



**FARR WEST CITY
PLANNING
COMMISSION
AGENDA**

June 12, 2025 at 5:30 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the Planning Commission of Farr West City will hold a 5:30 p.m. work session and their regular meeting at 6:30 pm on Thursday, June 12, 2025

Work Session to discuss General Plan updates

Regular Meeting

1. Call to Order –Chairwoman Genneva Blanchard
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Prayer
3. Comments/Reports
 - a. Public Comments (2 minutes)
 - b. Report from City Council
4. Business Items
 - a. Public hearing to consider the request of a conditional use permit for a 2,600 square-foot accessory building for Jenny Astle located at 1578 West Harrisville Rd
 - b. Recommendation to the City Council approval or denial of a conditional use permit for a 2,600 square-foot accessory building for Jenny Astle located at 1578 West Harrisville Rd
 - c. Public hearing for to consider the request of a conditional use permit for a 3,120 square-foot accessory building for Tavin Rose located at 2684 Remuda Drive
 - d. Recommendation to the City Council approval or denial of a conditional use permit for a 3,120 square-foot accessory building for Tavin Rose located at 2684 Remuda Drive
 - e. Recommendation to the City Council approval or denial of the Petersen Inc modified site plan located at 1527 North 2000 West
5. Consent Items
 - a. Approval of minutes dated May 22, 2025
6. Chairman/Commission Follow-up
 - a. Report on Assignments
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on June 6, 2025.

Lindsay Afuvai
Recorder



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 5/12/25 Applicant Name Tressa Roberts (Beehive Buildings
ress [REDACTED]

Property address of proposed conditional use 1578 W Harrisville Rd Current Zoning: R-1-15

Please list the requested conditional use as listed within the city zoning ordinance Accessory
building over 2000 SF. Proposed building is 2600 SF

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

detached garage will allow for vehicles & other equipment to be stored inside & out of the sight of the public

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

the area has historically been agricultural, there are many detached accessory buildings in the area

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

the need for a detached garage is a
core requirement

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

this building conforms to the goals, policies & principles of land use in Farr West

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

code will be followed for building & grading to allow for proper drainage



Property Owner? Y N

Signature of Applicant

Date Application & \$100.00 Processing Fee received _____

Received by _____

Date of public hearing: _____

Date application was _____ Approved _____ Denied by Planning Commission _____

Conditions/Reasons

Date application was _____ Approved _____ Denied by City Council: _____

Reas

Planning Commission Chair

Mayor

Site Plan



Virginia Astle & Sean Smith
1578 W Harrisville Rd
Farr West, UT 84404
Parcel #152210008

10' to North property line
10' to West
184' to South (approx.)
40' to East (approx.)
65' to dwelling (approx.)

Dimensions are from footing/foundation, not wall

~Square with West fenceline~
*Front is overhead doors



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 5/15/2025 _____ Applicant Name Tavin Rose _____

Mailing Address 1 _____

Phone Number _____

Property address of proposed conditional use 2684 Remuda Drive Farr West _____ Current Zoning: _____

Please list the requested conditional use as listed within the city zoning ordinance Accessory building -
3,120 sq ft

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

The Shed will provide a dedicated and organized space for storing lawn and garden equipment, tools, seasonal decorations vehicles and trailers. This will allow me to maintain my property in a more organized and aesthetically pleasing manner minimizing any visual clutter. Enhancing the overall appearance of the neighborhood and contributing to a positive community image.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

The shed will allow for the safe and responsible storage of materials and vehicles, including items like fertilizers or oil for lawn equipment and vehicles. Storing these materials in a secure and designated location will reduce the risk of accidents and environmental contamination, contributing to the safety and well-being of the community.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

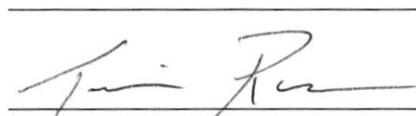
The location for the shed is currently an underutilized space in the rear of my property. utilizing this location will maximize the use of my property without negatively impacting neighboring properties. The shed will be situated to minimize visual impact and will comply with all setback requirements, ensuring that it does not obstruct views or create any negative impacts on surrounding properties.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

Construction of the shed promotes responsible property maintenance, preserving home values, supporting personal hobbies, utilizing space efficiently, and ensuring the safe storage of multiple items. These factors, combined with the shed's adherence to all applicable zoning regulations minimizes impact on neighboring properties.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

The shed will be located in an area that is already developed and does not provide habitat for wildlife. The construction and use of the shed will comply with all applicable federal, state, and local environmental regulations.

 _____ Property Owner? Y N
Signature of Applicant

Date Application & \$100.00 Processing Fee received 5/15/2025

Received by Nayoma

Date of public hearing: _____

Date application was Approved Denied by Planning Commission _____

Conditions/Reasons

Date application was Approved Denied by City Council: _____

Conditions/Reasons

Planning Commission Chair

Mayor

DRAWING NOTES

DESIGN CODE: 2018 IBC.
USE GROUP: U
CONSTRUCTION TYPE VB
DESIGN CATEGORY: RISK CATEGORY I – LOW RISK

SEISMIC CRITERIA:
DESIGN CATEGORY D
SOIL SITE CLASS D (ASSUMED)
R = 2.5 (LIGHT-FRAME WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS)
SS= 1.71g, S1= 0.60g; SDS= 1.10g, SD1= 0.82g
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE
BASE SHEAR= 15,903 LBS

WIND LOAD:
ULTIMATE WIND DESIGN SPEED: 115 MPH 3 SEC. GUST
TERRAIN EXPOSURE C

FROST DEPTH: 30 IN
SITE ELEVATION: 4240 FT

SNOW LOAD:
GROUND SNOW LOAD: 36 PSF
ROOF DESIGN SNOW LOAD: 30 PSF MAIN; 37 PSF LEAN

DEAD LOADS:
ROOF 6 PSF
WALLS 4 PSF

ROOF LIVE LOAD: 20 PSF

CONCRETE FOUNDATION NOTES:

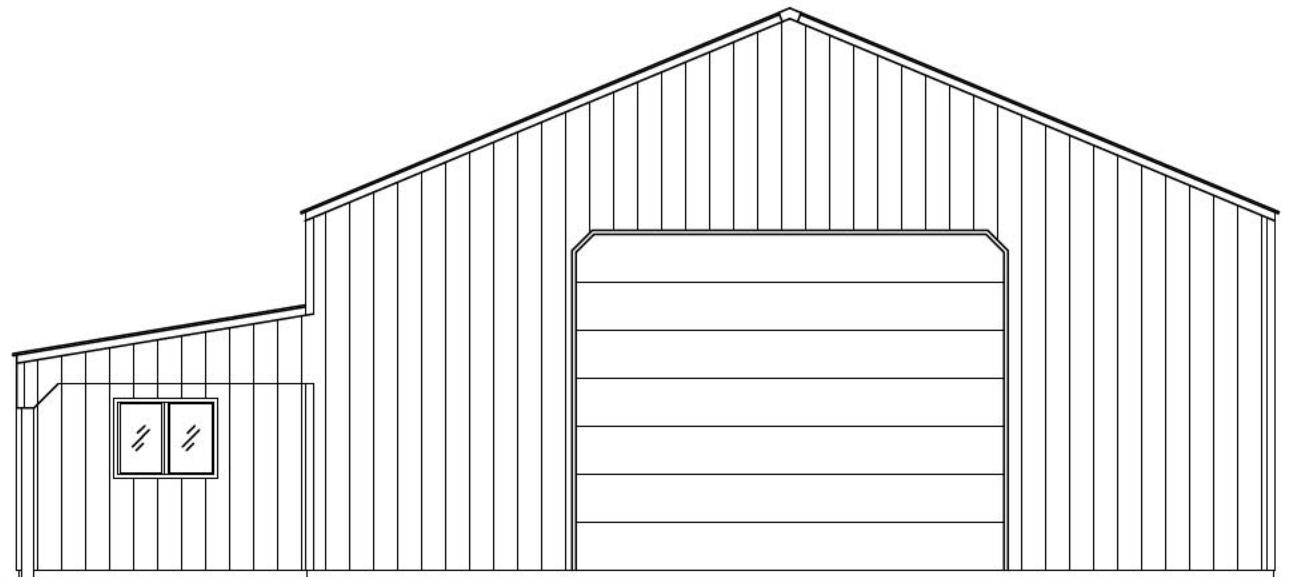
1. 28 DAY STRENGTH (F'C) W/ NORMAL 145 PCF DENSITY:
 - 1.1. FOOTINGS: 2500 PSI MINIMUM
 - 1.2. SLABS ON GRADE: 2500 PSI REQ'D, 3500 PSI RECOMMEND
2. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.
3. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.
4. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6–18 HOURS OF CONCRETE PLACEMENT.
5. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.

SOILS AND EXCAVATION:

6. NO SOILS REPORT PROVIDED – STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND ENGINEER.
7. ALLOWABLE BEARING PRESSURE: 1500 PSF
8. NATIVE MATERIAL SURROUNDING FOOTINGS TO BE DISTURBED MINIMALLY DURING EXCAVATION.
9. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS.
10. ALL BACKFILLING SHALL BE DONE WITH GRANULAR FREE-DRAINING MATERIAL. EXISTING SITE MATERIAL MAY BE USED IF FREE FROM CLAY SOILS AND ANY CONSTRUCTION DEBRIS. COMPACT ALL BACKFILL MATERIAL IN 8 INCH LIFTS TO 95% OF MODIFIED PROCTOR DENSITY.
11. SLOPE FINISHED GROUND AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES VERTICAL IN 10 FEET HORIZONTAL.

NORTH STAR BUILDINGS

TAVIN ROSE BUILDING

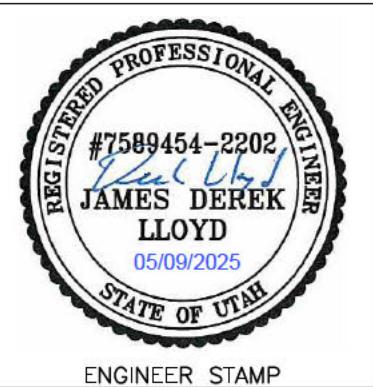
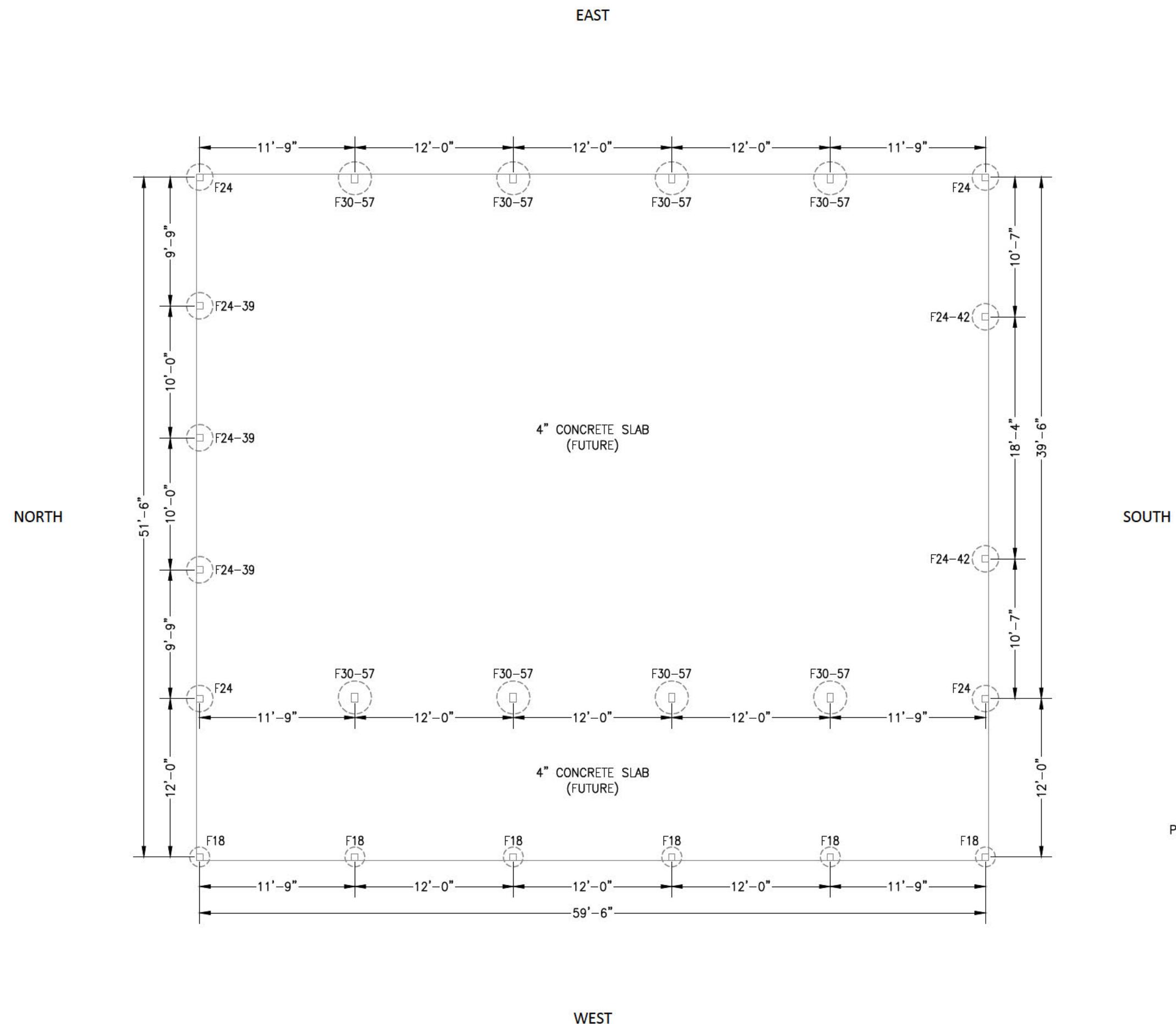


BUILDING INFORMATION		CONTRACTOR	DRAFTING & ENGINEERING	DRAWING INDEX	
SITE INFORMATION:	BUILDING INFORMATION:	NORTH STAR BUILDINGS	MOUNTAIN POINT ENGINEERING	SHEET	DESCRIPTION
ADDRESS: 2684 REMUDA DRIVE FARR WEST, UTAH	DIMENSIONS: 40' x 60' TOTAL SQUARE FOOTAGE: 3120 S.F. ENCLOSED: 2976 S.F. OPEN LEAN: 144 S.F.	CONTACT: ALAN WALKER ALAN@NORTHSTARBUILDINGS.COM PHONE: 385-254-1086	CONTACT: DEREK LLOYD DEREK@MOUNTAINPOINTENGINEERING.COM PHONE: 801-450-5332	00	COVER SHEET
				01	FOUNDATION PLAN
				02	FLOOR PLAN
				03	ROOF PLAN
				04	ELEVATIONS
				05	GIRT PLAN
				06	PANEL LAYOUT
				07-09	DETAIL SHEETS

MOUNTAIN POINT
ENGINEERING

DATE

05/09/2025



MTAIN POINT
ENGINEERING

FOUNDATION PLAN

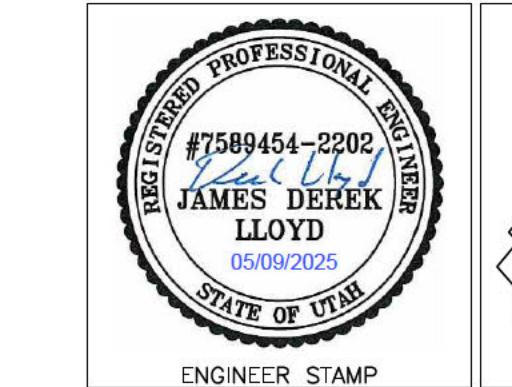
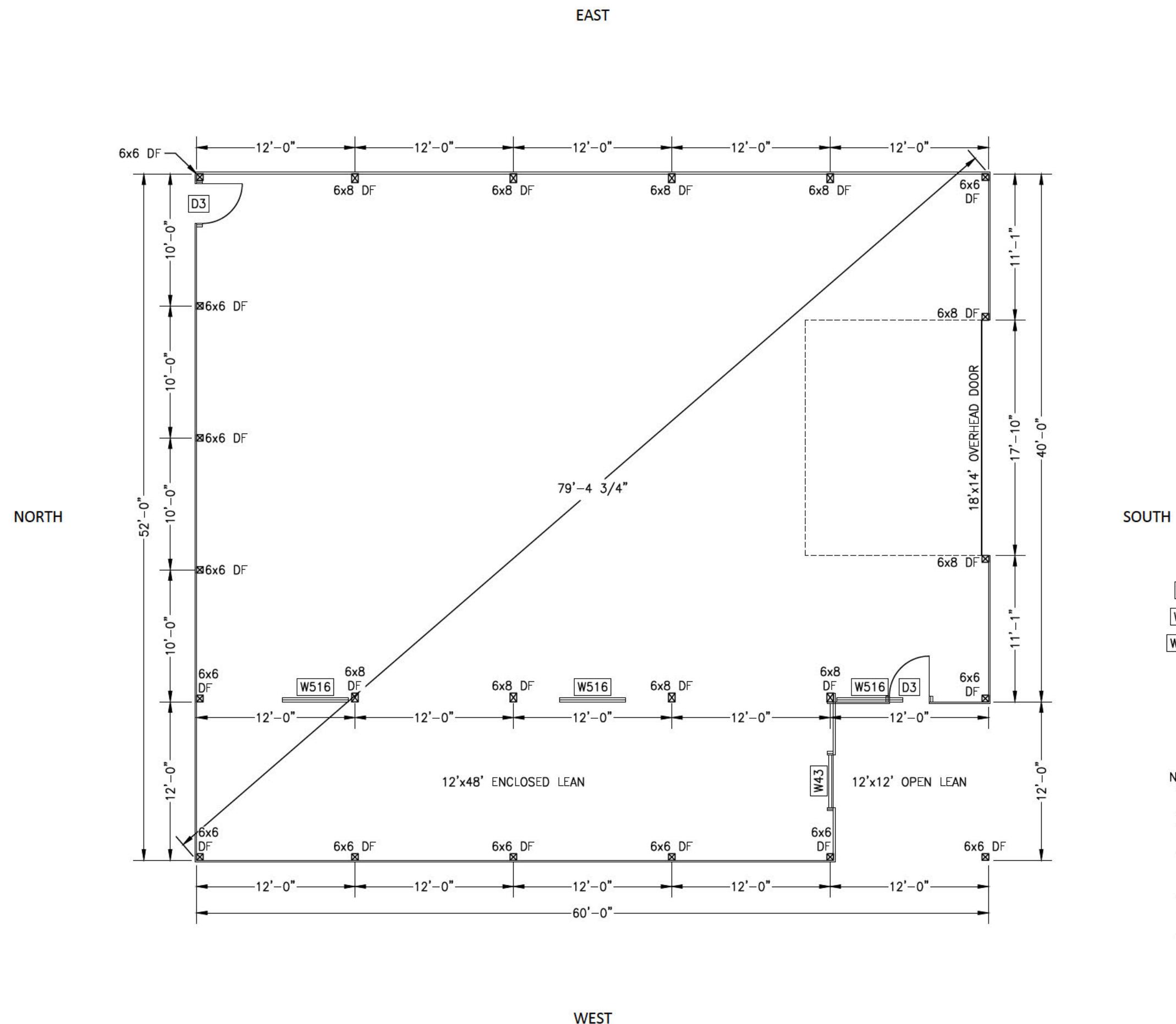
TAVIN ROSE BUILDING
FARR WEST, UTAH

PROJECT
NS207

SCALE
1/8" = 1'-0"

DATE
05/09/2025

SHEET
01



MOUNTAIN POINT
ENGINEERING

FLOOR PLAN

TAVIN ROSE BUILDING
FARR WEST, UTAH

NOTES:

1. 6x6 DF: 6x6 DF-L #2 TREATED POST.
2. 6x8 DF: 6x8 DF-L #2 TREATED POST.
3. EMBED POST INTO CONCRETE PIER. SEE DETAIL ON SHEET 08.
4. ROOF:
 - 4.1. 29 GA STEEL PANEL
 - 4.2. 7/16" WOOD SHEATHING
5. WALLS:
 - 5.1. STANDARD GIRTS
 - 5.2. 29 GA STEEL PANEL
6. WOOD SHEATHING: APA RATED EXPOSURE 1 PLYWOOD OR OSB.
 - 6.1. NAILING: 8d @ 6" O.C. EDGE, 12" O.C. FIELD, U.N.O.
 - 6.2. STAPLING: 16 GA, 1" MIN PENETRATION, 6" O.C. EDGE, 6" O.C. FIELD, U.N.O.
 - 6.3. END JOINTS STAGGERED 4' O.C. 1/8" GAP AT ALL PANEL EDGES.

PROJECT
NS207

SCALE
1/8" = 1'-0"

DATE
05/09/2025

SHEET
02

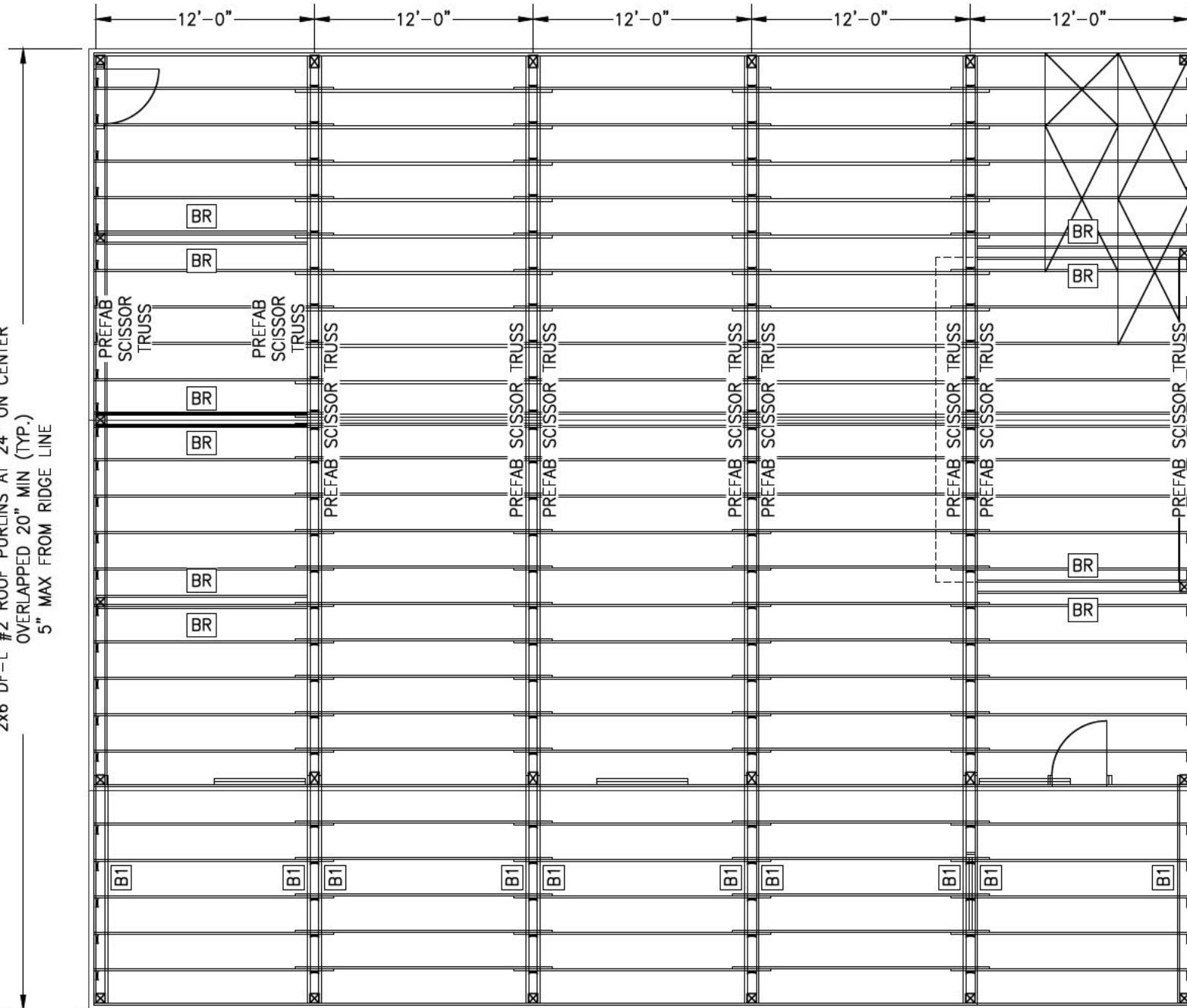
NORTH

EAST

SOUTH

WEST

2x6 DF-L #2 ROOF PURLINS AT 24" ON CENTER
OVERLAPPED 20" MIN (TYP.)
5" MAX FROM RIDGE LINE



NOTES:

1. TRUSSES WILL BE DEFERRED PER IBC 107.3.4.1 AND WILL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF UTAH.
2. PROVIDE TRUSS BOTTOM CHORD BRACING PER TRUSS MANUFACTURER'S SPECIFICATIONS.

PROJECT
NS207

SCALE
1/8" = 1'-0"

DATE
05/09/2025

SHEET
03

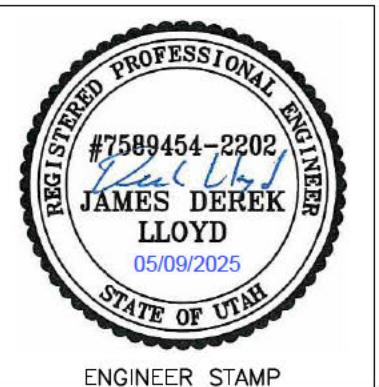
BR 2x6 DIAGONAL BRACE

BEAMS:
B1: 1-3/4"x9-1/4" LVL

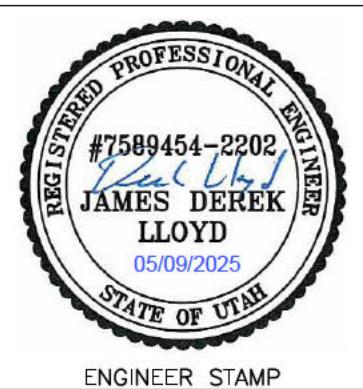
TAVIN ROSE BUILDING

FARR WEST, UTAH

ROOF PLAN

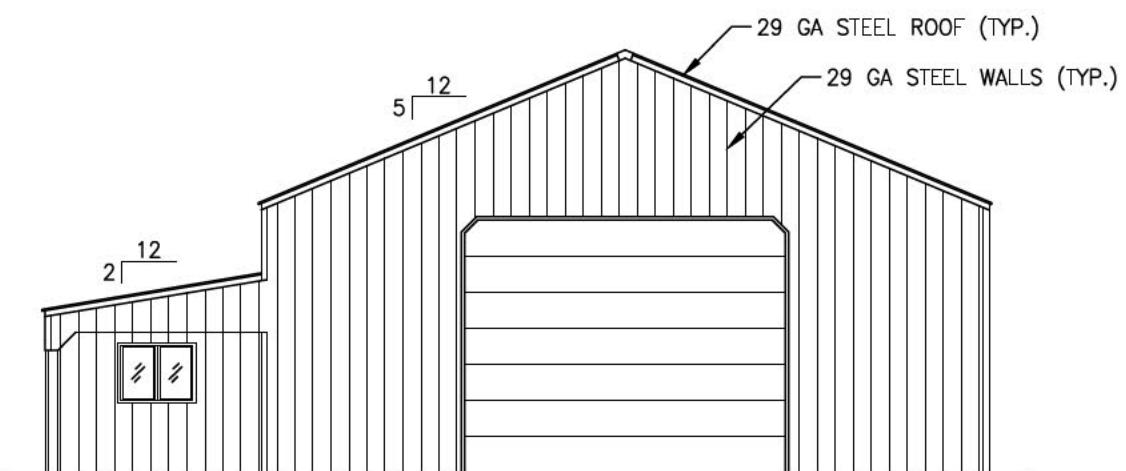


MOUNTAIN POINT
ENGINEERING

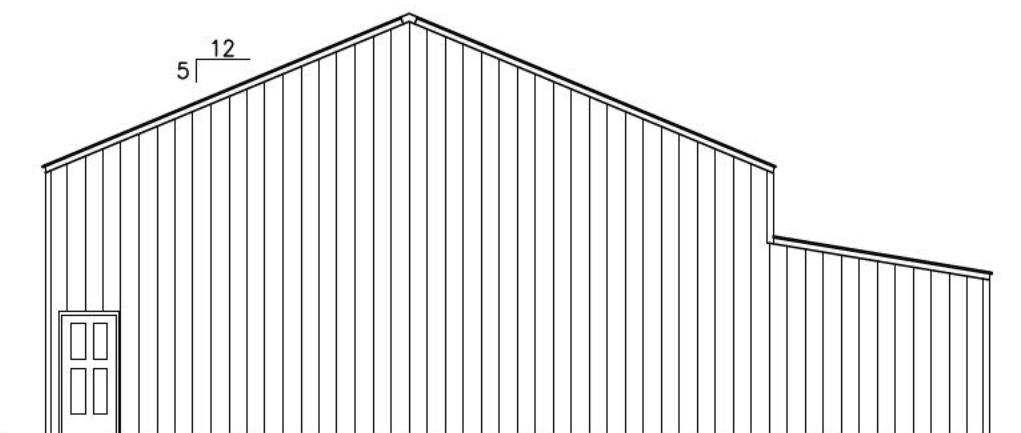
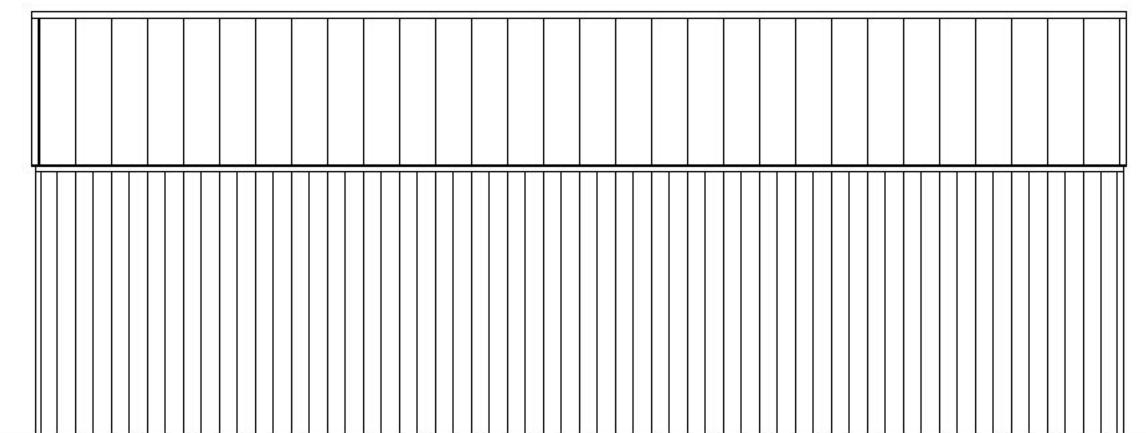


MOUNTAIN POINT
ENGINEERING

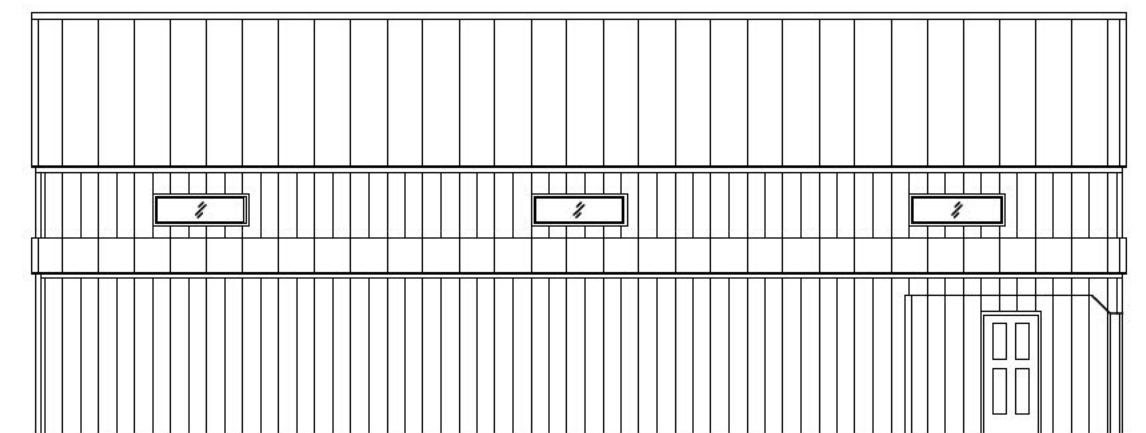
ELEVATIONS



GABLE END ELEVATION - SOUTH



GABLE END ELEVATION - NORTH



TAVIN ROSE BUILDING
FARR WEST, UTAH

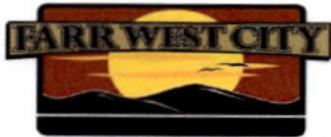
PROJECT
NS207

SCALE
3/32" = 1'-0"

DATE
05/09/2025

SHEET
04

Application for Site Plan Approval



1896 North 1800 West
Farr West, UT 84404
Phone – (801) 731-4187
Fax – (801) 731-7732

Date Submitted: 5/7/2025

Applicant Name: Steven Petersen Applicant Address: [REDACTED]

Phone: [REDACTED]

Business Name: Petersen Properties Application Number: 25012

Business Address: 1527 N 2000 W, Ogden, UT 84404 Phone: 801 732-2000

Address and description of site being considered: We are adding on to an existing building to expand Petersen Inc. manufacturing capabilities.

Tax ID number of site being considered: 15-005-0082

Current zoning of site: M1

FEE SCHEDULE

Application: \$100.00 Engineering Deposit: \$1,000.00

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- All proposed new development except single-family detached residences.
- All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- Issuance of a conditional use permit for new construction.
- New signs
- Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- All plans for earth sheltered dwellings.

The following information is required for site plan approval (check box next to all items submitted with application):

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, and in an electronic PDF format.
- Lot dimensions and orientations: North arrow, etc.
- Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- Indication of proposed use of buildings.
- All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- Height of all existing and proposed walls and fences and type of construction.
- Location and type of landscaping.
- All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- Location, type, lighting and size of proposed and existing signs.
- Location, type and size of proposed and existing light poles.
- A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- One copy of a current county ownership plat showing the property and adjacent properties.
- Approval letter from Weber Fire District (801-782-3580).
- Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

Answer the following questions as applicable: (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? Expanding manufacturing of Petersen Inc. by adding on additional building space to existing building as shown on the site plan

2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

Existing conditions will not change as we are just adding on to the current building.

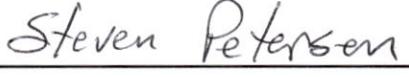
Signature of Applicant:

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. **All** property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.



Owner Signature

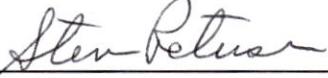


Print Name

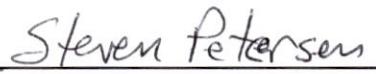
Owner Signature

Print Name

I/We authorize JEFFREY LOWE (HCCS)
(Print name) to act as my/our agent in all matters relating to this application.



Owner Signature



Print Name

Owner Signature

Print Name

Authorized Agent Signature

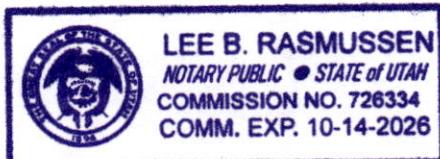
Signature of City Recorder/Clerk
(Not Required if Notarized)

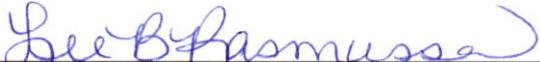
State of Utah)

§

Count of Weber)

On this 7 day of May, in the year 2025, before me Lee B. Rasmussen, a notary public, personally appeared Steven Peterson, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.





NOTARY PUBLIC

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A
L

State of Utah)

§

County of Weber)

On this 7th day of May, in the year 2025, before me Lee B Rasmussen, a notary public, personally appeared Steven Petersen, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



Lee B Rasmussen

NOTARY PUBLIC

S
E
A
L

For City Use:

Fee received by: McKinzie

Date received: 5/07/2025

Receipt number: 9.000003008

Cash/Check (circle one) Credit

Date site plan received: May 8, 2025

Received by: Wulsdorff

Date met with city engineer: _____

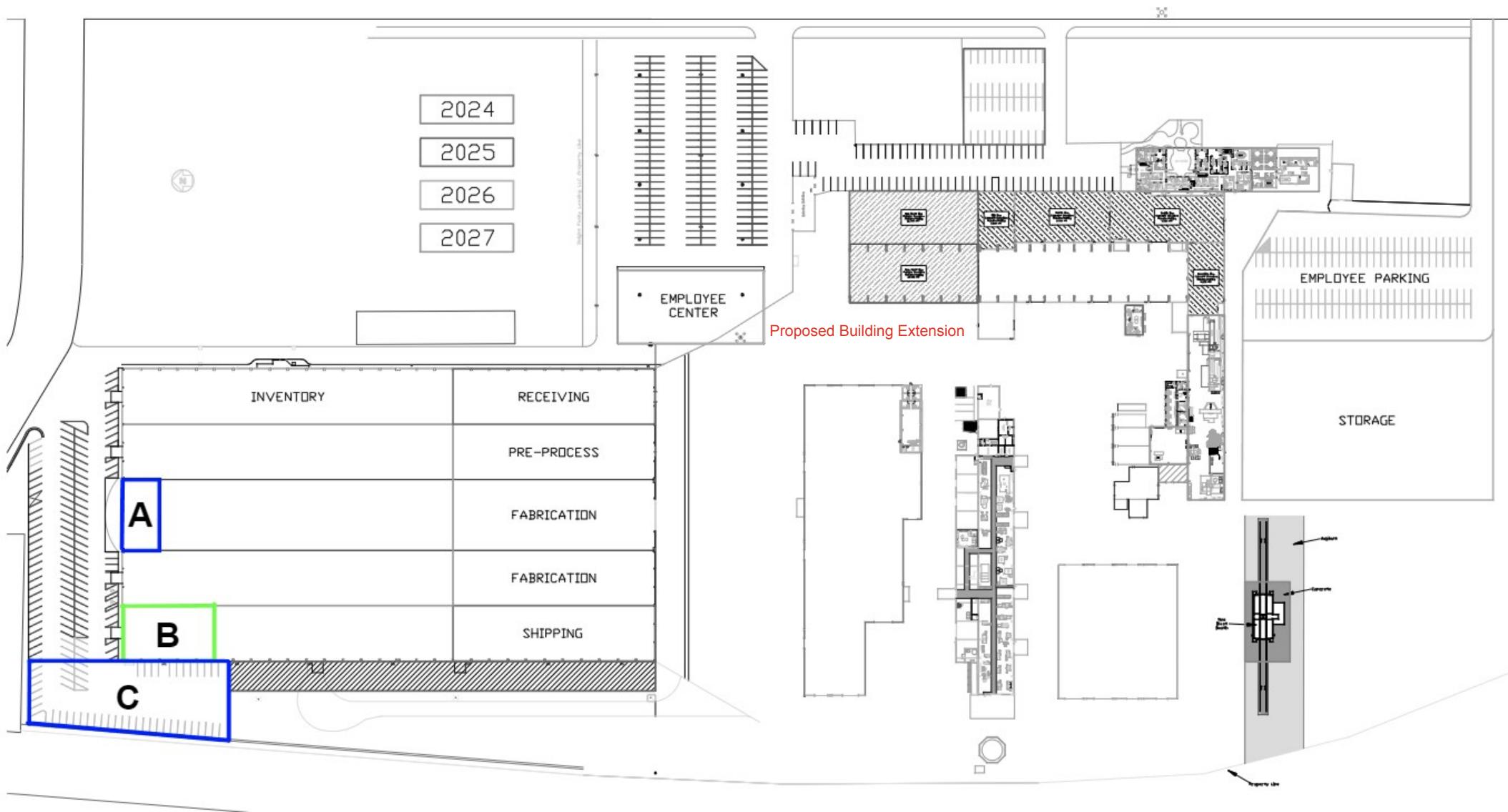
Signed: _____

Date engineer approved plan: _____

Signed: _____

Date planning commission approved: _____

Date city council approved (conditional use permit only): _____





NORTH

APPROX LOCATION
AT FACILITY

REV: 42122

DO NOT SCALE DRAWING

ASE ENGINEERING
ENGINEERING - DESIGN - ANALYSIS
www.ase-engr.com

Petersen-Soukos ANCHOR-A-400

SHEET 2 OF 11