



**EAGLE MOUNTAIN CITY**  
City Council Staff Report

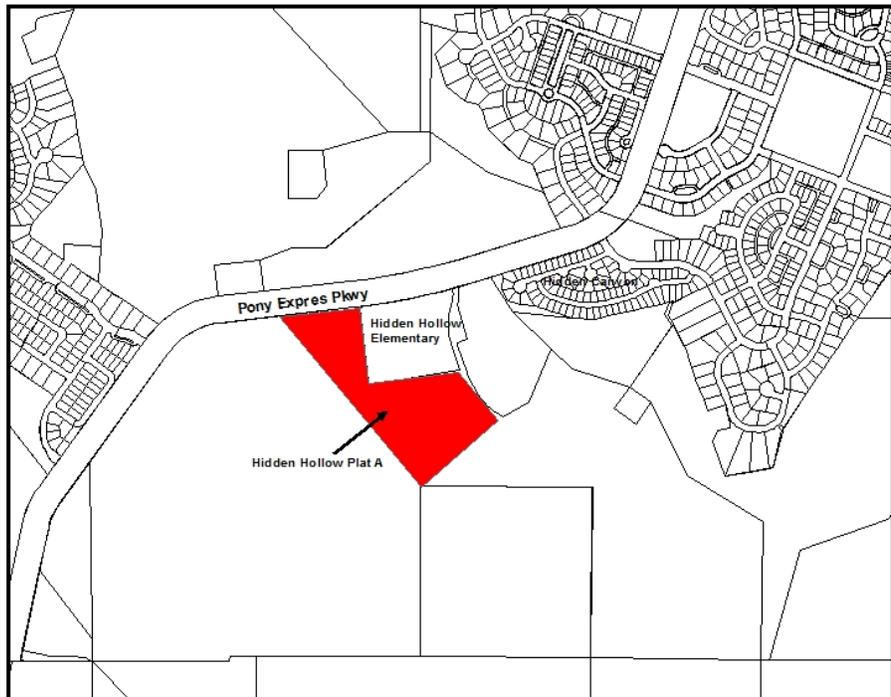
**NOVEMBER 18, 2014**

*Project:* **Hidden Hollow Phase A Preliminary Plat**  
*Applicant:* Ryan Bybee/Cadence Capitol  
*Request:* Preliminary Plat Approval  
*Type of Action:* Action Item  
*Planning Commission:* Recommended Approval (4-0)

**Proposal**

In April of 2013 the City Council approved the Hidden Hollow final plat. The developer has now resubmitted that plat with a new design of the lots due to the terrain within the development. Because of the changes to street configuration and lot layout, a new preliminary plat is required. Once the Council approves a preliminary plat, the final plat (including construction drawings) will be reviewed by the City Development Review Committee for approval.

The last proposal was for 35 total lots with a density of 2.98 lots per acre and an average lot size of 11,103 sq. ft. This new application proposes 34 lots for a density of 3.07 lots per acre and an average lot size of 8,542 sq. ft., The applicant has presented the new design to the Development Review Committee and has addressed the comments/redlines from that meeting.



**Park/Landscape Plan**

With this new design for the Hidden Hollow subdivision the applicant is required to provide .53 ac of improved open space/park. Since this subdivision plat has no real useable park space available, and since it is immediately adjacent to the school fields and playground, the applicant has proposed to improve the area along Pony Express Pkwy that is adjacent to the Hidden Hollow Elementary school. The Council will have to decide if this is a sufficient alternative to the standard park improvement requirements. The Planning Commission felt that this proposed alternative was acceptable.

The landscaping in the parkway must be consistent with the existing style of landscaping nearby. The large expanses of decorative gray rock, for instance, while consistent with the Hidden Canyon parkway improvements, do not represent a desirable look for Pony Express Parkway. The landscape plan must still be reviewed by the Parks Director and Planning Director for approval prior to the final plat approval. If you, Council members, have any recommendations on the desired landscaping features for this area,

please let us know. Staff is also recommending that the improvements along Pony Express Pkwy are installed at the same time the infrastructure for the subdivision is installed.

**Planning Commission Recommendation**

On October 28 the Planning Commission reviewed the proposed preliminary plat and recommended approval of the plan to the Council with the following conditions:

1. Provide a hillside storm drain plan for runoff that is reviewed and approved by the City Engineer.
2. Final landscape plan to be reviewed for approval by City Parks Director and Planning Department prior to final plat approval.
3. A project monument sign must be added to the plan to be approved along with the landscape plan, as required by City Code.

City Staff recommends a fourth condition of approval:

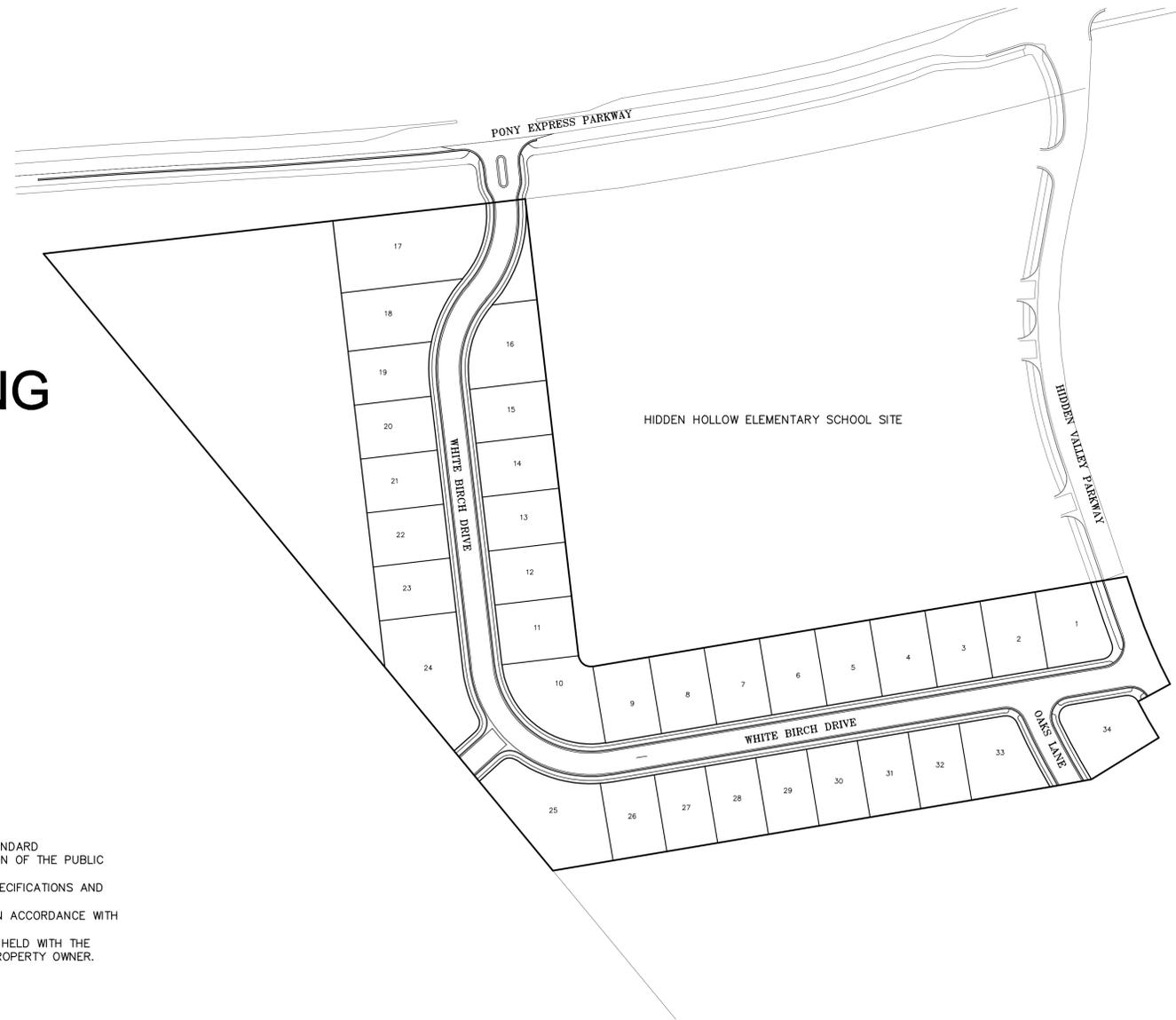
4. The improvements along Pony Express Parkway must be installed along with the public infrastructure for the subdivision.

***Attachments:*** Proposed Hidden Hollow Phase A Preliminary Plat & Landscape Plan.

# HIDDEN HOLLOW: PLAT A CONSTRUCTION PLANS

prepared for:  
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prepared by:  
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 27 EAST MAIN STREET  
 LEHI, UT 84043  
 PHONE: (801) 768-4544



## SHEET INDEX

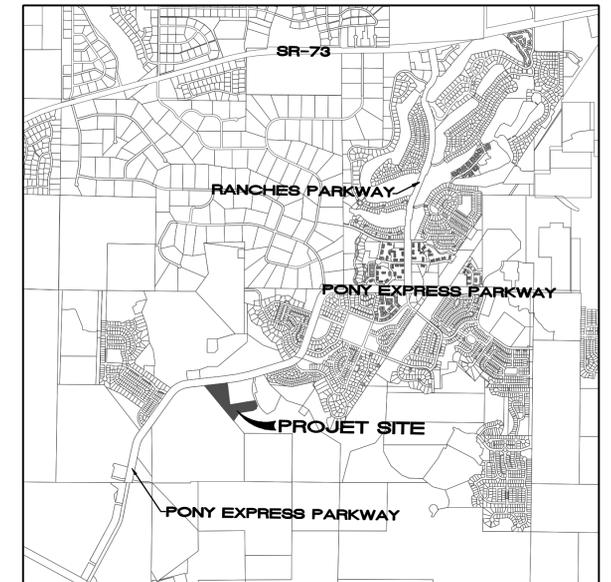
SHEET NO.	SHEET NAME
1 OF 7	COVER SHEET
2 OF 7	SITE/UTILITY PLAN
3 OF 7	GRADING & DRAINAGE PLAN
4 OF 7	WHITE BIRCH DRIVE PLAN AND PROFILE
5 OF 7	BIRCH CIRCLE/BLACK ALDER AVENUE PLAN AND PROFILE
6 OF 7	OFFSITE STORM DRAIN
7 OF 7	LANDSCAPE PLAN

### GENERAL NOTES:

- 1) AS-BUILT DRAWING, FORMATTED IN ACCORDANCE WITH EAGLE MOUNTAIN CITY STANDARD SPECIFICATIONS AND DRAWINGS, SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF THE PUBLIC IMPROVEMENTS; INCLUDING GPS COORDINATES AND ELEVATIONS FOR UTILITIES.
- 2) ALL CONSTRUCTION IS TO BE DONE AS PER EAGLE MOUNTAIN CITY STANDARD SPECIFICATIONS AND DRAWINGS.
- 3) CONTRACTOR TO ENSURE ALL ADA REQUIREMENTS ARE MET AND CONSTRUCTED IN ACCORDANCE WITH EAGLE MOUNTAIN CITY STANDARD SPECIFICATIONS AND DRAWINGS.
- 4) PRIOR TO COMMENCEMENT OF ANY WORK, A PRECONSTRUCTION MEETING WILL BE HELD WITH THE EAGLE MOUNTAIN CITY STAFF, THE CONTRACTOR, ALL SUBCONTRACTORS AND THE PROPERTY OWNER.

### BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE LINE BETWEEN THE NORTH QUARTER CORNER AND THE SOUTH QUARTER CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, WHICH BEARS SOUTH 00°03'34" EAST TAKEN FROM THE STATE PLANE COORDINATE & DEPENDENT RESURVEY PLAT FOUND AT THE UTAH COUNTY SURVEYORS OFFICE. (NAD 83)



VICINITY MAP



REVISIONS				
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4				05/10/14
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 CONSULTING ENGINEERS AND LAND SURVEYORS  
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

EAGLE MOUNTAIN  
 UTAH

**HIDDEN HOLLOW**  
 A RESIDENTIAL SUBDIVISION

COVER SHEET

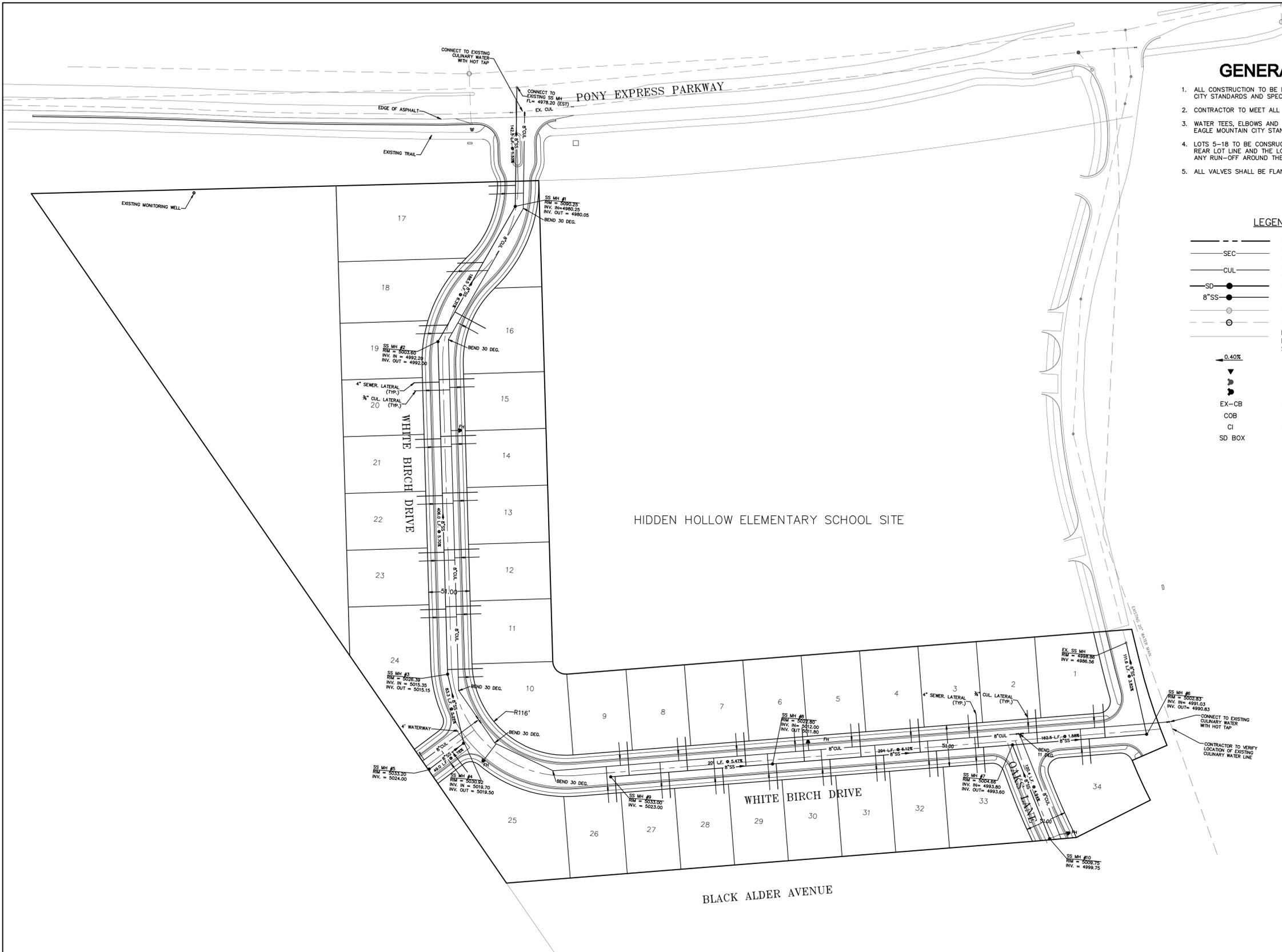
JOB  
 RYAN  
 SHEET NO.  
 1 OF 7

### GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO MEET ALL ADA REQUIREMENTS FOR THE SITE.
3. WATER TEES, ELBOWS AND TRENCHES SHALL BE INSTALLED AS PER EAGLE MOUNTAIN CITY STANDARDS
4. LOTS 5-18 TO BE CONSTRUCTED TO PROTECT THE SLOPE AT THE REAR LOT LINE AND THE LOT OWNER IS RESPONSIBLE TO DIRECT ANY RUN-OFF AROUND THE HOME.
5. ALL VALVES SHALL BE FLANGED

### LEGEND

- PROPERTY BOUNDARY LINE
- SEC --- PROPOSED 8" PVC C-900 DR-18
- PURPLE --- SECONDARY WATERLINE
- CUL --- PROPOSED 6" PVC CLASS-200 CULINARY WATERLINE
- SD --- PROPOSED ADS STORM DRAIN W/ MH
- 8"SS --- PROPOSED PVC SDR-35 SEWER W/ MH
- ⊕ --- EXISTING STORM DRAIN MANHOLE
- ⊙ --- EXISTING SANITARY SEWER MANHOLE
- --- EXISTING CULINARY OR SECONDARY IRRIGATION PIPE (SIZE AND TYPE SHOWN)
- 0.40%--- APPROX. STREET GRADES
- ▼ --- CONST. BLOW-OFF
- ⊕ --- EXISTING FIRE HYDRANT
- ⊕ --- CONST. FIRE HYDRANT
- EX-CB --- EXISTING CATCH BASIN
- COB --- COMBINATION BOX
- CI --- CURB INLET
- SD BOX --- STORM DRAIN BOX



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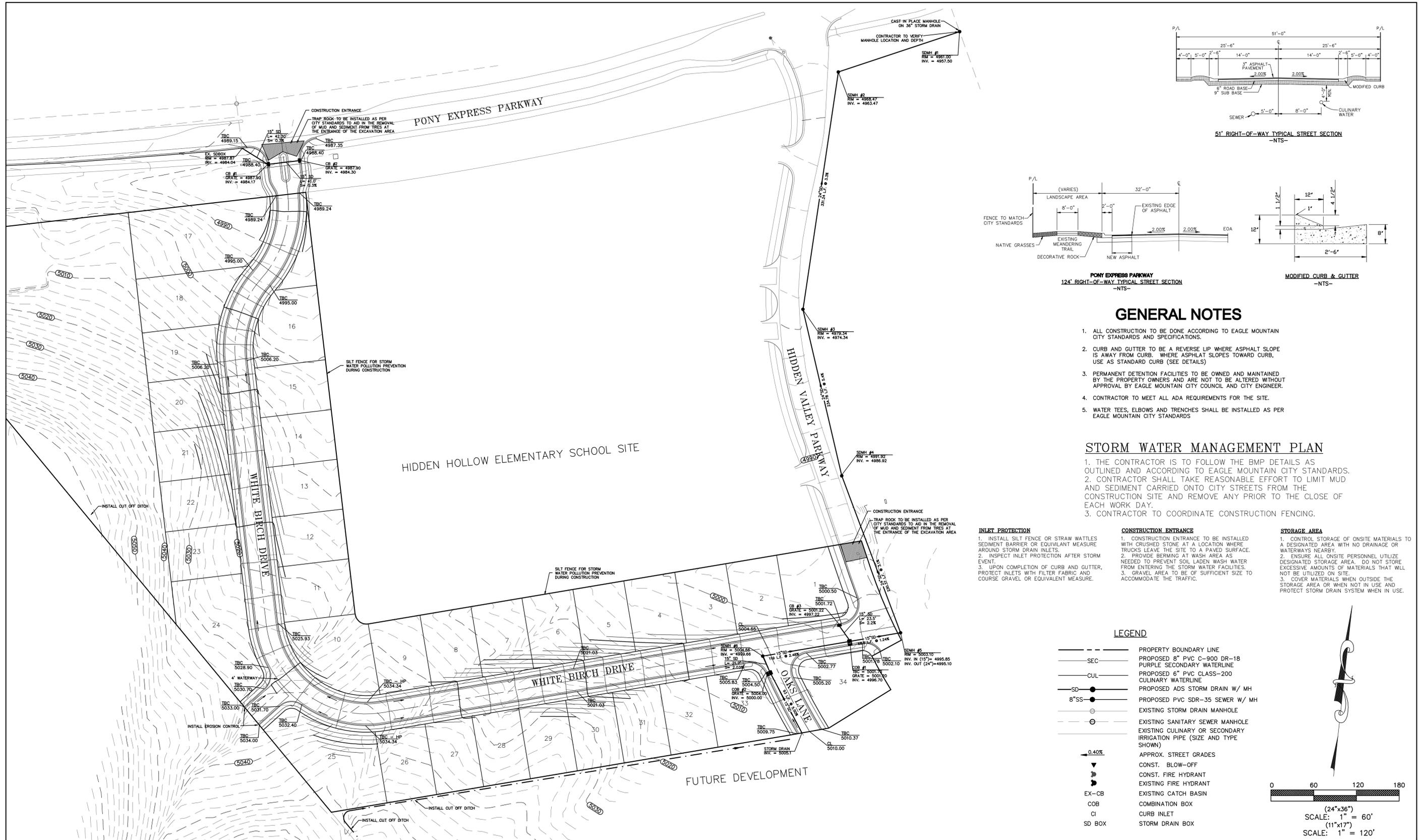
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EAGLE MOUNTAIN  
 UTAH

HIDDEN HOLLOW

SITE/UTILITY PLAN

JOB  
 RYAN  
 SHEET NO.  
 2 OF 7



### GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
2. CURB AND GUTTER TO BE A REVERSE LIP WHERE ASPHALT SLOPE IS AWAY FROM CURB. WHERE ASPHALT SLOPES TOWARD CURB, USE AS STANDARD CURB (SEE DETAILS)
3. PERMANENT DETENTION FACILITIES TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS AND ARE NOT TO BE ALTERED WITHOUT APPROVAL BY EAGLE MOUNTAIN CITY COUNCIL AND CITY ENGINEER.
4. CONTRACTOR TO MEET ALL ADA REQUIREMENTS FOR THE SITE.
5. WATER TEES, ELBOWS AND TRENCHES SHALL BE INSTALLED AS PER EAGLE MOUNTAIN CITY STANDARDS

### STORM WATER MANAGEMENT PLAN

1. THE CONTRACTOR IS TO FOLLOW THE BMP DETAILS AS OUTLINED AND ACCORDING TO EAGLE MOUNTAIN CITY STANDARDS.
2. CONTRACTOR SHALL TAKE REASONABLE EFFORT TO LIMIT MUD AND SEDIMENT CARRIED ONTO CITY STREETS FROM THE CONSTRUCTION SITE AND REMOVE ANY PRIOR TO THE CLOSE OF EACH WORK DAY.
3. CONTRACTOR TO COORDINATE CONSTRUCTION FENCING.

#### INLET PROTECTION

1. INSTALL SILT FENCE OR STRAW WATTLES SEDIMENT BARRIER OR EQUIVALENT MEASURE AROUND STORM DRAIN INLETS.
2. INSPECT INLET PROTECTION AFTER STORM EVENT.
3. UPON COMPLETION OF CURB AND GUTTER, PROTECT INLETS WITH FILTER FABRIC AND COURSE GRAVEL OR EQUIVALENT MEASURE.

#### CONSTRUCTION ENTRANCE

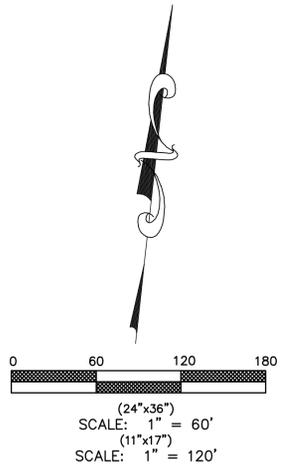
1. CONSTRUCTION ENTRANCE TO BE INSTALLED WITH CRUSHED STONE AT A LOCATION WHERE TRUCKS LEAVE THE SITE TO A PAVED SURFACE.
2. PROVIDE BERMING AT WASH AREA AS NEEDED TO PREVENT SOIL LADEN WASH WATER FROM ENTERING THE STORM WATER FACILITIES.
3. GRAVEL AREA TO BE OF SUFFICIENT SIZE TO ACCOMMODATE THE TRAFFIC.

#### STORAGE AREA

1. CONTROL STORAGE OF ONSITE MATERIALS TO A DESIGNATED AREA WITH NO DRAINAGE OR WATERWAYS NEARBY.
2. ENSURE ALL ONSITE PERSONNEL UTILIZE DESIGNATED STORAGE AREA. DO NOT STORE EXCESSIVE AMOUNTS OF MATERIALS THAT WILL NOT BE UTILIZED ON SITE.
3. COVER MATERIALS WHEN OUTSIDE THE STORAGE AREA OR WHEN NOT IN USE AND PROTECT STORM DRAIN SYSTEM WHEN IN USE.

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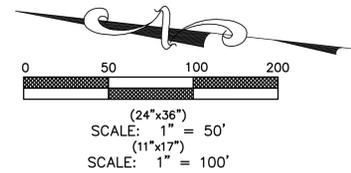
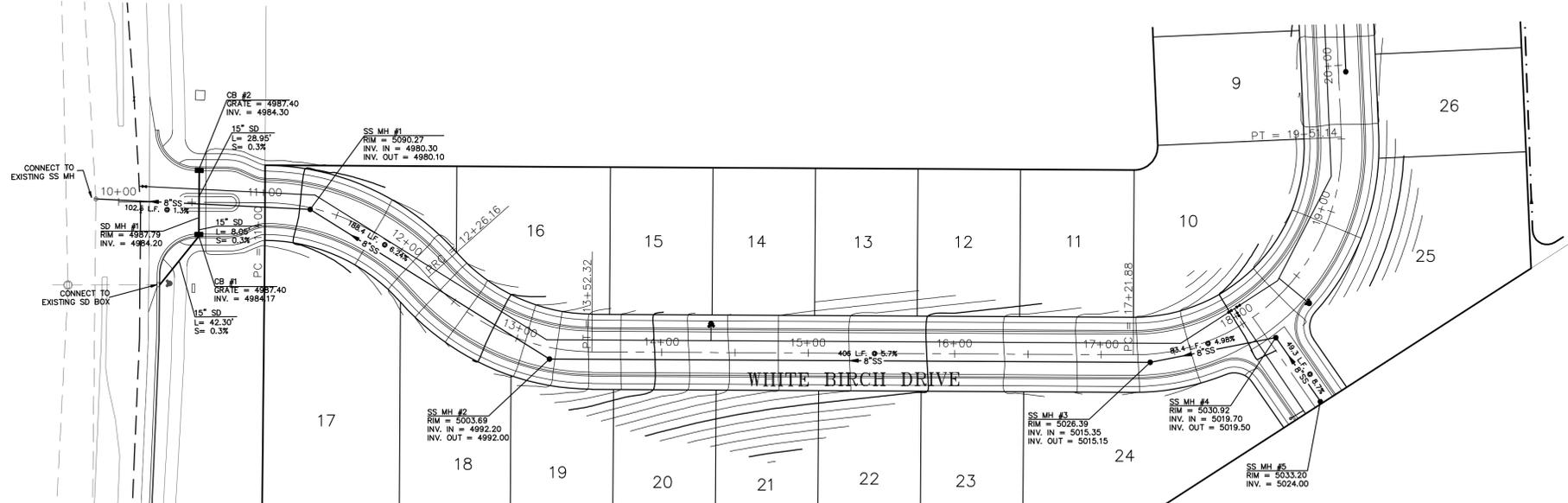
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EAGLE MOUNTAIN  
 UTAH

*HIDDEN HOLLOW*

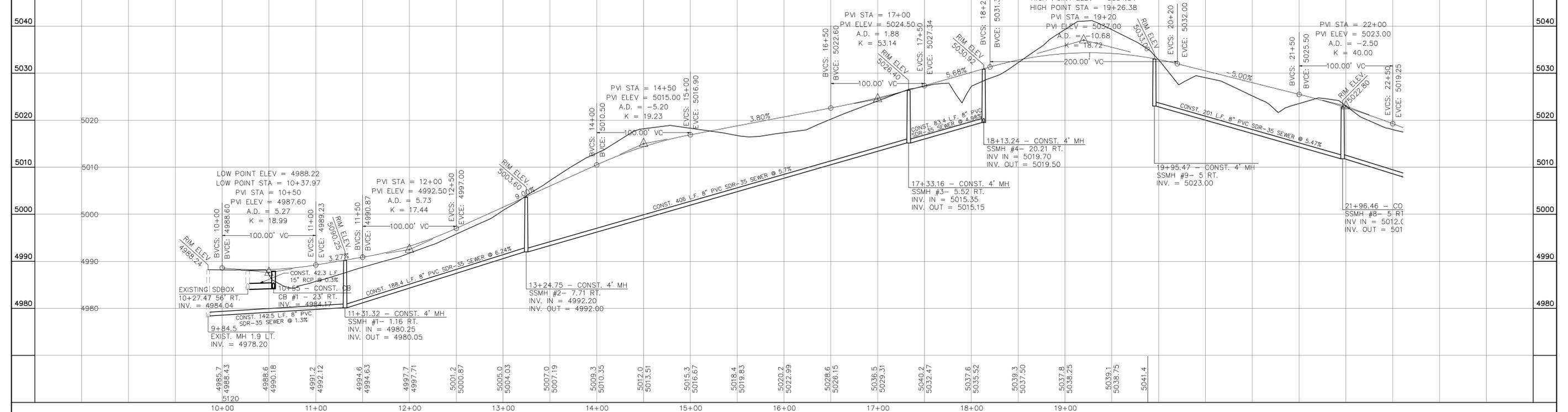
GRADING AND DRAINAGE PLAN

JOB  
 RYAN  
 SHEET NO.  
 3 OF 7



(24"x36")  
HORIZONTAL 1" = 50'  
VERTICAL 1" = 10'

(11"x17")  
HORIZONTAL 1" = 100'  
VERTICAL 1" = 20'



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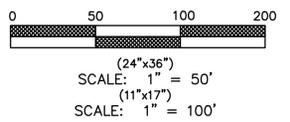
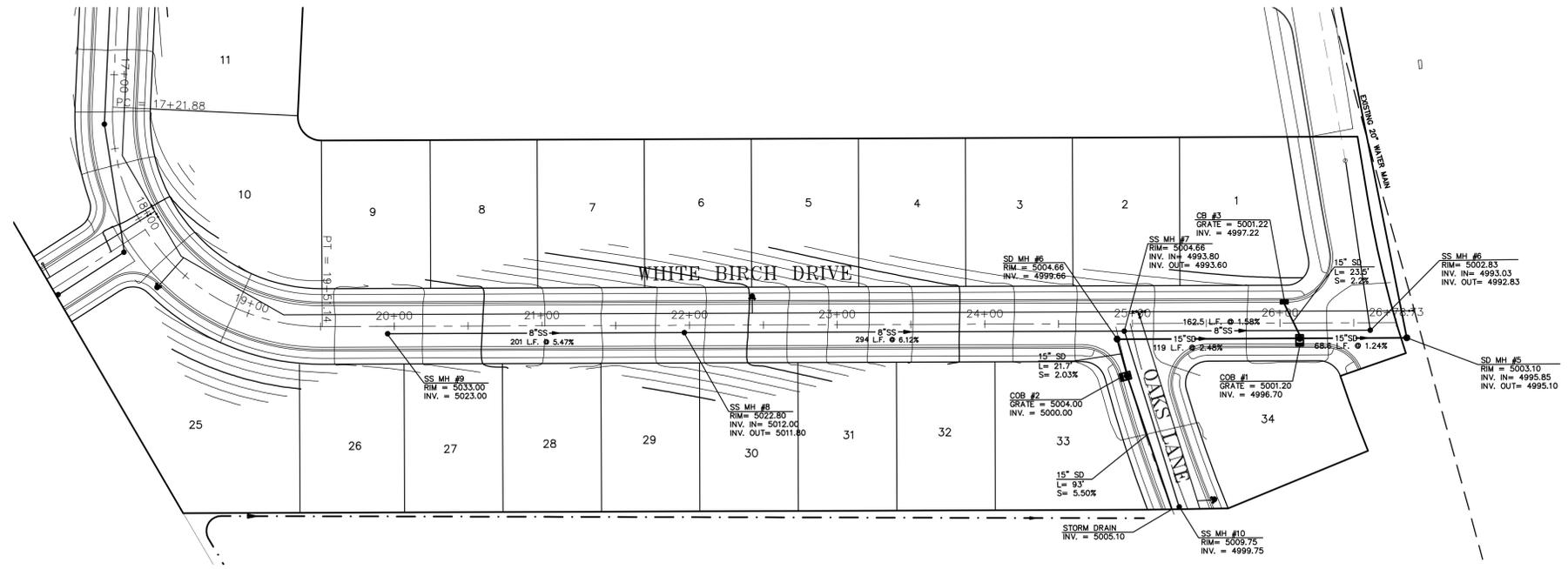
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UTAH

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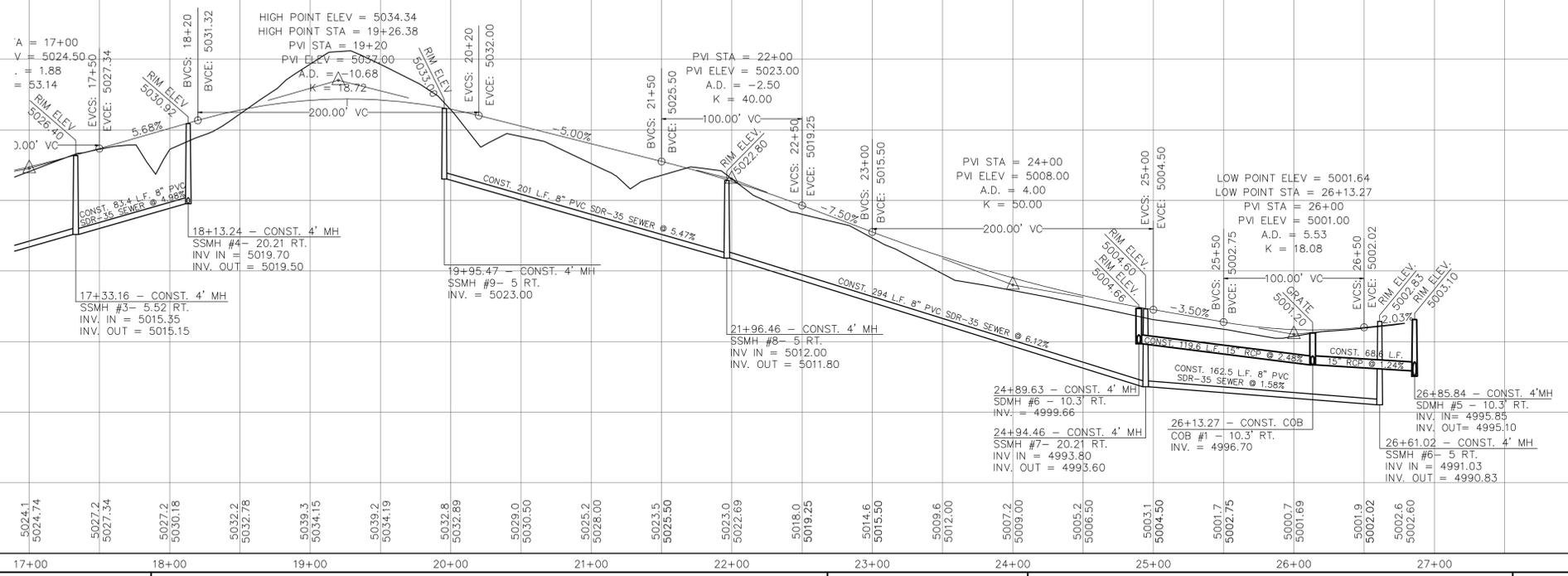
WHITE BIRCH DRIVE  
PLAN AND PROFILE

JOB RYAN  
SHEET NO. 4 OF 7



### WHITE BIRCH DRIVE

(24"x36")  
 HORIZONTAL 1" = 50'  
 VERTICAL 1" = 10'  
 (11"x17")  
 HORIZONTAL 1" = 100'  
 VERTICAL 1" = 20'



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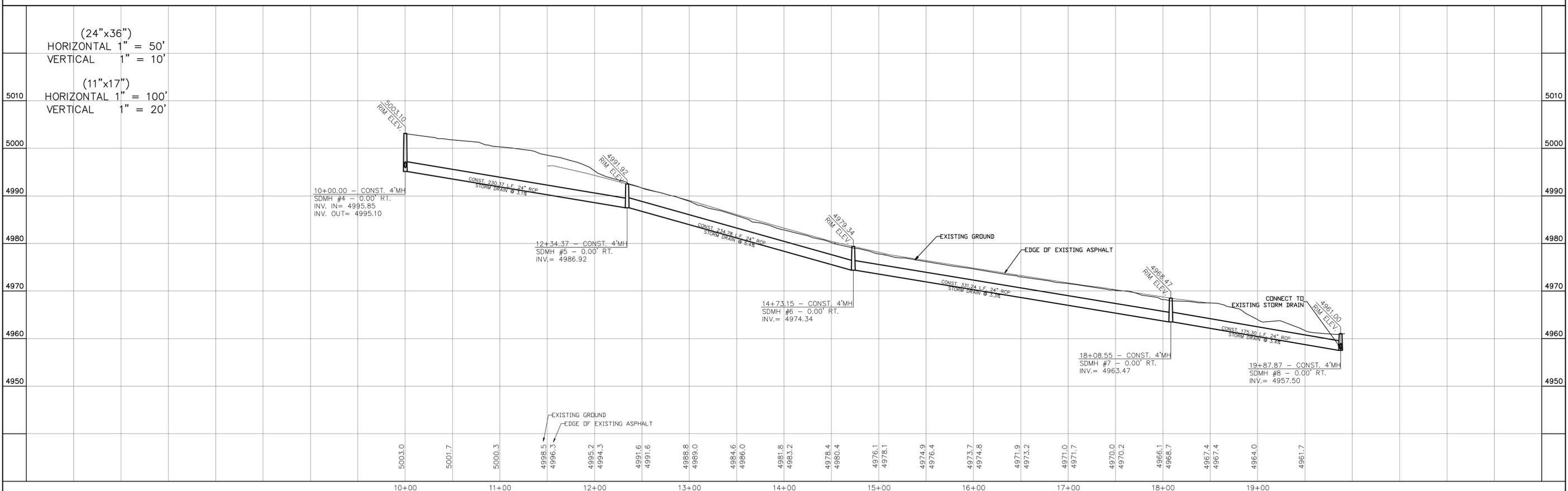
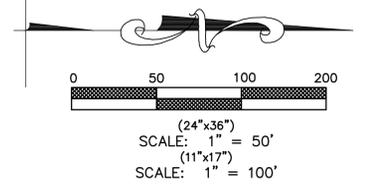
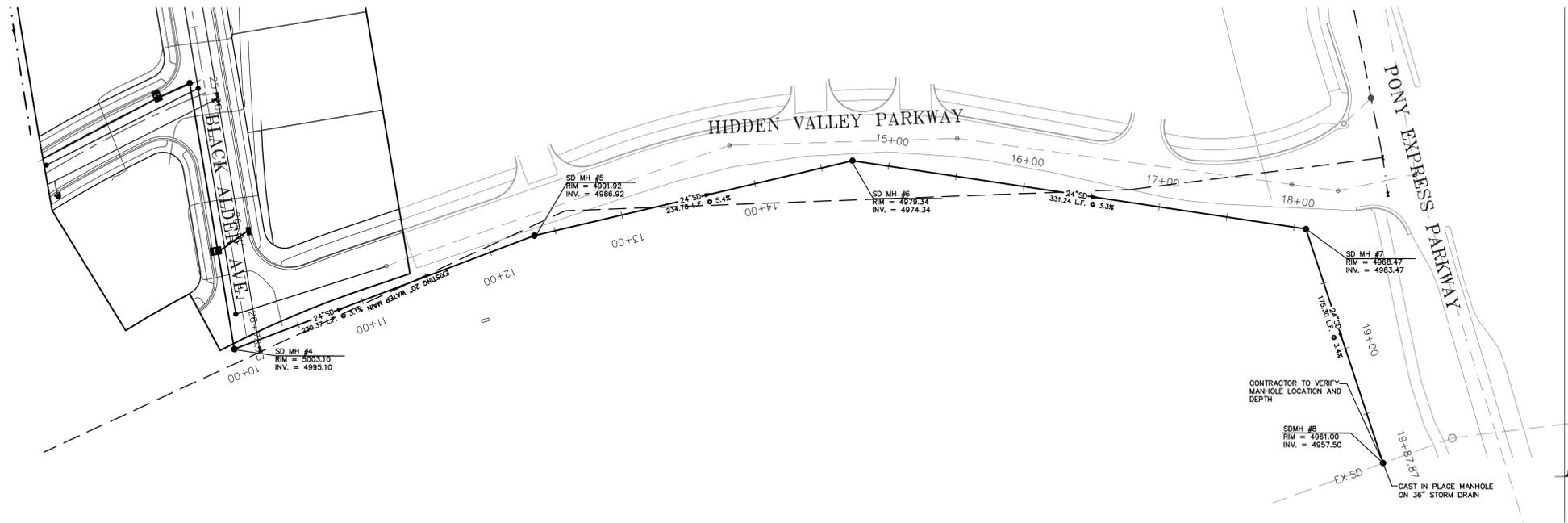
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EAGLE MOUNTAIN  
 UTAH

HIDDEN HOLLOW

WHITE BIRCH DRIVE  
 PLAN AND PROFILE

JOB  
 RYAN  
 SHEET NO.  
 5 OF 7



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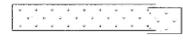
EAGLE MOUNTAIN UTAH  
 HIDDEN HOLLOW

OFFSITE STORM DRAIN

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 JOB RYAN  
 SHEET NO. 6 OF 7



**LEGEND**

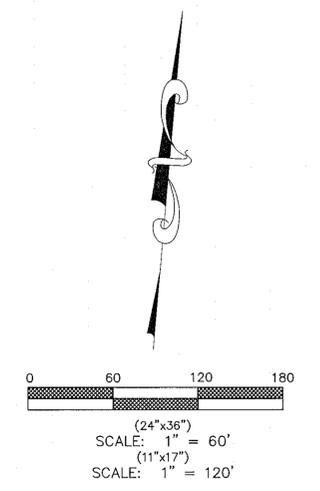
-  DECORATIVE ROCK (BROWN) WITH NATIVE GRASSES AND PLANTS
-  DECORATIVE ROCK (GRAY)
-  TYPICAL STREET TREE
-  TYPICAL EVERGREEN TREE
-  TYPICAL SHRUB/ NATIVE GRASSES
-  BOULDER

**NOTE:**  
 1. THE FRONT YARDS TO BE LANDSCAPE WITH SHRUBS, GRASS, TREES AND SPRINKLER SYSTEM (TYP.)  
 2. PLANTER AREA ALONG PONY EXPRESS TO BE CONSTRUCTED SIMILAR TO THE PLANTER TO THE SOUTH ALONG LONG TREE DEVELOPMENT WITH TREES, SHRUBS AND NATIVE GRASSES AND IS TO INCLUDE A DRIP IRRIGATION SYSTEM

**CALCULATIONS:**  
 DEVELOPED AREA 6.67 ACRES  
 LANDSCAPE REQ'D (8%) 0.534 ACRES  
 REQUIRED POINTS 38 POINTS

**PROVIDED:**  
 PONY EXPRESS ALONG DEV. 1.06 ACRES  
 ENTRANCE LANDSCAPE 0.05 ACRES  
 PONY EXPRESS ALONG SCHOOL 1.12 ACRES

THE ADDITIONAL IMPROVEMENTS ALONG PONY EXPRESS IN FRONT OF THE SCHOOL WILL PROVIDE THE REQUIRED 0.534 ACRES AND AN ADDITIONAL 0.586 ACRES OR 25,526 SQ. FT. AT 2 POINTS PER 1000 SQ FT THIS WOULD PROVIDE FOR 51 PARK ELEMENT POINTS.



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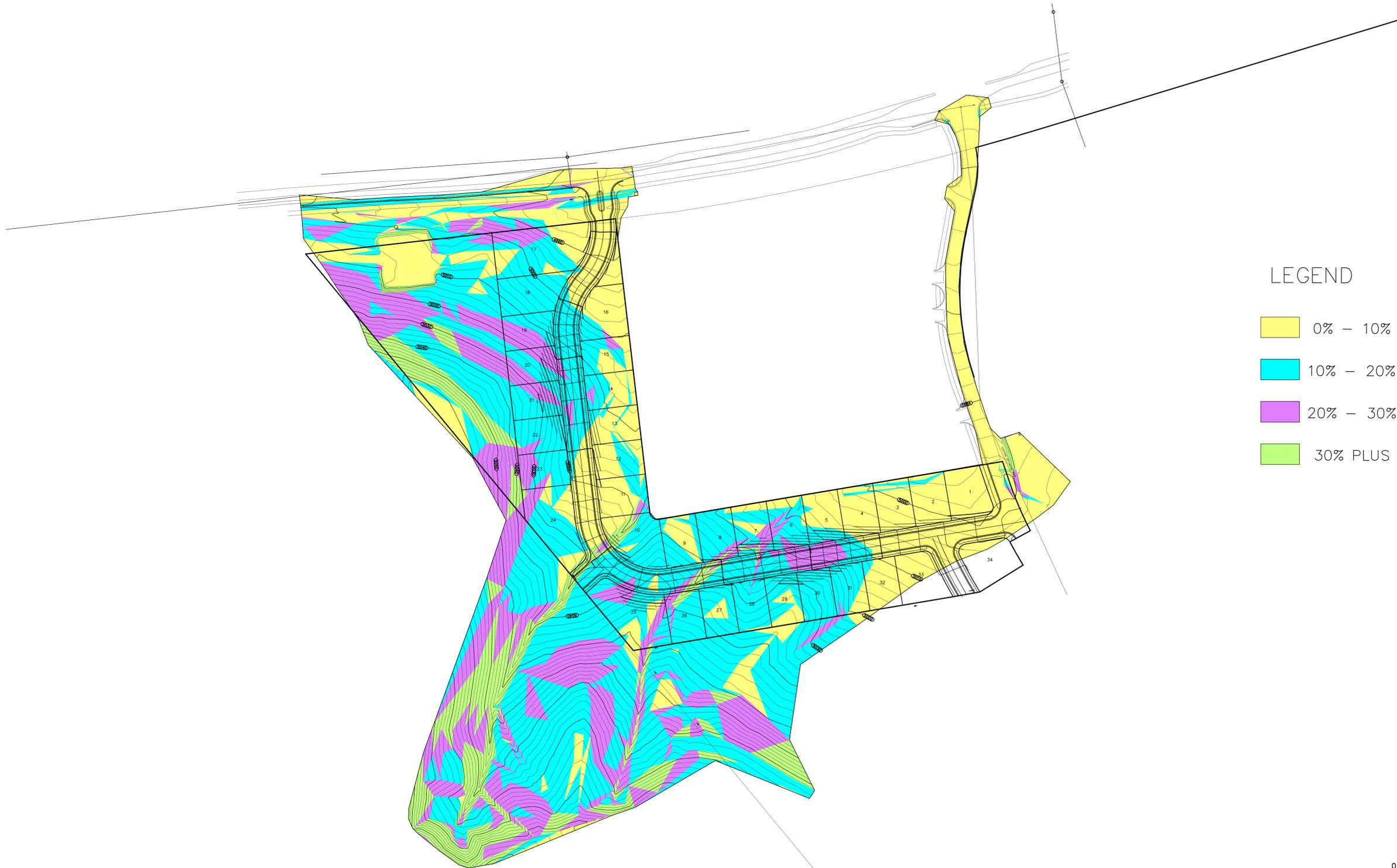
EAGLE MOUNTAIN  
 UTAH

HIDDEN HOLLOW

LANDSCAPE PLAN

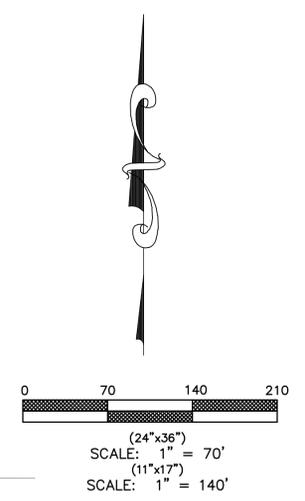
JOB  
 RYAN  
 SHEET NO.  
 7 OF 7





LEGEND

- 0% - 10%
- 10% - 20%
- 20% - 30%
- 30% PLUS



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EAGLE MOUNTAIN  
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*HIDDEN HOLLOW*

SLOPE ANALYSIS

JOB  
 RYAN  
 SHEET NO.  
 1 OF 1

J:\RYAN BYBEE\EAGLE MOUNTAIN.dwg\Prelin\_Utility.dwg