



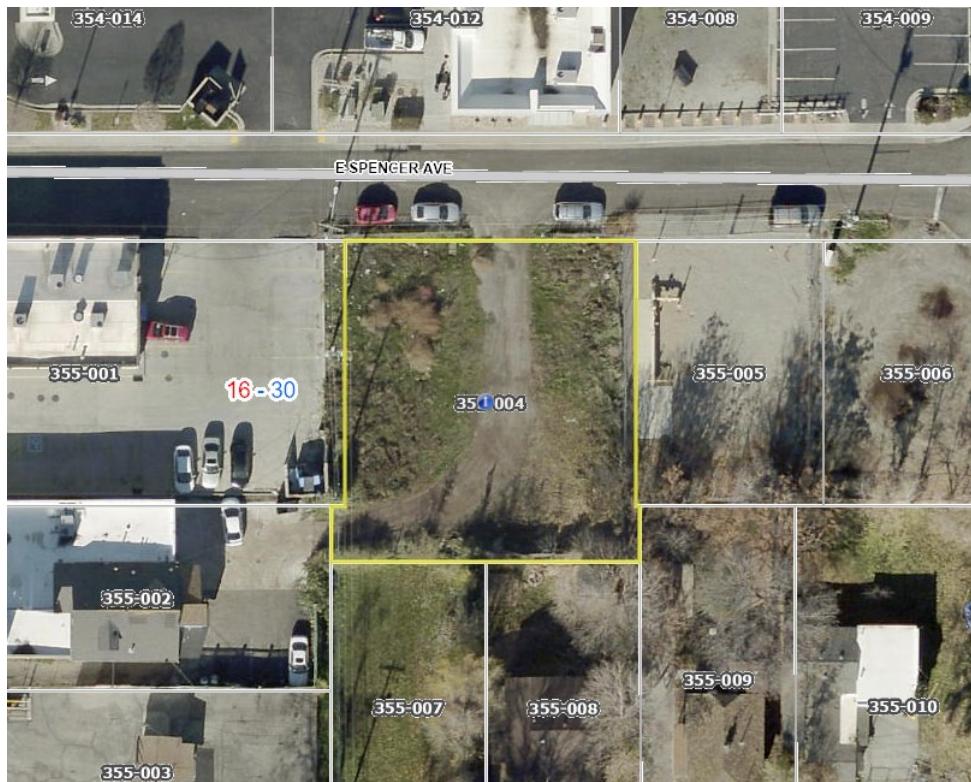
PLANNING COMMISSION STAFF REPORT

MEETING DATE: June 19, 2025
PROJECT NUMBER: S24-00027
REQUEST: An application for approval of a preliminary subdivision plat amendment to plat one (1) parcel located at 120 E Spencer Ave.
ADDRESS: 120 E Spencer Ave.
PARCEL NUMBER: 16-30-355-0040-0000
PROPERTY OWNER: LUCKY 88 PROPERTIES, LLC
APPLICANT: Jian Zheng (Jerry)
TYPE OF APPLICATION: Administrative – Subdivision Plat Approval

SYNOPSIS:

On December 23, 2024, Jian Zheng (Jerry) submitted a Plat Application to plat one (1) parcel. The parcel number is 16-30-355-0040-0000. The current parcel is empty. The current land use district of the parcel is Commercial Corridor (CC). This plat application is to plat the existing parcel, so the landowner can build a new office building on the parcel. Mainly, commercial uses surround the property. The subject parcel currently does not include any easements. The proposed consolidated lot will be approximately 0.21 acres.

The applicant obtained a variance approval on the property on September 26, 2023 because of the 1-acre lot size minimum for developments in the CC district.



The Planning Commission is the land use authority over all Plat Applications.

STAFF RECOMMENDATION:

Staff recommend approval for a preliminary subdivision plat amendment to plat one parcel.

EXISTING ZONING	EXISTING LAND USE	SURROUND ZONING	SIZE OF PROPERTY
CC	Empty	North – CC South – CC East – CC West – CC	0.21 acres



GENERAL INFORMATION:

PLANNING COMMISSION STAFF REPORT

Location: 120 E Spencer Ave

Parcel Size: 0.21 acres after consolidation

Surrounding Land Use Districts: North – CC
South – CC

East – CC

West – CC

Figure 1: Existing Parcel Lines

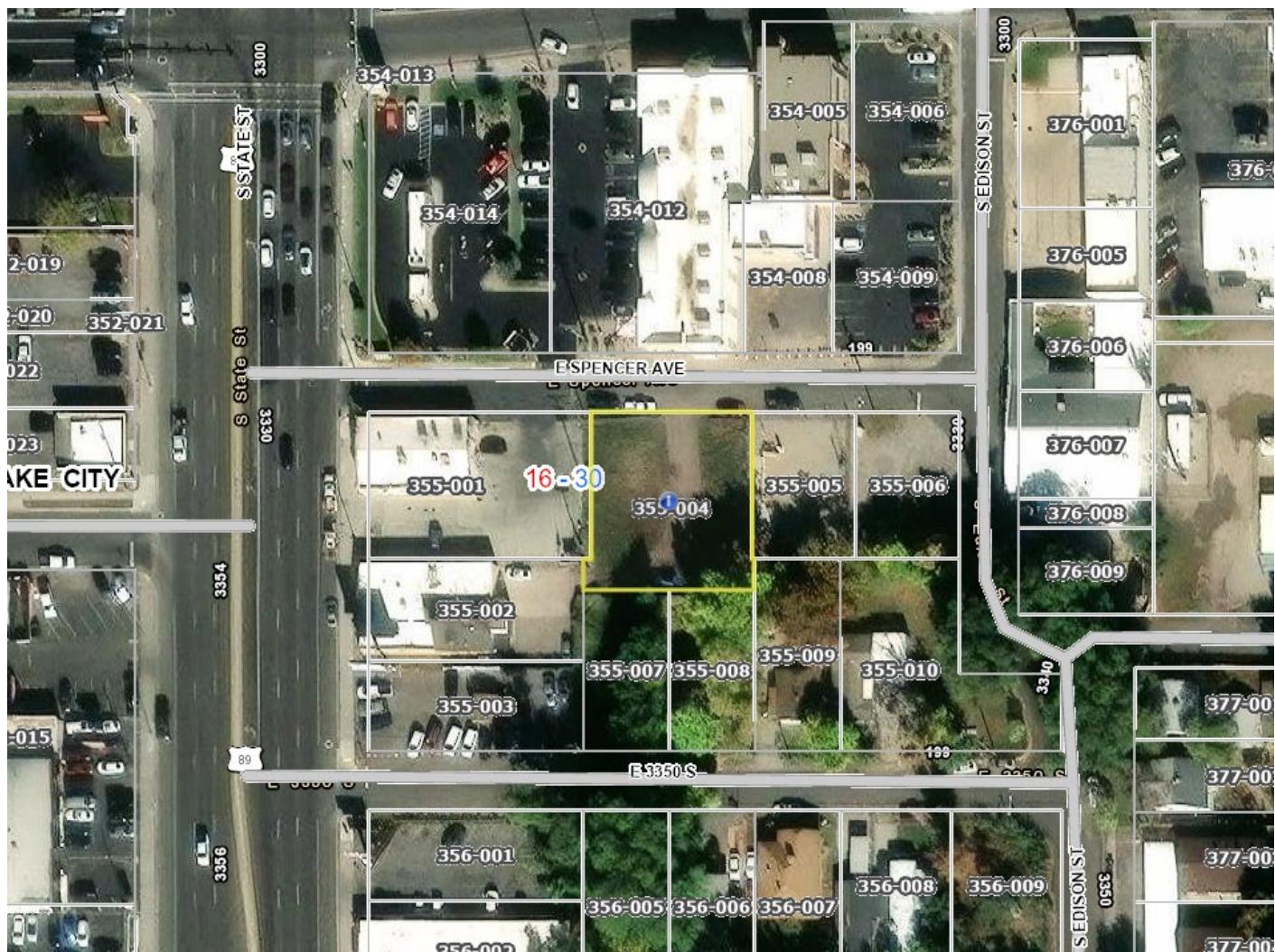


Figure 2: Existing Condition (120 E Spencer)



Figure 4: Proposed Preliminary Plat

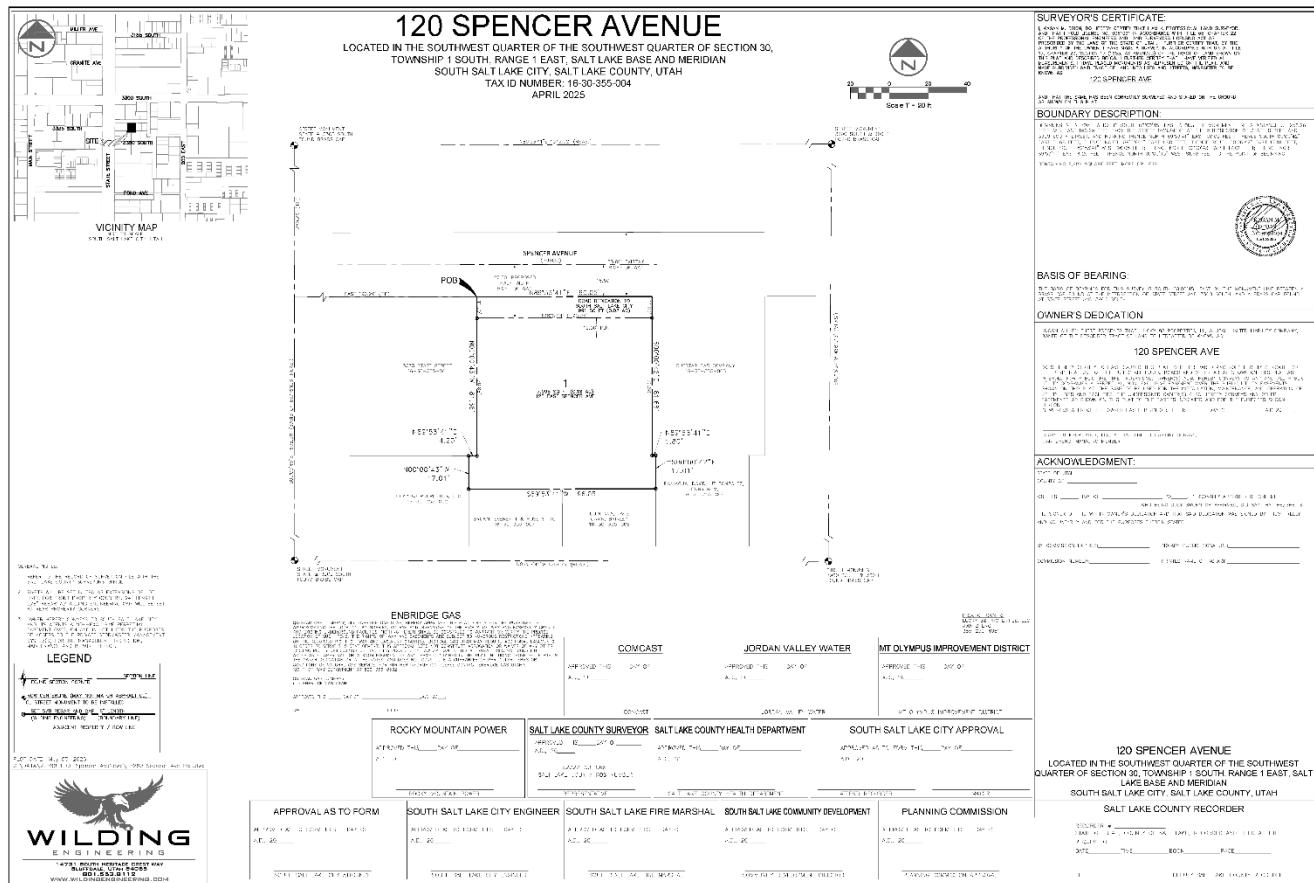


Figure 5: Site Plan

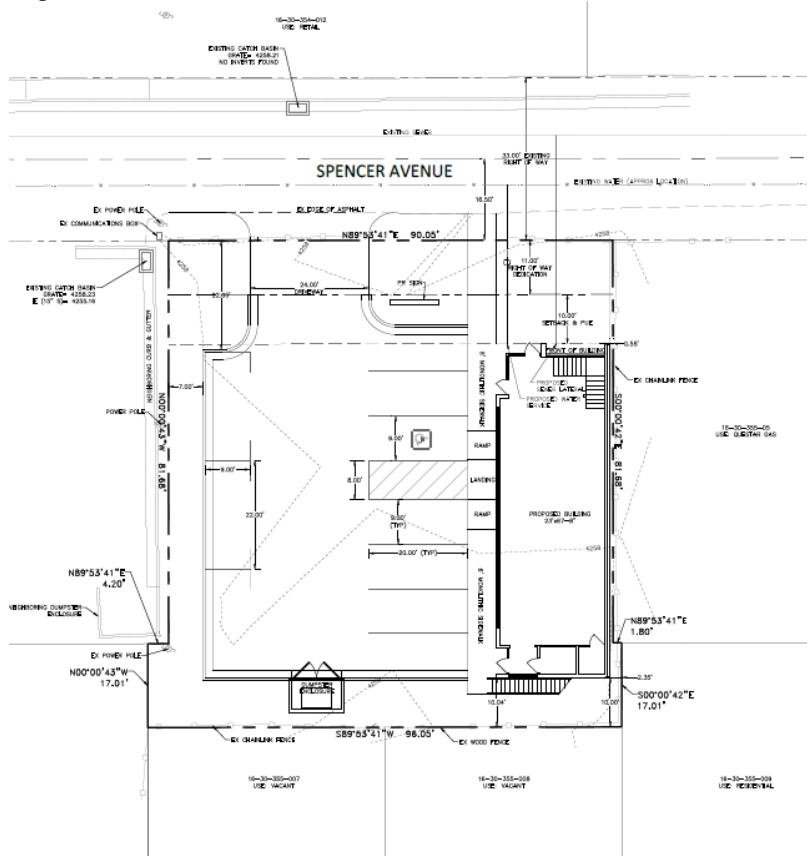


Figure 6: Alta Survey

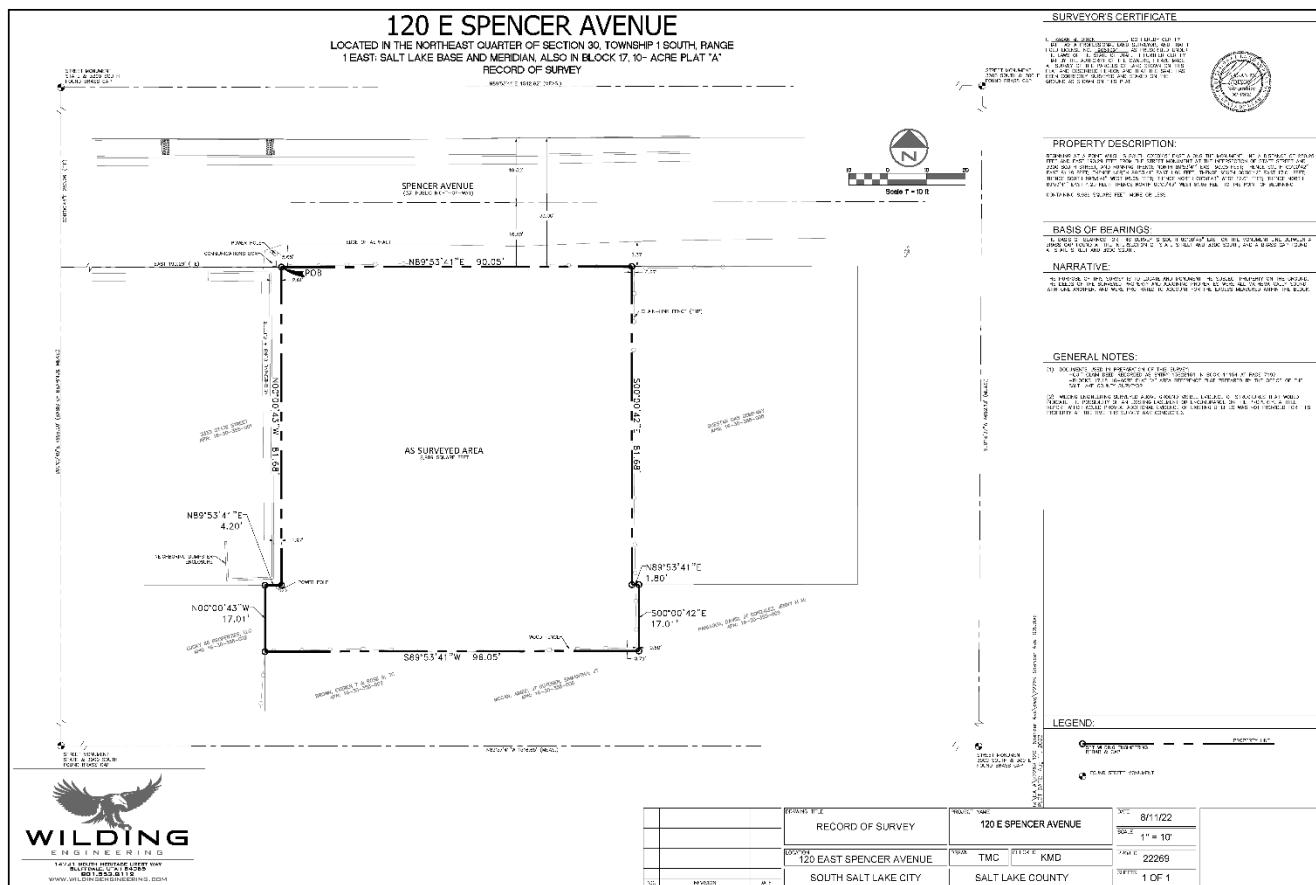


Figure 7: Elevations

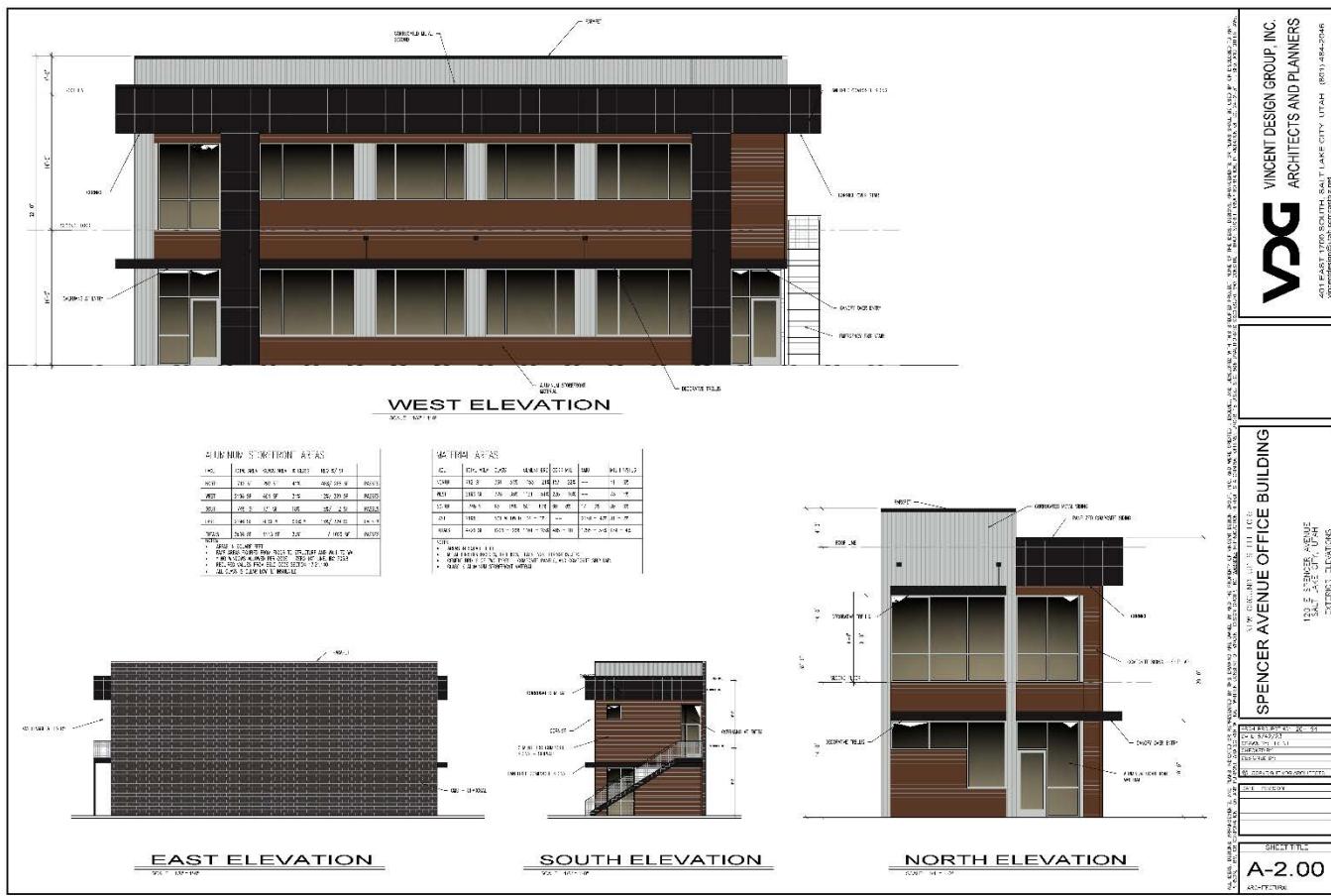
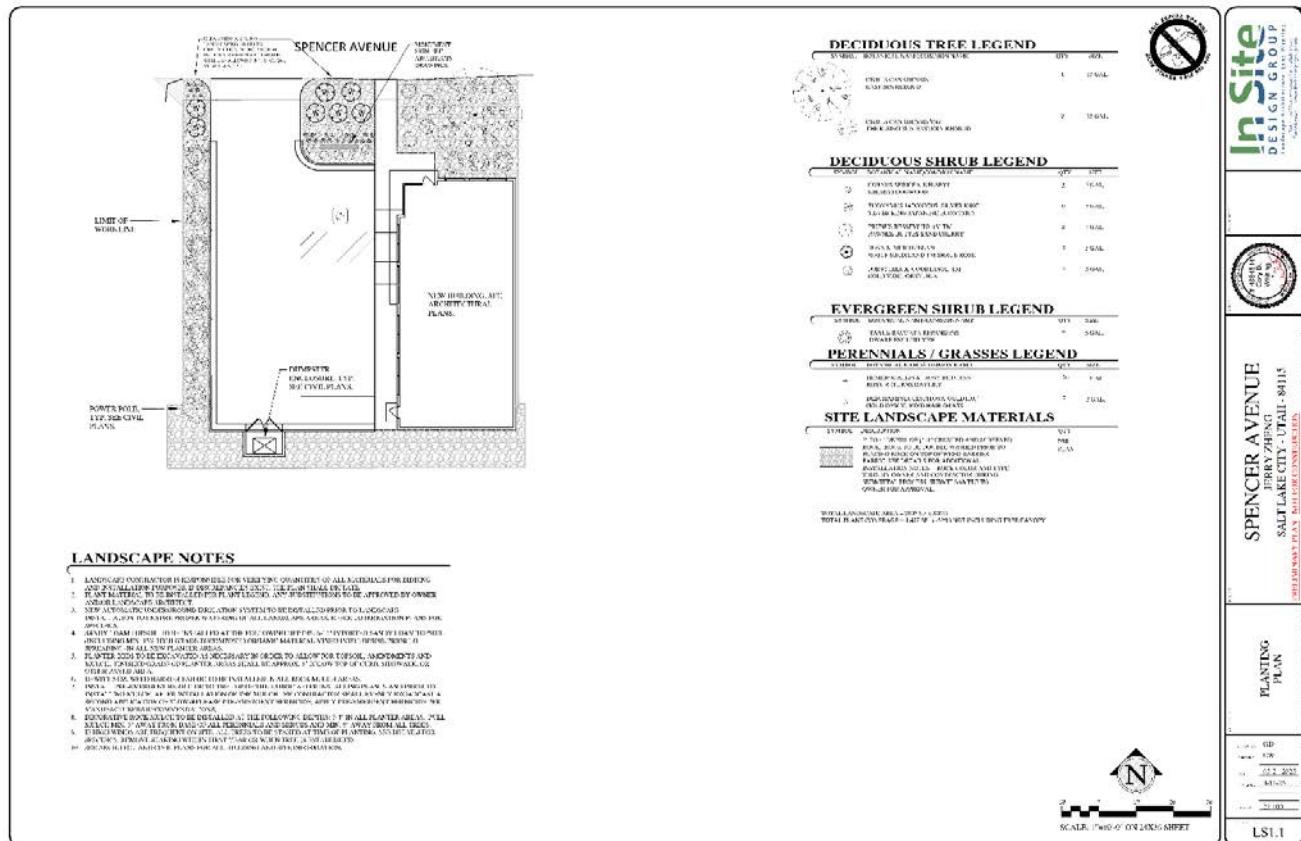


Figure 8: Landscape Plan



PLANNING COMMISSION AUTHORITY:

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

A. **Planning Commission.** The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

GENERAL PLAN CONSIDERATIONS:

Economic Development Goal 3: Continue to support existing and future businesses through the city's partnership with the South Salt Lake Chamber of Commerce and comprehensive business retention and recruitment program.

Analysis: This plat application allows the landowner of 120 E Spencer Ave to develop the current empty land parcel, to increase local opportunities, development density, and local destinations.

ORDINANCE ANALYSIS:

Ordinance	Finding	Notes / Insufficiency
Downtown District Code		
17.10.120 – Requirements for Improvements & Design		
A. Compliance with laws, rules and regulations	Petition complies.	
B. South Salt Lake construction specifications and standard drawings (Road profile dedications)	The applicant met with the Engineering Department to meet all Right of Way requirements.	
C. Self-Imposed restrictions	The applicant has proposed no restriction.	
D. Restrictions due to character of the land	Not applicable	
17.10.140 – Subdivision Development Lot Standards		
A. All Final Plats shall result in the creation of compliant Lots and Building sites.	The total acreage of the existing lot is 0.21 acres. The proposed lot does not complies with the standards in Section 17 of the SSL Municipal Code. Therefore, a variance for the lot size is required.	
B. Frontage on public street	The existing lot has frontage on public street	
C. Street right-of-way shall be separate and distinct from subdivided lots.	Not applicable	
D. Minimum area and dimensions shall conform.	There is a 1-acre minimum requirement in the CC District for commercial uses.	Applicant has obtained a variance regarding the 1 -acre

		minimum in the CC District
E. Side boundary lines shall be at right angles to the street.	All newly created side boundary lines are at right angles to all adjacent streets.	
F. Side boundary lines of lots shall be radial to center of a Cul-de-Sac	Not Applicable	
G. Corner lots for residential uses shall be platted wider than interior lots	Not Applicable	
H. Lots shall not divide City boundary	All existing and proposed parcels are located within South Salt Lake City.	
I. Double frontage SF residential lots	Not Applicable	
J. Multiple building yard areas	Not Applicable	
K. Side lot lines shall be at right angles to street lines	The newly created side lot lines are at a right angle to street lines.	
L. Dimensions of Corner Lots shall be large enough to allow for erection of Buildings	Not Applicable	
M. Depth and width of properties shall be adequate to provide for off-street parking and loading facilities	The development site plan provides sufficient off-street parking with 10 off-street parking stalls.	
N. New Single-Family lots	Not Applicable	
O. If Access from an Arterial or Collector Street is necessary for new adjoining lots, such lots shall be served by separate local street	Not Applicable	
P. Driveways shall be designed and arranged to avoid vehicles backing onto Streets	Not Applicable	
Q. Lots shall be laid out to provide positive drainage away from all buildings.	Per the Engineering review, there is positive drainage away from all buildings.	

17.10.160(A) - Drainage and Storm Sewers General Requirements

A. Each plat shall make adequate provision for storm or flood water runoff.	Per the Engineering review, there is adequate provision for storm or flood water runoff.	
---	--	--

17.10.160(B) – Nature of Stormwater Facilities

A. Applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or as a result of the subdivision.	Not applicable	
B. Adequate underground stormwater systems shall be constructed and maintained.	Per the Engineering review, there is an adequate underground stormwater system.	
C. Accommodation of Upstream Drainage Areas.	Not applicable	
D. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity.	Per the Engineering review, there is adequate storm or flood water drainage.	

E. Areas of poor drainage shall be remediated as applicable.	Sufficient drainage is provided per Engineering review.	
F. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area.	No floodplain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	
17.10.170 - Water Facilities		
A. Applicant shall extend public culinary water supply-system for the purpose of providing an adequate water-supply to the Plat	Adequate water supply provisions are proposed per South Salt Lake Engineering review.	
B. Applicant shall install adequate water facilities including fire hydrants.	All proposed water infrastructure has been reviewed by South Salt Lake Engineering and complies with city standards.	
C. Water extensions shall meet City's standards	Not applicable	
D. Fire flow shall be approved by the Fire Marshal.	The Fire Marshal has reviewed and approved the proposed development plan.	
E. Location of all fire hydrants, all water and storage supply improvements shall be shown on the approved site plan and the cost of installing shall be included on the performance guaranty.	The Fire Marshal has reviewed and approved the proposed development plan.	
F. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City, if any.	There are no private facilities at this location to be maintained by South Salt Lake City.	
G. Fire hydrants required for all plats.	The Fire Marshal has reviewed and approved the proposed development plan.	
17.10.180 - Sewer Facilities		
A. The applicant shall install sanitary sewer facilities in a manner prescribed by the applicable sanitary sewer authority.	The Engineering Department has reviewed and approved the proposed development plan.	
B. Sanitary sewer facilities shall connect with the public sanitary sewer at sizes required by the sanitary sewer authority	South Salt Lake Engineering has reviewed and approved the civil plans for the proposed development. All proposed infrastructure complies with South Salt Lake requirements.	
17.10.190 – Utilities		
A. Utility facilities shall be located underground in new subdivisions.	There are no existing utility facilities on the surface in this lot.	
B. Easements centered on Rear Lot Lines shall be provided for private and municipal utilities; such easements shall be at least 10' wide.	There will be a 10 ft PUE easement on the front lot line of the proposed development.	
17.10.200 - Sidewalks, Trails, and Bike Paths		
A. Subdivision shall comply with the applicable road profile – including	The existing roadways comply with the current Public Right of Way standards.	

sidewalks, landscaping, bike lanes, curb and gutter, etc.		
B. Trails, pedestrian paths, and bike paths shall relate appropriately to topography.	Public and internal pathways relate appropriately to topography on the site and comply with South Salt Lake code.	
C. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan.	The Trails Master Plan does not include any facilities adjacent to the subject property.	

STAFF RECOMMENDATION:

Based upon the information submitted in the application, supporting documentation, and analysis of the relevant code sections and general plan goals, Staff recommends the Planning Commission move to approve the preliminary subdivision plat amendment to plat the one (1) parcel into one lot located at 120 E Spencer Ave, based on the findings of fact, conclusions of law and conditions of approval for the subdivision in the staff report.

Findings of Fact:

1. On December 23, 2024, Jian Zheng (Jerry) submitted a Plat Application to plat parcel 16-30-355-0040-0000.
2. The purpose of the proposed subdivision plat amendment is to plat the parcel for a new office building.
3. The subject location 120 E Spencer is in the CC land use district.
4. The total development area of the one (1) lot is 0.21 acres.
5. Section 17.07.010 of the South Salt Lake Municipal Code states that new buildings are required to comply with all IBC, IFC, development, and design standards.
6. No impact is expected as part of the business on environmentally sensitive lands. There is no environmentally sensitive land on site.
7. No specific hazards or adverse impacts are expected due to the proposed use.
8. "Office" land use is permitted in the CC land use district.
9. The proposed development will comply with all requirements of the South Salt Lake Municipal Code.
10. Staff has reviewed this subdivision application for compliance with South Salt Lake Municipal Code Sections 17.10.120, 17.10.130, 17.10.140, 17.10.150, 17.10.160, 17.10.170, 17.10.180, 17.10.190 and 17.10.200, and found that this subdivision application is compliant with this section, as outlined above.

Conclusions of Law:

1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.

2. The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the CC district.
3. The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of the city.

Conditions of Approval:

1. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
2. Prior to plat recordation and any additional development of the subsequent lot, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The applicant shall complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required landscaping and public infrastructure improvements including street lights;
4. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
5. The applicant shall dedicate an easement to the City of South Salt Lake for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
6. The proposed development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering department;
7. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit;
8. The applicant shall record the plat with the Salt Lake County Recorder's Office within 2 years of receiving final plat approval or the applicant elects to install Infrastructure Improvements prior to Plat recordation, the applicant shall have applied for the proper permits, deposited a 10% Warranty Assurance and be actively working on the issued permit;
9. All utilities shall be undergrounded.

PLANNING COMMISSION OPTIONS:

10. All items of the staff report.

Option 1: Approval

Move to approve the application by Jian Zheng, for preliminary subdivision plat amendment to plat the one lot located at 120 E Spencer Ave, based on the findings and conclusions in the staff report, with the conditions enumerated in the staff report and on the record.

Option 2: Denial

Move to deny the application by Jian Zheng, for preliminary subdivision plat amendment to plat the one lot located at 120 E Spencer Ave, based on the findings and conclusions in the staff report, with the conditions enumerated in the staff report and on the record.

Option 3: Continuance

Move to table the application Jian Zheng, for preliminary subdivision plat amendment to plat the one lot located at 120 E Spencer Ave to a date certain to allow the Applicants and Staff time to respond to specific inquiries or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

Attachments:

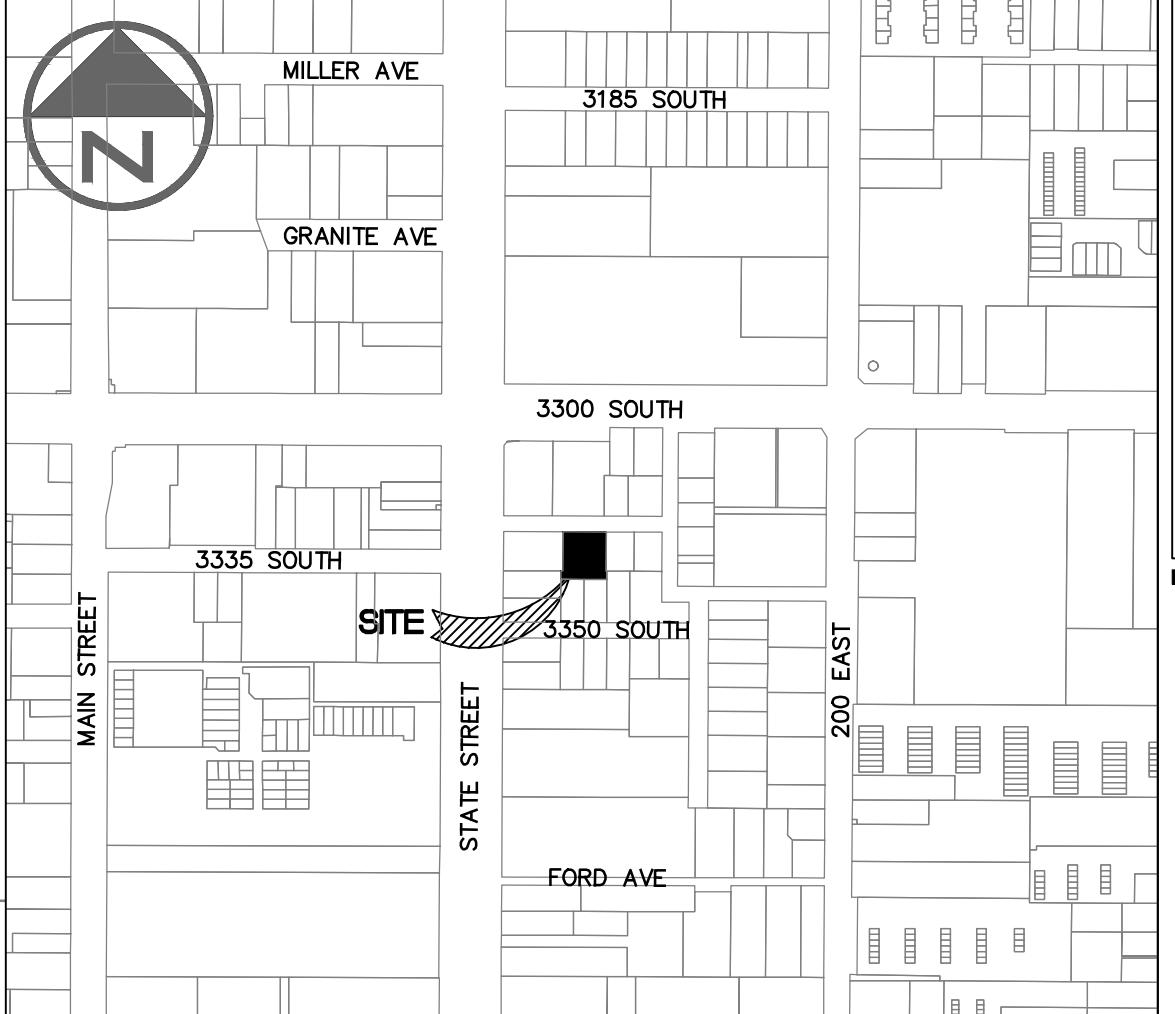
1. Plat
2. Site Plan
3. Alta Survey
4. Landscape Plan
5. Elevations



WILDING ENGINEERING

**14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM**

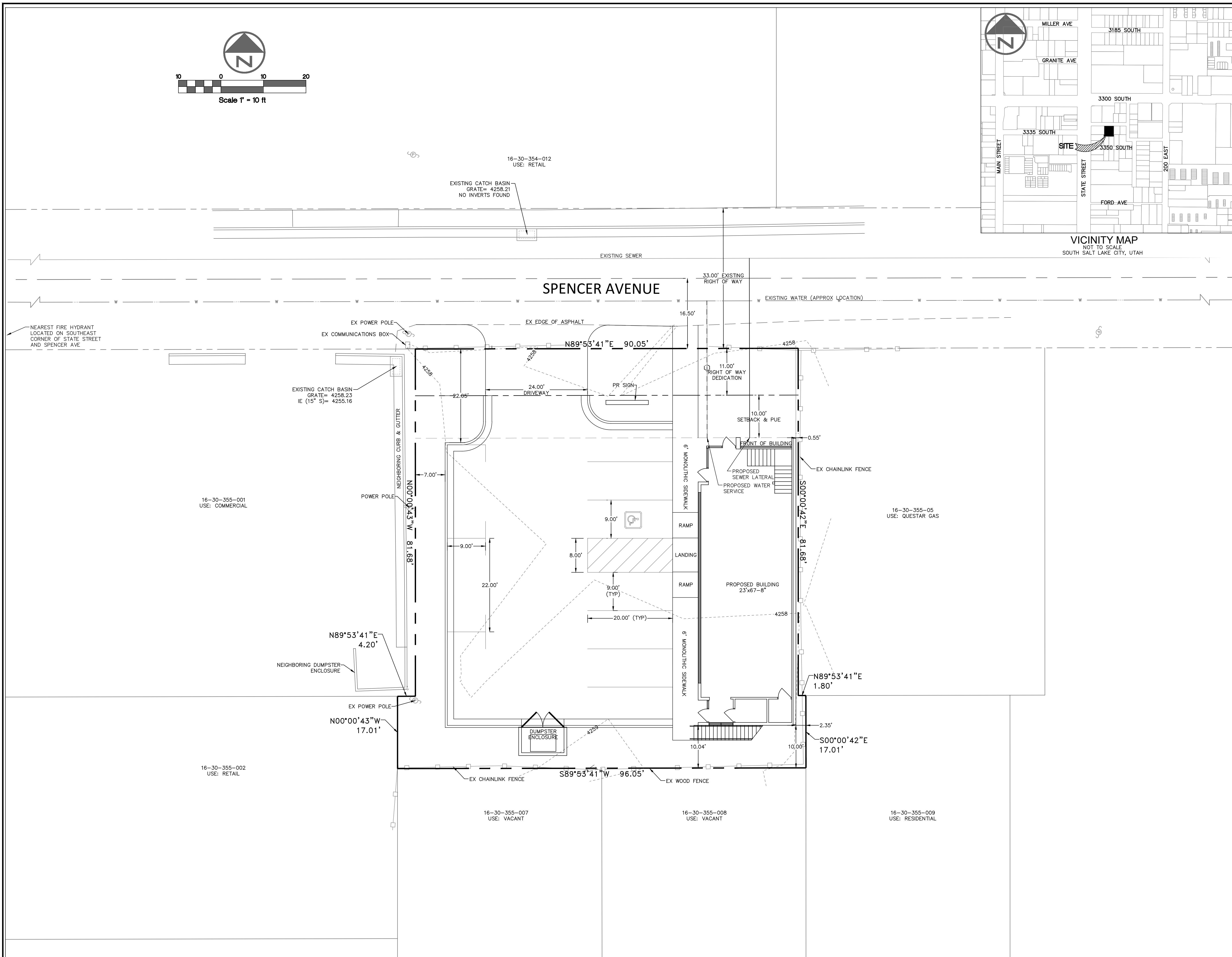
RAWING NOTES:
DATE OF FIELD SURVEY: JULY 21, 2022
THIS DRAWING ONLY REPRESENTS THE EXISTING CONDITIONS
AND TOPOGRAPHY ON THE SUBJECT SITE. SEE THE
ACCOMPANYING RECORD OF SURVEY PREPARED BY WILDING
ENGINEERING FOR BOUNDARY INFORMATION. THIS DRAWING
DOES NOT CONSTITUTE A BOUNDARY SURVEY.
ACCORDING TO FEMA MAP 49035C0284G, THE PROJECT IS
LOCATED WITHIN ZONE X.



VICINITY MAP

NOT TO SCALE

SOUTH SALT LAKE CITY, UTAH



DATA TABLE

ADDRESS:	120 EAST SPENCER AVENUE
LOT SIZE:	8,989 SQ FT
STREET DEDICATION AREA:	991 SQ FT
NET PARCEL SIZE:	7,998 SQ FT
LANDSCAPING AREA:	1,932 SQ FT
LANDSCAPING %:	24%
HARDSCAPE AREA:	6,066 SQ FT
PARKING SPACES	10 (INCLUDES 1 ADA)

LEGEND

The diagram illustrates two contour lines. On the left, a dashed line represents the 'EXISTING INDEX CONTOUR (5')'. On the right, a solid line represents the 'EXISTING CONTOUR (1')'. Both lines are irregular, wavy shapes that define a specific area.

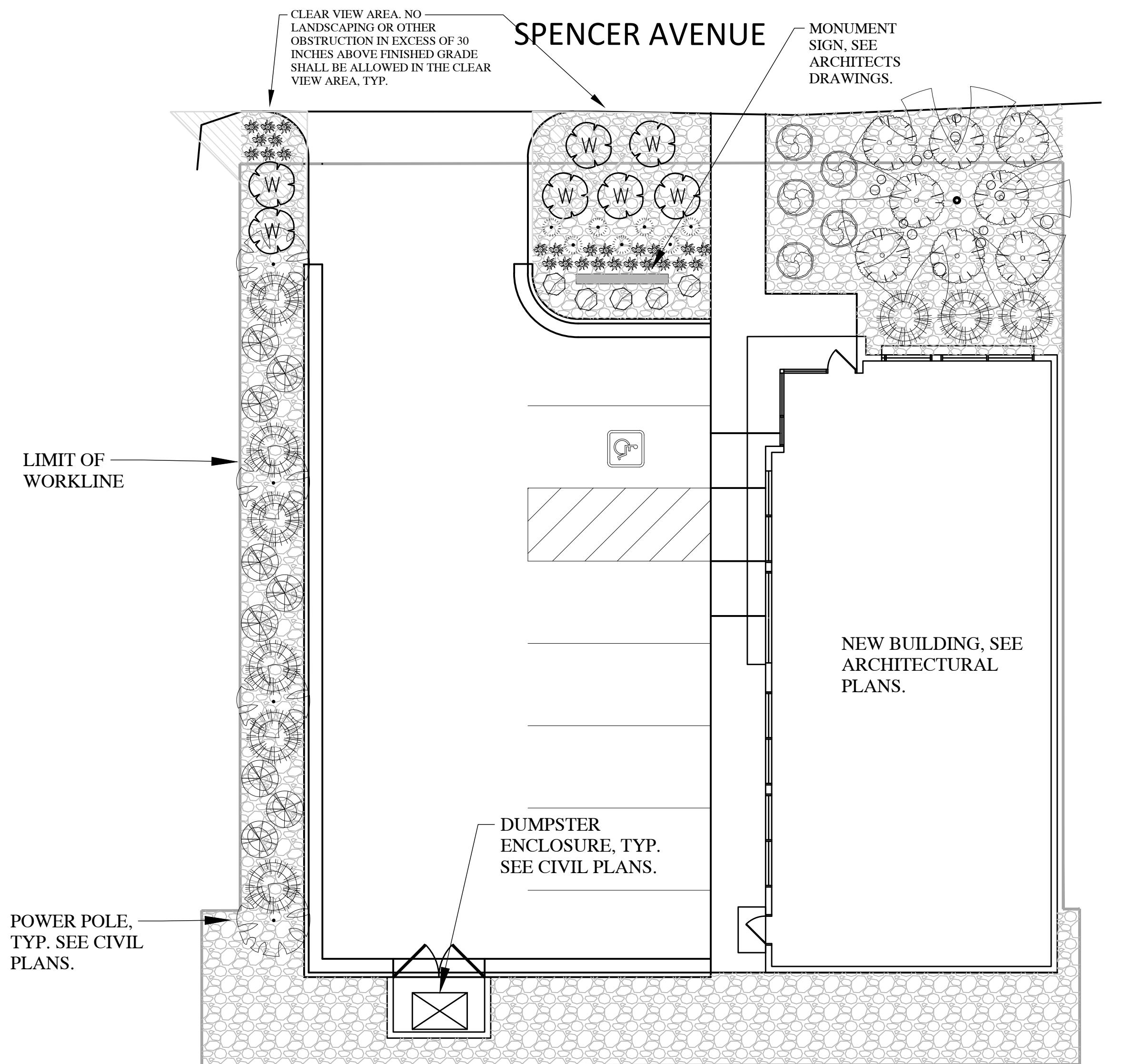
:\\DATA\\222269 120E Spencer Ave\\dwg\\222269 Zheng 120 Spencer Ave Site.dwg
LOT DATE: Feb 05, 2025

PROJECT INFORMATION

SITE AND UTILITY PLAN

SOUTH SALT LAKE CITY, UTAH

RAWN MEC	CHECKED	PROJECT # 22269
		DATE 2/5/25
		SCALE 1" = 10'
		SHEET C201



DECIDUOUS TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CERCIS CANADENSIS EASTERN REDBUD	1	15 GAL.
	CERCIS CANADENSIS 'JN2' THE RISING SUN EASTERN REDBUD	8	15 GAL.

DECIDUOUS SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CORNUS SERICEA 'KELSEYI' KELSEYI DOGWOOD	5	5 GAL.
	EUONYMUS JAPONICUS 'SILVER KING' SILVER KING JAPANESE EUONYMUS	9	5 GAL.
	PRUNUS BESSEYI 'P011S' TM PAWNEE BUTTES SAND CHERRY	8	5 GAL.
	ROSA X 'MEICOUBLAN' WHITE MEIDLAND TM SHRUB ROSE	7	5 GAL.
	FORSYTHIA X 'COURTASOL' TM GOLD TIDE FORSYTHIA	5	5 GAL.

EVERGREEN SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	TAXUS BACCATA REPANDENS DWARF ENGLISH YEW	9	5 GAL.

PERENNIALS / GRASSES LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
*	HEMEROCALLIS X 'ROSY RETURNS' ROSY RETURNS DAYLILY	26	1 GAL.
○	DESCHAMPSIA CESPITOSA 'GOLDTAU' GOLD DEW TUFTED HAIR GRASS	7	2 GAL.

SITE LANDSCAPE MATERIALS

SYMBOL	DESCRIPTION	QTY	PER	PLAN
	3" TO 4" DEPTH OF $\frac{3}{4}$ -1" CRUSHED AND SCREENED ROCK. ROCK TO BE DOUBLE WASHED PRIOR TO PLACING ROCK ON TOP OF WEED BARRIER FABRIC. SEE DETAILS FOR ADDITIONAL INSTALLATION NOTES. ROCK COLOR AND TYPE T.B.D. BY OWNER AND CONTRACTOR DURING SUBMITTAL PROCESS. SUBMIT SAMPLE TO OWNER FOR APPROVAL.			

TOTAL LANDSCAPE AREA = 2805 SF (100%)
TOTAL PLANT COVERAGE = 1,457 SF (~52%) NOT INCLUDING TREE CANOPY

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO LANDSCAPE INSTALLATION TO ENSURE PROPER WATERING OF ALL LANDSCAPE AREAS. REFER TO IRRIGATION PLANS FOR SPECIFICS.
- SANDY LOAM TOPSOIL TO BE INSTALLED AT THE FOLLOWING DEPTHS: 6-12" IMPORTED SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS.
- PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ALLOW FOR TOPSOIL, AMENDMENTS AND MULCH. FINISHED GRADE OF PLANTER AREAS SHALL BE APPROX. 1" BELOW TOP OF CURB, SIDEWALK, OR OTHER PAVED AREA.
- DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL ROCK MULCH AREAS.
- INSTALL PRE-EMERGENT HERBICIDE TO THE TOP OF THE FABRIC AFTER INSTALLING PLANTS AND PRIOR TO INSTALLING MULCH. AFTER INSTALLATION OF THE MULCH THE CONTRACTOR SHALL EVENLY BROADCAST A SECOND APPLICATION OF SLOW-RELEASE PRE-EMERGENT HERBICIDE. APPLY PRE-EMERGENT HERBICIDE PER MANUFACTURERS RECOMMENDATIONS.
- DECORATIVE ROCK MULCH TO BE INSTALLED AT THE FOLLOWING DEPTHS: 3-4" IN ALL PLANTER AREAS. PULL MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
- IF HIGH WINDS ARE FREQUENT ON SITE, ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.
- SEE ARCHITECT AND CIVIL PLANS FOR ALL BUILDING AND SITE INFORMATION.

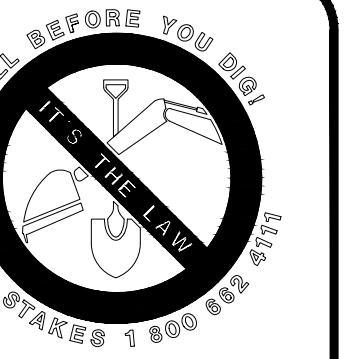


SPENCER AVENUE
JERRY ZHENG
SALT LAKE CITY - UTAH - 84115
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT: PLANTING PLAN
SHEET TITLE: PLANTING PLAN
DRAWN BY: GD
CHECKED: CW
DATE: 03-21-2023
REVISIONS: 3-11-25
JOB NO.: 23-103
SHEET: LS1.1

CALL BEFORE YOU DIG!
IT IS THE LAW!
800-842-8779

17 North 470 West, American Fork, Utah 84003
www.insitedsgroup.com
architects@insitedsgroup.com



SPENCER AVE.

JERRY ZHENG

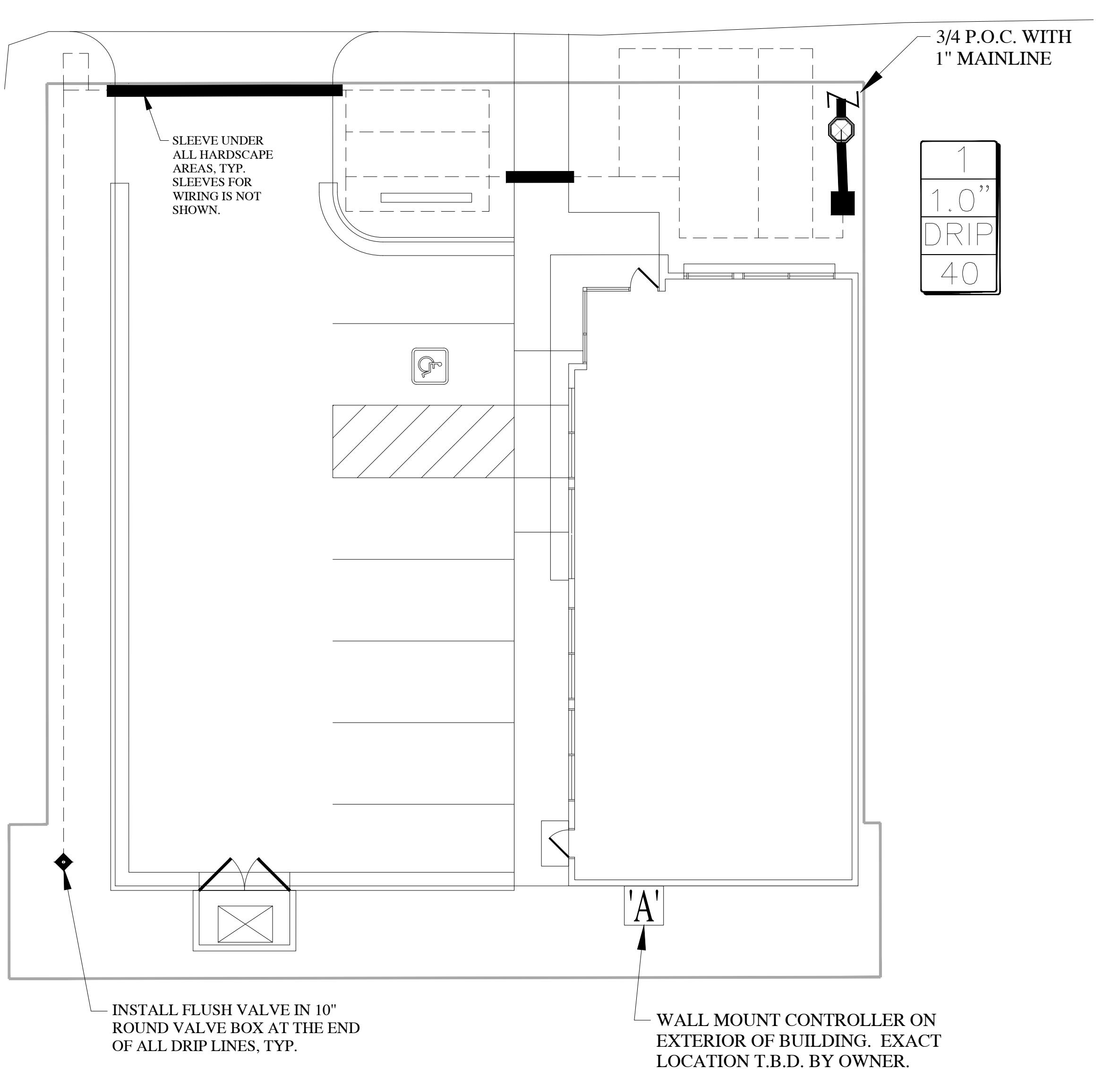
SALT LAKE CITY - UTAH - 84115

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT:	IRRIGATION PLAN	
SHEET TITLE:	IRRIGATION PLAN	
DRAWN BY:	GD	
CHECKED:	CW	
DATE:	03-21-2023	
REVISIONS:		
JOB NO.	23-103	
SHEET:	LS2.1	

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN SITE DESIGN GROUP. COPYRIGHT © 2006

SPENCER AVENUE



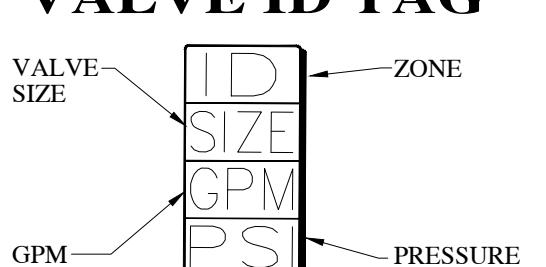
IRRIGATION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
2. CONTRACTOR SHALL NOT DAMAGE UTILITIES. CONTRACTOR SHALL BE HELD LIABLE FOR DAMAGE TO UTILITIES. CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES CAUSED BY CONTRACTOR. CONTRACTOR SHALL PAY FOR REPAIRS TO UTILITIES CAUSED BY CONTRACTOR.
3. PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
4. CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
5. LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN SCH. 40 GREY ELECTRICAL CONDUIT. IN JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
6. ALL SLEEVES INSTALLED SHALL BE DUCT TAPE TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
7. MAIN LINE SHALL BE 1" (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 3/4". UNLESS NOTED ON PLAN, PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1/2" MAX. 4 GPM, 3/4" PIPE MAX. 8 GPM, 1" PIPE MAX. 13 GPM. ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
8. MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
9. PLACE PIPE, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE UNPAINTED AND GROUTED. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN.
10. AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
11. ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
12. LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
13. VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
14. FOR DRIP AREAS REQUIRING 4 GPM USE 3/4" TUBING AND FOR DRIP AREAS REQUIRING 8-13 GPM USE 1" TUBING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
15. CONTRACTOR TO INSTALL NETAFIM TLCV26-1801 ON SURFACE DRIP LINE FOR TREES PER DETAILS. MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE TO ALL LANDSCAPED AREAS.
16. POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPECS.
17. IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE RPZ PER MANUFACTURER SPECS. INSTALL THE RPZ AND PRESSURE REDUCER IN A LOCKING METAL CABINET. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	Q	T	H	TT	TQ	F	GPM	DRIP GPH	DETAILS SEE SHEETS LS4.1-LS4.2	REMARKS
NOT SHOWN	NETAFIM Techline® TLCV DRIPLINE	FULL	--	40	--	--	--	--	--	--	.26	8-9	INSTALL DIFFUSER CAP	
NOT SHOWN	RAINBIRD PC-05 Emitter w/ DIFFUSER CAP	FULL	--	40	--	--	--	--	--	--	5.0	8-9	INSTALL DIFFUSER CAP	
NOT SHOWN	GPSTCV2M	DRIP	--	40	--	--	--	--	--	--	2.0	8-9	REFERENCE DETAILS	
'A'	RAINBIRD ESP-TM2-4 CONTROLLER - WALL MOUNT. GROUND CONTROLLER PER MANUFACTURERS SPECS. INSTALL WIRELESS RAIN SENSOR PER MANUFACTURERS SPECS IF DIRECTED BY OWNER.										1		COORDINATE LOCATION WITH OWNER	
Q	3/4" CULINARY POINT OF CONNECTION WITH RPZ. SEE DETAILS FOR MORE INFORMATION.										2-3		REFERENCE DETAIL 1	
Q	3/4" RAINBIRD QUICK COUPLER, MODEL #3LRC.										3		IN 10" RND. VALVE BOX	
■	DRIP CONTROL ZONE KIT: XCZ-100-PRB-COM										8		JUMBO VALVE BOX	
■	MAINLINE: 1" SCH 40 PVC W/ SCH 80 FITTINGS.										4-5		REFERENCE DETAILS	
■	LATERAL LINE FOR DRIP: SCHEDULE 40 PVC PVC DRIP HEADER/FOOTER: PVC SCH. 40 (SEE DETAILS FOR NETAFIM LAYOUT)										4-5		REFERENCE DETAILS	
■	SCH. 40 OR CLASS 200 SLEEVE (TBD BY OWNER). SIZE TO MIN. 2X DIA. OF PIPE WITHIN SLEEVE OR AS NOTED ON PLANS.										11-13		REFERENCE DETAILS	
◆	FLUSH VALVE: 1/2" PVC BALL VALVE. INSTALL AT END OF ALL DRIP LINES IN 10" ROUND VALVE BOX										7		ADD SLEEVES AS REQUIRED	
NOT SHOWN	14 GAUGE SINGLE STRAND COPPER WIRE										10-14.6		REFERENCE DETAILS	

VALVE ID TAG

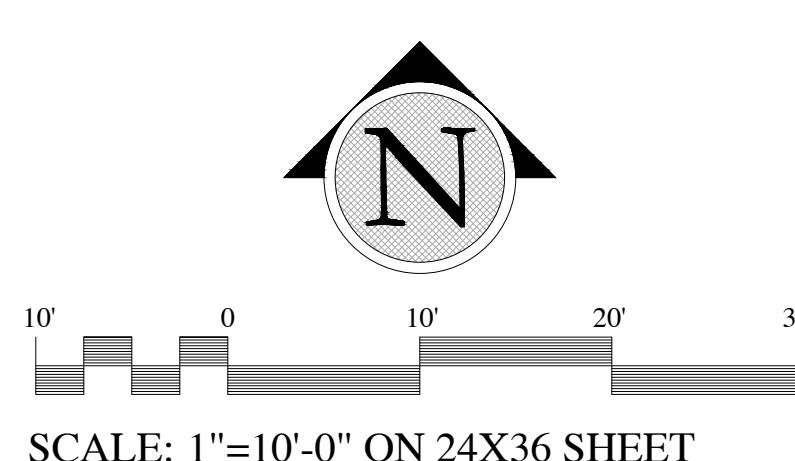


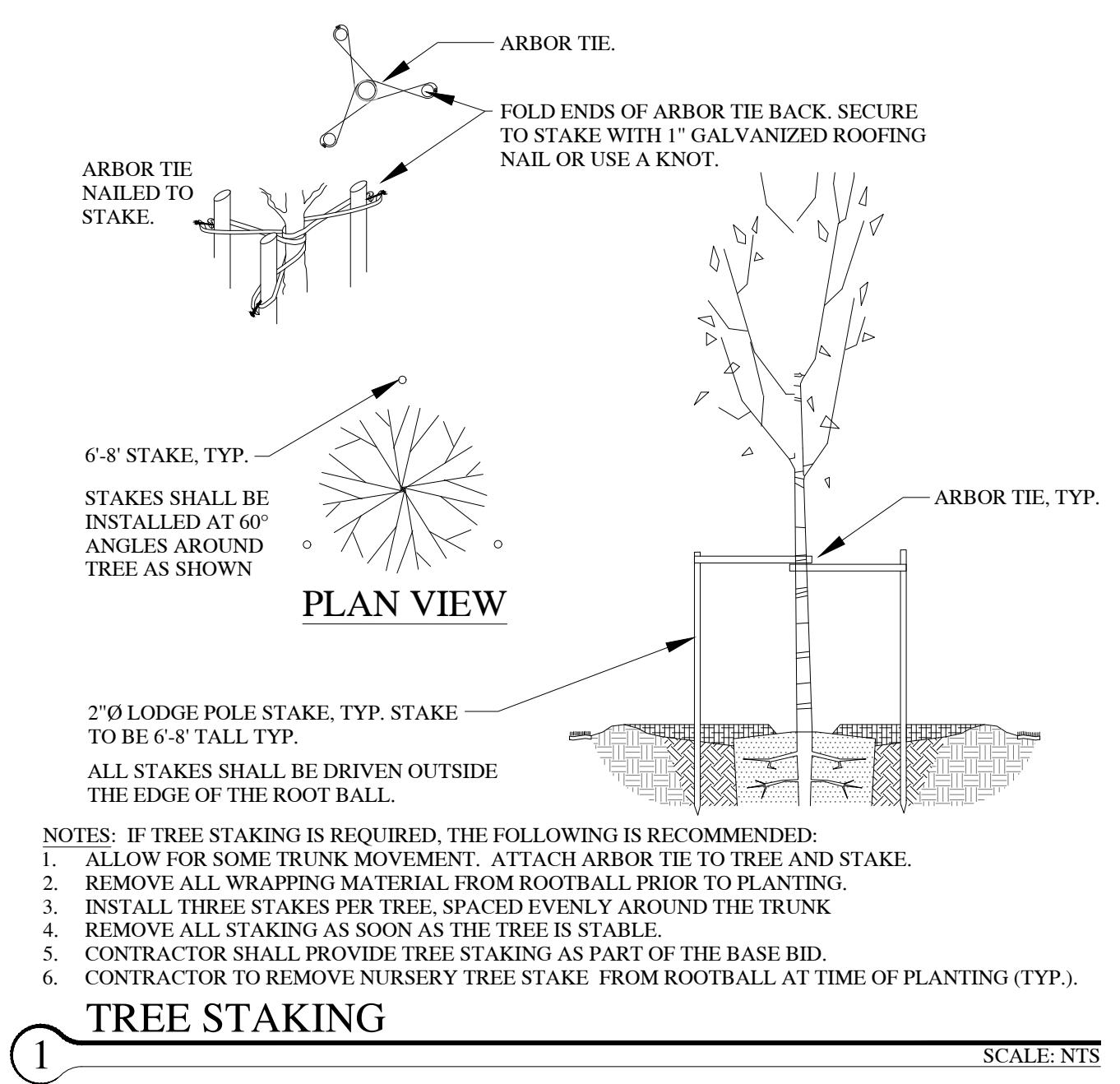
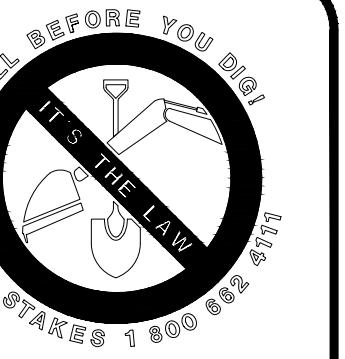
Drip Emitter Legend

PLANT TYPE	EMITTER QTY	EMITTER TYPE
PERENNIALS/GRASSES	1	GPSTCV2M (2GPH)
ALL SHRUBS	2	GPSTCV2M (2GPH)
TREES IN PLANTERS	2	PC-05 (5GPH)

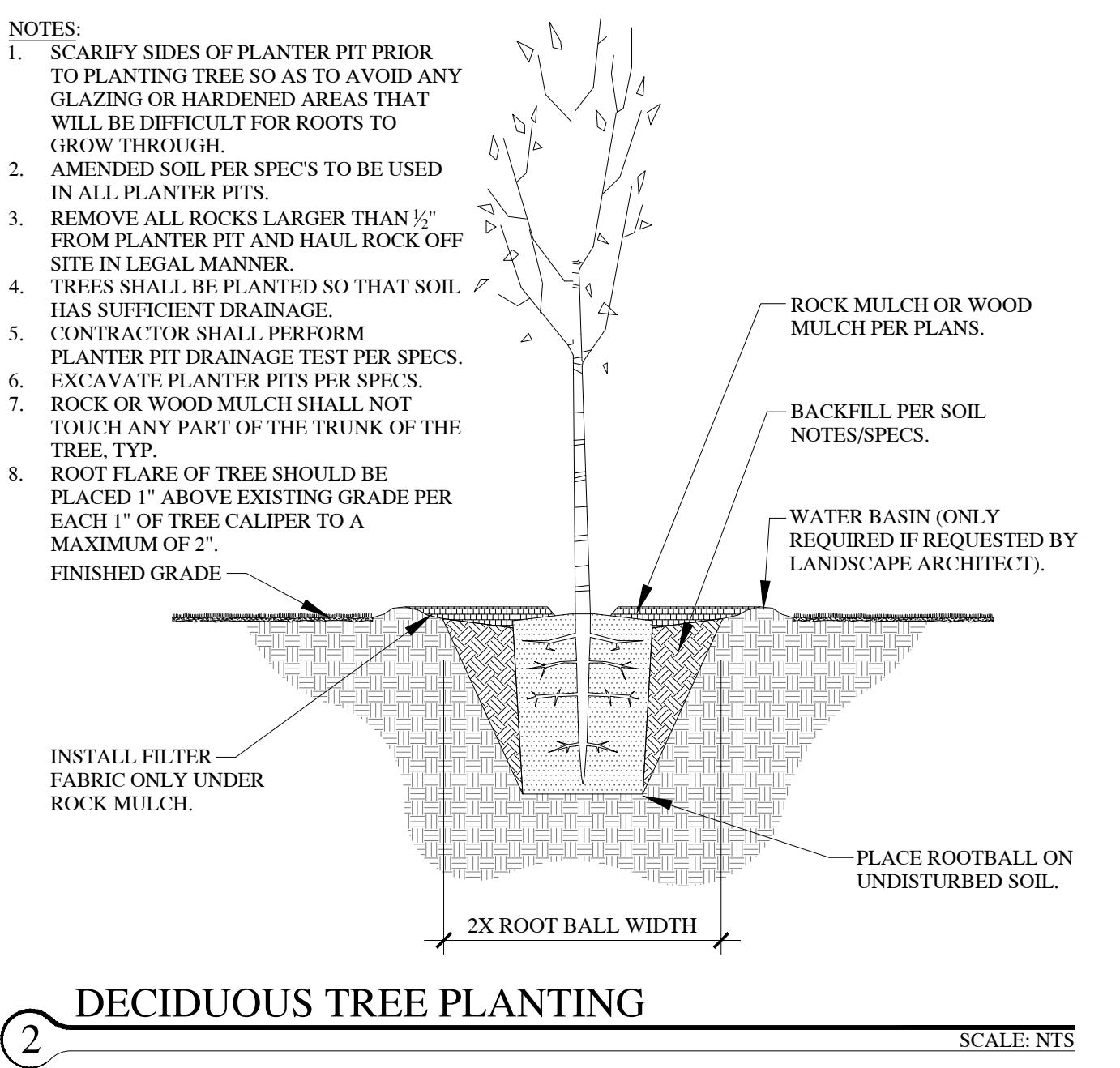
NOTE:

1. EMITTERS LISTED ARE AVAILABLE FROM GPH AND RAINBIRD.
2. INSTALL NETAFIM TLCV IN ADDITION TO PC-05 EMITTERS PER DETAILS ON SHEET LS4.1 AND LS4.2.
3. INSTALL PC-DIFFUSER CAP ON ALL PC-05 EMITTERS.

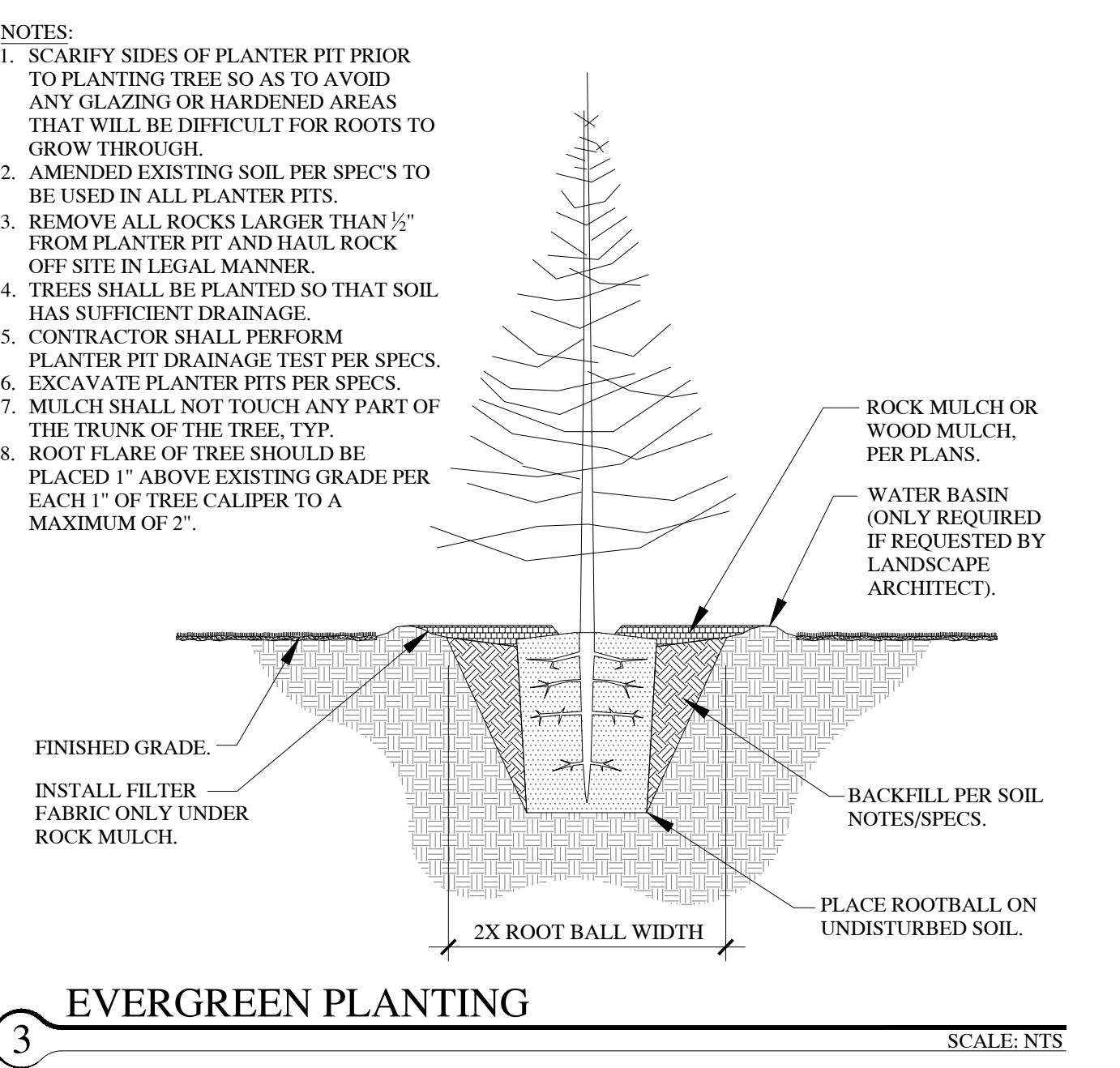




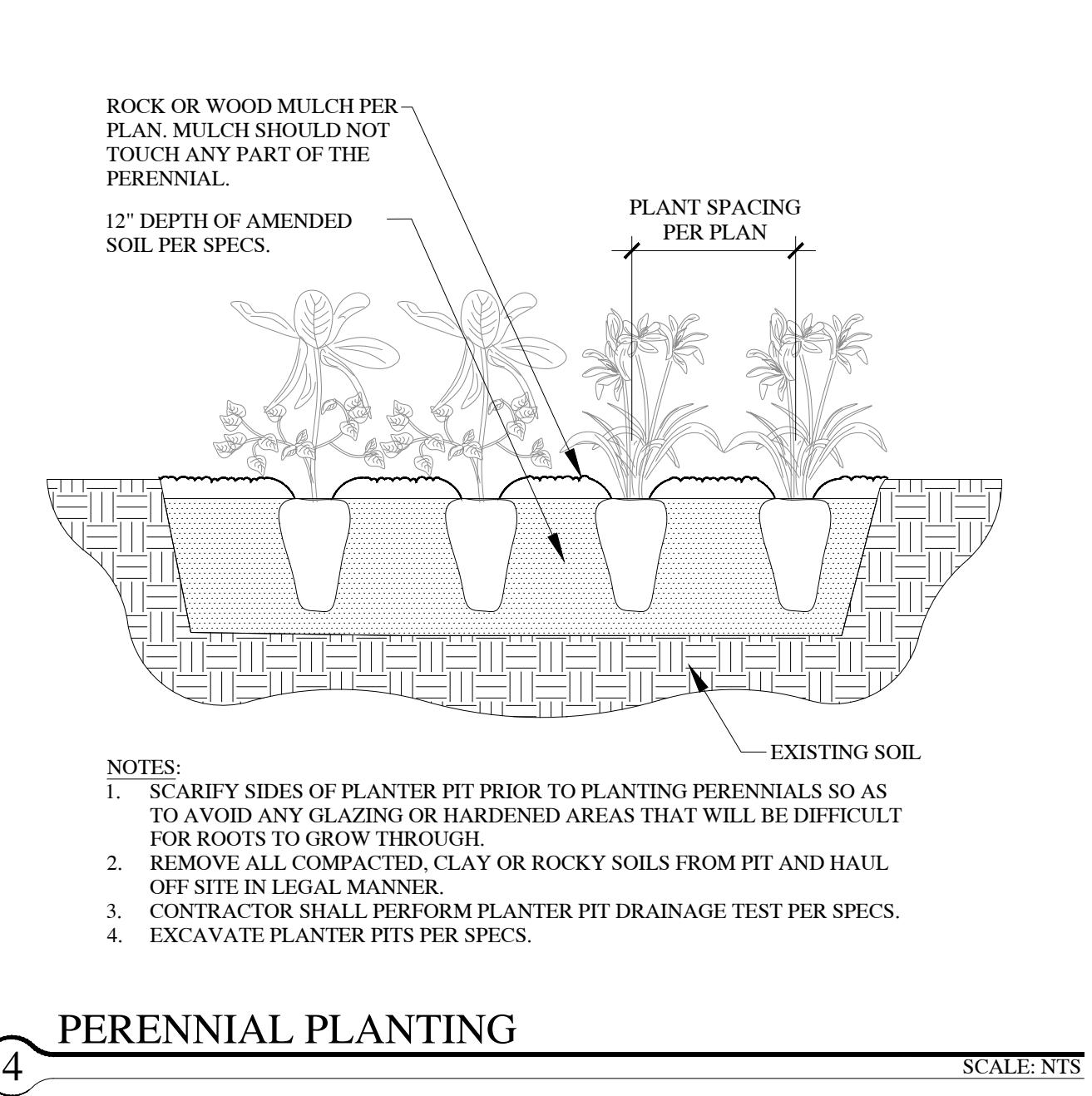
1
TREE STAKING
SCALE: NTS



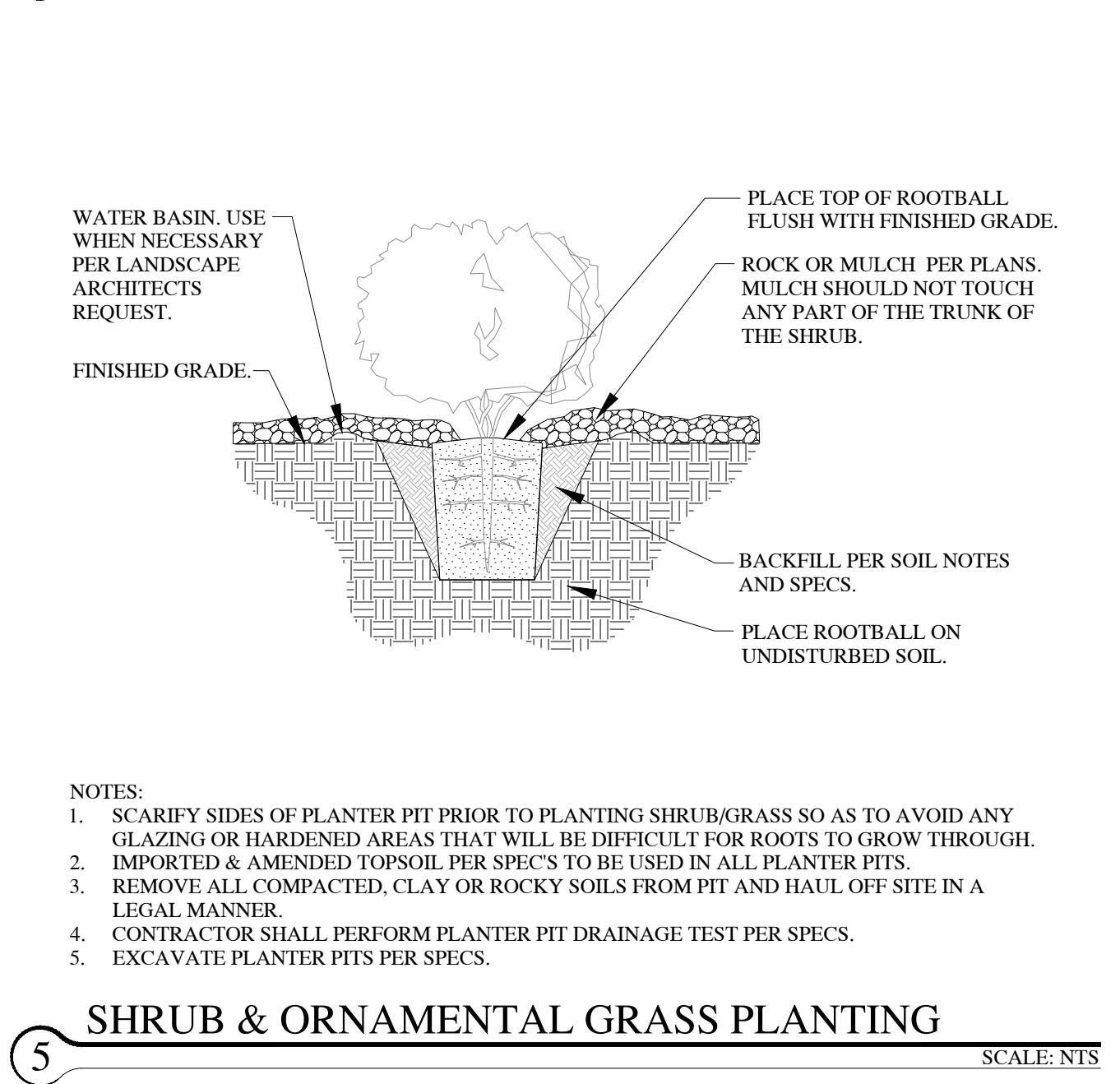
2
DECIDUOUS TREE PLANTING
SCALE: NTS



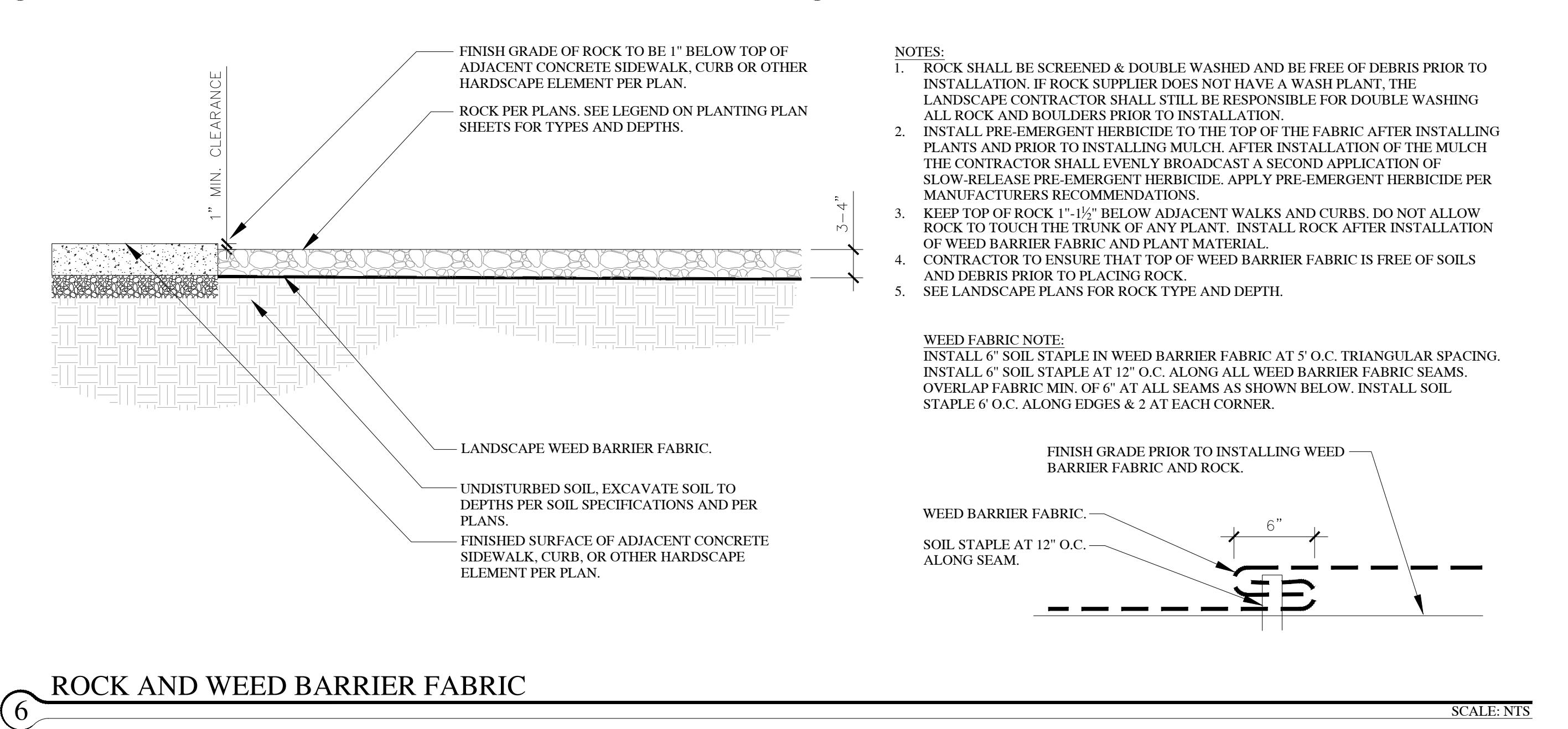
3
EVERGREEN PLANTING
SCALE: NTS



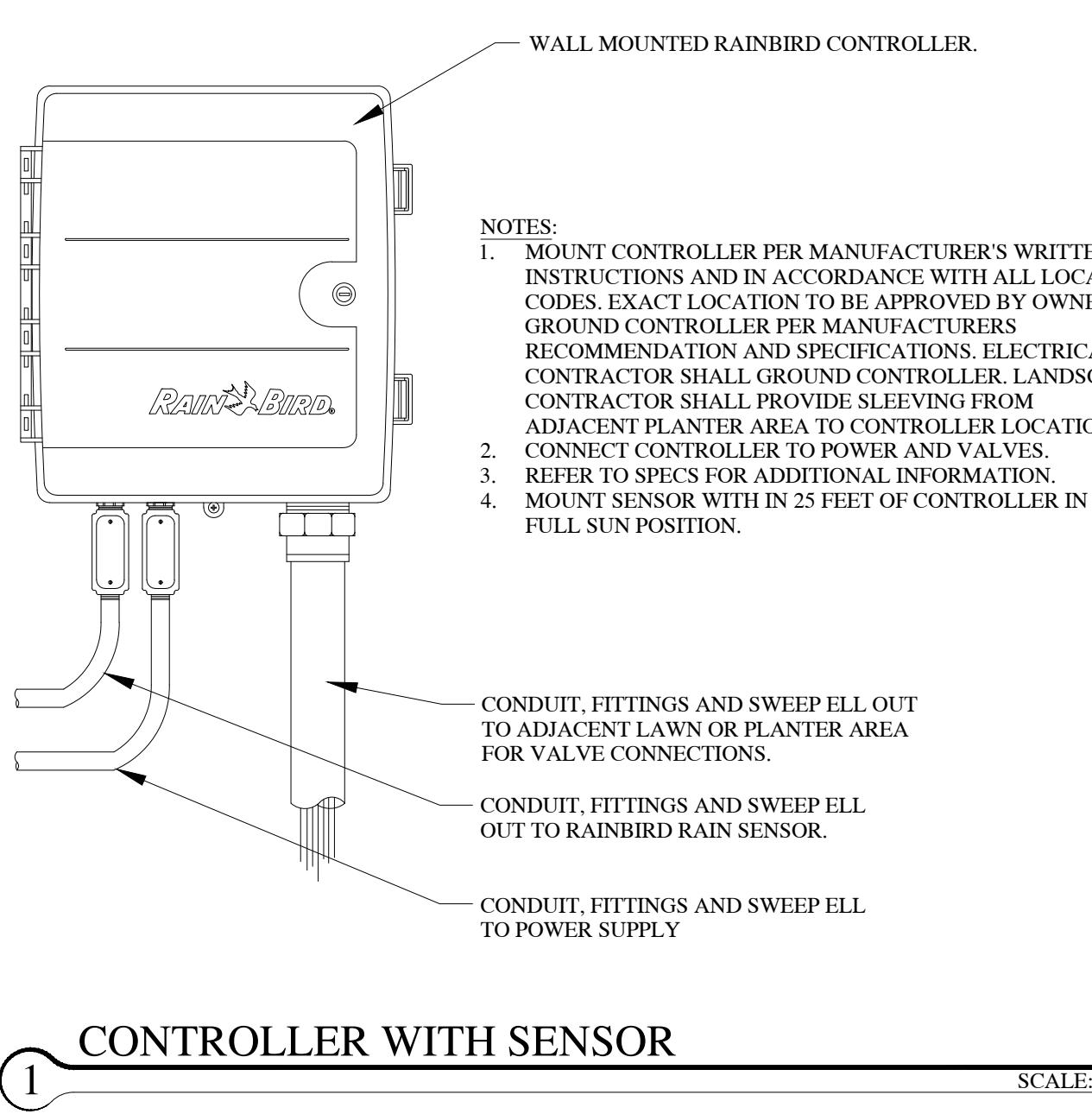
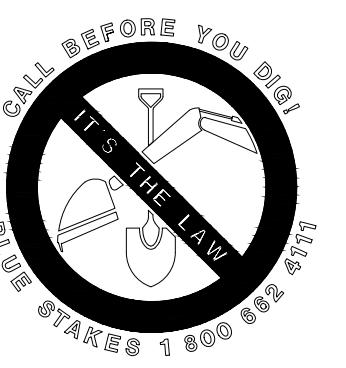
4
PERENNIAL PLANTING
SCALE: NTS



5
SHRUB & ORNAMENTAL GRASS PLANTING
SCALE: NTS

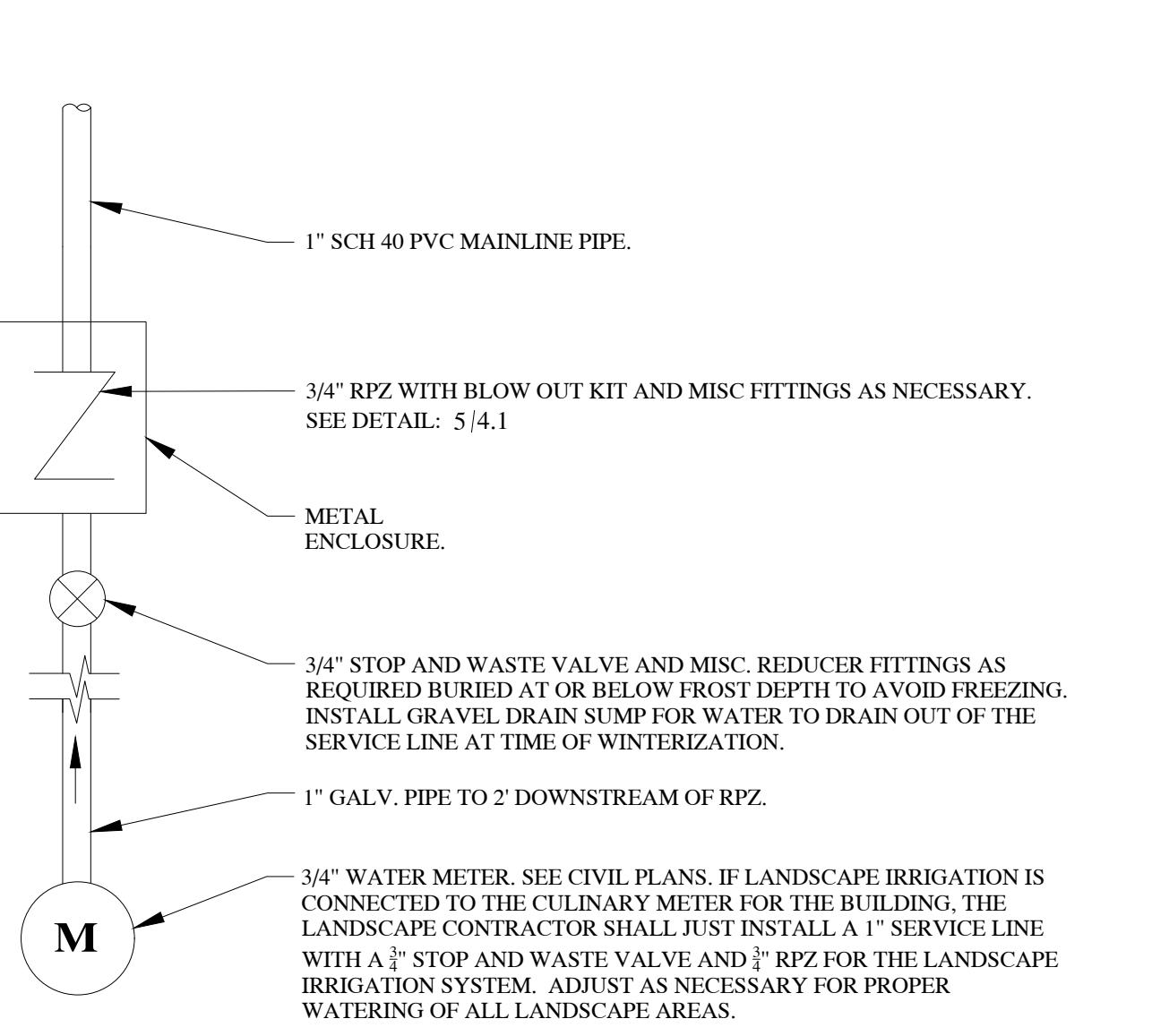


6
ROCK AND WEED BARRIER FABRIC
SCALE: NTS



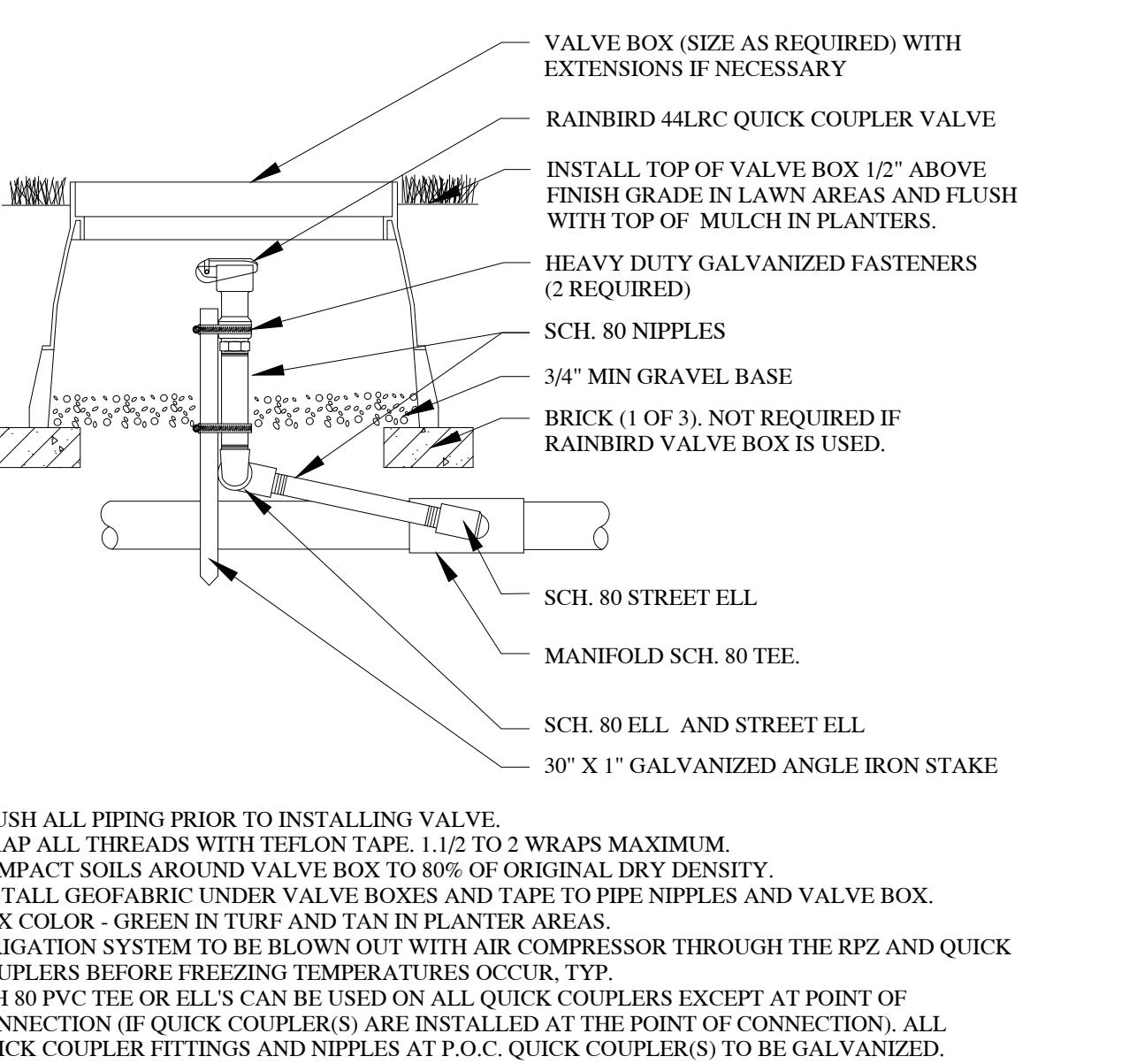
1 CONTROLLER WITH SENSOR

SCALE: NTS



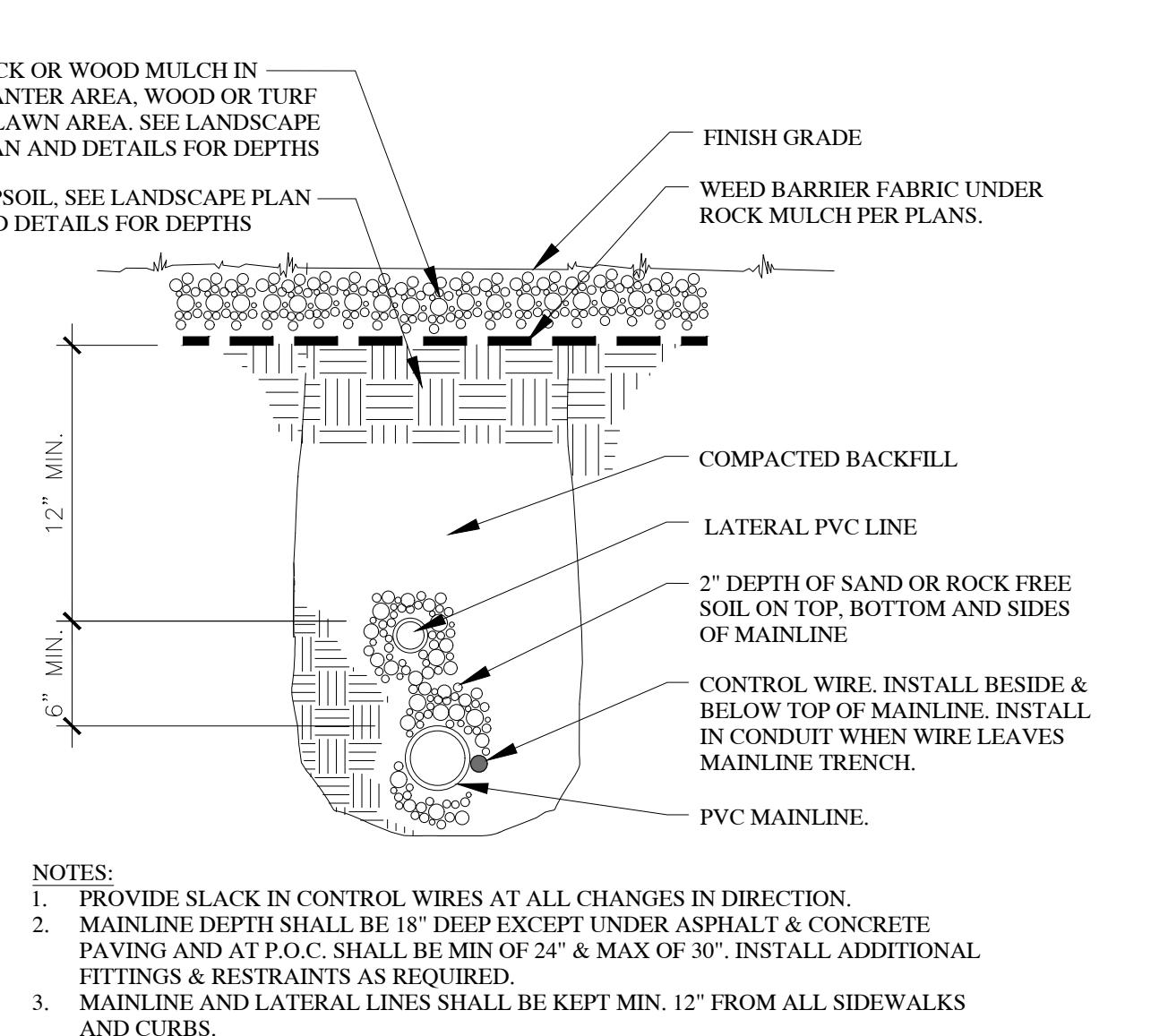
2 1" POINT OF CONNECTION

SCALE: NTS



3 QUICK COUPLER VALVE

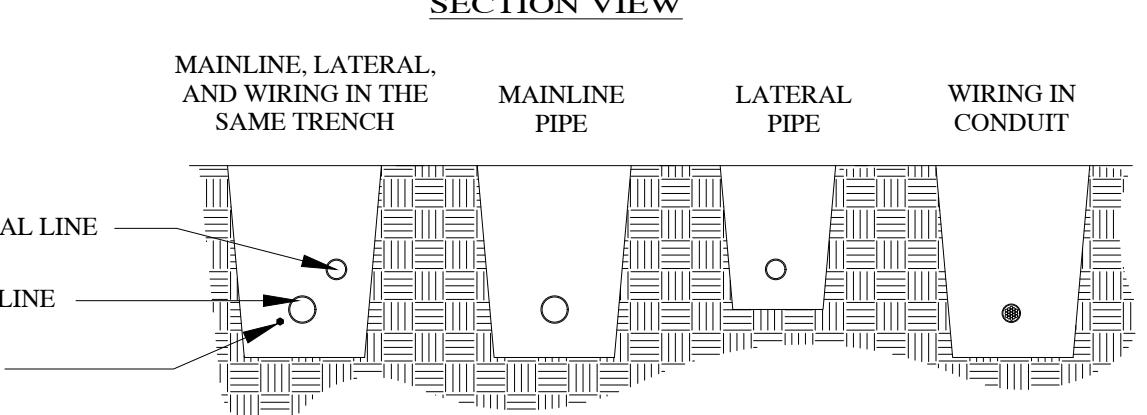
SCALE: NTS



4 TRENCH SECTION

SCALE: NTS

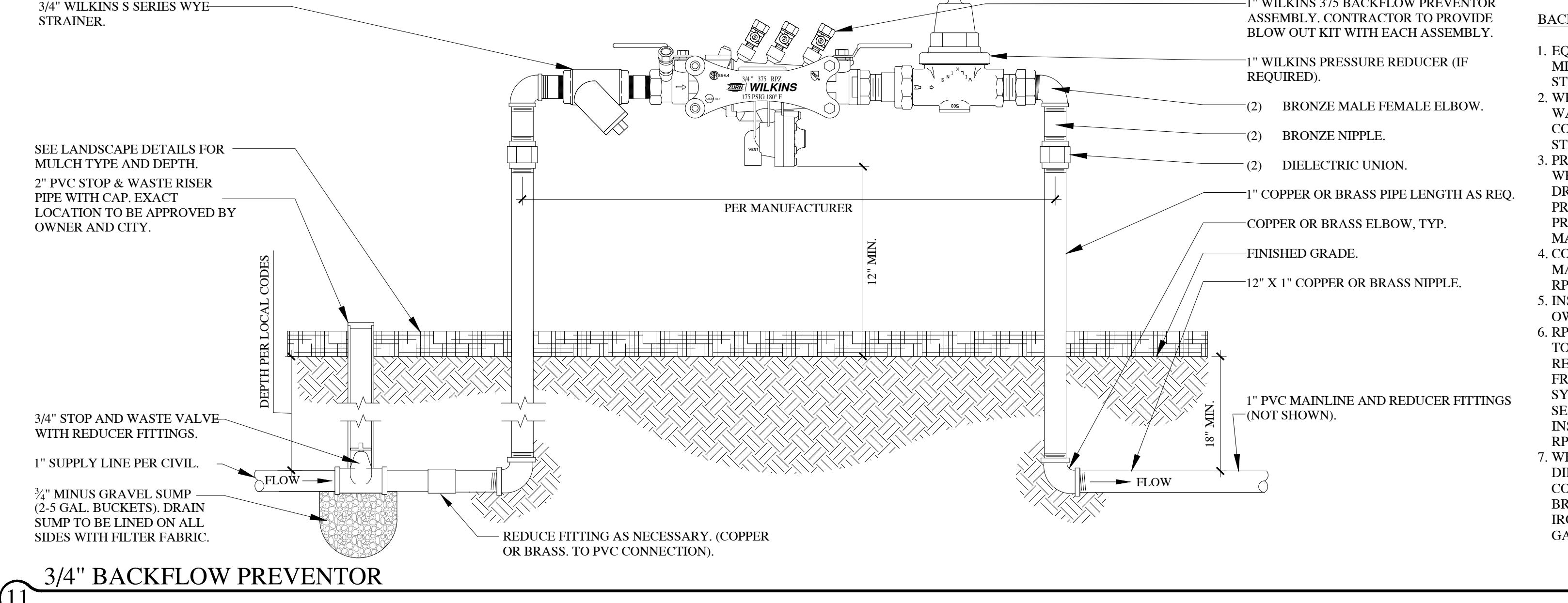
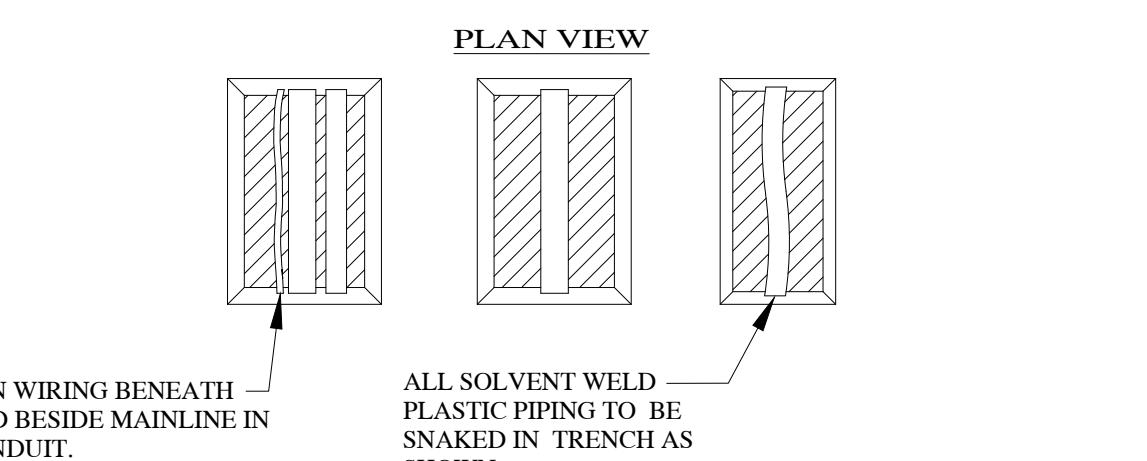
SECTION VIEW



BACKFLOW PREVENTOR NOTES:

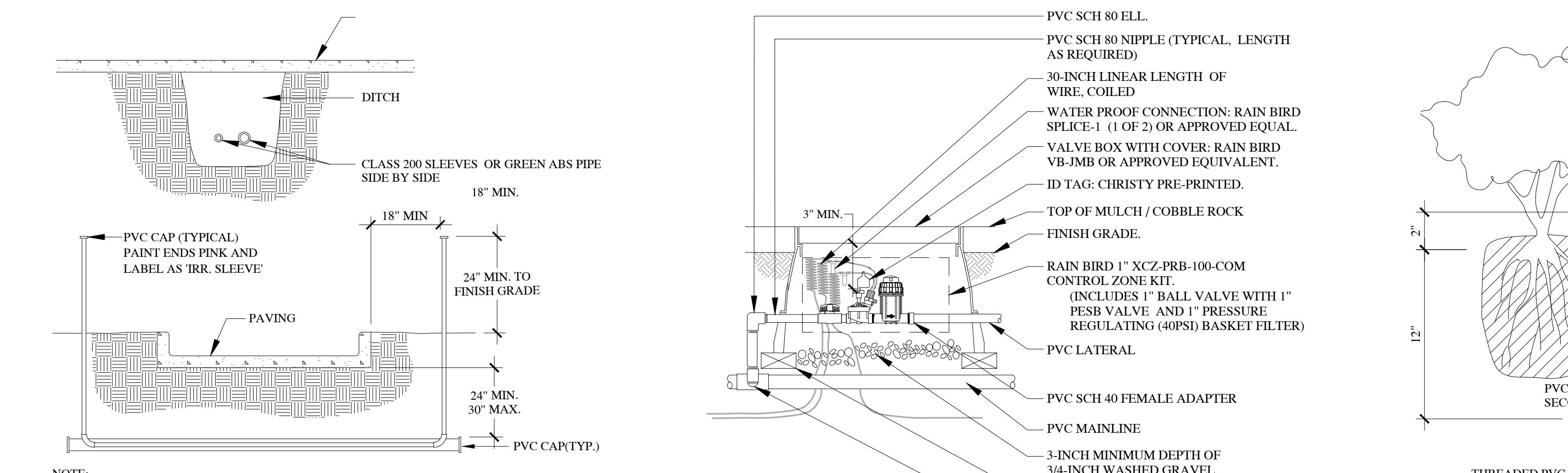
- EQUIPMENT TO BE INSTALLED AT A MINIMUM OF 24' FROM ANY STRUCTURES OR HARDCAPING.
- WHEN UNIT IS NEXT TO STRUCTURE (i.e. WALL, BUILDING, ETC.) MOUNT TEST COCKS ON SIDE AWAY FROM STRUCTURE.
- PROVIDE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON HOW TO DRAIN ENTIRE BACKFLOW UNIT TO PREVENT FREEZING. CONTRACTOR TO PROVIDE BLOW OUT KIT FROM MANUFACTURER.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR PROPER RPZ INSTALLATION.
- INSTALL METAL ENCLOSURE OVER RPZ. OWNER TO SPECIFY EXACT TYPE.
- RPZ TO BE WINTERIZED AS NECESSARY TO PREVENT FREEZING. INSULATION IS REQUIRED TO PREVENT RPZ FROM FREEZING TEMPERATURES BEFORE SYSTEM IS BLOWN OUT FOR THE SEASON. CONTRACTOR SHALL INSTALL INSULATION BLANKET FOR RPZ.
- WHERE CORROSION IS POSSIBLE, USE A DIELECTRIC UNION WHEREVER A COPPER-BASED METAL (COPPER, BRASS, BRONZE) IS JOINED TO AN IRON-BASED METAL (IRON, GALVANIZED STEEL, STAINLESS STEEL).

PLAN VIEW



5 3/4" BACKFLOW PREVENTOR

SCALE: NTS

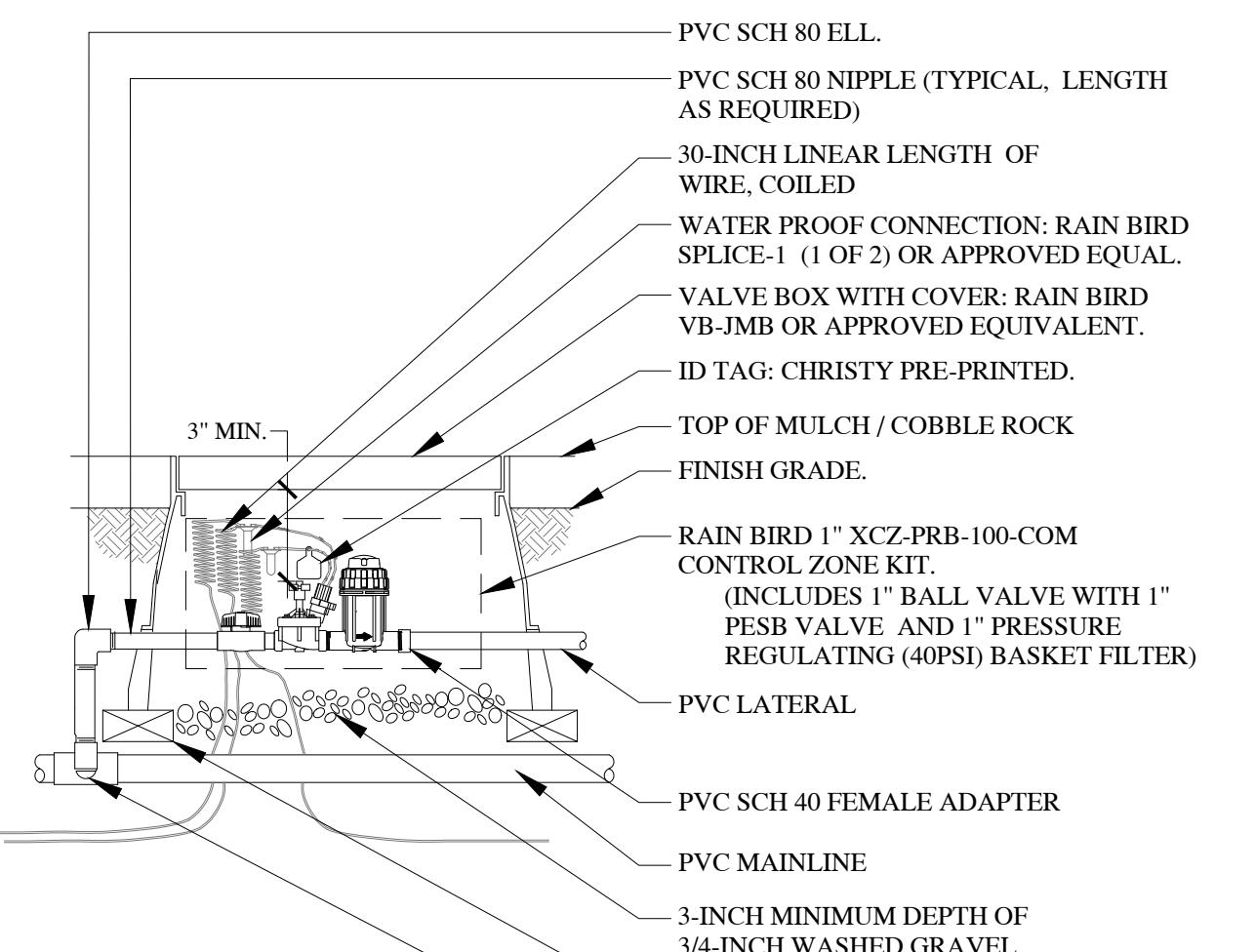


NOTE:

- WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPE TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.

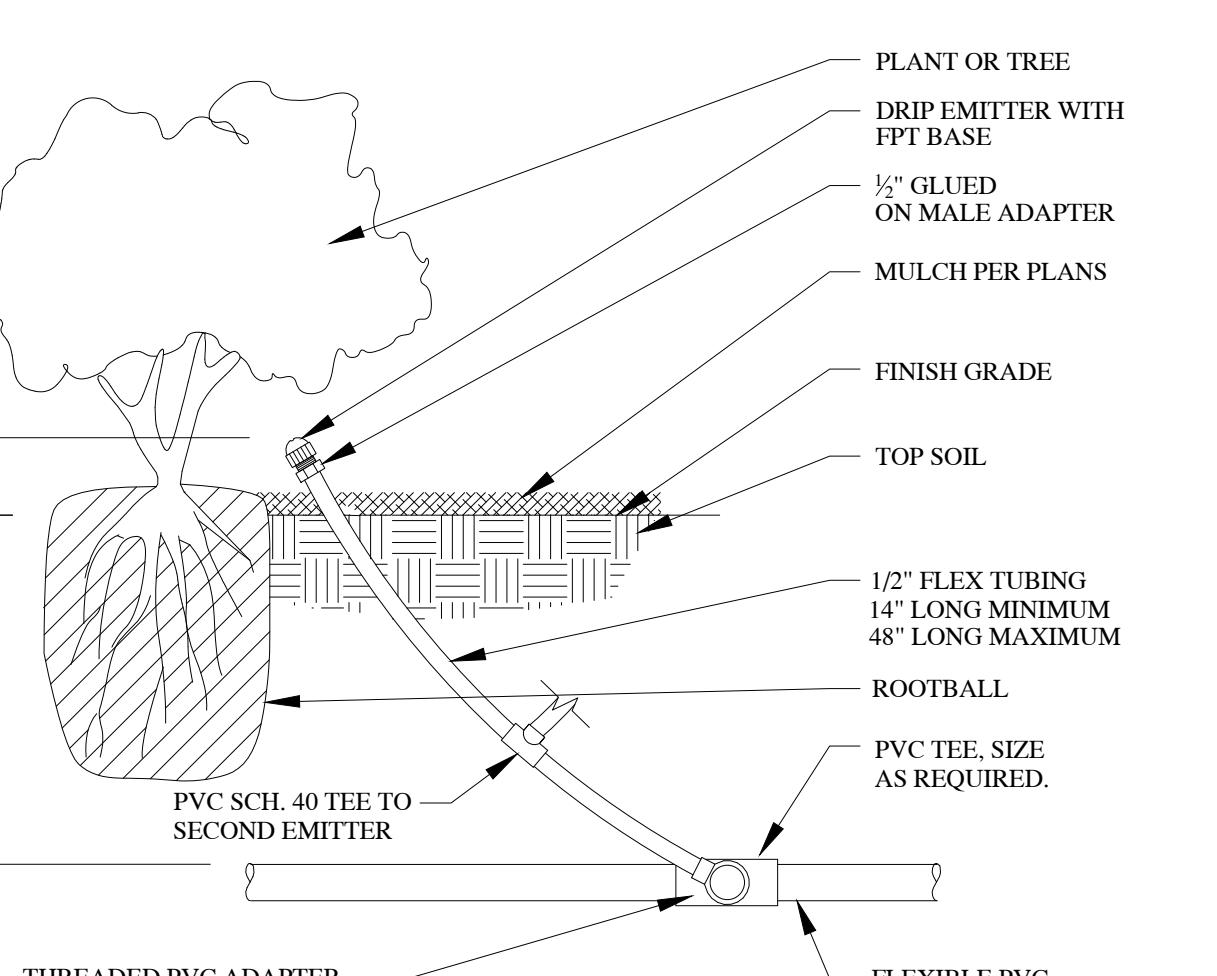
6 SLEEVING

SCALE: NTS



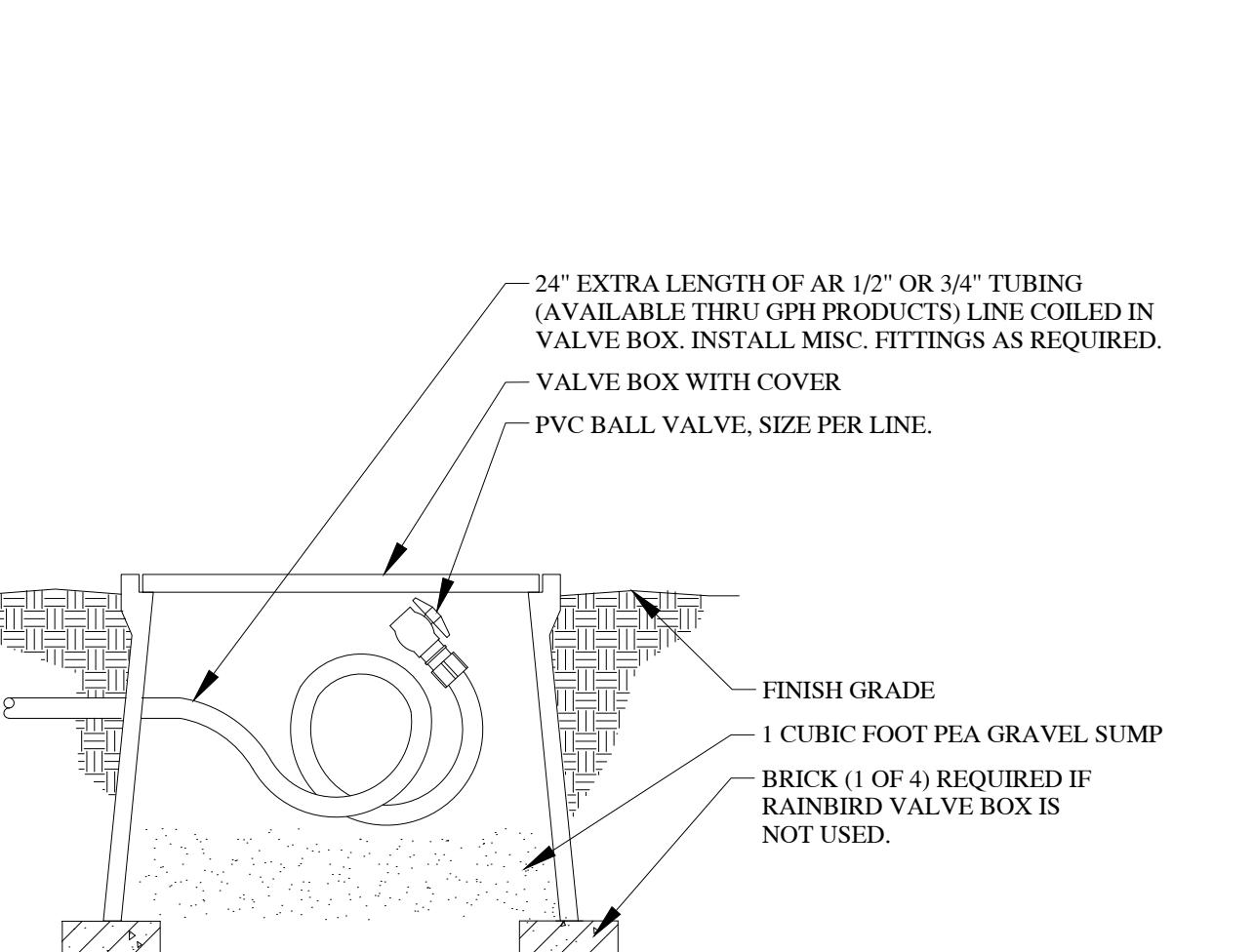
7 1" DRIP CONTROL ZONE KIT

SCALE: NTS



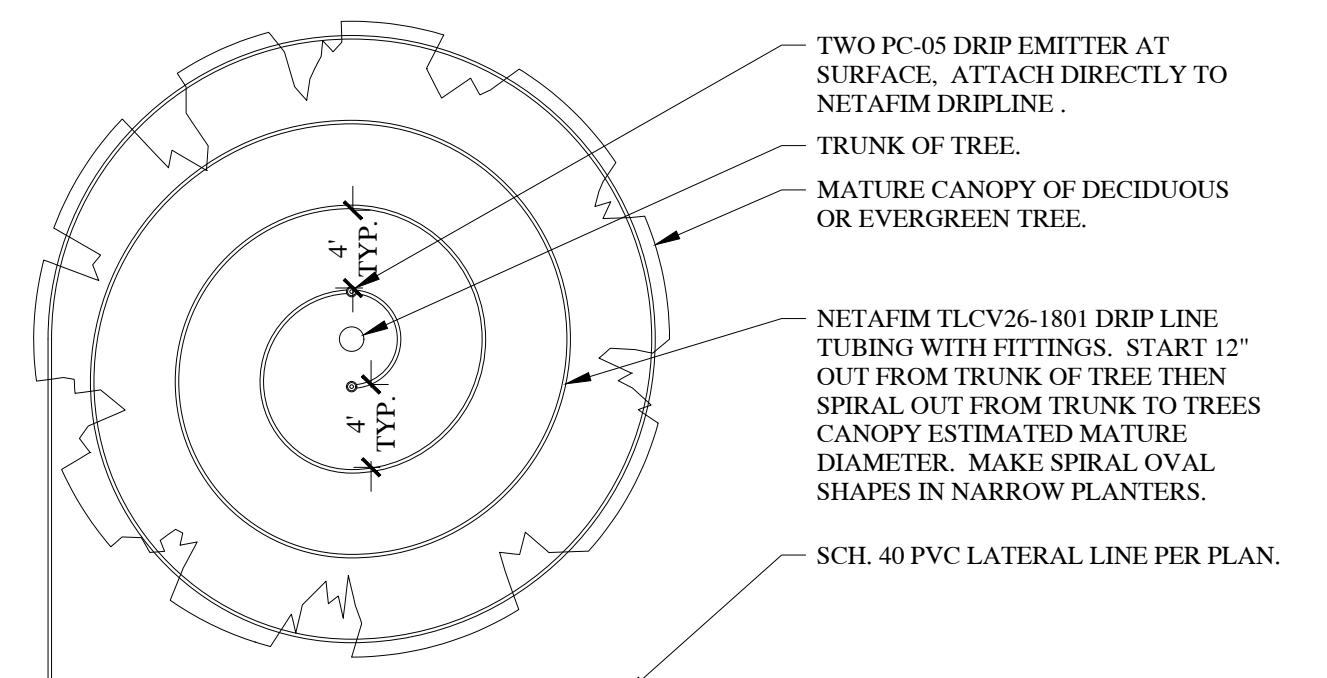
8 Drip Emitter

SCALE: NTS



9 Drip Line Flush Cap

SCALE: NTS

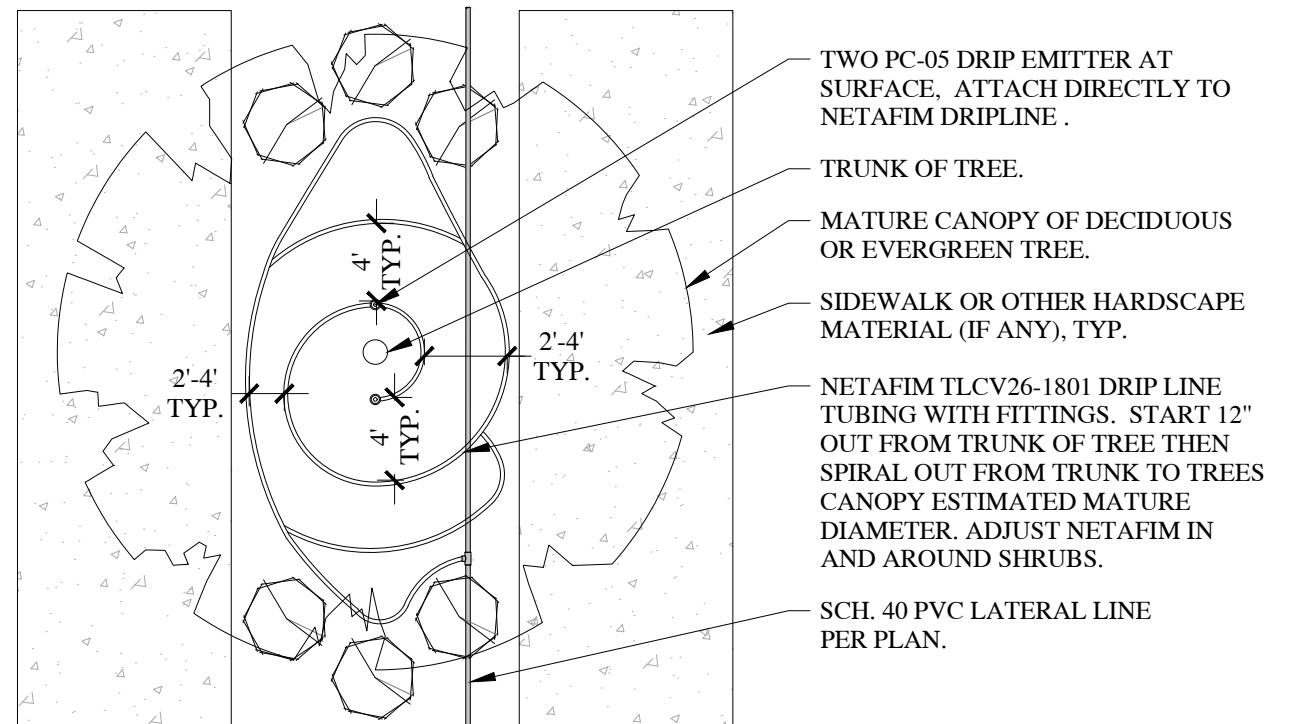


NOTES:

1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

TREE DRIP WITHOUT PLANTS UNDER FULL CANOPY

11 1" = 1'-0"

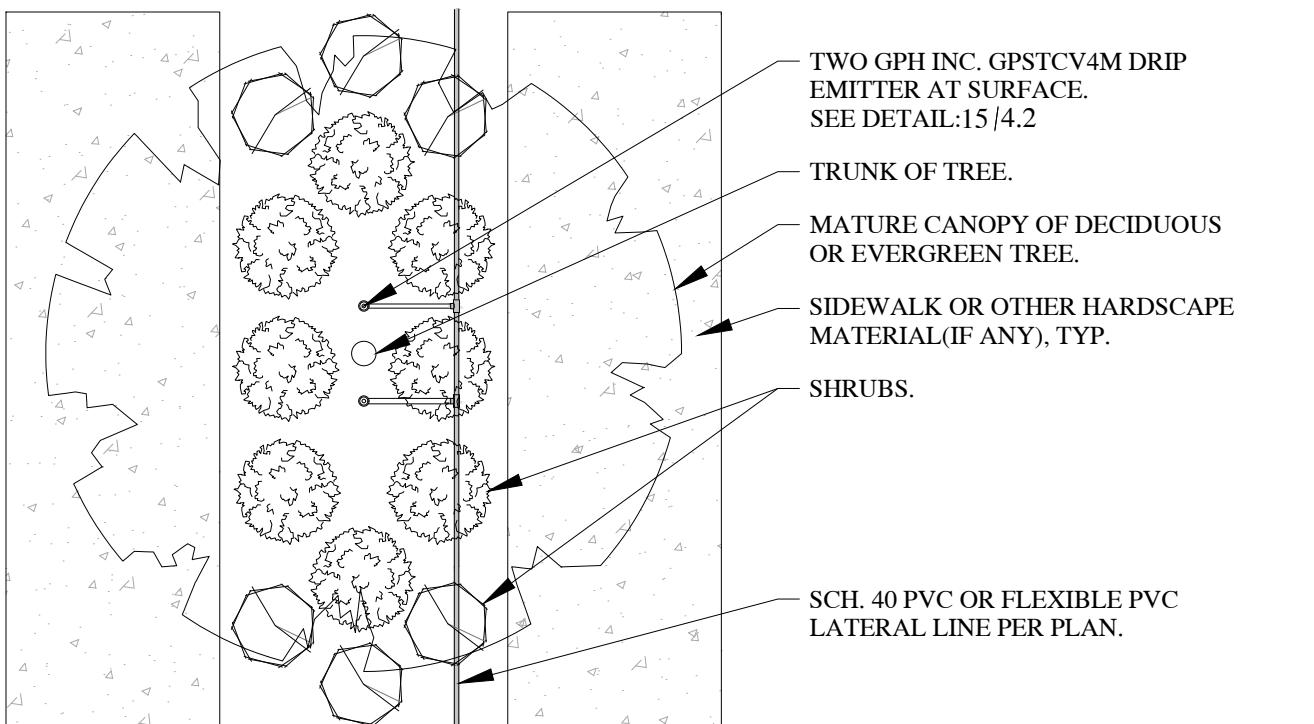


NOTES:

1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

TREE DRIP WITH PARTIAL PLANTING UNDER CANOPY

12 1" = 1'-0"

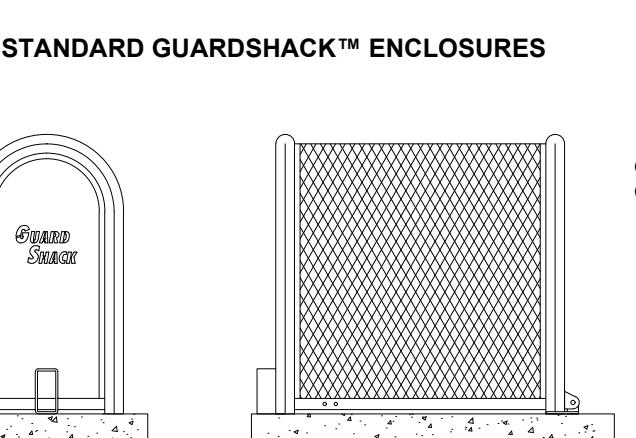


NOTES:

1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

TREE DRIP WITH FULL PLANTING UNDER CANOPY

13 1" = 1'-0"



STANDARD GUARDSHACK™ ENCLOSURES

STANDARD GUARDSHACK™ AND COAST GUARDSHACK™ SIZES INTERNAL DIMENSIONS

GS - 3	10" W x 24" H x 40" L	HINGED
GS - 4	16" W x 30" H x 46" L	HINGED

For 304 S.S., order as CGS using same model #

POWDERCOATED UNITS

Per-powdercoat Treatment Process
Clean GuardShack™ unit with a S-44 alkaline cleaner, overflow rinse, apply an AC-815 iron phosphate treatment, overflow rinse and finish with a #198 sealer rinse to prevent rusting and improve adhesion.

Powdercoat Treatment Process

Units shall be preheated and coated by electrostatic application of 2.0 to 3.5 mil thickness on all surfaces. Powdercoat R-19 standard finish meets TCI 8310-0358. Finish must be approved equal Impact Resistance Finish 160 inch pounds and 160 inch pounds reverse, per ASTM D-2794 specs. Gloss Finish >85, per ASTM D-523. Adhesion to be rated excellent when tested to ASTM D-3359 standards.

STAINLESS STEEL ELECTRO-POLISH FINISH

All 304 Stainless Steel units shall be chemically electro-polished to impart a lustrous finish to the unit.

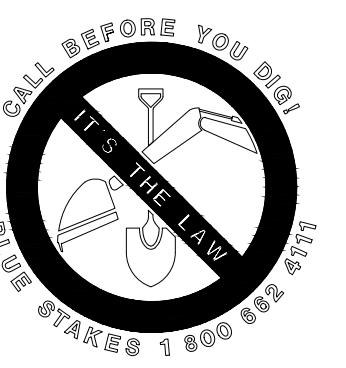
SPENCER AVE.
JERRY ZHENG
W

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

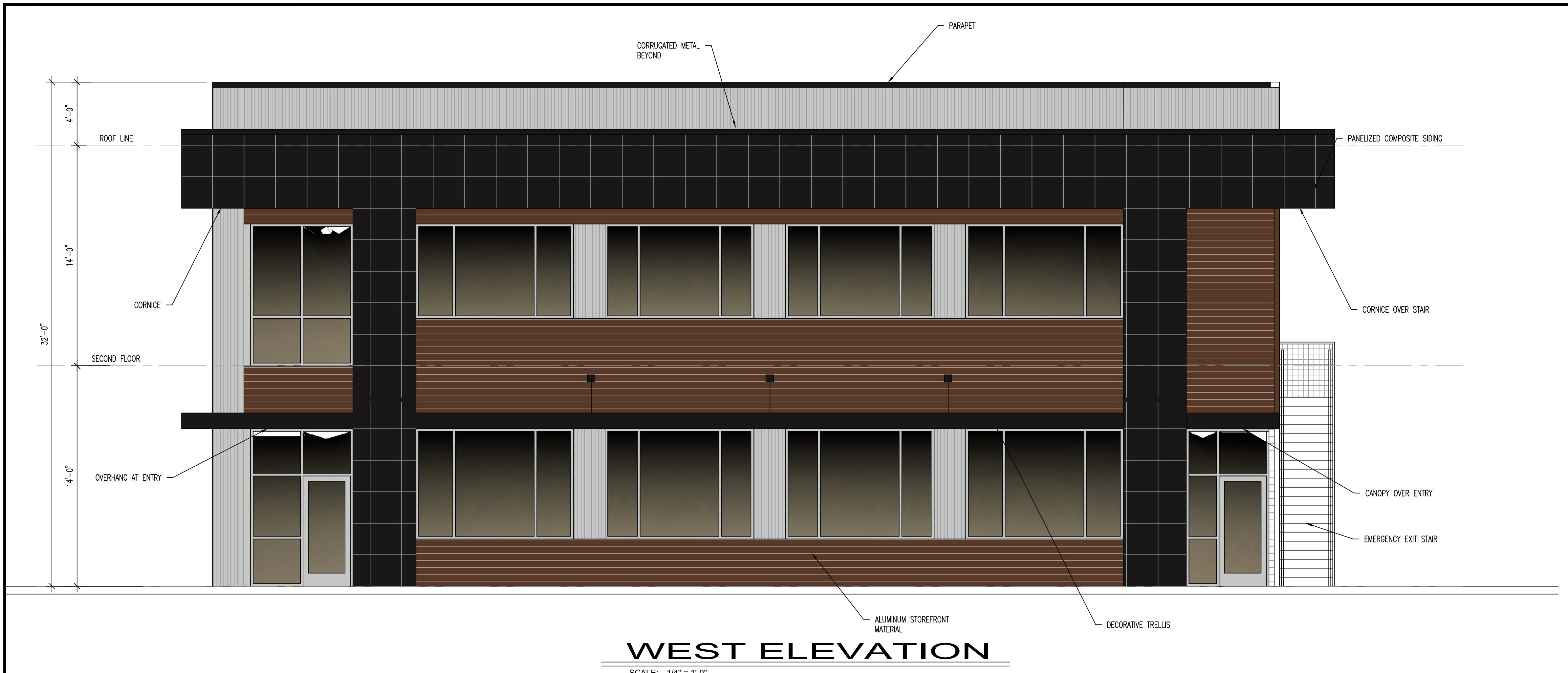
PROJECT: SPENCER AVE.
SHEET TITLE: IRRIGATION DETAILS

DRAWN BY: GD
CHECKED: CW
DATE: 03-21-2023
REVISIONS: _____
JOB NO.: 23-103
SHEET: LS4.2

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



InSite
DESIGN GROUP
Landscape Architecture Land Planning
807-726-5903 www.insitedsgroup.com
architect@insitedsgroup.com



WEST ELEVATION

SCALE: 1/4" = 1'-0"

ALUMINUM STOREFRONT AREAS

FACE	TOTAL AREA	GLASS AREA	% GLASS	REQ %/ SF	
NORTH	712 SF	293 SF	41%	40%/ 285 SF	PAS
WEST	2196 SF	691 SF	31%	15%/ 329 SF	PAS
SOUTH	748 SF	131 SF	18%	15%/ 112 SF	PAS
EAST	2196 SF	0 SF *	0.0% *	15%/ 329 SF	FAI
TOTALS	3656 SF	1115 SF	30%	--/ 1005 SF	PAS
NOTES					

NOTES:

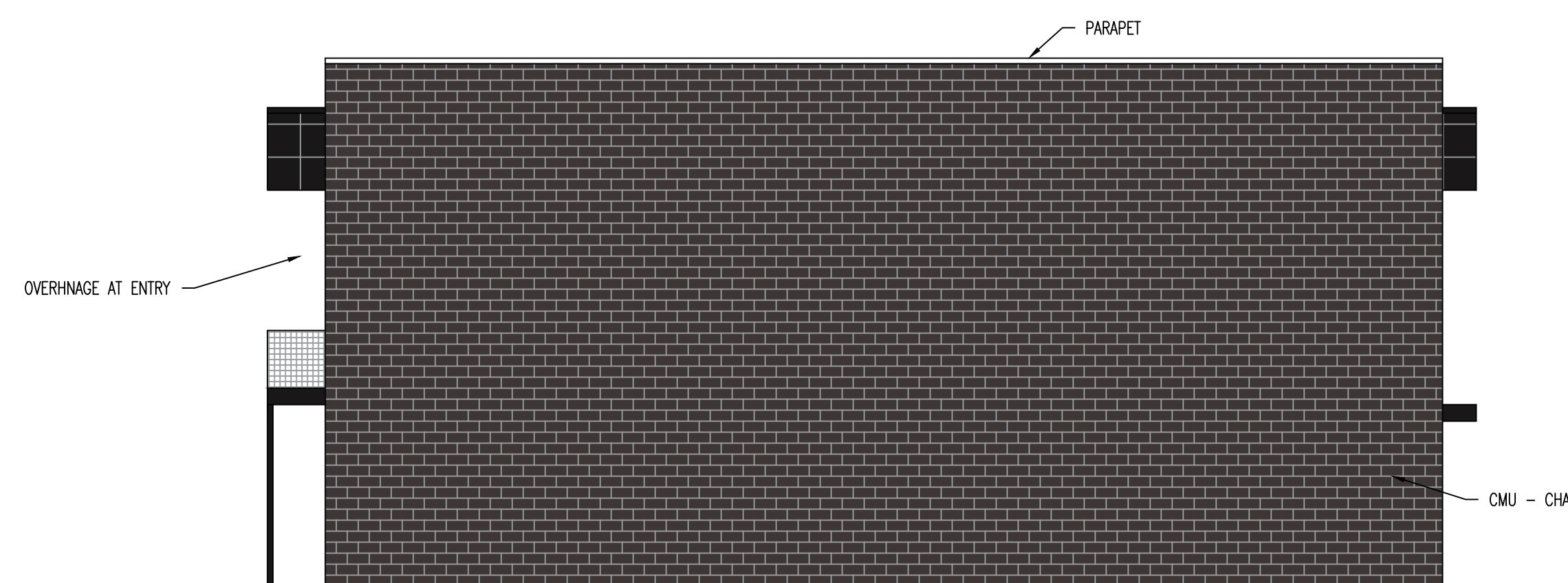
- AREAS IN SQUARE FEET
- FACE AREAS FIGURED FROM FLOOR TO STRUCTURE AND WALL TO
- * NO WINDOWS ALLOWED PER CODE - ZERO LOT LINE. IBC 705.8
- REQUIRED VALUES FROM SSLC CODE SECTION 17.21.140
- ALL GLASS IS CLEAR LOW 'E' INSULATED

MATERIAL AREA

FACE	TOTAL AREA	GLASS	CEMENT BRD	CORR MTL	CMU	MTL FINISHES
NORTH	712 SF	361 = 51%	153 = 21%	157 = 22%	--	41 = 6%
WEST	2196 SF	776 = 35%	1121 = 51%	226 = 16%	--	73 = 4%
SOUTH	748 SF	131 = 18%	501 = 67%	60 = 8%	17 = 3%	39 = 6%
EAST	2196	NOT ALLOWED	14 = 1%	--	2140 = 97%	31 = 2%
TOTALS	4726 SF	1206 = 26%	1101 = 23%	485 = 10	1755 = 37%	179 = 4%

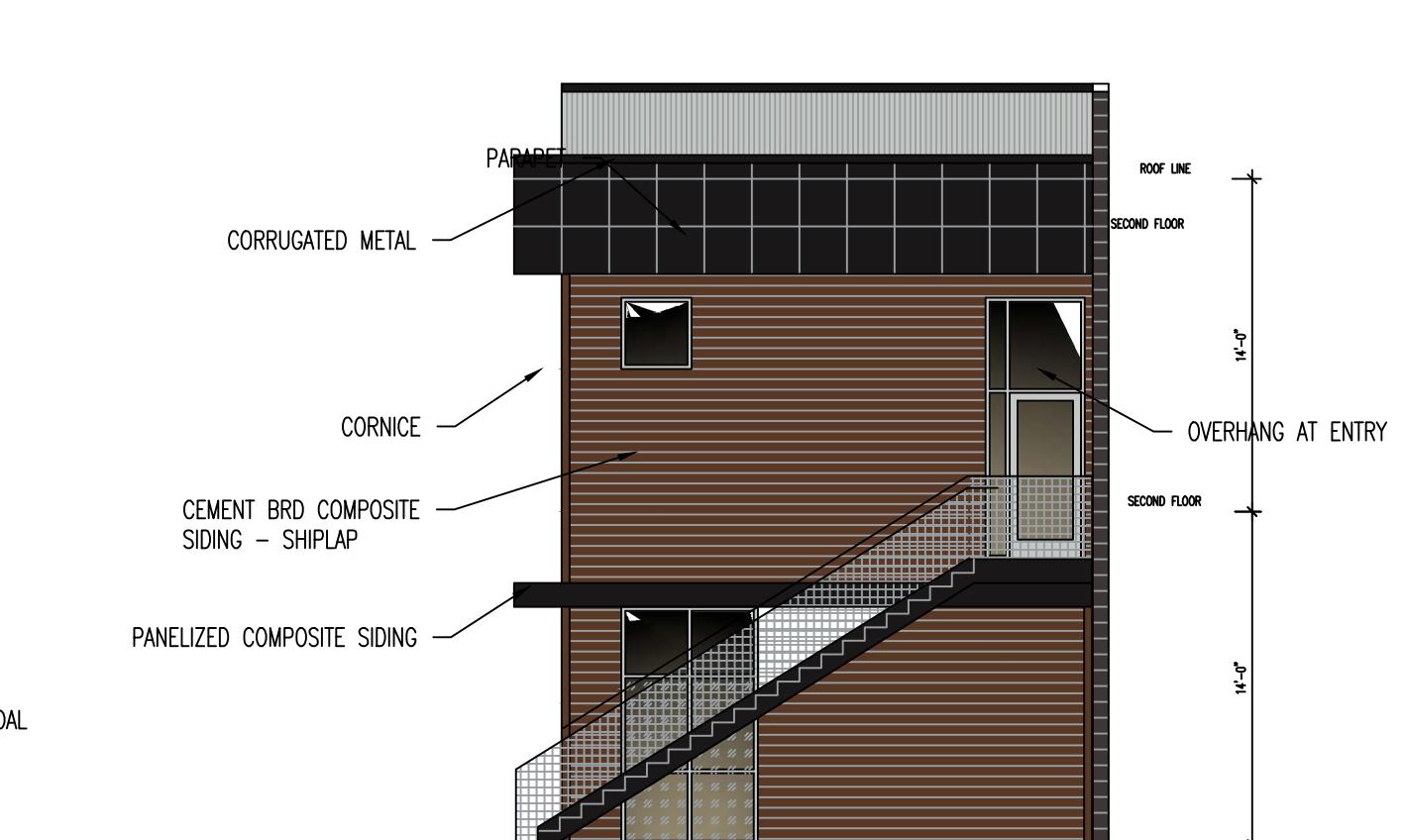
NOTES:

- AREAS IN SQUARE FEET
- METAL FINISHES INCLUDES, TRELLISES, FLASHINGS, STRINGERS...ETC.
- CEMENT BRD IS OF TWO TYPES - COMPOSITE PANELS, AND COMPOSITE SHIP L
- CLASS IS ALUMINUM STOREFRONT MATERIAL



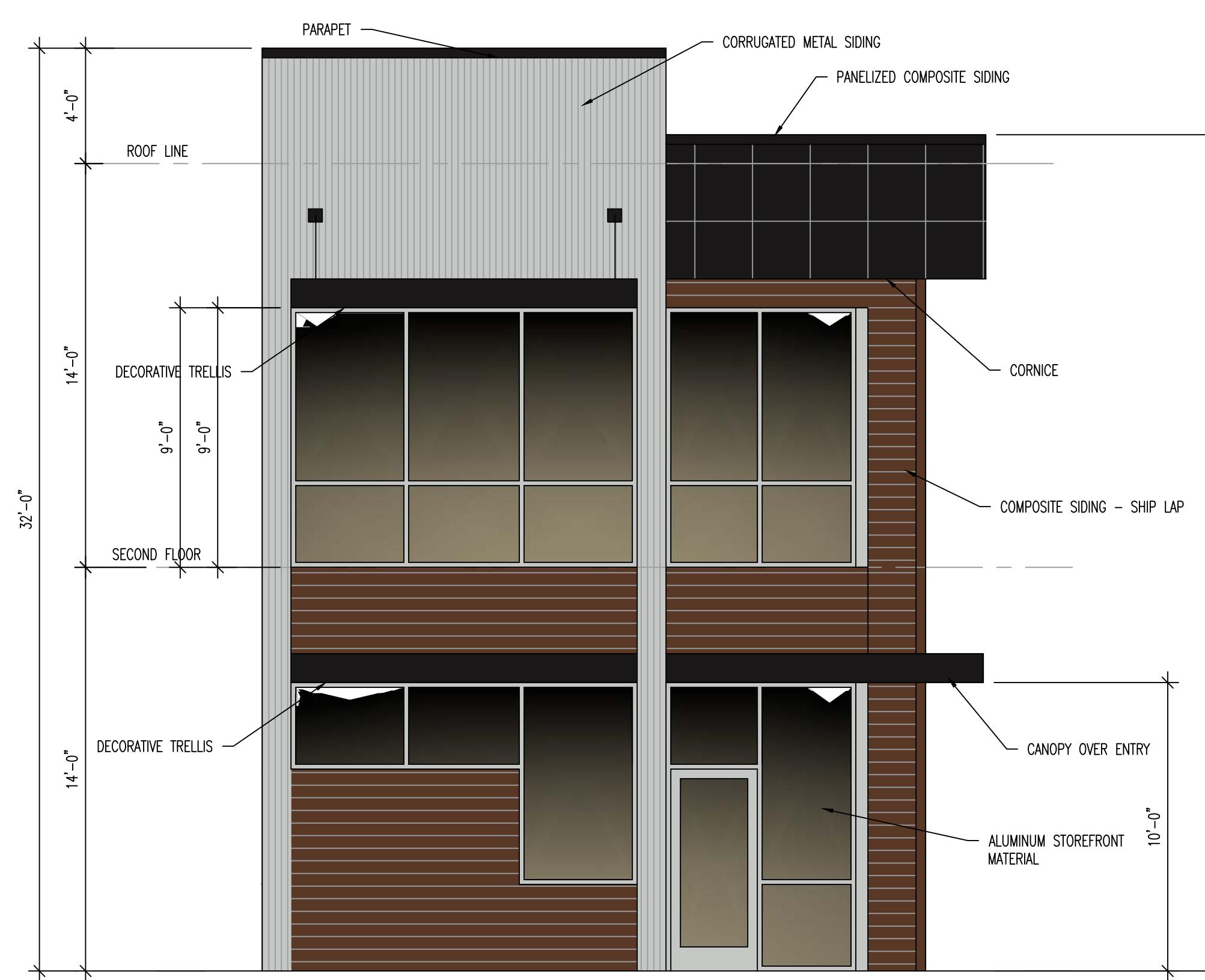
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

THIS SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY
AUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET, MISAPPROPRIATION, IN VIOLATION OF I.C. 24-2-31 ET. SEQ. AND OTHER LAWS.

VINCENT DESIGN GROUP, INC.

U.S.

ARCHIEUS AND PLANNERS

ARCHIEUS AND PLANNERS

SENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINCENT DESIGN GROUP, INC. AND WERE CREATED OUT WRITTEN CONSENT OF VINCENT DESIGN GROUP, INC. WARNING: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UN

OWNED BY AND THE PROPERTY OF VINCENT DESIGN GROUP INC. WARNING: REPRODUCTION HEREBY IS PROHIBITED.

INDICATED OR REPRE POSE WHATSOEVER WITH	ARCH. PROJECT NO: 20-194
	DATE: 6/42/23
	DRAWN BY: BRENT
	CHECKED BY:
	DESIGNED BY:

PLANS
PURPOSED
FOR ANY
PURPOSE

ALL IDEAS, DESIGNS, A
PERSON, FIRM, OR CORP
SHEET TITLE
A-2.00
ARCHITECTURAL -