



AMERICAN FORK CITY AMENDED PLANNING COMMISSION AGENDA

Regular Session

June 18, 2025

Wednesday 6:00 PM

**American Fork City Hall
31 North Church Street
American Fork City, UT 84003**

<https://www.americanfork.gov/AgendaCenter>

Planning Commission Members

**Christine Anderson, Chair
Chris Christiansen, Vice Chair
Geoff Dupaix
Bruce Frandsen**

**Rod Martin
David Bird
Harold Dudley
Claire Oldham**

Notice is hereby given that the American Fork City Planning Commission will meet in regular session on June 18, 2025, at the American Fork City Hall, 31 North Church Street commencing at 6:00 PM. The amended agenda shall be as follows:

1. Regular Session

- a. Pledge of Allegiance
- b. Roll Call

2. Common Consent Agenda (Common Consent is that class of Commission action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the June 4, 2025, Planning Commission minutes

3. Public Hearings (Public Hearings is that class of Commission action that requires further discussion on General Plan changes, Zone changes, and Code Text Amendments that alter the land use characteristics of American Fork City. Public Hearing items will have the chance for the public to speak upon.)

- a. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Storm Water Management and Discharge Control, of the American Fork City Municipal Code. Amending Section 13.94, the Code Text Amendment plans to modify subsections 13.94.090 and 13.94.100 to be compliant with updated state regulations. These updates include modifying enforcement measures, clarifying responsibilities of property owners related to runoff, creating a new stormwater inspection process and updating the review process to meet state requirements.

- b. Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Boat Harbor Pump Station, located at approximately 1611 S 100 W (Harbor Road), American Fork City. On approximately 31.71 acres, the property proposes to change from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation.

4. Action Items (Action Items is that class of Commission action that requires further discussion on Site Plans and proposed zoning designation for annexing areas. The Planning Commission will have authority to approve Site Plans for final action and provide recommendations for the zone of annexing property.)

- a. Review and action on an application for a Commercial Site Plan, known as 77 W Main Sign (App #2), located at 77 W Main Street, American Fork City. The

Commercial Site Plan will be on approximately .32 acres and will be in the Central Commercial (CC-1) Zone.

- b. Review and action on an application for a Commercial Site Plan, known as T-Mobile Upgrade (880629-685419), located at 1084 E Pacific Drive, American Fork City. The Commercial Site Plan will be on approximately .97 acres and will be in the Planned Commercial (GC-2) Zone.
- c. Review and action on an application for a Commercial Site Plan, known as 500 East Auto Mall Drive, located at approximately 452 E Auto Mall Drive, American Fork City. The Commercial Site Plan will be on approximately 3.81 acres and will be in the Planned Commercial (GC-2) Zone.

5. Other Business

- a. Upcoming Projects

6. Adjournment

Dated this 9th day of June 2025

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Planning Commission Chair*

UNAPPROVED MINUTES

06.04.2025

AMERICAN FORK CITY
PLANNING COMMISSION REGULAR SESSION
June 4th, 2025

The American Fork City Planning Commission met in a regular session on June 4th, 2025 at the American Fork City Hall, 31 North Church Street, commencing at 6:00 p.m.

Commissioners Present: Christine Anderson, Chris Christiansen, Bruce Frandsen, Geoff Dupaix, Claire Oldham

Commissioners Absent: Rodney Martin, Harold Dudley, David Bird

Staff Present:

Patrick O'Brien	Development Services Director
Cody Opperman	Planner II
Annalisa Reed	Planner
Kelvin Smith	Assistant City Engineer
Angie McKee	Administrative Assistant I

Others Present:

REGULAR SESSION

Christine Anderson led the “Pledge of Allegiance”

Roll Call

COMMON CONSENT AGENDA

1. Minutes of the May 21st, 2025 Planning Commission Regular Session.

Bruce Frandsen motioned to approve the Common Consent agenda.

Claire Oldham seconded the motion.

UNAPPROVED MINUTES

06.04.2025

Voting was as follows:

Christine Anderson	Abstain
Chris Christiansen	AYE
Bruce Frandsen	AYE
Claire Oldham	AYE
Geoff Dupaix	AYE

The motion passed

PUBLIC HEARINGS

- a. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Administrative Site Plan Approvals, of the American Fork City Municipal Code. Amending Section 17.6.101, the Code Text Amendment plans to amend the Site Plan approval process.**

Patrick O'Brien reviewed the background information for Public Hearing Item letter a: The staff has initiated for a Code Text Amendment to amend Section 17.6.101 of the American Fork City Municipal Code. The proposed amendment looks to amend the Site Plan approval process. He explained that there are some changes in the overall code change that staff are trying to push forward sooner than others in order to address some issues and to help applicants have a more straight forward process. He informed the commissioners that there have been a significant number of applicants that have come in for minor changes to their approved projects. The way the code is currently structured there is no minor amendment or administrative process that they can go through for a simple change of use, a very small extension to a building, updating some drainage regions outside, or just doing some surface improvements. They would have to come back through an entire site plan packet review. Staff has listed 17 criteria items in this code section proposal, where the Development Review Committee would be the approval body.

UNAPPROVED MINUTES

06.04.2025

Commissioner Dupaix asked for further clarification on item four, change of use. He feels that the term 'change of use' is pretty generic and he believes there should be something in place that would trigger the need to come back to planning commission if it is a larger change to the site layout.

Patrick O'Brien explained that if it was a change of use going from an office warehouse to a retail or commercial use, depending on the overall square footage and code requirements like parking, it is something that could either go before planning commission, or it could be handled at the staff level. He noted that the last line does say "as determined by the Development Services Director in consultation with the Public Works Director", so if they think the changes are no longer in administrative territory, the project would be sent back to the planning commission.

Commissioner Frandsen commented that he believes that there is a fail-safe built in because staff will not push the limits and take chances of getting fired, so if there is anything that is questionable, he thinks they would send it to the planning commission to approve.

Commissioner Anderson clarified that as she understands, these small changes are black and white and just checking the box on those small items that we sometimes wonder why they had to come back to planning commission.

Public Hearing Open

Public Hearing Closed

Geoff Dupaix moved to recommend approval for the proposed Code Text Amendment, amending Section 17.6.101, titled Administrative Site Plan Review, relating to DRC Site Plan approval for Site Plan amendments and providing an effective date for the ordinance.

UNAPPROVED MINUTES

06.04.2025

Chris Christiansen seconded the motion.

Voting was as follows:

Christine Anderson	AYE
Chris Christiansen	AYE
Bruce Frandsen	AYE
Claire Oldham	AYE
Geoff Dupaix	AYE

The motion passed

- b. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Asphalt Paving General Description, of the American Fork City Municipal Code. Amending Section 15.01.1250, the Code Text Amendment plans to increase the required pavement cross-section on City roads and clarify requirements for determining existing pavement conditions.**

Kelvin Smith reviewed the background information for Public Hearing Item letter b: Staff has initiated a Code Text Amendment to amend Section 15.01.1250 of the American Fork City Municipal Code. The proposed amendment looks to increase the required pavement cross-section on City roads and require pavement cores to determine existing pavement conditions. This is to increase the longevity of City roads and ensure repair of failing roads.

Commissioner Frandsen asked if this is a compacted thickness of 6 inches.

Kelvin Smith confirmed it is a compacted thickness of 6 inches and is required to be done in 2 lifts.

UNAPPROVED MINUTES

06.04.2025

Commissioner Dupaix suggested that maybe in the future on some key routes, that the city consider using a new highly modified HM-HMA asphalt that you can do a 6-inch lift in one single lift.

Kelvin Smith acknowledged that they have used HMA as a treatment, but he is not familiar with the HM-HMA asphalt and asked about the cost.

Commissioner Dupaix informed him that while it is more expensive, it is not as expensive as stone matrix asphalt, and it goes down a whole lot better. He added that some of these roads have been around for 30-40 years back before 18 wheelers were here, and now it is causing some significant damage to some main roads, so he likes this new requirement.

Commissioner Frandsen asked how existing pavement conditions would play into this code change.

Kelvin Smith explained that the streets department does a good job of managing that as there are a lot of visual surface indications to determine the condition of the asphalt. He added that while the core samples are more for developers, it is a tool that can be used to determine if a road needs to completely be rebuilt, an overlay, a partial overlay, or other methods.

Commissioner Christiansen noted that in his experience in pavement design, a minimum thickness is three times the largest aggregate size. So, in Utah, the smallest you could be is half an inch, so he would like to see an inch and a half as a minimum.

Commissioner Dupaix asked when the roads are being done, if they are doing the same thing with the utilities, so the new roads are not being torn up to repair them. He noted that he is aware this has nothing to do with the actual surface treatment, but if there is any utility in there, it is highly recommended to take a serious look at the conditions of those utilities before the treatment is done.

Kelvin Smith responded that they generally try to coordinate with the master plans and the next year or two of surface treatments to plan out the utility improvements.

Public Hearing Open

Public Hearing Closed

UNAPPROVED MINUTES

06.04.2025

Geoff Dupaix moved to recommend approval for the proposed Code Text Amendment, amending Section 15.01.1250, titled Asphalt Paving General Description, relating to increasing the required pavement cross-section on City roads and clarify requirements for determining existing pavement conditions, and providing an effective date for the ordinance. With the additional recommendation of a minimum standard of overlay, be an inch and a half on item C.

Chris Christiansen seconded the motion.

Voting was as follows:

Christine Anderson	AYE
Chris Christiansen	AYE
Bruce Frandsen	AYE
Claire Oldham	AYE
Geoff Dupaix	AYE

The motion passed

Other Business

Patrick O'Brien updated the commissioners on the upcoming plans and projects for the city.

Adjournment

Geoff Dupaix motioned to adjourn the meeting.

Chris Christiansen seconded the motion.

UNAPPROVED MINUTES

06.04.2025

Meeting adjourned at 6: PM

Angie McKee

Administrative Assistant I

The order of agenda items may change to accommodate the needs of the commissioners, public and staff.

Agenda Topic

Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Storm Water Management and Discharge Control, of the American Fork City Municipal Code. Amending Section 13.94, the Code Text Amendment plans to modify subsections 13.94.090 and 13.94.100 to be compliant with updated state regulations. These updates include modifying enforcement measures, clarifying responsibilities of property owners related to runoff, creating a new stormwater inspection process and updating the review process to meet state requirements.

Background

Staff has initiated a Code Text Amendment to amend Section 13.94 of the American Fork City Municipal Code. Utah State Legislative changes in recent legislative sessions have modified enforcement regulations and stormwater requirements. The code changes implement required standardized documents from the state for stormwater regulations. It also clarifies property owner responsibilities to maintain and control runoff water from their properties. Updates to our enforcement procedures and follow up with violations prior to a citation are included to conform to state regulations. It also reduces some of the conditions when a land disturbance permit is required.

Potential Motions – Code Text Amendment

Approval

Madame Chair, I move to recommend approval for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations and providing an effective date for the ordinance.

Denial

Madame Chair, I move to recommend denial for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations.

Table

Madame Chair, I move to table action for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations, and instruct staff to.....

Sec 13.94.090 Enforcement

A. Enforcement authority. The city storm drain inspector shall have the authority to issue corrective action notices, notices of violation, and stop work orders and to impose the civil penalties provided in this section.

With the approval of the storm water pollution prevention plan and the issuance of a land disturbance permit, the city storm drain inspector shall be permitted to enter and inspect facilities subject to this chapter at all reasonable times and as often as necessary to determine compliance. Failure to comply with the terms of this chapter may result in punitive actions by American Fork City pursuant to [Chapter Section 13.94.090\(2\) of this chapter.](#)

B. Notification of violation.

Except as provided for in subsection C., the City may take the following action when any permittee or other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder.

1. Corrective action notice. Whenever the city storm drain inspector finds that any permittee or any other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder, the city storm drain inspector may serve upon such person a corrective action notice. Within seven days from the issuance of the corrective action notice, the site must be brought into full compliance with the storm water pollution prevention plan (SWPPP). Failure to comply with the corrective action notice within seven days will result in the issuance of a notice of violation. Additionally, the site operator will be subject to fines and penalties as specified in Section 13.94.100.

2. Notice of violation. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or a permit or a corrective action notice, he may issue an order to the violator directing that, following a specified time period, best management practices (BMPs) be installed or procedures implemented and properly operated. Failure to comply with the notice of violation by the site operator may result in additional fines and issuance of a stop work order.

3. Stop work orders. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or any permit or order issued hereunder, the city storm drain inspector may issue a stop work order for all such violations and direct those persons in noncompliance to:

a. Comply forthwith; or

b. Take such appropriate remedial or preventative action as may be needed to properly address a continuing or threatened violation, including halting operating and terminating the discharge.

C. E. Notice of violation – General Construction Permit Impacting Greater than One Acre or Part of Common Area of Development.

For any General Construction Permit that disturbs an acre or more or that disturbs less than an acre but is part of a common plan of development or sale, the following shall apply to any violation.

1. American Fork City:

- a. shall notify the permittee, in writing, of a violation; a notice of violation from the City shall state noncompliance and actions necessary to come into compliance will be given to responsible person.
- b. shall provide the permittee a reasonable time of at least 24 hours to correct the violation; and
- c. may perform an inspection to verify that the violation is corrected.

2. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

- a. shall notify the permittee, in writing, that the violation has not been corrected;
- b. may impose a fine if the permittee does not correct the specific violation within additional one business day; and
- c. may perform an inspection to verify that the permittee corrected the specific violation.

3. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

- a. shall notify the permittee, in writing, that the violation has not been corrected; and
- b. may impose an administrative fine for each occurrence as follows:
 - (i) \$500 per occurrence for working without an approved storm water permit;
 - (ii) \$300 per occurrence for tracking mud on road;
 - (iii) \$250 per occurrence for failure to clean up or report spills;
 - (iv) \$100 per occurrence for failure to conduct storm water inspections;

- (v) \$100 per occurrence for failure to maintain storm water records; and
- (vi) \$500 per site, per occurrence, for failure to use general best management practices, as determined by the City; and

5. may impose the administrative fine:

- a. for each business day the specific violation continues beginning on the day
 - (i) after the day on which the City issues the administrative fine; and
 - (ii) within 30 days after the day on which the permittee corrects the violation.

6. The City shall:

a. impose each fine in writing and clearly document the specific violation in the writing; and

b. deposit collected fines into a restricted account for education and outreach under its stormwater program.

7. The City may not impose the process described in Subsection C.3. later than 30 days after the day on which the City provides the required preceding notice of violation or continuing violation.

8. Except as provided in Subsection C.9., the City may not issue an order to stop construction activity for a violation if:

a. a permittee selects the preferred best management practice for the site conditions;

b. a permittee implements and properly uses the preferred best management practices; and

c. the violation results from a deficiency in the preferred best management practice.

9. The City may issue an order to stop construction if the City has a clearly documented reason articulating an immediate threat to water quality.

10. City may recoup the costs incurred to correct a violation the permittee refuses to correct after the enforcement process described in this Subsection C.3. has been exhausted if the City, at the time of clean up, determines there is an imminent threat of a significant harm to water quality or the storm water system.

D. Conflicting standards. Whenever there is a conflict between any standard contained in this chapter and in the BMP manuals adopted by the municipality under this chapter, the strictest standard shall prevail.

E. Violations. Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violated the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the city storm drain inspector, shall be guilty of a Class B misdemeanor.

Sec 13.94.090 Enforcement

A. Enforcement authority. The city storm drain inspector shall have the authority to issue corrective action notices, notices of violation, and stop work orders and to impose the civil penalties provided in this section.

With the approval of the storm water pollution prevention plan and the issuance of a land disturbance permit, the city storm drain inspector shall be permitted to enter and inspect facilities subject to this chapter at all reasonable times and as often as necessary to determine compliance. Failure to comply with the terms of this chapter may result in punitive actions by American Fork City pursuant to this chapter.

B. Notification of violation.

Except as provided for in subsection C., the City may take the following action when any permittee or other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder.

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2. Notice of violation. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or a permit or a corrective action notice, he may issue an order to the violator directing that, following a specified time period, best management practices (BMPs) be installed or procedures implemented and properly operated. Failure to comply with the notice of violation by the site operator may result in additional fines and issuance of a stop work order.

3. Stop work orders. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or any permit or order issued hereunder, the city storm drain inspector may issue a stop work order for all such violations and direct those persons in noncompliance to:

- a. Comply forthwith; or

- b. Take such appropriate remedial or preventative action as may be needed to properly address a continuing or threatened violation, including halting operating and terminating the discharge.
- C. Notice of violation – General Construction Permit Impacting Greater than One Acre or Part of Common Area of Development.

For any General Construction Permit that disturbs an acre or more or that disturbs less than an acre but is part of a common plan of development or sale, the following shall apply to any violation.

1. American Fork City:
 - a. shall notify the permittee, in writing, of a violation; a notice of violation from the City shall state noncompliance and actions necessary to come into compliance will be given to responsible person.
 - b. shall provide the permittee a reasonable time of at least 24 hours to correct the violation; and
 - c. may perform an inspection to verify that the violation is corrected.
2. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:
 - a. shall notify the permittee, in writing, that the violation has not been corrected;
 - b. may impose a fine if the permittee does not correct the specific violation within additional one business day; and
 - c. may perform an inspection to verify that the permittee corrected the specific violation.
3. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:
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 - b. may impose an administrative fine for each occurrence as follows:
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 - (iv) \$100 per occurrence for failure to conduct storm water inspections;

- (v) \$100 per occurrence for failure to maintain storm water records; and
- (vi) \$500 per site, per occurrence, for failure to use general best management practices, as determined by the City; and

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- a. for each business day the specific violation continues beginning on the day
 - (i) after the day on which the City issues the administrative fine; and
 - (ii) within 30 days after the day on which the permittee corrects the violation.

6. The City shall:

a. impose each fine in writing and clearly document the specific violation in the writing; and

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7. The City may not impose the process described in Subsection C.3. later than 30 days after the day on which the City provides the required preceding notice of violation or continuing violation.

8. Except as provided in Subsection C.9., the City may not issue an order to stop construction activity for a violation if:

- a. a permittee selects the preferred best management practice for the site conditions;
- b. a permittee implements and properly uses the preferred best management practices; and
- c. the violation results from a deficiency in the preferred best management practice.

9. The City may issue an order to stop construction if the City has a clearly documented reason articulating an immediate threat to water quality.

10. City may recoup the costs incurred to correct a violation the permittee refuses to correct after the enforcement process described in this Subsection C.3. has been exhausted if the City, at the time of clean up, determines there is an imminent threat of a significant harm to water quality or the storm water system.

D. Conflicting standards. Whenever there is a conflict between any standard contained in this chapter and in the BMP manuals adopted by the municipality under this chapter, the strictest standard shall prevail.

E. Violations. Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violated the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the city storm drain inspector, shall be guilty of a Class B misdemeanor.

Sec 13.94.100 Penalties

- A. Penalties. Under the authority provided in the ~~municipality declares~~ Utah Code chapter and except as provided for in Sec 13.94.090.B, the City declares that any person violating the provisions of this chapter, may be assessed a Class B misdemeanor by the city public works department and fine of five hundred dollars per day for each day of violation. Each day of violation shall constitute a separate violation.
- B. Measuring civil penalties. In assessing a civil penalty, the city public works department may consider:
 1. The harm done to the public health or the environment;
 2. Whether the civil penalty imposed will be a substantial economic deterrent to the illegal activity;
 3. The economic benefit gained by the violator;
 4. The amount of effort put forth by the violator to remedy this violation;
 5. Any unusual or extraordinary enforcement costs incurred by the municipality;
 6. The amount of penalty established by ordinance or resolution for specific categories of violations; and
 7. Any equities of the situation which outweigh the benefits of imposing any penalty or damage assessment.
- C. Recovery of damages and costs. In addition to the civil penalty in subsection (2) above, the municipality may recover:
 1. All damages proximately caused by the violator to the municipality, which may include any reasonable expenses incurred in investigating violations of, and enforcing compliance with, this chapter; or any other actual damages caused by the violation.
 2. The costs of the municipality's maintenance of storm water facilities when the user of such facilities fails to maintain them as required by this chapter.
- D. Other remedies. The municipality may bring legal action to enjoin the continuing violation of this chapter; and the existence of any other remedy, at law or equity, shall be no defense to any such actions. In addition to the penalties established in this chapter, the city may refuse to renew business licenses or other permits while such a violation continues.

E. Remedies cumulative. The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one or more of the remedies set forth herein has been sought or granted.

(Ord. No. 2015-05-32, § 10, 5-26-2015)

Sec 13.94.100 Penalties

- A. **Penalties.** Under the authority provided in the Utah Code chapter and except as provided for in Sec 13.94.090.B, the City declares that any person violating the provisions of this chapter may be assessed a Class B misdemeanor by the city public works department and fine of five hundred dollars per day for each day of violation. Each day of violation shall constitute a separate violation.
- B. **Measuring civil penalties.** In assessing a civil penalty, the city public works department may consider:
 - 1. The harm done to the public health or the environment;
 - 2. Whether the civil penalty imposed will be a substantial economic deterrent to the illegal activity;
 - 3. The economic benefit gained by the violator;
 - 4. The amount of effort put forth by the violator to remedy this violation;
 - 5. Any unusual or extraordinary enforcement costs incurred by the municipality;
 - 6. The amount of penalty established by ordinance or resolution for specific categories of violations; and
 - 7. Any equities of the situation which outweigh the benefits of imposing any penalty or damage assessment.
- C. **Recovery of damages and costs.** In addition to the civil penalty in subsection (2) above, the municipality may recover:
 - 1. All damages proximately caused by the violator to the municipality, which may include any reasonable expenses incurred in investigating violations of, and enforcing compliance with, this chapter; or any other actual damages caused by the violation.
 - 2. The costs of the municipality's maintenance of storm water facilities when the user of such facilities fails to maintain them as required by this chapter.
- D. **Other remedies.** The municipality may bring legal action to enjoin the continuing violation of this chapter; and the existence of any other remedy, at law or equity, shall be no defense to any such actions. In addition to the penalties established in this chapter, the city may refuse to renew business licenses or other permits while such a violation continues.

E. Remedies cumulative. The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one or more of the remedies set forth herein has been sought or granted.

(Ord. No. 2015-05-32, § 10, 5-26-2015)

Agenda Topic

Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Boat Harbor Pump Station, located at approximately 1611 S 100 W (Harbor Road), American Fork City. On approximately 31.71 acres, the property proposes to change from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation.

BACKGROUND INFORMATION		
Location:	1611 S 100 W	
Project Type:	Land Use Map Amendment	
Applicants:	TSSD	
Existing Land Use:	Resort	
Proposed Land Use:	Institutional Lands, Schools and Public Facilities	
Surrounding Land Use:	North	Resort
	South	Utah Lake
	East	Shoreline Protection
	West	Resort
Existing Zoning:	Unincorporated Territory	
Proposed Zoning:	N/A	
Surrounding Zoning:	North	M-1
	South	Utah Lake
	East	PI-1; M-1
	West	M-1

Background

The applicant has applied for a Land Use Map Amendment for the property located in the area of 1611 S 100 W. The proposal looks to change the property from the Resort land use designation to Institutional Lands, Schools, and Public Facilities land use and to provide a pump station for the property. This Land Use Map Amendment is going forward to the Planning Commission for its recommendation prior to annexation of the overall property.

Chapter 17.11 Amendments

This development code, and the zoning map adopted as a part thereof, may be amended from time to time by the city council, but all proposed amendments must first be submitted to the planning commission for its recommendation. The procedure to be followed in amending the code and map shall be as set forth below.

Sec 17.11.101 Written Petition Required - City Initiated Amendments Permitted

Any person seeking an amendment of the development code or zoning map shall submit to the planning commission a written petition designating the change desired and the reasons therefor, and shall pay a nonrefundable filing fee in an amount established by resolution of the city council. Amendments to the code and map may also be initiated by action of the planning commission or upon request of the city council.

Sec 17.11.102 Planning Commission To Make Recommendations

Upon receipt of the petition the planning commission shall consider the request and, subject to completion of a public hearing on the matter before the planning commission with public notice given in accordance with the provisions of Section 17.11.103, shall submit its recommendations with respect thereto to the city council.

Sec 17.11.103 Planning Commission To Conduct Public Hearing Before Recommending Amendments - Notice Of Hearing To Be Provided

1. No ordinance approving an amendment to the official zone map or text of the development code, or approving a large scale development project may be enacted by the city council unless and until a public hearing relating to the proposed ordinance shall have been conducted by the planning commission.
2. Notice of the date, time and place of the first public hearing regarding a proposed amendment to the official zone map, text of the development code or ordinance of approval of a large scale development project shall be given at least 10 calendar days before the public hearing as follows:
 1. Published on the Utah Public Notice Website;
 2. Posted in at least three public locations within the city, or on the city's official website; and
 3. Mailed to each affected entity.

Sec 17.11.104 Amendments To Be Adopted By Council - Notice Required

1. The city council, at a public meeting called for the purpose, shall consider each proposed amendment to the official zone map, text of the development code, or ordinance of approval for a large scale development recommended to it by the planning commission and may act to adopt or reject the amendment or ordinance of approval as recommended by the planning commission or adopt the amendment after making any revision the city council considers appropriate.
2. Notice of the public meeting at which the city council will consider a proposed amendment or ordinance of approval shall be given at least twenty-four hours before the meeting, which notice shall, as a minimum, be posted in at least three public places within the city; or on the city's official website.

Sec 17.11.105 Amendments To Be Adopted By Ordinance - Public Notice Of Adoption

All amendments to the code and map shall be adopted, published and recorded in accordance with the applicable provisions of UCA 10-3-701 et seq.

17.11.200 Intent With Respect To Amendments

All amendments to this code and zone map shall be made in accordance with the general plan of land use. It is hereby declared to be public policy that this code shall not be amended unless it can be shown that changed or changing conditions make the proposed amendment reasonably necessary to the promotion of the purposes of this code.

Findings of Fact

1. The Land Use Map Amendment MEETS the requirements of Section 17.11.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.

2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Potential Motions – Land Use Map Amendment

Approval

I move to recommend approval for the proposed Land Use Map Amendment, located at approximately 1611 S 100 W, American Fork City, from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation, subject to any conditions found in the staff report.

Denial

I move to recommend denial for the proposed Land Use Map Amendment, located at approximately 1611 S 100 W, American Fork City, from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation

Table

I move to table action for the proposed Land Use Map Amendment, located at approximately 1611 S 100 W, American Fork City, from the Resort land use designation to the Institutional Lands, Schools and Public Facilities land use designation, and instruct staff/developer to.....



Next Step:
Proceed to Planning Commission
06/18/2025

	American Fork City Development Review Committee
	Planning and Zoning Reviewed copperman 05/06/2025
	Engineering Division Reviewed rburkhill 05/07/2025

154 E. 14075 S.
Draper, Utah 84020
801-495-2224

No comments

No comments

American Fork City – General Plan Amendment

Parcel: 13:076:0052

Applicant: Timpanogos Special Service District

Compatibility Statement

Land Use Change Justification – Supporting Sewer Infrastructure and Community Growth

To accommodate anticipated community growth and address long-term sewer treatment needs, additional pumping capacity is required. The selected location is essential due to the limited availability of land near existing sewer main lines and the strategic importance of proximity to both current infrastructure and future development areas.

The existing pump station located at 1500 South and 100 West is currently being replaced but cannot be expanded further to meet future capacity needs. Therefore, this site presents the only feasible alternative based on the following factors:

- Strategic Location:** The site is located near existing sewer mains that run along the shoreline, ensuring efficient connectivity.
- Proximity to Treatment Facilities:** Close access to the treatment plant supports operational efficiency and reduces infrastructure costs.
- Alignment with Future Development:** The area is well positioned to serve the planned future growth within the American Fork service area. The current sewer design anticipates flows to the existing, undersized pump station, which cannot accommodate additional demand beyond its current design capacity.
- Land Use Compatibility:** Public facility use serves as an effective land use transition between nearby industrial and resort zones.
- Environmental Integration:** Approximately five acres will be developed for the pump station and two acres for roadway. The remaining acreage will be used for wetland mitigation and restoration, aligning with shoreline protection goals and compatible with adjacent resort zoning.
- Transportation Connectivity:** The project will facilitate the completion of the roadway connection between 6000 West and 1700 South, supporting future access and circulation.

General Description of Proposed Changes:

This application requests a land use designation change for the parcel outlined in red, from Resort to Institutional Lands, Schools, and Public Facilities. The subject site is currently undeveloped and was historically used for agriculture. Sections closer to Utah Lake exhibit some wetland habitats. No structures currently exist on the property.

The proposed future use of the site includes the development of a public sewer pumping facility to support planned growth and development within American Fork City. The project will include approximately 2 acres of new roadway to connect 6000 West to 1700 South, and 5 acres dedicated to the public facility and associated parking. Additionally, a 0.50-acre area is planned for a trail connection to support community access and connectivity.

The remaining 24.14 acres of the total 31.64-acre site will remain undeveloped, and be converted to a wetland mitigation project under Army Corps of Engineers permitting for this and other District projects.



American Fork City
Development Review Committee

Planning and Zoning
Reviewed
copperman 05/06/2025

Engineering Division
Reviewed
rburkhill 05/07/2025

No comments

No comments

LEGEND

Project Parcel (13:076:0052)

Fault Lines

National Wetland Inventory (NWI):

Potential Freshwater Emergent Wetland

Potential Freshwater Pond

Utah Lake

Potential Waterways

Soils:

CHIPMAN SILTY CLAY LOAM

CHIPMAN SILTY CLAY LOAM, MODERATELY DEEP WATER TABLE

CHIPMAN SILTY CLAY LOAM, MODERATELY SALINE

LOGAN SILTY CLAY LOAM

MCBETH SILT LOAM

MCBETH SILT LOAM, MODERATELY SALINE

STEED GRAVELLY SANDY LOAM

N 6000

W 6400 N

W 6400 N

N 6000 West St

American Fork
Boat Harbor

Boat Harbor

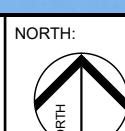
Utah Lake

Figure created by: Cara Glabau
on 02/20/2025
Imagery: Hexagon 2024



TIMPANOOGS SPECIAL SERVICES DISTRICT
BOAT HARBOR
PUMP STATION

EXISTING CONDITIONS



SCALE:
0 200 400
Feet

FIGURE NO.
2



American Fork City
Development Review Committee

Planning and Zoning
Reviewed
copperman 05/06/2025

Engineering Division
Reviewed
rburkhill 05/07/2025

No comments

N 6000 West St

No comments

LEGEND

Project Parcel (13:076:0052)

Parcels

Land Use

Design Industrial

Institutional Lands, Schools and Public Facilities

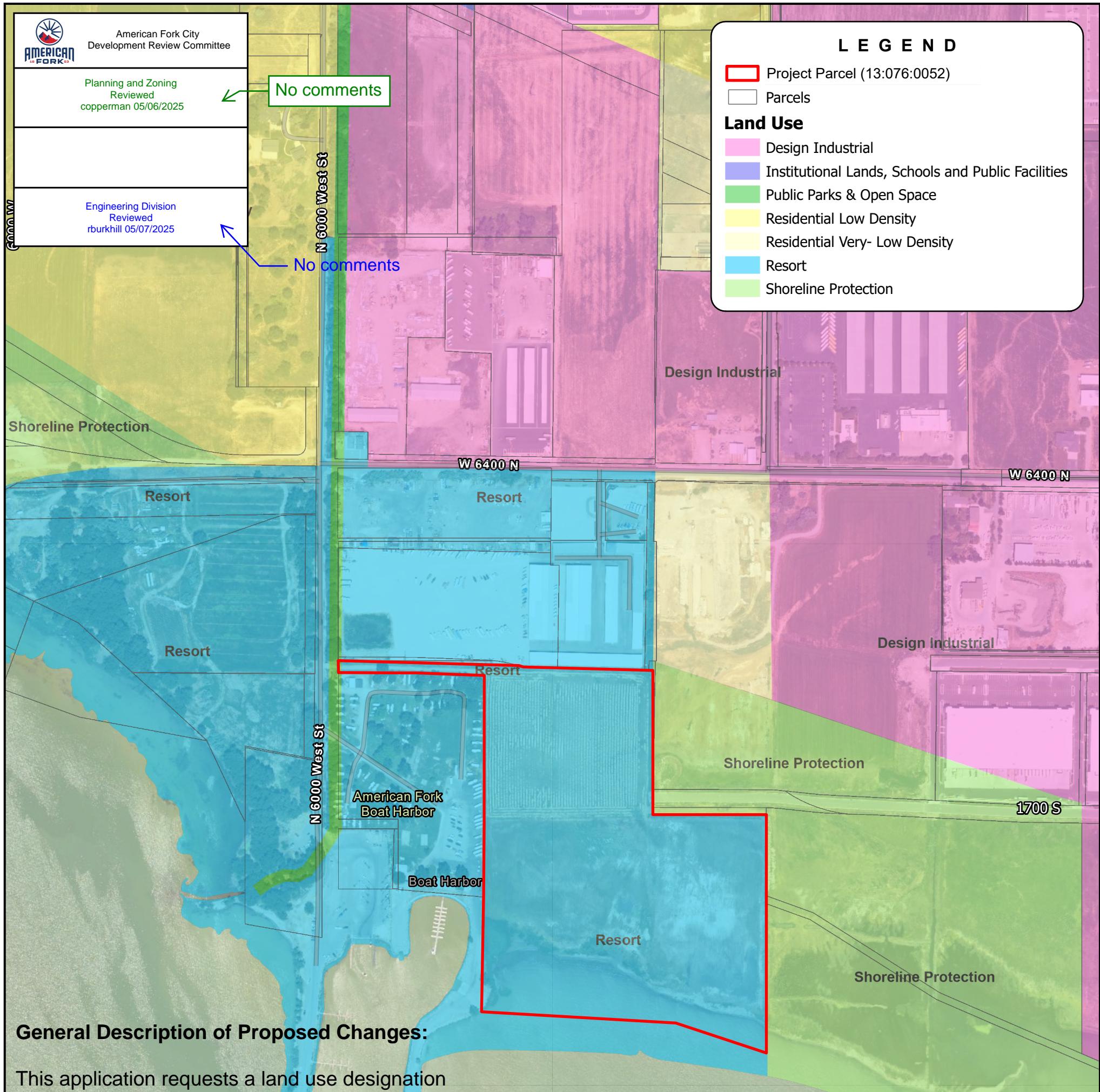
Public Parks & Open Space

Residential Low Density

Residential Very- Low Density

Resort

Shoreline Protection



General Description of Proposed Changes:

This application requests a land use designation change for the parcel outlined in red, from Resort to Institutional Lands, Schools, and Public Facilities.

The subject site is currently undeveloped and was historically used for agriculture. Sections closer to Utah Lake exhibit some wetland habitats. No structures currently exist on the property.

The proposed future use of the site includes the development of a public sewer pumping facility to support planned growth and development within American Fork City. The project will include approximately 2 acres of new roadway to connect 6000 West to 1700 South, and 5 acres dedicated to the public facility and associated parking. Additionally, a 0.50-acre area is planned for a trail connection to support community access and connectivity. 3

The remaining 24.14 acres of the total 31.64-acre site will remain undeveloped, and be converted to a wetland mitigation project under Army Corps of Engineers permitting for this and other District projects.

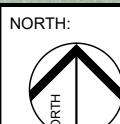
Utah Lake

Figure created by: Cara Glabau
on 02/20/2025
Imagery: Hexagon 2024



TIMPANOGOS SPECIAL SERVICES DISTRICT
BOAT HARBOR
PUMP STATION

GENERAL
PLAN



SCALE:
0 200 400
Feet

FIGURE NO.
3



American Fork City
Development Review Committee

Planning and Zoning
Reviewed
copperman 05/06/2025

No comments

Engineering Division
Reviewed
rburkhill 05/07/2025

No comments

Alpine Country
Club

Cedar Hills Golf

LEGEND

Project Parcel (13:076:0052)

American Fork City

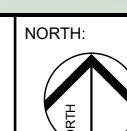


Figure created by: Cara Glabau
on 02/20/2025
Imagery: Hexagon 2024



TIMPANOGOS SPECIAL SERVICES DISTRICT
BOAT HARBOR
PUMP STATION

SITE LOCATION



SCALE:
0 2,000 4,000
Feet

FIGURE NO.
1A



American Fork City Development Review Committee

Planning and Zoning
Reviewed
copperman 05/06/2025

Engineering Division
Reviewed
rburkhill 05/07/2025

No comments

— No comments

LEGEND

Project Parcel (13:076:0052)

Utah Lake

American Fork Boat Harbor

Utah Lake

Figure created by: Cara Glabau
on 02/20/2025
Imagery: Hexagon 2024



**TIMPANOGOS SPECIAL SERVICES DISTRICT
BOAT HARBOR
PUMP STATION**

VICINITY MAP



SCALE:
0 500 1,000
Feet

FIGURE NO.
1B

Agenda Topic

Review and action on an application for a Commercial Site Plan, known as 77 W Main Sign (App #2), located at 77 W Main Street, American Fork City. The Commercial Site Plan will be on approximately .32 acres and will be in the Central Commercial (CC-1) Zone.

BACKGROUND INFORMATION		
Location:	77 W Main Street	
Project Type:	Site Plan	
Applicants:	Breeze Stringham	
Existing Land Use:	General Commercial	
Proposed Land Use:	N/A	
Surrounding Land Use:	North	General Commercial
	South	General Commercial
	East	General Commercial
	West	General Commercial
Existing Zoning:	CC-1	
Proposed Zoning:	N/A	
Surrounding Zoning:	North	CC-1
	South	CC-1
	East	CC-1
	West	CC-1

Background

The applicant has applied for a Commercial Site Plan for an existing Billboard Sign to be relocated to the adjacent property to the west, increasing the height from a previous submittal. Per Utah State Code 10-9a-513, Outdoor Advertising Structures are allowed to be relocated on the existing property or relocated to within 5,280 feet of the existing sign. Additionally, State Code allows for new signs to be built to the existing sign height up to 45'. The site plan meets these requirements.

A site plan is required, so the City is able to review the new site for any issues that may arise in the proposed new location or height.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or

occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

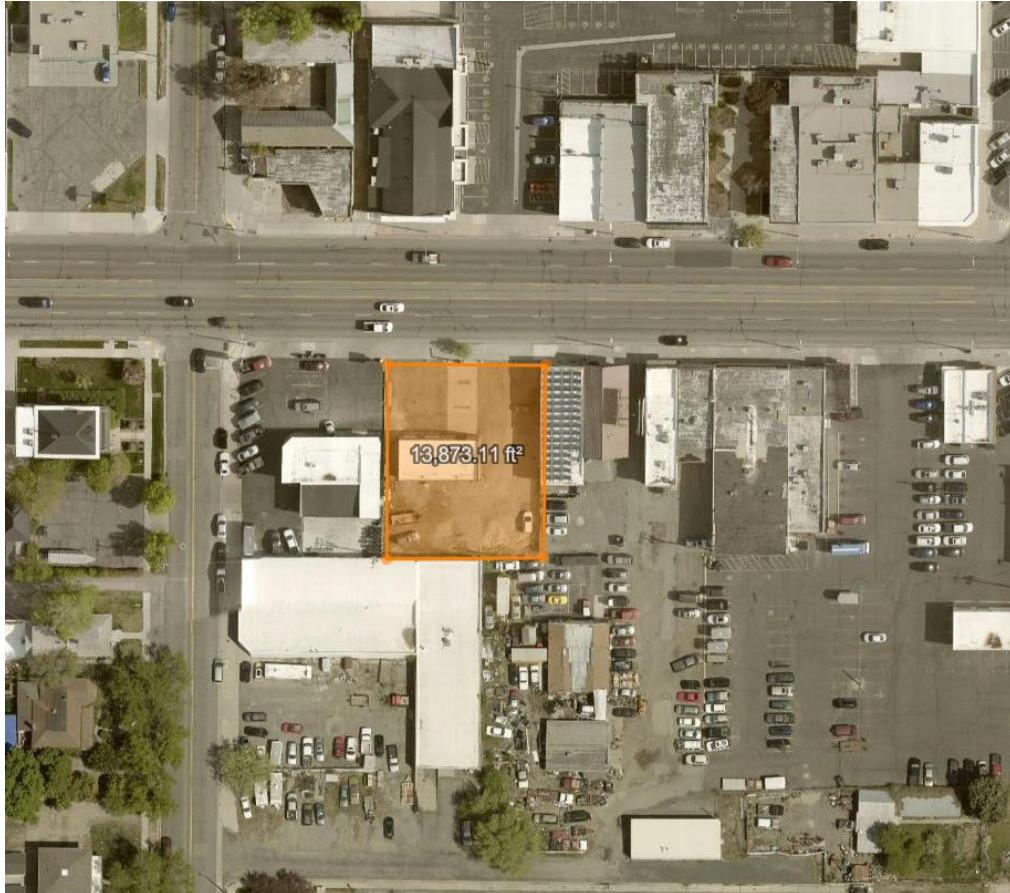
Project Conditions of Approval

1. N/A

Findings of Fact

1. The Commercial Site Plan meets the requirements of Section 17.6.101.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

- 1. Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
- 2. Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.

3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan meets the requirements of Section 17.6.101. Staff recommends APPROVING the application.

Potential Motions – Commercial Site Plan

Approval

I move to approve the proposed Commercial Site Plan, located at 77 W Main Street, American Fork City, in the Central Commercial (CC-1) Zone, subject to any conditions found in the staff report.



Planning Commission Staff Report
Meeting Date: June 18, 2025

Denial

I move to deny the proposed Commercial Site Plan, located at 77 W Main Street, American Fork City, in the Central Commercial (CC-1) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at 77 W Main Street, American Fork City, in the Central Commercial (CC-1) Zone and instruct staff/developer to.....

COBO OF SURVEY

LOCATED IN BLOCK 10 1/4 AT "A" AMERICAN FARM CITY BLOCK SURVEY
30 LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 23, TOWNSHIP 5 SOUTH,
RANGE 1 EAST. SALT LAKE BASE AND MERIDIAN.
AMERICAN FARM, UTAH COUNTY, UTAH

ASIS OF BEARING
AST 726.92 FT (M)

MAIN STREET
LAW LIBRARY

Proposed Sign
2'x24' Back-to-Back
-Pole
5' Overall Height
updated PUE

Seagan Outdoor Site Plan
Proposed Off-Premise Sign:
Updated PUE
osa Properties LC 77 W Series
7 West Main Street
arcel 020230017
2'x24' Back-to-Back Bi-Pole
5' Overall Height

American Fork City Development Review	
 Sevier State Drain Division Reviewed already 05/22/2025	 State of Utah Division of Water Rights Reviewed already 05/22/2025
 EGLUD Reviewed already 05/28/2025	 Planning and Zoning Reviewed Area Plan 05/28/2025
 Public Infrastructure Reviewed already 05/28/2025	 Engineering Division Reviewed already 05/28/2025
 Communications Reviewed already 05/27/2025	 Streets Division Reviewed already 05/28/2025

Next Step:

Proceed to Planning Commission
06/18/2025

No comments



WILDERNESS MAP (NOT TO SCALE)
AMERICAN FORK, UTAH

Agenda Topic

Review and action on an application for a Commercial Site Plan, known as T-Mobile Upgrade (880629-685419), located at 1084 E Pacific Drive, American Fork City. The Commercial Site Plan will be on approximately .97 acres and will be in the Planned Commercial (GC-2) Zone.

BACKGROUND INFORMATION		
Location:	1084 E Pacific Drive	
Project Type:	Commercial Site Plan	
Applicants:	Chyna Gudgel - T-Mobile Agent	
Existing Land Use:	Design Commercial	
Proposed Land Use:	N/A	
Surrounding Land Use:	North	Design Commercial
	South	Design Commercial
	East	Pleasant Grove Territory
	West	Design Commercial
Existing Zoning:	GC-2	
Proposed Zoning:	N/A	
Surrounding Zoning:	North	GC-2; Unincorporated Territory
	South	GC-2
	East	Pleasant Grove Territory
	West	GC-2

Background

The applicant has applied for a Commercial Site Plan for the property at 1084 E Pacific Drive. The proposal looks to provide upgrades to an existing monopole tower for T-Mobile's broadband connectivity and capacity to the area.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

1. Address all outstanding DRC comments

Findings of Fact

1. The Commercial Site Plan MEETS the requirements of Section 17.6.101.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
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11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Commercial Site Plan

Approval

I move to approve the proposed Commercial Site Plan, located at located at 1084 E Pacific Drive, American Fork City, in the Planned Commercial (GC-2) Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Commercial Site Plan, located at located at 1084 E Pacific Drive, American Fork City, in the Planned Commercial (GC-2) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at located at 1084 E Pacific Drive, American Fork City, in the Planned Commercial (GC-2) Zone, and instruct staff/developer to.....



T-MOBILE SITE NUMBER: SL08046A
T-MOBILE SITE NAME: CROWN PACIFIC DRIVE AF (SL08070A)
T-MOBILE PROJECT: ANCHOR
RAN TEMPLATE: 67D5D998ME 6160

BUSINESS UNIT #: 880629
SITE ADDRESS: 1084 PACIFIC DRIVE, AMERICAN FORK, UT 84003
COUNTY: UTAH
SITE TYPE: MONOPOLE
TOWER HEIGHT: 60'-0"



421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

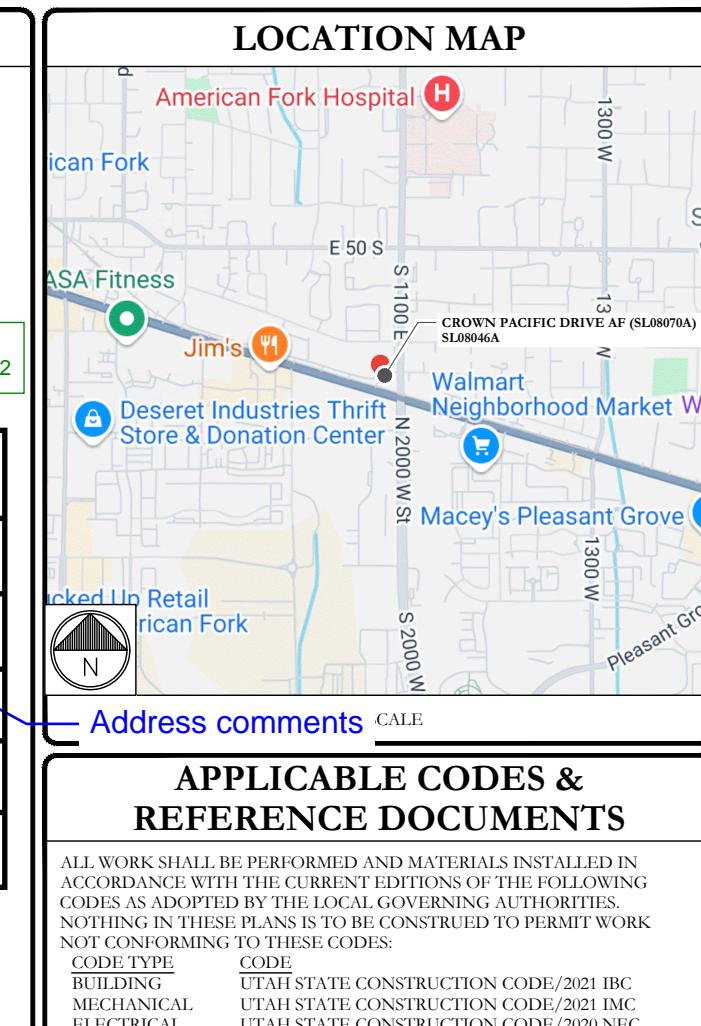
SITE INFORMATION	
CROWN CASTLE USA INC. SITE NAME: BU NUMBER:	RLK PROPERTIES 880629
TOWER OWNER:	CROWN CASTLE 2000 CORPORATE DRIVE CANONSBURG, PA 15317
CARRIER/APPLICANT:	T-MOBILE 1200 CONCORD AVENUE SUITE 500 CONCORD, CA 94520
SITE ADDRESS: COUNTY:	1084 PACIFIC DRIVE AMERICAN FORK, UT 84003 UTAH
LATITUDE: LONGITUDE: LAT/LONG TYPE: GROUND ELEVATION:	40° 22' 14.85" / 40.370792° N -111° 46' 12.53" / 111.770147° W NAD83 4581' ± SE
AREA OF CONSTRUCTION: CURRENT ZONING: MAP/PARCEL #:	EXISTING GC-2 PLANNED COMMERCIAL ZONE 513390004
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: A.D.A. COMPLIANCE:	U IIB FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
PROPERTY OWNER:	DEEP CREEK PROPERTIES INC 1084 E STATE RD SUITE R AMERICAN FORK, UT 84003
JURISDICTION:	CITY OF AMERICAN FORK, UT 275 E 200 NORTH AMERICAN FORK, UT 84003
ELECTRIC PROVIDER:	ROCKY MOUNTAIN POWER (877) 508-5088
TELCO PROVIDER:	NV ENERGY (775) 834-4444

DRAWING INDEX	
 SHEET #	 SHEET DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES
C-1.1	SITE SURVEY
C-1.2	SITE SURVEY
C-1.3	SITE SURVEY
C-1.4	COMPOUND PLAN
C-1.5	EXISTING EQUIPMENT PLAN
C-2	TOWER ELEVATIONS
C-3	ANTENNA PLANS
C-4	FINAL EQUIPMENT SCHEDULE
C-5.1	GROUND EQUIPMENT DETAILS & SPECIFICATIONS
C-5.2	TOWER EQUIPMENT DETAILS & SPECIFICATIONS
G-1	TYPICAL GROUNDING SCHEMATIC
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS

PROJECT DESCRIPTION	
THE PURPOSE OF THIS PROJECT IS TO ENHANCE BROADBAND CONNECTIVITY AND CAPACITY TO THE EXISTING ELIGIBLE WIRELESS FACILITY.	
TOWER SCOPE OF WORK:	
<ul style="list-style-type: none"> • REMOVE (3) CELLMAX - CMA-BDH/6521/E0-6/RET/TB05 ANTENNAS • REMOVE (3) ERICSSON - 4415 B25 RADIOS • INSTALL (3) ERICSSON - AIR6419 B41 ANTENNAS • INSTALL (3) ERICSSON - 4460 B25+B66 RADIOS • INSTALL (2) HYBRID TRUNK 6/24 4AWG CABLE 	
GROUND SCOPE OF WORK:	
<ul style="list-style-type: none"> • INSTALL (1) RP 6651 INTO 6160 CABINET 	
	See comments on sheets C1.1 and C1.2
American Fork City Development Review	
Public Infrastructure Reviewed dhoward 06/02/2025	Planning and Zoning Reviewed coperman 06/03/2025
EC/LID Reviewed tmezeen 06/03/2025	Fire Department Reviewed M. Sacco 06/04/2025
Sewer/Storm Drain Division Reviewed ahardy 06/04/2025	Engineering Division Reviewed rburkhill 06/04/2025
Engineering Division Reviewed ksmith 06/04/2025	Streets Division Reviewed ehyde 06/04/2025
Communications Reviewed MHunsaker 06/03/2025	Water/PI Division Reviewed jbruns 06/03/2025

Next Step:
Proceed to Planning Commission
06/18/2025

Re-Submittal Acknowledgment Statement
The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.
 [Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.
 [Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.
 [Applicant Initial] This is the [Ex: 1st] complete re-submittal of the subdivision constituting the start of the [Same Number] Review Cycle.



APPLICABLE CODES & REFERENCE DOCUMENTS	
CODE TYPE	CODE
BUILDING	UTAH STATE CONSTRUCTION CODE/2021 IBC
MECHANICAL	UTAH STATE CONSTRUCTION CODE/2021 IMC
ELECTRICAL	UTAH STATE CONSTRUCTION CODE/2020 NEC
REFERENCE DOCUMENTS:	
STRUCTURAL ANALYSIS:	CROWN CASTLE DATED: 01/06/2025
MOUNT ANALYSIS:	TELAMON DATED: 12/27/2024
RFDS REVISION:	2 DATED: 11/21/2024
ORDER ID:	685419 REVISION: 1

05/27/25
Exp. 03/31/27

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

PROFESSIONAL ENGINEER
 No. 13527908-2202
 GREGORY J. VAMMAAREN
Gregory J. Vammaaren
 STATE OF UTAH

SHEET NUMBER: T-1 **REVISION:** 3

CROWN CASTLE USA INC. SITE ACTIVITY REQUIREMENTS:

- NOTICE TO PROCEED—NO WORK SHALL COMMENCE PRIOR TO CROWN CASTLE USA INC. WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN CASTLE USA INC. NOC AT 800-788-7011 & THE CROWN CASTLE USA INC. CONSTRUCTION MANAGER.
- "LOOK UP" – CROWN CASTLE USA INC. SAFETY CLIMB REQUIREMENT: THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR CROWN CASTLE USA INC. NOC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
- PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ON SITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
- ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND CROWN CASTLE USA INC. STANDARD CED-STD-10253, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
- ALL SITE WORK TO COMPLY WITH QAS-STD-10068 "INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON CROWN CASTLE USA INC. TOWER SITE," CED-STD-10294 "STANDARD FOR INSTALLATION OF MOUNTS AND APPURTENANCES," AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY CROWN CASTLE USA INC. PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
- ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
- CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, TOWER OWNER, CROWN CASTLE USA INC., AND/OR LOCAL UTILITIES.
- THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
- THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GREENFIELD GROUNDING NOTES:

- ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
- THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
- METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
- EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
- CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
- ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
- ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
- ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
- COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
- ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
- APPROVED ANTI-OXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
- MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- BOND ALL METALLIC OBJECTS WITHIN 6 ft of MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
- GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
- ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
- BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY).

GENERAL NOTES:

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER: T-MOBILE
TOWER OWNER: CROWN CASTLE USA INC.
- THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
- THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
- NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRIORITY OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
- SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CROWN CASTLE.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND CROWN CASTLE PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
- CONTRACTOR IS TO PERFORM A SITE INVESTIGATION AND IS TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF CROWN CASTLE.
- THE CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psi.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90° AT TIME OF PLACEMENT.
- CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
- ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
#4 BARS AND SMALLER.....40 ksi
#5 BARS AND LARGER.....60 ksi
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3"
CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 BARS AND LARGER.....1-1/2"
#5 BARS AND SMALLER.....1-1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
SLAB AND WALLS.....3/4"
BEAMS AND COLUMNS.....1-1/2"
- A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
- CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
- EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT ID'S).
- PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#16 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
- ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC ON STRAIGHTS AND SCHEDULE 80 PVC UNDER ALL TRAFFIC EASEMENTS AND ALL ELBOWS/90s, ABOVE GRADE CONDUIT TO BE SCH 80 PVC OR IMC/RMC CONDUIT. EMT IS ALLOWED AT STUB UP LOCATIONS AND INDOORS ONLY.
- LIQUID-TIGHT FLEXIBLE METAL CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
- WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
- SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
- CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3R (OR BETTER) FOR EXTERIOR LOCATIONS.
- METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
- NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
- THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR CROWN CASTLE USA INC. BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
- INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "T-MOBILE".
- ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.

CONDUCTOR COLOR CODE		
SYSTEM	CONDUCTOR	COLOR
120/240V, 1Ø	A PHASE	BLACK
	B PHASE	RED
	NEUTRAL	WHITE
	GROUND	GREEN
120/208V, 3Ø	A PHASE	BLACK

T Mobile

CC CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

BU #: **880629**

CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

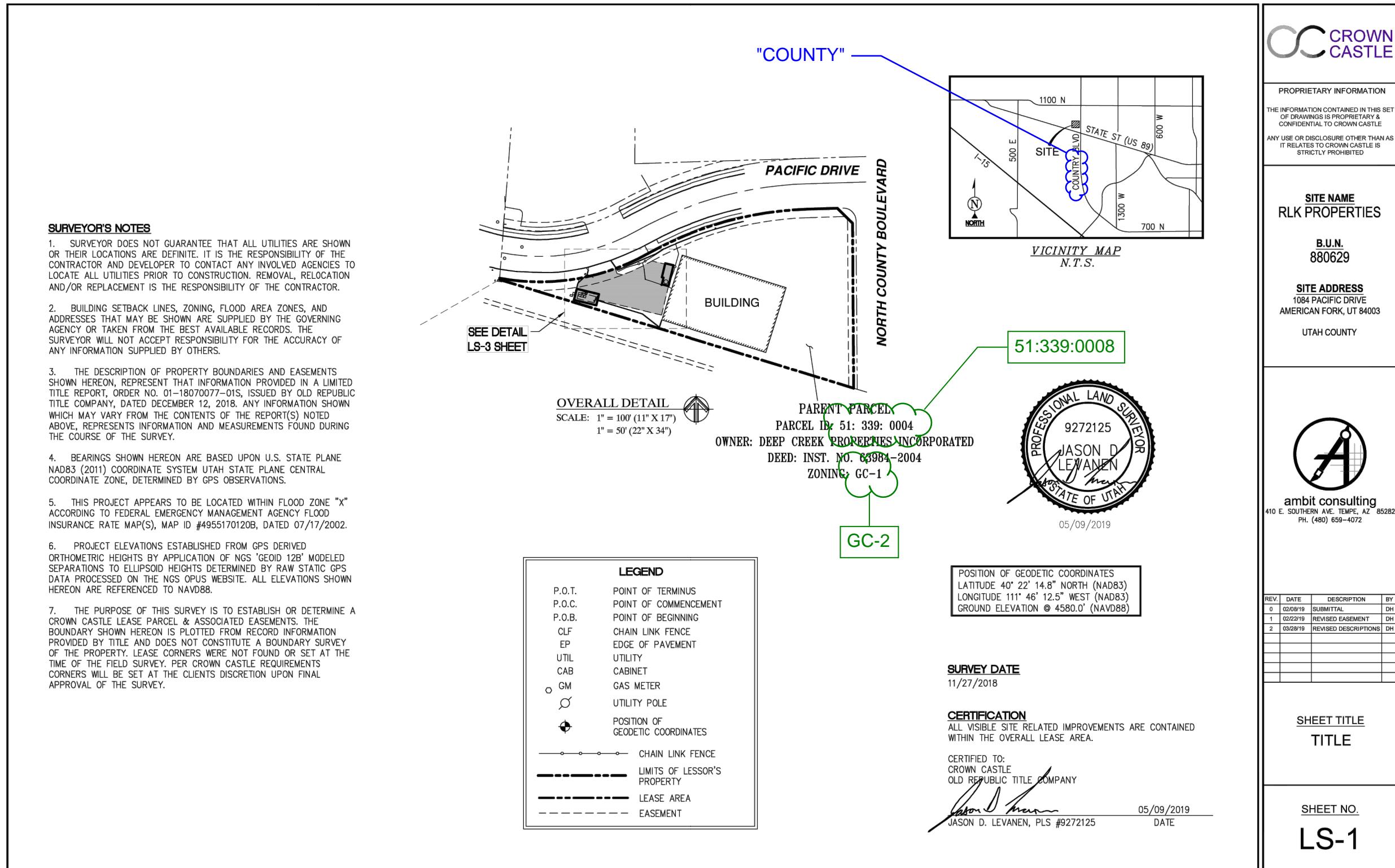
EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES/QA
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1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK

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SHEET NUMBER: **C-1.1** REVISION: **3**



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**CC CROWN
CASTLE**

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
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BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

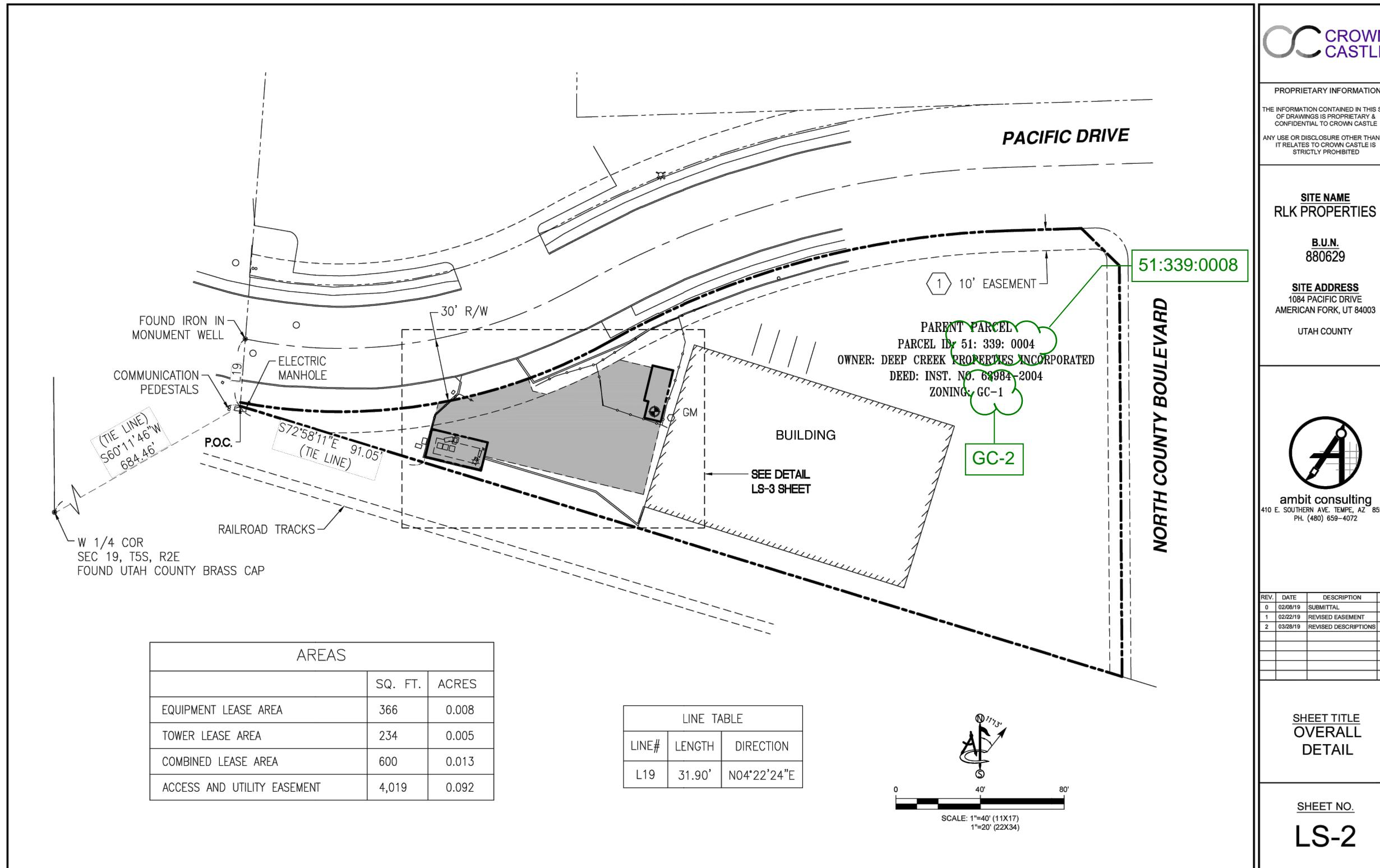
EXISTING 60'-0"
MONOPOLE

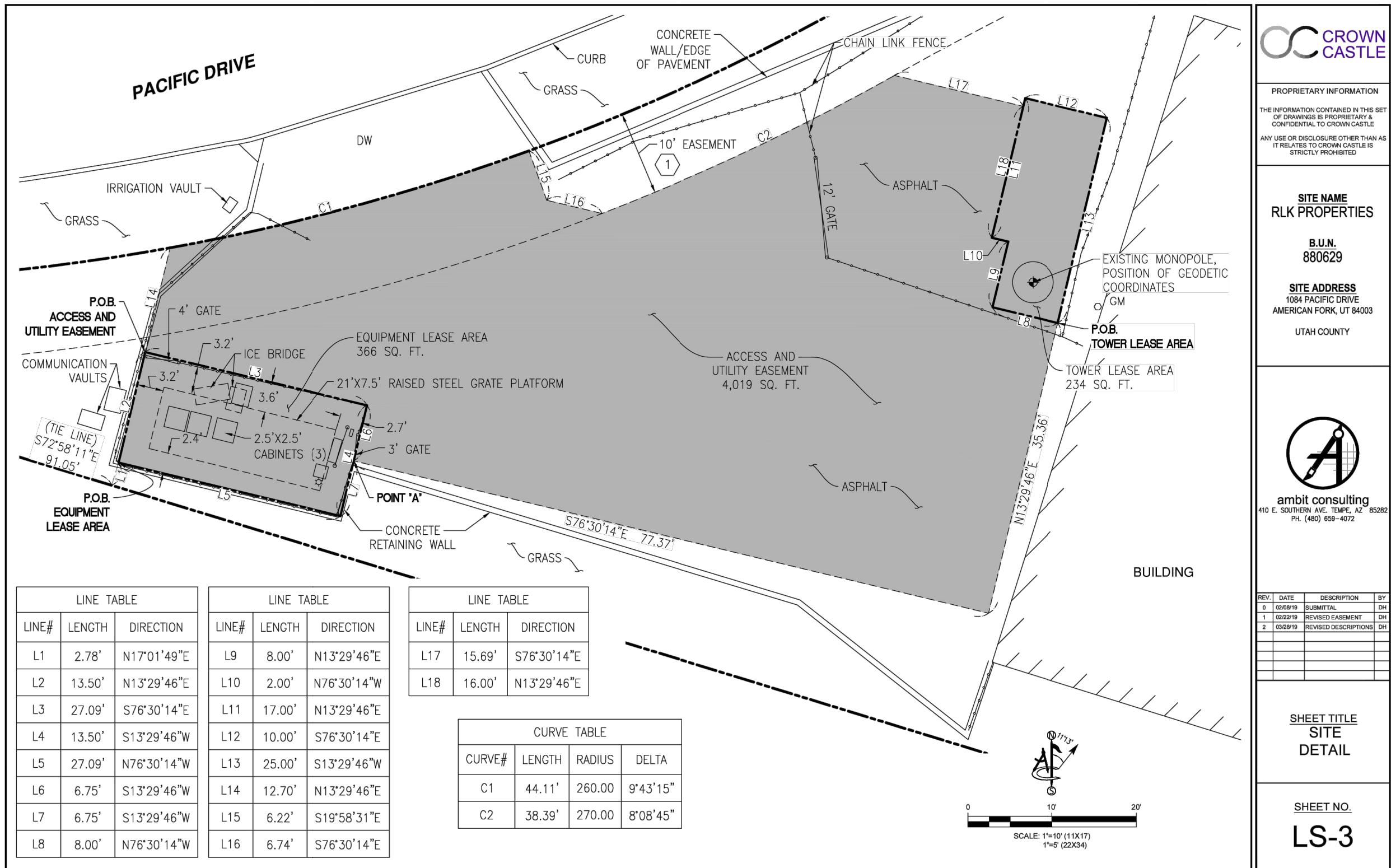
ISSUED FOR:

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1	03/05/25	DMW	CONSTRUCTION	MCK
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3	05/27/25	DMW	CONSTRUCTION	MCK

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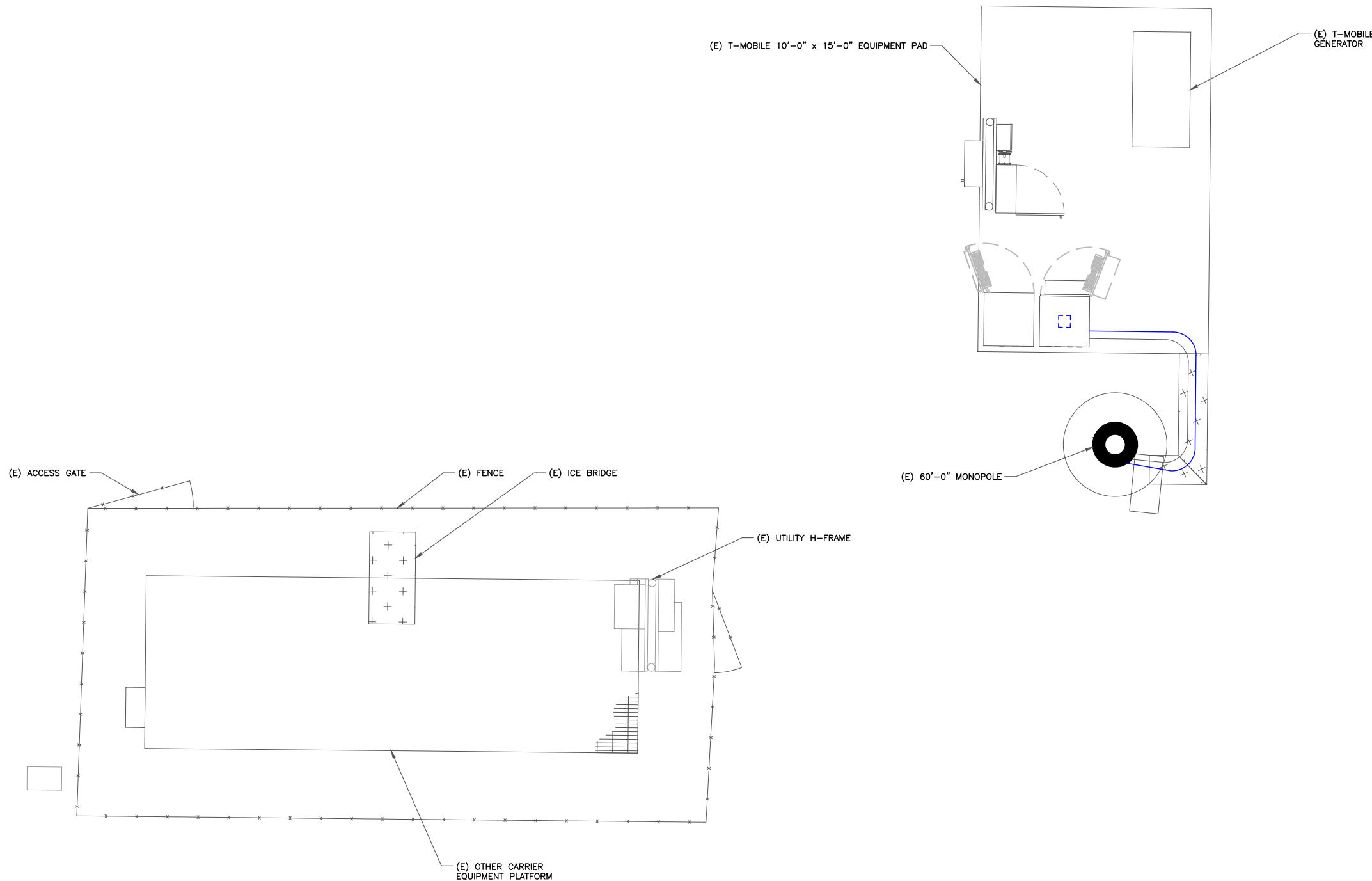




T Mobile

CROWN
CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601T-MOBILE SITE NUMBER:
SL08046ABU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003EXISTING 60'-0"
MONOPOLE

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES/QA
0	02/07/25	TMK	CONSTRUCTION	MCK
1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK

05/27/25
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1 COMPOUND PLAN
SCALE: 2' 1' 0' 2' 3/8"=1'-0" (FULL SIZE)
3/16"=1'-0" (11x17)



SHEET NUMBER: C-1.4 REVISION: 3



T Mobile

**CROWN
CASTLE**

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

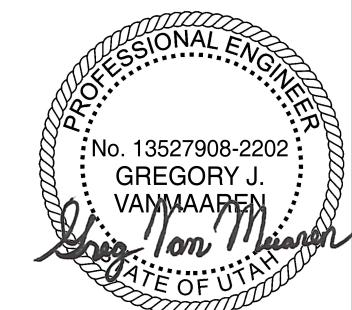
T-MOBILE SITE NUMBER:
SL08046A

BU #: **880629**
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

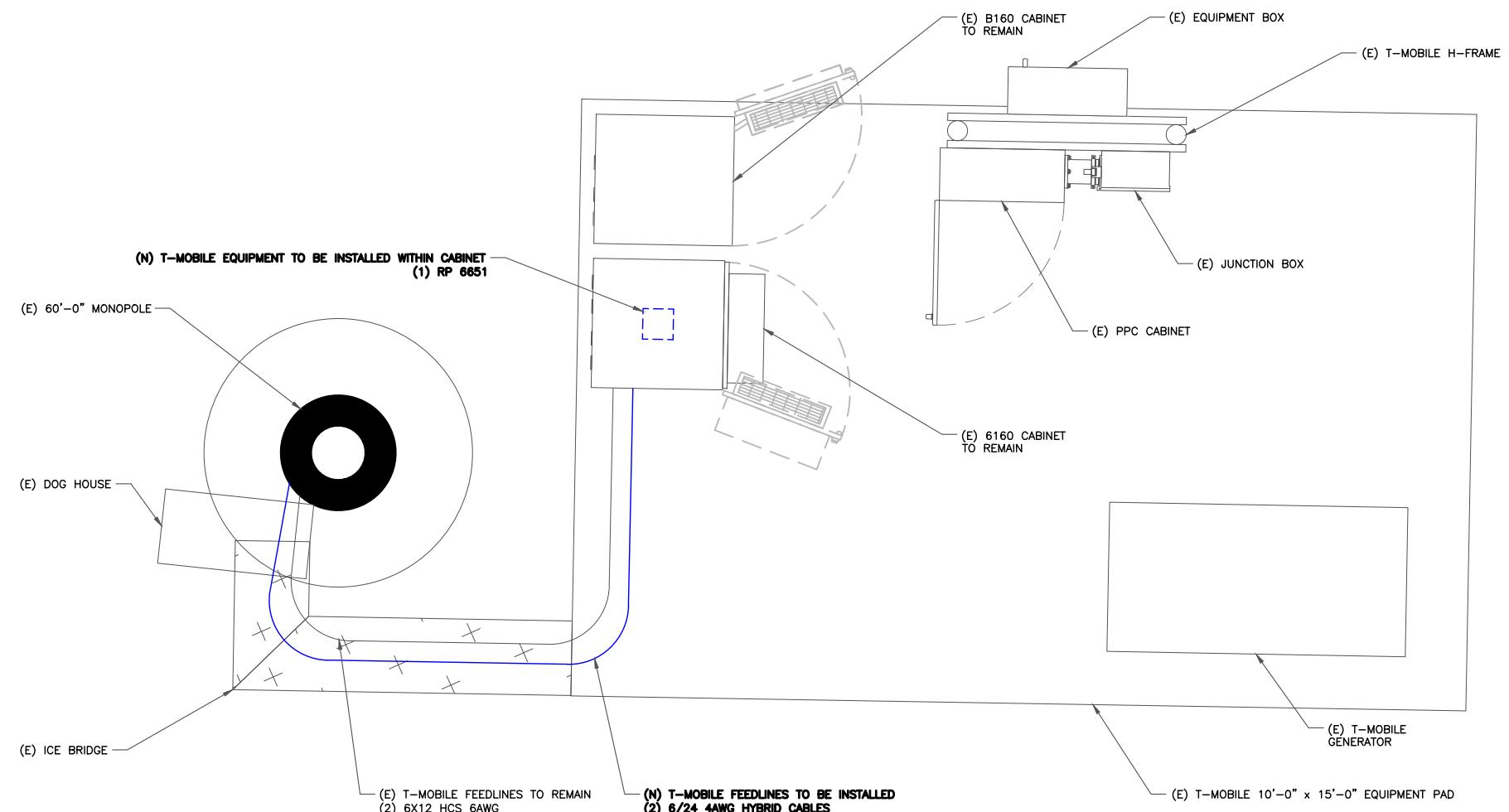
EXISTING 60'-0"
MONOPOLE

ISSUED FOR:				
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1	03/05/25	DMW	CONSTRUCTION	MCK
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Exp. 03/31/27

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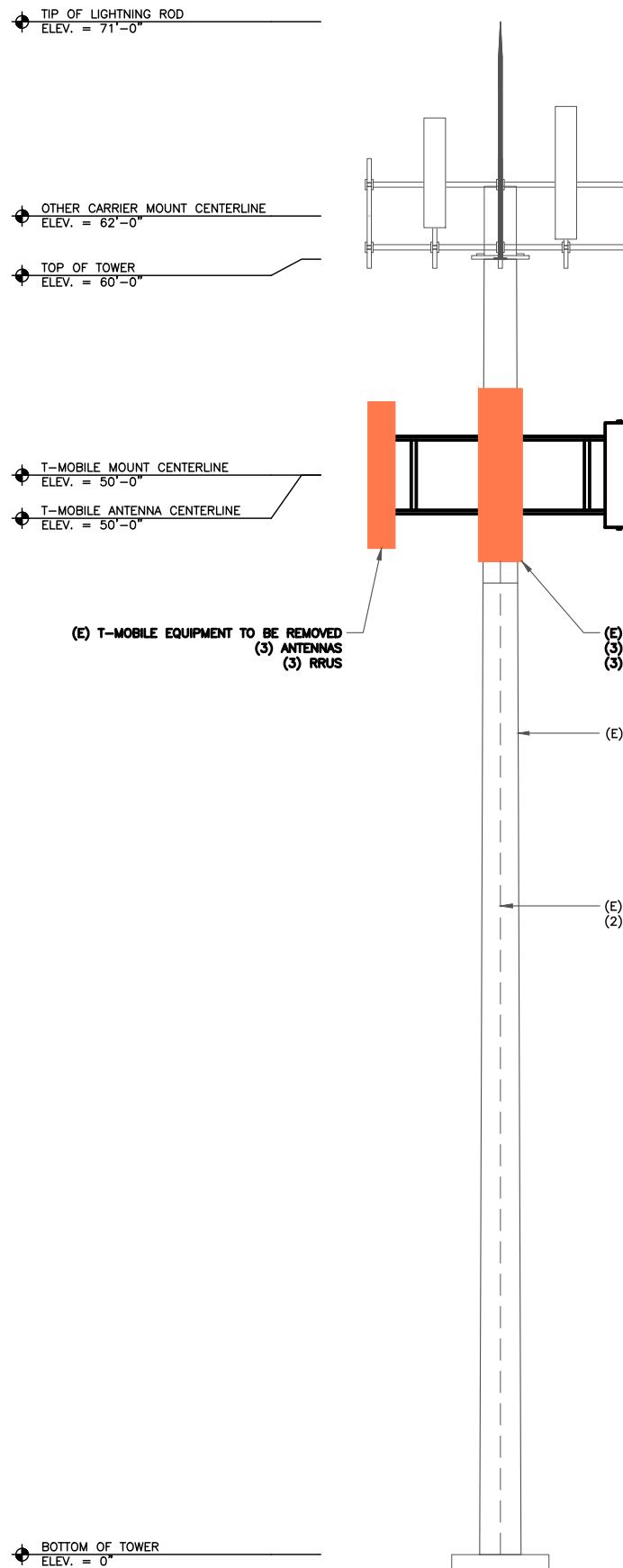


1 EXISTING EQUIPMENT PLAN

SCALE: 1' 6" 0 1' 3/4"=1'-0" (FULL SIZE)
3/8"=1'-0" (11x17)



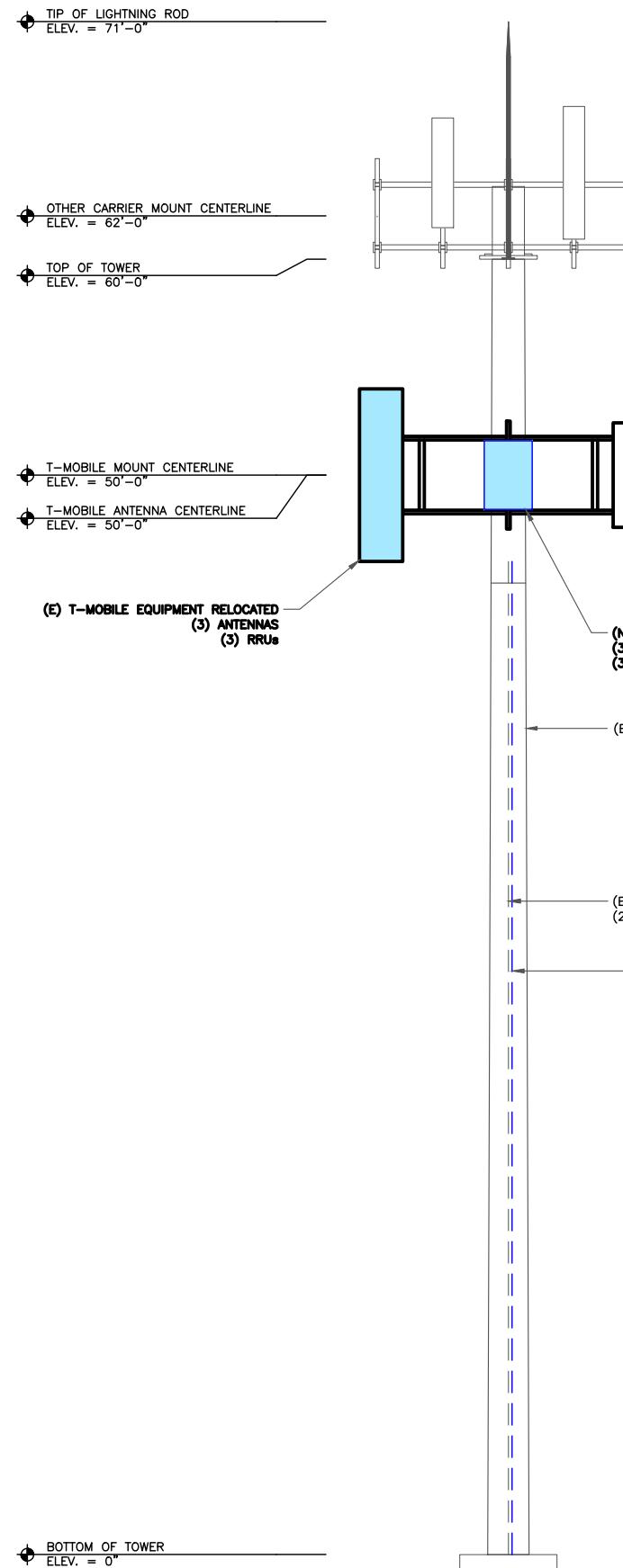
SHEET NUMBER: **C-1.5** REVISION: **3**



1 EXISTING ELEVATION VIEW

SCALE: 16' 12' 8' 4' 0 16' 1/16"=1'-0" (FULL SIZE)
1/32"=1'-0" (11x17)

KIMLEY-HORN HAS NOT ANALYZED THE PROPOSED ANTENNA MOUNT(S) OR TOWER TO DETERMINE ADEQUATE STRUCTURAL CAPACITY FOR PROPOSED CARRIER LOADING. STRUCTURAL ANALYSES TO BE DONE BY OTHERS.



2 FINAL ELEVATION VIEW

SCALE: 16' 12' 8' 4' 0 16' 1/16"=1'-0" (FULL SIZE)
1/32"=1'-0" (11x17)

EQUIPMENT LEGEND:	
EXISTING	
TO BE RELOCATED/REMOVED	
NEW/RELOCATED	

T Mobile
CROWN CASTLE

Kimley»Horn

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T-MOBILE SITE NUMBER:
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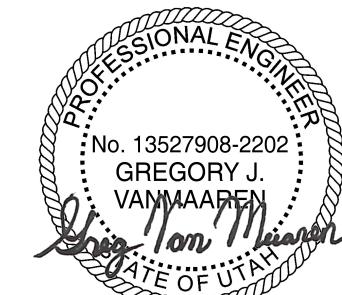
BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

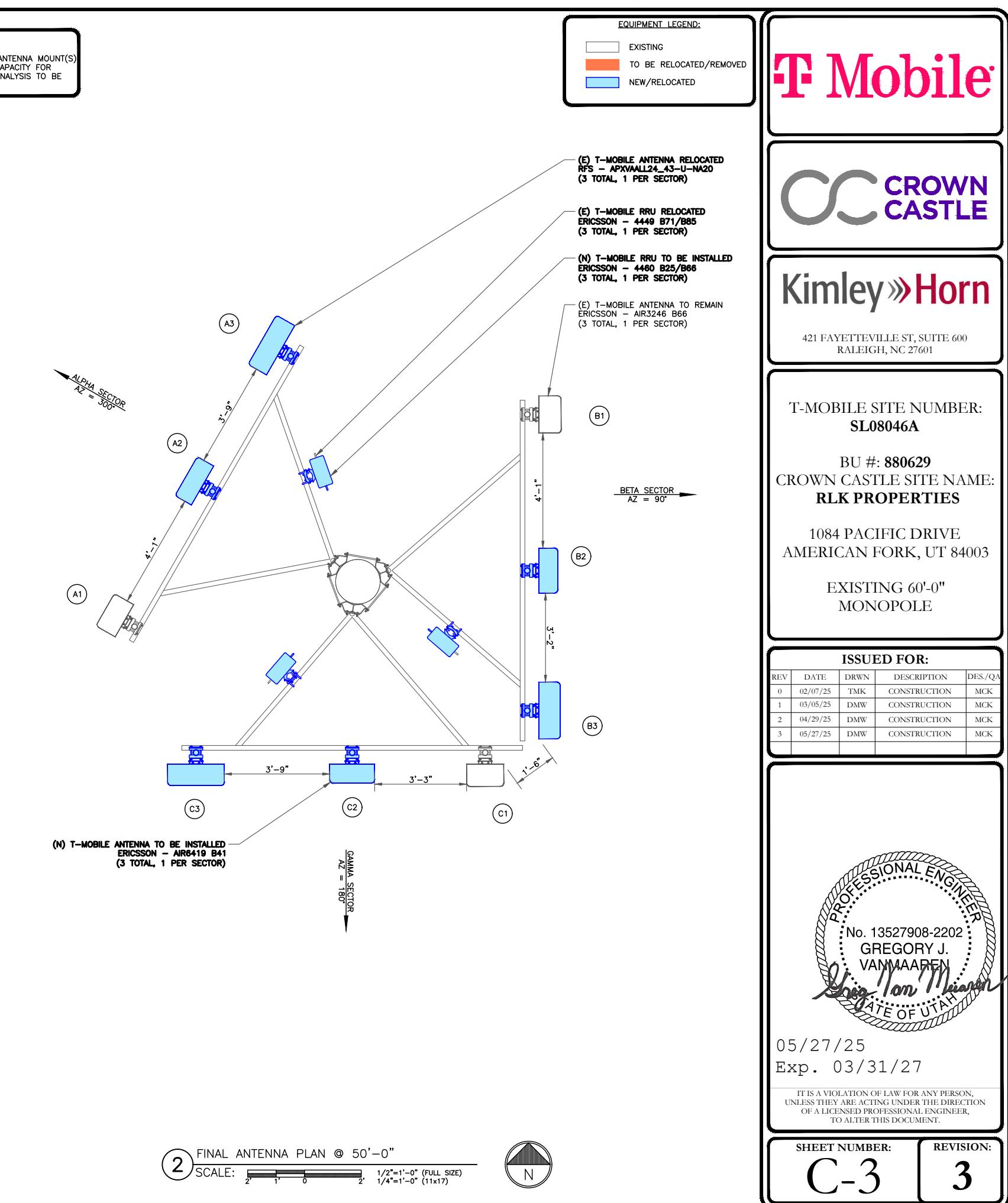
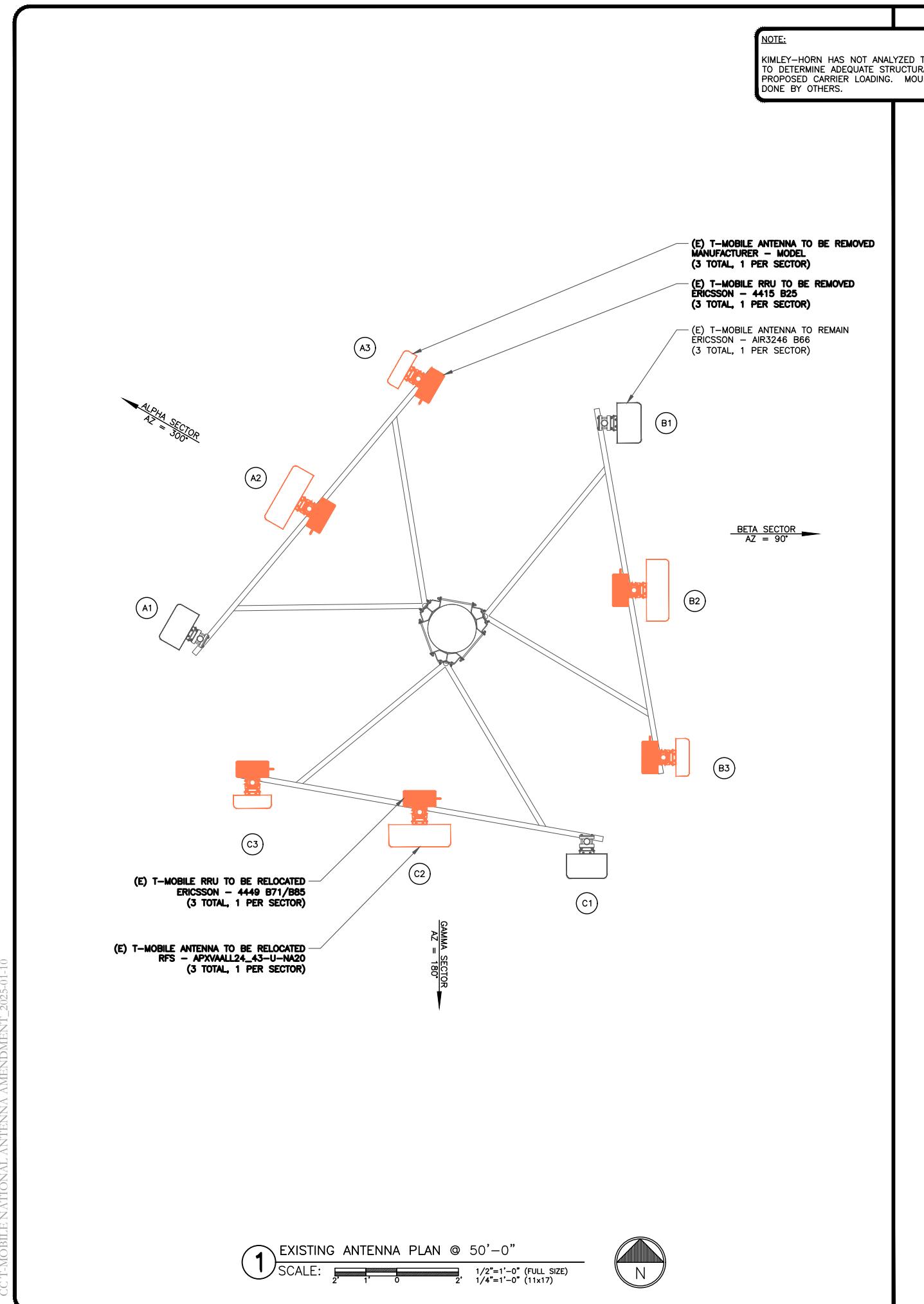
REV	DATE	DRWN	DESCRIPTION	DES/QA
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1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
Exp. 03/31/27

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SHEET NUMBER: **C-2** REVISION: **3**



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CASTLE**

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RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
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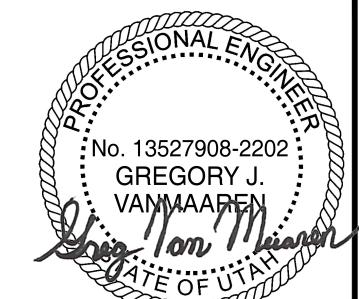
BU #: **880629**
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES/QA
0	02/07/25	TMK	CONSTRUCTION	MCK
1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
Exp. 03/31/27

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SHEET NUMBER: **C-4** REVISION: **3**

T Mobile

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421 FAYETTEVILLE ST, SUITE 600
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**T-MOBILE SITE NUMBER:
SL08046A**

**BU #: 880629
CROWN CASTLE SITE NAME:
RLK PROPERTIES**

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

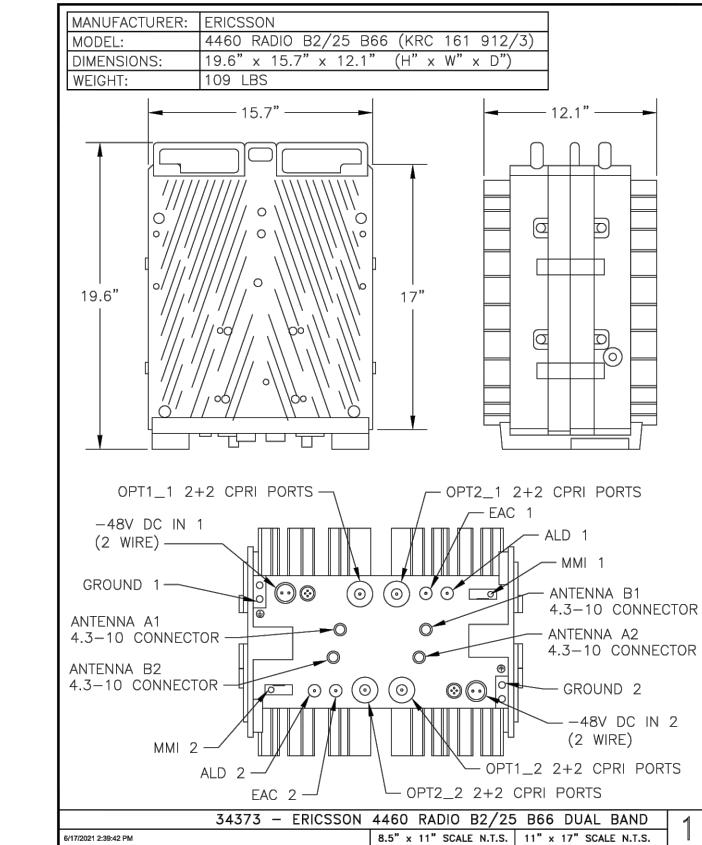
ISSUED FOR:				
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1	03/05/25	DMW	CONSTRUCTION	MCK
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3	05/27/25	DMW	CONSTRUCTION	MCK



05/27/25
Exp. 03/31/27

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SHEET NUMBER: C-5.1 **REVISION: 3**



1 NOT USED
SCALE: NOT TO SCALE

2 NOT USED
SCALE: NOT TO SCALE

3 NOT USED
SCALE: NOT TO SCALE

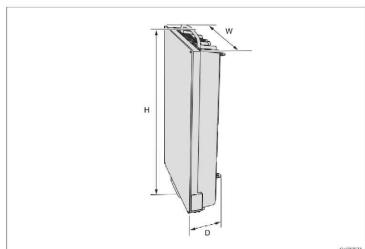


Figure 2 AIR Dimensions

Table 8 AIR Dimensions	
AIR Unit Type	Height (H) x Width (W) x Depth (D)
AIR 6419 B40	929 x 505 x 208 mm ⁽¹⁾
AIR 6419 B41	871 x 505 x 203 mm ⁽¹⁾
AIR 6419 B42	796 x 408 x 186 mm ⁽²⁾

(1) Dimensions without protrusions: 952 x 505 x 190 mm

(2) Dimensions without protrusions: 717 x 408 x 148 mm

AIR 6419 B41	
Vertical Beamwidth	38x3°
Horizontal Beamwidth	28x2°
Digital Downtilt	Fixed 6°
Vertical Beam Pointing Error	≤ 1°
Horizontal Beam Pointing Direction	0x1°
ERP (Typical)	2 x 64.48m
Vertical Side Lobe Suppression	12 dB
Front to Back Ratio	—
Beam Parallelity	≤ -10 dB

Table 9 AIR Weight	
AIR Unit Type	Unit Weight ⁽¹⁾
AIR 6419 B40	29.5 kg
AIR 6419 B41	29.5 kg
AIR 6419 B42	20.0 kg

(1) The weight is given with ±5% accuracy.

Unit (DC Powered)	Output Power	Maximum Load Current at -36 VDC	Maximum Allowed Fuse Rating ⁽²⁾
AIR 6419 B40	328 W	48 A	58 A
AIR 6419 B41	328 W	48 A	58 A
AIR 6419 B42	328 W	48 A	58 A

AIR 6419 B41	
Vertical Beamwidth	38x3°
Horizontal Beamwidth	65x5°
Digital Downtilt	Fixed 6°
Vertical Beam Pointing Error	≤ 3°
Horizontal Beam Pointing Direction	0x3°
ERP (Typical)	2 x 64.48m
Vertical Side Lobe Suppression	12 dB
Front to Back Ratio	—
Beam Parallelity	≤ -10 dB

4 AIR6419 B41 ANTENNA
SCALE: NOT TO SCALE

5 NOT USED
SCALE: NOT TO SCALE

6 NOT USED
SCALE: NOT TO SCALE

T Mobile

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Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

**T-MOBILE SITE NUMBER:
SL08046A**

BU #: 880629

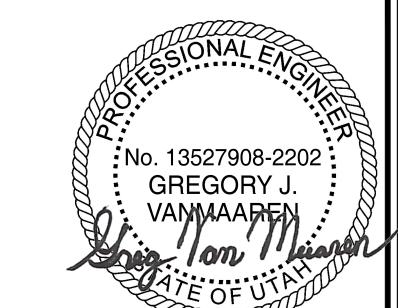
**CROWN CASTLE SITE NAME:
RLK PROPERTIES**

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES/QA
0	02/07/25	TMK	CONSTRUCTION	MCK
1	03/05/25	DMW	CONSTRUCTION	MCK
2	04/29/25	DMW	CONSTRUCTION	MCK
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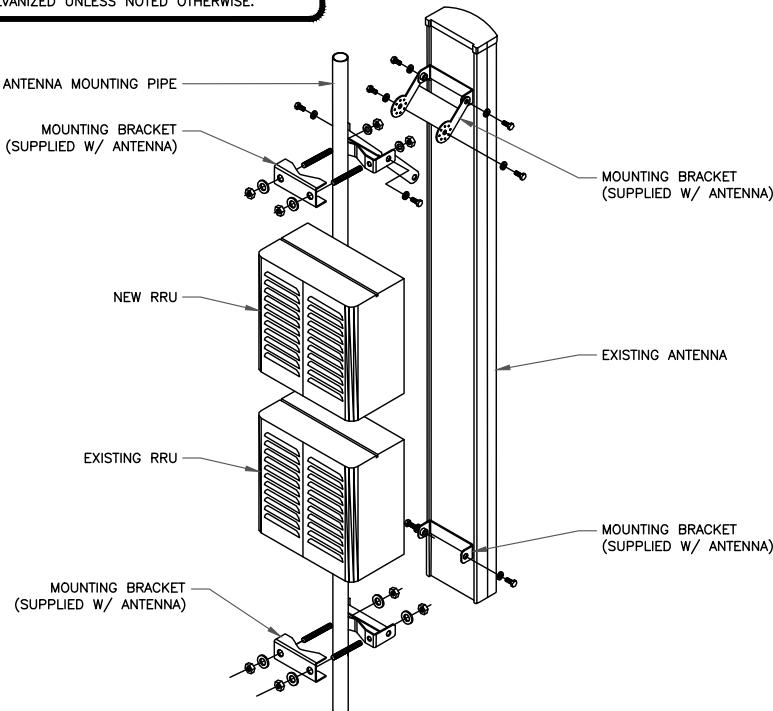


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SHEET NUMBER: C-5.2 **REVISION: 3**

INSTALLER NOTES:

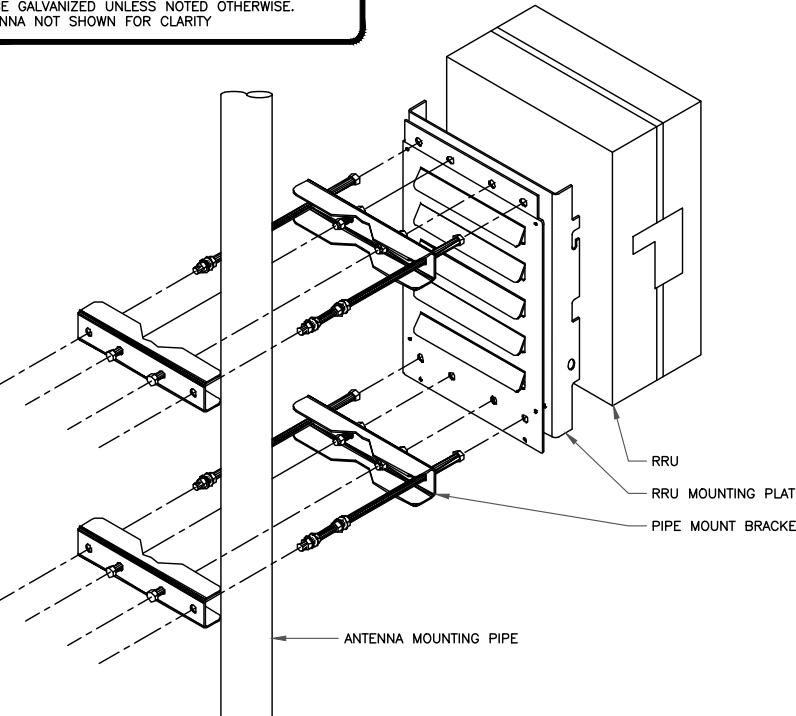
1. COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRUs RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING.
2. DO NOT OPEN RRU PACKAGES IN THE RAIN.
3. ALL PIPES, BRACKETS, AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.



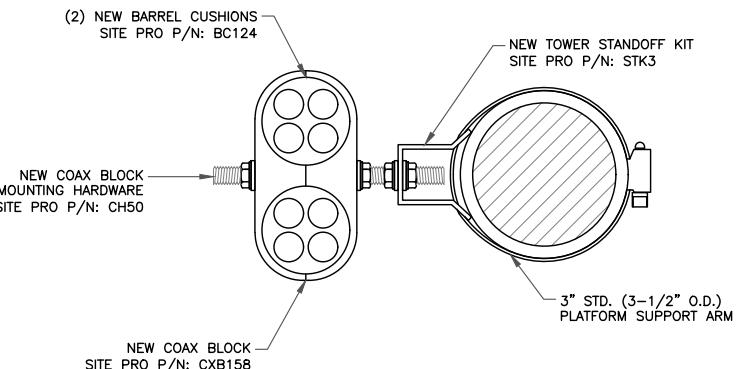
1 MOUNTING DETAIL
SCALE: NOT TO SCALE

INSTALLER NOTES:

1. COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRUs RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING.
2. DO NOT OPEN RRU PACKAGES IN THE RAIN.
3. ALL PIPES, BRACKETS, AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.
4. ANTENNA NOT SHOWN FOR CLARITY

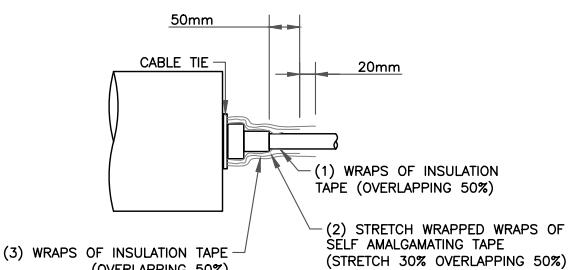


2 RRU MOUNTING DETAIL
SCALE: NOT TO SCALE

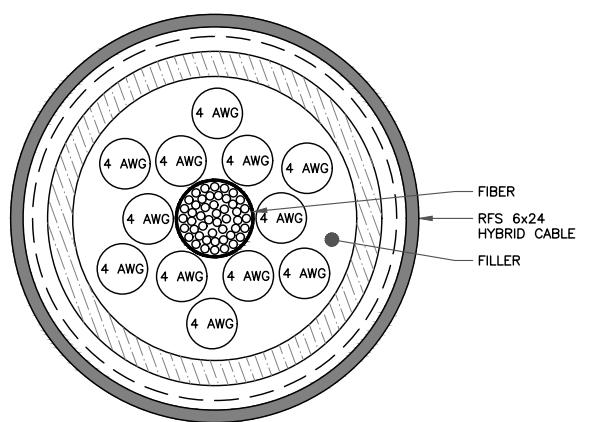


3 RF JUMPER DETAIL
SCALE: NOT TO SCALE

INSTALLER NOTE:
JUMPERS TO BE TORQUED TO 221.27 IN/LBS



4 RF JUMPER CONNECTION
SCALE: NOT TO SCALE



5 NOT USED
SCALE: NOT TO SCALE

6 6x24 HYBRID TRUNK CROSS SECTION
SCALE: NOT TO SCALE

SKU#: N/A

T Mobile

CC CROWN CASTLE

Kimley»Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

T-MOBILE SITE NUMBER:
SL08046A

BU #: 880629

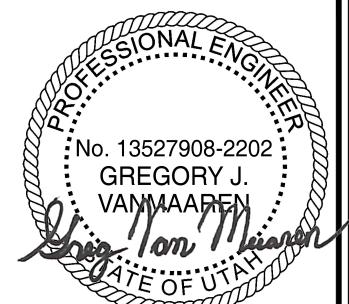
CROWN CASTLE SITE NAME:
RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

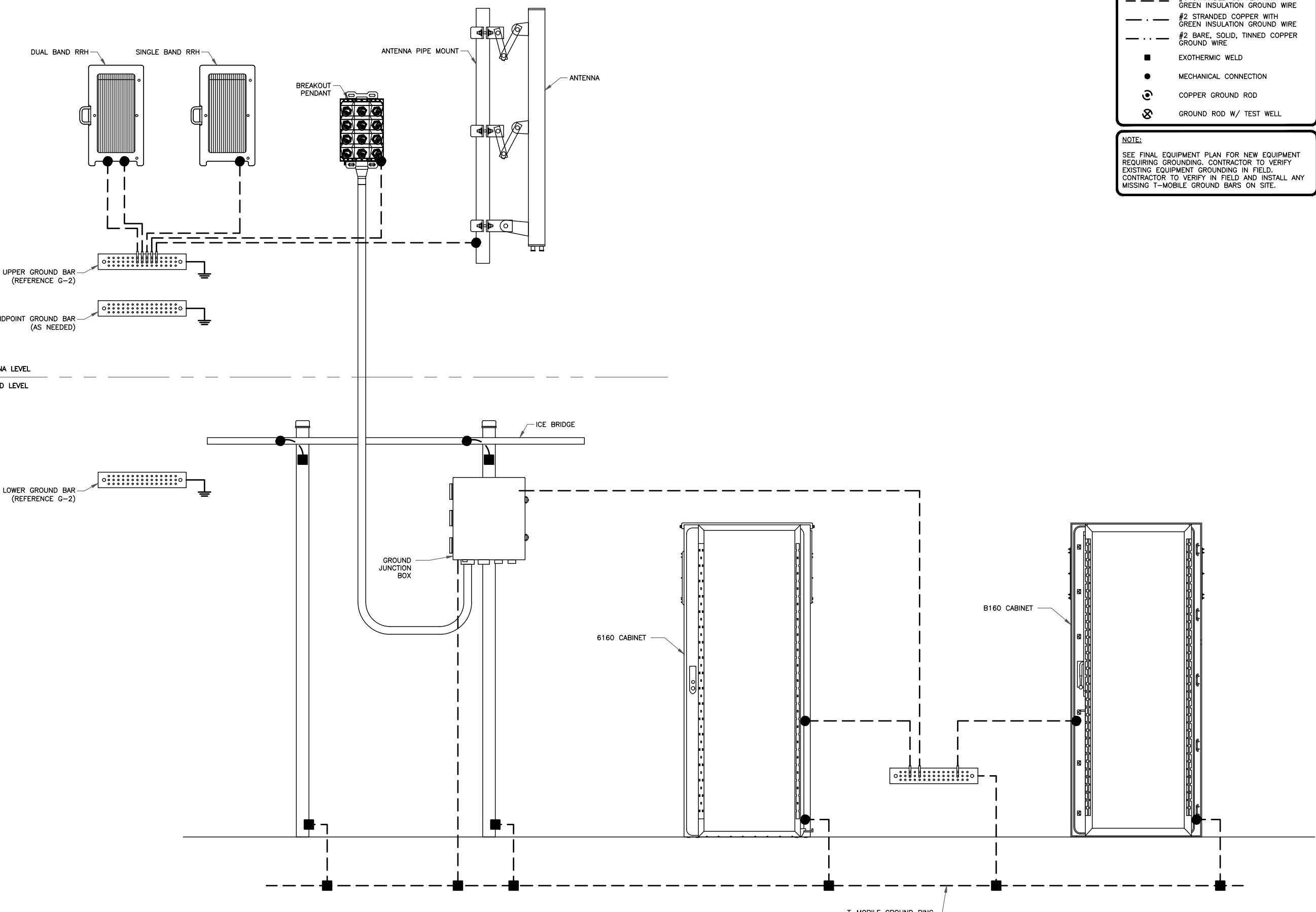
ISSUED FOR:

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3	05/27/25	DMW	CONSTRUCTION	MCK



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SHEET NUMBER: **G-1** REVISION: **3**





Kimley »» Horn

421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NC 27601

Digitized by srujanika@gmail.com

T-MOBILE SITE NUMBER:
SL08046A

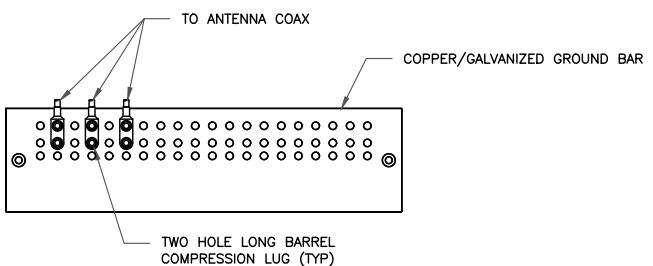
BU #: **880629**
ROWN CASTLE SITE NAME:
RLK PROPERTIES

ISSUED FOR:			
DATE	DRWN	DESCRIPTION	DES./QA
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03/05/25	DMW	CONSTRUCTION	MCK
04/29/25	DMW	CONSTRUCTION	MCK
05/27/25	DMW	CONSTRUCTION	MCK

5/27/25
sp. 03/31/27

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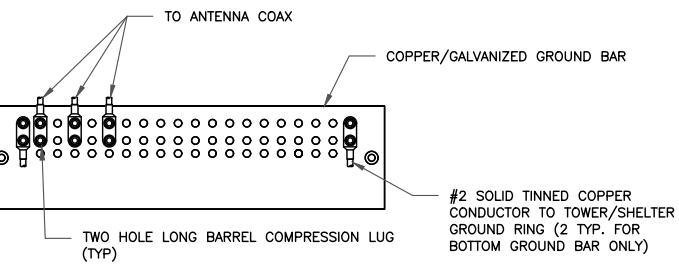
SHEET NUMBER: G-2 REVISION: 3



NOTES

1. DOUBLING UP "OR STACKING" OF CONNECTIONS IS NOT PERMITTED.
2. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
3. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO ANTENNA MOUNT STEEL.

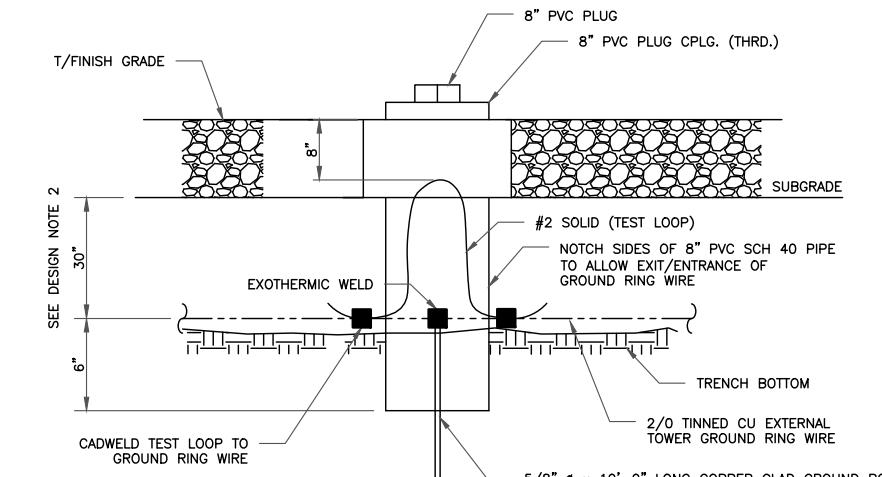
1 ANTENNA SECTOR GROUND BAR DETAIL
SCALE: NOT TO SCALE



NOTES

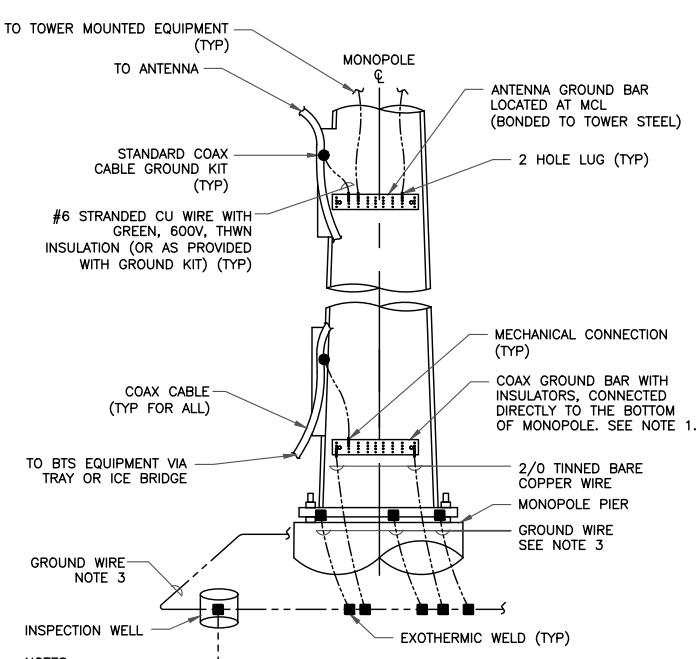
1. EXTERIOR ANTIOXIDANT JOINT COMPOUND TO BE USED ON ALL EXTERIOR CONNECTIONS.
2. GROUND BAR SHALL NOT BE ISOLATED FROM TOWER. MOUNT DIRECTLY TO TOWER STEEL (TOWER ONLY).
3. GROUND BAR SHALL BE ISOLATED FROM BUILDING OR SHELTER.

2 TOWER/SHELTER GROUND BAR DETAIL
SCALE: NOT TO SCALE



1. GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.
2. GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE.
(WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)

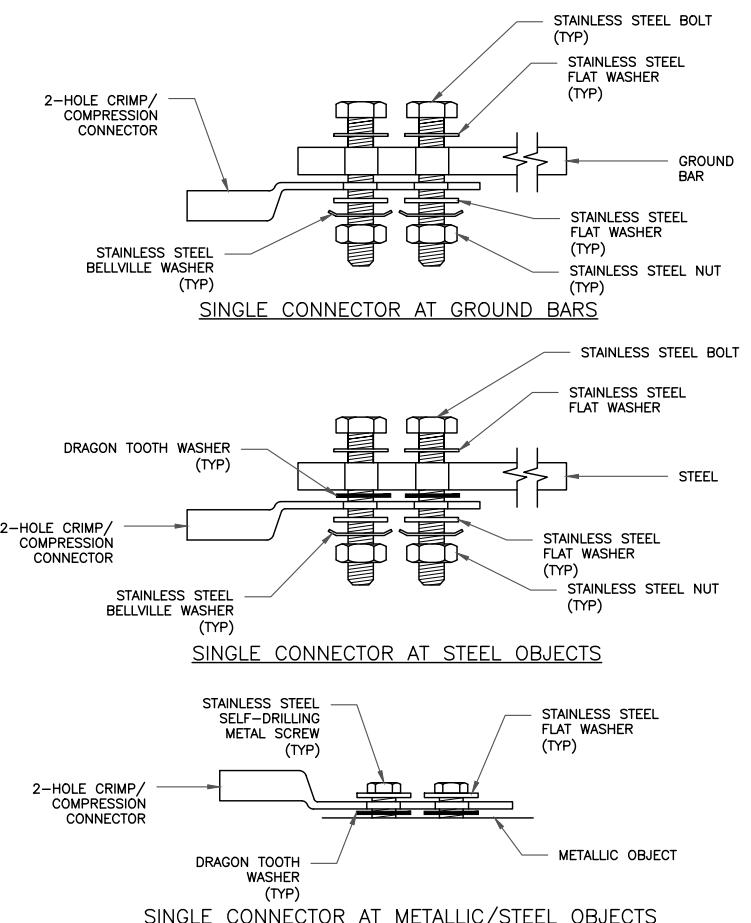
3 INSPECTION WELL DETAIL
SCALE: NOT TO SCALE



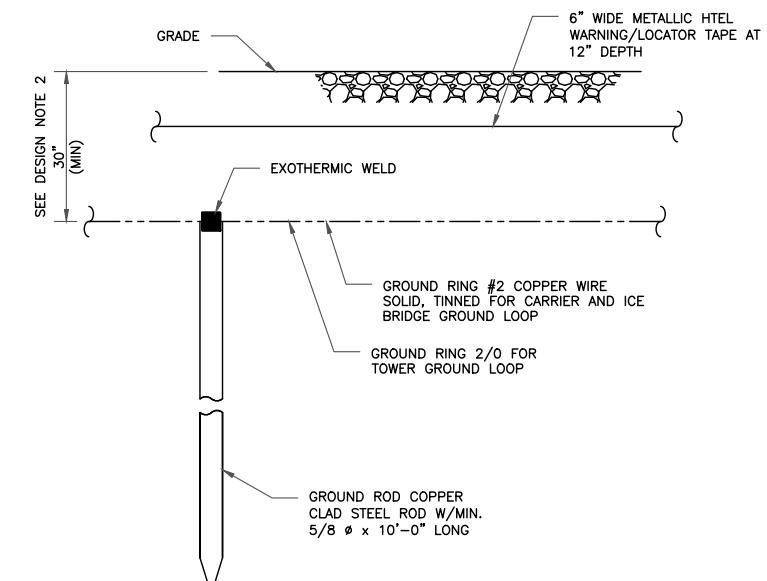
NOTES:

1. NUMBER OF GROUNDING BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATIONS AND CONNECTION ORIENTATION. COAXIAL CABLES EXCEEDING 200 FEET ON THE TOWER SHALL HAVE GROUND KITS AT THE MIDPOINT. PROVIDE AS REQUIRED.
2. ONLY MECHANICAL CONNECTIONS ARE ALLOWED TO BE MADE TO CROWN CASTLE USA INC. TOWERS. ALL MECHANICAL CONNECTIONS SHALL BE TREATED WITH AN ANTI-OXIDANT COATING.
3. ALL TOWER GROUNDING SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF THE RECOGNIZED EDITION OF ANSI/TIA 222 AND NFPA 780.

4 TYPICAL ANTENNA CABLE GROUNDING
SCALE: NOT TO SCALE



5) HARDWARE DETAIL FOR EXTERIOR CONNECTIONS



V

NOTES:

1. GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.
2. GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE.
(WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)

6 GROUND ROD DETAIL
SCALE: NOT TO SCALE

421 FAYETTEVILLE ST, SUITE 600
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BU #: 880629

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RLK PROPERTIES

1084 PACIFIC DRIVE
AMERICAN FORK, UT 84003

EXISTING 60'-0"
MONOPOLE

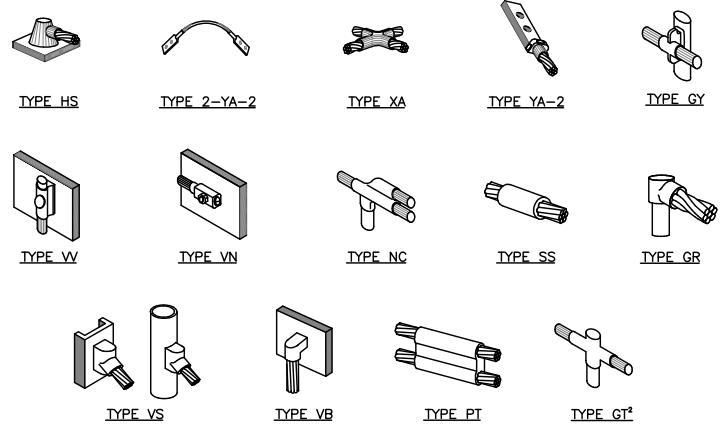
ISSUED FOR:

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05/27/25
Exp. 03/31/27

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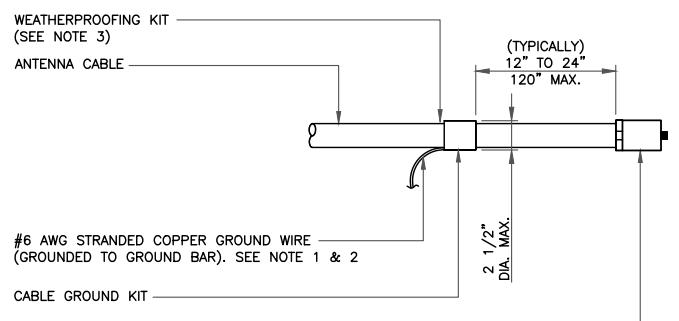
SHEET NUMBER: **G-3** REVISION: **3**



NOTE:

1. ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.
2. MOLD TYPE ONLY TO BE USED BELOW GRADE WHEN CONNECTING GROUND RING TO GROUND ROD.

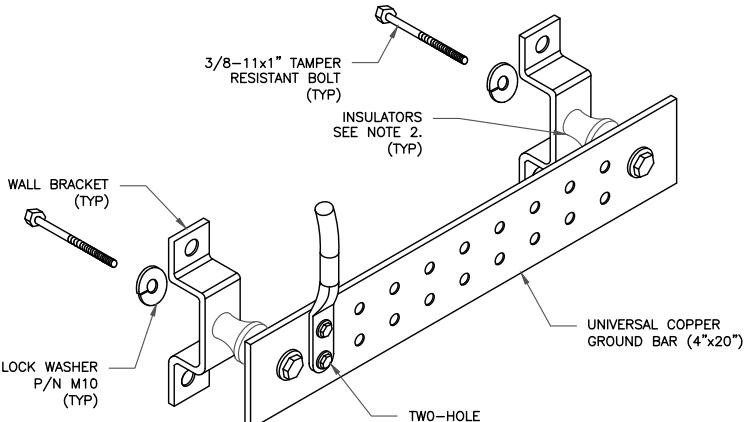
1 CADWELD GROUNDING CONNECTIONS
SCALE: NOT TO SCALE



NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

3 CABLE GROUND KIT CONNECTION
SCALE: NOT TO SCALE

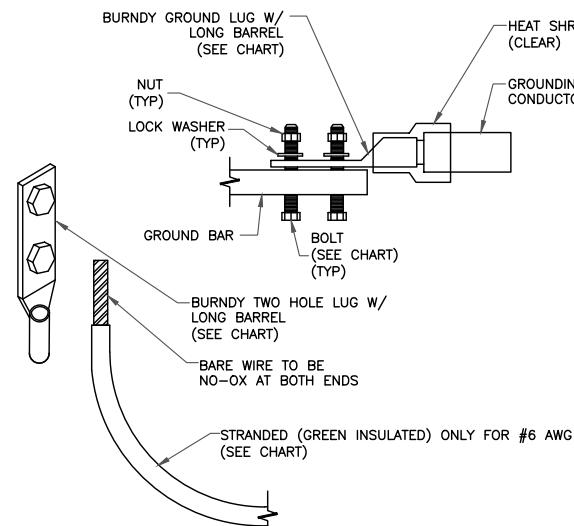


NOTES:

1. DOWN LEAD (HOME RUN) CONDUCTORS ARE NOT TO BE INSTALLED ON CROWN CASTLE USA INC. TOWER, PER THE GROUNDING DOWN CONDUCTOR POLICY QAS-STD-10091. NO MODIFICATION OR DRILLING TO TOWER STEEL IS ALLOWED IN ANY FORM OR FASHION, CAD-WELDING ON THE TOWER AND/OR IN THE AIR ARE NOT PERMITTED.
2. OMIT INSULATOR WHEN MOUNTING TO TOWER STEEL OR PLATFORM STEEL USE INSULATORS WHEN ATTACHING TO BUILDING OR SHELTERS.

6 GROUND BAR DETAIL
SCALE: NOT TO SCALE

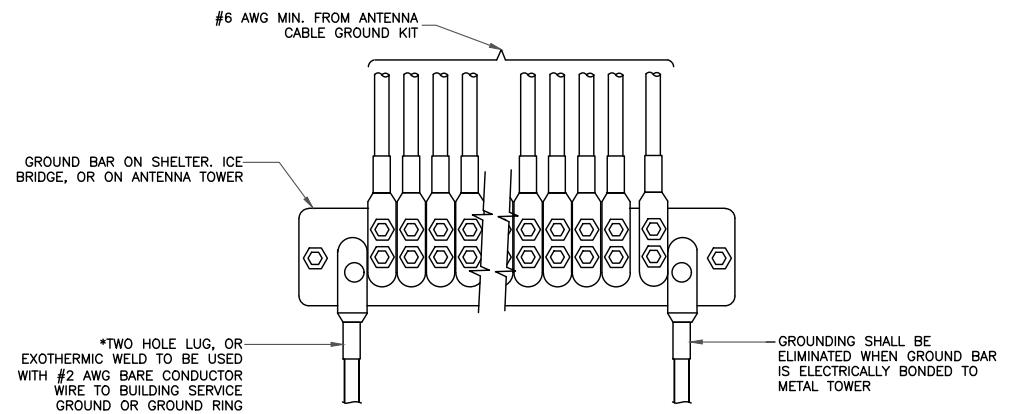
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT



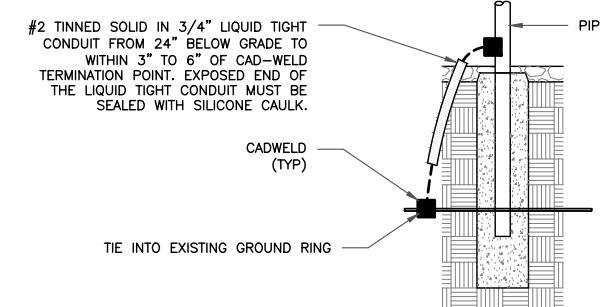
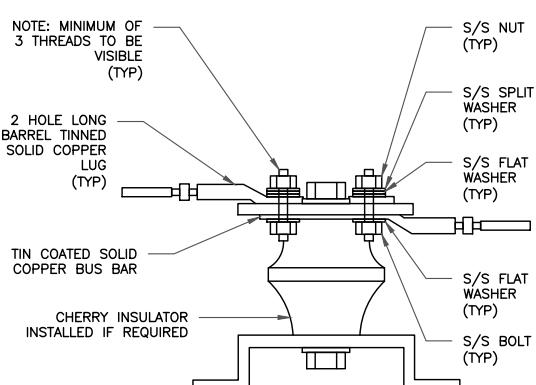
NOTES:

1. ALL GROUNDING LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.

2 MECHANICAL LUG CONNECTION
SCALE: NOT TO SCALE



5 GROUNDWIRE INSTALLATION
SCALE: NOT TO SCALE



8 TRANSITIONING GROUND DETAIL
SCALE: NOT TO SCALE

PROFESSIONAL ENGINEER
No. 13527908-2202
GREGORY J.
VAMMAAREN
State of Utah
05/27/25

Agenda Topic

Review and action on an application for a Commercial Site Plan, known as 500 East Auto Mall Drive, located at approximately 452 E Auto Mall Drive, American Fork City. The Commercial Site Plan is proposed on approximately 3.81 acres in the Planned Commercial (GC-2) Zone.

BACKGROUND INFORMATION		
Location:	452 E Auto Mall Drive	
Project Type:	Commercial Site Plan	
Applicants:	Steve Davies, Jared Huish	
Existing Land Use:	Design Commercial	
Proposed Land Use:	Design Commercial	
Surrounding Land Use:	North	Design Commercial
	South	Design Industrial
	East	Design Industrial
	West	Design Industrial
Existing Zoning:	Planned Commercial (GC-2)	
Proposed Zoning:	Planned Commercial (GC-2)	
Surrounding Zoning:	North	GC-2
	South	Unincorporated Territory; PI-1
	East	PI-1
	West	Unincorporated Territory; PI-1
Square Footage (By Use)		Gymnasium: ~13,000 s.f. Car Dealership: ~ 18,000 s.f. Retail: ~ 21,425 s.f.
Total Number of Units		N/A

Parking Requirement	<p><u>Rival Athletics</u></p> <p>Gymnasium: Considered under the Health Clubs and Recreational Facilities designation - 2 stall per player or 1 stall per 3 persons permitted capacity. This designation can be found in Section 17.5.133 (C)(6).</p> <p>100 persons permitted capacity / 3 persons permitted capacity = 33.33 stalls</p> <p>Total = 34</p> <p><u>Car Guyz</u></p> <p>Car Dealership: Will be considered under the Motor Vehicle Sales and Service designation - 3 stalls per one thousand square feet of gross floor area used for display, sales, and administration; 1.5 stalls per one thousand square feet of area used for warehouse of parts and materials; 4 stalls per service bay. This designation can be found in Section 17.5.133 (C)(2)(g).</p> <p>Display, sales, and admin: 3,876 s.f. / 1,000 = 3.876; 3.876 * 3 stalls = 12 stalls</p> <p>Warehouse: 14,289 / 1,000 = 14.289; 14.289 * 1.5 = 22 stalls</p> <p>Service Bays: 2 * 4 stalls = 8 stalls</p> <p>Total = 42</p> <p><u>J5 Brands and Auto Diamond</u></p> <p>Retail and Service Commercial/Warehouse - Four and one-half spaces per one thousand square feet for portion used for retail purposes, plus one space per one thousand square feet for the total floor area. This designation can be found in Section 17.5.133 (C)(2)(i).</p> <p>Retail: 1,368 s.f. / 1,000 = 1.368; 1.368 * 4.5 stalls = 6 Stalls</p>
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	Total Floor Area: 20,536 s.f. / 1,000 = 20.536; 20.536 * 1 stall = 21 Stalls Total = 27 Total Count of Stalls = 81 Total Stalls Provided on Site Plan = 105
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Background

The applicant has applied for a Commercial Site Plan. The project was previously approved for an office/warehouse establishment that was in the Planned Industrial Park (PI-1) Zone. The applicants have recently been granted a zone change from the PI-1 zone to the GC-2 zone with the condition that they come back through the Development Review Committee (DRC) process due to the change of uses that they will be providing within the development.

The new uses proposed within the development are a car dealership, gymnasium, and retail uses. The last time that this came to the Planning Commission, it came through as a Site Plan and a parking reduction request. Since that time, staff and the applicant have continued to work through some of the uncertainties of parking in the area and have established new parking uses for the businesses provided in the building. Due to the new parking uses from the previous Planning Commission, the applicant does not need to seek a parking reduction and is looking to get their site plan approved for the new parking establishments.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.

2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.



Planning Commission Staff Report
Meeting Date: June 16, 2025

Project Conditions of Approval

1. Submit all documents pertaining to the Site Plan application together for a Post Entitlement Review to address all outstanding comments from the DRC review and to review new documents that have been provided for review.

Findings of Fact

1. The Commercial Site Plan process MEETS the requirements of Section 17.6.101.
2. Outstanding comments can be addressed through conditional approval.

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Commercial Site Plan

Approval

I move to approve the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone and instruct staff/developer to.....



American Fork City
Development Review Committee

Planning and Zoning
Reviewed
copperman 05/01/2025

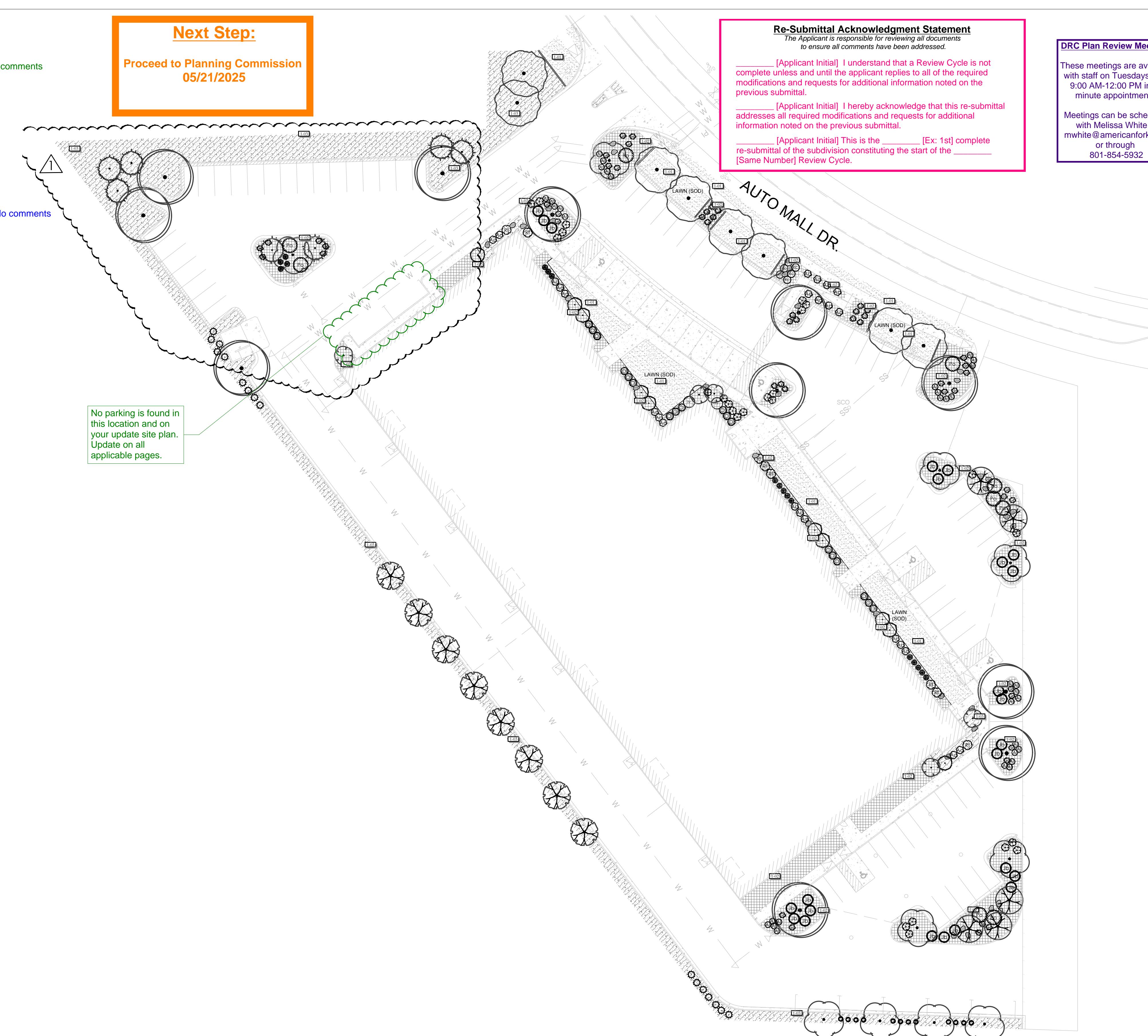
Public Infrastructure
Reviewed
dhoward 04/28/2025

Engineering Division
Reviewed
rburkhill 04/28/2025

Next Step:

**Proceed to Planning Commission
05/21/2025**

See comments



Re-Submittal Acknowledgment Statement

The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

[Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.

[Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

[Applicant Initial] This is the _____ [Ex: 1st] complete re-submittal of the subdivision constituting the start of the _____ [Same Number] Review Cycle.

DRC Plan Review Meetings

These meetings are available with staff on Tuesdays from 9:00 AM-12:00 PM in 30 minute appointments.

Meetings can be scheduled with Melissa White at mwhite@americanfork.gov or through 801-854-5932.

PLANT LEGEND

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
ACE PLA	10	Acer platanoides 'Fairview'		B & B	2"Cal	
PAG SYL	10	Fagus sylvatica 'Dawyck Purple'		B & B	2"Cal	
PRU CER	5	Prunus cerasifera 'Crimson Pointe'		B & B	2"Cal	
ULM PAR	8	Ulmus parvifolia		B & B	2"Cal	
ZEL SER	11	Zelkova serrata		B & B	2"Cal	
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
MS	5	Malus x 'species'		B & B	2"Cal	
QF	8	Quercus robur 'Fastigata'		B & B	2"Cal	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
PIC COL	7	Picea pungens 'Colorado Green'		B & B	6"	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AI	34	Aronia melanocarpa 'UCONNAM165' TM		5 gal		
BM	17	Buxus microphylla japonica 'Winter Gem'		5 gal		
AD	24	Comis sericea 'Almanac's Compact'		5 gal		
EV	12	Ephedra viridis		5 gal		
IV	2	Itea virginica 'Henny's Garnet'		5 gal		
JB	24	Juniperus horizontalis 'Blue Chip'		5 gal		
SR	16	Juniperus virginiana 'Skyrocket'		5 gal		
Po	9	Physocarpus opulifolius 'Diablo'		5 gal		
Gp	33	Potentilla fruticosa 'Gold Drop'		5 gal		
Ol	18	Prunus laurocerasus 'Otto Luyken'		5 gal		
Rf	8	Rhamnus frangula 'Columnaris'		5 gal		
Rc	6	Ribes alpinum		5 gal		
R3	25	Rosa 'Radko'		5 gal		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CA	18	Calamagrostis x acutiflora 'Karl Foerster'		1 gal		

SITE MATERIALS LEGEND

SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
1-01	SODDED LAWN AREA	6,483 sf
1-02	1" WASATCH GRAY COBBLE: 3" DEPTH OF ROCK PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,587 sf
1-03	1" 1.5" SOUTH TOWN GRAVEL COBBLE: 3" DEPTH OF ROCK PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,984 sf
1-06	BOULDERS - DECORATIVE	35

ISSUE DATE: 3/27/2025 PROJECT NUMBER: UT21037

NO.	REVISION	DATE
1	CITY COMMENTS	03-27-2025
2		
3		
4		
5		
6		
7		

811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

1 A 0' 15' 30' 60' 120'

GRAPHIC SCALE: 1" = 30'

AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

PROJECT INFORMATION

PROPERTY OWNER: AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

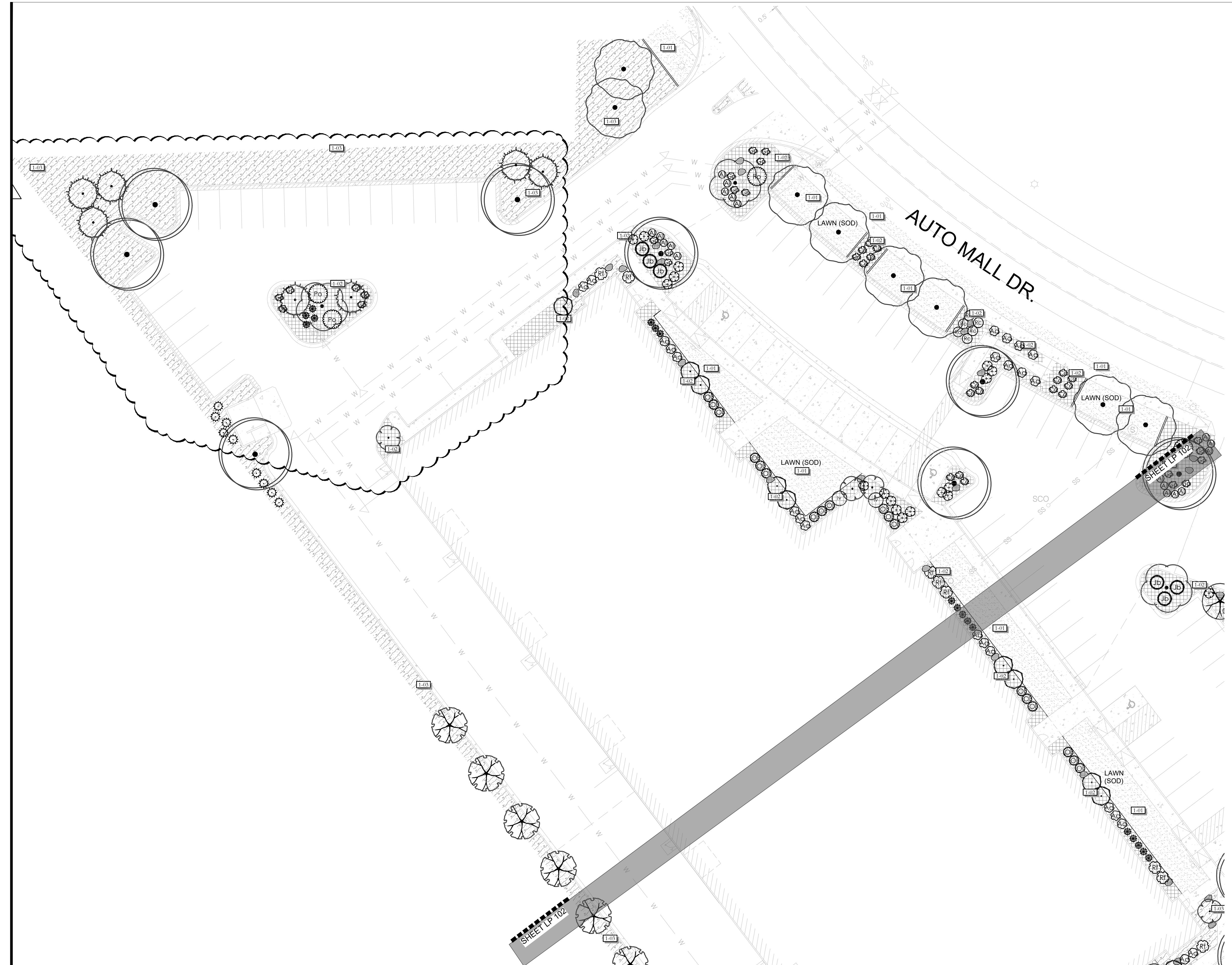
ARCHITECT / ENGINEER: CIR CIVIL ENGINEERING
3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
801-949-6296

LICENSE STAMP

PKJ DESIGN GROUP Landscape Architecture Planning & Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

PROJECT OVERVIEW PLAN

OVERVIEW



PLANT LEGEND

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
ACE PLA	10	Acer platanoides 'Fairview' Fairview Maple	B & B	2"Cal		
FAG SYL	10	Fagus sylvatica 'Dawyck Purple' European Beech	B & B	2"Cal		
PRU CER	5	Prunus cerasifera 'Crimson Pointe' Crimson Pointe Flowering Plum	B & B	2"Cal		
ULM PAR	8	Ulmus parvifolia Lacebark Elm	B & B	2"Cal		
ZEL SER	11	Zelkova serrata Sawleaf Zelkova	B & B	2"Cal		
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
MS	5	Malus x 'species' Crabapple	B & B	2"Cal		
QF	8	Quercus robur 'Fastigata' Pyramidal English Oak	B & B	2"Cal		
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
PIC COL	7	Picea pungens 'Colorado Green' Blue Spruce	B & B	6'		
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AI	34	Aronia melanocarpa 'UCONNAM165' TM Low Scape Mound Black Chokeberry	5 gal			
BM	17	Buxus microphylla japonica 'Winter Gem' Winter Gem Boxwood	5 gal			
Ad	24	Comis serrata 'Almanzor's Compact' Dwarf Red Twig Dogwood	5 gal			
EV	12	Ephedra viridis Mormon Tea	5 gal			
Iv	2	Itea virginica 'Henny's Garnet' Henry's Garnet Sweetspire	5 gal			
Jb	24	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 gal			
SR	16	Juniperus virginiana 'Skyrocket' Skyrocket Juniper	5 gal			
Po	9	Physocarpus opulifolius 'Diablo' Diablo Ninebark	5 gal			
Gp	33	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	5 gal			
Ol	18	Prunus laurocerasus 'Otto Luyken' Luyken's Laurel	5 gal			
Rf	8	Rhamnus frangula 'Columnaris' Tall Hedge Buckthorn	5 gal			
Rc	6	Ribes alpinum Alpine Currant	5 gal			
R3	25	Rosa 'Radko' Double Knock Out® Red Rose	5 gal			
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CA	18	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal			

SITE MATERIALS LEGEND

SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
1-01	SODDED LAWN AREA	6,482 sf
1-02	1" WASATCH GRAY COBBLE: 3" DEPTH OF ROCK. PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,587 sf
1-03	1" 1.5" SOUTH TOWN GRAVEL COBBLE: 3" DEPTH OF ROCK. PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,984 sf
SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
1-06	BOULDERS - DECORATIVE	35

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION
3/27/2025	UT21037	 811	 1
		BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org	1
NO.	REVISION	DATE	
1	CITY COMMENTS	03-27-2025	
2			
3			
4			
5			
6			
7			

0' 10' 20' 40' 80'

GRAPHIC SCALE: 1" = 20'

AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT
 Property Owner:
AE URBIA
 909 W. SOUTH JORDAN PARKWAY
 SOUTH JORDAN, UT 84095
 801-575-6455

 Architect / Engineer:
CIR CIVIL ENGINEERING
 3032 SOUTH 1030 WEST, SUITE 202
 SALT LAKE CITY, UT 84119
 801-949-6296

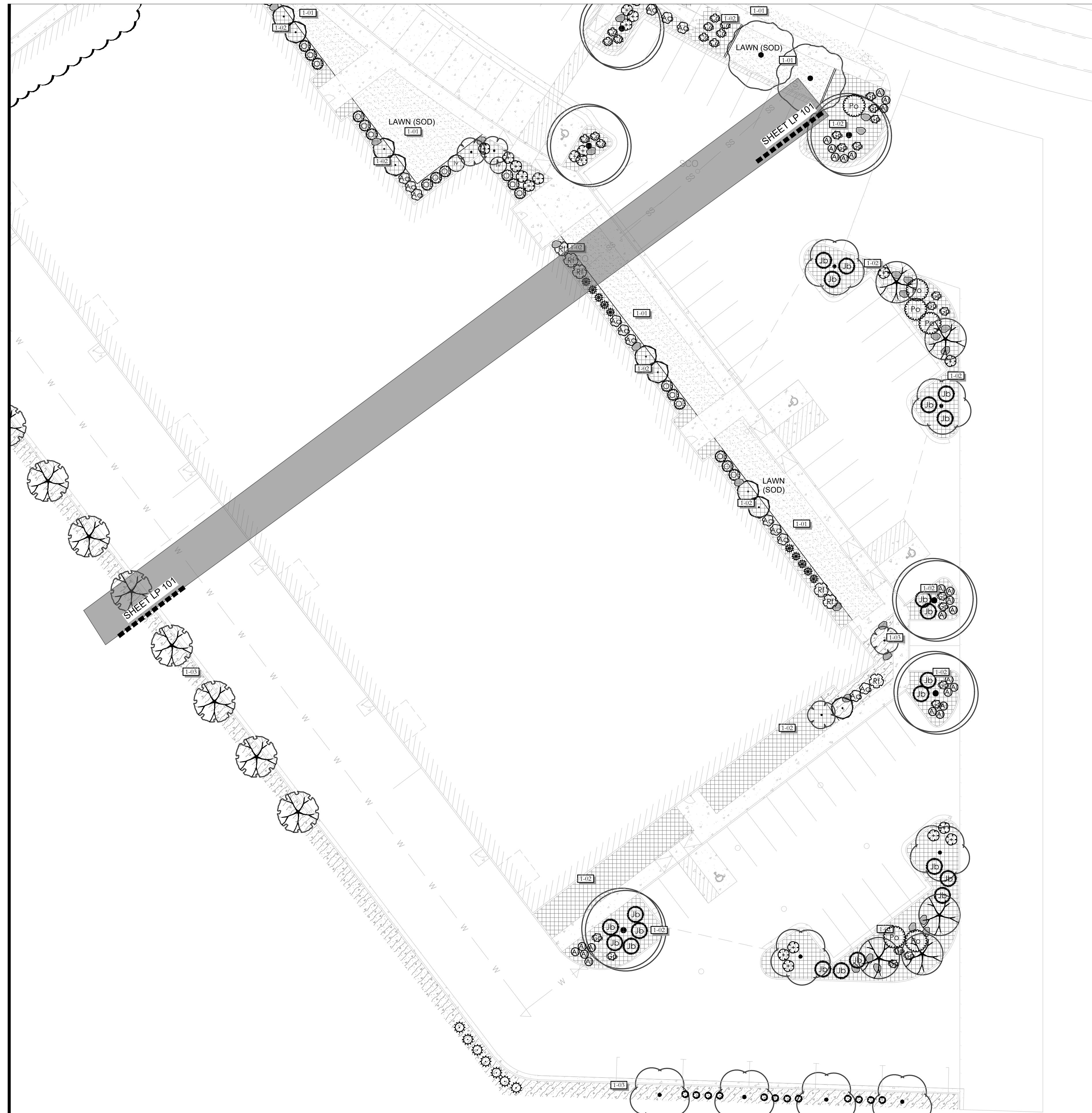
LANDSCAPE ARCHITECT / PLANNER


1

LICENSE STAMP
 PM: JTA
 DRAWN: KBA
 CHECKED: JMA
 PLOT DATE: 3/27/2025

 LANDSCAPE PLAN
 LP-101

3450 N. TRIUMPH BLVD. SUITE 102
 LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com



PLANT LEGEND

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R3	25	Rosa 'Radko' Double Knock Out® Red Rose		5 gal		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
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SITE MATERIALS LEGEND

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1-02	1" WASATCH GRAY COBBLE: 3" DEPTH OF ROCK PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,587 sf
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1-06	1 LANDSCAPE DESCRIPTION BOULDERS - DECORATIVE	35

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION
3/27/2025	UT21037		
NO.	REVISION	DATE	
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1 0' 10' 20' 40' 80'

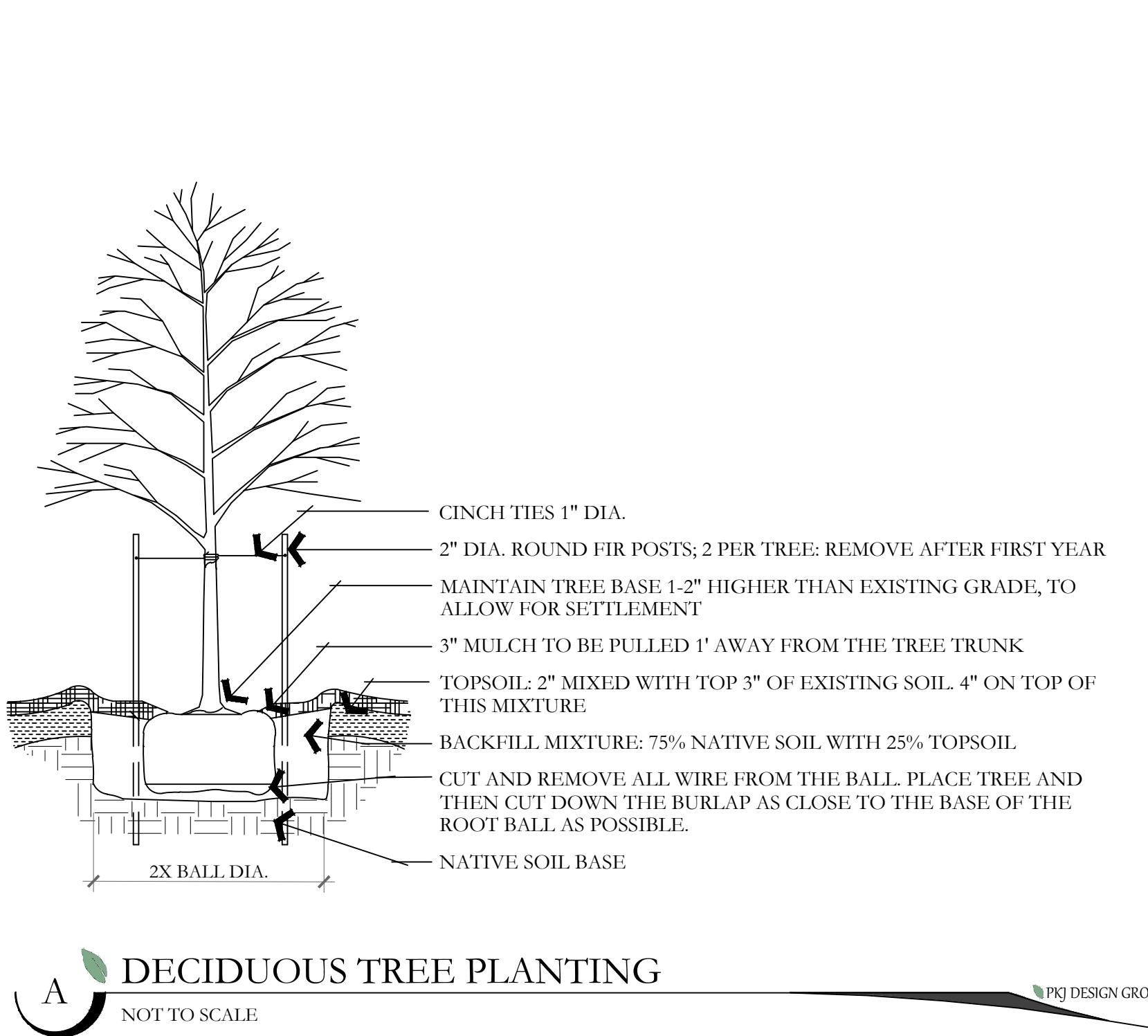
GRAPHIC SCALE: 1" = 20'

AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

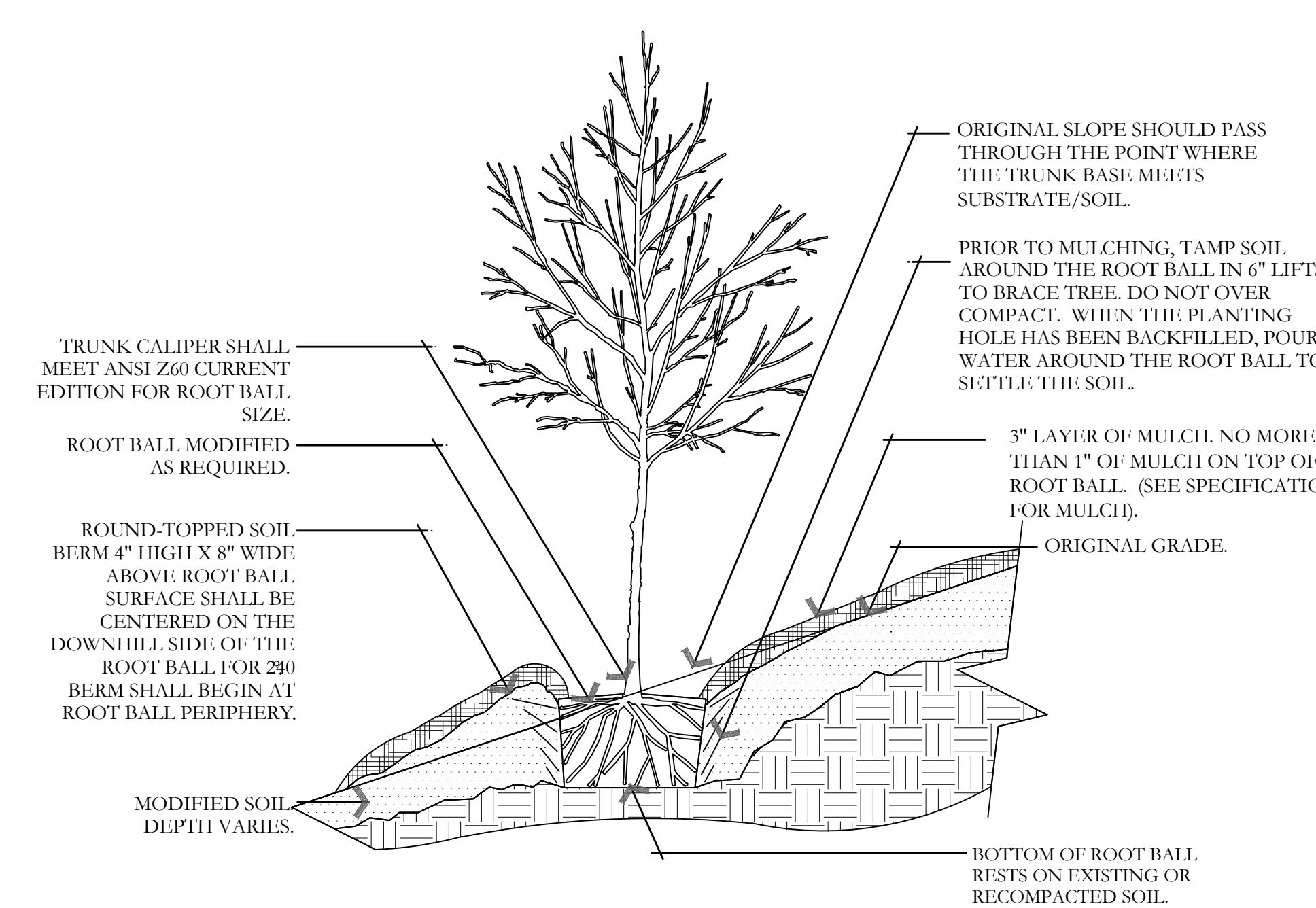
DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
Property Owner: AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455			PM: JTA DRAWN: KBA CHECKED: JMA PLOT DATE: 3/27/2025
Architect / Engineer: CIR CIVIL ENGINEERING 3032 SOUTH 1030 WEST, SUITE 202 SALT LAKE CITY, UT 84119 801-949-6296			LANDSCAPE PLAN



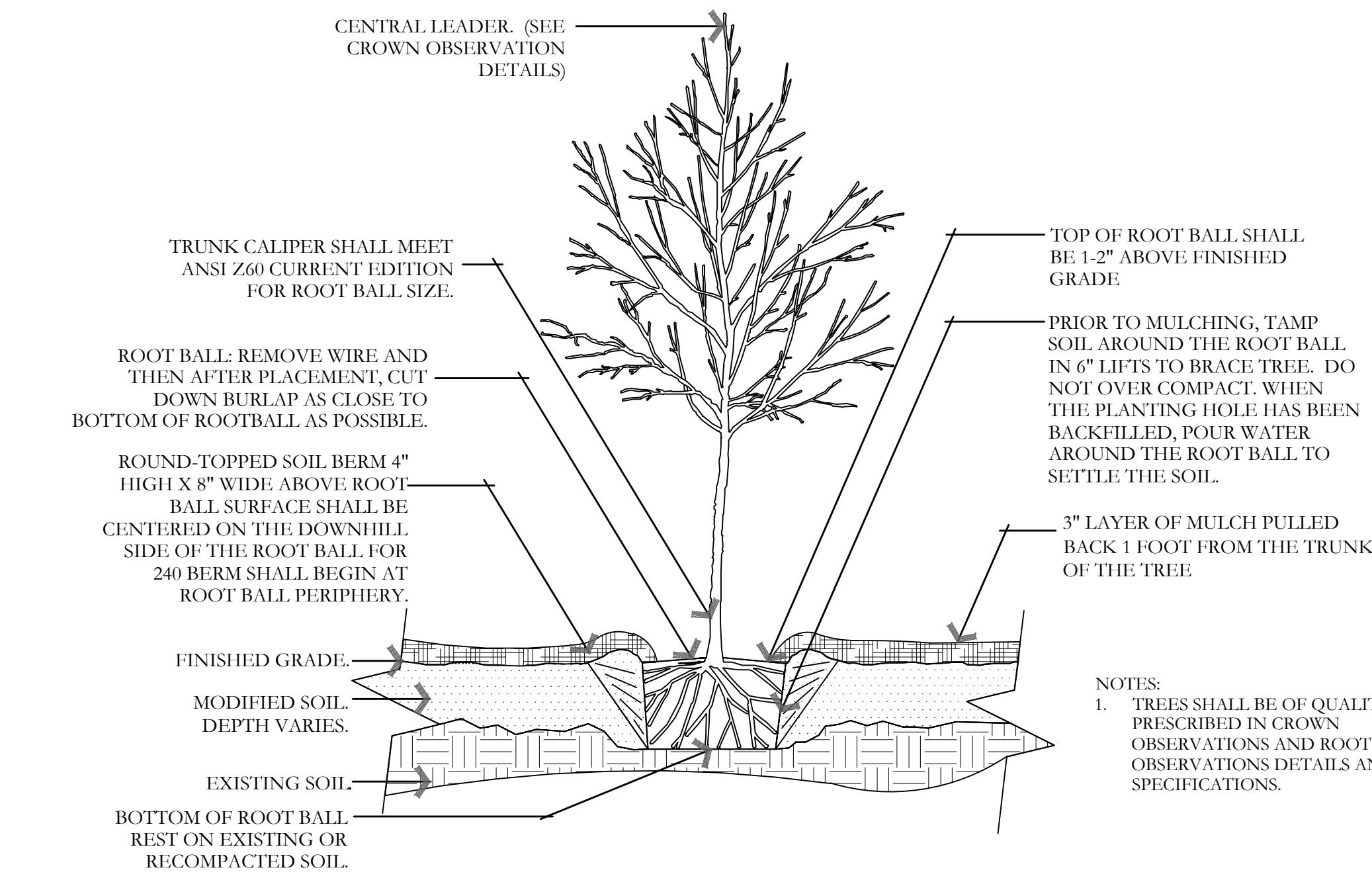
LP-102



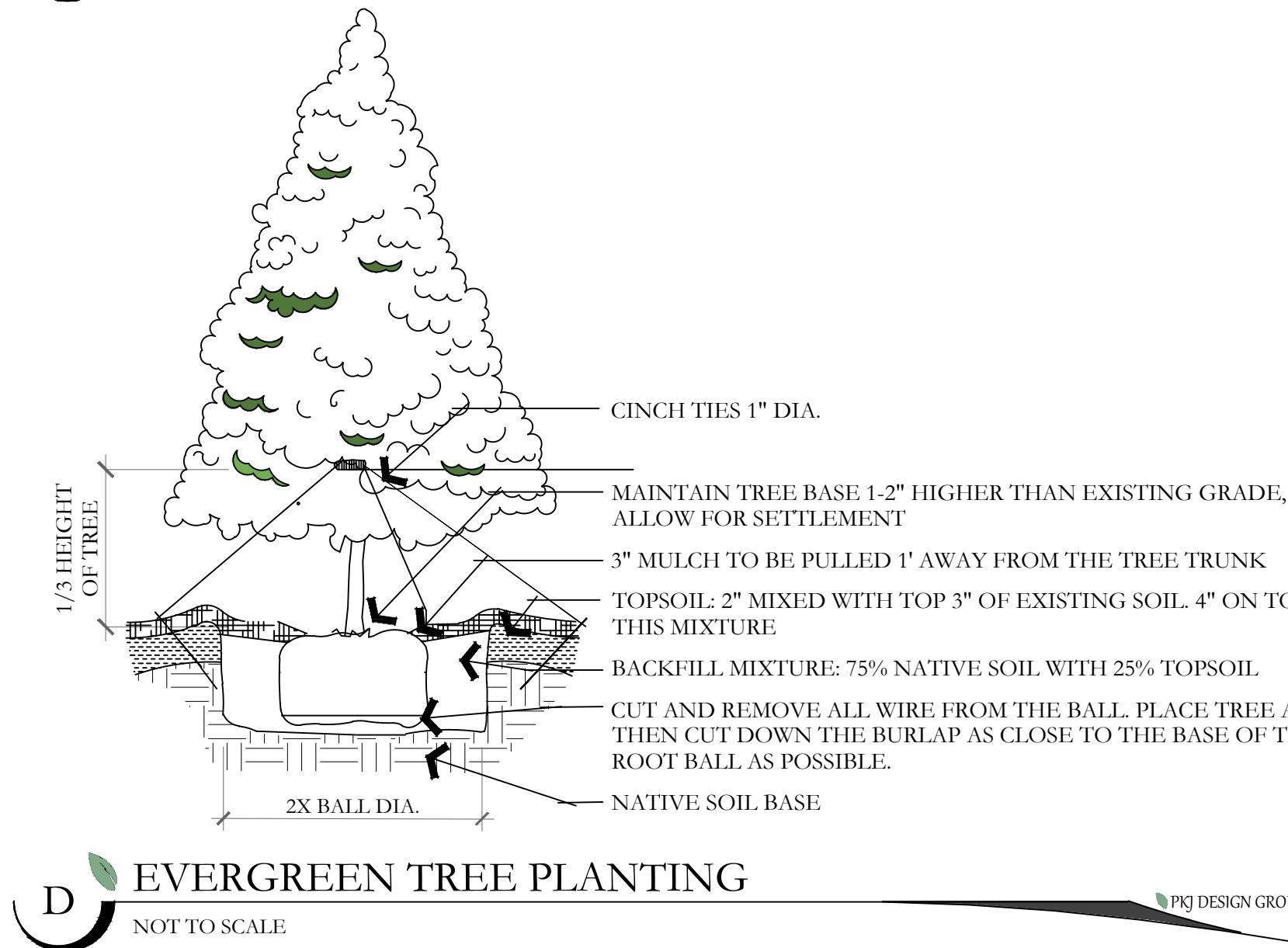
A DECIDUOUS TREE PLANTING
NOT TO SCALE



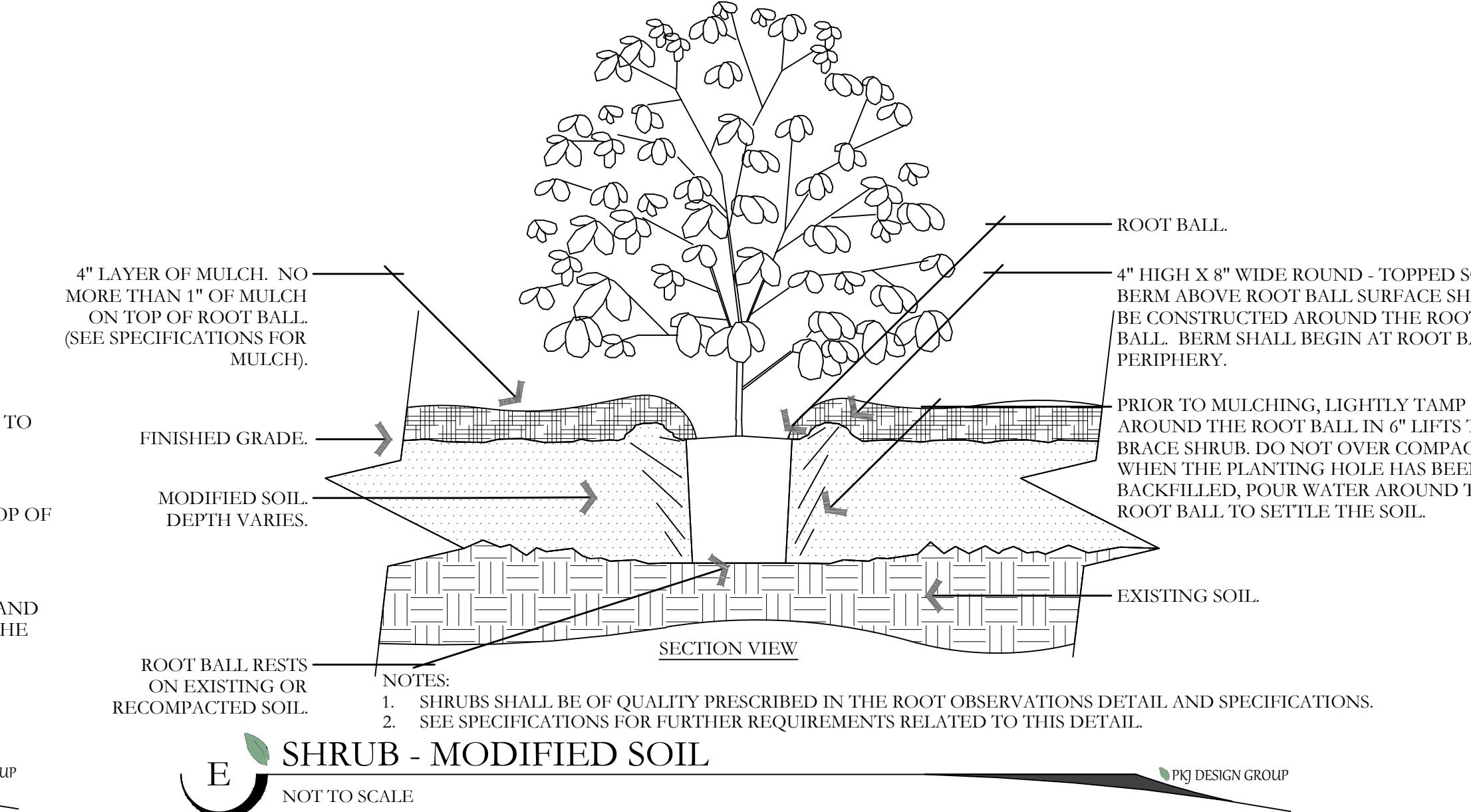
B TREE ON SLOPE 5% (20:1) TO 50% (2:1)
NOT TO SCALE



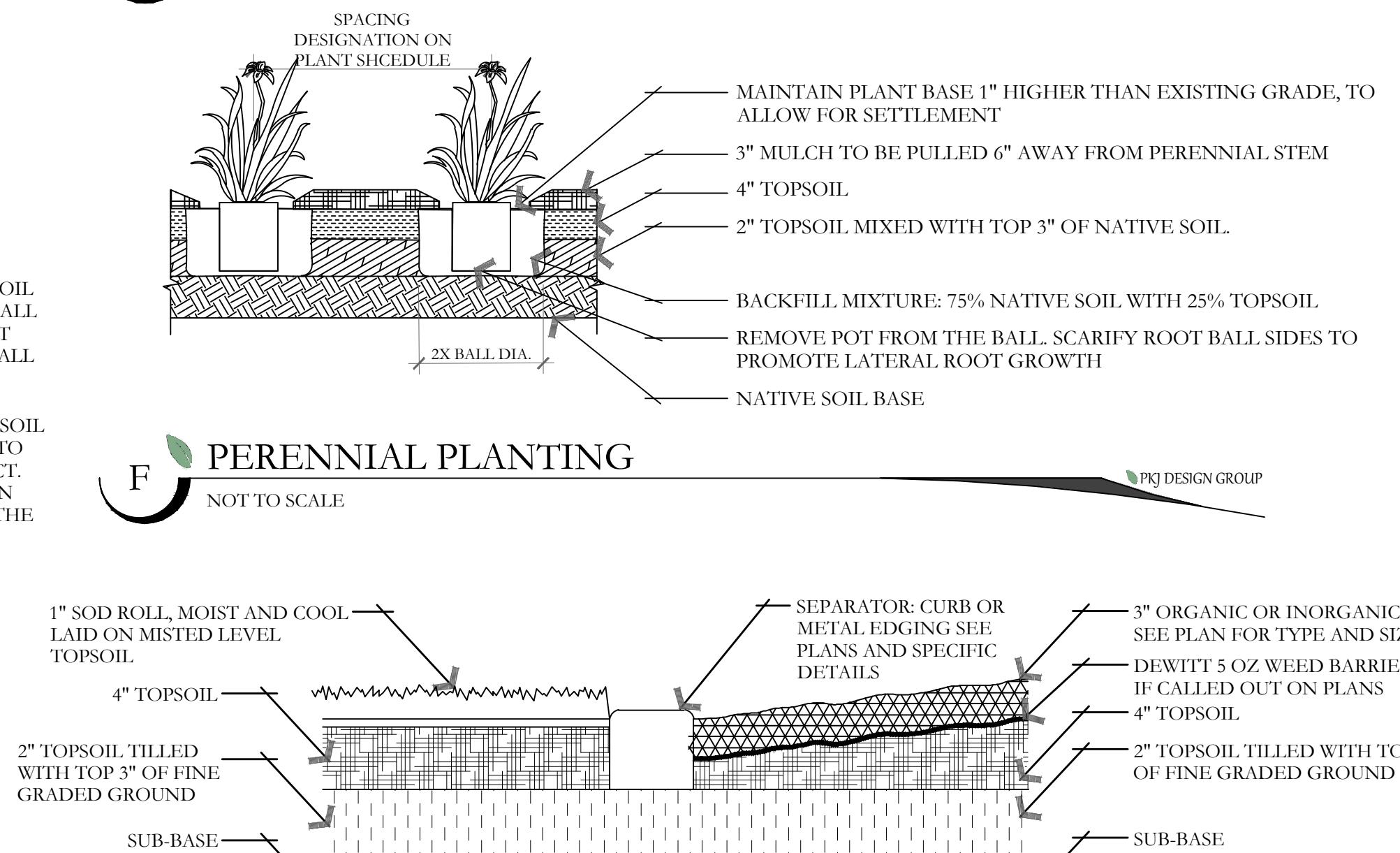
C TREE W/ BERM (EXISTING SOIL MODIFIED)
NOT TO SCALE



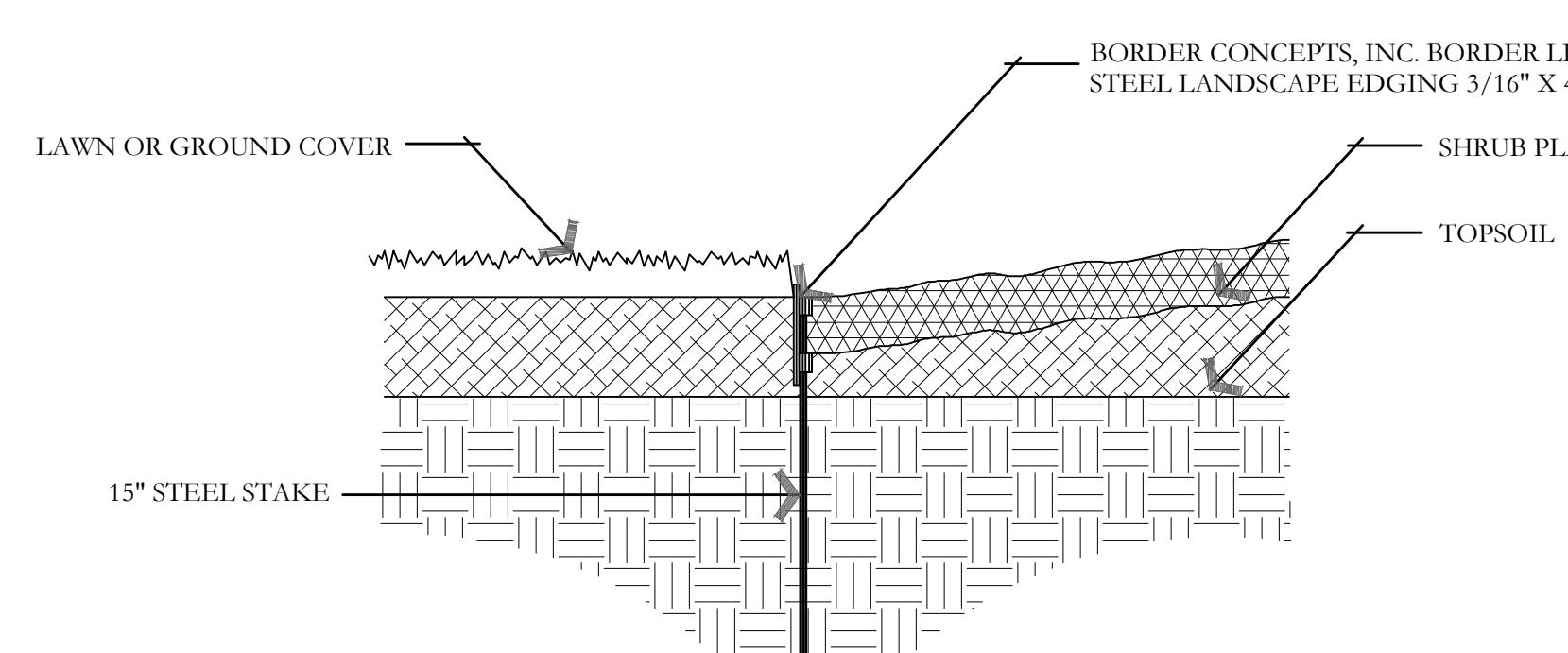
D EVERGREEN TREE PLANTING
NOT TO SCALE



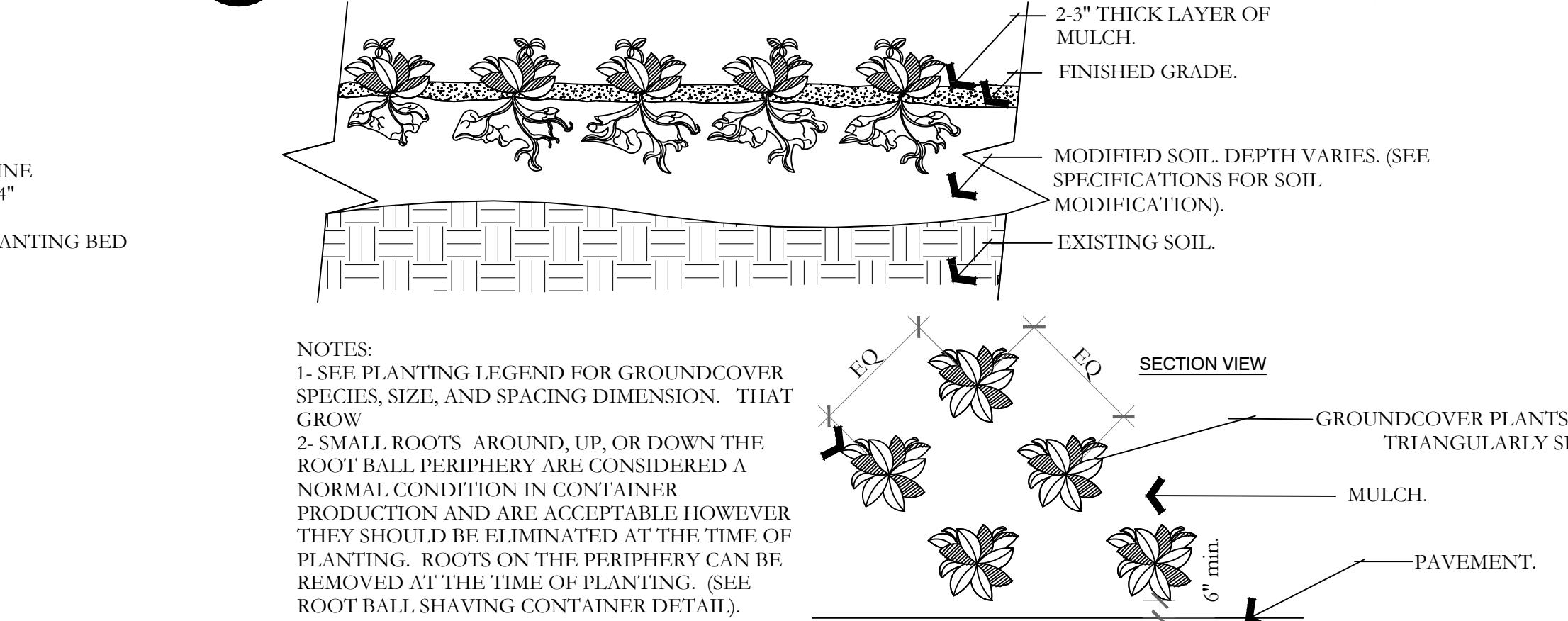
E SHRUB - MODIFIED SOIL
NOT TO SCALE



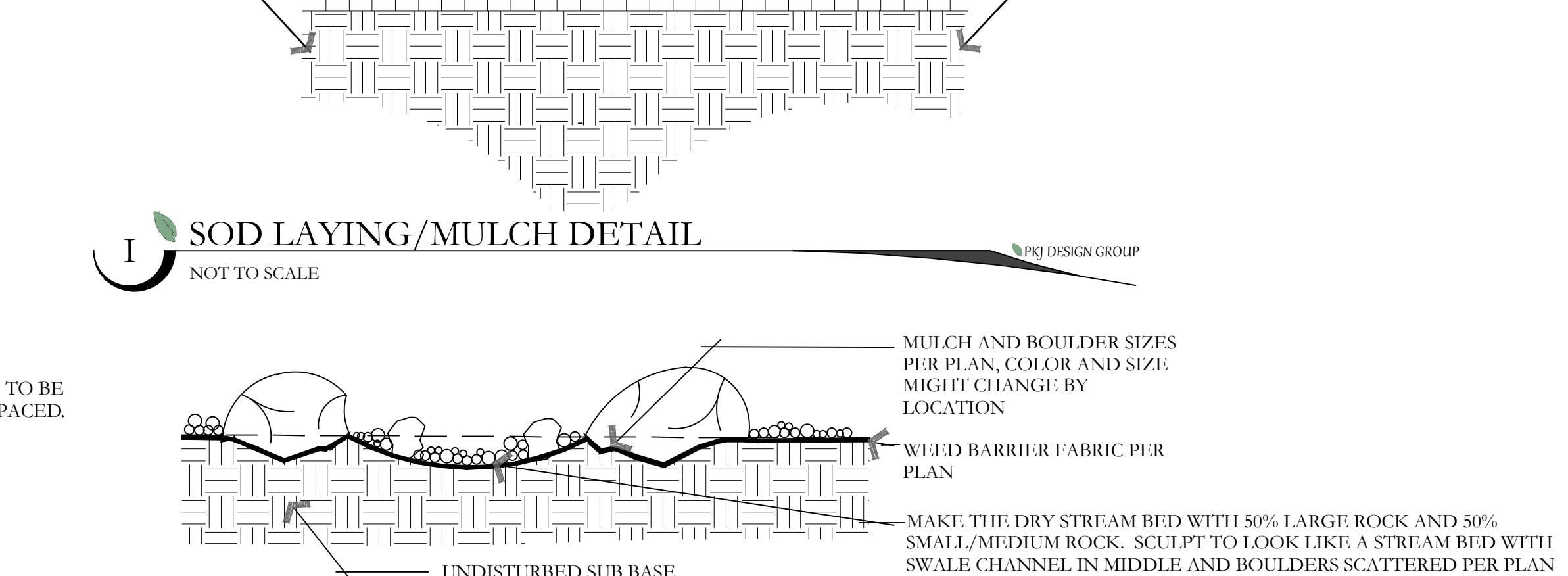
F PERENNIAL PLANTING
NOT TO SCALE



G METAL EDGING DETAIL
NOT TO SCALE



H PERENNIAL/GROUNDCOVER PLANTING
NOT TO SCALE



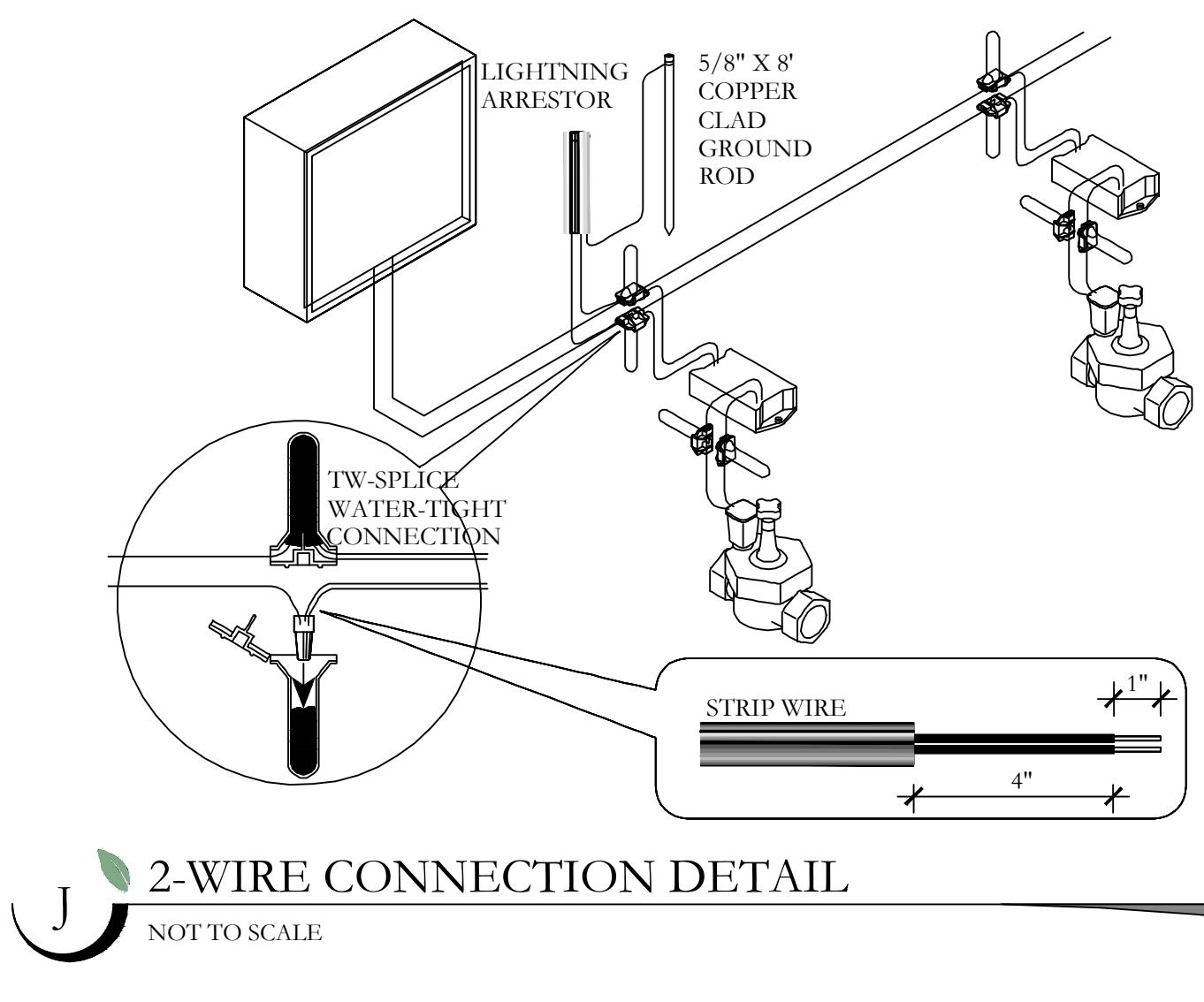
I SOD LAYING/MULCH DETAIL
NOT TO SCALE

J BOULDER AND DRY STREAM BED DETAIL
NOT TO SCALE

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION
3/27/2025	UT21037		1
		811	BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.blueslates.org
NO.	REVISION	DATE	
1	CITY COMMENTS	03-27-2025	
2			
3			
4			
5			
6			
7			

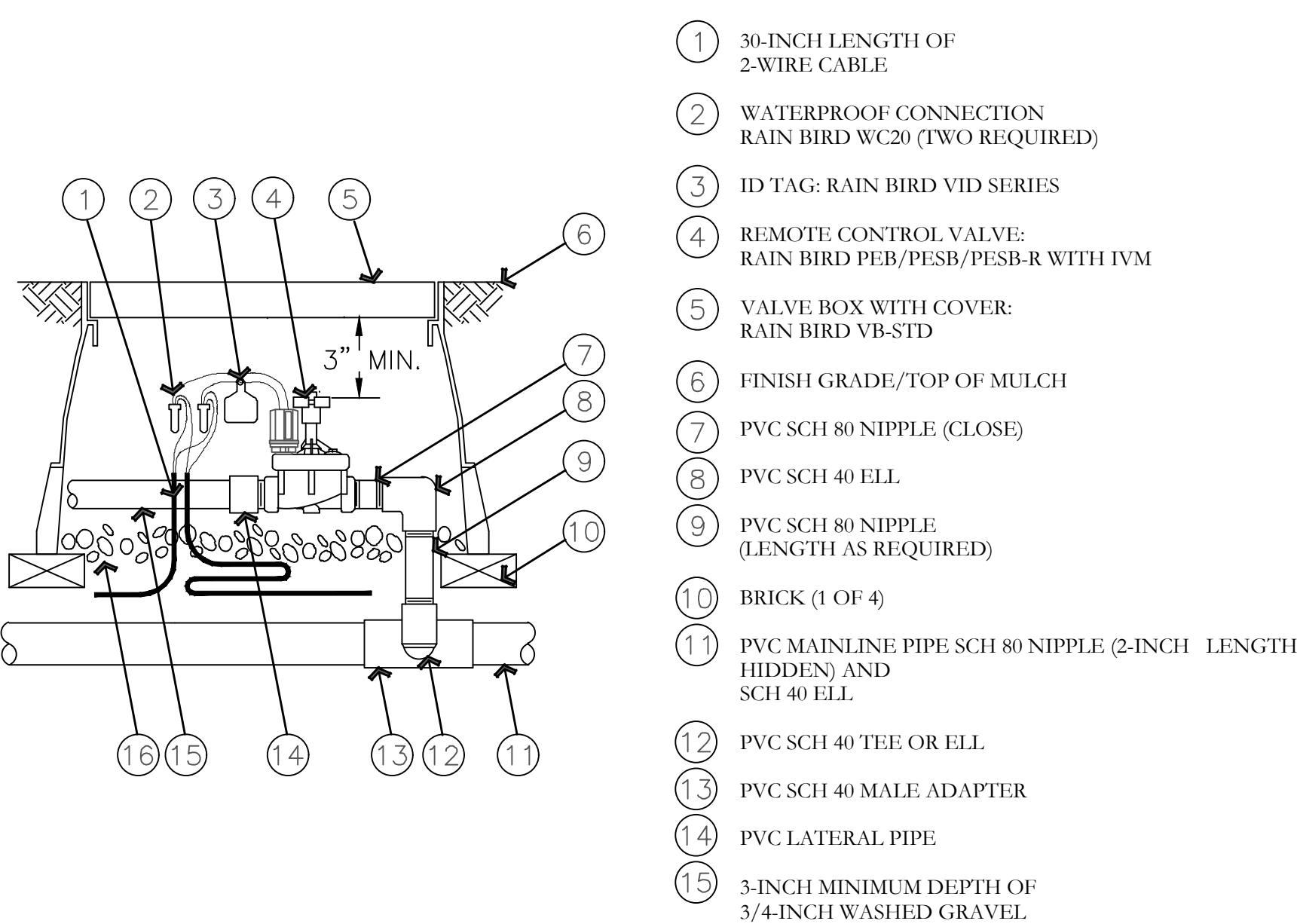
AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
Property Owner: AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455	Landscape Architect / Planner: PKJ DESIGN GROUP Landscape Architecture, Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com	PK: JTA DRAWN: KBA CHECKED: JMA PLOT DATE: 3/27/2025	
Architect / Engineer: CIR CIVIL ENGINEERING 3032 SOUTH 1030 WEST, SUITE 202 SALT LAKE CITY, UT 84119 801-949-6296			
			LANDSCAPE DETAILS



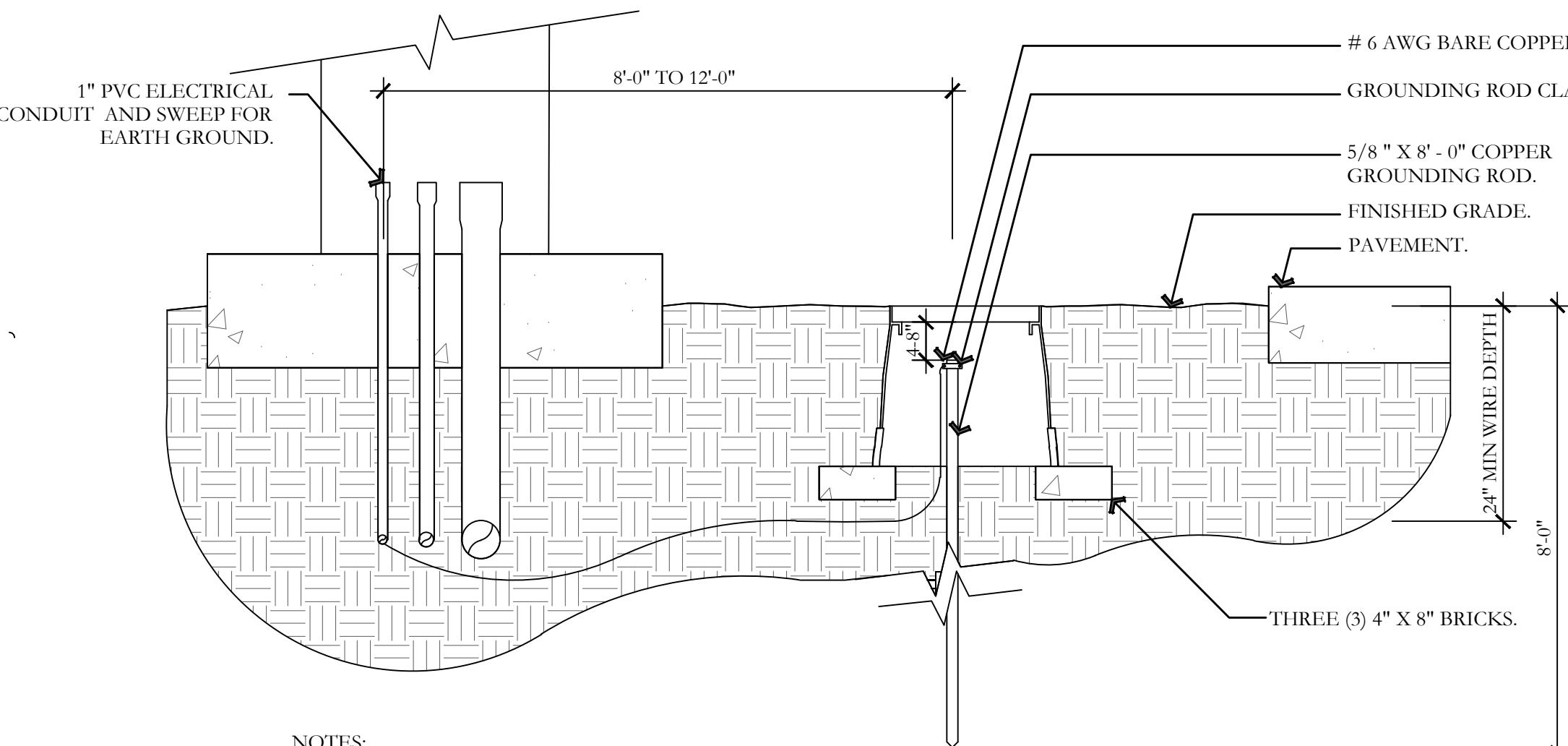
J 2-WIRE CONNECTION DETAIL

NOT TO SCALE



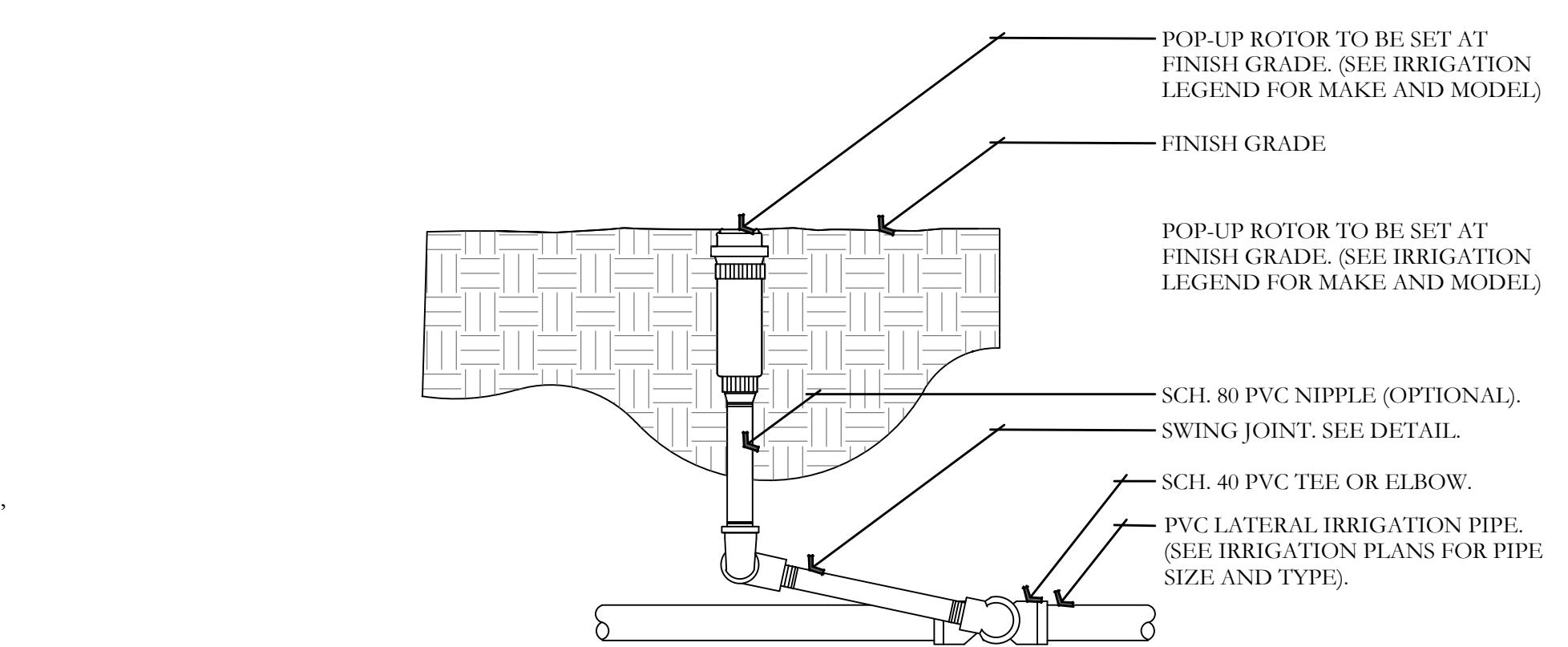
M ELECTRIC REMOTE-CONTROL VALVE
PEB OR PESB SERIES WITH IVM

NOT TO SCALE



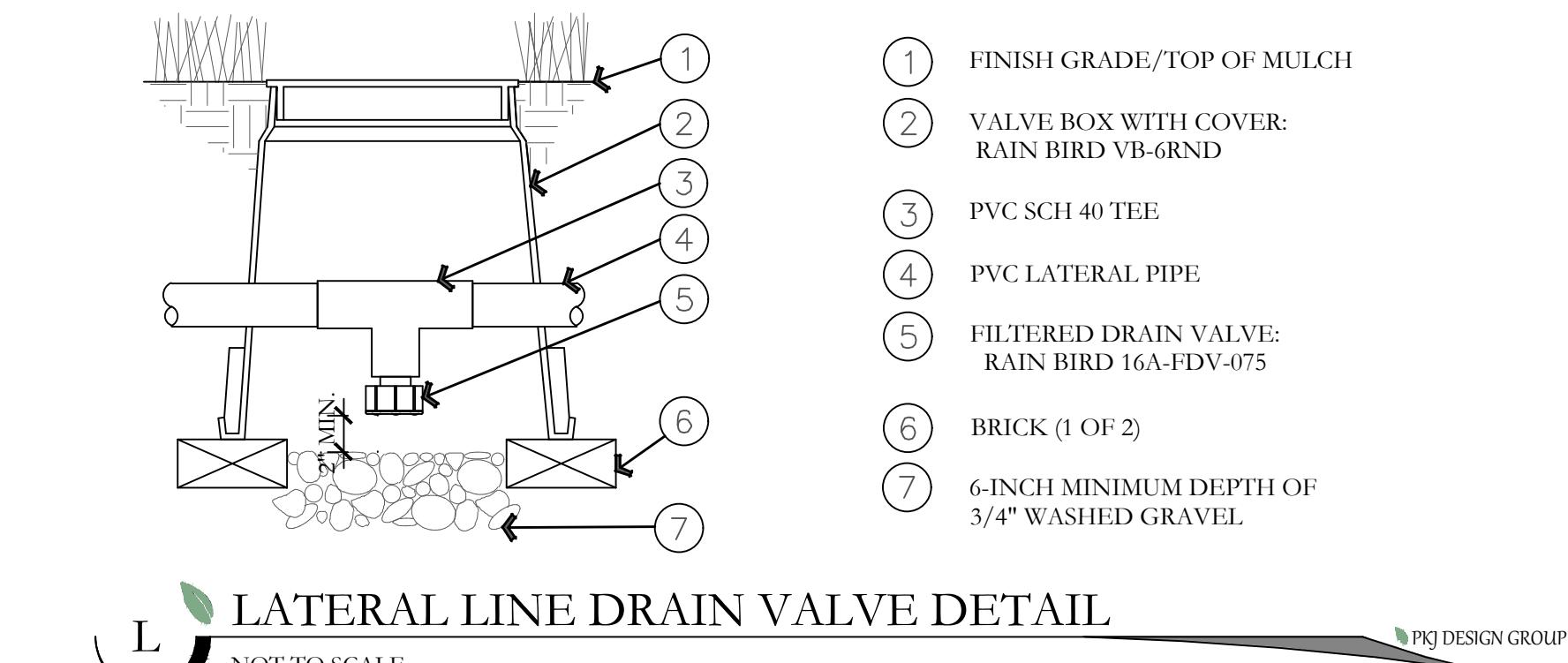
K GROUNDING ROD DETAIL

NOT TO SCALE



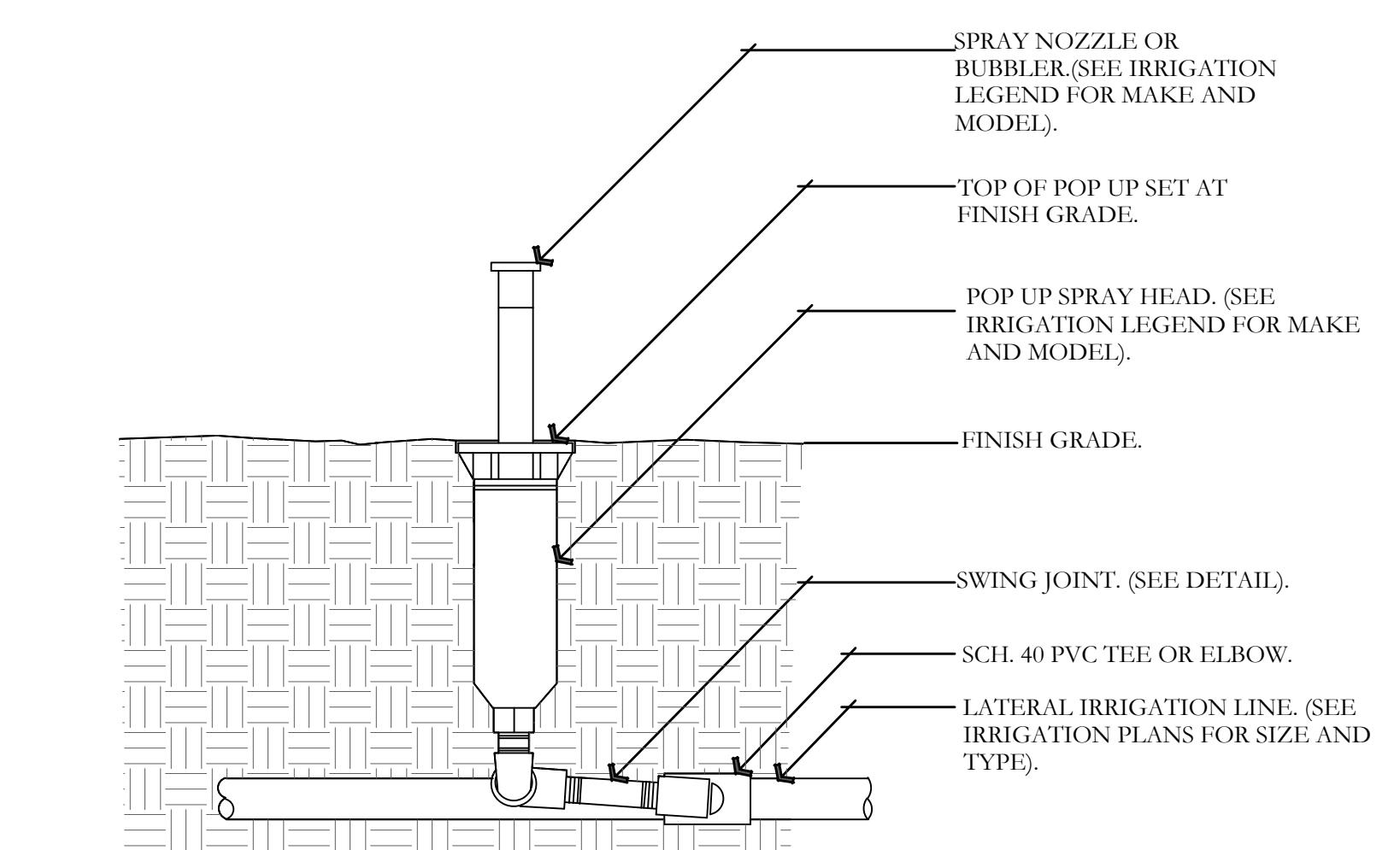
N ROTOR SPRAYHEAD DETAIL

NOT TO SCALE



L LATERAL LINE DRAIN VALVE DETAIL

NOT TO SCALE



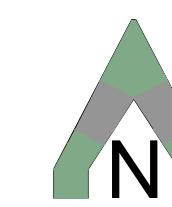
O POP UP-SPRAY HEAD DETAIL

NOT TO SCALE

NOTE:
 1. ALL POP UPS SHALL BE USED IN TURF AREAS.
 2. CONTRACTOR SHALL SETTLE SOIL AROUND THE POP UP AFTER INSTALLATION.
 3. ALL POP UP SPRAY HEADS SHALL HAVE CHECK VALVES.
 4. ALL SCH. 40 PVC TO SCH. 80 PVC CONNECTIONS SHALL BE MADE USING TEFLOON TAPE.

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION
3/27/2025	UT21037	811
NO. REVISION	DATE	
1 CITY COMMENTS	03-27-2025	
2		
3		
4		
5		
6		
7		

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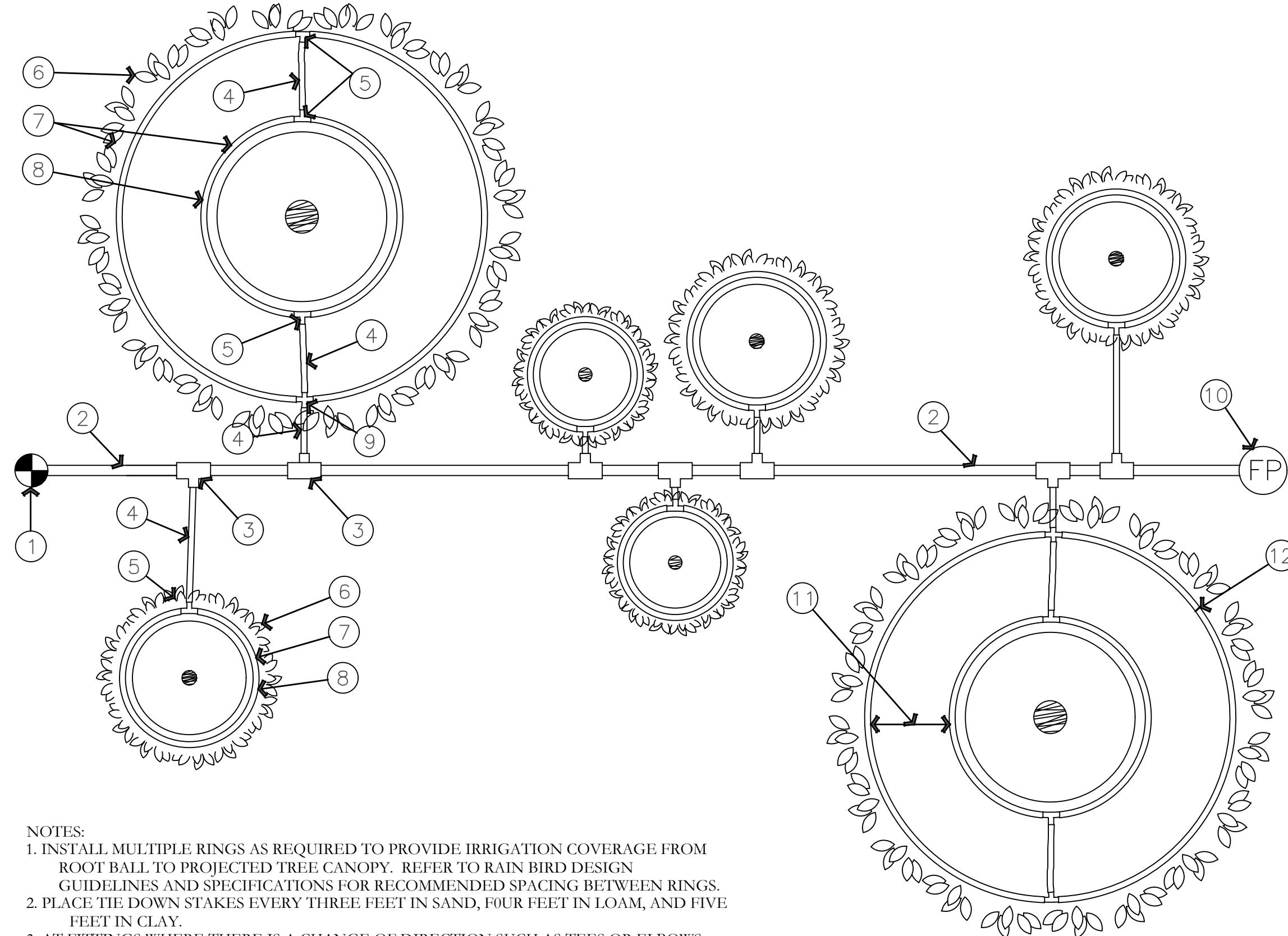
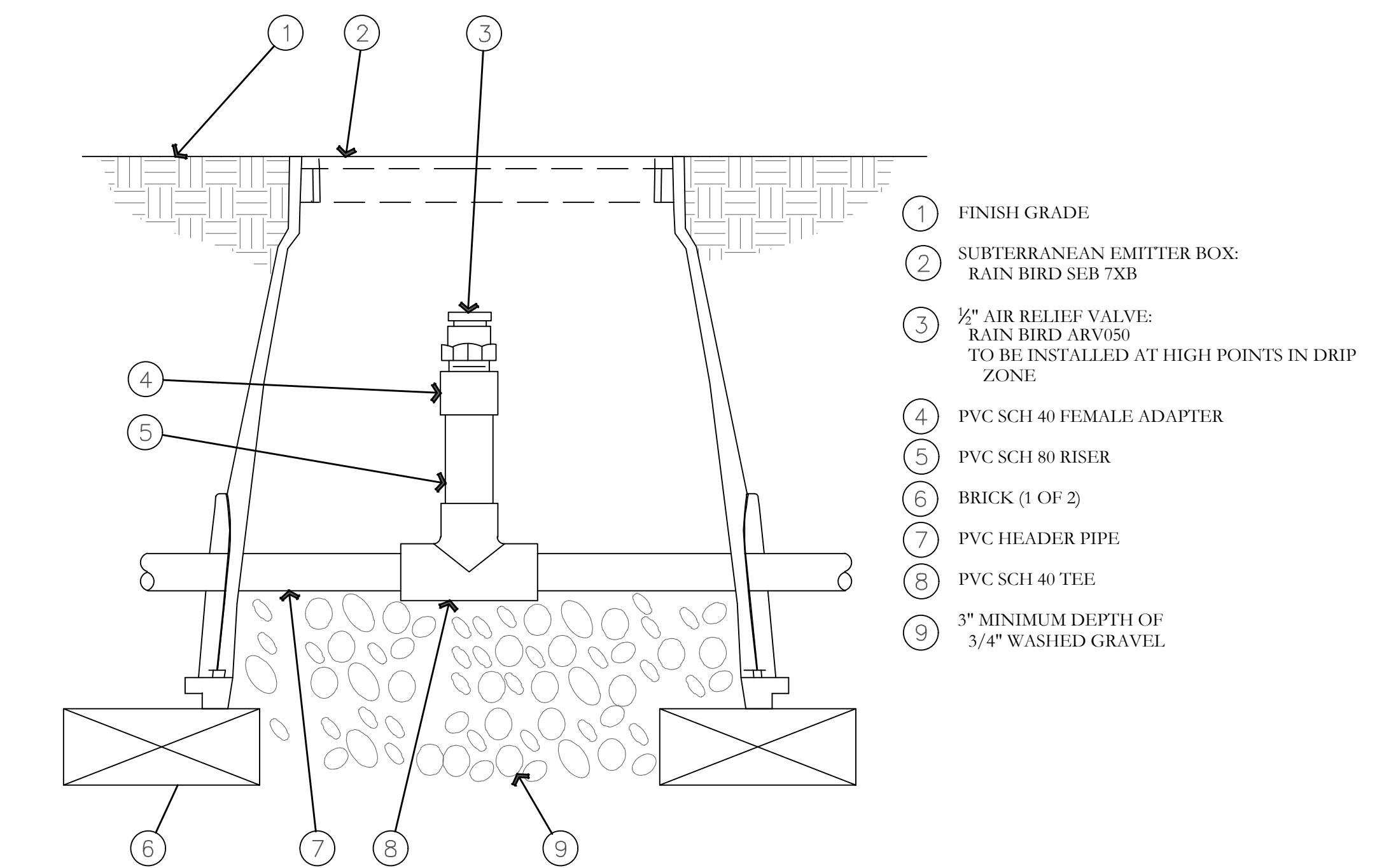
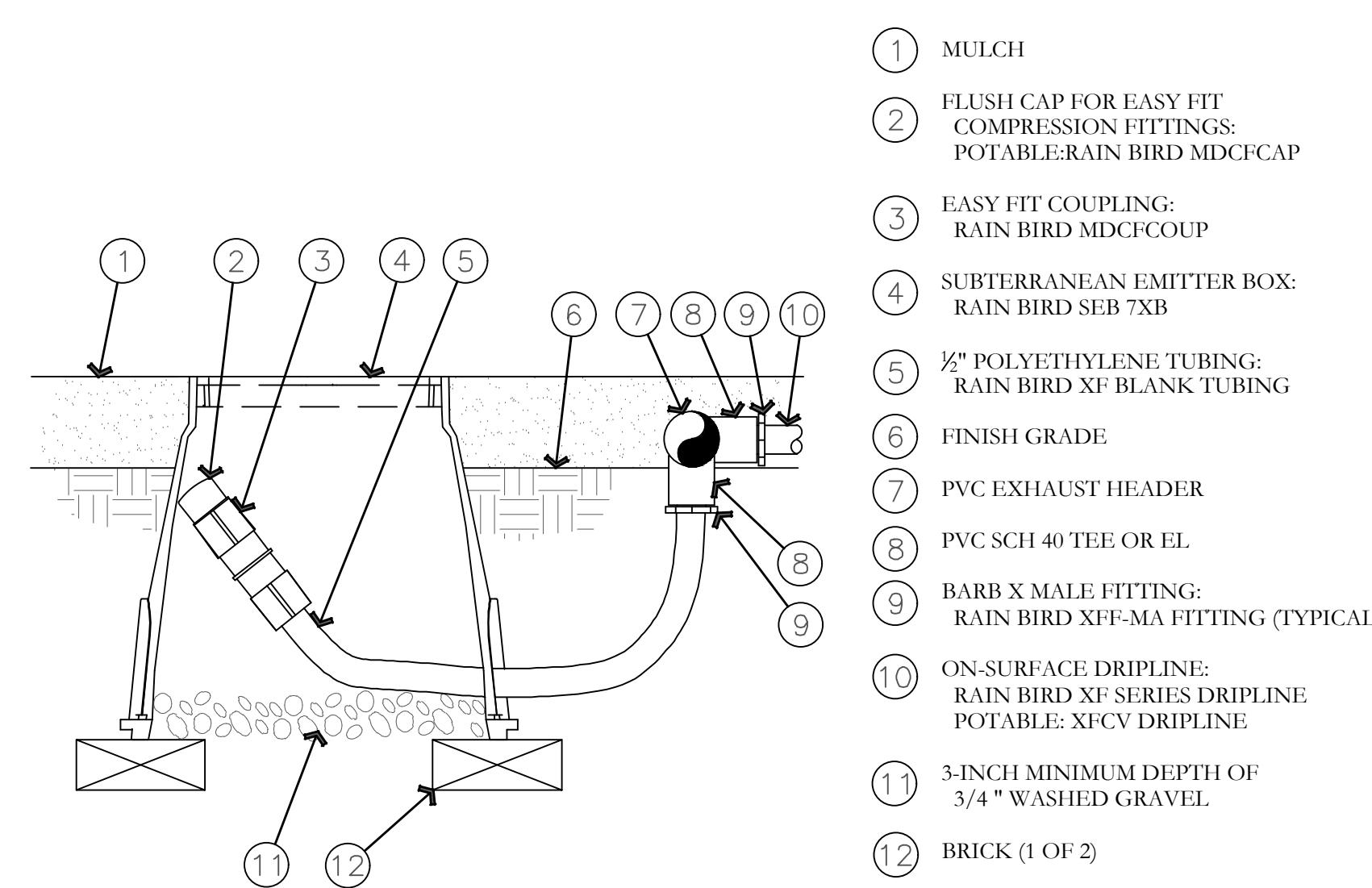
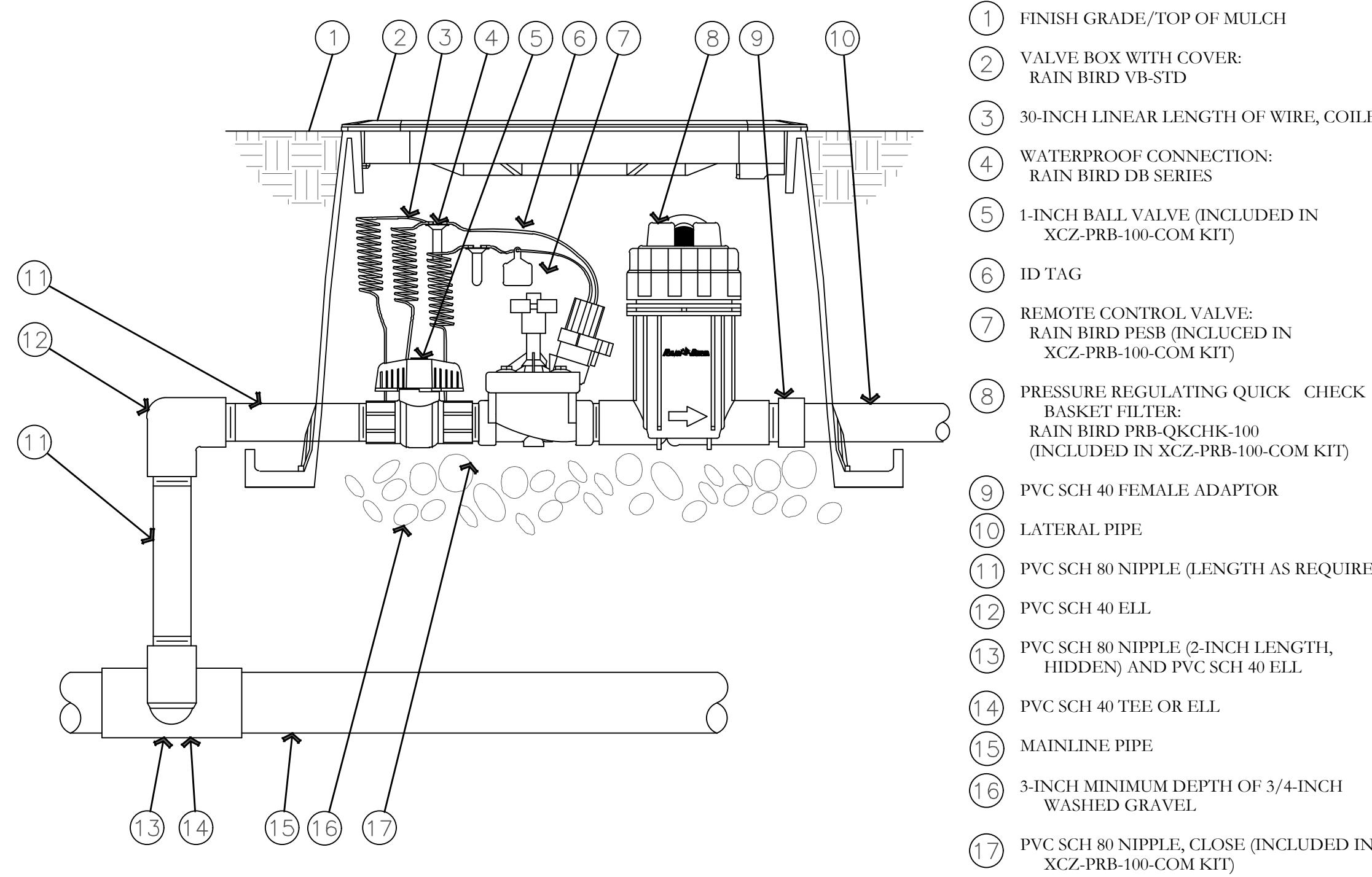


AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER
	Property Owner: AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455	PKJ DESIGN GROUP Landscape Architecture / Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com
	Architect / Engineer: CIR CIVIL ENGINEERING 3032 SOUTH 1030 WEST, SUITE 202 SALT LAKE CITY, UT 84119 801-949-6296	

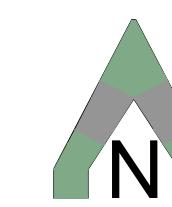
LICENSE STAMP	DRAWING INFO
JTA	PM:
AP	DRAWN:
KA	CHECKED:
3/27/2025	PLOT DATE:
PKJ DESIGN GROUP	IRRIGATION DETAILS

IR-502



1 RAIN BIRD CONTROL ZONE KIT (SIZED TO ACCOMMODATE LATERAL FLOW DEMAND)
2 PVC Drip MANIFOLD PIPE
3 PVC SCH 40 TEE OR EL (TYPICAL)
4 1/2" POLYETHYLENE TUBING: RAIN BIRD XF-SERIES BLANK TUBING (TYPICAL)
5 BARB X BARB INSERT TEE: RAIN BIRD XFF-TEE (TYPICAL)
6 PROJECTED CANOPY LINE OF TREE OR SHRUB (TYPICAL)
7 ON-SURFACE DRIPLINE: RAIN BIRD XF-SERIES DRIPLINE POTABLE: XFCV SERIES PLACE AS SHOWN (LENGTH AS REQUIRED, TYPICAL)
8 ROOT BALL (TYPICAL)
9 BARB X BARB INSERT CROSS: RAIN BIRD XFD-CROSS (TYPICAL)
10 DRIPLINE FLUSH POINT (SEE RAIN BIRD DETAIL: "XFCV DRIPLINE FLUSH POINT WITH BALL VALVE")
11 SPACING PER SPECIFICATION
12 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED, SEE NOTES 2-3 BELOW)

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
3/27/2025	UT21037	1 811	1 811	Property Owner: AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455	LANDSCAPE ARCHITECT / PLANNER: PKJ DESIGN GROUP Landscape Architecture / Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com	JTA DRAWN: AP CHECKED: KA PLOT DATE: 3/27/2025	
NO.	REVISION	DATE		Architect / Engineer: CIR CIVIL ENGINEERING 3032 SOUTH 1030 WEST, SUITE 202 SALT LAKE CITY, UT 84119 801-949-6296			IRRIGATION DETAILS
1	CITY COMMENTS	03-27-2025					IR-503
2							
3							
4							
5							
6							

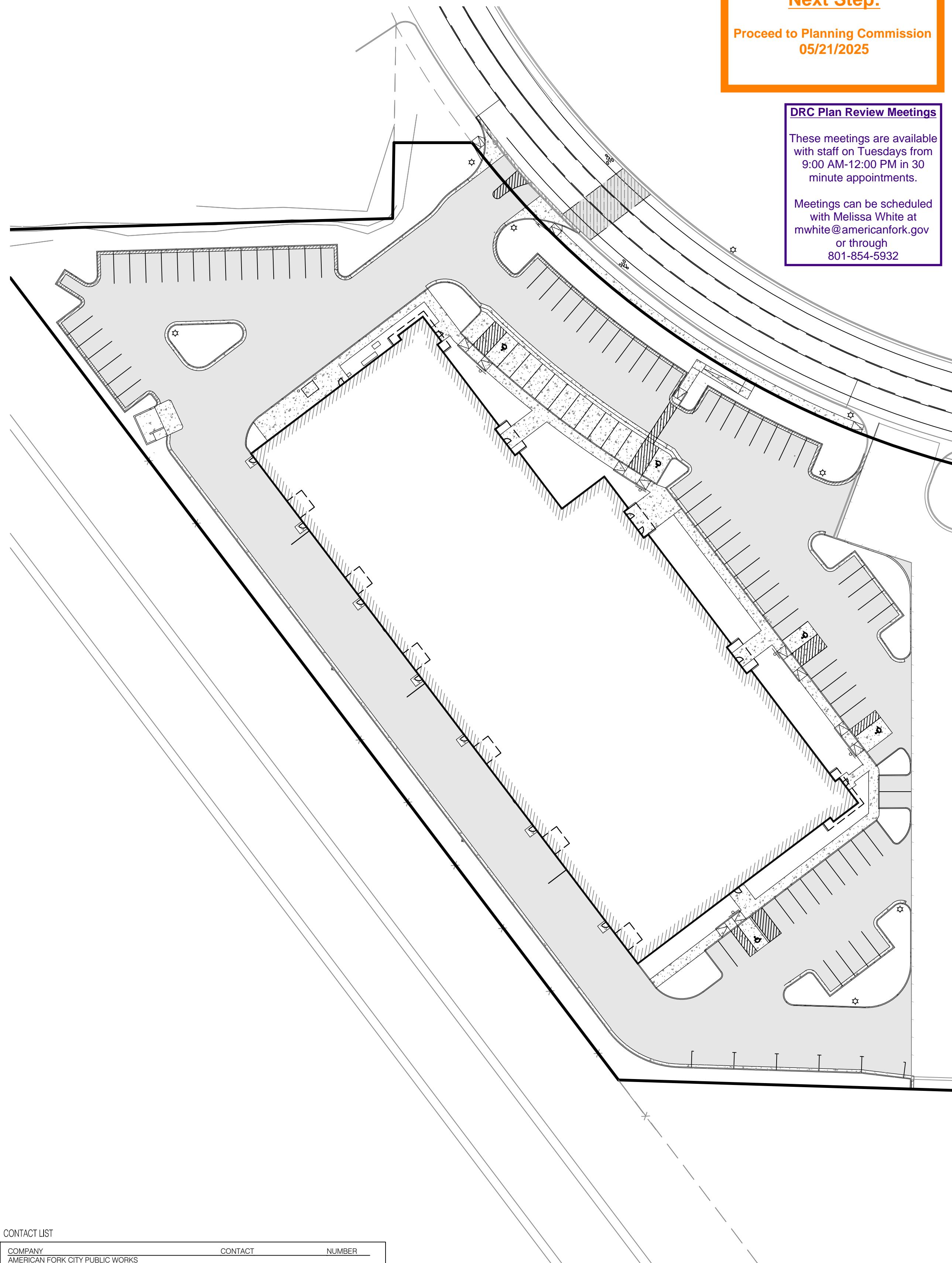


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AMERICAN FORK, UTAH

AMERICAN FORK OFFICE & WAREHOUSE

LOCATED IN THE NORTHWEST QUARTER OF SECTION 25,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH



Swppp contact is
Tyler Mezenen

Next Step:

Proceed to Planning Commission
05/21/2025

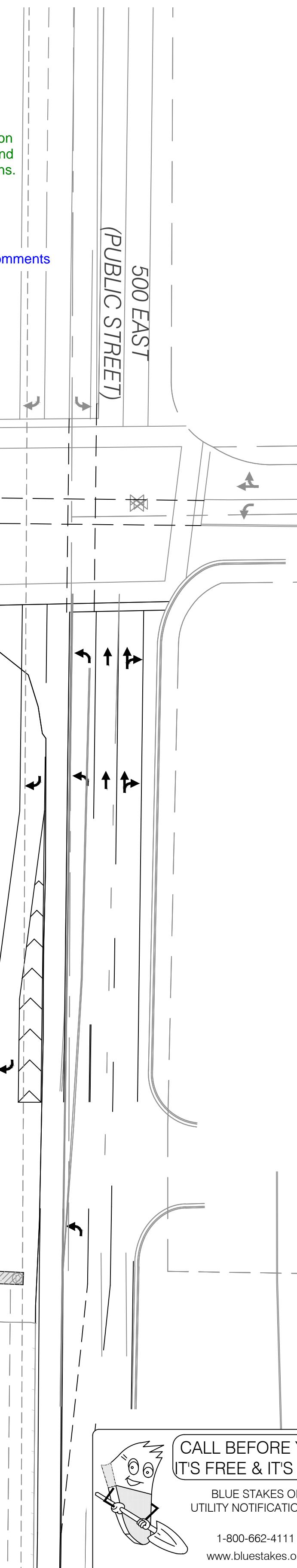
DRC Plan Review Meetings

These meetings are available with staff on Tuesdays from 9:00 AM-12:00 PM in 30 minute appointments. Meetings can be scheduled with Melissa White at mwhite@americanfork.gov or through 801-854-5932

American Fork City Development Review	
EC/LID Reviewed tmezenen 04/21/2025	Water/PI Division Reviewed jbrems 04/30/2025
Sewer/Storm Drain Division Reviewed ahardy 04/23/2025	Planning and Zoning Reviewed copperman 04/30/2025
Public Infrastructure Reviewed dhoward 04/28/2025	Fire Department Reviewed M. Sacco 04/30/2025
	Engineering Division Reviewed rburkhill 04/28/2025
	Streets Division Reviewed ehyde 04/30/2025

See comments on
sheet CSP.01 and
landscaping plans.

No comments



IMPERVIOUS AREA: 139,137 S.F.
LANDSCAPE RATIO: 0.16



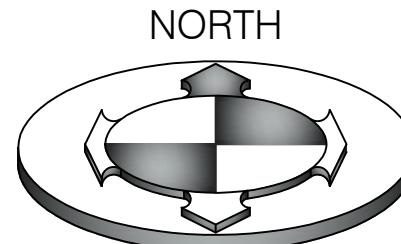
Re-Submittal Acknowledgment Statement

The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

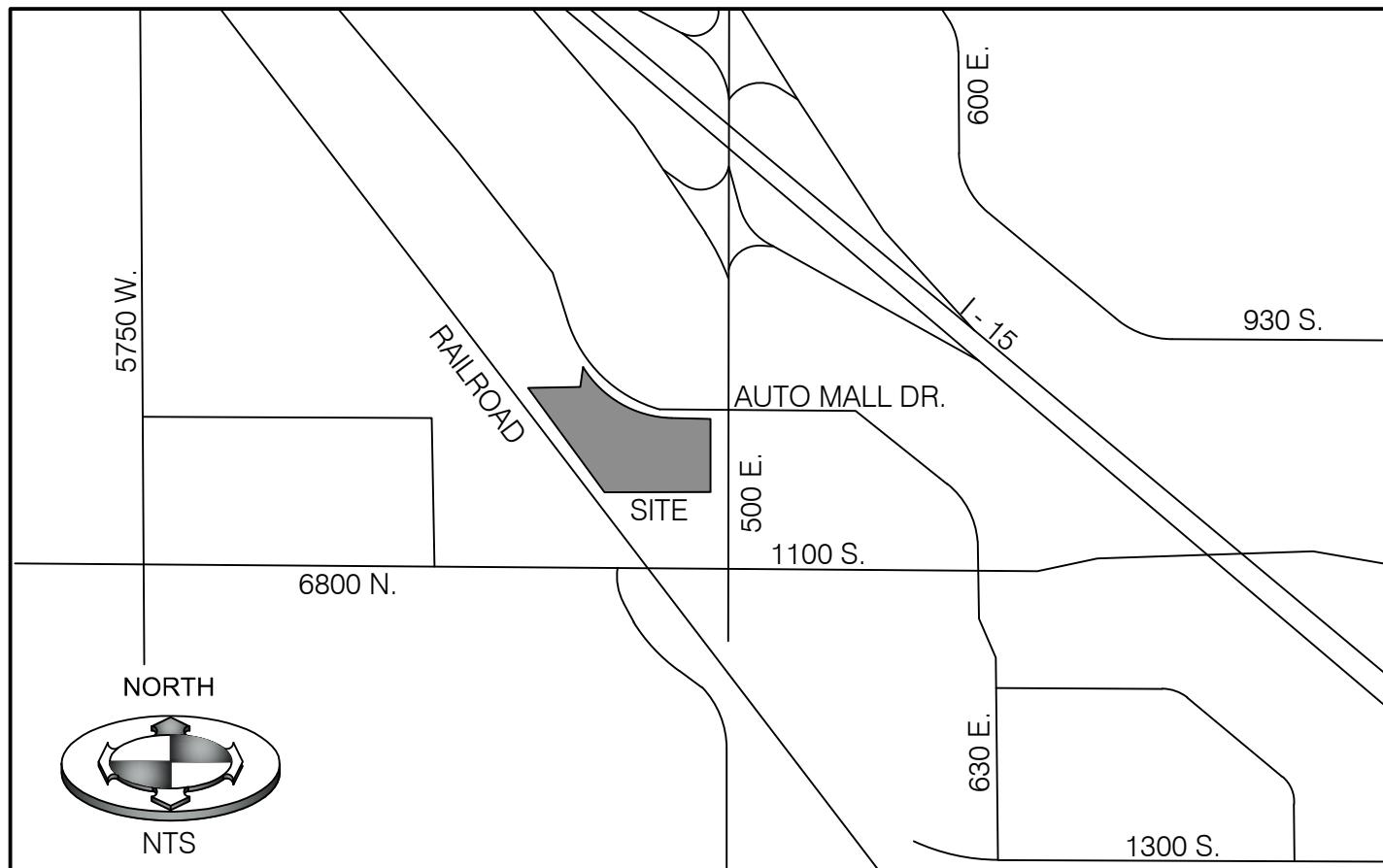
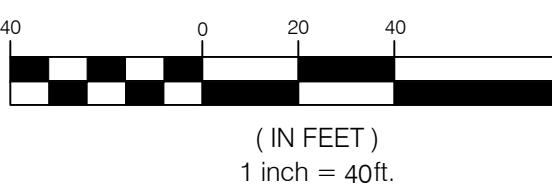
[Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.

[Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

[Applicant Initial] This is the _____ [Ex: 1st] complete re-submittal of the subdivision constituting the start of the _____ [Same Number] Review Cycle.



GRAPHIC SCALE



VICINITY MAP
N.T.S.

OWNER/DEVELOPER:
DAVIES DESIGN
JONATHAN JENSEN
240 NORTH 1200 EAST, SUITE 201
LEHI, UTAH 84043
801.592.6044
JON@DAVIESDESIGNBUILD.COM

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CGD.02	GRADING & DRAINAGE PLAN
SS-01	SIGNAGE AND STRIPING SHEET(BY OTHERS)
CSS.02	SIGNAGE AND STRIPING SHEET
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES
CDT.03	DETAILS & NOTES
CDT.04	DETAILS & NOTES
CDT.05	DETAILS & NOTES
CDT.06	DETAILS & NOTES
CDT.07	DETAILS & NOTES

CIVIL CONSTRUCTION PLANS

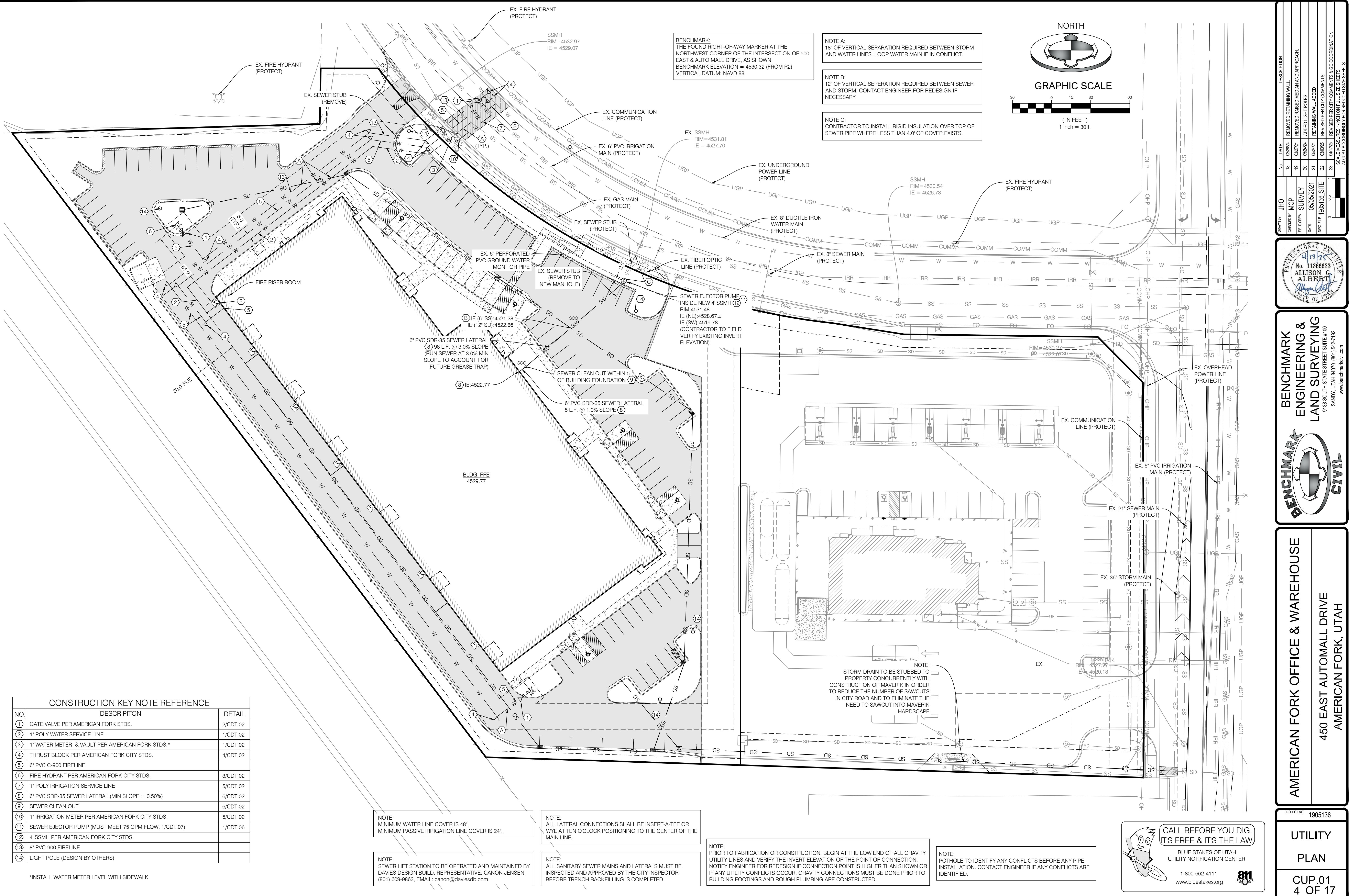
BENCHMARK CIVIL		BENCHMARK ENGINEERING & LAND SURVEYING	
		9138 SOUTH STATE STREET SUITE # 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com	PROJECT NO 1905136
AMERICAN FORK OFFICE/WAREHOUSE 450 EAST AUTOMALL DRIVE AMERICAN FORK CITY, UTAH	DRAFT DATE 05/01/2023	DESIGN DATE 07/27/2023	CHECK DATE 07/27/2023
DESCRIPTION			
No.	DATE		
18	02/28/24	REMOVED RETAINING WALL.	
19	03/27/24	REMOVED RAISED MEDIAN AND APPROACH.	
20	05/24/24	ADDED LIGHT POLES	
21	05/24/24	RETAINING WALL ADDED	
22	03/03/25	REVISED PER CITY COMMENTS	
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION	

COMPANY	CONTACT	NUMBER
AMERICAN FORK CITY PUBLIC WORKS		
• CULINARY/WATER/PRESSURIZED IRRIGATION	JAY BREMS	(801) 763-3060
• SEWER/STORM WATER	ASHTON HARDY	(801) 763-3060
• CITY INSPECTOR	DEE HOWARD	(801) 763-3060
• SWPPP INSPECTOR	DEAN ELSLON	(801) 763-3060
AMERICAN FORK CITY FIRE MARSHALL	MAT SACCO	(801) 471-6524
AF FIBER	KYLE PETERSON	(801) 400-2933
AMERICAN FORK IRRIGATION COMPANY	ERIN JOHN	(801) 471-6576
CENTURY LINK	BLA WESTFALL	(432) 623-4252
DOMINION ENERGY	LYNN DEEZ	(801) 756-6517
ROCKY MOUNTAIN POWER	TRENT JOHNSON	(801) 853-6548
TIMPANOGOS SPECIAL SERVICE DISTRICT	TERI WALKER	(801) 756-1310
MITCHELL HOLLOW IRRIGATION CO	DAVID BARLOW	(801) 768-5231
	DALE JONES	(801) 768-8150

COVER

1 OF 17

BENCHMARK ENGINEERING CONTACT: ALLISON G. ALBERT, PE





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1-800-662-4111
www.bluestakes.org

81

GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
②	8" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
③	24" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
④	STORM DRAIN INLET BOX PER AMERICAN FORK STDS.	1/CDT.04
⑤	3X3 CATCH BASIN	2/CDT.03
⑥	ACC STORM BRIXX UNDERGROUND SYSTEM	1/CDT.05
⑦	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑧	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑨	PRE-TREATMENT DEVICE (OLDCASTLE 1500 GAL. OR EQUAL)	2/CDT.04
⑩	4" DIAMETER HDPE ADS N-12 ROOF DRAIN LINE	
⑪	ACCESS PORT	1/CDT.05

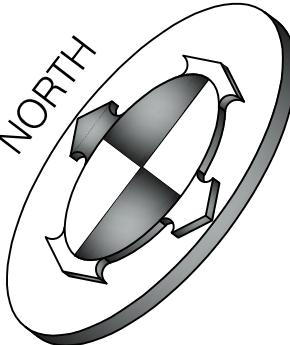
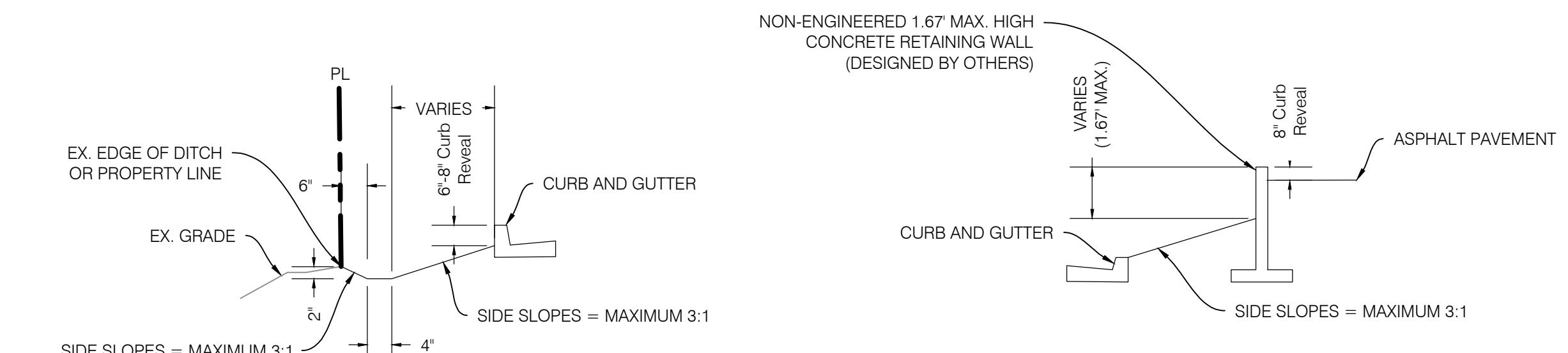
BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE
NORTHWEST RIGHT-OF-WAY MARKER AT THE
NORTHWEST CORNER OF THE INTERSECTION OF 500
EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)
VERTICAL DATUM: NAVD 88

NOTE:
MINIMUM STORM DRAIN PIPE COVER IS 24". NOTIFY
THE ENGINEER IF A REDESIGN IS NECESSARY.

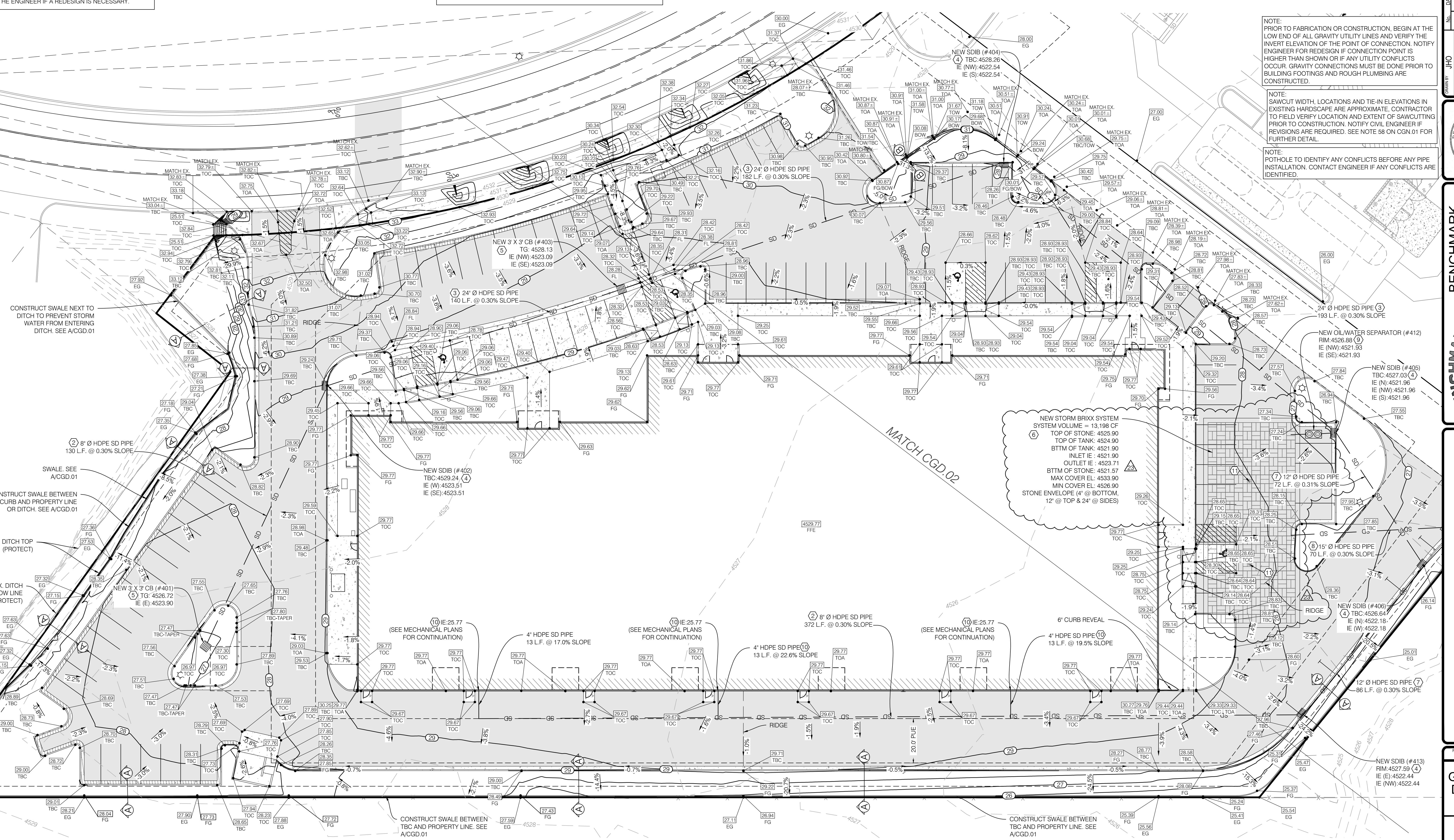
NO.	DESCRIPTION	DETAIL
⑫	ACO STORM BRIXX UNDERGROUND SYSTEM	1/CDT.05
⑬	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑭	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑮	PRE-TREATMENT DEVICE (OLDCASTLE 1500 GAL. OR EQUAL)	2/CDT.04
⑯	4" DIAMETER HDPE ADS N-12 ROOF DRAIN LINE	
⑰	ACCESS PORT	1/CDT.05

ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION
SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT
PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE
RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY
MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS
SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC
DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING.
THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE
PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD
IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON
ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND
SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR
SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE
DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION
SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY
ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED
PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.



GRAPHIC SCALE
(IN FEET)
1 inch = 20ft.



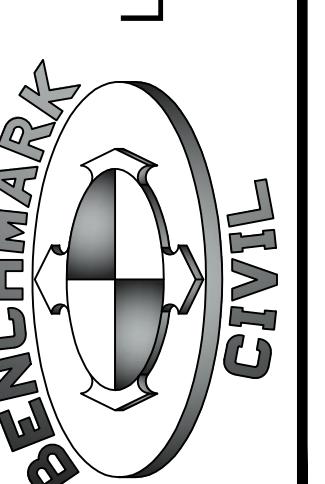
DRAWN BY	JHO
CHECKED BY	MCP
REVIEWED BY	FE
DATE	05/05/2021
FILE NUMBER	1905136
OWNER	450 EAST AUTOMALL DRIVE
CONTRACTOR	ALLISON G. ALBERT



450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136
GRADING &
DRAINAGE
PLAN
CGD.01
5 OF 17

9138 SOUTH STATE STREET SUITE 100
SANDY, UTAH 84070 (801) 542-7102
www.benchmarkcivil.com





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BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE
NORTHWEST CORNER OF THE INTERSECTION OF 500
EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)

GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
②	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
③	24" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
④	STORM DRAIN INLET BOX PER AMERICAN FORK STDS.	1/CDT.04
⑤	3X3' CATCH BASIN	2/CDT.03
⑥	ACO STORM BRIXX	1/CDT.05
⑦	4.4' Ø ORIFICE	3/CDT.03
⑧	4X4' STORM DRAIN CATCH BASIN W/ SOLID LID & BAFFLE WALL	3/CDT.03
⑨	15' Ø RCP CLASS-III STORM DRAIN LINE	
⑩	PRE-TREATMENT DEVICE (OLDCASTLE 1500 GAL. OR EQUAL)	2/CDT.04
⑪	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑫	8" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑬	5' Ø STORM DRAIN MANHOLE PER APWA #341.1	
⑭	ACCESS PORT	1/CDT.05

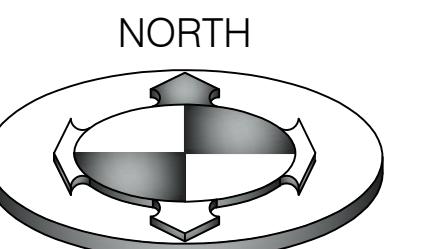
*ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

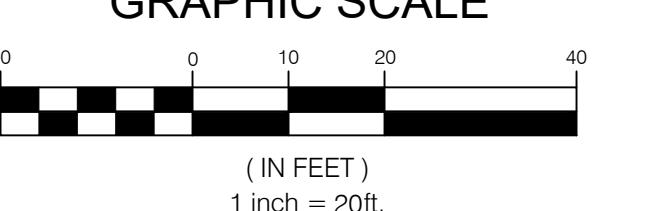
NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDCAPE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.



NORTH



GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

Storm Drain Pipe Hydraulic Calculations

Rational Method

$$Q = C_i A$$

Site Average C = 0.79
i = 1.09 * in/hr
A = 3.82
Q = 3.289402 cfs

Hydraulic Calculations - Manning's Equation

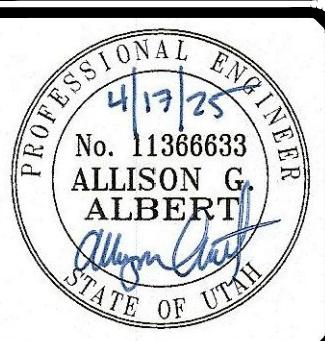
$$Q = \frac{k}{n} * A * R_h^{2/3} * S^{1/2}$$

Q = 3.289402 cfs
k = 1.486
S = 0.0030
n = 0.012 *
Required φ = 1.2 ft
Required φ = 14.2 in
R_o (@ full) = 3.54 in

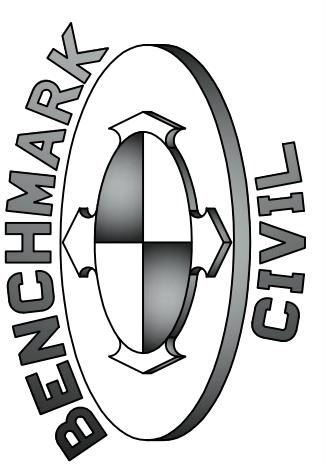
Recommended φ = 15 in
R_o (@ full) = 3.75 in

*Roughness coefficient and storm intensity values were obtained from the American Fork Storm Water Technical Manual. Calculations were done using values for the 25-year storm with 60 min time of concentration per American Fork Storm Water Technical Manual, Section 5.0.

DRAWN BY	JHO	No.	022924	DESCRIPTION
CHECKED BY	MCP	Date	02/29/24	REMOVED RETAINING WALL
FIELD CHECKED				REMOVED RETAINING WALL AND APPROACH
REVIEWED				
SUPERVISED				
DATE	05/05/2024			
FILE NUMBER	0905136 CGD.02			
OWNER	030305			
CONTRACTOR	041725			REVISED PER CITY COMMENTS & GC COORDINATION
SCALE	1:20			SCALE MEASURES 1/ANCHOR FOR REDUCED SIZE SHEETS
REVISIONS	0.5			ADJUST ACCORDINGLY



PROFESSIONAL ENGINEER
413
25
11366633
ALLISON G. ALBERT
Signature



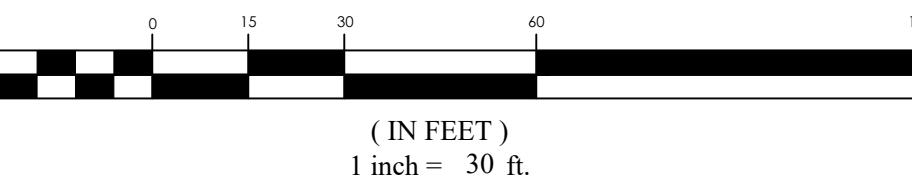
AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH
9138 SOUTH STATE STREET SUITE 100
SANDY, UTAH 84070 (801) 542-7102
www.benchmarkcivil.com

PROJECT NO. 1905136
GRADING &
DRAINAGE
PLAN
CGD.02
6 OF 17

EEERING AND SURVEYING, LLC
949 S. HIGH TECH DRIVE SUITE 200
WALTE, UTAH 84047 PH: (801) 352-0075
www.focus-es.com



GRAPHIC SCALE

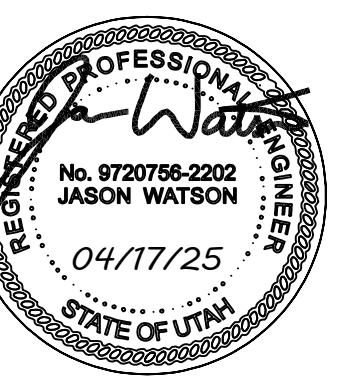


AUTO MALL DRIVE STRIPPING

AMERICAN FONK LTD

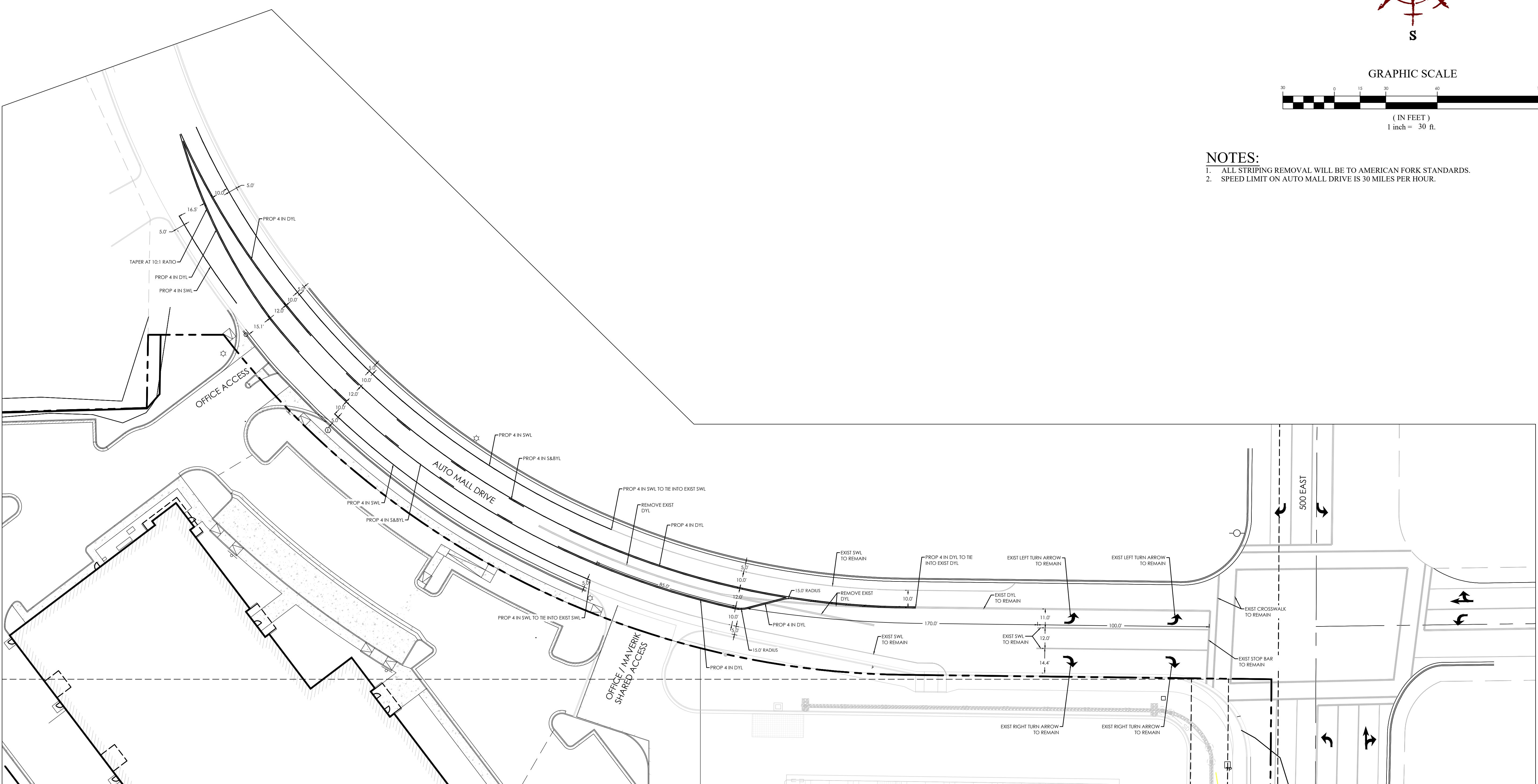
AMERICAN FORK, UT

SPRING



NOTES:

ALL STRIPING REMOVAL WILL BE TO AMERICAN FORK STANDARDS.
SPEED LIMIT ON AUTO MALL DRIVE IS 30 MILES PER HOUR.



STRIPING KEY:

<u>STRIPPING KEYS</u>	
SWL	- SOLID WHITE LINE
SYL	- SOLID YELLOW LINE
DYL	- DOUBLE YELLOW LINE
BWL	- BROKEN WHITE LINE
DWL	- DOTTED WHITE LINE
LDL	- LANE DROP LINE
S&BYL	- SOLID AND BROKEN YELLOW LINE
SL	- STOP LINE

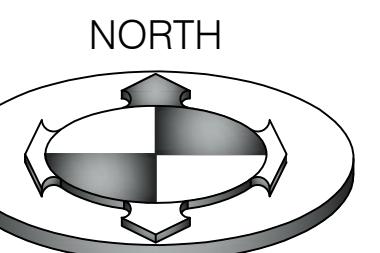


Now what's below.
Call 811 before you dig.

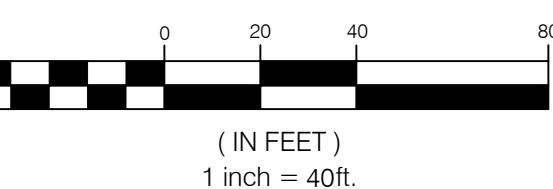
STRIPPING

7 OF 17

1"=30'	Drawn:	TJD
4/16/25	Job #:	25-8009



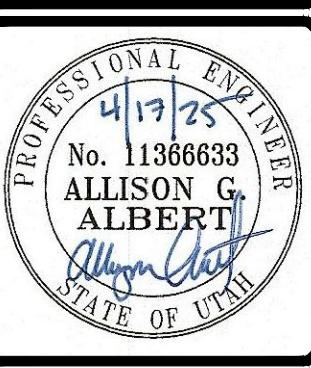
GRAPHIC SCALE



NOTE:
EXISTING IMPROVEMENTS NEED TO MEET AMERICAN FORK CITY STANDARD AND QUALITY.

NOTE:
ALL WORK WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS & SPECIFICATIONS.

DRAWN BY		NO.	DATE	DESCRIPTION
JHO		18	02/24	REMOVED RETAINING WALL
		19	02/24	REMOVED RAISED MEDIAN AND APPROACH
		20	05/24	ADDED LIGHT POLES
		21	05/24	RETAINING WALL ADDED
		22	03/25	REVISED PER CITY COMMENTS & GC COORDINATION
		23	04/25	SCALE MEASURES - EACH OF FULL SIZE SHEETS ADJUST ACCORDINGLY OR REDUCE SHEET SIZE



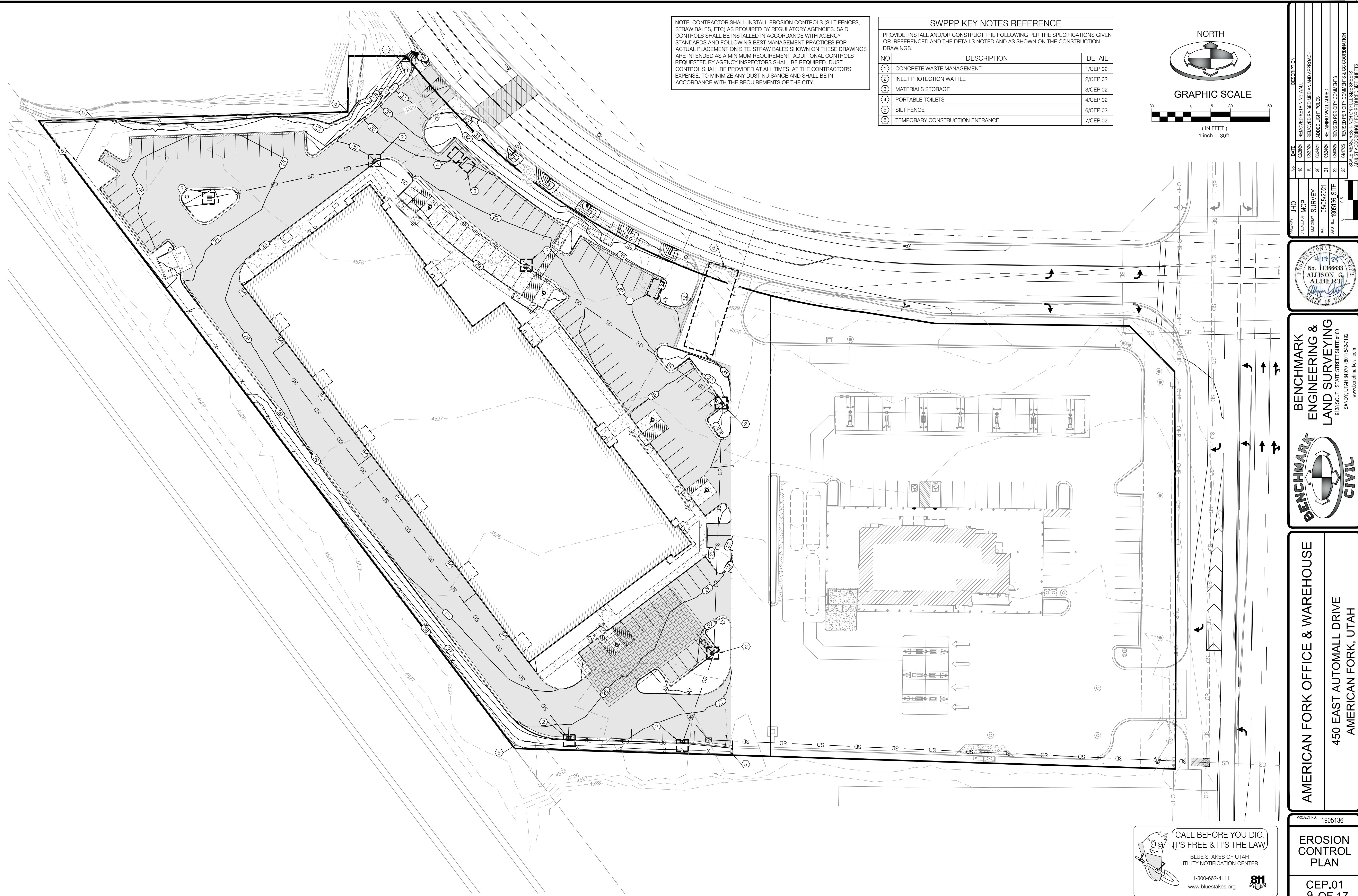
PROJECT NO.		FILE NO.	DATE	TYPE
1905136	0.5	1	05/24	SITE

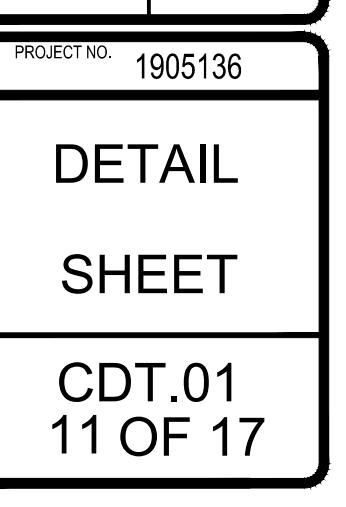
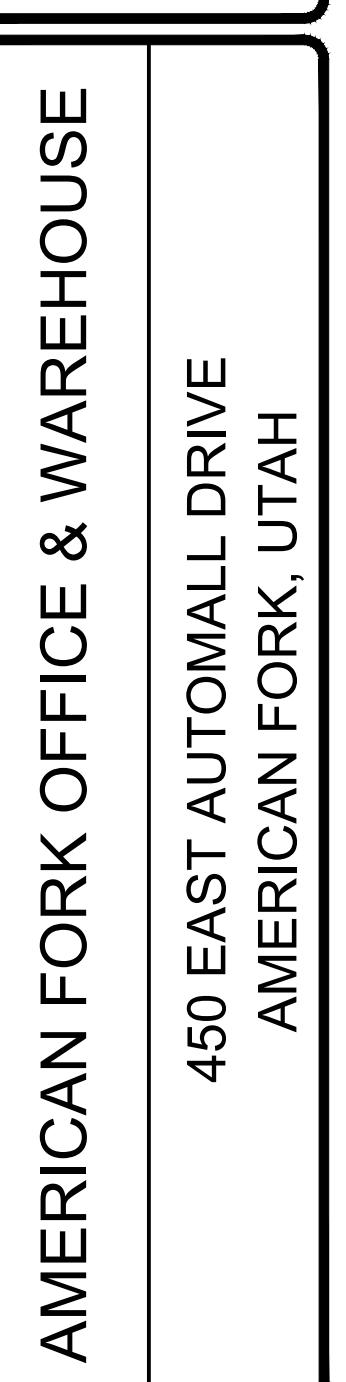
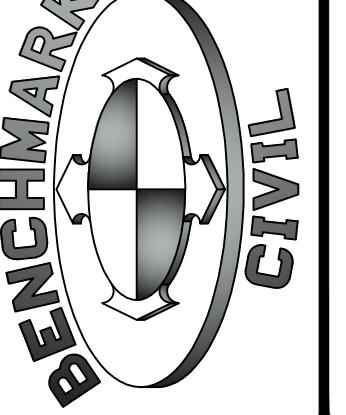
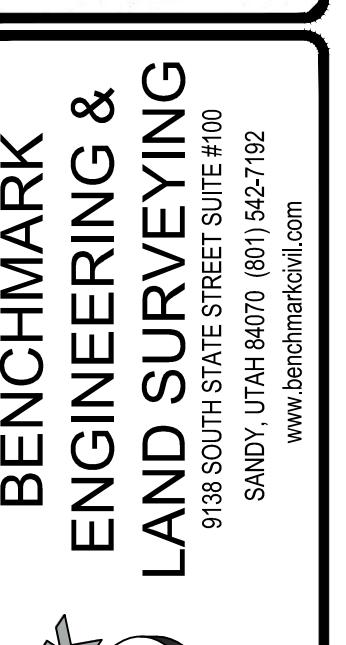
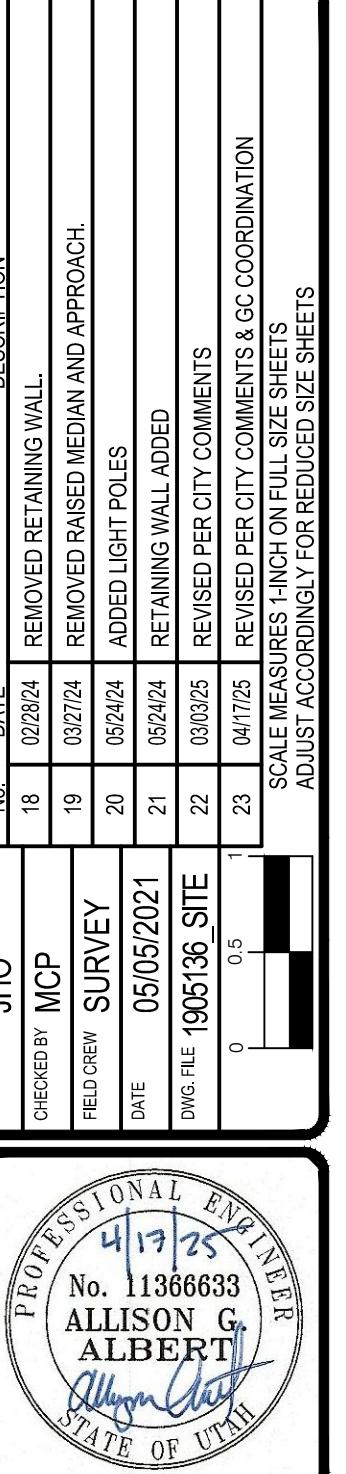
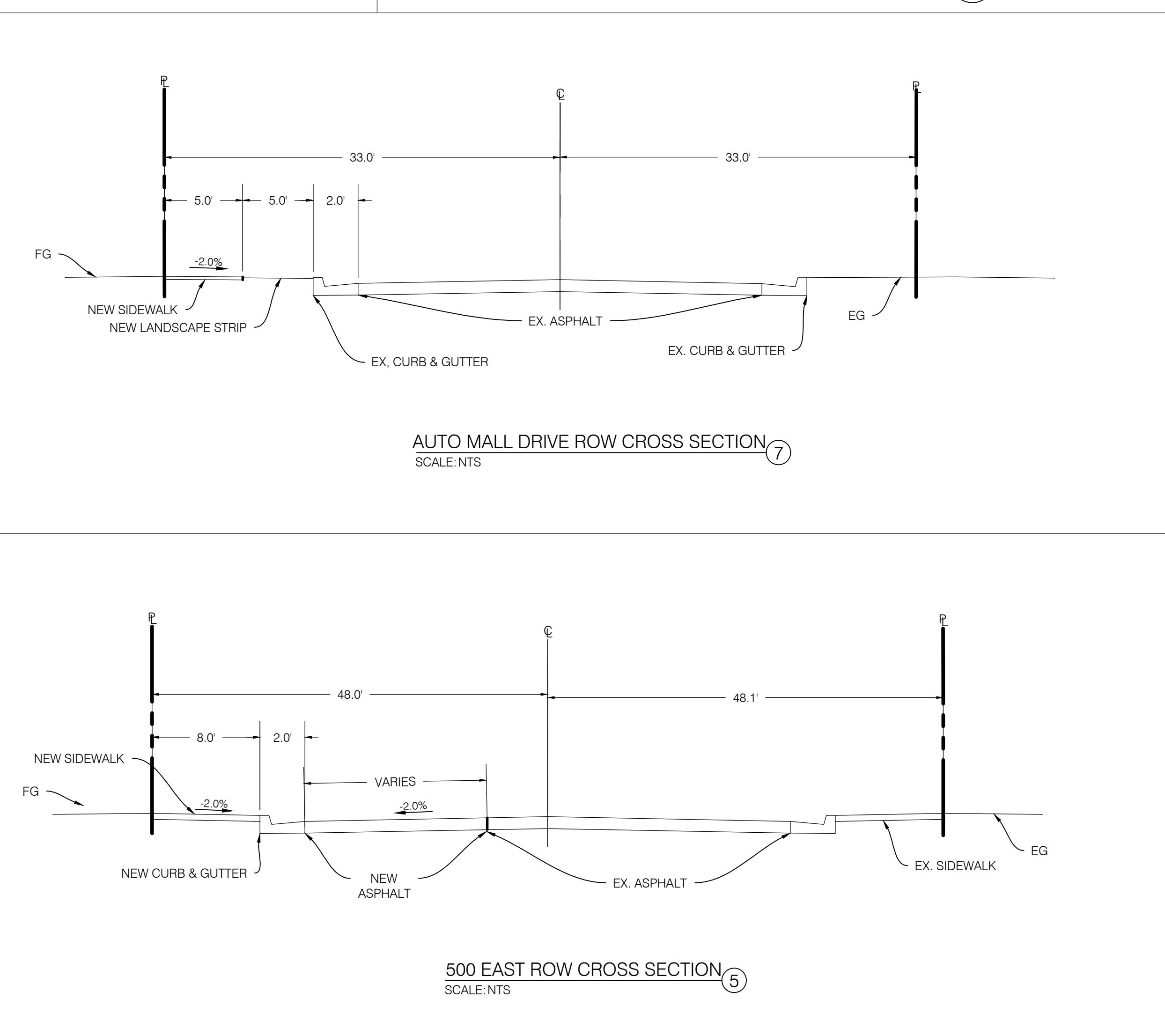
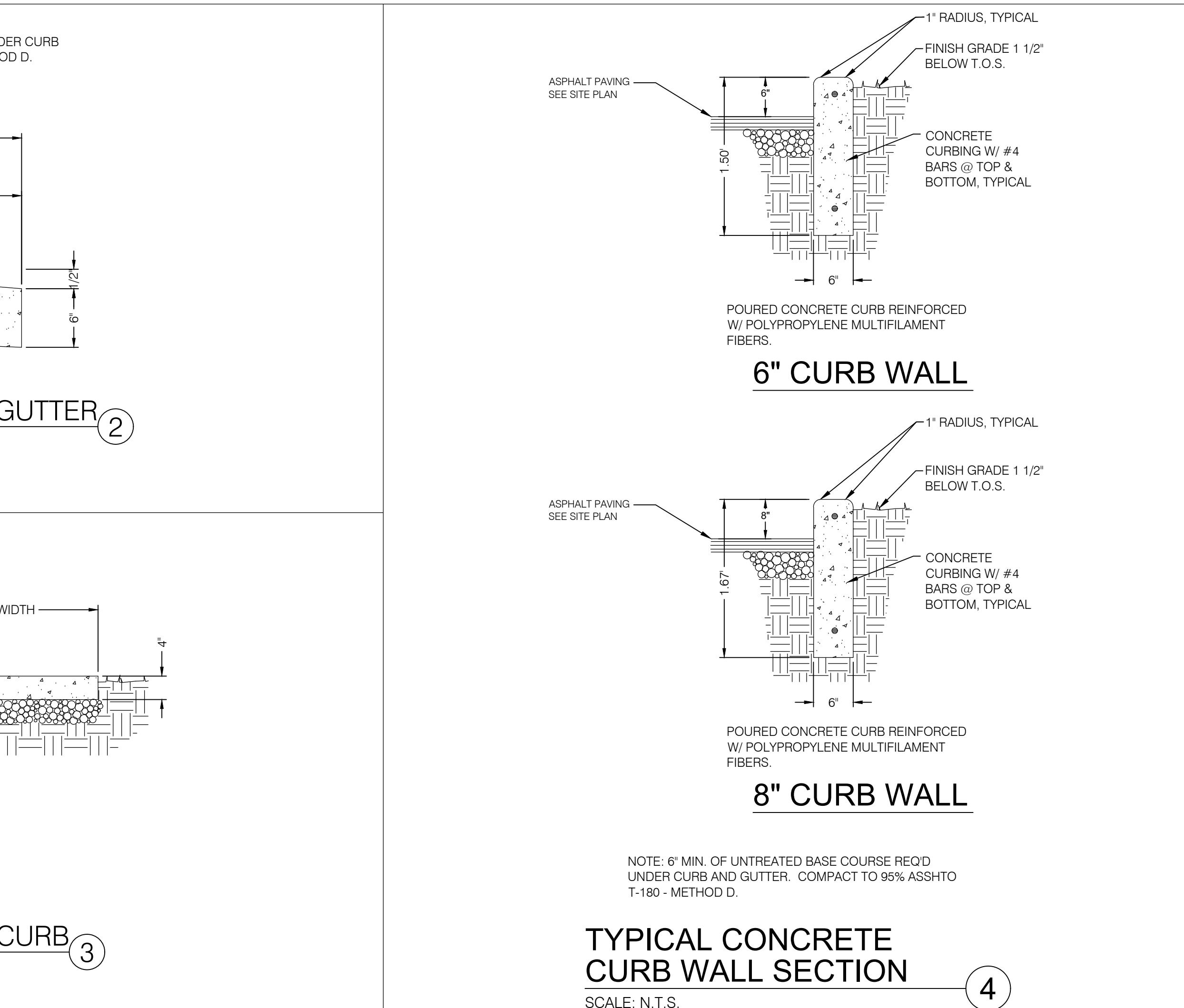
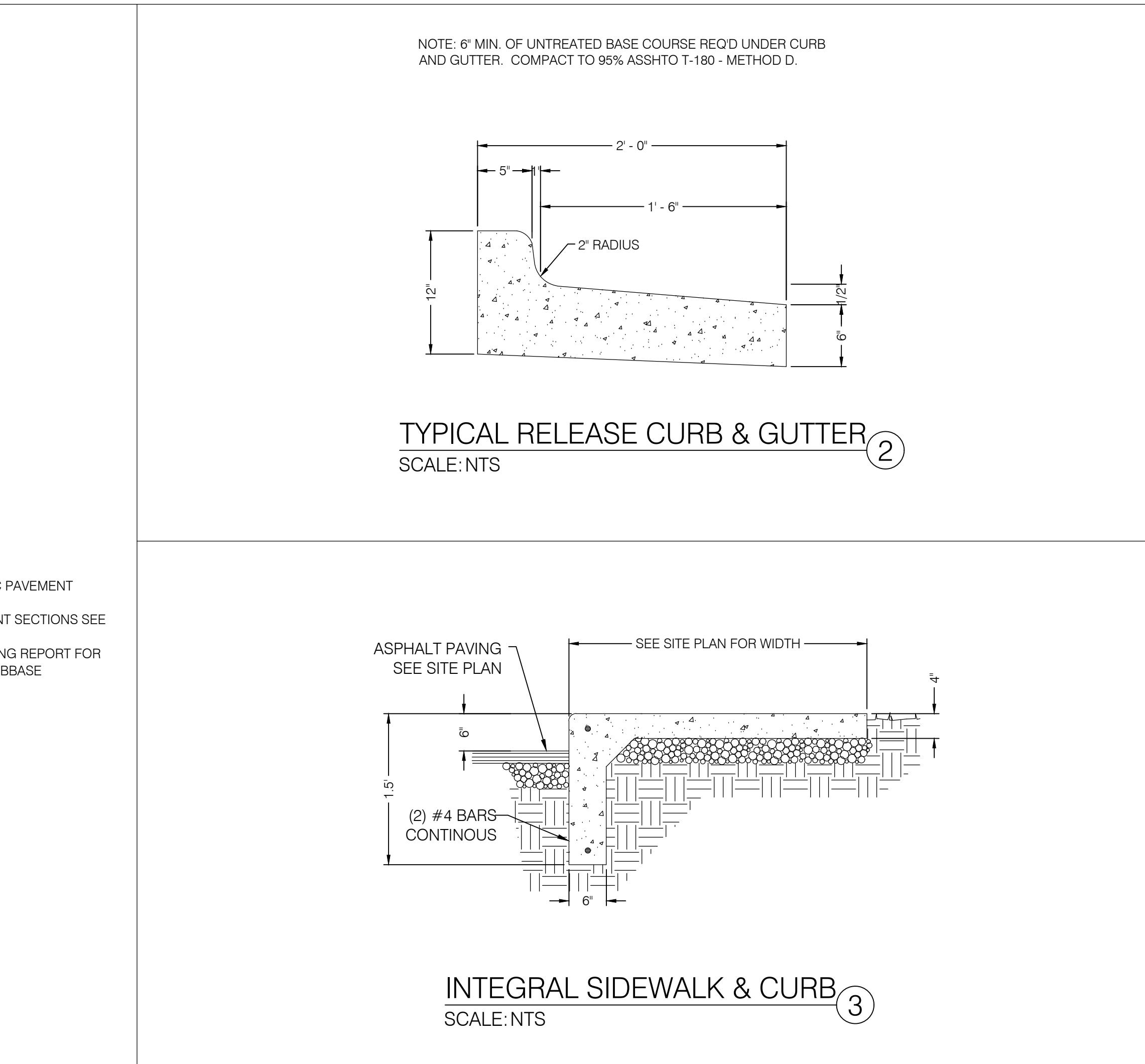
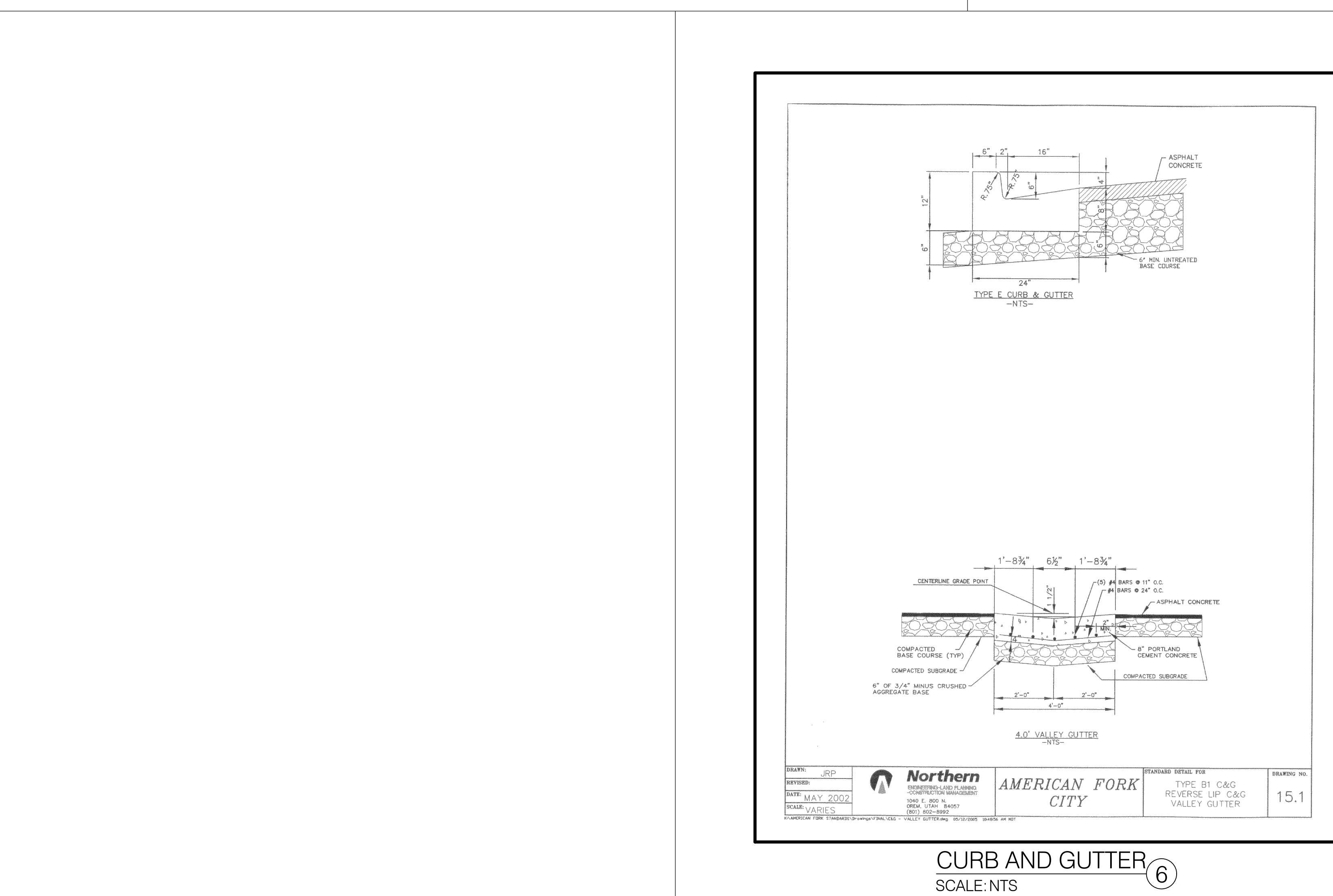
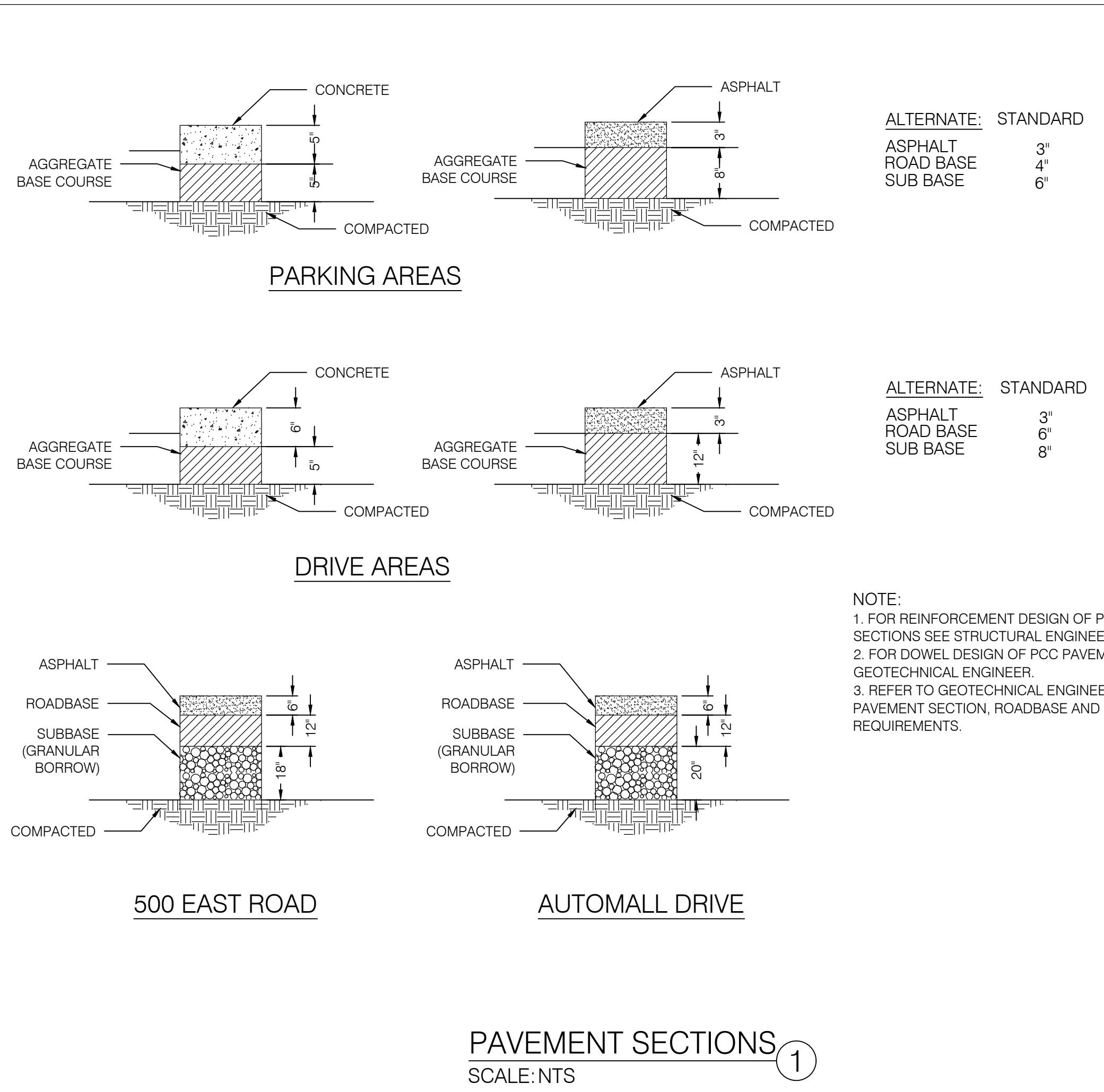


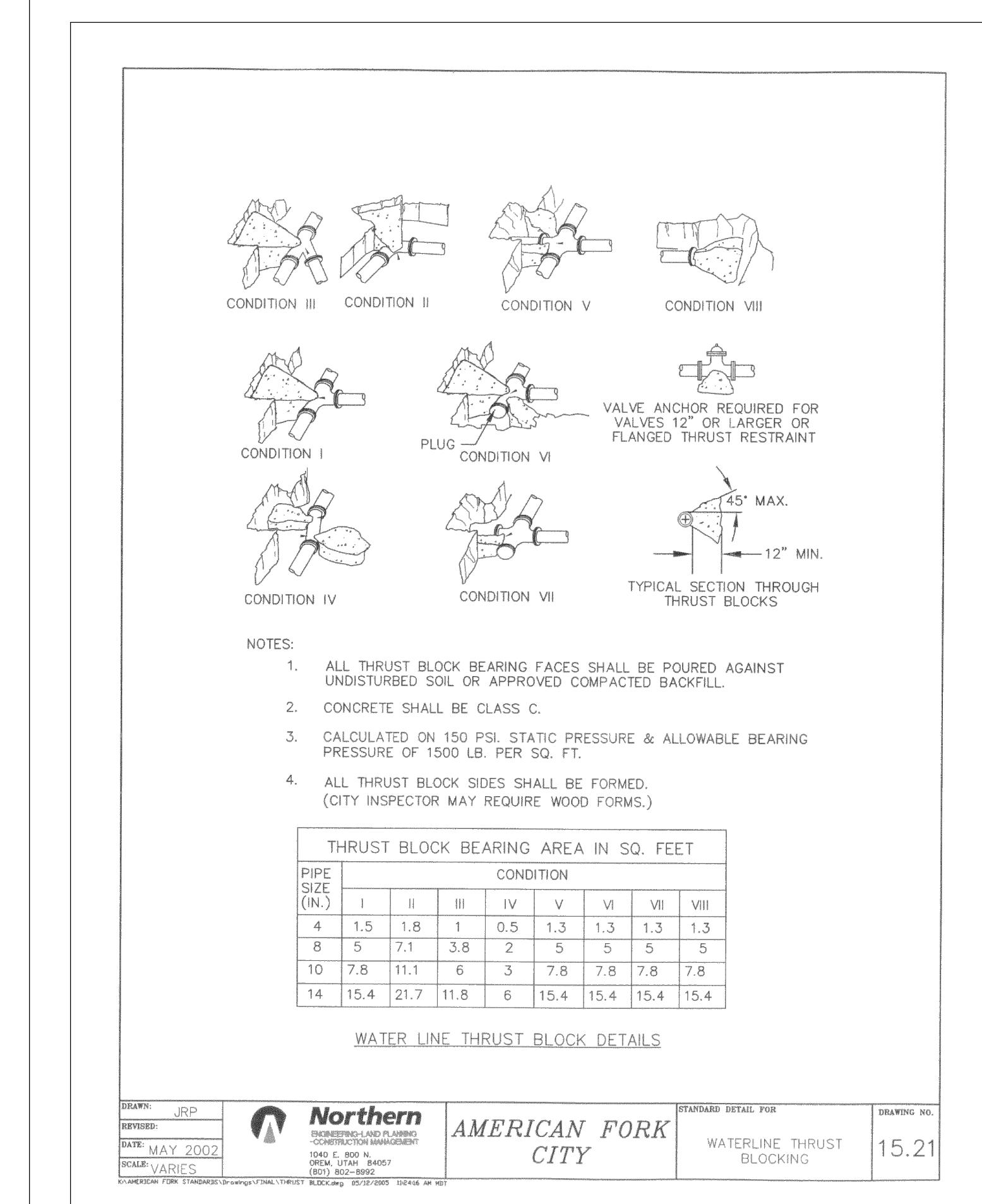
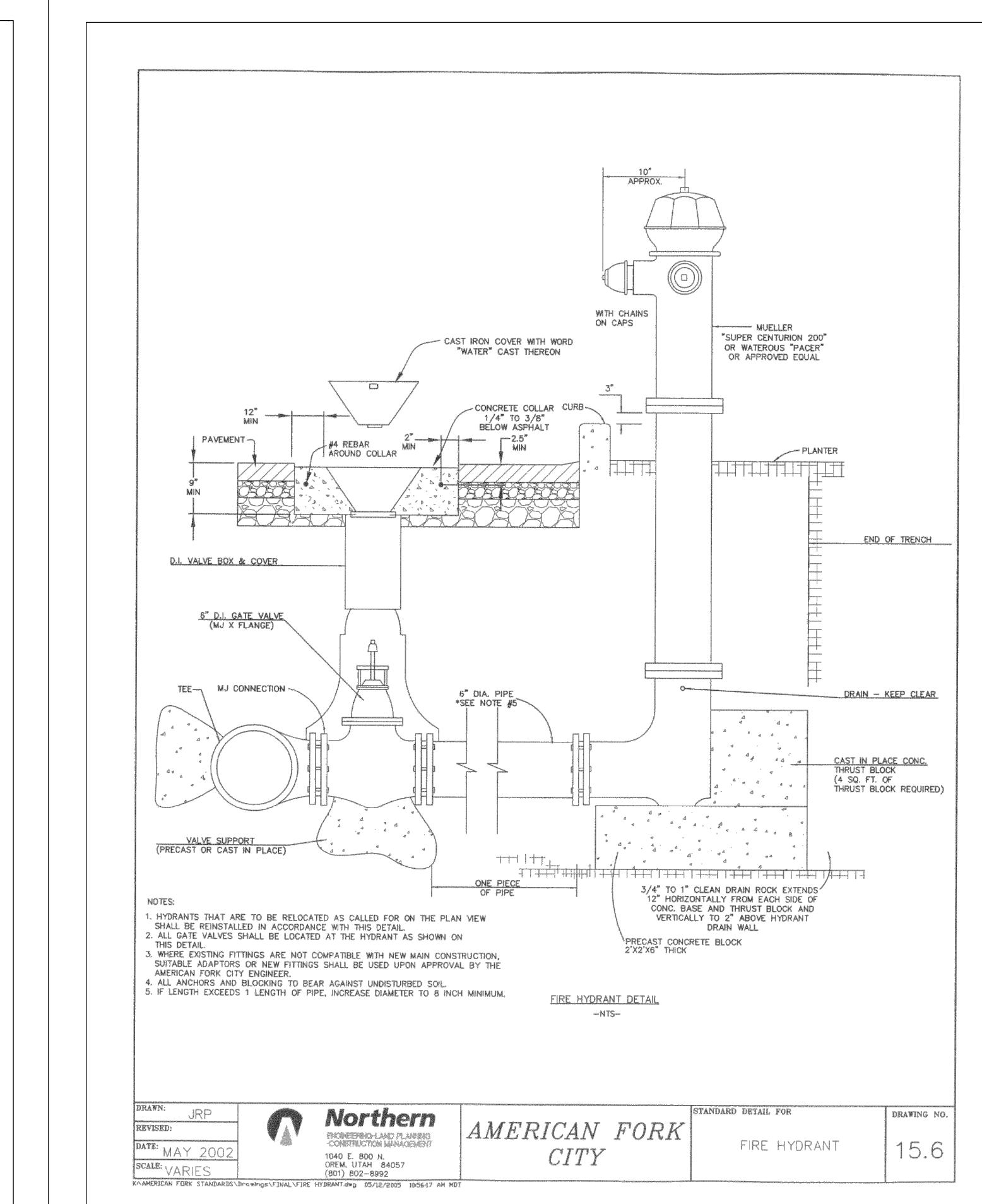
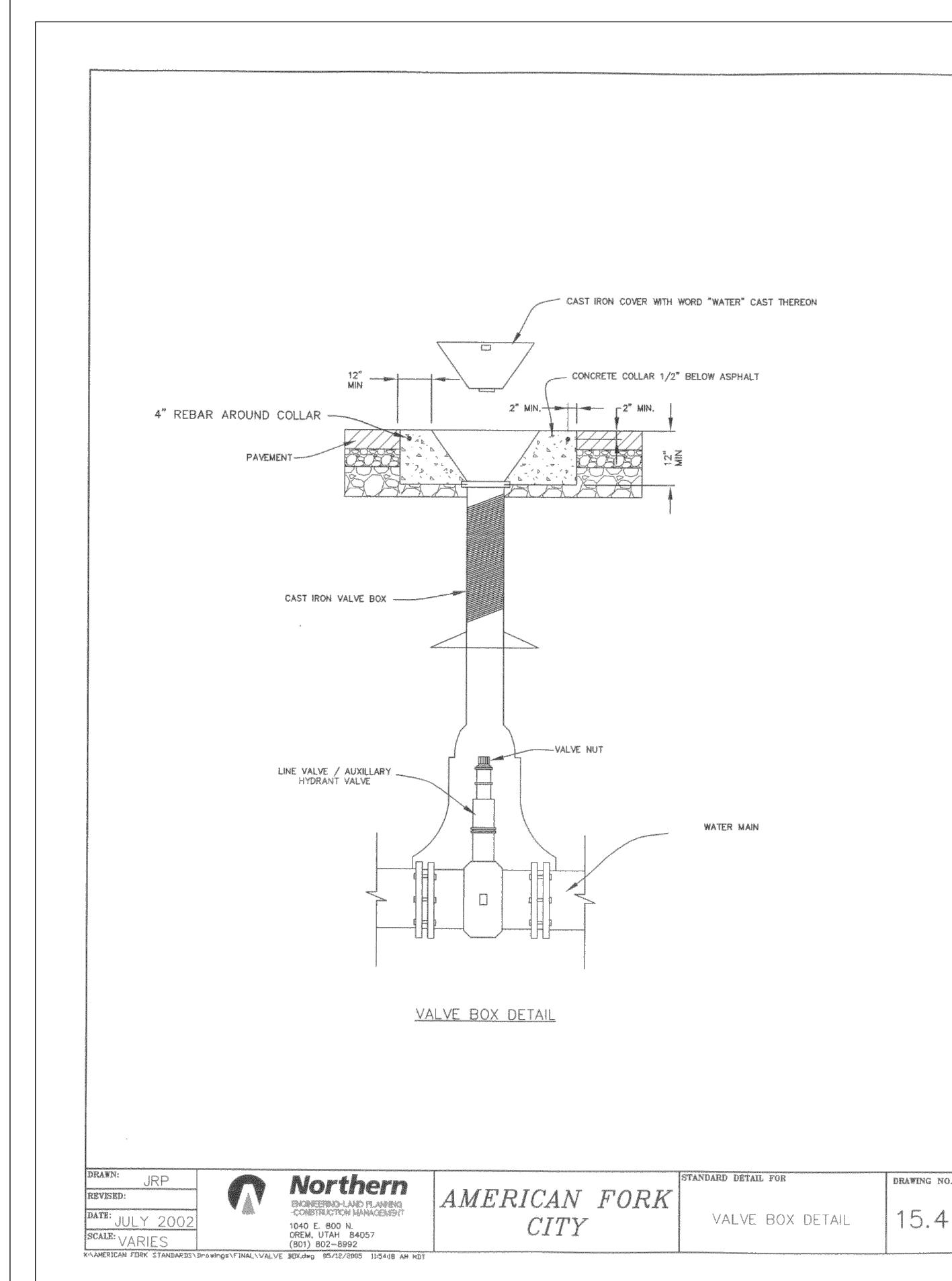
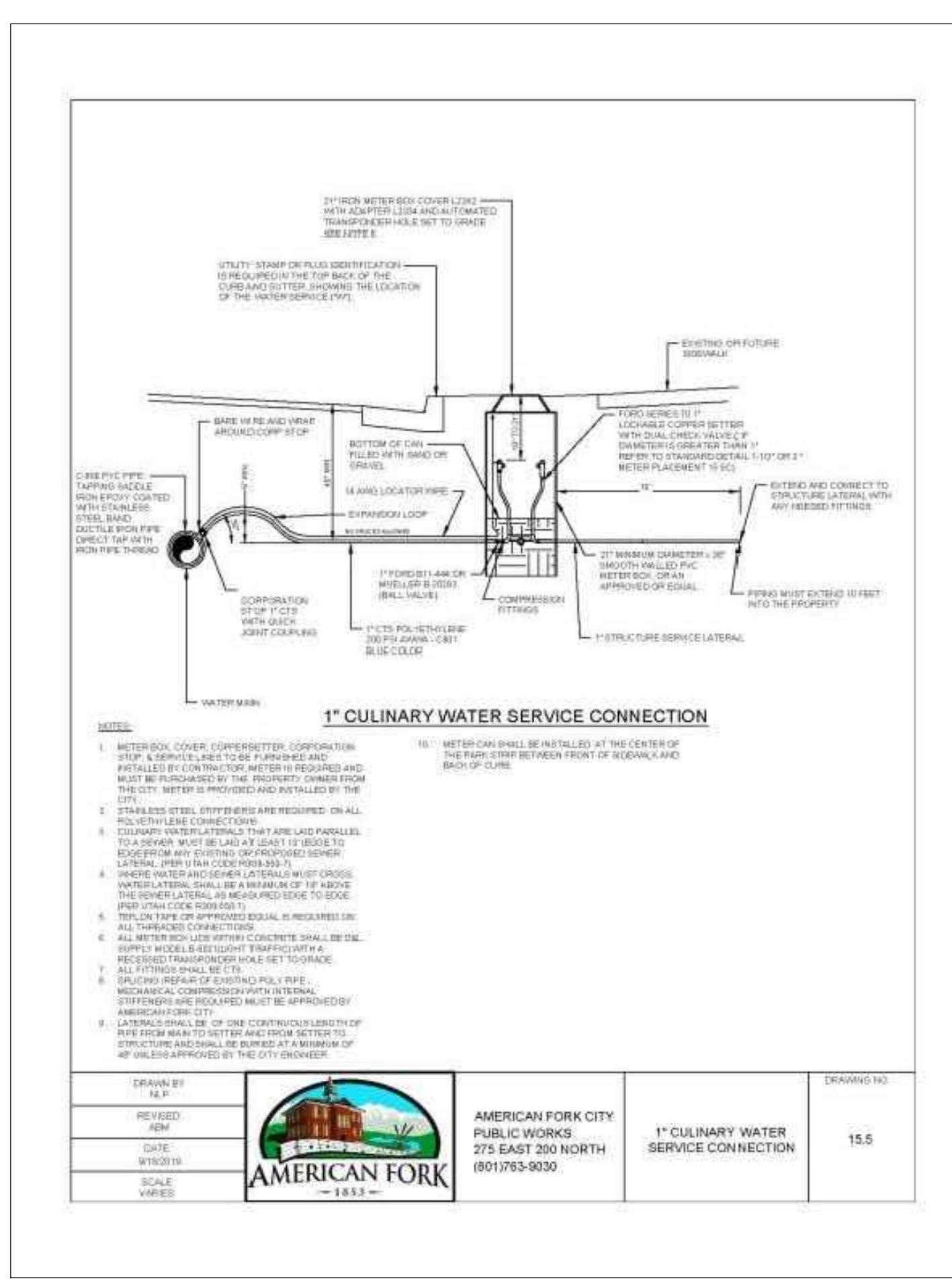
AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE AMERICAN FORK, UTAH

PROJECT NO. 1905136

SIGNAGE &
STRIPING
PLANCSS.02
8 OF 17







CULINARY WATER SERVICE LINE CONNECTION

SCALE: NTS

1

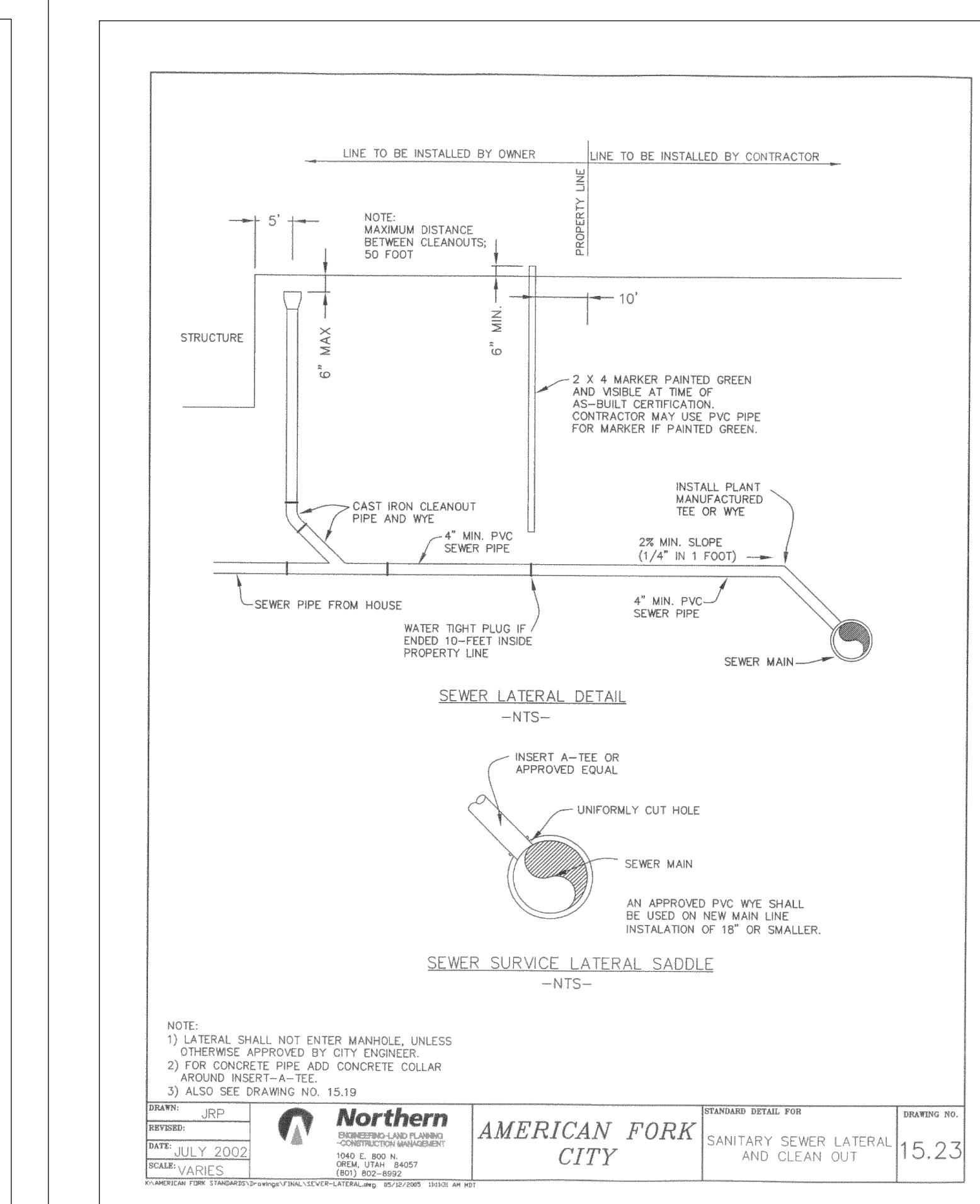
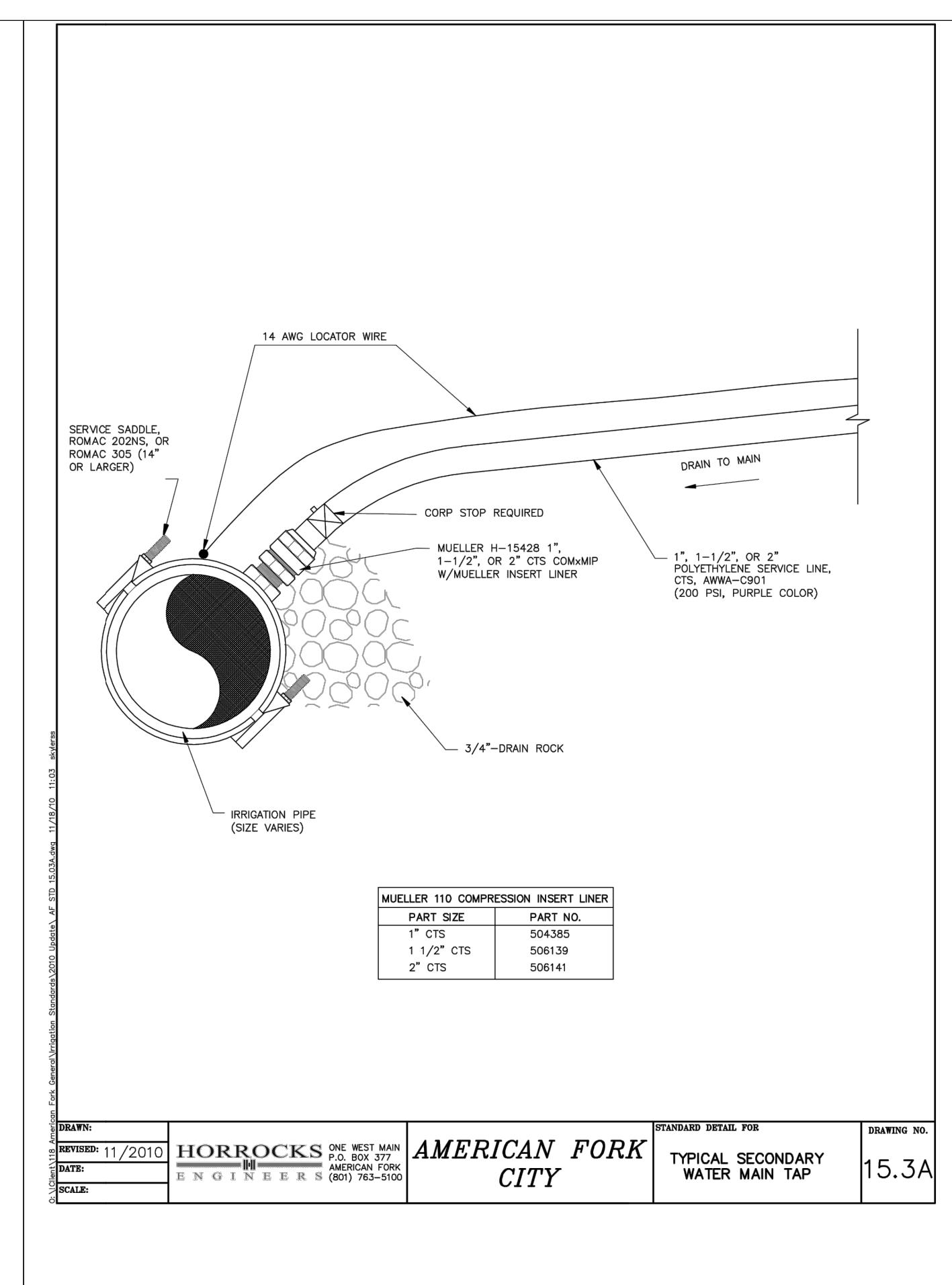
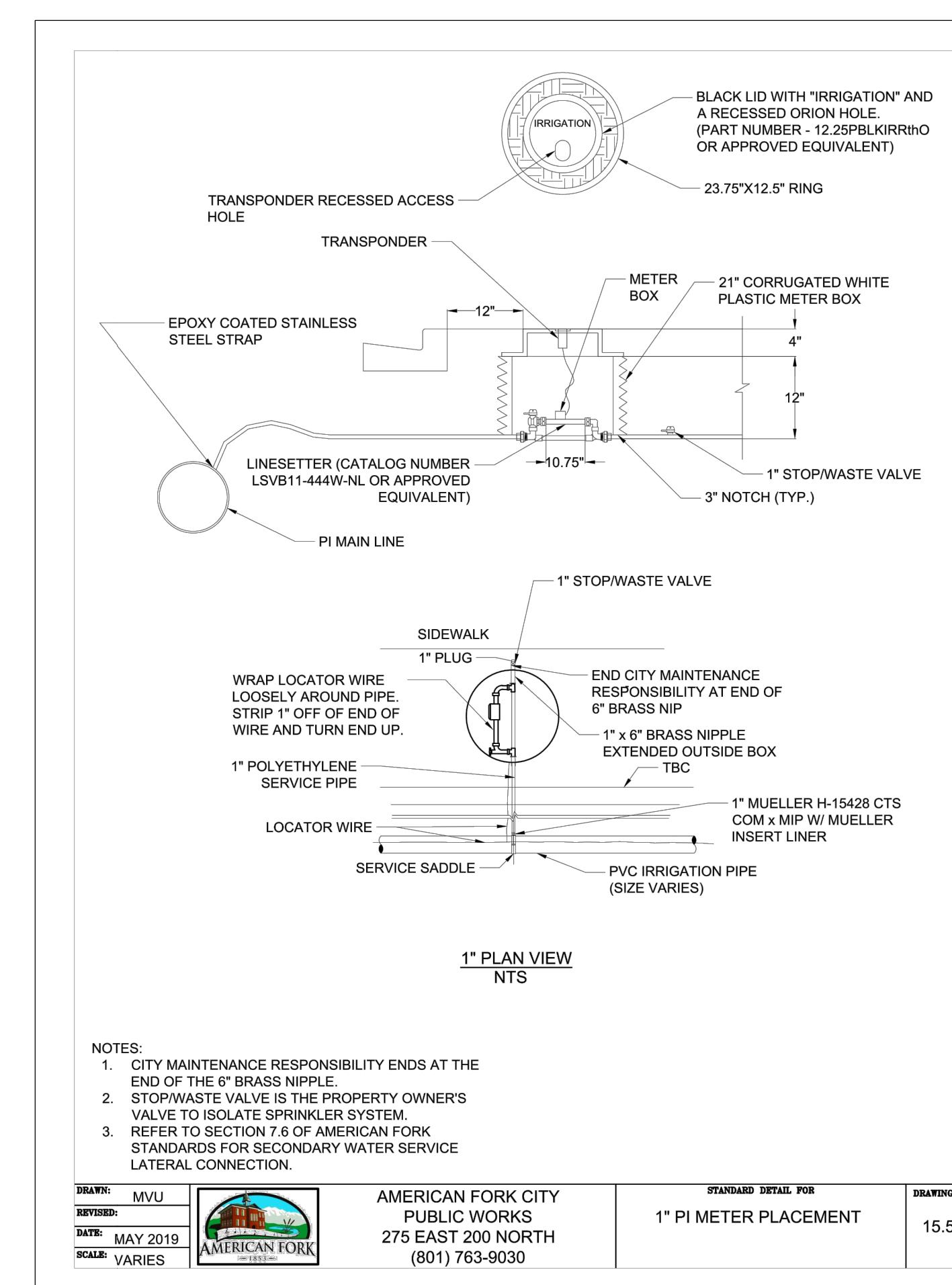
GATE VALVE
SCALE: NTS **2**

FIRE HYDRANT

SCALE: NTS

THRUST BLOCK

SCALES·NTS



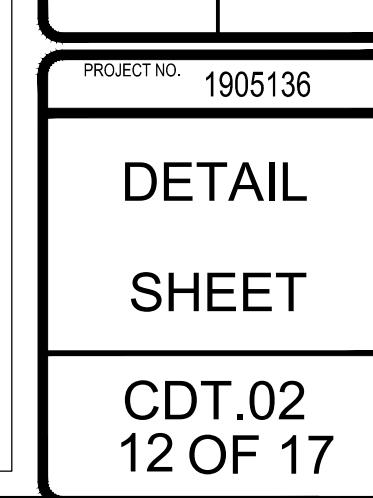
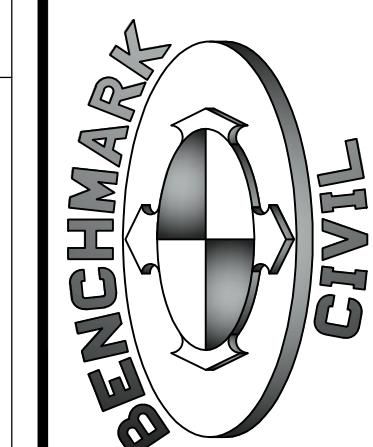
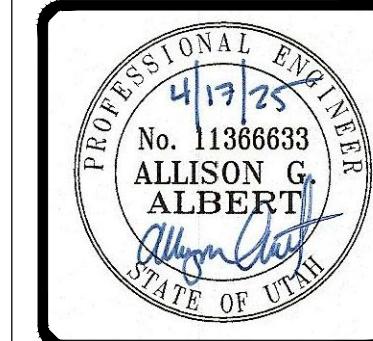
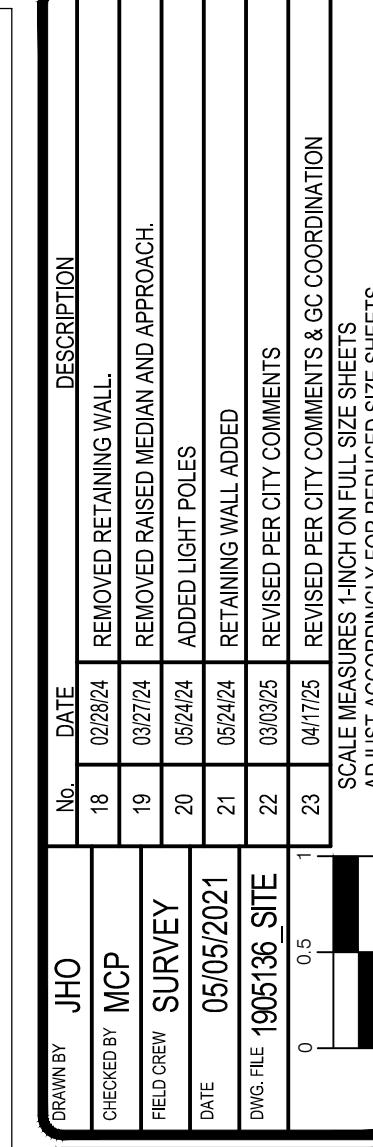
SECONDARY WATER METER AND CONNECTION

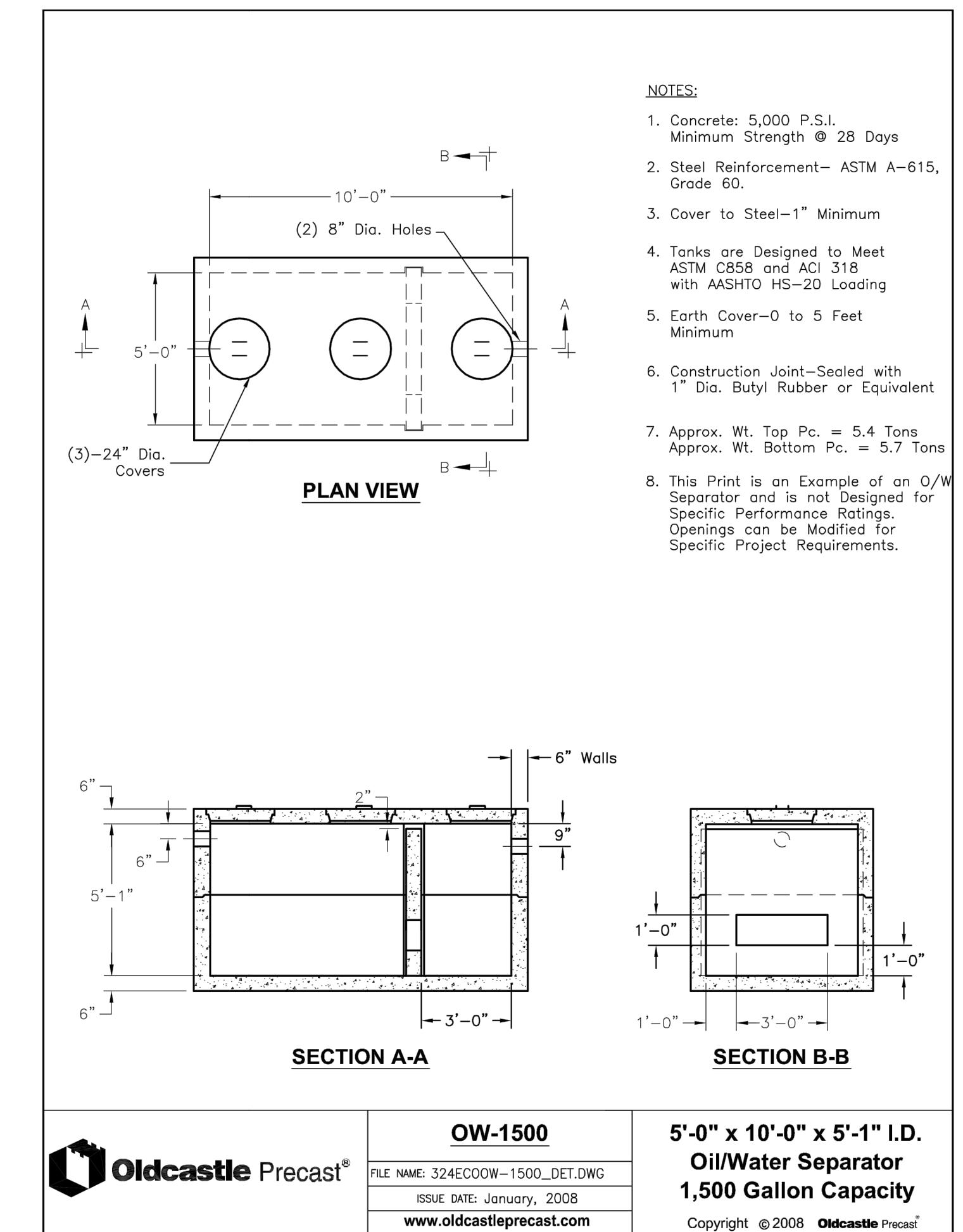
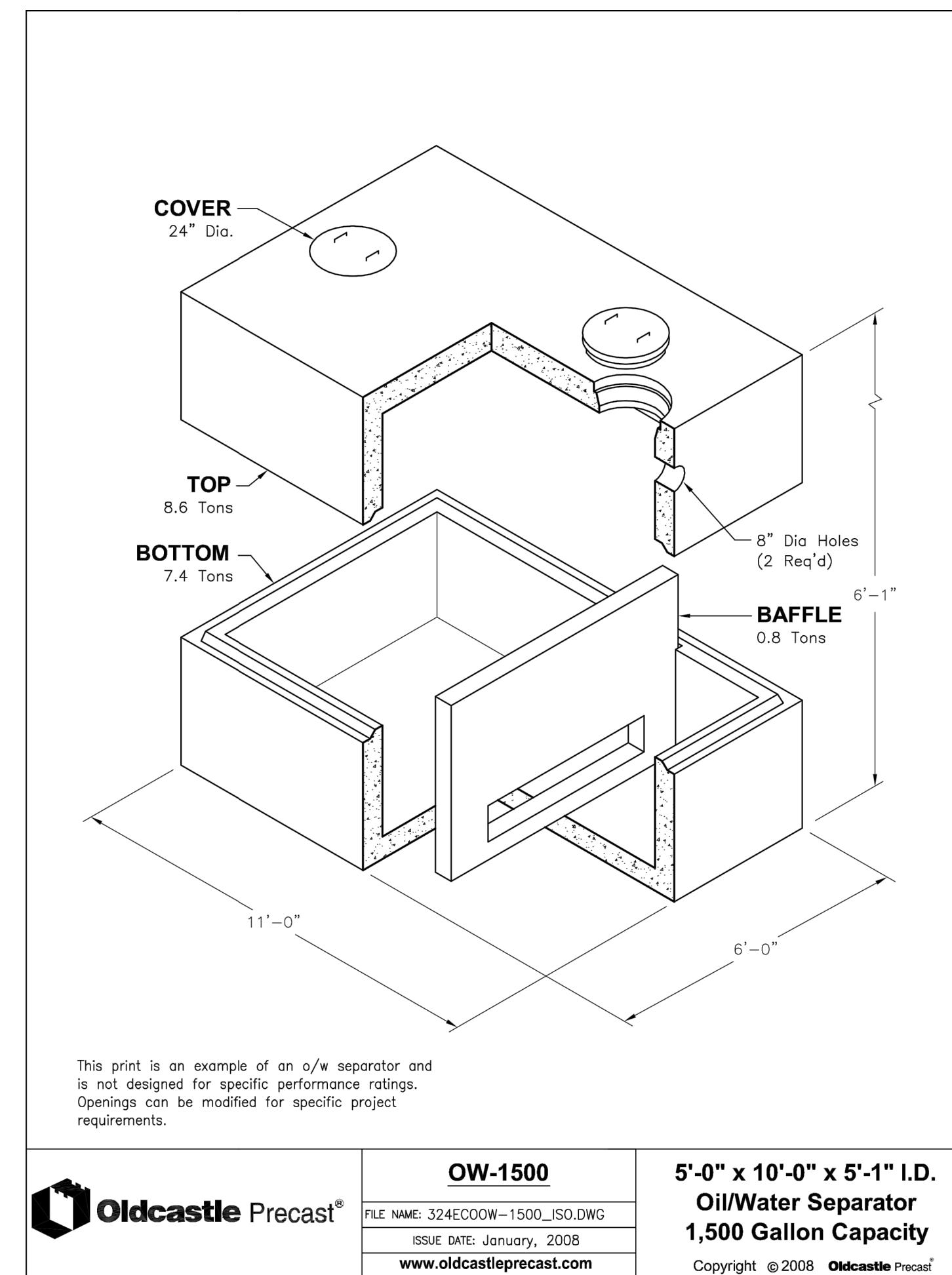
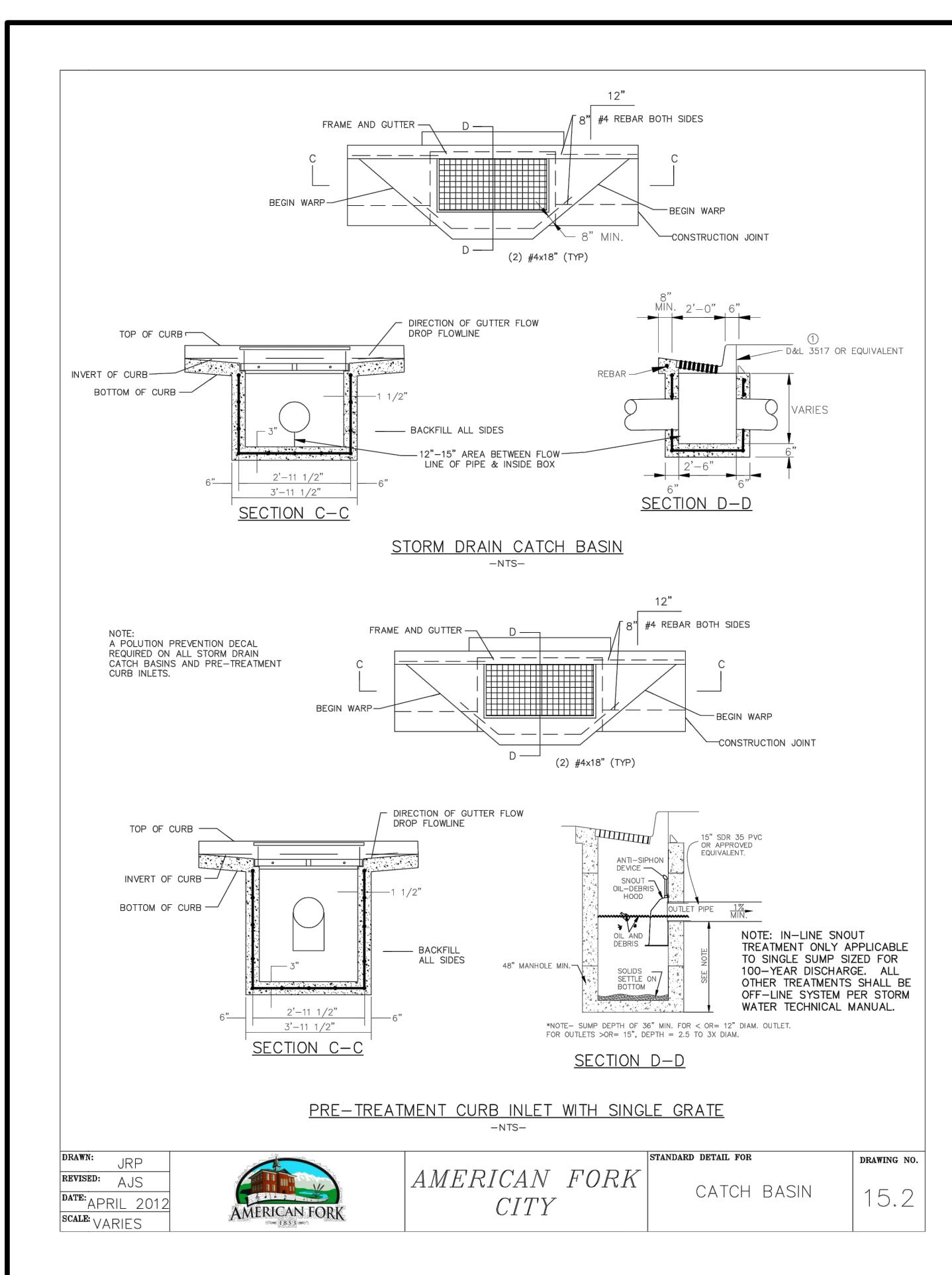
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SEWER LATERAL AND CLEANOUT

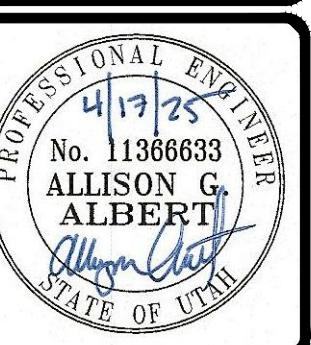
SCALE: NTS

6

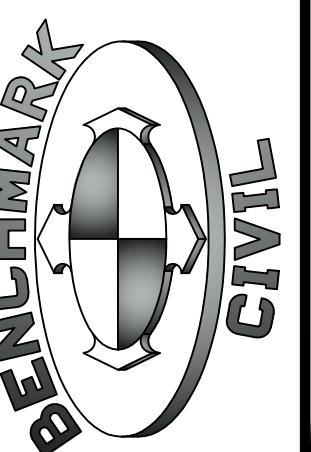




DRAWN BY		No.	Date	DESCRIPTION
JHO		18	02/24/24	REMOVED RETAINING WALL
CHECKED BY MCP		19	02/24	REMOVED RAISED RETAINING WALL AND APPROACH
FIELD CHECK SURVEY		20	05/24	ADDED LIGHT POLES
		21	05/24	REVISED PER CITY COMMENTS
		22	04/17/24	REVISED PER CITY COMMENTS
		23	04/17/24	SCALE MEASURES - HAD TO FULL SIZE SHEETS ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

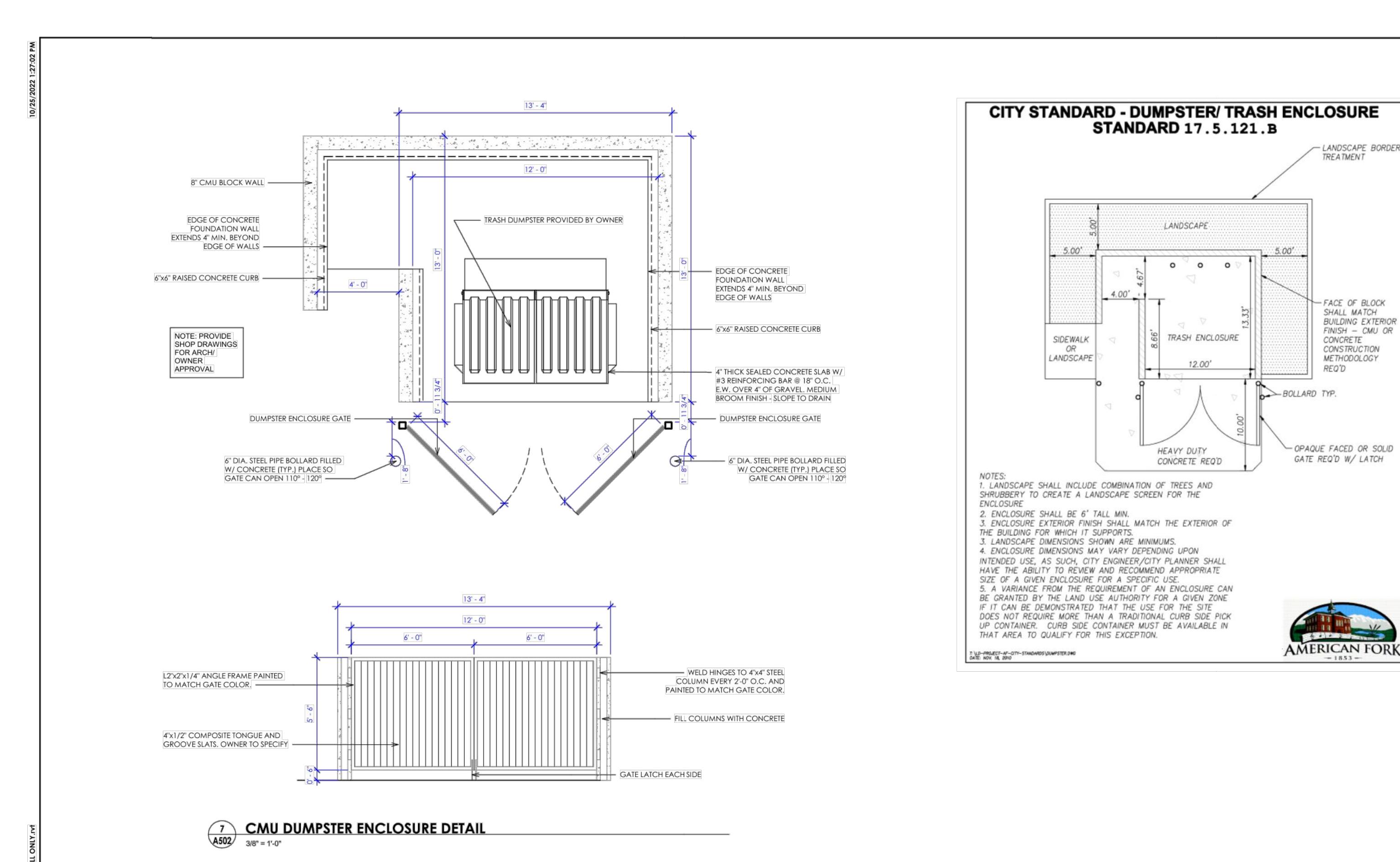


PROFESSIONAL ENGINEER
No. 11366633
ALLISON G. ALBERT
SANDY, UTAH 84070 (801) 942-7192
www.benchmarkutah.com



AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136
DETAIL SHEET
CDT.04
14 OF 17



FILL CHART

Material Location	Description	Material Classification	Compaction/Density Requirement (NOTE 3)
FINAL FILL Fill starting from the top of the embedment fill layer. (NOTE 1 and 2)	Suitable Fill Materials as noted in the Project Geotechnical Report and noted on the Site Design Engineer's Plans	See Project Geotechnical Report and Site Design Engineer's Plans	Plate Compact or Static Roll loose lifts to densify fill. Use at least two full passes of the equipment to level the layer. Continue until 24 inches of total fill thickness has been placed above the tank. For AASHTO M145 soils, a minimum of 95% of the Standard Proctor Maximum Dry Density is recommended.
EMBEDMENT FILL Fill Immediately Surrounding the sides and top of tank (NOTE 4)	Sand-Gravel Mixtures or Open-Graded Crushed Aggregate Blends	AASHTO M145 A-1, A-2-4, A-3 or AASHTO M43 3, 357, 4, 467, 5, 56, 57	Plate Compact or Static Roll loose lifts to densify fill. Use at least two full passes of the equipment to level the layer. For AASHTO M145 soils, a minimum of 95% of the Standard Proctor Maximum Dry Density - whichever is greater.
BEDDING FILL Fill Immediately below the tank (NOTE 4)			

NOTE 1: This layer can include pavement subbase
NOTE 2: If open-graded aggregates are used for embedment fill, fines migration from the final to embedment fill layer may be reduced by installing a layer of 6 oz non-woven geotextile fabric at the final and embedment fill interface.
NOTE 3: See Construction Equipment Table for more information for construction equipment limitations.
NOTE 4: Import or native soils may be used if the soils meet the material classification listed. Fill material should be selected based on classification, groundwater conditions, and tank invert elevation.

CONSTRUCTION EQUIPMENT CHART

Equipment Make (NOTE 1)	Maximum Gross Vehicle Weight (lbs)	Minimum Fill Depth over Tank (in)
Plate Compactor	1,500	6
Compact Track Loader (NOTE 2)	7,500	6
Rubber-Tired Skid Steer (NOTE 3)	7,500	14
Low Ground Pressure Tracked Vehicles (NOTE 4)	20,000	14
Roller - Static Mode	12,000	18
Roller - Vibratory Mode	12,000	24
Dump Trucks and Pans		NOTE 5

NOTE 1: Vehicles shall make straight runs only across tank footprint.
NOTE 2: Maximum load and pressure = 5 psi
NOTE 3: Maximum axle load = 5,250 lbs
NOTE 4: Maximum ground pressure = 7 psi
NOTE 5: Contact ACO for more information regarding dump truck and pan traffic during construction.
NOTE 6: Backfill material may be temporarily unloaded near the excavation. Material shall not be stockpiled near the excavation for longer than 24 hours.

COVER CHART

Live Loading Condition	Cover Thickness (inches)	
Minimum	Maximum	
Non-Trafficked Areas (i.e. Landscaping)	12	78
Passenger Vehicles Parking Lot (i.e. Gross Vehicle Weight <10,000 lbs)	18	78
Passenger Vehicle Parking Lot with one weekly AASHTO HS-20 vehicle	24	78
Frequent AASHTO HS-20 Traffic	26	78

NOTE 1: Minimum Cover Thickness in non-trafficked areas is based on landscape surface with a 40 degree load distribution. In trafficked areas, Minimum Cover Thicknesses are based on an asphalt-surfaced pavement with a 30 degree load distribution.
NOTE 2: Calculations assume backfill with a minimum 32-degree angle of internal friction and a maximum density of 120 lbs per cubic foot, and a seasonal groundwater elevation at least 2 feet below the invert of the tank.

SIDE PANEL PIPE DIAMETER CHART

Inlet/Outlet Pipe Diameter	
Minimum	Maximum
4 inches	24 inches (Note 2)

NOTE 1: Cut inlet / outlet pipe hole prior to side panel installation.
NOTE 2: Pipe holes should be aligned with the vertical centerline of the side panel. For pipes larger than 18 inches, center the pipe hole along the seam of two side panels.
NOTE 3: Contact ACO for guidance for inlet / outlet pipes larger than 24-inch diameter

DETAIL A PIPE WRAP

NTS

1 LAYER 900SD DETENTION CROSS SECTION

NTS

NOTE 1: The minimum width of sidewall backfill is 12" or large enough to accommodate selected compaction equipment, whichever is greater.

1 LAYER 900SD ACCESS POINT CROSS SECTION

NTS

NOTE 1: Ventilation may be crucial to reducing the pressure build up within the system. If solid access covers are used, alternative methods of ventilation are recommended.
NOTE 2: Concrete Load Plate not required for unpaved applications. Consult Engineer of Record for requirements
NOTE 3: The Remote Access Plate is approximately the size of half of a half-module. The half-module at the top of the tank must be cut in half to accommodate the Remote Access Plate

1 LAYER 900SD PIPE INSTALLATION

NTS

DRAWN BY
A Frye

CHECKED BY
J Jonke

DATE
12/23/2024

STORMBRIXX STANDARD DETAILS

900SD SYSTEM - 1 LAYER - DETENTION

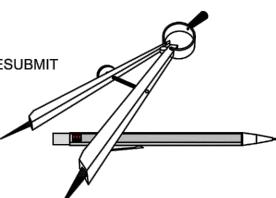
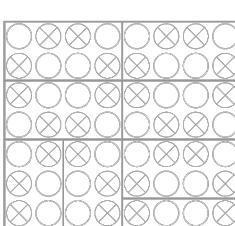
ACO, INC.

WEST SALES OFFICE
825 W BEECHCRAFT ST.
CASA GRANDE, AZ 85122
Tel. (888) 490-9552
Fax (520) 421-9899

EAST SALES OFFICE
9470 PINECONE DRIVE
MENTOR, OH 44060
Tel. (800) 543-4764
Fax (520) 421-9899

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FORT MILL, SC 29715
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Fax (803) 802-1063

[WWW.ACOSW.COM](http://www.acosw.com)

<p>GENERAL NOTES</p> <ol style="list-style-type: none"> 1. IT IS CUSTOMERS RESPONSIBILITY TO ENSURE THAT EACH PRODUCT IS FIT FOR ITS INTENDED PURPOSE AND THAT THE ACTUAL CONDITIONS ARE SUITABLE. 2. IT IS THE CUSTOMERS RESPONSIBILITY TO FOLLOW ACO, INC. INSTALLATION INSTRUCTIONS FOR EACH PRODUCT. SEEK ENGINEERING ADVICE FOR INSTALLATIONS NOT ILLUSTRATED IN THE INSTALLATION GUIDELINES. 3. FOR FURTHER PRODUCT INFORMATION, CUT SHEETS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS, PLEASE VISIT US AT OUR WEBSITE: ACOSTORMBRIXX.US <p>STORMBRIXX NOTES</p> <ol style="list-style-type: none"> 1. ALL FABRICATIONS TO BE COMPLETED BY INSTALLING CONTRACTOR. HE/SHE TO VERIFY THE ENTIRE SCOPE OF STORMBRIXX SD HAS BEEN PROVIDED FOR THIS PROJECT. 2. DIMENSIONS ARE FROM OUTSIDE TO OUTSIDE. 3. LAYOUT IS BASED ON CORRESPONDENCE WITH MOUNTAINLAND SUPPLY COMPANY PROVIDED TO THE ACO, INC. TECHNICAL SERVICES DEPARTMENT. 4. THIS PLAN VIEW REPRESENT ONE OF TWO STORMBRIXX SD HALF LAYER ORIENTATIONS REQUIRED FOR THIS TANK. FOR COMPLETE, BRICK - BONDABLE INSTALLATION DRAWINGS, PLEASE REQUEST THIS SERVICE FROM THE ACO, INC. SALES DEPARTMENT. 5. THE NUMBER OF ACCESS/INSPECTION LOCATIONS DISPLAYED ARE RECOMMENDATIONS, AND MORE/LESS CAN BE ADDED WITH EASE VIA REVISION. 6. ACCESS UNITS OCCUPY A PROFILE EQUIVALENT TO HALF OF ONE HALF MODULE AND ALLOW FOR DIRECT ACCESS TO UP 15" PIPE CONNECTIONS. 7. ACCESS PLATES OCCUPY THE EQUIVALENT PROFILE OF HALF OF ONE HALF MODULE AND MUST BE SURROUNDED BY BRICK BONDED MODULES. ACCESS PLATES CAN BE PLACED ANYWHERE BESIDES THE EDGE OF THE SYSTEM. 8. HOLDING CAPACITY OF ONE FULLY ASSEMBLED STORMBRIXX SD MODULE = 22.54 CF <p>INSTALLATION NOTES</p> <ol style="list-style-type: none"> 1. ALL FABRICATIONS TO BE COMPLETED BY INSTALLING CONTRACTOR. 2. EXCAVATE AWAY FROM TANK'S PROFILE PER OSHA STANDARDS. 3. UP TO 18" PIPE CONNECTIONS CAN BE CORED DIRECTLY INTO STORMBRIXX SD SIDE PANELS. 4. USE LAYER CONNECTORS TO RESTRICT SHEARING MOVEMENT BETWEEN BRICK-BONDED LAYERS/HALF LAYERS. 5. USE LAYER CONNECTORS TO ADHERE ACCESS UNITS TO BRICK-BONDED HALF MODULES. 6. A VOID AREA EQUIVALENT TO HALF OF ONE HALF MODULE IS PRESENT UNDER EACH ACCESS PLATE. 7. IRREGULAR TANKS - TRIM SIDE PANELS A CORNER JUNCTIONS FOR EXACT FIT. 		<p>ALL DRAWINGS ARE AS ACCURATE AS THE INFORMATION SUPPLIED. ALL REASONABLE CARE HAS BEEN TAKEN IN COMPILING THE INFORMATION WITHIN. PLEASE REVIEW THIS INFORMATION FOR ACCURACY.</p> <div style="text-align: right; margin-bottom: 10px;">  <p> <input type="checkbox"/> APPROVED <input type="checkbox"/> REVISE AND RESUBMIT <input type="checkbox"/> APPROVED AS NOTED <input type="checkbox"/> REJECTED </p> </div> <p>SIGNED: _____</p> <p>DATE: _____</p> <p>COMMENTS: _____</p> <div style="text-align: center; margin-top: 20px;">  <p>ALWAYS ARRANGE THE SAME 4 PILLARS IN A SQUARE</p> </div> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th colspan="2" style="width: 20%;">SHEET INDEX</th> </tr> <tr> <th style="width: 10%;">SHEET NO.</th> <th style="width: 10%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td>NOTES STORMBRIXX PLAN VIEW</td> </tr> </tbody> </table> <div style="text-align: center; margin-top: 20px;"> <p>ACO, INC.</p> <table border="0" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%; text-align: left;"> WEST SALES OFFICE 9470 PINECONE DRIVE CASA GRANDE, AZ 85122 Tel. (888) 490-9552 Fax (520) 421-9899 </td> <td style="width: 33%; text-align: center;"> EAST SALES OFFICE 4211 PLEASANT RD. MENTOR, OH 44060 Tel. (800) 543-4764 Fax (440) 639-7235 </td> <td style="width: 33%; text-align: right;"> SOUTHEAST SALES OFFICE 4211 PLEASANT RD. FORT MILL, SC 29708 Tel. (800) 543-4764 Fax (803) 802-1063 </td> </tr> <tr> <td colspan="3" style="text-align: center;"> www.acousa.com </td> </tr> </table> </div>	SHEET INDEX		SHEET NO.	DESCRIPTION	1	NOTES STORMBRIXX PLAN VIEW	WEST SALES OFFICE 9470 PINECONE DRIVE CASA GRANDE, AZ 85122 Tel. (888) 490-9552 Fax (520) 421-9899	EAST SALES OFFICE 4211 PLEASANT RD. MENTOR, OH 44060 Tel. (800) 543-4764 Fax (440) 639-7235	SOUTHEAST SALES OFFICE 4211 PLEASANT RD. FORT MILL, SC 29708 Tel. (800) 543-4764 Fax (803) 802-1063	www.acousa.com																																															
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ACO STORMBRIXX SD TANK
 TANK STRUCTURAL VOLUME 10,690 FT³
 TANK HOLDING VOLUME 10,369 FT³

STONE ENVELOPE (4" @ BOTTOM, 12" @ TOP, 24" @ SIDES)
 VOLUME 2,829 FT³

TOTAL HOLDING VOLUME 13,198 FT³

NUMBER OF LAYERS = 1 (3 FT)

90'6 5/8" [27.60m]

39'-4 1/2" [12.00m]

INLET PIPE CONNECTION

OUTLET PIPE CONNECTION

PERIMETER OF STORMBRIXX SD SIDE PANELS; PT# 314091.
 GEOTEXTILE FABRIC AROUND ENTIRE SURFACE AREA OF TANK.

ACO STORMBRIXX SD HALF MODULE PT# 314090

TWO ACO STORMBRIXX SD TOP COVERS PER HALF MODULE PT# 314092

STORMBRIXX SD ACCESS PLATE PT# 314075,
 EXTENSION SHAFTS PT# 314038,
 AND DUCTILE IRON COVER PT# 314043.
 TYPICAL OF 2 LOCATIONS.

ACO StormBrixx® SD

January 2021

Stormwater Detention/Infiltration/Retention System

Remote Access Plate
part no. 314075

SD Remote Access Unit
part no. 138141

Extension Shaft
part no. 314038

Extension Shaft with Pipe Socket
part no. 314039

Vertical Inspection Point Connector
part no. 27018

West Tel: (888) 490-9552
East Tel: (800) 543-4764

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www.acostombrixx.us
info@acousa.com

ACO Specification Information

ACO StormBrixx® SD

January 2021

Stormwater Detention/Infiltration/Retention System

SD Half-Module
part no. 314090

SD Side Panel
part no. 314091

SD Half-Layer Side Panel
part no. 314098

SD Top Cover
part no. 314092

West Tel: (888) 490-9552

East Tel: (800) 543-4764

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ACO Specification Information

ACO StormBrixx® SD

January 2021

Stormwater Detention/Infiltration/Retention System

Half-Layer Top Cover Plate

part no. 314094

Technical drawing of the Half-Layer Top Cover Plate. The plate is 47.28" (1201 mm) wide and 23.56" (601 mm) long. It features eight circular holes. Key dimensions include: width of 11.02" (280 mm) and 12.60" (320 mm); height of 3.70" (94 mm); thickness of 1.50" (38 mm); and a side wall height of 1.57" (40 mm). A 3D perspective view is also shown.

Horizontal Pipe Connector

part no.: see chart

Technical drawing of the Horizontal Pipe Connector. It is a rectangular plate with a central circular opening. Key dimensions include: width (W) of 2.00 in (51 mm); height (H) of 6.25 in (158 mm); thickness (C) of 8.25 in (209 mm); length (L) of 6.70 in (170 mm); and side thickness (A) of 8.00 in (203 mm). A 3D perspective view is also shown.

Part No.	A in (mm)	B in (mm)	C in (mm)	H in (mm)	W in (mm)	L in (mm)
93139	SDR 35 - 4"	2.00 (51)	6.25 (158)	8.25 (209)	6.70 (170)	8.00 (203)
93145	SCH 40 - 4"	2.00 (51)	7.47 (189)	8.29 (210)	6.70 (170)	8.00 (203)
93140	SDR 35 - 6"	2.00 (51)	8.95 (227)	9.93 (252)	10.22 (259)	8.00 (203)
93146	SCH 40 - 6"	2.00 (51)	9.11 (231)	9.93 (252)	10.22 (259)	8.00 (203)
93141	SDR 35 - 8"	2.00 (51)	10.46 (265)	11.39 (289)	11.64 (295)	8.00 (203)
93147	SCH 40 - 8"	2.00 (51)	10.57 (268)	11.39 (289)	11.64 (295)	8.00 (203)
93142	SDR 35 - 12"	2.00 (51)	13.48 (342)	14.30 (363)	16.66 (423)	8.00 (203)
93144	SCH 35 - 15"	2.00 (51)	17.28 (439)	19.25 (489)	19.25 (489)	8.00 (203)

Remote Access Cover (Vented)

part no. 314053

Technical drawing of the Remote Access Cover (Vented). It is a circular cover with a vented top. Key dimensions include: diameter of 18.19" (462 mm) and 17.40" (442 mm); height of 4.33" (110 mm); and a side wall height of 20.79" (528 mm).

Remote Access Cover (Non-Vented)

part no. 314043

Technical drawing of the Remote Access Cover (Non-Vented). It is a circular cover with a non-vented top. Key dimensions include: diameter of 18.19" (462 mm) and 17.40" (442 mm); height of 4.33" (110 mm); and a side wall height of 20.79" (528 mm).

Inspection Point Cover

part no. 314044

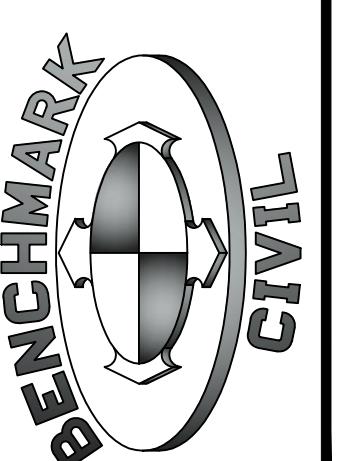
Technical drawing of the Inspection Point Cover. It is a circular cover with a central inspection point. Key dimensions include: diameter of 8.85" (225 mm); height of 2.95" (75 mm); and a side wall height of 12.00" (305 mm). A side view shows a height of 7.67" (195 mm).

West Tel: (888) 490-9552
East Tel: (800) 543-4764

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info@acousa.com

ACO Specification Information



AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

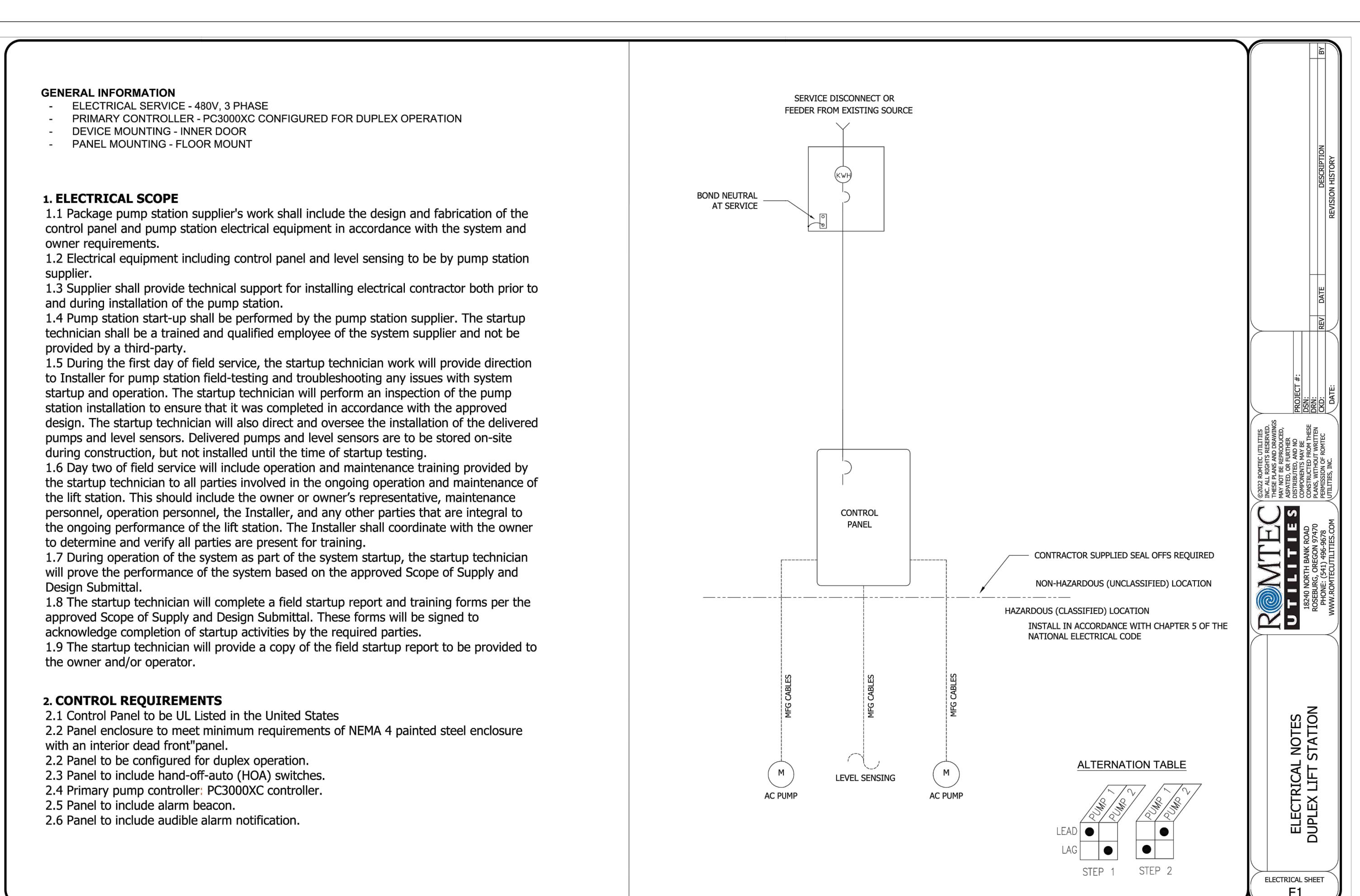
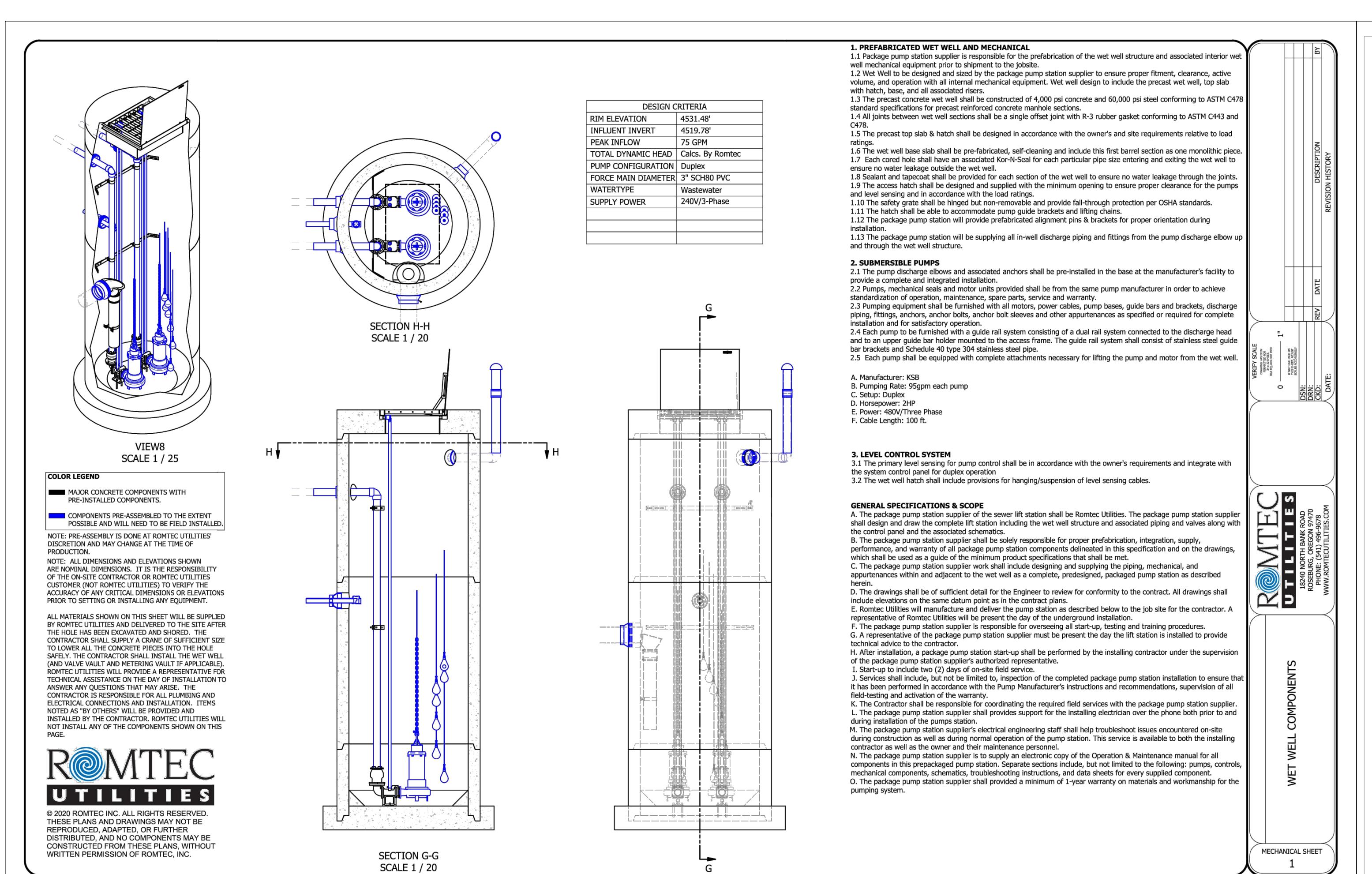
PROJECT NO. 1905136

DETAIL

SHEET

CDT.05

15 OF 17



Waste Water Drainage Sizing						
Project Name:		American Fork Office/Warehouse				
Waste Branch:		Building Total - Estimated				
Quantity	Fixture Type	Drainage Fixture Unit Value as Load Factors (dfu)	Minimum Size of Trap (inches)	Total Fixture Unit Value as Load Factors (dfu)		
0	Automatic Clothes Washers, Commercial	3	2	0		
0	Automatic Clothes Washers, Residential	2	2	0		
0	Bathroom Group as defined in Section 202 (1.6 gpf water closet)	5	-	0		
0	Bathroom Group as defined in Section 202 (water closet flushing...)	6	-	0		
0	Bathtub (with or without overhead shower or whirlpool attachments)	2	1 1/2	0		
0	Bidet	1	1 1/4	0		
0	Combination sink and tray	2	1 1/2	0		
0	Dental lavatory	1	1 1/4	0		
0	Dental unit or cuspidor	1	1 1/4	0		
0	Dishwashing machine, domestic	2	1 1/2	0		
7	Drinking fountain	1/2	1 1/4	3.5		
36	Emergency floor drain	0	2	0		
0	Floor drains	2	2	0		
0	Floor sinks	3	2	0		
7	Kitchen sink, domestic	2	1 1/2	14		
0	Kitchen sink, domestic with food waste grinder and/or dishwasher	2	1 1/2	0		
0	Laundry tray (1 or 2 compartments)	2	1 1/2	0		
56	Lavatory	1	1 1/4	56		
0	Shower (5.7 gpm or less)	2	1 1/2	0		
0	Shower (5.7 gpm to 12.3 gpm)	3	2	0		
0	Shower (12.3 gpm to 25.8 gpm)	5	3	0		
0	Shower (25.8 gpm to 55.6 gpm)	6	4	0		
7	Service Sink	2	1 1/2	14		
0	Sink	2	1 1/2	0		
14	Urinal	4	2	56		
0	Urinal, 1 gallon per flush or less	2	2	0		
0	Urinal, nonwater supplied	1/2	2	0		
0	Wash sink (circular or multiple) each set of faucets	2	1 1/2	0		
42	Water closet, flushometer tank, public or private	4	3	168		
0	Water closet, private (1.6 gpf)	3	3	0		
0	Water closet, private (flushing greater than 1.6 gpf)	4	3	0		
0	Water closet, public (1.6 gpf)	4	3	0		
0	Water closet, public (flushing greater than 1.6 gpf)	6	3	0		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
				311.5		

Slope of Waste Water Piping = 1/8 inch inch

Minimum Size of Primary Waste Water Piping = 6 inch

Waste Water Drainage Sizing						
Project Name:		American Fork Office/Warehouse				
Waste Branch:		Typical Tenant - Estimated				
Quantity	Fixture Type	Drainage Fixture Unit Value as Load Factors (dfu)	Minimum Size of Trap (inches)	Total Fixture Unit Value as Load Factors (dfu)		
0	Automatic Clothes Washers, Commercial	3	2	0		
0	Automatic Clothes Washers, Residential	2	2	0		
0	Bathroom Group as defined in Section 202 (1.6 gpf water closet)	5	-	0		
0	Bathroom Group as defined in Section 202 (water closet flushing...)	6	-	0		
0	Bathtub (with or without overhead shower or whirlpool attachments)	2	1 1/2	0		
0	Bidet	1	1 1/4	0		
0	Combination sink and tray	2	1 1/2	0		
0	Dental lavatory	1	1 1/4	0		
0	Dental unit or cuspidor	1	1 1/4	0		
0	Dishwashing machine, domestic	2	1 1/2	0		
1	Drinking fountain	1/2	1 1/4	0.5		
5	Emergency floor drain	0	2	0		
0	Floor drains	2	2	0		
0	Floor sinks	3	2	0		
1	Kitchen sink, domestic	2	1 1/2	2		
0	Kitchen sink, domestic with food waste grinder and/or dishwasher	2	1 1/2	0		
0	Laundry tray (1 or 2 compartments)	2	1 1/2	0		
8	Lavatory	1	1 1/4	8		
0	Shower (5.7 gpm or less)	2	1 1/2	0		
0	Shower (5.7 gpm to 12.3 gpm)	3	2	0		
0	Shower (12.3 gpm to 25.8 gpm)	5	3	0		
0	Shower (25.8 gpm to 55.6 gpm)	6	4	0		
7	Service Sink	2	1 1/2	14		
0	Sink	2	1 1/2	0		
2	Urinal	4	2	8		
0	Urinal, 1 gallon per flush or less	2	2	0		
0	Urinal, nonwater supplied	1/2	2	0		
0	Wash sink (circular or multiple) each set of faucets	2	1 1/2	0		
6	Water closet, flushometer tank, public or private	4	3	24		
0	Water closet, private (1.6 gpf)	3	3	0		
0	Water closet, private (flushing greater than 1.6 gpf)	4	3	0		
0	Water closet, public (1.6 gpf)	4	3	0		
0	Water closet, public (flushing greater than 1.6 gpf)	6	3	0		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
-	Additional Fixture (Type Here)	-	-	-		
				44.5		

Slope of Waste Water Piping = 1/8 inch inch

Minimum Size of Primary Waste Water Piping = 4 inch

Domestic Water Sizing						
Project Name:		American Fork...				
Dom. Wtr Branch:		Typical Tenant - Estimated				
Quantity	Fixture Type	Occupancy	Type of Supply Control	Cold	Hot	Total
0	Bathroom Group	Private	Flush Tank	0	0	0
0	Bathroom Group	Private	Flushometer Valve	0	0	0
0	Bathtub	Private	Faucet	0	0	1/2
0	Bathtub	Public	Faucet	0	0	1/2
0	Bidet	Private	Faucet	0	0	3/8
0	Combination Fixture	Private	Faucet	0	0	1/2
0	Drinking Machine	Private	Automatic	0	0	1/2
1	Drinking fountain	Office, etc.	3/8" valve	0.25	0.25	3/8
1	Kitchen Sink	Private	Faucet	1	1	1/2
0	Kitchen Sink	Hotel/Restaurant	Faucet	0	0	3/4
0	Laundry tray (1 to 3 compartments)	Private	Faucet	0	0	1/2
8	Lavatory	Private	Faucet	4	4	5.6
0	Lavatory	Public	Faucet	0	0	3/8
1	Service Sink	Offices, etc.	Faucet	2.25	2.25	3
0	Shower Head	Public	Mixing Valve	0	0	1/2
0	Shower Head	Private	Mixing Valve	0	0	1/2
0	Urinal	Public	1" Flushometer Valve	0	0	1/2
2	Urinal	Public	3/4" Flushometer Valve	10	-	10
0	Washing Machine (8 lbs)	Private	Flush Tank	0	-	3/4
0	Washing Machine (8 lbs)	Public	Automatic	0	0	1/2
0	Washing Machine (15 lbs)	Public	Automatic	0	0	1/2
0	Water Closet	Private	Flushometer Valve	0	-	1
6	Water Closet	Private	Flush Tank	13.2	-	13.2
0	Water Closet	Public	Flushometer Valve	0	-	0
0	Water Closet	Public	Flush Tank	0	-	3/8
0	Water Closet	Public or Private	Flushometer Tank	0	-	3/8
0	Water Closet	Private	Flush Tank	0	-	3/8
0	Hose Bibb	Public or Private	3/4" Valve	0	-	0
-	Additional Fixture (Type Here)	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-
-	Additional Fixture (Type Here)	-	-	-	-	-
				7.25	33.45	wsfu

DCW wsfu into GPM = 24.9 GPM ** Used GPM for 35 wsfu

DCW Distribution Pipe Size Rqd from Figure E103.3(2) = 1.5 inch ** Based on Flow rate of 5-8 Feet per Second maximum

DCW wsfu into GPM = 75 GPM ** Used GPM for 250 wsfu



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BLUE STATES OF UTAH
UTILITY NOTIFICATION CENTER
1-800-662-4111
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811

TXT AUTOMALL, LLC
PARCEL NO. 47-335-0001

MEDIAN WITH STRIPING

EAST 44.05'

N 00°59'20" E 42.68'

EX. DITCH EXTENTS (PROTECT)

N 52°49'01" E 154.18"

135.0'

DRIVE APPROACH WITH CURB CUT (9)

R25.0'

11.6'

EX. CURB & GUTTER (PROTECT)

18.20'

1.6'

1.6'

1.6'

1.6'

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