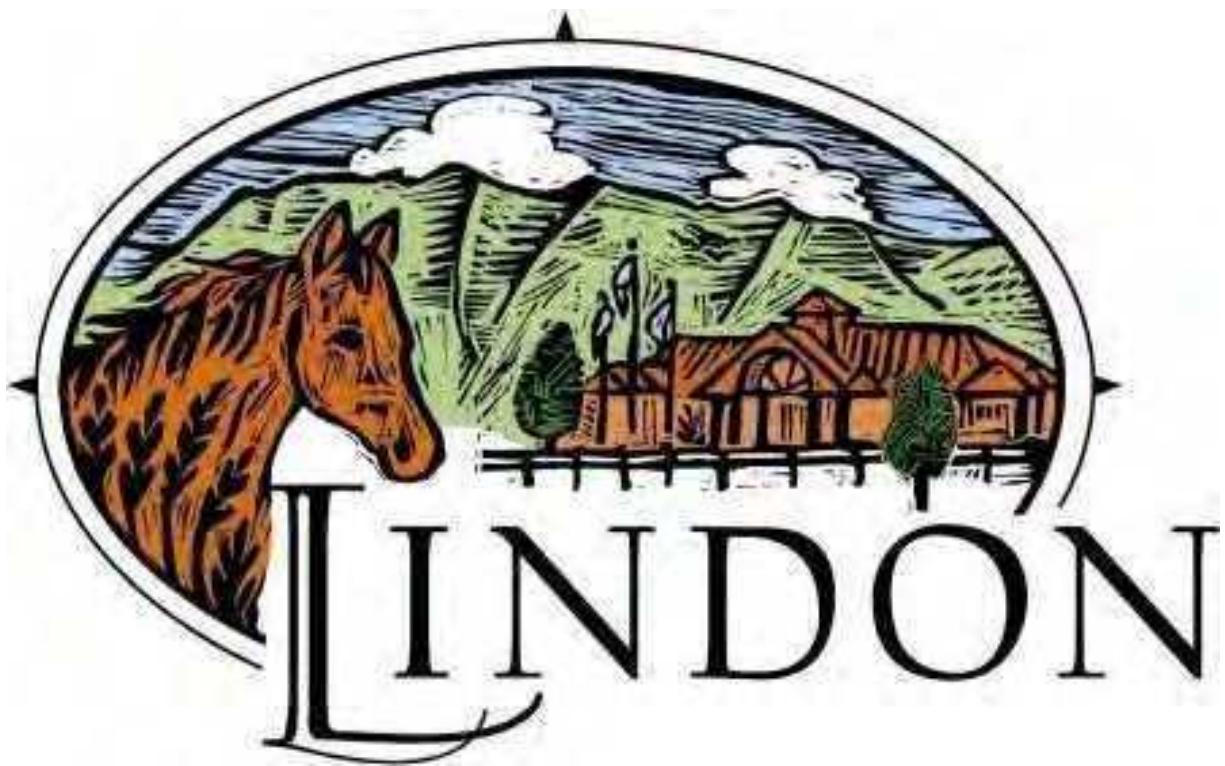


Lindon City Planning Commission Staff Report



June 10, 2025

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, June 10, 2025**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **6:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. Meetings are broadcast live at www.youtube.com/LindonCity. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to
download agenda & staff
report materials.

1. Call to Order

2. Approval of minutes - Planning Commission 5/13/2025

3. Public Comment

4. Public Hearing – Amendment to Title 17.44.090 – Projections Into Yards

A request by Nickolas Slade to amend Lindon City Code 17.44.090 to increase the allowed eave/porch projections in the front yard or setback. The planning commission may also consider alternative approaches to this application, such as lesser setbacks or other modifications, during their discussion, deliberation, and recommendation to the city council. (30 minutes)

5. Conditional Use Permit – Review of a Single-Family Home Addition in the Hillside Overlay

District at 62 Denali Circle. A request by RC Dent Construction for review and approval to construct a residential home addition in the Hillside Overlay District on a portion of the lot with a slope of 20% or greater. This item was continued from the March 25, 2025 Planning Commission meeting (Parcel # 36:808:0011). (20 minutes)

6. Community Development Director Report - General City Updates

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Community Development Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Britni Laidler at 785-1971, giving at least 24 hours' notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

**The duration of each agenda item is approximate only*

Posted By: Britni Laidler, City Recorder

Date: 06/06/2025 **Time:** 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Notice of Meeting
Lindon City Planning Commission

LINDON

Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Karen Danielson
Ryan Done

2 The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday, May 13**
3 **15, 2025 beginning at 6:00 p.m.** at the Lindon City Center, City Council Chambers, 100 North
4 State Street, Lindon, Utah.

REGULAR SESSION – 6:00 P.M.

6 Conducting: Steve Johnson, Chairperson
8 Invocation: Jared Schauers, Commissioner
Pledge of Allegiance: Rob Kallas, Commissioner

PRESENT

12 Steve Johnson, Chairperson
Rob Kallas, Vice-Chairperson
14 Sharon Call, Commissioner
Mike Marchbanks, Commissioner
16 Jared Schauers, Commissioner
Karen Danielson, Commissioner
18 Ryan Done, Commissioner
Michael Florence, Community Dev. Director
20 Brittain Corbett, City Planner
Britni Laidler, City Recorder

EXCUSED

Scott Thompson, Commissioner

22 **1. CALL TO ORDER** – The meeting was called to order at 6:00 p.m.

24 **2. APPROVAL OF MINUTES** – The minutes of the regular meeting of the Planning
26 Commission meeting of April 15, 2025 were reviewed.

28 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE MINUTES OF THE
REGULAR MEETING OF APRIL 15, 2025 WITH NOTED CHANGES. COMMISSIONER
30 CALL SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION
CARRIED.

32 **3. PUBLIC COMMENT** – Chairperson Johnson called for comments from any audience
member who wishes to address any issue not listed as an agenda item. There were no
comments.

CURRENT BUSINESS –

34 **4. Public hearing for a recommendation to the Lindon City Council to amend the
Lindon City General Plan Future Land Use Map from General Commercial to Low
Density Residential.** A request by Todd Trane, with Millhaven Development, to
36 designate the western portion of parcels 14:069:0331 and 14:069:0332 as Low Density
38 Residential, while retaining the General Commercial designation for the remainder. The
40 proposed boundary adjustment aligns with the proposed zoning amendment.

42 Mike Florence, Community Development Director, presented this item and noted that the
applicant Todd Trane and Jeremy Ackley were present to answer any question the commission

2 may have. Mr. Florence began by providing historical context on the general plan and zoning,
3 explaining that decades ago, the city council had designated the first 500 feet along State Street
4 as commercial general zoning without necessarily adhering to property lines. Over time, this
5 resulted in zoning boundaries that did not align cleanly with existing parcels, often causing them
6 to split across zoned areas. Mr. Florence showed the current future land use map and zoning
7 map, pointing out the property in question and explaining the proposed changes.

8
9 Mr. Florence then went on to explain that the applicant was requesting to amend the
10 future land use map to designate the western portion of the Wooten property as R1-20
11 residential, while expanding the residential lot at 158 West 110 South and noted that the
12 commercial depth would be reduced slightly from 3.1 acres to about 3 acres, but would still
13 maintain significant commercial depth of 530-610 feet in the area.

14
15 Chairperson Johnson asked about a small corner of property that appeared to still be
16 commercial on the map. Mr. Florence clarified that it was already part of a residential plat and
17 that the most restrictive zoning, which is residential, would apply.

18
19 Jeremy Ackley, the property owner, explained his intentions for the property,
20 emphasizing his interest in controlling what happens there to ensure it aligns with neighborhood
21 values. He expressed a desire to preserve views and the overall character of the area, noting that
22 he resides in the cul-de-sac just south of the property in discussion. Mr. Ackley highlighted the
23 importance of having whatever development occurs on the commercial parcel contribute
24 positively to the neighborhood and stated that, personally, he would prefer the property remain
25 an orchard but recognizes the improbability of that. He then noted that he wants any future
26 development to be mindful of the community's needs. Furthermore, he clarified that his vision
27 does not include high-density housing or certain types of commercial establishments, such as gas
28 stations or car lots, as he is focused on maintaining work-hour lighting and minimizing
29 disruption.

30
31 COMMISSIONER KALLAS MOVED TO OPEN THE PUBLIC HEARING.
32 COMMISSIONER DONE SECONDED. ALL PRESENT VOTED IN FAVOR. THE MOTION
33 CARRIED.

34
35 Chad Olsen - a resident, expressed concerns about potential traffic increases on 40th South if the
36 area is developed commercially. He asked if there were plans to upgrade the street, noting its
37 narrow width and lack of sidewalks.

38
39 Mr. Florence responded that the street is planned as a local street with a 50-foot right-of-
40 way. He explained that curb, gutter, and sidewalk would be required for new commercial
41 property, but other improvements would be a city-initiated project in the future.

42
43 Shelly Olsen - asked about the potential for multi-density housing on the commercial property.

44
45 Mr. Florence clarified that, under the current zoning, the commercial property cannot
46 accommodate any residential development.

2 Dorothy Olsen - expressed concerns about the narrowness of 40th South and the presence of
4 semi-trucks on the street. She also mentioned issues with speeding and the lack of sidewalks for
children.

6 Douglas Olsen - asked for clarification on the extent of the proposed changes and expressed
8 concerns about increased traffic on 40th South.

10 Chairperson Johnson called for any further comments or discussion from the
Commission. Hearing none he called for a motion to close public hearing.

12 COMMISSIONER DANIELSON MOVED TO CLOSE THE PUBLIC HEARING.
14 COMMISSIONER DONE SECONDED. ALL PRESENT VOTED IN FAVOR. THE MOTION
CARRIED.

16 Chairperson Johnson called for any further comments or discussion from the
Commission. Hearing none he called for a motion.

18 COMMISSIONER MARCHBANKS MOVED TO RECOMMEND APPROVAL
20 ORDINANCE 2025-03-O TO AMEND THE LINDON CITY GENERAL PLAN FUTURE
LAND USE FOR PARCELS 14:069:0331 & 14:069:0332 AS INDICATED IN THE
22 ADOPTING ORDINANCE WITH THE FOLLOWING CONDITIONS: 1. ALL ITEMS OF
THE STAFF REPORT. COMMISSIONER KALLAS SECONDED THE MOTION. THE
24 VOTE WAS RECORDED AS FOLLOWS:

COMMISSIONER JOHNSON	AYE
COMMISSIONER CALL	AYE
COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER DONE	AYE

32 THE MOTION CARRIED UNANIMOUSLY.

34 **5. Public hearing for a recommendation to the Lindon City Council to amend the
Lindon City R1-20 and General Commercial Zoning Map boundaries.** A request by
36 Todd Trane to adjust the zoning boundary between General Commercial and Residential
R1-20 to follow the Parcel lines located for parcels 14:069:0331 and 14:069:0332

38 Mike Florence presented the proposed zoning map changes, explaining how they align
40 with the general plan amendment discussed in the previous item. He then showed the current
zoning and the proposed changes, highlighting how the residential zoning would expand and the
42 commercial zoning would be adjusted.

44 COMMISSIONER CALL MOVED TO OPEN THE PUBLIC HEARING.
46 COMMISSIONER MARCHBANKS SECONDED. ALL PRESENT VOTED IN FAVOR. THE
MOTION CARRIED.

2 Chairperson Johnson called for any further comments or discussion from the
3 Commission. Hearing none he called for a motion to close the public hearing.
4

5 COMMISSIONER KALLAS MOVED TO CLOSE THE PUBLIC HEARING.
6 COMMISSIONER DONE SECONDED. ALL PRESENT VOTED IN FAVOR. THE MOTION
7 CARRIED.
8

9 Chairperson Johnson called for any further comments or discussion from the
10 Commission. Hearing none he called for a motion.
11

12 COMMISSIONER KALLAS MOVED TO RECOMMEND APPROVE ORDINANCE
13 2025-04-O TO AMEND THE LINDON CITY ZONING MAP AND ADJUST THE R1-20 AND
14 GENERAL COMMERCIAL ZONING BOUNDARIES AS IDENTIFIED IN THE
15 ORDINANCE WITH THE FOLLOWING CONDITIONS: 1. ALL ITEMS OF THE STAFF
16 REPORT. COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE VOTE
17 WAS RECORDED AS FOLLOWS:
18

COMMISSIONER JOHNSON	AYE
COMMISSIONER CALL	AYE
COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER DONE	AYE

24 THE MOTION CARRIED UNANIMOUSLY.

26 **6. Subdivision Plat Amendment – Lindon Treasury Plat D** Todd Trane is proposing a
27 subdivision plat amendment to Lindon Treasury Plat D, increasing the residential lot size
28 for the properties located at 158 W. 110 S.

30 Mike Florence presented the proposed plat amendment, explaining that it would increase
31 the lot size at 158 West 110 South from 21,505 square feet to just over 39,000 square feet. He
32 noted that the subdivision met all requirements, and that approval would be contingent on the
33 City Council approving the general plan and zoning map amendments.
34

36 Commissioners asked for clarification on property ownership, which was provided by
37 Todd Trane and Jeremy Ackley.
38

39 COMMISSIONER DONE MOVED TO APPROVE THE APPLICANT'S REQUEST
40 FOR PLAT AMENDMENT APPROVAL FOR THE PLAT D AMENDED LINDON
41 TREASURY SUBDIVISION LOCATED AT 158 W. 110 S. WITH THE FOLLOWING
42 CONDITIONS: 1. THE PLAT IS APPROVED CONDITIONED UPON THE CITY COUNCIL
43 APPROVING THE GENERAL PLAN FUTURE LAND USE MAP AND ZONING MAP
44 AMENDMENTS; 2. THE APPLICANT WILL CONTINUE TO WORK WITH THE CITY
45 ENGINEER TO MAKE ALL FINAL CORRECTIONS TO THE SUBDIVISION PLAT; 3.
46 PRIOR TO PLAT RECORDING, THE APPLICANT WILL UPDATE THE FINAL PLAT
47 MYLAR TO INCLUDE NOTARIZED SIGNATURES AND OBTAIN SIGNATURES OF ALL
48 ENTITIES INDICATED ON THE SUBDIVISION PLAT ATTACHED HERETO; 4. THE

2 PLAT WILL MEET APPLICABLE SPECIFICATIONS AS FOUND IN THE LINDON CITY
3 DEVELOPMENT MANUAL; 5. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER
4 CALL SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

COMMISSIONER JOHNSON	AYE
COMMISSIONER CALL	AYE
COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER DONE	AYE

10 THE MOTION CARRIED UNANIMOUSLY.

12 7. 2025 Planning Commission Chair Election

14 The Commission discussed possibilities and agreed that things should stay same as the
16 previous year with Chairperson Johnson and Vice-Chair Kallas continuing another year.

18 COMMISSIONER MARCHBANKS MOVED FOR STEVE JOHNSON TO REMAIN
19 AND CHAIR AND ROB KALLAS TO REMAIN AS VICE-CHAIR. COMMISSIONER CALL
20 SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

COMMISSIONER JOHNSON	AYE
COMMISSIONER CALL	AYE
COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER DONE	AYE

26 THE MOTION CARRIED UNANIMOUSLY.

28 8. Community Development Director Report

- 30 • Brittain Corbett, City Planner, let the commission know he will be leaving
employment with Lindon to pursue his master's degree at the University of Utah
- 32 • Thornton Property Update
- 34 • Next meeting May 27th
- Misc. City Updates

36 New Business

38 The commissioners raised inquiries concerning ordinances related to vehicle storage on
39 residential properties. Mr. Florence provided an explanation of the current regulations, which
40 focus on managing inoperable vehicles. He also agreed to examine any potential restrictions on
41 the number of vehicles allowed on such properties. Furthermore, the commissioners deliberated
42 on the need for potential ordinances aimed at enhancing the visual impact of properties,
43 especially considering the upcoming temple opening. Additionally, there was a brief discussion
44 about the preparations and timeline for the temple opening; however, no specific updates were
available at that time

46 ADJOURN –

COMMISSIONER MARCHBANKS MOVED TO ADJOURN THE MEETING AT 7:10 P.M. COMMISSIONER DANIELSON SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Approved, May 27, 2025

Steve Johnson, Chairperson

Michael Florence, Community Development Director

Item 4: - Ordinance Amendment – 17.44.090 – Projections Into Yards

Date: June 10, 2025

Applicant: Nickolas Slade

Presenting Staff: Michael Florence

Type of Decision: Legislative

Council Action Required: Yes, the planning commission is the recommending body on this application.

MOTION

I move to recommend (*approval, denial, or continue*) of ordinance amendment 2025-8-O (*as presented, or with changes*).

Summary of Key Issues

- An application has been made to amend City Code 17.44.090, regarding projections into front yards.
- The property owner, Carlene Veenker, owns a home at 276 E. 140 N. and had filed an application to allow for an eight-foot (8') porch to encroach into the front yard or setback.

Overview

- Lindon City Code 17.44.090(2a) state the following:
 - *2. Depending on the size of the yard area and setback, the structures listed below may project into a minimum front, side, or rear yard not more than the following distances:*
 - *a. The following may project into a minimum front, side or rear yard not more than twenty-four inches (24"): cornices, eaves, belt courses, sills, buttresses, or other similar architectural features; fireplace structures and bays (provided, that they are not wider than eight feet (8'), measured generally parallel to the wall of which they are a part), awnings and planting boxes or masonry planters.*
- Essentially, if a property owner has a home that meets the 30' front yard setback, then they can project twenty-four (24) inches into the front yard/setback with an eave.
- The property owner, Mrs. Veenkers, has submitted a building permit application to project an 8' porch to cover the front steps of her home. She would like the steps covered to prevent snow and ice buildup so she doesn't slip and fall. See attachment 1 for the site plan.
- City staff did not prepare an ordinance for this application because we were unsure of the direction that the planning commission wanted to go with a recommendation to the city council. After the public hearing and discussion, staff will prepare an ordinance and bring it back for a recommendation at the next meeting.

Projection Analysis of Other Communities

Municipality	Projection	Front Yard Setback
Lindon	2'	30'
Provo	4'	30'
Orem	5'	30'
Springville	5'	30'
American Fork	5'	30'
Pleasant Grove	2'	25'
Cedar Hills	No projections	30'
Ogden	10' for roof, 8' for columns	
St. George	4'	
South Jordan	4'	30'
Mapleton	4'	30'

Staff Analysis

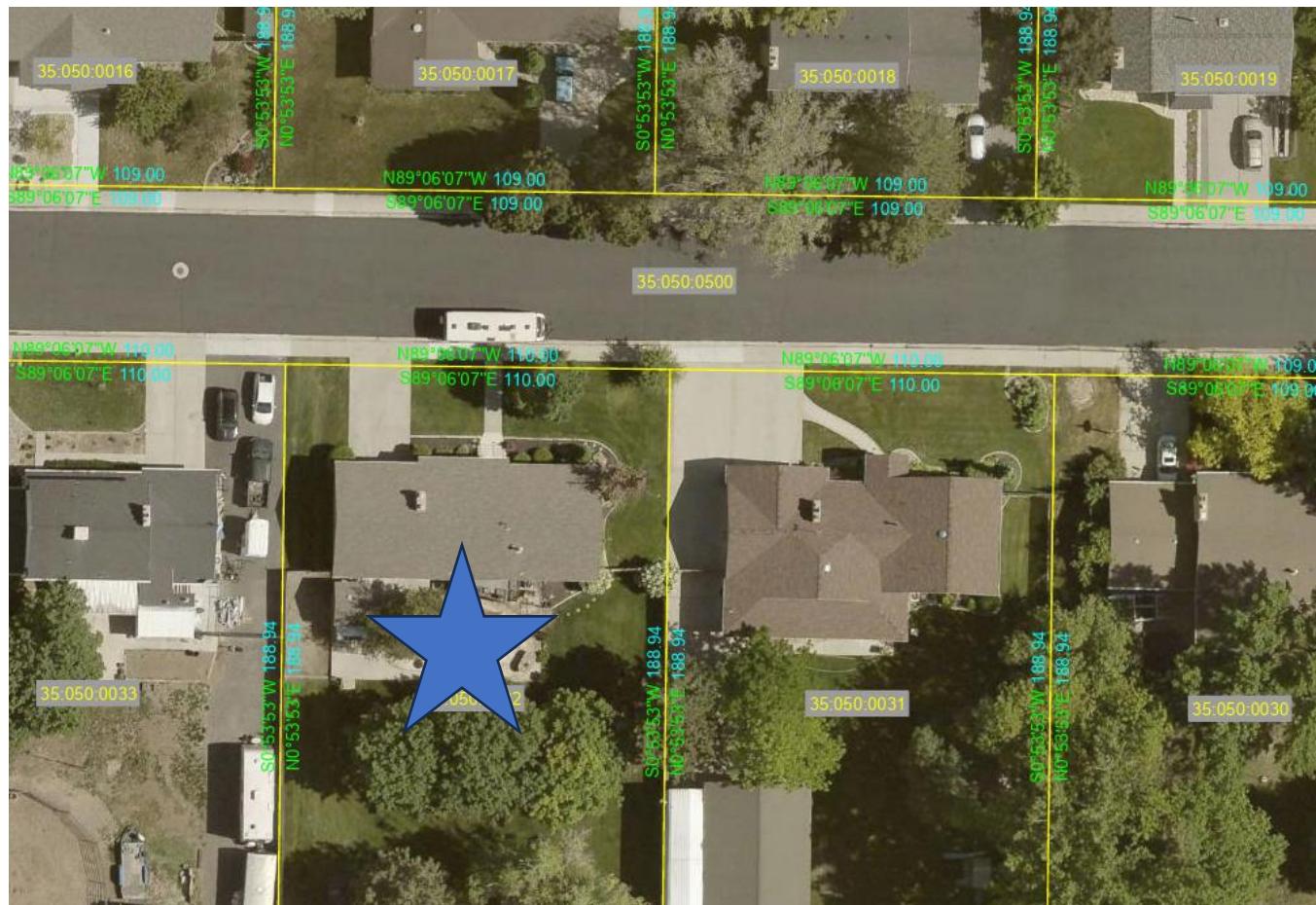
City staff believe that the commission should consider an amendment to the city code to allow options for residents to keep their front steps clear and safe. An 8' projection would be more than most surveyed cities. Below is an ordinance from Ogden City that has a 10' projection allowance.

Single-family dwellings in a residential zone may have a front porch that extends into the front yard setback, if:

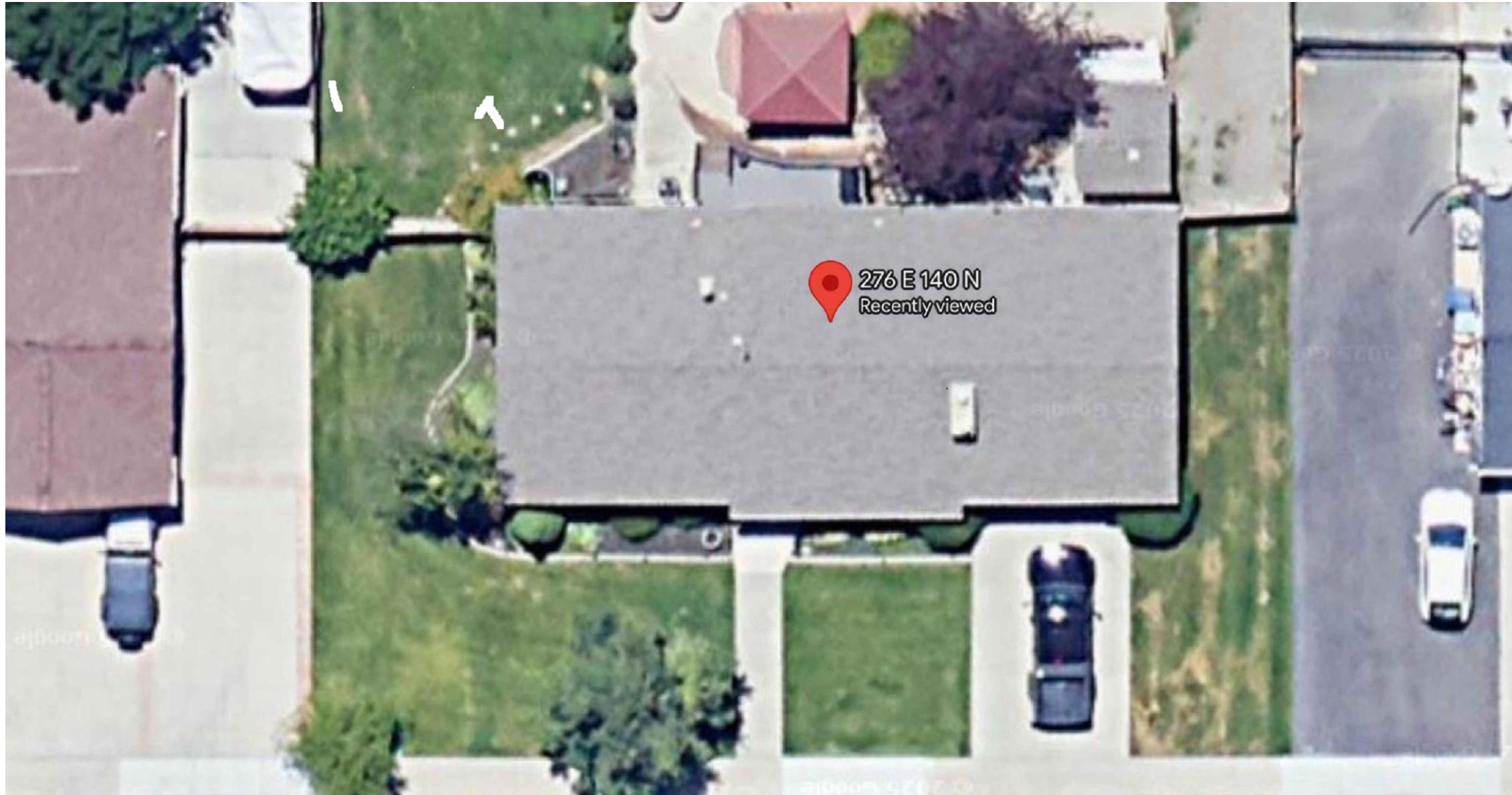
- A. The porch has an entrance facing the street;
- B. The porch and porch roof are designed to follow the architectural lines and building materials of the home;
- C. The deck, roof and columns or posts do not extend into the required front yard setback more than eight feet (8') and the eave overhang does not extend into the required front yard setback more than ten feet (10');
- D. The porch has a minimum roof projection over the front door of four feet (4');
- E. The porch extends at least five feet (5') in width along the front face of the dwelling and may extend the full length of the front of the dwelling;
- F. The porch remains open on three (3) sides (except for see through insect screens) and does not have glass or walls taller than forty inches (40") around the sides that are open;
- G. The portion of the porch within the setback does not include space for any other use, such as living or storage space;
- H. The distance from the front property line to the porch structure is not less than twelve feet (12').

Exhibits

1. Aerial Photo
2. Street View Photo
3. Veenker Site Plan







VEENKER ENTRANCE
276 E 140 N
Lindon, UT 84042

2025

Zoning/Land Use: R1-20

Design Standards: 2021 International Building Code

Utah Building Codes as adopted by Lindon City

DRAWING INDEX

CS - COVER SHEET

A0 - SITE PLAN

A1 - ELEVATIONS

A2 - FRAMING DETAILS

A3 - ROOF PLAN

Project Narrative:
Build new porch overhang to create a safer stair environment for elderly owner. New siding, fascia, gutters and downspouts. Re roof entire home.

**General Contractor:
Slade Group, LLC
6261 S. Dellron Dr
Murray, UT 84123
(801) 808-0877
10938499-5501**

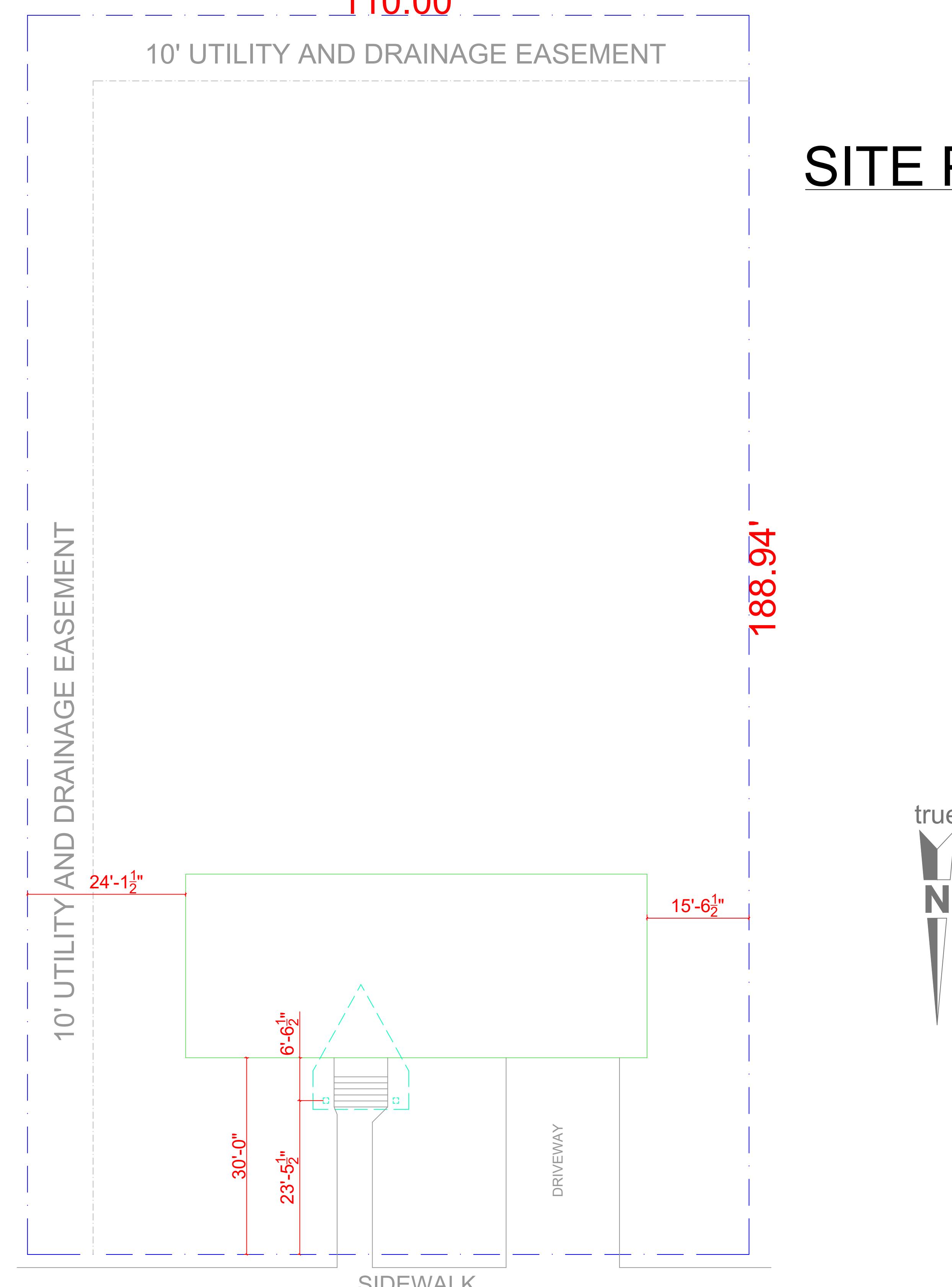
Designer:
Nickolas Slade
Slade Group, LLC
6261 S. Delliron Dr
Murray, UT 84123
(801) 503-1861

Owner:
Carlene Veenker
276 E 140 N
Lindon, UT 84042
(801) 380-0887

project Name/Address
VEENKER ENTRANCE
276 E 140 N LINDON UT 84042
drawing Title
COVER SHEET

CS

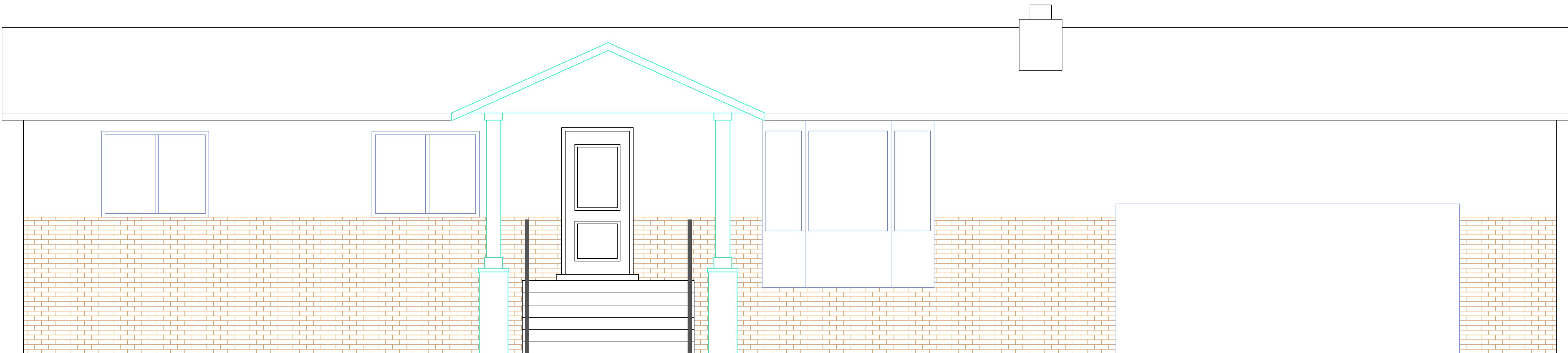
Project Name/Address
VEENKIL
276 E 14th
Drawing Title

USER	VEENKER ENTRANCE 276 E 140 N LINDON UT 84042	
REVDATE	Drawing Title	
FNAME	Project Name/Address	
REV A	4/17/2025	Project No. 2512
XXX	Scale	Date 4/17/2025
	Sheet	Sheet
		A-0
<p style="text-align: center;">SITE PLAN</p>  <p style="text-align: center;">140 NORTH</p>		
<p style="text-align: right;">110.00'</p> <p>10' UTILITY AND DRAINAGE EASEMENT</p> <p>188.94'</p> <p>true</p>		
<p>10' UTILITY AND DRAINAGE EASEMENT</p> <p>24'1 1/2"</p> <p>30'0"</p> <p>23'5 1/2"</p> <p>6'6 1/2"</p> <p>15'6 1/2"</p> <p>SIDEWALK</p> <p>DRIVEWAY</p>		

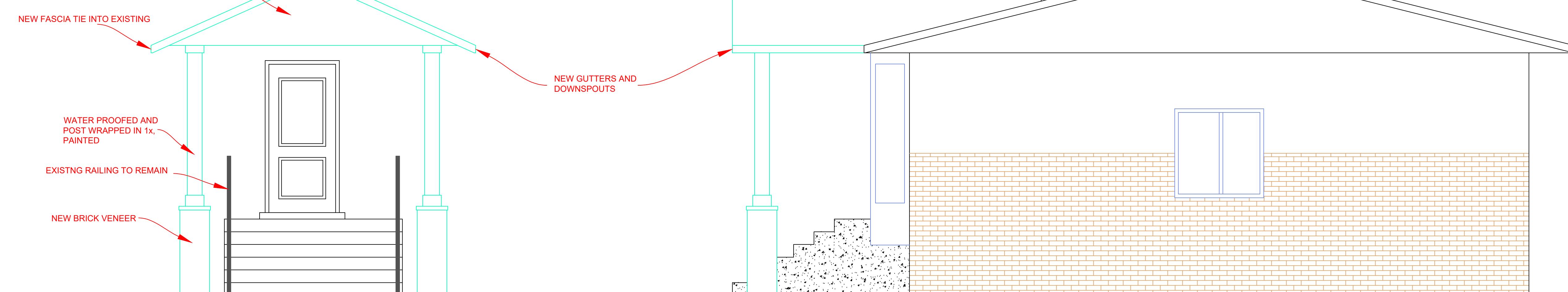
Revisions
REV A 4/17/2025
XXX

Project Name/Address
Drawing Title
VEENKER ENTRANCE
276 E 140 N LINDON UT 84042
Project No. 2512
Date 4/17/2025
Scale $\frac{1}{4}$ " = 1'-0"
Sheet

A-1



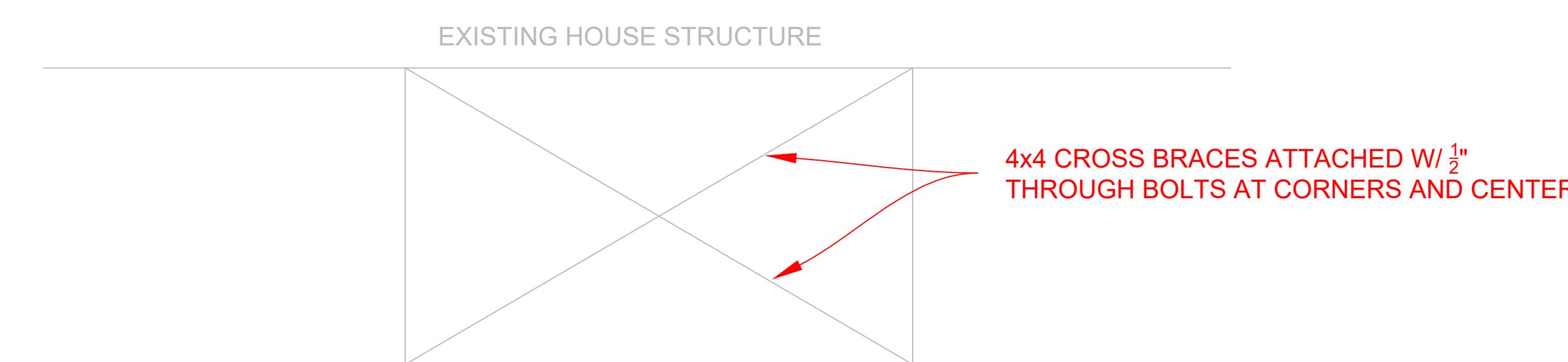
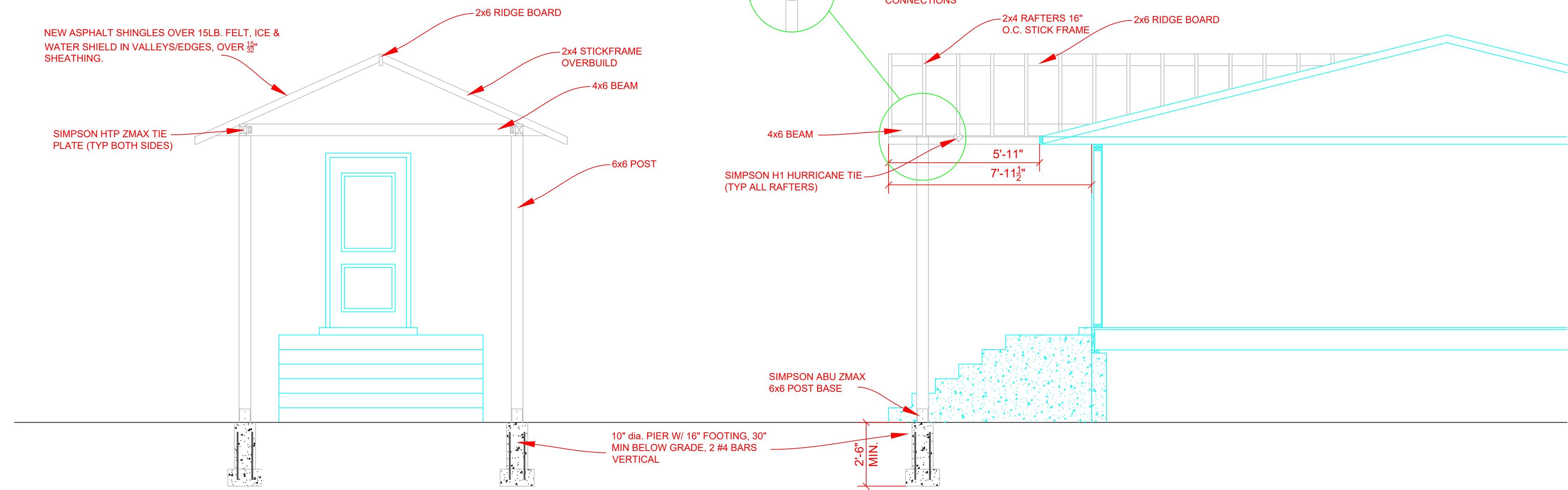
FRONT VIEW



FRONT FINISH DETAIL

SIDE VIEW

FNAME
REVDATE
USER



LATERAL SUPPORT WITH CROSS BRACING

PLAN VIEW

FNAME

REVDATE

USER

Revisions
REV A 4/17/2025
XXX

ENAME

REVDATE

USER

ROOF PLAN

NOTES

- NEW ASPHALT SHINGLES OVER 15LB. FELT, ICE & WATER SHIELD IN VALLEYS/EDGES, OVER $\frac{15}{32}$ " SHEATHING.
 - NEW FASCIA TIE INTO EXISTING
 - NEW GUTTERS AND DOWNSPOUTS

VEENKER ENTRANCE
276 E 140 N LINDON UT 84042

Drawing Title ROOF PLAN

object No. 2512
date 4/17/2025
scale 3" = 1'-0"
sheet

A-3

Item 5: Conditional Use Review of Single-Family Home Addition in the Hillside Protection District — 62 S Denali Circle

Date: June 10, 2025

Project Address: 62 S. Denali Circle

Applicant: Scott Dent

Property Owner: Michael & Teresa Harris

Current Zone: R1-12 (Residential)/
Hillside Protection District Overlay

Parcel ID: 36:808:0011

Acreage: 1.5264

Type of Decision: Administrative

Council Action Required: No

Presenting Staff: Michael Florence



Summary of Key Issues

1. The Hillside Protection Zone requirements apply to all residential developments on parcels and lots within the city that have an average slope exceeding twenty (20) percent, as defined in Section 17.57.030(2).
2. The property owners propose a 9,000-square-foot addition to their existing home. A survey has determined that the addition's location has a slope between 20%-25%.
3. At the March 25, 2025 meeting the planning commission continued the review so that the contractor could have the geotechnical report completed due to the extensive excavation.
4. Due to the size of the geotechnical report the following link to report is provided:
 - I. https://media.rainpos.com/442/R04344_004.pdf

Overview

1. The property is located in the Canberra Heights Plat A Subdivision, recorded in 1999.
2. The subdivision plat also acknowledges several key points:
 - a. All lots in Canberra Heights, Plat A, are subject to Lindon City's Hillside Protection Zone (Section 17.57).
 - b. A geotechnical study for the subdivision was completed by AGEC on April 3, 1997.
3. The Lindon City Hillside ordinance, 17.57, requires the following plans to be submitted when a project is in the Hillside Overlay District:
 - a. Soils Report, Geology Report, Grading and Drainage Plan, Fire Protection Report, and Vegetation Plan
4. For the home addition, the contractor needed to excavate approximately 22' for the footing and foundation. The geotechnical engineer recommended the following:
 - a. Client will excavate for the new proposed addition and excavate a test pit to a depth of 3 feet below the proposed footing elevation.
 - b. IGES will observe the excavation and take soil samples at varying depths.
 - c. IGES will complete appropriate laboratory tests for bearing capacity calculations and slope stability analysis, if required.
 - d. IGES will provide a Geotechnical and Geologic Report once the laboratory data and engineering analysis is complete.
5. The geotechnical engineer completed the report and provided the following: "it is our opinion that the property is suitable for the proposed addition from a geotechnical and geologic hazard perspective and is not anticipated to be adversely impacted by geologic hazards, provided that the recommendations presented in this report are incorporated into the design and construction of the project."

Geotechnical Report Findings and Recommendations

Intermountain GeoEnvironmental Services, Inc performed the geotechnical and geologic hazard investigation report and provided the following information:

Findings

- Groundwater seepage was observed in the lower part of the excavation (TP-1b) within the upper part of the weathered Manning Canyon Shale along the northeastern wall of the excavation.
- The geologic hazard risk associated with landslides, surface-fault-rupture, rockfall, debris-flows/flooding, and liquefaction hazards is considered to be low for the proposed addition.
- The geologic hazard risk associated with the shallow groundwater hazard is considered to be moderate.
- The structural engineer also provided a letter stating that all structural calculations have been performed in compliance with the requirements contained in the report.

Recommendations

The geotechnical engineer provided three recommendations as listed below. However, the engineer also provided additional detailed recommendations during construction as found in sections 5.0 of the report.

- To reduce the shallow groundwater hazard risk to an acceptable level, it is recommended that a foundation drain be installed beneath the proposed addition to accommodate any groundwater seepage.
- Proper building design according to appropriate building code and design parameters can assist in mitigating the hazard associated with earthquake ground shaking. Review and consideration of the Federal Emergency Management Agency (FEMA, 2006) document for avoiding earthquake damage, which suggests strapping water heaters to wall studs and installing flexible gas and water lines to reduce the risk of fire and water damage in the event of an earthquake, is recommended.
- Shallow spread or continuous wall footings constructed entirely on competent, native earth materials, or entirely on a minimum of two feet of granular structural fill overlying competent native earth materials, may be proportioned utilizing a maximum net allowable bearing pressure of 2,500 pounds per square foot (psf) for dead load plus live load conditions. The net allowable bearing value presented above is for dead load plus live load conditions. The allowable bearing capacity may be increased by one-third for short-term loading (wind and seismic). The minimum recommended footing width is 20 inches for continuous wall footings and 30 inches for isolated spread footings.

Motion

I move to (approve, deny, or continue) the applicant's request for a conditional use permit to construct a single-family home addition at 62 S. Denali Circle with the following conditions:

1. All geotechnical engineer's recommendations outlined in the engineer's report dated May 30, 2025, shall be followed;
2. Inspections outlined in the report by the geotechnical engineer shall be conducted and inspection reports provided to Lindon City;
3. The residential structure will comply with current building codes;
4. Updated building plans incorporating the recommendations from the geotechnical and structural engineers shall be submitted for final approval;
5. Mitigation measures outlined in Lindon City ordinance 17.57 – Hillside Overlay District and Adopted Interpretations will be incorporated into the final design of the project;
6. Compliance with fire code and fire flow requirements shall be met;
7. The landscape plan will be updated to meet the recommendations as found in the geotechnical report. In addition, a written statement by the landscaper or another qualified person or firm will be submitted to the city for before final approval. This statement must address any vegetation problems, and further stating an opinion as to the ability of the proposed plan to mitigate or eliminate such problems in a manner as to prevent hazard to life or property, adverse effects on the safety, use or stability of a public way or drainage channel, and adverse impact on the natural environment; and
8. All items of the staff report

Hillside Code Requirements - [Link to 17.57 Hillside Protection Overlay District](#)

Applicability of Provisions

17.57.010 - Purpose of provisions.

1. The purpose of the Hillside protection zone is to promote health, safety and the general public welfare of the residents of the city, by establishing standards for development of certain hillsides located in the city to minimize soil and slope instability, erosion, downstream siltation, and to preserve the character of the hillsides.

2. The provisions herein are designed to accomplish the following:

- a. Encourage the location, design and development of building sites to provide maximum safety and human enjoyment while adapting the development to the natural terrain;
- b. Provide for safe circulation of vehicular and pedestrian traffic to public and private areas and minimize the scarring and erosion effects of cutting, filling and grading related to Hillside street construction;
- c. Prohibit activities and uses which would result in degradation of fragile soils and steep slopes;
- d. Encourage preservation of open space to preserve the natural terrain;
- e. Minimize flooding by protecting streams, drainage channels, absorption areas and floodplains from substantial alteration of the natural functions.

17.57.030 – Applicability of Provisions

2. The Hillside protection zone requirements shall also be applicable to residential development of all parcels and lots located in the city having an average slope in excess of twenty (20) percent, as defined in this chapter.

Area for new addition – 20%-25% sloped identified



Ordinance Review

Building Site Requirements	Proposal	Compliant
Each lot or parcel of land shall contain a primary building site appropriate to accommodate the primary residential structure, which building site shall be outlined on the subdivision plat. The primary building site shall include a buildable area of sufficient size to allow not less than two thousand five hundred (2,500) square feet of footprint for the residential structure, after allowing for all required setbacks, and other requirements.	The Canberra Heights Plat A identifies the buildable area on the plat. The home will have a footprint exceeding 2,500 sq ft but is located within the footprint on the plat.	Yes
Grading of the lot or parcel which is related to creation of the primary building site or construction of the structure shall not extend closer than twenty (20) feet from the lot or parcel boundary lines, nor more than thirty (30) feet, horizontally, in front, to the rear or to the side of the proposed structure unless a greater distance is approved by the planning commission upon a showing by the developer that a greater distance will not be contrary to the purpose of this chapter.	From the edge of the existing driveway to the east rear property line is approximately 20'. All other setbacks exceed the 30' requirement	Yes
The primary building site shall have a natural or manmade slope of twenty (20) percent or less.	The contractor has stated that the 20% slope will be met. This will be confirmed prior to issuing a building permit	Yes
The driveway(s) to the building site shall have a maximum slope of twelve (12) percent and shall have direct access to a public street.	Existing	Yes

Technical Report Review

Technical Report	Proposal	Compliant
Soils/Geotechnical Report	A report has been submitted and recommendations provided. City staff have reviewed the report and are good to move forward following the recommendations of the Geotech engineer.	Yes
Grading and Drainage Plan	The current slopes of the area from the addition are 20%-25%. The contractor had provided a grading and drainage plan as well as a letter stating that the site will contain any additional drainage created by the new construction.	Yes
Fire Protection Report	Orem City Fire has evaluated the site and provided the city a letter, Exhibit 7, in which it states that there will be no increased wildfire risk and the proposed development is improving their situation by removing the scrub oak within the property for the home addition. The property owner has previously also installed a suppression sprinkler system on portions of the property line.	Yes
Vegetation Plan	The applicant has provided an updated vegetation plan for landscaping but not a statement from the landscaper or other firm regarding the mitigation of the new landscaping to prevent hazards to life or property.	Yes

Staff Analysis

Lindon City acknowledges the homeowner and contractor's efforts in providing appropriate studies and reports for the sloped area of the proposed addition. City staff find that the project should move forward following the conditions of the geotechnical engineer as well as the conditional use permit conditions.

Exhibits

1. Aerial photo
2. Geotechnical Report Link: https://media.rainpos.com/442/Ro4344_004.pdf
3. Letter from Structural Engineer
4. Renderings
5. Site Plan
6. Slope Identification
7. Grading and Drainage Plans
8. Civil Engineer Drainage Letter
9. Fire Report
10. Landscape/Vegetation Plan
11. Canberra Height Plat A Subdivision Plat

Exhibit 1



Geotechnical Report:

https://media.rainpos.com/442/R04344_004.pdf

June 5, 2025

Brinton Neff
RC Dent Construction
1385 W. 400 N.
Orem, Utah 84057
brinton.rcdent@gmail.com
Cc: scott.rcdent@gmail.com

RE: Harris Addition & Remodel (LEI# 2024-2141)

To Whom It May Concern:

IGES Geotechnical and Geologic Hazard Investigation report (Project No. 04344-004) dated May 30, 2025 has been provided for the residence located at 62 E Denali Circle in Lindon, Utah. We have reviewed the geotechnical report and find that all structural calculations have been performed in compliance with the requirements contained therein.

Please call if you have any questions or concerns. Thank you.

Sincerely,



Joshua K. S. Anderson, S.E.
Principal



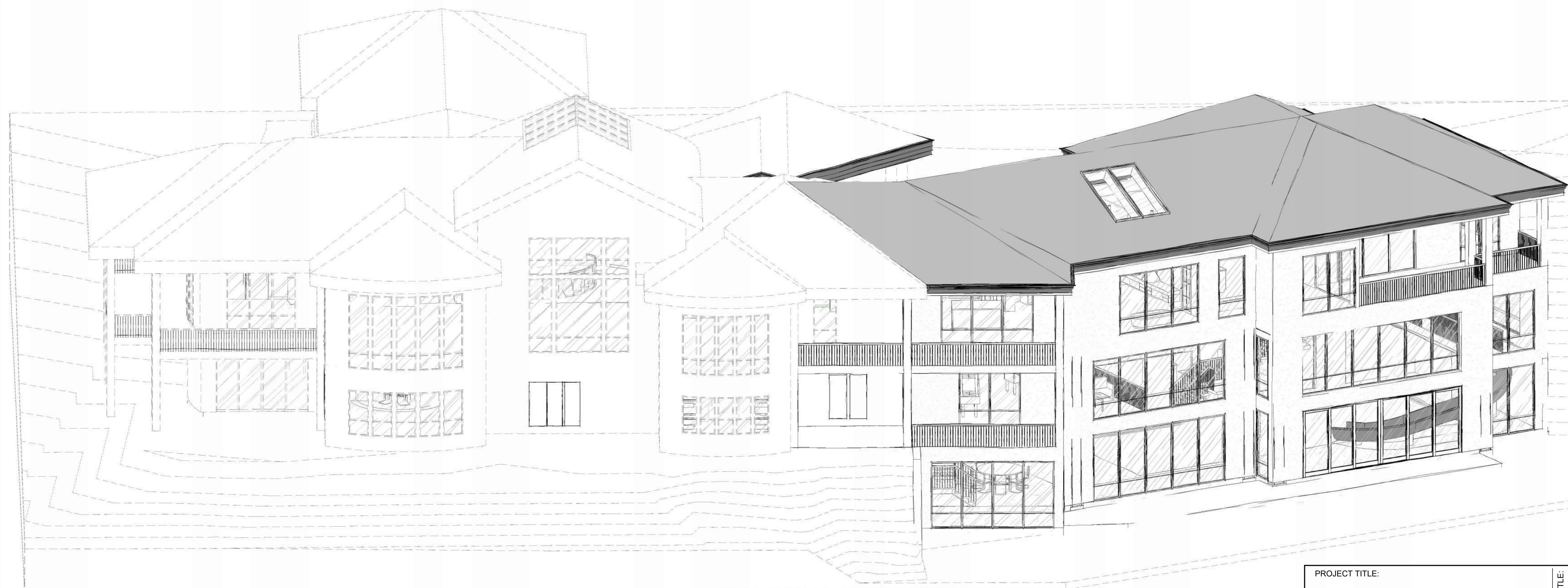
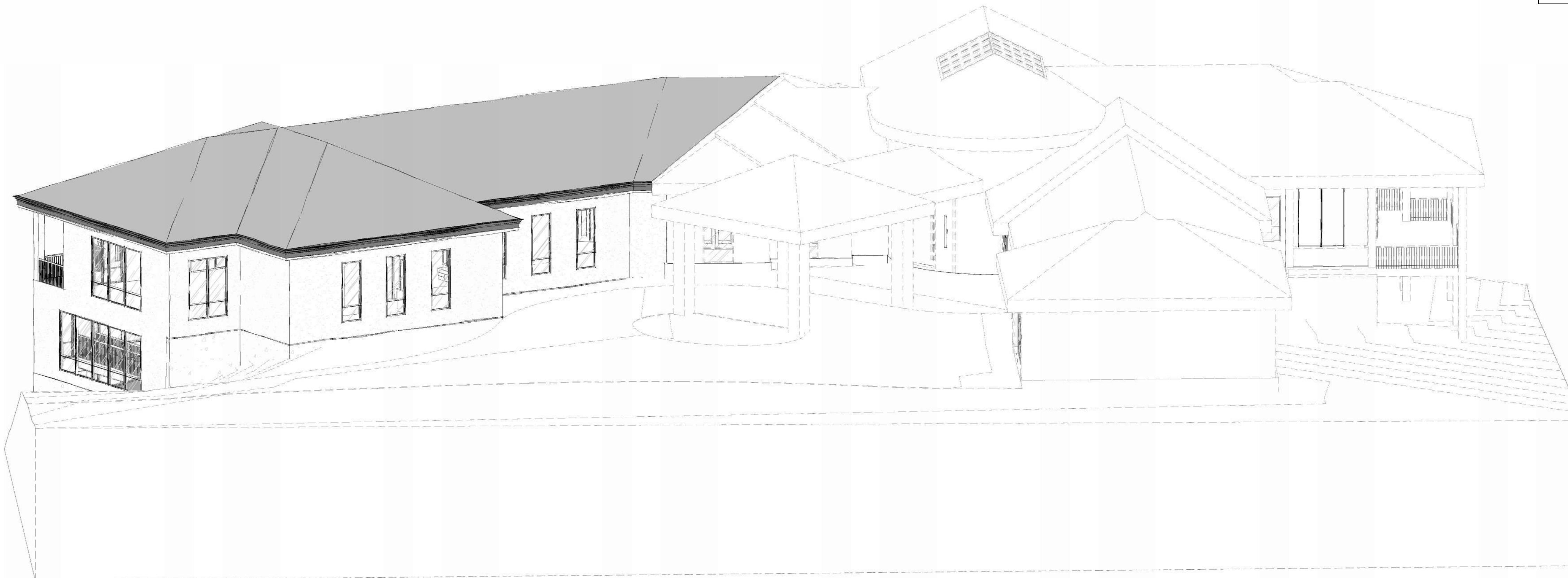
- Civil Engineering
- Structural Engineering
- Surveying
- Land Planning

GENERAL & KEYED NOTES



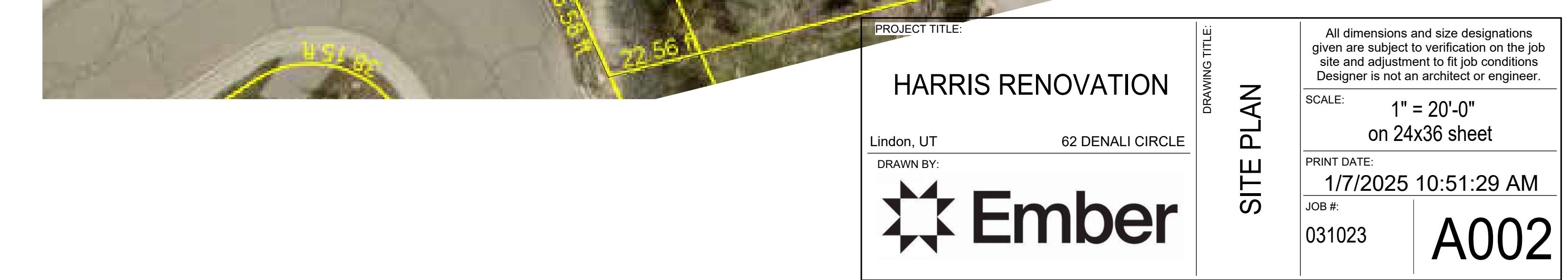
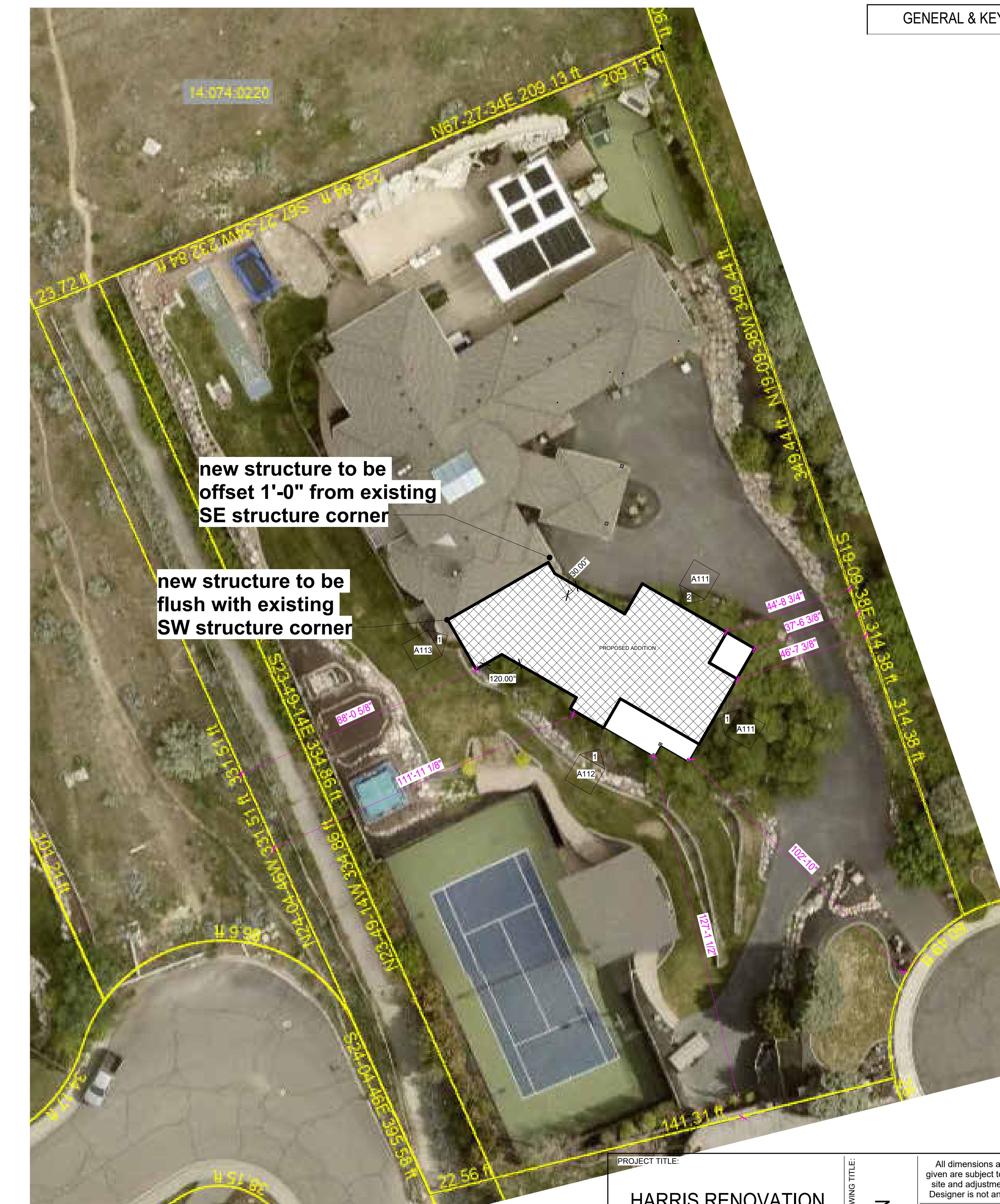
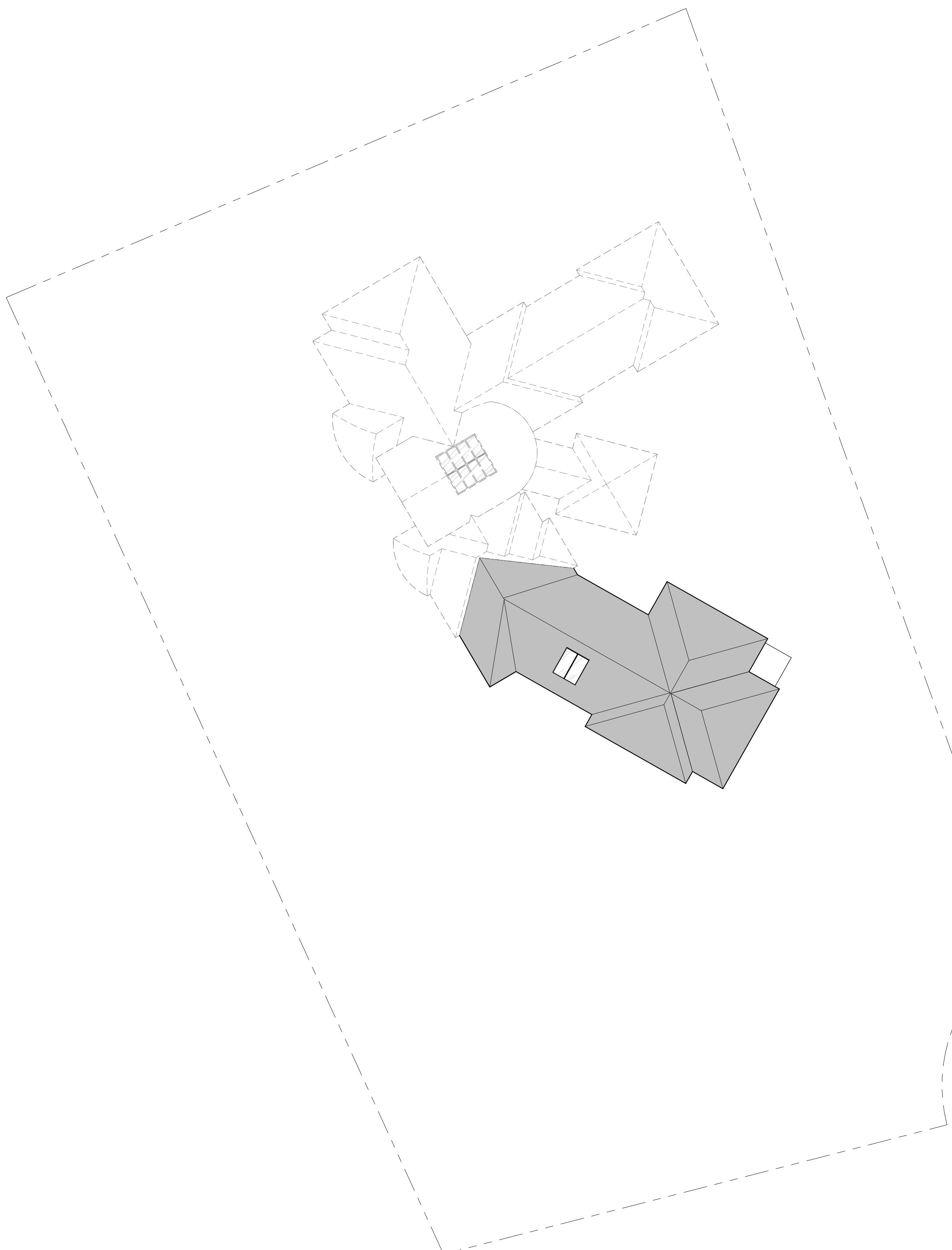
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LINDON, UT	62 DENALI CIRCLE	DRAWING TITLE:
DRAWN BY:		All dimensions and size designations given are subject to verification on the job site and adjustment to fit job conditions. Designer is not an architect or engineer.
PRINT DATE:		on 24x36 sheet
1/7/2025 10:52:11 AM		SCALE:
JOB #:		031023
		A116

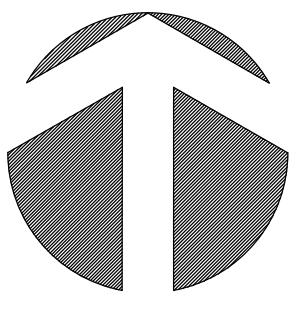
GENERAL & KEYED NOTES



PROJECT TITLE:	HARRIS RENOVATION	
LINDON, UT	62 DENALI CIRCLE	DRAWING TITLE:
DRAWN BY:		All dimensions and size designations given are subject to verification on the job site and adjustment to fit job conditions. Designer is not an architect or engineer.
PRINT DATE:		SCALE:
1/7/2025 10:52:18 AM		on 24x36 sheet
JOB #:		031023
		A117

Exhibit 4





NORTH
1" = 20'

Exhibit 6

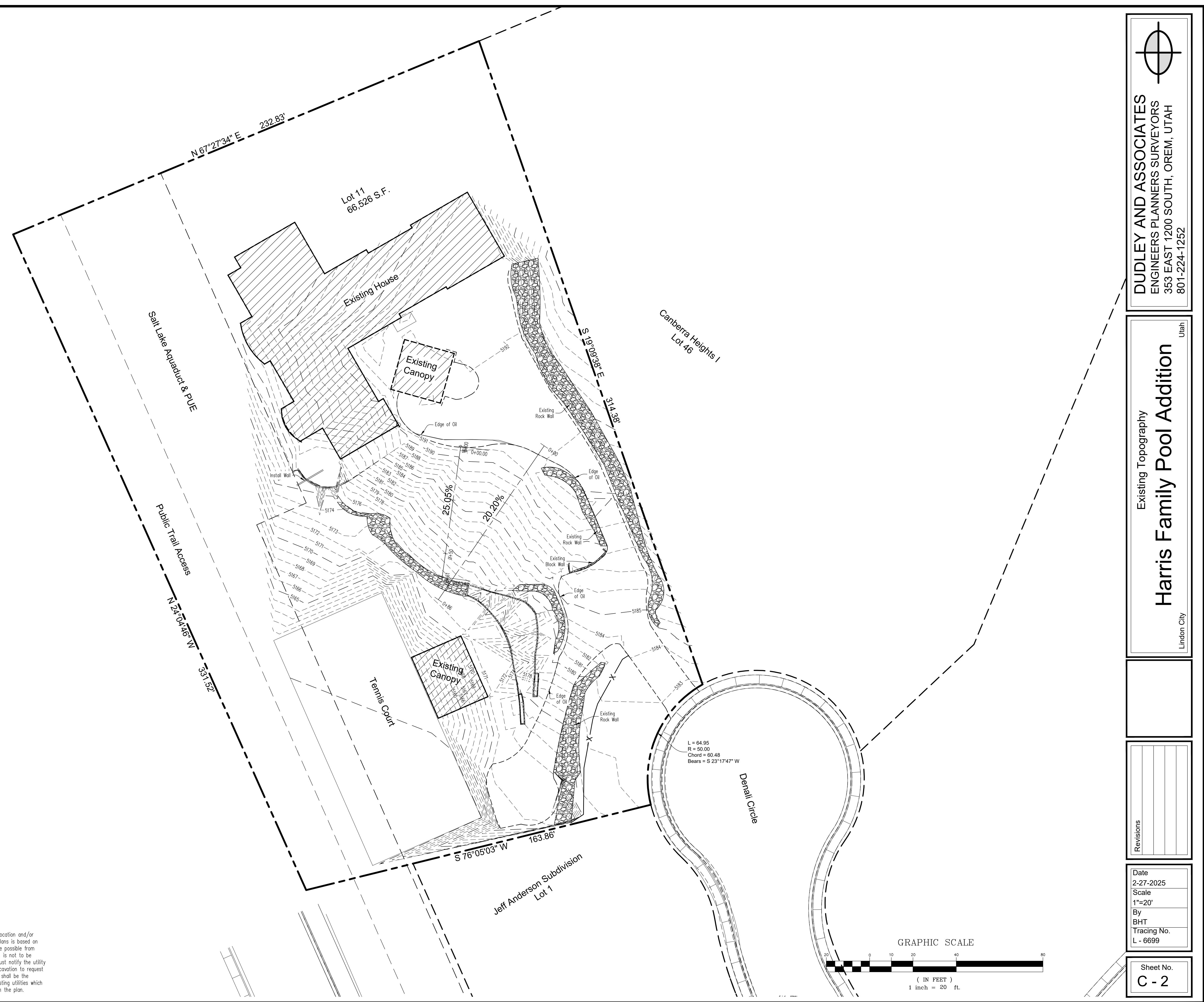
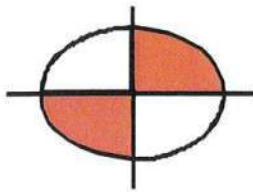


Exhibit 7



DUDLEY & ASSOCIATES, Inc.
ENGINEERS PLANNERS SURVEYORS

March 3, 2025

Brinton Neff
R C Dent Construction
1385 West 400 North
Orem, Utah 84057

RE: Harris residence – 62 South Denali Circle – Lindon, Utah

Brinton,

Per request, we have reviewed again the site drainage at the Harris Resience in Lindon. The existing site drainage is well contained within the Harris property. There are several granular basins which have been constructed along the West perimeter and around the site amenities (tennis court, pavilion, planter boxes, etc.).

The roof drainage for the existing home is self-contained on the East and West sides of the structure. Roof drainage for the proposed addition will be dissipated into the landscape areas similar to that of the existing home. The area adjacent to and West of the current improvements is the public trail and McKinley Drive as well as a landscaped area which mitigates any excess drainage, if needed.

We are confident that the finished landscaped site will contain any additional drainage created by the new construction.

Sincerely,

Roger D. Dudley, PE
Project Engineer



Exhibit 8

Orem Fire and Life Safety Inspection Report v.3

Facility Information

Occupant Name:

Address: 62DenaliLindon

Business Phone:

Contact First Name Brinton

Contact Last Name Neff

Contact Information

Contact Cell Phone

Contact Email Brinton.rcdent@gmail.com

Inspection Information

Inspection Number: OFD250177

Inspection Passed: Yes

Inspection Type: Permit

Reason: Scheduled

Notes: Fire Protection Report
Lindon Code 17.57.110

Upon assessment of the property and review of the project, it was determined that there will be no increased wildfire risk. The project will not be extending past the property line into unmitigated terrain. In fact, they are improving their situation by removing a large thicket of scrub oak within the property for this home addition. This will improve their defense from blowing embers and hotspots in the event of a wildfire.

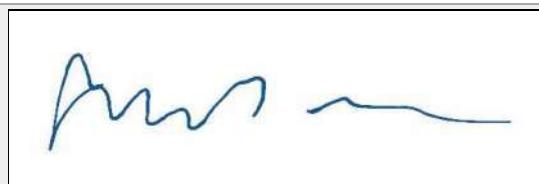
The property owner has made a significant effort in protecting his home from wildfire by installing a suppression sprinkler system on portions of the property line.

The contractor stated they will not be operating heavy equipment and/or other tools in unprotected/unmitigated areas.

The State Forester's Wildfire Hazard & Residential Development Identification Classification remains unchanged.

Acknowledgement - Signatures

Signatures

First Name	Last Name	Signature Date	Signature Graphic
Scott	Beardall	02/13/2025	

Shift:

Station: City of Orem Fire Department
(PSB)

Unit: INS33 - INS33

...

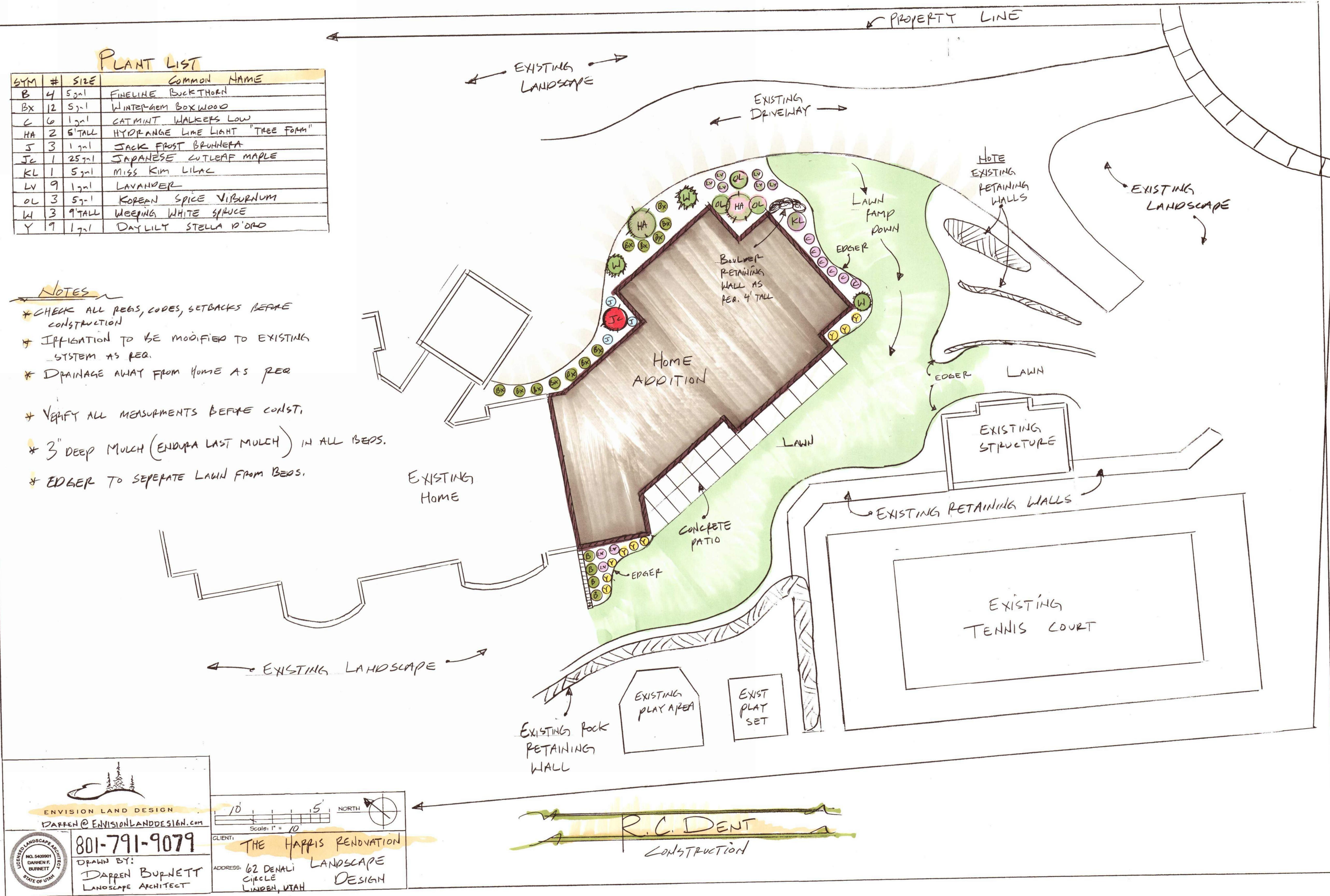


Exhibit 10

SITE VICINITY MAP

