



AMERICAN FORK CITY AMENDED PLANNING COMMISSION AGENDA

**Regular Session
June 18, 2025
Wednesday 6:00 PM**

**American Fork City Hall
31 North Church Street
American Fork City, UT 84003**

<https://www.americanfork.gov/AgendaCenter>

Planning Commission Members

**Christine Anderson, Chair
Chris Christiansen, Vice Chair
Geoff Dupaix
Bruce Frandsen**

**Rod Martin
David Bird
Harold Dudley
Claire Oldham**

Notice is hereby given that the American Fork City Planning Commission will meet in regular session on June 18, 2025, at the American Fork City Hall, 31 North Church Street commencing at 6:00 PM. The amended agenda shall be as follows:

1. **Regular Session**

- a. Pledge of Allegiance
- b. Roll Call

2. **Common Consent Agenda** (Common Consent is that class of Commission action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the June 4, 2025, Planning Commission minutes

3. **Public Hearings** (Public Hearings is that class of Commission action that requires further discussion on General Plan changes, Zone changes, and Code Text Amendments that alter the land use characteristics of American Fork City. Public Hearing items will have the chance for the public to speak upon.)

- a. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Storm Water Management and Discharge Control, of the American Fork City Municipal Code. Amending Section 13.94, the Code Text Amendment plans to modify subsections 13.94.090 and 13.94.100 to be compliant with updated state regulations. These updates include modifying enforcement measures, clarifying responsibilities of property owners related to runoff, creating a new stormwater inspection process and updating the review process to meet state requirements.
- b. Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Boat Harbor Pump Station, located at approximately 1611 S 100 W (Harbor Road), American Fork City. On approximately 31.71 acres, the property proposes to change from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation.

4. **Action Items** (Action Items is that class of Commission action that requires further discussion on Site Plans and proposed zoning designation for annexing areas. The Planning Commission will have authority to approve Site Plans for final action and provide recommendations for the zone of annexing property.)

- a. Review and action on an application for a Commercial Site Plan, known as 77 W Main Sign (App #2), located at 77 W Main Street, American Fork City. The

Commercial Site Plan will be on approximately .32 acres and will be in the Central Commercial (CC-1) Zone.

- b. Review and action on an application for a Commercial Site Plan, known as T-Mobile Upgrade (880629-685419), located at 1084 E Pacific Drive, American Fork City. The Commercial Site Plan will be on approximately .97 acres and will be in the Planned Commercial (GC-2) Zone.
- c. Review and action on an application for a Commercial Site Plan, known as 500 East Auto Mall Drive, located at approximately 452 E Auto Mall Drive, American Fork City. The Commercial Site Plan will be on approximately 3.81 acres and will be in the Planned Commercial (GC-2) Zone.

5. Other Business

- a. Upcoming Projects

6. Adjournment

Dated this 9th day of June 2025

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Planning Commission Chair*

UNAPPROVED MINUTES

06.04.2025

AMERICAN FORK CITY PLANNING COMMISSION REGULAR SESSION

June 4th, 2025

The American Fork City Planning Commission met in a regular session on June 4th, 2025 at the American Fork City Hall, 31 North Church Street, commencing at 6:00 p.m.

Commissioners Present: Christine Anderson, Chris Christiansen, Bruce Frandsen, Geoff Dupaix, Claire Oldham

Commissioners Absent: Rodney Martin, Harold Dudley, David Bird

Staff Present:

Patrick O'Brien	Development Services Director
Cody Opperman	Planner II
Annalisa Reed	Planner
Kelvin Smith	Assistant City Engineer
Angie McKee	Administrative Assistant I

Others Present:

REGULAR SESSION

Christine Anderson led the "Pledge of Allegiance"

Roll Call

COMMON CONSENT AGENDA

1. Minutes of the May 21st, 2025 Planning Commission Regular Session.

Bruce Frandsen motioned to approve the Common Consent agenda.

Claire Oldham seconded the motion.

UNAPPROVED MINUTES

06.04.2025

Voting was as follows:

Christine Anderson	Abstain
Chris Christiansen	AYE
Bruce Frandsen	AYE
Claire Oldham	AYE
Geoff Dupaix	AYE

The motion passed

PUBLIC HEARINGS

- a. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Administrative Site Plan Approvals, of the American Fork City Municipal Code. Amending Section 17.6.101, the Code Text Amendment plans to amend the Site Plan approval process.**

Patrick O'Brien reviewed the background information for Public Hearing Item letter a: The staff has initiated for a Code Text Amendment to amend Section 17.6.101 of the American Fork City Municipal Code. The proposed amendment looks to amend the Site Plan approval process. He explained that there are some changes in the overall code change that staff are trying to push forward sooner than others in order to address some issues and to help applicants have a more straight forward process. He informed the commissioners that there have been a significant number of applicants that have come in for minor changes to their approved projects. The way the code is currently structured there is no minor amendment or administrative process that they can go through for a simple change of use, a very small extension to a building, updating some drainage regions outside, or just doing some surface improvements. They would have to come back through an entire site plan packet review. Staff has listed 17 criteria items in this code section proposal, where the Development Review Committee would be the approval body.

UNAPPROVED MINUTES

06.04.2025

Commissioner Dupaix asked for further clarification on item four, change of use. He feels that the term ‘change of use’ is pretty generic and he believes there should be something in place that would trigger the need to come back to planning commission if it is a larger change to the site layout.

Patrick O’Brien explained that if it was a change of use going from an office warehouse to a retail or commercial use, depending on the overall square footage and code requirements like parking, it is something that could either go before planning commission, or it could be handled at the staff level. He noted that the last line does say “as determined by the Development Services Director in consultation with the Public Works Director”, so if they think the changes are no longer in administrative territory, the project would be sent back to the planning commission.

Commissioner Frandsen commented that he believes that there is a fail-safe built in because staff will not push the limits and take chances of getting fired, so if there is anything that is questionable, he thinks they would send it to the planning commission to approve.

Commissioner Anderson clarified that as she understands, these small changes are black and white and just checking the box on those small items that we sometimes wonder why they had to come back to planning commission.

Public Hearing Open

Public Hearing Closed

Geoff Dupaix moved to recommend approval for the proposed Code Text Amendment, amending Section 17.6.101, titled Administrative Site Plan Review, relating to DRC Site Plan approval for Site Plan amendments and providing an effective date for the ordinance.

UNAPPROVED MINUTES

06.04.2025

Chris Christiansen seconded the motion.

Voting was as follows:

Christine Anderson	AYE
Chris Christiansen	AYE
Bruce Frandsen	AYE
Claire Oldham	AYE
Geoff Dupaix	AYE

The motion passed

- b. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Asphalt Paving General Description, of the American Fork City Municipal Code. Amending Section 15.01.1250, the Code Text Amendment plans to increase the required pavement cross-section on City roads and clarify requirements for determining existing pavement conditions.**

Kelvin Smith reviewed the background information for Public Hearing Item letter b: Staff has initiated a Code Text Amendment to amend Section 15.01.1250 of the American Fork City Municipal Code. The proposed amendment looks to increase the required pavement cross-section on City roads and require pavement cores to determine existing pavement conditions. This is to increase the longevity of City roads and ensure repair of failing roads.

Commissioner Frandsen asked if this is a compacted thickness of 6 inches.

Kelvin Smith confirmed it is a compacted thickness of 6 inches and is required to be done in 2 lifts.

UNAPPROVED MINUTES

06.04.2025

Commissioner Dupaix suggested that maybe in the future on some key routes, that the city consider using a new highly modified HM-HMA asphalt that you can do a 6-inch lift in one single lift.

Kelvin Smith acknowledged that they have used HMA as a treatment, but he is not familiar with the HM-HMA asphalt and asked about the cost.

Commissioner Dupaix informed him that while it is more expensive, it is not as expensive as stone matrix asphalt, and it goes down a whole lot better. He added that some of these roads have been around for 30-40 years back before 18 wheelers were here, and now it is causing some significant damage to some main roads, so he likes this new requirement.

Commissioner Frandsen asked how existing pavement conditions would play into this code change.

Kelvin Smith explained that the streets department does a good job of managing that as there are a lot of visual surface indications to determine the condition of the asphalt. He added that while the core samples are more for developers, it is a tool that can be used to determine if a road needs to completely be rebuilt, an overlay, a partial overlay, or other methods.

Commissioner Christiansen noted that in his experience in pavement design, a minimum thickness is three times the largest aggregate size. So, in Utah, the smallest you could be is half an inch, so he would like to see an inch and a half as a minimum.

Commissioner Dupaix asked when the roads are being done, if they are doing the same thing with the utilities, so the new roads are not being torn up to repair them. He noted that he is aware this has nothing to do with the actual surface treatment, but if there is any utility in there, it is highly recommended to take a serious look at the conditions of those utilities before the treatment is done.

Kelvin Smith responded that they generally try to coordinate with the master plans and the next year or two of surface treatments to plan out the utility improvements.

Public Hearing Open

Public Hearing Closed

UNAPPROVED MINUTES

06.04.2025

Geoff Dupaix moved to recommend approval for the proposed Code Text Amendment, amending Section 15.01.1250, titled Asphalt Paving General Description, relating to increasing the required pavement cross-section on City roads and clarify requirements for determining existing pavement conditions, and providing an effective date for the ordinance. With the additional recommendation of a minimum standard of overlay, be an inch and a half on item C.

Chris Christiansen seconded the motion.

Voting was as follows:

Christine Anderson	AYE
Chris Christiansen	AYE
Bruce Frandsen	AYE
Claire Oldham	AYE
Geoff Dupaix	AYE

The motion passed

Other Business

Patrick O'Brien updated the commissioners on the upcoming plans and projects for the city.

Adjournment

Geoff Dupaix motioned to adjourn the meeting.

Chris Christiansen seconded the motion.

UNAPPROVED MINUTES

06.04.2025

Meeting adjourned at 6: PM

Angie McKee

Administrative Assistant I

The order of agenda items may change to accommodate the needs of the commissioners, public and staff.

Agenda Topic

Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Storm Water Management and Discharge Control, of the American Fork City Municipal Code. Amending Section 13.94, the Code Text Amendment plans to modify subsections 13.94.090 and 13.94.100 to be compliant with updated state regulations. These updates include modifying enforcement measures, clarifying responsibilities of property owners related to runoff, creating a new stormwater inspection process and updating the review process to meet state requirements.

Background

Staff has initiated a Code Text Amendment to amend Section 13.94 of the American Fork City Municipal Code. Utah State Legislative changes in recent legislative sessions have modified enforcement regulations and stormwater requirements. The code changes implement required standardized documents from the state for stormwater regulations. It also clarifies property owner responsibilities to maintain and control runoff water from their properties. Updates to our enforcement procedures and follow up with violations prior to a citation are included to conform to state regulations. It also reduces some of the conditions when a land disturbance permit is required.

Potential Motions – Code Text Amendment

Approval

Madame Chair, I move to recommend approval for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations and providing an effective date for the ordinance.

Denial

Madame Chair, I move to recommend denial for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations.

Table

Madame Chair, I move to table action for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations, and instruct staff to.....

Sec 13.94.090 Enforcement

A. Enforcement authority. The city storm drain inspector shall have the authority to issue corrective action notices, notices of violation, and stop work orders and to impose the civil penalties provided in this section.

With the approval of the storm water pollution prevention plan and the issuance of a land disturbance permit, the city storm drain inspector shall be permitted to enter and inspect facilities subject to this chapter at all reasonable times and as often as necessary to determine compliance. Failure to comply with the terms of this chapter may result in punitive actions by American Fork City pursuant to [Chapter Section 13.94.090\(2\) of this chapter.](#)

B. Notification of violation.

[Except as provided for in subsection C., the City may take the following action when any permittee or other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder.](#)

1. Corrective action notice. Whenever the city storm drain inspector finds that any permittee or any other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder, the city storm drain inspector may serve upon such person a corrective action notice. Within seven days from the issuance of the corrective action notice, the site must be brought into full compliance with the storm water pollution prevention plan (SWPPP). Failure to comply with the corrective action notice within seven days will result in the issuance of a notice of violation. Additionally, the site operator will be subject to fines and penalties as specified in Section 13.94.100.

2. Notice of violation. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or a permit or a corrective action notice, he may issue an order to the violator directing that, following a specified time period, best management practices (BMPs) be installed or procedures implemented and properly operated. Failure to comply with the notice of violation by the site operator may result in additional fines and issuance of a stop work order.

3. Stop work orders. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or any permit or order issued hereunder, the city storm drain inspector may issue a stop work order for all such violations and direct those persons in noncompliance to:

a. Comply forthwith; or

b. Take such appropriate remedial or preventative action as may be needed to properly address a continuing or threatened violation, including halting operating and terminating the discharge.

C. ~~E~~. Notice of violation – General Construction Permit Impacting Greater than One Acre or Part of Common Area of Development.

For any General Construction Permit that disturbs an acre or more or that disturbs less than an acre but is part of a common plan of development or sale, the following shall apply to any violation.

1. American Fork City:

a. shall notify the permittee, in writing, of a violation; a notice of violation from the City shall state noncompliance and actions necessary to come into compliance will be given to responsible person.

b. shall provide the permittee a reasonable time of at least 24 hours to correct the violation; and

c. may perform an inspection to verify that the violation is corrected.

2. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

a. shall notify the permittee, in writing, that the violation has not been corrected;

b. may impose a fine if the permittee does not correct the specific violation within additional one business day; and

c. may perform an inspection to verify that the permittee corrected the specific violation.

3. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

a. shall notify the permittee, in writing, that the violation has not been corrected; and

b. may impose an administrative fine for each occurrence as follows:

(i) \$500 per occurrence for working without an approved storm water permit;

(ii) \$300 per occurrence for tracking mud on road;

(iii) \$250 per occurrence for failure to clean up or report spills;

(iv) \$100 per occurrence for failure to conduct storm water inspections;

- (v) \$100 per occurrence for failure to maintain storm water records; and
- (vi) \$500 per site, per occurrence, for failure to use general best management practices, as determined by the City; and

5. may impose the administrative fine:

a. for each business day the specific violation continues beginning on the day

(i) after the day on which the City issues the administrative fine; and

(ii) within 30 days after the day on which the permittee corrects the violation.

6. The City shall:

a. impose each fine in writing and clearly document the specific violation in the writing; and

b. deposit collected fines into a restricted account for education and outreach under its stormwater program.

7. The City may not impose the process described in Subsection C.3. later than 30 days after the day on which the City provides the required preceding notice of violation or continuing violation.

8. Except as provided in Subsection C.9., the City may not issue an order to stop construction activity for a violation if:

a. a permittee selects the preferred best management practice for the site conditions;

b. a permittee implements and properly uses the preferred best management practices; and

c. the violation results from a deficiency in the preferred best management practice.

9. The City may issue an order to stop construction if the City has a clearly documented reason articulating an immediate threat to water quality.

10. City may recoup the costs incurred to correct a violation the permittee refuses to correct after the enforcement process described in this Subsection C.3. has been exhausted if the City, at the time of clean up, determines there is an imminent threat of a significant harm to water quality or the storm water system.

D. Conflicting standards. Whenever there is a conflict between any standard contained in this chapter and in the BMP manuals adopted by the municipality under this chapter, the strictest standard shall prevail.

E. Violations. Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violated the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the city storm drain inspector, shall be guilty of a Class B misdemeanor.

Sec 13.94.090 Enforcement

A. Enforcement authority. The city storm drain inspector shall have the authority to issue corrective action notices, notices of violation, and stop work orders and to impose the civil penalties provided in this section.

With the approval of the storm water pollution prevention plan and the issuance of a land disturbance permit, the city storm drain inspector shall be permitted to enter and inspect facilities subject to this chapter at all reasonable times and as often as necessary to determine compliance. Failure to comply with the terms of this chapter may result in punitive actions by American Fork City pursuant to this chapter.

B. Notification of violation.

Except as provided for in subsection C., the City may take the following action when any permittee or other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder.

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2. Notice of violation. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or a permit or a corrective action notice, he may issue an order to the violator directing that, following a specified time period, best management practices (BMPs) be installed or procedures implemented and properly operated. Failure to comply with the notice of violation by the site operator may result in additional fines and issuance of a stop work order.

3. Stop work orders. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or any permit or order issued hereunder, the city storm drain inspector may issue a stop work order for all such violations and direct those persons in noncompliance to:

a. Comply forthwith; or

b. Take such appropriate remedial or preventative action as may be needed to properly address a continuing or threatened violation, including halting operating and terminating the discharge.

C. Notice of violation – General Construction Permit Impacting Greater than One Acre or Part of Common Area of Development.

For any General Construction Permit that disturbs an acre or more or that disturbs less than an acre but is part of a common plan of development or sale, the following shall apply to any violation.

1. American Fork City:

- a. shall notify the permittee, in writing, of a violation; a notice of violation from the City shall state noncompliance and actions necessary to come into compliance will be given to responsible person.
- b. shall provide the permittee a reasonable time of at least 24 hours to correct the violation; and
- c. may perform an inspection to verify that the violation is corrected.

2. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

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3. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

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- b. may impose an administrative fine for each occurrence as follows:
 - (i) \$500 per occurrence for working without an approved storm water permit;
 - (ii) \$300 per occurrence for tracking mud on road;
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- (v) \$100 per occurrence for failure to maintain storm water records; and
- (vi) \$500 per site, per occurrence, for failure to use general best management practices, as determined by the City; and

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a. for each business day the specific violation continues beginning on the day

(i) after the day on which the City issues the administrative fine; and

(ii) within 30 days after the day on which the permittee corrects the violation.

6. The City shall:

a. impose each fine in writing and clearly document the specific violation in the writing; and

b. deposit collected fines into a restricted account for education and outreach under its stormwater program.

7. The City may not impose the process described in Subsection C.3. later than 30 days after the day on which the City provides the required preceding notice of violation or continuing violation.

8. Except as provided in Subsection C.9., the City may not issue an order to stop construction activity for a violation if:

a. a permittee selects the preferred best management practice for the site conditions;

b. a permittee implements and properly uses the preferred best management practices; and

c. the violation results from a deficiency in the preferred best management practice.

9. The City may issue an order to stop construction if the City has a clearly documented reason articulating an immediate threat to water quality.

10. City may recoup the costs incurred to correct a violation the permittee refuses to correct after the enforcement process described in this Subsection C.3. has been exhausted if the City, at the time of clean up, determines there is an imminent threat of a significant harm to water quality or the storm water system.

D. Conflicting standards. Whenever there is a conflict between any standard contained in this chapter and in the BMP manuals adopted by the municipality under this chapter, the strictest standard shall prevail.

E. Violations. Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violated the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the city storm drain inspector, shall be guilty of a Class B misdemeanor.

Sec 13.94.100 Penalties

- A. Penalties. Under the authority provided in the ~~municipality declares~~ Utah Code ~~chapter and except as provided for in Sec 13.94.090.B~~, the City declares that any person violating the provisions of this chapter. may be assessed a Class B misdemeanor by the city public works department and fine of five hundred dollars per day for each day of violation. Each day of violation shall constitute a separate violation.
- B. Measuring civil penalties. In assessing a civil penalty, the city public works department may consider:
1. The harm done to the public health or the environment;
 2. Whether the civil penalty imposed will be a substantial economic deterrent to the illegal activity;
 3. The economic benefit gained by the violator;
 4. The amount of effort put forth by the violator to remedy this violation;
 5. Any unusual or extraordinary enforcement costs incurred by the municipality;
 6. The amount of penalty established by ordinance or resolution for specific categories of violations; and
 7. Any equities of the situation which outweigh the benefits of imposing any penalty or damage assessment.
- C. Recovery of damages and costs. In addition to the civil penalty in subsection (2) above, the municipality may recover:
1. All damages proximately caused by the violator to the municipality, which may include any reasonable expenses incurred in investigating violations of, and enforcing compliance with, this chapter; or any other actual damages caused by the violation.
 2. The costs of the municipality's maintenance of storm water facilities when the user of such facilities fails to maintain them as required by this chapter.
- D. Other remedies. The municipality may bring legal action to enjoin the continuing violation of this chapter; and the existence of any other remedy, at law or equity, shall be no defense to any such actions. In addition to the penalties established in this chapter, the city may refuse to renew business licenses or other permits while such a violation continues.

E. Remedies cumulative. The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one or more of the remedies set forth herein has been sought or granted.

(Ord. No. 2015-05-32, § 10, 5-26-2015)

Sec 13.94.100 Penalties

- A. Penalties. Under the authority provided in the Utah Code chapter and except as provided for in Sec 13.94.090.B, the City declares that any person violating the provisions of this chapter. may be assessed a Class B misdemeanor by the city public works department and fine of five hundred dollars per day for each day of violation. Each day of violation shall constitute a separate violation.
- B. Measuring civil penalties. In assessing a civil penalty, the city public works department may consider:
 - 1. The harm done to the public health or the environment;
 - 2. Whether the civil penalty imposed will be a substantial economic deterrent to the illegal activity;
 - 3. The economic benefit gained by the violator;
 - 4. The amount of effort put forth by the violator to remedy this violation;
 - 5. Any unusual or extraordinary enforcement costs incurred by the municipality;
 - 6. The amount of penalty established by ordinance or resolution for specific categories of violations; and
 - 7. Any equities of the situation which outweigh the benefits of imposing any penalty or damage assessment.
- C. Recovery of damages and costs. In addition to the civil penalty in subsection (2) above, the municipality may recover:
 - 1. All damages proximately caused by the violator to the municipality, which may include any reasonable expenses incurred in investigating violations of, and enforcing compliance with, this chapter; or any other actual damages caused by the violation.
 - 2. The costs of the municipality's maintenance of storm water facilities when the user of such facilities fails to maintain them as required by this chapter.
- D. Other remedies. The municipality may bring legal action to enjoin the continuing violation of this chapter; and the existence of any other remedy, at law or equity, shall be no defense to any such actions. In addition to the penalties established in this chapter, the city may refuse to renew business licenses or other permits while such a violation continues.

E. Remedies cumulative. The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one or more of the remedies set forth herein has been sought or granted.

(Ord. No. 2015-05-32, § 10, 5-26-2015)

Agenda Topic

Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Boat Harbor Pump Station, located at approximately 1611 S 100 W (Harbor Road), American Fork City. On approximately 31.71 acres, the property proposes to change from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation.

BACKGROUND INFORMATION		
Location:		1611 S 100 W
Project Type:		Land Use Map Amendment
Applicants:		TSSD
Existing Land Use:		Resort
Proposed Land Use:		Institutional Lands, Schools and Public Facilities
Surrounding Land Use:	North	Resort
	South	Utah Lake
	East	Shoreline Protection
	West	Resort
Existing Zoning:		Unincorporated Territory
Proposed Zoning:		N/A
Surrounding Zoning:	North	M-1
	South	Utah Lake
	East	PI-1; M-1
	West	M-1

Background

The applicant has applied for a Land Use Map Amendment for the property located in the area of 1611 S 100 W. The proposal looks to change the property from the Resort land use designation to Institutional Lands, Schools, and Public Facilities land use and to provide a pump station for the property. This Land Use Map Amendment is going forward to the Planning Commission for its recommendation prior to annexation of the overall property.

Chapter 17.11 Amendments

This development code, and the zoning map adopted as a part thereof, may be amended from time to time by the city council, but all proposed amendments must first be submitted to the planning commission for its recommendation. The procedure to be followed in amending the code and map shall be as set forth below.

Sec 17.11.101 Written Petition Required - City Initiated Amendments Permitted

Any person seeking an amendment of the development code or zoning map shall submit to the planning commission a written petition designating the change desired and the reasons therefor, and shall pay a nonrefundable filing fee in an amount established by resolution of the city council. Amendments to the code and map may also be initiated by action of the planning commission or upon request of the city council.

Sec 17.11.102 Planning Commission To Make Recommendations

Upon receipt of the petition the planning commission shall consider the request and, subject to completion of a public hearing on the matter before the planning commission with public notice given in accordance with the provisions of Section 17.11.103, shall submit its recommendations with respect thereto to the city council.

Sec 17.11.103 Planning Commission To Conduct Public Hearing Before Recommending Amendments - Notice Of Hearing To Be Provided

1. No ordinance approving an amendment to the official zone map or text of the development code, or approving a large scale development project may be enacted by the city council unless and until a public hearing relating to the proposed ordinance shall have been conducted by the planning commission.
2. Notice of the date, time and place of the first public hearing regarding a proposed amendment to the official zone map, text of the development code or ordinance of approval of a large scale development project shall be given at least 10 calendar days before the public hearing as follows:
 1. Published on the Utah Public Notice Website;
 2. Posted in at least three public locations within the city, or on the city's official website; and
 3. Mailed to each affected entity.

Sec 17.11.104 Amendments To Be Adopted By Council - Notice Required

1. The city council, at a public meeting called for the purpose, shall consider each proposed amendment to the official zone map, text of the development code, or ordinance of approval for a large scale development recommended to it by the planning commission and may act to adopt or reject the amendment or ordinance of approval as recommended by the planning commission or adopt the amendment after making any revision the city council considers appropriate.
2. Notice of the public meeting at which the city council will consider a proposed amendment or ordinance of approval shall be given at least twenty-four hours before the meeting, which notice shall, as a minimum, be posted in at least three public places within the city; or on the city's official website.

Sec 17.11.105 Amendments To Be Adopted By Ordinance - Public Notice Of Adoption

All amendments to the code and map shall be adopted, published and recorded in accordance with the applicable provisions of UCA 10-3-701 et seq.

17.11.200 Intent With Respect To Amendments

All amendments to this code and zone map shall be made in accordance with the general plan of land use. It is hereby declared to be public policy that this code shall not be amended unless it can be shown that changed or changing conditions make the proposed amendment reasonably necessary to the promotion of the purposes of this code.

Findings of Fact

1. The Land Use Map Amendment MEETS the requirements of Section 17.11.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.

2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Potential Motions – Land Use Map Amendment

Approval

I move to recommend approval for the proposed Land Use Map Amendment, located at approximately 1611 S 100 W, American Fork City, from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation, subject to any conditions found in the staff report.

Denial

I move to recommend denial for the proposed Land Use Map Amendment, located at approximately 1611 S 100 W, American Fork City, from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation

Table

I move to table action for the proposed Land Use Map Amendment, located at approximately 1611 S 100 W, American Fork City, from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation, and instruct staff/developer to.....



American Fork City – General Plan Amendment

Parcel: 13:076:0052

Applicant: Timpanogos Special Service District

Compatibility Statement

Next Step:

Proceed to Planning Commission
06/18/2025

 American Fork City Development Review Committee
Planning and Zoning Reviewed copperman 05/06/2025
Engineering Division Reviewed rburkhill 05/07/2025

154 E. 14075 S.
Draper, Utah 84020
801-495-2224

No comments

No comments

Land Use Change Justification – Supporting Sewer Infrastructure and Community Growth

To accommodate anticipated community growth and address long-term sewer treatment needs, additional pumping capacity is required. The selected location is essential due to the limited availability of land near existing sewer main lines and the strategic importance of proximity to both current infrastructure and future development areas.

The existing pump station located at 1500 South and 100 West is currently being replaced but cannot be expanded further to meet future capacity needs. Therefore, this site presents the only feasible alternative based on the following factors:

1. **Strategic Location:** The site is located near existing sewer mains that run along the shoreline, ensuring efficient connectivity.
2. **Proximity to Treatment Facilities:** Close access to the treatment plant supports operational efficiency and reduces infrastructure costs.
3. **Alignment with Future Development:** The area is well positioned to serve the planned future growth within the American Fork service area. The current sewer design anticipates flows to the existing, undersized pump station, which cannot accommodate additional demand beyond its current design capacity.
4. **Land Use Compatibility:** Public facility use serves as an effective land use transition between nearby industrial and resort zones.
5. **Environmental Integration:** Approximately five acres will be developed for the pump station and two acres for roadway. The remaining acreage will be used for wetland mitigation and restoration, aligning with shoreline protection goals and compatible with adjacent resort zoning.
6. **Transportation Connectivity:** The project will facilitate the completion of the roadway connection between 6000 West and 1700 South, supporting future access and circulation.

General Description of Proposed Changes:

This application requests a land use designation change for the parcel outlined in red, from Resort to Institutional Lands, Schools, and Public Facilities. The subject site is currently undeveloped and was historically used for agriculture. Sections closer to Utah Lake exhibit some wetland habitats. No structures currently exist on the property.

The proposed future use of the site includes the development of a public sewer pumping facility to support planned growth and development within American Fork City. The project will include approximately 2 acres of new roadway to connect 6000 West to 1700 South, and 5 acres dedicated to the public facility and associated parking. Additionally, a 0.50-acre area is planned for a trail connection to support community access and connectivity.

The remaining 24.14 acres of the total 31.64-acre site will remain undeveloped, and be converted to a wetland mitigation project under Army Corps of Engineers permitting for this and other District projects.



American Fork City
Development Review Committee


Planning and Zoning
Reviewed
copperman 05/06/2025


No comments

Engineering Division
Reviewed
rburkhill 05/07/2025


No comments


L E G E N D


 Project Parcel (13:076:0052)


 Fault Lines

National Wetland Inventory (NWI):


 Potential Freshwater Emergent Wetland


 Potential Freshwater Pond


 Utah Lake


 Potential Waterways


Soils:


 CHIPMAN SILTY CLAY LOAM


 CHIPMAN SILTY CLAY LOAM, MODERATELY DEEP WATER TABLE

 CHIPMAN SILTY CLAY LOAM, MODERATELY SALINE

 LOGAN SILTY CLAY LOAM

 MCBETH SILT LOAM

 MCBETH SILT LOAM,MODERATELY SALINE

 STEED GRAVELLY SANDY LOAM

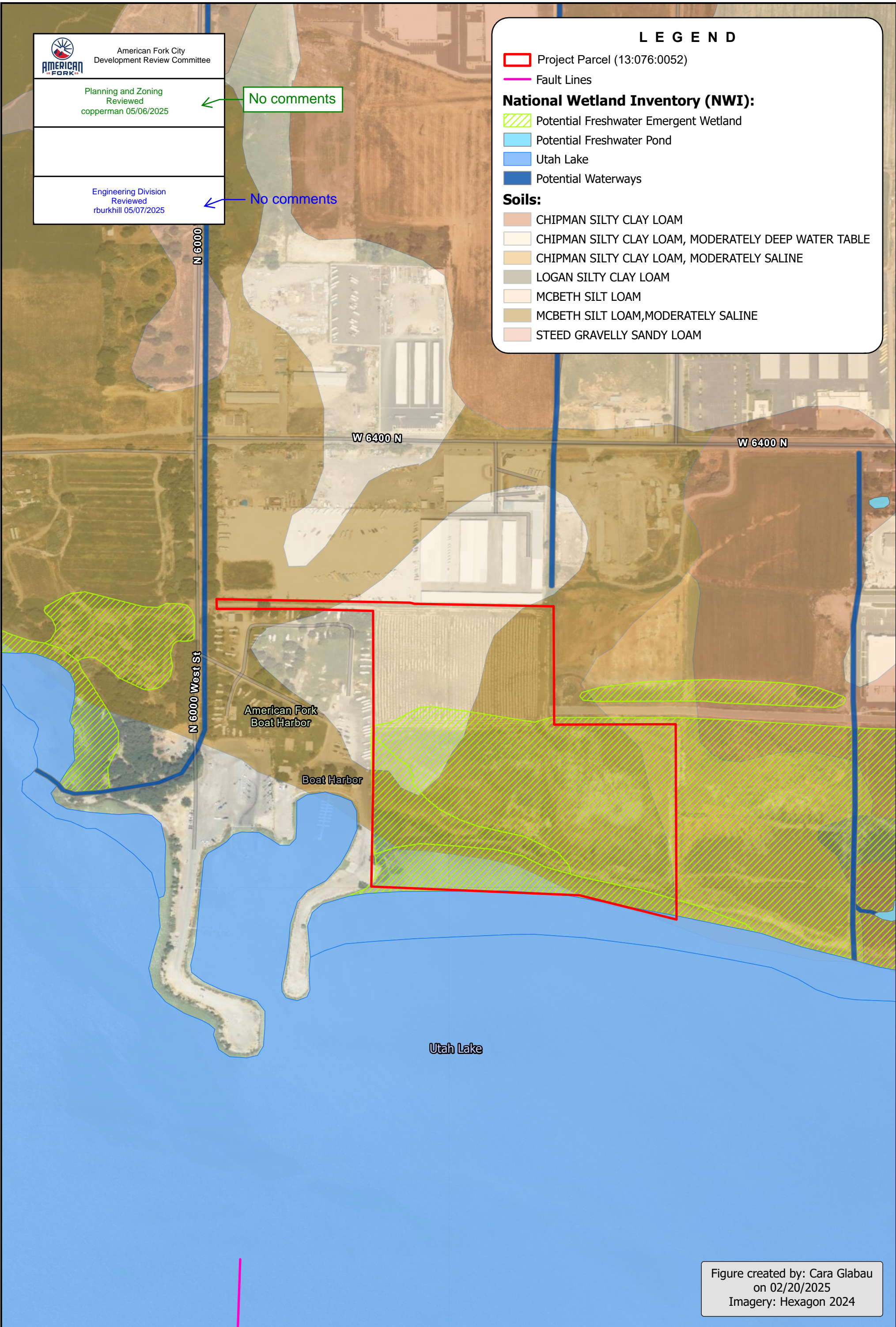
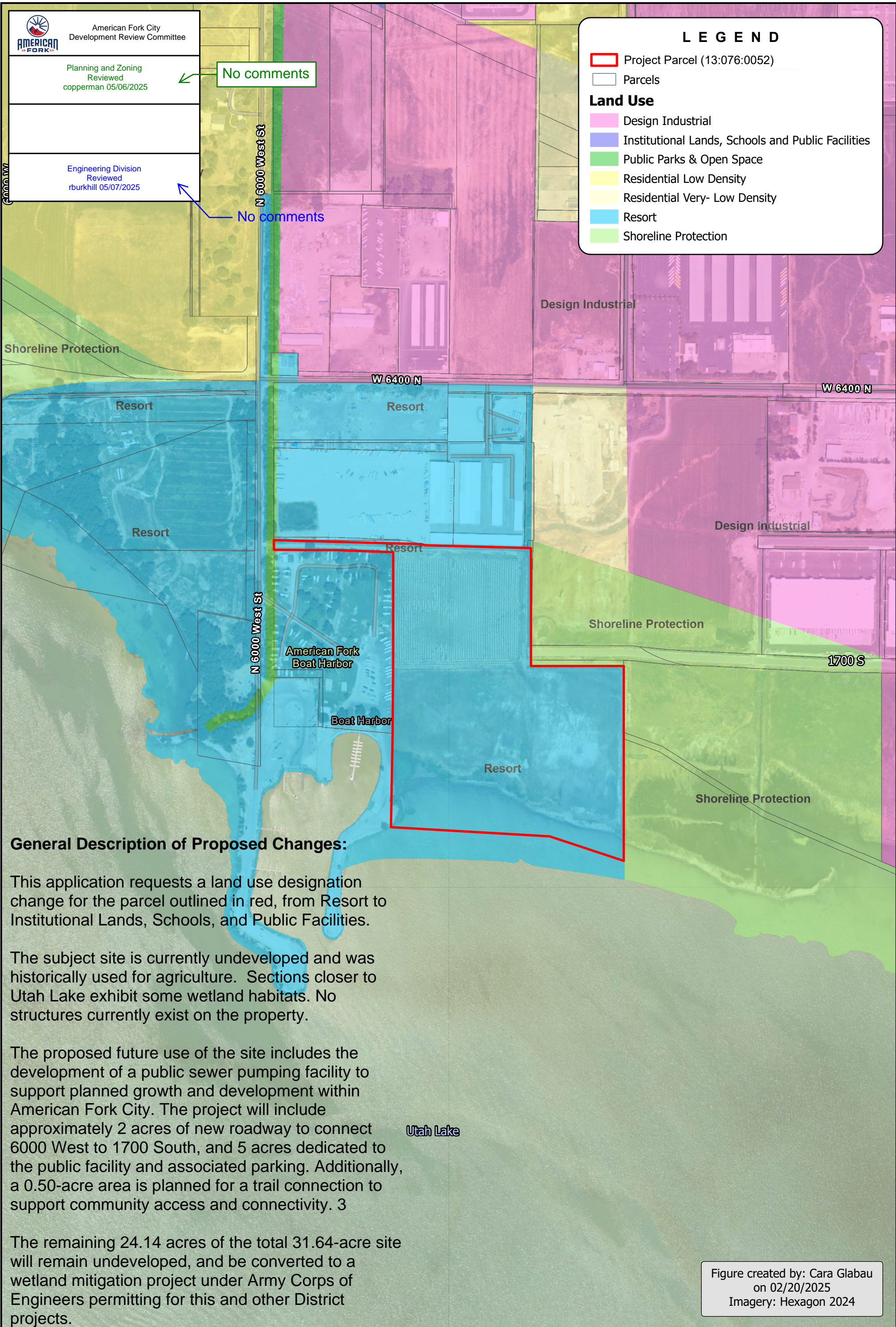


Figure created by: Cara Glabau
on 02/20/2025
Imagery: Hexagon 2024









American Fork City
Development Review Committee

Planning and Zoning
Reviewed
copperman 05/06/2025

No comments

Engineering Division
Reviewed
rburhill 05/07/2025

No comments

LEGEND

Project Parcel (13:076:0052)

Figure created by: Cara Glabau
on 02/20/2025
Imagery: Hexagon 2024

Agenda Topic

Review and action on an application for a Commercial Site Plan, known as 77 W Main Sign (App #2), located at 77 W Main Street, American Fork City. The Commercial Site Plan will be on approximately .32 acres and will be in the Central Commercial (CC-1) Zone.

BACKGROUND INFORMATION		
Location:		77 W Main Street
Project Type:		Site Plan
Applicants:		Breeze Stringham
Existing Land Use:		General Commercial
Proposed Land Use:		N/A
Surrounding Land Use:	North	General Commercial
	South	General Commercial
	East	General Commercial
	West	General Commercial
Existing Zoning:		CC-1
Proposed Zoning:		N/A
Surrounding Zoning:	North	CC-1
	South	CC-1
	East	CC-1
	West	CC-1

Background

The applicant has applied for a Commercial Site Plan for an existing Billboard Sign to be relocated to the adjacent property to the west, increasing the height from a previous submittal. Per Utah State Code 10-9a-513, Outdoor Advertising Structures are allowed to be relocated on the existing property or relocated to within 5,280 feet of the existing sign. Additionally, State Code allows for new signs to be built to the existing sign height up to 45'. The site plan meets these requirements.

A site plan is required, so the City is able to review the new site for any issues that may arise in the proposed new location or height.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or

occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

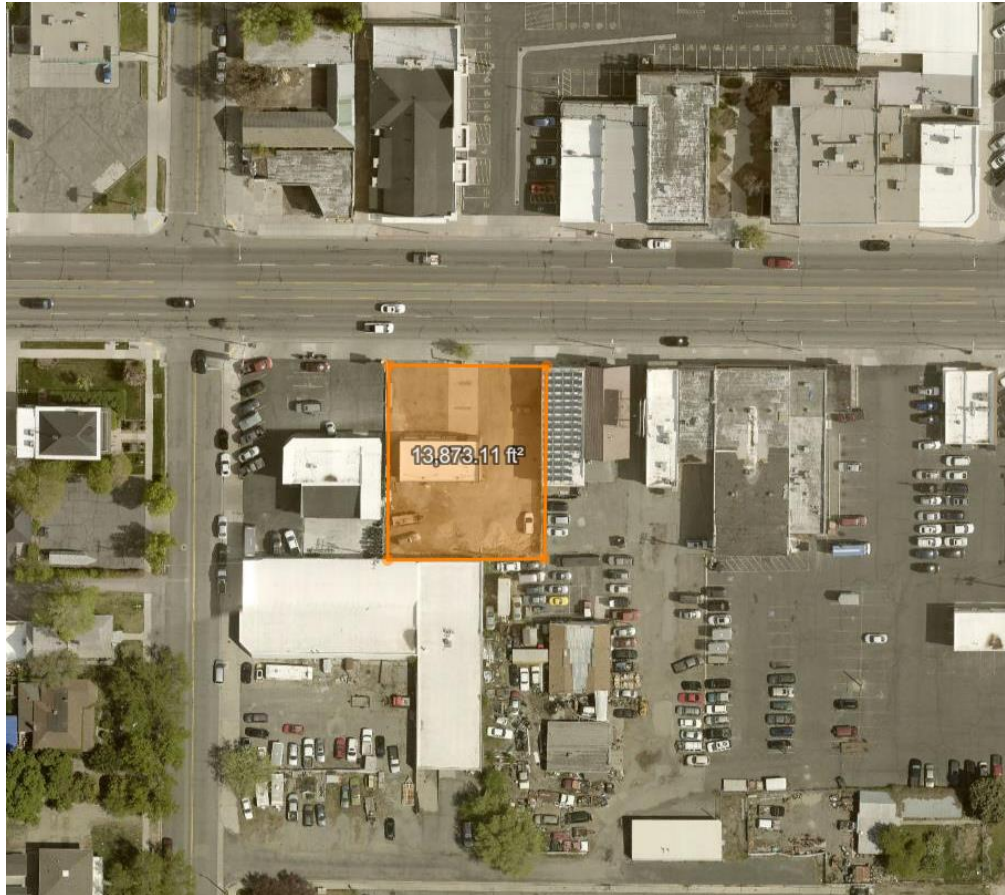
Project Conditions of Approval

1. N/A

Findings of Fact

1. The Commercial Site Plan meets the requirements of Section 17.6.101.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.

3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan meets the requirements of Section 17.6.101. Staff recommends APPROVING the application.

Potential Motions – Commercial Site Plan

Approval

I move to approve the proposed Commercial Site Plan, located at 77 W Main Street, American Fork City, in the Central Commercial (CC-1) Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Commercial Site Plan, located at 77 W Main Street, American Fork City, in the Central Commercial (CC-1) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at 77 W Main Street, American Fork City, in the Central Commercial (CC-1) Zone and instruct staff/developer to.....

FOUO (CONTAINS INFORMATION
AND INCLUDES FBI PROPRIETARY
DATA) JULY 2010 (P. 11 OF 11)

MAIN STREET
(PUBLIC ROADWAY)

Journal of Clinical Pharmacy and Therapeutics
© 2005 Blackwell Publishing Ltd
0269-4727/05 \$30.00
DOI: 10.1111/j.1365-2702.2005.01511.x

Breeze Stringham
breeze@reaganusa.com
801.870.6493

American Fork City Development Review		American Fork City Development Review	
Senior/Storm Drain Division Reviewed athaya 05/22/2025		Health/Storm Reviewed athaya 05/22/2025	
ICD/ID Reviewed trevelyan 05/27/2025		Planning and Zoning Reviewed Arnie Road 05/29/2025	
Public Infrastructure Reviewed dowdell 05/29/2025		Engineering Division Reviewed dowdell 05/29/2025	
Communications Reviewed Munich 05/27/2025		Street Division Reviewed athaya 05/29/2025	

2007/01/25 09:41:13

- No comments

CLIENT
READAN OUTDOORS ADVERTISING


ELEVATED

1994-1995

Agenda Topic

Review and action on an application for a Commercial Site Plan, known as T-Mobile Upgrade (880629-685419), located at 1084 E Pacific Drive, American Fork City. The Commercial Site Plan will be on approximately .97 acres and will be in the Planned Commercial (GC-2) Zone.

BACKGROUND INFORMATION		
Location:		1084 E Pacific Drive
Project Type:		Commercial Site Plan
Applicants:		Chyna Gudgel - T-Mobile Agent
Existing Land Use:		Design Commercial
Proposed Land Use:		N/A
Surrounding Land Use:	North	Design Commercial
	South	Design Commercial
	East	Pleasant Grove Territory
	West	Design Commercial
Existing Zoning:		GC-2
Proposed Zoning:		N/A
Surrounding Zoning:	North	GC-2; Unincorporated Territory
	South	GC-2
	East	Pleasant Grove Territory
	West	GC-2

Background

The applicant has applied for a Commercial Site Plan for the property at 1084 E Pacific Drive. The proposal looks to provide upgrades to an existing monopole tower for T-Mobile's broadband connectivity and capacity to the area.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

1. Address all outstanding DRC comments

Findings of Fact

1. The Commercial Site Plan MEETS the requirements of Section 17.6.101.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

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2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
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11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Commercial Site Plan

Approval

I move to approve the proposed Commercial Site Plan, located at located at 1084 E Pacific Drive, American Fork City, in the Planned Commercial (GC-2) Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Commercial Site Plan, located at located at 1084 E Pacific Drive, American Fork City, in the Planned Commercial (GC-2) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at located at 1084 E Pacific Drive, American Fork City, in the Planned Commercial (GC-2) Zone, and instruct staff/developer to.....

T-Mobile

BUSINESS UNIT #: 880629
SITE ADDRESS: 1084 PACIFIC DRIVE, AMERICAN FORK, UT 84003
COUNTY: UTAH
SITE TYPE: MONOPOLE
TOWER HEIGHT: 60'-0"

T-Mobile



Kimley»Horn

T-MOBILE SITE NUMBER:
SL08046A

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	02/07/25	TMK	CONSTRUCTION	MCK
1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	02/07/25	TMK	CONSTRUCTION	MCK
1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

T-1

3

DRAWING INDEX

PROJECT DESCRIPTION

See comments on
sheets C1.1 and C1.2

 <h1>American Fork City Development Review</h1> 	
Public Infrastructure Reviewed dhoward 06/02/2025	Planning and Zoning Reviewed copperman 06/03/2025 
EC/LID Reviewed tmezenen 06/03/2025	Fire Department Reviewed M. Sacco 06/04/2025
Sewer/Storm Drain Division Reviewed ahardy 06/04/2025	Engineering Division Reviewed burkhill 06/04/2025 
Engineering Division Reviewed ksmith 06/04/2025	Streets Division Reviewed ehyde 06/04/2025
Communications Reviewed MHunsaker 06/03/2025	Water/PI Division Reviewed jbrems 06/03/2025

Next Step:

**Proceed to Planning Commission
06/18/2025**

_____[Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

_____[Applicant Initial] This is the _____[Ex: 1st] complete re-submittal of the subdivision constituting the start of the _____[Same Number] Review Cycle.



PROJECT TEAM

PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN NOC AT (800) 788-7011 & CROWN CONSTRUCTION MANAGER.

CC T-MOBILE NATIONAL ANTENNA AMENDMENT 2025-01-10

CROWN CASTLE USA INC. SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED– NO WORK SHALL COMMENCE PRIOR TO CROWN CASTLE USA INC. WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN CASTLE USA INC. NOC AT 800–788–7011 & THE CROWN CASTLE USA INC. CONSTRUCTION MANAGER.
2. "LOOK UP" – CROWN CASTLE USA INC. SAFETY CLIMB REQUIREMENT:
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR CROWN CASTLE USA INC. POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND CROWN CASTLE USA INC. STANDARD CED–STD–10253, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA–322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH QAS–STD–10068 "INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON CROWN CASTLE USA INC. TOWER SITE," CED–STD–10294 "STANDARD FOR INSTALLATION OF MOUNTS AND APPURTENANCES," AND LATEST VERSION OF ANSI/TIA–1019–A–2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY CROWN CASTLE USA INC. PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, TOWER OWNER, CROWN CASTLE USA INC., AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GREENFIELD GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL–OF–POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (I.E. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON–ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 FT. OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON–METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (I.E., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON–METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD–WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY).

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER: T–MOBILE
TOWER OWNER: CROWN CASTLE USA INC.
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CROWN CASTLE.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND CROWN CASTLE PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION AND IS TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF CROWN CASTLE USA INC.
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST–IN–PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°f AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE–THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER–TO–CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
#4 BARS AND SMALLER.....40 ksi
#5 BARS AND LARGER.....60 ksi
6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3"
CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 BARS AND LARGER.....2"
#5 BARS AND SMALLER.....1–1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
SLAB AND WALLS.....3/4"
BEAMS AND COLUMNS.....1–1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR–CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (I.E. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) W/UL TYPE THHW, THWN, THWN–2, XHHW, XHHW–2, THW, THW–2, RHW, OR RHW–2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN–2, XHHW, XHHW–2, THW, THW–2, RHW, OR RHW–2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI–CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI–CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN–2, XHHW, XHHW–2, THW, THW–2, RHW, OR RHW–2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP–STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT) OR METAL–CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC ON STRAIGHTS AND SCHEDULE 80 PVC UNDER ALL TRAFFIC EASEMENTS AND ALL ELBOWS/90s. ABOVE GRADE CONDUIT TO BE SCH 80 PVC OR IMC/RMC CONDUIT. EMT IS ALLOWED AT STUB UP LOCATIONS AND INDOORS ONLY.
18. LIQUID–TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID–TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION–TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON–PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (I.E. POWDER–ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY–COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3R (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY–COATED OR NON–CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR CROWN CASTLE USA INC. BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "T–MOBILE".
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE. PULL CORD INSTALLED.

CONDUCTOR COLOR CODE		
SYSTEM	CONDUCTOR	COLOR
120/240V, 1Ø	A PHASE	BLACK
	B PHASE	RED
	NEUTRAL	WHITE
	GROUND	GREEN
120/208V, 3Ø	A PHASE	BLACK
	B PHASE	RED
	C PHASE	BLUE
	NEUTRAL	WHITE
	GROUND	GREEN
277/480V, 3Ø	A PHASE	BROWN
	B PHASE	ORANGE OR PURPLE
	C PHASE	YELLOW
	NEUTRAL	GREY
	GROUND	GREEN
DC VOLTAGE	POS (+)	RED**
	NEG (–)	BLACK**

* SEE NEC 210.5(C)(1) AND (2)
** POLARITY MARKED AT TERMINATION

ABBREVIATIONS:

ANT	ANTENNA
(E)	EXISTING
FIF	FACILITY INTERFACE FRAME
GEN	GENERATOR
GPS	GLOBAL POSITIONING SYSTEM
GSM	GLOBAL SYSTEM FOR MOBILE
LTE	LONG TERM EVOLUTION
MGB	MASTER GROUND BAR
MW	MICROWAVE
(N)	NEW
NEC	NATIONAL ELECTRIC CODE
(P)	PROPOSED
PP	POWER PLANT
QTY	QUANTITY
RECT	RECTIFIER
RBS	RADIO BASE STATION
RET	REMOTE ELECTRIC TILT
RFDS	RADIO FREQUENCY DATA SHEET
RRH	REMOTE RADIO HEAD
RUU	REMOTE RADIO UNIT
SIAD	SMART INTEGRATED DEVICE
TMA	TOWER MOUNTED AMPLIFIER
TYP	TYPICAL
UMTS	UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
W.P.	WORK POINT

APWA UNIFORM COLOR CODE:

WHITE	PROPOSED EXCAVATION
PINK	TEMPORARY SURVEY MARKINGS
RED	ELECTRIC POWER LINES, CABLES, CONDUIT, AND LIGHTING CABLES
YELLOW	GAS, OIL, STEAM, PETROLEUM, OR GASEOUS MATERIALS
ORANGE	COMMUNICATION, ALARM OR SIGNAL LINES, CABLES, OR CONDUIT AND TRAFFIC LOOPS
BLUE	POTABLE WATER
PURPLE	RECLAIMED WATER, IRRIGATION, AND SLURRY LINES
GREEN	SEWERS AND DRAIN LINES

T Mobile

CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:

SL08046A

BU #: 880629

CROWN CASTLE SITE NAME:

RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	02/07/25	TMK	CONSTRUCTION	MCK
1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25

Exp. 03/31/27

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET NUMBER:

T-2

REVISION:

3

CC T-MOBILE NATIONAL ANTENNA AMENDMENT_2025-01-10

T Mobile

CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

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BU #: 880629
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EXISTING 60'-0"
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3	05/27/25	DMW	CONSTRUCTION	MCK

FOR REFERENCE
PURPOSES ONLY

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TO ALTER THIS DOCUMENT.

SHEET NUMBER:

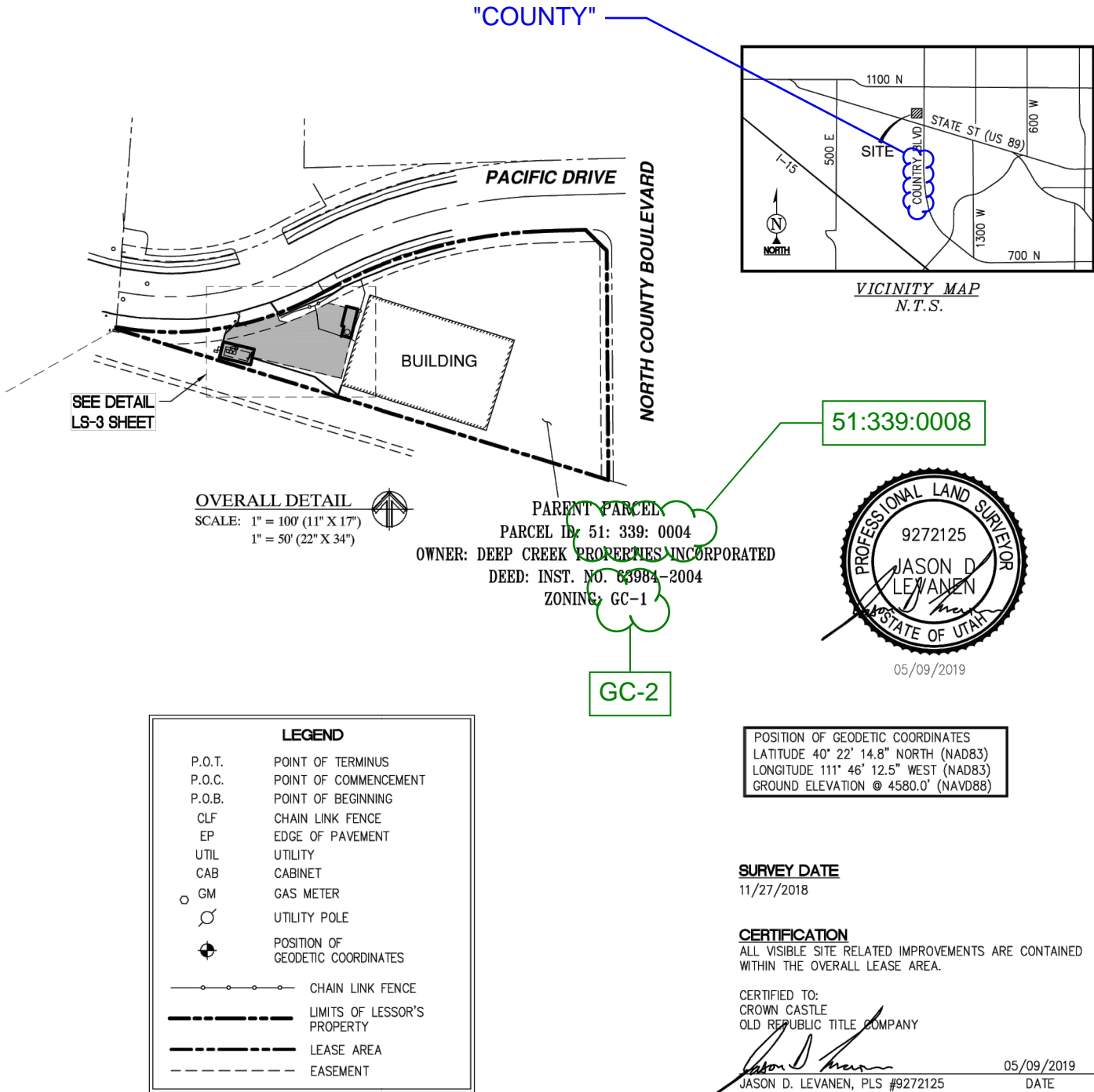
C-1.1

REVISION:

3

SURVEYOR'S NOTES

- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT ANY INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN A LIMITED TITLE REPORT, ORDER NO. 01-18070077-01S, ISSUED BY OLD REPUBLIC TITLE COMPANY, DATED DECEMBER 12, 2018. ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 (2011) COORDINATE SYSTEM UTAH STATE PLANE CENTRAL COORDINATE ZONE, DETERMINED BY GPS OBSERVATIONS.
- THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X" ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #4955170120B, DATED 07/17/2002.
- PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY RAW STATIC GPS DATA PROCESSED ON THE NGS OPUS WEBSITE. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.
- THE PURPOSE OF THIS SURVEY IS TO ESTABLISH OR DETERMINE A CROWN CASTLE LEASE PARCEL & ASSOCIATED EASEMENTS. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION PROVIDED BY TITLE AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY. LEASE CORNERS WERE NOT FOUND OR SET AT THE TIME OF THE FIELD SURVEY. PER CROWN CASTLE REQUIREMENTS CORNERS WILL BE SET AT THE CLIENTS DISCRETION UPON FINAL APPROVAL OF THE SURVEY.



CROWN CASTLE

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO CROWN CASTLE. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO CROWN CASTLE IS STRICTLY PROHIBITED.

SITE NAME
RLK PROPERTIES

B.U.N.
880629

SITE ADDRESS
1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003
UTAH COUNTY

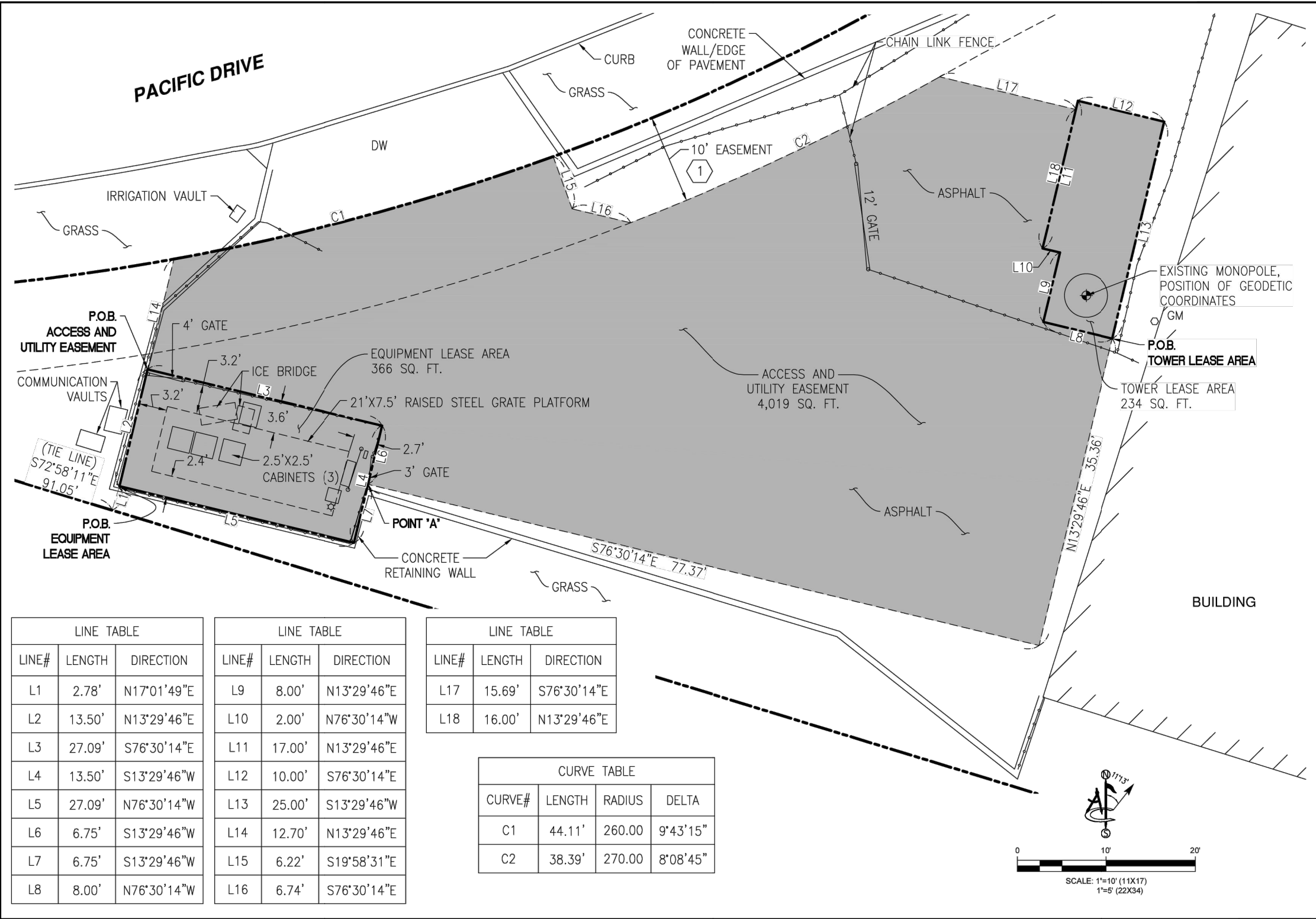


ambit consulting
410 E. SOUTHERN AVE. TEMPE, AZ 85282
PH. (480) 659-4072

REV.	DATE	DESCRIPTION	BY
0	02/08/19	SUBMITTAL	DH
1	02/22/19	REVISED EASEMENT	DH
2	03/28/19	REVISED DESCRIPTIONS	DH

SHEET TITLE
TITLE

SHEET NO.
LS-1



PROPRIETARY INFORMATION

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RLK PROPERTIES

B.U.N.
880629

SITE ADDRESS
1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003
UTAH COUNTY

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410 E. SOUTHERN AVE. TEMPE, AZ 85282
PH. (480) 659-4072

REV.	DATE	DESCRIPTION	BY
0	02/08/19	SUBMITTAL	DH
1	02/22/19	REVISED EASEMENT	DH
2	03/28/19	REVISED DESCRIPTIONS	DH

SHEET TITLE
SITE
DETAIL

SHEET NO.
LS-3

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

BU #: **880629**
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

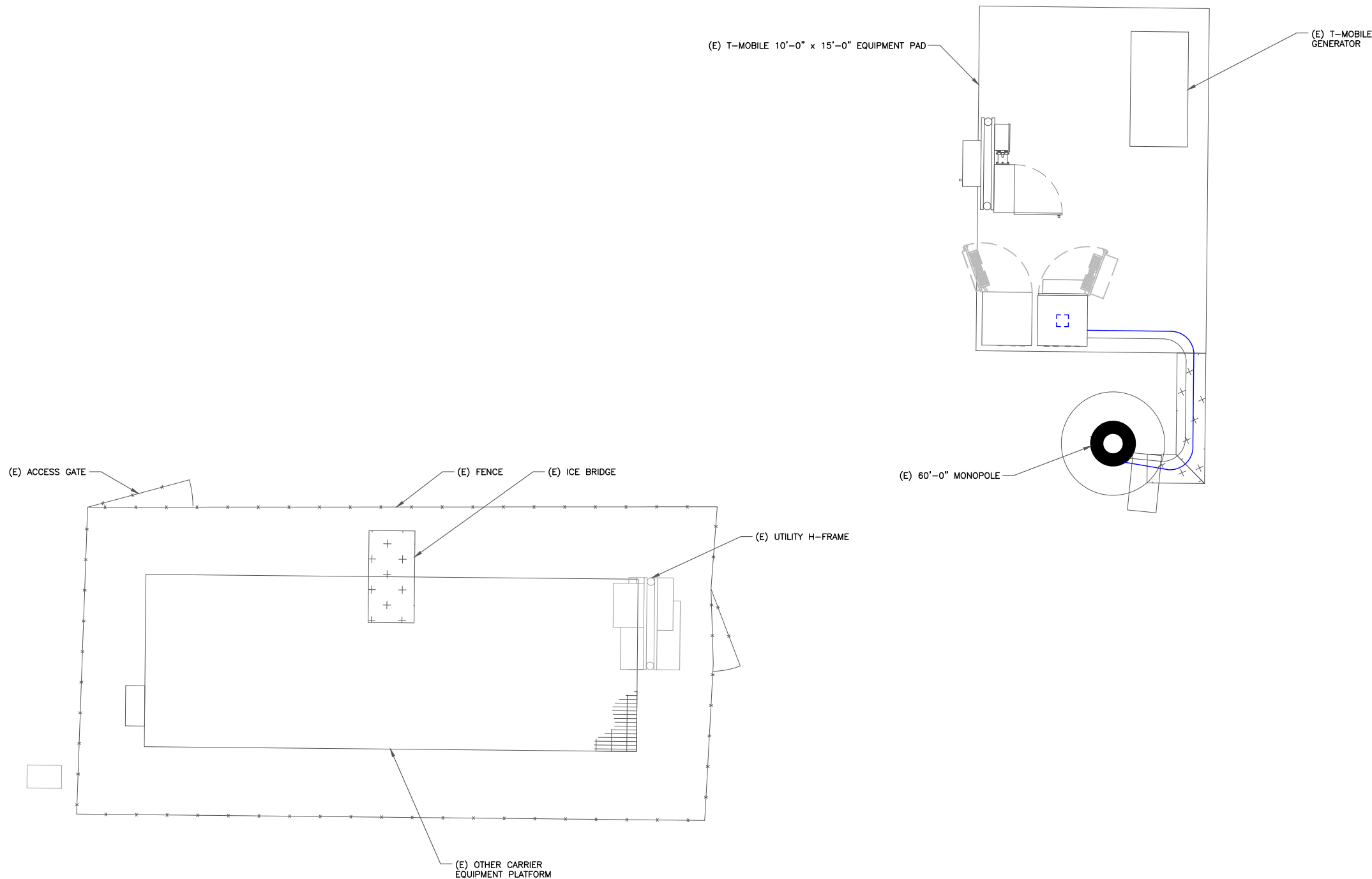
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1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK

**FOR REFERENCE
PURPOSES ONLY**

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SHEET NUMBER: C-1.3	REVISION: 3
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CC T-MOBILE NATIONAL ANTENNA AMENDMENT_2025-01-10



EQUIPMENT LEGEND:

- EXISTING
- TO BE RELOCATED/REMOVED
- NEW/RELOCATED

T Mobile

CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

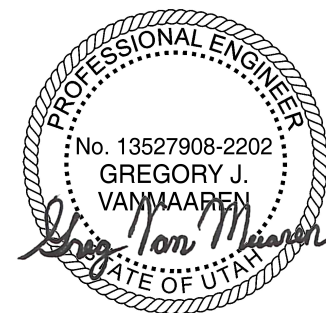
BU #: **880629**
CROWN CASTLE SITE NAME:
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1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

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1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
Exp. 03/31/27

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SHEET NUMBER:

C-1.4

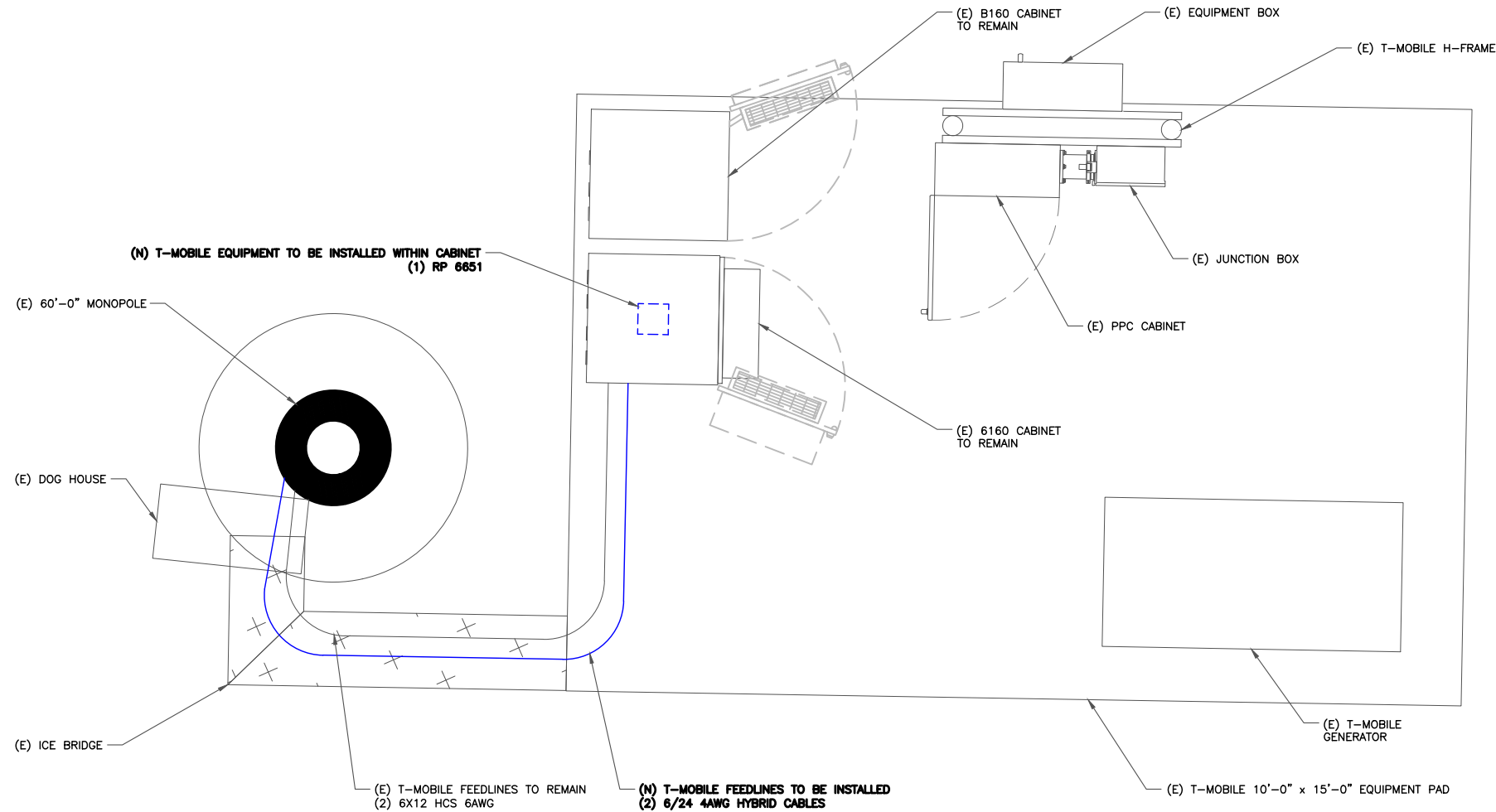
REVISION:

3

1 COMPOUND PLAN
SCALE: 3/8"=1'-0" (FULL SIZE)
3/16"=1'-0" (11x17)



CC T-MOBILE NATIONAL ANTENNA AMENDMENT_2025-01-10



EQUIPMENT LEGEND:	
<div></div>	EXISTING
<div></div>	TO BE RELOCATED/REMOVED
<div></div>	NEW/RELOCATED

T Mobile

CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

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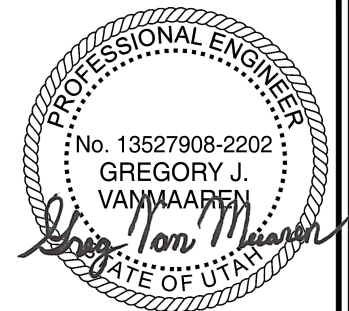
BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

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3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
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SHEET NUMBER:

C-1.5

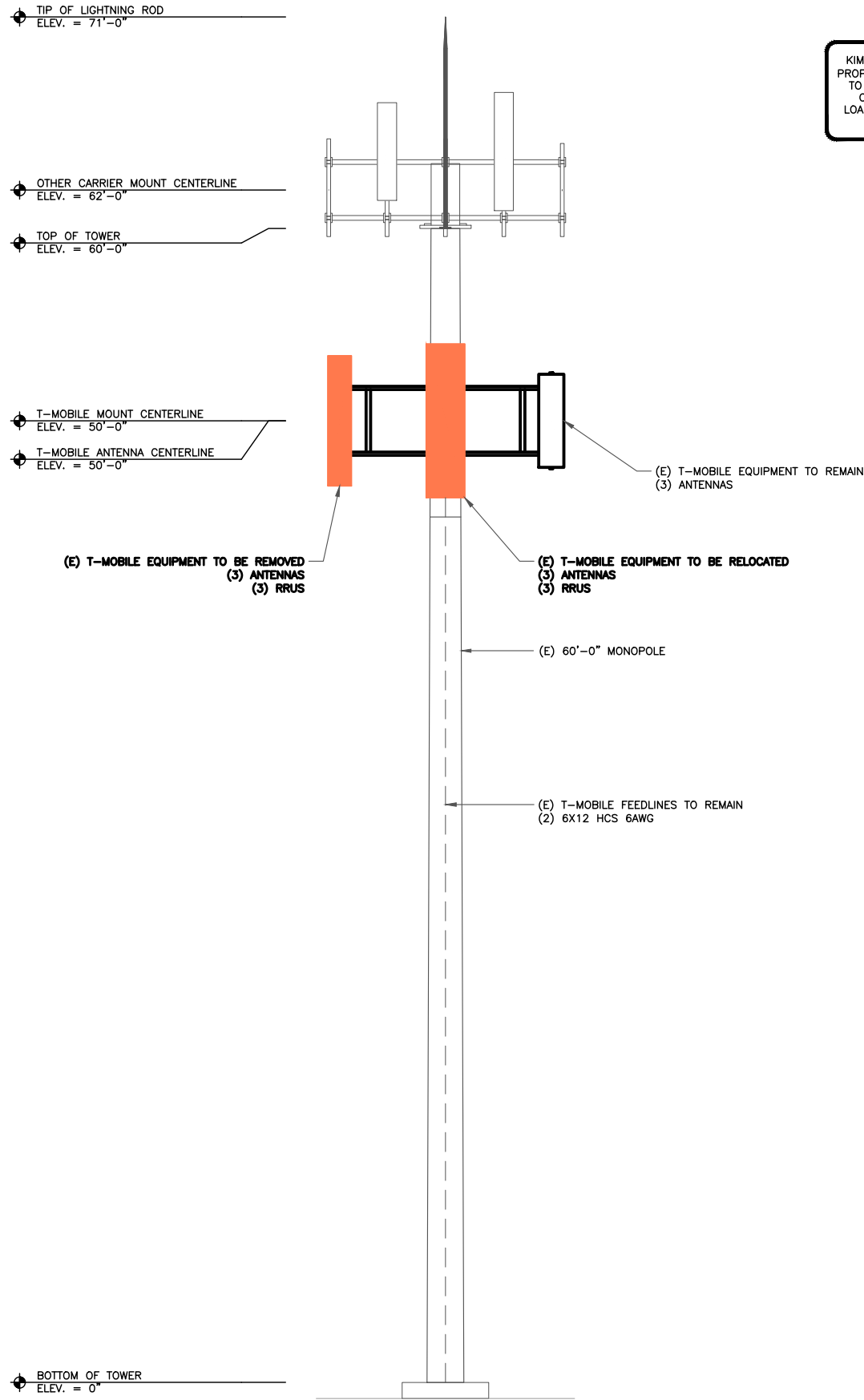
REVISION:

3

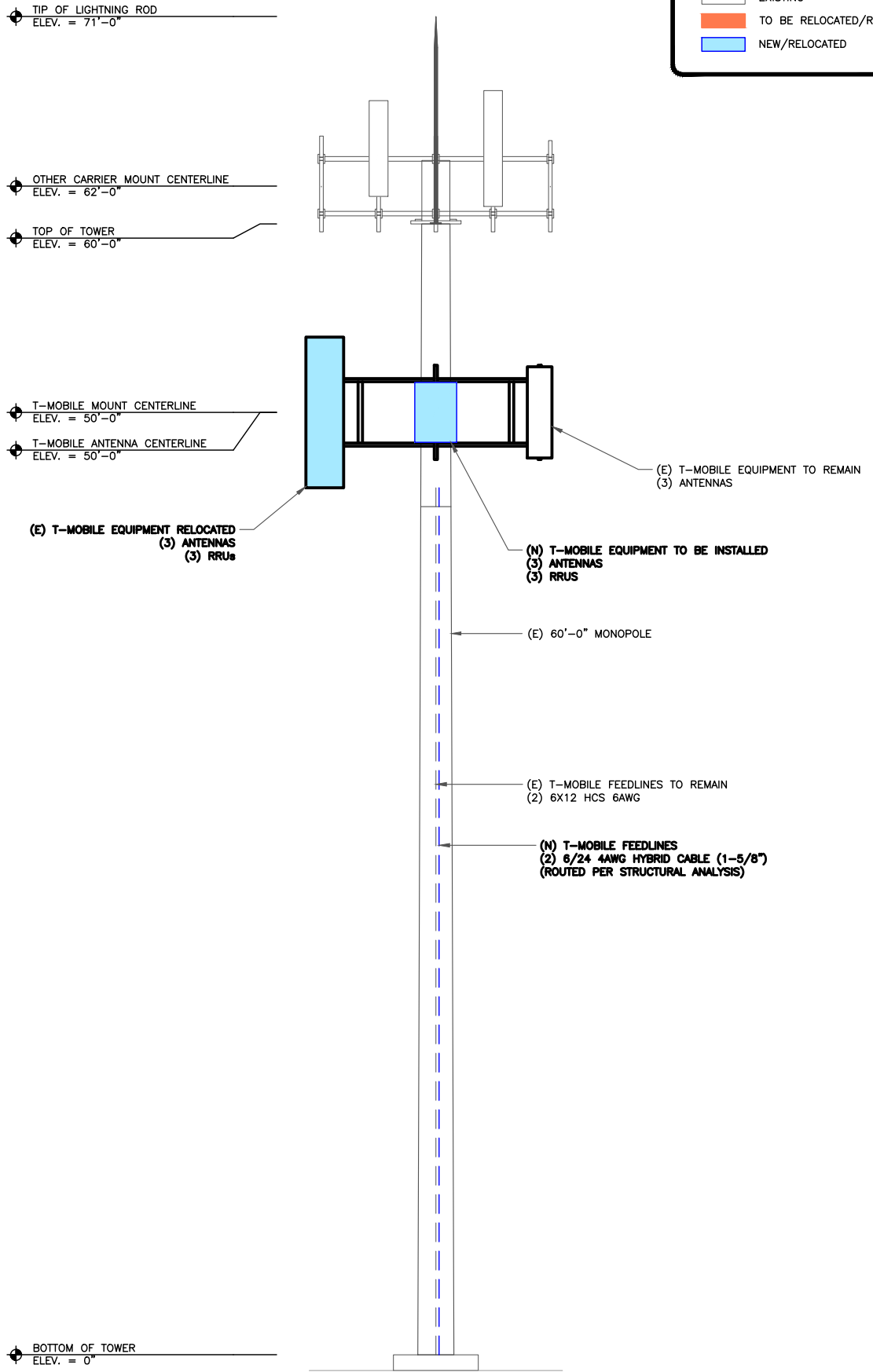
1 EXISTING EQUIPMENT PLAN
SCALE: 3/4"=1'-0" (FULL SIZE)
3/8"=1'-0" (11x17)



CC T-MOBILE NATIONAL ANTENNA AMENDMENT_2025-01-10



KIMLEY-HORN HAS NOT ANALYZED THE PROPOSED ANTENNA MOUNT(S) OR TOWER TO DETERMINE ADEQUATE STRUCTURAL CAPACITY FOR PROPOSED CARRIER LOADING. STRUCTURAL ANALYSES TO BE DONE BY OTHERS.



EQUIPMENT LEGEND:

- EXISTING
- TO BE RELOCATED/REMOVED
- NEW/RELOCATED



Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
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1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK

PROFESSIONAL ENGINEER

No. 13527908-2202
GREGORY J. VANMAAREN
STATE OF UTAH

05/27/25
Exp. 03/31/27

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SHEET NUMBER: **C-2**

REVISION: **3**

1 EXISTING ELEVATION VIEW

SCALE: 1/16"=1'-0" (FULL SIZE)
1/32"=1'-0" (11x17)

2 FINAL ELEVATION VIEW

SCALE: 1/16"=1'-0" (FULL SIZE)
1/32"=1'-0" (11x17)

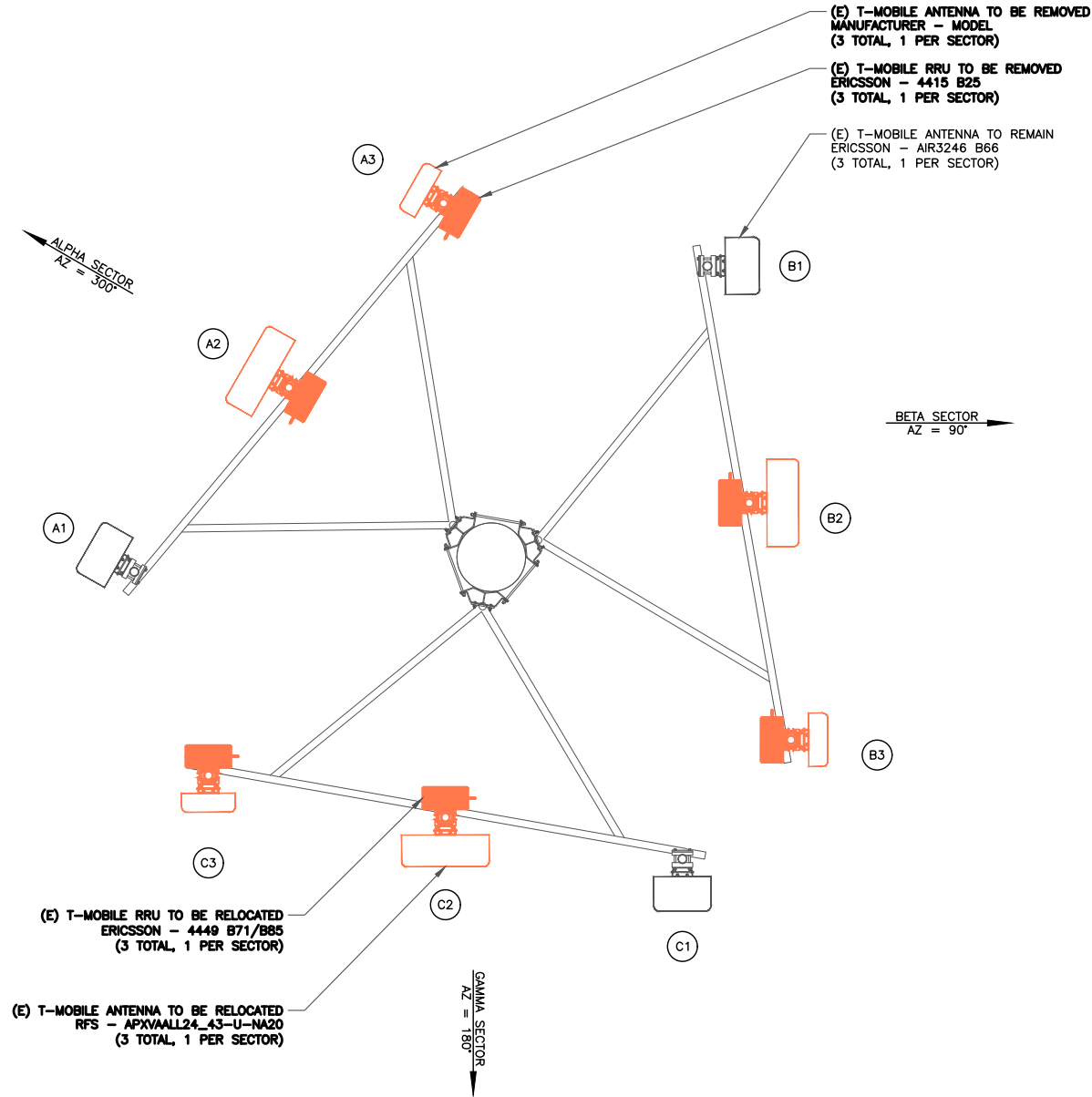
CC T-MOBILE NATIONAL ANTENNA AMENDMENT_2025-01-10

NOTE:

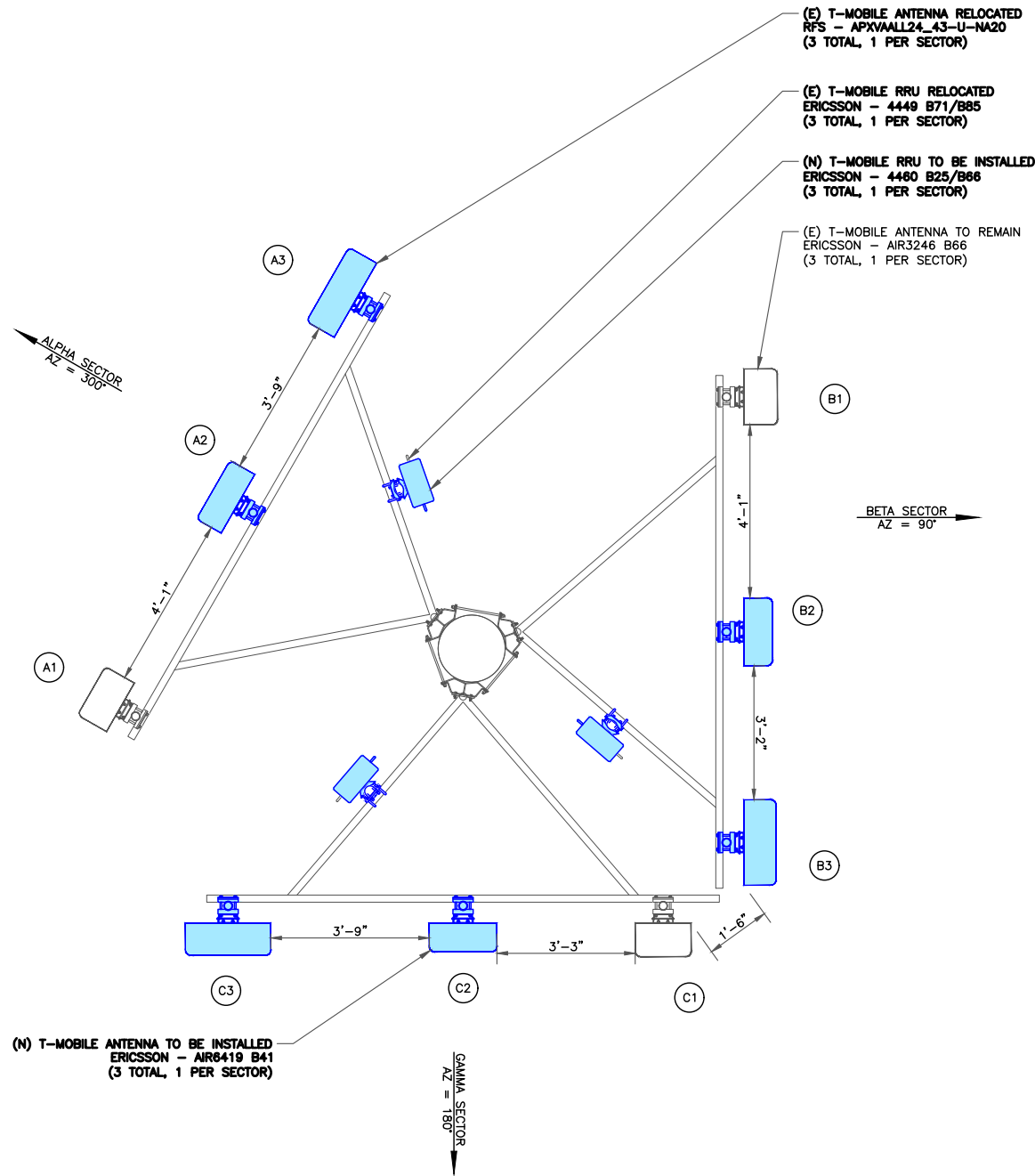
KIMLEY-HORN HAS NOT ANALYZED THE ANTENNA MOUNT(S) TO DETERMINE ADEQUATE STRUCTURAL CAPACITY FOR PROPOSED CARRIER LOADING. MOUNT ANALYSIS TO BE DONE BY OTHERS.

EQUIPMENT LEGEND:

- EXISTING
TO BE RELOCATED/REMOVED
NEW/RELOCATED



1 EXISTING ANTENNA PLAN @ 50'-0"
SCALE: 1/2"=1'-0" (FULL SIZE)
1/4"=1'-0" (11x17)



2 FINAL ANTENNA PLAN @ 50'-0"
SCALE: 1/2"=1'-0" (FULL SIZE)
1/4"=1'-0" (11x17)



T Mobile

CROWN
CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

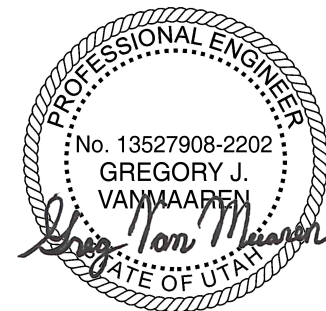
BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
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1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
Exp. 03/31/27

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SHEET NUMBER:

C-3

REVISION:

3

CC T-MOBILE NATIONAL ANTENNA AMENDMENT_2025-01-10

FINAL EQUIPMENT SCHEDULE (GC TO VERIFY WITH CURRENT RFDS)																		
POSITION	ANTENNA				RADIO			DIPLEXER			TMA		SURGE PROTECTION		CABLES			
	TECH	STATUS/MANUFACTURER MODEL	AZIMUTH	RAD CENTER	QTY.	STATUS/MODEL	LOCATION	QTY.	STATUS	LOCATION	QTY.	STATUS	QTY.	STATUS/MODEL	QTY.	STATUS/TYPE	SIZE	LENGTH
A1	L2100	(E) ERICSSON – AIR3246 B66	300°	50'–0°	–	–	–	–	–	–	–	–	–	–	2 2	(N) 6/24 HYBRID (E) 6X12 6AWG	1–5/8" 1–3/8"	55'–0" 55'–0"
A2	N2500	(N) ERICSSON – AIR6419 B41	300°	50'–0°	–	–	–	–	–	–	–	–	–	–		SHARED	–	–
A3	N600 L600 L700 L1900 G1900 N1900	(E) RFS – APXVAARR24_43–U–NA20	300°	50'–0°	1	(E) ERICSSON – 4449 B71	TOWER	–	–	–	–	–	–	–	–	SHARED	–	–
					1	(N) ERICSSON – 4460 B25	TOWER											
B1	L2100	(E) ERICSSON – AIR3246 B66	90°	50'–0°	–	–	–	–	–	–	–	–	–	–	–	SHARED	–	–
B2	N2500	(N) ERICSSON – AIR6419 B41	90°	50'–0°	–	–	–	–	–	–	–	–	–	–	–	SHARED	–	–
B3	N600 L600 L700 L1900 G1900 N1900	(E) RFS – APXVAARR24_43–U–NA20	90°	50'–0°	1	(E) ERICSSON – 4449 B71	TOWER	–	–	–	–	–	–	–	–	SHARED	–	–
					1	(N) ERICSSON – 4460 B25	TOWER											
G1	L2100	(E) ERICSSON – AIR3246 B66	180°	50'–0°	–	–	–	–	–	–	–	–	–	–	–	SHARED	–	–
G2	N2500	(N) ERICSSON – AIR6419 B41	180°	50'–0°	–	–	–	–	–	–	–	–	–	–	–	SHARED	–	–
G3	N600 L600 L700 L1900 G1900 N1900	(E) RFS – APXVAARR24_43–U–NA20	180°	50'–0°	1	(E) ERICSSON – 4449 B71	TOWER	–	–	–	–	–	–	–	–	SHARED	–	–
					1	(N) ERICSSON – 4460 B25	TOWER											

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

BU #: **880629**
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

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2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK

05/27/25
Exp. 03/31/27

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C-4

REVISION:
3

T Mobile

CROWN
CASTLE

Kimley»Horn

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RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

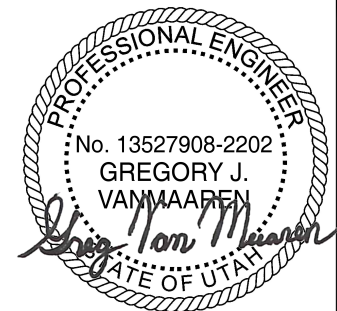
BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
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1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
Exp. 03/31/27

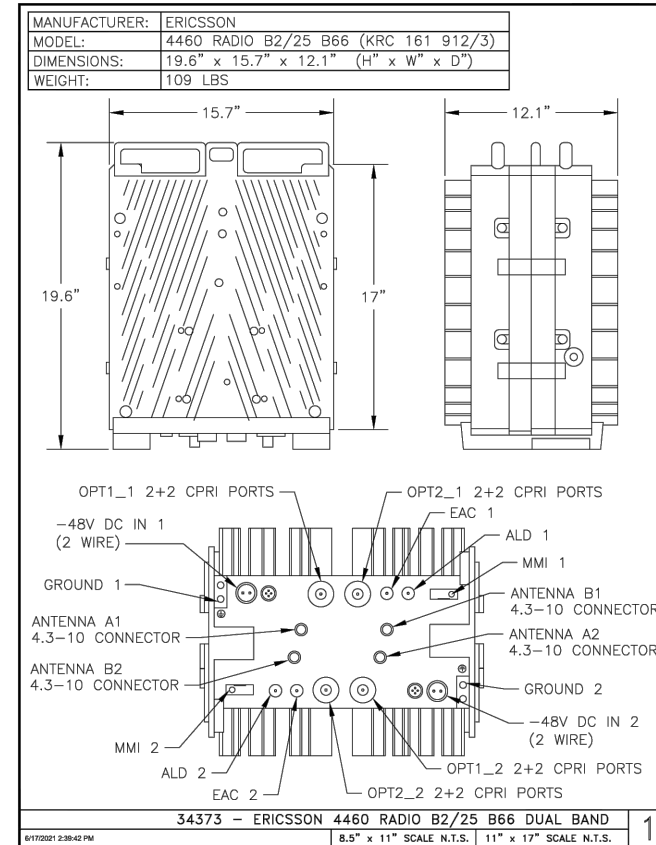
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SHEET NUMBER:

C-5.1

REVISION:

3



3 NOT USED
SCALE: NOT TO SCALE

2 NOT USED
SCALE: NOT TO SCALE

1 NOT USED
SCALE: NOT TO SCALE

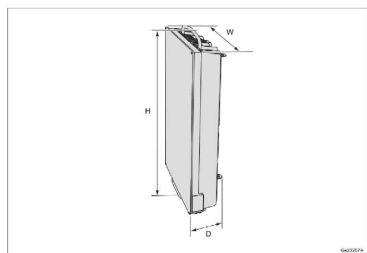


Figure 2 AIR Dimensions

Table 8 AIR Dimensions

AIR Unit Type	Height (H) x Width (W) x Depth (D)
AIR 6419 B40	929 x 586 x 208 mm ⁽¹⁾
AIR 6419 B41	871 x 586 x 203 mm ⁽¹⁾
AIR 6419 B42	796 x 488 x 186 mm ⁽²⁾

(1) Dimensions without protrusions: 852 x 586 x 168 mm

(2) Dimensions without protrusions: 717 x 488 x 148 mm

AIR 6419 B41	Vertical Beamwidth	38±3°	38±3°
	Horizontal Beamwidth	28±2°	28±2°
	Digital Downlink	Fixed 6°	Fixed 6°
	Vertical Beam Pointing Error	± 1°	± 1°
	Horizontal Beam Pointing Direction	8±1°	8±1°
	ERP (Typical)	2 x 68 dBm	1 x 71.5 dBm
	Vertical Side Lobe Suppression	12 dB	12 dB
	Front to Back Ratio	-	-
	Beam Parallelity	± 10 dB	n/a

Table 9 AIR Weight

AIR Unit Type	Unit Weight ⁽¹⁾	Mounting Kit Weight	
		SXX 109 2015/1	SXX 109 2016/1
AIR 6419 B40	29.5 kg	4.4 kg	5.2 kg
AIR 6419 B41	29.5 kg	4.4 kg	5.2 kg
AIR 6419 B42	28.0 kg	4.4 kg	5.2 kg

(1) The weight is given with ±5% accuracy.

Unit (DC Powered)	Output Power	Maximum Load Current at -56 V DC	Maximum Allowed Fuse Rating ⁽²⁾
AIR 6419 B40	328 W	48 A	38 A
AIR 6419 B41	328 W	48 A	38 A
AIR 6419 B42	328 W	48 A	38 A

AIR 6419 B41	Vertical Beamwidth	38±3°	38±3°
	Horizontal Beamwidth	65±5°	65±5°
	Digital Downlink	Fixed 6°	Fixed 6°
	Vertical Beam Pointing Error	± 3°	± 3°
	Horizontal Beam Pointing Direction	8±1°	8±1°
	ERP (Typical)	2 x 64 dBm	1 x 67 dBm
	Vertical Side Lobe Suppression	12 dB	12 dB
	Front to Back Ratio	-	-
	Beam Parallelity	± 10 dB	n/a

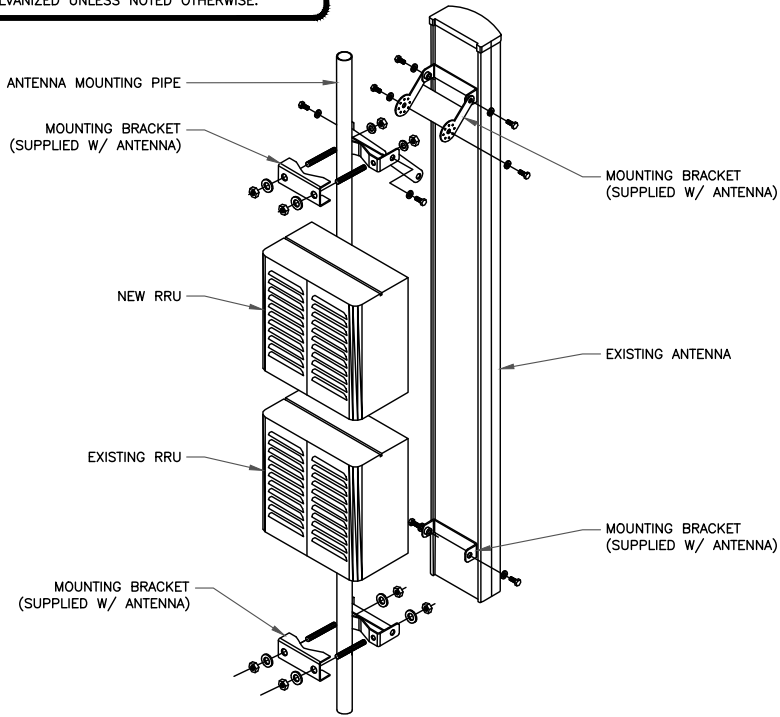
4 AIR6419 B41 ANTENNA
SCALE: NOT TO SCALE

5 NOT USED
SCALE: NOT TO SCALE

6 NOT USED
SCALE: NOT TO SCALE

INSTALLER NOTES:

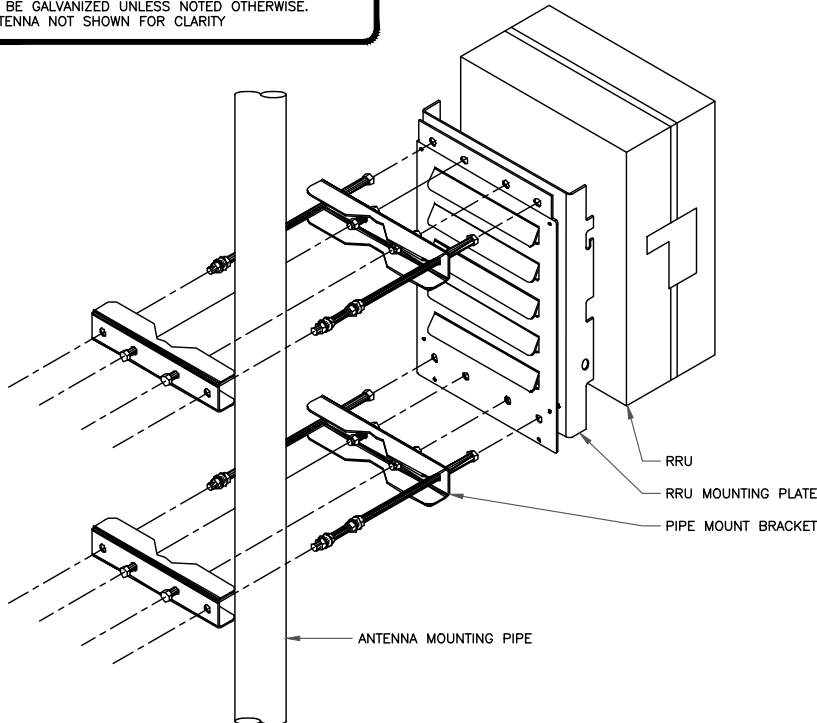
1. COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRUs RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING.
2. DO NOT OPEN RRU PACKAGES IN THE RAIN.
3. ALL PIPES, BRACKETS, AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.



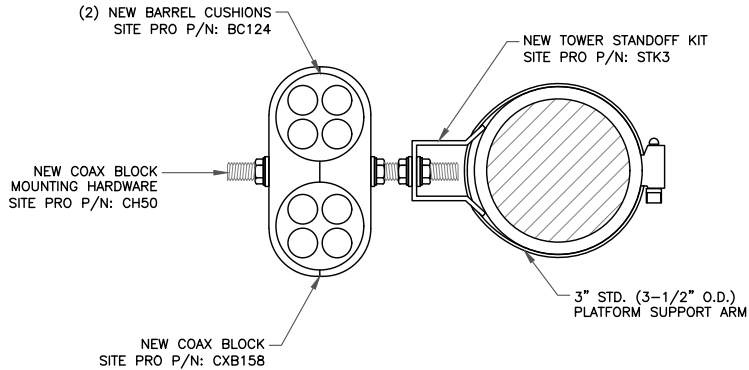
1 MOUNTING DETAIL
SCALE: NOT TO SCALE

INSTALLER NOTES:

1. COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRUs RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING.
2. DO NOT OPEN RRU PACKAGES IN THE RAIN.
3. ALL PIPES, BRACKETS, AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.
4. ANTENNA NOT SHOWN FOR CLARITY



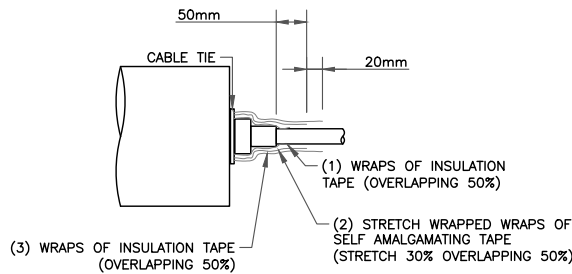
2 RRU MOUNTING DETAIL
SCALE: NOT TO SCALE



3 RF JUMPER DETAIL
SCALE: NOT TO SCALE

INSTALLER NOTE:

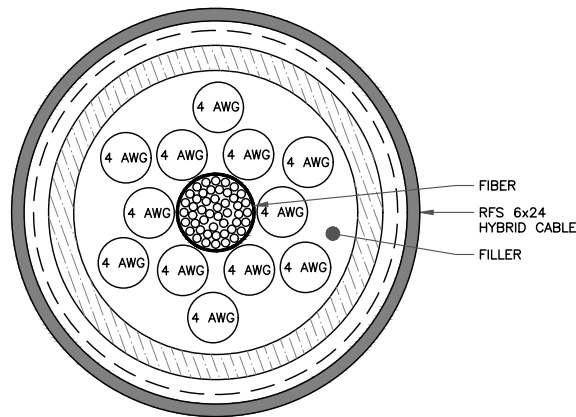
JUMPERS TO BE TORQUED TO 221.27 IN/LBS



4 RF JUMPER CONNECTION
SCALE: NOT TO SCALE

5 NOT USED
SCALE: NOT TO SCALE

PARAMETER	VALUE
NOMINAL DIAMETER (INCHES)	1.79
CROSS SECTION AREA (SQUARE INCHES)	3.13
JACKET COLOR	BLACK
WEIGHT PER LINEAR FOOT (POUNDS)	2.5



6 6x24 HYBRID TRUNK CROSS SECTION
SCALE: NOT TO SCALE

T Mobile

CROWN
CASTLE

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421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

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SL08046A

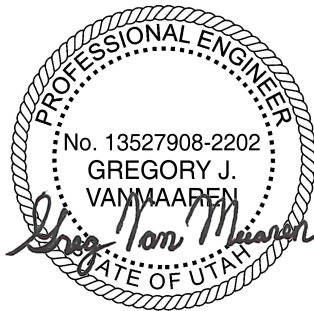
BU #: 880629
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05/27/25
Exp. 03/31/27

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SHEET NUMBER:

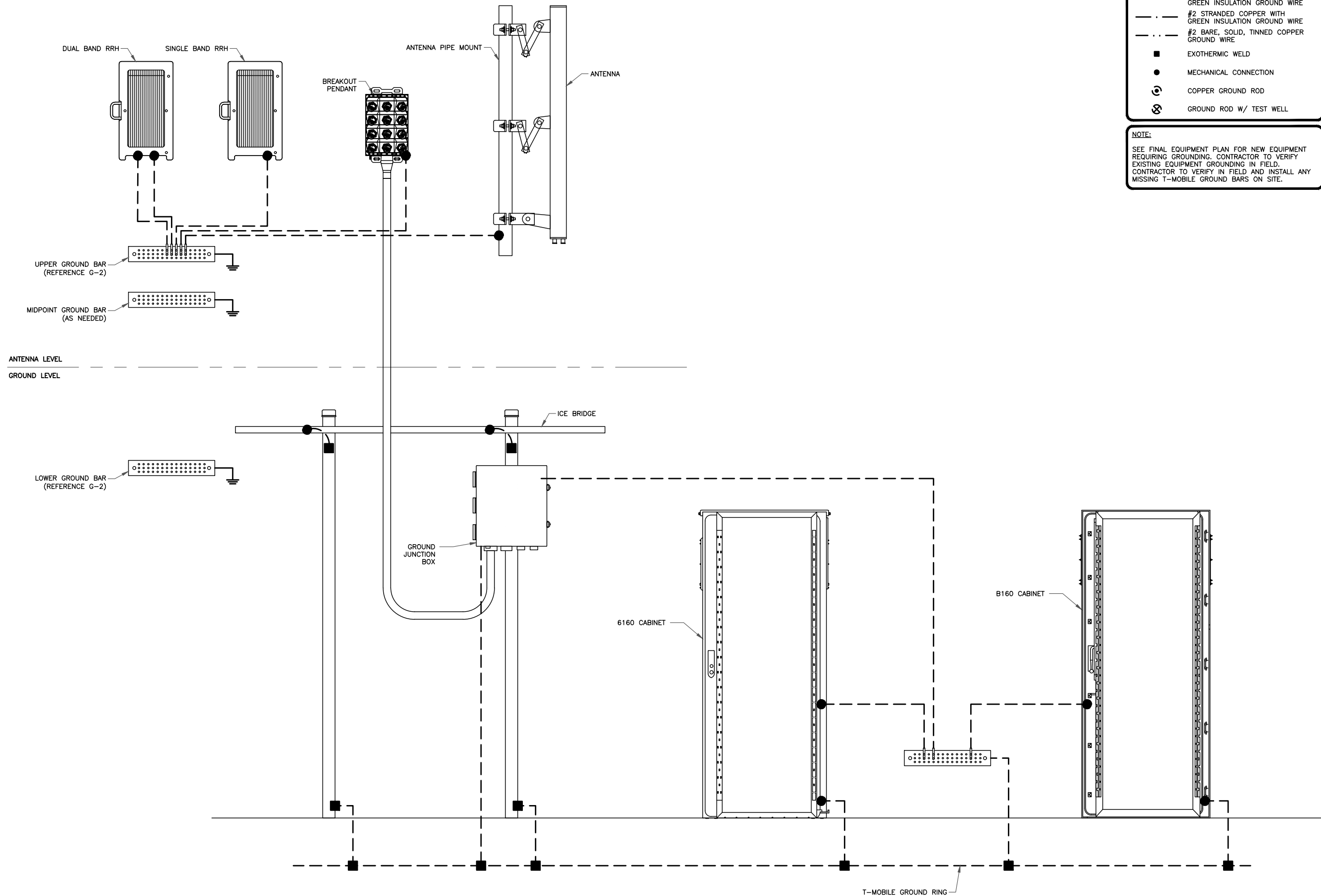
C-5.2

REVISION:

3

SKU#: N/A

CC T-MOBILE NATIONAL ANTENNA AMENDMENT_2025-01-10



1 TYPICAL FINAL GROUNDING SCHEMATIC
SCALE: NOT TO SCALE

T Mobile

CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

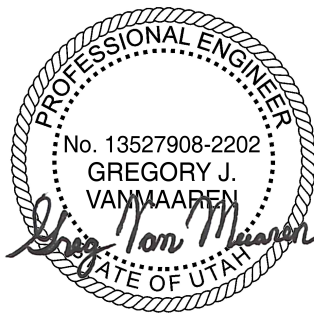
BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	02/07/25	TMK	CONSTRUCTION	MCK
1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
Exp. 03/31/27

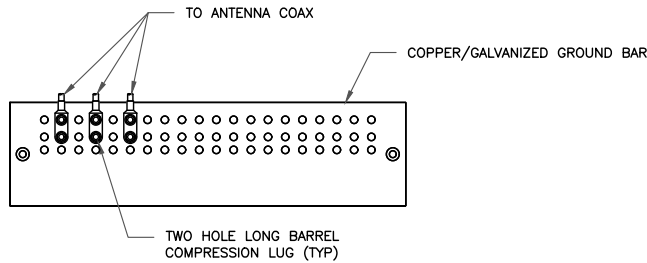
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G-1

REVISION:

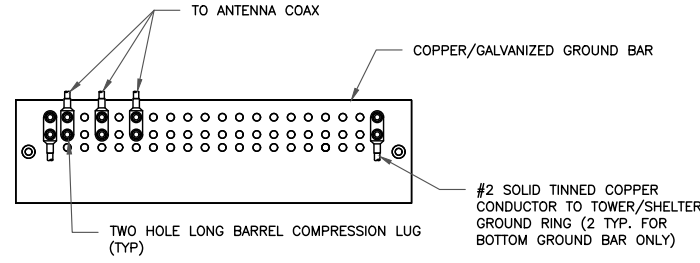
3



NOTES:

1. DOUBLING UP "OR STACKING" OF CONNECTIONS IS NOT PERMITTED.
2. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
3. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO ANTENNA MOUNT STEEL.

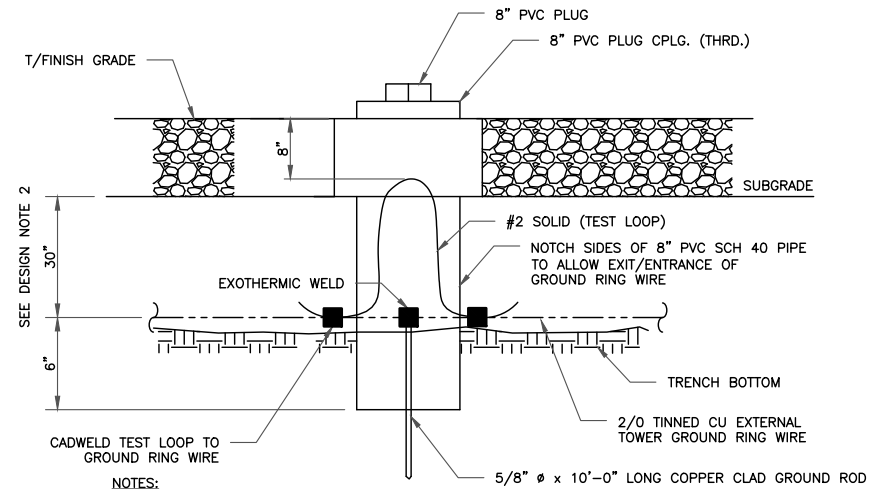
1 ANTENNA SECTOR GROUND BAR DETAIL
SCALE: NOT TO SCALE



NOTES:

1. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
2. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO TOWER STEEL (TOWER ONLY).
3. GROUND BAR SHALL BE ISOLATED FROM BUILDING OR SHELTER.

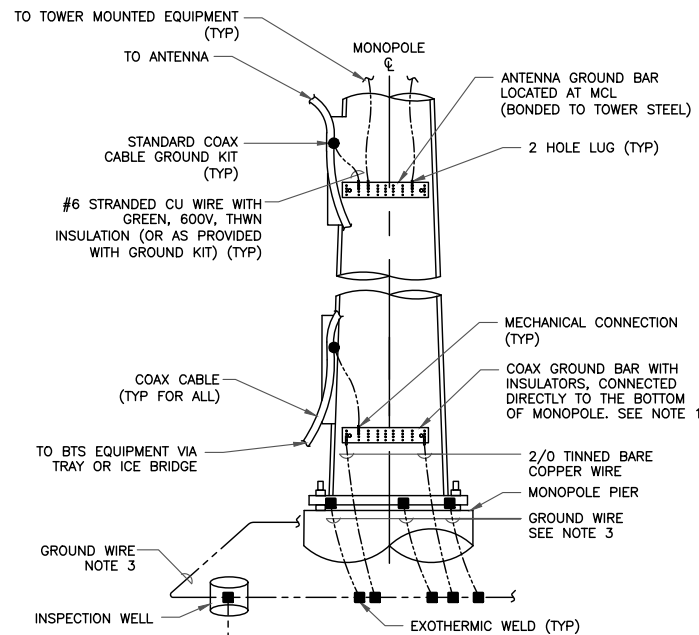
2 TOWER/SHELTER GROUND BAR DETAIL
SCALE: NOT TO SCALE



NOTES:

1. GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL
2. GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE. (WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)

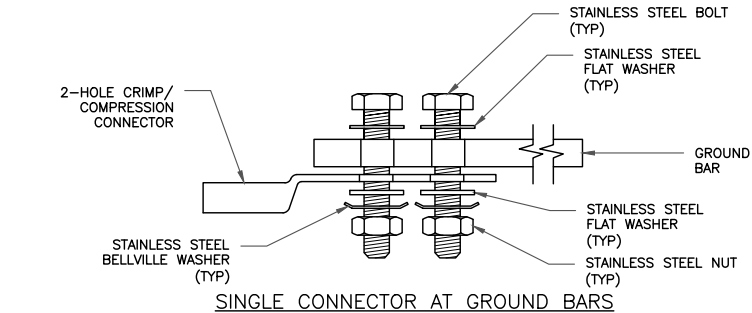
3 INSPECTION WELL DETAIL
SCALE: NOT TO SCALE



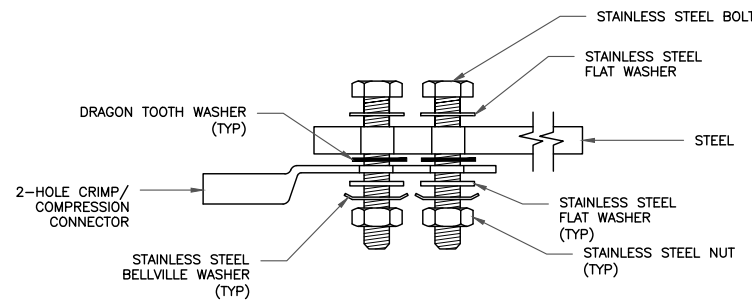
NOTES:

1. NUMBER OF GROUNDING BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATIONS AND CONNECTION ORIENTATION. COAXIAL CABLES EXCEEDING 200 FEET ON THE TOWER SHALL HAVE GROUND KITS AT THE MIDPOINT. PROVIDE AS REQUIRED.
2. ONLY MECHANICAL CONNECTIONS ARE ALLOWED TO BE MADE TO CROWN CASTLE USA INC. TOWERS. ALL MECHANICAL CONNECTIONS SHALL BE TREATED WITH AN ANTI-OXIDANT COATING.
3. ALL TOWER GROUNDING SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF THE RECOGNIZED EDITION OF ANSI/TIA 222 AND NFPA 780.

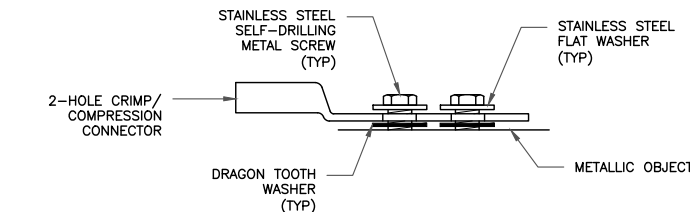
4 TYPICAL ANTENNA CABLE GROUNDING
SCALE: NOT TO SCALE



SINGLE CONNECTOR AT GROUND BARS

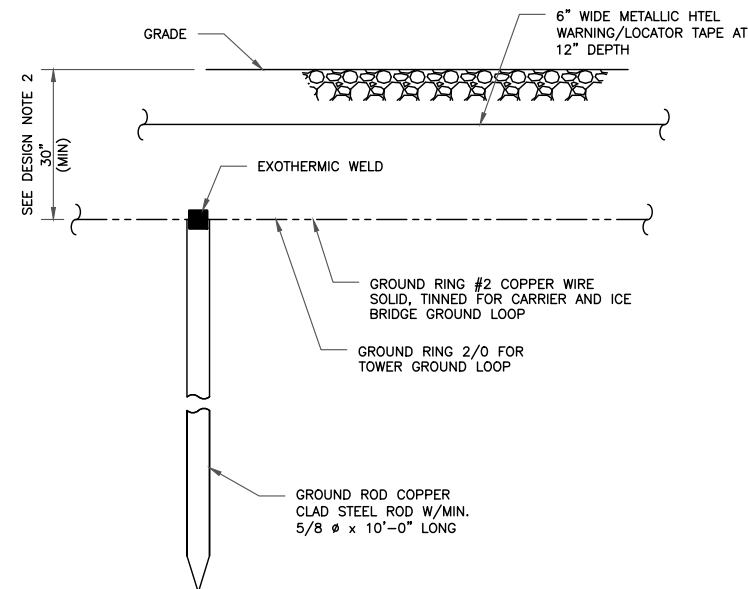


SINGLE CONNECTOR AT STEEL OBJECTS



SINGLE CONNECTOR AT METALLIC/STEEL OBJECTS

5 HARDWARE DETAIL FOR EXTERIOR CONNECTIONS
SCALE: NOT TO SCALE



NOTES:

1. GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL
2. GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE. (WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)

6 GROUND ROD DETAIL
SCALE: NOT TO SCALE

T Mobile

CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

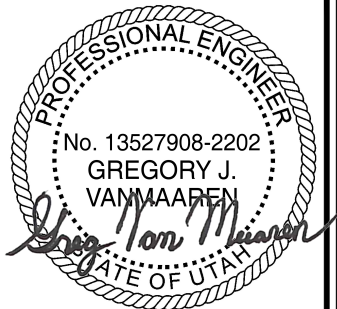
BU #: 880629
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1084 PACIFIC DRIVE
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05/27/25
Exp. 03/31/27

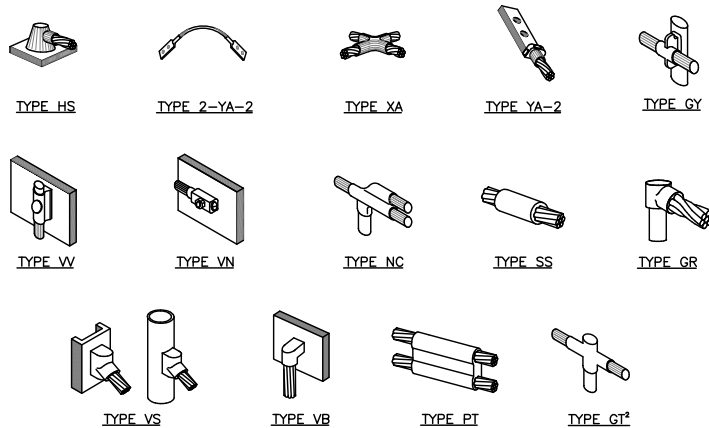
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G-2

REVISION:

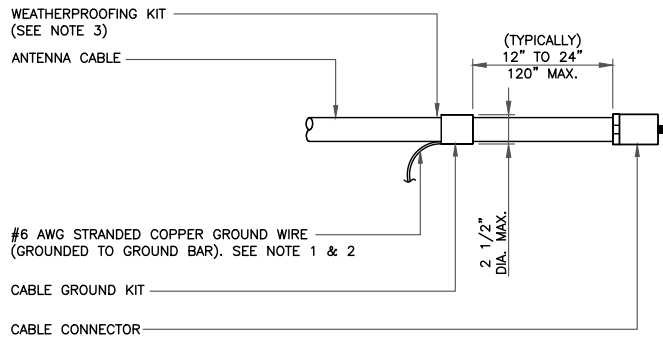
3



NOTE:

1. ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.
2. MOLD TYPE ONLY TO BE USED BELOW GRADE WHEN CONNECTING GROUND RING TO GROUND ROD.

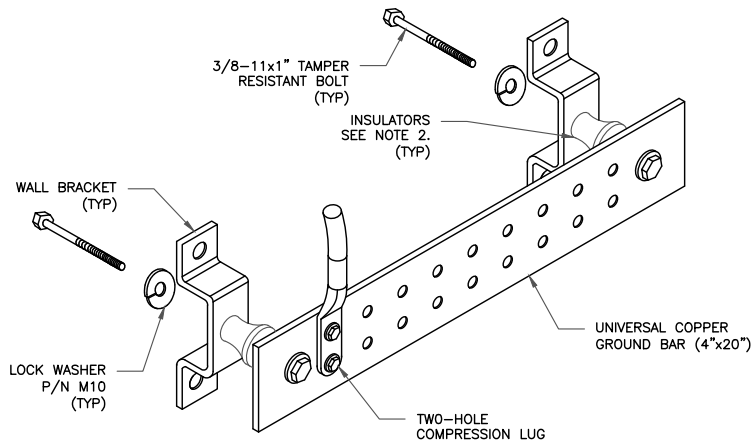
1 CADWELD GROUNDING CONNECTIONS
SCALE: NOT TO SCALE



NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

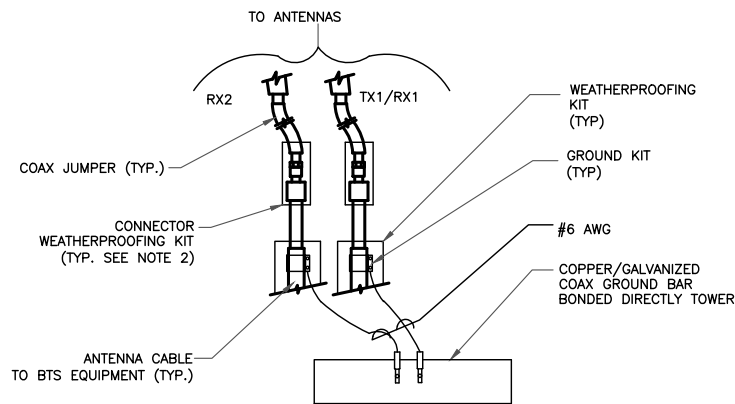
3 CABLE GROUND KIT CONNECTION
SCALE: NOT TO SCALE



NOTES:

1. DOWN LEAD (HOME RUN) CONDUCTORS ARE NOT TO BE INSTALLED ON CROWN CASTLE USA INC. TOWER, PER THE GROUNDING DOWN CONDUCTOR POLICY QAS-STD-10091. NO MODIFICATION OR DRILLING TO TOWER STEEL IS ALLOWED IN ANY FORM OR FASHION, CAD-WELDING ON THE TOWER AND/OR IN THE AIR ARE NOT PERMITTED.
2. OMIT INSULATOR WHEN MOUNTING TO TOWER STEEL OR PLATFORM STEEL USE INSULATORS WHEN ATTACHING TO BUILDING OR SHELTERS.

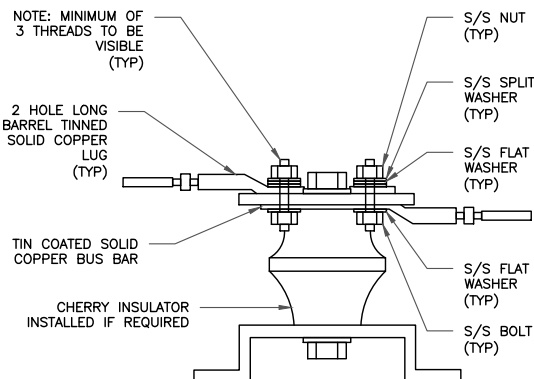
6 GROUND BAR DETAIL
SCALE: NOT TO SCALE



NOTES:

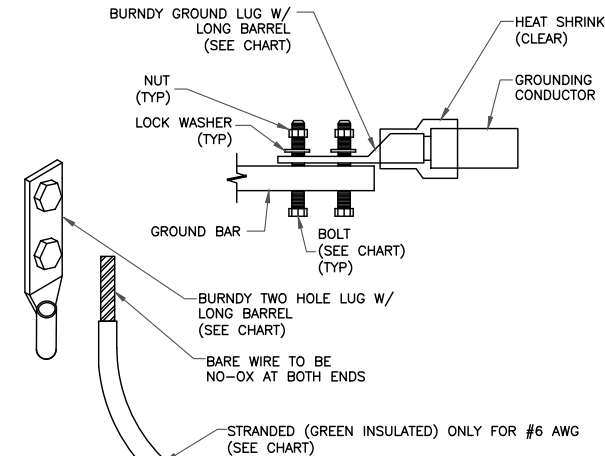
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
2. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

4 GROUND CABLE CONNECTION
SCALE: NOT TO SCALE



7 LUG DETAIL
SCALE: NOT TO SCALE

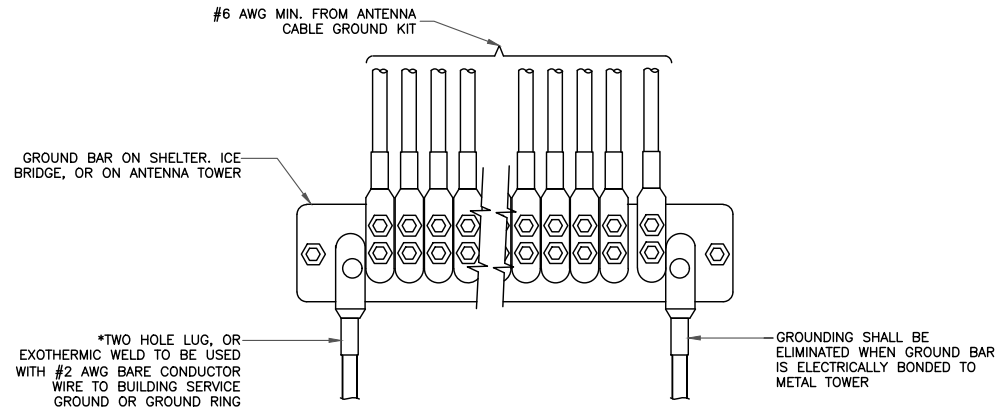
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT



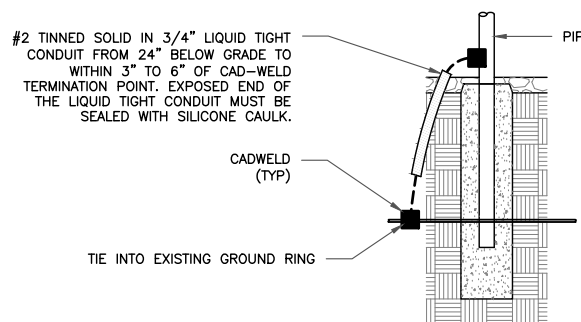
NOTES:

1. ALL GROUNDING LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.

2 MECHANICAL LUG CONNECTION
SCALE: NOT TO SCALE



5 GROUNDWIRE INSTALLATION
SCALE: NOT TO SCALE



8 TRANSITIONING GROUND DETAIL
SCALE: NOT TO SCALE

T Mobile

CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

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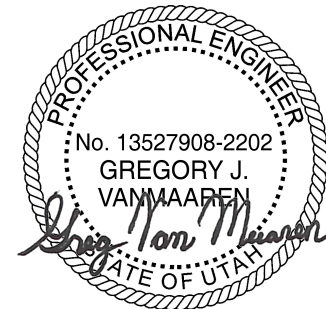
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REVISION:

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Agenda Topic

Review and action on an application for a Commercial Site Plan, known as 500 East Auto Mall Drive, located at approximately 452 E Auto Mall Drive, American Fork City. The Commercial Site Plan is proposed on approximately 3.81 acres in the Planned Commercial (GC-2) Zone.

BACKGROUND INFORMATION		
Location:		452 E Auto Mall Drive
Project Type:		Commercial Site Plan
Applicants:		Steve Davies, Jared Huish
Existing Land Use:		Design Commercial
Proposed Land Use:		Design Commercial
Surrounding Land Use:	North	Design Commercial
	South	Design Industrial
	East	Design Industrial
	West	Design Industrial
Existing Zoning:		Planned Commercial (GC-2)
Proposed Zoning:		Planned Commercial (GC-2)
Surrounding Zoning:	North	GC-2
	South	Unincorporated Territory; PI-1
	East	PI-1
	West	Unincorporated Territory; PI-1
Square Footage (By Use)		Gymnasium: ~13,000 s.f. Car Dealership: ~ 18,000 s.f. Retail: ~ 21,425 s.f.
Total Number of Units		N/A

Parking Requirement	<p style="text-align: center;"><u>Rival Athletics</u></p> <p>Gymnasium: Considered under the Health Clubs and Recreational Facilities designation - 2 stall per player or 1 stall per 3 persons permitted capacity. This designation can be found in Section 17.5.133 (C)(6).</p> <p>100 persons permitted capacity / 3 persons permitted capacity = 33.33 stalls</p> <p style="text-align: center;">Total = 34</p> <p style="text-align: center;"><u>Car Guyz</u></p> <p>Car Dealership: Will be considered under the Motor Vehicle Sales and Service designation - 3 stalls per one thousand square feet of gross floor area used for display, sales, and administration; 1.5 stalls per one thousand square feet of area used for warehouse of parts and materials; 4 stalls per service bay. This designation can be found in Section 17.5.133 (C)(2)(g).</p> <p>Display, sales, and admin: $3,876 \text{ s.f.} / 1,000 = 3.876$; $3.876 * 3 \text{ stalls} = 12 \text{ stalls}$</p> <p>Warehouse: $14,289 / 1,000 = 14.289$; $14.289 * 1.5 = 22$ stalls</p> <p style="text-align: center;">Service Bays: $2 * 4 \text{ stalls} = 8 \text{ stalls}$</p> <p style="text-align: center;">Total = 42</p> <p style="text-align: center;"><u>J5 Brands and Auto Diamond</u></p> <p>Retail and Service Commercial/Warehouse - Four and one-half spaces per one thousand square feet for portion used for retail purposes, plus one space per one thousand square feet for the total floor area. This designation can be found in Section 17.5.133 (C)(2)(i).</p> <p>Retail: $1,368 \text{ s.f.} / 1,000 = 1.368$; $1.368 * 4.5 \text{ stalls} = 6$ Stalls</p>
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	<p>Total Floor Area: 20,536 s.f. / 1,000 = 20.536; 20.536 * 1 stall = 21 Stalls</p> <p>Total = 27</p> <p>Total Count of Stalls = 81</p> <p>Total Stalls Provided on Site Plan = 105</p>
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Background

The applicant has applied for a Commercial Site Plan. The project was previously approved for an office/warehouse establishment that was in the Planned Industrial Park (PI-1) Zone. The applicants have recently been granted a zone change from the PI-1 zone to the GC-2 zone with the condition that they come back through the Development Review Committee (DRC) process due to the change of uses that they will be providing within the development.

The new uses proposed within the development are a car dealership, gymnasium, and retail uses. The last time that this came to the Planning Commission, it came through as a Site Plan and a parking reduction request. Since that time, staff and the applicant have continued to work through some of the uncertainties of parking in the area and have established new parking uses for the businesses provided in the building. Due to the new parking uses from the previous Planning Commission, the applicant does not need to seek a parking reduction and is looking to get their site plan approved for the new parking establishments.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.

2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

1. Submit all documents pertaining to the Site Plan application together for a Post Entitlement Review to address all outstanding comments from the DRC review and to review new documents that have been provided for review.

Findings of Fact

1. The Commercial Site Plan process MEETS the requirements of Section 17.6.101.
2. Outstanding comments can be addressed through conditional approval.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Commercial Site Plan

Approval

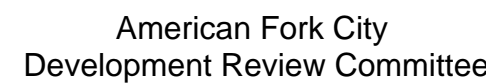
I move to approve the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone and instruct staff/developer to.....



Planning and Zoning
Reviewed
copperman 05/01/2025

Public Infrastructure
Reviewed
dhoward 04/28/2025

Engineering Division
Reviewed
rburkhill 04/28/2025

– See comments

— No comments

Repeat comment x2:

These landscaping plans are not consistent with your overall site plan. Adjust these plans to reflect correct layout that you have.

Next Step:

**Proceed to Planning Commission
05/21/2025**

Re-Submittal Acknowledgment Statement

The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

_____ [Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.







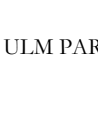
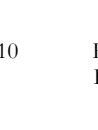
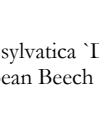
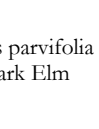

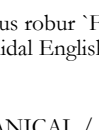
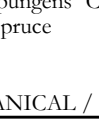
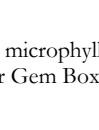
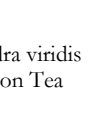
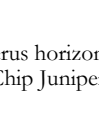
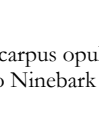
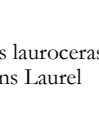
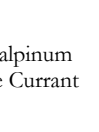
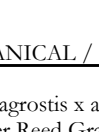

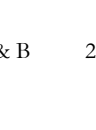
_____ [Applicant Initial] This is the _____ [Ex: 1st] complete re-submittal of the subdivision constituting the start of the _____ [Same Number] Review Cycle.

DRC Plan Review Meetings


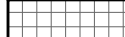


These meetings are available with staff on Tuesdays from 9:00 AM-12:00 PM in 30 minute appointments.



Meetings can be scheduled
with Melissa White at
mwhite@americanfork.gov
or through
801-854-5932

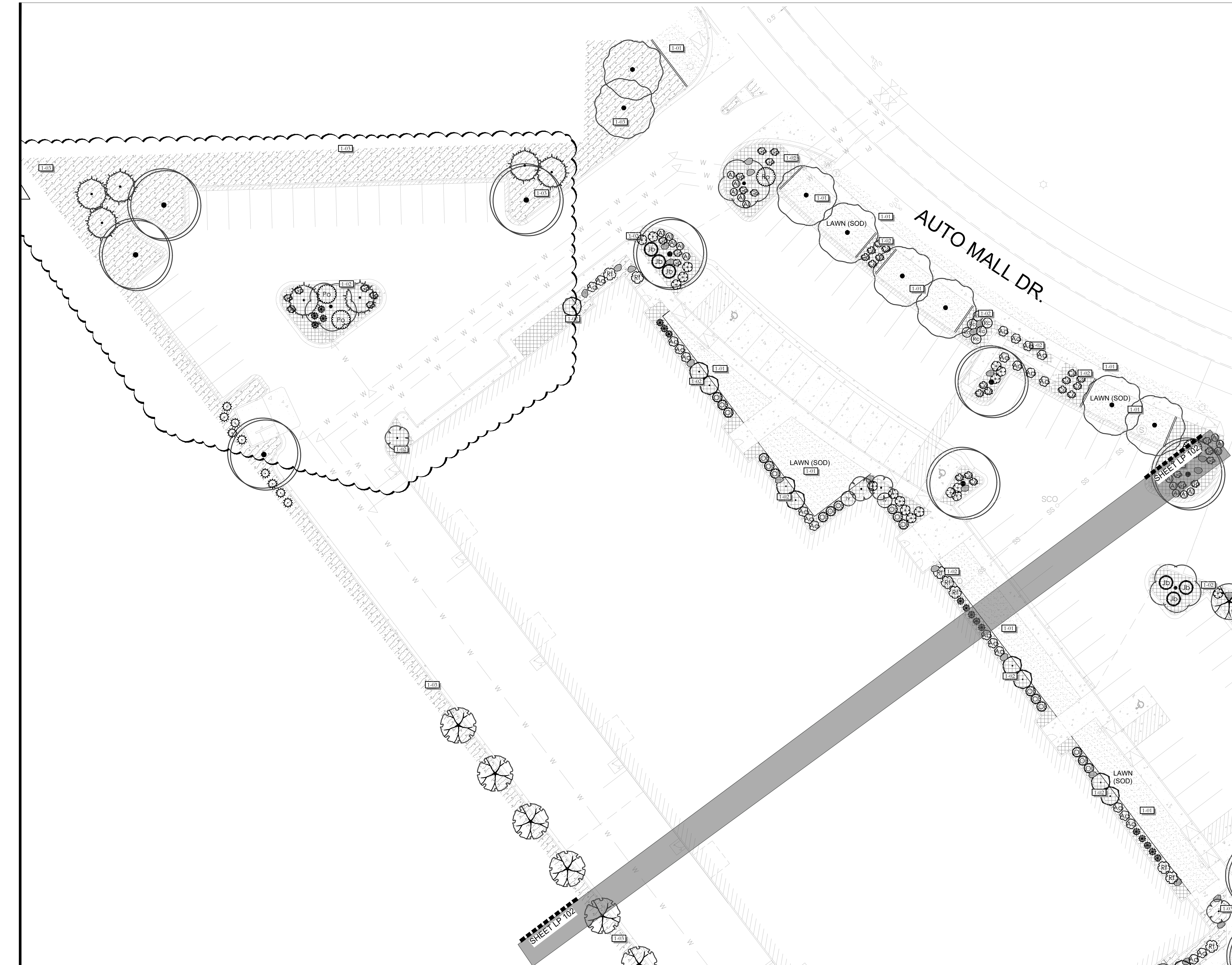
PLANT LEGEND

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	ACE PLA	10	Acer phanoides 'Fairview' Fairview Maple	B & B	2"Cal	
	FAG SYL	10	Fagus sylvatica 'Daweyk Purple' European Beech	B & B	2"Cal	
	PRU CER	5	Prunus cerasifera 'Grimson Pointe' 'Grimson Pointe Flowering Plum	B & B	2"Cal	
	ULM PAR	8	Ulmus parvifolia Lacebark Elm	B & B	2"Cal	
	ZEL SER	11	Zelkova serrata Sawleaf Zelkova	B & B	2"Cal	
<u>DECIDUOUS TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	MS	5	Malus x 'species' Crabapple	B & B	2"Cal	
	Qf	8	Quercus robur 'Fastigata' Pyramidal English Oak	B & B	2"Cal	
<u>EVERGREEN TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	PIC COL	7	Picea pungens 'Colorado Green' Blue Spruce	B & B		6'
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>		
	Al	34	Aronia melanocarpa 'UCONNAMI63' TM Low Scape Mount Black Chokeberry	5 gal		
	BM	17	Buxus microphylla japonica 'Winter Gem' Winter Gem Boxwood	5 gal		
	Ad	24	Cornus sericea 'Alleman's Compact' Dwarf Red Twig Dogwood	5 gal		
	EV	12	Ephedra viridis Mormon Tea	5 gal		
	Iv	2	Itea virginica 'Henry's Garnet' Henry's Garnet Sweetpire	5 gal		
	Jb	24	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 gal		
	SR	16	Juniperus virginiana 'Skyrocket' Skyrocket Juniper	5 gal		
	Po	9	Physocarpus opulifolius 'Diablo' Diablo Ninebark	5 gal		
	Gp	33	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	5 gal		
	Ol	18	Prunus laurocerasus 'Otto Luyken' Laykens Laurel	5 gal		
	Rf	8	Rhamnus frangula 'Columaris' Tall Hedge Buckthorn	5 gal		
	Rc	6	Ribes alpinum Alpine Currant	5 gal		
	R3	25	Rosa x 'Radio' Double Knock Out® Red Rose	5 gal		
<u>GRASSES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>		
	CA	18	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal		

SITE MATERIALS LEGEND

	<u>SYMBOL</u>	<u>1 LANDSCAPE DESCRIPTION</u>	<u>QTY</u>
	<u>1-01</u>	SODDED LAWN AREA	6,482 sf
	<u>1-02</u>	1" WASATCH GRAY COBBLE: 3" DEPTH OF ROCK. PLANTING AREAS TO RECEIVE MIN. 4" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,587 sf
	<u>1-03</u>	1" 1.5" SOUTH TOWN GRAVEL COBBLE: 3" DEPTH OF ROCK. PLANTING AREAS TO RECEIVE MIN. 4" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,984 sf
	<u>1-06</u>	BOULDERS - DECORATIVE	35

ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP			DRAWING INFO																				
3/27/2025			UT21037			<div><div>1</div><div><div>811</div><div>BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org</div></div><div><div>0'</div><div>15'</div><div>30'</div><div>60'</div><div>120'</div></div><div>GRAPHIC SCALE: 1" = 30'</div></div>			<div><div>1</div><div>AMERICAN FORK OFFICE 452 E. & AUTO MALL DR. AMERICAN FORK, UTAH</div></div>			<div><div>Property Owner:</div><div>AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455</div></div>			<div><div>Architect / Engineer:</div><div>CIR CIVIL ENGINEERING 3032 SOUTH 1030 WEST, SUITE 202 SALT LAKE CITY, UT 84119 801-949-6296</div></div>			<div><div><div>PKJ DESIGN GROUP Landscape Architecture & Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</div></div></div>			<div><div></div></div>			<div><div>PM: JTA</div><div>DRAWN: KBA</div><div>CHECKED: JMA</div><div>PLOT DATE: 3/27/2025</div></div>																	
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PLANT LEGEND						
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	PRU CER	5	Prunus cerasifera 'Crimson Pointe' 'Crimson Pointe' Flowering Plum	B & B	2"	Cal
	ULM PAR	8	Ulmus parvifolia Lacebark Elm	B & B	2"	Cal
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	MS	5	Malus x 'speciosa' Crabapple	B & B	2"	Cal
	Qf	8	Quercus robur 'Fastigiata' Pyramidal English Oak	B & B	2"	Cal
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	PIC COL	7	Picea pungens 'Colorado Green' Blue Spruce	B & B		6'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	AI	34	Aronia melanocarpa 'UCONNAMI165'™ Low Scape Mound Black Chokeberry	5 gal		
	BM	17	Buxus microphylla japonica 'Winter Gem' Winter Gem Boxwood	5 gal		
	Ad	24	Cornus sericea 'Allegan's Compact' Dwarf Red Twig Dogwood	5 gal		
	EV	12	Ephedra viridis Mormon Tea	5 gal		
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	Rf	8	Rhamnus frangula 'Colummatis' Tall Hedge Buckthorn	5 gal		
	Rc	6	Ribes alpinum Alpine Currant	5 gal		
	R3	25	Rosa x 'Radio' Double Knock Out® Red Rose	5 gal		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
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SITE MATERIALS LEGEND		
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SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
	1-04 BOULDERS - DECORATIVE	35

3/27/2025

UT21037

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AMERICAN FORK OFFICE

452 E. & AUTO MALL DR.

AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

Property Owner:

AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

Architect / Engineer:

CIR CIVIL ENGINEERING
3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
801-949-6296

LANDSCAPE ARCHITECT / PLANNER

Landscape Architecture • Planning & Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
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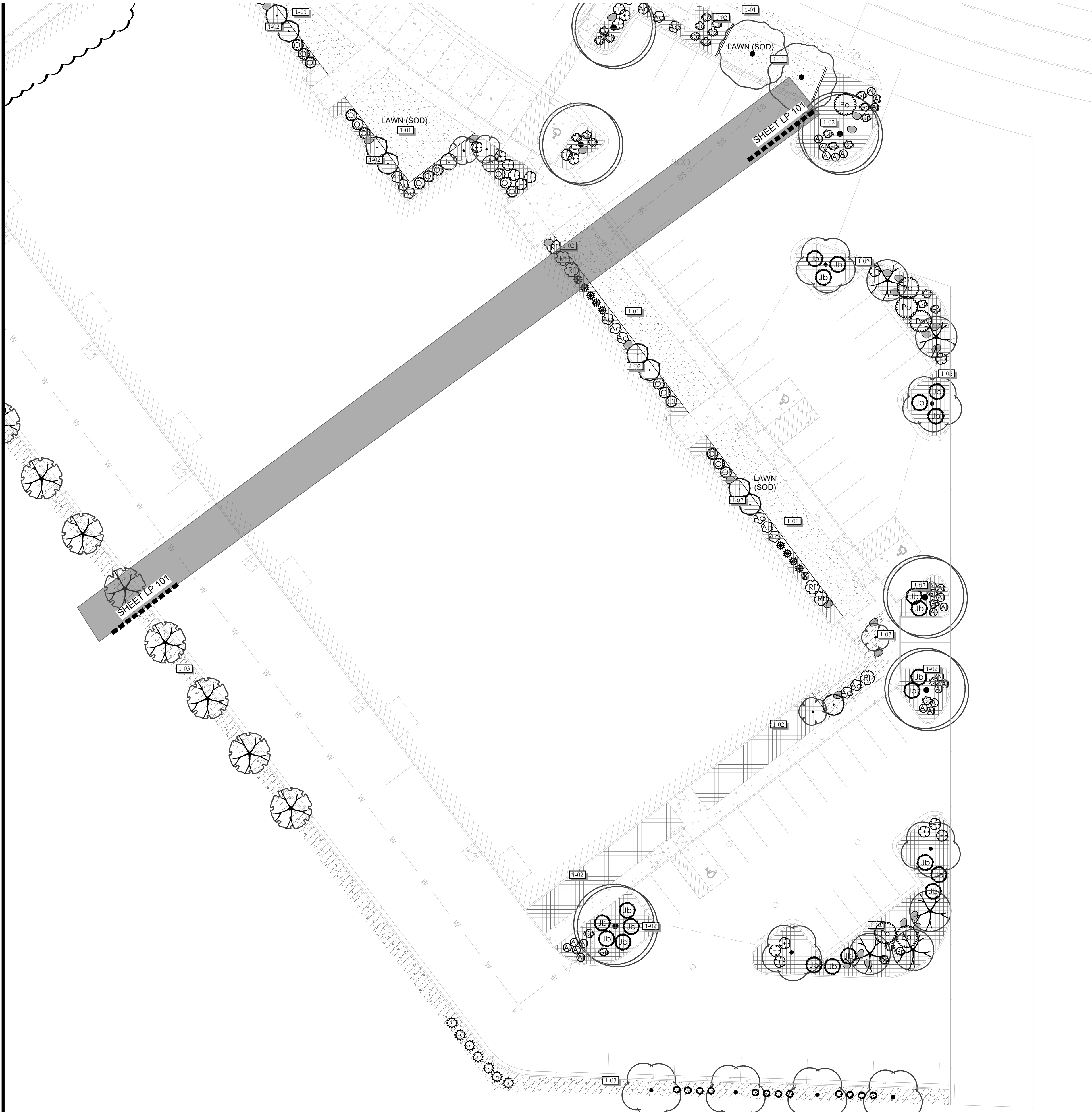
LICENSE STAMP

DRAWING INFO

PM: JTA
DRAWN: KBA
CHECKED: JMA
PLOT DATE: 3/27/2025

LANDSCAPE PLAN

LP-101



PLANT LEGEND

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	ACE PLA	10	Acer platanoides 'Fairview' Fairview Maple	B & B	2"	Cal
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	L-04 BOULDERS - DECORATIVE	35

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UT21037

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AMERICAN FORK OFFICE

452 E. & AUTO MALL DR.

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Property Owner:
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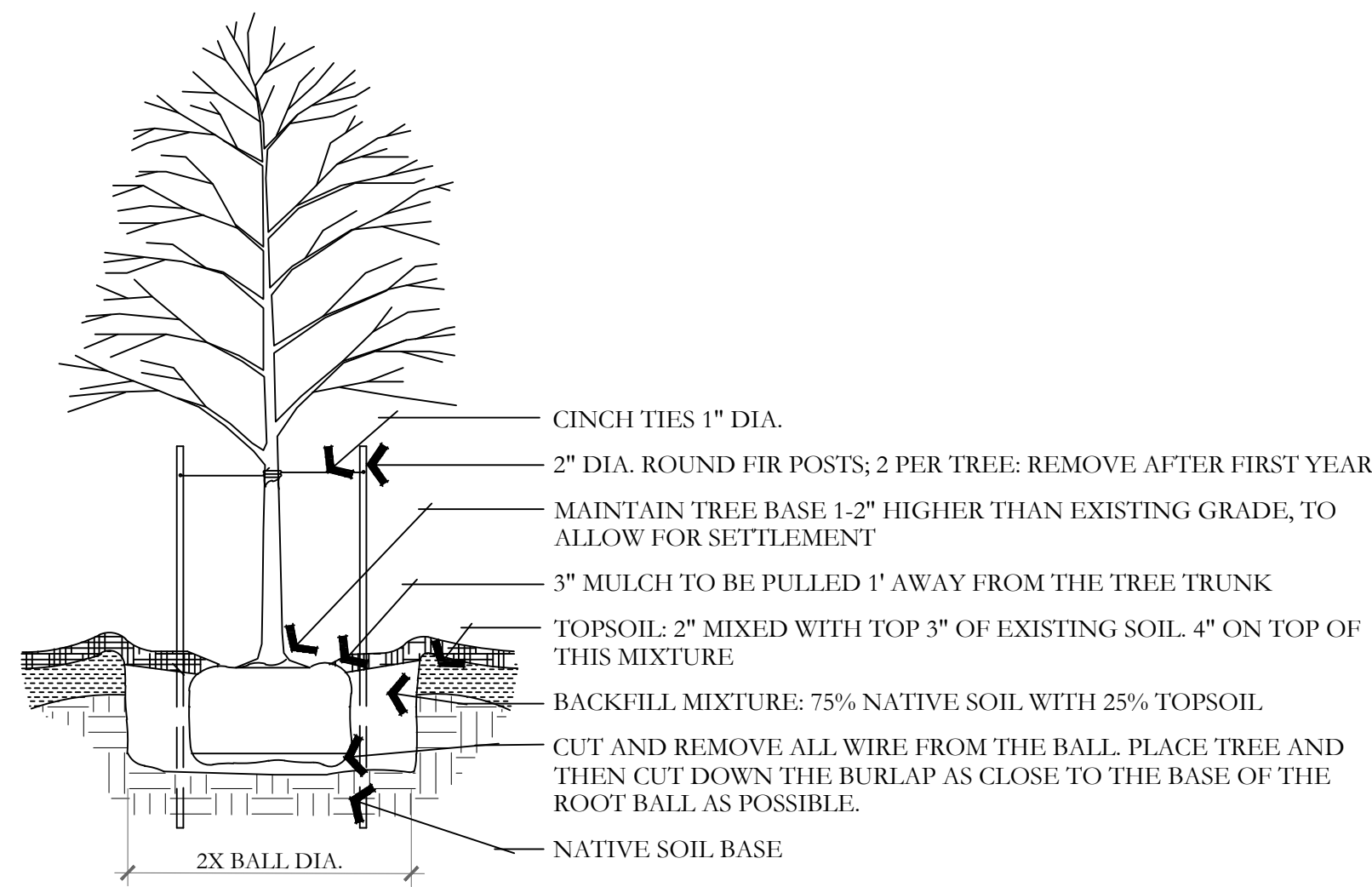
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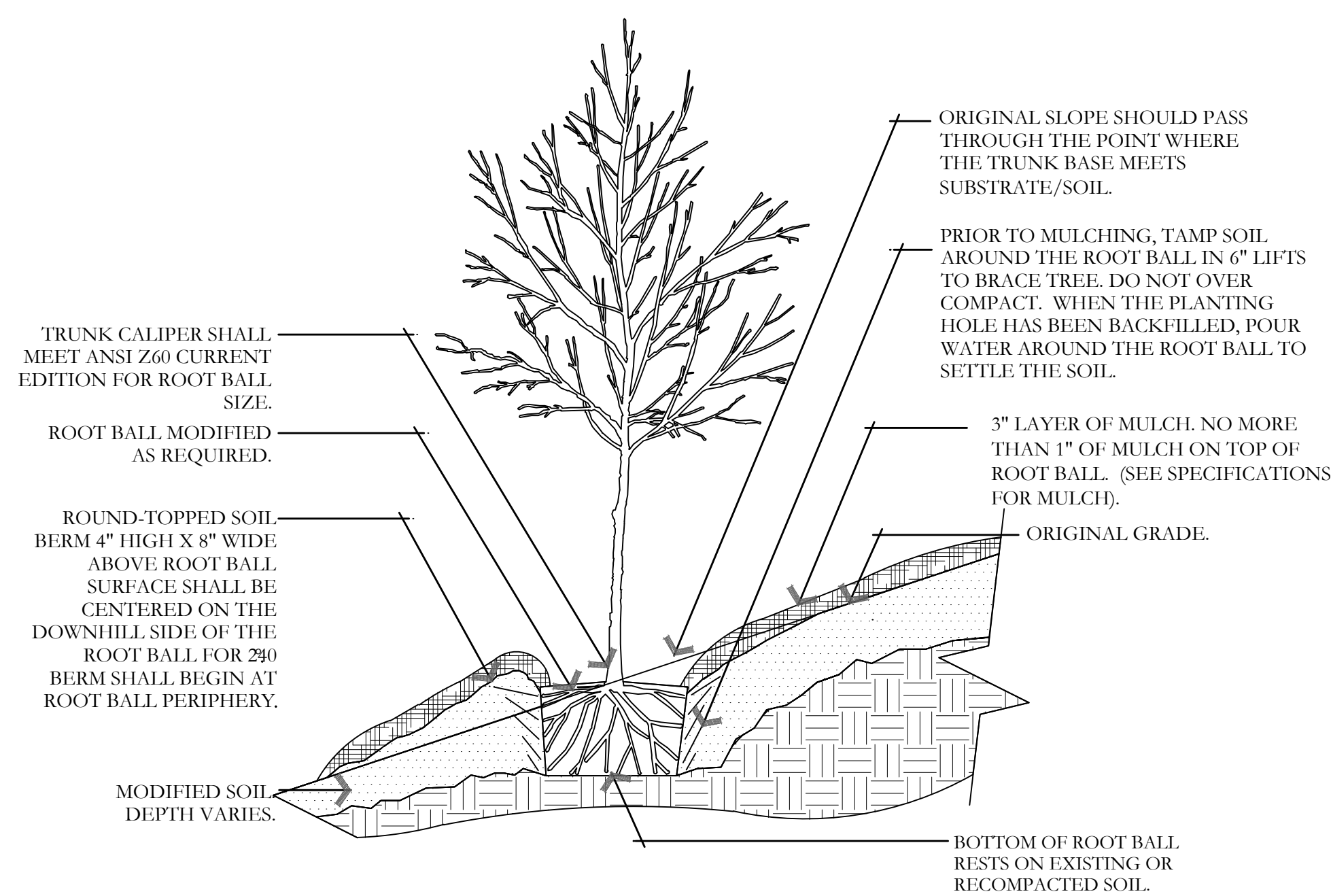
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LANDSCAPE PLAN

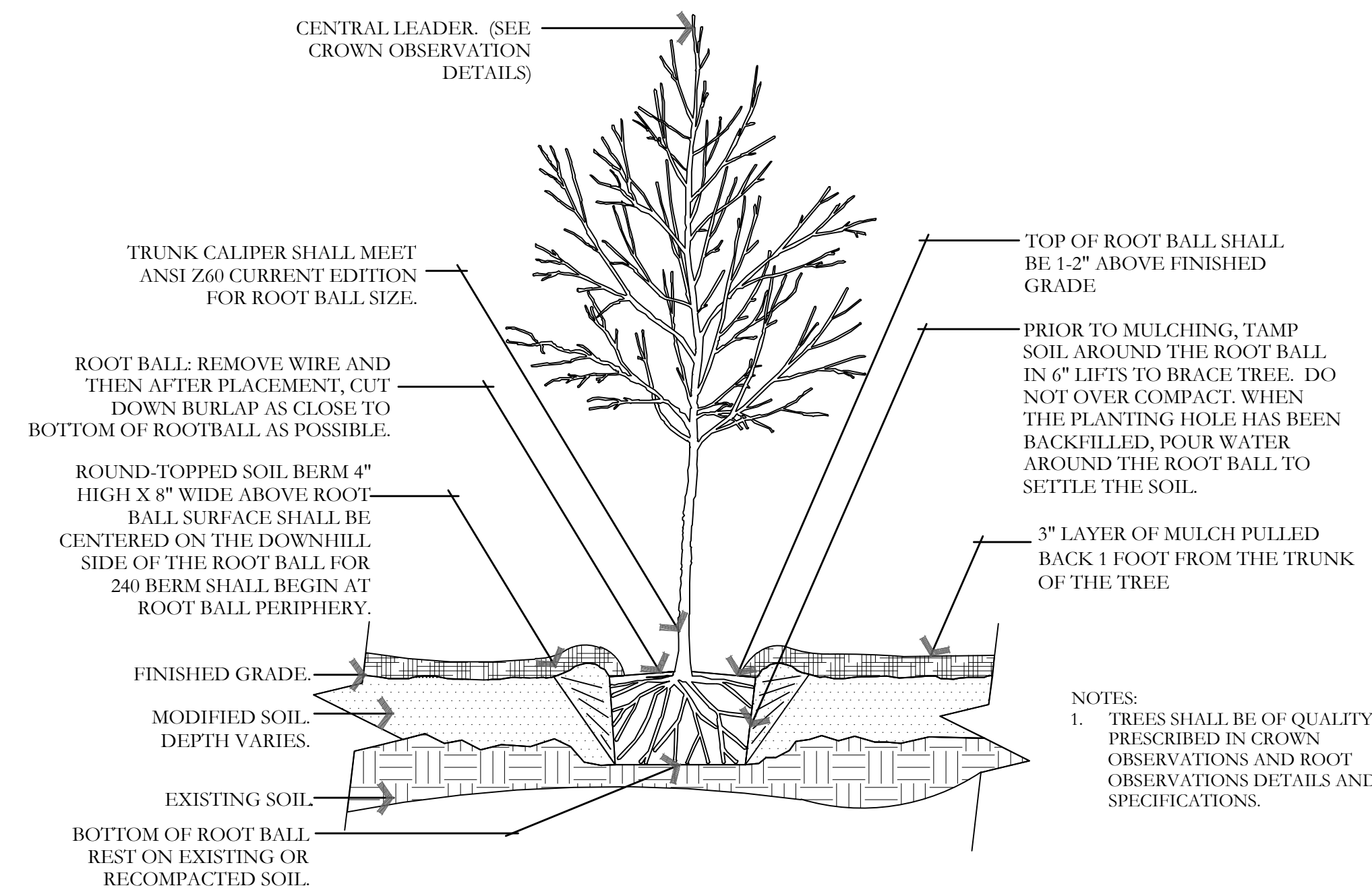
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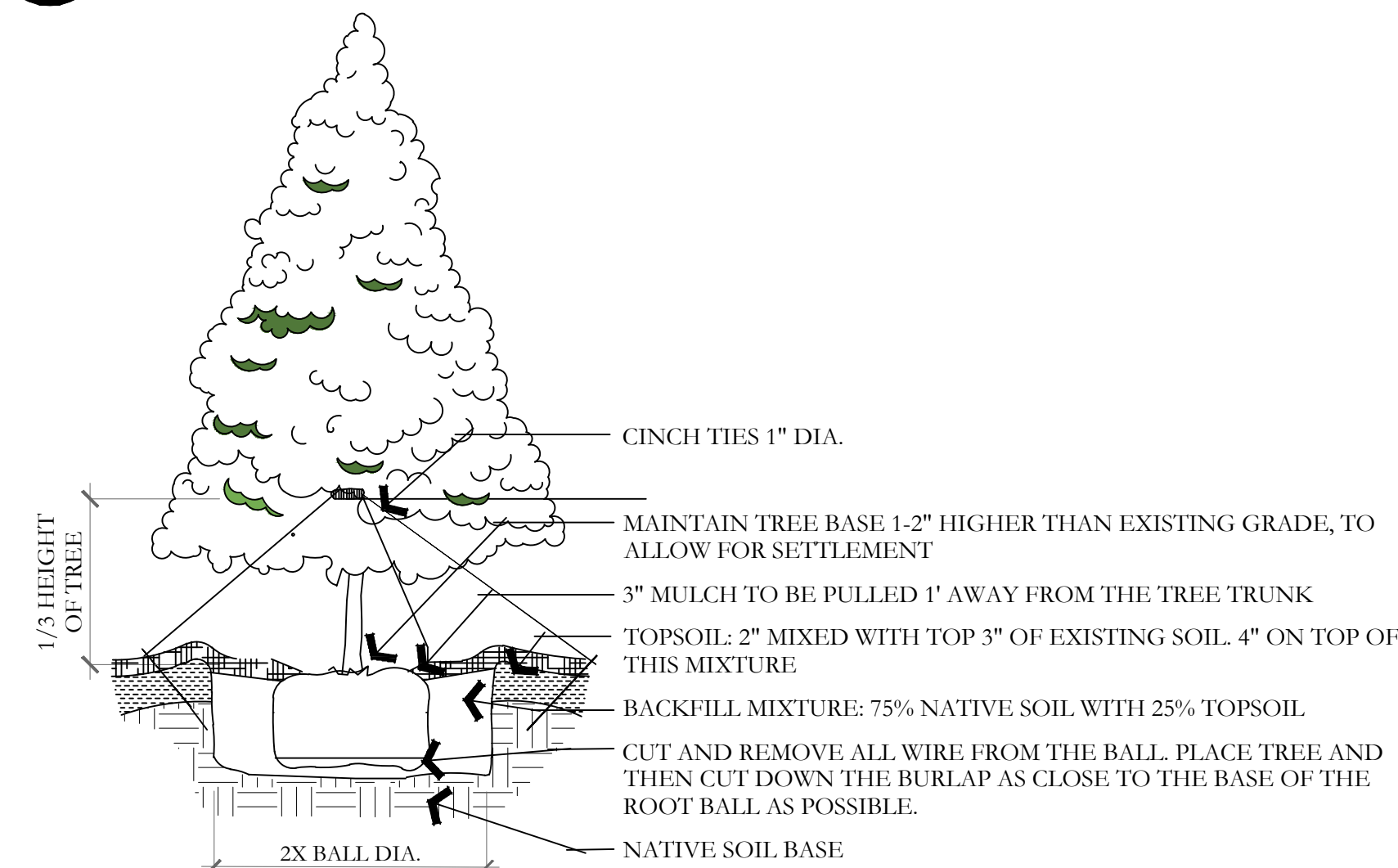
A DECIDUOUS TREE PLANTING
NOT TO SCALE



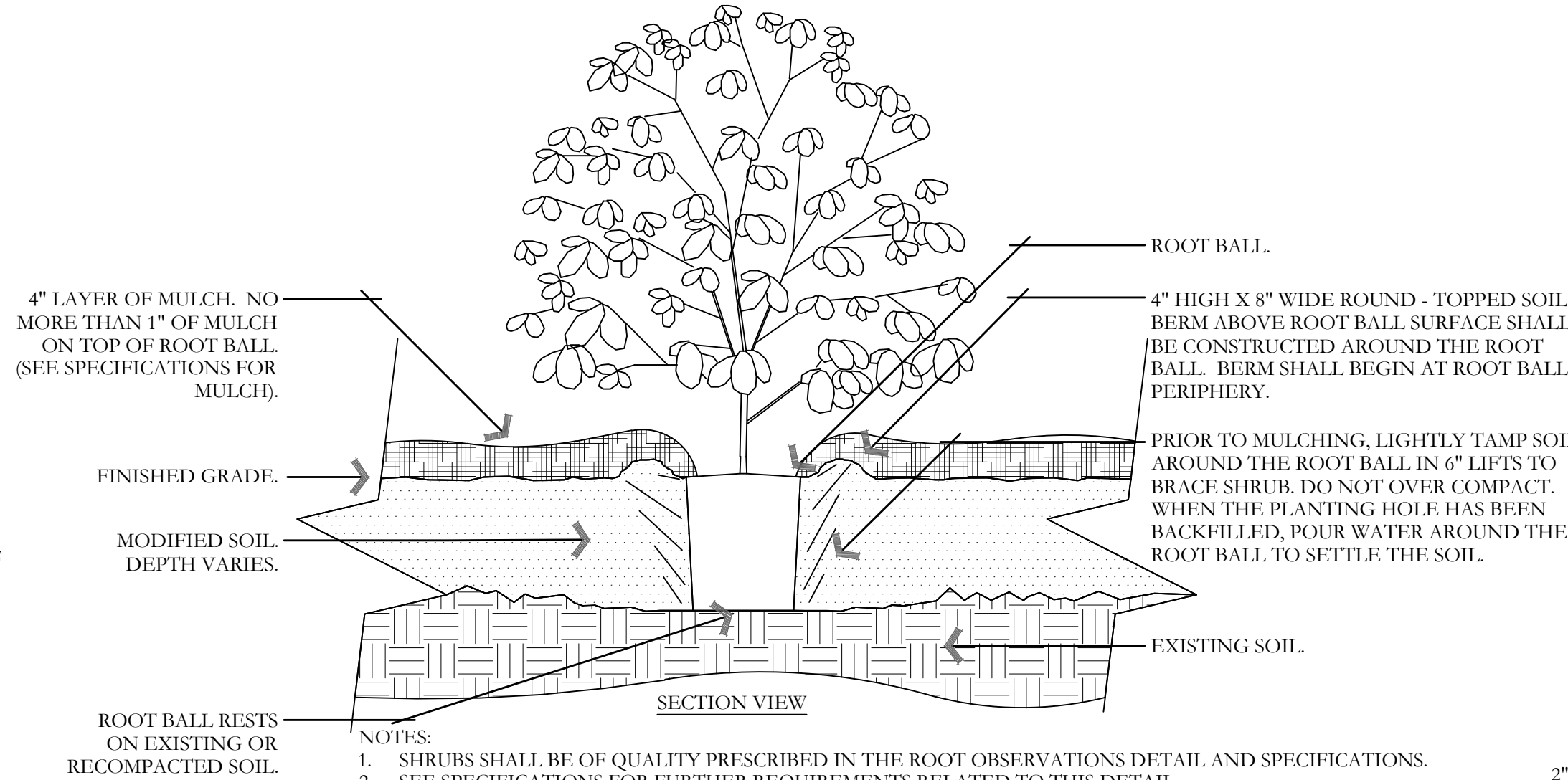
B TREE ON SLOPE 5% (20:1) TO 50% (2:1)
NOT TO SCALE



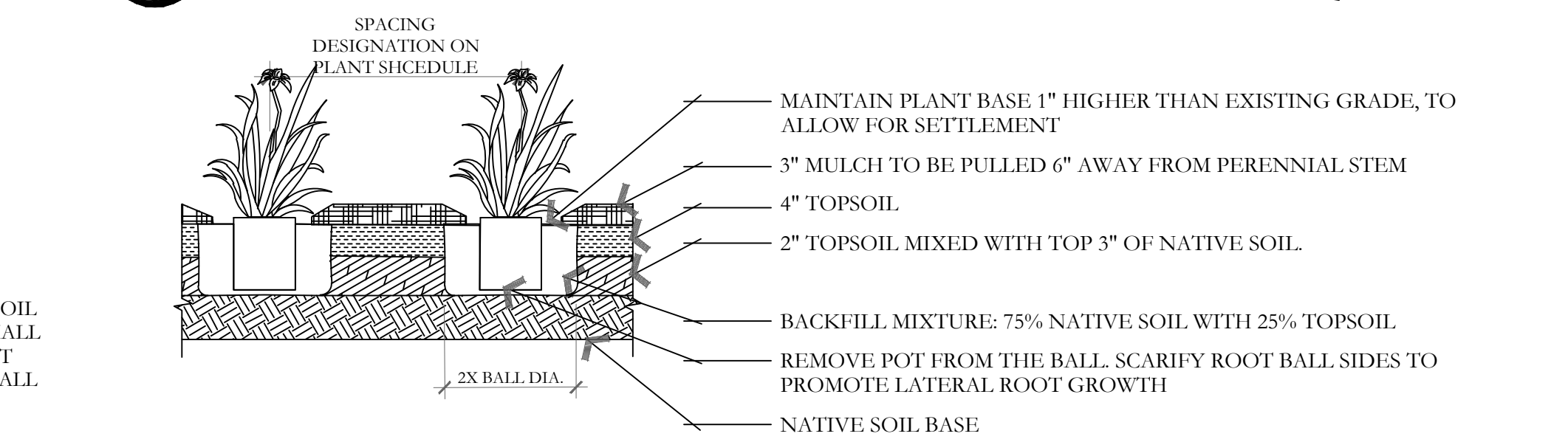
C TREE W/ BERM (EXISTING SOIL MODIFIED)
NOT TO SCALE



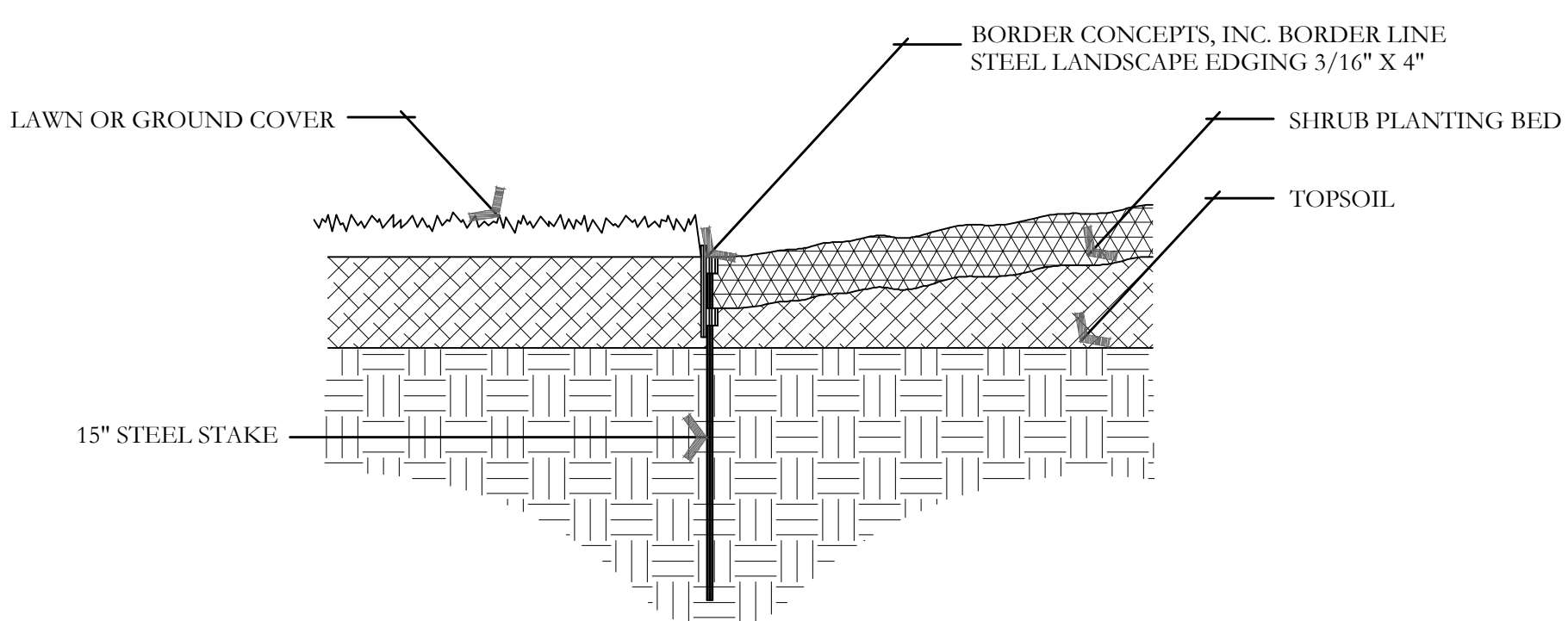
D EVERGREEN TREE PLANTING
NOT TO SCALE



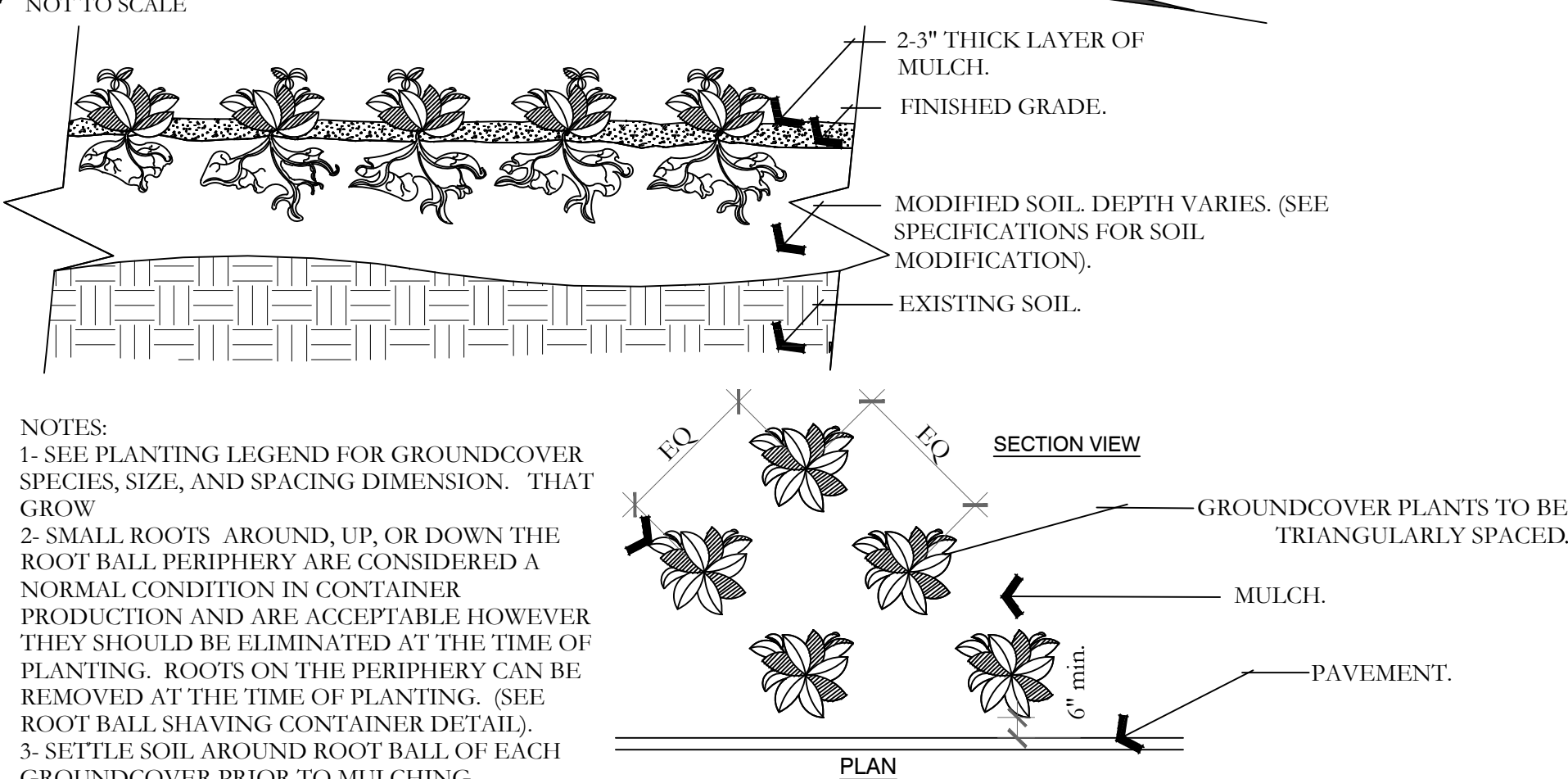
E SHRUB - MODIFIED SOIL
NOT TO SCALE



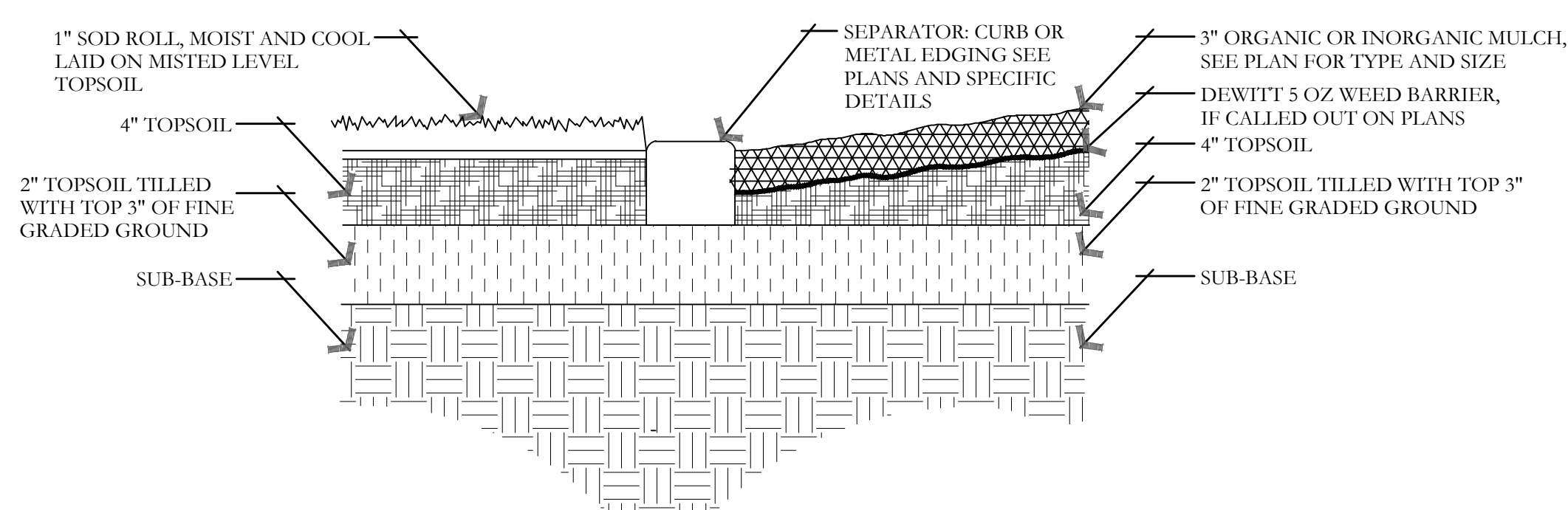
F PERENNIAL PLANTING
NOT TO SCALE



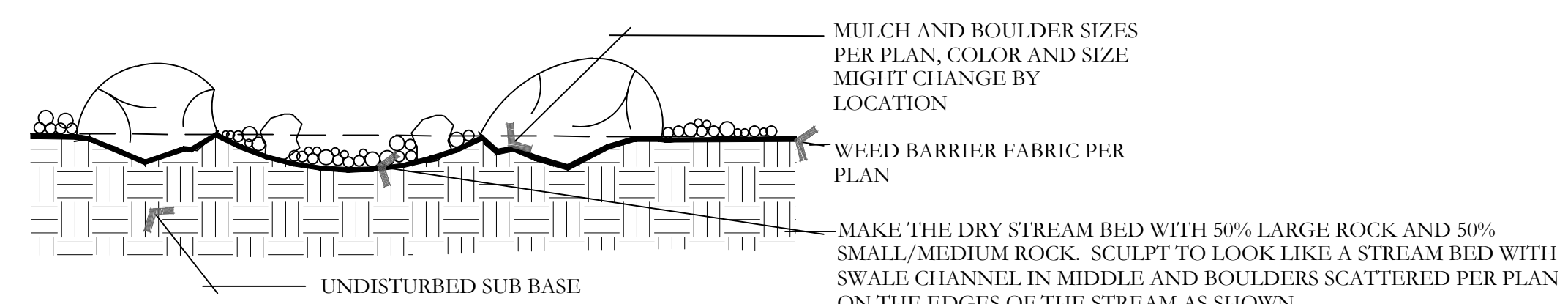
G METAL EDGING DETAIL
NOT TO SCALE




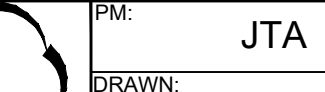
H PERENNIAL/GROUNDCOVER PLANTING
NOT TO SCALE

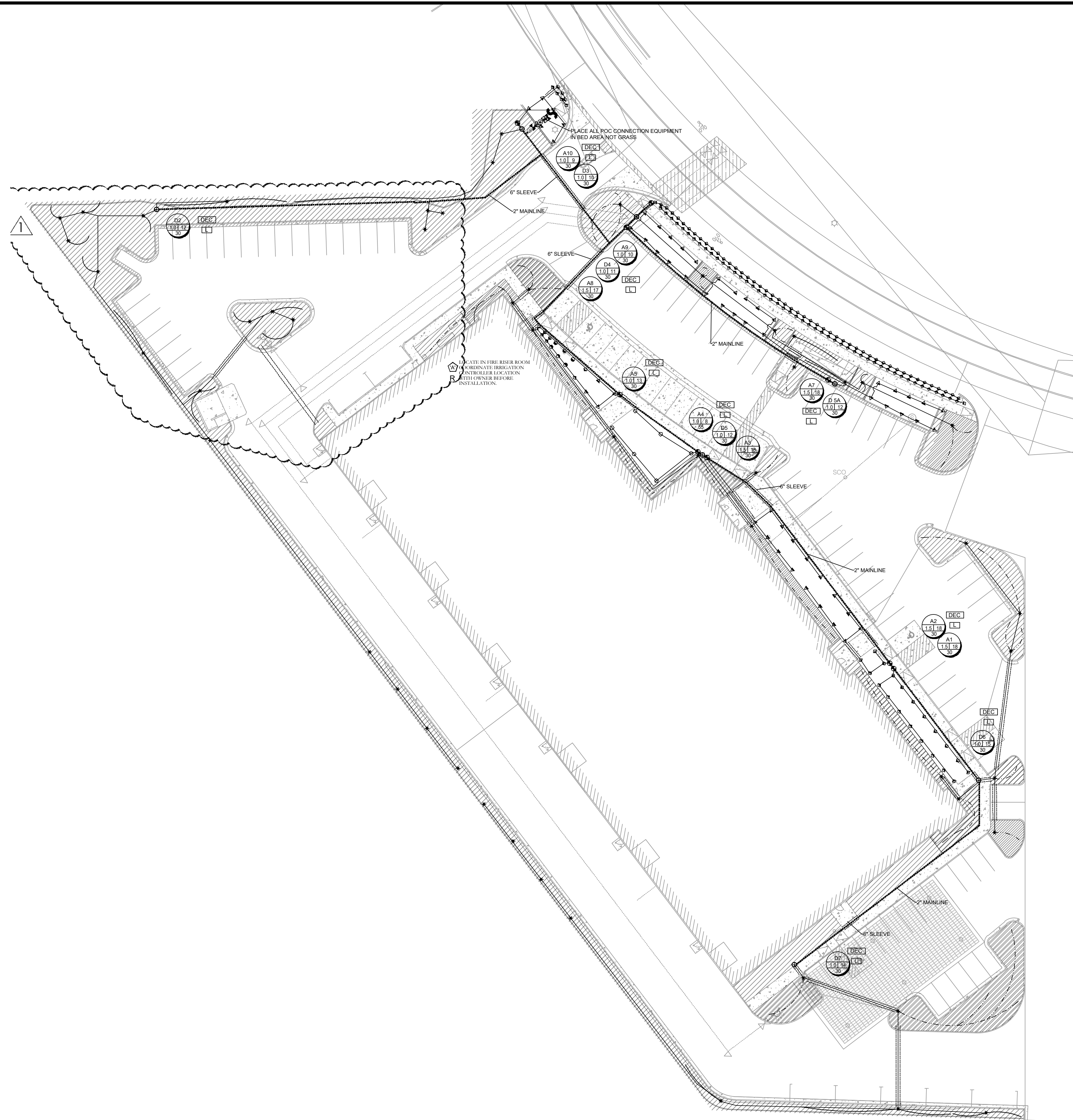


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NOT TO SCALE

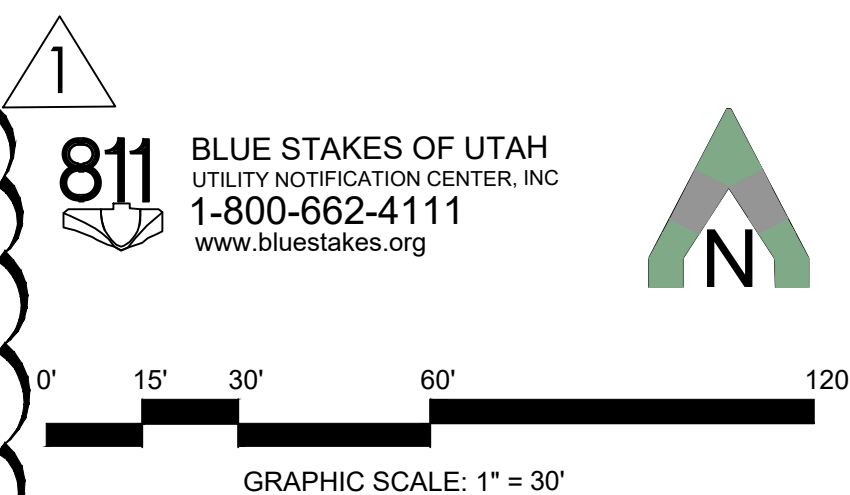


J BOULDER AND DRY STREAM BED DETAIL
NOT TO SCALE

ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP		DRAWING INFO																						
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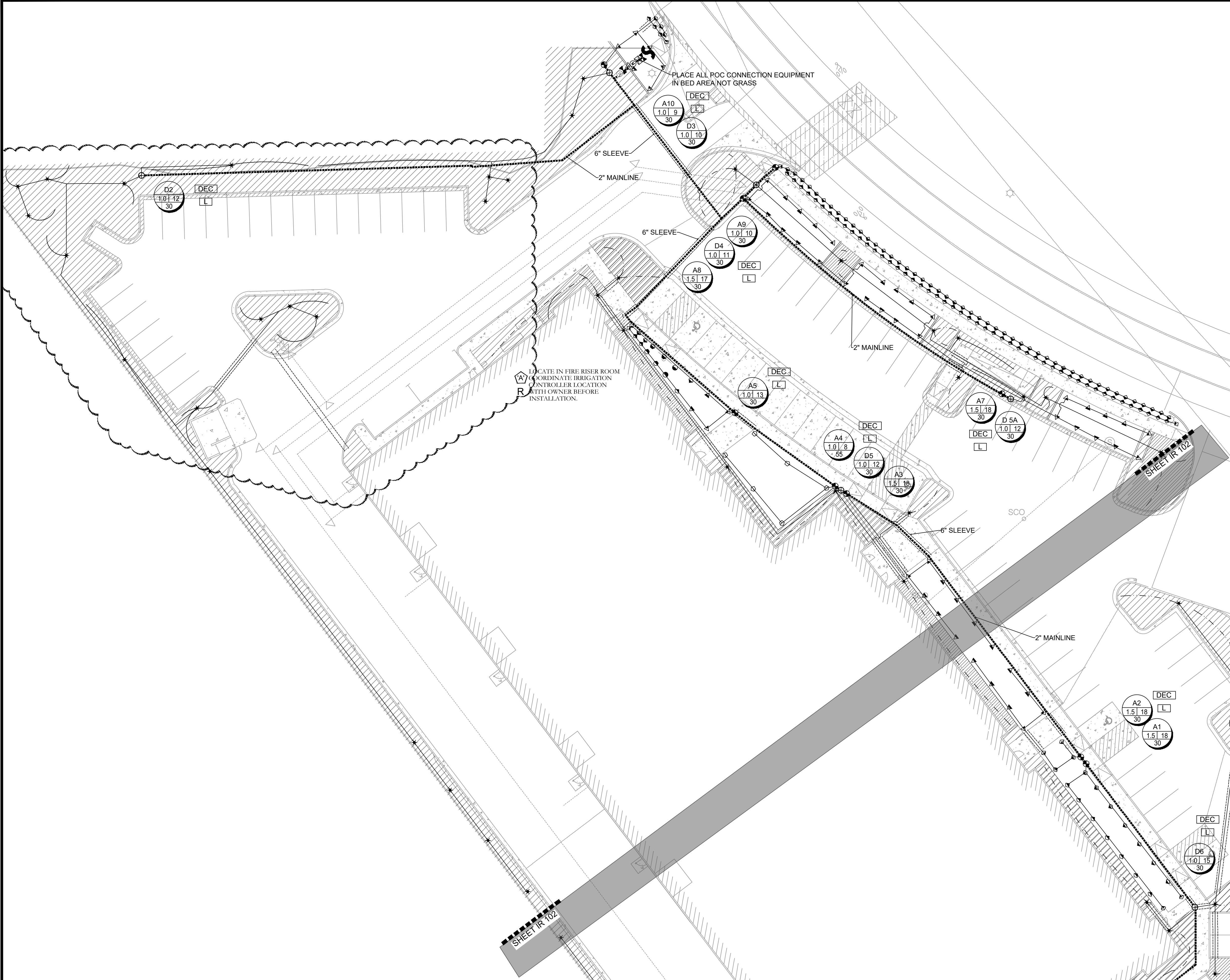
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LICENSE STAMP
Professional Landscape Architect
JTA
8/28/17-5/31/25
3/27/2025
STATE OF UTAH

DRAWING INFO
PM: JTA
DRAWN: AP
CHECKED: KA
PLOT DATE: 3/27/2025

PROJECT OVERVIEW PLAN
IR-OVERVIEW



IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER
	RAINBIRD RD04-S-PRS POP UP SPRAY 5 SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 8 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 10 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 12 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 SST @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 EST @ 30 PSI
	RAINBIRD 5000 SERIES MPR NOZZLES @ 55 PSI
	RAINBIRD 8005 SERIES Q#8-6.6 GPM, I#14-12.6 GPM, F#26-24.3 GPM NOZZLES @ 55 PSI
	POINT OF CONNECTION (SECONDARY WATER) SEE PLAN FOR SIZE
	CONTROLLER:RAINBIRD ESP-1X1VM WITH 1LMR REMOTE KIT. PLACE IN FIRE RISER ROOM, CONTRACTOR TO ADJUST LOCATION WITH OWNER PRIOR TO CONSTRUCTION.
	RAINBIRD WR2-RC WIRELESS RAIN SHUT OFF DEVICE
	ISOLATION BALL VALVE - LINE SIZED INSTALL PER MANUFACTURER'S SPEC.
	2" T SUPER AMIAD PLASTIC FILTER - INSTALL PER MANUFACTURER'S RECOMMENDATIONS (130 MICRON)
	MASTER VALVE
	FLOW SENSOR
	QUICK COUPLER: RAINBIRD 44LRC INSTALL PER MANUFACTURER'S SPEC.
	VALVE DECODER (AT ALL VALVE GROUPINGS) INSTALL PER MANUFACTURER'S SPEC. LIGHTNING ARRESTER (AT ALL VALVE GROUPINGS) INSTALL PER MANUFACTURER'S SPEC.
	REMOTE CONTROL VALVE: RAINBIRD IVMSOL AUTOMATIC CONTROL VALVE (SIZE AS NOTED ON PLAN- USE JUMBO BOX-PURPLE LID) PLACE YELLOW TAGS ON ALL VALVES AND LABEL.
	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-(PER PLAN)-PRBR-COM MED FLOW (SIZE AS NOTED ON PLAN)
	MAINLINE: SCHEDULE 40 PVC WITH SCHEDULE 80 FITTINGS, 2" DIAMETER 24" MIN. COVER
	LATERAL LINE: SCHEDULE 40 PVC WITH SCH. 40 FITTINGS. SEE PIPE SIZING CHART
	DRIP CONNECTION, PROVIDE DRIP IRRIGATION TO ALL TREES, SHRUBS, AND PERENNIALS IN PLANTER AREAS
	DRIP LINE: RAINBIRD XFSP-09-18-100 OR EQUIVALENT
	CLASS 200 SLEEVE PER PLAN
NO SYMBOL	WIRE CHASE, SIZE TO BE TWICE THE DIAMETER OF THE WIRE BUNDLE WITHIN 1 1/4" DIAMETER MINIMUM 1/4 GAUGE SOLID COPPER SINGLE STRAND CONTROL WIRE. INSTALL PER MANUFACTURER'S SPEC. PROVIDE 2 WIRE LOOP SYSTEM. ONLY WIRE FROM POC TO CONTROLLER IS SHOWN ON PLANS. CONTRACTOR TO INSTALL WIRE IN CONDUIT FROM POC TO ALL VALVES. THE WIRE TO VALVES IS NOT SHOWN ON PLAN

DRIP ZONE

TYPE	PART NUMBER	EMITTER FLOW	EMITTER SPACING	ROW SPACING	ROW SPACING
XIS DRIPLINE	XFSP-09-18	9 GPH	18"	18"	18-21 IN.
TOTAL DRIP ZONE FLOW		20 GPM	TIME TO APPLY 1/4" OF WATER		23
MAX LATERAL LENGTH OF TUBING		350 FT	REQUIRED NUMBER OF STAKES		500
TOTAL LENGTH OF ZONE DRIPLINE		2,490 FT (varies per plan)	NUMBER OF FLUSH POINTS		2
APPLICATION RATE		64 IN. / HR	SUGGESTED HEADER & FOOTER PIPE SIZE		CLASS 200 1.25"

*NUMBERS MAY CHANGE DUE TO SIZE OF DRIP ZONE PER PLAN

IRRIGATION NOTES

- BEFORE WORK IS TO COMMENCE, BLUE STAKES/DIG LINE IS TO BE CALLED AND NOTIFIED. IF ANY DAMAGE TO UTILITIES HAPPEN DURING CONSTRUCTION, THE CONTRACTOR SHALL REPAIR IT AT THEIR EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS IN ACCORDANCE WITH CITY AND/OR COUNTY CODES AND COMPLY WITH SPECIFICATIONS AND DRAWINGS.
- INVESTIGATE TO MAKE SURE THAT THE IRRIGATION SYSTEM IS, IN FACT, BEING CONNECTED TO A SECONDARY SYSTEM. IF IT IS NOT CONNECTED TO SECONDARY, CONTACT THE OWNER AND LANDSCAPE ARCHITECT TO COORDINATE A CULINARY SYSTEM AND REQUIRED COMPONENTS. A FUNCTIONING AMIAD FILTER IS TO BE USED AT THE POINT OF CONNECTION.
- VERIFY THAT THE POINT OF CONNECTION IS IN THE CORRECT LOCATION BEFORE INSTALLATION. ALL CONNECTIONS ON THIS PROJECT ARE TO SECONDARY WATER AND SHOULD BE NOTED AS SUCH. THEREFORE, ALL PARTS MUST MEET WATER STANDARDS THAT PERTAIN TO SECONDARY WATER. USE PURPLE VALVE BOXES FOR SECONDARY WATER SYSTEMS.
- ON OCCASION AND FOR GRAPHIC PURPOSES ONLY, THE IRRIGATION SYSTEM MIGHT BE SHOWN IN HARDSCAPE AREAS. THIS IRRIGATION IS TO BE PLACED IN LANDSCAPED AREAS ON THE PROPERTY SITE.
- CONTRACTOR SHALL USE ONLY COMMERCIAL GRADE IRRIGATION PRODUCTS. THIS INCLUDES PIPE TO BE SCHEDULE 40 PVC OR BETTER. NO POLY PIPE IS TO BE USED. FITTINGS UP TO 1-1/2" MUST BE SCHEDULE 40 OR BETTER. FITTINGS LARGER THAN 1-1/2" SHALL BE SCHEDULE 80 OR BETTER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION.
- MAIN LINES SHALL BE A MINIMUM OF 24" DEEP AND LATERAL LINES A MINIMUM OF 12" DEEP. NO ROCK GREATER THAN 1/2" DIAMETER SHALL BE ALLOWED IN TRENCHES. TRENCHING BACKFILL MATERIAL SHALL BE COMPACTED TO PROPER FINISHED GRADE.
- NO IRRIGATION MAIN LINE MAY BE LOCATED WITHIN 5 FEET OF ANY STRUCTURE.
- TO AVOID PIPE DAMAGE, ADJUST LOCATION OF PIPE TO NOT BE DIRECTLY UNDER PLANT MATERIALS. VALVE BOXES ARE PREFERRED TO BE IN PLANTER BEDS INSTEAD OF THE LAWN.
- PLAN INDICATES 100% OR BETTER HEAD TO HEAD COVERAGE. SHOULD CONTRACTOR FIND DISCREPANCIES DUE TO NECESSARY FIELD ADJUSTMENTS, CONTACT LANDSCAPE ARCHITECT FOR IRRIGATION CORRECTION.
- DRIP IRRIGATION TO BE INSTALLED PER DETAILS. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS. TUBING SHOULD REST TOWARD OUTER EDGE OF ROOTBALL AND NOT AGAINST TRUNK OF PLANT.
- A QUICK COUPLER SHALL BE INSTALLED AT POINT OF CONNECTION TO ALLOW BLOW OUT OF SYSTEM BY AIR COMPRESSOR AT END OF EACH SEASON.
- INSTALL SLEEVES FOR ALL PIPES AND WIRE CONDUIT THAT ARE PLACED UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE BEING PLACED INTERNALLY. WIRE CONDUIT SHALL BE INSTALLED IN CLASS 200 PIPE AT ANY DIRECTIONAL CHANGE THAT OCCURS, A JUNCTION BOX IS TO BE PLACED.
- CONDUITS CAN NOT BE SHARED BY WATER AND ELECTRICAL LINES. ALL WIRE TO BE PUT IN PVC CONDUIT. ALL WIRE CONNECTIONS TO BE PLACED IN A VALVE BOX. ALL WIRE CONNECTIONS TO USE WATERPROOF WIRE CONNECTORS WITH AT LEAST 3' OF EXTRA WIRE. PROVIDE PLENTY OF EXTRA WIRE AT EVERY DIRECTIONAL CHANGE. INSULATED 1/4 GAUGE COPPER TO BE USED FOR ALL CONTROL WIRES AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO INSTALL LIGHTNING ARRESTOR AND GROUNDING RODS ON SITE PER MANUFACTURER'S RECOMMENDATIONS, SEE DETAILS.
- CONTRACTOR TO SEPARATE SYSTEM (CONTROLLER, VALVES, AND DIFFERENT COLORED WIRE) FROM CITY MAINTAINED PROPERTY AND HOA/OWNER MAINTAINED PROPERTY.
- DUCT TAPE ALL SLEEVES TO PREVENT SOIL OR OTHER DEBRIS ENTERING PIPE. IDENTIFY ALL SLEEVES BY WOOD OR PVC STAKES AND SPRAY PAINT WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- TO PREVENT EROSION AND LOW POINT DRAINAGE CONTRACTOR SHALL INSTALL CHECK VALVES
- LOCATE SPRAY HEADS NO CLOSER THAN 6" FROM WALLS, FENCES OR BUILDINGS AND 2" AWAY FROM WALKS, PATHS OR CURBS.
- PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING. CONTACT LANDSCAPE ARCHITECT/OWNER AT THIS TIME FOR COMPLIANCE.
- CONTRACTOR TO CONSULT WITH OWNER ON EXACT LOCATION OF CONTROLLER. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR AND OWNER FOR THE POWER SUPPLY. INSTALL ALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL INSTALL A RAIN SENSOR OR WITH THE CONTROLLER. OTHERWISE DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
- LATERAL LINES SHALL BE NO SMALLER THAN 3/4". LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES DO NOT EXCEED THE SUGGESTED GPM LISTED BELOW:

VALVE ID TAG
CONTROL NUMBER
VALVE NUMBER
GALLONS PER MINUTE
NOTE:
1. VALVE ID TAGS ARE LOCATED NEAR VALVES IN THE ORDER THE VALVES APPEAR ON THE DRAWING

ISSUE DATE
3/27/2025

PROJECT NUMBER
UT21037

NO. REVISION DATE

1 CITY COMMENTS 03-27-2025

2

3

4

5

6

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1

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UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
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N

0' 10' 20' 40' 80'
GRAPHIC SCALE: 1" = 20'

AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT
Property Owner:
AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

Architect / Engineer:
CIR CIVIL ENGINEERING
3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
801-949-6296

LANDSCAPE ARCHITECT / PLANNER

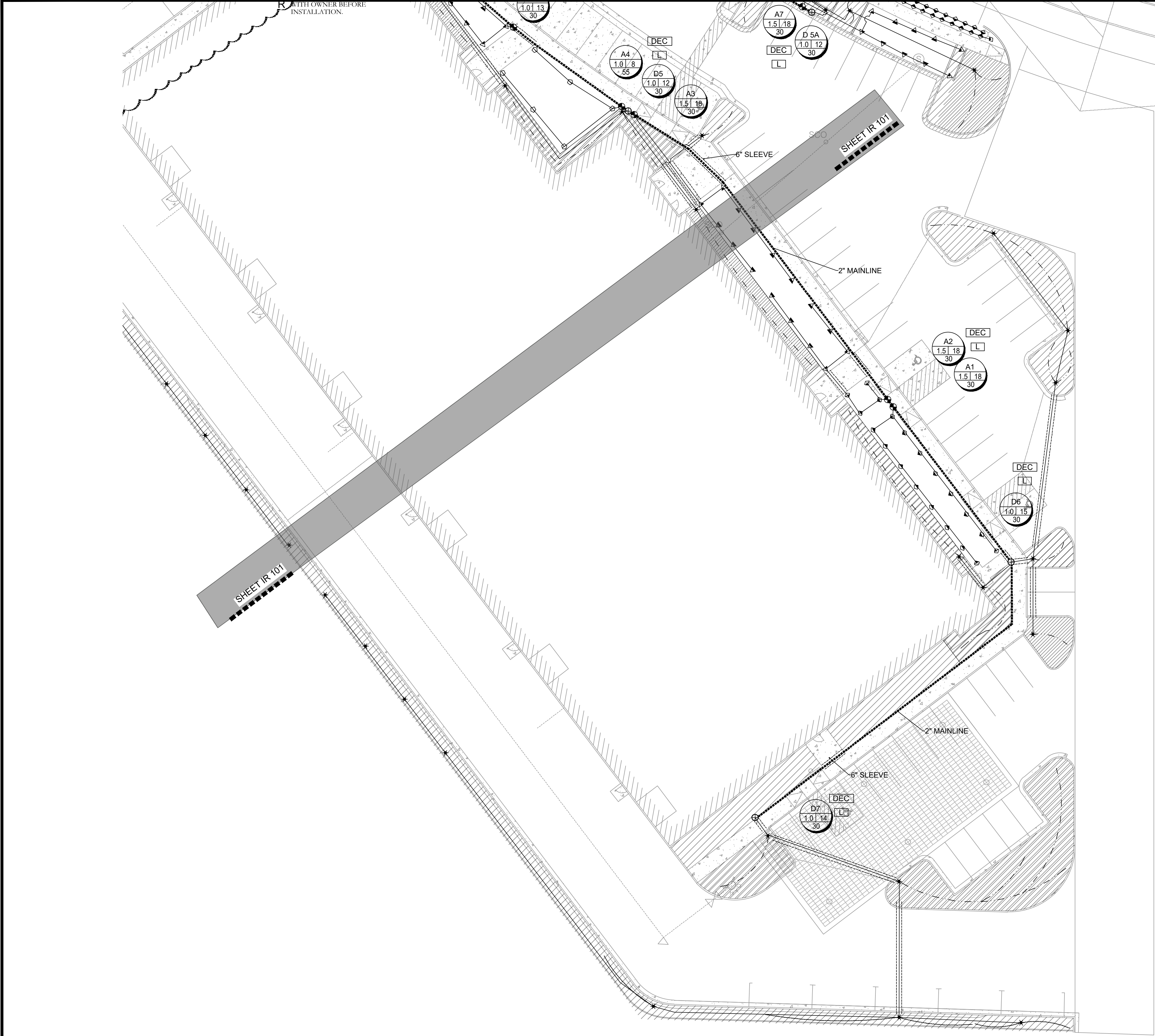
DESIGN GROUP
Landscape Architecture • Planning • Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

LICENSE STAMP

IRRIGATION PLAN

DRAWING INFO
PM: JTA
DRAWN: AP
CHECKED: KA
PLOT DATE: 3/27/2025

IR-101



IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER
●	RAINBIRD RD04-S-PRS POP UP SPRAY 5 SERIES @ 30 PSI
●	RAINBIRD RD04-S-PRS POP UP SPRAY 8 U-SERIES @ 30 PSI
●	RAINBIRD RD04-S-PRS POP UP SPRAY 10 U-SERIES @ 30 PSI
●	RAINBIRD RD04-S-PRS POP UP SPRAY 12 U-SERIES @ 30 PSI
●	RAINBIRD RD04-S-PRS POP UP SPRAY 15 U-SERIES @ 30 PSI
●	RAINBIRD RD04-S-PRS POP UP SPRAY 15 SST @ 30 PSI
●	RAINBIRD RD04-S-PRS POP UP SPRAY 15 SST @ 30 PSI
●	RAINBIRD 5000 SERIES MPR NOZZLES @ 55 PSI
●	RAINBIRD 8005 SERIES Q#8-6.6 GPM, 11#14-12.6 GPM, F#26-24.3 GPM NOZZLES @ 55 PSI
S	POINT OF CONNECTION (SECONDARY WATER) SEE PLAN FOR SIZE
A	CONTROLLER:RAINBIRD ESP-1XIVM WITH LIMR REMOTE KIT, PLACE IN FIRE RISER ROOM, CONTRACTOR TO ADJUST LOCATION WITH OWNER PRIOR TO CONSTRUCTION.
R	RAINBIRD WR2-RC- WIRELESS RAIN SHUT OFF-DEVICE
X	ISOLATION BALL VALVE - LINE SIZED INSTALL PER MANUFACTURER'S SPEC.
M	2" T SUPER AMIAD PLASTIC FILTER - INSTALL PER MANUFACTURE'S RECOMMENDATIONS (130 MICRON)
F	MASTER VALVE
D	FLOW SENSOR
DEC	QUICK COUPLER: RAINBIRD 44LRC INSTALL PER MANUFACTURER'S SPEC.
L	VALVE DECODER (AT ALL VALVE GROUPINGS) INSTALL PER MANUFACTURER'S SPEC. LIGHTNING ARRESTER (AT ALL VALVE GROUPINGS) INSTALL PER MANUFACTURER'S SPEC.
⊕	REMOTE CONTROL VALVE: RAINBIRD IVMSOL AUTOMATIC CONTROL VALVE (SIZE AS NOTED ON PLAN) USE JUMBO BOX PURPLE LID, PLACE YELLOW TAGS ON ALL VALVES AND LABEL.
⊕	DRIP CONTROL ZONE KIT: RAINBIRD XCZ-(PER PLAN)-PRBR-COM MED FLOW (SIZE AS NOTED ON PLAN)
-----	MAINLINE: SCHEDULE 40 PVC WITH SCHEDULE 80 FITTINGS, 2" DIAMETER 24" MIN. COVER
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*	DRIP CONNECTION, PROVIDE: DRIP IRRIGATION TO ALL TREES, SHRUBS, AND PERENNIALS IN PLANTER AREAS
-----	DRIP LINE: RAINBIRD XISP-09-18-100 OR EQUIVALENT
-----	CLASS 200 SLEEVE PER PLAN
NO SYMBOL	WIRE CHASE, SIZE TO BE TWICE THE DIAMETER OF THE WIRE BUNDLE WITHIN. 1 1/4" DIAMETER MINIMUM
	14 GAUGE SOLID COPPER SINGLE STRAND CONTROL WIRE. INSTALL PER MANUFACTURER'S SPEC. PROVIDE 2 WIRE LOOP SYSTEM. ONLY WIRE FROM POC TO CONTROLLER IS DEPICTED ON PLAN. CONTRACTOR TO INSTALL WIRE IN CONDUIT FROM POC TO ALL VALVES. THE WIRE TO VALVES IS NOT SHOWN ON PLAN.

DRIP ZONE

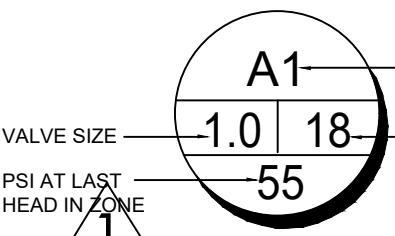
	TYPE	PART NUMBER	EMITTER FLOW	EMITTER SPACING	ROW SPACING	ROW SPACING
	XFS DRIPLINE	XFS-09-18	.9 GPH	18"	18"	18-21 IN.
	TOTAL DRIP ZONE FLOW		20 GPM	TIME TO APPLY 1/4" OF WATER		23
	MAX. LATERAL LENGTH OF TUBING		550 FT	REQUIRED NUMBER OF STAKES		500
	TOTAL LENGTH OF ZONE DRIPLINE		2,000 FT (varies per plan)	NUMBER OF FLUSH POINTS		2
	APPLICATION RATE		64 IN. / HR	SUGGESTED HEADER & FOOTER PIPE SIZE		CLASS 200 1.25"

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- LATERAL LINES SHALL BE NO SMALLER THAN 3/4". LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES DO NOT EXCEED THE SUGGESTED GPM LISTED BELOW:

3/4"	8 GPM
1"	12 GPM
1-1/2"	30 GPM
2"	55 GPM
2-1/2"	75 GPM
3"	110 GPM
4"	180 GPM



VALVE ID TAG
CONTROLLER NUMBER, VALVE NUMBER
GALLONS PER MINUTE
NOTE:
1. VALVE ID TAGS ARE LOCATED NEAR VALVES IN THE ORDER THE VALVES APPEAR ON THE DRAWING

ISSUE DATE
3/27/2025

PROJECT NUMBER
UT21037

1

811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

GRAPHIC SCALE: 1" = 20'

AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT
Property Owner:
AE URBIA
909 W. SOUTH JORDAN PARKWAY
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801-575-6455

Architect / Engineer:
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3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
801-949-6296

LANDSCAPE ARCHITECT / PLANNER

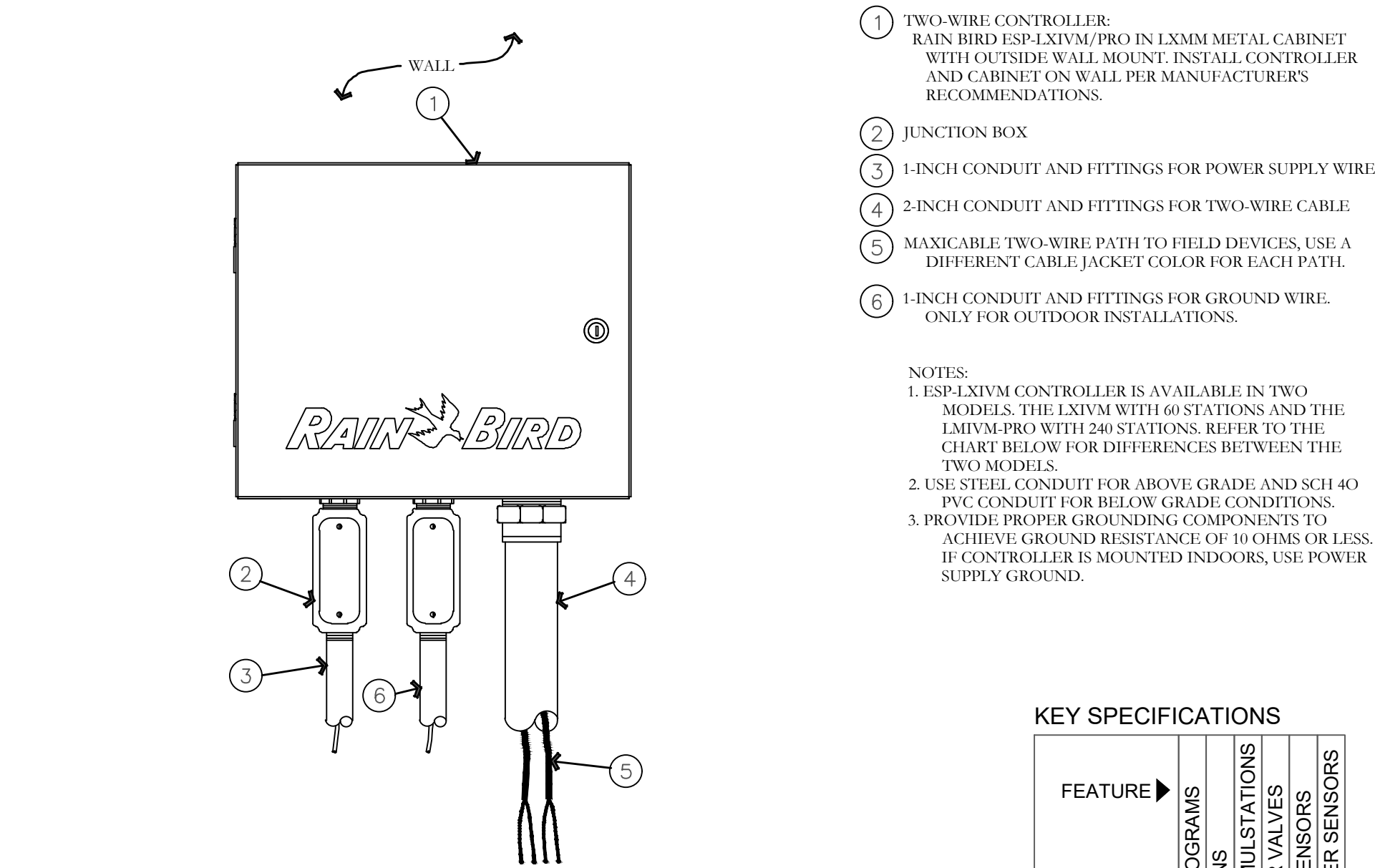
Landscape Architecture • Planning • Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

LICENSE STAMP

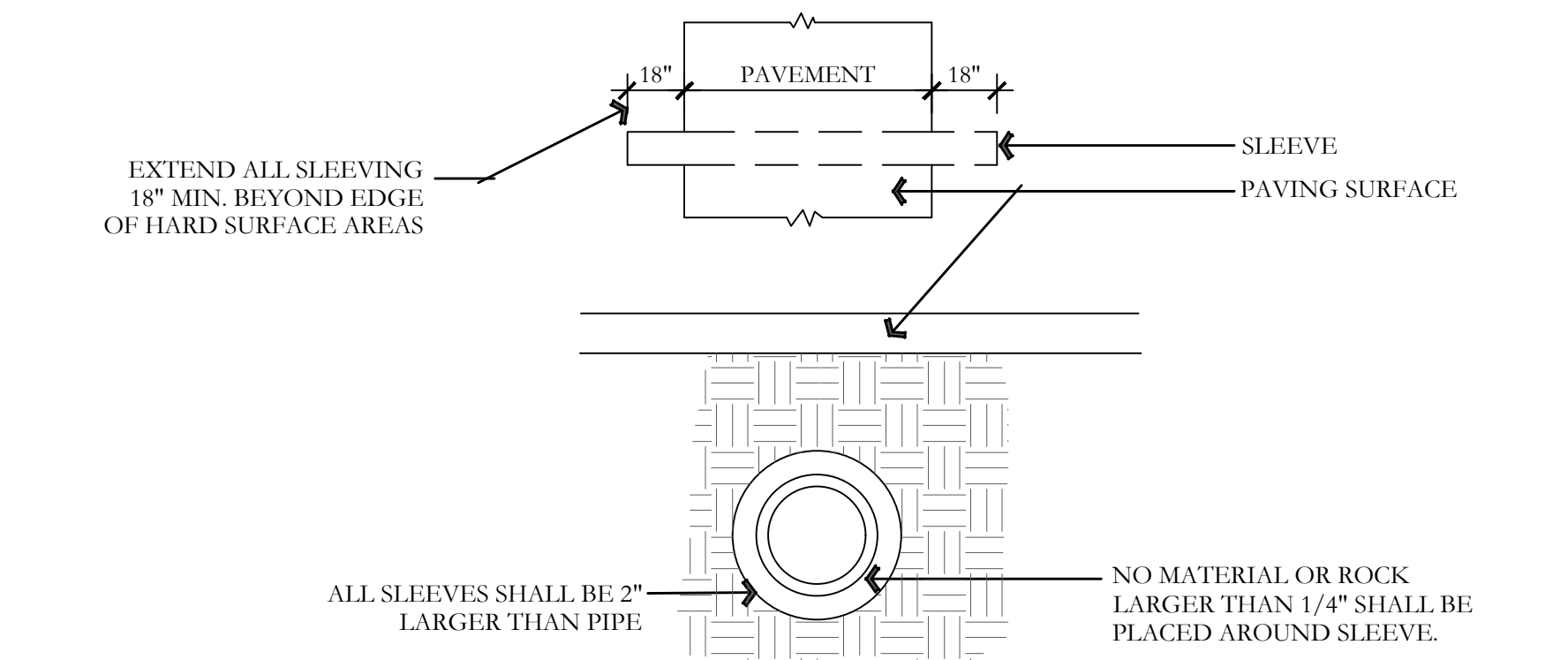
DRAWING INFO
PM: JTA
DRAWN: AP
CHECKED: KA
PLOT DATE: 3/27/2025

IRRIGATION PLAN

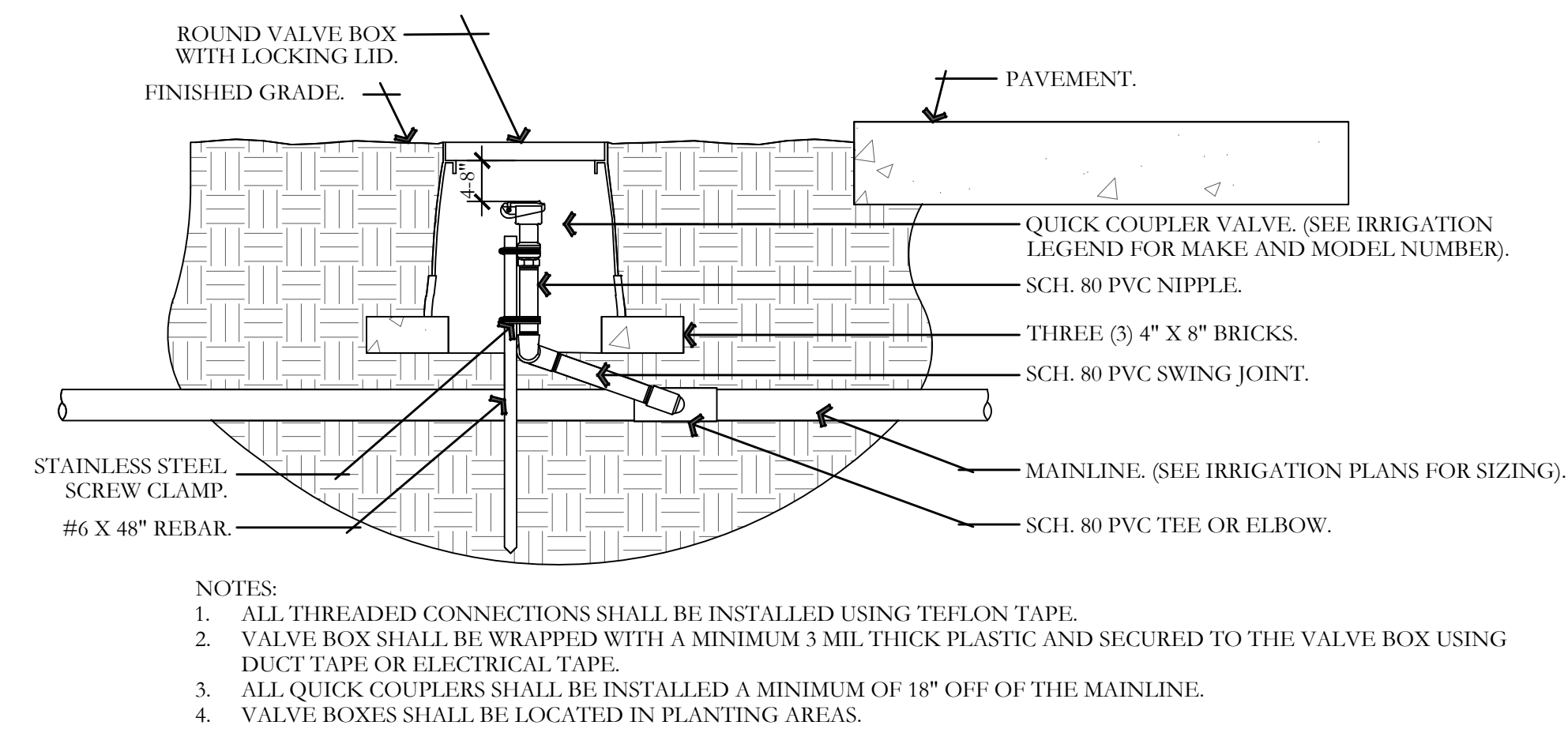
IR-102



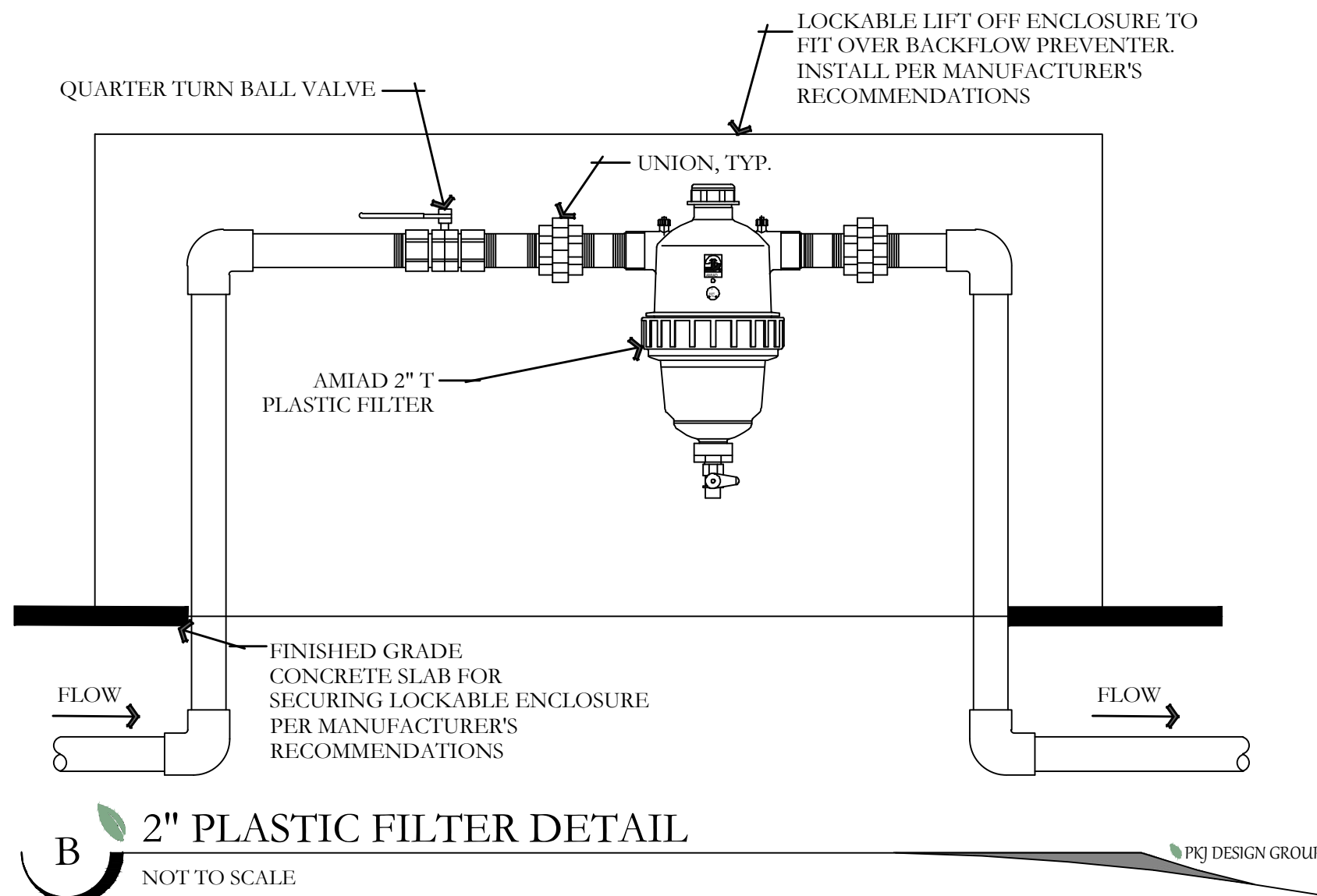
A ESP-LXIVM/PRO TWO-WIRE CONTROLLER IN METAL CABINET
NOT TO SCALE



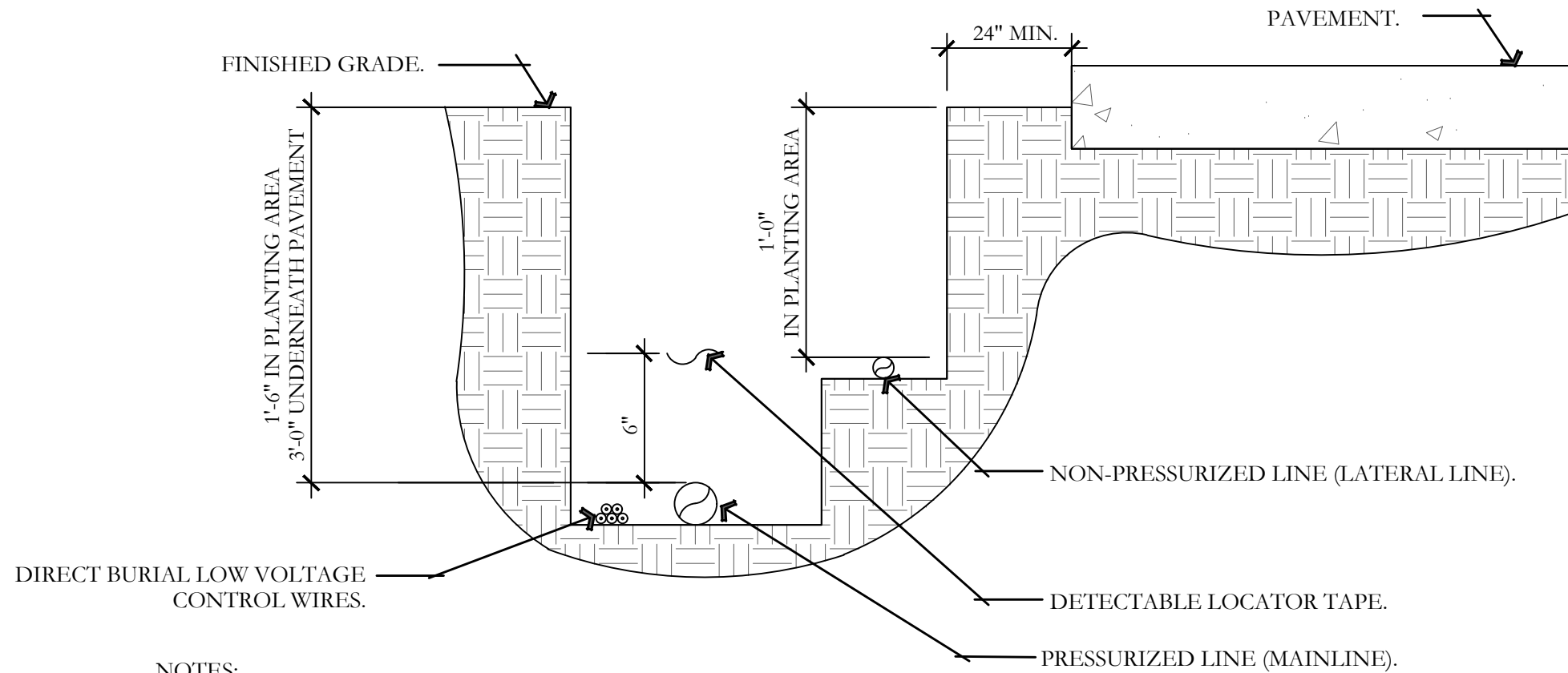
D TYPICAL SLEEVING DETAIL
NOT TO SCALE



G QUICK COUPLER DETAIL
NOT TO SCALE

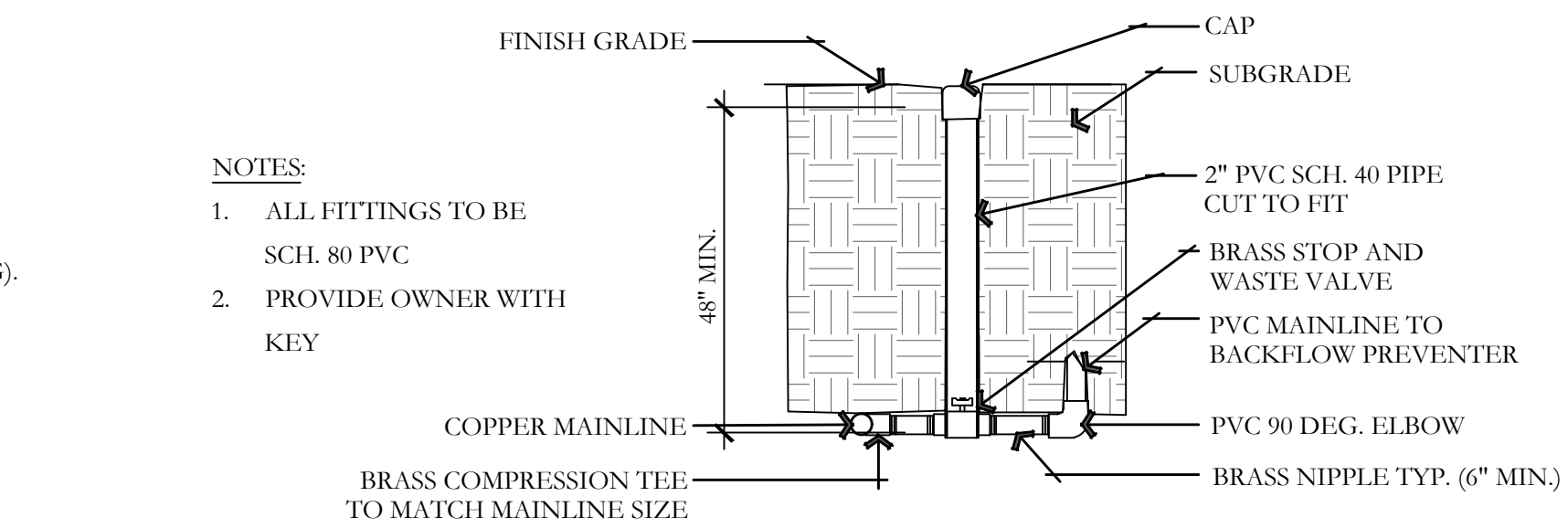


B 2" PLASTIC FILTER DETAIL
NOT TO SCALE



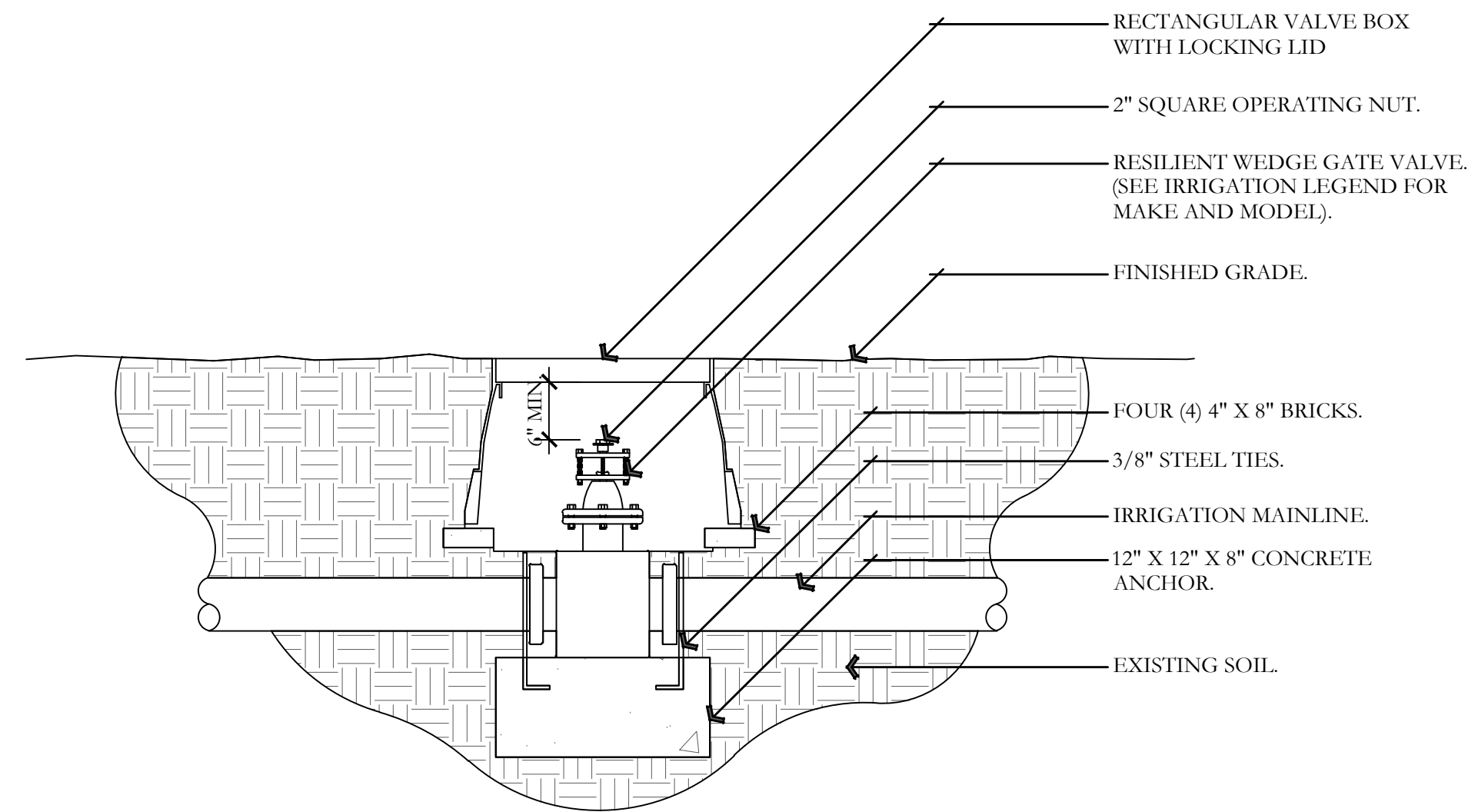
- NOTES:
- SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
 - DIRECT BURIAL CONTROL WIRES SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT IF REQUIRED.
 - 2-WIRE IRRIGATION WIRE SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT.
 - DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.

E IRRIGATION TRENCHING DETAIL
NOT TO SCALE



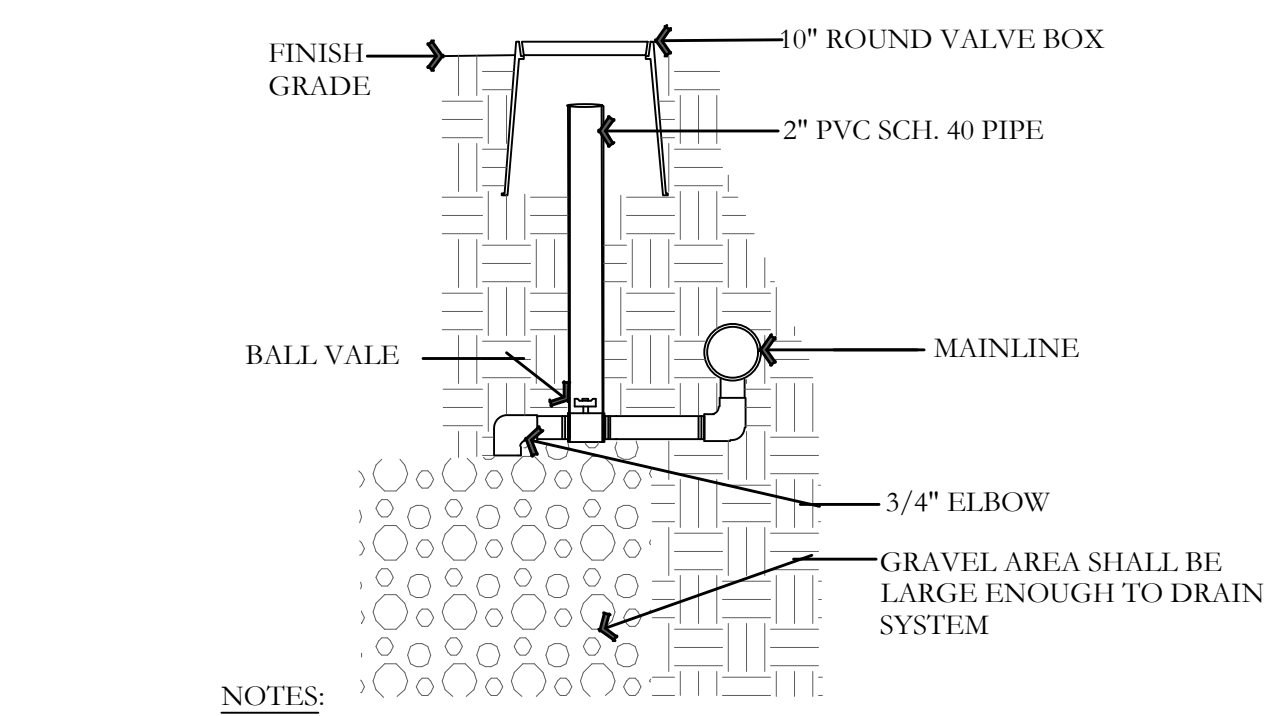
- NOTES:
- ALL FITTINGS TO BE SCH. 80 PVC
 - PROVIDE OWNER WITH KEY

H STOP AND WASTE VALVE ASSEMBLY DETAIL
NOT TO SCALE



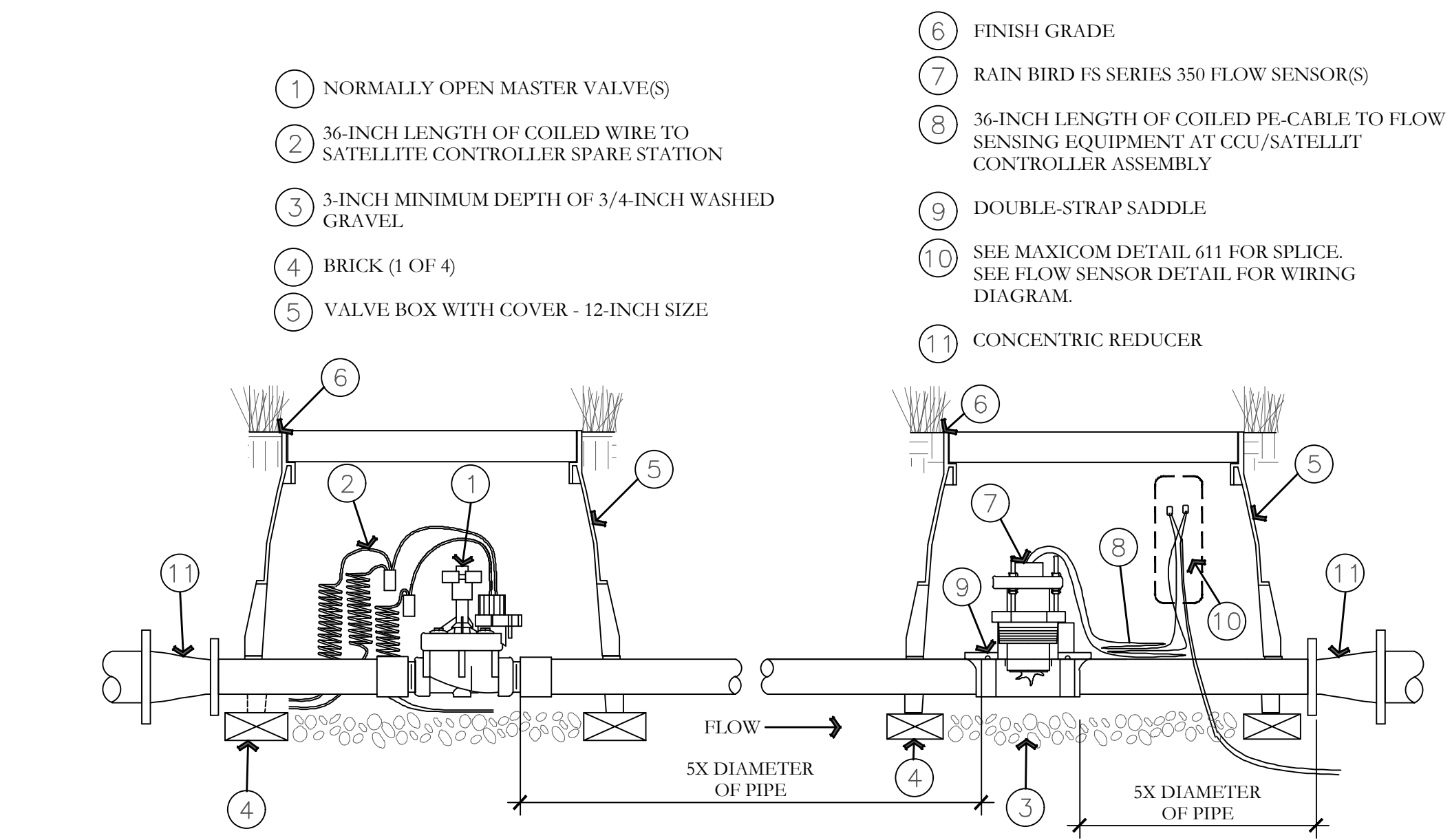
- NOTES:
- INSTALL GATE VALVE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 - VALVE BOX SHALL BE WRAPPED WITH MINIMUM 3 MIL THICK PLASTIC AND SECURE IT TO VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
 - VALVE BOX SHALL BE LOCATED IN PLANTING AREA.

C GATE VALVE AND ANCHOR DETAIL
NOT TO SCALE



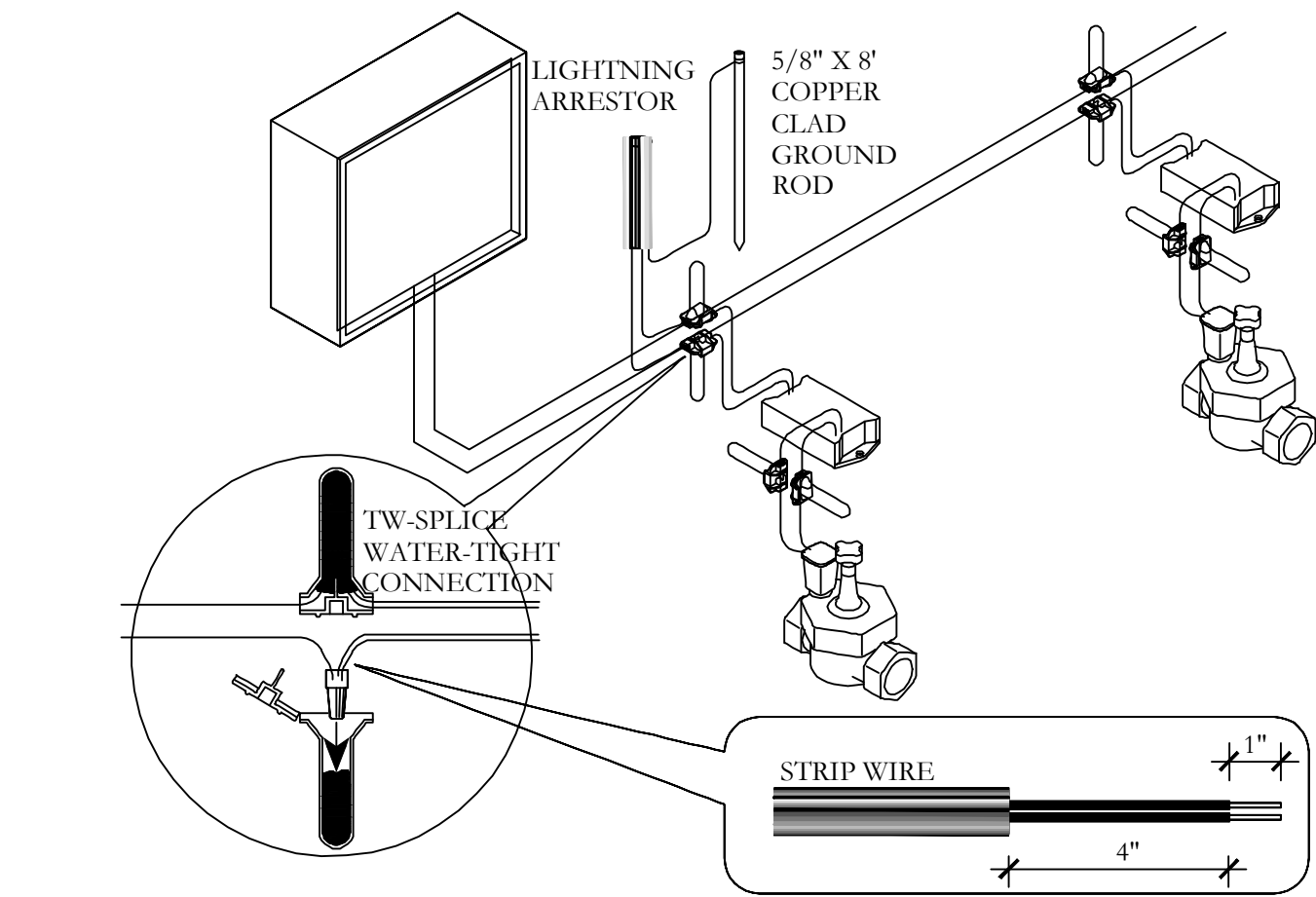
- NOTES:
- ALL FITTINGS TO BE SCH. 80 PVC
 - PROVIDE OWNER WITH KEY

F MANUAL DRAIN DETAIL
NOT TO SCALE

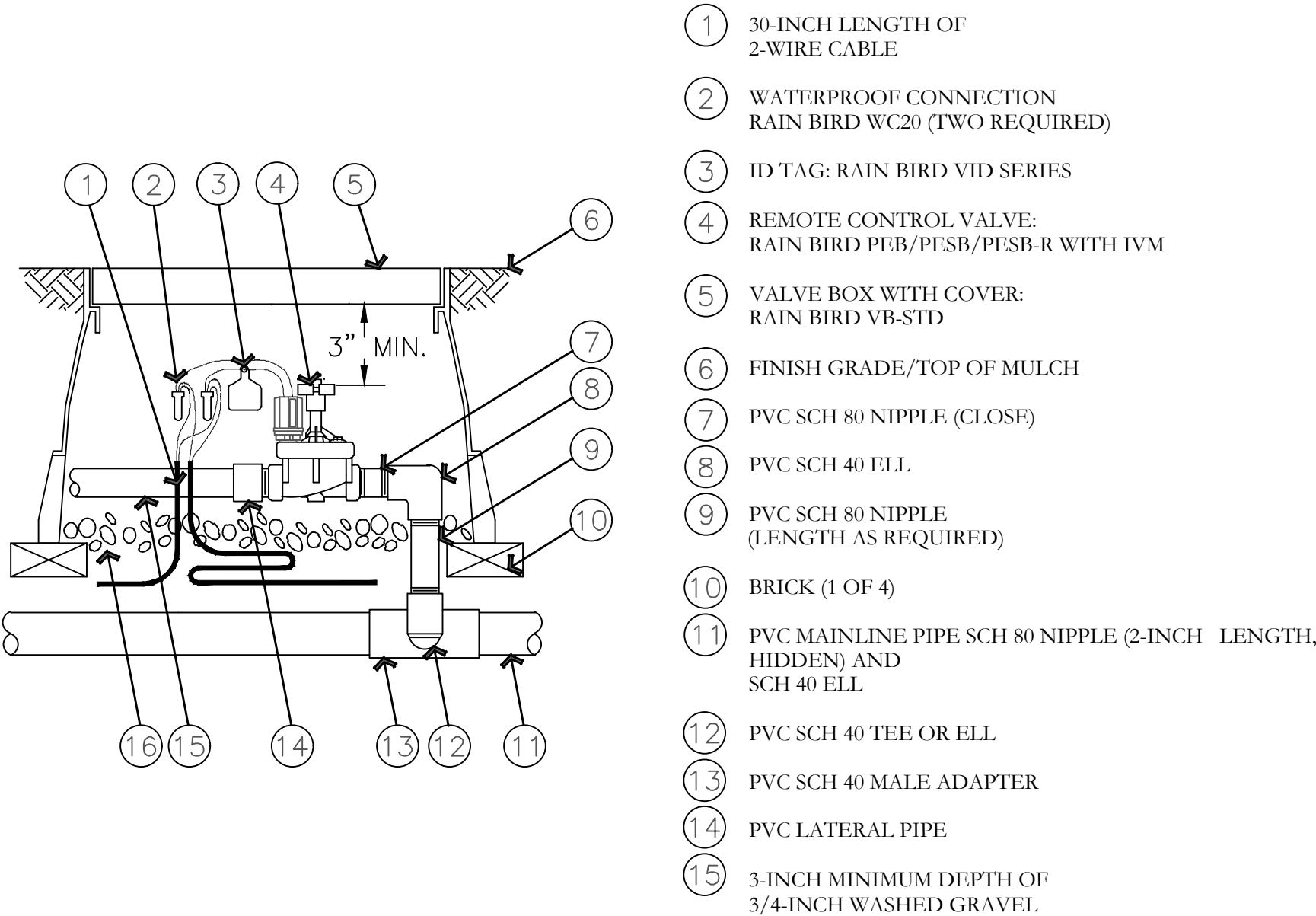


I MASTER VALVE AND FLOW SENSOR DETAIL
NOT TO SCALE

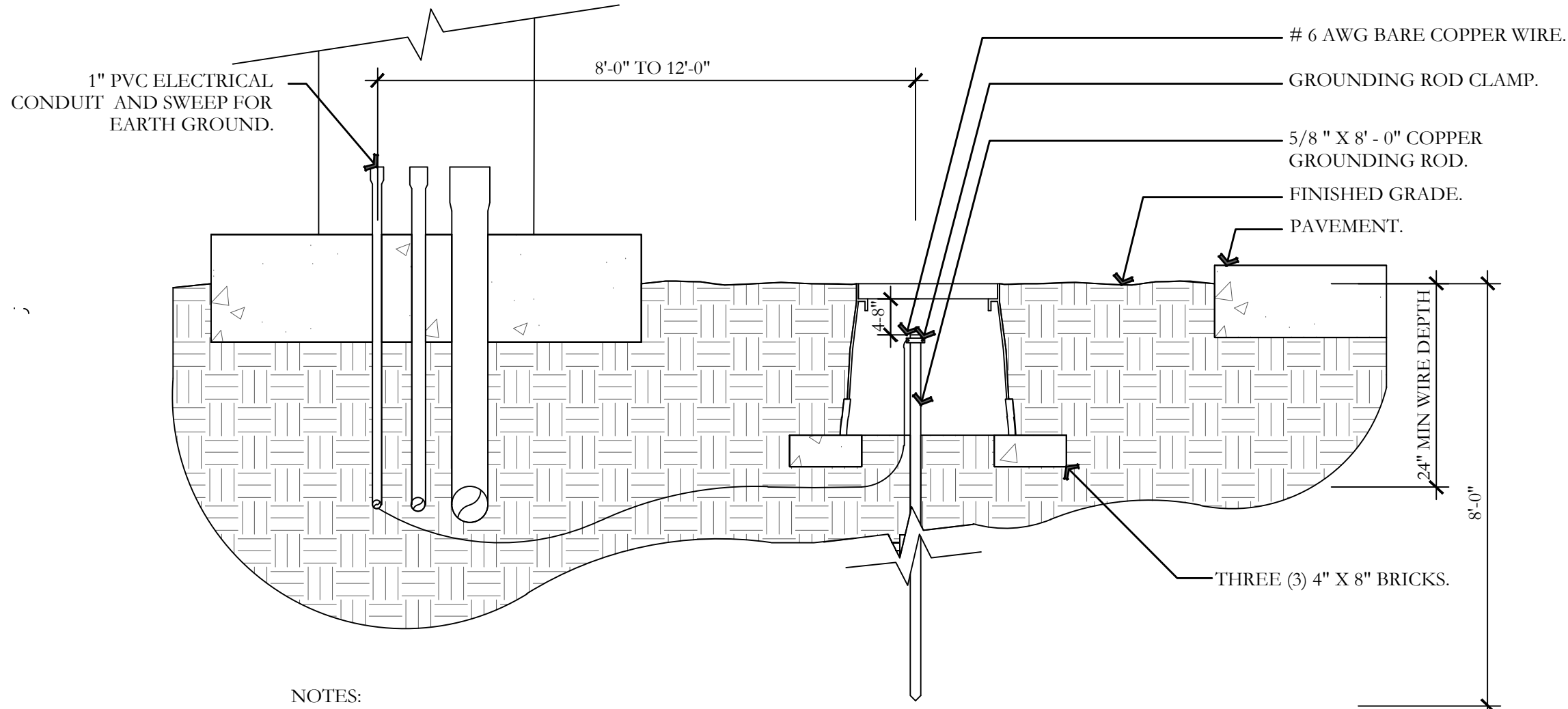
ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
3/27/2025	UT21037	 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org	 AMERICAN FORK OFFICE 452 E. & AUTO MALL DR. AMERICAN FORK, UTAH	Property Owner: AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455	 PKJ DESIGN GROUP Landscape Architecture • Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com	 IR-501	PM: JTA DRAWN: AP CHECKED: KA PLOT DATE: 3/27/2025
NO. REVISION DATE							
1	CITY COMMENTS	03-27-2025					
2							
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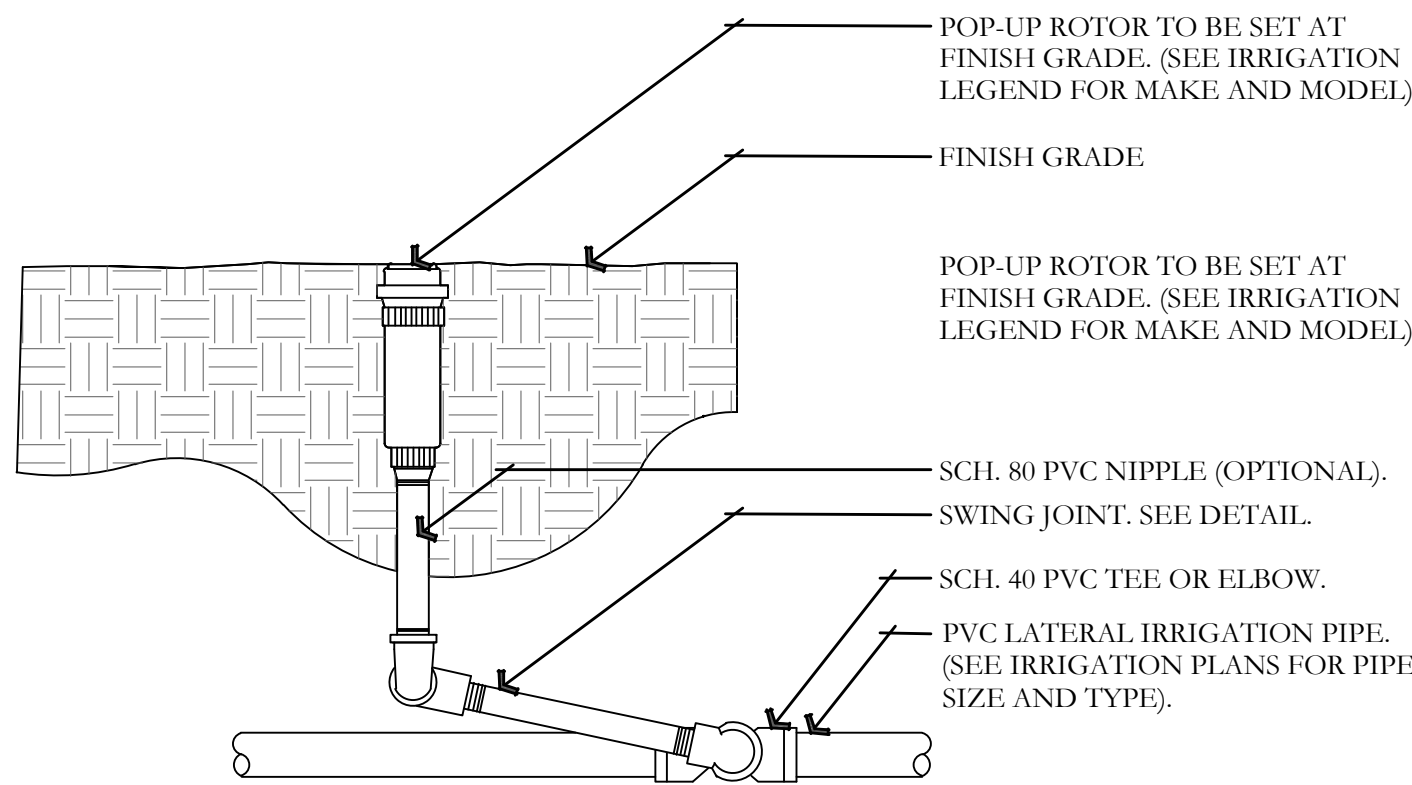
J 2-WIRE CONNECTION DETAIL
NOT TO SCALE



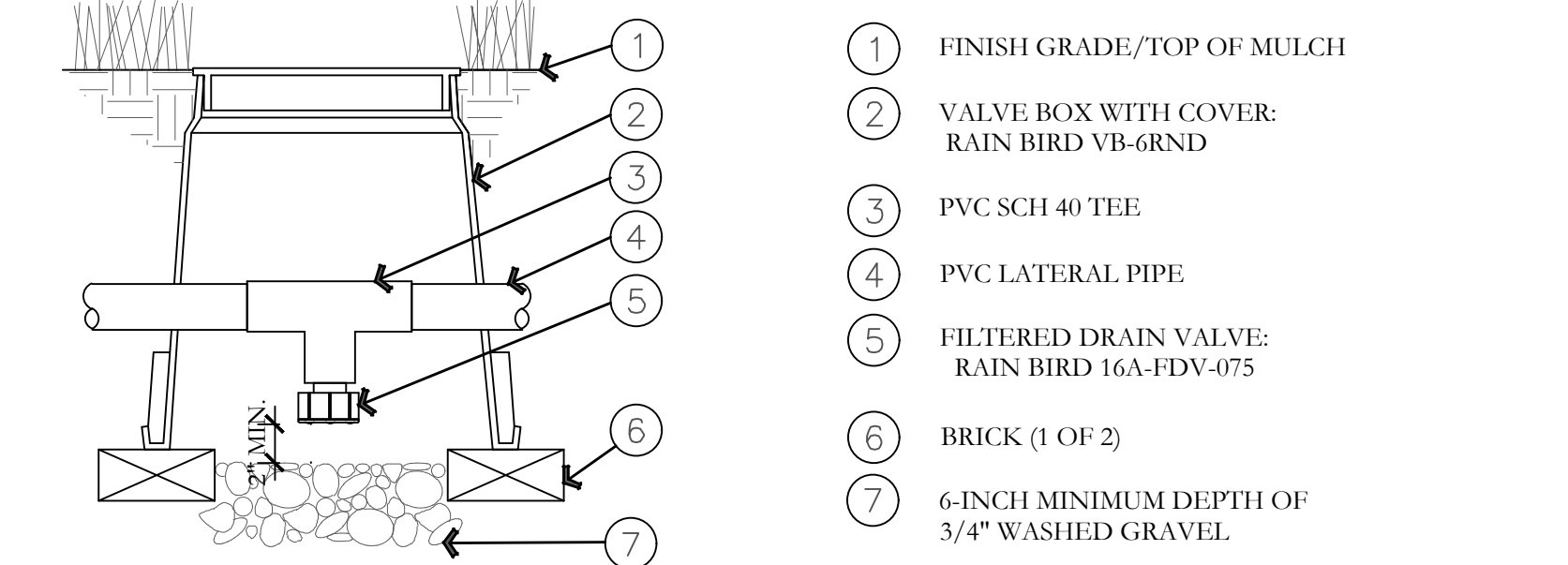
M ELECTRIC REMOTE-CONTROL VALVE
PEB OR PESB SERIES WITH IVM
NOT TO SCALE



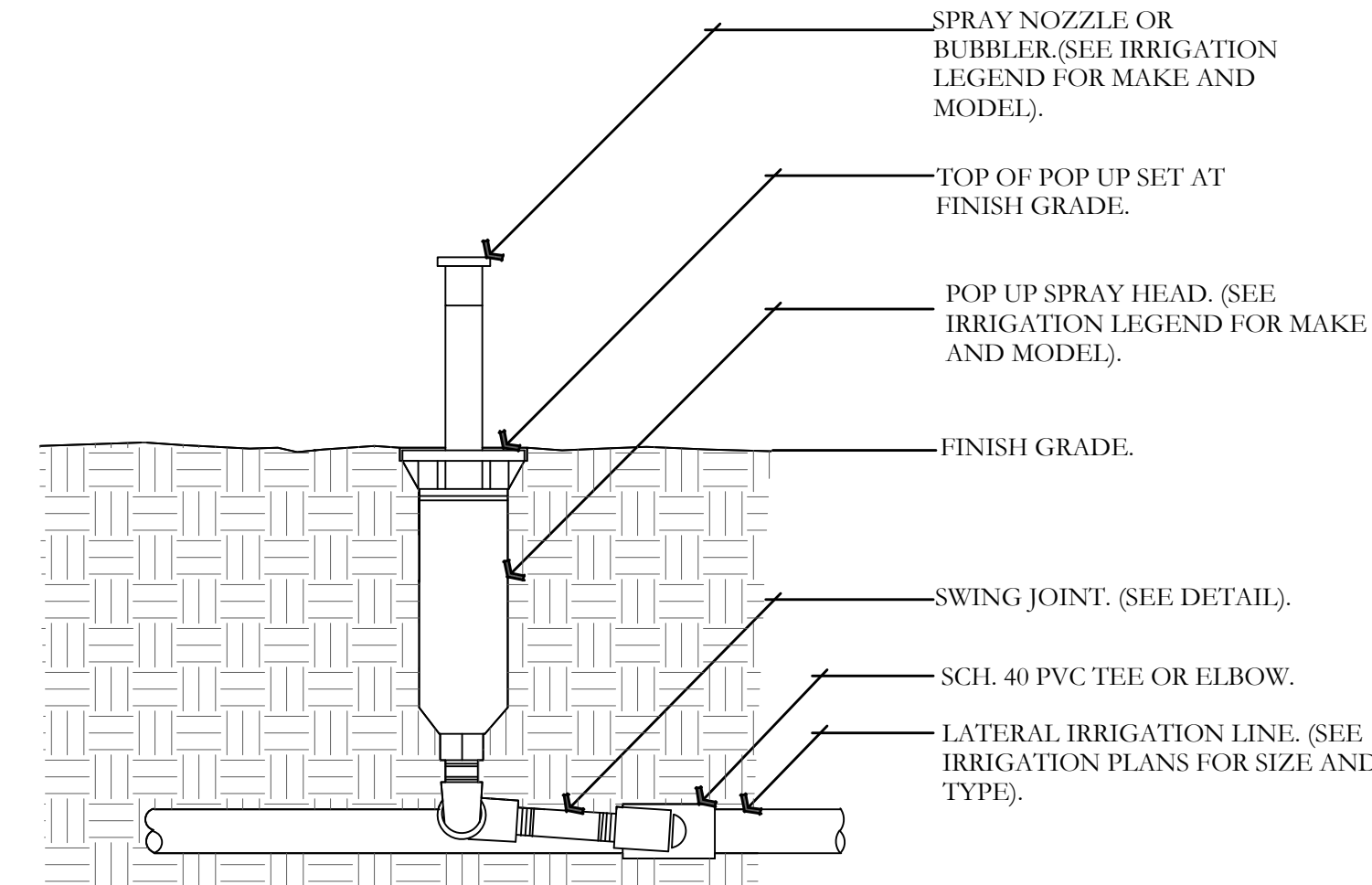
K GROUNDING ROD DETAIL
NOT TO SCALE



N ROTOR SPRAYHEAD DETAIL
NOT TO SCALE



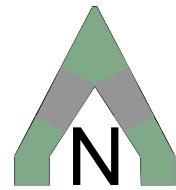
L LATERAL LINE DRAIN VALVE DETAIL
NOT TO SCALE



O POP UP-SPRAY HEAD DETAIL
NOT TO SCALE

NO.	REVISION	DATE
1	CITY COMMENTS	03-27-2025
2		
3		
4		
5		
6		
7		

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AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT
Property Owner:
AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455
Architect / Engineer:
CIR CIVIL ENGINEERING
3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
801-949-6296

LANDSCAPE ARCHITECT / PLANNER
PM: JTA
DRAWN: AP
CHECKED: KA
PLOT DATE: 3/27/2025
LICENSE STAMP
IR-502

1
IR-502

AMERICAN FORK OFFICE & WAREHOUSE

LOCATED IN THE NORTHWEST QUARTER OF SECTION 25,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH

Next Step:
Proceed to Planning Commission
05/21/2025

DRC Plan Review Meetings
These meetings are available with staff on Tuesdays from 9:00 AM-12:00 PM in 30 minute appointments.
Meetings can be scheduled with Melissa White at mwhite@americanfork.gov or through 801-854-5932

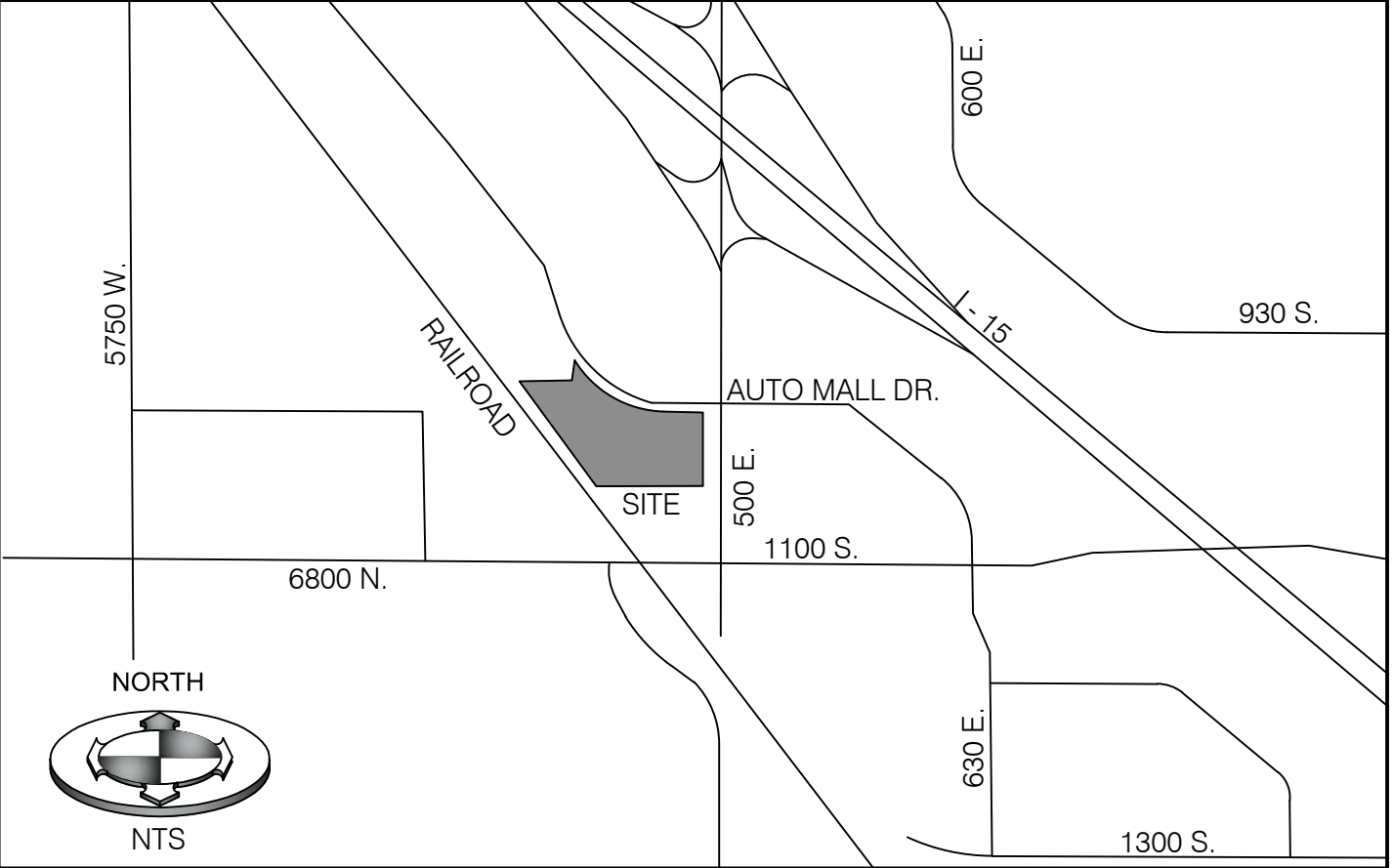
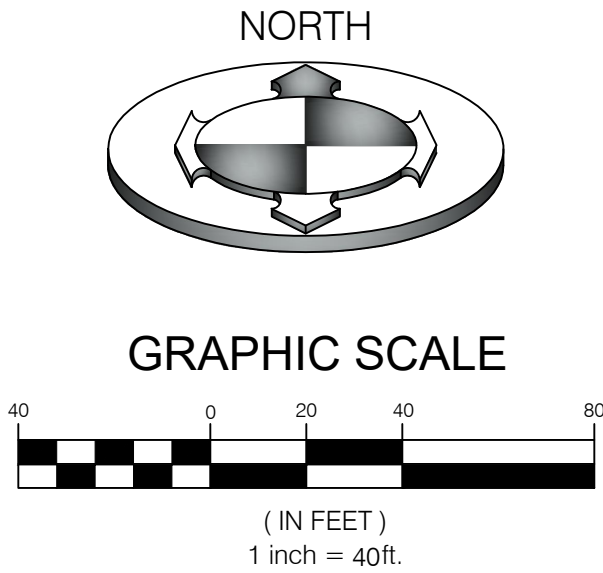
American Fork City Development Review	
EC/LID Reviewed tmezenen 04/21/2025	Water/PI Division Reviewed jbrems 04/30/2025
Sewer/Storm Drain Division Reviewed ahardy 04/23/2025	Planning and Zoning Reviewed copperman 04/30/2025
Public Infrastructure Reviewed dhoward 04/28/2025	Fire Department Reviewed M. Sacco 04/30/2025
	Engineering Division Reviewed rburkhill 04/28/2025
	Streets Division Reviewed ehyde 04/30/2025

Re-Submittal Acknowledgment Statement
The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

[Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.

[Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

[Applicant Initial] This is the [Ex: 1st] complete re-submittal of the subdivision constituting the start of the [Same Number] Review Cycle.



VICINITY MAP
N.T.S

OWNER/DEVELOPER:
DAVIES DESIGN
JONATHAN JENSEN
240 NORTH 1200 EAST, SUITE 201
LEHI, UTAH 84043
801.592.6044
JON@DAVIESDESIGNBUILD.COM

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CGD.02	GRADING & DRAINAGE PLAN
SS-01	SIGNAGE AND STRIPING SHEET(BY OTHERS)
CSS.02	SIGNAGE AND STRIPING SHEET
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES
CDT.03	DETAILS & NOTES
CDT.04	DETAILS & NOTES
CDT.05	DETAILS & NOTES
CDT.06	DETAILS & NOTES
CDT.07	DETAILS & NOTES

CIVIL CONSTRUCTION PLANS

BENCHMARK ENGINEERING & LAND SURVEYING
9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

AMERICAN FORK OFFICE/WAREHOUSE 450 EAST AUTOMALL DRIVE AMERICAN FORK CITY, UTAH		DRAFT JHO DATE: 05/01/2021	DESIGN JHO DATE: 07/27/2023	CHECK AGA DATE: 07/27/2023
No.	DATE	DESCRIPTION		
18	02/28/24	REMOVED RETAINING WALL.		
19	03/27/24	REMOVED RAISED MEDIAN AND APPROACH.		
20	05/24/24	ADDED LIGHT POLES		
21	05/24/24	RETAINING WALL ADDED		
22	03/03/25	REVISED PER CITY COMMENTS		
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION		

PROJECT NO. 1905136

COVER

1 OF 17

BENCHMARK ENGINEERING CONTACT: ALLISON G. ALBERT, PE

COMPANY	CONTACT	NUMBER
AMERICAN FORK CITY PUBLIC WORKS		
• CULINARY WATER/PRESSURIZED IRRIGATION	JAY BREMS	(801) 763-3060
• SEWER/STORM WATER	ASHTON HARDY	(801) 763-3060
• CITY INSPECTOR	DREW HOWARD	(801) 763-3060
• SWPPP INSPECTOR	HARLAN NIELSEN	(801) 763-3060
AMERICAN FORK CITY FIRE MARSHALL	MAT SACCIO	(801) 763-3045
AF FIRE	KYLE PETERSON	(801) 400-2933
AMERICAN FORK IRRIGATION COMPANY	ERINIE JOHN	(801) 471-6576
CENTURY LINK	BILL WESTFALL	(435) 623-4252
COMCAST	ELYSIA VALDEZ	(801) 601-3017
DOMINION ENERGY	TRENT JOHNSON	(801) 853-6548
ROCKY MOUNTAIN POWER	TERIA WALKER	(801) 756-1310
TRIPLANDS SPECIAL SERVICE DISTRICT	DAVID BARLOW	(801) 756-9231
MITCHELL HOLLOW IRRIGATION CO.	DALE JONES	(801) 768-8150

Swppp contact is
Tyler Mezenen

IMPERVIOUS AREA: 139,137 S.F.
LANDSCAPE RATIO: 0.16

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LINETYPES:		
NEW	EXISTING	
		SECTION LINE
		PROPERTY LINE
		ADJACENT PL. or LOT LINES
		RIGHT-OF-WAY LINE
		CENTERLINE of ROAD
		EASEMENT LINE
		CURB & GUTTER
		EDGE OF ASPHALT
		FENCE, WALL, STONE
		FENCE, BLOCK
		FENCE, BRICK
		FENCE, CHAIN
		FENCE, IRON
		FENCE, VINYL
		FENCE, WIRE
		FENCE, WOOD
		INDEX CONTOUR LINE
		INTERMEDIATE CONTOUR LINE
		SPOT ELEVATION
		SANITARY SEWER LINE
		STORM DRAIN LINE
		WATER LINE
		IRRIGATION LINE
		OVERHEAD POWER LINE
		UNDERGROUND POWER LINE
		GAS LINE
		TELEPHONE LINE
		CABLE TELEVISION LINE
		DRAINAGE / DITCH CENTERLINE
		TREE LINE EDGE
		FIBER OPTIC LINE
		PROPOSED ASPHALT
		PROPOSED CONCRETE

SYMBOLS:		
NEW	EXISTING	
		SECTION CORNER (FOUND)
		SECTION CORNER (NOT FOUND)
		STREET MONUMENT (FOUND)
		STREET MONUMENT (NOT FOUND)
		BRASS CAP MONUMENT
		POWER POLE & OVERHEAD POWER
		LIGHT POLE
		GUY WIRE
		TELEPHONE MANHOLE
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		CATCH BASIN
		DIRECTION OF DRAINAGE
		WATER MANHOLE
		WATER VALVE
		WATER METER
		FIRE HYDRANT
		IRRIGATION VALVE
		GAS MANHOLE
		TREE

ABBREVIATIONS

BC	BAR & CAP	PUE	PUBLIC UTILITY EASEMENT
BOW	BOTTOM OF VISIBLE WALL	R	RADIUS OF CURVE
COR	SECTION CORNER	RR	RAILROAD
CB	CATCH BASIN	ROW	RIGHT-OF-WAY
CF	CUBIC FEET	R/W	RIGHT-OF-WAY
D	DELTA ANGLE	SSMH	SEWER MANHOLE
EG	EXISTING GROUND	SD	STORM DRAIN
EOA	EDGE OF ASPHALT	SF	SQUARE FEET
EOC	EDGE OF CONCRETE	TBC	TOP BACK OF CURB
EX	EXISTING	TMH	TELEPHONE MANHOLE
FFE	FINISH FLOOR ELEVATION	TOA	TOP OF ASPHALT
FG	FINISHED GRADE	TOC	TOP OF CONCRETE
FH	FIRE HYDRANT	TOF	TOP OF FOOTING
FL	FLOW LINE	TOE	TOE OF SLOPE
LG	GRADE BREAK	TOG	TOP OF ORATE
GW	GUY WIRE	TOP	TOP OF SLOPE
HW	HEAD WALL	TOW	TOP OF WALL
IE	INVERT ELEVATION	TR	TELEPHONE RISER
L	LENGTH OF CURVE	UGP	UNDERGROUND POWER
LP	LIP OF CURB	VPC	VERTICAL POINT OF CURVATURE
LF	LINEAR FEET	VPI	VERTICAL POINT OF INTERSECTION
LP	LOW POINT	VPT	VERTICAL POINT OF TANGENCY
M-M	MONUMENT TO MONUMENT	WM	WATER METER
MANHOLE	MANHOLE	WW	WATER VALVE
MON	MONUMENT		
OWP	OVERHEAD POWER		
PVC	POINT OF CURVATURE		
PI	POINT OF INTERSECTION		
PP	POWER POLE		
PVT	POINT OF TANGENCY		

CONSTRUCTION NOTES

RESPONSIBLE DISTRICTS OR AGENCIES AND APPLICABLE STANDARDS
CITY OF COUNTY-AMERICAN FORK CITY
WATER UTILITY COMPANY-AMERICAN FORK PUBLIC WORKS
SEWER-AMERICAN FORK PUBLIC WORKS
STORM DRAIN/GROUNDWATER-AMERICAN FORK CITY
ELECTRICAL-ROCKY MOUNTAIN POWER
TELEPHONE-CENTURY LINK/COMCAST
NATURAL GAS-COMMUNITY ENERGY

GENERAL

- ALL MATERIALS AND CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
- CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PERIODIC PROGRESS MEETINGS PRIOR TO ANY WORK BEING PERFORMED. THE CONTRACTOR SHALL CONTACT RESPONSIBLE DISTRICT OR AGENCY FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE PROJECT CONTACTS (48) HOURS IN ADVANCE OF SAID MEETING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, THE GEOLOGY REPORTS AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL INSPECT THE SITE OF WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT: IF AWARDED THE CONTRACT, THEY HAVE RELIED UPON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNERS OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

ALL WORKERS SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2017 EDITION AND THE MANUAL OF STANDARD PLANS 2017 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR REGULAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH REGULAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY EASEMENTS AND/OR PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHT-OF-WAY OR EASEMENTS FROM THE CITY AND/OR LOCAL JURISDICTION. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMUNICATING THE WORK, OR AS REQUIRED BY SAID PERMITS.
- CONSTRUCTION STAKING FOR GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROLYSIS SHALL BE DONE BY THE OWNERS SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE SURVEYOR FORTY-FOUR (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCIES' STANDARD SPECIFICATIONS. TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS AND ANYTHING THAT HAS ALREADY BEEN CONSTRUCTED. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVISED AND THE COMPLETE AS-BUILT RECORD SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATION REQUDES AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

- CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.
- ALL UTILITIES INSTALLED IN ACCORDANCE WITH THE RESPONSIBLE DISTRICTS OR AGENCIES STANDARDS AND SPECIFICATIONS.
- COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL, MECHANICAL, OR ELECTRICAL DRAWING FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.
- ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED, AND COMPLY WITH CITY/COUNTY STANDARD.
- ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR ADS-HDPE PIPE OR EQUAL UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
- ALL GAS LINES TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
- ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.
- ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
- NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE AND SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68- EXCAVATIONS, AND SECTION 69- TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
- PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING, AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.

ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF STERILIZATION AND TESTING OF NEW WATER MAINS. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF THE CITY/COUNTY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

ALL UNDERGROUND UTILITIES SHALL BE IN PLACE, INSPECTED, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING.

SEWER

- ALL SEWER MAINS AND LATERALS MUST BE INSPECTED AND APPROVED BY THE CITY INSPECTOR BEFORE TRENCH BACKFILLING IS COMPLETED.
- ALL SEWER LINES TO BE FLUSHED, PRESSURE TESTED TO 5 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO PLACING IN SERVICE.
- ALL SEWER PIPES ARE TO BE SDR-35 PVC PIPE.
- SEWER MANHOLES, LATERALS AND CLEANOUTS TO BE INSTALLED PER RESPONSIBLE DISTRICT OR AGENCY STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEANOUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.
- DURING CONSTRUCTION OF THE SEWER LINE, THE LATERAL CONNECTION SHALL INSERT-A-TEE OR WYE AT TEN O'CLOCK POSITIONING TO THE CENTER OF THE MAIN LINE AND SHALL BE ENCASED IN CONCRETE AFTER INSPECTION IS MADE. (SEE RESPONSIBLE DISTRICT OR AGENCY STANDARDS)

WATER

- WATERLINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10" HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR TEN FEET HORIZONTAL SEPARATION FROM SEWERLINE.
- ALL WATERLINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
- WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
- ALL WATERLINES SHALL BE 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. ALL WATER LINES SHALL BE LOOPED AROUND GRAVITY LINES OR ROPED PER RESPONSIBLE DISTRICT OR AGENCY INSPECTOR.

CONTRACTOR TO NOTIFY RESPONSIBLE DISTRICT OR AGENCY FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HRS. MINIMUM WITH 25 PSI RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH RESPONSIBLE DISTRICT OR AGENCY. ALL TESTS TO BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.

BOTTOM FLANGE OF PIPE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 1/2" LINE VALVE, AND HYDRANT COMPLETE TO MEET RESPONSIBLE DISTRICT OR AGENCY STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.

EXISTING UTILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN. THE INFORMATION SHOWN ON THE PLANS WITH REGARDS TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATION AND/OR RECORD INFORMATION. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO: SEWER, STORM DRAIN, WATER IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION BE MADE PRIOR TO CONSTRUCTION.

PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO HAVE EACH UTILITY CONTROL LOCATE IN THE FIELD. THEIR MAIN AND SERVICE LATERALS SHALL BE IDENTIFIED BY SETTING 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

MANHOLE RIMS, LAMPHOLES, VALVE BOX COVERS, MONUMENT BOXES AND CATCH BASIN GRATES ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE AFTER PAVING, UNLESS OTHERWISE NOTED. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DURING CONSTRUCTION.

CLEARING AND GRADING

CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.

THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.

SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK, BEFORE FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION CAN COMMENCE, A REVIEW OF THE PROFESSIONAL REPORT OF THESE INVESTIGATIONS, MUST BE REVIEWED BY CMT ENGINEERING LABORATORIES.

SOIL INVESTIGATIONS WERE CONDUCTED BY CMT ENGINEERING LABORATORIES ON AUGUST 2ND, 2019 FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH PROTECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE ELEVATIONS.

IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.

UNSATURABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER AND/OR ENGINEERING GEOLOGIST, (WHERE EMPLOYED) FROM ALL AREAS TO BE COMPACTED FILL OR DRAINAGE STRUCTURES.

NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER.

THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING AND LAND SURVEYING ON AUGUST 14TH, 2019 AND MAY HAVE BEEN MODIFIED SINCE THIS SURVEY WAS PERFORMED.

FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BENEATH ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 COMPACTION CRITERIA. ALL OTHER STRUCTURAL FILLS LESS THAN 4 FEET IN THICKNESS SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE ABOVE CRITERIA. REFERENCE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING LABORATORIES ON AUGUST 2, 2019.

COMPACTION TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR. OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.

CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO COMPACTION TESTS.

STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.

ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 2 TO 1 FOR CUT AND FILL.

GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN, CURBS AND PAVEMENT AREAS WHICH ARE NOT INSTALLED PER PLAN MUST BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.

WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE, THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE

DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.

- SITE WORK SHALL MEET OR EXCEED OWNERS SITE SPECIFICATIONS.
- ALL SITE CONCRETE OR CONCRETE ELEMENT NOT SPECIFICALLY SHOWN AND DETAILED ON STRUCTURAL DRAWINGS TO HAVE A MINIMUM OF 28 DAY COMPRESSION STRENGTH OF 4000 PSI.
- CUT SLOPES SHALL BE NO STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE NO STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.

DEWATERING

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATE WATER DIVISION SHALL BE NOTIFIED A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PROGRESS OF WORK UP TO THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEM SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIONARY GROUNDWATER LEVEL.

THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.

SUMPS SHALL BE NO DEEPER THAN 5 FEET AND SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS" DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATION SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

ONE HUNDRED PERCENT STANDBY PUMPING CAPACITY SHALL BE AVAILABLE ON SITE AT ALL TIMES AND SHALL BE CONNECTED TO THE DEWATERING SYSTEM PIPING AS TO PERMIT IMMEDIATE USE. IN ADDITION STANDBY EQUIPMENT AND APPLIANCES FOR ALL ORDINARY EMERGENCIES, AND COMPETENT WORKERS FOR OPERATION AND MAINTENANCE OF ALL DEWATERING EQUIPMENT SHALL BE ON SITE AT ALL TIMES. STANDBY EQUIPMENT SHALL INCLUDE EMERGENCY POWER GENERATION AND AUTOMATIC SWITCH OVER TO THE EMERGENCY GENERATOR WHEN NORMAL POWER FAILS. DEWATERING SYSTEMS SHALL NOT BE SHUT DOWN BETWEEN SHIFTS, ON HOLIDAYS, ON WEEKENDS, OR DURING WORK STOPPAGES.

SITE SAFETY AND MAINTENANCE

THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AND PROPERLY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.

THE CONTRACTOR AGREES THAT:

- THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
- THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
- THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
- THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
- THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
- UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.

ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.

FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL THROUGH THE ENGINEERING PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL OBTAIN PLAN AND RECEIVED PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. WORK IN EASEMENT AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID AND/OR RIGHT-OF-WAY. ALL CONSTRUCTION WORK IN UDOT RIGHT-OF-WAY SHALL BE SUBJECT TO INSPECTION BY THE STATE OF UTAH. THE CONTRACTOR SHALL INSURE THAT INSPECTIONS TAKE PLACE WHERE AND WHEN REQUIRED AND TO INSURE THAT ALL WORK IS COMPLETED TO UDOT STANDARDS.

SURFACE IMPROVEMENTS

SUBGRADE PREPARATION: SUBGRADE SHALL

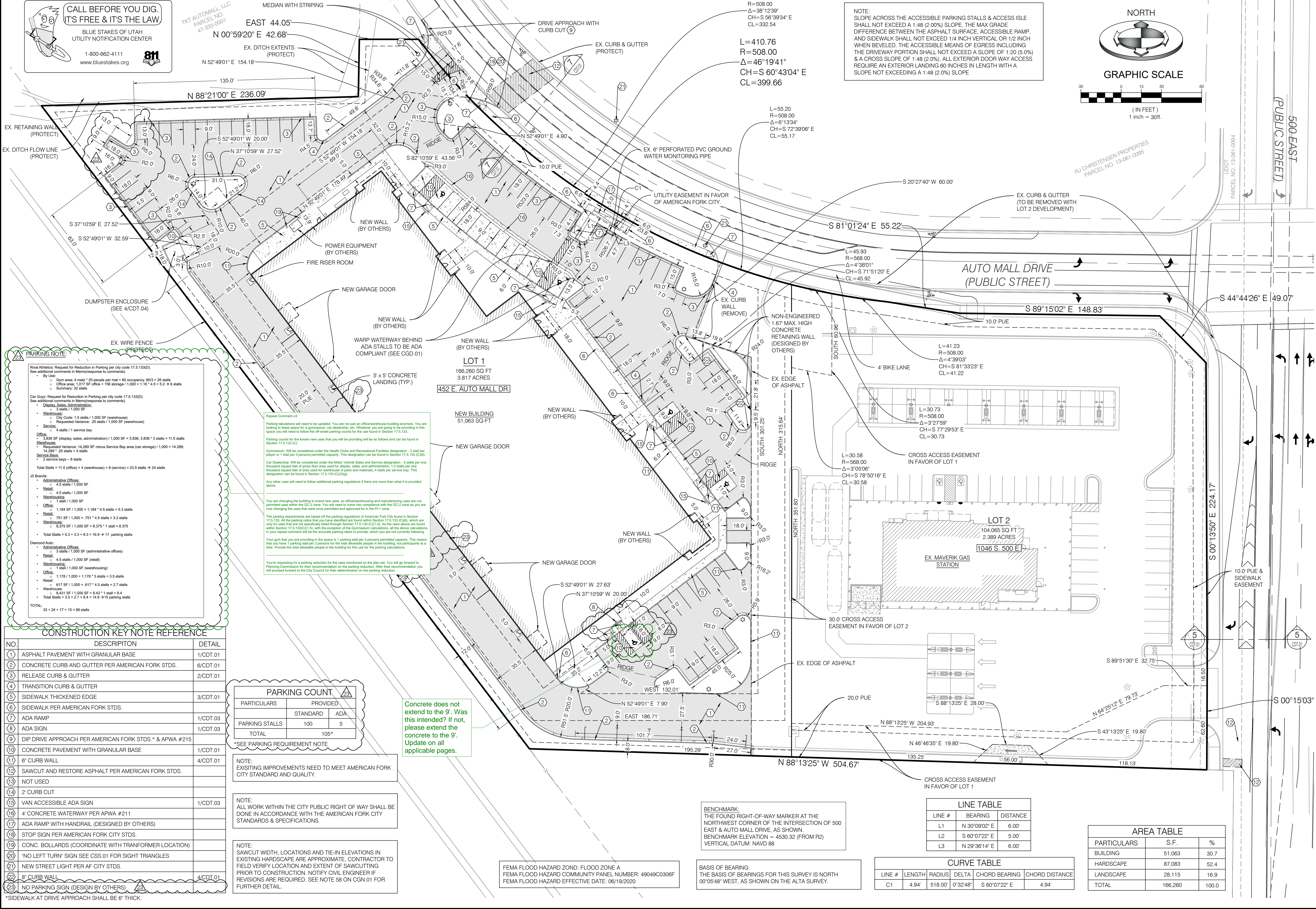
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TKT AUTOMALL, LLC
PARCEL NO.
47-335-0001



PARKING NOTE

Rival Athletics: Request for Reduction in Parking per city code 17.5.133(D). See additional comments in Memo(response to comments).

By Use:

- Gym area: 4 mats * 20 people per mat = 80 occupancy, 803 = 26 stalls
- Office area: 1,077 SF office = 156 storage / 1,000 = 1.56 * 4.5 = 2.9 stalls
- Summary: 32 stalls

Car Guyz: Request for Reduction in Parking per city code 17.5.133(D). See additional comments in Memo(response to comments).

Display, Sales, Administration:

- Warehouse: 3 stalls / 1,000 SF
- Service: 4 stalls / 1 service bay

Office:

- 3,336 SF (display, sales, administration) / 1,000 SF = 3.336, 3.836 = 3 stalls = 11.5 stalls

Warehouse:

- Requested Variance: 14,289 SF minus Service Bay area (car storage) / 1,000 = 14.289, 14.289 = 25 stalls = 4 stalls

Service Bays:

- 2 service bays = 8 stalls

Total Stalls = 11.5 (office) + 4 (warehouse) + 8 (service) = 23.5 stalls = 24 stalls

J5 Brands:

- Administrative Offices: 4.5 stalls / 1,000 SF
- Retail: 4.5 stalls / 1,000 SF
- Warehouse: 1 stall / 1,000 SF

Office:

- 1,184 SF / 1,000 = 1.184 * 4.5 stalls = 5.3 stalls

Retail:

- 751 SF / 1,000 = 751 * 4.5 stalls = 3.3 stalls

Warehouse:

- 5,375 SF / 1,000 SF = 5.375 * 1 stall = 5.375

Total Stalls = 5.3 + 3.3 + 8.3 = 16.9 = 17 parking stalls

Diamond Auto:

- Administrative Offices: 3 stalls / 1,000 SF (administrative offices)
- Retail: 4.5 stalls / 1,000 SF (retail)
- Warehouse: 1 stall / 1,000 SF (warehouse)

Office:

- 1,178 / 1,000 = 1.178 * 3 stalls = 3.5 stalls

Retail:

- 817 SF / 1,000 = 817 * 4.5 stalls = 2.7 stalls

Warehouse:

- 8,431 SF / 1,000 SF = 8.431 * 1 stall = 8.4

Total Stalls = 3.5 + 2.7 + 8.4 = 14.6 = 15 parking stalls

TOTAL: 33 + 24 + 17 = 89 stalls

CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
②	CONCRETE CURB AND GUTTER PER AMERICAN FORK STDS.	6/CDT.01
③	RELEASE CURB & GUTTER	2/CDT.01
④	TRANSITION CURB & GUTTER	
⑤	SIDEWALK THICKENED EDGE	3/CDT.01
⑥	SIDEWALK PER AMERICAN FORK STDS.	
⑦	ADA RAMP	1/CDT.03
⑧	ADA SIGN	1/CDT.03
⑨	DIP DRIVE APPROACH PER AMERICAN FORK STDS.* & APWA #215	
⑩	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
⑪	6" CURB WALL	4/CDT.01
⑫	SAWCUT AND RESTORE ASPHALT PER AMERICAN FORK STDS.	
⑬	NOT USED	
⑭	2" CURB CUT	
⑮	VAN ACCESSIBLE ADA SIGN	1/CDT.03
⑯	4" CONCRETE WATERWAY PER APWA #211	
⑰	ADA RAMP WITH HANDRAIL (DESIGNED BY OTHERS)	
⑱	STOP SIGN PER AMERICAN FORK CITY STDS.	
⑲	CONC. BOLLARDS (COORDINATE WITH TRANSFORMER LOCATION)	
⑳	"NO LEFT TURN" SIGN SEE CSS.01 FOR SIGHT TRIANGLES	
㉑	NEW STREET LIGHT PER AF CITY STDS.	
㉒	6" CURB WALL	4/CDT.01
㉓	NO PARKING SIGN (DESIGN BY OTHERS)	

*SIDEWALK AT DRIVE APPROACH SHALL BE 6" THICK.

PARKING COUNT		
PARTICULARS	STANDARD	ADA
PARKING STALLS	100	5
TOTAL	105*	

NOTE: EXISTING IMPROVEMENTS NEED TO MEET AMERICAN FORK CITY STANDARD AND QUALITY.

NOTE: ALL WORK WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS & SPECIFICATIONS.

NOTE: SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDSCAPE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR FURTHER DETAIL.

Concrete does not extend to the 9'. Was this intended? If not, please extend the concrete to the 9'. Update on all applicable pages.

FEMA FLOOD HAZARD ZOND: FLOOD ZONE A
FEMA FLOOD HAZARD COMMUNITY PANEL NUMBER: 49049C0306F
FEMA FLOOD HAZARD EFFECTIVE DATE: 06/19/2020

BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE NORTHWEST CORNER OF THE INTERSECTION OF 500 EAST & AUTO MALL DRIVE, AS SHOWN. BENCHMARK ELEVATION = 4530.32 (FROM R2) VERTICAL DATUM: NAVD 88

BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 00°05'48" WEST, AS SHOWN ON THE ALTA SURVEY.

LINE TABLE					
LINE #	BEARING	DISTANCE			
L1	N 30°09'02" E	6.00'			
L2	S 60°07'22" E	5.00'			
L3	N 29°36'14" E	6.00'			

CURVE TABLE					
LINE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	4.94'	518.00'	0°32'48"	S 60°07'22" E	4.94'

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	51,063	30.7
HARDSCAPE	87,083	52.4
LANDSCAPE	28,115	16.9
TOTAL	166,260	100.0

PROJECT NO. 1905136

SITE PLAN

CSP.01
3 OF 17

AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

BENCHMARK ENGINEERING & LAND SURVEYING
9198 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84707 (801) 542-7192
www.benchmarkcivil.com

PROFESSIONAL ENGINEER
No. 11366633
ALLISON G. ALBERT
STATE OF UTAH

SCALE MEASURES: 1"=30.0' FOR FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	03/27/24	SURVEY
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/05/25	REVISION PER CITY COMMENTS
23	04/17/25	REVISION PER CITY COMMENTS & GC COORDINATION

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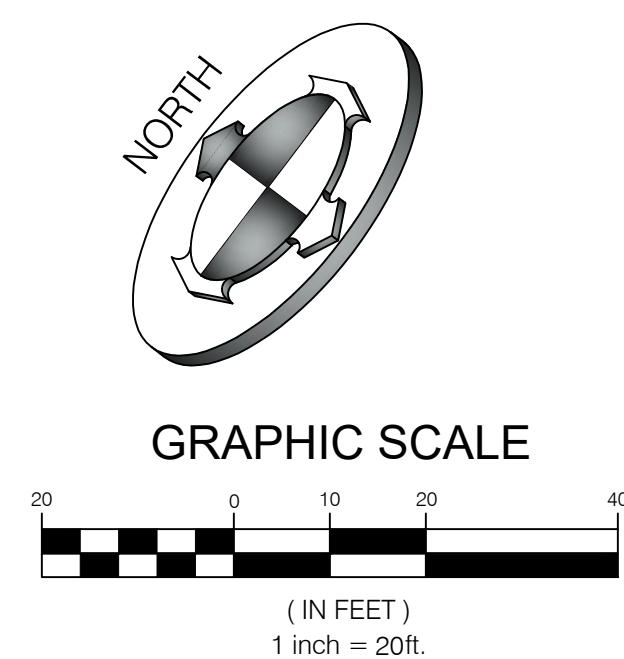
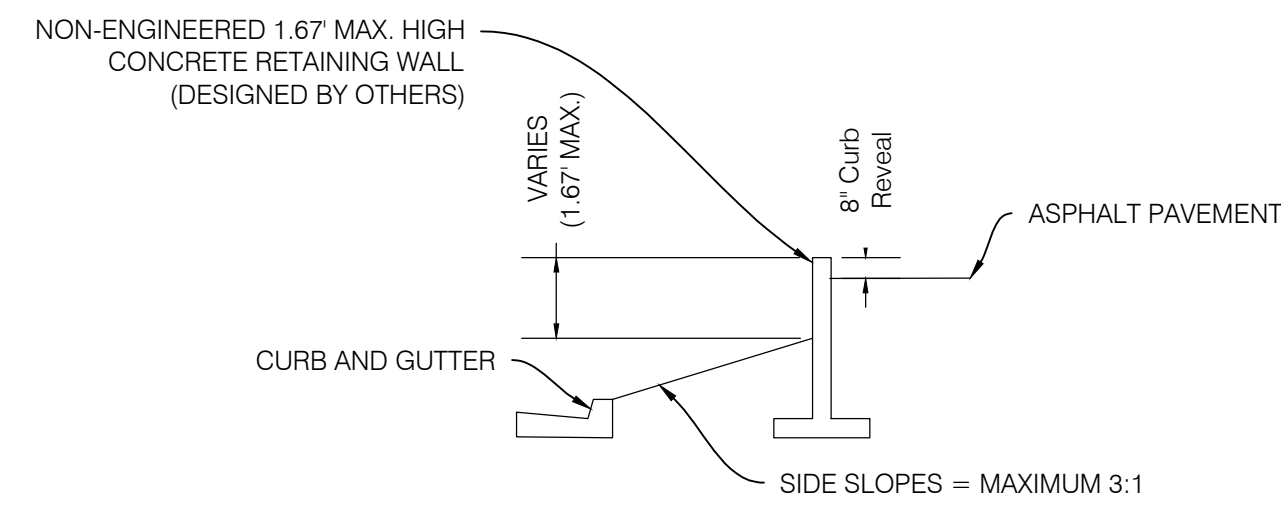
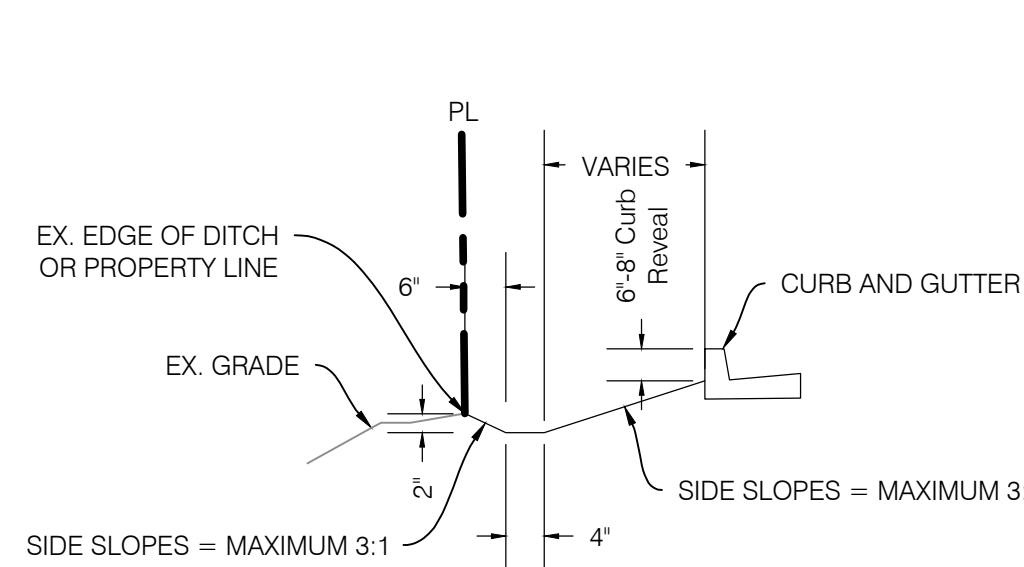
BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE
NORTHWEST CORNER OF THE INTERSECTION OF 500
EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)
VERTICAL DATUM: NAVD 88

NOTE:
MINIMUM STORM DRAIN PIPE COVER IS 24". NOTIFY
THE ENGINEER IF A REDESIGN IS NECESSARY.

GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
②	8" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
③	24" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
④	STORM DRAIN INLET BOX PER AMERICAN FORK STDS.	1/CDT.04
⑤	3'X3' CATCH BASIN	2/CDT.03
⑥	ACO STORM BRIXX UNDERGROUND SYSTEM	1/CDT.05
⑦	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑧	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑨	PRE-TREATMENT DEVICE (OLDCASTLE 1500 GAL. OR EQUAL)	2/CDT.04
⑩	4" DIAMETER HDPE ADS N-12 ROOF DRAIN LINE	
⑪	ACCESS PORT	1/CDT.05

ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS

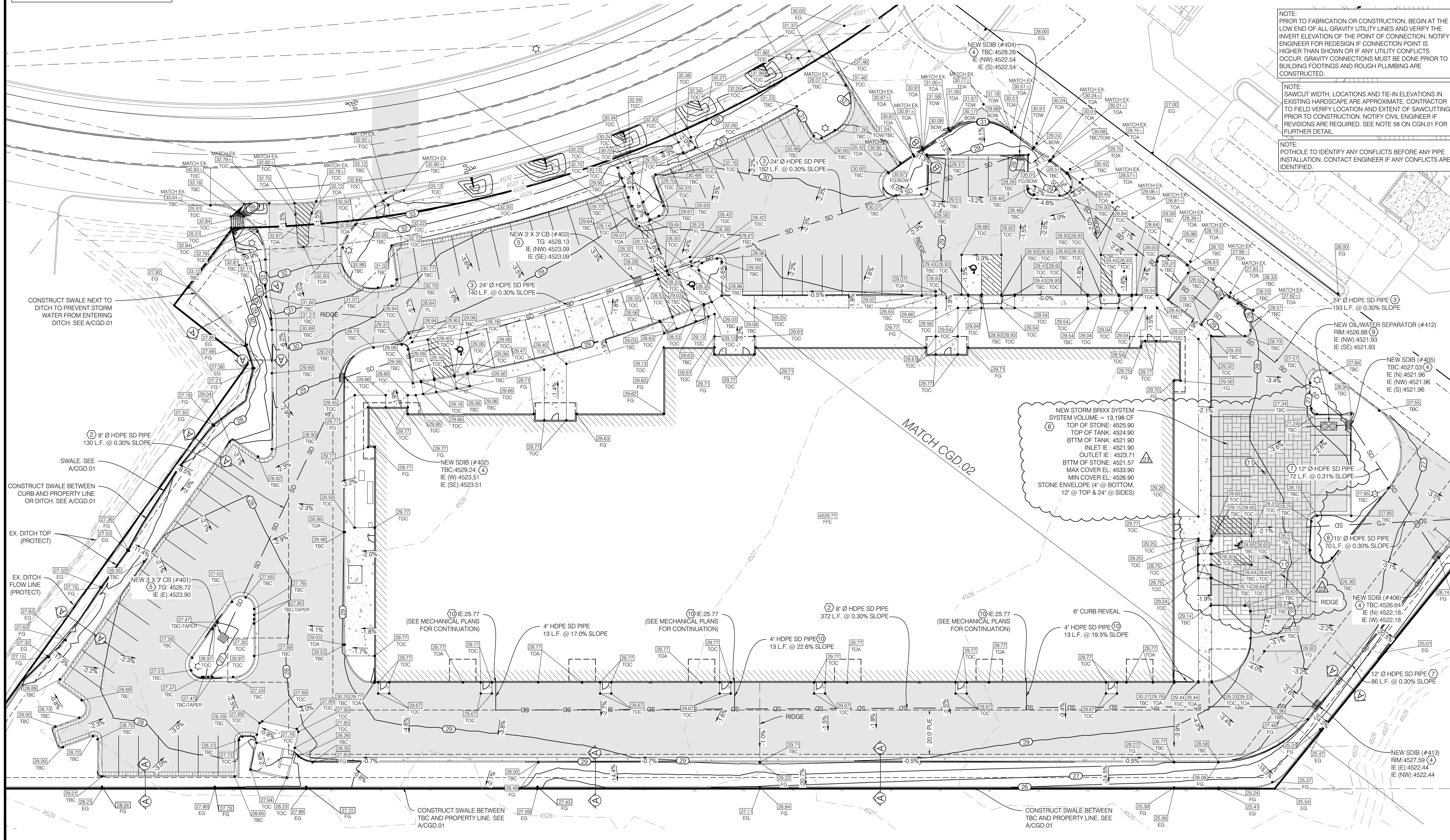
SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION
SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT
PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE
RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY
MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS
SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC
DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING.
THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE
PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD
IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON
ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND
SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR
SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE
DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION
SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY
ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED
PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.



NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE
LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE
INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY
ENGINEER FOR REDESIGN IF CONNECTION POINT IS
HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS
OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO
BUILDING FOOTINGS AND ROUGH PLUMBING ARE
CONSTRUCTED.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN
EXISTING HARDSCAPE ARE APPROXIMATE. CONTRACTOR
TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING
PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF
REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR
FURTHER DETAIL.

NOTE:
POT HOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE
INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE
IDENTIFIED.



NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	03/27/24	REMOVED BASED MEDIAN AND APPROACH
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/05/25	REVISION PER CITY COMMENTS
23	04/17/25	REVISION PER CITY COMMENTS & GC COORDINATION

SCALE MEASURES - INCH ON FULL SIZE SHEETS
ADJUST ACCORDING FOR REDUCED SIZE SHEETS

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450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136

GRADING & DRAINAGE PLAN

CGD.01
5 OF 17

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THE FOUND RIGHT-OF-WAY MARKER AT THE
NORTHWEST CORNER OF THE INTERSECTION OF 500
EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)

GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
1	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
2	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
3	24" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
4	STORM DRAIN INLET BOX PER AMERICAN FORK STDS.	1/CDT.04
5	3'X3' CATCH BASIN	2/CDT.03
6	ACO STORM BRIXX	1/CDT.05
7	4.4" Ø ORIFICE	3/CDT.03
8	4'X4' STORM DRAIN CATCH BASIN W/ SOLID LID & BAFFLE WALL	3/CDT.03
9	15" Ø RCP CLASS-III STORM DRAIN LINE	
10	PRE-TREATMENT DEVICE (OLDCASTLE 1500 GAL. OR EQUAL)	2/CDT.04
11	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
12	8" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
13	5" Ø STORM DRAIN MANHOLE PER APWA #341.1	
14	ACCESS PORT	1/CDT.05

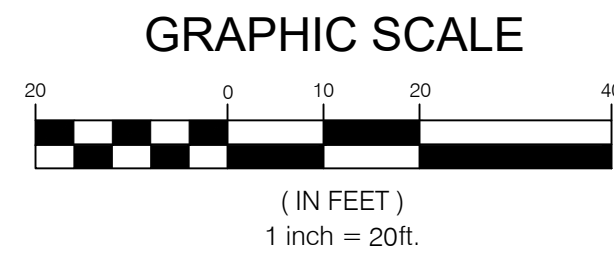
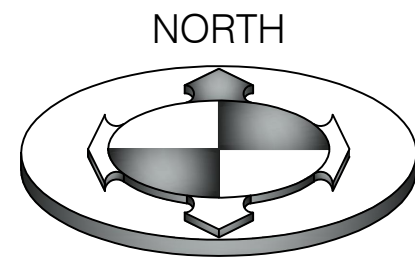
*ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDSCAPE ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.



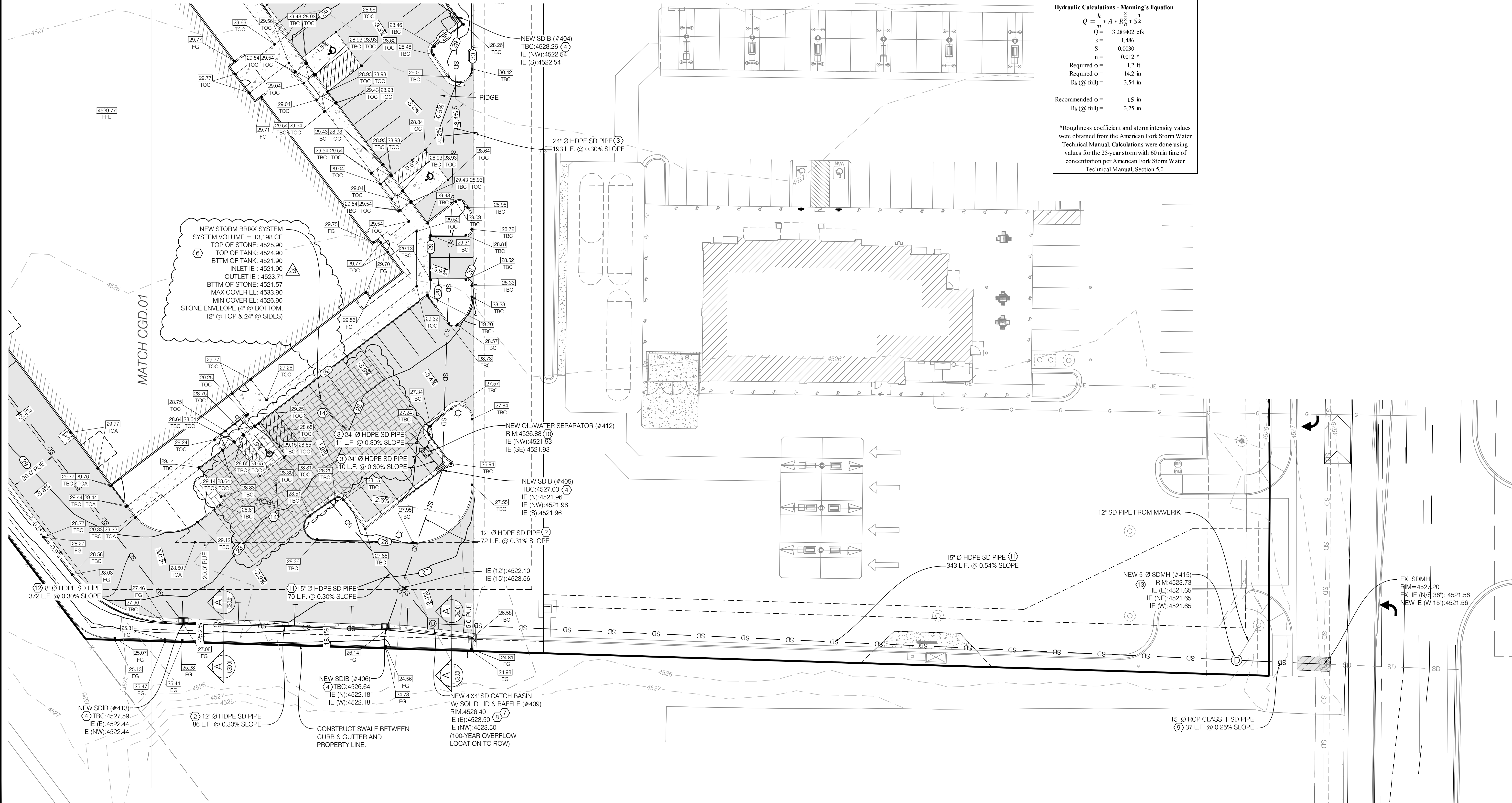
Storm Drain Pipe Hydraulic Calculations

Rational Method
 $Q = CiA$
Site Average C = 0.79
 $i = 1.09$ * in/hr
A = 3.82
Q = 3.289402 cfs

Hydraulic Calculations - Manning's Equation
 $Q = \frac{k}{n} * A * R_h^{\frac{2}{3}} * S^{\frac{1}{2}}$
Q = 3.289402 cfs
k = 1.486
S = 0.0030
n = 0.012 *
Required $\phi = 1.2$ ft
Required $\phi = 14.2$ in
 R_h (@ full) = 3.54 in

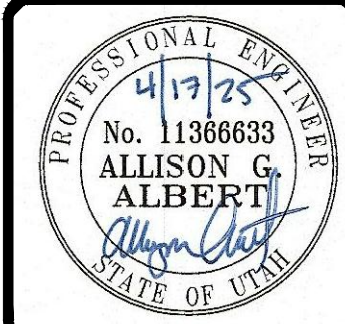
Recommended $\phi = 15$ in
 R_h (@ full) = 3.75 in

*Roughness coefficient and storm intensity values were obtained from the American Fork Storm Water Technical Manual. Calculations were done using values for the 25-year storm with 60 min time of concentration per American Fork Storm Water Technical Manual, Section 5.0.



NO.	DATE	DESCRIPTION
18	02/28/24	REVOKED RETAINING WALL
19	03/27/24	REVOKED BASED MEDIAN AND APPROACH
20	05/04/24	ADDED LIGHT POLES
21	05/05/2021	RETAINING WALL ADDED
22	03/05/25	REVISED PER CITY COMMENTS
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION

SCALE MEASURES - INCH ON FULL SIZE SHEETS
ADJUST ACCORDING FOR REDUCED SIZE SHEETS



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AMERICAN FORK OFFICE & WAREHOUSE

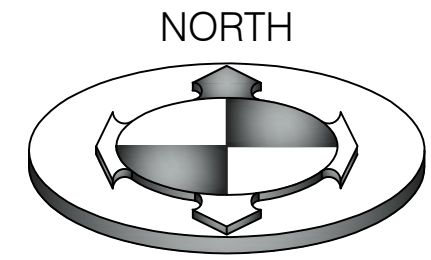
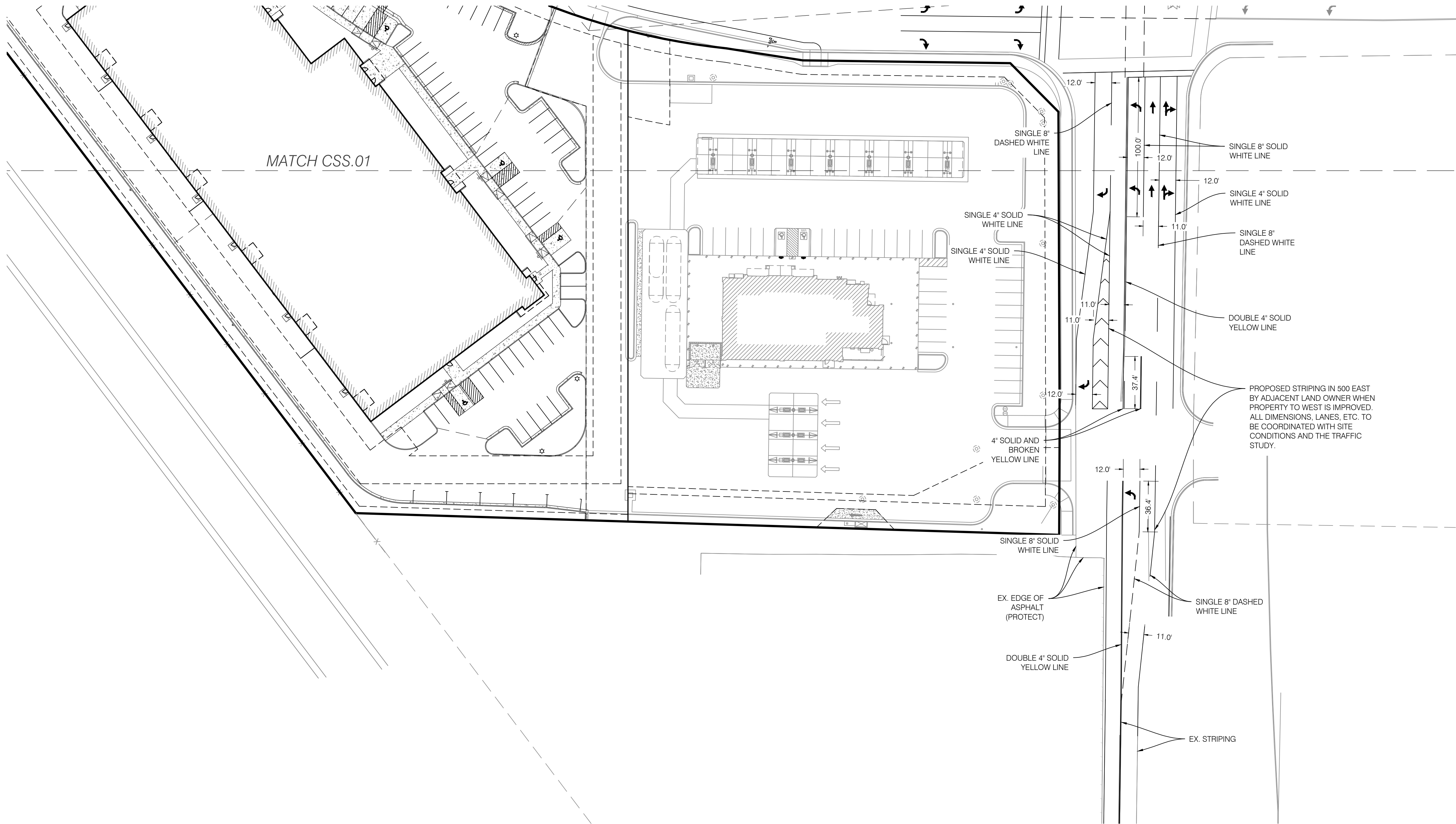
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136

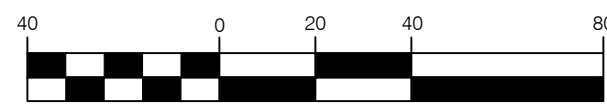
GRADING & DRAINAGE PLAN

CGD.02
6 OF 17





GRAPHIC SCALE

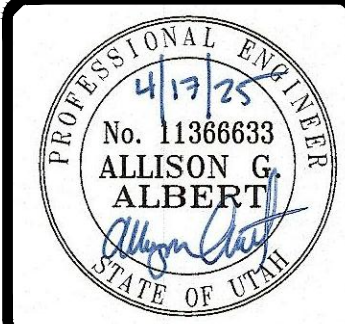


(IN FEET)
1 inch = 40 ft.

NOTE:
EXISTING IMPROVEMENTS NEED TO MEET AMERICAN FORK CITY STANDARD AND QUALITY.

NOTE:
ALL WORK WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS & SPECIFICATIONS.

NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	03/27/24	REMOVED RAISED MEDIAN AND APPROACH
20	05/24/24	ADDED LIGHT POLES
21	05/24/24	RETAINING WALL ADDED
22	03/05/25	REVISED PER CITY COMMENTS
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION



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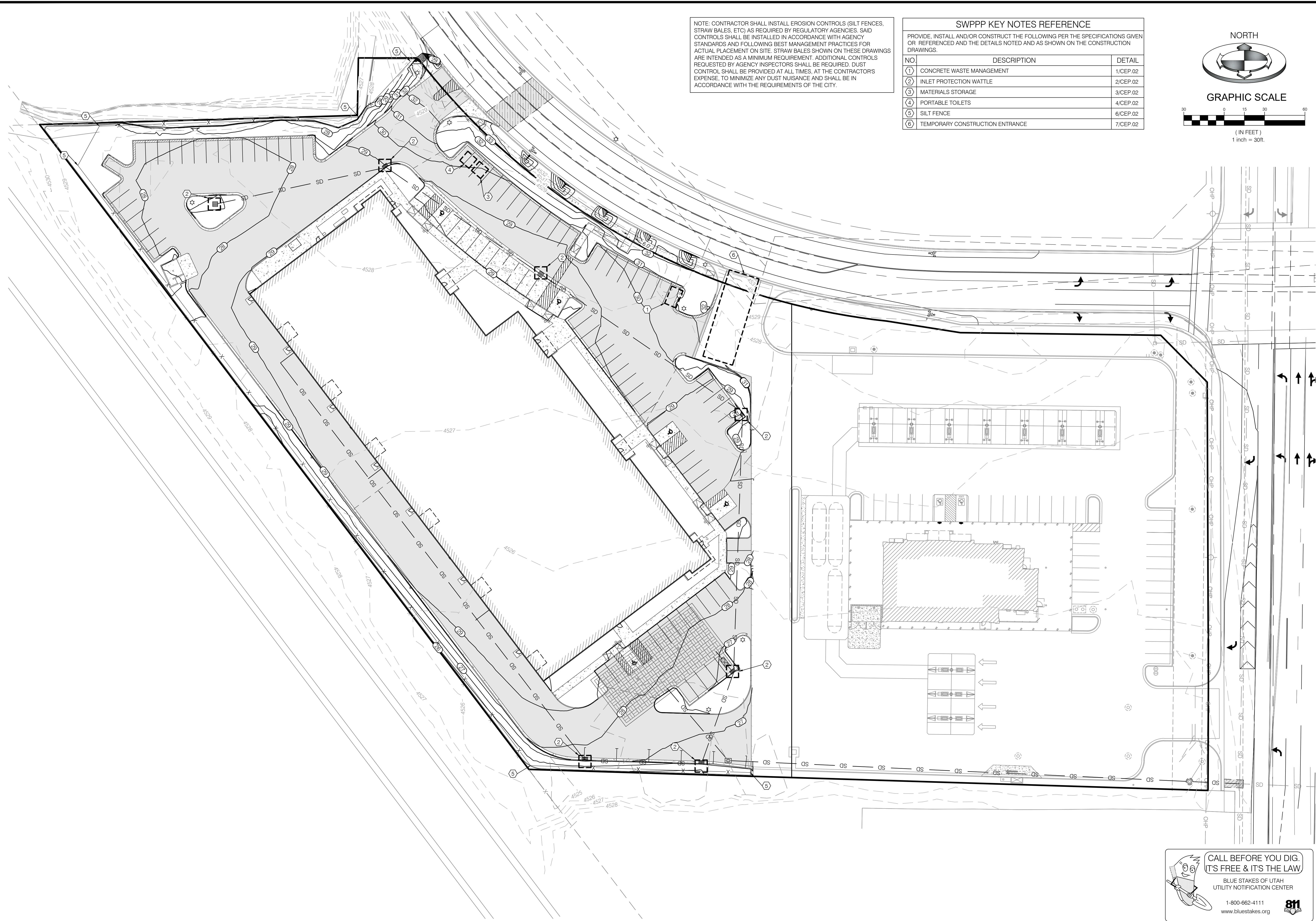
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 450 EAST AUTOMALL DRIVE
 AMERICAN FORK, UTAH

PROJECT NO. 1905136

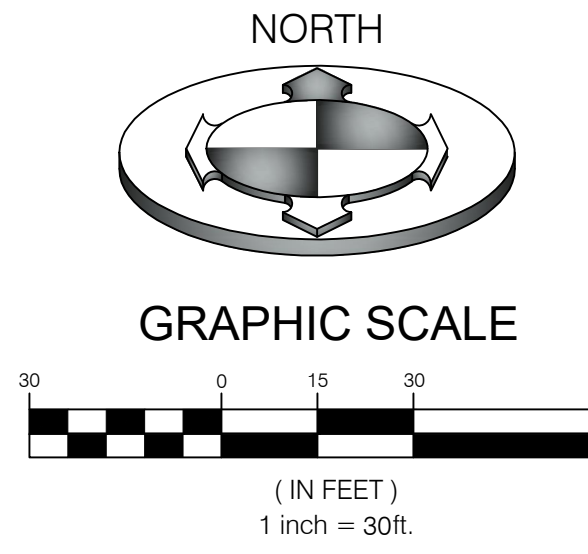
SIGNAGE & STRIPING PLAN

CSS.02
8 OF 17



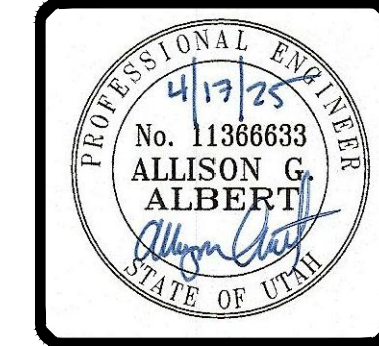
NOTE: CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.

SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO	DESCRIPTION	DETAIL
1	CONCRETE WASTE MANAGEMENT	1/CEP.02
2	INLET PROTECTION WATTLE	2/CEP.02
3	MATERIALS STORAGE	3/CEP.02
4	PORTABLE TOILETS	4/CEP.02
5	SILT FENCE	6/CEP.02
6	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02



DRAWN BY		CHECKED BY		DATE		DESCRIPTION	
JHO	MCP	JHO	MCP	18	02/28/24	REMOVED RETAINING WALL	
				19	03/27/24	REMOVED RAISED MEDIAN AND APPROACH	
				20	05/04/24	ADDED LIGHT POLES	
				21	05/04/24	RETAINING WALL ADDED	
				22	03/02/25	REVISED PER CITY COMMENTS	
				23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION	

SCALE MEASURES: HORIZONTAL - FULL SIZE SHEETS
SCALE MEASURES: VERTICAL - FULL SIZE SHEETS
ADJUST ASSUMED FOR REDUCED SIZE SHEETS



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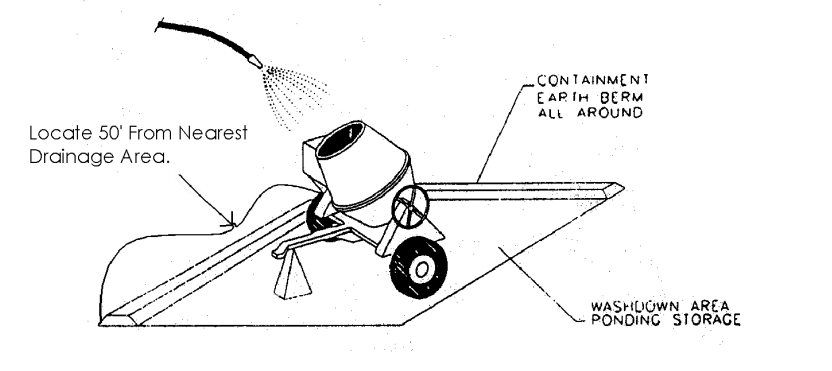
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PROJECT NO. 1905136

EROSION CONTROL PLAN

CEP.01
9 OF 17

BMP: Concrete Waste Management



Locate 50' from Nearest Drainage Area.

CONTAINMENT EARTH BERM ALL AROUND

WASHOUT AREA PONDING STORAGE

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information Sheet.)
- Train employees and subcontractors in proper concrete waste management.

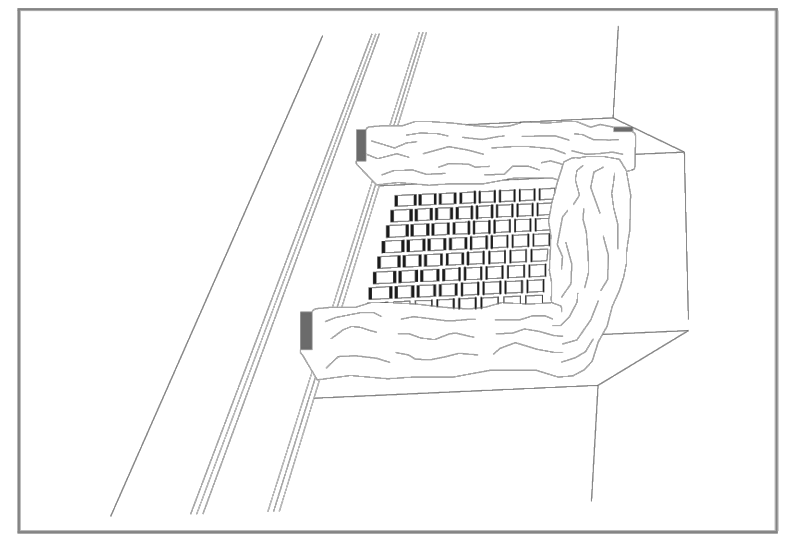
LIMITATIONS:

- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Inlet Protection – Wattle



DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:

- ◆ Provide up-gradient sediment controls, such as silt fence during construction of inlet
- ◆ When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

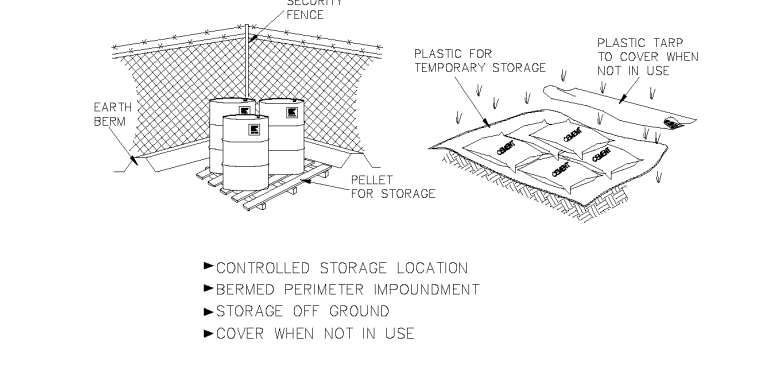
LIMITATIONS:

- ◆ Recommended maximum contributing drainage area of one acre
- ◆ Requires shallow slopes adjacent to inlet

MAINTENANCE:

- ◆ Inspect inlet protection following storm event and at a minimum of once every 14 days.
- ◆ Remove accumulated sediment when it reaches 4 inches in depth.
- ◆ Look for bypassing or undercutting and repair or realign as needed.

BMP: Materials Storage



SECURITY FENCE

EARTH BERM

PLASTIC TARP TO COVER WHEN NOT IN USE

PLASTIC TARP TO COVER WHEN NOT IN USE

COLLECT FOR STORAGE

DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

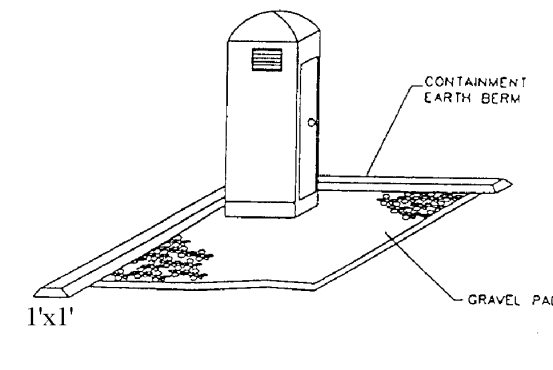
LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, lightly capped) and that no materials are being stored away from the designated location.

BMP: Portable Toilets



CONTAINMENT EARTH BERM

GRAVEL PAD

DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:


- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet). control for spill/protection leak.

LIMITATIONS:
No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Spill Clean-Up



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

CONCRETE WASTE MANAGEMENT 1
SCALE: NTS

INLET PROTECTION WATTLE 2
SCALE: NTS

MATERIALS STORAGE 3
SCALE: NTS

PORTABLE TOILETS 4
SCALE: NTS

SPILL CLEAN UP 5
SCALE: NTS

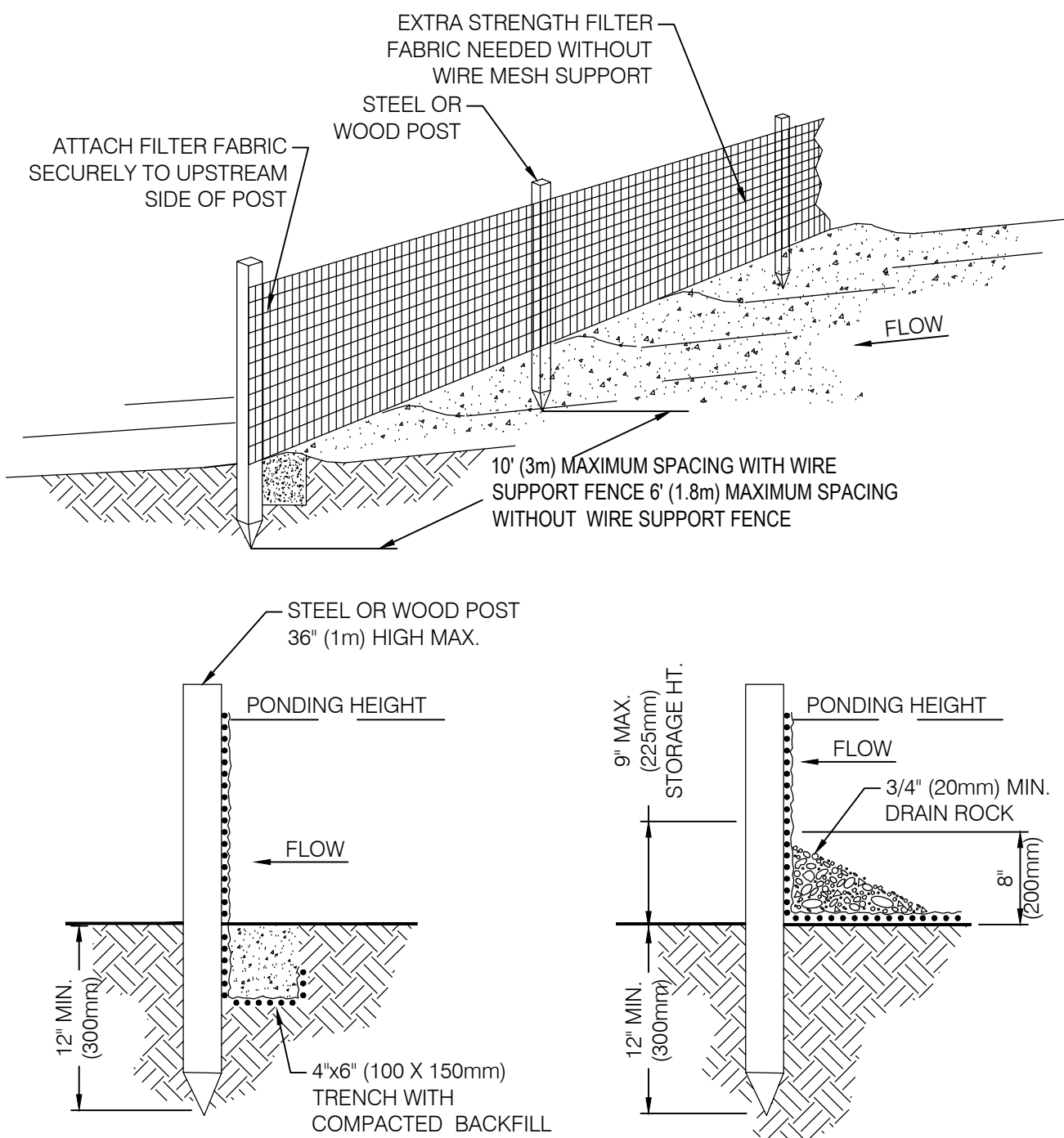


Diagram illustrating the installation details of a silt fence. It shows a cross-section of the fence structure, including the filter fabric, support posts, and the trench detail. Key components labeled include: ATTACH FILTER FABRIC SECURELY TO UPSTREAM SIDE OF POST, STEEL OR WOOD POST, EXTRA STRENGTH FILTER FABRIC NEEDED WITHOUT WIRE MESH SUPPORT, 10' (3m) MAXIMUM SPACING WITH WIRE SUPPORT FENCE 6' (1.8m) MAXIMUM SPACING WITHOUT WIRE SUPPORT FENCE, PONDING HEIGHT, 12" MIN. (300mm), 4'x6" (100 X 150mm) TRENCH WITH COMPACTED BACKFILL, 9" MAX. (225mm) STORAGE HT., 3/4" (20mm) MIN. DRAIN ROCK, 6" (150mm), and 12" MIN. (300mm).

TRENCH DETAIL

NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

REF. FROM 1994 JOHN McCULLAH

SILT FENCE 6
SCALE: NTS

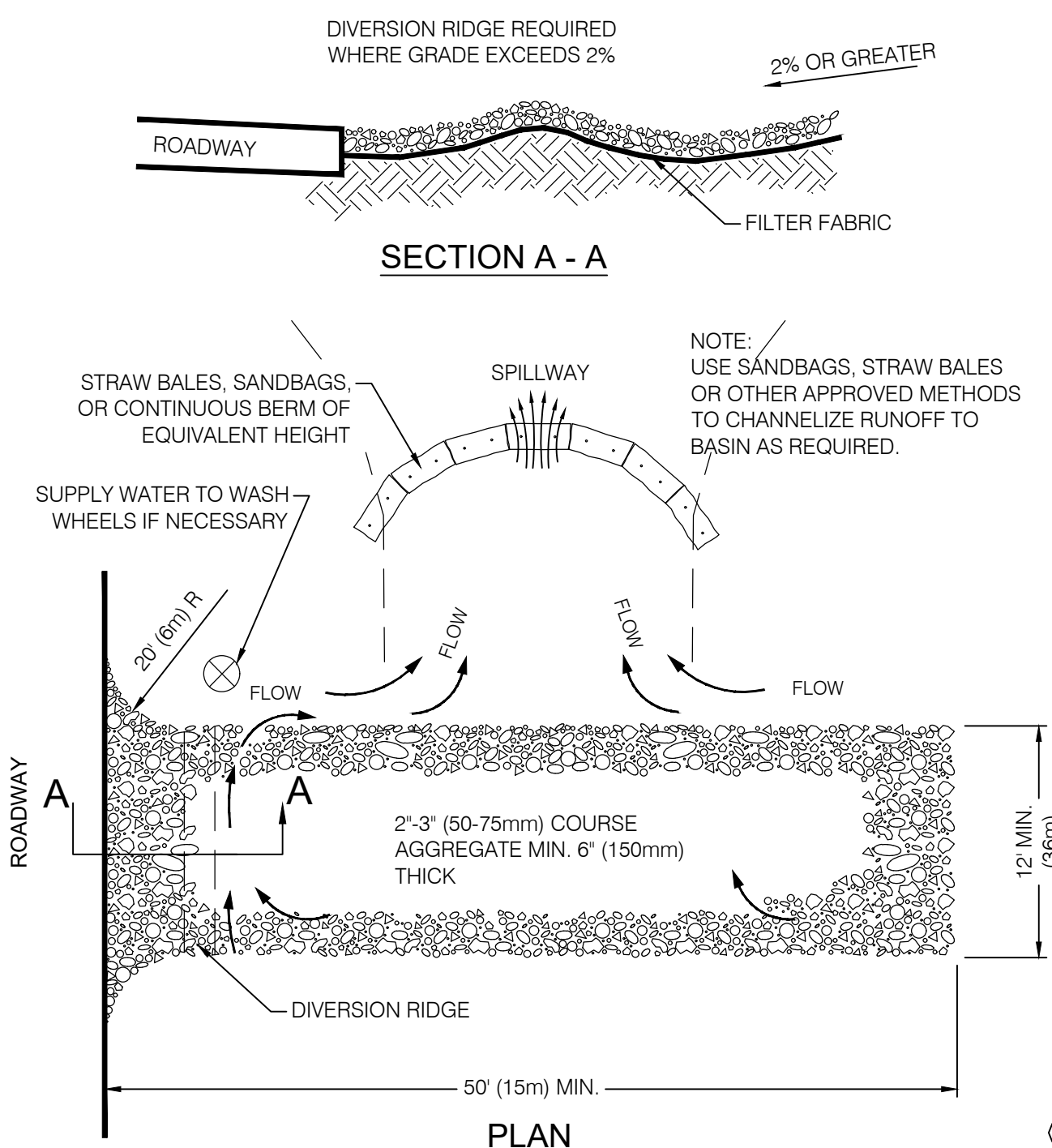



Diagram illustrating the construction of a temporary gravel entrance/exit. It shows a cross-section (SECTION A - A) and a plan view. Key components labeled include: ROADWAY, DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%, 2% OR GREATER, FILTER FABRIC, STRAW BALES, SANDBAGS, OR CONTINUOUS BERM OF EQUIVALENT HEIGHT, SPILLWAY, NOTE: USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED., SUPPLY WATER TO WASH WHEELS IF NECESSARY, 20' (6m) P., 2'-3' (50-75mm) COURSE AGGREGATE MIN. 6" (150mm) THICK, DIVERSION RIDGE, 50' (15m) MIN., 12" MIN. (300mm), and ROADWAY A.

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

REF. FROM 1994 JOHN McCULLAH

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT 7
SCALE: NTS



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811

"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

NOTES:

- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
- 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO-TERMINATION (NOT) IS FILED FOR THE PERMIT.
- 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
- 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.

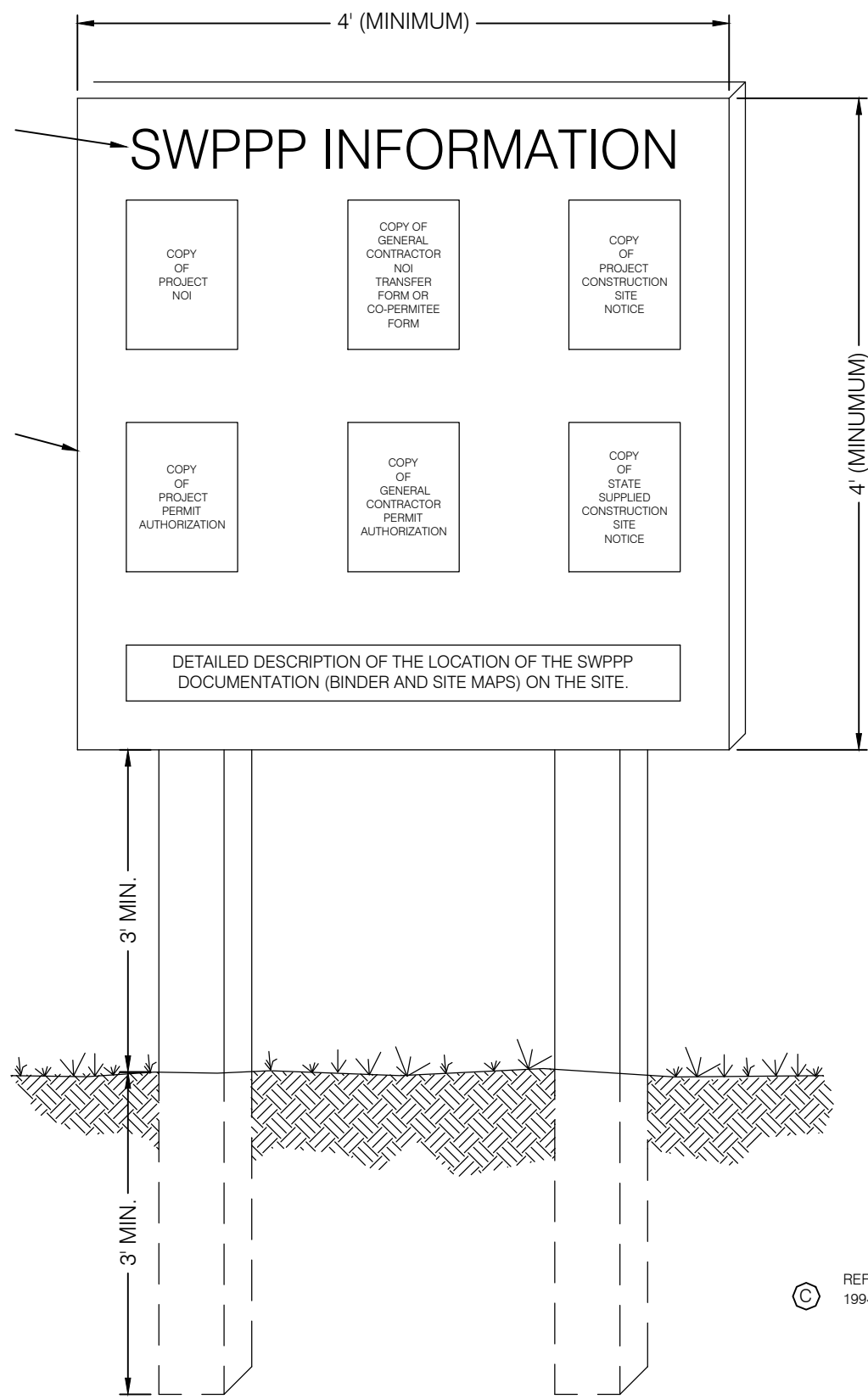


Diagram illustrating the SWPPP INFORMATION sign. It shows a sign with a 4' (MINIMUM) width and 4' (MINIMUM) height. The sign contains the following information:

- COPY OF PROJECT NO.
- COPY OF GENERAL CONTRACTOR NO. TRANSFER FORM OR EQUIVALENT FORM
- COPY OF PROJECT CONSTRUCTION SITE NOTICE
- COPY OF PROJECT PERMIT AUTHORIZATION
- COPY OF GENERAL CONTRACTOR PERMIT AUTHORIZATION
- COPY OF STATE SUPPLIED CONSTRUCTION SITE NOTICE
- DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (BINDER AND SITE MAPS) ON THE SITE

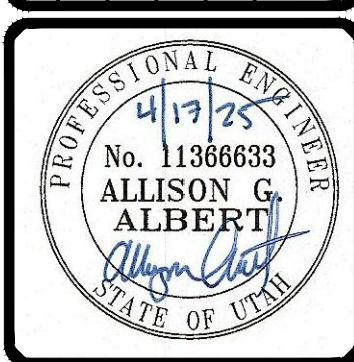
3' MIN. 3' MIN.

REF. FROM 1994 JOHN McCULLAH

SWPPP INFORMATION SIGN 8
SCALE: NTS

NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL.
19	02/27/24	REMOVED RAISED MEDIAN AND APPROACH.
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/02/25	REVISED PER CITY COMMENTS
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION

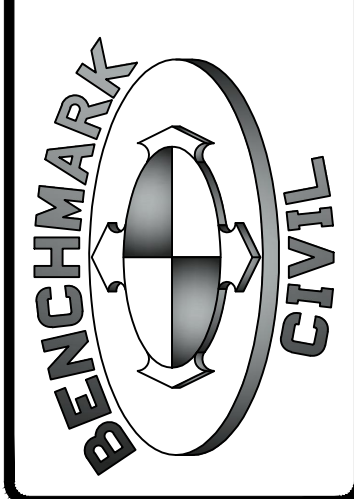
SCALE MEASURES INCH ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



PROFESSIONAL ENGINEER
No. 11386633
ALLISON G. ALBERT
STATE OF UTAH

BENCHMARK
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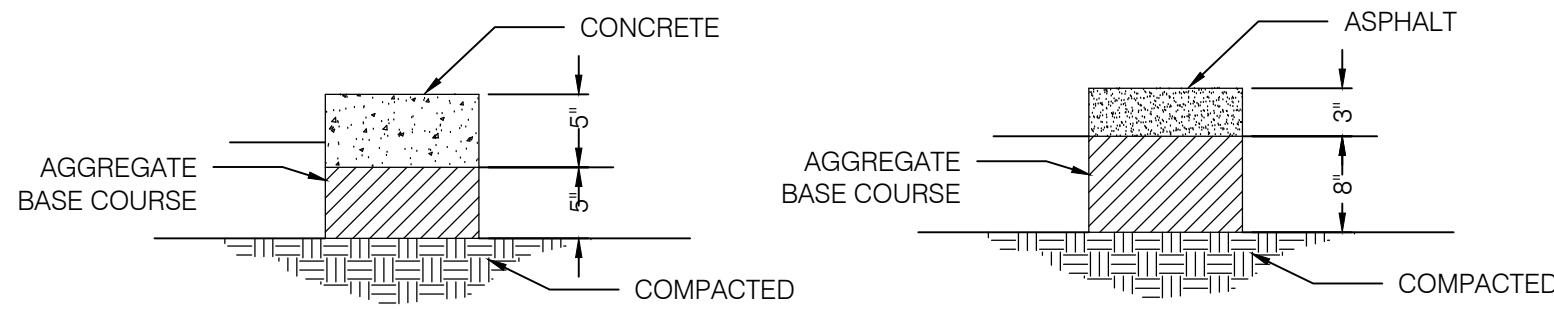
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450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

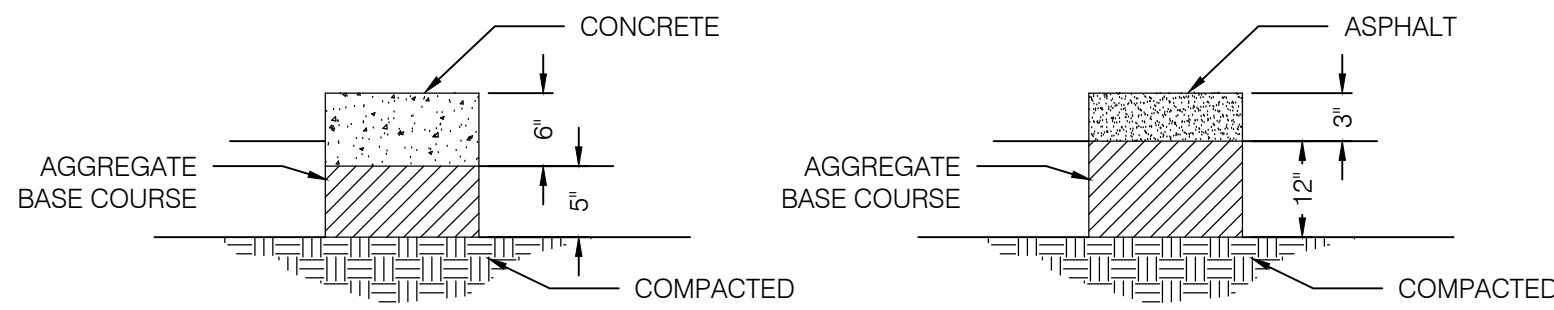
PROJECT NO. 1905136

EROSION CONTROL DETAILS

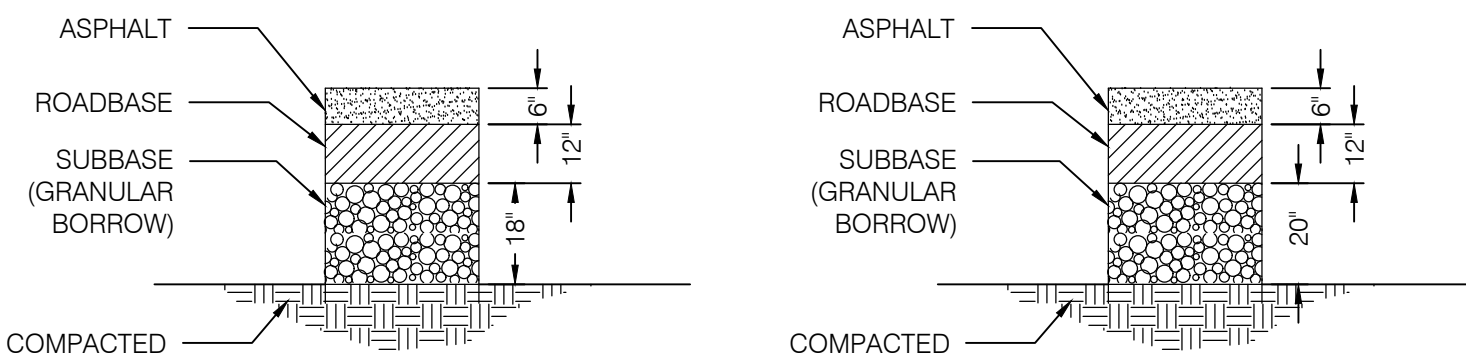
CEP.02
10 OF 17



PARKING AREAS



DRIVE AREAS



500 EAST ROAD

AUTOMALL DRIVE

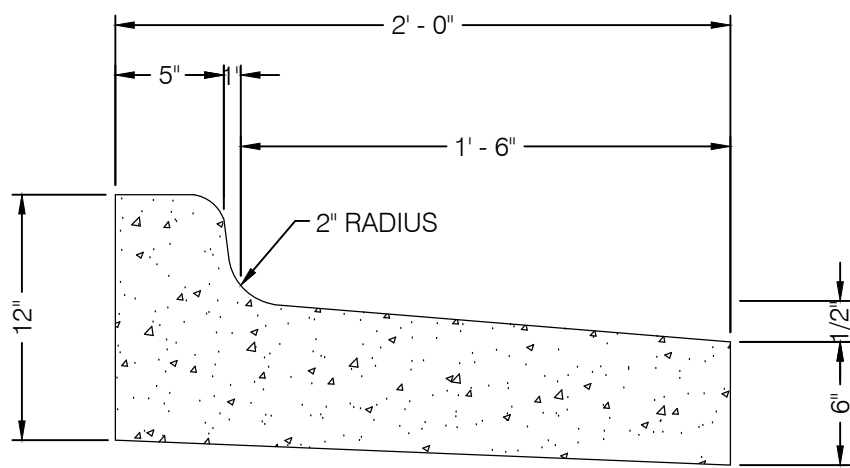
PAVEMENT SECTIONS ①
SCALE: NTS

ALTERNATE: STANDARD
ASPHALT 3"
ROAD BASE 4"
SUB BASE 6"

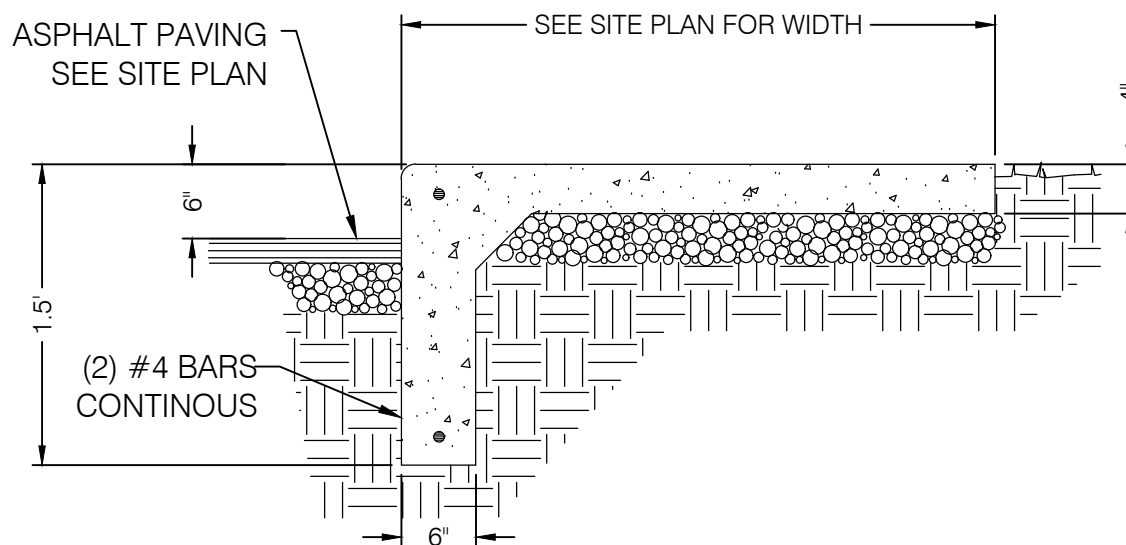
ALTERNATE: STANDARD
ASPHALT 3"
ROAD BASE 6"
SUB BASE 8"

NOTE:
1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT SECTIONS SEE STRUCTURAL ENGINEER
2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE GEOTECHNICAL ENGINEER.
3. REFER TO GEOTECHNICAL ENGINEERING REPORT FOR PAVEMENT SECTION, ROADBASE AND SUBBASE REQUIREMENTS.

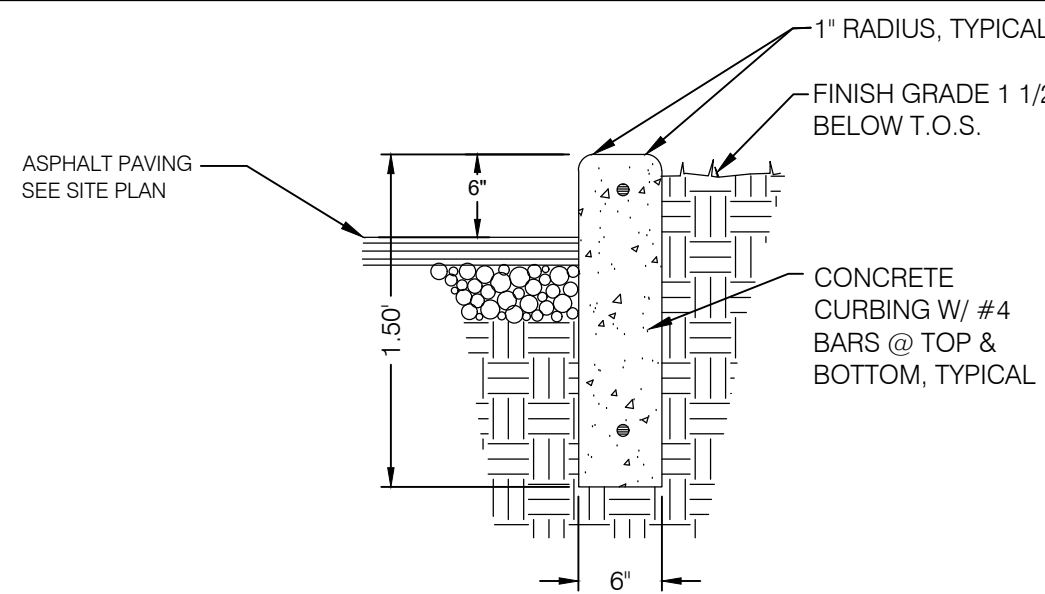
NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% ASSHTO T-180 - METHOD D.



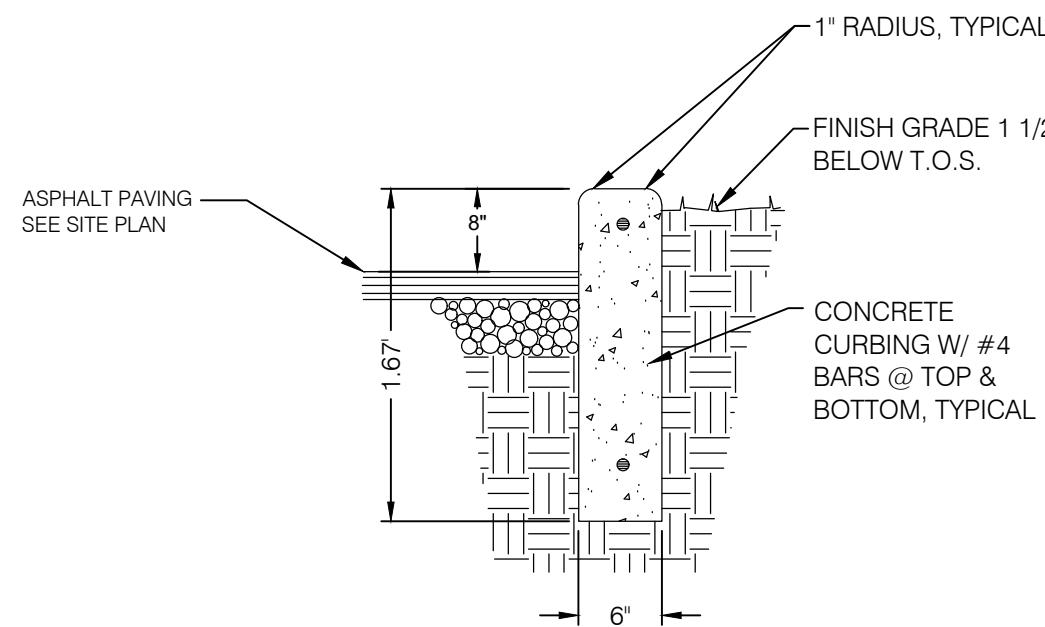
TYPICAL RELEASE CURB & GUTTER ②
SCALE: NTS



INTEGRAL SIDEWALK & CURB ③
SCALE: NTS



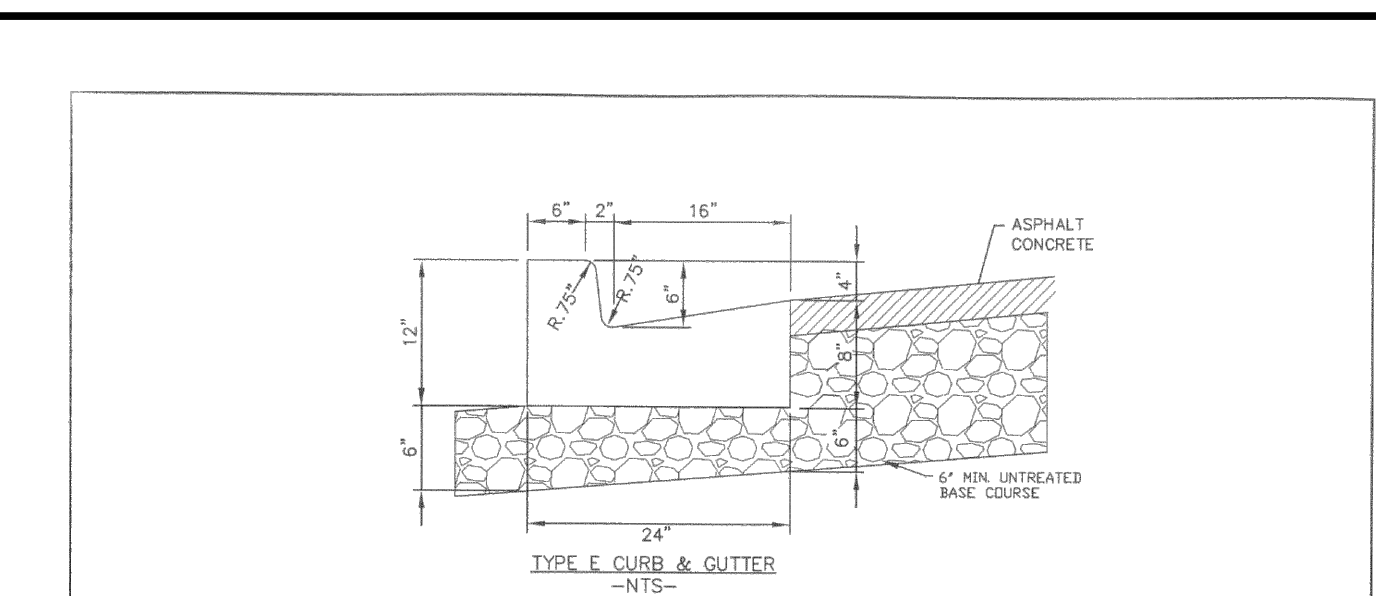
6" CURB WALL



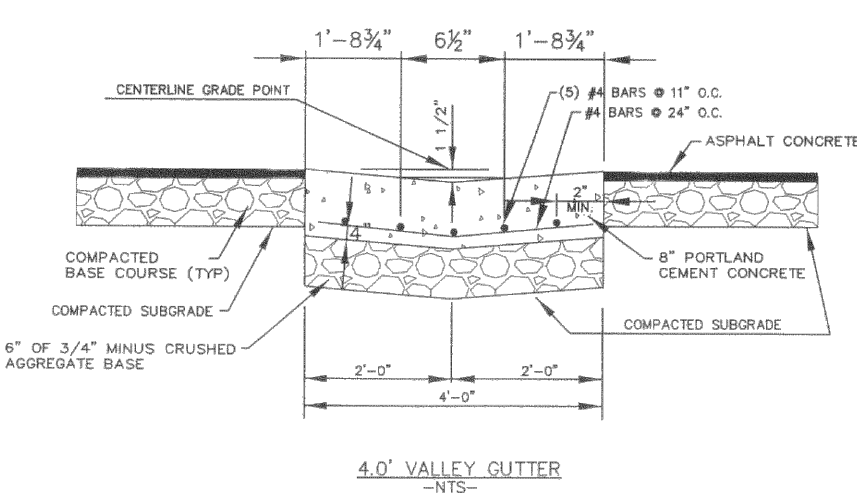
8" CURB WALL

NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% ASSHTO T-180 - METHOD D.

TYPICAL CONCRETE CURB WALL SECTION ④
SCALE: N.T.S.

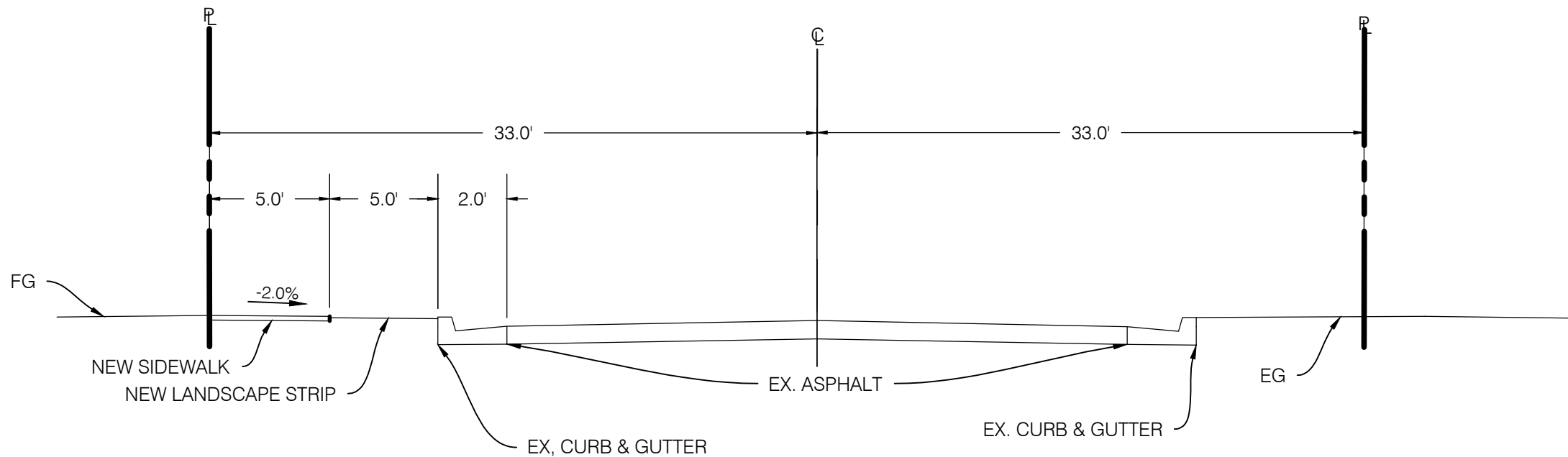


TYPE E CURB & GUTTER - N.T.S.

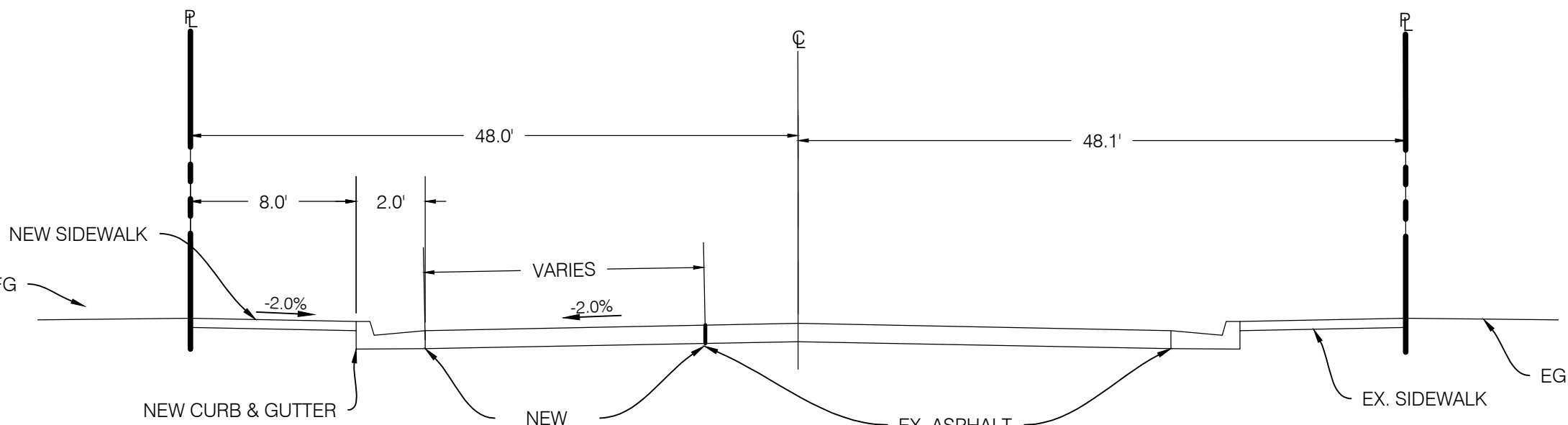


DESIGN: JRP
REVIEWER: JRP
DATE: MAY 2002
SCALE: VARIES
PROJECT: AMERICAN FORK CITY
DRAWING NO: 15.1
REVISIONS: 1. 05/05/2002 15.1
2. 05/05/2002 15.1
3. 05/05/2002 15.1
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100. 05/05/2002 15.1

CURB AND GUTTER ⑥
SCALE: NTS

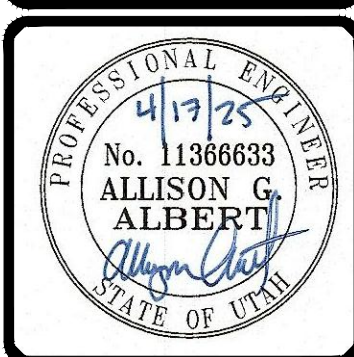


AUTO MALL DRIVE ROW CROSS SECTION ⑦
SCALE: NTS



500 EAST ROW CROSS SECTION ⑤
SCALE: NTS

NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	02/27/24	REMOVED RAISED MEDIAN AND APPROACH
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/03/25	REVISED PER CITY COMMENTS
23	04/17/25	SCALE MEASURES 1/4" ON FULL SIZE SHEETS ADJUST ACCORDING FOR REDUCED SIZE SHEETS



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AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136
DETAIL SHEET
CDT.01
11 OF 17



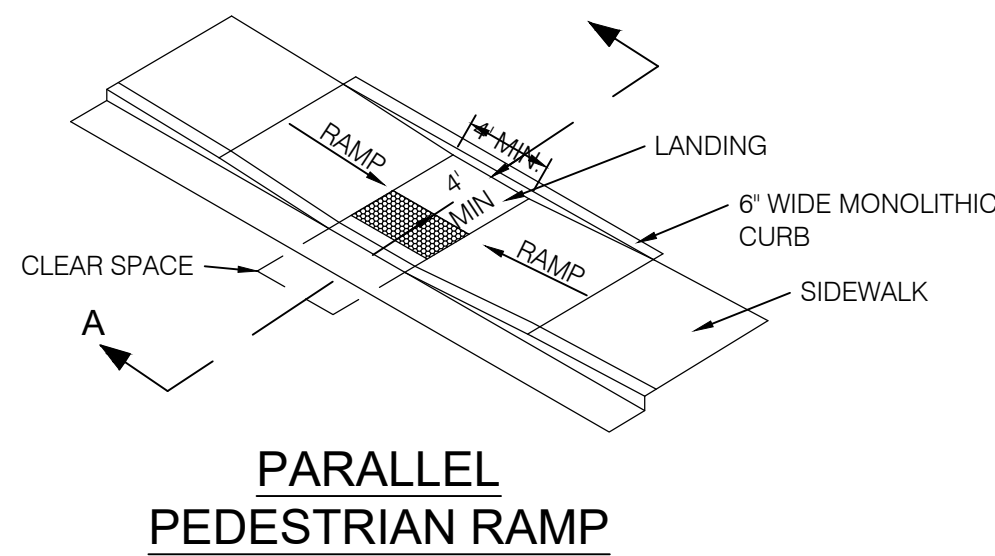
PROJECT NO. 1905136

DETAIL

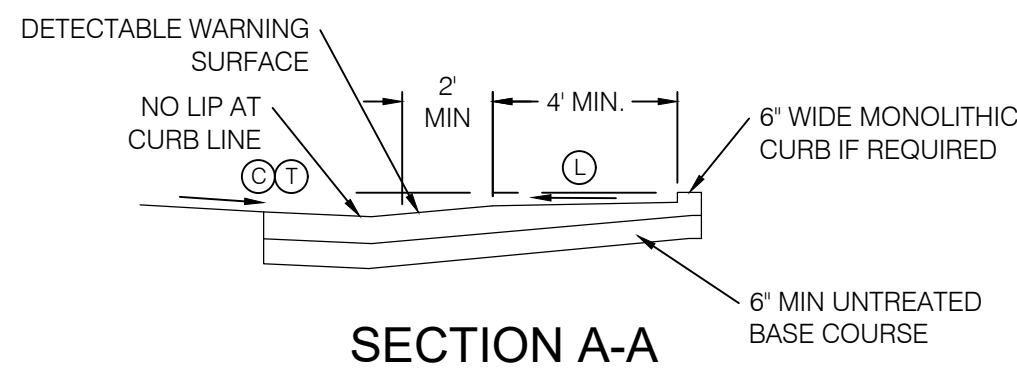
SHEET

CDT.02

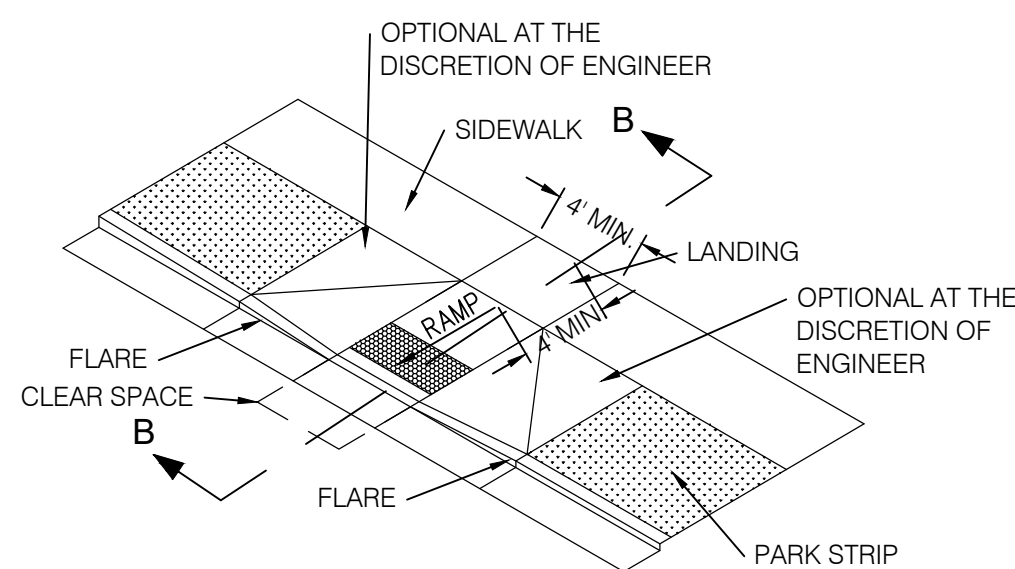
12 OF 17



**PARALLEL
PEDESTRIAN RAMP**

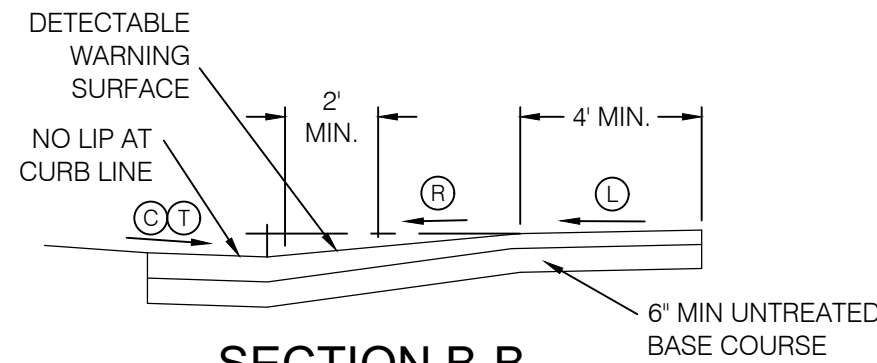


SECTION A-A

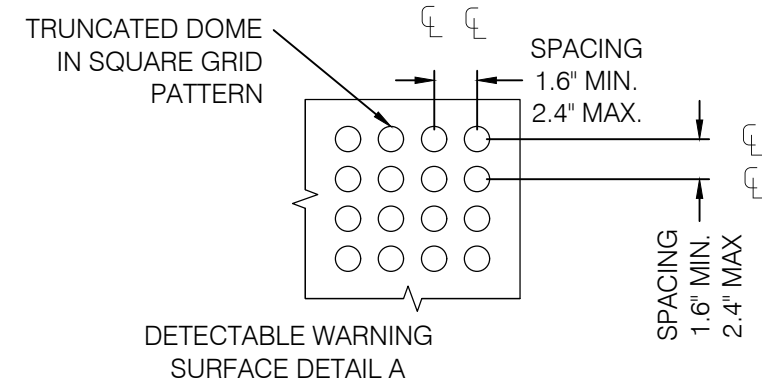
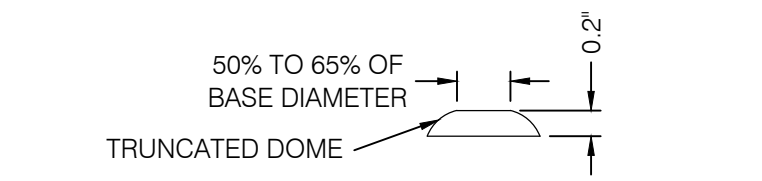
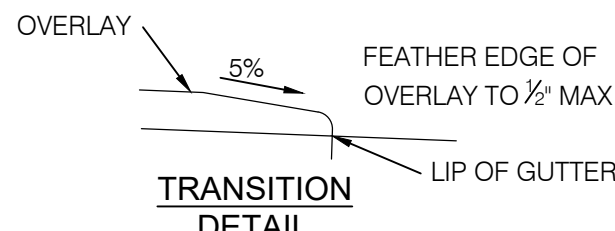


**PERPENDICULAR
PEDESTRIAN RAMP**

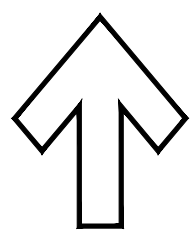
FLARE IS ACCEPTABLE IN LIEU OF FULL HEIGHT CURB SEE LOCAL AGENCY REQUIREMENTS



SECTION B-B

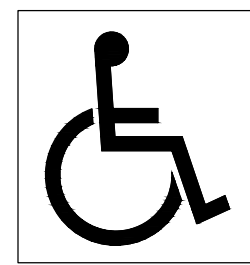


THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD



**DIRECTION OF TRAVEL
OR APPROACH**

THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD



**INTERNATIONAL SYMBOL
OF ACCESSIBILITY**

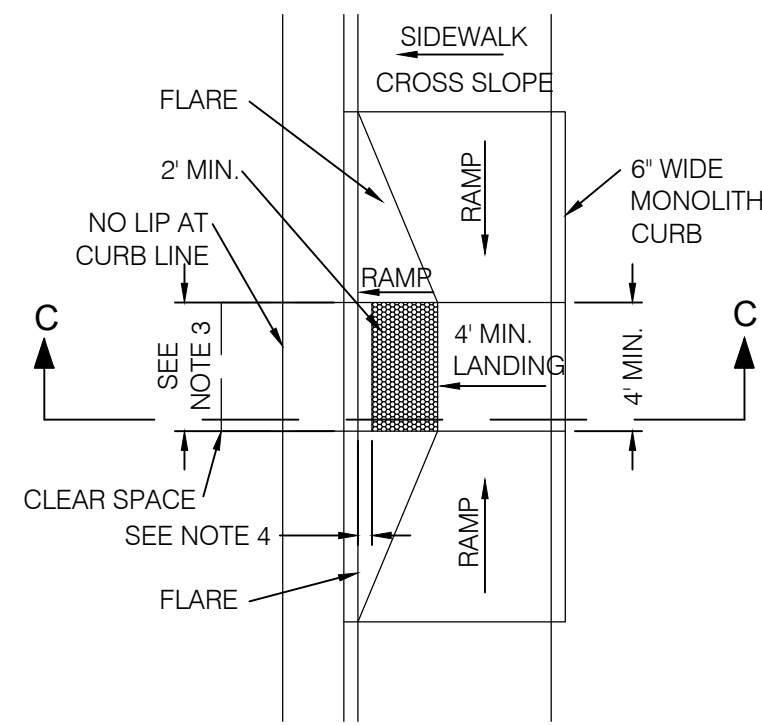
THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD

STRIPING SYMBOLS

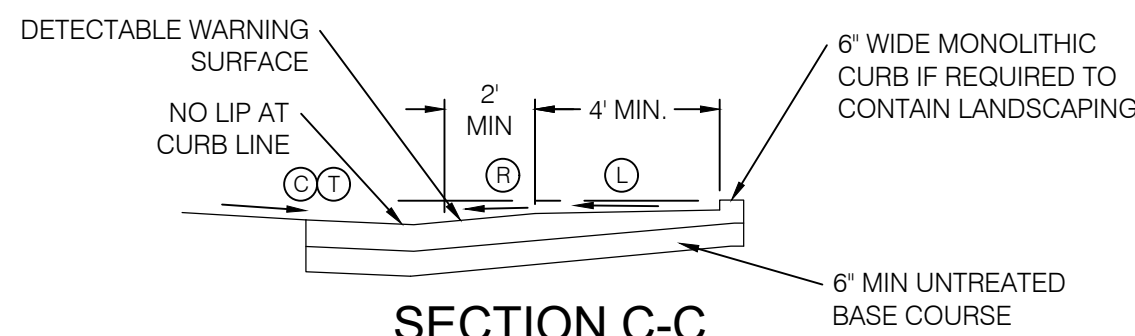
SCALE: N.T.S.

STANDARD ACCESS RAMP 1

SCALE: NTS



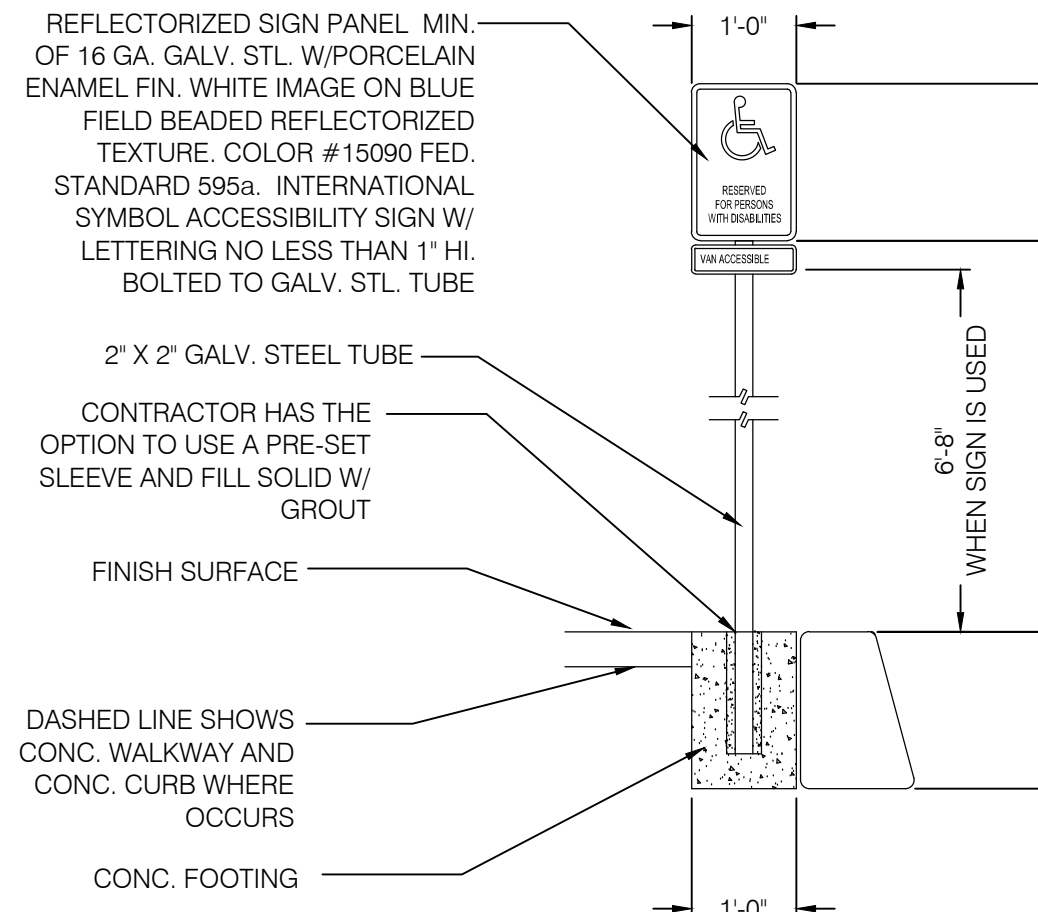
**PEDESTRIAN ACCESS
RAMP DETAIL**



SECTION C-C

NOTES:

1. CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSIONS AND SLOPE REQUIREMENTS. SPECIFIC SITE CONDITIONS WILL VARY. THE USE OF FLARES, CURBWALLS, ETC. ARE AT THE DISCRETION OF THE ENGINEER.
2. PERPENDICULAR AND PARALLEL PEDESTRIAN RAMPS SHOWN ON THIS DRAWING ARE ACCEPTABLE FOR USE AT MID BLOCK OR CORNER INSTALLATIONS.
3. PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDING OR CURB CUT. SEE DETAIL A FOR DETECTABLE WARNING SURFACE DIMENSIONS.
4. LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 4 TO 6 INCHES FROM THE TOP BACK OF CURB.
5. PROVIDE DETECTABLE WARNING SURFACE. COLOR SHALL BE YELLOW.
6. USE CLASS AA (AE) CONCRETE.
7. USE 6" MIN. DEPTH OR UNTREATED BASE COURSE UNDER ALL CONCRETE FLATWORK COMPACTED TO 96% MAXIMUM DRY DENSITY.



ADA SIGN POST DETAIL

TABLE OF DIMENSIONS	
ELEMENT	DIMENSION
(T) (R)	4 FEET WIDE MINIMUM
(L) (C)	4 FEET SQUARE MINIMUM*

* WHERE LANDING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

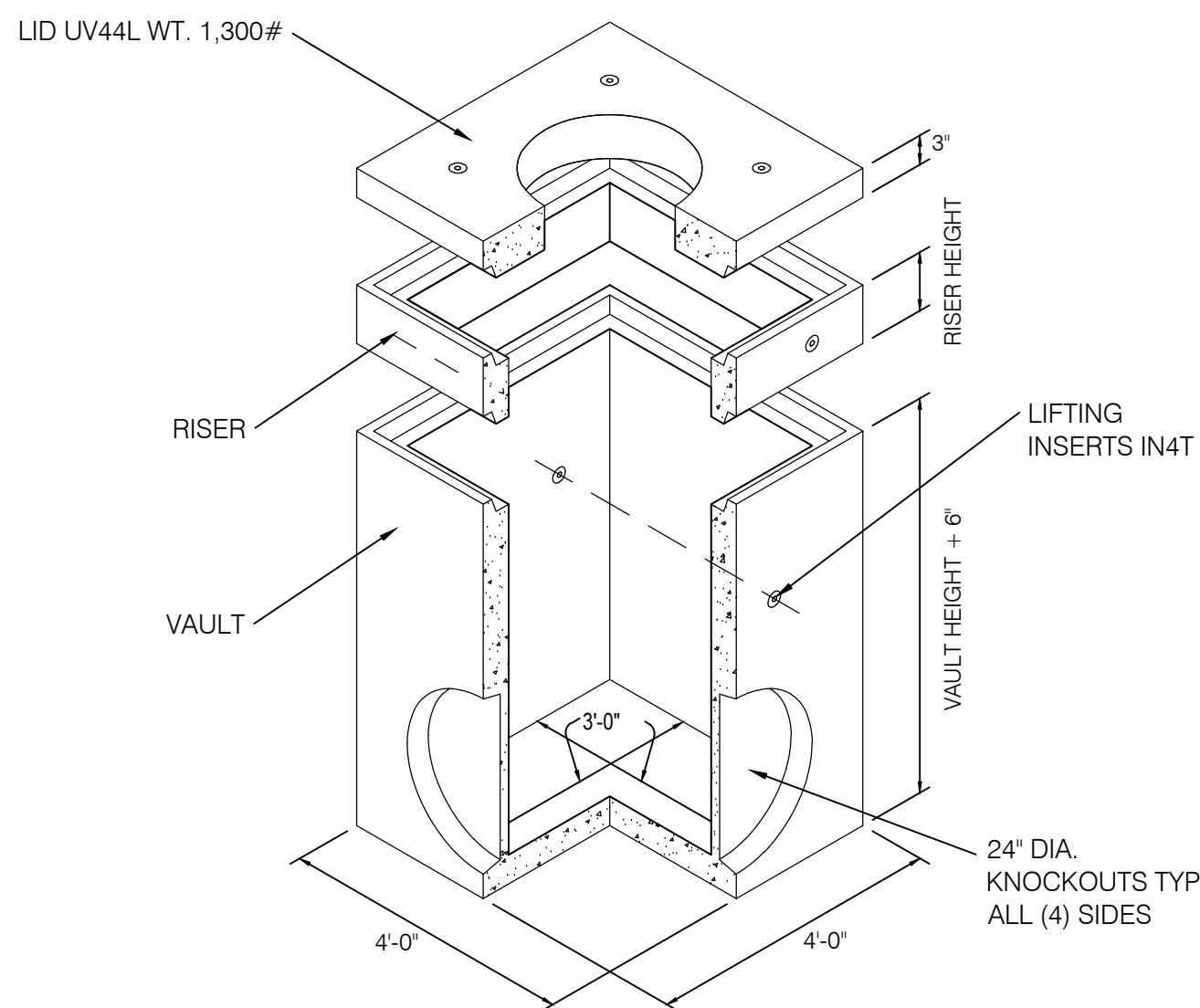
SLOPE TABLE			
	ITEM	RUNNING SLOPE*	CROSS SLOPE
(L)	LANDING	1.5-2% (1V:48H) (b)	1.5-2% (1V:48H) (b)
(R)	RAMP	8.33% (1V:12H) (c)	1.5-2% (1V:48H) (d)
(T)	TRANSITION	5% (1V:20H) (a)	1.5-2% (1V:48H) (d)
(C)	CLEAR SPACE	5% (1V:20H) (a)	1.5-2% (1V:48H) (d)
	SIDEWALK	--	1.5-2% (1V:48H)
	FLARE	10% (1V:10H)	--

* RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL, WHILE CROSS SLOPE IS PERPENDICULAR TO PEDESTRIAN TRAVEL.

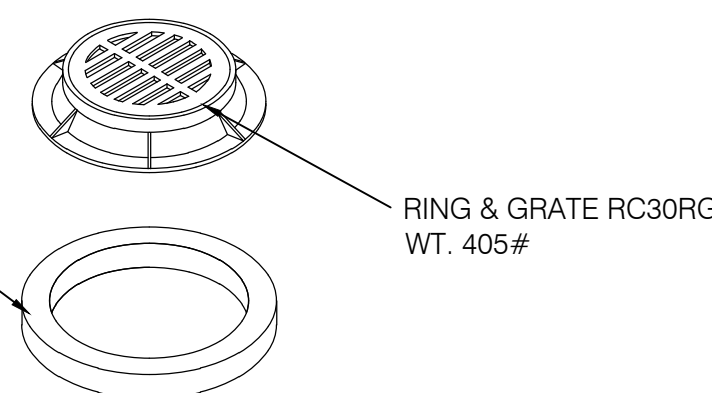
(a) TRANSITION RUNNING SLOPE NEEDS TO BE CONSTANT ACROSS ENTIRE CURB CUT. WARP GUTTER PAN TO MEET REQUIRED TRANSITION SLOPE AT CURB CUT (0.10' MAX. ABOVE FLOWLINE.)

EXCEPTION:

- (b) IF SLOPE REQUIREMENTS CAN'T BE ACHIEVED ON MID-BLOCK RAMPS CONTACT THE ENGINEER.
- (c) PARALLEL RAMPS ARE NOT REQUIRED TO EXCEED 15-FEET IN LENGTH.
- (d) CROSS SLOPE REQUIREMENT DOES NOT APPLY AT PERPENDICULAR RAMP MID-BLOCK CROSSING.



GRADE RING		
HEIGHT	CODE	WEIGHT
4"	GR304	180#
6"	GR306	270#



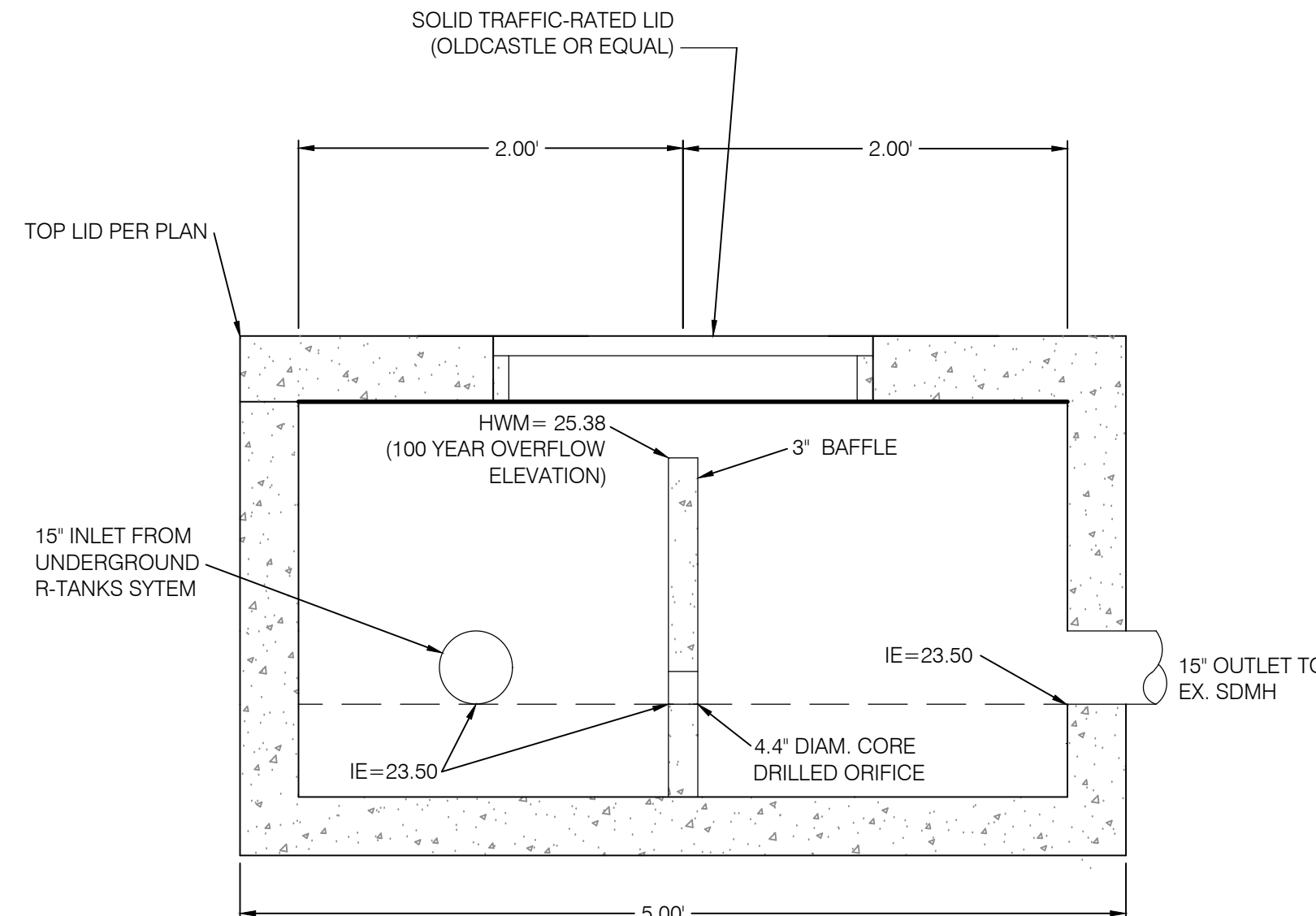
RISER		
HEIGHT	CODE	WEIGHT
1'	UV441R	1,350#
2'	UV442R	2,700#
3'	UV443R	4,050#
4'	UV444R	5,400#
5'	UV445R	6,750#
6'	UV446R	8,100#

VAULT		
HEIGHT	CODE	WEIGHT
3'	CB443	3,225#
4'	CB444	4,575#
5'	CB445	5,925#
6'	CB446	7,275#

- NOTES:
1. CATCH BASINS ARE DESIGNED TO MEET ASTM C858 WITH AASHTO HS-20 LOADING.
 2. OPENINGS MAY BE SIZED AND LOCATED AS REQUIRED.
 3. OPTIONAL GRATING OR COVER MATERIAL MAY BE CAST IN AS REQUIRED.
 4. CHECK HARDWARE SECTION FOR OPTIONAL ACCESSORIES.

3'x3' CATCH BASIN 2

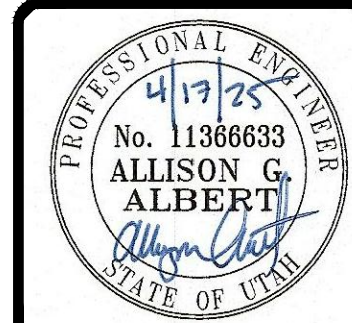
SCALE: NTS



4'x4' CATCH BASIN WITH SOLID LID & BAFFLE 3

SCALE: N.T.S.

DATE	DESCRIPTION
18 02/28/24	REMOVED RETAINING WALL
19 03/27/24	REMOVED RAISED MEDIAN AND APPROACH
20 05/04/24	ADDED LIGHT POLES
21 05/04/24	RETAINING WALL ADDED
22 08/02/24	REVISED PER CITY COMMENTS
23 04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION



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CIVIL**

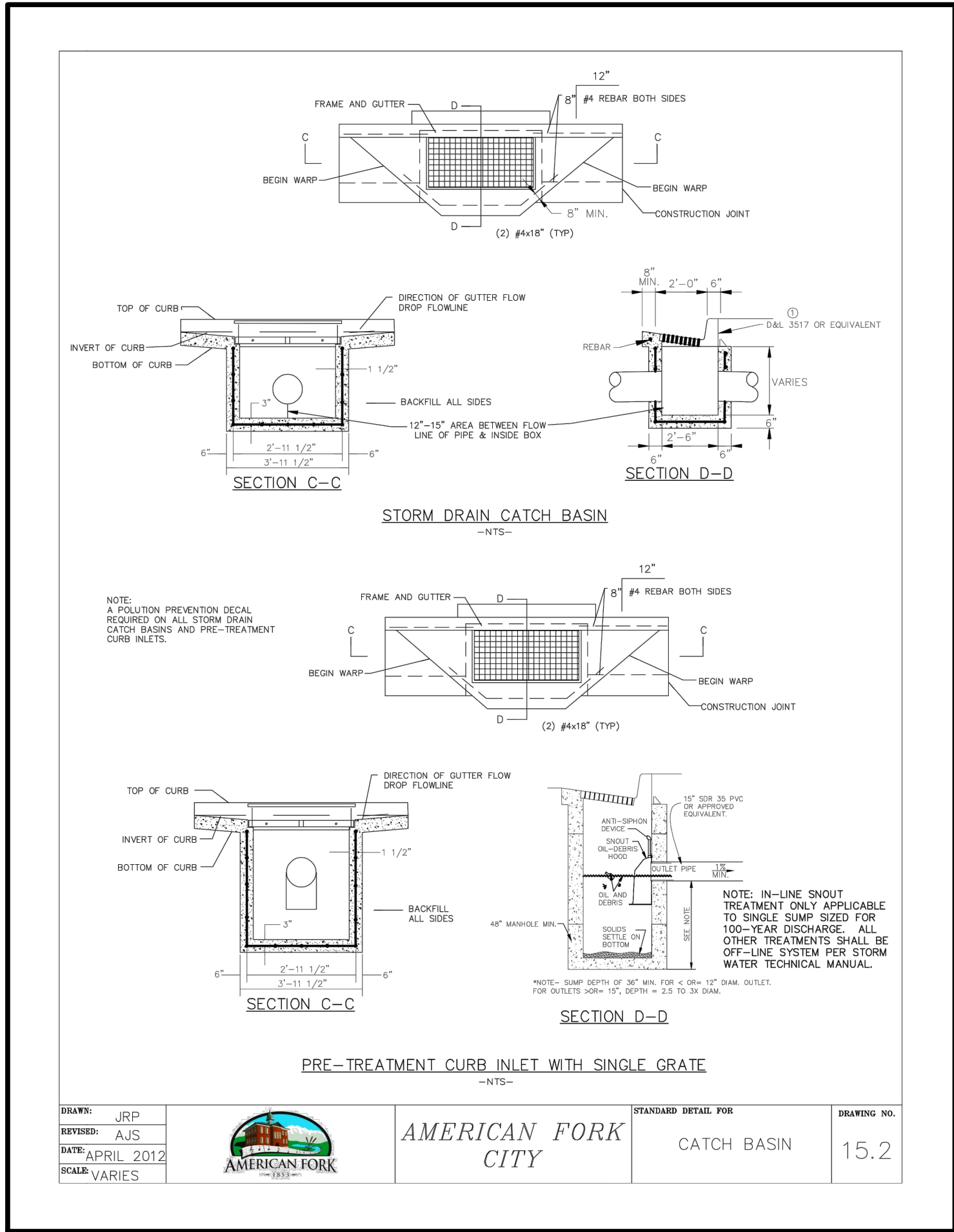
AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

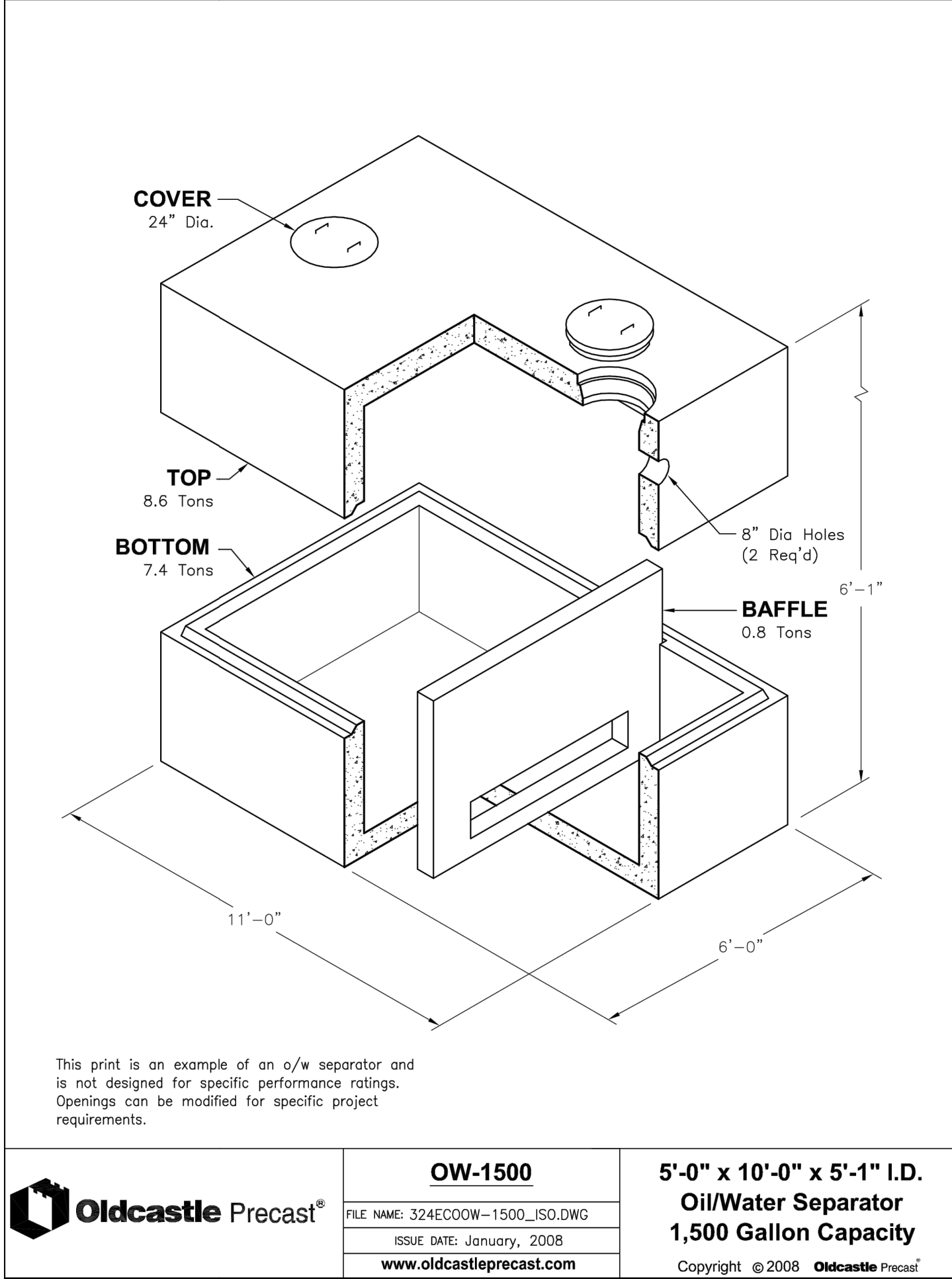
PROJECT NO. 1905136

**DETAIL
SHEET**

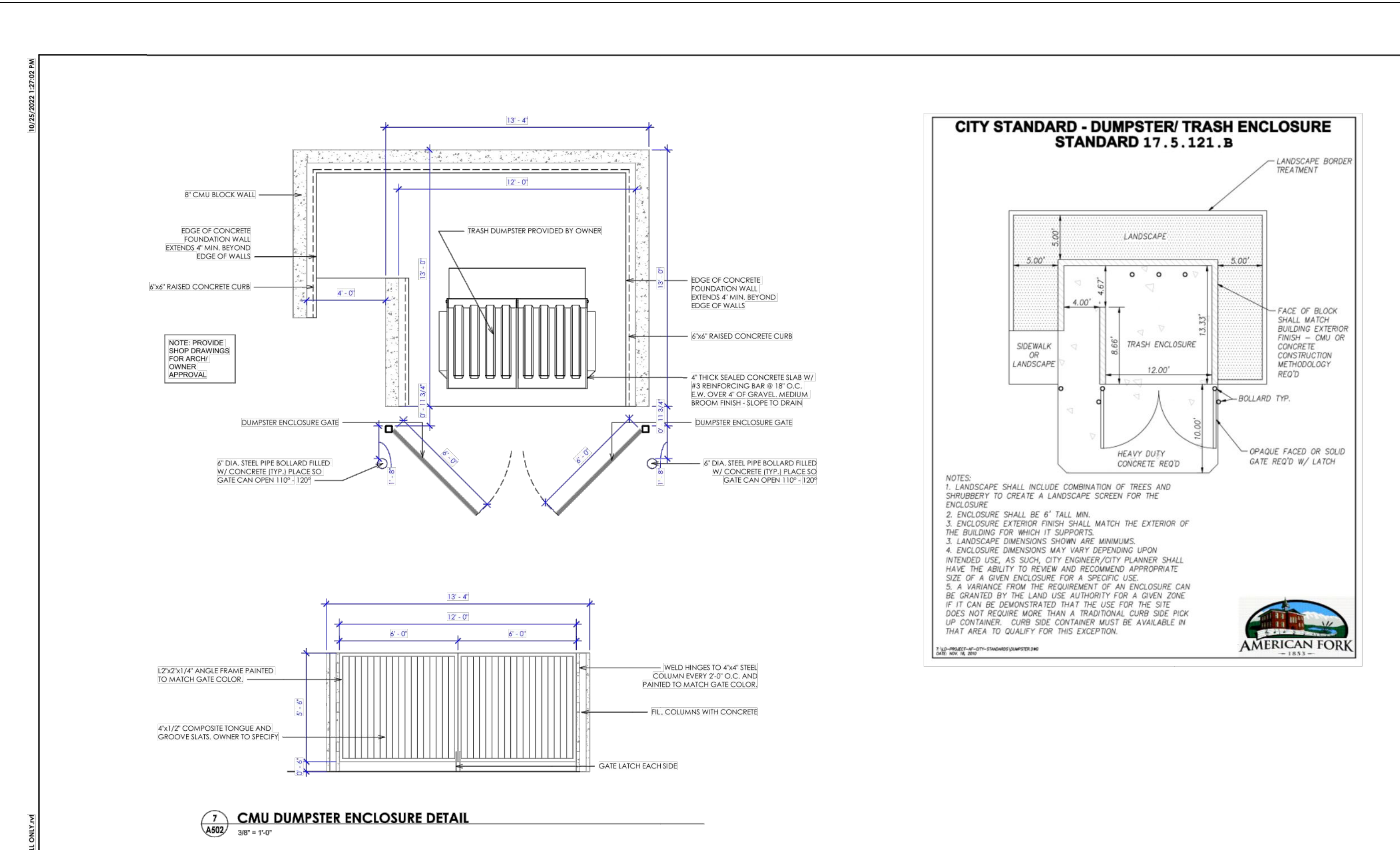
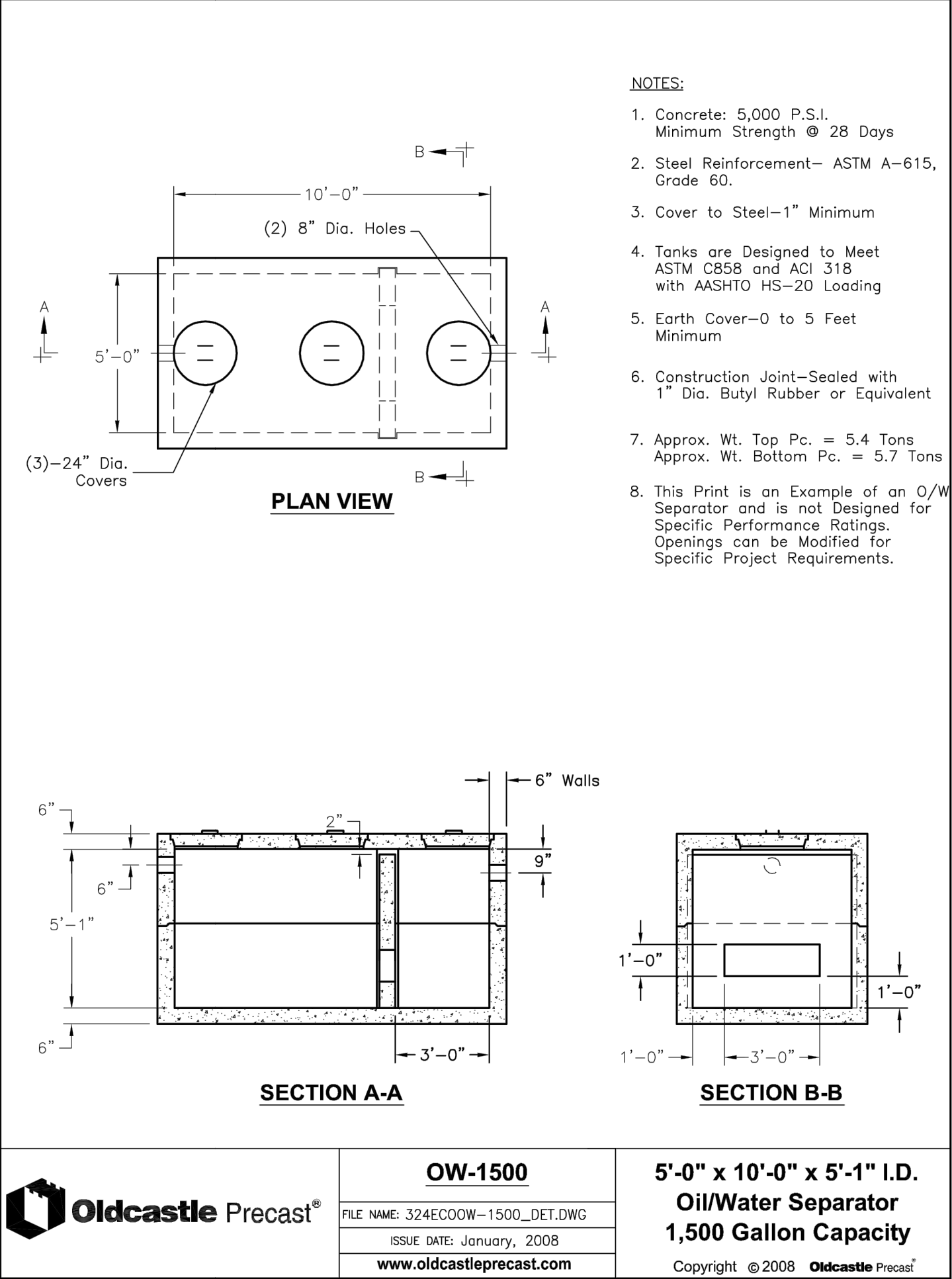
CDT.03
13 OF 17



STORM DRAIN INLET BOX
SCALE:NTS



OLDCASTLE STORM WATER PRE-TREATMENT
SCALE:NTS



DUMPSTER AND DUMPSTER ENCLOSURE DETAIL
SCALE:NTS

PROJECT NO. 1905136

DETAIL SHEET

CDT.04
14 OF 17

AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

1905136 SITE

0.3

1" = 1'-0"

PROFESSIONAL ENGINEER

No. 11366633

ALLISON G. ALBERT

STATE OF UTAH

BENCHMARK ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
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REVISIONS

1. 02/28/24 REMOVED RETAINING WALL

2. 03/27/24 REMOVED RAISED MEDIAN AND APPROACH

3. 05/04/24 ADDED LIGHT POLES

4. 05/04/24 RETAINING WALL ADDED

5. 03/02/24 REVISED PER CITY COMMENTS

6. 04/17/24 REVISED PER CITY COMMENTS & GC COORDINATION

7. 04/17/24 SCALE MEASURES HIGH ON FULL SIZE SHEETS

8. ADJUST ACCOUNTING FOR REDUCED SIZE SHEETS

DESIGNED BY JRP

REVIEWED BY AJS

DATE: APRIL 2012

SCALE: VARIES

AMERICAN FORK CITY

STANDARD DETAIL FOR CATCH BASIN

DRAWING NO. 15.2

OLDCASTLE PRECAST

FILE NAME: 324EC00W-1500_ISO.DWG

ISSUE DATE: JANUARY, 2008

WWW.OLDCASTLEPRECAST.COM

OLDCASTLE PRECAST

FILE NAME: 324EC00W-1500_DET.DWG

ISSUE DATE: JANUARY, 2008

WWW.OLDCASTLEPRECAST.COM

NOTES:

1. Concrete: 5,000 P.S.I. Minimum Strength @ 28 Days

2. Steel Reinforcement-- ASTM A-615, Grade 60.

3. Cover to Steel--1" Minimum

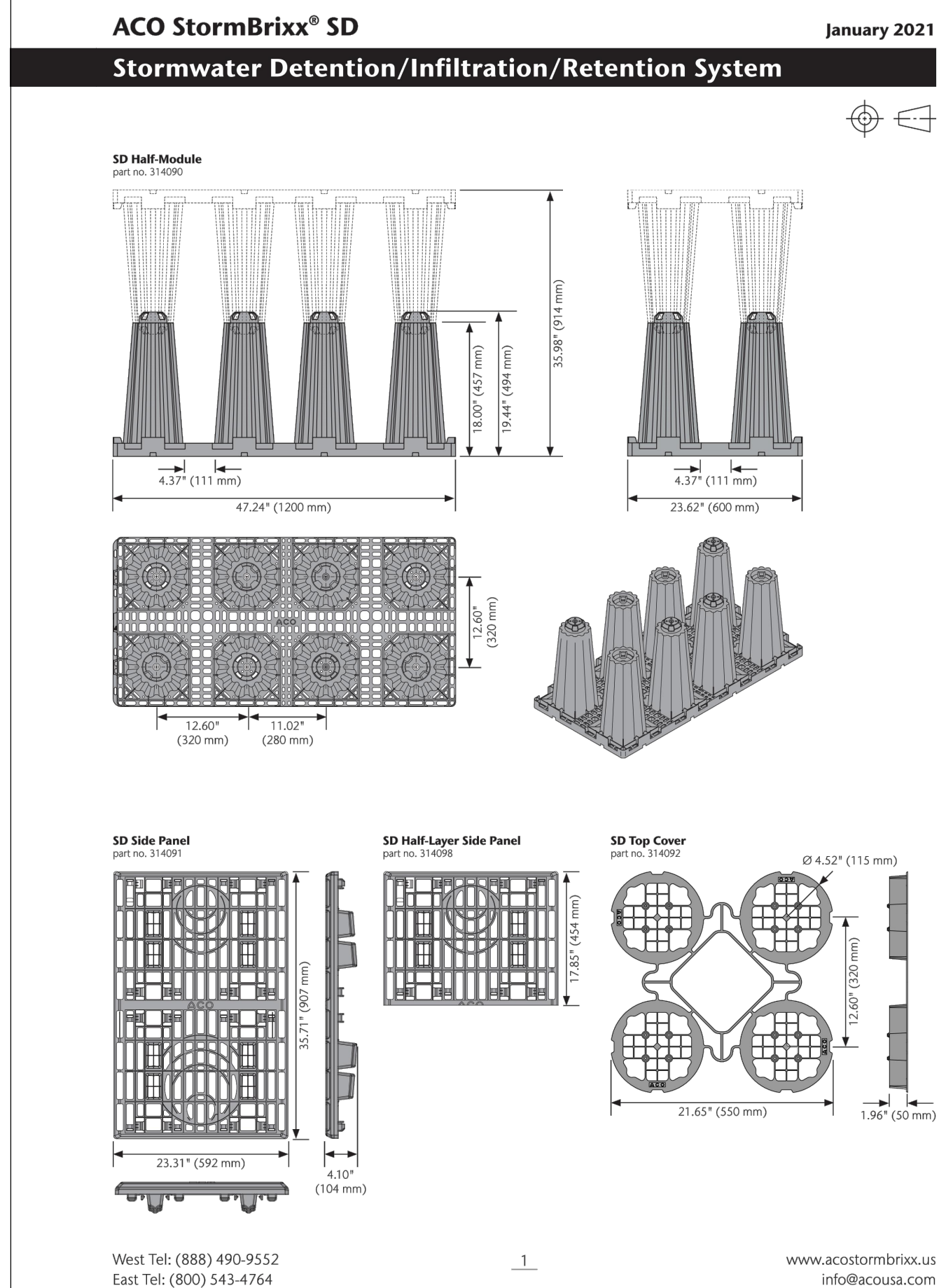
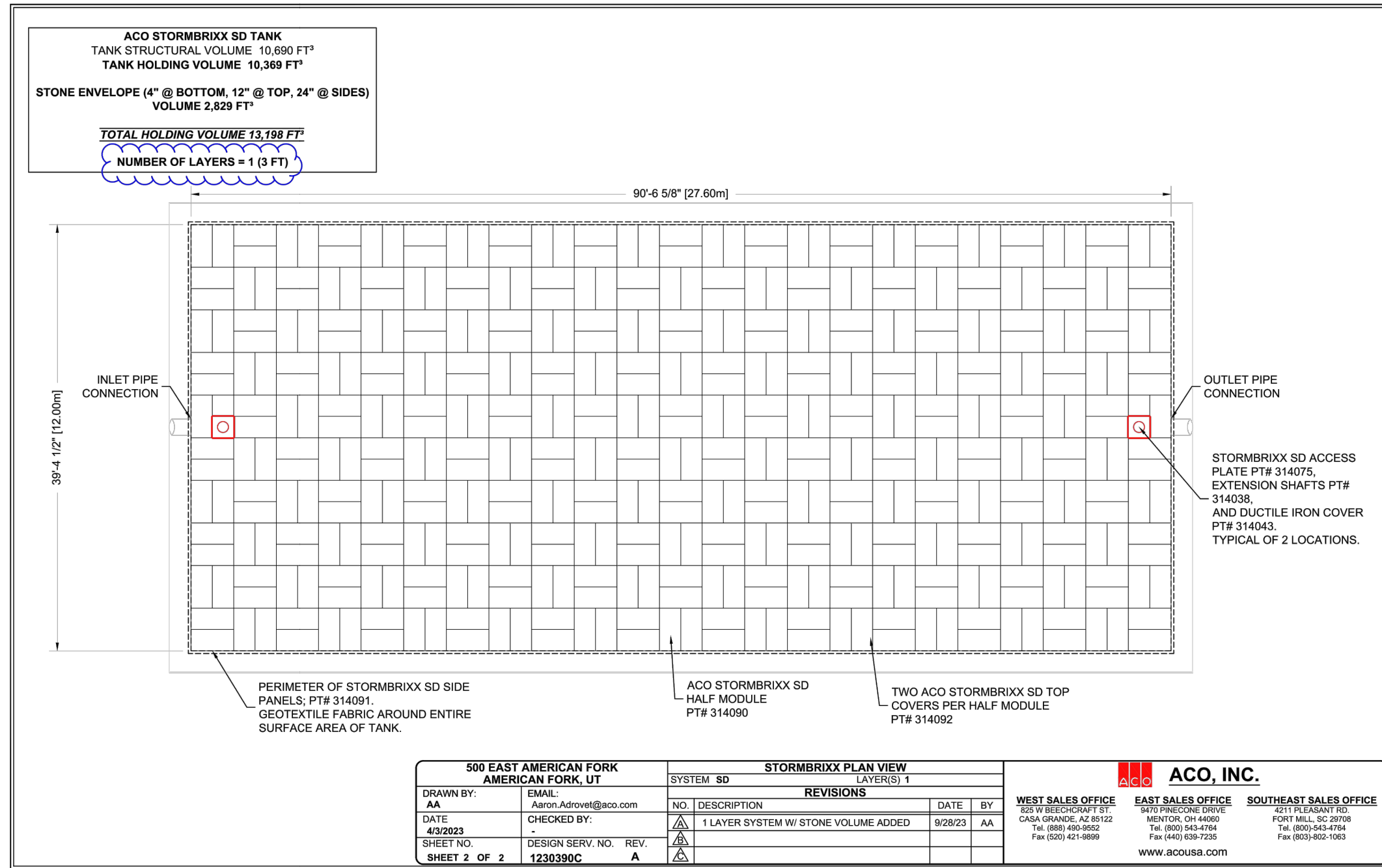
4. Tanks are Designed to Meet ASTM C858 and ACI 318 with AASHTO HS-20 Loading

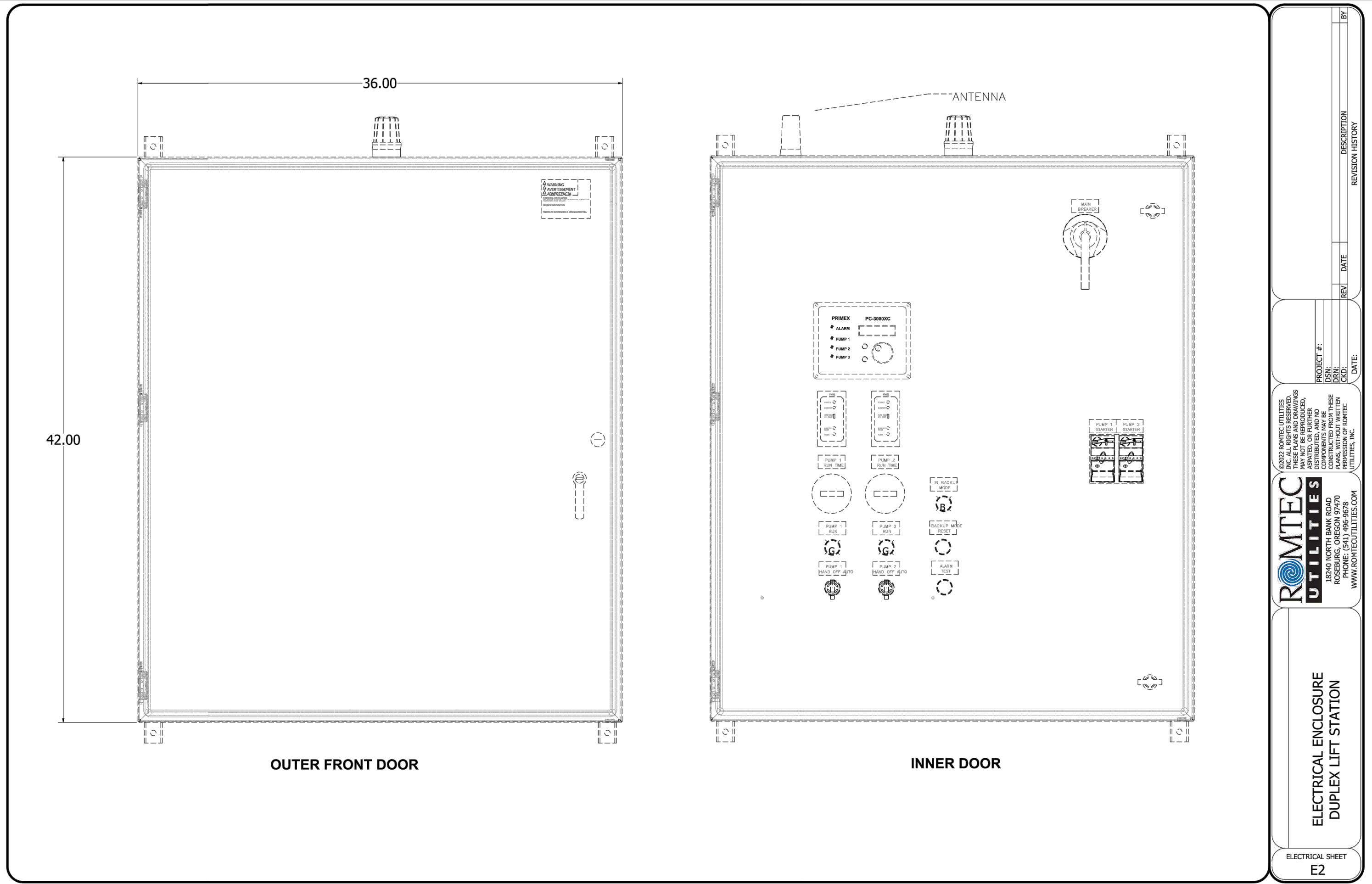
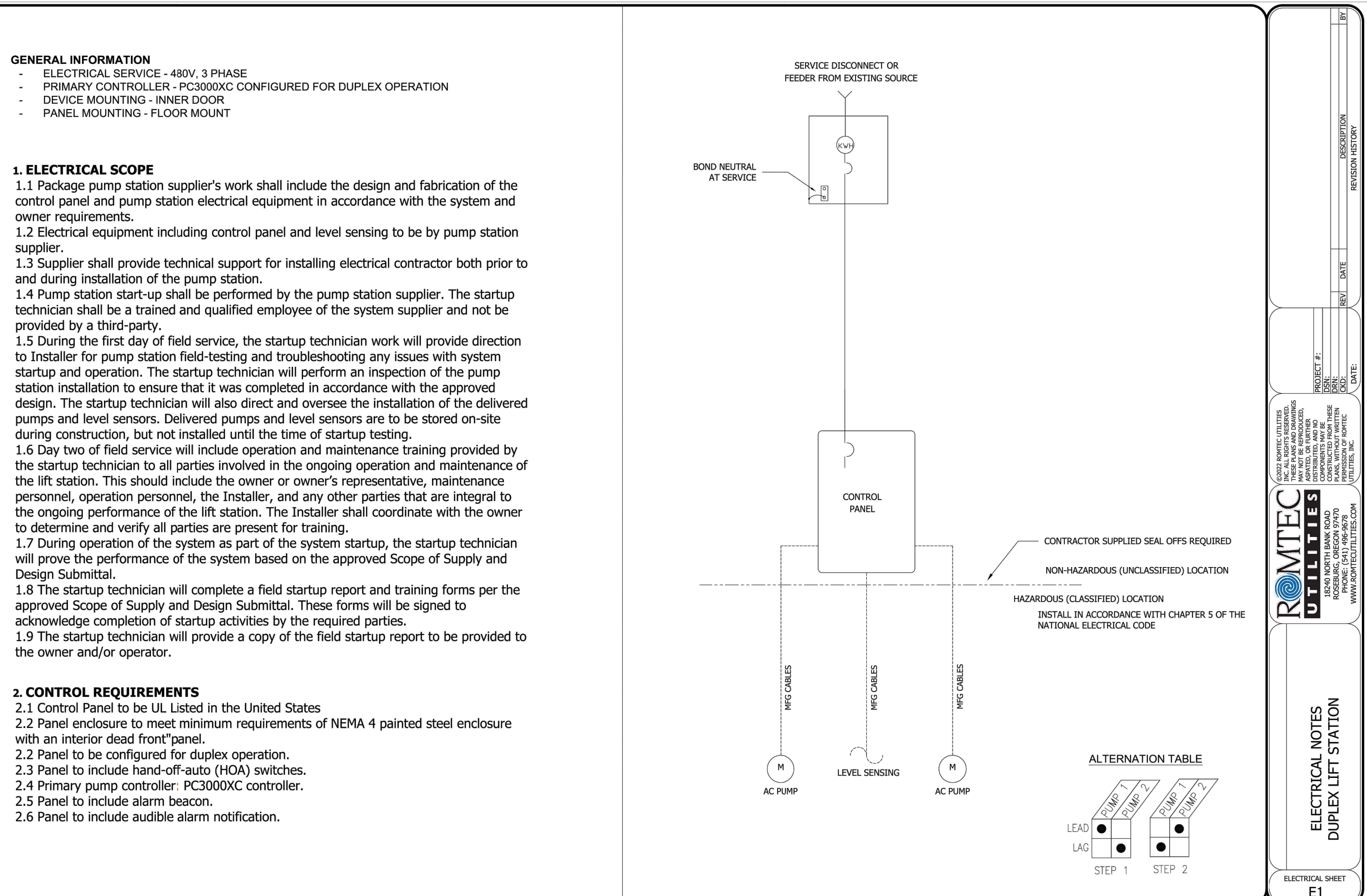
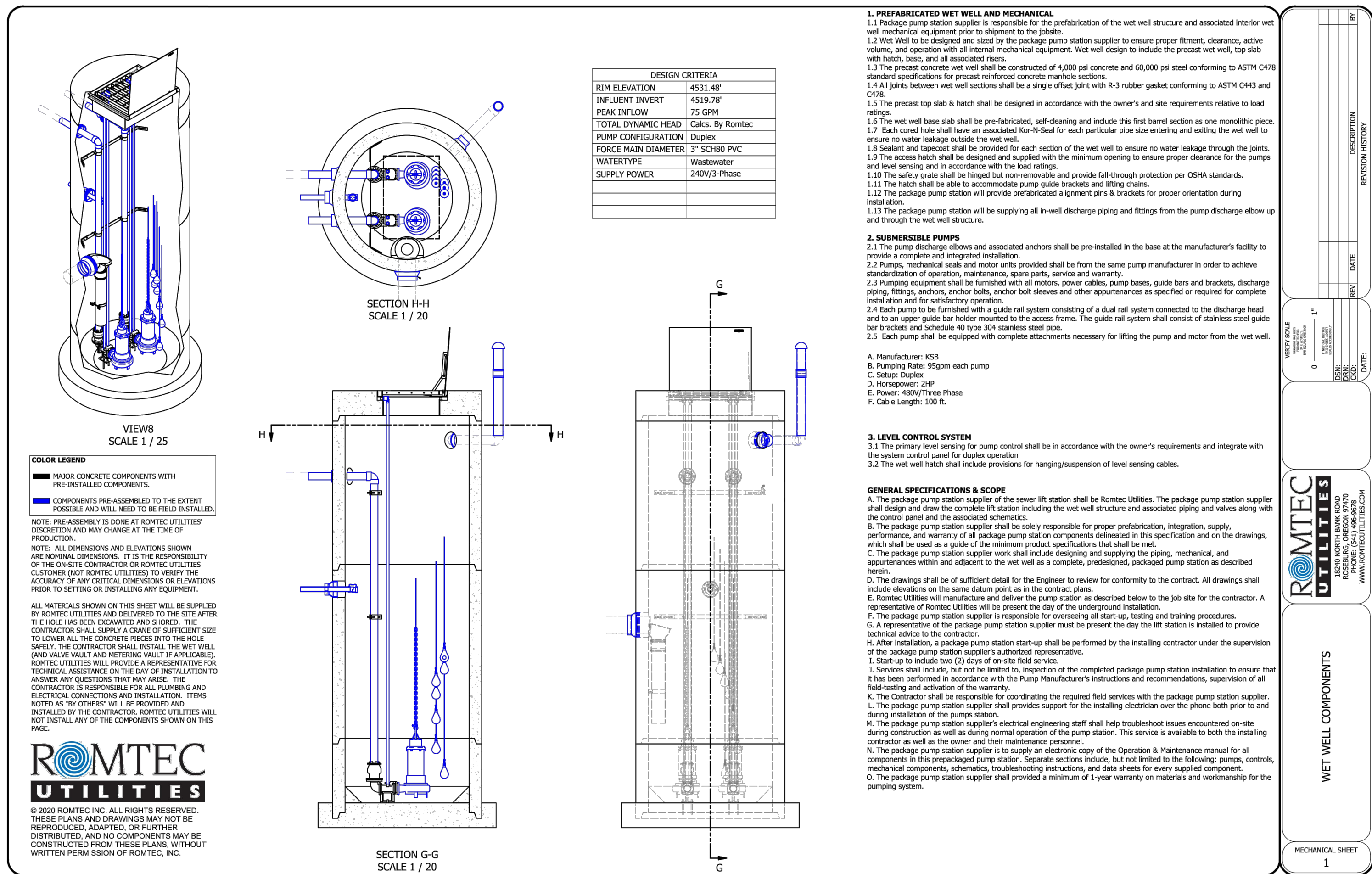
5. Earth Cover--0 to 5 Feet Minimum

6. Construction Joint--Sealed with 1" Dia. Butyl Rubber or Equivalent

7. Approx. Wt. Top Pc. = 5.4 Tons
Approx. Wt. Bottom Pc. = 5.7 Tons

8. This Print is an Example of an O/W Separator and is not Designed for Specific Performance Ratings. Openings can be Modified for Specific Project Requirements.





Waste Water Drainage Sizing

Project Name: American Fork Office/Warehouse

Waste Branch: Building Total - Estimated

Quantity	Fixture Type	Drainage Fixture Unit Value as Load Factors (dfu)	Minimum Size of Trap (inches)	Total Fixture Unit Value as Load Factors (dfu)
0	Automatic Clothes Washers, Commercial	3	2	0
0	Automatic Clothes Washers, Residential	2	2	0
0	Bathroom Group as defined in Section 202 (1.6 gpf water closet)	5	-	0
0	Bathroom Group as defined in Section 202 (water closet flushing...	6	-	0
0	Bathtub (with or without overhead shower or whirlpool attachments)	2	1 1/2	0
0	Bidet	1	1 1/4	0
0	Combination sink and tray	2	1 1/2	0
0	Dental lavatory	1	1 1/4	0
0	Dental unit or cuspidor	1	1 1/4	0
0	Dishwashing machine, domestic	2	1 1/2	0
7	Drinking fountain	1/2	1 1/4	3.5
36	Emergency floor drain	0	2	0
0	Floor drains	2	2	0
0	Floor sinks	3	2	0
7	Kitchen sink, domestic	2	1 1/2	14
0	Kitchen sink, domestic with food waste grinder and/or dishwasher	2	1 1/2	0
0	Laundry tray (1 or 2 compartments)	2	1 1/2	0
56	Lavatory	1	1 1/4	56
0	Shower (5.7 gpm or less)	2	1 1/2	0
0	Shower (5.7 gpm to 12.3 gpm)	3	2	0
0	Shower (12.3 gpm to 25.8 gpm)	5	3	0
0	Shower (25.8 gpm to 55.6 gpm)	6	4	0
7	Service Sink	2	1 1/2	14
0	Sink	2	1 1/2	0
14	Urinal	4	2	56
0	Urinal, 1 gallon per flush or less	2	2	0
0	Urinal, nonwater supplied	1/2	2	0
0	Wash sink (circular or multiple) each set of faucets	2	1 1/2	0
42	Water closet, flushometer tank, public or private	4	3	168
0	Water closet, private (1.6 gpf)	3	3	0
0	Water closet, private (flushing greater than 1.6 gpf)	4	3	0
0	Water closet, public (1.6 gpf)	4	3	0
0	Water closet, public (flushing greater than 1.6 gpf)	6	3	0
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
				311.5

Slope of Waste Water Piping = 1/8 inch inch
Minimum Size of Primary Waste Water Piping = 6 inch

Waste Water Drainage Sizing

Project Name: American Fork Office/Warehouse

Waste Branch: Typical Tenant - Estimated

Quantity	Fixture Type	Drainage Fixture Unit Value as Load Factors (dfu)	Minimum Size of Trap (inches)	Total Fixture Unit Value as Load Factors (dfu)
0	Automatic Clothes Washers, Commercial	3	2	0
0	Automatic Clothes Washers, Residential	2	2	0
0	Bathroom Group as defined in Section 202 (1.6 gpf water closet)	5	-	0
0	Bathroom Group as defined in Section 202 (water closet flushing...	6	-	0
0	Bathtub (with or without overhead shower or whirlpool attachments)	2	1 1/2	0
0	Bidet	1	1 1/4	0
0	Combination sink and tray	2	1 1/2	0
0	Dental lavatory	1	1 1/4	0
0	Dental unit or cuspidor	1	1 1/4	0
0	Dishwashing machine, domestic	2	1 1/2	0
1	Drinking fountain	1/2	1 1/4	0.5
5	Emergency floor drain	0	2	0
0	Floor drains	2	2	0
0	Floor sinks	3	2	0
1	Kitchen sink, domestic	2	1 1/2	2
0	Kitchen sink, domestic with food waste grinder and/or dishwasher	2	1 1/2	0
0	Laundry tray (1 or 2 compartments)	2	1 1/2	0
8	Lavatory	1	1 1/4	8
0	Shower (5.7 gpm or less)	2	1 1/2	0
0	Shower (5.7 gpm to 12.3 gpm)	3	2	0
0	Shower (12.3 gpm to 25.8 gpm)	5	3	0
0	Shower (25.8 gpm to 55.6 gpm)	6	4	0
1	Service Sink	2	1 1/2	2
0	Sink	2	1 1/2	0
2	Urinal	4	2	8
0	Urinal, 1 gallon per flush or less	2	2	0
0	Urinal, nonwater supplied	1/2	2	0
0	Wash sink (circular or multiple) each set of faucets	2	1 1/2	0
6	Water closet, flushometer tank, public or private	4	3	24
0	Water closet, private (1.6 gpf)	3	3	0
0	Water closet, private (flushing greater than 1.6 gpf)	4	3	0
0	Water closet, public (1.6 gpf)	4	3	0
0	Water closet, public (flushing greater than 1.6 gpf)	6	3	0
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
				44.5

Slope of Waste Water Piping = 1/8 inch inch
Minimum Size of Primary Waste Water Piping = 4 inch

Domestic Water Sizing

Project Name: American Fork...

Dom. Wtr Branch: Typical Tenant - Estimated

Quantity	Fixture Type	Occupancy	Type of Supply Control	Load Values in Water Supply Fixture Units (wsfu)			Minimum sizes of Fixture Water Supply Pipes (Table 604.5)
				Cold	Hot	Total	
0	Bathroom Group	Private	Flush Tank	0	0	0	-
0	Bathroom Group	Private	Flushometer Valve	0	0	0	-
0	Bathtub	Private	Faucet	0	0	0	1/2
0	Bathtub	Public	Faucet	0	0	0	1/2
0	Bidet	Private	Faucet	0	0	0	3/8
0	Combination Fixture	Private	Faucet	0	0	0	1/2
0	Dishwashing Machine	Private	Automatic	-	0	0	1/2
1	Drinking fountain	Offices, etc.	3/8" valve	0.25	-	0.25	3/8
1	Kitchen Sink	Private	Faucet	1	1	1.4	1/2
0	Kitchen Sink	Hotel/Restaurant	Faucet	0	0	0	3/4
0	Laundry tray (1 to 3 compartments)	Private	Faucet	0	0	0	1/2
8	Lavatory	Private	Faucet	4	4	5.6	3/8
0	Lavatory	Public	Faucet	0	0	0	3/8
1	Service Sink	Offices, etc.	Faucet	2.25	2.25	3	1/2
0	Shower Head	Public	Mixing Valve	0	0	0	1/2
0	Shower Head	Private	Mixing Valve	0	0	0	1/2
0	Urinal	Public	1" Flushometer Valve	0	0	0	1
2	Urinal	Public	3/4" Flushometer Valve	10	-	10	3/4
0	Urinal	Public	Flush Tank	0	-	0	1/2
0	Washing Machine (8 lbs)	Private	Automatic	0	0	0	1/2
0	Washing Machine (8 lbs)	Public	Automatic	0	0	0	1/2
0	Washing Machine (15 lbs)	Public	Automatic	0	0	0	3/4
0	Water Closet	Private	Flushometer Valve	0	-	0	1
6	Water Closet	Private	Flush Tank	13.2	-	13.2	3/8
0	Water Closet	Public	Flushometer Valve	0	-	0	1
0	Water Closet	Public	Flush Tank	0	-	0	3/8
0	Water Closet	Public or Private	Flushometer Tank	0	-	0	3/8
0	Water Closet	Private	Flush Tank	0	-	0	3/8
0	Water Closet	Public or Private	3/4" Valve	0	-	0	3/4
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
				7.25	33.45	wsfu	

DCW wsfu into GPM = 24.9 GPM ** Used GPM for 35 wsfu
DCW Distribution Pipe Size Rqrd from Figure E103.3(2) = 1.5 inch ** Based on Flow rate of 5-8 Feet per Second maximum

Domestic Water Sizing

Project Name: American Fork...

Dom. Wtr Branch: Building Total - Estimated

Quantity	Fixture Type	Occupancy	Type of Supply Control	Load Values in Water Supply Fixture Units (wsfu)			Minimum sizes of Fixture Water Supply Pipes (Table 604.5)
				Cold	Hot	Total	
0	Bathroom Group	Private	Flush Tank	0	0	0	-
0	Bathroom Group	Private	Flushometer Valve	0	0	0	-
0	Bathtub	Private	Faucet	0	0	0	1/2
0	Bathtub	Public	Faucet	0	0	0	1/2
0	Bidet	Private	Faucet	0	0	0	3/8
0	Combination Fixture	Private	Faucet	0	0	0	1/2
0	Dishwashing Machine	Private	Automatic	-	0	0	1/2
7	Drinking fountain	Offices, etc.	3/8" valve	1.75	-	1.75	3/8
7	Kitchen Sink	Private	Faucet	7	7	9.8	1/2
0	Kitchen Sink	Hotel/Restaurant	Faucet	0	0	0	3/4
0	Laundry tray (1 to 3 compartments)	Private	Faucet	0	0	0	1/2
56	Lavatory	Private	Faucet	28	28	39.2	3/8
0	Lavatory	Public	Faucet	0	0	0	3/8
7	Service Sink	Offices, etc.	Faucet	15.75	15.75	21	1/2
0	Shower Head	Public	Mixing Valve	0	0	0	1/2
0	Shower Head	Private	Mixing Valve	0	0	0	1/2
0	Urinal	Public	1" Flushometer Valve	0	0	0	1
14	Urinal	Public	3/4" Flushometer Valve	70	-	70	3/4
0	Urinal	Public	Flush Tank	0	-	0	1/2
0	Washing Machine (8 lbs)	Private	Automatic	0	0	0	1/2
0	Washing Machine (8 lbs)	Public	Automatic	0	0	0	1/2
0	Washing Machine (15 lbs)	Public	Automatic	0	0	0	3/4
0	Water Closet	Private	Flushometer Valve	0	-	0	1
42	Water Closet	Private	Flush Tank	92.4	-	92.4	3/8
0	Water Closet	Public	Flushometer Valve	0	-	0	1
0	Water Closet	Public	Flush Tank	0	-	0	3/8
0	Water Closet	Public or Private	Flushometer Tank	0	-	0	3/8
0	Water Closet	Private	Flush Tank	0	-	0	3/8
0	Water Closet	Public or Private	3/4" Valve	0	-	0	3/4
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-	-
				50.75	234.15	wsfu	

DCW wsfu into GPM = 75 GPM ** Used GPM for 250 wsfu
DCW Distribution Pipe Size Rqrd from Figure E103.3(2) = 3 inch ** Based on Flow rate of 5-8 Feet per Second maximum
DCW Maximum Developed Pipe Length to Farthest Fixture = 500 Feet ** Measured on architectural plans
BLDG Minimum Size of Water Meter (if needed) = 2 inch ** Based on Table E201.1 (30-39 psi)
Peak Domestic Cold Water Flow 75 GPM
Average Daily Flow 1125 GPD ** Based on typical 10 hr work day

CALCULATION FOR THE WASTEWATER FLOWS
SCALE: NTS

NOTES:

WASTE WATER CALCULATIONS PROVIDED BY A.E.URBIA.

PROJECT NO. 1905136

DETAIL SHEET

CDT.07 17 OF 17

PROJECT NO. 1905136

DETAIL SHEET

CDT.07 17 OF 17

PROFESSIONAL ENGINEER

41725

No. 11366633

ALLISON G. ALBERT

STATE OF UTAH

BENCHMARK ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE #100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com

AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE AMERICAN FORK, UTAH

PROJECT NO. 1905136

DETAIL SHEET

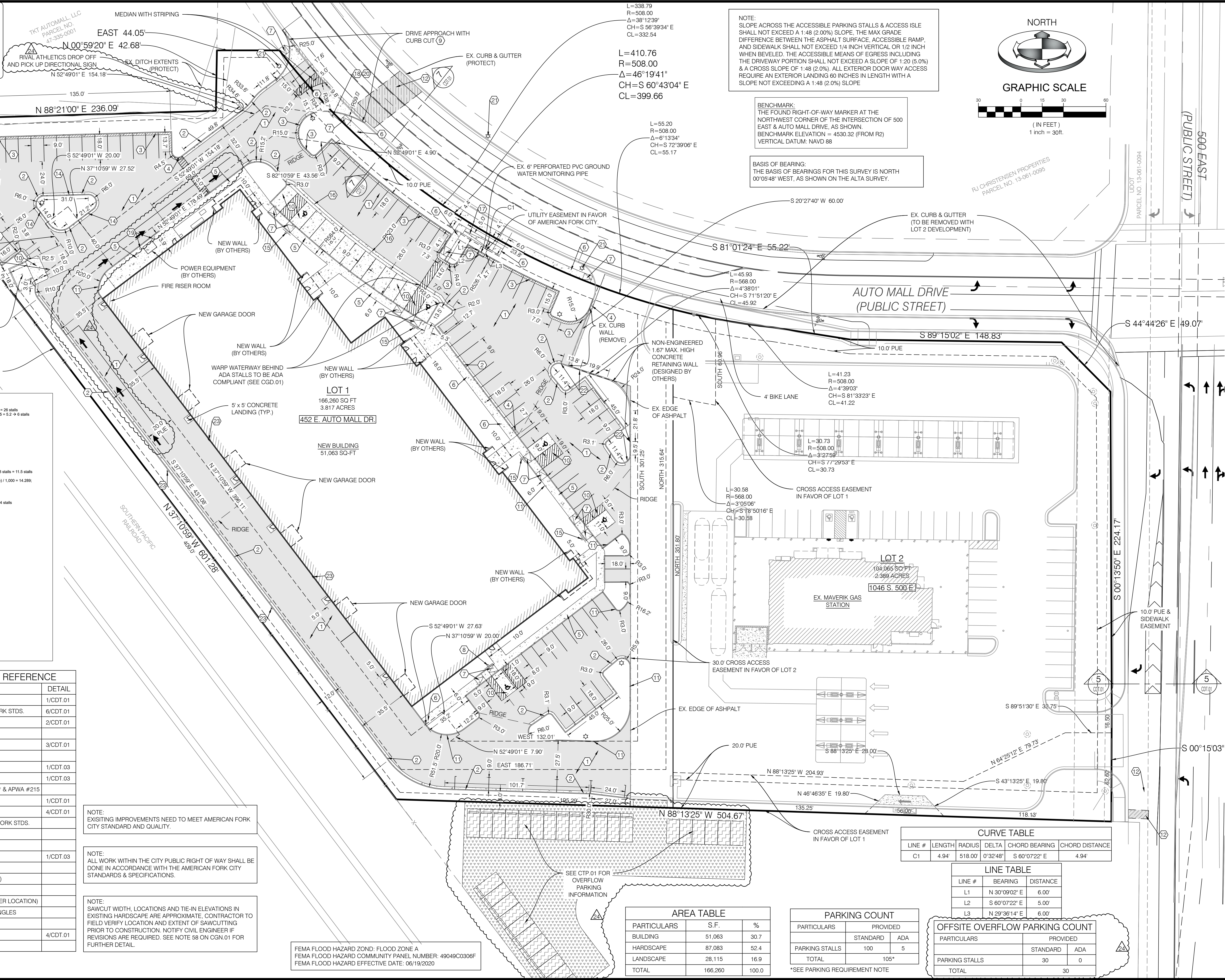
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CONSTRUCTION KEY NOTE REFERENCE		
NO	DESCRIPTION	DETAIL
1	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
2	CONCRETE CURB AND GUTTER PER AMERICAN FORK STDS.	6/CDT.01
3	RELEASE CURB & GUTTER	2/CDT.01
4	TRANSITION CURB & GUTTER	
5	SIDEWALK THICKENED EDGE	3/CDT.01
6	SIDEWALK PER AMERICAN FORK STDS.	
7	ADA RAMP	1/CDT.03
8	ADA SIGN	1/CDT.03
9	DIP DRIVE APPROACH PER AMERICAN FORK STDS.* & APWA #215	
10	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
11	6" CURB WALL	4/CDT.01
12	SAWCUT AND RESTORE ASPHALT PER AMERICAN FORK STDS.	
13	NOT USED	
14	2" CURB CUT	
15	VAN ACCESSIBLE ADA SIGN	1/CDT.03
16	4" CONCRETE WATERWAY PER APWA #211	
17	ADA RAMP WITH HANDRAIL (DESIGNED BY OTHERS)	
18	STOP SIGN PER AMERICAN FORK CITY STDS.	
19	CONC. BOLLARDS (COORDINATE WITH TRANSFORMER LOCATION)	
20	"NO LEFT TURN" SIGN SEE CSS.01 FOR SIGHT TRIANGLES	
21	NEW STREET LIGHT PER AF CITY STDS.	
22	8" CURB WALL	4/CDT.01
23	NO PARKING SIGN (DESIGN BY OTHERS)	

*SIDEWALK AT DRIVE APPROACH SHALL BE 6" THICK.

NOTE:
EXISTING IMPROVEMENTS NEED TO MEET AMERICAN FORK CITY STANDARD AND QUALITY.

NOTE:
ALL WORK WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS & SPECIFICATIONS.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDSCAPE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR FURTHER DETAIL.

FEMA FLOOD HAZARD ZOND: FLOOD ZONE A
FEMA FLOOD HAZARD COMMUNITY PANEL NUMBER: 49049C0306F
FEMA FLOOD HAZARD EFFECTIVE DATE: 06/19/2020

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	51,063	30.7
HARDSCAPE	87,083	52.4
LANDSCAPE	28,115	16.9
TOTAL	166,260	100.0

PARKING COUNT		
PARTICULARS	PROVIDED	
	STANDARD	ADA
PARKING STALLS	100	5
TOTAL	105*	

*SEE PARKING REQUIREMENT NOTE

CURVE TABLE				
LINE #	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	4.94'	518.00'	0°32'48"	S 60°07'22" E
CHORD DISTANCE				
4.94'				

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N 30°09'02" E	6.00'
L2	S 60°07'22" E	5.00'
L3	N 29°36'14" E	6.00'

OFFSITE OVERFLOW PARKING COUNT		
PARTICULARS	PROVIDED	
	STANDARD	ADA
PARKING STALLS	30	0
TOTAL	30	

NORTH

GRAPHIC SCALE

(IN FEET)
1 inch = 30ft.

PROJECT NO.		1905136
SITE PLAN		
CSP.01 3 OF 18		

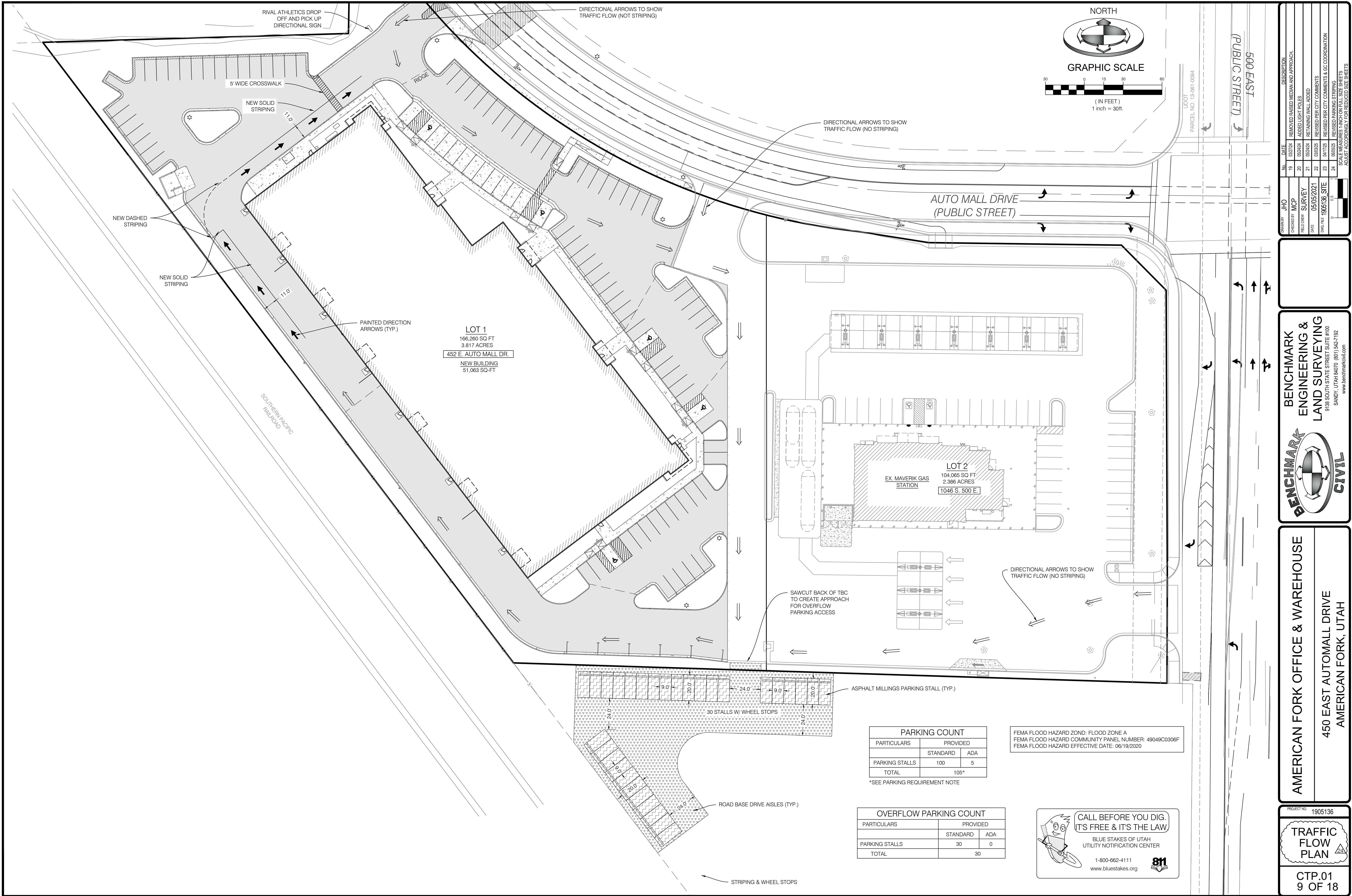
AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

BENCHMARK
ENGINEERING &
LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84707 (801) 542-7192
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DATE	DESCRIPTION
03/27/24	REMOVED BASED MEAN AND APPROACH.
05/24/24	ADDED LIGHT POLES
05/24/24	RETAINING WALL ADDED
05/05/2021	REVISED PER CITY COMMENTS
03/03/25	REVISED PER CITY COMMENTS
04/17/25	REVISED PARKING STRIPING
06/05/25	REVISED PARKING STRIPING

SCALE MEASURES 1/4" ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



DESCRIPTION	
NO.	DATE
19	03/27/21
20	05/24/21
21	05/24/21
22	08/02/21
23	04/17/22
24	08/02/22
REMOVED BASED MEAN AND APPROACH.	
ADDED LIGHT POLES	
REMOVED RETAINING WALL ADDED	
REVISED PER CITY COMMENTS	
REVISED PER CITY COMMENTS & CG COORDINATION	
REVISED PARKING STRIPING	
SCALE MEASURES 1/4" ON FULL SIZE SHEETS	
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS	

CREATED BY

JHO

CHECKED BY

MCP

FIELD CREW

SURVEY

DATE

05/05/2021

TWO FILE

1905136 SITE

DATE

05/05/2021

SCALE

1" = 30'

BENCHMARK

ENGINEERING &
LAND SURVEYING

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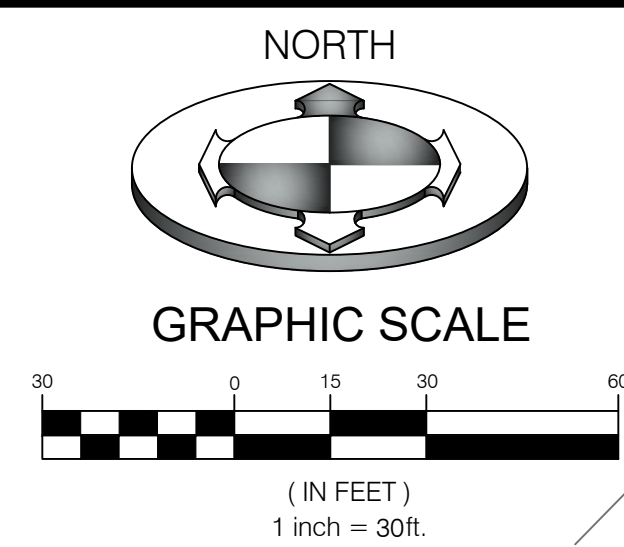
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AMERICAN FORK, UTAH

PROJECT NO.

1905136

TRAFFIC
FLOW
PLAN

CTP.01
9 OF 18



FEMA FLOOD HAZARD ZOND: FLOOD ZONE A
FEMA FLOOD HAZARD COMMUNITY PANEL NUMBER: 49049C0306F
FEMA FLOOD HAZARD EFFECTIVE DATE: 06/19/2020

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