



## **FARR WEST CITY PLANNING COMMISSION AGENDA**

June 12, 2025 at 5:30 p.m.  
City Council Chambers  
1896 North 1800 West  
Farr West, UT 84404

Notice is hereby given that the Planning Commission of Farr West City will hold a 5:30 p.m. work session and their regular meeting at 6:30 pm on Thursday, June 12, 2025

Work Session to discuss General Plan updates

### Regular Meeting

1. Call to Order –Chairwoman Genneva Blanchard
2. Opening Ceremony
  - a. Pledge of Allegiance
  - b. Prayer
3. Comments/Reports
  - a. Public Comments (2 minutes)
  - b. Report from City Council
4. Business Items
  - a. Public hearing to consider the request of a conditional use permit for a 2,600 square-foot accessory building for Jenny Astle located at 1578 West Harrisville Rd
  - b. Recommendation to the City Council approval or denial of a conditional use permit for a 2,600 square-foot accessory building for Jenny Astle located at 1578 West Harrisville Rd
  - c. Public hearing for to consider the request of a conditional use permit for a 3,120 square-foot accessory building for Tavin Rose located at 2684 Remuda Drive
  - d. Recommendation to the City Council approval or denial of a conditional use permit for a 3,120 square-foot accessory building for Tavin Rose located at 2684 Remuda Drive
  - e. Recommendation to the City Council approval or denial of the Petersen Inc modified site plan located at 1527 North 2000 West
5. Consent Items
  - a. Approval of minutes dated May 22, 2025
6. Chairman/Commission Follow-up
  - a. Report on Assignments
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on June 6, 2025.

Lindsay Afuvai  
Recorder



## Farr West City

### APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 5/12/25 Applicant Name Tressa Roberts (Beehive Buildings)

Address

Property address of proposed conditional use 1578 W Harrisville Rd Current Zoning: R-1-15

Please list the requested conditional use as listed within the city zoning ordinance Accessory building over 2000 SF. Proposed building is 2600 SF

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

detached garage will allow for vehicles & other equipment to be stored inside & out of the sight of the public

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

the area has historically been agricultural, there are many detached accessory buildings in the area

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.


the proposed use will comply with the regulations and conditions specified in this title for such use.  
care equipment

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

this building conforms to the goals, policies & principles of land use in Farr West

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

code will be followed for building & grading to allow for proper drainage



Signature of Applicant

Property Owner? Y ☒ N

Date Application & \$100.00 Processing Fee received \_\_\_\_\_

Received by \_\_\_\_\_

Date of public hearing: \_\_\_\_\_

Date application was \_\_\_\_ Approved \_\_\_\_ Denied by Planning Commission \_\_\_\_\_

Conditions/Reasons

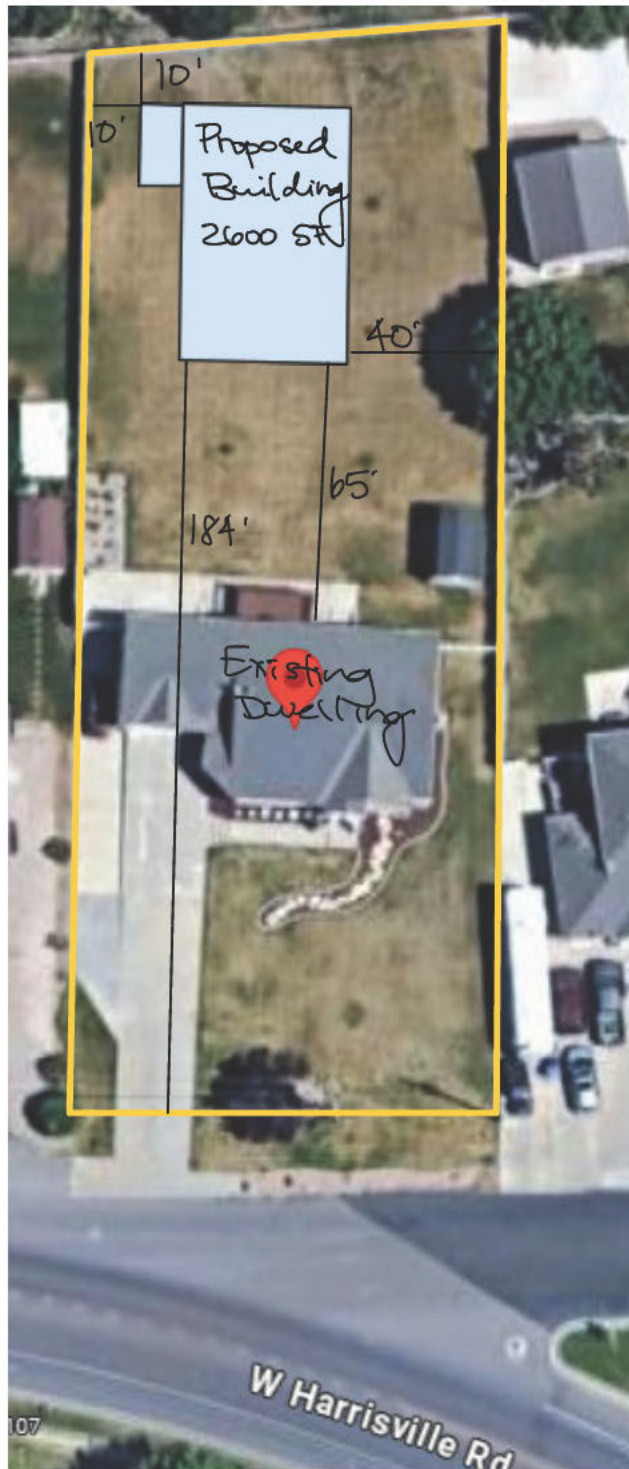
Date application was \_\_\_\_ Approved \_\_\_\_ Denied by City Council: \_\_\_\_\_

Reas

Planning Commission Chair

Mayor

# Site Plan



Virginia Astle & Sean Smith  
1578 W Harrisville Rd  
Farr West, UT 84404  
Parcel #152210008

10' to North property line  
10' to West  
184' to South (approx.)  
40' to East (approx.)  
65' to dwelling (approx.)

Dimensions are from footing/foundation, not wall

~Square with West fenceline~  
\*Front is overhead doors





## Farr West City

### APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

*The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.*

Application Date 5/15/2025 Applicant Name Tavin Rose

Mailing Address [REDACTED]

Phone Number [REDACTED]

Property address of proposed conditional use 2684 Remuda Drive Farr West Current Zoning:

Please list the requested conditional use as listed within the city zoning ordinance Accessory building -  
3,120 sq ft

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

The Shed will provide a dedicated and organized space for storing lawn and garden equipment, tools, seasonal decorations vehicles and trailers. This will allow me to maintain my property in a more organized and aesthetically pleasing manner minimizing any visual clutter. Enhancing the overall appearance of the neighborhood and contributing to a positive community image.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

The shed will allow for the safe and responsible storage of materials and vehicles, including items like fertilizers or oil for lawn equipment and vehicles. Storing these materials in a secure and designated location will reduce the risk of accidents and environmental contamination, contributing to the safety and well-being of the community.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

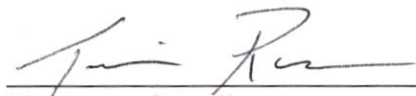
The location for the shed is currently an underutilized space in the rear of my property. utilizing this location will maximize the use of my property without negatively impacting neighboring properties. The shed will be situated to minimize visual impact and will comply with all setback requirements, ensuring that it does not obstruct views or create any negative impacts on surrounding properties.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

Construction of the shed promotes responsible property maintenance, preserving home values, supporting personal hobbies, utilizing space efficiently, and ensuring the safe storage of multiple items. These factors, combined with the shed's adherence to all applicable zoning regulations minimizes impact on neighboring properties.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

The shed will be located in an area that is already developed and does not provide habitat for wildlife. The construction and use of the shed will comply with all applicable federal, state, and local environmental regulations.



Signature of Applicant

Property Owner? ☒ Y ☐ N

Date Application & \$100.00 Processing Fee received 5/15/2025

Received by Kayona

Date of public hearing: \_\_\_\_\_

Date application was \_\_\_\_\_ Approved \_\_\_\_\_ Denied by Planning Commission \_\_\_\_\_

Conditions/Reasons

Date application was \_\_\_\_\_ Approved \_\_\_\_\_ Denied by City Council: \_\_\_\_\_

Conditions/Reasons

Planning Commission Chair

Mayor



DRAWING NOTES

DESIGN CODE: 2018 IBC.  
USE GROUP: U  
CONSTRUCTION TYPE VB  
DESIGN CATEGORY: RISK CATEGORY I – LOW RISK

SEISMIC CRITERIA:  
DESIGN CATEGORY D  
SOIL SITE CLASS D (ASSUMED)  
R = 2.5 (LIGHT-FRAME WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS)  
SS= 1.71g, S1= 0.60g; SDS= 1.10g, SD1= 0.82g  
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE  
BASE SHEAR= 15,903 LBS

WIND LOAD:  
ULTIMATE WIND DESIGN SPEED: 115 MPH 3 SEC. GUST  
TERRAIN EXPOSURE C

FROST DEPTH: 30 IN  
SITE ELEVATION: 4240 FT

SNOW LOAD:  
GROUND SNOW LOAD: 36 PSF  
ROOF DESIGN SNOW LOAD: 30 PSF MAIN; 37 PSF LEAN

DEAD LOADS:  
ROOF 6 PSF  
WALLS 4 PSF

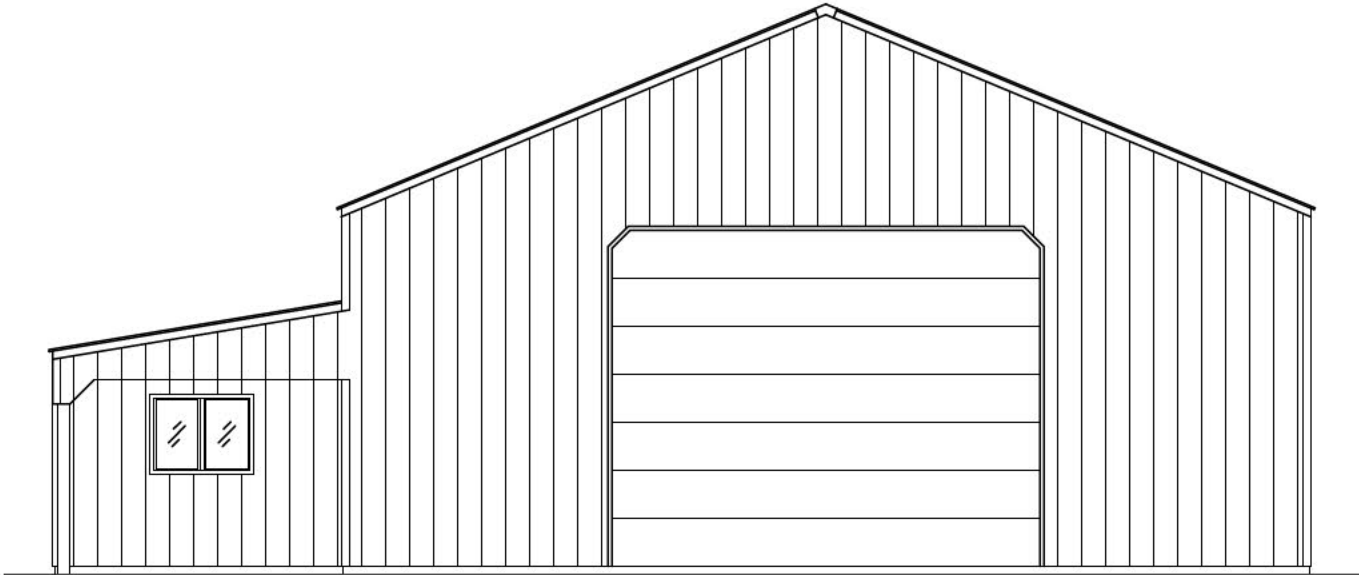
ROOF LIVE LOAD: 20 PSF



CONCRETE FOUNDATION NOTES:  
1. 28 DAY STRENGTH (F'C) W/ NORMAL 145 PCF DENSITY:  
1.1. FOOTINGS: 2500 PSI MINIMUM  
1.2. SLABS ON GRADE: 2500 PSI REQ'D, 3500 PSI RECOMMEND  
2. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.  
3. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.  
4. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6-18 HOURS OF CONCRETE PLACEMENT.  
5. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.

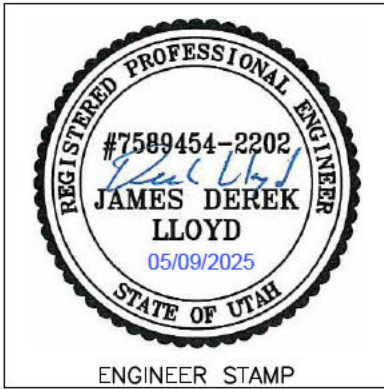
SOILS AND EXCAVATION:  
6. NO SOILS REPORT PROVIDED – STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND ENGINEER.  
7. ALLOWABLE BEARING PRESSURE: 1500 PSF  
8. NATIVE MATERIAL SURROUNDING FOOTINGS TO BE DISTURBED MINIMALLY DURING EXCAVATION.  
9. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS.  
10. ALL BACKFILLING SHALL BE DONE WITH GRANULAR FREE-DRAINING MATERIAL. EXISTING SITE MATERIAL MAY BE USED IF FREE FROM CLAY SOILS AND ANY CONSTRUCTION DEBRIS. COMPACT ALL BACKFILL MATERIAL IN 8 INCH LIFTS TO 95% OF MODIFIED PROCTOR DENSITY.  
11. SLOPE FINISHED GROUND AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES VERTICAL IN 10 FEET HORIZONTAL.

# NORTH STAR BUILDINGS

## TAVIN ROSE BUILDING



BUILDING INFORMATION	CONTRACTOR	DRAFTING & ENGINEERING	DRAWING INDEX		<div> ENGINEER STAMP</div> <div>DATE 05/09/2025</div>
<div><b>SITE INFORMATION:</b>  ADDRESS: 2684 REMUDA DRIVE FARR WEST, UTAH  <b>BUILDING INFORMATION:</b>  DIMENSIONS: 40' x 60' TOTAL SQUARE FOOTAGE: 3120 S.F. ENCLOSED: 2976 S.F. OPEN LEAN: 144 S.F.</div>	<div>NORTH STAR BUILDINGS  CONTACT: ALAN WALKER ALAN@NORTHSTARBUILDINGS.COM PHONE: 385-254-1086</div>	<div>MOUNTAIN POINT ENGINEERING  CONTACT: DEREK LLOYD DEREK@MOUNTAINPOINTENGINEERING.COM PHONE: 801-450-5332  </div>	SHEET	DESCRIPTION	
			00	COVER SHEET	
			01	FOUNDATION PLAN	
			02	FLOOR PLAN	
			03	ROOF PLAN	
			04	ELEVATIONS	
			05	GIRT PLAN	
			06	PANEL LAYOUT	
			07-09	DETAIL SHEETS	



FOUNDATION PLAN

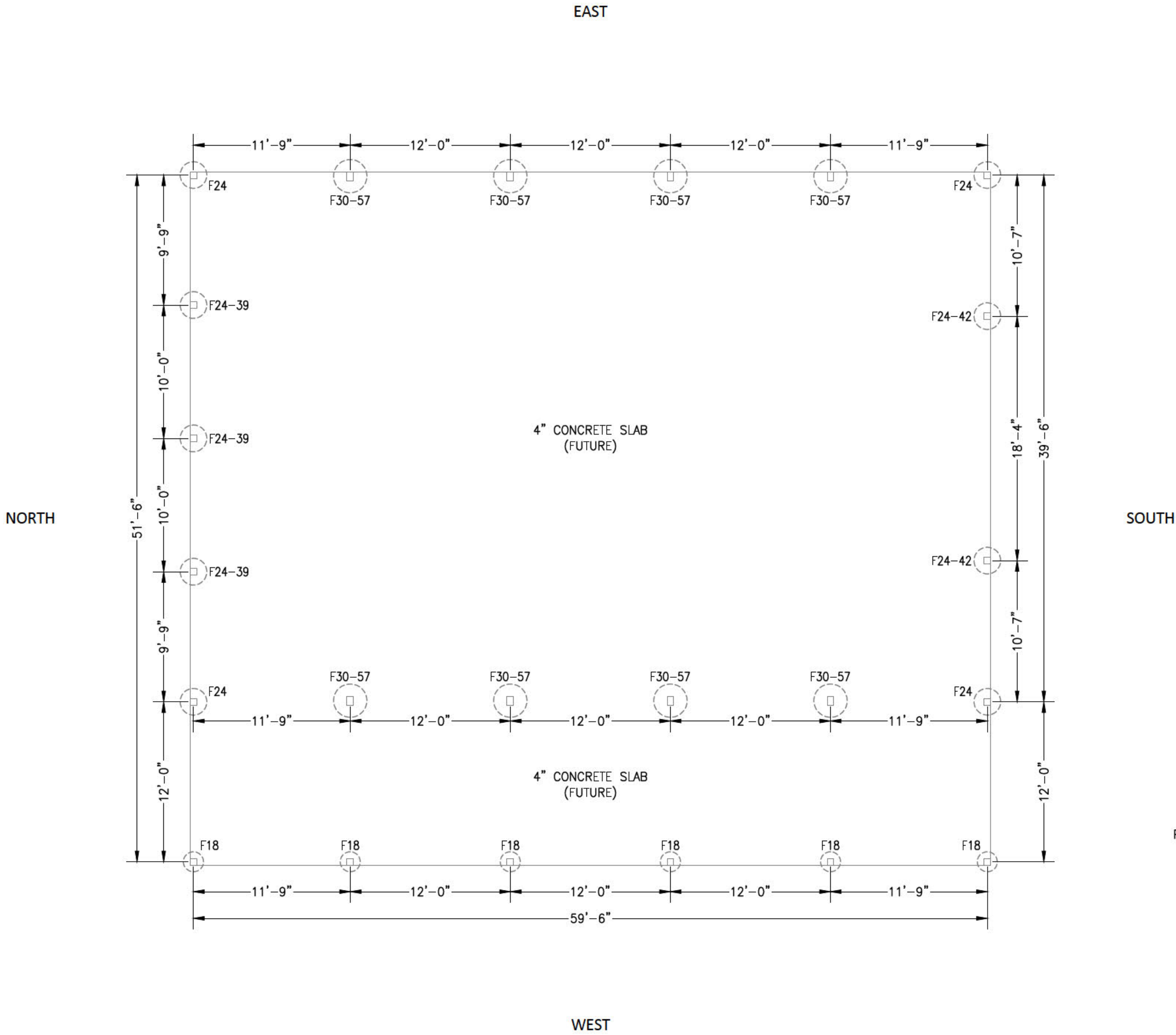
TAVIN ROSE BUILDING  
FARR WEST, UTAH

PROJECT  
NS207

SCALE  
1/8" = 1'-0"

DATE  
05/09/2025

SHEET  
01



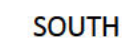
- PIERS:
- F18: 18" DIA X 36" DEEP CONCRETE PIER (24" DIA OK)
  - F24: 24" DIA x 36" DEEP CONCRETE PIER
  - F24-39: 24" DIA x 39" DEEP CONCRETE PIER
  - F24-42: 24" DIA x 42" DEEP CONCRETE PIER
  - F30-57: 30" DIA x 57" DEEP CONCRETE PIER





TAVIN ROSE BUILDING  
FARR WEST, UTAH

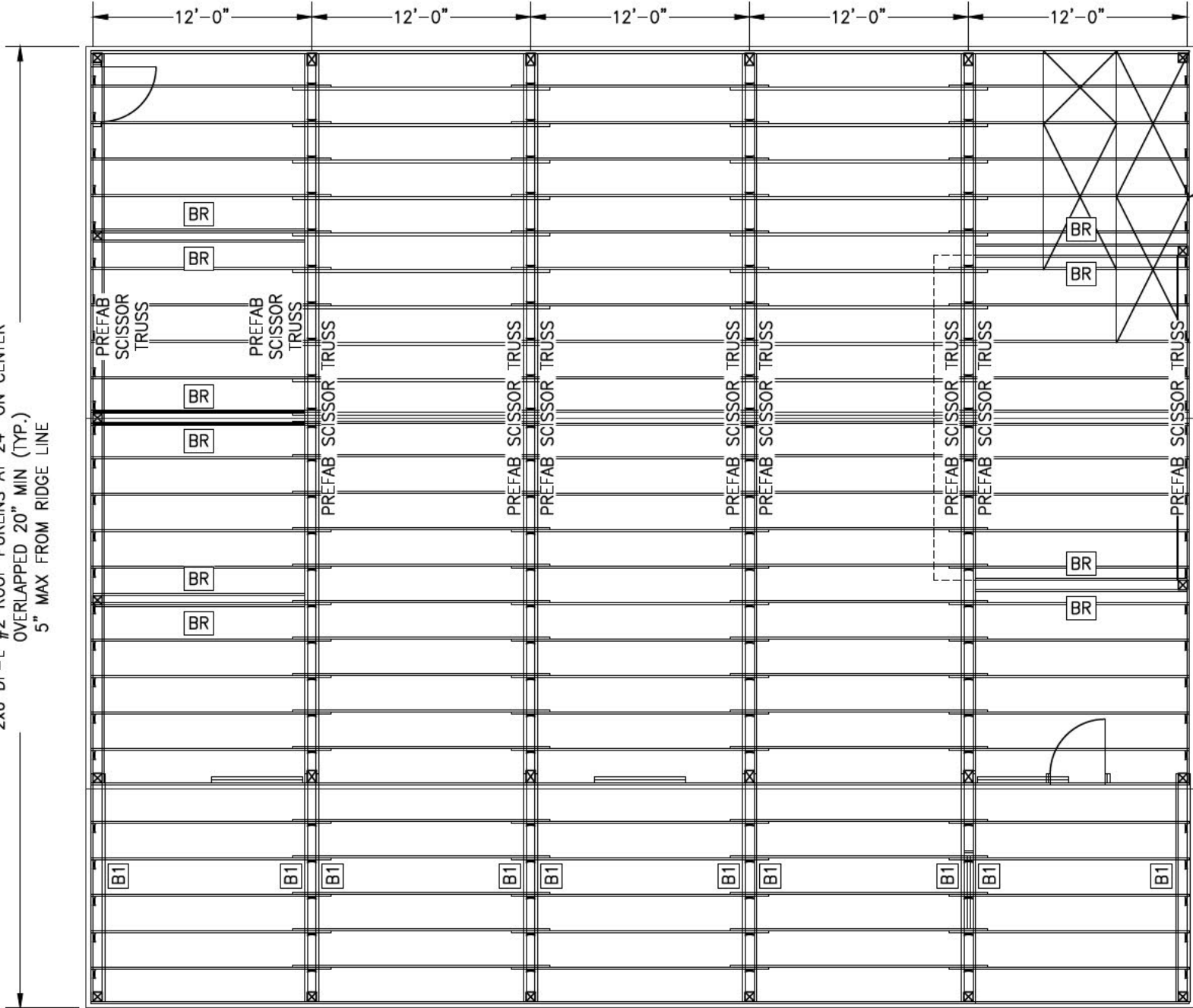
SHEET  
02



- NOTES:
1. 6x6 DF: 6x6 DF-L #2 TREATED POST.
  2. 6x8 DF: 6x8 DF-L #2 TREATED POST.
  3. EMBED POST INTO CONCRETE PIER. SEE DETAIL ON SHEET 08.
  4. ROOF:
    - 4.1. 29 GA STEEL PANEL
    - 4.2. 7/16" WOOD SHEATHING
  5. WALLS:
    - 5.1. STANDARD GIRTS
    - 5.2. 29 GA STEEL PANEL
  6. WOOD SHEATHING: APA RATED EXPOSURE 1 PLYWOOD OR OSB.
    - 6.1. NAILING: 8d @ 6" O.C. EDGE, 12" O.C. FIELD, U.N.O.
    - 6.2. STAPLING: 16 GA, 1" MIN PENETRATION, 6" O.C. EDGE, 6" O.C. FIELD, U.N.O.
    - 6.3. END JOINTS STAGGERED 4' O.C. 1/8" GAP AT ALL PANEL EDGES.

NORTH

2x6 DF-L #2 ROOF PURLINS AT 24" ON CENTER  
OVERLAPPED 20" MIN (TYP.)  
5" MAX FROM RIDGE LINE



EAST

WEST

SOUTH

BR 2x6 DIAGONAL BRACE

BEAMS:  
B1: 1-3/4"x9-1/4" LVL

- NOTES:
1. TRUSSES WILL BE DEFERRED PER IBC 107.3.4.1 AND WILL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF UTAH.
  2. PROVIDE TRUSS BOTTOM CHORD BRACING PER TRUSS MANUFACTURER'S SPECIFICATIONS.



ENGINEER STAMP

ROOF PLAN

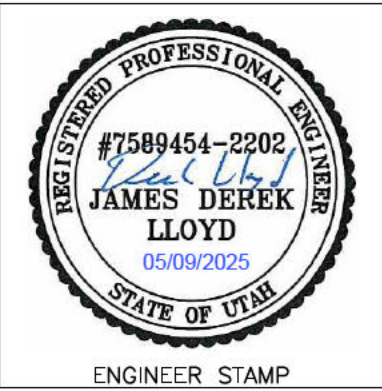
TAVIN ROSE BUILDING  
FARR WEST, UTAH

PROJECT  
NS207

SCALE  
1/8" = 1'-0"

DATE  
05/09/2025

SHEET  
03



ELEVATIONS

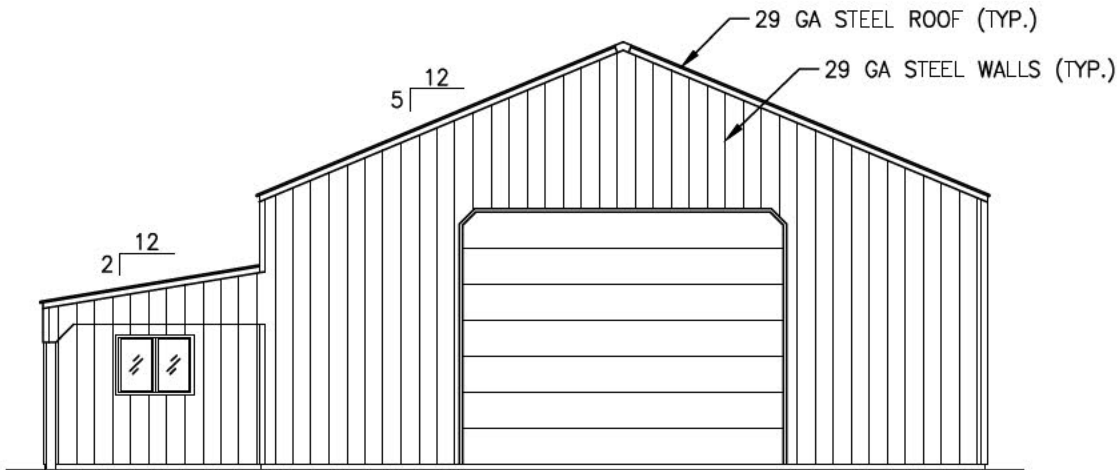
TAVIN ROSE BUILDING  
FARR WEST, UTAH

PROJECT  
NS207

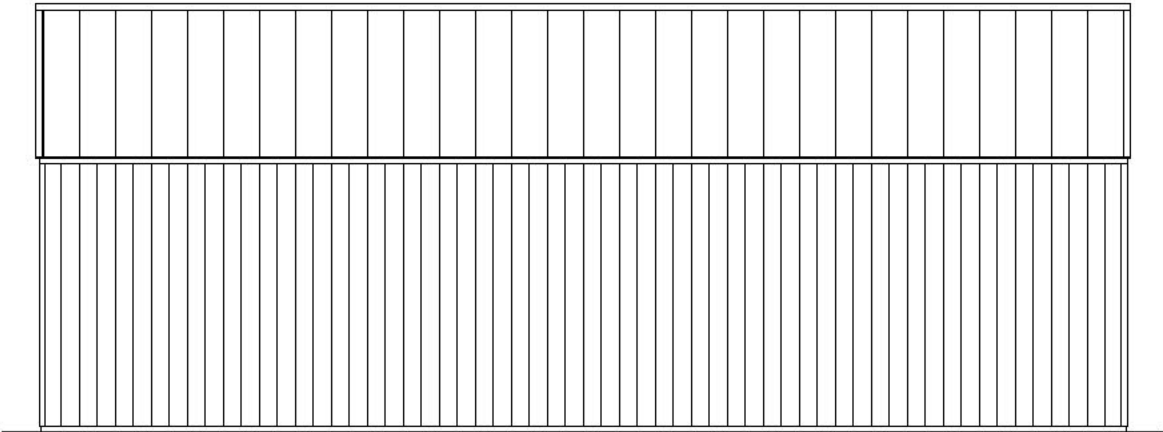
SCALE  
3/32" = 1'-0"

DATE  
05/09/2025

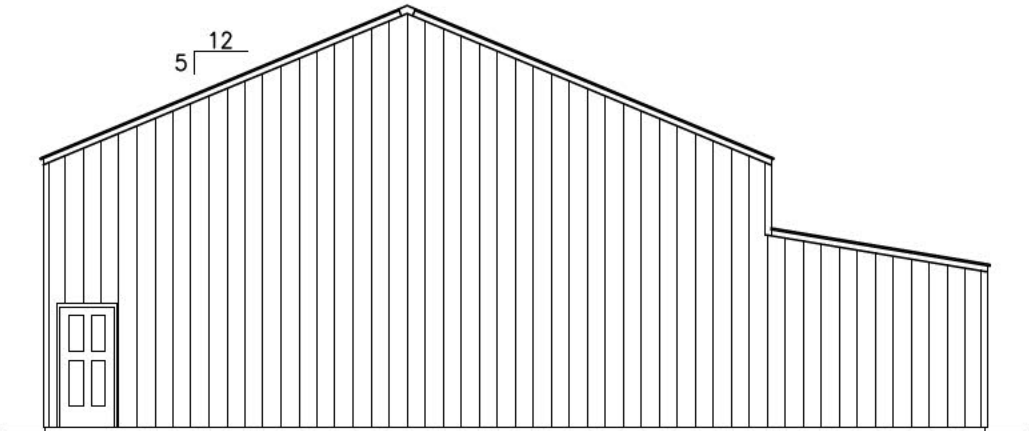
SHEET  
04



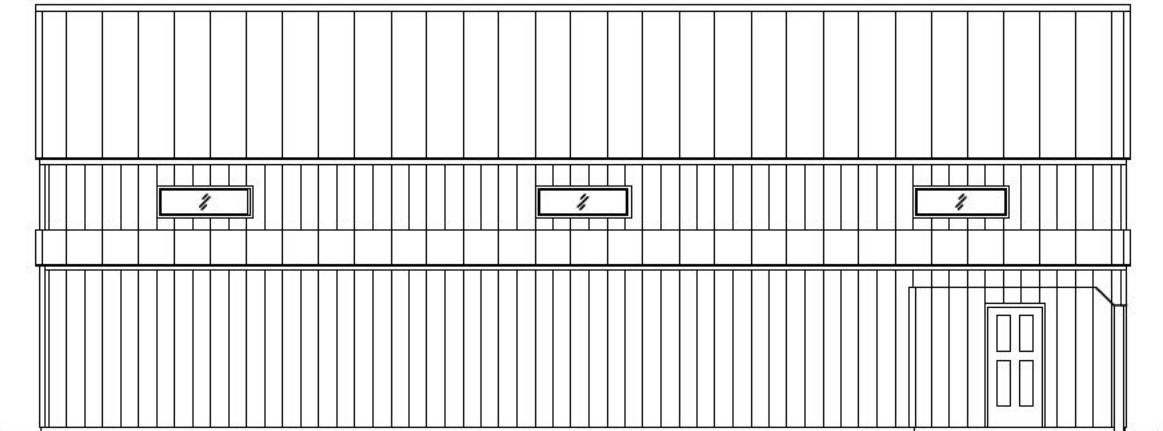
GABLE END ELEVATION - SOUTH



SIDE ELEVATION - EAST



GABLE END ELEVATION - NORTH



SIDE ELEVATION - WEST



# Application for Site Plan Approval



1896 North 1800 West  
Farr West, UT 84404  
Phone – (801)731-4187  
Fax – (801) 731-7732

Date Submitted: 5/7/2025

Applicant Name: Steven Petersen Applicant Address: [REDACTED]

Phone: [REDACTED]

Business Name: Petersen Properties Application Number: 25012

Business Address: 1527 N 2000 W, Ogden, UT 84404 Phone: 801 732-2000

Address and description of site being considered: We are adding on to an existing building to expand Petersen Inc. manufacturing capabilities.

Tax ID number of site being considered: 15-005-0082

Current zoning of site: M1

## FEE SCHEDULE

**Application: \$100.00 Engineering Deposit: \$1,000.00**

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- ☐ All proposed new development except single-family detached residences.
- ☐ All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- ☐ Issuance of a conditional use permit for new construction.
- ☐ New signs
- ☐ Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- ☐ All plans for earth sheltered dwellings.

**The following information is required for site plan approval (check box next to all items submitted with application):**

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- ☐ A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, and in an electronic PDF format.
- ☐ Lot dimensions and orientations: North arrow, etc.
- ☐ Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- ☐ Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- ☐ Indication of proposed use of buildings.
- ☐ All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- ☐ Height of all existing and proposed walls and fences and type of construction.
- ☐ Location and type of landscaping.
- ☐ All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- ☐ All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- ☐ Location, type, lighting and size of proposed and existing signs.
- ☐ Location, type and size of proposed and existing light poles.
- ☐ A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- ☐ One copy of a current county ownership plat showing the property and adjacent properties.
- ☐ Approval letter from Weber Fire District (801-782-3580).
- ☐ Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

**Answer the following questions as applicable:** (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? Expanding manufacturing of Petersen Inc. by adding on additional building space to existing building as shown on the site plan

2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

Existing conditions will not change as we are just adding on to the current building.

**Signature of Applicant:**

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. **All** property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.

Steven Peterson

Owner Signature

Steven Peterson

Print Name

Owner Signature

Print Name

I/We authorize JEFFREY LOWE <sup>(HCGS)</sup> to act as my/our agent in all matters relating to this application.  
(Print name)

Steven Peterson

Owner Signature

Steven Peterson

Print Name

Owner Signature

Print Name

Authorized Agent Signature

Signature of City Recorder/Clerk  
(Not Required if Notarized)

State of Utah )

§

Count of Wabers )

On this 7 day of May, in the year 2025, before me Lee B Rasmussen,  
a notary public, personally appeared Steven Peterson, proved  
on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,  
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



Lee B Rasmussen

NOTARY PUBLIC



E  
A  
L

State of Utah )

§

County of Weber )

On this 7<sup>th</sup> day of May, in the year 2025, before me Lee B Rasmussen, a notary public, personally appeared Steven Petersen, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



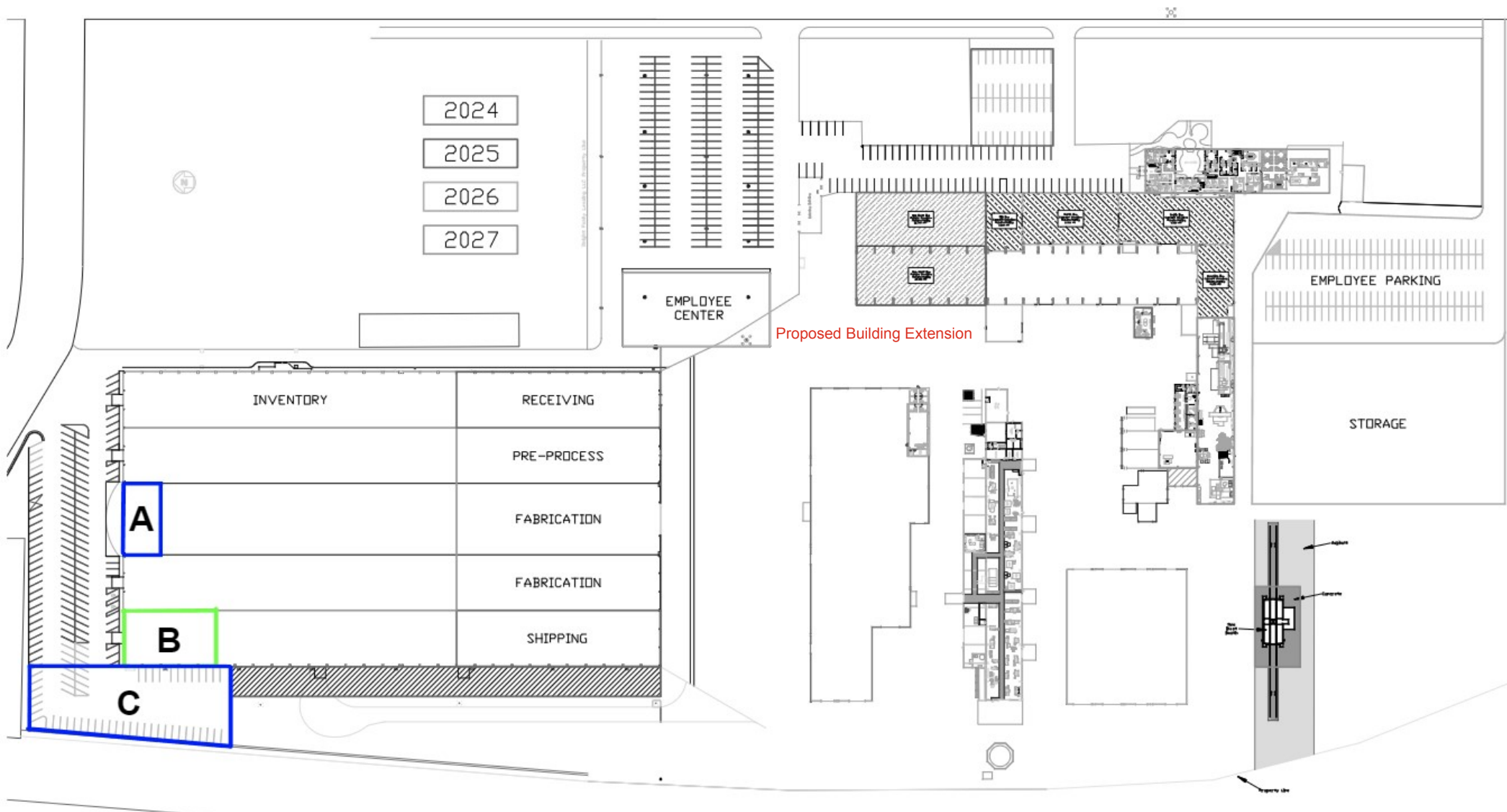
Lee B Rasmussen

NOTARY PUBLIC

S  
E  
A  
L

**For City Use:**

Fee received by: <u>McKinzie</u>	Date received: <u>5/07/2025</u>
Receipt number: <u>9.000003008</u>	Cash/Check (circle one) <u>Credit</u>
Date site plan received: <u>May 8, 2025</u>	Received by: <u>Wdsdy</u>
Date met with city engineer: _____	Signed: _____
Date engineer approved plan: _____	Signed: _____
Date planning commission approved: _____	
Date city council approved (conditional use permit only): _____	





NORTH

APPROX LOCATION  
AT FACILITY

Google Earth

REV: 42122

DO NOT SCALE DRAWING

**ASE ENGINEERING**  
ENGINEERING - DESIGN - ANALYSIS  
[www.ase-engr.com](http://www.ase-engr.com)

Petersen-Soukos ANCHOR-A-400

SHEET 2 OF 11