



PUBLIC NOTICE is hereby given that the Planning Commission of Washington City will host a public electronic meeting on **Wednesday, June 18, 2025** at 6:00 P.M. The Planning Commission will be held in the Council Chambers of Washington City Hall located at 111 North 100 East, Washington, Utah. The meeting will be broadcast via Youtube Live linked online at <https://washingtoncity.org/meetings>

1. APPROVAL OF AGENDA

2. APPROVAL OF MINUTES

- a. Approval of the Planning Commission Minutes from June 4, 2025.

3. DECLARATION OF ABSTENTIONS & CONFLICTS

4. PUBLIC HEARINGS

*****Public comments will be accepted at: washingtoncity.org/meetings, until 5:00 pm the day before the meeting. After that time only in person comments will be taken.*****

- a. Public Hearing for consideration and recommendation to City Council Conditional Use Permit C-25-04 for two new commercial buildings located at approximately 135 W Buena Vista Blvd. Applicant: Nathan Coombs.
- b. Public Hearing for consideration and recommendation to City Council for Conditional Use Permit C-25-05 for a Performance Fitness located at approximately Washington Fields Rd and Hayfield Drive. Applicant: Chris Patten.
- c. Public Hearing for consideration and recommendation to City Council for Zone Change Z-25-16 to approve design standards and relocate 4 acres of commercial for the existing PUD-R and PUD-C zoning located at 1075 E Telegraph Street. Applicant: Habitat Development LLC.
- d. Public Hearing for consideration and recommendation to City Council for Zone Change Z-25-17 to change the zoning from R-1-10 to PUD-R located at approximately 990 E George Washington Blvd. Applicant: Lance Miller.

5. ADJOURNMENT

POSTED this 13th Day of June, 2025
Bonnie Baker, Zoning Technician

In accordance with the Americans with Disabilities Act, Washington City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by calling the Zoning Technician at 656-6325 at least 24 hours in advance of the meeting to be held.

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE:	June 18th, 2025
ACTION REQUESTED:	C-25-04, A request for a Conditional Use Permit for two new buildings located at 135 West Buena Vista Blvd
APPLICANT:	Nathan Coombs-Architect
OWNER:	Winco Foods, LLC
ENGINEER:	Brandon Johnson
REVIEWED BY:	Eldon Gibb - Community Development Assistant Director
RECOMMENDATION:	Recommend approval with conditions onto City Council

Background

The applicant is requesting approval of a Conditional Use Permit to build two new commercial buildings located at 135 West Buena Vista Blvd. Commercial development adjacent to Buena Vista Blvd is required to obtain conditional use permit approval.

Building A is approximately 6,000 sq. ft. with a quick serve drive through and outdoor patio space. Building B is approximately 5,080 sq. ft with outdoor patio space. Each building provides space for up to three tenants. The tenants are unknown at this time. The proposal includes 5,540 sq ft of restaurant and 5,540 sq ft of retail requiring a total of 60 parking spaces. The applicant is providing 66. Parking is adequate for the project and keep in mind the previous Winco approval was overparked 108 parking stalls per city code.

As shown in the exhibit, the tallest points of the buildings are 26' feet. Exterior materials include metal paneling, brick veneer and stucco finishes. Landscaping improvements are shown and will be a nice addition. Future buildings on this site will be required to receive conditional use permit approval.

The parcel is zoned C-2. Surrounding zoning is PCD to the north, C-2 to the east, C-2 (Boilers park) to the west and I-15 to the south. Staff has reviewed the proposal and finds it meets the standards outlined in the Zoning Ordinance.

Recommendation

Staff recommends that the Planning Commission recommend approval of C-25-04, based on

the following findings and subject to the following conditions, onto City Council:

Findings

1. The proposed use, at the particular location, provides a service or facility which will contribute to the general well being of the neighborhood and community; and
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and
3. The proposed use will comply with the regulations and conditions specified in this title for such use; and
4. The proposed use will conform to the intent of the general plan.

Conditions

1. Any site improvements shall meet or exceed the requirements of City and State adopted codes including, but not limited to, the Building and Fire Codes of Washington City.
2. The development of the site shall comply with the development as approved in the exhibits provided along with the development standards found in the C-2 Zone and this Conditional Use Permit.
3. Development of the site shall comply with the recommendations of a geotechnical study and drainage study. Improvements for the drainage and detention shall be approved by the Public Works Department prior to the issuance of building permits.
4. The applicant will submit a traffic impact study for review and approval by the Public Works Department. The City's Access Management Plan will be adhered to in the traffic design of the project.
5. A Post Construction Maintenance Agreement will need to be recorded prior to the issuance of a Certificate of Occupancy.
6. Any roof mounted equipment will be screened from view.
7. All signage will be in accordance with the adopted sign regulations of the city.
8. Any exterior lighting will be directed inward to the property.

9. Dumpster screening shall blend in with the surrounding development. Details for these items shall be submitted for review and approval prior to the issuance of associated/required permits. Live growth plants shall be used to help screen the refuse walls where applicable.

10. A detailed landscaping plan will be submitted for review and approval prior to any landscaping being installed throughout the project. The landscaping will adhere to the city's water conservation ordinance.

11. Construction drawings will need to be submitted for review and approval, prior to any work being done on the site.

12. If any of the property is subdivided, a cross access easement and shared parking agreement will need to be recorded with the properties.

13. Paved Ingress/Egress to the site shall be established prior to and/or built with this development.

14. The parking will be adhered to as presented in the exhibits of this application.



May 7, 2025

Washington City
Planning and Zoning Division
111 North 100 East
Washington City, UT 84780
(435) 656-6300

**RE: Conditional Use Permit Application
Proposed Commercial Building Pad Development
135 W. Buena Vista Blvd
Washington City, UT**

To Whom it may concern:

The proposed project is located at 135 W. Buena Vista Blvd adjacent to the upcoming WinCo Foods project. The proposed project consists of two (2) new commercial buildings to house multiple tenants and associated site improvements as depicted in attached site plan, landscape plans and exterior elevations. Building 'A' will be approximately 6,200 square feet and include a drive-thru window and outdoor patio space. Building 'B' will be approximately 5,200 square feet and include outdoor patio space.

The two new building placements on the site will result in parking and landscaping which meet or exceed the amounts required. Lighting, signage, circulation, pedestrian paths, walks, and bicycle parking will be provided. In addition, patio style outdoor areas are proposed for public seating or eating. The two building have been designed like in kind with building form, materials, and textures. The buildings will be constructed as "grey shell" buildings, meaning that the exterior of the building will be fully constructed along with supporting utilities, site improvements, thermal protection, and fire protection elements. The interior of the buildings will be semi-constructed to allow for future tenant to come in and development the building interiors to their needs. It is estimated that each building to house two to three tenants.

Our team believes we have produced the documentation required to proceed with the Conditional Use Permit and look forward to a successful project. However, should you find you require additional information or have any questions, please feel free to contact me at (208) 345-1462.

Sincerely,

A handwritten signature in black ink, appearing to read 'Nathan P. Coombs', is written over a vertical line that extends from the word 'Sincerely,'.

**NATHAN P. COOMBS, NCARB
Architect**



**PROJECT FLOW CARD: CUP-25-04 - Conditional Use Permit - WinCo Pad
135 W Buena Vista Blvd.**

Planning	Reviewed. OK to move forward with two buildings/outparcel	
Public Works	Reviewed - Items addressed - Basic PW/utility layout is acceptable for CUP request. Modifications may be required during construction plan submission.	
Engineer	Reviewed. For the 2 outparcels no concerns. Just want to make sure the entrance at Brio Pkwy is wide enough and it appears to be.	
Fire Dept.	Reviewed, no concerns	
Parks/Trails	Reviewed, no concerns	
Building Dept	Reviewed and no concerns per Mike Haycock	
Washington Power	Approved for the conditions that are proposed. The power infrastructure will need to be constructed for all pads within the project area.	
Economic Dev	Reviewed. This project supports the City's economic development goals by generating substantial sales tax revenue, helping to ease the tax burden on residential property owners. It also improves access to goods, services, and jobs, allowing more local spending to stay within the community. The resulting revenue helps maintain and improve essential public services such as police, fire, parks, trails, and infrastructure. RH	



GENERAL NOTES

1. INFORMATION LOCATION BASED ON PRELIMINARY SITE PLAN.
2. ALL PARCELS SHOWN ARE ZONED WITHIN (C-2) SERVICE COMMERCIAL UNDER WASHINGTON CITY MUNICIPAL CODE.
3. SETBACK REQUIREMENTS:
 - REAR PROPERTY LINE - 0'
 - SIDE PROPERTY LINE - 0'
 - FRONT PROPERTY LINE - 20'
4. TRASH ENCLOSURE CONSTRUCTION WILL CONSIST OF 8-FOOT HIGH CONCRETE MASONRY UNIT (CMU) WALLS PAINTED TO COMPLEMENT ADJACENT BUILDINGS AND LOCKABLE CHAIN LINK GATES WITH SCREENING SLATS.
5. SITE RETAINING WALL CONSTRUCTION PROPOSED TO CONSIST OF A MECHANICALLY STABILIZED EARTH (MSE) WALL SYSTEM WITH BASALITE 'GEOWALL PRO' BLOCKS OR SIMILAR AND A MAXIMUM HEIGHT OF 9-FEET.

OVERALL SITE AREAS

NAME	AREA (sqft)	AREA (Acre)	% OF OVERALL SITE AREA
PARCEL A	34,379.82	0.789	20%
PARCEL B	37,360.55	0.858	22%
PARCEL C	28,064.64	0.598	15%
PARCEL D	70,652.86	1.622	42%
Grand total	168,457.86	3.867 (Does not include R.O.W. areas)	

PARCEL A BREAKDOWN

AREA TYPE	AREA (sqft)	AREA (Acre)	% OF LOT 1 AREA
PARCEL A BUILDING	6,195.18	0.142	18.0%
PARCEL A IMPERVIOUS SURFACE	22,046.00	0.506	64.1%
PARCEL A LANDSCAPE	6,138.64	0.141	17.9%
Grand total	34,379.82	0.789 (Does not include R.O.W. areas)	

PARCEL A PARKING RECAP

PARKING REQUIRED	1 PER 150 SF RESTAURANT & 1 PER 250 SF RETAIL	29
ACCESSIBLE PARKING PROVIDED	A-9' x 20' - 90 deg	2
STANDARD PARKING PROVIDED	A-9' x 20' - 90 deg	24
Grand total		26

PARCEL B BREAKDOWN

AREA TYPE	AREA (sqft)	AREA (Acre)	% OF LOT 1 AREA
PARCEL B BUILDING	5,262.68	0.121	14.1%
PARCEL B IMPERVIOUS SURFACE	21,117.78	0.485	56.5%
PARCEL B LANDSCAPE	10,980.10	0.252	29.4%
Grand total	37,360.55	0.858 (Does not include R.O.W. areas)	

PARCEL B PARKING RECAP

PARKING REQUIRED	1 PER 150 SF RESTAURANT & 1 PER 250 SF RETAIL	22
ACCESSIBLE PARKING PROVIDED	B-9' x 20' - 90 deg	2
STANDARD PARKING PROVIDED	B-9' x 20' - 90 deg	38
Grand total		40

Eldon,

The parking calcs differ a little from what I have on plan. They were based on a previous project with this building footprint, but in developing the site layout the building footprint changed a little. The following is based on the current building square footage and factoring/assuming half the building for retail and half for restaurant:

Parcel A:

Restaurant – 3,000 SF (1 per 150 = 20)

Retail – 3,000 SF (1 per 250 = 12)

32 space required

Parcel B:

Restaurant – 2,540 SF (1 per 150 = 17)

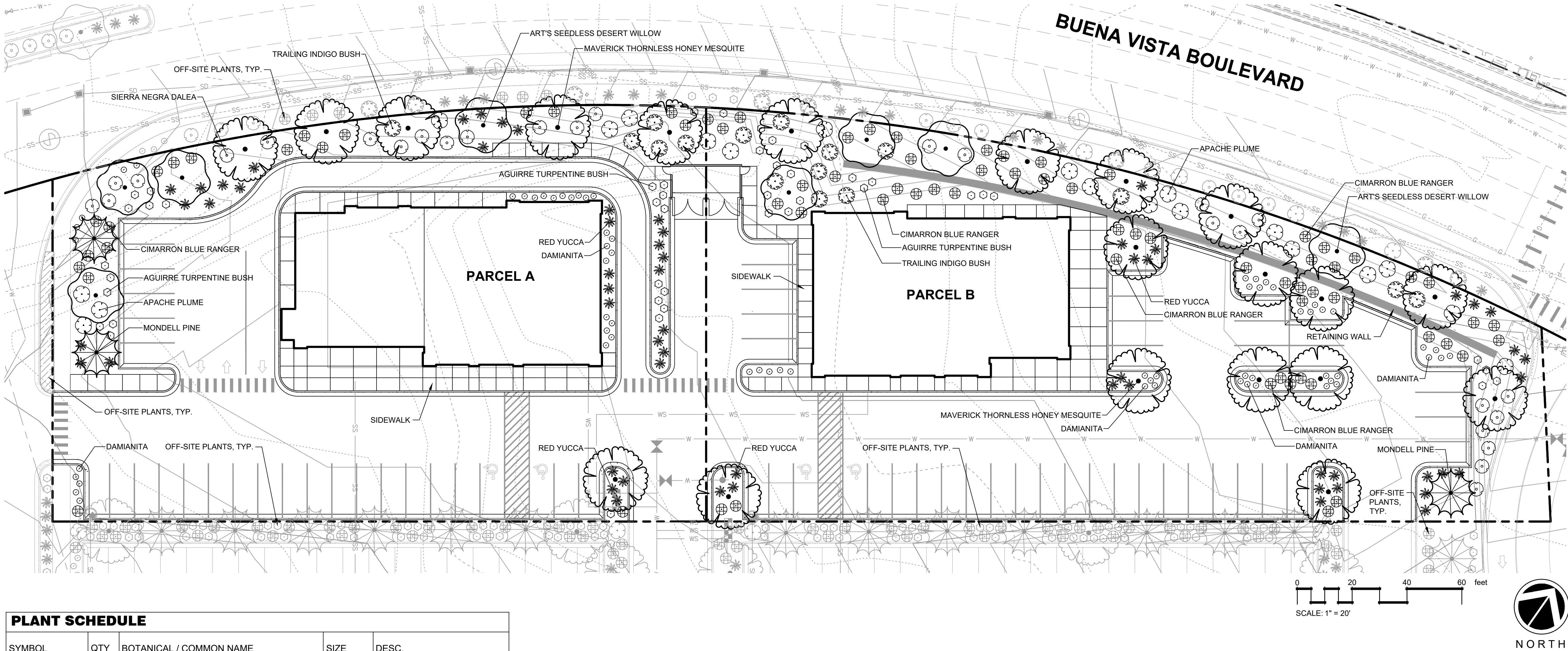
Retail – 2,540 SF (1 per 250 = 11)

28 spaces required



Nathan Coombs, NCARB

May 21, 2025 3:19:59pm - User: radley.dickins
N:\PROJECTS\5275 ISA CIVIL, LLC\4-000880\WINCO WASHINGTON CITY OUTPUT\ARCS(CAD)_24-000880 A-LS.DWG



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DESC.
TREES				
	8	CHILOPSIS LINEARIS 'ART'S SEEDLESS' ART'S SEEDLESS DESERT WILLOW	2" CAL.	12'-14' HT., B&B OR CONT.
	3	PINUS ELДАРICA MONDELL PINE	--	8'-10' HT., B&B OR CONT.
	20	PROSOPIS GLANDULOSA 'MAVERICK' MAVERICK THORNLESS HONEY MESQUITE	2" CAL.	12'-14' HT., B&B OR CONT.
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
SHRUBS				
	66	CHRYSACTINIA MEXICANA DAMIANITA	2 GAL	2' O.C.
	27	DALEA FRUTESCENS 'SIERRA NEGRA' SIERRA NEGRA DALEA	2 GAL	5' O.C.
	16	DALEA GREGGII TRAILING INDIGO BUSH	5 GAL	6' O.C.
	44	ERICAMERIA LARICIFOLIA 'AGUIRRE' AGUIRRE TURPENTINE BUSH	2 GAL	3' O.C.
	20	FALLUGIA PARADOXA APACHE PLUME	5 GAL	6' O.C.
	60	HESPERALOE PARVIFLORA RED YUCCA	2 GAL	4' O.C.
	75	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON' CIMARRON BLUE RANGER	2 GAL	4' O.C.

NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED
BY THE GOVERNING AGENCY
AND ARE SUBJECT TO CHANGE.

REVISIONS

SCJ PROJECT NO.
(S275) 24-000880

DRAWN
N. DORKINA

CHECKED
T. GRANTHAM

SUBMITTAL DATES

03/21/25

OTB DATE

SCJ ALLIANCE
CONSULTING SERVICES
8730 TALLON LANE NE SUITE 200, LACEY, WA 98516
SCJALLIANCE.COM

STAMP

REGISTERED LANDSCAPE ARCHITECT
Trent Lee Grantham
No. 10806423-5301
EXP. 05/30/25
STATE OF WASHINGTON

PAD DEVELOPMENT
W. BUENAVISTA BLVD. &
N. MAIN ST.
WASHINGTON CITY, UTAH

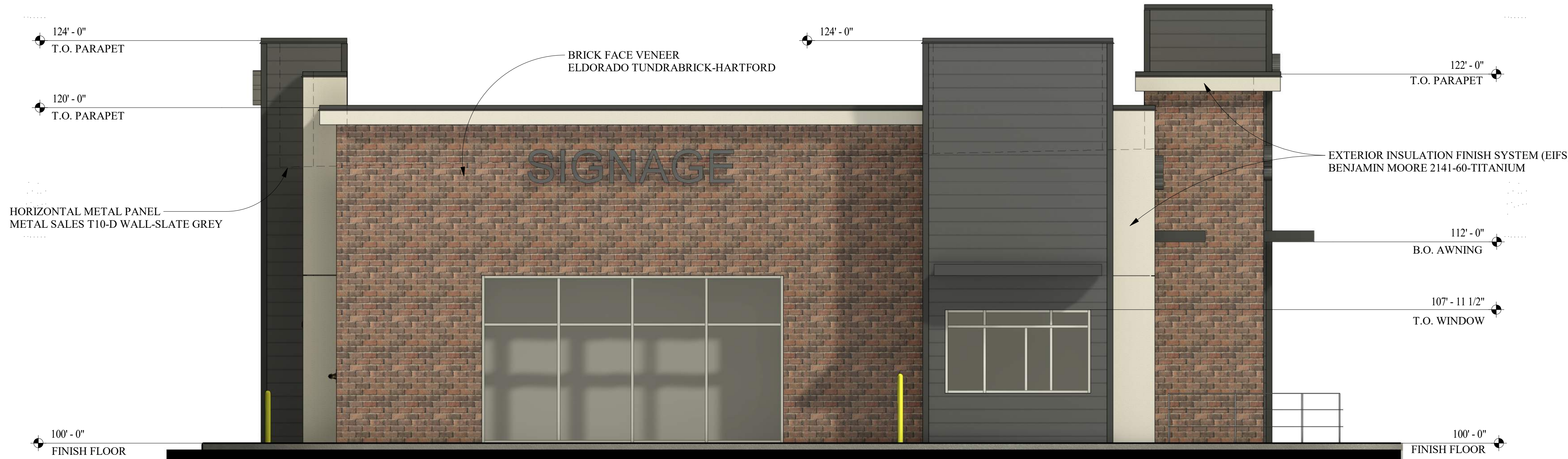
WinGo
Foods

SHEET TITLE
PRELIMINARY
LANDSCAPE
PLAN

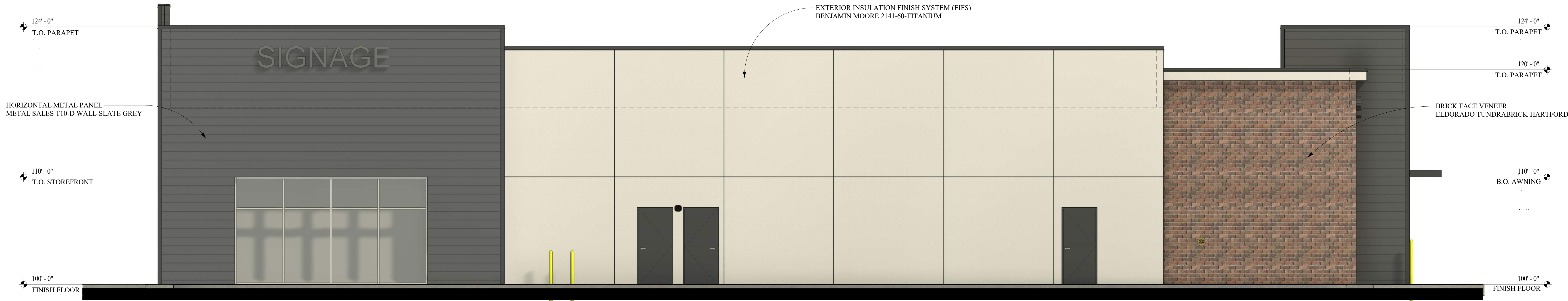
SHEET
LS-01
1 OF 2



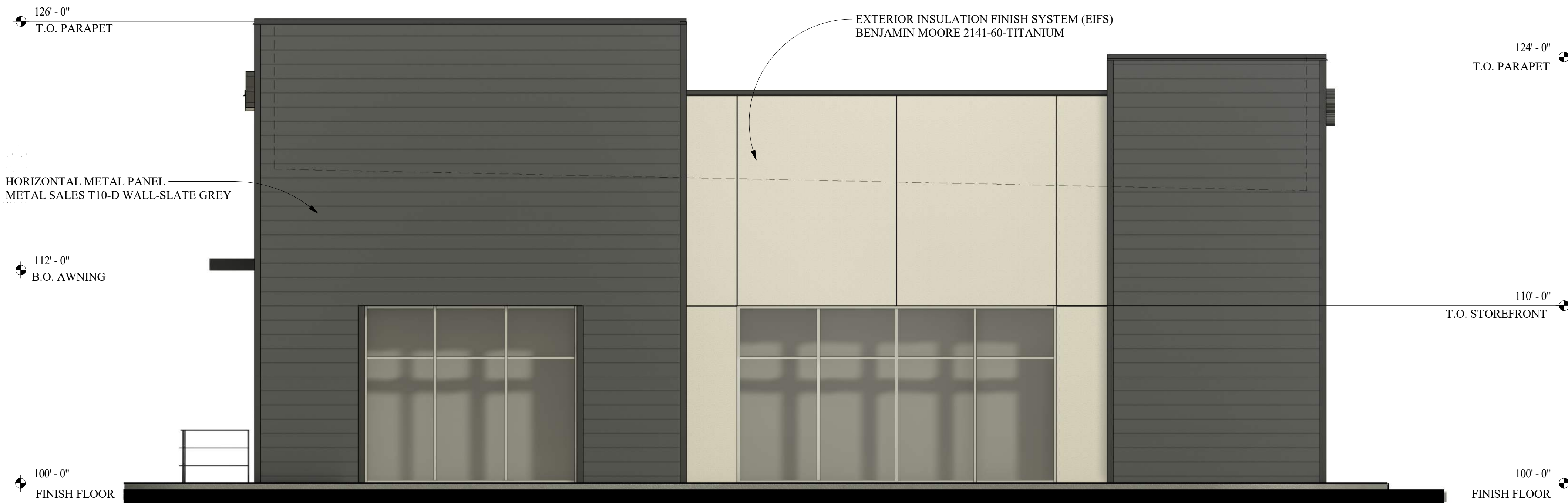
BLDG 'A' FRONT ELEVATION - SOUTH
1/4" = 1'-0"



BLDG 'A' LEFT ELEVATION - WEST
1/4" = 1'-0"



BLDG 'A' REAR ELEVATION - NORTH
1/4" = 1'-0"



BLDG 'A' RIGHT ELEVATION - EAST
1/4" = 1'-0"

GENERAL NOTES

1. ROOFTOP EQUIPMENT TO BE SCREENED BY BUILDING PERIMETER PARAPETS. DASHED LINE INDICATES FINISHED ROOF HEIGHT BEYOND PARAPETS.

REVISIONS

Δ ALL COMMENTS 05/30/25

ARCH. PROJECT NO.

2420

DRAWN

DM

CHECKED

NC

SUBMITTAL DATES

OTB DATE

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NATHAN P. COOMBS
ARCHITECT
IN PARTNERSHIP WITH
PETERSEN • STAGGS
5700 W. STATE STREET, ROSE, IDAHO
PHONE 208-345-1462 FAX 208-345-1532
psa@psarch.com

COMMERCIAL BUILDING PAD
DEVELOPMENT
W. BUENA VISTA BLVD.
WASHINGTON CITY, UTAH

WinCo
Foods

SHEET TITLE

BUILDING 'A'
EXTERIOR
ELEVATIONS

SHEET

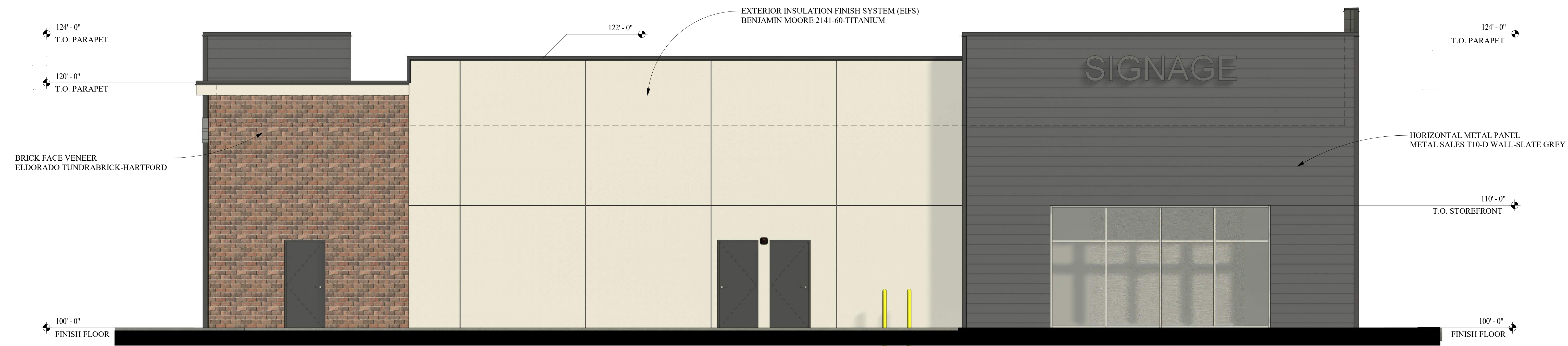
A4



BLDG 'B' FRONT ELEVATION - SOUTH
1/4" = 1'-0"



BLDG 'B' LEFT ELEVATION - WEST
1/4" = 1'-0"



BLDG 'B' REAR ELEVATION - NORTH
1/4" = 1'-0"



BLDG 'B' RIGHT ELEVATION - EAST
1/4" = 1'-0"

GENERAL NOTES

1. ROOFTOP EQUIPMENT TO BE SCREENED BY BUILDING PERIMETER PARAPETS. DASHED LINE INDICATES FINISHED ROOF HEIGHT BEYOND PARAPETS.

REVISIONS

ADD COMMENTS 05/30/25

ARCH. PROJECT NO.

2420

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DM

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NC

SUBMITTAL DATES

OTB DATE

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psa@psarch.com

COMMERCIAL BUILDING PAD
DEVELOPMENT
W. BUENA VISTA BLVD.
WASHINGTON CITY, UTAH

WinCo
Foods

SHEET TITLE

BUILDING 'B'
EXTERIOR
ELEVATIONS

SHEET

A4.1



PERSPECTIVE - BLDG 'A' NORTHEAST



PERSPECTIVE - BLDG 'A' SOUTHEAST

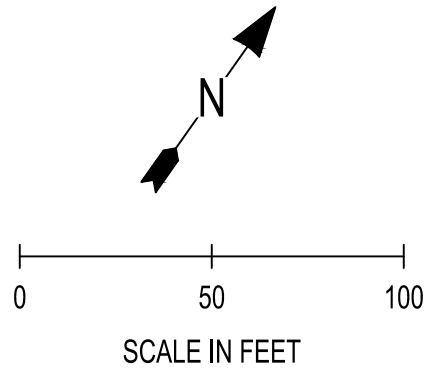
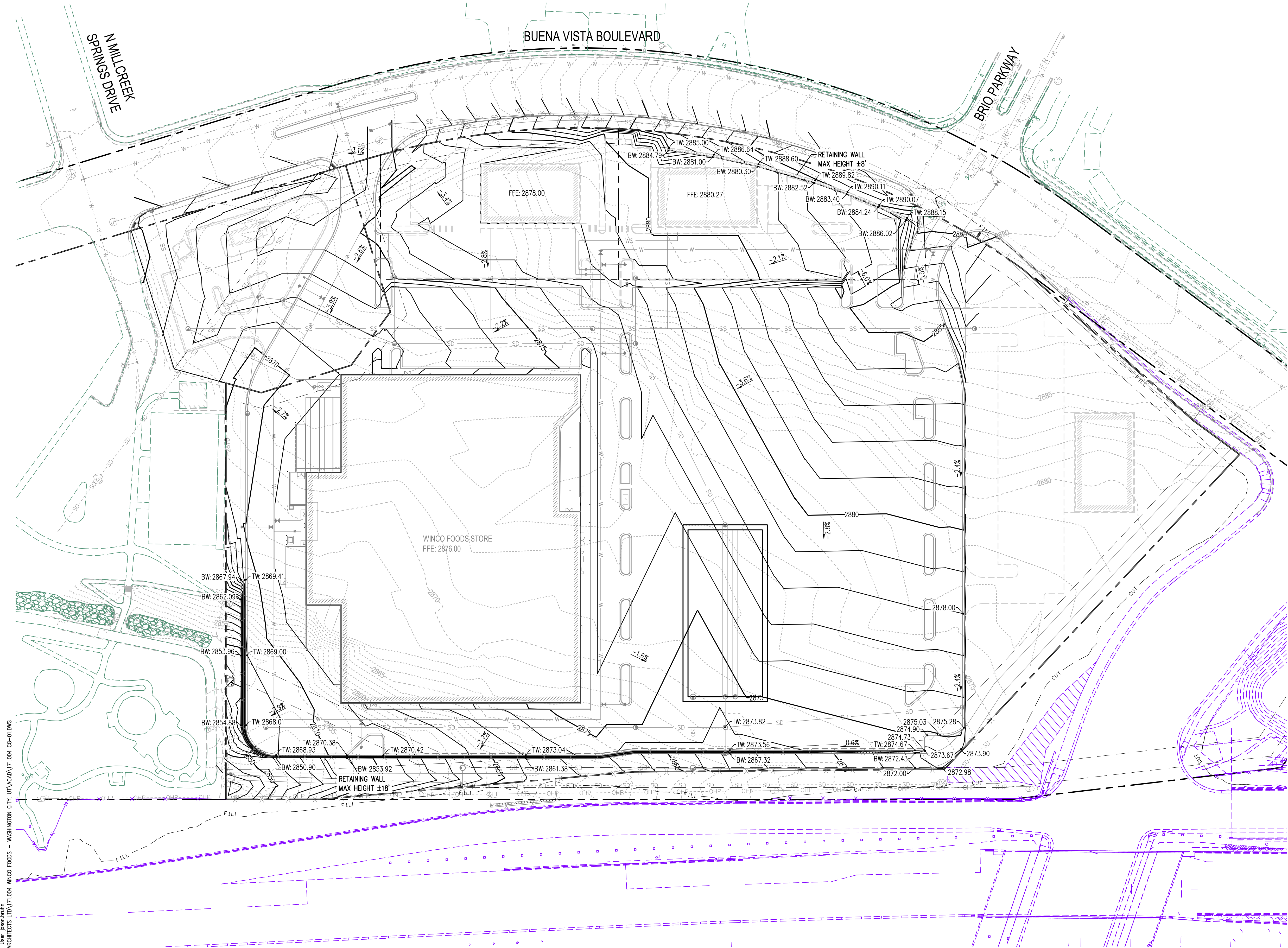


PERSPECTIVE - BLDG 'B' NORTHWEST



PERSPECTIVE - BLDG 'B' SOUTHWEST

REVISIONS	
ARCH. PROJECT NO. 2420	
DRAWN N.C.	
CHECKED N.C.	
SUBMITTAL DATES	
OTB DATE	
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NATHAN P. COOMBS ARCHITECT IN PARTNERSHIP WITH PETERSEN • STAGGS 5700 W. STATE STREET, BOISE, IDAHO PHONE 208-345-1462 FAX 208-345-1532 psa@psarch.com	
COMMERCIAL BUILDING PAD DEVELOPMENT W. BUENA VISTA BLVD. WASHINGTON CITY, UTAH	
WinCo Foods	
SHEET TITLE BUILDING PERSPECTIVES	
SHEET A4.2	

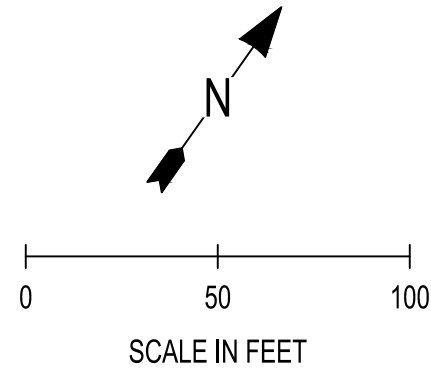
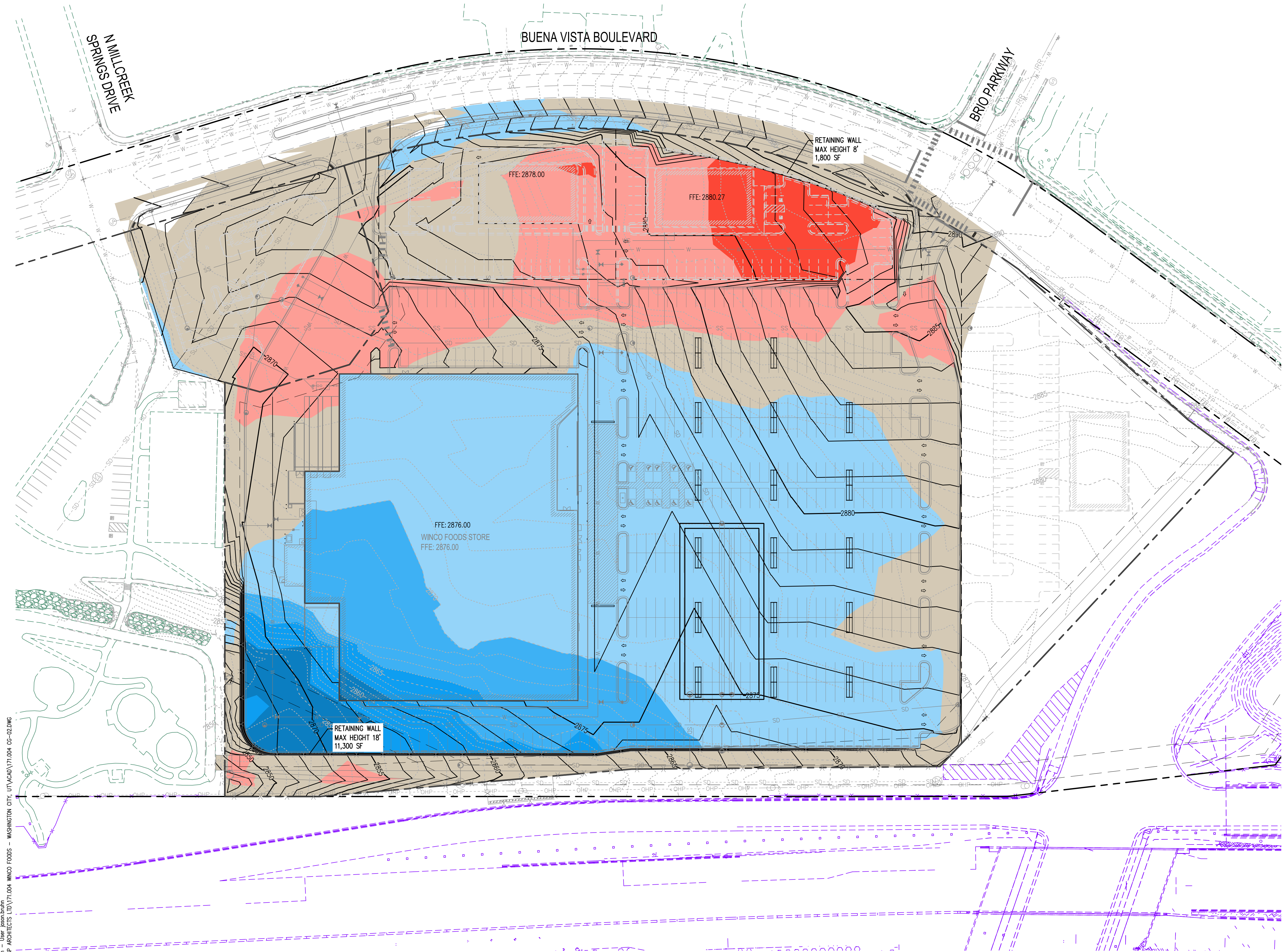


LEGEND	
	PROPERTY LINE
	EASEMENT LINE: SEE SV-01
	EXISTING CONTOURS (MAJOR/MINOR)
	PROPOSED CONTOURS (MAJOR/MINOR)
	GRADE BREAK
	SLOPE LABEL
	PROPOSED WALL

Aug 19, 2024, 2:54:57PM - User: jason.bruhn
N:\1 - PROJECTS\171 RSP ARCHITECTS LTD\171.004 WINCO FOODS - WASHINGTON CITY, UT\ACAD\171.004 CG-01.DWG

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
PROJECT NO. 171.004	<div><div>JSA CIVIL</div><div>Engineering Planning Management</div><div>111 TUMWATER BLVD SE, SUITE C210</div><div>TUMWATER, WA 98512</div></div>
DRAWN R. SATAK	
CHECKED J. BRUHN	
SUBMITTAL DATES	
OTB DATE	
WINCO FOODS STORE W. BUENA VISTA BLVD. & N. MAIN STREET WASHINGTON, UT	
<div><div></div><div>Preliminary</div><div>7/10/2024</div></div>	
WinCo Foods	
SHEET TITLE CONCEPTUAL GRADING PLAN	
SHEET CG-01	



- LEGEND**
- PROPERTY LINE
 - EASEMENT LINE: SEE SV-01
 - EXISTING CONTOURS (MAJOR/MINOR)
 - PROPOSED CONTOURS (MAJOR/MINOR)
 - GRADE BREAK
 - SPOT ELEVATION
 - SLOPE LABEL

GRADING QUANTITIES

CUT: 20,000 CY
FILL: 46,000 CY

ELEVATIONS TABLE				
NUMBER	MINIMUM ELEVATION	MAXIMUM ELEVATION	AREA	COLOR
1	-10.00	-6.00	0.00	
2	-6.00	-2.00	0.00	
3	-2.00	2.00	0.00	
4	2.00	6.00	0.00	
5	6.00	10.00	0.00	
6	10.00	14.00	0.00	
7	14.00	18.00	0.00	
8	18.00	22.00	0.00	

Aug 19, 2024, 2:56:34PM - User: jason.bruhn
N:\ - PROJECTS\171 RSP ARCHITECTS LTD\171.004 WINCO FOODS - WASHINGTON CITY, UT\ACAD\171.004 CG-02.DWG

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

PROJECT NO:
171.004
DRAWN:
R. SATAK
CHECKED:
J. BRUHN
SUBMITTAL DATES:

--	--

OTB DATE:
-

JSA CIVIL

Engineering | Planning | Management
111 TUMWATER BLVD SE, SUITE C210
TUMWATER, WA 98512

STAMP

PROFESSOR OF CIVIL ENGINEERING
886400
Preliminary
7/10/2024

WINCO FOODS STORE
W. BUENA VISTA BLVD. &
N. MAIN STREET
WASHINGTON, UT

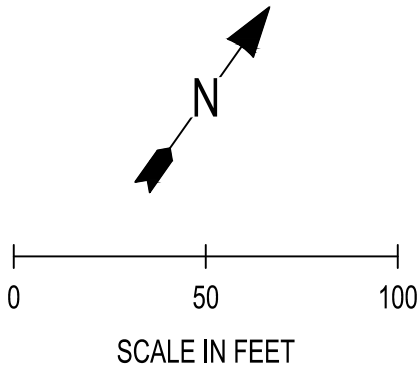
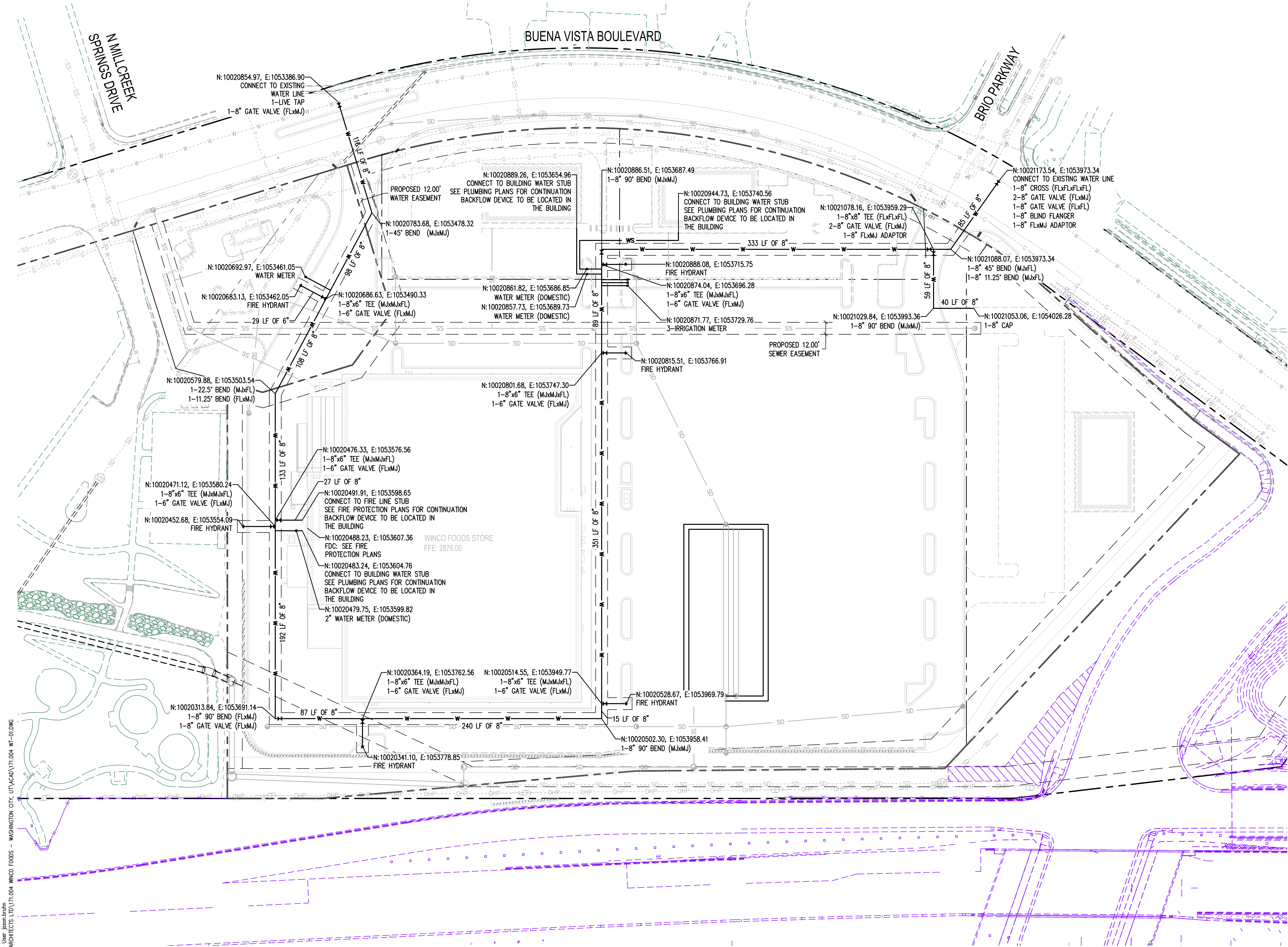
WinCo
Foods

SHEET TITLE

CONCEPTUAL
GRADING HEAT MAP

SHEET

CG-02



LEGEND

- PROPERTY LINE
- EASEMENT LINE: SEE SV-01
- EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING GATE VALVE
- EXISTING FIRE HYDRANT
- PROPOSED BUILDING
- CEMENT CONCRETE CURB & GUTTER
- SD STORM LINE
- SS SEWER LINE
- W WATER LINE
- WS SERVICE LINE
- WATER METER
- GATE VALVE
- FIRE HYDRANT

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Aug 19, 2024, 2:08:49pm - User: jason.bruhn
N:\1 - PROJECTS\171 RSP ARCHITECTS LTD\171.004 WINCO FOODS - WASHINGTON CITY, UT\ACAD\171.004 WF-01.DWG

REVISIONS

PROJECT NO.
171.004

DRAWN
R. SATAK

CHECKED
J. BRUHN

SUBMITTAL DATES

OTB DATE

JSA CIVIL

Engineering | Planning | Management

111 TUMWATER BLVD SE, SUITE C210
TUMWATER, WA 98512

STAMP

PROFESSIONAL SEAL
JASON BRUHN
886400
Branch
OF UTAH
7/10/2024

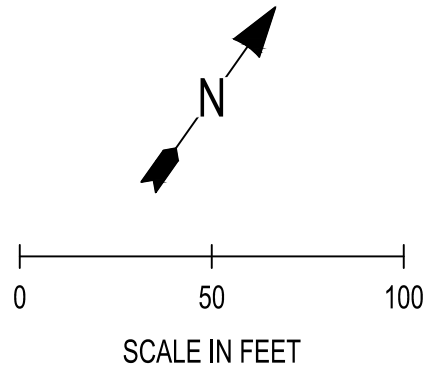
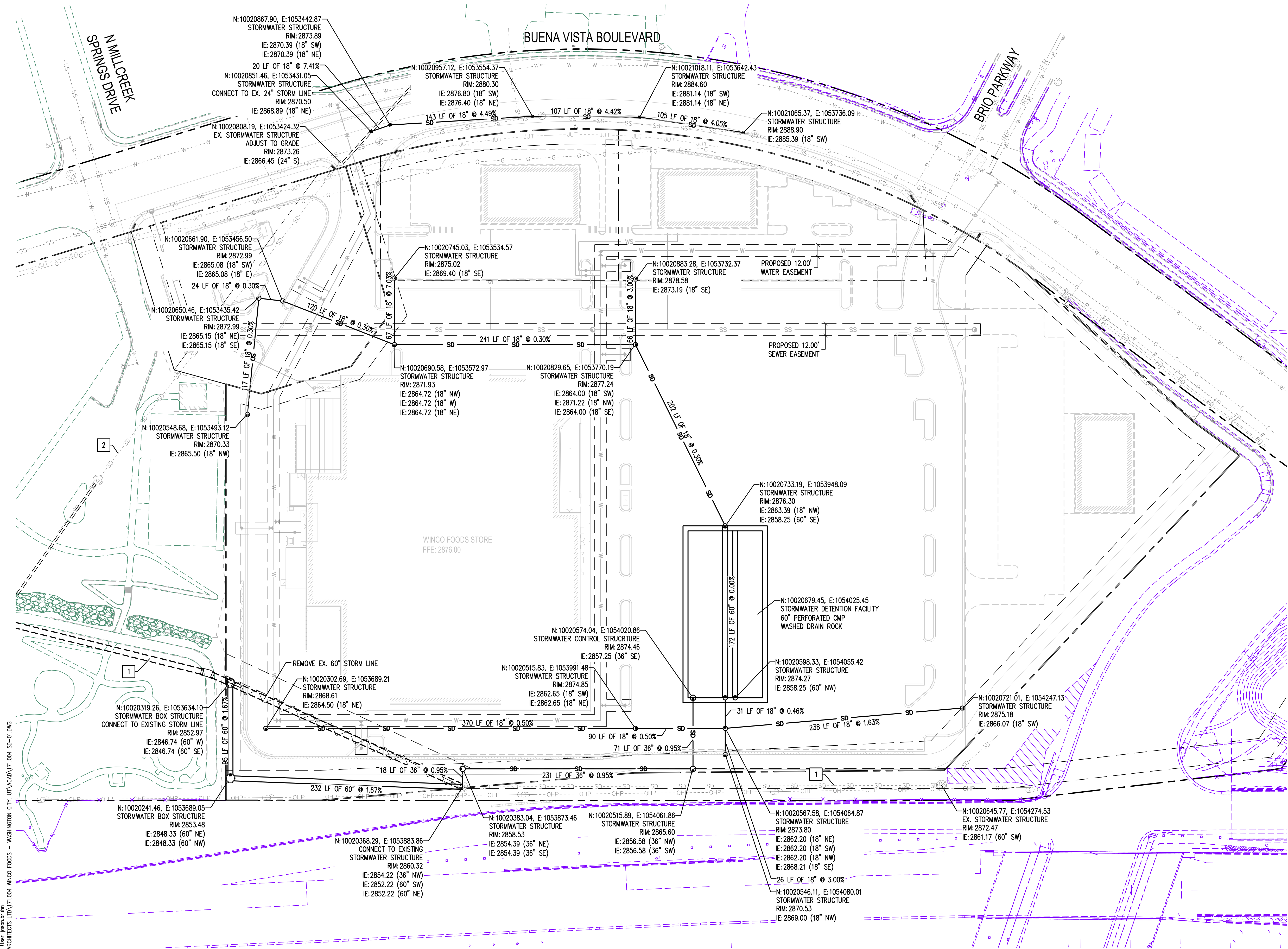
WINCO FOODS STORE
W. BUENA VISTA BLVD. &
N. MAIN STREET
WASHINGTON, UT

WinCo

FOODS

SHEET TITLE
PRELIMINARY
WATER PLAN

SHEET
WT-01



LEGEND

- PROPERTY LINE
- EASEMENT LINE: SEE SV-01
- PROPOSED LOT LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING STORM LINE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- PROPOSED BUILDING
- CEMENT CONCRETE CURB & GUTTER
- WATER LINE
- WATER SERVICE LINE
- SEWER LINE
- STORM LINE UNLESS OTHERWISE NOTED
- STORMWATER STRUCTURE

CONSTRUCTION NOTES:

- EXISTING 60" STORM PIPE
- EXISTING 24" STORM PIPE

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

PROJECT NO:
171.004

DRAWN:
R. SATAK

CHECKED:
J. BRUHN

SUBMITTAL DATES

OTB DATE

Engineering | Planning | Management
111 TUMWATER BLVD SE, SUITE C210
TUMWATER, WA 98512

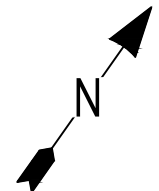
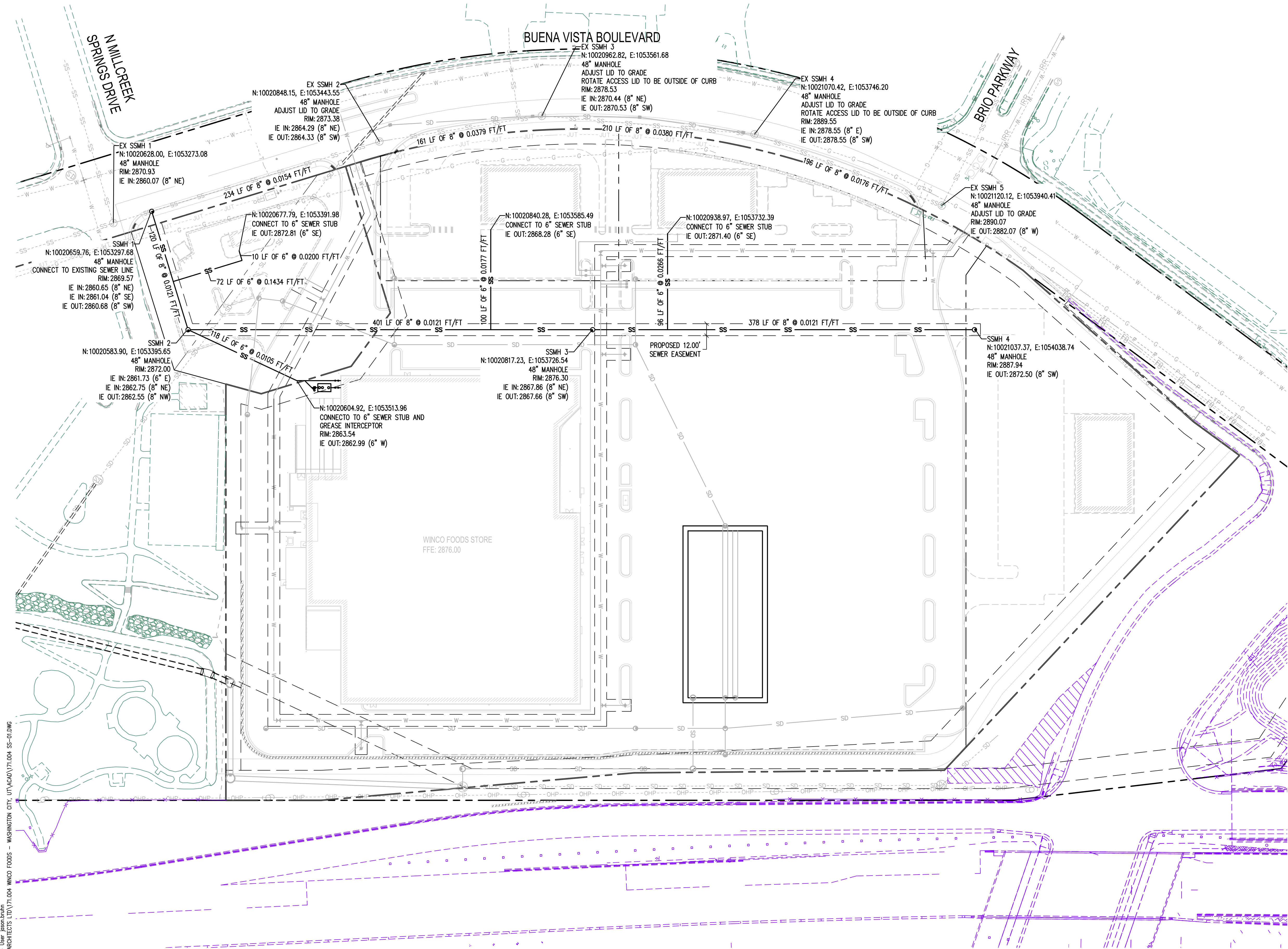
Stamp: JSA CIVIL, 886400, Preliminary, OF UTAH, 7/10/2024

WINCO FOODS STORE
W. BUENA VISTA BLVD. &
N. MAIN STREET
WASHINGTON, UT

WinCo Foods

SHEET TITLE:
PRELIMINARY
STORM PLAN

SHEET
SD-01



0 50 100
SCALE IN FEET

LEGEND

- PROPERTY LIN
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- PROPOSED BUILDING
- CEMENT CONCRETE CURB & GUTTER
- STORM LINE
- WATER LINE
- WATER SERVICE LINE
- ASTM 3034 SDR 35 PVC UNLESS OTHERWISE NOTED
- SEWER CLEANOUT
- GREASE INTERCEPTOR
- SEWER MANHOLE

Aug 19, 2024, 2:52:26pm - User: jason.brubaker
N:\1 - PROJECTS\171 RSP ARCHITECTS LTD\171.004 WINCO FOODS - WASHINGTON CITY, UT\ACAD\171.004 SS-01.DWG

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

PROJECT NO.
171.004
DRAWN
R. SATAK
CHECKED
J. BRUHN
SUBMITTAL DATES

OTB DATE

JSA CIVIL
Engineering | Planning | Management
111 TUMWATER BLVD SE, SUITE C210
TUMWATER, WA 98512



WINCO FOODS STORE
W. BUENA VISTA BLVD. &
N. MAIN STREET
WASHINGTON, UT

**WinCo
Foods**

SHEET TITLE
PRELIMINARY
SEWER PLAN

SHEET

SS-01

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE:	June 18th, 2025
ACTION REQUESTED:	C-25-05, A request for a Conditional Use Permit for a new commercial building located at Washington Fields Rd and Hayfield Drive
APPLICANT:	Matix Corporation on behalf of M&C Warren Investments, LLC
OWNER:	M&C Warren Investments, LLC
ENGINEER:	Chris Patten - Matix Corporation
REVIEWED BY:	Eldon Gibb - Community Development Assistant Director
RECOMMENDATION:	Recommend approval with conditions onto City Council

Background

The applicant is requesting approval of a Conditional Use Permit to build a performance fitness building located on the corner of Washington Fields Road and Hayfield Drive. Commercial development adjacent to Washington Fields Road is required to obtain conditional use permit approval.

As shown in the exhibit, the building is approximately 9,756 sq. ft on the main floor and 9,723 sq. ft on the second floor for a combined sq. ft of 19,479. The proposed building meets the minimum setbacks (20' foot street side and 10' foot rear) and height (proposed 38" feet) requirement for this zone (C-1). The proposal includes a landscape plan and exterior building materials which are aesthetically pleasing. The exterior materials include stucco, metal paneling and wood accents. A 6' foot privacy fence is required along the southern/eastern boundary line due to the adjacent A-20 zone and the applicant is showing the privacy wall to the south. Due to sight distance requirements and to match the Junction development to the north, a 42" inch wall is being proposed adjacent to Washington Fields Road up to the sight distance line.

This will be the 3rd location in Southern Utah for performance fitness and they are proposing 1 parking space for every 238 sq. ft of building which is in line with business / office and retail use requirements of 1 space for every 250 sq. ft of building. The performance fitness location in Hurricane provides 1 space for every 200 sq. ft of building and the St George location provides 1 space for every 293 sq. ft of building. The applicant has noted the parking for these established buildings are effective and even overparked during peak hours.

The parcel is zoned C-1. Surrounding zoning is C-1 to the north and west and A-20 to the east and south. Staff has reviewed the proposed project and finds that it meets the standards outlined in the Zoning Ordinance.

Recommendation

Staff recommends that the Planning Commission recommend approval of C-25-05, based on the following findings and subject to the following conditions, onto City Council:

Findings

1. The proposed use, at the particular location, provides a service or facility which will contribute to the general well being of the neighborhood and community; and
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and
3. The proposed use will comply with the regulations and conditions specified in this title for such use; and
4. The proposed use will conform to the intent of the general plan.

Conditions

1. Any site improvements shall meet or exceed the requirements of City and State adopted codes including, but not limited to, the Building and Fire Codes of Washington City.
2. The development of the site shall comply with the development as approved in the exhibits provided along with the development standards found in the C-1 Zone and this Conditional Use Permit.
3. Development of the site shall comply with the recommendations of a geotechnical study and drainage study. Improvements for the drainage and detention shall be approved by the Public Works Department prior to the issuance of building permits.
4. The applicant will submit a traffic impact study for review and approval by the Public Works Department. The City's Access Management Plan will be adhered to in the traffic design of the project.
5. A Post Construction Maintenance Agreement will need to be recorded prior to the issuance of a Certificate of Occupancy.

6. Any roof mounted equipment will be screened from view.
7. All signage will be in accordance with the adopted sign regulations of the city.
8. Any exterior lighting will be directed inward to the property.
9. Dumpster screening shall blend in with the surrounding development. Details for these items shall be submitted for review and approval prior to the issuance of associated/required permits. Live growth plants shall be used to help screen the refuse walls where applicable.
10. A detailed landscaping plan will be submitted for review and approval prior to any landscaping being installed throughout the project. The landscaping will adhere to the city's water conservation ordinance.
11. Construction drawings will need to be submitted for review and approval, prior to any work being done on the site.
12. The parking will be adhered to as presented in the exhibits of this application.



June 3, 2025

Business Narrative for Performance Fitness Building Project

As part of the Conditional Use Permit for Washington City, UT

Business Name: **Performance Fitness 24/7 LLC**
Business Address: 587 N 600 W, St. George, UT 84770
Business Type: Public Fitness Gym
Hours of Operation: Open 24 hours a day, 7 days a week
Employees: Fewer than 10

Business Description:

Performance Fitness 24/7 LLC operates as a full-service fitness gym open to the public 24 hours a day, seven days a week. The facility offers a wide range of gym equipment, including cardio machines, strength training equipment, free weights, and functional training areas. Additional amenities include restrooms with showers, locker rooms, massage beds, tanning beds, and saunas to enhance member comfort and convenience.

The business currently operates three locations in southern Utah, with the newest facility under development in Washington City. All locations are designed to offer clean, safe, and fully equipped fitness environments with around-the-clock access, using secure facial recognition entry systems. The model is centered on flexible, self-directed fitness for members of all levels.

The gym serves individuals throughout the community, providing a reliable and modern environment for health and wellness. While the gym primarily operates on a self-serve basis, limited personal training or wellness support may be offered based on staff availability. Staffing is minimal, with fewer than 10 employees supporting all locations.

Parking Analysis:

Parking for the new Washington City facility was determined using the city's standard requirements outlined in City Code Section 9-16-5. While the code does not include a specific parking ratio for fitness or recreational use buildings, the most comparable category—business and professional offices—provides a baseline ratio of 1 space per 250 square feet. This method was used as the basis for calculating required parking at this location. The result is 78 stalls and 82 are provided. This same approach was applied at the company's other two locations, both of which are effectively over parked during peak hours:

- Hurricane Location: ~11,000 SF (with recent addition) & 55 stalls. This exceeds the required parking by approximately 9–10 stalls. The parking lot is rarely full, even during peak hours, and has consistently accommodated members without issue.
- St. George Location: ~12,000 SF & 41 stalls. Although this site was acquired as an existing building, the available parking has proven to be more than adequate. There have been no concerns regarding parking availability.

Business and Project Narrative

Across all locations, actual usage remains well below capacity due to the 24/7 model, which spreads traffic evenly throughout the day. The parking plan for Washington City meets city code and is expected to more than satisfy demand.

General Plan Compatibility:

The Washington City facility aligns with the city's General Plan in both land use and architecture. It is located in a commercial zone and designed to complement surrounding development.

The project supports community health, wellness, and local economic growth while maintaining low noise, low impact, and no outdoor activity—making it a fitting and beneficial addition to the area.

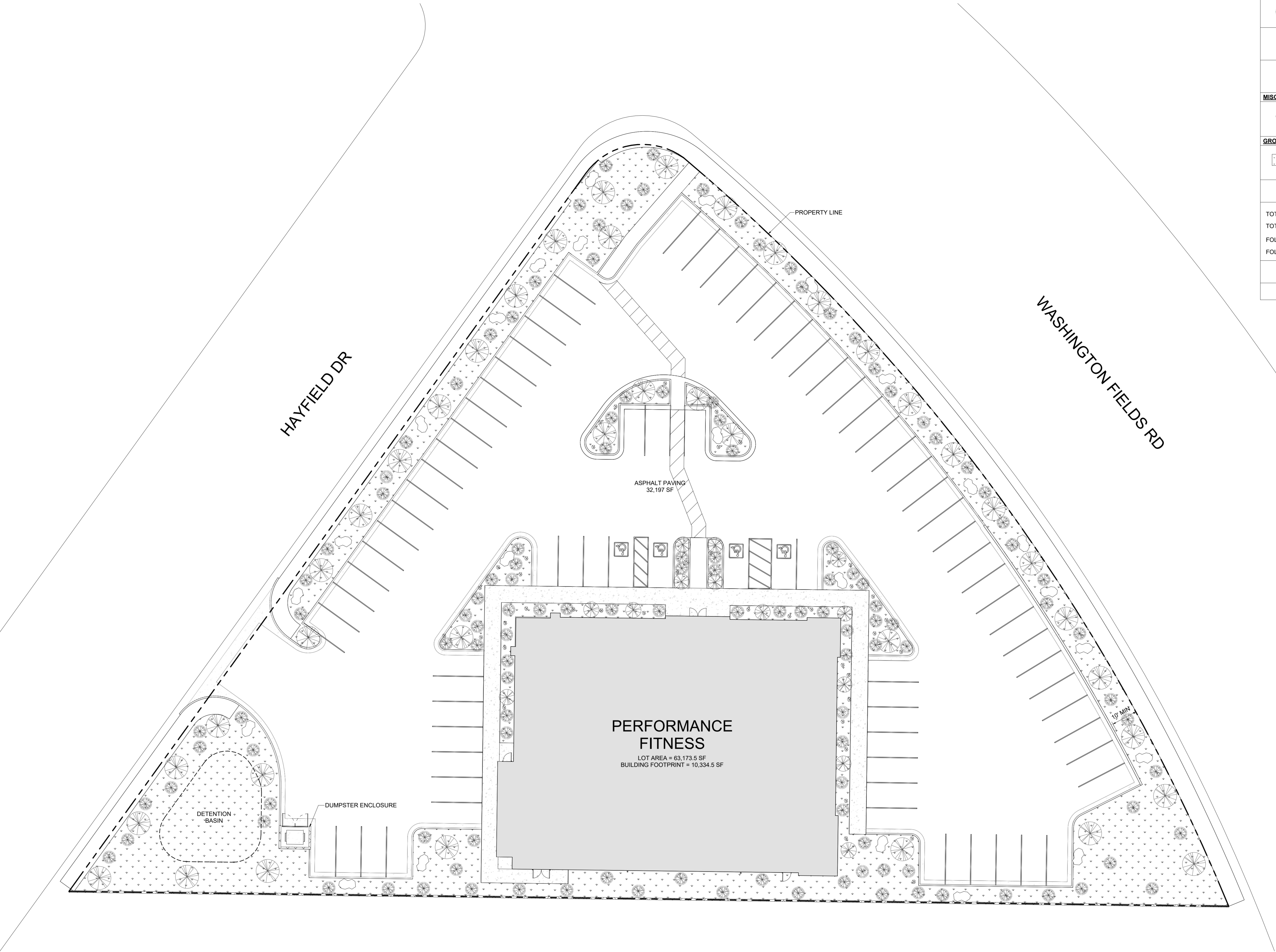
Conclusion:

A 24/7 fitness facility is in high demand and brings consistent foot traffic that benefits nearby businesses, especially food, beverage, and personal service providers. It creates opportunities for increased customer visits and a stronger commercial synergy.





**PROJECT FLOW CARD: C-25-05 - Conditional Use Permit - Performance Fitness
Washington Fields Rd & Hayfield Dr**

Planning	Reviewed. Ok to move forward	
Public Works	Reviewed - Items addressed - Basic PW/utility layout is acceptable for CUP request. Modifications may be required during grading permit and construction plan submissions.	
Engineer	Reviewed and no major concerns for a CUP.	
Fire Dept.	Reviewed no concerns	
Parks/Trails	Reviewed no concerns	
Building Dept	Reviewed no concerns	
Dixie Power	Reviewed no concerns	
Economic Dev	Economic development staff supports this project in this commercial area. A 24/7 fitness facility is in high demand and brings consistent foot traffic that benefits nearby businesses—especially food, beverage, and personal service providers—by creating opportunities for increased customer visits and a stronger commercial synergy. RH	



TREES	BOTANICAL / COMMON NAME	SIZE	QUANTITY
	SYRINGA RETICULATA / JAPANESE TREE LILAC MATURE SIZE: HEIGHT 20'-0" x WIDTH 20'-0"	24" BOX	40
	DASYLIRION WHEELERI / GREY DESERT SPOON MATURE SIZE: HEIGHT 4'-0" x WIDTH 3'-0"	5 GALLON	140
	AGAVE UTAHENSIS / UTAH AGAVE MATURE SIZE: HEIGHT 2'-0" x WIDTH 2'-0"	5 GALLON	43

<u>MISC.</u>	<u>DESCRIPTION</u>		<u>QUANTITY</u>
	BASALT LANDSCAPE BOULDER RANGING FROM 5'-5" IN ANY ONE DIRECTION		24
<u>GROUND COVER</u>	<u>DESCRIPTION</u>	<u>CONTENT</u>	<u>QUANTITY</u>
	ROCK MULCH (1) / 1" MINUS APACHE GOLD ROCK MULCH INCLUDE WEED BARRIER FABRIC	MULCH	20,500 SQ FT

TOTAL LANDSCAPING REQUIRED:	5% OF TOTAL LOT AREA = <u>3,159 SQ FT</u>
TOTAL LANDSCAPING PROVIDED:	16,907 SQ FT
FOLIAGE COVERAGE REQUIRED:	8,454 SQ FT
FOLIAGE COVERAGE PROVIDED:	9,699 SQ FT

A. PROVIDE BACK FLOW PREVENTORS FOR THE LANDSCAPE IRRIGATION SYSTEM

A. PROVIDE BACK FLOW PREVENTORS FOR THE LANDSCAPE IRRIGATION SYSTEM

[illegible]

PERFORMANCE FITNESS
FITNESS BUILDING
WASHINGTON FIELDS RD AND HAYFIELD DR
WASHINGTON UT

LANDSCAPE
LANDSCAPE PLAN

PROJECT NUMBER: 10299	DESIGN: SRP
DATE: JUNE 2025	DRAWN: DRV
SCALE: AS SHOWN	APPROVED: CDP

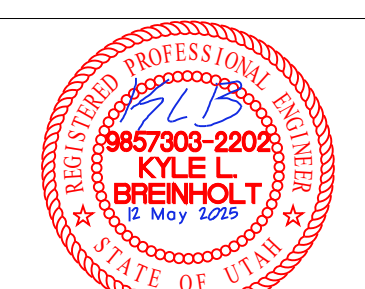
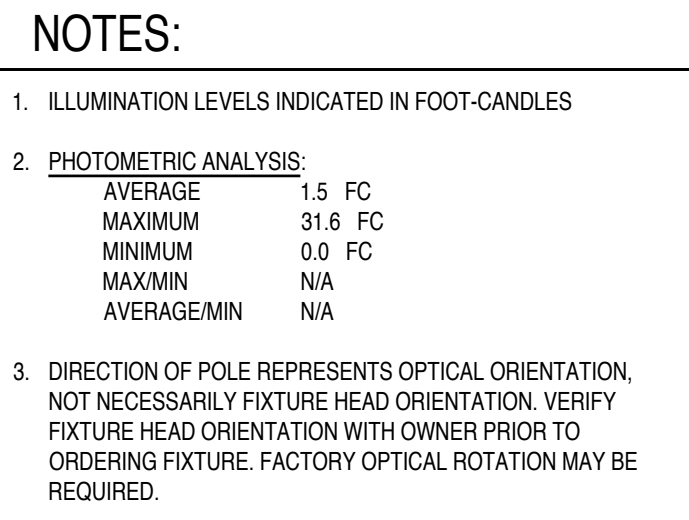
DRAWING NO.

L101

PLOT DATE: 6/4/2025 9:29:00 AM

LANDSCAPE PLAN

$$1/16'' = 1'-0''$$

[illegible]ELECTRICAL
SITE PHOTOMETRIC

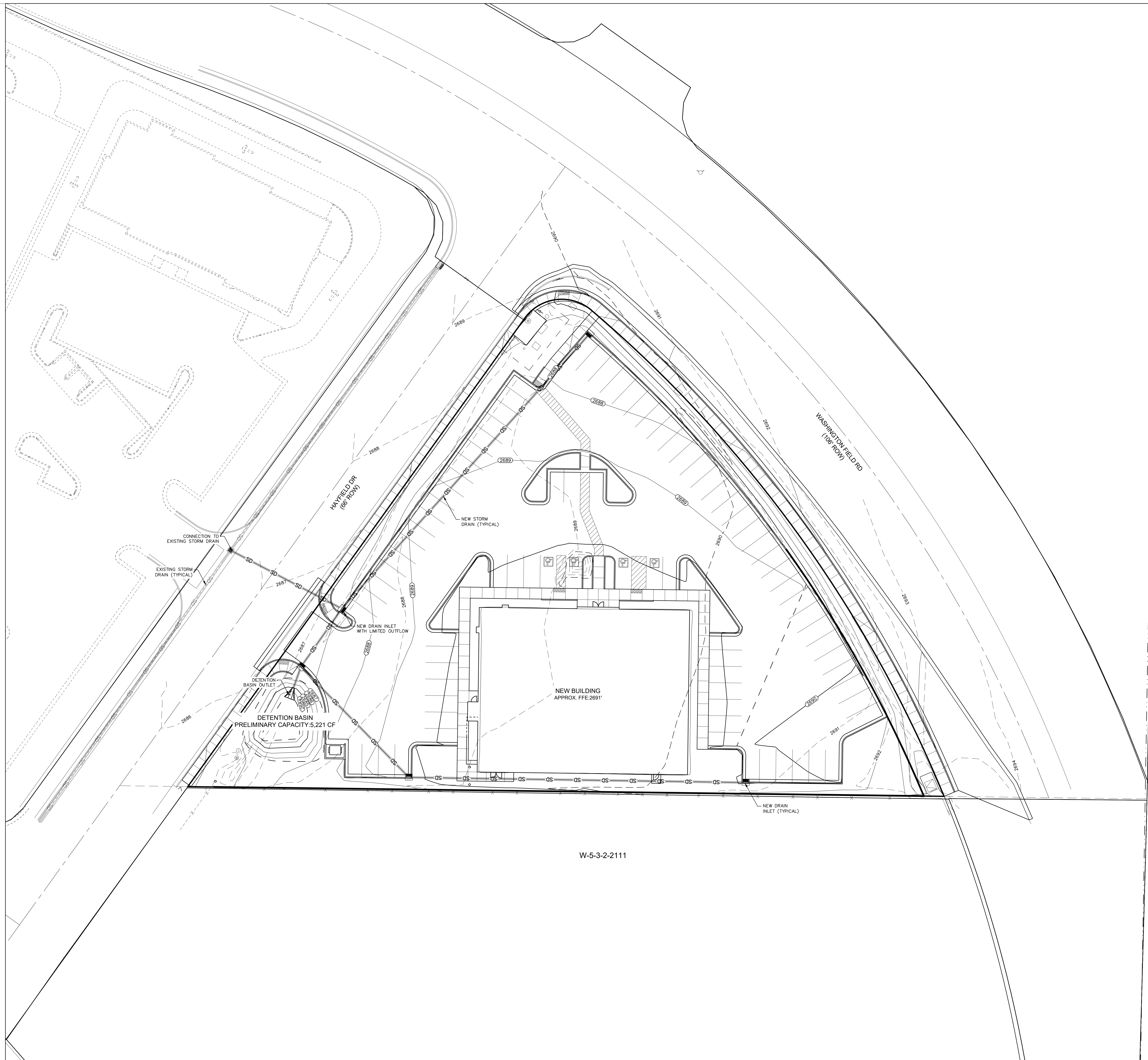
DESIGN:

BREIN HOLT

POWER ENGINEERING, PLLC
805 SOUTH 1430 WEST, LEHI UT 84043
(801) 367-5180 PROJECT BPE2561

DATE: May 2025	PROJECT NUMBER: 10304
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DRAWING NO.
ES102



PRELIMINARY DRAINAGE CALCULATIONS

SITE AREA: 1.45 AC

METHOD: RATIONAL METHOD
 $Q = CIA$

STORM EVENT: 100-YR, 3-HR

PRE-DEVELOPMENT

C, RATIONAL COEFFICIENT	0.6
I, RAINFALL INTENSITY	1.65 IN/HR
Q, PEAK FLOW	1.44 CFS

POST-DEVELOPMENT

C, RATIONAL COEFFICIENT	0.48 (20% DESERT LANDSCAPE, 80% IMPERVIOUS)
I, RAINFALL INTENSITY	1.65 IN/HR
Q, PEAK FLOW	1.92 CFS

INCREASE IN PEAK FLOW 0.48 CFS

REQUIRED DETENTION

$V = \text{decrease } x \text{ STORM DURATION}$
 $V = 0.48 \text{ CFS } x 3 \text{ HOURS}$
 $V = 0.22 \text{ CF}$

A PRELIMINARY HYDROLOGIC ANALYSIS WAS COMPLETED FOR THE PERFORMANCE FITNESS BUILDING PROJECT, LOCATED AT THE CORNER OF HAYFIELD DRIVE AND WASHINGTON FIELDS ROAD IN WASHINGTON, WY. THE ANALYSIS WAS CONDUCTED TO ESTIMATE THE INCREASE IN PEAK RUNOFF RESULTING FROM SITE DEVELOPMENT AND TO DETERMINE AN INITIAL DETENTION VOLUME REQUIRED TO MITIGATE POST-DEVELOPMENT FLOWS TO PRE-DEVELOPMENT CONDITIONS. THE ANALYSIS WAS PERFORMED USING THE RATIONAL METHOD. A STANDARD APPROACH FOR ESTIMATING PEAK DISCHARGE IN SMALL URBAN WATERSHEDS.

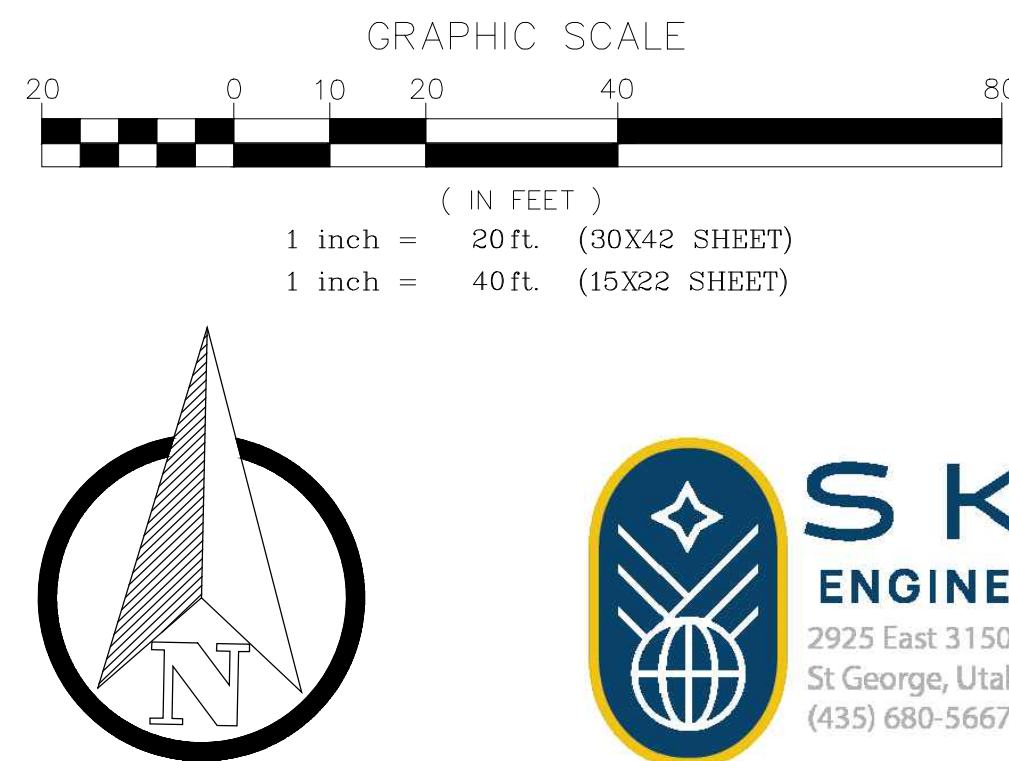
AS SHOWN ON THE ACCOMPANYING PLAN, WHICH INCLUDES THE PROPOSED SITE LAYOUT AND EXISTING GRADE CONTOURS, THE TOTAL CONTRIBUTING AREA IS APPROXIMATELY 1.45 ACRES. POST-DEVELOPMENT, THE TOTAL PEAK DISCHARGE WILL CONSIST OF DESERT LANDSCAPING, WITH THE REMAINING 1.12 ACRES AS IMPERVIOUS SURFACES (ROOF AND PAVEMENT). ESTIMATED RUNOFF COEFFICIENTS OF 0.30 FOR DESERTIFIED AREAS AND 0.95 FOR IMPERVIOUS AREAS YIELD A WEIGHTED POST-DEVELOPMENT RUNOFF COEFFICIENT OF APPROXIMATELY 0.80. A PRE-DEVELOPMENT COEFFICIENT OF 0.60 WAS ASSUMED TO REFLECT EXISTING COMPACTED DESERT CONDITIONS, USING A 3-MINUTE DETENTION STORM WITH AN INTENSITY OF 1.65 IN/HR AND A TIME OF CONCENTRATION OF 5 MINUTES. THE RATIONAL METHOD ESTIMATES A POST-DEVELOPMENT PEAK FLOW OF 1.92 CFS COMPARED TO 1.44 CFS UNDER PRE-DEVELOPMENT CONDITIONS.

THE RESULTING INCREASE OF APPROXIMATELY 0.48 CFS SUGGESTS THAT 0.22 CUBIC FEET (0.12 ACRES) OF DETENTION STORAGE WOULD BE REQUIRED TO LIMIT POST-DEVELOPMENT PEAK FLOW TO PRE-DEVELOPMENT LEVELS DURING A 100-YR, 3-HOUR STORM EVENT. IT SHOULD BE NOTED THAT THE RATIONAL METHOD REQUIREMENTS ARE RECOMMENDED AS PROVIDING CONSERVATIVE PEAK FLOW ESTIMATES—PARTICULARLY IN SIMPLIFIED OR PRELIMINARY APPLICATIONS SUCH AS THIS. AS SUCH, THE DETENTION VOLUME IDENTIFIED HERE SHOULD BE CONSIDERED AN EARLY PLANNING TOOL FOR MEETING A MINIMUM REQUIREMENT. A MORE DETAILED HYDROLOGIC AND HYDRAULIC ANALYSIS WILL BE COMPLETED DURING FINAL DESIGN, AND THE FULL STORMWATER MANAGEMENT PLAN SUBMITTED TO THE CITY OF WASHINGTON FOR REVIEW AND APPROVAL, WITH THE CONSTRUCTION DRAWINGS.

[illegible]

PERFORMANCE FITNESS
FITNESS BUILDING
WASHINGTON FIELDS ROAD AND HAYFIELD DRIVE
WASHINGTON UT

CIVIL
PRELIMINARY
DRAINAGE ANALYSIS PLAN



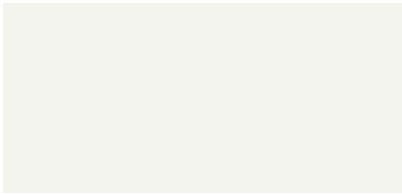
PROJECT NUMBER: 10300	DESIGN: JTM
DATE: 03 JUN 2025	DRAWN: -
SCALE: AS SHOWN	APPROVED: JTM
DRAWING NO. C301	



PERFORMANCE FITNESS BUILDING
MATERIAL SELECTION BOARD
S WASHINGTON FIELDS RD, WASHINGTON UT



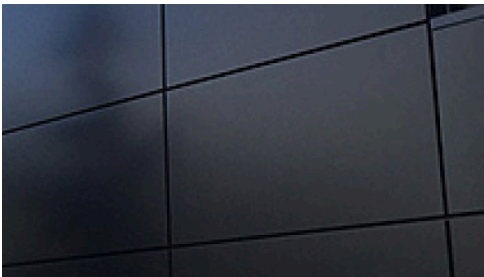
MATERIAL SELECTIONS



1 EFIS OR STUCCO
CONTRACTOR
SUPER WHITE OR 50% PEWTER



2 METAL R-PANEL VERTICAL
NUCOR BUILDINGS
CHARCOAL



3 ARCHITECTURAL C PANELS
CONTRACTOR
DARK CHARCOAL



4 WOOD ACCENT SIDING
CHAMCLAD
CHAI CEDAR



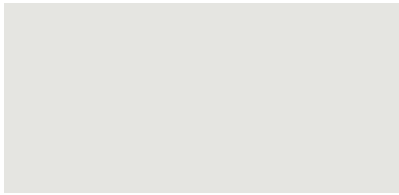
5 STOREFRONT WINDOWS & DOOR
CONTRACTOR
BLACK FRAME WITH WINDOW TINT



6 STEEL AWNING FACED WITH
ARCHITECTURAL PANELS - CLOSED
CONTRACTOR
BLACK POWDER COAT



7 SIGNAGE
OWNER
BLACK, WHITE, RED



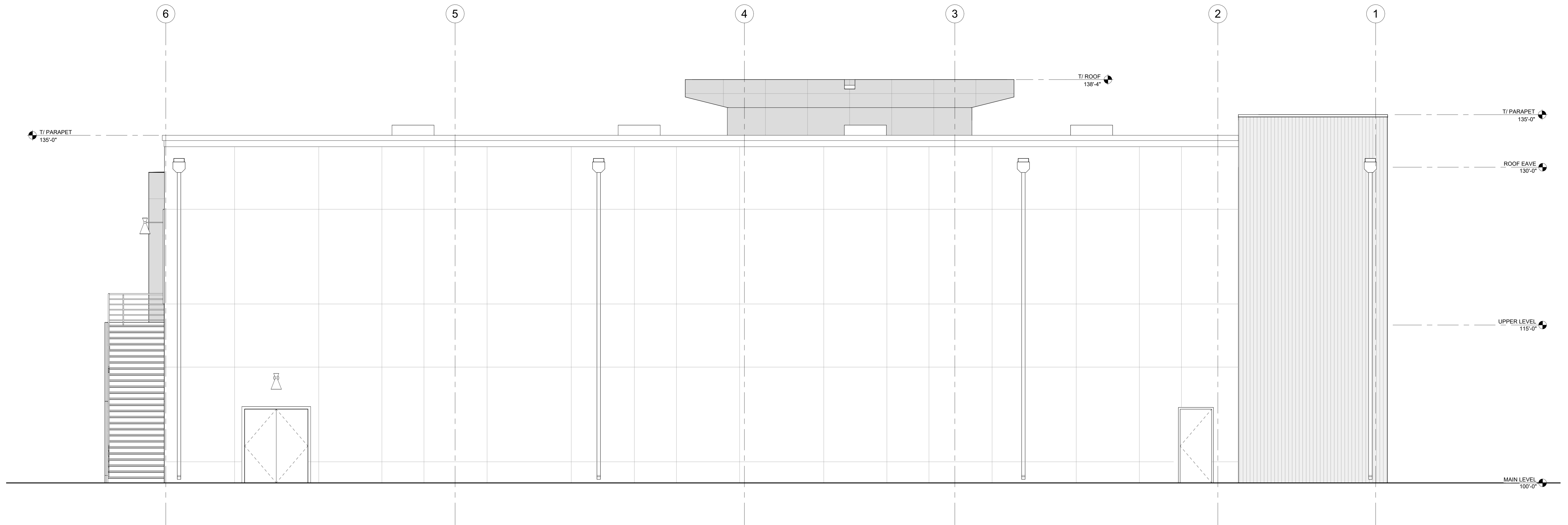
8 METAL PARAPET CAP & CROWN
CONTRACTOR
WARM WHITE

[illegible]

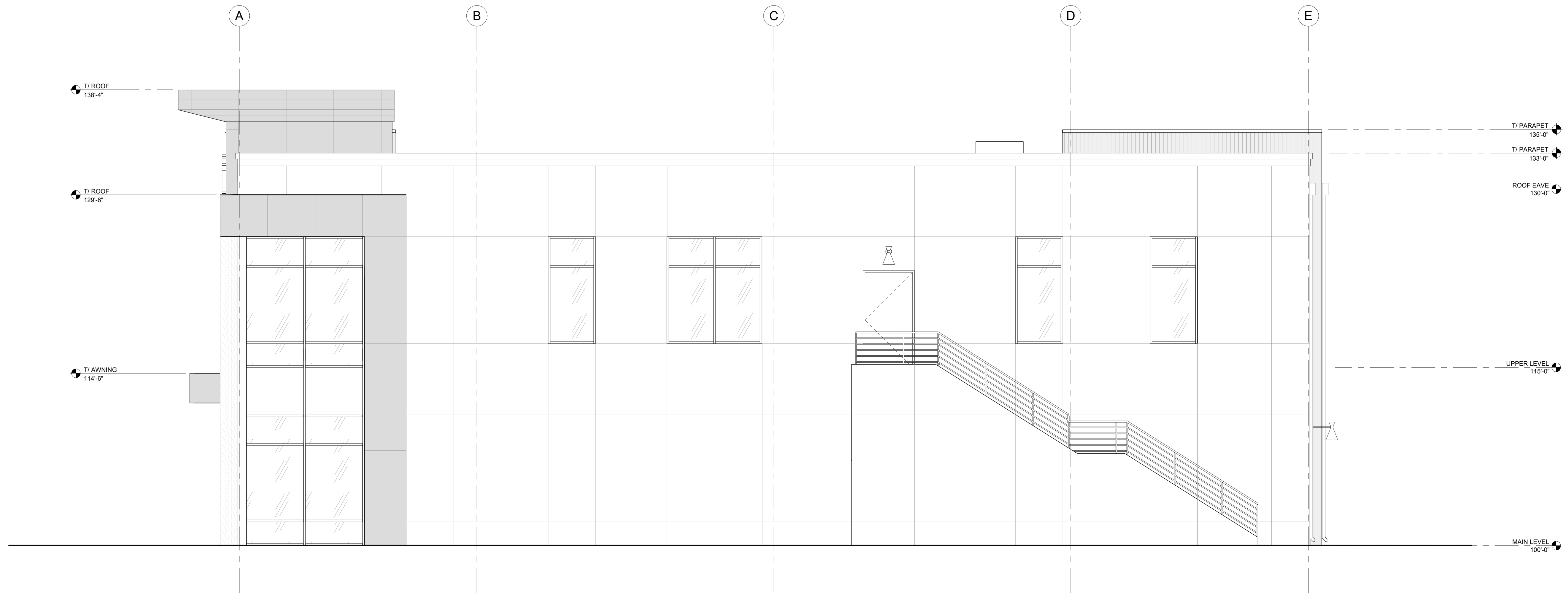
BUILDING ELEVATIONS

PROJECT NUMBER: 10299	DESIGN: Designer
DATE: RCH 2025	DRAWN: Author
SCALE: SHOWN	APPROVED: Approver

3202



1 NORTH ELEVATION



2 EAST ELEVATION
1/4" = 1'-0"

A. DIMENSIONS ARE TO FACE OF STEEL, FACE OF STUD, OR GRID LINE U.N.O.
B. DIMENSION FROM HINGE SIDE OF DOOR FRAME TO FINISHED WALL IS 4" UNLESS NOTED OTHERWISE.
C. REFER TO EXTERIOR ELEVATIONS FOR SILL WINDOW SILL HEIGHTS
D. SLOPE ALL GRADES AWAY FROM THE BUILDING 2" FOR FIRST 10'-0" FROM BUILDING
E. TEMPERED GLASS REQUIRED FOR WINDOWS WITHIN 24" OF DOORS, LESS THAN 5'-0" ABOVE FLOOR WHERE LOCATED WITHIN 5'-0" OF BATHTUB, SHOWER OR POOL AND LESS THAN 36" ABOVE STAIRWAY TREADS OR STAIR LANDINGS THAT ARE WITHIN 5'-0" OF BOTTOM TRAIL
F. EQUIPMENT, FURNITURE, CABINERY AND CASEWORK SHOWN FOR REFERENCE ONLY - COORDINATE FINAL DESIGN AND FINISH WITH OWNER.

PATTERN	DESCRIPTION
	STEEL STUDS @ 16" O.C., REFER TO WALL TYPES
	DENOTES WALLS TO RECEIVE SOUND ATTENUATING BATT INSULATION - SEE WALL TYPES FOR THERMAL INSULATION

[illegible]

BUILDING

UPPER LEVEL FLOOR PLAN

DRAWING NO.
B102

- A. COORDINATE LOCATIONS OF VENTS WITH OWNER.
- B. ROOF DRAINS AND HORIZONTAL PIPING SIZED PER THE 2021 IPC, TABLE 1106.2 AT 4 INCHES PER HOUR RAINFALL, TYPICAL.
- C. VERTICAL LEADERS SIZED PER THE 2021 IPC, TABLE 1106.3 AT 2" PER HOUR RAINFALL, TYPICAL.
- D. OVERFLOW SCUPPER IS REQUIRED

MATIX

ENGINEERING & CONSTRUCTION
METAL BUILDING SYSTEMS
INDUSTRIAL EQUIPMENT & PIPING

MATIX CORPORATION
PHONE: (385) 226-5966
www.matixcorp.com

[illegible]

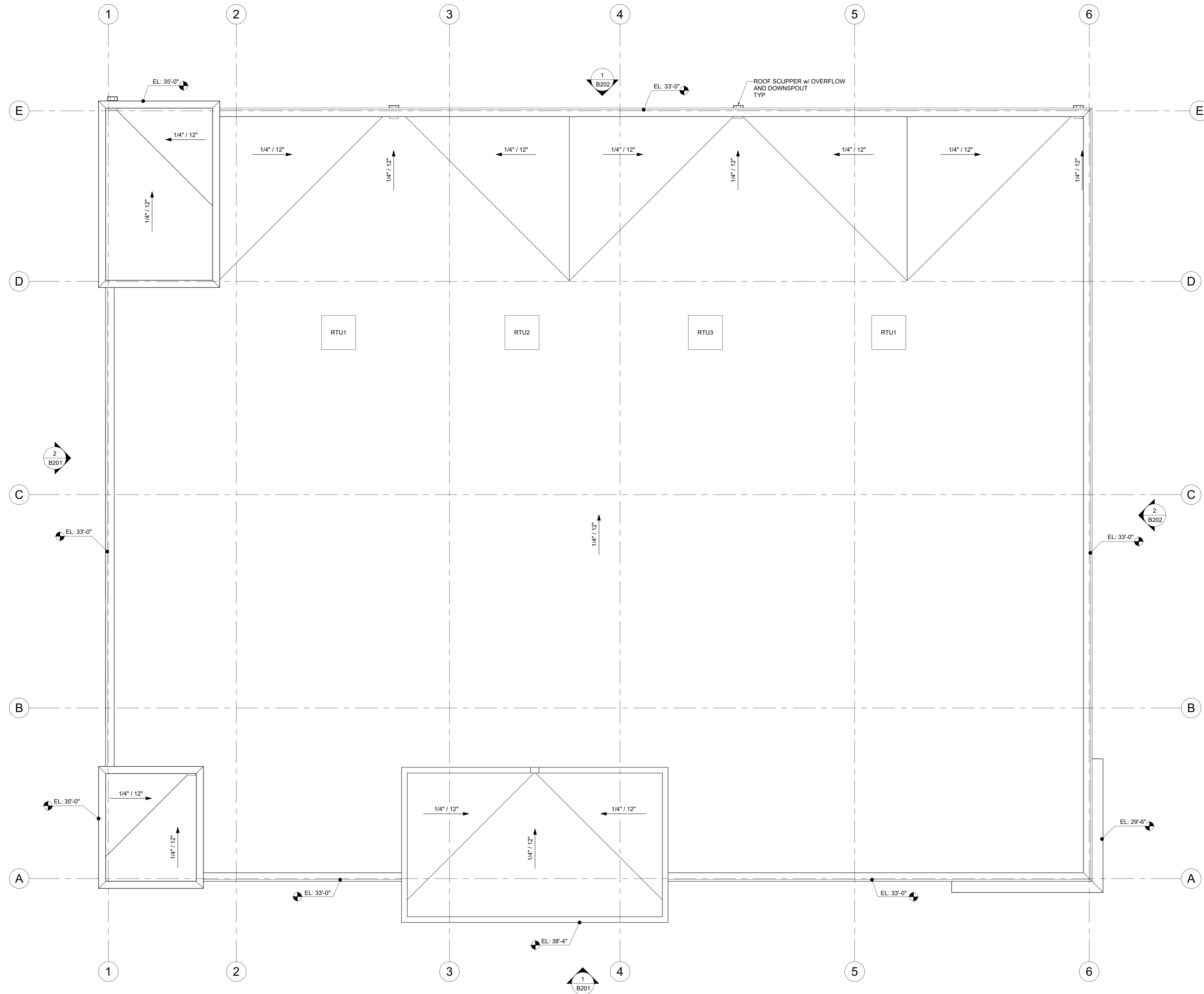
PERFORMANCE FITNESS
FITNESS BUILDING
WASHINGTON FIELDS RD AND HAYFIELD DR
WASHINGTON UT

BUILDING
ROOF PLAN

PROJECT NUMBER: 10299	DESIGN: SRP
DATE: MARCH 2025	DRAWN: DRV
SCALE: AS SHOWN	APPROVED: CDP

DRAWING NO.

3110



ROOF PLAN

$$3/16'' = 1'-0''$$

OCCUPANCY OF THIS PROJECT IS PROHIBITED UNTIL A FINAL INSPECTION IS CONDUCTED BY THE STATE FIRE MARSHALS OFFICE. A MINIMUM THREE DAY NOTICE SHALL BE GIVEN FOR INSPECTION

ON-SITE INSPECTIONS AND EVALUATIONS DURING THE COURSE OF CONSTRUCTION THAT ARE RELATED TO FIRE PROTECTION, SAFETY OR LIFE SAFETY CONCERNS AS DEFINED IN ADOPTED FIRE CODES AND STANDARDS ARE TO BE ADMINISTERED BY DEPUTY STATE FIRE MARSHALL. A FIRE CLEARANCE REQUIRED BY THE ADOPTED FIRE CODE IS TO BE ADMINISTERED BY DEPUTY STATE FIRE MARSHALL.

TYPE OF CONSTRUCTION	TYPE V-B
FIRE SPRINKLERS	NFPA 13 TYPE SPRINKLERS REQUIRED
OCCUPANCY CLASSIFICATION	A-3, B, & U (NON-SEPARATED)
ALLOWABLE AREA	16,800 SQ. FT. PER STORY (2021 IBC TABLE 506.2)
ACTUAL AREA	9,692 SQ. FT.
ALLOWABLE HEIGHT	60'-0" ABOVE GRADE PLANE (2021 IBC TABLE 504.3.4)
ACTUAL HEIGHT	38'-4"
STRUCTURAL RISK CATEGORY	CATEGORY III (ASCE 7-16)
<u>THERMAL ENVELOPE REQUIREMENTS</u>	
CLIMATE ZONE 3B PER 2021 IECC TABLE C301.1 THERMAL ENVELOPE REQUIREMENTS PER 2021 IECC TABLE R402.1.2	
EXTERIOR WALLS	R-13 CAVITY + R7.5 CONTINUOUS INSULATION
ROOFS	R-30 CONTINUOUS INSULATION ENTIRELY ABOVE DECK
FENESTRATION	0.37 U-FACTOR MAX. 0.25 SHGC MAX.

AIR LEAKAGE / THERMAL ENEVELOPE TO COMPLY WITH 2021 IECC C402.5

TYPE V-B (IBC TABLE 601, 602, AND 713.4)

ELEMENTS	MATERIAL	RATING
PRIMARY STRUCTURAL FRAME	ANY	0 HR
EXTERIOR BEARING WALL	ANY	0 HR
INTERIOR BEARING WALL	ANY	0 HR
INTERIOR NON BEARING WALL (a)	ANY	0 HR
FLOOR / CEILING ASSEMBLY	ANY	0 HR
ROOF / CEILING ASSEMBLY	ANY	0 HR

2021 IBC TABLE 1004.5

OCCUPANCY USE	AREA (SQ. FT.)	OCC. LOAD FACTOR	OCC. LOAD
FITNESS AREA (A-3)	17,607 SF	50 GROSS	363
BUSINESS (B)	363 SF	150 GROSS	3
STORAGE (U)	391 SF	300 GROSS	3
TOTAL OCCUPANT LOAD			369

NOTE:
THIS BUILDING WILL NOT BE USED FOR HIGH-PILED STORAGE AS DEFINED BY THE
INTERNATIONAL FIRE CODE SECTION 202.

	ALLOWED	ACTUAL
EXIT TRAVEL DIST. (2021 IBC TABLE 1017.2)	250 FT	247'-6" FT
COMMON PATH (2021 IBC TABLE 1006.2.1)	75 FT	62'-0" FT

2021 IBC TABLE 2902.1

USE			WATER CLOSETS		
OCCUPIED SPACE	OCC. LOAD	LOAD M/F	RATIO	M	F
FITNESS AREA (A-3)	363	181.5M 181.5F	1/125 1/125	1.45	1.45
BUSINESS (B)	3	1.5M 1.5F	1/25 1/25	0.06	0.06
TOTAL REQ'D.				2	2
TOTAL PROVID.				4	5

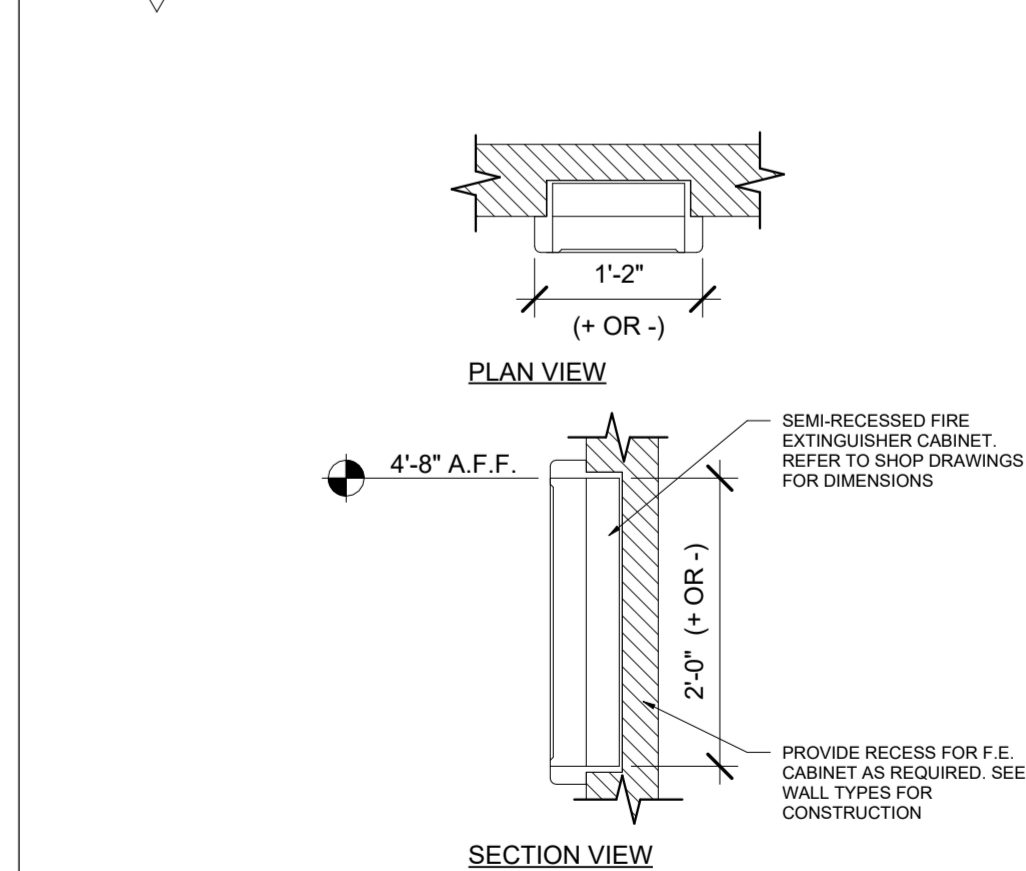
USE			LAVATORIES			SERVICE SINK
OCCUPIED SPACE	OCC. LOAD	LOAD M/F	RATIO	M	F	1 REQUIRED 1 PROVIDED
FITNESS AREA (A-3)	363	181.5M 181.5F	1/200	0.91	0.91	
BUSINESS (B)	3	1.5M 1.5F	1/40	0.03	0.03	
TOTAL REQ'D.				1	1	2 REQUIRED 2 PROVIDED
TOTAL PROV'D.				3	3	

ICC 2021 INTERNATIONAL BUILDING CODE	ICC 2021 INTERNATIONAL ENERGY CONSERVATION CODE
ICC 2021 INTERNATIONAL FIRE CODE	ICC 2021 INTERNATIONAL FUEL GAS CODE
ICC / ANSI A117.1-2009 PLUMBING CODE	ICC 2021 INTERNATIONAL MECHANICAL CODE
NEC 2020 NATIONAL ELECTRICAL CODE	

ASHRAE 90.1-2010

FE
1

TYPE 'ABC' FIRE EXTINGUISHER IN SEMI-RECESSED CABINET, U.N.O.
TO BE PROVIDED IN EACH TENANT SPACE. SEE DETAIL BELOW:


$$3/16" = 1'-0"$$

MATIX

ENGINEERING & CONSTRUCTION
METAL BUILDING SYSTEMS
INDUSTRIAL EQUIPMENT & PIPING

MATIX CORPORATION
PHONE: (385) 226-5966
www.matixcorp.com

MARK	DATE	BY	DESCRIPTION
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REVISIONS

	PERFORMANCE FITNESS
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FITNESS BUILDING

WASHINGTON FIELDS RD AND HAYFIELD DR
WASHINGTON UT

BUILDING

MAIN LEVEL CODE REVIEW PLAN

PROJECT NUMBER: 10299	DESIGN: MATIX
DATE: MARCH 2025	DRAWN: DRV
SCALE: AS SHOWN	APPROVED: CDP

DRAWING NO.

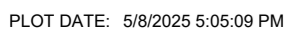
B001

PLOT DATE: 5/8/2025 5:05:08 PM

CODE & DESIGN CRITERIA

CODE REVIEW LEGEND

SECTION VIEW



WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE:	June 18th, 2025
ACTION REQUESTED:	Z-25-16 - A request to approve the conceptual plan of 24.53 acres of the currently zoned PUD-R property and relocate 4 acres of PUD-C property located at 1075 East Telegraph Street
APPLICANT:	Habitat Development
OWNER:	R A Turner Family LC
ENGINEER:	American Consulting and Engineering
REVIEWED BY:	Eldon Gibb, Community Development Assistant Director
RECOMMENDATION:	Recommend approval with conditions to the City Council

Background

The applicant is requesting approval of the conceptual plan for 24.53 acres of the PUD-R zoned property along with relocating 4 acres of commercial from the corner of Bulloch Street and 1100 east to the commercial property that is adjacent to Telegraph.

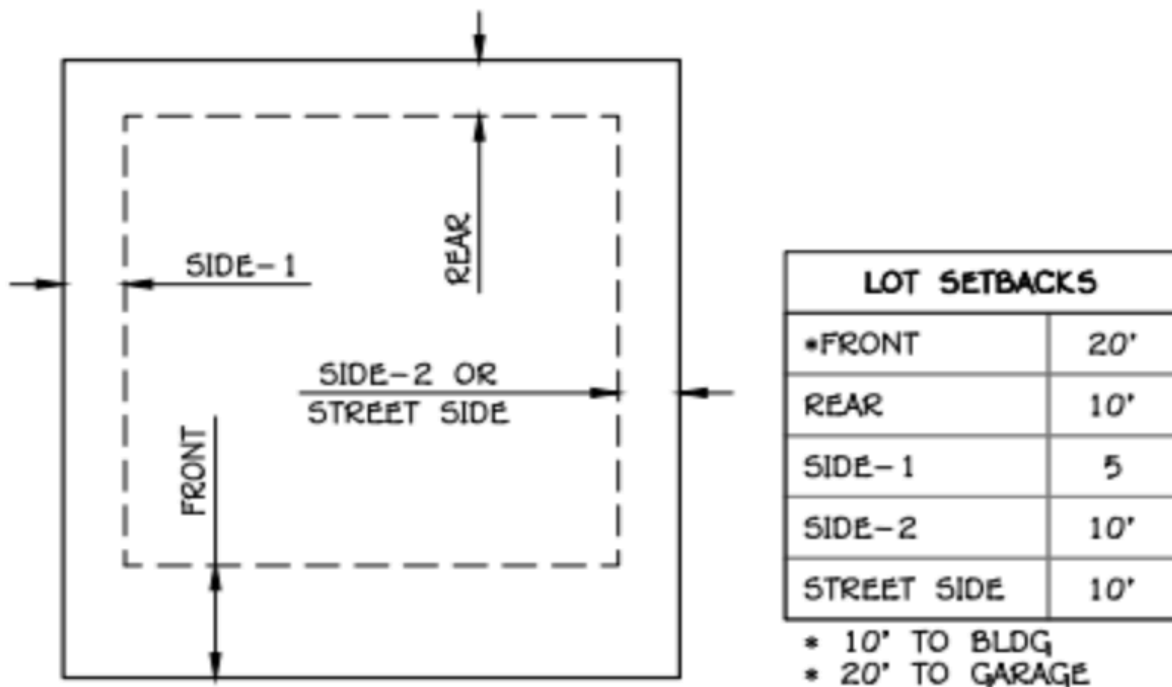
The surrounding zoning to this parcel is PUD-R to the north, R-3 to the east, PUD-R to the south and R-1-8 to the west. As shown on the exhibit, the development is laid out in an effort to blend the development into the area. For example, the proposal is showing single family homes on the west boundary line tying into the existing R-1-8 and as you move east, the lot sizes gradually get smaller in size with the multi-family units on the east boundary line tying into the existing R-3.

Pod 1 of the proposal is a build-to-rent (BTR) product with 135 units over 11.38 acres. This is a 11.9 d.u./ acre ratio (MHD). Pod 1 incorporates 60 single-story 2 bedroom units. There are 75 - two-story 3 bedroom units. The layout of the single and two-story units will provide character to the development by staggering the horizon view. City code requires 15' between two story units and the distance between units 60 and 63 and 54 and 57 are 12.11' feet. The City can approve this alternate setback if they see fit. Required parking for pod 1 is 331 spaces. The proposal is providing 332. Parking is adequate for the proposal. Amenities for pod 1 include a dog park (7,902 sq ft), putting green (1,009 sq ft), clubhouse (2,356 sq ft), club house outdoor area (12,110 sq ft), splash pad (804), pool area (3,068 sq ft), BBQ area (960 sq ft) and pickle ball courts (3,240 sq ft). The required amenity area is 27,000 sq ft and the proposal is providing 31,

449 sq ft. The amenity area is adequate for the project. As shown in the exhibit, exterior materials for the units include brick and stucco.

Pod 2 of the proposal includes 42 traditional single family homes and 17 “next-gen” homes which are very similar to a patio-home product. Pod two includes 59 homes over 13.15 acres which is a 4.49 d.u./acre ratio (LD). Exterior building elevations for the “next-gen” homes have been included in the exhibit and show stacked rock, siding and stucco. The “nex-gen” homes will provide a two-car garage with a driveway that is a minimum of 20’ feet long. As shown on the plan, pod 3 will bring amenities for those living in pod 2. Due to the location of this amenity, staff is concerned that the amenities could be pushed to the end of the development which the applicant will need to coordinate with staff to make sure this does not happen. With pod 2 being traditional lots and the “next-gen” homes providing “private” back yard area, staff feels comfortable with the amenities being completed with the next phase of development.

In the north / west corner of the development and next to lots 126,127 the plan identifies a natural spring. The applicant is pursuing 3rd party studies of this spring to determine the final design to adequately handle the spring. A note has been added to the plan with their intent to beautify the spring area with landscaping. The applicant is asking for an alternate setback plan for the single family lots as shown below:



S.F. TYPICAL LOT SETBACKS

SCALE: NTS

THE AGGREGATE SIDE YARD MUST BE NO LESS THAN 15'

Other than the noted setbacks in pod 1, the project design is in compliance with the Planned Unit Development - Multiple Family and Single Lot Development Standards of the PUD-R zone.

Recommendation

Staff recommends that the Planning Commission recommend approval of Z-25-16, for the zone change request for the design standards of 24.53 acres and relocating 4 acres of commercial property adjacent to telegraph, onto the City Council, based on the following findings and conditions:

Findings

1. That the requested zoning conforms to the intent of the land use designation of the General Plan.
2. The utilities that will be necessary for this type of development will be readily accessible to the site.

Conditions

1. The project shall conform to the standards of the PUD - Residential (Multiple Family and Single Lot Development) Zone and be built in accordance with the attached exhibit and conditions of this proposal.
2. A traffic study shall be submitted for review and approval prior to submitting building permit applications. The study will address the city's Master Transportation Plan.
3. A final drainage study and grading and drainage plan shall be submitted for review and approval prior to site development. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
4. Detailed landscape and irrigation plans shall be submitted for review and approval with the Construction Drawing application and shall conform to the city's water conservation ordinance and approved zoning plan. The developer shall install the landscaping and irrigation infrastructure prior to the occupancy of any unit.
5. All structure and site improvements shall meet the requirements of City-adopted building and fire codes.
6. A Post Construction Maintenance Agreement needs to be recorded prior to any plat recordations.

7. All signage will be in accordance with the city's sign ordinance and construction regulations.
8. Pod 1 amenities shall be complete at 25 percent buildout of the units and/or before the 34th unit receives building permit.
9. The developer shall coordinate with staff so that the buildout of the amenities in pod 3 are completed before 51% of the single family homes in the entire development receive building permit.
10. The elevations of the buildings shall be as portrayed in this submittal.

Development Narrative: Turner Family Farm Master Plan Development Washington City, Utah

This farm site has been in the Turner Family for generations. It's approximately 95 acres and currently zoned PUD-R and PUD-C. We propose to develop pods one and two as our first phase of development. The ultimate vision for this project is to create at least seven areas, or development pods, featuring single-family homes, townhomes, garden homes, multi-family units, a commercial site, and a neighborhood park, thoughtfully designed to create a sense of community and belonging. Due to the prime location of this site, the owners understand and accept the challenge of building a legacy community with timeless designs, connectivity, and the traditional feeling of safety that comes from living in a small-town community.

We refer to the City's General Plan for this area and recognize the various proposed zones, including PUD, High-Density, Medium-Density, Low-Density, and Commercial zones. We plan to utilize each zone in a more harmonious master plan design. We will propose several project amenities to support and enhance a higher quality of life for the residents in this community and the surrounding neighborhoods.



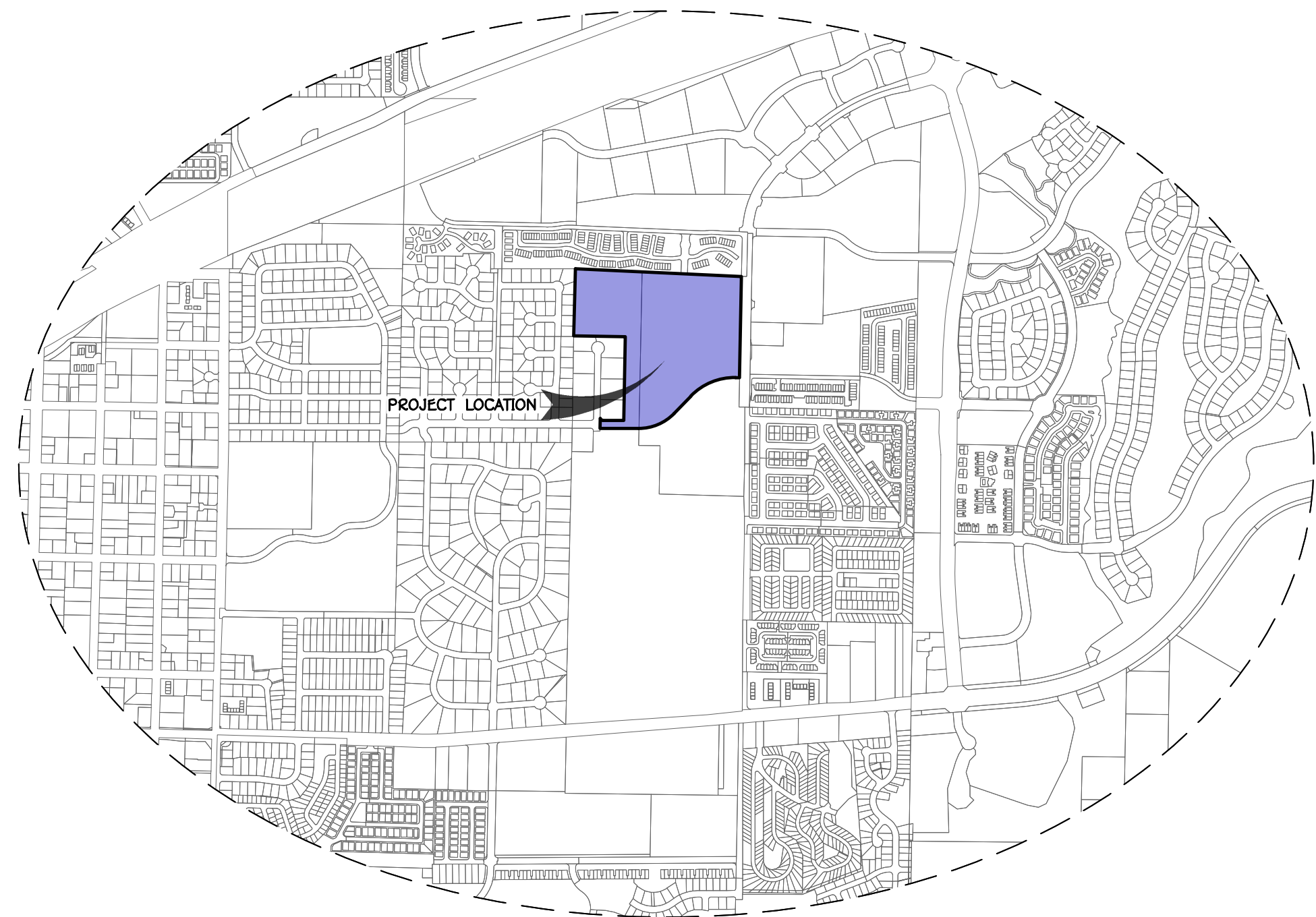
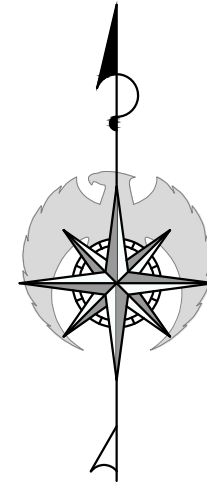
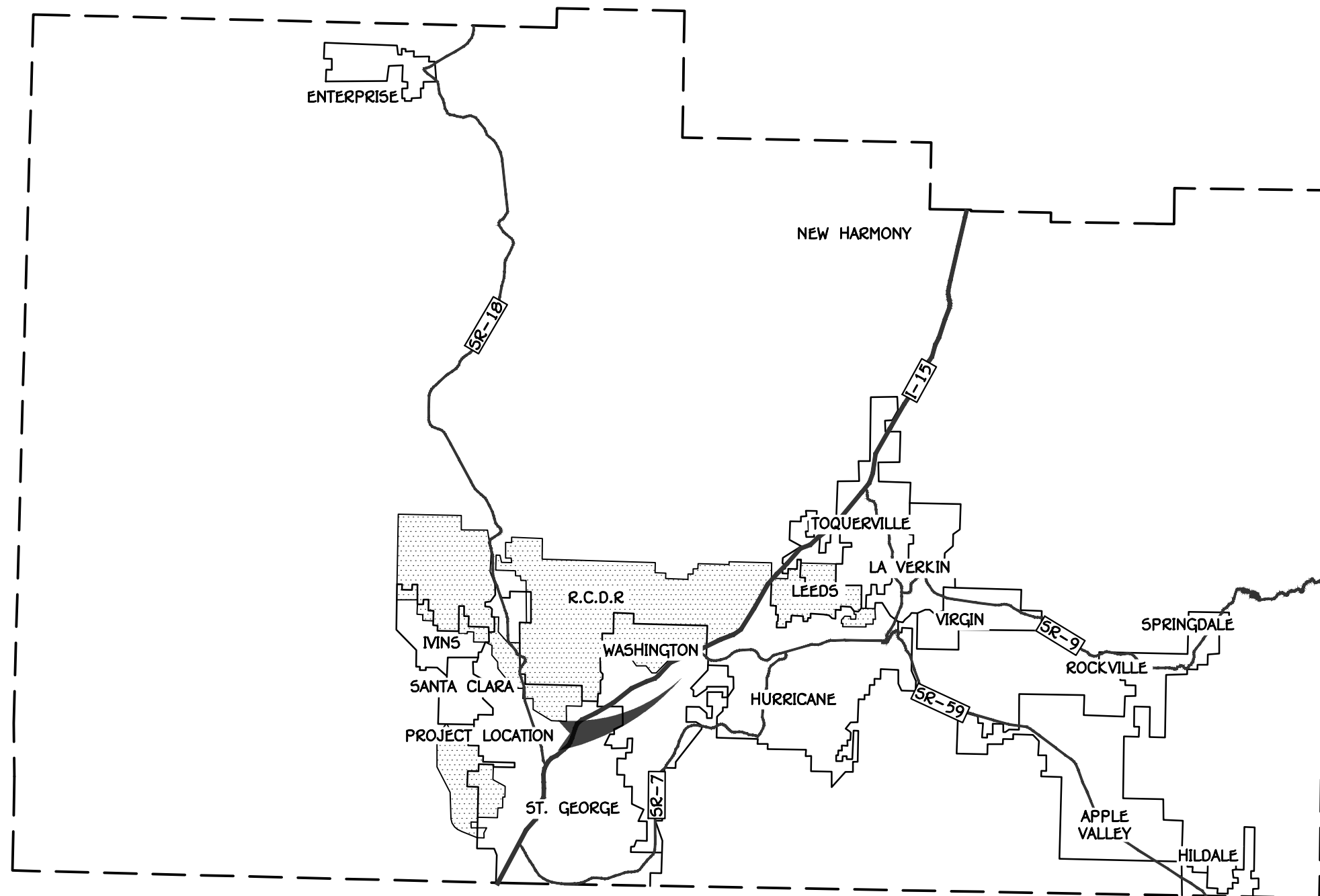
PROJECT FLOW CARD: Z-25-16 - Zone Change - Turner Farm
850 E Telegraph St

Planning	Reviewed. OK to move forward	
Public Works	Reviewed - Items addressed - Basic PW/utility layout is acceptable for zone change request. Modifications may be required during pre-plat and construction plan submissions.	
Engineer	The intersection on the north side of this layout needs to be a minimum of 500 ft from the Bluff View and 1100 E intersection.	
Fire Dept.	Reviewed, no concerns	
Parks/Trails	Reviewed, no concerns	
Building Dept	Reviewed, no concerns	
Washington Power	Approved for the proposed zoning.	
Economic Dev	Reviewed. Approved. This PUD introduces a substantial number of new residential units. Staff supports the inclusion of commercial uses along Telegraph Street that will help serve both existing and future residents in this growing area. A balanced mix of uses is critical to reducing vehicle trips, supporting local businesses, and enhancing overall community vitality.	

TURNER FARMS

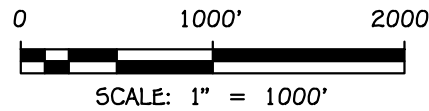
WASHINGTON, UTAH

TURNER FARMS
JUNE 2025



VICINITY MAP

SECTION 13 TOWNSHIP 42 S, RANGE 15 W,
SLB&M



SHEET INDEX		
Sheet Number	SHEET	Sheet Title
1	Z.1.1	COVER
2	Z.2.1	ZONE MAP I
3	Z.2.2	OVERALL POD MAP
4	Z.3.1	SITE PLAN
5	Z.3.2	SITE PLAN II
6	Z.4.1	GRADING PLAN
7	Z.5.1	UTILITY PLAN
8	Z.6.1	FIRE & LIFE SAFETY PLAN

LEGAL DESCRIPTION

Commencing at the West Quarter corner of Section 13, Township 42 South, Range 15 West, Salt Lake Base and Meridian, said point also being on the east line of Cotton Mill East Subdivision Unit A-1, Document No. 00168261, Official Records Washington County, and running North 01°09'22" East along said line and the East line of Washington Estates Subdivision Document No. 00182988, Official Records Washington County a distance of 1,273.05 feet more or less to the southwest corner of Lot 1, Turner Family Subdivision Phase 1, Document No. 00518061, Official Records Washington County, thence along the south and east lines said Turner Family Subdivision Phase 1 the following two (2) courses: 1) South 88°50'38" East 214.00 feet and 2) North 01°09'25" East 264.50 feet to the west line of Turner Family Subdivision V, Document No. 20190019942, official records Washington County, thence along the south and east line said Turner Family Subdivision V, the east and north line of Turner Family Subdivision Phase IV, Document No. 00694987 and the north line of Turner Family Subdivision Phase 3 the following four (4) courses: 1) southeasterly along a 20.00 foot radius non-tangent curve to the left, (center point lies South 88°51'31" East) through a central angle of 90°57'25", a distance of 31.75 feet; 2) South 89°48'53" East 163.68 feet; 3) North 01°09'22" East 646.06 feet and 4) North 88°49'03" West 398.58 feet more or less to the east line of Spring Hill Estates Phase IV, Document No. 00547306 Official Records Washington County, thence along said line North 01°09'22" East 517.79 feet more or less to the south line of Bluff View Townhomes Phase 1, Document No. 20070050705, Official Records Washington County, thence South 87°27'40" East along said line 1,283.54 feet more or less to the west line of 1100 East Street, Document No. 20110022110, Official Records Washington County, thence along the south and west lines said right of way the following two (2) courses: 1) South 01°01'58" West 1010.38 feet and 2) South 88°23'54" East 40.00 feet to the centerline of 1100 East Street and the longitudinal 1/16 line to the Northwest Quarter said Section 13, thence along said line South 01°01'58" West a distance of 1643.13 feet to the West Center 1/16 Corner, thence South 00°59'55" West along the longitudinal 1/16 line to the Southwest Quarter said section 13 a distance of 699.12 feet to a point on the north line of Winchester Street, thence South 85°25'22" West along said line 1,335.93 feet to the East line of Cotton Mill East Subdivision, Document No. 00162272, Official Records Washington County, said point also being West line of Section 13, thence North 01°05'22" East along said line a distance of 833.00 feet; to the point of beginning.

Containing 4,204,658 Square Feet or 96.53 Acres.

PRELIMINARY PLAT SITE DATA

TURNER FARMS	
CURRENT ZONING:	PUD
PROJECT AREA	25.5 (1,110,790 S.F.)
NO. OF LOTS & DENSITY	195 LOTS (7.65 D.U./ACRE)
GARAGE PARKING	N/A
DRIVEWAY PARKING	N/A
OFF-STREET PARKING	332
TOTAL PARKING	332

PROPERTY OWNER

RA TURNER FAMILY LC
930 E TELEGRAPH ST
WASHINGTON, UT 84780
CONTACT: XXXXXX
PHONE: (XXX) XXX-XXXX
EMAIL: XXXXXXXXX

GEOTECH ENGINEER

APPLIED GEOTECHNICAL (AGEC)
1420 S. 270 E.
ST. GEORGE, UT 84790
CONTACT: WAYNE ROGERS
PHONE: (435) 673-6850
EMAIL: rogers@agcinc.com

CIVIL ENGINEER

AMERICAN CONSULTING & ENGINEERING
1173 S. 250 W., SUITE #504
ST. GEORGE, UT 84770
CONTACT: AUSTIN CHAPPELL
PHONE: (435) 288-3330
EMAIL: austin@alcsq.com

APPLICANT-AGENT

HABITAT DEVELOPMENT LLC
7533 S CENTER VIEW CT STE. R
WEST JORDAN, UT 84084
PRIMARY CONTACT: MATT LOO
PHONE: (435) 703-0016
EMAIL: MATT@ASCENDUT.COM

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TURNER FARMS
SECTION 13 TOWNSHIP 42 S, RANGE 15 W, SLB&M
WASHINGTON, UTAH

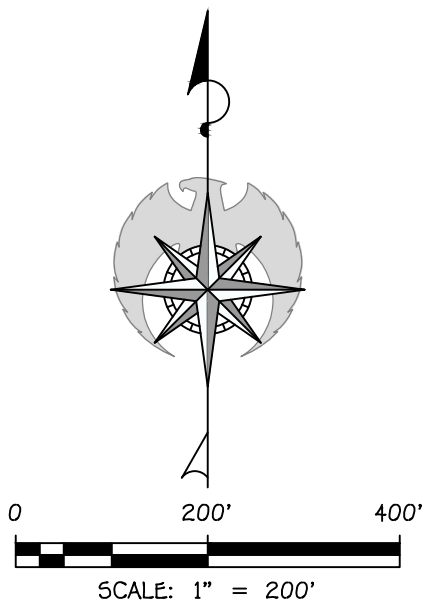
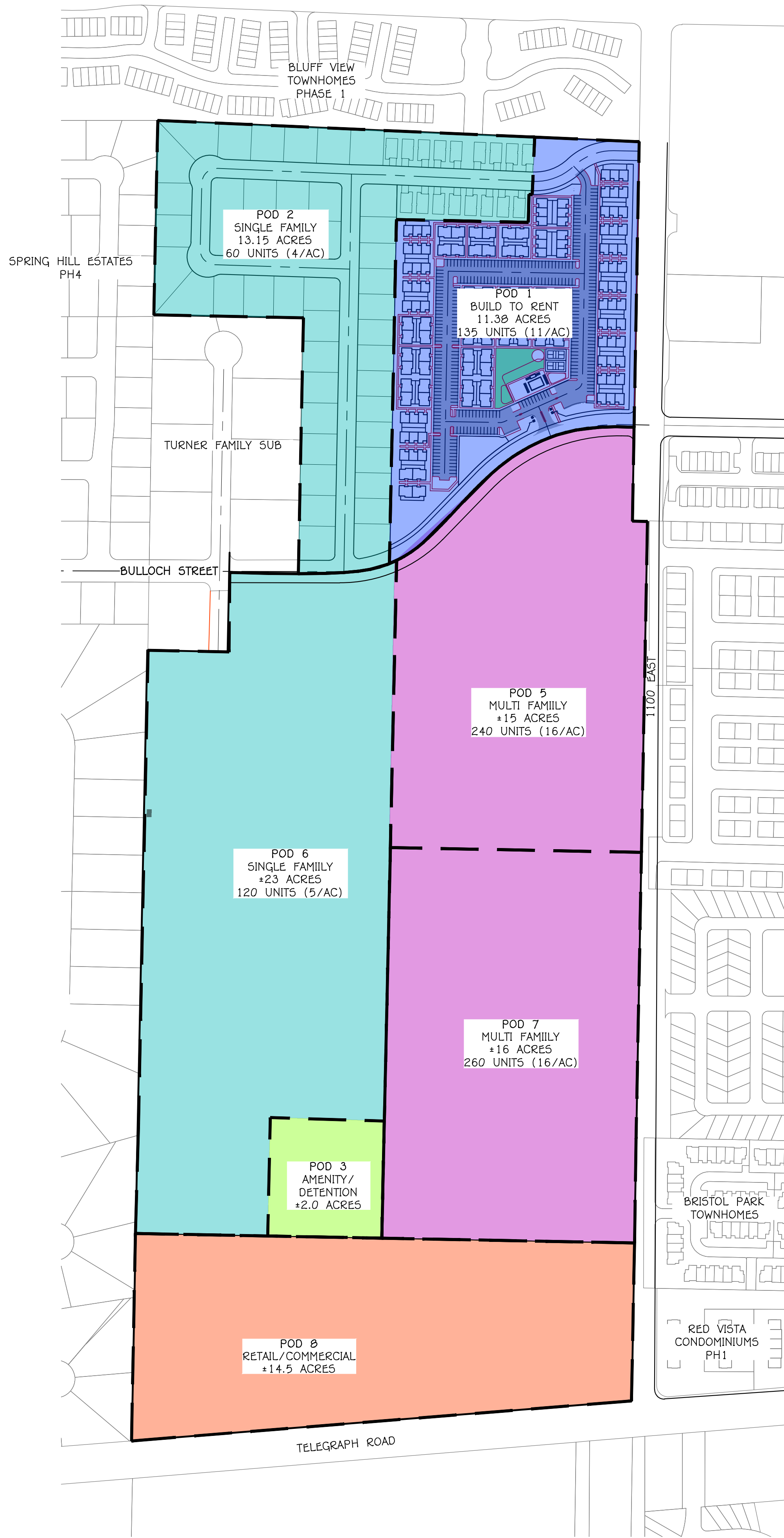
COVER

TURNER FARMS ZONE AMENDMENT

JOB # 25-017
DRAWN BY: ARC
CHECKED BY: ARC
DATE: 06/04/2025

Z.1.1

SHEET: 1 OF: 8



- LEGEND:
- SINGLE FAMILY - POD 2: 13.15 ACRES
POD 6: 23.37 ACRES
 - BUILD TO RENT - 11.38 ACRES
 - MULTI FAMILY - 31.53 ACRES
 - COMMERCIAL - 14.05 ACRES
 - PARK AREA - 2.19 ACRES
 - POD BOUNDARIES

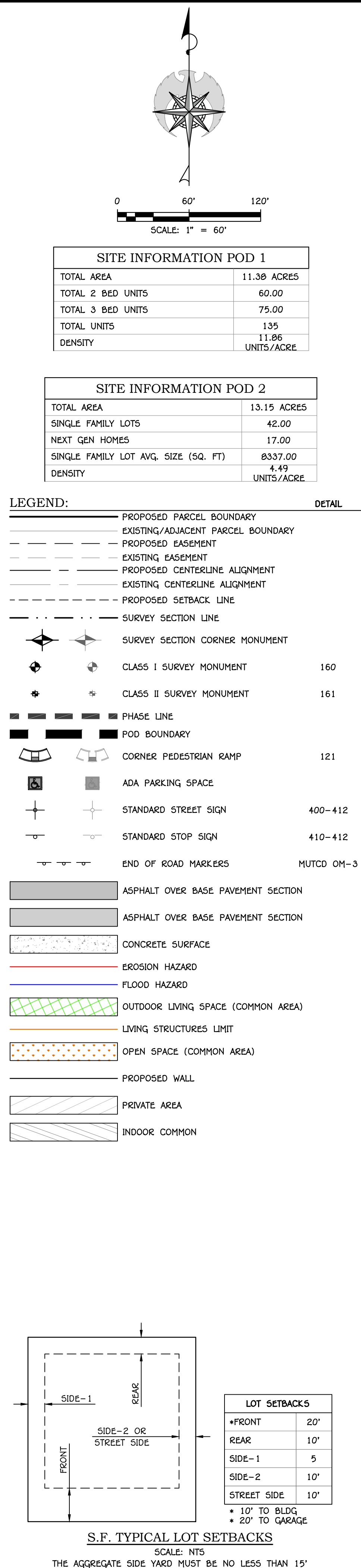
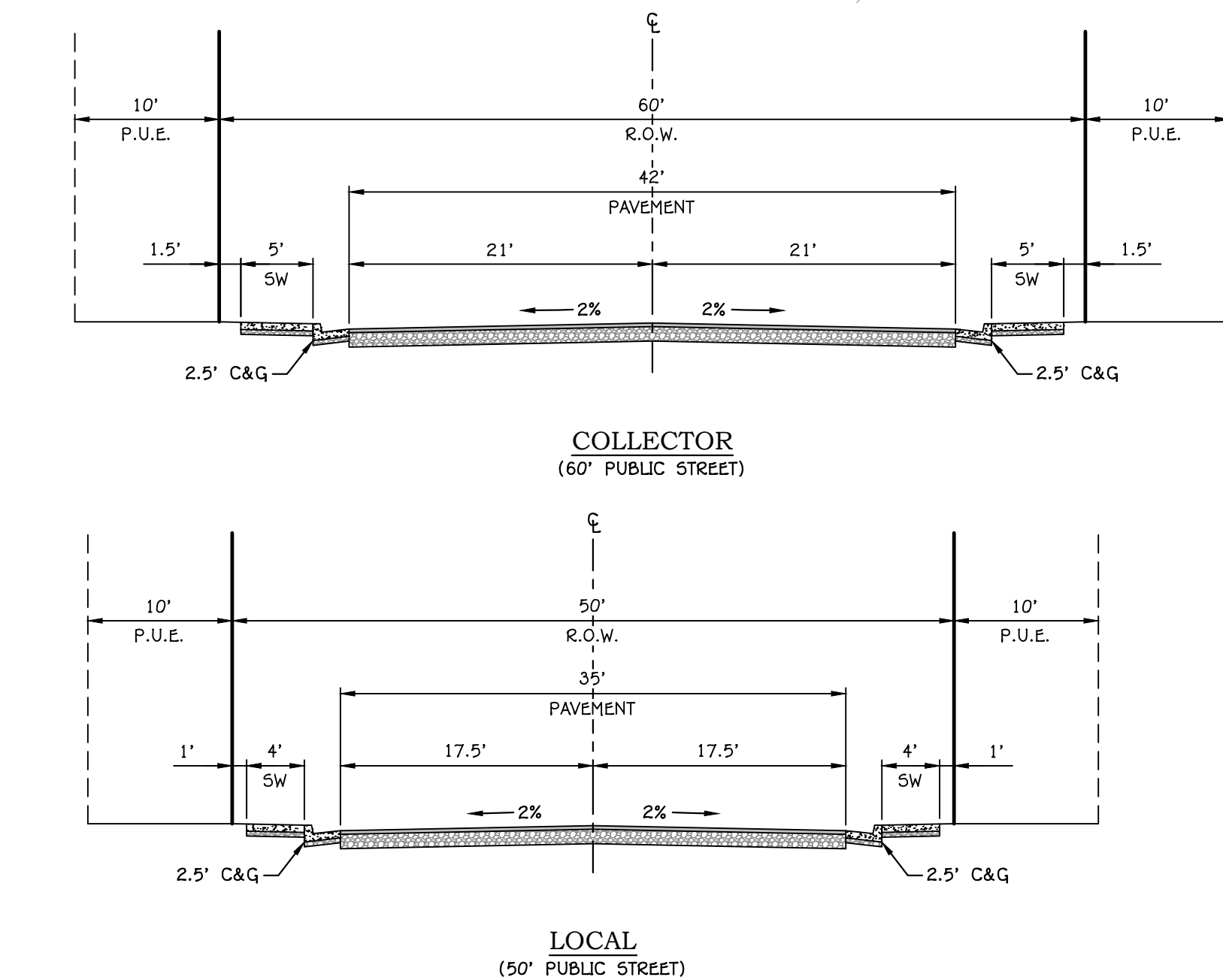
NOTE:
COMMERCIAL ORIGINALLY PLANNED AT BULLOCH AND 1100 EAST HAS BEEN INCORPORATED INTO THE COMMERCIAL POD TO THE SOUTH. THE COMMUNAL DETENTION POND HAS BEEN SLID DOWN TO THE SOUTH TO THE FUTURE PARK AREA. TEMPORARY DETENTION BASINS WILL BE BUILT AND REMOVED AS THE PROJECT DEVELOPS FROM THE NORTH TO THE SOUTH. CONSTRUCTION AND RELEASE RATES & ROUTES OF DETENTION PONDS WILL BE DETERMINED IN CONSTRUCTION DRAWINGS.

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CONSTRUCTION



TURNER FARMS
SECTION 13 TOWNSHIP 42 S, RANGE 15 W, SLB&M
WASHINGTON, UTAH
OVERALL POD MAP
TURNER FARMS ZONE AMENDMENT

JOB # 25-017
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DATE: 06/04/2025
Z.2.2
SHEET: 3 OF: 8



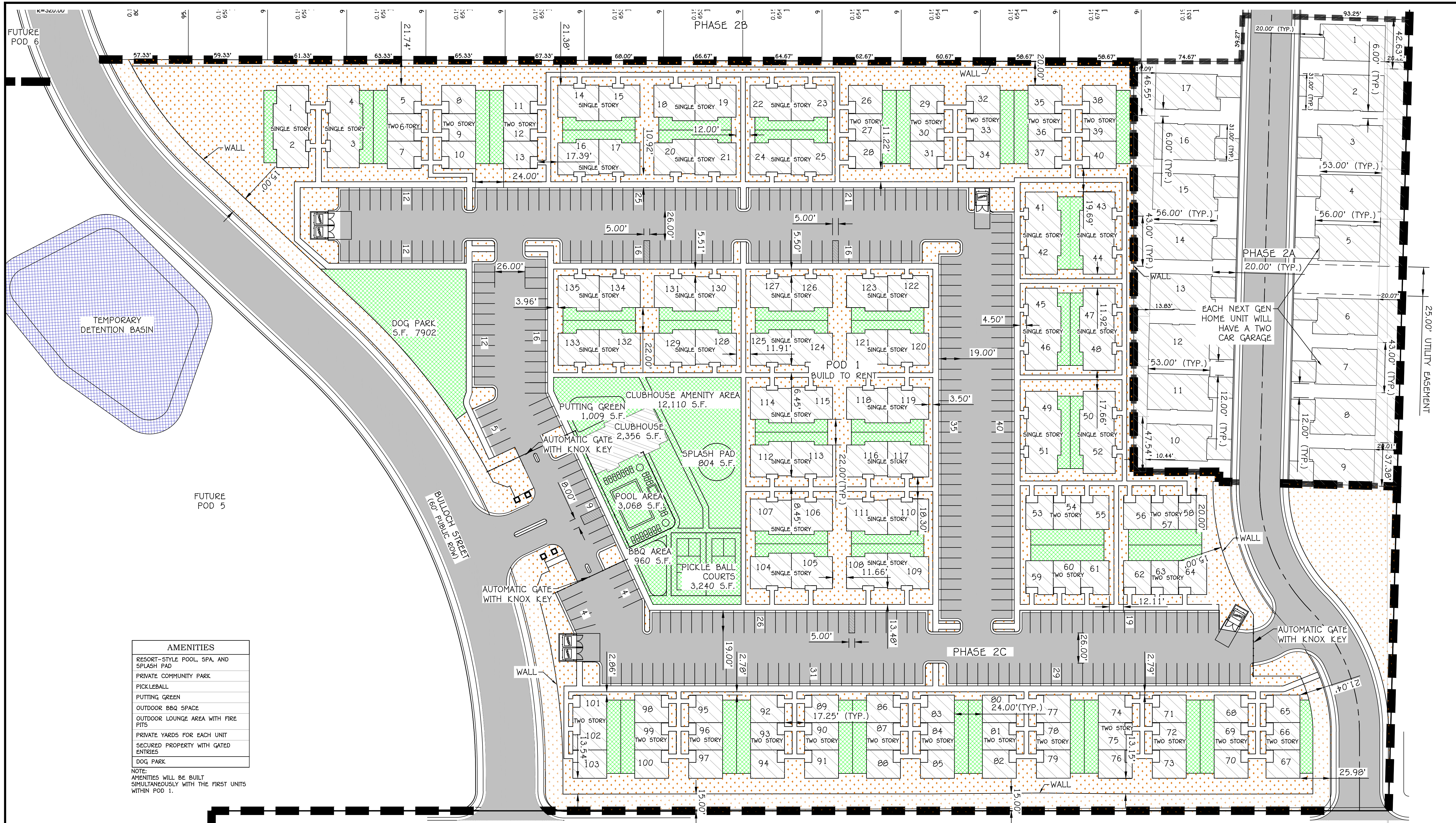
SITE INFORMATION POD 2	
TOTAL AREA	13.15 ACRES
SINGLE FAMILY LOTS	42.00
NEXT GEN HOMES	17.00
SINGLE FAMILY LOT AVG. SIZE (SQ. FT)	8337.00
DENSITY	4.49 UNITS/ACRE

LEGEND:	DETAIL	
	PROPOSED PARCEL BOUNDARY	
	EXISTING/ADJACENT PARCEL BOUNDARY	
	PROPOSED EASEMENT	
	EXISTING EASEMENT	
	PROPOSED CENTERLINE ALIGNMENT	
	EXISTING CENTERLINE ALIGNMENT	
	PROPOSED SETBACK LINE	
	SURVEY SECTION LINE	
	SURVEY SECTION CORNER MONUMENT	
	CLASS I SURVEY MONUMENT	160
	CLASS II SURVEY MONUMENT	161
	PHASE LINE	
	POD BOUNDARY	
	CORNER PEDESTRIAN RAMP	121
	ADA PARKING SPACE	
	STANDARD STREET SIGN	400-412
	STANDARD STOP SIGN	410-412
	END OF ROAD MARKERS	MUTCD OM-3
	ASPHALT OVER BASE PAVEMENT SECTION	
	ASPHALT OVER BASE PAVEMENT SECTION	
	CONCRETE SURFACE	
	EROSION HAZARD	
	FLOOD HAZARD	
	OUTDOOR LIVING SPACE (COMMON AREA)	
	LIVING STRUCTURES LIMIT	
	OPEN SPACE (COMMON AREA)	
	PROPOSED WALL	
	PRIVATE AREA	
	INDOOR COMMON	

LOT SETBACKS	
*FRONT	20'
REAR	10'
SIDE-1	5
SIDE-2	10'
STREET SIDE	10'

* 10' TO BLDG
 * 20' TO GARAGE

SHEET: 4 **OF:** 8



AMENITIES	
RESORT-STYLE POOL, SPA, AND SPLASH PAD	
PRIVATE COMMUNITY PARK	
PICKLEBALL	
PUTTING GREEN	
OUTDOOR BBQ SPACE	
OUTDOOR LOUNGE AREA WITH FIRE PITS	
PRIVATE YARDS FOR EACH UNIT	
SECURED PROPERTY WITH GATED ENTRIES	
DOG PARK	

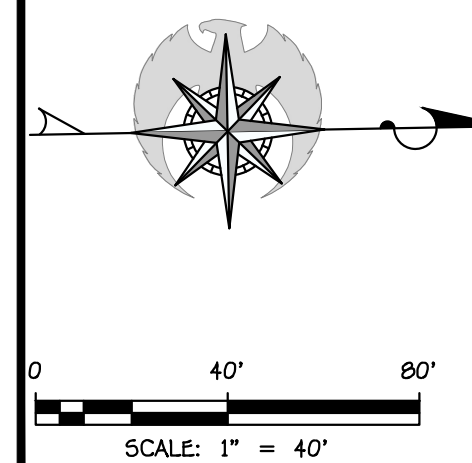
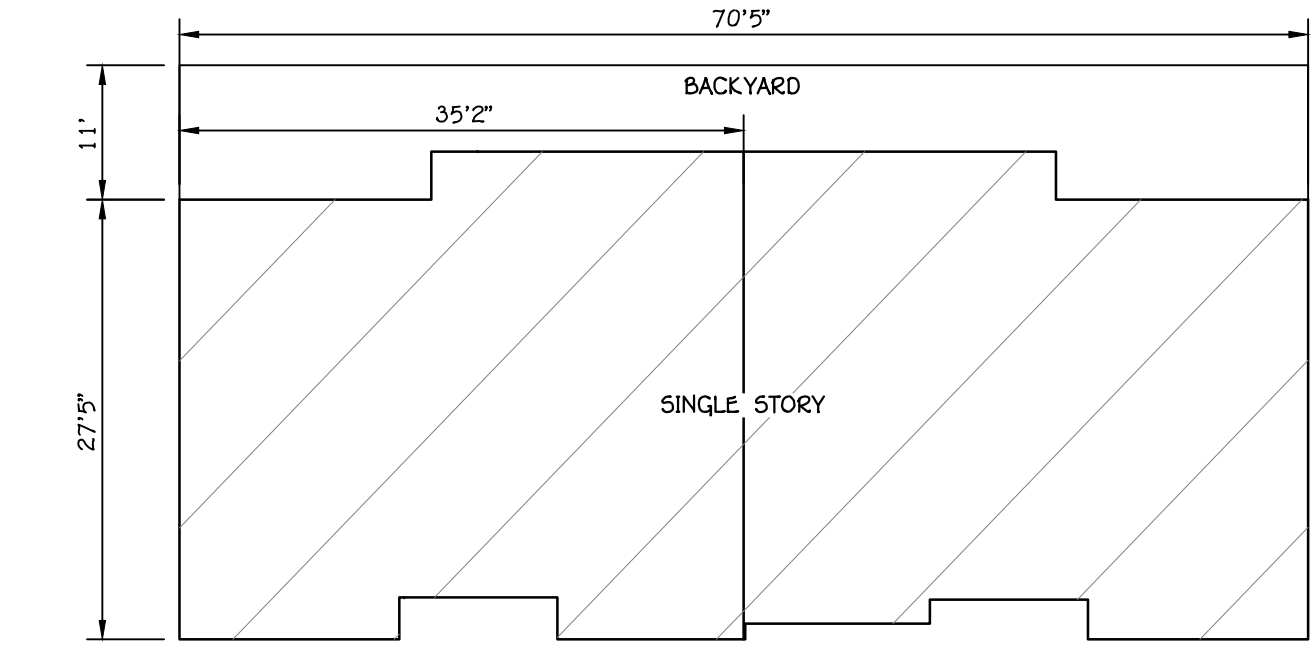
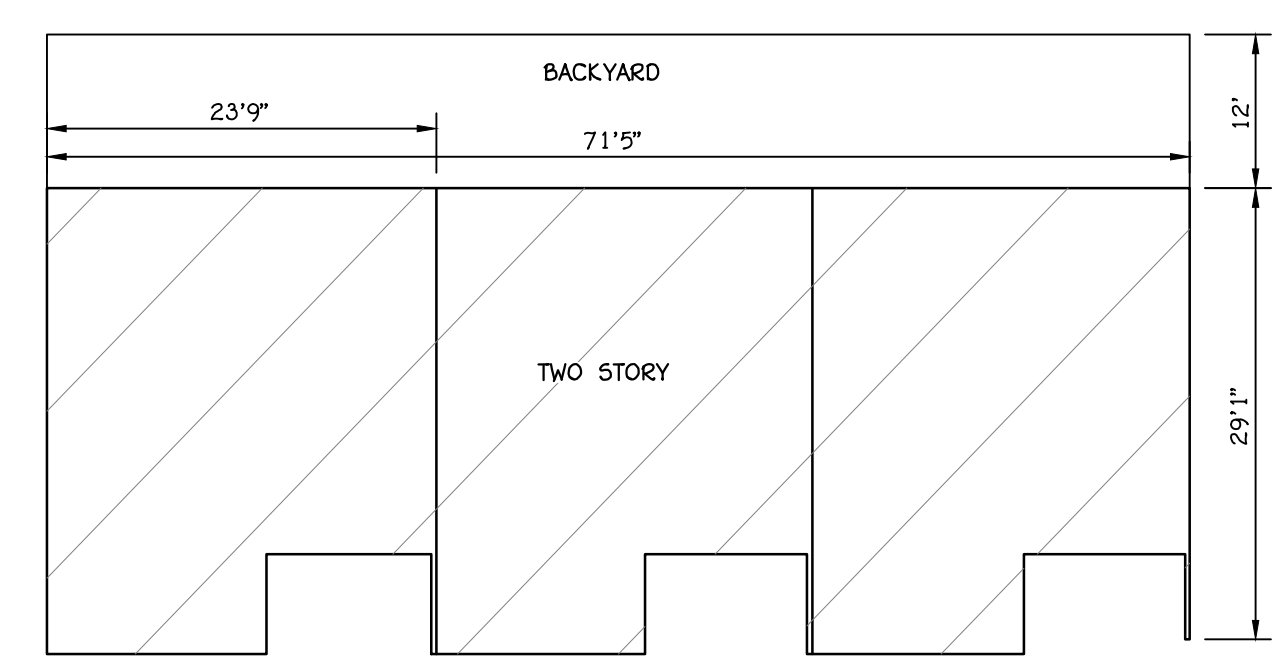
NOTE:
AMENITIES WILL BE BUILT SIMULTANEOUSLY WITH THE FIRST UNITS WITHIN POD 1.

BTR PARKING REQUIREMENTS		
RQD PARKING/2 BED UNIT	2.00	
RQD PARKING/3 BED UNIT	2.25	
RED GUEST PARKING	1 SPACE PER 3.25 UNITS	
PROVIDED PARKING	332.00	
TOTAL 2 BED UNITS	60.00	120 RQD STALLS
TOTAL 3 BED UNITS	75.00	169 RQD STALLS
TOTAL UNITS	135.00	42 GUEST STALLS
TOTAL REQUIRED PARKING	331.00	

POD 1 BUILD TO RENT SITE INFORMATION		
ITEM	PLANNED	REQUIRED
TOTAL SITE AREA	11.38 ACRES	N/A
OUTDOOR LIVING SPACE	1.53 ACRES	0.62 ACRES
OPEN SPACE	2.93 ACRES	2.28 ACRES
TOTAL LANDSCAPE AREA	4.46	2.90 AC
BUILDING COVERAGE	2.46 ACRES	5.69 AC MAX
PERCENTAGE OUTDOOR LIVING	13.44%	5.45%
PERCENTAGE OPEN SPACE	25.75%	20.0% MIN
PERCENTAGE BUILDING COVERAGE	21.6%	50.0% MAX

- LEGEND:
- PROPOSED PARCEL BOUNDARY
 - EXISTING/ADJACENT PARCEL BOUNDARY
 - PROPOSED EASEMENT
 - EXISTING EASEMENT
 - PROPOSED CENTERLINE ALIGNMENT
 - EXISTING CENTERLINE ALIGNMENT
 - PROPOSED SETBACK LINE
 - SURVEY SECTION LINE
 - SURVEY SECTION CORNER MONUMENT
 - CLASS I SURVEY MONUMENT
 - CLASS II SURVEY MONUMENT
 - CORNER PEDESTRIAN RAMP
 - ADA PARKING SPACE
 - STANDARD STREET SIGN
 - POD BOUNDARY

- DETAIL
- STANDARD STOP SIGN
 - END OF ROAD MARKERS
 - ASPHALT OVER BASE PAVEMENT SECTION
 - CONCRETE SURFACE
 - EROSION HAZARD
 - FLOOD HAZARD
 - OUTDOOR LIVING SPACE (COMMON AREA)
 - LIVING STRUCTURES LIMIT
 - OPEN SPACE (COMMON AREA)
 - PROPOSED WALL
 - PRIVATE AREA
 - INDOOR COMMON



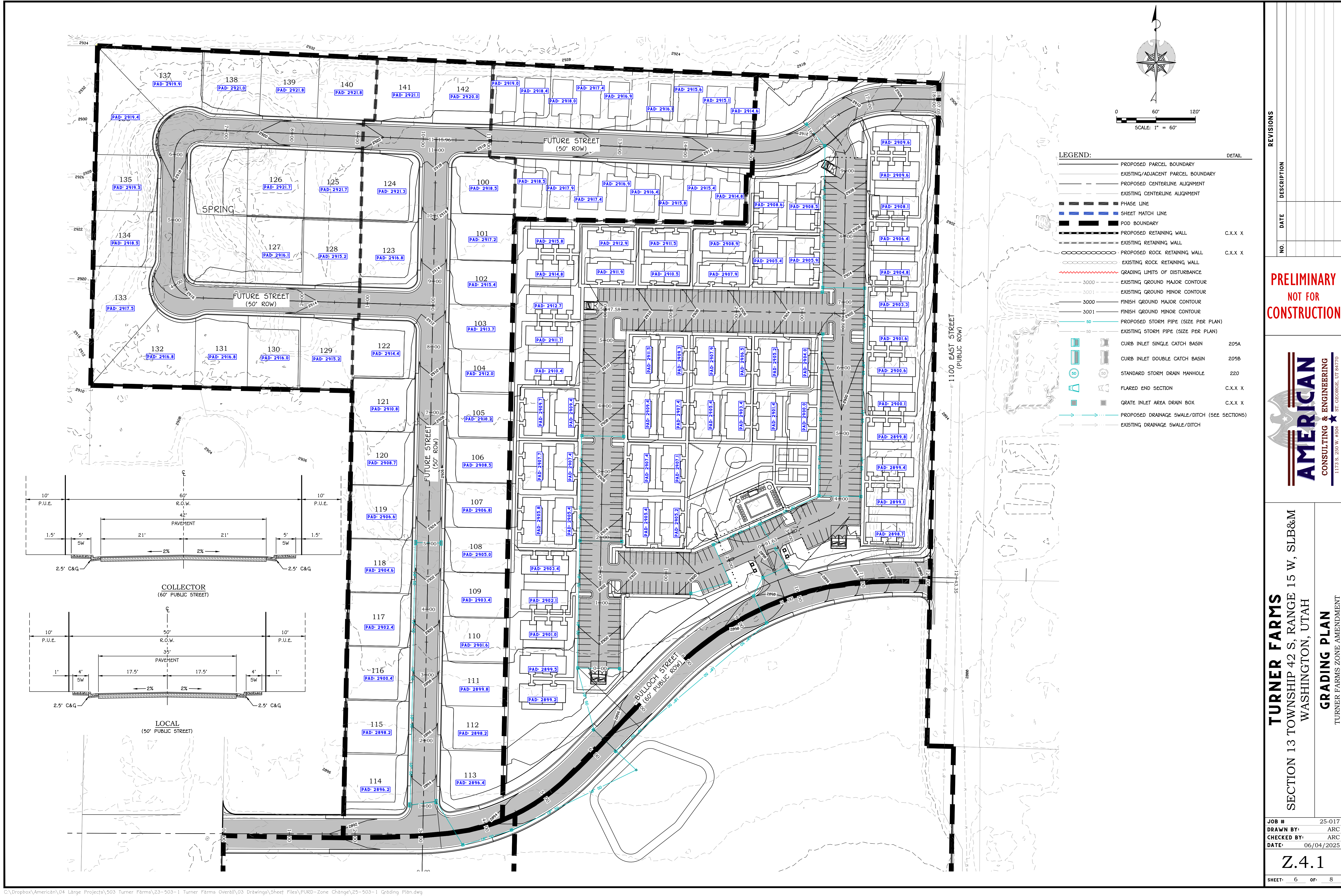
REVISIONS		
NO.	DATE	DESCRIPTION

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CONSTRUCTION



TURNER FARMS
SECTION 13 TOWNSHIP 42 S, RANGE 15 W, SLB&M
WASHINGTON, UTAH
SITE PLAN II
TURNER FARMS ZONE AMENDMENT

JOB # 25-017
DRAWN BY: ARC
CHECKED BY: ARC
DATE: 06/04/2025
Z.3.2
SHEET: 5 OF: 8



REVISIONS

NO.	DATE	DESCRIPTION
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AMERICAN
CONSULTING & ENGINEERING

ST. GEORGE, UT 84770

1173 S. 250 W. #504

TURNER FARMS

SECTION 13 TOWNSHIP 42 S, RANGE 15 W, SLB&M

WASHINGTON, UTAH

GRADING PLAN

TURNER FARMS ZONE AMENDMENT

JOB # 25-017

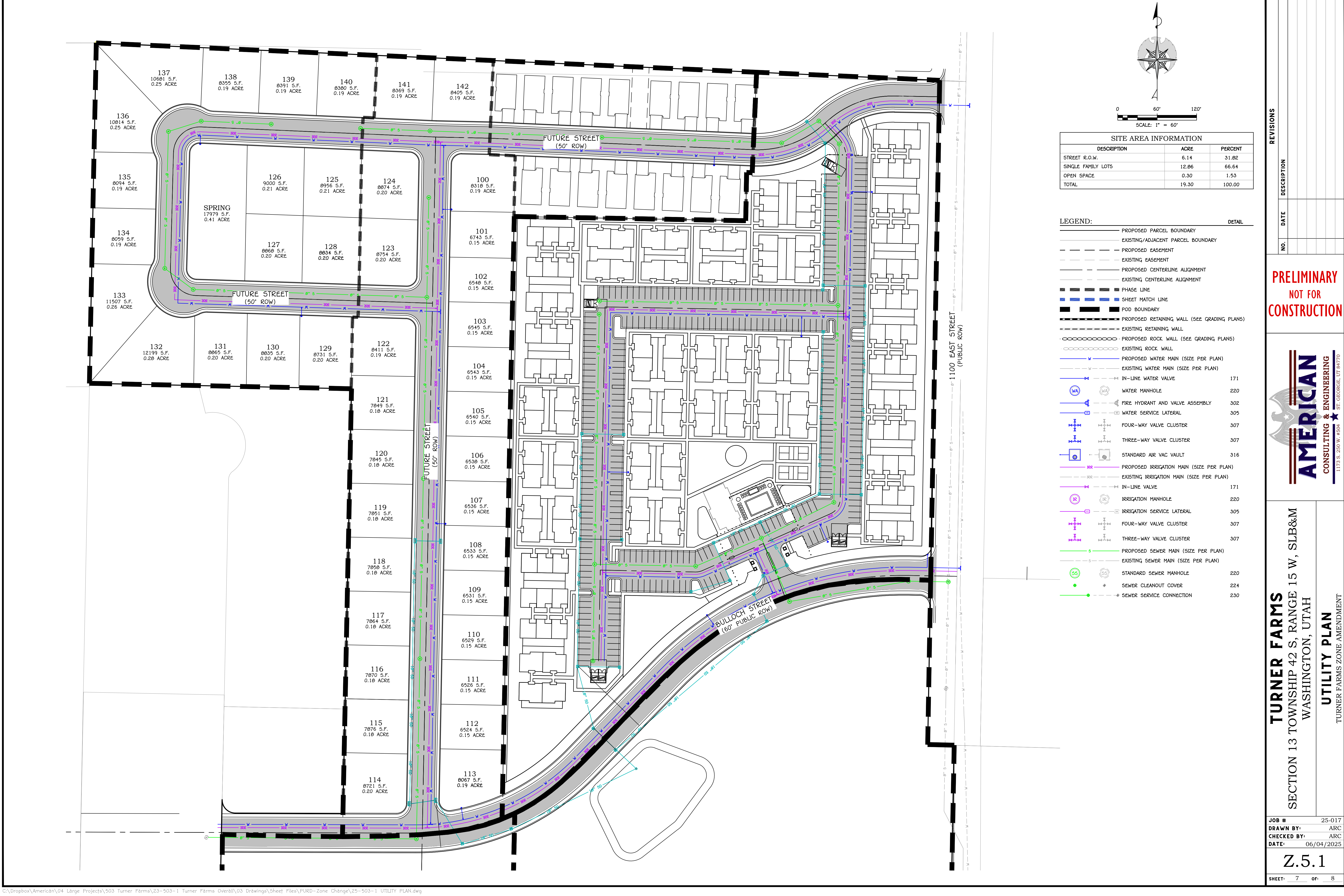
DRAWN BY: ARC

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DATE: 06/04/2025

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SHEET: 6 OF: 8



SITE AREA INFORMATION		
DESCRIPTION	ACRE	PERCENT
STREET R.O.W.	6.14	31.82
SINGLE FAMILY LOTS	12.86	66.64
OPEN SPACE	0.30	1.53
TOTAL	19.30	100.00

LEGEND:		DETAIL
---	PROPOSED PARCEL BOUNDARY	
---	EXISTING/ADJACENT PARCEL BOUNDARY	
---	PROPOSED EASEMENT	
---	EXISTING EASEMENT	
---	PROPOSED CENTERLINE ALIGNMENT	
---	EXISTING CENTERLINE ALIGNMENT	
---	PHASE LINE	
---	SHEET MATCH LINE	
---	POD BOUNDARY	
---	PROPOSED RETAINING WALL (SEE GRADING PLANS)	
---	EXISTING RETAINING WALL	
---	PROPOSED ROCK WALL (SEE GRADING PLANS)	
---	EXISTING ROCK WALL	
---	PROPOSED WATER MAIN (SIZE PER PLAN)	
---	EXISTING WATER MAIN (SIZE PER PLAN)	
---	IN-LINE WATER VALVE	171
---	WATER MANHOLE	220
---	FIRE HYDRANT AND VALVE ASSEMBLY	302
---	WATER SERVICE LATERAL	305
---	FOUR-WAY VALVE CLUSTER	307
---	THREE-WAY VALVE CLUSTER	307
---	STANDARD AIR VAC VAULT	316
---	PROPOSED IRRIGATION MAIN (SIZE PER PLAN)	
---	EXISTING IRRIGATION MAIN (SIZE PER PLAN)	
---	IN-LINE VALVE	171
---	IRRIGATION MANHOLE	220
---	IRRIGATION SERVICE LATERAL	305
---	FOUR-WAY VALVE CLUSTER	307
---	THREE-WAY VALVE CLUSTER	307
---	PROPOSED SEWER MAIN (SIZE PER PLAN)	
---	EXISTING SEWER MAIN (SIZE PER PLAN)	
---	STANDARD SEWER MANHOLE	220
---	SEWER CLEANOUT COVER	224
---	SEWER SERVICE CONNECTION	230

PRELIMINARY
NOT FOR
CONSTRUCTION



TURNER FARMS
SECTION 13 TOWNSHIP 42 S, RANGE 15 W, SLB&M
WASHINGTON, UTAH
UTILITY PLAN
TURNER FARMS ZONE AMENDMENT

JOB # 25-017
DRAWN BY: ARC
CHECKED BY: ARC
DATE: 06/04/2025

Z.5.1
SHEET: 7 OF: 8



TYPICAL PLANT LEGEND

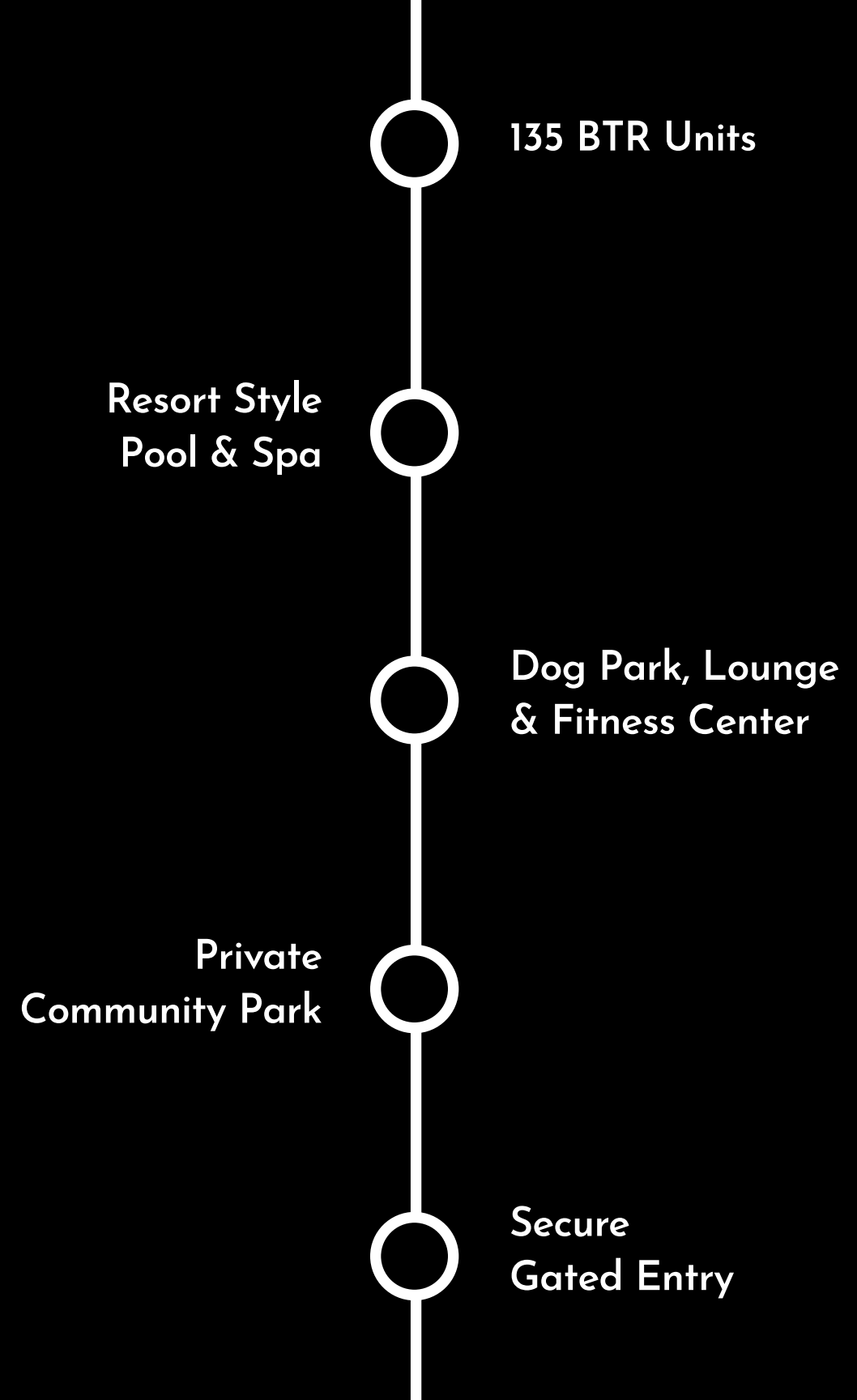
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CALIFORNIA FAN PALM
-  PISTACHE CHINENSIS 'RED PUSH'
RED PUSH PISTACHE
-  QUERCUS VIRINIANA
SOUTHERN LIVE OAK
-  CHITALPA TASHKENTENSIS
MULTI PINK DAWN CHITALPA
-  LAGERSTROEMIA INDICA
CRAPE MYRTLE TREE
-  PRUNUS
FLOWERING PLUM TREE
-  QUERCUS BUCKLEYI
TEXAS RED OAK TREE
-  LOW WATER SHRUBS
TYPICAL SHRUBS
- 

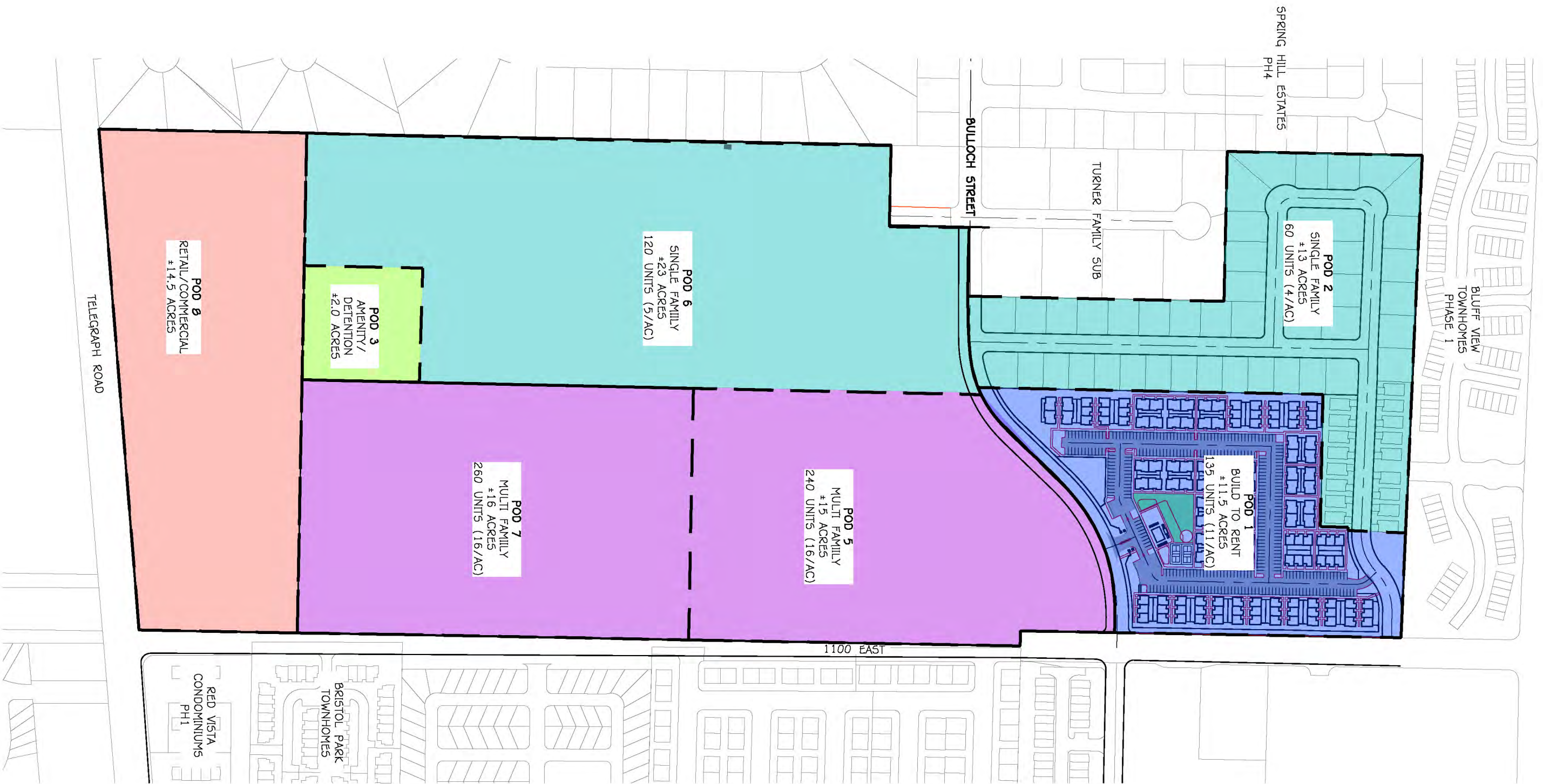
Turner Farms

DEVELOPMENT
PHASE 1



Highlights





For Sale Product





NEXT-GEN HOMES

SINGLE FAMILY LOTS

BTR Product

60x 2 Bed/2 Bath Homes • 75x 3 Bed/2.5 Bath Homes







Turner Farms
DEVELOPMENT

3 BED/2.5 BATH HOME RENDERING

10



BRICK: INTERSTATE, MODULAR, COLOR: OLD BALTIMORE,
COUNTRY MANOR, SAGE WHITE MESSY MORTAR



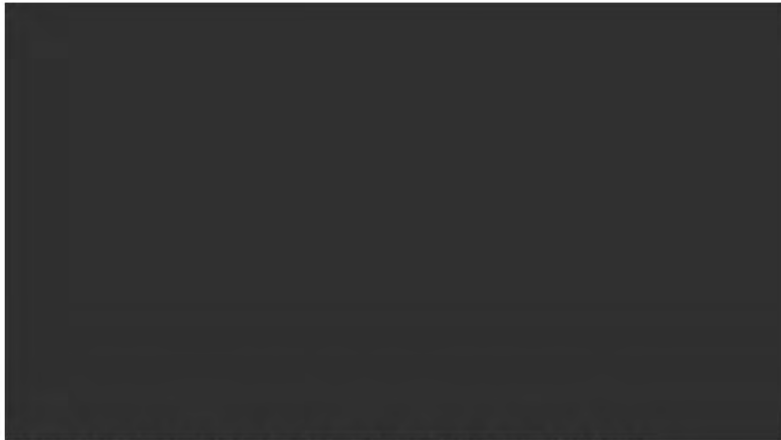
EXTERIOR DOORS: MAROONED SW 6020



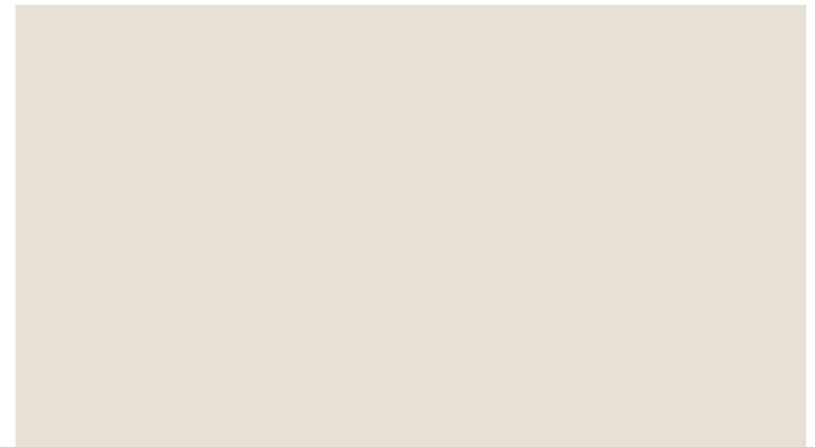
CONCRETE ROOF TILE: BARTILE
STANDARD LEGENDARY SLATE



SMOOTH STUCCO: FAWN BRINDLE SW 7640



WINDOWS/ SOFFIT/ FASCIA: TRICORN BLAC SW 6258



SMOOTH STUCCO: SHOJI WHITE SW 7640

Amenities

- Private yards for each unit
- Resort-style pool, spa, and splash pad
- Private community park
- Fitness center
- Pickleball courts
- Dog park
- Secure, gated entry
- Putting green



CONCEPTUAL



CONCEPTUAL



CONCEPTUAL



CONCEPTUAL



CONCEPTUAL



CONCEPTUAL



CONCEPTUAL

Turner Farms

DEVELOPMENT
PHASE 1



WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE: June 18th, 2025

ACTION REQUESTED: Z-25-17 - A request to change the zoning of 3.6 acres located at approximately 990 East George Washington Blvd, from the current R-1-10 zoning to a proposed PUD-R zoning designation

APPLICANT: Lance Miller

OWNER: Miller Lance Tr

ENGINEER: Bush & Gudgell

REVIEWED BY: Eldon Gibb, Community Development Assistant Director

RECOMMENDATION: Recommend approval with conditions to the City Council

Background

The applicant is requesting approval for a zone change of approximately 3.6 acres in size. The property is located at 990 East George Washington Blvd. The proposal is to change the zoning from R-1-10 to a proposed PUD-R zoning designation, utilizing the Single Family Development Standards. In 2022, Washington City approved a preliminary plat for this property in accordance with the R-1-10 zoning and since this approval, the applicant became aware of a fault line that significantly hindered the layout of the approved plan.

The proposal includes 14 single family lots ranging from 5,300 - 10,000 sq ft. This is a 3.89 d.u./acre ratio. The proposal includes 29,000 sq ft of open space cleaned up and left in its natural vegetation with an improved 10' foot asphalt trail connecting George Washington Blvd to the residential subdivision to the north. This trail is part of the provided amenities and will be maintained by the HOA.

The surrounding zoning is RA-1 to the north with bonus density credits, R-1-15 to the east, R-1-8 to the south and PUD-R to the west. The general plan for this area is LD allowing for 3-4 units per acre. The project meets the 3-4 units per acre but staff should note the smaller lot sizes on the proposed plan; however, does recognize the location of the fault line and the increased traffic on George Washington Blvd.

There is a master planned trail on the north side of George Washington Blvd and the applicant

is planning to extend the back of the existing sidewalk so that the width of the sidewalk is 10' feet. This land extension of sidewalk will be dedicated over to the city.

Recommendation

Staff recommends the Planning Commission recommend approval of Z-25-17, for the zone change request from the current R-1-10 to the proposed PUD-R zoning designation as shown in the exhibit, onto the City Council, based on the following findings and conditions:

Findings

1. That the requested zoning conforms to the intent of the land use designation of the General Plan.
2. The utilities that will be necessary for this type of development will be readily accessible to the site.

Conditions

1. The project shall conform to the standards of the PUD - Residential (Single Lot Development) Zone and be built in accordance with the attached exhibit and conditions of this proposal.
2. A traffic study shall be submitted for review and approval prior to submitting building permit applications. The study will address the city's Master Transportation Plan.
3. A final drainage study and grading and drainage plan shall be submitted for review and approval prior to site development. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
4. Detailed landscape and irrigation plans shall be submitted for review and approval with the Construction Drawing application and shall conform to the city's water conservation ordinance and approved zoning plan. The developer shall install the landscaping and irrigation infrastructure prior to the occupancy of any unit.
5. All structure and site improvements shall meet the requirements of City-adopted building and fire codes.
6. A Post Construction Maintenance Agreement needs to be recorded prior to any plat recordations.
7. The proposed amenity area and landscape improvements shall be completed prior to the occupancy of any unit



BUSH & GUDGELL, INC.

Engineers • Planners • Surveyors
205 East Tabernacle
St. George, Utah 84770
(435) 673-2337 (ph.)
(435) 673-3161 (fax)

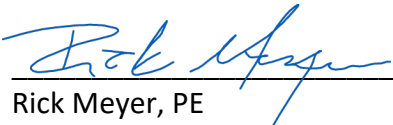
May 14, 2025

RE: PD Zone Change Application – Crimson Court

Dear Council / Commission members,

With this Planned Development Zone Change request, the applicant desires to provide the detailed information regarding the development of 3.61 acres of land (Parcel # W-WBKS-2-A). Currently, the land is owned by Lance Miller Tr. The land includes most of lot 2 of the Woolsey Blake subdivision. As the site plan shows, this development will include a total of 14 detached single family homes on 14 lots. This will result in a density of 3.88 dwelling units per acre at this location. The proposed amenity for the subdivision will be a trail running north-south on the east side of the property. This feature will be open to the public and will provide good connectivity for those seeking active lifestyle in the area. We feel that this development will be in great harmony with the adjacent properties, including the Roadrunner Ridge neighborhood. Your consideration of this request is greatly appreciated.

Sincerely,



Rick Meyer, PE
Bush and Gudgell



**PROJECT FLOW CARD: Z-25-17 - Zone Change PUD/R - Crimson Court
990 E George Washington Blvd**

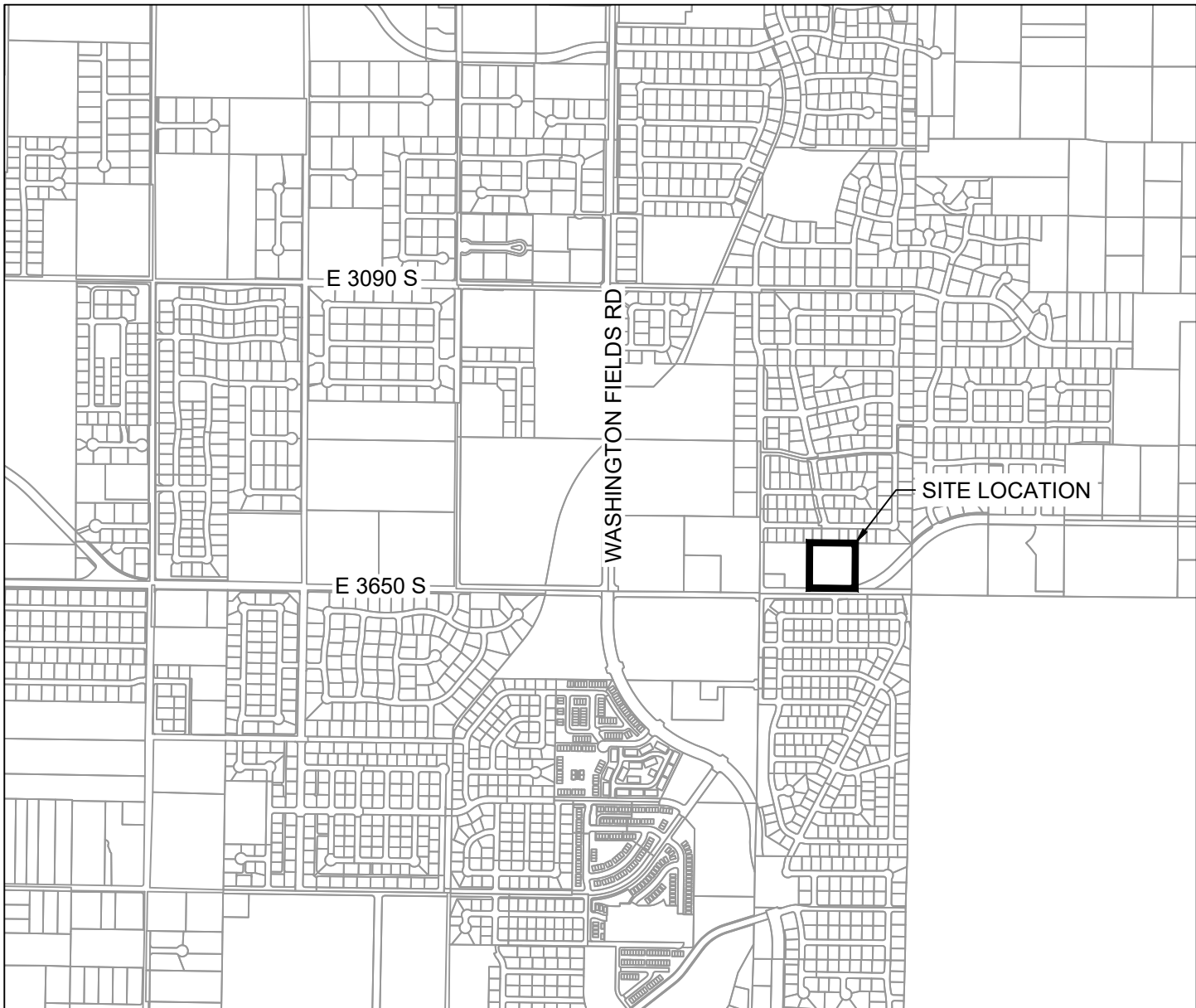
Planning	Reviewed. OK to move forward. Preliminary plat approval for R-1-10 lots was completed back in August 2022. With the recently discovered fault line running through the property, changes to the layout were needed which prompted the idea of smaller lot sizes at this location.	
Public Works	Reviewed - Items addressed - Basic utility layout is acceptable for zone change request. Modifications will be required during construction plan submission.	
Engineer	As this moves forward it will need a detention basin and LID. Not sure of the location of where those will fit.	
Fire Dept.	Fire Hydrant at rear of the Cul De Sac needs to be moved to the area of lot 10 (entrance of the Cul De Sac)	
Parks/Trails	Reviewed, no concerns.	
Building Dept	Reviewed, no concerns.	
Dixie Power	Reviewed, no concerns.	
Economic Dev	Reviewed. No concerns. Residential density in this development helps support planned commercial development for the nearby George Washington Blvd commercial corridor. RH	

B&G PROJECT NUMBER 251020

CRIMSON COURT

PLANNED DEVELOPMENT ZONE CHANGE LOCATED IN WASHINGTON, UTAH

SECTION 1, T 43 S, R 15 W, SLB&M
PARCEL #W-WBKS-2-A



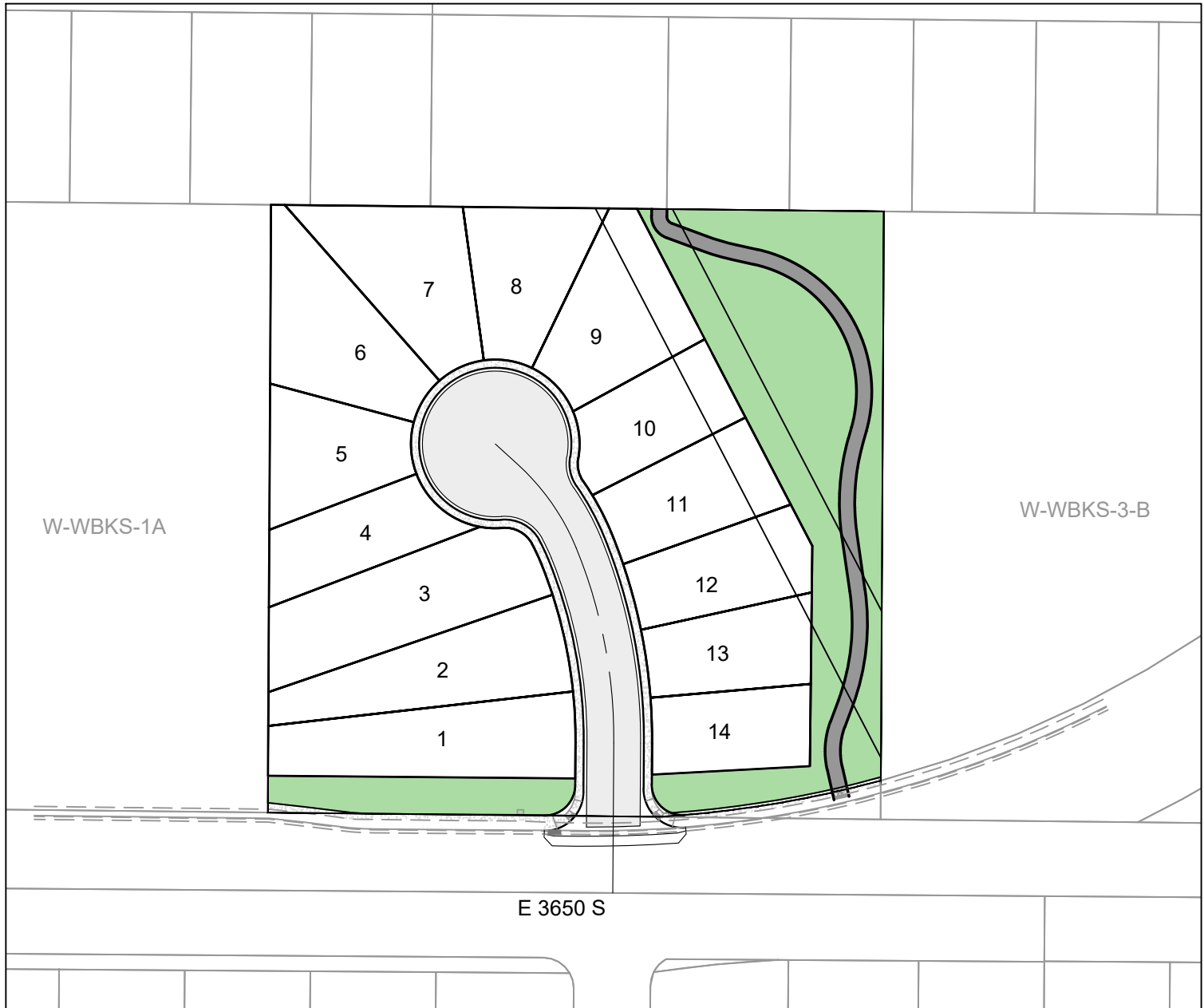
VICINITY MAP

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING & DRAINAGE PLAN
4	UTILITY PLAN
5	VICINITY PLAN

LEGAL DESCRIPTION:

BEGINNING AT A POINT THAT LIES SOUTH 89°21'44" EAST ALONG THE TOWNSHIP LINE 434.76 FEET AND DUE NORTH 45.83 FEET FROM THE SOUTHWEST CORNER OF SECTION 36, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 00°18'42" EAST 396.57 FEET; THENCE SOUTH 89°22'52" EAST 400.00 FEET; THENCE SOUTH 00°18'42" WEST 370.13 FEET; THENCE WESTERLY ALONG A 719.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, (LONG CHORD BEARS SOUTH 82°49'41" WEST A DISTANCE OF 195.54 FEET), CENTER POINT LIES NORTH 14°58'55" WEST THROUGH A CENTRAL ANGLE OF 15°37'12", A DISTANCE OF 196.15 FEET; THENCE NORTH 89°21'43" WEST 206.12 FEET TO THE POINT OF BEGINNING.

CONTAINING 156,945 SQUARE FEET OR 3.60 ACRES.



PROJECT MAP

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK IN ANY ZONE.
- ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS.
- PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.
- PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS.
- FOLLOW APPENDIX 'J' STANDARDS FOUND IN THE IBC.
- ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

DUST CONTROL

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:

- EARTH MOVING ACTIVITIES:**
- APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES.
 - PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS OR EQUIPMENT PENETRATION.
 - APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
 - OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.
- DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:**
- WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
 - INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

JUNE 2025

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors

205 East Tabernacle #4
St. George, Utah 84770
Phone (435) 673-2337



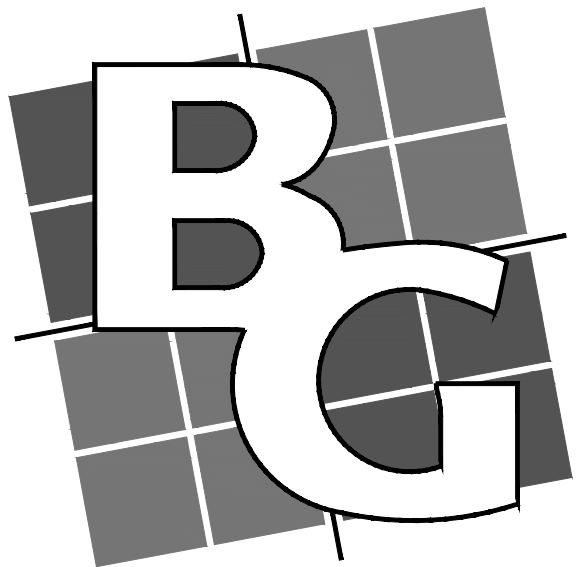
OWNER/DEVELOPER

LANCE MILLER
801-367-2245
lancebmiller@gmail.com

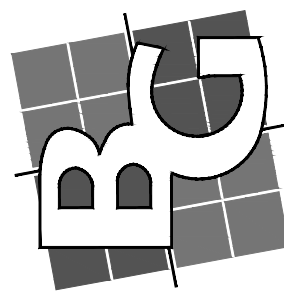
ENGINEERING CONTACT

BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435)-673-2337



BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors



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www.bushandgudgell.com

DATE: JUN 2025
DRAWN: MG
APPROVED: RM
SCALE: NTS
JOB NO. 251020

COVER SHEET
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

SHEET 1 OF 5
SHEETS
FILE: 251020



KEYED NOTES:

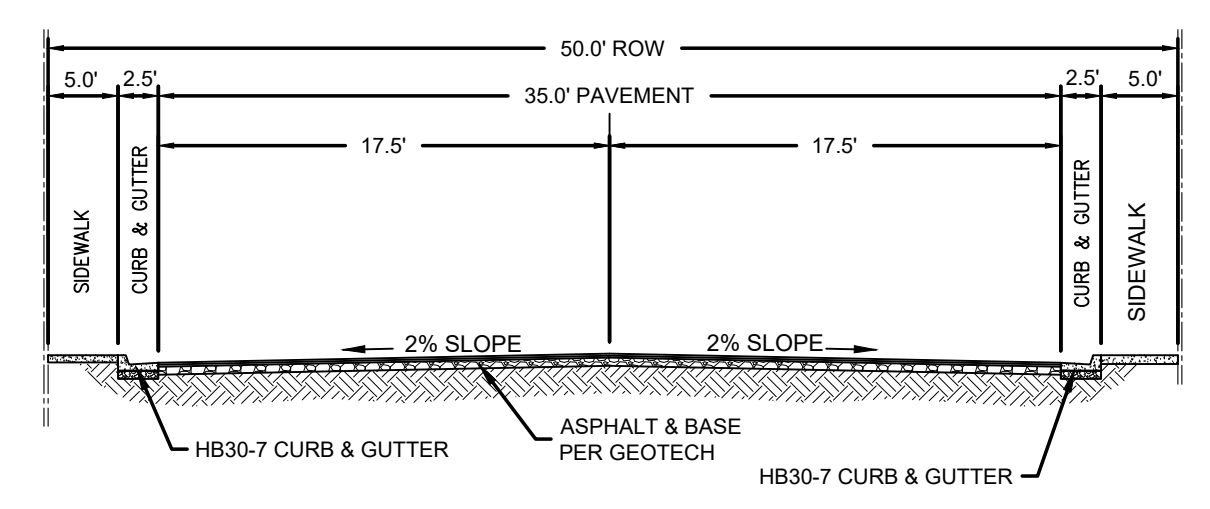
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 CONSTRUCT HANDICAP RAMP PER ADA GUIDELINES
- 2 CONSTRUCT CURB AND GUTTER (TYPE HB30-7)
- 3 5' CONCRETE SIDEWALK (WASHINGTON DWG #120)
- 4 EXISTING EDGE OF ASPHALT
- 5 SAWCUT EXISTING ASPHALT
- 6 PROPOSED ASPHALT
- 7 TRUNCATED DOME PER ADA STANDARDS
- 8 EXISTING CURB TO BE DEMOLISHED
- 9 PROPOSED 10' ASPHALT TRAIL

PROJECT INFORMATION

CURRENT ZONING:	R-1-10
GENERAL PLAN:	RESIDENTIAL
SITE AREA:	W-WBKS-2-A - 157,170 SQ. FT. - 3.608 ACRES
NUMBER OF BUILDINGS:	14
BUILDING USAGE:	RESIDENTIAL
BUILDING COVERAGE:	16.51%
BUILDING DENSITY:	3.88 DU/AC
OPEN SPACE / LANDSCAPING:	TOTAL OPEN SPACE 36,684 SQ FT (23.3%) LANDSCAPED PORTION 7,480 SQ FT (4.8%) NATURAL OPEN SPACE 29,204 SQ FT (18.5%)
SITE AMENITIES:	PROPOSED AMENITY FOR CRIMSON ESTATES IS A CONNECTIVE TRAIL ALONG THE BACK OF UNITS 9-14. TRAIL AREA: 4,677 SQ FT (334 SQ FT PER UNIT) MIN AMENITY AREA: 2,800 SQ FT (200 SQ FT PER UNIT)

50' PUBLIC RIGHT OF WAY



LEGEND

- EXISTING RIGHT OF WAY LINE
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED RETAINING WALL
- DRAINAGE CHANNEL FLOW LINE
- EXISTING FENCING
- PARCEL BOUNDARY LINE
- STOP / STREET SIGN
- END OF ROAD MARKERS
- PROPOSED ASPHALT
- PROPOSED OPEN SPACE AREA (APPROX 36,684 SQ FT - 0.84 AC)



OWNER/DEVELOPER

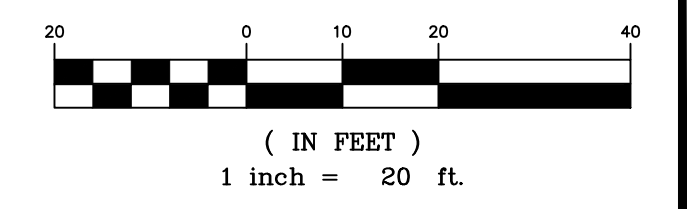
LANCE MILLER
801-367-2245
lancebmiller@gmail.com

ENGINEERING CONTACT

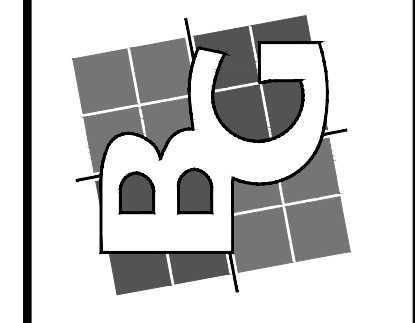
BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435)-673-2337

GRAPHIC SCALE

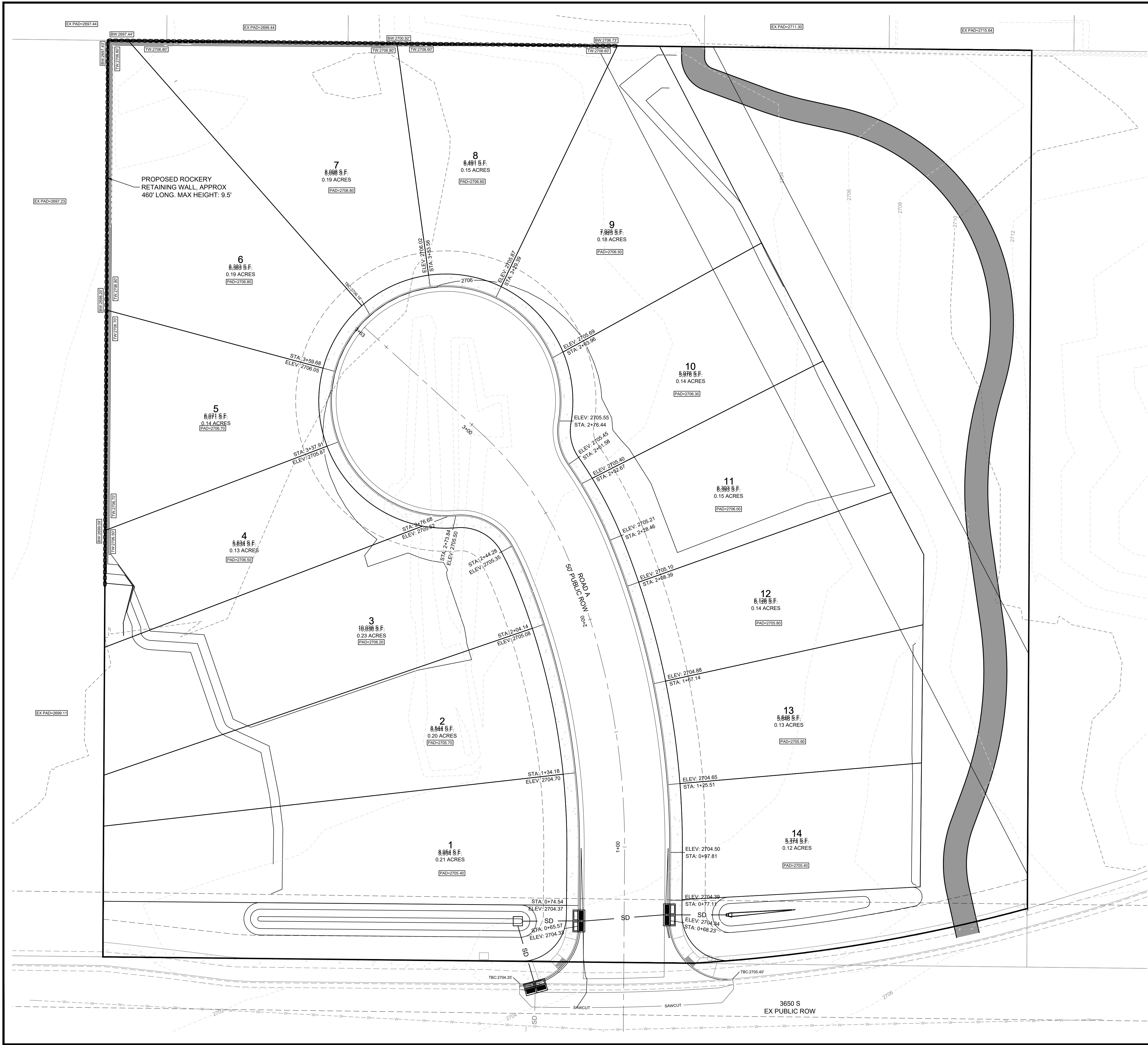


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DATE: JUN 2025	DRAWN: MG	APPROVED: RM	SCALE: 1"=20'	JOB NO. 251020
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SITE PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH



- LEGEND**
- EXISTING GROUND CONTOUR (2' & 10' INTERVAL)
 - FINISH GROUND CONTOUR (2' & 10' INTERVAL)
 - LOT LINE
 - LIMITS OF CONSTRUCTION
 - ROAD CENTERLINE
 - ROW LINE
 - RETAINING WALL
 - LANDSCAPE DRAINAGE SWALE
 - PAD ELEVATION IN FEET
 - FL = FLOW LINE
 - TBC = TOP BACK OF CURB
 - SLOPE IN RUN:RISE
 - CONTOUR ELEVATION IN FEET
 - STORM DRAIN MAN HOLE
 - CURB INLET
 - STORM DRAIN PIPE
 - EXISTING CURB INLET
 - EXISTING STORM DRAIN

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY

Call before you Dig

1-800-662-4111

BLUE PRINTS LOCATED ON SHEET 01/02

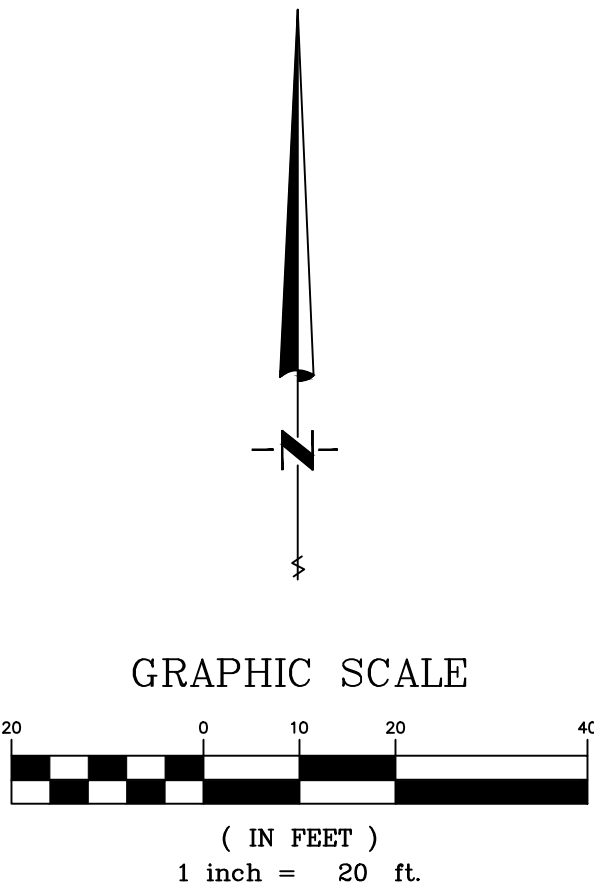
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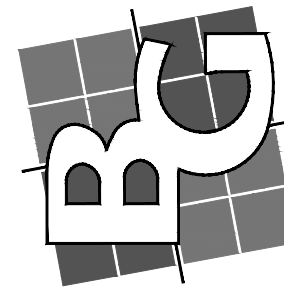
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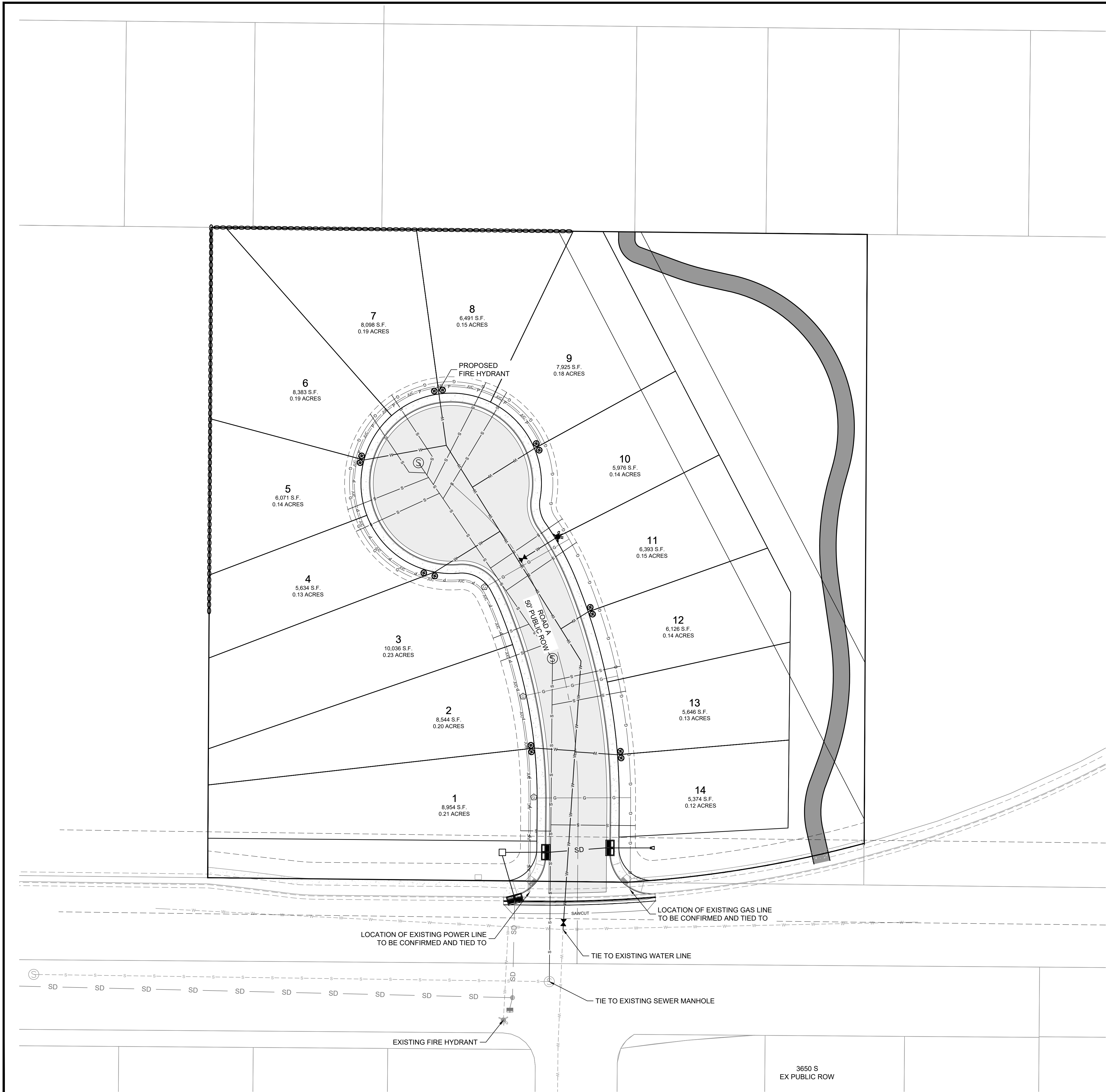
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GRADING PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

SHEET 3 OF 5 SHEETS
FILE: 251020



LEGEND

— P — P — PROPOSED POWER LINE
— S — S — PROPOSED SEWER LINE
- - - S - - - EXISTING SEWER LINE
— W — W — PROPOSED WATER LINE
- - - W - - - EXISTING WATER LINE
⊙ PROPOSED SEWER MANHOLE
⊗ PROPOSED WATER VALVE
★ PROPOSED FIRE HYDRANT

AVOID CUTTING UNDERGROUND
UTILITY LINES. IT'S COSTLY

**Call
before you
Dig**

1-800-662-4111

BLUE PRINTS ONLY (NOT FOR CONSTRUCTION)

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lancebmiller@gmail.com

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GRAPHIC SCALE

30 0 15 30 60

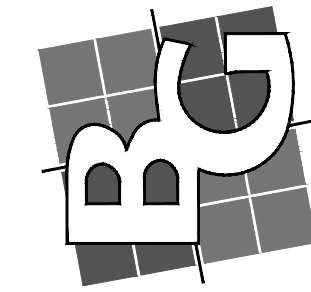
(IN FEET)

1 inch = 30 ft.

North arrow pointing up.

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JOB NO. 251020

UTILITIES PLAN
CRIMSON COURT
LOCATED IN WASHINGTON, UTAH

