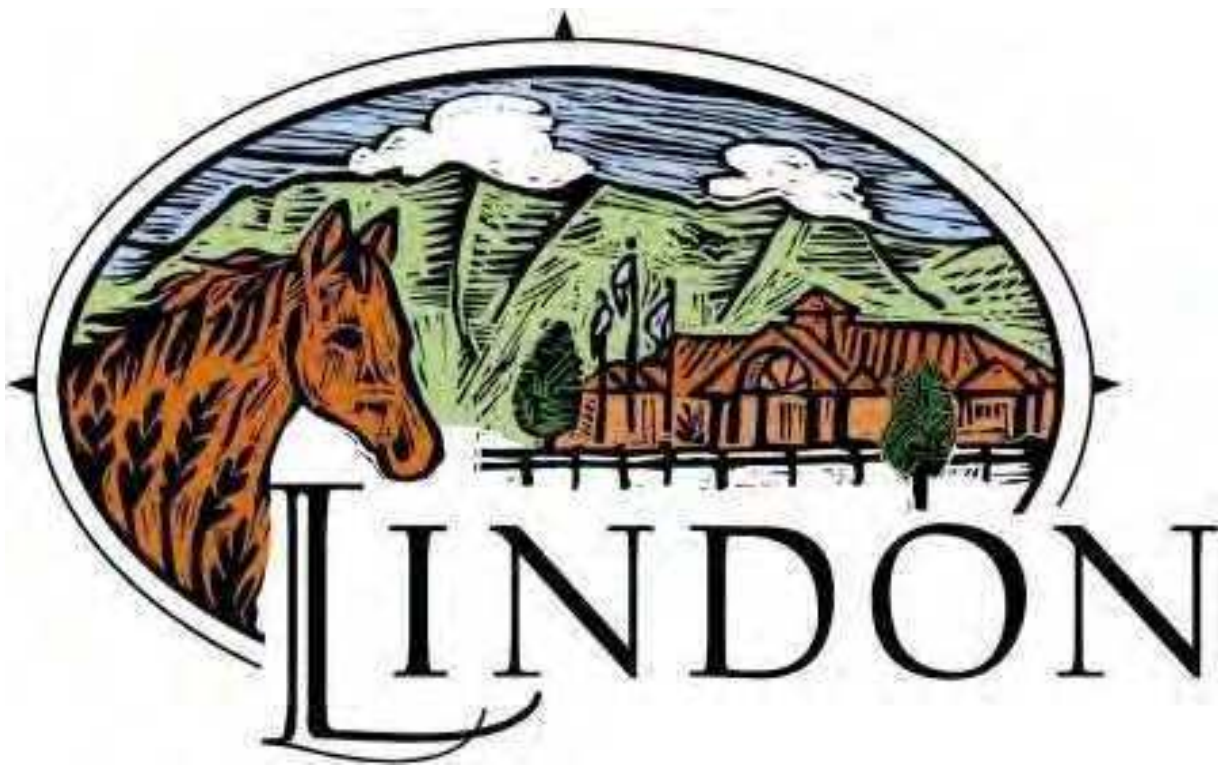


Lindon City Planning Commission Staff Report



June 10, 2025

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, June 10, 2025**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **6:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. Meetings are broadcast live at www.youtube.com/LindonCity. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to
download agenda & staff
report materials.

1. Call to Order

2. Approval of minutes - Planning Commission 5/13/2025

3. Public Comment

4. Public Hearing – Amendment to Title 17.44.090 – Projections Into Yards

A request by Nickolas Slade to amend Lindon City Code 17.44.090 to increase the allowed eave/porch projections in the front yard or setback. The planning commission may also consider alternative approaches to this application, such as lesser setbacks or other modifications, during their discussion, deliberation, and recommendation to the city council. (30 minutes)

5. Conditional Use Permit – Review of a Single-Family Home Addition in the Hillside Overlay District at 62 Denali Circle.

A request by RC Dent Construction for review and approval to construct a residential home addition in the Hillside Overlay District on a portion of the lot with a slope of 20% or greater. This item was continued from the March 25, 2025 Planning Commission meeting (Parcel # 36:808:0011). (20 minutes)

6. Community Development Director Report - General City Updates

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Community Development Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Britni Laidler at 785-1971, giving at least 24 hours' notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

**The duration of each agenda item is approximate only*

Posted By: Britni Laidler, City Recorder

Date: 06/06/2025 **Time:** 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Notice of Meeting
Lindon City Planning Commission



Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Karen Danielson
Ryan Done

The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday, May 13 15, 2025 beginning at 6:00 p.m.** at the Lindon City Center, City Council Chambers, 100 North State Street, Lindon, Utah.

REGULAR SESSION – 6:00 P.M.

Conducting: Steve Johnson, Chairperson
Invocation: Jared Schauers, Commissioner
Pledge of Allegiance: Rob Kallas, Commissioner

PRESENT

Steve Johnson, Chairperson
Rob Kallas, Vice-Chairperson
Sharon Call, Commissioner
Mike Marchbanks, Commissioner
Jared Schauers, Commissioner
Karen Danielson, Commissioner
Ryan Done, Commissioner
Michael Florence, Community Dev. Director
Brittain Corbett, City Planner
Britni Laidler, City Recorder

EXCUSED

Scott Thompson, Commissioner

1. CALL TO ORDER – The meeting was called to order at 6:00 p.m.

2. APPROVAL OF MINUTES –The minutes of the regular meeting of the Planning Commission meeting of April 15, 2025 were reviewed.

COMMISSIONER MARCHBANKS MOVED TO APPROVE THE MINUTES OF THE REGULAR MEETING OF APRIL 15, 2025 WITH NOTED CHANGES. COMMISSIONER CALL SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

3. PUBLIC COMMENT – Chairperson Johnson called for comments from any audience member who wishes to address any issue not listed as an agenda item. There were no comments.

CURRENT BUSINESS –

4. Public hearing for a recommendation to the Lindon City Council to amend the Lindon City General Plan Future Land Use Map from General Commercial to Low Density Residential. A request by Todd Trane, with Millhaven Development, to designate the western portion of parcels 14:069:0331 and 14:069:0332 as Low Density Residential, while retaining the General Commercial designation for the remainder. The proposed boundary adjustment aligns with the proposed zoning amendment.

Mike Florence, Community Development Director, presented this item and noted that the applicant Todd Trane and Jeremy Ackley were present to answer any question the commission

2 may have. Mr. Florence began by providing historical context on the general plan and zoning,
explaining that decades ago, the city council had designated the first 500 feet along State Street
4 as commercial general zoning without necessarily adhering to property lines. Over time, this
resulted in zoning boundaries that did not align cleanly with existing parcels, often causing them
6 to split across zoned areas. Mr. Florence showed the current future land use map and zoning
map, pointing out the property in question and explaining the proposed changes.

8
Mr. Florence then went on to explain that the applicant was requesting to amend the
10 future land use map to designate the western portion of the Wooten property as R1-20
residential, while expanding the residential lot at 158 West 110 South and noted that the
12 commercial depth would be reduced slightly from 3.1 acres to about 3 acres, but would still
maintain significant commercial depth of 530-610 feet in the area.

14
Chairperson Johnson asked about a small corner of property that appeared to still be
16 commercial on the map. Mr. Florence clarified that it was already part of a residential plat and
that the most restrictive zoning, which is residential, would apply.

18
Jeremy Ackley, the property owner, explained his intentions for the property,
20 emphasizing his interest in controlling what happens there to ensure it aligns with neighborhood
values. He expressed a desire to preserve views and the overall character of the area, noting that
22 he resides in the cul-de-sac just south of the property in discussion. Mr. Ackley highlighted the
importance of having whatever development occurs on the commercial parcel contribute
24 positively to the neighborhood and stated that, personally, he would prefer the property remain
an orchard but recognizes the improbability of that. He then noted that he wants any future
26 development to be mindful of the community's needs. Furthermore, he clarified that his vision
does not include high-density housing or certain types of commercial establishments, such as gas
28 stations or car lots, as he is focused on maintaining work-hour lighting and minimizing
disruption.

30
COMMISSIONER KALLAS MOVED TO OPEN THE PUBLIC HEARING.
32 COMMISSIONER DONE SECONDED. ALL PRESENT VOTED IN FAVOR. THE MOTION
CARRIED.

34
Chad Olsen - a resident, expressed concerns about potential traffic increases on 40th South if the
36 area is developed commercially. He asked if there were plans to upgrade the street, noting its
narrow width and lack of sidewalks.

38
Mr. Florence responded that the street is planned as a local street with a 50-foot right-of-
40 way. He explained that curb, gutter, and sidewalk would be required for new commercial
property, but other improvements would be a city-initiated project in the future.

42
Shelly Olsen - asked about the potential for multi-density housing on the commercial property.

44
Mr. Florence clarified that, under the current zoning, the commercial property cannot
46 accommodate any residential development.

2 Dorothy Olsen - expressed concerns about the narrowness of 40th South and the presence of
4 semi-trucks on the street. She also mentioned issues with speeding and the lack of sidewalks for
children.

6 Douglas Olsen - asked for clarification on the extent of the proposed changes and expressed
concerns about increased traffic on 40th South.

8
Chairperson Johnson called for any further comments or discussion from the
10 Commission. Hearing none he called for a motion to close public hearing.

12 COMMISSIONER DANIELSON MOVED TO CLOSE THE PUBLIC HEARING.
COMMISSIONER DONE SECONDED. ALL PRESENT VOTED IN FAVOR. THE MOTION
14 CARRIED.

16 Chairperson Johnson called for any further comments or discussion from the
Commission. Hearing none he called for a motion.

18
COMMISSIONER MARCHBANKS MOVED TO RECOMMEND APPROVAL
20 ORDINANCE 2025-03-O TO AMEND THE LINDON CITY GENERAL PLAN FUTURE
LAND USE FOR PARCELS 14:069:0331 & 14:069:0332 AS INDICATED IN THE
22 ADOPTING ORDINANCE WITH THE FOLLOWING CONDITIONS: 1. ALL ITEMS OF
THE STAFF REPORT. COMMISSIONER KALLAS SECONDED THE MOTION. THE
24 VOTE WAS RECORDED AS FOLLOWS:

26 COMMISSIONER JOHNSON	AYE
COMMISSIONER CALL	AYE
COMMISSIONER DANIELSON	AYE
28 COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SCHAUERS	AYE
30 COMMISSIONER DONE	AYE

THE MOTION CARRIED UNANIMOUSLY.

32
5. **Public hearing for a recommendation to the Lindon City Council to amend the
34 Lindon City R1-20 and General Commercial Zoning Map boundaries.** A request by
Todd Trane to adjust the zoning boundary between General Commercial and Residential
36 R1-20 to follow the Parcel lines located for parcels 14:069:0331 and 14:069:0332

38 Mike Florence presented the proposed zoning map changes, explaining how they align
with the general plan amendment discussed in the previous item. He then showed the current
40 zoning and the proposed changes, highlighting how the residential zoning would expand and the
commercial zoning would be adjusted.

42
COMMISSIONER CALL MOVED TO OPEN THE PUBLIC HEARING.
44 COMMISSIONER MARCHBANKS SECONDED. ALL PRESENT VOTED IN FAVOR. THE
MOTION CARRIED.

2 Chairperson Johnson called for any further comments or discussion from the
Commission. Hearing none he called for a motion to close the public hearing.

4 COMMISSIONER KALLAS MOVED TO CLOSE THE PUBLIC HEARING.
6 COMMISSIONER DONE SECONDED. ALL PRESENT VOTED IN FAVOR. THE MOTION
CARRIED.

8 Chairperson Johnson called for any further comments or discussion from the
10 Commission. Hearing none he called for a motion.

12 COMMISSIONER KALLAS MOVED TO RECOMMEND APPROVE ORDINANCE
2025-04-O TO AMEND THE LINDON CITY ZONING MAP AND ADJUST THE R1-20 AND
14 GENERAL COMMERCIAL ZONING BOUNDARIES AS IDENTIFIED IN THE
ORDINANCE WITH THE FOLLOWING CONDITIONS: 1. ALL ITEMS OF THE STAFF
16 REPORT. COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE VOTE
WAS RECORDED AS FOLLOWS:

18 COMMISSIONER JOHNSON	AYE
COMMISSIONER CALL	AYE
20 COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
22 COMMISSIONER SCHAUERS	AYE
COMMISSIONER DONE	AYE
24 THE MOTION CARRIED UNANIMOUSLY.	

26 **6. Subdivision Plat Amendment – Lindon Treasury Plat D** Todd Trane is proposing a
subdivision plat amendment to Lindon Treasury Plat D, increasing the residential lot size
28 for the properties located at 158 W. 110 S.

30 Mike Florence presented the proposed plat amendment, explaining that it would increase
the lot size at 158 West 110 South from 21,505 square feet to just over 39,000 square feet. He
32 noted that the subdivision met all requirements, and that approval would be contingent on the
City Council approving the general plan and zoning map amendments.

34 Commissioners asked for clarification on property ownership, which was provided by
36 Todd Trane and Jeremy Ackley.

38 COMMISSIONER DONE MOVED TO APPROVE THE APPLICANT'S REQUEST
FOR PLAT AMENDMENT APPROVAL FOR THE PLAT D AMENDED LINDON
40 TREASURY SUBDIVISION LOCATED AT 158 W. 110 S. WITH THE FOLLOWING
CONDITIONS: 1. THE PLAT IS APPROVED CONDITIONED UPON THE CITY COUNCIL
42 APPROVING THE GENERAL PLAN FUTURE LAND USE MAP AND ZONING MAP
AMENDMENTS; 2. THE APPLICANT WILL CONTINUE TO WORK WITH THE CITY
44 ENGINEER TO MAKE ALL FINAL CORRECTIONS TO THE SUBDIVISION PLAT; 3.
PRIOR TO PLAT RECORDING, THE APPLICANT WILL UPDATE THE FINAL PLAT
46 MYLAR TO INCLUDE NOTARIZED SIGNATURES AND OBTAIN SIGNATURES OF ALL
ENTITIES INDICATED ON THE SUBDIVISION PLAT ATTACHED HERETO; 4. THE

2 PLAT WILL MEET APPLICABLE SPECIFICATIONS AS FOUND IN THE LINDON CITY
DEVELOPMENT MANUAL; 5. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER
4 CALL SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

COMMISSIONER JOHNSON AYE

6 COMMISSIONER CALL AYE

COMMISSIONER DANIELSON AYE

8 COMMISSIONER MARCHBANKS AYE

COMMISSIONER SCHAUERS AYE

10 COMMISSIONER DONE AYE

THE MOTION CARRIED UNANIMOUSLY.

7. 2025 Planning Commission Chair Election

14 The Commission discussed possibilities and agreed that things should stay same as the
16 previous year with Chairperson Johnson and Vice-Chair Kallas continuing another year.

18 COMMISSIONER MARCHBANKS MOVED FOR STEVE JOHNSON TO REMAIN
AND CHAIR AND ROB KALLAS TO REMAIN AS VICE-CHAIR. COMMISSIONER CALL
20 SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

COMMISSIONER JOHNSON AYE

22 COMMISSIONER CALL AYE

COMMISSIONER DANIELSON AYE

24 COMMISSIONER MARCHBANKS AYE

COMMISSIONER SCHAUERS AYE

26 COMMISSIONER DONE AYE

THE MOTION CARRIED UNANIMOUSLY.

8. Community Development Director Report

- 30 • Brittain Corbett, City Planner, let the commission know he will be leaving
employment with Lindon to pursue his master's degree at the University of Utah
- 32 • Thornton Property Update
- Next meeting May 27th
- 34 • Misc. City Updates

New Business

36 The commissioners raised inquiries concerning ordinances related to vehicle storage on
38 residential properties. Mr. Florence provided an explanation of the current regulations, which
focus on managing inoperable vehicles. He also agreed to examine any potential restrictions on
40 the number of vehicles allowed on such properties. Furthermore, the commissioners deliberated
on the need for potential ordinances aimed at enhancing the visual impact of properties,
42 especially considering the upcoming temple opening. Additionally, there was a brief discussion
about the preparations and timeline for the temple opening; however, no specific updates were
44 available at that time

ADJOURN –

2 COMMISSIONER MARCHBANKS MOVED TO ADJOURN THE MEETING AT 7:10
P.M. COMMISSIONER DANIELSON SECONDED THE MOTION. ALL PRESENT VOTED
4 IN FAVOR. THE MOTION CARRIED.

6 Approved, May 27, 2025

8
10
12

Steve Johnson, Chairperson

14
16

Michael Florence, Community Development Director

Item 4: - Ordinance Amendment – 17.44.090 – Projections Into Yards

Date: June 10, 2025

Applicant: Nickolas Slade

Presenting Staff: Michael Florence

Type of Decision: Legislative

Council Action Required: Yes, the planning commission is the recommending body on this application.

MOTION

I move to recommend (*approval, denial, or continue*) of ordinance amendment 2025-8-O (*as presented, or with changes*).

Summary of Key Issues

- An application has been made to amend City Code 17.44.090, regarding projections into front yards.
- The property owner, Carlene Veenker, owns a home at 276 E. 140 N. and had filed an application to allow for an eight-foot (8') porch to encroach into the front yard or setback.

Overview

- Lindon City Code 17.44.090(2a) state the following:
 - 2. *Depending on the size of the yard area and setback, the structures listed below may project into a minimum front, side, or rear yard not more than the following distances:*
 - a. *The following may project into a minimum front, side or rear yard not more than twenty-four inches (24"): cornices, eaves, belt courses, sills, buttresses, or other similar architectural features; fireplace structures and bays (provided, that they are not wider than eight feet (8'), measured generally parallel to the wall of which they are a part), awnings and planting boxes or masonry planters.*
- Essentially, if a property owner has a home that meets the 30' front yard setback, then they can project twenty-four (24) inches into the front yard/setback with an eave.
- The property owner, Mrs. Veenkers, has submitted a building permit application to project an 8' porch to cover the front steps of her home. She would like the steps covered to prevent snow and ice buildup so she doesn't slip and fall. See attachment 1 for the site plan.
- City staff did not prepare an ordinance for this application because we were unsure of the direction that the planning commission wanted to go with a recommendation to the city council. After the public hearing and discussion, staff will prepare an ordinance and bring it back for a recommendation at the next meeting.

Projection Analysis of Other Communities

Municipality	Projection	Front Yard Setback
Lindon	2'	30'
Provo	4'	30'
Orem	5'	30'
Springville	5'	30'
American Fork	5'	30'
Pleasant Grove	2'	25'
Cedar Hills	No projections	30'
Ogden	10' for roof, 8' for columns	
St. George	4'	
South Jordan	4'	30'
Mapleton	4'	30'

Staff Analysis

City staff believe that the commission should consider an amendment to the city code to allow options for residents to keep their front steps clear and safe. An 8' projection would be more than most surveyed cities. Below is an ordinance from Ogden City that has a 10' projection allowance.

Single-family dwellings in a residential zone may have a front porch that extends into the front yard setback, if:

- A. The porch has an entrance facing the street;
- B. The porch and porch roof are designed to follow the architectural lines and building materials of the home;
- C. The deck, roof and columns or posts do not extend into the required front yard setback more than eight feet (8') and the eave overhang does not extend into the required front yard setback more than ten feet (10');
- D. The porch has a minimum roof projection over the front door of four feet (4');
- E. The porch extends at least five feet (5') in width along the front face of the dwelling and may extend the full length of the front of the dwelling;
- F. The porch remains open on three (3) sides (except for see through insect screens) and does not have glass or walls taller than forty inches (40") around the sides that are open;
- G. The portion of the porch within the setback does not include space for any other use, such as living or storage space;
- H. The distance from the front property line to the porch structure is not less than twelve feet (12').

Exhibits

1. Aerial Photo
2. Street View Photo
3. Veenker Site Plan





Revisions	
REV A	4/17/2025
XXX	

Project Name/Address	Drawing Title
VEENKER ENTRANCE 276 E 140 N LINDON UT 84042	COVER SHEET

Project No.	2512
Date	4/17/2025
Scale	XXXX
Sheet	

CS

VEENKER ENTRANCE

276 E 140 N
Lindon, UT 84042

2025

Zoning/Land Use: R1-20

Design Standards: 2021 International Building Code
Utah Building Codes as adopted by Lindon City

Project Narrative:

Build new porch overhang to create a safer stair environment for elderly owner. New siding, fascia, gutters and downspouts. Re roof entire home.

General Contractor:

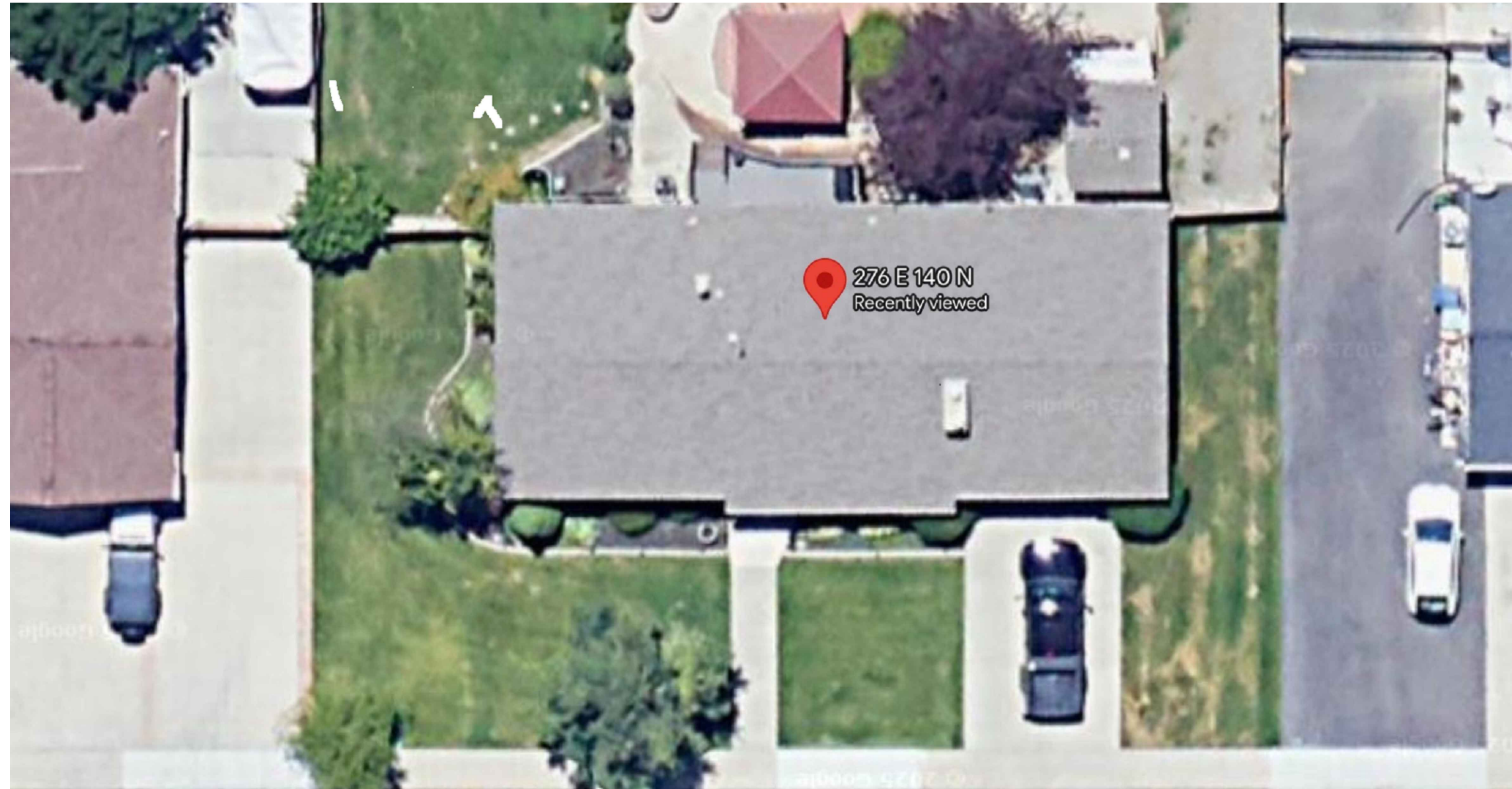
Slade Group, LLC
6261 S. Dellron Dr
Murray, UT 84123
(801) 808-0877
10938499-5501

Designer:

Nickolas Slade
Slade Group, LLC
6261 S. Dellron Dr
Murray, UT 84123
(801) 503-1861

Owner:

Carlene Veenker
276 E 140 N
Lindon, UT 84042
(801) 380-0887



DRAWING INDEX

CS - COVER SHEET

A0 - SITE PLAN

A1 - ELEVATIONS

A2 - FRAMING DETAILS

A3 - ROOF PLAN

110.00'

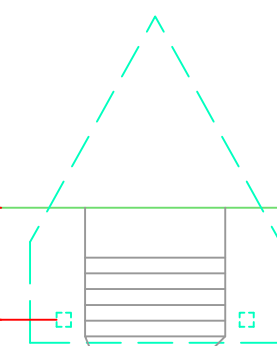
10' UTILITY AND DRAINAGE EASEMENT

10' UTILITY AND DRAINAGE EASEMENT

24'-1½"

30'-0"

23'-5 1/2"

6'-6 $\frac{1}{2}$ "

DRIVEWAY

15'-6 $\frac{1}{2}$ "

188.94'

SITE PLAN



140 NORTH

[illegible]

Project Name/Address	VEENKER ENTRANCE 276 E 140 N LONDON UT 84042
Drawing Title	SITE PLAN

Project No.	2512
Date	4/17/2025
Scale	
Sheet	

A-0



USER

REVDATE

FNAME

Architectural drawing showing three views of a building: Front View, Front Finish Detail, and Side View.

FRONT VIEW

FRONT FINISH DETAIL

SIDE VIEW

Annotations for Front Finish Detail:

- NEW SIDING
- NEW FASCIA TIE INTO EXISTING
- WATER PROOFED AND POST WRAPPED IN 1x, PAINTED
- EXISTING RAILING TO REMAIN
- NEW BRICK VENEER
- NEW GUTTERS AND DOWNSPOUTS

SLADEGROUP

contracting & design

Revisions	
REV A	4/17/2025
XXX	

Project Name/Address

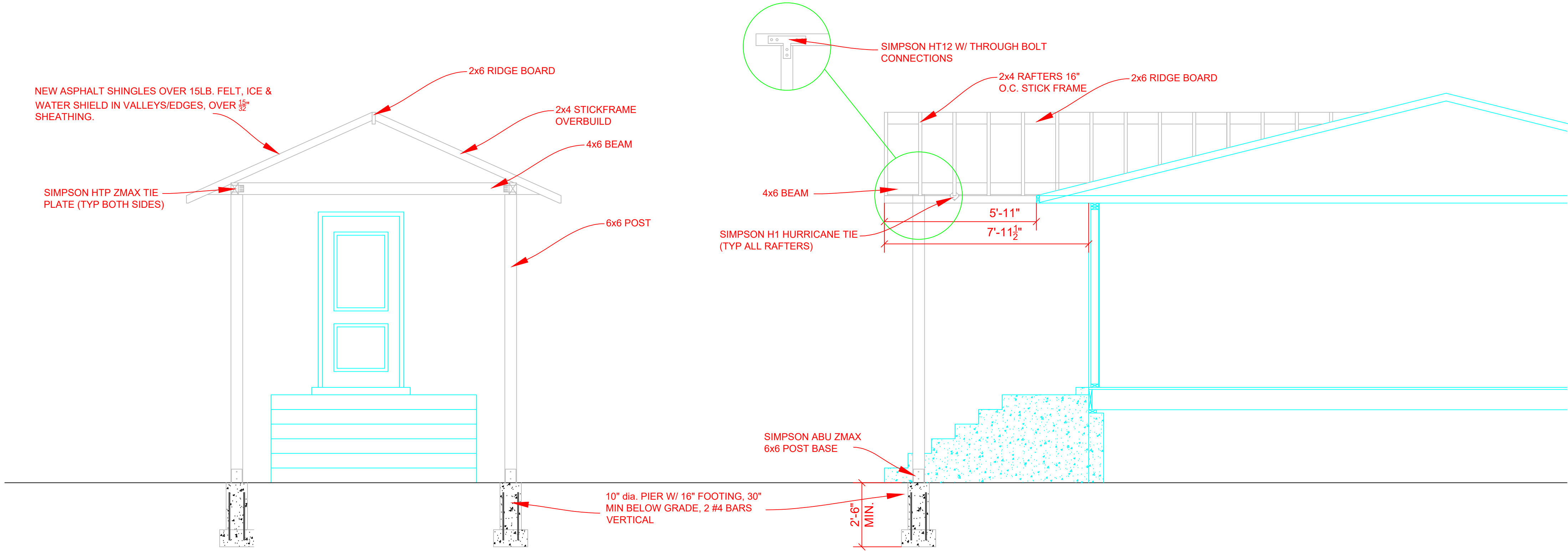
VEENKER ENTRANCE
276 E 140 N LINDON UT 84042

Drawing Title

ELEVATIONS

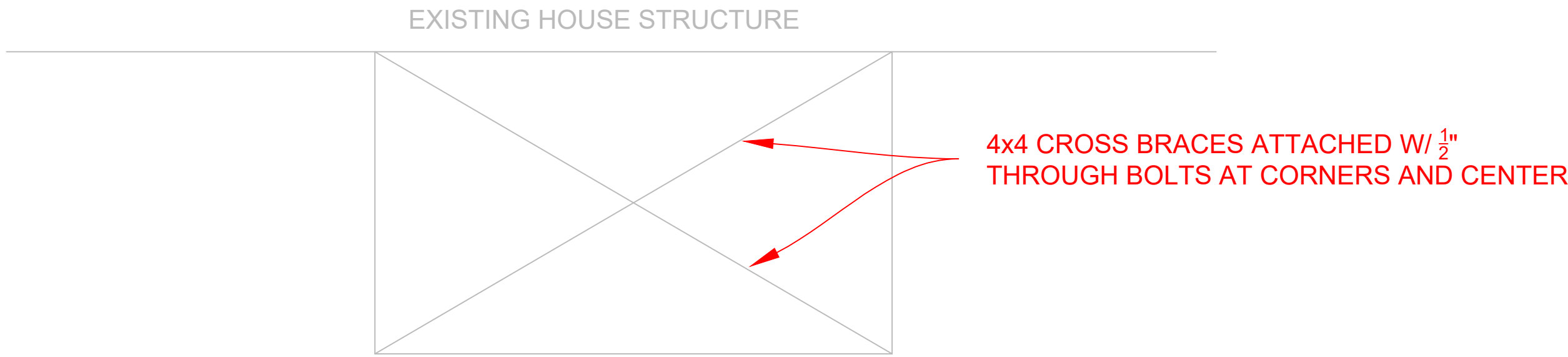
Project No.	2512
Date	4/17/2025
Scale	8" = 1'-0"
Sheet	

A-1



FRONT FRAMING DETAIL

SIDE FRAMING DETAIL



LATERAL SUPPORT WITH CROSS BRACING
PLAN VIEW

Revisions	
REV A	4/17/2025
XXX	

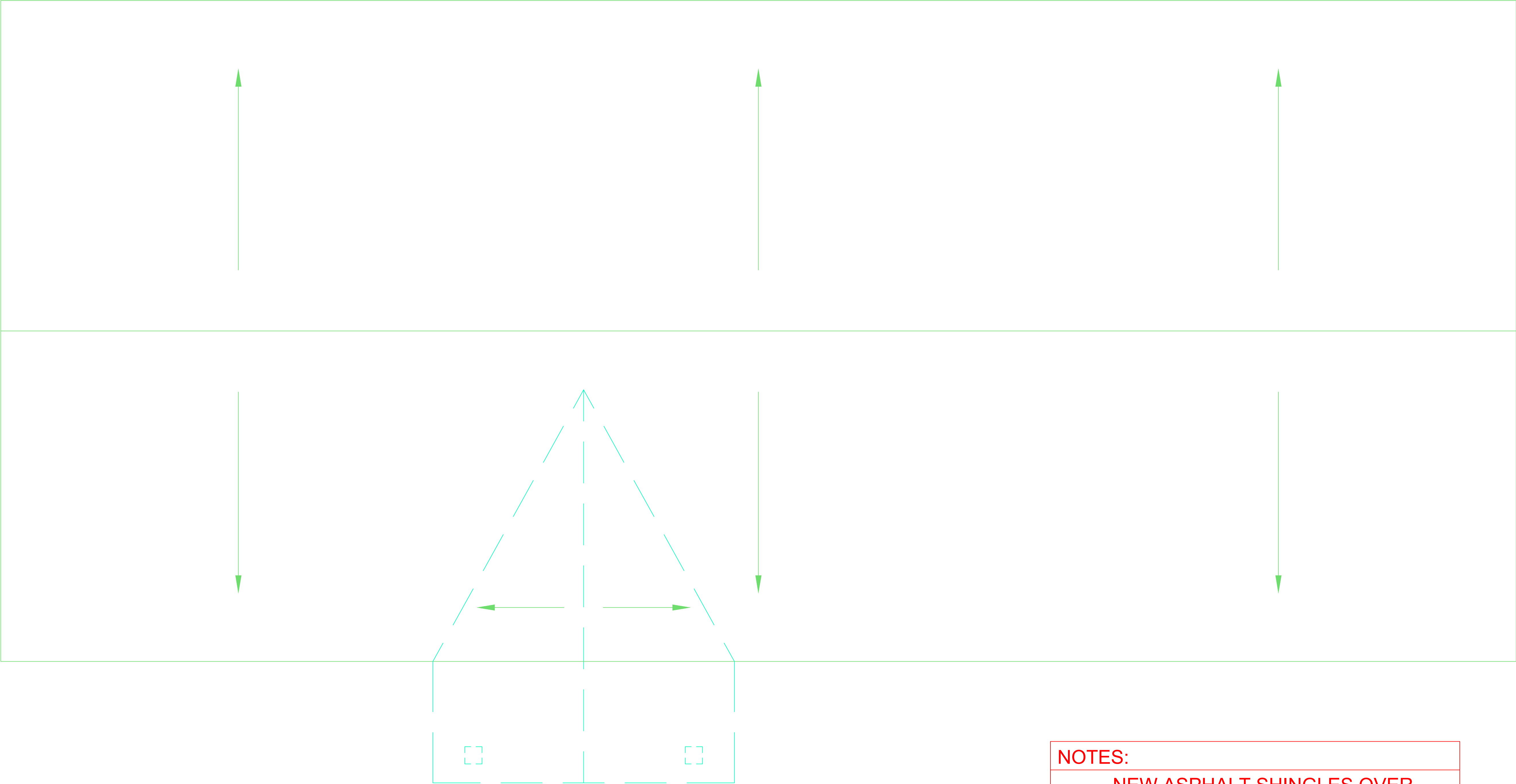
Project Name/Address	VEENKER ENTRANCE 276 E 140 N LINDON UT 84042
Drawing Title	FRAMING DETAILS

Project No.	2512
Date	4/17/2025
Scale	3/8" = 1'-0"
Sheet	

USER

REVDATE


FNAME



ROOF PLAN

NOTES:

- NEW ASPHALT SHINGLES OVER 15LB. FELT, ICE & WATER SHIELD IN VALLEYS/EDGES, OVER $\frac{15}{32}$ " SHEATHING.
- NEW FASCIA TIE INTO EXISTING
- NEW GUTTERS AND DOWNSPOUTS



Revisions	
REV A	4/17/2025
XXX	

Project Name/Address

VEENKER ENTRANCE
276 E 140 N LINDON UT 84042

Drawing Title

ROOF PLAN

Project No.	2512
Date	4/17/2025
Scale	$\frac{3}{8}$ " = 1'-0"
Sheet	

A-3

Item 5: Conditional Use Review of Single-Family Home Addition in the Hillside Protection District — 62 S Denali Circle

Date: June 10, 2025

Project Address: 62 S. Denali Circle

Applicant: Scott Dent

Property Owner: Michael & Teresa Harris

Current Zone: R1-12 (Residential)/
Hillside Protection District Overlay

Parcel ID: 36:808:0011

Acreage: 1.5264

Type of Decision: Administrative

Council Action Required: No

Presenting Staff: Michael Florence



Summary of Key Issues

1. The Hillside Protection Zone requirements apply to all residential developments on parcels and lots within the city that have an average slope exceeding twenty (20) percent, as defined in Section 17.57.030(2).
2. The property owners propose a 9,000-square-foot addition to their existing home. A survey has determined that the addition's location has a slope between 20%-25%.
3. At the March 25, 2025 meeting the planning commission continued the review so that the contractor could have the geotechnical report completed due to the extensive excavation.
4. Due to the size of the geotechnical report the following link to report is provided:
 - I. https://media.rainpos.com/442/R04344_004.pdf

Overview

1. The property is located in the Canberra Heights Plat A Subdivision, recorded in 1999.
2. The subdivision plat also acknowledges several key points:
 - a. All lots in Canberra Heights, Plat A, are subject to Lindon City's Hillside Protection Zone (Section 17.57).
 - b. A geotechnical study for the subdivision was completed by AGEK on April 3, 1997.
3. The Lindon City Hillside ordinance, 17.57, requires the following plans to be submitted when a project is in the Hillside Overlay District:
 - a. Soils Report, Geology Report, Grading and Drainage Plan, Fire Protection Report, and Vegetation Plan
4. For the home addition, the contractor needed to excavate approximately 22' for the footing and foundation. The geotechnical engineer recommended the following:
 - a. Client will excavate for the new proposed addition and excavate a test pit to a depth of 3 feet below the proposed footing elevation.
 - b. IGES will observe the excavation and take soil samples at varying depths.
 - c. IGES will complete appropriate laboratory tests for bearing capacity calculations and slope stability analysis, if required.
 - d. IGES will provide a Geotechnical and Geologic Report once the laboratory data and engineering analysis is complete.
5. The geotechnical engineer completed the report and provided the following: "it is our opinion that the property is suitable for the proposed addition from a geotechnical and geologic hazard perspective and is not anticipated to be adversely impacted by geologic hazards, provided that the recommendations presented in this report are incorporated into the design and construction of the project."

Geotechnical Report Findings and Recommendations

Intermountain GeoEnvironmental Services, Inc performed the geotechnical and geologic hazard investigation report and provided the following information:

Findings

- Groundwater seepage was observed in the lower part of the excavation (TP-1b) within the upper part of the weathered Manning Canyon Shale along the northeastern wall of the excavation.
- The geologic hazard risk associated with landslides, surface-fault-rupture, rockfall, debris-flows/flooding, and liquefaction hazards is considered to be low for the proposed addition.
- The geologic hazard risk associated with the shallow groundwater hazard is considered to be moderate.
- The structural engineer also provided a letter stating that all structural calculations have been performed in compliance with the requirements contained in the report.

Recommendations

The geotechnical engineer provided three recommendations as listed below. However, the engineer also provided additional detailed recommendations during construction as found in sections 5.0 of the report.

- To reduce the shallow groundwater hazard risk to an acceptable level, it is recommended that a foundation drain be installed beneath the proposed addition to accommodate any groundwater seepage.
- Proper building design according to appropriate building code and design parameters can assist in mitigating the hazard associated with earthquake ground shaking. Review and consideration of the Federal Emergency Management Agency (FEMA, 2006) document for avoiding earthquake damage, which suggests strapping water heaters to wall studs and installing flexible gas and water lines to reduce the risk of fire and water damage in the event of an earthquake, is recommended.
- Shallow spread or continuous wall footings constructed entirely on competent, native earth materials, or entirely on a minimum of two feet of granular structural fill overlying competent native earth materials, may be proportioned utilizing a maximum net allowable bearing pressure of 2,500 pounds per square foot (psf) for dead load plus live load conditions. The net allowable bearing value presented above is for dead load plus live load conditions. The allowable bearing capacity may be increased by one-third for short-term loading (wind and seismic). The minimum recommended footing width is 20 inches for continuous wall footings and 30 inches for isolated spread footings.

Motion

I move to (approve, deny, or continue) the applicant's request for a conditional use permit to construct a single-family home addition at 62 S. Denali Circle with the following conditions:

1. All geotechnical engineer's recommendations outlined in the engineer's report dated May 30, 2025, shall be followed;
2. Inspections outlined in the report by the geotechnical engineer shall be conducted and inspection reports provided to Lindon City;
3. The residential structure will comply with current building codes;
4. Updated building plans incorporating the recommendations from the geotechnical and structural engineers shall be submitted for final approval;
5. Mitigation measures outlined in Lindon City ordinance 17.57 – Hillside Overlay District and Adopted Interpretations will be incorporated into the final design of the project;
6. Compliance with fire code and fire flow requirements shall be met;
7. The landscape plan will be updated to meet the recommendations as found in the geotechnical report. In addition, a written statement by the landscaper or another qualified person or firm will be submitted to the city for before final approval. This statement must address any vegetation problems, and further stating an opinion as to the ability of the proposed plan to mitigate or eliminate such problems in a manner as to prevent hazard to life or property, adverse effects on the safety, use or stability of a public way or drainage channel, and adverse impact on the natural environment; and
8. All items of the staff report

Hillside Code Requirements - [Link to 17.57 Hillside Protection Overlay District](#)

Applicability of Provisions

17.57.010 - Purpose of provisions.

- 1. The purpose of the Hillside protection zone is to promote health, safety and the general public welfare of the residents of the city, by establishing standards for development of certain hillsides located in the city to minimize soil and slope instability, erosion, downstream siltation, and to preserve the character of the hillsides.*
- 2. The provisions herein are designed to accomplish the following:*
 - a. Encourage the location, design and development of building sites to provide maximum safety and human enjoyment while adapting the development to the natural terrain;*
 - b. Provide for safe circulation of vehicular and pedestrian traffic to public and private areas and minimize the scarring and erosion effects of cutting, filling and grading related to Hillside street construction;*
 - c. Prohibit activities and uses which would result in degradation of fragile soils and steep slopes;*
 - d. Encourage preservation of open space to preserve the natural terrain;*
 - e. Minimize flooding by protecting streams, drainage channels, absorption areas and floodplains from substantial alteration of the natural functions.*

17.57.030 – Applicability of Provisions

- 2. The Hillside protection zone requirements shall also be applicable to residential development of all parcels and lots located in the city having an average slope in excess of twenty (20) percent, as defined in this chapter.*

Area for new addition – 20%-25% sloped identified



Ordinance Review

Building Site Requirements	Proposal	Compliant
Each lot or parcel of land shall contain a primary building site appropriate to accommodate the primary residential structure, which building site shall be outlined on the subdivision plat. The primary building site shall include a buildable area of sufficient size to allow not less than two thousand five hundred (2,500) square feet of footprint for the residential structure, after allowing for all required setbacks, and other requirements.	The Canberra Heights Plat A identifies the buildable area on the plat. The home will have a footprint exceeding 2,500 sq ft but is located within the footprint on the plat.	Yes
Grading of the lot or parcel which is related to creation of the primary building site or construction of the structure shall not extend closer than twenty (20) feet from the lot or parcel boundary lines, nor more than thirty (30) feet, horizontally, in front, to the rear or to the side of the proposed structure unless a greater distance is approved by the planning commission upon a showing by the developer that a greater distance will not be contrary to the purpose of this chapter.	From the edge of the existing driveway to the east rear property line is approximately 20'. All other setbacks exceed the 30' requirement	Yes
The primary building site shall have a natural or manmade slope of twenty (20) percent or less.	The contractor has stated that the 20% slope will be met. This will be confirmed prior to issuing a building permit	Yes
The driveway(s) to the building site shall have a maximum slope of twelve (12) percent and shall have direct access to a public street.	Existing	Yes

Technical Report Review

Technical Report	Proposal	Compliant
Soils/Geotechnical Report	A report has been submitted and recommendations provided. City staff have reviewed the report and are good to move forward following the recommendations of the Geotech engineer.	Yes
Grading and Drainage Plan	The current slopes of the area from the addition are 20%-25%. The contractor had provided a grading and drainage plan as well as a letter stating that the site will contain any additional drainage created by the new construction.	Yes
Fire Protection Report	Orem City Fire has evaluated the site and provided the city a letter, Exhibit 7, in which it states that there will be no increased wildfire risk and the proposed development is improving their situation by removing the scrub oak within the property for the home addition. The property owner has previously also installed a suppression sprinkler system on portions of the property line.	Yes
Vegetation Plan	The applicant has provided an updated vegetation plan for landscaping but not a statement from the landscaper or other firm regarding the mitigation of the new landscaping to prevent hazards to life or property.	Yes

Staff Analysis

Lindon City acknowledges the homeowner and contractor's efforts in providing appropriate studies and reports for the sloped area of the proposed addition. City staff find that the project should move forward following the conditions of the geotechnical engineer as well as the conditional use permit conditions.

Exhibits

1. Aerial photo
2. Geotechnical Report Link: https://media.rainpos.com/442/RO4344_004.pdf
3. Letter from Structural Engineer
4. Renderings
5. Site Plan
6. Slope Identification
7. Grading and Drainage Plans
8. Civil Engineer Drainage Letter
9. Fire Report
10. Landscape/Vegetation Plan
11. Canberra Height Plat A Subdivision Plat

Exhibit 1



Geotechnical Report:

https://media.rainpos.com/442/R04344_004.pdf



CIVIL
STRUCTURAL
SURVEY

June 5, 2025

Brinton Neff
RC Dent Construction
1385 W. 400 N.
Orem, Utah 84057
brinton.rcdent@gmail.com
Cc: scott.rcdent@gmail.com

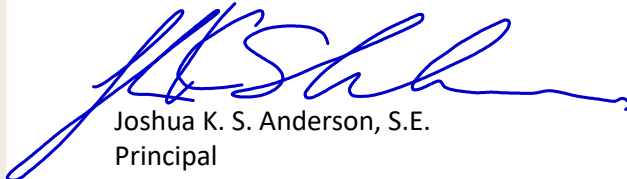
RE: Harris Addition & Remodel (LEI# 2024-2141)

To Whom It May Concern:

IGES Geotechnical and Geologic Hazard Investigation report (Project No. 04344-004) dated May 30, 2025 has been provided for the residence located at 62 E Denali Circle in Lindon, Utah. We have reviewed the geotechnical report and find that all structural calculations have been performed in compliance with the requirements contained therein.

Please call if you have any questions or concerns. Thank you.

Sincerely,



Joshua K. S. Anderson, S.E.
Principal



- Civil Engineering
- Structural Engineering
- Surveying
- Land Planning


www.lei-eng.com

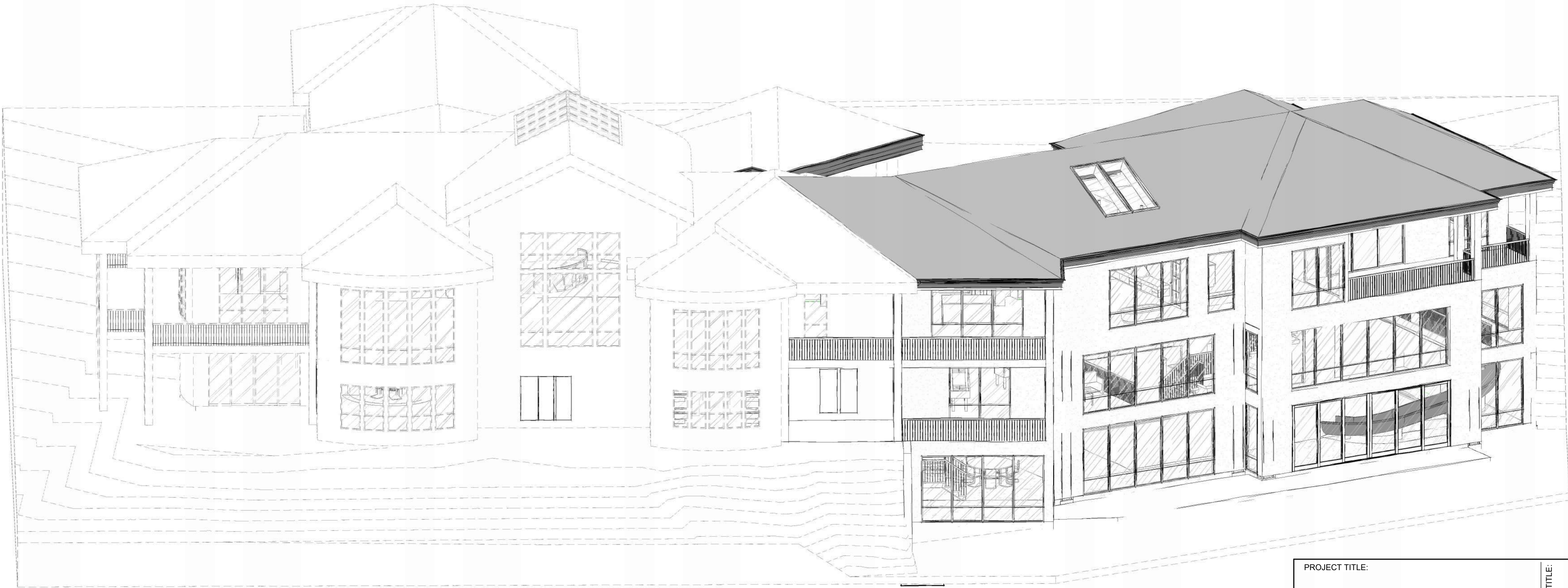
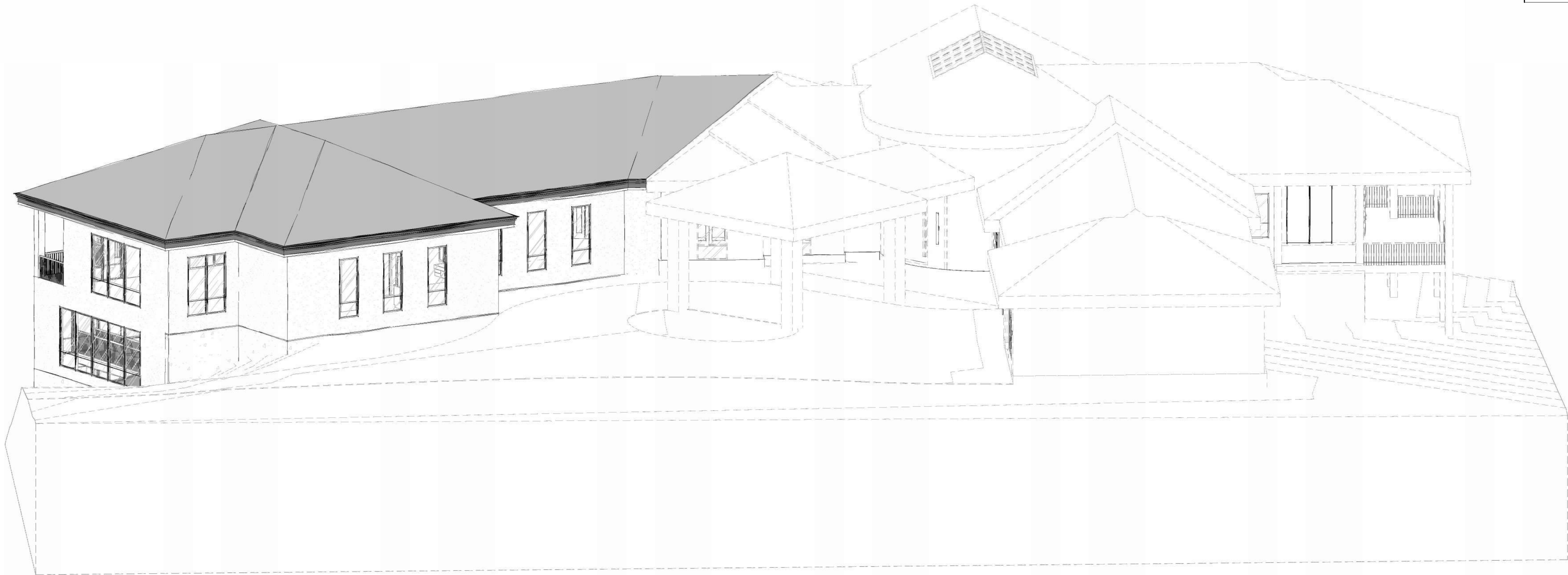
Corporate Office: 3302 N. Main Street • Spanish Fork, UT 84660

O: 801.798.0555

F: 801.798.9393



PROJECT TITLE:		DRAWING TITLE: 3D VIEWS	All dimensions and size designations given are subject to verification on the job site and adjustment to fit job conditions. Designer is not an architect or engineer.	
HARRIS RENOVATION			SCALE: on 24x36 sheet	
Lindon, UT	62 DENALI CIRCLE		PRINT DATE: 1/7/2025 10:52:11 AM	
DRAWN BY:			JOB #:	A116
			031023	



PROJECT TITLE:
HARRIS RENOVATION
Lindon, UT 62 DENALI CIRCLE
DRAWN BY:



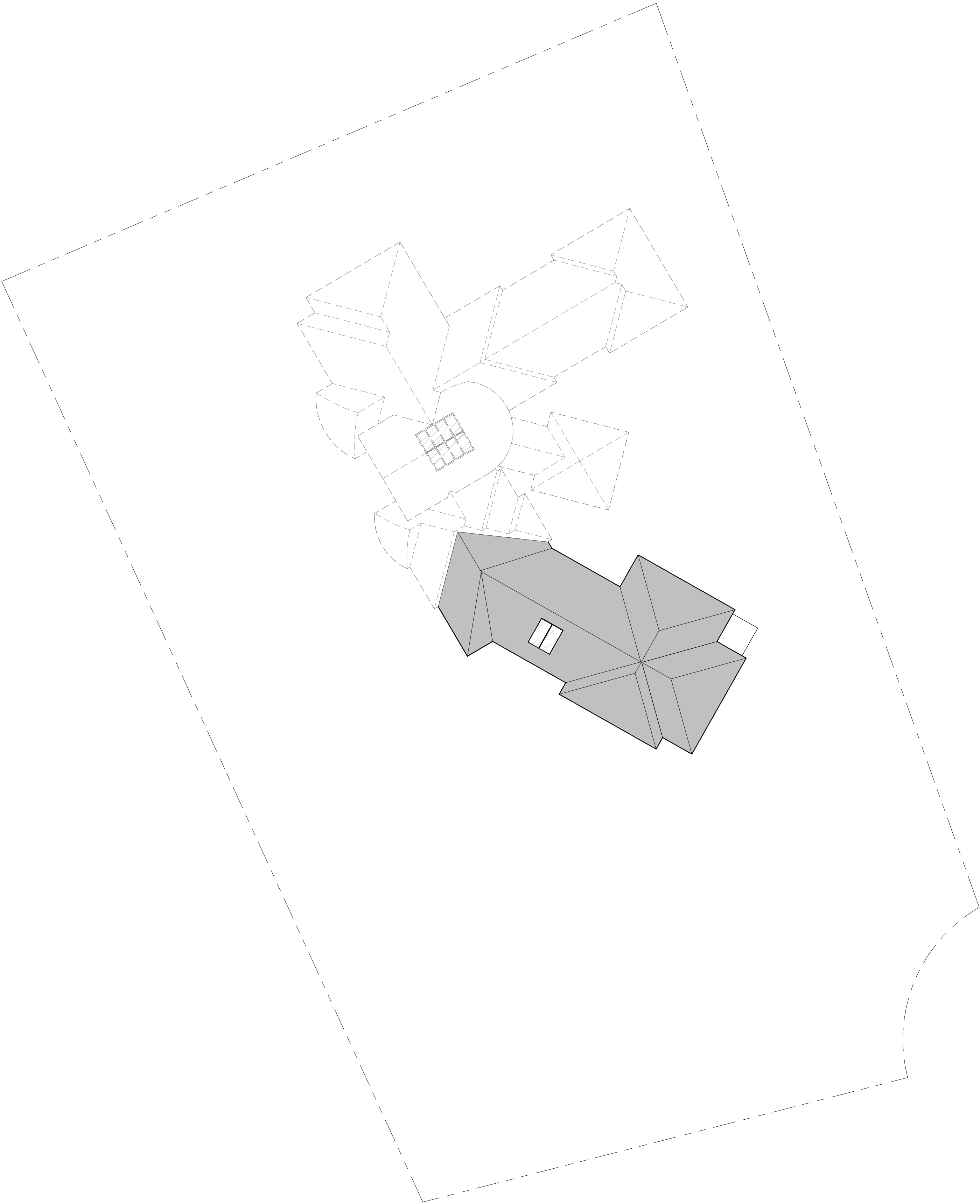
DRAWING TITLE:
3D VIEWS

All dimensions and size designations
given are subject to verification on the job
site and adjustment to fit job conditions.
Designer is not an architect or engineer.


SCALE:
on 24x36 sheet
PRINT DATE:
1/7/2025 10:52:18 AM
JOB #:
031023

A117

Exhibit 4



GENERAL & KEYED NOTES

PROJECT TITLE: HARRIS RENOVATION		DRAWING TITLE: SITE PLAN	All dimensions and size designations given are subject to verification on the job site and adjustment to fit job conditions. Designer is not an architect or engineer.	
Lindon, UT 62 DENALI CIRCLE			SCALE: 1" = 20'-0" on 24x36 sheet	
DRAWN BY: 			PRINT DATE: 1/7/2025 10:51:29 AM	
			JOB #: 031023 A002	

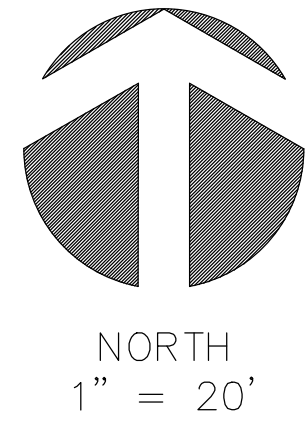
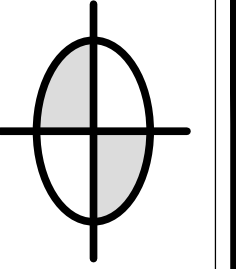
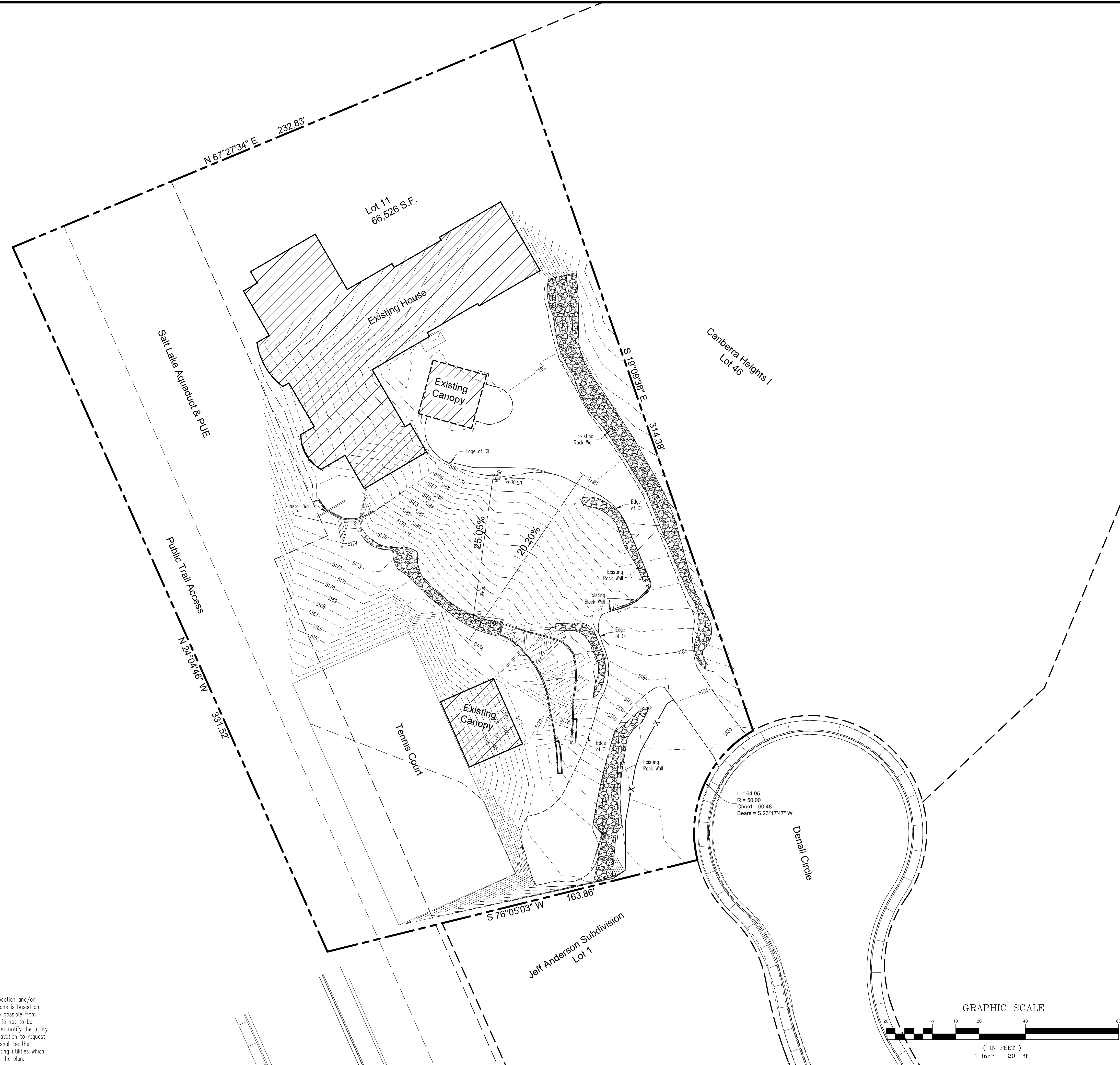


Exhibit 6



DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Existing Topography
Harris Family Pool Addition
Linden City
Utah

Revisions

Date
2-27-2025
Scale
1"=20'
By
BHT
Tracing No.
L - 6699

Sheet No.
C - 2

Know what's below. **811**
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

CAUTION!!! Notice to contractors

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

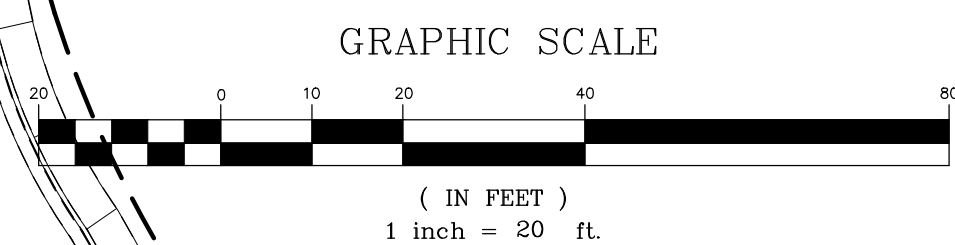
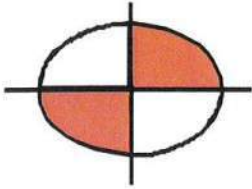


Exhibit 7



DUDLEY & ASSOCIATES, Inc.
ENGINEERS PLANNERS SURVEYORS

March 3, 2025

Brinton Neff
R C Dent Construction
1385 West 400 North
Orem, Utah 84057

RE: Harris residence – 62 South Denali Circle – Lindon, Utah

Brinton,

Per request, we have reviewed again the site drainage at the Harris Residence in Lindon. The existing site drainage is well contained within the Harris property. There are several granular basins which have been constructed along the West perimeter and around the site amenities (tennis court, pavilion, planter boxes, etc.).

The roof drainage for the existing home is self-contained on the East and West sides of the structure. Roof drainage for the proposed addition will be dissipated into the landscape areas similar to that of the existing home. The area adjacent to and West of the current improvements is the public trail and McKinley Drive as well as a landscaped area which mitigates any excess drainage, if needed.

We are confident that the finished landscaped site will contain any additional drainage created by the new construction.

Sincerely,

Roger D. Dudley, PE
Project Engineer



Exhibit 8

Orem Fire and Life Safety Inspection Report v.3

Facility Information

Occupant Name:

Business Phone:

Address: 62DenaliLondon

Contact Information

Contact First Name Brinton

Contact Cell Phone

Contact Last Name Neff

Contact Email Brinton.rcdent@gmail.com

Inspection Information

Inspection Number: OFD250177

Inspection Passed: Yes

Inspection Type: Permit

Reason: Scheduled

Notes: Fire Protection Report
Lindon Code 17.57.110

Upon assessment of the property and review of the project, it was determined that there will be no increased wildfire risk. The project will not be extending past the property line into unmitigated terrain. In fact, they are improving their situation by removing a large thicket of scrub oak within the property for this home addition. This will improve their defense from blowing embers and hotspots in the event of a wildfire.

The property owner has made a significant effort in protecting his home from wildfire by installing a suppression sprinkler system on portions of the property line.

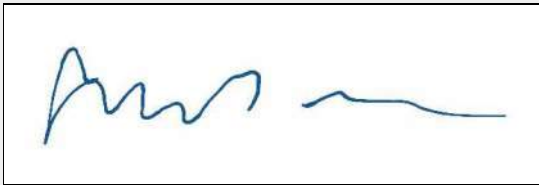
The contractor stated they will not be operating heavy equipment and/or other tools in unprotected/unmitigated areas.

The State Forester's Wildfire Hazard & Residential Development Identification Classification remains unchanged.

Acknowledgement - Signatures

Signatures

First Name	Last Name	Signature Date	Signature Graphic
------------	-----------	----------------	-------------------

Scott	Beardall	02/13/2025	
-------	----------	------------	--

Shift:

Station: City of Orem Fire Department
(PSB)

Unit: INS33 - INS33

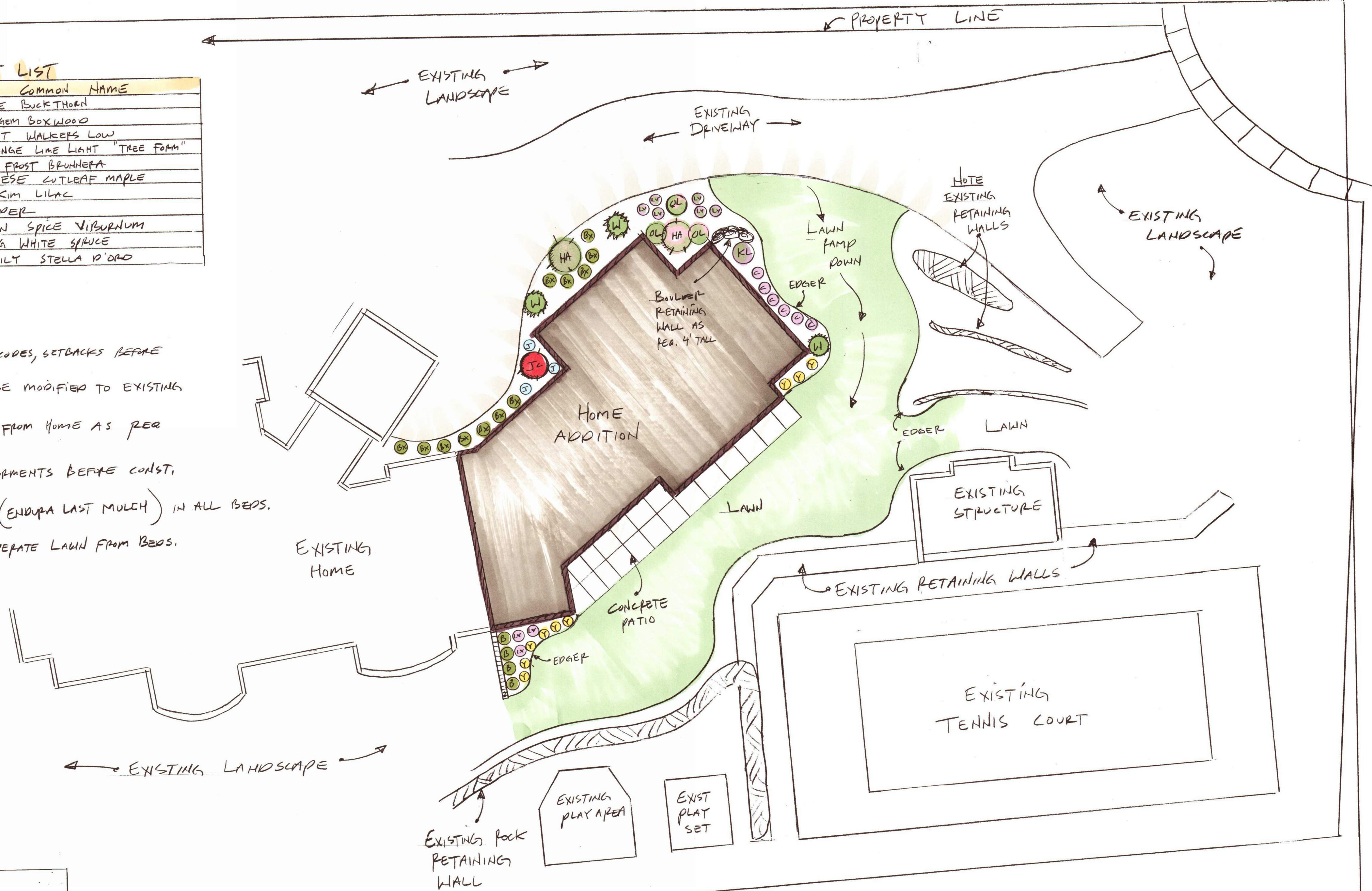
...

PLANT LIST

SYM	#	SIZE	COMMON NAME
B	4	5'x1'	FINELINE BURKTHORN
BX	12	5'x1'	WINTERGEM BOXWOOD
C	6	1'x1'	CATMINT WALKERS LOW
HA	2	5' TALL	HYDRANGE LIME LIGHT "TREE FORM"
J	3	1'x1'	JACK FROST BRUNHEA
JL	1	25'x1'	JAPANESE CUTLEAF MAPLE
KL	1	5'x1'	MISS KIM LILAC
LV	9	1'x1'	LAVANDER
OL	3	5'x1'	KOREAN SPICE VIBURNUM
W	3	9' TALL	WEeping WHITE SPICE
Y	9	1'x1'	DAY LILY STELLA D'ORO

NOTES

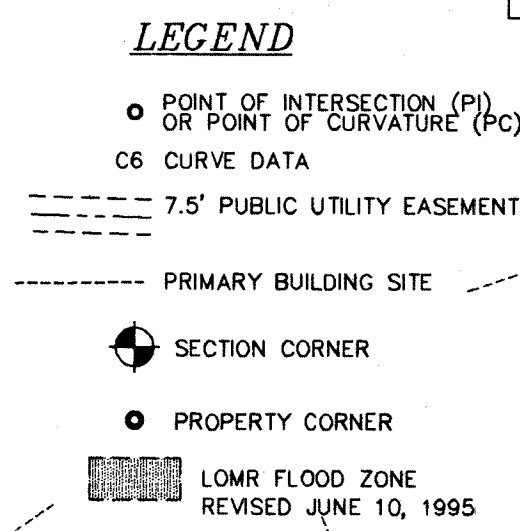
- * CHECK ALL PERMITS, CODES, SETBACKS BEFORE CONSTRUCTION
- * IRRIGATION TO BE MODIFIED TO EXISTING SYSTEM AS REQ.
- * DRAINAGE AWAY FROM HOME AS REQ.
- * VERIFY ALL MEASUREMENTS BEFORE CONST.
- * 3" DEEP MULCH (ENDURA LAST MULCH) IN ALL BEDS.
- * EDGER TO SEPERATE LAWN FROM BEDS.



ENVISION LAND DESIGN
DARREN@ENVISIONLANDDESIGN.COM
801-791-9079
DRAWN BY:
DARREN BURNETT
LANDSCAPE ARCHITECT

CLIENT: THE HARRIS RENOVATION
ADDRESS: 62 DENALI CIRCLE
LINDEN, UTAH
DESIGN

R.C. DENT
CONSTRUCTION



CURVE DATA TABLE						
CURVE	STATION	LENGTH	TANGENT	CHORD	BEARING	DELTA
CA	424.00	207.57	146.67	205.17	N61°40'W	96°46"0"
CB	631.57	180.00	180.00	180.00	N00°00'W	180°00"0"
CC	811.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CD	837.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CE	863.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CF	889.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CG	915.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CH	941.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CI	967.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CJ	993.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CK	1019.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CL	1045.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CM	1071.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CN	1097.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CO	1123.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CP	1149.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CQ	1175.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CR	1201.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CS	1227.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CT	1253.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CU	1279.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CV	1305.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CW	1331.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CX	1357.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CY	1383.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CZ	1409.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CA	1435.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CB	1461.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CC	1487.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CD	1513.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CE	1539.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CF	1565.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CG	1591.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CH	1617.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CI	1643.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CJ	1669.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CK	1695.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CL	1721.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CM	1747.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CN	1773.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CO	1799.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CP	1825.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CQ	1851.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CR	1877.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CS	1903.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CT	1929.57	26.00	26.00	26.00	N00°00'W	0°00"0"
CU	1955.57	26.00	26.00	26.00	N00°00'W	0°00"0"

BOUNDARY DESCRIPTION

Beginning of the Southeast Corner of Section 35, Township 5 South, Range 2 East, Soil Loss Base and
 boundary line along the South line of Section 35, N 69-33-17, 173,000 feet; thence S 65-46-46 W
 178,507 feet to the 175,000 foot radius curve to the right (center bears N 31-29-26 W, 175,000 feet) then along
 the arc of said radius curve to the left (center bears S 42-01-20 N 105,000 feet); then along
 thence along said curve 113,360 feet to a 15,000 foot radius curve to the left (center bears N 65-21-28 E);
 then along the arc of said radius curve to the left (center bears S 42-01-20 N 105,000 feet);
 to the left (center bears S 25-50-17 W, 333,000 feet); then along said arc 134,358 feet; then
 N 89-53-07 W, 120,083 feet; then thence N 00-06-53 S, 120,003 feet; then thence S 89-53-07 E, 200,728 feet;
 then thence N 48-45-45 E to a point on a 175,000 foot radius curve to the left (center bears N 65-21-28 E,
 S 39-28-21 E, 175,000 feet); then along the arc of said curve 79,643 feet to a point on a 125,000 foot
 radius curve to the left (center bears S 42-01-20 N 105,000 feet); then along the arc of said radius
 curve 161,581 feet; then thence N 61-58-51 W 6,010 feet; then thence N 41-53-14 E, 166,135 feet; then thence N 47-58-40 W, 103,752 feet
 to a point on a 525,000 foot radius curve to the right (center bears N 42-01-20 E, 525,000 feet); then along
 the arc of said radius curve to the right (center bears N 42-01-20 E, 525,000 feet); then along the arc of said
 curve 35,404 feet; then thence S 34-04-42 E 136,778 feet; then thence S 42-01-20 N 105,000 feet; then thence S 47-38-40 E 1,272,050
 feet; then thence S 42-01-20 N 105,000 feet; then along the arc of said radius curve to the right (center bears
 S 42-01-20 N 105,000 feet); then along the arc of said radius curve 12,682 feet to a point on a 15,000 foot radius curve to the left (center bears N 15-26-37 W); then along the
 arc of said radius curve 25,024 feet; then thence N 26-45-50 E 39,450 feet to a point on a 284,149 foot radius curve
 to the left (center bears N 26-45-50 E, 284,149 feet); then along the arc of said radius curve 13,130 feet;
 then thence S 25-51-14 E 255,814 feet to a point on a 425,000 foot radius curve to the right (center bears N 44-53-07 E,
 S 25-51-14 E, 425,000 feet); then along the arc of said radius curve 287,630 feet; then along the arc of said
 radius curve to the left (center bears N 76-48-23 W, 15,000 feet); then along the arc of said radius curve
 22,686 feet to a point on a 175,000 foot radius curve to the left (center bears S 19-29-50 W,
 175,000 feet); then along the arc of said curve 29,892 feet; then along the arc of said radius curve to the
 right (center bears N 5-40-57 E, 320,000 feet); then along the arc of said radius curve
 10,400 feet; then thence S 42-01-20 N 105,000 feet; then thence S 34-04-42 E 136,778 feet; then
 S 41-53-14 W, 193,379 feet; then thence N 48-08-46 E, 123,524 feet to a point on a 525,000 foot radius
 curve to the right (center bears N 42-01-20 E, 525,000 feet); then along the arc of said radius curve
 27,498 feet; then thence S 45-06-43 E, 109,141 feet; then thence S 41-53-14 W, 50,069 feet; then
 N 45-06-43 W, 72,248 feet to a point on a 15,000 foot radius curve to the left (center bears S 44-53-17
 E, 15,000 feet); then along the arc of said curve 24,334 feet; then along the arc of said radius curve
 to a 15,000 foot radius curve to the left (center bears S 48-17-30 E, 15,000 feet); then along
 the arc of said radius curve 1,415 feet; then thence N 48-06-46 W, 458,360 feet; then along the arc of
 425,000 foot radius curve to the right (center bears N 41-53-14 E, 425,000 feet); then along the arc
 of said curve 178,017 feet; then thence N 04-04-04 W, 458,360 feet; then thence N 66-06-26 E,
 215,100 feet to a point on a 125,000 foot radius curve to the left (center bears N 66-06-26 E, 125,
 125,000 feet); then along the arc of said radius curve 56,904 feet to a point on a 15,000 foot radius
 curve to the left (center bears N 23-50-11 E, 15,000 feet); then along the arc of said radius curve
 22,626 feet to a point on a 225,000 foot radius curve to the right (center bears S 35-10-14 E,
 225,000 feet); then along the arc of said radius curve 68,306 feet; then along the arc of said radius curve
 to a point on a 50,000 foot radius curve to the left (center bears N 43-11-36 W, 50,000 feet);
 then along the arc of said radius curve 36,916 feet to a point of reverse curvature to a 60,000 foot
 radius curve to the right (center bears S 23-59-44 E, 60,000 feet); then along the arc of said radius
 curve 43,516 feet; then thence N 42-13-19 W, 184,972 feet; then thence S 22-32-59 W, 154,762 feet;
 then thence S 22-32-59 W, 154,762 feet to a point on a 50,000 foot radius curve to the left (center
 bears S 75-05-37 W, 50,000 feet); then along the arc of said curve 43,567 feet to a point of
 reverse curvature to a 125,000 foot radius curve to the left (center bears S 75-05-37 W, 125,000
 feet); then along the arc of said curve 45,909 feet to a point on 125,000 foot radius curve to the
 left (center bears N 72-34-38 E, 125,000 feet); then along the arc of said radius curve 44,705 feet;
 then thence S 66-29-26 W, 125,000 feet to a point on a 175,000 foot radius curve to the left (center
 bears N 50-01-27 E, 175,000 feet); then along the arc of said curve 73,838 feet to a point of
 reverse curvature to a 15,000 foot radius curve to the left (center bears S 48-17-30 E, 15,000
 feet); then along the arc of said radius curve 32,377 feet to a point of reverse curvature to a 30,000
 foot radius curve to the left (center bears N 43-05-59 E, 30,000 feet); then along the arc of said
 curve 28,785 feet; then thence S 76-05-03 W, 136,683 feet to the Eastern right-of-way of
 McIntosh Drive; then along said right-of-way line N 24-04-46 W, 331,518 feet; then thence
 S 67-27-31 E, 331,518 feet; then thence S 60-39-51 E, 278,168 feet; then thence S 67-27-31 E, 206,
 feet; then thence S 173-10-36 W, 207,568 feet to a point on a 60,000 foot radius curve to the right (center
 bears S 173-10-36 W, 60,000 feet); then along the arc of said radius curve 10,400 feet; then
 reverse curvature to a 50,000 foot radius curve to the left (center bears S 66-22-57 E, 50,000
 feet); then along the arc of said radius curve 12,392 feet; then thence S 66-22-57 E, 50,000
 feet; then thence S 173-10-36 W, 207,568 feet; then thence S 37-41-28 E, 98,483 feet; then thence S 71-19-34 W, 157,948 feet
 to a point on a 275,000 foot radius curve to the left (center bears N 28-29-56 E, 275,000 feet);
 then along the arc of said radius curve 109,511 feet to a point of reverse curvature to a 15,000 foot
 radius curve to the right (center bears S 3-40-27 W, 225,000 feet); then along the arc of said
 radius curve 10,400 feet to a point of reverse curvature to a 15,000 foot radius curve to the right (center
 bears N 16-28-16 E, 15,000 feet); then along the arc of said radius curve 21,687 feet to a point of
 reverse curvature to a 15,000 foot radius curve to the right (center bears S 3-40-27 W, 15,000
 feet); then along the arc of said curve 86,011 feet; then thence N 36-34-41 E, 45,049 feet; then thence
 S 35-25-19 E, 50,000 feet; then thence S 36-34-41 W, 45,049 feet to a 375,000 foot radius curve to
 the left (center bears N 35-25-19 E, 375,000 feet); then along the arc of said radius curve 13,836
 feet; then thence S 35-25-19 E 255,814 feet to a point on a 336,149 foot radius curve to the right (center bears
 S 35-25-19 E, 336,149 feet); then along the arc of said curve 307,113 feet; then along the arc of said
 curve to a point on a 175,000 foot radius curve to the right (center bears N 45-53-45 W); then along the arc
 of said curve 71,338 feet; then thence S 48-06-46 E, 150,887 feet to a point on a 30,000 foot radius
 curve to the left (center bears S 48-06-46 E, 30,000 feet); then along the arc of said radius curve
 10,947 feet; then along the arc to a point on a 30,000 foot radius curve to the left (center bears N 44-53-07 E,
 30,000 feet); then along the arc of said radius curve 47,105 feet; then thence N 00-09-01 E, 122,634
 feet; then thence S 00-09-01 E, 122,634 feet to a point of beginning.

Area: 846,327 sq.ft. 19,429 acres.

BASIS OF BEARING From the Southeast Corner of Section 35, T-5-S, R-2-E, to the South Quarter Corner of Section 35, bearing N 89°53'07" W.

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 10th DAY OF May, A.D. 19 99
Canberra Development Company, L.C.
 by: David J. Allen, its CEO.
 DAVID J ALLEN

IN 59810 MAG # 8070
 RANDALL A COVINGTON
 UTAH COUNTY RECORDER
 1999 MAY 25 10:27 AM FEE \$5.00 BY GS
 RECORDED FOR LONDON CITY

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF LUNDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS
THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES
FOR THE PERPETUAL USE OF THE PUBLIC THIS 10 DAY OF April, A.D. 1999

[illegible]


ATTEST: *Mark Cameron*
CLERK/RECORDER (SEE SEAL BELOW)


APPROVED: *Mark L. Clinton*
CITY ENGINEER (SEE SEAL BELOW)

Carson Duval
CITY ATTORNEY




PLANNING COMMISSION APPROVAL

APPROVED THIS 29th DAY OF October A.D. 19 97 BY THE LINDON CITY PLANNING COMMISSION.

 DIRECTOR-SECRETARY

 CHAIRMAN, PLANNING COMMISSION

CANBERRA HEIGHTS PLAT A
LOCATED IN THE SOUTHEAST QUARTER OF SECT. 35,
TOWNSHIP 5 SOUTH, RANGE 2 EAST, S.L.B.&M.
LINDON, UTAH COUNTY, UTAH

SCALE 1" = 80'			
<p>NOTARY SEAL Plat acknowledged before me by David J. Allen on 5/10/19 <i>James M. Allen</i></p> 	<p>SURVEYOR'S SEAL</p>	<p>CITY ENGINEER'S SEAL</p> 	<p>SEAL LINCOLN CITY Seal UTAH COUNTY UTAH</p> 

SESE 355, 2E
71080

SPECIAL NOTES:

NO PERMANENT STRUCTURES ARE TO BE CONSTRUCTED
WITHIN THE EXISTING SALT LAKE CITY AQUEDUCT
EASEMENT LOCATED BETWEEN LOTS 1,4,5,6,7,8,9,11
AND 41 OF THIS PLAT.

A GEOTECHNICAL STUDY HAS BEEN COMPLETED FOR THIS PROJECT PREPARED BY APPLIED GEOTECHNICAL ENGINEERING CONSULTANTS (AGEC) DATED APRIL 3, 1997. IN ADDITION WITH A SUPPLEMENTAL LETTER TO THE REPORT DATED JANUARY 25, 1999, A SUBSEQUENT REVIEW REPORT HAS ALSO BEEN PREPARED BY THE UTAH GEOLOGICAL SURVEY DATED NOV. 20, 1998. THESE REPORTS ARE ON FILE IN THE LINDON CITY OFFICE.

THE GEOTECHNICAL REPORT IDENTIFIES THE POSSIBILITY OF COLLAPSIBLE SOILS ONSITE. IT WILL BE THE RESPONSIBILITY OF EACH LOT OWNER TO PROVIDE ULLINOIS-CITY WITH A WRITTEN DOCUMENTATION PREPARED BY A GEOTECHNICAL ENGINEER VERIFYING THAT FOOTING EXCAVATION WERE INSPECTED AND MITIGATIONS MEASURES TAKEN, WHERE NEEDED TO DEAL WITH COLLAPSIBLE SOILS.

ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF UTAH } S.S.

ON THE _____ DAY OF _____, 19____, PERSONALLY
APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION
WHO DULY ACKNOWLEDGED TO ME THAT THEY DID EXECUTE THE SAME.

NOTARY PUBLIC
RESIDING IN UTAH COUNTY, STATE OF UTAH

APRIL 6, 1999

OCCUPANCY NOTICE

IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT FIRST HAVING OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY THE CITY

CONDITIONS OF APPROVAL

ALL CANBERRA HEIGHTS, PLAT A LOTS ARE SUBJECT TO
LINDON CITY'S HILLSIDE PROTECTION ZONE.
(SECTION 17.57 OF THE LINDON CITY CODE.)

ALL CANBERRA HEIGHTS, PLAT "A" LOTS ARE SUBJECT
TO COVENANTS, CONDITIONS, AND RESTRICTIONS.

PRIMARY BUILDING SITES ARE TO BE 20 FEET FROM
SIDE LOT LINES AND 30 FEET FROM FRONT AND REAR
LOT LINES.

THE MAXIMUM SQUARE FOOTAGE HOME ALLOWED WITHOUT

THE MAXIMUM SQUARE FOOTAGE HOME ALLOWED WITHOUT ADDITIONAL FIRE PROTECTION MEASURES BEING EMPLOYED IS 9400 S.F. (TYPE 5N CONSTRUCTION BASED ON 2500 GPM FIRE FLOW WITH RESIDUAL PRESSURE AT 20 PSI.) HOME TO VERIFY WATER PRESSURE AND FLOW RATES PRIOR TO CONSTRUCTION.

* NOTE FOR LOTS 9,10 & 11:
OWNER OF LOTS 9,10 & 11 MAY BE REQUIRED TO SEWER
TO MCKINLEY DRIVE DEPENDING ON HOUSE PLACEMENT

ON ALL BUILDING LOTS
THE FINISH FLOOR ELEVATION SHALL BE ESTABLISHED TO
A DRIVEWAY THAT SLOPES UP FROM THE BACK OF THE

AT AN AVERAGE OF AT LEAST 3% FOR THE FIRST 32 FEET

WALKER SHARES TURNED IN

8070-93