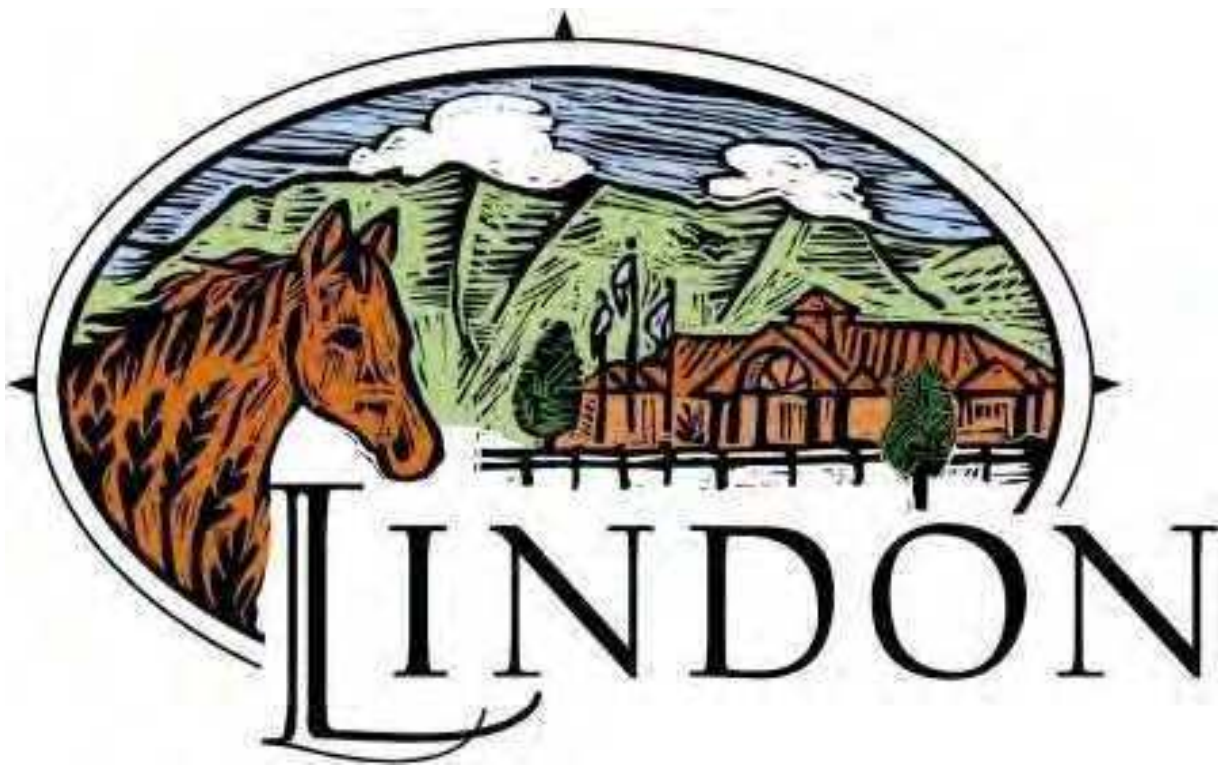


Lindon City Planning Commission Staff Report



June 24, 2025

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, June 24, 2025**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **6:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. Meetings are broadcast live at www.youtube.com/LindonCity. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order

2. Approval of minutes - Planning Commission 6/10/2025

3. Public Comment

4. Subdivision Plat Amendment – Lindon Treasury Plat G

Kevin Young is proposing a subdivision plat amendment to the Lindon Treasury Plat G, to consolidate the lots at 116 S. 200 W and 237 W. 110 S. into one lot. (Parcels 45:800:0010 & 45:800:0009) (10 minutes)

5. Public Meeting - Continued from June 10, 2025 – Amendment to Title 17.44.090 – Projections Into Yards.

A request by Nickolas Slade to amend Lindon City Code 17.44.090 to increase the allowed eave/porch projections in the front yard/setback. The planning commission may also consider alternative approaches to this application, such as lesser setbacks or other modifications, during their discussion, deliberation, and recommendation to the city council. (20 minutes)

6. Public Hearing: Ordinance #2025-09-0; Street Classification Update.

The Council will review and consider an update to LCC 17.32.110, the Street Master Plan Map adding Major and Minor Arterial street classifications to certain regionally significant roadways, and updating the Lindon City Land Development Policies, Standard Specifications and Drawing (development manual) to include Major and Minor Arterial streets and establishing a cross-section for Minor Arterials. (20 minutes)

7. Community Development Director Report - General City Updates

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Community Development Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Britni Laidler at 785-1971, giving at least 24 hours' notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

**The duration of each agenda item is approximate only*

Posted By: Britni Laidler, City Recorder

Date: 06/20/2025 **Time:** 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Notice of Meeting
Lindon City Planning Commission



Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Karen Danielson
Ryan Done

The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday, June 10, 2025 beginning at 6:00 p.m.** at the Lindon City Center, City Council Chambers, 100 North State Street, Lindon, Utah.

REGULAR SESSION – 6:00 P.M.

Conducting: Steve Johnson, Chairperson
Invocation: Ryan Done, Commissioner
Pledge of Allegiance: Scott Thompson, Commissioner

PRESENT

Steve Johnson, Chairperson
Scott Thompson, Commissioner
Rob Kallas, Commissioner
Mike Marchbanks, Commissioner
Jared Schauers, Commissioner
Ryan Done, Commissioner
Michael Florence, Community Dev. Director
Jessica Nelson, Deputy Recorder

EXCUSED

Karen Danielson, Commissioner
Sharon Call, Commissioner
Brian Haws, City Attorney
Britni Laidler, City Recorder

1. **CALL TO ORDER** – The meeting was called to order at 6:00 p.m.

2. **APPROVAL OF MINUTES** –The minutes of the regular meeting of the Planning Commission meeting of May 13, 2025 were reviewed.

COMMISSIONER DONE MOVED TO APPROVE THE MINUTES OF THE REGULAR MEETING OF MAY 13, 2025 WITH NOTED CHANGES. COMMISSIONER KALLAS SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

3. **PUBLIC COMMENT** – Chairperson Johnson called for comments from any audience member who wishes to address any issue not listed as an agenda item. There were no public comments.

CURRENT BUSINESS –

4. **Public Hearing – Amendment to Title 17.44.090 – Projections Into Yards**

A request by Nickolas Slade to amend Lindon City Code 17.44.090 to increase the allowed eave/porch projections in the front yard or setback. The planning commission may also consider alternative approaches to this application, such as lesser setbacks or other modifications, during their discussion, deliberation, and recommendation to the city council.

Mike Florence, Community Development Director presented this item noting applicant Nickolas Slade and Paul Slade were present on behalf of property owner, Carlene Veenker. Mr. Florence introduced the request to amend the city ordinance regarding projections into yards comes to the commission as Mrs. Veenker wants to project an 8’ porch into the 30’ setback of

her home at 276 E. 140 N. to protect it from ice and snow. The current city ordinance only allows projections of up to 24” into the front setback. Mr. Florence went on to show aerial photos and site plans of the property and provided information on similar ordinances from surrounding cities, noting most allow 4’-5’ projections.

The commission discussed the potential ways to amend the ordinance that would provide clear and flexible rules regarding projections for new construction and existing homes, including:

- Allowing projections up to 30% of the setback
- Limiting the width to 25% of the home’s frontage
- Defining what constitutes a porch or projection

The applicant, Nickolas Slade, affirmed the goal of the request to cover the concrete front steps and porch area of Mrs. Veenker’s home is to prevent snow and ice buildup to lessen the risk of her slipping and falling. Mr. Slade said they would be willing to adjust the current design to fit any amended ordinance.

COMMISSIONER MARCHBANKS MOVED TO OPEN THE PUBLIC HEARING. COMMISSIONER THOMPSON SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Hearing none, Chairperson Johnson called for a motion to close the public hearing.

COMMISSIONER KALLAS MOVED TO CLOSE THE PUBLIC HEARING. COMMISSIONER SCHAUERS SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Following general discussion, Chairperson Johnson called for any further comments or discussion from the Commission. Hearing none he called for a motion.

COMMISSIONER KALLAS MOVED TO CONTINUE THIS ITEM AND DIRECT CITY STAFF TO PREPARE AN ORDINANCE AMENDMENT 2025-8-O AS DISCUSSED FOR REVIEW AT NEXT HEARING. COMMISSIONER THOMPSON SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON JOHNSON	AYE
COMMISSIONER THOMPSON	AYE
COMMISSIONER KALLAS	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER DONE	AYE

THE MOTION CARRIED UNANIMOUSLY.

5. Conditional Use Permit – Review of a Single-Family Home Addition in the Hillside Overlay District at 62 Denali Circle. A request by RC Dent Construction for review and approval to construct a residential home addition in the Hillside Overlay District on a portion of the lot with a slope of 20% or greater. This item was continued from the March 25, 2025 Planning Commission meeting (Parcel # 36:808:0011).

2
3 Mike Florence presented this item with Scott Dent present on behalf of RC Dent
4 Construction noting they have completed the excavation for the geotechnical engineer report,
5 after receiving approval at the March 25th meeting.

6
7 Mr. Florence began by reviewing the findings from the geotechnical and geologic hazard
8 investigation report performed by Intermountain GeoEnvironmental Services, Inc, which noted
9 some groundwater seepage but overall low geologic hazard risk. He went on to discuss the
10 recommendations provided by the geotechnical engineer, including:

- 11 • To reduce the shallow groundwater hazard risk to an acceptable level, it is recommended
12 that a foundation drain be installed beneath the proposed addition to accommodate any
13 groundwater seepage.
- 14 • Proper building design according to appropriate building code and design parameters can
15 assist in mitigating the hazard associated with earthquake ground shaking. Review and
16 consideration of the Federal Emergency Management Agency (FEMA, 2006) document
17 for avoiding earthquake damage, which suggests strapping water heaters to wall studs
18 and installing flexible gas and water lines to reduce the risk of fire and water damage in
19 the event of an earthquake, is recommended.
- 20 • Shallow spread or continuous wall footings constructed entirely on competent, native
21 earth materials, or entirely on a minimum of two feet of granular structural fill overlying
22 competent native earth materials, may be proportioned utilizing a maximum net
23 allowable bearing pressure of 2,500 pounds per square foot for dead load plus live load
24 conditions. The net allowable bearing value presented above is for dead load plus live
25 load conditions. The allowable bearing capacity may be increased by one-third for short-
26 term loading (wind and seismic). The minimum recommended footing width is 20 inches
27 for continuous wall footings and 30 inches for isolated spread footings.

28
29 Mr. Florence ended by outlining the 8 conditions of approval recommended by staff,
30 including following all geotechnical recommendations, conducting required inspections,
31 updating plans as needed, and providing a landscaping statement.

32
33 The applicant, Scott Dent, confirmed he was willing to comply with all conditions. Mr.
34 Dent explained that the structural engineer had confirmed that all calculations and plans were
35 compliant with the requirements outlined in the geotechnical report. He addressed a question
36 about whether additional design changes might be needed, specifically concerning the
37 installation of foundation drains or any other recommendations from the geotechnical study. Mr.
38 Dent confirmed his willingness to comply fully with all the conditions and recommendations
39 provided by the city and the geotechnical study.

40
41 The commissioners discussed the conditions and agreed they were appropriate to ensure
42 safety.

43
44 Following general discussion, Chairperson Johnson called for any further comments or
45 discussion from the Commission. Hearing none he called for a motion.

2 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE APPLICANT'S
3 REQUEST FOR A CONDITIONAL USE PERMIT TO CONSTRUCT A SINGLE-FAMILY
4 HOME ADDITION AT 62 S. DENALI CIRCLE WITH THE FOLLOWING CONDITIONS: 1.
5 ALL GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OUTLINED IN THE
6 ENGINEER'S REPORT DATED MAY 30, 2025, SHALL BE FOLLOWED; 2. INSPECTIONS
7 OUTLINED IN THE REPORT BY THE GEOTECHNICAL ENGINEER SHALL BE
8 CONDUCTED AND INSPECTION REPORTS PROVIDED TO LINDON CITY; 3. THE
9 RESIDENTIAL STRUCTURE WILL COMPLY WITH CURRENT BUILDING CODES; 4.
10 UPDATED BUILDING PLANS INCORPORATING THE RECOMMENDATIONS FROM
11 THE GEOTECHNICAL AND STRUCTURAL ENGINEERS SHALL BE SUBMITTED FOR
12 FINAL APPROVAL; 5. MITIGATION MEASURES OUTLINED IN LINDON CITY
13 ORDINANCE 17.57 – HILLSIDE OVERLAY DISTRICT AND ADOPTED
14 INTERPRETATIONS WILL BE INCORPORATED INTO THE FINAL DESIGN OF THE
15 PROJECT; 6. COMPLIANCE WITH FIRE CODE AND FIRE FLOW REQUIREMENTS
16 SHALL BE MET; 7. THE LANDSCAPE PLAN WILL BE UPDATED TO MEET THE
17 RECOMMENDATIONS AS FOUND IN THE GEOTECHNICAL REPORT. IN ADDITION, A
18 WRITTEN STATEMENT BY THE LANDSCAPER OR ANOTHER QUALIFIED PERSON
19 OR FIRM WILL BE SUBMITTED TO THE CITY FOR FINAL APPROVAL. THIS
20 STATEMENT MUST ADDRESS ANY VEGETATION PROBLEMS, AND FURTHER
21 STATING AN OPINION AS TO THE ABILITY OF THE PROPOSED PLAN TO MITIGATE
22 OR ELIMINATE SUCH PROBLEMS IN A MANNER AS TO PREVENT HAZARD TO LIFE
23 OR PROPERTY, ADVERSE EFFECTS ON THE SAFETY, USE OR STABILITY OF A
24 PUBLIC WAY OR DRAINAGE CHANNEL, AND ADVERSE IMPACT ON THE NATURAL
25 ENVIRONMENT; AND 8. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER
26 KALLAS SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:
27 CHAIRPERSON JOHNSON AYE
28 COMMISSIONER THOMPSON AYE
29 COMMISSIONER KALLAS AYE
30 COMMISSIONER MARCHBANKS AYE
31 COMMISSIONER SCHAUERS AYE
32 COMMISSIONER DONE AYE
33 THE MOTION CARRIED UNANIMOUSLY.

34
35 **6. Community Development Director**

- 36
 - July 15th meeting will be moved to July 8th
 - Misc. City Updates

38
39 **ADJOURN** –

40
41 COMMISSIONER MARCHBANKS MOVED TO ADJOURN THE MEETING AT 7:09
42 PM. COMMISSIONER THOMPSON SECONDED THE MOTION. ALL PRESENT VOTED
43 IN FAVOR. THE MOTION CARRIED.

44
45
46
Approved, June 24, 2025

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Steven Johnson, Chairperson

Michael Florence, Community Development Director

Item 4: Plat Amendment – Plat “G” Amended Lindon Treasury Subdivision 158 W. 110 S.

Date: June 24, 2025

Applicant: Kevin Young
Presenting Staff: Michael Florence

Property Owner(s): Kevin &
Melissa Young

Project Address: 116 S. 200 W. &
237 W. 110 S.

Parcel IDs: 45:800:0009 &
45:800:0010

General Plan: Low Density
Residential

Current Zone: R1-20 (Residential)

Type of Decision: Administrative

Council Action Required: No

City File Number: 25-15-10



Summary of Key Issues

1. The applicant is seeking plat amendment approval to consolidate the owners two lots at 116 S. 200 W. & 237 W. 110 S. into one lot.

Overview

1. The Lindon Treasury Plat D was recorded May 2022.
2. The new lot size will be 46,612 square feet. The existing lot sizes are 26,362 (116 S. 200 W.) and 20,249 (237 W. 100 S.).

Motion

I move to (*approve, deny, continue*) the applicant's request for plat amendment approval for the Lindon Treasury Plat G subdivision located at 116 S. 200 W. & 237 W. 110 S. with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the subdivision plat;
2. Prior to plat recording, the applicant will update the final plat Mylar to include notarized signatures and obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The plat will meet applicable specifications as found in the Lindon City Development Manual;
4. All items of the staff report.

Surrounding Zoning & Land Use

North: R1-20 – Residential

East: R1-20 - Residential

South: R1-20 - Residential

West: R1-20 – Residential

Lot Size Requirements (R1-20 Residential)

Required	Lot 1	Compliant with City Standards
Minimum Lot Size: 20,000 square feet	20,000	Yes
Minimum Lot Width: 100 feet	100 ft	Yes
Minimum Lot Depth: 100 feet	230 ft	Yes
Minimum public street frontage: 50 feet	230 ft	Yes

Subdivision Requirements

Required	Compliant
No single lot shall be divided by municipal or county boundary lines, roads, alleys, or other lots.	Yes
All residential lots shall front on a public street. Side lot lines shall be at right angles to street lines.	Yes
Sidewalks, curbs and gutters shall be provided on both sides of all streets to be dedicated to the public	Yes, existing
Easements shall follow rear and side lot lines whenever practical and shall have a minimum total width of 10 feet apportioned equally in abutting properties.	Yes
Underground utilities and piped sanitary sewerage shall be provided by the subdivider.	Yes
No lot shall be created which is more than three times as long as it is wide.	Yes.

Other Requirements

1. The planning and engineering departments will be the final land use authority and will ensure that the plat meets all zoning, land development and development manual requirements prior to the plat being recorded.
2. All public infrastructure requirements such as storm drain, curb, gutter, sidewalk have previously been installed.

Exhibits

1. Aerial Map
2. Subdivision Plat

[illegible]

Item 5: Ordinance Amendment – 17.44.090 – Projections Into Yards

Date: June 24, 2025

Applicant: Nickolas Slade

Presenting Staff: Michael Florence

Type of Decision: Legislative

Council Action Required: Yes, the planning commission is the recommending body on this application.

MOTION

I move to recommend (*approval, denial, or continue*) of ordinance amendment 2025-8-O (*as presented, or with changes*).

Summary of Key Issues

- An application has been made to amend City Code 17.44.090, regarding projections into front yards.
- The property owner, Carlene Veenker, owns a home at 276 E. 140 N. and had filed an application to allow for an eight-foot (8') porch to encroach into the front yard or setback.
- The planning commission held the public hearing on June 10, 2025 and then continued the item after giving city staff feedback on the proposed ordinance amendment.
- City staff have prepared an ordinance for planning commission review.

Overview

- Current Lindon City Code 17.44.090(2a):
 - 2. *Depending on the size of the yard area and setback, the structures listed below may project into a minimum front, side, or rear yard not more than the following distances:*
 - a. *The following may project into a minimum front, side or rear yard not more than twenty-four inches (24"): cornices, eaves, belt courses, sills, buttresses, or other similar architectural features; fireplace structures and bays (provided, that they are not wider than eight feet (8'), measured generally parallel to the wall of which they are a part), awnings and planting boxes or masonry planters.*
- Essentially, if a property owner has a home that meets the 30' front yard setback, then they can project twenty-four (24) inches into the front yard/setback with an eave.
- The property owner, Mrs. Veenkers, has submitted a building permit application to project an 8' porch to cover the front steps of her home. She would like the steps covered to prevent snow and ice buildup so she doesn't slip and fall. See attachment 1 for the site plan.

Draft Ordinance

17.44.090 (2)

b. Single-family dwellings in a residential zone may have a front porch that projects into the front yard setback, if the following requirements are met:

- I. The porch has an entrance facing the street.
- II. The porch may project up to thirty percent (30%) of the allowable front yard setback. If the porch includes a roof structure, the roof structure shall be included in the thirty percent (30%) projection allowance.
- III. Stairs to the porch shall be included in the allowable projection percentage.
- IV. The porch may extend up to twenty-five percent (25%) of the width along the front elevation of the single-family dwelling.
- V. The porch shall remain open on three (3) sides. Porch walls are allowed if they are no taller than forty (40) inches as measured from the porch floor.
- VI. The portion of the porch within the setback does not include space for any other use, such as living or storage space.

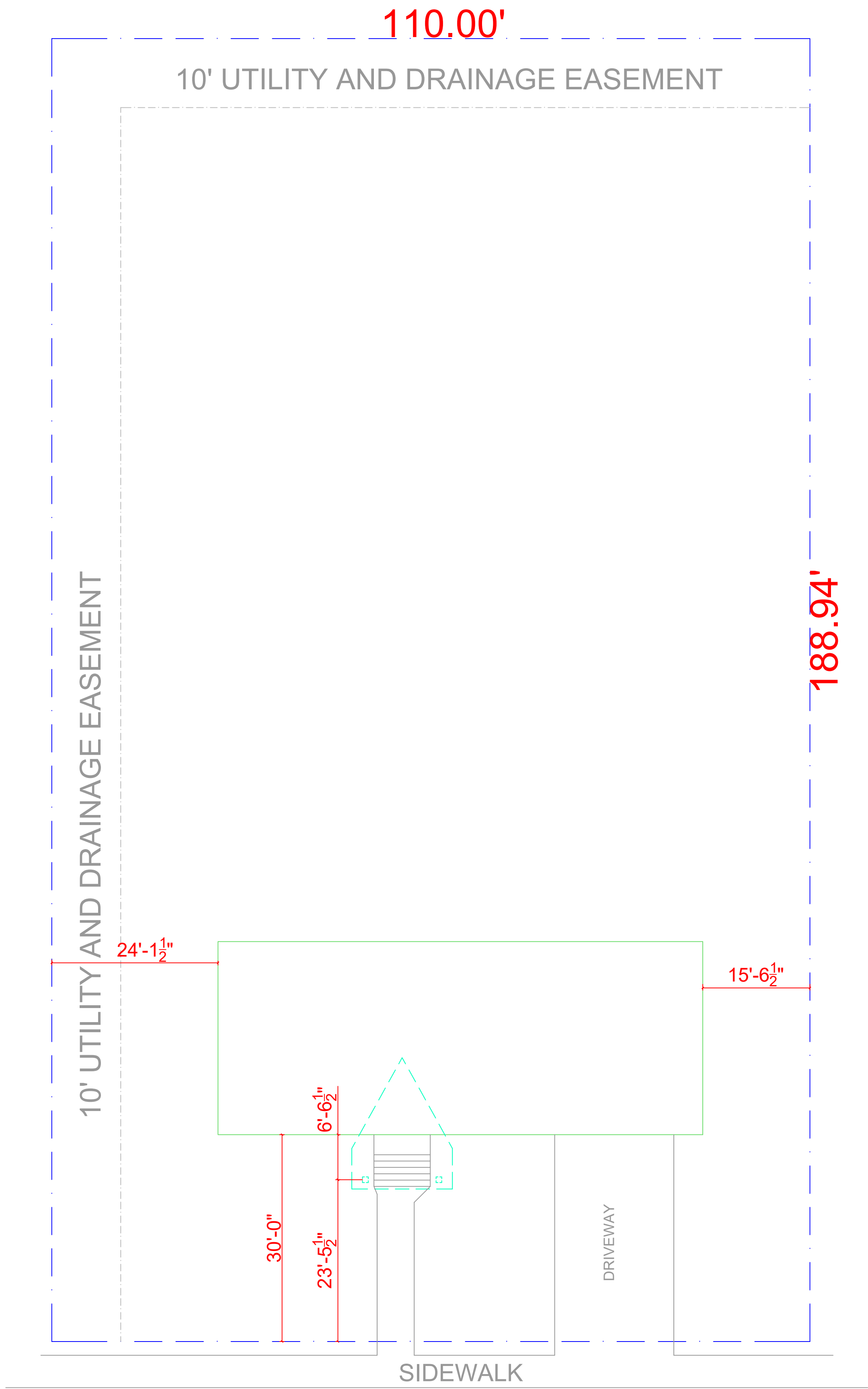
Projection Analysis of Other Communities

Municipality	Projection	Front Yard Setback
Lindon	2'	30'
Provo	4'	30'
Orem	5'	30'
Springville	5'	30'
American Fork	5'	30'
Pleasant Grove	2'	25'
Cedar Hills	No projections	30'
Ogden	10' for roof, 8' for columns	
St. George	4'	
South Jordan	4'	30'
Mapleton	4'	30'

Exhibits

1. Aerial Photo
2. Street View Photo
3. Veenker Site Plan
4. Draft Ordinance





SITE PLAN

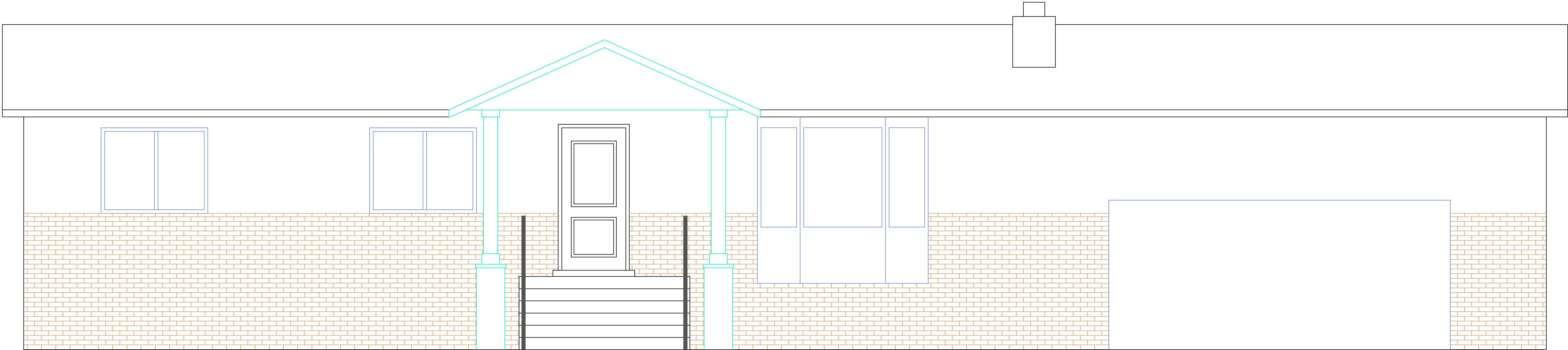


Revisions	
REV A	4/17/2025
XXX	

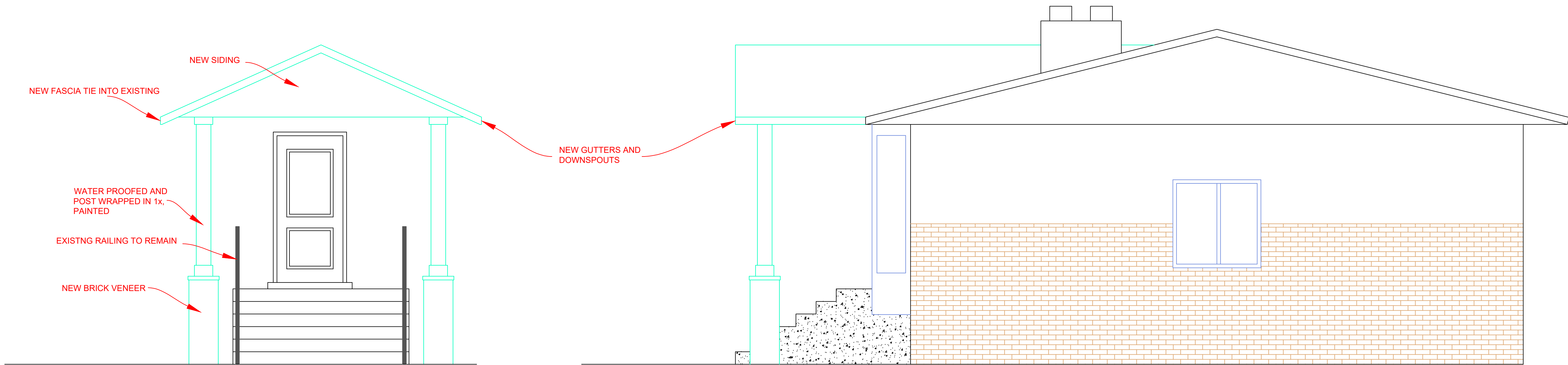
Project Name/Address	VEENKER ENTRANCE 276 E 140 N LINDON UT 84042
Drawing Title	SITE PLAN

Project No.	2512
Date	4/17/2025
Scale	
Sheet	

A-0



FRONT VIEW



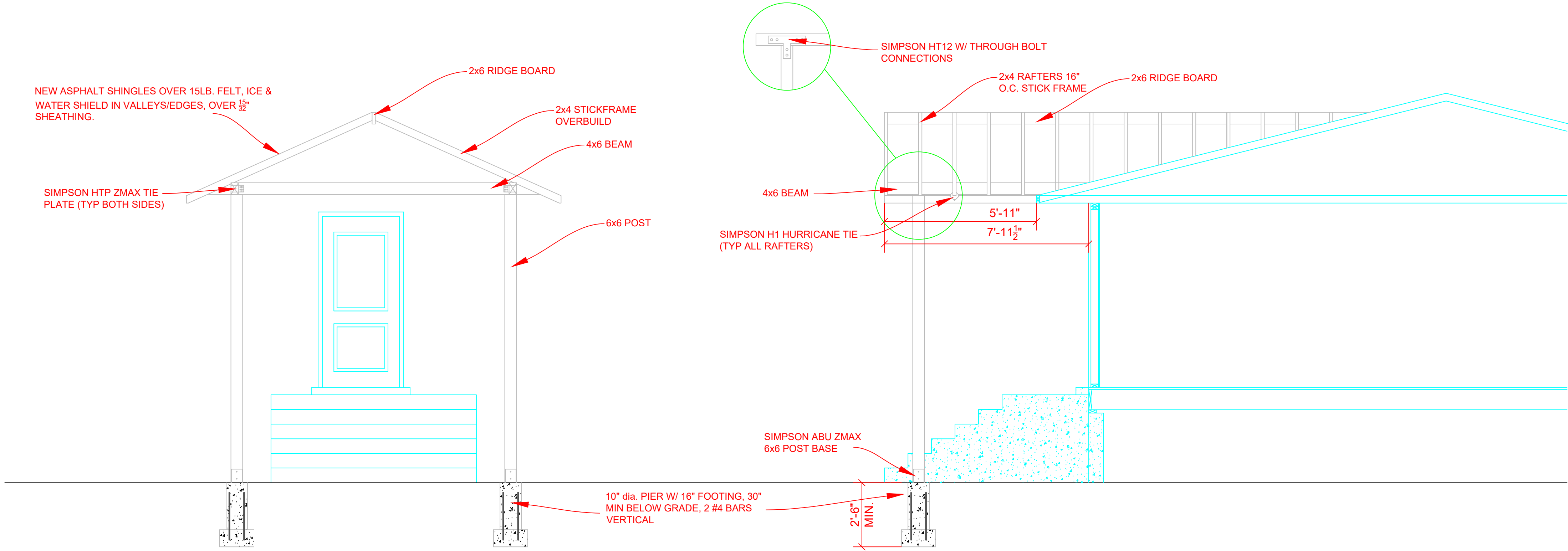
FRONT FINISH DETAIL

SIDE VIEW

Revisions	
REV A	4/17/2025
XXX	

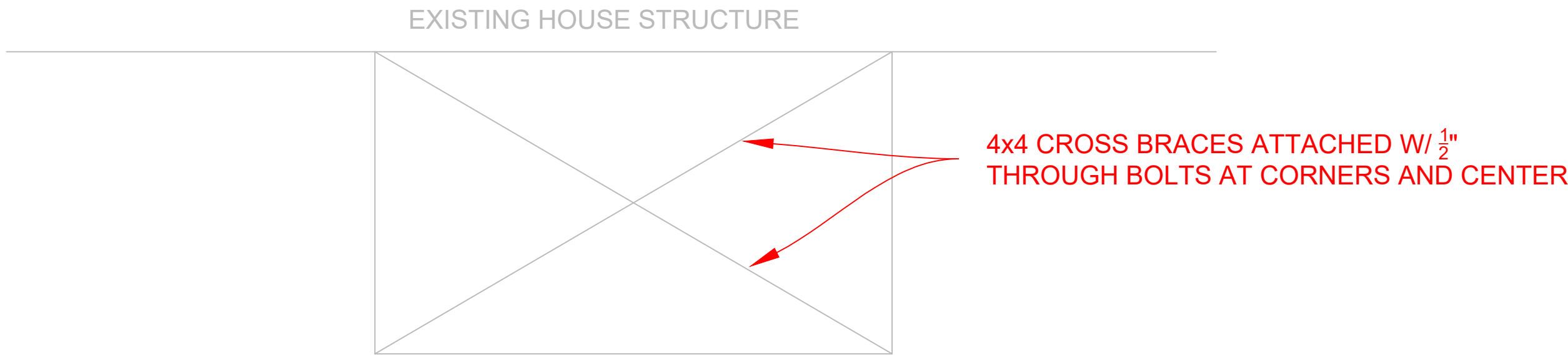
Project Name/Address	VEENKER ENTRANCE 276 E 140 N LINDON UT 84042
Drawing Title	ELEVATIONS

Project No.	2512
Date	4/17/2025
Scale	8" = 1'-0"
Sheet	



FRONT FRAMING DETAIL

SIDE FRAMING DETAIL



LATERAL SUPPORT WITH CROSS BRACING
PLAN VIEW

Revisions	
REV A	4/17/2025
XXX	

Project Name/Address	VEENKER ENTRANCE 276 E 140 N LINDON UT 84042
Drawing Title	FRAMING DETAILS

Project No.	2512
Date	4/17/2025
Scale	3/8" = 1'-0"
Sheet	

ORDINANCE NO. 2025-8-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING 17.44.090 – PROJECTIONS INTO YARDS AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Lindon City Council is authorized by state law to enact and amend ordinances establishing land use regulations; and

WHEREAS, the proposed amendment is consistent with the goal of the Lindon City General Plan to preserve and protect neighborhoods as diverse and attractive places; and

WHEREAS, the proposed amendment is consistent with the goal of the Lindon City General Plan to continue to plan for future growth and change; and

WHEREAS, the Lindon City Council finds that it is necessary to amend the Lindon City Projections Into Yards 17.44.090; and

WHEREAS, on June 10, 2025, the Planning Commission held a properly noticed public hearing to hear testimony regarding the ordinance amendment; and

WHEREAS, after the public hearing, the Planning Commission further considered the proposed ordinance amendment and recommended that the City Council adopt the attached ordinance; and

WHEREAS, the Council held a public hearing on _____, 2025, to consider the recommendation and the Council received and considered all public comments that were made therein.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lindon, Utah County, State of Utah, as follows:

SECTION I: Amend Lindon City Code section as follows:

2. Depending on the size of the yard area and setback, the structures listed below may project into a minimum front, side, or rear ~~yard~~ ~~year~~ not more than the following distances:

a. The following may project into a minimum front, side or rear yard not more than twenty-four inches (24"): cornices, eaves, belt courses, sills, buttresses, or other similar architectural features; fireplace structures and bays (provided, that they are not wider than eight feet (8'), measured generally parallel to the wall of which they are a part), awnings and planting boxes or masonry planters.

b. Single-family dwellings in a residential zone may have a front porch that projects into the front yard setback, if the following requirements are met:

I. The porch has an entrance facing the street.

II. The porch may project up to thirty percent (30%) of the allowable front yard setback. If the porch includes a roof structure, the roof structure shall be included in the thirty percent (30%) projection allowance.

III. Stairs to the porch shall be included in the allowable projection percentage.

IV. The porch may extend up to twenty-five percent (25%) of the width along the front

elevation of the single-family dwelling.

V. The porch shall remain open on three (3) sides. Porch walls are allowed if they are no taller than forty (40) inches as measured from the porch floor.

VI. The portion of the porch within the setback does not include space for any other use, such as living or storage space.

c b. The structures listed below may project into a rear yard not more than twelve feet (12'): a shade structure or uncovered deck (which does not support a roof structure, including associated stairs and landings) extending from the first story of a building, provided such structure is open on at least three (3) sides, except for necessary supporting columns and customary architectural features.

i. Within zones where the minimum rear yard setback is less than twenty feet (20'), structures listed above must maintain a ten-foot (10') setback from the rear property line;

d e. The following may project into a front, side, or rear yard (above or below grade) not more than four feet (4') as long as they are uncovered (not supporting a roof structure): unenclosed stairways, balconies, landings, and fire escapes.

i. Within zones where the minimum front and rear yards are less than thirty feet (30'), structures listed above may project not more than four feet if uncovered.

ii. Within zones where the minimum side yard setback is less than ten feet (10'), the above-listed items may project into the side yard if a four-foot (4') setback from the projection to the side property line remains and there is no projection into the public utility easement.

e d. Properties with a corner street side yard setback of at least thirty feet (30'): an uncovered deck located at and accessible from the first story or below the first story, inclusive of stairs, may project not more than twelve feet (12') into a required corner street side yard setback.

SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provided by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this _____ day
of _____, 2025.

Carolyn Lundberg, Mayor

ATTEST:

Britni Laidler,
Lindon City Recorder

SEAL

Item 6:

A request to amend the Lindon City General Plan Street Master Plan Map

Date: June 24, 2025

Applicant: Lindon City

Presenting Staff: Michael Florence

Type of Decision: Legislative

Council Action Required: Yes

City File Number: 25-024-6

Summary of Key Issues

Lindon City is proposing to amend the follow:

- An amendment to Chapter 17.32 of the Lindon City Code to include Minor and Major Arterial street classifications.
- Updating the Lindon City General Plan Street Master Plan Map to designate certain roadways as Major and Minor Arterials. Major and Minor Arterials are new classifications. Previously, Lindon City Code and the General Plan Street Master plan map only called out Arterial roadways which are streets with a right-of-way width of 82' or greater.
- Updating the Lindon City Land Development Policies, Standard Specifications and Drawing (development manual) to include Major and Minor Arterial streets and establishing a cross-section for Minor Arterials. Minor Arterials are proposed to have the same roadway cross-section as Collector and Local Commercial Streets.

Lindon City engineers evaluated the General Plan Street Master Plan Map and have determined that several roadways within Lindon City that are currently classified as Major Collectors are more regionally significant roadways as they carry larger volumes of traffic and provide connections between multiple jurisdictions, and/or provide connections between two or more state highways, and those roads would more appropriately be classified as arterials. City engineers have prepared the maps and recommended which streets should be reclassified.

The primary basis of this change is to enable these roadways to potentially be eligible for State or Federal funding as needed for construction, intersection improvements, congestion relief projects, etc. Lindon City has coordinated with Mountainland Association of Governments (MAG) and has determined that regionally significant roadways may be eligible for road construction and traffic congestion relief, but only if such roadways are classified as arterial roads (minor or major).

Reclassification to minor or major arterial roadways by the City does not require widening of the roads, nor changes to the current cross-section of the roads, nor increasing of the speed limit of the roadways.

Minor Arterial, Collector (major and minor) and Local Commercial streets have a right-of-way width of 66' and an asphalt width of 48'. Major Arterials are typically UDOT owned streets such as State Street and 700 N. and would have right-of-way width of 82' or greater.

Motion

I move to recommend (approval, denial, continuation) of Ordinance 2025-09-O of the city's request to amend Title 17.32 of the Lindon City Code to include Major and Minor Arterial streets, amend the Lindon City Street Master Plan Map to include Minor and Major Arterial Street Classifications and designate such roadways on the street master plan map, and amend the Lindon City Land Development Policies, Standard Specifications and Drawing (development manual) to include Minor Arterial streets to have the same roadway cross-section as Collector and Local Commercial Streets.

Overview

-
- The following street changes are proposed to have a classification change:
 - 200 S. (between 2000 W. and State Street)
 - 2000 W. (between 700 N. & Proposed Vineyard Connector)
 - 400 W. (between 600 S. & 400 N)
 - 400 E. (between 200 S. & 1000 S in PG)
 - 1200 E.
- The current classification of these streets is Major Collector.
- The proposed classification of these street is Minor Arterial.
- The right-of-way width cross-section for Minor Arterial roadways will be 66' which is the same as Collector and Local Commercial Streets.

Lindon City General Plan

When considering amendments to the General Plan or zoning modifications, decision-makers should review relevant policy recommendations found in the General Plan. The Transportation Chapter of the General Plan outlines:

- **Collector Streets** – provide for traffic movement between arterial and local streets. These roadways are identified as either Major or Minor collectors. Center left-turn lanes may be provided to allow for greater access and safety, with driveway access evenly spaced.
 - The general plan specifically identifies 1200 E. as an undeveloped segment of a major collector.
- **Policy and Implementation Measures**
 - Goal 1 - Coordinate land use and circulation planning to provide development opportunities supported by major transportation routes and interchanges within and around Lindon.
 - Implementation Measure: Continue to coordinate with Mountainland Association of Governments (MAG), UDOT, and UTA on regional transportation planning.
 - Policy 1.2 – Ensure that the city retains overall control over the design and location of the major street system within future growth areas.
 - Implementation Measure - Require adequate thoroughfare systems within future growth areas and designate sufficient rights-of-way prior to land development or through the plan approval process.
 - Goal 3 implementation Measure – Design and install local streets to discourage through-traffic in residential neighborhoods, directing traffic to higher-capacity classifications.

Exhibits

1. Adopting Ordinance 2025-09-O
2. Land Development Policies, Standard Specifications and Drawing (development manual) amendments
3. Proposed General Plan Street Master Plan Map
4. “Redline” map identifying roadway amendments on the General Plan Street Master Plan Map

Ordinance No. 2025-09-O

AN ORDINANCE AMENDING CHAPTER 17.32.110 OF THE LINDON CITY CODE TO INCLUDE MINOR AND MAJOR ARTERIAL STREET CLASSIFICATIONS AND UPDATING THE LINDON CITY STREET MASTER PLAN MAP TO DESIGNATE CERTAIN ROADWAYS AS MINOR AND MAJOR ARTERIAL STREETS, AND APPROVING APPLICABLE CHANGES TO THE LINDON CITY LAND DEVELOPMENT POLICIES, STANDARD SPECIFICATIONS AND DRAWINGS (DEVELOPMENT MANUAL), AND SETTING AN EFFECTIVE DATE.

WHEREAS, Lindon City has evaluated its Street Master Plan Map and has determined that several roadways within Lindon City that are currently classified as Major Collectors are more regionally significant roadways as they carry larger volumes of traffic and provide connections between multiple jurisdictions, and/or provide connections between two or more state highways, and that said roads would more appropriately be classified as arterials; and

WHEREAS, Lindon City has coordinated with Mountainland Association of Governments (MAG) and has determined that regionally significant roadways may be eligible for road construction and traffic congestion relief, but only if such roadways are classified as arterial roads (minor or major); and

WHEREAS, reclassification to minor or major arterial roadways by the City does not require widening of the roads, nor changes to the current cross-section of the roads, nor increasing of the speed limit of the roadways; and

WHEREAS, Lindon City finds it prudent and in the best interest of the City and its residents to reclassify these specific roadways as Minor or Major Arterials to more accurately reflect the nature of these roadways as regionally significant corridors, and to provide the potential opportunity for future funding through MAG or other State or Federal agencies for construction and/or enhancement of these roadway corridors as needed.

NOW THEREFORE, BE IT ORDAINED by the City Council of Lindon City, Utah, as follows:

PART ONE: Amendment of Chapter 17.32.110 (Streets) of the Lindon City Code.

17.32.110(5):

5. Minimum right-of-way widths for public streets shall be adopted by the city council for various categories of streets, but shall in no case be less than the following:

- a. ~~Major A~~arterial street, eighty-two feet (82');
- b. ~~Minor arterial, C~~ollector and local commercial street, sixty-six feet (66');
- c. Local residential street, fifty feet (50').

Amendment of the **Lindon City Land Development Policies, Standard Specifications and Drawings** (Development Manual) as follows:

Section 3.02 Design Criteria, of the Development Manual. See attached Exhibit A.

Standard Drawing #2a. See attached Exhibit B.

Amendment to the **Lindon City Street Master Plan Map** as found within the Lindon City General Plan:
See **Street Master Plan Map**, attached as Exhibit C.

PART TWO: Severability.

Severability is intended throughout and within the provisions of this ordinance. If any section, subsection, sentence, clause, phrase or portion of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, then that decision shall not affect the validity of the remaining portions of this ordinance.

PART THREE: Effective Date.

This ordinance shall take effect immediately upon its passage and posting as provided by law.

PASSED AND APPROVED AND MADE EFFECTIVE by the City Council of Lindon City, Utah, this
_____ day of _____, 2025.

_____,
Carolyn O. Lundberg
Lindon City Mayor

ATTEST:

SEAL:

_____,
Britni Laidler
Lindon City Recorder

DIVISION 3

DESIGN CRITERIA

This division contains additional design criteria that are to be used on designs in the City. The City Engineer shall have authority to modify the criteria as needed to meet changing or unusual needs or conditions. Some design criteria is also found in Section [17.32](#) of the Lindon City Code.

SECTION 3.01 STORM DRAINAGE CRITERIA

Refer to Storm Water Performance Criteria and Design Guidelines in Appendix C of this manual.

SECTION 3.02 STREET DESIGN CRITERIA

The following street design criteria apply to all street designs in the City. Additional design criteria are specified in the Lindon City Code.

1. Functional Classification

Refer to the Lindon City [Street Master Plan Map](#) for functional classification designation on existing and future planned streets.

2. Design Speed

- a. Local street shall be designed to at least 25 mph
- b. Collector streets shall be designed to at least 35 mph

3. Horizontal Curves

and arterial

Changes in horizontal alignment of over one degree shall be made using horizontal curves. In some cases horizontal alignment changes on local streets may be allowed without a horizontal curve if the resulting alignment functions as a two legged intersection.

- a. Local streets shall have a centerline radius of at least 150 feet.
- b. Collector streets shall have a centerline radius of at least 300 feet.

4. Street Profile Design

Streets shall be designed with vertical curves where grade changes greater than 1% occur.

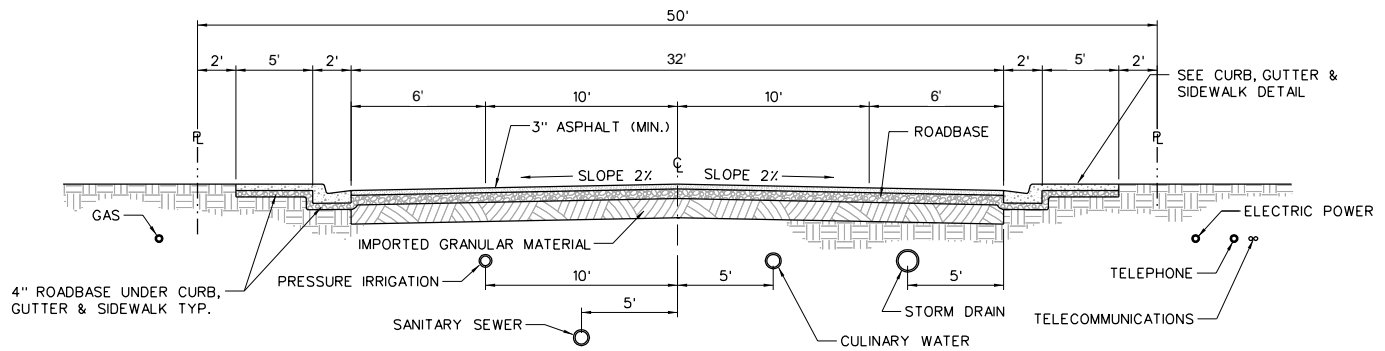
5. Intersection Design

Curb returns shall be designed such that there is a smooth transition from one leg of the intersection to another, using vertical curves where grade changes greater than 2% occur. The designer shall include enough information on the plans to demonstrate compliance. In most cases, this requires profiling the top back of curb through the curb returns.

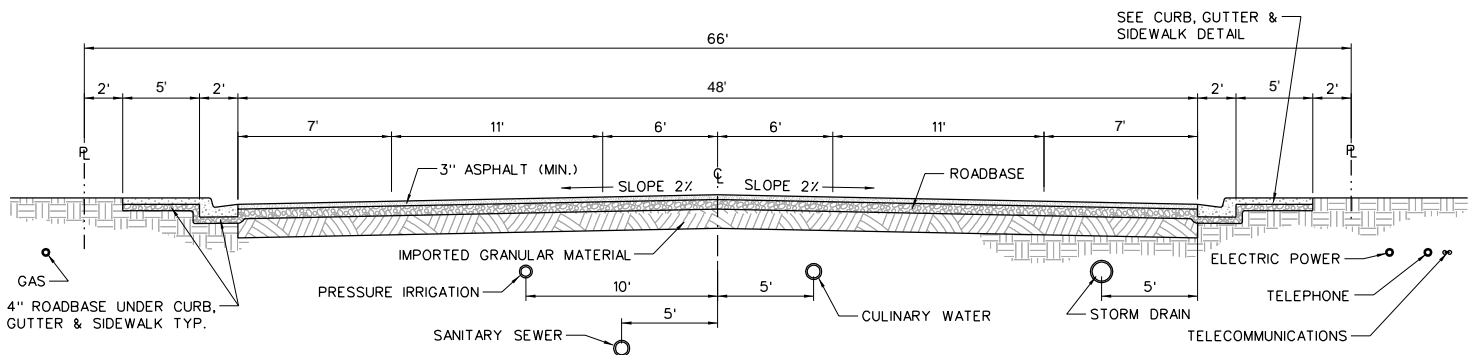
6. Curb Ramp Design

Curb ramps shall be designed in accordance with current ADA standards and guidelines, and shall be the Accessibility Standards found in the Lindon Standard Specifications (see Division 12, Concrete Curb and Gutter and Sidewalk).

7. Cross Sections



LOCAL RESIDENTIAL
50' STREET CROSS-SECTION
LOOKING NORTH OR WEST

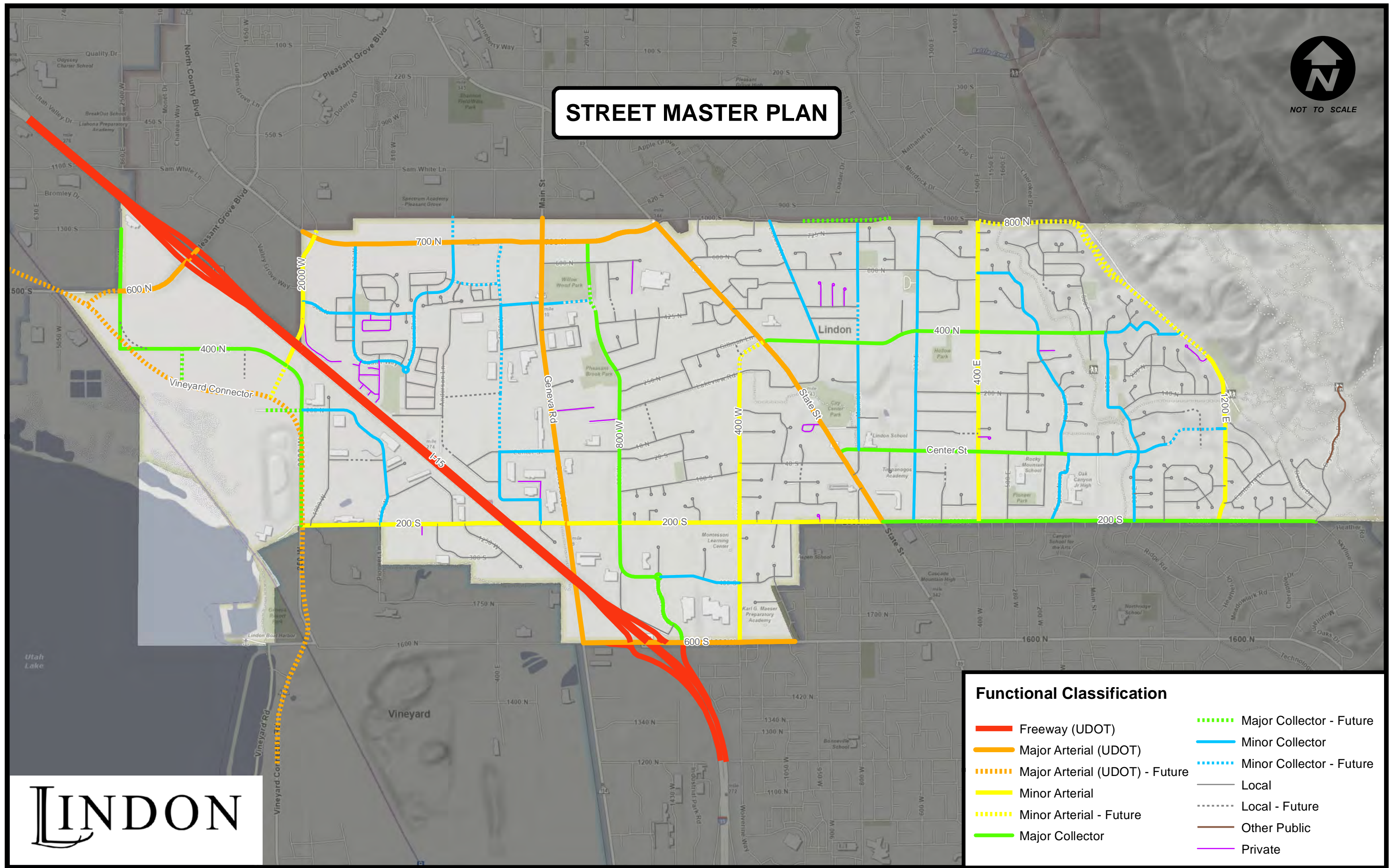


MINOR ARTERIAL, COLLECTOR & LOCAL COMMERCIAL
66' STREET CROSS-SECTION
LOOKING NORTH OR WEST

NOTES:

1. IMPORTED GRANULAR MATERIAL (SUB-BASE), ROADBASE, AND ASPHALT THICKNESSES SHALL BE DETERMINED BY PAVEMENT DESIGN.
2. DRINKING WATER PIPELINES SHALL BE INSTALLED ON THE NORTH AND EAST SIDE OF THE STREET, UNLESS APPROVED OTHERWISE BY THE CITY ENGINEER.
3. FIRE HYDRANTS SHALL BE LOCATED EVERY 400 FEET AND ON THE SAME SIDE OF THE STREET AS THE DRINKING WATER PIPELINES, UNLESS APPROVED OTHERWISE BY THE CITY ENGINEER.
4. WATER VALVES SHALL BE CLUSTERED AT THE FITTING ON THE MAIN, UNLESS APPROVED OTHERWISE BY THE CITY ENGINEER.
5. ALL DRINKING WATER MAIN PIPELINES SHALL BE 8-INCH MINIMUM.
6. ALL PRESSURE IRRIGATION MAIN PIPELINES SHALL BE 6-INCH MINIMUM, UNLESS APPROVED OTHERWISE BY THE CITY ENGINEER.
7. TELECOMMUNICATIONS CONDUIT SHALL BE LAID WHERE TELEPHONE CONDUIT IS LAID.
8. REQUIRED COVER OVER UTILITY LINES SHALL BE AS FOLLOWS:
 CULINARY WATER = 48" MINIMUM
 PRESSURE IRRIGATION = 24" MINIMUM
 SANITARY SEWER = PER DESIGN
 STORM DRAIN = PER DESIGN
 TELECOMMUNICATIONS = 24" MINIMUM
 ALL OTHERS = PER UTILITY REQUIREMENTS
9. SIDEWALK NOT REQUIRED IN INDUSTRIAL ZONES WEST OF GENEVA ROAD.

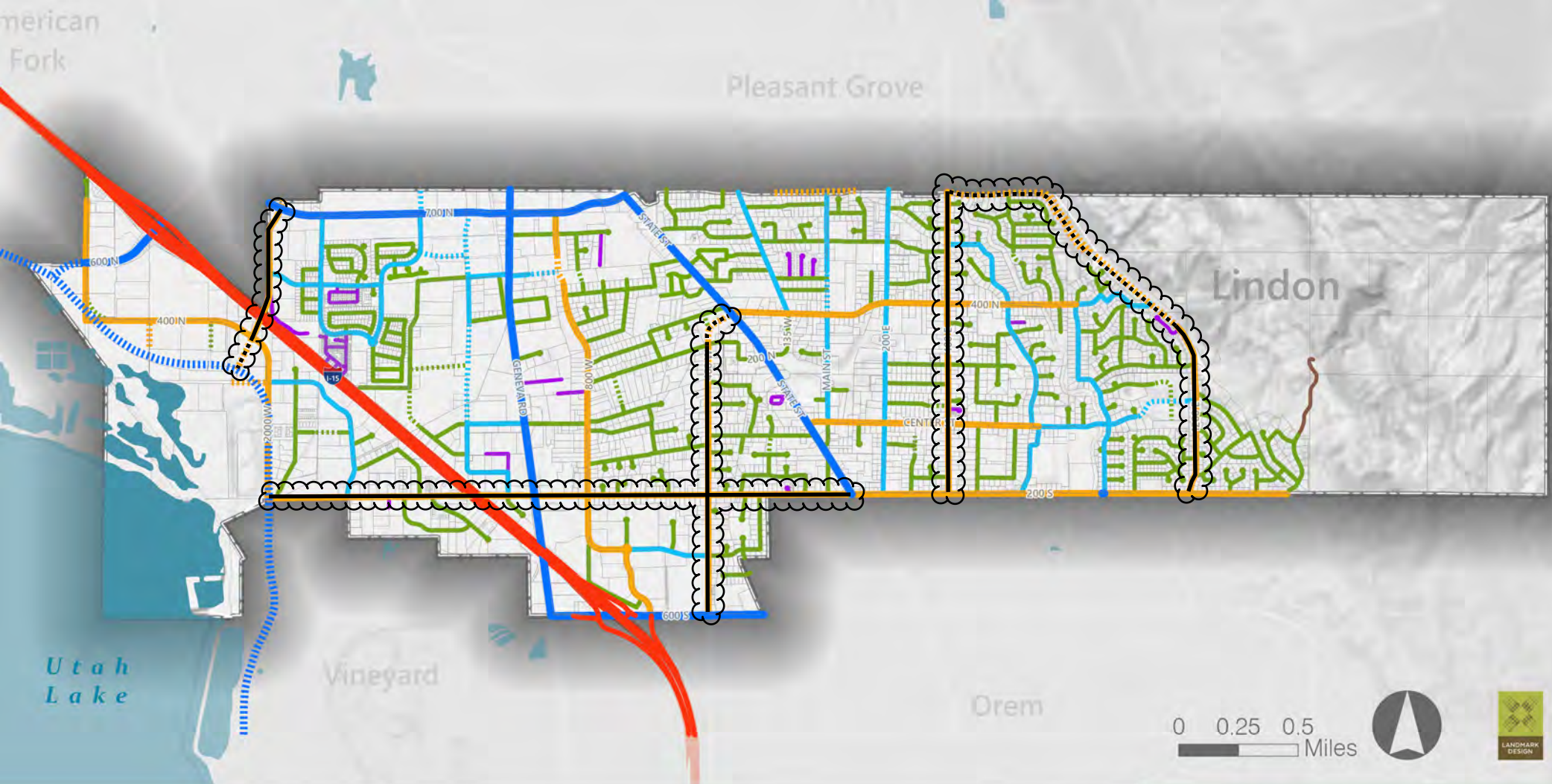
STREET MASTER PLAN



Functional Classification

Freeway (UDOT)	Major Collector - Future
Major Arterial (UDOT)	Minor Collector
Major Arterial (UDOT) - Future	Minor Collector - Future
Minor Arterial	Local
Minor Arterial - Future	Local - Future
Major Collector	Other Public
	Private

LINDON



Functional Classification

- Freeway (UDOT)
- Major Arterial (UDOT)
- - - Future Major Arterial (UDOT)
- Major Collector
- - - Future Major Collector
- Minor Collector
- - - Future Minor Collector
- Other Public
- Private
- Lindon City Boundary

- Minor Arterial
- Future Minor Arterial

Map 6 Street Master Plan

ADOPTED JULY 3, 2023



Lindon City General Plan