



PLANNING COMMISSION STAFF REPORT

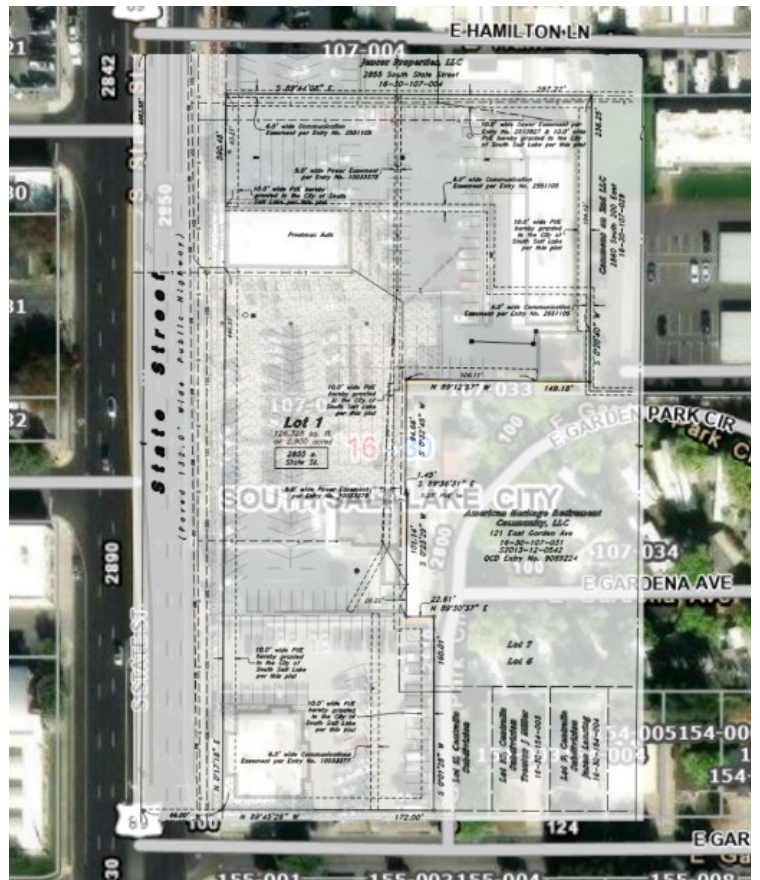
MEETING DATE:	June 5, 2025
PROJECT NUMBER:	S25-00001
REQUEST:	A petition to create a 2.9 acre (126,328 sq. ft.) one-Lot Subdivision from five metes-and-bounds parcels and Lots 12, 13, and 14, Block 2 of Centralia Subdivision to expand the operations at Prestman Auto.
ADDRESS:	2859 S, 2865 S, 2879 S, 2889 S, 2901 S, 2929 S, & 2929 S State Street
PARCEL NUMBERS:	16-30-107-005-0000, 16-30-107-006-0000, 16-30-107-007-0000, 16-30-107-008-0000, 16-30-107-009-0000, 16-30-107-010-0000, and 16-30-154-001-0000.
PROPERTY OWNER:	Playa Investments, LLC
APPLICANT:	Jason Olsen, represented by James Copeland
TYPE OF APPLICATION:	Administrative – Subdivision Plat

SYNOPSIS: Prestman Auto, an existing auto dealership located at 2865 S. State Street in the Commercial Corridor District, is experiencing increased business activity and requires additional space to accommodate expanded operations. In 2024, Prestman Auto purchased the property directly to the south, the former Pat's Barbecue site at 2929 S. State Street. This acquisition will allow the dealership to enlarge its sales lot, enhance on-site landscaping, and construct a concrete wall adjacent to the residential zone to the east. Before a Building Permit can be issued for these improvements, the combined property must be legally subdivided.

The proposed Prestman Auto Neighborhood Subdivision will contain 2.9 acres (126,328 sq. ft.), as shown below:

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve the Preliminary Subdivision Plat to create one lot at 2865 S State Street.



EXISTING ZONING	EXISTING USE	SURROUNDING LAND USE DISTRICTS	SIZE OF PROPERTY
Commercial Corridor	Auto Dealership	North: Commercial Corridor South: Commercial Corridor East: R1 – Single Family Residential West: Commercial Corridor	2.9 acres or 126,328 square feet

**iS SOUTH
SALT LAKE**
PLANNING COMMISSION STAFF REPORT

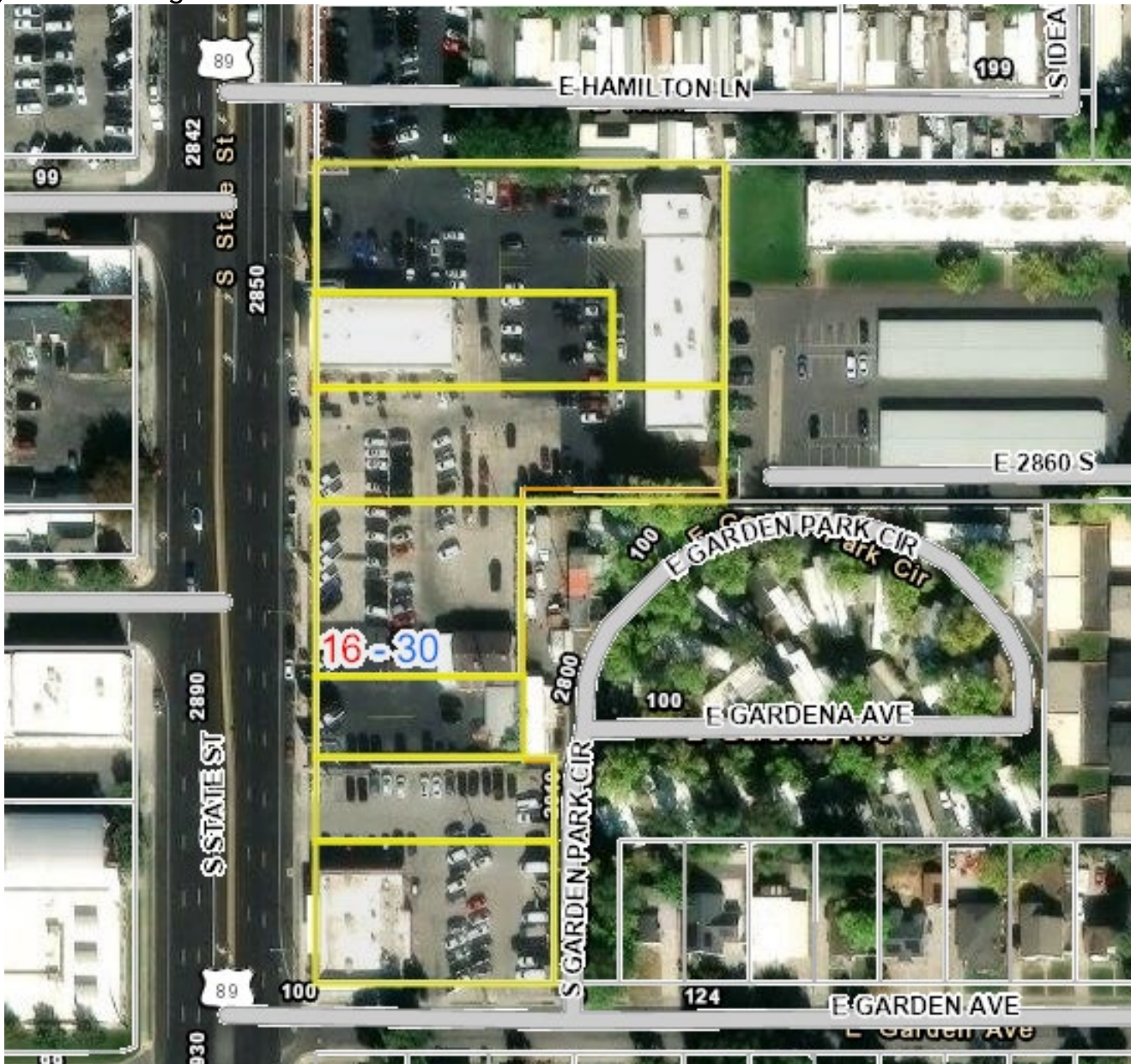
GENERAL INFORMATION

Location: 2865 South State Street

Parcel Size: 2.9 acres (126,328 sq. ft.)

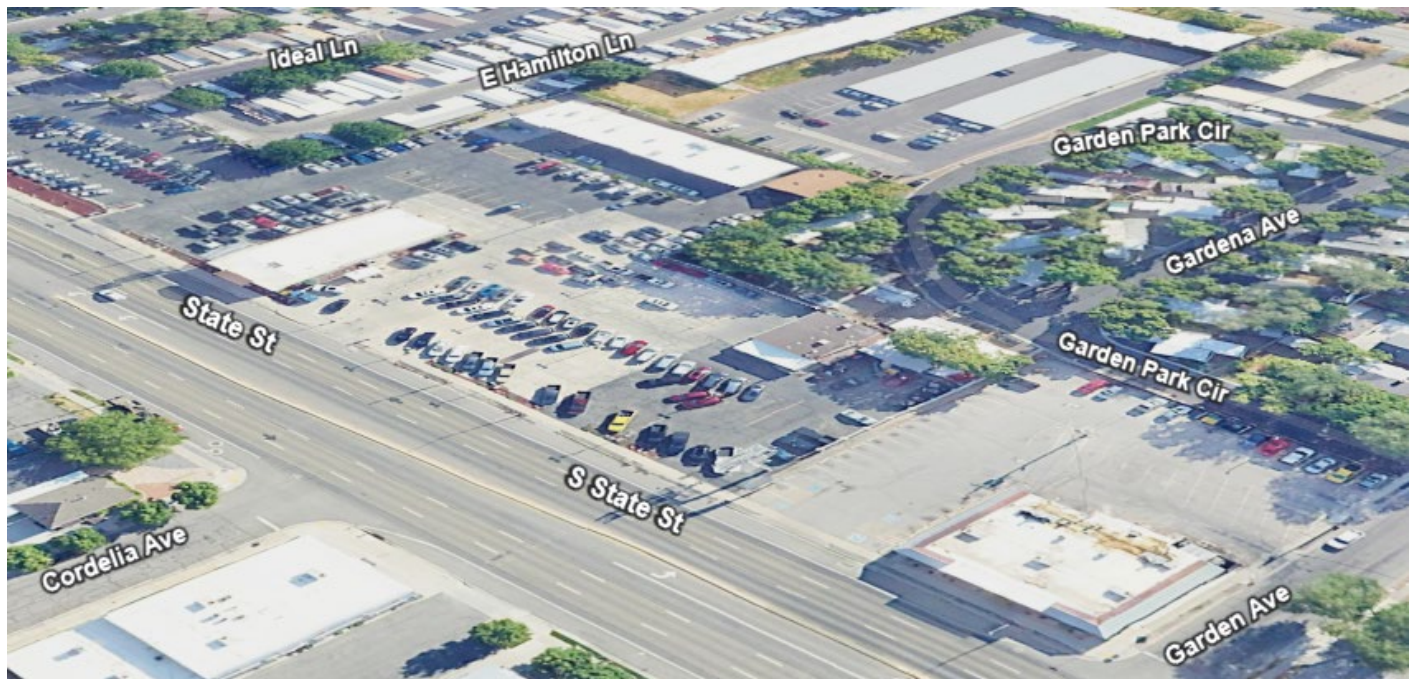
Surrounding Land Use Districts: North: Commercial Corridor
South: Commercial Corridor
East: R1 Single – Family Residential
West: Commercial Corridor

Figures 1: Existing Parcel Lines



Figures 2 – 4: Existing Site Conditions

The following images, taken from Google Earth, show the site's existing conditions:



Aerial view looking northeastward



Looking southeastward from State Street



Looking northeastward from State Street

Figure 5: Proposed Preliminary Plat

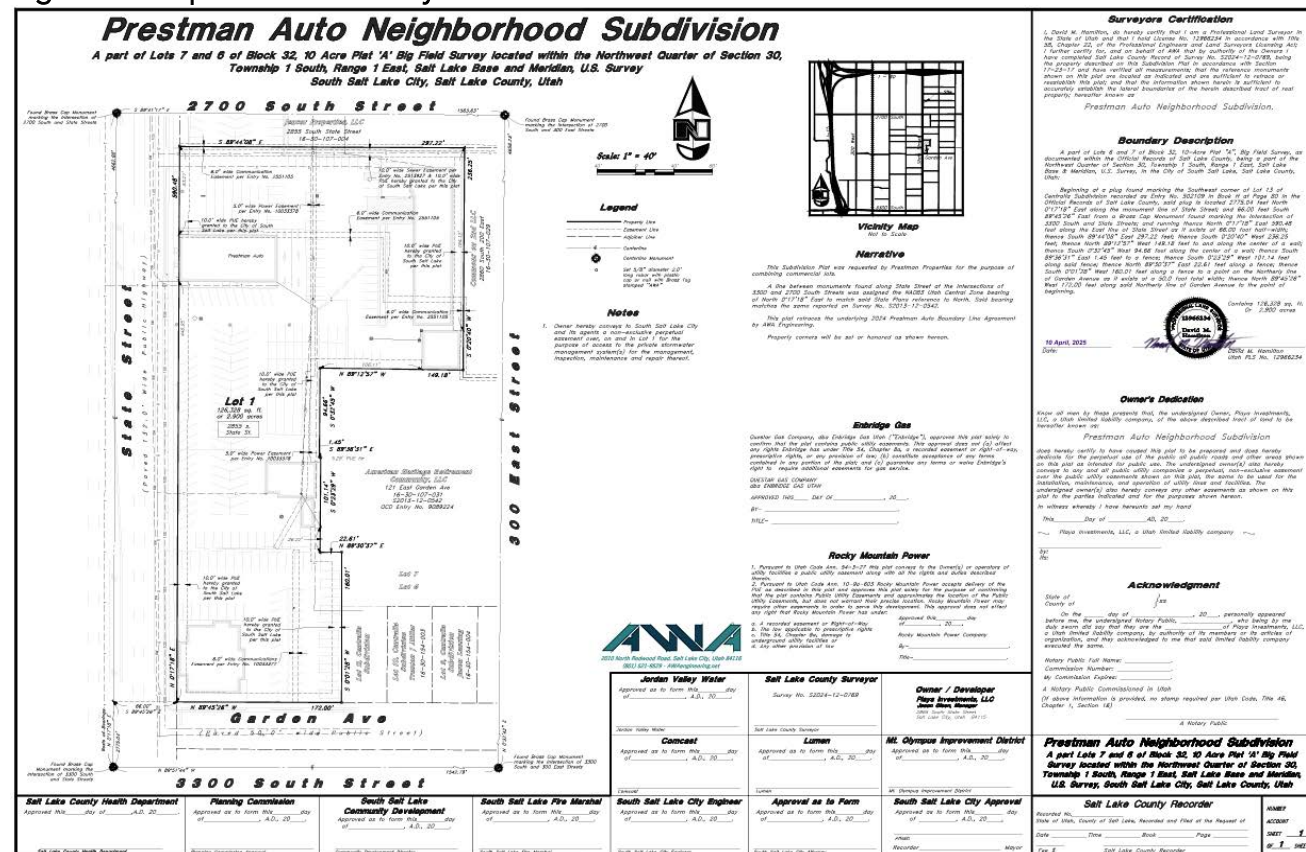
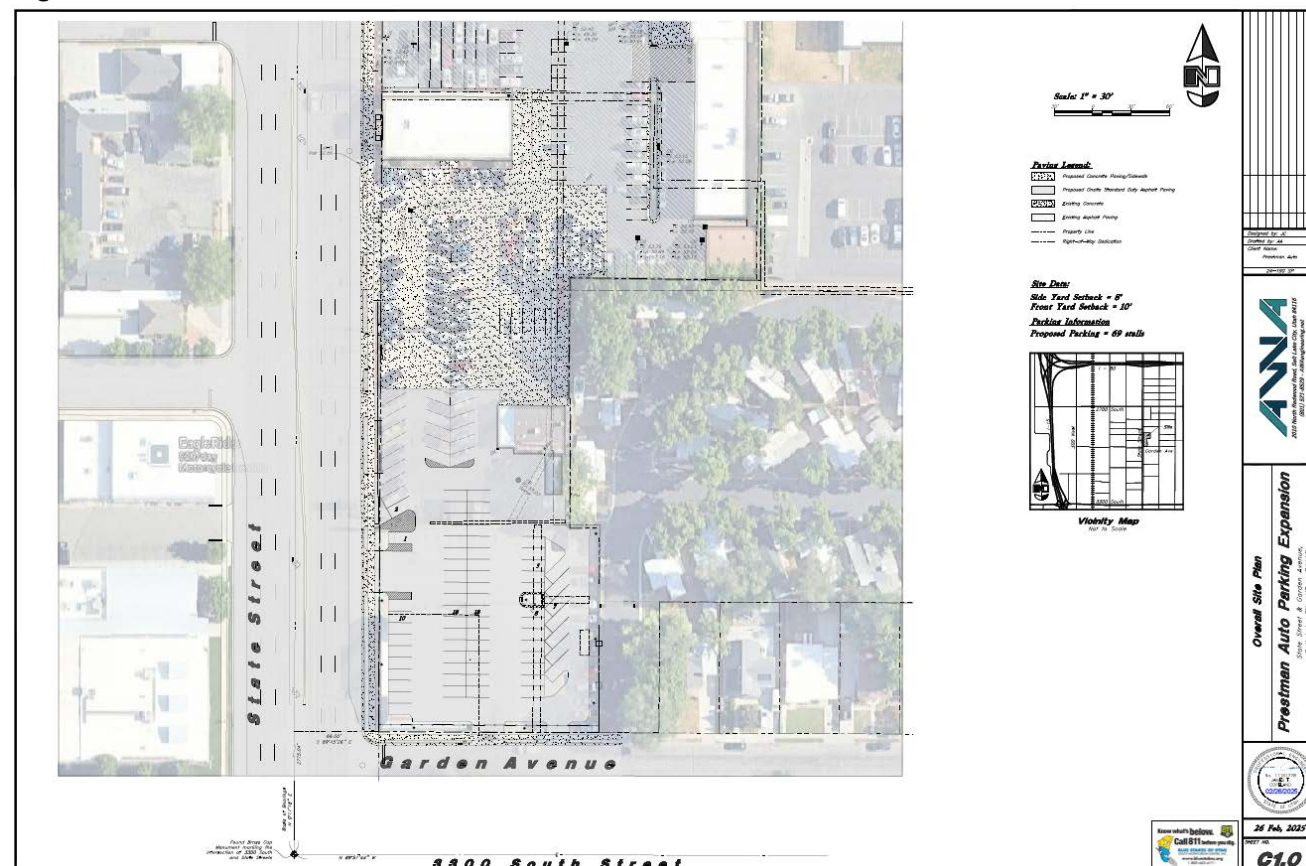


Figure 6: Site Plan¹



¹ The Site Plan is conceptual and subject to technical review.

[illegible]

§ 17.11.030 Land use authority designations.

A. **Planning Commission.** The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

Economic Development Vision Statement: South Salt Lake is a community of opportunity for a variety of businesses with diverse ownership serving a diverse community. Quality of life in South Salt Lake is enhanced through sustainable businesses in a sustainable community. South Salt Lake encourages and supports businesses by helping them form, expand, and thrive in our community. We build on past success for our future.

5

subdivision plat would allow them to expand again as their business is thriving and they need to expand again.

ORDINANCE ANALYSIS

Ordinance	Finding	Notes / Insufficiency
17.06.150 – Access Management		
A. Lots with fewer than one hundred (100) feet of Frontage on Arterial or Collector Streets shall have only one (1) approach.	Not applicable	
B. Lots that have Frontage greater than one hundred (100) feet may have one (1) additional drive approach every one hundred (100) feet.	There is about 590 feet of frontage along State Street with eight (8) curb cuts. Per the code, only five (5) curb cuts are permitted.	The non-compliant curb cuts will need to be closed with a curb wall.
17.10.120 – Requirements for Improvements & Design		
A. Compliance with laws, rules and regulations.	Petition complies.	
B. South Salt Lake construction specifications and standard drawings (Road profile dedications).	The Engineering Department reviewed the proposed subdivision plat and find it complies.	
C. Self-Imposed restrictions.	The applicant does not propose any restrictions.	
D. Restrictions due to character of the land.	Not applicable.	
17.10.140 – Subdivision Development Lot Standards		
A. All Final Plats shall result in the creation of compliant Lots and Building sites.	The proposed Lot complies with the standards in Title 17 of the South Salt Lake Municipal Code.	
B. Frontage on a public street.	The proposed Lot has frontage on State Street and Garden Avenue.	
C. Street right-of-way shall be separate and distinct from subdivided Lots.	All Lots are separate from the Right-of-Way and all Development is to take place within the proposed property lines and Commercial Corridor District Setbacks.	
D. Minimum area and dimensions shall conform.	The minimum area for a new non-residential Lot in the Commercial Corridor District is one acre. The one-Lot subdivision contains 2.9 acres.	
E. Side boundary lines shall be at right angles to the street.	Petition complies.	
F. Side boundary lines of Lots shall be radial to the center of a Cul-de-Sac.	Not applicable.	
G. Corner Lots for residential uses shall be platted wider than interior Lots.	Not applicable.	
H. Lots shall not divide the City boundary.	All proposed Lots are located within South Salt Lake City.	
I. Double frontage Single-Family residential Lots.	Not applicable.	

J. Building sites or Development envelopes shall be designed to allow for minimum separations between Structures.	There are existing buildings on the subject property. However, the proposed one-Lot subdivision does not create any non-conformities.	Any future development shall comply with the Ordinance in effect at the time of Building Permit application.
K. Side Lot lines shall be at right angles to street lines or radial to curving Street lines.	Petition complies.	
L. Dimensions of Corner Lots shall be large enough to allow for erection of Buildings.	The preliminary site plan indicates compliance with setbacks and build-to zones.	
M. Depth and width of properties shall be adequate to provide for off-street parking and loading facilities.	Petition complies.	
N. New Single-Family Lots shall not Front on or access an Arterial or Collector Street.	Not applicable.	
O. If Access from an Arterial or Collector Street is necessary for new adjoining Lots, such Lots shall be served by separate local street.	Petition complies.	
P. Driveways shall be designed and arranged to avoid vehicles backing onto Streets.	Petition complies.	
Q. Lots shall be laid out to provide positive drainage away from all buildings.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	
17.10.160(A) - Drainage and Storm Sewers General Requirements		
A. Each plat shall make adequate provision for storm or flood water runoff.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	
17.10.160(B) – Nature of Stormwater Facilities		
A. Applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or as a result of the subdivision.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	
B. Adequate underground stormwater systems shall be constructed and maintained.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	
C. Accommodation of Upstream Drainage Areas.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	
D. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	

E. Areas of poor drainage shall be remediated as applicable.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	
F. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area.	No floodplain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	
17.10.170 - Water Facilities		
A. Applicant shall extend the public culinary water supply system for the purpose of providing an adequate water supply to the Plat.	Adequate water supply provisions are proposed per South Salt Lake Engineering review.	
B. Applicant shall install adequate water facilities including fire hydrants.	The South Salt Lake Fire Marshal has reviewed the project plans and plat and found sufficient water facilities for the proposed project.	
C. Water extensions shall meet City's standards	The South Salt Lake Fire Marshal has reviewed the project plans and plat and found the water main extensions comply with city standards.	
D. Fire flow shall be approved by the Fire Marshal.	The Fire Marshal has reviewed and approved the proposed Development plan.	
E. Location of all fire hydrants, all water and storage supply improvements shall be shown on the approved site plan and the cost of installing shall be included on the performance guaranty.	The Fire Marshal has reviewed and approved the proposed Development plan.	The final plat mylar shall contain all fire hydrants to a capacity deemed adequate by the Fire Marshal.
F. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City, if any.	Approval of the Subdivision is contingent upon compliance with the City Engineering review for this standard.	
G. Fire hydrants required for all plats.	The Fire Marshal has reviewed and approved the proposed Development plan.	The final plat mylar shall contain all fire hydrants to a capacity deemed adequate by the Fire Marshal.
17.10.180 - Sewer Facilities		
A. The applicant shall install sanitary sewer facilities in a manner prescribed by the applicable sanitary sewer authority.	Not applicable.	
B. Sanitary sewer facilities shall connect with the public sanitary sewer at sizes required by the sanitary sewer authority	Not applicable.	
17.10.190 – Utilities		

A. Utility facilities shall be located underground in new subdivisions.	All new utilities are shown to be underground.	All utilities shall be undergrounded.
B. Utility Easements.	All utilities on site will be private with tie-ins to the trunk lines in the street, which are public.	Pursuant to § 17.10.190 (B)(2), the final plat shall indicate a ten-foot-wide Public Utility Easement along the front Lot lines of the Lot.
17.10.200 - Sidewalks, Trails, and Bike Paths		
A. Subdivision shall comply with the applicable road profile – including sidewalks, landscaping, bike lanes, curb and gutter, etc.	The Subdivision plat complies with the Standard Road Profiles for State Street and Garden Avenue.	
B. Trails, pedestrian paths, and bike paths shall relate appropriately to topography.	Public and internal pathways relate appropriately to topography on the site and comply with the South Salt Lake code.	
C. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan.	The Trails Master Plan does not indicate any trails or paths that cross the site.	

STAFF RECOMMENDATION

Based upon the information submitted in the application, supporting documentation, and analysis of the relevant code sections and general plan goals, Staff recommends the Planning Commission move to approve the Prestman Auto Neighborhood Subdivision Plat located at 2855 South State Street, based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the staff report.

FINDINGS OF FACT:

1. The property is located at 2859 S, 2865 S, 2879 S, 2889 S, 2901 S, 2929 S, & 2929 S State Street in the Commercial Corridor District.
2. The parcel numbers are 16-30-107-005-0000, 16-30-107-006-0000, 16-30-107-007-0000, 16-30-107-008-0000, 16-30-107-009-0000, 16-30-107-010-0000, and 16-30-154-001-0000.
3. The property is currently used as an Auto Dealership.
4. The purpose of the proposed Subdivision is to create one commercial Lot.
5. The proposed address for the consolidated parcels is 2855 S. State Street.
6. The proposed Lot size is 2.9 acres (126,328 sq. ft.)
7. There is no environmentally sensitive land on site and no impact is expected on environmentally sensitive lands.
8. Auto Dealership is a Conditional Use in the Commercial Corridor District.
9. The proposed Subdivision will comply with all requirements of the South Salt Lake Municipal Code.

10. Staff reviewed this Subdivision application for compliance with South Salt Lake Municipal Code Sections 17.10.120, 17.10.130, 17.10.140, 17.10.150, 17.10.160, 17.10.170, 17.10.180, 17.10.190 and 17.10.200, and found that this subdivision application is compliant with this section, as outlined above.

Conclusions of Law:

1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the Commercial Corridor District.
3. The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed Development; Those residing or working in the vicinity of the proposed use or Development; or Property or improvements in the vicinity of the proposed use or Development.
4. The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of South Salt Lake.

Conditions of Approval:

1. The Applicant shall continue working with city staff to make all necessary technical corrections before recording the subdivision plat.
2. Prior to plat recordation and any additional Development of the subsequent Lots, the Applicant must provide city staff the final plat mylar with notarized signatures of owners' consent to dedication and obtain signatures of all entities indicated on the subdivision plat attached hereto.
3. The plat shall indicate a 10-foot public utility easement along the front Lot lines pursuant to South Salt Lake Municipal Code § 17.10.190(B)(2).
4. The Applicant shall complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all public infrastructure improvements including streetlights.
5. The Applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code.
6. All utilities shall be undergrounded.
7. The non-compliant curb cuts along State Street shall be closed with a curb wall within 365 days of receiving final plat approval.
8. The proposed Development shall meet all requirements of the South Salt Lake City Municipal Code.
9. The proposed Development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering Department.
10. The Applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit.

11. Any expansion or new construction to the building or site in the future would require design review approval from the Planning Commission;
12. Plat title shall be changed to include the amendment of lots 12, 13, 14 in the Centralia Subdivision.
13. Double stacking of cars in the display lot is prohibited, site plan must reflect as such before final plat approval;
14. All engineering comments on the preliminary plat must be addressed before final plat approval;
15. The photometric plan must show that the lighting on the site has the maximum illumination, when measured at the Property Line at a height of five feet and facing the light fixture(s), shall be no greater than 0.5 foot-candles; and
16. All items of the staff report.

PLANNING COMMISSION OPTIONS

Option 1: Approval

Move to approve the application by Playa Investments LLC for a Preliminary Subdivision Plat to create one Lot located at 2855 South State Street, based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the staff report, and enumerated on the record.

Option 2: Denial

Move to deny the application by Playa Investments LLC for a Preliminary Subdivision Plat to create one Lot located at 2855 South State Street, based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the staff report, and enumerated on the record.

Option 3: Continuance

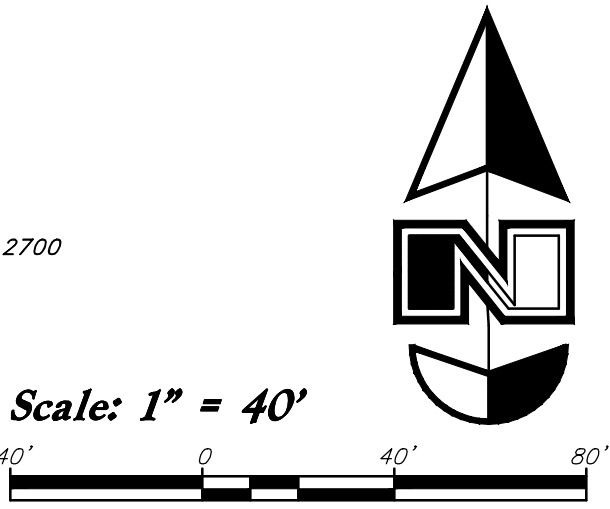
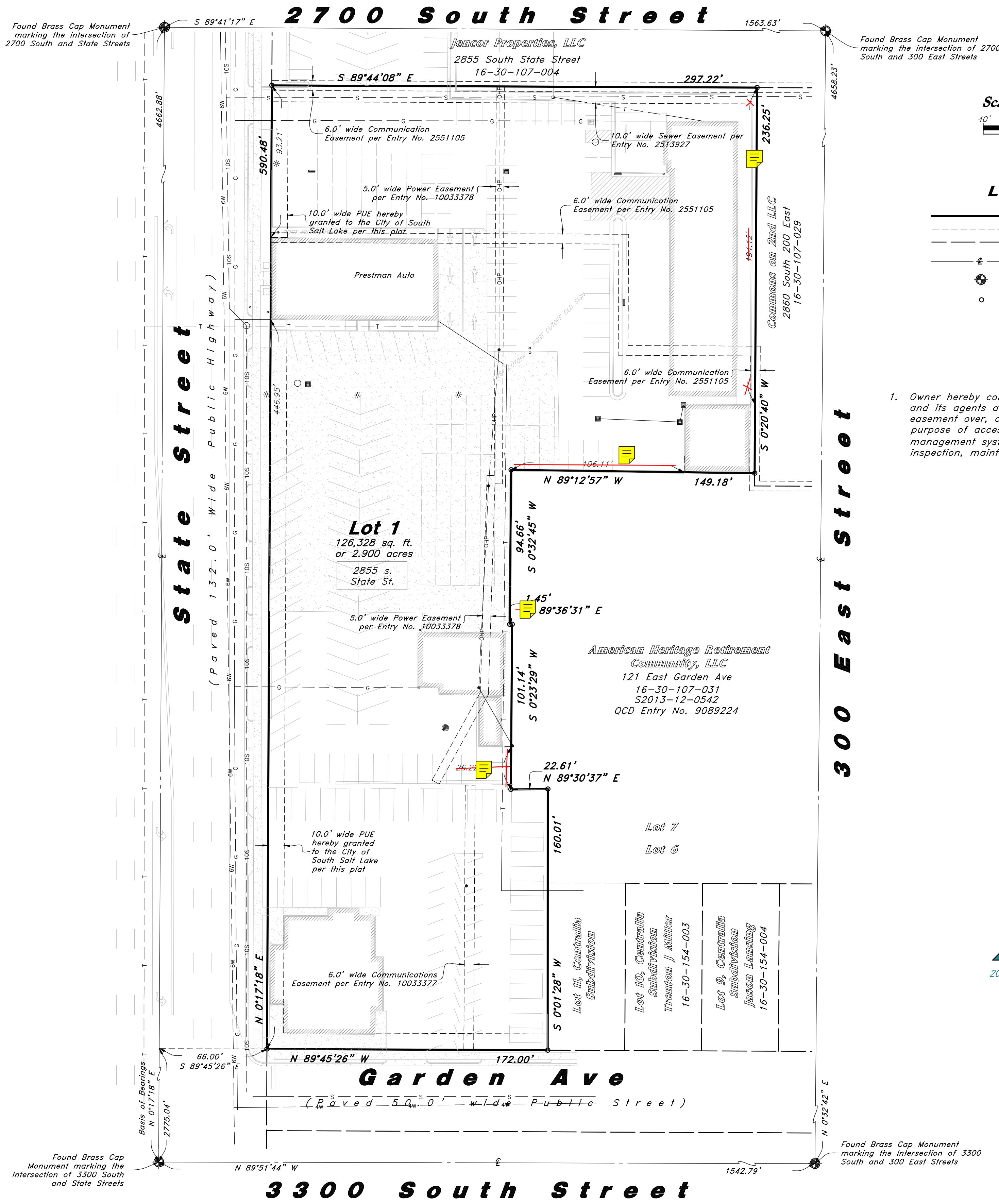
Move to table the application by Playa Investments for a Preliminary Subdivision Plat to create one Lot located at 2855 South State Street to a date certain to allow the Applicants and Staff time to respond to specific inquiries or concerns raised by the Planning Commission or to allow the Planning Commission more time to consider the proposal.

Attachments:

1. Proposed Plat
2. Site Plan
3. Alta Survey

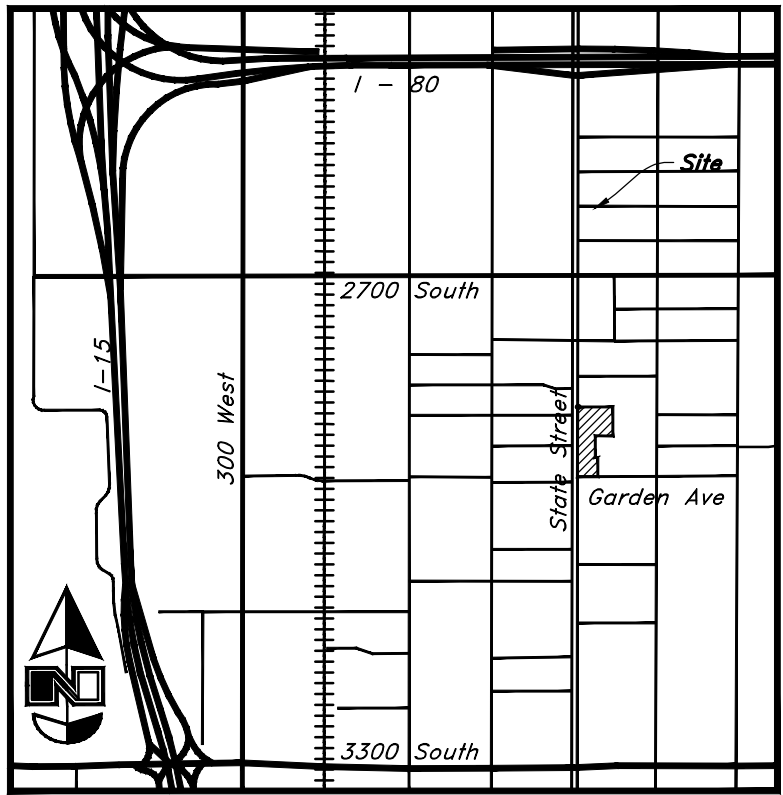
Prestman Auto Neighborhood Subdivision

A part of Lots 7 and 6 of Block 32, 10 Acre Plat 'A' Big Field Survey located within the Northwest Quarter of Section 30, Township 1 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey
South Salt Lake City, Salt Lake County, Utah



- Legend**
- Property Line
 - Easement Line
 - Adjoiner Line
 - Centerline
 - Centerline Monument
 - Set 5/8" diameter 2.0' long rebar with plastic cap or nail with Brass Tag stamped "AWA"

- Notes**
- Owner hereby conveys to South Salt Lake City and its agents a non-exclusive perpetual easement over, on and in Lot 1 for the purpose of access to the private stormwater management system(s) for the management, inspection, maintenance and repair thereof.



Vicinity Map
Not to Scale

Narrative

This Subdivision Plat was requested by Prestman Properties for the purpose of combining commercial lots.

A line between monuments found along State Street at the intersections of 3300 and 2700 South Streets was assigned the NAD83 Utah Central Zone bearing of North 0°17'18" East to match said State Plane reference to North. Said bearing matches the same reported on Survey No. S2013-12-0542.

This plat retraces the underlying 2024 Prestman Auto Boundary Line Agreement by AWA Engineering.

Property corners will be set or honored as shown hereon.

Enbridge Gas

Questar Gas Company, dba Enbridge Gas Utah ("Enbridge"), approves this plat solely to confirm that the plat contains public utility easements. This approval does not (a) affect any rights Enbridge has under Title 54, Chapter 8a, a recorded easement or right-of-way, prescriptive rights, or any provision of law; (b) constitute acceptance of any terms contained in any portion of the plat; and (c) guarantee any terms or waive Enbridge's right to require additional easements for gas service.

QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH

APPROVED THIS _____ DAY OF _____, 20____.

BY- _____

TITLE- _____

Rocky Mountain Power

- Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the Owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.
- Pursuant to Utah Code Ann. 10-9a-603 Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains Public Utility Easements and approximates the location of the Public Utility Easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not effect any right that Rocky Mountain Power has under:

- A recorded easement or Right-of-Way
- The law applicable to prescriptive rights
- Title 54, Chapter 8a, damage to underground utility facilities or
- Any other provision of law

Approved this _____ day
of _____, 20____.

Rocky Mountain Power Company

By- _____

Title- _____



Jordan Valley Water Approved as to form this _____ day of _____, A.D., 20____.	Salt Lake County Surveyor Survey No. S2024-12-0769	Owner / Developer Playa Investments, LLC Jason Olsen, Manager 2865 South State Street Salt Lake City, Utah 84115
Jordan Valley Water	Salt Lake County Surveyor	
Comcast Approved as to form this _____ day of _____, A.D., 20____.	Lumen Approved as to form this _____ day of _____, A.D., 20____.	Mt. Olympus Improvement District Approved as to form this _____ day of _____, A.D., 20____.
Comcast	Lumen	Mt. Olympus Improvement District
South Salt Lake City Engineer Approved as to form this _____ day of _____, A.D., 20____.	Approval as to Form Approved as to form this _____ day of _____, A.D., 20____.	South Salt Lake City Approval Approved as to form this _____ day of _____, A.D., 20____.
South Salt Lake City Engineer	South Salt Lake City Attorney	Attest: Recorder _____ Mayor

Surveyors Certification

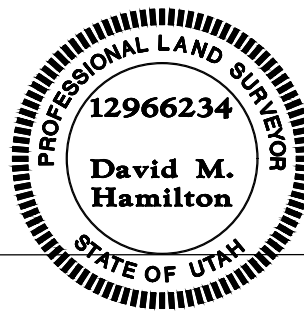
I, David M. Hamilton, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 12966234 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of AWA that by authority of the Owners I have completed Salt Lake County Record of Survey No. S2024-12-0769, being the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as

Prestman Auto Neighborhood Subdivision.

Boundary Description

A part of Lots 6 and 7 of Block 32, 10-Acre Plat "A", Big Field Survey, as documented within the Official Records of Salt Lake County, being a part of the Northwest Quarter of Section 30, Township 1 South, Range 1 East, Salt Lake Base & Meridian, U.S. Survey, in the City of South Salt Lake, Salt Lake County, Utah:

Beginning at a plug found marking the Southwest corner of Lot 13 of Centralia Subdivision recorded as Entry No. 502109 in Book H at Page 80 in the Official Records of Salt Lake County, said plug is located 2775.04 feet North 0°17'18" East along the monument line of State Street; and 66.00 feet South 89°45'26" East from a Brass Cap Monument found marking the intersection of 3300 South and State Streets; and running thence North 0°17'18" East 590.48 feet along the East line of State Street as it exists at 66.00 foot half-width; thence South 89°44'08" East 297.22 feet; thence South 0°20'40" West 236.25 feet; thence North 89°12'57" West 149.18 feet to and along the center of a wall; thence South 0°32'45" West 94.66 feet along the center of a wall; thence South 89°36'31" East 1.45 feet to a fence; thence South 0°23'29" West 101.14 feet along said fence; thence North 89°30'37" East 22.61 feet along a fence; thence South 0°01'28" West 160.01 feet along a fence to a point on the Northerly line of Garden Avenue as it exists at a 50.0 foot total width; thence North 89°45'26" West 172.00 feet along said Northerly line of Garden Avenue to the point of beginning.



Contains 126,328 sq. ft.
Or 2,900 acres

Date: _____ David M. Hamilton
Utah PLS No. 12966234

Owner's Dedication

Know all men by these presents that, the undersigned Owner, Playa Investments, LLC, a Utah limited liability company, of the above described tract of land to be hereafter known as:

Prestman Auto Neighborhood Subdivision

does hereby certify to have caused this plat to be prepared and does hereby dedicate for the perpetual use of the public all public roads and other areas shown on this plat as intended for public use. The undersigned owner(s) also hereby conveys to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance, and operation of utility lines and facilities. The undersigned owner(s) also hereby conveys any other easements as shown on this plat to the parties indicated and for the purposes shown hereon.

In witness whereof the owner has hereunto set
This _____ Day of _____ A.D., 20____.

Playa Investments, LLC, a Utah limited liability company

by: Jason Olsen
its: Managing Member

Acknowledgment

State of _____ } ss
County of _____

On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, _____, who being by me duly sworn did say that they are the _____ of Playa Investments, LLC, a Utah limited liability company, by authority of its members or its articles of organization, and they acknowledged to me that said limited liability company executed the same.

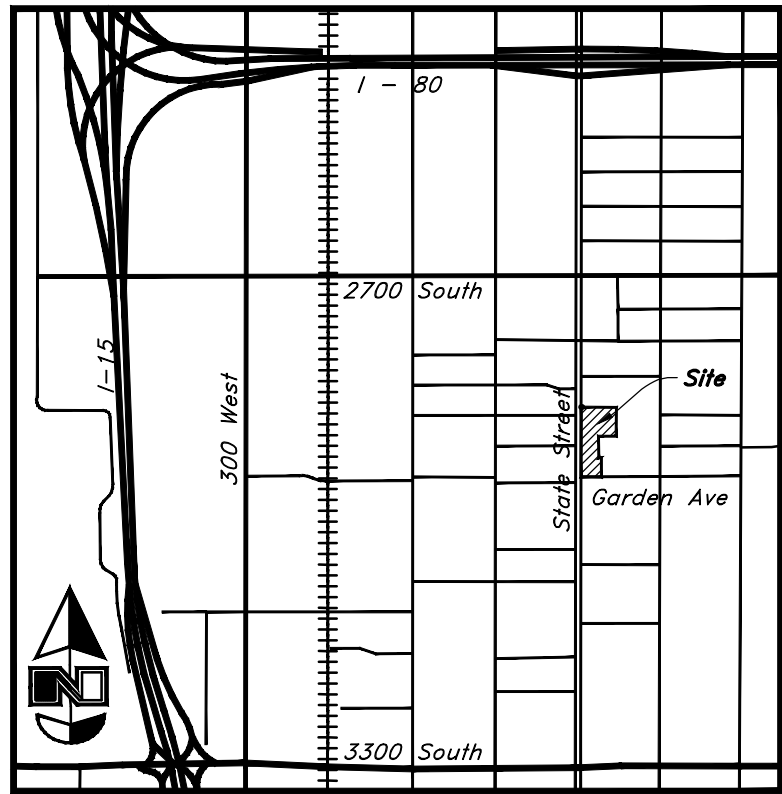
Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____

A Notary Public Commissioned in Utah
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

_____ A Notary Public

Prestman Auto Neighborhood Subdivision
A part Lots 7 and 6 of Block 32, 10 Acre Plat 'A' Big Field Survey located within the Northwest Quarter of Section 30, Township 1 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey, South Salt Lake City, Salt Lake County, Utah

Salt Lake County Health Department Approved this _____ day of _____, A.D. 20____.	Planning Commission Approved as to form this _____ day of _____, A.D., 20____.	South Salt Lake Community Development Approved as to form this _____ day of _____, A.D., 20____.	South Salt Lake Fire Marshal Approved as to form this _____ day of _____, A.D., 20____.	South Salt Lake City Engineer Approved as to form this _____ day of _____, A.D., 20____.	Approval as to Form Approved as to form this _____ day of _____, A.D., 20____.	South Salt Lake City Approval Approved as to form this _____ day of _____, A.D., 20____.	Salt Lake County Recorder Recorded No. _____ State of Utah, County of Salt Lake, Recorded and Filed at the Request of _____ Date _____ Time _____ Book _____ Page _____ Fee \$ _____ Salt Lake County Recorder	NUMBER ACCOUNT SHEET 1 OF 1 SHEETS
Salt Lake County Health Department	Planning Commission Approval	Community Development Director	South Salt Lake Fire Marshal	South Salt Lake City Engineer	South Salt Lake City Attorney			



Vicinity Map
Not to Scale

Title Information

This survey was completed using Title Report File No. 24-14741-CB dated 23 August, 2024 from First American Title Insurance Company and issued by Novation Title Insurance Agency:

The following survey related items circled (Solid) from Schedule B – Part II of the title report are plotted on the survey:

The following survey related items circled (Dashed) from Schedule B – Part II of the title report blanket all or a portion of this site but contain nothing to plot:

The following survey related items not circled from Schedule B – Part II of the title report could not be plotted:

- 14 10' wide sewer easement over, across or through the Land for maintenance recorded January 23, 1973 as Entry No. 2513927 in Book 3244 at Page 378 of Official Records, plots along the North Line of Parcel 1 as shown hereon.
 - 15 6' wide communication easement as granted to Mountain States Telephone and Telegraph Company recorded July 2, 1973 as Entry No. 2551105 in Book 3362 at Page 306 of Official Records, said easement is intended to follow interior parcel lines as shown hereon despite discrepancies of record to existing distances, affects Parcels 1-3 as shown hereon.
 - 16 An unrecorded Lease executed by Creasy Catering Inc. as disclosed by Subordination of Lease Agreement recorded October 27, 1999 as Entry No. 7499378 in Book 8318 at Page 8974 of Official Records. Affects Parcels 1-5, but contains nothing to plot.
 - 17 An unrecorded Lease executed by Creasy Catering as disclosed by Memorandum of Lease Agreement recorded December 02, 2002 as Entry No. 8441445 in Book 8695 at Page 1091 of Official Records. Affects Parcel 3 with a 20'X40' lease area, but does not disclose the location of said lease area.
 - 18 An unrecorded Lease executed by Creasy Catering as disclosed by Memorandum of Lease Agreement recorded December 02, 2002 as Entry No. 8441446 in Book 8695 at Page 1095 of Official Records. Affects Parcel 3 with a 20'X40' lease area, but does not disclose the location of said lease area.
 - 19 A 5.0' wide Easement Agreement in favor of Qwest Corporation recorded March 14, 2007 as Entry No. 10033378 in Book 9435 at Page 2277 of Official Records as shown hereon. The Surveyor has interpreted this document as having been written with the historical width of State Street being 100'. The line described matches overhead power lines across this site when interpreted this way.
 - 20 An unrecorded Lease executed by Prestman Properties, LLC, as disclosed by Memorandum of Lease Agreement recorded February 26, 2014 as Entry No. 11810016 in Book 10213 at Page 6759 of Official Records. Affects Parcels 1 & 3 but contains nothing to plot.
 - 21 Conditional Use Permit recorded May 1, 2014 as Entry No. 11842948 in Book 10227 at Page 8663 of Official Records affects Parcel 1, but contains nothing to plot.
- * Exception No.'s 1-13 and 29-33 are general and/or standard exceptions that do not reveal matters of survey.
- ** Exception No.'s 22-25 describe and affect Parcels 1-5 and Exception No.'s 26-28 describe and affect Parcel 1 but none of these documents reveal survey matters.

Notes

According to ALTA standards, the surveyor cannot certify a survey based upon an interpretation. The surveyor is not authorized to interpret zoning codes, nor can the surveyor determine whether certain improvements are burdening or actually benefiting the property.

Pertaining to ALTA Table A Item No. 6: No zoning report was supplied for review, information provided was found on the South Salt Lake City Zoning Website.

Pertaining to ALTA Table A Item No. 8: There were no observed areas of substantial refuse on the site.

Pertaining to ALTA Table A Item No. 9: There are approximately 153 parking stalls on this site, of which 1 is designated for accessible parking and 13 are extra long stalls meant to park multiple vehicles, these stalls have been reported as approximate as the complete number of stalls is unknown due to car dealership parking.

Pertaining to ALTA Table A Item No. 11(a): The location and/or elevation of existing utilities shown on these plans are based on records of the various utility companies, design plans, and where possible measurements taken in the field. No underground explorations were performed. According to Bluestakes of Utah the following companies have Utilities in the area: Comcast, Lumen, First Digital Telecom, Google Fiber, Verizon, Mt. Olympus Improvement District, Enbridge Gas, Rocky Mountain Power, Salt Lake City Public Utilities, South Salt Lake City and UDOT.

Narrative

This Survey was requested by Prestman Properties prerequisite to the development of this property.

This Survey retraces and honors the underlying 10 Acre Plat 'A' of the Big Field Survey, the nearby Centralia Subdivision and a 2013 Survey by Flint on the neighboring property.

A line between monuments found along State Street at the intersections of 3300 and 2700 South Streets was assigned the NAD83 Utah Central Zone bearing of North 0°17'18" East to match said State Plane reference to North. Said bearing matches the same reported on Survey No. S2013-12-0542.

The historical 10 Acre Plat A-B Big Survey shows State Street having a total width of 100'. The only evidence that the surveyor has seen to support a 50' half-width is the location of Exception No. 19 of this survey which appropriately follows overhead power lines if a tie to a 50' half-width is applied.

Modern Block 32 was identified by applying a 33' half-width offset from all measured control lines shown hereon including State Street. There is evidence within the subject deeds exhibited hereon of this relationship along State Street with calls indicating a 2 Rod tie from Lot corners.

The distances shown along Lot lines displayed on the modern Area Reference map support the idea that the parcels along State Street gave an additional 33' at some point in time. Due to this there is confusion in the record regarding the record block line but for the purposes of this survey a 66' half-width is considered the modern block line despite deed evidence of a 33' half-width and said historical reference of 100' total width.

Overages and shortages were prorated both directions within Lots 6 and 7, which matched within tolerances to a 2013 Survey by Flint that apportioned the Block similarly. Said Survey reveals a significant overlap within the Deeds that affects Parcels 4 and 5 shown hereon. Deed totals running East to West within Block 7 vary and the Surveyor has applied prorations along common Deed lines where totals were consistent.

This survey exhibits 'NAP' Parcels on the South which are Not a Part of this ALTA Survey and have had the dimensions shown in preparation for platting the entirety of the area shown. For the purposes of the ALTA/NSPS Land Title Survey exhibited hereon, only Parcels 1-5 are a part.

NAP Parcel 2 shown hereon has been prorated within Lot 7 based on the record dimension of 1.89 rods. The South line thereof was held to the prorated location of Centralia Subdivision, resulting in values that are short of the record.

The Total Area of the ALTA/NSPS Land Title Survey Area and the NAP displayed hereon is 127,822 sq. ft. or 2.934 acres.

The various leases revealed by the Title Report do not specify a location but reveal entity names that would indicate a lease for billboard signs. There are Billboard signs along the frontage of State Street as shown hereon.

Property corners will be set with a forthcoming plat of this property.

Benchmark

Brass Cap Monument marking the intersection of 3300 South and 300 East Streets
Elevation = 4261.90 feet Geoid '18 Ortho Height (RTK, NAVD 88, 1299.029 meters)
Salt Lake County Surveyor Tie Sheet, Published 19 Mar, 2004
Observed 16 Oct, 2024.

Flood Plain Data

This property lies entirely within Flood Zone X (shaded) as designated on FEMA Flood Insurance Rate Map for Salt Lake City, Utah and Incorporated Areas Map Number 49035C0284G dated 25 Sep, 2009. Flood Zone X is defined as "0.2% Annual change of flood hazard, areas of 1% annual change flood with average depth less than one foot or with drainage areas of less than one square mile".

Zoning Information

Zone	=	Commercial Corridor
Building Setback Requirements	=	
Front yard	=	10'
Back yard	=	none
Side yard	=	10' (corner side)
	=	none
Height Restrictions	=	25'

NAP Record Descriptions

Parcel 1:

Lots 12, 13 and 14, Block 2, CENTRALIA SUBDIVISION, according to the Official Plat thereof on file and of record in the Salt Lake County Recorder's office.

Tax ID No: 16-30-154-001

Parcel 2:

Commencing at a point on the East line of State Street 1.89 rods North and 2 rods East of the Northwest corner of Lot 6, Block 32, Ten Acre Plat "A", Big Field Survey; and running thence East 172 feet; thence South 59.89 feet to the Northeast corner of Lot 12, Block 2, CENTRALIA SUBDIVISION; thence West along the North line of CENTRALIA SUBDIVISION 172 feet; thence North 59.89 feet to the Place of Commencement

Tax ID No: 16-30-107-010

Record Descriptions

Parcel 1:

Beginning at a point which is East 331.0 feet and North 297.33 feet from the Southwest Corner of Lot 7, BLOCK 32, TEN ACRE PLAT "A", BIG FIELD SURVEY, and running thence West 81.0 feet; thence North 68.0 feet; Thence West 216.0 feet; thence North 93.04 feet; thence East 297.0 feet; thence South 161.04 feet to the Point of Beginning.

Tax Parcel No. 16-30-107-005

Parcel 2:

Beginning at a point 18.02 rods North and 33 feet East from the Southwest corner of Lot 7, BLOCK 32, TEN ACRE PLAT "A", BIG FIELD SURVEY, and running thence East 216.0 feet; thence North 68 feet; thence West 216 feet; thence South 68 feet to the Place of Beginning.

Tax Parcel No. 16-30-107-006

Parcel 3:

Beginning at a point on the East side of state street at a point 2 rods East and 13.02 rods North of the Southwest corner of Lot 7, BLOCK 32, TEN ACRE PLAT "A", BIG FIELD SURVEY, and running thence North 5 rods; thence East 18 rods; Thence South 5 rods; Thence West 18 rods to the Point of Beginning.

Tax Parcel No. 16-30-107-007

Parcel 4:

Beginning 789.03 feet North 726 feet West from the Southeast corner of Lot 6, BLOCK 32, TEN ACRE PLAT "A", BIG FIELD SURVEY, and running thence South 125.145 feet; thence East 148 feet; thence North 125.145 feet; thence West 148 feet to the Place of Beginning, Less Street.

Tax Parcel No. 16-30-107-008

Parcel 5:

Beginning at a point 36.69 rods North and 576 feet West from the Southeast corner of Lot 6, BLOCK 32, TEN ACRE PLAT "A", BIG FIELD SURVEY, running thence West 150 feet; thence North 58.5 feet; thence East 150 feet; thence South 58.5 feet to Beginning. Less Street. Tax Parcel No. 16-30-107-009

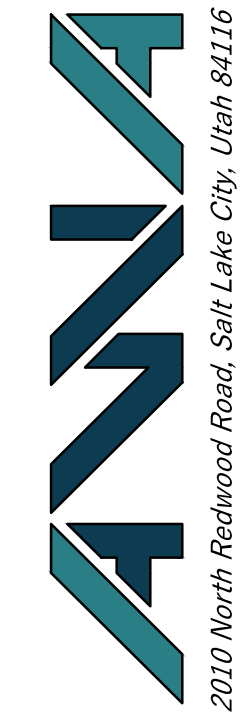
Certification

To Prestman Properties, LLC Series Parking, Prestman Properties, LLC, Series Showroom, Prestman Properties, LLC, Series Autotech, Novation Title Insurance Agency and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 7(a), 8, 9 and 11(a) of Table A thereof. The fieldwork was completed on 16 October, 2024.

Date: 22 Oct, 2024

David M. Hamilton
Utah PLS No. 12966234



ALTA / NSPS Land Title Survey

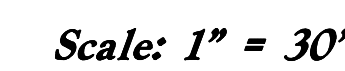
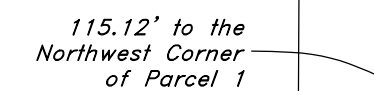
Prestman Auto

2859 to 2901 South State Street
South Salt Lake City, Salt Lake County, UT
A part of Lots 6 & 7, Block 32, 10 acre Plat "A", Big Field Survey, located within the Northwest Quarter of Section 30, T1S, R1E, S18&4, U.S. Survey

22 Oct, 2024


SHEET NO.

1



Prestman Auto

2859 to 2901 South State Street
South Salt Lake City, Salt Lake County, UT
A part of Lots 6 & 7, Block 32, 10 Acre Plat 'A', Big Field Survey located
within the Northwest Quarter of Section 30, T1S, R1E, S1B&M, U1S. Survey



 David M. Hamilton
 STATE OF TENNESSEE
 12966234
 22 Oct, 2024
 22 Oct, 2024
 SHEET NO. 2 of 2

									RE
<i>Designed by: DH</i>									
<i>Drafted by: NE</i>									
<i>Client Name:</i> <i>Prestman Properties</i>									
<i>24-190as</i>									



2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AWAengineering.net