



PLANNING COMMISSION STAFF REPORT

MEETING DATE: June 19, 2025
PROJECT NUMBER: S24-00027
REQUEST: An application for approval of a preliminary subdivision plat amendment to plat one (1) parcel located at 120 E Spencer Ave.
ADDRESS: 120 E Spencer Ave.
PARCEL NUMBER: 16-30-355-0040-0000
PROPERTY OWNER: LUCKY 88 PROPERTIES, LLC
APPLICANT: Jian Zheng (Jerry)
TYPE OF APPLICATION: Administrative – Subdivision Plat Approval

SYNOPSIS:

On December 23, 2024, Jian Zheng (Jerry) submitted a Plat Application to plat one (1) parcel. The parcel number is 16-30-355-0040-0000. The current parcel is empty. The current land use district of the parcel is Commercial Corridor (CC). This plat application is to plat the existing parcel, so the landowner can build a new office building on the parcel. Mainly, commercial uses surround the property. The subject parcel currently does not include any easements. The proposed consolidated lot will be approximately 0.21 acres.

The applicant obtained a variance approval on the property on September 26, 2023 because of the 1-acre lot size minimum for developments in the CC district.



The Planning Commission is the land use authority over all Plat Applications.

STAFF RECOMMENDATION:

Staff recommend approval for a preliminary subdivision plat amendment to plat one parcel.

EXISTING ZONING	EXISTING LAND USE	SURROUND ZONING	SIZE OF PROPERTY
CC	Empty	North – CC South – CC East – CC West – CC	0.21 acres

GENERAL INFORMATION:

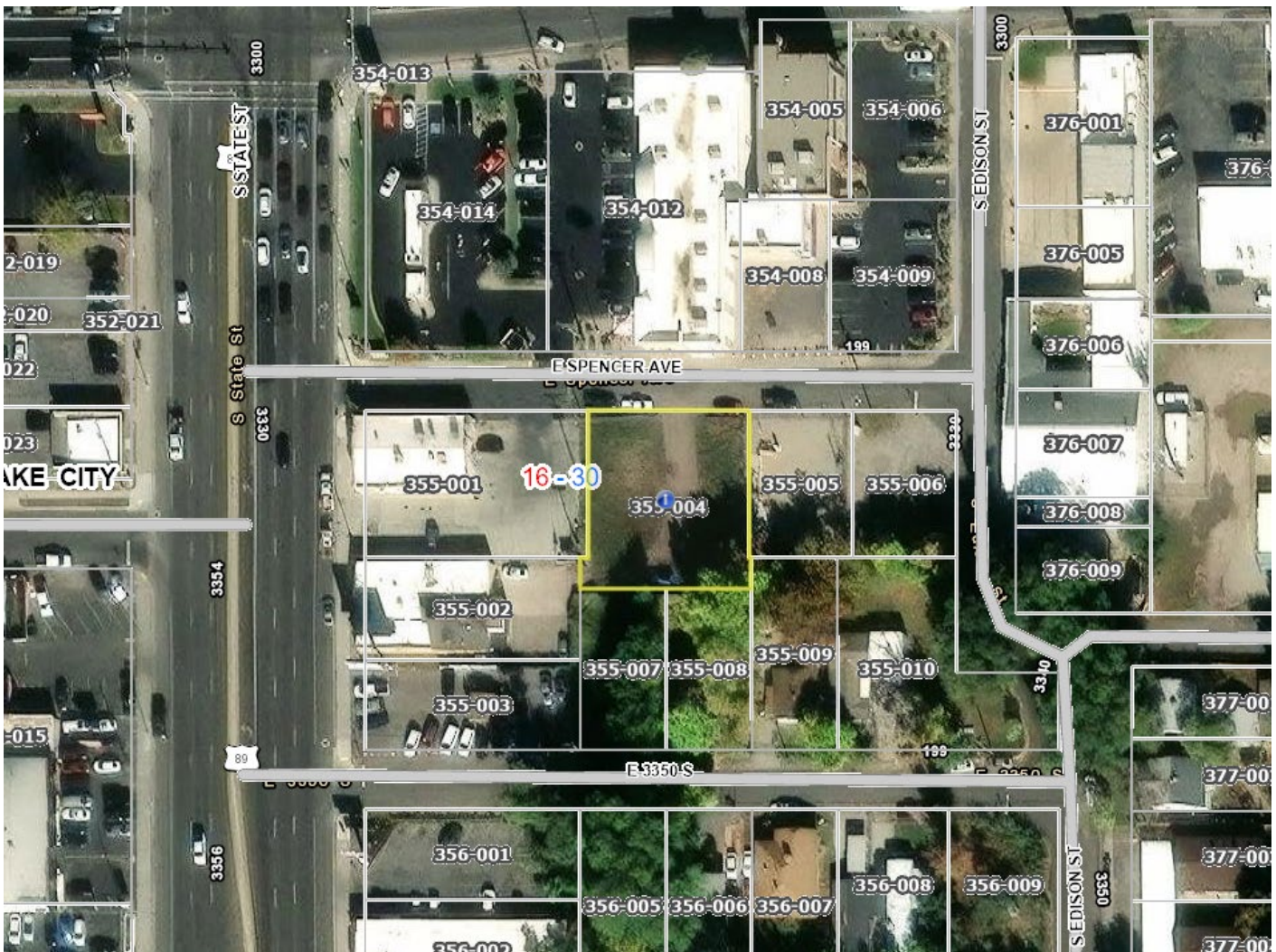
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Location: 120 E Spencer Ave

Parcel Size: 0.21 acres after consolidation

Surrounding Land Use Districts: North – CC
South – CC
East – CC
West – CC

Figure 1: Existing Parcel Lines



An aerial view of a large, mostly empty paved lot, likely a parking area or a site for development. Several cars are parked in the lot, including a silver sedan in the foreground, a white sedan, and a dark blue sedan. In the background, there are trees, a yellow excavator, and some buildings. A silver car is in the foreground, partially visible.

[illegible]

Figure 5: Site Plan

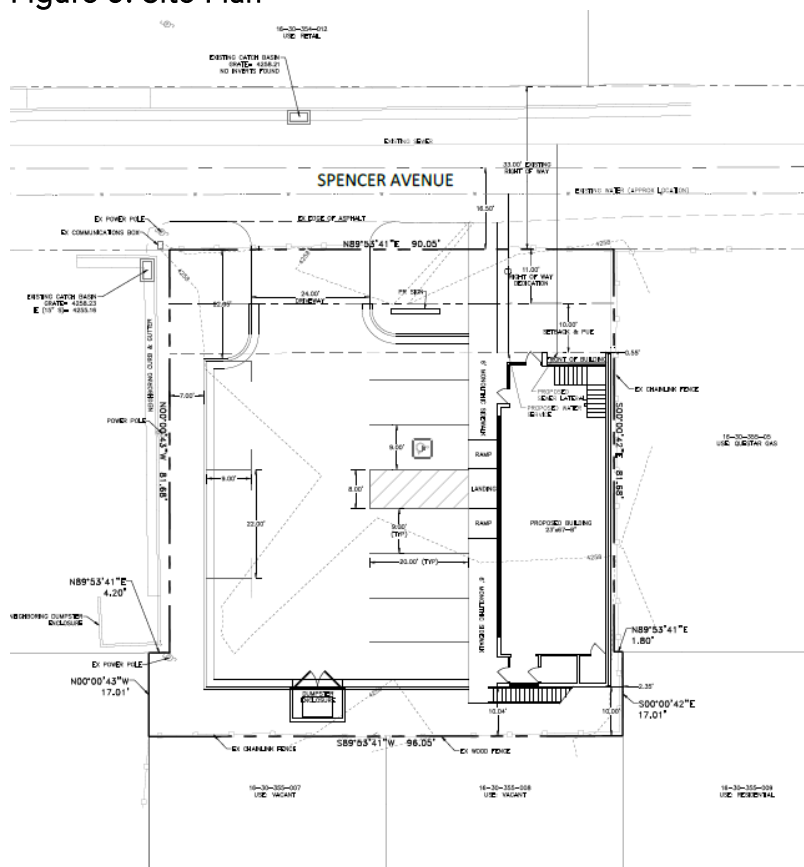


Figure 6: Alta Survey

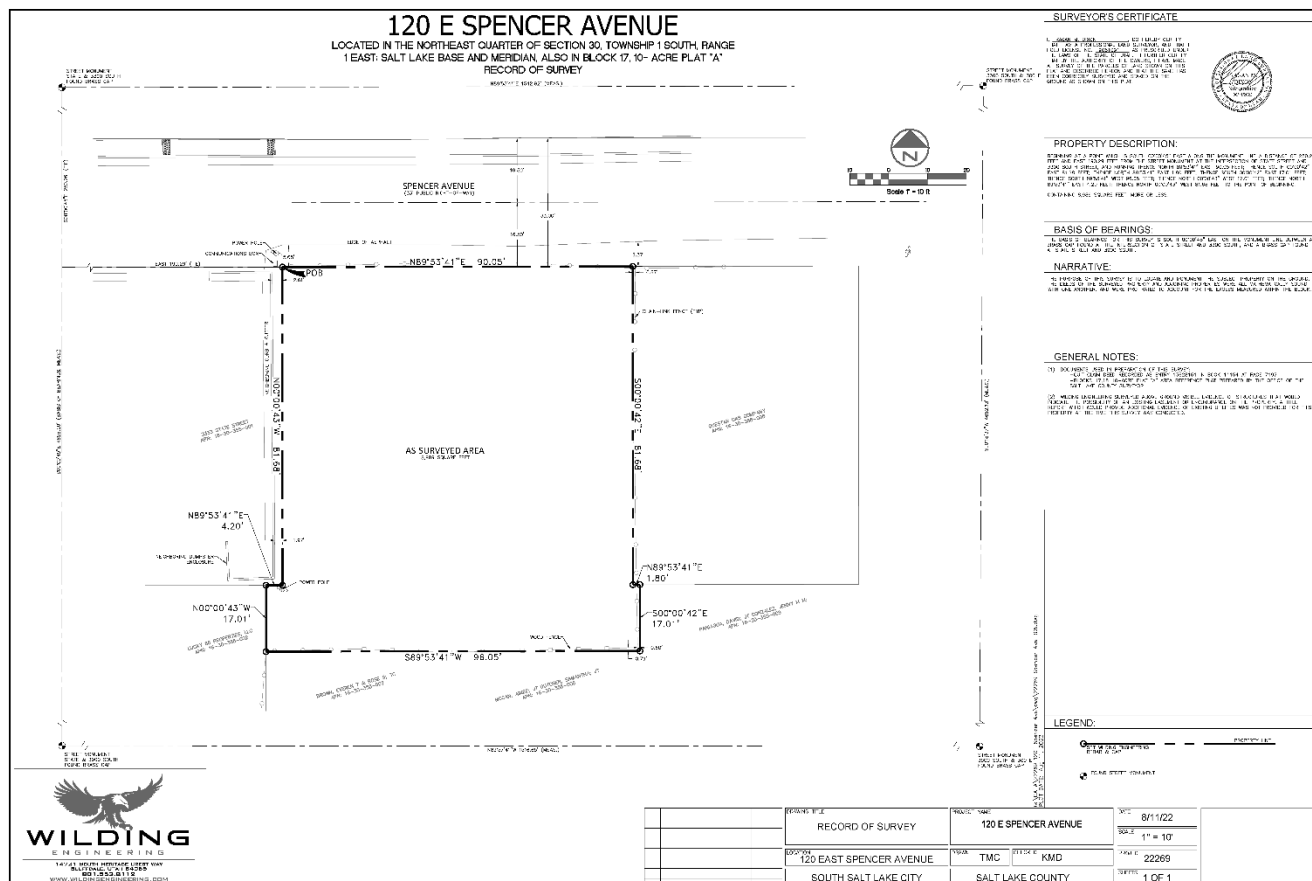


Figure 7: Elevations

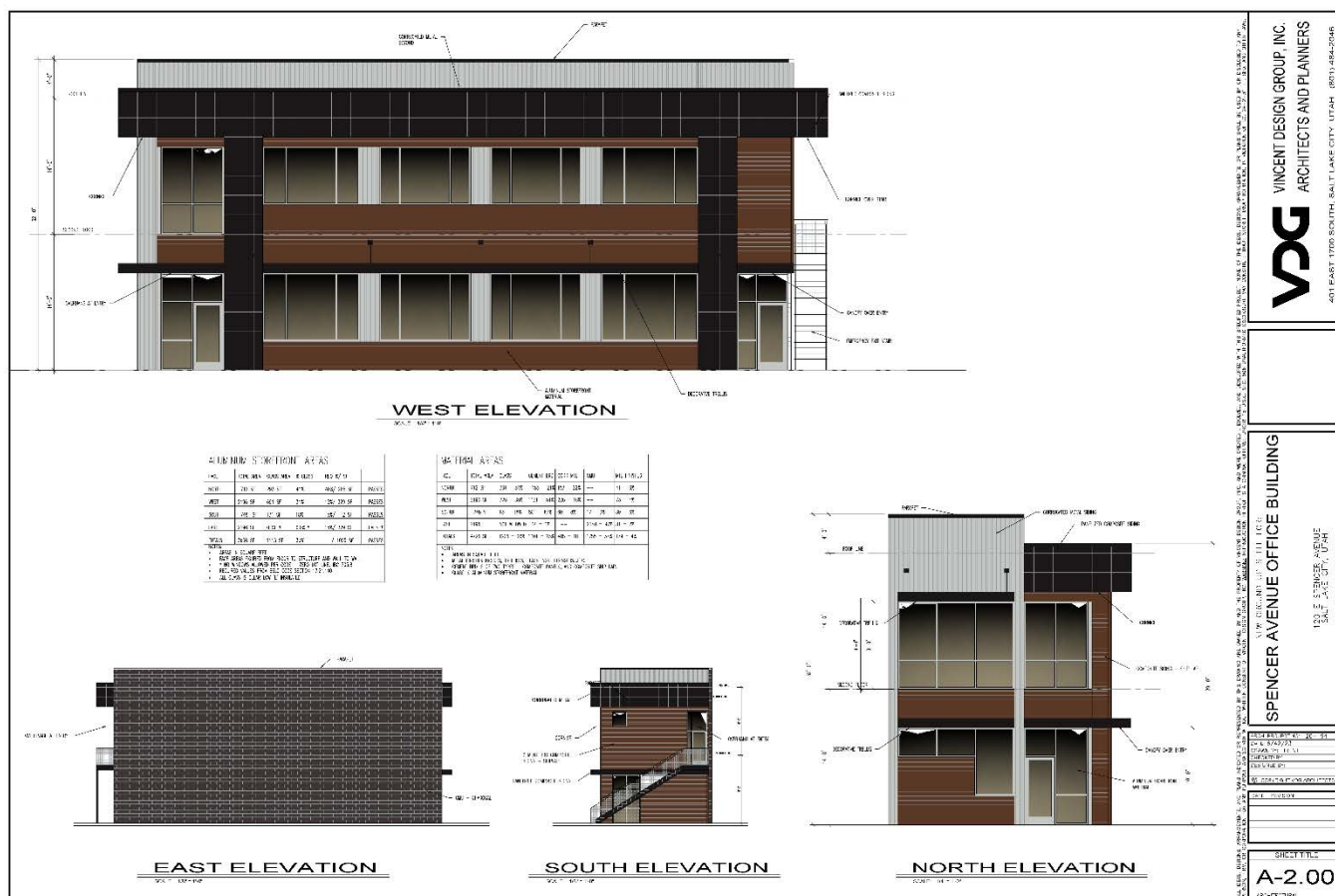
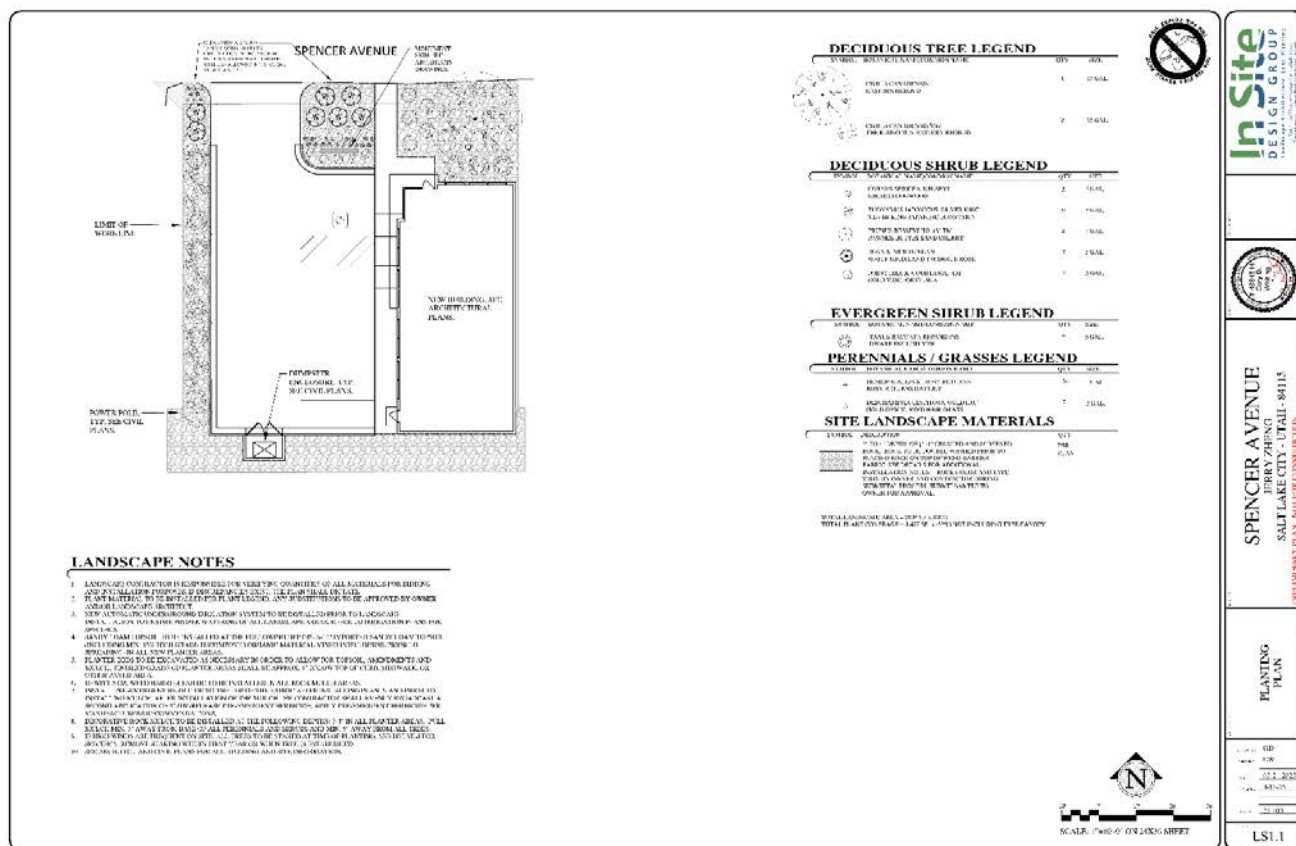


Figure 8: Landscape Plan



PLANNING COMMISSION AUTHORITY:

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

- A. **Planning Commission.** The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

GENERAL PLAN CONSIDERATIONS:

Economic Development Goal 3: Continue to support existing and future businesses through the city's partnership with the South Salt Lake Chamber of Commerce and comprehensive business retention and recruitment program.

Analysis: This plat application allows the landowner of 120 E Spencer Ave to develop the current empty land parcel, to increase local opportunities, development density, and local destinations.

ORDINANCE ANALYSIS:

Ordinance	Finding	Notes / Insufficiency
Downtown District Code		
17.10.120 – Requirements for Improvements & Design		
A. Compliance with laws, rules and regulations	Petition complies.	
B. South Salt Lake construction specifications and standard drawings (Road profile dedications)	The applicant met with the Engineering Department to meet all Right of Way requirements.	
C. Self-Imposed restrictions	The applicant has proposed no restriction.	
D. Restrictions due to character of the land	Not applicable	
17.10.140 – Subdivision Development Lot Standards		
A. All Final Plats shall result in the creation of compliant Lots and Building sites.	The total acreage of the existing lot is 0.21 acres. The proposed lot does not comply with the standards in Section 17 of the SSL Municipal Code. Therefore, a variance for the lot size is required.	
B. Frontage on public street	The existing lot has frontage on public street	
C. Street right-of-way shall be separate and distinct from subdivided lots.	Not applicable	
D. Minimum area and dimensions shall conform.	There is a 1-acre minimum requirement in the CC District for commercial uses.	Applicant has obtained a variance regarding the 1 -acre

		minimum in the CC District
E. Side boundary lines shall be at right angles to the street.	All newly created side boundary lines are at right angles to all adjacent streets.	
F. Side boundary lines of lots shall be radial to center of a Cul-de-Sac	Not Applicable	
G. Corner lots for residential uses shall be platted wider than interior lots	Not Applicable	
H. Lots shall not divide City boundary	All existing and proposed parcels are located within South Salt Lake City.	
I. Double frontage SF residential lots	Not Applicable	
J. Multiple building yard areas	Not Applicable	
K. Side lot lines shall be at right angles to street lines	The newly created side lot lines are at a right angle to street lines.	
L. Dimensions of Corner Lots shall be large enough to allow for erection of Buildings	Not Applicable	
M. Depth and width of properties shall be adequate to provide for off-street parking and loading facilities	The development site plan provides sufficient off-street parking with 10 off-street parking stalls.	
N. New Single-Family lots	Not Applicable	
O. If Access from an Arterial or Collector Street is necessary for new adjoining lots, such lots shall be served by separate local street	Not Applicable	
P. Driveways shall be designed and arranged to avoid vehicles backing onto Streets	Not Applicable	
Q. Lots shall be laid out to provide positive drainage away from all buildings.	Per the Engineering review, there is positive drainage away from all buildings.	
17.10.160(A) - Drainage and Storm Sewers General Requirements		
A. Each plat shall make adequate provision for storm or flood water runoff.	Per the Engineering review, there is adequate provision for storm or flood water runoff.	
17.10.160(B) – Nature of Stormwater Facilities		
A. Applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or as a result of the subdivision.	Not applicable	
B. Adequate underground stormwater systems shall be constructed and maintained.	Per the Engineering review, there is an adequate underground stormwater system.	
C. Accommodation of Upstream Drainage Areas.	Not applicable	
D. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity.	Per the Engineering review, there is adequate storm or flood water drainage.	

E. Areas of poor drainage shall be remediated as applicable.	Sufficient drainage is provided per Engineering review.	
F. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area.	No floodplain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	
17.10.170 - Water Facilities		
A. Applicant shall extend public culinary water supply-system for the purpose of providing an adequate water-supply to the Plat	Adequate water supply provisions are proposed per South Salt Lake Engineering review.	
B. Applicant shall install adequate water facilities including fire hydrants.	All proposed water infrastructure has been reviewed by South Salt Lake Engineering and complies with city standards.	
C. Water extensions shall meet City's standards	Not applicable	
D. Fire flow shall be approved by the Fire Marshal.	The Fire Marshal has reviewed and approved the proposed development plan.	
E. Location of all fire hydrants, all water and storage supply improvements shall be shown on the approved site plan and the cost of installing shall be included on the performance guaranty.	The Fire Marshal has reviewed and approved the proposed development plan.	
F. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City, if any.	There are no private facilities at this location to be maintained by South Salt Lake City.	
G. Fire hydrants required for all plats.	The Fire Marshal has reviewed and approved the proposed development plan.	
17.10.180 - Sewer Facilities		
A. The applicant shall install sanitary sewer facilities in a manner prescribed by the applicable sanitary sewer authority.	The Engineering Department has reviewed and approved the proposed development plan.	
B. Sanitary sewer facilities shall connect with the public sanitary sewer at sizes required by the sanitary sewer authority	South Salt Lake Engineering has reviewed and approved the civil plans for the proposed development. All proposed infrastructure complies with South Salt Lake requirements.	
17.10.190 – Utilities		
A. Utility facilities shall be located underground in new subdivisions.	There are no existing utility facilities on the surface in this lot.	
B. Easements centered on Rear Lot Lines shall be provided for private and municipal utilities; such easements shall be at least 10' wide.	There will be a 10 ft PUE easement on the front lot line of the proposed development.	
17.10.200 - Sidewalks, Trails, and Bike Paths		
A. Subdivision shall comply with the applicable road profile – including	The existing roadways comply with the current Public Right of Way standards.	

sidewalks, landscaping, bike lanes, curb and gutter, etc.		
B. Trails, pedestrian paths, and bike paths shall relate appropriately to topography.	Public and internal pathways relate appropriately to topography on the site and comply with South Salt Lake code.	
C. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan.	The Trails Master Plan does not include any facilities adjacent to the subject property.	

STAFF RECOMMENDATION:

Based upon the information submitted in the application, supporting documentation, and analysis of the relevant code sections and general plan goals, Staff recommends the Planning Commission move to approve the preliminary subdivision plat amendment to plat the one (1) parcel into one lot located at 120 E Spencer Ave, based on the findings of fact, conclusions of law and conditions of approval for the subdivision in the staff report.

Findings of Fact:

1. On December 23, 2024, Jian Zheng (Jerry) submitted a Plat Application to plat parcel 16-30-355-0040-0000.
2. The purpose of the proposed subdivision plat amendment is to plat the parcel for a new office building.
3. The subject location 120 E Spencer is in the CC land use district.
4. The total development area of the one (1) lot is 0.21 acres.
5. Section 17.07.010 of the South Salt Lake Municipal Code states that new buildings are required to comply with all IBC, IFC, development, and design standards.
6. No impact is expected as part of the business on environmentally sensitive lands. There is no environmentally sensitive land on site.
7. No specific hazards or adverse impacts are expected due to the proposed use.
8. "Office" land use is permitted in the CC land use district.
9. The proposed development will comply with all requirements of the South Salt Lake Municipal Code.
10. Staff has reviewed this subdivision application for compliance with South Salt Lake Municipal Code Sections 17.10.120, 17.10.130, 17.10.140, 17.10.150, 17.10.160, 17.10.170, 17.10.180, 17.10.190 and 17.10.200, and found that this subdivision application is compliant with this section, as outlined above.

Conclusions of Law:

1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.

2. The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the CC district.
3. The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of the city.

Conditions of Approval:

1. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
2. Prior to plat recordation and any additional development of the subsequent lot, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The applicant shall complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required landscaping and public infrastructure improvements including street lights;
4. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
5. The applicant shall dedicate an easement to the City of South Salt Lake for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
6. The proposed development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering department;
7. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit;
8. The applicant shall record the plat with the Salt Lake County Recorder's Office within 2 years of receiving final plat approval or the applicant elects to install Infrastructure Improvements prior to Plat recordation, the applicant shall have applied for the proper permits, deposited a 10% Warranty Assurance and be actively working on the issued permit;
9. All utilities shall be undergrounded.

PLANNING COMMISSION OPTIONS:

10. All items of the staff report.

Option 1: Approval

Move to approve the application by Jian Zheng, for preliminary subdivision plat amendment to plat the one lot located at 120 E Spencer Ave, based on the findings and conclusions in the staff report, with the conditions enumerated in the staff report and on the record.

Option 2: Denial

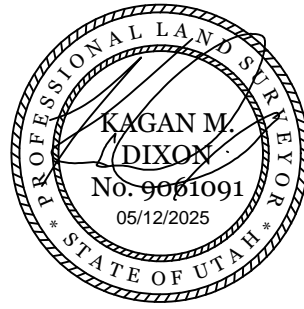
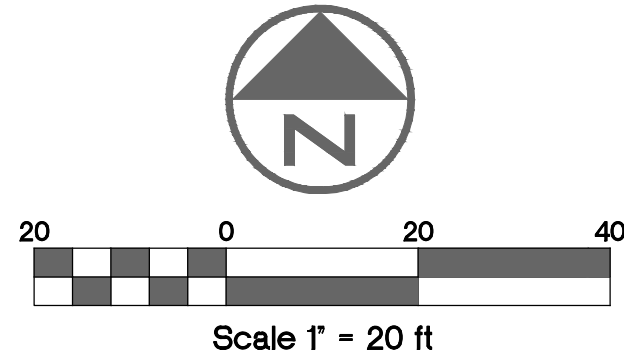
Move to deny the application by Jian Zheng, for preliminary subdivision plat amendment to plat the one lot located at 120 E Spencer Ave, based on the findings and conclusions in the staff report, with the conditions enumerated in the staff report and on the record.

Option 3: Continuance

Move to table the application Jian Zheng, for preliminary subdivision plat amendment to plat the one lot located at 120 E Spencer Ave to a date certain to allow the Applicants and Staff time to respond to specific inquiries or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

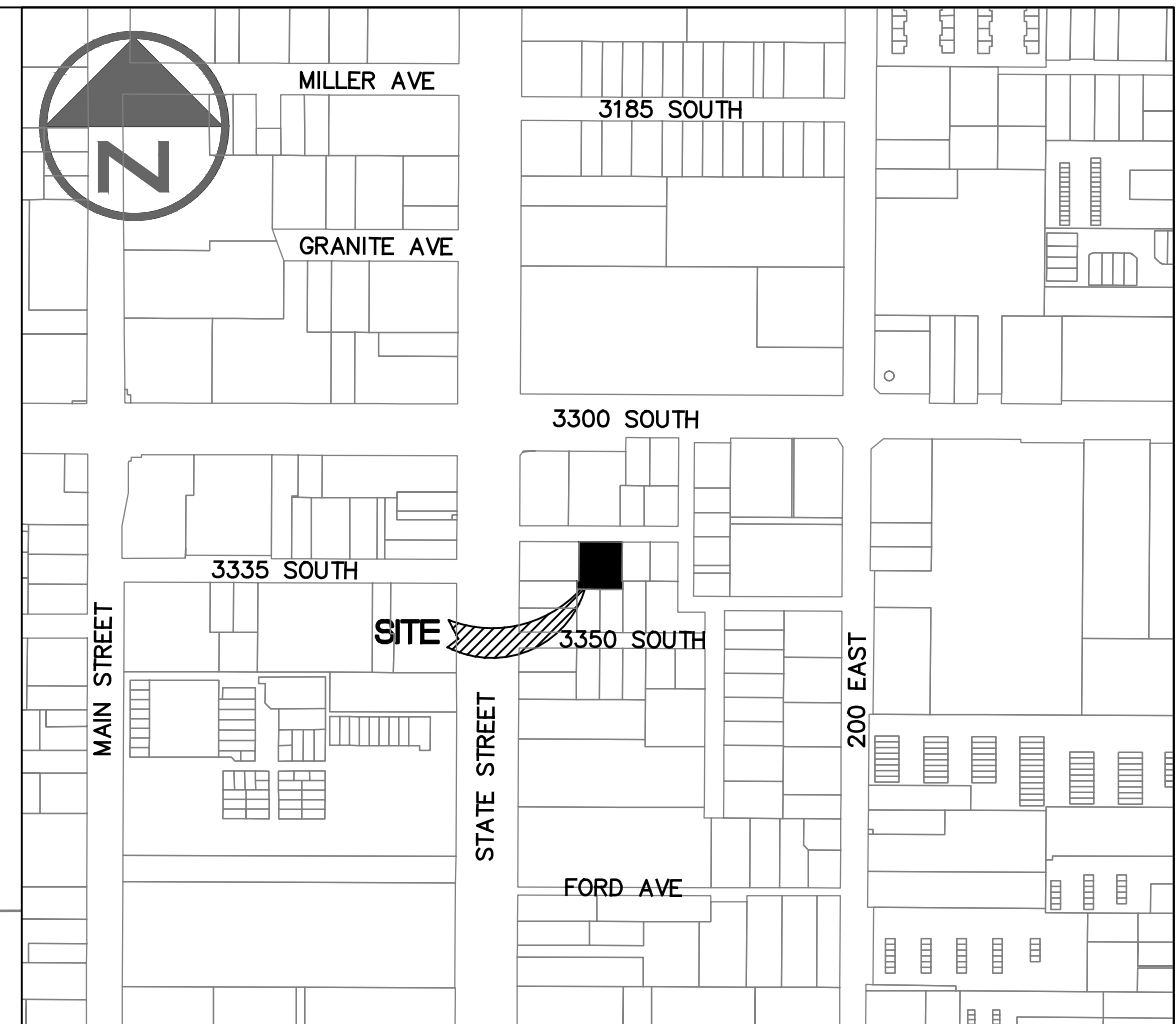
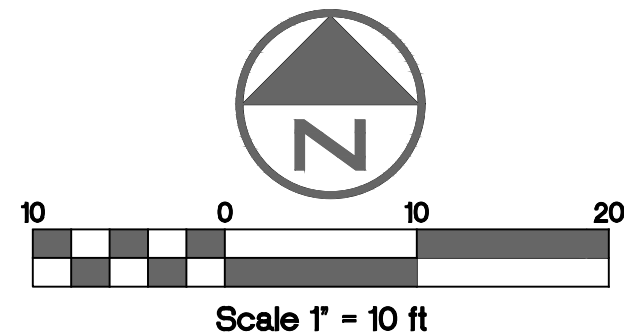
Attachments:

1. Plat
2. Site Plan
3. Alta Survey
4. Landscape Plan
5. Elevations



SOUTH SALT LAKE CITY ATTORNEY

H SALT LAKE CITY ATTORNEY



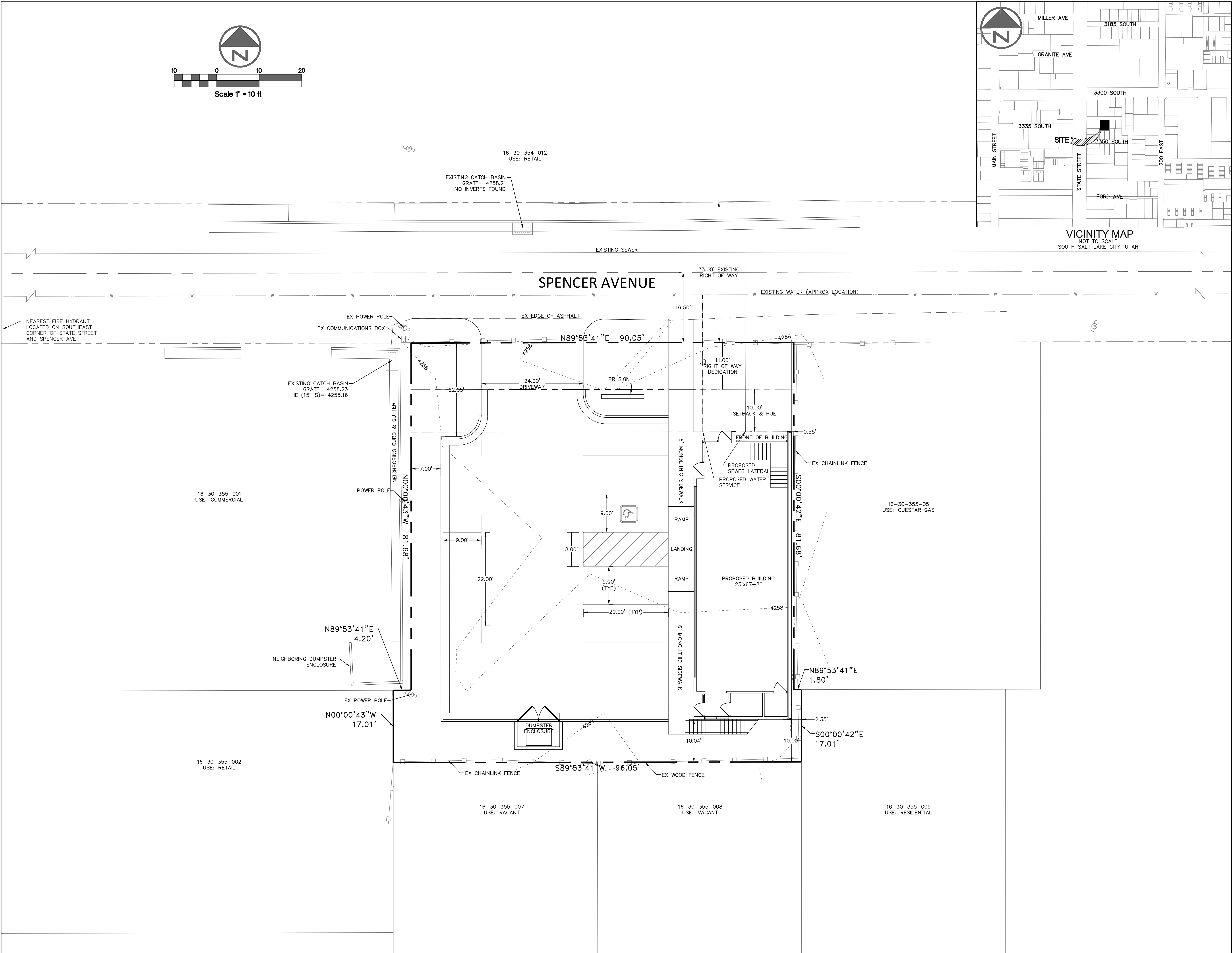
WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

- DRAWING NOTES:
1. DATE OF FIELD SURVEY: JULY 21, 2022
 2. THIS DRAWING ONLY REPRESENTS THE EXISTING CONDITIONS AND TOPOGRAPHY ON THE SUBJECT SITE. SEE THE ACCOMPANYING RECORD OF SURVEY PREPARED BY WILDING ENGINEERING FOR BOUNDARY INFORMATION. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
 3. ACCORDING TO FEMA MAP 49035C0284G, THE PROJECT IS LOCATED WITHIN ZONE X.

SPENCER AVENUE



DATA TABLE

ADDRESS:	120 EAST SPENCER AVENUE
LOT SIZE:	8,989 SQ FT
STREET DEDICATION AREA:	991 SQ FT
NET PARCEL SIZE:	7,998 SQ FT
LANDSCAPING AREA:	1,932 SQ FT
LANDSCAPING %:	24%
HARDSCAPE AREA:	6,066 SQ FT
PARKING SPACES	10 (INCLUDES 1 ADA)

LEGEND

	EXISTING INDEX CONTOUR (5')
	EXISTING CONTOUR (1')

NO.	REVISION	DATE

PROJECT INFORMATION

120 E SPENCER AVENUE

SITE AND UTILITY PLAN

SOUTH SALT LAKE CITY, UTAH

DRAWN
MEC

CHECKED

PROJECT #
22269

ENGINEER'S STAMP

DATE
2/5/25

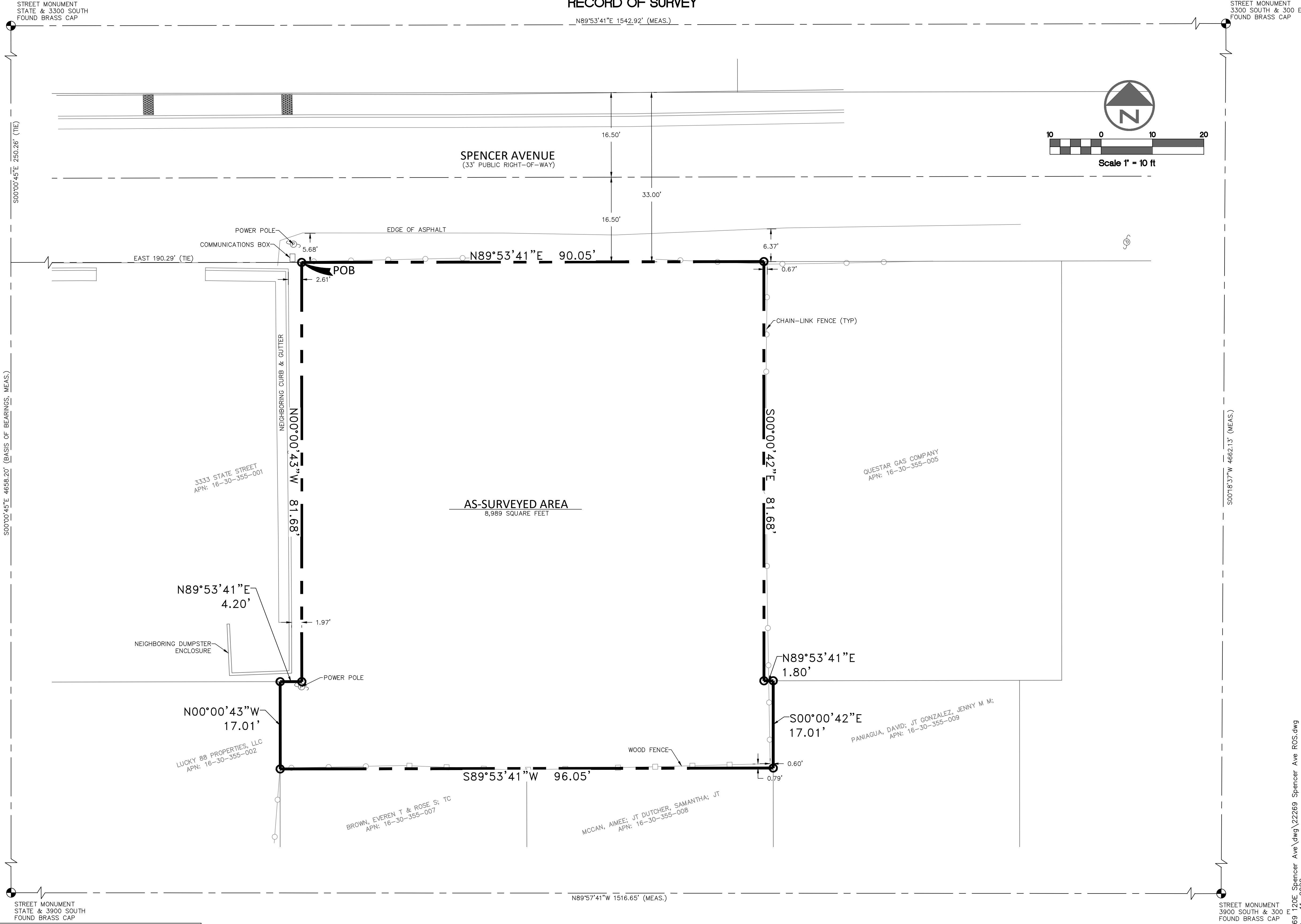
SCALE
1" = 10'

SHEET
C201

S:\DATA\22269 120E Spencer Ave\dwg\22269 Zheng 120 Spencer Ave Site.dwg
PLOT DATE: Feb 05, 2025

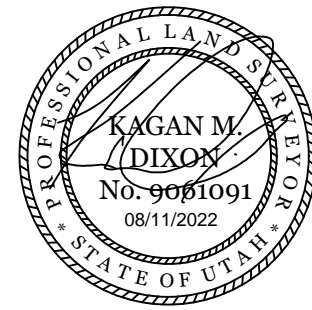
120 E SPENCER AVENUE

LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 1 EAST; SALT LAKE BASE AND MERIDIAN, ALSO IN BLOCK 17, 10- ACRE PLAT "A"
RECORD OF SURVEY



SURVEYOR'S CERTIFICATE

I, KAGAN M. DIXON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 9061091 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE PARCELS OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.



PROPERTY DESCRIPTION:

BEGINNING AT A POINT WHICH IS SOUTH 00°00'45" EAST ALONG THE MONUMENT LINE A DISTANCE OF 250.26 FEET AND EAST 190.29 FEET FROM THE STREET MONUMENT AT THE INTERSECTION OF STATE STREET AND 3300 SOUTH STREET, AND RUNNING THENCE NORTH 89°53'41" EAST 90.05 FEET; THENCE SOUTH 00°00'42" EAST 81.68 FEET; THENCE NORTH 89°53'41" EAST 1.80 FEET; THENCE SOUTH 00°00'42" EAST 17.01 FEET; THENCE SOUTH 89°53'41" WEST 96.05 FEET; THENCE NORTH 00°00'43" WEST 17.01 FEET; THENCE NORTH 89°53'41" EAST 4.20 FEET; THENCE NORTH 00°00'43" WEST 81.68 FEET TO THE POINT OF BEGINNING.

CONTAINING 8,989 SQUARE FEET, MORE OR LESS.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 00°00'45" EAST ON THE MONUMENT LINE BETWEEN A BRASS CAP FOUND AT THE INTERSECTION OF STATE STREET AND 3300 SOUTH, AND A BRASS CAP FOUND AT STATE STREET AND 3900 SOUTH.

NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO LOCATE AND MONUMENT THE SUBJECT PROPERTY ON THE GROUND. THE DEEDS OF THE SURVEYED PROPERTY AND ADJOINING PROPERTIES WERE ALL MATHEMATICALLY SOUND WITH ONE ANOTHER, AND WERE PRO-RATED TO ACCOUNT FOR THE EXCESS MEASURED WITHIN THE BLOCK.

GENERAL NOTES:

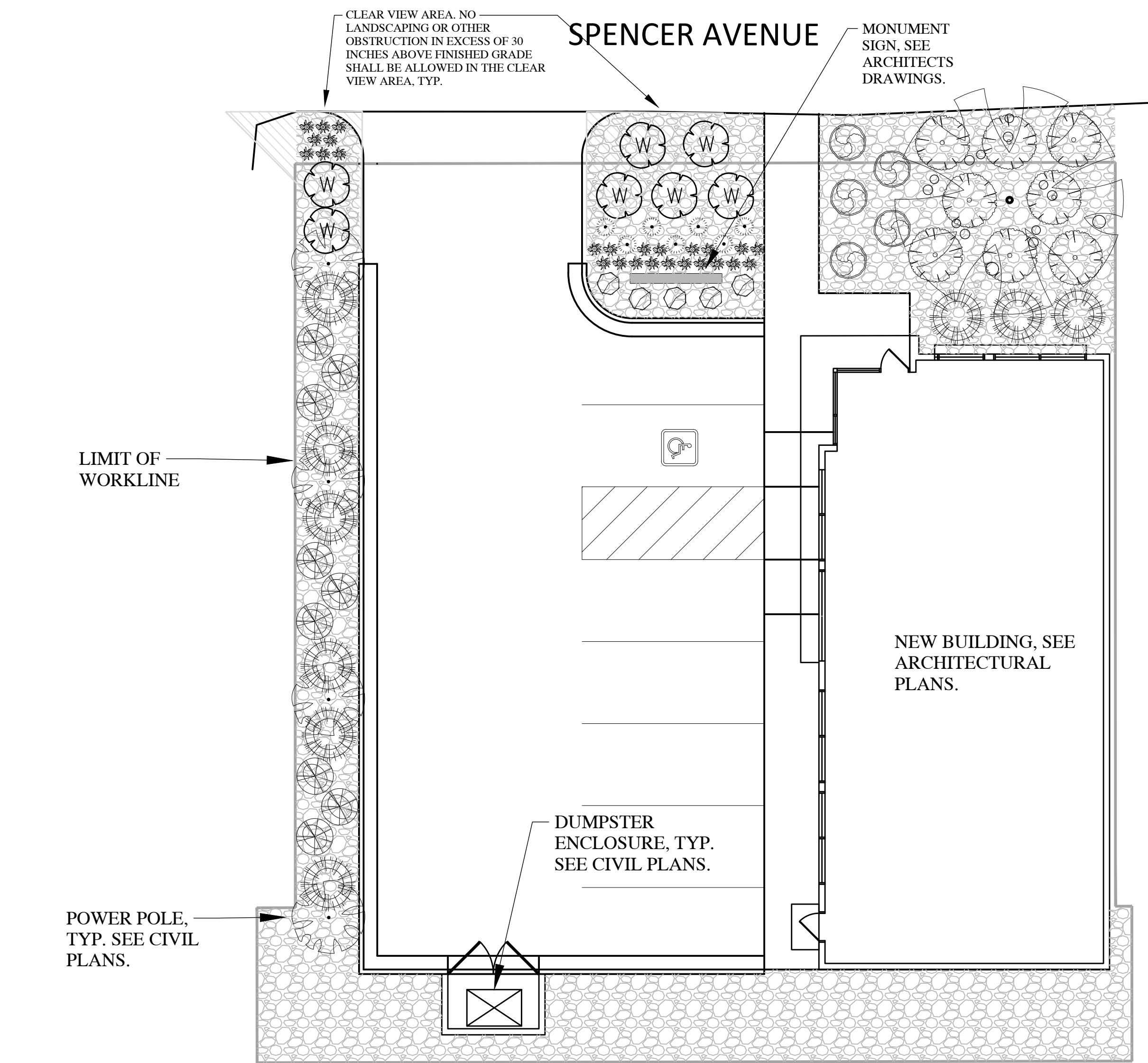
- DOCUMENTS USED IN PREPARATION OF THIS SURVEY:
 - QUIT CLAIM DEED RECORDED AS ENTRY 13628161 IN BOOK 11154 AT PAGE 7197
 - BLOCKS 17,18 10-ACRE PLAT "A" AREA REFERENCE PLAT PREPARED BY THE OFFICE OF THE SALT LAKE COUNTY SURVEYOR
- WILDLING ENGINEERING SURVEYED ABOVE GROUND VISIBLE EVIDENCE OF STRUCTURES THAT WOULD INDICATE THE POSSIBILITY OF AN EXISTING EASEMENT OR ENCUMBRANCE ON THE PROPERTY. A TITLE REPORT WHICH WOULD PROVIDE ADDITIONAL EVIDENCE OF EXISTING UTILITIES WAS NOT PROVIDED FOR THIS PROPERTY AT THE TIME THIS SURVEY WAS CONDUCTED.

LEGEND:

- SET WILDLING ENGINEERING REBAR & CAP
FOUND STREET MONUMENT
PROPERTY LINE



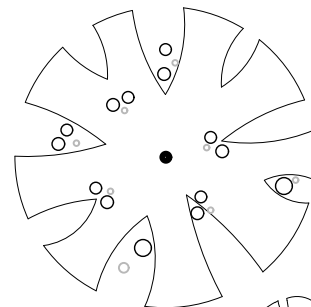

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




LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
3. NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO LANDSCAPE INSTALLATION TO ENSURE PROPER WATERING OF ALL LANDSCAPE AREAS. REFER TO IRRIGATION PLANS FOR SPECIFICS.
4. SANDY LOAM TOPSOIL TO BE INSTALLED AT THE FOLLOWING DEPTHS: 6-12" IMPORTED SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS.
5. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ALLOW FOR TOPSOIL, AMENDMENTS AND MULCH. FINISHED GRADE OF PLANTER AREAS SHALL BE APPROX. 1" BELOW TOP OF CURB, SIDEWALK, OR OTHER PAVED AREA.
6. DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL ROCK MULCH AREAS.
7. INSTALL PRE-EMERGENT HERBICIDE TO THE TOP OF THE FABRIC AFTER INSTALLING PLANTS AND PRIOR TO INSTALLING MULCH. AFTER INSTALLATION OF THE MULCH THE CONTRACTOR SHALL EVENLY BROADCAST A SECOND APPLICATION OF SLOW-RELEASE PRE-EMERGENT HERBICIDE. APPLY PRE-EMERGENT HERBICIDE PER MANUFACTURERS RECOMMENDATIONS.
8. DECORATIVE ROCK MULCH TO BE INSTALLED AT THE FOLLOWING DEPTHS: 3-4" IN ALL PLANTER AREAS. PULL MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
9. IF HIGH WINDS ARE FREQUENT ON SITE, ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.
10. SEE ARCHITECT AND CIVIL PLANS FOR ALL BUILDING AND SITE INFORMATION.


DECIDUOUS TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CERCIS CANADENSIS EASTERN REDBUD	1	15 GAL.
	CERCIS CANADENSIS 'JN2' THE RISING SUN EASTERN REDBUD	8	15 GAL.



DECIDUOUS SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CORNUS SERICEA 'KELSEYI' KELSEYI DOGWOOD	5	5 GAL.
	EUONYMUS JAPONICUS 'SILVER KING' SILVER KING JAPANESE EUONYMUS	9	5 GAL.
	PRUNUS BESSEYI 'P011S' TM PAWNEE BUTTES SAND CHERRY	8	5 GAL.
	ROSA X 'MEICOUBLAN' WHITE MEIDILAND TM SHRUB ROSE	7	5 GAL.
	FORSYTHIA X 'COURTASOL' TM GOLD TIDE FORSYTHIA	5	5 GAL.

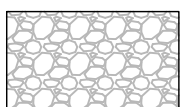
EVERGREEN SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	TAXUS BACCATA REPANDENS DWARF ENGLISH YEW	9	5 GAL.

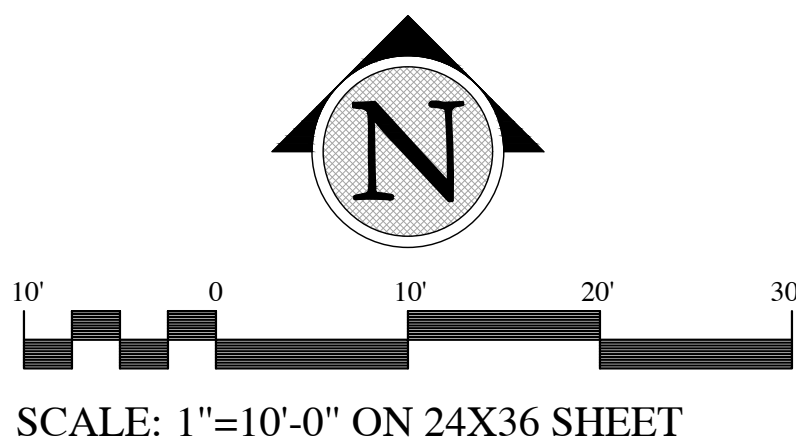
PERENNIALS / GRASSES LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	HEMEROCALLIS X 'ROSY RETURNS' ROSY RETURNS DAYLILY	26	1 GAL.
	DESCHAMPSIA CESPITOSA 'GOLDTAU' GOLD DEW TUFTED HAIR GRASS	7	2 GAL.

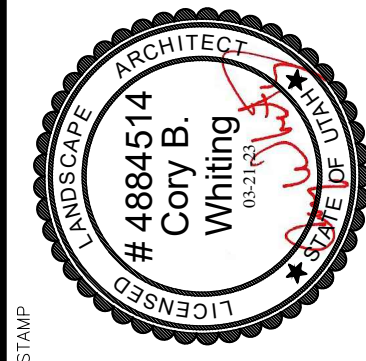
SITE LANDSCAPE MATERIALS

SYMBOL	DESCRIPTION	QTY
	3" TO 4" DEPTH OF $\frac{3}{4}$ " -1" CRUSHED AND SCREENED ROCK. ROCK TO BE DOUBLE WASHED PRIOR TO PLACING ROCK ON TOP OF WEED BARRIER FABRIC. SEE DETAILS FOR ADDITIONAL INSTALLATION NOTES. ROCK COLOR AND TYPE T.B.D. BY OWNER AND CONTRACTOR DURING SUBMITTAL PROCESS. SUBMIT SAMPLE TO OWNER FOR APPROVAL.	PER PLAN

TOTAL LANDSCAPE AREA = 2805 SF (100%)
TOTAL PLANT COVERAGE = 1,457 SF (~52%) NOT INCLUDING TREE CANOPY



SCALE: 1"=10'-0" ON 24X36 SHEET



SPENCER AVENUE
JERRY ZHENG
SALT LAKE CITY - UTAH - 84115

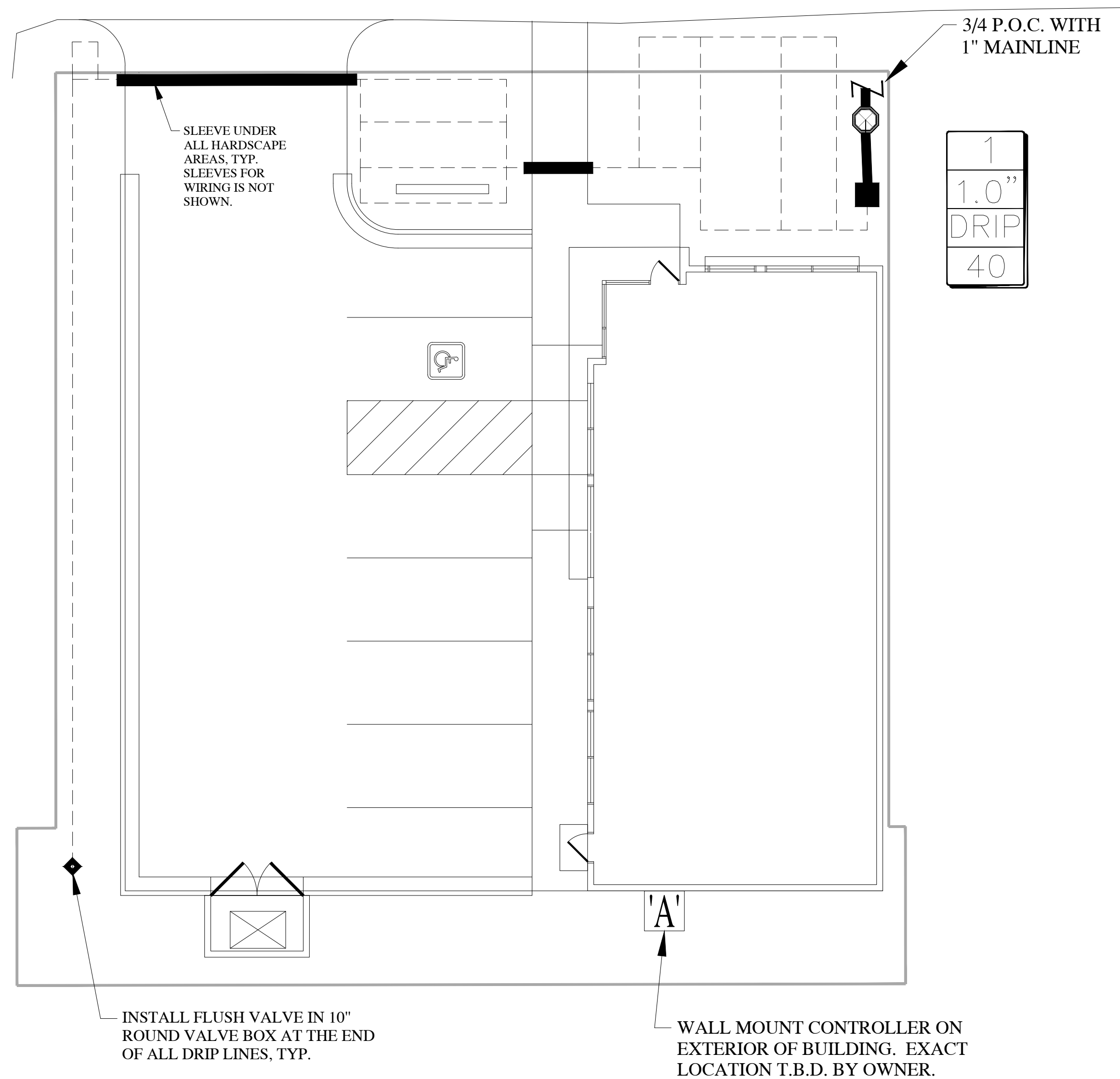
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PLANTING
PLAN

DRAWN BY: GD
CHECKED: CW
DATE: 03-21-2023
REVISIONS: 3-11-25
JOB NO. 23-103

SHEET:
LS1.1

SPENCER AVENUE



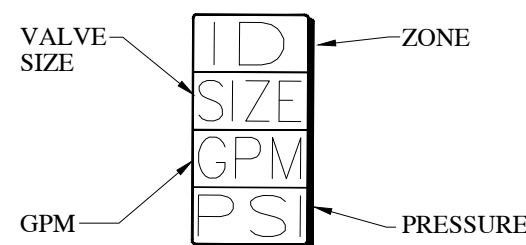
IRRIGATION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- PROVIDE AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
- CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN SCH. 40 GREY ELECTRICAL CONDUIT. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- MAIN LINE SHALL BE 1" (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 3/4" UNLESS NOTED ON PLAN. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1/2" MAX. 4 GPM. 3/4" PIPE MAX. 8 GPM. 1" PIPE MAX. 13 GPM. ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN.
- AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
- DRIP LINES SHALL BE FLEXIBLE AR PVC TUBING BY GPH. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" TUBING. FOR DRIP AREAS REQUIRING 4-8 GPM USE 3/4" TUBING AND FOR DRIP AREAS REQUIRING 8-13 GPM USE 1" TUBING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
- CONTRACTOR TO INSTALL NETAHM TLCV26-1801 ON-SURFACE DRIP LINE FOR TREES PER DETAILS. MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE TO ALL LANDSCAPED AREAS.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE RPZ PER MANUFACTURER SPECS. INSTALL THE RPZ AND PRESSURE REDUCER IN A LOCKING METAL CABINET. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	Q	T	H	TT	TQ	F	DRIP GPM	DETAILS SEE SHEETS LS4.1-LS4.2	REMARKS
NOT SHOWN	NETAHM Techline® TLCV DRIP LINE	FULL	--	40	--	--	--	--	--	--	26	8-9	INSTALL DIFFUSER CAP
NOT SHOWN	RAINBIRD PC-05 EMITTER W/ DIFFUSER CAP	FULL	--	40	--	--	--	--	--	--	5.0	8-9	INSTALL DIFFUSER CAP
NOT SHOWN	GPSTCV2M	DRIP	--	40	--	--	--	--	--	--	2.0	8-9	REFERENCE DETAILS
A	RAINBIRD ESP-TM2-4 CONTROLLER - WALL MOUNT. GROUND CONTROLLER PER MANUFACTURERS SPECS.											1	COORDINATE LOCATION WITH OWNER
N	INSTALL WIRELESS RAIN SENSOR PER MANUFACTURERS SPECS IF DIRECTED BY OWNER.											2-3	REFERENCE DETAIL 1
Q	3/4" CULINARY POINT OF CONNECTION WITH RPZ. SEE DETAILS FOR MORE INFORMATION.											3	IN 10" RND. VALVE BOX
	3/4" RAINBIRD QUICK COUPLER, MODEL #33LRC.											8	JUMBO VALVE BOX
	DRIP CONTROL ZONE KIT: XCZ-100-PRB-COM											4.5	REFERENCE DETAILS
	MAINLINE: 1" SCH. 40 PVC W/ SCH 80 FITTINGS											4.5	REFERENCE DETAILS
	LATERAL LINE FOR DRIP: SCHEDULE 40 PVC											11-13	REFERENCE DETAILS
	PVC DRIP HEAD/FOOTER: PVC SCH. 40 (SEE DETAILS FOR NETAHM LAYOUT)											7	ADD SLEEVES AS REQUIRED
	SCH. 40 OR CLASS 200 SLEEVE (TBD BY OWNER). SIZE TO MIN. 2X DIA. OF PIPE WITHIN SLEEVE OR AS NOTED ON PLANS.											10	REFERENCE DETAILS
	FLUSH VALVE: 1/2" PVC BALL VALVE. INSTALL AT END OF ALL DRIP LINES IN 10" ROUND VALVE BOX											14.6	REFERENCE DETAILS
NOT SHOWN	14 GAUGE SINGLE STRAND COPPER WIRE												

VALVE ID TAG



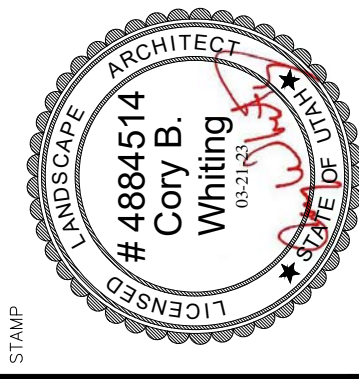
DRIP EMITTER LEGEND

PLANT TYPE	EMITTER QTY	EMITTER TYPE
PERENNIALS/GRASSES	1	GPSTCV2M (2GPH)
ALL SHRUBS	2	GPSTCV2M (2GPH)
TREES IN PLANTERS	2	PC-05 (5GPH)

- NOTE:
- EMITTERS LISTED ARE AVAILABLE FROM GPH AND RAINBIRD.
 - INSTALL NETAHM TLCV IN ADDITION TO PC-05 EMITTERS PER DETAILS ON SHEET LS4.1 AND LS4.2.
 - INSTALL PC-DIFFUSER CAP ON ALL PC-05 EMITTERS.



CONSULTANTS:



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SPENCER AVE.
JERRY ZHENG
SALT LAKE CITY - UTAH - 84115
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

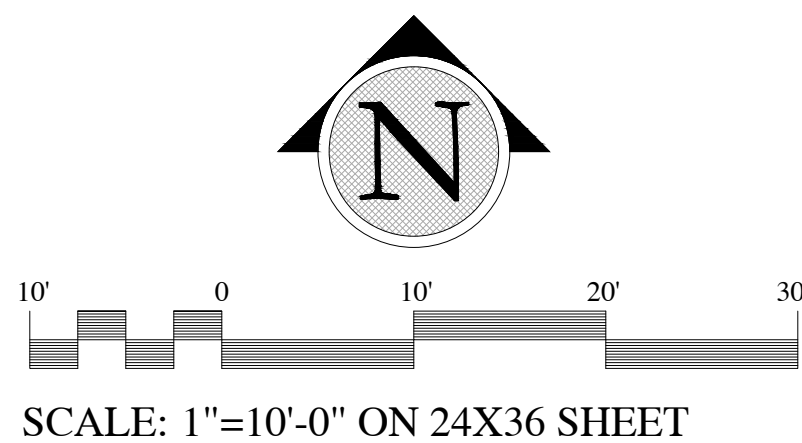
PROJECT:

IRRIGATION PLAN

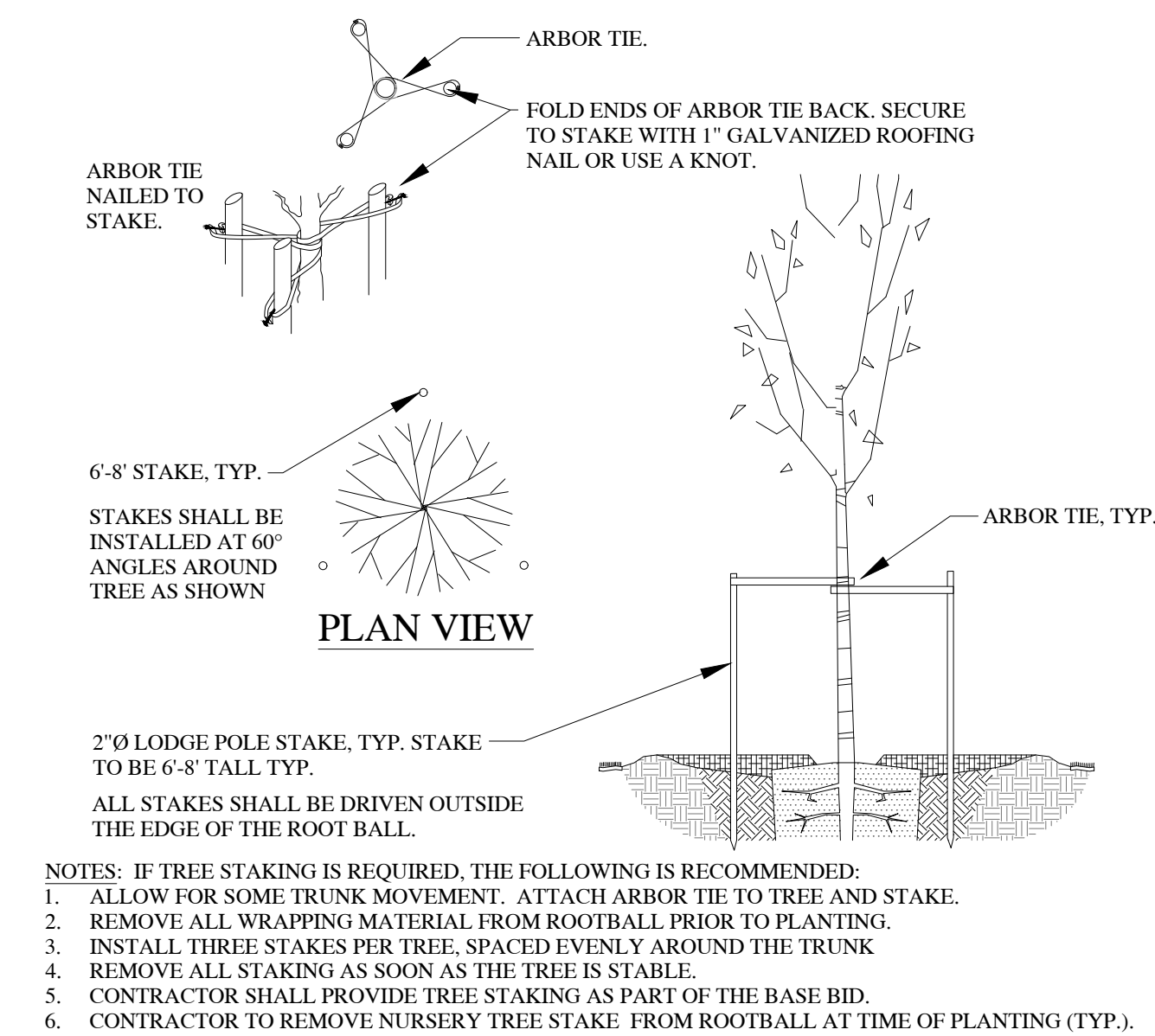
SHEET TITLE:

DRAWN BY: **GD**
CHECKED: **CW**
DATE: **03-21-2023**
REVISIONS: _____
JOB NO. **23-103**

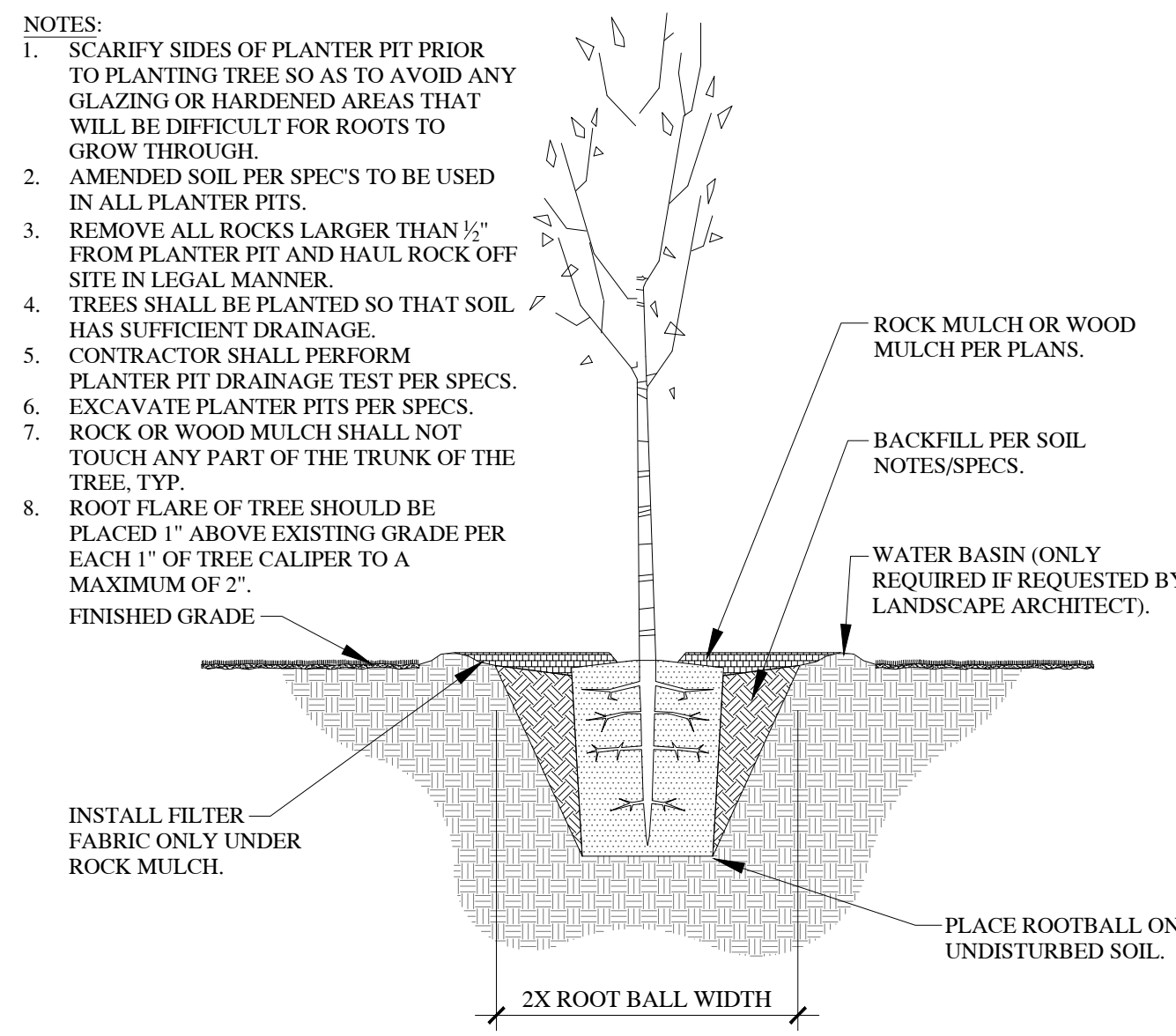
SHEET: **LS2.1**



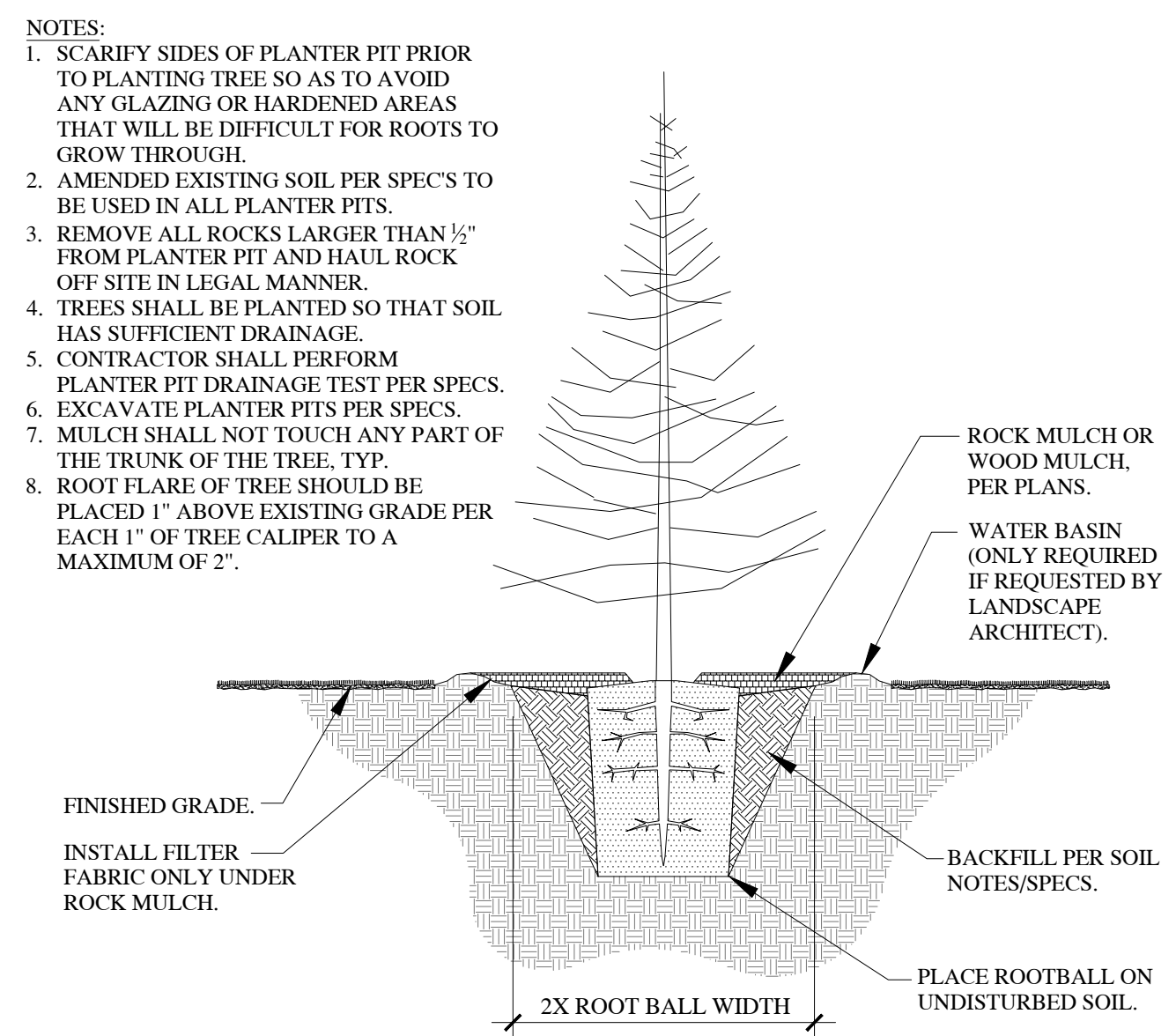
SCALE: 1"=10'-0" ON 24X36 SHEET



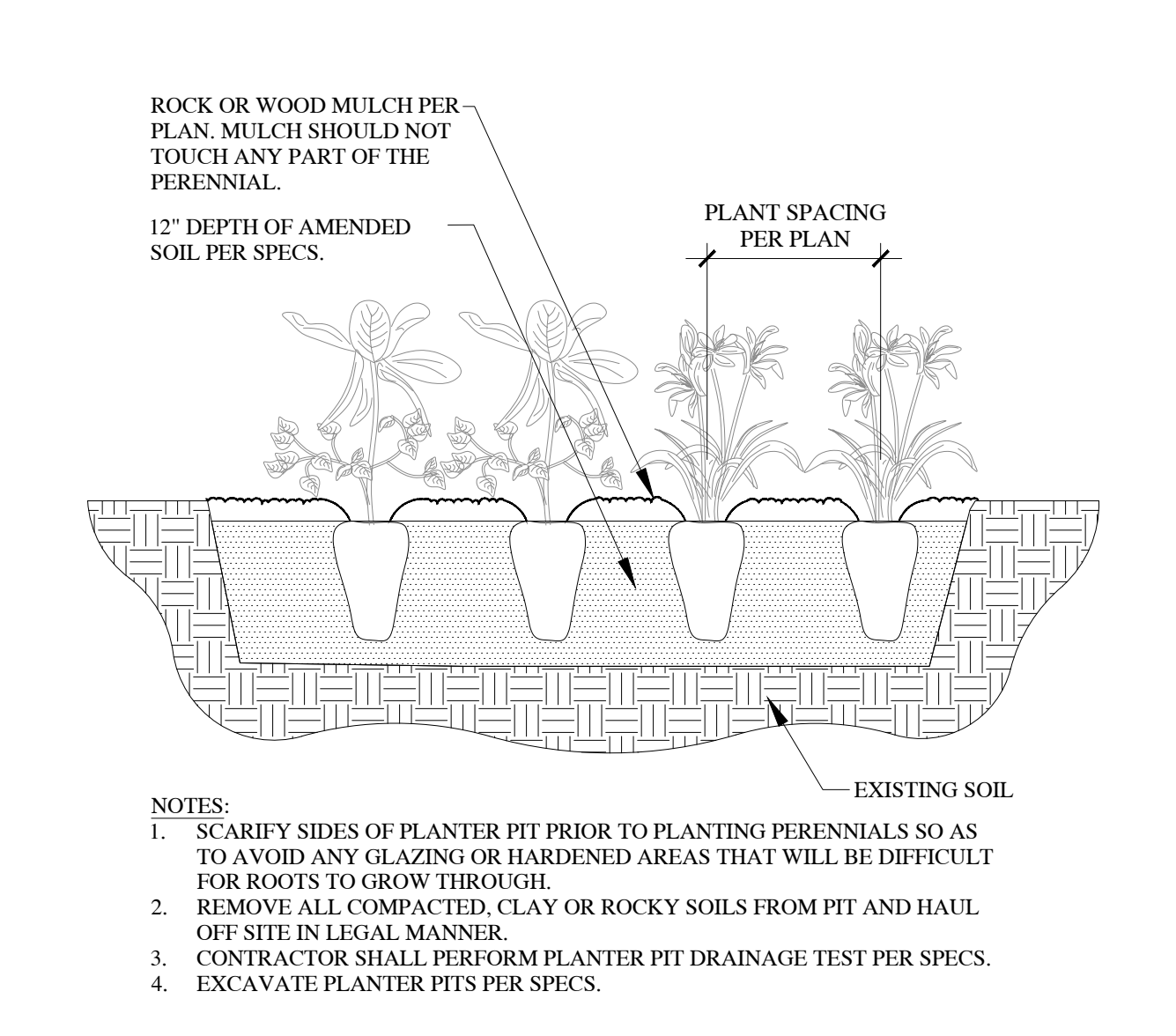
1 TREE STAKING SCALE: NTS



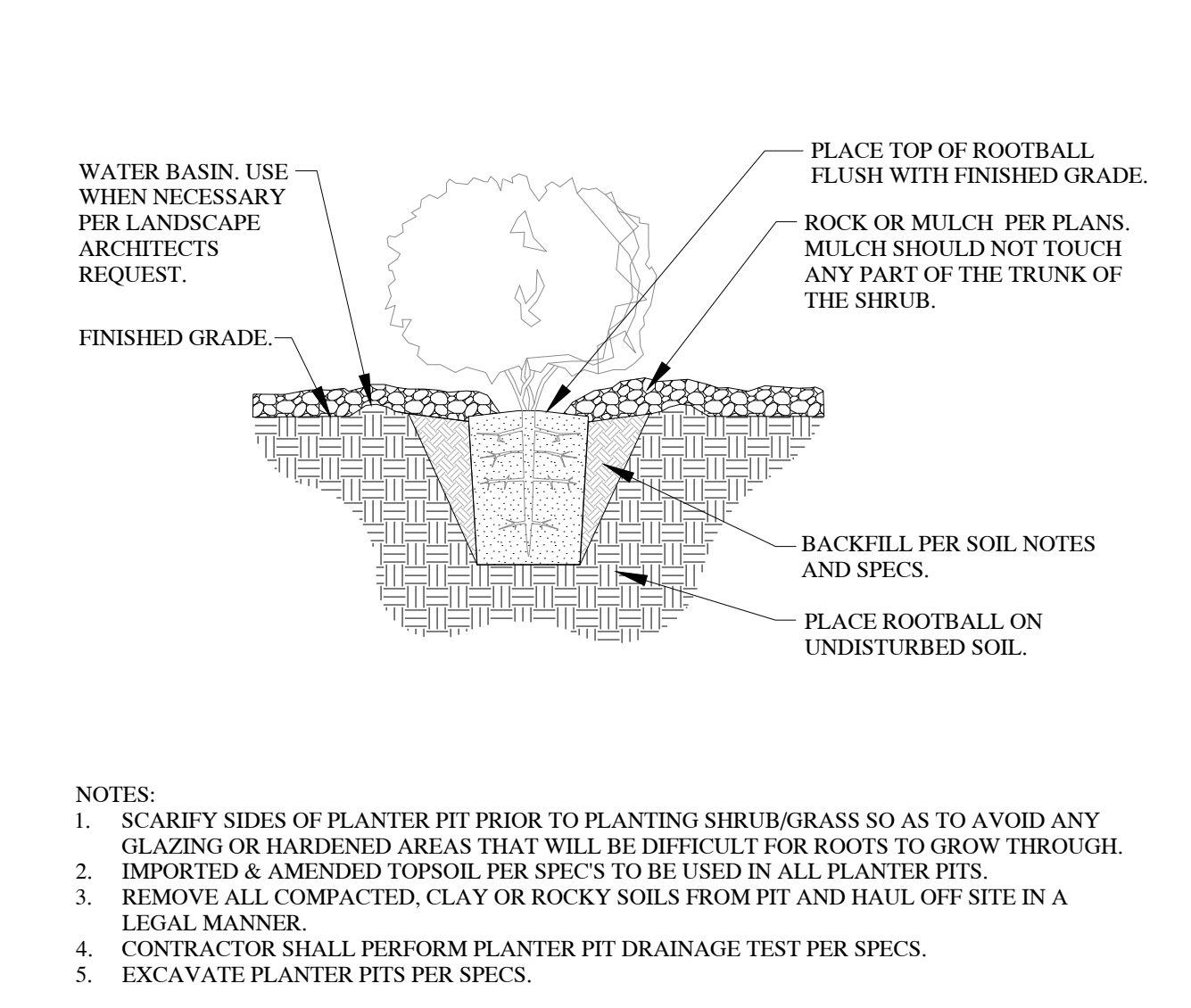
2 DECIDUOUS TREE PLANTING SCALE: NTS



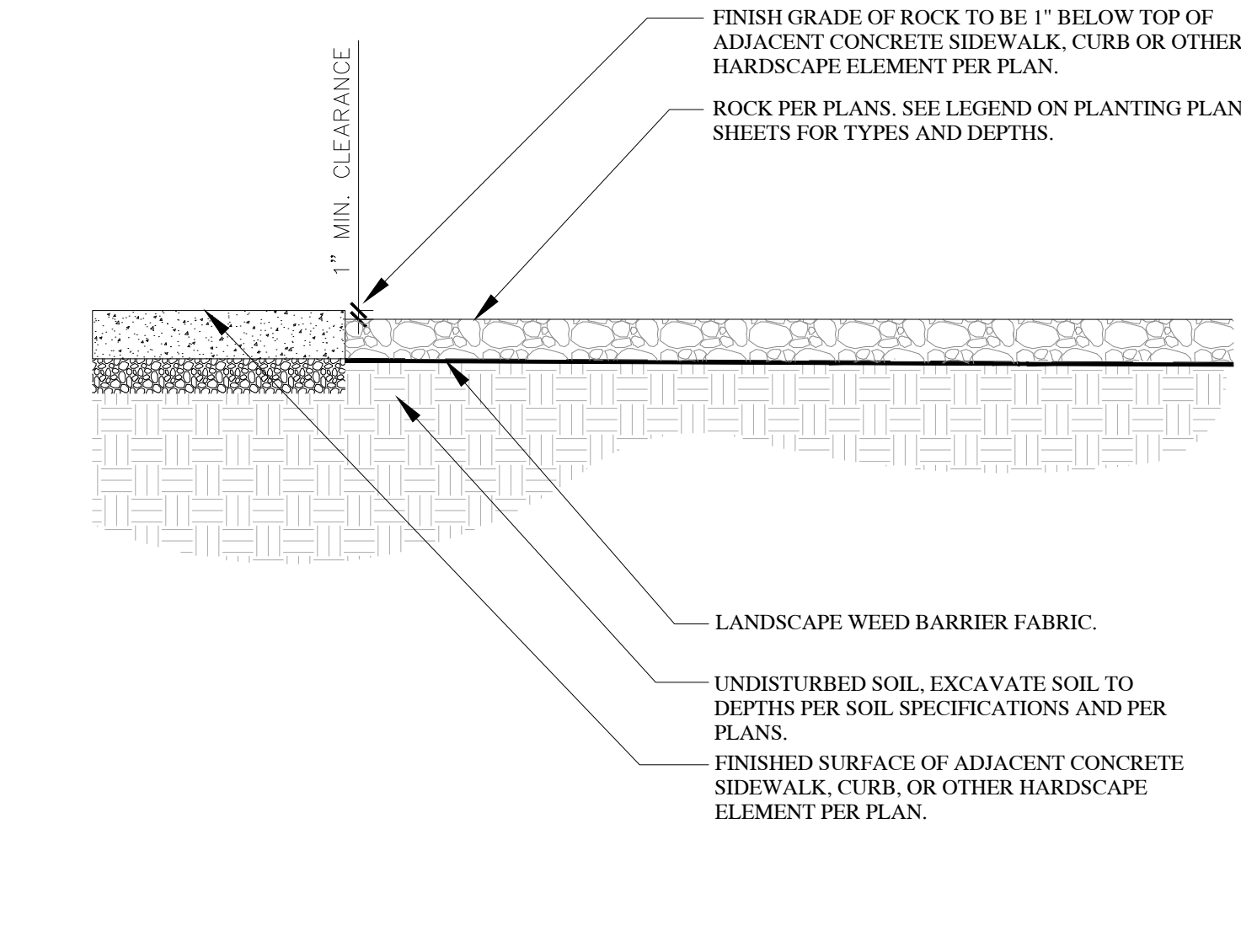
3 EVERGREEN PLANTING SCALE: NTS



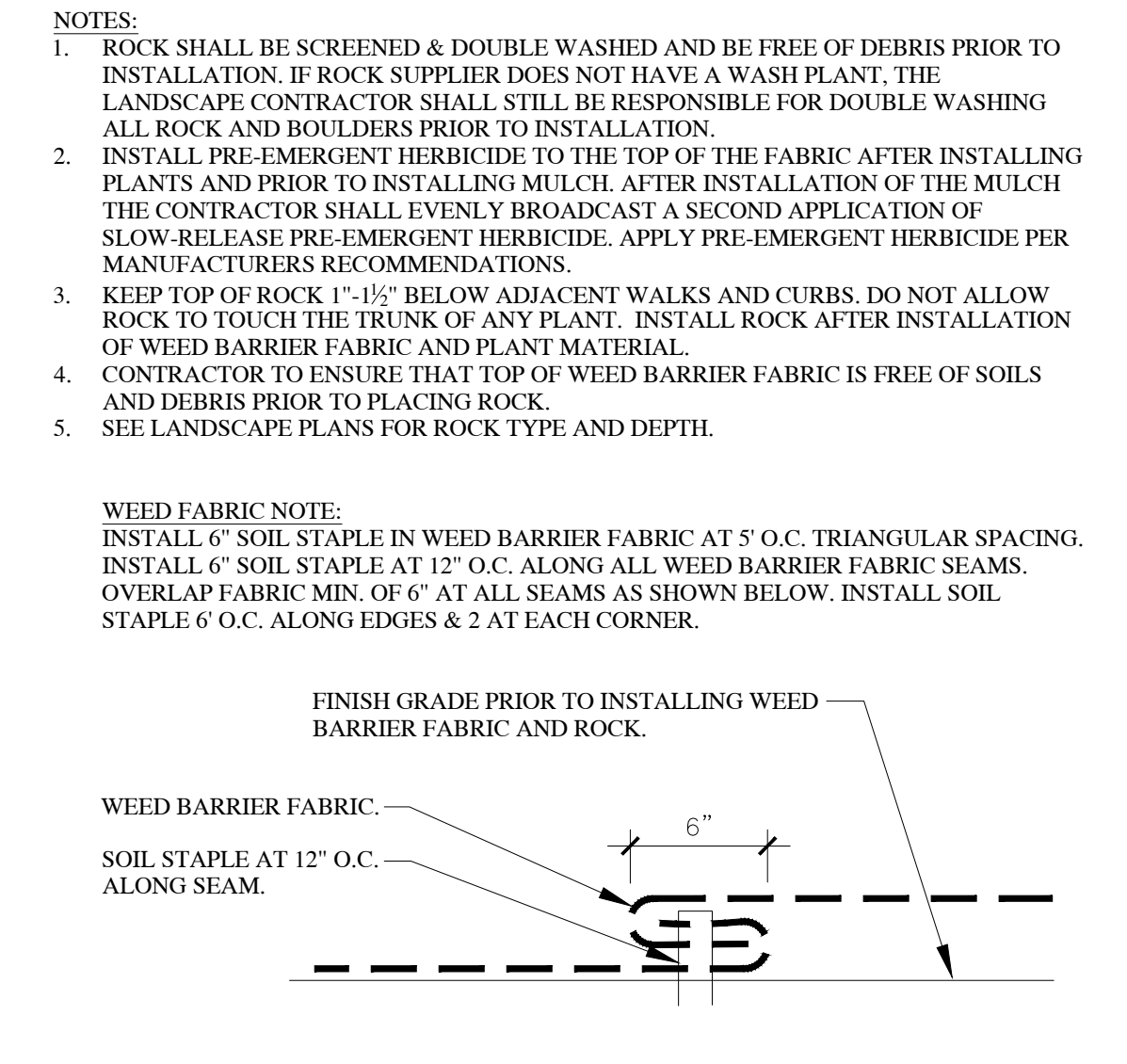
4 PERENNIAL PLANTING SCALE: NTS



5 SHRUB & ORNAMENTAL GRASS PLANTING SCALE: NTS



6 ROCK AND WEED BARRIER FABRIC SCALE: NTS



7 WEED BARRIER FABRIC SCALE: NTS



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PROJECT

SHEET TITLE:

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JERRY ZHENG
SALT LAKE CITY - UTAH - 84115
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PLANTING
DETAILS

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REVISIONS:
JOB NO. 23-103

LS3.1

IN SITE DESIGN GROUP

Landscaping Architecture Land Planning

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PROJECT

SHEET TITLE:

SPENCER AVE.
JERRY ZHENG
SALT LAKE CITY - UTAH - 84115
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PLANTING
DETAILS

DRAWN BY: GD
CHECKED: CW
DATE: 03-21-2023
REVISIONS:
JOB NO. 23-103

LS3.1

IN SITE DESIGN GROUP

Landscaping Architecture Land Planning

17 North 470 West American Fork, Utah 84003
801-756-2443 www.in-sitedesigngroup.com

CONSULTANTS

STAMP

PROJECT

SHEET TITLE:

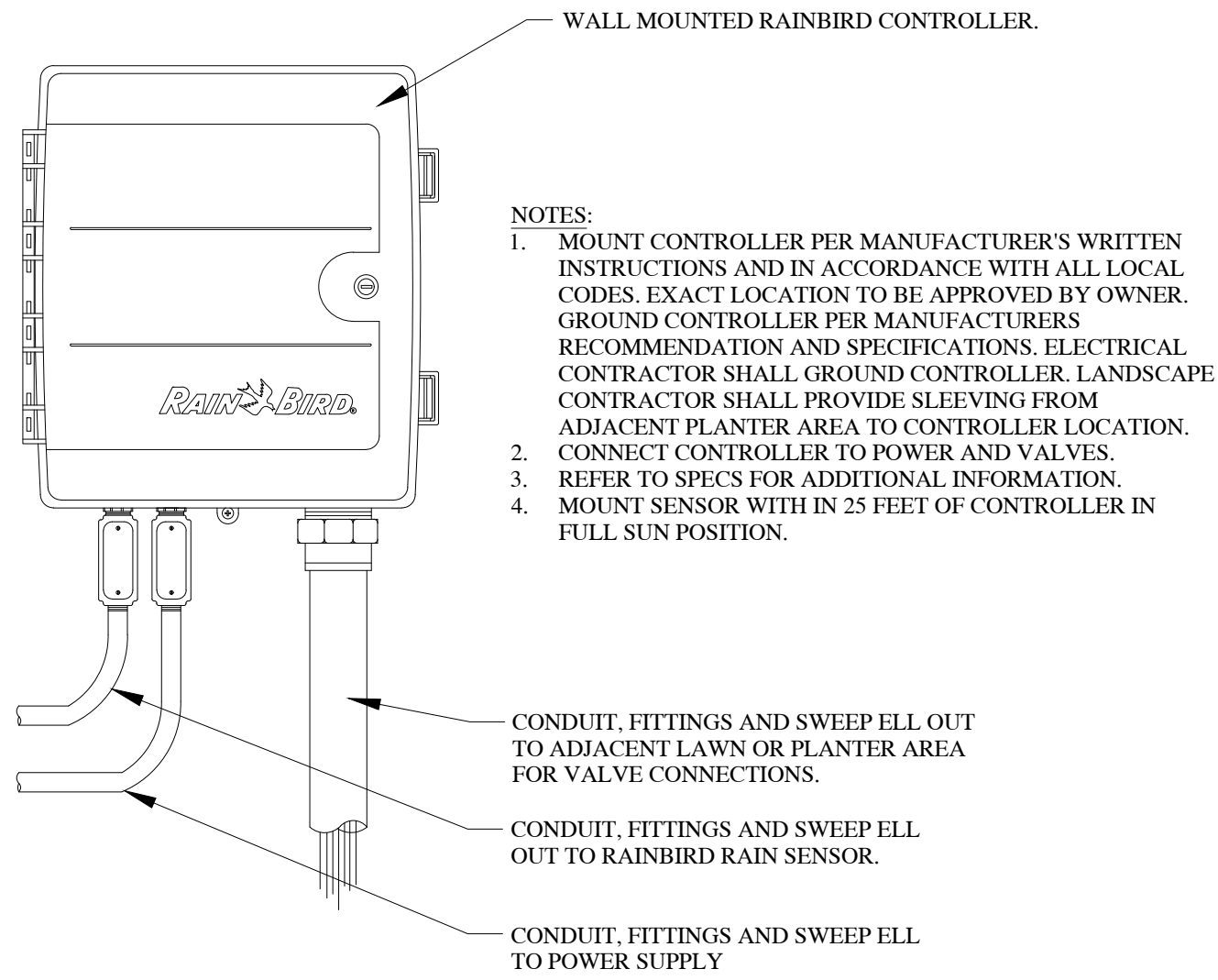
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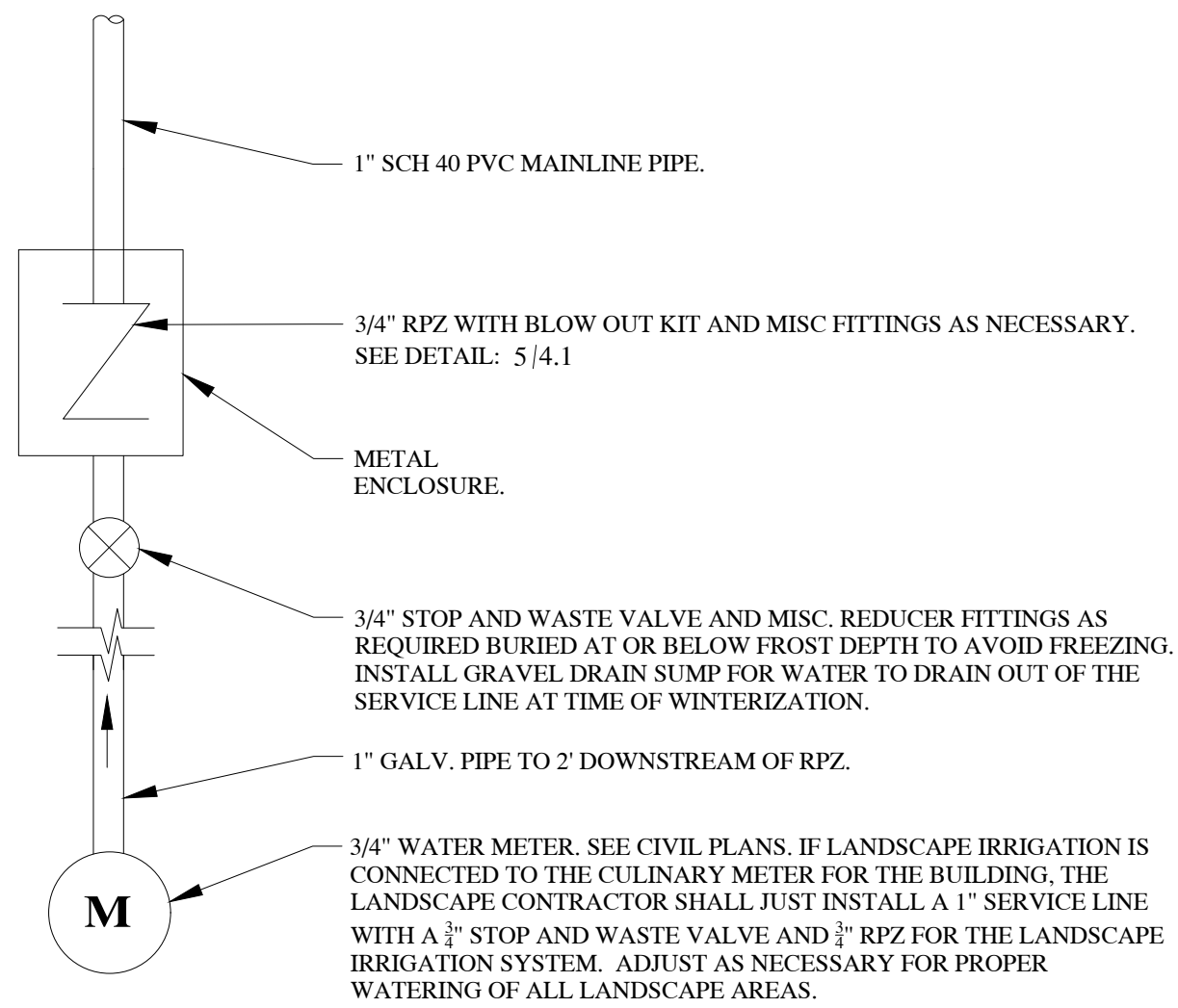
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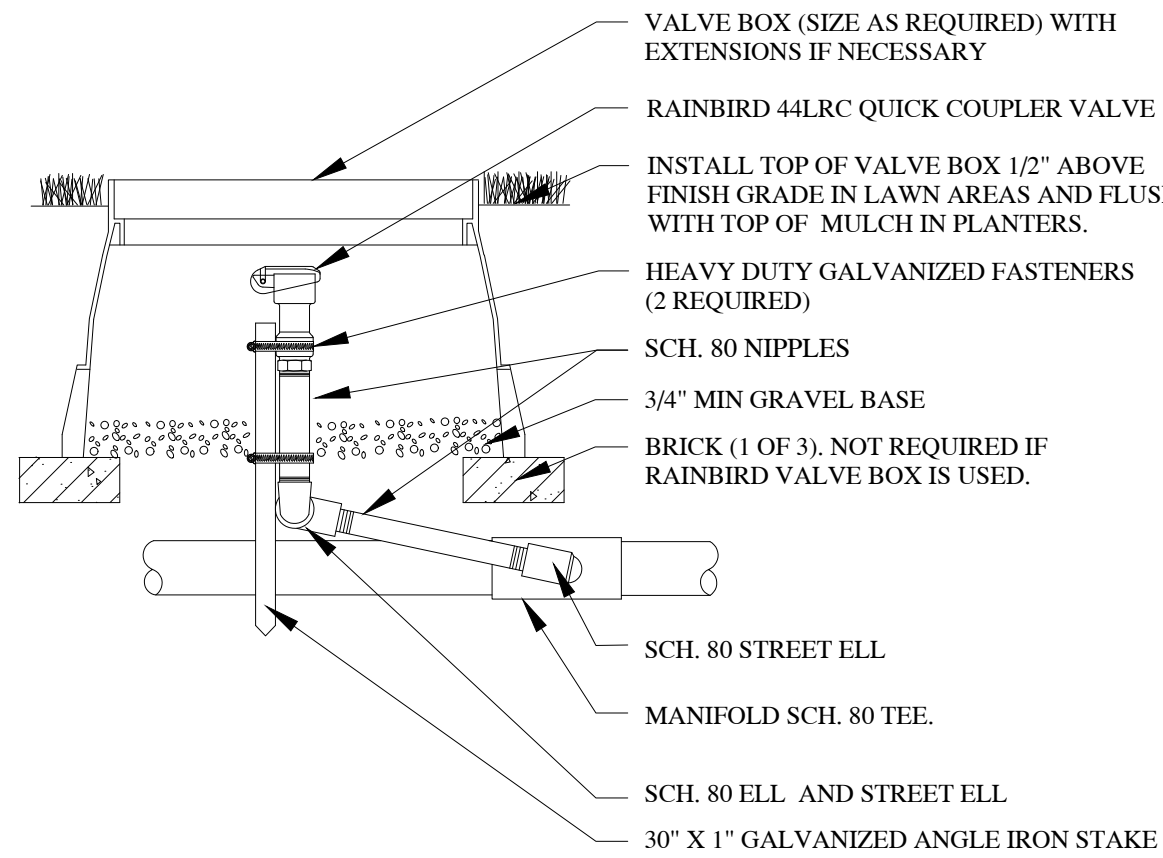
1 CONTROLLER WITH SENSOR

SCALE: NTS



2 1" POINT OF CONNECTION

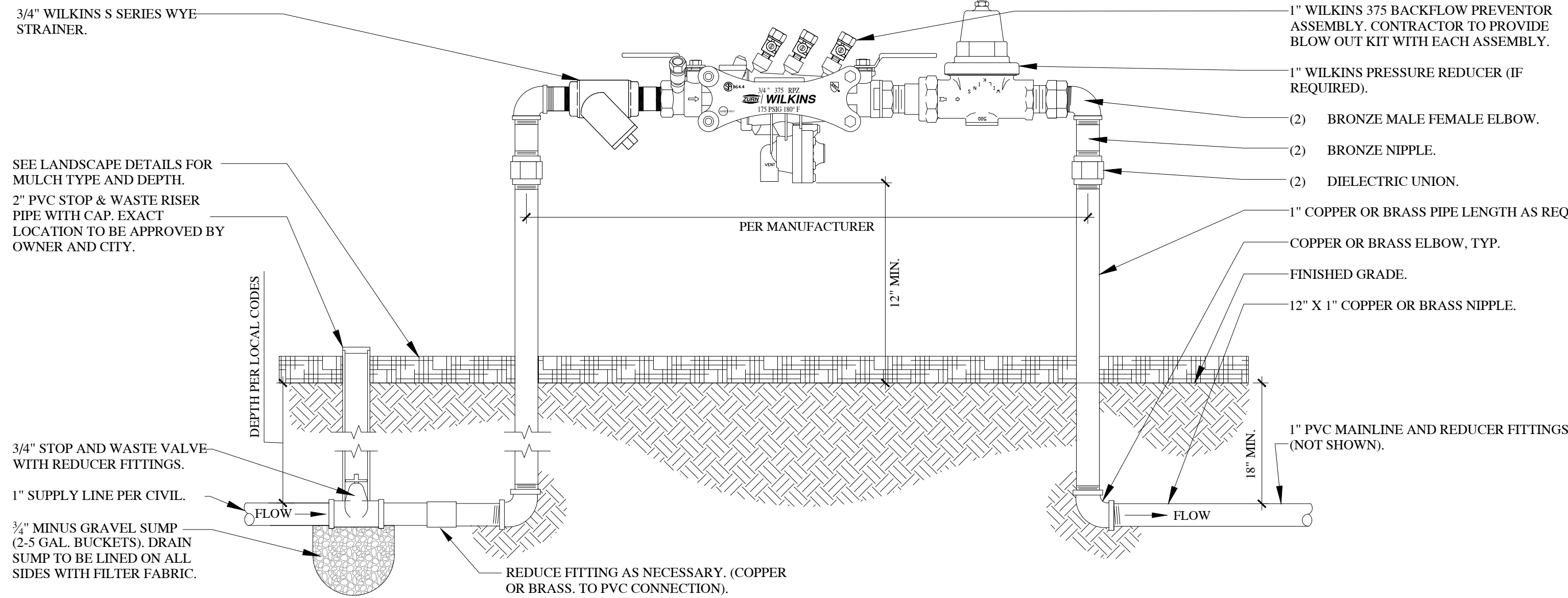
SCALE: NTS



- NOTES:
1. FLUSH ALL PIPING PRIOR TO INSTALLING VALVE.
 2. WRAP ALL THREADS WITH TEFLON TAPE, 1/16 TO 2 WRAPS MAXIMUM.
 3. COMPACT SOILS AROUND VALVE BOX TO 80% OF ORIGINAL DRY DENSITY.
 4. INSTALL GEOFABRIC UNDER VALVE BOXES AND TAPE TO PIPE NIPPLES AND VALVE BOX.
 5. BOX COLOR - GREEN IN TURF AND TAN IN PLANTER AREAS.
 6. IRRIGATION SYSTEM TO BE BLOWN OUT WITH AIR COMPRESSOR THROUGH THE RPZ AND QUICK COUPLERS BEFORE FREEZING TEMPERATURES OCCUR, TYP.
 7. SCH 80 PVC TEE OR ELL'S CAN BE USED ON ALL QUICK COUPLERS EXCEPT AT POINT OF CONNECTION (IF QUICK COUPLER(S) ARE INSTALLED AT THE POINT OF CONNECTION). ALL QUICK COUPLER FITTINGS AND NIPPLES AT P.O.C. QUICK COUPLER(S) TO BE GALVANIZED.

3 QUICK COUPLER VALVE

SCALE: NTS

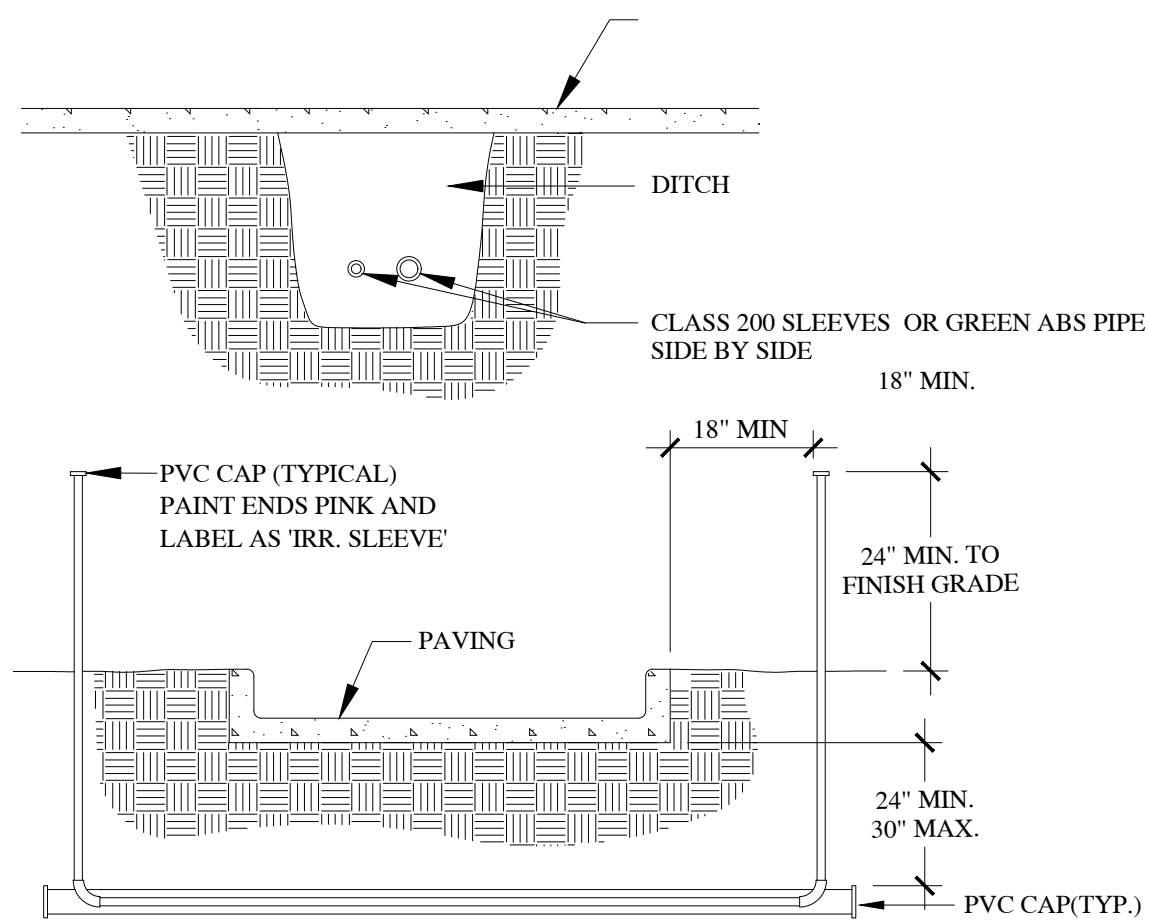


BACKFLOW PREVENTOR NOTES:

1. EQUIPMENT TO BE INSTALLED AT A MINIMUM OF 24" FROM ANY STRUCTURES OR HARDSCAPING.
2. WHEN UNIT IS NEXT TO STRUCTURE (i.e. WALL BUILDING, ETC.) MOUNT TEST COCKS ON SIDE AWAY FROM STRUCTURE.
3. PROVIDE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON HOW TO DRAIN ENTIRE BACKFLOW UNIT TO PREVENT FREEZING. CONTRACTOR TO PROVIDE BLOW OUT KIT FROM MANUFACTURER.
4. CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR PROPER RPZ INSTALLATION.
5. INSTALL METAL ENCLOSURE OVER RPZ. OWNER TO SPECIFY EXACT TYPE.
6. RPZ TO BE WINTERIZED AS NECESSARY TO PREVENT FREEZING. INSULATION IS REQUIRED TO PREVENT RPZ FROM FREEZING TEMPERATURES BEFORE SYSTEM IS BLOWN OUT FOR THE SEASON. CONTRACTOR SHALL INSTALL INSULATION BLANKET FOR RPZ.
7. WHERE CORROSION IS POSSIBLE, USE A DIELECTRIC UNION WHEREVER A COPPER-BASED METAL (COPPER, BRASS, BRONZE) IS JOINED TO AN IRON-BASED METAL (IRON, GALVANIZED STEEL, STAINLESS STEEL).

3/4" BACKFLOW PREVENTOR

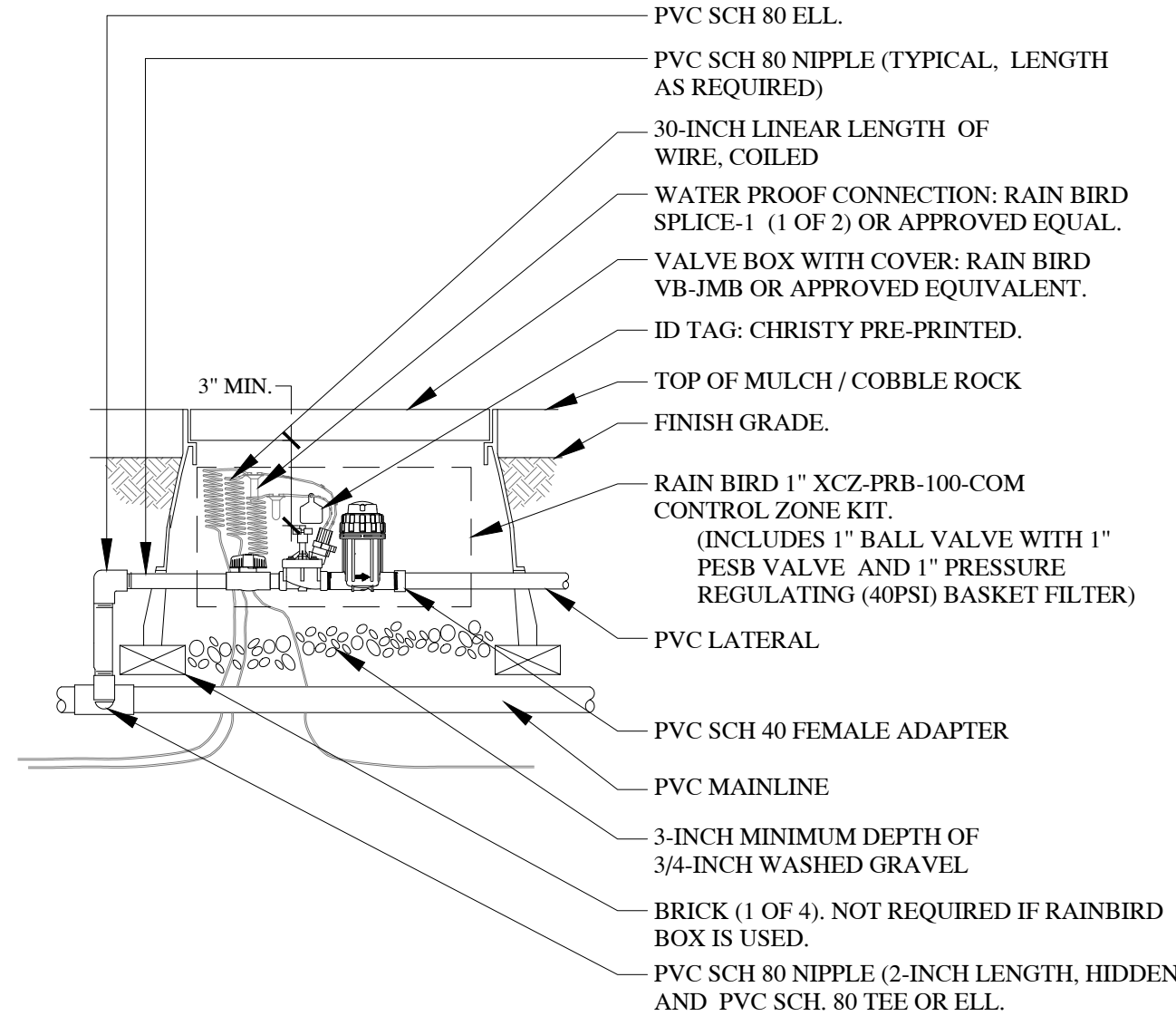
11



- NOTE:
1. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
 2. ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.

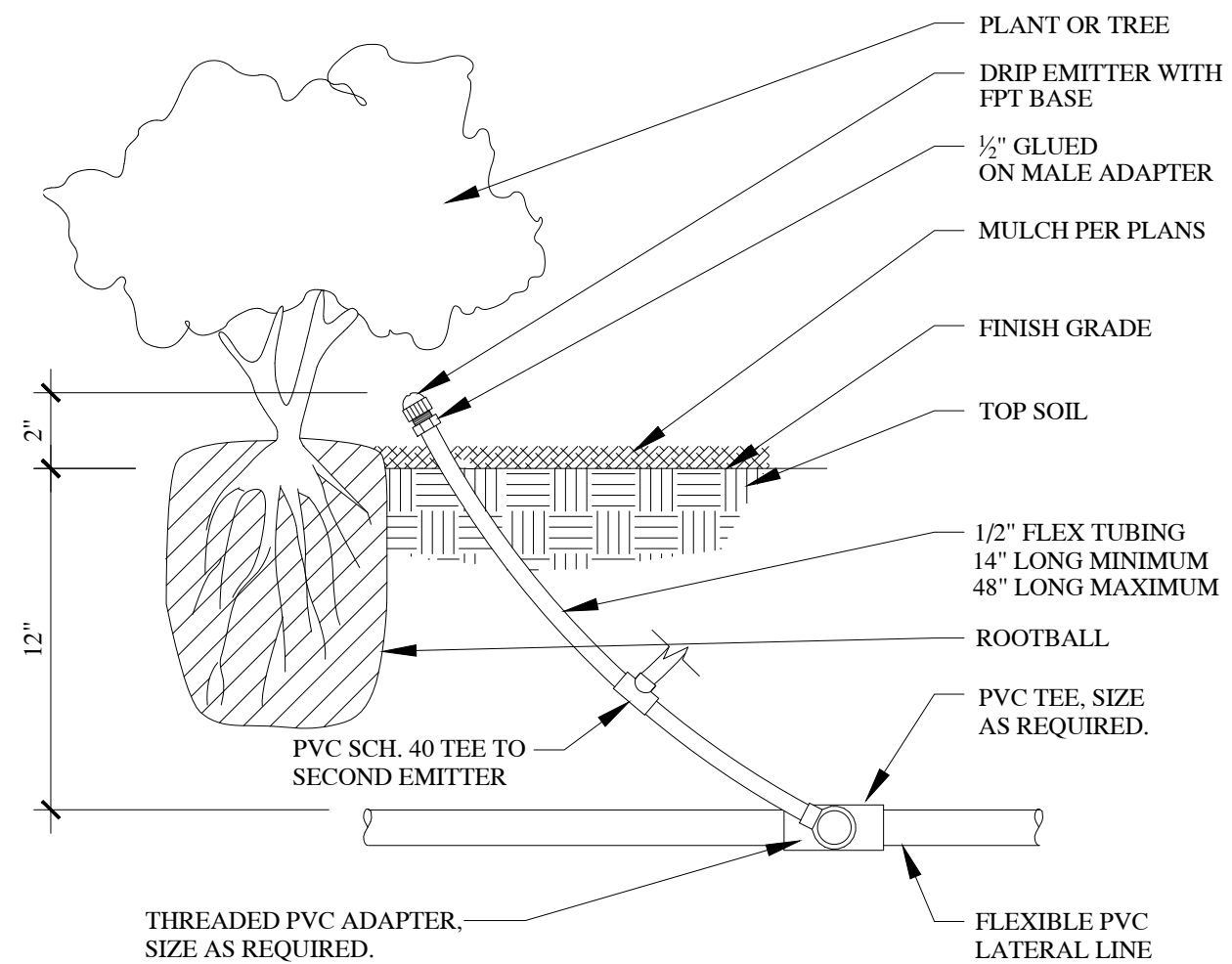
7 SLEEVING

SCALE: NTS



8 1" DRIP CONTROL ZONE KIT

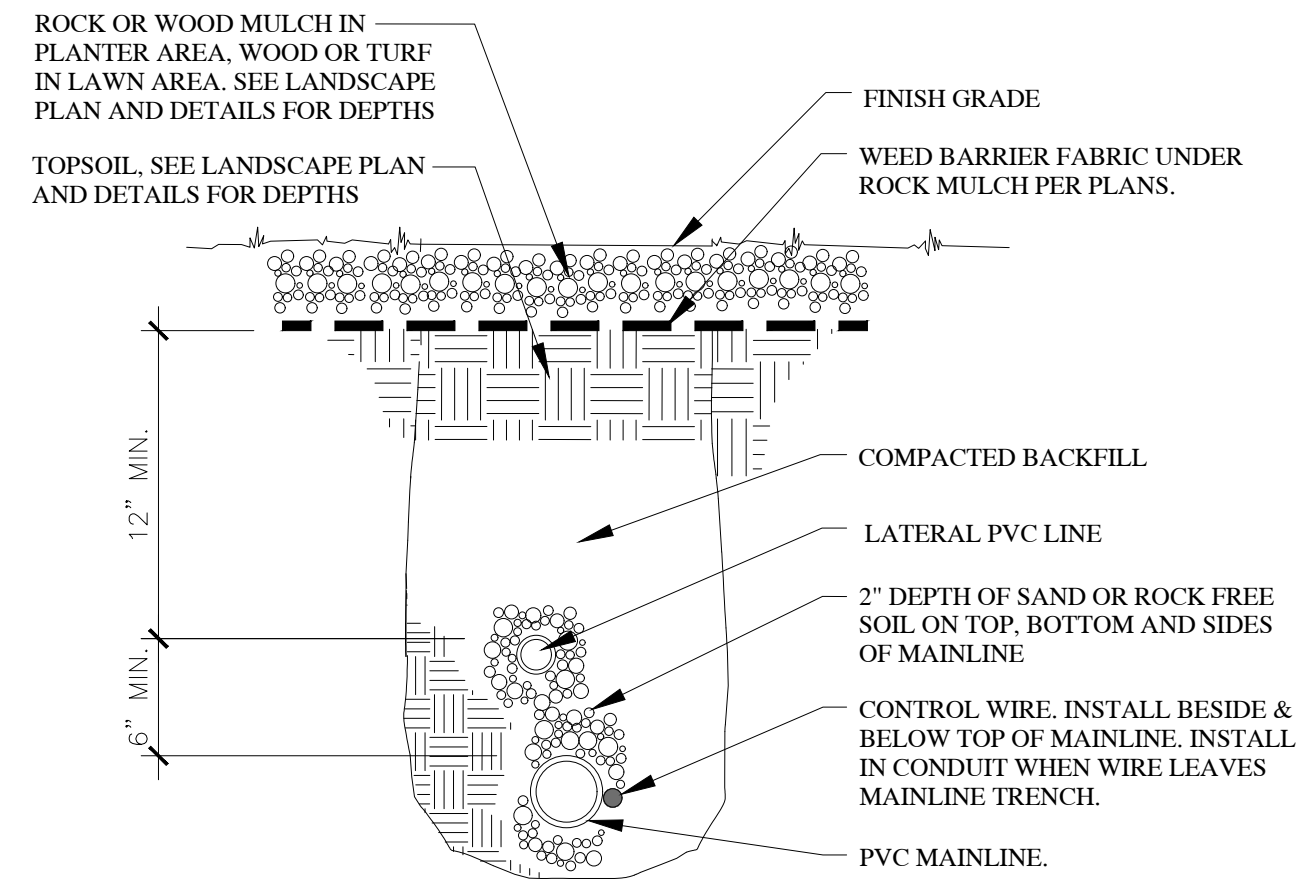
SCALE: NTS



- NOTE:
1. FOR LAYOUT OF MULTIPLE SHRUBS, CONTRACTOR SHALL USE TEES AS NECESSARY. FOR LAYOUT INFORMATION, SEE DETAIL 15/4.2

9 DRIP EMITTER

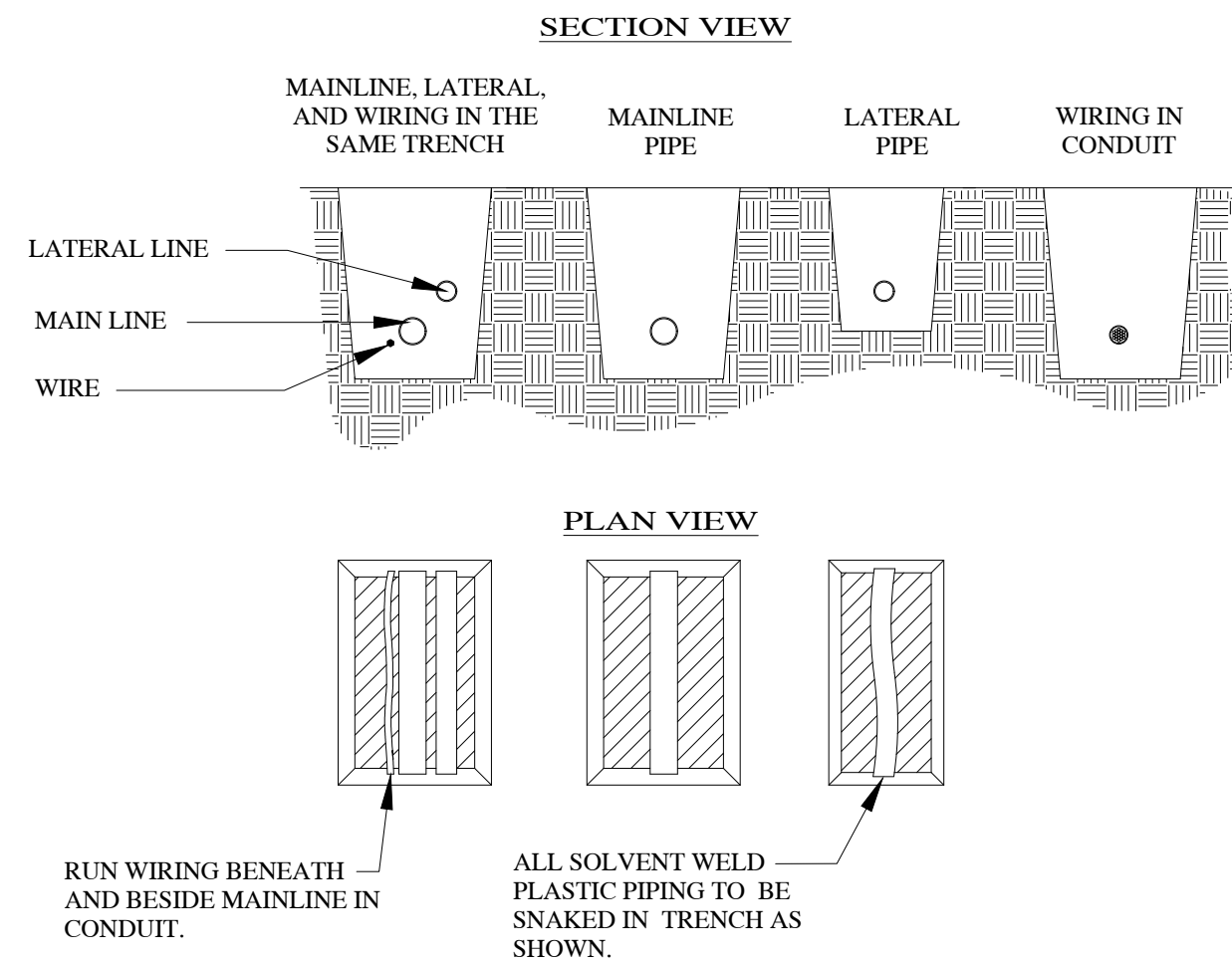
SCALE: NTS



- NOTES:
1. PROVIDE SLACK IN CONTROL WIRES AT ALL CHANGES IN DIRECTION.
 2. MAINLINE DEPTH SHALL BE 18" DEEP EXCEPT UNDER ASPHALT & CONCRETE PAVING AND AT P.O.C. SHALL BE MIN OF 24" & MAX OF 30". INSTALL ADDITIONAL FITTINGS & RESTRAINTS AS REQUIRED.
 3. MAINLINE AND LATERAL LINES SHALL BE KEPT MIN. 12" FROM ALL SIDEWALKS AND CURBS.

4 TRENCH SECTION

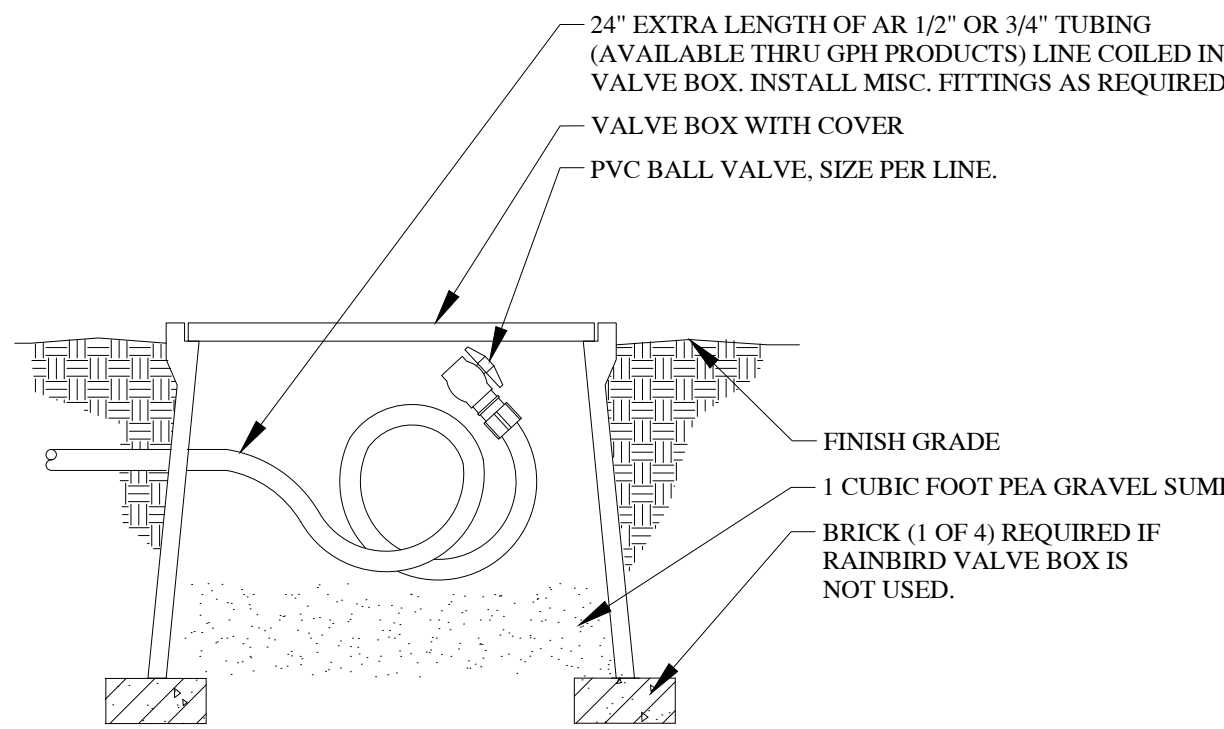
SCALE: NTS



- NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS (WITH CLASS 200 OR SCH. 40 OR SCH. 80 PER SPECS.) TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
 2. FOR PIPE AND WIRE BURIAL DEPTHS, SEE NOTES AND SPECS.
 3. NO LINE VOLTAGE WIRING SHALL BE ALLOWED IN IRRIGATION TRENCHES.

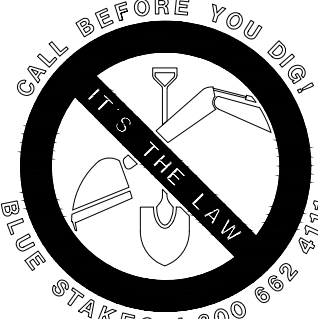
PIPE, WIRE, AND TRENCH

SCALE: NTS



10 DRIP LINE FLUSH CAP

SCALE: NTS



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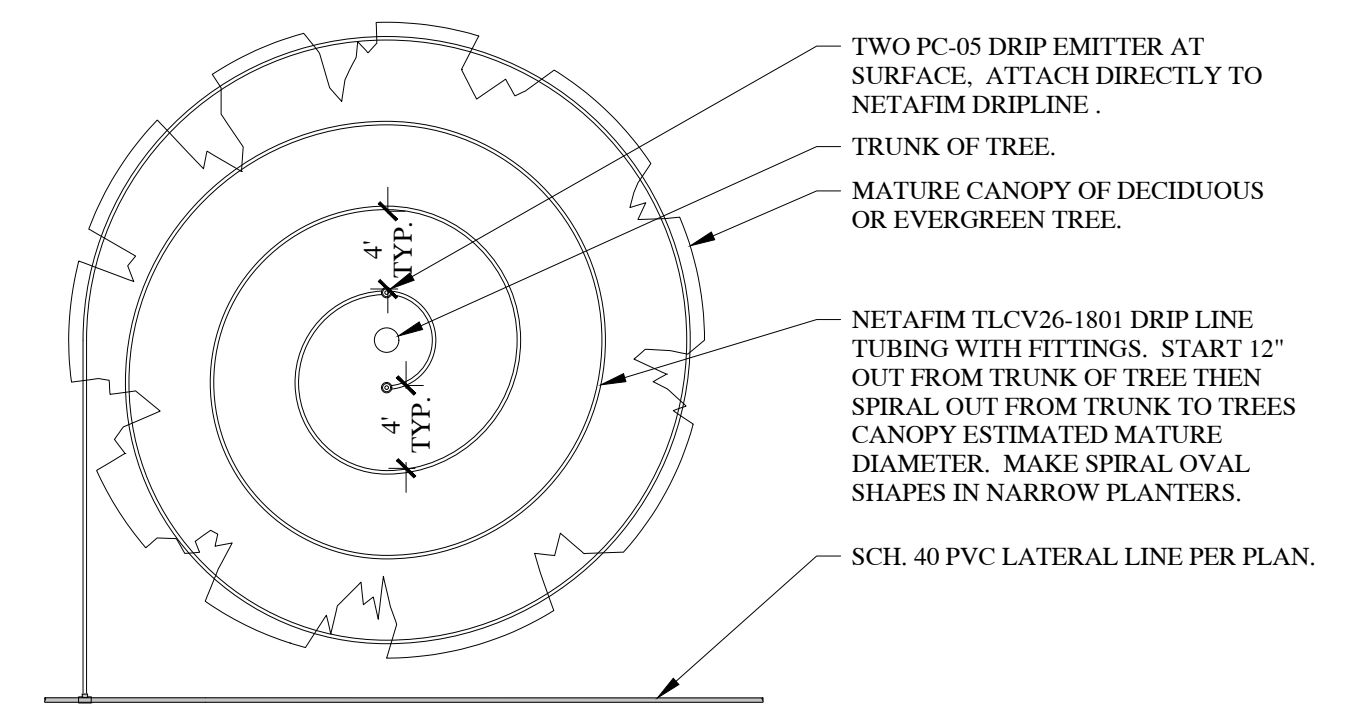
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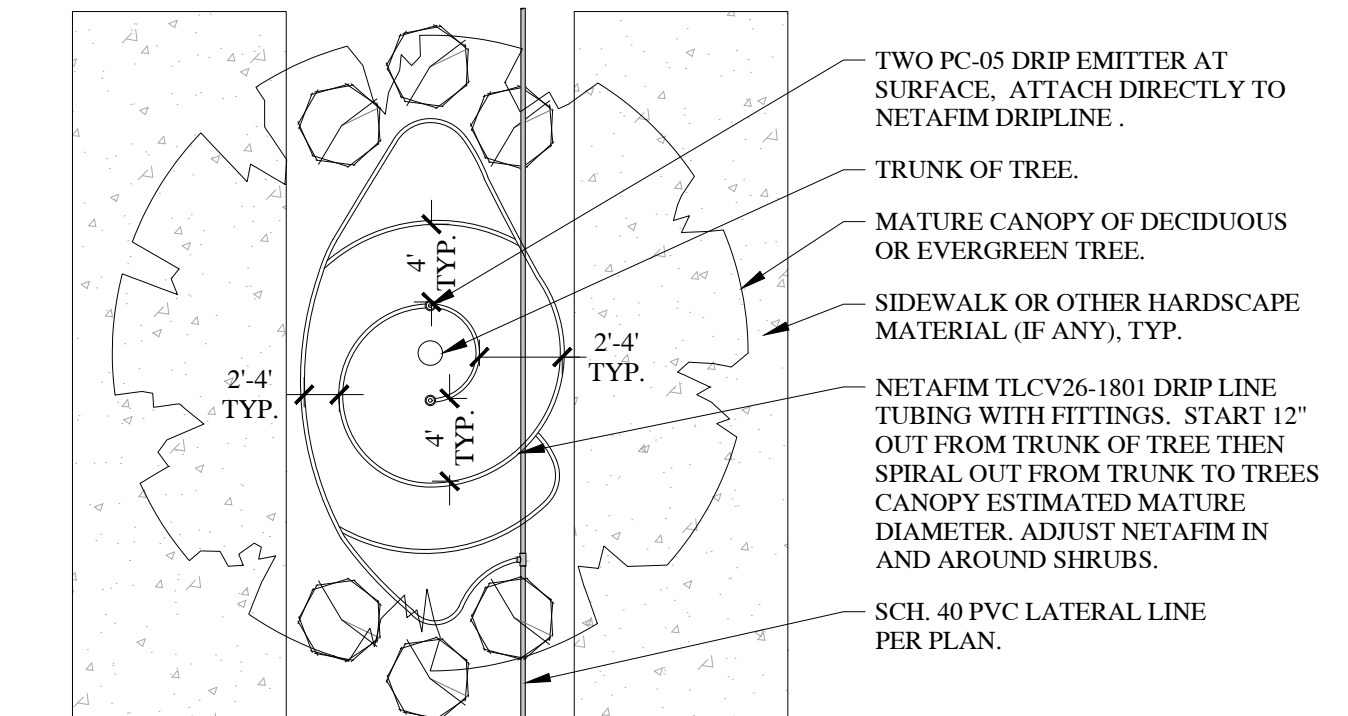
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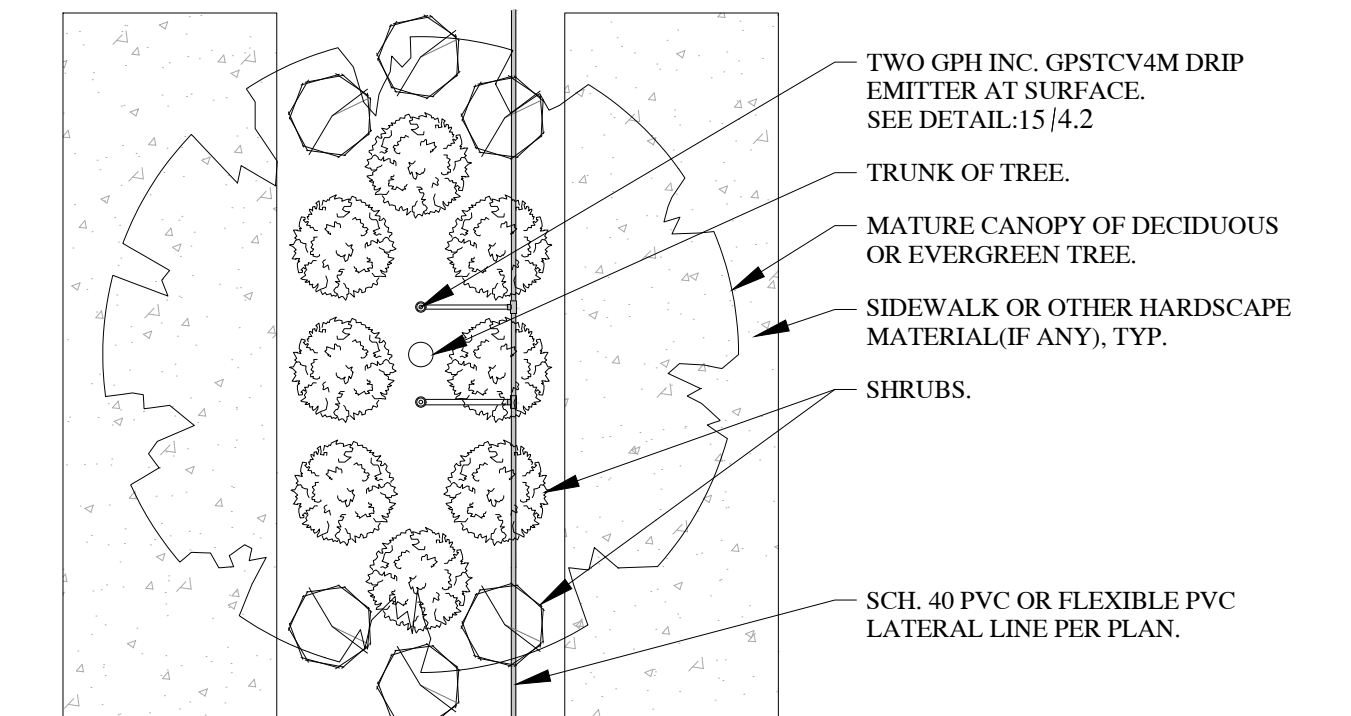
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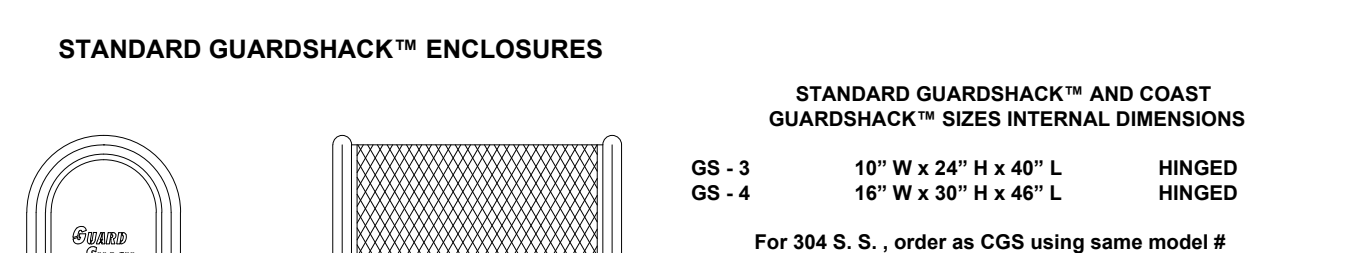
- NOTES:
- LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
 - INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
 - TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
 - THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
 - FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
 - INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.



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STANDARD GUARDSHACK™ ENCLOSURES

STANDARD GUARDSHACK™ AND COAST GUARDSHACK™ SIZES INTERNAL DIMENSIONS

Model	Size	Material	Finish
GS - 3	10" W x 24" H x 40" L	Electric Weld pipe.	Electric Weld pipe.
GS - 4	16" W x 30" H x 46" L	Stainless steel units shall be 1/4" schedule 10 A.S.T.M. A-312 304 S.S.	Stainless steel units shall be 1/4" schedule 10 A.S.T.M. A-312 304 S.S.

For 304 S.S., order as CGS using same model #

POWDERCOATED UNITS

Pre-powdercoat Treatment Process

Clean GuardShack® unit with a S-44 alkaline cleaner, overflow rinse, apply an AC-8115 iron phosphate treatment, overflow rinse and finish with a #198 sealer rinse to prevent rusting and improve adhesion.

Powdercoat Treatment Process

Units shall be preheated and coated by electrostatic application of 2.0 to 3.5 mil thickness on all surfaces. Powder shall be RAL 1019 Woodlands Tan or TCI 8810-6056 Forest Green or approved equal Impact Resistance Finish 160 inch pounds direct 160 inch pounds reverse, per ASTM D-2794 specs. Gloss Finish >85, per ASTM D-523. Adhesion to be rated excellent when tested to ASTM D-3359 standards.

GUARDSHACK™ GENERAL SPECIFICATIONS

- All pipe shall be 1/4" schedule 40 A.S.T.M. A-53 Grade A.
- Angle iron shall be 1" x 1" x 1/2" steel.
- Stainless steel units shall be 1/4" schedule 10 A.S.T.M. A-312 304 S.S.
- Expanded metal shall be 1/2" spacing x # 13 Ga. flattened diamond pattern steel.
- All hinges shall have hidden/internal mounting points.
- All stainless steel shall be sandblasted after fabrication to remove burrs, flashing and sharp edges.
- There shall be no exposed ends of expanded metal on the outside of the enclosure.
- Welding shall be a minimum of 1/4" long welds on 4" spacing.
- One Lock Shield Bracket on hinged units shall be welded on end opposite hinges.
- Hardware kits provided for mounting enclosures.
- On 304 S.S. units, all hinges, exposed hardware, and brackets shall be 304 S.S.
- All hardware shall be securely attached to enclosures. See HK-200 for hardware specifications.
- All enclosures shall withstand a minimum of 200 lbs. per square foot without any permanent deflection or distortion.
- 3/8" spacing between angle iron framework of enclosure and slab to prevent rusting. Only pipe ends to touch slab.

STAINLESS STEEL ELECTRO-POLISH FINISH

All 304 Stainless Steel units shall be chemically electro-polished to impart a lustrous finish to the unit.

11 TREE DRIP WITHOUT PLANTS UNDER FULL CANOPY

1" = 1'-0"

12 TREE DRIP WITH PARTIAL PLANTING UNDER CANOPY

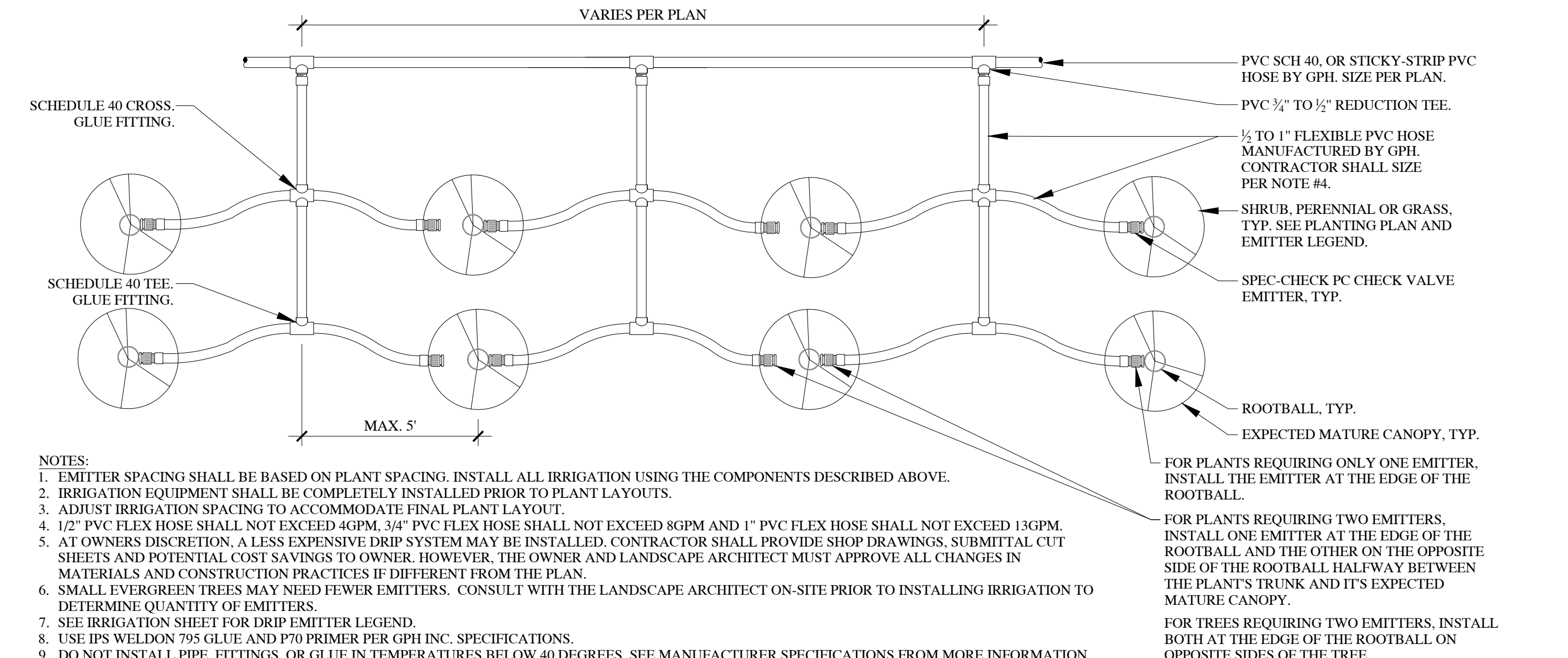
1" = 1'-0"

13 TREE DRIP WITH FULL PLANTING UNDER CANOPY

1" = 1'-0"

14 STANDARD GUARDSHACK ENCLOSURE

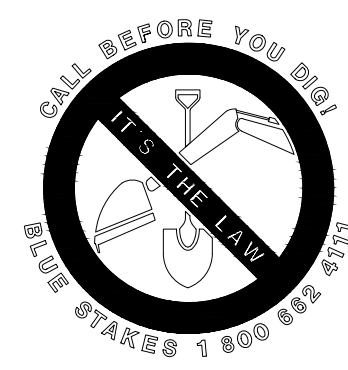
SCALE: NTS



- NOTES:
- EMITTER SPACING SHALL BE BASED ON PLANT SPACING. INSTALL ALL IRRIGATION USING THE COMPONENTS DESCRIBED ABOVE.
 - IRRIGATION EQUIPMENT SHALL BE COMPLETELY INSTALLED PRIOR TO PLANT LAYOUTS.
 - ADJUST IRRIGATION SPACING TO ACCOMMODATE FINAL PLANT LAYOUT.
 - 1/2" PVC FLEX HOSE SHALL NOT EXCEED 4GPM. 3/4" PVC FLEX HOSE SHALL NOT EXCEED 8GPM AND 1" PVC FLEX HOSE SHALL NOT EXCEED 13GPM.
 - AT OWNERS DISCRETION, A LESS EXPENSIVE DRIP SYSTEM MAY BE INSTALLED. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SUBMITTAL CUT SHEETS AND POTENTIAL COST SAVINGS TO OWNER. HOWEVER, THE OWNER AND LANDSCAPE ARCHITECT MUST APPROVE ALL CHANGES IN MATERIALS AND CONSTRUCTION PRACTICES IF DIFFERENT FROM THE PLAN.
 - SMALL EVERGREEN TREES MAY NEED FEWER EMITTERS. CONSULT WITH THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLING IRRIGATION TO DETERMINE QUANTITY OF EMITTERS.
 - SEE IRRIGATION SHEET FOR DRIP EMITTER LEGEND.
 - USE IPS WELDON 795 GLUE AND P70 PRIMER PER GPH INC. SPECIFICATIONS.
 - DO NOT INSTALL PIPE, FITTINGS, OR GLUE IN TEMPERATURES BELOW 40 DEGREES. SEE MANUFACTURER SPECIFICATIONS FROM MORE INFORMATION.

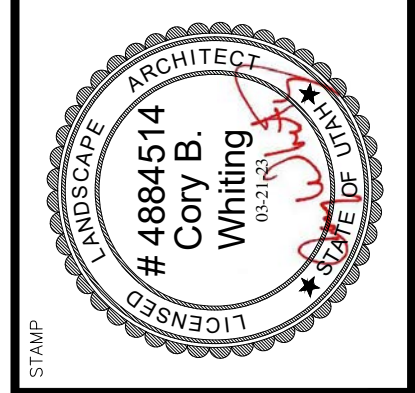
15 GPH DRIP EMITTER PLAN VIEW

SCALE: NTS



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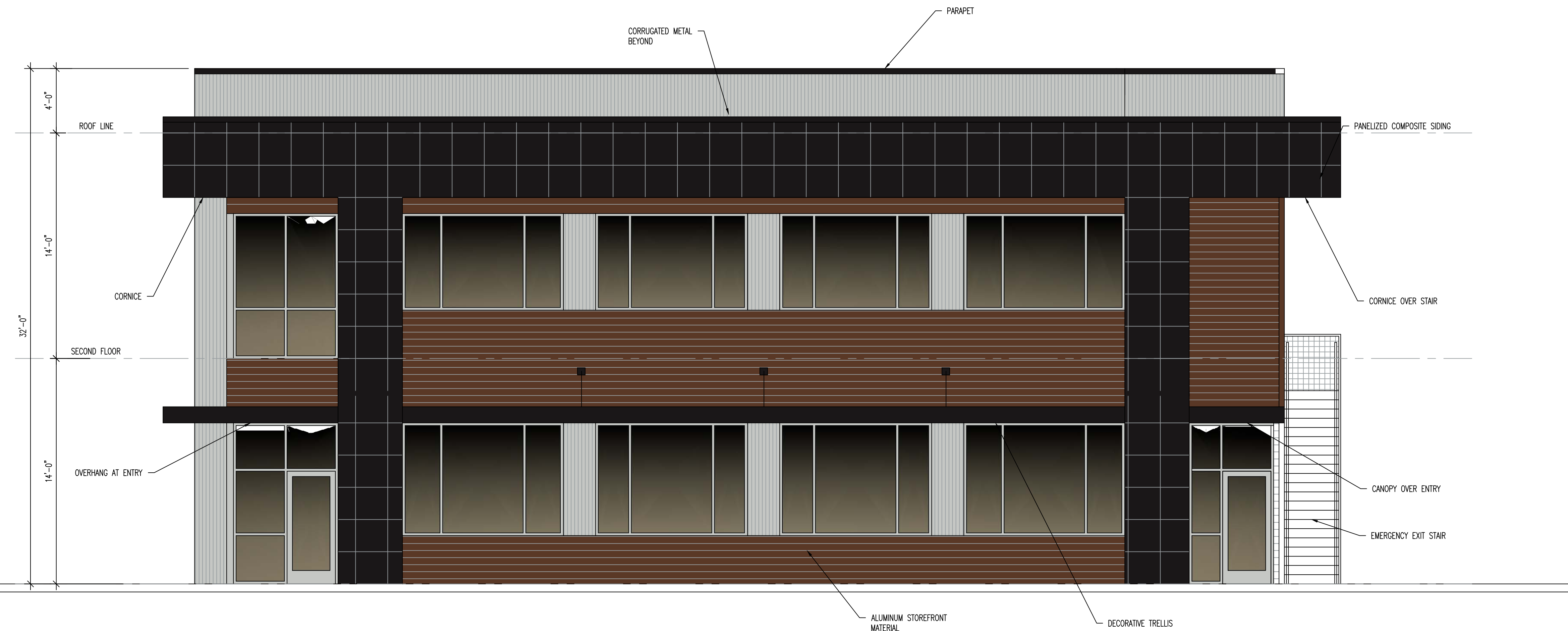
PROJECT

IRRIGATION
DETAILS

DRAWN BY: GD
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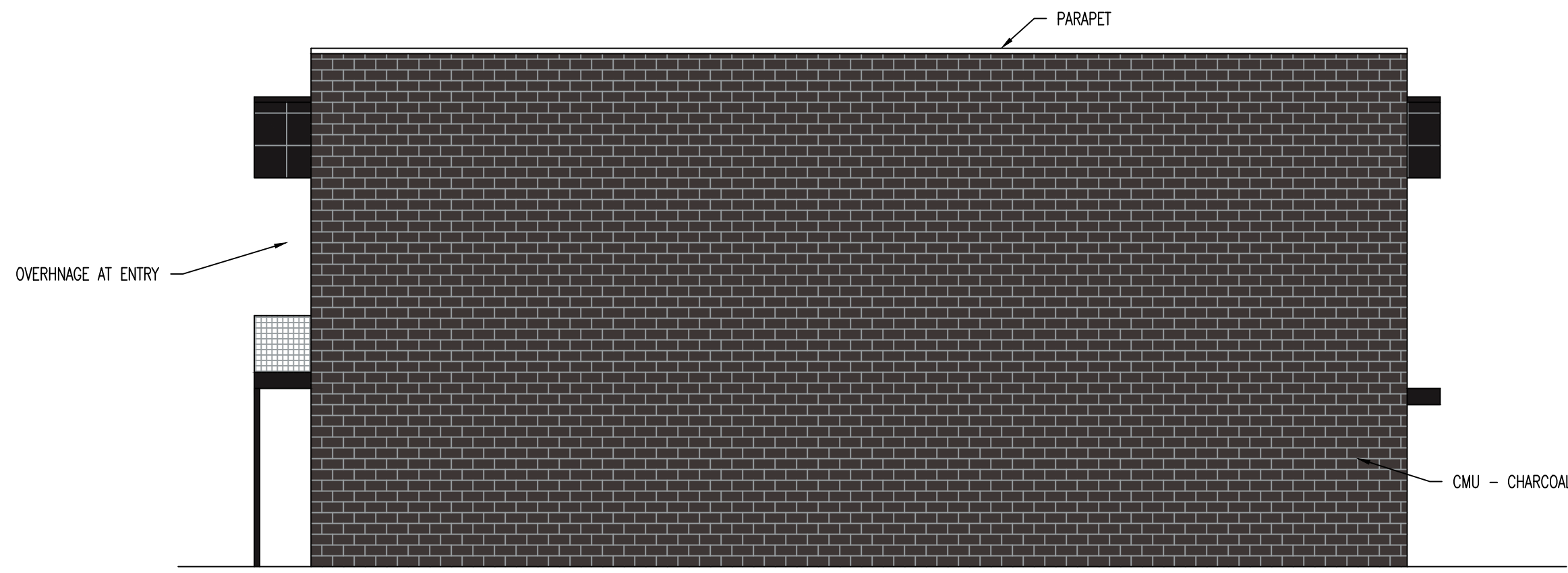


WEST ELEVATION

SCALE: 1/4" = 1'-0"

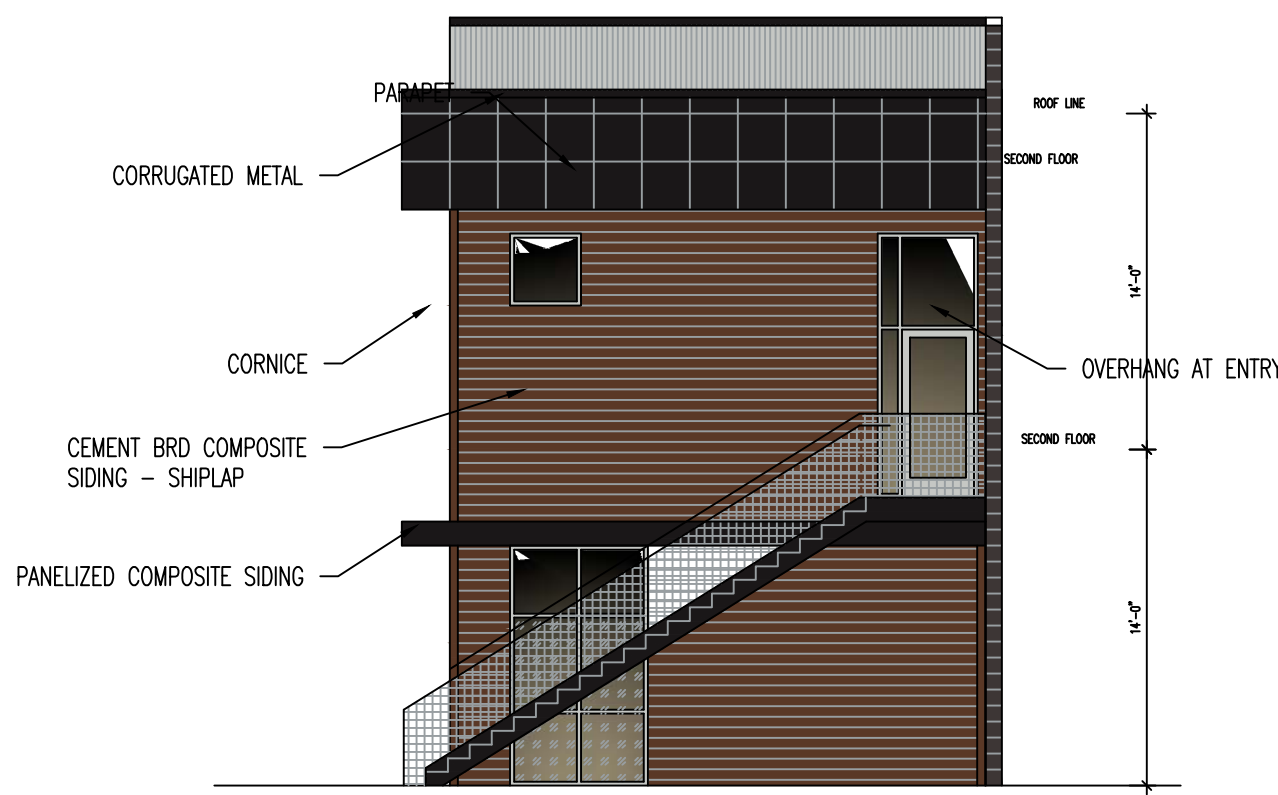
ALUMINUM STOREFRONT AREAS					
FACE	TOTAL AREA	GLASS AREA	% GLASS	REQ %/ SF	
NORTH	712 SF	293 SF	41%	40%/ 285 SF	PASSES
WEST	2196 SF	691 SF	31%	15%/ 329 SF	PASSES
SOUTH	748 SF	131 SF	18%	15%/ 112 SF	PASSES
EAST	2196 SF	0 SF *	0.0% *	15%/ 329 SF	FAILS *
TOTALS	3656 SF	1115 SF	30%	---/ 1005 SF	PASSES
NOTES:					
• AREAS IN SQUARE FEET					
• FACE AREAS FIGURED FROM FLOOR TO STRUCTURE AND WALL TO WALL					
• * NO WINDOWS ALLOWED PER CODE - ZERO LOT LINE, IBC 705.8					
• REQUIRED VALUES FROM SSLC CODE SECTION 17.21.140					
• ALL GLASS IS CLEAR LOW "E" INSULATED					

MATERIAL AREAS						
FACE	TOTAL AREA	GLASS	CEMENT BRD	CORR MTL	CMU	MTL FINISHES
NORTH	712 SF	361 = 51%	153 = 21%	157 = 22%	--	41 = 6%
WEST	2196 SF	776 = 35%	1121 = 51%	226 = 16%	--	73 = 4%
SOUTH	748 SF	131 = 18%	501 = 67%	60 = 8%	17 = 3%	39 = 6%
EAST	2196	NOT ALLOWED	14 = 1%	--	2140 = 97%	31 = 2%
TOTALS	4726 SF	1206 = 26%	1101 = 23%	485 = 10	1755 = 37%	179 = 4%
NOTES:						
• AREAS IN SQUARE FEET						
• METAL FINISHES INCLUDES, TRELLISES, FLASHINGS, STRINGERS..ETC.						
• CEMENT BRD IS OF TWO TYPES - COMPOSITE PANELS, AND COMPOSITE SHIP LAP.						
• GLASS IS ALUMINUM STOREFRONT MATERIAL						



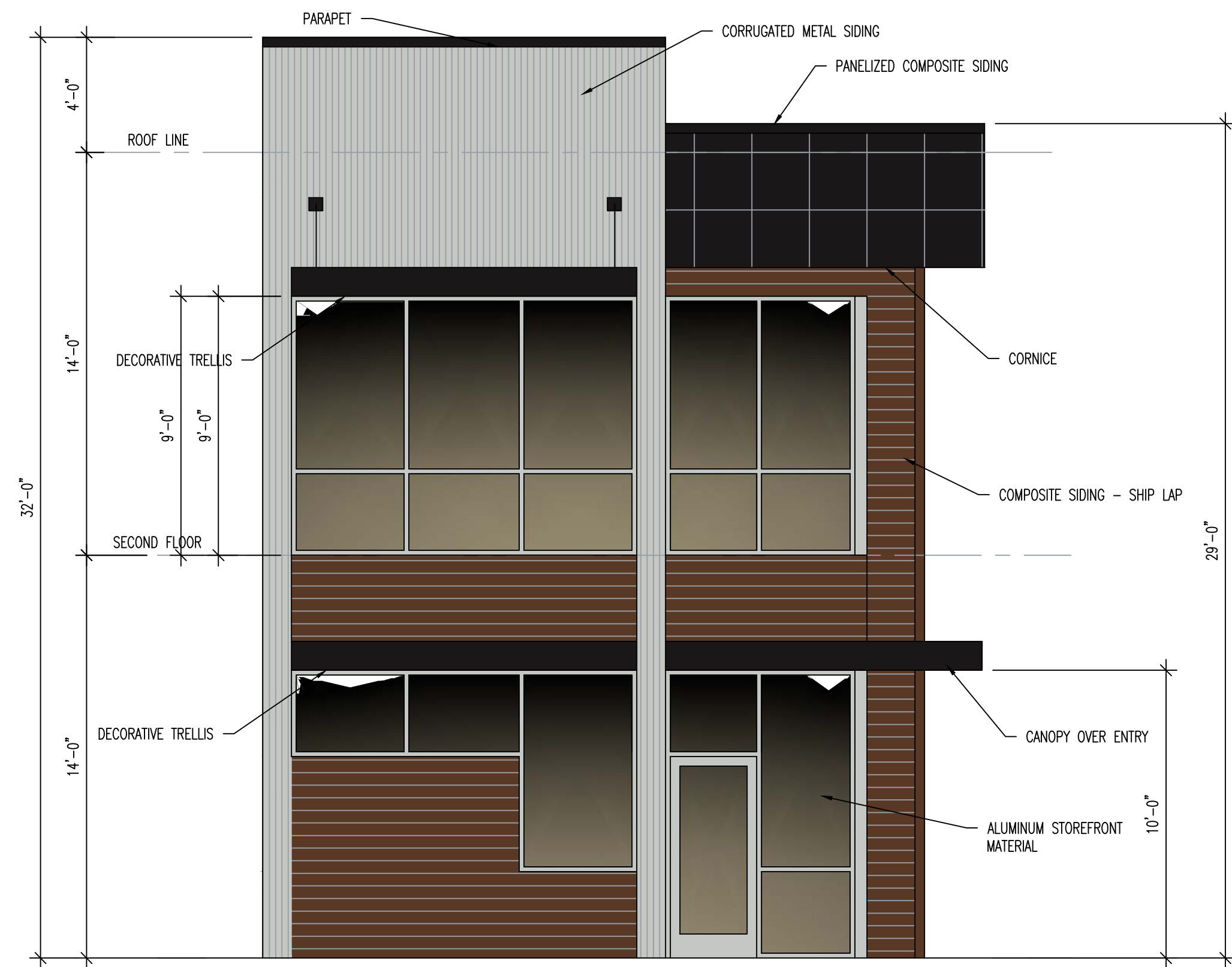
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

SPENCER AVENUE OFFICE BUILDING

NEW GROUND UP SHELL FOR:

120 E SPENCER AVENUE
SALT LAKE CITY, UTAH

EXTERIOR ELEVATIONS

ARCH. PROJECT NO: 20-194
DATE: 6/42/23
DRAWN BY: BRENT
CHECKED BY:
DESIGNED BY:

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DATE REVISION

SHEET TITLE

A-2.00

ARCHITECTURAL

VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

VDG

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