

AMERICAN FORK CITY COUNCIL
NOVEMBER 18, 2014
NOTICE OF PUBLIC HEARING, SPECIAL SESSION & AGENDA

SPECIAL SESSION

The American Fork City Council will meet in special session on **Tuesday, November 18, 2014 in the American Fork City Hall, 31 North Church Street, commencing at 5:00 p.m.** The agenda shall be as follows:

1. Pledge of Allegiance; prayer by Derric Rykert; roll call.
2. Twenty-minute public comment period – limited to two minutes per person.
3. City Administrator’s Report.
4. Council Reports concerning Committee Assignments.
5. Mayor’s Report

COMMON CONSENT AGENDA (*Common Consent* is that class of Council action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda by the Mayor or a Councilmember and placed in the action items.)

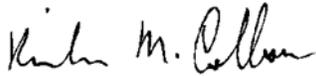
1. Approval of the November 11, 2014 City Council minutes.
2. Approval of the City bills for payment and purchase requests over \$25,000. – *Cathy Jensen*
3. Approval of authorization to release the Improvements Construction Guarantee and issue a Notice of Acceptance for the Marcy’s Orchard Subdivision at 700 North 500 East in the amount of \$242,483.32. – *Staff*

ACTION ITEMS

1. Review and action on subdivisions, commercial projects, condominiums, and PUD’s including 1) plat approval; 2) method of satisfaction of water rights requirements; 3) posting of an improvement bond or setting of a time frame for improvement installation; and 4) authorization to sign the final plat and acceptance of all dedications to the public and to have the plat recorded.
 - a. Review and action on an Ordinance adopting the revised final plat and site plan of Harrington Hollow Planned Community, consisting of 30 units, located in the vicinity of 620 East 650 South in the PC-Planned Community zone. – *Fieldstone Homes*
2. Review and action on an Improvements Agreement with Fieldstone Utah Investors, LLC for improvements associated with the Harrington Hollow Subdivision. - *Fieldstone Utah Investors, LLC*
3. Review and action on the approval of a contract change order to the 2014 Pacific Drive Overlay and Drainage project. – *Staff*
4. Review and action on the Ordinance of Annexation and the Annexation Agreement for the McKinney Annexation, a portion of the Queens Drive Annexation, consisting of 3.42 acres at approximately 640 North 1100 East and to be placed in the RA-1 zone. – *John & April McKinney*

5. Review and action on an award of a contract to FORSGREN & ASSOCIATES, INC to provide engineering, design and construction services of a roundabout and box culvert bridge with appurtenant landscape and architectural elements, and also roadway improvements on 980 North. – *Staff*
6. Review and action to certify the results of the November 4, 2014 Election.
7. Adjournment

Dated this 13 day of November, 2014

A handwritten signature in black ink, appearing to read "Richard M. Colborn". The signature is written in a cursive style with a prominent initial "R".

Richard M. Colborn
City Recorder



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
November 18, 2014

Department Public Works

Director Approval 

AGENDA ITEM (Common Consent Agenda) - Consideration regarding authorization to release the Improvements Construction Guarantee and issue a Notice of Acceptance for the Marcy's Orchard Subdivision.

SUMMARY RECOMMENDATION The City Engineer recommends that the Improvements Construction Guarantee (ICG) be released. The improvements were found in a condition meeting City standards and specifications and in conformance with the approved project construction plans.

BACKGROUND Pursuant to the terms of Sections 17.9.100 and 17.9.304 of the City Development Code, the City Council may authorize the release of the ICG and issue a "Notice of Acceptance" of the project improvements. Following the issuance of the Notice of Acceptance, the City accepts ownership of the project improvements. The project will then enter the one (1) year Durability Testing Period as specified in section 17.9.400 of the City Development Code.

In issuing a Notice of Acceptance, the City Council finds that:

- The condition of the improvements are found to be satisfactory.
- All liens have been released, all outstanding fees paid, costs of administration paid, and reimbursement payments to prior developers (if any) have been made.
- The project clean-up is found to be satisfactory.

The City may request a current title report or other such measures or reports as deemed appropriate by the City as a means of determining the existence of any unreported liens or other claims upon the project. All financial information (if any) provided by the developer is attached. The Council may request additional information as deemed necessary.

BUDGET IMPACT Following the release of the ICG, there is a one (1) year Durability Testing Period wherein ten percent (10%) of the total ICG is held to ensure the durability of the constructed improvements.

SUGGESTED MOTION Move to accept the improvements and authorize the Mayor to execute the Notice of Acceptance for the Marcy's Orchard Subdivision. Authorize the City

Engineer to issue documents and/or payments to release the Improvement Construction Guarantee (ICG). Commence the Durability Testing Period by retaining ten percent (10%) of the ICG. Find that the project improvements are in a condition meeting City ordinances, standards, and specifications and are in conformance with the approved project construction plans.

Note: With passage of the Common Consent Agenda items, the City Council will enact the motion and findings as noted in the "Suggested Motion" heading found above.

SUPPORTING DOCUMENTS

1. "Notice of Acceptance"
2. "Notice of Completion and Request for Release" form submitted by the applicant/developer with accompanying proof of payment/lien releases for any contractors for the subdivision and/or project.



NOTICE OF COMPLETION AND REQUEST FOR RELEASE

Projects and/or subdivisions completed within the corporate limits of American Fork City

Mayor James H. Hadfield
51 East Main
American Fork, UT 84003

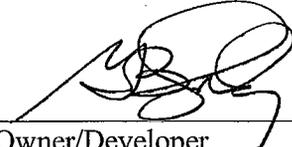
Re: Marcy's Orchard Subdivision

Dear Mayor Hadfield,

As the project and/or subdivision construction has now been completed in full, I request that the Improvement Construction Guarantee be released in full up to one hundred percent (100%) of the initial construction costs. Following the release of the Improvement Construction Guarantee, I understand that the one (1) year Durability Testing Period will commence wherein ten percent (10%) of the total Improvements Construction Guarantee is held to ensure the durability of the constructed improvements per City Ordinance Section 17.9.

I, Garrett Seely, the owner, developer, and authorized representative of Marcy's Orchard Subdivision, do hereby request the release of the Improvement Construction Guarantee for this project. I certify that all liens have been released, all outstanding fees, costs of administration, and reimbursement payments to prior developers (if any) have been made, and the project clean-up is complete.

Project: Marcy's Orchard Subdivision
Address: 700 North 500 East
Requested ICG Amount: \$242,483.32


Owner/Developer

woodside Homes of Utah, LLC

11/6/14
Date



**NOTICE OF ACCEPTANCE
AND
IMPROVEMENTS CONSTRUCTION GUARANTEE
RETAINER RELEASE AUTHORIZATION**

The City Council of American Fork City, a Municipal Corporation and Body Politic in the State of Utah, hereby authorizes the release of the Improvements Construction Guarantee for the Marcy's Orchard Subdivision pursuant to the terms of Sections 17.9.100 and 17.9.304 of the City Development Code. The City council accepts the improvements completed with the finding that said improvements are in a condition meeting City ordinances, standards, and specifications, are in conformance with the approved project construction plans, and all conditions for release as detailed in section 17.9.304 of the City Code have been satisfied.

The City Council hereby authorizes the City Engineer to issue a letter to the financial guarantee institution authorizing release of the Improvements Construction Guarantee, or to issue an authorized City check as appropriate for the type of guarantee provided. Upon issuance of this Notice of Acceptance, the Durability Testing Period shall commence as detailed in section 17.9.400 of the City Development Code. An amount totaling ten percent (10%) of the Improvements Construction Guarantee funds will be held as the Durability Retainer pursuant to the City Performance Guarantee ordinance.

Amount Released: \$242,483.32

PASSED THIS _____ DAY OF _____, _____.

James H. Hadfield, Mayor

ATTEST:

Richard M. Colborn, City Recorder

Planned Community zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat and publication of the ordinance subject to:

- All conditions as identified in the August 20, 2014 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ordinance
2. Plat and site plan documentation
3. Staff report
4. Planning commission meeting minutes, August 20, 2014
5. City council meeting minutes, September 9, 2014

ORDINANCE NO.

AN ORDINANCE APPROVING THE REVISED FINAL PLAN AND SITE PLAN FOR HARRINGTON HOLLOW PLANNED COMMUNITY, CONSISTING OF 30 UNITS LOCATED IN THE VICINITY OF 620 EAST 650 SOUTH IN THE PC-PLANNED COMMUNITY ZONE.

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,

PART I

DEVELOPMENT APPROVED - ZONE MAP AMENDED

- A. The Revised Final Plat & Site Plan for Harrington Hollow Planned Community, consisting of 30 units located in the vicinity of 620 East 650 South in the PC-Planned Community zone is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.
- D. Ordinance No. 2014-09-32 is declared null and void.

PART II

ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication.

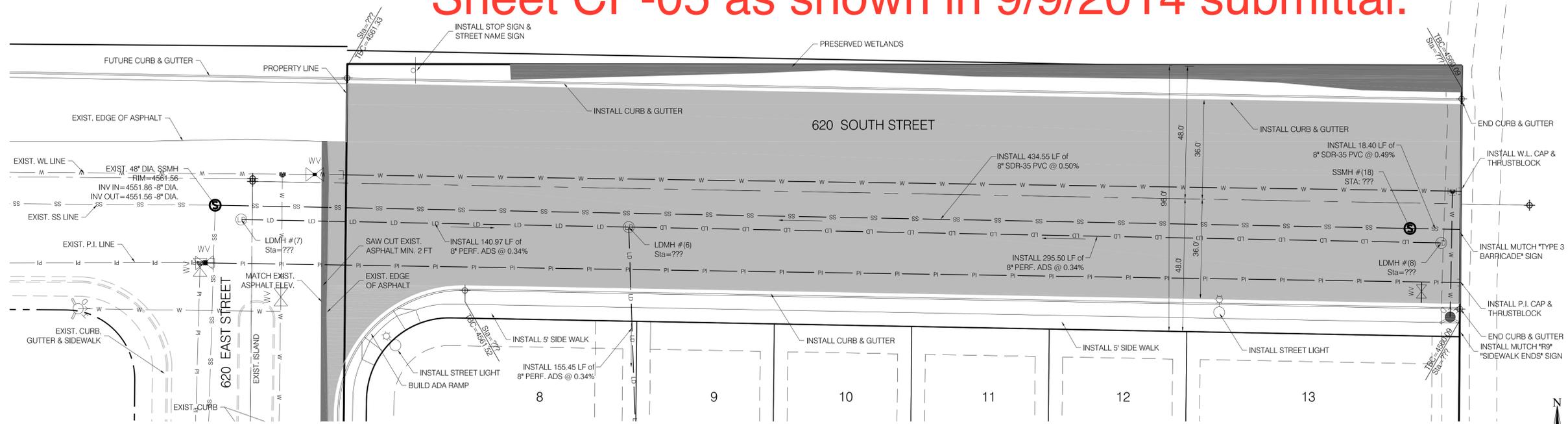
PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 18 DAY OF NOVEMBER, 2014.

ATTEST:

James H. Hadfield, Mayor

Richard M. Colborn, City Recorder

Sheet CP-05 as shown in 9/9/2014 submittal.



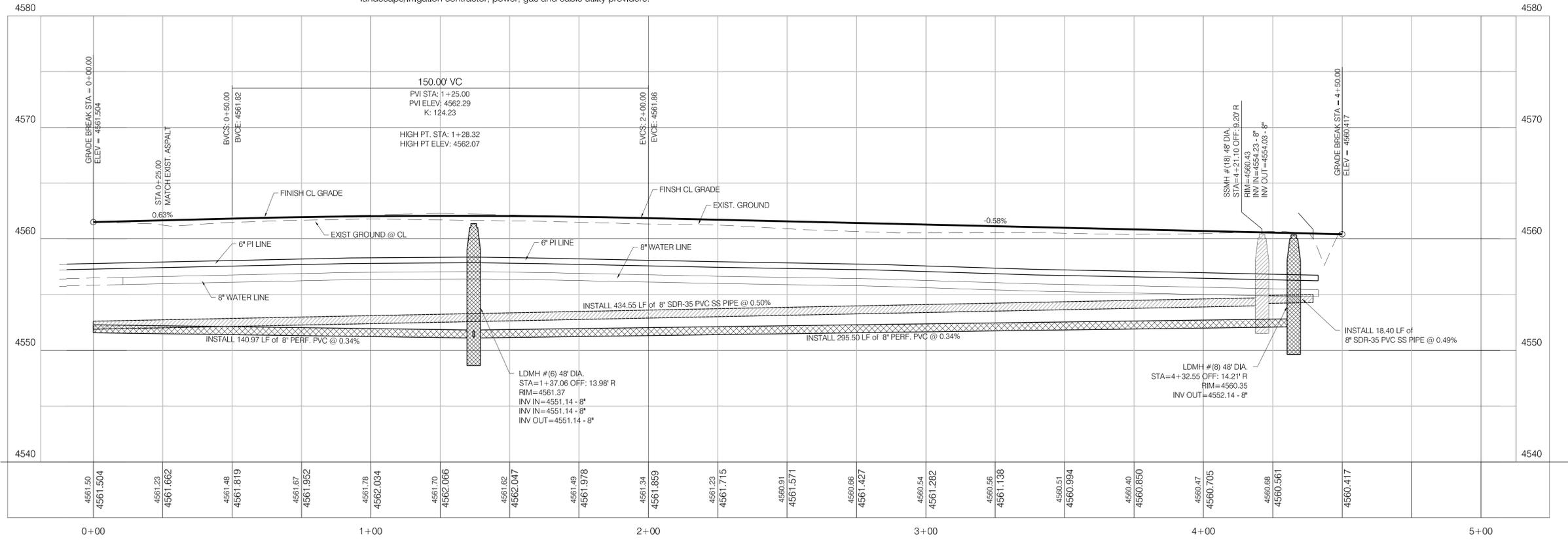
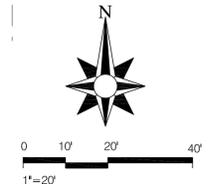
Notes:

1. Refer to Applicable General Notes on Sheet C-03 and General Detail Sheets for additional information.
2. All construction and Installation of improvements shall conform to the American Fork City Ordinances, Policies, Requirements, Construction Standards and any other Rules pertaining to the development of this property.
3. Contractor to verify all conditions and dimensions on site. It shall be the Contractor's responsibility to verify the actual location and elevation of existing utilities and conditions.
4. Contractor to coordinate all utility work with the appropriate Utility Provider. Contractor to verify and follow all Utility Provider requirements, standards and specifications.
5. Where new asphalt will be placed next to existing asphalt the contractor shall cut the existing asphalt in a vertical and horizontally straight line a minimum of 2 feet from the existing edge. Existing asphalt, base and subgrade shall be removed and replaced with new compacted materials.
6. Prior to placing asphalt surface contractor shall coordinate with other trades and utility companies to insure required conduits have been placed within the asphalt surface area. Primarily the landscape/irrigation contractor, power, gas and cable utility providers.

Note:
Top Back of Curb (TBC) is -0.39 feet below the center line grade.

LEGEND

| Plan View | |
|--------------|--------------------------|
| W | Proposed Potable Water |
| SS | Proposed Sanitary Sewer |
| PI | Proposed Secondary Water |
| SD | Proposed Storm Drain |
| LD | Proposed Land Drain |
| Profile View | |
| (Hatched) | Proposed Potable Water |
| (Hatched) | Proposed Sanitary Sewer |
| (Hatched) | Proposed Secondary Water |
| (Hatched) | Proposed Storm Drain |
| (Hatched) | Proposed Land Drain |



| NO. | DATE | DESCRIPTION |
|-----|------------|----------------------|
| 3 | 07/23/2014 | TBC #2 Prel Comments |
| 2 | 07/17/2014 | TBC #1 Prel Comments |
| 1 | 04/07/2014 | TBC #1 Comments |

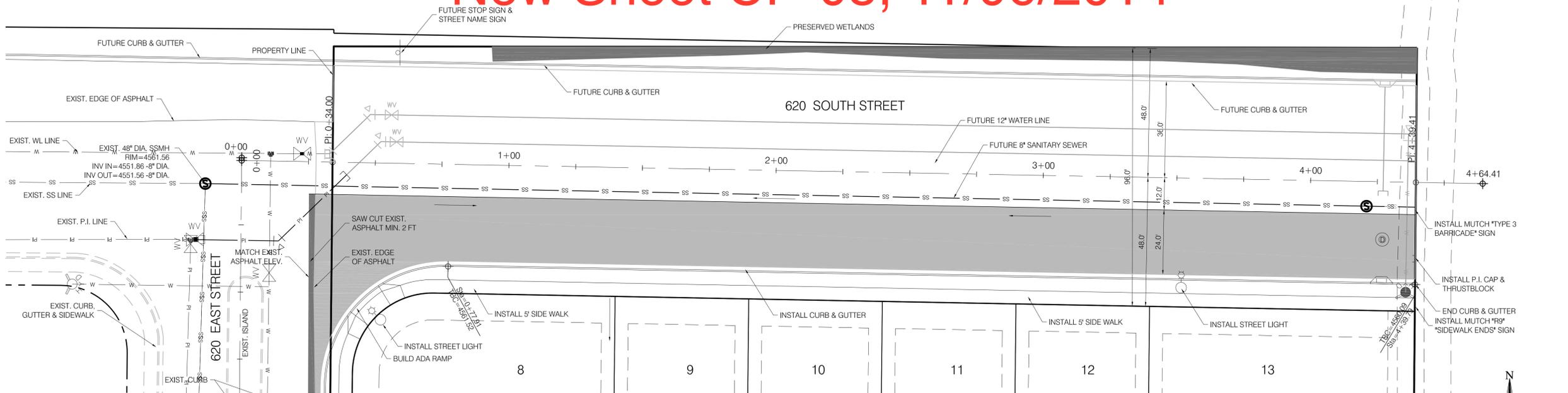
293 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
DATE Mar 14, 2014
HOR SCALE 1"=20'
VER SCALE 1"=5'
ENGINEER VH
DRAFTED BS
CHECKED VH

TITLE
PLAN & PROFILE
620 SOUTH

New Sheet CP-05, 11/06/2014

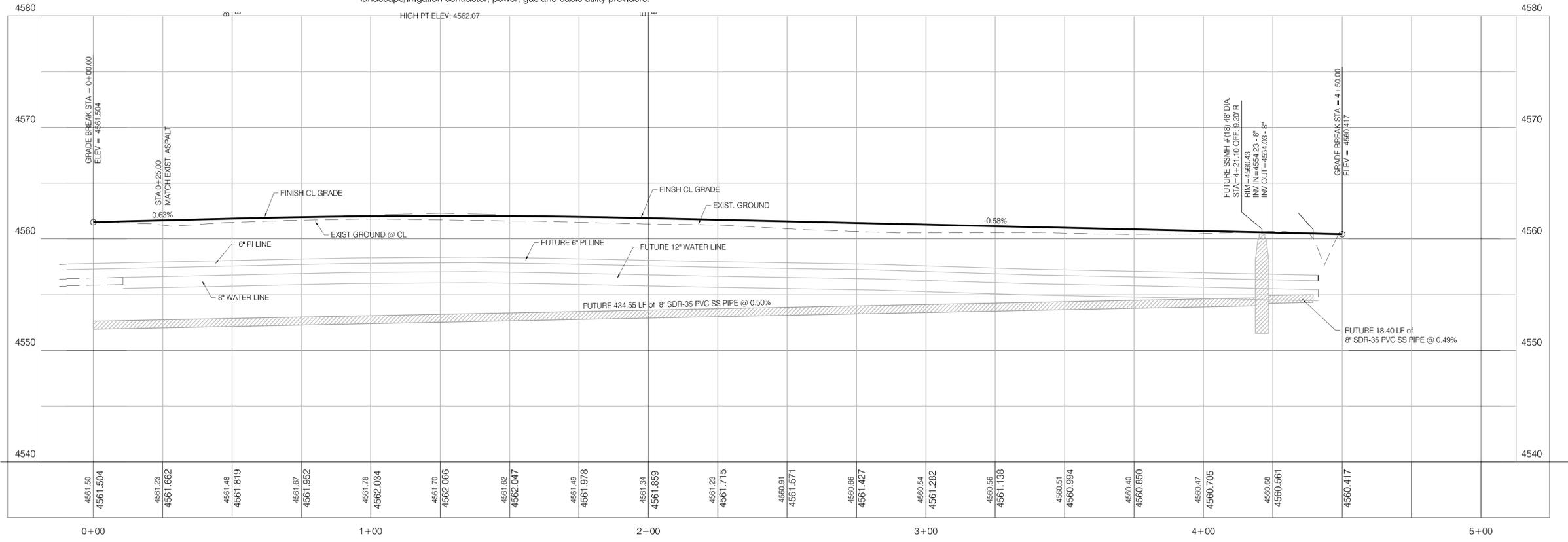
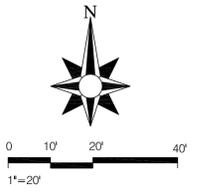
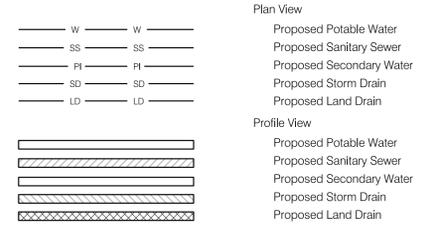


Notes:

1. Refer to Applicable General Notes on Sheet C-03 and General Detail Sheets for additional information.
2. All construction and Installation of improvements shall conform to the American Fork City Ordinances, Policies, Requirements, Construction Standards and any other Rules pertaining to the development of this property.
3. Contractor to verify all conditions and dimensions on site. It shall be the Contractor's responsibility to verify the actual location and elevation of existing utilities and conditions.
4. Contractor to coordinate all utility work with the appropriate Utility Provider. Contractor to verify and follow all Utility Provider requirements, standards and specifications.
5. Where new asphalt will be placed next to existing asphalt the contractor shall cut the existing asphalt in a vertical and horizontally straight line a minimum of 2 feet from the existing edge. Existing asphalt, base and subgrade shall be removed and replaced with new compacted materials.
6. Prior to placing asphalt surface contractor shall coordinate with other trades and utility companies to insure required conduits have been placed within the asphalt surface area. Primarily the landscape/irrigation contractor, power, gas and cable utility providers.

Note:
Top Back of Curb (TBC) is -0.39 feet below the center line grade.

LEGEND



| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 4 | 11/06/2014 | 200 South Changes |
| 3 | 07/23/2014 | TFC #2 Final Comments |
| 2 | 07/17/2014 | TFC #1 Final Comments |
| 1 | 04/07/2014 | TFC #1 Comments |

223 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
DATE Mar 14, 2014
HOR SCALE 1"=20'
VER SCALE 1"=5'
ENGINEER VH
DRAFTED BS
CHECKED VH

TITLE
PLAN & PROFILE
620 SOUTH

CONSTRUCTION DRAWINGS
FOR

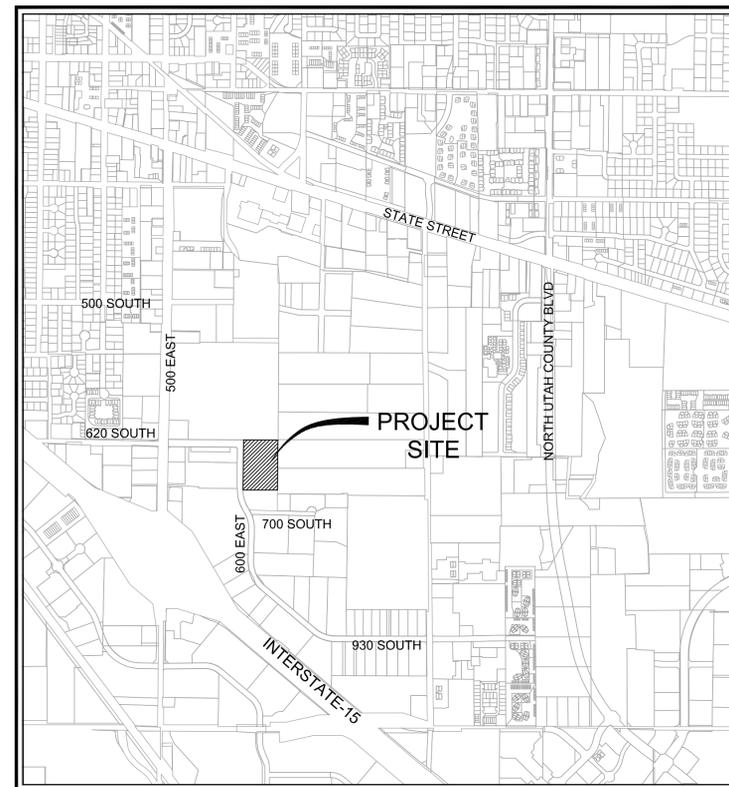
HARRINGTON HOLLOW

A PLANNED COMMUNITY
IN AMERICAN FORK, UTAH

NOVEMBER 5, 2014

PROJECT NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN FORK CITY AND A.P.W.A. UTAH CHAPTER CONSTRUCTION AND MATERIAL SPECIFICATIONS. IF A CONFLICT BETWEEN SPECIFICATIONS IS FOUND THE MORE STRICT SPECIFICATION WILL APPLY AS DECIDED BY THE CITY ENGINEER.
2. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE WORK SITE, OR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.



VICINITY MAP
SCALE: 1" = 1000'

Property Address:
Between 620 South 600 East
and 700 South 700 East

Owner / Developer:
Fieldstone Homes
12896 S. Pony Express Rd.
Draper, Ut 84020
Tel: 801.568.2372
Attn: Andy Flamm
andyf@fieldstone-homes.com

Engineer / Surveyor
H&H Engineering and Surveying, INC
233 E. Main St, Suite 2
American Fork, Ut 84003
Tel: 801-756-2488
Attn: Victor Hansen
victor@h-heng.com

LEGEND

| | |
|---------------|-----------------------------|
| — — — — — | Section Line |
| — — — — — | Boundary Line |
| — — — — — | Lot Line |
| — — — — — | Center Line |
| — — — — — | Right-Of-Way Line |
| — — — — — | Easement Line |
| — — — — — | Set Back Line |
| — W — W — | Existing Potable Water |
| — SS — SS — | Existing Sanitary Sewer |
| — FI — FI — | Existing Secondary Water |
| — SD — SD — | Existing Storm Drain |
| — GAS — GAS — | Existing Gas Line |
| — FO — FO — | Existing Fiber Optics |
| — TEL — TEL — | Existing Telephone Cable |
| — P — P — | Existing Power Cable |
| — x — x — | Existing Fence Line |
| — — — — — | Existing Major Contour Line |
| — — — — — | Existing Minor Contour Line |
| — W — W — | Proposed Potable Water |
| — SS — SS — | Proposed Sanitary Sewer |
| — FI — FI — | Proposed Secondary Water |
| — SD — SD — | Proposed Storm Drain |
| — GAS — GAS — | Proposed Gas Line |
| — FO — FO — | Proposed Fiber Optics |
| — TEL — TEL — | Proposed Telephone Cable |
| — P — P — | Proposed Power Cable |
| — — — — — | Proposed Major Contour Line |
| — — — — — | Proposed Minor Contour Line |

SHEET INDEX

| | |
|----------------------------|-------------------------|
| GENERAL PLANS | |
| C-01 | COVER SHEET |
| C-02 | RECORD OF SURVEY |
| C-03 | GENERAL NOTES |
| C-04 | SITE PLAN |
| C-04a | SUBDIVISION PLAT |
| C-05 | EMERGENCY RESPONSE PLAN |
| C-06 | OVERALL UTILITY PLAN |
| C-07 | WETLANDS PLAN |
| UTILITY PLANS | |
| CU-01 | WATER PLAN |
| CU-02 | SEWER PLAN |
| CU-03 | DRAINAGE PLAN |
| PLAN & PROFILES | |
| CP-01 | 600 EAST STREET |
| CP-02 | ACADEMY DRIVE |
| CP-03 | MAYORS PLACE DRIVE |
| CP-04 | BISHOP LANE |
| CP-05 | 620 SOUTH STREET |
| DETAILS | |
| CD-01 | GENERAL DETAILS |
| CD-02 | GENERAL DENTALS |
| CD-03 | GENERAL DETAILS |

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 4 | 11/05/2014 | 620 South Changes |
| 3 | 07/23/2014 | TRC #2 Final Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 1 | 04/07/2014 | TRC #1 Comments |

233 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

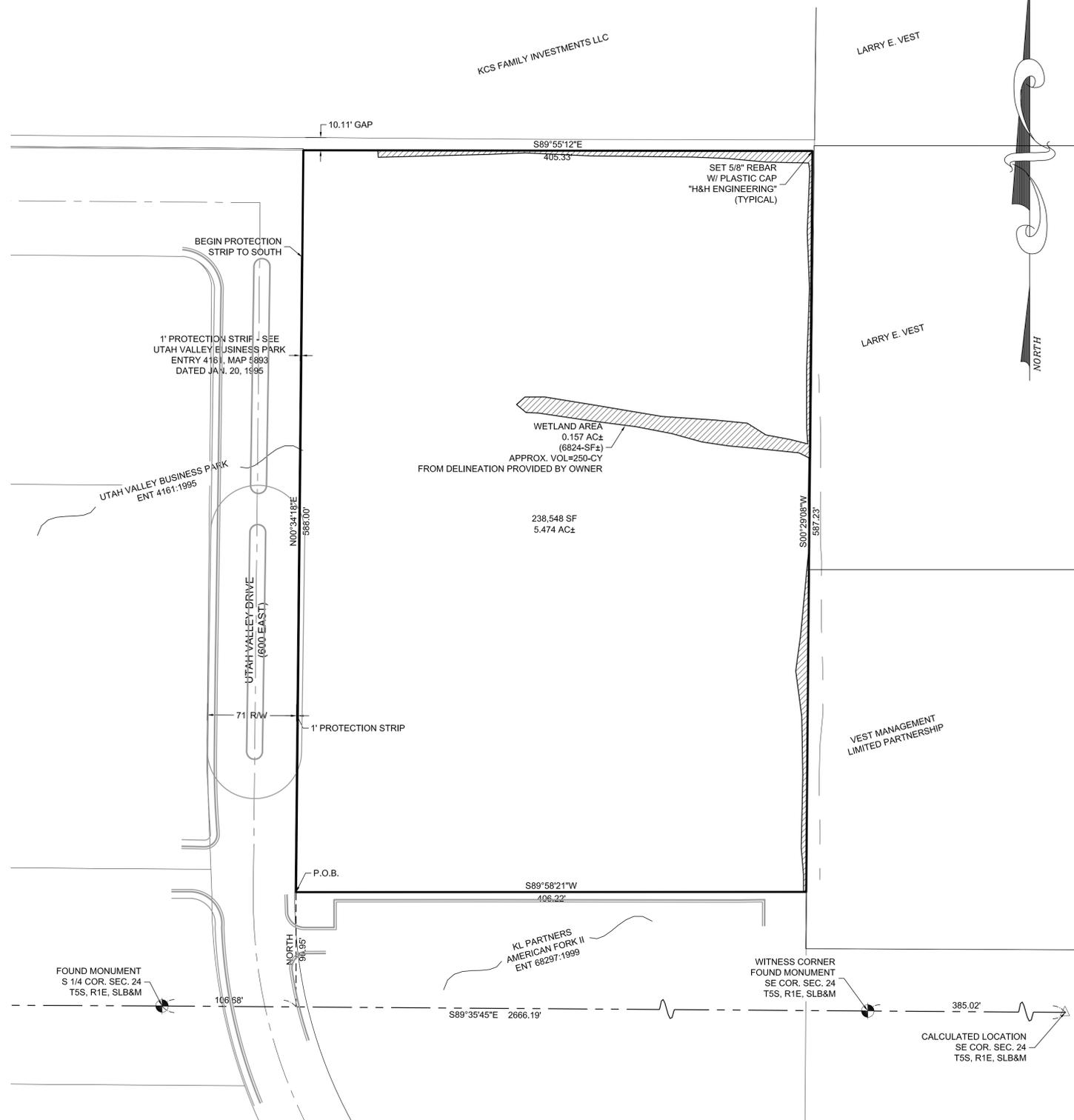
H&H
ENGINEERING &
SURVEYING, INC.

HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

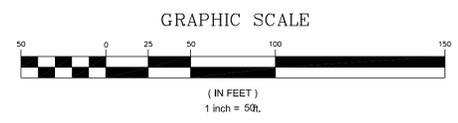
PROJECT NO. 13-425-02
DATE Mar 14, 2014
HOR SCALE As Noted
VER SCALE As Noted
ENGINEER VH
DRAFTED BS
CHECKED VH

TITLE
COVER SHEET

1 OF 19
SHEET
C-01



- LEGEND**
- SECTION LINE
 - ⊙ ⊠ SECTION MONUMENT
 - DEED LINE
 - FENCE LINE
 - PROPERTY BOUNDARY
 - PROPERTY CORNER



NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE BOUNDARIES OF THE PROPERTY SHOWN ON THIS PLAT. PROPERTY CORNERS WERE SET AS SHOWN WITH 5/8" REBAR AND PLASTIC CAPS STAMPED "H&H ENGINEERING & SURVEYING." BEARINGS OF ORIGINAL LEGAL HAVE BEEN ROTATED TO MATCH STATE PLANE COORDINATE BEARINGS OF SECTION LINE AS SHOWN.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS USED FOR THIS SURVEY S89°35'45"E BETWEEN THE SOUTH 1/4 CORNER AND THE SOUTHEAST CORNER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AS SHOWN. THIS IS BASED ON NAD 83 STATE PLANE COORDINATES, UTAH, CENTRAL ZONE, AND INFORMATION AVAILABLE AT THE UTAH COUNTY RECORDER'S OFFICE.

LEGAL DESCRIPTION:

DESCRIPTION OF RECORD - ENTRY 2100:2007, DATED JAN. 04, 2007
 PARCEL 1
 BEGINNING AT A POINT SOUTH 89°34'06" EAST 105.77 FEET AND NORTH 00°35'57" EAST 90.95 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 00°35'57" EAST 588.00 FEET ALONG A FENCE LINE TO A FENCE CORNER; THENCE SOUTH 89°53'33" EAST 405.33 FEET ALONG A FENCE LINE TO A FENCE CORNER; THENCE SOUTH 00°28'27" WEST 587.23 FEET ALONG A FENCE LINE; THENCE WEST 406.62 FEET TO THE POINT OF BEGINNING.

SURVEYED DESCRIPTION

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT S89°35'45"E 106.68 FEET ALONG THE SECTION LINE (UTAH STATE PLANE COORDINATES, NAD 83, UTAH CENTRAL ZONE) AND NORTH 90.95 FEET FROM THE SOUTH 1/4 CORNER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE EASTERLY LINE OF UTAH VALLEY BUSINESS PARK N00°34'18"E 588.00 FEET; THENCE S89°55'12"E 405.33 FEET; THENCE S00°29'08"W 587.23 FEET TO THE NORTH LINE OF KL PARTNERS AMERICAN FORK II, PLAT A; THENCE ALONG SAID BOUNDARY S89°58'21"W 406.22 FEET TO THE POINT OF BEGINNING.
 CONTAINING 5.474 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATE:

I, VICTOR E. HANSEN, A LICENSED LAND SURVEYOR HOLDING CERTIFICATE NUMBER 176695, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY DIRECTION AND CORRECTLY SHOWS THE DIMENSIONS AND MONUMENTS OF THE ABOVE-DESCRIBED PARCEL OF LAND TO THE BEST OF MY KNOWLEDGE AND BELIEF.

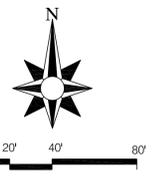
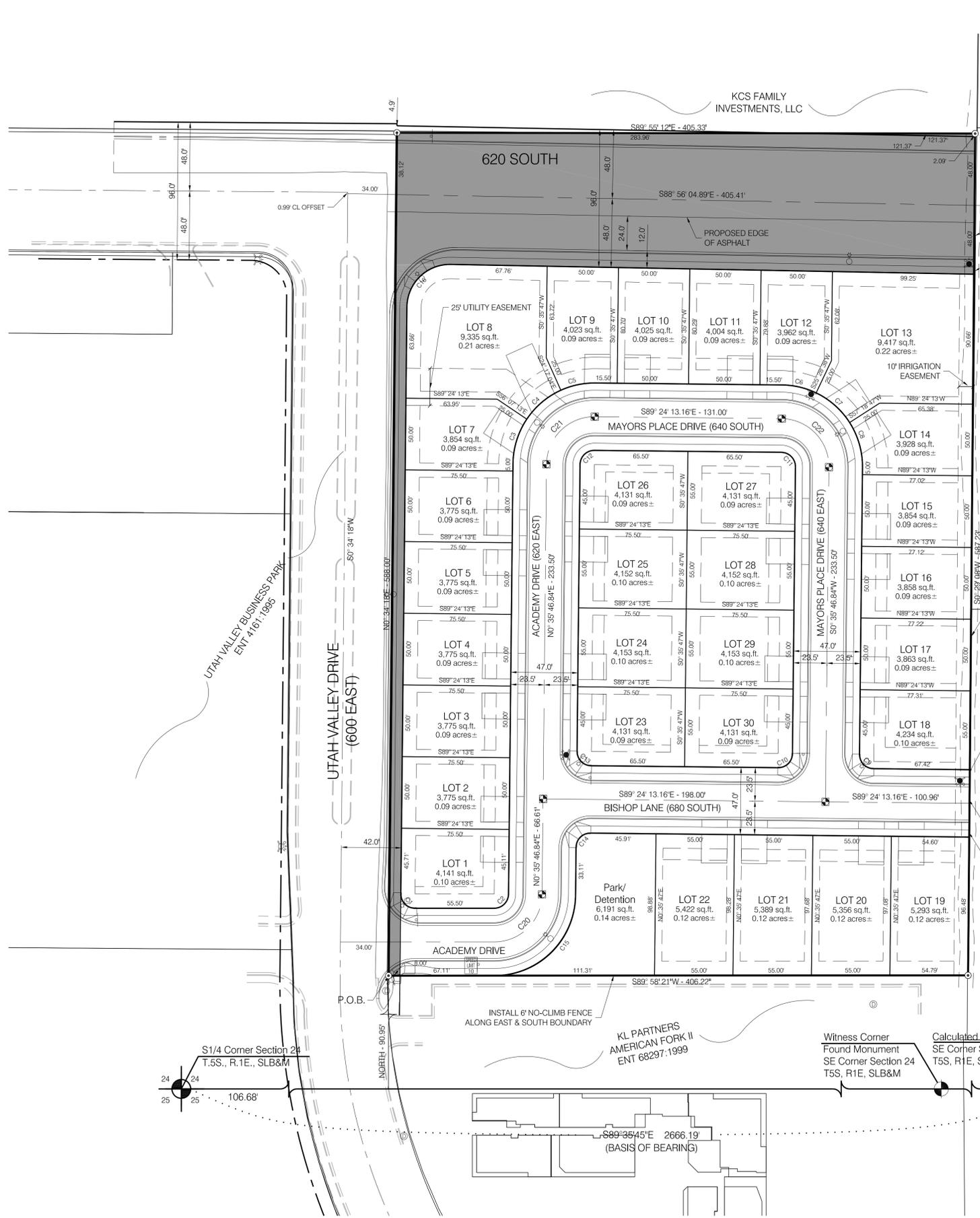
VICTOR E. HANSEN, PLS - 176695

 DATE

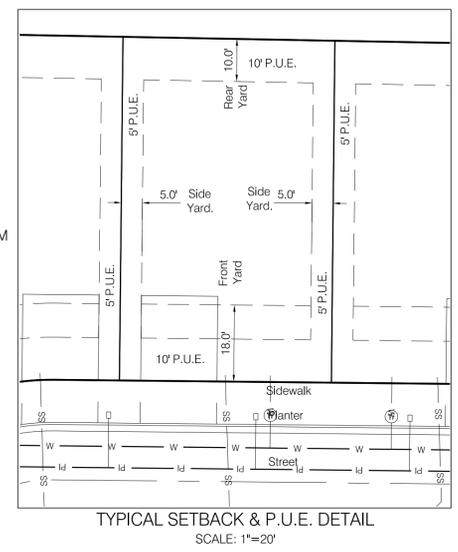
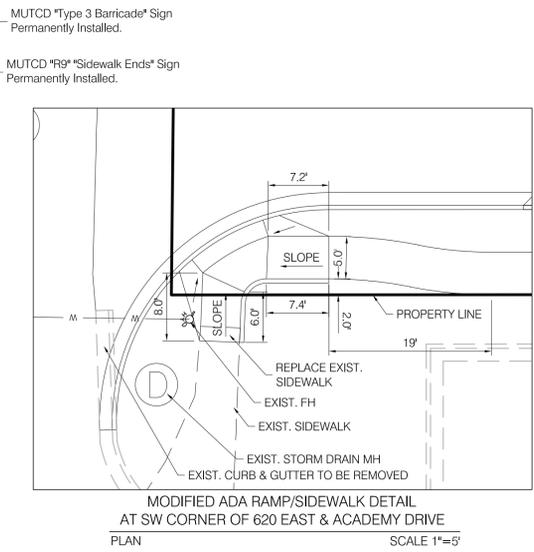


| | | |
|---------------------|---------------------------|----------------------------------|
| DRAWN BY: TLH | SCALE: 1" = 50' | PROJECT #: 13-425-02 |
| APPROVED BY: VEH | DATE: OCTOBER 15, 2013 | DRAWING: Record of Survey.dwg |

H&H
 ENGINEERING & SURVEYING, INC.
 233 EAST MAIN STREET, SUITE 2
 AMERICAN FORK, UTAH 84003
 TEL: (801) 756-2488
 FAX: (801) 756-3499



Project Bench Mark Datum
 Name: S1/4 Corner, Section 24, T.5S., R.1E., SLB&M
 Located at: In parking lot west of 600 East & 700 South
 Elevation: 4555.73



Development Summary

| | |
|--------------------------|----------------------------|
| Current Zoning: | PC- Planned Community Zone |
| Minimum Lot Size | 3,500 sq.ft. |
| Min. Lot Width/Frontage | 50 ft. |
| Min. Front Yard Setback | 18 ft. (to garage) |
| Min. Front Yard Porch | 15 ft. |
| Min. Rear Yard Setback | 10 ft. |
| Min. Side Yard Setback | 5 ft. |
| Min. Cor. Side Yard | 15 ft. |
| Min. Dwelling Foot Print | 1,200 sq.ft. |
| Min. Dwelling Width | 20 ft. |
| Max. Building Height | 36 ft. |

Development:

| | |
|----------------------|-----------------|
| Total Developed Area | 238,431 sq.ft. |
| Total Number of Lots | 30 Lots |
| Density | 5.48 units/acre |
| Min Lot Size | 3,775 sq.ft. |
| Max. Lot Size | 9,559 sq.ft. |
| Average Lot Size | 4,620 sq.ft. |
| Median Lot Size | 4,141 sq.ft. |

Typical Building Construction

| | |
|--------------------------|---------------------------|
| Type of Dwelling | Single-Family Residential |
| Type of Construction | Type 5, Unsprinkled |
| Occupancy Classification | R3 |

SYMBOL LEGEND

| | |
|--|---|
| | Proposed Fire Hydrant |
| | Proposed Street Light |
| | Proposed Speed Limit Sign |
| | Proposed Stop Sign W/Street |
| | Names above Stop Sign (Public Street Signs are white on green background. Private Street Signs are white on blue background.) |

Curve Table

| Curve # | Length | Tangent | Radius | Delta | Chord Direction | Chord Length |
|---------|--------|---------|--------|-----------|-----------------|--------------|
| C1 | 15.82' | 10.11' | 10.00' | 90°37'02" | S44°42'44"E | 14.22' |
| C2 | 15.60' | 9.89' | 10.00' | 89°22'58" | N45°17'16"E | 14.07' |
| C3 | 33.11' | 17.04' | 67.00' | 33°17'00" | N17°14'17"E | 32.65' |
| C4 | 31.67' | 16.26' | 67.00' | 31°50'09" | N49°47'52"E | 31.27' |
| C5 | 24.75' | 12.57' | 67.00' | 24°52'51" | N78°09'21"E | 24.56' |
| C6 | 24.75' | 12.57' | 67.00' | 24°52'51" | S76°57'48"E | 24.56' |
| C7 | 31.67' | 16.26' | 67.00' | 31°50'09" | S48°36'18"E | 31.27' |
| C8 | 33.11' | 17.04' | 67.00' | 33°17'00" | S16°02'43"E | 32.65' |
| C9 | 15.71' | 10.00' | 10.00' | 90°00'00" | S44°24'13"E | 14.14' |
| C10 | 15.71' | 10.00' | 10.00' | 90°00'00" | N45°35'47"E | 14.14' |
| C11 | 15.71' | 10.00' | 10.00' | 90°00'00" | N44°24'13"W | 14.14' |
| C12 | 15.71' | 10.00' | 10.00' | 90°00'00" | S45°35'47"W | 14.14' |
| C13 | 15.71' | 10.00' | 10.00' | 90°00'00" | S44°24'13"E | 14.14' |
| C14 | 15.71' | 10.00' | 10.00' | 90°00'00" | N45°35'47"E | 14.14' |
| C15 | 88.13' | 55.89' | 56.49' | 89°22'58" | N44°47'15"E | 79.46' |
| C16 | 47.30' | 30.07' | 30.17' | 89°49'04" | S45°49'51"W | 42.60' |

CL Curve Table

| Curve # | Length | Tangent | Radius | Delta | Chord Direction | Chord Length |
|---------|--------|---------|--------|-----------|-----------------|--------------|
| C20 | 52.26' | 33.14' | 33.50' | 89°22'58" | N45°17'15.77"E | 47.12' |
| C21 | 52.62' | 33.50' | 33.50' | 90°00'00" | N45°35'46.84"E | 47.38' |
| C22 | 52.62' | 33.50' | 33.50' | 90°00'00" | S44°24'13.16"E | 47.38' |

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 4 | 11/16/2014 | 620 South Changes |
| 3 | 07/23/2014 | TRC #2 Final Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 1 | 04/07/2014 | TRC #1 Comments |

233 EAST MAIN STREET, SUITE 2
 AMERICAN FORK, UTAH 84003
 TEL: (801) 756-2488
 FAX: (801) 756-3499

H&H
 ENGINEERING &
 SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
 A PLANNED COMMUNITY
 AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
 DATE Mar 14, 2014
 HOR SCALE 1"=40'
 VER SCALE N/A
 ENGINEER VH
 DRAFTED BS
 CHECKED VH

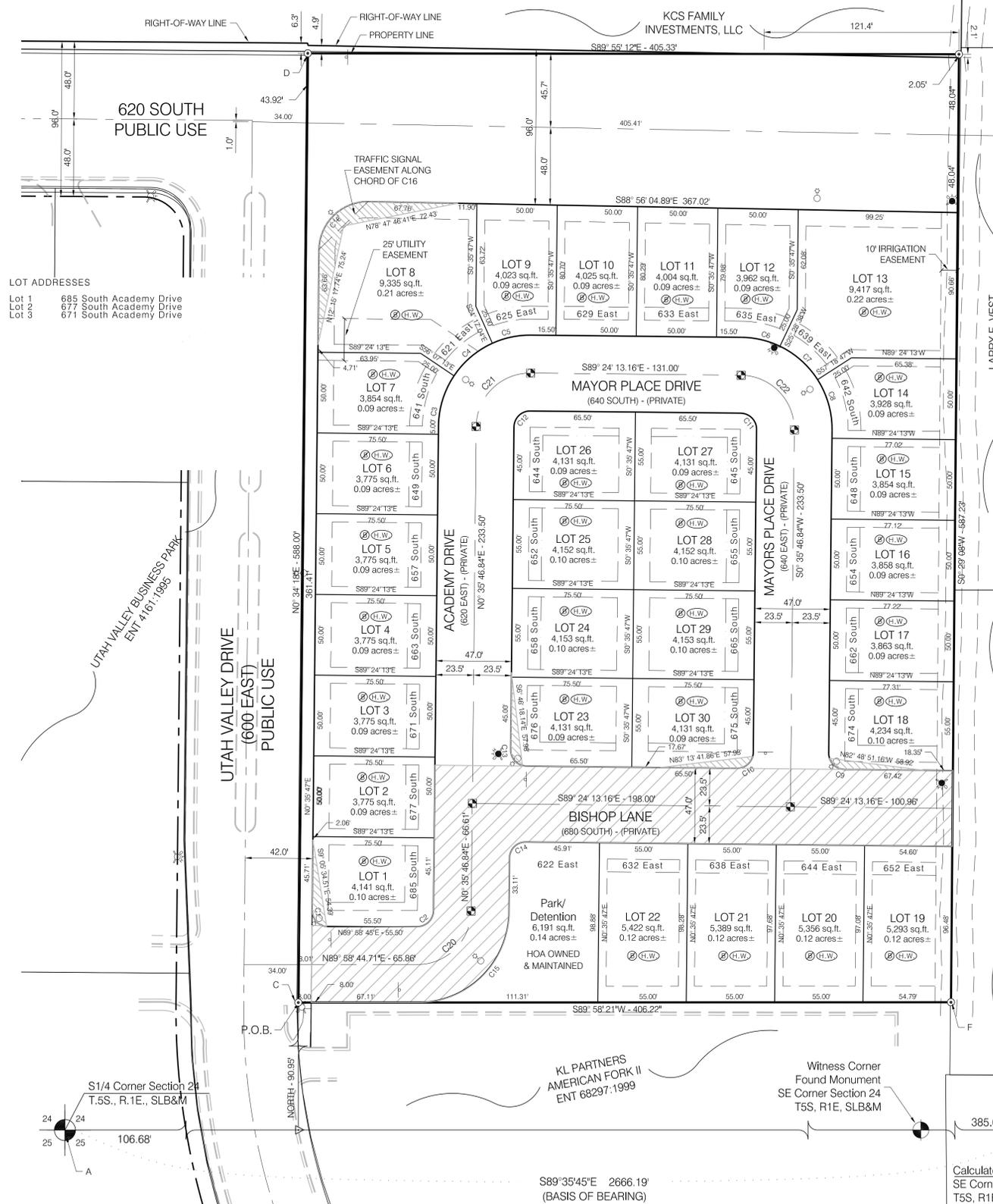
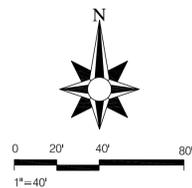
TITLE
SITE PLAN

A SUBDIVISION IN AMERICAN FORK CITY HARRINGTON HOLLOW

A SUBDIVISION LOCATED IN THE SE 1/4 OF SECTION 24,
TOWNSHIP 5 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH

STATE PLANE COORDINATES

| ID | NORTHING | EASTING |
|----|-------------|-------------|
| A | 7300922.530 | 1561702.170 |
| B | 7300903.730 | 1564367.570 |
| C | 7301012.705 | 1561808.816 |
| D | 7301600.514 | 1561814.680 |
| E | 7301599.949 | 1562219.899 |
| F | 7301012.898 | 1562214.923 |



- SENSITIVE LAND OVERLAY ZONE NOTES:**
- The construction of this project shall conform to the American Fork City Sensitive Land Overlay Zone Ordinance and its latest amendment.
 - All groundwater drains within this project are privately owned and maintained by the Home Owner Association or the property owner it serves.
 - Each lot requires a site specific special inspection by the City Engineer and the project's geotechnical engineer to evaluate any potential negative impacts of the groundwater table at the time of issuing a Building Permit.
 - Each lot to conform to the Precise Grading Sheet as approved by the Engineering Division and filed with the Building Division.
 - No footing, eaves, window wells or other improvement connected to structures are allowed to be placed within the Public Utility Easement.
 - The construction of this project shall conform to the recommendations from the geotechnical report submitted for review and approval.
 - The contractor is responsible for the removal of collapsible soils within the buildable area, road improvements and underground utilities.

LIABILITY WAIVER HIGH WATER TABLE AREA:

In Conformance with the American Fork Sensitive Lands Ordinance (S.L.O.) 4-5-5-C. The Owners as undersigned of each lot and the property described in the survey certificate for Harrington Hollow do hereby agree to indemnify and hold harmless American Fork City against any and all liabilities, claims, suits, losses, costs and legal fees caused by, arising out of, or resulting from flooding in the high water table area. This liability waiver shall run with each lot within the Harrington Hollow Subdivision and be binding upon the heirs, assigns, and successors in interest of the undersigned.

In Witness Hereof we have hereunto set our hands this _____ day of _____, A.D. 20____.

All Culinary water, secondary water, sanitary sewer, and storm sewer facilities within this site are considered privately owned and maintained. The owner(s)/developer is responsible to ensure proper construction, replacement, repair, operation, and maintenance according to American Fork City and State of Utah standards. Owner(s) acknowledges the right of the City to inspect, and test these facilities and make necessary repairs and or other actions when the Owner fails to do so. The development ownership will be charged for any cost incurred by the City. Culinary water facilities are considered part of the City's public water system for the purposes of testing and reporting as required by the State of Utah as set forth in section R309 of the Utah Administrative Code and all other codes and laws of the State. Utility easements dedicated to American Fork remain in force irrespective of the status of the utilities as private and are intended to provide American Fork City access in the event of failure to perform by the Owner. For more information see also separately recorded agreement where applicable.

GEOTECHNICAL REPORT

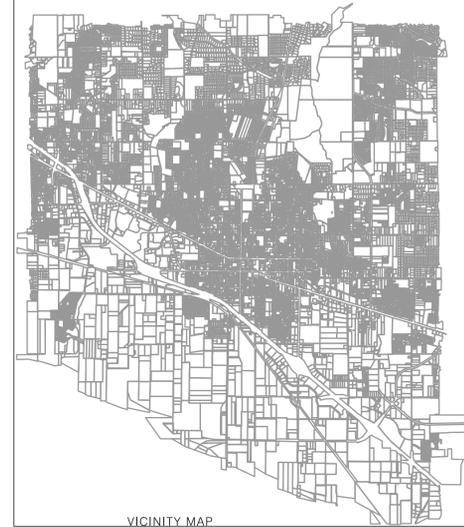
This property is subject to the findings of a Geotechnical Study dated February 7, 2007 performed by Earthtec Engineering and recorded as entry No. _____ in the office of the Utah County Recorder.

LEGEND

- Section Corner
- Street Monument
- Property Corner
- Street Light
- Fire Hydrant
- Section Line
- Property Line
- Easement Line
- Setback Line
- Area Dedicated to A.F. City
- Public Travel Easement
- Sight Distance Easement
- No Basements Allowed
- High Water Table

ABBREVIATIONS

- BOB Basis of Bearing
- CL Center Line
- FH Fire Hydrant
- FT Foot
- LP Light Pole
- PL Property Line
- POB Point of Beginning
- PK Nail Square



VICINITY MAP

NOTES:

HISTORICAL DEPTH OF HIGH WATER TABLE AND ELEVATION OF LOWEST FLOOR SLAB (MINIMUM 3 FEET ABOVE WATER LEVEL MEASURED DURING SPRING SEASON).

OFF-SET PINS TO BE PLACED ON THE BACK OF THE CURB AND 5/8" REBAR WITH A SURVEYOR'S CAP TO BE PLACED AT ALL REAR CORNERS PRIOR TO ANY OCCUPANCY.

- BUILDING PERMITS WILL NOT BE ISSUED FOR ANY HOME UNTIL
- 1) ASPHALT PAVING IS INSTALLED
 - 2) FIRE HYDRANTS ARE INSTALLED, APPROVED AND CHARGED.
 - 3) ALL UTILITIES ARE INSTALLED.

PARK-STRIP ALONG PUBLIC RIGHT OF WAY TO BE MAINTAINED BY H.O.A.

ALL PRIVATE ROADS AND PARK/DETENTION TO BE P.U.E.

THIS DEVELOPMENT IS ADJACENT TO AN AGRICULTURAL USE AND IS SUBJECT TO THE NORMAL EVERDAY SOUNDS, ODORS, SIGHTS, AND OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE.

Curve Table

| Curve # | Length | Tangent | Radius | Delta | Chord Direction | Chord Length |
|---------|--------|---------|--------|-----------|-----------------|--------------|
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| C9 | 15.71' | 10.00' | 10.00' | 90°00'00" | S44°24'13"E | 14.14' |
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| C15 | 88.13' | 55.89' | 56.49' | 89°22'58" | N44°47'15"E | 79.46' |
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CL Curve Table

| Curve # | Length | Tangent | Radius | Delta | Chord Direction | Chord Length |
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| C20 | 52.26' | 33.14' | 33.50' | 89°22'58" | N45°17'15.77"E | 47.12' |

BASIS OF BEARING

BASIS OF BEARING AS SHOWN ON THIS PLAT IS BASED ON NAD 83 STATE PLANE COORDINATES, UTAH CENTRAL ZONE, AND INFORMATION AVAILABLE AT THE UTAH COUNTY RECORDER'S OFFICE.

FLOOD ZONE DESIGNATION

SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE X
AS DELINEATED BY F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL MAP # 4955170120 B EFFECTIVE JULY 17, 2002

WATER AND SEWER AUTHORITY APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE WATER AND SEWER AUTHORITY.

PUBLIC WORKS DEPARTMENT DIRECTOR

SURVEYOR'S CERTIFICATE

I, VICTOR E. HANSEN DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NUMBER 176695 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

BOUNDARY DESCRIPTION

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT S89°35'45"E 106.68 FEET ALONG THE SECTION LINE (UTAH STATE PLANE COORDINATES, NAD 83, UTAH CENTRAL ZONE) AND NORTH 90.95 FEET FROM THE SOUTH 1/4 CORNER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE EASTERLY LINE OF UTAH VALLEY BUSINESS PARK N00°34'18"E 588.00 FEET; THENCE S89°55'12"E 405.33 FEET; THENCE S00°29'08"W 587.23 FEET TO THE NORTH LINE OF KL PARTNERS AMERICAN FORK II, PLAT A; THENCE ALONG SAID BOUNDARY S89°58'21"W 406.22 FEET TO THE POINT OF BEGINNING.

Total Number of Acres: 5.47
Total Number of Lots: 30

DATE _____ SURVEYOR _____
(SEE SEAL BELOW)

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREIN AND SHOWN ON THIS MAP HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

OWNER _____ OWNER _____
OWNER _____ OWNER _____

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH

ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
(SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL THE STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

MAYOR _____ CITY COUNCIL MEMBER _____
CITY COUNCIL MEMBER _____ CITY COUNCIL MEMBER _____
CITY COUNCIL MEMBER _____ CITY COUNCIL MEMBER _____

APPROVED: _____ ATTEST: _____
CITY ENGINEER (SEE SEAL BELOW) CLERK - RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____
BY THE AMERICAN FORK CITY PLANNING COMMISSION.

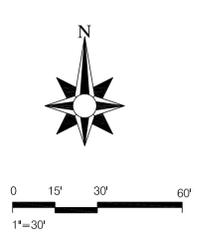
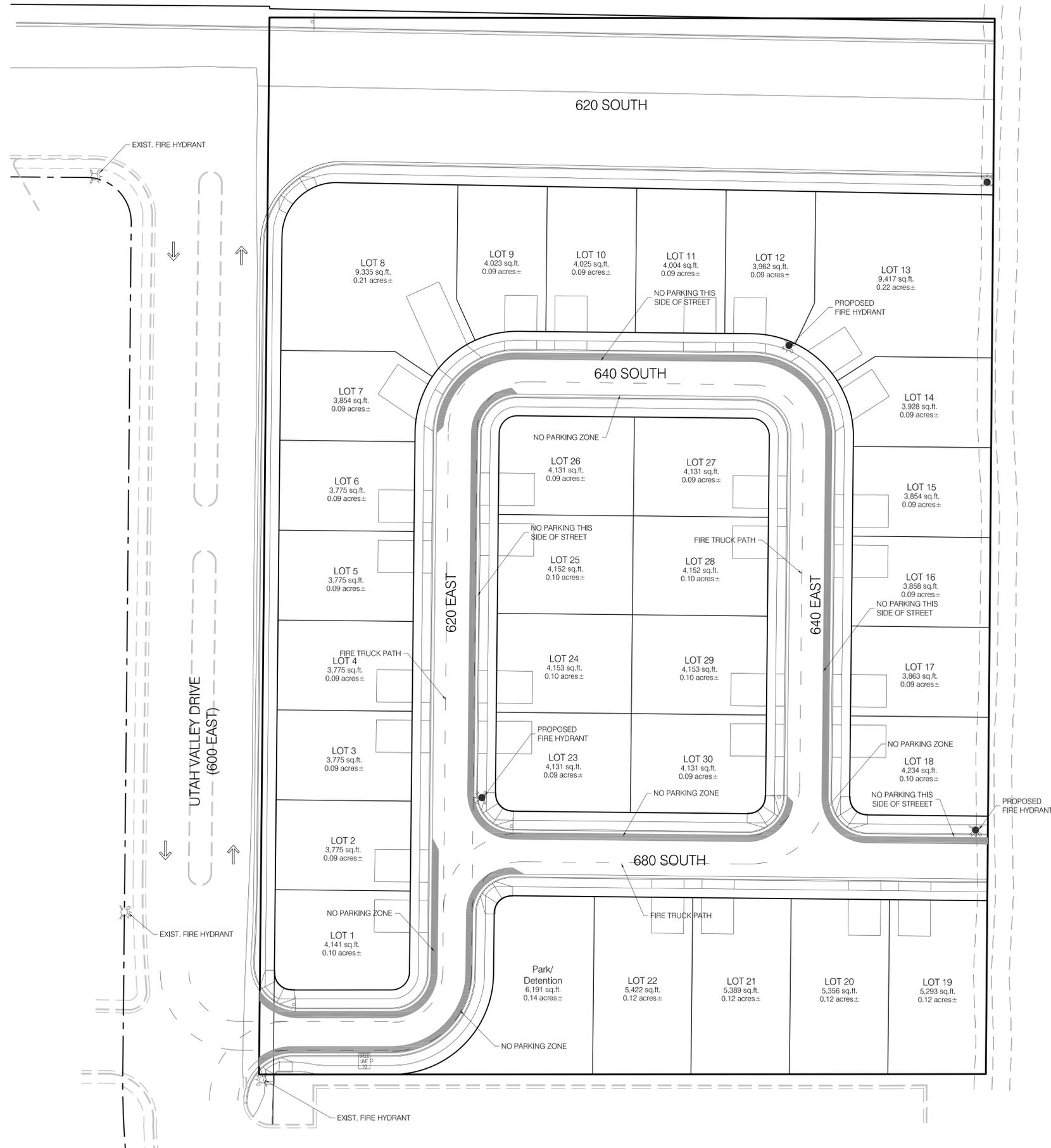
PLANNER _____ PLANNING COMMISSION CHAIRMAN _____

HARRINGTON HOLLOW

A SUBDIVISION LOCATED IN THE SE 1/4 OF SECTION 24,
TOWNSHIP 5 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH
SCALE 1" = 40 FEET

SURVEYOR'S SEAL NOTARY PUBLIC'S SEAL CITY ENGINEER'S SEAL CLERK-RECORDER SEAL

H&H ENGINEERING & SURVEYING, INC.
233 E. MAIN ST. STE 2 - AMERICAN FORK, UT 84003
TEL: (801) 756-2488 FAX: (801) 756-3499



- Fire Access Notes:
1. All areas designated as "No Parking Zones" shall have curbs painted red.
 2. "No Parking Zones" maybe extended further around corners based on the Fire Department's field verification following construction.
 3. Fire Truck Turn Radius as shown is 28 feet minimum and 44 feet maximum.

SYMBOL LEGEND

| | |
|--|--|
| | Proposed Fire Hydrant |
| | Proposed Street Light |
| | Proposed Speed Limit Sign |
| | Proposed Stop Sign W/Street |
| | Names above Stop Sign (Public Street Signs are white on green background. Private Street Signs are white on blue background.) |

LEGEND

| | |
|--|-------------------|
| | Boundary Line |
| | Lot Line |
| | Center Line |
| | Right-Of-Way Line |
| | Easement Line |
| | Fire Truck Path |
| | No Parking Zone |

No Parking zones are to be "Unobstructed" at all times to allow emergency vehicles free access throughout the development.

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 1 | 04/07/2014 | IPC #1 Comments |
| 2 | 07/17/2014 | IPC #1 Final Comments |
| 3 | 07/23/2014 | IPC #2 Final Comments |
| 4 | 11/16/2014 | 620 South Changes |

2931 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

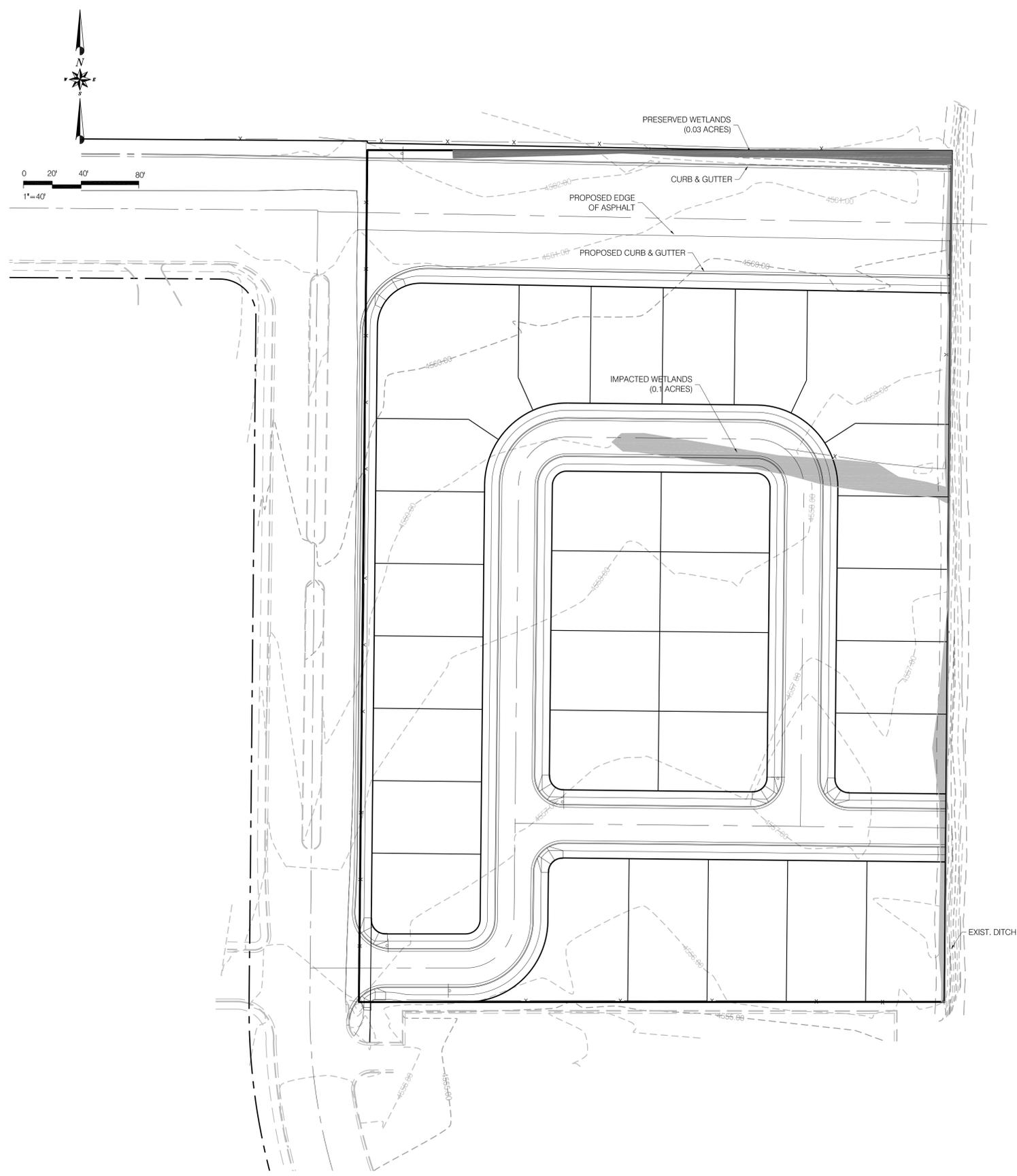
H&H
ENGINEERING & SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

| | |
|-------------|--------------|
| PROJECT NO. | 13-425-02 |
| DATE | Mar 14, 2014 |
| HOR SCALE | As Noted |
| VER SCALE | As Noted |
| ENGINEER | VH |
| DRAFTED | BS |
| CHECKED | VH |

TITLE
EMERGENCY RESPONSE PLAN

6 OF 19
SHEET
C-05



- Notes & References:
1. This map was prepared in association with the "Wetland Site Map" prepared by IHI Environmental, A Tierracon Company, Sheet 4 of 4, dated 02-20-2014 of the U.S. Army Corps of Engineers, Sacramento District, Nationwide Permit Program Regional Conditions Checklist for Utah.
 2. Additional References 1) U.S. Army Corps of Engineers, South Pacific Division, Nationwide Permit Pre-Construction Notification (PCN) Form, dated 11/7/2013; 2) Section 7 U.S. Fish and Wildlife Service - Vintaro Threatened and Endangered Species Survey, dated 12/6/2013; 3) United States Department of the Interior, Fish and Wildlife Service, Utah Ecological Services Field Office, dated 10/22/2013; 4) Section 106 National Historic Preservation Act, Class III Cultural Resource Inventory of the Vintaro Subdivision, North Wetland Area, American Fork, Utah County, Utah, prepared by Jerry D. Spangler, MA RPA, Colorado Plateau Archaeological Alliance, Ogden, Utah, dated 1/28/2014.

LEGEND

 Preserved Wetland Area=0.03 Acres
 Impacted Wetland Area = 0.1 Acres
 Total Wetland Area = 0.13 Acres

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 4 | 11/16/2014 | 200 South Changes |
| 3 | 07/23/2014 | TFC #2 Final Comments |
| 2 | 07/17/2014 | TFC #1 Final Comments |
| 1 | 04/07/2014 | TFC #1 Comments |

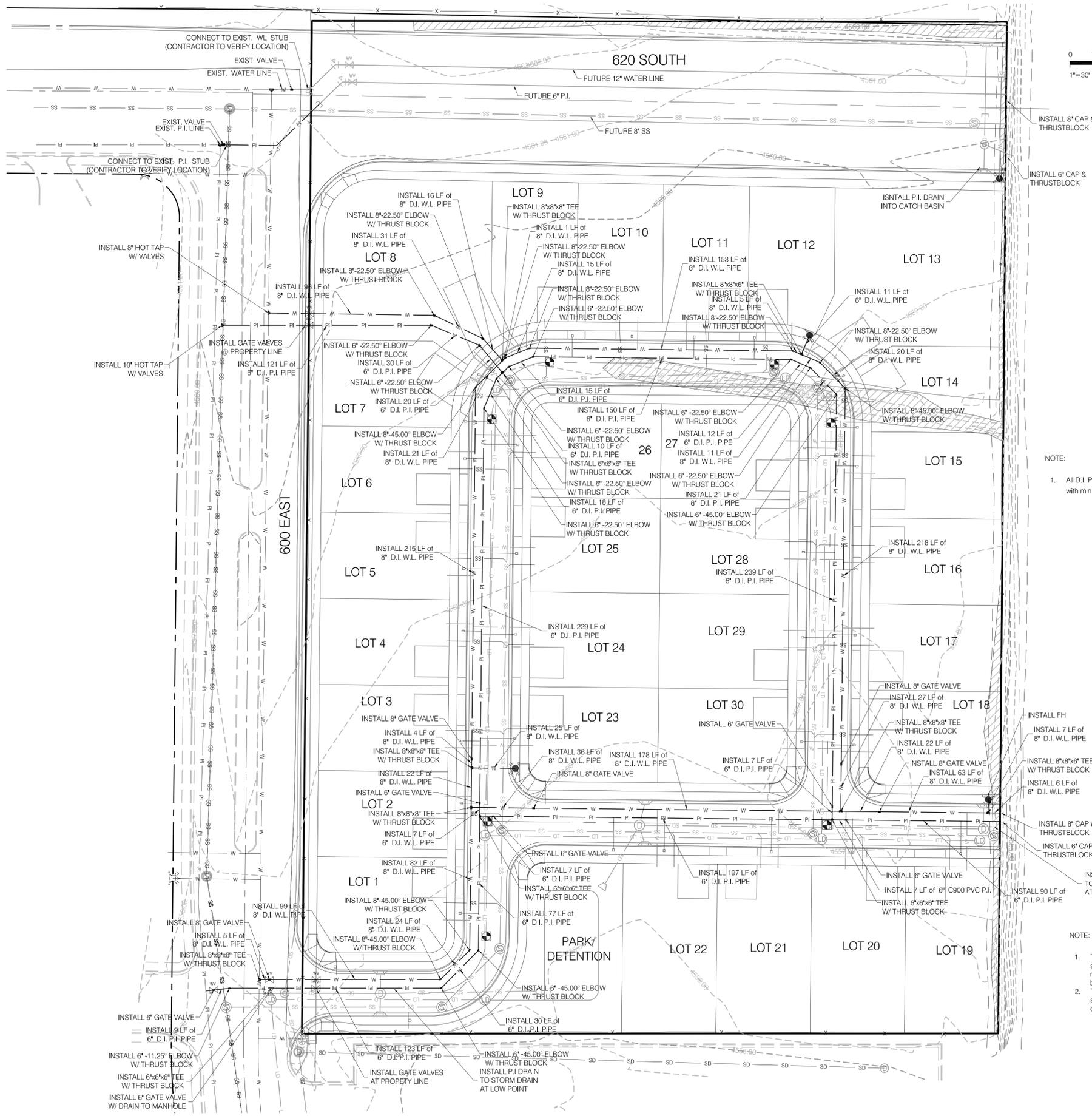
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PROJECT NAME:
HARRINGTON HOLLOW
 A PLANNED COMMUNITY
 AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
 DATE Mar 14, 2014
 HOR SCALE As Noted
 VER SCALE As Noted
 ENGINEER VH
 DRAFTED BS
 CHECKED VH

TITLE
**WETLANDS
 PLAN**

8 OF 19
 SHEET
C-07



ABBREVIATIONS LEGEND

| | |
|------|----------------------------|
| cf | Cubic Feet |
| cfs | Cubic Feet per second |
| CB | Catch Basin |
| CIB | Curb Inlet Box |
| FH | Fire Hydrant |
| FT | Feet |
| hr | Hour |
| in | Inches |
| IRR | Secondary/Irrigation Water |
| LD | Land Drain |
| LF | Linear Feet |
| min | Minutes |
| PI | Pressurized Irrigation |
| SD | Storm Drain |
| SDMH | Storm Drain Manhole |
| sf | Square Feet |
| SS | Sanitary Sewer |
| SSMH | Sanitary Sewer Manhole |
| WL | Water Line |
| WV | Water Valve |
| yr | Year |

SYMBOL LEGEND

| | |
|--|---------------------------------|
| | Existing Curb Inlet Box |
| | Existing Fire Hydrant |
| | Existing Sanitary Sewer Manhole |
| | Existing Storm Drain Manhole |
| | Existing Storm Drain Catchbasin |
| | Existing Water Valve |
| | Existing Electrical Box |
| | Existing Power Pole |
| | Existing Street Light |
| | Existing Street Sign |
| | Existing Telephone Box |
| | Proposed Curb Inlet Box |
| | Proposed Fire Hydrant |
| | Proposed Sanitary Sewer Manhole |
| | Proposed Storm Drain Manhole |
| | Proposed Storm Drain Catchbasin |
| | Proposed Water Valve |
| | Proposed Electrical Box |
| | Proposed Street Light |

LEGEND

| | |
|--|-----------------------------|
| | Section Line |
| | Boundary Line |
| | Lot Line |
| | Center Line |
| | Right-Of-Way Line |
| | Easement Line |
| | Set Back Line |
| | Existing Potable Water |
| | Existing Sanitary Sewer |
| | Existing Secondary Water |
| | Existing Storm Drain |
| | Existing Gas Line |
| | Existing Fiber Optics |
| | Existing Telephone Cable |
| | Existing Power Cable |
| | Existing Fence Line |
| | Existing Major Contour Line |
| | Existing Minor Contour Line |
| | Proposed Potable Water |
| | Proposed Sanitary Sewer |
| | Proposed Secondary Water |
| | Proposed Storm Drain |
| | Proposed Land Drain |
| | Proposed Gas Line |
| | Proposed Fiber Optics |
| | Proposed Telephone Cable |
| | Proposed Power Cable |
| | Proposed Major Contour Line |
| | Proposed Minor Contour Line |

NOTE:
1. All D.I. Pipe and fittings shall be polywrapped with min. 8 mil. polywrap.

NOTE:
1. The Pressurized Irrigation (P.I.) system drain shall be connected to the LDMH #1(2) manhole located in 600 East. The valve shall be located near the manhole.
2. The P.I. pipe shall be placed so the entire system slopes to the drain with no low points or reverse slopes.

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 4 | 11/06/2014 | 620 South Changes |
| 3 | 07/23/2014 | TRC #2 Final Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 1 | 04/07/2014 | TRC #1 Comments |

223 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

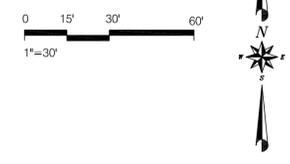
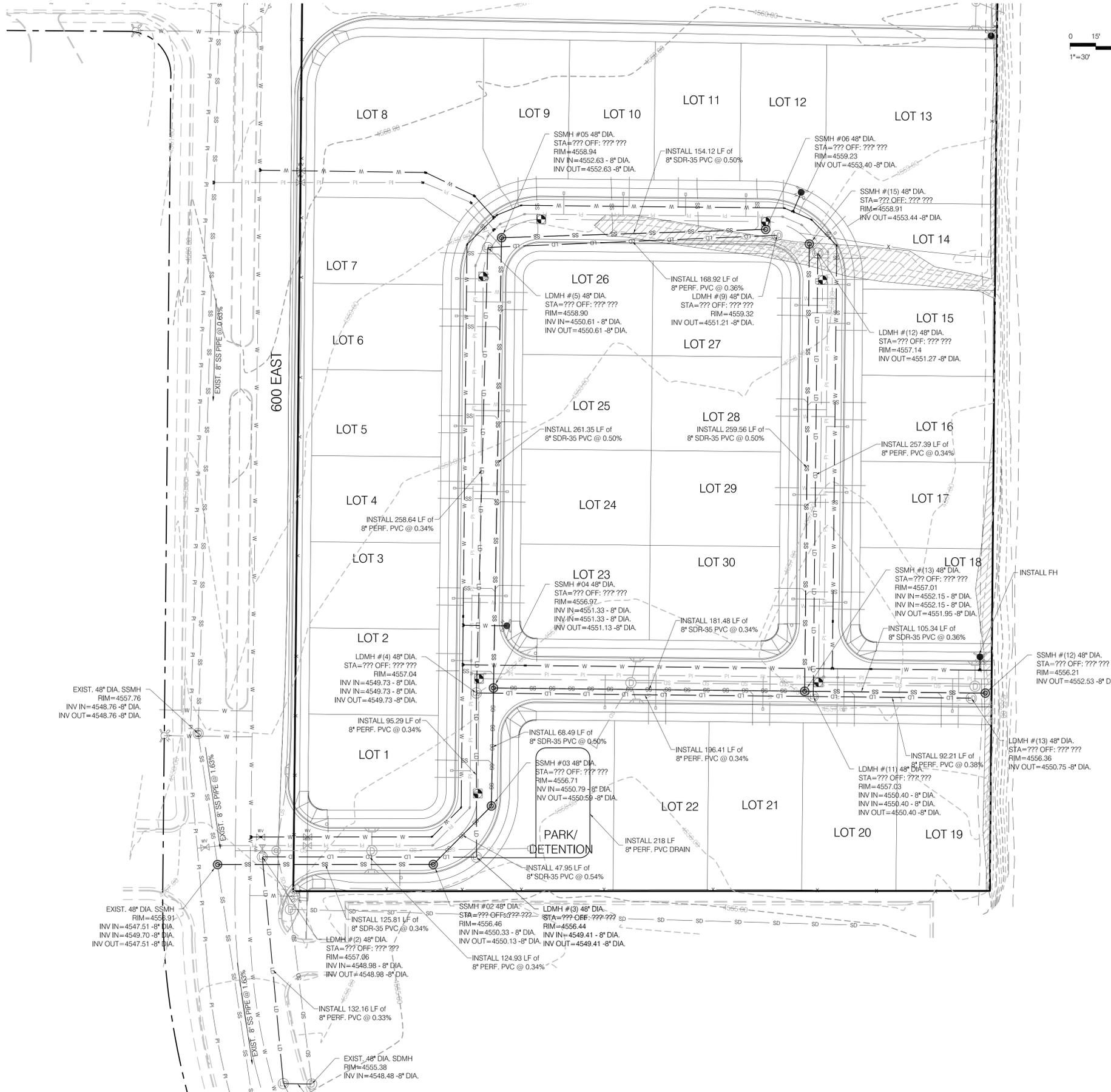
H&H
ENGINEERING &
SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

| | |
|-------------|--------------|
| PROJECT NO. | 13-425-02 |
| DATE | Mar 14, 2014 |
| HOR SCALE | 1"=30' |
| VER SCALE | As Noted |
| ENGINEER | VH |
| DRAFTED | BS |
| CHECKED | VH |

TITLE
WATER PLAN

SEE 620 SOUTH PLAN &
PROFILE SHEET PP-05



ABBREVIATIONS LEGEND

| | |
|------|----------------------------|
| cf | Cubic Feet |
| cfs | Cubic Feet per second |
| CB | Catch Basin |
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| FH | Fire Hydrant |
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| in | Inches |
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| PI | Pressurized Irrigation |
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| SDMH | Storm Drain Manhole |
| sf | Square Feet |
| SS | Sanitary Sewer |
| SSMH | Sanitary Sewer Manhole |
| WL | Water Line |
| WV | Water Valve |
| yr | Year |

SYMBOL LEGEND

| | |
|--|---------------------------------|
| | Existing Curb Inlet Box |
| | Existing Fire Hydrant |
| | Existing Sanitary Sewer Manhole |
| | Existing Storm Drain Manhole |
| | Existing Storm Drain Catchbasin |
| | Existing Water Valve |
| | Existing Electrical Box |
| | Existing Power Pole |
| | Existing Street Light |
| | Existing Street Sign |
| | Existing Telephone Box |
| | Proposed Curb Inlet Box |
| | Proposed Fire Hydrant |
| | Proposed Sanitary Sewer Manhole |
| | Proposed Storm Drain Manhole |
| | Proposed Storm Drain Catchbasin |
| | Proposed Water Valve |
| | Proposed Electrical Box |
| | Proposed Street Light |
| | Proposed Street Sign |

LEGEND

| | |
|--|-----------------------------|
| | Section Line |
| | Boundary Line |
| | Lot Line |
| | Center Line |
| | Right-Of-Way Line |
| | Easement Line |
| | Set Back Line |
| | Existing Potable Water |
| | Existing Sanitary Sewer |
| | Existing Secondary Water |
| | Existing Storm Drain |
| | Existing Gas Line |
| | Existing Fiber Optics |
| | Existing Telephone Cable |
| | Existing Power Cable |
| | Existing Fence Line |
| | Existing Major Contour Line |
| | Existing Minor Contour Line |
| | Proposed Potable Water |
| | Proposed Sanitary Sewer |
| | Proposed Secondary Water |
| | Proposed Storm Drain |
| | Proposed Land Drain |
| | Proposed Gas Line |
| | Proposed Fiber Optics |
| | Proposed Telephone Cable |
| | Proposed Power Cable |
| | Proposed Major Contour Line |
| | Proposed Minor Contour Line |

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 4 | 11/02/2014 | 620 South Changes |
| 3 | 07/23/2014 | TRC #2 Final Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 1 | 04/07/2014 | TRC #1 Comments |

223 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

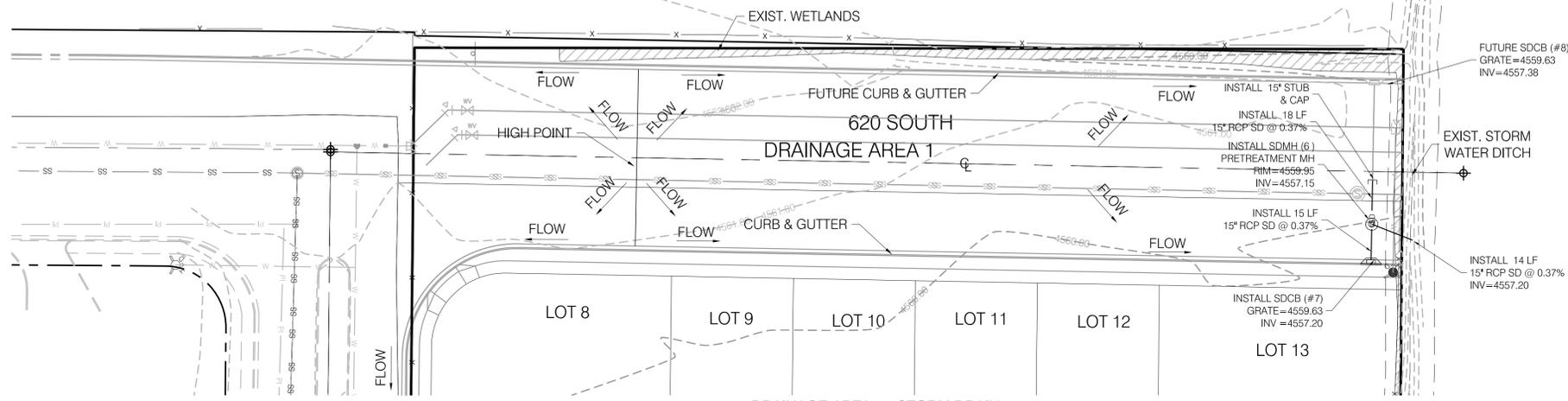
H&H
ENGINEERING &
SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

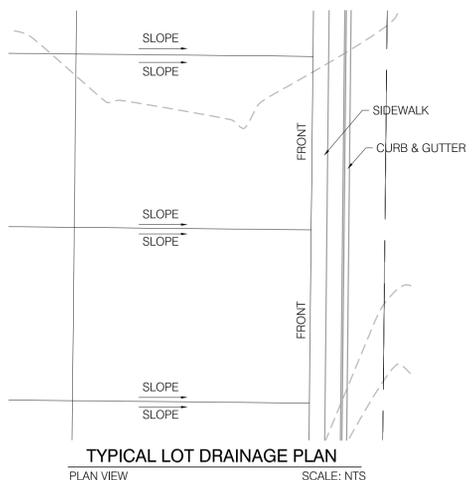
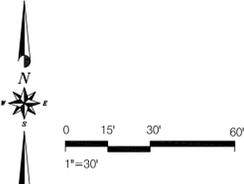
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|-------------|--------------|
| PROJECT NO. | 13-425-02 |
| DATE | Mar 14, 2014 |
| HOR SCALE | 1"=30' |
| VER SCALE | As Noted |
| ENGINEER | VH |
| DRAFTED | BS |
| CHECKED | VH |

TITLE
**SEWER &
LAND DRAIN
PLAN**

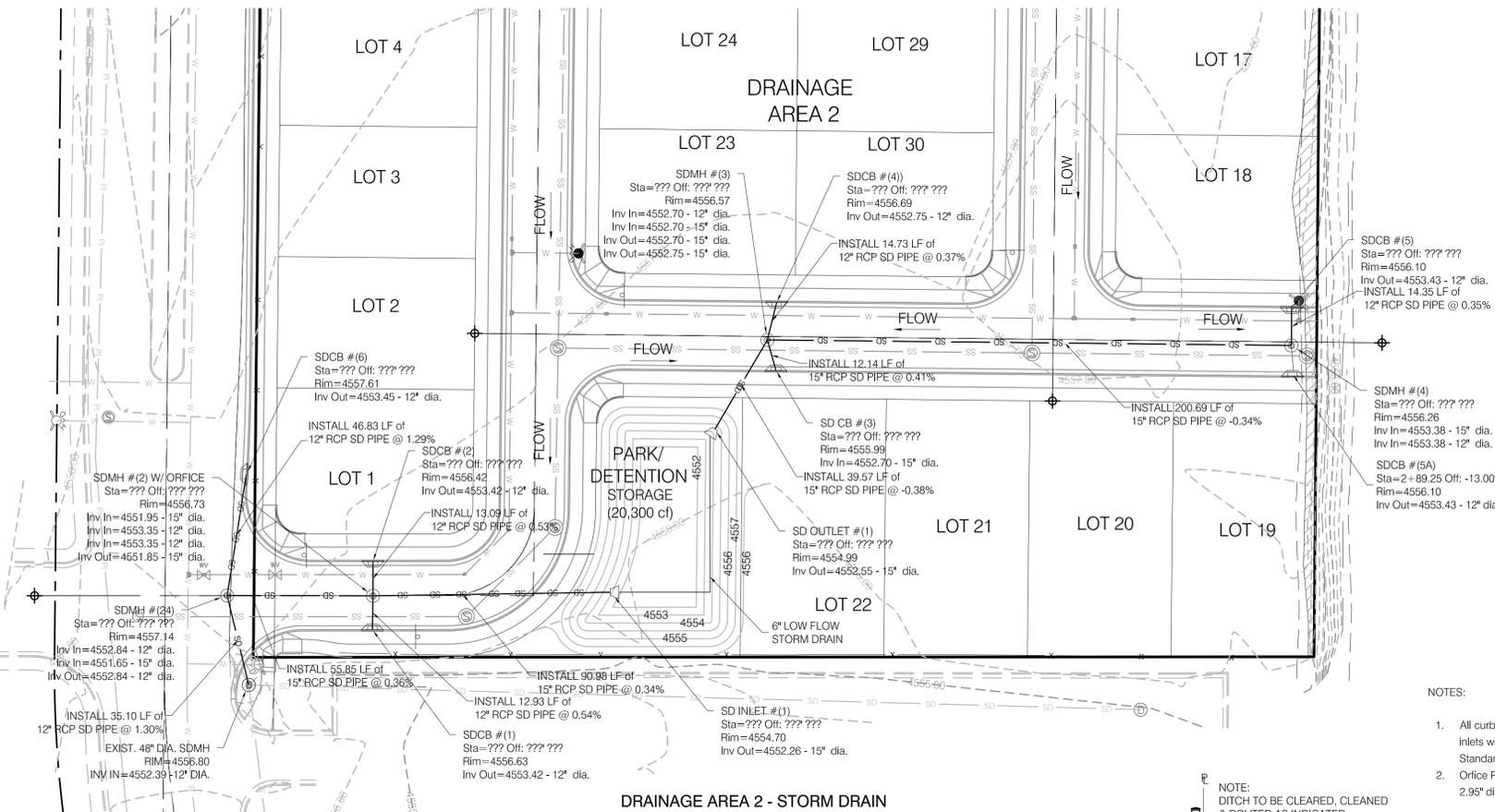
10 OF 19
SHEET
CU-02



DRAINAGE AREA 1 - STORM DRAIN PLAN
SCALE 1"=30'



TYPICAL LOT DRAINAGE PLAN
PLAN VIEW SCALE: NTS



DRAINAGE AREA 2 - STORM DRAIN PLAN
SCALE 1"=30'

ABBREVIATIONS LEGEND

| | |
|------|----------------------------|
| cf | Cubic Feet |
| cts | Cubic Feet per second |
| CB | Catch Basin |
| CIB | Curb Inlet Box |
| FH | Fire Hydrant |
| FT | Feet |
| hr | Hour |
| in | Inches |
| IPR | Secondary/Irrigation Water |
| LD | Land Drain |
| LF | Linear Feet |
| min | Minutes |
| PI | Pressurized Irrigation |
| SD | Storm Drain |
| SDMH | Storm Drain Manhole |
| sf | Square Feet |
| SS | Sanitary Sewer |
| SSMH | Sanitary Sewer Manhole |
| WL | Water Line |
| WV | Water Valve |
| yr | Year |

SYMBOL LEGEND

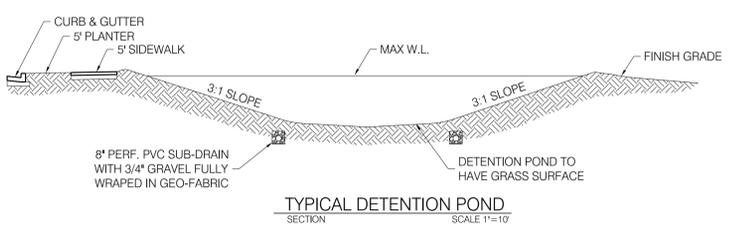
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|--|---------------------------------|
| | Existing Curb Inlet Box |
| | Existing Fire Hydrant |
| | Existing Sanitary Sewer Manhole |
| | Existing Storm Drain Manhole |
| | Existing Storm Drain Catchbasin |
| | Existing Water Valve |
| | Existing Electrical Box |
| | Existing Power Pole |
| | Existing Street Light |
| | Existing Street Sign |
| | Existing Telephone Box |
| | Proposed Curb Inlet Box |
| | Proposed Fire Hydrant |
| | Proposed Sanitary Sewer Manhole |
| | Proposed Storm Drain Manhole |
| | Proposed Storm Drain Catchbasin |
| | Proposed Water Valve |
| | Proposed Electrical Box |
| | Proposed Street Light |
| | Proposed Street Sign |

LEGEND

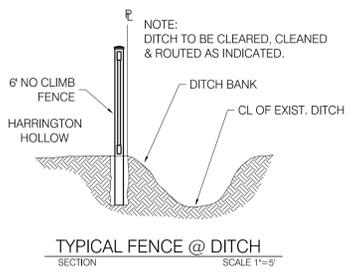
| | |
|--|-----------------------------|
| | Section Line |
| | Boundary Line |
| | Lot Line |
| | Center Line |
| | Right-Of-Way Line |
| | Easement Line |
| | Set Back Line |
| | Existing Potable Water |
| | Existing Sanitary Sewer |
| | Existing Secondary Water |
| | Existing Storm Drain |
| | Existing Gas Line |
| | Existing Fiber Optics |
| | Existing Telephone Cable |
| | Existing Power Cable |
| | Existing Fence Line |
| | Existing Major Contour Line |
| | Existing Minor Contour Line |
| | Proposed Potable Water |
| | Proposed Sanitary Sewer |
| | Proposed Secondary Water |
| | Proposed Storm Drain |
| | Proposed Land Drain |
| | Proposed Gas Line |
| | Proposed Fiber Optics |
| | Proposed Telephone Cable |
| | Proposed Power Cable |
| | Proposed Major Contour Line |
| | Proposed Minor Contour Line |

NOTES:

- All curb inlet boxes shall be pre-treatment curb inlets with snouts per American Fork City's Standard drawings and detail 1 on Sheet CD-02.
- Orifice Plate shall be located in SDMH #2 with a 2.95" diameter orifice near the outlet pipe's



TYPICAL DETENTION POND SECTION
SCALE 1"=10'



TYPICAL FENCE @ DITCH SECTION
SCALE 1"=5'

| NO. | DATE | DESCRIPTION |
|-----|------------|----------------------|
| 4 | 11/16/2014 | 820 South Changes |
| 3 | 07/23/2014 | TRC #2 Prel Comments |
| 2 | 07/17/2014 | TRC #1 Prel Comments |
| 1 | 04/07/2014 | TRC #1 Comments |

283 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

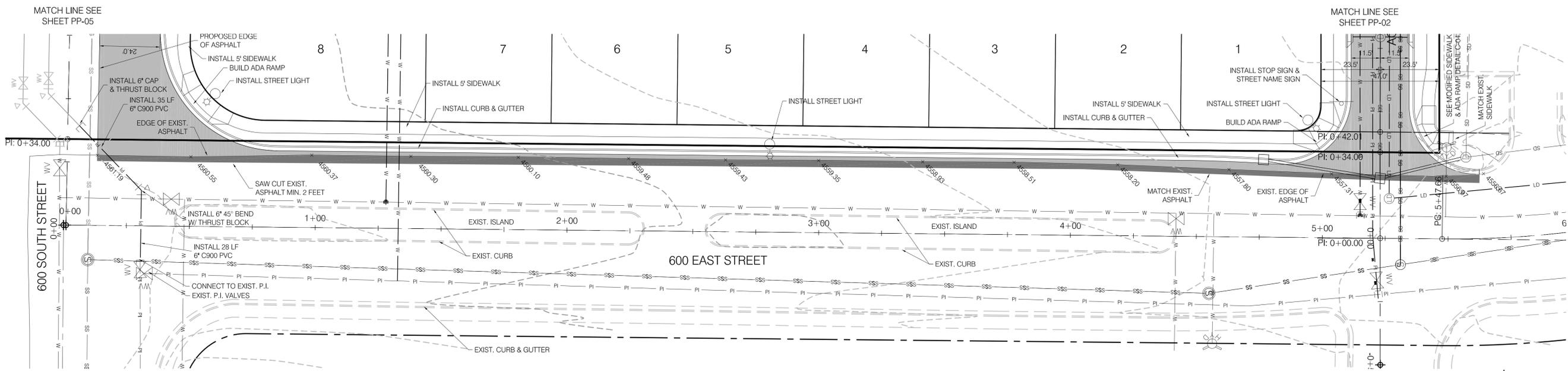
H&H
ENGINEERING & SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

| | |
|-------------|--------------|
| PROJECT NO. | 13-425-02 |
| DATE | Mar 14, 2014 |
| HOR SCALE | As Noted |
| VER SCALE | As Noted |
| ENGINEER | VH |
| DRAFTED | BS |
| CHECKED | VH |

TITLE
STORM DRAIN PLAN

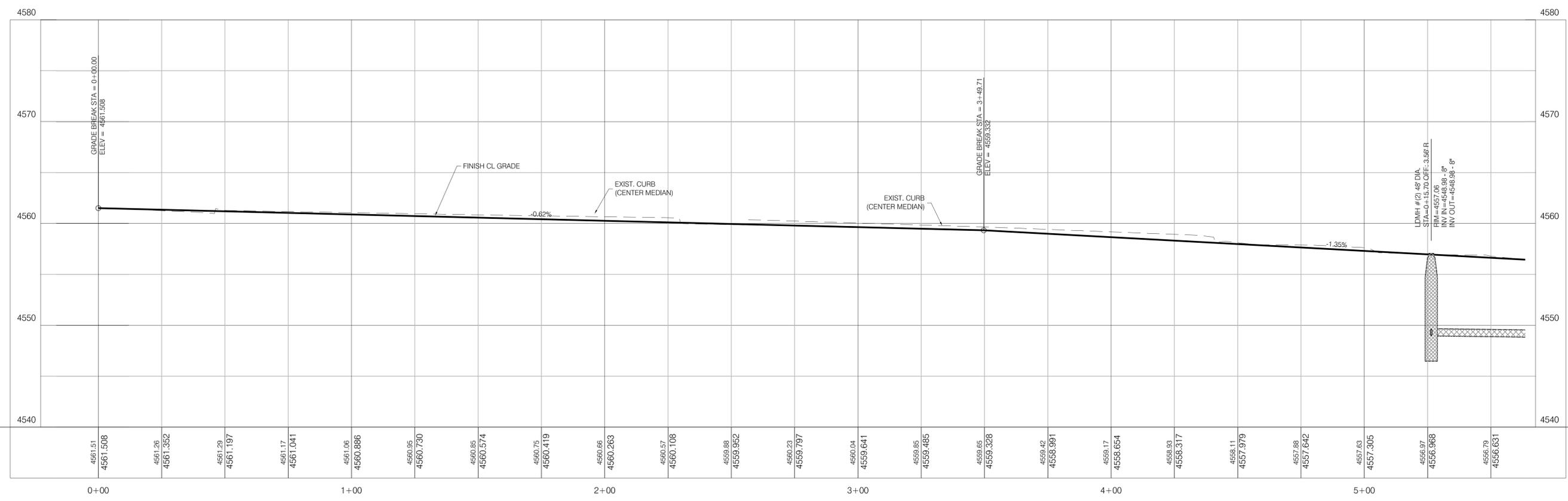
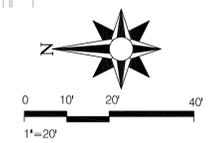
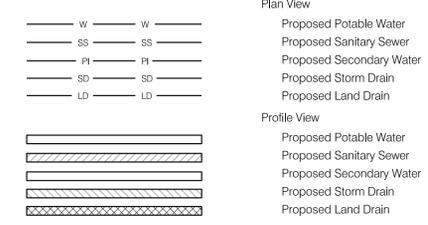
11 OF 19
SHEET
CU-03



Notes:

1. Refer to Applicable General Notes on Sheet C-03 and General Detail Sheets for additional information.
2. All construction and Installation of improvements shall conform to the American Fork City Ordinances, Policies, Requirements, Construction Standards and any other Rules pertaining to the development of this property.
3. Contractor to verify all conditions and dimensions on site. It shall be the Contractor's responsibility to verify the actual location and elevation of existing utilities and conditions.
4. Contractor to coordinate all utility work with the appropriate Utility Provider. Contractor to verify and follow all Utility Provider requirements, standards and specifications.
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6. Prior to placing asphalt surface contractor shall coordinate with other trades and utility companies to insure required conduits have been placed within the asphalt surface area. Primarily the landscape/irrigation contractor, power, gas and cable utility providers.

LEGEND



| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 1 | 04/07/2014 | TRC #1 Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 3 | 07/23/2014 | TRC #2 Prel Comments |
| 4 | 11/16/2014 | 2014 South Changes |

233 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003

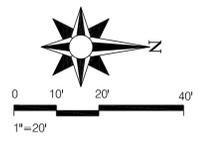
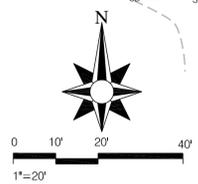
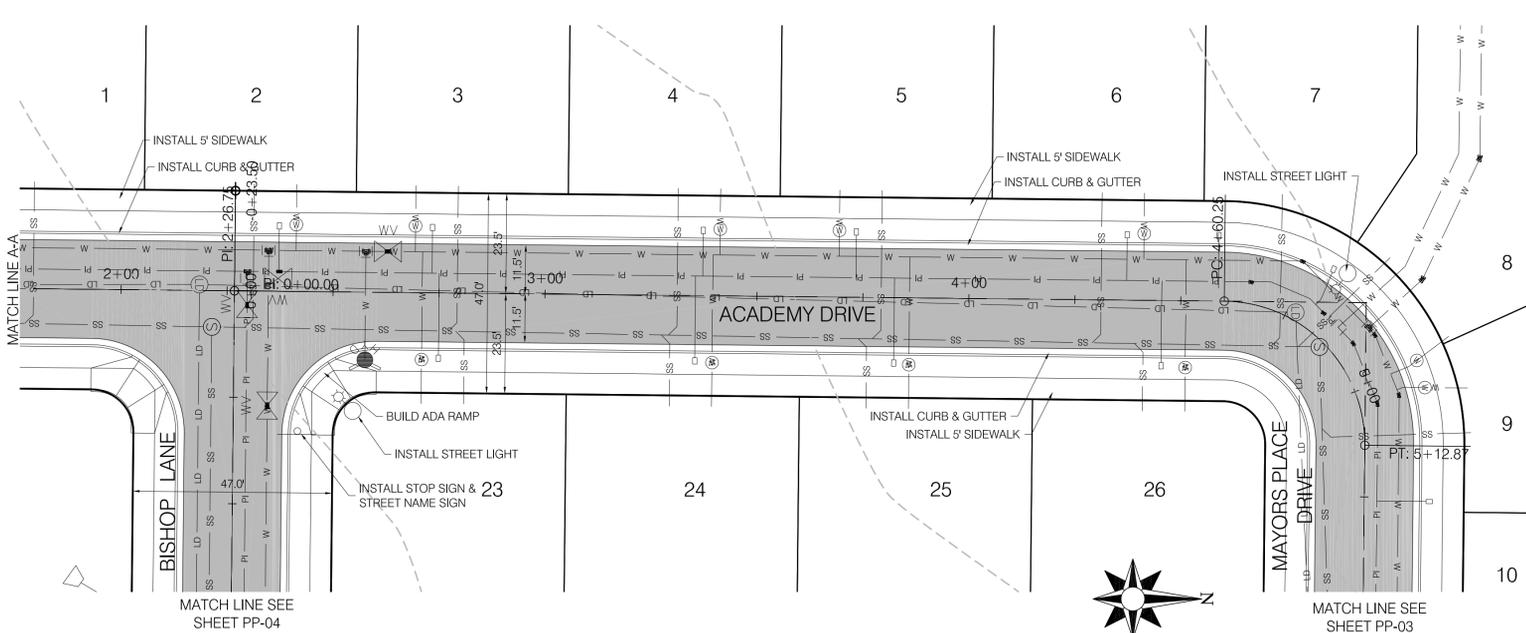
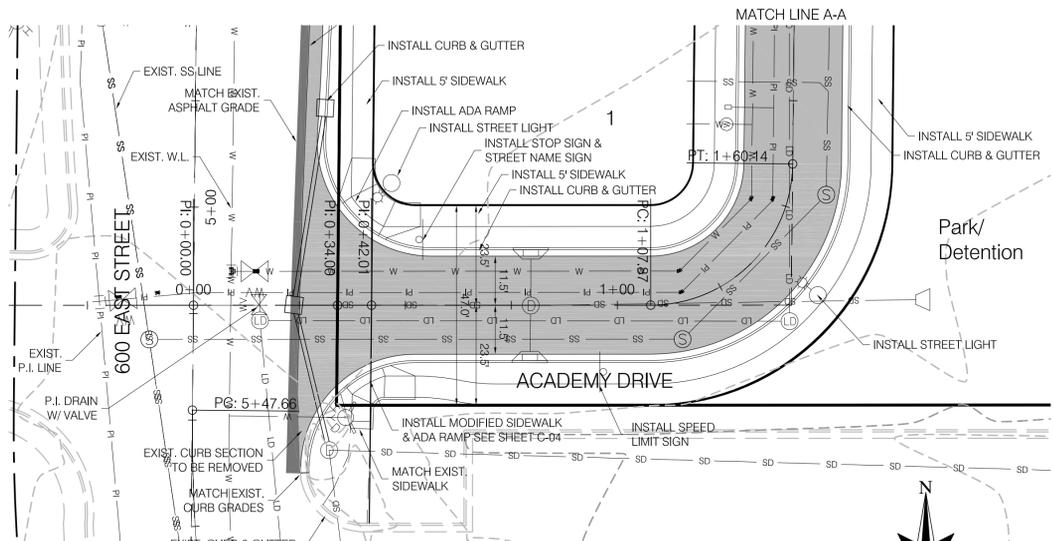
H&H
ENGINEERING &
SURVEYING, INC.

TEL: (801) 756-2488
FAX: (801) 756-3499

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
DATE Mar 14, 2014
HOR SCALE 1"=20'
VER SCALE 1"=5'
ENGINEER VH
DRAFTED BS
CHECKED VH

TITLE
PLAN & PROFILE
600 EAST STREET



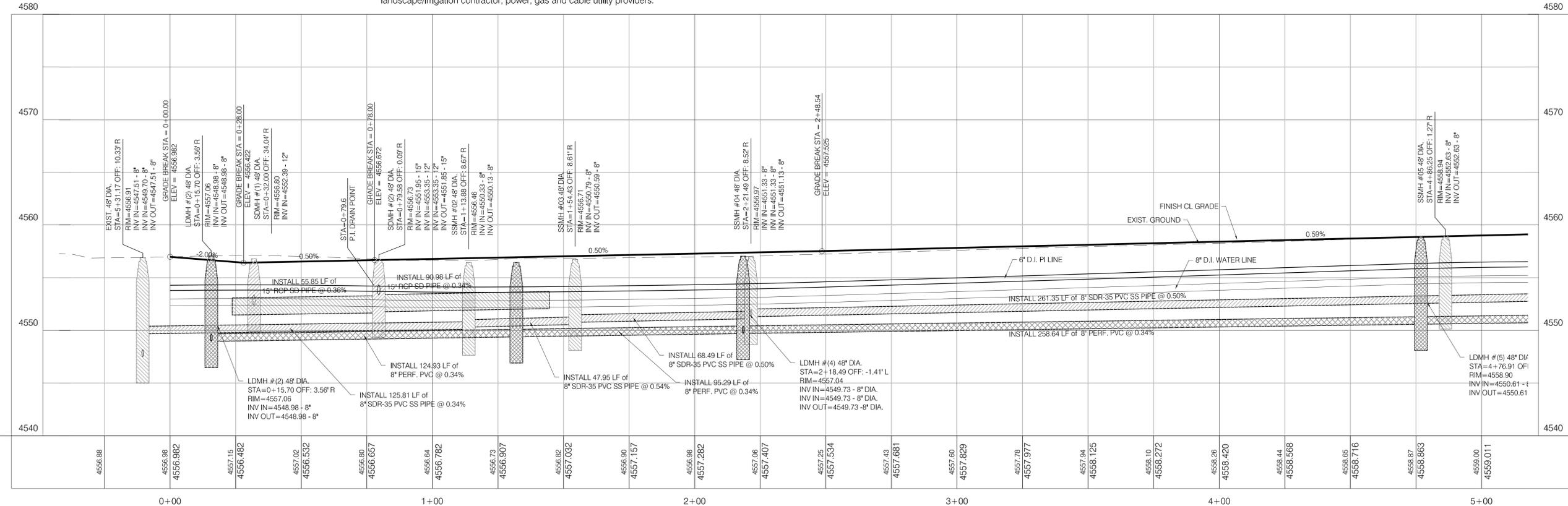
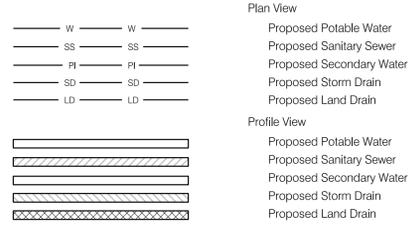
Notes:

1. Refer to Applicable General Notes on Sheet C-03 and General Detail Sheets for additional information.
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Note:

Top Back of Curb (TBC) is -0.10 feet above the center line grade.

LEGEND



| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 1 | 04/07/2014 | TRC #1 Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 3 | 07/23/2014 | TRC #2 Final Comments |
| 4 | 11/16/2014 | 2014 South Changes |

233 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

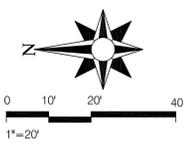
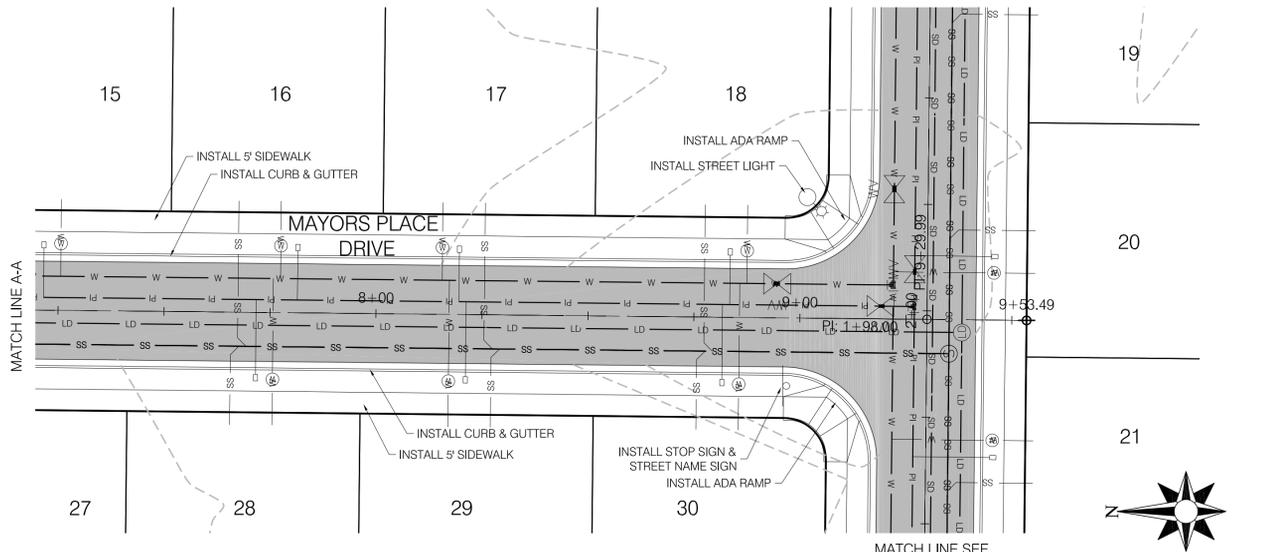
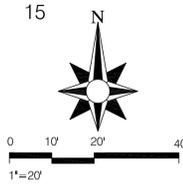
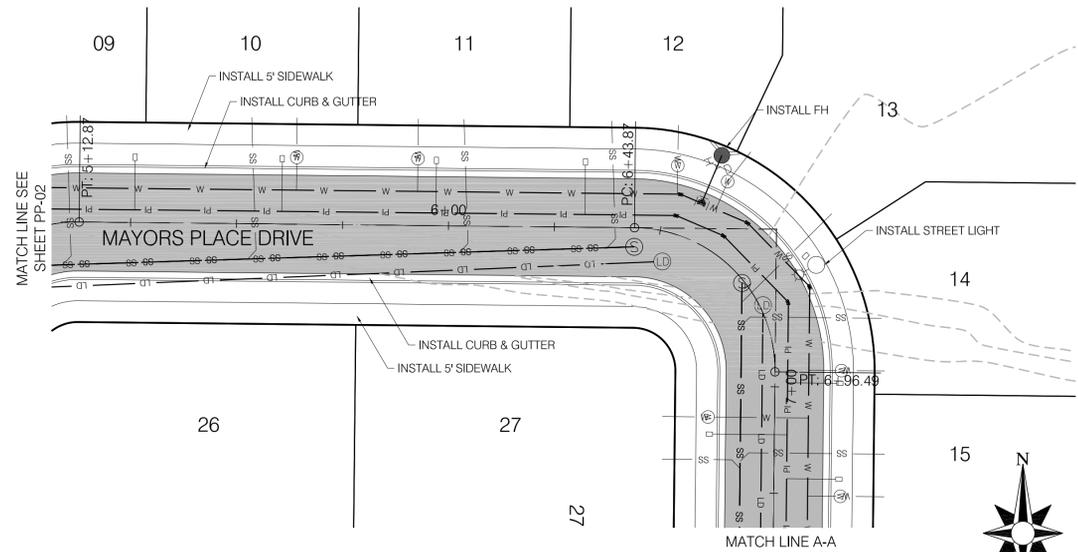
H&H
ENGINEERING & SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
DATE Mar 14, 2014
HOR SCALE 1"=20'
VER SCALE 1"=5'
ENGINEER VH
DRAFTED BS
CHECKED VH

TITLE
PLAN & PROFILE
ACADEMY DRIVE

13 OF 19
SHEET
CP-02

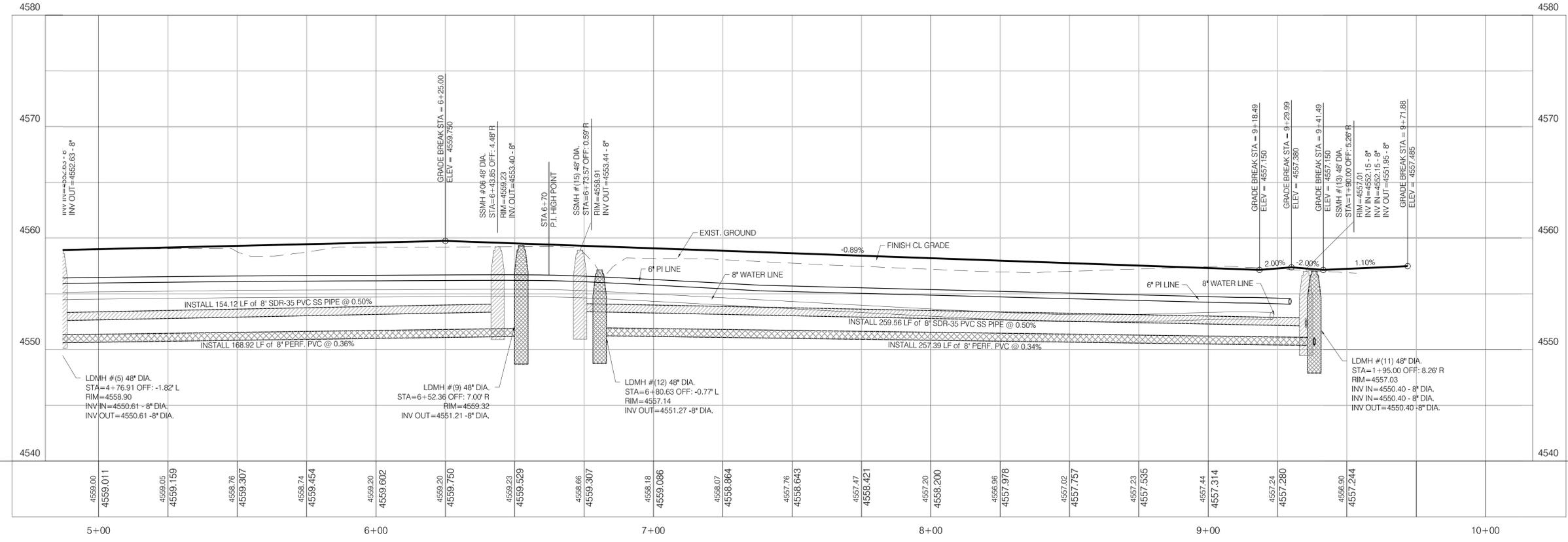
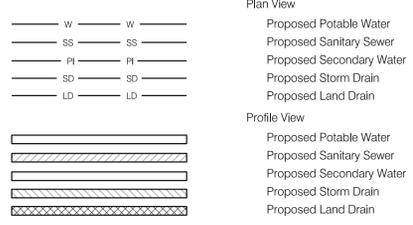


Note:
Top Back of Curb (TBC) is -0.10 feet above the center line grade.

Notes:

1. Refer to Applicable General Notes on Sheet C-03 and General Detail Sheets for additional information.
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LEGEND



| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 4 | 11/16/2014 | 200 South Changes |
| 3 | 07/23/2014 | TRC #2 Final Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 1 | 04/07/2014 | TRC #1 Comments |

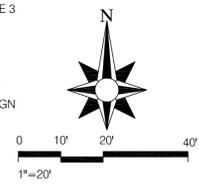
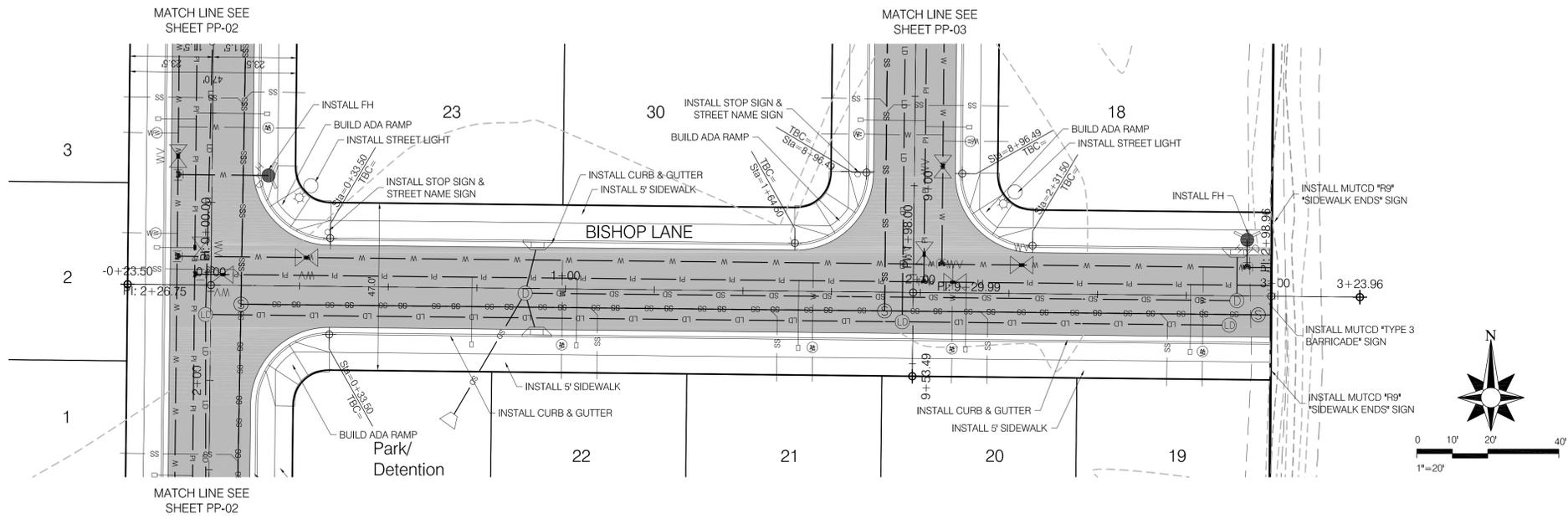
223 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

H&H
ENGINEERING &
SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
DATE Mar 14, 2014
HOR SCALE 1"=20'
VER SCALE 1"=5'
ENGINEER VH
DRAFTED BS
CHECKED VH

TITLE
PLAN & PROFILE
MAYORS PLACE DRIVE

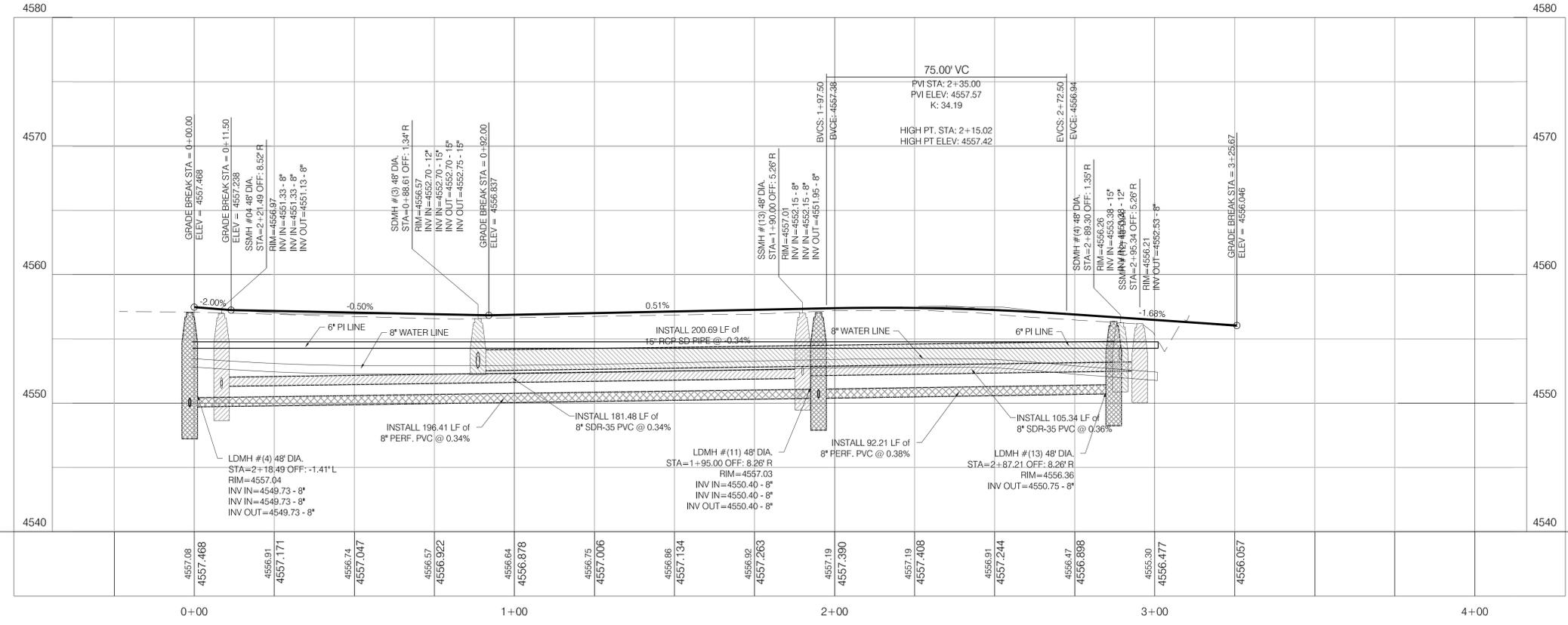
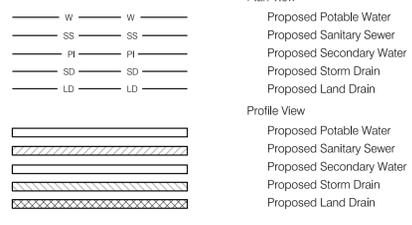


Notes:

1. Refer to Applicable General Notes on Sheet C-03 and General Detail Sheets for additional information.
2. All construction and installation of improvements shall conform to the American Fork City Ordinances, Policies, Requirements, Construction Standards and any other Rules pertaining to the development of this property.
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Note:
Top Back of Curb (TBC) is -0.10 feet above the center line grade.

LEGEND



| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 1 | 04/07/2014 | IPC #1 Comments |
| 2 | 07/17/2014 | IPC #1 Final Comments |
| 3 | 07/23/2014 | IPC #2 Final Comments |
| 4 | 11/16/2014 | 200 South Changes |

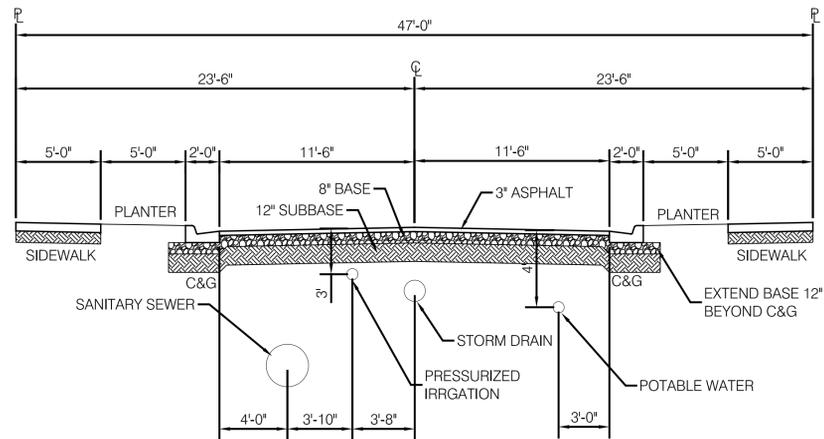
223 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

H&H
ENGINEERING & SURVEYING, INC.

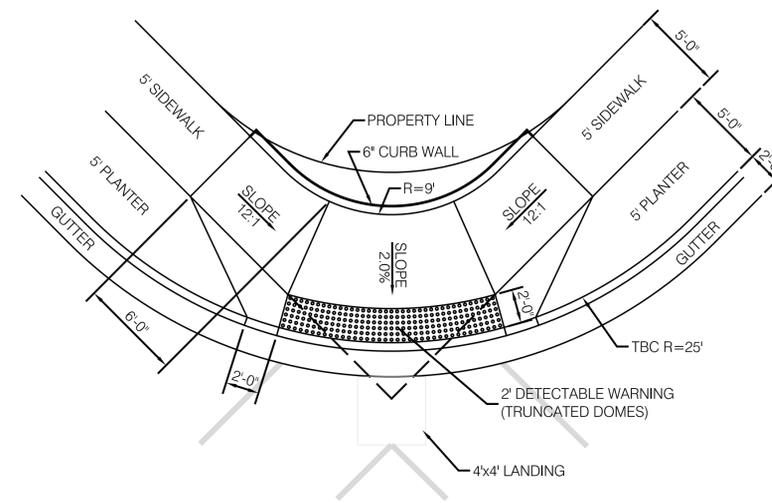
PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

PROJECT NO. 13-425-02
DATE Mar 14, 2014
HOR SCALE 1"=20'
VER SCALE 1"=5'
ENGINEER VH
DRAFTED BS
CHECKED VH

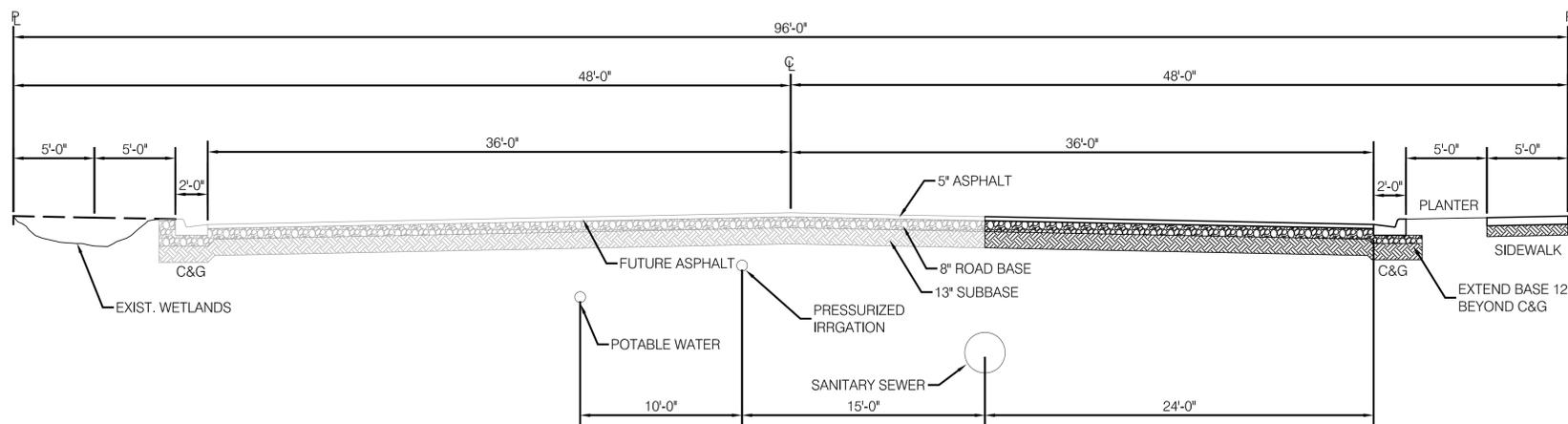
TITLE
PLAN & PROFILE
BISHOP LANE



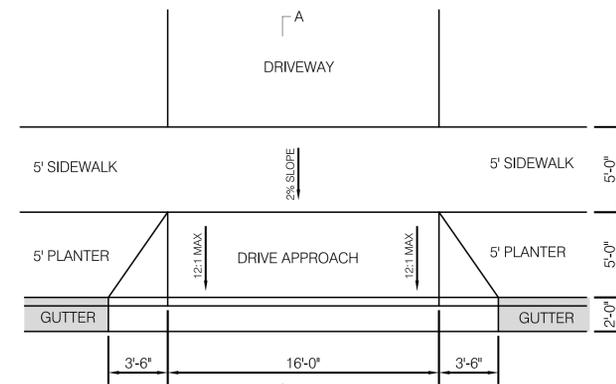
4 26' PRIVATE STREET
SCALE 1"=1'



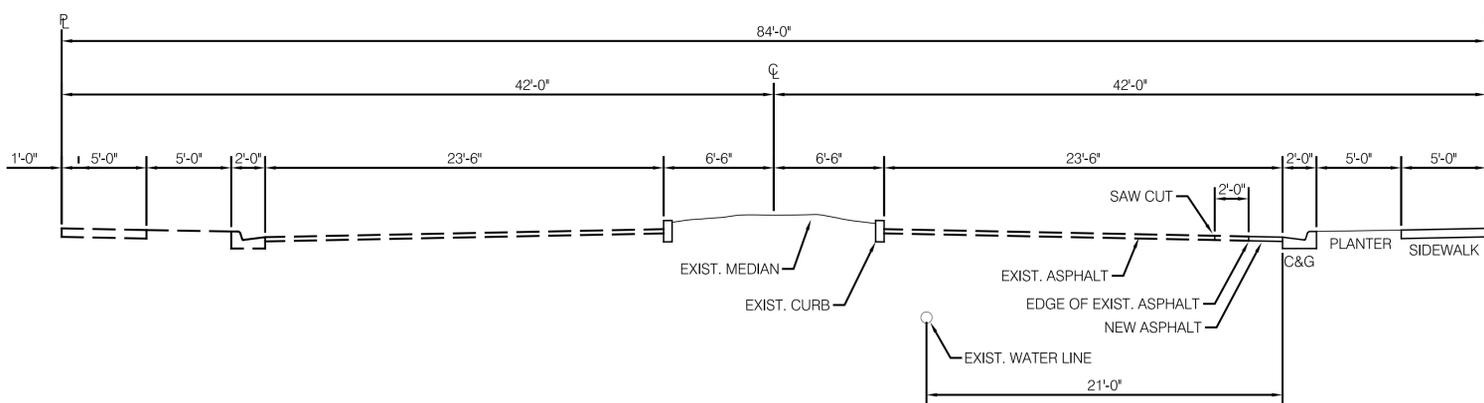
1 TYPICAL ADA RAMP
SCALE 1"=1'



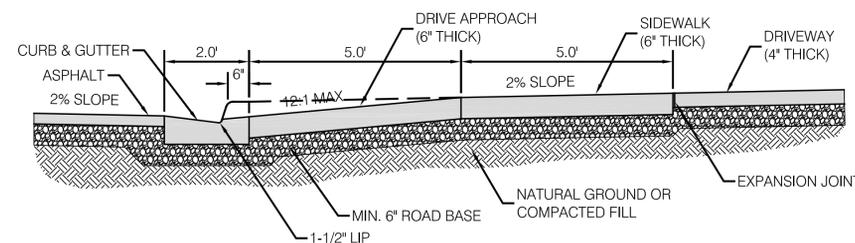
6 96' 620 SOUTH STREET
SCALE 1"=1'



2 TYPICAL ADA RAMP
SCALE 1"=1'



5 84' 600 EAST STREET
SCALE 1"=1'



3 TYPICAL ADA RAMP
SCALE 1"=1'

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 1 | 04/07/2014 | IPC #1 Comments |
| 2 | 07/17/2014 | IPC #1 Final Comments |
| 3 | 07/23/2014 | IPC #2 Final Comments |
| 4 | 11/16/2014 | 820 South Changes |

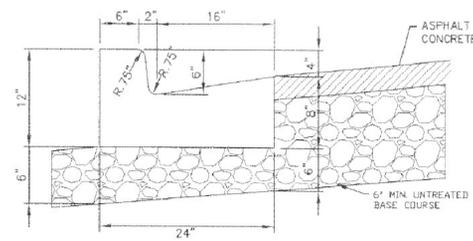
2831 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

H&H
ENGINEERING &
SURVEYING, INC.

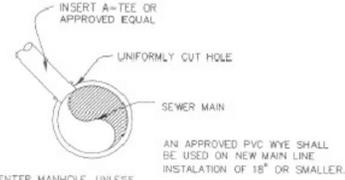
PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

| | |
|-------------|--------------|
| PROJECT NO. | 13-425-02 |
| DATE | Mar 14, 2014 |
| HOR SCALE | As Noted |
| VER SCALE | As Noted |
| ENGINEER | VH |
| DRAFTED | BS |
| CHECKED | VH |

TITLE
**GENERAL
DETAILS**

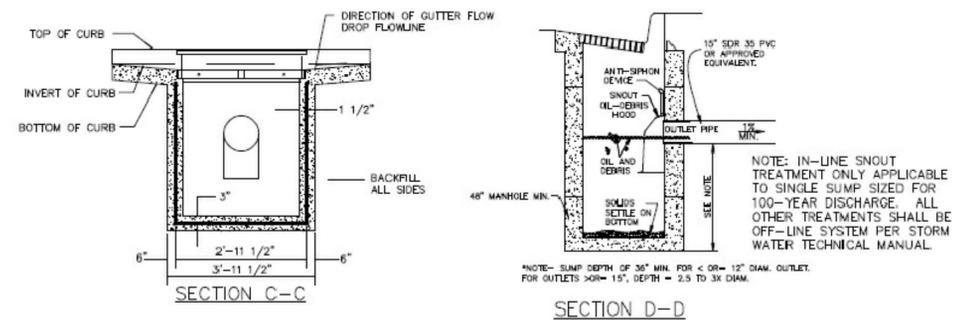
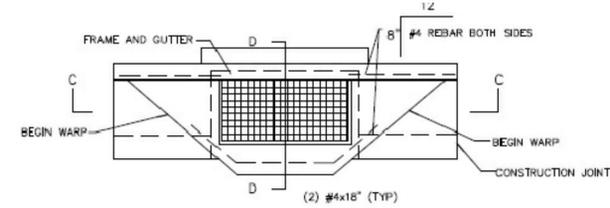


4 TYPICAL CURB & GUTTER
SCALE 1"=1"

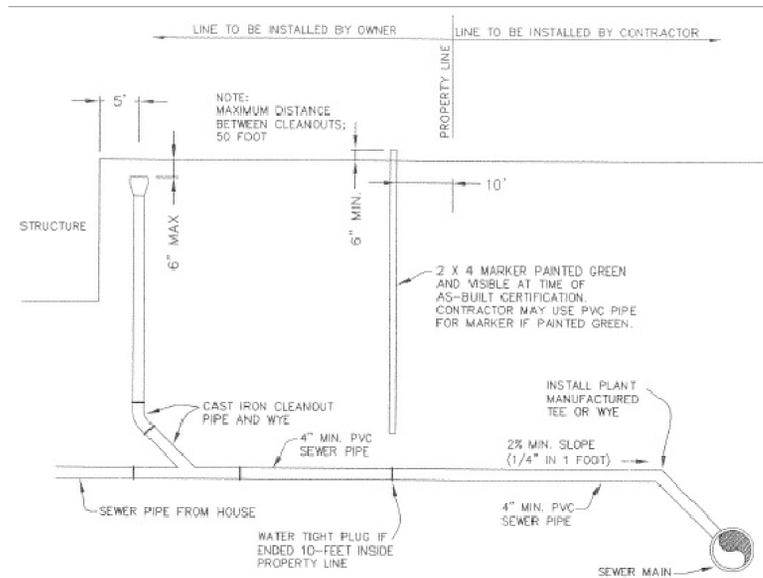


3 TYPICAL SEWER SERVICE LATERAL
SCALE 1"=1"

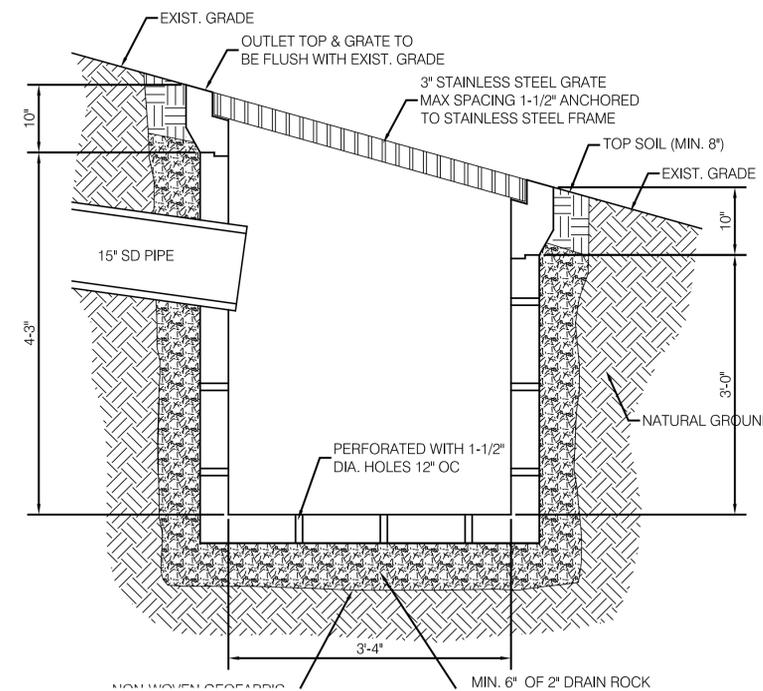
NOTE:
A POLLUTION PREVENTION DECAL
REQUIRED ON ALL STORM DRAIN
CATCH BASINS AND PRE-TREATMENT
CURB INLETS.



1 TYPICAL PRE-TREATMENT CURB INLET
SCALE 1"=1"



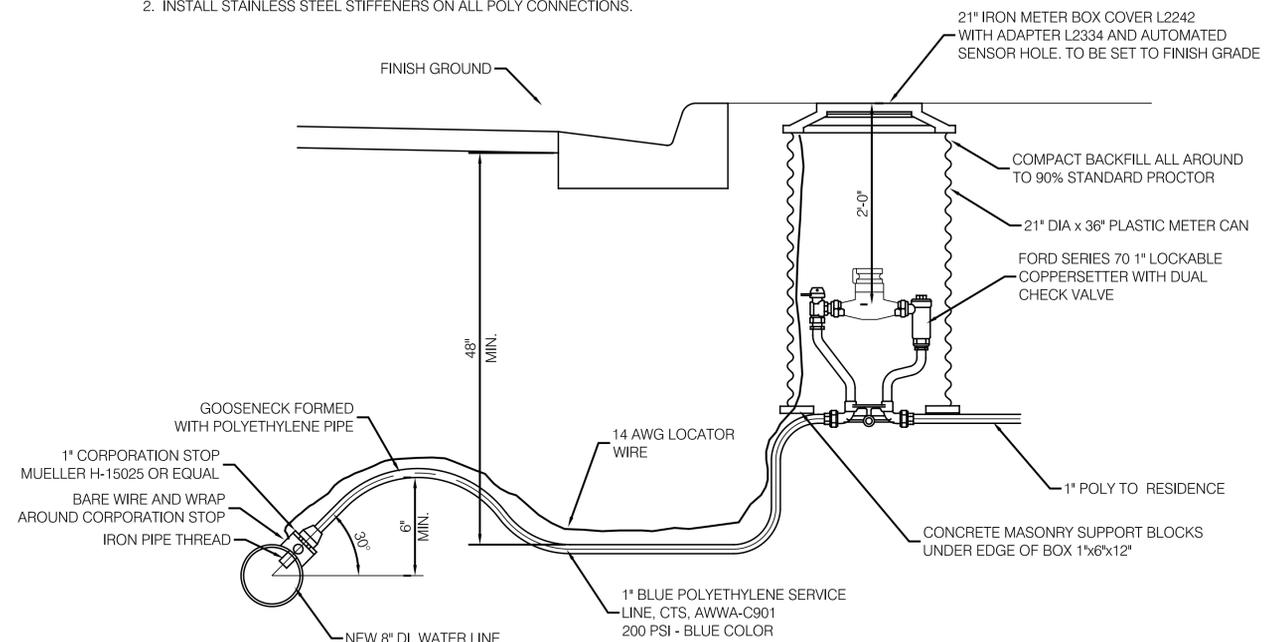
5 TYPICAL SEWER LATERAL
SCALE 1"=1"



6 TYPICAL STORM WATER OUTLET
SCALE 1"=1"

NOTES:

- METER BOX, COVER, COPPERSETTER, CORPORATION STOP, & SERVICE LINES TO BE FURNISHED AND INSTALLED BY CONTRACTOR, METER PROVIDED AND INSTALLED BY OWNER OR UNDER OWNERS DIRECTION.
- INSTALL STAINLESS STEEL STIFFENERS ON ALL POLY CONNECTIONS.



2 TYPICAL WATER SERVICE
SCALE 1"=1"

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 1 | 04/07/2014 | TRC #1 Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 3 | 07/23/2014 | TRC #2 Final Comments |
| 4 | 11/16/2014 | 2013 South Changes |

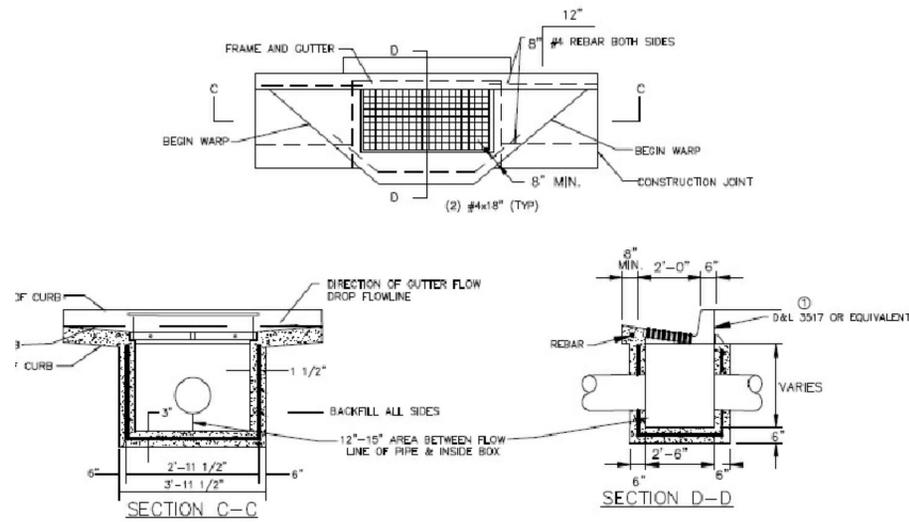
2831 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84003
TEL: (801) 756-2488
FAX: (801) 756-3499

H&H
ENGINEERING &
SURVEYING, INC.

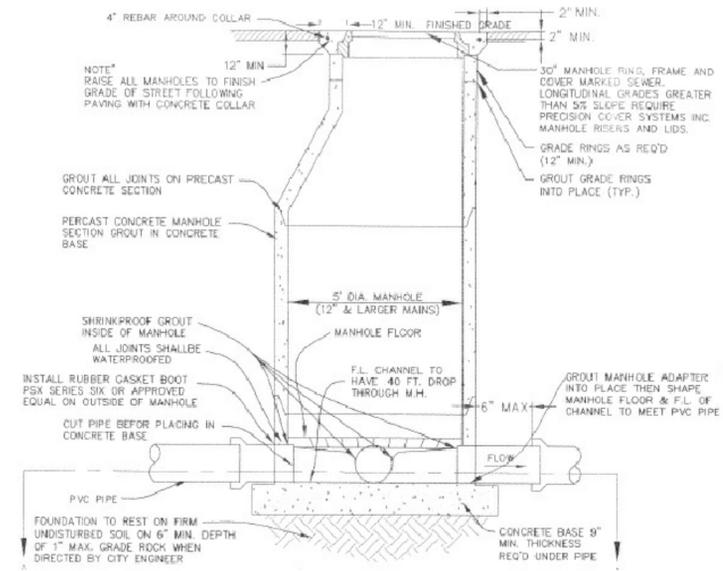
PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

| | |
|-------------|--------------|
| PROJECT NO. | 13-425-02 |
| DATE | Mar 14, 2014 |
| HOR SCALE | As Noted |
| VER SCALE | As Noted |
| ENGINEER | VH |
| DRAFTED | BS |
| CHECKED | VH |

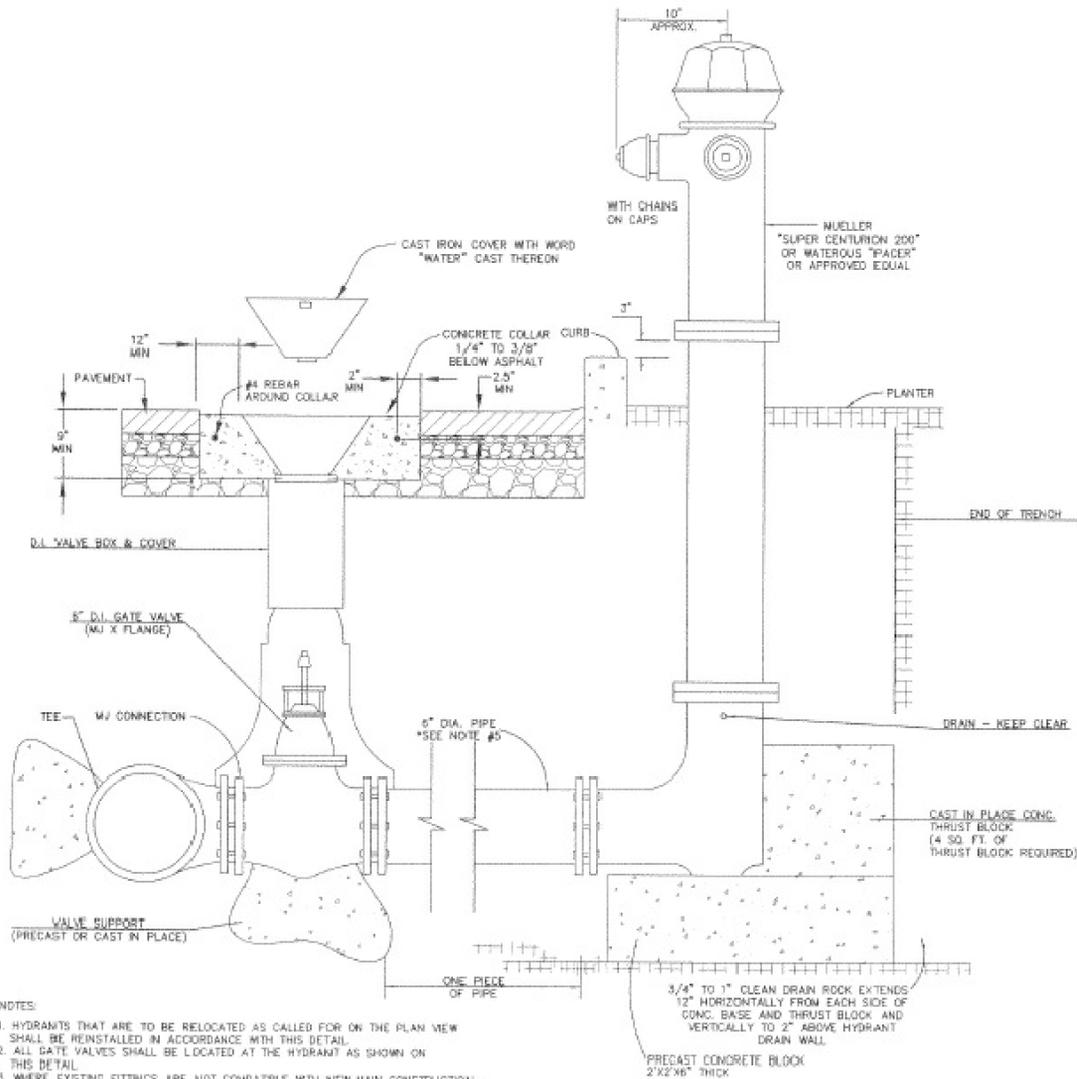
TITLE
**GENERAL
DETAILS**



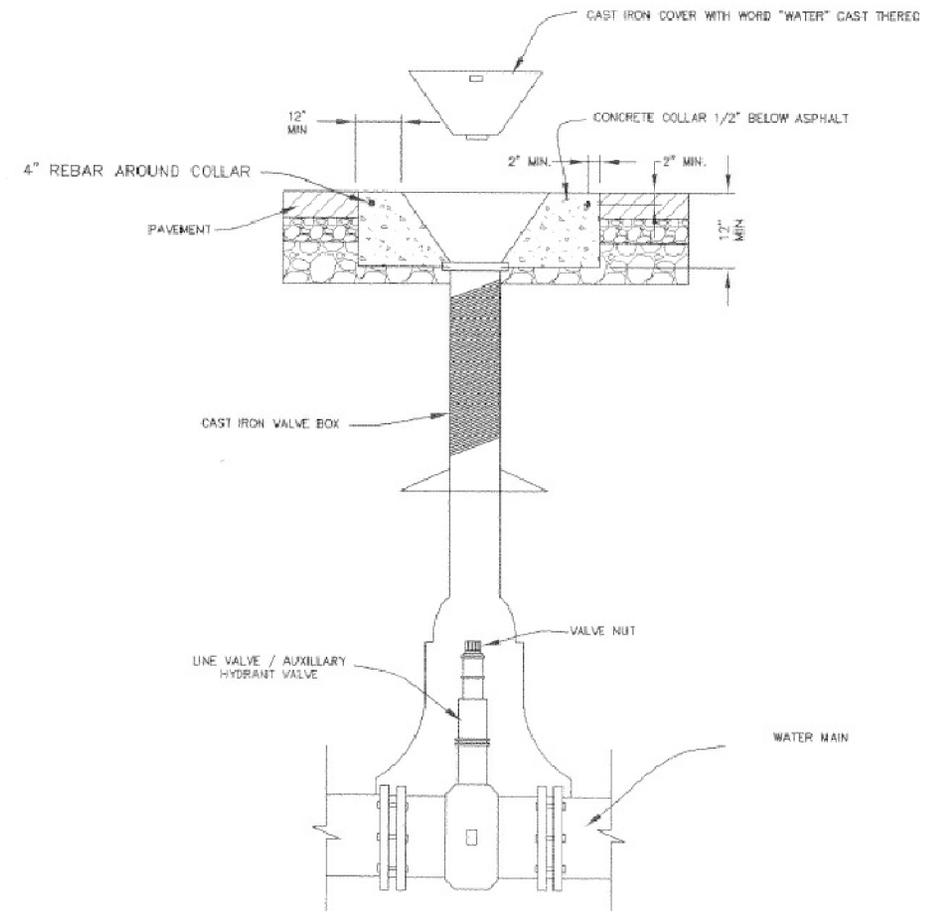
3 TYPICAL CURB INLET BOX
SCALE 1"=1'



1 TYPICAL MANHOLE INSTALLATION
SCALE 1"=1'



6 FIRE HYDRANT ASSEMBLY
SCALE 1"=1'



2 TYP. WATER VALVE RISER
SCALE 1"=1'

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 1 | 04/07/2014 | TRC #1 Comments |
| 2 | 07/17/2014 | TRC #1 Final Comments |
| 3 | 07/23/2014 | TRC #2 Prel Comments |
| 4 | 11/16/2014 | 2013 South Driggs |

2831 EAST MAIN STREET, SUITE 2
AMERICAN FORK, UTAH 84002
TEL: (801) 756-2488
FAX: (801) 756-3499

H&H
ENGINEERING &
SURVEYING, INC.

PROJECT NAME:
HARRINGTON HOLLOW
A PLANNED COMMUNITY
AMERICAN FORK, UTAH

| | |
|-------------|--------------|
| PROJECT NO. | 13-425-02 |
| DATE | Mar 14, 2014 |
| HOR SCALE | As Noted |
| VER SCALE | As Noted |
| ENGINEER | VH |
| DRAFTED | BS |
| CHECKED | VH |

TITLE
GENERAL DETAILS

19 OF 19
SHEET
CD-03

AGENDA TOPIC: Hearing, review and action on the final plat for Harrington Hollow Subdivision, consisting of 30 units, located in the vicinity of 620 East 650 South in the PC (Planned Community) zone..

ACTION REQUESTED: Recommendation of approval of the final plat.

| BACKGROUND INFORMATION | | | | | |
|------------------------------|-------|------------------------------------|-----|--|----|
| Location: | | Approximately 620 East 650 South | | | |
| Applicants: | | H & H Engineering/Fieldstone Homes | | | |
| Existing Land Use: | | Vacant | | | |
| Proposed Land Use: | | Residential | | | |
| Surrounding Land Use: | North | Commercial/Vacant | | | |
| | South | Commercial | | | |
| | East | Agriculture | | | |
| | West | Commercial | | | |
| Existing Zoning: | | PC (Planned Community) | | | |
| Proposed Zoning: | | N/A _{Text} | | | |
| Surrounding Zoning: | North | PC (Planned Community) | | | |
| | South | PI-1 (Planned Industrial) | | | |
| | East | Industrial (Utah County) | | | |
| | West | GC-2 (Planned Commercial) | | | |
| Growth Plan Designation: | | Planned Community | | | |
| Zoning within density range? | | x | Yes | | No |

PROJECT DESCRIPTION: Final plat approval of the Harrington Hollow Subdivision.

Background

Harrington Hollow is a proposed subdivision located within the development formerly known as “Vintaro”. An amended overall concept plan was approved, followed by a preliminary plan approval on May 7, 2014. The concept plan amendment lowered the number of units from roughly 54 to 30. The overall density of the proposed subdivision is 5.48 units per acre.

Harrington Hollow will have one point of access off of 600 East. The subdivision proposes one access to the east, for future development. Streets within the subdivision will be private and will adhere to standards for private streets within planned community

developments, as called out in Figure 17.7.507-A of the Development Code. A public travel easement will be placed along Academy Drive as it enters the development and, from there, along Bishop Lane to the east. This is noted on the final plat.

All lots within the subdivision are less than 10,000 sq. ft. in size; therefore the provisions of the Planned Community zone require the submission of at least four (4) different model types of homes to be constructed (17.7.507.F.8.2). Fieldstone provided renderings and floor-plans with the preliminary plan submittal. In addition, landscape treatment of the HOA maintained areas will be provided.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Planned Community”. The proposed preliminary plan consistent with the Land Use Plan designation.

Section 17.7.211 of the Development Code

The Planning Commission may act to recommend approval of the final plat upon a finding that:

- a. The final plat and supporting materials conform with the terms of the preliminary approval.

This final plat conforms to the terms of the preliminary approval.

- b. The final plat complies with all City requirements and standards relating to large scale developments.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address concerns, if any, in their report.

- d. The estimates of cost of constructing the required improvements are realistic.

At the time that a performance guarantee is issued, costs are analyzed and adjusted, if needed, by Engineering.

- e. The water rights conveyance documents have been provided.

The water rights conveyance will be satisfied prior to final plat recordation.

FINDINGS OF FACT/CONDITION OF APPROVAL

After reviewing the application for final plat approval, the following findings of fact and condition of approval are offered for consideration:

1. The final plat is consistent with the Land Use Plan designation of “Planned Community”.
2. The final plat meets the applicable criteria as found in Section 17.7.507 of the Development Code.
3. The final plat meets the criteria as found in Section 17.7.211 of the Development Code.
4. Water rights conveyance shall be satisfied prior to final plat recordation.

POTENTIAL MOTIONS

Mr. Chairman, I move that we recommend approval of the final plat for Harrington Hollow, with the findings and condition as outlined in the staff report and subject to any conditions listed in the engineering report.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 8/20/2014

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

1. Project Name: Harrington Hollow Planned Community
2. Type of Application:
 Subdivision Final Plat Subdivision Preliminary Plan Annexation
 Code Text Amendment General Plan Amendment Zone Change
 Commercial Site Plan Residential Accessory Structure Site Plan
3. Project Address: 620 East 650 South
4. Developer / Applicant's Name: Fieldstone Homes
5. **Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:
 - A. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 8/20/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.
 - B. Finding that approval is conditional upon all City utilities and the full public roadway corridor being installed on 620 South.
 - C. Receipt of easement for irrigation ditch/storm drain system on adjacent properties as indicated on the plans.
6. **Applicant is requesting that the Planning Commission waive the following requirement:**
 - A. none
7. **Plan Submittal:**

- L. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
- M. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

9. **Plan Modifications Required:**

- A. The current final plat as submitted has the beginnings of an address table and the addresses are listed on the lots. It appears that address table should be eliminated.
- B. Provide a definition/explanation on the plat that sight triangle restricts sight blockages between 3~8 feet.
- C. Provide restriction on the final plat indicating that no lot access will be allowed from either 600 East or 620 South.
- D. In addition to the one scenario provided, provide a typical drainage scenario for the rear yards/roof drains when the rear yard is on the southern or downhill side of the lot. Final lots cannot allow drainage to pass from one lot to another or to adjacent properties.
- E. Add two OMR 4-2 signs to either side of the type III barricade.
- F. Ensure that final conduit crossings are on construction plans to match dry utility plans.

1 AMERICAN FORK CITY
2 PLANNING COMMISSION MEETING MINUTES
3 AUGUST 20, 2014
4

5 The American Fork Planning Commission met in a regular session on August 20, 2014, in the
6 American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.
7

8 Present: John Woffinden, Chairman
9 Commission Members: Marie Adams, Nathan Schellenberg, Rebecca Staten,
10 Geoff Dupaix, Harold Dudley, Eric Franson (7:14 p.m.)
11 Alternate Member: Leonard Hight
12 Adam Olsen, Senior Planner
13 Wendelin Knobloch, Associate Planner
14 Howard Denney, Engineering Services Manager
15 Kim E. Holindrake, Public Works Administrative Assistant
16 Others: Andy Flamm – Fieldstone Homes, Glen Nilson, Vic Hansen, Randy
17 Tubbs, Ken Berg – Berg Civil Engineering, Errol Childs, Eric Winters - Stantec
18

19 1. Pledge of Allegiance
20

21 Those in attendance stood and stated the Pledge of Allegiance.
22

23 Leonard Hight was recognized as a voting member.
24

25 2. Hearing, review and action on the final plat for Harrington Hollow Planned Community,
26 consisting of 30 units, located in the vicinity of 620 East 650 South in the PC-Planned
27 Community zone (7:01 p.m.)
28

29 Staff Presentation:

30 Adam Olsen stated this project occupies a portion of the former Vintaro development and
31 conforms to the preliminary plan approved in May. It contains 30 lots. There is a stub road to the
32 east with an access easement for the property to the east.
33

34 Applicant Presentation:

35 Andy Flamm stated this project has 30 single-family, detached homes and is located just off the
36 freeway.
37

38 PUBLIC HEARING

39 No comments were made, and the public hearing was closed.
40

41 Commission Discussion:

42 Rebecca Staten stated she could not find any street lights. She is concerned with the streets not
43 having stop signs because everyone thinks they have the right-of-way. These are smaller homes
44 and smaller lots, which generally means families with kids.
45

46 Vic Hansen stated there is just no parking on one side of the street on 640 South. He will review
47 the no parking along the streets and at the curves with the fire department. The street light
48 symbol may have been turned off when the utility plan was printed, but there are street lights. He
49 will add two stop signs at the intersections but keep the main road going through.

50
51 Adam Olsen stated in the packet on the street profiles there are callouts for street lights and street
52 signs.

53
54 Geoff Dupaix stated item 2 on the conditions is the buildout of 620 North. He questioned if there
55 is any sense from builder that this will happen.

56
57 Howard Denney stated there has been some question about this. Staff's determination is if it is
58 shown on the plan and approved, it is a requirement. The Commission needs to make sure there
59 is a commitment from the developer.

60
61 Andy Flamm stated at the previous meeting they discussed doing the full-width road and they
62 have committed to do that. In speaking to the City Engineer and staff, the City Code requires
63 them to pave 44 feet of asphalt. If utilities don't provide service to their subdivision, they are not
64 required to install them; but there has been some disagreement on that issue. They are working
65 through the State Ombudsman to formulate an opinion. The plans do have it in as required by the
66 City Engineer, but it may or may not be in the development agreement as a reimbursement. It has
67 not yet been determined. It is the utilities that are his concern.

68
69 Howard Denney stated that the Commission should realize this is a design zone, and it is a large
70 scale development. So it is based heavily on the approval of the Commission as to what the site
71 requirements are.

72
73 **MOTION: Nathan Schellenberg - To recommend approval of the final plat for Harrington**
74 **Hollow, with the findings and conditions and subject to the engineering recommendations**
75 **outlined in the staff report and engineering report.**

76 **Findings:**

- 77 • **The final plat is consistent with the Land Use Plan designation of "Planned**
78 **Community".**
- 79 • **The final plat meets the applicable criteria as found in Section 17.7.507 of the**
80 **Development Code.**
- 81 • **The final plat meets the criteria as found in Section 17.7.211 of the**
82 **Development Code.**

83 **Conditions:**

- 84 • **Water rights conveyance shall be satisfied prior to final plat recordation.**
- 85 • **All Standard Conditions of Approval and items denoted as "Plan**
86 **Modification(s) Required" in the 8/20/2014 Engineering Division Staff**
87 **Report for the City Land Use Authority shall be addressed on all final**
88 **project documents.**
- 89 • **Finding that approval is conditional upon all City utilities and the full public**
90 **roadway corridor being installed on 620 South.**

- 91 • **Receipt of easement for irrigation ditch/storm drain system on adjacent**
92 **properties as indicated on the plans.**

93
94 Seconded by Rebecca Staten.

95
96 Yes - Marie Adams
97 Harold Dudley
98 Geoff Dupaix
99 Leonard Hight
100 Nathan Schellenberg
101 Rebecca Staten
102 John Woffinden
103 Abstain- Eric Franson Motion passes.
104

- 105 3. Hearing, review and action on a commercial site plan for Building C of Northshore
106 Corporation Center Plat D, located at 871 South Auto Mall Drive in the GC-2 Planned
107 Commercial zone (7:16 p.m.)

108
109 Staff Presentation:

110 Adam Olsen stated in 2012 the existing building labeled ‘A’ and ‘B’ was constructed. At the
111 time of the original approval, it was anticipated this building would be constructed. It will mirror
112 the existing building as far as the colors, materials, landscaping, and construction so it will
113 function as one site. It abuts UDOT property, but it is anticipated UDOT will sell that property in
114 the future. The loading dock will be interior to the site and shielded from view per the City Code.
115 The subdivision is a division from the one parent property into two parcels. There is a shared
116 access easement along the interior drive and a shared arrangement because the dumpster location
117 is on what will be lot 2. The site functions together as one cohesive site.

118
119 Howard Denney stated engineering is recommending street lights be added at the intersection of
120 200 South and Auto Mall Drive and the driveway entrance between lots 1 and 2. It may be
121 possible to make this part of the street lighting of the parking lot. Staff is asking that the motion
122 include, *Final plans shall provide details on site lighting. All site areas shall be lit for safety.*
123 *Entry points are required to provide lighting fixtures as well as public frontage. Frontage*
124 *lighting may be accomplished by private fixtures if deemed equivalent by City Engineer.*

125
126 Applicant Presentation:

127 Ken Berg stated they are happy to add this last piece with the additional building. They are
128 happy to work with staff on the lighting. They understand street lights are a big thing to pave the
129 way so entrances are visible.

130
131 PUBLIC HEARING

132 No comments were made, and the public hearing was closed.

133
134 **MOTION: Marie Adams - To recommend approval of the commercial site plan for the**
135 **retail warehouse located at 871 South Auto Mall Drive, in the GC-2 Planned Commercial**

City Council Minutes 9/9/2014

IMPROVEMENT BOND OR SETTING OF A TIME FRAME FOR IMPROVEMENT INSTALLATION; AND 4) AUTHORIZATION TO SIGN THE FINAL PLAT AND ACCEPTANCE OF ALL DEDICATIONS TO THE PUBLIC AND TO HAVE THE PLAT RECORDED.

- a. Review and action on an Ordinance approving a commercial site plan for BioLife Plasma Center, located at 632 North 900 West, in the GC-2 Planned Commercial zone – BioLife/Stantec

Adam Olsen reported that this was in the IFA Subdivision Lot 4. The plans that the Planning Commission saw had an additional right turn in off 900 West into the site. The Planning Commission denied approval. Since that time they have now changed the plan to eliminate that and that was the one in the packet.

Councilman Frost commented that he did not see the buffer zone on the site plan.

Mr. Olsen reported that one of the conditions was that the landscaping match what was approved. The reason it was not shown to the Planning Commission was because the two timelines for approval overlapped.

Councilman Taylor asked if there were other outstanding issues.

Mr. Olsen responded that there were not.

Councilman Taylor moved to adopt Ordinance No. 2014-09-31 approving a commercial site plan for BioLife Plasma Center, located at 632 North 900 West, in the GC-2 Planned Commercial zone with instructions to the City Recorder to withhold publication of the ordinance subject to:

- **All conditions identified in the August 20, 2014 Planning Commission meeting.**
- **That the landscaping would be according to the approved plan.**

Councilman Frost seconded the motion. All were in favor.

- b. Review and action on an Ordinance adopting the final plat and site plan of Harrington Hollow Planned Community, consisting of 30 units, located in the vicinity of 620 East 650 South in the PC-Planned Community zone. – H & H Engineering – Fieldstone Homes

Andy Flamm was present representing Fieldstone Homes.

Councilman Taylor noted that he reviewed the plans and all things were in including the asphalt, as far as it was required. He did not see any objections from the Planning Commission.

Mr. Olsen reported that the Planning Commission unanimously recommended approval. This was the first Phase of what was Vintaro in the southwest portion.

Councilman Shelton asked if the different developers were working together to match up the utilities.

Mr. Olsen answered that he believed in the end they would all match up. They hit a little bump in the road regarding 620 South. They were working with the City Attorney's Office on that and also Fieldstone.

Councilman Shorter moved to adopt Ordinance No. 2014-09-32 approving the final plat and site plan of Harrington Hollow Planned Community, consisting of 30 units, located in the vicinity of 620 East 650 South in the PC-Planned Community zone and to authorize the Mayor and City Council to sign the plat and accept the dedications with instructions to the City Recorder to withhold recording of the plat and publication of the ordinance subject to:

- **All conditions as identified in the August 20, 2014 Planning Commission meeting.**

Councilman Taylor seconded the motion.

Mayor Hadfield asked the developers what was magical about the name, Harrington Hollow.

Andy Flamm responded that they were looking for something unique and Harrington was the first Mayor of American Fork.

Mayor Hadfield was impressed that they were doing some history work.

Mayor Hadfield called for a vote on the motion. All were in favor.

- c. Review and action on the final plat of Northshore Corporation Center Plat D, consisting of 2 lots, located at 871 South Automall Drive, in the GC-2 Planned Commercial zone. – Berg Engineering

Mayor Hadfield noted that these were the remaining two lots in that area.

Ken Berg stated that they were excited to bring this last remaining piece of property in this area. In the Planning Commission they talked about street lights and the City's changeover with regard to streetlights. That was the only real question that his client had. Were they going to be the only one with a street light? He was working with staff showing their building lighting plan to show that they did have proper lighting.

Mayor Hadfield asked if there were any questions.

Councilman Bowen asked for clarification.

Mr. Berg responded that in the Planning Commission there were two options presented. It was either put as street light in the public right-of-way that the City would maintain. As this was a re subdivision of a subdivision, the time for that had passed. The other option was internal lighting and they were looking at lighting from the building that



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
November 18, 2014

Department Public Works

Director Approval 

AGENDA ITEM Review and action on an Improvements Agreement with Fieldstone Utah Investors, LLC for improvements associated with the Harrington Hollow Subdivision.

SUMMARY RECOMMENDATION Staff recommends approval of the Agreement.

BACKGROUND The City and Fieldstone recently entered a mediation administered by the State Office of the Property Rights Ombudsman regarding improvements associated with 620 South. The attached agreement reflects the results of the mediation. Fieldstone will dedicate the right-of-way for the full roadway corridor. Additionally, Fieldstone will place improvements commensurate with their impact on 620 South, as determined in the mediation.

BUDGET IMPACT Fieldstone will receive credits totaling the cost incurred for improving portions of 620 South, up to a maximum credit of transportation impact fees for 30 lots (current fee value \$1,348.39 each) for a total credit of \$40,451.70. If there is a change in the impact fee assessment, the corresponding credit will also be modified. If costs exceed the estimated value, the additional expenses will need to be paid by the City through impact fee revenues.

SUGGESTED MOTION I move to approve the Improvements Agreement with Fieldstone Utah Investors, LLC for the Harrington Hollow Subdivision, and authorize the Mayor to execute the documents.

SUPPORTING DOCUMENTS

1. Improvements Agreement.
2. Engineers Estimate
3. Exhibit of Improvement Area

IMPROVEMENTS AGREEMENT

This Improvements Agreement ("Agreement") is entered into as of this ____ day of November, 2014, by and between Fieldstone Utah Investors, LLC ("Fieldstone") or its assigns and American Fork City, a municipal corporation and political subdivision of the State of Utah (the "City").

RECITALS

A. Fieldstone intends to develop a new residential subdivision approximately located at 600 East 620 South, American Fork City, and comprised of approximately 5.47 acres known as Harrington Hollow (the "Subdivision").

B. The City's master transportation plan calls for a roadway to be constructed immediately adjacent to the northern end of the Subdivision known as 620 South. That portion of 620 South that is immediately adjacent to the Subdivision is referred to herein as the "Roadway."

C. The Subdivision will not have access onto or from the Roadway, but the Subdivision will likely generate some pedestrian and vehicular traffic along the Roadway.

D. After analyzing the applicable standards under Utah law for exactions, and with the assistance of the lead attorney of the Office of the Property Rights Ombudsman, Fieldstone and the City have reached an agreement regarding construction and cost-sharing obligations regarding the Roadway. This Agreement formalizes the terms and understanding they reached.

AGREEMENT

NOW, THEREFORE, in consideration of the representations, warranties, covenants and agreements contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. Recitals. The above-stated Recitals are incorporated herein by this reference.
2. Dedication of Land. Fieldstone will dedicate to the City, free of charge, that portion of the land for the Roadway that is part of the land Fieldstone has under contract to purchase (i.e., the portion of 620 South immediately adjacent to the northern end of the Subdivision).
3. Fieldstone's Obligation. With respect to the Roadway, Fieldstone's obligations are as follows:
 - (a) Fieldstone will install, at its own expense, the curb, gutter and park-strip along the portion of the Roadway that borders its Subdivision; and

(b) Fieldstone will contribute, at its expense, road base for emergency access (75,000 lb weight capacity) sufficient for a 20 foot-wide stretch along the portion of the Roadway adjacent to the Subdivision.

4. City Obligations. With respect to the Roadway, the City shall be responsible for the following costs and expenses: all sub-base, road base, asphalt, excavation/grading, storm water drainage catch basin, and other improvements, if any, in excess of what Fieldstone will contribute under Paragraph 3 above, but said roadway improvements will be no more than 24 feet wide (collectively, the “City’s Portion”). Fieldstone will obtain at least three (3) bids for construction of the improvements, and the City shall have final say on selection of the contractor.

5. Construction and Credit. Fieldstone will construct all of the improvements of the Roadway covered by this Agreement, and will cooperate with the City regarding the engineering, layout, and design of the Roadway, including, without limitation, the location to stub the utilities and the storm water drainage catch basin. Fieldstone will construct and install the City’s Portion of the improvements; provided, however, that Fieldstone will receive a dollar-for-dollar credit against the road/transportation impact fees paid for building permits in this Subdivision equal to the amount of the costs of the City’s Portion (confirmed by City-approved bids and contractors). By way of example, if the costs of the City’s Portion total \$30,000.00, then Fieldstone will have a \$30,000 credit to be applied against transportation impact fees that would otherwise be paid when building permits are issued for this Subdivision.

6. No Other Obligations. Except for the obligations set forth in Paragraph 3 above, Fieldstone will not have any other obligations relating to 620 South, nor will Fieldstone be required to install any utilities under 620 South. However, this provision does not affect Fieldstone’s other obligations related to the project’s construction.

7. Miscellaneous. This Agreement shall be governed by, and construed in accordance with, the laws of the State of Utah. This Agreement constitutes the entire agreement between the parties regarding the subject matter hereof and supersedes all prior understandings, written or oral, regarding the subject matter hereof. This Agreement may only be modified or altered by a writing signed by both parties. In the event either party seeks to enforce the terms hereof in a lawsuit or other proceeding, the prevailing party shall be entitled to an award of the costs incurred, including reasonable attorney fees. This Agreement may be executed in multiple original counterparts, each of which shall be deemed to be an original and all of which, taken together, shall constitute one and the same Agreement.

8. Binding Effect. This Agreement is a binding and enforceable agreement. It shall inure to the benefit of, and be binding upon, the parties hereto and their respective representatives, officers, agents, employees, members, successors in interest, and assigns. Fieldstone shall inform any partners or successors-in-interest of the project of the existence of this Agreement.

[SIGNATURES ON FOLLOWING PAGE]

WHEREFORE, the parties have executed the foregoing Improvements Agreement to be effective the date first appearing above.

Fieldstone Utah Investors, LLC

American Fork City

By: _____

By: _____

Name: _____

Name: _____

Its: _____

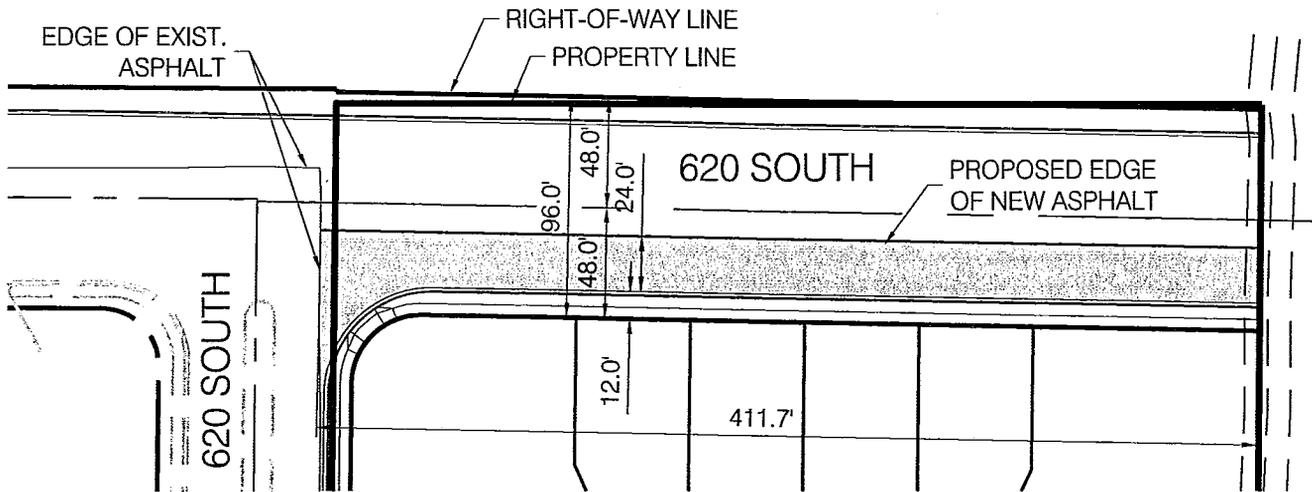
Its: _____

Harrington Hollow

Reimbursement/Improvement Costs

Description: Furnish & Install Project & Non-project Improvements as part of the Harrington Hollow Subdivision

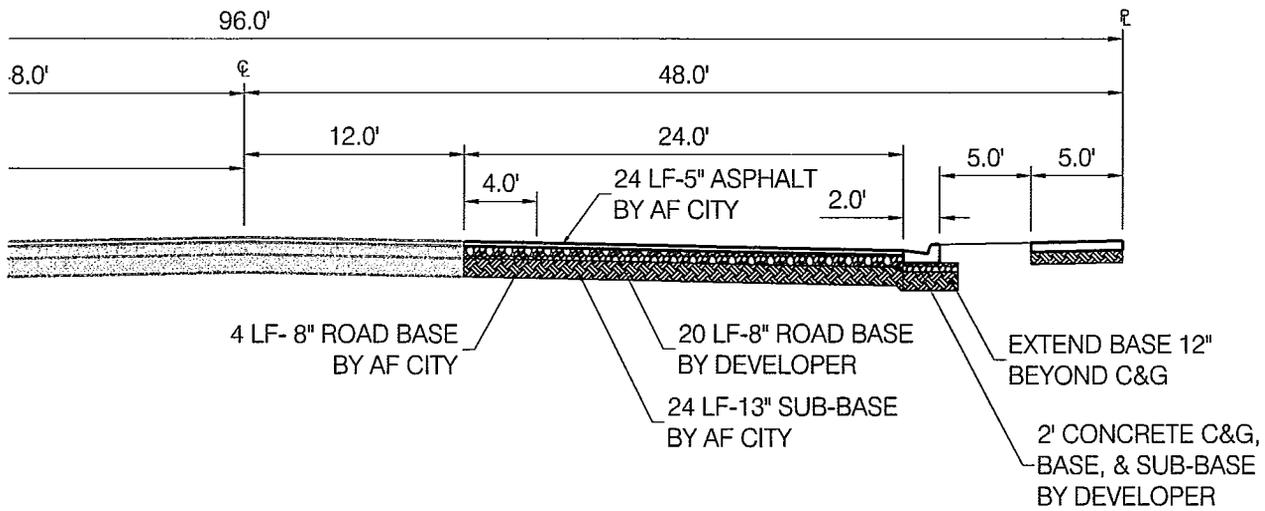
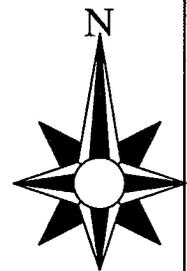
| Item | Description | Quantity | Unit | Unit Cost | Total Cost |
|------|--|----------|------|------------|--------------------|
| | Required by Developer | | | | |
| | Roadway Pavement Section | | | | |
| - | 8" Road base by Developer | 8234 | sf | \$0.68 | \$5,599.12 |
| | Subtotal | | | | \$5,599.12 |
| | City Participation | | | | |
| | Roadway | | | | |
| 1 | 5" Asphalt by AF City | 9880 | sf | \$2.10 | \$20,748.00 |
| 2 | 8" Road Base by AF City | 1646 | sf | \$0.68 | \$1,119.28 |
| 3 | 13" Sub-base by AF City | 9880 | sf | \$0.46 | \$4,544.80 |
| 4 | 18" Roadway Excavation (Pavement Area) | 9880 | sf | \$0.90 | \$8,892.00 |
| 5 | Storm Drain Inlet | 1 | each | \$1,500.00 | \$1,500.00 |
| 6 | Storm Drain Pre-Treatment Manhole | 1 | each | \$3,800.00 | \$3,800.00 |
| 7 | 15" RCP Pipe | 44 | lf | \$35.00 | \$1,540.00 |
| | Subtotal | | | | \$42,144.08 |
| | Combined 15% Contingency | 1 | ls | \$7,161.00 | \$7,161.00 |
| | Combined City/Developer Construction Estimate | | | | \$54,904.20 |



620 SOUTH IMPROVEMENTS

PLAN VIEW

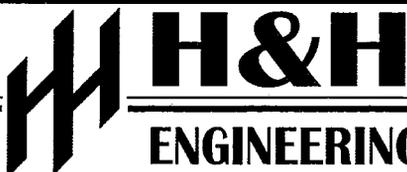
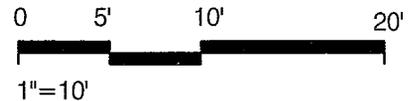
SCALE: 1"=80'



620 SOUTH IMPROVEMENTS

SECTION VIEW

SCALE: 1"=80'



ENGINEERING & SURVEYING, INC.

233 EAST MAIN ST., SUITE 2
 AMERICAN FORK, UTAH 84003
 TEL: (801) 756-2488
 FAX: (801) 756-3499

PREPARED FOR:
EXHIBIT "A"
 HARRINGTON HOLLOW
 A SUBDIVISION IN
 AMERICAN FORK, UTAH



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
NOVEMBER 18, 2014

Department Public Works

Director Approval 

AGENDA ITEM Approval of a contract change order to the 2014 Pacific Drive Overlay and Drainage project.

SUMMARY RECOMMENDATION Staff recommends approval of a change order to Morgan Asphalt for additional work as outlined in Contract Change Order 1 and is in addition to the base contract.

BACKGROUND Currently staff is overseeing the 2014 Pacific Drive Overlay and Drainage project along 100 North between 150 West and 200 East. During the exploratory phase of this project additional work was identified as being needed, however due to lack of funding and the potential expansion of 100 North in the future, only those infrastructure repairs deemed as high priority were included in the initial project scope.

This change order adds one additional manhole and its appurtenances at approximately 130 West 100 North. This is between 100 West and 200 West on the north side of the railroad tracks. The old sewer in this location came to a dead end with a clean out only. By installing the manhole, we will be able to insituform this portion of sewer line in the future as part of a sewer rehabilitation project.

Additional concrete work is necessary with the widening of 100 North to accommodate an extended left turn queueing lane at the 100 East intersection.

Asphalt repairs to road cuts for water service laterals done outside of this contract will be made by Morgan Asphalt at the time they do their contracted trench repairs.

As previously discussed with the Council, the work will be suspended over the winter to allow for a new water main to be placed in the roadway corridor. The overlay will commence on May 18, 2015.

BUDGET IMPACT The total for work performed with this change order is \$16,890.

SUGGESTED MOTION Move to accept Change Order 1 submitted by Morgan Asphalt for the 2014 Pacific Drive Overlay and Drainage Project in the amount of \$16,890, adjusting the

project total to \$427,670 and project completion date to Jun 18, 2015; and authorize staff to proceed with the execution of the change order.

SUPPORTING DOCUMENTS Contract Change Order 1

DOCUMENT 009900

CONTRACT CHANGE ORDER

Project: Pacific Drive Overlay and Drainage
Location: American Fork City
Change Order No.: 1

Date: October 31, 2014

To: Morgan Asphalt

You are hereby requested to comply with the following changes from the contract plans and specifications:

| Item No. | Description of Changes, Quantities, Units, Unit Prices, Change in Completion Schedule, etc. | Decrease In Contract Price | Increase In Contract Price |
|----------|---|----------------------------|----------------------------|
| 1 | Install Sewer Manhole – 1 each @ \$4,000.00. | | \$4,000.00 |
| 2 | Lower CB1 by 2' and add riser – 1 each @ \$430.00. | | \$430.00 |
| 3 | Add 2' Silt Trap to MH-1 – 1 each @ \$490.00. | | \$490.00 |
| 4 | Adjust Pipe Outlet in Sump – 2 each @ \$250.00 equals \$500.00. | | \$500.00 |
| 5 | Repair Sewer Line – 1 lump sum @ \$1,320.00. | | \$1,320.00 |
| 6 | Asphalt T Patch on waterline services – 14 each @ \$390.00 equals \$5,460.00. | | \$5,460.00 |
| 7 | 6" Concrete Flatwork – 700 square feet @ \$6.70 per square foot equals \$4,690.00. | | \$4,690.00 |
| | Change in contract price due to this Change Order: | | |
| | Total Decrease | | |
| | Total Increase | | \$16,890.00 |
| | Net increase | | \$16,890.00 |

The sum of \$16,890.00 is hereby added to the total contract price and the total adjusted contract price to date thereby is \$390,280.50.

The time provided for completion in the contract is unchanged. This Document shall become an amendment to the contract & all provisions of the contract will apply hereto.

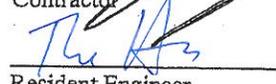
Accepted by: _____



Contractor

11/3/14
Date

Recommended by: _____



Resident Engineer

11-4-14
Date

Approved by: _____

Owner

Date



MORGAN

ASPHALT

1970 No. Redwood Road
 Salt Lake City, Utah 84116
 Phone (801)595-0010 Fax (801)595-0020
 www.morganasphalt.com

| | | | |
|--------------------------|---|--------------------|----------------|
| To: | Horrocks Engineers | Contact: | Scott Olson |
| Address: | 728 W. 100 S. Heber City, UT 84032 | Phone: | (435) 654-2226 |
| Project Name: | Pacific Dr. Overlay- Change Order #1 | Fax: | (435) 657-1160 |
| Project Location: | Pacific Dr. 300 West, American Fork, UT | Bid Number: | |
| Addendum #: | 1 | Bid Date: | 10/21/2014 |

Estimator: Earl Jolley
 Cell: (801) 842-7196
 Email: earl@morganasphalt.com

| Item # | Item Description | Estimated Quantity | Unit | Unit Price | Total Price |
|---|---|--------------------|------|------------|--------------------|
| Change Order #1 | | | | | |
| 1 | Furnish & Install Sewer Manhole & Make Connections To Existing Sewer Line. Station 13+90 Lt. | 1.00 | EACH | \$4,000.00 | \$4,000.00 |
| 2 | Lower Catch Basin By 2 Ft. (CB-1). | 1.00 | EACH | \$430.00 | \$430.00 |
| 3 | Add A 2 Ft. Silt Trap To Box (MH-1). | 1.00 | EACH | \$490.00 | \$490.00 |
| 4 | Adjust Outlet Pipe Hole In Sumps (sump #1 & Sump #2). To Avoid Utility Conflict, Under Direction Of Engineer. | 2.00 | EACH | \$250.00 | \$500.00 |
| 5 | Sewer Line Repair. Existing Sewerline Not Marked By Blue Stakes & Hit During Install Of Sump #1. City To Mark Sewerline, This Was Not Done. | 1.00 | LS | \$1,320.00 | \$1,320.00 |
| 6 | 4" Asphalt "T" Patch On Water Lateral Connection Locations Made By Another City Contractor. | 14.00 | EACH | \$390.00 | \$5,460.00 |
| 7 | 6" Drive Approach Or Sidewalk & 6" Roadbase. | 700.00 | SF | \$6.70 | \$4,690.00 |
| Total Price for above Change Order #1 Items: | | | | | \$16,890.00 |

Total Bid Price: \$16,890.00

Notes:

- The price includes one mobilization per crew. Additional mobilizations will be charged at \$1,500.00 per crew.
- Bid EXCLUDES: bonds, licenses, permits, fees, saw cutting, prime coat, herbicide, fog coat or sealing, seal coat or slurry seal, profilographing, soft subgrade repair, traffic control, site signage, glass beads for striping, thermoplastic tape, testing, inspections, surveying or engineering, utility adjustments or collaring and any type of membrane removal.
- Contractor's License No.: 339339-5501 (E100).
- Sub-grade to be prepared by others and ready to receive road base.
- If accepted, this proposal will become part of the subcontract.
- Price is based on using an AC-10 oil.
- PLEASE NOTE: This project is to be completed in 2014. Any work not completed in the current construction season may be subject to a price increase.



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
November 18, 2014

Department Administration

Director Approval *Richard M. Collier*

AGENDA ITEM Review and action on an Ordinance of Annexation and the Annexation Agreement for the McKinney Annexation, a portion of the Queens Drive Annexation, consisting of 3.42 acres at approximately 640 North 1100 East and placement of the property in the RA-1 Residential Agricultural Zone.

SUMMARY RECOMMENDATION It is recommended to approve the Ordinance and Annexation Agreement.

BACKGROUND This property was included in the original Queens Drive Annexation request. The Annexation Agreement was approved on October 8, 2013. However, some of the owners included in that annexation have not provided their necessary documentation for the annexation process to be completed and Mr. and Mrs. Johnson has sold their property to John & April McKinney who would like to move forward with the annexation process and have requested action be taken.

BUDGET IMPACT N/A

SUGGESTED MOTION I move to adopt the Ordinance of Annexation and the Annexation agreement for the McKinney Annexation consisting of 3.42 acres at 640 North 1100 East and placement of the property in the RA-1 Residential Agricultural Zone.

SUPPORTING DOCUMENTS Ordinance, including all attachments

AN ORDINANCE

AN ORDINANCE AMENDING SECTION 1.12.010 OF THE REVISED ORDINANCES OF AMERICAN FORK CITY 1985, AS AMENDED, ANNEXING CERTAIN PROPERTIES TO AMERICAN FORK CITY AND ESTABLISHING ZONING CLASSIFICATION FOR SAID PROPERTY.

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:

SECTION I. THAT THE FOLLOWING DESCRIBED REAL PROPERTY BE, AND THE SAME IS HEREBY ANNEXED TO AMERICAN FORK CITY, UTAH, THE CORPORATE LIMITS OF SAID CITY ARE HEREBY EXTENDED TO INCLUDE SAID DESCRIBED PROPERTY, AND SAID PROPERTY IS HEREBY DECLARED TO BE PART OF AMERICAN FORK CITY AND SHALL HENCEFORTH BE SUBJECT TO ALL OF THE ORDINANCES AND REGULATIONS THEREOF, AND THAT THE DESCRIPTION OF THE BOUNDARIES OF AMERICAN FORK CITY AS SET FORTH IN SECTION 1.12.010 OF THE REVISED ORDINANCES BE AMENDED TO INCLUDE THE FOLLOWING DESCRIBED PROPERTY TO-WIT:

ORDINANCE NO.
MCKINNEY ANNEXATION (640 NORTH 1100 EAST)
SEE ATTACHMENT 'A'

SECTION II. THAT THE TERRITORY ANNEXED UNDER SECTION I ABOVE, IS HEREBY CLASSIFIED INTO THE RA-1 RESIDENTIAL AGRICULTURAL ZONE AND SUBJECT TO THE TERMS AND CONDITIONS OF THE MCKINNEY ANNEXATION AGREEMENT AS PROVIDED IN ATTACHMENT 'B'.

SECTION III. THIS ORDINANCE SHALL TAKE EFFECT UPON ITS PASSAGE AND FIRST PUBLICATION. PASSED BY THE CITY COUNCIL OF AMERICAN FORK, THIS 18 DAY OF NOVEMBER, 2014.

JAMES H. HADFIELD, MAYOR

ATTEST:

STATE OF UTAH
COUNTY OF UTAH

I, RICHARD M. COLBORN, RECORDER OF AMERICAN FORK CITY, UTAH, DO HEREBY CERTIFY THE ABOVE AND FOREGOING TO BE A FULL, TRUE AND CORRECT COPY OF AN ORDINANCE AMENDING SECTION 1.12.010 OF THE REVISED ORDINANCES OF AMERICAN FORK CITY 1985, AMENDED, ANNEXING CERTAIN PROPERTIES TO AMERICAN FORK CITY AND ESTABLISHING ZONING CLASSIFICATION FOR SAID PROPERTY.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX THE CORPORATE SEAL OF AMERICAN FORK, UTAH THIS 18 DAY OF NOVEMBER, 2014.

RICHARD M. COLBORN, RECORDER

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS IS A TRUE AND ACCURATE MAP OF THE TRACT OF LAND TO BE ANNEXED TO AMERICAN FORK CITY, UTAH COUNTY, UTAH.

BOUNDARY DESCRIPTION

Beginning 1532.08 feet N89°31'59"E along the section line and 28.43 feet South of the Northwest Corner of Section 18, T5S, R2E, SLB&M:

Thence along the Warnick Annexation South 360.60 feet; thence East 21.30 feet; thence along the Roberts Annexation S00°35'12"E 220.99 feet; thence S89°32'22"W 200.68 feet; thence S72°41'57"W 168.82 feet; thence along the Wosnjuk Annexation N00°32'49"W 47.75 feet; thence S89°58'19"W 87.62 feet; thence North 300.60 feet to the Blake Taylor Addition; thence N05°41'06"W 29.97 feet; thence East 247.13 feet to the Daniel & Ilima Todd property and following around said legal description S00°22'31"E 43.92 feet; thence N89°32'19"E 156.01 feet; thence N00°27'54"W 297.93 feet and leaving said legal description; thence East 28.32 feet to the point of beginning. (3.42 acres)

ATTACHMENT A

SURVEYOR SIGNATURE

DATE

SURVEYOR SEAL

**ANNEXATION AGREEMENT
(McKinney Annexation)**

ATTACHMENT B

This Agreement, made and entered into this __ day of _____ 2014, by and between The City of American Fork, Utah, a Utah Municipal Corporation (hereafter referred to as "City") and John S. and April M. McKinney, and Utah County (non-signatory to this agreement), (hereafter referred to as "Applicants"), is based on the following:

RECITALS

WHEREAS, Applicants are the owners of parcels of privately owned real property situated within the boundary of the McKinney Annexation, identified on Attachment 1 as the "Queens Drive Parcels", which parcels are located within the unincorporated territory of Utah County, but contiguous to the corporate boundary of City, and which constitute all of the lands requesting annexation to the City under the McKinney Annexation. An application requesting the City to initiate proceedings for annexation of the territory within the McKinney Annexation, together with a map showing the area included within the annexation (hereafter referred to as "Annexation Area") has been submitted to City. A copy of the *Request to Initiate Annexation of Land Within an Island or Peninsula* (Attachment 2) and the appurtenant annexation plat (Attachment 1) are attached hereto; and

WHEREAS, the Annexation Area constitutes a portion of an existing island as defined by Utah State Law; and

WHEREAS, in accordance with the provisions of UCA 10-2-418, the American Fork City Council has heretofore adopted Resolution No. 2013-07-16R indicating its intent to annex the entire Annexation Area. Further, notice of hearing regarding the proposed annexation has been published and the public hearing thereon held. No protests to the annexation have been received; and

WHEREAS, The City Council has determined that annexation of the real property described on Attachment 1 is in the best interest of City and has indicated an intent to: (1) enact an ordinance of annexation relating thereto, following approval of this Agreement by the City Council and execution by all parties, and (2) authorize the recording of the annexation plat at the office of the Utah County Recorder, subject to those certain understandings as are more fully set forth in this Agreement and completion of all outstanding tasks identified herein or otherwise required prior to annexation.

TERMS AND CONDITIONS

NOW THEREFORE, based on the above recitals and in consideration of the annexation of the territory described in Attachment 1 to City, the parties covenant and agree as follows:

SECTION 1 - Applicability of Agreement. The real property to which the terms of this Agreement apply shall be the parcels of private property within the Annexation Area, identified on Attachment 1. Attachment 1 is hereby made part of this Agreement.

SECTION 2 -Annexation a benefit to Applicants. Applicants and City acknowledge that City is not required to approve the annexation and that the terms and conditions of annexation, as set forth herein, are reasonable and entered into freely and voluntarily. Further, Applicants hereby acknowledge and agree that the benefit received from annexation of the property is equal to or greater than the requirements and conditions of annexation as set forth in this Agreement and the conditions of development as set forth under the terms of the City's Development Code, Sensitive Lands Ordinance and Impact Fee Ordinance and does not constitute a taking as defined pursuant to the terms of UCA 10-9a-103(6), 1953, as amended.

SECTION 3 - Authority of Applicants. Applicants hereby affirm that they are the current sole owners of the McKinney Annexation parcels and have complete authority to enter into this Agreement and to bind the property hereto.

SECTION 4 - Compatibility with Land Use Plan and Initial Zone Classification. The Land Use Element of the General Plan for the area shows the McKinney Annexation parcels located in the future Low Density classification. The primary purpose of this annexation is to allow the applicants to pay City rates on culinary water and pressurized irrigation. Accordingly, the City has determined that the initial zone classification to be the RA-1 Residential Agriculture Zone for all parcels.

SECTION 5 – Sensitive Lands Overlay: Applicants acknowledge that all or portions of the Annexation Area may have significant physical limitations for development and lie within the Sensitive Lands Overlay. Prior to approval of any development plan, Applicants agree to provide a geotechnical report and any other such studies as City deems appropriate to determine the suitability of the Annexation Area for development.

SECTION 6 – Property Taxes and Rollback Taxes to be Paid. Applicants agree to pay any outstanding property taxes on the parcels; including any and all rollback taxes if the subject parcels are classified as “Greenbelt” with the Utah County Tax Assessor. These taxes and receipt of payment shall be required prior to City recording this Agreement.

SECTION 7 - Water Rights to be Conveyed at Time of Development. Current City annexation policies require that all signatories to the petition convey to City sufficient water right to meet the needs of the proposed development. At this time, no conveyance of water rights will be required at the time of annexation. Provided, however, any further development of the Annexation Area will require the conveyance of water right sufficient in amount to meet the demand for the future use. Applicants agree to convey the water rights to the City, without cost, in accordance with the City's water rights conveyance policy in effect at that time.

SECTION 9 - Impact Fees. No impact fees are required as a condition of annexation. However, nothing in this Agreement constitutes a waiver of any obligation that Applicants or

any successor may have for the payment of impact fees required as a condition of connection to the City water and/or sewer systems or future development of the Annexation Area or any portion thereof. Applicants acknowledge that no development approval or building permit shall be issued until all applicable fees required by City ordinance have been paid at the amount then in effect.

SECTION 10 - Default. Should any of the parties default in the performance of any of the terms of this Agreement, the parties shall first seek mediation to resolve any defaulting performance. The defaulting party shall pay all costs and expenses, including mediation fees and/or reasonable attorney's fee, which may arise from enforcing this Agreement, whether such remedy is pursued by mediation and/or filing suit or otherwise.

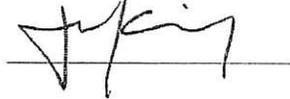
SECTION 11 - Notice. Any Notice to be given hereunder shall be given by certified mail, return receipt requested, addressed as follows:

- a. If to City, to the City of American Fork, 51 East Main Street, American Fork, Utah 84003.
- b. If to Applicants, to:
John S. and April M. McKinney
640 North 1100 East
American Fork UT, 84003

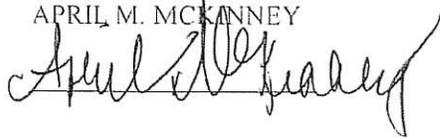
SECTION 12 - Entire Agreement. This Agreement constitutes the entire agreement between the parties and may be changed only in writing signed by all parties, and this agreement shall bind the heirs, assigns and successors in interest of the respective parties.

IN WITNESS WHEREOF, the parties have signed this agreement on the date first mentioned above.

JOHN S. MCKINNEY



APRIL M. MCKINNEY



AMERICAN FORK CITY

Mayor

ATTEST:

City Recorder

LIST OF ATTACHMENTS

- Attachment 1** Copy of Annexation Plat.
- Attachment 2** Copy of Request to Initiate Annexation.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS IS A TRUE AND ACCURATE MAP OF THE TRACT OF LAND TO BE ANNEXED TO AMERICAN FORK CITY, UTAH COUNTY, UTAH.

BOUNDARY DESCRIPTION

Beginning 1532.08 feet N89°31'59"E along the section line and 28.43 feet South of the Northwest Corner of Section 18, T5S, R2E, SLB&M.
 Thence along the Vornick Annexation South 360.60 feet; thence East 21.30 feet; thence along the Roberts Annexation S00°35'12"E 220.99 feet; thence S89°32'22"W 200.68 feet; thence S72°41'57"W 168.82 feet; thence along the Wornick Annexation N00°27°54'W 297.93 feet; thence S89°32'22"W 200.68 feet; thence S72°41'57"W 168.82 feet; thence along the Wornick Annexation N00°27°54'W 297.93 feet; thence S89°32'22"W 200.68 feet; thence S72°41'57"W 168.82 feet; thence along the Wornick Annexation N00°27°54'W 297.93 feet; thence S89°32'22"W 200.68 feet; thence S72°41'57"W 168.82 feet; thence along the Wornick Annexation N00°27°54'W 297.93 feet and leaving said legal description, thence East 28.32 feet to the point of beginning, (3.42 acres)

ATTACHMENT 1

SURVEYOR SIGNATURE _____
 DATE _____
 SURVEYOR SEAL _____

ACCEPTANCE BY LEGISLATIVE BODY

WE, THE DULY ELECTED COUNCIL OF THE CITY OF AMERICAN FORK, UTAH, HAVE RECEIVED A REQUEST TO INITIATE PROCEDURES FOR THE ANNEXATION OF THE TRACT OF LAND DESCRIBED HEREIN TO THE CITY OF AMERICAN FORK, UTAH. EXISTING ISLAND OR PENINSULA WITHIN OR CONTIGUOUS TO THE CITY, AND DO HEREBY CERTIFY (1) THE COUNCIL HAS ADOPTED A RESOLUTION SETTING FORTH ITS INTENT TO ANNEX SAID TRACT, PROVIDED NOTICE AND CONDUCTED HEARINGS ON THE TRACT TO THE CITY IN ACCORDANCE WITH THE PROVISIONS OF SECTION 10-2-418 UTAH CODE ANNOTATED, AS AMENDED; AND (2) THAT THE COUNCIL DOES HEREBY APPROVE AND ACCEPT THE ANNEXATION OF SAID TRACT OF LAND SHOWN HEREON AS A PART OF AMERICAN FORK CITY, TO BE KNOWN AS THE **McKINNEY ANNEXATION**.
 DATED THIS _____ DAY OF _____

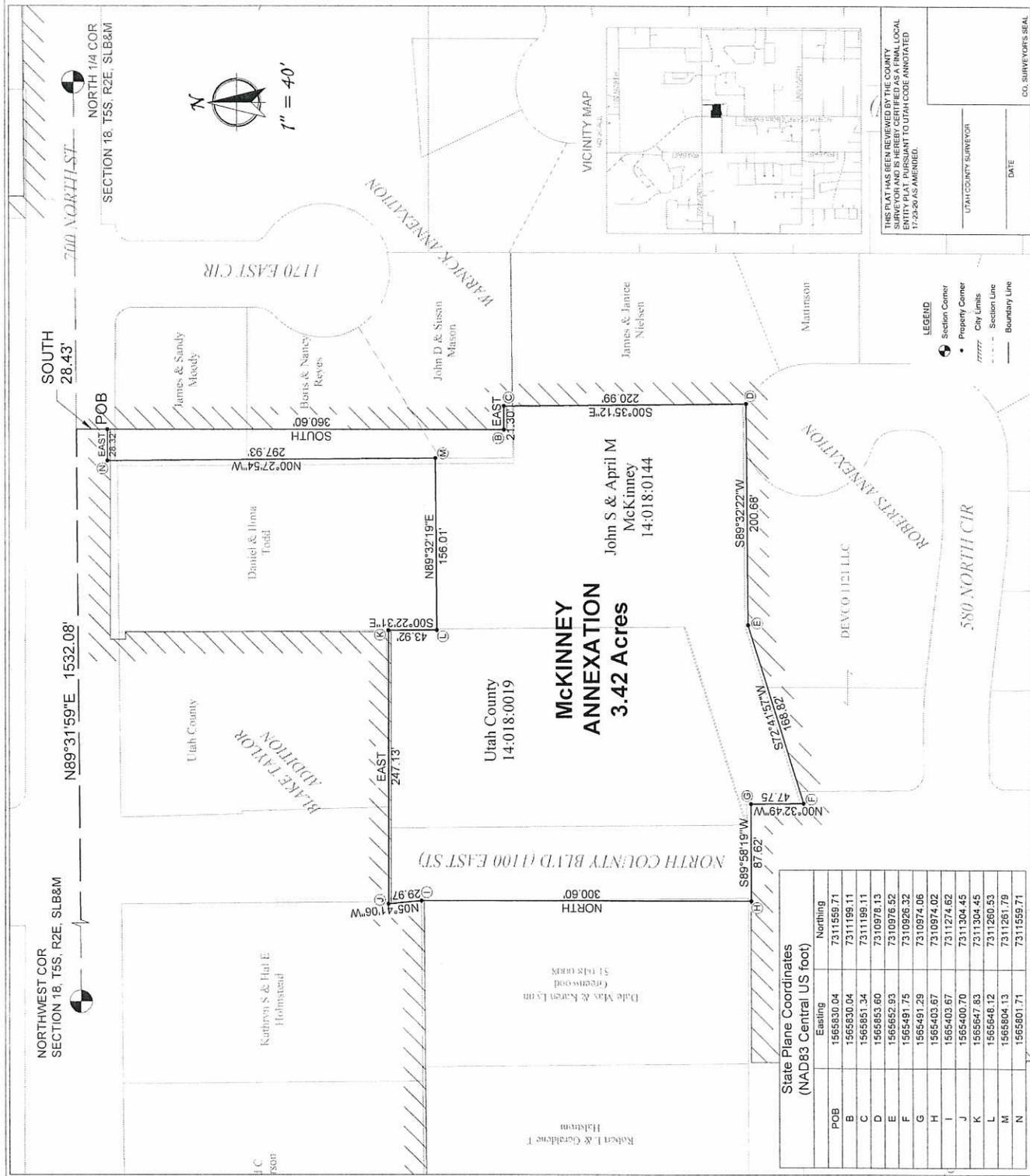
MAYOR _____ CITY COUNCIL MEMBER _____
 CITY COUNCIL MEMBER _____ CITY COUNCIL MEMBER _____
 CITY COUNCIL MEMBER _____ CITY COUNCIL MEMBER _____

ATTEST CITY RECORDER _____
 DATE _____
 CITY RECORDER _____

ANNEXATION PLAT

McKINNEY ANNEXATION

AMERICAN FORK CITY, UTAH COUNTY, UTAH
 SCALE 1" = 40 FEET



State Plane Coordinates (NAD83 Central US foot)

| | Easting | Northing |
|-----|------------|------------|
| POB | 1565830.04 | 7311559.71 |
| B | 1565830.04 | 7311199.11 |
| C | 1565851.34 | 7311199.11 |
| D | 1565853.60 | 7310978.13 |
| E | 1565852.93 | 7310976.52 |
| F | 1565491.75 | 7310926.32 |
| G | 1565491.29 | 7310974.06 |
| H | 1565403.67 | 7310974.02 |
| I | 1565400.70 | 7311274.62 |
| J | 1565400.70 | 7311304.45 |
| K | 1565647.83 | 7311304.45 |
| L | 1565646.12 | 7311260.53 |
| M | 1565804.13 | 7311261.79 |
| N | 1565801.71 | 7311559.71 |



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
November 18, 2014

Department Public Works

Director Approval 

AGENDA ITEM Award a contract to **FORSGREN & ASSOCIATES, INC** to provide engineering, design and construction services for of a roundabout and box culvert bridge with appurtenant landscape and architectural elements, and also roadway improvements on 980 North.

SUMMARY RECOMMENDATION Staff recommends the firm of **FORSGREN & ASSOCIATES, INC** be offered a contract in accordance with their response to an RFP for Engineering, Design and Construction Management.

BACKGROUND American Fork City is actively pursuing additional development within Art Dye Park to accommodate recreational needs of the City and the region. Development of the Marcy's Orchard subdivision has facilitated road improvements and access into the park via the 700 North 1050 East entrance. To date this is the only entrance/exit of the park. The master plan for the park has long called for another access point at 980 North and 500 East. This access into the park is vital to enhance its usage, safety and convenience.

Project scope will also include the design of the roadway improvements on 980 North from 200 East to 370 East. The current budget provides funding for only the river crossing and roundabout. The work on 980 North will be separated in the construction bid to allow for an award separate from the primary scope to allow for this work to be funded in a separate fiscal year or allocation. A budget amount of \$15,000 has been added to the project award total to address the 980 North design.

With funding allocated in this budget year we are prepared to move forward with the construction of the box culvert bridge, roundabout and all appurtenant structures and landscaping to make the second connection access at 980 North 500 East. The award of this contract will start that process with the design and engineering. In accordance with the RFP, construction plans and bid documents would be prepared with a construction bid date of February 24, 2015.

BUDGET IMPACT The bid amount for services outlined in the RFP have been submitted by **FORSGREN & ASSOCIATES, INC**, as \$90,000. Funding sources in the FY14-15 budget are identified as General Plan/Other.

SUGGESTED MOTION I move to accept a proposal submitted by **FORSGREN & ASSOCIATES, INC** for engineering, design and construction services as outlined and identified

in the RFP advertised October 27, 2014 in the amount of \$90,000, with a ten percent (10%) contingency allowance of \$9,000 for a total project budget of \$99,000, and authorize staff to proceed with the preparation of contract documents.

SUPPORTING DOCUMENTS

1. Request for Proposal
2. Proposals submitted by Forsgren Associates, Inc.
3. Contract Agreement for professional services.

AGREEMENT FOR PROFESSIONAL SERVICES
Engineering, Design and Construction Services for the
Art Dye Roundabout and Bridge Crossing

WHEREAS, this Agreement is entered into between American Fork City (hereinafter known as the “City”), a municipal corporation in the State of Utah, and Forsgren Associates, Inc., (hereinafter known as the “Consultant”); and

WHEREAS, this Agreement requires the Consultant to perform all Engineering, Design and Construction services for the Art Dye Roundabout and Bridge Crossing project (hereinafter known as “The Project”), for the City. In consideration of mutual consent the parties agree as follows:

1. SUMMARY OF PROJECT

This Agreement is between the City and the Consultant whereby the Consultant will provide services as requested by the City in the ‘Request for Proposal’ (RFP) documents, attached as Exhibit “A”.

2. AUTHORIZATION TO PROCEED

Execution of this Agreement by the City will be authorization for the Consultant to proceed with the Project, pursuant to the hereinafter stated terms.

3. CONSULTANT SERVICES

A. The City requires that the tasks set out by the Consultant as well as those tasks deemed necessary by the City be performed in a professional and competent manner using the American Fork City, APWA, AWWA standards and to the level hereinafter described and or required in the RFP.

B. The Consultant shall furnish all labor, materials, equipment, tools, transportation, and supplies required to complete the work in accordance with the specifications, requirements, and terms of the RFP.

C. The Consultant will maintain all required professional licensing.

D. The Consultant is an independent contractor and as such has the sole responsibility for paying taxes, workers compensation, and all similar obligations.

E. Services of the Consultant are described in the RFP from the City and the response to said request from the Consultant as contained in Exhibit “A” and Exhibit “B”.

F. If additional services are required of the Consultant, a change order shall be submitted by the Consultant to the City and the Consultant will be paid at either his hourly rate, or a rate agreed upon by the parties. Additional services are only authorized in a written letter format with signature by the City.

G. The City will supply the Consultant with documents necessary to complete the Project as described in the RFP. All other documents, measurements, data and other measures necessary to complete the project shall be the responsibility of the Consultant.

4. COMPENSATION AND PAYMENT

A. Compensation for the Consultant's services as herein described shall be per Request for Proposal (RFP) which shall include all costs and services necessary to completion of the Project unless jointly determined to be otherwise by both parties. See Consultant response to RFP as contained in Exhibit "B".

B. The Consultant will submit partial payment requests on the last day of each month. Payments shall be due within 60 days of receipt of the invoice. The invoice shall be sent to the City's project manager as appointed by the City Engineer for review and processing by the City. Deviation from this format may cause delay in payment by the City.

C. The Consultant may discontinue work on the Project by issuing the City a written fourteen-day notice if full payment for an invoice is not received within 60 days of the date of the invoice. Suspension of work will continue until full payment is made for all outstanding invoices. The Consultant accepts no liability for damages or delays that result from its suspension of work. The City may not use information or work product provided by the Consultant until full payment is made. Upon full payment of work that has accrued to any point in the project, said work shall become the property of the City. This shall include both digital and hard copy documents and other work completed on or towards the project.

D. Consultant shall upon request provide the City with lien waivers for any sub-consultant, supplier or other contributor to the project prior to final payment.

5. INSURANCE

The Consultant will maintain adequate insurance coverage for the tasks to be performed throughout the term of the Agreement and as required by any funding agencies for the project.

6. LIMITATION OF LIABILITY

A. The Consultant will obey all federal and state laws pertaining to employment.

B. The Consultant shall not be liable for damages or delays resulting from actions or inaction of a third party that is not under the direct control or subcontract of the Consultant.

C. The Consultant shall be solely responsible for any damages or delays caused by its action or delay thereof.

D. The City shall indemnify and hold the Consultant harmless unless the acts have been negligent, errors or omissions of the Consultant. Commensurately the Consultant shall indemnify the City and add the City as an additional insured party on Consultants liability insurance.

E. Neither the City nor the Consultant is responsible for circumstances, acts of God, etc. beyond the control of either party.

F. Neither the City nor the Consultant shall be liable for consequential damages or indirect liability from a third party. The City and the Consultant will defend and hold the other party, its subcontractors and agents harmless in said cases.

7. TERMINATION

A. This Agreement may be terminated by either party in the event that the other party has not performed any material covenant or has otherwise breached any material term of this Agreement. Said termination shall be under the following conditions:

- 1) Upon written receipt of notice if the nonperformance or breach is incapable of cure, or
- 2) Upon the expiration of fourteen (14) calendar days (or such additional cure period as the non-defaulting party may authorized) after receipt of written notice if the nonperformance or breach is capable of cure and has not been cured.

B. Either party may terminate this Agreement without cause at any time upon thirty (30) days written notice to the other party.

C. If the Project is terminated, the Consultant is entitled to full compensation as computed by the parties for the work completed up to the point of termination.

8. ASSIGNMENT

This Agreement shall be binding on the heirs, successors and assignees of each party. This Agreement may not be assigned, transferred, conveyed, or encumbered by either party without the prior written consent of the other party. Unauthorized assignment is void and nonbinding.

9. GOVERNING LAW

A. The laws of the State of Utah shall govern all aspects of this Agreement.

B. Jurisdiction is in Utah County, Utah.

10. ATTORNEY FEES

In the event any action or proceeding is brought by any party against any other party under this Agreement, the prevailing party shall be entitled to recover attorney fees and costs in any such

amount as the court may adjudge reasonable. The financial limits of the Agreement are not a waiver to this clause.

11. SEVERABILITY

The Provisions of this Agreement are severable, and should any provision be void, overly broad or unenforceable, such provision shall not affect any other portion or provision of this Agreement.

12. WAIVER

Any waiver by either party of any breach by the other party, whether said waiver be direct or implied, shall not be construed as a continuing waiver of or consent to any subsequent breach of this Agreement on the other party.

13. NOTICE

All notices, demands, and requests required or permitted hereunder shall be in writing and shall be deemed duly given if delivered or if mailed by registered or certified mail, postage prepaid, addressed to the designated contacts indicated below.

14. HAZARDOUS SUBSTANCE INDEMNIFICATION

To the extent permitted by law and to the extent that the Consultant is not the cause of the pollutants, the City shall indemnify and hold harmless the Consultant against claims arising from hazardous waste, pollutants, contaminates, or asbestos or our about the City's property. This exemption shall not apply when the Consultant has been notified in advance of the contaminants by the City or its assigns.

15. CONTRACTOR'S METHODS AND PRICES

The City acknowledges that the Consultant will provide construction cost estimates based upon its experience and judgment and that the Consultant makes no guarantee regarding actual construction costs as bid a contractor.

16. CONTRACTOR'S PERFORMANCE INDEMNIFICATION AND ADDITIONAL INSUREDS.

If the project involves construction by a third party contractor of any kind which is not acting as a subcontractor or assign for the consultant, the parties agree that the City and the Consultant shall be indemnified by the contractor to the fullest extent permitted by law for all claims, damages, losses, and expenses, including attorney's fees, arising out of or resulting from the contractor's performance of work. This includes any injury to any worker on the job site except for negligence that arises out of the City or Consultant. Both the City and the Consultant shall be named as additional insureds by the contractor's General Liability and Builders All Risk insurance policies as applicable and appropriate for the project. It shall be the responsibility of the Consultant

to ensure that these provisions are included in construction contracts with wording acceptable to both parties in the received contractor's insurance policy documents.

17. CONTRACTOR'S SAFETY METHODS

Neither the City nor the Consultant shall be responsible for the means, methods, techniques, sequences, or procedures of construction selected by contractors or the safety precautions and programs incident to the work of contractors and shall not be responsible for contractor's failure to carry out work in a safe manner. Consultant shall advise both the City and the contractor if practices which cause potential safety concerns are observed.

18. CONTACTS

CITY

Andy Spencer, American Fork City Engineer
American Fork City Public Works Office
275 East 200 North
American Fork, Utah 84003

Cathy Jensen, American Fork City Finance Director
American Fork City
51 East Main Street
American Fork, Utah 84003

CONSULTANT

19. ATTACHMENTS

The following attachments are included and made part of this Agreement:
Exhibit "A" – Request for Proposal (RFP) from the City to Consultant including all addenda.

Exhibit "B" – Consultant response to RFP

20. SPECIAL PROVISIONS

Commencing with execution of the contract, Consultant shall only be authorized to proceed with the scope as outlined in the RFP. Consultant shall receive written confirmation from the City's appointed project manager before proceeding with any given phase of the project. Consultant shall receive a written designation from the City Engineer or other City contact official as named herein regarding the City's project manager for the project.

This Agreement constitutes the entire understanding and agreement between the parties and supersedes all prior agreements and understandings, whether written or oral, and may only be changed by written amendment executed by both parties. By signing this, the undersigned swear that they are duly designated and have the power to sign this document for the respective parties.

Approved for American Fork City:

Accepted for _____

By: _____

By: _____

Title: _____

Title: _____

Date: _____

Date: _____

ATTEST:

City Recorder

11 November 2014

American Fork City
275 East 200 North
American Fork, UT 84003

ATTN: Andy Spencer P.E., City Engineer
Howard R. Denney, L.S., P.E., Engineering Services Manager

RE: Proposal to Provide Engineering, Design, and Construction Management Services
Art Dye Park Phase I and II

Dear Selection Committee:

As you already know, American Fork is a wonderful place to live and raise a family. The proposed Art Dye Park project will not only provide for the regional recreational needs of the community, but is also reflective of the reason that so many have chosen to live there. The aesthetic expectations of the community, promoting a positive brand for the City are critical measurements to the success of this project. We appreciate the opportunity to submit this proposal to serve the City in an engineering / architectural role on a project that promotes the unique "sense of place" that is American Fork.

With over 52 years in the municipal engineering market and a dedicated staff of 135 professionals, Forsgren has the experience, expertise, and manpower to be a strong partner with American Fork. Our team is further strengthened with the inclusion of Dan Cable and his staff at EDA Land Planning for architectural services.

Acknowledging the anticipated bid date of February 24, 2015, this project has a relatively aggressive schedule. Forsgren has the resources to complete this project and is committed to meeting your schedule.

Forsgren's Salt Lake City office will provide all engineering services for this project. Architectural support will be provided through EDA's Salt Lake City office. Our close proximity to each other and American Fork City makes coordination easy and cost-effective. Our contact information is as follows:

Bruce Ward, P.E.
Forsgren Associates, Inc.
370 East, 500 South, Ste. 200
Salt Lake City, UT 84111
801-364-4785
bward@forsgren.com

Dan Cable, ASLA
EDA Land Planning
772 East 3300 South, Ste. 110
Salt Lake City, UT 84106
801-924-2296
danc@edalandplanning.com

Thank you again for your time discussing this project and your favorable consideration of this proposal. If you have any questions or would like additional information, please feel free to call me directly at (801) 360-6297. We are excited and eager to assist you with this project!

Sincerely,



Bruce Ward, P.E.
Division Manager / Sr. Project Manager

I. Company Introduction

Forsgren Associates, Inc. (Forsgren) is an employee owned, multi-discipline civil engineering, transportation, recreational engineering, and environmental consulting firm. We have provided consulting services throughout the western United States since 1962. Our firm provides planning, design, funding, permitting, environmental, and construction services for a wide range of civil infrastructure challenges. For over 50 years, our primary focus has been small to mid-sized local governments like American Fork City.

With 12 offices in the Western U.S., we serve as City, County, and District Engineers for many communities. In fact, our proposed project manager for this project, Mr. Bruce Ward, was the City Engineer in nearby Salem City for many years prior to joining the Forsgren team. With first-hand understanding and appreciation for the many budgeting and political challenges posed by City policy makers and staff... we are able to see projects from *your* point of view. The final measurement of our success, quite simply, is defined by our ability to meet *your* expectations.



We are a relational organization, which means that our full spectrum of 135 resources — from experts to technicians — are shared efficiently as a normal order of our business. This efficiency allows us to address your infrastructure challenges, while at the same time maintaining low overhead costs to protect your bottom line.

We understand from experience that this project is about much more than a simple roundabout and box culvert; it is about the cultural branding of American Fork community. Properly designed, this entryway project will create a special “sense of place”. Because of this, design decisions will likely be driven by architectural preferences. For that reason, we are proud to include EDA Land Planning as an integral part of our design team.

EDA Land Planning (EDA) is a landscape architecture firm specializing in the planning and design of parks, trails, cemeteries, residential communities, resorts, urban areas, and commercial sites. They create places that enhance the human experience and fit the natural landscape. Their designs respond to the needs of the owner, the users, and the land in a scientific and artful application of analysis, planning, and design.

EDA’s clients and the land are their first responsibility and they believe in being enthusiastic and passionate about the land and the design possibilities. Each project is unique and presents challenges and opportunities for innovative design. They believe strongly in creating partnerships that provide a talented combination of professionals. Well-planned and designed projects fit the landscape and allow people to enjoy the outdoor environment and its natural beauty. Their goal is to make the design seem as though it was meant to be there!

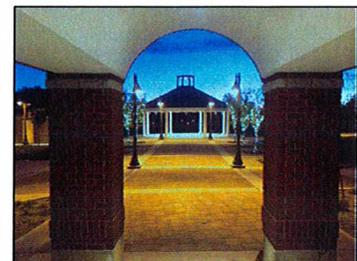
II. Qualifications (Related Experience)

Forsgren provides over \$17 million in engineering services annually, two thirds of which represents municipal infrastructure planning, design, and construction management. A few projects are presented hereafter to demonstrate our capabilities in various areas of expertise identified in the RFP. These projects were all selected based on their similarities to American Fork City’s anticipated needs and they were all managed and completed by the same Forsgren / EDA team members assigned to your project.

Holladay City Hall Park / City of Holladay, Utah

Project Manager: *Clarence Kemp, PE*

Project Elements: This ongoing project includes the construction of four baseball diamonds, two lacrosse fields, restrooms, a pavilion, two parking lots, two on-street parking areas, and a playground. Project funding was obtained through a Utah Land and Water Conservation Grant.



Labrum Park / Taylorsville, Utah

Lead Engineer: *Alan Taylor, PE*

Project Elements: Forsgren is responsible for overseeing the design and construction management of the Labrum Park project. The project includes a roundabout entry, access road, two pavilions, restroom facilities, an amphitheater, parking lots, trails, and landscaping.

Regional Bike Trails / Salt Lake County & City of Holladay, Utah

Lead Engineer: *Clarence Kemp, PE*

Project Elements: Forsgren worked with UDOT and Salt Lake County to obtain \$250,000 in county and TAP grant funding for on-street and off-street bike trails throughout the city. These trails provide connectivity to the county and surrounding communities, as well as the Bonneville Trail system. The work primarily involves the use of shared lanes with appropriate striping, signage, and other surface improvements. Work is scheduled to be completed in the spring of 2015.



Holladay Village Center / City of Holladay, Utah

Project Manager: *Clarence Kemp, PE*

Project Elements: Forsgren Associates was responsible for planning, funding, conceptual design, and full oversight of this \$20 million public-private partnership project. This project included \$8 million in funding through federal transportation grants, of which about **30% of the project budget was for place-making features** such as the plaza, lighting, landscaping, irrigation, and street trees.



Overlake Planned Development and Roundabout / Tooele, Utah

Project Manager: *Rick Noll, PE*; Lead Designer: *Clarence Kemp, PE*

Project Elements: This 2,800-acre planned development included single and multi-family homes, parks, a 115-acre commercial site, and an 18-hole golf course that showcases Utah's first unrestricted wastewater reuse system. An iconic entryway includes a roundabout fronting Jack's Market.



North Jordan Canal Culvert / Taylorsville, Utah

Project Manager: *Clarence Kemp, PE*

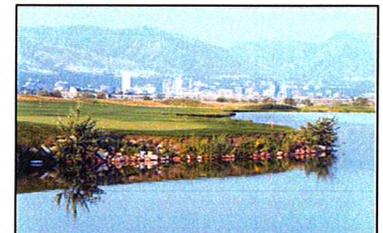
Project Elements: A breach of the water line created a significant instability in the canal embankment. Several alternates were evaluated and a best value to the owner was the construction of a 6x12-box culvert. After the culvert was backfilled, the hillside was stabilized with a flatter slope, and the adjacent road repaired. This work was coordinated with the irrigation company and the canal was ready for irrigation water ahead of the irrigation season.



Golf Courses / Over 100 Locations

Lead Engineers: *John Simmons, CCM*; *Earl Kemp, Rick Noll, PE*

Project Elements: Forsgren has been directly responsible for the planning, design, and construction of over 100 golf courses throughout the west. This work includes course layout and design, landscaping, utility infrastructure, irrigation, roadways and parking, clubhouses, and other appurtenances.



6000 West Parkway and Pedestrian Underpass / Herriman, Utah

Principal-in-Charge: *Clarence Kemp, PE*

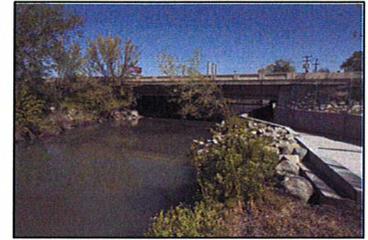
Project Elements: Forsgren provided complete design and construction management and design for one mile of road rehabilitation and widening on 6000 West from 11800 South to the Herriman Parkway alignment. This involved a new pavement design that included reclaimed aggregate base course. Forsgren also designed a complete storm

drainage system and tied it into Salt Lake County facilities. The project also included a culvert replacement over Midas Creek.

Jordan River Parkway / South Jordan & Salt Lake City, Utah

Lead Designer: Alan Taylor, PE

Project Elements: Forsgren designed the 18-foot-wide, 1.8-mile-long Jordan River Parkway Trail that traverses through the proposed River Front Park. The trail was designed as a multi-use to include pedestrians, bikes and equestrian. Subsequently, Forsgren designed the extension of the Parkway through the Rose Park Golf Course and also beneath I-80 near 200 South Street. This very complex project included structural engineering to place the multi-use trail adjacent to the existing bridge.

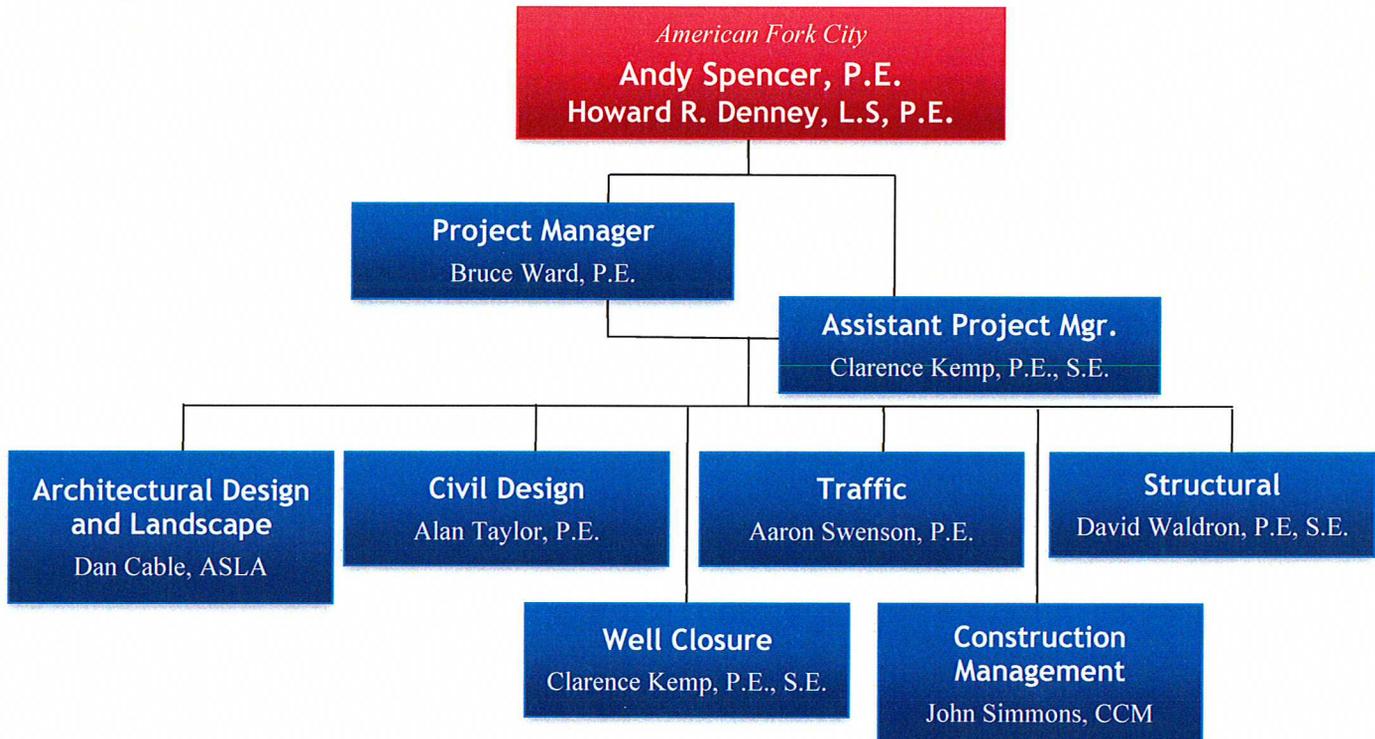


III. Qualifications (Project Team)

Your project team is comprised of engineering professionals (all licensed in Utah) selected to appropriately address the anticipated needs of American Fork City as outlined in the RFP. Drawing upon Forsgren’s extensive experience with city infrastructure, this team is assembled to maximize results while providing cost-effective solutions.

This team averages 20 years of individual professional experience in their respective areas of expertise, and nine years of working with each other. As long-time residents, they are passionate about Utah and the communities they serve. We have not included detailed resumes due to the page limitations of this proposal but would be pleased to do so upon request.

Having worked with hundreds of municipalities and government agencies over the last 52 years, Forsgren understands the importance of regular communication and consistent documentation. We also recognize how relying solely on one point person might hamper, delay, or stop progress on a project. To minimize this, Forsgren has adopted a minimum two-deep personnel policy with our clients. This does not increase cost but does increase efficiency. As client and staff schedules conflict, you can rely on Forsgren’s uninterrupted service. This policy also ensures your work will continue, uninterrupted, in the unlikely event of a staffing change or absence. Forsgren is your partner for the long term.



Key Personnel

Project Manager / Bruce Ward, P.E. (UT 264948)

As the newest member of the Forsgren team, Bruce offers 20 years of experience in the municipal engineering industry. This includes 12 years as a consultant for municipalities, and the past eight years as the City Engineer and Public Works Director for Salem City. At Salem City, his responsibilities included capital project planning and oversight. Bruce also served on the Development Review Committee and attended all planning and zoning meetings, and City Council meetings. He understands first-hand the importance of “getting it right” on high-profile projects such as this.

Assistant Project Manager and Well Closure / Clarence S. Kemp, P.E. (UT 4984482)

Clarence has focused his career on solving infrastructure problems working with small to mid-sized communities. He headed Forsgren’s Wyoming regional office working with rural communities for 15 years prior to returning to Utah in 2001. He has been directly responsible for the master planning, funding, design and construction of over \$250 million in domestic water and irrigation infrastructure; mostly for small communities. As an experienced City Engineer, he has a first-hand appreciation of the economic challenges faced by local government today to cost-effectively maintain their level of service. Mr. Kemp managed the recent and ongoing Holladay Village, Holladay City Hall Park, and Holladay Trails projects with many elements similar to this project. He sits on the Upper Canal Board and is responsible for all capital planning relative to that facility. He has also designed dozens of groundwater wells and is currently working on the respective rehabilitation and closure of two wells in Knudsen Park for the City of Holladay.

Civil Design (Roads & Utilities) – Lead Engineer / Alan Taylor, P.E. (UT 186958)

Alan’s road design experience includes funding, concept design, right-of-way, road drainage, utility relocation and coordination, access management, bidding, and construction management. He has worked on several road projects from local, private lanes to state highways. Alan is currently working with Taylorsville City on state road access designs, new road construction, signal design, and a trail project on 4500 South. He has a broad background of experience with the ability to look at all aspects of a project. He can identify project issues early, which results in projects with fewer delays and lower overall cost.

Transportation Modeling – Lead Engineer / Aaron Swenson, P.E. (UT 5340119)

Aaron has 12 years of experience in the design and construction management of transportation projects throughout the western United States. He has managed the construction of a dozen large-scale roadway projects totaling nearly \$50 million. He has also completed traffic studies, concept reports, environmental reports, and PS&E for multiple Federal Aid projects for various DOTs. These projects involved coordination with various city departments, landowners, funding agencies, and local developers. Aaron recently completed the design and traffic analysis for two roundabouts associated with the Ogden Defense Depot.

Bridge Culvert / Structural – Lead Engineer / David Waldron, P.E., S.E. (UT 187515)

David’s 20 years of experience includes successfully completing multiple projects very similar to the needs of American Fork making him uniquely qualified for this road, bridge culvert, and roundabout design. A small sampling of David’s experience includes:

- **Jordan Irrigation Canal:** Including two road crossings and extra heavy load calculations
- **North Jordan Irrigation Canal:** 6x10 box culvert, road stabilization, and hillside restoration
- **Foxhunter Drive in Kaysville:** 8x10 box culvert, walks, and wing-walls
- **Jordan Valley Hospital:** 84-inch culvert extension, 8x10 box culvert, roads, walks, and Bingham Creek restoration
- **Falcon Hill Master Plan:** three roundabouts, multiple roads, and road relocations
- **McKay Dee Surgical Center:** roundabout
- **Summit Cove:** roundabout and road in Huntsville.

Construction Manager / John Simmons, Certified Construction Manager (CCM - UT)

Mr. Simmons is one of only four Certified Construction Managers in the State of Utah. His 25 years of professional construction experience includes the role of construction superintendent for multiple municipal infrastructure and recreational projects ranging up \$35 million in size. He has managed subcontractors, architects, consultants, engineers, and State and Federal agencies. The average change order history for infrastructure projects managed by Mr. Simmons is less than 2%. His construction management experience includes mass earthwork, underground utilities, water storage

and water treatment facilities, major utilities facility upgrades, vertical buildings, bridge, and golf course construction. John's professional experience gives him the ability to make responsible decisions in the field to keep your projects within budget and on-schedule.

Landscape / Architecture (EDA) / Dan Cable, ASLA

Dan has worked on a variety of projects throughout the United States including parks, streetscapes, entry design, cemetery design, garden design and commercial projects. Services for these projects included analysis, master planning, entitlements, and construction drawings. The size of these projects has ranged from a 4,500-acre master planned community to small intimate spaces. Dan has a strong background in design and construction. He has been a project manager on projects like the Exit 122 Landscape Enhancement in Mesquite, NV and Katella Avenue in Anaheim, CA. His project experience includes:

- **Exit 122 Landscape Enhancement Master Plan and Construction Drawings;** Mesquite, NV; Construction Cost: \$1,200,000
- **Central Mesquite / Grapevine Overpass Streetscape Construction Drawings;** Mesquite, NV; Construction Cost: \$350,000
- **Mesquite Blvd. Medians Construction Drawings;** Mesquite, NV; Construction Cost: \$1,200,000
- **Katella Avenue Streetscape (Disney Land);** Anaheim, CA
- **Silver Springs Park;** Henderson, NV; Construction Cost: \$1,600,000
- **Indian Hills Park;** Las Vegas, NV; Construction Cost: \$3,000,000
- **Weber Basin Water Conservancy District Demonstration Garden;** Layton, UT; Construction Cost: \$800,000

Electrical

In our role as city engineer for multiple communities, we interface with Rocky Mountain Power on a regular basis. Additional technical expertise associated with lighting, if required, can be subcontracted to one of several electrical consultants with whom we work (Heath Eng., Ken Garner, or Royal Eng.) according to their ability to meet the aggressive schedule of this project.

Geotechnical

Forsgren has long-standing relationships with multiple geotechnical firms in close proximity to the site. This work will be subcontracted to insure proper bridge culvert and pavement section designs.

IV. Cost

Engineering costs are presented in Attachment "A" as requested in the RFP.

V. Project Approach

The scope of services provided in the RFP is both detailed and complete. Given the space limitation of this proposal, they will not be repeated or expanded upon herein. We note, however, that the success of this project is subject to properly addressing a few key issues as follows:

- **Schedule:** The RFP indicates an anticipated construction bid date of February 24, 2015 (bid documents ready Feb. 10, 2015). Close coordination with City staff, regulators, and other stakeholders will be critical to meet this aggressive schedule. In particular, the stream alteration permit application will need to be submitted as soon as practical. We anticipate that the utility river crossings will be covered through a nationwide permit, but again this should be documented as a first priority. Geotechnical, survey, and other field work will also need to be scheduled immediately. Similarly, the date of the public open house should be established early as we will need to work toward that date to insure that the project is not unnecessarily delayed. Forsgren is committed to meeting the city's schedule on this project.
- **Aesthetic Design:** While the engineering associated with this project appears to be straight-forward, this project will provide the entryway into the Art Dye Park area. Creating a special sense of place for the public is important for public enjoyment of the facilities. It is also important for positive branding of American Fork City. We anticipate that the architectural needs will drive the overall design.



**American Fork City
Public Works / Engineering
Request for Proposals (RFP)
Engineering, Design and Construction Management**

American Fork City (AFC) is currently soliciting proposals from qualified firms to complete Engineering, Design and Construction Management Services for approximately \$800,000 to \$1,000,000 all costs inclusive in construction improvements. The work will include the design and construction of a roundabout and box culvert bridge with appurtenant landscape and architectural elements. The proposed scope of services attached shall be considered a part of this RFP.

Point of Contact: Questions concerning submission of a proposal in response to this RFP should be addressed to the American Fork Public Works/Engineering office named below

Howard R. Denney, L.S., P.E.
Engineering Services Manager
275 East 200 North
American Fork, UT 84003
Phone: 801-763-3060
Fax: 801-763-3005
howard@afcity.net

Andy Spencer P. E.
City Engineer
275 East 200 North
American Fork, UT 84003
Phone: 801-763-3050
Fax: 801-763-3005
aspencer@afcity.net

Mr. Denney and Mr. Spencer will not be available to meet individually with proposing parties. They will respond as available via phone or email.

In the event that it becomes necessary to provide additional clarifying data or information, or to revise any part of this RFP, revisions, amendments or supplements will be provided to all recipients of this initial RFP and all who have requested information in writing by emailing joann@afcity.net or sending a written response via US Mail to JoAnn Scott at the address indicated above. Oral communications shall not be binding to AFC and can in no way modify the terms, conditions, or specifications of this RFP or relieve the successful firm(s) of any obligations under any contract resulting from this RFP.

General Instructions: American Fork City is seeking the services of a professional engineering firm with the necessary qualifications and expertise to help with engineering, design and construction management of a 1,000,000 road and bridge construction project. American Fork City recognizes that the Art Dye Park is a regional park which services a variety of recreational needs. It is essential that access to this park be improved to meet the needs of those using this facility and to enhance the safety of multimodal transportation. This connection will complete a key portion of the City's transportation network. American Fork City believes that this objective can be best achieved by completing 500 East and 980 North access into Art Dye Park.

The evaluation and selection of a firm will be based on ranking criteria with the scoring providing the basis for the initial ranking. Proposals will be evaluated based upon the criteria set forth herein.

| Project Approach | Percent % |
|--|------------------|
| Knowledge of American Fork City, their standards and specifications for construction including permitting and inspections. Knowledge of the area located within the scope of work. | 10% |
| Qualification for specific project | 25% |
| Previous experience and general qualifications | 20% |
| Price | 25% |
| Project timeline | 20% |

This criteria will be used to determine initial short list with selection based upon committee review.

In order to properly evaluate the proposals, each Proposer must include in their submission the following documents.

1. A Cover Letter is required and should display clear understanding of the work, including a positive commitment to complete the work in the specified time-period, and briefly summarize why the firm should be selected. Address and contact information for each party in a proposed joint venture should be included.
2. Qualifications: Proposer submittals must include a statement of qualifications documenting the relevant qualifications of the firm or firms, as well as information summarizing the relevant qualifications of the personnel involved. A discussion of the firm's experience in municipal utility design and construction services should also be included along with any projects intended to show the firm's experience in similar type work.
3. Cost Proposal: Proposers must submit a cost proposal using the form provided as Attachment 'A'. Cost Proposals may also detail on additional pages a scope of work plan if additional services are proposed beyond those listed in the RFP. There will be no advanced payment for start-up.
4. Project Approach: Consultant shall furnish a one-page summary of planned project design concepts, theme, features, and other items deemed pertinent to evaluate consultant's ability to complete the project.

Proposals shall be limited to (6) six single-side pages. Cover letter and binding pages and price proposal sheet and required forms shall not be counted toward the maximum page limit. Oversize pages (11 x 17) will count as one page.

Scope of Services: Furnish a proposal for the engineering, design and construction management associated with:

Phase I Scope:

General Design Requirements (see exhibit 'A' and 'B')

- Prepare construction plans, specifications, and bid assistance to complete the installation of a roundabout at a 4-way intersection in the vicinity of 500 East 980 North.
- Prepare construction plans, specifications, and bid assistance to install a box culvert style bridge with an aesthetically designed architectural or decorative element on the each side of the deck and spanning the river width. Design criteria = 1600 c.f.s. with 1' obstruction on floor and 1' foot of free board, (2440 c.f.s. max capacity with no severe damage).

- Prepare construction plans, specifications, and bid assistance to construct expansion of parking lot including the completion of curb, asphalt, striping and all other appurtenant structures.
- Prepare construction plans, specifications, and bid assistance to design 980 North as a minor collector with shared use path as shown in exhibit 'C'.
- Plans must address all of the specific items further detailed herein.
- Documents shall be prepared for an anticipated construction bid date of April 1, 2015. Preference will be given to consultants able to produce documents for bid in advance of this date.

Landscaping

- Design of landscape area 50 feet out from and on 3-legs of the roundabout. Landscaping should be in keeping with existing landscape of the adjacent park.
- Design of entry feature to be placed in center of roundabout to include a theme consistent with the park complex.
- Consultant shall meet with the American Fork City Parks and Recreation committee to determine the selected theme and features.
- Final review and coordination of all landscape, sprinkler, and other park related appurtenances shall be with the American Fork City Parks and Recreation Director.

Non-motorized transportation system

- Relocation of an existing trail facility and incorporation into the final design.
- Design a 10-foot wide multi-use trail along the north side of the river structure extending into park system.

Traffic Modeling

- Prepare detailed traffic model report of roundabout function. City will provide current traffic counts of adjacent roadways and future adjacent roadway projections. Consultant shall participate with City to determine future park demand projections. The primary objective shall be to confirm if a roundabout will process effectively the projected traffic.

Pavement Design

- Consultant shall provide pavement design for primary phase area sufficient to address 20-year traffic projections.

Public Involvement

- Consultant shall prepare materials for a neighborhood open house meeting to obtain input from stake holders. This meeting will be held in the 20%~30% design phase of the project.
- Consultant shall have primary project manager or other team representative respond to citizen inquiry. It is not anticipated that a designated Public Involvement specialist will be required for the design.

American Fork River Crossing:

- Prepare and coordinate permits, design, plans, and models as necessary with the State of Utah for Stream Alteration through the regional coordinated permit system. If United States of Army Corps of Engineers (USACOE) assert jurisdiction beyond the regional permitting system, coordination and time associated with direct permitting from

USACOE will be addressed as a separate charge item. All coordination, reports, modeling, etc. necessary for State of Utah Stream Alteration Permit shall be included in primary scope

- Energy Dissipation – Consultant will be required to model American Fork River as necessary to create energy dissipation systems required by State Stream Alteration permitting process.

Utilities

The City is working to complete a project that is inclusive of all items anticipated necessary through the American Fork River crossing and roundabout extension into the park that will facilitate all future utility needs and other anticipated service needs. The objective of this portion of the project being to minimize the potential for future disturbance to the constructed improvements.

Utility Extensions: From the 500 East/980 North intersection and/or American Fork River Crossing on 980 North extend the following:

- 8-inch ductile iron water main (intersection to existing water main that projects into park facility (located approximately 700 feet east of intersection)
- 8-inch sewer main (intersection to approximate end of existing parking lot in Art Dye complex, stub northerly and southerly for future facilities.)
- 24-inch (anticipated size) storm drainage facility with off-line hydrodynamic separator system designed for planned treatment flows. Sized per American Fork Storm Drain Technical Manual. Storm system is anticipated to extend from river to parking lot extension.
- Placement of a conduit/duct system from the intersection at 980 north/500 East across river to west limit of primary construction and into Art Dye park complex for future power, telecommunications, street lighting needs. Exact termination in Art Dye complex to be determined during design. Conduits will need to be stubbed in a manner to allow sufficient service to both northerly and southerly portions of the park complex. As a minimum this section will include a 2-D multi-duct conduit section.
- Prepare street lighting plans – City will assist to layout primary fixture location. Consultant to coordinate power service locations with Rocky Mountain Power, and to place conduits, sleeves, foundation sleeves, etc. on primary construction plans for incorporation into construction by primary roadway contractor.
- Pressurized Irrigation lateral(s) will be required to service the proposed and future landscape system

Gravity Irrigation

This project and the future expansion of the Art Dye Park complex will create the need for piping of one of the primary American Fork Irrigation Company transmission pipelines. One of the diversion points for this ditch system is located along the American Fork River approximately 400 feet north of the 980 North/500 East intersection. The design shall accommodate the routing of this system in a “to be selected” new corridor through the park system. This item will require the coordination and approval of the American Fork City Irrigation Company board.

- Design gravity irrigation system for piping of the Macarthur irrigation system from River Crossing point to east side of existing park entry road (550 East). Design includes diversion works at west side of 550 East.

Storm Water Pollution Prevention Plan (SWPPP)

- Design plan and specifications will need to provide for the primary items determined necessary to construct the facilities within the American Fork River corridor and within the park complex. Contractor will be required to obtain permits, prepare construction SWPPP document; however, construction plan and specification will need to provide all project determined minimum level of effort and implementation.

Miscellaneous

- The parcel north of the existing 980 North has an existing well. Consultant/plan will need to incorporate the capping of the existing well and completion of documents with State of Utah Division of Water Rights.

980 North (West)

Exhibit 'D' illustrates a potential expansion of the portions of 980 North west of the current project limits. The primary scope (Phase 1) scope includes all items highlighted in the red outline on Exhibit 'A'. This page does not show the western portions of the river corridor. The primary scope will include connection to the existing curb and gutter, and sidewalk improvements located immediately west of the American Fork River. The primary scope (Phase 1) shall also include a pavement widening design/specification to ensure that 980 North will contain at least 26-feet of asphalt following the construction of the primary roundabout and river crossing structure. This pavement expansion area is shown in exhibit 'D'. This work is intended to be a pavement expansion only and not the reconstruction shown in the exhibit.

Phase II Scope:

As a part of the pricing, consultant shall provide separate pricing to design the intermediate portion of the future roadway between the Phase I portions and the 550 East roadway that has recently been constructed to approximately 875 North. Phase II will provide design for an additional roundabout and/or turning and traffic calming feature, and the connection of the future roadway to the existing Art Dye complex parking lot. This design plan will require alignment/control data provided in a format for distribution to parties placing improvements within the park complex in advance of the roadway construction date. Design shall include features at the intersection of the existing parking lot and new roadway as determined necessary to process and route both non-motorized public travel and vehicular travel in a safe and efficient manner. It is not anticipated that this design will be implemented immediately. Rather, the information will serve as a guide to City staff to facilitate improvement of this corridor in the future. Final construction plans, specifications, and engineer's estimate required as final deliverable. Traffic analysis and pavement design required as part of primary pricing system. Award of Phase II is optional at the discretion of American Fork City. Phase II will not be awarded independent of Phase I.

American Fork City reserves the right to reject any and all Proposals, and to waive irregularities in the Proposals. If an award is made, it will be made to the lowest and best, responsive, responsible provider.

Phase III Scope:

Construction Administration

It is anticipated that the selected consultant will provide primary construction management services for the project. These services shall be negotiated with the selected team at the time that final project construction limits and timelines have been determined. This additional work is not guaranteed however consultants shall provide documentation sufficient for the City to evaluate consultant capacity to complete this portion of the work.

Submission Guidelines: Proposers shall submit three (3) copies of the completed proposal, along with all materials required herein for acceptance of their proposal by **3:00 p.m. MST, on Tuesday November 11, 2014.** It is anticipated that work will be authorized by American Fork City Council on November 25, 2014.

Mail to:
American Fork City Public Works
Andy Spencer, P.E.
275 East 200 North
American Fork, UT 84003

Deliver to:
American Fork City Public Works
Andy Spencer
275 East 200 North
American Fork, UT 84003

Proposals received after the date and hour established above will be considered late proposals and will be automatically disqualified. Late proposals will be returned unopened.

Termination:

1. The contract may be terminated for any reason by American Fork City upon thirty (30) days written notice to the Proposer, without prejudice to any other right or remedy American Fork City may have.
2. Failure of the Proposer to adhere to any of the performance requirements of the RFP shall be cause for termination.
3. The contract may be terminated for any reason by the Proposer upon ninety (90) days written notice to the City.

Payments: Payments may be withheld from the Proposer by City in order to protect City from loss due to:

1. Liens or claims filed against Proposer, or reasonable evidence of probable filing.
2. The Proposer's failure to promptly pay subcontractors or suppliers for labor and/or services accepted by the Proposer.
3. Failure to perform.

Inspection and Acceptance: American Fork City or its authorized representatives shall have the right to enter premises of the selected bidder, or such other places where RFP services are being performed, to inspect, audit, monitor or otherwise evaluate the services being provided and the financial records pertaining to the RFP. The selected bidder must provide reasonable access to all faculties and assistance to American Fork City or its authorized representatives.

Independent Contractor:

1. Proposer states and affirms that he is acting as an independent contractor, holding himself out to the general public as an independent contractor for other work or contracts as he sees fit; that he advertises his services as he sees fit to the general public, maintains his office or place of employment separate from American Fork City, and this AGREEMENT is not exclusive of other agreements, contracts or opportunities.
2. The parties intend that an independent contractor relationship will be created by this AGREEMENT. American Fork City is interested only in the results to be achieved and the conduct and control of the work will lie solely with the Proposer/Contractor. Proposer/Contractor is not to be considered an agent or employee of American Fork City for any purpose, and the employees of the Proposer are not entitled to any of the benefits that American Fork city provides for City's employees. It is understood that American Fork City does not agree to use Proposer exclusively. It is further understood that Proposer is free to contract for similar services to be performed for others while working under the provisions of this AGREEMENT with American Fork City.
3. Both parties agree that Proposer shall be deemed an independent contractor in the performance of this AGREEMENT, and shall comply with all laws regarding unemployment insurance, disability insurance, and workers' compensation. As such, Proposer shall have no authorization, express or implied, to bind American Fork City to any agreement, settlement, liability, or understanding whatsoever, and agrees not to perform any acts as agent for American Fork City. The compensation provided for herein shall be the total compensation payable hereunder by American Fork City.

Assignment: The parties to this contract shall not assign said contract, or any part hereof, without the prior written consent of the other party to the contract. No assignment shall relieve the original parties from any liability hereunder.

Disposition of Proposals:

1. All proposals (and the information contained therein) shall become the property of American Fork City. No proposal shall be returned to the respondent regardless of the outcome of the selection process.
2. American Fork City will award a contract in reliance upon the information contained in proposals submitted in response to the request for proposals. American Fork City will be legally bound only when and if there is a signed contract entered into between American Fork City and the awarded proposer.
3. It is important that any person who signs a bid or RFP on behalf of a respondent certifies that he or she has the authority to so act. The provider who has its proposal accepted may be required to answer further questions and provide further clarification of its proposal and responses.
4. Receiving of this request for proposal or responding to it does not entitle any entity to participate in services or transactions resulting from or arising in connection with this request for proposal. American Fork City shall have not liability to any person or entity under or in connection with this request for proposal, unless and until American Fork City and such person have executed and entered into a contract pursuant to the terms of this request for proposal.
5. By responding to this request for proposal each responding party acknowledges that neither American Fork City nor any of its representatives is making or has made any representation or warranty, either express or implied, as to the accuracy or completeness of any portion of the information contained in this request for proposal. The responding

party further agrees that neither American Fork City nor any of its representatives shall have any liability to the responding party or any of its representatives as a result of this request for proposal process or the use of the information contained in this request for proposal. Only the terms and conditions contained in the contract when, as, and if executed, and subject to such limitations and restrictions as may be specified therein, any be relied upon by the parties in any manner as having any legal effect whatsoever.

Attorney's Fees: If City shall be made a party to any litigation commenced by or against Proposer arising out of Proposer's operations and as a result of which Proposer is held liable, in whole or in part, by settlement, adjudication, or otherwise, then Proposer shall pay all costs and reasonable attorney fees incurred by or imposed upon City in connection with such litigation. Each party shall give prompt notice to the other of any claim or suit instituted against it that may affect the other party.

Indemnification: In addition to the insurance and bonding requirements as set forth in this RFP, the Proposer must undertake and agree to defend, indemnify and hold harmless the City, its departments, boards, officers, agents, employees, assigns and successors in interest from and against all suits and causes of actions, claims, losses, demands and expenses, including, but not limited to attorney's fees and cost of litigation, and damages or liability of any nature whatsoever, for: illegal dumping or other EPA/DEQ findings, transfer station or landfill site closure expenses, death or injury to any person, including Proposer's employees and agents, or damage of or destruction to any property of either party hereto or of third persons, in any manner arising by reasons of or incident to the performance of the contract on the part of Proposer, its officers, directors, agents, servants, employees, contractors, whether or not contributed to by any act or omission of City or any of the City's boards, officers, agents, or employees.



American Fork Public Works
 275 East 200 North
 American Fork, UT 84003
 801-763-3050

**American Fork City
 Public Works / Engineering
 Request for Proposals (RFP)
 Engineering, Design and Construction Management**

THIS PAGE MUST BE COMPLETED, PROPERLY SIGNED, AND RETURNED FOR THIS PROPOSAL TO BE CONSIDERED COMPLETE.

CERTIFICATION

I, the undersigned, affirm that this proposal is made on behalf of the below-named individual/company, for whom I have legal authority to commit to the terms and conditions set forth in the RFP and this response, to which I/we agree to be bound if this proposal is found acceptable by American Fork City; and that this proposal is made without any collusion or coercion on the part of any person, firm, corporation, or other entity.

| | | |
|---|-----------|-------------------|
| Company Name: | | |
| Address: | | |
| | | |
| Representative: | | |
| Title: | | |
| Phone: | Fax: | |
| Email address: | | |
| Insurer: | Policy #: | Coverage Amounts: |
| Phase I Price \$ _____ Lump Sum | | |
| <i>Please attach supporting documentation</i> | | |
| Phase II Price \$ _____ Lump Sum | | |
| <i>Please attach supporting documentation</i> | | |

Signature of authorized representative:

Date: _____



AMERICAN FORK PUBLIC WORKS
275 EAST 200 NORTH
AMERICAN FORK, UT 84003
801-763-3050

**American Fork City
Public Works / Engineering
Request for Proposals (RFP)
Engineering, Design and Construction Management**

E-VERIFY CERTIFICATION

WHEREAS, the undersigned proposes to provide services under a contract for American Fork City and the Citizens of American Fork City, County of Utah.

NOW THEREFOR, this _____ day of _____, 2014, the undersigned firm verifies its compliance with Utah Code Ann. § G63-11-103 and 13-47-201, stating affirmatively that the individual, firm, or corporation which is contracting with American Fork City has registered with and is participating in a federal work authorization program in accordance with the applicable provisions and deadlines established in Utah Code Ann. § G63-11-103 and 13-47-201.

The undersigned contractor/firm further agrees that should it employ or contract with any subcontractor(s) in connection with the physical performance of services pursuant to the contract with American Fork City, of which this certification is a part, the undersigned contractor/firm will secure from such subcontractor(s) similar verification of compliance with Utah Code Ann. G63-11-103 and 13-47-201. The undersigned contractor further agrees to maintain records of such compliance and provide a copy of each such verification to American Fork City at the time the subcontractor(s) is retained to perform such services

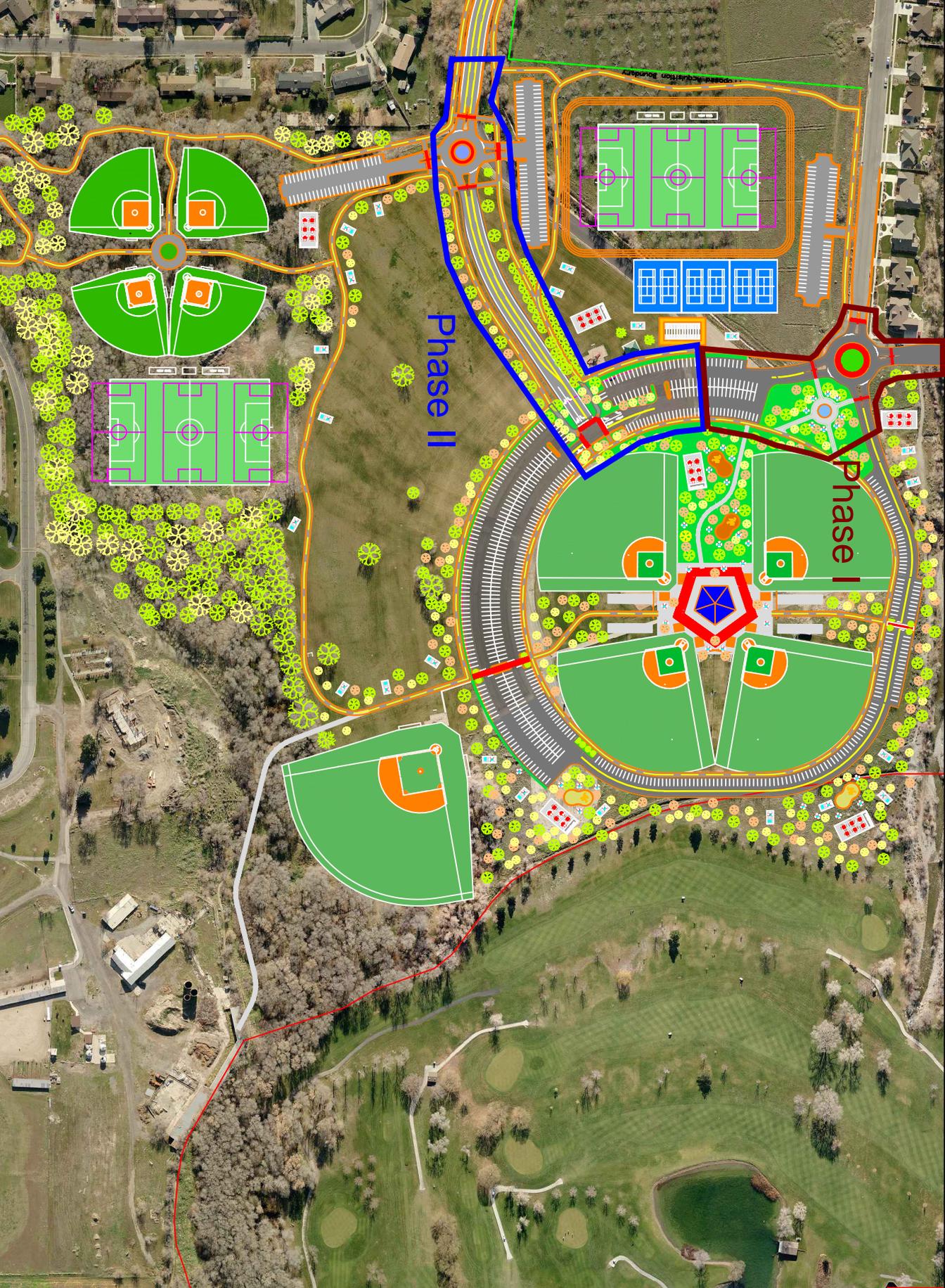
E-Verify Number _____

{AFFIX CORPORATE SEAL HERE}

Proposer
(Name of sole ownership, corporation or partnership)

(Signature of Authorized Representative)

Title

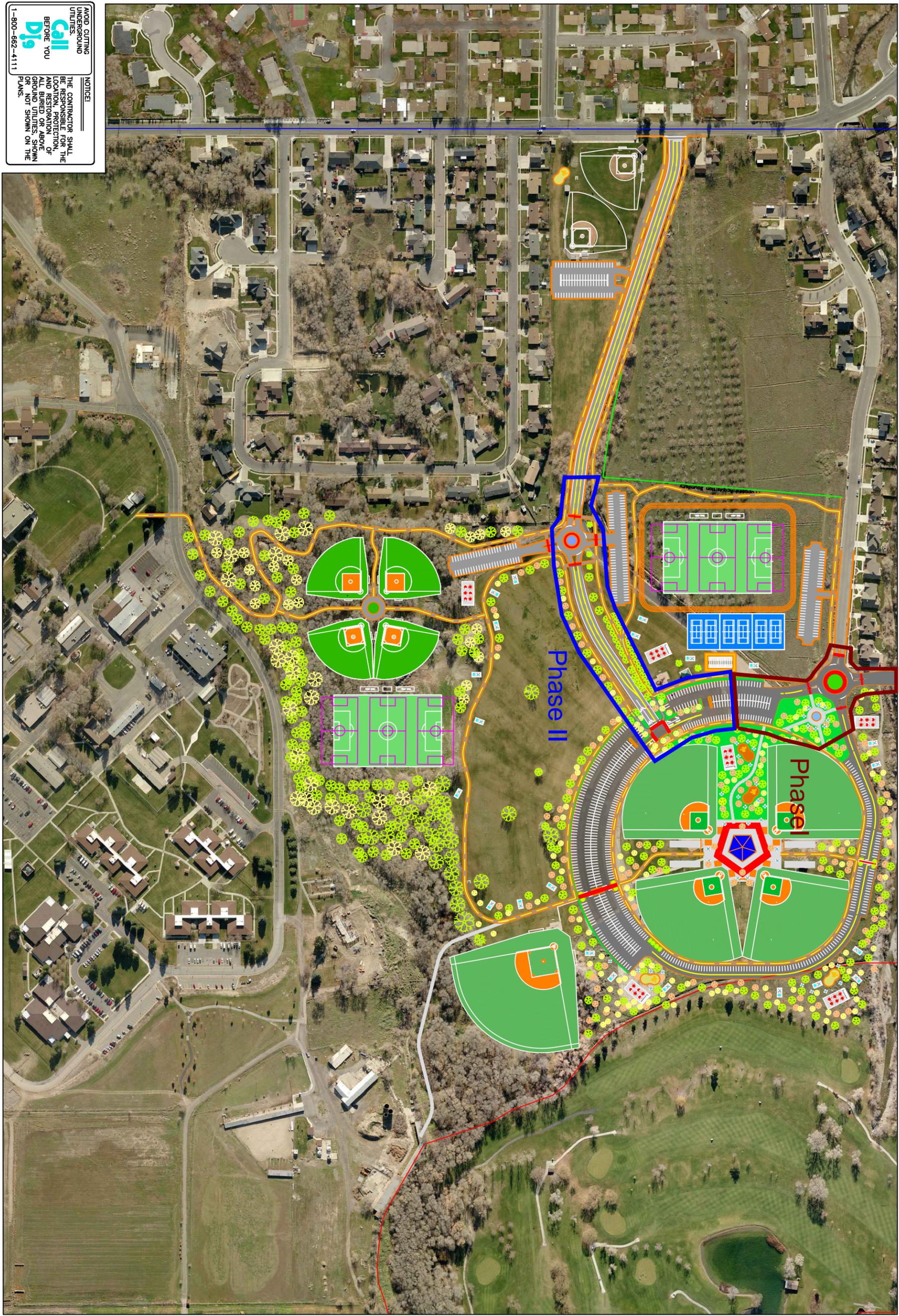


ART DYE PARK
 OVERALL VIEW
 PLAN VIEW
 FEBRUARY 2013

Exhibit 'A'

| | Date |
|----------------|-------|
| Designed _____ | _____ |
| Drawn _____ | _____ |
| Checked _____ | _____ |
| Approved _____ | _____ |
| Title _____ | _____ |

AVOID CUTTING UNDERGROUND UTILITIES. BEFORE YOU Call **dig** 1-800-662-4111
 NOTICE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



Sheet _____ of _____

File Name
 Drawing No.
 AMERICAN FORK CITY
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DIVISION
 275 EAST 200 NORTH
 AMERICAN FORK CITY, UT 84003
 PH: (801) 763 3060 FAX: (801) 763 3005

ART DYE PARK
 OVERALL VIEW
 PLAN VIEW
 FEBRUARY 2013

Exhibit 'B'

| | Date |
|----------------|-------|
| Designed _____ | _____ |
| Drawn _____ | _____ |
| Checked _____ | _____ |
| Approved _____ | _____ |
| Title _____ | _____ |

Figure 3-6 Modified Roadway Cross Sections

MINOR COLLECTOR with SHARED USE PATH – 79-85' ROW

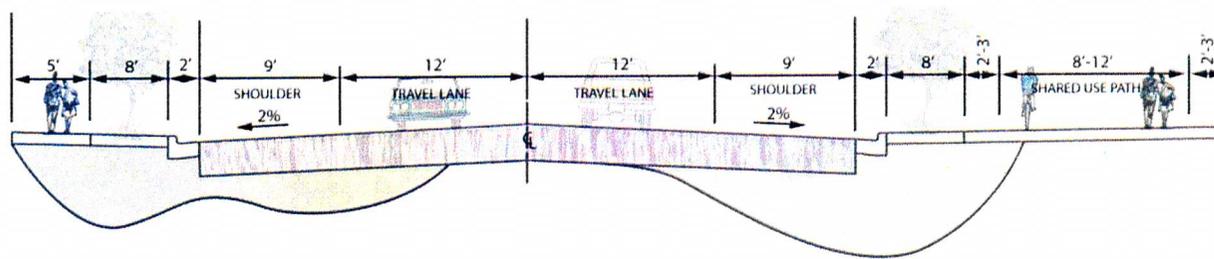
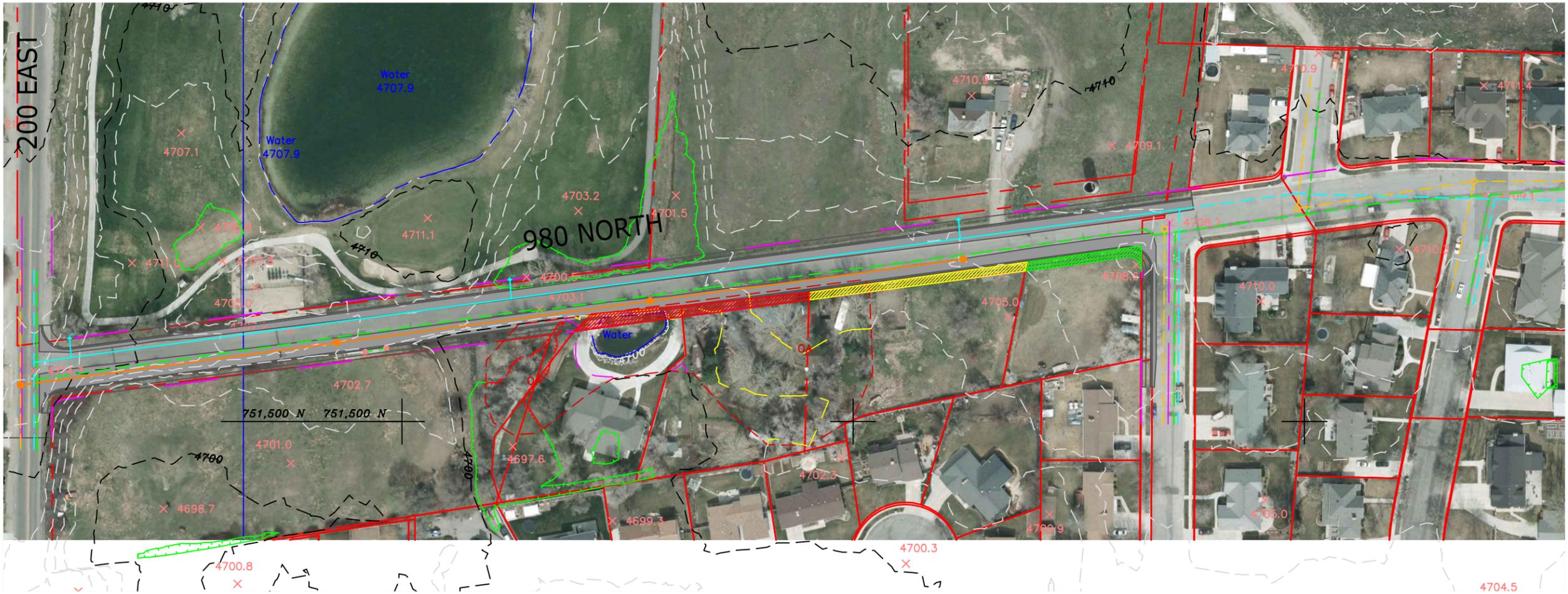
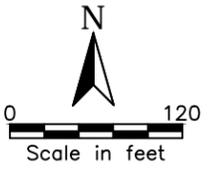


EXHIBIT "D"



AVOID CUTTING UNDERGROUND UTILITIES.
Call Before You Dig
 1-800-662-4111

NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

| | | | |
|----------|-------|------|-------|
| Designed | _____ | Date | _____ |
| Drawn | _____ | | |
| Checked | _____ | | |
| Approved | _____ | | |
| Title | _____ | | |

980 NORTH ROAD WIDENING
 STREET IMPROVEMENTS PROJECT
 PLAN AND PROFILE VIEW
 NOVEMBER 2014

AMERICAN FORK CITY
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DIVISION
 275 EAST 200 NORTH
 AMERICAN FORK CITY, UT 84003
 PH: (801) 763 3060 FAX: (801) 763 3005

| | |
|-------------|--------|
| File Name | _____ |
| Drawing No. | _____ |
| Sheet | 1 of 1 |



51 East Main, American Fork, UT 84003
Office (801) 763-3000
Fax (801) 763-3033

Addendum #1

To:

Scope of Services: Phase I Scope General Design Requirements and Submission Guidelines

For:

American Fork City

RFP - Engineering, Design and Construction Management

For the 980 North 500 East roundabout and box culvert bridge.

Submission Guidelines: Proposers shall submit three (3) copies of the completed proposal, along with all materials required herein for acceptance of their proposal by **3:00 p.m. MST, on Tuesday November 11, 2014.** It is anticipated that work will be authorized by American Fork City Council on ~~November 25, 2014~~ **November 18, 2014.**

- Documents shall be prepared for an anticipated construction bid date of ~~April 1, 2015~~ **February 24, 2015. Bid documents shall be available for bid no later than February 10, 2015.** Preference will be given to consultants able to produce documents for bid in advance of this date.

CLARIFICATION: The City administration has accelerated the timeframe for the bid date to February 24, 2015 with the bid plans being available to potential construction firms by February 10, 2015. Due to this change, we will release design plans for the crossing corridor previously prepared in 1996. These are provided as a reference document. Consultant will be responsible to verify all items on the plan as valid under current codes, standards and improvement conditions. Modifications to the existing design will be entirely the responsibility of the selected consultant.

Due to the Thanksgiving holiday, City Council will be meeting one week earlier on November 18, 2014 and are prepared to award this contract at that meeting.

Addendum #1 is hereby approved and issued on November 6, 2014

Attachments included with this addendum are (2).

Mayor James H. Hadfield

Carlton Bowen, Brad Frost, Robert Shelton, Jeff Shorter, Clark Taylor

INDEX OF SHEETS

- | | |
|---------------------------|--------------------------------|
| 1. SITUATION & LAYOUT | 4. APPROACH SLAB DETAILS |
| 2. ABUTMENT DETAILS | 5. APPROACH SLAB DRAIN DETAILS |
| 3. SUPERSTRUCTURE DETAILS | 6. PARAPET DETAILS |

GENERAL NOTES

1. ALL REINFORCING STEEL SHALL BE EPOXY-COATED DEFORMED BILLET-STEEL BARS CONFORMING TO AASHTO M 284 AND M 31 GRADE 60, RESPECTIVELY.
2. ALL STRUCTURAL STEEL SHALL CONFORM TO AASHTO M 270 GRADE 36 EXCEPT WHERE NOTED OTHERWISE.
3. CHAMFER ALL EXPOSED CONCRETE CORNERS 3/4 INCH EXCEPT WHERE NOTED OTHERWISE.

DESIGN DATA

HS-20-44 OR INTERSTATE ALTERNATIVE LOADING IN ACCORDANCE WITH CURRENT AASHTO AND INTERIM SPECIFICATIONS.

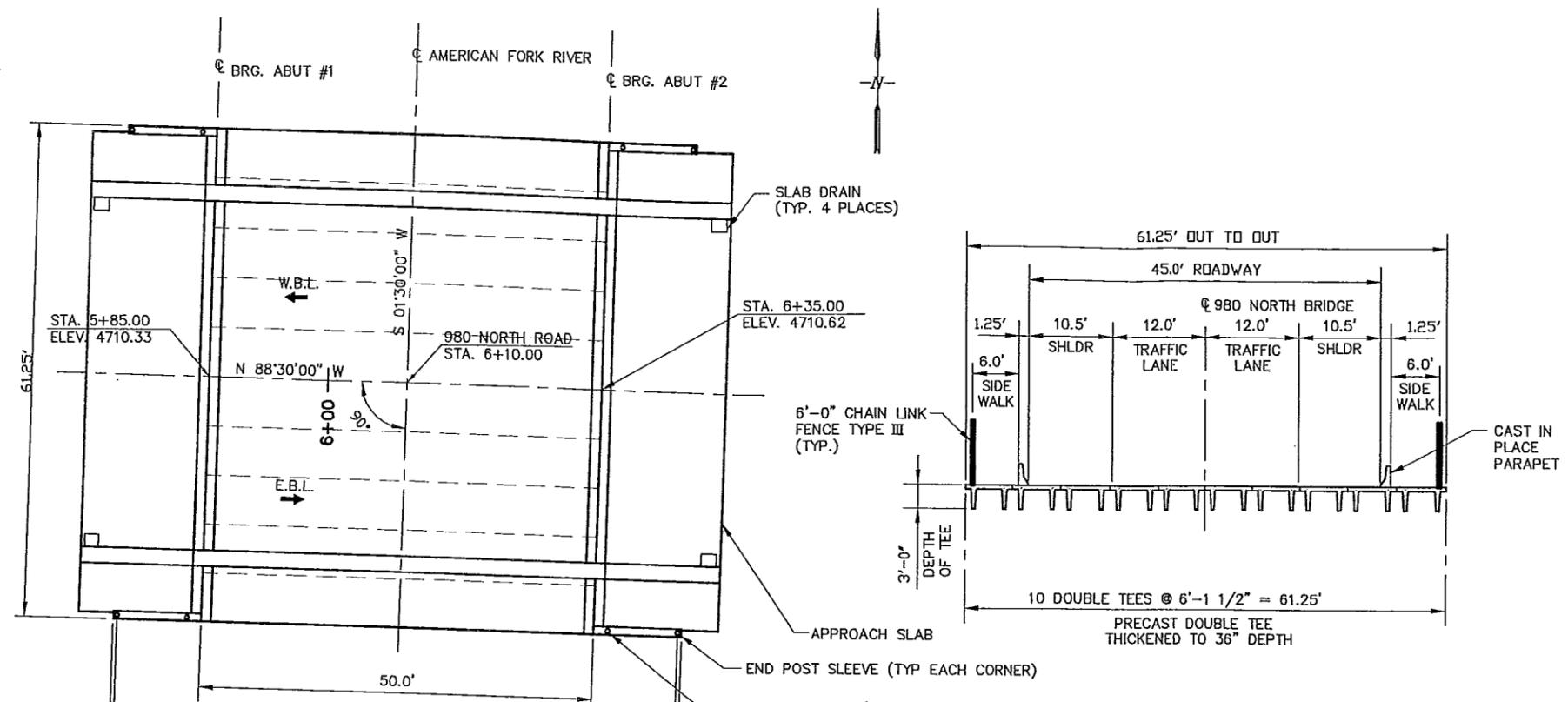
CAST-IN-PLACE CONCRETE: $f'_c = 4000$ psi; f_s (REINF.) = 24,000 psi; $F_y = 60,000$ psi; $n=8$
 PRESTRESSED CONCRETE: $f'_c = 5000$ psi; f_s (NONPRESTRESSED) = 24,000 psi; $n=6$
 STRUCTURAL STEEL: $f_s = 20,000$ psi
 WEARING SURFACE: 2" ASPHALT; 35 psf (FUTURE)
 DESIGN SPEED: 35 mph

HYDRAULIC DATA

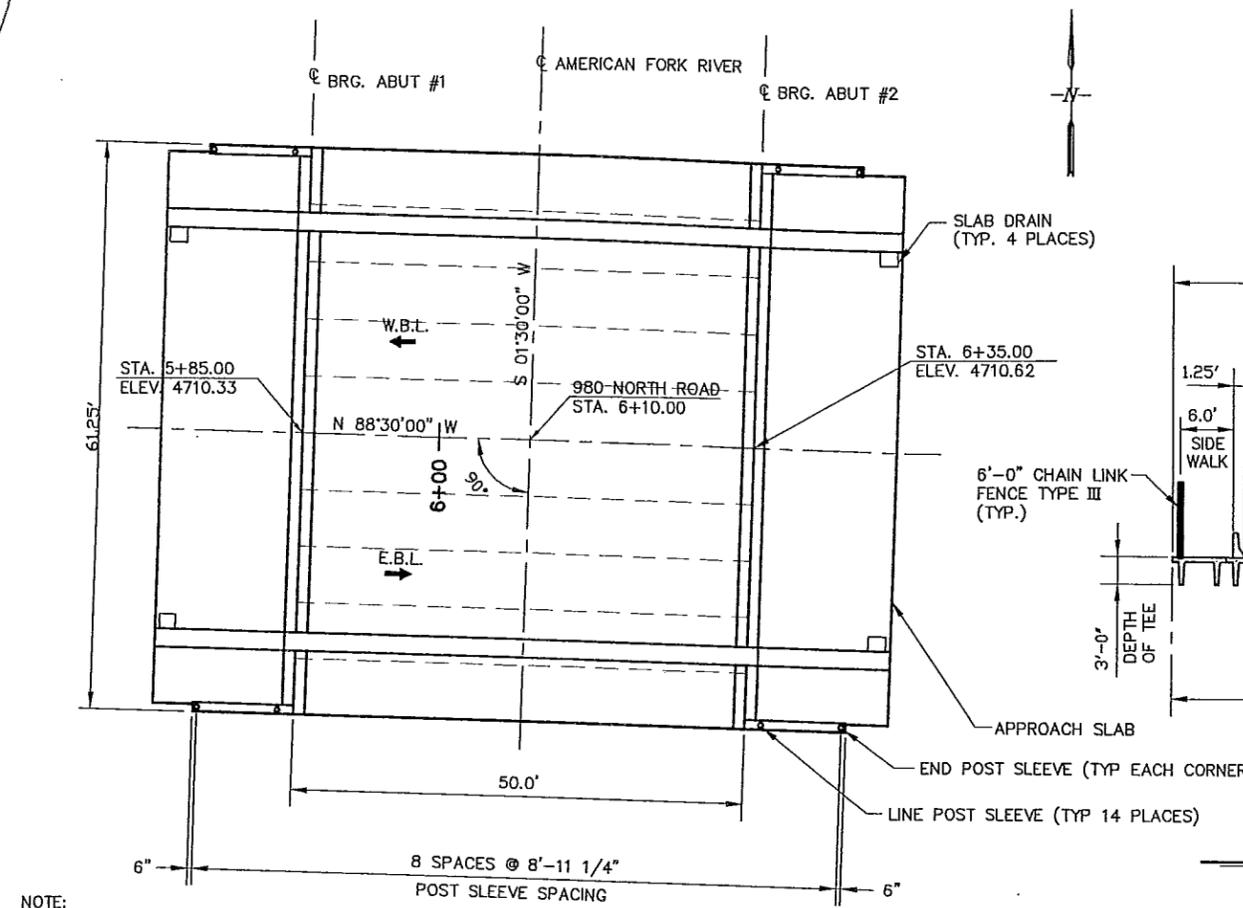
| | |
|--|-------------|
| DRAINAGE AREA | .64.0 sq mi |
| APPROACH SECTION FLOWLINE ELEVATION | 4696.62 ft |
| BRIDGE SECTION FLOWLINE ELEVATION | 4696.50 ft |
| DESIGN FREQUENCY | .100 yr |
| DESIGN DISCHARGE (Q_d) | .2440 cfs |
| APPROACH SECTION WSE FOR Q_d IN NATURAL CHANNEL | .4704.27 ft |
| APPROACH SECTION WSE FOR Q_d WITH BRIDGE | .4704.75 ft |
| BRIDGE SECTION VELOCITY FOR Q_d | .9.44 fps |
| 50-YR. DISCHARGE (Q_{50}) | .1750 cfs |
| APPROACH SECTION WSE FOR Q_{50} IN NATURAL CHANNEL | .4703.11 ft |
| APPROACH SECTION WSE FOR Q_{50} WITH BRIDGE | .4703.56 ft |
| OVERTOPPING FREQUENCY (500 YEAR MAX.) | .N/A |
| OVERTOPPING DISCHARGE (Q_{over}) | .N/A |
| APPROACH SECTION WSE FOR Q_{over} IN NATURAL CHANNEL | .N/A |
| APPROACH SECTION WSE FOR Q_{over} WITH BRIDGE | .N/A |
| DEPTH OF CONTRACTION SCOUR FOR Q_{100} | .0.31 ft |
| DEPTH OF TOTAL SCOUR FOR Q_{100} AT PIERS: | .N/A |
| AT LEFT ABUTMENT | .0.31 ft |
| AT RIGHT ABUTMENT | .0.31 ft |
| DEPTH OF CONTRACTION SCOUR FOR Q_{over} | .N/A |
| DEPTH OF TOTAL SCOUR FOR Q_{over} AT PIERS: | .N/A |
| LEFT | .N/A |
| RIGHT | .N/A |
| PIERS: | .N/A |

QUANTITIES

| ITEM | ESTIMATED | UNIT | AS CONST. |
|---|-----------|------|-----------|
| STRUCTURAL CONCRETE (EST. QTY. 251 yd^3) | 1 | LUMP | |
| REINFORCING STEEL (EPOXY COATED) | 1 | LUMP | |
| PRECAST DOUBLE TEE | 10 | EACH | |
| STRUCTURAL STEEL (EST. QTY. 1,980 lbs) | 1 | LUMP | |

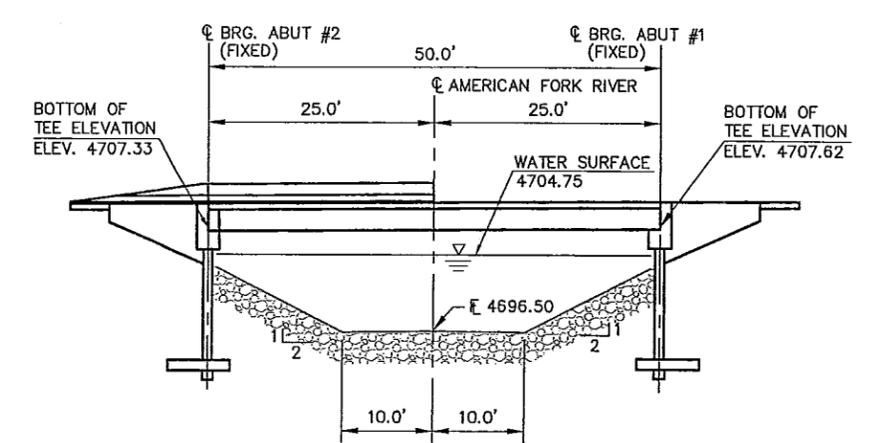


SECTION THRU DECK

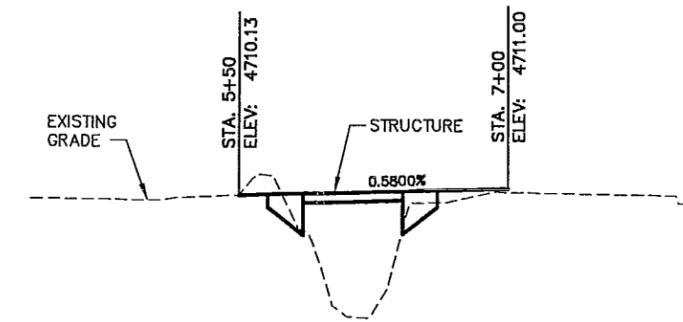


PLAN

NOTE:
ALL ABUTMENTS ARE
PARALLEL TO BEARING
S 01°30'00\"/>



SECTION NORMAL TO AMERICAN FORK RIVER



**980 NORTH BRIDGE
PROFILE**

HORROCKS ENGINEERS
 ONE WEST MAIN
 AMERICAN FORK, UT 84003
 (801) 756-7628

AMERICAN FORK CITY

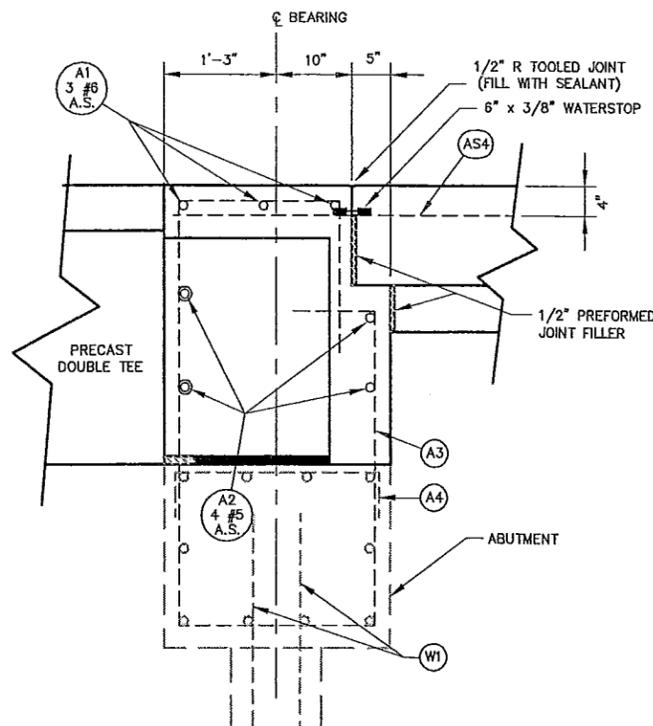
**980 NORTH
BRIDGE**
 BRIDGE IMPROVEMENTS

**980 NORTH
SITUATION & LAYOUT**

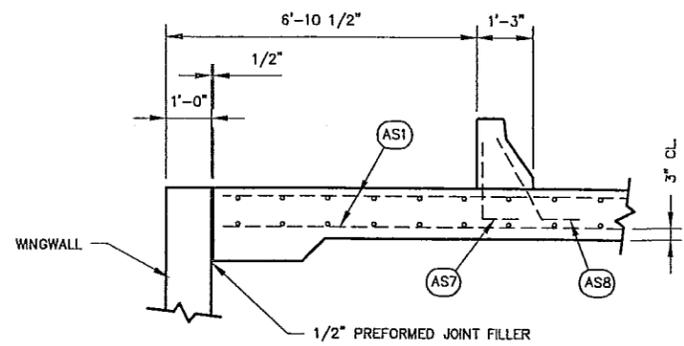
| | |
|---------------|-------------|
| DESIGNED: CDP | DATE: 12/95 |
| DRAWN: THK | DATE: 12/95 |
| CHECKED: RVH | DATE: 12/95 |
| REV. _____ | DATE _____ |
| REV. _____ | DATE _____ |

| | |
|------------------|------------------|
| SCALE: 1" = 5' | PROJECT: 9510-16 |
| SHEET NO. 1 of 6 | |

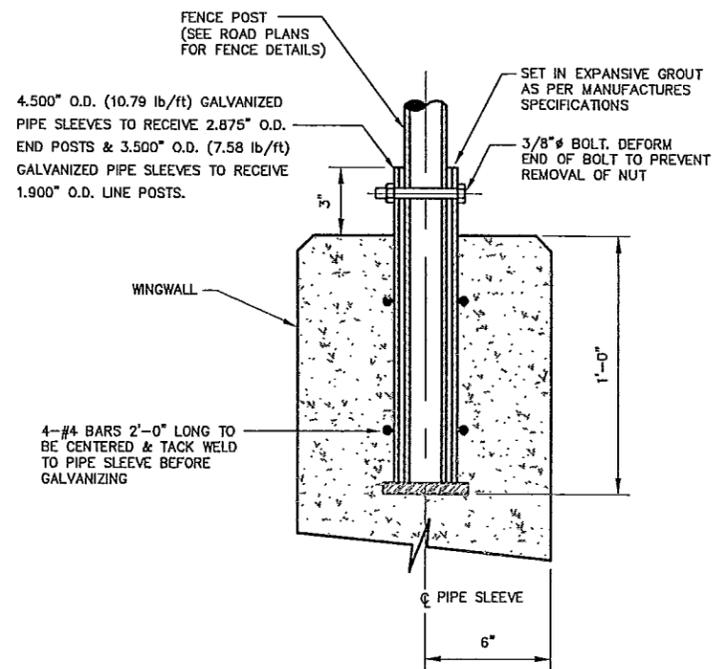
C:\9510-16\STRUCT\980N-BRG 04/25/96 11:16 km



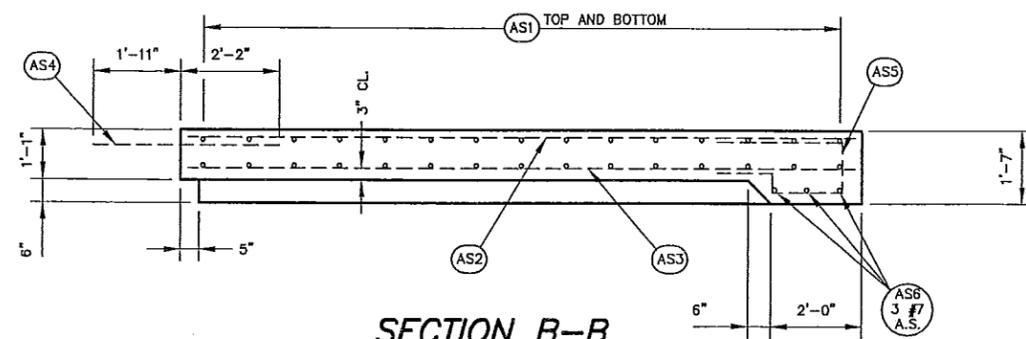
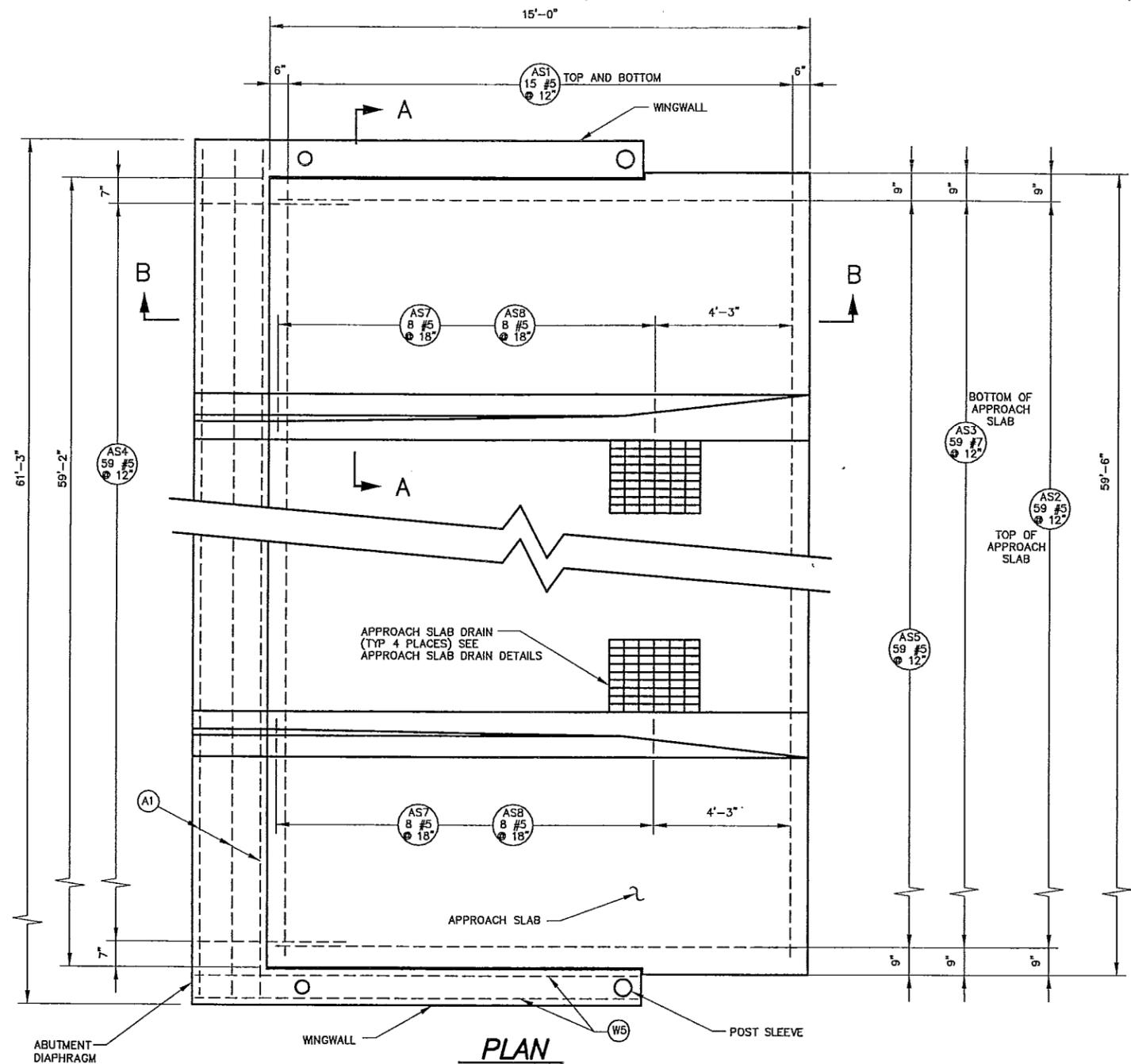
**TYPICAL ABUTMENT
DIAPHRAGM SECTION**



SECTION A-A



POST SLEEVE DETAIL



0: 9510-16 STRUCTURE BDN-AS 04/25/96 11:17 km

HORROCKS ENGINEERS
ONE WEST MAIN
AMERICAN FORK, UT 84003
(801) 756-7628

AMERICAN FORK CITY

**980 NORTH
BRIDGE**
BRIDGE IMPROVEMENTS

**980 NORTH
APPROACH SLAB AND
ABUTMENT DETAILS**

DESIGNED DW DATE 3/96
DRAWN RJB DATE 3/96
CHECKED DIW DATE 3/96
REV. DATE
REV. DATE

SCALE NONE PROJECT 9510-16

SHEET NO. 4 of 6



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
NOVEMBER 18, 2014

Department Administration

Kevin M. Carlson
Director Approval _____

AGENDA ITEM Review and action to certify the results of the November 4, 2014 Election.

SUMMARY RECOMMENDATION Approval of the certification of the results of the November 4, 2014 Election.

BACKGROUND This was a city election put on a county ballot. Utah County will canvass the results as part of the county canvass. The City will review the returns and then certify the results for its question.

As far as the procedure. The County will canvass the election on November 18, 2014 at 3:00 p.m. (Refer to UCA 20A-4-301 to 305) When that is complete, Utah County will transmit the results of the canvass to the City Recorder who will distribute them to the Council as soon as possible. At the November 18, 2014 Special City Council meeting, the Council will review the results of the Utah County canvass. In the end a motion would be needed to certify the results.

BUDGET IMPACT N/A

SUGGESTED MOTION Move to Certify the results of the November 4, 2014 Election.

SUPPORTING DOCUMENTS

1. Canvass results from the County is forthcoming.