

SOUTH SALT LAKE

PLANNING COMMISSION STAFF REPORT

MEETING DATE: June 5, 2025
PROJECT NUMBER: C25-00001
REQUEST: An application for a Conditional Use Permit, to operate and expand an Auto Dealership, located at 2855 South State Street.
ADDRESS: 2855 S State Street
PARCEL NUMBER: 16-30-107-005-0000, 16-30-107-006-0000, 16-30-107-007-0000, 16-30-107-008-0000, 16-30-107-009-0000, 16-30-107-010-0000, and 16-30-154-001-0000.
PROPERTY OWNER: PLAYA INVESTMENTS, LLC
APPLICANT: Jason Olsen, represented by James Copeland
TYPE OF APPLICATION: Administrative – Conditional Use Permit

SYNOPSIS:

On January 03, 2025, James Copeland applied for a Conditional Use Permit ("CUP") on behalf of Prestman Auto to operate and expand the existing Prestman Auto Dealership facility located at 2865 S State Street.

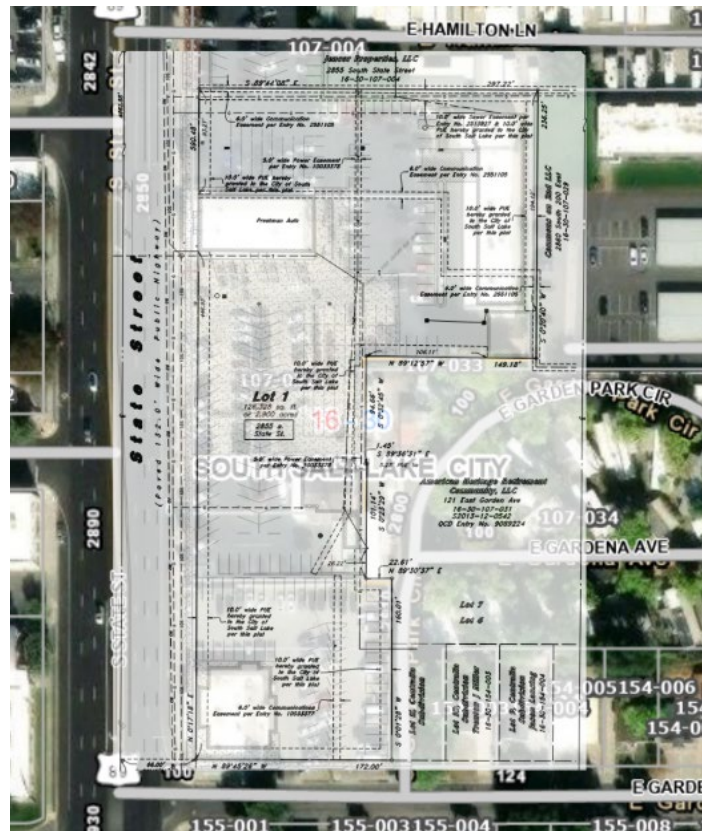
The CUP is required as part of expansion of the site which is being done via plat. Prestman Auto is the existing dealership at this location. At this time, the only change is an expansion of the parking lot.

The CUP is part of a two-application process. The other application they have submitted is the Plat Application to consolidate seven (7) parcels into one Lot.

The Planning Commission is the land use authority over all Conditional Use Permits.

STAFF RECOMMENDATION:

Staff recommend the Planning Commission approve a Conditional Use Permit, to operate an Auto Dealership, located at 2855 South State Street. Staff's recommendation is based upon its analysis and findings included below.

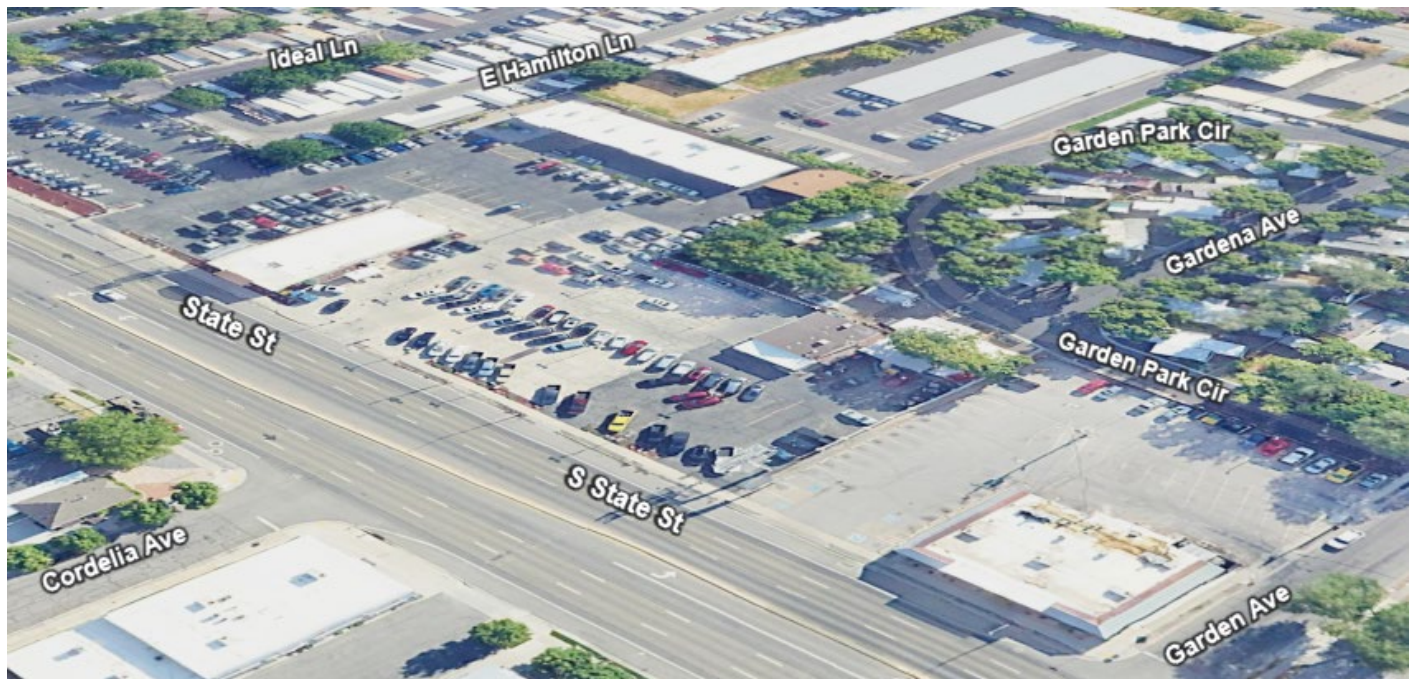


EXISTING ZONING	EXISTING LAND USE	SURROUND ZONING	SITE IMPROVEMENTS	SIZE OF PROPERTY
Commercial Corridor	Auto Dealership and Vacant	North – Commercial Corridor South – Commercial Corridor East – R-1 West – Commercial Corridor	Expansion of Auto Dealership	2.9 acres

Location:	2865 South State Street
Proposed Project Size:	2.9 Acres
Surrounding Land Use Districts:	North – Commercial Corridor South – Commercial Corridor East – R-1 West – Commercial Corridor

Figures 2 – 4: Existing Site Conditions

The following images, taken from Google Earth, show the site's existing conditions:



Aerial view looking northeastward



Looking southeastward from State Street



Looking northeastward from State Street

Figure 5: Proposed Preliminary Plat

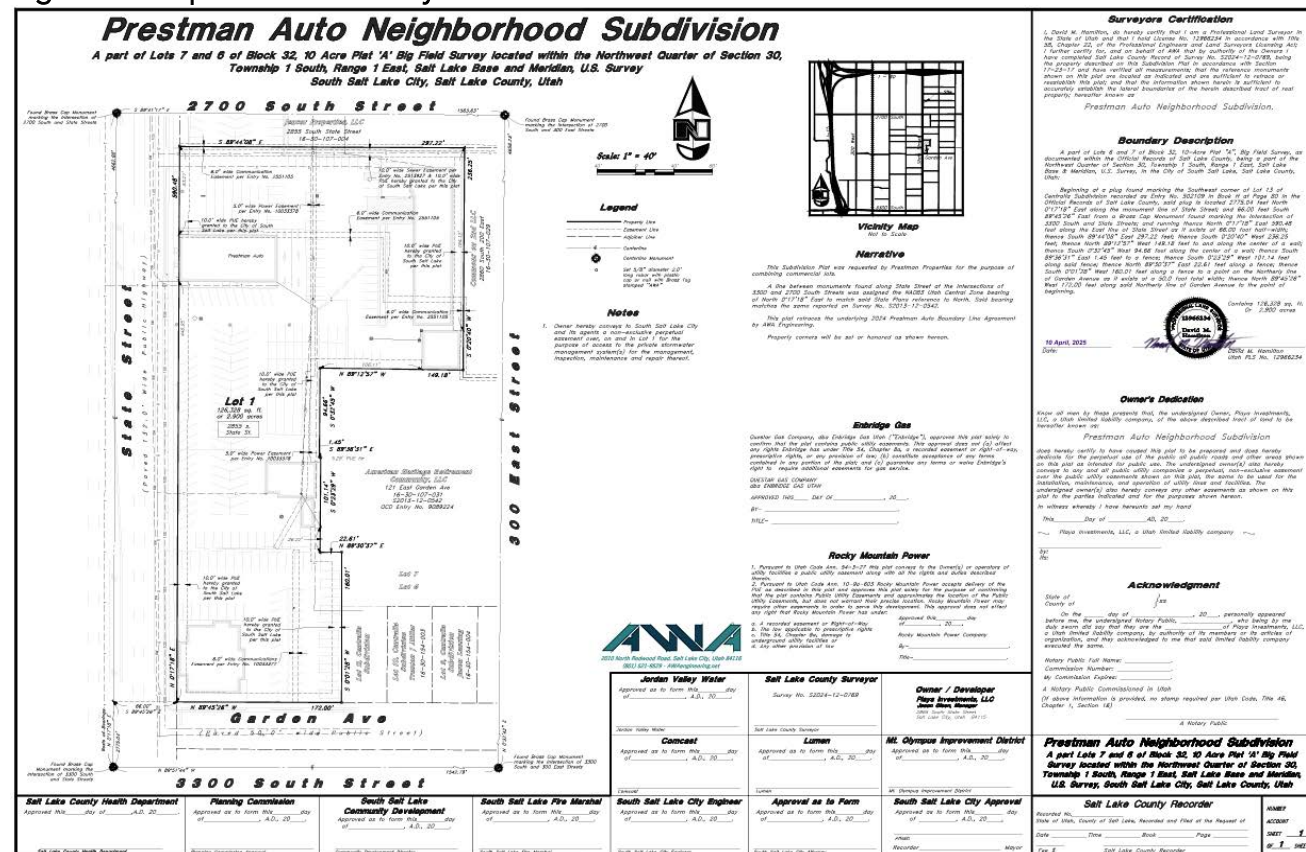
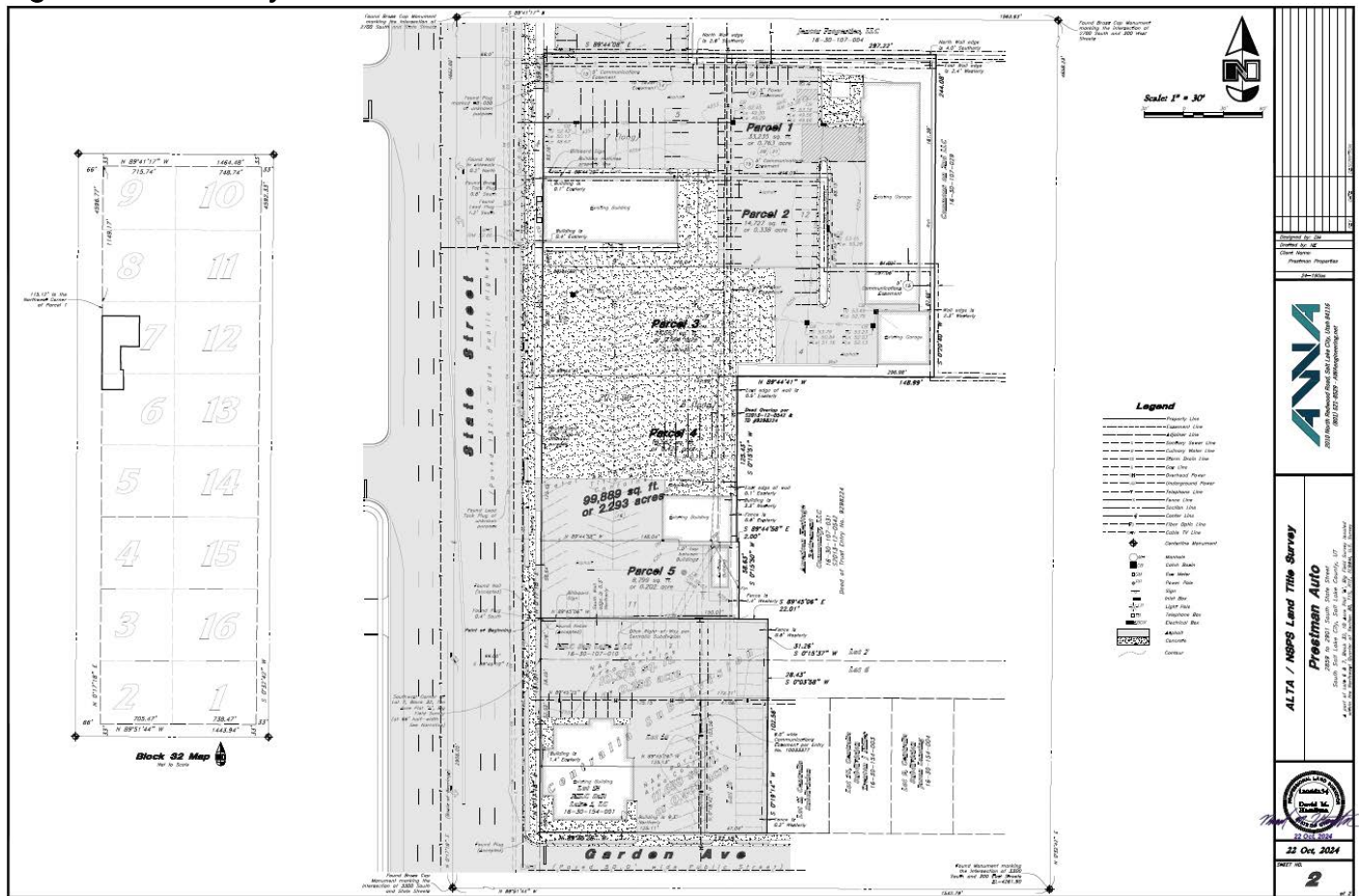


Figure 6: Site Plan¹



¹ The Site Plan is conceptual and subject to technical review.

Figure 7: Alta Survey



PLANNING COMMISSION AUTHORITY:

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

- A. **Planning Commission.** The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering or amending a Subdivision Plat; **Conditional Use Permit Applications**; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

CONDITIONAL USE REVIEW STANDARD:

Utah Code Ann. § 10-9a-507(2) sets forth the following standard of review for conditional uses by stating:

- (a)
 - (i) A land use authority shall approve a conditional use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.
 - (ii) The requirement described in Subsection (2)(a)(i) to reasonably mitigate anticipated detrimental effects of the proposed conditional use does not require elimination of the detrimental effects.

- (b) If a land use authority proposes reasonable conditions on a proposed conditional use, the land use authority shall ensure that the conditions are stated on the record and reasonably relate to mitigating the anticipated detrimental effects of the proposed use.
- (c) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the land use authority may deny the conditional use.

South Salt Lake Municipal Code §17.05 sets forth the following standard for review for conditional uses by stating:

- A. A person seeking approval of a Conditional Use must file a Complete Application, using the forms established by the Community Development Department, and include payment of all fees. For any Application to construct a Building or other improvement to property for a Use that is defined by this Code as allowed in the zoning district in which the Building is proposed, the Community Development Department and the City Engineer must review the Application to determine whether the proposal:
 - a. Is allowed within the district where it is proposed;
 - b. Is proposed for Development on a legally subdivided Lot;
 - c. Can be adequately serviced by Dedicated roads, improved to City Standards and existing or proposed utility systems or lines;
 - d. Complies with all applicable Development requirements of that district, including Building Height, Setbacks, and Lot Coverage;
 - e. Meets the applicable Development Standards requirements;
 - f. Conforms to the Design Guidelines and the design review process established for that district;
 - g. Requires additional conditions of approval;
 - h. Complies with the Construction Codes; and
 - i. Pertains to land for which all tax assessments have been paid
- B. The Community Development Department staff shall notify the Applicant of any specific deficiencies in the proposal.
- C. No permit or license issued shall be valid if any of the criteria listed in this Section have not been met.
- D. The land use authority is the Planning Commission for Conditional Use Applications.

GENERAL PLAN CONSIDERATIONS:

Economic Development Vision Statement: South Salt Lake is a community of opportunity for a variety of businesses with diverse ownership serving a diverse community. Quality of life in South Salt Lake is enhanced through sustainable businesses in a sustainable community. South Salt Lake encourages and supports businesses by helping them form, expand, and thrive in our community. We build on past success for our future.

Analysis: The Economic Development Vision Statement calls out encouraging and supporting businesses to expand and thrive in the community. With Prestman Auto being one of the major tax bases of the City, The CUP approval would allow a long-existing, sustainable business, to expand its operations in order to comply with the manufacturer requirements, and continue to thrive in the City.

ORDINANCE ANALYSIS:

Ordinance	Finding	Condition of Approval
Title 17 – Land Use and Development		
17.05.020 – General Conditional Use Standards		
1. The size and location of the site.	The existing Pat's BBQ site is approximately 0.64 acres, while the overall site to be combined with the proposed subdivision plat is 2.90 acres. The CUP would cover the change in use for the former Pat's BBQ site from a restaurant/food use to car dealership inventory parking. The site address is 2865 South State Street, South Salt Lake City, UT 84115.	
2. Traffic generation, timing, and nature of traffic impacts and the existing condition and capacity of the Streets in the area.	Trip generation is anticipated to decrease as a result of this project, since the restaurant use will be replaced with inventory parking. No traffic/roadway impacts are anticipated as a result.	
3. Utility demand and available capacity, including storm water retention.	No new utility demands are anticipated. Existing utility laterals to the former Pat's BBQ building will be capped/plugged according to the utility company requirements. No storm water retention is proposed. The site, as redeveloped, will have a lower runoff coefficient than what exists and more landscaping is proposed than shown with the former Pat's BBQ. Therefore, the project will have lower runoff rates than the existing developed condition.	
4. Emergency vehicle access and anticipated average and peak day demand.	The proposed site plan shows a total of 61 newly striped inventory parking stalls on the former Pat's BBQ property. The site plan also includes the removal of 11 inventory-parking stalls on the existing Prestman Auto property just north of Pat's BBQ, which will be restriped per the site plan to be 8 new stalls. The total change in inventory parking is an additional 58 stalls.	
5. Location and amount of off-Street parking.	The site plan shows the proposed drive aisles for the inventory parking.	

	No loading/unloading areas are included in the site plan.	
6. Internal vehicular and pedestrian circulation system, including delivery vehicles, loading and unloading.	The site plan shows the proposed drive aisles for the inventory parking. No loading/unloading areas are included in the site plan.	
7. Fencing, Screening, and Landscaping to separate the Conditional Use from adjoining property and Uses.	A newly constructed post and panel wall will be constructed along the eastern boundary line of the Pat's BBQ lot to provide screening from the adjacent residential property. Landscape buffers are shown per City requirements along the west/south/east property lines, including street frontages	Landscaping for the new expansion area will be installed immediately. As for the existing dealership area, landscaping will be added when the repaving of the lot is due and building permit submitted.
8. Building mass, bulk, design, and orientation, and the location of Buildings on the site including orientation to Buildings on adjoining Lots or Parcels.	No new buildings are proposed.	
9. Usable open space.	The proposed site plan shows the proposed landscaped areas, but no other open space is required/provided.	
10. Signs and lighting.	No new signage is proposed, although the existing Pat's BBQ sign along State Street will be repurposed and reimaged for the dealership's use. Parking lot light poles are shown on the site plan. And a photometric plan is attached.	A sign permit will be required for any new signage. The sign shall comply with Section 8 of Title 17.
11. Physical design and Compatibility with surrounding structures in terms of mass, Scale, style, design, and architectural detailing.	N/A as no new buildings or architectural features are proposed.	The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit.
12. Noise, vibration, odors, steam, or other factors that might adversely affect people and property off-site.	N/A for the inventory parking use.	. The Salt Lake County Health Department noise regulation will be enforced. There will be no loud noise between the hours of 10pm and 7am.
13. Control of delivery and service vehicles, loading and unloading zones.	N/A – no loading zones proposed	No loading or unloading of cars can

		take place in the Right of Way.
14. Generation and Screening of waste.	N/A, no new waste generation proposed (existing Prestman Auto trash receptacle areas and screening will be utilized)	The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit.
15. Recycling program and pickup areas.	N/A	
16. The potential adverse impacts arising from the conduct of patrons, guests, employees, occupants, or their affiliates.	N/A due to proposed inventory parking use	
17. The impacts of the Use on public property and environmentally sensitive lands.	N/A, no changes proposed within public ROW. The site does not encompass any environmentally sensitive lands.	
18. Hours of operation, delivery, and activity.	Hours of operation: M-F 9 AM to 7 PM Sat: 10 AM to 5 PM Sun: Closed Activities consist of car dealership operations (within business hours)	
19. Special hazards arising from the Use or from its reasonably anticipated secondary effects, including its potential to attract criminal behavior.	N/A	
20. Demand for public infrastructure or services.	N/A due to inventory parking use	
17.05.40 – Conditional Uses with Specific Standards		
1. 1. Landscaping shall be required along any Street Frontage and shall be subject to the Development Standards of Chapter 17.06 of this Code.	The revised site plan shows the proposed landscape buffer areas along the street frontages, through coordination with the City.	
2. Building must meet the minimum setback requirements of their respective districts.	No additional buildings are proposed.	
3. Designated customer parking must be provided at a ratio of one (1) space for every twenty (20) vehicles displayed, with a maximum of fifteen (15) spaces required. A minimum of three employee Parking Stalls must be provided. Off-Street customer and employee Parking Stalls must be identified.	No additional customer or employee parking is proposed. The expansion area is for inventory parking only.	Site Plan needs to indicate the location and number of customer parking provided for the development for the Final Plat approval.

4. All Buildings other than sales offices only must provide additional designated Parking Stalls at a ratio of one (1) space per five hundred (500) square feet of floor space.	No additional buildings are proposed.	Site Plan needs to indicate the location and number of designated parking stalls at the required ratio. This is to prevent parking overflowing into State Street.
5. All businesses adjacent to residential districts shall require design review approval from the Planning Commission.	N/A No additional buildings are proposed.	
6. Where any business is adjacent to a Residential Use, a Buffer between the Residential Use and the business shall be required. Walls, Landscaping, special Setbacks, other elements, or a combination of these items must be used, as appropriate, to mitigate the impact upon the adjacent Residential Use. The City shall consider the visual appearance of the site, the traffic flows, noise, light and the size and purpose of adjacent Streets or Alleys, the extent of the business operations, and other factors in determining the Buffer sufficiency.	The plans show a landscape buffer along the eastern boundary line, including a proposed post and panel wall for screening.	
7. Outside loudspeakers, lighting which intrudes into adjacent properties, deliveries before 7:00 a.m. or after 10:00 p.m., the use of Public Streets for loading and unloading, repair work outside of a Building, and any other public nuisance conduct shall be prohibited.	Noted. No loudspeakers are proposed. No other public nuisances are anticipated.	Photometric plan must meet the Parking Area lighting standard as described in SSLC Municipal Code 17.06.140.C. The solid screening along the property that is against residential properties need to be 8' tall.
8. For the purposes of maintaining safe access and to promote uncluttered and attractive displays, all outdoor Auto, Light Truck, RV, Boat, and Trailer displays must be done in a manner consistent with Parking Lot requirements and such that all individual units can be relocated without the necessity of first relocating others.	The development will comply.	All double stacked stalls will need to be removed.
9. All Auto, Light Trucks, RVs, Boats, and Trailers displayed shall meet all requirements of law at all times, shall be in operating condition, shall not have flat tires or broken	The development will comply.	All on-site vehicles must be operable at all times.

windows, and shall be capable of being licensed and registered without additional repair or alteration.		
10. The minimum outdoor display lot area, not including any Buildings, for any Auto, Light Truck, RV, Boat, Trailer Dealerships (Sale, Lease, or Rent) Use shall be one (1) acre. The one (1) acre of required display lot area shall be located in the front and side yard areas. Lot area behind a Building shall not be counted as required display lot area. All vehicle display areas shall be Hard-Surfaced as established in the City's parking, access, and circulation requirements. When a Development is larger than one (1) acre and contains more than (1) business, an Auto, Light Truck, RV, Boat, Trailer Dealerships (Sale, Lease, or Rent) Use may be located within that Development if all requirements of this Title are met, including: a. Parking requirements; b. Site and Landscaping requirements; c. Ingress and egress points are provided for the other businesses; and d. The devoted outdoor display lot area is a minimum of one (1) acre in area.	This project does not propose any new buildings. The expansion is for inventory parking only.	
11. The minimum Lot Frontage shall be two hundred (200) feet in width. The Frontage of Corner Lots shall be determined by the Street on which the property is addressed.	A proposed subdivision plat has been submitted to consolidate the parcels into a single lot, which will comply with this requirement.	
17.06.160 – Parking Stall Requirements		
1. Title 17 requires 1 stall for every 20 vehicles displayed with a maximum of 15 stalls. A minimum of three employee Parking Stalls provided. Off-Street customer and employee Parking Stalls shall be identified.		The applicant must indicate on the site plan the needed stalls as required in Title 17.

STAFF RECOMMENDATION:

Staff recommend the Planning Commission approve a Conditional Use Permit, to operate an Auto Dealership, located at 2855 South State Street. Staff's recommendation is based upon its analysis and findings included below.

Findings of Fact:

1. On January 03, 2025, James Copeland applied for a Conditional Use Permit ("CUP") on behalf of Prestman Auto to operate and expand the existing Prestman Auto Dealership facility located at 2865 S State Street.
2. The property is located at 2859 S, 2865 S, 2879 S, 2889 S, 2901 S, 2929 S, & 2929 S State Street in the Commercial Corridor District.
3. The parcel numbers are 16-30-107-005-0000, 16-30-107-006-0000, 16-30-107-007-0000, 16-30-107-008-0000, 16-30-107-009-0000, 16-30-107-010-0000, and 16-30-154-001-0000.
4. The property is currently used as an Auto Dealership.
5. There is concurrent application for a proposed Subdivision to create one commercial Lot.
6. The proposed address for the consolidated parcels is 2855 S. State Street.
7. The proposed Lot size is 2.9 acres (126,328 sq. ft.)
8. There is no environmentally sensitive land on site and no impact is expected on environmentally sensitive lands.
9. Auto Dealership is a Conditional Use in the Commercial Corridor District.
10. The proposed Subdivision will comply with all requirements of the South Salt Lake Municipal Code.
11. Staff reviewed this Subdivision application for compliance with South Salt Lake Municipal Code Sections 17.10.120, 17.10.130, 17.10.140, 17.10.150, 17.10.160, 17.10.170, 17.10.180, 17.10.190 and 17.10.200, and found that this subdivision application is compliant with this section, as outlined above.
12. The proposed business will have access along State Street and Garden Avenue.
13. The use of Public Streets for loading and unloading, repair work outside of a Building, and any other public nuisance conduct shall be prohibited.
14. Section 17.0.5.040.E. of the South Salt Lake Municipal Code regulates the Specific Standards for an Auto Dealership (Sale, Lease, or Rent).
15. The proposed business is required to have 1 stall for every 20 vehicles displayed with a maximum of 15 stalls. A minimum of three employee Parking Stalls provided. Off-Street customer and employee Parking Stalls shall be identified.
16. The business hours will be M-F 9 AM to 7 PM, Sat: 10 AM to 5 PM, and Sun: Closed Activities consist of car dealership operations (within business hours)
17. The lights will be mitigated by a solid 8' tall concrete fence. The fence will be installed along sides that abuts residential use.

18. No impact is expected as part of the business to environmentally sensitive lands. There are no environmentally sensitive lands on site.
19. No specific hazards or adverse impacts are expected due to the proposed use.
20. All utilities are currently on-site and there is no proposed at this time to upgrade the existing utilities.

Conclusions of Law:

1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the Commercial Corridor.
3. The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of the city.

Conditions of Approval:

1. The applicant shall comply with all of the conditions of approval below and within the Conditional Use Permit prior to the release of a South Salt Lake building permit
2. The Auto Dealership shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering Department;
3. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit.
4. The applicant shall comply with all federal, state, and local laws, including the development standards.
5. The applicant shall maintain 1 stall for every 20 vehicles displayed with a maximum of 15 stalls. A minimum of three (3) employee Parking Stalls provided.
6. The applicant shall maintain the 8-foot fencing where the dealership is expanding;
7. The applicant shall maintain the landscape buffers where the dealership is expanding;
8. Any new expansion or realignment of the parking lot, shall require the business to meet the landscaping and fencing standards at the time;
9. The applicant shall remove any trash and solid waste that builds up on the property;
10. The applicant shall not use the panic button to find cars on the lot;

11. Outside speakers, lighting, deliveries, and other maintenance such as emptying of waste containers shall not occur before 7:00AM or after 10:00PM. There may be a security light left on after 10:00PM for CPTED purposes;
12. Any expansion or new construction to the building or site in the future would require a design review approval from the Planning Commission;
13. Double stacking of cars in the display lot is prohibited;
14. All cars on the lot shall meet all requirements of the law at all times, shall be in operating condition, shall not have flat tires or broken windows, and shall be capable of being licensed and registered without additional repair or alteration;
15. The display lot as outlined in the site plan may not be reduced;
16. No loading or unloading of cars can take place in the Right of Way;
17. All non-conforming curb cuts will need to be closed off. The curb cut on Garden Ave shall be at least 100 feet from State Street. All curb cuts on the same roadway may have one (1) additional drive approach every one hundred (100) feet. Drive approaches shall not be greater than thirty (30) feet in width, as measured from the flares on each approach.
18. The maximum illumination, when measured at the Property Line at a height of five feet and facing the light fixture(s), shall be no greater than 0.5 foot-candles; and
19. All items of the staff report.

PLANNING COMMISSION OPTIONS:

Option 1: Approval

Move to approve the application submitted for a Conditional Use Permit, C25-00001, to expand the existing Auto Dealership, located at 2855 South State Street, based on the Findings of Fact, Conclusions of Law, and Conditions of Approval as outlined in the staff report and enumerated on the record.

Option 2: Denial

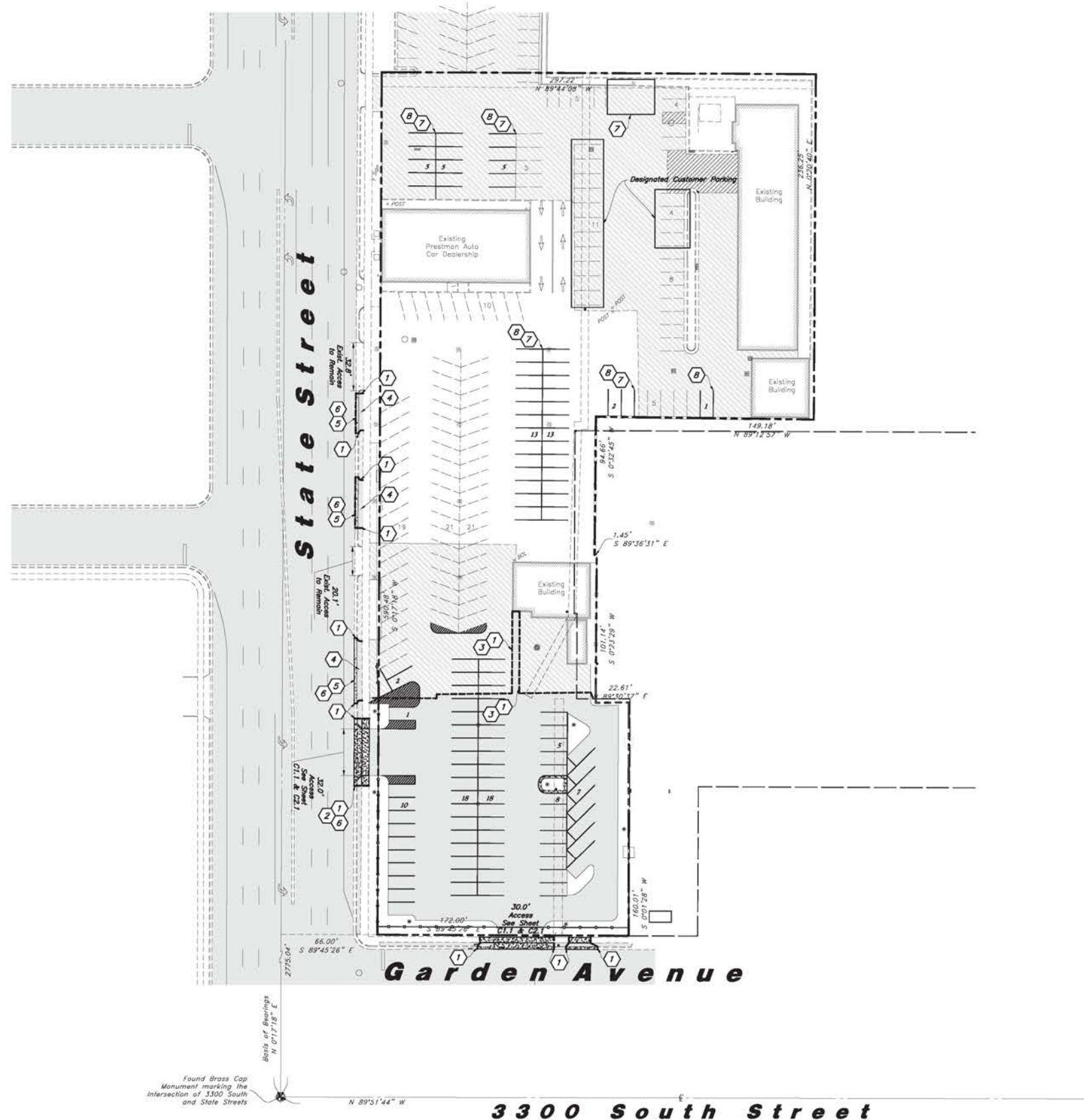
Move to deny the application submitted for a Conditional Use Permit, C25-00001; to expand the existing Auto Dealership, located 2855 South State Street, based on the reasoning set forth in the record.

Option 3: Continuance

Move to table the decision on the application submitted for a Conditional Use Permit, C25-00001; to expand the existing Auto Dealership, located 2855 South State Street to a date certain to allow the Applicant and Staff time to respond to specific inquiries or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

Attachments:

1. Proposed Site Plan
2. Conditional Use Permit: C25-00001



Scale: 1" = 30'



Paving Legend:

- Proposed Concrete Paving/Sidewalk
- Proposed Onsite Standard Duty Asphalt Paving
- Existing Concrete
- Existing Asphalt Paving
- Property Line
- Right-of-Way Dedication

Site Data:

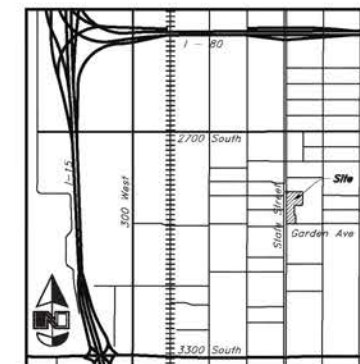
Side Yard Setback = 8'
Front Yard Setback = 10'

Landscape Data

Site Area = 126,328 (2.90 a.c.)
Total Landscape Area = 12,312 (9.8%)
Existing Landscape Area = 6,969 s.f.
New Landscape Area = 5,343 s.f.

Parking Information

Additional Proposed Parking = 69 stalls
Customer Parking = 15 stalls



Vicinity Map
Not to Scale

Site Plan Keynotes:

- Conn. & Match Existing Improvements
- Reconstruct Existing Access. Contractor to Match Exist. Improvements. Refer to UDOT Standard Drawing No. GW-3A
- Const. Onsite Asphalt Paving to (Match Existing Section or 3/8", Whichever is Greater)
- Const. Asphalt Park Strip (Match Existing)
- Const. New UDOT Curb & Gutter to Match Existing Curb & Gutter
- Remove Exist. Drive Approach Per UDOT Requirements
- Remove Ex. Striping
- Const. 4" White Paint Stripe (Typ.), 2 Coats

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.



Overall Site Plan

Prestman Auto Parking Expansion

State Street & Garden Avenue,
Salt Lake City, UT - 84115



11 Apr, 2025

SHEET NO.

C1.0



WHEN RECORDED PLEASE RETURN TO:

**SOUTH SALT LAKE CITY
220 E. MORRIS AVE SUITE 200
SOUTH SALT LAKE CITY, UT 84115**

CONDITIONAL USE PERMIT

Location: 2855 S State Street

Use: Auto Dealership

Zone: Commercial Corridor

APN: 16-30-107-005-0000, 16-30-107-006-0000, 16-30-107-007-0000, 16-30-107-008-0000, 16-30-107-009-0000, 16-30-107-010-0000, and 16-30-154-001-0000.

Fee Title Owner: PLAYA INVESTMENTS, LLC

File Number: C25-00001

Date: June 05, 2025

LEGAL DESCRIPTION

BEG 331 FT E & 297.33 FT N FR SW COR LOT 7, BLK 32, 10 AC PLAT "A", BIG FIELD SUR., W 81 FT; N 68 FT; W 216 FT; N 93.04 FT; E 297 FT; S 161.04 FT TO BEG. 0.76 AC. 5592-1122 9058-8764 9165-4019

BEG 18.02 RDS N & 2 RDS E FR SW COR LOT 7 BLK 32 10 AC PLAT A BIG FIELD SUR N 68 FT E 216 FT S 68 FT W 216 FT TO BEG 0.33 AC. 5605-2858 6247-2071 8318-8945 9058-8764 9165-4019

BEG 2 RDS E & 13.02 RDS N FR SW COR LOT 7, BLK 32, 10 AC PLAT "A", BIG FIELD SUR, N 5 RDS; E 18 RDS; S 5 RDS; W 18 RDS TO BEG. 0.56 AC M OR L. 5113-0784 5117-0800 9058-8764 9165-4019

BEG 789.03 FT N & 726 FT W FR SE COR OF LOT 6, BLK 32, TEN AC PLAT "A", BIG FIELD SUR, S 125.145 FT; E 148 FT; N 125.145 FT; W 148 FT TO BEG. LESS STREET. 0.39 AC. 5046-00595255-0446 8318-8946 9058-8764 9165-4019

COM 1.89 RDS N & 576 FT W FR SE COR LOT 7, BLK 32, 10 AC PLAT "A", BIG FIELD SUR, W 150 FT; N 58.5 FT; E 150 FT; S 58.5 FT TO BEG. LESS STREET. 0.18 AC. 5448-0742 5625-0615 5625-0616 9058-8764 9165-4019

COM 1.89 RDS N & 2 RDS E FR NW COR LOT 6 BLK 32 10 AC PLAT ABIG FIELD SUR E 172 FT S 59.89 FT W 172 FT N 59.89 FT TO BEG 8460-7468 8600-0768 10272-3588

LOTS 12 13 & 14 BLK 2 CENTRALIA SUB 8490-6150 8460-7468 8600-0768 10272-3588

Permit Issued to: Prestman Auto
 2855 S State Street
 South Salt Lake City, UT 84115

Findings of Fact:

1. On January 03, 2025, James Copeland applied for a Conditional Use Permit ("CUP") on behalf of Prestman Auto to operate and expand the existing Prestman Auto Dealership facility located at 2865 S State Street.
2. The property is located at 2859 S, 2865 S, 2879 S, 2889 S, 2901 S, 2929 S, & 2929 S State Street in the Commercial Corridor District.
3. The parcel numbers are 16-30-107-005-0000, 16-30-107-006-0000, 16-30-107-007-0000, 16-30-107-008-0000, 16-30-107-009-0000, 16-30-107-010-0000, and 16-30-154-001-0000.
4. The property is currently used as an Auto Dealership.
5. There is concurrent application for a proposed Subdivision to create one commercial Lot.
6. The proposed address for the consolidated parcels is 2855 S. State Street.
7. The proposed Lot size is 2.9 acres (126,328 sq. ft.)
8. There is no environmentally sensitive land on site and no impact is expected on environmentally sensitive lands.
9. Auto Dealership is a Conditional Use in the Commercial Corridor District.
10. The proposed Subdivision will comply with all requirements of the South Salt Lake Municipal Code.
11. Staff reviewed this Subdivision application for compliance with South Salt Lake Municipal Code Sections 17.10.120, 17.10.130, 17.10.140, 17.10.150, 17.10.160, 17.10.170, 17.10.180, 17.10.190 and 17.10.200, and found that this subdivision application is compliant with this section, as outlined above.
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20. All utilities are currently on-site and there is no proposed at this time to upgrade the existing utilities.

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1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the Commercial Corridor.
3. The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of the city.

Conditions of Approval:

1. The applicant shall comply with all of the conditions of approval below and within the Conditional Use Permit prior to the release of a South Salt Lake building permit
2. The Auto Dealership shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering Department;
3. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit.
4. The applicant shall comply with all federal, state, and local laws, including the development standards.
5. The applicant shall maintain 1 stall for every 20 vehicles displayed with a maximum of 15 stalls. A minimum of three (3) employee Parking Stalls provided.

6. The applicant shall maintain the 8-foot fencing where the dealership is expanding;
7. The applicant shall maintain the landscape buffers where the dealership is expanding;
8. Any new expansion or realignment of the parking lot, shall require the business to meet the landscaping and fencing standards at the time;
9. The applicant shall remove any trash and solid waste that builds up on the property;
10. The applicant shall not use the panic button to find cars on the lot;
11. Outside speakers, lighting, deliveries, and other maintenance such as emptying of waste containers shall not occur before 7:00AM or after 10:00PM. There may be a security light left on after 10:00PM for CPTED purposes;
12. Any expansion or new construction to the building or site in the future would require a design review approval from the Planning Commission;
13. Double stacking of cars in the display lot is prohibited;
14. All cars on the lot shall meet all requirements of the law at all times, shall be in operating condition, shall not have flat tires or broken windows, and shall be capable of being licensed and registered without additional repair or alteration;
15. The display lot as outlined in the site plan may not be reduced;
16. No loading or unloading of cars can take place in the Right of Way;
17. All non-conforming curb cuts will need to be closed off. The curb cut on Garden Ave shall be at least 100 feet from State Street. All curb cuts on the same roadway may have one (1) additional drive approach every one hundred (100) feet. Drive approaches shall not be greater than thirty (30) feet in width, as measured from the flares on each approach.
18. The maximum illumination, when measured at the Property Line at a height of five feet and facing the light fixture(s), shall be no greater than 0.5 foot-candles; and
19. All items of the staff report.

Exhibits (available on file with South Salt Lake City Community Development Department):

EXHIBIT A: CUP Application
EXHIBIT B: Property Affidavit
EXHIBIT C: Site Plan
EXHIBIT D: Staff Report
EXHIBIT E: ALTA Survey

FOR SOUTH SALT LAKE CITY:

Planning Commission

Community Development

FOR THE APPLICANT:

Prestman Auto