1. The City Council, the property owner, or their duly authorized agent shall make an application for a site plan amendment on forms prepared by the Planning Director.

2. No site plan amendment application shall be processed without the submission of the application, all the supporting materials as required by this Chapter and the application fee. Incomplete applications shall not be processed under any circumstance.

3. The following items shall be submitted electronically via the application portal on the City website or as otherwise directed by the Planning Director.

a. Signed application

b. Explanation of the purpose of the proposed site plan amendment;

c. The name and address of all owners of record of the property included in the original site plan, if available;

d. Signatures of all property owners are directly affected by or have an interest in the proposed amendment.

e. Current title report shall be submitted for the property affected by the site plan amendment.

f. The amended site plan which must clearly depict what portion of the original site plan is proposed to be amended.

g. A copy of the previously approved site plan shall be submitted for reference.

h. Any relevant development agreements affected by the proposed amendment shall be provided.

i. The application fee required by the current consolidated fee schedule approved by the City Council.

I. Approval Process and Exceptions

1. The site plan amendment application shall not be construed as an absolute right upon submission of an application and does not require the Land Use Authority to take action based upon findings of facts.

2. Upon receipt of a complete application, the Planning Director shall conduct a preliminary review. If, upon review, the Planning Director determines that the proposed amendment constitutes a major site plan amendment, the application shall be placed on the Planning Commission's agenda as a public hearing within 30 days. If the Planning Director determines that the proposed amendment constitutes a minor site plan amendment, the application shall be processed in accordance with Section 17.130.030.

3. Upon recommendation from the Planning Commission, the City Council shall have 45 days to conduct a public meeting on the application.

4. Following the public meeting and review of the major site plan amendment, the City Council may approve, deny, or conditionally approve the proposed amendment. Approval shall only be granted upon finding that the amendment:

a. Complies with applicable law;

b. Does not materially injure public or private interest; and

c. Advances legitimate planning objectives.

J. Exceptions: A site plan amendment application is not required for adjustments to internal building layout, signage modifications consistent with City code, or similar insubstantial changes as determined by the Planning Director.



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 8, 2025**

TITLE:	Amended Preliminary Plat - Marketplace 4
ITEM TYPE:	Preliminary Plat
FISCAL IMPACT:	n/a
APPLICANT:	Forrest Gaskill

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
Agriculture / Commercial Community	16.56

PUBLIC HEARING

Yes

PREPARED BY

David Stroud, Senior Planner

PRESENTED BY

David Stroud

RECOMMENDATION:

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the proposed preliminary plat with the condition to correct the minor redlines at final plat review.

BACKGROUND:

The Marketplace at Eagle Mountain Town Center Development Agreement contains the Master Site Plan which also serves as the preliminary plat. The Applicant has submitted a revised preliminary plat to reconfigure lots in Phase 4. The Macey's lot will also be amended. Four commercial lots and a City storm water parcel exist on the approved preliminary plat along with the amended Macey's lot. Four commercial lots are proposed on the new preliminary plat along with the City storm water plat and Macey's lot. The Agreement states the City and the developer will swap parcels to relocate the storm water basin. The Planning Commission does not act on the property swap. The Master Site Plan contained in the Agreement is not required to be amended.

ITEMS FOR CONSIDERATION:

PLANNING COMMISSION ACTION/RECOMMENDATION:

The Planning Commission shall make a recommendation to the City Council regarding the proposed preliminary plat.

ATTACHMENTS:

1. Marketplace Phase 4

Narrative

This Subdivision was requested by Bill Gaskill to create 5 Lots, 1 Parcel and Public Road.

This Subdivision retraces and honors a previous 2016 Boundary/Topographical Survey by Focus Engineering and Surveying, LLC File No. 18-288 and a 2020 ALTA Survey by Anderson Wahlén and Associates.

A line between monuments found for the Southeast Corner and the East Quarter Corner of Section 12 was assigned the VRS derived bearing of North 0°27'12" East as the Basis of Bearings match NAD83 Utah Central Zone State Plane Datum reference to North.

Direct Communications

Direct Communications Cedar Valley, LLC certifies that it will provide telecommunications service to this subdivision utilizing the trenches provided by the developer as per the Direct Communications Cedar Valley P.S.C. Utah No. 1 Tariff.

Direct Communications _____ Date _____

First Digital

First Digital certifies that it will provide telecommunications service to this subdivision utilizing the trenches provided by the developer.

First Digital _____ Date _____

Enbridge Gas Utah

Questar Gas Company, dba Enbridge Gas Utah, hereby approves this plat solely for the purposes of confirming that the plat contains public utility easements. Enbridge Gas Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owner Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Enbridge Gas Utah's Right-of-Way Department at 800-366-8532.

QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH

APPROVED THIS _____ DAY OF _____, 20____.

BY- _____

TITLE- _____

Rocky Mountain Power

1. Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the Owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.
2. Pursuant to Utah Code Ann. 10-9a-603 Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains Public Utility Easements and approximates the location of the Public Utility Easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not effect any right that Rocky Mountain Power has under:

- A recorded easement or Right-of-Way
- The law applicable to prescriptive rights
- Title 54, Chapter 8a, damage to underground utility facilities or
- Any other provision of law

Approved this _____ day of _____, 20____.

Rocky Mountain Power Company

By- _____

Title- _____

Calculations Table

Total Acreage	= 16.557 acres
Total Acreage in Lots after dedications and less Parcel A	= 13.641 acres
Total Acreage in Parcel A	= 2.322 acres
Average Lot size	= 118,850 sq. ft. or 2.728 acres
Largest Lot size	= 6,235 acres
Smallest Lot size	= 0.690 acre
Total Number of Lots	= 5 Lots and 1 Parcel
Total Acreage in Right-of-Way	= 0.593 acre

Acknowledgment

State of _____ County of _____
On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, Tiffany Walden, who being by me duly sworn did say that she is the Manager of Diamond Vista, LLC a Utah limited liability company, which is the Manager of CJM limited liability partnership by authority of its members or its articles of organization, and she acknowledged to me that said limited liability company executed the same.

Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____

Acknowledgment

State of _____ County of _____
On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, Donald Mark Ridley, who being by me duly sworn did say that he is a General Partner of CJM limited liability partnership by authority of its members or its articles of organization, and he acknowledged to me that said limited liability partnership executed the same.

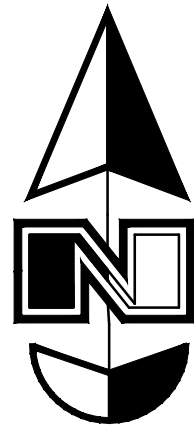
Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____

The Marketplace at Eagle Mountain Town Center Phase 4

Vacating & Resubdividing Lot 2, The Marketplace at Eagle Mountain Town Center, together with more land, being a part of the Southwest Quarter of Section 12, Township 6 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, Eagle Mountain City, Utah County, Utah 2025

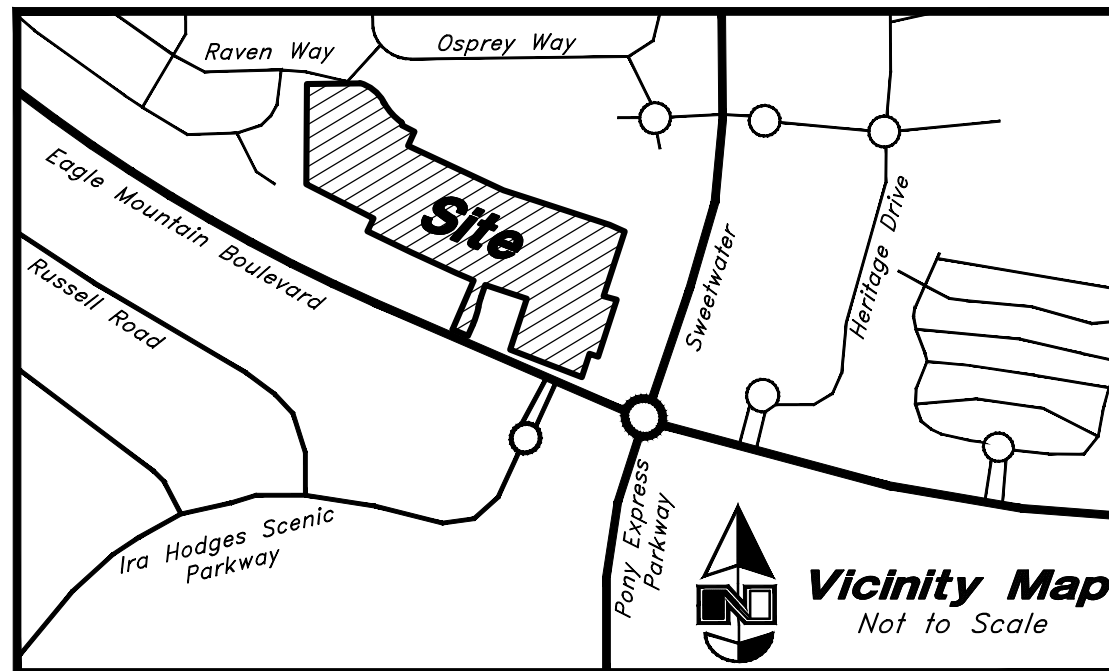
Scale: 1" = 100'

100' 0 100' 200'



Legend

- Property Line
- Easement Line
- Adjoiner Line/ Road Dedication
- Section Corner
- Centerline Monument
- Set 5/8" rebar with plastic cap or nail with Brass Tag stamped "AWA"
- (NR) Non-Radial



Line Table

Line #	Bearing	Length
L1	S 18°56'36" W	55.22'
L2	S 24°25'06" W	54.16'

Curve Table

Curve	Delta	Radius	Length	Chord Data
C1	6°08'42"	420.50'	45.10'	S 15°52'15" W 45.08'
C2	11°37'13"	379.50'	76.97'	S 18°36'30" W 76.83'
C3	0°24'55"	9939.00'	72.06'	S 65°54'19" E 72.06'
C4	0°06'22"	2030.00'	3.76'	N 26°16'02" E 3.76'
C5	1°59'25"	2030.00'	70.52'	S 25°19'30" W 70.51'

East Quarter Corner Section 12,
T6S, R2W, SL&M, U.S. Survey
(Found Brass Cap Monument)

Existing Agreements

This Subdivision is Located in an existing property development subject to existing Declaration of Covenants, Conditions and Restrictions, Easements, Ingress, Egress, and other relevant agreements contained in the following records of Utah County, Utah:

Entry No. 130929:2021

Surveyor's Certificate

I, David M. Hamilton, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 12666234, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of AWA that by authority of the Owners I have completed a survey of the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as Eagle Mountain Town Center Phase 4.

Boundary Description

All of Lot 2 of The Marketplace at Eagle Mountain Town Center recorded as Entry No. 127110:2021 and as Map File No. 17808 in the Official Records of Utah County, together with (Phase 1) more land, being a part of the Southwest Quarter of Section 12, Township 6 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, in Eagle Mountain City, Utah County, Utah:

Beginning at a point on the Northeastly line of Eagle Mountain Boulevard as it exists at 46.50 foot half-width, located 1954.45 feet South 89°32'43" East along the South line of said Section 12; and 875.75 feet North 0°27'12" East from a Brass Cap Monument found marking the Southwest Corner of said Section 12; and running thence Northwesterly along the arc of a 9953.50 foot radius curve to the right a distance of 72.03 feet (Center bears North 23°53'16" East, Central Angle equals 0°24'53" and Long Chord bears North 65°54'18" West 72.03 feet) along said Northeastly line to the most Southerly Corner of the Mountain America Federal Credit Union Eagle Mountain Subdivision recorded as Entry No. 58443:2023 and as Map File No. 18902 in the Official Records of Utah County; thence along the Southeasterly and Northeastly lines of said Subdivision the following two courses: North 24°17'50" East 228.84 feet along a non-radial line to the most Easterly corner thereof; and Northwesterly along the arc of a 9725.00 foot radius curve to the right a distance of 83.78 feet (Center bears North 24°18'19" East, Central Angle equals 0°29'37" and Long Chord bears North 65°26'53" West 83.78 feet) to the most Easterly Corner of The Marketplace at Eagle Mountain Town Center Phase 3 recorded as Entry No. 61509:2024 and as Map File No. 15387; thence along the Northeastly line of said Phase 3 the following three courses: Northwesterly along the arc of a 9724.66 foot radius curve to the right a distance of 421.06 feet (Center bears North 24°47'46" East, Central Angle equals 2°28'51" and Long Chord bears North 63°57'49" West 421.02 feet) to the Southerly line of Raven Drive as dedicated per said Plat; North 26°19'13" East 60.16 feet along said Southerly line; and North 62°00'31" West 324.91 feet to the Easterly line of Autumn Ridge Phase 1 recorded as Entry No. 108734:2007 and as Map File No. 12383 in the Official Records of Utah County; thence North 12°14'47" East 430.17 feet along said Easterly line to the intersection thereof with the Southerly line of Eagle Mountain Eaglepark Subdivision Phase 1 recorded as Entry No. 36588 and as Map File No. 7492 in the Official Records of Utah County; thence North 89°58'07" East 227.17 feet along said Southerly line of Eaglepark Subdivision Phase 1 recorded as Entry No. 36588 and as Map File No. 7492; thence South 72°16'41" East 1.82 feet to a point of curvature; thence Southeasterly along the arc of a 170.00 foot radius curve to the right a distance of 129.53 feet (Central Angle equals 43°39'24" and Long Chord bears South 50°26'59" East 126.42 feet) to a point of tangency; thence South 28°37'16" East 9.71 feet to a point of curvature; thence Southeasterly along the arc of a 250.00 foot radius curve to the left a distance of 109.44 feet (Central Angle equals 25°09'44" and Long Chord bears South 41°19'44" East 108.57 feet) to a point of reverse curvature; thence along the arc of a 10.00 foot radius curve to the right a distance of 13.60 feet (Central Angle equals 77°54'23" and Long Chord bears South 14°45'00" East 12.57 feet); thence South 61°30'52" East 60.16 feet along a non-radial bearing to a point on a curve; thence Southeasterly along the arc of a 2039.87 foot radius curve to the right a distance of 66.76 feet (Center bears North 65°40'06" West, Central Angle equals 1°52'50" and Long Chord bears South 25°16'09" West 66.76 feet); thence South 64°16'02" East 453.36 feet; thence South 71°03'24" East 481.23 feet to and along the Southeasterly line of Lot 9 of said Phase 1 Subdivision; thence along the Southerly, Westerly and Northerly lines of Lots 9, 8, 4 and 3 of said Phase 1 Subdivision the following six courses: South 65°18'22" East 70.55 feet; South 18°56'36" West 292.28 feet; South 73°41'43" East 58.11 feet; South 18°56'36" West 258.00 feet; North 71°03'24" West 39.25 feet; and South 18°56'36" West 105.88 feet to a point on a curve on the Northerly line of Eagle Mountain Boulevard as dedicated to 61.00 foot half-width; thence Northwesterly along the arc of a 9939.00 foot radius curve to the left a distance of 330.69 feet (Center bears North 20°53'13" East, Central Angle equals 1°54'23" and Long Chord bears North 68°09'36" West 330.68 feet) to the Southeasterly corner of Lot 1 of said Phase 1; thence along the Easterly, Northerly and Westerly lines and Southerly extension of said Westerly line of said Lot 1 the following six courses: North 18°56'36" East 231.08 feet to the Northeast corner of said Lot 1; North 71°03'24" West 188.24 feet to the Northwest corner of said Lot 1; South 18°56'36" West 55.22 feet to a point of curvature; Southeasterly along the arc of a 420.50 radius curve to the left a distance of 45.10 feet (Central Angle equals 6°08'42" and Long Chord bears South 15°52'15" West 45.08 feet) to a point of reverse curvature; Southeasterly along the arc of a 379.50 foot radius curve to the right a distance of 76.97 feet (Central Angle equals 11°37'13" and Long Chord bears South 18°36'30" West 76.84 feet) to a point of tangency; and South 24°25'06" West 54.16 feet to the point of beginning.

Contains 221,244 sq. ft.
or 16,557 acres
5 Lots
1 Parcel
and Public Road

Owner's Dedication

We, the undersigned Owners of all the real property depicted on this plat described in the Surveyors Certificate on this plat, have caused the land described on this plat to be divided into 5 Lots, easements and other public uses as designated on the plat and now do hereby dedicate under the provisions of 10-9a-607, Utah Code, without condition, restriction or reservation to Eagle Mountain City, Utah, all streets, water, sewer and other utility easements and improvements, open spaces shown as public open spaces, parks and all other places of public use and enjoyment to Eagle Mountain City, Utah together with all improvements required by the Development Agreement between the undersigned and Eagle Mountain City for the benefit of the City and the inhabitants thereof.

In witness whereof we have hereunto set our hands this _____ day of _____, A.D. 20____.

EM Commercial Development, LLC a Utah limited liability company

By: its Co-Manager: CP EM, LLC, a Utah
limited liability company
by: William Gaskill
its: Manager

By: its Co-Manager: Diamante Vista, LLC, a Utah
limited liability company
by: Tiffany Walden
its: Manager

CJM Limited Liability Partnership

By: Donald Mark Ridley
its: General Partner

Acknowledgment

State of _____ County of _____
On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, William Gaskill, who being by me duly sworn did say that he is the Manager of CP EM, LLC a Utah limited liability company which is the Manager of EM Commercial Development, LLC a Utah limited liability company, by authority of its members or its articles of organization, and he acknowledged to me that said limited liability company executed the same.

Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____

Acceptance by Legislative Body

The City Council of Eagle Mountain City, County of Utah, Approves this Subdivision and hereby accepts the dedication of all streets, easements, and other parcels of land intended for public purposes for the perpetual use of the public this _____ day of _____, 20____.

Approved by Mayor _____ Approved by City Attorney _____

Approved by City Engineer _____ Attest by City Recorder (See Seal Below)

The Marketplace at Eagle Mountain Town Center Phase 4

A part of the Southwest Quarter of Section 12, Township 6 South, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, Eagle Mountain City, Utah County, Utah

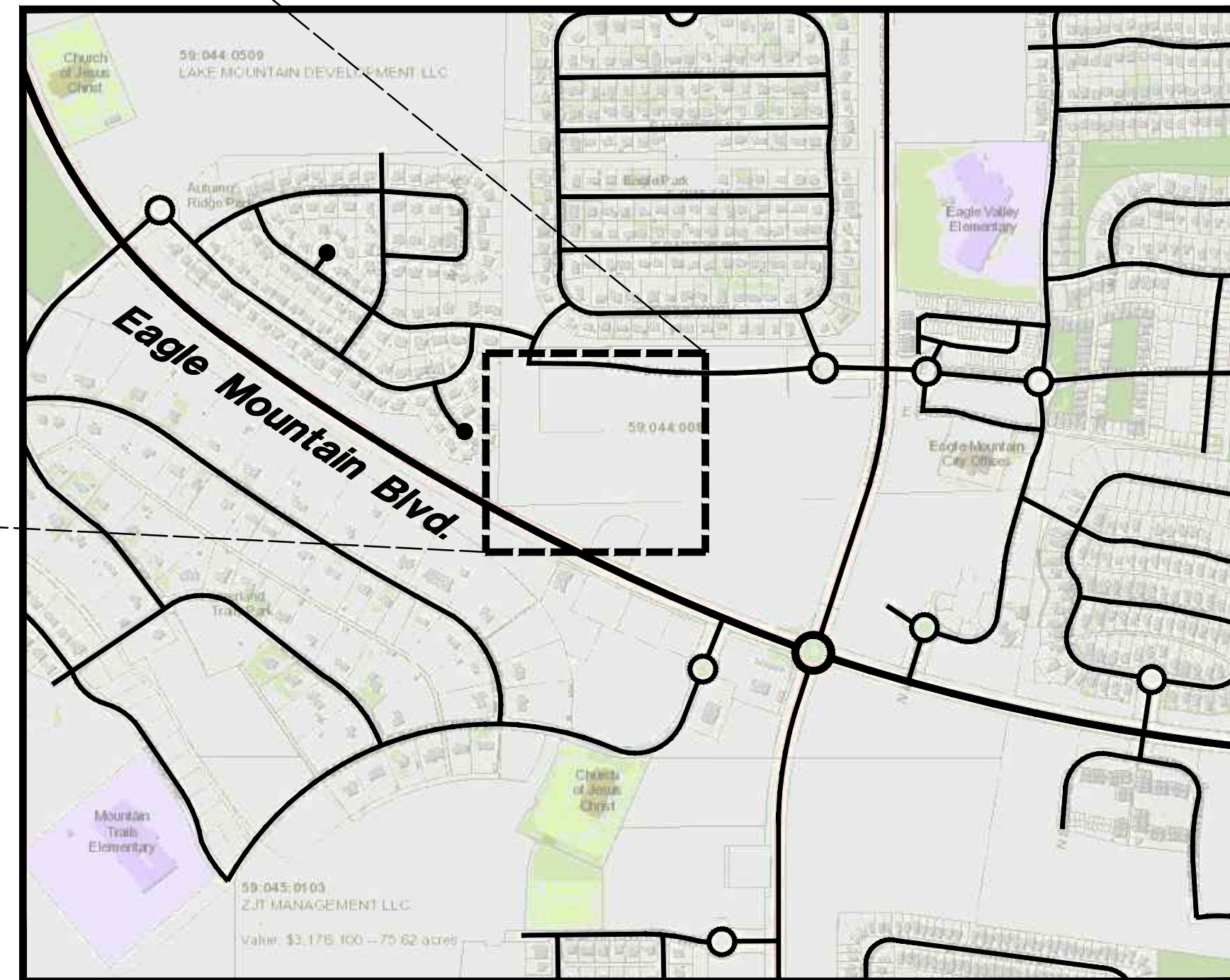
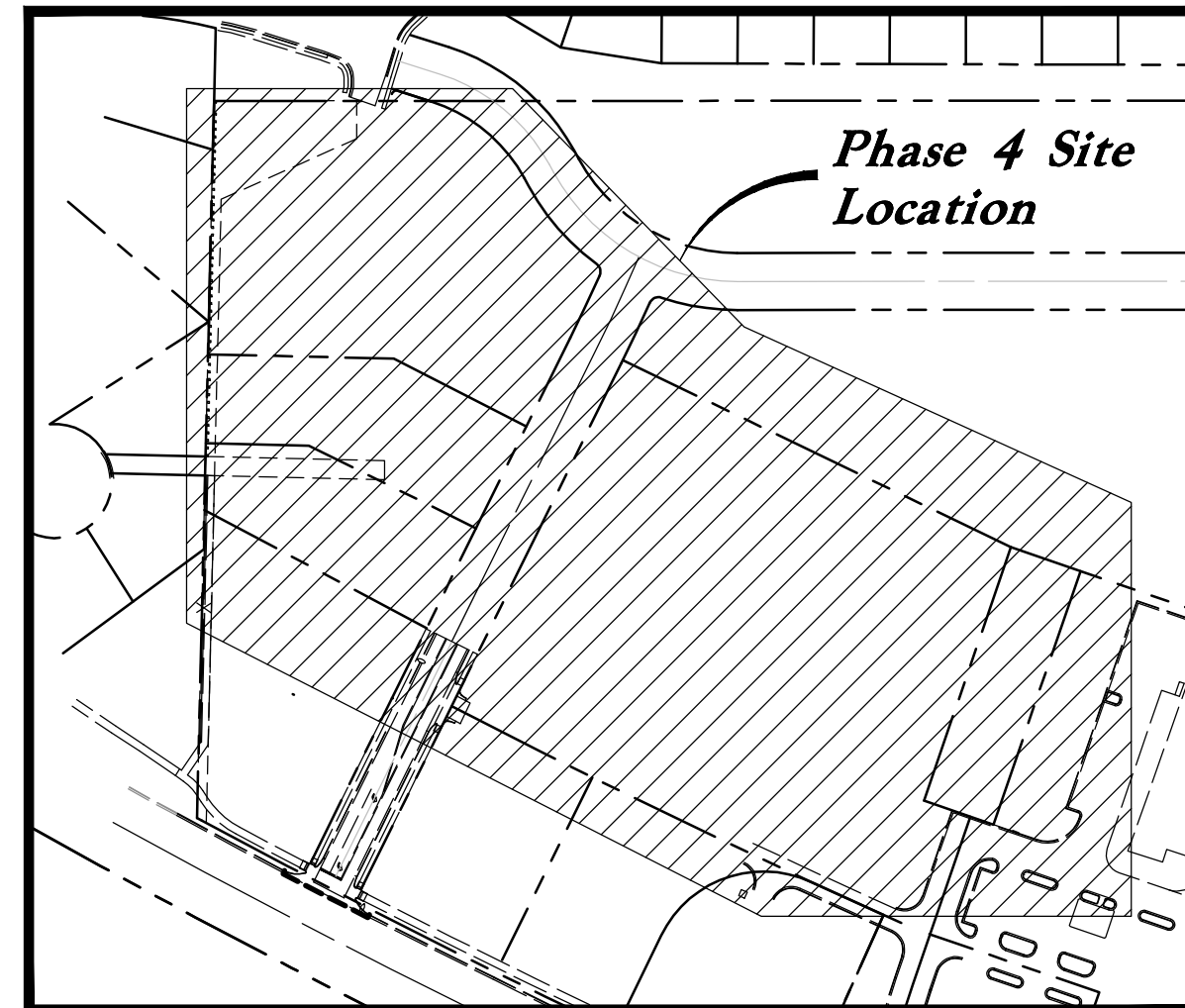
SURVEYORS SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL



2020 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

The Marketplace at Eagle Mountain Town Center Phase 4

Northwest Corner of Eagle Mountain Blvd & Pony Express
Eagle Mountain, Utah, 84005



Vicinity Map
Not to Scale

Civil Sheet Index

C0.0	Cover Sheet
1	Subdivision Plat
C0.1	Demolition Plan
C1.1	Overall Site Plan
C2.1	Drainage Plan
C3.1	Plan & Profile
C3.2	Raven Drive Striping Plan
C3.3	Grading Details
C3.4	Streetlight Plan
C4.1	Details
C4.2	Details
C5.1	Erosion Control Plan - Phase 1
C5.2	Erosion Control Plan - Phase 2
C5.3	Erosion Control Details
L1.1	Landscape Plan
L2.1	Irrigation Plan
L3.1	Landscape & Irrigation Details

Eagle Mountain City General Notes

SEWER

- Pipe bedding: $\frac{3}{4}$ " gravel required 6" below, on the sides & 12" above the pipe (minimum).
- Depth: Sewer main/laterals to maintain 4" of cover (minimum) from finished grade, 3' minimum from top of pipe at time of installation.
- Separation: sewer mains & laterals to maintain 10' separation (minimum) from culinary water mains & laterals.
- Sewer Y's: 3' minimum separation between sewer Y's.
- Lateral stubs: A) stubs must extend 15' into property and be marked with 2x4 painted green. B) All laterals must be GIS (shot in) at the Y's and stubs. Also slopes (2% min. on 4" pipe) to be checked before backfill.
- Manholes: manholes to be within 1' of finished grade, 12" of whirly gig form (max) and no flat rings allowed. 12" of $\frac{3}{4}$ " gravel required under manholes/boxes.

WATER

- Valves: 1. Valves must be flanged to tee's (fittings). 2. Valves 12" and larger to be butterfly valves.
- Bedding: sand must meet AASHTO (A-3) gradation with 100% passing the #4 sieve, 6" below pipe on the sides & 12" above pipe (minimum).
- Depth: water main & laterals must maintain 4' cover from finished grade (minimum), 3' minimum from top of pipe at time of installation. Max depth 72" from finished grade.
- Services & fittings: services & fittings to maintain 3' minimum separation from pipe joints and other fittings.
- Setters: all setters to be 21" tall (minimum), have unions at the base and be dual check model, also $\frac{3}{4}$ " setters to have double braces. Setters to be set at 18" to 22" from the top of setter to top of lid.
- Water can lid: all lids to say "Eagle Mountain" on them recessed with a hole for the ERT and to be set at level to 1" above the plane of the curb & sidewalk.
- Water Can: the water can for $\frac{3}{4}$ " & 1" services will need to be a 36" tall minimum and 21" inside diameter. Water can for 1-1/2" to 2" service will need to follow APWA specification.
- Hydrants: hydrants to be 5' bury (minimum).
- Laterals: all laterals need to be GIS (shot in) at the corp. stop & setter, and also visual inspection on poly inserts before backfill. Water laterals to extend 15' into property and be marked with a 2x4 painted blue. All poly lines to have visual poly insert inspection.
- Tracer wire: run tracer wire along main & extend up setters and hydrants, do not run up valve boxes.
- Water fittings: all water fittings to be checked for thrust blocks (pre & post) and GIS (shot in) before backfill.
- Vertical separation: water main to maintain 18" minimum separation from storm drain or other obstacles/utilities.
- Water line fittings: all fittings to have mega lug followers.
- Water Main Line: NO DEFLECTION or bending of pipe will be allowed in the water lines and bend fittings will be required. All fittings to be Mega-lug fittings.

STORM DRAIN

- Bedding: $\frac{3}{4}$ " gravel 6" below and on sides of pipe & 12" above pipe (minimum).
- ADS: all ADS pipe to be "HP" brand.
- Collars: collars to be 1'x1' around pipe, 4000 psi concrete, inspection is needed pre & post collar pour.
- Manholes: manholes to be within 1' of finished grade, 12" of whirly gig form (max) and no flat rings allowed. 12" of $\frac{3}{4}$ " gravel required under manholes/boxes.

ROAD SECTION

- Proof rolls: proof roll required on all sections of road: i.e. sub-grade, sub-base, and curb base and road base. Curb stakes required for sub-grade inspection and string line required for sub-base and road base inspection.
- UTBC: state spec. road base required for all roads, commercial base acceptable for the sidewalks & trails.
- Collars: all collars to be 1' wide by 1' deep with a 6000 psi concrete with 1.5# fiber mesh per cubic yard (3/4" monofilament) required for all street collars. Manhole covers and water valve towers to be $\frac{1}{2}$ " down from asphalt edge and concrete to be $\frac{1}{4}$ " to $\frac{3}{8}$ " down from asphalt edge.

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Eagle Mountain, Utah County, Utah and Incorporated Areas Map Number 49049C0275F dated 19 June, 2020 (Not Printed). Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Basis of Bearings

A line between monuments found for Southeast Corner and the East Quarter Corner of Section 12 was assigned the Utah County Survey bearing of North 0°27'04" East as the Basis of Bearings to place the Survey on State Plane Basis.

Benchmark

Brass Cap Monument for the South Quarter Corner of Section 12, T6S, R2W, SLB&M Assigned elevation using GPS methods
Elevation = 4865.18 feet
Utah County Surveyor Tie Sheet, Published 2 April, 2002 Observed 16 September, 2020

Abbreviations

BCR	Begin Curb Return	PP	Power Pole
BOL	Bollard	PT	Point of Tangency
BRW	Finish Grade - Bottom of Retaining Wall	PVC	Polyvinyl Chloride
CATV	Cable Television Box	PVI	Point of Vertical Intersection
CB	Catch Basin	RCP	Reinforced Concrete Pipe
CMP	Corrugated Metal Pipe	RD	Roof Drain
COB	Cleanout Box	SB	Signal Box
COTG	Cleanout to Grade	SD	Storm Drain
EA	Edge of Asphalt	SDMH	Storm Drain Manhole
EB	Electrical Box	SMH	Sewer Manhole
EC	End of Curve	SP	Signal Pole
ECR	End Curb Return	SS	Sanitary Sewer
FF	Finished Floor	SVZ	Sight Visibility Zone
g	Ground	SW	Secondary Water
GB	Grade Break	TA	Top of Asphalt
GM	Gas Meter	TB	Telephone Box
HB	Hose Bib	TBC	Top Back of Curb
HP	High Point	TG	Top of Grate
I	Irrigation Line	TMH	Telephone Manhole
ICB	Irrigation Control Box	TP	Top of Concrete
Lip	Lip of Gutter	TRW	Finish Grade - Top of Retaining Wall
LP	Light Pole	TW	Top of Walk
MH	Manhole	VC	Vertical Curve
Mon	Monument	VPC	Vertical Point of Curve
PC	Point of Curvature	VPT	Vertical Point of Tangency
PCC	Point of Compound Curvature	WL	Waterline
PI	Point of Intersection	WP	Working Point
PM	Power Meter	WV	Water Valve

Legend

Proposed Curb & Gutter	Existing Improvements	Existing Asphalt
Proposed Open Face C & G	Existing Concrete	Existing Inlet Box
Proposed Asphalt	Existing Catch Basin	Existing Manhole
Proposed Concrete	Existing Fire Hydrant	Existing Water Valve
Proposed Truncated Domes	Existing Overhead Power Line	Existing Water
Proposed Inlet Box	Existing Water	Existing Secondary Water
Proposed Catch Basin	Existing Sewer	Existing Storm Drain
Proposed Manhole	Existing Gas	Existing Power
Proposed Transformer	Existing Telephone	Existing Telephone
Proposed Meter Box	Existing Fence	Flowline
Proposed Water Meter	Centerline	Existing Contour
Proposed Combo Box	Existing Spot	Existing Light Pole
Proposed Fire Hydrant	Existing Street Light	Existing Building
Proposed Water Valve	Existing Telephone Box	Existing Power Meter
Proposed Water Line	Existing Electrical Box	Existing Electrical Cabinet
Proposed Sanitary Sewer	Existing Gas Meter	Existing Water Meter
Proposed Storm Drain	Existing Irrig. Control Box	Existing Hose Bib
Proposed Conduit Line	Existing Bollard	Working Point
Proposed Power Line	Existing Deciduous Tree	Existing Coniferous Tree
Proposed Gas Line	Detail Number	Sheet Number
Proposed Fire Line		
Proposed Secondary Water Line		
Proposed Roof Drain		
Proposed Fence		
Ridge line		
Grade Break		
Proposed Contour		
Direction of Drainage		
Proposed Spot		
ADA Accessible Route		
Property Line		
Sawcut Line		
Proposed Light Pole		
Proposed Street Light		
Proposed Building		
Existing Power Pole		
Existing Power Pole w/ Guy		
Existing Utility Marker		
Existing Post		

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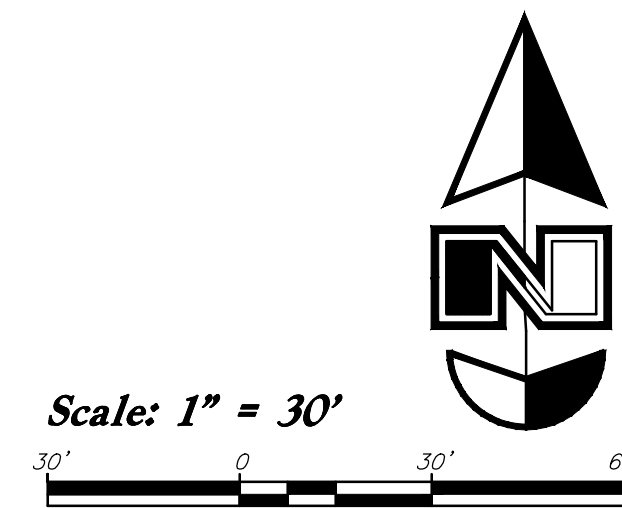
Cover Sheet
The Marketplace at
Eagle Mountain Town Center Phase 4
Eagle Mountain Boulevard & Pony Express Parkway
Eagle Mountain, Utah

REGISTERED PROFESSIONAL ENGINEER
SHAUN WATSON
7/1/25
STATE OF UTAH

26 Jun, 2025

SHEET NO.

C0.0



1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flowwalk, asphalt, waterlines and manholes, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
16. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
17. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer or provide notification to the city and obtain direction before proceeding with disturbance of soil materials or contaminated soil.
18. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
19. Contractor shall shore and protect neighboring properties per OSHA 46, during excavation activities when necessary. All excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approved for by the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

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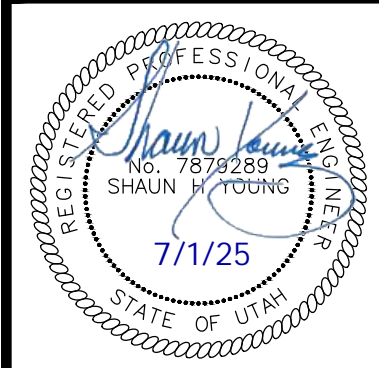
Designed by: SY
Drafted by: JW
Client Name: EM Commercial, LLC
24-078 DM



2010 North Redwood Road, Salt Lake City, Utah 84116
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Demolition Plan

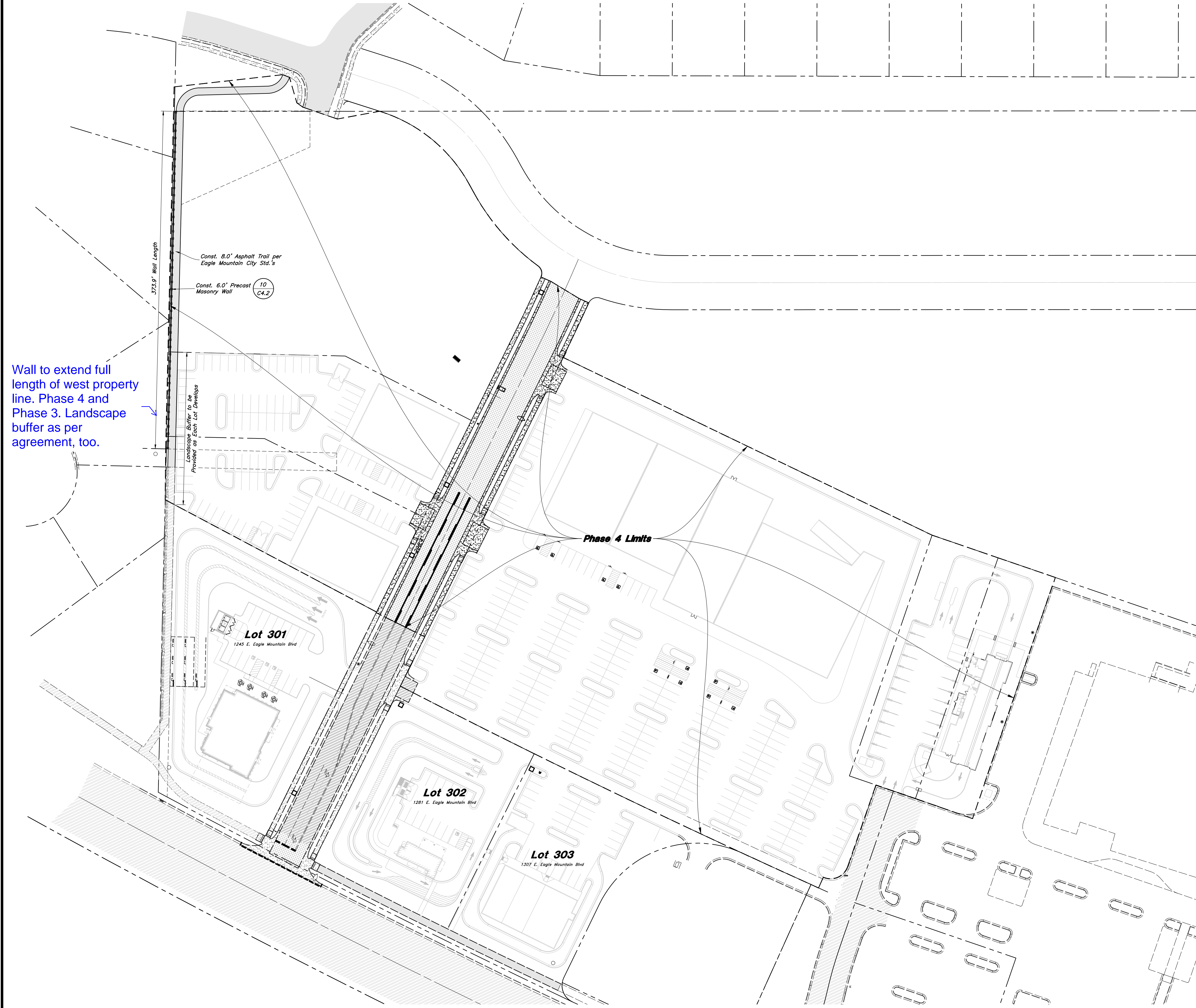
***The Marketplace at
Eagle Mountain Town Center Phase 4***



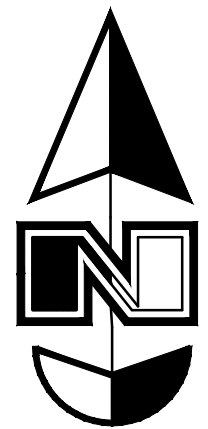
26 Jun. 2025

SHEET NO.

CO.1



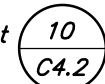
Scale: 1" = 50'



Wall to extend full length of west property line. Phase 4 and Phase 3. Landscape buffer as per agreement, too.

Const. 8.0' Asphalt Trail per Eagle Mountain City Std.'s

Const. 6.0' Precast Masonry Wall



Landscape Buffer to be Provided as Each Lot Develops

Phase 4 Limits

Lot 301

1245 E. Eagle Mountain Blvd

Lot 302

1281 E. Eagle Mountain Blvd

Lot 303

1307 E. Eagle Mountain Blvd

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

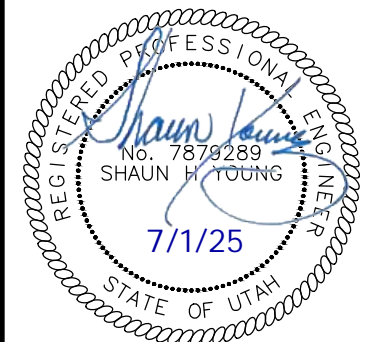
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Designed by: SY
Drafted by: JW
Client Name:
EM Commercial, LLC
24-078 PP



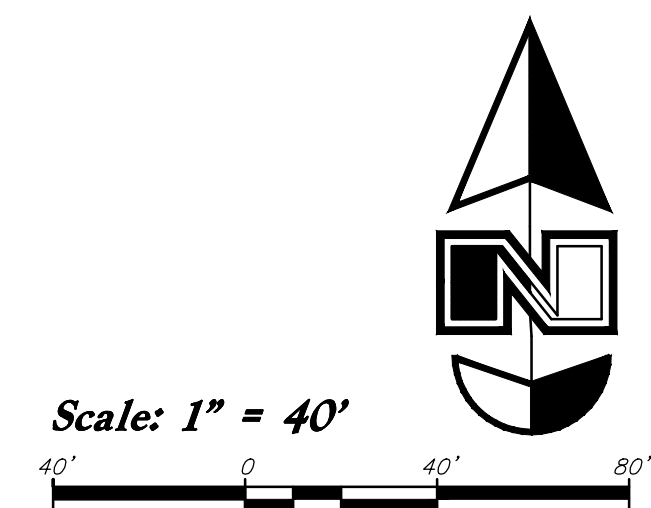
Overall Site Plan
The Marketplace at
Eagle Mountain Town Center Phase 4
Eagle Mountain Boulevard & Poy Express Parkway
Eagle Mountain, Utah



26 Jun, 2025

SHEET NO.

C1.1



1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, water and cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The recommendations in the following Geotechnical Engineering Report by GSH are included in the requirements of grading and site Preparation. The Report is titled "Eagle Mountain Shopping Center, NWC of Eagle Mountain Blvd and Pony Express Parkway"

Project No.: 0259-014-20
Dated: January 5, 2021

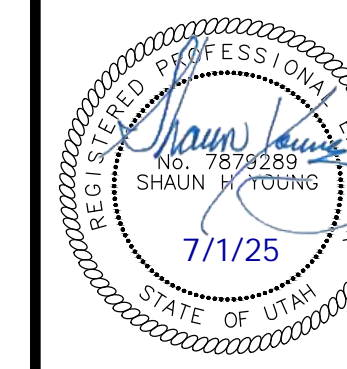
18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such information prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and request for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.



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Drainage Plan

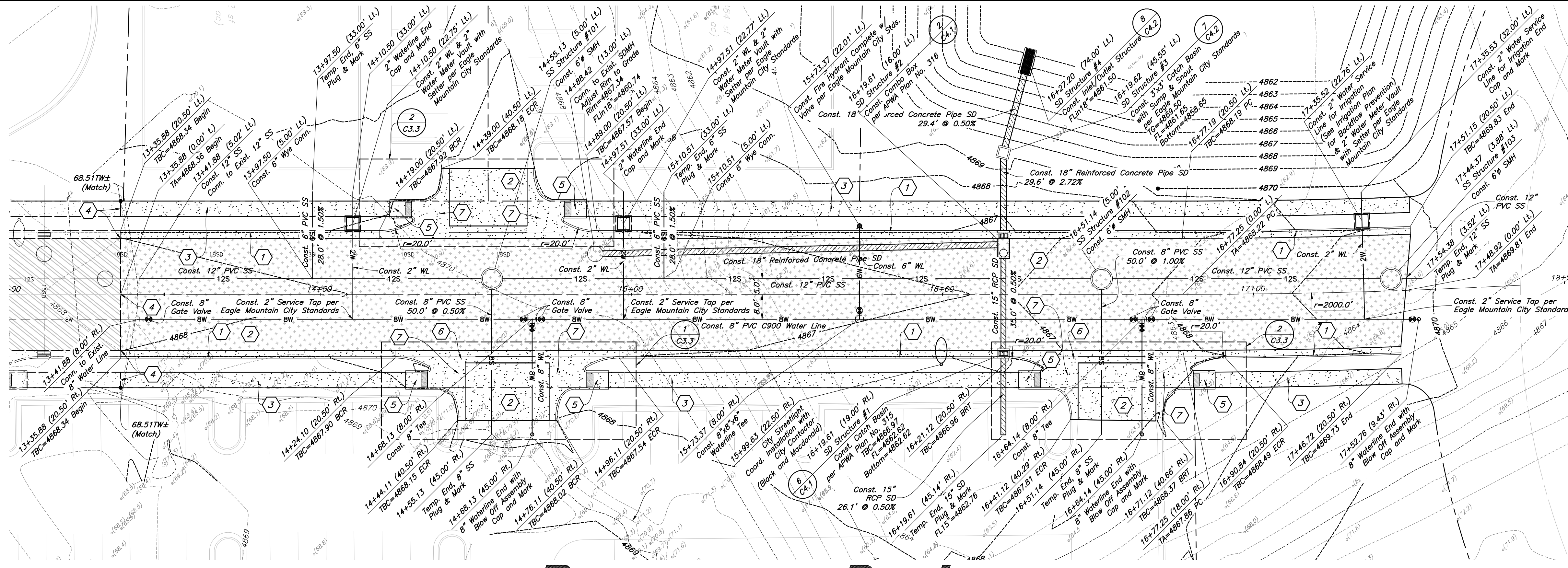
***The Marketplace at
Eagle Mountain Town Center Phase 4***
Eagle Mountain Boulevard & Pony Express Parkway



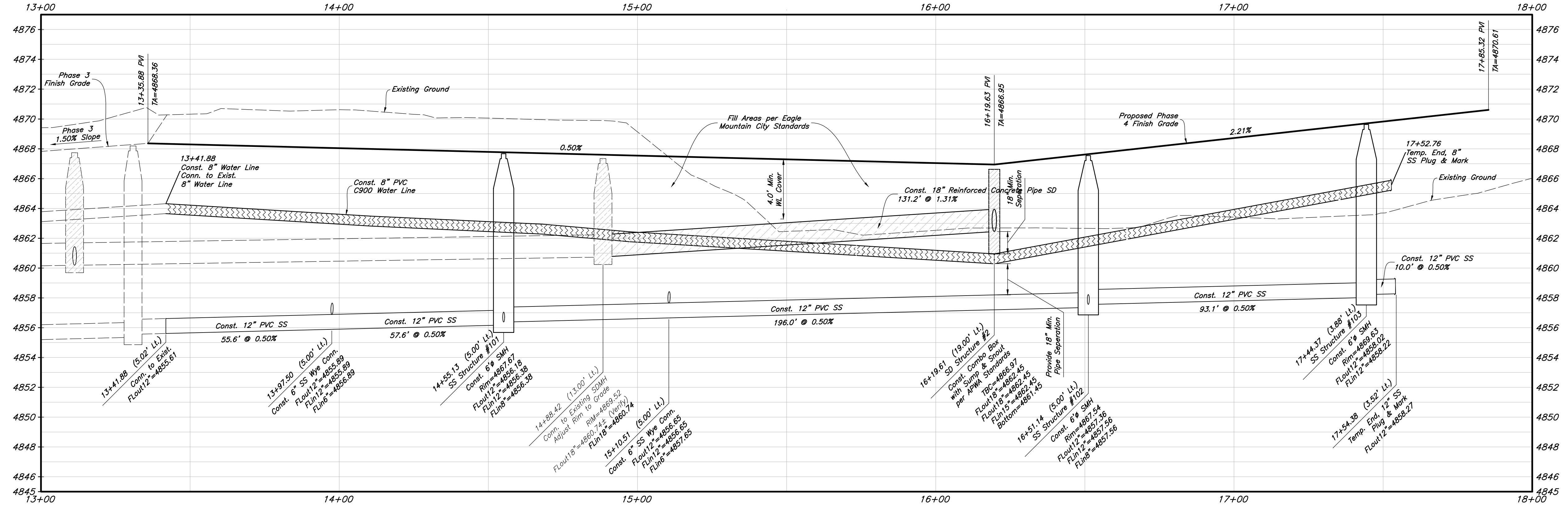
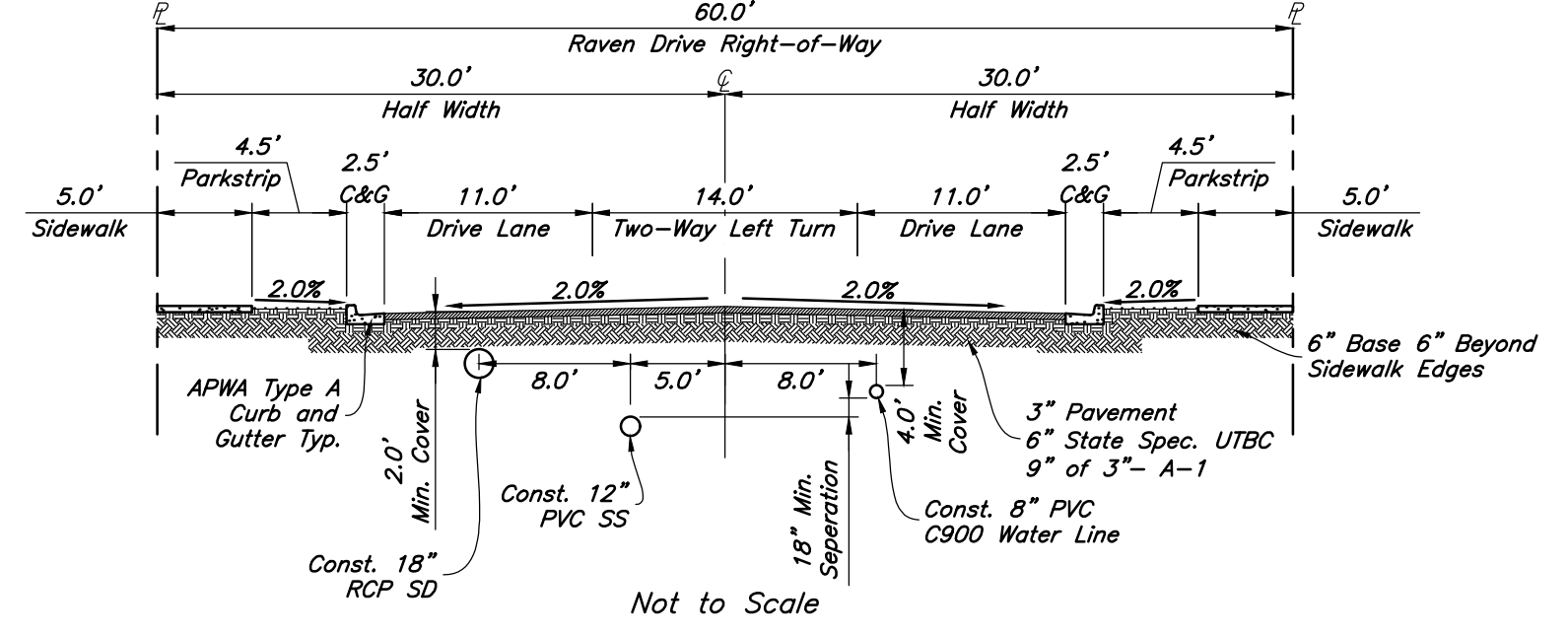
26 Jun, 2025

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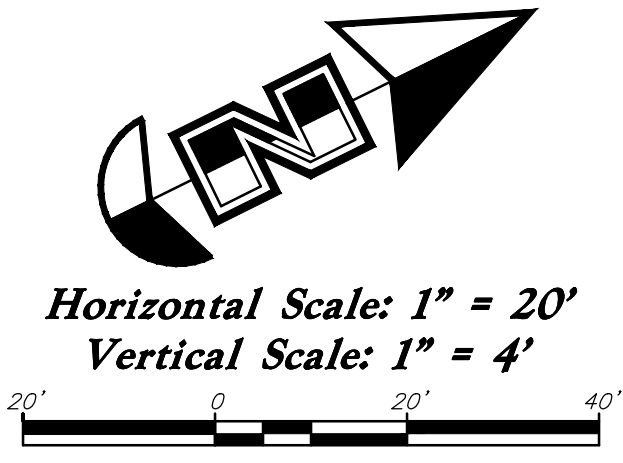
C2.1



Raven Drive



Profile View



Hatch Legend

- Asphalt Paving
- Existing Asphalt Paving
- Concrete Paving
- Existing Concrete Paving
- Heavy Duty Asphalt Paving

Roadway Construction Notes

- Const. Type A, 30" Curb & Gutter per APWA Plan No. 205.1
- Const. Asphalt Paving per Raven Drive ROW Cross Section on this Sheet
- Const. Concrete Sidewalk per APWA Plan No. 231
- Connect to Existing Phase 3 Improvements and Match Grade Elevation
- Const. Accessible Ramp with Detectable Warning Surface per Eagle Mountain City Stds.
- Const. 4.0' Concrete Waterway per APWA Plan No. 211
- Const. Waterway Transition Structure per APWA Plan No. 211

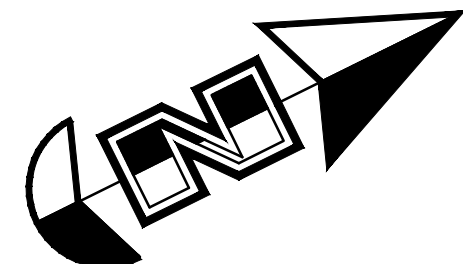
Storm Drain & Sanitary Sewer Note:
All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure



Designed by: SY
Drafted by: JW
Client Name:
EM Commercial, LLC
24-078 PP

Plan & Profile
The Marketplace at
Eagle Mountain Town Center Phase 4
Eagle Mountain Boulevard & Pony Express Parkway
Eagle Mountain, Utah

26 Jun, 2025
SHEET NO.
C3.1



Scale: 1" = 20'



Striping and Signage Notes

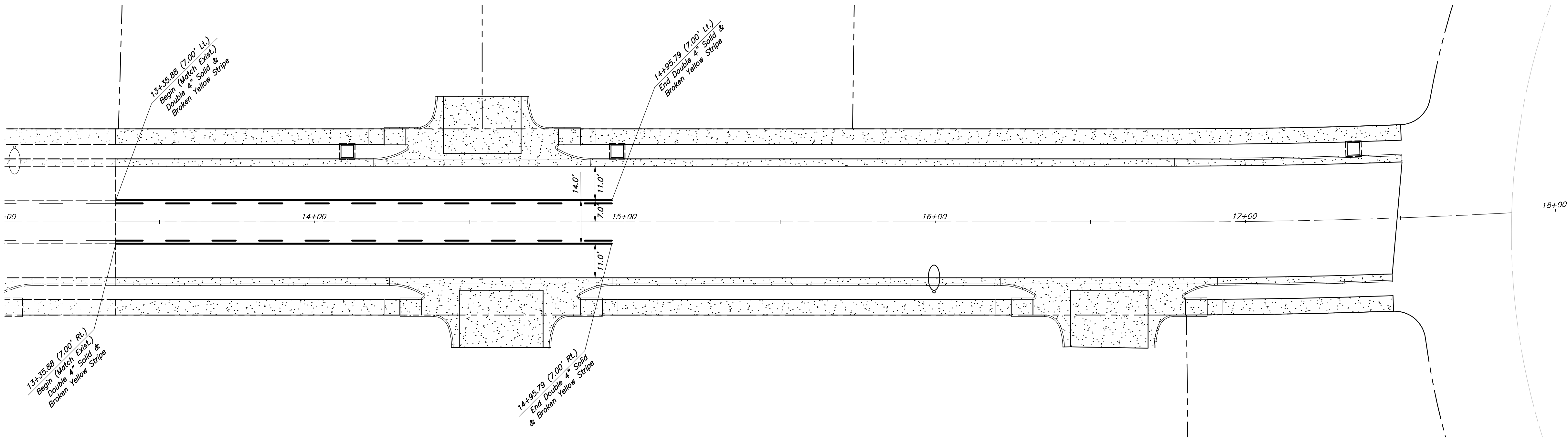
- 1 Const. 8" White Stripe
- 2 Const. 4" Double Yellow Stripe
- 3 Const. Double 4" Solid & Broken Yellow Stripe
- 4 Const. Directional Arrows per MUTCD

Designed by: SY
Drafted by: JW
Client Name:
EM Commercial, LLC
24-078 PP



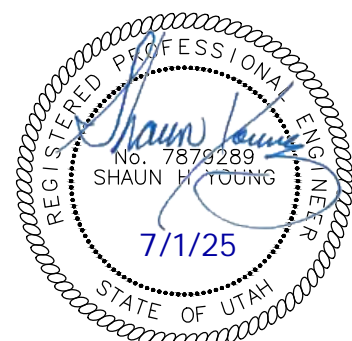
Hatch Legend

- Asphalt Paving
- Existing Asphalt Paving
- Concrete Paving
- Heavy Duty Asphalt Paving



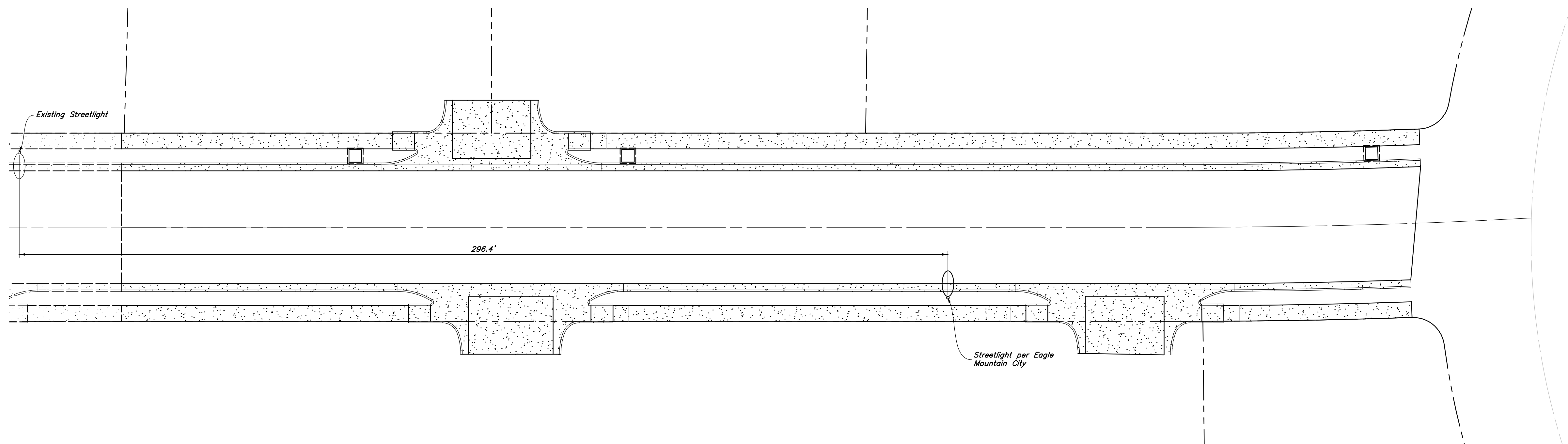
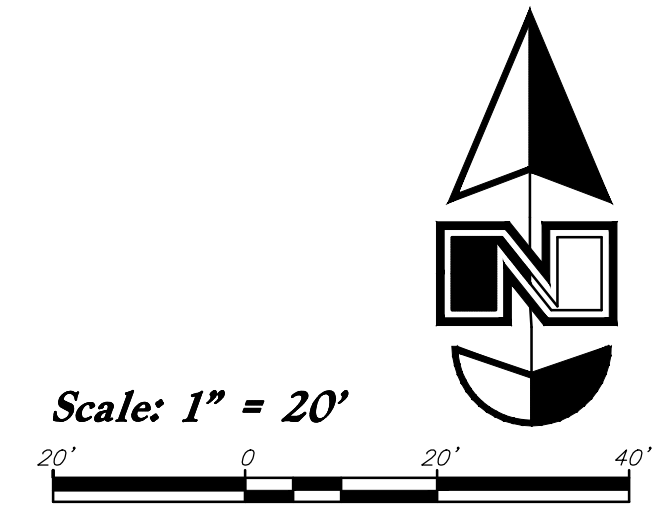
Raven Drive

Raven Drive Striping Plan
The Marketplace at
Eagle Mountain Town Center Phase 4
Eagle Mountain Boulevard & Poy Express Parkway
Eagle Mountain, Utah



26 Jun, 2025

SHEET NO.
C3.2

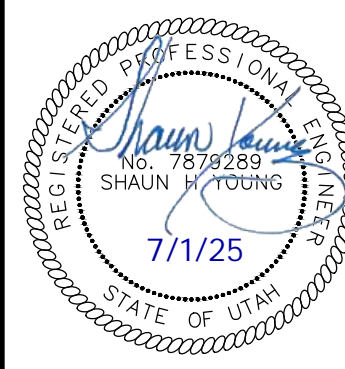


Raven Drive

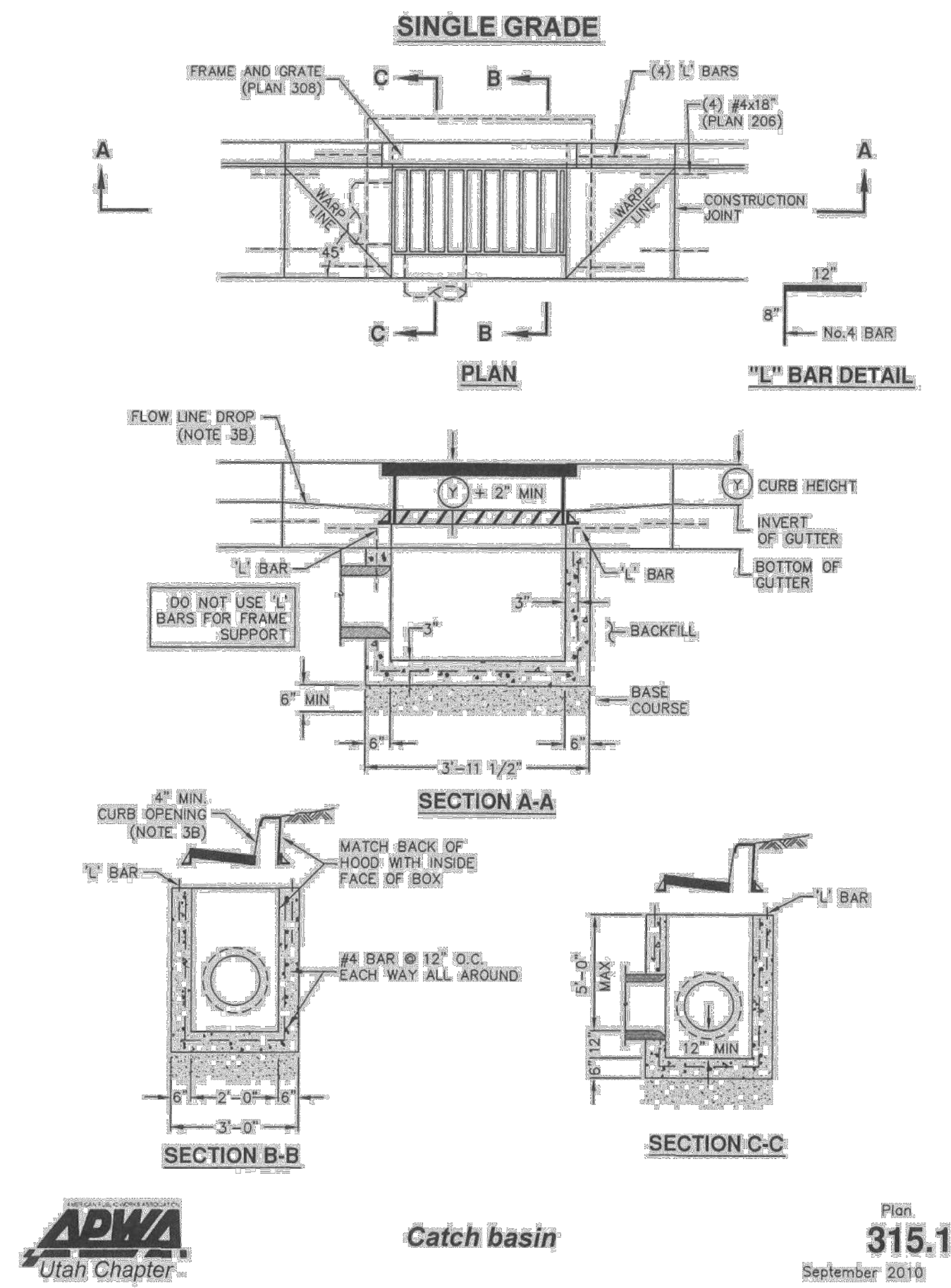
Designed by: SY
Drafted by: JW
Client Name:
EM Commercial, LLC
24-078 PP



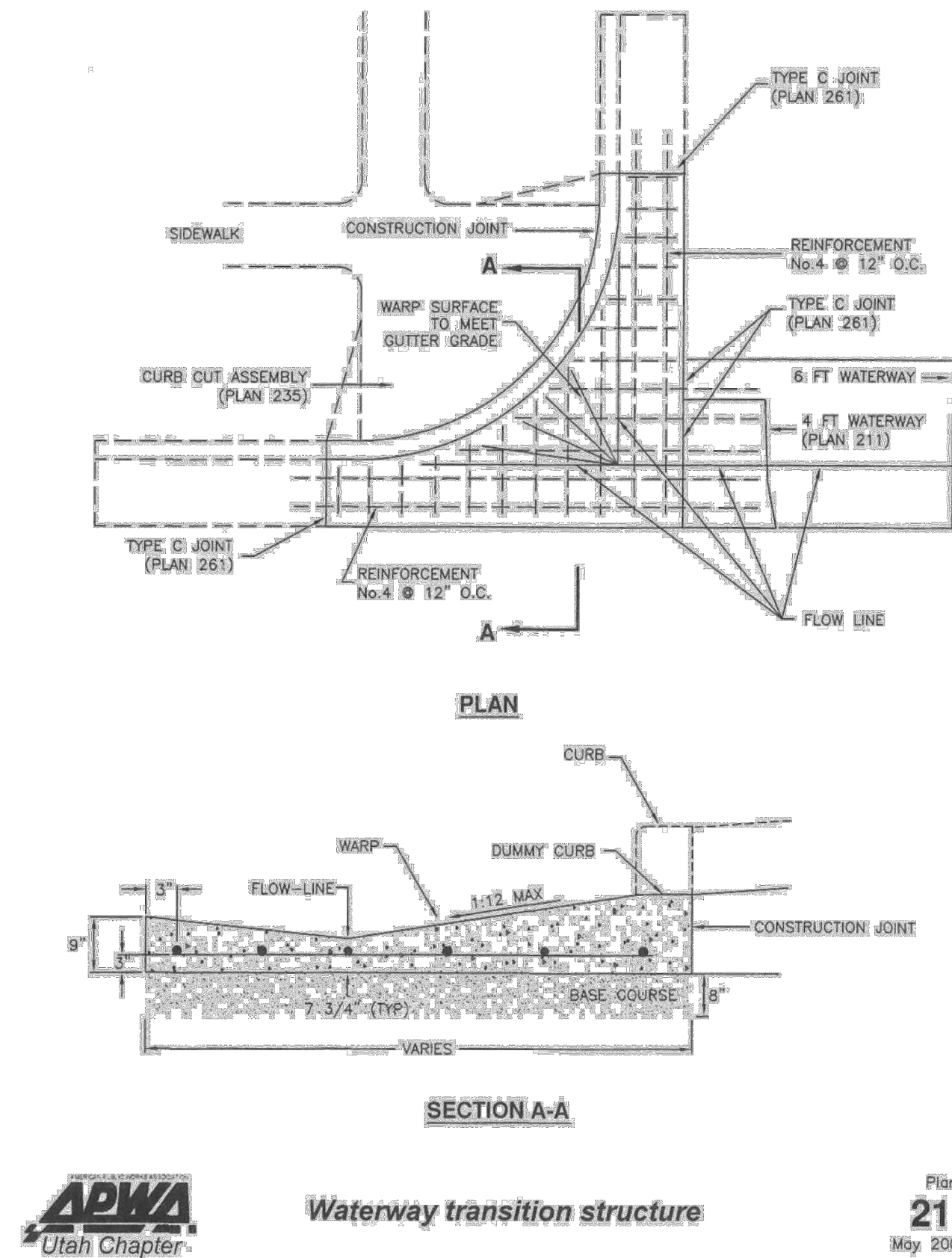
Streetlight Plan Plan
The Marketplace at
Eagle Mountain Town Center Phase 4
Eagle Mountain Boulevard & Poy Express Parkway
Eagle Mountain, Utah



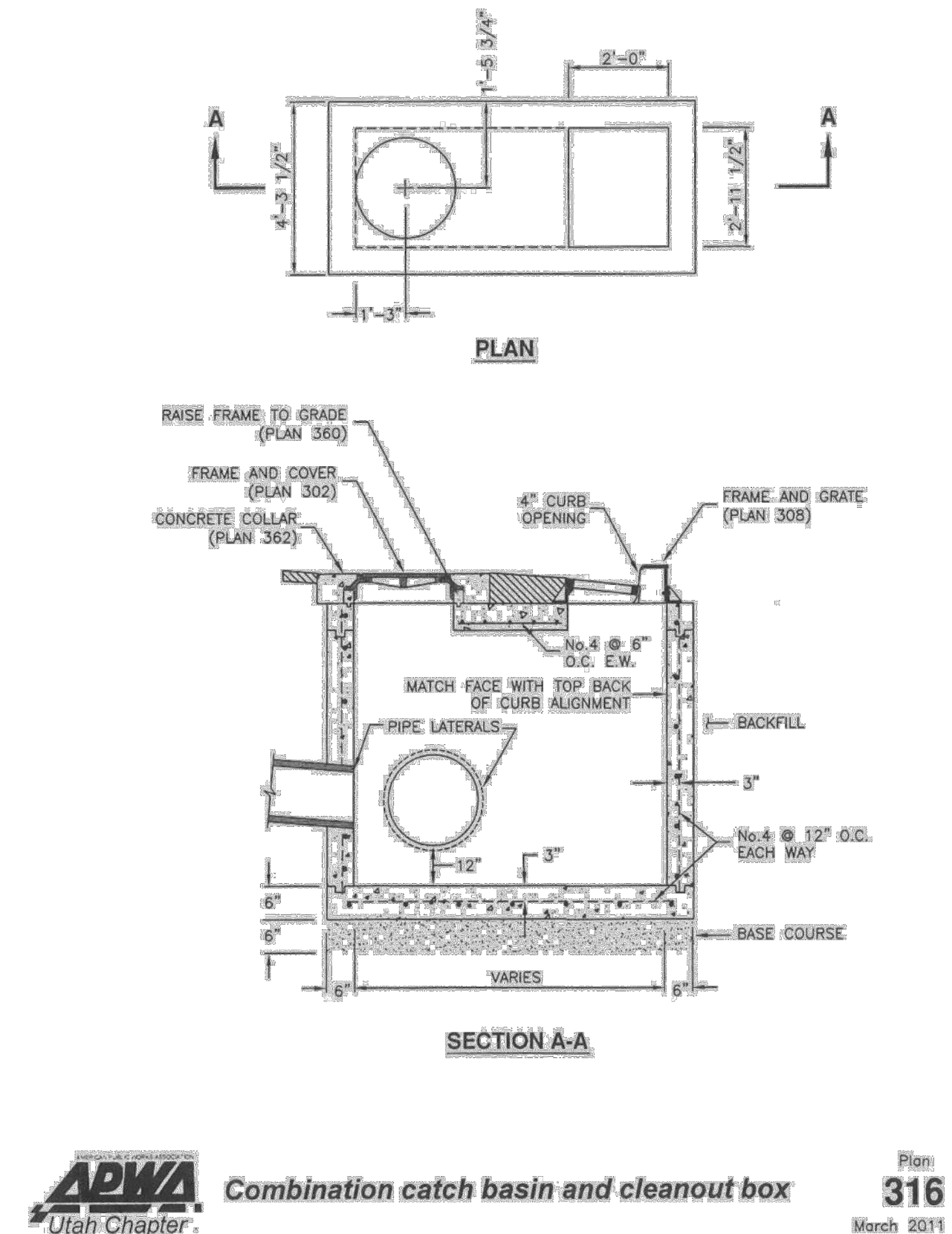
26 Jun, 2025
SHEET NO.
C3.4



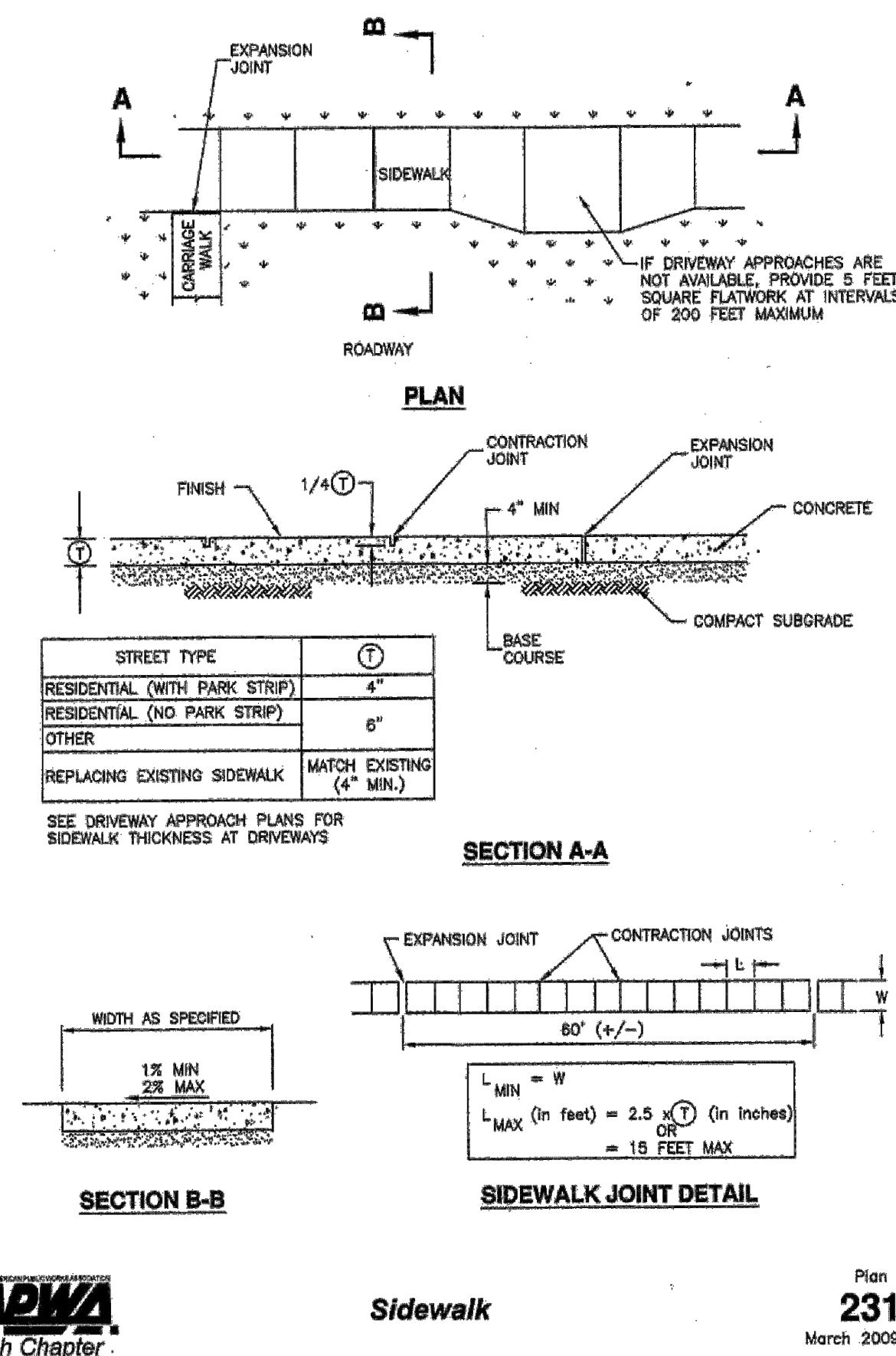
APWA Plan No. 315
Catch Basin
Not to Scale



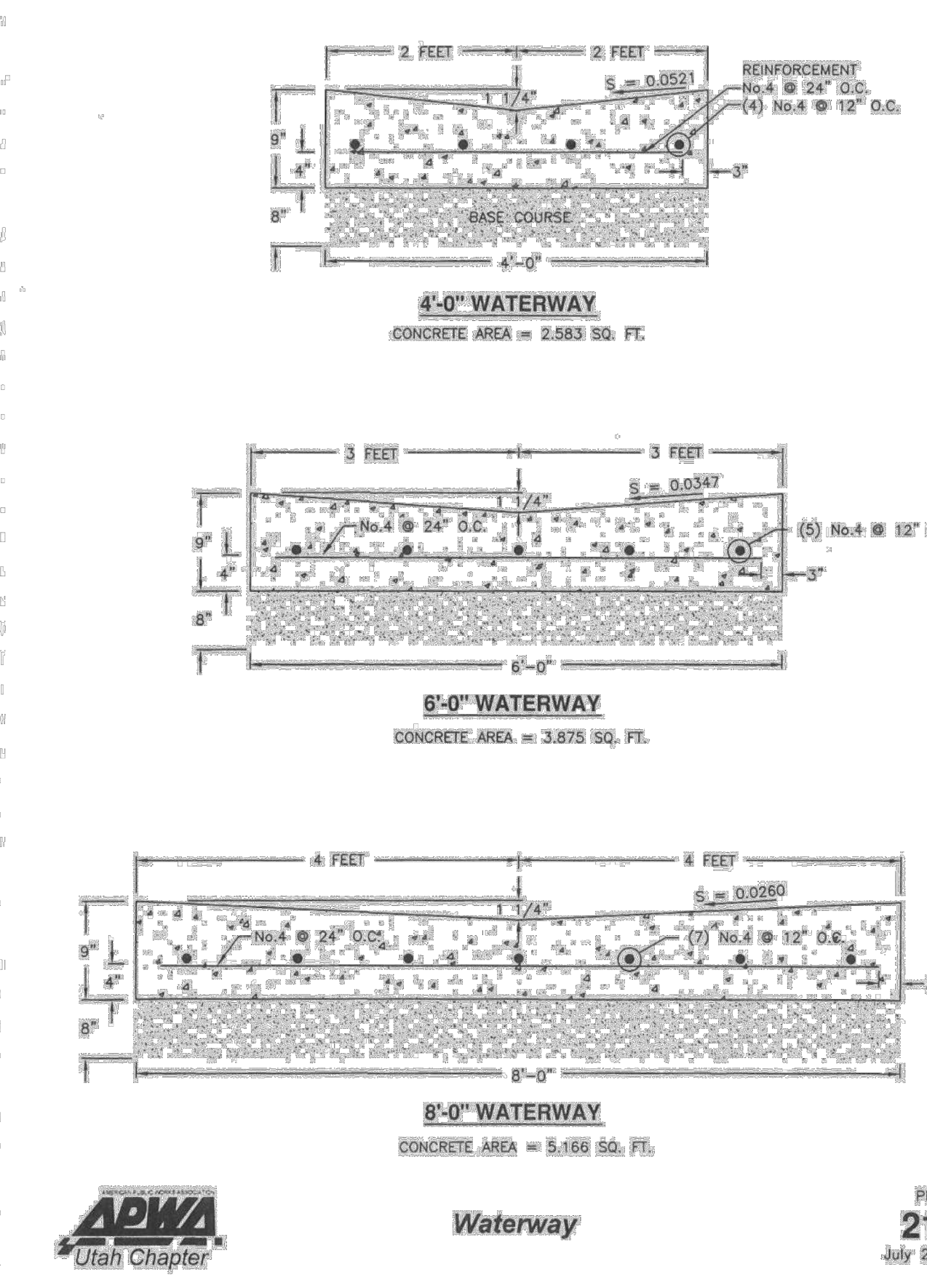
APWA Plan No. 213
Waterway Transition Structure
Not to Scale



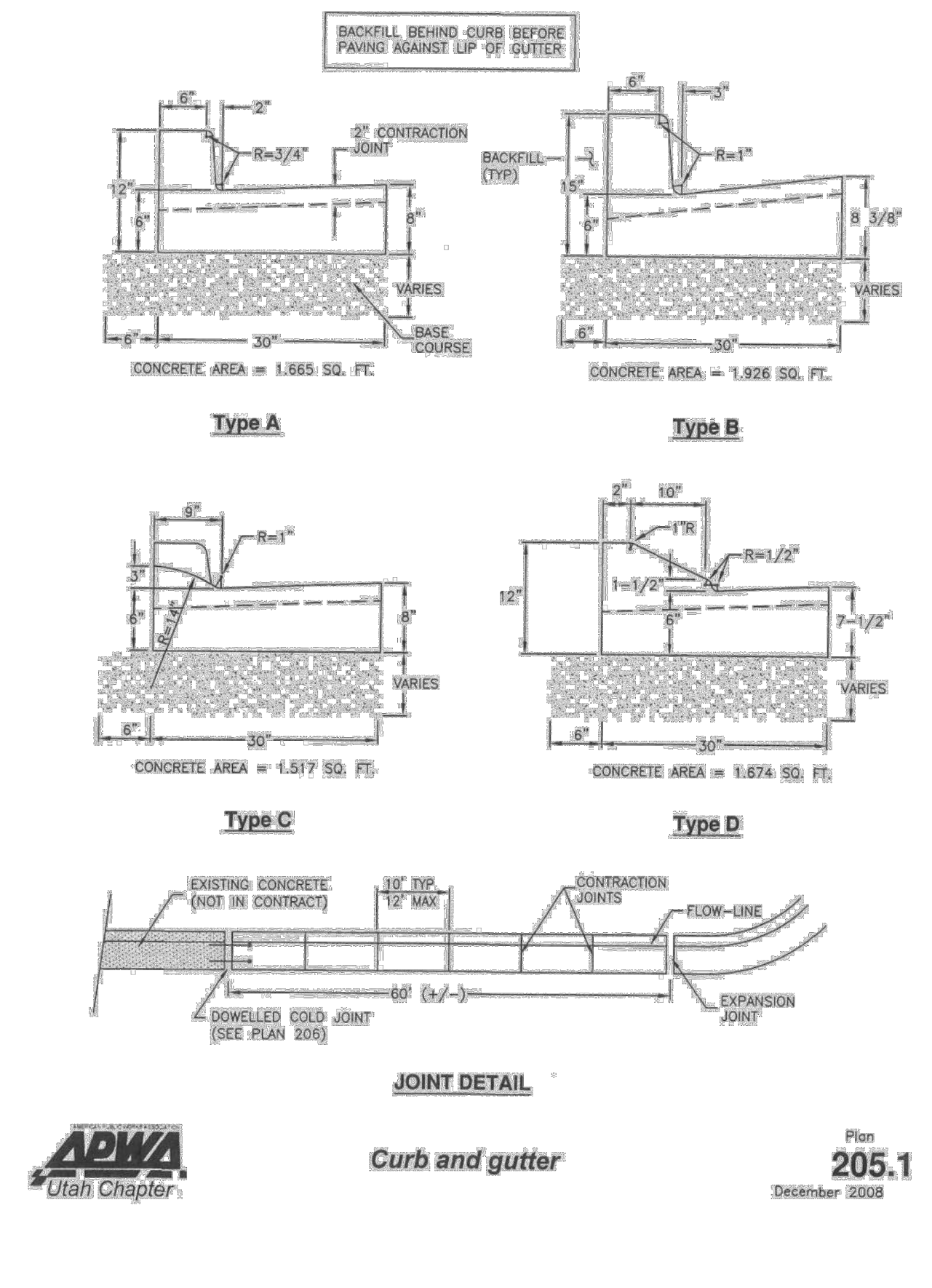
APWA Plan No. 316
Combo Box
Not to Scale



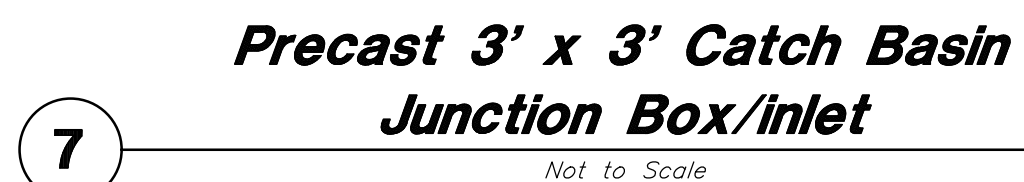
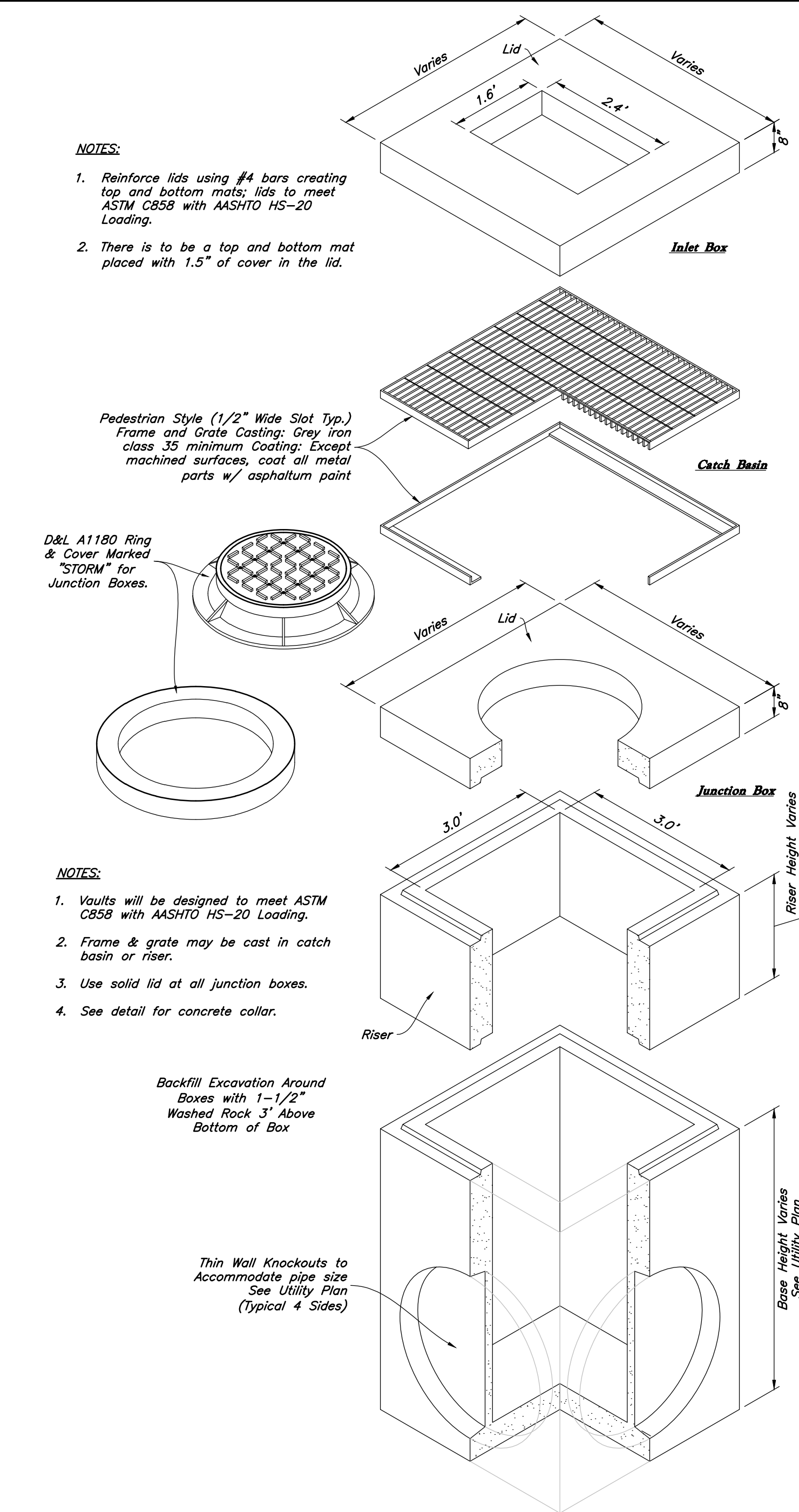
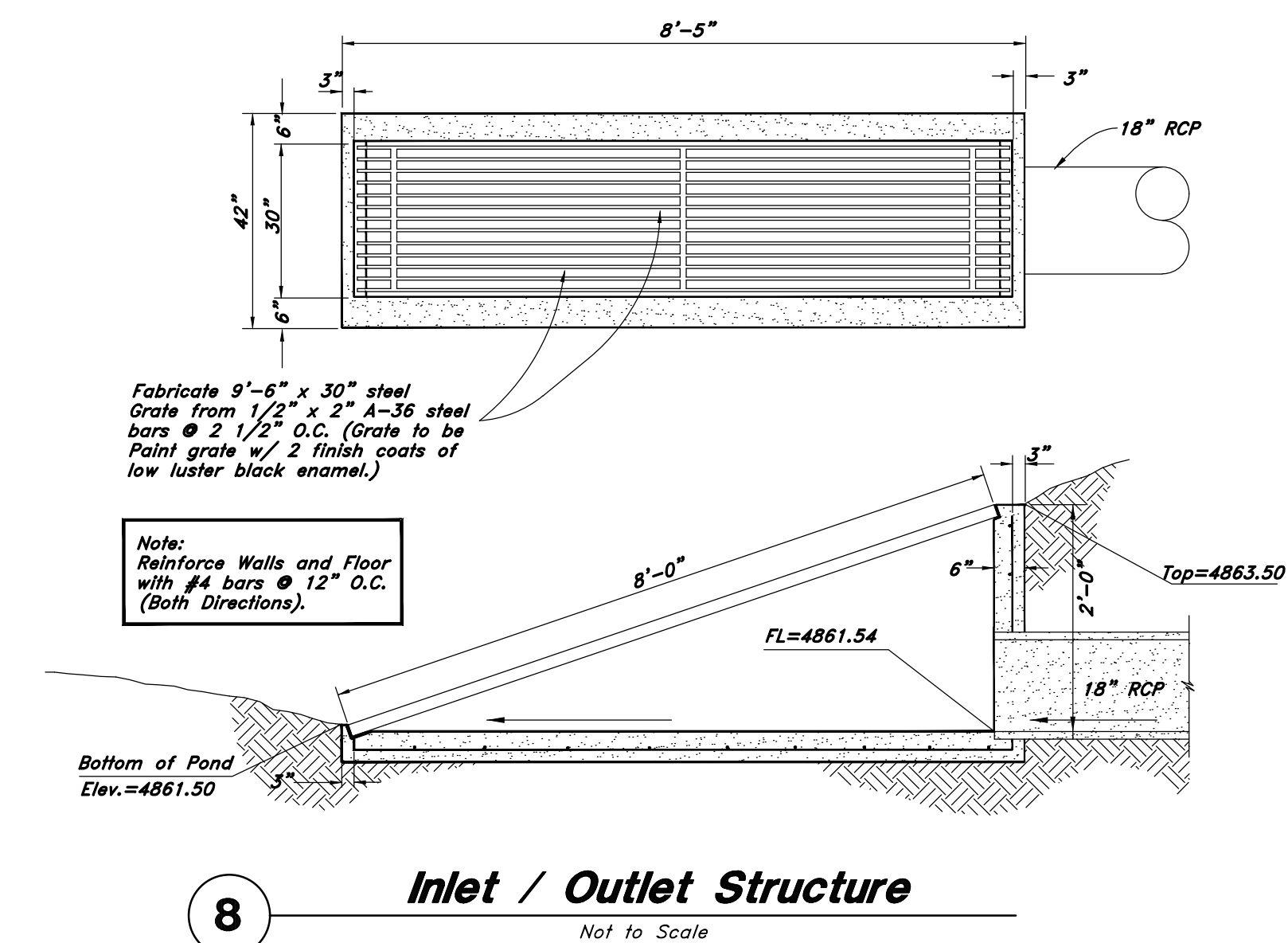
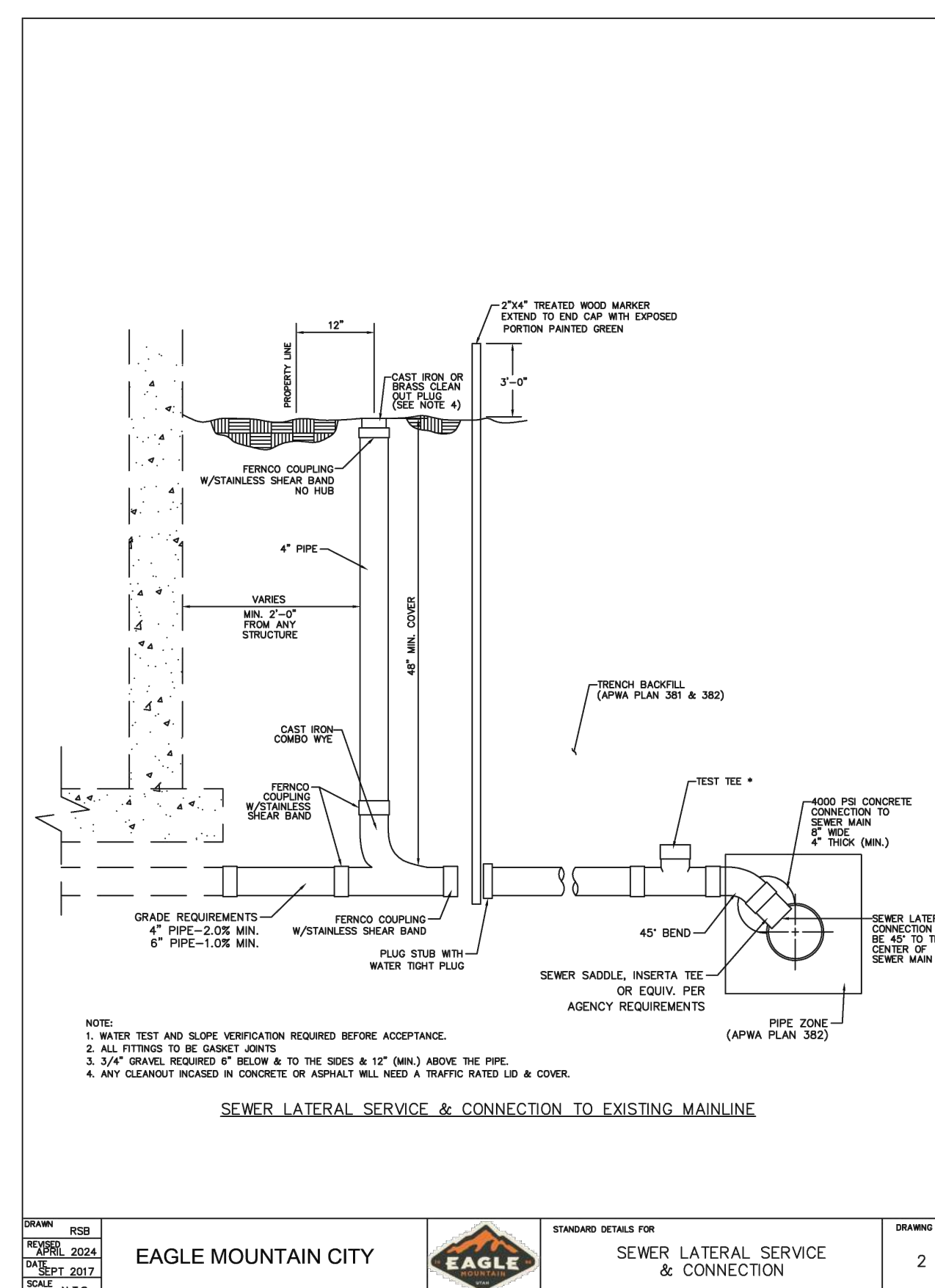
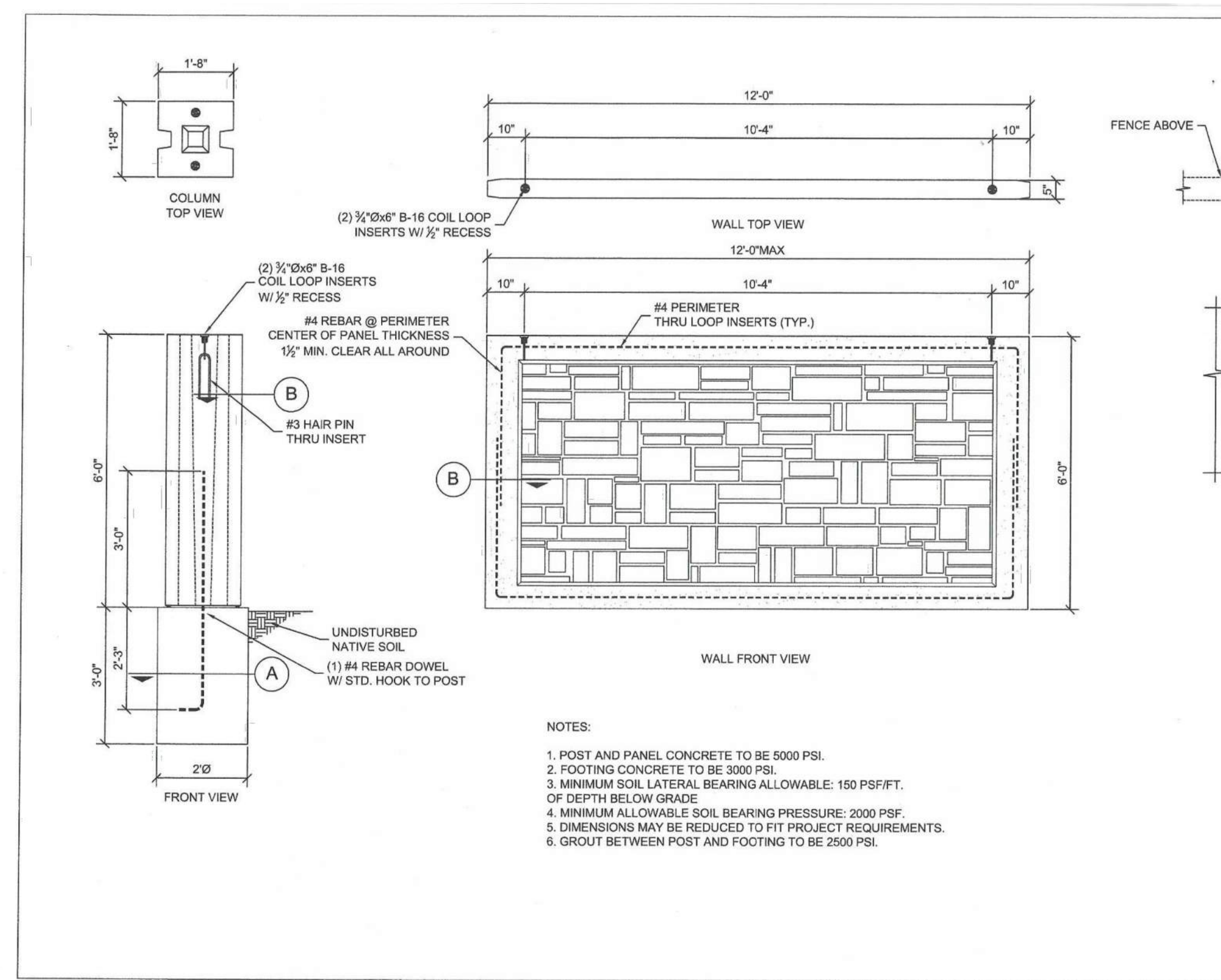
APWA Plan No. 231
Sidewalk
Not to Scale

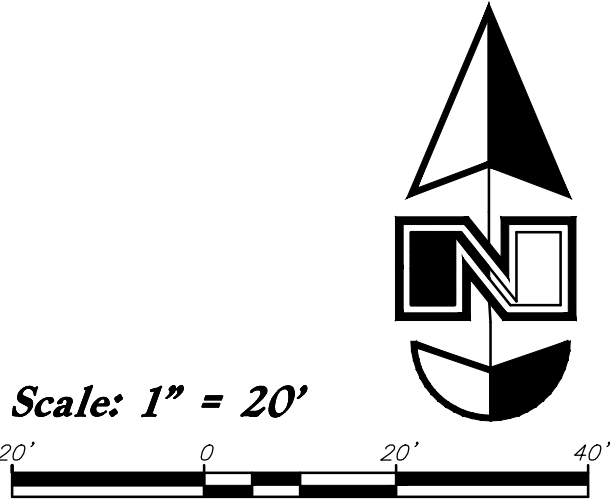
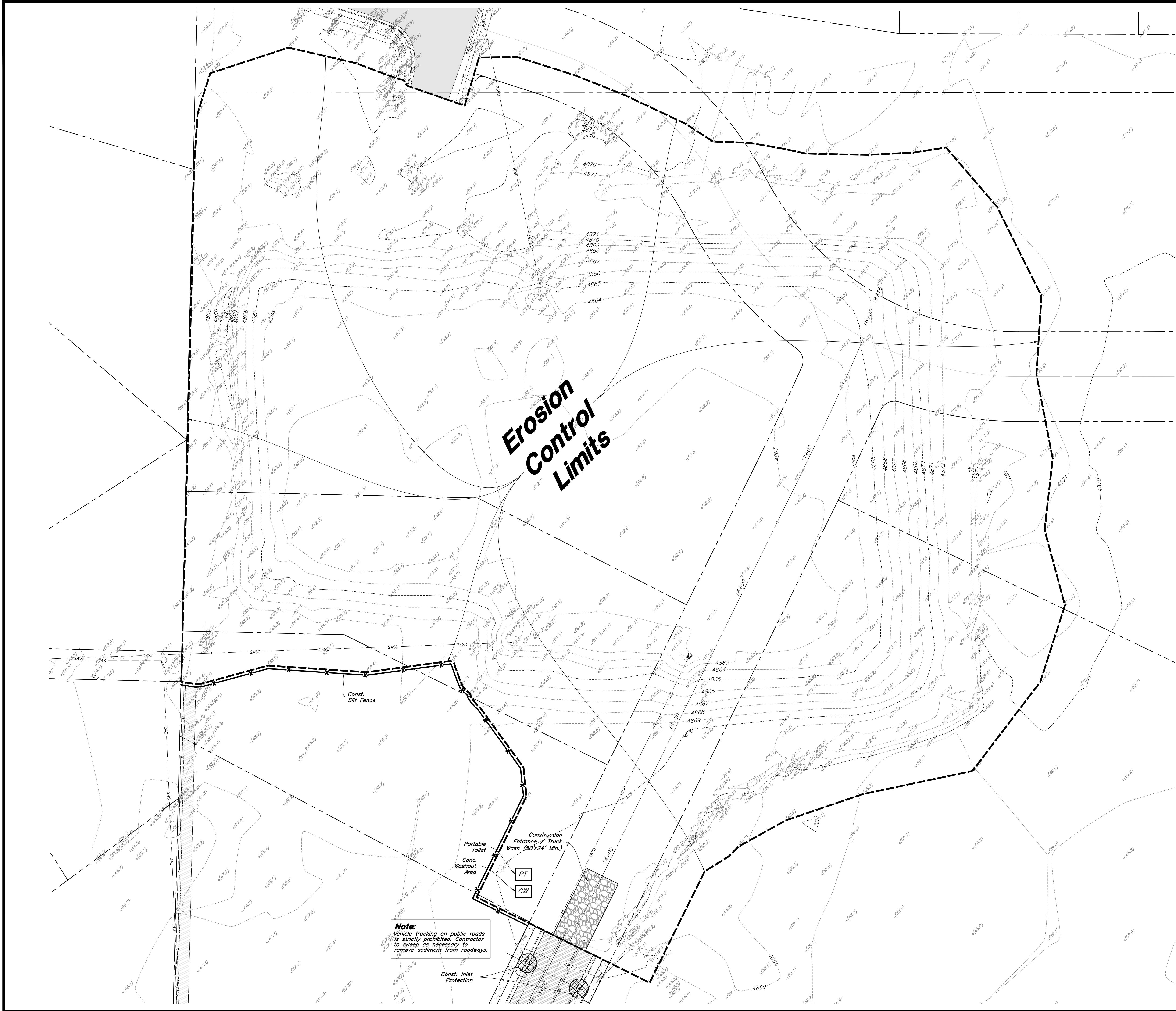


APWA Plan No. 211
Waterway
Not to Scale



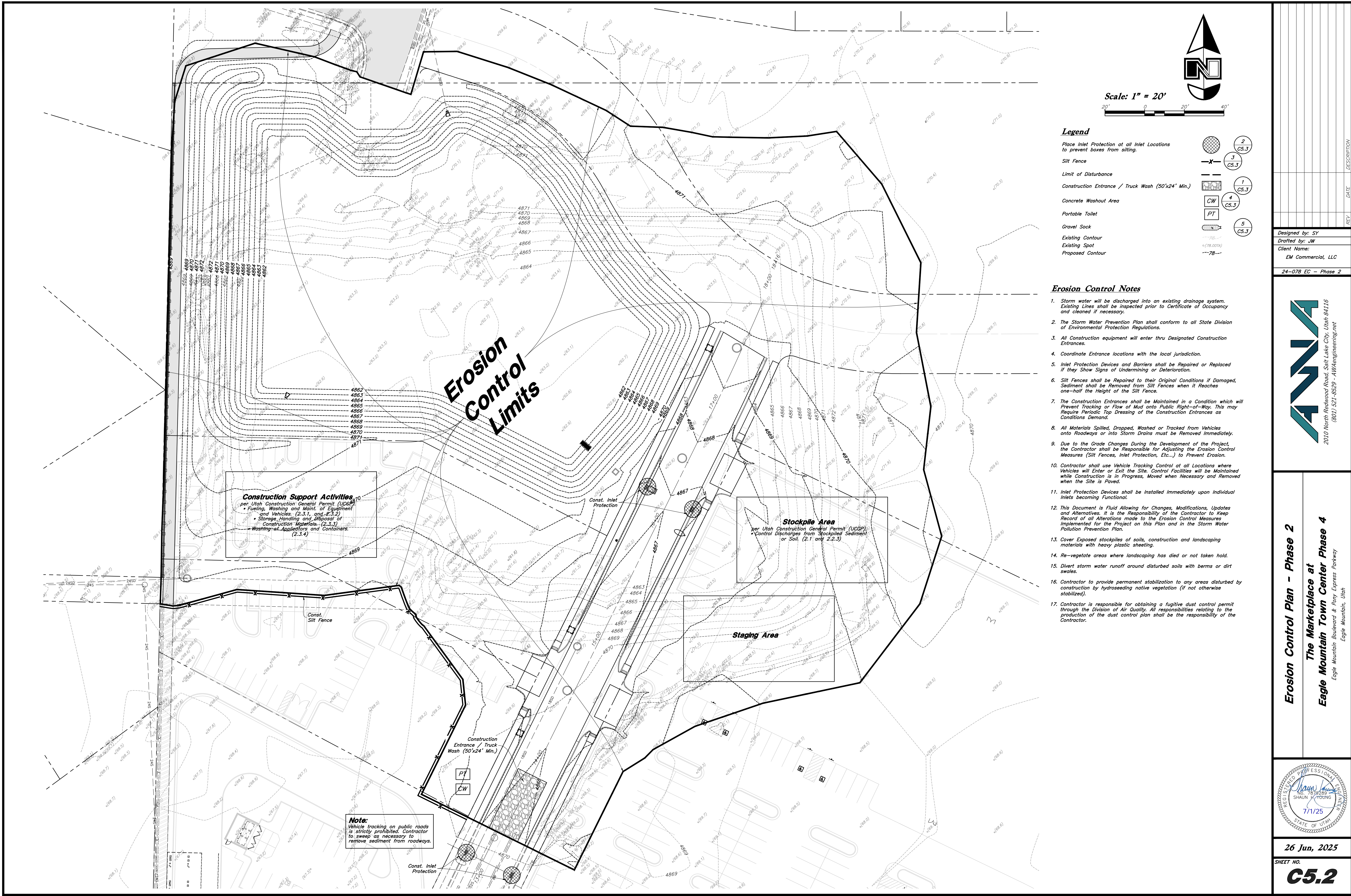
APWA Plan No. 205.1
Curb & Gutter
Not to Scale





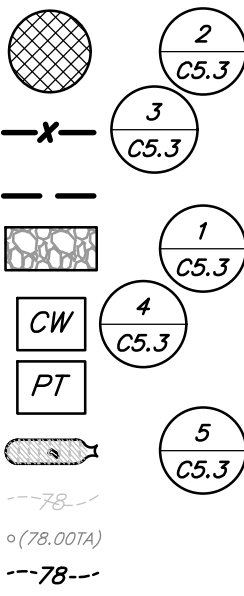
- Legend**
- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour
- 2
C5.3
- 3
C5.3
- 1
C5.3
- 4
C5.3
- 5
C5.3
- CW
- PT
- 78
- 78.001A
- 78

- Erosion Control Notes**
- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
 - The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
 - All Construction equipment will enter thru Designated Construction Entrances.
 - Coordinate Entrance locations with the local jurisdiction.
 - Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
 - Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
 - The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
 - All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
 - Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
 - Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
 - Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
 - This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
 - Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
 - Re-vegetate areas where landscaping has died or not taken hold.
 - Divert storm water runoff around disturbed soils with berms or dirt swales.
 - Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseding native vegetation (if not otherwise stabilized).
 - Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.



Legend

- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour



Erosion Control Notes

- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
- The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
- All Construction equipment will enter thru Designated Construction Entrances.
- Coordinate Entrance locations with the local jurisdiction.
- Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
- Silt Fences shall be Repaired to their Original Conditions if Damaged, Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
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- All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
- Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
- Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
- Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
- This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
- Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
- Re-vegetate areas where landscaping has died or not taken hold.
- Divert storm water runoff around disturbed soils with berms or dirt swales.
- Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
- Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

Construction Support Activities

- per Utah Construction General Permit (UCGP)
- Fueling, Washing and Maint. of Equipment and Vehicles. (2.3.1, and 2.3.2)
 - Storage, Handling and Disposal of Construction Materials. (2.3.3)
 - Washing of Applicators and Containers. (2.3.4)

Stockpile Area

- per Utah Construction General Permit (UCGP)
- Control Discharges from Stockpiled Sediment or Soil. (2.1 and 2.2.3)

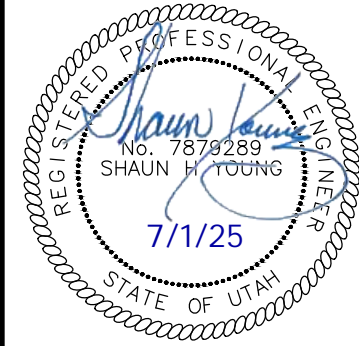
Staging Area

Note:
Vehicle tracking on public roads is strictly prohibited. Contractor to sweep as necessary to remove sediment from roadways.

Erosion Control Plan - Phase 2

The Marketplace at Eagle Mountain Town Center Phase 4

Eagle Mountain Boulevard & Poy Express Parkway
Eagle Mountain, Utah

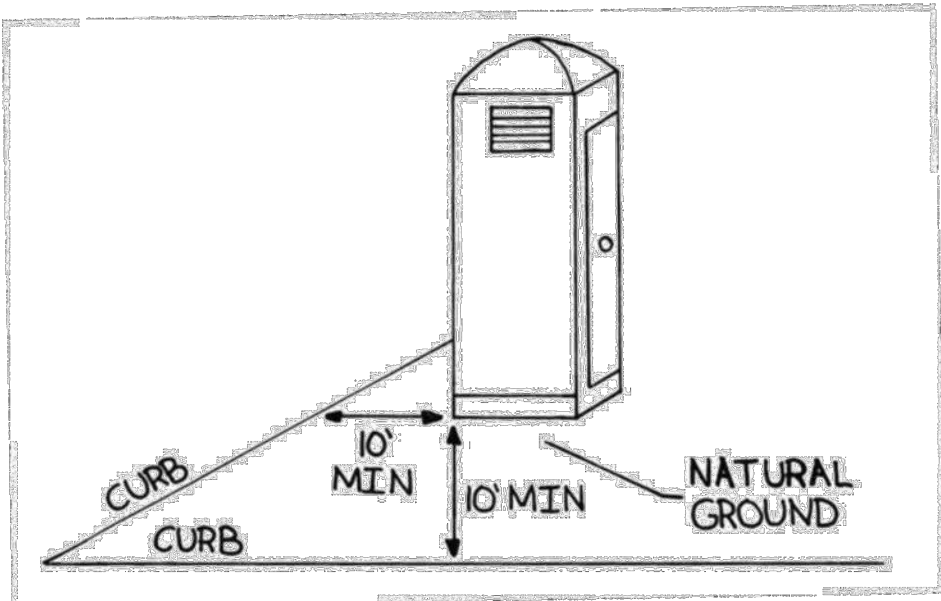


26 Jun, 2025

SHEET NO.

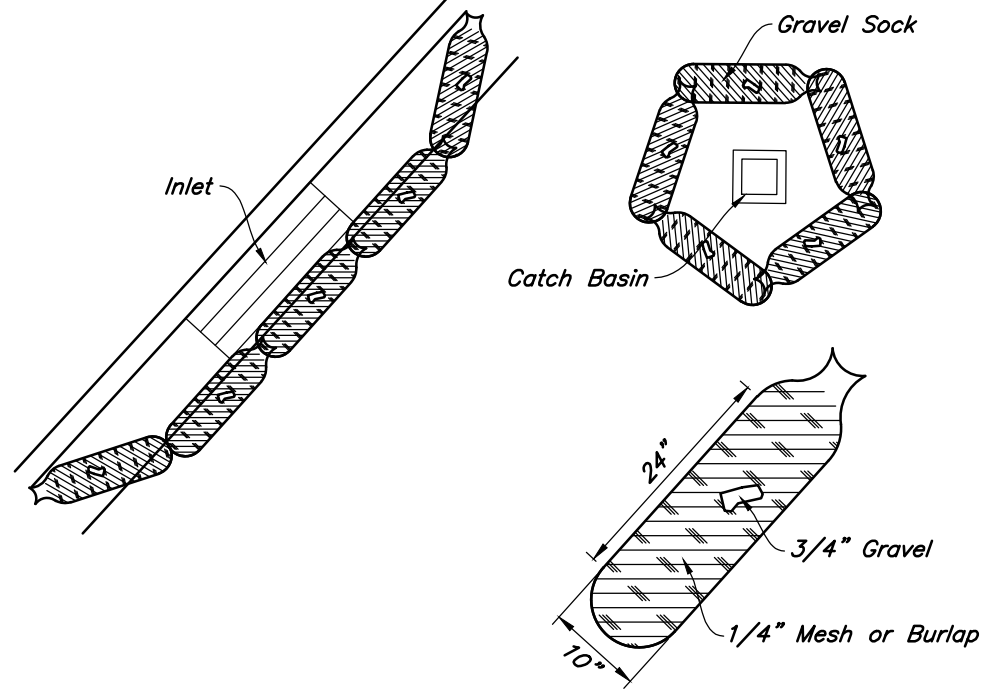
C5.2

BMP 1- Portable Toilet on Pervious Surface

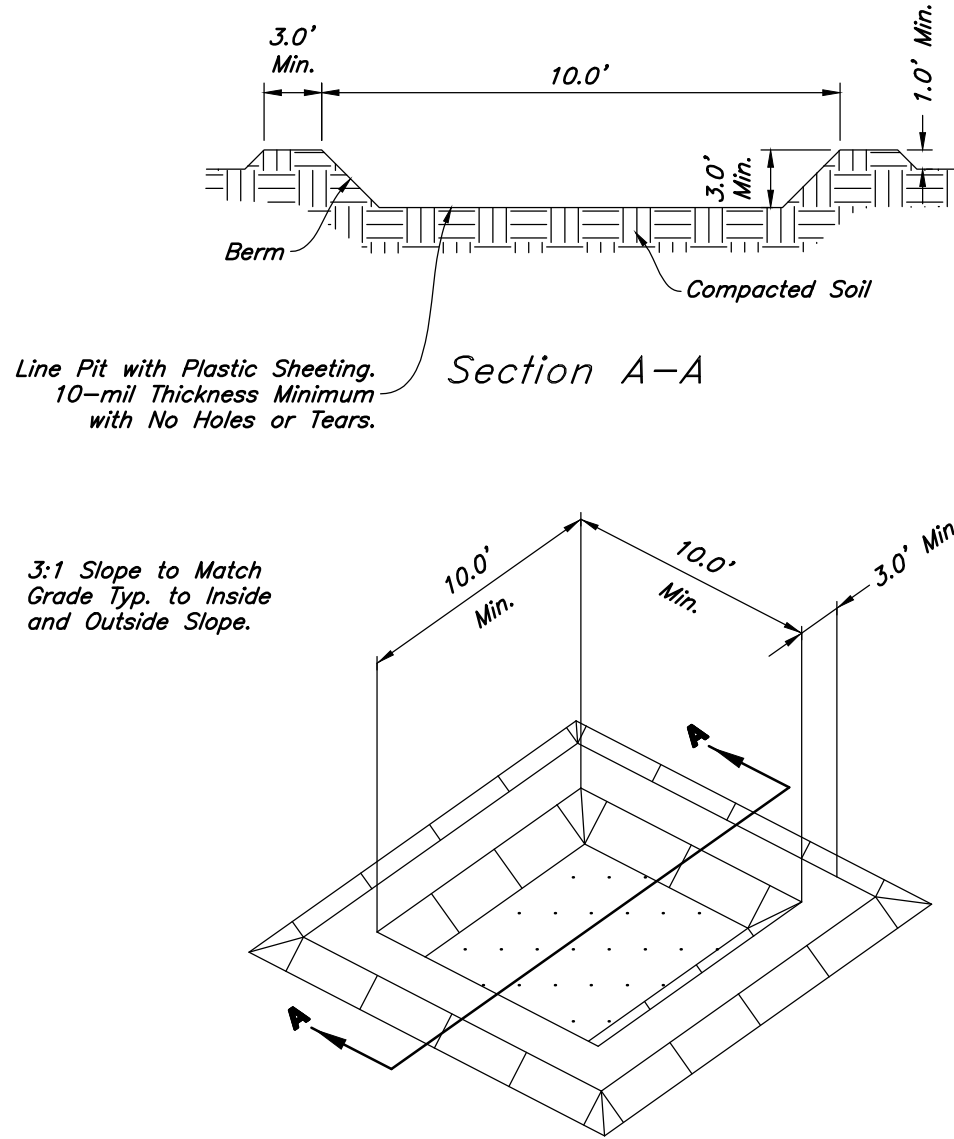


- APPLICATION**
- Provide temporary sanitary facilities when permanent facilities are too far from activities or are unavailable.
- INSTALLATION/USE PROCEDURE**
- Locate portable toilets away from waters of the state, and at least 10 feet from any storm water conveyance, inlet, curb and gutter, or conduit to a waterway.
 - Wherever possible, locate portable toilet upon natural ground and not on impervious surfaces such as asphalt, concrete, or similar
 - Prepare a level surface and provide clear access to the toilet(s) for servicing and for on-site personnel
 - Wherever possible, locate a portable toilet next to track out pad or provide gravel access pad for maintenance pick up to reduce occurrence of mud track out by service provider.
 - Secure portable toilets to prevent tipping e.g. stakes, tie downs, etc.
- OPERATOR BMP MODIFICATION OR REPLACEMENT**
- The operator is invited to propose an alternative BMP or modify this preferred BMP. The proposed BMP must match or exceed performance requirements as this preferred BMP. Any deviations from this preferred BMP must be reviewed and accepted by the oversight authority.
 - Submit BMP modifications or replacements to the oversight authority for review; including but not limited to; Proprietary system literature, modified illustrations, any operation procedures and maintenance adjustments, etc.
 - Also see BMP 2- Portable Toilet on Pavement
- MAINTENANCE/MANAGEMENT**
- Portable toilets should be maintained in good working order by licensed service
 - Portable toilets should be inspected daily to detect any leaks
 - Damaged toilets must be repaired/replaced immediately
 - All waste must be deposited in the sanitary sewer system for treatment with appropriate agency approval
 - Implement spill BMP immediately upon spill incident
 - If track out from the service provider occurs, debris must be removed as soon as practicable.
- PERFORMANCE**
- A portable toilet is expected to contain human waste with zero exposure to storm water.
 - A successful portable toilet is clean, effective, and is processed by the appropriate licensed facility.
- REFERENCE**
- Construction General Storm Water Permit (CGP) 2.3.3(f)
 - Common Plat Permit (CPP) 2.4.4

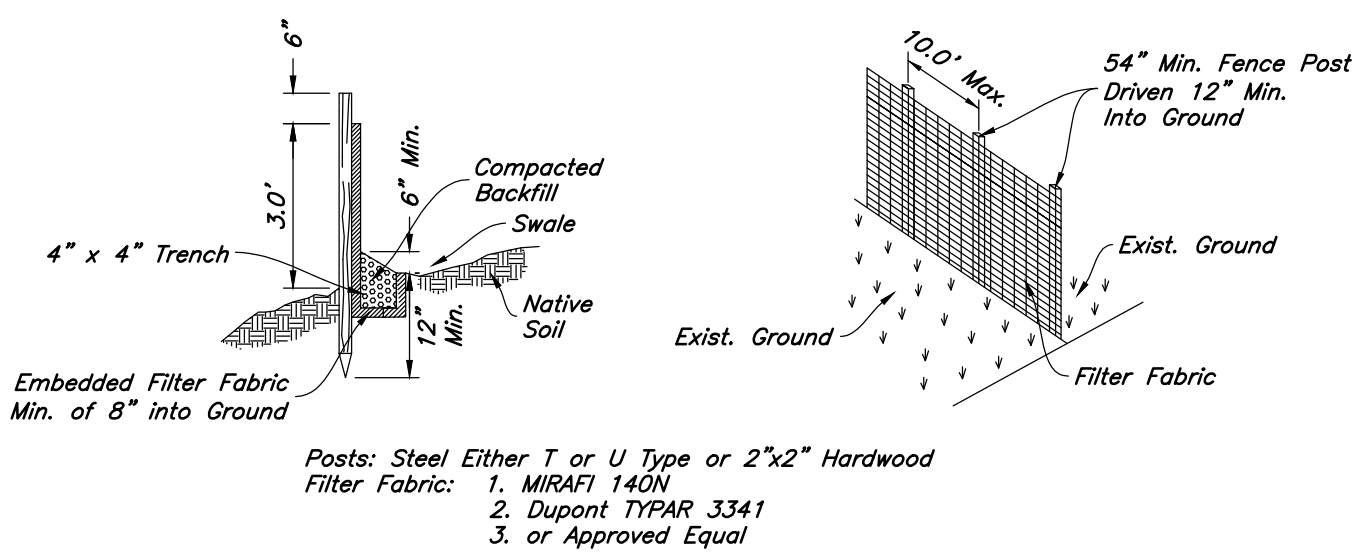
Eagle Mountain City
BPM 1 - Portable Toilet on Pervious Surface
Not to Scale



5 Gravel Sock Sediment Barrier
Not to Scale

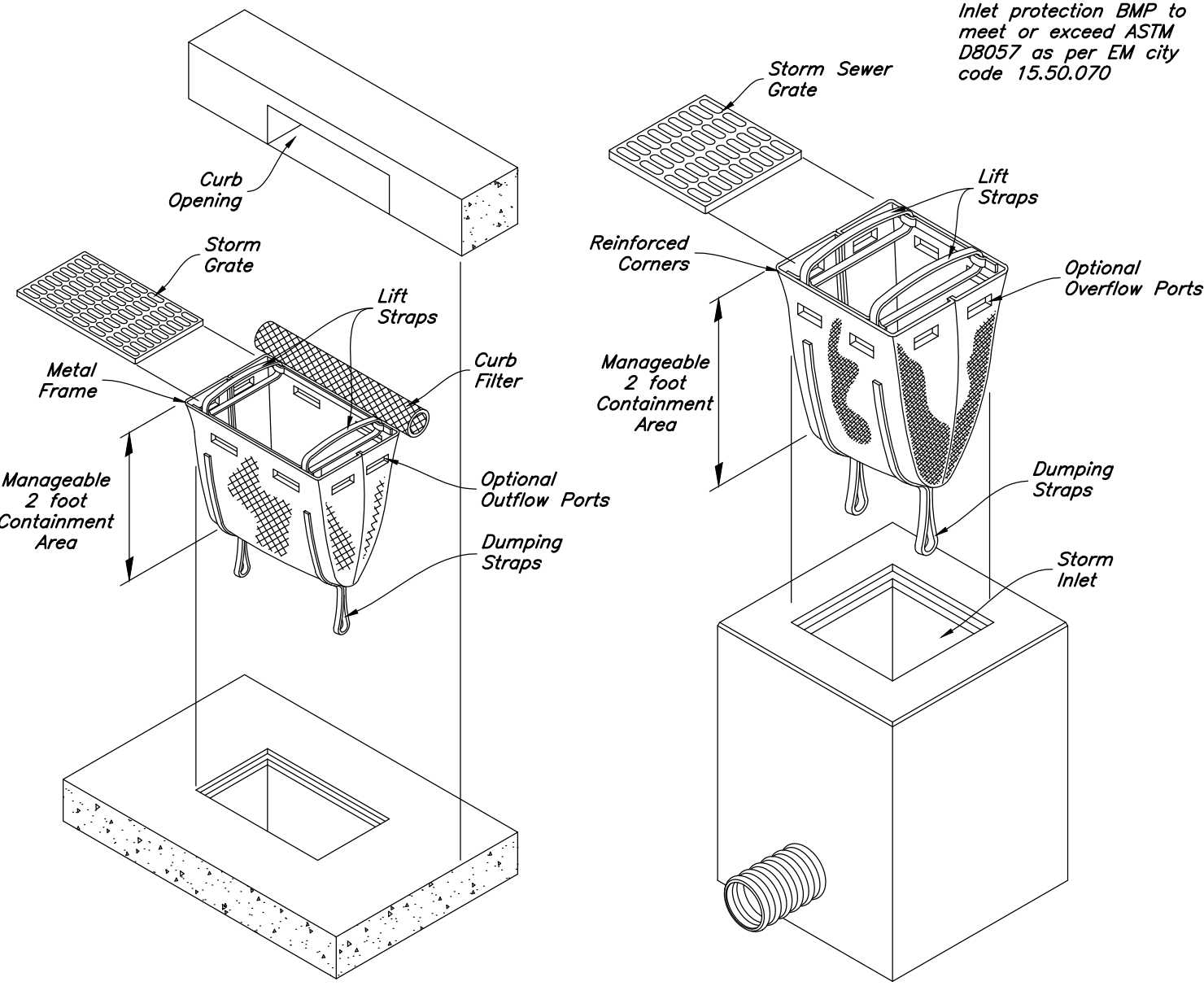


4 Concrete Washout
Not to Scale

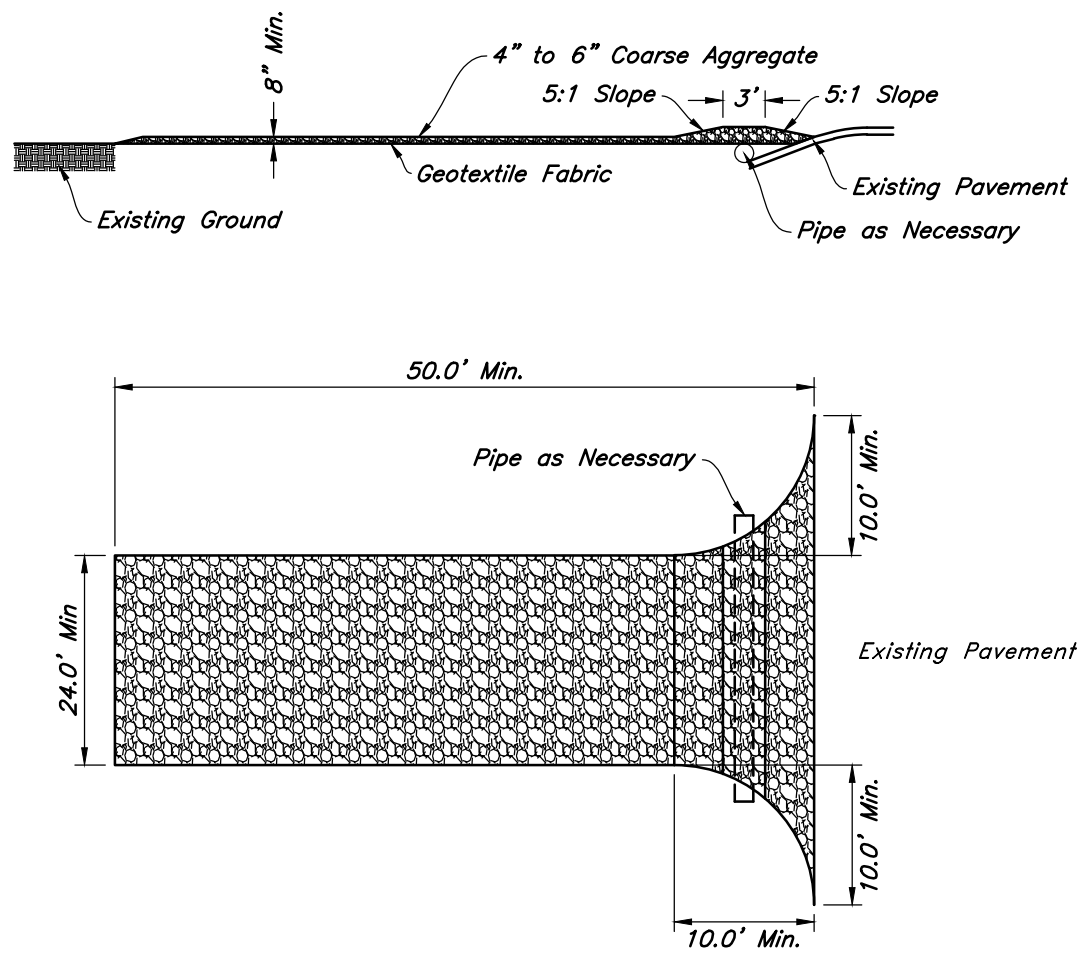


- Notes:
- Filter cloth to be fastened securely to fence posts with wire ties or staples.
 - When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 - Collected material shall be removed when "bulges" develop in the silt fence.

3 Silt Fence Section
Not to Scale



2 Dandy Sack Inlet Protection
Not to Scale

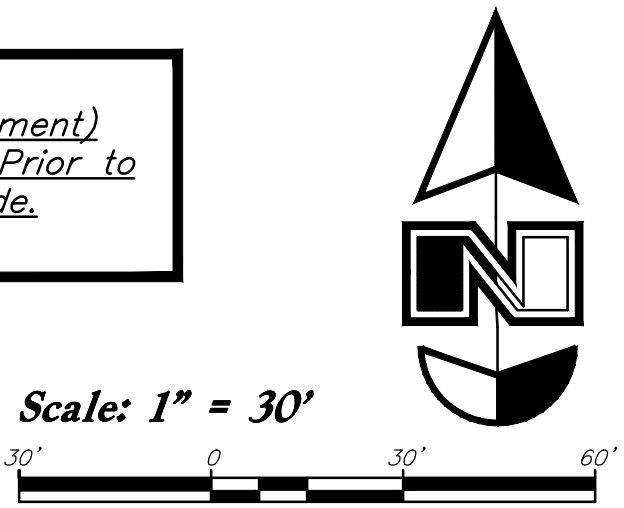


1 Stabilized Construction Entrance
Not to Scale

W:\24-078 Marketplace at Eagle Mountain - Phase 1\wgs\24-078 LS.dwg, 6/26/2025 12:06:53 PM, 1:1



Parkstrip Landscaping (Public Improvement)
Shall be Installed or Assurance Posted Prior to
Plat Recordation as Per State Code.



Scale: 1" = 30'

Landscape Data
Seeded Area = 99,916 s.f.
Decorative Stone Area = 800 s.f.

- Landscape Notes:**
1. All Seeded Area and Trees Shall Receive Irrigation. See Sheet L2.1 for Layout and Sheet L2.2 for Details.
 2. All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone.
- Landscape Installation Keynotes**
- 1 Install Seed Mix in Detention Pond and Areas Disturbed by Grading - See Material Sch. and Detail for More Info.
 - 2 Maintenance Road - Area Shall not Receive Seed
 - 3 Install Decorative Stone in Parkstrip Over Dewitt Pro5 Weed Barrier - See Material Sch. for More Detail
 - 4 Install Tree in Seeded Area with a 3" Diameter Tree Ring with Wood Mulch to Keep Base of Tree Moist

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE	WATER REQUIREMENT
TREES					
	5	Acer glabrum / Rocky Mountain Maple *	2" Caliper	15' (H) x 15' (W)	Low
	5	Celtis reticulata / Netleaf Hackberry *	2" Caliper	25' (H) x 20' (W)	Low
* Tree has been Selected From the Eagle Mountain Tree List					

MATERIAL SCHEDULE

- Rangeland Seed Mix - Seed Mix Shall be Installed in Detention Pond and Surrounding Areas Disturbed by Grading Activity; Seed Mix Shall be Installed by the Hydroseeding Method; See Detail for Seeded Area Preparation, Seed Mix and Slurry Mix Composition, and Application Rate. Detail: 1/L1.1
- Decorative Stone - Install Stone over Dewitt Pro5 Weed Barrier at a Four (4) Inch Depth to Cover Weed Barrier; Stone Shall be Used in Parkstrip Along Detention Pond Road Frontage; Stone Shall be Washed Prior to Installation; Stone Shall be 1 1/2" in Diameter, Angular, and Have Earth Tone/Tan Colors From Utah Landscaping Rock (South Towne); Provide a Sample for Approval. Detail: 2/L1.1
- Decorative Shredded Bark Mulch - Install a Tree Ring Around the Base of Trees in Seeded Area and Extend to Tree Drip Line (3" Diameter); Mulch Shall be Brown in Color, Decorative, and 1-1 1/2 Inch in Diameter from a Local Source; Install at a Four (4) Inch Depth. None

General Landscape Notes:

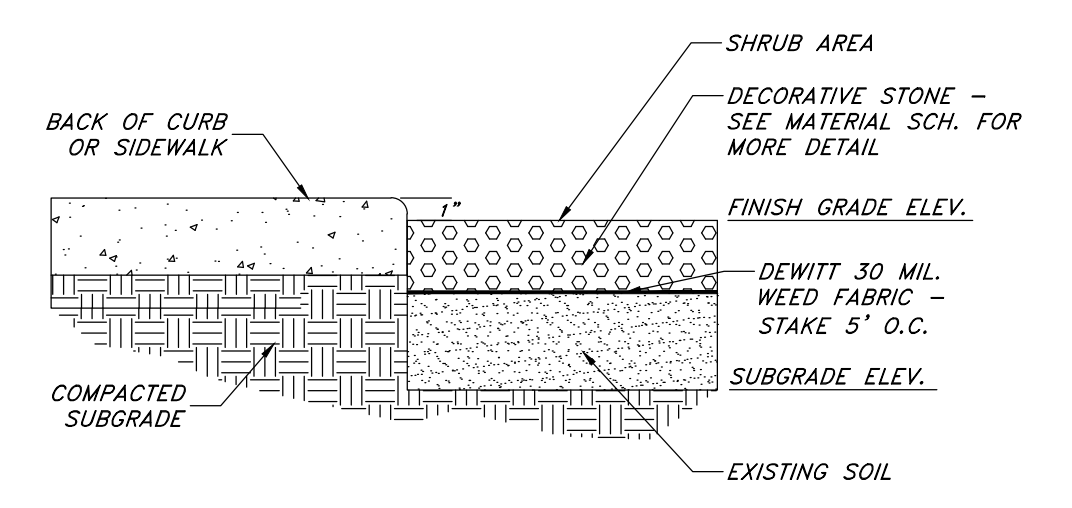
1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
2. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
4. Contractor shall call Blue Stake before excavation for plant material.
5. See civil drawings for all hardscape, grading, and drainage information.
6. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
7. The contractor shall install all landscape material per plan, notes and details.
8. No grading or soil placement shall be undertaken when soils are wet or frozen.
9. Existing soil shall be used for seeded areas.
10. All specified landscape areas shall receive decorative stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. All stone shall be washed prior to installation.
11. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls shall be planted flush with the finish grade.
12. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
13. All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule.

Rangeland Seed Mix

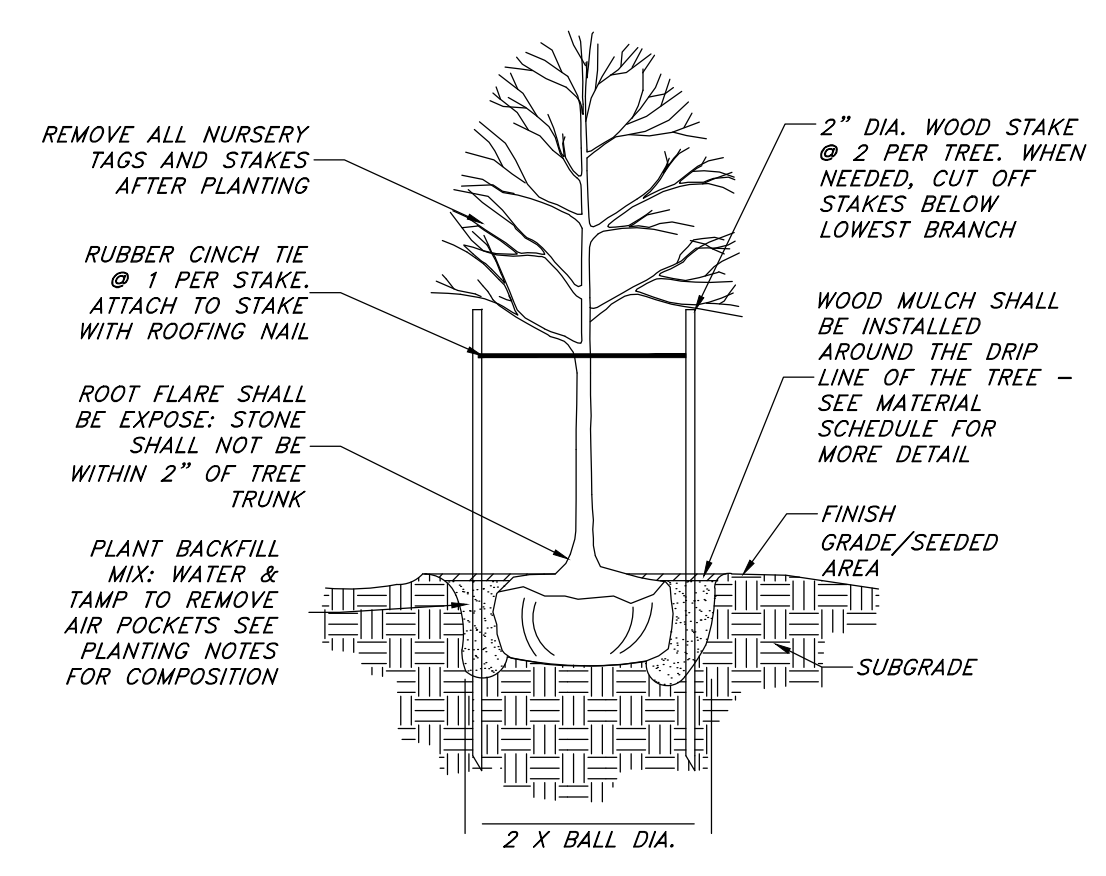
Scientific Name	Common Name	Bulk Pounds per Acre
Agropyron fragile	Siberian Wheatgrass	2.00
Agropyron cristatum	Crested Wheatgrass	2.00
Hesperotipa comata	Needle & Tread Grass	0.50
Pseudoroegneria spicata	Bluebunch Wheatgrass	4.00
Triticum aestivum	Sterile Triticale	3.00
Medicago sativa falcata	Falcata Alfalfa	4.00
Medicago sativa	Ladak Alfalfa	4.00
Linum perenne	Blue Flax	3.00
Sanguisorba minor	Burnette Salad	1.00
Achillea millefolium	Western Yarrow	1.00
Helianthus annuus	Annual Sunflower	0.50
Total		25.00

Seeding Notes:

1. Temporary Irrigation Shall be Installed in the Seeded Areas to Assist in the Seeding to be Successful. See Irrigation Plan L2.1 for Layout.
2. Existing Soil Shall be Used in Areas to be Seeded. Construction Debris, Trash, Weeds, and Large Rocks Shall be Removed.
3. Soil Shall be Scarified and Broken up in Preparation for Seeding. Tracking Shall be Used on Hillsides by the Tractor's Perpendicular to Slopes to Provide a Slight Indentation for Seed to Rest on Hillside.
4. It is Recommended that Seeding Shall be Done in October or November as Weather Permits to Take Advantage of Seasonal Precipitation and Cooler Temperatures. Seeding that Takes Place During the Spring or Summer that Doesn't Take Shall be Reseeded at the Specified Seed Rate.
5. Seed Shall be Installed Using the Hydroseeding Method. In Areas That Are Difficult to Hydroseed, Broadcast Seeding Shall be Used. Broadcast Seeding Areas Shall be Raked in to Provide Good Seed to Soil Contact. See Table on this Plan for Seed Composition and Application Rate. Apply 2,500 lbs./acre of Hydromulch and 100 lbs./acre of Tackifier. Incorporate a Starter Fertilizer in Hydroseed Mix per Recommendations of the Seeding Company.
6. Seed Mix Shall be Obtained from a Local Source. If Some of the Seed Types are not Available, Substitutions May be Provided. The Seed Mix Shall be Composed at a Minimum of 4 Species of Grass Listed in the Seed Mix Table and 5 Species of Forbs, which one has to be Alfalfa falcata.



2 LANDSCAPE AREA WITH DECORATIVE STONE
NOT TO SCALE



- NOTE:
1. TREES IN BALL AND BURLAP SHALL HAVE THE STRINGS, BURLAP, CAGES, AND PLASTIC CUT AND REMOVED FROM THE ROOT BALL.
 2. TREE STAKES AND TIES SHALL BE REMOVED AFTER ONE GROWING SEASON. IF TREES ARE NOT ESTABLISHED, LEAVE STAKES AND TIES FOR ANOTHER GROWING SEASON.

3 DECIDUOUS TREE PLANTING
NOT TO SCALE

Know what's below.
Call before you dig.

REV

DATE

DESCRIPTION

Designed by: SY

Drafted by: JW

Client Name:

EM Commercial, LLC

24-078 LS

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AIAEngineering.net

Landscape Plan

The Marketplace at

Eagle Mountain Town Center Phase 4

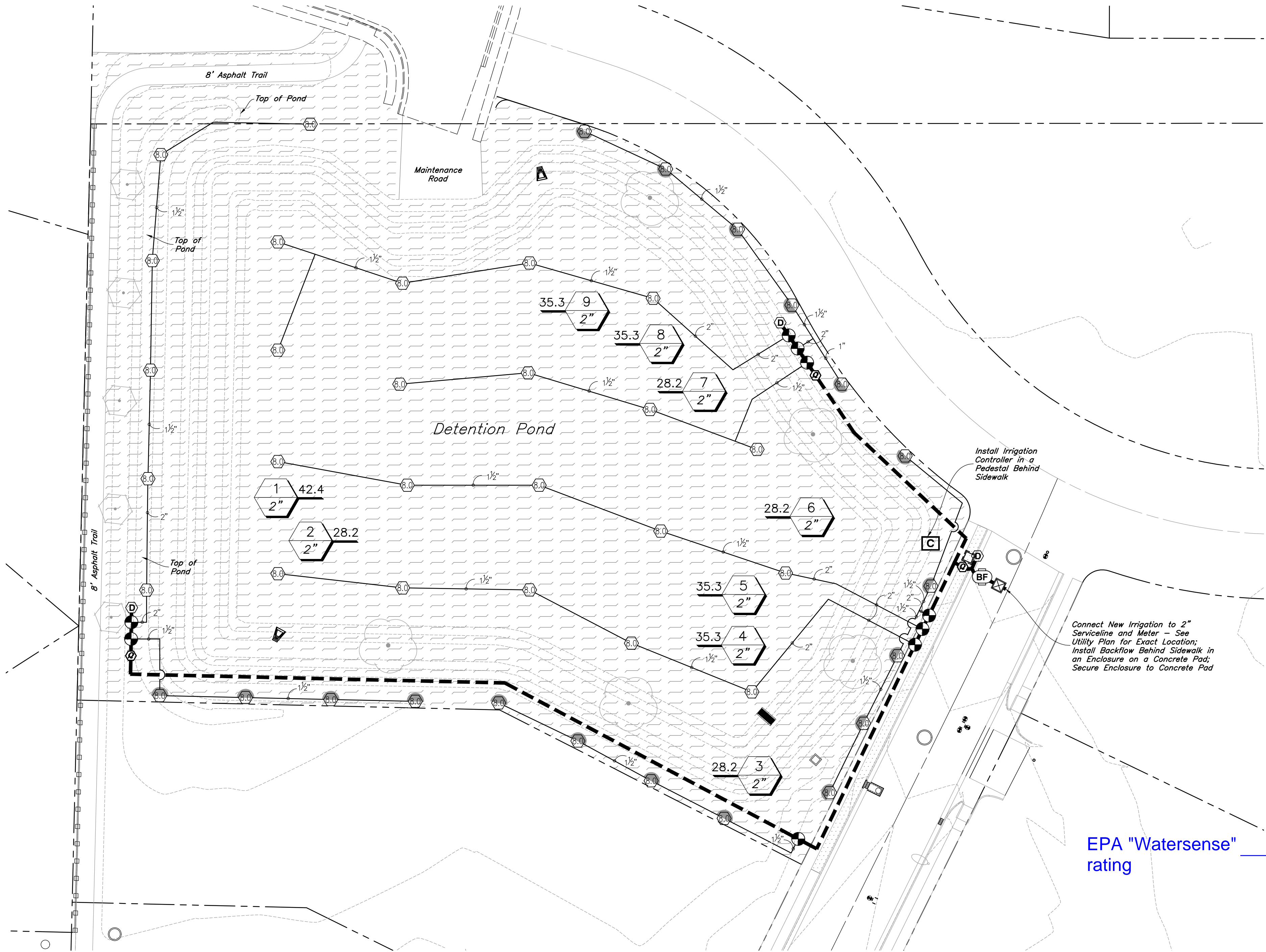
Eagle Mountain Boulevard & Poy Express Parkway

Eagle Mountain, Utah

26 Jun, 2025

SHEET NO.

L1.1



Irrigation Notes:

1. See Sheet L1.1 for Layout of Seeding for Detention Pond and Details.
2. See Sheet L3.1 for Irrigation Details.
3. The Irrigation System Requires a Minimum of 63 psi to Function. The City Reports a Water Pressure of 80 psi in the Area.

Irrigation Schedule

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
	Rain Bird 200-PEB	Remote Control Valve	2 Inch Size; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	2/L3.1
	Rain Bird 44RC	Quick Coupler Valve With a Swing Joint Assembly	1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	7/L3.1
	Matco-Norca 759	Manual Drain Valve	1/2" Inch Size; Install at End of Mainline and After Filter in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier	6/L3.1
Rotors				
	Rain Bird 5012-PC	12" Pop-Up Rotor with Adjustable to Full Circle with Rain Curtain Nozzles	Adjust Radius Reduction Screws as Needed to Achieve Appropriate Radii Coverage for Head to Head Coverage; Zones Have Been Laid Out to Provide Matched Precipitation Rate; Full Nozzles and Half Nozzles Shall be on Separate Valves as Shown on Plan for Matched Precipitation Rate	5/L3.1
P.O.C. Components				
	Mueller Oriseal Mark II	Stop & Waste Valve	2 Inch Size; Installed in 10" Round Valve Box with 3" Depth Gravel Over Weed Barrier	1/L3.1
	Wilkins 375XL Series	Reduce Pressure Backflow Assembly	2 Inch Size; Backflow Preventer Shall be Properly Installed and Tested to Meet all State and Local Health and Safety Laws and Ordinances; Install in GuardShack Enclosure (#GS-2) on Poured Concrete Pad with Frost Guard (#FG-2) and 2 Locks (GS-AWPKA); Enclosure Color Shall be Green	4/L3.1
Pipes				
	Schedule 40 PVC	Mainline Pipe	2 Inch Size; Controller Wire Shall be Tucked Under Mainline; Sch 80 Fittings Shall be Used for Mainline Connections	6/L3.1
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 Inch; Minimum Pipe Size Shall be 1 Inch for PVC Pipe; Sch 40 Fittings Shall be Used for Lateral Line Connections	6/L3.1
Controller				
	Rain Bird ESPLXME2 Rain Bird IQ-PSCM-LXM Rain Bird LXMSS & LXMSSPED	12 Station Base Controller with Pro Smart IQ Connection Module Installed in Stainless Steel Cabinet and Pedestal	See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor; Coordinate with AFCCU Purchasing and Installing WIFI Module	9/L3.1
Sleeving				
	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals and Controller Wire Located Under Concrete and Asphalt Paving at Specified Depths	Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted.	3/L3.1
Valve Callout				
			Valve Number Valve Flow Valve Size	

EPA "Watersense" rating

General Irrigation Notes:

1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil drawings for all hardscape, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufactures requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
9. Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assume the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
11. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
13. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
14. Controller valves shall be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
15. Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wires that runs the length of the mainline and to the controller. All wiring shall be UF-LJ rated. All connections shall be made with water tight connectors (DBR/Y) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
16. Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks.
17. Quick couplers shall be a Rain Bird 44RC with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
18. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
19. All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-two (22) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
20. Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within landscape areas. No tees, ells, or changes in direction shall occur under hardscape.
21. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
22. The irrigation contractor shall flush and adjust all rotor heads for optimum performance and to prevent possible overspray onto walks, roadways, and/or buildings as much as possible. This shall include selecting the best degree of arc to fit the site and to throttle the flow control of each valve to obtain the optimum operating pressure for each system. All mainlines shall be flushed prior to the installation of irrigation heads.
23. All rotors heads shall be set perpendicular to finish grade of the areas to be irrigated and shall be installed 6"-8" from buildings walls, or within 4" of pavement, curbs, or header edges.
24. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
25. The irrigation system design is based on the operating pressure shown on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owner's authorized representative immediately.
26. Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
27. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
28. Upon completion and approval of irrigation system, irrigation contractor to provide the owner with one set of drawings indicating actual location of piping, valves, rotor heads, wiring, and zones.
29. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

VALVE SCHEDULE

VALVE #	Remote Control Valve	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI @ VALVE	PSI @ POC	PRECIP. RATE
1	Rain Bird PEB	2"	Turf Rotor	42.36	44.0	62.9	0.4 in/h
2	Rain Bird PEB	2"	Turf Rotor	28.24	42.2	57.5	0.85 in/h
3	Rain Bird PEB	2"	Turf Rotor	28.24	42.2	55.1	0.87 in/h
4	Rain Bird PEB	2"	Turf Rotor	35.3	44.3	56.3	0.4 in/h
5	Rain Bird PEB	2"	Turf Rotor	35.3	44.1	56.0	0.4 in/h
6	Rain Bird PEB	2"	Turf Rotor	28.24	41.0	53.0	1.11 in/h
7	Rain Bird PEB	2"	Turf Rotor	28.24	42.9	55.5	0.4 in/h
8	Rain Bird PEB	2"	Turf Rotor	35.3	41.8	54.8	0.79 in/h
9	Rain Bird PEB	2"	Turf Rotor	35.3	43.9	56.9	0.4 in/h



Know what's below.
Call before you dig.

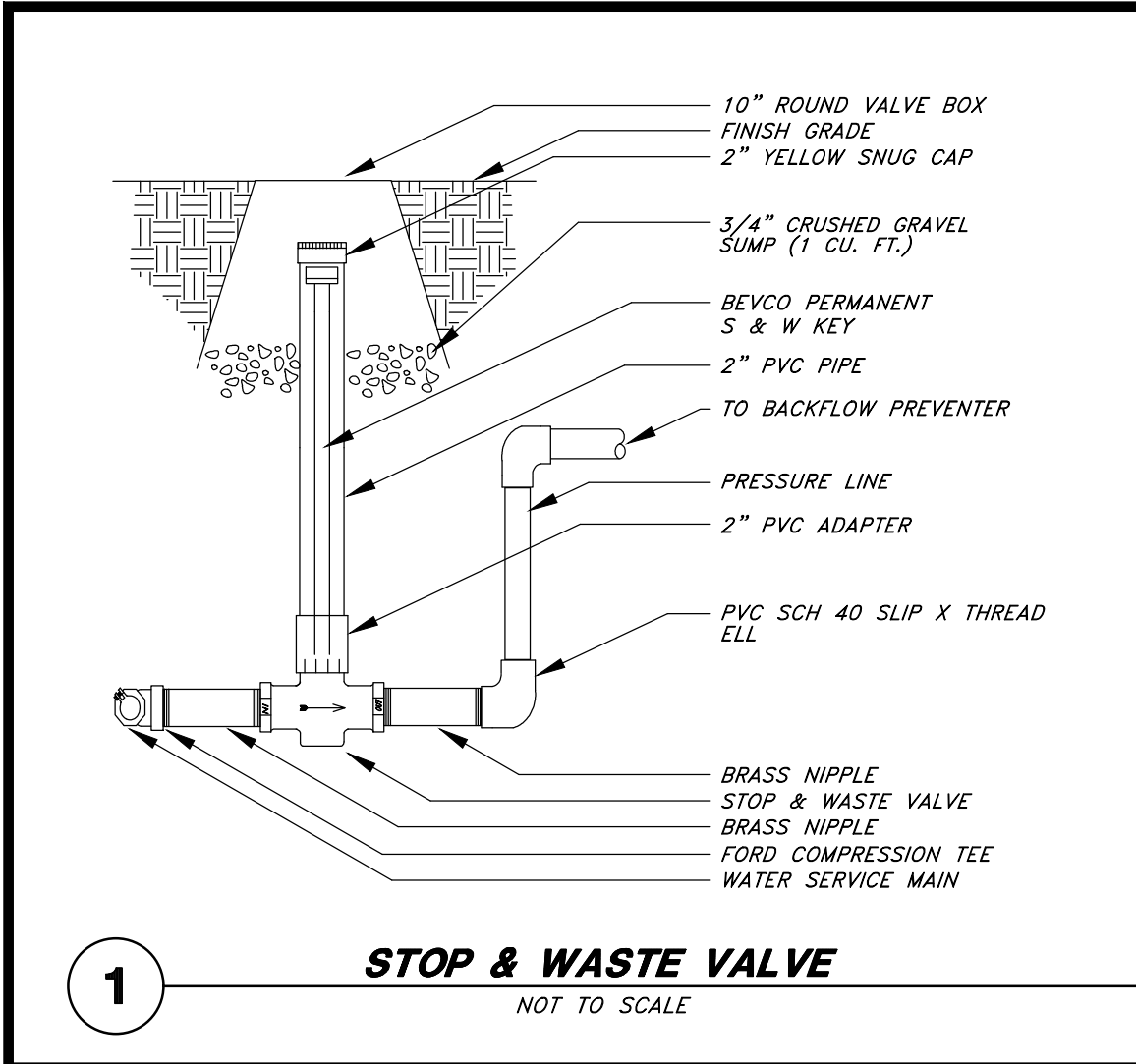


Irrigation Plan
The Marketplace at
Eagle Mountain Town Center Phase 4
Eagle Mountain Boulevard & Pony Express Parkway
Eagle Mountain, Utah

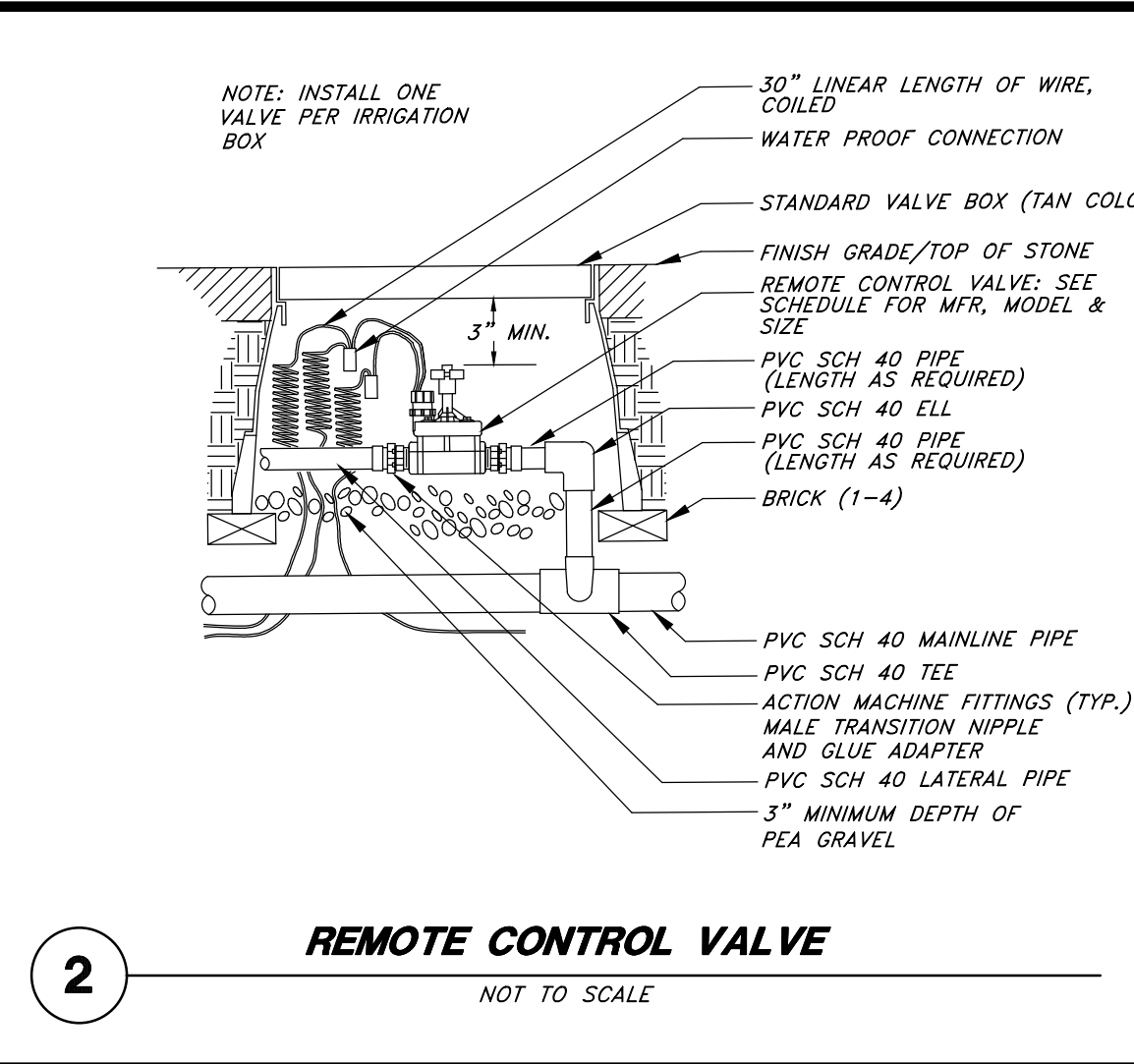


26 Jun, 2025

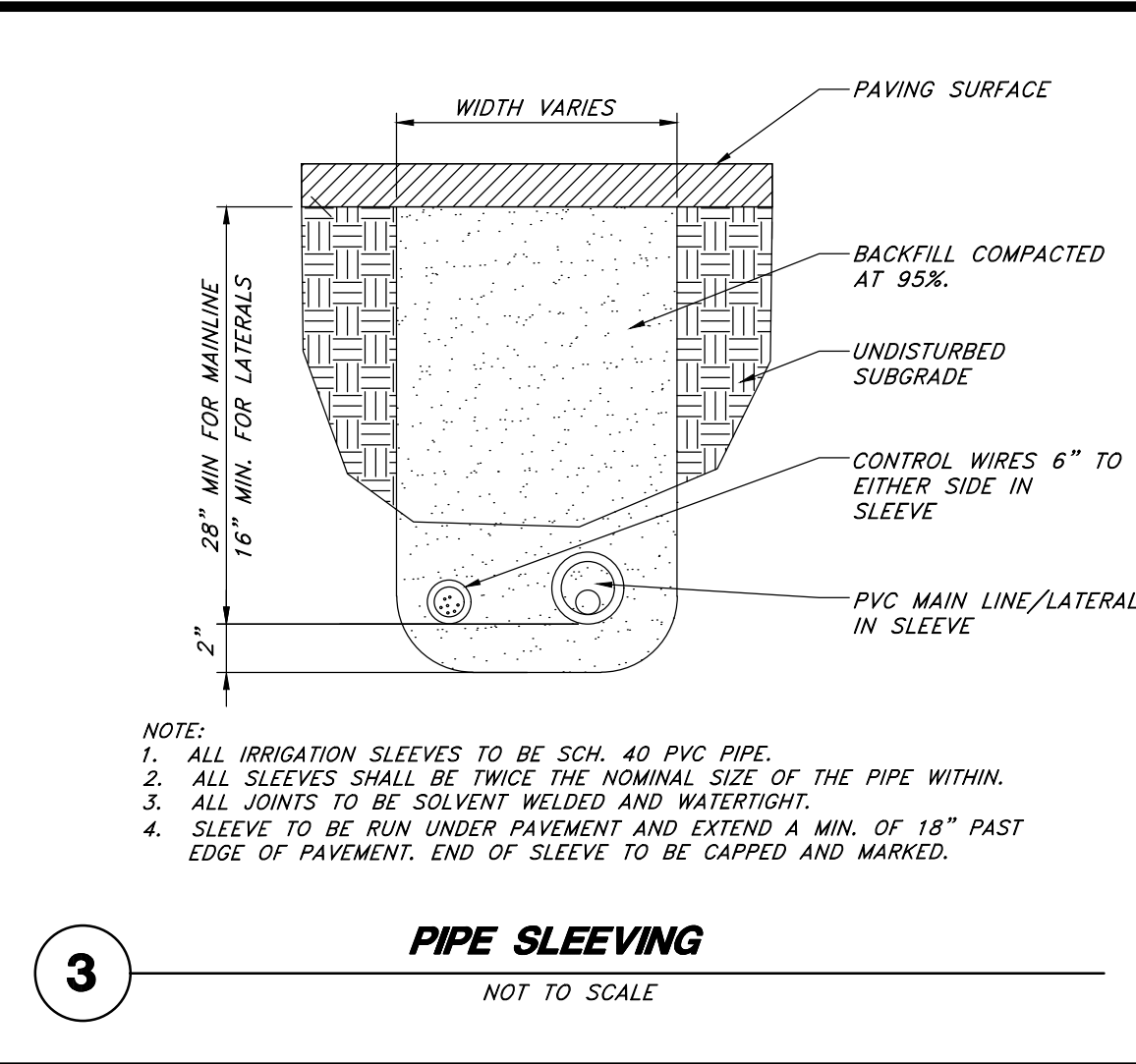
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L2.1



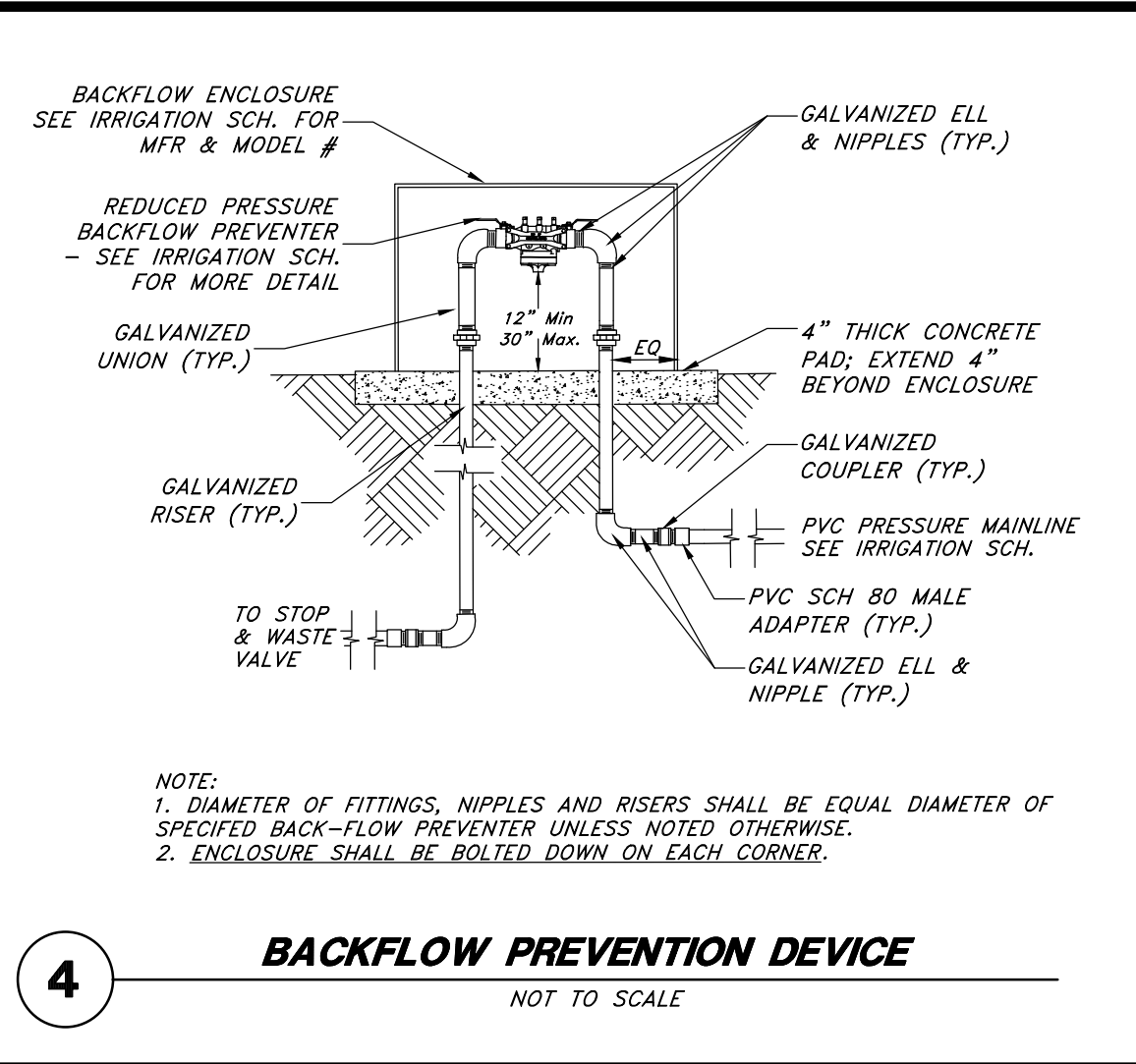
1 **STOP & WASTE VALVE**
NOT TO SCALE



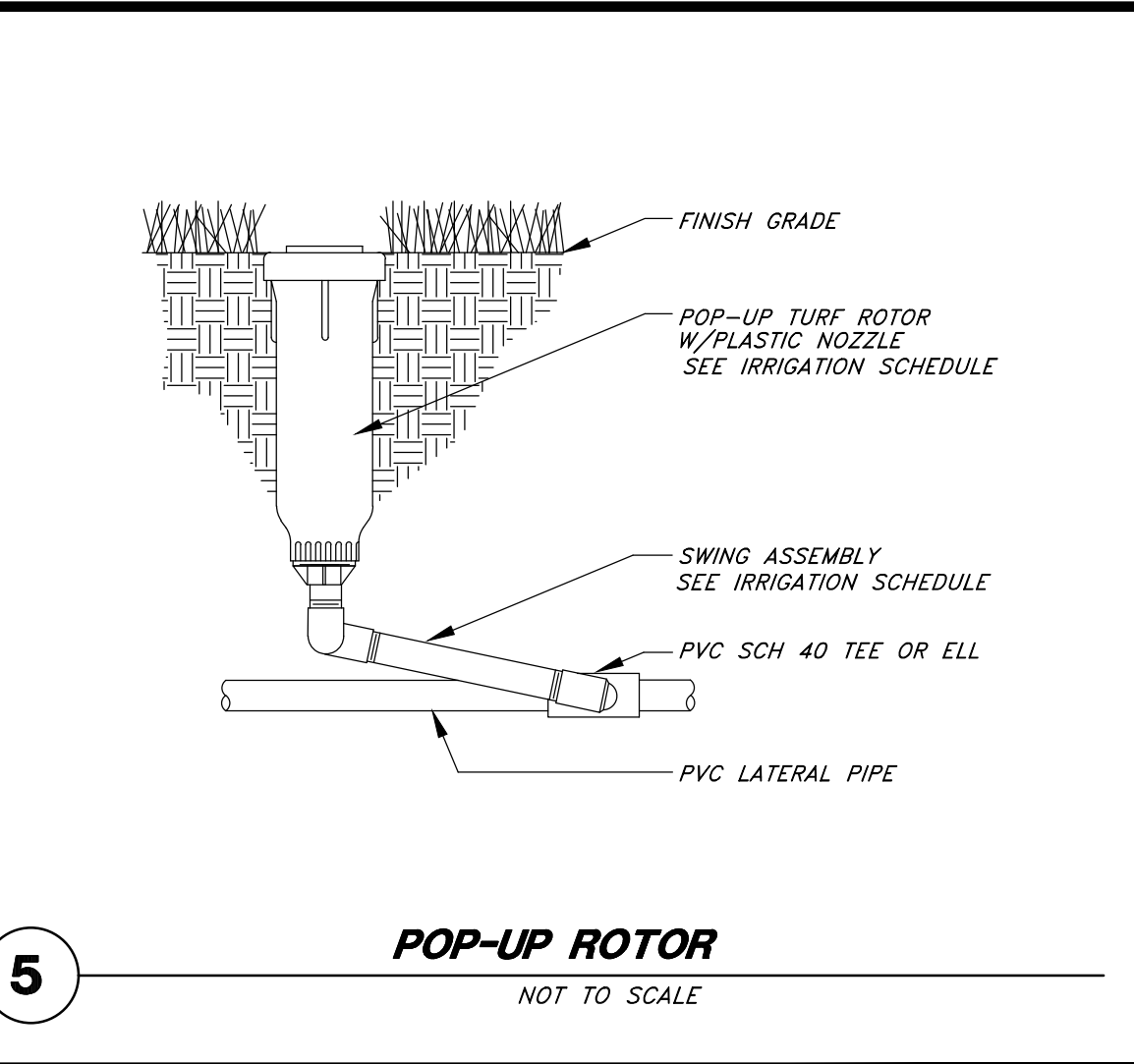
2 **REMOTE CONTROL VALVE**
NOT TO SCALE



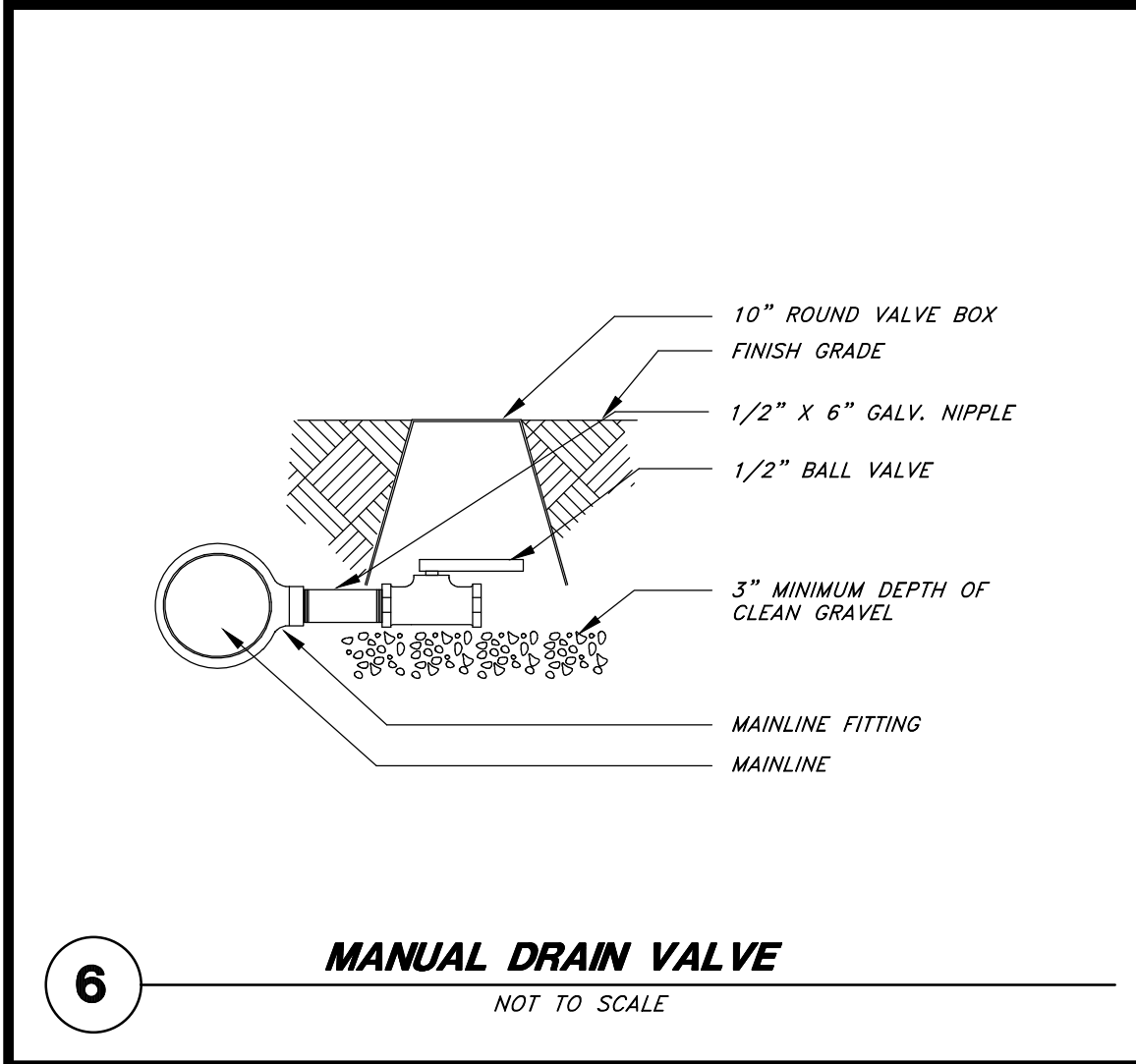
3 **PIPE SLEEVING**
NOT TO SCALE



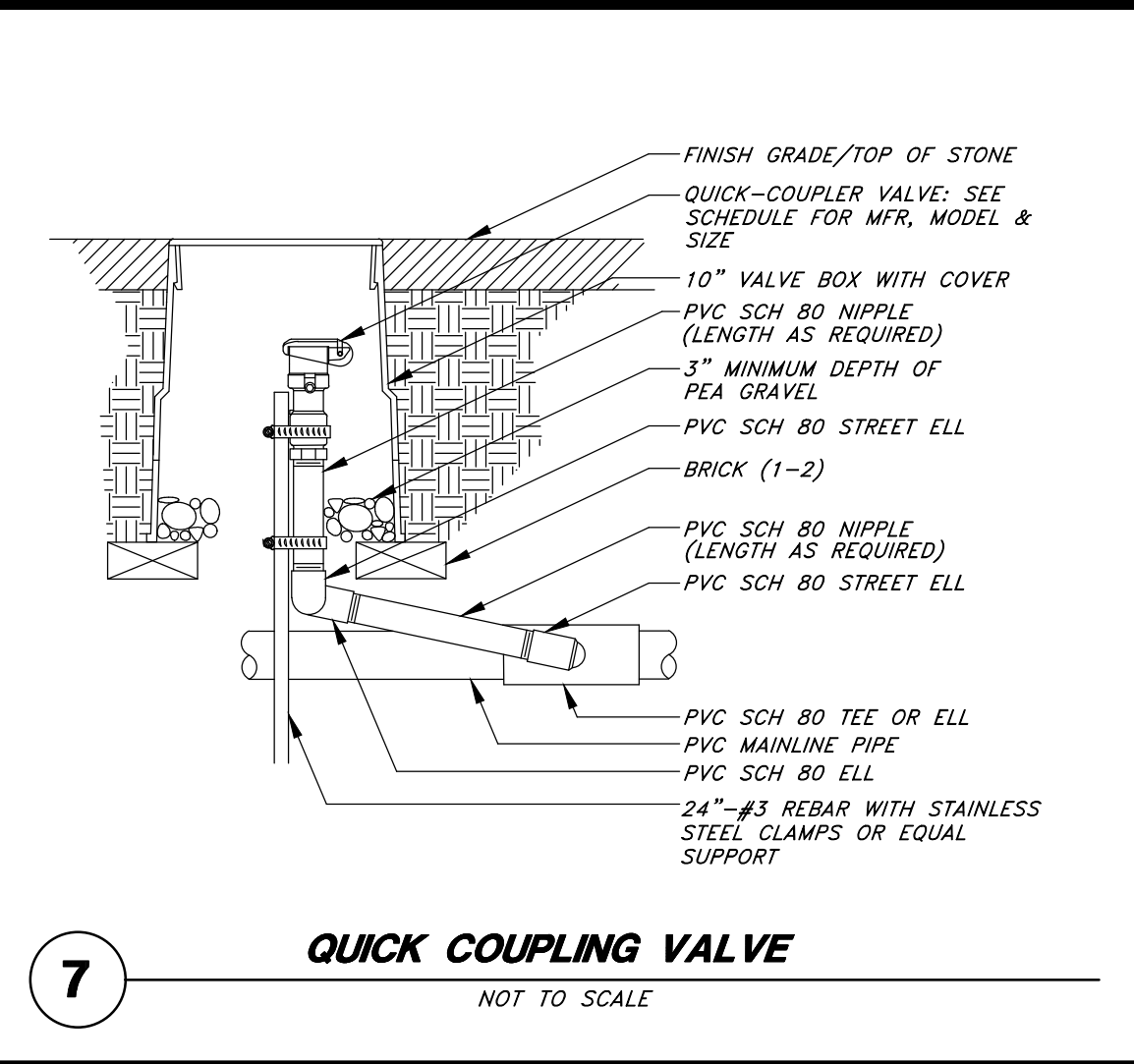
4 **BACKFLOW PREVENTION DEVICE**
NOT TO SCALE



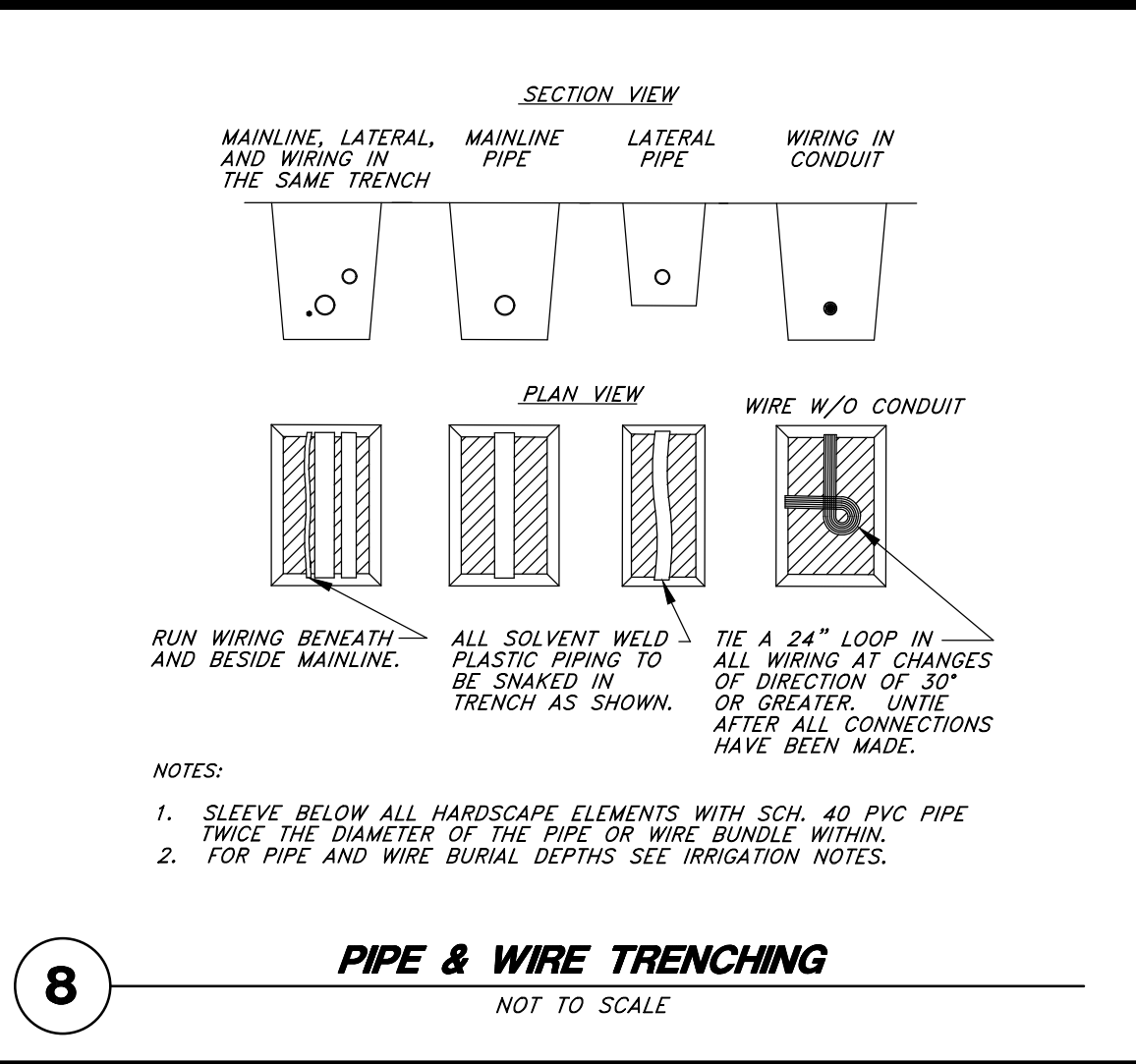
5 **POP-UP ROTOR**
NOT TO SCALE



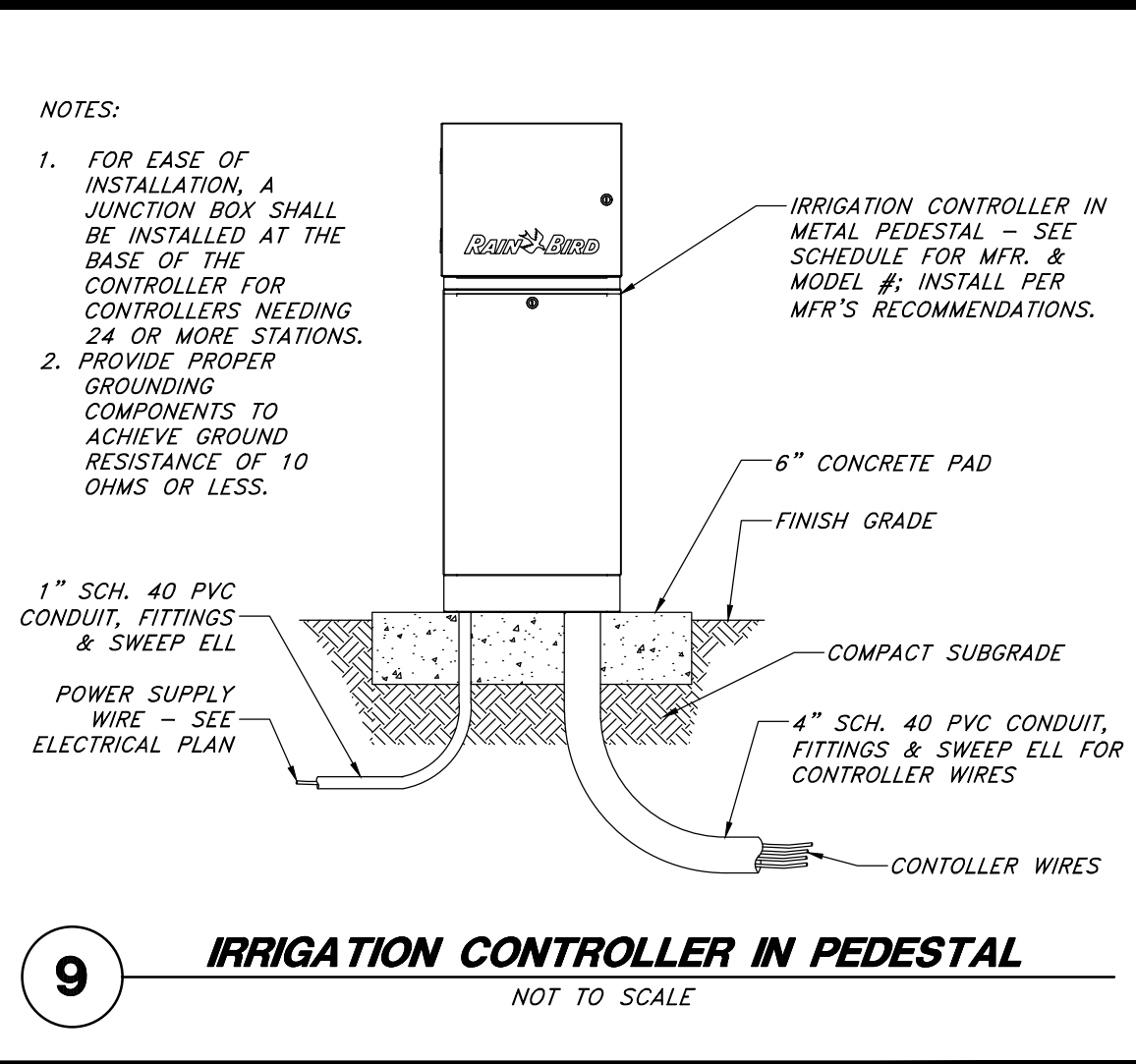
6 **MANUAL DRAIN VALVE**
NOT TO SCALE



7 **QUICK COUPLING VALVE**
NOT TO SCALE



8 **PIPE & WIRE TRENCHING**
NOT TO SCALE



9 **IRRIGATION CONTROLLER IN PEDESTAL**
NOT TO SCALE

Designed by: SY
Drafted by: JW
Client Name:
EM Commercial, LLC
24-078 IR



Landscape & Irrigation Details
The Marketplace at
Eagle Mountain Town Center Phase 4
Eagle Mountain Boulevard & Poy Express Parkway
Eagle Mountain, Utah



26 Jun, 2025
SHEET NO.
L3.1





**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 8, 2025**

TITLE:	Animal, Exceptions, Public Hearings, and Appeals Code Amendment
ITEM TYPE:	Development Code Amendment
FISCAL IMPACT:	N/A
APPLICANT:	City-initiated

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

Yes

PREPARED BY

Steven Lehmitz, Planner

PRESENTED BY

Steven Lehmitz

RECOMMENDATION:

Staff recommends that the Planning Commission forward a positive recommendation to the City Council respecting the proposed amendments.

BACKGROUND:

Recent situations brought to the City regarding animals have prompted this code amendment to provide clarification and add standards. The ability to seek exceptions to Home Occupation and Accessory Dwelling Unit standards is also being removed. Finally, a recent change to state code (UCA 10-9a-701(5)) requires the City to remove public hearings for Variances and Land Use Appeals.

ITEMS FOR CONSIDERATION:

The Planning Commission should consider the potential consequences associated with the proposed code changes if later recommended for adoption. Ordinances pertaining to Development Code Amendments, and processing of the same, may be found in EMMC 17.05.120 & UCA 10-9a-501.

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. Draft Code Amendment

6.05.260 Number of animals.

No person may harbor or possess more than the number of dogs shown in Table 6.05.260(a) or more than four cats, four months of age or older, without acquiring a short-term pet sitting license, kennel license, or a hobby breeder license for such use or facility from the city. Ownership of more than four cats without said licenses must be approved by the animal regulation coordinator for a legitimate business purpose.

Table 6.05.260(a)

Maximum Permitted Number of Dogs by Lot Size					
Dog Size	Lot Size	Dogs Allowed as Pets (No License Required)	Hobby Breeder License*	Short-Term Dog Sitting*	Kennel
Small	Condos/Apartments or Townhomes	2	n/a <u>N/A</u>	2	n/a <u>N/A</u>
Large		2	n/a <u>N/A</u>	2	n/a <u>N/A</u>
Small	Under 5,500 SF	2	4	4	n/a <u>N/A</u>
Large		2	3	3	n/a <u>N/A</u>
Small	5,501 – 8,000 SF	3	4	4	n/a <u>N/A</u>
Large		3	4	4	n/a <u>N/A</u>
Small	8,001 – 21,780 SF	4	6	6	n/a <u>N/A</u>
Large		4	5	5	n/a <u>N/A</u>
Small	21,781 SF – 1 Acre	4	6	6	n/a <u>N/A</u>
Large		4	6	6	n/a <u>N/A</u>
Small	> 1 Acre to < 10 Acres	4	8	8**	n/a <u>N/A</u>
Large		4	8	8**	n/a <u>N/A</u>
Small	> 10 Acres to < 20 Acres	6	12**	12**	As approved by PC
Large		6	12**	12**	As approved by PC
Small	> 20 Acres	8	16**	16**	As approved by PC
Large		8	16**	16**	As approved by u PC
* Total number of dogs allowed on property					
** Additional dogs may be approved by the planning commission					

* Total number of dogs allowed on property

** Exceptions to these standards must be presented by the property owner through an alternative animal management plan to be heard by the Planning Commission. If an approved plan is violated or causes situations that become a nuisance to adjoining property owners, the approval shall be subject to revocation by the Planning Director or Code Enforcement Officer.

6.10.080 Residential livestock requirements.

A residential property may have a mix of the permitted animals so long as the required fencing area is provided. (Chickens, ducks, and similar fowl are exempted from these regulations and are allowed per EMMC [17.25.030](#), residential land use table.)

Table 6.10.080 – Residential Livestock Requirements*

Animal***	Max. Number Allowed on Lots				Available Fenced Area per Animal	Minimum Lot Size
	1/2 to 0.99 Acre	1 to 1.99 Acres	2 to 2.99 Acres	3 or More Acres		
Horse/Mule	0**	4	8	12	2,500 s.f.	1 Acre**
Buffalo	0	2	4	6	2,500 s.f.	1 Acre
Cattle	2	4	8	12	2,500 s.f.	1/2 Acre
Donkey	2	4	8	12	2,500 s.f.	1/2 Acre
Llama	2	4	8	12	2,500 s.f.	1/2 Acre
Emu/Ostrich	4	8	12	16	500 s.f.	1/2 Acre
Sheep/Goat	4	8	12	16	500 s.f.	1/2 Acre
Pig (all kinds)	2	4	6	8	500 s.f.	1/2 Acre

* Exceptions to these standards must be presented by the property owner through an alternative animal management plan to be heard by the ~~p~~Planning ~~e~~Commission. ~~Approval of the plan by the commission shall be considered a conditional use and shall be subject to all required conditions.~~ If an approved plan is violated or causes situations that become a nuisance to adjoining property owners, the ~~conditional use approval~~ shall be subject to revocation by the ~~Planning Director or e~~Code ~~e~~Enforcement ~~or animal control e~~Officer.

** Two horses/mules allowed on one-half-acre+ properties within the equine overlay zone.

*** Any animal that a reasonable person would define as a half-size (or smaller) of an average adult animal shall count as a half-unit including offspring and miniature animals. Offspring shall not count towards maximum animal numbers until weaned.

Chapter 6.15

ALTERNATIVE ANIMAL MANAGEMENT PLANS

6.15.010 Application.

Individuals may propose an alternative animal management plan to the Planning Commission for their review and approval. Interested persons shall submit an application for an alternative animal management plan on forms prepared by the Planning Director. No alternative animal management plan shall be processed without the submission of the application and all supporting materials (including processing fee) as required by this chapter.

A. Supporting Materials. The alternative animal management plan application shall be submitted with the materials listed in this section. The planning director may determine and require that additional items not listed herein be submitted in order to evaluate the alternative animal management plan application.

1. Narrative. A detailed narrative explaining the reasons for an alternative animal management plan proposal.

2. Site Plan. A detailed site plan showing the entirety of the property. Provide locations of animals and their distances from the property lines and all adjacent residential dwellings.

3. Mitigation Plan. A detailed plan that describes mitigation efforts to reduce the impacts caused by animals or animal-related home businesses (i.e. sound, refuse, smell, flies, traffic, parking, etc.)

4. Applicable Photos. Detailed photos of where the animals are being housed, applicable fencing, etc.

5. Fee. The processing fee required by the current consolidated fee schedule approved by the City Council.

6.15.020 Approval process.

The approval process for an alternative animal management plan shall be as follows:

A. Planning Commission Public Hearing. Upon receipt of a completed application and subsequent review by the Planning Director or designee, the application shall be placed on the next available Planning Commission agenda for a public hearing no more than 28 days after a complete application has been submitted. The planning director shall cause all

property owners within 600 feet of the boundaries of the proposed application area (including a minimum of at least 25 adjacent property owners) to be notified by first class mail of the time and place of the public hearing at least 10 days prior to the Planning Commission meeting. A copy of the public notice of the hearing shall also be posted in three public places (including the city offices) within the city at least 10 days prior to the hearing.

B. Planning Commission Review. The Planning Commission will review each application and may approve, approve with conditions, or deny the application based upon findings of facts. The Planning Commission may also defer action if an applicant fails to appear at the Commission meeting or there is insufficient application information provided.

C. City Council Review. The action of the Planning Commission shall be final unless a member of the City Council requests that the alternative animal management plan be reviewed by the City Council within 15 days of the Planning Commission's action. If an alternative animal management plan application is placed upon a City Council meeting for action, the City Council shall be the land use authority.

6.15.030 Determination

The Planning Commission may approve an alternative animal management plan located within an agriculture or single-family residential zone. In approving an alternative animal management plan, the Planning Commission may impose such requirements and conditions necessary for the protection of adjacent properties and the public interest. The Planning Commission may approve an alternative animal management plan upon determining the following:

A. Health, Safety, and Welfare. That such use will not, under the circumstances, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity and will not institute a nuisance to property owners;

B. General Plan. That the proposed use does not conflict with the intent of the Eagle Mountain City general plan.

6.15.040 Considerations and standards.

In reviewing an application for an alternative animal management plan, the Staff and Planning Commission shall review, but not limit their review to, the following considerations

and standards. Some considerations and standards may only apply to animal-based home businesses:

A. The Site of the Structures or Use, and in Particular:

1. Adequacy of Site. The adequacy of the site to accommodate the proposed use and all related activities.

2. Screening. The location and possible screening of all outdoor accommodations and activities.

3. Adjoining Uses. The relation of the proposed buildings or use to any adjoining buildings with particular attention to protection of light, air, noise, and odor.

B. Traffic Circulation and Parking:

1. Street. The type of street serving the proposed use in relation to the amount of traffic expected to be generated.

2. Access. The adequacy, convenience, and safety of provisions for vehicular access and parking, including the location of driveway entrances and exits.

3. Truck Traffic. The amount, timing, and nature of associated truck traffic.

C. The Impact of the Proposed Buildings or Use on Surrounding Uses, and in Particular:

1. Impact of Patrons. The number of customers or users and the suitability of the resulting activity level to the surrounding uses and especially to any neighboring uses of public importance such as schools, libraries, playgrounds, religious or cultural meeting halls, and hospitals.

2. Hours of operation.

3. Off-Site Effects. Adequacy of provisions for the control of any off-site effects such as noise, dust, odors, light, or glare, etc.

4. Special Hazards. Adequacy of provisions for protection of the public against any special hazards arising from the intended use.

6.15.050 Optional conditions.

Applicants for alternative animal management plans shall meet all applicable requirements of this title. In addition, the Planning Commission may establish conditions and requirements as part of the approval that address concerns regarding safety for persons and property, health and sanitation, nuisances, master plan proposals, and neighborhood characteristics. Specifically, the Planning Commission may require:

A. Conditions Relating to Safety of Persons and Property.

1. Increased Setbacks. Increased setback distances from lot lines where the Planning Commission determines it to be necessary to ensure the public safety and to prevent nuisances to adjacent properties.

2. Lighting. Limitations and control of the number, location, color, brightness, and height of lighting units used on the property.

B. Conditions Relating to Health and Sanitation.

1. Culinary Water. A guarantee of sufficient culinary water to serve the intended land use and a water delivery system meeting standards adopted by the City Council.

2. Wastewater. A wastewater disposal system and a solid waste disposal system meeting standards adopted by the City Council.

3. Sizing of Utilities. Construction of water mains, sewer mains, and drainage facilities serving the proposed use, in sizes necessary to protect existing utility users in the vicinity and to provide for an orderly development of land.

C. Conditions Relating to Environmental Issues.

1. Pollution. Processes for the control, elimination, or prevention of land, water, or air pollution; the prevention of soil erosion; and control of objectionable odors and noise.

2. Dust and Erosion. The planting of ground cover or other surfacing to prevent dust and erosion.

D. Conditions Relating to Compliance with the Intent of the General Plan and Characteristics of the Vicinity or Neighborhood.

1. Removal of Incompatible Materials. The removal of structures, debris, or other materials incompatible with the intended characteristics of the applicable zone.

2. Fences and Screening. Limitations or controls on the location, heights, and materials of walls, fences, hedges, and screen plantings to ensure a buffer between adjacent properties.

3. Landscaping. Landscaping to ensure compatibility with the intended characteristics of the applicable zone.

6.15.060 Inspection.

Following the approval of an alternative animal management plan by the Planning Commission, the City Staff shall ensure that site development and uses are conducted in compliance with the approved plan and any conditions that were applied. Upon request made by City Staff, property owners shall allow, within reasonable hours, an inspection of the property to determine compliance with the approved alternative animal management plan. The Planning Commission may request that alternative animal management plans be placed upon their agenda for review to ensure compliance with the conditions or requirements of approval as necessary. Failure to comply with the conditions or requirements of approval may result in the conditional use permit being revoked.

6.15.070 Noncompliance.

Owners of property where an alternative animal management plan has been approved shall be responsible for their property's compliance with the approval, conditions of approval, and the City's ordinances. Property owners that fail to maintain or violate the approval and City's ordinances may have the conditions of approval revoked by the Planning Commission. Notice shall be given to the property owner that they have 14 days to correct a violation before the approval is revoked.

17.05.200 Tables.

Table 17.05.200(a) Public Hearing

	P.C. Hearing	C.C. Hearing	Notice Type	Notice Period	Affected Entities**
GENERAL PLAN					
General Plan*	Yes	Yes	Published in paper – Direct mailed notice to affected entities – Post notice in 3 public places	10 Days	Yes – Check definition of affected entity
LAND USE ORDINANCE					
EMMC Titles 16 , Subdivisions, and 17, Zoning: Requirements and Approvals	Yes	Yes	Published in paper – Direct mailed notice, with summary to be understood by a lay person, to property owners within 600 feet including at least 25 property owners and to affected agencies – Post notice in 3 public places	10 Days	Perhaps – Check definition of affected entity
HOME BUSINESS					
License Official Approval	No	No	N/A	N/A	N/A
Planning Commission Approval	Yes	No	Direct mailed notice to property owners within 300 feet including at least 15 property owners – Post notice in 3 public places	10 Days	N/A
ACCESSORY DWELLING UNITS (ADUs)					
Planning Director Approval	No	No	N/A	N/A	N/A
Planning Commission Approval	Yes	No	Direct mailed notice to property owners within 600 feet – Post notice in 3 public places	10 Days	N/A

Table 17.05.200(a) Public Hearing

	P.C. Hearing	C.C. Hearing	Notice Type	Notice Period	Affected Entities**
SIGN REGULATIONS					
Sign Permit – Planning Director Approval	No	No	N/A	N/A	N/A
Model Home Signage	No	No	N/A	N/A	N/A
Directional/Advertising Business Signage	No	No	N/A	N/A	N/A
ANIMAL MANAGEMENT PLANS					
Planning Commission	Yes	No	Direct mailed notice to property owners within 600 feet including at least 25 property owners – Post notice in 3 public places	10 Days	N/A
REZONING OF PROPERTY					
Rezoning	Yes	Yes	Published in paper – Direct mailed notice, with summary to be understood by a lay person, to property owners within 600 feet including at least 25 property owners and to affected entities – Post notice in 3 public places	10 Days	Perhaps – Check definition of affected entity (required if rezoning to a multi-unit residential, commercial, and industrial)
CONDITIONAL USE					
Conditional Use	Yes	No	Direct mailed notice to property owners within 600 feet including at least 25 property owners and to affected entities – Post notice in 3 public places	10 Days	Perhaps – Check definition of affected entity (required if rezoning to a multi-unit residential, commercial, and industrial)

Table 17.05.200(a) Public Hearing

	P.C. Hearing	C.C. Hearing	Notice Type	Notice Period	Affected Entities**
SITE PLAN REVIEW					
Site Plan Review	Yes	No	Direct mailed notice to property owners within 600 feet including at least 25 property owners and to affected entities – Post notice in 3 public places	10 Days	Perhaps – Check definition of affected entity (required if rezoning to a multi-unit residential, commercial, and industrial)
VARIANCES					
Variance	Yes <u>No</u>	No	Direct mailed notice to property owners within 600 feet including at least 25 property owners and to affected entities – Post notice in 3 public places <u>N/A</u>	10 Days <u>N/A</u>	Perhaps – Check definition of affected entity <u>N/A</u>

17.65.050 Approval process.

Home business licenses shall be approved by the ~~l~~License ~~o~~Official, or designee. Any petition for a minor exception from the standards listed in EMMC [17.65.060](#)(A) through (F) may be approved administratively at the discretion of the ~~l~~License ~~o~~Official if the exception does not adversely impact surrounding residents or affect the residential characteristics of the neighborhood, or significantly increase traffic or the demand on utilities. ~~Any other petition for an exception from the standards in this chapter requires approval by the planning commission before the license may be issued or renewed.~~ In addition, any home business currently in operation that constitutes a nuisance may also be required to go before the ~~p~~Planning ~~e~~Commission for continued use of the license and operation of the business. If the ~~p~~Planning ~~e~~Commission denies the continued use of the license, the license shall not be renewed.

17.65.100 Appeals.

Aggrieved applicants may appeal the decision of the license official, or designee, to the ~~p~~Planning ~~e~~Commission within 10 days of the announced decision. In all cases, the appeal board shall ~~conduct a public hearing and~~ review the application of the proposed business. The ~~p~~Planning ~~e~~Commission may approve, approve with conditions, or deny the application of the proposed home business.

Aggrieved applicants may appeal the decision of the ~~p~~Planning ~~e~~Commission to the ~~e~~City ~~e~~Council within 10 days of the announced decision. In all cases, the appeal board shall ~~conduct a public hearing and~~ review the application of the proposed business. The ~~e~~City ~~e~~Council may approve, approve with conditions, or deny the application of the proposed home business.

Aggrieved applicants of the ~~e~~City ~~e~~Council's decision may appeal to district court within 30 days of the announced decision.

17.70.040 Accessory dwelling unit permit.

Any person owning an existing accessory dwelling unit that has not been permitted by the eCity, or any person constructing or causing construction of a residence that has an accessory dwelling unit, or any person remodeling or causing the remodeling of a residence for an accessory dwelling unit, shall obtain an accessory dwelling unit permit from the pPlanning dDivision of the eCity's eCommunity dDevelopment dDepartment. This shall be in addition to any required building permit for the work to be performed. The applicant shall obtain all necessary building permits and pay all applicable fees prior to constructing the ADU, including permits for a basement that was finished previously without a permit. Accessory dwelling units constructed without an approved accessory dwelling unit permit shall be considered illegal until a permit is submitted to and approved by the eCity.

A. Applications. Applicants for an accessory dwelling unit shall submit a complete application and the supporting materials listed in this section to the pPlanning dDivision of the eCommunity dDevelopment dDepartment.

1. Owner Signature. The owner shall sign the application, agreeing to occupy the dwelling (either the primary unit or the ADU), except for bona fide temporary absences, and agreeing to comply with the standards in this chapter.
2. Site Plan. A site plan shall be provided that shows property lines, dimensions, the location of existing buildings and building entrances, proposed buildings or additions, dimensions from buildings to property lines, the location of required off-street parking, and utility meters.
3. Floor Plan. A detailed floor plan, to scale, showing the floor in which the accessory dwelling unit will be located, including labels on rooms indicating uses or proposed uses, shall be provided.
4. Evidence of Building Permit. Evidence shall be provided that a building permit was obtained for the building and/or area containing the accessory dwelling unit.
5. Fee. The processing fee required by the current eConsolidated fFee sSchedule approved by the eCity eCouncil shall be paid in full.

B. Planning Director or Designee Approval. The pPlanning dDirector or designee shall approve an accessory dwelling unit application if it is in complete compliance with all the approval criteria standards identified in this chapter. As part of the pPlanning dDirector's or designee's review, inspections may be required by the pPlanning; or bBuilding Divisions, and/or fFire dDepartments.

~~C. Exceptions to Standards. Accessory dwelling unit applications that deviate from the approval criteria may be considered by the planning commission in a public meeting. After conducting a public hearing and reviewing the application, the planning commission may approve, approve with conditions, or deny the application. Applicants requesting exceptions are not guaranteed approval and must provide evidence that the exceptions will not create negative impacts on neighboring properties. Conditions must be connected to the exceptions being requested, and may include increased setbacks, limitations on windows and doors adjacent to abutting property lines, privacy fencing, and additional parking.~~

DC. Transfer of Ownership. Upon sale of the home or transfer of ownership, accessory dwelling unit permits shall remain valid so long as the accessory dwelling unit is in compliance with the ~~e~~City's ordinances and conditions of approval.

17.105.050 Approval process.

A. Upon receipt of a complete application, the ~~p~~Planning ~~d~~Director shall set a date for the planning commission to consider the request for a variance. ~~Upon receipt of a complete application, the planning director shall schedule the application for a public hearing before the planning commission. The planning director shall cause all property owners within 600 feet of the boundaries of the proposed application area (including a minimum of at least 25 adjacent property owners and affected entities if there be any) to be notified by first class mail of the time and place of the public hearing at least 10 days prior to the planning commission meeting. A copy of the public notice of the hearing shall also be posted in three public places (including the city offices) within the city at least 10 days prior to the hearing.~~

B. Prior to the ~~p~~Planning ~~e~~Commission meeting at which the variance application is scheduled to be heard, the ~~p~~Planning ~~d~~Director shall transmit the application materials together with a written analysis of the variance application, pertinent facts, a review of applicable regulations and a formal ~~s~~Staff recommendation to the ~~p~~Planning ~~e~~Commission.

C. The ~~p~~Planning ~~e~~Commission shall consider the variance request, together with all pertinent facts, applicable regulations and the ~~s~~Staff recommendation and shall take action to approve, approve with modifications, disapprove or request further information prior to rendering a final determination on the variance application.



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
JULY 8, 2025**

TITLE:	Meta/Available Storage Cell Tower
ITEM TYPE:	Site Plan
FISCAL IMPACT:	N/A
APPLICANT:	Sandra Layton, Atlas Tower 1, LLC

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
General Plan Designation: Business Park/Light Industry Zoning: Industrial with the RTI Overlay	7 Acres

PUBLIC HEARING

Yes

PREPARED BY

Steven Lehmitz, Planner

PRESENTED BY

Steven Lehmitz

RECOMMENDATION:

Staff recommends that the Planning Commission forward a positive recommendation to the City Council respecting the proposed tower.

BACKGROUND:

The Applicant is proposing the construction of a 120' telecommunication monopole on the southwest corner of the Available Storage facility (2681 N Pony Express Parkway, Parcel No. 34:685:0001). A 50'x50' area would be fenced around the monopole, allowing for other necessary structures.

ITEMS FOR CONSIDERATION:

EMMC 17.55 Off-street Parking -- Complies

EMMC 17.72.030 Site design.

A. Building Location -- n/a

B. Commercial Parking Location -- n/a

EMMC 17.75.091 Communication facilities and towers.

A. General -- Complies

B. Location and Type Priority -- Complies

C. Burden of Proof -- Complies

D. Setbacks -- Complies

E. Collocation -- Complies

F. Safety -- Complies

...

I. Specific Regulations by Type.

2. Monopoles.

a. Justification -- Complies

b. Visual Analysis -- Complies

c. Maximum Height -- Complies

- d. Setback -- Complies
- e. Spacing -- Complies
- f. Color -- Complies
- g. Screening -- Complies

EMMC 17.100.050 Site plan development standards. The following are standards required for all site plans in any zoning district:

- A. Use of Property -- Complies
- B. Screening Requirements -- Complies
- C. Access Requirements -- Complies
- D. Off-Street Truck Loading Space -- n/a
- E. Utilities -- Complies
- F. Grading and Drainage -- Complies
- G. Dedication of Water Shares -- n/a
- H. Protection of Steep Slopes and Natural Drainages -- n/a

EMMC 17.100.060 Architectural requirements.

- A. Mechanical Equipment -- Complies
- B. Windows -- n/a
- C. Building Lighting -- Complies
- D. Trash Enclosures, Storage Areas, and External Structures -- n/a
- E. Exterior Materials -- Complies
- F. Landscape Guidelines -- Complies
- G. Parking Lot and Street Lighting -- Complies
- H. Enclosed Uses -- Complies
- I. Businesses Moving into Existing Buildings -- n/a
- J. Nuisances -- Complies

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. Site Plan and Elevations
2. Photo Simulation
3. Justification Letter

LEGEND

- PARENT PROPERTY LINE
- - - - -

ADJACENT PROPERTY LINE
- PROPERTY CORNER
- EASEMENT/LEASE CORNER
- EXIST. METER
- EXIST. TRANSFORMER
- EXIST. UTILITY POLE
- EXIST. TELCO PEDESTAL
- - 4650 - -

EXIST. CONTOUR LINE
- EDGE OF PAVEMENT
- - - OHW - - -

OVERHEAD WIRE
- - - UGT - - -

BURIED TELCO
- - - UGG - - -

GAS LINE
- - - W - - -

WATER
- - - SS - - -

STORM SEWER
- - - R/W - - -

RIGHT-OF-WAY
- FENCE
- EXISTING TREE LINE

1-A COORDINATES

LATITUDE: N 40° 17' 8.37" (NAD '83)

LONGITUDE: W 112° 1' 3.05" (NAD '83)

GROUND ELEVATION: 4853'± (AMSL NAVD '88)

TOWER SETBACKS

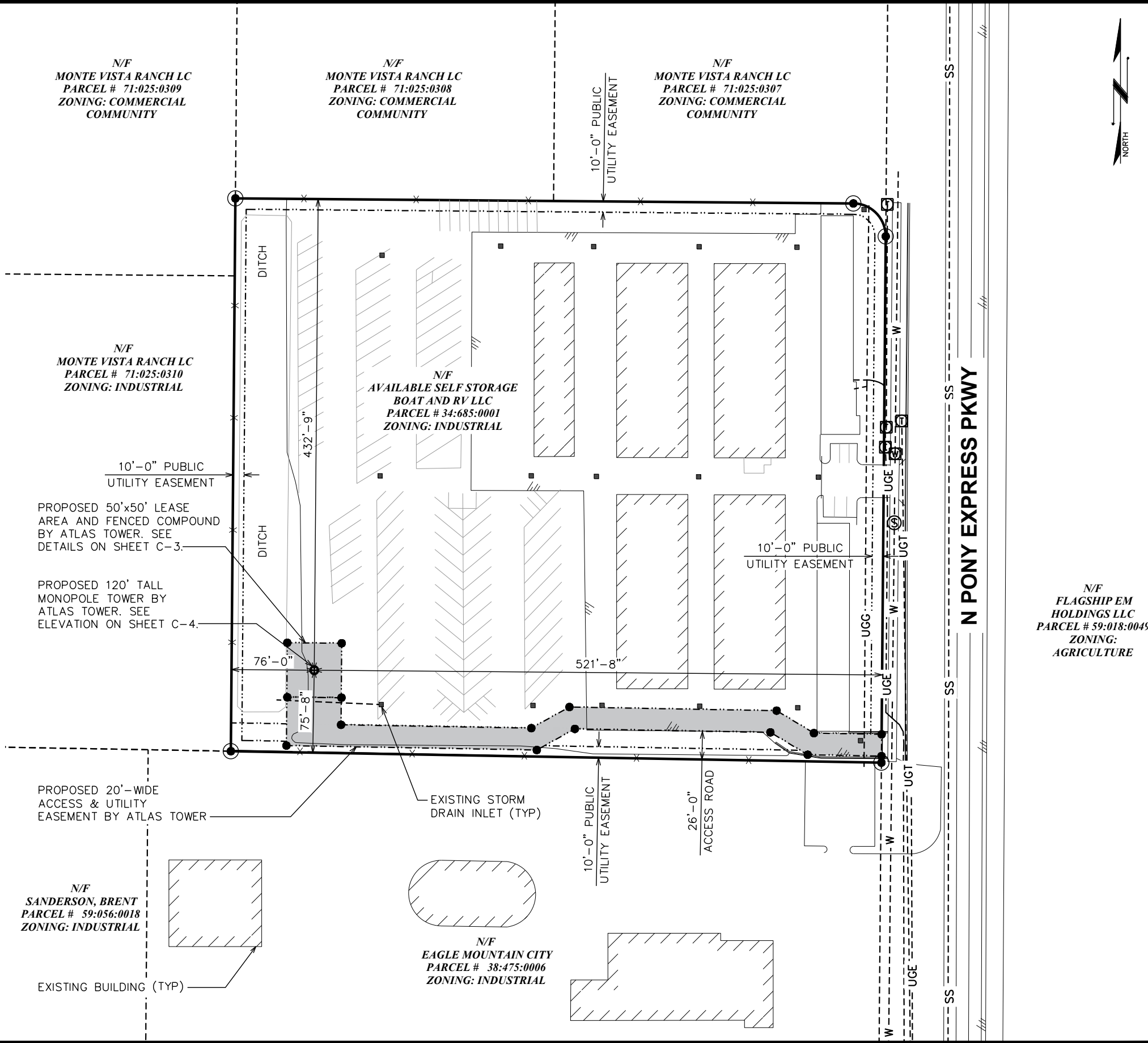
PROPERTY LINE	REQUIRED	PROPOSED
NORTH	50'-0"	432'-9"±
EAST	25'-0"	521'-8"±
SOUTH	0'-0"	75'-8"±
WEST	20'-0"	76'-0"±

NOTES:

1. SITE IS LOCATED IN ZONE "X", AREA OF MINIMAL FLOOD HAZARD DESIGNATION ACCORDING TO FEMA FLOOD HAZARD MAP 49049C0275F, EFFECTIVE JUNE 19, 2020.

AREA PLAN

SCALE: 1" =100'



PROJECT INFORMATION:

META

2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
(UTAH COUNTY)

PLANS PREPARED FOR:

ATLAS TOWER

2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:

TEP

4570 IVY STREET, SUITE B-100
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

SEAL:

TEP OPCO, LLC



May 13, 2025

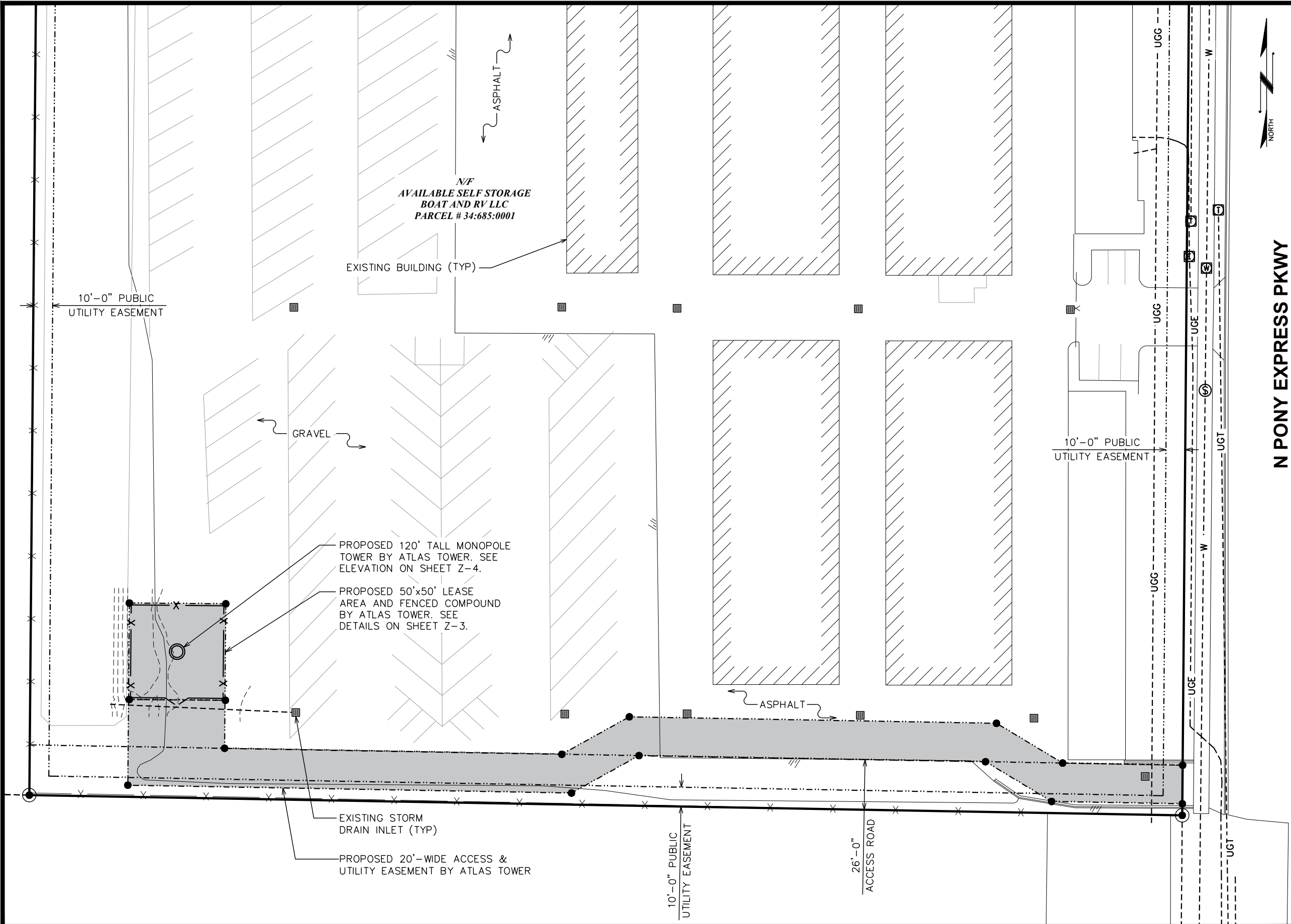
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O	03-31-25	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: KES CHECKED BY: KES

SHEET TITLE:

AREA PLAN

SHEET NUMBER:	REVISION:
C-1	1
	TEP#: 346352.464128



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META

2681 N PONY EXPRESS PKWY
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(UTAH COUNTY)

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SEAL:

TEP OPCO, LLC

PROFESSIONAL ENGINEER
No. 10832237-2202
NICHOLAS M. CONSTANTINE
STATE OF UTAH

May 13, 2025

I	05-13-25	CONSTRUCTION
O	03-31-25	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY: KES		CHECKED BY: KES

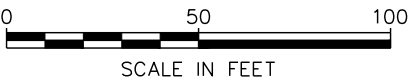
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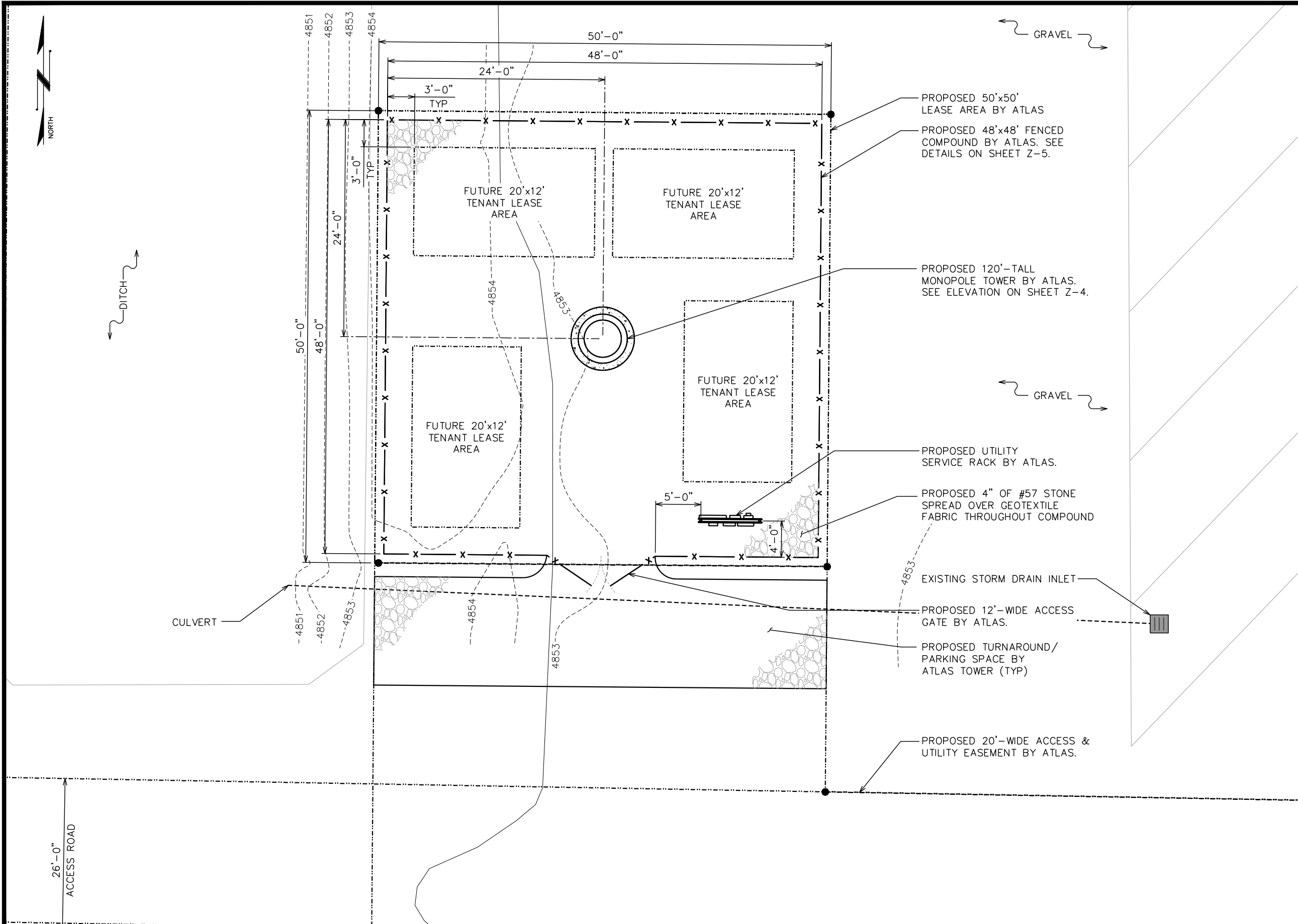
SITE PLAN

SHEET NUMBER:	REVISION:
C-2	1
	TEP#: 346352.464128

SITE PLAN

SCALE: 1" = 50'-0"





COMPOUND DETAIL

SCALE: $\frac{3}{32}$ " = 1'-0"



PROJECT INFORMATION:

META

2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
(UTAH COUNTY)

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ATLAS TOWER

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SEAL:

TEP OP&CO, LLC



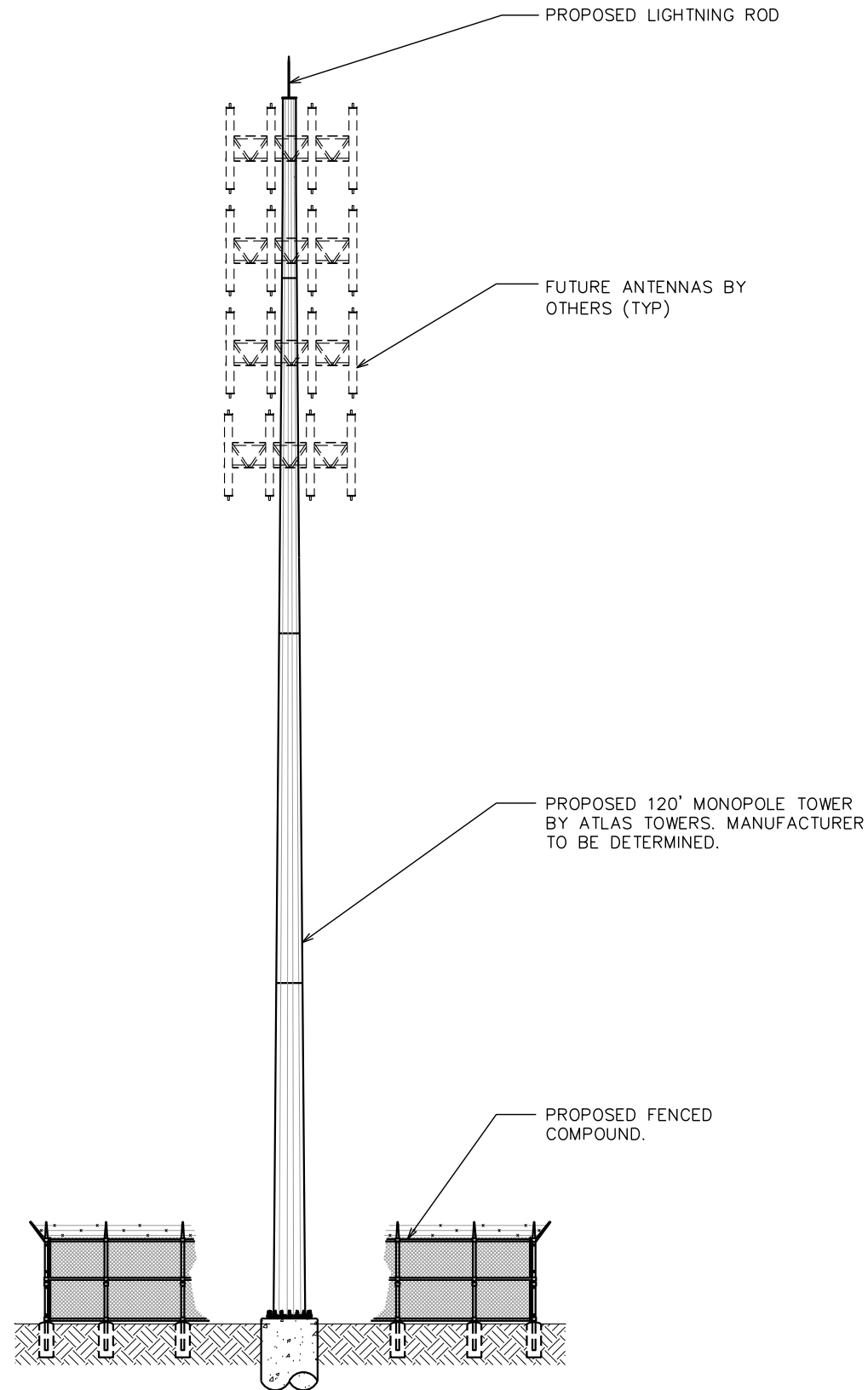
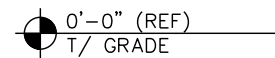
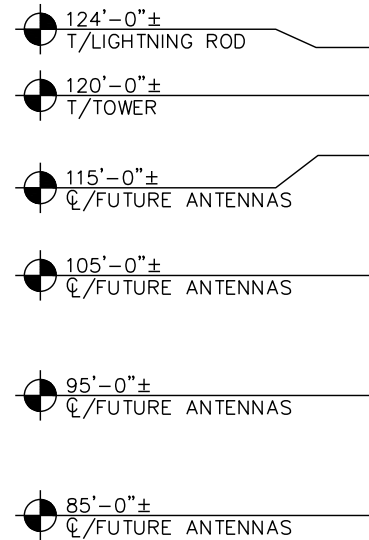
May 13, 2025

I	05-13-25	CONSTRUCTION
O	03-31-25	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: KES CHECKED BY: KES

SHEET TITLE:
**COMPOUND
DETAIL**

SHEET NUMBER: C-3	REVISION: 1 TEP#: 346352.464128
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NOTES:

1. TOWER TO REMAIN GALVANIZED COLOR.
2. TOWER SHALL BE LIT ONLY IF REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION.
3. PROPOSED COAX ROUTED UP TOWER USING WAVEGUIDE LADDER.
4. TOWER TO INCLUDE SAFETY CABLE. DO NOT INCLUDE SAFETY CLIMB MECHANISM.
5. TOWER EQUIPMENT LOADING AND CENTERLINES ARE SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO CHANGE.

PROJECT INFORMATION:

META

2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
(UTAH COUNTY)

PLANS PREPARED FOR:

ATLAS TOWER

2500 30TH ST, SUITE 304
BOULDER, CO 80301
Office: (303) 448-8896

PLANS PREPARED BY:



4570 IVY STREET, SUITE B-100
DENVER, CO 80216
OFFICE: (303) 566-9914
www.tepgroup.net

SEAL:

TEP OP CO, LLC



May 13, 2025

I	05-13-25	CONSTRUCTION
O	03-31-25	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: KES CHECKED BY: KES

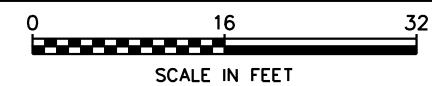
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TOWER ELEVATION

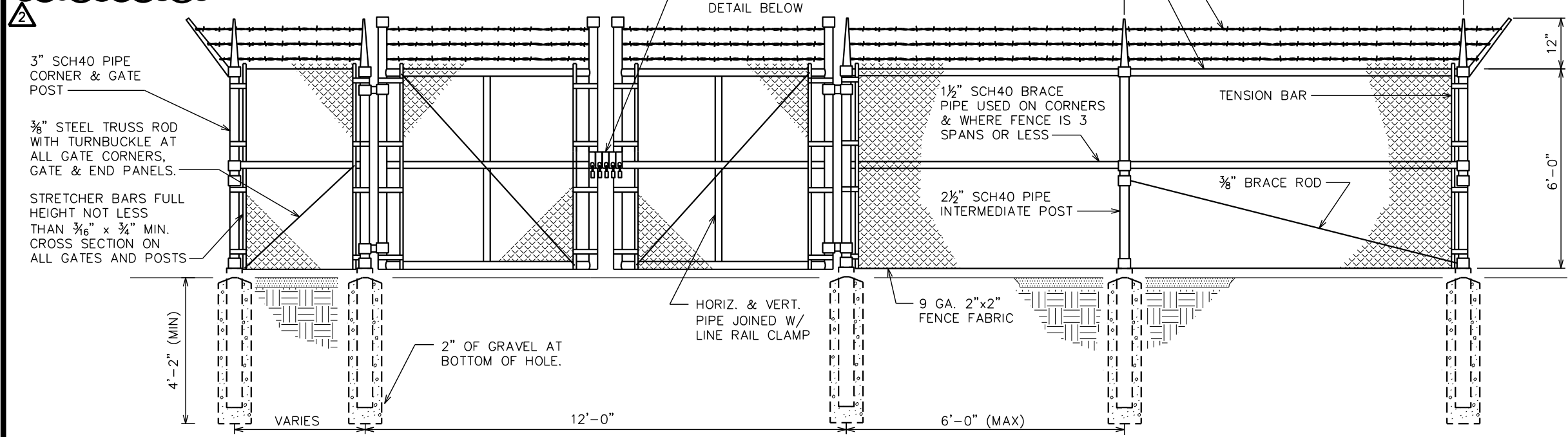
SHEET NUMBER:	REVISION:
C-4	1
	TEP#: 346352.464128

TOWER ELEVATION

SCALE: 1/16" = 1'-0"

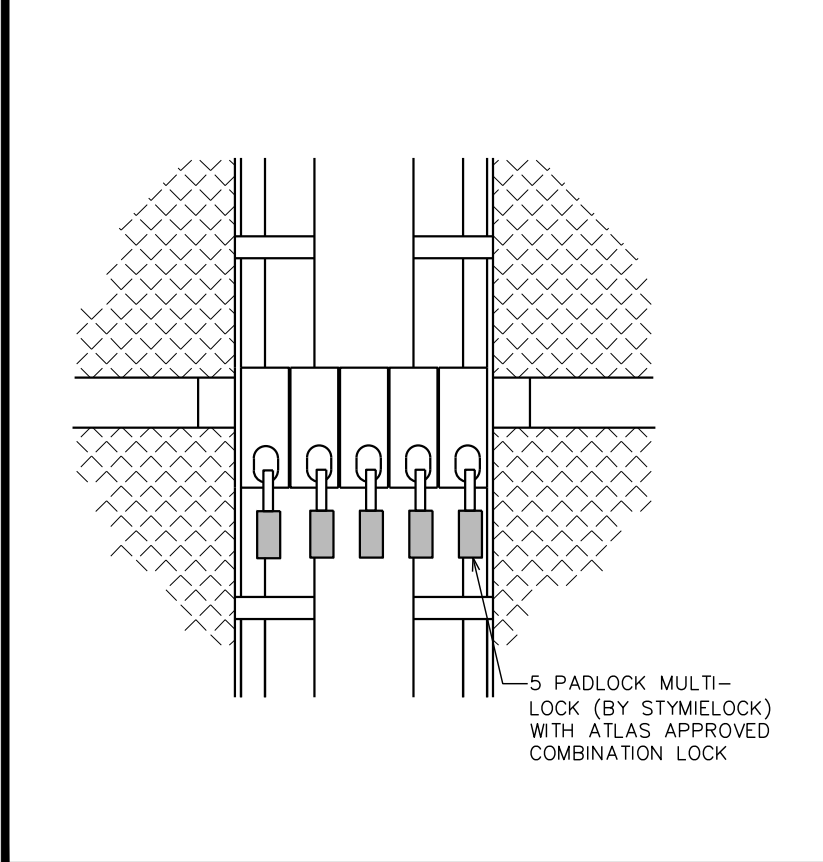


FENCE NOTE:
CHAIN LINK FENCE TO BE
BLACK VINYL COATED



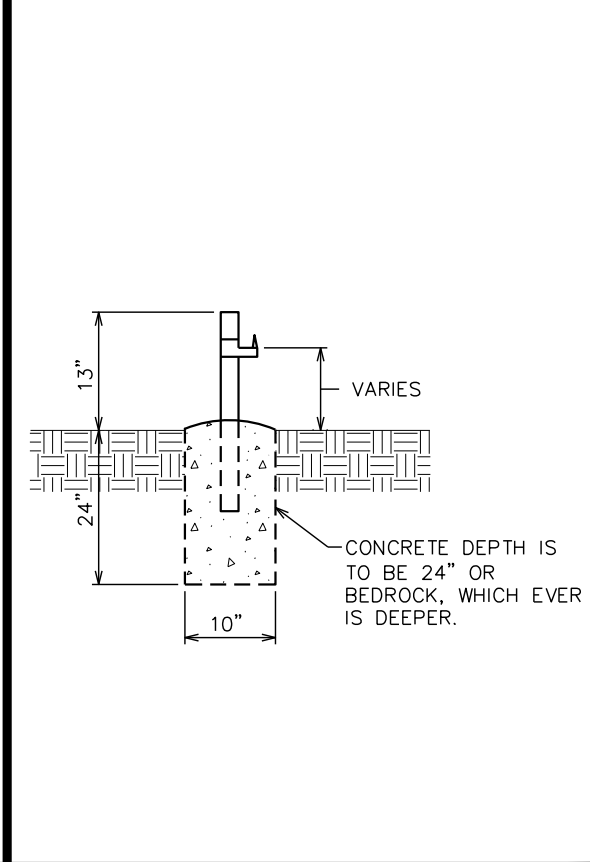
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



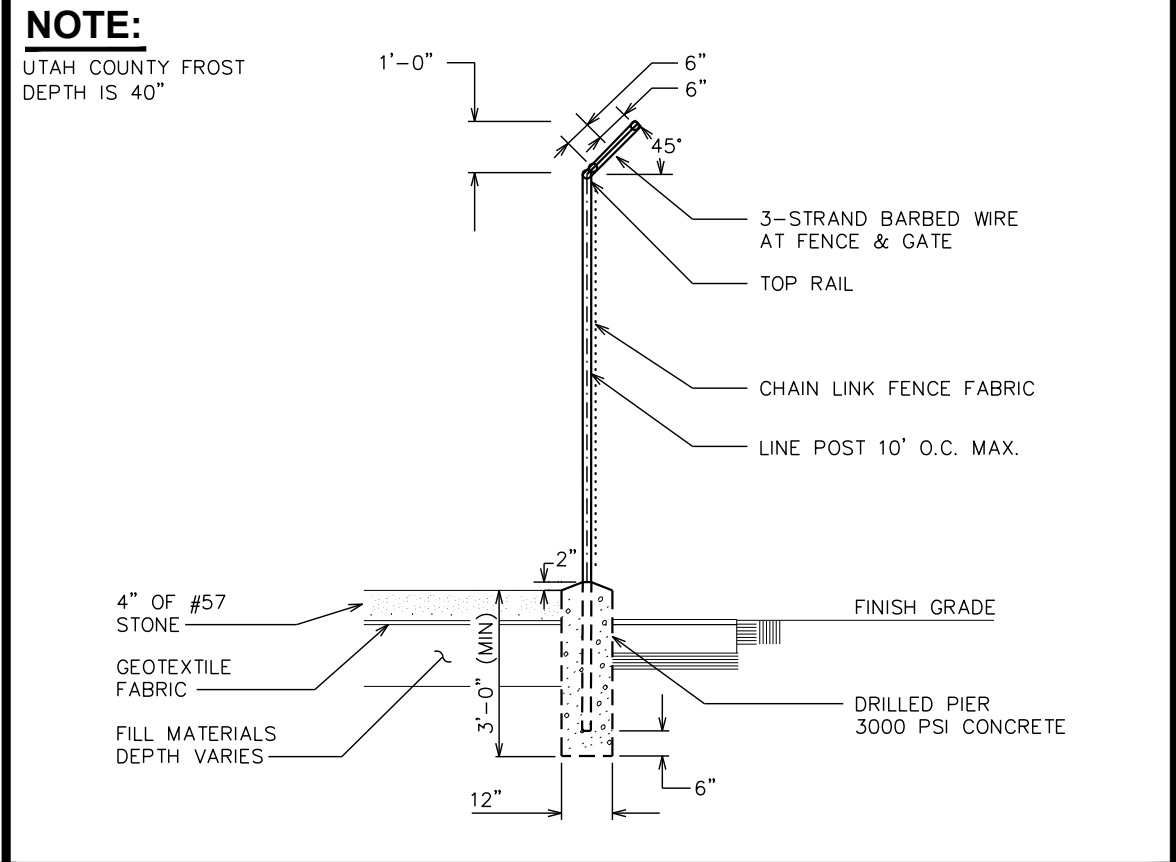
GATE LOCK DETAIL

SCALE: N.T.S.



GATE STOP/KEEPER DETAIL

SCALE: N.T.S.



FENCE / BARBED WIRE ARM DETAIL

SCALE: N.T.S.

PROJECT INFORMATION:

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www.tepgroup.net

SEAL:

TEP OPCO, LLC



June 13, 2025

2	06-13-25	CONSTRUCTION
1	05-13-25	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: KES CHECKED BY: KES

SHEET TITLE:

FENCE DETAILS

SHEET NUMBER:	REVISION:
C-5	2
	TEP#: 346352.464128





USA • INTERNATIONAL

SITE NAME: META

PROPOSED 120' MONOPOLE TOWER

2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
(UTAH COUNTY)

Legend

-  Photo Location (PL)
-  Tower



Google Earth

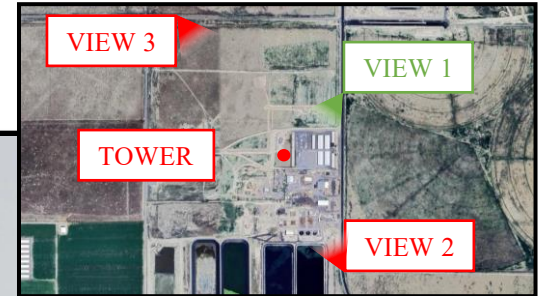
Image © 2025 Airbus

EXISTING VIEW: LOCATION 1

**ATLAS
TOWER**

USA • INTERNATIONAL

SITE #:
SITE NAME: META
ADDRESS: 2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
COUNTY: UTAH

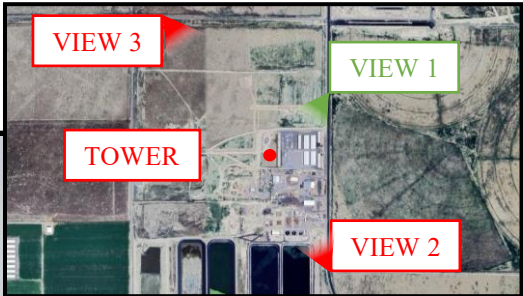


PROPOSED VIEW: LOCATION 1



USA • INTERNATIONAL

SITE #:
SITE NAME: META
ADDRESS: 2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
COUNTY: UTAH

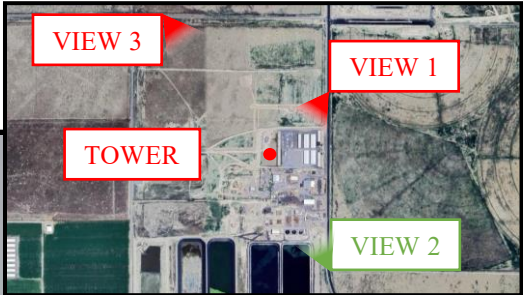


EXISTING VIEW: LOCATION 2



USA • INTERNATIONAL

SITE #:
SITE NAME: META
ADDRESS: 2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
COUNTY: UTAH

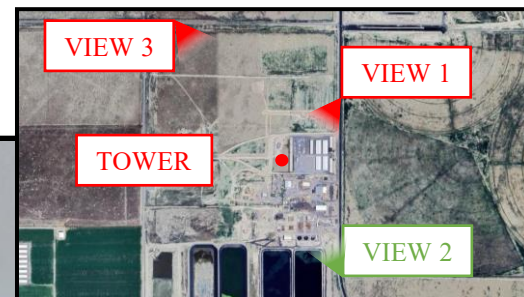


PROPOSED VIEW: LOCATION 2

**ATLAS
TOWER**

USA • INTERNATIONAL

SITE #:
SITE NAME: META
ADDRESS: 2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
COUNTY: UTAH



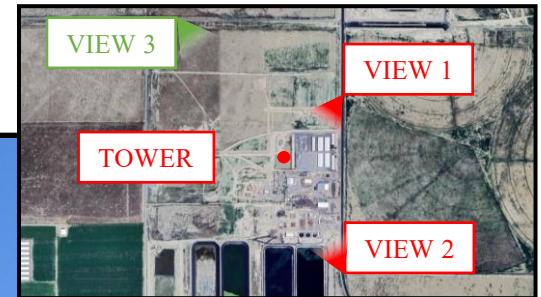
PROPOSED 120'-0" MONOPOLE TOWER

EXISTING VIEW: LOCATION 3

**ATLAS
TOWER**

USA • INTERNATIONAL

SITE #:
SITE NAME: META
ADDRESS: 2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
COUNTY: UTAH

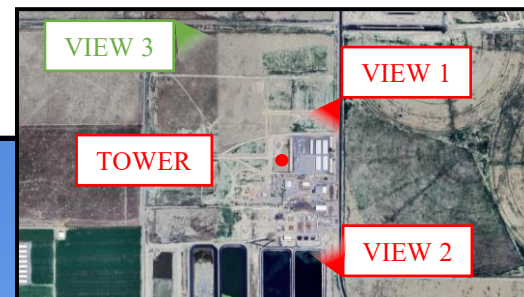


PROPOSED VIEW: LOCATION 3

**ATLAS
TOWER**

USA • INTERNATIONAL

SITE #:
SITE NAME: META
ADDRESS: 2681 N PONY EXPRESS PKWY
EAGLE MOUNTAIN, UT 84005
COUNTY: UTAH





June 11, 2025

RE: RF Justification for Proposed 120' Wireless Communication Tower

To Whom It May Concern,

As a licensed Radio Frequency (RF) Engineer, I have conducted a technical analysis of wireless coverage in the vicinity of 2681 N Pony Express Parkway, Eagle Mountain, UT 84005, where a new wireless communication facility is proposed.

The analysis confirms that a **120-foot tower** is required at this location to provide adequate coverage to the growing community and to address current and anticipated service demands. The height is necessary to overcome terrain variations and existing vegetation and to ensure a clear line of sight for optimal signal propagation to the target service area.

There are currently **no existing structures** within or near the intended coverage area that could support the antenna equipment at the necessary elevation. Additionally, because the area is in an active phase of development, viable co-location opportunities are unavailable at this time.

This facility will play a crucial role in expanding wireless service, improving public safety communications, and supporting infrastructure for future technological growth in the community.

If you have any further questions regarding the technical justification, I am happy to provide additional details.

Sincerely,

Jeffrey Jockumsen

RF Engineer

Verizon Wireless