



AGENDA – Planning Commission Meeting

Planning Commission Chair Rachel Sprosty Burns
Planning Commission Vice Chair Doug Willden
Planning Commissioner Charlie Carn
Planning Commissioner Scott A. Hill
Planning Commissioner Jack K. Mangum
Planning Commissioner Virginia Rae Mann
Planning Commissioner Colton Miles

CITY OF SARATOGA SPRINGS

Thursday, May 29, 2025 @ 6:00 pm

City of Saratoga Springs Council Chambers

1307 North Commerce Drive, Suite 200, Saratoga Springs, UT 84045

CALL TO ORDER

1. Pledge of Allegiance.
2. Roll Call
3. Public Input: *Time for Public Input is limited to no more than 15 minutes total. This time has been set aside for the public to express ideas, concerns, and comments for subject matter not listed as public hearing on the agenda.*

PUBLIC HEARINGS

The Commission will accept public comment and may make a recommendation to the City Council for the following items:

1. Saratoga 7 Grand Sierra Way Community Plan and Village Plan Amendments, located at 623 North Grand Sierra Way. Chad Spencer as applicant. Planner II Kendal Black.
2. Jordan Promenade (Wander) Community Plan Major Amendment 4, Village Plan 2 Major Amendment 2, and Village Plan 3 Major Amendment 2. Located east of Redwood Road between Pioneer Crossing and 400 South, east to Patriot Park and the Jordan River. Greg Paley of Oakwood Homes Inc. as applicant. Senior Planner Gina Grandpre.
3. Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.18 – Sign Regulations. City-Initiated. Planner I Joel Temple.
4. Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapters 19.02 (Definitions), 19.04 (Establishment of Land Use Zones and Official Map), and 19.09 (Off-Street Parking) for Athletic Coaching. City-Initiated. Planner II Kendal Black.

BUSINESS ITEMS

The Commission will discuss (without public comment) and may either make a recommendation to the City Council, or approve the following items as needed:

1. Approval of Minutes: May 15, 2025.

REPORTS

1. Commissioner's Comments.
2. Director's Report.

CLOSED SESSION

Possible motion to enter into closed session for the purchase, exchange, or lease of property; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual; or the deployment of security personnel, devices, or systems.

ADJOURNMENT

Supporting materials are available for inspection on the City Website www.saratogasprings-ut.gov Questions and comments to Staff and/or Commissioners may be submitted to comments@saratogasprings-ut.gov Meetings are streamed live at <https://www.youtube.com/c/CityofSaratogaSprings>

PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least two days prior to the meeting.



Community and Village Plan Amendment
Saratoga 7 Grand Sierra Way Church
May 15, 2025
PUBLIC HEARING

Applicant:	Chad Spencer
Owner:	Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints
Location:	623 North Grand Sierra Way
Project Acreage:	5.48 acres
Current Use:	Agriculture
Land Use Designation:	Planned Community
Parcel Zoning:	Planned Community
Adjacent Zoning:	Planned Community and R1-10
Adjacent Uses:	Agricultural and Single-Family Residential
Past Action:	N/A
Type of Action:	Administrative
Land Use Authority:	City Council
Planner:	Kendal Black, Planner II

A. Executive Summary and Request:

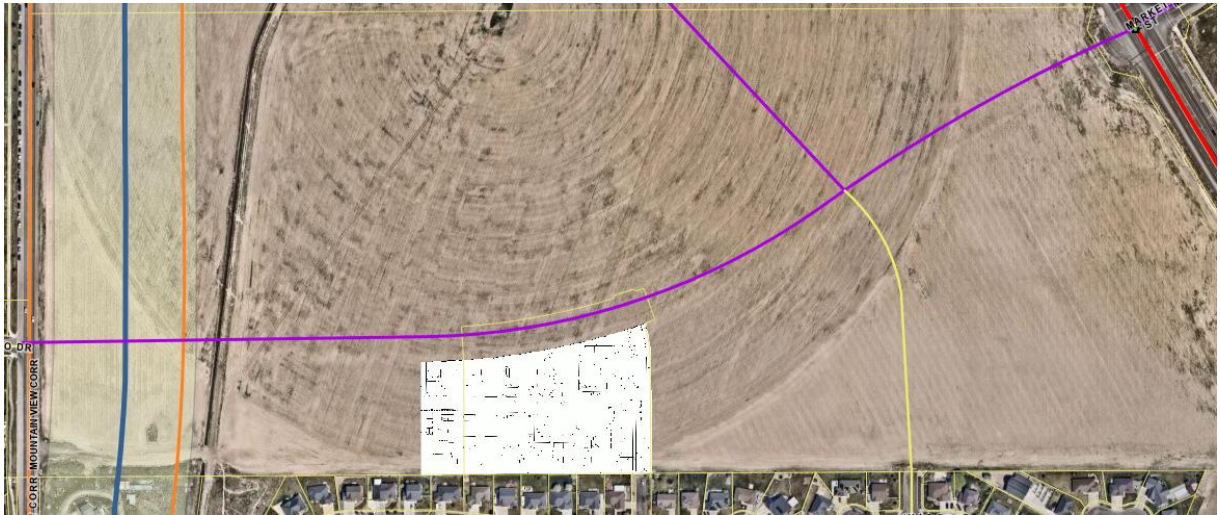
The Community Plan and Village Plan (CP/VP) Amendment applications are to adjust the previously approved lot size, the size of the proposed church, elevations for the church, remove Market Street as the adjacent street abutting the project area, and allow Planning Staff to approve any further required applications. There is only one lot in the project.

Staff recommends that the Planning Commission conduct a public hearing on the Community and Village Plan Amendment applications, take public comment, review and discuss the proposal, and choose from the options in Section H of this report. Options include a positive recommendation with or without conditions, a negative recommendation, or continuation.

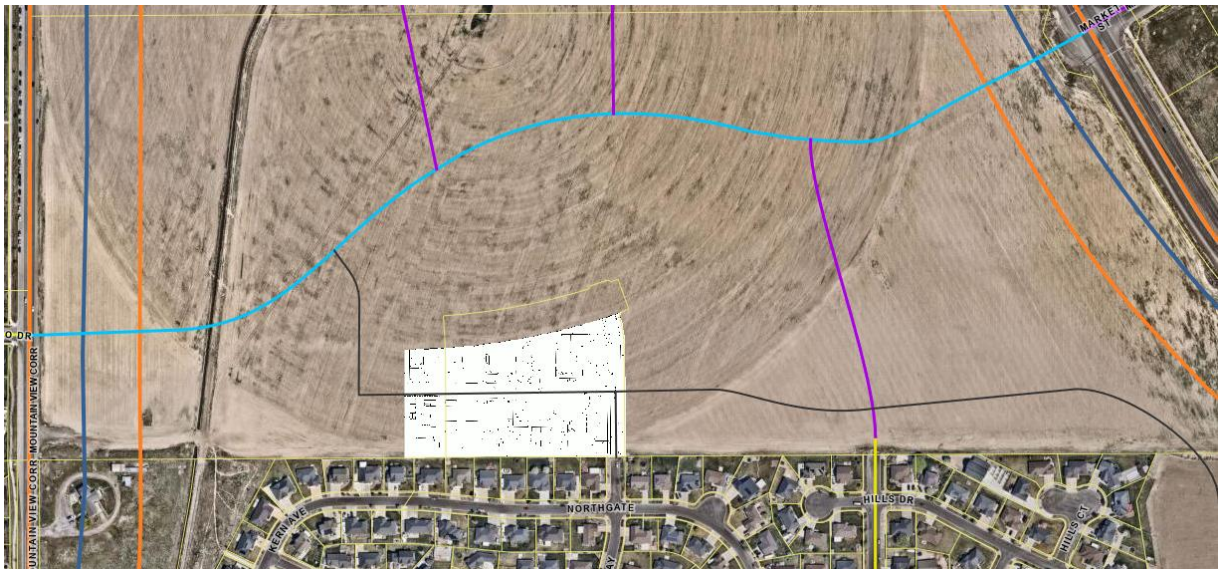
B. Background: This project will be located at the southern middle portion of the future Downtown Area.

The applicant is requesting approval for modifications to the Saratoga 7 Grand Sierra Way Church Community Plan and Village Plan. During the review process for final plat and site plan, staff identified discrepancies between the Community and Village Plans (CP/VP) and submitted

plans and identified the need for a CP/VP amendment prior to approval of the site plan and plat due to the changes. The elevations differ from the ones shown in the Community and Village Plan. The submitted plans have a larger church shown as well and different boundary line. The larger footprint results in the need for additional Equivalent Residential Units (ERU's) – the proposed plan specifies 11.11 ERU while the original specified 8.00. Market Street is currently shown as adjacent to this lot. In the 2022 Transportation Master Plan, Market Street is shown as adjacent to this lot (see below).



In the 2025 Transportation Master Plan Draft, Market Street is moved north and no longer adjacent to this lot (see below).



The last proposed change is that Planning Staff will be the approval authority for future applications. Once the CP/VP is approved, the only other applications would be the Preliminary

Plat, Final Plat, and Site Plan (Final Plat is already a Staff approval). This approach has been granted in other Community Plans.

These changes are necessary due to adjustments in the church's proposed building footprints and elevations.

C. Process:

The process for Community Plan and Village Plan Amendments are outlined in 19.13.04 which indicates that a major amendment requires a public hearing with the Planning Commission followed by a final determination from the City Council. A major amendment is a legislative decision.


D. Community Review:

Public Hearing: This has been noticed as a public hearing pursuant to City and State statutes, which requires posting notice on the Utah public notice website and the City's website and in City Hall, and, except for code amendments, mailing notices to property owners whose land is directly affected by the request and property owners within 300 feet of the subject property at least 10 calendar days prior to the public hearing.

Public Comment: As of the date of this report, no public input has been received.

E. General Plan: The property is designated Planned Community on the Land Use Map.

The Planned Community Land Use Designation is described in the 2022-2042 General Plan below:

 **Planned Community (PC):** Areas designated for a mixture of residential and commercial land uses with a cohesive design and a development plan

Staff conclusion: consistent. The original approval dates back to 2018, before the City was contemplating a Downtown Overlay to the north of this site. Since this CP/VP are for one site only; there is still potential for a mixture of land uses and housing types within this zone and surrounding area. The Community Plan is part of the larger District Area Plan which includes a variety of uses.

F. Code Criteria:

The proposed amendment is a major amendment based on the criteria below. The City Council is the Land Use Authority for major amendments.

Section 19.26.05 states:

5. **Community Plan Amendment.** Modifications to the Community Plan text or exhibits may occur in accordance with the following amendment process:
- a. **Major Amendments:** If an amendment is deemed major by the Planning Director (or in the case of a District Area Plan, by the Development Review Committee), it will be processed in the same manner as the original Community Plan. Major amendments are modifications that change the intent of the Community Plan such as:
 - i. those that significantly change the character or architecture of the Community Plan;
 - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided within the Community Plan, as provided in Section 19.26.06;
 - iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas, or public facilities as shown on the approved Community Plan; and
 - iv. modifications to development standards as allowed in the Community Plan.
 - b. **Minor Amendments.** Minor amendments are accomplished administratively by the Planning Director. Minor amendments include simple modifications to text or exhibits such as:
 - i. minor changes in the conceptual location of streets, public improvements, or infrastructure;
 - ii. minor changes in the configuration or size of parcels;
 - iii. transfers of density as described within the Community Plan, as provided for in Section 19.26.06;
 - iv. minor modification of land use boundaries; and
 - v. Interpretations that facilitate or streamline the approval of unlisted uses that are similar in nature and impact to listed uses.

Staff finding: A major amendment is required. The proposed ERUs reflect residential density and have increased from 8.00 to 11.11. Since this is more than a 15% increase, the changes constitute a major amendment and are to be approved legislatively by the City Council.

Code Section 19.26.09 outlines the process for Village Plan Amendments and states:

1. **Village Plan Amendment.** A Village Plan is a zoning level approval, and modifications may occur in accordance with the following amendment process:
- a. **Major Amendments:** If an amendment is deemed major by the Planning Director, it will be processed in the same manner as the original Village Plan. Major amendments are modifications that change the intent of the Village Plan such as:
 - i. those that significantly change the character or architecture of owners' associations (if applicable);
 - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided in the Village Plan, as provided in Section 19.26;

- iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas or public facilities; and
- iv. modifications to development standards as allowed in the Village Plan.

Staff finding: A major amendment is required. These amendments have been deemed to be major amendments since it is modifying the elevations and ERU's approved in the current Community/Village Plan.

Variations: The applicant is requesting the following variation, which is subject to approval by the City Council.

- That preliminary plat be approved by the Planning Director. (The code allows the site plan and final plat to be approved by the Planning Director)

G. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

Option 1 – Positive Recommendation

“I move that the Planning Commission forward a positive recommendation to the City Council for the Saratoga 7 Grand Sierra Way Church Community Plan/Village Plan Amendments, located at 623 North Grand Sierra Way, with the Findings and Conditions in the Staff Report.”

Findings

1. The application is consistent with the General Plan, as articulated in Section E of the staff report, which section is incorporated by reference herein.
2. The application complies with the criteria in Section 19.26 of the Land Development Code of the Land Development Code, as articulated in Section F of the staff report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached Engineering Staff Report.
2. All requirements of the Fire Chief shall be met.
3. All other Code requirements shall be met.
4. Any other conditions or changes as articulated by the Planning Commission:

Option 2 – Continuance

“I move to **continue** the Saratoga 7 Grand Sierra Way Church Community Plan/Village Plan Amendments to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Option 3 – Negative Recommendation

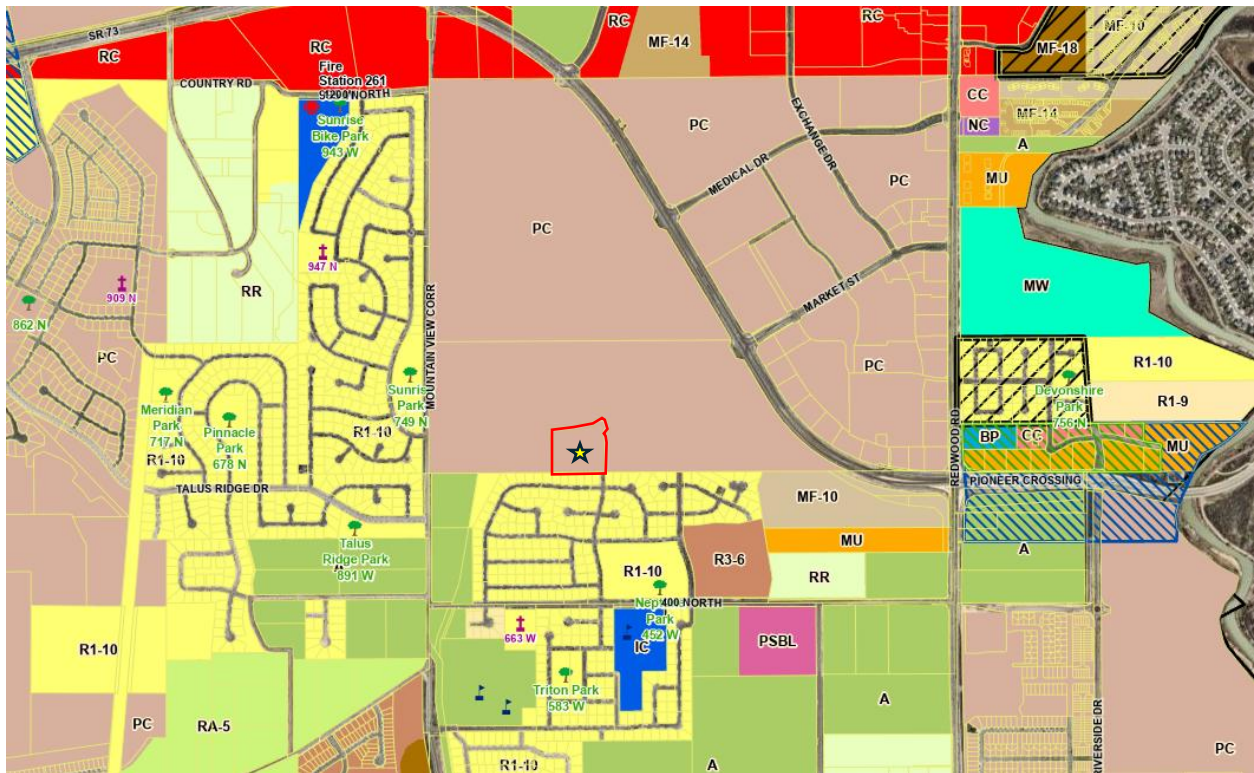
“I move that the Planning Commission forward a negative recommendation to the City Council for the Saratoga 7 Grand Sierra Way Church Community Plan/Village Plan Amendments, located at 623 North Grand Sierra Way with the Findings below:

1. The application is not consistent with the General Plan:
 - a. _____, and/or,
2. The application is not consistent with Section {XX.XX} of the Code:
 - a. _____, and/or
3. The application does not comply with the CP and/or VP:
_____.

H. Exhibits:

1. Location & Zone Map
2. Amended Saratoga 7 Grand Sierra Way Church Community Plan and Village Plan

Exhibit 1: Location and Zone Map



Community and Village Plan
Saratoga Springs 7 (Neptune Park)



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

PREFACE

The following Community and Village Plan document addresses the proposed improvements as they pertain to the proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse located in Saratoga Springs, Utah. The property and proposed improvements for the development are discussed in detail and follow the requirements set forth within the Community and Village Plan requirements of the city code of Saratoga Springs. The purpose of the document is to inform the city (staff, planning commission, and the city council) and public of the proposed general design elements, open space plans, guiding principles and land uses for the project. In addition, utility capacities based on conceptual plans, will outline the methods used to anticipate the demands and service requirements necessary to provide adequate utility service and infrastructure for the proposed meetinghouse and the city. With the simplicity of the site with a single proposed use and the similarity of requirements of the Community and Village Plan, it is proposed that a single document be utilized.

EXECUTIVE SUMMARY

The proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse is a 4.881-acre parcel located along Grand Sierra Way. The project is ideally situated to provide connectivity and minimize impact with local and major transportation corridors.

The proposed community plan incorporates the following units and approximate acreage:

- 4.881 acres: Meetinghouse Site
- 0.600 acres: Right-of-way Dedication

It is proposed that Planning Staff will be the approval authority for future applications.

GUIDING PRINCIPLES

The guiding principles for the proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse will stay consistent with other church uses provided by the Corporation of the Presiding Bishop within Saratoga Springs City. It is the goal to integrate with the local surroundings and keep in harmony with the standards set forth by the City of Saratoga Springs. The following provides the guiding principles anticipated for the project:

- Establishment of Standards: architectural design of building will be similar to what is shown on the elevations as shown on the following pages. No covenants, conditions and restrictions (CC&R's) are anticipated for the project.
- United Theme: it is the desire of the owner to keep consistent with other church uses within Saratoga Springs. Any and all street signage and monumentation will keep consistent with similar church uses within the city.
- Minimize Impacts: a variety of techniques have been incorporated within the proposed meetinghouse to decrease the impacts on the surrounding area and adjacent neighbors to the project. this is accomplished through project orientation and transportation corridors.
 - Project Orientation: the front of the meetinghouse is oriented with access points to Grand Sierra Way.
 - Transportation Corridors: primary access to the meetinghouse will be off of Grand Sierra Way. This will be accessible to the neighborhood to the south and future growth to the north when this area is developed.
- Community Plan Character: properly designed and placed landscaping can create a sense of character similar to other church uses within the city. The following conceptual landscape plans provided an example of the anticipated landscaping for the proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse. Landscaping within the planter strips of the city right-of-way will adhere to city standards and specifications. Interior landscaping exhibits are conceptual by nature by show the general placement of trees, shrubs and other vegetation.

BOUNDARY DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT BEING LOCATED SOUTH 00°05'32" WEST 1325.83 FEET ALONG THE SECTION LINE AND SOUTH 89°54'48" WEST 865.31 FEET FROM THE NORTHEAST CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 0°05'56" WEST 323.63 FEET TO A POINT OF CURVATURE;

THENCE NORTHWESTERLY 98.54 FEET ALONG THE ARC OF A 331.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 170°3'23" (LONG CHORD BEARS NORTH 8°39'16" WEST 98.17 FEET) TO A POINT OF TANGENCY;

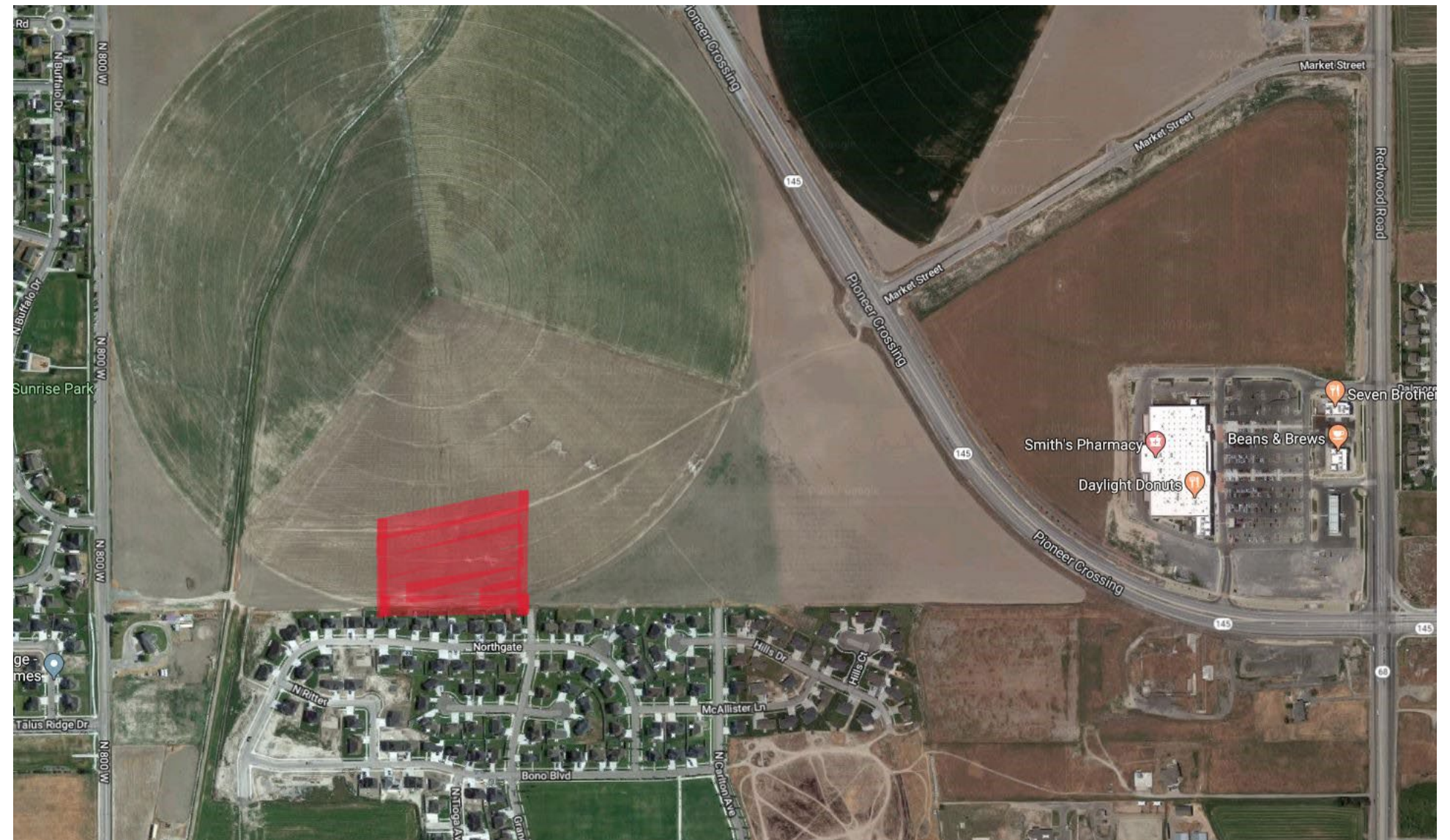
THENCE NORTH 17°10'58" WEST 9.13 FEET TO A POINT ON A NON-TANGENT CURVE;

THENCE SOUTHWESTERLY 656.31 FEET ALONG THE ARC OF A 2038.50 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 18°26'49" (LONG CHORD BEARS SOUTH 80°43'26" WEST 653.48 FEET) TO A POINT OF NON-TANGENCY;

THENCE SOUTH 325.08 FEET TO A POINT ON THE NORTH LINE OF SAID SIERRA ESTATES SUBDIVISION;

THENCE NORTH 89°54'48" EAST 662.97 FEET ALONG SAID SUBDIVISION LINE, TO THE POINT OF BEGINNING.

PARCEL CONTAINS 238,785 SQ. FT. OR 5.481 ACRES.



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

USE MAP AND BUILDOUT ALLOCATION

The use map depicts the proposed land uses for the proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse site. The project will be completed in a single village phase with the following single land use type:

- Master Planned Residential

Equivalent Residential Units (ERU's)

- ERU's are based on the formula in the City Center DAP is: 1 per 2,164 sf.
 - $24,043 \text{ sf} / 2,164 \text{ sf} = 11.11 \text{ ERU's}$
- These ERU's are to be deducted from the overall residential units for the slr development.

Village 1

This village is the only phase of this project and will only contain a single land use type.

Overall village area:

- 5.482 total acres (100%)
 - 4.881 acres: meetinghouse site (89%)
 - 0.602 acres: right-of-way dedication (11%)

Projected Population: 0 people

Projected Employment: 0 people

Community and Village Plan
Saratoga Springs 7 (Neptune Park)

OPEN SPACE

The landscape plan depicts the proposed open space for the proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse site.

- 4.881 acres: meetinghouse site
- 1.48 acres: on-site landscape area (30.0%)

Public Sidewalks: a 5'-0" wide sidewalk will be installed along the entire east frontage of the meetinghouse site and will connect to the existing sidewalk located along grand sierra way and the subdivision to the south. Sidewalk widths and placements will follow the 2017 Saratoga Springs City standards and specifications.

Typical landscaping will be provided around the meetinghouse and along the park strips located on the meetinghouse side of the streets.

DEVELOPMENT STANDARDS

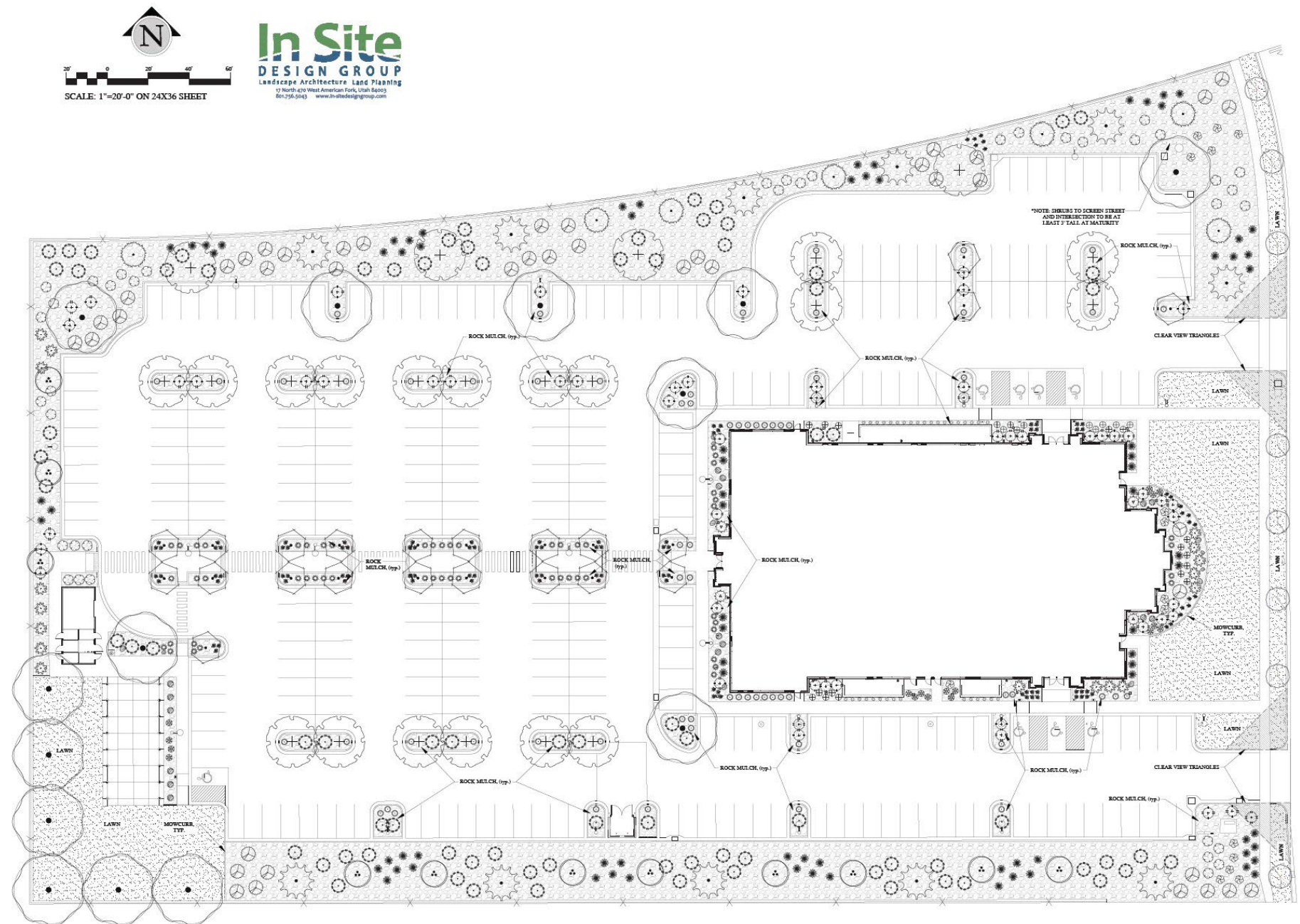
Planned Community / Mixed Use is the only land use type within this proposed area. Development standards will adhere to the city code and the latest approved version of the standards and specifications.

PARKING

Section 19.09 requires church uses to provide 1 stall per 3 seats.

310 total fixed seats in chapel / 3 = 104 parking stalls

301 parking stalls provided. 8 of those stalls are accessible stalls as required by the IBC.

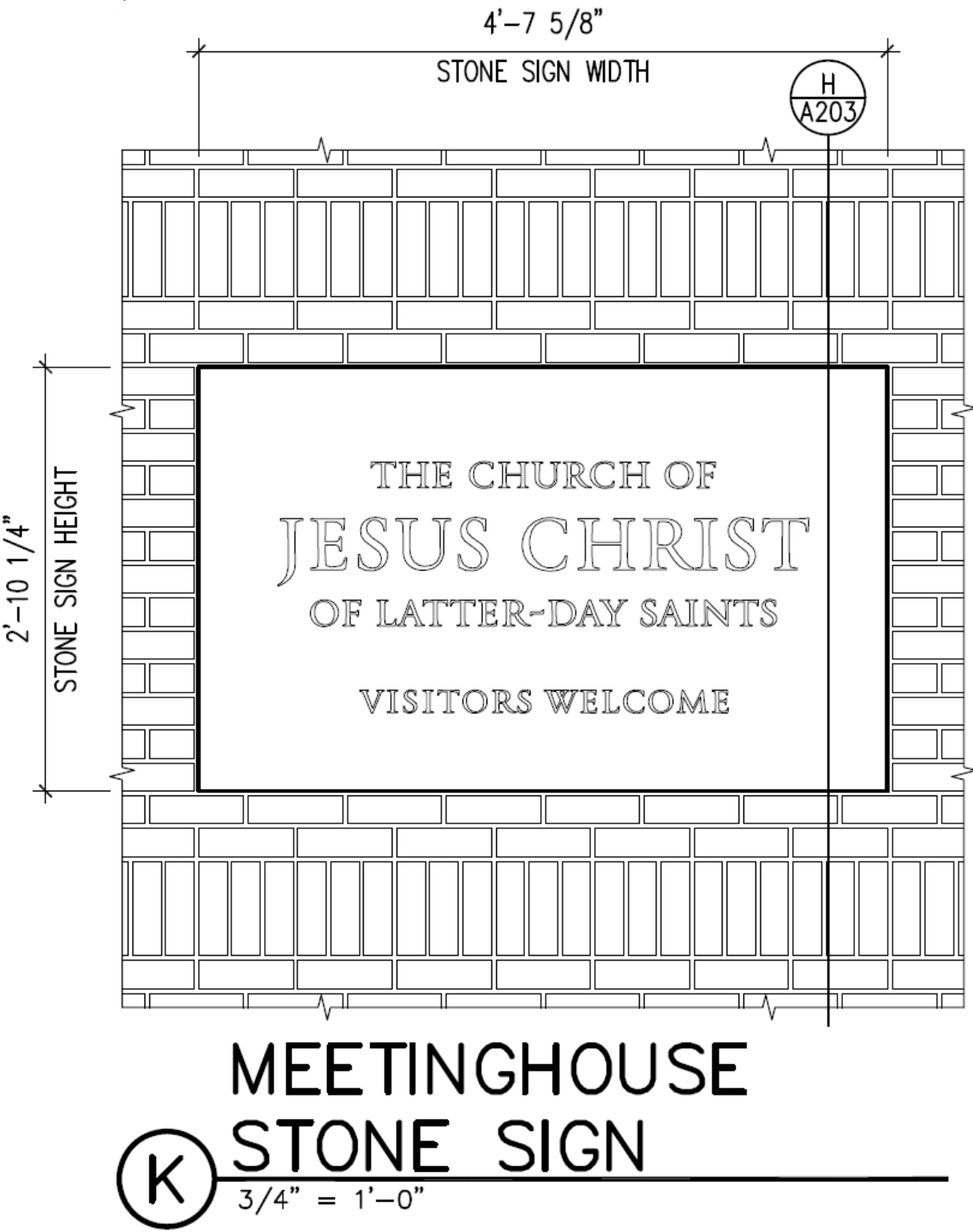


Community and Village Plan
Saratoga Springs 7 (Neptune Park)

SIGNAGE

Signage: signage will be specific and similar to other meetinghouses within the city. it will meet the sign requirements set forth in title 19.18.07 of the city code.

Material and Color: Bethel White Granite Sign

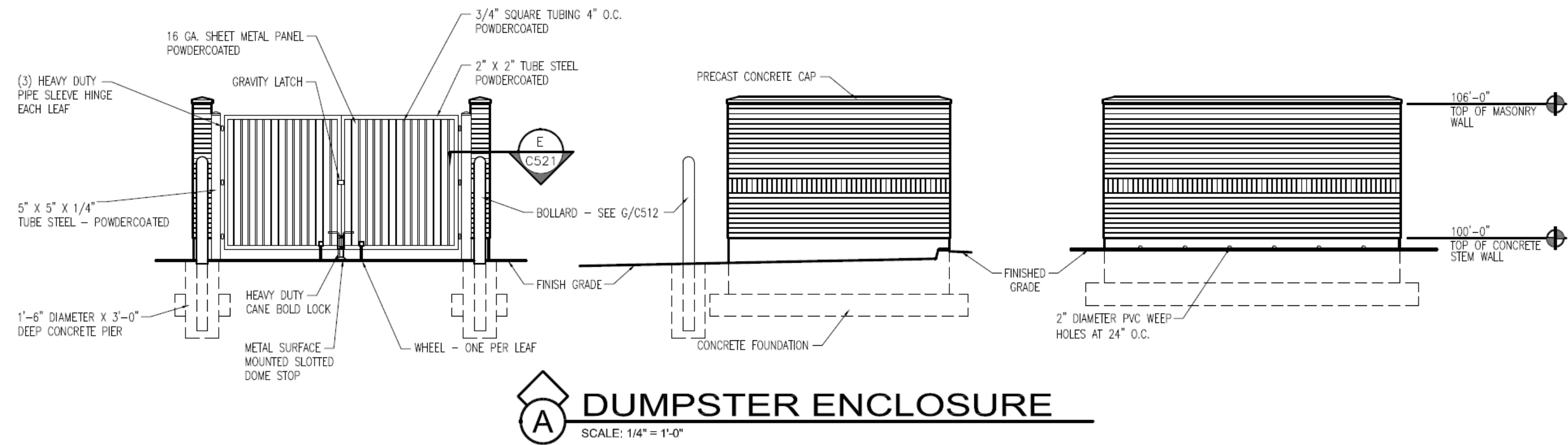


Community and Village Plan
Saratoga Springs 7 (Neptune Park)

FENCING

6-foot vinyl fence: a white vinyl fence will be provided on the south, west and north property lines (where an existing fence is present, no fence will be installed).

Trash Enclosure: this enclosure will consist of a 6-foot high brick/block wall on three sides with a decorative metal gate.



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

MAINTENANCE PLAN

The landscaping within the lot owned by the Corporation of the Presiding Bishop will be maintained by the owner including the planter strips within the city right-of-way along each property boundary.

PHASING PLAN

All improvements such as utility, roadway, and site for the proposed meetinghouse will be completed in a single construction phase.

HOMEOWNERS ASSOCIATION

No Home Owners Association is anticipated for the project and everything located within the property boundary will be owned and maintained by the Corporation of the Presiding Bishop.

DESIGN GUIDELINES

There are no proposed changes presented in these design guidelines that differ from the current city code and design standards and specifications with the following exception.

- A pre-finished metal raingutter and downspouts will be installed along the eaves of the building to collect the water from the roof. These downspouts will be tied into the on-site storm system. These raingutters are required to remove water away from the building to prevent infiltration into the soils.

FINDINGS

The proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse is consistent with the goals, objectives and policies of Saratoga Springs City. The meetinghouse will provide value to the surrounding area. The physical appearance of the meetinghouse with its landscaping and architectural standards will create an environment that can be enjoyed by all.

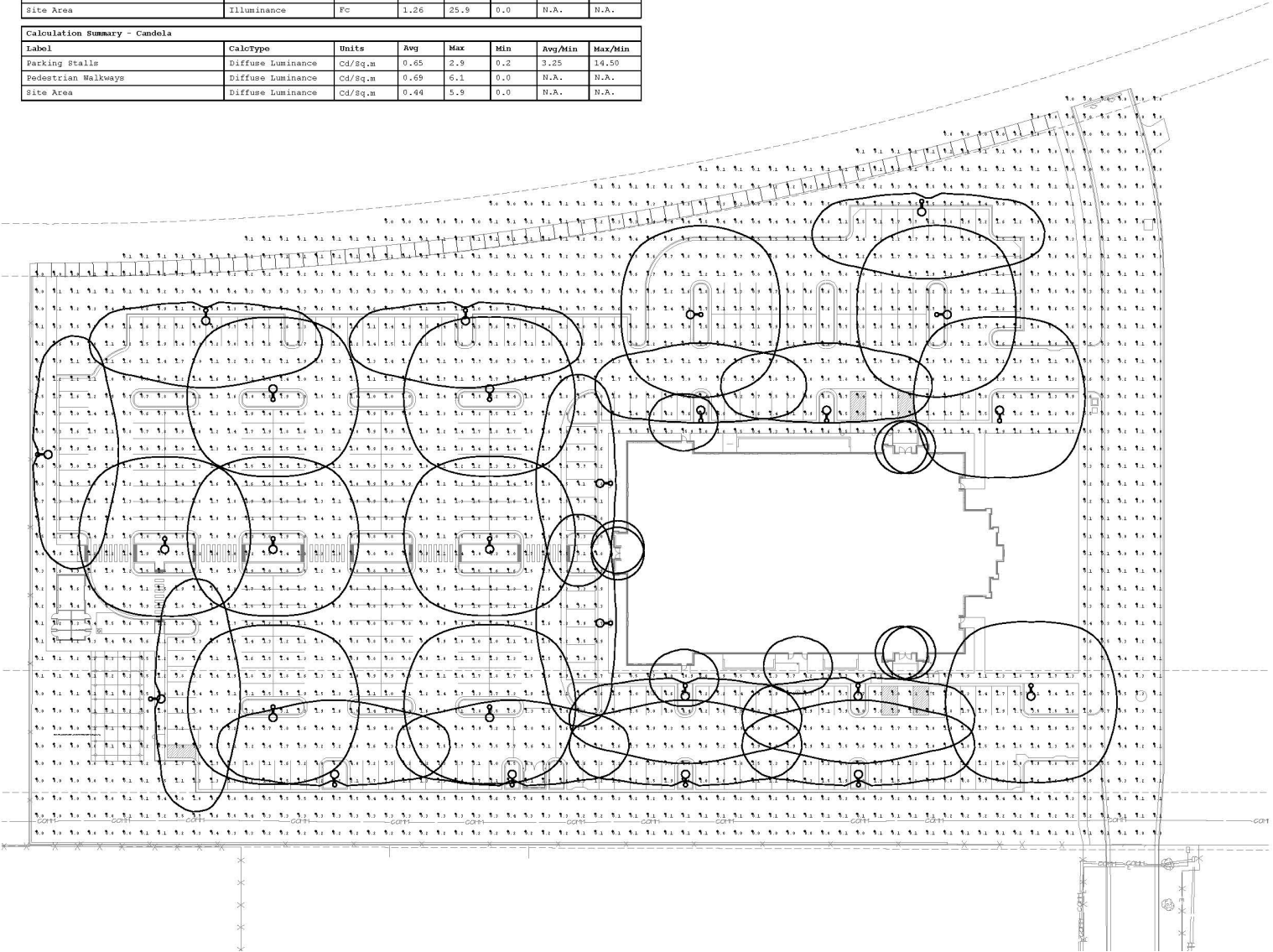
Community and Village Plan
Saratoga Springs 7 (Neptune Park)

ELECTRICAL SITE PLAN AND LIGHT POLE DETAILS

The following plan shows the location of the light poles and the light pole details. The light poles will be a black fixture. The light fixtures will comply with Section 19.11.

Calculation Summary - Foot Candles							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Stalls	Illuminance	Fc	1.92	8.0	0.6	3.20	13.33
Pedestrian Walkways	Illuminance	Fc	1.93	24.1	0.1	19.30	241.00
Site Area	Illuminance	Fc	1.26	25.9	0.0	N.A.	N.A.

Calculation Summary - Candela							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Stalls	Diffuse Luminance	cd/sq.m	0.65	2.9	0.2	3.25	14.50
Pedestrian Walkways	Diffuse Luminance	cd/sq.m	0.69	6.1	0.0	N.A.	N.A.
Site Area	Diffuse Luminance	cd/sq.m	0.44	5.9	0.0	N.A.	N.A.



STREET LIGHT NOTES:

1. LIGHT POLES AND LUMINAIRES SHALL CONFORM TO 05540 OF THE CITY STANDARDS AND SHALL BE ACCEPTABLE TO THE CITY ENGINEER.
2. ALTERNATIVE PRODUCT ASSEMBLIES MAY BE SUBSTITUTED IF DEEMED TO BE EQUAL AND APPROVED IN WRITING BY THE CITY
3. ALL PRIVATE STREET LIGHTS SHALL BE MASTER-METERED AT PRIVATELY OWNED SERVICES
4. ALL PRIVATE STREETLIGHTS SHALL NOT BEAR ANY SORT OF CITY IDENTIFICATION, SUCH AS THE CITY LOGO
5. ALL STREET LIGHTS SHALL BE 120 VOLTS NOMINAL TO GROUND.
6. DUCT SEAL SHALL BE USED AT CONDUIT OPENINGS
7. WIRE MUST BE PULLED USING POLY PULL TAPE BY ACCEPTABLE INDUSTRY STANDARD METHODS
8. TERMINATE CONDUIT IN BOXES WITH GLUE ON CONDUIT END BELLS ATTACHED TO END OF CONDUITS
9. CONDUIT ENTRY SHALL BE IN THE BOTTOM OF THE BOX. SIDE ENTRY SHALL NOT BE PERMITTED
10. STREET LIGHTS SHALL BE LOCATED AT ROADWAY INTERSECTIONS (NEAR FIRE HYDRANTS WHERE POSSIBLE), PLACED EVERY 300' ON ALTERNATE SIDES OF THE STREET, AND AT OTHER REQUIRED LOCATIONS PER CITY STANDARDS.
11. MARK JUNCTION BOX LIDS **STREET LIGHTS**
12. INSTALL 1.25" TRADE SIZE SCH40 PVC CONDUIT WITH 24" COVER AND SAND BEDDING
13. WIRES BELOW GRADE SHALL BE SINGLE CONDUCTOR (NOT CABLE ASSEMBLY) #6 AWG XHHW-2 COPPER UNLESS OTHERWISE NOTED. WIRES IN POLE TO BE #12 THHN SINGLE CONDUCTOR STRANDED WIRES. WIRE SHALL CONSIST OF CONTINUOUSLY COLORED INSULATION IN COLORS NOTED ON DETAIL (PHASE TAPE COLOR IDENTIFICATION NOT PERMITTED.) WIRE SIZE SHALL BE UPSIZED AS NEEDED FOR NEC COMPLIANCE.
14. CONTRACTOR TO INSTALL POD JUNCTION BOX WITH FUSE. BOX TO BE LOCATED 4' MINIMUM AND 10' MAXIMUM FEET FROM RMP SOURCE. PROVIDE 2" SCH 40 PVC CONDUIT TO RMP SOURCE. PROVIDE CONDUCTORS LONG ENOUGH TO REACH RMP POWER SOURCE PLUS 5'. CONTRACTOR SHALL SUPPLY PULL STRING IN CONDUIT.
15. POD GROUNDING ELECTRODES AND GECS SHALL BE COMPLIANT WITH NEC STANDARDS. IF GROUND RODS ARE USED, TWO SHALL BE REQUIRED PER NEC. REFER TO DETAIL DRAWINGS.
16. POD AND SERVICE CONDUCTOR/CONDUIT INSTALLATION REQUIREMENTS ARE BASED PRIMARILY ON RMP STANDARDS. CONFIRM INSTALLATION REQUIREMENTS WITH RMP REPRESENTATIVE AND PACIFICORP'S LATEST SIX STATES ELECTRICAL SERVICE REQUIREMENTS DOCUMENT.
17. CONNECT GROUND WIRE TO METAL SHELL OF LIGHT POLE. BOND ALL METAL PARTS AS PER NFPA 70.250
18. EACH INDIVIDUAL STREET LIGHT SHALL HAVE A JUNCTION BOX WITH A FUSE LOCATED WITHIN 4' OF STREET LIGHT BASE. FUSE ASSEMBLIES SHALL BE BUSSMAN KTK 5 AMP. IF MORE THAN ONE POLE IS BEING SUPPLIED, POD SHALL BE MINIMUM OF KTK 10 AMP AND MAXIMUM OF KTK 30 AMP AND LIGHT POLE FUSES SHALL BE KTK 5 AMP. FUSES SHALL NOT BE PERMITTED IN POLE HAND HOLE
19. FUSE ASSEMBLIES SHALL BE (1) BUSSMAN HEB-JJ, WITH (2) BUSSMAN 2AO660 INSULATION BOOTS. NO SUBSTITUTIONS.
20. SQUID TERMINAL BLOCK ASSEMBLY SHALL BE BLACKBURN USB33S OR USB43S. NO SUBSTITUTIONS.
21. POD, STREET LIGHT (FUSE), JUNCTION, AND PULL BOXES SHALL CONSIST OF (2) CARSON BROOKS 1419 BOXES BOLTED TOGETHER 'CLAMSHELL' STYLE. DRILL 1/4" HOLES IN EVERY CELL OF LOWER (FLOOR) LID TO ALLOW DRAINAGE. INSTALL BOX ASSEMBLY ON 4" OF 3/4" GRAVEL. NO SUBSTITUTIONS.
22. STREET LIGHTS ARE TO BE CENTERED IN PARK STRIP.
23. IF FIXTURE IS NOT INDICATED FOR INSTALLATION WITH CURRENT CONTRACT, ONLY CONDUIT IS REQUIRED. SOME CONDUCTORS INDICATED MAY BE REQUIRED WITH FIXTURE UPGRADES.
24. POLES FOR OUTDOOR LIGHTING FIXTURES FOR THE ILLUMINATION OF PARKING AREAS AND LOCATED DIRECTLY BEHIND PARKING SPACES, OR WHERE THEY COULD BE HIT BY SNOW PLOWS, SHALL BE PLACED A MINIMUM OF FIVE (5) FEET OUTSIDE PAVED AREAS OR TIRE STOPS, OR PLACED ON CONCRETE PEDESTALS AT LEAST THIRTY (30) INCHES HIGH ABOVE THE PAVEMENT, OR OTHERWISE SUITABLY PROTECTED.
25. ADDITIONAL REQUIREMENTS MAY APPLY IN UDOT RIGHT OF WAYS.
26. WHERE OVERHEAD POWER LINES ARE PRESENT, POLE HEIGHT MAY REQUIRE REDUCTION IN HEIGHT TO OBSERVE MINIMUM CLEARANCE REQUIRED BY POWER UTILITY.

STREET LIGHT DETAILS

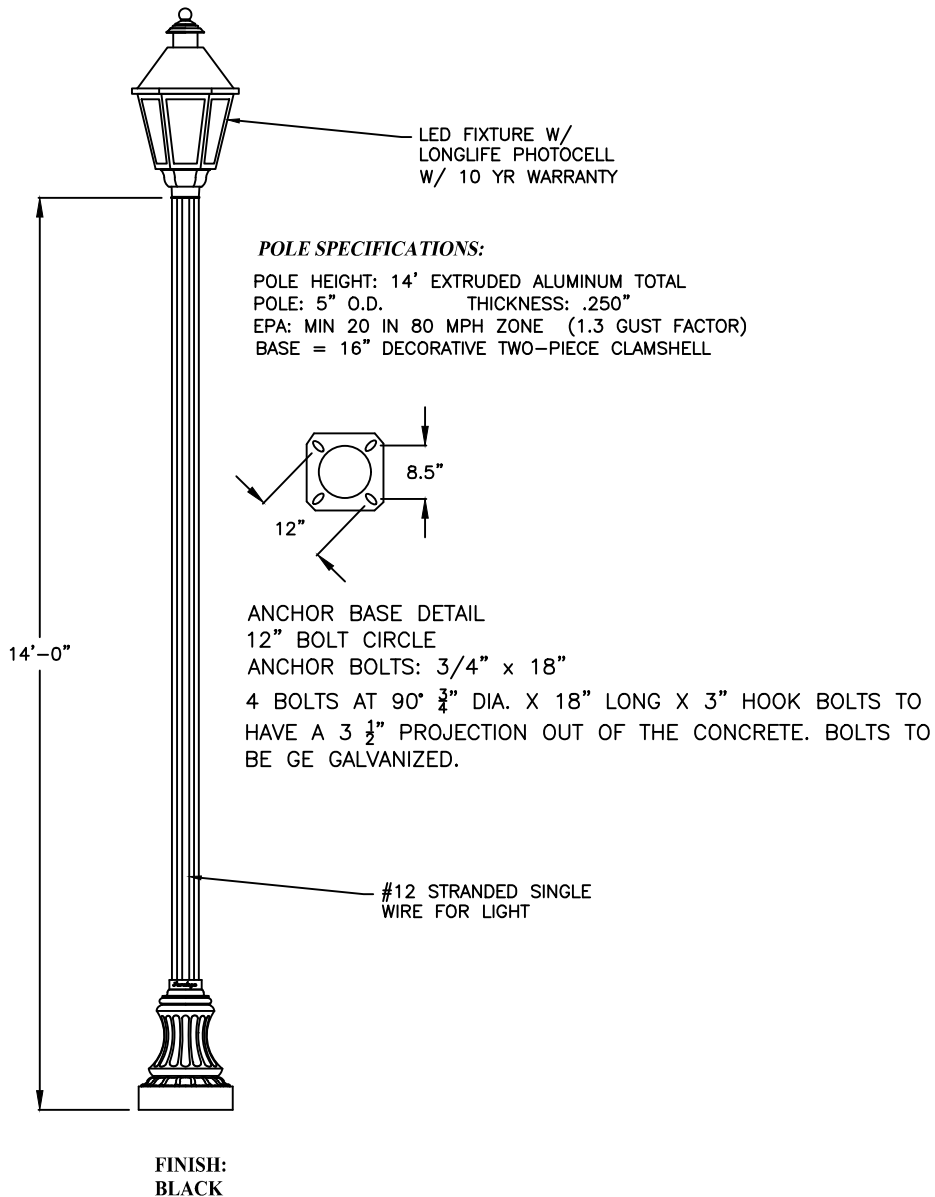
DATE: MARCH 2020		REVISIONS			
DRAWING NAME: LP-1		REVISION	DATE	BY	COMMENTS
DRAWN BY: JRP					
CHECKED: APPROVED:					
SARATOGA SPRINGS CITY					
<small>1307 N. COMMERCE DR. #200, SARATOGA SPRINGS, UT 84045 PHONE: 801-766-9793 FAX: 801-766-9794</small>					



STANDARD DETAILS

STREET LIGHTS

LP-1



14' LOCAL STREET LIGHT

DATE: AUGUST 2017		REVISIONS	
DRAWING NAME: LP-1A		REVISION	DATE BY COMMENTS
DRAWN BY: ETL		1	08-31-17 RM ADDED CALLOUTS AND EDITED/ADDED NOTES
CHECKED: APPROVED:		2	05-15-20 JRP REMOVED NOTES

**SARATOGA
SPRINGS CITY**

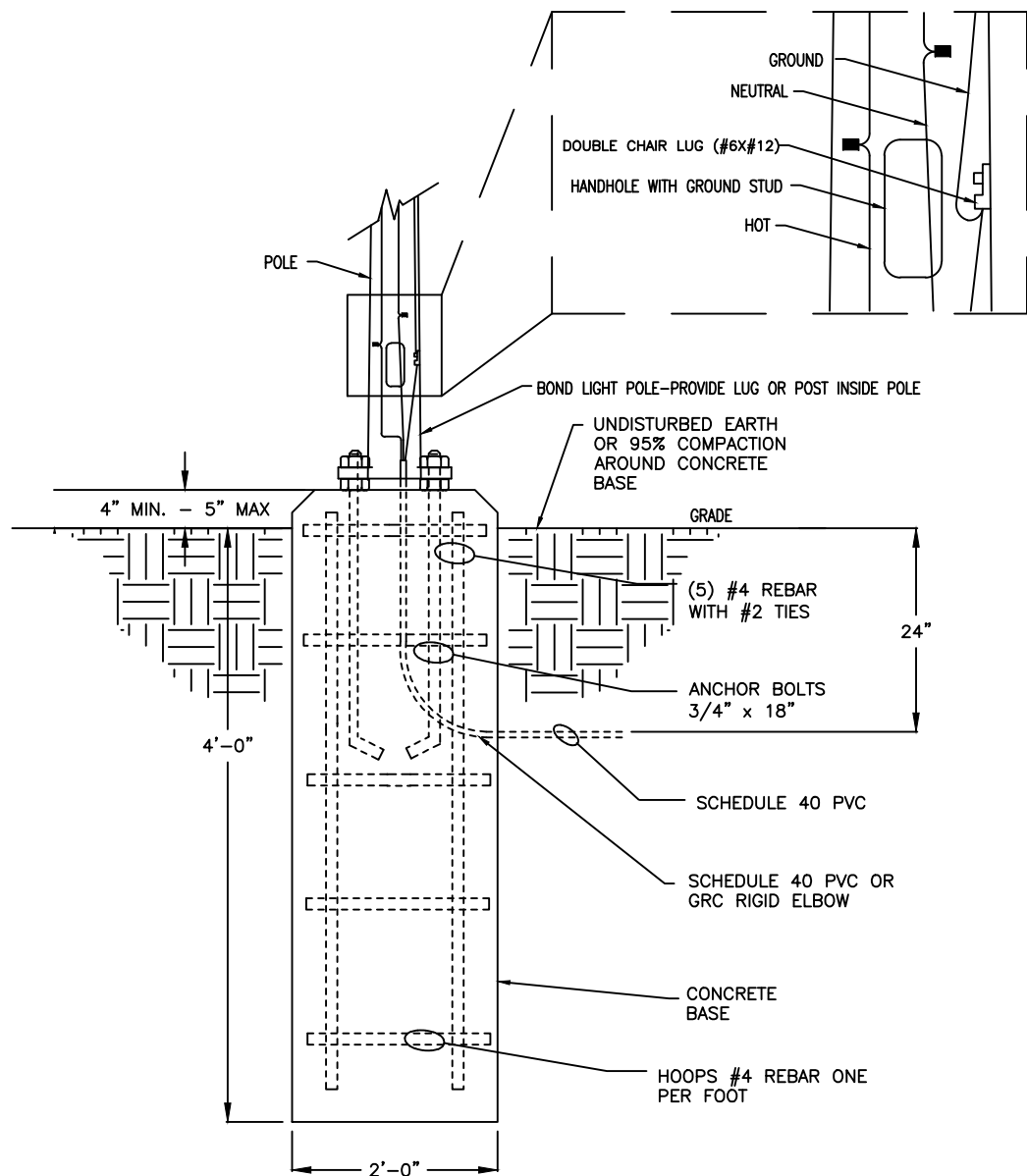
1307 N. COMMERCE DR.
#200, SARATOGA SPRINGS,
UT 84045
PHONE: 801-766-9793
FAX: 801-766-9794



STANDARD DETAILS

STREET LIGHTS

LP-1A



NOTES:

1. ALL PRIVATE STREET LIGHTS SHALL BE MASTER-METERED.
2. ALL PRIVATE STREET LIGHTS SHALL NOT BEAR ANY SORT OF CITY IDENTIFICATION, SUCH AS THE CITY LOGO.
3. IF DEPTH CANNOT BE MET MASS MUST BE EQUIVALENT TO MASS SHOWN!
4. ALTERNATIVE PRODUCTS MAY BE SUBSTITUTED IF DEEMED EQUAL AND APPROVED BY THE CITY.

**CONCRETE BASE
FOR LOCAL
STREET LIGHT**

DATE:
AUGUST 2017

DRAWING NAME:
LP-1B

DRAWN BY:
ETL

CHECKED: APPROVED:

REVISIONS			
REV	DATE	BY	COMMENTS
1	08-31-17	RM	EDITED CALLOUTS, DELETED WIRES AND ADDED NOTES
2	11-15-18	KS	ADDED CALL-OUT FOR DOUBLE CHAIR LUG

**SARATOGA
SPRINGS CITY**

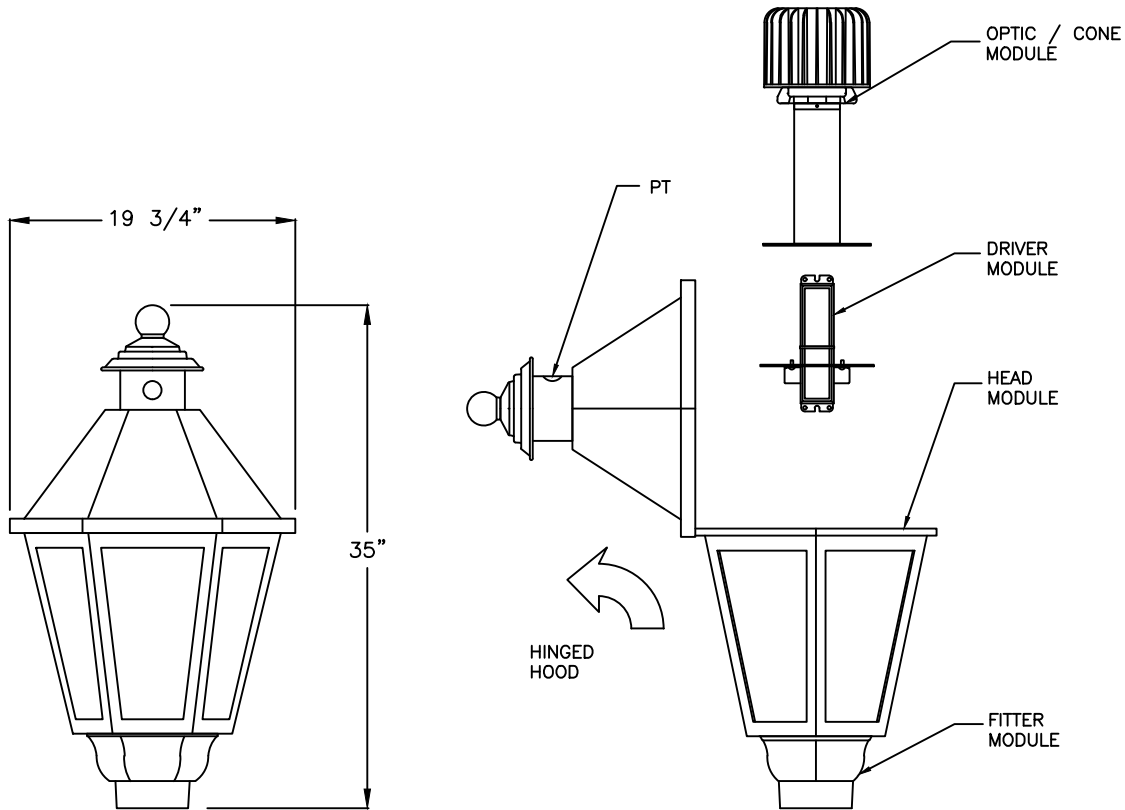
1307 N. COMMERCE DR.
#200, SARATOGA SPRINGS,
UT 84045
PHONE: 801-766-9793
FAX: 801-766-9794



STANDARD DETAILS

STREET LIGHTS

LP-1B



CATALOG NO:
 CL62T4-FLAF-3L-34W-4K-120-EK1-DEP-F3AP-PT-RAL9005TX
 LUMINAIRE: HEXAGONAL SHAPE
 IES CLASSIFICATION: FROSTED ACRYLIC LENS
 WATTAGE: 34 WATTS
 LIGHT SOURCE: BOARD LED - 4000K
 LINE VOLTAGE: 120 VOLTS
 DRIVER: MOUNTED ON TRAY WITH QUICK RELEASE CONNECTORS
 IP66 WEATHERPROOF LUMINAIRE WITH "V" GROOVE SILICONE
 GASKET
 OPTION: TWIST LOCK PHOTOCELL PRE-INSTALLED IN DECORATIVE
 CUPOLA.

ALL NON ELECTRICAL HARDWARE SHALL BE STAINLESS STEEL

COLOR & FINISH: BLACK (RAL9005TX) TEXTURED POWDER COAT
 PAINT WARRANTY: 5 YEARS

SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS

**LOCAL
 STREET LIGHT
 LUMINAIRE**

DATE:
AUGUST 2017

DRAWING NAME:
LP-1C

DRAWN BY:
ETL

CHECKED: APPROVED:

REVISIONS

REVISION	DATE	BY	COMMENTS
1	08-31-17	RM	EDITED/ADDED NOTES

**SARATOGA
 SPRINGS CITY**

1307 N. COMMERCE DR.
 #200, SARATOGA SPRINGS,
 UT 84045
 PHONE: 801-766-9793
 FAX: 801-766-9794

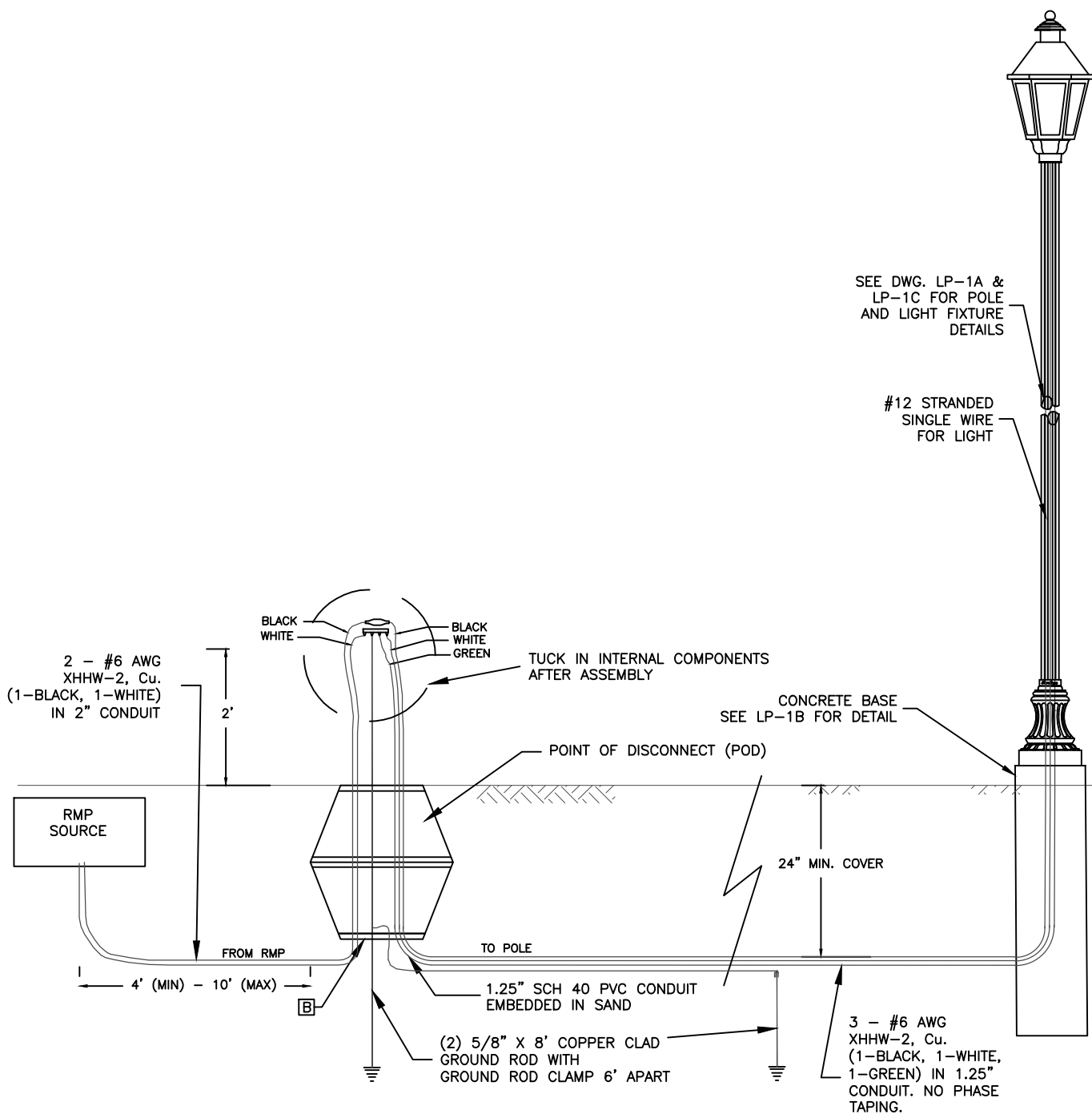


STANDARD DETAILS

STREET LIGHTS

LP-1C

SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS



LOCAL STREET LIGHT CONNECTION

DATE:
AUGUST 2017

DRAWING NAME:
LP-4

DRAWN BY:
ETL

CHECKED: APPROVED:

REVISIONS

REVISION	DATE	BY	COMMENTS
1	08-31-17	RM	EDITED ROD & WIRING, CALLOUTS, AND NOTES

SARATOGA
SPRINGS CITY

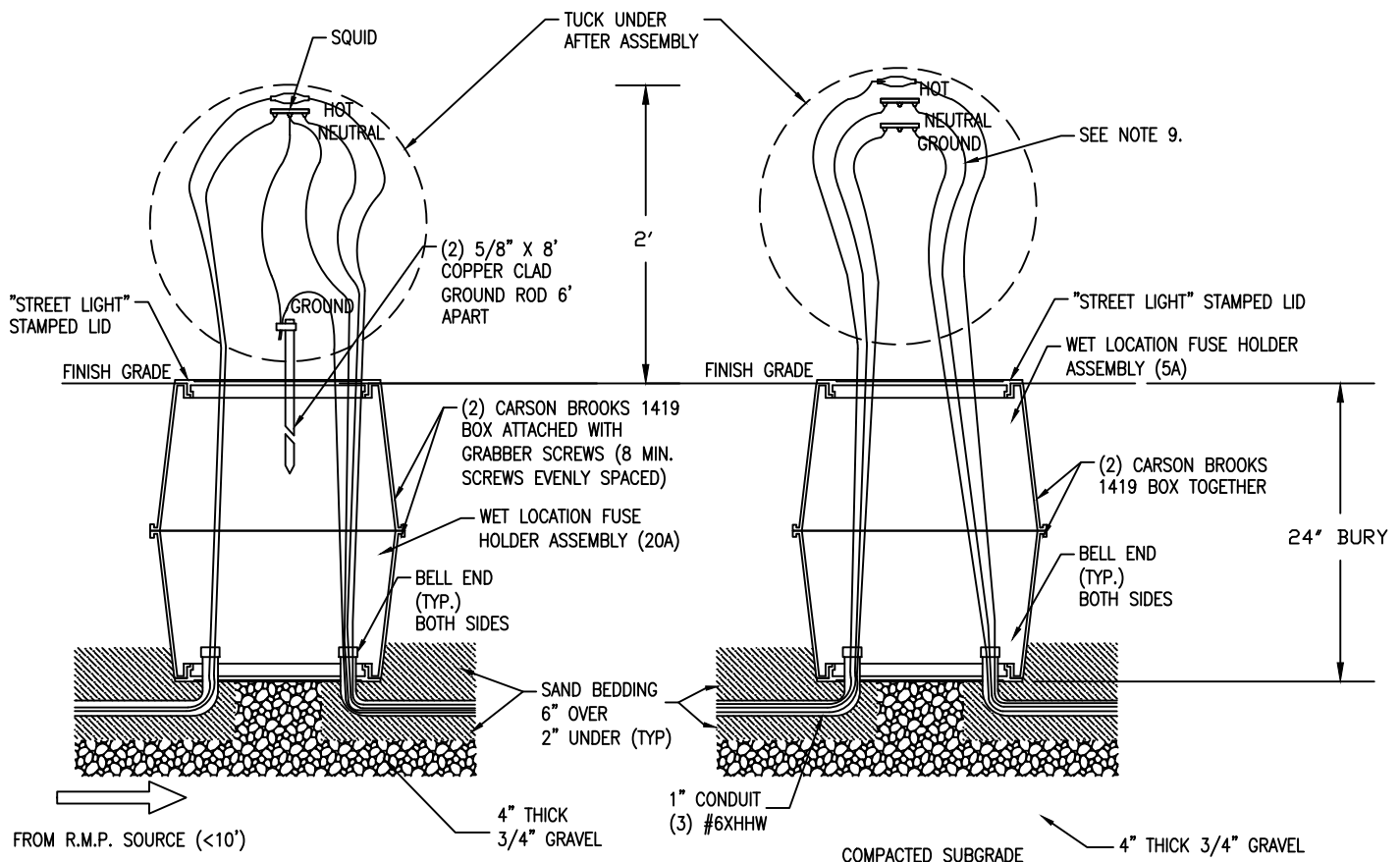
1307 N. COMMERCE DR.
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UT 84045
PHONE: 801-766-9793
FAX: 801-766-9794



STANDARD DETAILS

STREET LIGHTS

LP-4



A

POINT OF CONNECTION (POD) DETAIL

B

LIGHT POLE FUSE BOX DETAIL

NOTES:

1. FUSE BOX / SLICE BOX ASSEMBLY SHALL BE (2) CARSON BROOKS 1419 BOLTED TOGETHER 'CLAMHELL' STYLE. DRILL 1/4" HOLES IN EVERY CELL OF LID ON BOTTOM BOX TO ALLOW DRAINAGE. INSTALL BOX ASSEMBLY ON 4" OF 3/4" GRAVEL. NO SUBSTITUTES.
2. FUSE ASSEMBLY SHALL BE (1) BUSSMAN HEB-JJ PN. 44229 WITH (2) BUSSMAN 2A0660. NO SUBSTITUTES.
3. WIRE CONNECTOR SHALL BE BLACKBURN USB33S SQUID PN. 2136122. NO SUBSTITUTES.
4. TERMINATE CONDUIT IN BOXES WITH BELL ENDS ATTACHED TO END OF CONDUITS.
5. ALL WIRE SHALL BE #6 CU XHHW UNLESS NOTED OTHERWISE. WIRE SIZE SHALL BE UPSIZED AS NEEDED FOR NEC COMPLIANCE.
6. 5/8" X 8' GROUND ROD REQUIRED AT POD.
7. LIGHT POLE FUSE BOX SHALL BE WITHIN 4' DOWNSTREAM OF POLE.
8. POD SHALL BE WITHIN 10' OF ROCKY MOUNTAIN POWER (RMP) SOURCE. CONFIRM INSTALLATION REQUIREMENTS WITH ROCKY MOUNTAIN POWER REPRESENTATIVE AND PACIFICORP'S LATEST SIX STATES ELECTRICAL SERVICE REQUIREMENTS DOCUMENT.
9. IF FIXTURE IS NOT INDICATED FOR INSTALLATION WITH CURRENT CONTRACT ONLY CONDUIT IS REQUIRED. SOME CONDUCTORS INDICATED MAY BE INSTALLED WITH FIXTURE UPGRADES.
10. POD TO BE BUSSMAN KTK AND SIZED AT MIN 10 AMP AND MAX 30 AMP. POLE FUSE TO BE BUSSMAN KTK 5 AMP.

LIGHT POLE BELOW GRADE BOXES INSTALLATION

DATE:
AUGUST 2017

DRAWING NAME:
LP-6

DRAWN BY:
ETL

CHECKED: APPROVED:

REVISIONS

REV	DATE	BY	COMMENTS
1	08-31-17	RM	EDITED NOTES, CALLOUTS, AND MOVED ASSEMBLIES

**SARATOGA
SPRINGS CITY**

1307 N. COMMERCE DR.
#200, SARATOGA SPRINGS,
UT 84045
PHONE: 801-766-9793
FAX: 801-766-9794

STANDARD DETAILS

LANDSCAPING

LP-6

Community and Village Plan
Saratoga Springs 7 (Neptune Park)

EXTERIOR ELEVATIONS - East

The following drawings are the proposed elevations.



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

EXTERIOR ELEVATIONS - South

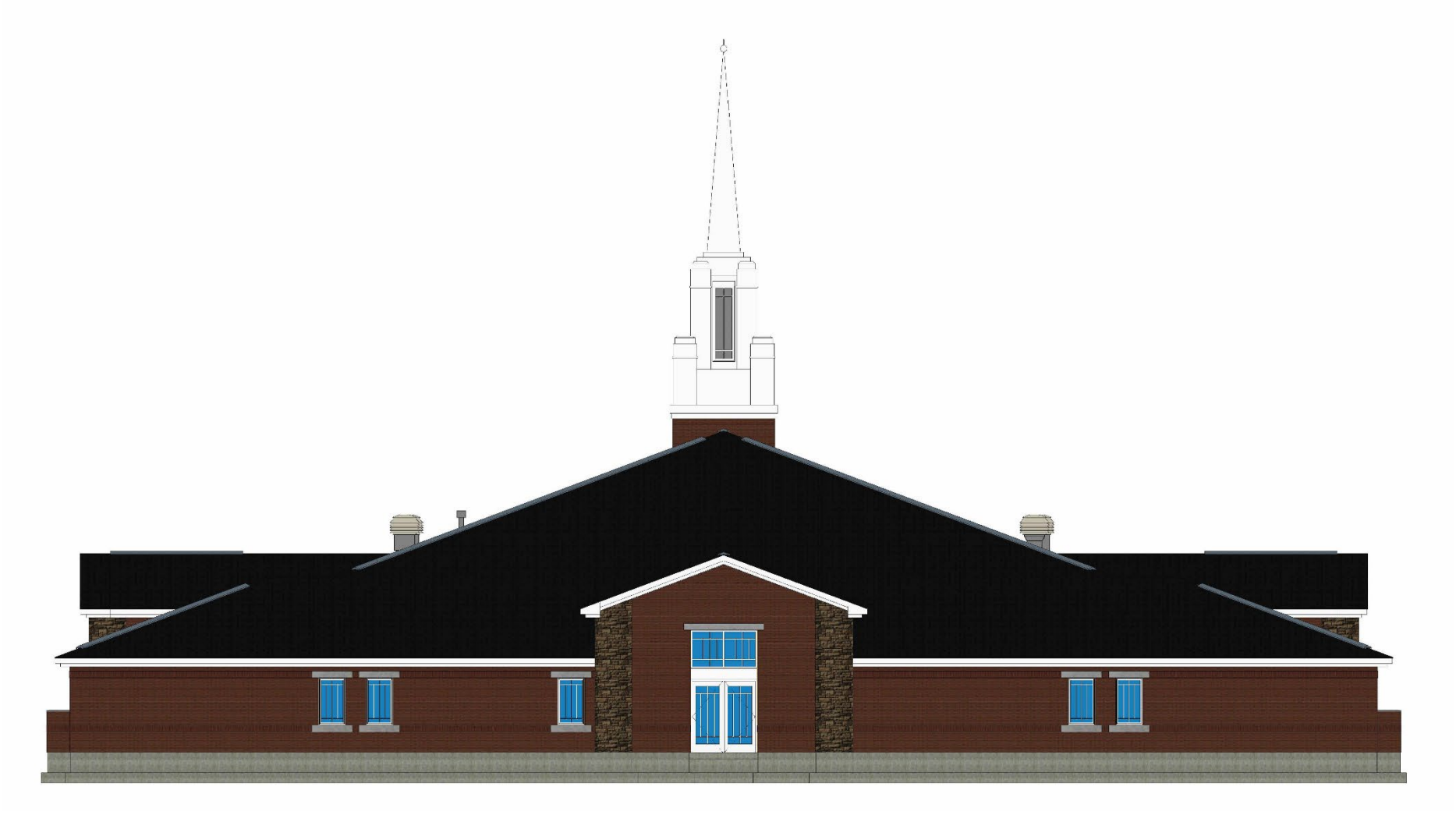
The following drawings are the proposed elevations.



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

EXTERIOR ELEVATIONS - West

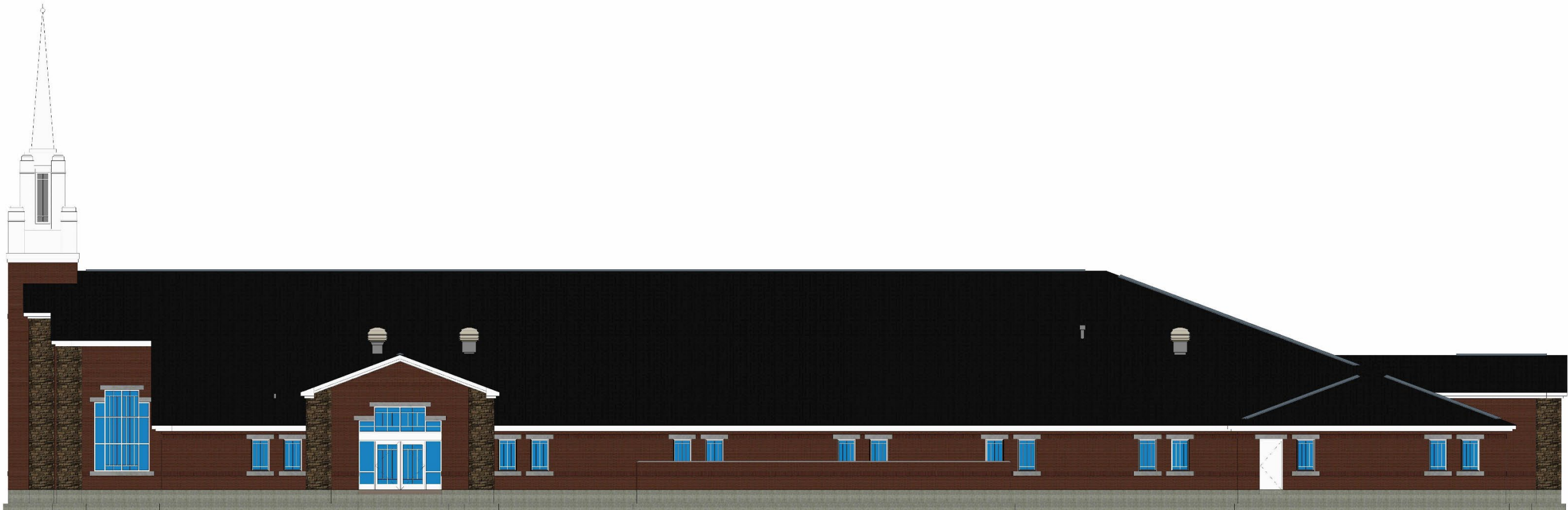
The following drawings are the proposed elevations.



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

EXTERIOR ELEVATIONS - North

The following drawings are the proposed elevations.



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

UTILITY CAPACITIES

The location of the proposed Saratoga Springs 7 (Neptune Park) LDS Meetinghouse has utilities located in adjacent right-of-way Grand Sierra Way. The existing utilities within this right-of-way will serve as the backbone infrastructure for the culinary water, secondary water, storm drain and sanitary sewer. The extension of Grand Sierra Way will be providing the necessary sizing required to service the proposed LDS Meetinghouse and future uses in the area. The following page addresses each of the different utilities and any specific requirements for each.

CUL. CROSSING KEYED NOTES

- UTILITY CROSSING, FG=4580.1, 6" P.I. FL=4576.6, 8" CUL. FL=4574.4
- UTILITY CROSSING, FG=4580.4, 18" SD FL=4576.2, 8" CUL. FL=4574.0 (LOOP WATERLINE UNDER SD AT A DEPTH=6" TO MAINTAIN 18" SEPARATION FROM SD)
- UTILITY CROSSING, FG=4580.2, 8" SD FL=4577.1, 8" CUL. FL=4574.9 (WATERLINE DEPTH=5.3' TO MAINTAIN 18" SEPARATION FROM SD)
- UTILITY CROSSING, FG=4581.4, 18" SD FL=4576.1, 2" CUL. FL=4574.0 (LOOP WATERLINE UNDER SD AT A DEPTH=6" TO MAINTAIN 18" SEPARATION FROM SD)
- SEE PROFILES FOR UTILITY CROSSING
- UTILITY CROSSING, FG=4581.6, 8" SD FL=4577.7, 6" CUL. FL=4575.7 (WATERLINE DEPTH=5.9' TO MAINTAIN 18" SEPARATION FROM SD)
- UTILITY CROSSING, FG=4581.1, 6" P.I. FL=4577.6, TOP OF 15" SD=4575.5
- UTILITY CROSSING, FG=4581.1, 8" CUL FL=4576.4, TOP OF 15" SD=4573.65

*FLOWLINES OF THE CULINARY PIPES SHOWN ABOVE PROVIDE THAT THERE WOULD BE NO LOW OR HIGH POINTS IN THE PROPOSED CULINARY LINES BESIDES THE TWO LOCATIONS WHERE LOOPING IS ABSOLUTELY NECESSARY DUE TO THE DEPTH OF THE STORM DRAIN PIPE.



Know what's below.
Call before you dig.

UTILITY LEGEND

- UTILITY KEYED NOTE
- INSTALL 8" CUL. GATE VALVE
 - INSTALL 6" SECONDARY GATE VALVE
 - 6"PI PRESSURE IRRIG. PVC AWWA C900 DR-18
 - 6"W CULINARY WATER PVC AWWA C900 DR-18
 - 6"SS SEWER PIPE PVC SDR-35
 - 15"SD STORM DRAIN PIPE RCP/ADS
 - CUL. CROSSING KEYED NOTES

FIRE FLOW NOTE:

A MINIMUM OF 2,250 GPM WILL BE PROVIDED AT ALL FIRE HYDRANT LOCATIONS

RIGHT-OF-WAY PERMIT NOTE:

A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT <https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx>

SEWER & STORM DRAIN DESIGN

SEE PROFILE SHEETS FOR SEWER DESIGN IN GRAND SIERRA WAY.

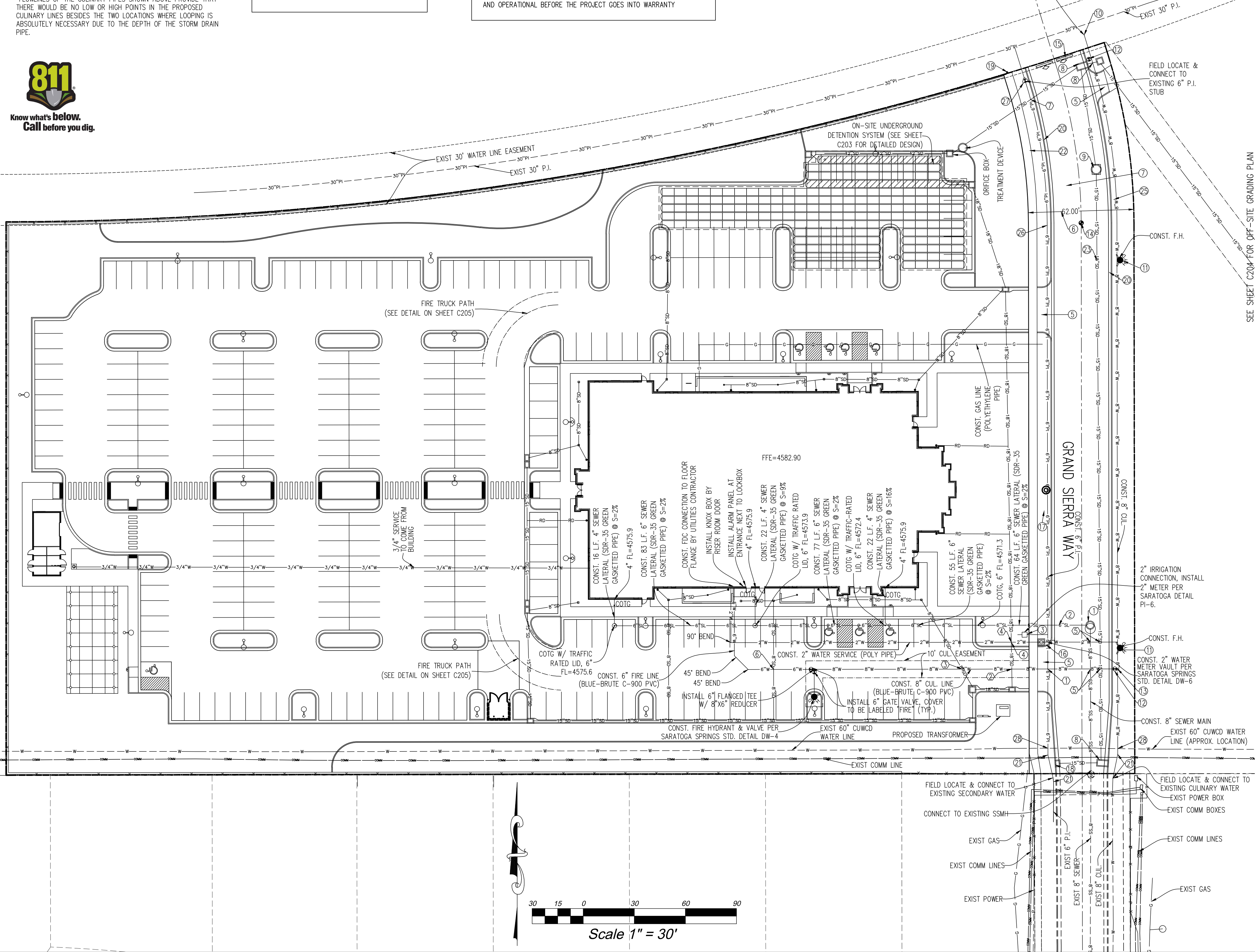
STREET LIGHT POWER NOTE

POWER TO STREET LIGHTS TO BE PROVIDED BY ROCKY MOUNTAIN POWER. POWER COORDINATION AND LAYOUT WITH ROCKY MOUNTAIN POWER WILL BE PROVIDED AT A LATER TIME. STREET LIGHTING MUST BE INSTALLED AND OPERATIONAL BEFORE THE PROJECT GOES INTO WARRANTY

BENCH MARK

FOUND BRASS CAP MONUMENT AT THE NORTHEAST CORNER OF SECTION 22, T5S, R1W, SALT LAKE BASE AND MERIDIAN MONUMENT ELEVATION = 4571.525'

FIRE TRUCK PATH DETAIL



Saratoga Springs 7 Church Site Quantities Data Table 1-Apr-25		
Item	Quantity	Units
Sewer Improvements		
8" PVC sewer	84	lf
4' Dia. Manhole	1	ea
6" Sewer lateral	277	lf
4" Sewer lateral	60	lf
Culinary Water Improvements		
8" Culinary Water C900 PVC DR-18 w/ bends & fittings	615	lf
8" gate valve	2	ea
6" Culinary Water C900 PVC DR-18 w/ bends & fittings	90	lf
6" gate valve	1	ea
2" culinary water service & meter	1	ea
2" Temporary Blow-off valve	1	ea
Fire hydrant & valve	3	ea
Pressurized Irrigation Improvements		
6" Pressurized Irrigation C900 DR-18 w/ bends & fittings	432	lf
6" gate valve	1	ea
2" press. Irrigation water service & meter	1	ea
Storm Drain Improvements		
8" ADS	687	lf
12" Perforated ADS	72	lf
15" ADS	820	lf
15" RCP	505	lf
18" ADS	334	lf
18" RCP Culvert	37	lf
8" Nyloplast Basin	4	ea
10" Nyloplast Basin	11	ea
Flared-end section w/ grate	4	ea
2'x3' Catch Basin	9	ea
Combo Box	2	ea
5' Diameter SDMH	2	ea
3'x3' SD Box	2	ea
3'x3' SD Box with Orifice	1	ea
3'x3' SD Box with 24F Snout	1	ea
3'x3' SD Box with 18F Snout	1	ea
4' Diameter Aqua-Swirl Treatment Device	1	ea
Underground Storage System	1	ls
Roadway Improvements		
2' curb & gutter	844	lf
3" asphalt (Grand Sierra Way)	13363	sf
8" compacted roadbase (Grand Sierra Way)	15895	sf
6" compacted subbase (Grand Sierra Way)	15895	sf
5' Sidewalk (Grand Sierra Way)	414	lf
Drive Approach	3	ea
12' Wide SD Access Road	60	lf
Concrete Jersey Barrier	2	ea
'End of Road' sign	2	ea
'End of Sidewalk' sign	1	ea
Residential Street Light	2	ea

UTILITY KEYED NOTES

- CONST. 48" SSMH PER STD. SS-2 ON SHEET C611 (SEE PROFILE SHEET)
- CONST. 6" SEWER LATERAL @ S=1% MIN. CONNECT TO TO SEWER MAIN PER STD. SS-3 ON SHEET C611
- CONST. 2" P.I. SERVICE & METER PER STD. DETAILS PI-6 ON SHEET C641
- INSTALL WATERLINE LOOP PER STD. DW-3 ON SHEET C631
- INSTALL COMMERCIAL DRIVE APPROACH PER STD. ST-4B ON SHEET C651
- INSTALL 62" R.O.W. PER STD. ST-8 ON SHEET C652 (SIDEWALK ON EAST TO BE IN FUTURE)
- ALL FILL WITHIN CITY RIGHT-OF-WAY AND EASEMENTS MUST BE PER SARATOGA SPRINGS CITY SPECIFICATIONS. THIS INCLUDES THE ROADWAY SECTIONS AND UTILITY TRENCHES.
- CONST. COMBO STORM DRAIN BOX PER SD-4 ON SHEET C621
- CONST. 5" DIA. STORM DRAIN MANHOLE (SEE PROFILE SHEET)
- INSTALL 2" BLOW-OFF VALVE IN LANDSCAPE AREA PER STD. DW-13B ON SHEET C631
- CONST. F.H. & VALVE PER STD. DW-4 ON SHEET C631
- INSTALL 8" GATE VALVE W/ COLLAR PER STD. DW-15 ON SHEET C632
- INSTALL 8" TEE PER STD. DW-2 ON SHEET C631
- INSTALL SURVEY MONUMENT PER STD. ST-29
- INSTALL CONCRETE JERSEY BARRIER & INSTALL END OF ROAD SIGNS PER MUTCD OM-4
- CONST. 2" WATER SERVICE & METER PER STD. DW-6 ON SHEET C631
- INSTALL RESIDENTIAL STREET LIGHT PER STD. LP-1A, LP-1B & LP-1C ON SHEET C305
- CONST. CATCH BASIN. SEE STD. SD-2 ON SHEET C621
- INSTALL END OF SIDEWALK SIGN PER MUTCD OM-4
- CONST. RESIDENTIAL 24" HIGH BACK CURB AND GUTTER PER STD. ST-2B ON SHEET C651
- INSTALL 11.25" BEND PER STD. DW-2 ON SHEET C641
- CONST. SIDEWALK AS PER STD. ST-1 AND SIDEWALK SECTION ON SHEET C651 (TYP. ALL SIDEWALKS)
- CONST. STORM DRAIN TRENCH PER STD. SD-1 ON SHEET C621 (TYP. ALL STORM DRAIN PIPING)
- CONST. SEWER TRENCH PER STD. SS-1 ON SHEET C611 (TYP. ALL SEWER PIPING)
- CONST. CULINARY TRENCH PER STD. DW-1 ON SHEET C631 (TYP. ALL WATERLINE PIPING)
- CONST. SECONDARY TRENCH PER STD. PI-1 ON SHEET C641 (TYP. ALL SECONDARY PIPING)
- INSTALL 6" GATE VALVE W/ COLLAR PER STD. PI-13 ON SHEET C641
- POSSIBLE WATER LINE LOOP DEPENDING ON DEPTH OF 60" CUL. LOOP PER STD. DW-3 ON SHEET C631

NOTES TO CONTRACTOR

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

evans + associates architecture

11516 south state street, suite 103b, utah 84020
phone 801-933-9211 fax 801-933-9213

Stamp

REGISTERED PROFESSIONAL ENGINEER
No. 270393
DAVID W. PETERSON
DWP
STATE OF UTAH

A New Meetinghouse for:

Saratoga Springs 7 (Neptune Park)
Saratoga Springs UT Riverside Stake

623 North Grand Sierra Way
Saratoga Springs, Utah

Project for

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Revisions	Description
Mark	Date

Project Number
23-88

Plan Series
Heritage 23-2

Property Number
500-8862-22010101

Date
June 18, 2024

Sheet Title

OVERALL
UTILITY PLAN

Sheet

C205

Community and Village Plan
Saratoga Springs 7 (Neptune Park)

CULINARY WATER

There is an existing 8-inch culinary water main located at the end of Grand Sierra Way. The 8-inch culinary water line will be extended to the north along the east side of Grand Sierra Way.

Fire Flow Requirements
The proposed LDS Meetinghouse is a one-story 24,043 square foot, type v-b structure with a fire flow requirement of 1,500 gpm at a pressure of 20 psi. The fire sprinkler system demand will be approximately 600 gpm at 50 psi or preferably higher. These two requirements are to be considered individually and do not need to be combined.

Water Demands
Based on the occupant load of 1,168 maximum occupants, the following provides a breakdown of the anticipated plumbing fixtures within the proposed LDS Meetinghouse. The plumbing fixture requirements were based on the international building code (IBC) 2015, section 2902.1 and are analyzed within the architectural drawings of the site plan. The following provides a summary of the architectural analysis:

Type	Fixtures	WSFU	Total
Water Closet (Unisex)	4	10.0	40.0
Water Closet (Men)	3	10.0	30.0
Urinal (Men)	3	5.0	15.0
Water Closet (Women)	8	10.0	80.0
Lavatories (Unisex)	4	2.0	8.0
Lavatories (Men)	3	2.0	6.0
Lavatories (Women)	3	2.0	6.0
Drinking Fountains	6	0.25	1.5
Service Sinks	1	3.0	3.0
Total	35		189.5

A total of 189.5 WSFU is equivalent to 4.7 equivalent residential connections (ERC's) as per the Saratoga Springs drinking water impact fee plan, section 2.4, existing equivalent residential connections.

The anticipated demand for the proposed Saratoga 7 (Neptune Park) LDS Meetinghouse is approximately 35 fixtures. The architectural plans will provide more specific detail to the type of fixtures that can be reviewed and compared to the standards set in the International Plumbing Code (IPC).

SECONDARY WATER

There is an existing 6-inch secondary water main located at the end of Grand Sierra Way and an existing 30-inch secondary water main located to the north of the property. The existing 6" secondary water line will be extended along Grand Sierra Way and connect to the existing 30-inch secondary water line. The water line size is consistent with those depicted in the city's secondary water master plan.

Irrigated area lawn: 0.31 acres
Irrigated area shrubs: 1.12 acres



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

SANITARY SEWER

There is an existing 8-inch sanitary sewer main located at the end of Grand Sierra Way that discharges to an existing 15-inch sewer main located in 400 North to the south. The existing 8-inch sanitary sewer line will be extended north along Grand Sierra Way to a point where a stub will be provided to the meetinghouse.

STORM DRAIN

The on-site storm drain water will be collected and stored in a below grade detention pond. At which time the water will be released thru an orifice to the storm drain system located in Grand Sierra Way. The storm drain water will be collected along the Grand Sierra Way extension and will be discharged to a temporary storm drain line which will run south-easterly until it is day-lighted to a v-ditch and discharged into an existing storm drain line that crosses Pioneer Crossing.

OFF-SITE UTILITIES

There are no off-site utilities required other than those improvements previously discussed in Grand Sierra Way and also the off-site storm drain line discussed above.

Community and Village Plan
Saratoga Springs 7 (Neptune Park)

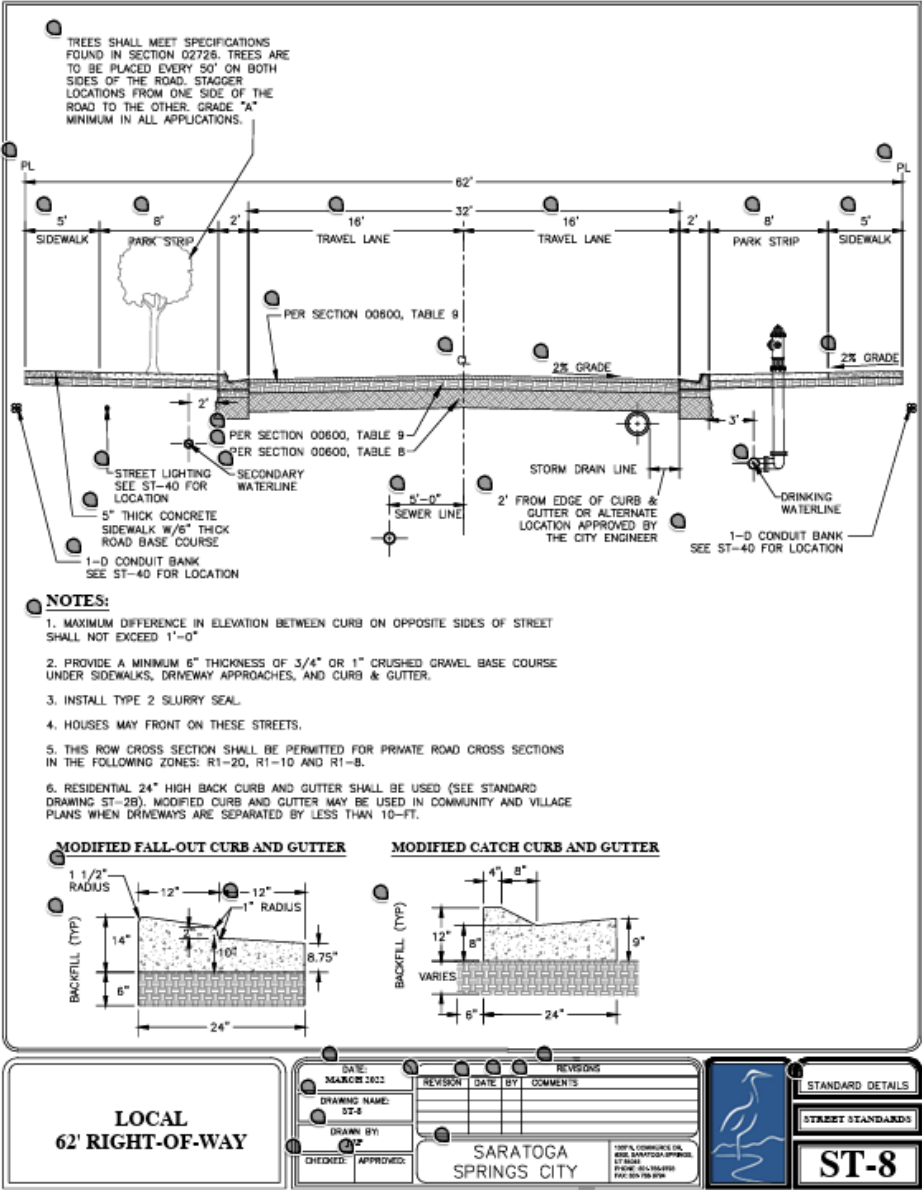
TRANSPORTATION

The following addresses various elements related to the transportation design and service to the proposed Saratoga 7 (Neptune Park) LDS Meetinghouse and is in harmony with the city's transportation master plan. This includes design parameters for proposed roadways and cross sections as it is applicable to the site.

Roadway sections

See the exhibit for cross sections for the road described.

- o Grand Sierra Way: 62-foot right-of-way



Community and Village Plan
Saratoga Springs 7 (Neptune Park)

FIRE DEPARTMENT ACCESS

There are no proposed modifications to the city standards and specifications as it relates to the fire department accesses. The roadways all meet the city standard requirements. The internal traffic circulation of the site will be addressed at the time of site plan approval with city staff.

ROAD NAME AND ADDRESSING

As shown the main roadways have been named. "Grand Sierra Way" will be extended from the south. No other additional roadways are planned.

Community and Village Plan
Saratoga Springs 7 (Neptune Park)

ADDITIONAL ELEMENTS

Waterways

There are no existing waterways traversing the site.

Geological Information

The site is surrounded by an agricultural field to the west, north and east. To the south of the site is a single family residential subdivision.

The soils at the site consist of silty clays to depths of 14 to 18 feet where they are underlain by medium dense sands. The clays at the site are typically medium stiff to stiff, brown to light brown, moist and based on laboratory data, will exhibit moderate compressibility characteristics. The sand soils encountered at the site are typically medium dense, brown, moist, and are anticipated to exhibit low compressibility characteristics.

No active faults are known to pass through or immediately adjacent to the site. Liquefaction of the site soils is not anticipated during the design seismic event.

Slopes

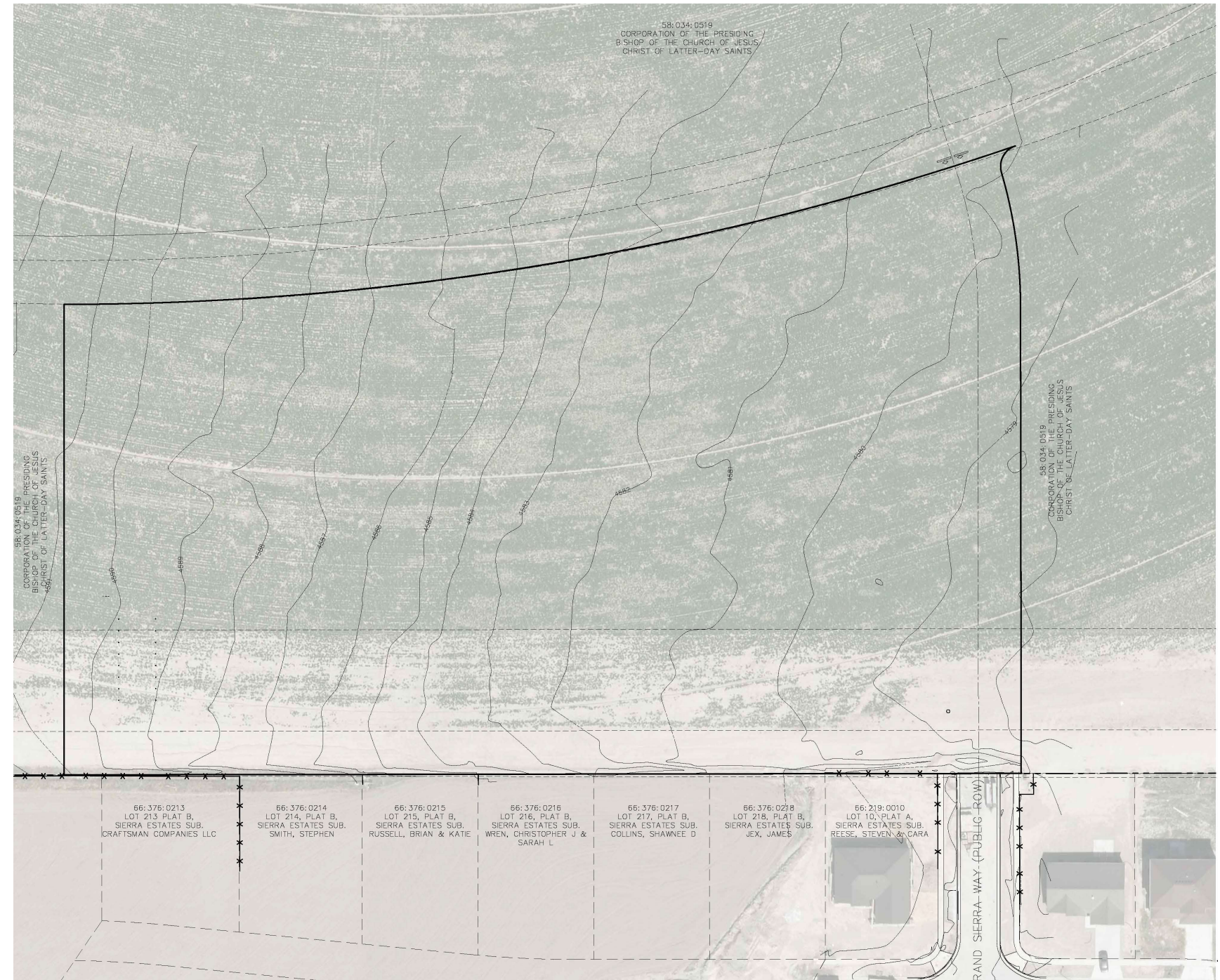
There are no slopes greater than 30 percent on the project site. The existing contours are at 2-foot intervals.

Environmental Issues

Wetlands: no wetlands are sources of surface or shallow groundwater have been identified on the project site.

Historical Sites: no historical sites have been identified on the project site.

Existing Trees: no existing trees are present on the site.





COMMUNITY AND VILLAGE PLAN AMENDMENTS

Jordan Promenade (Wander) Community Plan Amendment 4

Jordan Promenade (Wander) Village Plan 2 Amendment 2

Jordan Promenade (Wander) Village Plan 3 Amendment 2

May 29, 2025

Public Hearing

Applicant:	Greg Paley, Oakwood Homes Utah, Inc.
Owner:	Oakwood Homes Utah, Inc. and Suburban Land Reserve
Location:	North of 400 South and Redwood Road, east of Redwood road, and South of Pioneer Crossing
Project Acreage:	Community Plan 367 acres; Village Plan 2, 76.911 acres; Village Plan 3, 160.955 acres
Current Use:	Residential, Commercial (Holiday Oil), vacant land to be developed
Land Use Designation:	Planned Community
Parcel Zoning:	Planned Community
Adjacent Zoning:	Planned Community, Agriculture, and Rural Residential
Adjacent Uses:	Agricultural, Single-Family Residential, and Commercial
Past Action:	Community Plan Minor Amendment 3 – August 4, 2022, Planning Director Approval Village Plan 2 Amendment 1, August 4, 2022, Planning Director Approval Village Plan 3 – August 11, 2022, PC; September 6 2022, CC Village Plan 3 Minor Amendment 1 – July 14, 2024, Planning Director
Type of Action:	Legislative
Land Use Authority:	City Council
Planner:	Gina Grandpre, Senior Planner

A. Executive Summary and Request:

The Jordan Promenade (“Wander”) is a 367-acre master-planned community located between 400 South and Pioneer Crossing, extending from Redwood Road to the Jordan River.

The 367-acre Wander development includes three approved Village Plans. On September 3, 2024, the City Council postponed action on changes to Village Plan 3 due to concerns about building size, architectural compliance, and impacts to Jordan River views. These issues are detailed in Exhibit 6.

During this process, UDOT's planned widening of Pioneer Crossing led the developer—Oakwood Homes Utah, Inc., and Suburban Land Reserve—to propose significant adjustments: relocating the Riverside Drive and Pioneer Crossing commercial area in Village 3 to Redwood Road and 400 North in Village 2, and shifting the planned LDS meeting house from Village 2 to a larger site in Village 3.

City staff also evaluated architectural consistency between Villages 1 and 2 and recommended clearer, more detailed design standards for both single-family and multi-family homes in Villages 2 and 3.

Request: The applicant requests amendments to The Jordan Promenade ("Wander") Community Plan, Village Plan 2, and Village Plan 3. The following changes are outlined below per document type and page numbers:

Wander Community Plan Amendment 4, shown in Exhibit 2:

1. Pages 14, 23, 24, 31, 42 – Various Maps – This page illustrates the relocation of the north commercial area from Village 3 to Village 2, replacing the previously designated meetinghouse site. It also shows a change in land use designation from "Commercial/Mixed Use" to simply "Commercial." Previously, the "Commercial" Standards outlined in the adopted Community Plan and Village Plans referred specifically to "Neighborhood Commercial," which required compliance with the standards and permitted uses outlined in Section 19.04 of the City's Land Development Code. For reference, Exhibit 8 provides a comparison of the permitted uses in the Neighborhood Commercial and Community Commercial zones.
2. Page 40 – Equivalent Residential Units – This exhibit highlights the revised language in the final paragraph, which now states: "c. the maximum number of Community Commercial ERUs shall be established at the time of Village Plan approval and will be subject to the Saratoga Springs Municipal Code."
3. Pages 48, 49, 50, and 51 – Single Family Cluster Home – This change adds the 'Coach House' building type to the Single Family Cluster Home Design Guidelines.
4. Pages 56 thru 79 – Architectural Guidelines – Detailed requirements for residential styles have been enhanced with more specific and clearly defined language has been proposed. Stone veneer has been added as an approved material, and the following residential styles have been introduced:
 - a. Courtyard Home – Saratoga Classic Style, elevations and color schemes on pages 56-57, 70, 72.
 - b. Courtyard Home – Ranch House Style, elevations and color schemes on pages 57, 71, 72.
 - c. Motorcourt Home – Modern Farmhouse Style, elevations and color schemes on pages 57-58, 73, 78.

- d. Motorcourt Home – Saratoga Prairie Style, elevations and color schemes on pages 58, 74, 78.
 - e. Motorcourt Home – Saratoga Classic Style, elevations and color schemes on pages 58, 75.
 - f. Motorcourt Home – Contemporary Prairie Style, elevations and color schemes on pages 59, 76, 79.
 - g. Motorcourt Home – Ranch House Style, elevations and color schemes on pages 59, 77, 79.
 - h. Ascent Duets – Contemporary Homestead Building Type 1, elevations and color schemes on pages 60-61.
 - i. Ascent Duets – Modern Farmhouse Building Type 2, elevations and color schemes on pages 62-63.
 - j. Ascent Duets – Classic Homestead Building Type 3, elevations and color schemes on pages 64-65.
 - k. Ascent Duets – Modern Craftsman Building Type 4, elevations and color schemes on pages 66-67.
 - l. Ascent Duets – Classic Farmhouse Building Type 5, elevations and color schemes on pages 68-69.
5. Page 88 – Traffic Impact Study – An updated Traffic Impact Study (TIS) was completed in 2025, and its recommendations and conclusions are generally consistent with those of the 2018 study. The full report can be found in Appendix A on page 115 and is also referenced in Exhibit 3.
6. Page 92 – The “Commercial” area north of Pony Express at the Jordan River has been included in the Posey Sewer Shed.

Wander Village Plan 2 Amendment 2, shown in Exhibit 4:

- 1. Pages 6, 48, 51, 52, 56, 63, 66, 73 – Various Maps – This page illustrates the relocation of the north commercial area from Village 3 to Village 2, replacing the previously designated meetinghouse site. Additionally, the land use designation changes from Commercial to Community Commercial. Refer to page 15 for corresponding updates to the Commercial Standards.
- 2. Page 7 – Detailed Buildout Allocation – This page shows that Commercial development in Village 2 will increase from 8.5 acres to 12.3 acres, while the Meetinghouse area will decrease from 8.8 acres to 4.3 acres; Parks/Open Space will increase from 9.6 acres to 10 acres, and right-of-way will increase from 15.2 acres to 15.4 acres, as shown in the tables below.

DEVELOPMENT TYPE	ACRES	% OF TOTAL AC	UNITS	DENSITY
SFD - SMALL (40'-50' wide x 110' deep)	16.4	21.3%	128	7.8 DU/AC
TOWNHOMES	7.4	9.6%	134	18.1 DU/AC
CLUSTER HOMES	11.0	14.4%	136	12.3 DU/AC
COMMERCIAL	8.5	11.0%	-	-
MEETING HOUSE	8.8	11.5%	-	-
PARKS/OPEN SPACE	9.6	12.6%	-	-
RIGHT-OF-WAY	15.2	19.7%	-	-
TOTALS	76.9 ¹	100%	398	5.2 DU/AC

Approved VP2, August 4, 2022

DEVELOPMENT TYPE	ACRES	% OF TOTAL AC	UNITS	DENSITY
SFD	16.5	21.5%	128	7.8 DU/AC
TOWNHOMES	7.4	9.6%	134	18.1 DU/AC
CLUSTER HOMES	11.0	14.3%	136	12.4 DU/AC
COMMERCIAL	12.3	16.0%	-	-
MEETING HOUSE	4.3	5.6%	-	-
PARKS/OPEN SPACE	10.0	13.0%	-	-
RIGHT-OF-WAY	15.4	20.0%	-	-
TOTALS	76.9 ¹	100%	398	5.2 DU/AC

Requested VP2 Amendment 2, May 2025

3. Pages 10, 11 – Cluster Homes – This change adds the 'Coach House' product to the Cluster Home Development Standards.
4. Page 15 – Commercial Standards – This page shows the reclassification of the area from Neighborhood Commercial to Community Commercial. It also notes that commercial areas within the Village Plan are designated under Title 19.04.09 as part of the Community Commercial Land Use Zone, referencing the purpose of the zone outlined in Title 19.04. Uses for these two zones are included in Exhibit 8, for comparison.
5. Page 16 – Commercial Standards (cont.) – This section outlines the Land Use Regulations for the Community Commercial Zone will follow Title 19.04.10, along with the permitted uses defined in Title 19.04.11.
6. Page 17 – Design Guidelines – Detailed requirements for residential styles have been enhanced with more specific and clearly defined language. Stone veneer has been added as an approved material, and the following residential styles have been introduced:
 - a. Courtyard Home – Saratoga Classic Style, on pages 17-18, 70, 72.
 - b. Courtyard Home – Ranch House Style, on page 18, 71, 72.
 - c. Motorcourt Home – Modern Farmhouse Style, elevations and color schemes on pages 18-19, 31, 36.
 - d. Motorcourt Home – Saratoga Prairie Style, elevations and color schemes on pages 19, 32, 36.
 - e. Motorcourt Home – Saratoga Classic Style, elevations and color schemes on pages 19-20, 33, 37.
 - f. Motorcourt Home – Contemporary Prairie Style, elevations and color schemes on pages 20, 34, 37.
 - g. Motorcourt Home – Ranch House Style, elevations and color schemes on pages 20, 35, 37.
 - h. Ascent Duets – Contemporary Homestead Building Type 1, elevations and color schemes on pages 21-22.

- i. Ascent Duets – Modern Farmhouse Building Type 2, elevations and color schemes on pages 23-24.
 - j. Ascent Duets – Classic Homestead Building Type 3, elevations and color schemes on pages 25-26.
 - k. Ascent Duets – Modern Craftsman Building Type 4, elevations and color schemes on pages 27-28.
 - l. Ascent Duets – Classic Farmhouse Building Type 5, elevations and color schemes on pages 29-30.
7. Page 49 – Associations – New language has been added to exempt Community Commercial and church uses from inclusion in the HOA and its governance.
 8. Page 58 thru 62 – Utility Plans have been updated to reflect the location of installed lines.
 9. Page 71 – Changes show updated and additional detailed plans.
 10. Page 73 – Overall Monument Concept Plan – This page has been updated to show where the neighborhood monument sign will be located.
 11. Page 74 – Secondary Monument – The language “at East 400 North/Redwood Road” has been removed.
 12. Page 76 – Open Space Management – Open Space provided in Village 2 has changed from 12.6% to 13%, as shown in the exhibit below.

VILLAGE	OPEN SPACE ACRES	TOTAL VILLAGE ACRES	% OPEN SPACE	VILLAGE	OPEN SPACE ACRES	TOTAL VILLAGE ACRES	% OPEN SPACE
AREA 1	31.87	135.0	23.6%	AREA 1	31.9	135.4	23.6%
AREA 2	9.65	76.9	12.6%	AREA 2	10.0	76.9	13.0%
AREA 3 (CONCEPTUAL*)	41.82	161.0	26.0%	AREA 3	39.1	161.0	24.3%
TOTALS	83.34	372.9	22.3%	TOTALS	81.0	373.3	21.9%

Approved VP2, August 4, 2022

Requested VP2 Amendment 2, May 2025

Wander Village Plan 3 Amendment 2, shown in Exhibit 5:

1. Pages 7, 51, 57, 56, 57, 58, 60, 64, 65, 66, 67, 68, 69, 72, – Various Maps – These pages illustrate the following changes:
 - a. The relocation of the north commercial area from Village 3 to Village 2.
 - b. The rearrangement of the lotting plan to accommodate for changes in the Sanitary Sewer Plan (page 66), and Storm Water Drainage Plan (page 67).
 - c. Revised the Overall Landscape Concept Plan to incorporate updates to the Riverfront Park and adjustments to the Village’s overall layout.
 - d. The increased area of the meetinghouse.

- e. The land use designation changes from Commercial/Mixed Use to Commercial. *Refer to pages 22 and 23 for corresponding changes from Commercial/Mixed Use to Commercial.*
2. Page 8 – Detailed Buildout Allocation – This page shows the following changes, as shown in the tables below:
- Townhomes/Paired Homes area will decrease from 21.1 acres to 17.6 acres (- 3.5 acres).
 - Cluster Homes area will decrease from 41.7 acres to 39.4 acres (-2.3 acres).
 - Amenity areas will decrease from 3.3 acres to 1.8 acres (-1.5 acres).
 - Commercial area will decrease from 18 acres to 16 acres (-2 acres).
 - Meeting House area will increase from 4.4 acres to 5.4 acres (+1 acre).
 - School site area will decrease slightly from 9.3 acres to 9.2 acres (-0.1 acres).
 - Open Space area will increase from 35.4 acres to 39.1 acres (+3.7 acres).
 - Rights-of Way area will increase from 27.8 acres to 32.5 acres (+4.7 acres),

DEVELOPMENT TYPE	ACRES	% OF TOTAL AC	UNITS	DENSITY
SINGLE FAMILY DETACHED	0.0	0.0%	0	N/A
TOWNHOMES/PAIRED HOMES	21.1	13.1%	327	15.4 DU/AC
CLUSTER HOMES	41.7	25.9%	515	12.3 DU/AC
AMENITY	3.3	2.0%	-	-
COMMERCIAL	18.0	11.2%	-	-
MEETING HOUSE	4.4	2.7%	-	-
SCHOOL SITE	9.3	5.8%	-	-
PARKS/OPEN SPACE	35.4	22.0%	-	-
RIGHTS-OF-WAY	27.8	17.3%	-	-
TOTALS	161.0'	100%	842	5.2 DU/AC

Approved VP3, July 14, 2023

DEVELOPMENT TYPE	ACRES	% OF TOTAL AC	UNITS	DENSITY
SINGLE FAMILY DETACHED	0.0	0.0%	0	N/A
TOWNHOMES/PAIRED HOMES	17.6	10.9%	342	19.5 DU/AC
CLUSTER HOMES	39.4	24.5%	500	12.7 DU/AC
AMENITY	1.8	1.1%	-	-
COMMERCIAL	16.0	9.9%	-	-
MEETING HOUSE	5.4	3.4%	-	-
SCHOOL SITE	9.2	5.7%	-	-
PARKS/OPEN SPACE	39.1	24.3%	-	-
RIGHTS-OF-WAY	32.5	20.2%	-	-
TOTALS	161.0'	100%	842	5.2 DU/AC

Requested VP3 Amendment 2, May 2025

- Pages 15 thru 18 – Cluster Homes – This change removes the 'Carriage House' product and adds the 'Coach House' product to the Cluster Home Development Standards.
- Page 20 – Town Home Lot Typical – This page shows additional language that states that 6-unit townhomes will follow the same development standards as the 2-4 unit townhomes.
- Page 22 – Commercial Standards – This page shows the reclassification of the area from “Commercial/Mixed Use” to “Commercial”. It also notes that commercial areas within the Village Plan are to be designated under Title 19.04.09 as part of the Community Commercial Land Use Zone, referencing the purpose of the zone outlined in Title 19.04. Previously adopted Community and Village Plans defined the “Commercial” use as Neighborhood Commercial and directed development of these areas to follow the City’s Land Development Code Title 19.04. Uses for these zones are included in Exhibit 8, for

comparison.

5. Page 23 – Commercial Standards (cont.) – This section outlines the Land Use Regulations for the Community Commercial Zone as specified in Title 19.04.10, along with the permitted uses defined in Title 19.04.11, as shown in Exhibit 2, page 14. These standards are based on the provisions of Title 19.
6. Page 24 – Design Guidelines – Detailed requirements for residential styles have been enhanced with more specific and clearly defined language. Stone veneer has been added as an approved material, and the following residential styles have been introduced:
 - a. Courtyard Home – Saratoga Classic Style, elevations and color schemes on pages 24-25, 38, 40.
 - b. Courtyard Home – Ranch House Style, elevations and color schemes on pages 25, 39, 40.
 - c. Motorcourt Home – Modern Farmhouse Style, elevations and color schemes on pages 25-26, 41, 46.
 - d. Motorcourt Home – Saratoga Prairie Style, elevations and color schemes on pages 26, 42, 46.
 - e. Motorcourt Home – Saratoga Classic Style, elevations and color schemes on pages 26, 43, 47.
 - f. Motorcourt Home – Contemporary Prairie Style, elevations and color schemes on pages 27, 44, 47.
 - g. Motorcourt Home – Ranch House Style, elevations and color schemes on pages 27, 45, 47.
 - h. Ascent Duets – Contemporary Homestead Building Type 1, elevations and color schemes on pages 28-29.
 - i. Ascent Duets – Modern Farmhouse Building Type 2, elevations and color schemes on pages 30-31.
 - j. Ascent Duets – Classic Homestead Building Type 3, elevations and color schemes on pages 32-33.
 - k. Ascent Duets – Modern Craftsman Building Type 4, elevations and color schemes on pages 34-35.
 - l. Ascent Duets – Classic Farmhouse Building Type 5, elevations and color schemes on pages 36-37.
7. Page 52 – Riverfront Park – The revisions on this page indicate that the park's size has increased from approximately 25 acres to 28 acres. Additionally, the initial improvements now include the addition of drinking fountains and a river overlook.
8. Page 53– Riverfront Park (cont.) – The revisions on this page include the following:
 - a. The “Park Minimum Requirements” section was updated to increase neighborhood access trail widths from 6 to 10 feet.
 - b. The “North Trailhead/Parking Area” was renamed “North Parking Area at Trailhead,”

- c. Two new parking areas were added: “Central Parking Area at Playgrounds” and “South Parking Area at Sculpture Garden.”
- 9. Page 54 – Riverfront Park (cont.) – The revisions on this page show the “Amenities constructed and paid for by Developer” will include all three parking areas, drinking fountains, and the river overlook.
- 10. Page 55 – Associations – New language has been added to exempt Church uses from inclusion in the HOA and its governance.
- 11. Page 56 – Phasing & Maintenance - The revisions on this page include the following:
 - a. In Phase 1, the number of commercial parcels has been reduced from two to one, and single-family detached homes have been removed from the residential types.
 - b. In Phase 2, the term “meeting house” has been replaced with “stake center.”
 - c. Phase 3 no longer includes a commercial parcel. Additionally, the term “clubhouse/pool” has been changed to “amenity center.”
- 12. Page 61 – Plant Palette – The correction to this page reflects the removal of the Jeffersred Armstrong Maple to the Espresso Kentucky Coffeetree.
- 13. Page 66 – Sanitary Sewer Plan – This page reflects updates based on the revised lot layout and shows the proposed sewer line adjustments made to accommodate the Posey Lift Station requirements.
- 14. Page 67 and 68– Storm Water Drainage Plan – Changes have been made to the storm drainage system along from Redwood Road along 400 North to the Jordan River along with the changes to the lotting plan.
- 15. Page 77 – Changes show updated and additional detailed plans.
- 16. Page 78 – Overall Monument Concept Plan – This page has been updated to reflect the relocation of the Major Monument previously located at Riverside Drive and Pioneer Crossing. It has been replaced with a Secondary Monument situated at the first local street south of Pioneer Crossing on Riverside Drive.
- 17. Page 74 – Secondary Monument – The language “Secondary Monument at East 400 North/Redwood Road” has been removed and replaced “Secondary Monument”.
- 18. Page 82 – Open Space Management – This page has been added as an additional detail plan. Open Space provided in Village 3 has changed from 22% to 24.3%, as shown in the exhibit below.

VILLAGE	OPEN SPACE ACRES	TOTAL VILLAGE ACRES	% OPEN SPACE
AREA 1	31.9	135.4	23.6%
AREA 2	10.0	76.9	13.0%
AREA 3	39.1	161.0	24.3%
TOTALS	81.0	373.3	21.9%

Requested VP3 Amendment 2, May 2025

Staff recommends that the Planning Commission conduct a public meeting on the Community Plan Amendment, Village Plan 2 Amendment, and Village Plan 3 Amendment, take public comment, review and discuss the proposal, and choose from the options in Section H of this report. Options include a positive recommendation with or without conditions, a negative recommendation, or continuation.

- B. Background:** The Jordan Promenade Planned Community, also known as “Wander,” is a 367-acre master planned development, within the Saratoga Springs City Center District Area Plan, located northeast of 400 South and Redwood Road, extending east to Patriot Park, then north to 400 North, and continuing east of Riverside Drive to Pioneer Crossing and the Jordan River. The community currently includes three approved Village Plans.

On September 3, 2024, the City Council reviewed the proposed Wander Village Plan 3, Amendment 3, as shown in Exhibit 6. This amendment included modifications to the configuration of townhome locations and a request to increase the allowable number of townhome units per building from 2–6 units to 2–8 units. During the meeting, concerns were also raised that Oakwood Homes Utah, Inc., the developer, was not adhering to the Architectural Design Standards specified in Village Plan 2. As a result, the City Council tabled the application, requesting additional information on how the increased unit count would impact views toward the Jordan River and directing staff to evaluate the built product in Village 2 for compliance with approved architectural standards.

While addressing City Council concerns, the applicant also responded to UDOT’s planned widening of Pioneer Crossing. This prompted relocation of the commercial area from Village 3 to Village 2, and expansion of the LDS meetinghouse site in Village 3. In response, the developers—Oakwood Homes Utah, Inc. and Suburban Land Reserve—collaborated to reconfigure land uses between Village Plans 2 and 3.

As part of the proposed updates, several key changes have been made to the village plans. The commercial area previously planned along Pioneer Crossing in Village 3 has been relocated to the intersection of Redwood Road and 400 North. The remaining commercial area in the southern part of Village 3 has been designated Community Commercial. The LDS Church

meetinghouse site in Village Plan 2 has been removed to allow expansion of the meetinghouse site in Village Plan 3 for a larger facility. The park concept plan along the Jordan River in Village Plan 3 has also been updated to include additional parking, wider trail connections from the west, restrooms near parking areas, and other design elements to meet City park standards. Finally, an architectural survey comparing Village Plans 1 and 2 revealed the need for more detailed and prescriptive language in Village Plans 2 and 3 to ensure consistent architectural standards for both single-family and multi-family housing.

The Community Plan reflects these revisions, as shown in Exhibit 2. Exhibits 4 and 5 provide further detail in the updated Village Plans.

Open Space:

Pages 28-30 of the Community Plan provide an open space ownership summary; no changes are requested. The conceptual plan for the Riverfront Park is included in Village Plan 3, pages 84-87, and includes the same layout that was presented to the City Council in a work session on April 8, 2025.

D. Process:

Code Section 19.26.05.05 outlines the process for Community Plan Major Amendments and Section 19.26.09.02 outlines the process for Village Plan Major Amendments:

Section 19.26.05.05

5. Community Plan Amendment. Modifications to the Community Plan text or exhibits may occur in accordance with the following amendment process:

- a. **Major Amendments:** If an amendment is deemed major by the Planning Director (or in the case of a District Area Plan, by the Development Review Committee), it will be processed in the same manner as the original Community Plan. Major amendments are modifications that change the intent of the Community Plan such as:
 - i. those that significantly change the character or architecture of the Community Plan;
 - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided within the Community Plan, as provided in Section 19.26.06;
 - iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas, or public facilities as shown on the approved Community Plan; and
 - iv. modifications to development standards as allowed in the Community Plan.

Section 19.26.09.02

2. Village Plan Amendment. A Village Plan is a zoning level approval, and modifications may occur in accordance with the following amendment process:

- a. **Major Amendments:** If an amendment is deemed major by the Planning Director, it will be processed in the same manner as the original Village Plan. Major amendments are modifications that change the intent of the Village Plan such as:

- i. those that significantly change the character or architecture of owners' associations (if applicable);
- ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided in the Village Plan, as provided in Section 19.26;
- iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas or public facilities; and
- iv. modifications to development standards as allowed in the Village Plan.

Staff Conclusion: *Consistent. These amendments have been deemed to be a major amendments since it is modifying the development standards that are allowed in the Community and Village Plans.*

E. Community Review:

Public Meeting: This has been noticed as a public meeting pursuant to City and State statutes, which requires posting notice of the meeting and the agenda not less than 24 hours before the meeting.

Public Comment: As of the date of this report, no public input has been received.

F. General Plan: The property is designated Planned Community on the Land Use Map.

The Planned Community Land Use Designation is described in the General Plan below:

Planned Community. The Planned Community designation includes large-scale properties within the City which exceed 500 acres in size. This area is characterized by a mixture of land uses and housing types. It is subject to an overall Community Plan that contains a set of regulations and guidelines that apply to a defined geographic area. Required Village Plans contain regulations that apply to blocks of land and provide specific development standards, design guidelines, infrastructure plans and other elements as appropriate. Development in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan.

Staff Conclusion: Consistent for Residential. *The proposed amendments to the Wander Community Plan, Village Plan 2, and Village Plan 3 maintain the intended mixture of land uses and housing types, consistent with the Planned Community designation. Residential, Community Commercial, and Commercial components comply with established regulations in the amended Community and Village Plans.*

G. Code Criteria:

Title 19.26 Planned Community Zone.

19.26.03.02(c): Detailed architectural requirements and restrictions implementing the guiding development standards established in the Community Plan pursuant to Section 19.26.06.3, including materials lists, pallets, and pattern books.

Staff finding: Consistent. *The amendment plans include detailed development standards including materials lists, pallets, and pattern books.*

Section 19.26.05 states:

5. **Community Plan Amendment.** Modifications to the Community Plan text or exhibits may occur in accordance with the following amendment process:
 - a. **Major Amendments:** If an amendment is deemed major by the Planning Director (or in the case of a District Area Plan, by the Development Review Committee), it will be processed in the same manner as the original Community Plan. Major amendments are modifications that change the intent of the Community Plan such as:
 - i. those that significantly change the character or architecture of the Community Plan;
 - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided within the Community Plan, as provided in Section 19.26.06;
 - iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas, or public facilities as shown on the approved Community Plan; and
 - iv. modifications to development standards as allowed in the Community Plan.
 - b. **Minor Amendments.** Minor amendments are accomplished administratively by the Planning Director. Minor amendments include simple modifications to text or exhibits such as:
 - i. minor changes in the conceptual location of streets, public improvements, or infrastructure;
 - ii. minor changes in the configuration or size of parcels;
 - iii. transfers of density as described within the Community Plan, as provided for in Section 19.26.06;
 - iv. minor modification of land use boundaries; and
 - v. Interpretations that facilitate or streamline the approval of unlisted uses that are similar in nature and impact to listed uses.

Staff finding: *A major amendment is required. The proposed amendments are deemed major amendments.*

Code Section 19.26.09 outlines the process for Village Plan Amendments and states:

3. **Village Plan Amendment.** A Village Plan is a zoning level approval, and modifications may occur in accordance with the following amendment process:
 - a. **Major Amendments:** If an amendment is deemed major by the Planning Director, it will be processed in the same manner as the original Village Plan. Major amendments are modifications that change the intent of the Village Plan such as:

- i. those that significantly change the character or architecture of owners' associations (if applicable);
- ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided in the Village Plan, as provided in Section 19.26;
- iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas or public facilities; and
- iv. modifications to development standards as allowed in the Village Plan.

Staff finding: *A major amendment is required. The proposed amendments are deemed major amendments.*

The Wander Community Plan also states on page 41 and shown in Exhibit 4:

Residential Build-Out Allocation

Jordan Promenade provides housing types that offer a variety of architectural styles, price points, and lifestyles to appeal to a broad range of potential buyers. The residential development areas shown on the Build-out Allocation Map (see Exhibit 6, page 42) will include single family detached homes, single family cluster homes, and townhomes. Single family lot sizes range from 4,000 square feet to 8,000 square feet, depending on the style of home. Cluster Homes are designed in groups of 4 to 6 homes situated on a shared driveway that is maintained, along with front-yard landscaping, by an HOA. Townhomes will be planned in small groups of buildings integrated into the overall community that are accessed from alleyways behind the buildings that provide guest parking. Each housing style will be available in a variety of colors, styles, and sizes in each neighborhood to allow for many product options for new residents.

Staff Conclusion: consistent for residential: *The proposed amendments to the residential portions of the Wander Community Plan and Village Plans 2 and 3 are consistent with the intent of the Planned Community Zone and the approved Community Plan. Commercial details have not yet been proposed.*

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

Option 1 – Positive Recommendation

“I move that the Planning Commission forward a positive recommendation to the City Council for the Jordan Promenade (“Wander”) Community Plan Amendment 4, Village Plan 2 Amendment 2, and Village Plan 3 Amendment 2, located east of Redwood Road between Pioneer Crossing and 400 South to the Jordan River and Patriot Park, with the Findings and Conditions in the Staff Report.”

Findings

1. The proposed Wander Community Plan, Village Plan 2, and Village Plan 3 Amendments are consistent with the General Plan, as articulated in Section F of the staff report, which section is incorporated by reference herein.
2. The Wander Community Plan, Village Plan 2, and Village Plan 3 Amendments are consistent with the Land Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.
3. The proposed changes to the Wander Community Plan, Village Plan 2, and Village Plan 3 are consistent with the Jordan Promenade, Wander Community Plan.
4. The proposed amendments to the Wander Community Plan, Village Plan 2, and Village Plan 3 do not detract from the mixture of land uses and housing types.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached Engineering Staff Report.
2. All requirements of the Fire Chief shall be met.
3. All other Code requirements shall be met.
4. Any other conditions or changes as articulated by the Planning Commission:

_____.

Option 2 – Continuance

"I move to **continue** the Jordan Promenade ("Wander") Community Plan Amendment 4, Village Plan 2 Amendment 2, and Village Plan 3 Amendment 2 to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____.
2. _____.
3. _____.

Option 3 – Negative Recommendation

"I move that the Planning Commission forward a negative recommendation to the City Council for the Jordan Promenade ("Wander") Community Plan Amendment 4, Village Plan 2 Amendment 2, and Village Plan 3 Amendment 2, located east of Redwood Road between Pioneer Crossing and 400 South to the Jordan River and Patriot Park, with the Findings below:

1. The amendments are not consistent with the General Plan, as articulated by the Planning Commission: _____, and/or
2. The amendments do not comply with Section 19.26 of the Land Development Code, as articulated by the Planning Commission: _____, and/or
3. The amendments do not further the general welfare of the residents of the City, as articulated by the Planning Commission: _____.

I. Exhibits:

1. Location Map
2. Wander Community Plan Amendment 4
3. Updated Traffic Impact Study Memorandum, April 8, 2025
4. Wander Village Plan 2 Amendment 2
5. Wander Village Plan 3 Amendment 2
6. City Council Meeting Minutes for September 3, 2024
7. City Council Meeting Minutes Work Session, April 8, 2025
8. Title 19.04 Land Use Comparison

Exhibit 1: Location Map





SARATOGA
SPRINGS

COMMUNITY PLAN

AMENDMENT 4



JORDAN
PROMENADE



OAKWOOD

HOUSES

May 21, 2025
UPDATED



JORDAN PROMENADE

AT SARATOGA SPRINGS

COMMUNITY PLAN
AMENDMENT 4

Prepared by:

LAI Design Group
Architecture | Planning & Entitlements | Visual Media
Landscape Architecture | Real Estate Advisory
www.LAIdesigngroup.com

 **PERIGEE**
CONSULTING
CIVIL • STRUCTURAL • SURVEY


OAKWOOD
HOMES

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PROJECT INTRODUCTION

Oakwood Homes of Utah LLC, and Clayton Properties Group II, Inc, is pleased to submit this Community Plan application for the Jordan Promenade development - a 367-acre master planned community located along the Jordan River in central Saratoga Springs, Utah. The development site consists of two parcels bisected by Riverside Drive. Pony Express Parkway further divides the parcels into quarters, creating four distinct areas by these major roadways. The Community will be developed in three proposed Village Plans as shown in Exhibit 1 (see page 5). Village Plans must be approved for each of the proposed phases and shall include details and final designs as referenced throughout the Community Plan.¹

The Jordan River inlet from Utah Lake serves as the symbol for this development, given its natural beauty under the Wasatch mountain range and the many recreational opportunities it will provide for the future residents of the Jordan Promenade community. The intent of this community is to establish a livable environment that supports the City of Saratoga Springs by promoting economic growth, recreational activity, and a critical residential hub that contributes to the vitality of the City as a whole. The development will provide a wide selection of housing types that offers a variety of architectural styles, price points, and lifestyles to appeal to a broad range of potential buyers. This new community also identifies opportunities for future commercial and mixed-use development that may change in location and intensity as the market dictates. Final configurations of these uses will be solidified during the phased Village Plan applications for the community.¹

The Jordan Promenade development will establish a consistent theme for common-area community elements, such as signage monuments, site furnishings, fencing and amenity features. These elements will embody the rustic and natural appeal of the Jordan River inlet and the Utah Lake area. A network of pedestrian trails along open space corridors and neighborhood streets will link various neighborhood recreational amenities and will provide connections between neighborhoods and to the waterfront Promenade along the Jordan River corridor.

The location of this community is centralized to the City's anticipated short-term and long-term plans, representing a unique confluence of future municipal facilities, a regional sports park, a potential light-rail transit corridor, a continuous flow intersection (CFI), new institutional facilities, meeting houses, and walking/running/biking connectivity to the natural environments in proximity to the community.

Oakwood Homes anticipates Jordan Promenade to be a marquis development within the City of Saratoga Springs. This development will serve as a template for other cities and developers on how to implement smart design and create thriving communities.

¹Subsequent plat applications and titles will be required to include a note that there may be light and noise impacts resulting from Patriot Park and the RC Park.

EXHIBIT 1 - VILLAGE LOCATION PLAN



*PLAN NOT TO SCALE

FINDINGS STATEMENT

1. Jordan Promenade is consistent with vision, goals, objectives, and policies of the General Plan and the City Center District Area Plan with emphasis placed upon those policies related to community identity, distinctive qualities in communities and neighborhoods, diversity of housing, integration of uses, pedestrian and transit design, and environmental protection.
2. Jordan Promenade contains sufficient standards to guide the creation of innovative design that responds to unique conditions.
3. Jordan Promenade is compatible with surrounding development and properly integrates and uses and infrastructure with adjacent properties.
4. Jordan Promenade includes adequate provisions for utilities, services, roadway networks, and emergency vehicle access. Public safety service demands will not exceed the capacity of existing and planned systems with adequate mitigation. See the accompanying traffic and utility exhibits from page 88.
5. Jordan Promenade is consistent with the guiding standards listed within Title 19 Section 19.26.06 of the Saratoga Springs Municipal Code.
6. Jordan Promenade contains the required elements as dictated within Title 19 Section 19.26.07 of the Saratoga Springs Municipal Code.

PLANNED COMMUNITY ZONE & DISTRICT AREA PLAN

The Planned Community Zone, found within Title 19 of the Saratoga Springs Municipal Code and the City Center District Area Plan overlay, have established a process that enables the developer and the City to plan for future development while allowing the flexibility to respond to changes in the market over long build-out periods. The Jordan Promenade community embraces the appropriate neighborhood type, Traditional Neighborhood, and open space themes outlined in the plan. The project provides a unique identity and character, establishes an innovative integration of housing types and land uses, and preserves valuable open space characteristics of the area. A variety of development and use standards have been established to allow for housing types not addressed in traditional zoning categories, which creates the intended diversity envisioned for large developments in the Planned Community Zone district and the City Center District Area Plan.

Community Plan

The Jordan Promenade Community Plan provides a community-wide structure that determines the size, scope, intensity, and character of subsequent Village Plans. The Jordan Promenade Community Plan addresses the following elements consistent with the Guiding Standards of Community Plans found in Section 19.26.06 of the Municipal Code:

1. **Development Types and Intensity**
 - Allowed residential, commercial and civic uses
 - Allowed residential densities and commercial development intensity
2. **Development Standards:**
 - Community theme
 - Architectural guidelines and enforcement
 - Residential and commercial lot development standards
3. **Open Space Requirements**
 - Active open space areas
 - Sensitive lands
 - Entry features

The Community Plan provides the following planning and engineering maps and reports to further illustrate the attributes and development patterns of the Jordan Promenade community.

1. Property Legal Description & Boundary Map
2. Land Use Map
3. Build-out Allocation Map
4. Open Space Map

5. Guiding Principles
 - Community Theme & Character
 - Community-wide Systems for:
 - Transportation and Streets
 - Project Open Space, Parks, Trails, and Recreation
 - Project Open Space & Parks Management
 - Community Landscape Theme
 - Guiding Residential Development Standards
6. Utility Capacities
7. Conceptual Plans
 - Grading Plan
 - Wildlife Mitigation Plan
 - Open Space Management Plan
 - Fire Protection Plan
8. Additional elements submitted in conjunction with the Community Plan include:
 - Geological and Soils-related Report
 - Environmental Site Assessment
 - Critical Environmental Issues Analysis
 - Cultural Resources Inventory Analysis
 - Architectural design guidelines and review board policies
 - Open space improvement and dedication policies

EXHIBIT 2 - VICINITY MAP



*PLAN NOT TO SCALE

LEGAL DESCRIPTION

WEST PARCEL

A PORTION OF SECTIONS 23 & 26, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, SARATOGA SPRINGS, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST RIGHT-OF-WAY OF RIVERSIDE DRIVE ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER, SAID POINT BEING LOCATED N89°57'40"W ALONG THE QUARTER SECTION LINE 1264.50 FEET FROM THE EAST 1/4 CORNER OF SECTION 26, T5S, R1W, S.L.B. & M.; THENCE N89°57'40"W ALONG THE QUARTER SECTION LINE 1367.47 FEET; THENCE N0°34'23"E 248.58 FEET TO THE SOUTH LINE OF THAT REAL PROPERTY DESCRIBED IN DEED ENTRY NO. 79200:2009 IN THE OFFICIAL RECORDS OF UTAH COUNTY; THENCE ALONG SAID REAL PROPERTY THE FOLLOWING SIXTEEN (16) COURSES: S89°42'55"E 32.49 FEET; THENCE N4°21'40"E 360.80 FEET; THENCE N1°30'41"E 182.07 FEET; THENCE N0°32'52"E 565.49 FEET; THENCE N0°54'50"E 565.12 FEET; THENCE N1°18'07"E 244.64 FEET; THENCE N0°11'59"E 303.53 FEET; THENCE N0°36'45"W 150.49 FEET; THENCE N0°21'00"W 421.79 FEET; THENCE N1°18'54"W 99.88 FEET; THENCE N0°02'14"E 502.21 FEET; THENCE N0°24'29"W 173.55 FEET; THENCE N1°17'53"W 173.55 FEET; THENCE N1°03'25"W 423.38 FEET; THENCE N1°16'24"W 180.50 FEET; THENCE N0°38'53"W 180.78 FEET; THENCE N0°08'09"E 533.35 FEET TO THE INTERSECTION WITH THE SOUTH LINE OF THAT BOUNDARY LINE AGREEMENT DESCRIBED IN DEED ENTRY NO. 17379:1993 IN THE OFFICIAL RECORDS OF UTAH COUNTY; THENCE ALONG SAID BOUNDARY LINE AGREEMENT THE FOLLOWING THREE (3) COURSES: S89°46'19"E 876.93 FEET; THENCE S89°38'40"E 389.95 FEET; THENCE N0°15'57"E 1162.67 FEET TO THE SOUTH LINE PIONEER CROSSING ACCORDING TO THE OFFICIAL MAPS THEREOF AND THAT REAL PROPERTY DESCRIBED IN DEED ENTRY NO. 35015:2009 IN THE OFFICIAL RECORDS OF UTAH COUNTY; THENCE ALONG SAID SOUTH LINE SOUTHEASTERLY ALONG THE ARC OF A 1,400.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: S1°31'17"W) 72.12 FEET THROUGH A CENTRAL ANGLE OF 2°57'06" (CHORD: S87°00'09"E 72.12 FEET) TO THE WEST RIGHT-OF-WAY LINE OF RIVERSIDE DRIVE ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER; THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THIRTY (30) COURSES: SOUTHWESTERLY ALONG THE ARC OF A 1230.98 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N85°09'41"W) 2.68 FEET THROUGH A CENTRAL ANGLE OF 0°07'30" (CHORD: S4°54'04"W 2.68 FEET); THENCE ALONG THE ARC OF A 10.00 FOOT RADIUS CURVE TO THE RIGHT 5.58 FEET THROUGH A CENTRAL ANGLE OF 31°58'02" (CHORD: S20°49'40"W 5.51 FEET); THENCE S36°48'41"W 6.73 FEET; THENCE ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE LEFT 8.60 FEET THROUGH A CENTRAL ANGLE OF 32°51'14" (CHORD: S20°23'04"W 8.48 FEET); THENCE ALONG THE ARC OF A 1238.00 FOOT RADIUS CURVE TO THE LEFT 85.47 FEET THROUGH A CENTRAL ANGLE OF 3°57'14" (CHORD: S1°58'50"W 85.45 FEET); THENCE S0°00'13"W 1039.80 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 35.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N42°31'58"W) 6.91 FEET THROUGH A CENTRAL ANGLE OF 11°08'53" (CHORD:

S53°02'29"W 6.90 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FEET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: S53°03'14"W 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: S68°44'52"W 65.62 FEET); THENCE N89°59'47"W 17.06 FEET; THENCE S2°56'35"E 70.30 FEET; THENCE N86°11'22"E 3.54 FEET; THENCE ALONG THE ARC OF A 64.50 FOOT RADIUS CURVE TO THE LEFT 15.37 FEET THROUGH A CENTRAL ANGLE OF 13°39'09" (CHORD: N79°21'48"E 15.33 FEET); THENCE ALONG THE ARC OF A 35.50 FOOT RADIUS CURVE TO THE RIGHT 47.14 FEET THROUGH A CENTRAL ANGLE OF 76°04'42" (CHORD: S69°25'25"E 43.75 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: S36°56'46"E 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: S21°15'08"E 65.62 FEET); THENCE S0°00'13"W 2408.96 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 35.50 FOOT RADIUS NON-TANGENT CURVE

TO THE RIGHT (RADIUS BEARS: N42°31'58"W) 6.91 FEET THROUGH A CENTRAL ANGLE OF 11°08'53" (CHORD: S53°02'29"W 6.90 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FEET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: S53°03'14"W 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: S68°44'52"W 65.62 FEET); THENCE N89°59'47"W 17.06 FEET; THENCE S2°56'35"E 70.30 FEET; THENCE N86°11'22"E 3.54 FEET; THENCE ALONG THE ARC OF A 64.50 FOOT RADIUS CURVE TO THE LEFT 15.37 FEET THROUGH A CENTRAL ANGLE OF 13°39'09" (CHORD: N79°21'48"E 15.33 FEET); THENCE ALONG THE ARC OF A 35.50 FOOT RADIUS CURVE TO THE RIGHT 47.14 FEET THROUGH A CENTRAL ANGLE OF 76°04'42" (CHORD: S69°25'25"E 43.75 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: S36°56'46"E 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: S21°15'08"E 65.62 FEET); THENCE S0°00'13"W 2453.71 FEET; THENCE ALONG THE ARC OF A 28.50 FOOT RADIUS CURVE TO THE RIGHT 44.81 FEET THROUGH A CNETRAL ANGLE OF 90°05'32" (CHORD: S45°02'59"W 40.34 FEET); THENCE S0°05'45"W 35.35 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±162.70 ACRES

LEGAL DESCRIPTION

EAST PARCEL

A PORTION OF SECTIONS 23, 24, 25 & 26, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, SARATOGA SPRINGS, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED N89°57'40"W ALONG THE QUARTER SECTION LINE 414.27 FEET FROM THE EAST 1/4 CORNER OF SECTION 26, T5S, R1W, S.L.B. & M.; THENCE N89°57'40"W ALONG THE QUARTER SECTION LINE 182.10 FEET; THENCE N1°09'44"E 242.17 FEET; THENCE S89°55'54"W 310.00 FEET; THENCE S1°09'44"W 241.59 FEET TO A POINT ON THE QUARTER SECTION LINE; THENCE N89°57'40"W ALONG THE QUARTER SECTION LINE 224.04 FEET TO THE EAST RIGHT-OF-WAY LINE OF RIVERSIDE DRIVE ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING THIRTY (30) COURSES: N0°00'08"E 35.31 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 28.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N0°00'08"E) 44.77 FEET THROUGH A CENTRAL ANGLE OF 90°00'05" (CHORD: N44°59'50"W 40.31 FEET); THENCE N0°00'13"E 2495.81 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 35.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: S42°31'58"E) 6.91 FEET THROUGH A CENTRAL ANGLE OF 11°08'53" (CHORD: N53°02'29"E 6.90 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FEET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: N53°03'14"E 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: N68°44'45"E 65.62 FEET); THENCE S89°59'47"E 17.09 FEET; THENCE N2°58'06"W 70.30 FEET; THENCE S86°11'22"W 3.55 FEET; THENCE ALONG THE ARC OF A 64.50 FOOT RADIUS CURVE TO THE LEFT 15.37 FEET THROUGH A CENTRAL ANGLE OF 13°39'09" (CHORD: S79°21'48"W 15.33 FEET); THENCE ALONG THE ARC OF A 35.50 FOOT RADIUS CURVE TO THE RIGHT 47.14 FEET THROUGH A CENTRAL ANGLE OF 76°04'42" (CHORD: N69°25'25"W 43.75 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FEET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: N36°56'46"W 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: N21°15'08"W 65.62 FEET); THENCE N0°00'13"E 2408.96 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF A 35.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: S42°31'58"E) 6.91 FEET THROUGH A CENTRAL ANGLE OF 11°08'53" (CHORD: N53°02'29"E 6.90 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FEET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: N53°03'14"E 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: N68°44'45"E 65.62 FEET); THENCE S89°59'47"E 17.09 FEET; THENCE N2°58'06"W 70.30 FEET; THENCE S86°11'22"W 3.55 FEET; THENCE ALONG THE ARC OF A 64.50 FOOT RADIUS CURVE TO THE LEFT 15.37 FEET THROUGH A CENTRAL ANGLE OF 13°39'09" (CHORD: S79°21'48"W 15.33 FEET); THENCE ALONG THE ARC OF A 35.50 FOOT RADIUS CURVE TO THE RIGHT 47.14 FEET THROUGH A CENTRAL ANGLE OF 76°04'42"

(CHORD: N69°25'25"W 43.75 FEET); THENCE ALONG THE ARC OF A 84.50 FOOT RADIUS CURVE TO THE LEFT 16.40 FEET THROUGH A CENTRAL ANGLE OF 11°07'24" (CHORD: N36°56'46"W 16.38 FEET); THENCE ALONG THE ARC OF A 90.50 FOOT RADIUS CURVE TO THE RIGHT 67.15 FEET THROUGH A CENTRAL ANGLE OF 42°30'41" (CHORD: N21°15'08"W 65.62 FEET); THENCE N0°00'13"E 750.15 FEET; THENCE N6°32'14"E 100.65 FEET; THENCE N0°00'13"E 147.62 FEET; THENCE ALONG THE ARC OF A 1150.50 FOOT RADIUS CURVE TO THE RIGHT 78.73 FEET THROUGH A CENTRAL ANGLE OF 3°55'15" (CHORD: N1°57'50"E 78.71 FEET); THENCE ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE LEFT 8.18 FEET THROUGH A CENTRAL ANGLE OF 31°15'17" (CHORD: N11°42'11"W 8.08 FEET); THENCE ALONG THE ARC OF A 10.00 FOOT RADIUS CURVE TO THE RIGHT 5.61 FEET THROUGH A CENTRAL ANGLE OF 32°08'20" (CHORD: N11°15'39"W 5.54 FEET); THENCE NORTHEASTERLY ALONG THE ARC OF A 1154.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: S85°11'30"E) 6.48 FEET THROUGH A CENTRAL ANGLE OF 0°19'19" (CHORD: N4°58'09"E 6.48 FEET) TO THE SOUTH LINE PIONEER CROSSING ACCORDING TO THE OFFICIAL MAPS THEREOF; THENCE ALONG THE SOUTH LINE OF PIONEER CROSSING AND THAT REAL PROPERTY DESCRIBED IN DEED ENTRY NO. 35015:2009 IN THE OFFICIAL RECORDS OF UTAH COUNTY THE FOLLOWING THREE (3) COURSES: SOUTHEASTERLY ALONG THE ARC OF A 1,400.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: S7°38'13"W) 97.58 FEET THROUGH A CENTRAL ANGLE OF 3°59'37" (CHORD: S80°21'59"E 97.56 FEET); THENCE S77°12'47"E 545.01 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 1,161.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (RADIUS BEARS: N11°37'50"E) 151.16 FEET THROUGH A CENTRAL ANGLE OF 7°27'35" (CHORD: S82°05'57"E 151.05 FEET); THENCE S16°37'01"W 113.17 FEET; THENCE S6°16'31"E 143.75 FEET; THENCE S40°15'03"E 199.57 FEET; THENCE S52°15'00"E 326.50 FEET TO THE EAST LINE OF SAID SECTION 23; THENCE S60°15'43"E 271.14 FEET; THENCE S13°20'52"W 150.65 FEET; THENCE S42°43'56"W 159.53 FEET; THENCE S20°23'15"W 180.74 FEET; THENCE S12°40'30"E 257.32 FEET; THENCE S38°30'26"E 446.67 FEET; THENCE S32°44'40"E 135.96 FEET; THENCE S50°30'29"E 240.72 FEET; THENCE S64°50'35"E 70.79 FEET; THENCE S28°30'43"E 128.54 FEET; THENCE S3°51'58"E 124.82 FEET; THENCE S17°06'35"W 75.45 FEET; THENCE S26°49'30"E 144.48 FEET; THENCE S11°14'54"E 99.00 FEET; THENCE S1°25'50"W 228.24 FEET; THENCE S5°51'50"E 265.23 FEET; THENCE S36°31'03"W 221.75 FEET; THENCE S11°52'35"W 207.96 FEET; THENCE S17°28'58"E 200.11 FEET; THENCE S71°09'38"E 381.70 FEET; THENCE N83°49'20"E 241.90 FEET; THENCE N80°53'56"E 338.24 FEET; THENCE S63°16'27"E 141.94 FEET; THENCE S86°19'21"E 148.71 FEET; THENCE S31°07'21"E 155.89 FEET; THENCE S37°31'09"E 248.04 FEET TO THE WESTERLY LINE OF SARATOGA DRIVE AS DEFINED BY DEED ENTRY NO. 5782:1994 IN THE OFFICIAL RECORDS OF UTAH COUNTY; THENCE S26°08'49"W ALONG SAID NORTHERLY LINE 287.58 FEET; THENCE N87°12'44"W 1211.27 FEET; THENCE N86°58'39"W 336.96 FEET; THENCE N86°40'01"W 500.03 FEET; THENCE N86°45'49"W 488.03 FEET; THENCE S4°00'00"W 929.87 FEET; THENCE S20°00'00"E 409.50 FEET TO THE WEST LINE OF LOT 1 OF SARATOGA SPRINGS SPORT COMPLEX SUBDIVISION; THENCE SOUTH ALONG SAID SUBDIVISION 742.54 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±204.33 ACRES

EXHIBIT 3 - LAND USE MASTER PLAN



NOTE:

1) THE "POTENTIAL COMMERCIAL / MIXED-USE" AREA IS LOCATED ON LAND CURRENTLY EXHIBITING WETLAND CHARACTERISTICS RESULTING FROM LONG-TERM FARMING AND IRRIGATION PRACTICES. A JURISDICTIONAL DETERMINATION FOR WETLANDS HAS NOT BEEN MADE AT THIS TIME AND THE POSSIBILITY TO REMAINS THAT ONCE FARMING PRACTICES CEASE ON THE PROPERTY THAT THE WET CONDITIONS CAN BE MITIGATED.

GUIDING PRINCIPALS

Community Theme & Character

The Jordan Promenade community is oriented around the Jordan River and hot springs corridor open space areas that border the property's western boundary. These unique natural features inspire the character of community monument signs, site furnishings, and park amenities by incorporating ranch styling, rustic timbers, and natural stone design elements. Pedestrian trail and view corridors span the project from the west to east edges of the property, providing connections through the community to these prominent open space features. The Jordan Promenade Waterfront Park and the Hot Springs Greenway Park are each comprised of large open tracts of land that create the backbone of the parks and open space offerings in the Jordan Promenade community. The open space situated around these unique features provide for buffering and protection of the natural systems and create a meaningful recreational experience to be enjoyed by residents of the community and the City of Saratoga Springs.

The Jordan Promenade Waterfront Park and the Hot Springs Greenway Park provide passive and active recreation opportunities along these open space corridors. Trailhead and active-use destinations are located along the banks of the river and hot springs corridor for residents to easily access the park features and waterways. Trailhead areas provide vehicle parking lots, restrooms, river access for light water craft such as kayaks and standup paddle boards, and active-use areas with recreation features such as playgrounds, pavilions and manicured lawns. The trailhead and active-use areas provide links to paved and soft surface trail corridors that meander through native areas along the banks of the Jordan River and hot springs channels. Interpretive features and gathering areas, focused on wildlife and environmental education, are situated along the river and hot springs corridor trails to enrich the community's understanding of the natural environment.

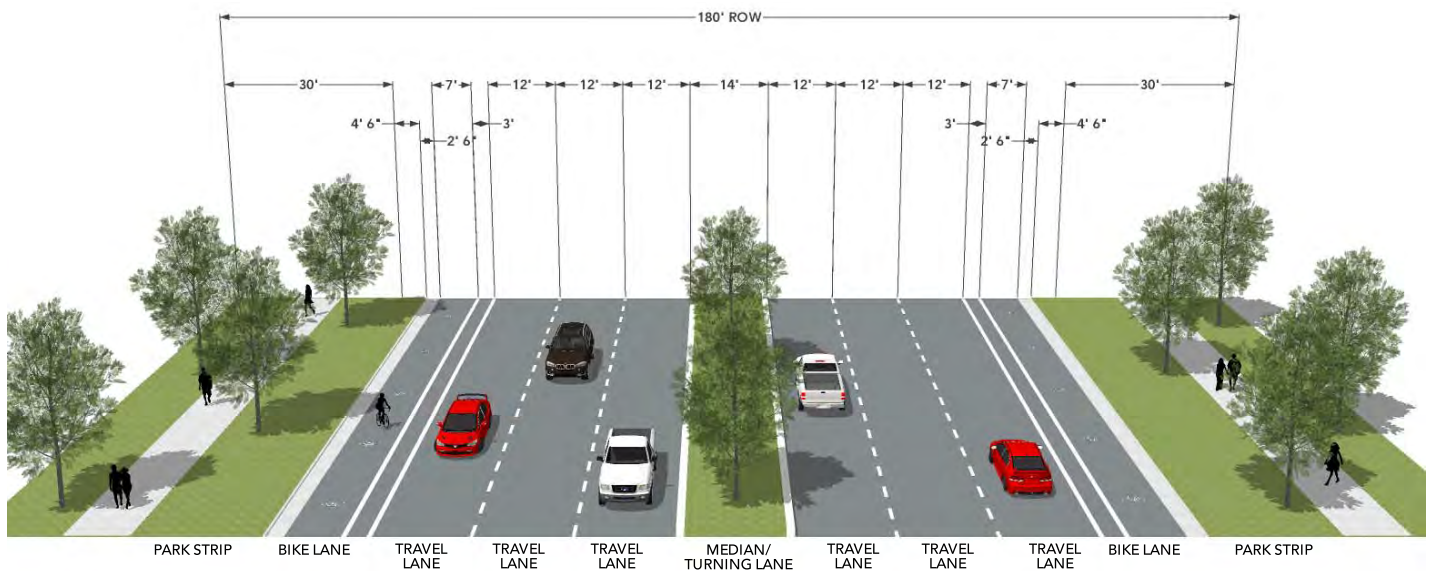
Neighborhoods in each development phase provide a variety of civic and recreational opportunities, including centrally located pocket parks, meeting house sites, a school site, and a regional sports park and municipal complex, all linked by pedestrian trail and sidewalks connecting each area of the community and the Jordan Promenade Waterfront Park and the Hot Springs Greenway Park. Larger neighborhood park amenities are located along the hot springs and Jordan River corridors to further enhance the recreational and open space amenities in those areas. Through the combination of the pocket park and neighborhood park amenities, internal and perimeter pedestrian trails and sidewalks, and the vast park and open space areas along the Jordan River and hot springs corridor, residents can easily access all the amenities offered throughout the community.

The diverse social, civic, and recreational opportunities planned for the Jordan Promenade community promote a healthy and active lifestyle and attract residents from all economic, social, and age groups. To address this wide range of demands, each neighborhood in the community integrates a variety of housing product and lifestyle options, including townhomes, cluster/patio homes, and traditional single-family homes. This variety promotes a vibrant cross-section of residents and a mix of housing product, providing a diverse streetscape that is less dominated by driveways and garage doors. Each housing product is further accentuated by front porches that encourages interaction among neighbors, thus creating a sense of community.

Community-Wide Systems: Transportation & Streets

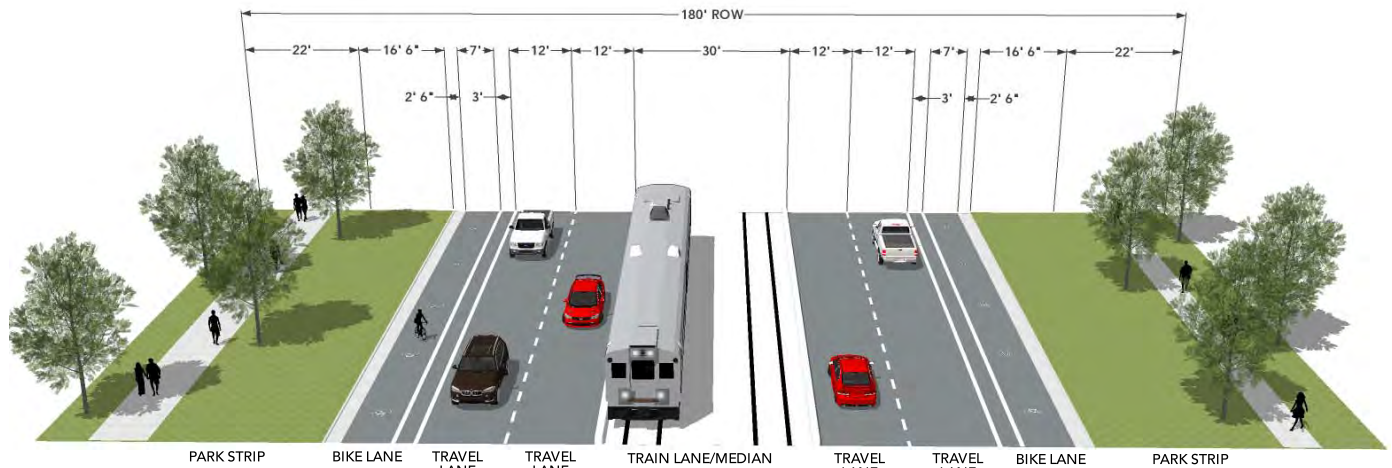
Jordan Promenade will be serviced by a network of both existing and newly constructed roadways to provide access to the proposed development areas. Following is a summary of the existing and proposed road types as well as descriptions regarding their utilization:

- **Principal Arterial Roadway - 180' Right of Way:** Jordan Promenade is bordered on the north by Pioneer Crossing Parkway and on the west by Redwood Road, which are both listed as Principal Arterial Roadways in the Saratoga Springs Transportation Master Plan 2040 Proposed Network. A summary of the improvements necessary to carry out the intent of the Community Plan are detailed in the provided Traffic Impact Study (Appendix A). Subsequent Village Plan applications will provide updates to the Traffic Impact Study that further clarify improvements required with each phase of development.



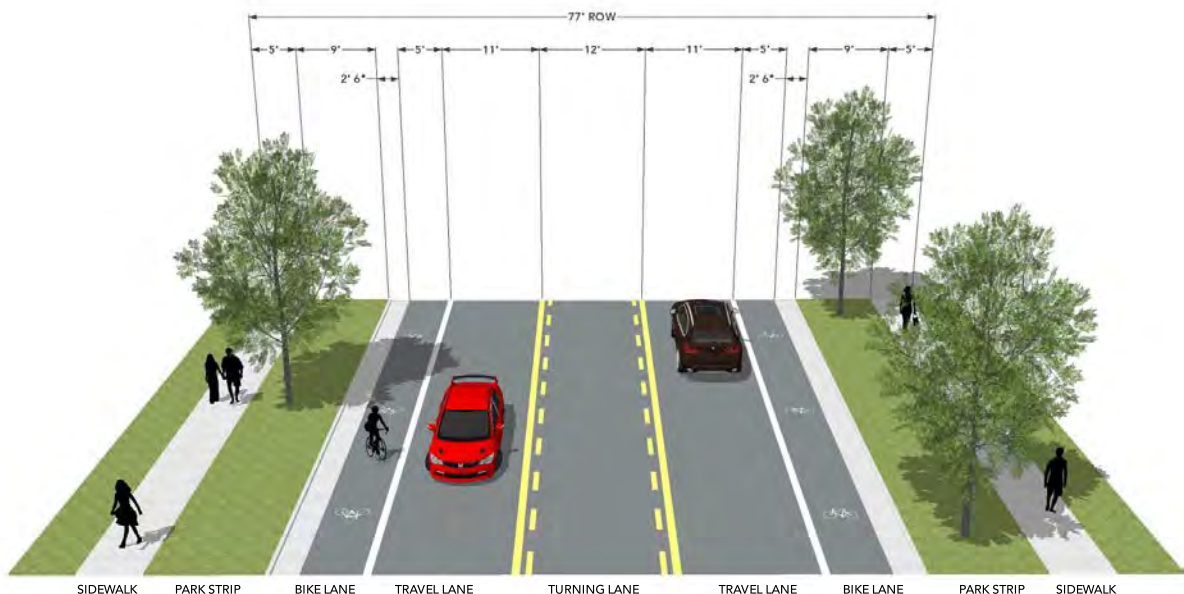
Pioneer Crossing/Redwood Road (TYP.)

- Major Arterial Roadway – 180' Right of Way:** Jordan Promenade is bisected east to west by the proposed Pony Express Parkway corridor, which is listed as a Major Arterial Roadway in the Saratoga Springs Transportation Master Plan 2040 Proposed Network. A summary of the improvements necessary to carry out the intent of the Community Plan are detailed in the provided Traffic Impact Study (Appendix A). Subsequent Village Plan applications will provide updates to the Traffic Impact Study that further clarify improvements required with each phase of development. A transit corridor is planned for future UTA connectivity on this roadway.



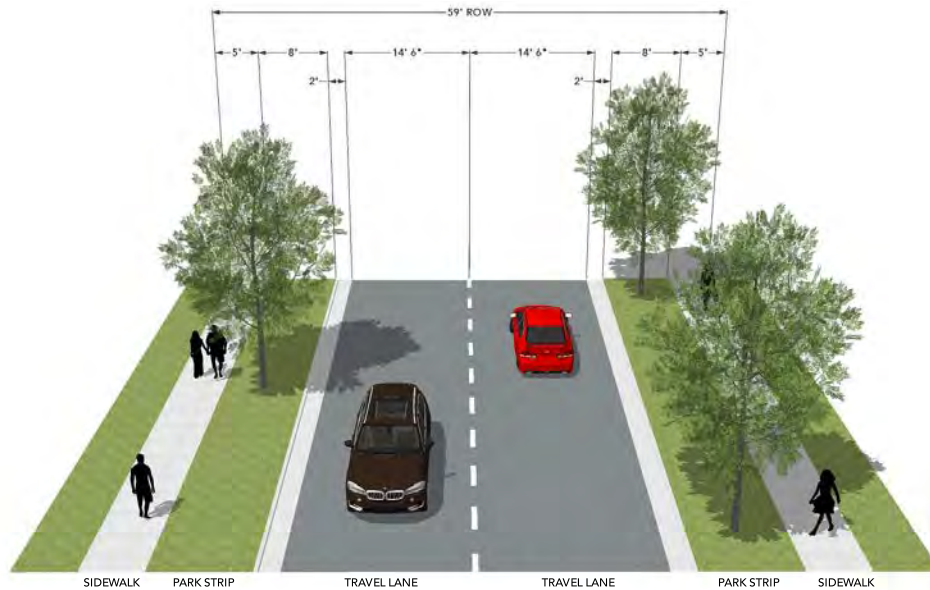
Pony Express Parkway (TYP.)

- Collector Roadway – 77' Right of Way:** The Jordan Promenade will be bisected north to south by the existing Riverside Drive corridor, which is listed as a Collector roadway in the Saratoga Springs Transportation Master Plan (2040 Proposed Network). A summary of the improvements necessary to carry out the intent of the Community Plan are detailed in the provided Traffic Impact Study (Appendix A). Subsequent Village Plan applications will provide updates to the Traffic Impact Study that further clarify improvements required with each phase of development.

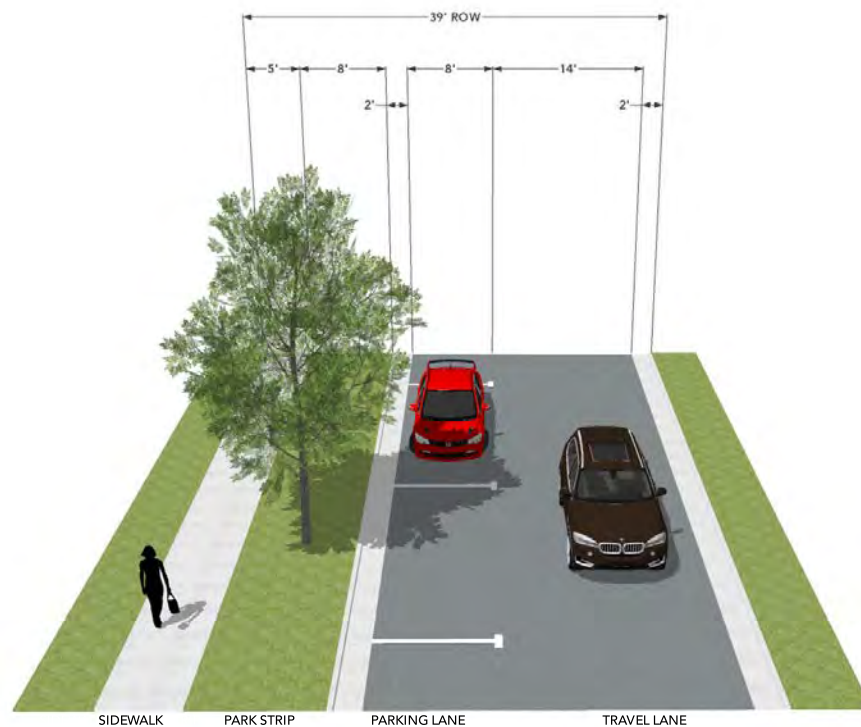


400 North/400 South/Riverside Drive (TYP.)

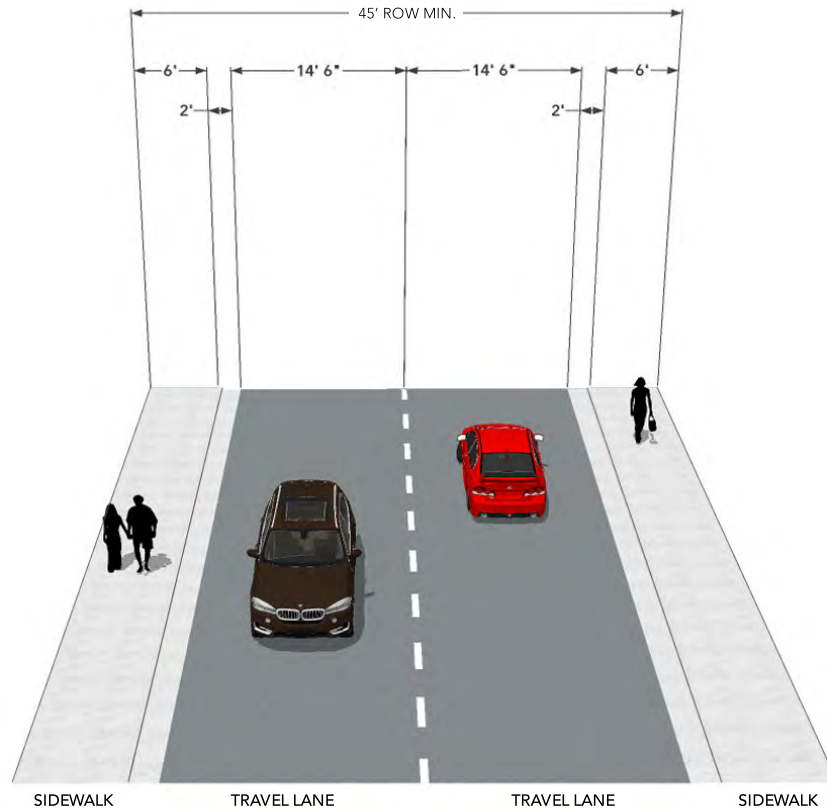
- **Local Roadway – 59' Right of Way:** Jordan Promenade will service the various internal development areas with Local Roadway corridors. A summary of potential access points and use of local roadways necessary to carry out the intent of the Community Plan are detailed in the provided Traffic Impact Study (Appendix A). Subsequent Village Plan applications will provide updates to the Traffic Impact Study that further clarify improvements required with each phase of development.



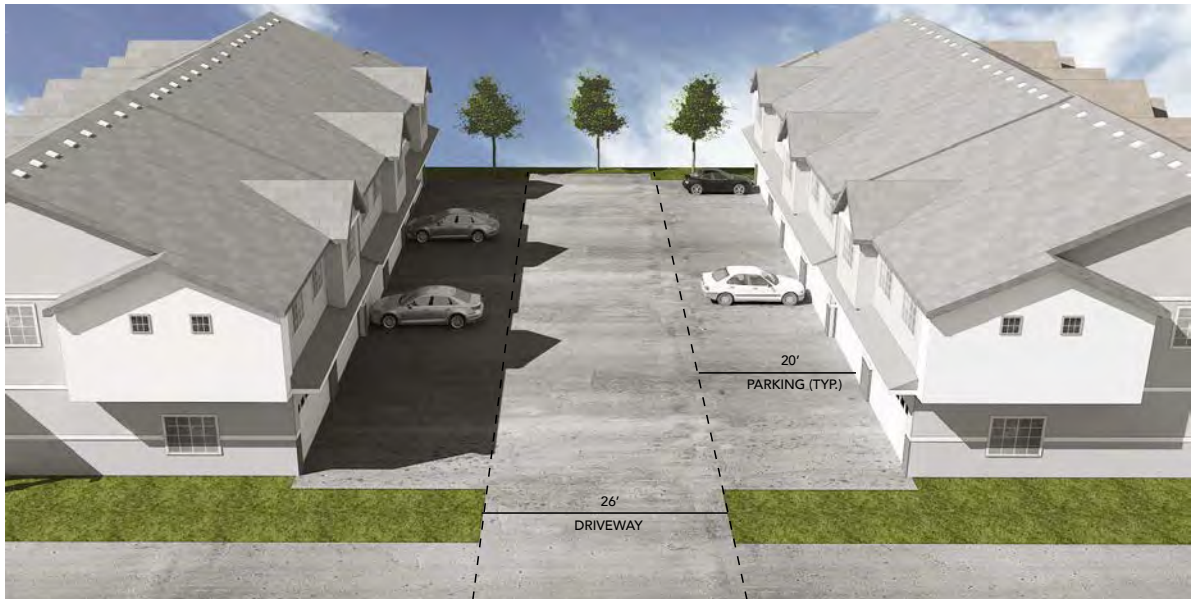
- **Local One Way Roadway – 39' Right of Way:** Jordan Promenade will service the various internal development areas with Local Roadway corridors and in some instances will have one-way roads that border both sides of a greenway or park area.



- Private Roadway – 45' Right of Way (min.):** Jordan Promenade will service selected neighborhoods with private roadway corridors. Private roadways may be constructed with roll curbs in place of the City standard and allow for a 6' attached walk with no park strips. Access to private roadways may be limited by a controlled-access, automated vehicular gate system utilizing a keypad, gate fob, or other device to allow access to residents of the gated neighborhood. Gates shall have receivers, and fire apparatus shall have transmitters at the developers expense.



- **Townhome Private Alley – 26' Driveway:** Jordan Promenade proposes townhome enclaves in the residential development areas that provide access to driveways and garages via private alley roadways. The alleys will accommodate resident and emergency vehicle access to each unit and will also provide easements for wet and dry utilities. Village Plan applications will provide design of the specific engineering improvements required with each phase of development.



- **Cluster Home Private Drive – 30' Utility Easement and 16' Driveway:** Jordan Promenade proposes single family cluster homes in the residential development areas that provide access to garages and guest parking spaces via a shared private drive. The driveways will accommodate resident access to each unit and will also provide easements for wet and dry utilities. Emergency vehicles will be able to service the cluster homes from adjacent local street right-of-ways, as the distance to the rear residential units does not exceed emergency service criteria.



Community-wide Systems: Project Open Space, Parks, Trails, & Recreation

The development characteristics of the Jordan Promenade Community Plan mirrors the “Traditional Neighborhood” place type and corresponding range of open space types and sizes, comprising 18% to 24% of the project area, identified in the City Center District Area Plan. The Jordan Promenade Waterfront Park and the Hot Springs Greenway Park constitute the backbone of the community’s park and open space network. These prominent open space features provide large open tracts of land offering passive and active recreation opportunities located along the banks of the river and hot springs corridor. Trail head and active-use destinations located along the banks of the river and hot springs corridor provide vehicle parking lots, restrooms, river access for light water craft such as kayaks and standup paddle boards, and recreation features such as playgrounds and pavilions. Paved and soft surface trails meander through native areas along the banks of the Jordan River and hot springs corridor, accented by interpretive features and gathering areas focused on wildlife and environmental education to enrich the community’s understanding of the natural environment.

Neighborhoods in each development phase provide a variety of civic and recreational opportunities, including centrally located neighborhood and pocket parks, meeting house sites, a school site, and a regional sports park and municipal complex. Ancillary open space areas provide additional amenities including; parkways with tree lawns and landscape buffers, neighborhood entry parks with themed signage and accent landscaping, community gardens, and pedestrian connector trails and sidewalk linkages to each area of the community and the Jordan Promenade Waterfront Park and the Hot Springs Greenway Park. Other features provided in and around the community include meeting houses, an elementary school site with playgrounds and recreation fields, regional sports complex, a future municipal complex, and multiple mixed-use commercial sites that are walkable from nearby neighborhoods.

The following explanations define how the Jordan Promenade Community Plan meets each open space criteria and guideline outlined in the City Center District Area Plan:

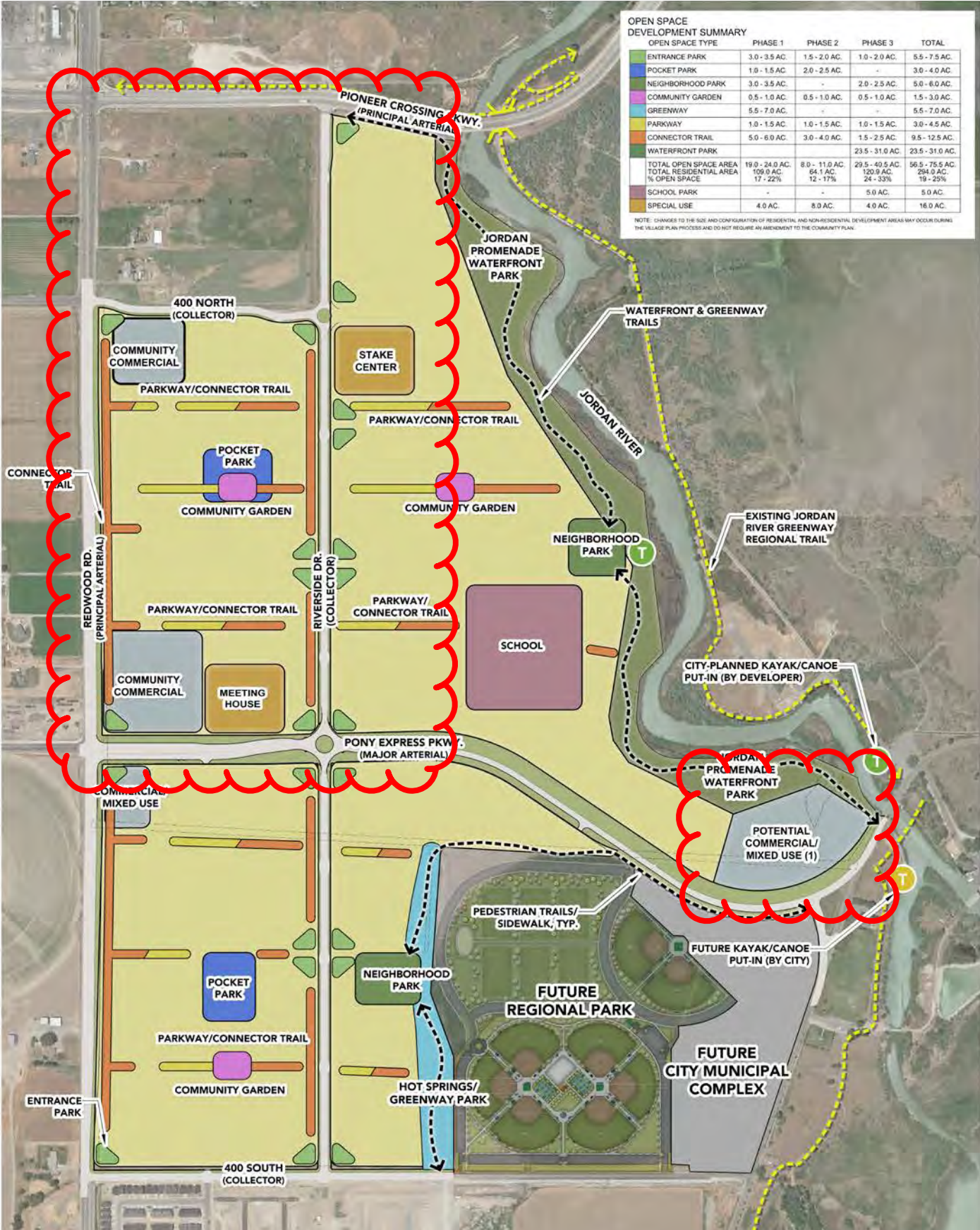
1. **Create intimate places** – Entrance parks, pocket parks and community garden areas are located throughout the community to provide open space experiences that encourage community interaction and are easily accessible to the public.
2. **Encourage higher intensity use per park** – Pocket parks are programmed with amenities to suit a range of activities to meet the demand of each demographic living in the community (i.e. children and youth, active adult, gardening and healthy lifestyle, etc.). Neighborhood parks provide heavily programmed sites with features such as clubhouses, sport courts, swimming pools, and recreational fields. Riverfront and greenway areas provide many opportunities to recreate along the vibrant waterways of the community.

3. **Easy access for pedestrians** – All open space areas of the community are connected through a robust system of trail corridors and sidewalks along public streets. Access is provided through neighborhoods to connect pedestrians to the Jordan River and hot springs trail corridor that serves as the focal point of the community open space network.
4. **Surround with development that supports the use of the public space** – Open space areas are centrally located in each neighborhood and in multiple locations along the Jordan River and hot springs corridors easily accessed by the public.
5. **Know the community needs** – Each open space type in the community is thoughtfully programmed to provide a variety of experiences that suit the varied recreational needs of the residents. Parks throughout the community are programmed with amenities to suit a range of demographics (i.e. children and youth, active adult, gardening and healthy lifestyle, etc.).
6. **Create a destination** – Jordan Promenade provides a well-planned offering of recreational amenities designed in concert with a community identity and theme centered around the natural beauty of the area.
7. **Locate in areas of high visibility** – Parks and open space areas are situated along major community roadways, trail corridors, and view sheds that accentuate eastward connections to the Jordan River, hot springs corridor, and Utah Lake.

The Open Space Plan (see Exhibit 4, page 23) shows anticipated locations and size ranges of open space types in each project phase. Subsequent Village Plan applications will specify sizes and locations of the open space features and the detailed design of open space areas. The designation of open space types shown in the plan are situated to provide trail connections and view corridors throughout the community. Trail connections are designed to link residents to various open space types, neighborhoods, and recreational amenities. The extensive trail system will be composed of pedestrian sidewalks or approved hard surface trail materials where appropriate. The Trails & View Corridor Plan (see Exhibit 5, page 24) illustrates major trail connections and view corridors along linear open space types and meandering pathways within significant locations, including the Jordan River and hot springs corridor. The following open space types, as defined in the City Center District Area Plan, are being provided to meet the open space requirements of the Community Plan:

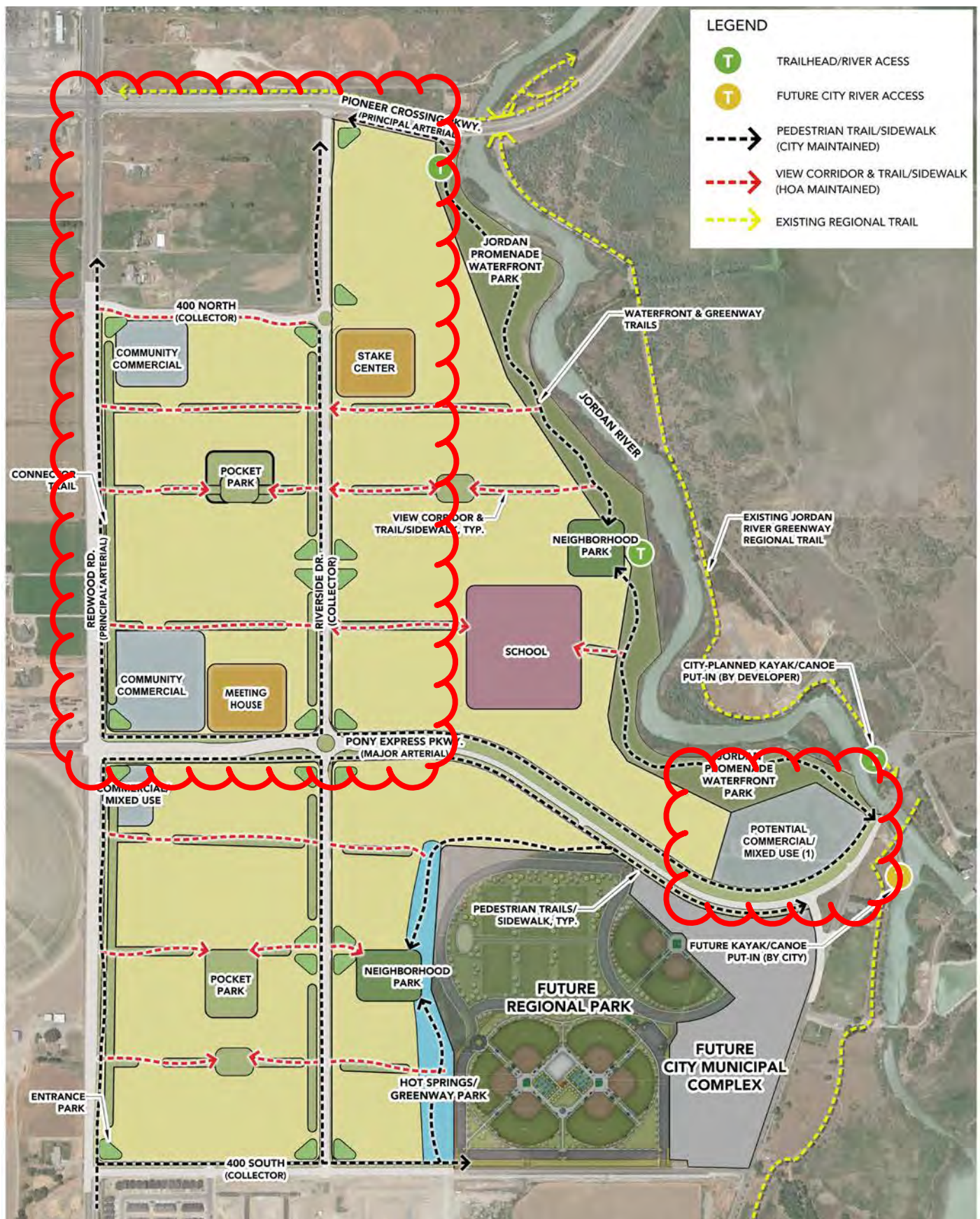
- Entrance Park
- Pocket Park
- Neighborhood Park
- Waterfront
- Community Garden
- Greenway
- Parkway
- Connector Trail
- School Park
- Special Use

EXHIBIT 4 - OPEN SPACE PLAN



NOTE:
1) THE "POTENTIAL COMMERCIAL / MIXED-USE" AREA IS LOCATED ON LAND CURRENTLY EXHIBITING WETLAND CHARACTERISTICS RESULTING FROM LONG-TERM FARMING AND IRRIGATION PRACTICES. A JURISDICTIONAL DETERMINATION FOR WETLANDS HAS NOT BEEN MADE AT THIS TIME AND THE POSSIBILITY TO REMAINS THAT ONCE FARMING PRACTICES CEASE ON THE PROPERTY THAT THE WET CONDITIONS CAN BE MITIGATED.

EXHIBIT 5 - TRAILS & VIEW CORRIDORS PLAN

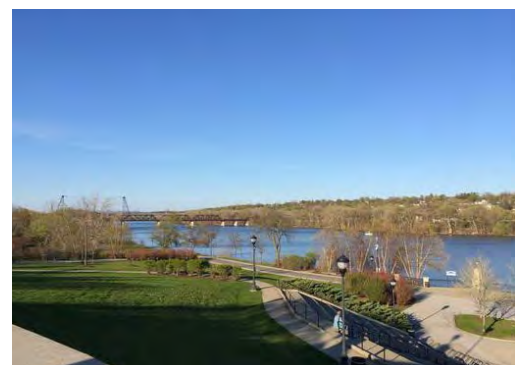


NOTE:

1) THE "POTENTIAL COMMERCIAL / MIXED-USE" AREA IS LOCATED ON LAND CURRENTLY EXHIBITING WETLAND CHARACTERISTICS RESULTING FROM LONG-TERM FARMING AND IRRIGATION PRACTICES. A JURISDICTIONAL DETERMINATION FOR WETLANDS HAS NOT BEEN MADE AT THIS TIME AND THE POSSIBILITY TO REMAINS THAT ONCE FARMING PRACTICES CEASE ON THE PROPERTY THAT THE WET CONDITIONS CAN BE MITIGATED.

Project Open Space Types

- **Entrance Park:** Formal delineation of a residential community entrance through landscaping and monumentation. It provides passive uses and creates neighborhood identity.
- **Pocket Park:** Small and frequent, generally with passive recreation that ensures walkable green space access for everyone. May contain specialized facilities that serve a concentrated or limited population or group such as tots, pets, or senior citizens.
- **Neighborhood Park:** The neighborhood park remains the basic unit of the park system and serves as the recreational and social focus of the neighborhood. The focus is on informal active and passive recreation. The park should be centrally located within the neighborhood. Frequently these parks are developed adjacent to civic uses such as an elementary school.
- **Waterfront:** Waterfront space serving as public access to open water. It is located with community and regional access in mind. Uses include trailheads, personal watercraft put-ins, walking paths, day picnicking, and fishing.



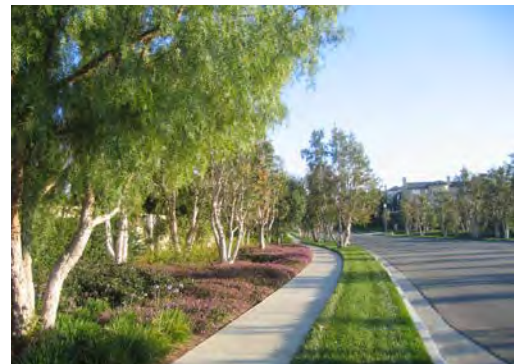
- **Community Garden:** Space programmed specifically for gardening. Located in the center of a neighborhood to provide convenient and safe access. Often times included in pocket parks and neighborhood parks. They are a valued asset in urban areas, where residential yards are rare.



- **Greenway:** The space is located around or within a natural resource area (i.e. stream or wetland) but is user-based in function. Uses include nature viewing and study, modal sport recreation, and also function as connections within the larger park system allowing uninterrupted pedestrian movement. Corridor width 25-200 feet with 50 feet a standard minimum.



- **Parkway:** Urban streets that provide comfortable and safe pedestrian and cyclist connections. May include landscaped center median, large shade trees, on or off street bikeways, and seating.



- **Connector Trail:** Secondary public connections for pedestrians and cyclists. Located as mid-block connections between park spaces. Typically less than 30 feet in width with minimal landscaping.



- **School Park:** School site that can be classified as fulfilling specific public space requirements for other classes of parks such as neighborhood, community, sports complex, and special use. Joint-use agreement required.

Location: Village 2



- **Special Use:** Covers a broad range of parks and recreation facilities oriented toward single-purpose use. Special uses generally fall into three categories: Historic, Cultural, and Social Sites. Examples include: historic downtown areas, performing arts parks, arboretums, ornamental gardens, indoor theaters, meeting houses, public buildings, and amphitheaters. Recreational facilities, either specialized or single-purpose facilities, also fall into the special use category. Examples include: community centers, senior centers, hockey arenas, marinas, golf courses and aquatic parks. Frequently, community buildings and recreational facilities are located within neighborhood and community parks.

Location: Villages 1, 2, 3



Project Open Space & Parks Management Plan

The Open Space Plan, along with the Trails & View Corridors Plan, identifies recreational improvements for each of the three proposed villages. Following is a list of proposed improvements for each pocket park, neighborhood park, and the major greenway and waterfront open space parks. All open space amenities and improvements will be constructed by the developer. Improvements listed below as private will be dedicated to and maintained by the HOA¹, and improvements listed as public will be dedicated to and maintained by the City.

Parks shall be designed and constructed in conjunction with the platting and construction of adjacent neighborhood areas. The overall total open space area provided in the community plan complies with the required open space range of 18-24% for the "Traditional Neighborhood" use in the City Center District Area Plan. Individual Village Plans may provide more, or less than, the overall specified range. The proposed park sizes and amenities are subject to change during the Village Plan process.²

1. Phase 1 - Pocket Park

Private:

Constructed by: Developer

Maintained by & Dedicated to: HOA

Accessible to: Residents only

Possible (but not required) Amenities include:

- a. Shade structure
- b. Tot lot/playground
- c. Volley ball
- d. Horse shoe pits
- e. Benches/picnic tables

2. Phase 1 - Neighborhood Park³

Private:

Constructed by: Developer

Maintained by & Dedicated to: HOA

Accessible to: Residents only

- a. Swimming pool
- b. Tot lot/playground

3. Phase 1 - Hot Springs Greenway

Public:

Constructed by: Developer

Maintained by & Dedicated to: City

Accessible to: Public

Possible (but not required) Amenities include:

- a. Fitness/activity nodes
- b. Site furnishings (benches/trash receptacles/bike racks/picnic areas)
- c. Pedestrian bridge connection to regional park

Private:

Constructed by: Developer

Maintained by & Dedicated to: HOA

Accessible to: Residents only

- a. Walking trails

4. Phase 2 - Pocket Park

Private:

Constructed by: Developer

Maintained by & Dedicated to: HOA

Accessible to: Residents only

Possible (but not required) Amenities include:

- a. Splash pad
- b. Shade structure
- c. Tot lot/playground
- d. Horse shoe pits
- e. Community garden

5. Phase 3 - Jordan Promenade Waterfront Park

Public:

Constructed by: Developer

Maintained by & Dedicated to: City

Accessible to: Public

Possible (but not required) Amenities include:

- a. Trailhead and parking lot
- b. Fitness/activity nodes
- c. Site furnishings (benches/trash receptacles/bike racks/picnic areas)
- d. Pedestrian bridge connection to regional park
- e. River put-in locations

- f. River bank and habitat restoration
- g. Community gardens
- h. Dog park

6. Phase 3 - Neighborhood Park

Public:

Constructed by: Developer

Maintained by & Dedicated to: City

Accessible to: Public

Possible (but not required) Amenities include:

- a. Tot lot/playground

Private:

Constructed by: Developer

Maintained by: HOA

Accessible to: Residents only

Possible (but not required) Amenities include:

- a. Pool and/or splash pad
- b. Clubhouse and/or fitness building
- c. Pickleball/Tennis courts

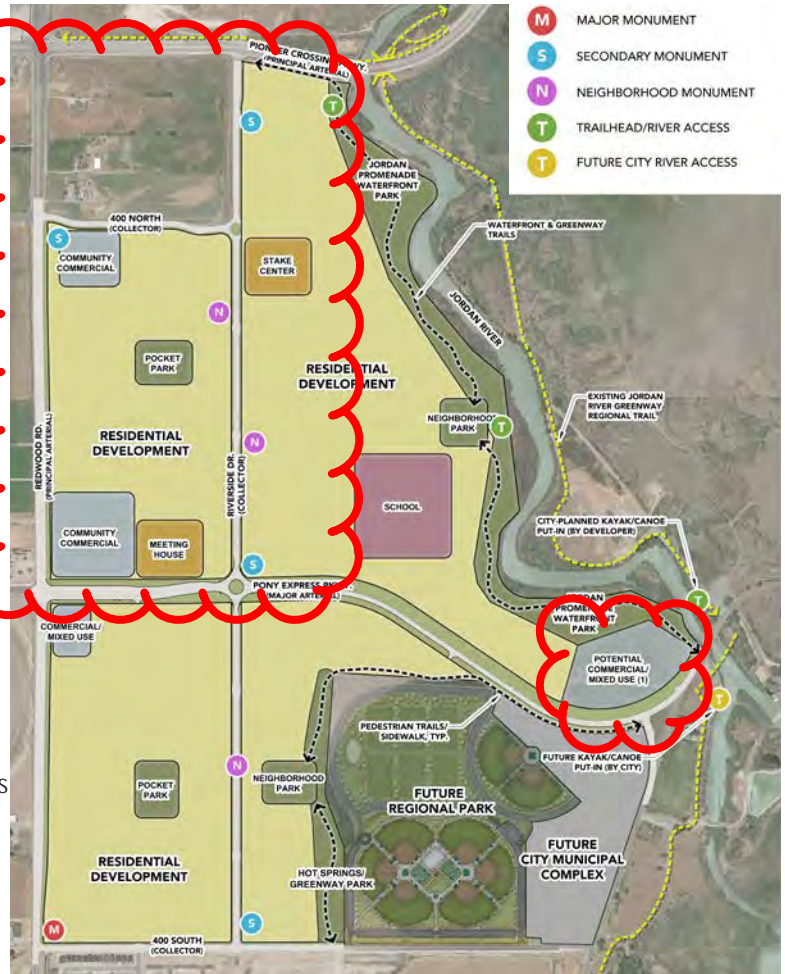
¹The HOA shall include language in the CC&Rs allowing some limited overnight guest parking.

²Subsequent Village Plans for each phase will contain adequate and proportionate open space and amenities for that phase. Open space can be provided as improved areas along the Jordan River if not provided in the immediate village area.

³The Neighborhood Park will be maintained by an HOA if it is not contiguous with City property.

Community Landscape Theme: Community Signage

Jordan Promenade establishes a theme for project monuments and signage that embodies the rustic and natural appeal of the Jordan River and the Utah Lake area. Community signage is located strategically throughout the community to identify main project entry areas as well as individual neighborhoods. Three levels of project signage are planned for the overall development; locations for each sign type are identified on the Land Use Master Plan (see Exhibit 3, page 14). Subsequent Village Plan applications will provide detailed layout and design for the proposed project signs. Following are descriptions of each proposed sign type accompanied by conceptual sign elevations and plans that are subject to change and refinement during the Village Plan process.



Proposed community signage will have separate permits approved at the time of installation. The proposed community signage shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07. All monument signage logos and lettering may be internally lit.

- **Major Entryway Monument:** This sign type is located at major entry points along bordering principal and arterial roadways and will serve as gateway features to the community. The signage features consist of tower features up to 20' in height accompanied by monument walls and signs that are visible from a distance.



Option A



Option B

- Secondary Entryway Monument:**

This sign type is located at secondary entry points along bordering arterial and collector roadways and will serve as gateway features to the community. The signage features consist of lower column features, up to 15' in height, accompanied by low monument walls and community signage.



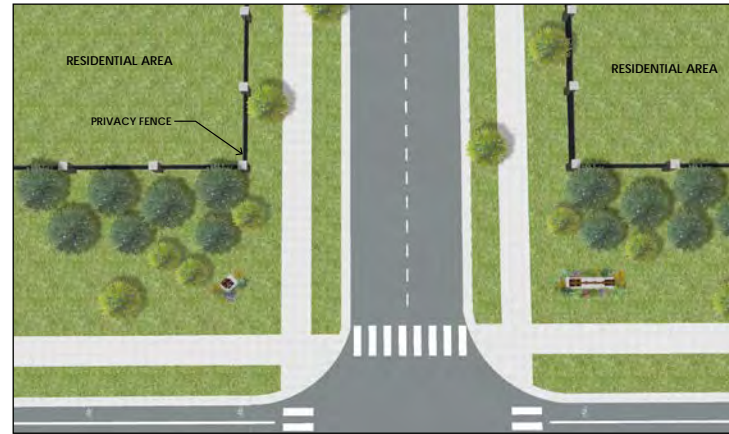
Option A



Option B

- **Neighborhood Entryway Monument:**

This sign type is located at neighborhood entry points along bordering collector and arterial roadways and serve as identification features to the individual neighborhoods in the community. The signage features consist of lower column features, up to 10' in height, accompanied by low monument walls and neighborhood signage.



Option A

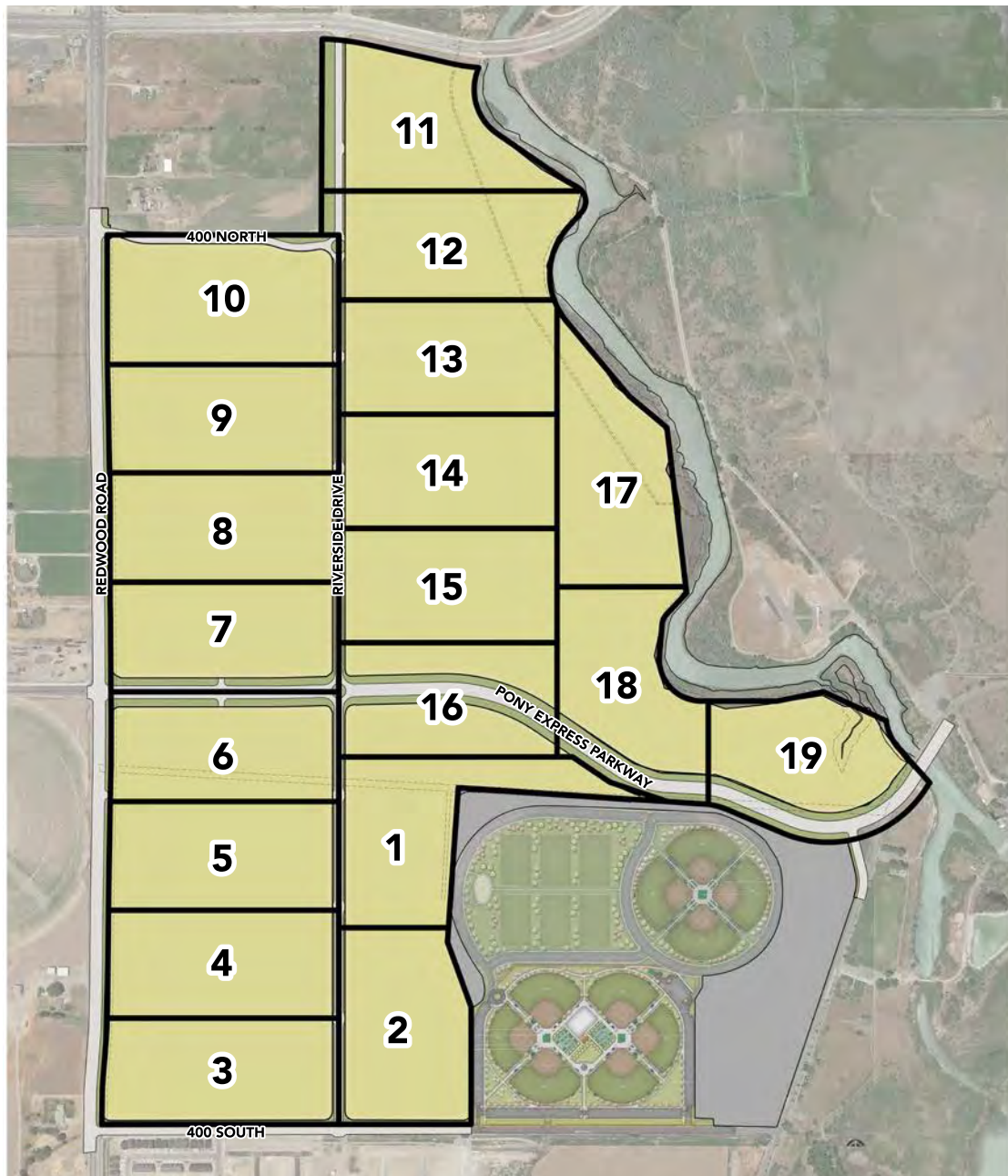


Option B

Temporary Signage

Temporary signage will be allotted according to the 19 zones shown on the Temporary Signage exhibit on this page. Each zone of 20 acres or more is permitted up to 96 SF of temporary signage as permitted under the current City signage ordinance. The 19 zones shown allow for a maximum of 1,824 SF of total signage across the community. Any single area shall be allowed the 96 SF allotment from up to two other areas for a total of 288 SF of temporary signage on a single zone, provided the maximum allowed temporary signage limit is not exceeded for the site.

A maximum of three 8'x12' signs will be permitted along Redwood Road in Zones 3-6. A maximum of three 8'x12' signs will be permitted along Redwood Road in Zones 7-10.



Community Landscape Theme: Community Landscape

Jordan Promenade establishes a consistent landscape theme that reflects the natural elements of the Jordan River and the Utah Lake area. Project entryways and developed parks will provide landscaping that is manicured and conducive to high-intensity uses while areas along the project perimeter, internal trail corridors and along the Jordan River and hot springs corridors are designed with native plant material to compliment the natural elements of the area. Subsequent Village Plan applications will provide detailed design and planting layouts for the proposed landscape treatments. Following are general descriptions of the proposed landscape treatments for various project areas, which are subject to change and refinement during the Village Plan process.

Proposed community landscaping and fencing shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.06.

- **Project Entryway Landscape:** Landscaping at major project entry points incorporates irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to accent the entryway monument areas as well as the vehicular and pedestrian access points leading into the community.



- **Pocket Park and Neighborhood Park Landscape:** Landscaping at pocket parks and neighborhood parks incorporates treatments that are conducive to high-intensity uses and that provide a manicured appearance. Landscape treatments include irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to provide open areas for recreation, buffering to adjacent roadways and structures, as well as shaded areas around passive uses and features such as playgrounds.



- **Project Perimeter, Trail Corridors, and Natural Area Landscape:** Landscaping along the project perimeter, internal trail corridors, and along the Jordan River and hot springs corridor reflects the natural appeal of the Jordan River and the Utah Lake area. Native grasses accented by wildflowers are planted adjacent to trail corridors and pedestrian walkways. Native deciduous and evergreen shrub and tree plantings are dispersed throughout the native areas to buffer existing roadways and perimeter fence lines and to provide transition from manicured park areas to the banks of the Jordan River and the hot springs corridor bordering the west edge of the community.



Community Landscape Theme: Fencing & Site Furnishings

Jordan Promenade establishes a consistent theme for project fencing and site furnishings that reflects the natural elements of the Jordan River and the Utah Lake area. Fencing types and site furnishings incorporate materials that complement the proposed entry monuments and overall character of the neighborhood.

- **Project Perimeter Fence:** Privacy fencing (6' tall) constructed of tan vinyl or Trex material is proposed along perimeter arterial roadways with regularly spaced stone columns in a style that relates to the character and theme of project entry features.



- **Internal Privacy Fence:** Privacy fencing (6' or 8' tall) constructed of tan vinyl material is proposed along internal collector roadways with stone columns located at boundary corners in a style that relates to the character and theme of project entry features.



- **Open Space Fence:** Two options for open space fencing are proposed along internal trail and open space corridors, on property lines adjacent to open space tracts, and along the Jordan River and hot springs park. Stone columns are located at boundary corners in a style that relates to the character and theme of project entry features.



1. Vinyl Rail Fencing

3 to 4 rail fencing (min. 3.5' tall) constructed of tan vinyl or wood material.

2. Ornamental Metal Fencing

Black metal ornamental fencing (min. 3.5' tall).



- **Site Furnishings:** Benches, trash and recycling receptacles, pedestrian lighting, and other proposed site furnishings will be provided in a style that relates to the overall character and theme of the project.



REGIONAL COMMERCIAL

The Community Commercial and Mixed Use areas shown on the Land Use Master Plan (see Exhibit 3, page 14) are situated in areas of the Community Plan that are walkable from neighborhoods within the development and that are easily accessible to residents of Saratoga Springs. Community Commercial and Mixed-Use development will adhere to the Saratoga Springs Municipal Code and design guidelines. Specific development criteria for these areas will be submitted for review with future Village Plan applications separate from the residential Village Plan applications. Oakwood Homes of Utah, LLC will work closely with the commercial developer, Suburban Land Reserve, to provide commercial and mixed-use development that complements the overall community.

EQUIVALENT RESIDENTIAL UNIT TRANSFERS

An Equivalent Residential Unit (ERU) is defined by the Saratoga Springs Municipal Code as a unit of measurement to evaluate development impacts on public infrastructure including water, sewer, storm drainage, parks, roads and public safety of proposed residential and commercial land uses. Every residential and commercial unit is a minimum of one ERU.

Since build-out of the Jordan Promenade development will occur over many years, flexibility is necessary to respond to market conditions, site conditions, and other factors. Therefore, residential density ERUs may be transferred within the project, and to areas outside the project within the DAP boundary, as necessary to improve design, accessibility, and marketability.

The City acknowledges that the master developer shall have the ability in its reasonable business judgment to transfer ERUs between residential areas within the project upon written notice to the City and delivery to the City of written consent of the property owners of the neighborhoods which are sending and receiving such densities (if different from the master developer), so long as any such transfer adheres to the following standards:

- a. The overall intent and character of the Community Plan shall be maintained and the transfer of ERUs shall not materially alter the nature of each land use, land use designation, or district established in the Community Plan.
- b. The maximum number of ERUs established in the Community Plan for all residential neighborhoods shall not exceed 1,900 as shown in the Build-out Allocation Map (see Exhibit 6, page 42).
- c. The maximum number of Community Commercial and Mixed Use ERUs shall be established at time of Village Plan and shall be subject to the Saratoga Springs Municipal Code.

- d. The method to transfer ERUs shall be established within the Community Plan, provided that the transfer of ERUs into or out of any land use designation or district established in the Community Plan shall not exceed 15% without approval of the City Council. In no case shall the transfer of ERUs into or out of any land use designation or district exceed 20% of that established in the Community Plan.
- e. ERUs may not be transferred from a more intensive into a less intensive land use designation or district established in the Community Plan such that it exceeds the underlying maximum density and intensity limits.
- f. ERUs may not be transferred into any open space, park, or school unless said use is replaced elsewhere within the same district.
- g. Density transfers will be finalized during the Village Plan process.

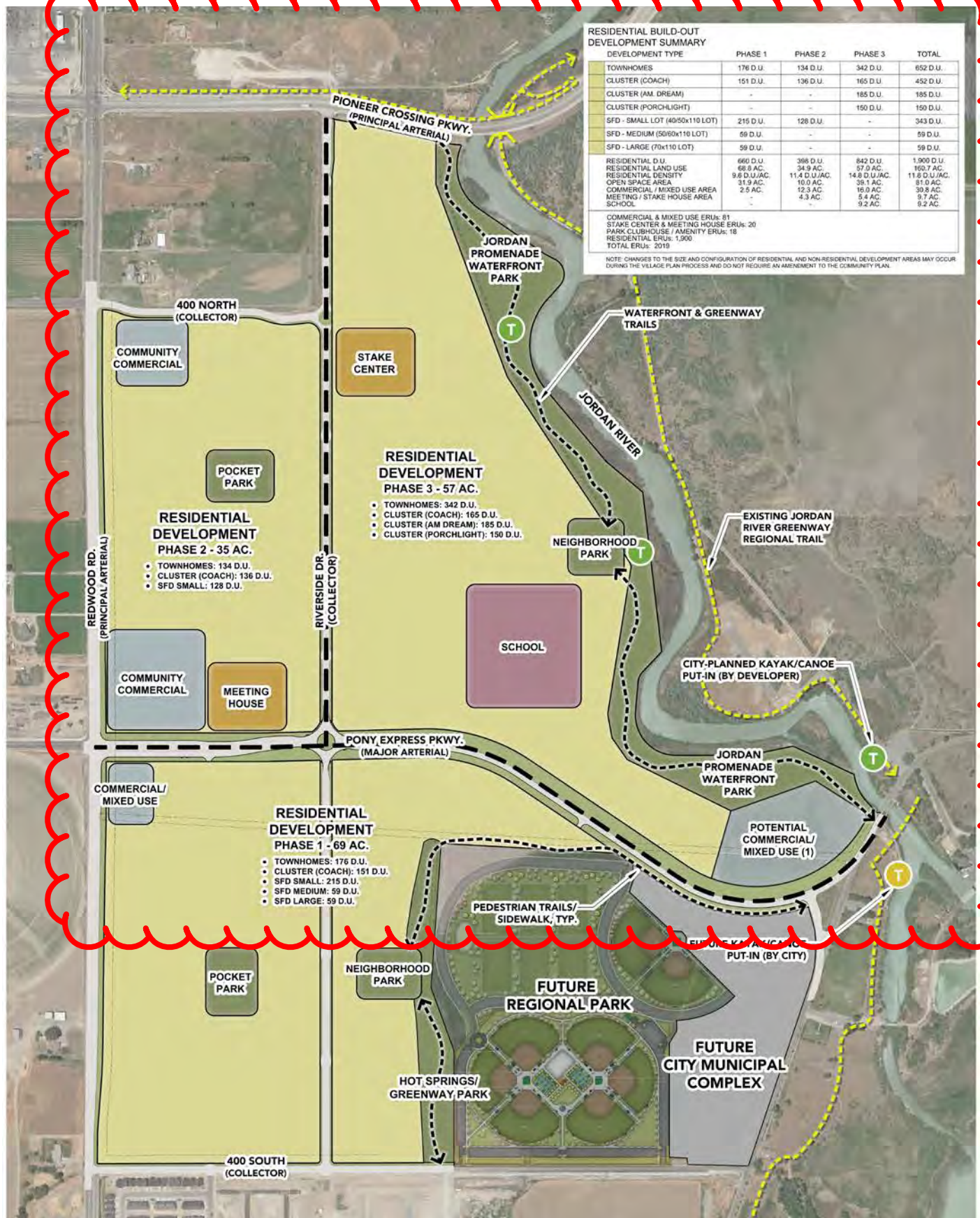
RESIDENTIAL BUILD-OUT ALLOCATION

Jordan Promenade provides housing types that offer a variety of architectural styles, price points, and lifestyles to appeal to a broad range of potential buyers. The residential development areas shown on the Build-out Allocation Map (see Exhibit 6, page 42) will include single family detached homes, single family cluster homes, and townhomes. Single family lot sizes range from 4,000 square feet to 8,000 square feet, depending on the style of home. Cluster Homes are designed in groups of 4 to 6 homes situated on a shared driveway that is maintained, along with front-yard landscaping, by an HOA. Townhomes will be planned in small groups of buildings integrated into the overall community that are accessed from alleyways behind the buildings that provide guest parking. Each housing style will be available in a variety of colors, styles, and sizes in each neighborhood to allow for many product options for new residents.

Homes are located within the development depending on their style and size, creating a natural relationship with existing and future features of the development, such as the Jordan River or new neighborhood amenities. Each neighborhood in the community integrates a variety of housing product and lifestyle options. This variety promotes for a vibrant cross-section of residents and a mix of housing product that provides for a diverse street scene, less dominated by driveways and garage doors, that is accentuated by front porches and encourages interaction among neighbors. The diverse social, civic and recreational opportunities planned for the Jordan Promenade community promote a healthy and active lifestyle and attract residents from all economic, social and age groups.

Model home complexes, for display and selling of housing products, may be built in one or more phases of the development. These complexes will be developed in two stages. In the first stage, they will be designed as parks, with landscaped open spaces taking the place of the public improvements that would normally be adjacent to each home. When the model home complex has reached the end of its useful life, the open space area will be converted to ROW and the model homes will be converted to single family lots. The entitlements process for this transition will be described at the village plan level.

EXHIBIT 6 - BUILD-OUT ALLOCATION MAP



NOTE:

1) THE "POTENTIAL COMMERCIAL / MIXED-USE" AREA IS LOCATED ON LAND CURRENTLY EXHIBITING WETLAND CHARACTERISTICS RESULTING FROM LONG-TERM FARMING AND IRRIGATION PRACTICES. A JURISDICTIONAL DETERMINATION FOR WETLANDS HAS NOT BEEN MADE AT THIS TIME AND THE POSSIBILITY TO REMAINS THAT ONCE FARMING PRACTICES CEASE ON THE PROPERTY THAT THE WET CONDITIONS CAN BE MITIGATED.

GUIDING RESIDENTIAL DEVELOPMENT STANDARDS

Small/Medium/Large Single Family Detached Homes

Min. Front Setbacks:

- To Structure: 15'
- To Covered Porch: 10'
- To Garage: 20'

Min. Rear Setbacks:

- To Structure: 15'

Min. Side Setbacks:

- Interior Side to Structure: 5'
- On Street to Structure: 10' min.

Max. Encroachments:

- Rear Porch: 5'

Building Height: As per Saratoga Springs Municipal Code.

Lot Size: Min. 4,000 sq. ft.

Lot Frontage: 35' min. measured at front setback.

Lot Coverage: 50% max.

Sight Triangle: All residential lots adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).

General Development Standards - Accessory Structures Requiring a Building Permit

Min. Setbacks:

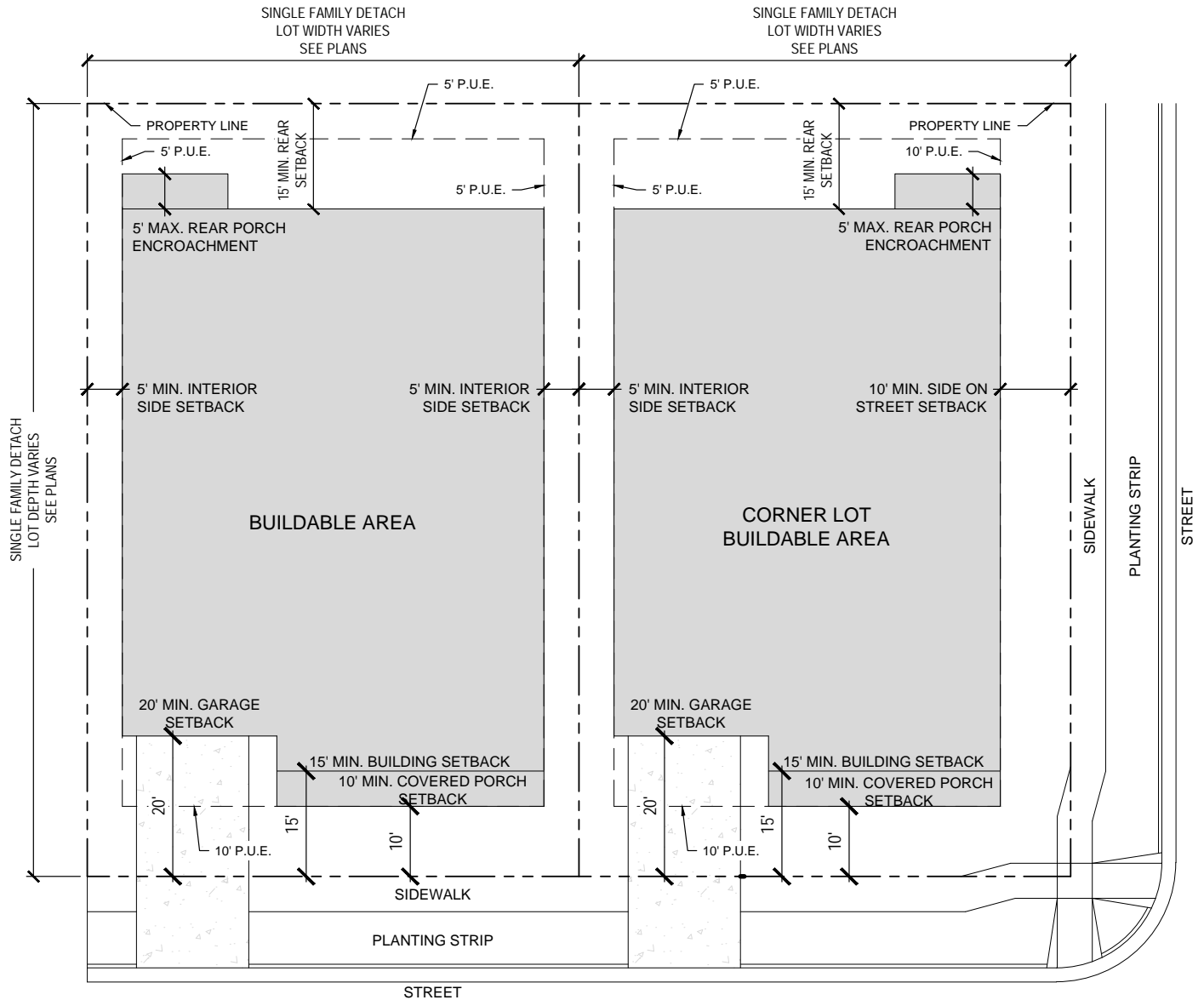
- Front Yard (same as primary structure): 15'
- Rear Yard: 5'
- Interior Side Yard: 5'
- Side On Street: 10'

Height: As per Saratoga Springs Municipal Code.

*Accessory Structures shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.05.



SINGLE FAMILY DETACHED - LAYOUT TYPICAL



*PLAN NOT TO SCALE

Townhomes

Townhomes are typically defined as a row of houses built in a similar style that share common walls with each dwelling having a separate entrance. Townhomes will be rear loaded with a shared access driveway and will face local streets or a common landscape courtyard.

Min. Front Setbacks:

- On Street to Structure: 10'
- To Structure from Common Area Property Line: 10'

Min. Garage Setbacks:

- To Alley Drive: 3' no driveway, 20' with driveway/guest parking.

Min. Side Setbacks:

- Interior Side To Structure: 5'
- On Street to Porch: 10'

Height: As per Saratoga Springs Municipal Code.

Garages: Two-car or one-car garages are allowed as per Section 19.09 of the Saratoga Springs Municipal Code.

Parking: Off-street guest parking will be provided for any product with less than a 20' driveway, at a minimum rate of 0.25 spaces per unit.

Open Space: 20% min.

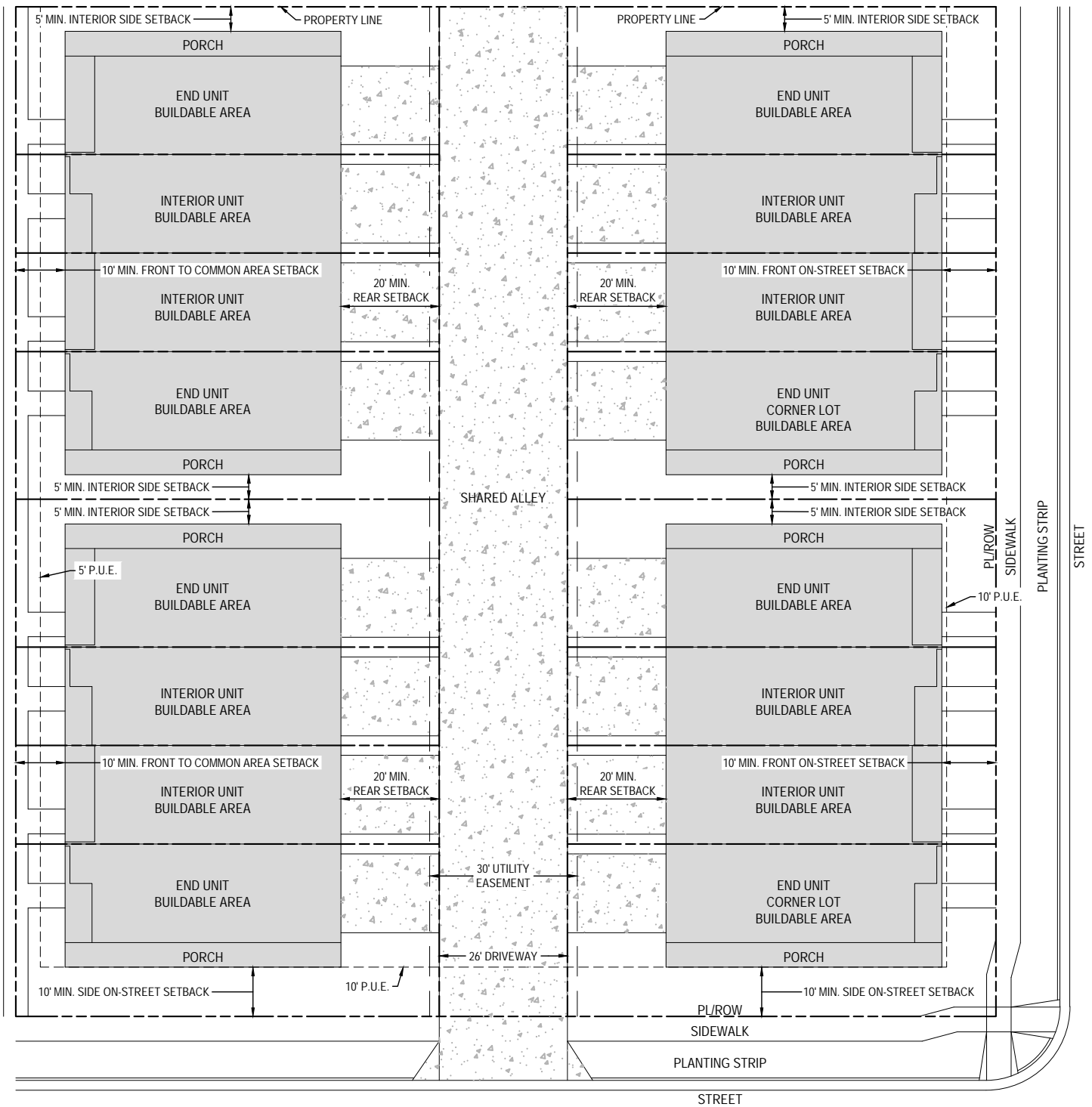
Sight Triangle: All residential lots adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).



TOWNHOMES - LAYOUT TYPICAL



TOWNHOMES - LAYOUT TYPICAL



*PLAN NOT TO SCALE

Single Family Cluster Homes - Carriage / Coach House

Cluster Homes share similar characteristics of traditional single family homes. Lot sizes are smaller and typically front a shared driveway. Typical Carriage / Coach House clusters have 4 or 6 units, but may have as few as 2 units depending on site constraints.

Min. Front Setbacks:

- On Street to Structure: 15'
- On Street to Covered Porch: 10'

Min. Rear/Interior Side Setbacks:

- To Structure: 5'

Min. Side Setbacks:

- To Structure: 5'
- On Street to Structure: 10'

Building Height: As per Saratoga Springs Municipal Code.

Min. Lot Size: 2,500 sq. ft.

Max. Lot Coverage: 60%

Min. Dwelling Size: To be determined at Village Plan.

Sight Triangle: All residential lots adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).

Garages: Two-car garages are required as per Section 19.09 of the Saratoga Springs Municipal Code.

Parking: Off-street guest parking shall be provided for any product with less than a 20' driveway at a rate of 0.5 spaces per unit. On-street parking is also available for additional public parking.

Use Easement: The use easement (see layout typical on pages 50 and 51) is for the benefit/use of the adjacent lot for maintenance purposes.



CLUSTER HOMES CARRIAGE / COACH HOUSE - TYPICAL LAYOUT



4-Unit Cluster (TYP.)

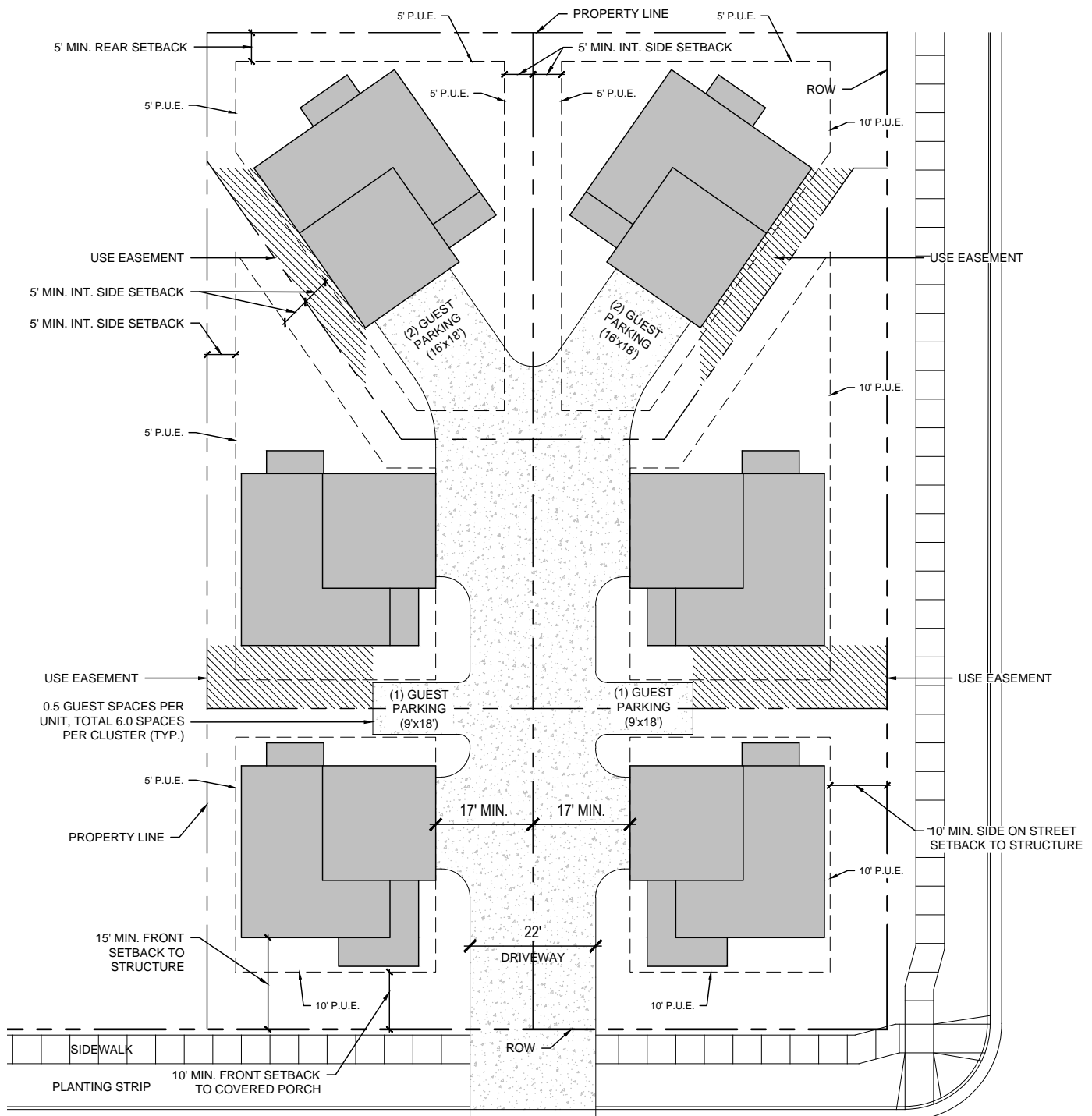


6-Unit Cluster (TYP.)

/ COACH HOUSE -



CLUSTER HOMES CARRIAGE / COACH HOUSE -6-UNIT LAYOUT



*PLAN NOT TO SCALE

Single Family Cluster Homes - American Dream

The American Dream Cluster Homes share similar characteristics of traditional single family homes. Lot sizes are smaller and typically front a shared green space with an adjoining cluster. The rear of the unit back to a shared driveway space. Typical American Dream clusters have 6 units, but may have as few as 2 units depending on site constraints.

Min. Front Setbacks:

- On Street to Structure: 15'
- On Street to Covered Porch: 10'

Min. Rear/Interior Side Setbacks:

- To Structure: 5'

Min. Side Setbacks:

- Common Walk side To Structure: 15'
- Common Walk side to Porch: 10'
- On Street side To Structure: 20'
- On Street side to Porch: 15'

Building Height: As per Saratoga Springs Municipal Code.

Min. Lot Size: 2,300 sq. ft.

Max. Lot Coverage: 60%

Min. Dwelling Size: To be determined at Village Plan.

Sight Triangle: All residential lots adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).

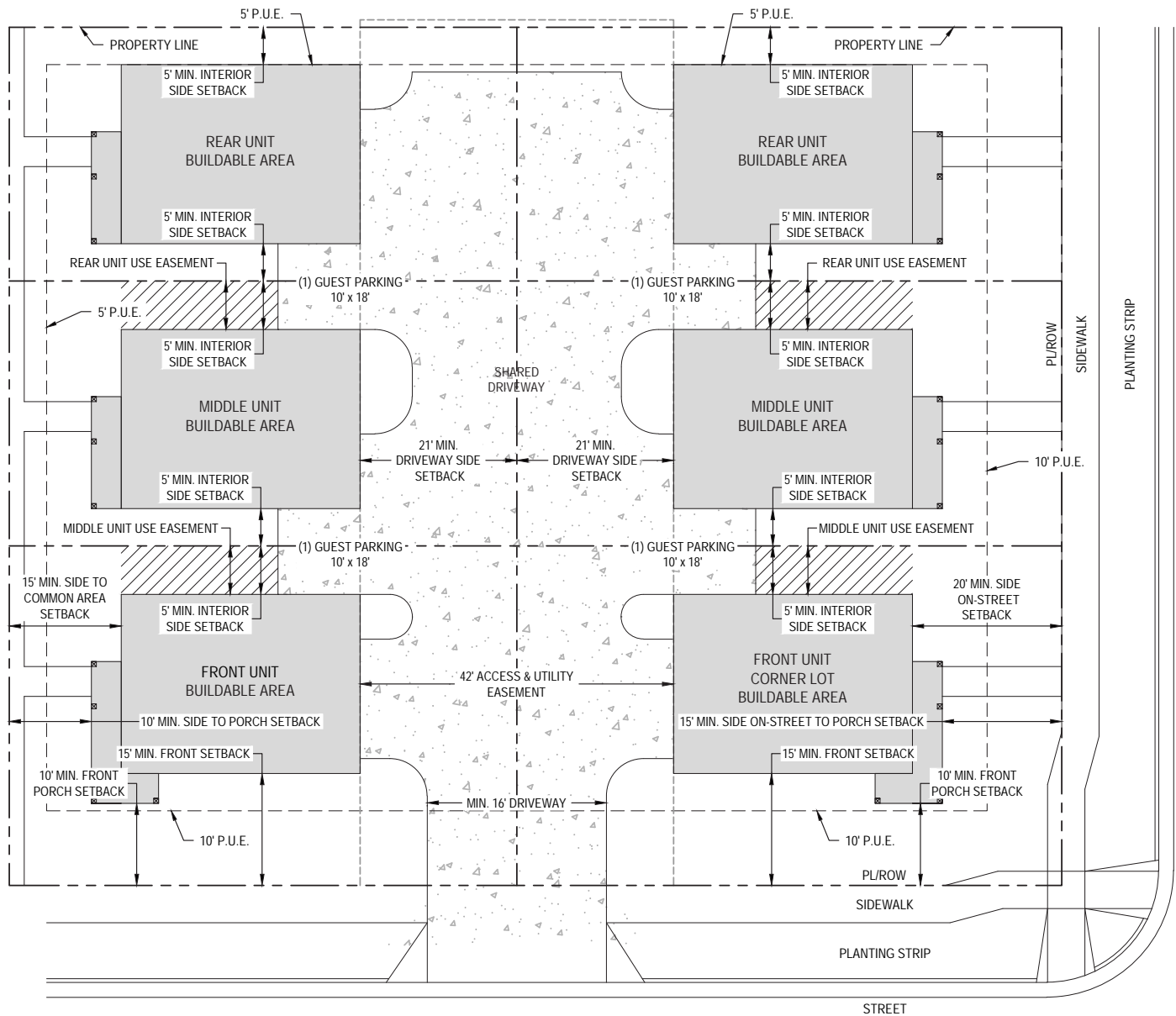
Garages: Two-car garages are required as per Section 19.09 of the Saratoga Springs Municipal Code.

Parking: Off-street guest parking shall be provided for any product with less than a 20' driveway at a rate of 0.5 spaces per unit. On-street parking is also available for additional public parking.

Use Easement: The use easement (see layout typical on pages 53) is for the benefit/use of the adjacent lot for maintenance purposes.



CLUSTER HOMES AMERICAN DREAM - 6-UNIT LAYOUT



*PLAN NOT TO SCALE

Single Family Cluster Homes - Porchlight

The Porchlight Cluster Homes share similar characteristics of traditional single family homes. Lot sizes are smaller and typically front a shared driveway. Typical Porchlight clusters have 4 units, but may have as few as 2 units depending on site constraints.

Min. Front Setbacks:

- On Street to Structure: 10'
- On Street to Covered Porch: 10'

Min. Rear/Interior Side Setbacks:

- To Structure: 5'

Min. Side Setbacks:

- To Structure: 5'
- On Street to Structure: 10'

Building Height: As per Saratoga Springs Municipal Code.

Min. Lot Size: 3,300 sq. ft.

Max. Lot Coverage: 60%

Min. Dwelling Size: To be determined at Village Plan.

Sight Triangle: All residential lots adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).

Garages: Two-car garages are required as per Section 19.09 of the Saratoga Springs Municipal Code.

Parking: Off-street guest parking shall be provided for any product with less than a 20' driveway at a rate of 0.5 spaces per unit. On-street parking is also available for additional public parking.

Use Easement: The use easement (see layout typical on page 55) is for the benefit/use of the adjacent lot for maintenance purposes.



***PLAN NOT TO SCALE**



ARCHITECTURAL GUIDELINES

The standards listed in this section are to be viewed as design guidelines for the homes of the Jordan Promenade Development. The architectural styles listed can be used in many variations to create the unique and individual character desired for each home. Although examples of architectural styles are being provided in this booklet, the binding guidelines for each neighborhood shall be established in the respective Village Plan.

Repetitious and homogenous building styles will not be permitted in the Jordan Promenade. A variety of housing types, color variations, and building materials will help create unique neighborhoods. Single family homes with the same style, floor plan or color scheme will not be built on lots next to, adjacent to, or across the street from each other. Further details will be provided in the respective Village Plans.

Creating a strong sense of place and building a desirable community are the goals of the chosen architectural styles for the Jordan Promenade development. Each style will contribute to the character of the community, with the individuality of every home creating an attractive streetscape throughout the development. Elements such as roof shape and pitch, window size, shape and placement, and construction materials such as masonry veneer, stucco or wood can all be used to create the subtle details that foster individuality in a home. All house elevations facing a public street shall have enhanced architectural features to maintain an attractive street character.

Site Plans for attached residential and commercial development areas may be approved administratively by staff when lotting plans, landscape plans, and building elevations are provided with the Village Plan application submittal.

Architectural design standards shall follow the requirements as defined under Section 19.16 of the Saratoga Springs Municipal Code. Residential lighting standards shall follow the requirements as defined under Section 19.11 of the Saratoga Springs Municipal Code.

Courtyard Home - Saratoga Classic Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Horizontal siding in a consistent body color
- Board and batten accenting in gables, furred out elements, or entire stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home

- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Courtyard Home - Ranch House Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Horizontal siding in a consistent body color
- Board and batten accenting in gables, furred out elements, or entire stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Modern Farmhouse Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Large square or rectangular gable vents in primary largest roof gables
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color in gables, pop outs, or front facing facade elements
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Saratoga Prairie Style

- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band in an accent color with a 36" minimum height beneath the upper level soffit, separated by a thin trim band
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Saratoga Classic Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Gable accent elements such as square or rectangular gable vents or brackets on motorcourt or street facing elevations
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color on gables, furred out elements, or entire stories separated by 8" wide trim bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Contemporary Prairie Style

- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band with a 36" minimum width beneath the upper level soffit separated by trim colored bands
- Furr out elements sided with Board and Batten accent siding in a separate color
- Brackets at gable peaks on motorcourt and street facing elevations
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Ranch House Style

- A mix of dutch-hipped and medium pitched gable roofs with a pitch of 4:12-8:12
- Horizontal siding in a consistent body color
- Brackets at gable peaks on motorcourt and street facing elevations
- Shake accenting in a separate color on furred out elements, or entire upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

NOTE: Specific architectural products, such as On2 Duets and Townhomes, have not been fully developed. Future architectural products and styles will be submitted as Village Plan Amendments.

ASCENT DUETS - WANDER - CONTEMPORARY HOMESTEAD ELEVATION - BUILDING TYPE 1

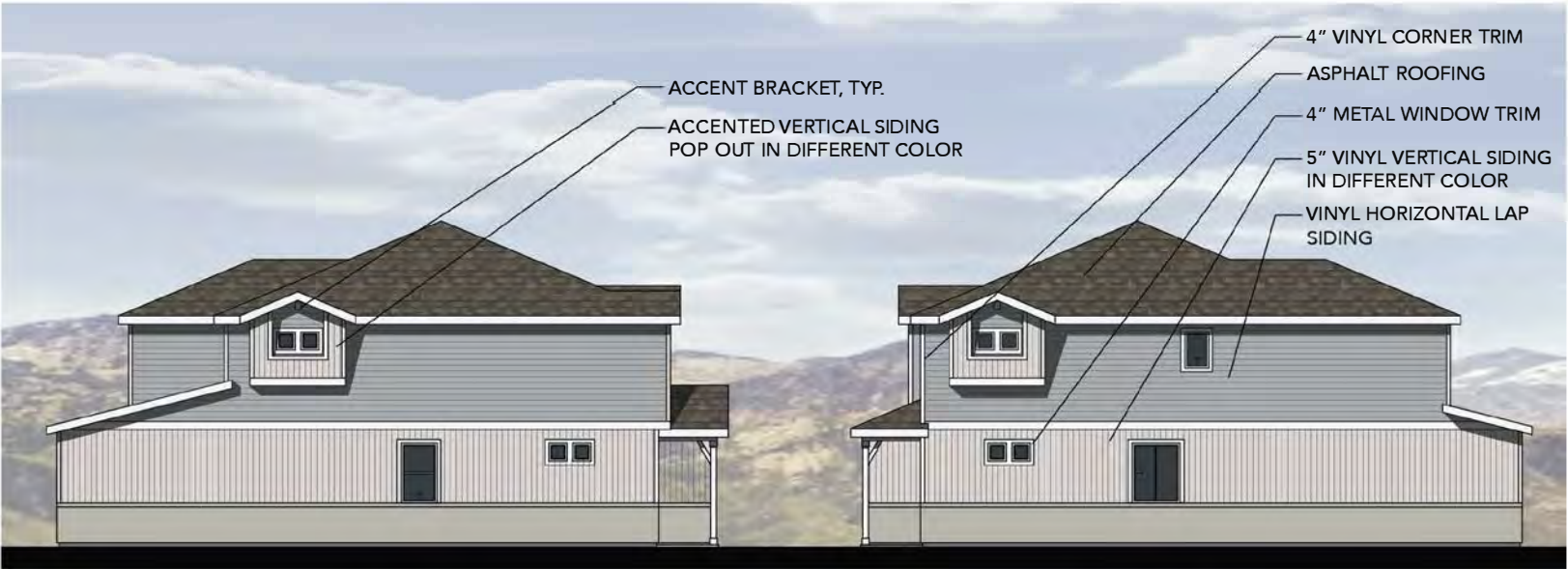


FRONT ELEVATION



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)**
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)**
 - 2 FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - c. PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (VERTICAL SIDING, HORIZONTAL LAP SIDING, STUCCO)
 - d. COVERED ENTRY PORCHES
 - e. 3 GABLE ROOF ELEMENTS
 2. ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 3. WINDOWS: 4" WINDOW/DOOR TRIM
 4. AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)**
1. ARCHITECTURAL WRAP
 - a. ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - b. ALL STUCCO WAINSCOTS AND MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 2. MATERIALS AND COLORS
 - a. FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - b. MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 3. COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
1. ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

ASCENT DUETS - WANDER - BUILDING TYPE 1

SCHEME #1
BODY 1 (VERTICAL SOFFIT D5)
SILVER MIST
BODY 2 (HORIZONTAL LAP D4)
DOVER WHITE
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW6328 FIREWEED
STUCCO
PAINT SW7641 COLONNADE GRAY
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2
BODY 1 (VERTICAL SOFFIT D5)
STONE MOUNTAIN CLAY
BODY 2 (HORIZONTAL LAP D4)
RICH MOCHA
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7020 BLACK FOX
STUCCO
PAINT SW7504 KEYSTONE GRAY
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3
BODY 1 (VERTICAL SOFFIT D5)
NATURAL ALMOND
BODY 2 (HORIZONTAL LAP D4)
WEDGEWOOD
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7020 BLACK FOX
STUCCO
PAINT SW6150 UNIVERSAL KHAKI
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4
BODY 1 (VERTICAL SOFFIT D5)
ISLAND PEARL
BODY 2 (HORIZONTAL LAP D4)
FLINT
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7674 PEPPERCORN
STUCCO
PAINT SW7016 MINDFUL GRAY
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5
BODY 1 (VERTICAL SOFFIT D5)
SANDY TAN
BODY 2 (HORIZONTAL LAP D4)
SAGEBROOK
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT 2857 PEACE YELLOW
STUCCO
PAINT SW7633 TAUPE TONE
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

NOTE: ALL WINDOW FRAMES ARE TO BE WHITE

ASCENT DUETS - WANDER - MODERN FARMHOUSE ELEVATION - BUILDING TYPE 2



FRONT ELEVATION

36" MIN. HEIGHT
ACCENT STUCCO

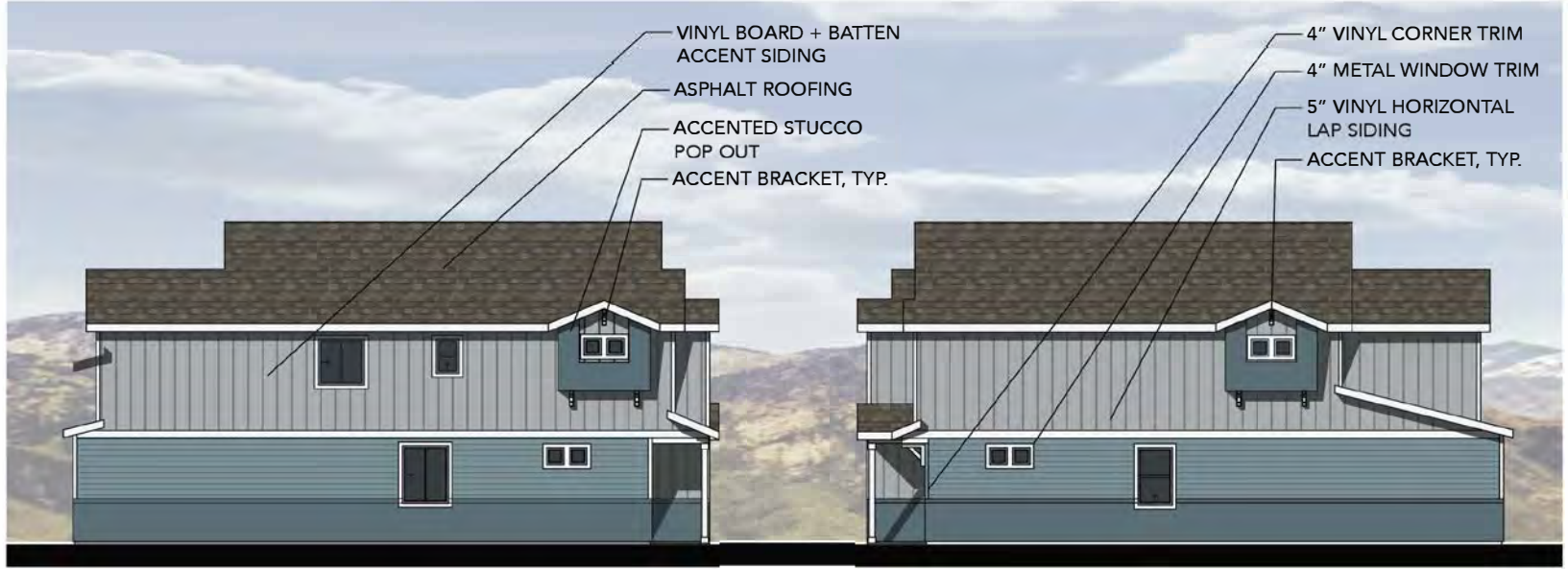
ACCENT PAINTED 2-PANEL
ENTRY DOOR



REAR ELEVATION

ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)

1. BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
3 FRONT POPOUT ELEVATION SHIFTS PLUS A TOWER ELEMENT THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
c. PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B SIDING, HORIZONTAL LAP SIDING, STUCCO)
d. COVERED ENTRY PORCHES
e. 4 GABLE ROOF ELEMENTS
2. ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
3. WINDOWS: 4" WINDOW/DOOR TRIM
4. AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)

1. ARCHITECTURAL WRAP
a. ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
b. ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 2. MATERIALS AND COLORS
a. FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT).
NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
b. MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 3. COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
1. ALL LIGHTING FIXTURES ARE LED FIXTURES. RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

ASCENT DUETS - WANDER - BUILDING TYPE 2

SCHEME #1

BODY 1 (HORITONAL LAP D4)
SILVER MIST

BODY 2 (BOARD AND BATTEN)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

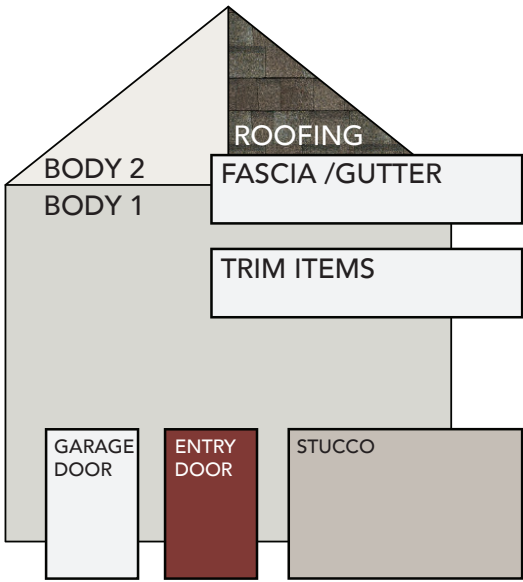
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #2

BODY 1 (HORITONAL LAP D4)
BRIARWOOD

BODY 2 (BOARD AND BATTEN)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

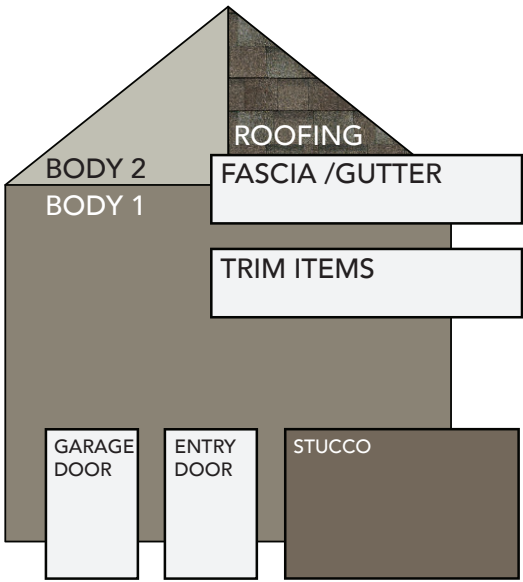
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #3

BODY 1 (HORITONAL LAP D4)
WEDGEWOOD

BODY 2 (BOARD AND BATTEN)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

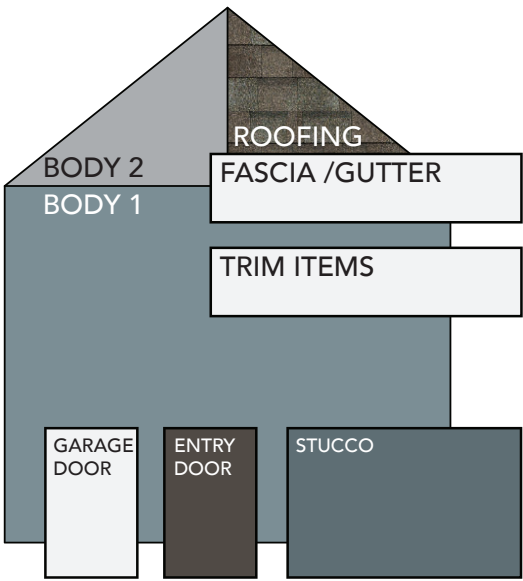
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #4

BODY 1 (HORITONAL LAP D4)
SAGEBROOK

BODY 2 (BOARD AND BATTEN)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

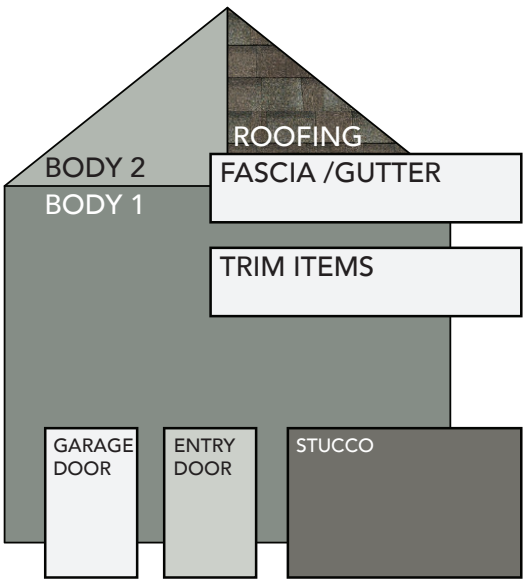
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #5

BODY 1 (HORITONAL LAP D4)
PEWTER

BODY 2 (BOARD AND BATTEN)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

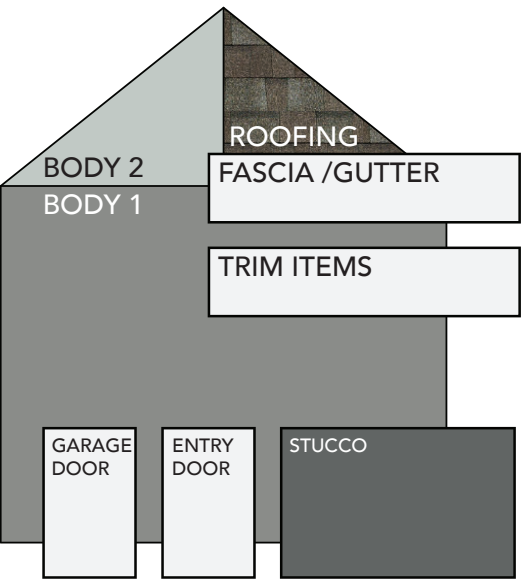
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

ASCENT DUETS - WANDER - CLASSIC HOMESTEAD ELEVATION - BUILDING TYPE 3



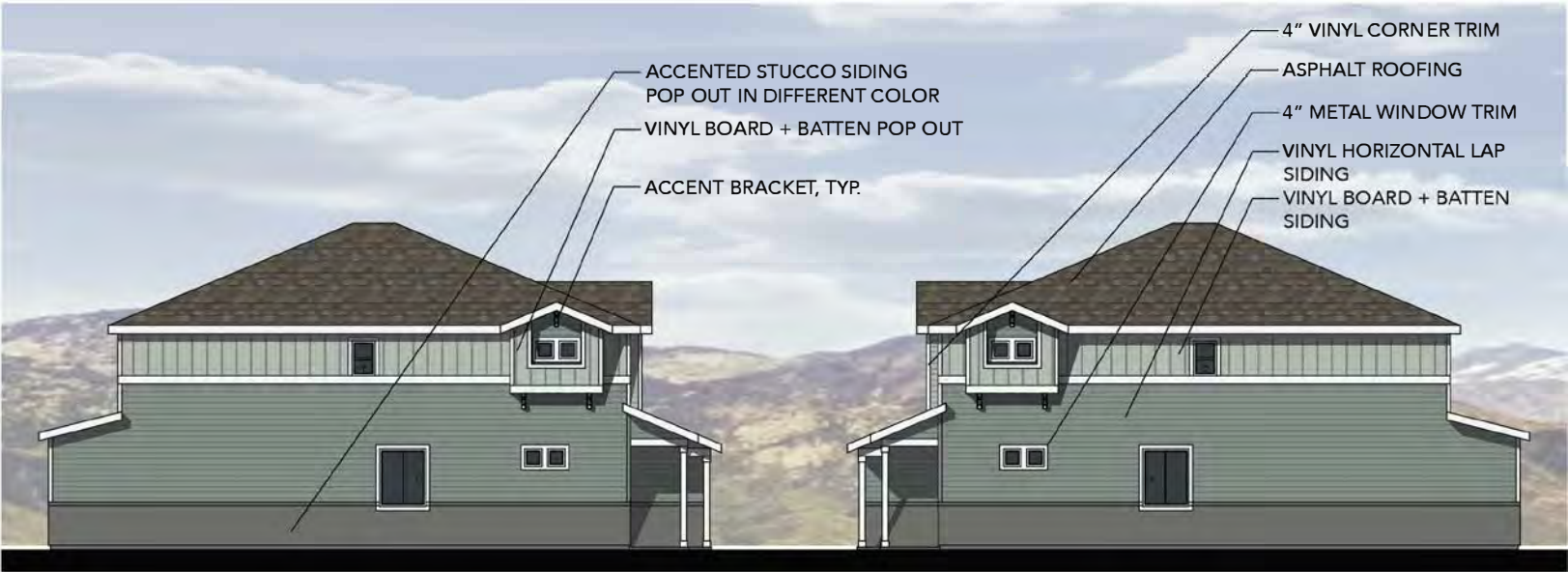
FRONT ELEVATION

ACCENT PAINTED 2-PANEL ENTRY DOOR 36" MIN. HEIGHT ACCENT STUCCO



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)**
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)**
 - TWO FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B, HORIZONTAL LAP SIDING, STUCCO)
 - COVERED ENTRY PORCHES
 - 2 GABLE ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)**
- ARCHITECTURAL WRAP
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL STUCCO WAINSCOTS AND MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT).
NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

ASCENT DUETS - WANDER - BUILDING TYPE 3

SCHEME #1

BODY 1 (HORITONAL LAP D4)
SILVER MIST

BODY 2 (BOARD AND BATTEN)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

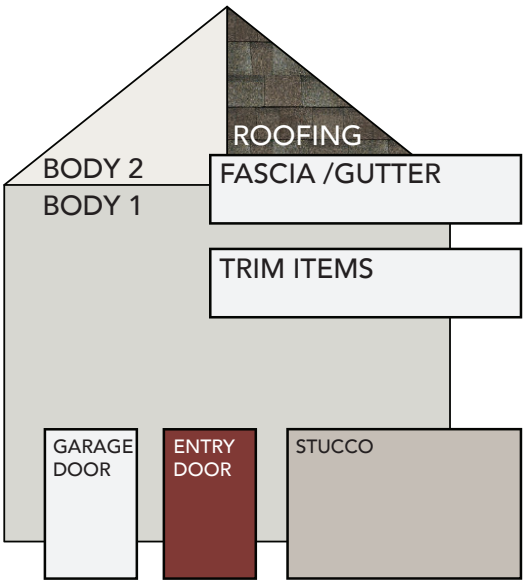
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #2

BODY 1 (HORITONAL LAP D4)
BRIARWOOD

BODY 2 (BOARD AND BATTEN)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

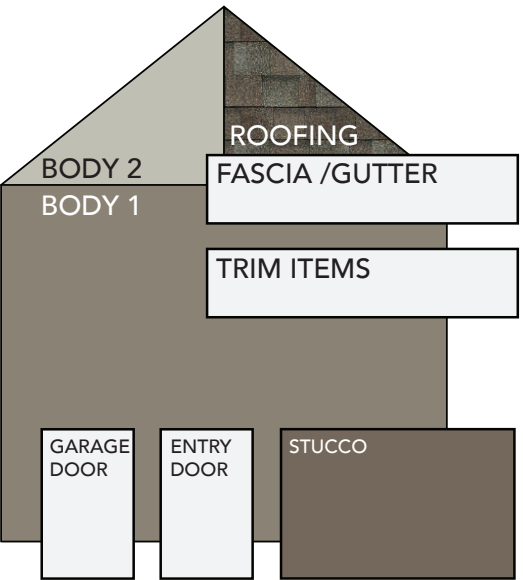
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #3

BODY 1 (HORITONAL LAP D4)
WEDGEWOOD

BODY 2 (BOARD AND BATTEN)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

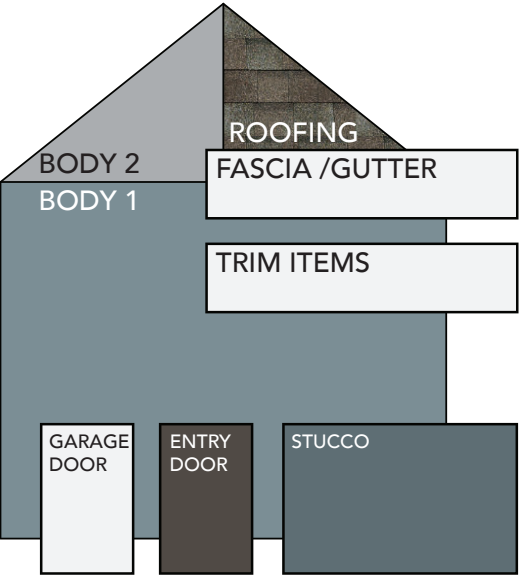
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #4

BODY 1 (HORITONAL LAP D4)
SAGEBROOK

BODY 2 (BOARD AND BATTEN)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

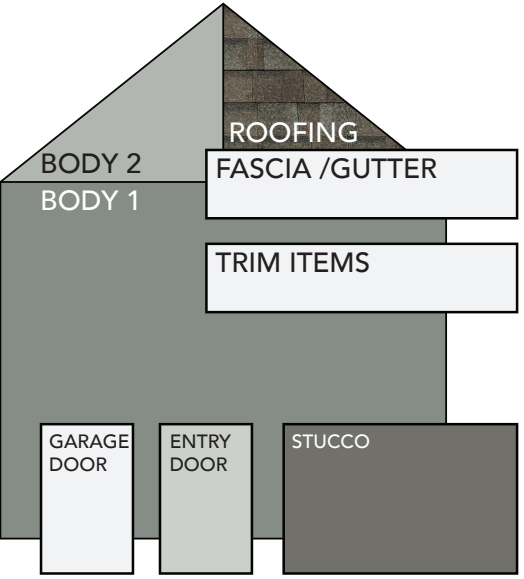
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #5

BODY 1 (HORITONAL LAP D4)
PEWTER

BODY 2 (BOARD AND BATTEN)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

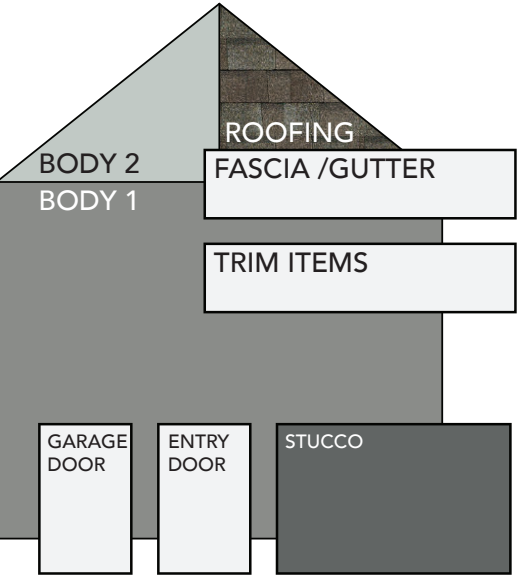
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

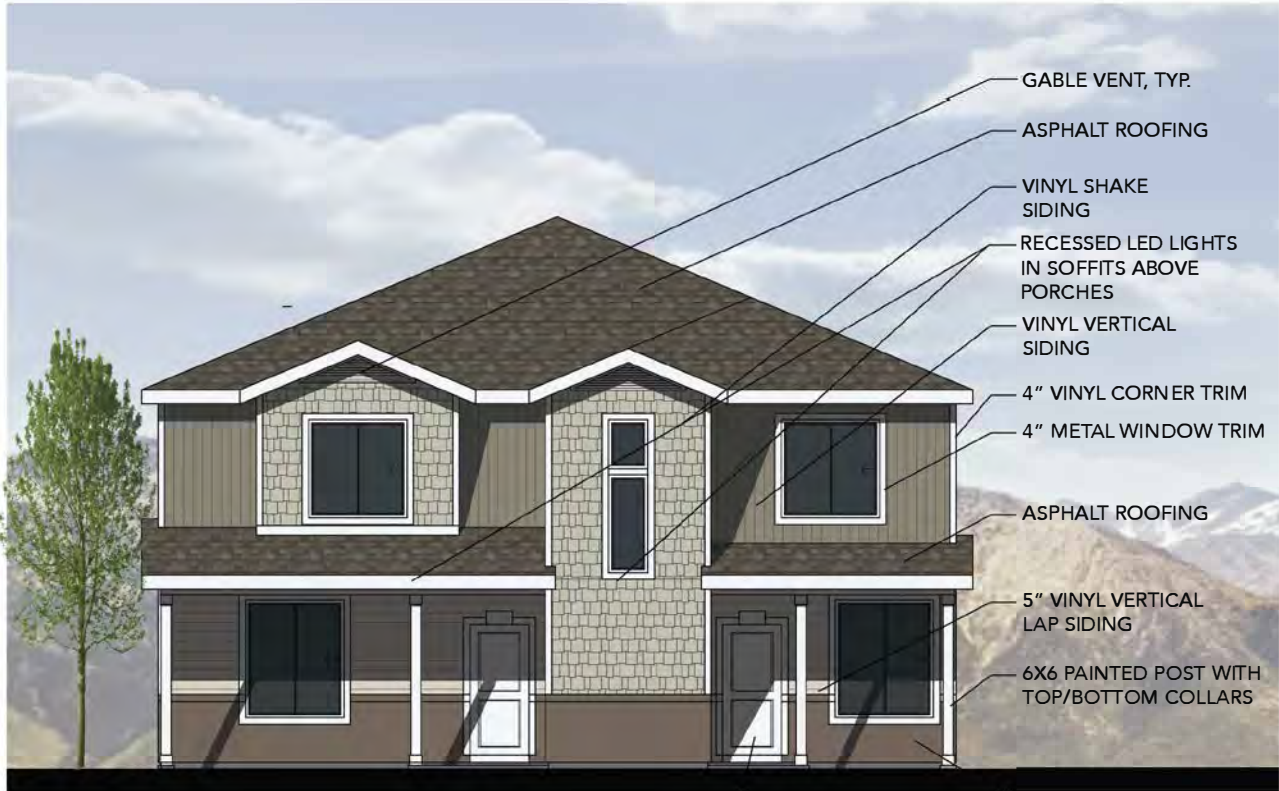
STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

ASCENT DUETS - WANDER - MODERN CRAFTSMAN ELEVATION - BUILDING TYPE 4



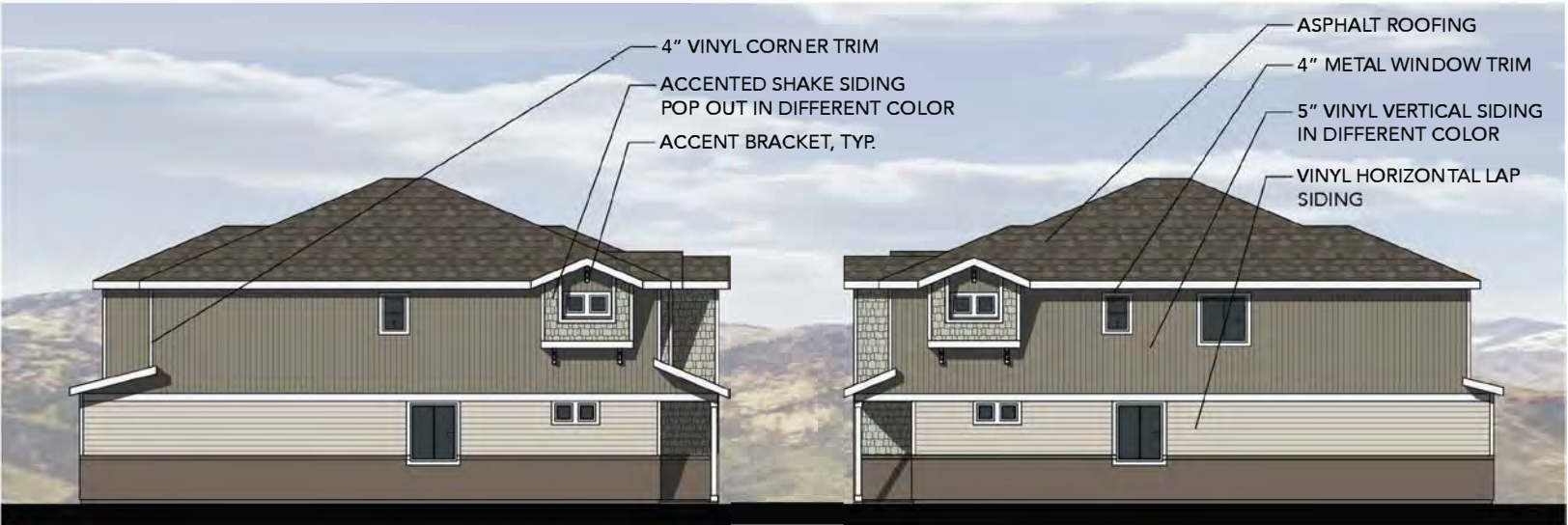
FRONT ELEVATION

ACCENT PAINTED 2-PANEL ENTRY DOOR 36\"/>



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
1. BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
2 FRONT POPOUT ELEVATION SHIFTS PLUS A TOWER ELEMENT THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
c. PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (VERTICAL SIDING, HORIZONTAL LAP SIDING, SHAKE)
d. COVERED ENTRY PORCHES
e. 2 GABLE ROOF ELEMENTS
 2. ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12\"/>
 3. WINDOWS: 4\"/>
 4. AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



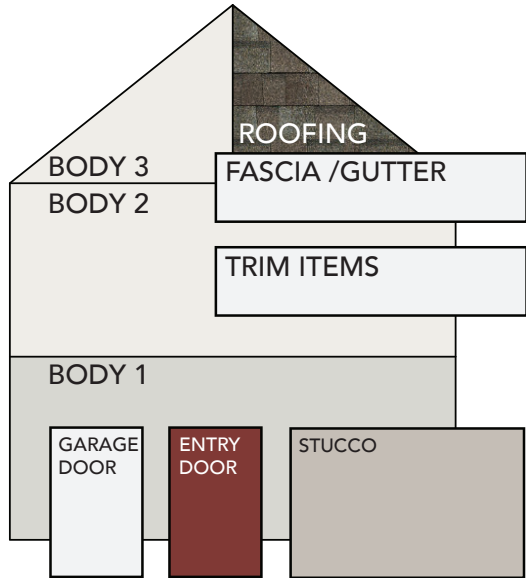
LEFT ELEVATION

RIGHT ELEVATION

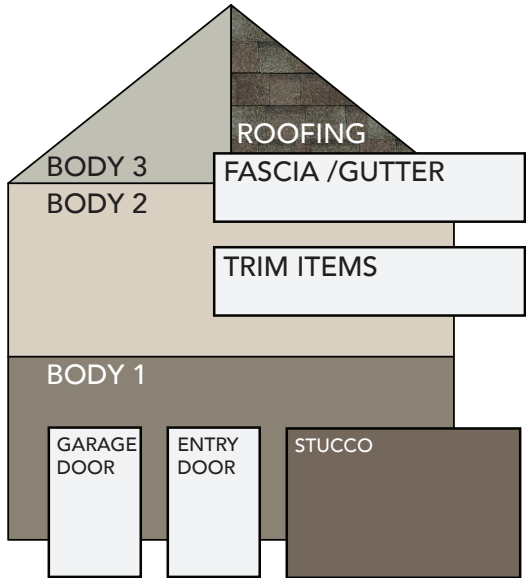
- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
1. ARCHITECTURAL WRAP
 - a. ALL FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - b. ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 2. MATERIALS AND COLORS
 - a. FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND SHAKE ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - b. MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 3. COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)
1. ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

ASCENT DUETS - WANDER - BUILDING TYPE 4

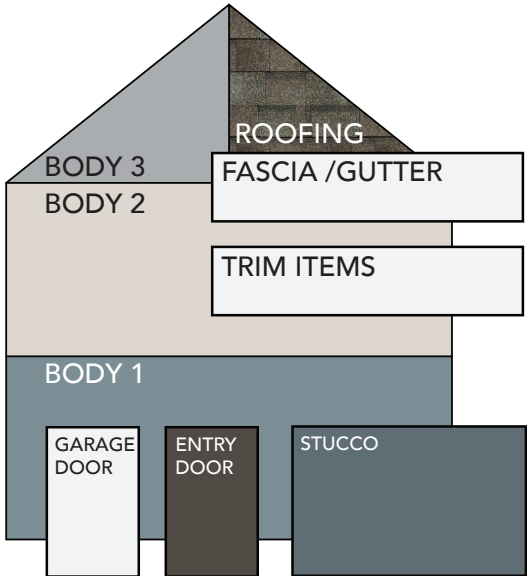
SCHEME #1
BODY 1 (HORIZONTAL LAP D4)
SILVER MIST
BODY 2 (VERTICAL SOFFIT D5)
DOVER WHITE
BODY 3 (SHAKE)
DOVER WHITE
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW6328 FIREWEED
STUCCO
PAINT SW7641 COLONNADE GRAY
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



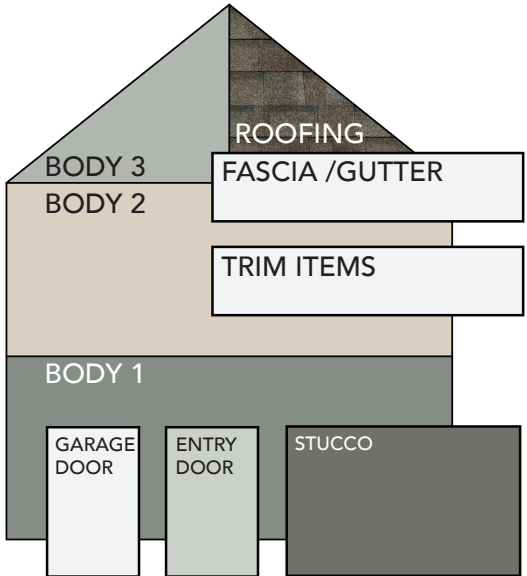
SCHEME #2
BODY 1 (HORIZONTAL LAP D4)
BRIARWOOD
BODY 2 (VERTICAL SOFFIT D5)
NATURAL ALMOND
BODY 3 (SHAKE)
SANDY TAN
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7005 PURE WHITE
STUCCO
PAINT SW7033 BRAINSTORM BRONZE
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



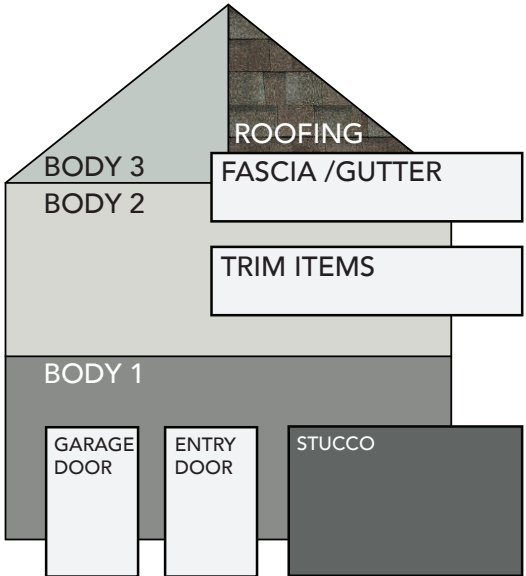
SCHEME #3
BODY 1 (HORIZONTAL LAP D4)
WEDGEWOOD
BODY 2 (VERTICAL SOFFIT D5)
ISLAND PEARL
BODY 3 (SHAKE)
FLINT
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7020 BLACK FOX
STUCCO
PAINT SW7624 SLATE TILE
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #4
BODY 1 (HORIZONTAL LAP D4)
SAGEBROOK
BODY 2 (VERTICAL SOFFIT D5)
NATURAL ALMOND
BODY 3 (SHAKE)
SPANISH OLIVE
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW6204 SEA SALT
STUCCO
PAINT SW6201 THUNDEROUS
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #5
BODY 1 (HORIZONTAL LAP D4)
PEWTER
BODY 2 (VERTICAL SOFFIT D5)
SILVER MIST
BODY 3 (SHAKE)
GEORGIAN GREY
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7005 PURE WHITE
STUCCO
PAINT SW2848 ROYCROFT PEWTER
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

ASCENT DUETS - WANDER - CLASSIC FARMHOUSE ELEVATION - BUILDING TYPE 5



FRONT ELEVATION

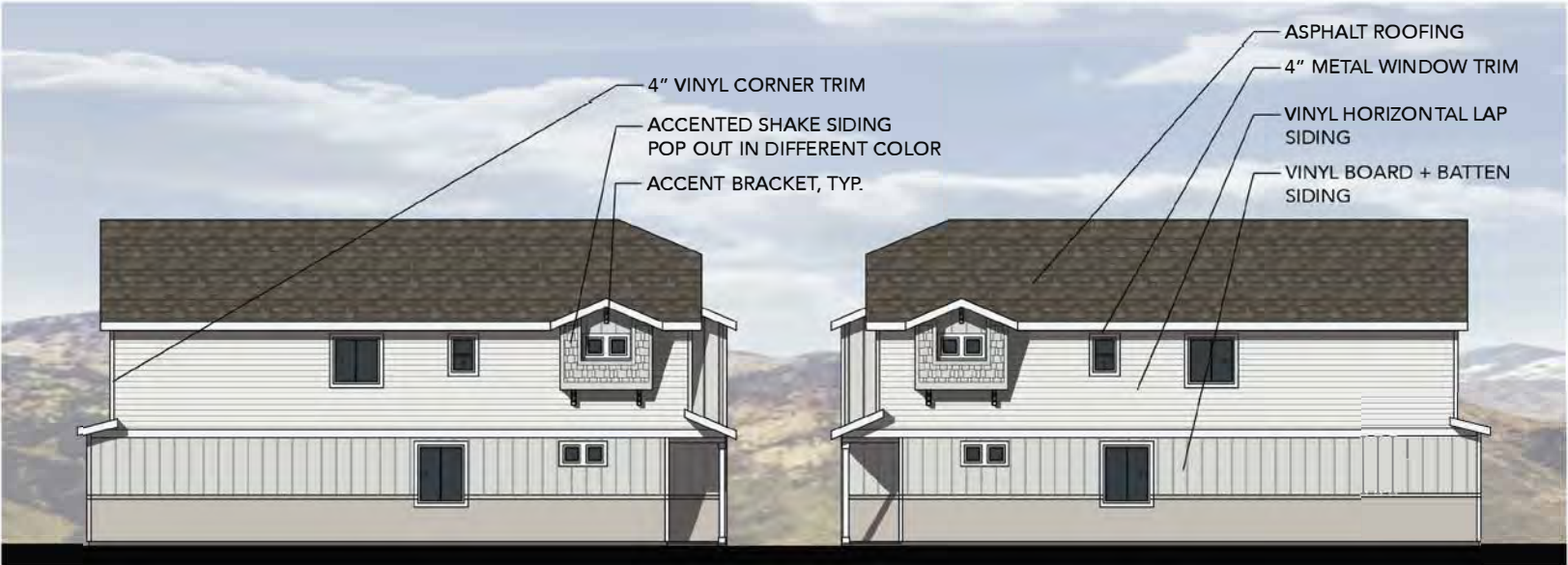
36" MIN. HEIGHT
ACCENT STUCCO

ACCENT PAINTED 2-PANEL
ENTRY DOOR



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)**
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)**
FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B, HORIZONTAL LAP SIDING, STUCCO)
 - COVERED ENTRY PORCHES
 - 3 SHED ROOF ELEMENTS
 - ROOF TREATMENT:** ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS:** 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC:** AWNINGS ABOVE FRONT WINDOWS AR 24" DEEP



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)**
- ARCHITECTURAL WRAP**
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS**
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS COLOR (BODY, ACCENT, AND STUCCO/SHAKE ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT/FASCIA)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION:** ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

ASCENT DUETS - WANDER - BUILDING TYPE 5

SCHEME #1
BODY 1 (BOARD AND BATTEN)
SILVER MIST
BODY 2 (HORIZONTAL LAP D4)
DOVER WHITE
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW6328 FIREWEED
STUCCO
PAINT SW7641 COLONNADE GRAY
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2
BODY 1 (HBOARD AND BATTEN)
BRIARWOOD
BODY 2 (HORIZONTAL LAP D4)
SANDY TAN
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7005 PURE WHITE
STUCCO
PAINT SW7033 BRAINSTORM BRONZE
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3
BODY 1 (BOARD AND BATTEN)
WEDGEWOOD
BODY 2 (HORIZONTAL LAP D4)
FLINT
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7020 BLACK FOX
STUCCO
PAINT SW7624 SLATE TILE
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4
BODY 1 (BOARD AND BATTEN)
SAGEBROOK
BODY 2 (HORIZONTAL LAP D4)
SPANISH OLIVE
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW6204 SEA SALT
STUCCO
PAINT SW6201 THUNDEROUS
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5
BODY 1 (BOARD AND BATTEN)
PEWTER
BODY 2 (HORIZONTAL LAP D4)
GEORGIAN GRAY
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7005 PURE WHITE
STUCCO
PAINT SW2848 ROYCROFT PEWTER
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

COURTYARD HOME TYPICAL - SARATOGA CLASSIC ELEVATION

SARATOGA CLASSIC STYLE

FEATURES

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Horizontal siding in a consistent body color
- Board and batten accenting in gables, furred out elements, or entire stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



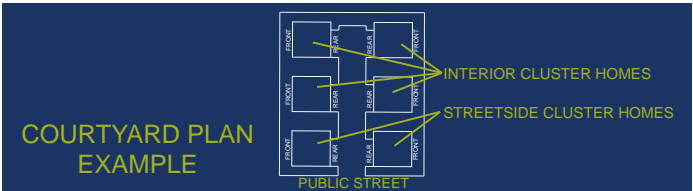
1 Typical Front Elevation - Courtyard Interior Location
Plan 9911 shown

2 Typical Side Elevation - Courtyard Interior Location
Plan 9911 shown



3 Typical Front Elevation - Courtyard Streetside Location
Plan 9911 shown

4 Typical Side Elevation - Courtyard Streetside Location
Plan 9911 shown



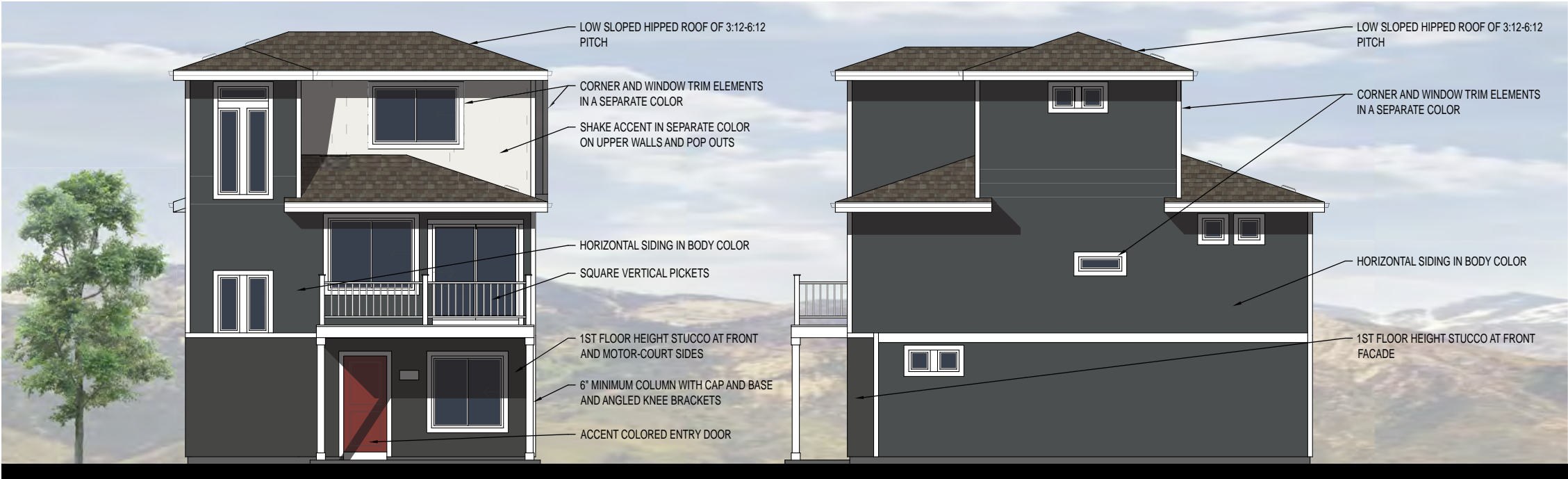
COURTYARD HOME TYPICAL - RANCH HOUSE ELEVATION

RANCH HOUSE STYLE

FEATURES

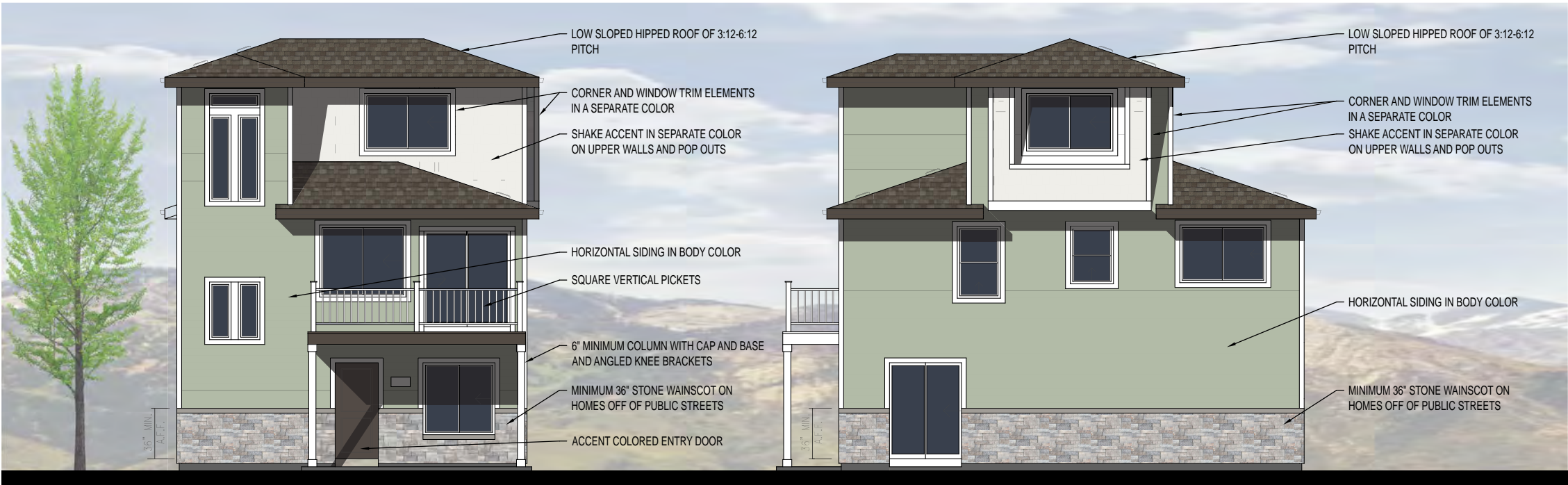
- Low-sloped hipped roof of 3:12-6:12 pitch
- Horizontal siding in a consistent body color
- Shake accenting in a separate color on furred out elements, gables or front facades of upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Shake areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



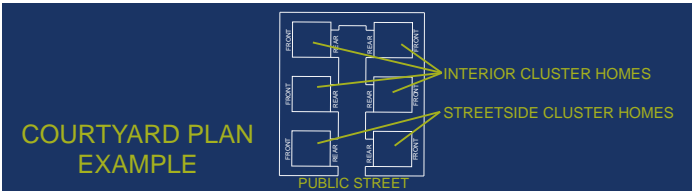
1 Typical Front Elevation - Courtyard Interior Location
Plan 9913 shown

2 Typical Side Elevation - Courtyard Interior Location
Plan 9913 shown



3 Typical Front Elevation - Courtyard Streetside Location
Plan 9913 shown

4 Typical Side Elevation - Courtyard Streetside Location
Plan 9913 shown



AMERICAN DREAM - COACH HOUSE - COACHLIGHT - WANDER - ALL ELEVATIONS

SCHEME #1

BODY 1 (HORIZONTAL LAP D5)
SILVER MIST

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7641 COLONADE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HORIZONTAL LAP D5)
BRIARWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW7033 BRAINSTORM BRONZE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (HORIZONTAL LAP D5)
WEDGEWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7624 SLATE TILE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (HORIZONTAL LAP D5)
SAGEBROOK

BODY 2 (B+B OR SHAKE PER ELEVATION)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6201 THUNDEROUS

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (HORIZONTAL LAP D5)
STONE MOUNTAIN CLAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7504 KEYSTONE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #6

BODY 1 (HORIZONTAL LAP D5)
MEDITERRANEAN PALM

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6181 SECRET GARDEN

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #7

BODY 1 (HORIZONTAL LAP D5)
IRISH THISTLE

BODY 2 (B+B OR SHAKE PER ELEVATION)
SILVER MIST

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6200 LINK GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #8

BODY 1 (HORIZONTAL LAP D5)
PEWTER

BODY 2 (B+B OR SHAKE PER ELEVATION)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW2848 ROYCROFT PEWTER

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #9

BODY 1 (HORIZONTAL LAP D5)
URBAN IRON

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
WHITE

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7069 IRON ORE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #10

BODY 1 (HORIZONTAL LAP D5)
SPANISH OLIVE

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
BROWN

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6164 SVELTE SAGE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #11

BODY 1 (HORIZONTAL LAP D5)
GEORGIAN GRAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6258 TRICORN BLACK

STUCCO COLOR
SW7064 PASSIVE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

STONE CHOICES (IF SELECTED)



HUNTINGTON DIVINO LEDGE



SLATE LEUDERS



WHITE SAND DIVINO LEDGE



MIDNIGHT CHEIF JOSEPH

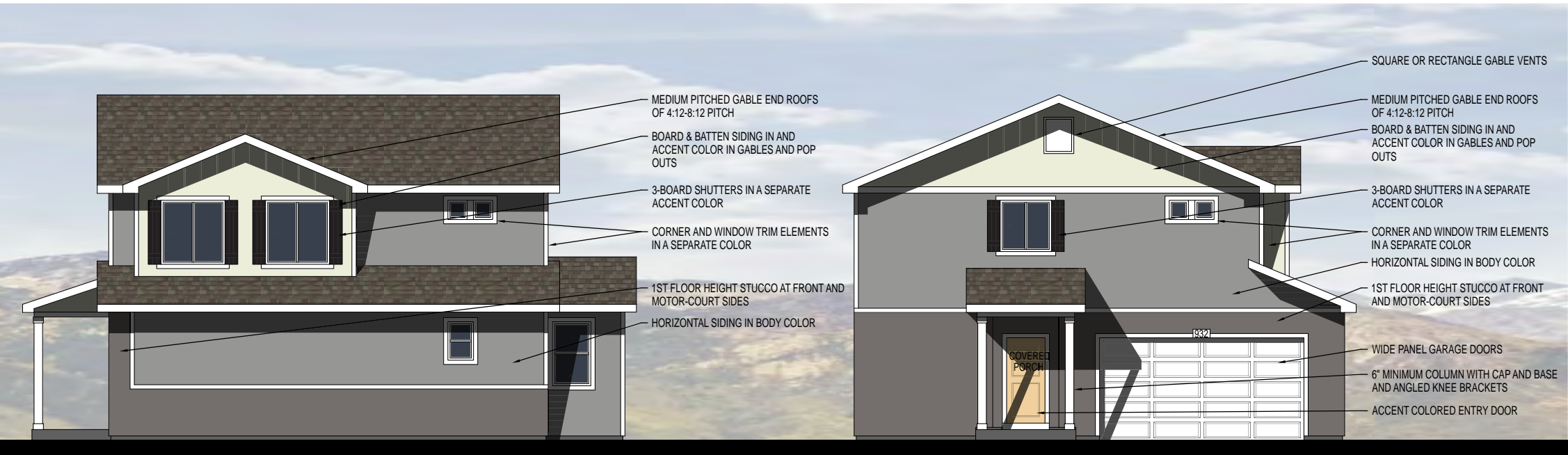
MOTORCOURT HOME TYPICAL - MODERN FARMHOUSE ELEVATION

MODERN FARMHOUSE STYLE

FEATURES

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Large square or rectangular gable vents in primary largest roof gables
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color in gables, pop outs, or front facing facade elements
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



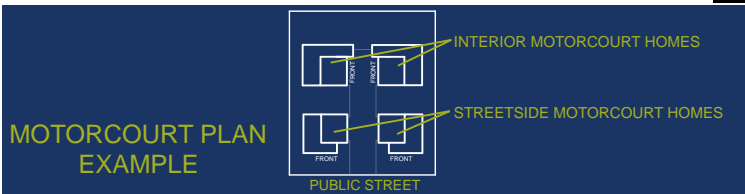
1 Typical Front Elevation - Motorcourt Interior Location
Plan 931 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 931 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 931 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 931 shown



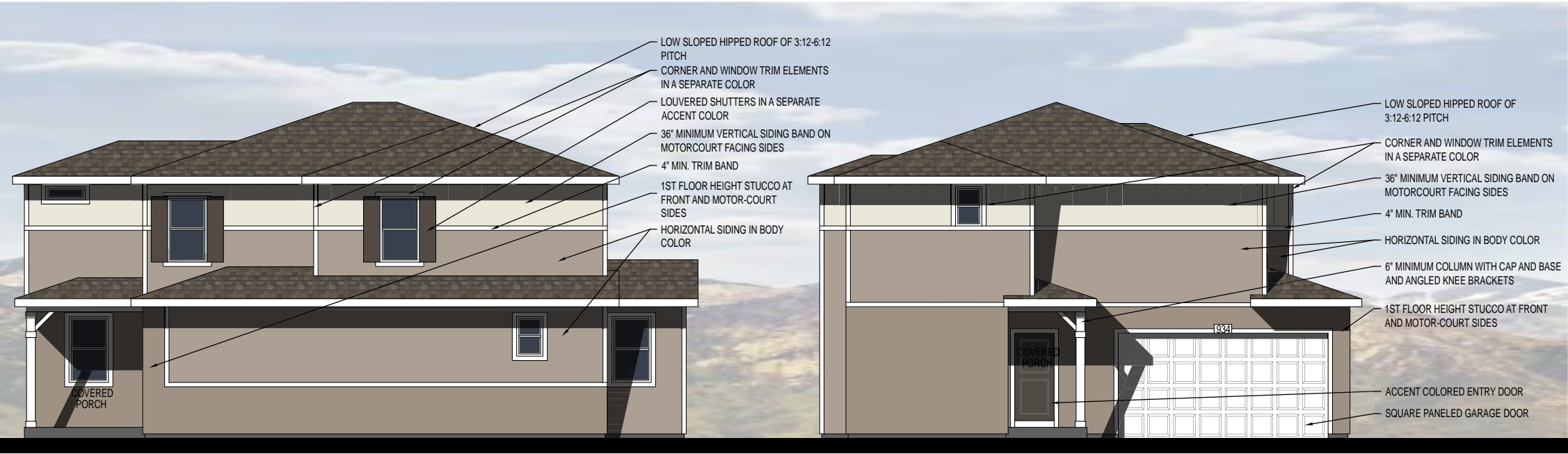
MOTORCOURT HOME TYPICAL - SARATOGA PRAIRIE ELEVATION

SARATOGA PRAIRIE STYLE

FEATURES

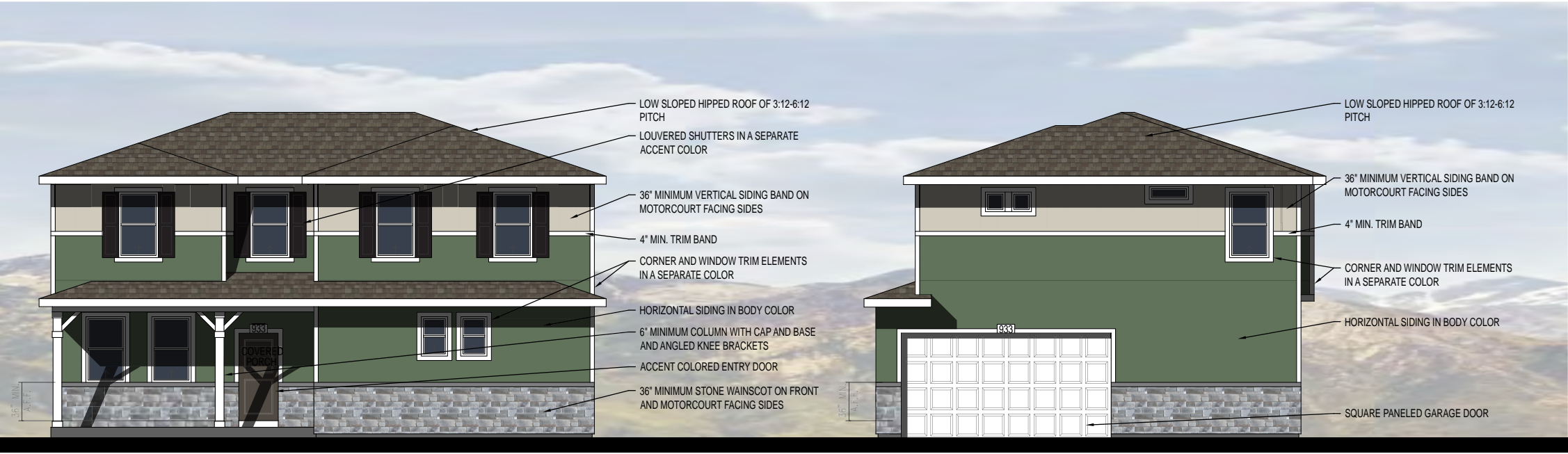
- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band in an accent color with a 36" minimum height beneath the upper level soffit, separated by a thin trim band
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



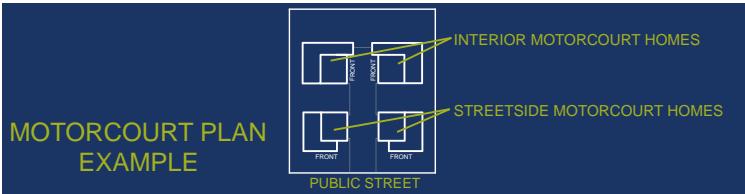
1 Typical Front Elevation - Motorcourt Interior Location
Plan 934 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 934 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 933 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 933 shown



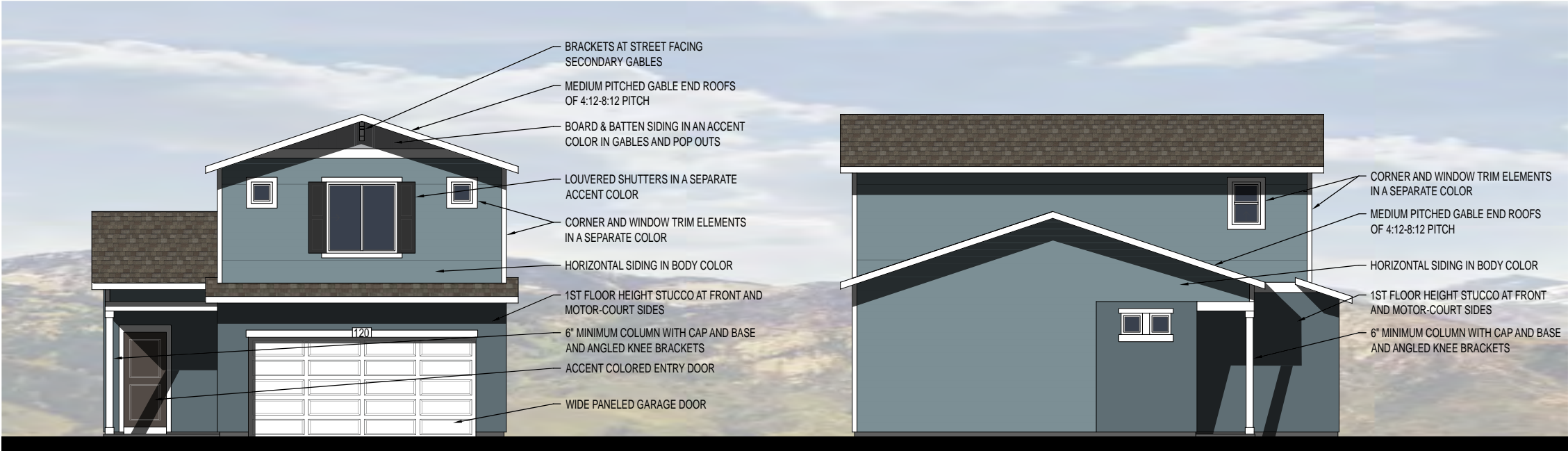
MOTORCOURT HOME TYPICAL - SARATOGA CLASSIC ELEVATION

SARATOGA CLASSIC STYLE

FEATURES

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Gable accent elements such as square or rectangular gable vents or brackets on motorcourt or street facing elevations
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color on gables, furred out elements, or entire stories separated by 8” wide trim bands
- Minimum 6x6 columns with top and bottom collars
- 4” minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36” minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



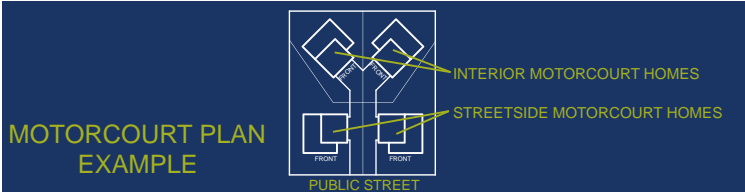
1 Typical Front Elevation - Motorcourt Interior Location
Plan 120 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 120 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 125 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 125 shown



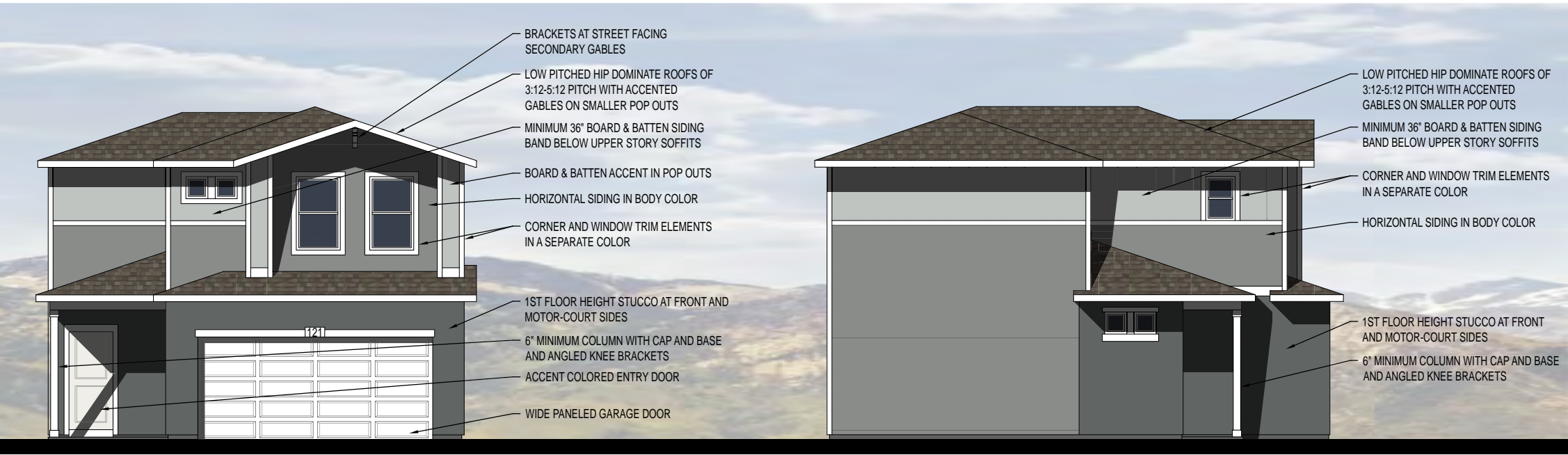
MOTORCOURT HOME TYPICAL - CONTEMPORARY PRAIRIE ELEVATION

CONTEMPORARIE PRAIRIE STYLE

FEATURES

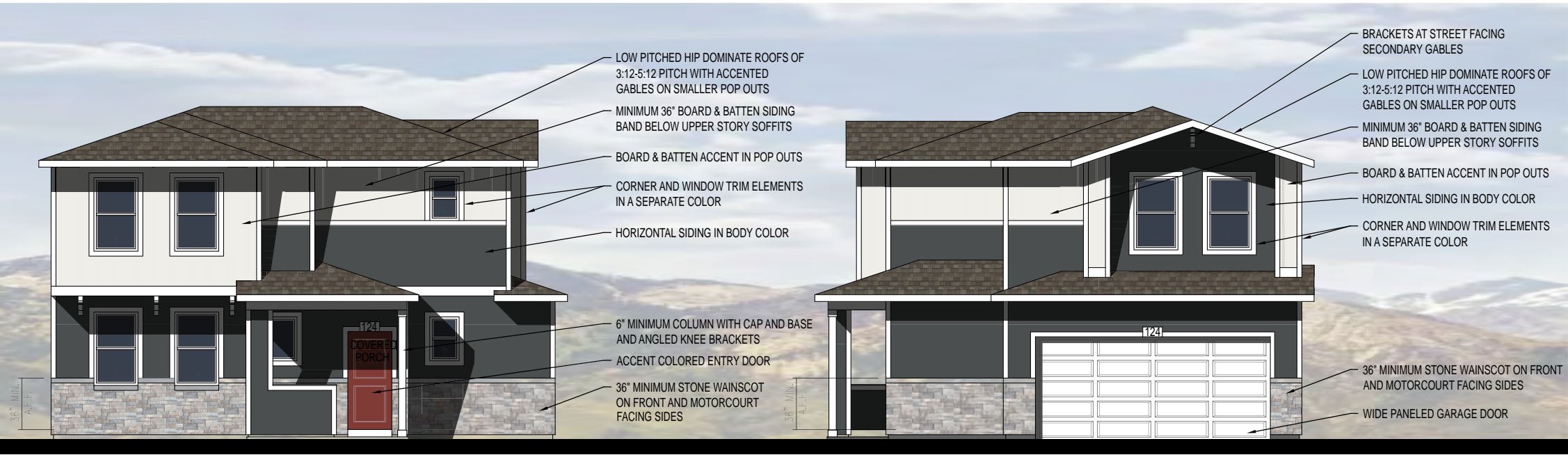
- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band with a 36" minimum width beneath the upper level soffit separated by trim colored bands
- Furr out elements sided with Board and Batten accent siding in a separate color
- Brackets at gable peaks on motorcourt and street facing elevations
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



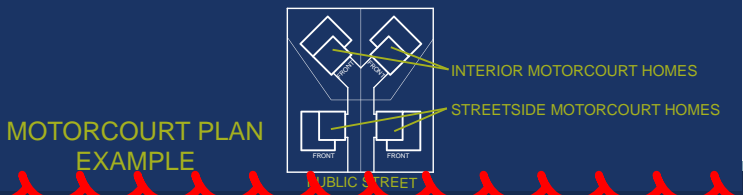
1 Typical Front Elevation - Motorcourt Interior Location
Plan 121 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 121 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 124 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 124 shown



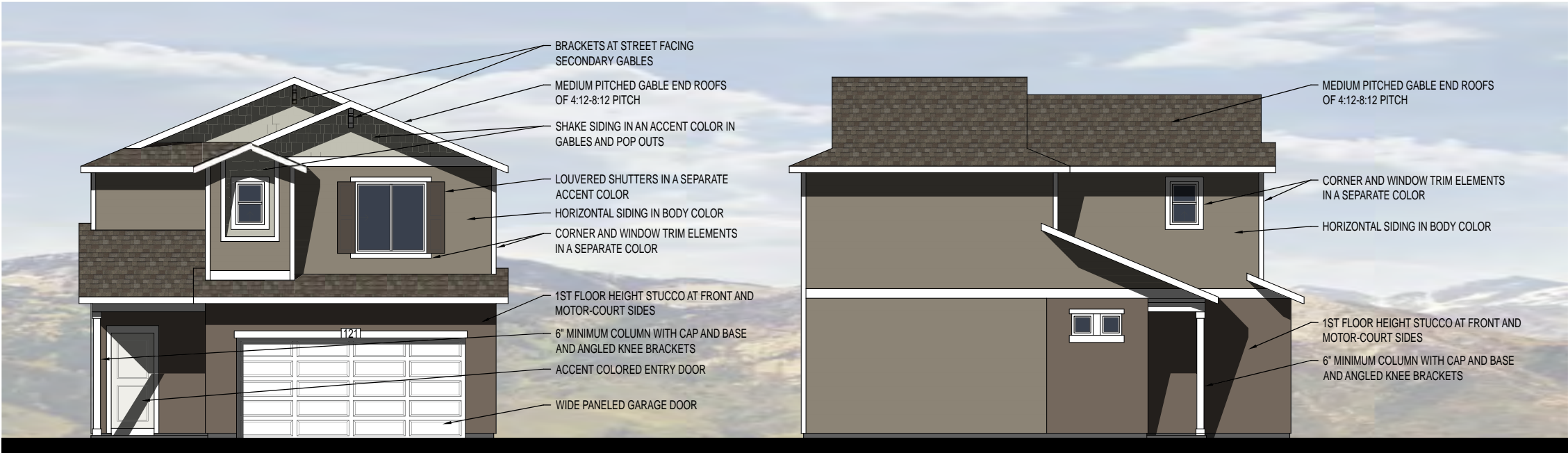
MOTORCOURT HOME TYPICAL - RANCH HOUSE ELEVATION

RANCH HOUSE STYLE

FEATURES

- A mix of dutch-hipped and medium pitched gable roofs with a pitch of 4:12-8:12
- Horizontal siding in a consistent body color
- Brackets at gable peaks on motorcourt and street facing elevations
- Shake accenting in a separate color on furred out elements, or entire upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



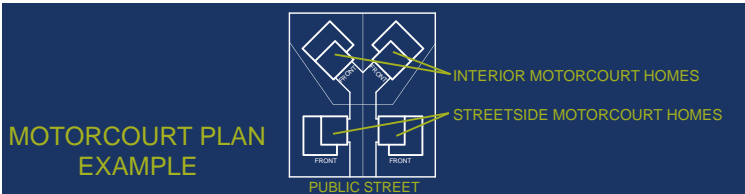
1 Typical Front Elevation - Motorcourt Interior Location
Plan 121 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 121 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 124 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 124 shown



WANDER PORCHLIGHT II - ALL ELEVATIONS - VINYL SIDING

SCHEME #1

BODY (HORIZONTAL LAP)
URBAN IRON (VARIFORM)

SIDING ACCENT
DOVER WHITE (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
WHITE METAL / SW7005 PURE WHITE

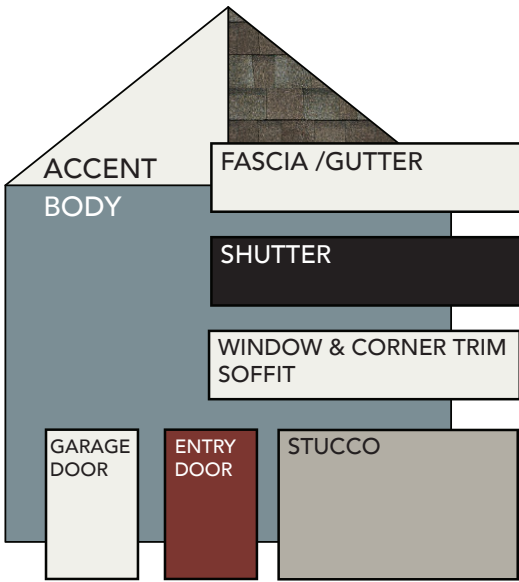
FASCIA / GUTTER
WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
BLACK

GARAGE DOOR
PRE-FINISHED WHITE

ENTRY DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO ACCENT (STONE TO REPLACE)
SW7643 PUSSYWILLOW



SCHEME #2

BODY (HORIZONTAL LAP)
RICH MOCHA (VARIFORM)

SIDING ACCENT
STONE MOUNTAIN CLAY (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
WHITE METAL / SW7005 PURE WHITE

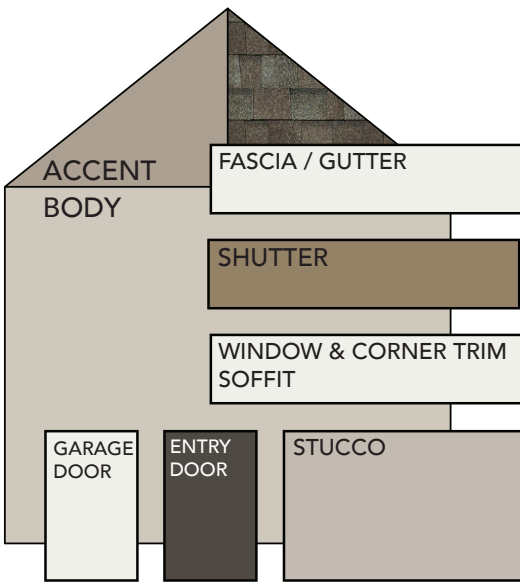
GUTTER / FASCIA
WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
CLAY

GARAGE DOOR
PRE-FINISHED WHITE

ENTRY DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO ACCENT (STONE TO REPLACE)
SW9173 SHITAKE



SCHEME #3

BODY (HORIZONTAL LAP)
TEAK (VARIFORM)

SIDING ACCENT
SANDY TAN (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
WHITE METAL / SW7005 PURE WHITE

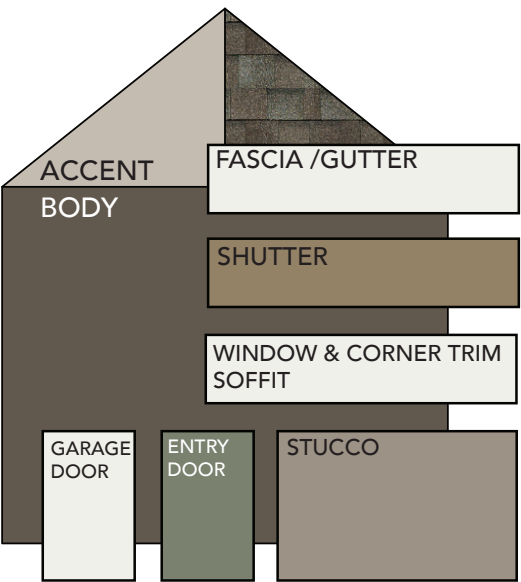
FASCIA / GUTTER
WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
CLAY

GARAGE DOOR
PRE-FINISHED WHITE

ENTRY DOOR COLOR
PAINT SW6186 DRIED THYME

STUCCO ACCENT (STONE TO REPLACE)
SW7504 KEYSTONE GRAY



SCHEME #4

BODY (HORIZONTAL LAP)
MEDITERRANEAN PALM (VARIFORM)

SIDING ACCENT
SILVER MIST (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
WHITE METAL / SW7005 PURE WHITE

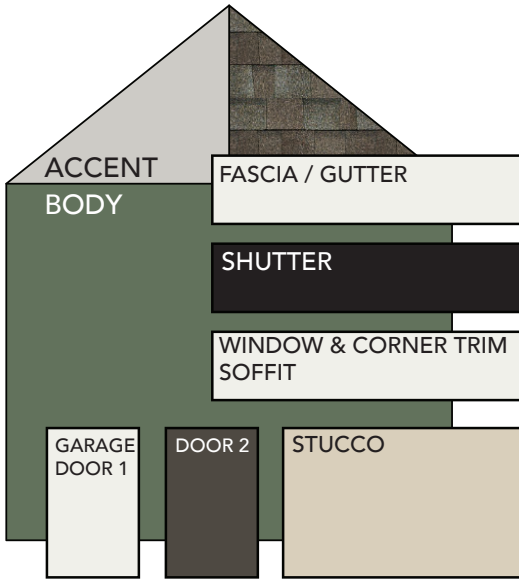
GUTTER / FASCIA
WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
BLACK

GARAGE DOOR
PRE-FINISHED WHITE

ENTRY DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO ACCENT (STONE TO REPLACE)
SW6149 RELAXED KHAKI



SCHEME #5

BODY (HORIZONTAL LAP)
DOVER WHITE (VARIFORM)

SIDING ACCENT
DOVER WHITE (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
WHITE METAL / SW7005 PURE WHITE

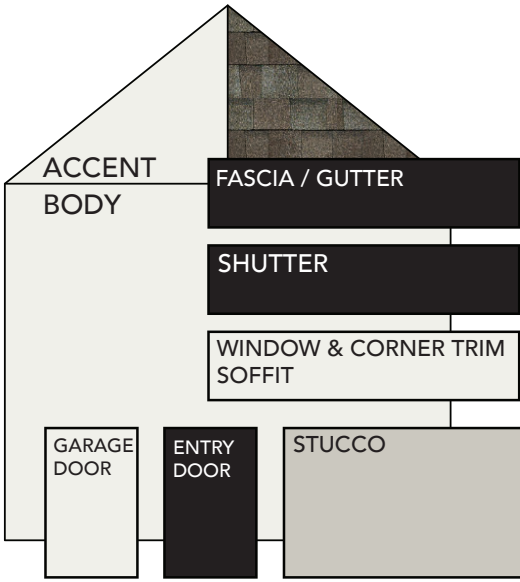
FASCIA / GUTTER
BLACK METAL / SW6258 TRICORN BLACK

SHUTTER (PER PLAN)
BLACK

GARAGE DOOR
PRE-FINISHED WHITE

ENTRY DOOR COLOR
PAINT SW6258 TRICORN BLACK

STUCCO ACCENT (STONE TO REPLACE)
SW7015 REPOSE GRAY



SCHEME #6

BODY (HORIZONTAL LAP)
DEEP BRUNSWICK (VARIFORM)

SIDING ACCENT
SILVER MIST (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
WHITE METAL / SW7005 PURE WHITE

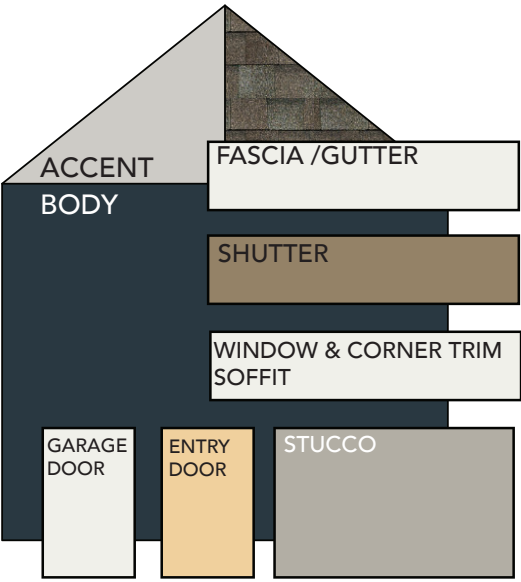
FASCIA / GUTTER
WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
CLAY

GARAGE DOOR
PRE-FINISHED WHITE

ENTRY DOOR COLOR
PAINT SW2857 PEACE YELLOW

STUCCO ACCENT (STONE TO REPLACE)
SW7643 PUSSYWILLOW



STONE CHOICES (IF SELECTED)



HUNTINGTON DIVINO LEDGE



SLATE LEUDERS



WHITE SAND DIVINO LEDGE



MIDNIGHT CHEIF JOSEPH



ALL ROOFING
GAF TIMBERLINE
"WEATHERED WOOD"

COACH HOUSE & COACHLIGHT - WANDER - ALL ELEVATIONS

SCHEME #1

BODY 1 (HORIZONTAL LAP D5)
SILVER MIST

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7641 COLONADE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HORIZONTAL LAP D5)
BRIARWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW7033 BRAINSTORM BRONZE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (HORIZONTAL LAP D5)
WEDGEWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7624 SLATE TILE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (HORIZONTAL LAP D5)
SAGEBROOK

BODY 2 (B+B OR SHAKE PER ELEVATION)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6201 THUNDEROUS

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (HORIZONTAL LAP D5)
STONE MOUNTAIN CLAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7504 KEYSTONE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #6

BODY 1 (HORIZONTAL LAP D5)
MEDITERRANEAN PALM

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6181 SECRET GARDEN

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #7

BODY 1 (HORIZONTAL LAP D5)
IRISH THISTLE

BODY 2 (B+B OR SHAKE PER ELEVATION)
SILVER MIST

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6200 LINK GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #8

BODY 1 (HORIZONTAL LAP D5)
PEWTER

BODY 2 (B+B OR SHAKE PER ELEVATION)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW2848 ROYCROFT PEWTER

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #9

BODY 1 (HORIZONTAL LAP D5)
URBAN IRON

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
WHITE

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7069 IRON ORE

COMPOSITION ROOFING
GAF TIMBERLINE NS "CHARCOAL"

SCHEME #10

BODY 1 (HORIZONTAL LAP D5)
SPANISH OLIVE

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
BROWN

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6164 SVELTE SAGE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #11

BODY 1 (HORIZONTAL LAP D5)
GEORGIAN GRAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6258 TRICORN BLACK

STUCCO COLOR
SW7064 PASSIVE

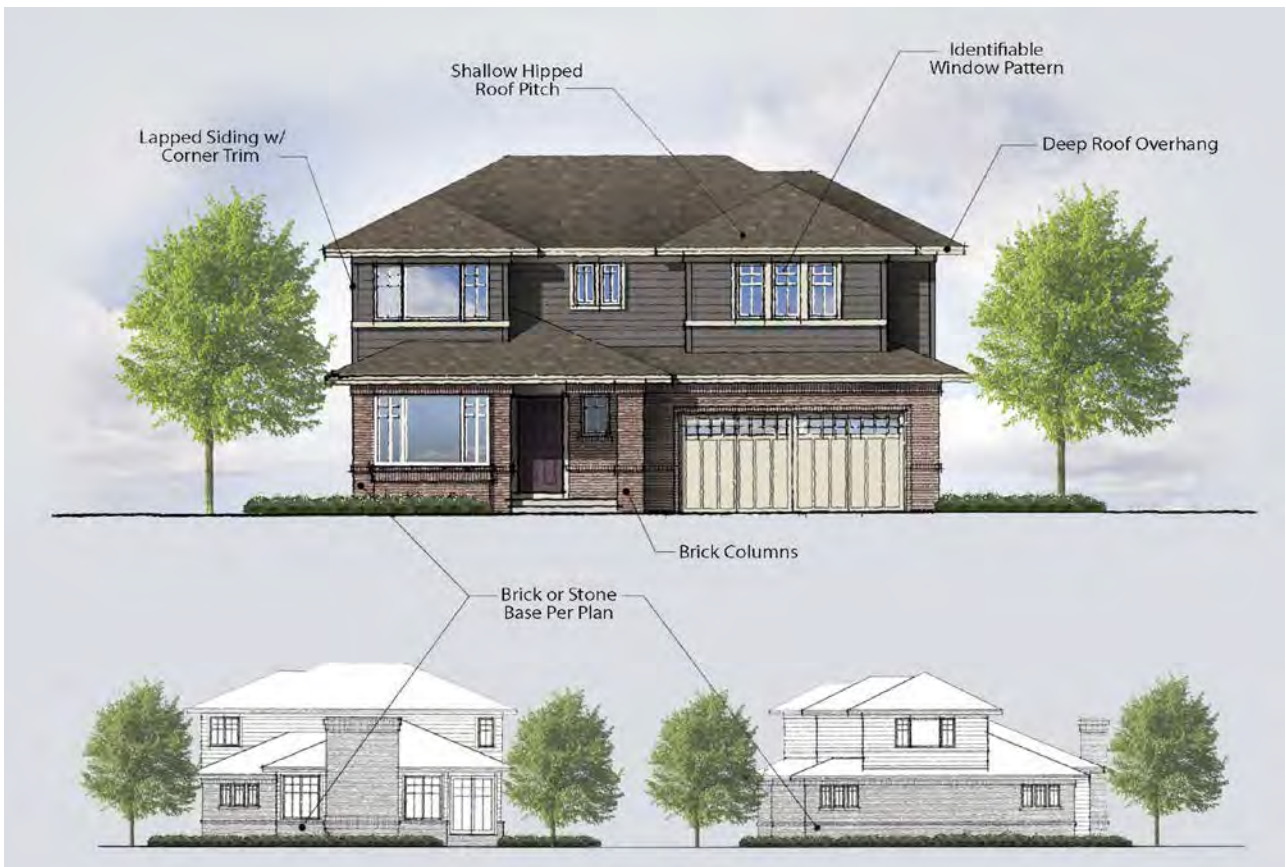
COMPOSITION ROOFING
GAF TIMBERLINE NS "CHARCOAL"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

Historic Prairie Style

With an emphasis on fitting the architecture into its surroundings, the Historic Prairie Style incorporates gently sloping roofs with broad overhangs, strong horizontal lines, and simple building massing. One-story porches with masonry columns often flank the main two-story body of the house. The low roof-line is often hipped; however, gable roofs can be used as accent features. The following features identify a Historic Prairie Style home:

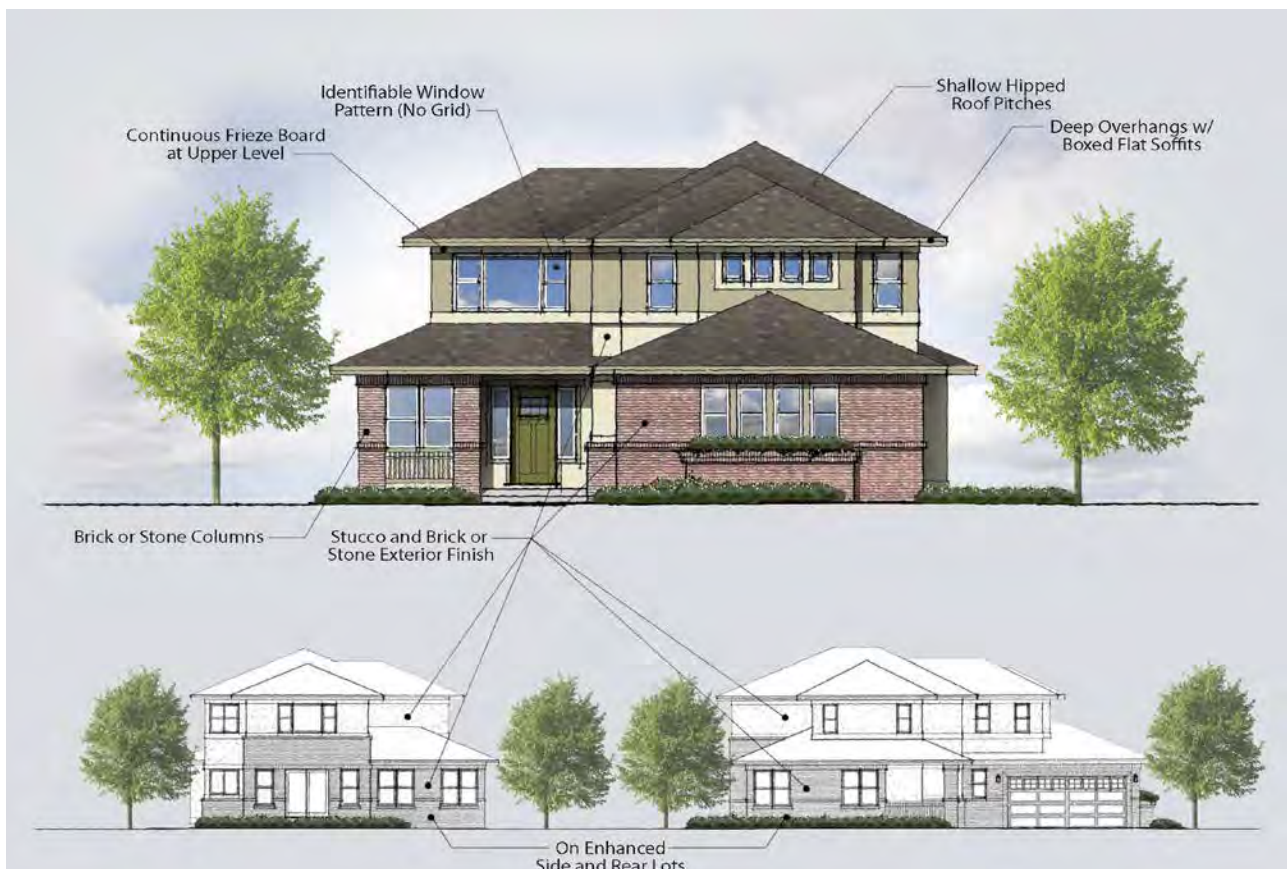
- Shallow roof pitches and deep overhangs
- Ribbon windows
- Brick masonry or lap siding with masonry base
- Hipped roof forms
- Wrap around porch
- Iron porch railing
- Carriage-type garage doors
- Contrasting colors
- Planter boxes



Contemporary Prairie Style

Similar to the History Prairie Style, the design of the Contemporary Prairie Style is strongly influenced by its surroundings. Gently sloping roofs with broad overhangs and strong horizontal lines are carried over from the historic style. A more complex building massing reflective of today's more complex plans is introduced. Porches with masonry columns are still a feature along with the low hipped roof lines. The window arrangements echo the historic style by using "ribbon" windows but without grids for this style only. The following features identify a Contemporary Prairie Style home:

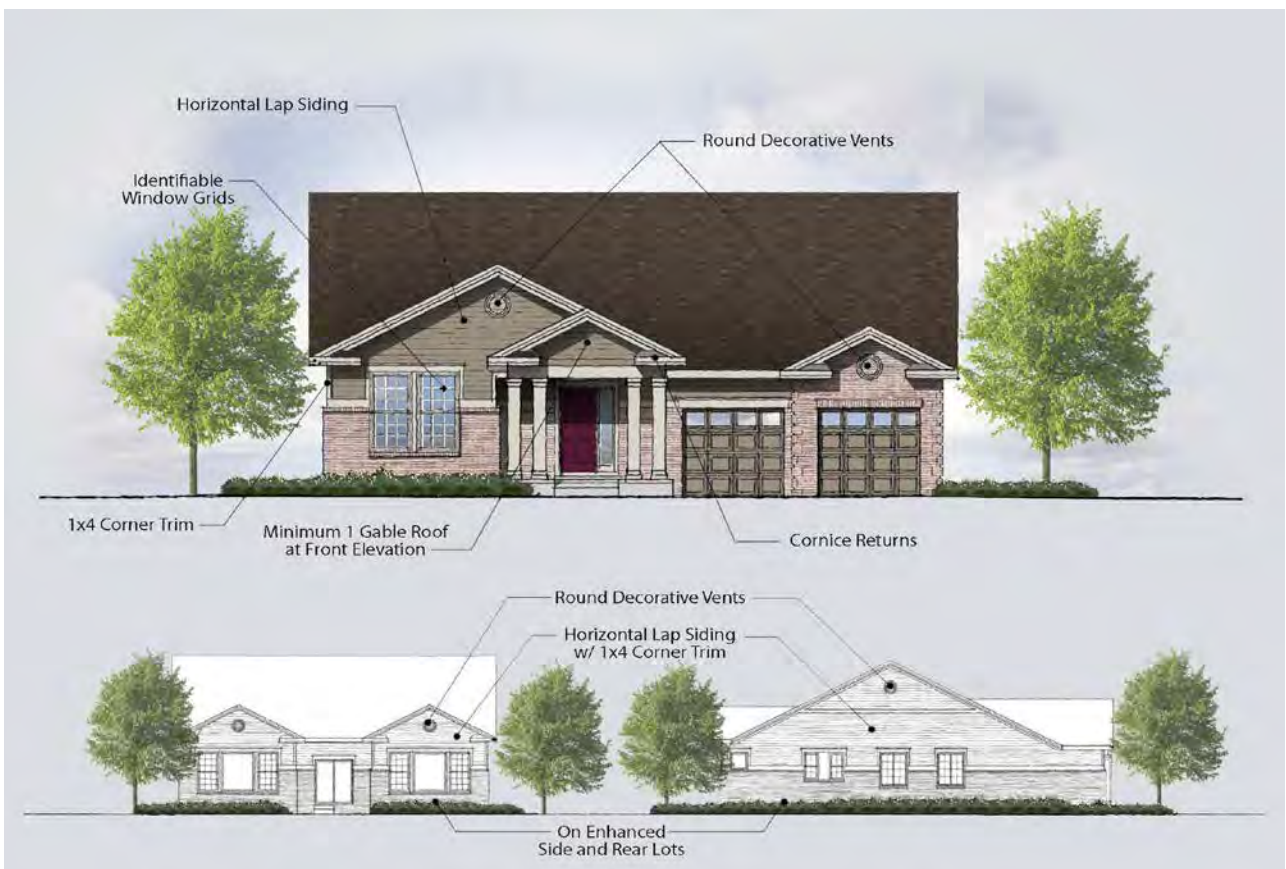
- Shallow roof pitches and deep overhangs
- Ribbon windows
- Stucco finish with masonry base
- Brick banding
- Hipped roof forms
- Wrap-around porch
- Carriage-type garage doors
- Contrasting colors
- Planter boxes



Historic Classic Style

Recognizing our nation's colonial heritage is the intent of the Classic style. Embellishing the simple form of the house with familiar detailing and massing does this. The roof forms are also simple, with accent gables facing the front. Vents or windows break up the mass of the gable end roof forms. Dormers are often used to break down large roof masses. Wide porches with built-up wood columns, or round columns, are an inviting feature. A simple railing around the porch adds charm to the facade. The following features identify a Historic Classic Style home:

- Medium roof pitches and moderate overhangs
- Round gable-end vents
- Gabled roof forms
- Corner trim with lap siding and stone or brick base
- Round porch columns
- Turned pickets at porch railing
- Keystone accents
- Double round columns
- Louvred accent shutters



Contemporary Classic Style

The Contemporary Classic Style is a close companion of the Historic Classic Style. The roof forms tend to be more intricate to reflect the complex massing of the house. Gable roofs are still prominent along with the use of vents and windows to articulate the gable ends. Window patterns and grids are similar to the historic style; however, the shutters and trim tend to be simplified. The following features identify a Contemporary Classic Style home:

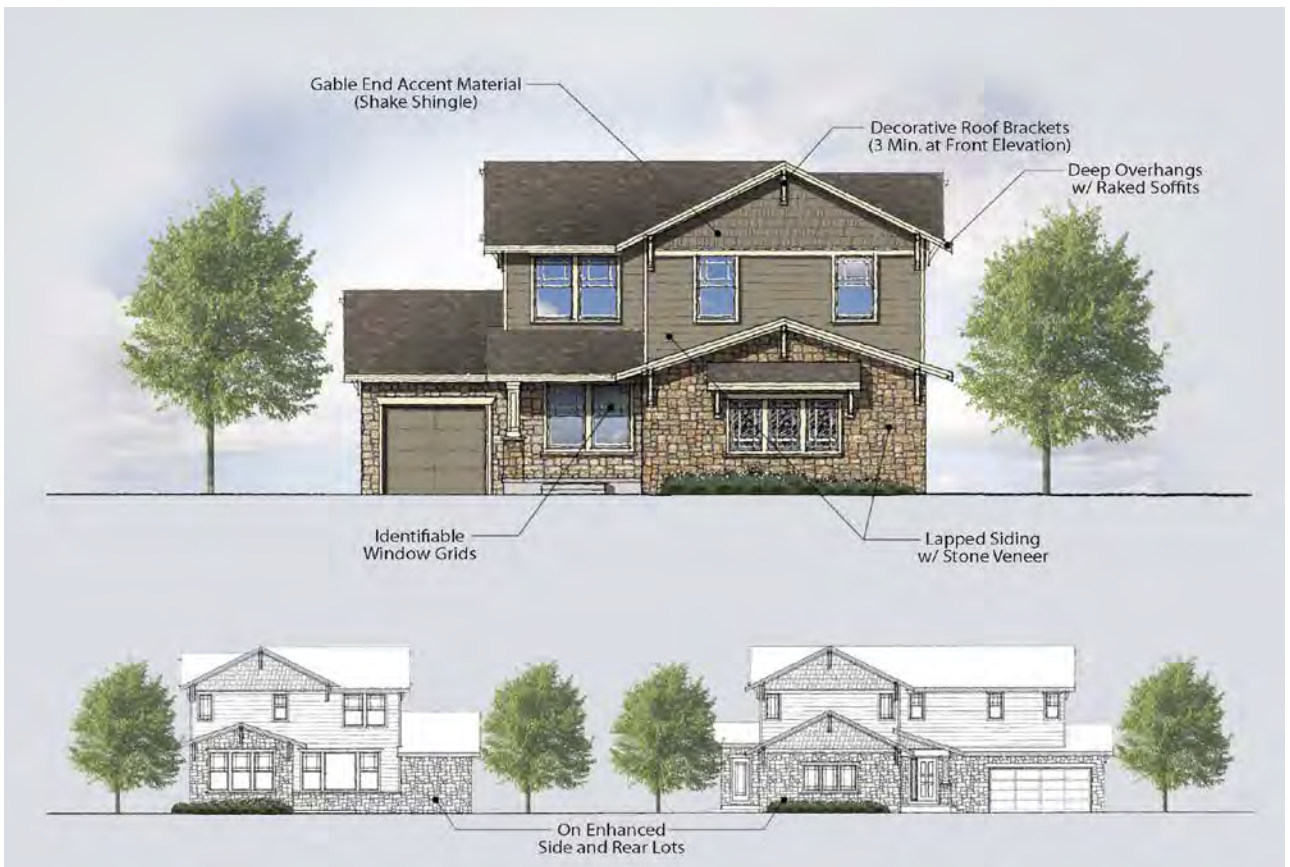
- Medium roof pitches and moderate overhangs
- Window muntin pattern
- Paneled accent shutters
- Round gable-end vents
- Gabled roof forms
- Corner trim with stucco siding and continuous masonry base
- Square or round porch columns
- Turned pickets at porch railing
- Stucco keystone accents



Historic Craftsman Style

Low horizontal forms and simple shapes characterize the Historic Craftsman Style. Rafters and beams are often exposed. Deep eave overhangs give the sheltering feeling to the roof. The gable ends are also treated with materials different from the main body of the house to add character to the facade. Porches are anchored to the ground with massive columns of tapered masonry or wood. The following features identify a Historic Craftsman Style home:

- Medium roof pitches and deep overhangs
- Gable accent material with trim band
- Shed roof forms
- Corner trim with lap siding and brick or stone base
- Built-up porch columns
- Wrap-around porch
- Tapered accent trim



Contemporary Craftsman Style

The updated version of the craftsman style is more complex in its massing and roof-lines to express the modern lifestyle, but still borrows several key elements from its predecessor. Exposed rafters and beams, decorative brackets or beams are used to support gable end roofs, and the gable ends are treated with contrasting materials. The windows are tall and narrow, grouped together to give bright daylight to the interior. The windows also have articulated trim and geometric window grids. The following features identify a Contemporary Craftsman Style home:

- Shallow roof pitches and deep overhangs
- Gable accent material with trim band
- Shed roof forms
- Stucco siding with brick or stone base
- Built-up porch columns
- Wrap-around porch
- Carriage-type garage doors
- Window muntin pattern
- Tapered accent trim



Historic Homestead Style

The Historic Homestead Style is rooted in the eastern plains and foothills of Colorado. Simple massing and rustic character reflected the conditions of rural homestead life. Elements of cabin construction are combined with more sophisticated touches found in the Classic and Craftsman styles. The following features identify a Historic Homestead Style home:

- Medium roof pitches and shallow overhangs
- Gable end vents and outlookers
- Dutch gable roof forms
- Board and batten or lap siding with stone base
- Stone column base
- Turned columns
- Wrap-around porch
- Decorative porch brackets
- Window muntin pattern



Contemporary Homestead Style

The contemporary expression of the homestead style retains the signature “Dutch gable” roof form and other details while incorporating more complex massing to reflect modern lifestyles. Stucco replaces lap siding as the primary wall material. The following features identify a Contemporary Homestead Style home:

- Medium roof pitches and shallow overhangs
- Boxed flat soffit
- Gable end vents and outlookers
- Dutch gable roof forms
- Board and batten or stucco finish with continuous stone base
- Stone column base
- Turned columns
- Wrap around porch
- Decorative porch brackets
- Accent shutters
- Window muntin pattern



TRAFFIC IMPACT STUDY

The following are the recommendations and conclusions from the 2018 TIS. Because the trip generation with the updated plan is relatively similar, it is anticipated that the same recommendations would apply at intersections where these improvements have not been implemented yet. See Appendix A for full report.

Executive Summary

This study addresses the traffic impacts associated with the proposed Jordan Promenade development located in Saratoga Springs, Utah. The proposed project is located on the west side of Redwood Road (SR-68) between 400 North and 400 South.

Included within the analyses for this study are the traffic operations and recommended mitigation measures for existing conditions and plus project conditions (conditions after development of the proposed project) at key intersections and roadways near the site. Future 2024 and 2040 conditions were also analyzed.

Summary of Key Findings & Recommendations

The following is a summary of key findings and recommendations:

- All study intersections are currently operating at an acceptable LOS during the evening peak hour in existing (2018) background conditions.
- The development will consist of residential townhomes, single-family homes, and retail.
- All study intersections are anticipated to operate at an acceptable LOS during the evening peak hour with project traffic added.
 - A short weave section is expected between Redwood Road and Riverside Drive on Pioneer Crossing. The weave is anticipated to be approximately 300 feet in length. It is recommended that this area be evaluated by UDOT to determine if more distance can be provided for this weave area.
- All study intersections are anticipated to operate at an acceptable LOS during the evening peak hour in future (2024) background except Redwood Road / Pioneer Crossing.
 - It is recommended that Redwood Road be widened to have three lanes in each direction.
- All study intersections are anticipated to operate at an acceptable LOS during the evening peak hour in future (2024) plus project conditions, except Redwood Road / Pioneer Crossing, Pony Express Pkwy / Redwood Road, 400 South / Redwood Road, and Access 1 Redwood Road. The following are recommended:
 - Redwood Road be widened to have three lanes in each direction.
 - 400 South / Redwood Road be signalized when warrants are met.

- All study intersections are anticipated to operate at an acceptable LOS during the evening peak hour in future (2040) background except Redwood Road / Pioneer Crossing and Pony Express Pkwy / Redwood Road.
 - It is recommended that Redwood Road be widened to have three lanes in each direction.
 - An additional analysis was completed assuming that Redwood Road is widened to three lanes in each direction. Both Redwood Road / Pioneer Crossing and Pony Express Pkwy / Redwood Road are anticipated to improve in terms of queueing and LOS.
- All study intersections are anticipated to operate at an acceptable LOS during the evening peak hour in future (2040) plus project conditions except Redwood Road / Pioneer Crossing, Pony Express Pkwy / Redwood Road, and Pony Express Pkwy / Riverside Drive. The following are recommended:
 - Redwood Road / Pioneer Crossing is anticipated to be a very busy intersection with high turning volumes. This intersection is crucial to coordination for both Saratoga Springs – Jordan Promenade Traffic Impact Study v Redwood Road and Pioneer Crossing. It is recommended that UDOT monitor coordination on both roadways to limit delays.
 - The intersection of Pony Express Pkwy / Redwood Road is and will continue to be a very busy intersection. The westbound approaching vehicles can reroute to different signals to cross through Redwood Road if Pony Express Parkway is too busy.
 - The Pony Express Parkway / Riverside Drive intersection is also anticipated to be busy. The southbound approach is anticipated to perform at a poor LOS. It is recommended that a southbound right-turn pocket be constructed.

EXHIBIT 8 - CULINARY WATER MASTER PLAN

See Appendix B for the Utility Master Plan.

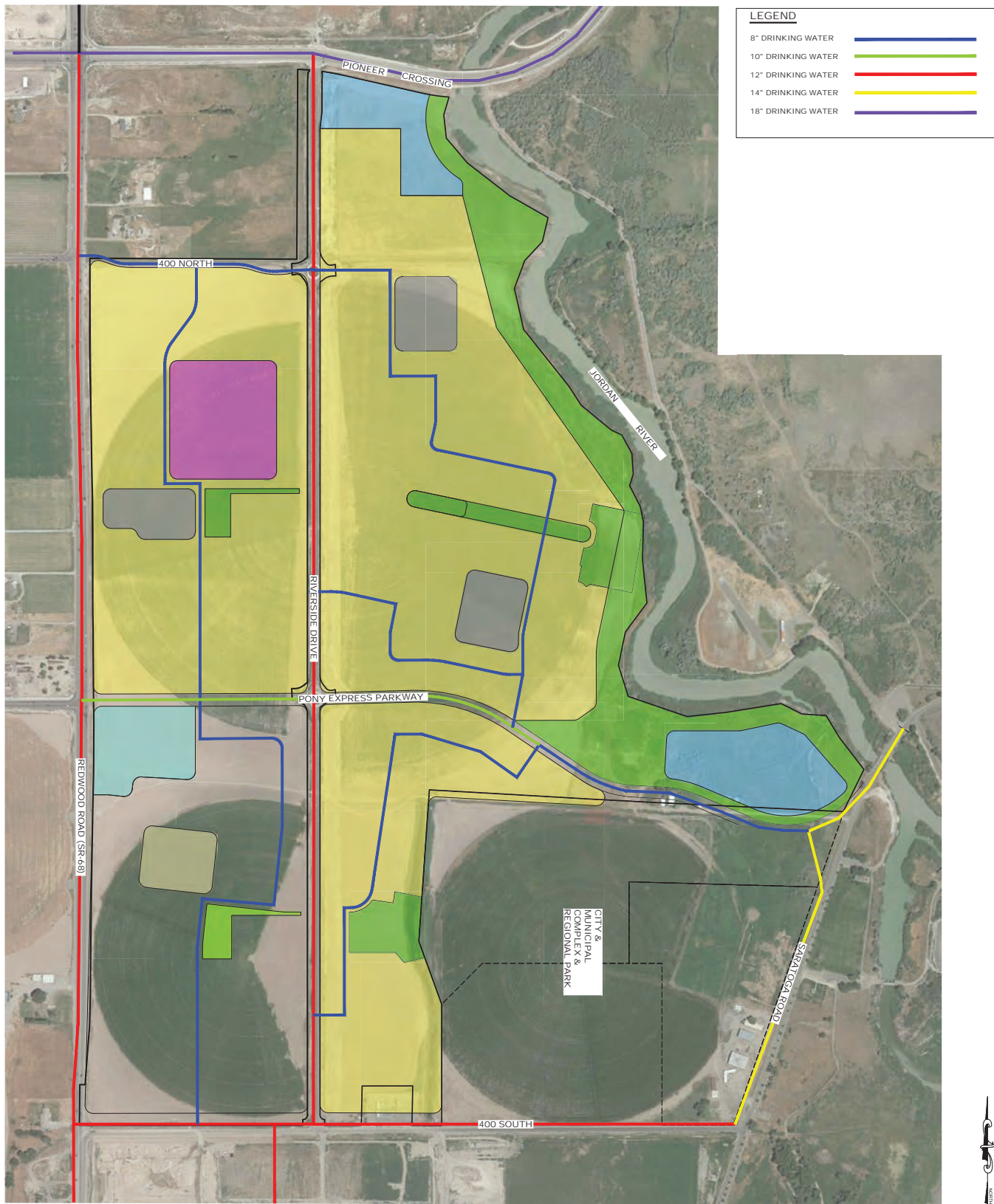
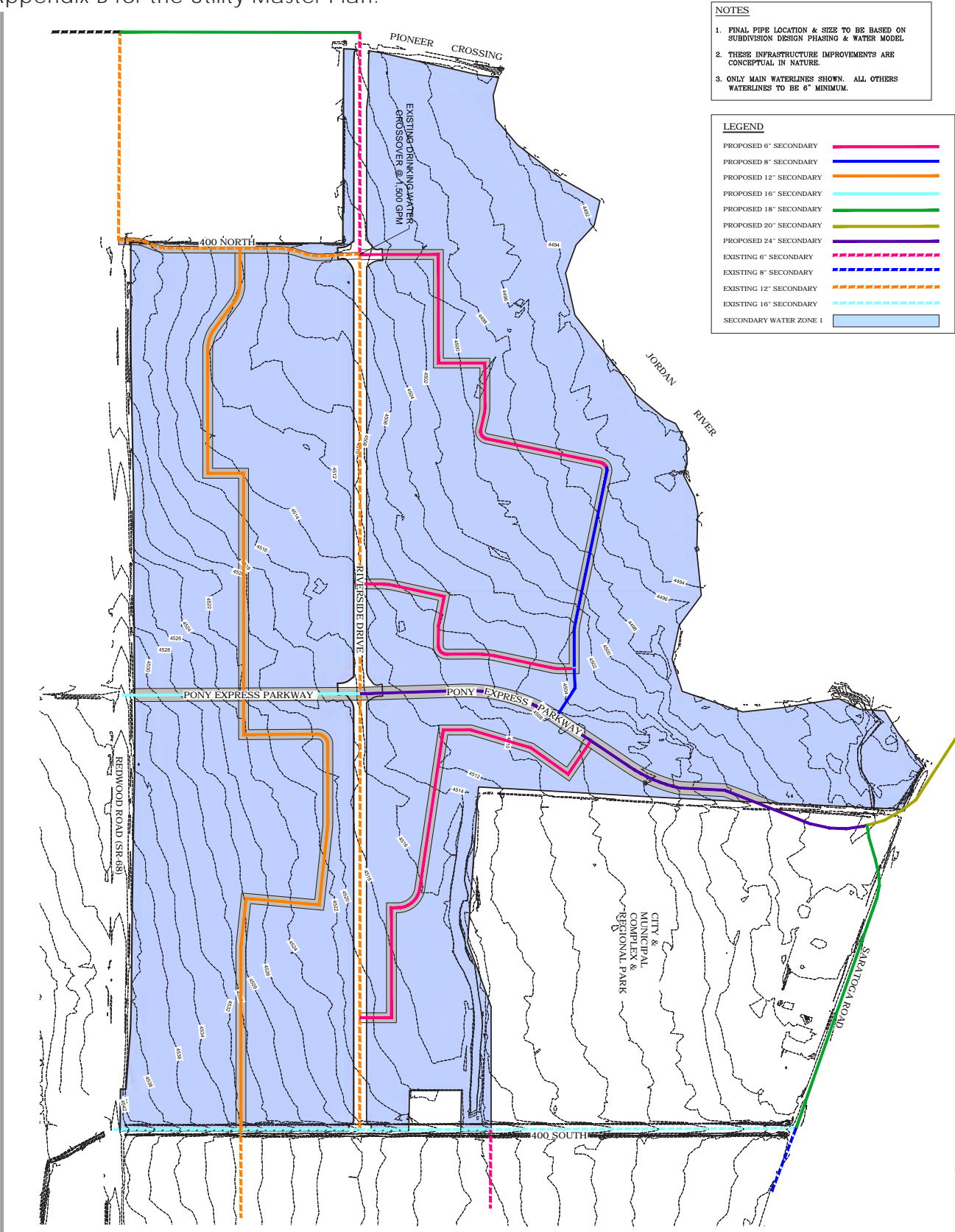


EXHIBIT 9 - SECONDARY WATER MASTER PLAN

See Appendix B for the Utility Master Plan.



*PLAN NOT TO SCALE

See Appendix B for the Utility Master Plan.

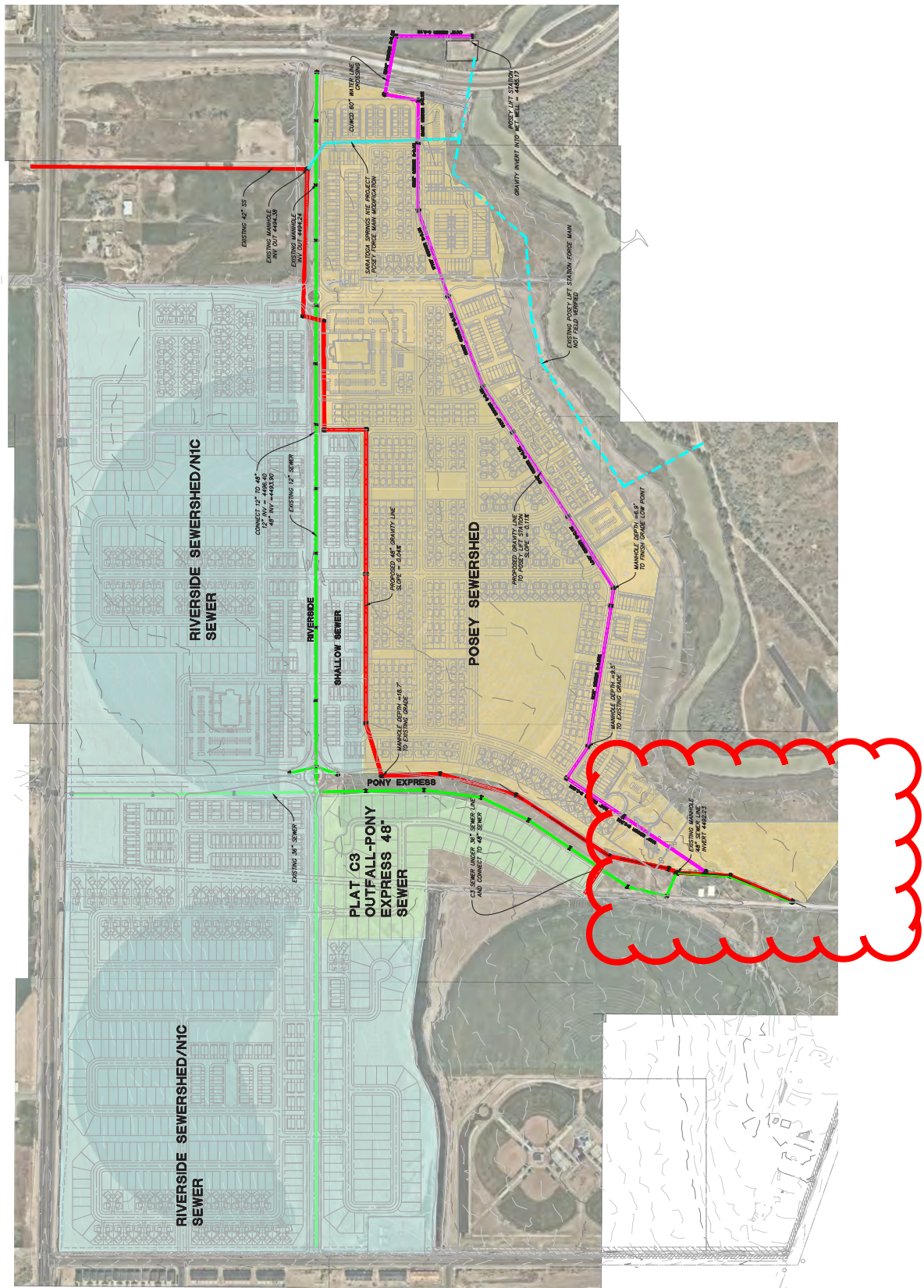
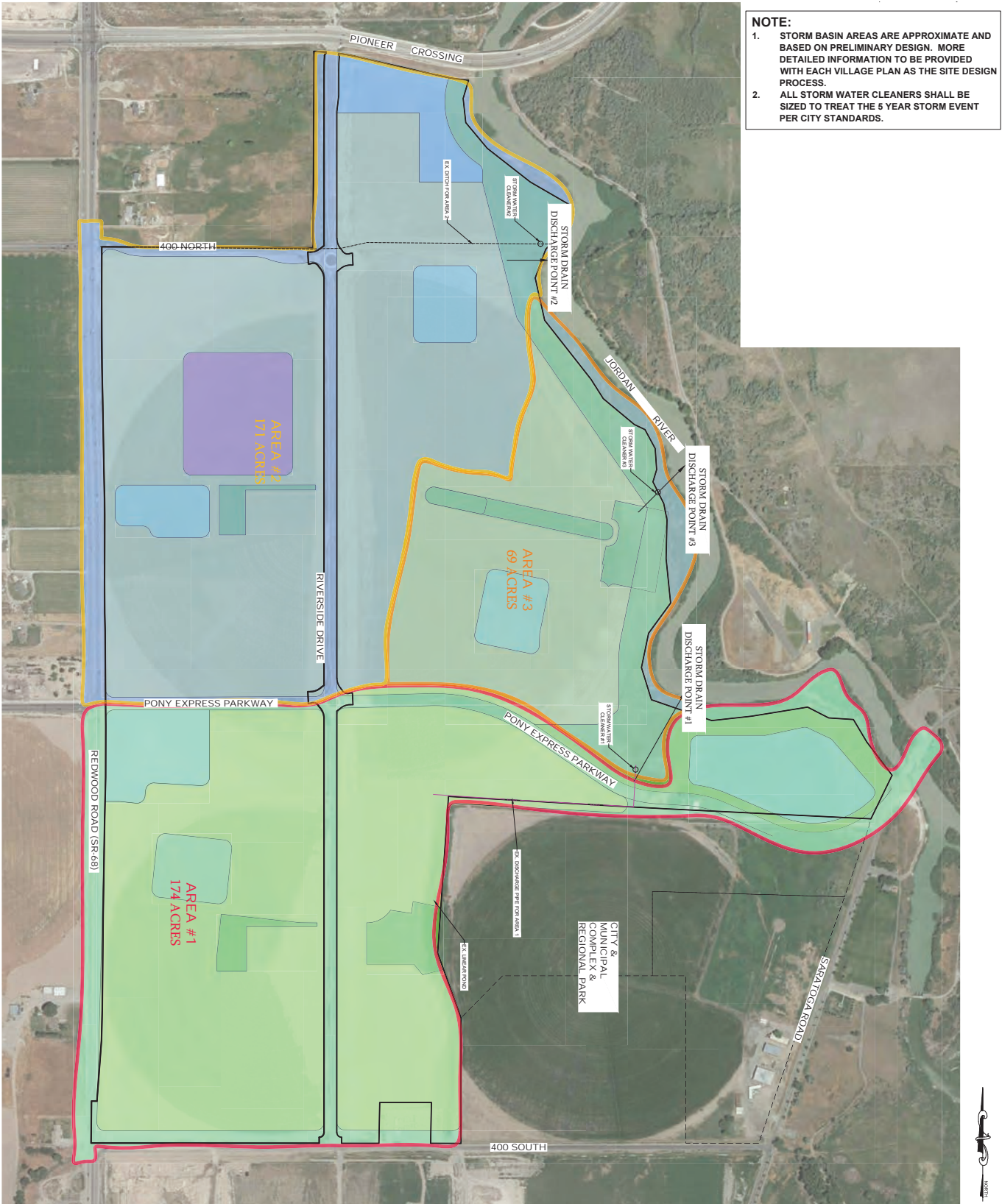


EXHIBIT 11 - STORM DRAIN MASTER PLAN

See Appendix B for the Utility Master Plan.



*PLAN NOT TO SCALE

CULTURAL RESOURCES INVENTORY

See Appendix C for full report.

Introduction

In 2017, Oakwood Homes LLC (the Client) requested that SWCA Environmental Consultants (SWCA) conduct an intensive-level (Class III) cultural resources inventory related to the proposed construction of a subdivision housing development in Saratoga Springs, Utah. The cultural resources inventory discusses the entire project area, while the survey area is focused on the bottom one-third of the project area, i.e., the area south of the Pony Express Parkway. The project area consists of 436.76 acres, whereas the survey area consists of 129.83 acres; 306.93 acres of the project has been previously surveyed. All of the land in the project area is privately owned, and permission was obtained by SWCA to conduct the intensive-level pedestrian survey on behalf of the Client.

All cultural resources work for this project was conducted under the authority of the Public Lands Policy Coordination Office Principal Investigator Permit issued to Dr. Matt Edwards (Permit No. 278). No fieldwork authorizations (other than the Client's permission) were required for this project because the parcel is privately owned. The project was assigned Utah State Antiquities Project No. U-17-ST-0673p. All photographs, field notes, and geographic information system (GIS) data are archived at the SWCA office in Salt Lake City, Utah.

Project Area

The project area falls within Sections 23, 24, 25, and 26, in Township 5 South, Range 1 West, in Saratoga Springs in Utah County, Utah. Saratoga Springs is located just to the west of the city of Lehi and abuts Utah Lake to the south and southeast. The 436.76-acre project area is primarily agricultural fields, with some urban development in the northwest corner. Currently, a large portion of the project area is being used to cultivate crops. The eastern boundary of the survey area is Redwood Road, and the western boundary consists of both the Jordan River and Saratoga Road. Riverside Drive extends north-south through the western one-third of the survey area, dividing the project area in half. The predominant vegetation is approximately equal parts corn and wheat crops, with tall grasses and marshland vegetation found in the outlying edges of the project area. Soils are loosely compacted alluvial sandy loams that have been repeatedly disturbed through agricultural tilling.

Survey Area

The survey area for this effort falls within Sections 25 and 26, in Township 5 South, Range 1 West, in Saratoga Springs in Utah County, Utah (Figure 2). Elevations in the survey area range between 4,495 and 4,518 feet above mean sea level. The 129.83-acre survey area is an agricultural field that is bounded on all sides by other agricultural fields and suburban residential development. Riverside Drive extends north-south through the survey area, and an irrigation ditch extends north-south directly through the center, adjacent to a power station at the southern end. As is the case throughout the project area, the predominant vegetation is approximately equal parts corn and wheat with tall grasses and marshland vegetation abutting the irrigation ditch. Soils here are the same as in the rest of the project area: loosely compacted alluvial sandy loams that have been repeatedly disturbed through agricultural tilling.

Findings & Conclusion

The field survey recorded one isolated object (IO-01) within the survey area. The object was determined not eligible for the National Register of Historic Places (NRHP).

The file search resulted in two previously recorded sites (42UT1420 and 42UT1545) within the project area, each of which represents a linear historic feature (see Figure 2 in Appendix C). The first resource (42UT1420) originally consisted of two parallel ditches that run east-west alongside 6800 North. The second resource (42UT1545) is a historic high-voltage utility line that extends through the survey area southwest-northeast.

No new cultural resources were recorded during the intensive-level pedestrian survey. Site 42UT1420 is now recommended no longer eligible for the NRHP, and 42UT1545 is still recommended as a non-contributing element to the NRHP-eligible site as a whole.

Based on the results of the inventory, the historic L.L. Nunn High-Voltage Transmission Line (42UT1545) is likely to be the only site affected by the proposed project because it runs directly through the project area. However, no historic features or artifacts associated with this resource were observed within the survey area, so the overall impacts to the resource are considered to be minimal. Therefore, no further archaeological work is recommended for the survey area.

EXHIBIT 12 - CULTURAL RESOURCES INVENTORY MAP

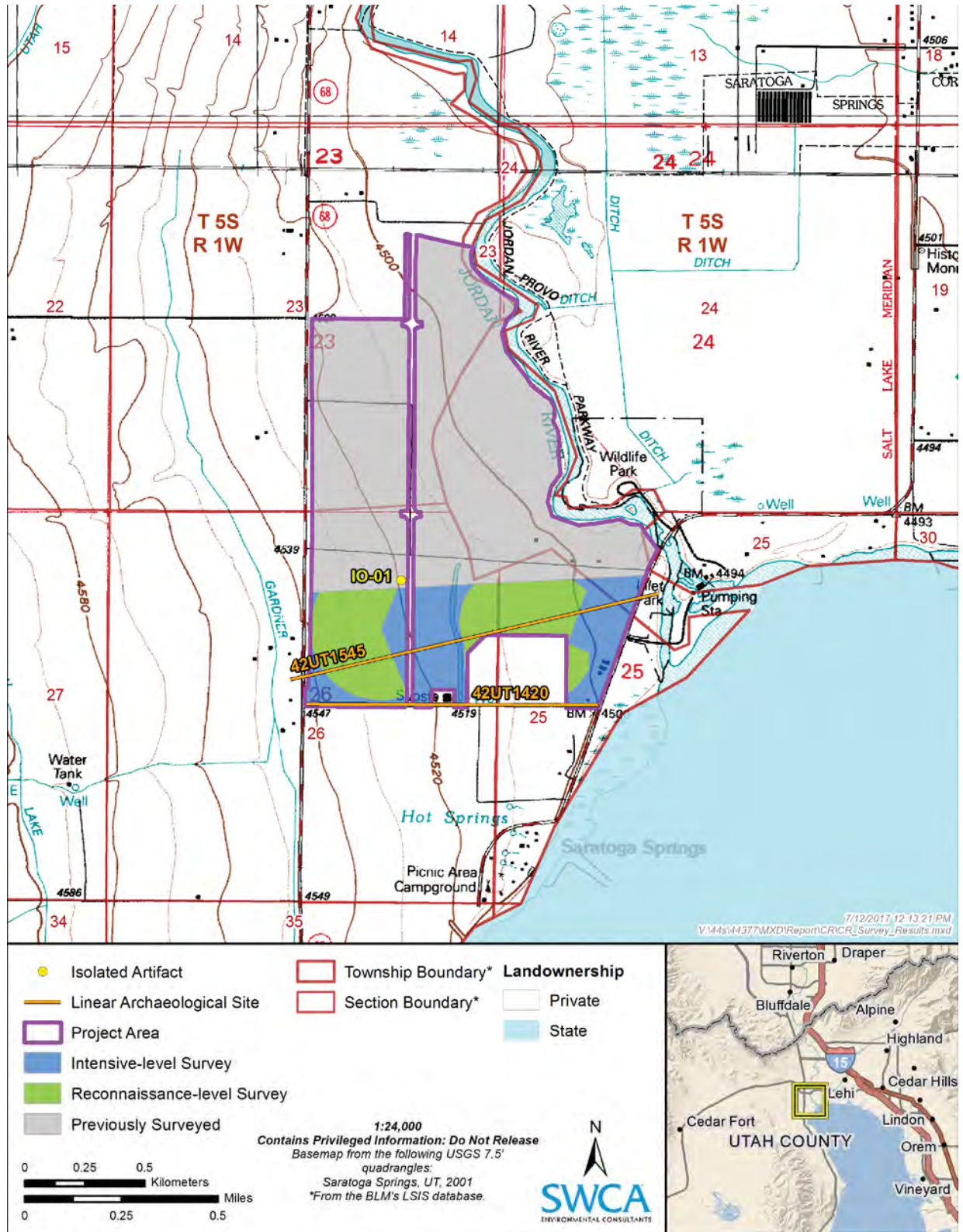


Figure 2. Area surveyed and results.

NATURAL RESOURCES INVENTORY

Geological Hazards

According to Utah County Hazard Mapping as published by Utah County Public Works Department, the following hazards have been identified through coordination with Utah County, USGS, MAG and other agencies:

- No faults are shown in the project site.
- No fault ruptures are shown in the project site.
- The project site has a high potential for liquefaction.
- Flood hazards have been identified in the project site.
- No landslide hazards have been identified in the project site.
- No rock fall hazards have been identified in the project site.
- No debris flows have been identified in the project site.
- No wild fire hazards have been identified in the project site.
- No dam failure risks have been identified in the project site.
- No avalanche hazards have been identified in the project site.

Soils

A geotechnical investigation has been conducted on the Jordan Promenade development by Western Technologies, Inc., dated July 12, 2017. Excerpts from the investigation include:

- The Site subsurface soils consisted of two distinct areas. The first area is located from Redwood Road to just east of Riverside Drive and from 400 North to 400 South. The soils characterized in these borings and tests to a depth of approximately 10 feet consisted of firm to stiff clays and silts and medium dense to dense sands and gravel layers. The materials underlying the surface soils and extending to the full depth of exploration consisted of soft to firm clay and silt and loose to very dense sand and gravel layers. The second area is located from just east of Riverside Drive to the Jordan River and Saratoga Road. The soils characterized in these borings and tests to a depth of 21.5 feet consisted of very soft to firm clay and silt and loose to medium dense silty sand. The materials underlying the surface soil and extending to the full depth of exploration consisted of very soft to firm clay and silt and loose to dense silty sands. In addition, the soils observed in other borings had layers of highly organic clay and silt that may be classified as peat.
- Groundwater levels were measured after the levels had stabilized following drilling, and additional measurements were made at two week intervals. Groundwater levels have ranged from 2.32 feet to 20 feet as measured during May 30 to July 10, 2017.

- Conventional spread and continuous-type footings may be used to support the proposed structures in areas with firm to stiff clays area. Since the native soils exhibit substantial settlement potentials, the footings should bear on engineered fills achieved by removal and replacement of the compressible or collapsible soils below footings. The depth and lateral extent of the engineered fills is presented in the Earthwork section of the geotechnical report. In the highly organic soil areas, deep foundations such as drilled piers, driven piles, or micro-piles may be required. Conventional spread and continuous-type footings may be used to support the proposed structures in areas with firm to stiff clays area. Since the native soils exhibit substantial settlement potentials, the footings should bear on engineered fills achieved by removal and replacement of the compressible or collapsible soils below footings. The depth and lateral extent of the engineered fills is presented in the Earthwork section of the geotechnical report. In the highly organic soil areas, deep foundations such as drilled piers, driven piles, or micro-piles may be required to support structures. The design of these deep foundations will depend upon the individual building loads and is beyond the scope of this report. Alternative footing depths and allowable bearing capacities of 1500 psf with some restrictions set forth in the geotechnical report.
- At the time of the investigation, the project site consisted of agricultural fields and some infrastructure including large pivot irrigation systems with accompanying piping and electrical systems, farm buildings with accompanying equipment. Vegetation consisted of corn and grain crops and pasture grass and weeds.

Wetlands

The wetlands shown are based on a preliminary delineation by Frontier Corporation USA, dated: March 18, 2016. A final wetland delineation will be required to accurately determine the limits of the wetlands.

Dams, Canals, and Channels

No dams exist above this site. There are two main drainage ditches located on the north and south side of the property. The north drainage ditch is the master plan storm drain outfall (Project OCN3) of the City's Storm Drain Master Plan. The south drainage ditch serves as an outfall for the southern road improvements of Riverside Drive and as a discharge point for the linear pond.

Shrubs, Trees, and Wildlife

Shrubs and trees are very limited within the project site. Vegetation consists of agricultural fields ranging from corn to grain crops, with outcroppings of pasture grass and weeds.

Flood Plain Data

This property is within Flood Zone "X" and Zone "AE" (with base flood elevation 4,493.00) according to the Flood Insurance Rate Map Panel No. 4902500115A. Effective Date: July 17, 2002, revised to reflect LOMR, Effective Date: December 19, 2016. The flood Zone line has been shown here on based on the contour line of 4,493.00.

EXHIBIT 13 - NATURAL RESOURCES INVENTORY MAP

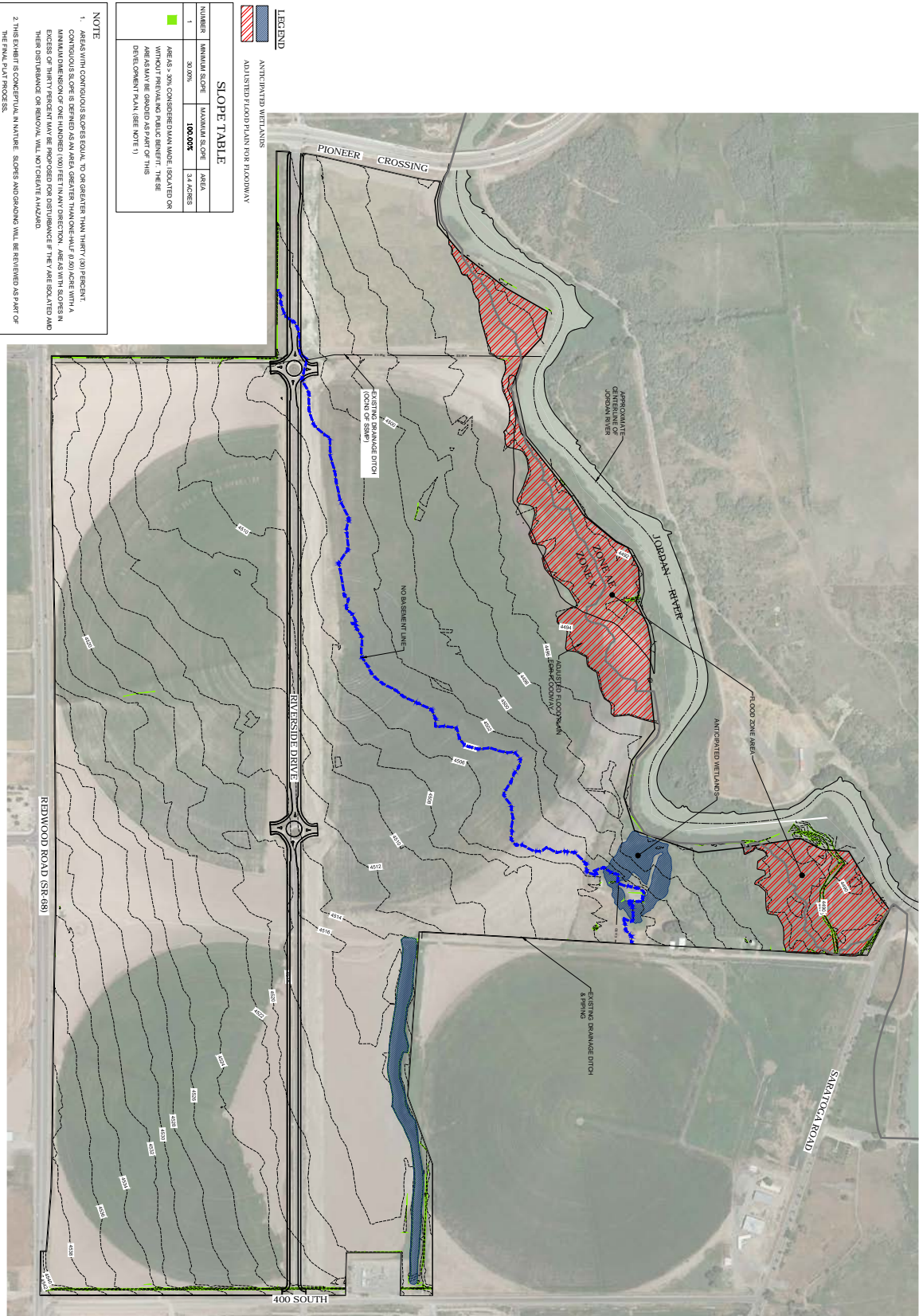
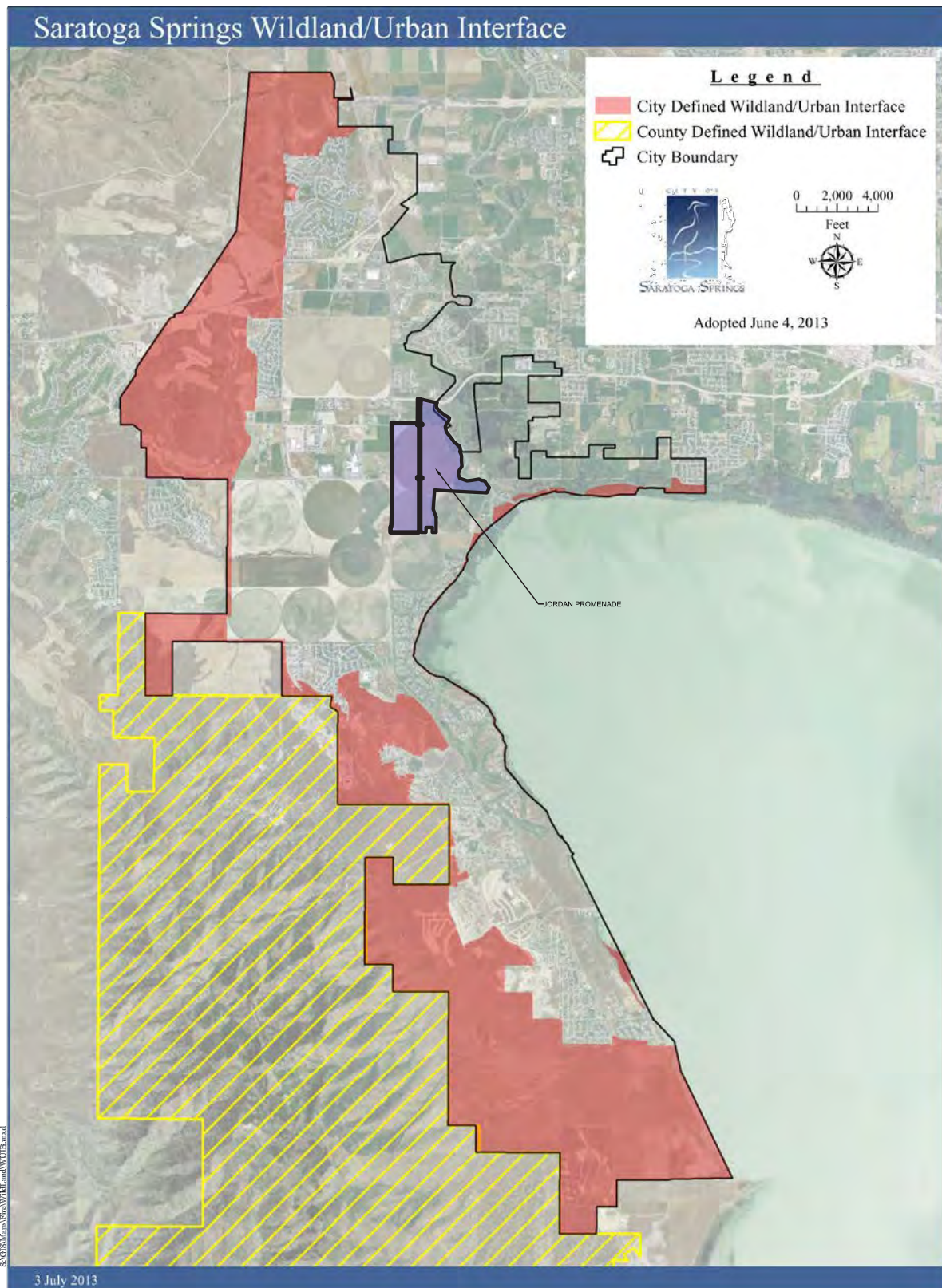


EXHIBIT 14 - WILDLAND/URBAN INTERFACE



*PLAN NOT TO SCALE

GEOTECHNICAL EVALUATION REPORT

See Appendix D for full report.

Executive Summary

1. The Jordan Promenade Development Project formerly known as the Saratoga Springs 450 Acre Site (WT Reference No. 6127JT119) consists of both single and multi-family residential subdivisions. The Site is located east of Redwood Road between 400 South and Pioneer Crossing and the Jordan River. The site consisted mainly of irrigated farmland and pasture with Riverside Drive running through the site from north to south.
2. The Site soils consisted of two distinct areas. The first area is located from Redwood Road to just east of Riverside Drive and from 400 North to 400 South. The surface soils in this area consisted of firm to stiff clays and silts and medium dense to dense sands and gravel layers. The materials underlying the surface soils and extending to the full depth of exploration consisted of soft to firm clay and silt and loose to very dense sand and gravel layers. The second area is located from just east of Riverside Drive to the Jordan River and Saratoga Road. The surface soils in this area to a depth of 21.5 feet consisted of very soft to firm clay and silt and loose to medium dense silty sand. The materials underlying the surface soil and extending to the full depth of exploration consisted of very soft to firm clay and silt and loose to dense silty sands. In addition, the soils observed in a small area east of Riverside Drive just south of Pioneer Crossing had layers of highly organic clay and silt that may be classified as peat.
3. Groundwater was found at depths ranging from 2.3 feet to 20 feet.
4. It is our opinion that the site is suitable for the proposed construction provided the soils are prepared according to the soil report recommendations. Conventional spread and continuous-type footings may be used to support the proposed structures in areas with firm to stiff clays area. Since the native soils exhibit substantial settlement potentials, the footings should bear on engineered fills achieved by removal and replacement of the compressible or collapsible soils below footings. As a minimum in areas with firm to stiff clay soils, footings should be supported upon a minimum thickness of two feet of engineered fill below the bottom of the footing. Removal should extend a minimum of two feet beyond the footing edges. Replace with engineered fill material. If collapsible soils or very soft clay soils are encountered, additional removal may be required. Final determination for foundations support should be done for specific building types and development phases. This includes deep foundation design in highly organic soil areas.

5. Roadways for this development will consist of local, collector and arterial streets to private drives and parking lots. A wide range of pavement sections have been calculated depending upon the type of street or driveways. The pavement thicknesses range from 3 inches of asphalt over 8 inches of untreated base to 6 inches of asphalt over 6 inches of untreated base and 12 inches of subbase.
6. This purpose of our study was to identify the soil conditions and provide broad over all recommendations for the development. Additional geotechnical studies for specific building types and/or specific phases of development are recommended when that information becomes available.

EXHIBIT 15 - BORING & TEST LOCATION



ENVIRONMENTAL SITE ASSESSMENT

See Appendix E for full report.

Executive Summary

Western Technologies Inc. (WT) completed a Phase I Environmental Site Assessment (ESA) of the Saratoga Springs 450 Acre Property at approximately 400 South Redwood Road in Saratoga Springs, Utah, WT Job No. 6127JA124, dated June 22, 2017 and a Limited Subsurface Investigation, WT Job No. 6127JA170, dated July 26, 2017. The purpose of this ESA was to identify to the extent feasible, pursuant to the processes described herein, recognized environmental conditions (RECs), in connection with the Property.

The Property consisted of an approximately 450 acres primarily vacant land that has been used for wheat, corn, and alfalfa hay crops. Sheds and fuel tanks used for the Lehi Utah Saratoga Crops Welfare Farm were located on the southeast corner of the Property and two residential houses were also located on the Property. The Jordan River runs along the east side of the Property and a Rocky Mountain Power Substation is located to the south near Riverside Road that runs from north to south between Redwood Road and Saratoga Springs Road. Parked construction and farming equipment was on the southeast corner and scattered piles of soil, vegetation and concrete debris were on the Property. It appears that one of the residential houses had been torn down and the concrete foundation remained. Water tanks and pumps used for irrigation were on the Property in several locations. Residential housing was under construction to the south of the Property across 400 South. Vacant, undeveloped land was also east of the Property and west was Redwood Road, residential housing, barns and vacant undeveloped land. To the north was the Pioneer Crossing Road, residential housing and vacant land.

Twelve aerial photographs taken from 1947 to 2014 and five topographic maps from 1951 to 2014 characterized the prior use of the Property as primarily undeveloped, vacant land used for crops. By 1965, sheds and barns are visible on the southeast corner and the houses have been built on the west side.

WT found no regulatory agency database entries pertaining to the Property or sites within the designated ASTM minimum search distances in the searched Federal USEPA or UDEQ databases.

This ESA revealed no evidence of RECs currently in connection with the Property, and WT makes no recommendations for further assessment at this time except for WT recommended additional investigation including surface soil sampling the areas of the pesticide mixing area and fuel and oil storage tanks.

In the AST area, WT collected a total of four soil samples from a depth of 3 to 12 inches below the existing ground surface at selected locations around the AST area. The samples were tested for the gasoline and diesel constituents Benzene, Toluene, Ethylbenzene, Xylenes, and Napthalene (BTEXN), MTBE, Napthalene, Total Petroleum Range Hydrocarbons as diesel (TRP-DRO), and oil and grease (TRPH).

In the burned house area, WT collected a total of three soil samples from a depth of 3 to 6 inches below the existing ground surface at selected locations in the area of the burned down house. The samples were tested for asbestos, lead and mercury. In the area around the sheds and garages where pesticides and herbicides were mixed, WT collected a total of four soil samples from a depth of 3 to 6 inches below the existing ground surface at selected locations across the Property. WT requested testing for organochlorine pesticides using EPA Method 8081A and for chlorinated herbicides using EPA Test Method 8151 on the samples.

Results from the AST area were compared to the Utah Department of Environmental Quality (UDEQ) Tier 1 Initial Soil Screening Criteria. All concentrations were below the Screening Criteria levels and/or laboratory reporting levels with the exception of very low readings of TPH-DRO and Oil & Grease for the near surface samples from the stained soil just east of the AST island. This sample was 10,900 mg/kg for TPH-DRO and 334,500 mg/kg for Oil & Grease. Based upon these results, WT believes that the results are indicative of localized surface impact from the diesel equipment operated on the site. WT recommends that the stained soil be removed and properly disposed in the area of the AST island to a depth of 1 foot below the ground surface and after removal WT should be contacted to test the soil below the removed area to determine if the soil impacts were confined to the ground surface. Additional, deeper testing may be required to further define the extent of the contamination but it appears that the staining is confined to the ground surface.

Results from the burned house area were compared the EPA Regional Screening Levels for lead and mercury and to EPA Asbestos levels. All levels of lead, mercury and asbestos were below the screening levels and the sample was non-detect for asbestos. No further testing or recommendations are required in this area.

Results from the pesticide/herbicide testing were compared the EPA Regional Screening Levels pesticides and herbicides. Several pesticides and herbicides were detected however, all levels were below the screening levels. No further testing or recommendations are required in this area. If additional information becomes available or known that may suggest the presence of recognized environmental conditions currently in connection with the Property, contact this firm for potential recommendations.

EXHIBIT 17 - EXISTING CONDITIONS MAP



*PLAN NOT TO SCALE

CRITICAL ENVIRONMENTAL ISSUES ANALYSIS

See Appendix F for full report.

In 2017, Oakwood Homes, LLC requested that SWCA Environmental Consultants (SWCA) conduct a critical environmental issues analysis related to the proposed construction of a subdivision housing development in Saratoga Springs, Utah. The objective of this analysis is to identify critical environmental issues within the 437-acre study area and the environmental regulations that could affect project implementation and broader project viability. The boundaries of the study area are approximately delineated by the following features: the Jordan River (east), Pioneer Crossing (north), Redwood Road (west), 400 South (south), and Saratoga Road (southeast) (Figure 1, Appendix F). Land uses within the study area consist of agriculture and open space.

SWCA completed this analysis using available information including published literature, reports, maps, aerial photographs, databases, public records, and available geographic information system (GIS) datasets. SWCA conducted no fieldwork for the study. The analysis is organized into water and special status species. It concludes with a summary of risk.

EXHIBIT 18 - AQUATIC RESOURCES MAP

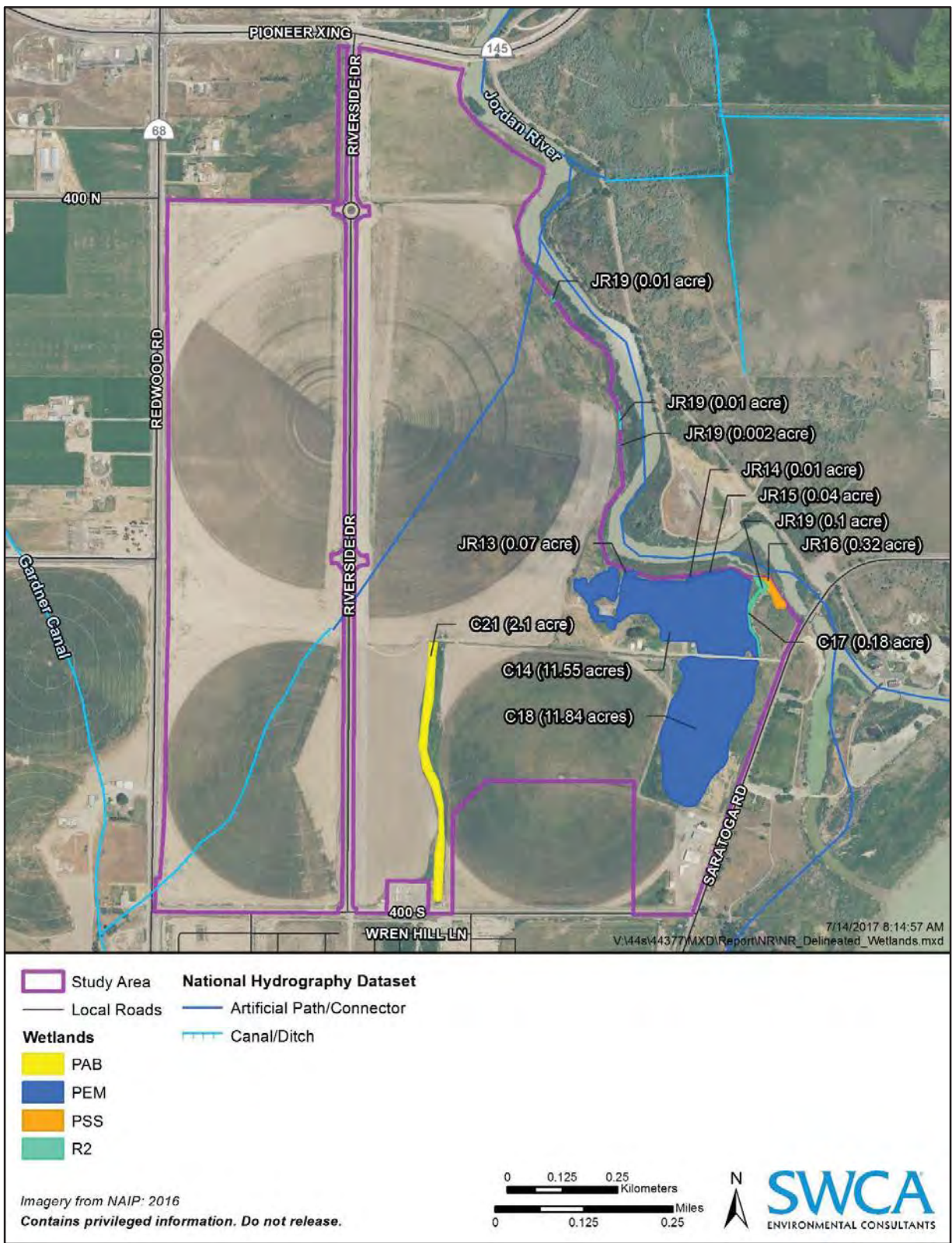
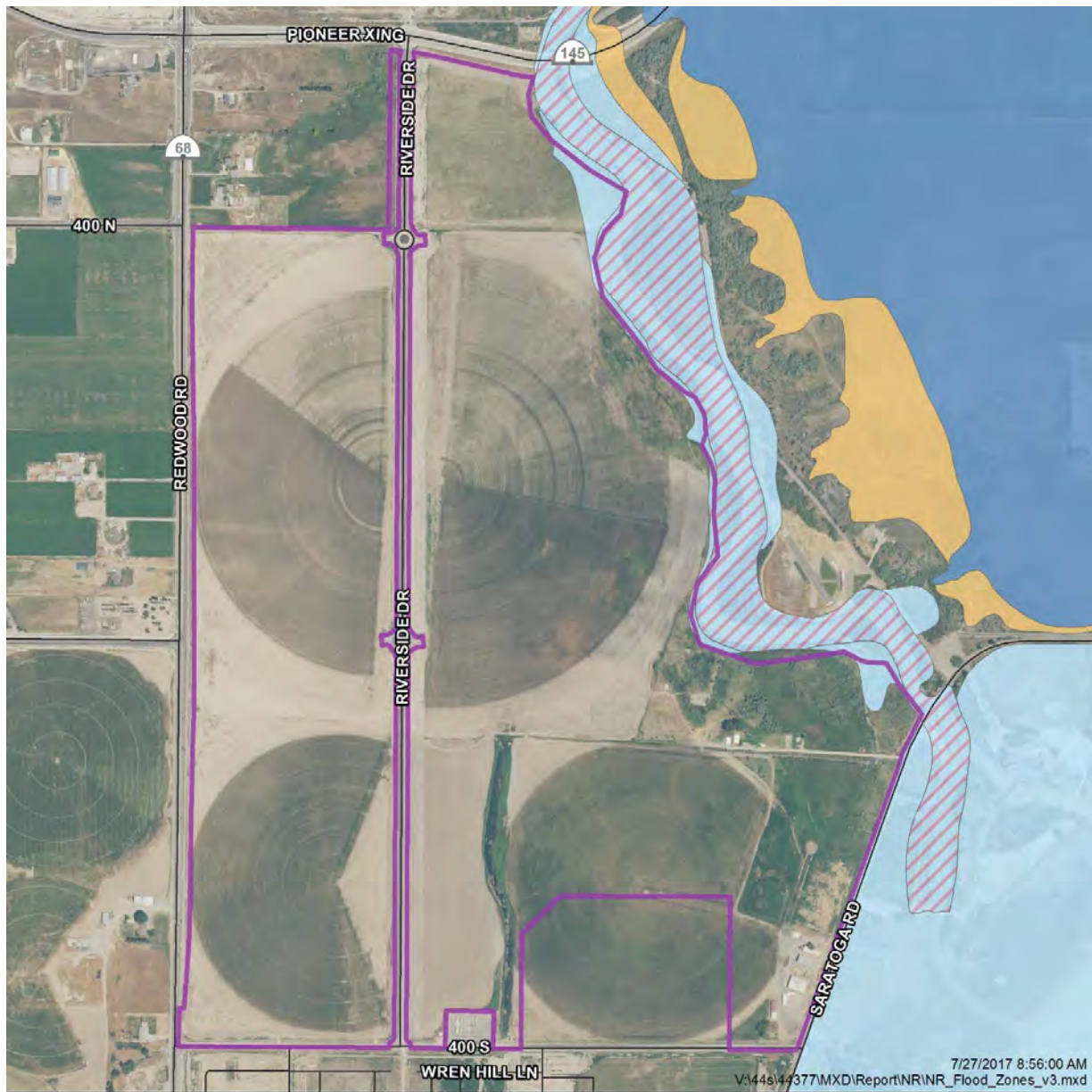


Figure 2. Aquatic resources.

*PLAN NOT TO SCALE

EXHIBIT 19 - FLOOD ZONES MAP



Study Area

Local Roads

Flood Zone

Floodway

Zone AE: An area inundated by 100-year flooding, for which BFEs have been determined.

Zone AH: An area inundated by 100-year flooding (usually an area of ponding), for which BFEs have been determined; flood depths range from 1 to 3 feet.

Zone X (500-year): An area inundated by 500-year flooding; an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile; or an area protected by levees from 100-year flooding.

Imagery from NAIP: 2016

Contains privileged information. Do not release.



SWCA
ENVIRONMENTAL CONSULTANTS

Figure 3. Flood zones.

EXHIBIT 20 - "UTE LADIES'-TRESSES" HABITAT MAP

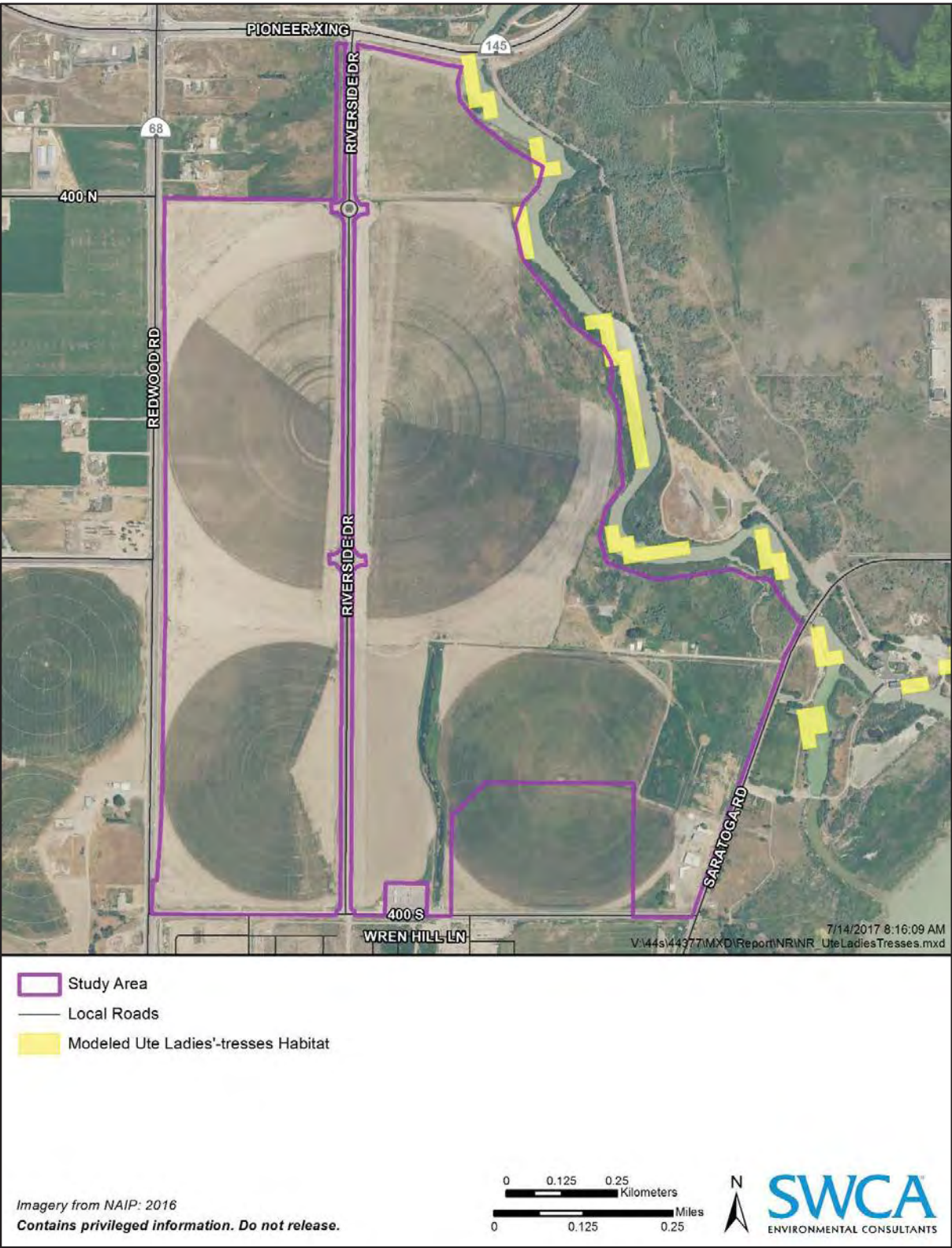


Figure 4. Modelled Ute ladies'-tresses habitat.

*PLAN NOT TO SCALE

CRITICAL ENVIRONMENTAL ISSUES CONCLUSION

The critical issues analysis has identified six potential issues at a moderate risk level in the study area:

1. Waters of the U.S.
2. Floodplains
3. Federal threatened or endangered wildlife species
4. Utah State sensitive wildlife
5. Raptors
6. Federally listed plant species

The list of potential issues is not considered to be critical or fatal, allowing for manageable mitigation efforts with minimal impact during the development of the Jordan Promenade community.

The Jordan Promenade Development will be planned in accordance with the recommendations, regulations, and compliances stated in the critical environmental issues analysis where necessary.

Mitigation Requirements

1. Wetlands / Waters of the U.S.

- The critical issues analysis has identified 26 acres of riverine, ponded, marsh, shrub, and forested wetlands in the study area, primarily along the Jordan River. The "Potential Commercial/Mixed-Use" area is located on land currently exhibiting wetland characteristics resulting from long-term farming and irrigation practices. A jurisdictional determination for wetlands has not been made, and the wet conditions may be mitigated in the future similar to what occurred on the city municipal complex parcel located directly to the south identified with the same characteristics, allowing for future development to occur.

Development in this area is not expected to occur within the next 5-10 years, in which the effects of irrigation practices and long-term farming will likely have ceased.

All other identified wetland areas occur outside of the development boundaries.

2. Floodplains

- The critical issues analysis has identified locations in the study area that fall under the FEMA categories Zone AE and Regulated Floodway. There are 5.55 acres of area categorized as Zone AE and 0.52 acres of Floodway. Refer to the Flood Zones Map (see Exhibit 19, page 110) for the surveyed location of these areas. Development is not proposed in the areas identified as floodplain and development occurring along the Jordan River and near areas designated as Zone AE will provide base floor elevations and finished grades consistent with Utah County and FEMA regulations.

3. Special-Status Species (Threatened/endangered/sensitive wildlife and raptors)

- The critical issues analysis has identified three endangered or threatened wildlife species with the potential to occur in the study area. These species have a low potential to occur in the area, so no further action regarding mitigation requirements with these species is detailed in the report. Additionally, three Utah sensitive wildlife species have a moderate potential to occur in the study area. These species include the American white pelican, Burrowing owl, and Lewis's woodpecker.

It is recommended that construction occurs outside of the nesting season for these species as shown in Table 4 of Appendix F. Preconstruction clearance surveys will be completed if development is planned to occur during nesting season.

While the Burrowing owl is stated as unlikely to be found in the study area given the current agricultural land use and high-water table of the study area, the other two species are found primarily around the Jordan River. Special care will be taken to develop within the project boundaries and easements adjacent to the Jordan River.

4. Special-Status Plants

- The critical issues analysis has identified one plant species with the potential to occur in the study area. The surveyed location of this species, the Ute ladies'-tresses, is shown on the Ute-Ladies'-tresses Habitat Map (see Exhibit 20, page 111).

The surveyed location of Ute-ladies'-tresses as shown in Exhibit 20 occurs outside of the development boundaries of the project area. Therefore, no mitigation requirements are needed regarding this issue.

APPENDICES

Appendix A - Traffic Impact Study (Hales Engineering, 2018)

Appendix B - Master Utility Plan (LEI Engineers & Surveyors, January 2019, Revised 2021)

Appendix C - Cultural Resources Inventory (SWCA Environmental Consultants, 2017)

Appendix D - Geotechnical Evaluation Report (Western Technologies Inc., 2017)

Appendix E - Phase I Environmental Site Assessment (Western Technologies Inc., 2017)

Appendix F - Critical Issues Analysis (SWCA Environmental Consultants, 2018)

JORDAN PROMENADE COMMUNITY PLAN AMENDMENT 2

APPENDIX A - TRAFFIC IMPACT STUDY
(HALES ENGINEERING, 2018)

TGS UPDATE
(HALES ENGINEERING, 2025)

JORDAN PROMENADE COMMUNITY PLAN AMENDMENT 2

APPENDIX B - MASTER UTILITY PLAN (LEI ENGINEERS & SURVEYORS, JANUARY 2019)

AMENDMENTS

03/26/2020 - SANITARY SEWER MASTER PLAN (PERIGEE CONSULTING, LLC)
08/19/2021 - SANITARY SEWER MASTER PLAN (PERIGEE CONSULTING, LLC)

JORDAN PROMENADE COMMUNITY PLAN AMENDMENT 2

APPENDIX C - CULTURAL RESOURCES INVENTORY (SWCA ENVIRONMENTAL CONSULTANTS, 2017)

JORDAN PROMENADE COMMUNITY PLAN AMENDMENT 2

APPENDIX D - GEOTECHNICAL EVALUATION REPORT (WESTERN TECHNOLOGIES INC., 2017)

JORDAN PROMENADE COMMUNITY PLAN AMENDMENT 2

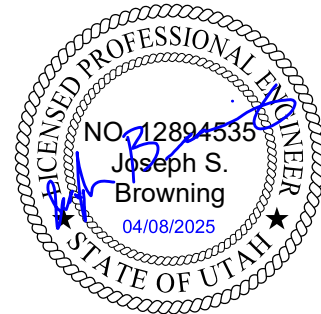
APPENDIX E - PHASE I ENVIRONMENTAL SITE ASSESSMENT (WESTERN TECHNOLOGIES INC., 2017)

JORDAN PROMENADE COMMUNITY PLAN AMENDMENT 2

APPENDIX F - CRITICAL ISSUES ANALYSIS (SWCA ENVIRONMENTAL CONSULTANTS, 2018)

MEMORANDUM

Date: April 8, 2025
To: Greg Paley
From: Hales Engineering



Subject: Saratoga Springs – Wander Villages 2025 Site Plan TGS Update

UT25-2990

Introduction

This memorandum discusses the trip generation study completed for the proposed residential development of Wander Villages in Saratoga Springs. A vicinity map of the proposed development is shown in Figure 1. This memorandum serves as an addendum to the traffic impact study (TIS) completed for the project in March 2018.



Figure 1: Vicinity map of the proposed development in Saratoga Springs, Utah

Background

The proposed Wander Villages residential development is located on the east side of Redwood Road (SR-68) between Pioneer Crossing (SR-145) and 400 South. The project includes a site plan for the proposed development which is included in Appendix A.

The proposed land use for phase 1 of the development has been identified as follows:

- Single-family detached housing 484 Units
- Single-family attached housing (Townhouses) 176 Units
- Gas Station w/Convenience Market 14 fueling positions

The proposed land use for phase 2 of the development has been identified as follows:

- Single-family detached housing 264 Units
- Single-family attached housing (Townhouses) 134 Units
- Commercial/Retail 50,000 sq. ft.
- Commercial/Retail 93,000 sq. ft.

The proposed land use for phase 3 of the development has been identified as follows:

- Single-family detached housing 500 Units
- Single-family attached housing (Townhouses) 342 Units
- Commercial/Retail 142,000 sq. ft.
- Elementary School 950 Students

Trip Generation

Trip generation for the development was calculated using trip generation rates published in the Institute of Transportation Engineers (ITE) *Trip Generation (11th Edition, 2021)*. Trip generation for the proposed project is included in Table 1.

As shown in Table 1, it is anticipated that the proposed residential development will generate approximately 29,805 new trips on an average weekday, including 2,209 trips during the morning peak hour, and 2,521 trips during the evening peak hour.

Based on ITE pass-by trip data, the average pass-by percentage for a gas station with a convenience market is 76% during the morning peak hour and 75% during the evening peak hour. Also, the average pass-by for a shopping center is 40% in both the morning and evening peaks.

Based on ITE internal capture estimations, the average internal capture percentage for the project is 2% for the morning peak and 5% for the evening peak. A 0% internal capture is used for the gas station and the elementary school.

Table 1: Trip Generation

Trip Generation Saratoga Springs - Wander Village TIS Addendum													
Village	Land Use ¹	# of Units	Unit Type	Trip Generation					Reductions		New Trips		
				Total	% In	% Out	In	Out	Internal Capture	Pass-by	In	Out	Total
Weekday Daily													
1	Single-Family Detached Housing (210)	484	DU	4,306	50%	50%	2,153	2,153	3%	0%	2,089	2,088	4,177
1	Single-Family Attached Housing (215)	176	DU	1,292	50%	50%	646	646	3%	0%	626	627	1,253
1	Convenience Store/Gas Station, 4-5.5 KSF (945)	14	Pumps	3,600	50%	50%	1,800	1,800	0%	75%	450	450	900
2	Single-Family Detached Housing (210)	264	DU	2,466	50%	50%	1,233	1,233	3%	0%	1,196	1,196	2,392
2	Single-Family Attached Housing (215)	134	DU	972	50%	50%	486	486	3%	0%	472	471	943
2	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	50	KSF	3,376	50%	50%	1,688	1,688	3%	40%	983	982	1,965
2	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	93	KSF	6,280	50%	50%	3,140	3,140	3%	40%	1,828	1,827	3,655
3	Single-Family Detached Housing (210)	500	DU	4,436	50%	50%	2,218	2,218	3%	0%	2,152	2,151	4,303
3	Single-Family Attached Housing (215)	342	DU	2,556	50%	50%	1,278	1,278	3%	0%	1,239	1,240	2,479
3	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	142	KSF	9,588	50%	50%	4,794	4,794	3%	40%	2,790	2,790	5,580
3	Elementary School (520)	950	Students	2,158	50%	50%	1,079	1,079	0%	0%	1,079	1,079	2,158
TOTAL				41,030			20,515	20,515			14,904	14,901	29,805
AM Peak Hour													
1	Single-Family Detached Housing (210)	484	DU	314	25%	75%	79	235	2%	0%	78	230	308
1	Single-Family Attached Housing (215)	176	DU	86	25%	75%	22	64	2%	0%	21	63	84
1	Convenience Store/Gas Station, 4-5.5 KSF (945)	14	Pumps	380	50%	50%	190	190	0%	76%	45	46	91
2	Single-Family Detached Housing (210)	264	DU	182	25%	75%	46	136	2%	0%	45	133	178
2	Single-Family Attached Housing (215)	134	DU	64	25%	75%	16	48	2%	0%	16	47	63
2	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	50	KSF	88	62%	38%	55	33	2%	40%	33	19	52
2	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	93	KSF	162	62%	38%	100	62	2%	40%	59	36	95
3	Single-Family Detached Housing (210)	500	DU	324	25%	75%	81	243	2%	0%	80	238	318
3	Single-Family Attached Housing (215)	342	DU	174	25%	75%	44	130	2%	0%	44	127	171
3	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	142	KSF	246	62%	38%	153	93	2%	40%	90	55	145
3	Elementary School (520)	950	Students	704	54%	46%	380	324	0%	0%	380	324	704
TOTAL				2,724			1,166	1,558			891	1,318	2,209
PM Peak Hour													
1	Single-Family Detached Housing (210)	484	DU	438	63%	37%	276	162	5%	0%	262	154	416
1	Single-Family Attached Housing (215)	176	DU	102	59%	41%	60	42	5%	0%	57	40	97
1	Convenience Store/Gas Station, 4-5.5 KSF (945)	14	Pumps	320	50%	50%	160	160	0%	75%	40	40	80
2	Single-Family Detached Housing (210)	264	DU	248	63%	37%	156	92	5%	0%	149	87	236
2	Single-Family Attached Housing (215)	134	DU	78	59%	41%	46	32	5%	0%	44	30	74
2	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	50	KSF	260	49%	51%	127	133	5%	40%	72	76	148
2	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	93	KSF	484	49%	51%	237	247	5%	40%	135	141	276
3	Single-Family Detached Housing (210)	500	DU	452	63%	37%	285	167	5%	0%	270	159	429
3	Single-Family Attached Housing (215)	342	DU	202	59%	41%	119	83	5%	0%	113	79	192
3	Shopping Plaza, 40-150k, non-Supermarket Anchor (821)	142	KSF	738	49%	51%	362	376	5%	40%	207	214	421
3	Elementary School (520)	950	Students	152	46%	54%	70	82	0%	0%	70	82	152
TOTAL				3,474			1,898	1,576			1,419	1,102	2,521
1. Land Use Code from the Institute of Transportation Engineers (ITE) <i>Trip Generation</i> , 11th Edition, 2021. SOURCE: Hales Engineering, April 2025													

Therefore, it is anticipated that there will be 2,696 morning peak hour trips that use the project access points, 2,209 of which will be new trips on the roadways. It is anticipated that there will be 3,354 evening peak hour trips that use the project access points, 2,521 of which will be new trips on the roadways.

Comparison

Using information from the prior TIS completed by Hales Engineering (2018), trip generation from the study was compared to the trip generation for the updated site plan. As seen in Table 2, there are approximately 16% more daily trips generated with the updated site plan, and there are

approximately 12% more trips generated in the morning peak hour and 2% less trips generated in the evening peak hour. Hales Engineering anticipates that the traffic impact of the updated plan will be comparable to the prior plan with the increase in morning peak hour trips being very small. While daily trips are projected to increase by 16%, this change is not expected to significantly affect peak hour traffic since the additional trips will be distributed throughout the day.

Table 2: Trip Generation Comparison with Prior TIS

Trip Generation Comparison Saratoga Springs - Wander Villages			
Development Plan	New Trips		
	In	Out	Total
Weekday Daily			
2018 Site Plan (All Phases)	12,904	12,904	25,808
2025 Site Plan (All Phases)	14,904	14,901	29,805
AM Peak Hour			
2018 Site Plan (All Phases)	784	1,194	1,978
2025 Site Plan (All Phases)	891	1,318	2,209
PM Peak Hour			
2018 Site Plan (All Phases)	1,430	1,138	2,568
2025 Site Plan (All Phases)	1,419	1,102	2,521
SOURCE: Hales Engineering, April 2025			

Trip Distribution and Assignment

Project traffic is assigned to the roadway network based on the type of trip and the proximity of project access points to major streets, high population densities, and regional trip attractions. Existing travel patterns observed during data collection also provide helpful guidance to establishing these distribution percentages, especially near the site. The resulting distribution of project generated trips during the evening peak hour is shown in Table 33.

Table 3: Trip Distribution

Direction	% To/From Project
North	25%
South	15%
East	35%
West	25%

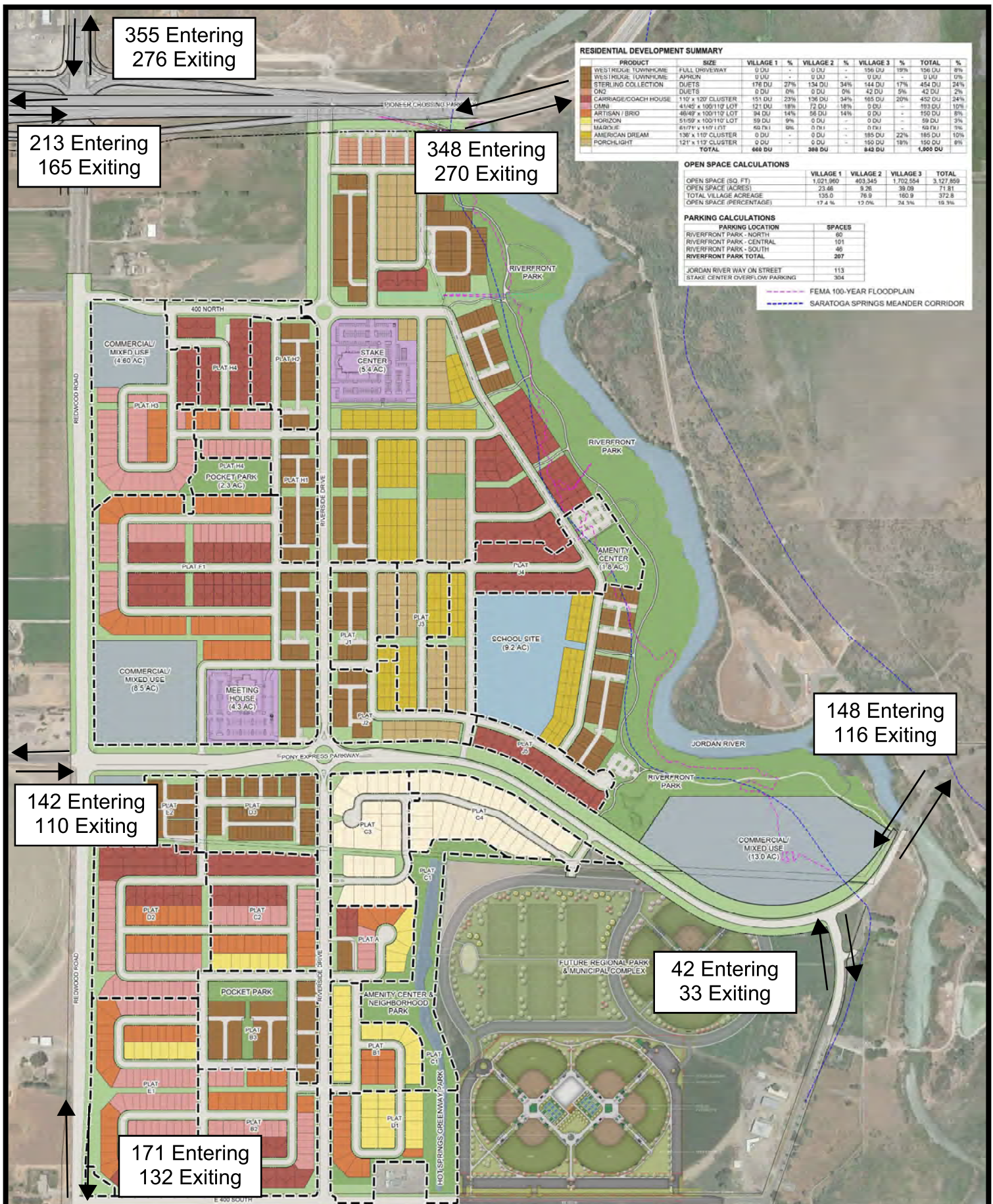
These trip distribution assumptions were used to assign the peak hour generated traffic at the study intersections to create trip assignment for the proposed development. The trip assignment for the development is shown in Figure 2.

Conclusions

The findings of this study are as follows:

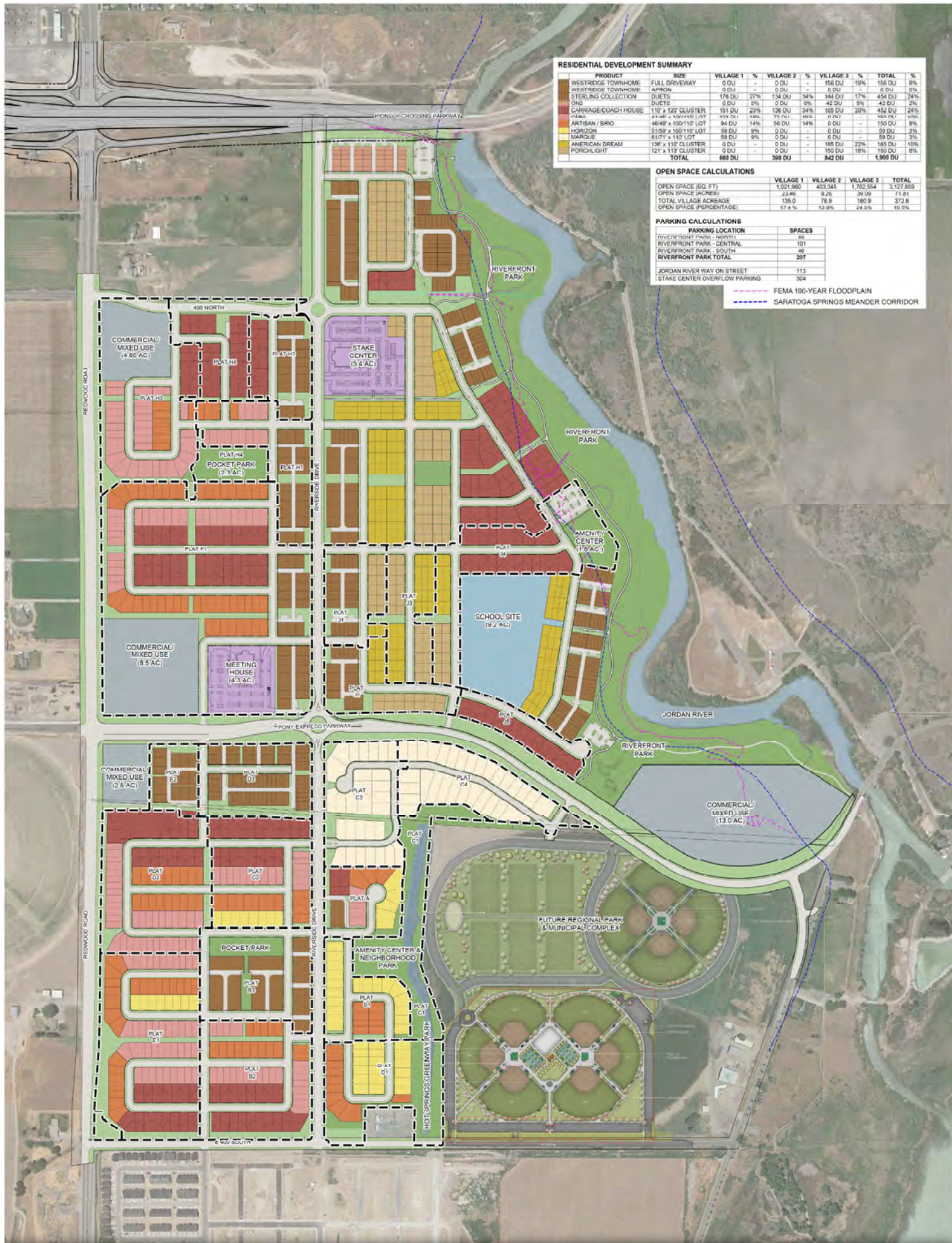
- It is anticipated that the proposed project will generate approximately 41,030 trips on an average weekday, including 2,724 trips during the morning peak hour, and 3,474 trips during the evening peak hour.
- It is anticipated that approximately 2,209 of 2,724 morning peak hour trips will be new trips. It is anticipated that approximately 2,521 of the 3,474 evening peak hour trips will be new trips.

If you have any questions regarding this memorandum, please contact us at 801.766.4343.



APPENDIX A

Site Plan



RESIDENTIAL DEVELOPMENT SUMMARY

PRODUCT	SIZE	VILLAGE 1	%	VILLAGE 2	%	VILLAGE 3	%	TOTAL	%
WESTRIDGE TOWNHOME	FULL DRIVEWAY	0 DU	-	0 DU	-	156 DU	19%	156 DU	8%
WESTRIDGE TOWNHOME	APRON	0 DU	-	0 DU	-	0 DU	-	0 DU	0%
STERLING COLLECTION	DUETS	176 DU	27%	134 DU	34%	144 DU	17%	454 DU	24%
STERLING COLLECTION	DUETS	0 DU	0%	0 DU	0%	42 DU	5%	42 DU	2%
CARRIAGE COACH HOUSE	115' x 125' CLUSTER	151 DU	22%	126 DU	34%	109 DU	20%	486 DU	24%
CARRIAGE COACH HOUSE	115' x 125' CLUSTER	151 DU	22%	126 DU	34%	109 DU	20%	486 DU	24%
ARTISAN / BRIO	48'48" x 100'110" LOT	94 DU	14%	96 DU	14%	0 DU	-	190 DU	8%
HORIZON	81'58" x 100'110" LOT	59 DU	9%	0 DU	-	0 DU	-	59 DU	3%
MARQUEE	81'71" x 112' LOT	59 DU	9%	0 DU	-	0 DU	-	59 DU	3%
AMERICAN DREAM PORCHLIGHT	136' x 112' CLUSTER	0 DU	-	0 DU	-	185 DU	22%	185 DU	10%
AMERICAN DREAM PORCHLIGHT	121' x 112' CLUSTER	0 DU	-	0 DU	-	150 DU	18%	150 DU	8%
TOTAL		660 DU		398 DU		842 DU		1,900 DU	

OPEN SPACE CALCULATIONS

	VILLAGE 1	VILLAGE 2	VILLAGE 3	TOTAL
OPEN SPACE (SQ. FT.)	1,021,980	403,345	1,702,554	3,127,859
OPEN SPACE (ACRES)	23.46	9.26	39.59	71.81
TOTAL VILLAGE ACREAGE	135.0	78.9	160.9	374.8
OPEN SPACE (PERCENTAGE)	17.4%	12.0%	24.3%	19.3%

PARKING CALCULATIONS

PARKING LOCATION	SPACES
RIVERFRONT PARK - NORTH	66
RIVERFRONT PARK - CENTRAL	101
RIVERFRONT PARK - SOUTH	46
RIVERFRONT PARK TOTAL	207
JORDAN RIVER WAY ON STREET	113
STAKE CENTER OVERFLOW PARKING	304

FEMA 100-YEAR FLOODPLAIN
 SARATOGA SPRINGS MEANDER CORRIDOR



SARATOGA
SPRINGS

AREA 2 VILLAGE PLAN AMENDMENT 2



JORDAN
PROMENADE



OAKWOOD
HOMES

May 21, 2025
UPDATED



JORDAN PROMENADE

AT SARATOGA SPRINGS

AREA 2 VILLAGE PLAN
AMENDMENT 2

Prepared by:





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VILLAGE AREA BOUNDARY MAP



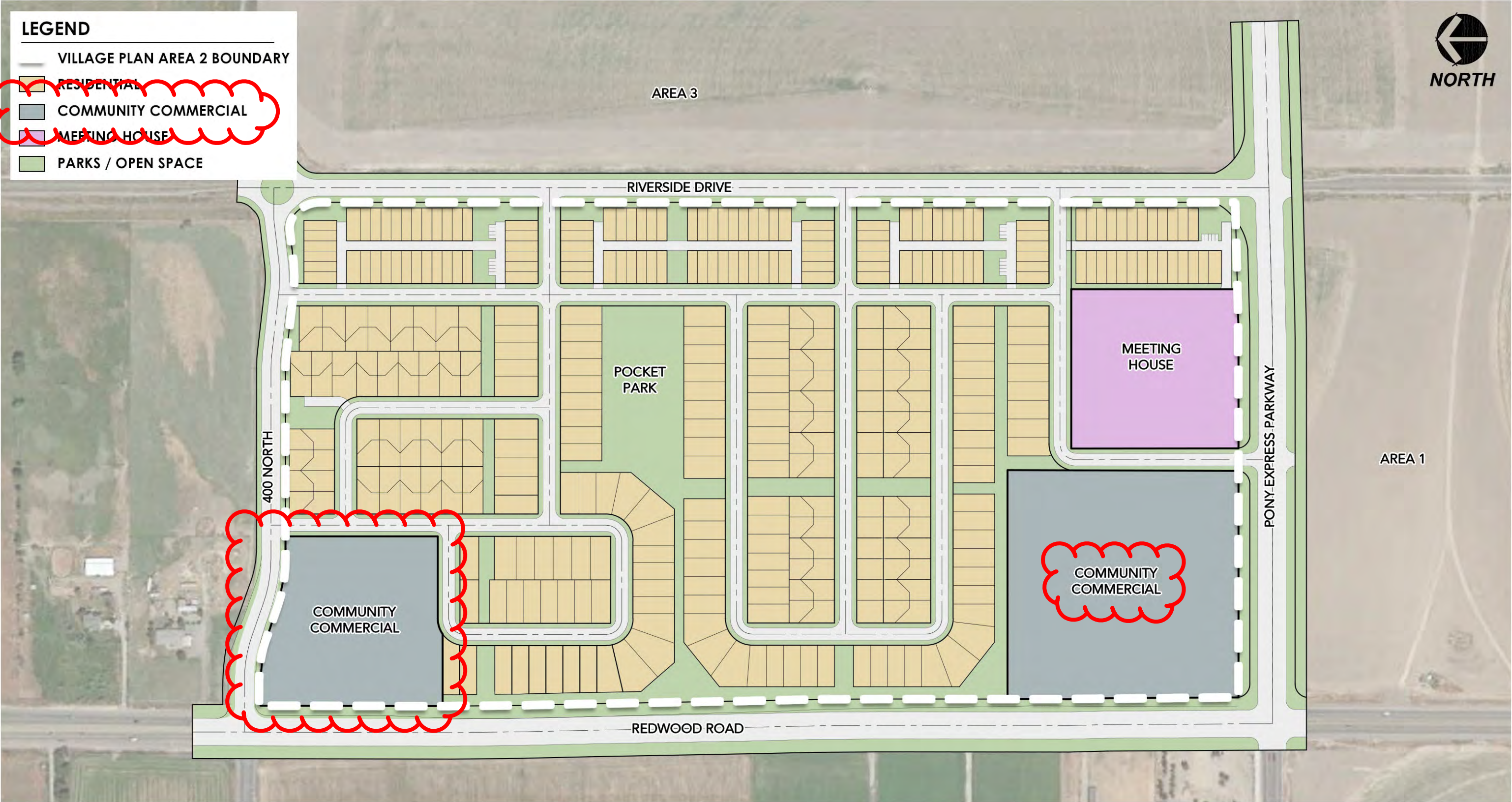


SECTION 1 - LEGAL DESCRIPTION

Beginning at a point on the West Right-of-Way Line of Riverside Drive, said point also being on a 138.500 foot radius non tangent curve to the right, (radius bears North 65°29'15" West, Chord: South 40°08'12" West 74.603 feet), said point lies North 89°57'40" West 1235.726 feet along the Quarter Section Line and North 2756.809 feet from the East Quarter Corner of Section 26, Township 5 South, Range 1 West, Salt Lake Base and Meridian and running thence along the proposed North Right-of-Way Line of Pony Express Parkway the following (4) courses: 1) along the arc of said curve 75.536 feet through a central angle of 31°14'54"; 2) South 88°32'39" West 261.918 feet to a point on a 2000.000 foot radius tangent curve to the right, (radius bears North 01°27'21" West, Chord: South 89°16'20" West 50.815 feet); 3) along the arc of said curve 50.817 feet through a central angle of 01°27'21"; 4) West 949.307 feet to the East Right-of-Way Line of Redwood Road; thence along said Redwood Road the following (9) courses: 1) North 00°21'00" West 349.531 feet; 2) North 01°18'54" West 99.880 feet; 3) North 00°02'14" East 502.210 feet; 4) North 00°24'29" West 173.550 feet; 5) North 01°17'53" West 173.550 feet; 6) North 01°03'25" West 423.380 feet; 7) North 01°16'24" West 180.500 feet; 8) North 00°38'53" West 180.780 feet; 9) North 00°08'09" East 510.493 feet to the proposed South Right-of-Way Line of 400 North Street and a point on a 311.500 foot radius non tangent curve to the right, (radius bears South 02°09'59" West, Chord: South 77°59'34" East 106.478 feet); thence along said proposed 400 North Street the following (8) courses: 1) along the arc of said curve 107.003 feet through a central angle of 19°40'54" to a point of reverse curvature with a 388.500 foot radius tangent curve to the left, (radius bears North 21°50'53" East, Chord: South 79°04'34" East 147.247 feet); 2) along the arc of said curve 148.143 feet through a central angle of 21°50'53"; 3) East 643.029 feet to a point on a 311.500 foot radius non tangent curve to the right, (radius bears South, Chord: South 79°52'37" East 109.501 feet); 4) along the arc of said curve 110.072 feet through a central angle of 20°14'46" to a point of reverse curvature with a 388.500 foot radius tangent curve to the left, (radius bears North 20°14'46" East, Chord: South 83°18'32" East 182.113 feet); 5) along the arc of said curve 183.823 feet through a central angle of 27°06'37" to a point of reverse curvature with a 13536.894 foot radius tangent curve to the right, (radius bears South 06°51'50" East, Chord: North 83°17'54" East 76.701 feet); 6) along the arc of said curve 76.701 feet through a central angle of 00°19'29" to a point of compound curvature with a 60.000 foot radius tangent curve to the right, (radius bears South 06°32'22" East, Chord: South 70°25'52" East 52.808 feet); 7) along the arc of said curve 54.681 feet through a central angle of 52°13'00" to a point of compound curvature with a 90.500 foot radius tangent curve to the right, (radius bears South 45°40'38" West, Chord: South 22°09'34" East 68.281 feet); 8) along the arc of said curve 70.014 feet through a central angle of 44°19'35" to a point on said West Right-of-Way Line of Riverside Drive; thence along said Riverside Drive South 00°00'13" West 2366.832 feet to the point of beginning.

Contains: 3,350,260 s.f., 76.911 Acres

SECTION 2 - DETAILED USE MAP





SECTION 3 - DETAILED BUILDOUT ALLOCATION

The following information details the allocation of all acreages within Village Plan Area 2:

DEVELOPMENT TYPE	ACRES	% OF TOTAL AC	UNITS	DENSITY
SFD	16.5	21.5%	128	7.8 DU/AC
TOWNHOMES	7.4	9.6%	134	18.1 DU/AC
CLUSTER HOMES	11.0	14.3%	136	12.4 DU/AC
COMMERCIAL	12.3	16.0%	-	-
MEETING HOUSE	4.3	5.6%	-	-
PARKS/OPEN SPACE	10.0	13.0%	-	-
RIGHT-OF-WAY	15.4	20.0%	-	-
TOTALS	76.9¹	100%	398	5.2 DU/AC

NOTE: Changes to the size and configuration of residential and non-residential development areas may occur during the Village Plan process without requiring a Community Plan amendment.

¹Approximate total; final acreage to be determined during Plat application process.



SECTION 4 - DEVELOPMENT STANDARDS

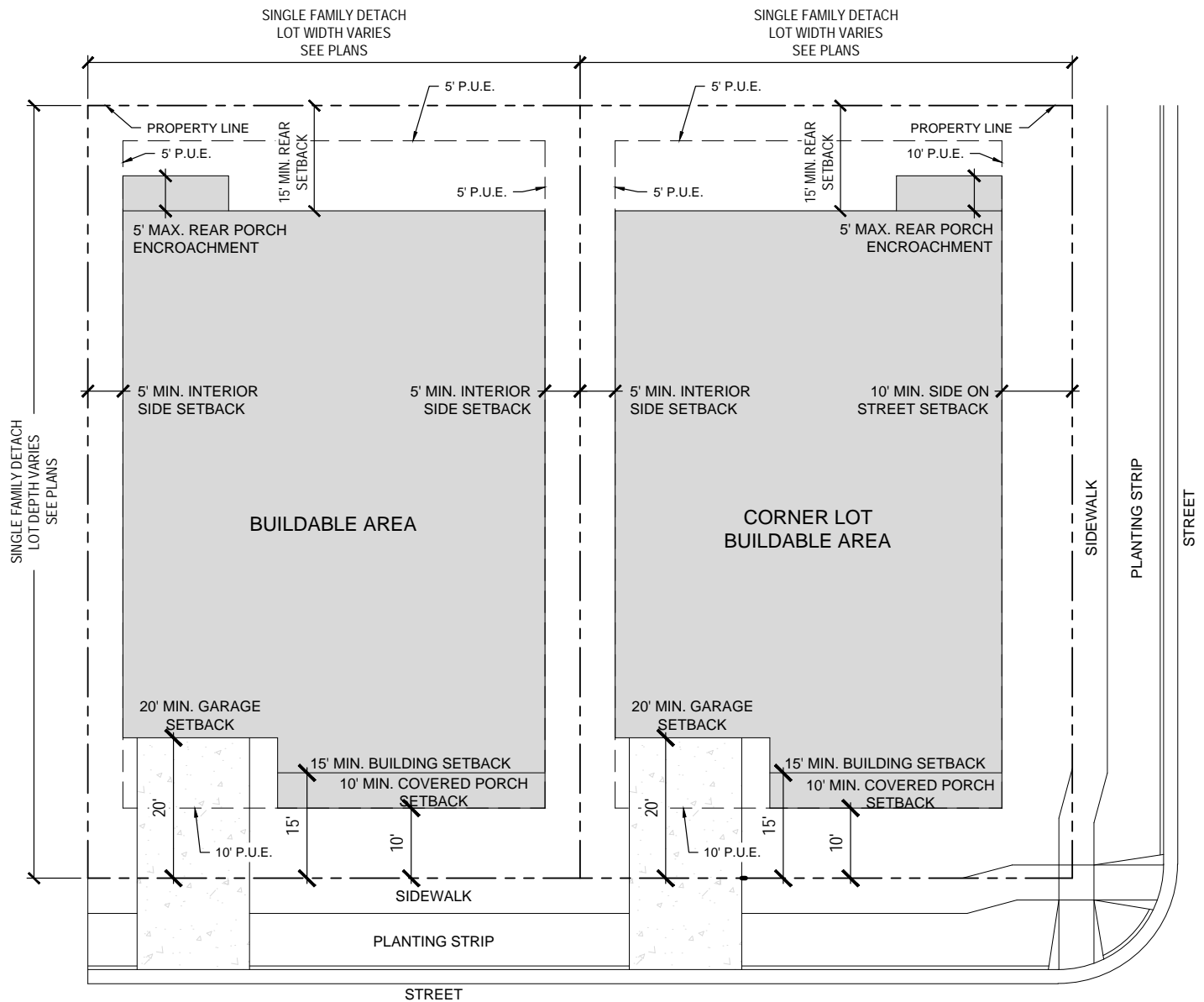
SECTION 4a - SINGLE FAMILY DETACHED

Single family detached dwellings are arranged on a single residential lot and are not attached to any other dwellings. One driveway per single family detached lot provides direct access to the street.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1 + outbuilding
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Height - Outbuilding	Per Saratoga Springs Municipal Code
Lot Coverage	50% maximum
Lot Frontage	35' minimum measured at front setback
Lot Size	4,000 SF minimum
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	15' minimum
Front to Covered Porch	10' minimum
Front to Garage	20' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Rear Yard	15' minimum
Rear Yard to porch	10' minimum (5' maximum encroachment to rear setback)
Rear Yard to Rear Patio	0' when patio is at grade
SETBACKS - ACCESSORY STRUCTURES REQUIRING A BUILDING PERMIT	
Front Yard	15' minimum
Rear Yard	5' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
OTHER STANDARDS	
Parking	2 off-street spaces per unit (per Saratoga Springs Municipal Code) ¹
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.

¹ Driveways for single family detached units meet this requirement.

SECTION 4a - SINGLE FAMILY RESIDENTIAL LOT TYPICAL



NOTE: PLAN NOT TO SCALE



JORDAN
PROMENADE



SECTION 4 - DEVELOPMENT STANDARDS (cont.)

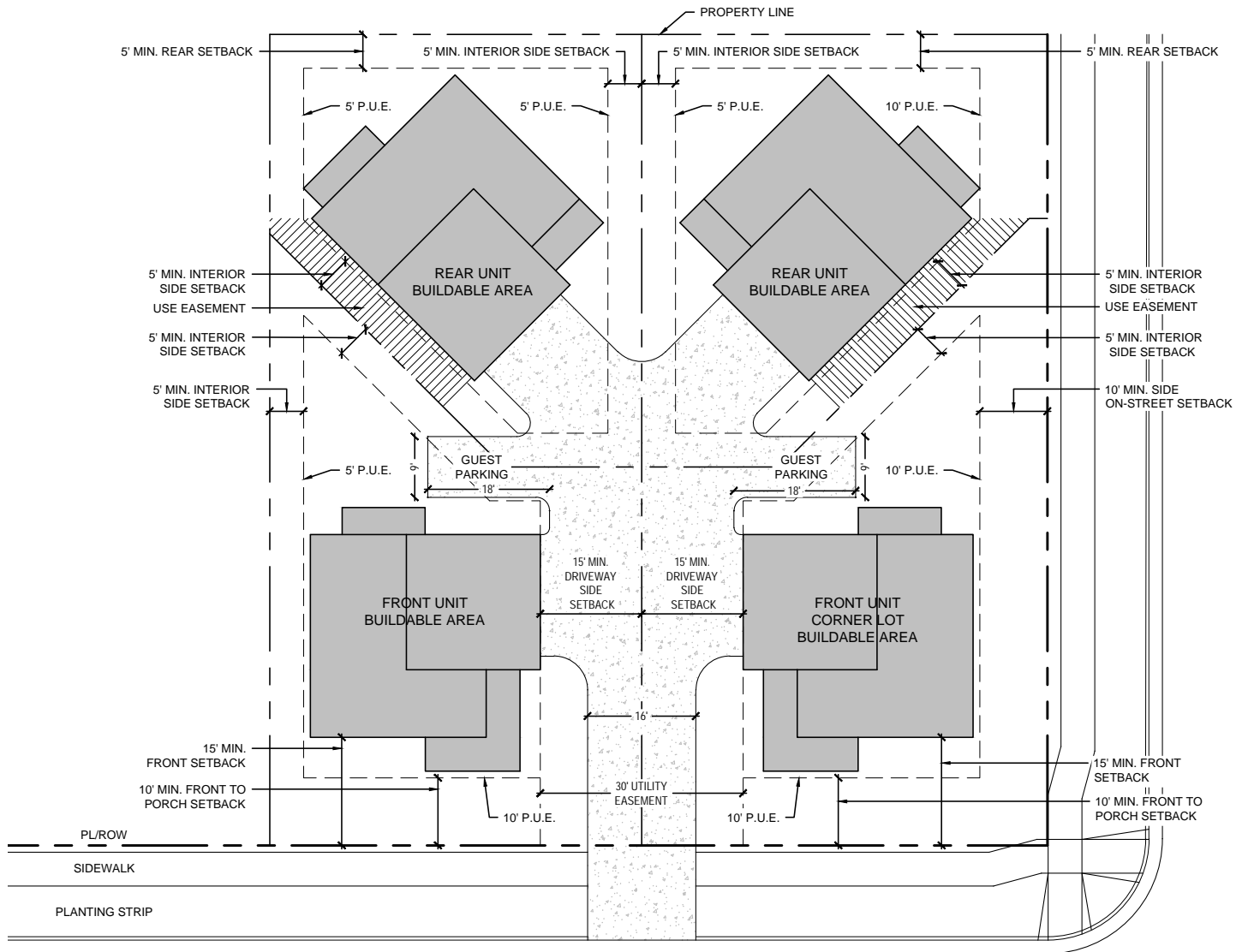
SECTION 4b CLUSTER HOMES - CARRIAGE / COACH HOUSE

The Carriage / Coach House product consists of 2 to 6 single family detached homes arranged on a shared access drive. Each dwelling occupies a single residential lot that is accessed via a shared drive.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	60% maximum
Minimum Lot Size	2,500 sq. ft.
Minimum Dwelling Size	1,100 sq. ft.
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	15' minimum
Front Yard to Covered Porch	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Driveway Side	15' minimum
Rear Yard	5' minimum
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	5' use easement is for the benefit/use of the adjacent lot for maintenance purposes
Garages	All homes are required to have a 2-car garage
Parking	Off-street guest parking shall be provided for any product with less than a 20' driveway at a rate of 0.5 spaces per unit. On-street parking is also available for additional public parking.

SECTION 4b - CARRIAGE

COACH LOT TYPICAL



NOTE: PLAN NOT TO SCALE



JORDAN
PROMENADE



SECTION 4 - DEVELOPMENT STANDARDS (cont.)

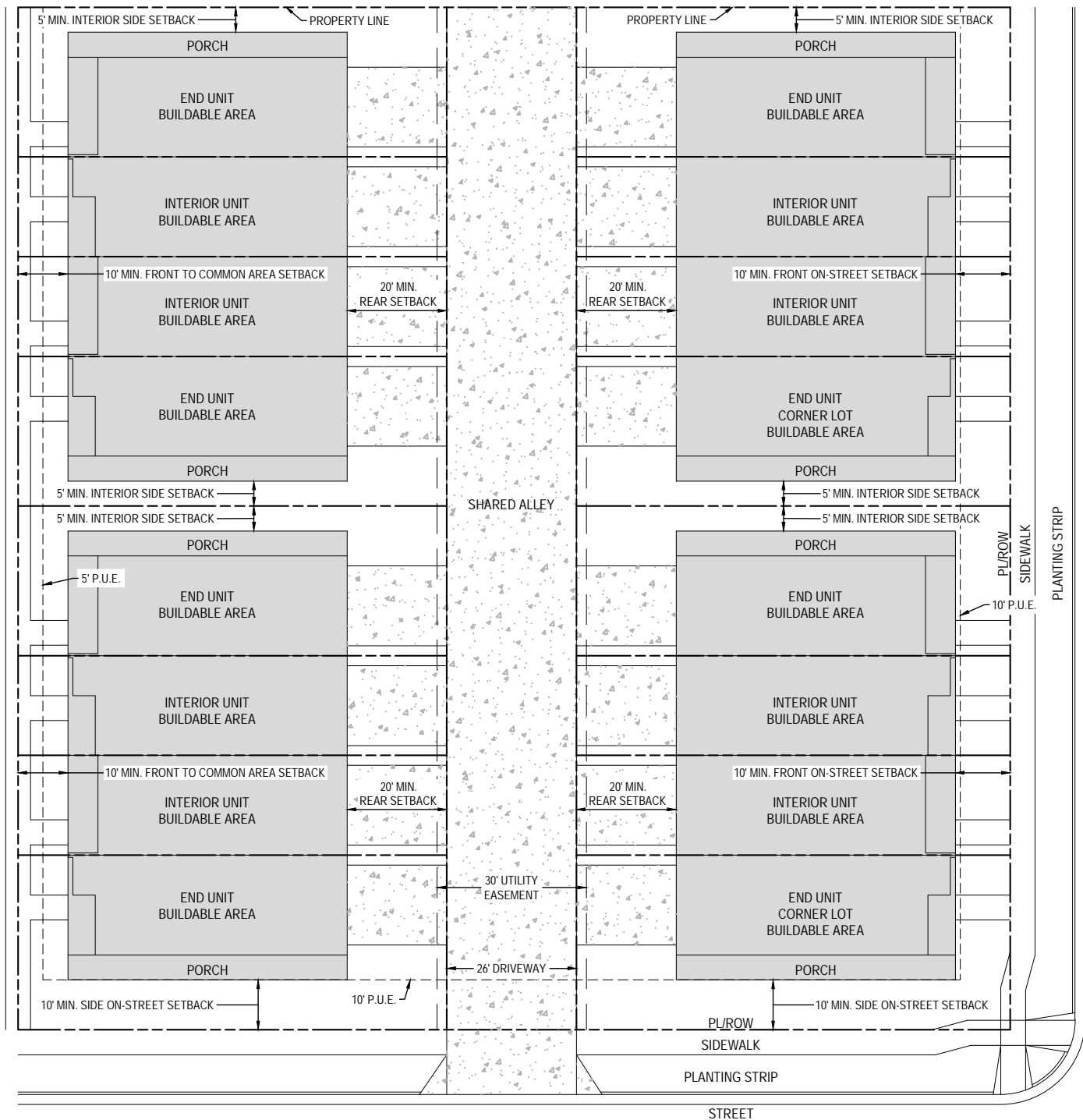
SECTION 4c - TOWNHOMES

Townhomes consist of 2 to 6 single family attached homes that are rear loaded onto an alley accessible from the street. All units include a 2-car garage.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	80% maximum
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard On-Street	10' minimum
Front to Common Area	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Garage	To Alley Drive: 3' no driveway, 20' with driveway/guest parking
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Optional Porch	5' side porch optional for end units. ¹
Units per Building	2 to 6 units per building.
Garages	Two-car or one-car garages are allowed as per Section 19.09 of the Saratoga Springs Municipal Code
Open Space	20% minimum
Parking	Off-street guest parking will be provided for any product with less than a 20' driveway, at a minimum rate of 0.25 spaces per unit.

¹For Townhome products only, option not available for Paired Homes. Porches may not encroach into Interior or On-Street Side Yard setbacks.

SECTION 4c - TOWNHOME LOT TYPICAL



NOTE: PLAN NOT TO SCALE



JORDAN
PROMENADE

Area 2 | Village Plan Amendment 2



SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4d - PRIVATE OPEN SPACE

Private Open Space consists of areas on private homeowner lots that is not taken up by the building, driveway, sidewalks or other impervious surfaces.

DEVELOPMENT STANDARDS - PRIVATE OPEN SPACE	
Permitted Elements	Front Yard: Fences, hedges, & masonry walls (4' max. height/3' max. height inside clear-view triangle. Rear & Side Yard: 6' max. privacy fence.
Surface Treatments	Groundcover, lawn, flower gardens, vegetable gardens, trees, grasses, small shrubs, and landscape boulders. Min. 25% of front and corner street side yards shall consist of non-rock and non-hardscape landscaping. Artificial turf is not permitted.
Schedule	All front and side yards in a single family lot shall be landscaped within one year, and interior side and back yards within two years after receiving a Certificate of Occupancy or once ownership is established by the current owner (as per Section 19.06.08.d of the SSMC). Please reference Section 19.06.05 of the SSMC for exceptions of this requirement due to weather conditions.



SECTION 4e - COMMERCIAL STANDARDS

The commercial sites within Jordan Promenade Wander Village Plan 2 will realize a balance that is compatible with both the natural and built environment, establishment of a strong community identity in the City of Saratoga Springs as the properties are at high visibility corners after crossing the Jordan River while heading west into the city.

The property will incorporate design aspects that are inviting, attractive, well-designed, and maintained. Site development shall be designed to create a distinct sense of place which is cohesive with the overall Jordan Promenade development.

Special attention will be made to site design techniques that incorporate best practices in planning for circulation, aesthetics, environmental sustainability, and safety. Signage and landscaping will be consistent in quality and design to the other surrounding uses in the village plan and subject to Title 19.

Commercial areas occurring in Jordan Promenade Wander Village Plan 2 are classified under the Community Commercial Land Use Zone (Section 19.04.09 of the Saratoga Springs Municipal Code).

The purpose of the Community Commercial Zone (CC) is to allow for medium size commercial developments, near residential neighborhoods, with establishments that will serve the nearby community. Improvements such as trails, seating, and lighting that would help create gathering spaces and promote pedestrian activity are expected in the Community Commercial zone.

The Commercial areas may also be located in a future Gateway Overlay zone and subject to the development standards and guidelines in Section 19.04.14 of the Saratoga Springs Municipal Code except for standards contained within this Village Plan.



SECTION 4e - COMMERCIAL STANDARDS (cont.)

The following table outlines the land use regulations and minimum setback requirements for the Community Commercial Land Use Zone (Section 19.04.10 of the SSMC):

LAND USE REGULATIONS (CC)	
Minimum Lot Size	20,000 sq. ft.
Maximum Building Size	N/A
Minimum Lot Width	100'
Minimum Lot Frontage	100'
Max. Height of Structures	40'
Maximum Lot Coverage	50%
MINIMUM SETBACK REQUIREMENTS (CC)	
Front/Corner Side Setback	25'
Interior Side Setback	10' or height of building, whichever is greater
Rear Setback	25' or height of building, whichever is greater

The following table outlines permitted and conditional uses for the Community Commercial Land Use Zone (Section 19.04.11 of the SSMC):

PERMITTED USES (CC)	
Permitted Uses	Animal Hospital, Small/Small Veterinary Office; Arts & Crafts Sales; Bakery, Retail; Bookstore; Car Wash, Public (single bay as accessory to refueling station); Child Care Center; Churches; Commuter/Light Rail Station; Convenience Store (non-fast food); Copy Center; Dry Cleaners; Educational Center; Fitness Center; Floral Sales; Funeral Home; Hair Salon; Ice Cream Parlor; Office, Medical and Health Care; Office, Professional; Personal Service Establishment; Plant & Tree Nursery; Postal Center; Preschool; Public Parks, playgrounds, recreation areas, or other park improvements; Public Building or Facilities (City Owned); Refueling Station, Public; Restaurant; Restaurant, Takeout; Retail Sales; Retail, Specialty; School, Public.



SECTION 5 - DESIGN GUIDELINES

ARCHITECTURAL GUIDELINES

The standards listed in this section are to be viewed as design guidelines for the homes of the Jordan Promenade Development. Repetitious and homogeneous building styles will not be permitted in Jordan Promenade. Single family homes with the same style, floor plan or color scheme will not be built on lots next to, adjacent to, or across the street from each other.

Elements such as roof shape and pitch, window size, shape and placement, and construction materials such as stone veneer, stucco or wood can all be used to create the subtle details that foster individuality in a home. Enhanced secondary facades will occur on all house elevations facing major arterial roadways, and primary facades will occur on all house elevations facing local and collector roadways. The Enhanced Facade Plan (ref. page 48) illustrates primary and enhanced secondary facades.

Architectural design standards shall follow the requirements as defined under Section 19.16 of the Saratoga Springs Municipal Code. Residential lighting standards shall follow the requirements as defined under Section 19.11 of the Saratoga Springs Municipal Code.

Site Plans for attached residential and commercial development areas may be approved administratively by staff when lotting plans, landscape plans, and building elevations are provided with the Village Plan application submittal.

Jordan Promenade offers three dwelling types to appeal to a broad range of potential buyers, including Single Family Detached Homes, Cluster Homes and Townhomes/Paired Homes. Each dwelling type is characterized by a variety of colors, styles, materials, and architectural elements. A mix of architectural styles can be used to create the unique and individual character desired for each home. Examples of dwelling types and their architectural style options are provided on the following pages.

Motorcourt Home – Modern Farmhouse Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Large square or rectangular gable vents in primary largest roof gables
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color in gables, pop outs, or front facing facade elements
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color.

Window and corner trim shall be consistent on all 4 sides of the home

SECTION 5 – DESIGN GUIDELINES (cont.)

- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. No material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Saratoga Prairie Style

- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band in an accent color with a 36" minimum height beneath the upper level soffit, separated by a thin trim band
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. No material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Saratoga Classic Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Gable accent elements such as square or rectangular gable vents or brackets on motorcourt or street facing elevations
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color on gables, furred out elements, or entire stories separated by 8" wide trim bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street



SECTION 5 – DESIGN GUIDELINES (cont.)

- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. No material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Contemporary Prairie Style

- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band with a 36" minimum width beneath the upper level soffit separated by trim colored bands
- Furr out elements sided with Board and Batten accent siding in a separate color
- Brackets at gable peaks on motorcourt and street facing elevations
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. No material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Ranch House Style

- A mix of dutch-hipped and medium pitched gable roofs with a pitch of 4:12-8:12
- Horizontal siding in a consistent body color
- Brackets at gable peaks on motorcourt and street facing elevations
- Shake accenting in a separate color on furred out elements, or entire upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an



SECTION 5 - DESIGN GUIDELINES (cont.)

accent color to match the front. No material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



SECTION 5a - ARCHITECTURAL STYLES

ASCENT DUETS - WANDER - CONTEMPORARY HOMESTEAD ELEVATION - BUILDING TYPE 1

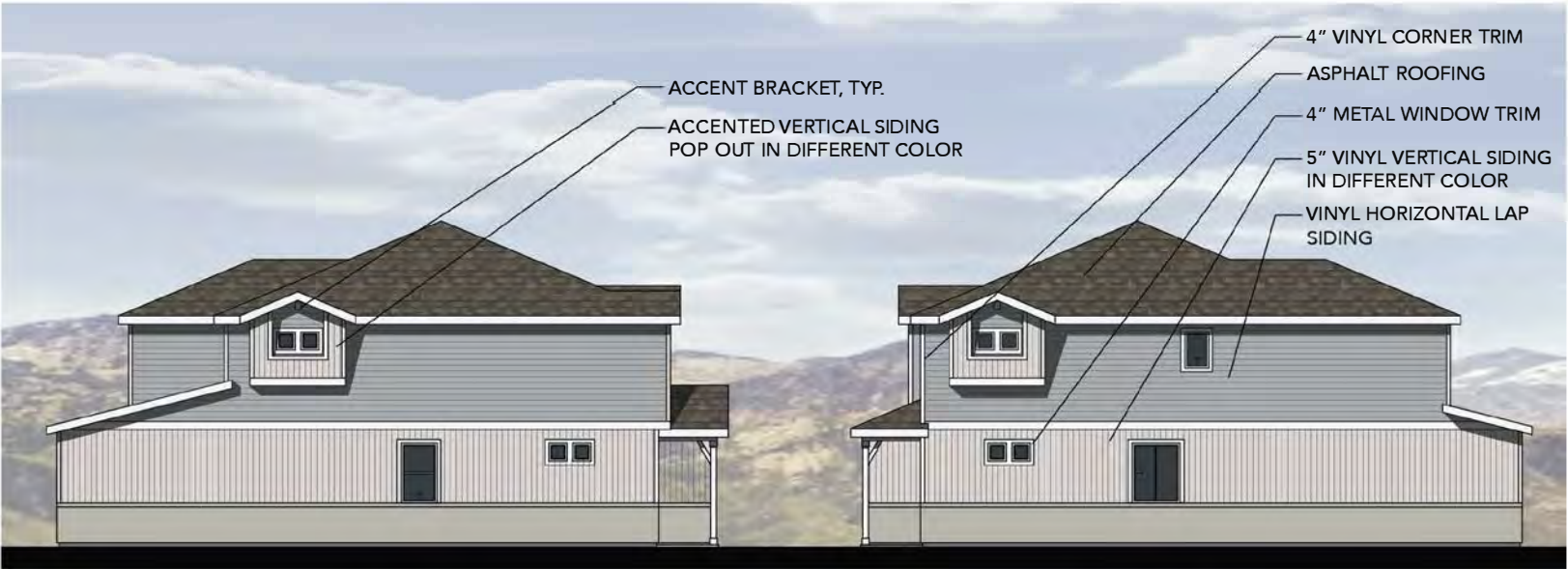


FRONT ELEVATION



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
 - 2 FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
 - TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (VERTICAL SIDING, HORIZONTAL LAP SIDING, STUCCO)
 - COVERED ENTRY PORCHES
 - 3 GABLE ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
- ARCHITECTURAL WRAP
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL STUCCO WAINSCOTS AND MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - BUILDING TYPE 1

SCHEME #1

BODY 1 (VERTICAL SOFFIT D5)
SILVER MIST

BODY 2 (HORIZONTAL LAP D4)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

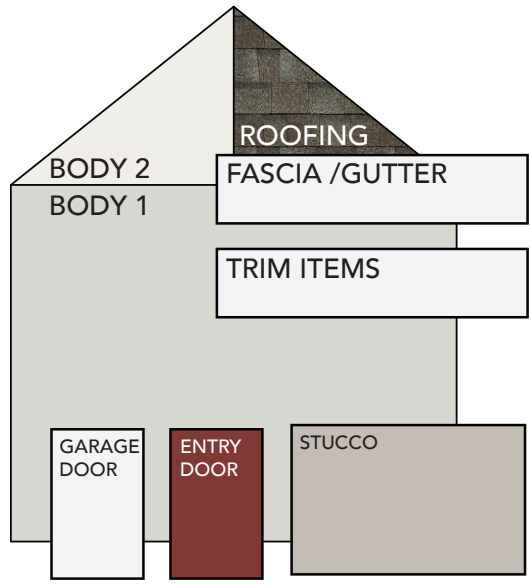
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #2

BODY 1 (VERTICAL SOFFIT D5)
STONE MOUNTAIN CLAY

BODY 2 (HORIZONTAL LAP D4)
RICH MOCHA

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

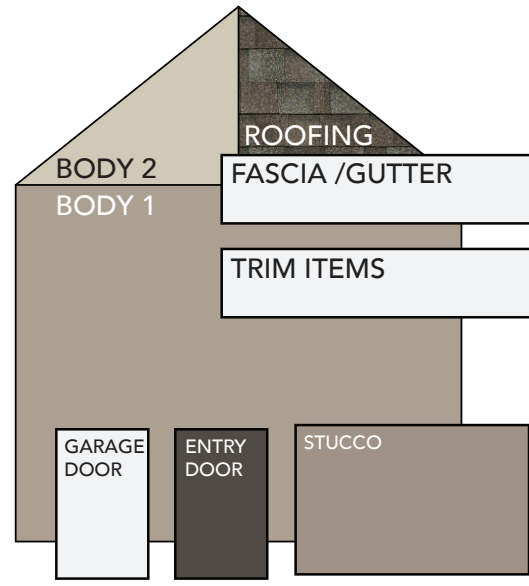
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7504 KEYSTONE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #3

BODY 1 (VERTICAL SOFFIT D5)
NATURAL ALMOND

BODY 2 (HORIZONTAL LAP D4)
WEDGEWOOD

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

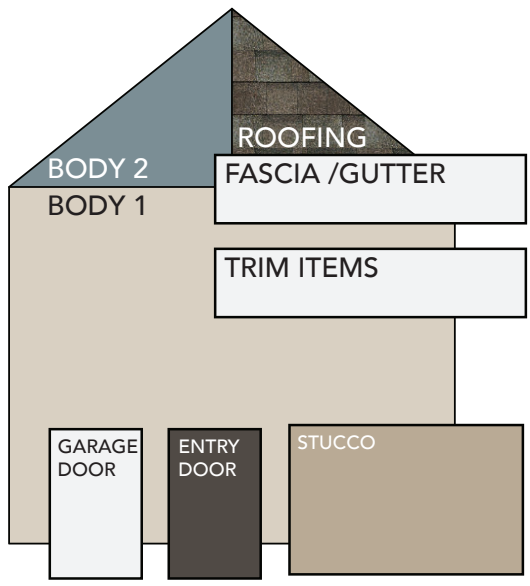
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW6150 UNIVERSAL KHAKI

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #4

BODY 1 (VERTICAL SOFFIT D5)
ISLAND PEARL

BODY 2 (HORIZONTAL LAP D4)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

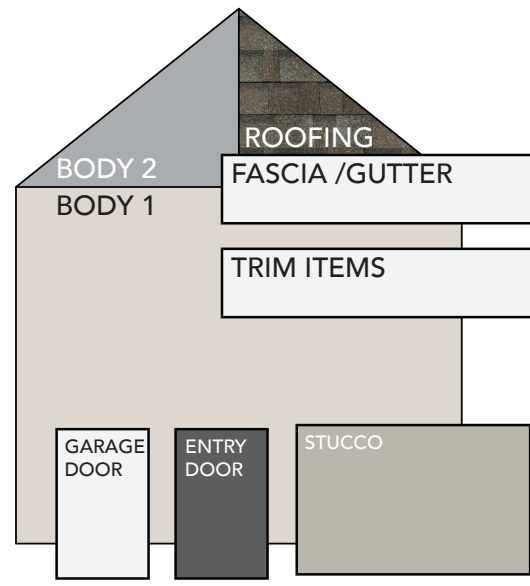
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7674 PEPPERCORN

STUCCO
PAINT SW7016 MINDFUL GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #5

BODY 1 (VERTICAL SOFFIT D5)
SANDY TAN

BODY 2 (HORIZONTAL LAP D4)
SAGEBROOK

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

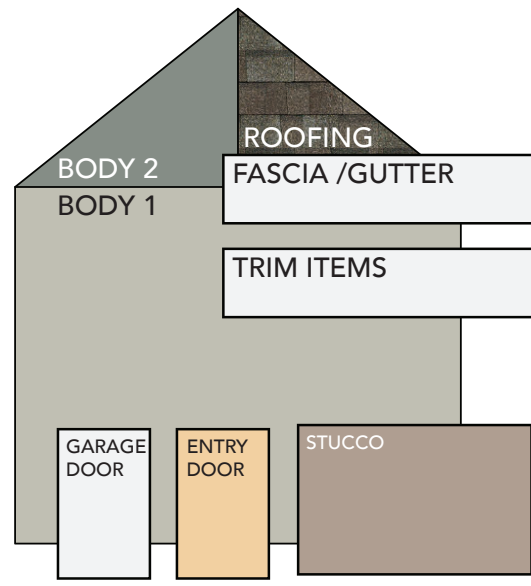
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT 2857 PEACE YELLOW

STUCCO
PAINT SW7633 TAUPE TONE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - MODERN FARMHOUSE ELEVATION - BUILDING TYPE 2

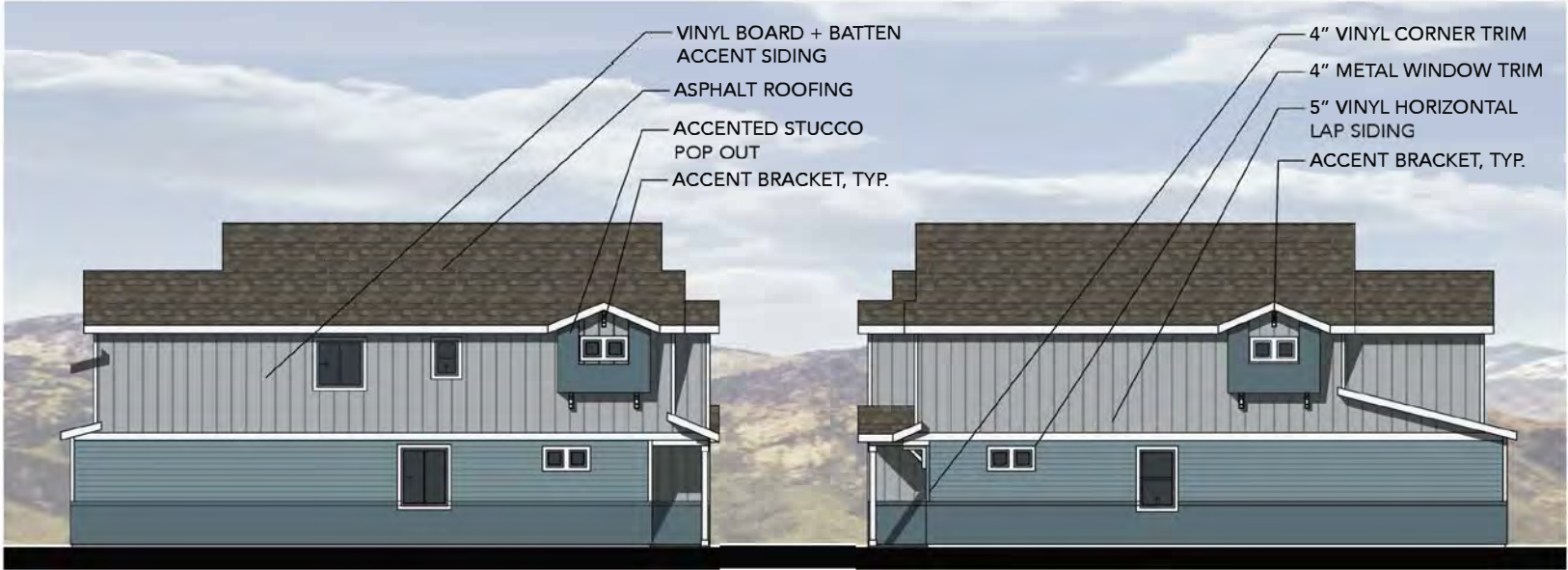


FRONT ELEVATION



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)**
3 FRONT POPOUT ELEVATION SHIFTS PLUS A TOWER ELEMENT THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
c. PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B SIDING, HORIZONTAL LAP SIDING, STUCCO)
d. COVERED ENTRY PORCHES
e. 4 GABLE ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
- ARCHITECTURAL WRAP
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.



SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - BUILDING TYPE 2

SCHEME #1

BODY 1 (HORITONAL LAP D4)
SILVER MIST

BODY 2 (BOARD AND BATTEN)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HORITONAL LAP D4)
BRIARWOOD

BODY 2 (BOARD AND BATTEN)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (HORITONAL LAP D4)
WEDGEWOOD

BODY 2 (BOARD AND BATTEN)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (HORITONAL LAP D4)
SAGEBROOK

BODY 2 (BOARD AND BATTEN)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (HORITONAL LAP D4)
PEWTER

BODY 2 (BOARD AND BATTEN)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - CLASSIC HOMESTEAD ELEVATION - BUILDING TYPE 3

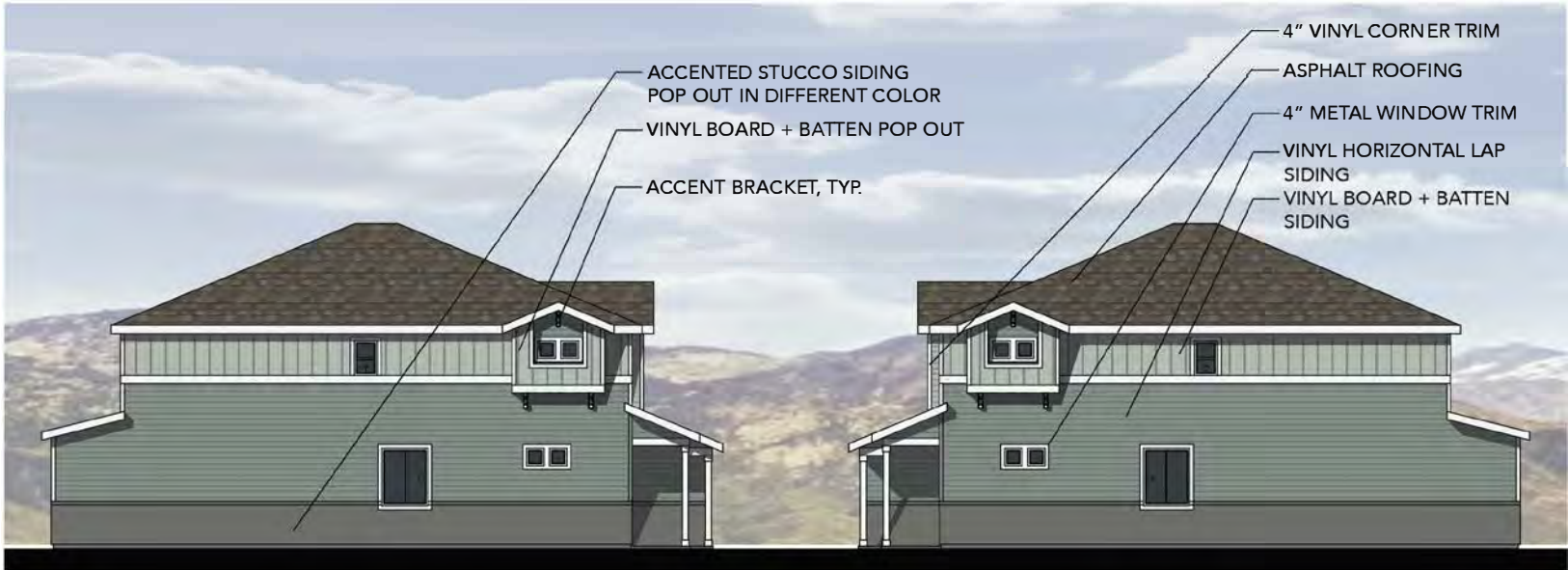


FRONT ELEVATION



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
 - FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
 - TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B, HORIZONTAL LAP SIDING, STUCCO)
 - COVERED ENTRY PORCHES
 - 2 GABLE ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
- ARCHITECTURAL WRAP
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL STUCCO WAINSCOTS AND MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

SECTION 5a - ARCHITECTURAL STYLES (cont.)
BUILDING TYPE 3

SCHEME #1
BODY 1 (HORITONAL LAP D4)
SILVER MIST
BODY 2 (BOARD AND BATTEN)
DOVER WHITE
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW6328 FIREWEED
STUCCO
PAINT SW7641 COLONNADE GRAY
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2
BODY 1 (HORITONAL LAP D4)
BRIARWOOD
BODY 2 (BOARD AND BATTEN)
SANDY TAN
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7005 PURE WHITE
STUCCO
PAINT SW7033 BRAINSTORM BRONZE
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3
BODY 1 (HORITONAL LAP D4)
WEDGEWOOD
BODY 2 (BOARD AND BATTEN)
FLINT
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7020 BLACK FOX
STUCCO
PAINT SW7624 SLATE TILE
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4
BODY 1 (HORITONAL LAP D4)
SAGEBROOK
BODY 2 (BOARD AND BATTEN)
SPANISH OLIVE
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW6204 SEA SALT
STUCCO
PAINT SW6201 THUNDEROUS
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5
BODY 1 (HORITONAL LAP D4)
PEWTER
BODY 2 (BOARD AND BATTEN)
GEORGIAN GRAY
TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE
GUTTER AND FASCIA
WHITE
GARAGE DOOR
WHITE
DOOR COLOR
PAINT SW7005 PURE WHITE
STUCCO
PAINT SW2848 ROYCROFT PEWTER
ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - MODERN CRAFTSMAN ELEVATION - BUILDING TYPE 4

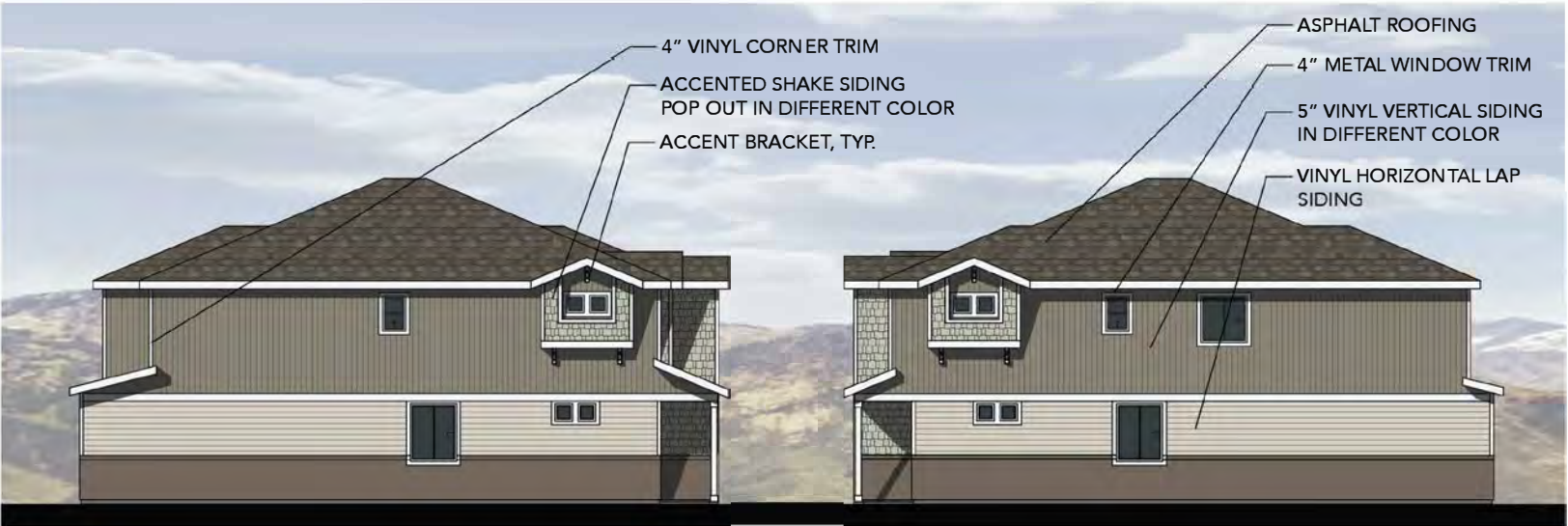


FRONT ELEVATION



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
 - 2 FRONT POPOUT ELEVATION SHIFTS PLUS A TOWER ELEMENT THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (VERTICAL SIDING, HORIZONTAL LAP SIDING, SHAKE)
 - COVERED ENTRY PORCHES
 - 2 GABLE ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
- ARCHITECTURAL WRAP
 - ALL FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND SHAKE ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

SECTION 5a - ARCHITECTURAL STYLES (cont.)

BUILDING TYPE 4

SCHEME #1

BODY 1 (HORIZONTAL LAP D4)
SILVER MIST

BODY 2 (VERTICAL SOFFIT D5)
DOVER WHITE

BODY 3 (SHAKE)
DOVER WHITE

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

ROOFING

FASCIA /GUTTER

TRIM ITEMS

BODY 3

BODY 2

BODY 1

GARAGE DOOR

ENTRY DOOR

STUCCO

SCHEME #2

BODY 1 (HORIZONTAL LAP D4)
BRIARWOOD

BODY 2 (VERTICAL SOFFIT D5)
NATURAL ALMOND

BODY 3 (SHAKE)
SANDY TAN

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

ROOFING

FASCIA /GUTTER

TRIM ITEMS

BODY 3

BODY 2

BODY 1

GARAGE DOOR

ENTRY DOOR

STUCCO

SCHEME #3

BODY 1 (HORIZONTAL LAP D4)
WEDGEWOOD

BODY 2 (VERTICAL SOFFIT D5)
ISLAND PEARL

BODY 3 (SHAKE)
FLINT

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

ROOFING

FASCIA /GUTTER

TRIM ITEMS

BODY 3

BODY 2

BODY 1

GARAGE DOOR

ENTRY DOOR

STUCCO

SCHEME #4

BODY 1 (HORIZONTAL LAP D4)
SAGEBROOK

BODY 2 (VERTICAL SOFFIT D5)
NATURAL ALMOND

BODY 3 (SHAKE)
SPANISH OLIVE

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

ROOFING

FASCIA /GUTTER

TRIM ITEMS

BODY 3

BODY 2

BODY 1

GARAGE DOOR

ENTRY DOOR

STUCCO

SCHEME #5

BODY 1 (HORIZONTAL LAP D4)
PEWTER

BODY 2 (VERTICAL SOFFIT D5)
SILVER MIST

BODY 3 (SHAKE)
GEORGIAN GREY

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

ROOFING

FASCIA /GUTTER

TRIM ITEMS

BODY 3

BODY 2

BODY 1

GARAGE DOOR

ENTRY DOOR

STUCCO

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - CLASSIC FARMHOUSE ELEVATION - BUILDING TYPE 5



FRONT ELEVATION

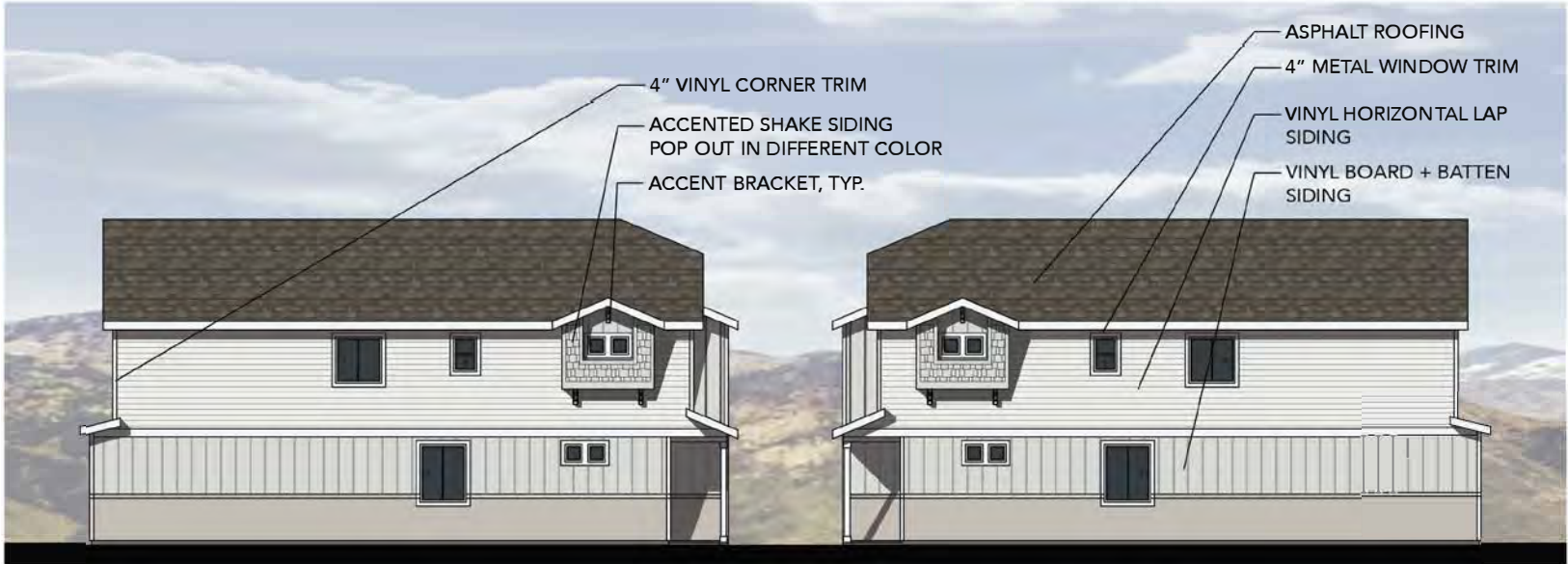
36" MIN. HEIGHT
ACCENT STUCCO

ACCENT PAINTED 2-PANEL
ENTRY DOOR



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B, HORIZONTAL LAP SIDING, STUCCO)
 - COVERED ENTRY PORCHES
 - 3 SHED ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: AWNINGS ABOVE FRONT WINDOWS AR 24" DEEP



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
- ARCHITECTURAL WRAP
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS COLOR (BODY, ACCENT, AND STUCCO/SHAKE ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT/FASCIA)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

SECTION 5a - ARCHITECTURAL STYLES (cont.)

BUILDING TYPE 5

SCHEME #1

BODY 1 (BOARD AND BATTEN)
SILVER MIST

BODY 2 (HORIZONTAL LAP D4)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

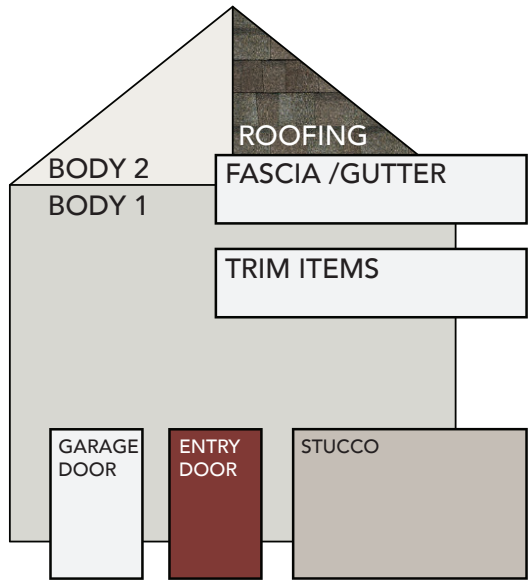
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #2

BODY 1 (HBOARD AND BATTEN)
BRIARWOOD

BODY 2 (HORIZONTAL LAP D4)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

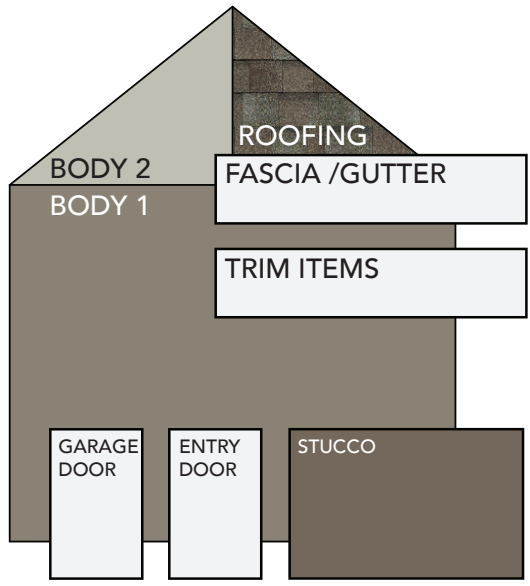
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #3

BODY 1 (BOARD AND BATTEN)
WEDGEWOOD

BODY 2 (HORIZONTAL LAP D4)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

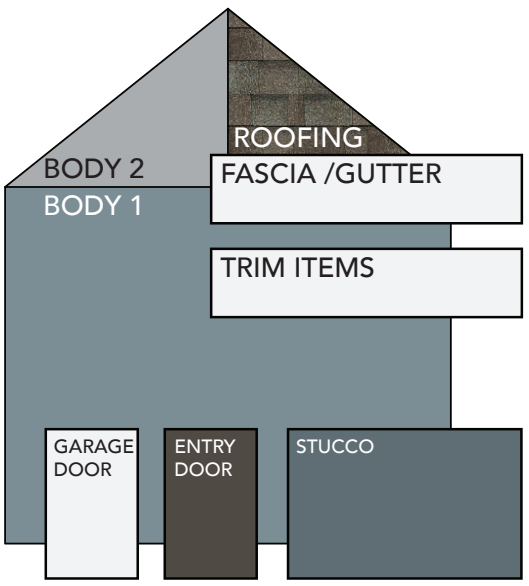
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #4

BODY 1 (BOARD AND BATTEN)
SAGEBROOK

BODY 2 (HORIZONTAL LAP D4)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

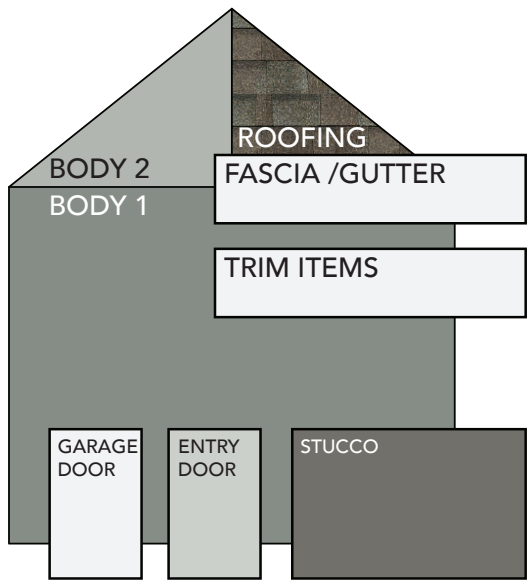
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #5

BODY 1 (BOARD AND BATTEN)
PEWTER

BODY 2 (HORIZONTAL LAP D4)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

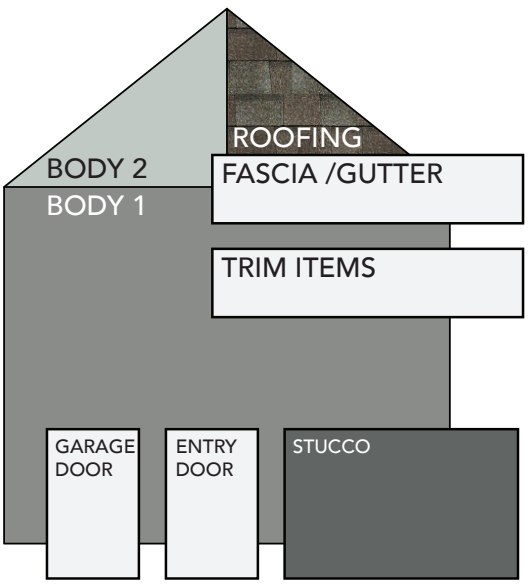
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

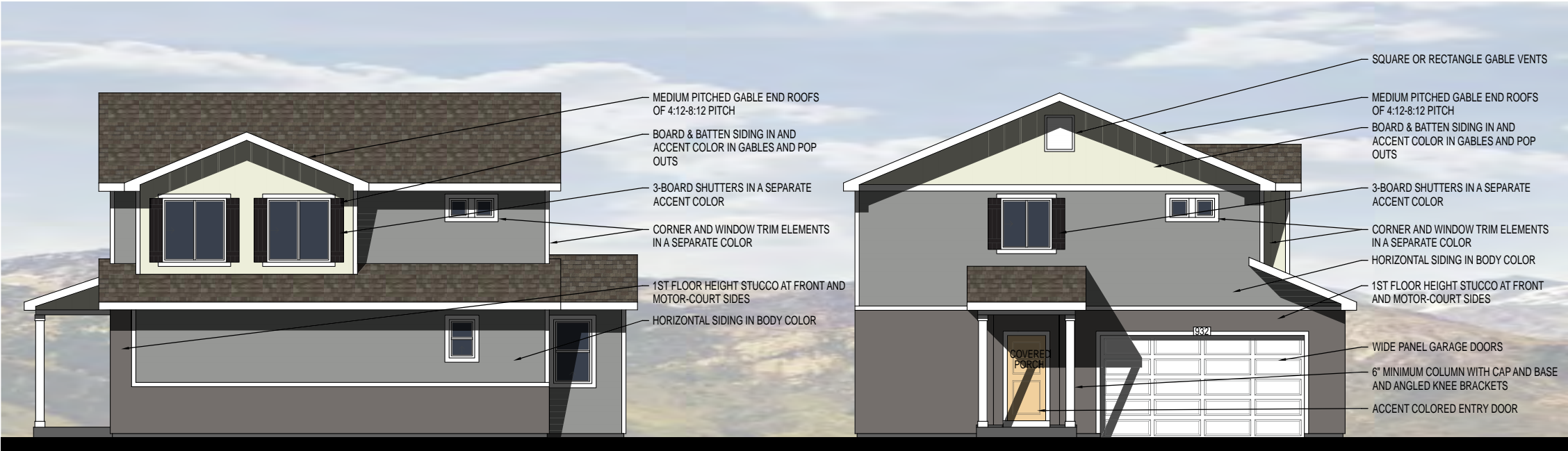
MOTORCOURT HOME TYPICAL - SARATOGA PRAIRIE ELEVATION

MODERN FARMHOUSE STYLE

FEATURES

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Large square or rectangular gable vents in primary largest roof gables
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color in gables, pop outs, or front facing facade elements
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



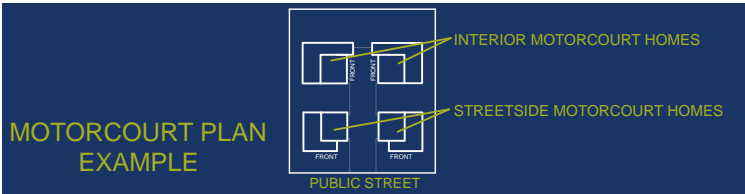
1 Typical Front Elevation - Motorcourt Interior Location
Plan 931 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 931 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 931 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 931 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

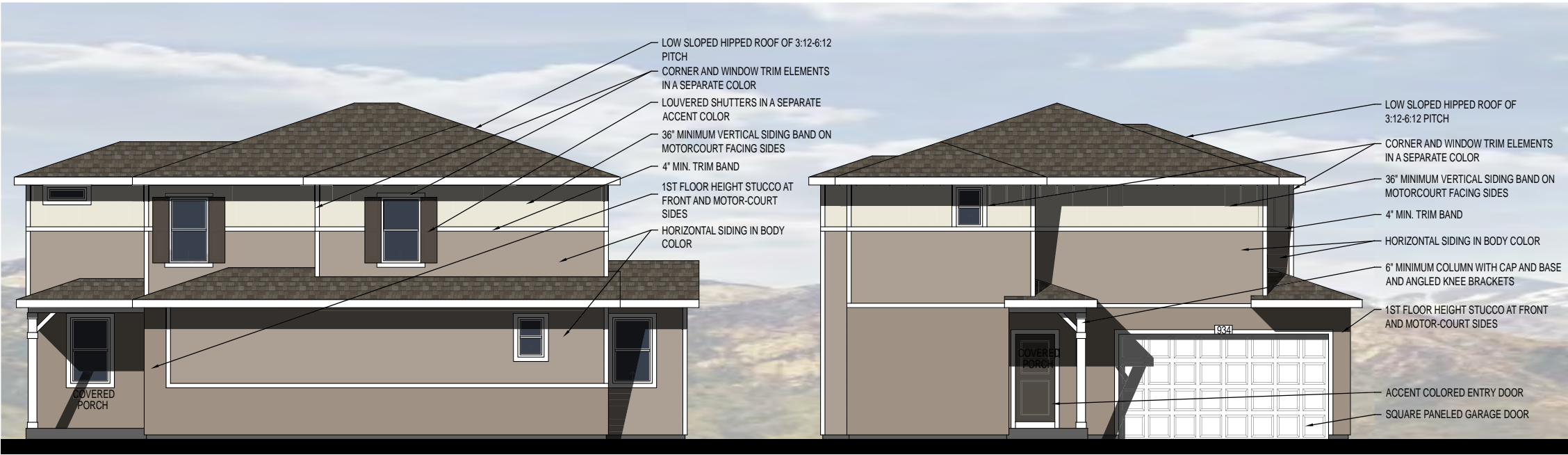
MOTORCOURT HOME TYPICAL - SARATOGA PRAIRIE ELEVATION

SARATOGA PRAIRIE STYLE

FEATURES

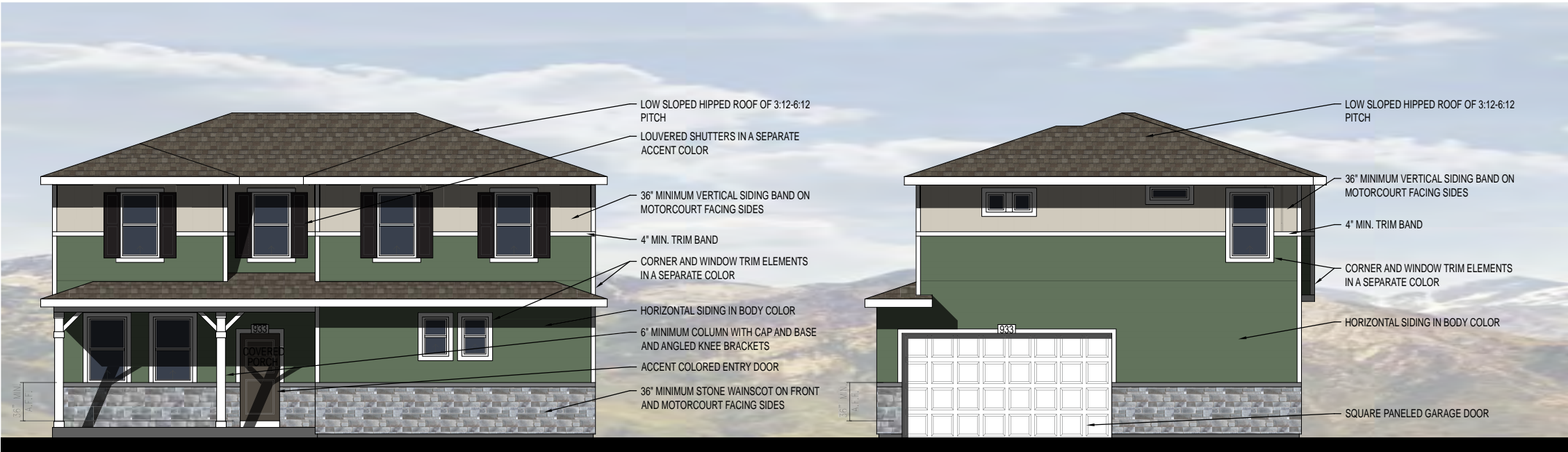
- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12” soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band in an accent color with a 36” minimum height beneath the upper level soffit, separated by a thin trim band
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4” minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36” minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



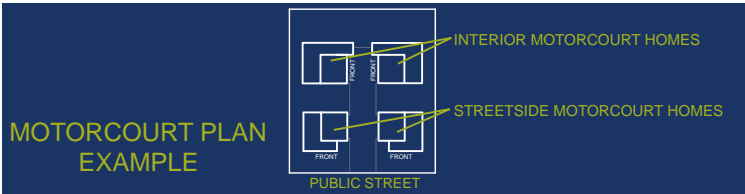
1 Typical Front Elevation - Motorcourt Interior Location
Plan 934 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 934 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 933 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 933 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

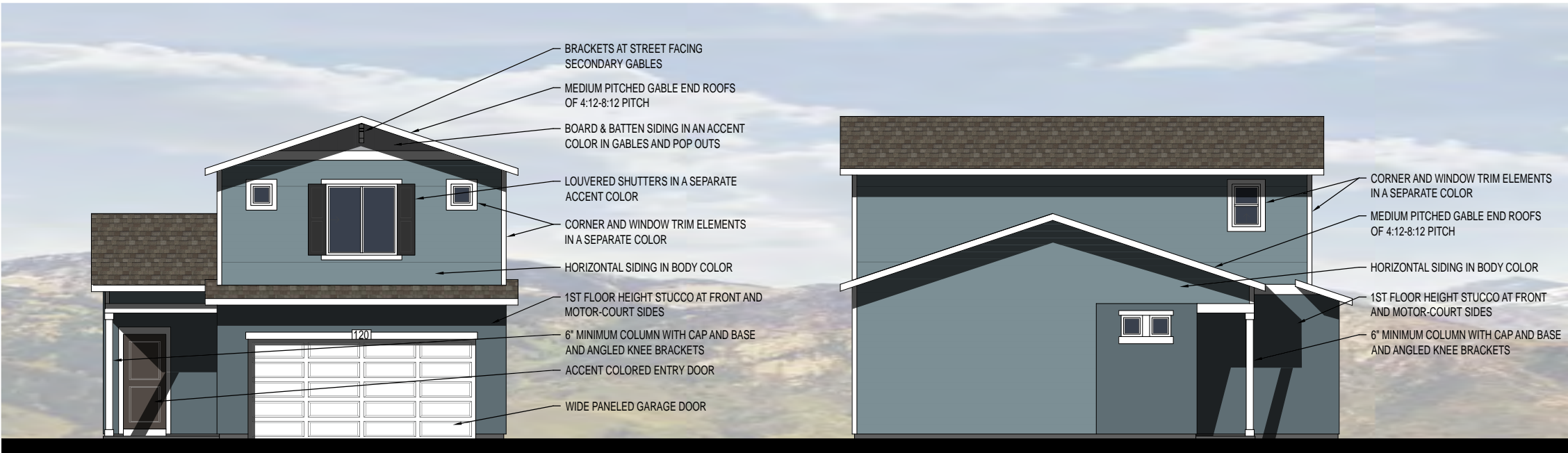
MOTORCOURT HOME TYPICAL - SARATOGA CLASSIC ELEVATION

SARATOGA CLASSIC STYLE

FEATURES

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Gable accent elements such as square or rectangular gable vents or brackets on motorcourt or street facing elevations
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color on gables, furred out elements, or entire stories separated by 8” wide trim bands
- Minimum 6x6 columns with top and bottom collars
- 4” minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36” minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



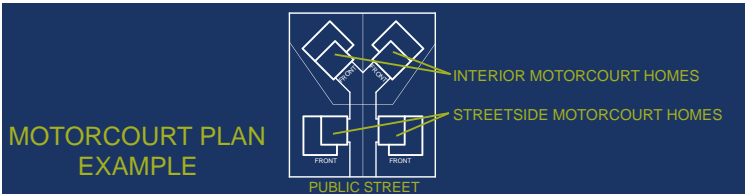
1 Typical Front Elevation - Motorcourt Interior Location
Plan 120 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 120 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 125 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 125 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

MOTORCOURT HOME TYPICAL - CONTEMPORARIE PRAIRIE ELEVATION

CONTEMPORARIE PRAIRIE STYLE

FEATURES

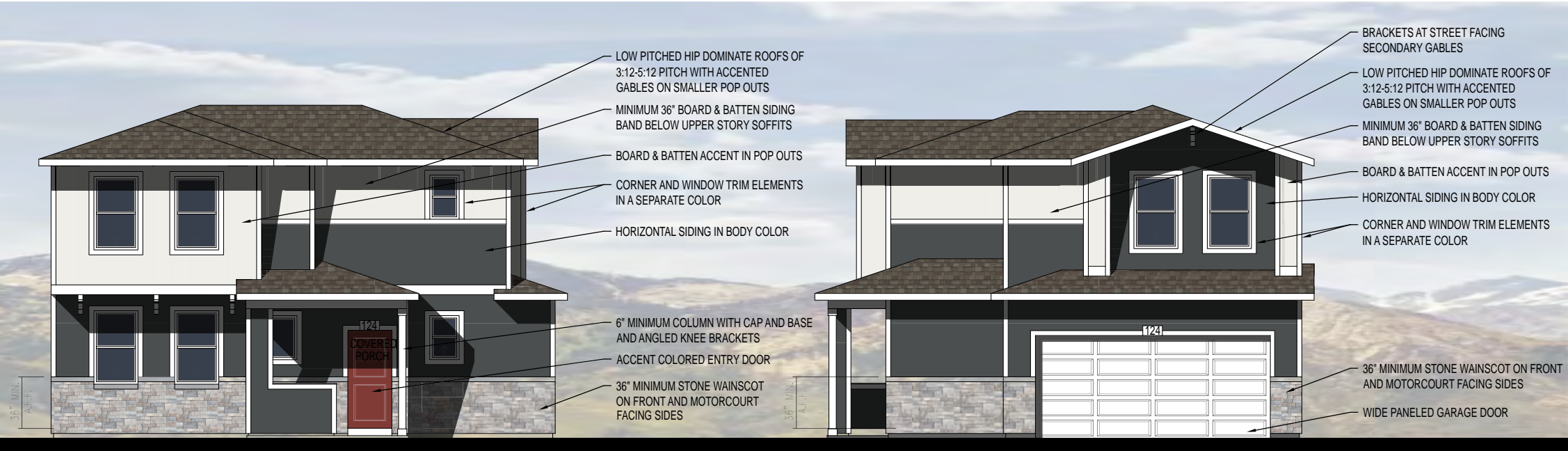
- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band with a 36" minimum width beneath the upper level soffit separated by trim colored bands
- Furr out elements sided with Board and Batten accent siding in a separate color
- Brackets at gable peaks on motorcourt and street facing elevations
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



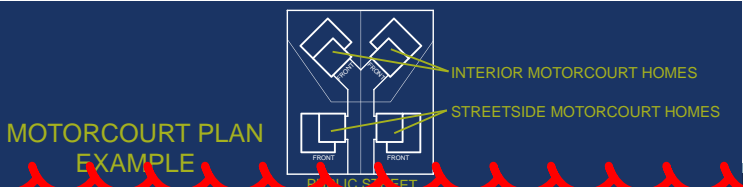
1 Typical Front Elevation - Motorcourt Interior Location
Plan 121 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 121 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 124 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 124 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

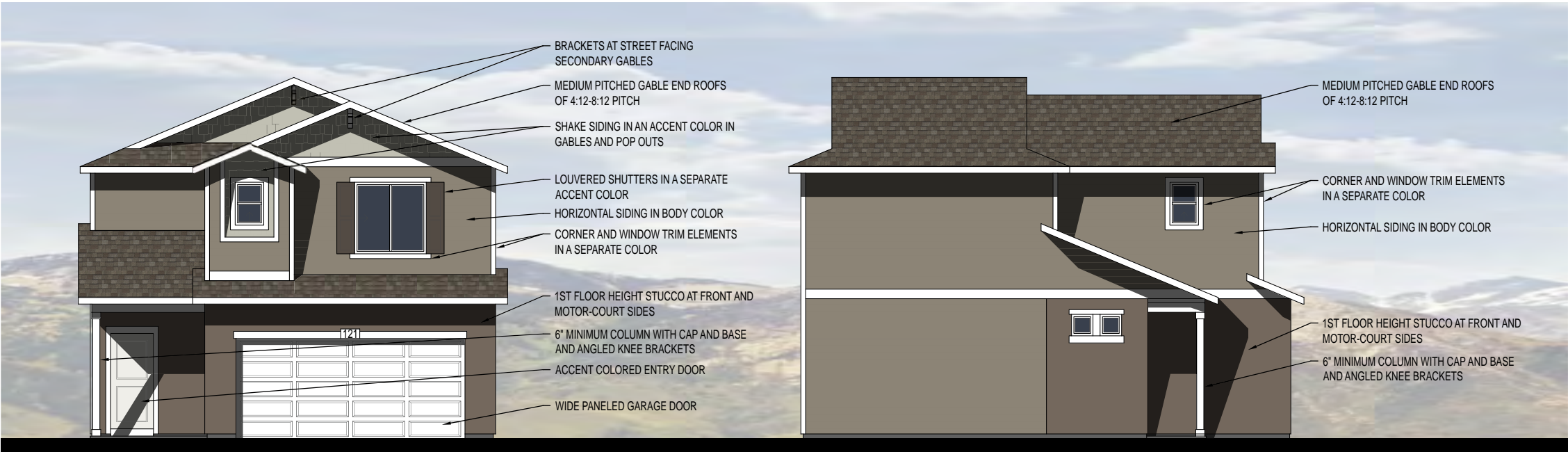
MOTORCOURT HOME TYPICAL - RANCH HOUSE ELEVATION

RANCH HOUSE STYLE

FEATURES

- A mix of dutch-hipped and medium pitched gable roofs with a pitch of 4:12-8:12
- Horizontal siding in a consistent body color
- Brackets at gable peaks on motorcourt and street facing elevations
- Shake accenting in a separate color on furred out elements, or entire upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



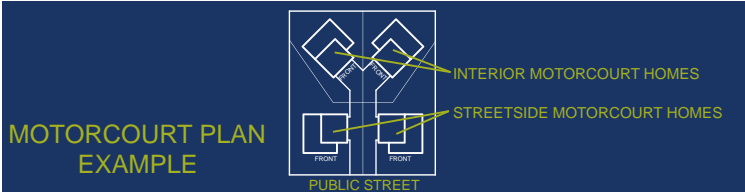
1 Typical Front Elevation - Motorcourt Interior Location
Plan 121 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 121 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 124 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 124 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

WANDER PORCHLIGHT II - ALL ELEVATIONS - VINYL SIDING

SCHEME #1

BODY (HORIZONTAL LAP)
 URBAN IRON (VARIFORM)

SIDING ACCENT
 DOVER WHITE (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 BLACK

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW6328 FIREWEED

STUCCO ACCENT (STONE TO REPLACE)
 SW7643 PUSSYWILLOW

SCHEME #2

BODY (HORIZONTAL LAP)
 RICH MOCHA (VARIFORM)

SIDING ACCENT
 STONE MOUNTAIN CLAY (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

GUTTER / FASCIA
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 CLAY

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW7020 BLACK FOX

STUCCO ACCENT (STONE TO REPLACE)
 SW9173 SHITAKE

SCHEME #3

BODY (HORIZONTAL LAP)
 TEAK (VARIFORM)

SIDING ACCENT
 SANDY TAN (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 CLAY

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW6186 DRIED THYME

STUCCO ACCENT (STONE TO REPLACE)
 SW7504 KEYSTONE GRAY

SCHEME #4

BODY (HORIZONTAL LAP)
 MEDITERRANEAN PALM (VARIFORM)

SIDING ACCENT
 SILVER MIST (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

GUTTER / FASCIA
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 BLACK

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW7020 BLACK FOX

STUCCO ACCENT (STONE TO REPLACE)
 SW6149 RELAXED KHAKI

SCHEME #5

BODY (HORIZONTAL LAP)
 DOVER WHITE (VARIFORM)

SIDING ACCENT
 DOVER WHITE (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 BLACK METAL / SW6258 TRICORN BLACK

SHUTTER (PER PLAN)
 BLACK

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW6258 TRICORN BLACK

STUCCO ACCENT (STONE TO REPLACE)
 SW7015 REPOSE GRAY

SCHEME #6

BODY (HORIZONTAL LAP)
 DEEP BRUNSWICK (VARIFORM)

SIDING ACCENT
 SILVER MIST (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 CLAY

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW2857 PEACE YELLOW

STUCCO ACCENT (STONE TO REPLACE)
 SW7643 PUSSYWILLOW

STONE CHOICES (IF SELECTED)

HUNTINGTON DIVINO LEDGE

 SLATE LEUDERS

 WHITE SAND DIVINO LEDGE

 MIDNIGHT CHEIF JOSEPH



ALL ROOFING
GAF TIMBERLINE
"WEATHERED WOOD"

SECTION 5a - ARCHITECTURAL STYLES (cont.)

COACH HOUSE & COACHLIGHT - WANDER

SCHEME #1

BODY 1 (HORIZONTAL LAP D5)

SILVER MIST

BODY 2 (B+B OR SHAKE PER ELEVATION)

DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

BLACK

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW6327 FIREWEED

STUCCO COLOR

SW7641 COLONADE GRAY

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HORIZONTAL LAP D5)

BRIARWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)

SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

MUSKET BROWN

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW7005 PURE WHITE

STUCCO COLOR

SW7033 BRAINSTORM BRONZE

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (HORIZONTAL LAP D5)

WEDGEWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)

FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

BLACK

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW7020 BLACK FOX

STUCCO COLOR

SW7624 SLATE TILE

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (HORIZONTAL LAP D5)

SAGEBROOK

BODY 2 (B+B OR SHAKE PER ELEVATION)

SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

BLACK

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW6204 SEA SALT

STUCCO COLOR

SW6201 THUNDEROUS

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (HORIZONTAL LAP D5)

STONE MOUNTAIN CLAY

BODY 2 (B+B OR SHAKE PER ELEVATION)

NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

MUSKET BROWN

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW7020 BLACK FOX

STUCCO COLOR

SW7504 KEYSTONE GRAY

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #6

BODY 1 (HORIZONTAL LAP D5)

MEDITERRANEAN PALM

BODY 2 (B+B OR SHAKE PER ELEVATION)

NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

BLACK

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW6204 SEA SALT

STUCCO COLOR

SW6181 SECRET GARDEN

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #7

BODY 1 (HORIZONTAL LAP D5)

IRISH THISTLE

BODY 2 (B+B OR SHAKE PER ELEVATION)

SILVER MIST

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

MUSKET BROWN

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW7020 BLACK FOX

STUCCO COLOR

SW6200 LINK GRAY

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #8

BODY 1 (HORIZONTAL LAP D5)

PEWTER

BODY 2 (B+B OR SHAKE PER ELEVATION)

GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

BLACK

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW7005 PURE WHITE

STUCCO COLOR

SW2848 ROYCROFT PEWTER

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #9

BODY 1 (HORIZONTAL LAP D5)

URBAN IRON

BODY 2 (B+B OR SHAKE PER ELEVATION)

DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

WHITE

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW6327 FIREWEED

STUCCO COLOR

SW7069 IRON ORE

COMPOSITION ROOFING

GAF TIMBERLINE NS "CHARCOAL"

SCHEME #10

BODY 1 (HORIZONTAL LAP D5)

SPANISH OLIVE

BODY 2 (B+B OR SHAKE PER ELEVATION)

DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: DOVER WHITE / WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

BROWN

SHUTTERS

MUSKET BROWN

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW7020 BLACK FOX

STUCCO COLOR

SW6164 SVELTE SAGE

COMPOSITION ROOFING

GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #11

BODY 1 (HORIZONTAL LAP D5)

SPANISH OLIVE

BODY 2 (B+B OR SHAKE PER ELEVATION)

DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS

VINYL: WHITE

PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA

WHITE

SHUTTERS

BLACK

GARAGE DOOR

WHITE

FRONT DOOR COLOR

PAINT SW6258 TRICORN BLACK

STUCCO COLOR

SW7064 PASSIVE

COMPOSITION ROOFING

GAF TIMBERLINE NS "CHARCOAL"

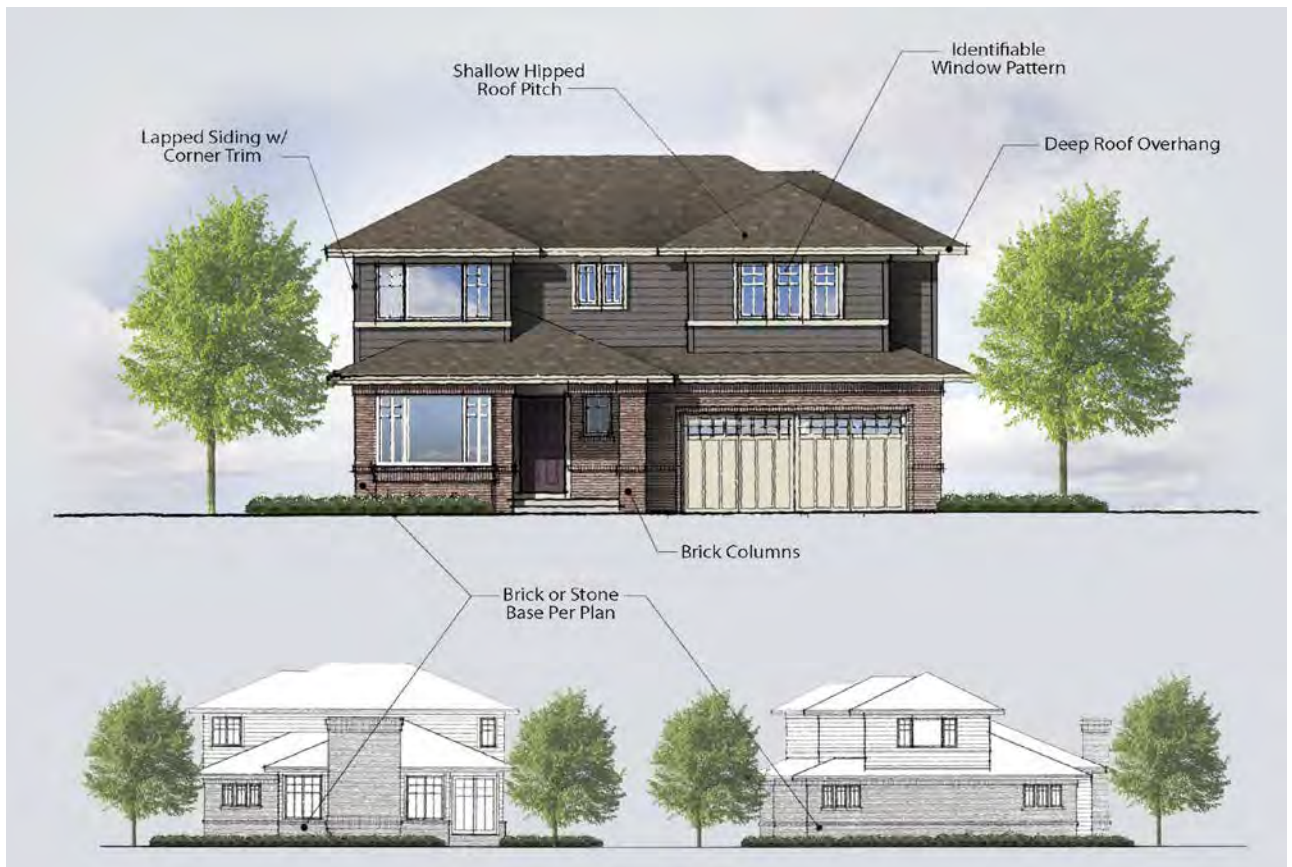
****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****



Historic Prairie Style

With an emphasis on fitting the architecture into its surroundings, the Historic Prairie Style incorporates gently sloping roofs with broad overhangs, strong horizontal lines, and simple building massing. One-story porches with masonry columns often flank the main two-story body of the house. The low roof-line is often hipped; however, gable roofs can be used as accent features. The following features identify a Historic Prairie Style home:

- Shallow roof pitches and deep overhangs
- Ribbon windows
- Brick masonry or lap siding with masonry base
- Hipped roof forms
- Wrap around porch
- Iron porch railing
- Carriage-type garage doors
- Contrasting colors
- Planter boxes

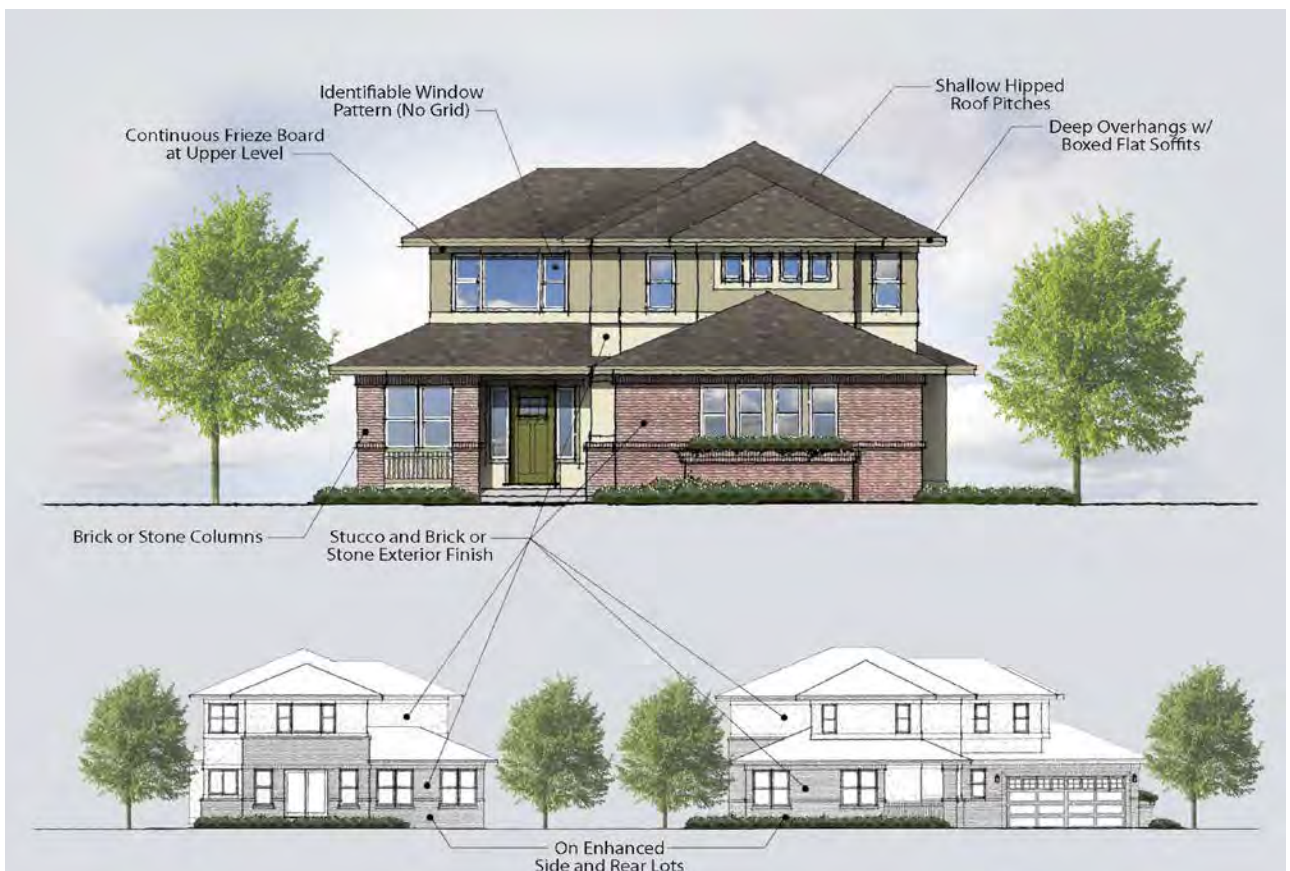




Contemporary Prairie Style

Similar to the History Prairie Style, the design of the Contemporary Prairie Style is strongly influenced by its surroundings. Gently sloping roofs with broad overhangs and strong horizontal lines are carried over from the historic style. A more complex building massing reflective of today's more complex plans is introduced. Porches with masonry columns are still a feature along with the low hipped roof lines. The window arrangements echo the historic style by using "ribbon" windows but without grids for this style only. The following features identify a Contemporary Prairie Style home:

- Shallow roof pitches and deep overhangs
- Ribbon windows
- Stucco finish with masonry base
- Brick banding
- Hipped roof forms
- Wrap-around porch
- Carriage-type garage doors
- Contrasting colors
- Planter boxes

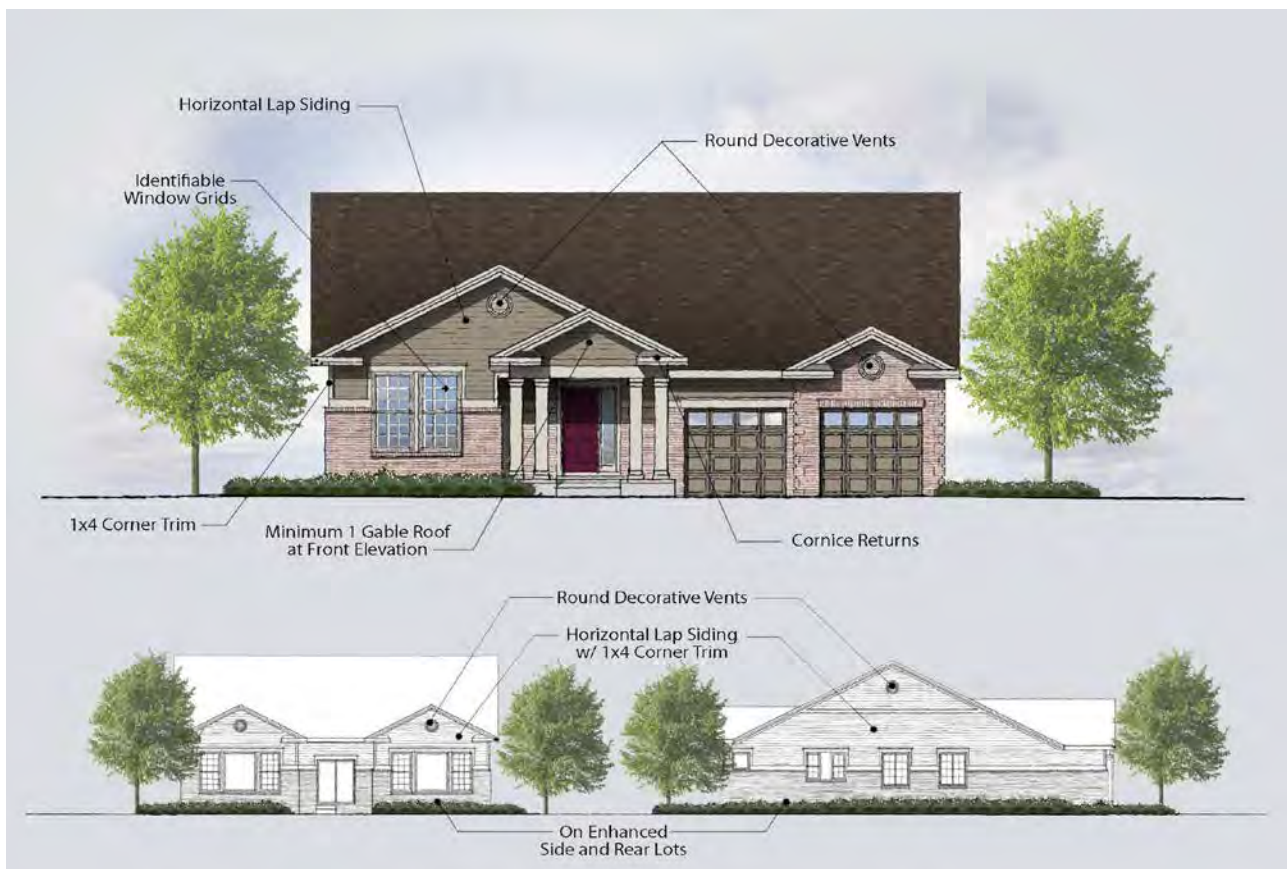




Historic Classic Style

Recognizing our nation's colonial heritage is the intent of the Classic style. Embellishing the simple form of the house with familiar detailing and massing does this. The roof forms are also simple, with accent gables facing the front. Vents or windows break up the mass of the gable end roof forms. Dormers are often used to break down large roof masses. Wide porches with built-up wood columns, or round columns, are an inviting feature. A simple railing around the porch adds charm to the facade. The following features identify a Historic Classic Style home:

- Medium roof pitches and moderate overhangs
- Round gable-end vents
- Gabled roof forms
- Corner trim with lap siding and stone or brick base
- Round porch columns
- Turned pickets at porch railing
- Keystone accents
- Double round columns
- Louvred accent shutters





Contemporary Classic Style

The Contemporary Classic Style is a close companion of the Historic Classic Style. The roof forms tend to be more intricate to reflect the complex massing of the house. Gable roofs are still prominent along with the use of vents and windows to articulate the gable ends. Window patterns and grids are similar to the historic style; however, the shutters and trim tend to be simplified. The following features identify a Contemporary Classic Style home:

- Medium roof pitches and moderate overhangs
- Window muntin pattern
- Paneled accent shutters
- Round gable-end vents
- Gabled roof forms
- Corner trim with stucco siding and continuous masonry base
- Square or round porch columns
- Turned pickets at porch railing
- Stucco keystone accents

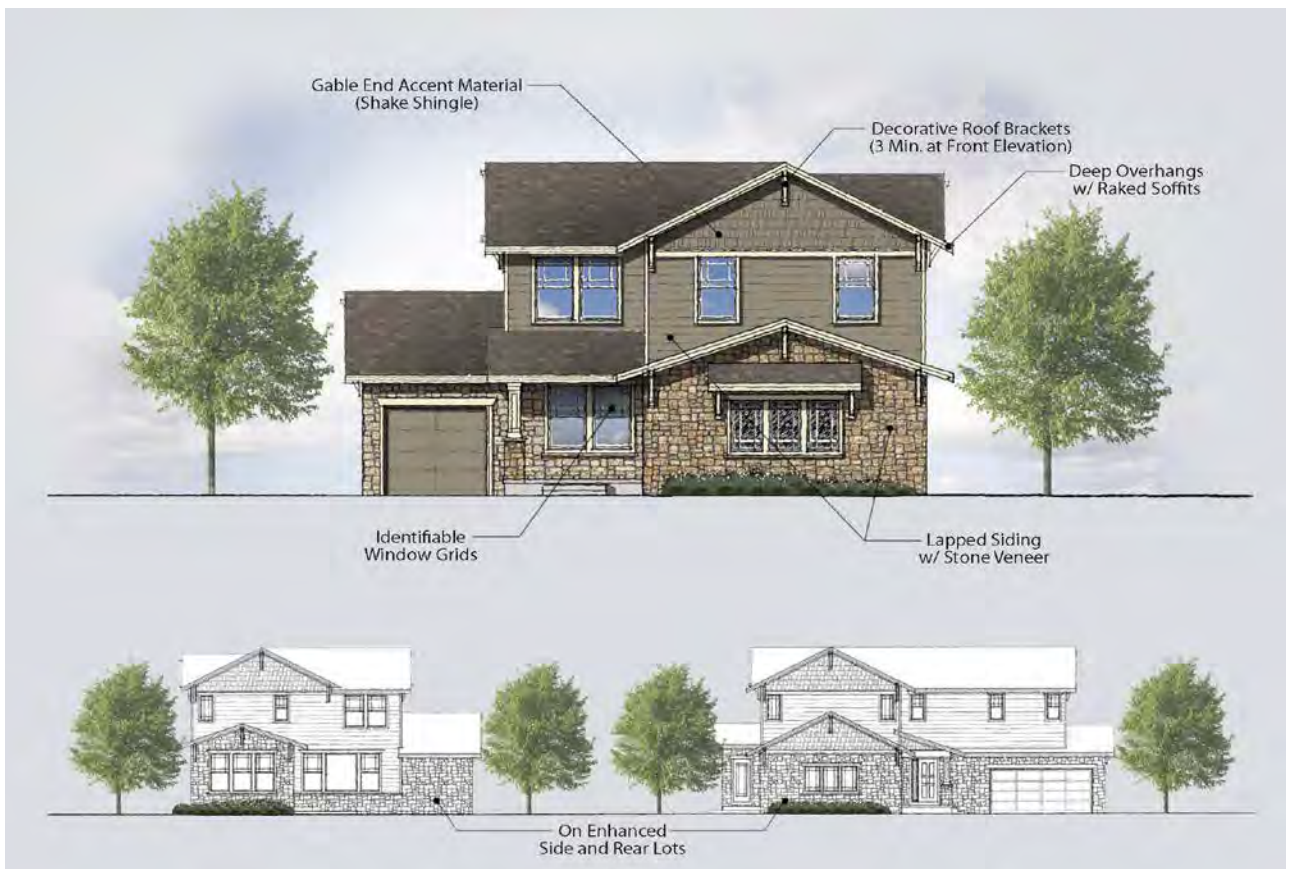




Historic Craftsman Style

Low horizontal forms and simple shapes characterize the Historic Craftsman Style. Rafters and beams are often exposed. Deep eave overhangs give the sheltering feeling to the roof. The gable ends are also treated with materials different from the main body of the house to add character to the facade. Porches are anchored to the ground with massive columns of tapered masonry or wood. The following features identify a Historic Craftsman Style home:

- Medium roof pitches and deep overhangs
- Gable accent material with trim band
- Shed roof forms
- Corner trim with lap siding and brick or stone base
- Built-up porch columns
- Wrap-around porch
- Tapered accent trim





Contemporary Craftsman Style

The updated version of the craftsman style is more complex in its massing and roof-lines to express the modern lifestyle, but still borrows several key elements from its predecessor. Exposed rafters and beams, decorative brackets or beams are used to support gable end roofs, and the gable ends are treated with contrasting materials. The windows are tall and narrow, grouped together to give bright daylight to the interior. The windows also have articulated trim and geometric window grids. The following features identify a Contemporary Craftsman Style home:

- Shallow roof pitches and deep overhangs
- Gable accent material with trim band
- Shed roof forms
- Stucco siding with brick or stone base
- Built-up porch columns
- Wrap-around porch
- Carriage-type garage doors
- Window muntin pattern
- Tapered accent trim





Historic Homestead Style

The Historic Homestead Style is rooted in the eastern plains and foothills of Colorado. Simple massing and rustic character reflected the conditions of rural homestead life. Elements of cabin construction are combined with more sophisticated touches found in the Classic and Craftsman styles. The following features identify a Historic Homestead Style home:

- Medium roof pitches and shallow overhangs
- Gable end vents and outlookers
- Dutch gable roof forms
- Board and batten or lap siding with stone base
- Stone column base
- Turned columns
- Wrap-around porch
- Decorative porch brackets
- Window muntin pattern





Contemporary Homestead Style

The contemporary expression of the homestead style retains the signature “Dutch gable” roof form and other details while incorporating more complex massing to reflect modern lifestyles. Stucco replaces lap siding as the primary wall material. The following features identify a Contemporary Homestead Style home:

- Medium roof pitches and shallow overhangs
- Boxed flat soffit
- Gable end vents and outlookers
- Dutch gable roof forms
- Board and batten or stucco finish with continuous stone base
- Stone column base
- Turned columns
- Wrap around porch
- Decorative porch brackets
- Accent shutters
- Window muntin pattern



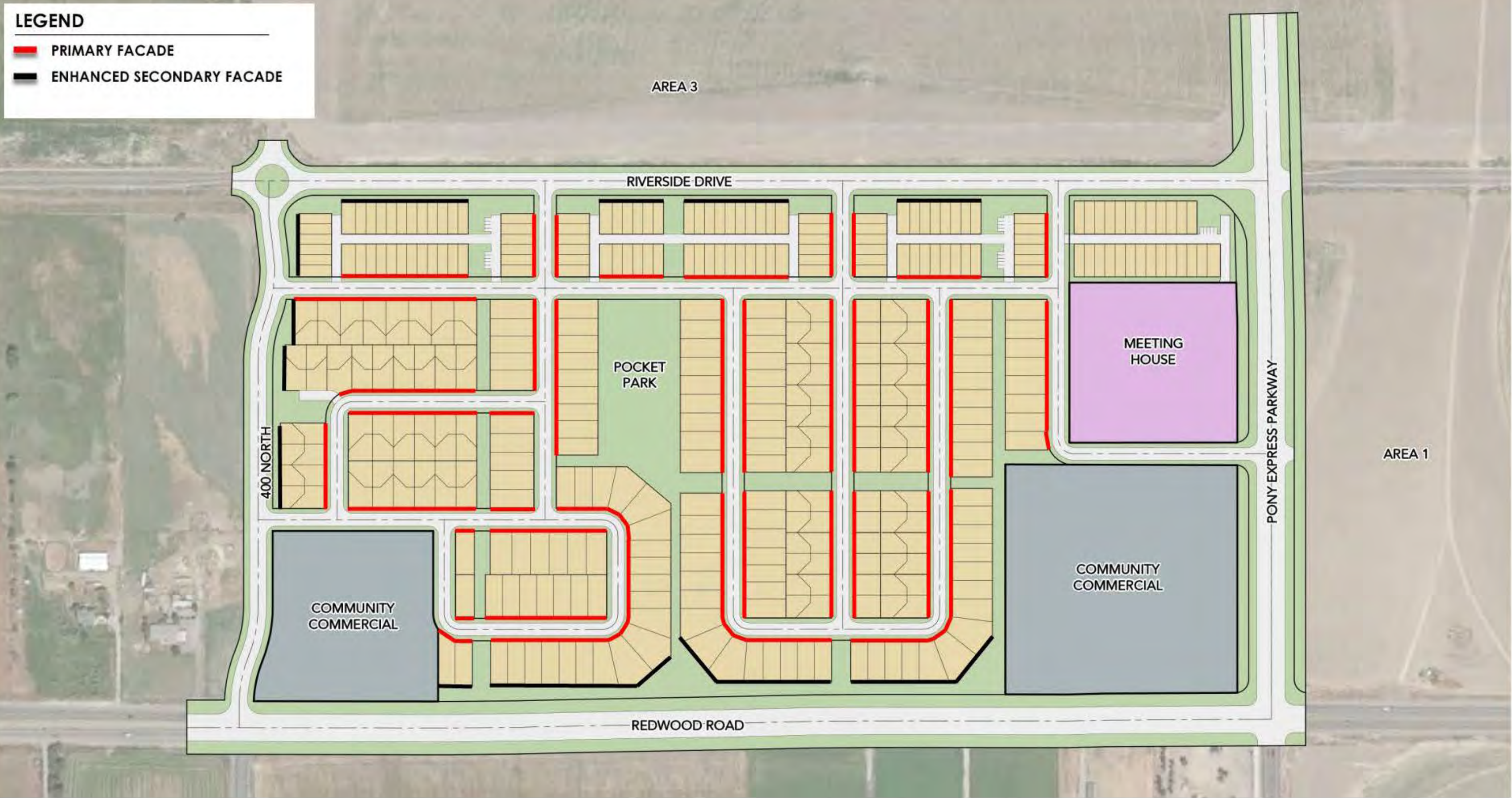


RHYTHM AND PLACEMENT

Color variation is critical in establishing a sense of character in each neighborhood and for preserving architectural interest in each home. Therefore, homes with the same or similar main body color may not occur across from, next to or diagonal from each other. Neighboring dwellings may share similar trim, accent, roof and stone colors. The following diagrams illustrate the guidelines described above:



SECTION 5b - ENHANCED FACADE PLAN





SECTION 5c - FENCING GUIDELINES

Fencing guidelines shall adhere to the standards set forth in the approved Jordan Promenade Community Plan. Fencing layouts and styles shall be determined at Final Plat. Jordan Promenade establishes a consistent theme for project fencing and site furnishings that reflects the natural elements of the Jordan River and the Utah Lake area. Fencing types and site furnishings incorporate materials that complement the proposed entry monuments and overall character of the neighborhood.

- **Project Perimeter Fence:** Privacy fencing (6' tall) constructed of tan vinyl or Trex material is proposed along perimeter arterial roadways with regularly spaced stone columns in a style that relates to the character and theme of project entry features.
- **Internal Privacy Fence:** Privacy fencing (6' or 8' tall) constructed of tan vinyl material is proposed along internal collector roadways with stone columns located at boundary corners in a style that relates to the character and theme of project entry features.
- **Open Space Fence:** Two options for open space fencing are proposed along internal trail and open space corridors, on property lines adjacent to open space tracts, and along the Jordan River and hot springs park. Stone columns are located at boundary corners in a style that relates to the character and theme of project entry features.

1. Vinyl Rail Fencing

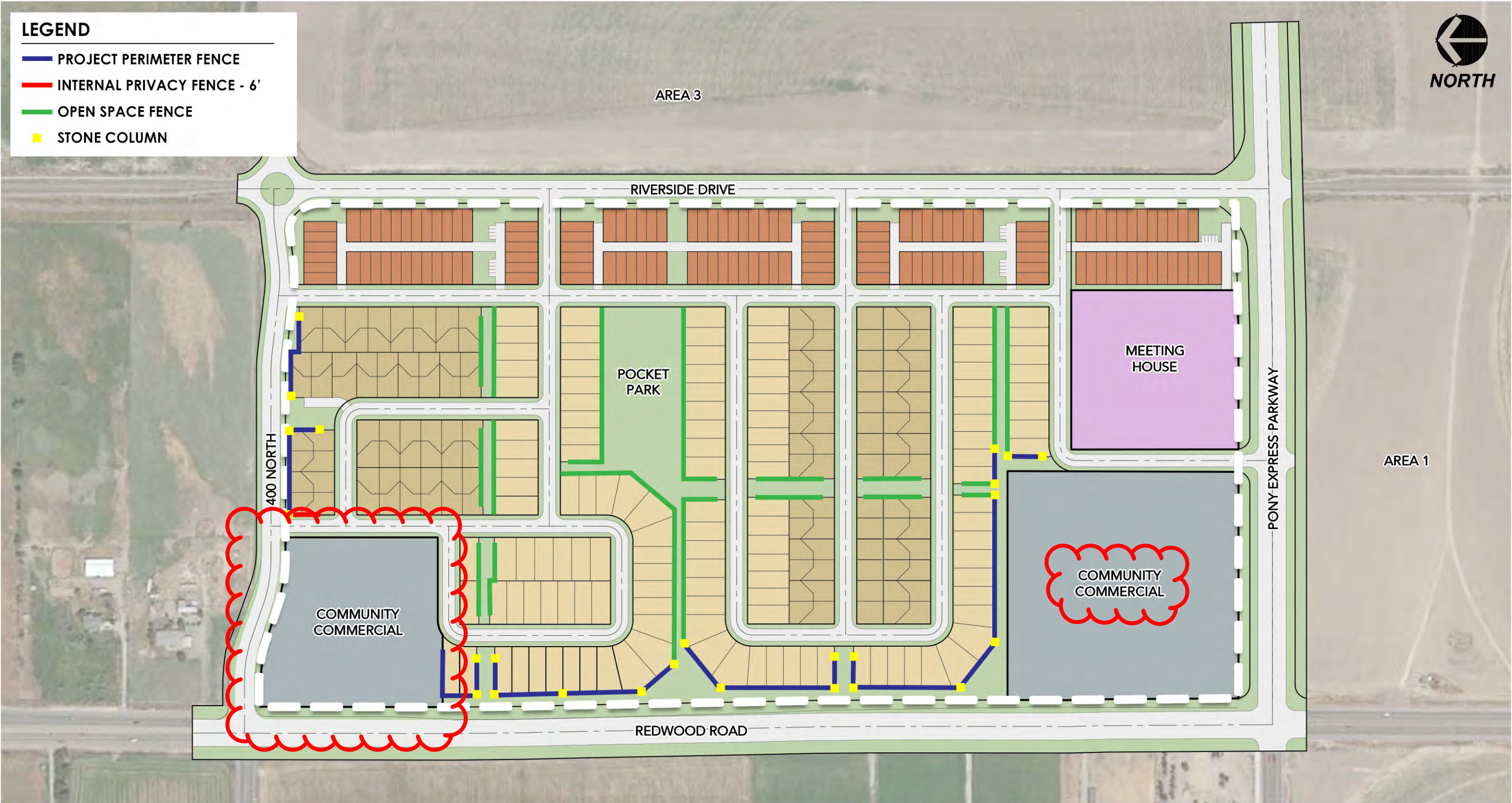
3 to 4 rail fencing (min. 3.5' tall) constructed of tan vinyl or wood material.

2. Ornamental Metal Fencing

Black metal ornamental fencing (min. 3.5' tall).



SECTION 5c - FENCING PLAN





SECTION 6 - ASSOCIATIONS

HOMEOWNERS' ASSOCIATION

In accordance with Section 19.26.03.2.d of the Planned Community Zone Ordinance in the Saratoga Springs Municipal Code, a Homeowners' Association (HOA) will be established to review, approve, and enforce architectural requirements and restrictions, and to address common area maintenance obligations. HOA-specific rules and regulations including CC&Rs (Covenants, Conditions & Restrictions) will be utilized to enforce the neighborhood requirements of the HOA. Community Commercial and church uses shall be exempt from inclusion in the HOA and its authority.



SECTION 7 - PHASING & MAINTENANCE

PHASING

Jordan Promenade Village Plan Area 2 is the second of 3 major phases for the Jordan Promenade Development. Village Plan Area 2 will be developed in 2 phases as illustrated in the Phasing Plan (Section 7a).

Phase 1 of Village Plan Area 2 is planned with the development of a meeting house, a commercial parcel, and residential areas. The residential portion in this phase will include Single Family Detached Homes, Cluster Homes, and Townhomes/Paired Homes.

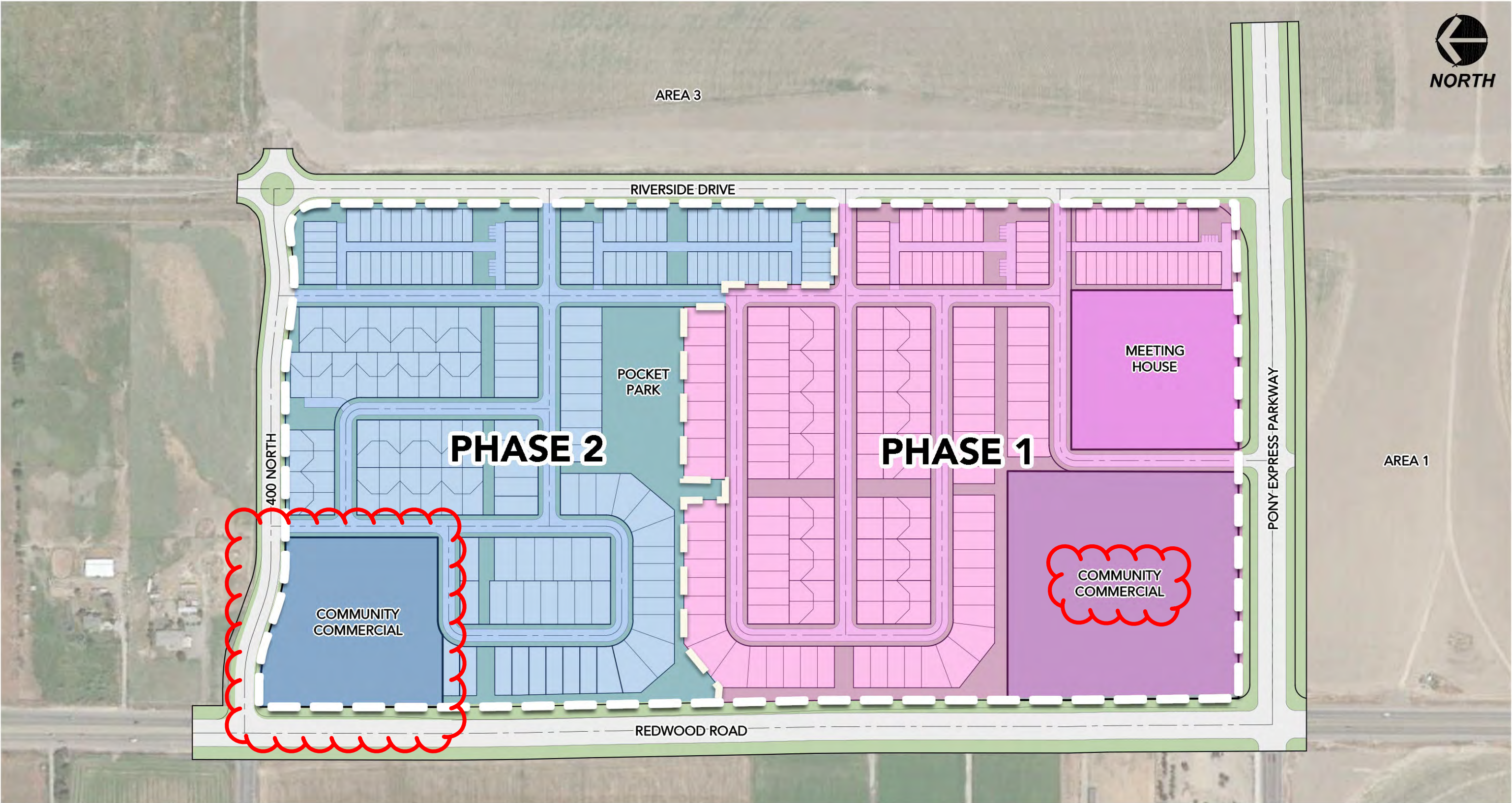
Phase 2 of Village Plan Area 2 is planned with the development of a commercial parcel, residential areas, and a pocket park. The residential portion in this phase will include Single Family Detached homes, Cluster Homes, and Townhomes/Paired Homes.

Phasing in Village 2 may occur in any order.

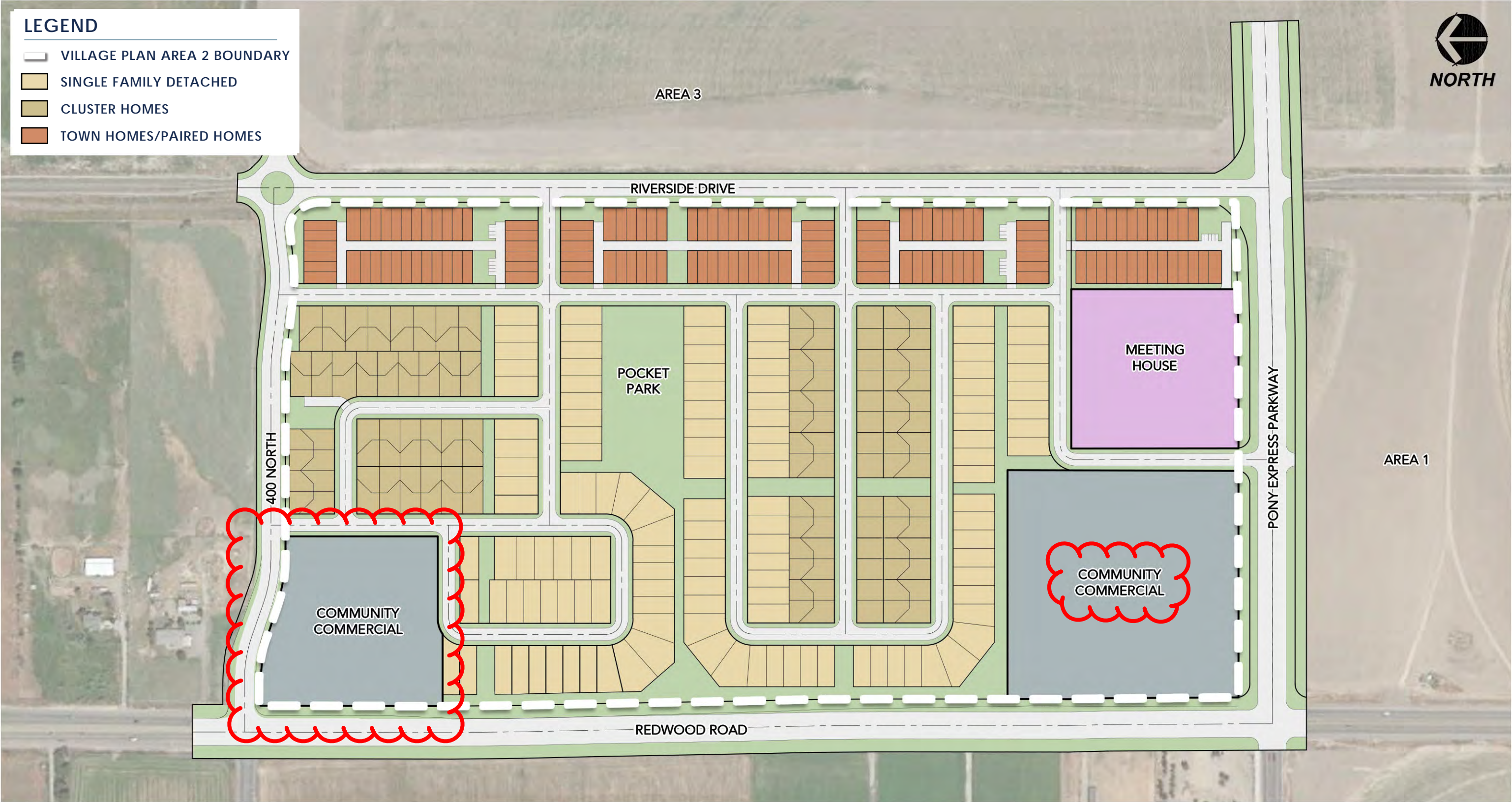
MAINTENANCE

Maintenance for all common open space areas within Village Plan Area 2 will be provided by the Jordan Promenade Homeowners' Association. The pocket park and minor open space areas within the residential development area will be constructed by the developer and will be owned and maintained by the HOA.

SECTION 7a - PHASING PLAN



SECTION 8 - LOTTING MAP





SECTION 9 - LANDSCAPE PLAN & PLANT PALETTE

Jordan Promenade establishes a consistent landscape theme that reflects the natural elements of the Jordan River and the Utah Lake area. Project entryways and developed parks will provide landscaping that is manicured and conducive to high-intensity uses while areas along the project perimeter, internal trail corridors and along passive portions of the Jordan River are designed with native plant material to compliment the natural elements of the area. General descriptions of the proposed landscape treatments for various project areas, landscape plans, and the Village Plan plant palette are below.

Proposed community landscaping shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.06.

PROJECT ENTRYWAY LANDSCAPE

Landscaping at major project entry points incorporates irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to accent the entryway monument areas as well as the vehicular and pedestrian access points leading into the community.

POCKET PARK LANDSCAPE

Landscaping at pocket parks incorporates treatments that are conducive to high-intensity uses and that provide a manicured appearance in areas of gathering. Landscape treatments include irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to provide open areas for recreation, buffering to adjacent roadways and structures, as well as shaded areas around passive uses and features such as playgrounds.

PROJECT PERIMETER, TRAIL CORRIDORS, & NATURAL AREA LANDSCAPE

Landscaping along the project perimeter, internal trail corridors, and along passive portions of the Jordan River reflects the natural appeal of the Jordan River and the Utah Lake area. Native grasses accented by wildflowers are planted adjacent to trail corridors and pedestrian walkways. Native deciduous and evergreen shrub and tree plantings are dispersed throughout the native areas to buffer existing roadways and perimeter fence lines and to provide transition from manicured park areas to the banks of the Jordan River bordering the west edge of the community.



SECTION 9a - PLANT PALETTE

LARGE TREES (>50', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	ACER PLATANOIDES 'EMERALD QUEEN'*	EMERALD QUEEN NORWAY MAPLE*
DECIDUOUS	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE
DECIDUOUS	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE
DECIDUOUS	QUERCUS MACROCARPA*	BUR OAK*
DECIDUOUS	TILIA TOMENTOSA*	SILVER LINDEN*
EVERGREEN	PINUS NIGRA	AUSTRIAN PINE
EVERGREEN	PINUS SYLVESTRIS	SCOTCH PINE

MEDIUM TREES (45' to 50', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	ACER FREEMANII 'JEFFERSRED'*	JEFFERSRED ARMSTONG MAPLE*
DECIDUOUS	GLEDITSIA TRIACANTHOS VAR. INERMIS*	THORNLESS HONEYLOCUST*
EVERGREEN	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER

ORNAMENTAL TREES (<25', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	AMELANCHIER SPP.	SERVICEBERRY
DECIDUOUS	CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN
DECIDUOUS	MALUS X 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE
DECIDUOUS	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE
DECIDUOUS	PRUNUS CERASIFERA 'THUNDERCLOUD'	FLOWERING PLUM

*DENOTES COMPATIBILITY FOR USE AS A STREET TREE.

TURF GRASS

TYPE	BOTANICAL NAME	COMMON NAME
TURF GRASS	POA PRATENSIS	KENTUCKY BLUEGRASS
TURF GRASS	BOUTELOUA DACTYLOIDES	BUFFALO GRASS
TURF GRASS	VARIOUS	NATIVE GRASS MIXTURE

NOTE: THIS LIST IS MEANT AS A SAMPLE PALETTE AND IS NOT REPRESENTATIVE OF ALL SPECIES THAT MAY BE USED.

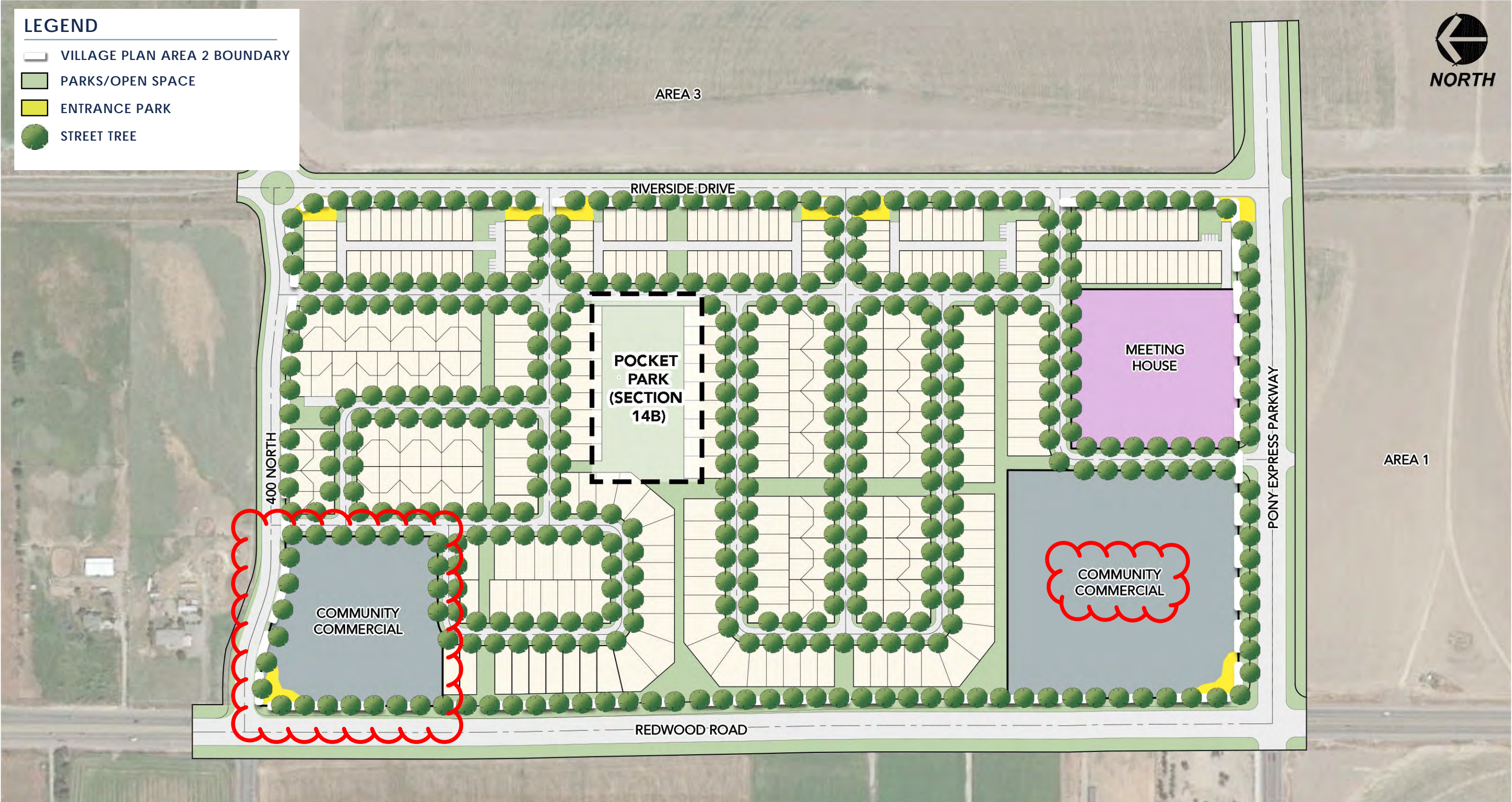


SECTION 9a - PLANT PALETTE (cont.)

SHRUBS		
TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	CHRYSOHAMNUS NAUSEOSUS	RABBITBRUSH
DECIDUOUS	CORNUS SERICEA	RED OSIER DOGWOOD
DECIDUOUS	PEROVSKIA ARTIPLICIFOLIA	RUSSIAN SAGE
DECIDUOUS	PHILADELPHUS CORONARIUS 'AUREUS'	GOLDEN MOCK ORANGE
DECIDUOUS	ROSA 'RADRAZZ'	KNOCKOUT ROSE
DECIDUOUS	SYRINGA X PRESTONIAE 'JAMES MACFARLANE'	JAMES MACFARLANE LILAC
EVERGREEN	CYTISUS PURGAN 'SPANISH GOLD'	SPANISH GOLD BROOM
EVERGREEN	PINUS MUGO 'SLOWMOUND'	DWARF MOUNTAIN PINE
GRASSES & PERENNIALS		
TYPE	BOTANICAL NAME	COMMON NAME
PERENNIAL	ASCLEPIAS SPECIOSA	SHOWY MILKWEED
PERENNIAL	ASTER SP.	ASTER
PERENNIAL	AURINIA SAXATILIS	BASKET OF GOLD
PERENNIAL	CARYOPTERIS CLANDONENSIS	BLUE MIST SPIREA
PERENNIAL	CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER
PERENNIAL	ECHINACEA PURPUREA	PURPLE CONEFLOWER
PERENNIAL	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY
PERENNIAL	LEUCANTHEMUM X SUPERBUM 'ALASKA'	ALASKA SHASTA DAISY
PERENNIAL	LINUM LEWISII	LEWIS BLUE FLAX
PERENNIAL	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON
PERENNIAL	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM
PERENNIAL	STACHYS BYZANTINA 'HELEN VON STEIN'	LAMB'S EAR
GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS
GRASS	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS
GRASS	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS
GRASS	PENNISETUM ALOPERCUROIDES 'HAMELN'	HARDY FOUNTAIN GRASS

NOTE: THIS LIST IS MEANT AS A SAMPLE PALETTE AND IS NOT REPRESENTATIVE OF ALL SPECIES THAT MAY BE USED.

SECTION 9b - OVERALL LANDSCAPE CONCEPT PLAN





SECTION 10 - UTILITY PLANS

The following plans provide further detail on the utilities provided in Jordan Promenade Village Plan Area 2:

Section 10a: Culinary Water Plan

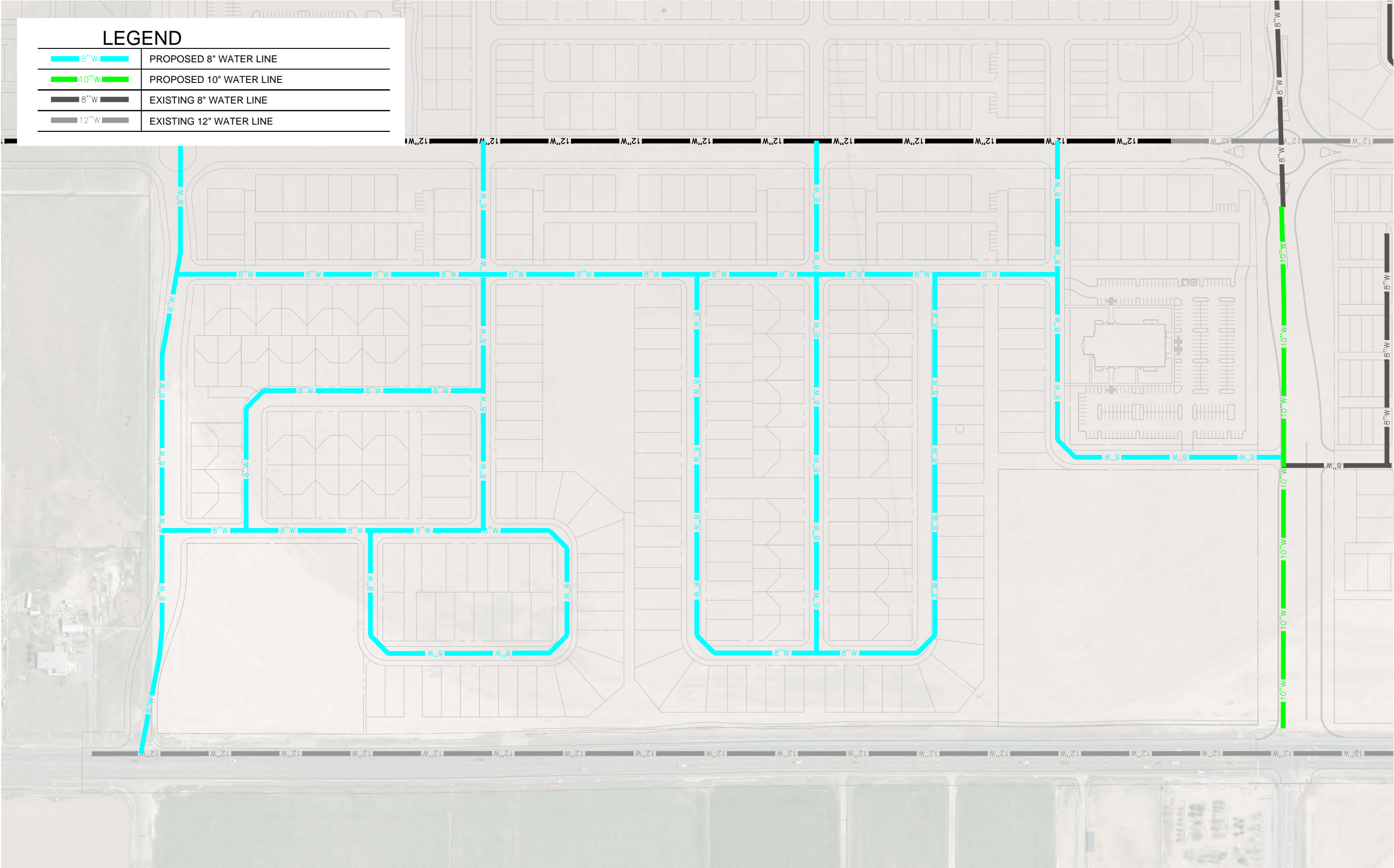
Section 10b: Secondary Water Plan

Section 10c: Sanitary Sewer Plan

Section 10d: Storm Water Drainage Plan

Section 10e: Storm Water Drainage 100 Year Overland Flow Route

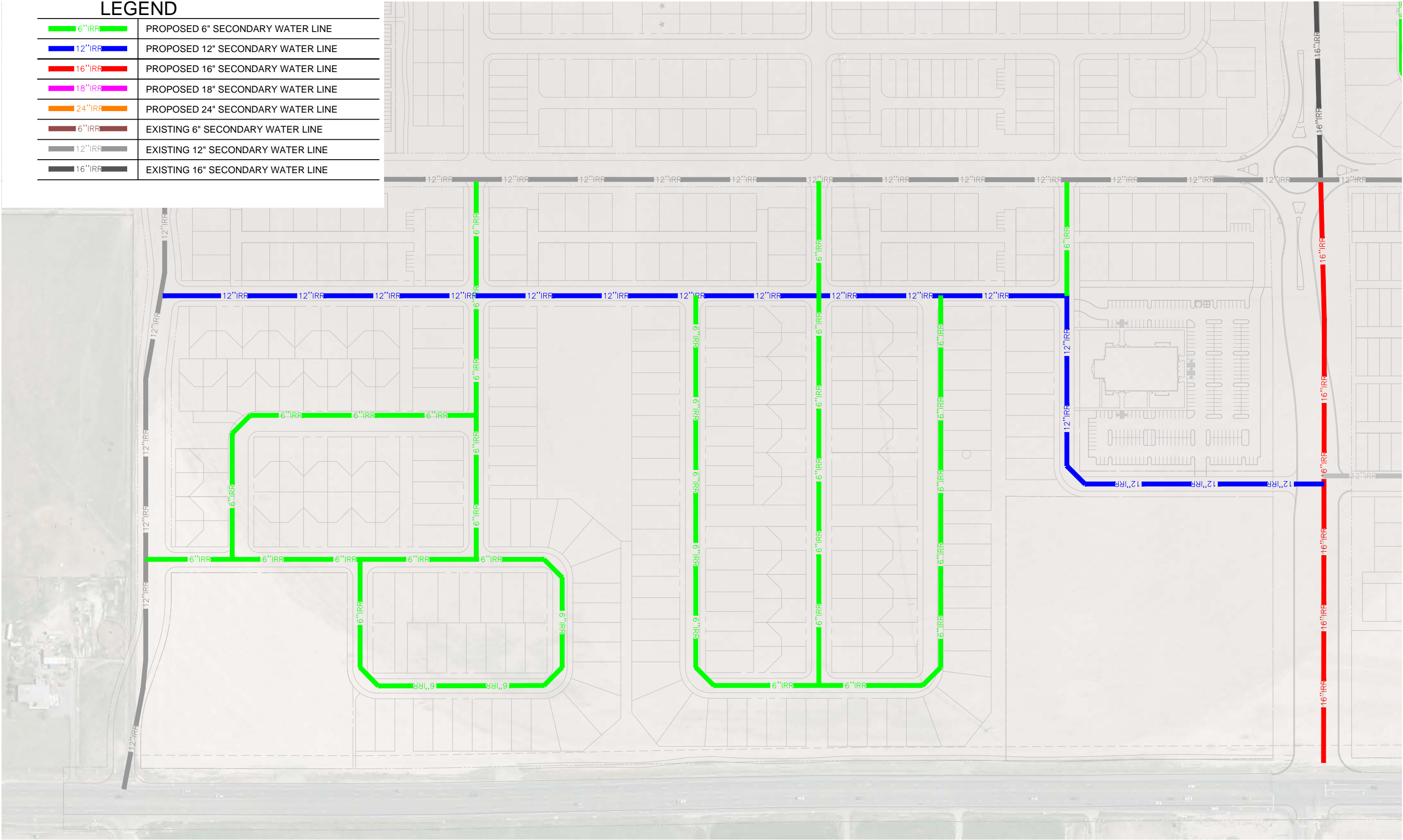
SECTION 10a - CULINARY WATER PLAN



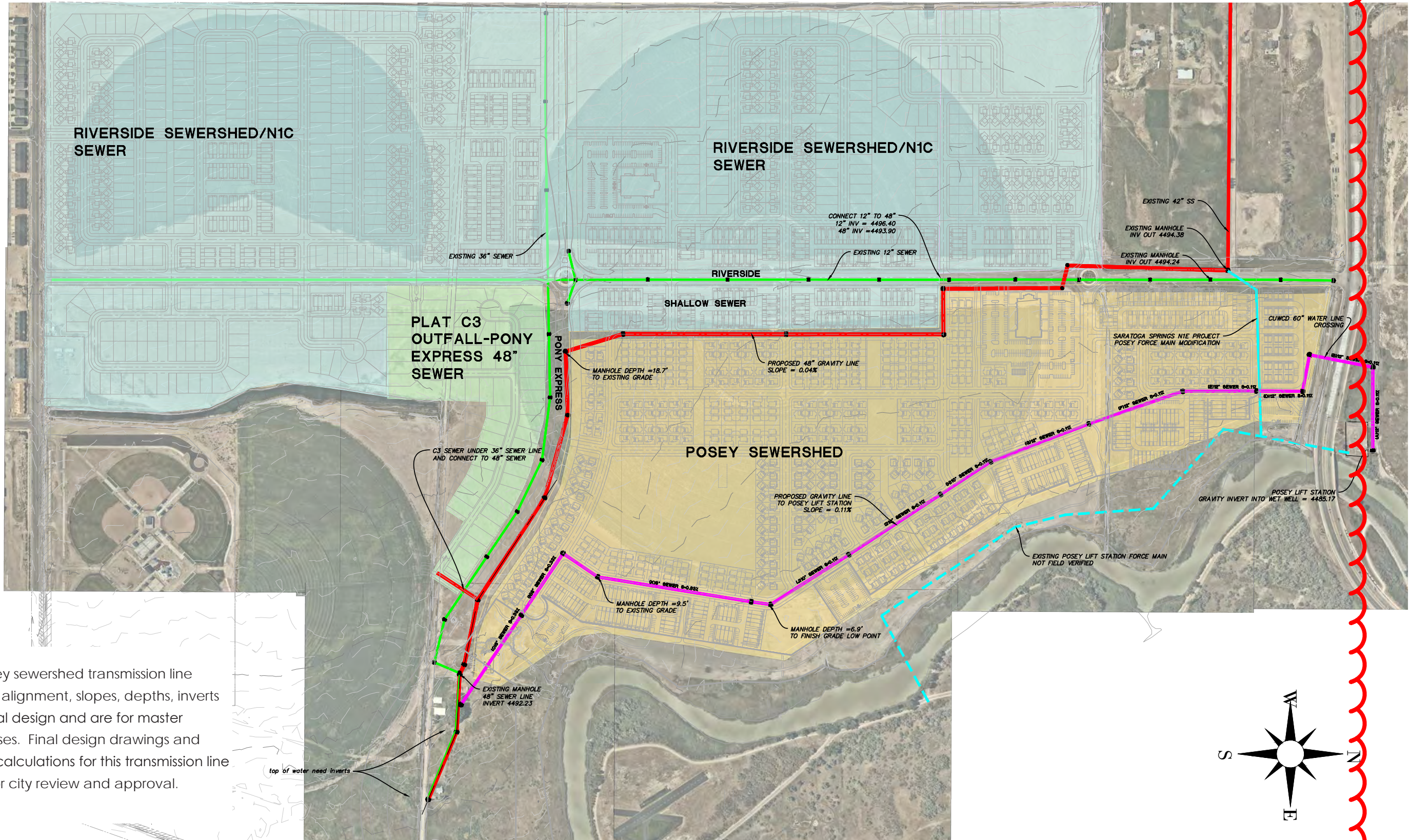
SECTION 10b - SECONDARY WATER PLAN

LEGEND

6" IRR	PROPOSED 6" SECONDARY WATER LINE
12" IRR	PROPOSED 12" SECONDARY WATER LINE
16" IRR	PROPOSED 16" SECONDARY WATER LINE
18" IRR	PROPOSED 18" SECONDARY WATER LINE
24" IRR	PROPOSED 24" SECONDARY WATER LINE
6" IRR	EXISTING 6" SECONDARY WATER LINE
12" IRR	EXISTING 12" SECONDARY WATER LINE
16" IRR	EXISTING 16" SECONDARY WATER LINE

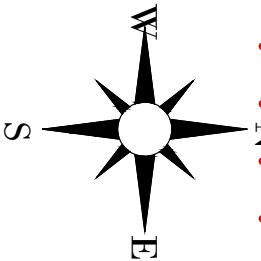


SECTION 10c - SANITARY SEWER PLAN



General Notes

1. The Posey sewershed transmission line (Magenta Line) alignment, slopes, depths, inverts ,etc. are not final design and are for master planning purposes. Final design drawings and optimized flow calculations for this transmission line will be submit for city review and approval.

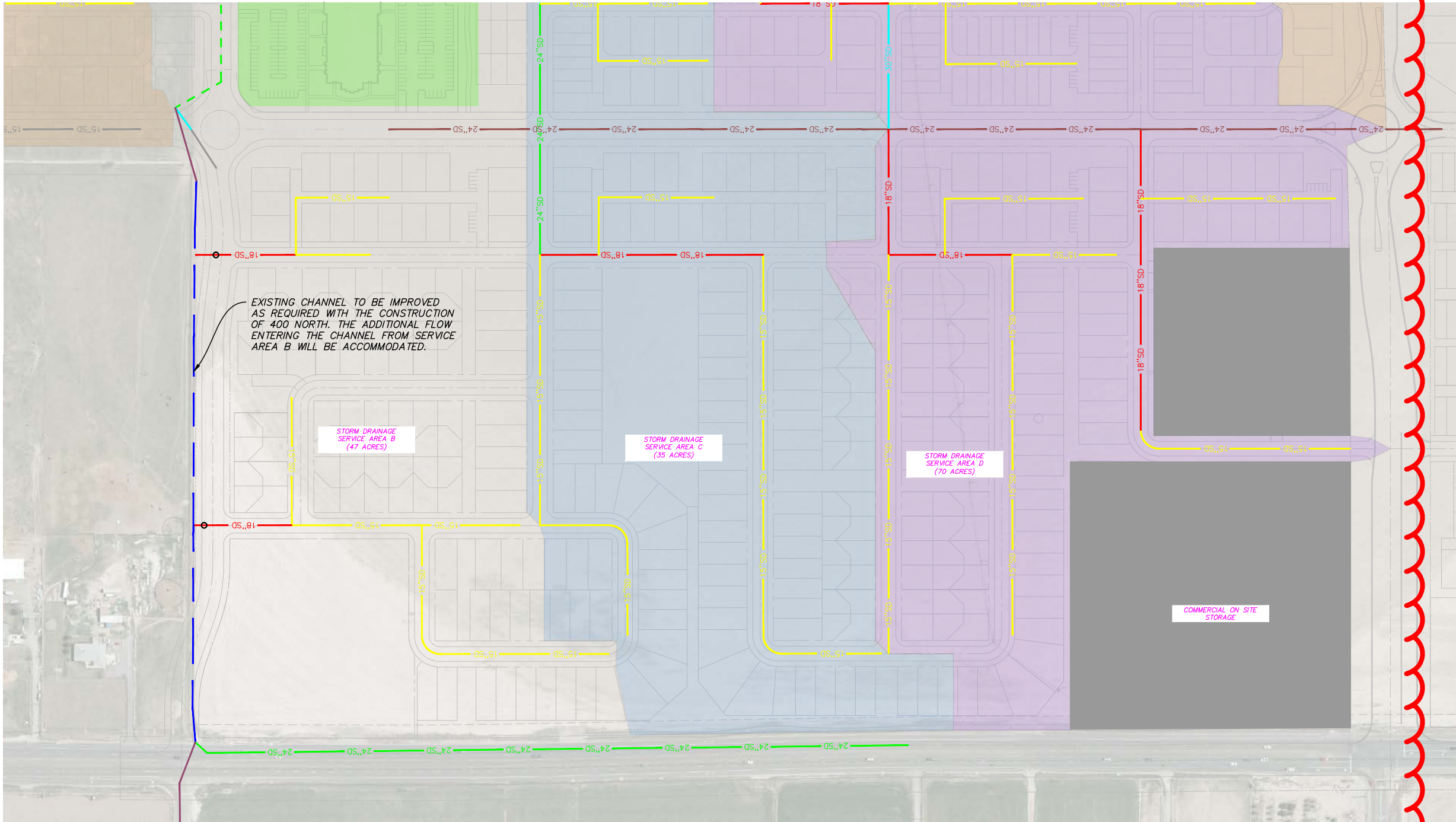


SECTION 10d - STORM WATER DRAINAGE PLAN

LEGEND	
	PROPOSED 15" STORM DRAIN LINE
	PROPOSED 18" STORM DRAIN LINE
	PROPOSED 24" STORM DRAIN LINE
	PROPOSED 30" STORM DRAIN LINE
	PROPOSED 36" STORM DRAIN LINE
	PROPOSED 42" STORM DRAIN LINE
	PROPOSED 54" STORM DRAIN LINE
	PROPOSED 5'X7' BOX CULVERT
	EXISTING 15" STORM DRAIN LINE
	EXISTING 18" STORM DRAIN LINE
	EXISTING 24" STORM DRAIN LINE
	EXISTING 30" STORM DRAIN LINE
	EXISTING 36" STORM DRAIN LINE
	EXISTING 54" STORM DRAIN LINE
	EXISTING OPEN CHANNEL
	PRETREATMENT MANHOLE

GENERAL NOTES

PIPE SIZE IS PER MASTER MODEL AND SUBJECT TO CHANGE WITH FURTHER MODELING

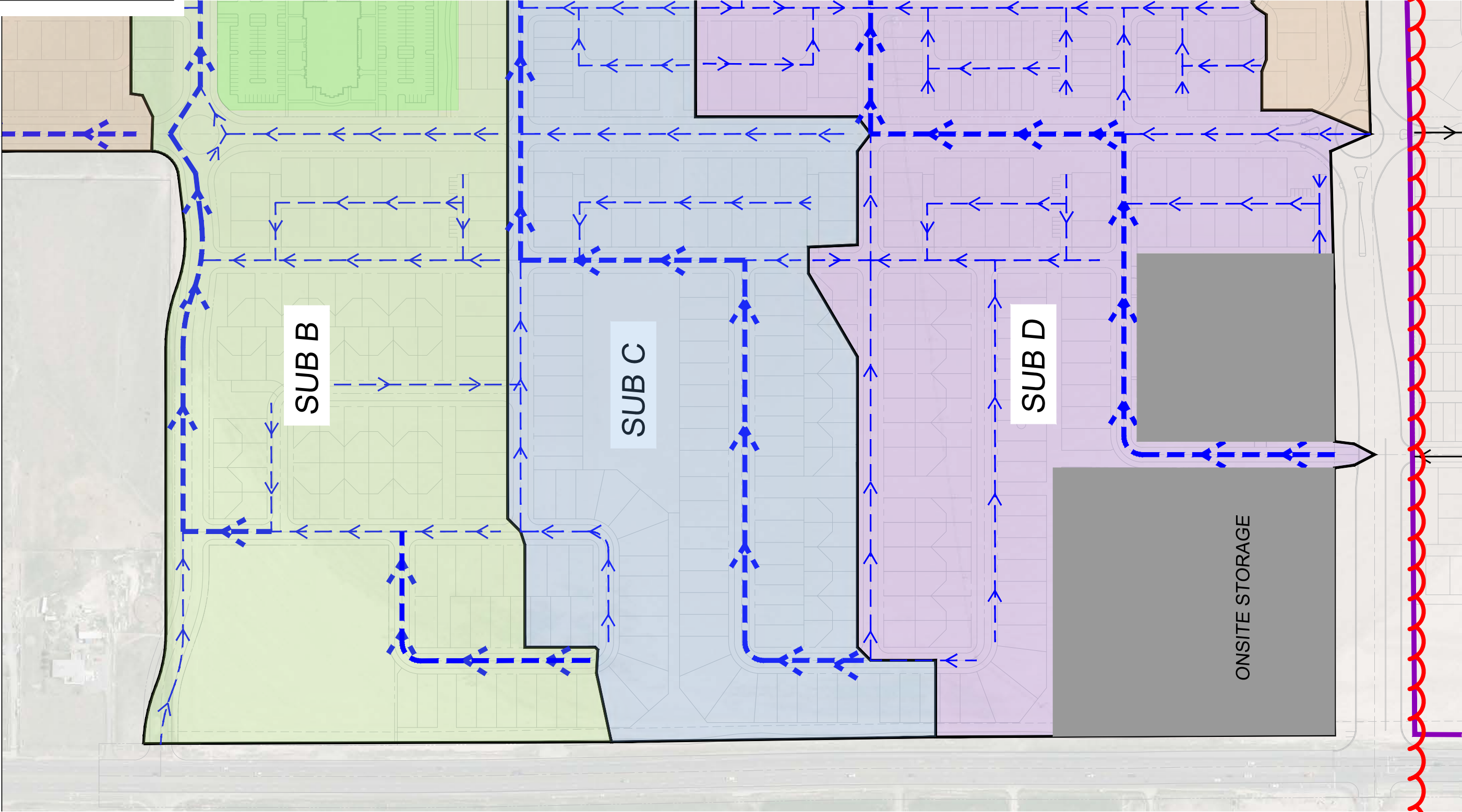


SECTION 10e - STORM DRAINAGE 100 YEAR OVERLAND FLOW ROUTE

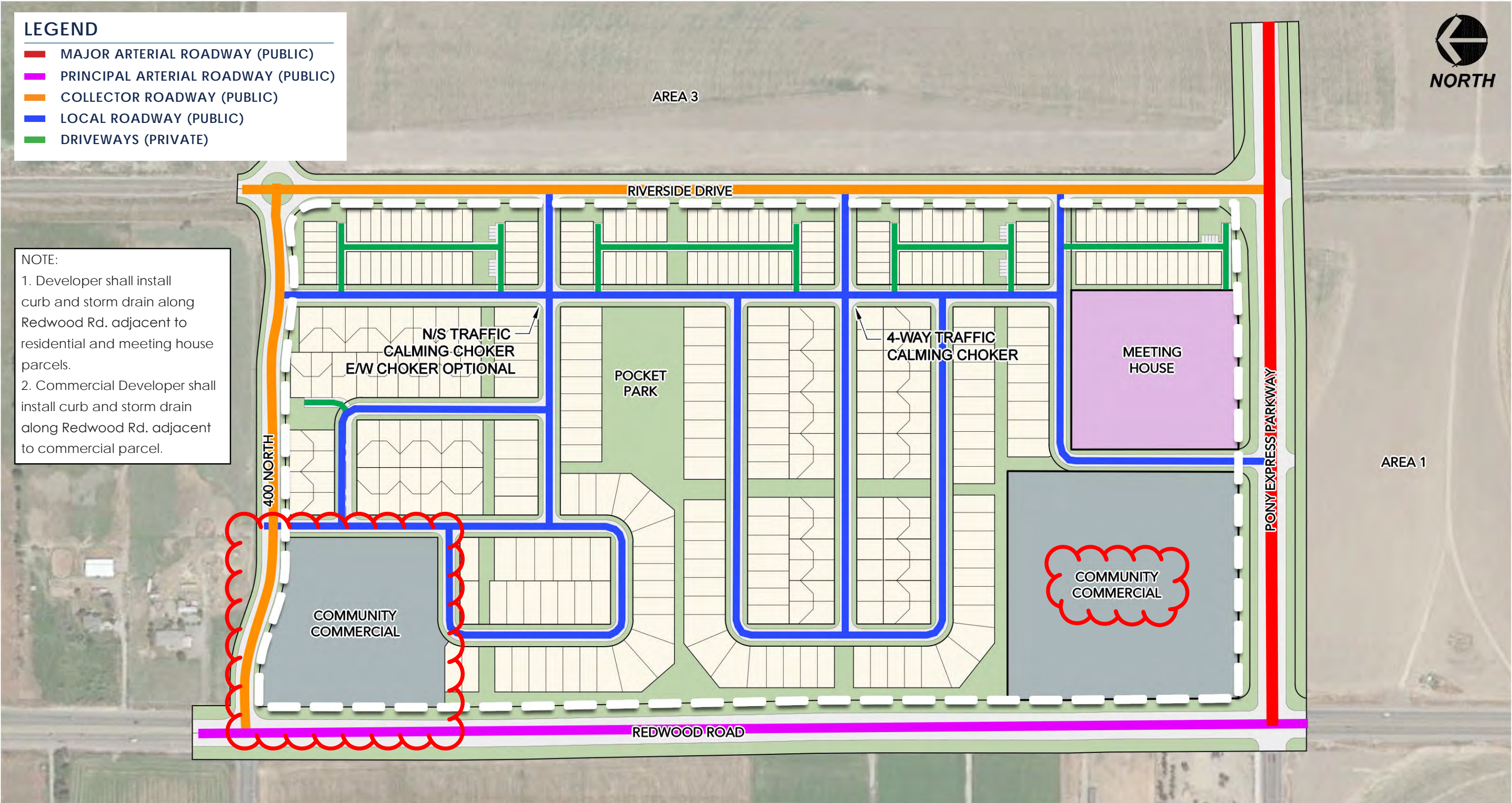
LEGEND



100 YEAR OVERLAND FLOW PATH



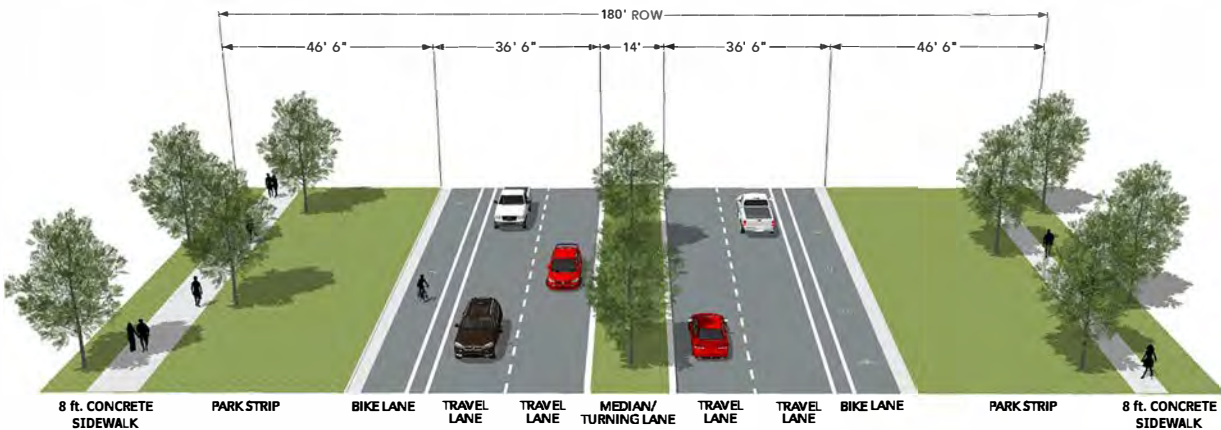
SECTION 11 - VEHICULAR PLAN





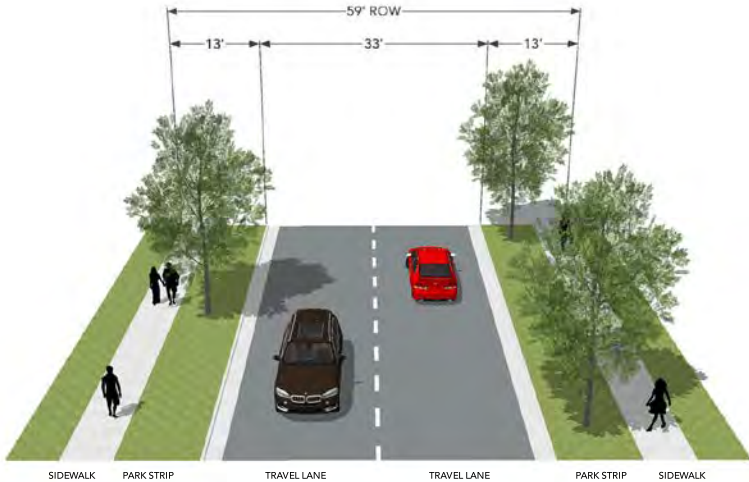
TYPICAL ROADWAY DIAGRAMS

MAJOR ARTERIAL ROADWAY (180' ROW) - PONY EXPRESS PARKWAY TYP.



COLLECTOR ROADWAY (77' ROW) - RIVERSIDE DRIVE / 400 NORTH TYP.

LOCAL ROADWAY (59' ROW)



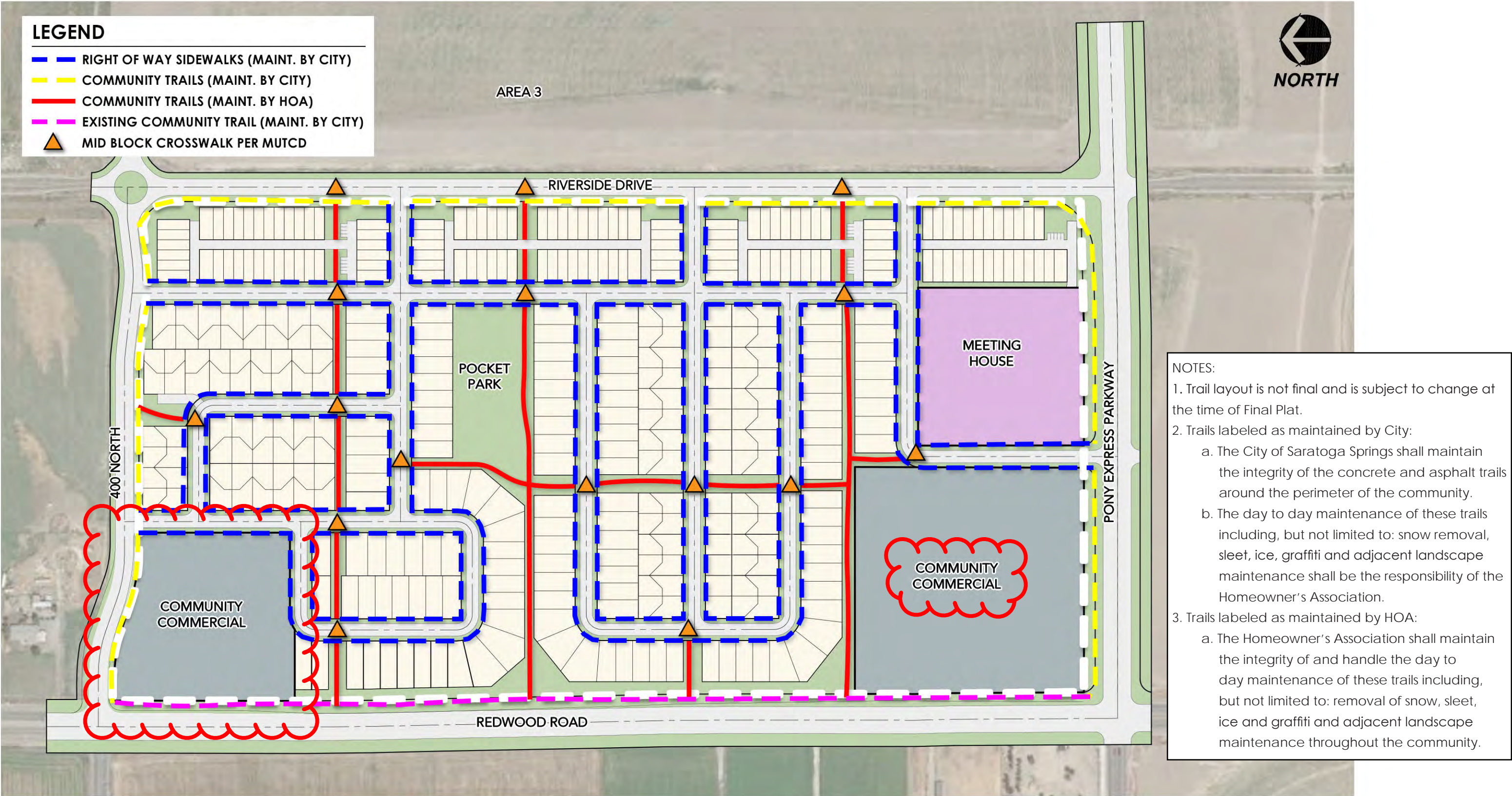


TYPICAL ROADWAY DIAGRAMS

PRIVATE DRIVEWAYS (26' ALLEY)



SECTION 12 - PEDESTRIAN PLAN





TYPICAL TRAIL DIAGRAMS

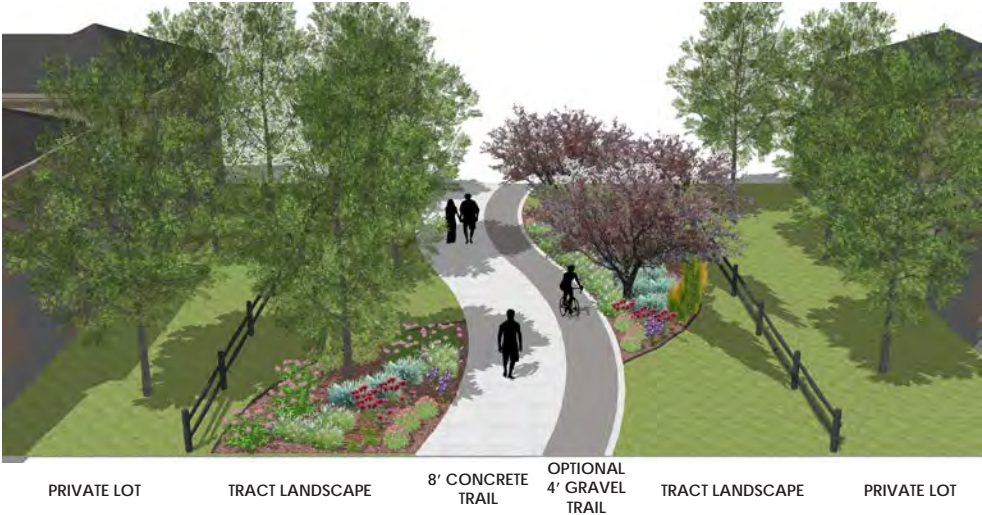
■ ■ TYPICAL RIGHT-OF-WAY SIDEWALKS (LOCAL ROADS)



● ● ● PRIVATE CORRIDORS



■ COMMUNITY TRAILS





TYPICAL TRAIL DIAGRAMS

EXISTING PERIMETER TRAIL - REDWOOD ROAD



RIGHT-OF-WAY TRAILS - EAST 400 NORTH





TYPICAL TRAIL DIAGRAMS

RIGHT-OF-WAY TRAILS - RIVERSIDE DRIVE (WEST SIDE)



PRIVATE LOT

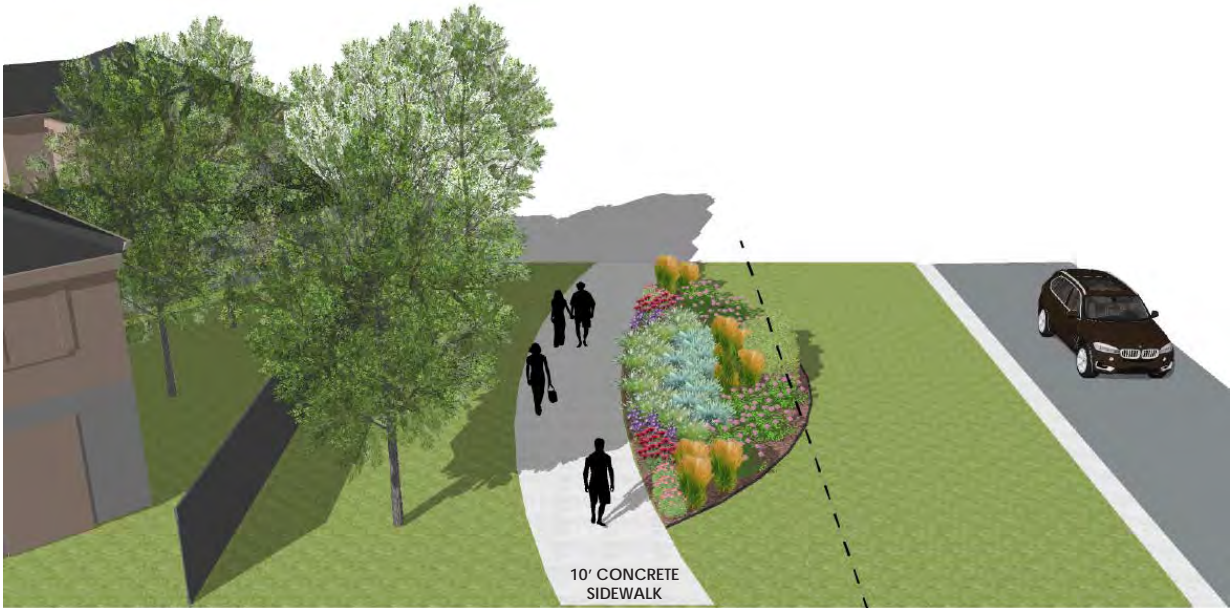
BUFFER STRIP

8' SIDEWALK

PARK STRIP

ROADWAY

RIGHT-OF-WAY TRAILS - PONY EXPRESS PARKWAY



PRIVATE LOT

BUFFER STRIP

10' CONCRETE
SIDEWALK

ROW

PARK STRIP

ROADWAY



SECTION 13 - DENSITY TRANSFERS

The Jordan Promenade Community Plan establishes the number of Equivalent Residential Units and density for Jordan Promenade.

An Equivalent Residential Unit (ERU) is defined by the Saratoga Springs Municipal Code as a unit of measurement to evaluate development impacts on public infrastructure including water, sewer, storm drainage, parks, roads and public safety of proposed residential and commercial land uses. Every residential and commercial unit is a minimum of one ERU.

Since build-out of the Jordan Promenade development will occur over many years, flexibility is necessary to respond to market conditions, site conditions, and other factors. Therefore, residential density ERUs may be transferred within the project, and to areas outside the project within the DAP boundary, as necessary to improve design, accessibility, and marketability.

The City acknowledges that the master developer shall have the ability in its reasonable business judgment to transfer ERUs between residential areas within the project upon written notice to the City and delivery to the City of written consent of the property owners of the neighborhoods which are sending and receiving such densities (if different from the master developer), so long as any such transfer adheres to the following standards:

- The overall intent and character of the Community Plan shall be maintained in the Village Plan and the transfer of ERUs shall not materially alter the nature of each land use, land use designation, or district established in the Community Plan.
- The transfer of ERUs into or out of any land use designation or district established in the Community Plan shall not exceed 15% without approval of the City Council. In no case shall the transfer of ERUs into or out of any land use designation or district exceed 20% of that established in the Community Plan.
- ERUs may not be transferred into any open space, park, or school unless said use is replaced elsewhere within the same neighborhood.



SECTION 14 - ADDITIONAL DETAILED PLANS

The following exhibits have been included to detail plans and direction contained in the Community Plan for Village Plan Area 2:

- Section 14a: Overall Monument Concept Plan
- Section 14b: Open Space Management
- Section 14c: Pocket Park Conceptual Plan
- Section 14d: Geological Hazards & Soils
- Section 14e: Fire Protection Plan

See attached Appendices for additional detailed plans.



MONUMENT DESIGN OVERVIEW

Jordan Promenade establishes a theme for project monuments and signage that embodies the rustic and natural appeal of the Jordan River and the Utah Lake area. Community signage is located strategically throughout the community to identify main project entry areas as well as individual neighborhoods. Following are descriptions of each proposed sign type accompanied by conceptual sign elevations and plans that are subject to change and refinement during the Village Plan process. Proposed community signage will have separate permits approved at the time of installation.

The proposed community signage shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07. All monument signage logos and lettering will be internally lit.

MONUMENT MATERIALS PALETTE

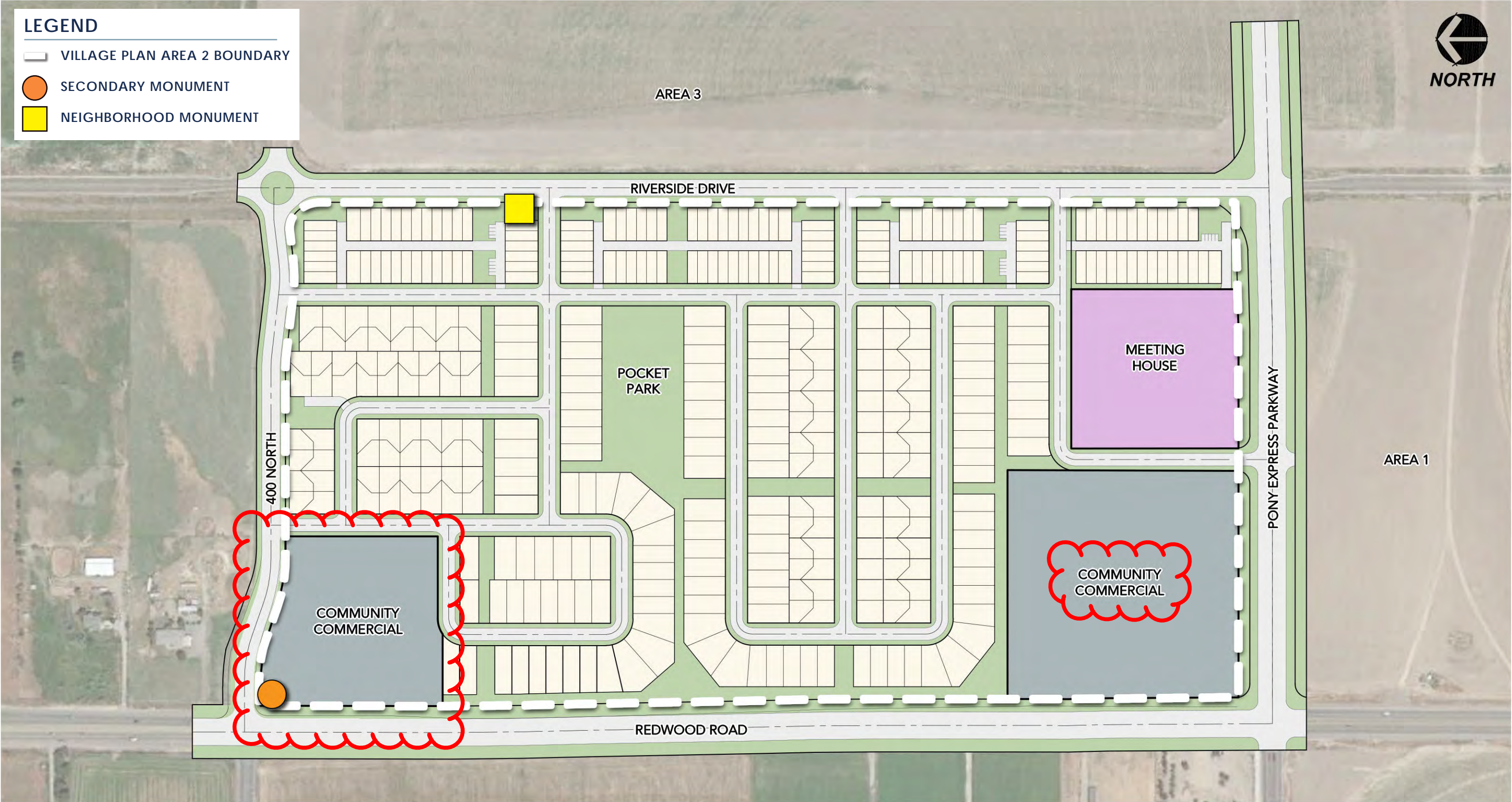
LEDGESTONE & SLATE



LETTERING & LIGHTING



SECTION 14a - OVERALL MONUMENT CONCEPT PLAN



NOTE: Monument signs in Area 2 shall adhere to the monument design standards established in the approved Jordan Promenade Community Plan. Monument signs to be designed during the Sign Permit application process.



SECONDARY MONUMENT

This sign type is located at secondary entry points along bordering arterial and collector roadways and will serve as gateway features to the community. The signage features consist of lower column features, up to 15' in height, accompanied by low monument walls and community signage.



Option A



Option B

NOTES:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. This monument location represents 1 monument on the corner of Redwood Road and East 400 North,
3. Monument locations adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).



NEIGHBORHOOD MONUMENT

- **Neighborhood Entryway Monument:** This sign type is located at neighborhood entry points along bordering collector and arterial roadways and serve as identification features to the individual neighborhoods in the community. The signage features consist of lower column features, up to 10' in height, accompanied by low monument walls and neighborhood signage.



Option A



Option B

NOTES:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. These monument locations represent 1 monument in Village 2 on Riverside Drive.
3. Monument locations adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).



SECTION 14b - OPEN SPACE MANAGEMENT

Jordan Promenade meets the City's requirements for a range of 18-24% improved and native, public and private open space within the Planned Community District area under the Traditional Neighborhood place type as described in Saratoga Springs District Area Plan.

The percentage of open space provided within Village Plan Area 2 is 13.0%. While this is below the target range, when taken in combination with Area 1, this is within the percentage dictated by the Community Plan. Refer to the Detailed Buildout Allocation Plan in Section 3, for a complete breakdown of developed and open space acreages and percentages within Village Plan Area 2.

The following information details the allocation of open-space acreages within Village Plan Area 2:

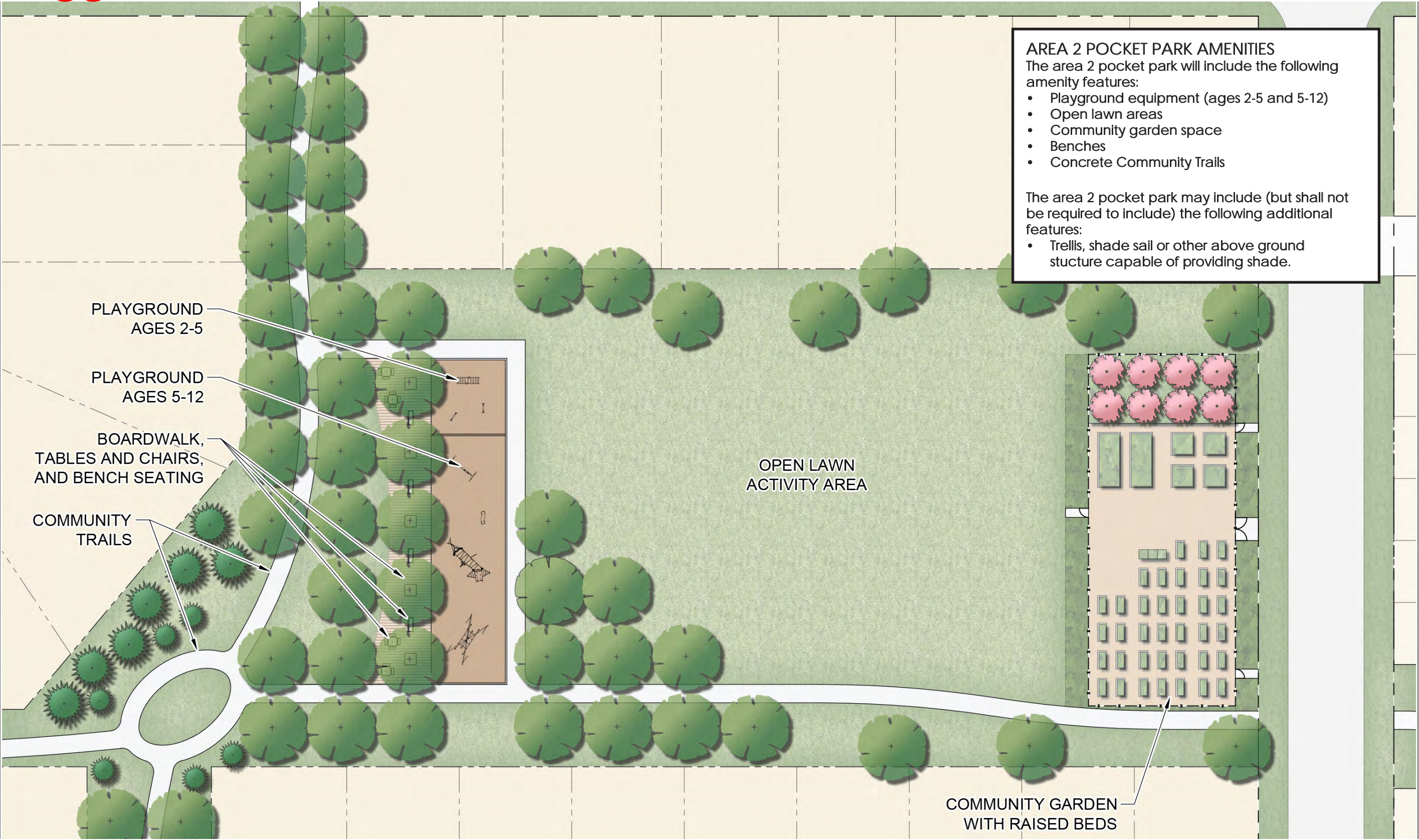
VILLAGE	OPEN SPACE ACRES	TOTAL VILLAGE ACRES	% OPEN SPACE
AREA 1	31.9	135.4	23.6%
AREA 2	10.0	76.9	13.0%
AREA 3	39.1	161.0	24.3%
TOTALS	81.0	373.3	21.9%

The following pages within this section illustrate the proposed open space areas and amenities within the Area 2 Village Plan.

*NOTE: Design for Area 3 has not been completed. The open space shown is for conceptual purposes only. Open Space areas for Village 3 may change in the future. Revisions to this Village Plan for Area 2 will not be required if the Area 3 Open Space amount changes.

SECTION 14c

POCKET PARK CONCEPTUAL PLAN



NOTE: This plan is conceptual; final design will be finalized during the Site Plan application process. Revisions to the final design of this Park shall not require an amendment to this Village Plan.



SECTION 14d GEOLOGICAL HAZARDS & SOILS

GEOLOGICAL HAZARDS

According to Utah County Hazard Mapping as published by Utah County Public Works Department, the following hazards have been identified within the Village 2 boundary through coordination with Utah County, USGS, MAG and other agencies:

- No faults are shown in the project site.
- No fault ruptures are shown in the project site.
- The project site has a high potential for liquefaction.
- Flood hazards have been identified in the project site.
- No landslide hazards have been identified in the project site.
- No rock fall hazards have been identified in the project site.
- No debris flows have been identified in the project site.
- No wild fire hazards have been identified in the project site.
- No dam failure risks have been identified in the project site.
- No avalanche hazards have been identified in the project site.

SOILS

A geotechnical investigation was conducted for Area 3 of the Jordan Promenade Development by Western Technologies, Inc., dated June 11, 2020. The following soil conditions were described in the report:

- **Surface:** "At the time of our exploration, the site was in use as pasture and cultivate crops. The ground surface was flat and contained a moderate to heavy growth of grass, weeds or crops. Site drainage trended to the east as sheet surface flow. Other site features included the Jordan River on the east side of the site, Riverside Drive on the west side of the site Pony Express Parkway to the north and the Pony Express Parkway right of way to the south."
- **Subsurface:** "As presented on the boring logs, surface soils to depths 4 to 13 feet consist of one foot clayey sand and sandy clay organic topsoil over silt, elastic silt, silty sand, and clay. Near surface soils are of moderate to high plasticity. The materials underlying the surface soils and extending to the full depth of exploration consisted of layers of silty sand, clay, clayey gravel, and highly plastic clay and silt."
- **Groundwater:** "Groundwater was encountered at a depth of 2 to 16 feet at the time of exploration. These observations represent the groundwater conditions at the time of measurements and may not be indicative of other times. Groundwater levels can be expected to fluctuate with varying seasonal and weather conditions, groundwater withdrawal and recharge, local irrigation practices, and future development."

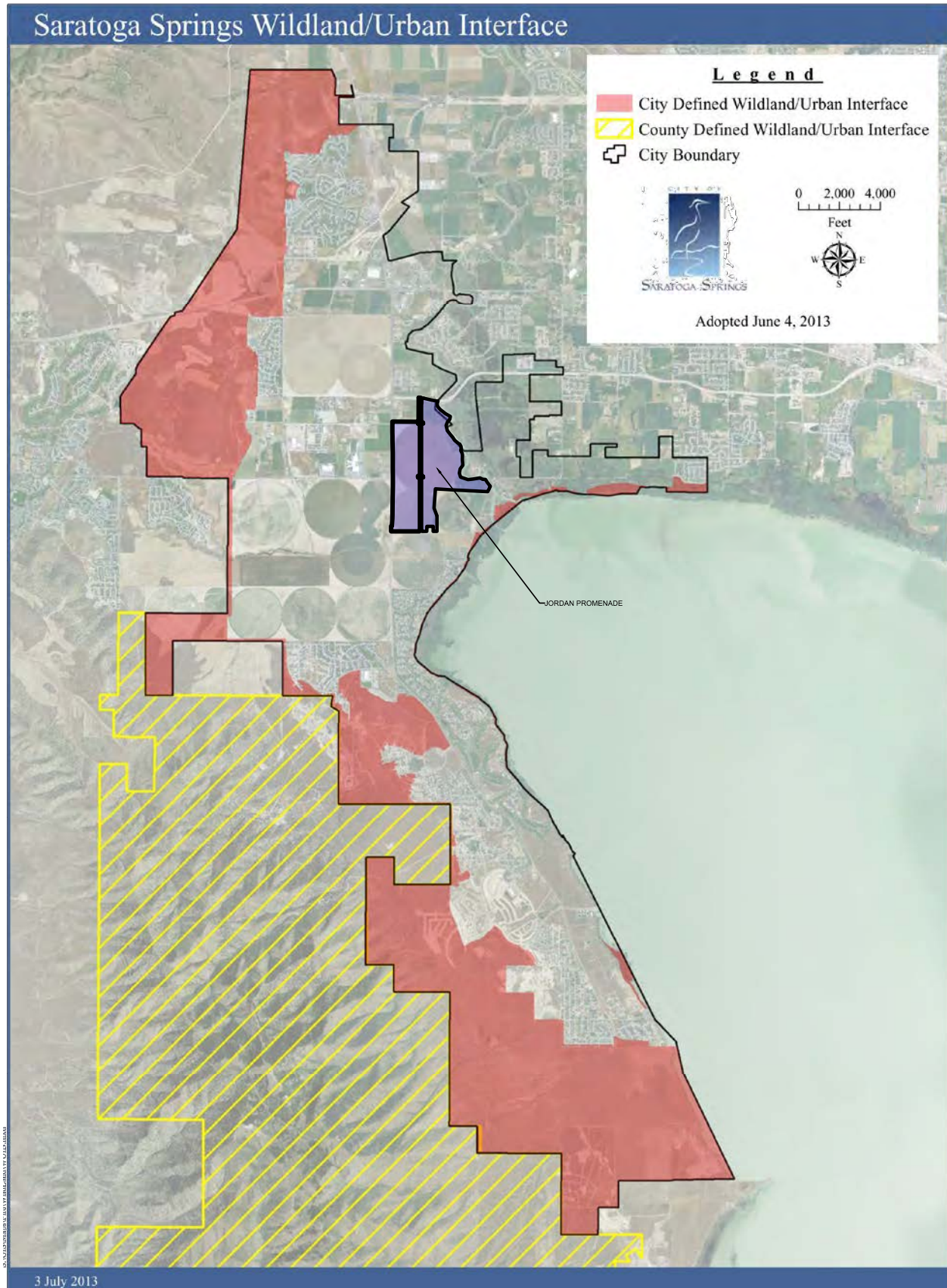


- **Geology:** "The Site located in the Utah Valley near the Jordan River and is part of the Basin and Range Province on lacustrine and alluvial deposits, young alluvial deposits, and lacustrine silt and clay. The soils consist of moderate to well-sorted, fine-grained sand, silt, and clay and local pebble gravel adjacent to the Jordan River with calcareous silt with minor clay and finegrained sand away from the river (Geologic Map of the Saratoga Springs 7.5' Quadrangle, Utah County, Utah, Utah Geologic Survey, 2004). The nearest mapped fault is just east of or below the Jordan River on the east side of the Site. The Liquefaction potential is mapped as "high" according to the *Selected Critical Facilities and Geologic Hazards, Utah County, Utah, Map, UGS.*"

FLOOD ZONE DATA

No portion of Area 2 within the Jordan Promenade Development lies within a FEMA Flood Zone.

SECTION 14e FIRE PROTECTION PLAN





SECTION 15 - SITE CHARACTERISTICS

General site characteristics for Jordan Promenade were provided in the Community Plan within the Cultural Resources Inventory:

“The project area falls within Sections 23, 24, 25, and 26, in Township 5 South, Range 1 West, in Saratoga Springs in Utah County, Utah. Saratoga Springs is located just to the west of the city of Lehi and abuts Utah Lake to the south and southeast. The 436.76-acre project area is primarily agricultural fields, with some urban development in the northwest corner. Currently, a large portion of the project area is being used to cultivate crops. The western boundary of the survey area is Redwood Road, and the eastern boundary consists of both the Jordan River and Saratoga Road. Riverside Drive extends north-south through the western one-third of the survey area, dividing the project area in half. The predominant vegetation is approximately equal parts corn and wheat crops, with tall grasses and marshland vegetation found in the outlying edges of the project area. Soils are loosely compacted alluvial sandy loams that have been repeatedly disturbed through agricultural tilling.”

Additional site characteristics for Jordan Promenade were provided in the Community Plan within the Environmental Site Assessment:

“The Property consisted of an approximately 450 acres primarily vacant land that has been used for wheat, corn, and alfalfa hay crops. Sheds and fuel tanks used for the Lehi Utah Saratoga Crops Welfare Farm were located on the southeast corner of the Property and two residential houses were also located on the Property. The Jordan River runs along the east side of the Property and a Rocky Mountain Power Substation is located to the south near Riverside Road that runs from north to south between Redwood Road and Saratoga Springs Road. Parked construction and farming equipment was on the southeast corner and scattered piles of soil, vegetation and concrete debris were on the Property. It appears that one of the residential houses had been torn down and the concrete foundation remained. Water tanks and pumps used for irrigation were on the Property in several locations. Residential housing was under construction to the south of the Property across 400 South. Vacant, undeveloped land was also east of the Property and west was Redwood Road, residential housing, barns and vacant undeveloped land. To the north was the Pioneer Crossing Road, residential housing and vacant land.”



SECTION 16 - FINDINGS STATEMENTS

Village Plan Area 2 is a 77-acre area within the 367-acre Jordan Promenade Community located in Saratoga Springs, Utah. The Jordan Promenade Village Plan Area 2 is compliant with all Planned Community Zone Requirements for Village Plans as defined in Section 19.26.09 of the Saratoga Springs Municipal Code. We find that Village Plan Area 2:

- a. is consistent with the adopted Community Plan;
 - Village Plan Area 2 adheres to the development standards, thoroughfare types, and open space types and requirements established in the Jordan Promenade Community Plan.
- b. for an individual phase, does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Community Plan;
 - Village Plan Area 2 adheres to the general phasing established in the Community Plan and does not exceed the number of ERUs assigned by phase.
- c. is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
 - Village Plan Area 2 implements the utility, infrastructure, and circulation plans as specified in the Jordan Promenade Community Plan.
- d. properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;
 - Jordan Promenade has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the community. Jordan Promenade was designed to maximize pedestrian, bike, and other mobility options. Open space is highly integrated to provide direct and easy access to residents, with various community amenities located nearby or within open space areas.
- e. contains the required elements as dictated in Section 19.26.10 of the Saratoga Springs Municipal Code.



APPENDICES

JORDAN PROMENADE

AREA 2 VILLAGE PLAN



APPENDICES

Appendix A - Geotechnical Evaluation Report Village 2 (Western Technologies, Inc., 2021)

Appendix B - Phase I Environmental Site Assessment (Western Technologies, Inc., June 2017)

Appendix C - Cultural Resources Inventory (SWCA Environmental Consultants, May 2018)

Appendix D - Traffic Impact Study (Hales Engineering, October 2020)



APPENDIX A

GEOTECHNICAL EVALUATION REPORT - VILLAGE 2



APPENDIX B

PHASE 1 ENVIRONMENTAL SITE ASSESSMENT



APPENDIX C

CULTURAL RESOURCES INVENTORY



APPENDIX D

TRAFFIC IMPACT STUDY



SARATOGA
SPRINGS

AREA 3 VILLAGE PLAN AMENDMENT 2



JORDAN
PROMENADE



OAKWOOD

HOUSES

May 21, 2025
UPDATED



JORDAN PROMENADE

AT SARATOGA SPRINGS

AREA 3 VILLAGE PLAN
AMENDMENT 2

Prepared by:





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VILLAGE AREA BOUNDARY MAP



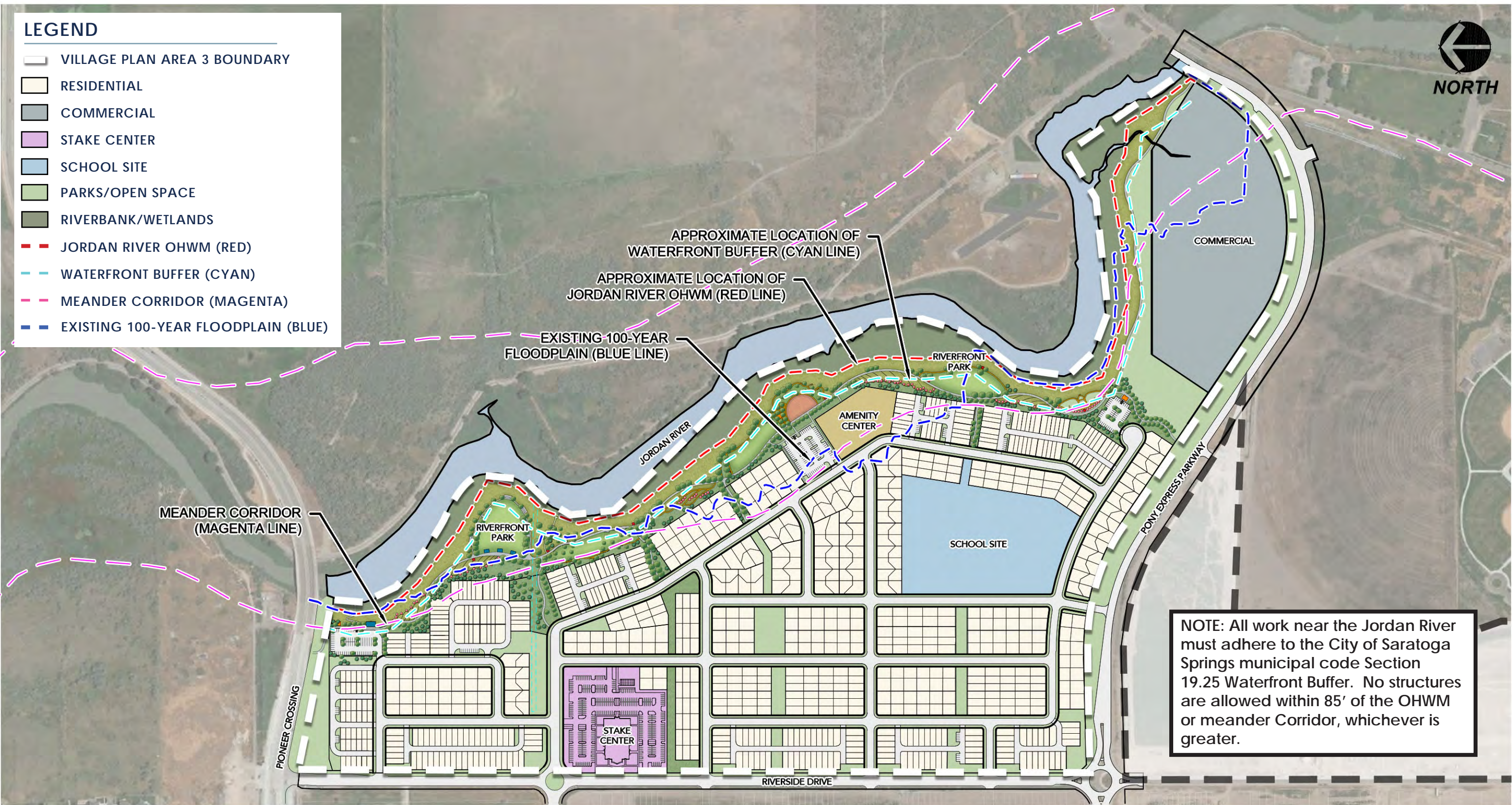


SECTION 1 - LEGAL DESCRIPTION

The parcel metes and bounds legal description is as follows:

COM N 2523.63 FT & W 1158.61 FT FR E 1/4 COR. SEC. 26, T5S, R1W, SLB&M.; N 37 FT; ALONG A CURVE TO R (CHORD BEARS: N 53 DEG 3' 0" E 6.89 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 53 DEG 2' 57" E 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 68 DEG 44' 39" E 65.62 FT, RADIUS = 90.5 FT); E 17.09 FT; N 2 DEG 58' 20" W 70.3 FT; S 86 DEG 11' 25" W 3.55 FT; ALONG A CURVE TO R (CHORD BEARS: S 79 DEG 21' 32" W 15.33 FT, RADIUS = 64.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 69 DEG 25' 36" W 43.75 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 36 DEG 57' 3" W 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 21 DEG 37' 43" W 64.52 FT, RADIUS = 90.5 FT); N 2410.12 FT; ALONG A CURVE TO R (CHORD BEARS: N 53 DEG 3' 0" E 6.89 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 53 DEG 2' 57" E 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 68 DEG 44' 40" E 65.62 FT, RADIUS = 90.5 FT); E 17.09 FT; N 2 DEG 58' 20" W 70.3 FT; S 86 DEG 10' 59" W 3.55 FT; ALONG A CURVE TO R (CHORD BEARS: S 79 DEG 21' 38" W 15.33 FT, RADIUS = 64.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 69 DEG 25' 38" W 43.75 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 36 DEG 57' 0" W 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 21 DEG 37' 43" W 64.52 FT, RADIUS = 90.5 FT); N 751.29 FT; N 6 DEG 32' 2" E 100.65 FT; N 147.62 FT; ALONG A CURVE TO R (CHORD BEARS: N 1 DEG 35' 44" E 65.9 FT, RADIUS = 1008.26 FT); N 52 DEG 6' 31" E 44.07 FT; ALONG A CURVE TO R (CHORD BEARS: S 79 DEG 37' 12" E 61.21 FT, RADIUS = 1394.03 FT); S 77 DEG 12' 47" E 545.01 FT; ALONG A CURVE TO L (CHORD BEARS: S 82 DEG 5' 57" E 151.05 FT, RADIUS = 1143.68 FT); S 16 DEG 36' 59" W 113.17 FT; S 6 DEG 16' 31" E 143.75 FT; S 40 DEG 15' 3" E 199.57 FT; S 52 DEG 15' 0" E 326.5 FT; S 60 DEG 15' 43" E 271.16 FT; S 13 DEG 20' 52" W 150.65 FT; S 42 DEG 43' 56" W 159.53 FT; S 20 DEG 23' 15" W 180.74 FT; S 12 DEG 40' 30" E 257.32 FT; S 38 DEG 30' 26" E 446.67 FT; S 32 DEG 44' 40" E 135.96 FT; S 50 DEG 30' 29" E 240.72 FT; S 64 DEG 50' 34" E 70.79 FT; S 28 DEG 30' 43" E 128.54 FT; S 3 DEG 51' 59" E 124.82 FT; S 17 DEG 6' 35" W 75.45 FT; S 26 DEG 49' 30" E 144.48 FT; S 11 DEG 14' 52" E 99 FT; S 1 DEG 25' 50" W 228.24 FT; S 5 DEG 51' 50" E 265.23 FT; S 36 DEG 31' 3" W 221.75 FT; S 11 DEG 52' 35" W 207.96 FT; S 17 DEG 28' 58" E 200.11 FT; S 71 DEG 9' 38" E 381.7 FT; N 83 DEG 49' 20" E 241.9 FT; N 80 DEG 53' 56" E 338.24 FT; S 63 DEG 16' 27" E 141.94 FT; S 86 DEG 19' 21" E 148.71 FT; S 31 DEG 7' 21" E 155.89 FT; S 37 DEG 31' 9" E 248.04 FT; S 26 DEG 8' 49" W 296.68 FT; S 13 DEG 4' 11" W 32.62 FT; N 86 DEG 30' 0" W 1734.33 FT; ALONG A CURVE TO R (CHORD BEARS: N 33 DEG 7' 39" E 3.57 FT, RADIUS = 120.5 FT); N 33 DEG 58' 38" E 22.04 FT; S 86 DEG 40' 1" E 182.15 FT; S 86 DEG 58' 39" E 63.19 FT; ALONG A CURVE TO R (CHORD BEARS: N 63 DEG 18' 57" W 172.47 FT, RADIUS = 680 FT); N 56 DEG 1' 47" W 542.96 FT; ALONG A CURVE TO L (CHORD BEARS: N 73 DEG 44' 34" W 578.07 FT, RADIUS = 950 FT); S 88 DEG 32' 39" W 559.47 FT TO BEG. AREA 160.955 AC.

SECTION 2 - DETAILED USE MAP





SECTION 3 - DETAILED BUILDOUT ALLOCATION

The following information details the allocation of all acreages within Village Plan Area 3:

DEVELOPMENT TYPE	ACRES	% OF TOTAL AC	UNITS	DENSITY
SINGLE FAMILY DETACHED	0.0	0.0%	0	N/A
TOWNHOMES/PAIRED HOMES	17.6	10.9%	342	19.5 DU/AC
CLUSTER HOMES	39.4	24.5%	500	12.7 DU/AC
AMENITY	1.8	1.1%	-	-
COMMERCIAL	16.0	9.9%	-	-
MEETING HOUSE	5.4	3.4%	-	-
SCHOOL SITE	9.2	5.7%	-	-
PARKS/OPEN SPACE	39.1	24.3%	-	-
RIGHTS-OF-WAY	32.5	20.2%	-	-
TOTALS	161.0 ¹	100%	842	5.2 DU/AC

¹Approximate total; final acreage to be determined during Plat application process.



SECTION 4 - DEVELOPMENT STANDARDS

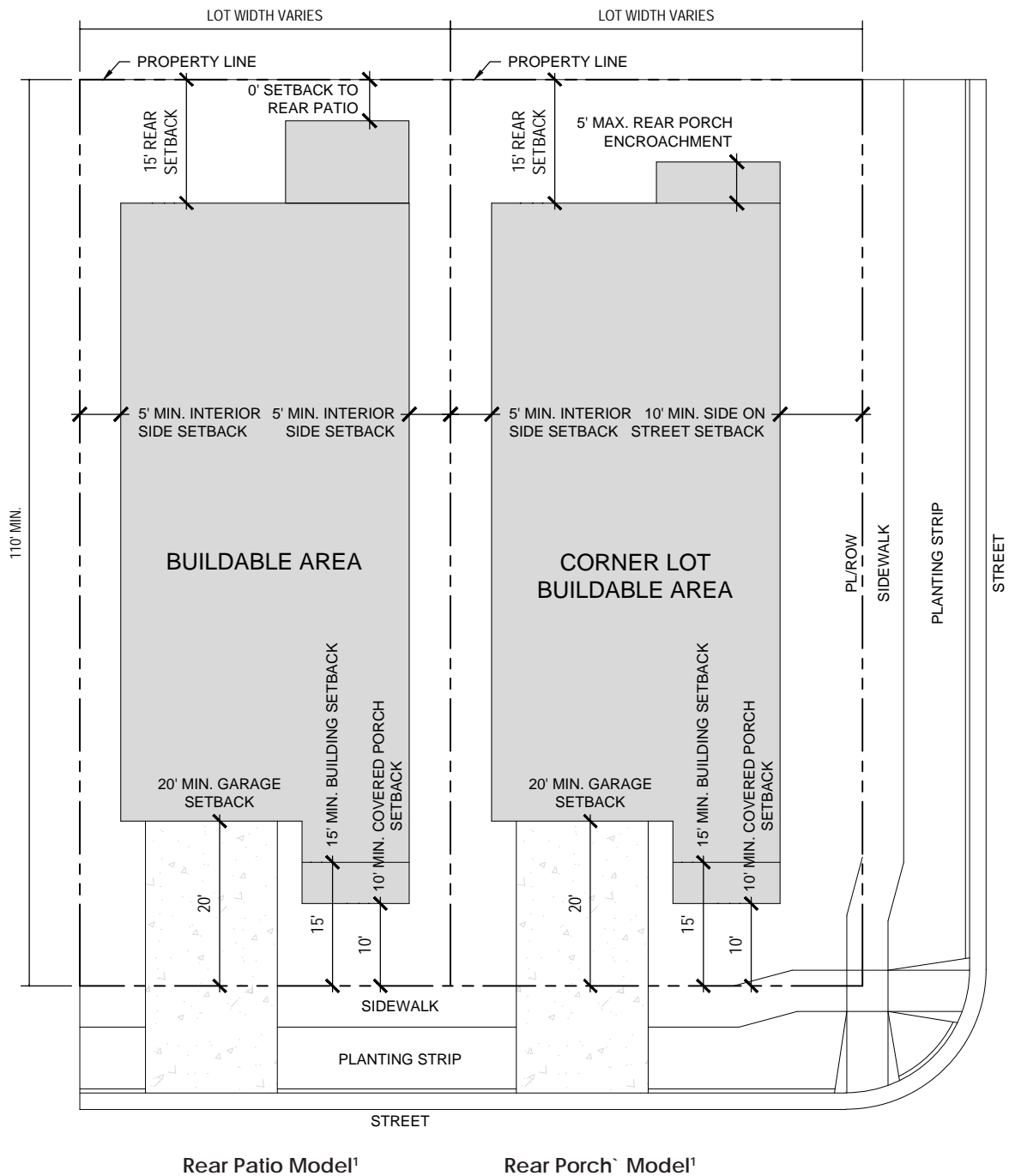
SECTION 4a - SINGLE FAMILY DETACHED

Single family detached dwellings are arranged on a single residential lot and are not attached to any other dwellings. One driveway per single family detached lot provides direct access to the street.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1 + outbuilding
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Height - Outbuilding	Per Saratoga Springs Municipal Code
Lot Coverage	50% maximum
Lot Frontage	35' minimum measured at front setback
Lot Size	Min. 4,000 sq. ft.
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	15' minimum
Front to Covered Porch	10' minimum
Front to Garage	20' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Rear Yard	15' minimum
Rear Yard to Rear Porch	10' minimum (5' maximum encroachment to rear setback)
Rear Yard to Rear Patio	0' when patio is at grade
SETBACKS - ACCESSORY STRUCTURES REQUIRING A BUILDING PERMIT*	
Front Yard	15' minimum
Rear Yard	5' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
OTHER STANDARDS	
Parking	2 off-street spaces per unit (per Saratoga Springs Municipal Code) ¹
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.

*Accessory Structures shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.05.

SECTION 4a - SINGLE FAMILY RESIDENTIAL LOT TYPICAL



NOTE: PLAN NOT TO SCALE

¹Any typical Single Family Residential Lot may contain either a Porch or Patio model.



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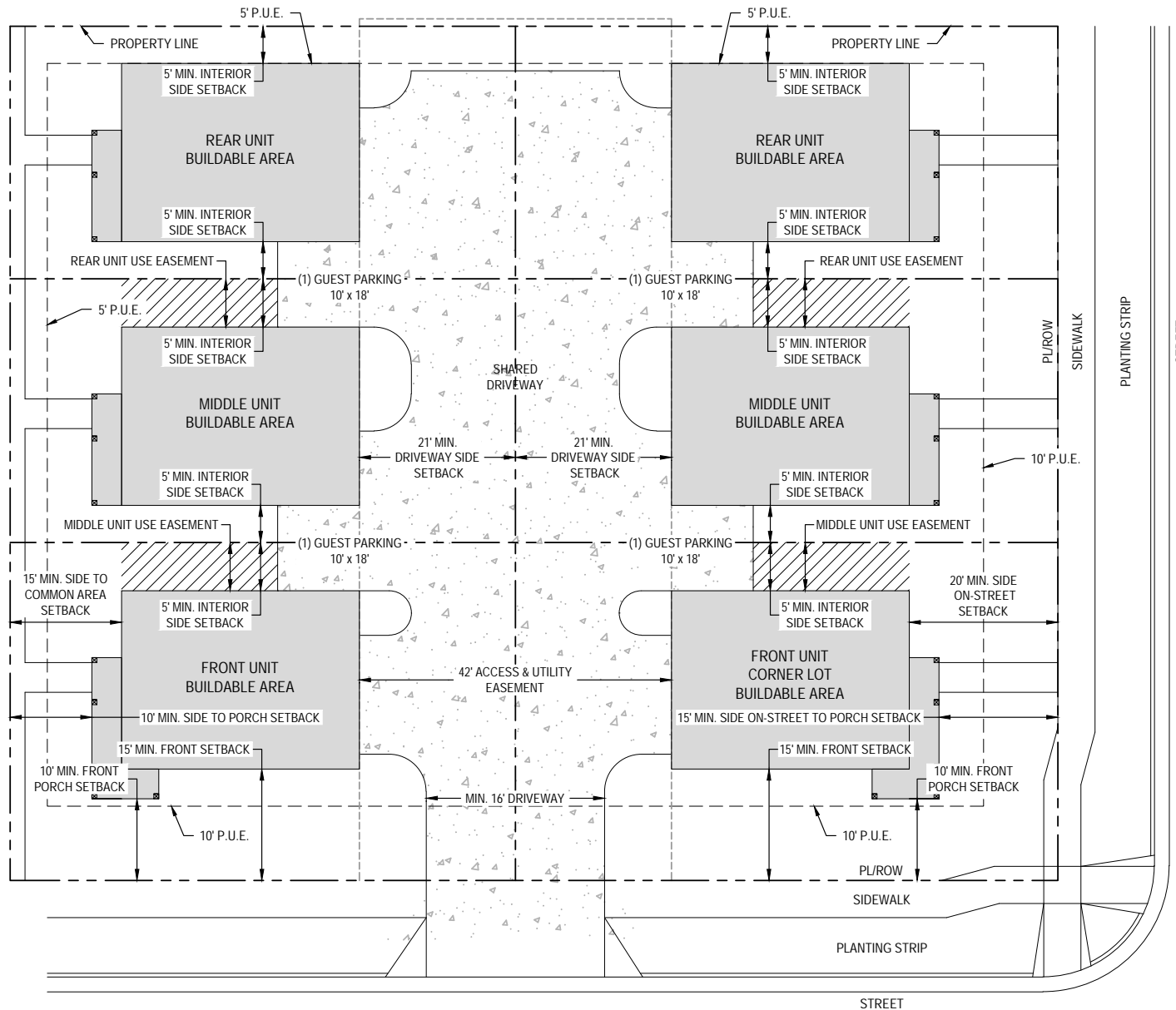
SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4b - SINGLE FAMILY CLUSTER HOMES - AMERICAN DREAM

The American Dream product consists of 2 to 6 single family detached homes arranged on a shared access drive. Each dwelling occupies a single residential lot that is accessed via a shared drive.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	60% maximum
Lot Size	Varies
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	10' minimum
Front to Covered Porch	5' minimum
Side to Common Area	15' minimum
Side to Covered Porch	10' minimum
Interior Side Yard	5' minimum
Side On-Street	20' minimum
Driveway Side	21' minimum
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	5' easement benefit/use of adjacent lot for maintenance purposes.

SECTION 4b - CLUSTER HOMES - AMERICAN DREAM



NOTE: PLAN NOT TO SCALE



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SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4c - SINGLE FAMILY CLUSTER HOMES - PORCHLIGHT

The Porchlight product consists of 2 to 4 single family detached homes arranged on a shared access drive. Each dwelling occupies a single residential lot that is accessed via a shared drive.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	80% maximum
Lot Size	Varies
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Driveway Side	15' minimum
Rear Yard	10' minimum
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	5' easement benefit/use of adjacent lot for maintenance purposes.

¹ Driveways for single family detached units meet this requirement.





SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4d - SINGLE FAMILY CLUSTER HOMES - COACH

The Coach product consists of 2 to 6 single family detached homes arranged on a shared access drive. Each dwelling occupies a single residential lot that is accessed via a shared drive.

BUILDING CONFIGURATION

Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	60% maximum
Lot Size	Varies

SETBACKS - PRINCIPAL STRUCTURE

Front Yard	15' minimum
Front Yard to Porch	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Driveway Side	15' minimum
Rear Yard	5' minimum

OTHER STANDARDS

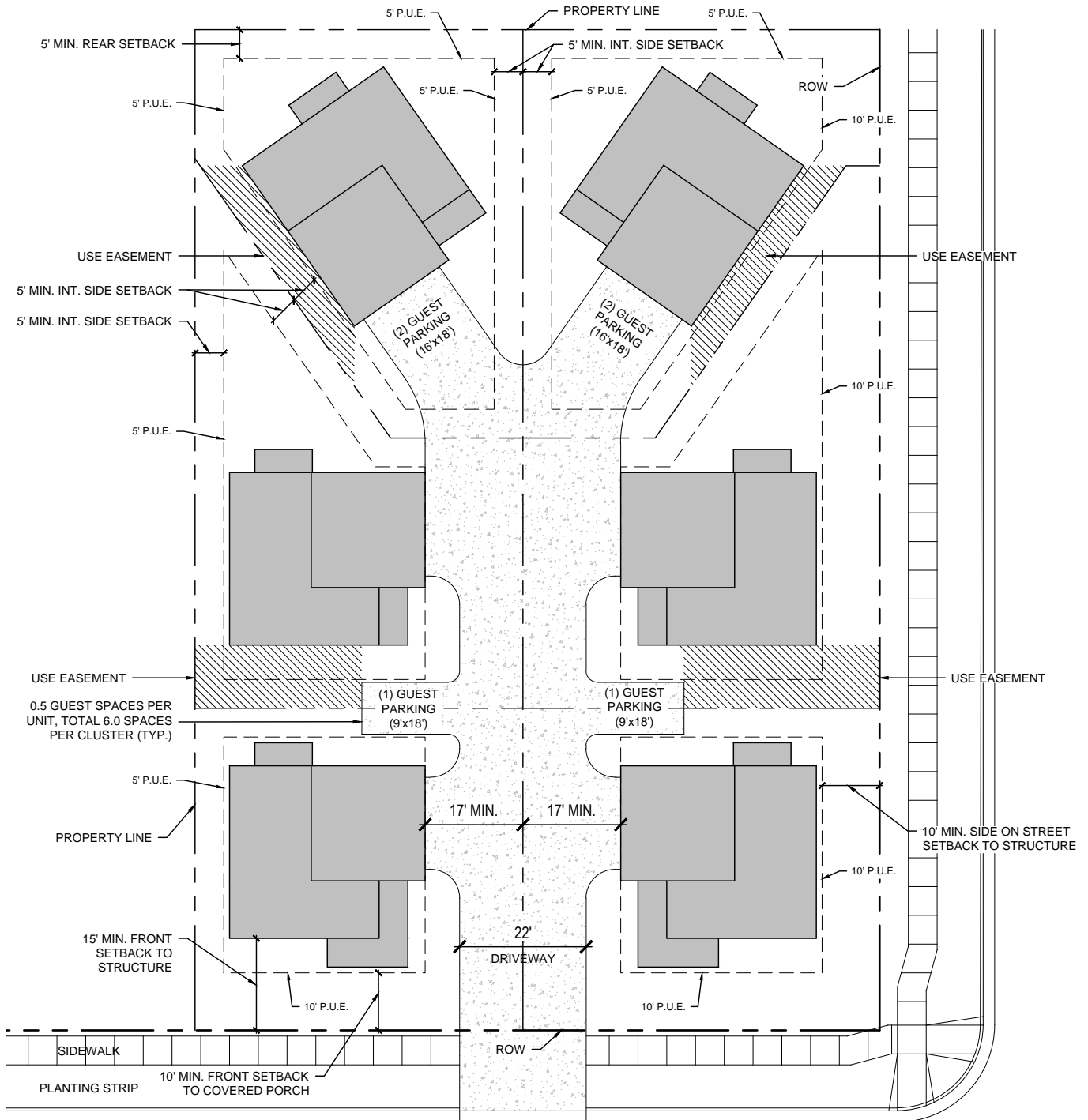
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	5' easement benefit/use of adjacent lot for maintenance purposes.

ES COACH HOUSE



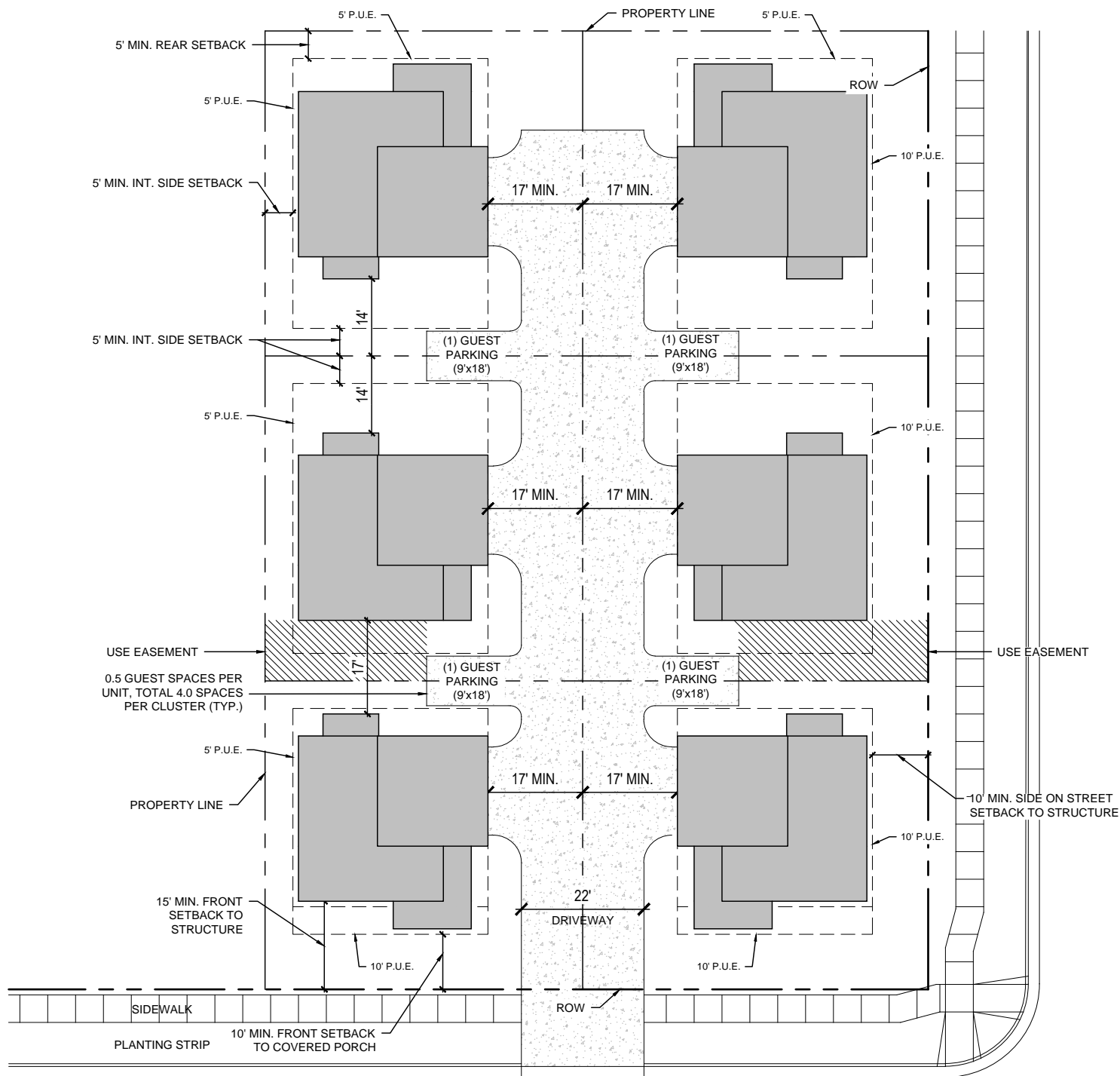


SECTION 4d - CLUSTER HOMES COACH HOUSE



NOTE: PLAN NOT TO SCALE

SECTION 4d - CLUSTER HOMES COACH HOUSE



NOTE: PLAN NOT TO SCALE



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SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4e - TOWNHOMES

Townhomes consist of 2 to 6 single family attached homes that are rear loaded onto an alley accessible from the street.

BUILDING CONFIGURATION

Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	80% maximum

SETBACKS - PRINCIPAL STRUCTURE

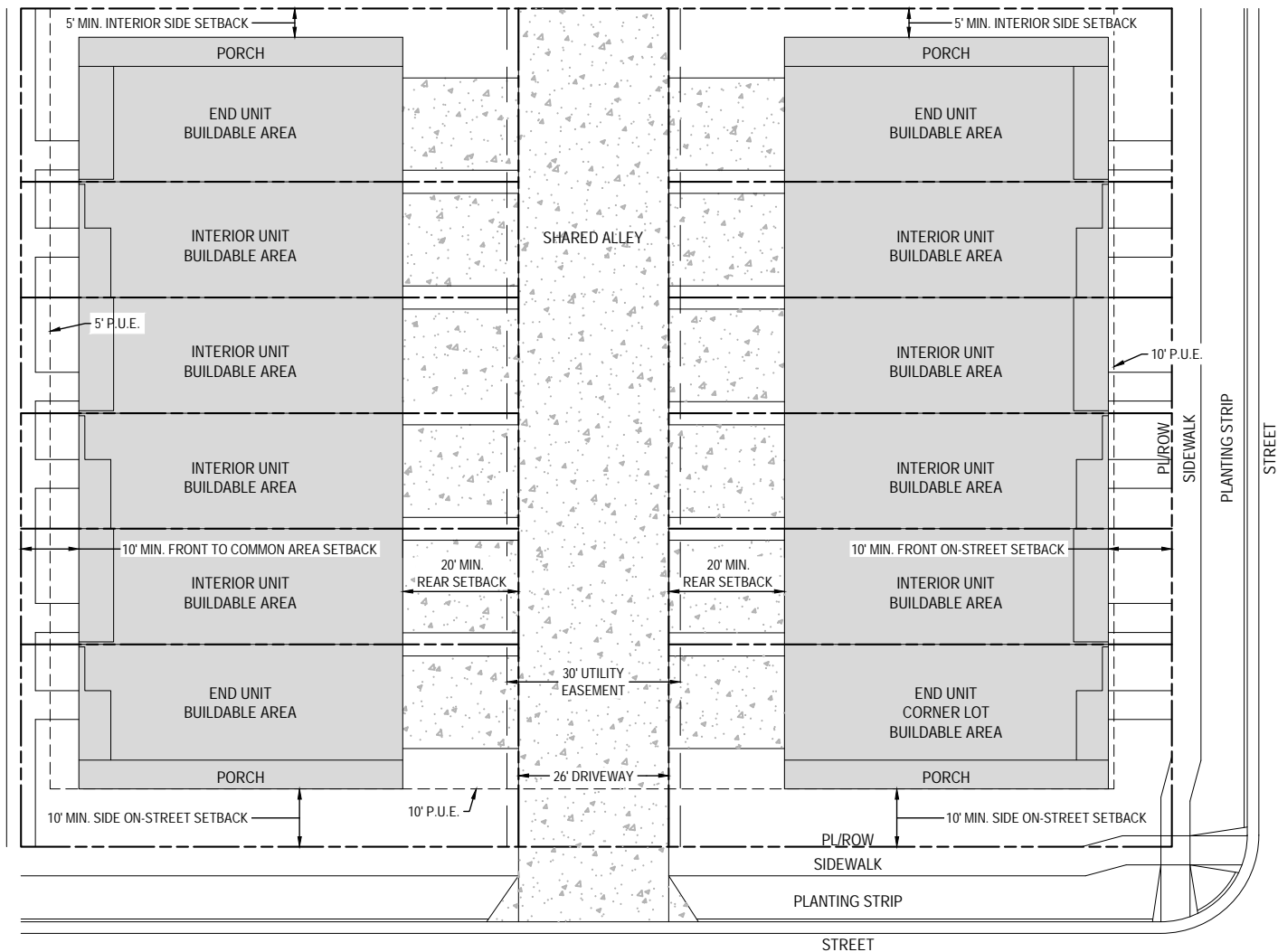
Front Yard On-Street	10' minimum
Front to Common Area	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Garage	To Alley Drive: 3' no driveway, 20' with driveway/guest parking

OTHER STANDARDS

Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Optional Porch	5' side porch optional for end units. ¹
Units per Building	2 to 6 units per building.
Garages	Two-car or one-car garages are allowed as per Section 19.09 of the Saratoga Springs Municipal Code
Open Space	20% minimum
Parking	Off-street guest parking will be provided for any product with less than a 20' driveway, at a minimum rate of 0.25 spaces per unit.

¹ For Townhome products only, option not available for Paired Homes.

SECTION 4e - TOWNHOME LOT TYPICAL



6-unit townhome shown. Development standards are identical for 2-4 unit townhomes.



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SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4f - PRIVATE OPEN SPACE

Private Open Space consists of areas on private homeowner lots that are not taken up by the building, driveway, sidewalks or other impervious surfaces.

DEVELOPMENT STANDARDS - PRIVATE OPEN SPACE	
Permitted Elements	Front Yard: Fences, hedges, & masonry walls (4' max. height/3' max. height inside clear-view triangle. Rear & Side Yard: 6' max. privacy fence.
Surface Treatments	Groundcover, lawn, flower gardens, vegetable gardens, trees, grasses, small shrubs, and landscape boulders. Min. 25% of front and corner street side yards shall consist of non-rock and non-hardscape landscaping. Artificial turf is not permitted.
Schedule	All front and side yards in a single family lot shall be landscaped within one year, and interior side and back yards within two years after receiving a Certificate of Occupancy or once ownership is established by the current owner (as per Section 19.06.08.d of the SSMC). Please reference Section 19.06.05 of the SSMC for exceptions of this requirement due to weather conditions.

SECTION 4G - COMMERCIAL STANDARDS

The commercial sites within Jordan Promenade Wander Village Plan 3 will realize a balance that is compatible with both the natural and built environment, establishment of a strong community identity in the City of Saratoga Springs as the properties are at high visibility corners after crossing the Jordan River while heading west into the city.

The property will incorporate design aspects that are inviting, attractive, well-designed, and maintained. Site development shall be designed to create a distinct sense of place which is cohesive with the overall Jordan Promenade development.

Special attention will be made to site design techniques that incorporate best practices in planning for circulation, aesthetics, environmental sustainability, and safety. Signage and landscaping will be consistent in quality and design to the other surrounding uses in the village plan and subject to Title 19.

Commercial areas occurring in Jordan Promenade Wander Village Plan 3 are classified under the Community Commercial Land Use Zone (Section 19.04.09 of the Saratoga Springs Municipal Code).

The purpose of the Community Commercial Zone (CC) is to allow for medium size commercial developments, near residential neighborhoods, with establishments that will serve the nearby community. Improvements such as trails, seating, and lighting that would help create gathering spaces and promote pedestrian activity are expected in the Community Commercial zone.

The Commercial areas may also be located in a future Gateway Overlay zone and subject to the development standards and guidelines in Section 19.04.14 of the Saratoga Springs Municipal Code except for standards contained within this Village Plan.





SECTION 4g - COMMERCIAL STANDARDS (cont.)

The following table outlines the land use regulations and minimum setback requirements for the Community Commercial Land Use Zone (Section 19.04.10 of the SSMC):

LAND USE REGULATIONS (CC)	
Minimum Lot Size	20,000 sq. ft.
Maximum Building Size	N/A
Minimum Lot Width	100'
Minimum Lot Frontage	100'
Max. Height of Structures	40'
Maximum Lot Coverage	50%
MINIMUM SETBACK REQUIREMENTS (CC)	
Front/Corner Side Setback	25'
Interior Side Setback	10' or height of building, whichever is greater
Rear Setback	25' or height of building, whichever is greater

The following table outlines permitted and conditional uses for the Community Commercial Land Use Zone (Section 19.04.11 of the SSMC):

PERMITTED USES (CC)	
Permitted Uses	Animal Hospital, Small/Small Veterinary Office; Arts & Crafts Sales; Bakery, Retail; Bookstore; Car Wash, Public (single bay as accessory to refueling station); Child Care Center; Churches; Commuter/Light Rail Station; Convenience Store (non-fast food); Copy Center; Dry Cleaners; Educational Center; Fitness Center; Floral Sales; Funeral Home; Hair Salon; Ice Cream Parlor; Office, Medical and Health Care; Office, Professional; Personal Service Establishment; Plant & Tree Nursery; Postal Center; Preschool; Public Parks, playgrounds, recreation areas, or other park improvements; Public Building or Facilities (City Owned); Refueling Station, Public; Restaurant; Restaurant, Takeout; Retail Sales; Retail, Specialty; School, Public.

SECTION 5 - DESIGN GUIDELINES

ARCHITECTURAL GUIDELINES

The standards listed in this section are to be viewed as design guidelines for the homes of the Jordan Promenade Development. Repetitious and homogeneous building styles will not be permitted in Jordan Promenade. Single family homes with the same style, floor plan or color scheme will not be built on lots next to, adjacent to, or across the street from each other.

Elements such as roof shape and pitch, window size, shape and placement, and construction materials such as stone veneer, stucco or wood can all be used to create the subtle details that foster individuality in a home. Enhanced secondary facades will occur on all house elevations facing major arterial roadways, and primary facades will occur on all house elevations facing local and collector roadways. The Enhanced Facade Plan (ref. page 50) illustrates primary and enhanced secondary facades.

Architectural design standards shall follow the requirements as defined under Section 19.16 of the Saratoga Springs Municipal Code. Residential lighting standards shall follow the requirements as defined under Section 19.11 of the Saratoga Springs Municipal Code.

This Village Plan calls out a variety of allowable architectural elements and building materials for the Jordan Promenade development. Should any of the items included in these guidelines (such as siding, roofing, fencing, etc.) have been discontinued, are unavailable, or are otherwise unable to be obtained in a timely manner due to unavoidable circumstances, city staff may approve alternatives without requiring city council approval.

Site Plans for attached residential development areas may be approved administratively by staff when lotting plans, landscape plans, and building elevations are provided with the Village Plan application submittal.

Courtyard Home - Saratoga Classic Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Horizontal siding in a consistent body color
- Board and batten accenting in gables, furred out elements, or entire stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry



SECTION 5 - DESIGN GUIDELINES (cont.)

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Courtyard Home - Ranch House Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Horizontal siding in a consistent body color
- Board and batten accenting in gables, furred out elements, or entire stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home - Modern Farmhouse Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Large square or rectangular gable vents in primary largest roof gables
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color in gables, pop outs, or front facing facade elements
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home - Saratoga Prairie Style

- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth



SECTION 5 - DESIGN GUIDELINES (cont.)

- Horizontal siding in a consistent body color
- Board and Batten band in an accent color with a 36" minimum height beneath the upper level soffit, separated by a thin trim band
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Saratoga Classic Style

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Gable accent elements such as square or rectangular gable vents or brackets on motorcourt or street facing elevations
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color on gables, furred out elements, or entire stories separated by 8" wide trim bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Contemporary Prairie Style

- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band with a 36" minimum width beneath the upper level soffit separated by trim colored bands
- Furr out elements sided with Board and Batten accent siding in a separate color
- Brackets at gable peaks on motorcourt and street facing elevations



SECTION 5 - DESIGN GUIDELINES (cont.)

- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

Motorcourt Home – Ranch House Style

- A mix of dutch-hipped and medium pitched gable roofs with a pitch of 4:12-8:12
- Horizontal siding in a consistent body color
- Brackets at gable peaks on motorcourt and street facing elevations
- Shake accenting in a separate color on furred out elements, or entire upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.

NOTE: Specific architectural products, such as On2 Duets and Townhomes, have not been fully developed. Future architectural products and styles will be submitted as Village Plan Amendments.



SECTION 5a - ARCHITECTURAL STYLES

ASCENT DUETS - WANDER - CONTEMPORARY HOMESTEAD ELEVATION - BUILDING TYPE 1



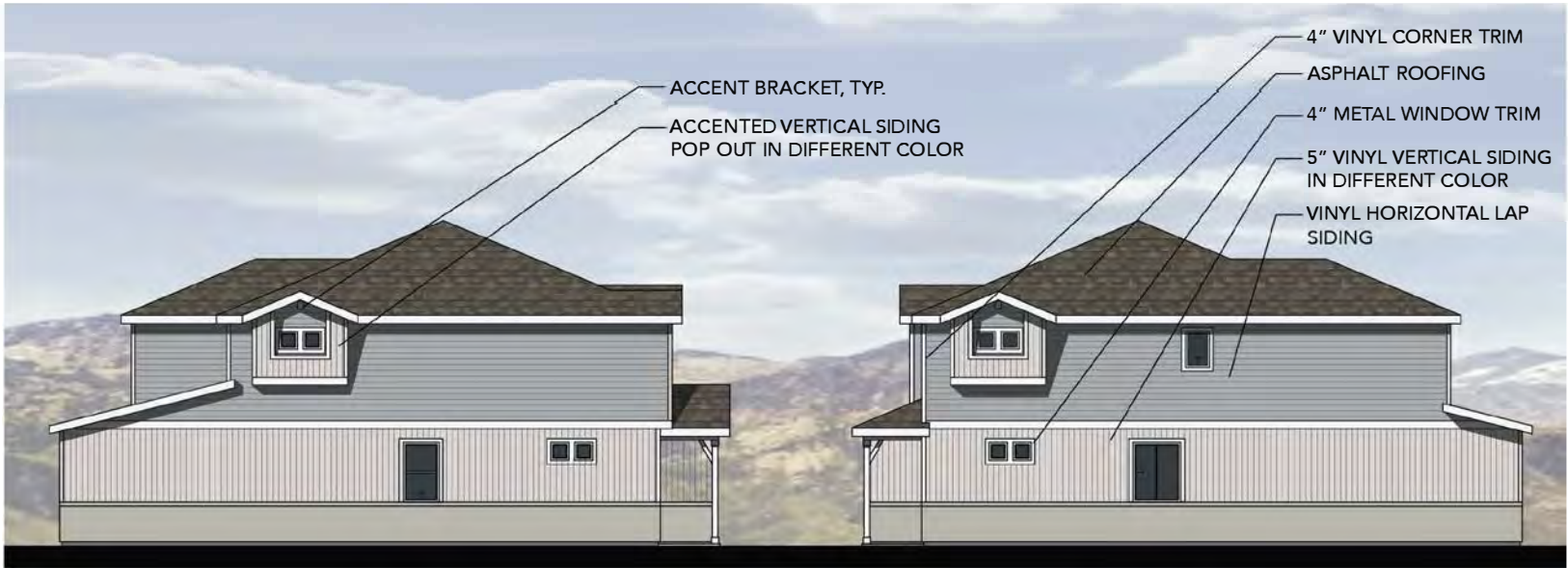
FRONT ELEVATION

ACCENT BRACKET, TYP.
ASPHALT ROOFING
VINYL HORIZONTAL LAP SIDING
RECESSED LED LIGHTS IN SOFFITS ABOVE PORCHES
4" VINYL CORNER TRIM
4" METAL WINDOW TRIM
ASPHALT ROOFING
5" VINYL VERTICAL LAP SIDING
6X6 PAINTED POST WITH TOP/BOTTOM COLLARS AND ANGLED BRACKETS
ACCENT PAINTED 2-PANEL ENTRY DOOR
36" MIN. HT. ACCENT STUCCO



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)**
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)**
 - 2 FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - c. PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (VERTICAL SIDING, HORIZONTAL LAP SIDING, STUCCO)
 - d. COVERED ENTRY PORCHES
 - e. 3 GABLE ROOF ELEMENTS
 2. ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 3. WINDOWS: 4" WINDOW/DOOR TRIM
 4. AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)**
1. ARCHITECTURAL WRAP
 - a. ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - b. ALL STUCCO WAINSCOTS AND MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 2. MATERIALS AND COLORS
 - a. FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT). NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - b. MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 3. COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
1. ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.



SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - BUILDING TYPE 1

SCHEME #1

BODY 1 (VERTICAL SOFFIT D5)
SILVER MIST

BODY 2 (HORIZONTAL LAP D4)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (VERTICAL SOFFIT D5)
STONE MOUNTAIN CLAY

BODY 2 (HORIZONTAL LAP D4)
RICH MOCHA

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7504 KEYSTONE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (VERTICAL SOFFIT D5)
NATURAL ALMOND

BODY 2 (HORIZONTAL LAP D4)
WEDGEWOOD

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW6150 UNIVERSAL KHAKI

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (VERTICAL SOFFIT D5)
ISLAND PEARL

BODY 2 (HORIZONTAL LAP D4)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7674 PEPPERCORN

STUCCO
PAINT SW7016 MINDFUL GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (VERTICAL SOFFIT D5)
SANDY TAN

BODY 2 (HORIZONTAL LAP D4)
SAGEBROOK

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT 2857 PEACE YELLOW

STUCCO
PAINT SW7633 TAUPE TONE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - MODERN FARMHOUSE ELEVATION - BUILDING TYPE 2



FRONT ELEVATION

36" MIN. HEIGHT
ACCENT STUCCO

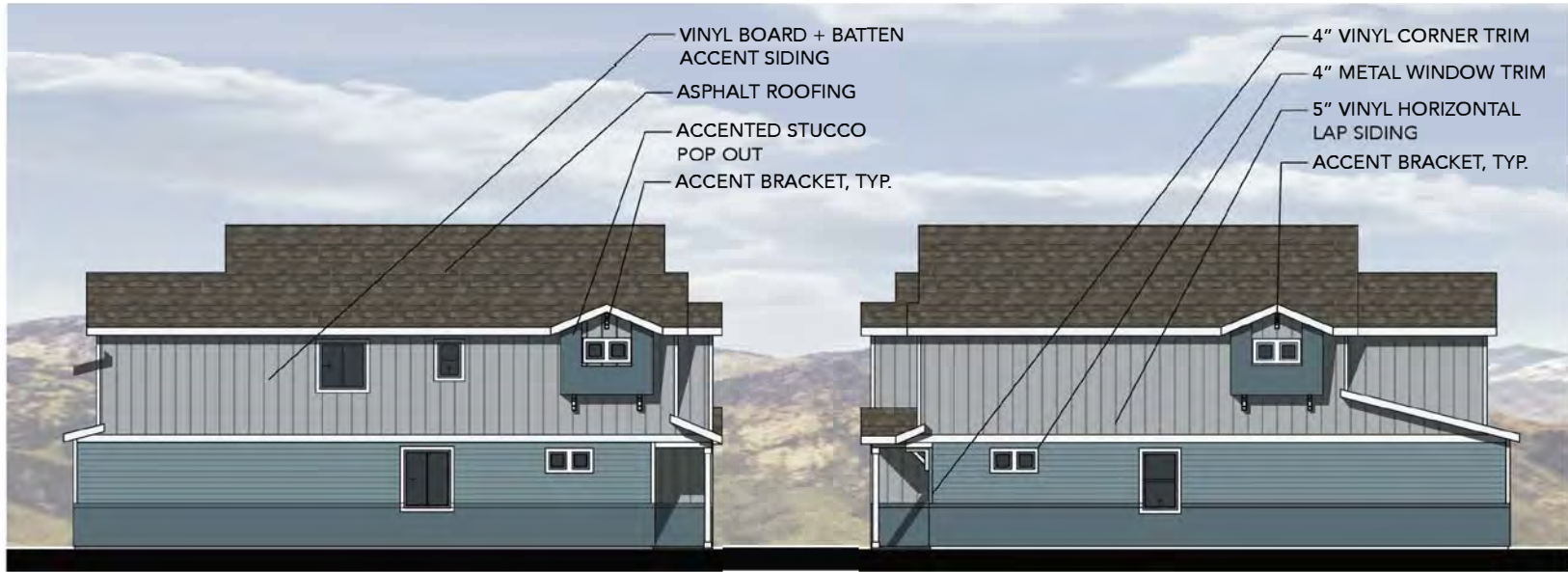
ACCENT PAINTED 2-PANEL
ENTRY DOOR



REAR ELEVATION

ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)

1. BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
3 FRONT POPOUT ELEVATION SHIFTS PLUS A TOWER ELEMENT THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
c. PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B SIDING, HORIZONTAL LAP SIDING, STUCCO)
d. COVERED ENTRY PORCHES
e. 4 GABLE ROOF ELEMENTS
2. ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
3. WINDOWS: 4" WINDOW/DOOR TRIM
4. AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)

1. ARCHITECTURAL WRAP
a. ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
b. ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 2. MATERIALS AND COLORS
a. FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT).
NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
b. MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 3. COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
1. ALL LIGHTING FIXTURES ARE LED FIXTURES. RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.



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PROMENADE

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SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - BUILDING TYPE 2

SCHEME #1

BODY 1 (HORITONAL LAP D4)
SILVER MIST

BODY 2 (BOARD AND BATTEN)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

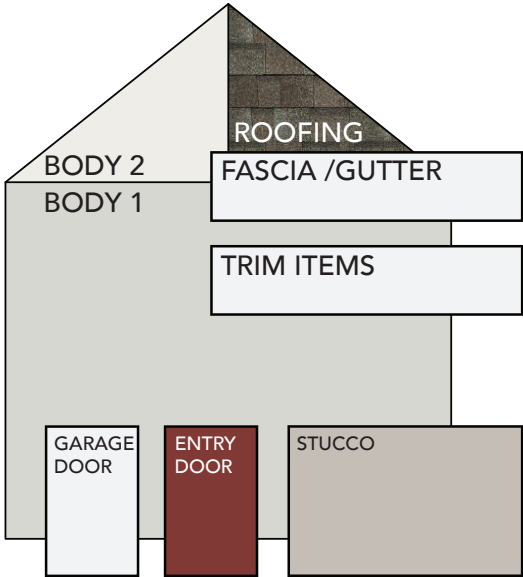
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #2

BODY 1 (HORITONAL LAP D4)
BRIARWOOD

BODY 2 (BOARD AND BATTEN)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

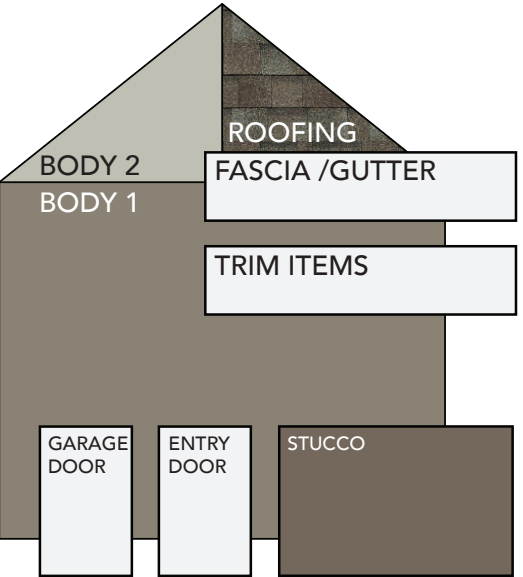
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #3

BODY 1 (HORITONAL LAP D4)
WEDGEWOOD

BODY 2 (BOARD AND BATTEN)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

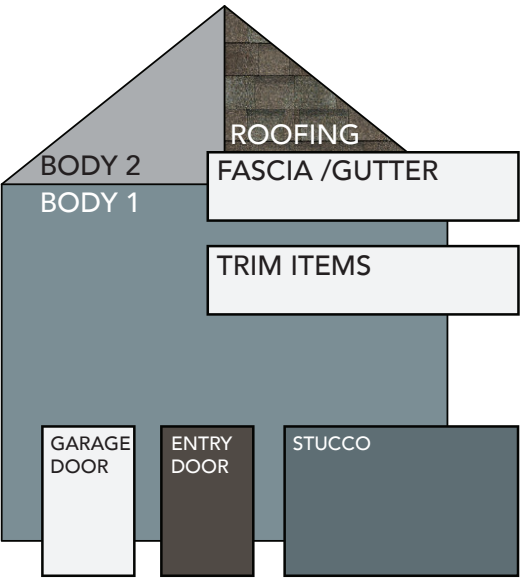
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #4

BODY 1 (HORITONAL LAP D4)
SAGEBROOK

BODY 2 (BOARD AND BATTEN)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

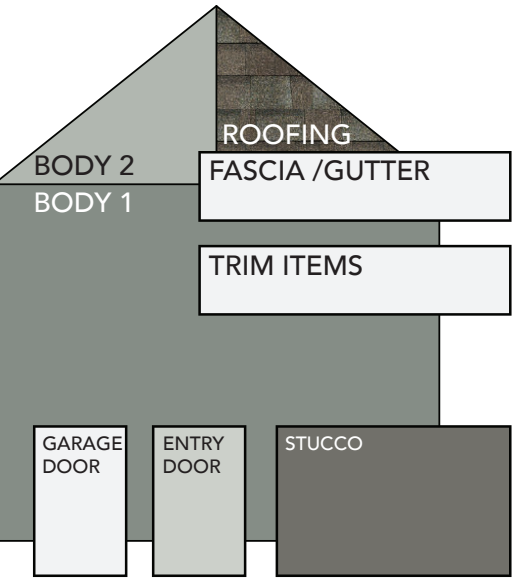
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #5

BODY 1 (HORITONAL LAP D4)
PEWTER

BODY 2 (BOARD AND BATTEN)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

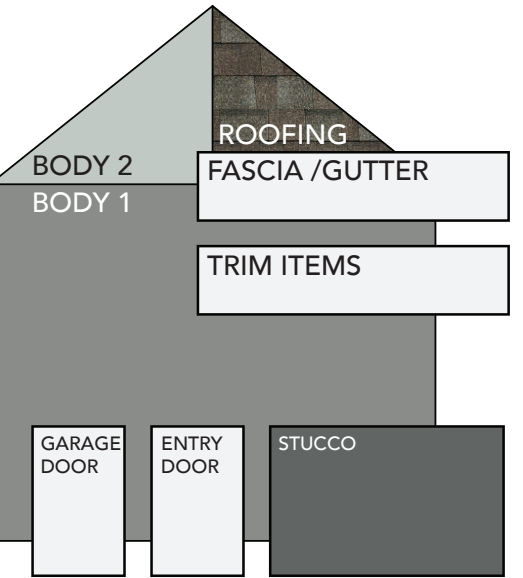
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



NOTE: ALL WINDOW FRAMES ARE TO BE WHITE

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - CLASSIC HOMESTEAD ELEVATION - BUILDING TYPE 3



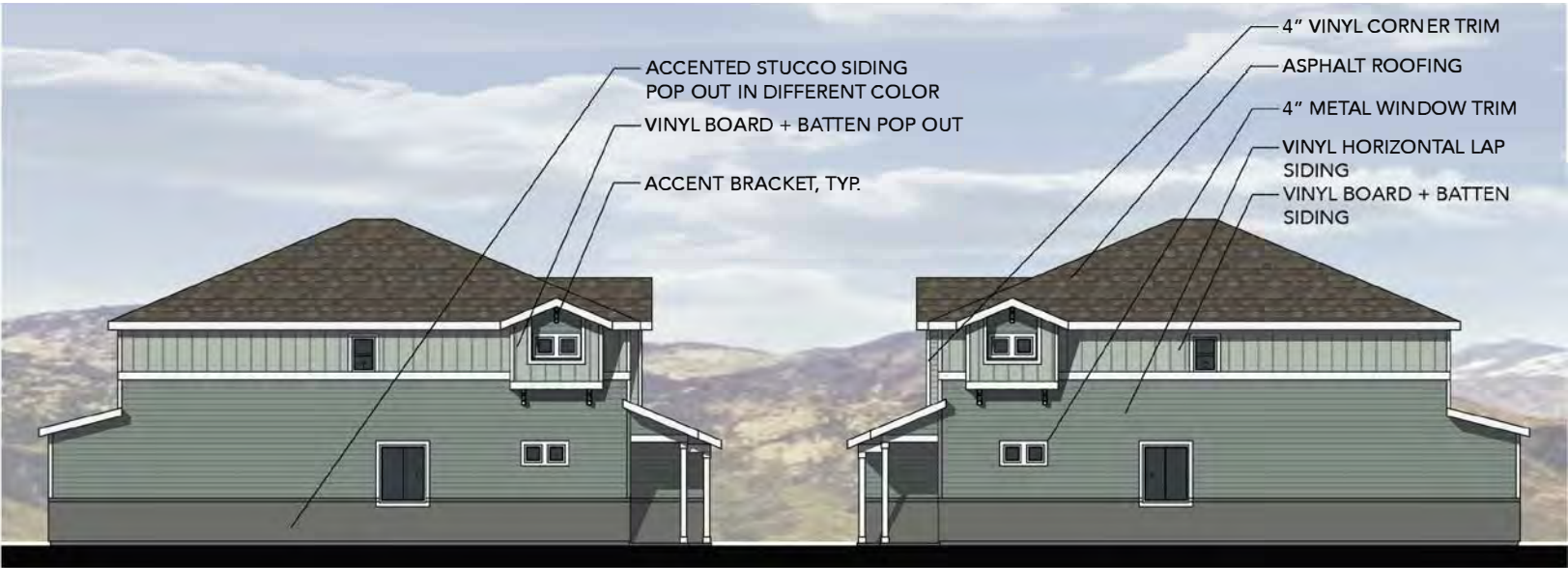
FRONT ELEVATION

ACCENT PAINTED 2-PANEL ENTRY DOOR 36" MIN. HEIGHT ACCENT STUCCO



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)**
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)**
 - TWO FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B, HORIZONTAL LAP SIDING, STUCCO)
 - COVERED ENTRY PORCHES
 - 2 GABLE ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)**
- ARCHITECTURAL WRAP
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL STUCCO WAINSCOTS AND MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND STUCCO ACCENT).
NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)**
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - BUILDING TYPE 3

SCHEME #1

BODY 1 (HORITONAL LAP D4)
SILVER MIST

BODY 2 (BOARD AND BATTEN)
DOVER WHITE

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HORITONAL LAP D4)
BRIARWOOD

BODY 2 (BOARD AND BATTEN)
SANDY TAN

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (HORITONAL LAP D4)
WEDGEWOOD

BODY 2 (BOARD AND BATTEN)
FLINT

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (HORITONAL LAP D4)
SAGEBROOK

BODY 2 (BOARD AND BATTEN)
SPANISH OLIVE

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (HORITONAL LAP D4)
PEWTER

BODY 2 (BOARD AND BATTEN)
GEORGIAN GRAY

**TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS**
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

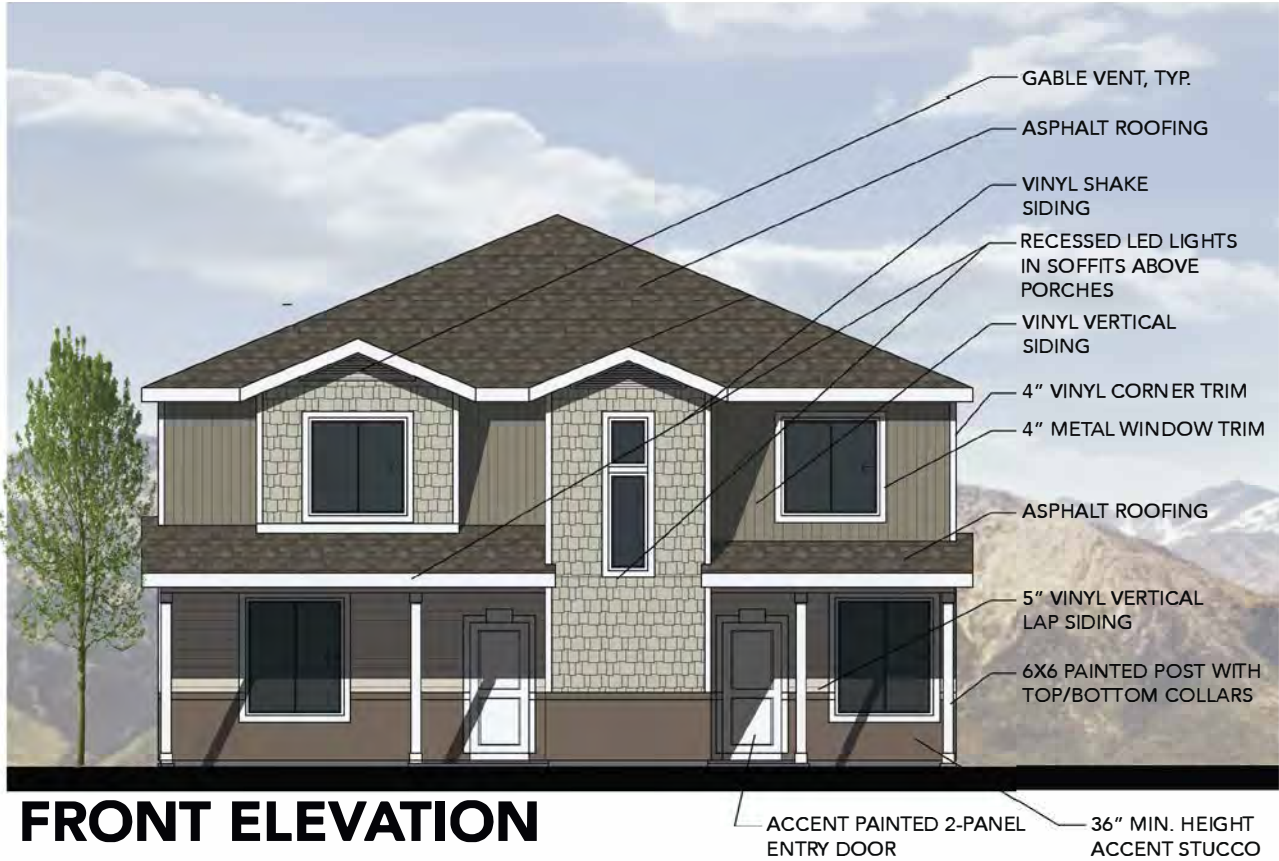
STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - MODERN CRAFTSMAN ELEVATION - BUILDING TYPE 4

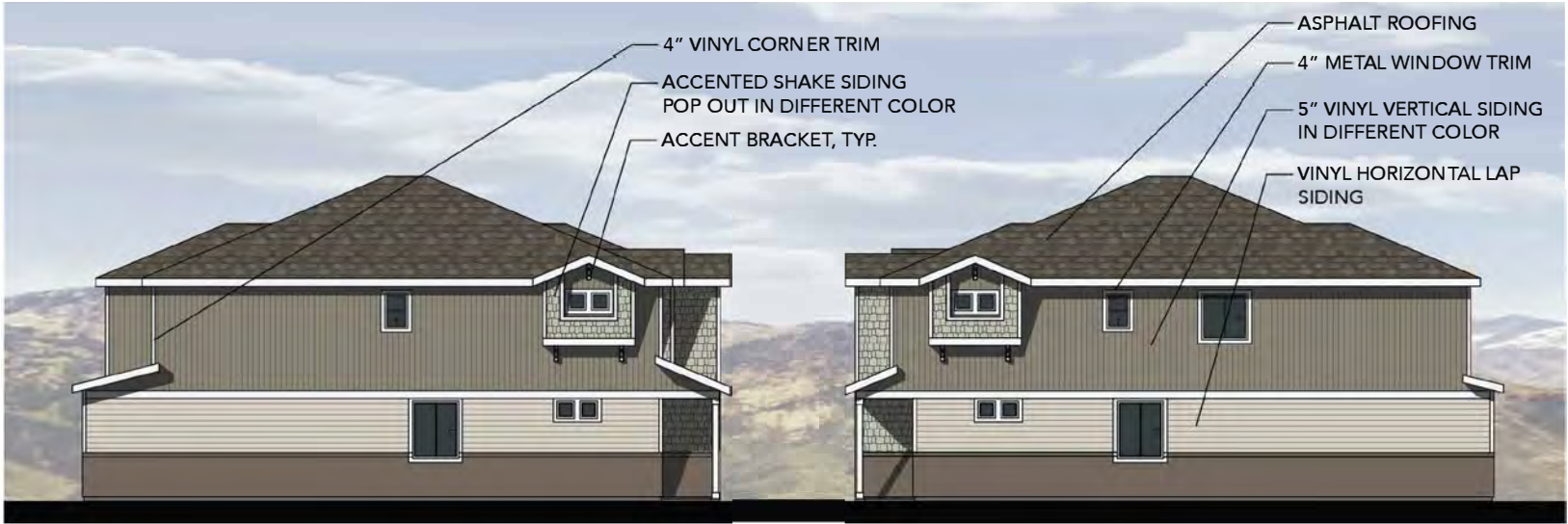


FRONT ELEVATION



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
1. BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
2 FRONT POPOUT ELEVATION SHIFTS PLUS A TOWER ELEMENT THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
c. PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (VERTICAL SIDING, HORIZONTAL LAP SIDING, SHAKE)
d. COVERED ENTRY PORCHES
e. 2 GABLE ROOF ELEMENTS
 2. ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 3. WINDOWS: 4" WINDOW/DOOR TRIM
 4. AWNINGS, CANOPIES, TRELLISES ETC: NOT APPLICABLE



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
1. ARCHITECTURAL WRAP
 - a. ALL FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - b. ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 2. MATERIALS AND COLORS
 - a. FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS PLUS A TRIM COLOR (BODY, ACCENT, AND SHAKE ACCENT).
NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT)
 - b. MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 3. COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)
1. ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.



SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - BUILDING TYPE 4

SCHEME #1

BODY 1 (HORIZONTAL LAP D4)
SILVER MIST

BODY 2 (VERTICAL SOFFIT D5)
DOVER WHITE

BODY 3 (SHAKE)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

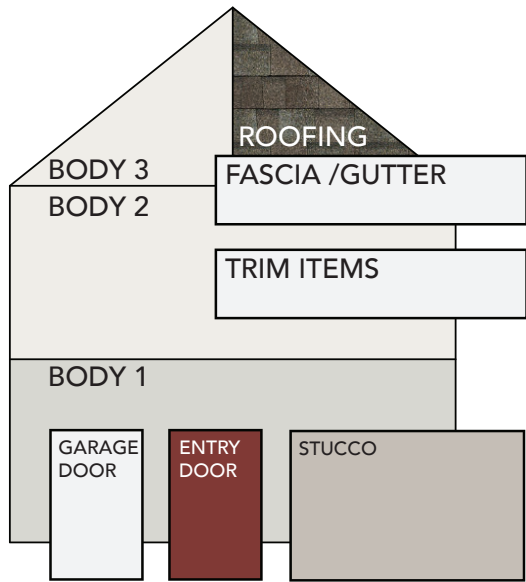
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #2

BODY 1 (HORIZONTAL LAP D4)
BRIARWOOD

BODY 2 (VERTICAL SOFFIT D5)
NATURAL ALMOND

BODY 3 (SHAKE)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

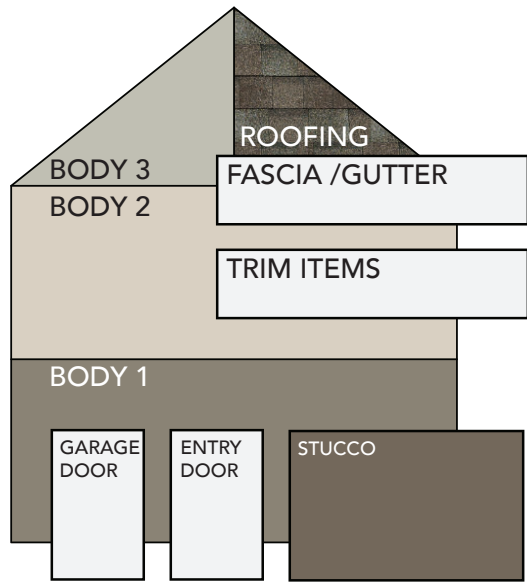
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #3

BODY 1 (HORIZONTAL LAP D4)
WEDGEWOOD

BODY 2 (VERTICAL SOFFIT D5)
ISLAND PEARL

BODY 3 (SHAKE)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

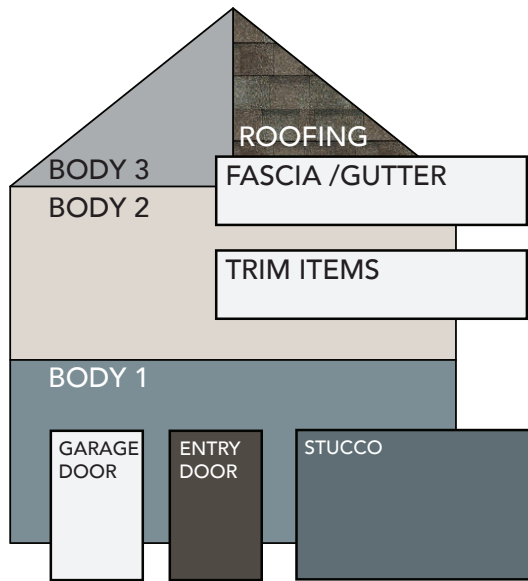
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #4

BODY 1 (HORIZONTAL LAP D4)
SAGEBROOK

BODY 2 (VERTICAL SOFFIT D5)
NATURAL ALMOND

BODY 3 (SHAKE)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

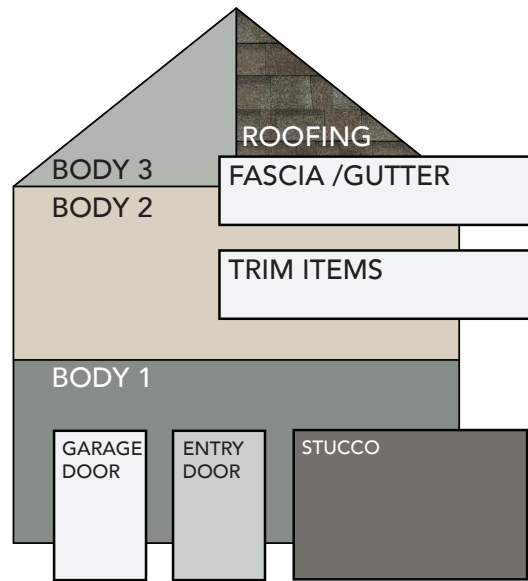
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



SCHEME #5

BODY 1 (HORIZONTAL LAP D4)
PEWTER

BODY 2 (VERTICAL SOFFIT D5)
SILVER MIST

BODY 3 (SHAKE)
GEORGIAN GREY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

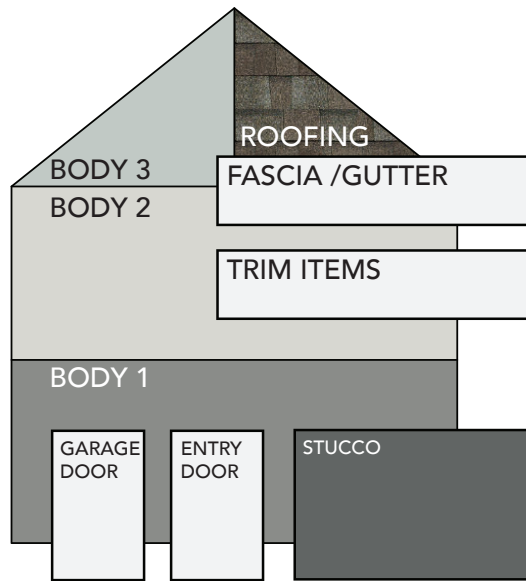
GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"



****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****



SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - CLASSIC FARMHOUSE ELEVATION - BUILDING TYPE 5



FRONT ELEVATION

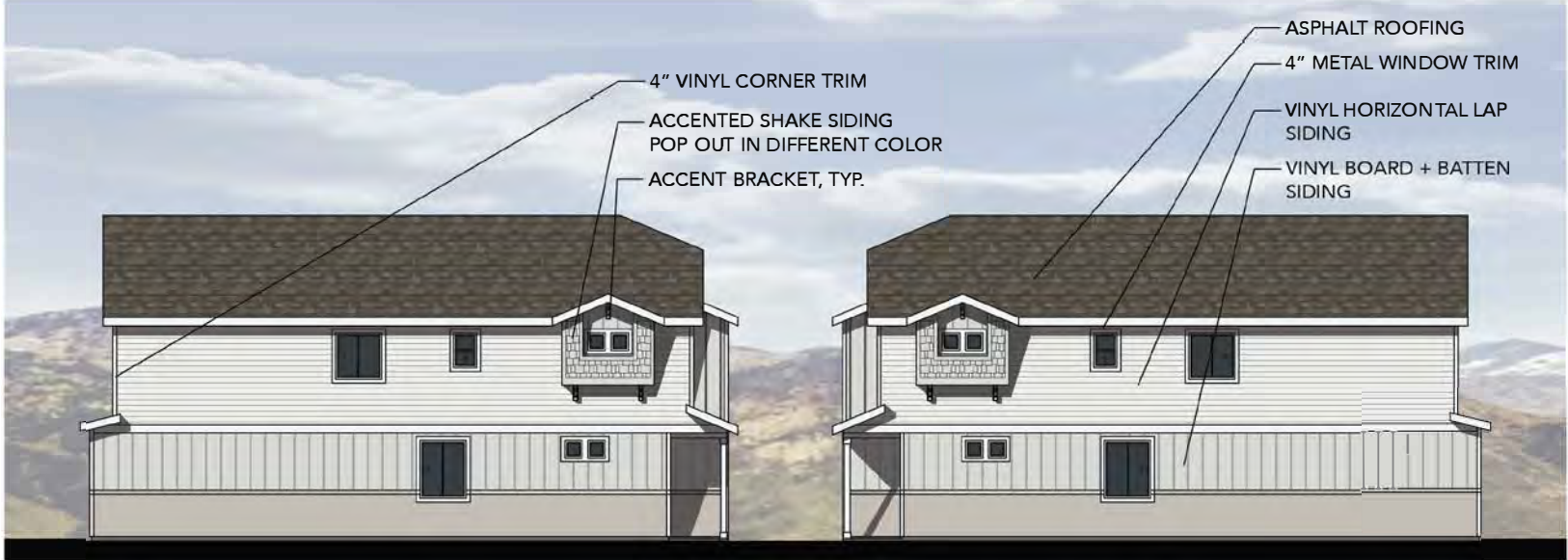
36" MIN. HEIGHT
ACCENT STUCCO

ACCENT PAINTED 2-PANEL
ENTRY DOOR



REAR ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, GENERAL (16.16.01)
- BUILDING ARTICULATION (ELEVATION SHIFTS/STEPS PLUS 2 ADDITIONAL ITEMS)
FRONT POPOUT ELEVATION SHIFTS THAT CREATE SHADOW LINES AND VOLUMETRIC CHANGES
TWO ADDITIONAL ITEMS REQUIRED (THREE SHOWN):
 - PRIMARY MATERIAL CHANGE - THREE MATERIAL CHANGES (B+B, HORIZONTAL LAP SIDING, STUCCO)
 - COVERED ENTRY PORCHES
 - 3 SHED ROOF ELEMENTS
 - ROOF TREATMENT: ALL ROOFS ARE 4:12 PITCH WITH 12" SOFFITS
 - WINDOWS: 4" WINDOW/DOOR TRIM
 - AWNINGS, CANOPIES, TRELLISES ETC: AWNINGS ABOVE FRONT WINDOWS AR 24" DEEP



LEFT ELEVATION
ENHANCED

RIGHT ELEVATION
ENHANCED



LEFT ELEVATION

RIGHT ELEVATION

- ARCHITECTURAL DESIGN STANDARDS, RESIDENTIAL (16.16.02)
- ARCHITECTURAL WRAP
 - ALL STUCCO WAINSCOTS AND FRONT MATERIALS WRAP TO ADJACENT INTERIOR FACADE PLANES
 - ALL MATERIALS EXTEND THE FULL DEPTH OF THE ELEVATION ON ENHANCED SIDES
 - MATERIALS AND COLORS
 - FRONT ELEVATIONS & ENHANCED SIDE ELEVATIONS SHOW 3 COLORS COLOR (BODY, ACCENT, AND STUCCO/SHAKE ACCENT).
NON-ENHANCED SIDE ELEVATIONS SHOW 2 COLORS (BODY AND ACCENT/FASCIA)
 - MATERIALS HAVE BEEN USED SO THAT NO MATERIAL DOMINATES MORE THAN 75% OF FACADES
 - COLOR VARIATION: ALL BUILDING TYPES WILL INCORPORATE MORE THAN 4 COLOR VARIATIONS
- LIGHTING DESIGN STANDARDS, RESIDENTIAL (19.11)
- ALL LIGHTING FIXTURES ARE LED FIXTURES, RECESSED IN SOFFITS AND FACING STRAIGHT DOWNWARD. COLOR TEMPERATURE WILL BE 2700K - 3900K.



SECTION 5a - ARCHITECTURAL STYLES (cont.)

ASCENT DUETS - WANDER - BUILDING TYPE 5

SCHEME #1

BODY 1 (BOARD AND BATTEN)
SILVER MIST

BODY 2 (HORIZONTAL LAP D4)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6328 FIREWEED

STUCCO
PAINT SW7641 COLONNADE GRAY

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HBOARD AND BATTEN)
BRIARWOOD

BODY 2 (HORIZONTAL LAP D4)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW7033 BRAINSTORM BRONZE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (BOARD AND BATTEN)
WEDGEWOOD

BODY 2 (HORIZONTAL LAP D4)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO
PAINT SW7624 SLATE TILE

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (BOARD AND BATTEN)
SAGEBROOK

BODY 2 (HORIZONTAL LAP D4)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO
PAINT SW6201 THUNDEROUS

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (BOARD AND BATTEN)
PEWTER

BODY 2 (HORIZONTAL LAP D4)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
WHITE

DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO
PAINT SW2848 ROYCROFT PEWTER

ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

COURTYARD HOME TYPICAL - SARATOGA CLASSIC ELEVATION

SARATOGA CLASSIC STYLE

FEATURES

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Horizontal siding in a consistent body color
- Board and batten accenting in gables, furred out elements, or entire stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



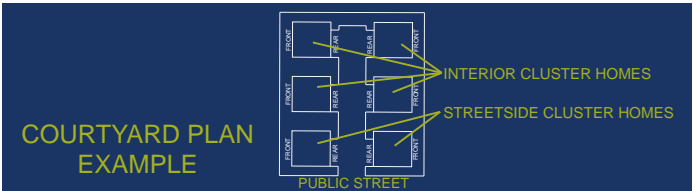
1 Typical Front Elevation - Courtyard Interior Location
Plan 9911 shown

2 Typical Side Elevation - Courtyard Interior Location
Plan 9911 shown



3 Typical Front Elevation - Courtyard Streetside Location
Plan 9911 shown

4 Typical Side Elevation - Courtyard Streetside Location
Plan 9911 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

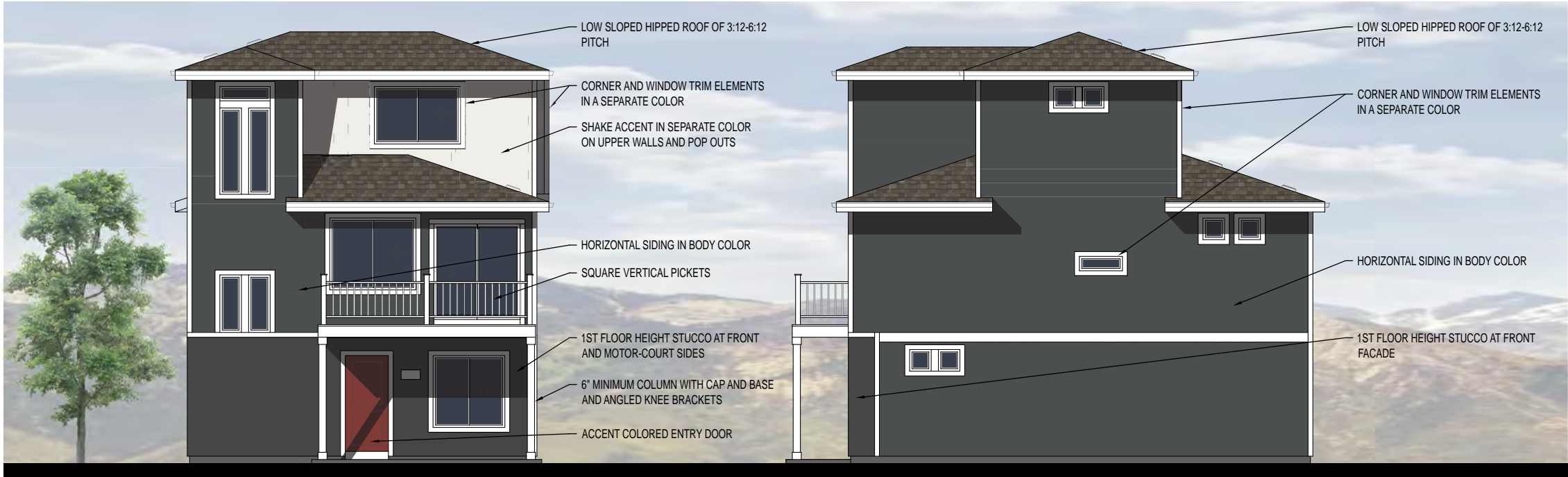
COURTYARD HOME TYPICAL - RANCH HOUSE ELEVATION

RANCH HOUSE STYLE

FEATURES

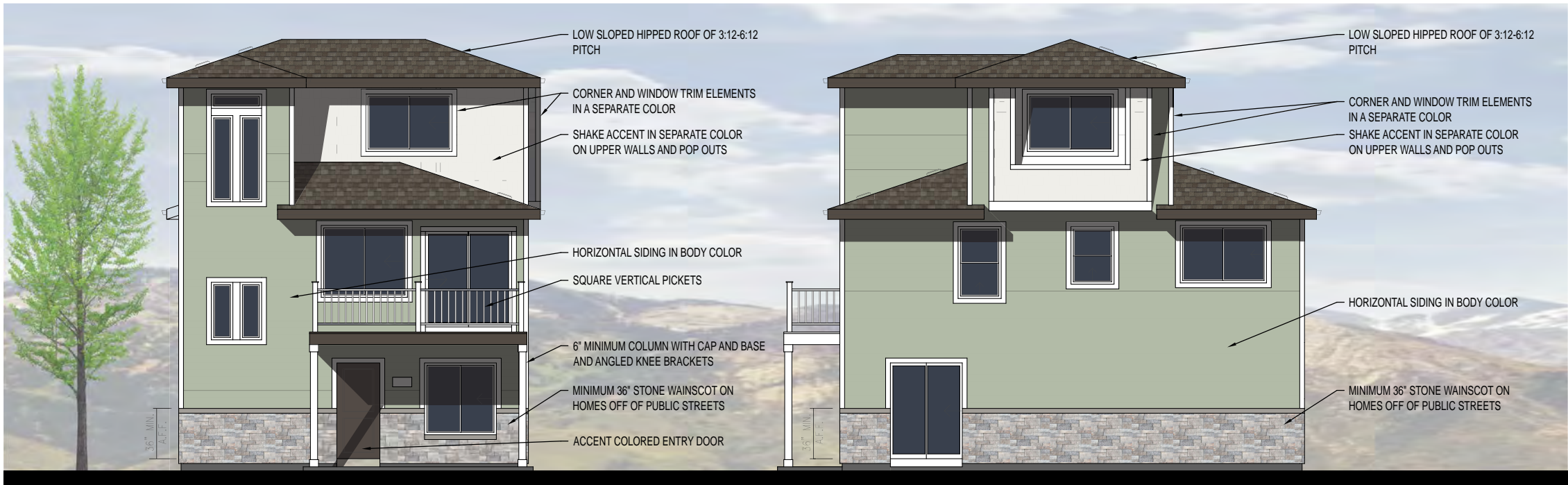
- Low-sloped hipped roof of 3:12-6:12 pitch
- Horizontal siding in a consistent body color
- Shake accenting in a separate color on furred out elements, gables or front facades of upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Square picketed railing on upper story balconies
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Shake areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



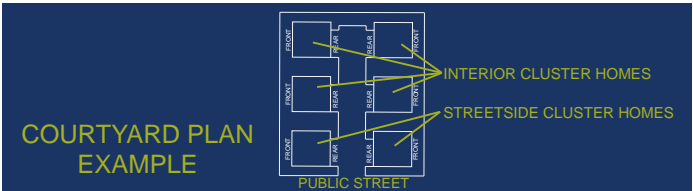
1 Typical Front Elevation - Courtyard Interior Location
Plan 9913 shown

2 Typical Side Elevation - Courtyard Interior Location
Plan 9913 shown



3 Typical Front Elevation - Courtyard Streetside Location
Plan 9913 shown

4 Typical Side Elevation - Courtyard Streetside Location
Plan 9913 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

AMERICAN DREAM - COACH HOUSE - COACHLIGHT - WANDER - ALL ELEVATIONS

SCHEME #1

BODY 1 (HORIZONTAL LAP D5)
SILVER MIST

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7641 COLONADE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HORIZONTAL LAP D5)
BRIARWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW7033 BRAINSTORM BRONZE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (HORIZONTAL LAP D5)
WEDGEWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7624 SLATE TILE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (HORIZONTAL LAP D5)
SAGEBROOK

BODY 2 (B+B OR SHAKE PER ELEVATION)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6201 THUNDEROUS

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (HORIZONTAL LAP D5)
STONE MOUNTAIN CLAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7504 KEYSTONE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #6

BODY 1 (HORIZONTAL LAP D5)
MEDITERRANEAN PALM

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6181 SECRET GARDEN

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #7

BODY 1 (HORIZONTAL LAP D5)
IRISH THISTLE

BODY 2 (B+B OR SHAKE PER ELEVATION)
SILVER MIST

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6200 LINK GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #8

BODY 1 (HORIZONTAL LAP D5)
PEWTER

BODY 2 (B+B OR SHAKE PER ELEVATION)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW2848 ROYCROFT PEWTER

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #9

BODY 1 (HORIZONTAL LAP D5)
URBAN IRON

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
WHITE

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7069 IRON ORE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #10

BODY 1 (HORIZONTAL LAP D5)
SPANISH OLIVE

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
BROWN

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6164 SVELTE SAGE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #11

BODY 1 (HORIZONTAL LAP D5)
GEORGIAN GRAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6258 TRICORN BLACK

STUCCO COLOR
SW7064 PASSIVE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

STONE CHOICES (IF SELECTED)

HUNTINGTON DIVINO LEDGE

SLATE LEUDERS

WHITE SAND DIVINO LEDGE

MIDNIGHT CHEIF JOSEPH

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5a - ARCHITECTURAL STYLES (cont.)

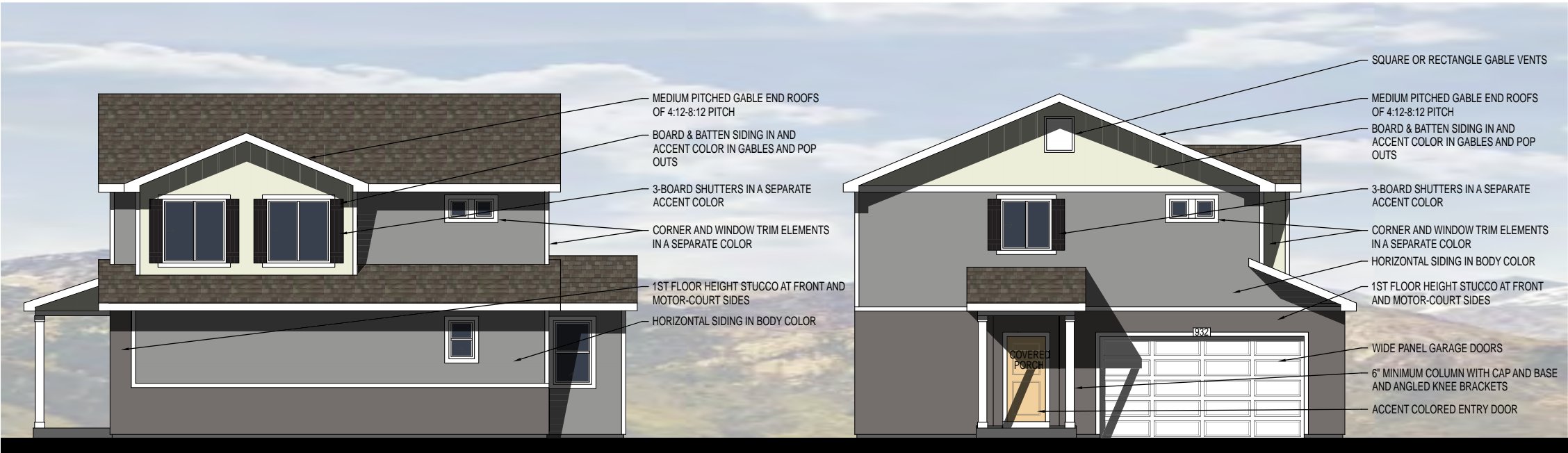
MOTORCOURT HOME TYPICAL - SARATOGA PRAIRIE ELEVATION

MODERN FARMHOUSE STYLE

FEATURES

- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Large square or rectangular gable vents in primary largest roof gables
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color in gables, pop outs, or front facing facade elements
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



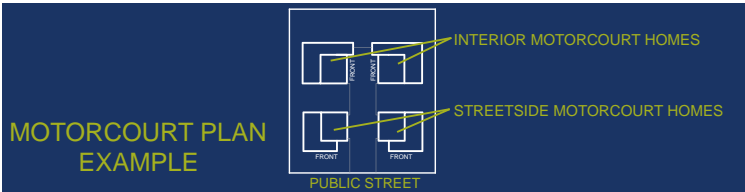
1 Typical Front Elevation - Motorcourt Interior Location
Plan 931 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 931 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 931 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 931 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

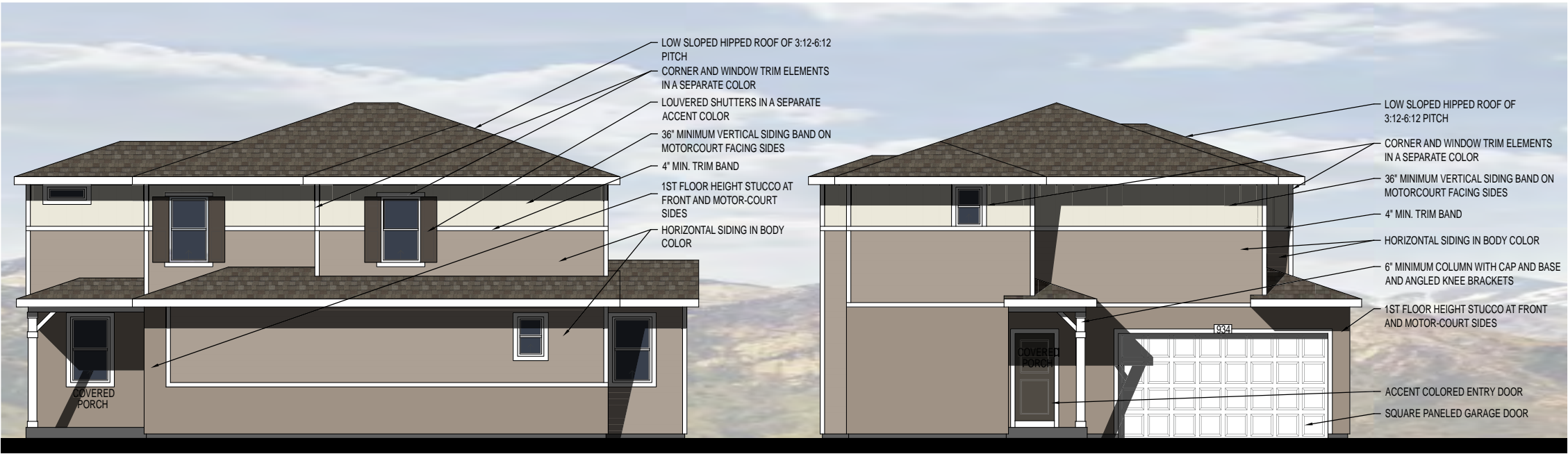
MOTORCOURT HOME TYPICAL - SARATOGA PRAIRIE ELEVATION

SARATOGA PRAIRIE STYLE

FEATURES

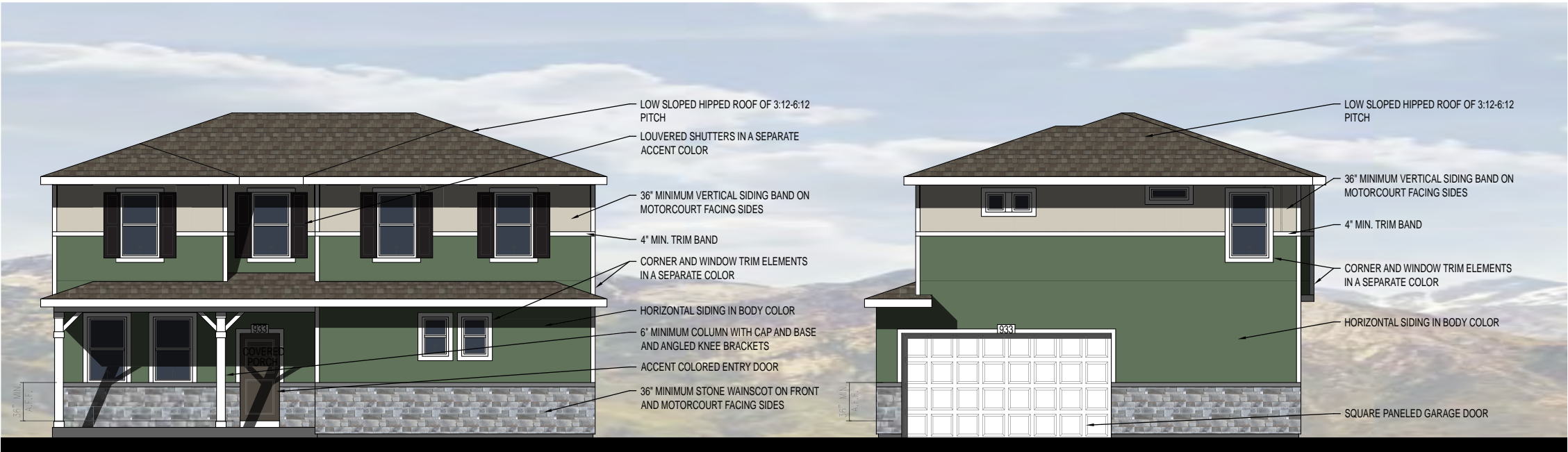
- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12” soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band in an accent color with a 36” minimum height beneath the upper level soffit, separated by a thin trim band
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4” minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36” minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



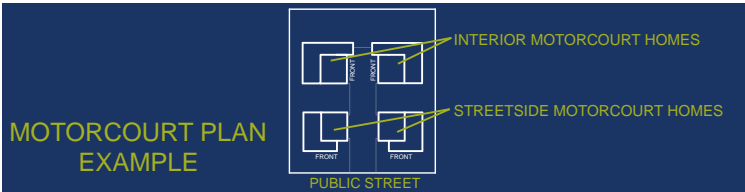
1 Typical Front Elevation - Motorcourt Interior Location
Plan 934 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 934 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 933 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 933 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

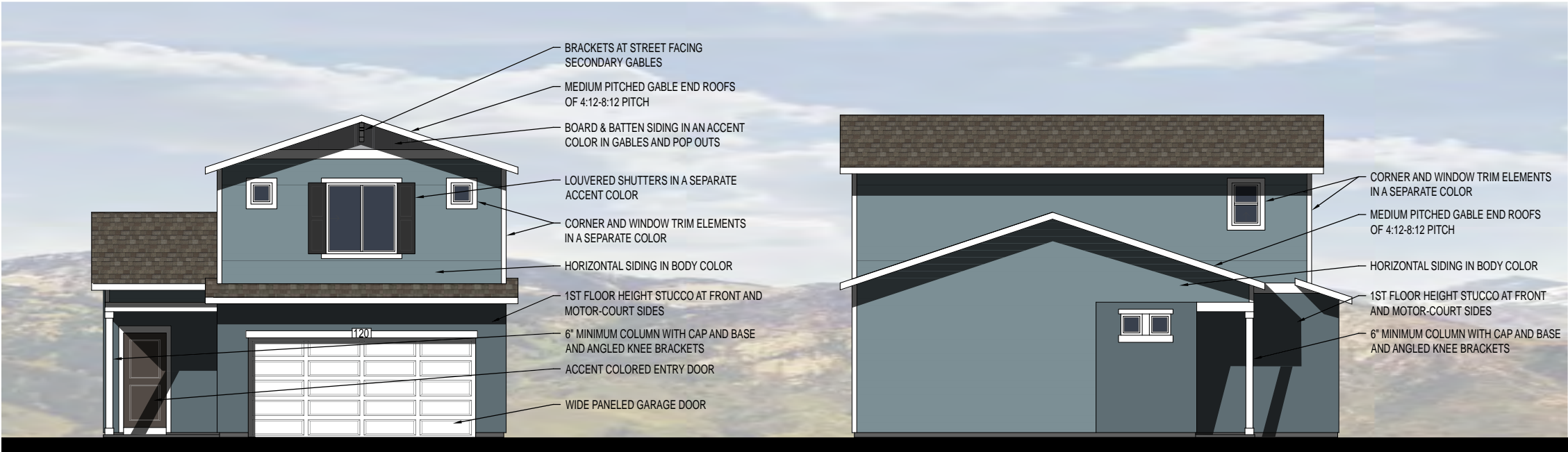
MOTORCOURT HOME TYPICAL - SARATOGA CLASSIC ELEVATION

SARATOGA CLASSIC STYLE

FEATURES

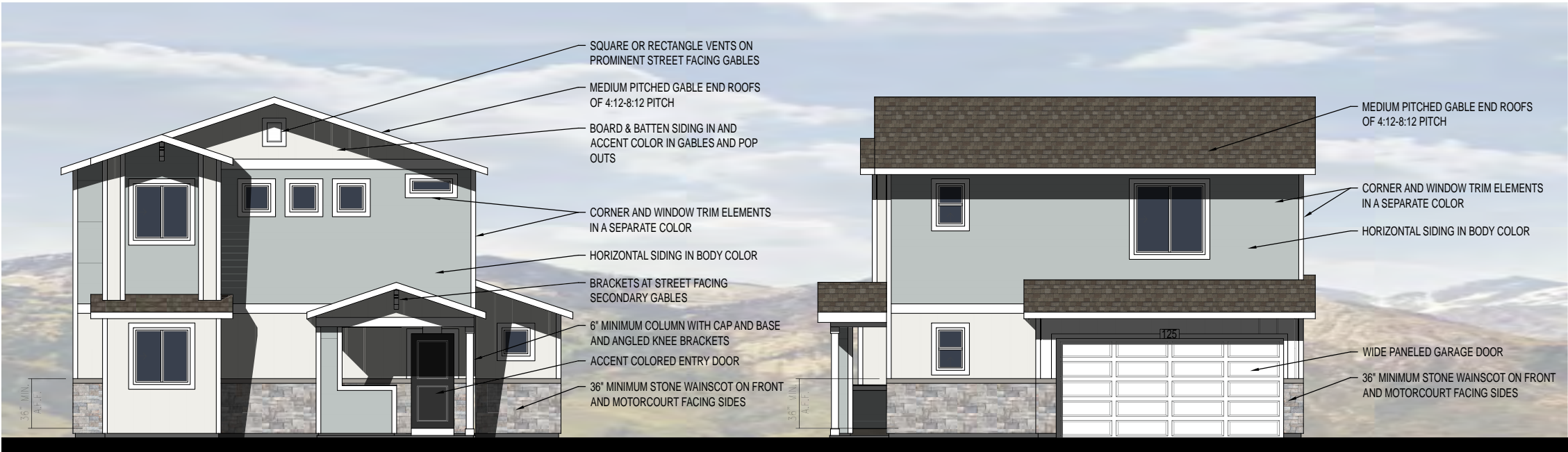
- Prominent front facing gables with medium roof pitches of 4:12-8:12 pitch
- Gable accent elements such as square or rectangular gable vents or brackets on motorcourt or street facing elevations
- Horizontal siding in a consistent body color
- Board and batten accenting in a separate color on gables, furred out elements, or entire stories separated by 8" wide trim bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



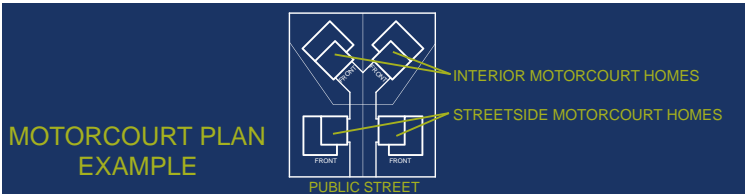
1 Typical Front Elevation - Motorcourt Interior Location
Plan 120 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 120 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 125 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 125 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

MOTORCOURT HOME TYPICAL - CONTEMPORARIE PRAIRIE ELEVATION

CONTEMPORARIE PRAIRIE STYLE

FEATURES

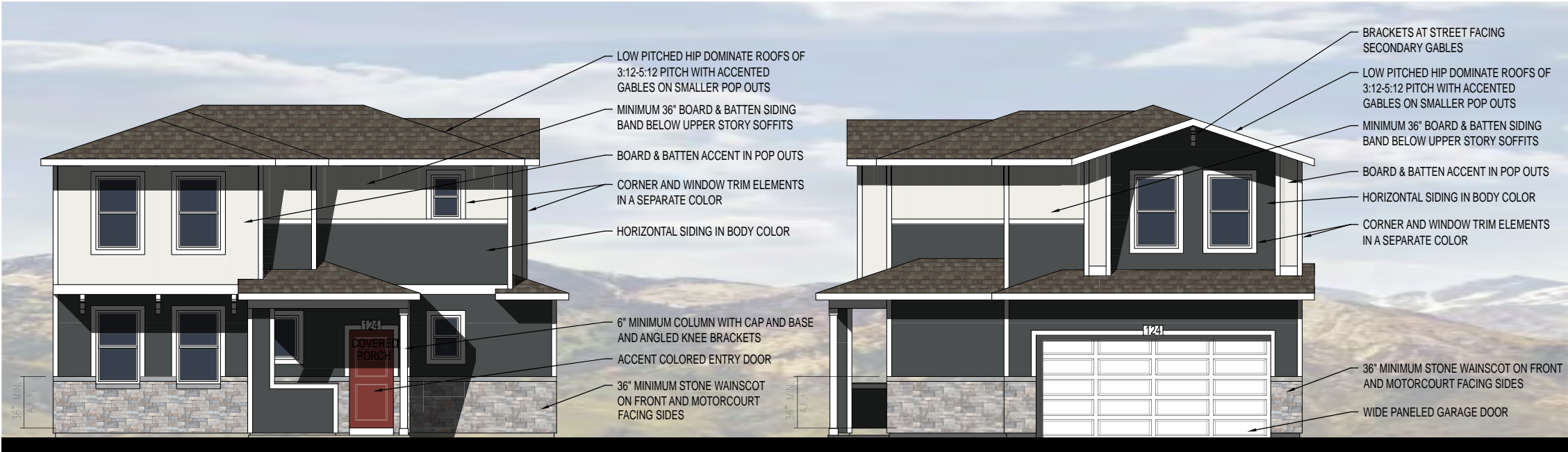
- Low sloped hipped roof of 3:12-6:12 pitch with minimum 12" soffit depth
- Horizontal siding in a consistent body color
- Board and Batten band with a 36" minimum width beneath the upper level soffit separated by trim colored bands
- Furr out elements sided with Board and Batten accent siding in a separate color
- Brackets at gable peaks on motorcourt and street facing elevations
- Minimum 6x6 columns with top angle support and top/bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on elevations facing the motorcourt
- Stone accenting at a 36" minimum height on the motorcourt and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



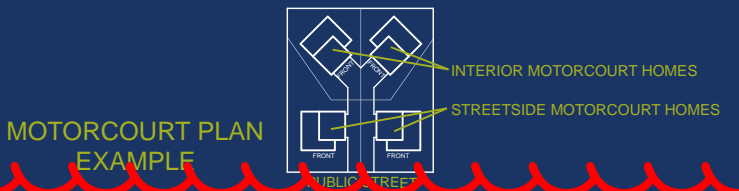
1 Typical Front Elevation - Motorcourt Interior Location
Plan 121 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 121 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 124 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 124 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

MOTORCOURT HOME TYPICAL - RANCH HOUSE ELEVATION

RANCH HOUSE STYLE

FEATURES

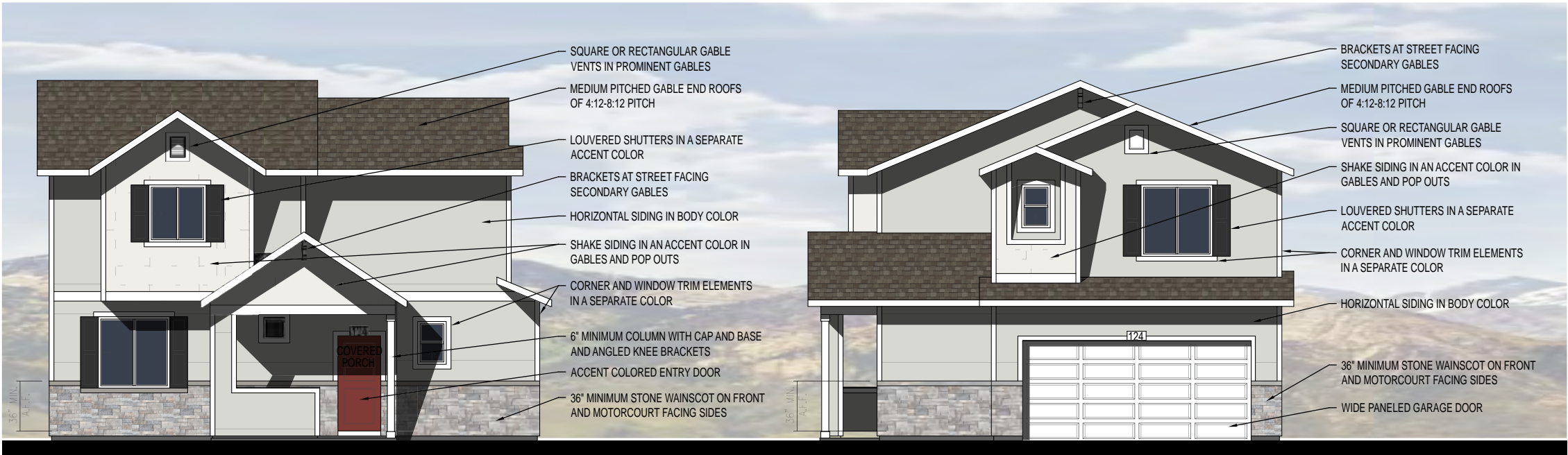
- A mix of dutch-hipped and medium pitched gable roofs with a pitch of 4:12-8:12
- Horizontal siding in a consistent body color
- Brackets at gable peaks on motorcourt and street facing elevations
- Shake accenting in a separate color on furred out elements, or entire upper stories separated by trim colored bands
- Minimum 6x6 columns with top and bottom collars
- 4" minimum width corner trim and window trim in a color separate of the main body color. Window and corner trim shall be consistent on all 4 sides of the home
- Stucco accenting at the main floor height on interior front elevations
- Stone accenting at a 36" minimum height on the front and street facing sides of homes directly abutting a public street
- Entry doors in a separate accent color to give significance to the point of entry

NOTE: All enhanced elevations shall include 3 colors and include Board and Batten areas in an accent color to match the front. no material shall encompass more than 75% of a front or street facing facade. All window trim and corner trim size and color shall carry over to all 4 sides of every home.



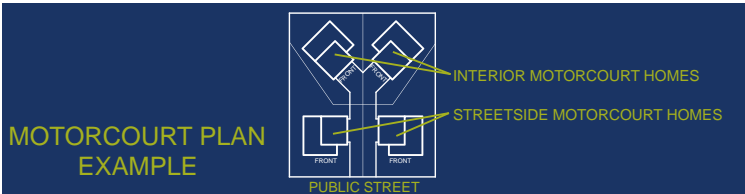
1 Typical Front Elevation - Motorcourt Interior Location
Plan 121 shown

2 Typical Side Elevation - Motorcourt Interior Location
Plan 121 shown



3 Typical Front Elevation - Motorcourt Streetside Location
Plan 124 shown

4 Typical Side Elevation - Motorcourt Streetside Location
Plan 124 shown



SECTION 5a - ARCHITECTURAL STYLES (cont.)

WANDER PORCHLIGHT II - ALL ELEVATIONS - VINYL SIDING

SCHEME #1

BODY (HORIZONTAL LAP)
 URBAN IRON (VARIFORM)

SIDING ACCENT
 DOVER WHITE (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 BLACK

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW6328 FIREWEED

STUCCO ACCENT (STONE TO REPLACE)
 SW7643 PUSSYWILLOW

SCHEME #2

BODY (HORIZONTAL LAP)
 RICH MOCHA (VARIFORM)

SIDING ACCENT
 STONE MOUNTAIN CLAY (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

GUTTER / FASCIA
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 CLAY

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW7020 BLACK FOX

STUCCO ACCENT (STONE TO REPLACE)
 SW9173 SHITAKE

SCHEME #3

BODY (HORIZONTAL LAP)
 TEAK (VARIFORM)

SIDING ACCENT
 SANDY TAN (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 CLAY

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW6186 DRIED THYME

STUCCO ACCENT (STONE TO REPLACE)
 SW7504 KEYSTONE GRAY

SCHEME #4

BODY (HORIZONTAL LAP)
 MEDITERRANEAN PALM (VARIFORM)

SIDING ACCENT
 SILVER MIST (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

GUTTER / FASCIA
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 BLACK

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW7020 BLACK FOX

STUCCO ACCENT (STONE TO REPLACE)
 SW6149 RELAXED KHAKI

SCHEME #5

BODY (HORIZONTAL LAP)
 DOVER WHITE (VARIFORM)

SIDING ACCENT
 DOVER WHITE (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 BLACK METAL / SW6258 TRICORN BLACK

SHUTTER (PER PLAN)
 BLACK

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW6258 TRICORN BLACK

STUCCO ACCENT (STONE TO REPLACE)
 SW7015 REPOSE GRAY

SCHEME #6

BODY (HORIZONTAL LAP)
 DEEP BRUNSWICK (VARIFORM)

SIDING ACCENT
 SILVER MIST (VARIFORM)

TRIM ITEMS: CORNER / WINDOW & DOOR TRIM / SOFFIT / COLUMNS / VENTS / BRACKETS / CORBELS
 WHITE METAL / SW7005 PURE WHITE

FASCIA / GUTTER
 WHITE METAL / SW7005 PURE WHITE

SHUTTER (PER PLAN)
 CLAY

GARAGE DOOR
 PRE-FINISHED WHITE

ENTRY DOOR COLOR
 PAINT SW2857 PEACE YELLOW

STUCCO ACCENT (STONE TO REPLACE)
 SW7643 PUSSYWILLOW

STONE CHOICES (IF SELECTED)



HUNTINGTON DIVINO LEDGE



SLATE LEUDERS



WHITE SAND DIVINO LEDGE



MIDNIGHT CHEIF JOSEPH



ALL ROOFING
GAF TIMBERLINE
"WEATHERED WOOD"



JORDAN
PROMENADE

SECTION 5a - ARCHITECTURAL STYLES (cont.)

COACH HOUSE & COACHLIGHT - WANDER

SCHEME #1

BODY 1 (HORIZONTAL LAP D5)
SILVER MIST

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7641 COLONADE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #2

BODY 1 (HORIZONTAL LAP D5)
BRIARWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
SANDY TAN

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW7033 BRAINSTORM BRONZE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #3

BODY 1 (HORIZONTAL LAP D5)
WEDGEWOOD

BODY 2 (B+B OR SHAKE PER ELEVATION)
FLINT

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7624 SLATE TILE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #4

BODY 1 (HORIZONTAL LAP D5)
SAGEBROOK

BODY 2 (B+B OR SHAKE PER ELEVATION)
SPANISH OLIVE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6201 THUNDEROUS

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #5

BODY 1 (HORIZONTAL LAP D5)
STONE MOUNTAIN CLAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW7504 KEYSTONE GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #6

BODY 1 (HORIZONTAL LAP D5)
MEDITERRANEAN PALM

BODY 2 (B+B OR SHAKE PER ELEVATION)
NATURAL ALMOND

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6204 SEA SALT

STUCCO COLOR
SW6181 SECRET GARDEN

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #7

BODY 1 (HORIZONTAL LAP D5)
IRISH THISTLE

BODY 2 (B+B OR SHAKE PER ELEVATION)
SILVER MIST

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6200 LINK GRAY

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #8

BODY 1 (HORIZONTAL LAP D5)
PEWTER

BODY 2 (B+B OR SHAKE PER ELEVATION)
GEORGIAN GRAY

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7005 PURE WHITE

STUCCO COLOR
SW2848 ROYCROFT PEWTER

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #9

BODY 1 (HORIZONTAL LAP D5)
URBAN IRON

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
WHITE

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6327 FIREWEED

STUCCO COLOR
SW7069 IRON ORE

COMPOSITION ROOFING
GAF TIMBERLINE NS "CHARCOAL"

SCHEME #10

BODY 1 (HORIZONTAL LAP D5)
SPANISH OLIVE

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: DOVER WHITE / WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
BROWN

SHUTTERS
MUSKET BROWN

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW7020 BLACK FOX

STUCCO COLOR
SW6164 SVELTE SAGE

COMPOSITION ROOFING
GAF TIMBERLINE NS "WEATHERED WOOD"

SCHEME #11

BODY 1 (HORIZONTAL LAP D5)
GEORGIAN GRAY

BODY 2 (B+B OR SHAKE PER ELEVATION)
DOVER WHITE

TRIM ITEMS: WINDOW & CORNER/ COLUMNS / RAILING / VENTS / SOFFITS
VINYL: WHITE
PAINTED AREAS: SW7005 PURE WHITE

GUTTER AND FASCIA
WHITE

SHUTTERS
BLACK

GARAGE DOOR
WHITE

FRONT DOOR COLOR
PAINT SW6258 TRICORN BLACK

STUCCO COLOR
SW7064 PASSIVE

COMPOSITION ROOFING
GAF TIMBERLINE NS "CHARCOAL"

****NOTE: ALL WINDOW FRAMES ARE TO BE WHITE****

SECTION 5b - EXTERIOR COLOR PALETTE






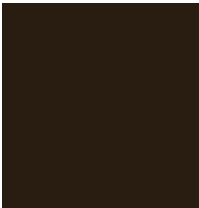
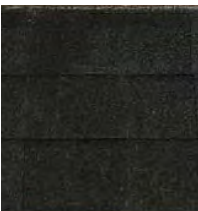

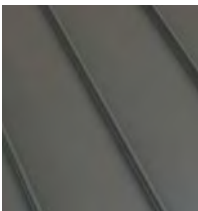
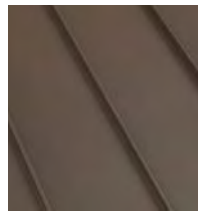


POOLHOUSE EXTERIOR COLOR PALETTE

All exterior colors will be compatible with the architectural style of the community. Bright artificial colors such as neons, fluorescents, etc. are prohibited.

The exterior color palette of Jordan Promenade is based on the natural tones found in the Utah landscape. The clubhouse siding shall be primarily light earthy, neutral hues. Siding styles include lap siding, board and batten, or other typical siding styles. Accent colors may be used for doors, casing, window trim or other architectural features and could include reds, dark bronze or others.

Roof material may be shingles or standing seam metal roofing. Roof colors shall be darker tones including grays, dark browns, or similar.

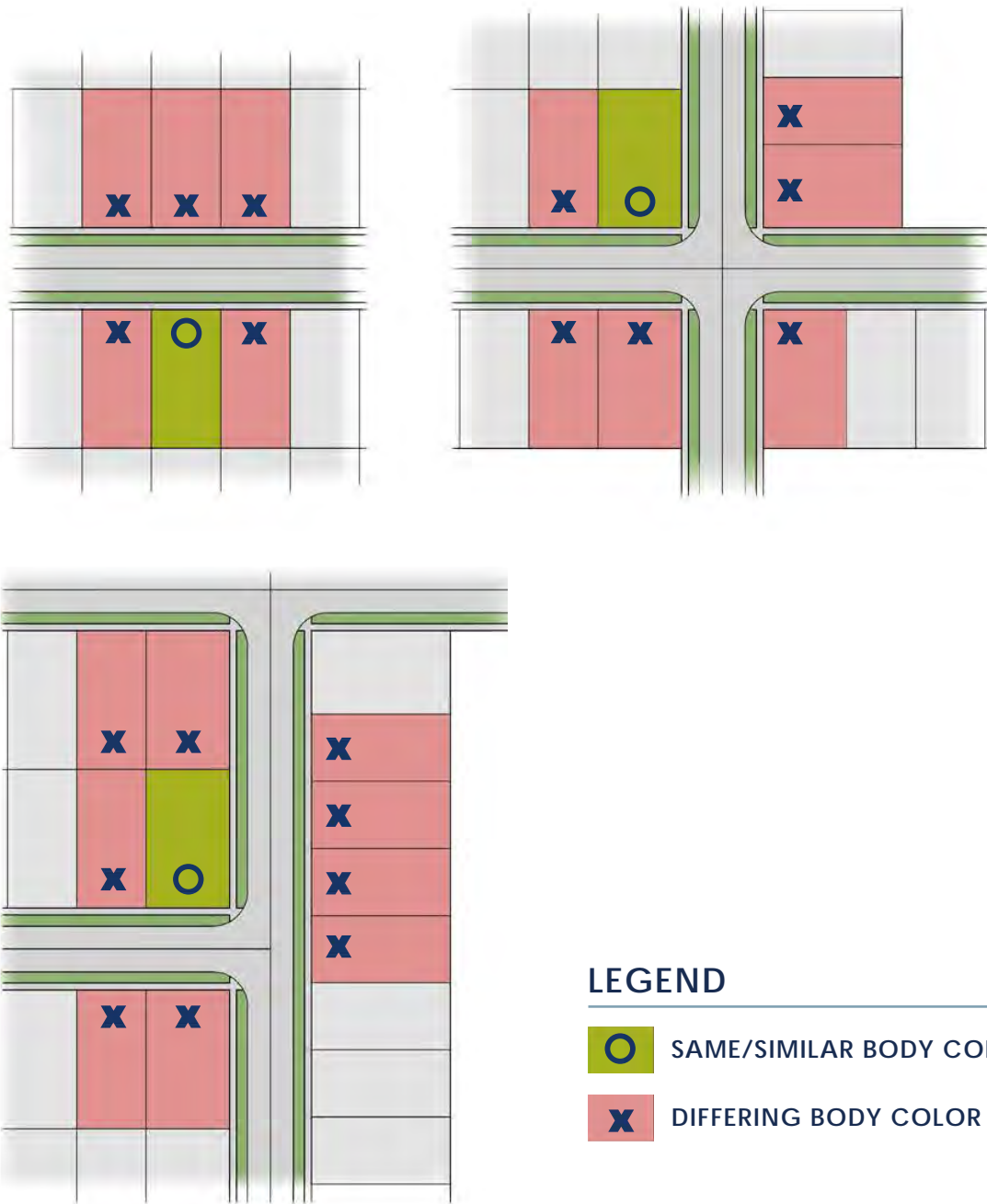
The palette below shows typical selections from the exterior color palette. Additional colors shall be allowed per the guidelines above.

SIDING				ACCENT COLORS	
					
ROOF TYPES/COLORS				STONE	
					

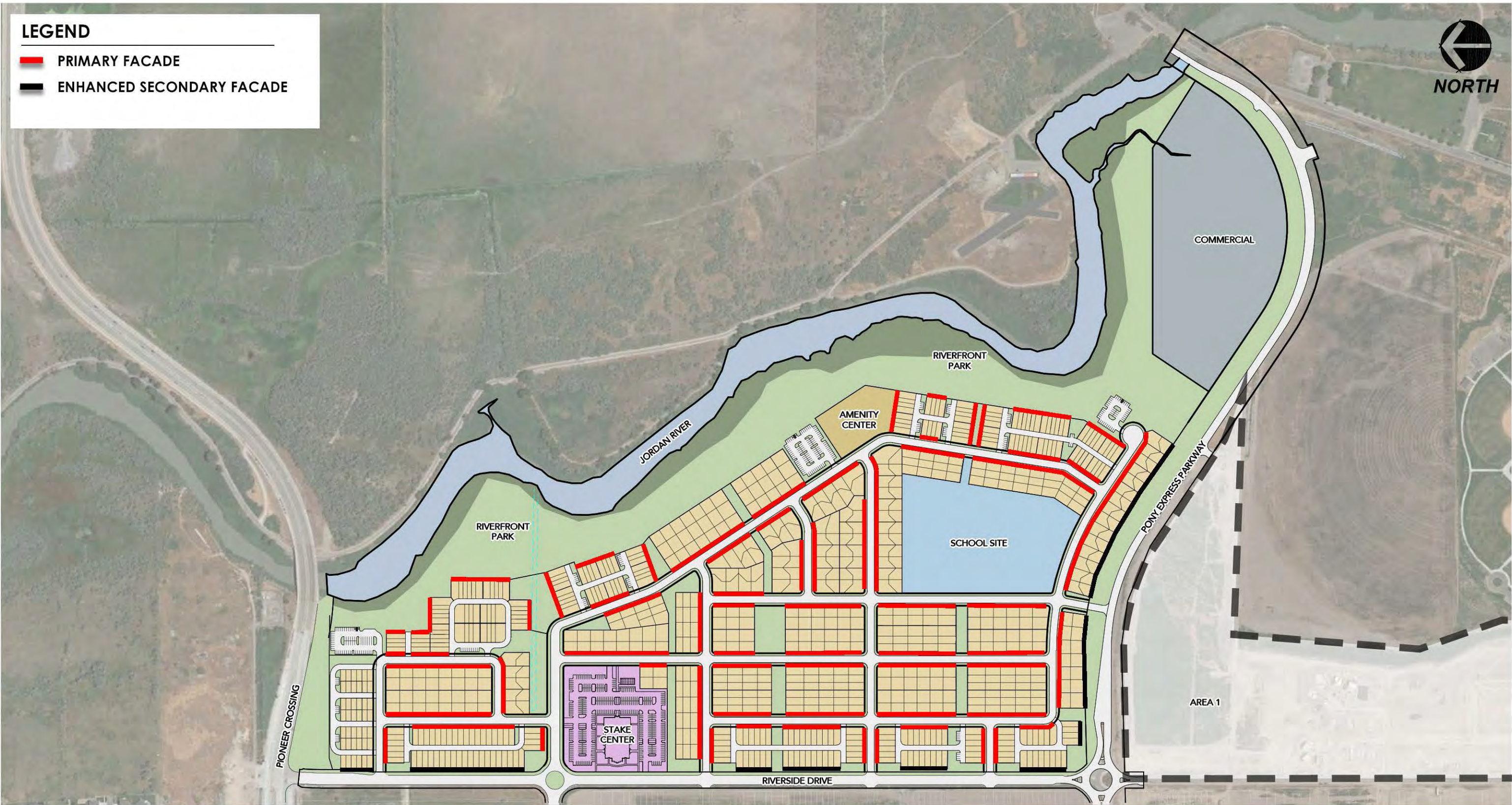


RHYTHM AND PLACEMENT

Color variation is critical in establishing a sense of character in each neighborhood and for preserving architectural interest in each home. Therefore, homes with the same or similar main body color may not occur across from, next to or diagonal from each other. Neighboring dwellings may share similar trim, accent, roof and stone colors. Verification of rhythm and placement to be the responsibility of the homebuilder. Verification will be completed with the building permit application. The following diagrams illustrate the guidelines described above:



SECTION 5c - ENHANCED FACADE PLAN





SECTION 5d - FENCING GUIDELINES

Fencing guidelines shall adhere to the standards set forth in the approved Jordan Promenade Community Plan. Fencing layouts and styles shall be determined at Final Plat. Jordan Promenade establishes a consistent theme for project fencing and site furnishings that reflects the natural elements of the Jordan River and the Utah Lake area. Fencing types and site furnishings incorporate materials that complement the proposed entry monuments and overall character of the neighborhood.

- **Project Perimeter Fence:** Privacy fencing (6' tall) shall be constructed of vinyl or Trex material along perimeter arterial roadways with regularly spaced stone columns in a style that relates to the character and theme of project entry features.
- **Internal Privacy Fence:** Privacy fencing (6' or 8' tall) shall be constructed of vinyl material along internal collector roadways with stone columns located at boundary corners in a style that relates to the character and theme of project entry features.
- **Open Space Fence:** Two options for open space fencing shall be constructed along internal trail and open space corridors, on property lines adjacent to open space tracts, and along the Jordan River and hot springs park. Stone columns are located at boundary corners in a style that relates to the character and theme of project entry features.

1. Vinyl Rail Fencing

3 to 4 rail fencing (min. 3.5' tall) constructed of tan vinyl or wood material.

2. Ornamental Metal Fencing

Black metal ornamental fencing (min. 3.5' tall).



Perimeter Fence Option A



Perimeter Fence Option B and Internal Privacy Fence

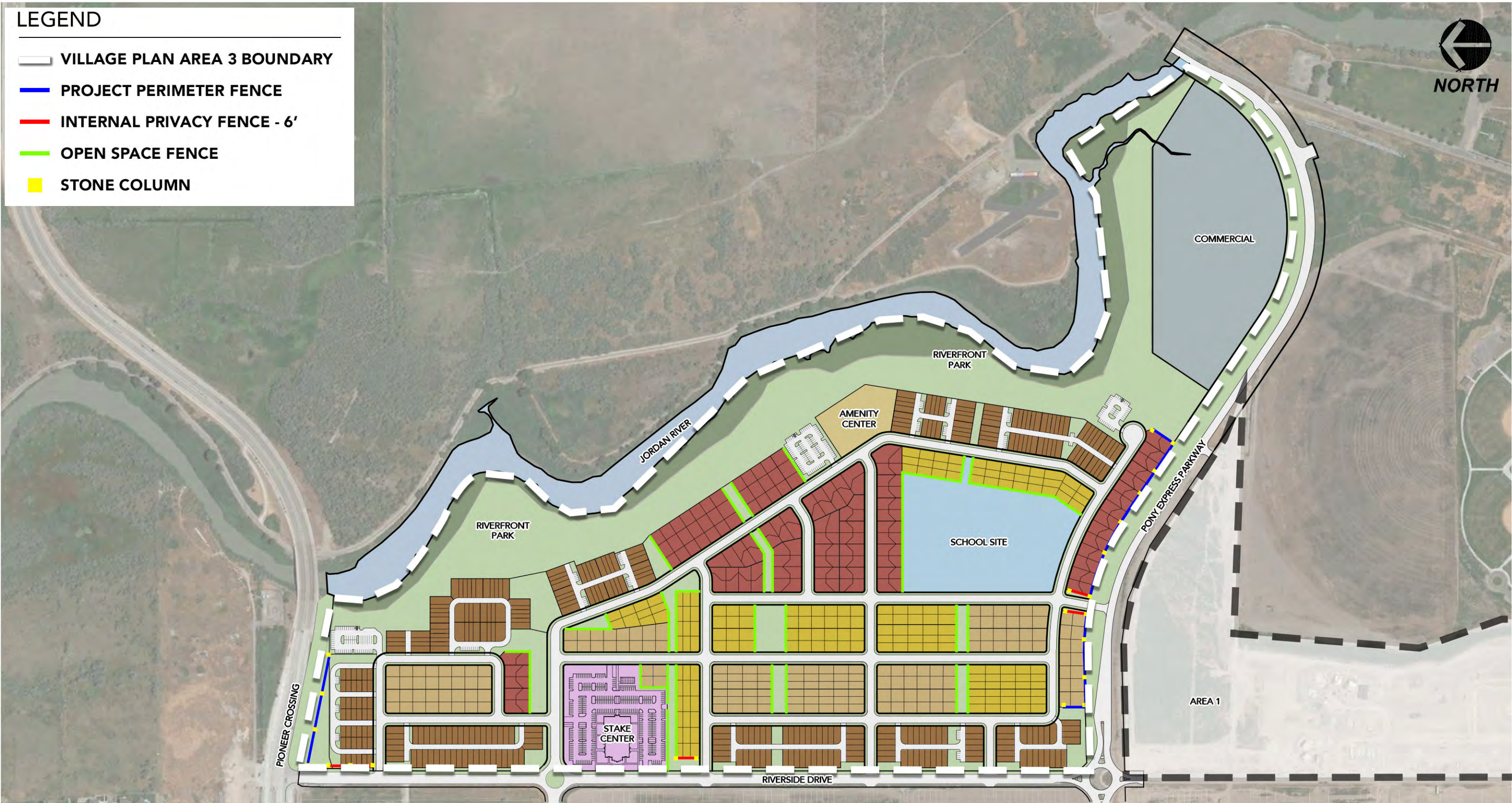


Vinyl Rail Fencing



Ornamental Metal Fencing

SECTION 5e - FENCING PLAN





SECTION 5f - RIVERFRONT PARK

Amenities Plan

The Riverfront Park at Wander comprises approximately 28 acres of land situated along the west bank of the Jordan River. The park will be constructed by the Developer and dedicated to the City of Saratoga Springs for ownership and ongoing maintenance. The park shall be designed and constructed in sections concurrent with the platting and construction of adjacent neighborhood areas. A Conceptual Plan shown on Page 84 shows the Initial Improvements of the park which includes all the upland areas. Another Conceptual Plan on Page 85 shows the Final Improvements which includes riverbank improvements which are primarily on land owned by the State of Utah. The following is a list of improvements for the Riverfront Park.

Initial Improvements - Trails, Landscaping and Amenities

Constructed by: Developer

Maintained by & Dedicated to: City of Saratoga Springs

Accessible to: General Public

Amenities include:

- a. Trails
- b. Landscaping
- c. Trained and Parking Lot
- d. Public Restrooms and Drinking Fountains
- e. Playground (Ages 2-5 and/or Ages 6-12)
- f. Shade Structures
- g. Site furnishings (benches/trash receptacles/bike racks/picnic areas)
- h. River Overlook

The initial improvements of the park shall be designed and constructed concurrent with the platting and construction of adjacent neighborhood areas. The improved areas will be limited to the area of land being dedicated to the city. Improvements on (or to) State of Utah land (riverbanks) will not be included in the initial phases of construction.

Final Improvements - River Bank Improvements

Constructed by: Developer

Maintained by & Dedicated to: State of Utah and/or City of Saratoga Springs

Accessible to: General Public

Amenities include:

- a. River put-in locations
- b. Stabilization / Erosion Mitigation
- c. Phragmites Removal
- d. Habitat Restoration



SECTION 5f - RIVERFRONT PARK (cont.)

Park Minimum Requirements

The amenities listed below are the minimum required amenities for the Riverfront Park. As specified in the Community Plan, amenities shall be constructed and paid for by the developer. Per the approved Development Agreement, some amenities are eligible for reimbursement from the city. Provisions for additional amenities not listed below, along with cost sharing agreements, shall be negotiated between the city manager/city planning staff and the developer.

- Primary Trail – 10' wide concrete trail, extending from Pioneer Crossing to Pony Express Pkwy. per the approved Development Agreement
 - Note: The marshy area north of the neighborhood commercial areas is undergoing an environmental study. If this area is determined to be a Jurisdictional Wetland per the US Army Corps of Engineers, then alternative trail alignments or construction methods (such as a boardwalk) may be required.
- Restrooms – Public restrooms will be constructed with one toilet per 5 acres of park per city standards. Location may vary depending on geologic conditions and/or utility connection capabilities.
- Access Trails to Neighborhood – 10' wide concrete
- Secondary Trails – 4'-6' wide concrete or soft surface at developer's discretion. All secondary trails that lead to river overlook points or river access points shall be 5' wide concrete.
- North Parking Area at Trailhead
- Central Parking Area at Playgrounds
- South Parking Area at Sculpture Garden
- Primary Shade Shelter / Pavilion – At least one shade shelter of at least 1,000 sq. ft. (25'x40')
- Playground (Ages 2-5) – at least 3 pieces of equipment
- Playground (Ages 5-12) – At least 5 pieces of equipment including one swing set and one multi-play structure
- Benches – Benches shall be provided along the primary trail approximately every 500'. Benches along the primary trail shall also include a shade shelter.
- Kayak Launch - public access kayak launch for the Jordan River

A conceptual site plan of the Riverfront Park is provided on Page 83 of this Village Plan that includes the amenities listed below. Please note that this plan is CONCEPTUAL only. The final location of each amenity may be changed as necessary to meet state, federal and local ordinances, or to respond to physical site characteristics such as topography, groundwater, wetlands, etc.

Public Art / Sculpture Garden

An area for public art will be provided on secondary pathways along the primary trail. The

SECTION 5f - RIVERFRONT PARK (cont.)

Phasing / Timing

The park shall be designed and constructed in sections concurrent with the platting and construction of adjacent neighborhood areas.

Construction and Cost Sharing Plan

As specified in the Community Plan, all open space amenities and improvements will be constructed by the developer. Additional amenities beyond those required may be paid for through a negotiated cost sharing agreement between the City and the developer.

Amenities constructed and paid for by Developer

- Parking Areas
- Trails
- Playgrounds
- Restrooms
- Shade Shelters
- Kayak Launch
- Landscaping
- Site Furnishings
- One Sculpture Garden display area (including 1 sculpture)
- Drinking Fountains
- River Overlook

Ownership and Maintenance

After the construction of each phase of the Riverfront Park, the developer will warranty and maintain all required amenities, trails and landscaping for a period of one (1) year. The Developer and City staff will conduct a turnover walk at the end of this period and the developer shall remedy any deficiencies after which ownership and maintenance responsibilities will be transferred to the City of Saratoga Springs.





SECTION 6 - ASSOCIATIONS

HOMEOWNERS' ASSOCIATION

In accordance with Section 19.26.03.2.d of the Planned Community Zone Ordinance in the Saratoga Springs Municipal Code, a Homeowners' Association (HOA) will be established to review, approve, and enforce architectural requirements and restrictions, and to address common area maintenance obligations. HOA-specific rules and regulations including CC&Rs (Covenants, Conditions & Restrictions) will be utilized to enforce the neighborhood requirements of the HOA. Church uses within Jordan Promenade Village Plan Area 3 shall be exempt from inclusion in the HOA and its authority.

SECTION 7 - PHASING & MAINTENANCE

PHASING

Jordan Promenade Village Plan Area 3 is the third of 3 major phases for the Jordan Promenade Development. Village Plan Area 3 will be developed in 3 phases as illustrated in the Phasing Plan (Section 7a). Due to the unpredictable nature of the real estate market, the phases may not occur in the numbered order below. Each phase shall construct all necessary utilities (including off-site improvements) to service the homes being platted.

Phase 1 of Village Plan Area 3 is planned with the development of a school site, one commercial parcel, a private amenity center, and a portion of the Jordan Riverfront Park. The residential portion in this phase will include cluster homes and townhomes/paired homes.

Phase 2 of Village Plan Area 3 is planned with the development of a model home complex, a stake center and a portion of the Jordan Riverfront Park. The residential portion in this phase will include cluster homes and townhomes/paired homes.

Phase 3 of Village Plan Area 3 is planned with the development of a portion of the Jordan Riverfront Park. The residential portion in this phase will include cluster homes and townhomes/paired homes.

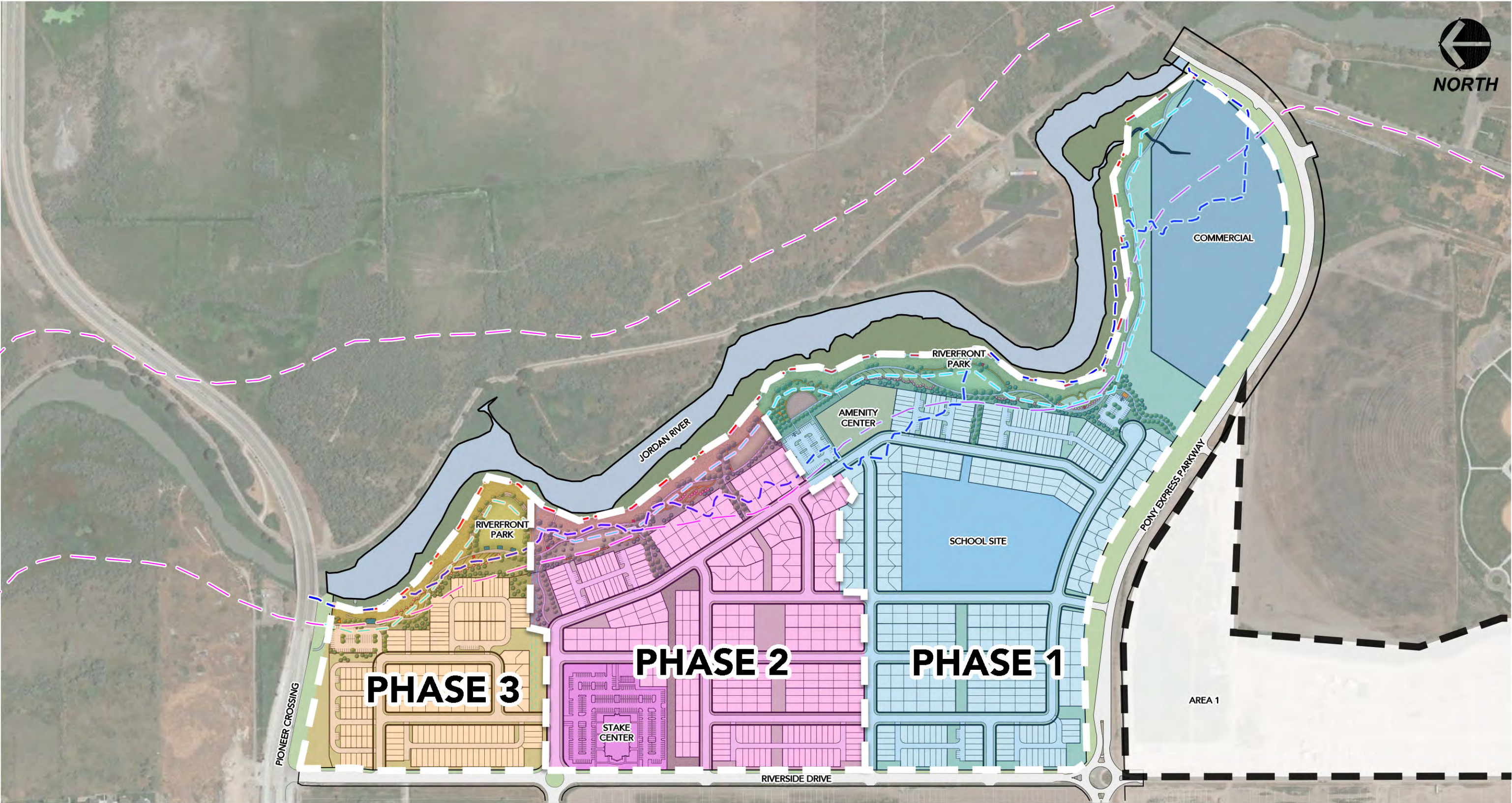
MAINTENANCE

Maintenance for all parks and open space areas within the Area 3 Village Plan will be provided by the Jordan Promenade Homeowners' Association or by the City of Saratoga Springs. Maintenance of city owned parks and open space (such as the Riverfront Park) will be provided by the City of Saratoga Springs. Maintenance of privately owned parks and open space (such as the private amenity center and landscape tracts) will be provided by the Jordan Promenade Homeowners' Association.

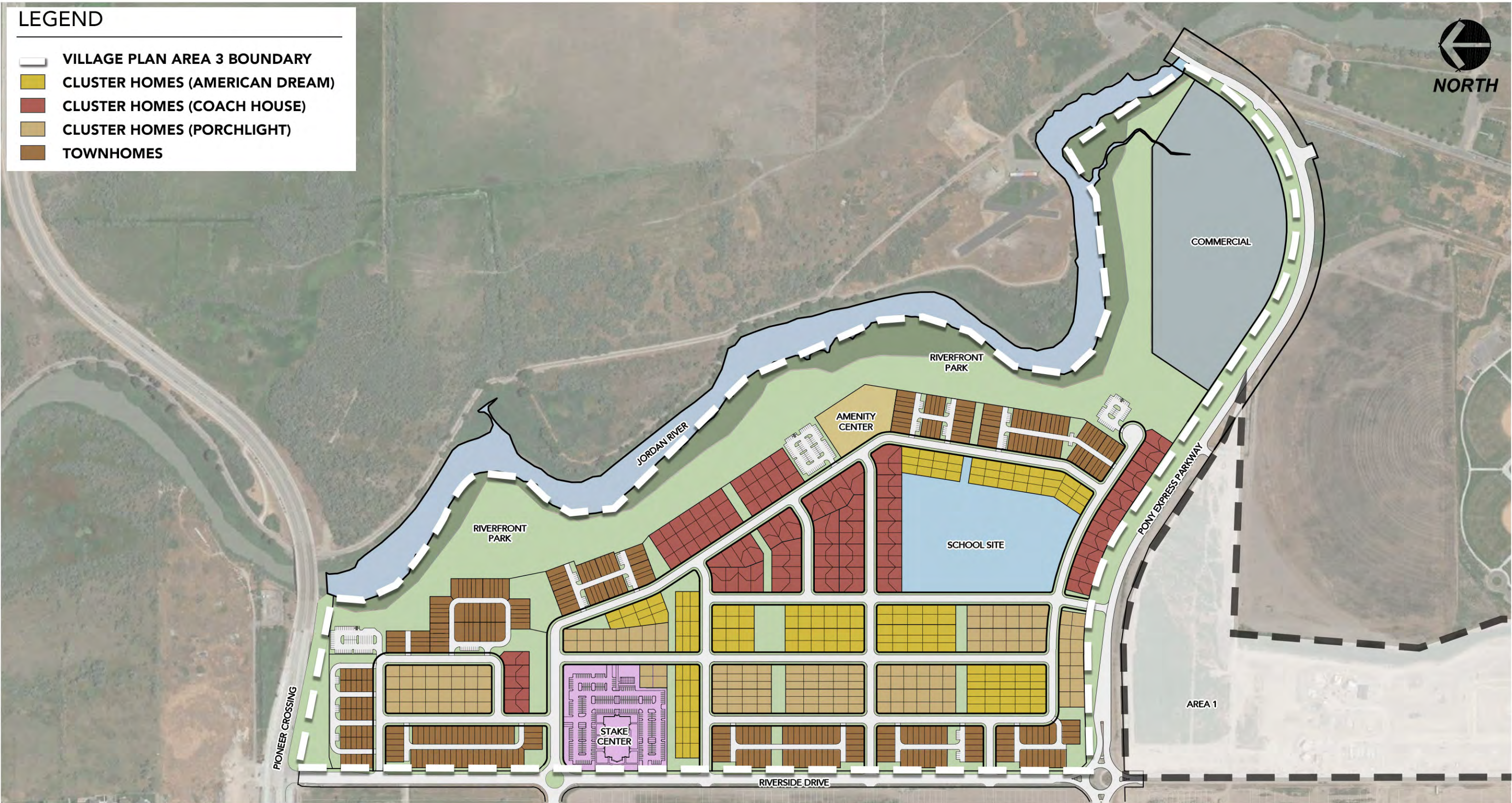
The Riverfront Park Maintenance Exhibit on Page 86 show approximate boundaries of ownership and maintenance responsibilities for the City of Saratoga Springs owned park and adjacent HOA. These boundaries will be finalized with legally defined tracts during the plat process.



SECTION 7a - PHASING PLAN



SECTION 8 - LOTTING MAP



SECTION 9 - LANDSCAPE PLAN & PLANT PALETTE

Jordan Promenade establishes a consistent landscape theme that reflects the natural elements of the Jordan River and the Utah Lake area. Project entryways and developed parks will provide landscaping that is manicured and conducive to high-intensity uses while areas along the project perimeter, internal trail corridors and along passive portions of the Jordan River are designed with native plant material to compliment the natural elements of the area. General descriptions of the proposed landscape treatments for various project areas, landscape plans, and the Village Plan plant palette are below.

Proposed community landscaping shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.06.

PROJECT ENTRYWAY LANDSCAPE

Landscaping at major project entry points incorporates irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to accent the entryway monument areas as well as the vehicular and pedestrian access points leading into the community.

JORDAN RIVERFRONT PARK LANDSCAPE

Landscaping at the Jordan Riverfront Park incorporates treatments that are conducive to high-intensity uses and that provide a manicured appearance in areas of gathering. Landscape treatments include irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to provide open areas for recreation, buffering to adjacent roadways and structures, as well as shaded areas around passive uses and features such as playgrounds. Landscaping along passive corridor spaces in the Jordan Riverfront Park incorporates natural plantings schemes, swaths of native grass areas and opportunities for viewing the Jordan River. Restoration efforts are planned for selected areas along the banks of the Jordan River, with native and riverside plantings replacing the existing invasive species.

PROJECT PERIMETER, TRAIL CORRIDORS, & NATURAL AREA LANDSCAPE

Landscaping along the project perimeter, internal trail corridors, and along passive portions of the Jordan River reflects the natural appeal of the Jordan River and the Utah Lake area. Native grasses accented by wildflowers are planted adjacent to trail corridors and pedestrian walkways. Native deciduous and evergreen shrub and tree plantings are dispersed throughout the native areas to buffer existing roadways and perimeter fence lines and to provide transition from manicured park areas to the banks of the Jordan River bordering the east edge of the community.



SECTION 9a - OVERALL LANDSCAPE CONCEPT PLAN



SECTION 9b - PLANT PALETTE

LARGE TREES (>50', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	ACER PLATANOIDES 'EMERALD QUEEN'*	EMERALD QUEEN NORWAY MAPLE*
DECIDUOUS	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE
DECIDUOUS	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE
DECIDUOUS	QUERCUS MACROCARPA*	BUR OAK*
DECIDUOUS	TILIA TOMENTOSA*	SILVER LINDEN*
EVERGREEN	PINUS NIGRA	AUSTRIAN PINE
EVERGREEN	PINUS SYLVESTRIS	SCOTCH PINE

MEDIUM TREES (45' to 50', 2" CALIPER)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	GYMNOCLADUS DIOICUS 'ESPRESSO-JFS' *	ESPRESSO KENTUCKY COFFEETREE*
DECIDUOUS	CELEDITHA TRICANTHOS VAN INERMIS	THORNLESS HONEYLOCUST*
EVERGREEN	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER

ORNAMENTAL TREES (<25', 2" CALIPER)**

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	AMELANCHIER SPP.	SERVICEBERRY
DECIDUOUS	CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN
DECIDUOUS	MALUS X 'PRAIRIEFIRE'	PRARIEFIRE CRABAPPLE
DECIDUOUS	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE
DECIDUOUS	PRUNUS Cerasifera 'THUNDERCLOUD'	FLOWERING PLUM

*DENOTES COMPATIBILITY FOR USE AS A STREET TREE.

**FRUIT-BEARING TREES SHALL NOT BE PLACED ADJACENT TO PUBLIC SIDEWALKS.

TURF GRASS

TYPE	BOTANICAL NAME	COMMON NAME
TURF GRASS	POA PRATENSIS	KENTUCKY BLUEGRASS
TURF GRASS	BOUTELOUA DACTYLOIDES	BUFFALO GRASS
TURF GRASS	VARIOUS	NATIVE GRASS MIXTURE

NOTE: THIS LIST IS MEANT AS A SAMPLE PALETTE AND IS NOT REPRESENTATIVE OF ALL SPECIES THAT MAY BE USED.





SECTION 9b - PLANT PALETTE (cont.)

SHRUBS (5 GALLON)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	CHRYSOETHAMNUS NAUSEOSUS	RABBITBRUSH
DECIDUOUS	CORNUS SERICEA	RED OSIER DOGWOOD
DECIDUOUS	PEROVSKIA ARTIPLICIFOLIA	RUSSIAN SAGE
DECIDUOUS	PHILADELPHUS CORONARIUS 'AUREUS'	GOLDEN MOCK ORANGE
DECIDUOUS	ROSA 'RADRAZZ'	KNOCKOUT ROSE
DECIDUOUS	SYRINGA X PRESTONIAE 'JAMES MACFARLANE'	JAMES MACFARLANE LILAC
EVERGREEN	CYTISUS PURGAN 'SPANISH GOLD'	SPANISH GOLD BROOM
EVERGREEN	PINUS MUGO 'SLOWMOUND'	DWARF MOUNTAIN PINE

GRASSES & PERENNIALS

TYPE	BOTANICAL NAME	COMMON NAME
PERENNIAL	ASCLEPIAS SPECIOSA	SHOWY MILKWEED
PERENNIAL	ASTER SP.	ASTER
PERENNIAL	AURINIA SAXATILIS	BASKET OF GOLD
PERENNIAL	CARYOPTERIS CLANDONENSIS	BLUE MIST SPIREA
PERENNIAL	CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER
PERENNIAL	ECHINACEA PURPUREA	PURPLE CONEFLOWER
PERENNIAL	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY
PERENNIAL	LEUCANTHEMUM X SUPERBUM 'ALASKA'	ALASKA SHASTA DAISY
PERENNIAL	LINUM LEWISII	LEWIS BLUE FLAX
PERENNIAL	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON
PERENNIAL	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM
PERENNIAL	STACHYS BYZANTINA 'HELEN VON STEIN'	LAMB'S EAR
GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS
GRASS	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS
GRASS	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS
GRASS	PENNISETUM ALOPERCUROIDES 'HAMELN'	HARDY FOUNTAIN GRASS

NOTE: THIS LIST IS MEANT AS A SAMPLE PALETTE AND IS NOT REPRESENTATIVE OF ALL SPECIES THAT MAY BE USED.

SECTION 10 - UTILITY PLANS

The following plans provide further detail on the utilities provided in Jordan Promenade Village Plan Area 3:

Section 10a: Culinary Water Plan

Section 10b: Secondary Water Plan

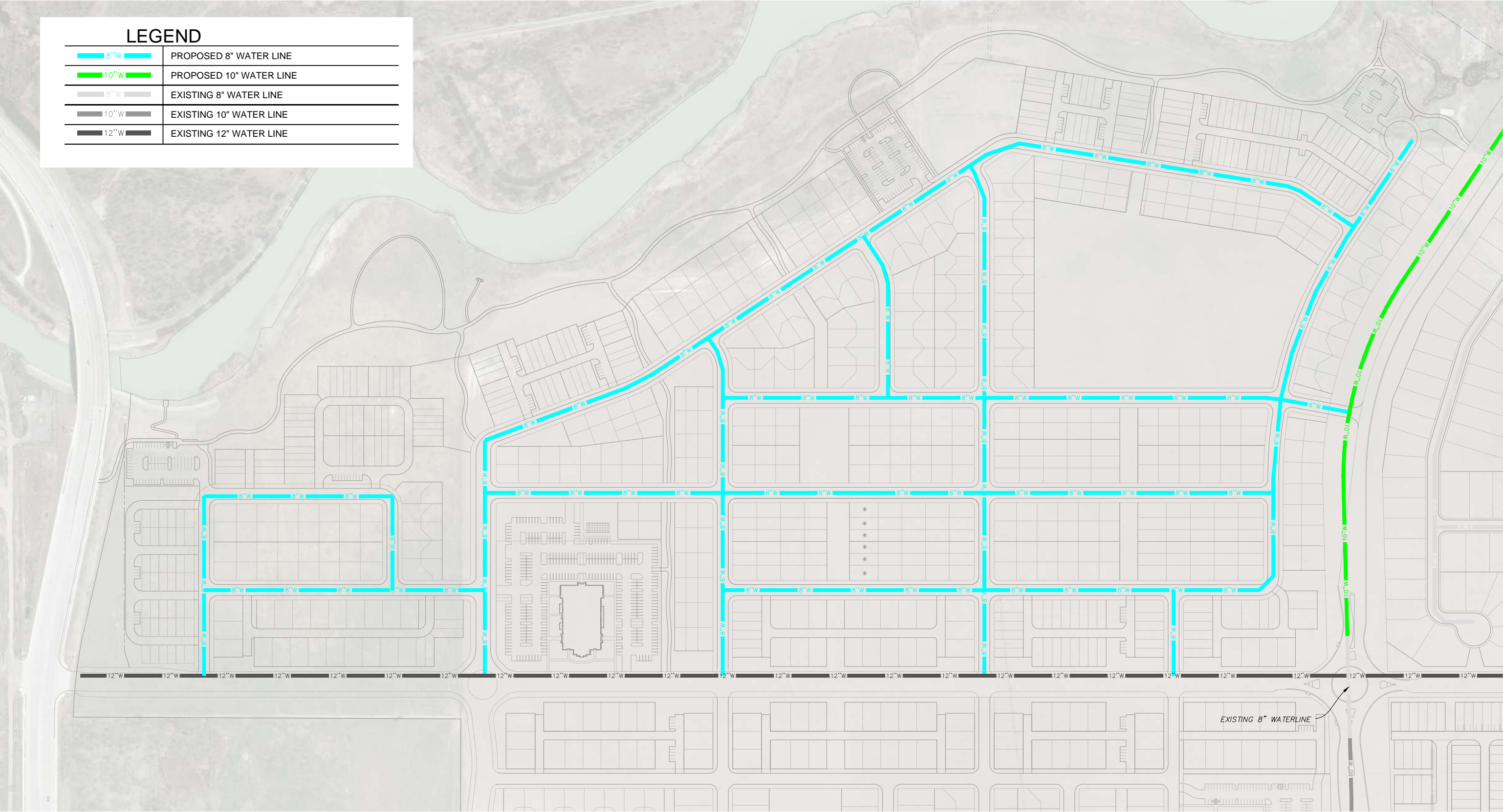
Section 10c: Sanitary Sewer Plan

Section 10d: Storm Water Drainage Plan

Section 10e: Storm Water Drainage 100 Year Overland Flow Route



SECTION 10a - CULINARY WATER PLAN



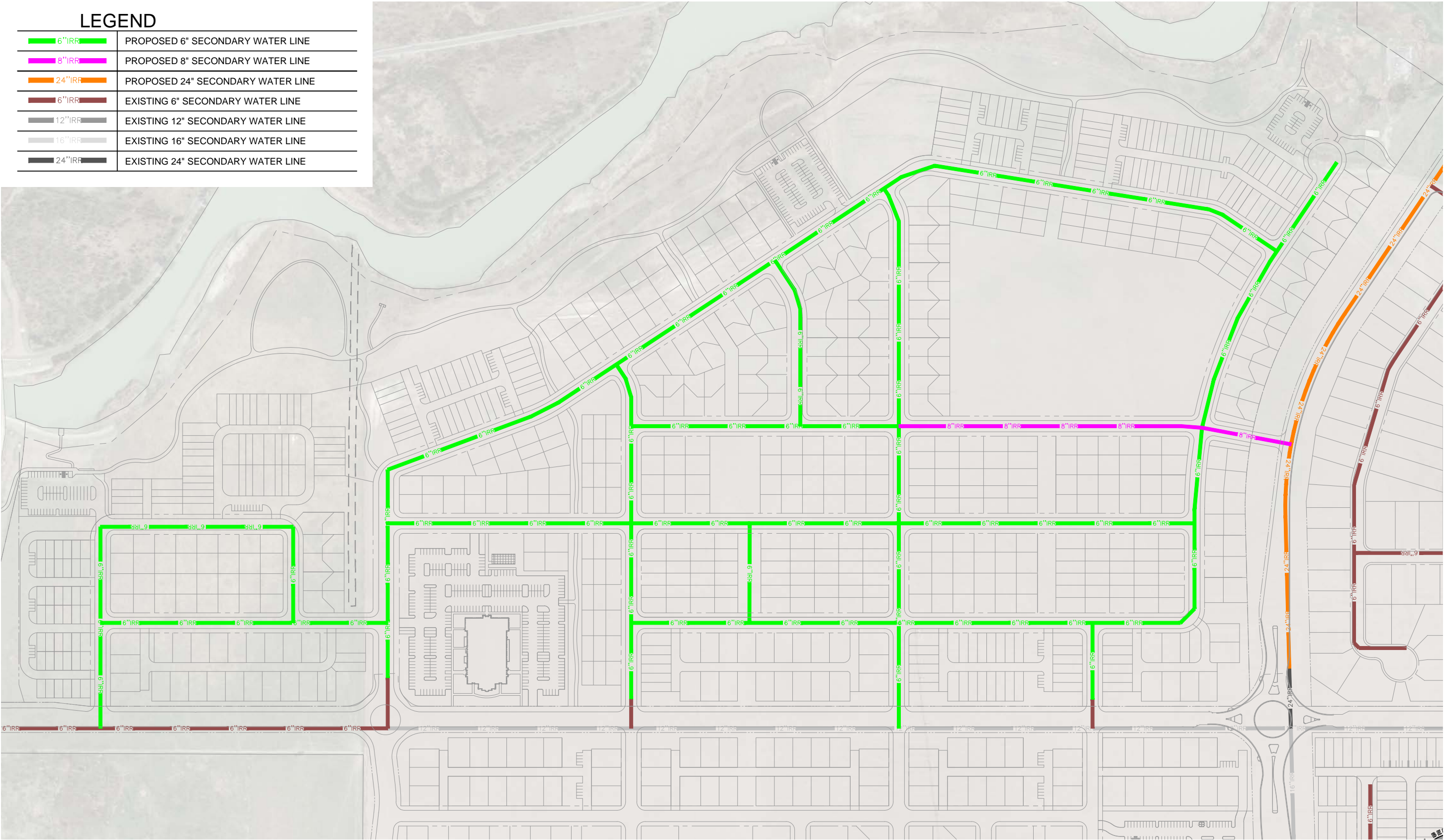
NOTE: Refer to the Community Plan for additional information.



SECTION 10b - SECONDARY WATER PLAN

LEGEND

6"IRR	PROPOSED 6" SECONDARY WATER LINE
8"IRR	PROPOSED 8" SECONDARY WATER LINE
24"IRR	PROPOSED 24" SECONDARY WATER LINE
6"IRR	EXISTING 6" SECONDARY WATER LINE
12"IRR	EXISTING 12" SECONDARY WATER LINE
16"IRR	EXISTING 16" SECONDARY WATER LINE
24"IRR	EXISTING 24" SECONDARY WATER LINE

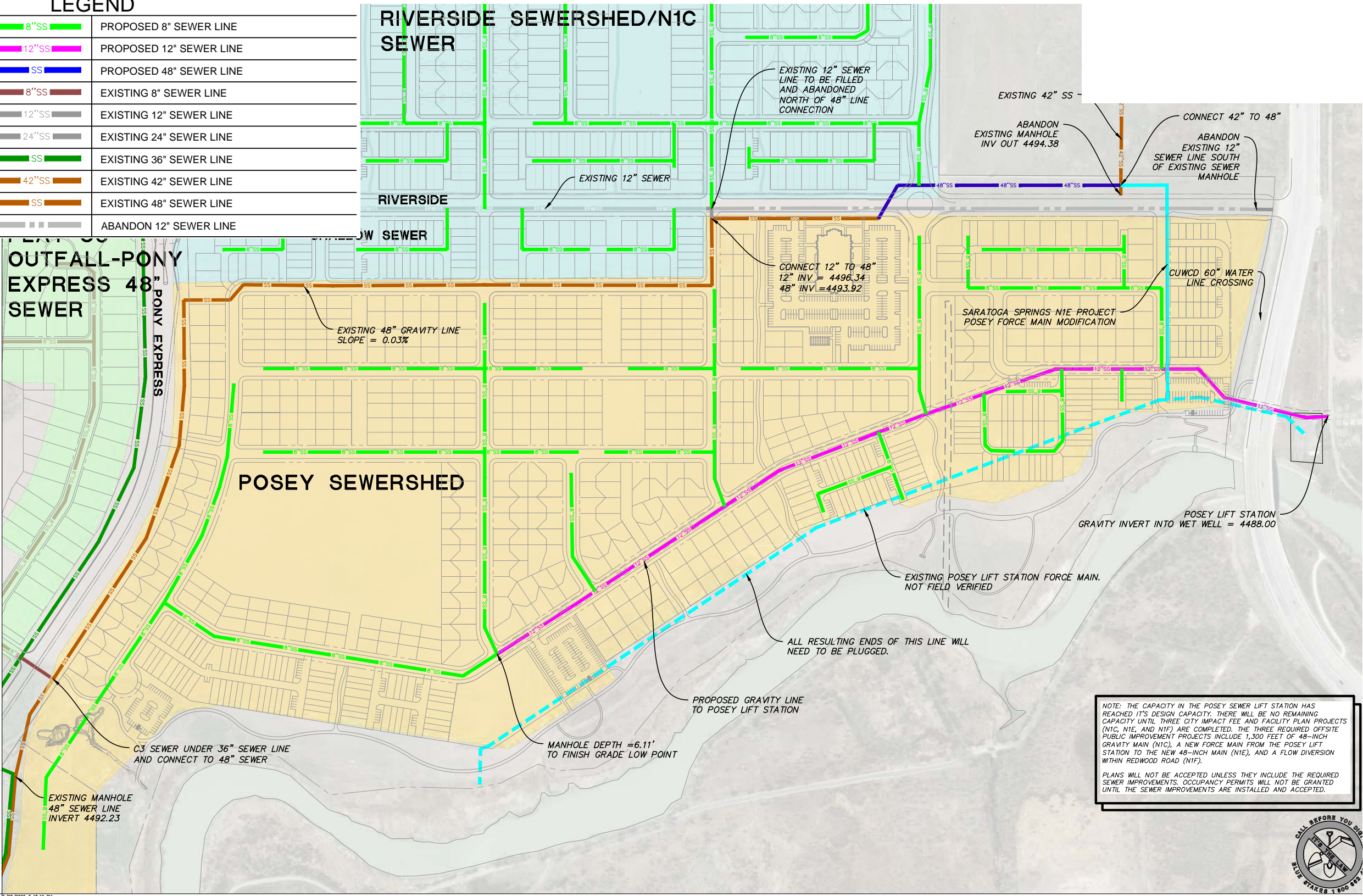


NOTE: Refer to the Community Plan for additional information



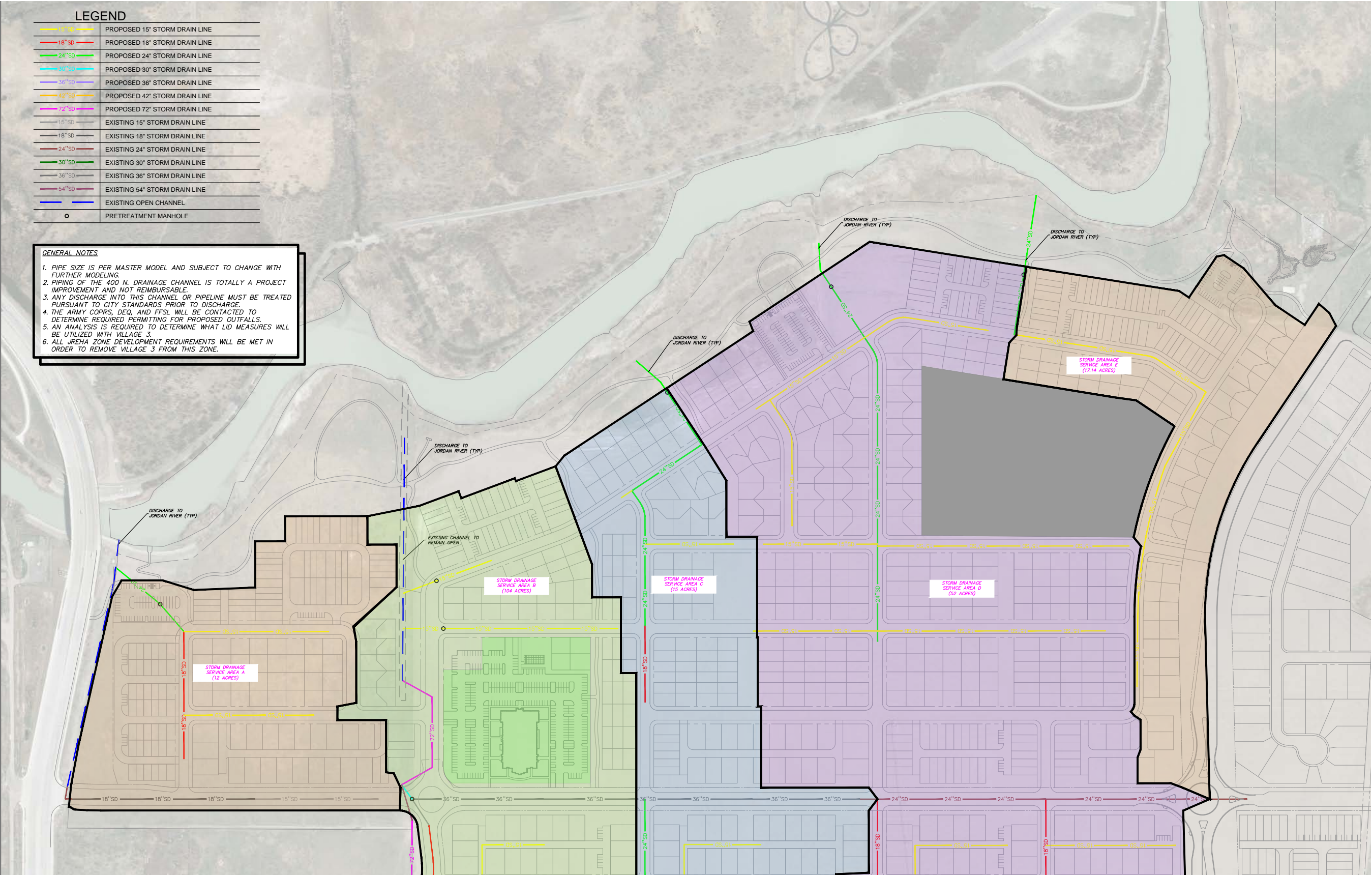
SECTION 10c - SANITARY SEWER PLAN

LEGEND	
8"SS	PROPOSED 8" SEWER LINE
12"SS	PROPOSED 12" SEWER LINE
48"SS	PROPOSED 48" SEWER LINE
8"SS	EXISTING 8" SEWER LINE
12"SS	EXISTING 12" SEWER LINE
24"SS	EXISTING 24" SEWER LINE
36"SS	EXISTING 36" SEWER LINE
42"SS	EXISTING 42" SEWER LINE
48"SS	EXISTING 48" SEWER LINE
---	ABANDON 12" SEWER LINE



NOTE: Refer to the Community Plan for additional information.

SECTION 10d - STORM WATER DRAINAGE PLAN

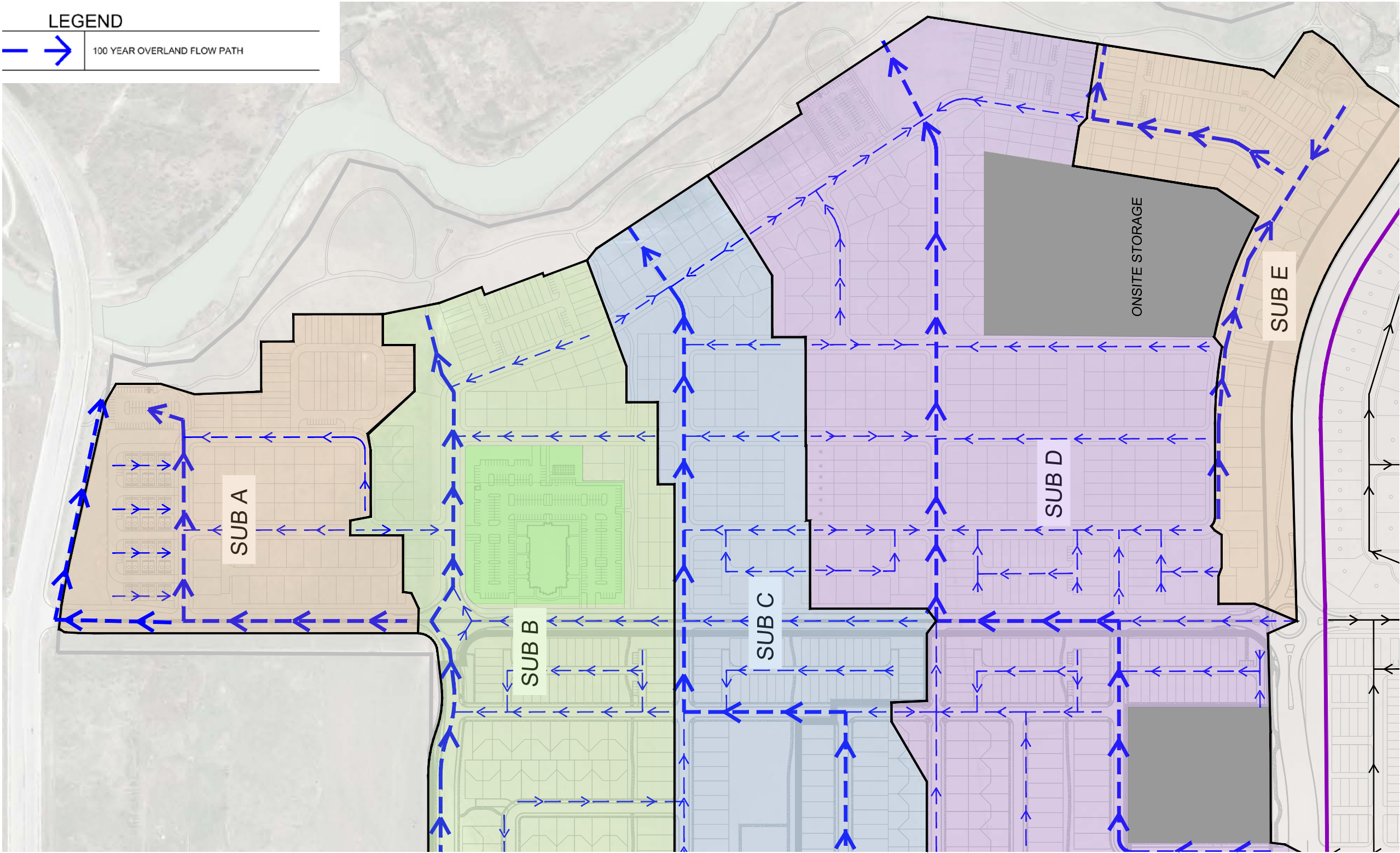


NOTE: Refer to the Community Plan for additional information.

SECTION 10e - STORM DRAINAGE 100 YEAR OVERLAND FLOW ROUTE

LEGEND

100 YEAR OVERLAND FLOW PATH



NOTE: Refer to the Community Plan for additional information.

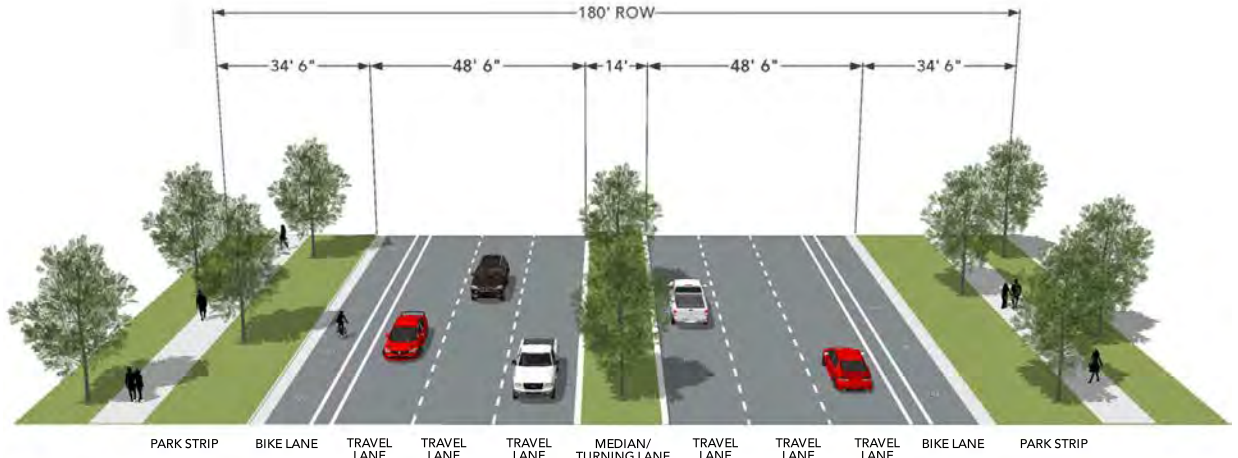


SECTION 11 - VEHICULAR PLAN

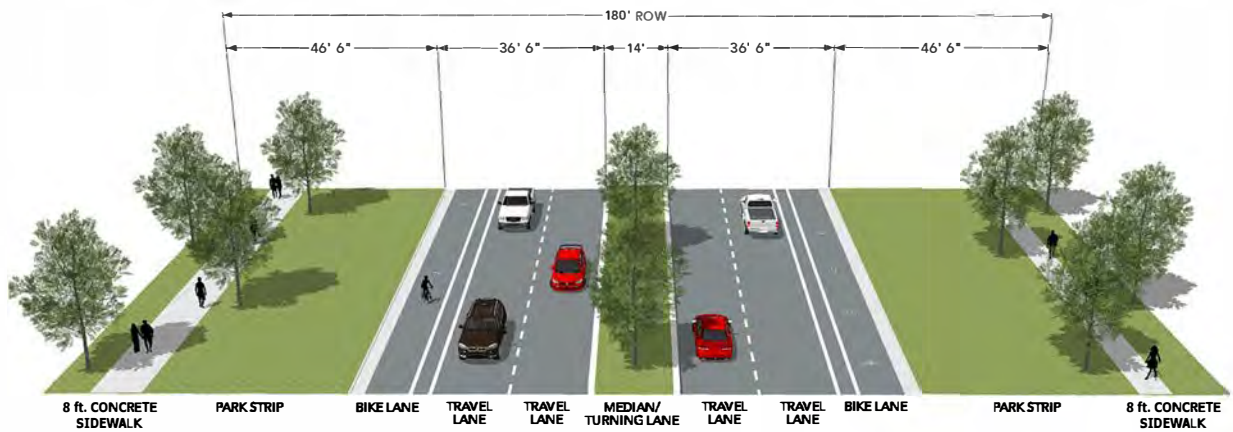


TYPICAL ROADWAY DIAGRAMS

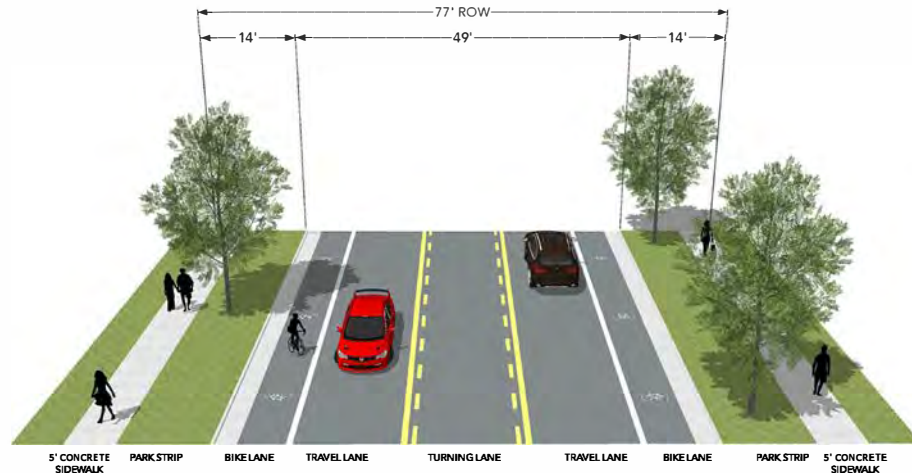
PRINCIPAL ARTERIAL ROADWAY (180' ROW) - PIONEER CROSSING TYP.



MAJOR ARTERIAL ROADWAY (180' ROW) - PONY EXPRESS PARKWAY TYP.



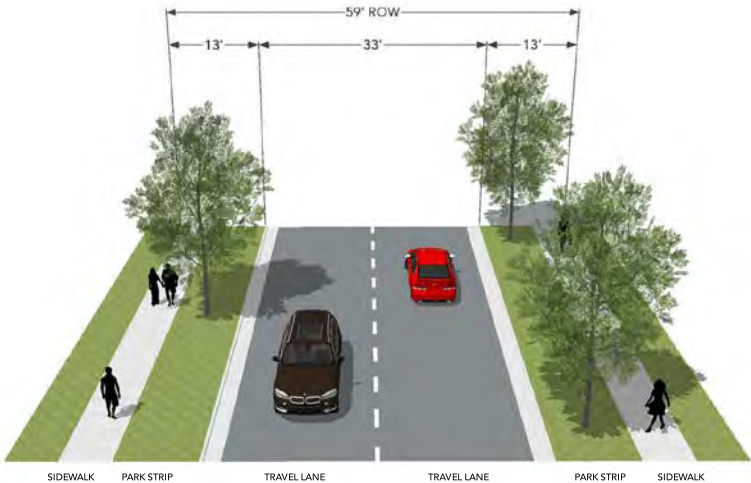
COLLECTOR ROADWAY (77' ROW) - RIVERSIDE DRIVE TYP.



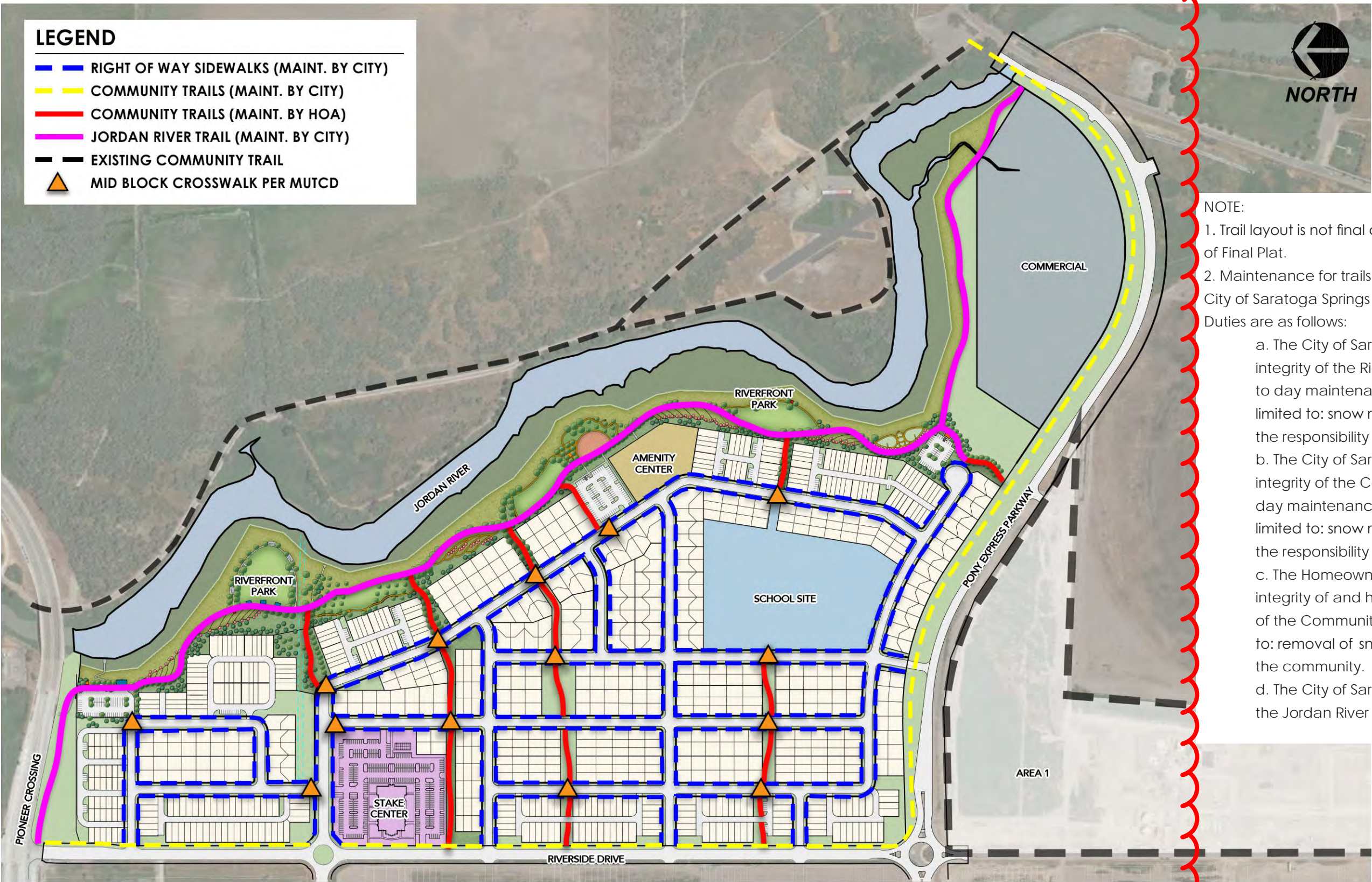


TYPICAL ROADWAY DIAGRAMS (CONT.)

LOCAL ROADWAY (59' ROW)



SECTION 12 - PEDESTRIAN PLAN



TYPICAL TRAIL DIAGRAMS

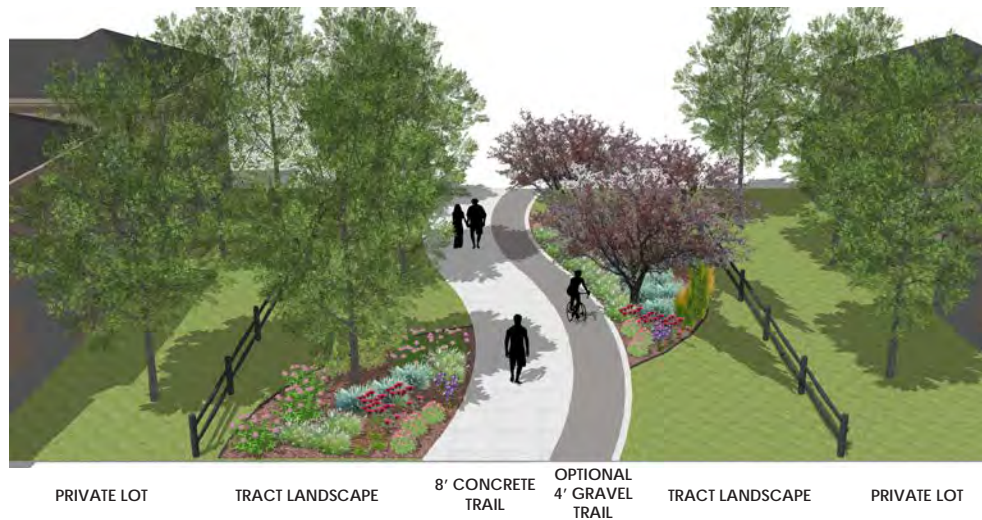
■ ■ TYPICAL RIGHT-OF-WAY SIDEWALKS (LOCAL ROADS)



● ● ● PRIVATE CORRIDORS



■ COMMUNITY TRAILS





TYPICAL TRAIL DIAGRAMS

RIGHT-OF-WAY TRAILS - RIVERSIDE DRIVE (EAST SIDE)



PRIVATE LOT

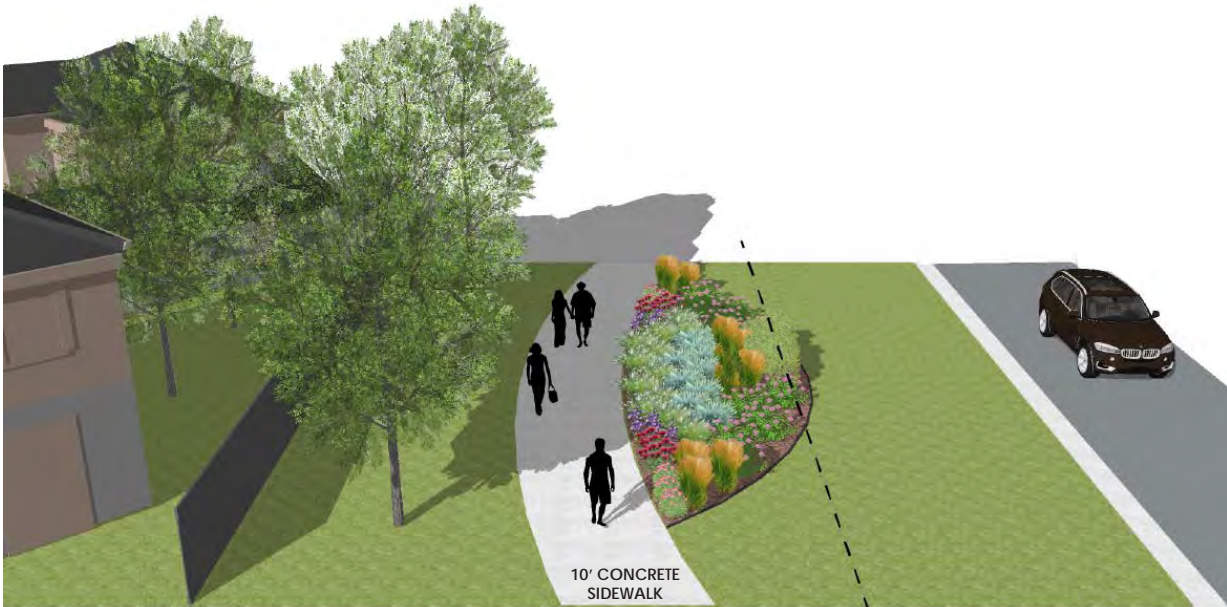
BUFFER STRIP

8' SIDEWALK

PARK STRIP

ROADWAY

RIGHT-OF-WAY TRAILS - PONY EXPRESS PARKWAY



PRIVATE LOT

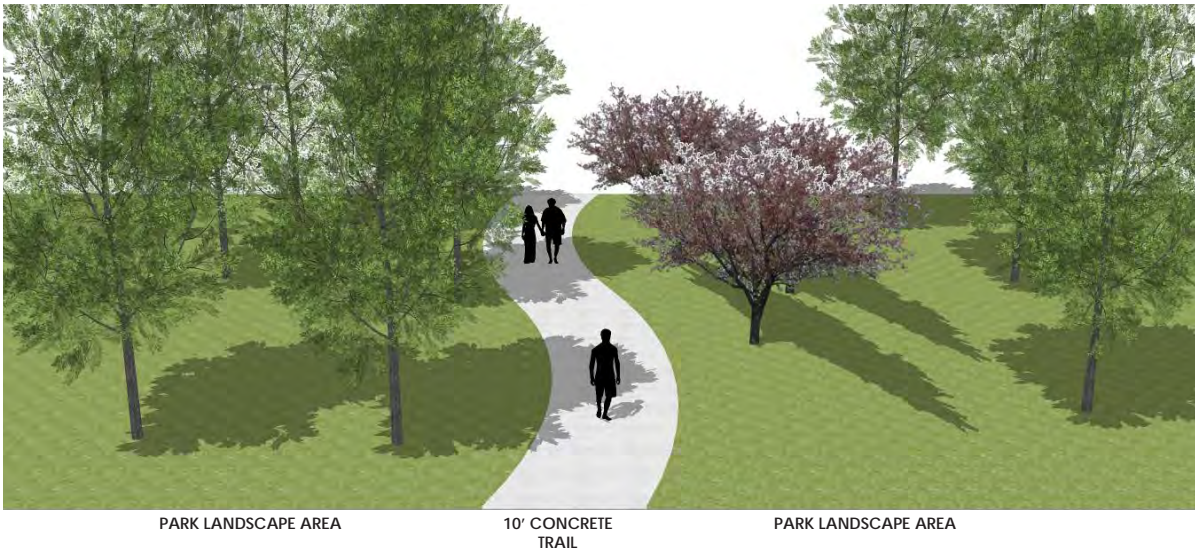
BUFFER STRIP

ROW

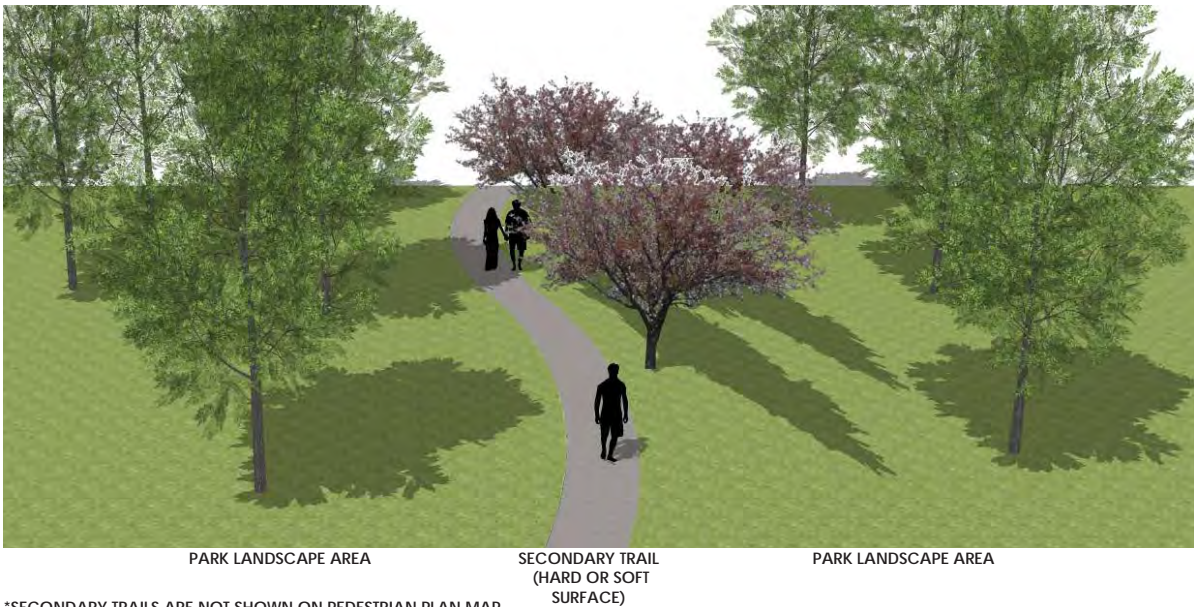
PARK STRIP

ROADWAY

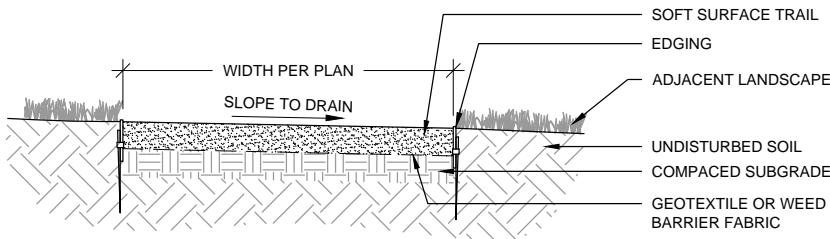
RIVERFRONT PARK - PRIMARY TRAIL



RIVERFRONT PARK - SECONDARY TRAILS*



*SECONDARY TRAILS ARE NOT SHOWN ON PEDESTRIAN PLAN MAP



SOFT SURFACE PEDESTRIAN ONLY TRAILS (SUCH AS 4" DEPTH OF GRAVEL OR CRUSHER FINES) SHALL BE ALLOWED AS SECONDARY TRAILS ONLY WITHIN THE RIVERFRONT PARK. THE DEVELOPER WILL WORK WITH THE CITY OF SARATOGA SPRINGS PARKS SUPERINTENDENT AND PLANNING STAFF DURING THE PLAT PROCESS TO FINALIZE CONSTRUCTION DETAILING.





SECTION 13 - DENSITY TRANSFERS

The Jordan Promenade Community Plan establishes the number of Equivalent Residential Units and density for Jordan Promenade.

An Equivalent Residential Unit (ERU) is defined by the Saratoga Springs Municipal Code as a unit of measurement to evaluate development impacts on public infrastructure including water, sewer, storm drainage, parks, roads and public safety of proposed residential and commercial land uses. Every residential and commercial unit is a minimum of one ERU.

Since build-out of the Jordan Promenade development will occur over many years, flexibility is necessary to respond to market conditions, site conditions, and other factors. Therefore, residential density ERUs may be transferred within the project, and to areas outside the project within the DAP boundary, as necessary to improve design, accessibility, and marketability.

The City acknowledges that the master developer shall have the ability in its reasonable business judgment to transfer ERUs between residential areas within the project upon written notice to the City and delivery to the City of written consent of the property owners of the neighborhoods which are sending and receiving such densities (if different from the master developer), so long as any such transfer adheres to the following standards:

- The overall intent and character of the Community Plan shall be maintained in the Village Plan and the transfer of ERUs shall not materially alter the nature of each land use, land use designation, or district established in the Community Plan.
- The transfer of ERUs into or out of any land use designation or district established in the Community Plan shall not exceed 15% without approval of the City Council. In no case shall the transfer of ERUs into or out of any land use designation or district exceed 20% of that established in the Community Plan.
- ERUs may not be transferred into any open space, park, or school unless said use is replaced elsewhere within the same neighborhood.

SECTION 14 - ADDITIONAL DETAILED PLANS

The following exhibits have been included to detail plans and direction contained in the Community Plan for Village Plan Area 3:

- Section 14a: Overall Monument Concept Plan
- Section 14b: Open Space Management
- Section 14c: Riverfront Park Conceptual Site Plan
- Section 14d: Riverfront Park Initial Phases
- Section 14e: Riverfront Park Final Phase
- Section 14f: Riverfront Park Maintenance
- Section 14g: Geological Hazards & Soils
- Section 14h: Fire Protection Plan

See attached Appendices for additional detailed plans.



SECTION 14a - OVERALL MONUMENT CONCEPT PLAN



NOTE: Monument signs in Area 3 shall adhere to the monument design standards established in the approved Jordan Promenade Community Plan. Monument signs to be designed during the Sign Permit application process.



MONUMENT DESIGN OVERVIEW

Jordan Promenade establishes a theme for project monuments and signage that embodies the rustic and natural appeal of the Jordan River and the Utah Lake area. Community signage is located strategically throughout the community to identify main project entry areas as well as individual neighborhoods. Following are descriptions of each proposed sign type accompanied by conceptual sign elevations and plans that are subject to change and refinement during the Village Plan process. Proposed community signage will have separate permits approved at the time of installation.

The proposed community signage shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07. All monument signage logos and lettering will be internally lit.

MONUMENT MATERIALS PALETTE

LEDGESTONE & SLATE



LETTERING & LIGHTING





SECONDARY MONUMENT

This sign type is located at secondary entry points along bordering arterial and collector roadways and will serve as gateway features to the community. The signage features consist of lower column features, up to 15' in height, accompanied by low monument walls and community signage.



Option A



Option B

NOTES:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. This monument location represents 1 monument on the corner of Redwood Road and East 400 North,
3. Monument locations adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).



NEIGHBORHOOD MONUMENT

- **Neighborhood Entryway Monument:** This sign type is located at neighborhood entry points along bordering collector and arterial roadways and serves as identification features to the individual neighborhoods in the community. The signage features consist of lower column features, up to 10' in height, accompanied by low monument walls and neighborhood signage.



Option A



Option B

NOTES:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. These monument locations represent 1 monument in Village 2 on Riverside Drive.
3. Monument locations adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).





SECTION 14b - OPEN SPACE MANAGEMENT

Jordan Promenade meets the City's requirements for a range of 18-24% improved and native, public and private open space within the Planned Community District area under the Traditional Neighborhood place type as described in Saratoga Springs City Center District Area Plan.

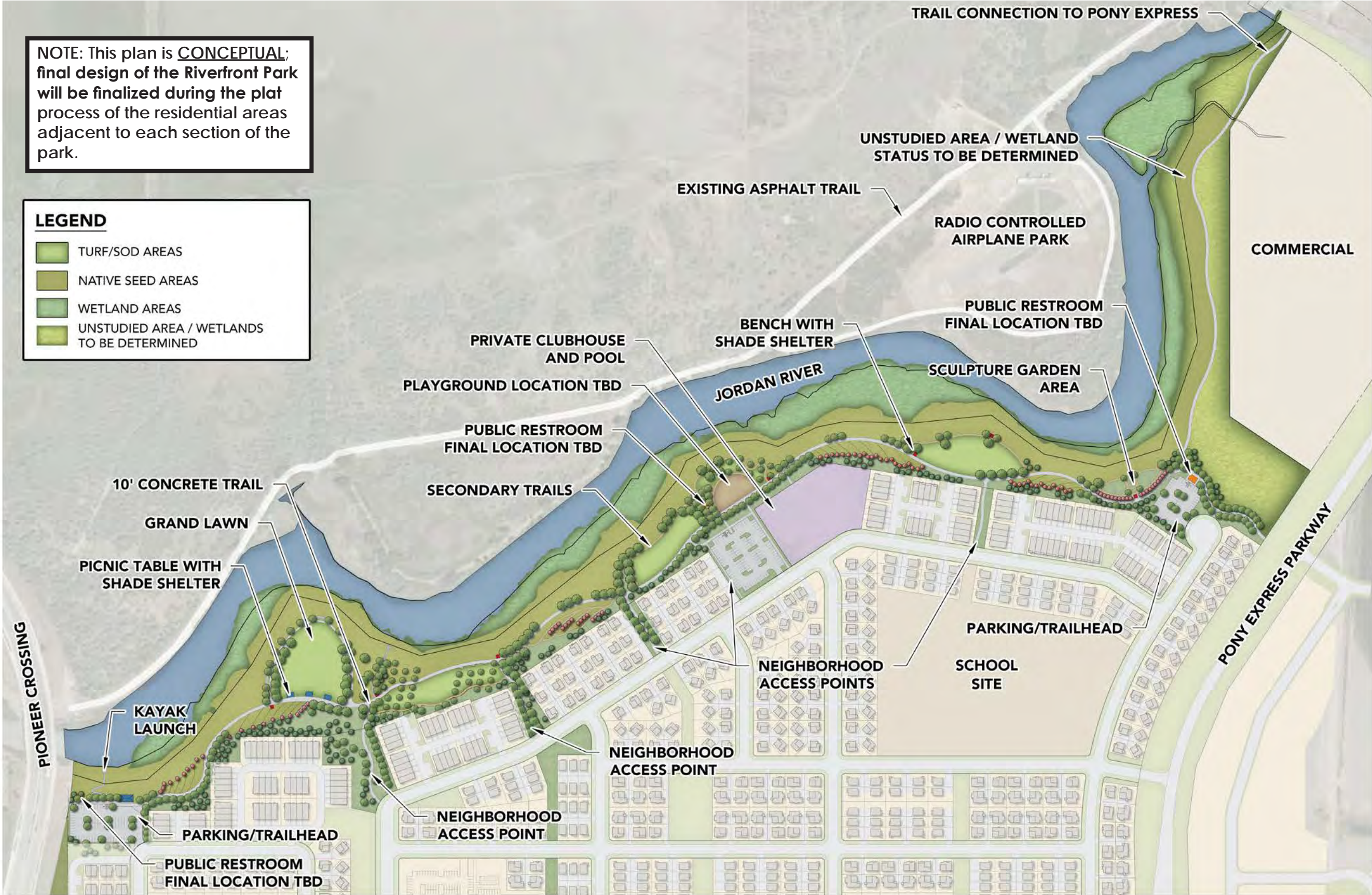
The percentage of open space provided within Village Plan Area 3 is 24.3%, which exceeds the percentage dictated by the Community Plan. Refer to the Detailed Buildout Allocation Plan in Section 3 for a complete breakdown of developed and open space acreages and percentages within Village Plan Area 3.

The following information details the allocation of open-space acreages within Village Plan Area 3:

VILLAGE	OPEN SPACE ACRES	TOTAL VILLAGE ACRES	% OPEN SPACE
AREA 1	31.9	135.4	23.6%
AREA 2	10.0	76.9	13.0%
AREA 3	39.1	161.0	24.3%
TOTALS	81.0	373.3	21.9%

*NOTE: Design for Area 3 has not been completed. The open space shown is for planning purposes only. Open Space areas for Village 3 may change in the future. Revisions to this Village Plan for Area 3 will not be required if the Area 3 Open Space amount changes.

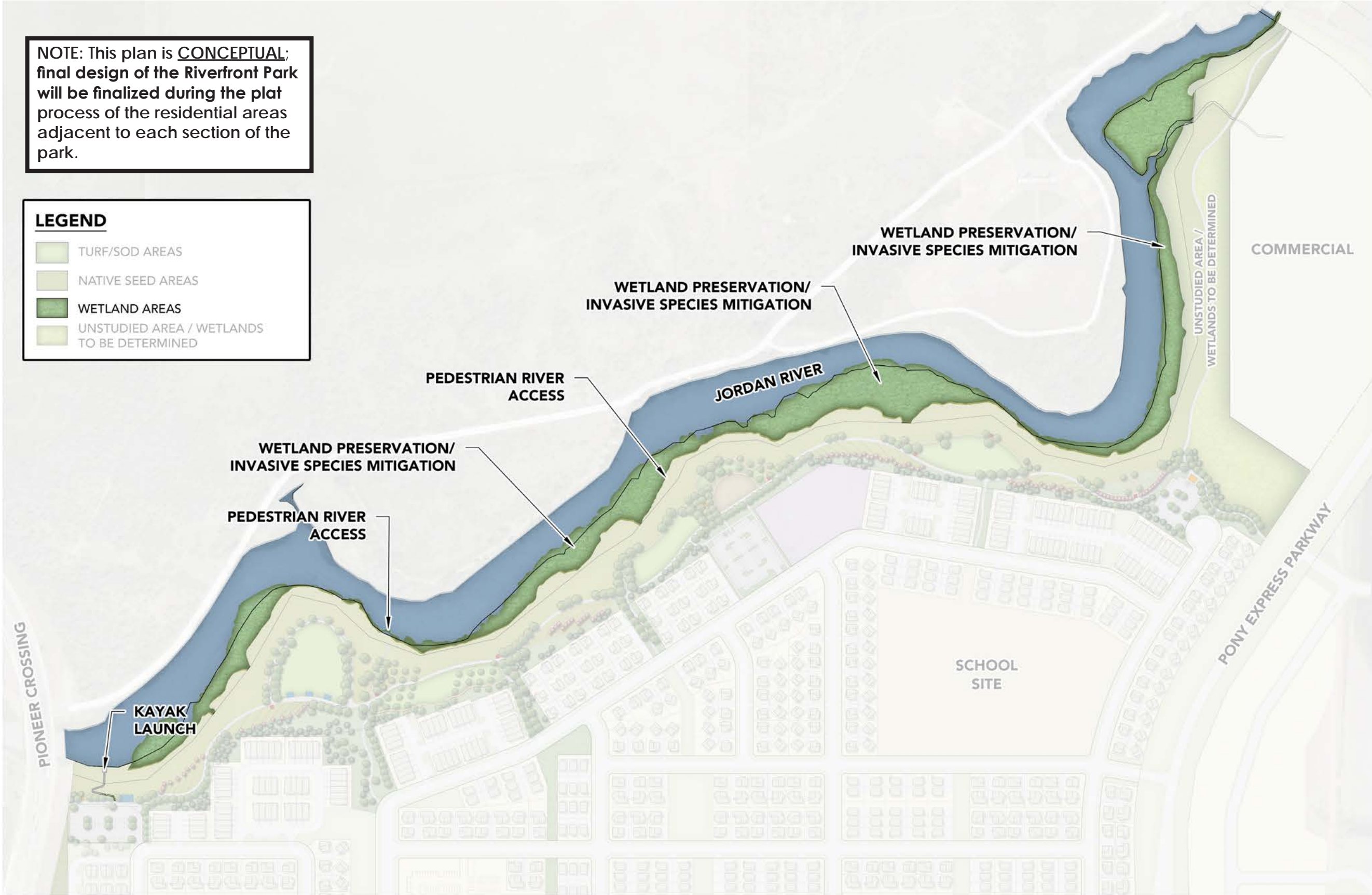
SECTION 14c - RIVERFRONT PARK CONCEPTUAL SITE PLAN



SECTION 14d - RIVERFRONT PARK INITIAL IMPROVEMENTS



SECTION 14e - RIVERFRONT PARK FINAL IMPROVEMENTS



SECTION 14f - RIVERFRONT PARK MAINTENANCE



SECTION 14g - GEOLOGICAL HAZARDS & SOILS

GEOLOGICAL HAZARDS

According to Utah County Hazard Mapping as published by Utah County Public Works Department, the following hazards have been identified within the Village 3 boundary through coordination with Utah County, USGS, MAG and other agencies:

- No faults are shown in the project site.
- No fault ruptures are shown in the project site.
- The project site has a high potential for liquefaction.
- Flood hazards have been identified in the project site.
- No landslide hazards have been identified in the project site.
- No rock fall hazards have been identified in the project site.
- No debris flows have been identified in the project site.
- No wild fire hazards have been identified in the project site.
- No dam failure risks have been identified in the project site.
- No avalanche hazards have been identified in the project site.

SOILS

A geotechnical investigation was conducted for Area 3 of the Jordan Promenade Development by Western Technologies, Inc., dated June 11, 2020. The following soil conditions were described in the report:

- **Surface:** "At the time of our exploration, the site was in use as pasture and cultivate crops. The ground surface was flat and contained a moderate to heavy growth of grass, weeds or crops. Site drainage trended to the east as sheet surface flow. Other site features included the Jordan River on the east side of the site, Riverside Drive on the west side of the site Pony Express Parkway to the north and the Pony Express Parkway right of way to the south."
- **Subsurface:** "As presented on the boring logs, surface soils to depths 4 to 13 feet consist of one foot clayey sand and sandy clay organic topsoil over silt, elastic silt, silty sand, and clay. Near surface soils are of moderate to high plasticity. The materials underlying the surface soils and extending to the full depth of exploration consisted of layers of silty sand, clay, clayey gravel, and highly plastic clay and silt."
- **Groundwater:** "Groundwater was encountered at a depth of 2 to 16 feet at the time of exploration. These observations represent the groundwater conditions at the time of measurements and may not be indicative of other times. Groundwater levels can be expected to fluctuate with varying seasonal and weather conditions, groundwater withdrawal and recharge, local irrigation practices, and future development."



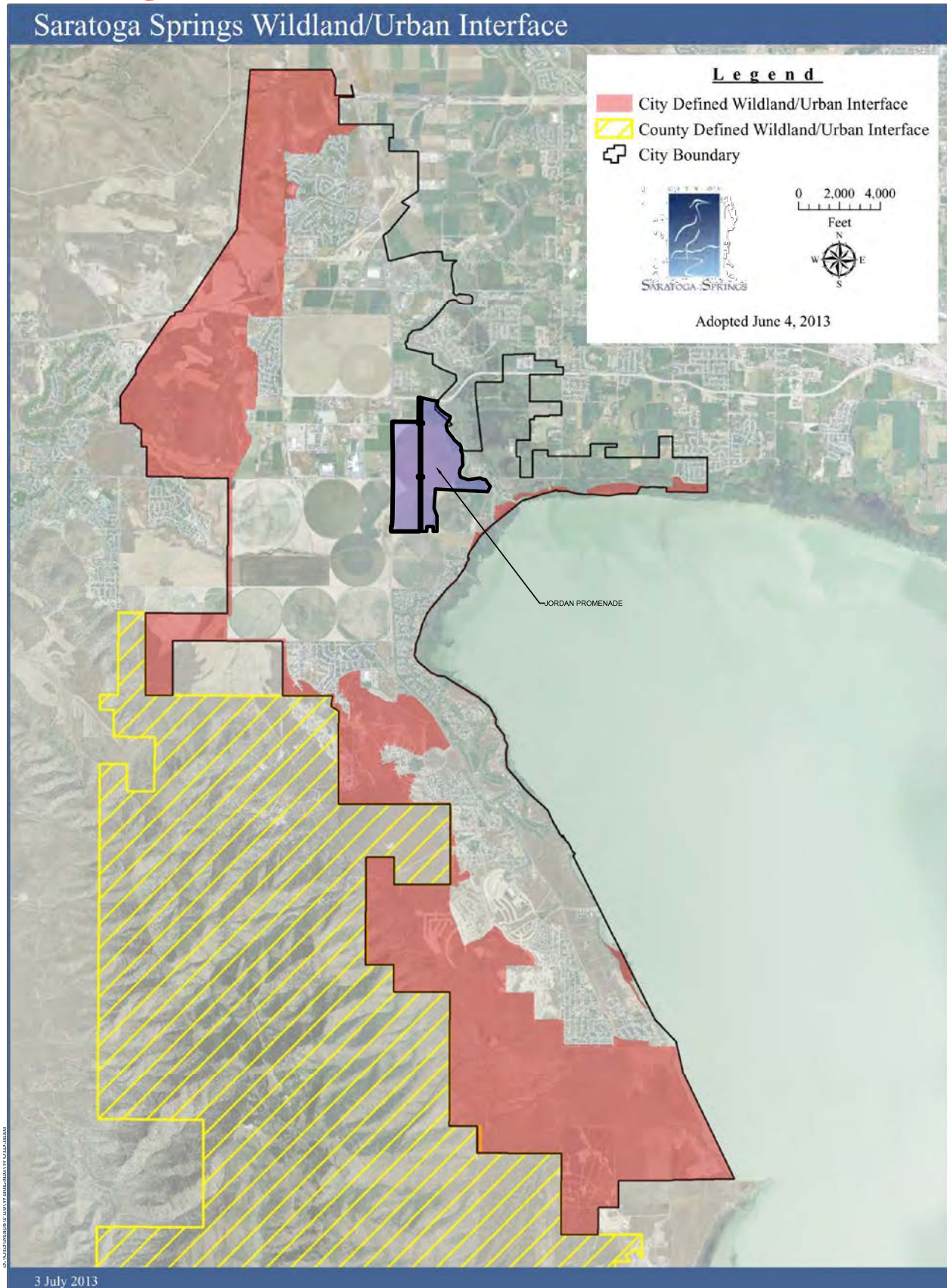


- **Geology:** "The Site located in the Utah Valley near the Jordan River and is part of the Basin and Range Province on lacustrine and alluvial deposits, young alluvial deposits, and lacustrine silt and clay. The soils consist of moderate to well-sorted, fine-grained sand, silt, and clay and local pebble gravel adjacent to the Jordan River with calcareous silt with minor clay and finegrained sand away from the river (Geologic Map of the Saratoga Springs 7.5' Quadrangle, Utah County, Utah, Utah Geologic Survey, 2004). The nearest mapped fault is just east of or below the Jordan River on the east side of the Site. The Liquefaction potential is mapped as "high" according to the *Selected Critical Facilities and Geologic Hazards, Utah County, Utah, Map, USGS.*"

FLOOD ZONE DATA

The central and southern portion of Area 3 of the Jordan Promenade Development lies within FEMA Flood Zone A. The northern portion of Area 3 does not lie within a flood zone.

SECTION 14h FIRE PROTECTION PLAN





SECTION 15 - SITE CHARACTERISTICS

General site characteristics for Jordan Promenade were provided in the Community Plan within the Cultural Resources Inventory:

“The project area falls within Sections 23, 24, 25, and 26, in Township 5 South, Range 1 West, in Saratoga Springs in Utah County, Utah. Saratoga Springs is located just to the west of the city of Lehi and abuts Utah Lake to the south and southeast. The 436.76-acre project area is primarily agricultural fields, with some urban development in the northwest corner. Currently, a large portion of the project area is being used to cultivate crops. The western boundary of the survey area is Redwood Road, and the eastern boundary consists of both the Jordan River and Saratoga Road. Riverside Drive extends north-south through the western one-third of the survey area, dividing the project area in half. The predominant vegetation is approximately equal parts corn and wheat crops, with tall grasses and marshland vegetation found in the outlying edges of the project area. Soils are loosely compacted alluvial sandy loams that have been repeatedly disturbed through agricultural tilling.”

Additional site characteristics for Jordan Promenade were provided in the Community Plan within the Environmental Site Assessment:

“The Property consisted of an approximately 450 acres primarily vacant land that has been used for wheat, corn, and alfalfa hay crops. Sheds and fuel tanks used for the Lehi Utah Saratoga Crops Welfare Farm were located on the southeast corner of the Property and two residential houses were also located on the Property. The Jordan River runs along the east side of the Property and a Rocky Mountain Power Substation is located to the south near Riverside Road that runs from north to south between Redwood Road and Saratoga Springs Road. Parked construction and farming equipment was on the southeast corner and scattered piles of soil, vegetation and concrete debris were on the Property. It appears that one of the residential houses had been torn down and the concrete foundation remained. Water tanks and pumps used for irrigation were on the Property in several locations. Residential housing was under construction to the south of the Property across 400 South. Vacant, undeveloped land was also east of the Property and west was Redwood Road, residential housing, barns and vacant undeveloped land. To the north was the Pioneer Crossing Road, residential housing and vacant land.”

SECTION 16 - FINDINGS STATEMENTS

Village Plan Area 3 is a 161-acre area within the 367-acre Jordan Promenade Community located in Saratoga Springs, Utah. The Jordan Promenade Village Plan Area 3 is compliant with all Planned Community Zone Requirements for Village Plans as defined in Section 19.26.09 of the Saratoga Springs Municipal Code. We find that Village Plan Area 3:

- a. is consistent with the adopted Community Plan;
 - Village Plan Area 3 adheres to the development standards, thoroughfare types, and open space types and requirements established in the Jordan Promenade Community Plan.
- b. for an individual phase, does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Community Plan;
 - Village Plan Area 3 adheres to the general phasing established in the Community Plan and does not exceed the number of ERUs assigned by phase.
- c. is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
 - Village Plan Area 3 implements the utility, infrastructure, and circulation plans as specified in the Jordan Promenade Community Plan.
- d. properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;
 - Jordan Promenade has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the community. Jordan Promenade was designed to maximize pedestrian, bike, and other mobility options. Open space is highly integrated to provide direct and easy access to residents, with various community amenities located nearby or within open space areas.
- e. contains the required elements as dictated in Section 19.26.10 of the Saratoga Springs Municipal Code.





APPENDICES

JORDAN PROMENADE

AREA 3 VILLAGE PLAN

APPENDICES

Appendix A - Village 3 Lotting Maps (Perigee Consulting, LLC, December 2020)

Appendix B - Geotechnical Evaluation Report Village 3 (Western Technologies, Inc., June 2020)

Appendix C - Phase I Environmental Site Assessment (Western Technologies, Inc., June 2017)

Appendix D - Cultural Resources Inventory (SWCA Environmental Consultants, May 2018)

Appendix E - Traffic Impact Study (Hales Engineering, October 2020)





MINUTES – CITY COUNCIL MEETING

Tuesday, September 3, 2024

City of Saratoga Springs

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Mayor: Mayor Jim Miller called the meeting to order at 6:00 p.m.

Roll Call:

Present Mayor Jim Miller, Council Members Christopher Carn, Audrey Barton, Michael McOmber, Stephen Willden, and Lance Wadman

Staff Present City Manager Mark Christensen, Assistant City Manager Owen Jackson, Community Development Director Ken Young, City Attorney Kevin Thurman, Senior Planner Austin Roy, Budget Analyst Spencer Quain, Senior Planner Gina Grandpre, Police Chief Andrew Burton, City Recorder Nicolette Fike and Deputy City Recorder Kayla Moss

Others: Logan Johnson, Helen Robson, Crystal Ferrell, Jared Osmond, David Meredith

Invocation: Council Member Carn

Pledge of Allegiance: Council Member Barton

Public Input: Helen Robson, Inlet Springs Drive, has two different concerns. She reached out to council members with concerns about traffic lights going out so often in the last couple of months. This has backed traffic up dramatically. She called in to the police department for one instance and asked if they could send someone to help direct traffic. She was told it wasn't their responsibility and that they have more important things to do than direct traffic. She knows that we aren't a major metropolis but one of the biggest issues the City deals with is traffic. She used to be on the veteran's advisory board and there are a lot of veterans in the city as well as retired police officers. She suggested they may be able to be mobilized to help in these kinds of situations. She also mentioned that snowdrifts in the winter cover the lights almost causing accidents. She is also concerned about the developers in the city that come build big housing developments that bring a lot more children to the city, and then don't help to support schools in the area. This leaves the citizens with major problems in the school system.

REPORTS: Council Member McOmber mentioned that he has called in to staff to have police come and respond to a light that was out in the past. He agrees that we should be helping to direct traffic when lights are out. As we are getting close to fall and winter, he asked that we enforce the weeds and garbage in the streets and islands on Market Street to help reduce flooding. The wind is picking up because it is getting to be fall, he would like to remind developers that they need to wet down dirt so that it doesn't become a hazard.

Council Member Carn has been involved with the school district and he wanted it to be on record that Westlake was built to serve 1,750 students and the count of students was 3,200 this year. The overcrowding is a problem, and he is working on ideas to help get this situation fixed sooner rather than later.

Council Member Wadman advised that Harvest Hills Elementary has a beautiful park and there are a lot of people there this time of year to participate in soccer. People have been parking on the east side on Providence creating traffic flow issues. He asked if staff could look into ways to resolve this.

Mayor Miller advised that MAG brought up a question regarding the 5th and 5th sales tax that was enacted. Concerns were voiced that they may be using the money for Salt Lake County and not Utah County. They are asking for a full accounting of where the money has gone.

CONSENT ITEMS:

1. **Approval of Minutes: August 20, 2024.**

Motion by Council Member McOmber to approve the Consent Item seconded by Council Member Carn.

Vote:

Council Member Chris Carn Yes

Council Member Lance Wadman Yes

Council Member Audrey Barton Yes

Council Member Stephen Willden Yes

Council Member Michael McOmber Yes

Motion carried 5-0.

PUBLIC HEARINGS:

1. **Budget Amendments for Fiscal Year 2024-2025. Resolution R24-49 (9-3-24).** Budget Analyst Spencer Quain advised that this is the second budget amendment of the year. Some of the amendments include HR purchase of a new software to replace one that is being discontinued, adjusting the cemetery budget to account for the bid received, and additional funding for phase 1 grading for the public works site.

Mayor Miller opened the public hearing at 6:17 pm, there were no comments so the public hearing was closed.

Motion by Council Member McOmber to approve the Budget Amendments for Fiscal Year 2024-2025. Resolution R24-49 (9-3-24) seconded by Council Member Willden.

Vote:

Council Member Chris Carn Yes

Council Member Lance Wadman Yes

Council Member Audrey Barton Yes

Council Member Stephen Willden Yes

Council Member Michael McOmber Yes

Motion carried 5-0.

BUSINESS ITEMS:

1. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.04 for Gateway Overlay Parking. Ordinance 24-38 (9-3-24).** Community Development Director Ken Young advised that currently, parking between buildings and arterial or collector streets is not allowed within the Gateway Overlay Zone. A current site plan application brought to staff's attention that this requirement could be overly restrictive. Staff has evaluated the effect of this requirement on all properties within the Gateway Overlay Zone and believes this requirement is overly restrictive. Many properties fronting collector streets are smaller and therefore have fewer development options, and many properties fronting collector streets also front arterial streets. Staff proposes eliminating collector streets from the requirement and retaining arterial streets from this requirement.

City Council agreed that they would like to have staff decide which arterial street would take priority for access to parking.

Motion by Council Member Willden to approve Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.04 for Gateway Overlay Parking. Ordinance 24-38 (9-3-24) with all staff findings and conditions adding condition that we will clarify at a future meeting the exception that

when there are two arterial roads they will identify which has priority seconded by Council Member McOmber.

Vote:

Council Member Chris Carn Yes

Council Member Lance Wadman Yes

Council Member Audrey Barton Yes

Council Member Stephen Willden Yes

Council Member Michael McOmber Yes

Motion carried 5-0.

2. **Thrive Drive Daycare Site Plan, located at 204 E Thrive Drive, Logan Johnson as Applicant.** Director Young advised on the Site Plan, located on Lots 3 and Lot 4 of the Riverside Crossing Subdivision Plat A. The applicant is proposing amending this plat to combine Lot 3 and Lot 4. (Currently, Lot 4 has two owners so the Utah County Recorder's Office shows three parcels on these two lots). The proposed site plan fronts on Riverside Drive to the east, which is a collector street. The site plan shows parking between the building and Riverside, which does not meet the current Gateway Overlay requirement for all parking to be located behind a building that fronts on arterial or collector streets. The shape and size of the lot makes it challenging to efficiently layout the site without parking adjacent to the collector. However, following an analysis of roadways in Gateway Overlay areas, staff has proposed to remove prohibiting parking adjacent to collector streets, as this can be overly burdensome to the development of several Gateway properties. This proposed code amendment will be heard at this same City Council meeting. The proposed site plan incorporates 31% landscaping. Access to the lot will be from the south side off of Thrive Drive.

Council Member Carn asked how many kids are in a class.

The applicant Logan Johnson advised that there will be a capacity of about 100 kids at the facility. There will be a drop off window that staggers for about 2 hours in the morning and afternoon. There are 17 parking spots that will be occupied by staff. They have seen some good distribution at other sites with limited issues.

Council Member McOmber had a couple of concerns. When you are coming over the hill you're looking at a parking lot right away, and not the building. He would like to see the parking lot moved to the other side. He also asked if the elevations meet the design standards outlined in the gateway overlay zone.

Director Young advised that the elevations do meet what is outlined in the gateway overlay zone currently.

Council Member Carn asked if he knows what development is kitty-corner from them. That may shield the parking lot depending on what is planned there.

Council Member Wadman asked if there is any shielding between the residential use and this facility.

The applicant advised there is some grading difference, a 5 foot public utility easement and another setback. A fence is not allowed in the gateway overlay zone.

Motion by Council Member McOmber to deny the Thrive Drive Daycare Site Plan, located at 204 E Thrive Drive, Logan Johnson as Applicant with all staff findings based on the gateway overlay, landscape shielding being minimal, and the position of the parking lot seconded by Council Member Wadman.

Vote:

Council Member Chris Carn Yes

Council Member Lance Wadman Yes

<u>Council Member Audrey Barton</u>	<u>Yes</u>
<u>Council Member Stephen Willden</u>	<u>No</u>
<u>Council Member Michael McOmber</u>	<u>Yes</u>

Motion carried 4-1.

Council Members asked for clarification on what they approved in business item 1. They thought they had approved something different than what was implied by this application. It was decided they would reconsider the vote they took previously.

Motion by Council Member McOmber to reconsider the vote on business item 1 seconded by Council Member Carn.

Vote:

<u>Council Member Chris Carn</u>	<u>Yes</u>
<u>Council Member Lance Wadman</u>	<u>Yes</u>
<u>Council Member Audrey Barton</u>	<u>Yes</u>
<u>Council Member Stephen Willden</u>	<u>Yes</u>
<u>Council Member Michael McOmber</u>	<u>Yes</u>

Motion carried 5-0.

1. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.04 for Gateway Overlay Parking. Ordinance 24-38 (9-3-24).**

Council Member McOmber would not like to allow parking lot access on the collector roads, he would prefer that it defaults to the local road if that is an option.

City Manager Mark Christensen suggested tabling this item since there was so much hesitancy.

Motion by Council Member McOmber to table Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.04 for Gateway Overlay Parking. Ordinance 24-38 (9-3-24) seconded by Council Member McOmber.

Vote:

<u>Council Member Chris Carn</u>	<u>Yes</u>
<u>Council Member Lance Wadman</u>	<u>Yes</u>
<u>Council Member Audrey Barton</u>	<u>Yes</u>
<u>Council Member Stephen Willden</u>	<u>Yes</u>
<u>Council Member Michael McOmber</u>	<u>Yes</u>

Motion carried 5-0.

The Council decided that they would also like to reconsider their vote on business item 2 since they didn't come to a conclusion on the ordinance change.

2. **Thrive Drive Daycare Site Plan, located at 204 E Thrive Drive, Logan Johnson as Applicant.**

Motion by Council Member Carn to reconsider the vote on business item 2 seconded by Council Member Wadman.

Vote:

<u>Council Member Chris Carn</u>	<u>Yes</u>
<u>Council Member Lance Wadman</u>	<u>Yes</u>
<u>Council Member Audrey Barton</u>	<u>Yes</u>
<u>Council Member Stephen Willden</u>	<u>Yes</u>

Council Member Michael McOmber Yes

Motion carried 5-0.

Motion by Council Member Carn to table the Thrive Drive Daycare Site Plan, located at 204 E Thrive Drive, Logan Johnson as Applicant with all staff findings based on the gateway overlay, landscape shielding being minimal, and the position of the parking lot seconded by Council Member McOmber.

Vote:

Council Member Chris Carn Yes

Council Member Lance Wadman Yes

Council Member Audrey Barton Yes

Council Member Stephen Willden No

Council Member Michael McOmber Yes

Motion carried 4-1.

3. Adopting Mixed Waterfront Design Standards, City-Wide, City-Initiated. Ordinance 24-39 (9-3-24).

Senior Planner Austin Roy advised that on May 2, 2023, the City Council adopted amendments to Title 19 regarding the Mixed Waterfront Ordinance. The adopted ordinance references a document, the "Mixed Waterfront Design Standards". The Mixed Waterfront Design Standards went to the City Council on January 2, 2024 as a work session item. Following the feedback from the City Council, the draft was updated and went to the Planning Commission for a recommendation on August 15, 2024. There are three areas in the city that have mixed waterfront zoning. He presented some of the included design standards to the City Council.

Council Member McOmber asked if it is outlined in the guide that they can't have one single color on the elevation of the building. He is concerned there are pictures in the guide that don't depict the accurate requirements for colors.

Senior Planner Roy advised that this is in conjunction with all other design standards so they would be required to have three different colors. Staff and the consultant wanted to be careful in adding colors or materials to a guide because materials and styles change so much over time and they wouldn't want them to build exactly what is shown, it was more like a blank canvass. Senior Planner Austin Roy noted they could add a note indicating it was conceptual in nature only.

Motion by Council Member Barton to adopt Mixed Waterfront Design Standards, City-Wide, City-Initiated. Ordinance 24-39 (9-3-24) with all staff findings and conditions seconded by Council Member Wadman.

Vote:

Council Member Chris Carn Yes

Council Member Lance Wadman Yes

Council Member Audrey Barton Yes

Council Member Stephen Willden Yes

Council Member Michael McOmber Yes

Motion carried 5-0.

4. Jordan Promenade (Wander) Village Plan 3 Major Amendment #2. Located Approximately Riverside Drive and 400 North. Oakwood Homes as applicant. Ordinance 24-40 (9-3-24). Senior Planner Gina Grandpre advised The Jordan Promenade ("Wander") Village 3 project, located northeast of the intersection of Pony Express and Riverside Drive is being amended to reconfigure a section of townhomes on the north side of Village 3 and to change the number of allowed townhome units in a building from 2-6 units per building to 2-8 units per building.

Council Member McOmber advised that they haven't allowed 8 units per building in other areas, and did not allow it when they first requested. He does not think this makes the neighborhoods better because it will reduce view corridors. He wants to make sure they are preserving corridors the best they can. He would like to see an upgrade to the design standards instead of downgrading them. He thinks that the product has gotten worse as the development has continued being built.

The applicant respectfully disagreed with Council Member McOmber's assessment that the design has gotten worse as the development has progressed. He also pointed out that Village Plan 3 has the most open space of any of the other villages. He doesn't think that linking up two more buildings will reduce view corridors, he thinks it will open up the corridors.

Council Member Willden would like to see where the change from 6 to 8 is impacting the area. He is okay with approving the layout change but he would like to see where the changes are taking place. He would like them to bring back where the 8 unit connected townhomes would be.

Motion by Council Member Willden to approve Jordan Promenade (Wander Village Plan 3 Major Amendment #2. Located Approximately Riverside Drive and 400 North. Oakwood Homes as Applicant. Ordinance 24-40 (9-3-24) Except that the change from 6 to 8 units to be brought back at a later date with additional information, and including any other staff findings and conditions seconded by Council Member McOmber.

Vote:

Council Member Chris Carn Yes

Council Member Lance Wadman Yes

Council Member Audrey Barton Yes

Council Member Stephen Willden Yes

Council Member Michael McOmber Yes

Motion carried 5-0.

5. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.18 – Sign Regulations, Raising Cane's – Crystal Ferrell as applicant. Ordinance 24-41 (9-3-24).** Senior Planner Grandpre advised that the applicant, Raising Cane's, is seeking an amendment to Section 19.18 to permit architectural elements that serve as market branding without categorizing them as signs. The applicant is asking for approval of these revisions to specifically define and allow these types of installations.

The applicant Crystal Ferrell gave a presentation to the City Council regarding what signs they are requesting and gave reasons why they are asking for the code changes.

Council Member Barton advised that she gets nervous allowing any exceptions because of the precedence it sets. She loves the design and that they came back with a concept that fits the city better, but she is nervous what others may bring in the future.

Council Member Wadman was also concerned that if they make the code change it will open the door to other applicants.

Council Member Carn was concerned with how we got here. He is worried that planning commission is writing code with an applicant to try and make their concept work. He doesn't think he can agree to this because of the same reasons that have already been brought up.

Motion by Council Member McOmber to deny Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.18 – Sign Regulations, Raising Cane’s – Crystal Ferrell as applicant. Ordinance 24-41 (9-3-24) with staff findings and conditions and as per staff recommendation seconded by Council Member Wadman.

Vote:

<u>Council Member Chris Carn</u>	<u>Yes</u>
<u>Council Member Lance Wadman</u>	<u>Yes</u>
<u>Council Member Audrey Barton</u>	<u>Yes</u>
<u>Council Member Stephen Willden</u>	<u>Yes</u>
<u>Council Member Michael McOmber</u>	<u>Yes</u>

Motion carried 5-0.

6. **Redwood Square Preliminary Plat & Site Plan, located approximately Redwood Road and Aspen Hills Blvd., David Meredith as Applicant.** Planning Director Sarah Carroll advised this 5.14-acre development consists of five buildings over two lots and includes 24.56% landscaping with a trail along Redwood Road. UDOT has granted a conditional access permit onto and off Redwood Road. The applicant is also working with the adjacent properties to the north and south to provide access. The proposed site plan provides the required parking for several RC uses including retail, restaurant, and takeout. Based on the parking provided, there is not enough for medical uses, which require a higher parking ratio than retail. The development is governed by a development agreement restricting certain uses in the RC zone and shall comply with those limits as well as the RC zone.

Jared Osmond was present as applicant.

Council Member Carn mentioned to the applicant that he likes their product. He thinks that they are under parked at times because they are always so popular. He wants to make sure the neighbors are screened from hearing too much noise from the development.

Motion by Council Member Carn to approve Redwood Square Preliminary Plat & Site Plan, located approximately Redwood Road and Aspen Hills Blvd., David Meredith as Applicant with all staff findings and conditions seconded by Council Member Barton.

Vote:

<u>Council Member Chris Carn</u>	<u>Yes</u>
<u>Council Member Lance Wadman</u>	<u>Yes</u>
<u>Council Member Audrey Barton</u>	<u>Yes</u>
<u>Council Member Stephen Willden</u>	<u>Yes</u>
<u>Council Member Michael McOmber</u>	<u>Yes</u>

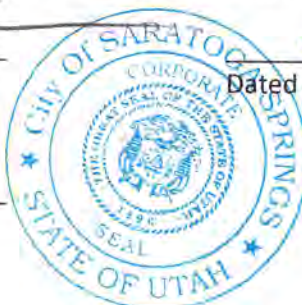
Motion carried 5-0.

ADJOURNMENT:

There being no further business, Mayor Miller adjourned the meeting at 8:09 p.m.


Jim Miller, Mayor


Nicolette Fike, City Recorder





MINUTES – City Council Meeting

Tuesday, April 8, 2025

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

CITY COUNCIL POLICY MEETING

CALL TO ORDER

6:00 p.m. by Mayor Jim Miller

1. **Roll Call** – A quorum was present

Present:

Mayor Jim Miller, Council Members: Audrey Barton, Chris Carn, Michael McOmber (electronically), Lance Wadman, Stephen Willden.

Staff: City Manager Mark Christensen, City Attorney Kevin Thurman, Chief Andrew Burton, City Recorder Nicolette Fike, Community Development Director Ken Young, Budget Analyst Spencer Quain, Senior Planner David Jellen, Planner I Joel Temple, Senior Planner Gina Grandpre, Engineer Jeff Pearson, Public Relations Specialist AnnElise Harrison.

Others: Tyler Fadis, Ken Pancerelli, Grey Paley, Ryan Bull, Malcolm Thacker, Brian Fronk, Rob Taylor, Scott Thorson

2. **Invocation/Reverence** – given by Council Member Willden
3. **Pledge of Allegiance** – led by Corporal Mackay
4. **Oath of Office: Officers Peter Christensen, Lakota Clark, Nelson Reyes and Nathan Sorensen.** Mayor Miller presented individuals to the City Council to have them sworn in as police officers.
5. **Public Input** – Rob Taylor, Elderberry Drive, expressed his appreciation to the City Council. He also thanked the police and fire departments for all of the good work they do for the City.

REPORTS

1. **Mayor:** None
2. **City Council:** None
3. **Administration:** None
4. **Other Reports: UDOT/Avenue Consultants—Mountain View Corridor Environmental Update.** Tyler Fadis, UDOT Project Manager for Region 3, advised that he was last here in September of 2024 updating where they were on the project. He showed the Council a presentation on where the Mountain View Corridor project now is. A copy of this presentation can be found in the Council packet posted on the City website for this meeting.

CONSENT ITEMS

1. **Update to the Fireworks Restriction Map, Ordinance 25-21 (04-08-25).**
2. **Approval of Minutes: March 18, 2025.**

Motion made by Council Member Willden to approve the Consent Items. Seconded by Council Member Carn.

Vote:

Council Member Barton Yes

Councilmember Carn Yes

Councilmember McOmber Yes

Councilmember Wadman Yes

Councilmember Willden Yes

No: None.

Absent: None.

Motion passed 5-0.

PUBLIC HEARINGS

1. **Vacating Storm Water Drainage Easement, located near Aspen Hills Blvd. and Redwood Road. Ordinance 25-20 (04-08-25).** Engineer Scott Petrik advised that they are partially vacating this storm water drainage easement. It no longer serves as a storm drain ditch so the western portion is no longer needed.

Mayor Miller opened the public hearing at 6:31 p.m. There were no comments so the public hearing was closed.

Motion made by Council Member Carn to approve Vacating Storm Water Drainage Easement, located near Aspen Hills Blvd and Redwood Road. Ordinance 25-20 (04-08-25) Seconded by Council Member Barton.

Vote:

<u>Councilmember Barton</u>	<u>Yes</u>
<u>Councilmember Carn</u>	<u>Yes</u>
<u>Councilmember McOmber</u>	<u>Yes</u>
<u>Councilmember Wadman</u>	<u>Yes</u>
<u>Councilmember Willden</u>	<u>Yes</u>

No: None.

Absent: None.

Motion passed 5-0

2. **Compensation Schedule for Executive Municipal Officers.** Budget Analyst Spencer Quain presented a summary of the potential pay changes some of the executive staff may experience in the upcoming budget. These increases aren't guaranteed and are based on annual reviews. A copy of these changes can be found in the City Council packet for this meeting posted on the City Website.

Mayor Miller opened the public hearing at 6:32 p.m. There were no comments so the public hearing was closed.

BUSINESS ITEMS

1. **Budget Request Summary Report for Fiscal Year 2025-26.** Budget Analyst Quain advised that this presents some changes to the budget. There was a request to change the state judicial court fees budget, as the City continues to grow the budget has to as well. The fleet administrator is going to be moved to the fleet fund that will be created. The last change is to increase the equipment replacement fund.
2. **Interlocal Agreement with Utah County for the 2025 Municipal Elections and Elections Update. Resolution R25-17 (04-08-25).** City Recorder Nicolette Fike advised that the interlocal agreement for elections this year was received. There was an increase of fifty cents per voter this year.

Council Member Carn asked if it was feasible for cities to run their own elections and not go through the County. He is concerned that we are mandated to use one vendor for elections with no other choices.

City Recorder Fike advised that it would be a significant cost to run our own elections, involving printing, vote centers, poll workers, equipment to process ballots, and a lot of training, etc..

City Manager Mark Christensen advised that problems with elections in other states have led to funneling voters through the County to streamline the process.

City Recorder Fike advised that there are also a couple of options the Council has for voting that Council needed to address. This is the last year the City could opt in to rank choice voting. Staff does not recommend opting in because of the extensive education that would need to be given out to voters on how to do this and for only this one year. There is also a fast cast early voting option the County Clerk is implementing. People would bring a filled out sealed ballot in, show their ID, and sign a form. Staff did

not recommend this program due to security and legal compliance concerns, increased cost and resource burdens, and concerns shared from the Lt. Governor's office.

It was the consensus of the City Council that they are not interested in rank choice voting or fast cast voting.

City Attorney Kevin Thurman advised that there is language in the contract currently that city or county can terminate the contract within 60 days. It used to be that both parties would have to agree to terminate.

The Council agreed that would like to have both parties in agreeance if termination were being discussed instead of either one.

Motion made by Council Member Barton to approve the Interlocal Agreement with Utah County for the 2025 Municipal Elections and Elections Update. Resolution R25-17 (04-08-2025) with the proposed change to the termination clause in the contract and if the County declines we will continue with the current contract Seconded by Council Member Carn.

Vote:

<u>Councilmember Barton</u>	<u>Yes-</u>
<u>Councilmember Carn</u>	<u>Yes</u>
<u>Councilmember McOmber</u>	<u>Yes</u>
<u>Councilmember Wadman</u>	<u>Yes</u>
<u>Councilmember Willden</u>	<u>Yes</u>

No: None.

Absent: None.

Motion passed 5-0

3. **Change Orders #1-3 for Evans Grader – Cemetery Project. Resolution R25-18 (04-08-25).** City Manager Christensen advised these changes are to the amount of \$249,996.54. The scope has changed for the project slightly. They have added more power to the site and the road to the site has changed slightly. They are seeking additional days to complete this. Tentatively they are asking to complete this by mid-July.

Motion made by Council Member Wadman to approve Change Orders #1-3 for Evans Grader – Cemetery Project. Resolution R25-18 (04-08-25) with all staff findings and conditions Seconded by Council Member Willden.

Vote:

<u>Councilmember Barton</u>	<u>Yes</u>
<u>Councilmember Carn</u>	<u>Yes</u>
<u>Councilmember McOmber</u>	<u>Yes</u>
<u>Councilmember Wadman</u>	<u>Yes</u>
<u>Councilmember Willden</u>	<u>Yes</u>

No: None.

Absent: None.

Motion Passed 5-0

4. **Purchase Order for Secondary Water Connection with B.D. Bush Excavation. Resolution R25-19 (04-08-2025).** City Manager Christensen advised the City is installing another secondary water pressurized irrigation connection. This is important to make sure the City has all of the meters and things needed to work effectively.

Motion made by Council Member Willden to approve Purchase Order for Secondary Water Connection with B.D. Bush Excavation. Resolution R25-19 (04-08-2025) with any staff findings and conditions Seconded by Council Member Barton.

Vote:

<u>Councilmember Barton</u>	<u>Yes</u>
<u>Councilmember Carn</u>	<u>Yes</u>
<u>Councilmember McOmber</u>	<u>Yes</u>
<u>Councilmember Wadman</u>	<u>Yes</u>
<u>Councilmember Willden</u>	<u>Yes</u>

No: None.

Absent: None.

Motion passed 5-0

5. Amendments to the City Code of Saratoga Springs for Food Trucks. City-Initiated.
- Land Development Code, Chapter 19.05 Supplementary Regulations, Ordinance 25-22 (04-08-25).

- Title 5 – Business Regulations. Ordinance 25-23 (04-08-25).

Senior Planner David Jellen advised that these changes are being made to be compliant with state legislation. The Council can either choose to keep a temporary use permit requirement or remove that.

Council Member McOmber would like to keep the temporary use permit requirement so we can track possible problematic food trucks.

Council Member Carn agrees that he would also like to keep the requirement of having a temporary use permit.

Motion made by Council Member Willden to approve the Amendments to the City Code of Saratoga Springs for Food Trucks. City-Initiated. A. Land Development Code, Chapter 19.05 Supplementary Regulations, Ordinance 25-22 (04-08-2025). B. Title 5 – Business Regulations, Ordinance 25-23 (04-08-25). And selection option 2 on item A Seconded by Council Member McOmber.

Vote:

Councilmember Barton Yes

Councilmember Carn Yes

Councilmember McOmber Yes

Councilmember Wadman Yes

Councilmember Willden Yes

No: None.

Absent: None.

Motion passed 5-0

6. Amendments to Title 19 Land Development Code of the City of Saratoga Springs for Arterial Setbacks, Chapters 19.02 – Definitions; and 19.04 – Establishment of Land Use Zones and Official Map. City-Initiated. Ordinance 25-24 (04-08-25). Senior Planner Jellen presented this item to the City Council. They are proposing a 105' setback along arterial roadways. Or if applicable 15' from the back of the 30' trail corridor.

Council Member McOmber mentioned that he asked staff to look into this because of a business that took advantage of using a turn lane as part of a setback. As the City grows unforeseen issues can arise and this was to clean up one of those things.

Motion made by Council Member McOmber to approve the Amendments to Title 19 Land Development Code of the City of Saratoga Springs for Arterial Setbacks, Chapters 19.02 – Definitions; and 19.04 – Establishment of Land Use Zones and Official Map. City-Initiated. Ordinance 25-24 (04-08-25) Seconded by Council Member Carn.

Vote:

Councilmember Barton Yes

Councilmember Carn Yes

Councilmember McOmber Yes

Councilmember Wadman Yes

Councilmember Willden Yes

No: None.

Absent: None.

Motion passed 5-0

7. Development Agreement with Wander Oakwood Homes, LLC. Ordinance 25-25 (04-08-25).

Engineer Jeff Pearson presented the item to the City Council. He advised that Oakwood Homes plans to

install a gravity sewer main extending from the Posey Lift Station southward, crossing under Pioneer Crossing, through an existing casing previously installed by UDOT. This sewer main is intended to serve the majority of Village 3 in the Wander Development. Due to a conflict with a 60-inch Central Utah Water Conservancy District (CUWCD) transmission main, the proposed sewer line cannot be lowered beyond the existing crossing depth. As a result, a pipe slope of 0.10% is proposed for most of the new sewer main, whereas the engineering standard requires a 0.19% slope—roughly twice the proposed gradient. Since the 60-inch CUWCD line cannot be relocated, city staff recommend entering into a development agreement that includes an extended warranty period of three years, beyond the standard one-year requirement. The sections of the pipe located beneath Pioneer Crossing and adjacent to the Posey Lift Station will exceed the minimum slope requirement, which will assist in flushing the sewer line at its downstream end. Additionally, the sewer velocities will be approximately 1.5 feet per second, compared to the standard requirement of 2.0 feet per second. This reduced velocity will necessitate increased maintenance, including flushing the pipeline twice per year instead of once per year.

Motion made by Council Member Barton to approve the Development Agreement with Wander Oakwood Homes, LLC. Ordinance 25-25 (04-08-25) with all staff findings and conditions
Seconded by Council Member Carn.

Vote:

Councilmember Barton **Yes-**

Councilmember Carn **Yes**

Councilmember McOmber **Yes**

Councilmember Wadman **Yes**

Councilmember Willden **Yes**

No: None.

Absent: None.

Motion passed 5-0

WORK SESSION

1. **Wander Development, Village Plan 3 Layout and Park.** Senior Planner Gina Grandpre presented proposed amendments to the Wander Development to the City Council. These changes will cover updates to the community and village plans, including modifications to land use, architectural guidelines, lotting layouts, and the design of Riverfront Park. These revisions are being presented in response to City Council feedback from September 2024, where additional detail was requested on lot layouts and architectural design guideline requirements. The amendments include adjustments to commercial and meeting house areas in Village 2 and Village 3 due to the widening of Pioneer Crossing and the LDS Church's need for a larger meeting house in Village 3. Additionally, the lotting layouts have been revised to better accommodate these changes. Updates to the Riverfront Park plan have been incorporated, addressing public safety, parking access, and view corridors. Oakwood Homes has worked with City staff to refine the plans, ensuring continuity in design across the community and addressing the concerns raised by the Council. This work session will provide a platform for further discussion on these revisions and to ensure the final plan aligns with the City's vision and development standards.

The Council discussed and clarified aspects of the proposed changes to this project. No action will be taken until it is brought back to the City Council as a business item.

TRAINING

1. **Open and Public Meetings Act Training.** City Attorney Kevin Thurman presented the open and public meetings act training with the City Council. He advised that House Bill 36 made changes to the definition of a meeting and added that when a quorum is present they can't act in a deliberate way or make policy while not in an official meeting. They cannot make pre-determine decisions via text message either.

CLOSED SESSION – 8:23 p.m.

Motion by Council Member Carn to enter into closed session for the purchase, exchange, or lease of property, discussion regarding deployment of security personnel, devices, or systems; pending

or reasonably imminent litigation, the character, professional competence, or physical or mental health of an individual Seconded by Council Member Barton.

Vote:

Council Member Barton Yes

Council Member Carn Yes

Councilmember McOmber Yes

Councilmember Wadman Yes

Councilmember Willden Yes

No: None.

Absent: None.

Motion passed 5-0

Closed Session commenced at 8:25 p.m.

Present: Mayor Miller, Council Members Audrey Barton, Chris Carn, Lance Wadman, Stephen Willden, Michael McOmber (electronically). City Manager Mark Christensen, City Attorney Kevin Thurman, City Recorder Nicolette Fike.

Closed Session ended at 8:50 p.m.

ADJOURNMENT

Meeting Adjourned Without Objection at 8:50 p.m. by Mayor Jim Miller.



Mayor Jim Miller

4-27-2025
Date


City Recorder

Exhibit 8: Title 19.04 Land Use Comparison

Chapter 19.04. Establishment of Land Use Zones and Official Map.

Sections:

19.04.09. Purpose and Intent of Non-Residential and Mixed Use Zones.

19.04.10. Land Use Regulations, Non-Residential and Mixed Use Zones.

19.04.11. Permitted Uses, Non-Residential and Mixed Use Zones.

...

19.04.14. Gateway Overlay.

...

19.04.09. Purpose and Intent of Non-Residential and Mixed Use Zones.

- 1. Neighborhood Commercial (NC).** The Neighborhood Commercial Land Use Zone is intended to create, preserve, and enhance areas of retail establishments serving frequently recurring needs for goods and services in convenient locations to neighborhoods. This commercial zone is typically appropriate to small shopping clusters or integrated shopping centers in developments of one to three acres, but not greater than five, within, or convenient to, residential neighborhoods. Facilities should be oriented to serve residents' commercial service needs, to strengthen neighborhood interaction and neighborhood character, to minimize the need for automobile trips and to make commercial services more readily available to residents of adjacent neighborhoods.
 - a. Improvements such as trails, seating and lighting that would help create gathering spaces and promote pedestrian activity are expected, where appropriate, and may be considered an essential part of developments in the Neighborhood Commercial Zone. Developments in the Neighborhood Commercial Zone shall also be characterized by increased landscaping and architectural compatibility with the surrounding neighborhood.
- 2. Community Commercial (CC).** The purpose of the Community Commercial Zone is to allow for medium size commercial developments, near residential neighborhoods, with establishments that will serve the nearby community. Improvements such as trails, seating, and lighting that would help create gathering spaces and promote pedestrian activity are expected in the Community Commercial zone.

...
- 5. Mixed Use (MU).**
 - a. The purpose of the Mixed Use Land Use Zone is to allow for the establishment of medium density residential neighborhoods mixed with commercial properties. Developments in the Mixed Use zone shall be designed so as to integrate the residential and commercial components into one harmonious development and to be compatible with the existing or anticipated uses on the surrounding properties.
 - b. The goal of the MU zone is to accomplish a mix of residential, commercial, and professional office use in the Mixed Use Zone. The City will review proposals on an individual basis in determining an acceptable ratio for the residential and commercial components.

- c. This land use zone recognizes that in order for the City to be a well-rounded community, many different housing styles, types and sizes should be permitted. Residential densities in this zone shall not exceed fourteen units per acre for the portion of the project devoted to the residential use.

19.04.10. Land Use Regulations, Non-Residential and Mixed Use Zones.

1. Table Summary of Land Use Regulations, Non-Residential Zones.

	NC	CC
Minimum Development Size	---	---
Minimum Lot Size	15,000 sq. ft.	20,000 sq. ft.
Minimum Setback Requirements:		
Front/Corner Side	25'	25'
Interior Sides	15' or height of building, whichever is greater, when adjacent to a residential zone	10' or height of building, whichever is greater, when adjacent to a residential zone ³
Rear	25' or height of building, whichever is greater, when adjacent to a residential zone	25' or height of building, whichever is greater, when adjacent to a residential zone
Setbacks Along Arterials	105' off the arterial roadway centerline, or, if applicable, 15' from back of the 30' trail corridor—whichever is greater.	
Exceptions Allowed	yes	yes
Minimum Building Separation	---	---
Minimum Lot Width	100'	100'
Minimum Lot Frontage	100'	100'
Maximum Height of Structures	35'	40'
Maximum Lot Coverage	50%	50%
Minimum Building Size	---	---
Maximum Building Footprint Size	15,000 sq. ft.	
<ol style="list-style-type: none"> One building of 80,000 sq. ft. maximum is permitted for every 20 contiguous acres within the same development. i.e. 40 contiguous acres is required for two buildings that are each 80,000 sq. ft. maximum. These limits shall not be applied to “Retail, Big Box,” “Office, Professional,” or “Office, Medical and Health Care” which may be any size in the HC zone. Zero (0) foot side setback is permitted where the adjacent property is RC, CC, or HC and where the use of the building is limited exclusively to non-residential use. The wall along the interior side property line shall be unpierced and constructed in accordance with the International Building Code, requiring a building permit and building inspection. 		

2. Table Summary of Land Use Regulations, Mixed Use Zone.

	MU
Maximum Units per Acre	14 units/acre for residential portion of project**
Minimum Project Size	5 acres
Minimum Lot Size:	
Non-residential	15,000 sq. ft.
Single Family Lots	5,000 sq. ft.

Two-Family and Three-Family Dwellings	6,000 sq. ft.
Multi-Family Dwellings	see footprint development requirements
Footprint Development	Allowed
Residential Above Commercial	15,000 sq. ft.
Minimum Setback Requirements:	
Mixed use buildings:	first floor: 10' around the perimeter second floor: 20' around the perimeter third floor: 30' around the perimeter fourth floor: 40' around the perimeter
Residential and Commercial Buildings:	---
Front*	20'
Interior Sides for residential single family and footprint development	10' between buildings, 5' between exterior walls and property lines.
Interior sides for residential two-family, three-family, multi-family	10' between buildings
Interior Sides for non-residential	10'
Rear*	20'
Corner Side	15'
Accessory Building Structure Setbacks	front and corner side: same as primary structure, Rear and interior side: 5'
Minimum Lot Width	50'
Minimum Lot Frontage:	
Residential	35'
Non-residential	60'
Mixed use buildings	100'
Maximum Height of Structures	Four Stories, 45'
Maximum Lot Coverage	50%
Minimum Dwelling Size	1,000 sq. ft. above grade (not to include any garage space)
* An unenclosed entry, porch, or deck may encroach up to five feet into either the required front setback or rear setback and up to two feet into the required side setback.	
** No density shall be calculated on sensitive lands.	

3. Setback Exceptions:

- a. the Land Use Authority may reduce no more than one setback requirement by up to ten feet if:
 - i. The setback is along a collector or arterial frontage, and
 - ii. The setback does not abut residentially developed or zoned properties.

4. Footprint Development:

- a. The minimum lot size shall not apply.
- b. The minimum lot width shall not apply.
- c. Setbacks shall be measured from the building to the edge of the adjacent Right-of-Way or sidewalk, whichever is nearer.
- d. A minimum of 35 percent of the total project area shall be designated as common area for the residential portion of the development. This does not apply to mixed use structures with residential above commercial.

5. Residential Above Commercial:

- a. Residential is allowed above commercial in the Regional Commercial, Mixed Use, and MW zones. The following additional standards shall apply:
 - i. The minimum unit size for residential above commercial in the RC zone is 600 square feet.
 - ii. The maximum residential density for residential above commercial in the RC zone is 14 units per acre.
 - iii. Section 19.19 shall apply to developments in the MU zone for the portion of property that has residential development.

6. Open Space and Landscaping Requirements:

- a. Non-residential Development. For non-residential uses open space is not required; however a minimum of 20 percent of the total project area shall be used for landscaping.
- b. Required landscaping shall comply with Section 19.06.
- c. All sensitive lands shall be protected as part of the open space and/or landscaped area of any development.
- d. Improvements consistent with the Parks and Trails Master Plan, General Plan, Bicycle and Pedestrian Master Plan, or other applicable plan shall be installed.
- e. Residential above Commercial in the MU or RC Zones. At least 25 percent of the project area shall be landscaped and amenities provided per Section 19.19. Amenities may be provided inside the building to meet the requirements.
- f. Residential in the MU Zone. All new residential development is subject to the requirements of Section 19.19.
- g. Footprint Development in the MU Zone. For the commercial portion of the development a minimum of 20 percent of the project area shall be landscaped. For the residential portion of the development, the requirements of Section 19.19 apply and the footprint development standards apply.

7. Mixed Use Zone Standards.

Design elements shall be incorporated in the development to include the following:

- a. Residential and non-residential uses shall not be separated from each other by a public or private roadway as defined in the adopted Engineering Technical Specifications.
- b. Fences shall not separate residential uses from non-residential uses, but shall not apply to fences to delineate individual private residential patio areas.
- c. Uses shall be integrated to allow development that cannot be accomplished by the potential implementation of other zones.
- d. Access via trails is highly encouraged between the residential and non-residential areas.

...

19.04.11. Permitted Uses, Non-Residential and Mixed Use Zones.

The following table lists the Permitted Uses of Nonresidential Zones in the City of Saratoga Springs. Empty boxes mean that the use is prohibited in that zone. Uses not listed are also prohibited.

P= Permitted T=Temporary

	NC	CC	MU
Alcoholic Beverage, State Liquor Store			
Animal Hospital, Small/Small Veterinary Office	P	P	P
Arts & Crafts Sales	P	P	P
Athletic Coaching	P	P	P
Automobile Rental & Leasing Agency			
Automobile Repair, Major			
Automobile Repair, Minor			
Automobile Sales			
Automobile, Boat, All-Terrain Vehicle (ATV), Motorcycle, Recreation Vehicle, Sales & Service			
Bakery, Commercial			
Bakery, Retail	P	P	P
Bar ⁴			
Bed and Breakfast			P
Bookstore	P	P	P
Bounce House			
Building Material Sales (with outdoor storage)			
Building Material Sales (without outdoor storage)			
Bus Lot			
Cannabis Production Establishments as defined by Utah Code			
Car Wash (full service)		P ^{2/3}	
Car Wash (self service)			
Cemetery			
Child Care Center	P	P	P
Churches	P	P	P
Commercial & industrial laundries			
Commercial Recreation		P	P
Commuter/Light Rail Station	P	P	P
Contractor construction services establishments			
Contractor Services Office			
Convenience Store		P	P
Convenience Store/Fast Food Combination		P	
Copy Center	P	P	P
Crematory/Embalming Facility			
Distribution Center			

	NC	CC	MU
Dockless Shared Mobility Device (deployment)	P	P	P
Drive-thru	P ²	P ²	P ²
Dry Cleaners	P	P	P
Dwelling, Above commercial			P
Dwelling, Live/Work			P
Dwelling, Mobile Home			
Dwelling, Multi-Family			P
Dwelling, Single-Family			P
Dwelling, Three-Family			P
Dwelling, Two-Family			P
Educational Center	P	P	P
Electronic Media Rental & Sales		P	P
Electronic Sales & Repair			P
Equipment Sales & Services (with indoor storage)			
Equipment Sales & Services (with outdoor storage)			
Exhibition Center			P
Financial Institution	P	P	P
Fitness Center (5,000 sq. ft. or less)	P	P	P
Fitness Center(5,001 sq. ft. or larger)			P
Floral Sales	P	P	P
Funeral Home		P	P
General Tobacco Retailer			
Golf Course			
Grocery Store		P	P
Hardware & Home Improvement Retail			
Home Occupations			See §19.08
Hospital			
Hotels			P ²
Ice Cream Shop	P	P	P
Impound Yard			
Kennel, Commercial			
Laundromat	P	P	P
Library		P	P
Light Manufacturing			
Marina			
Medical Cannabis Pharmacy			
Motels			
Neighborhood Grocery Store	P	P	P
Non-Depository Institutions			
Office, High Intensity			
Office, Medical and Health Care		P	P
Office, Professional		P	P

	NC	CC	MU
Public Building or Facility – County Owned (excluding any waste or water treatment or jail or detention center)			
Public Parks, playgrounds, recreation areas, or other park improvements	P	P	P
Pawn Shop			
Personal Service Establishment	P	P	P
Plant & Tree Nursery		P	
Postal Center	P	P	P
Preschool		P	P
Printing, lithography & publishing establishments			
Public & private utility building or facility			
Public Building or Facilities (City Owned)	P	P	P
Reception Centers		P	P
Recreation Center		P	
Recreation Rentals			
Recycling Facilities			
Refueling Station, Public		P ²	P ²
Refueling Station, Private		P ²	P ²
Rental, Long Term			P
Rental, Short Term			P
Research & Development			
Residential facilities for elderly persons			P
Residential Facilities for Persons with a Disability			P
Restaurant, Takeout	P	P	P
Restaurant	P	P	P
Retail Sales	P ⁴	P ⁴	P ⁴
Retail, Big Box			
Retail, Specialty	P	P	P
Retail, Tobacco Specialty Business			
School, Public	P	P	P
School, Trade or Vocational			
Sexually Oriented Businesses			
Shooting Range, indoor			
Storage, Self-Storage, or Mini Storage Units			
Storage, Outdoor			
Storage, Vehicle			
Tattoo Parlor			
Tavern ⁴			
Temporary Sales Trailer			T
Temporary Use Trailer, Portable, Prefabricated or Manufactured Building			
Theater		P	
Trampoline Park/Bounce House			
Transit-Oriented Development (TOD)		P	P
Truck and large Equipment Repair			

	NC	CC	MU
Warehouse/Flex			

...

19.04.14 Gateway Overlay

1. **Purpose and Intent:** The Gateway Overlay (GO) is intended to accommodate a variety of commercial and office uses to service visitors as well as local residents. Properties in these entrances to Saratoga Springs should incorporate design aspects that are inviting, attractive, well-designed, and maintained. Site development shall be designed to create a distinct sense of place at the entrance to the city. Developments shall include site design techniques that incorporate best practices in planning for circulation, aesthetics, environmental sustainability, and safety. Development concepts will be scrutinized for their ability to create cohesion between abutting land uses and the surrounding landscape.
2. **Neighborhood Meeting.** A meeting is required in accordance with the provisions of 19.13.04.2.
3. **Development Standards.** Unless otherwise stated or referenced in this section, the standards for developments in the Gateway Overlay shall be the same as for the underlying zoning, and shall include the additional site and architectural design standards in section 19.16.10.
4. **Prohibited Uses.** All uses designated as permitted in the underlying zoning are allowed in the GO zone, except for the following:
 - a. Alcoholic Beverage, State Liquor Store;
 - b. Automobile, Boat, All-Terrain Vehicle (ATV), Motorcycle, Recreation Vehicle, Sales & Service;
 - c. Automobile Rental & Leasing Agency;
 - d. Automobile Repair (major and minor) including repair of all vehicles;
 - e. Automobile Sales;
 - f. Bar;
 - g. Building Material Sales (with outdoor storage);
 - h. Bus Lot;
 - i. Cannabis Production Establishments;
 - j. Car Wash (full and self-service);
 - k. Equipment Sales and Services (with outdoor storage);
 - l. Kennel, Commercial;
 - m. Light Manufacturing;
 - n. Non-Depository Institutions;
 - o. Pawn Shop;
 - p. Recycling Facilities;
 - q. Retail, these uses only:
 - i. Auto Parts,
 - ii. General tobacco retailer as defined in Utah Code § 26-62-102,
 - iii. Medical cannabis pharmacy as defined in Utah Code § 26-61a-102,

- iv. Retail Tobacco Specialty Business,
 - v. Tattoo Parlor, and
 - vi. Tire Sales, and;
 - r. Sexually Oriented Businesses;
 - s. Storage, Self-Storage, or Mini Storage Units;
 - t. Storage, Outdoor;
 - u. Storage, Vehicle;
 - v. Vehicle Impound Yards; and
 - w. Warehouse/Flex.
5. **Signage.** The intent for all signage in the Gateway Overlay is that signs will enhance the aesthetic quality of the community gateway. Requirements for signage in the Gateway Overlay are found in section 19.18.
6. **Landscaping.** In addition to the landscaping requirements in Chapter 19.06, a unified landscaping theme must be provided that is designed to:
- a. be compatible with adjacent land uses and landscaping, including similar size and types of plants and street furniture;
 - b. utilize water conservation and use of plant material suited to conditions in Saratoga Springs, including drought tolerant plants and those identified as appropriate in USDA hardiness zones 7a and 7b.
7. **Parking.** In addition to the requirements of Chapter 19.09, developments in the Gateway Overlay shall be designed with no parking between buildings and current or master planner arterial or collector streets.
- Exceptions:
- a. When a property has frontage on both a collector and a local roadway, when residential uses front on the local roadway, parking areas may only be allowed between the building and the collector. Parking areas adjacent to a collector street shall be screened from view through the use of earth berms, with a minimum height of three feet as measured from the parking surface; as well as additional landscape elements such as trees, shrubs, hedges, etc., and meeting the requirements of Sections 19.06 and 19.16
 - b. When a property has frontage on two arterial roadways, parking areas may only be allowed between the building and the arterial roadway having a lower classification. Arterial road classifications from highest to lowest are: Principal, Major, and Minor. Examples: In the case of a property fronting on both a Principal and a Major arterial, parking would only be allowed adjacent to the Major arterial. In the case of a property fronting on the two arterials of equal classification, parking areas may only be allowed between the building and the roadway having lower traffic volumes, based on a traffic study. Parking areas adjacent to an arterial street shall be screened from view through the use of earth berms, with a minimum height of three feet as measured from the parking surface; as well as additional landscape elements such as trees, shrubs, hedges, etc., and meeting the requirements of Sections 19.06 and 19.16.
8. **Entrance Feature.** A developer in this zone is encouraged to allow by easement a City entrance feature at each entrance to the City that is visible from the nearest public right-of-way. The location of the easement shall be determined at the discretion of the City

Council for the placement of an entrance feature. Also, at the discretion of the City Council, the developer can build a City approved entrance sign to help meet the Streetscape Elements requirement, which would qualify as ten amenity points.

9. **Streetscape.** Each lot within the Gateway Overlay shall meet the Streetscape requirements as outlined in the table below:

Gateway Overlay Streetscape Elements (Assign points only to applicable elements) Points Prorated <ul style="list-style-type: none"> • Every lot within a Gateway Overlay Zone shall contribute at least ten points of the table's amenities for every 150 linear feet facing an arterial or collector street. If a lot within a Gateway Overlay Zone faces more than one arterial/collector, just the greater length of one arterial/collector shall be required. Each lot's required amenities may be within the lot or the subdivision. • Amenities shall face the main road(s) with the intention of streetscape elements being visible as one enters the City. • Land Use Authority Approves at Site Plan. 	Weight	Total
Ten Point Minimum Requirement		
1. Planter Beds or Boxes (20' sq. minimum)	2.00	
2. Decorative Litter Receptacle (See Saratoga Site Amenities Spec.)	2.00	
3. Outdoor Restaurant Seating (Minimum 1 table, 4 chairs or 2 small tables w/2 chairs each)	4.00	
4. Four Ornamental Trees (above minimum, 2" caliper or similar maturity)	2.00	
5. Bench (See City Standards & Specs. & Saratoga Site Amenities Spec.)	4.00	
6. Bike Racks (decorative full size in bike space; capacity 5% of parking)	2.00	
7. Drinking Fountain (ADA s/swivel head)	4.00	
8. Gas Fire Pit	4.00	
9. Tree Guard	2.00	
10. Tree Grate	2.00	
11. Entrance Feature	10.00	
TOTAL		

Example:



The lot outlined in red is within the Gateway Overlay Zone. While this lot does not front Riverside Drive or Crossroads Blvd. it faces them. Approximately 229 feet face Crossroads Blvd. and approximately 159 feet face Riverside Drive. Since 229 is greater than 159, the measurement of 229 feet shall be used. This lot may fulfill the Gateway Overlay Design Standards by providing amenities within this lot or the Steele Ridge Plaza subdivision. Since ten points is needed for every 150 linear feet, this lot is required to provide 15.26 points (or 16 points rounded up) of amenities.







Here is an example of how this lot may obtain at least 16 points:

Example of Chosen Amenities	Weight	Total
1. Planter Boxes	2.00	2.00
2. Decorative Litter Receptacles	2.00	2.00
3. Outdoor Restaurant Seating	4.00 x2	8.00
4. Benches	4.00	4.00
TOTAL		16.00

Gateway Overlay Streetscape Elements

Example Images:

<p>Planter Bed or Boxes*</p> 	<p>Decorative Litter Receptacle*</p> 
<p>Outdoor Restaurant Seating</p> 	<p>Four Ornamental Trees</p> 

<p>Bench*</p> 	<p>Bike Rack*</p> 
<p>Gas Fire Pit*</p> 	<p>Drinking Fountain*</p> 
<p>Tree Guard*</p> 	<p>Tree Grate*</p> 

* Shall use City branded item when available.

(Ord, 25-07, Ord. 24-45, Ord. 23-4, Ord. 22-44)



Code Amendments
Amending Sections 19.18
May 29, 2025
Public Hearing

Report Date:	May 22, 2025
Applicant:	City Initiated
Previous Meetings:	None for these topics
Type of Action:	Legislative
Land Use Authority:	City Council
Planner:	Joel Temple, Planner I

A. Executive Summary:

This is a staff-initiated code amendment related to signage in commercially-zoned districts, and is intended to remove redundant language and clarify language related to non-primary building signage.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing on the proposed code amendments, review and discuss the proposal, and choose from the options in Section H of this report. Options include a positive recommendation with or without conditions, a negative recommendation, or continuation.

B. Background:

Title 19 at present has potentially confusing language regarding the allowance of a third ancillary sign in lieu of a monument sign. Additionally, there is redundancy between the sections of code pertaining to Neighborhood Commercial signage and other commercial zones. Lastly, the sign code refers to both “ancillary” and “secondary” signage for the same types of building signs. Eliminating redundancy and clarifying language will streamline the sign code.

C. Specific Request:

This is a request for approval of proposed code amendments to Section 19.18 of the Land Development Code, as summarized below and as attached.

19.18, Sign Regulations	<ul style="list-style-type: none">Removing redundant language between the Neighborhood Commercial zone and other Commercial zones.
--------------------------------	--

	<ul style="list-style-type: none"> • Creating consistency in language referring to non-primary building signage. • Clarifying additional signage permitted in lieu of monument signs.
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Up for discussion: The only difference in requirements, in the current code, between the Neighborhood Commercial signage and other commercial signage is that the NC zone does not allow pedestal signs. In the proposed version, all the commercial sections are combined, and the following languages has been added:

“In the Neighborhood Commercial zone, pedestal signs are not permitted, except as interior directional signs.”

Pedestal signs are allowed to be 20’ tall and are allowed on property’s that are seven acres or larger. Condition number one provides an option to keep or remove this language as it is a carry-over from previous versions of code, but there may be a different perspective at this time. If it is removed, then all commercial zones will have the same standards.

D. Process:

Section 19.17.03 outlines the process criteria for Planning Commission and City Council Review:

1. The Planning Commission shall review the petition and make its recommendations to the City Council within thirty days of the receipt of the petition.

Complies. *This is a staff-initiated proposal. The application will be reviewed by the Planning Commission and receive a recommendation prior to review by the City Council.*

2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title.

Complies. *Please see Sections F and G of this report.*

3. The Planning Commission shall provide the notice and hold a public hearing as required by the Utah Code and Chapter 19.13. For an application which concerns a specific parcel of property, the City shall provide the notice required by the Utah Code and Chapter 196.13 for a public hearing.

Complies. *Please see Section E of this report.*

E. Community Review:

This has been noticed as a public hearing pursuant to City and State statutes, which requires posting notice on the Utah public notice website and the City’s website and in City Hall, and, except for code amendments, mailing notices to property owners whose land is directly

affected by the request and property owners within 300 feet of the subject property at least 10 calendar days prior to the public hearing.

Public Comment: As of the date of this report, no public input has been received.

F. General Plan:

The proposed amendments, as they relate to the 2022-2042 General Plan Vision, Goals and Strategies for Land Use & Neighborhoods, are evaluated below.

Land Use and Neighborhoods, The Vision

“Land Use and Neighborhoods supports the general plan vision by preserving existing neighborhoods and requiring new attractive, healthy, and family-friendly neighborhoods. Neighborhoods will have a variety of housing types and amenities. As new development occurs, it will be supported by appropriate services and amenities, ensuring a high quality of life for existing and future residents.”

Land Use Goal

Future development in Saratoga Springs reflects the community’s preferred vision.

Staff conclusion: Consistent. *The proposed amendments will provide clarity around type and number of permitted signage in commercial zones in present and future developments in the City.*

G. Code Criteria:

Code amendments are a legislative decision and grant the City Council significant discretion when considering changes to the Code.

The criteria for an ordinance are outlined below and act as guidance to the Council and to the Commission in making a recommendation. Note that the criteria are not binding.

19.17.05 Consideration of General Plan, Ordinance, or Zoning Map Amendment

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;

Consistent. *See Section F of this report.*

2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;

Consistent. *The amendments will not adversely affect the health and welfare of the general public and will allow for clarity related to non-primary building signage in commercial zones.*

3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and

19.01.04. Purpose. This section identifies the purpose of Title 19.

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
 - a. encourage and facilitate the orderly growth and expansion of the City;
 - b. secure economy in governmental expenditures;
 - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
 - d. enhance the economic well-being of the municipality and its inhabitants;
 - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
 - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
 - g. stabilize and conserve property values;
 - h. encourage the development of an attractive and beautiful community; and
 - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

Consistent. *The proposed amendments will improve clarity in the code and contribute to a streamlined development review process both benefiting the City, developers, and the public.*

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

Consistent. *The amendments will provide additional clarity and effectiveness of the Code and better enhance the consistency in development review.*

5. any other reason that, subject to the legislative discretion of the City Council, could advance the general welfare.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

Option 1 – Positive Recommendation

“I move that the Planning Commission forward a recommendation for approval of the proposed code amendments to Chapter 19.18, with the Findings and Conditions in the Staff Report.”

Findings

1. The application is consistent with the General Plan, as articulated in Section F of the staff report, which section is incorporated by reference herein.
2. The application complies with the criteria in section 19.17.05 of the Land Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.

Conditions:

1. Pedestal signs [SHALL/SHALL NOT] be allowed in the Neighborhood Commercial zone.
2. Any other conditions or changes as articulated by the Planning Commission:

_____.

Option 2 – Continuance

“I move to **continue** the proposed code amendments to Chapter 19.18 to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Option 3 – Negative Recommendation

“I move that Planning Commission forward a recommendation for denial of the proposed code amendments to Chapter 19.18, with the Findings below:

1. The application is not consistent with the General Plan:
 - a. _____, and/or,
2. The application is not consistent with Section {XX.XX} of the Code:
 - a. _____.

I. Exhibits:

1. Proposed Code Amendments

Chapter 19.18. Sign Regulations.

19.18.10. Commercial Zone Sign Standards.

~~5. Signage in the Neighborhood Commercial Zone.~~

~~a. Building Signs.~~

- ~~i. See Regional Commercial requirements.~~

~~b. Monument Signs.~~

~~i. Number.~~

- ~~1. Single building or use: One monument sign shall be allowed for each frontage in excess of one hundred feet a building or use has on a public street.~~

- ~~a. When allowed a monument sign by code, a third Secondary Building Sign may be allowed in lieu of a monument sign, but shall not exceed one building sign per elevation.~~

- ~~2. Multiple buildings or uses: One shared monument sign shall be allowed for each frontage in excess of 200 feet a site has on a public street.~~

- ~~ii. Size. A monument sign for a single building or use shall not exceed forty-five square feet in size. A monument sign for multiple buildings or uses shall not exceed sixty-four square feet in size.~~

- ~~iii. Height. A monument sign for a single building or use shall not exceed 7.5 feet in height. A monument sign for multiple buildings or uses shall not exceed ten feet in height.~~

~~c. Pedestal Signs.~~

- ~~i. Only internal directional signage permitted.~~

~~d. Awning and Canopy Signs.~~

- ~~i. Number. One awning or canopy may be used as signage for a tenant, in lieu of a secondary building sign.~~

- ~~ii. Location and Design. Awning and Canopy signs shall be located on the first floor only, and only awnings or canopies approved as part of the site plan and located above doors or windows may be used for signage. Sign copy is only permitted on the vertical portion of the canopy; no sign copy shall be placed on the roof portion.~~

- ~~iii. Size. Sign content shall not exceed twenty percent of the awning or canopy façade on which the sign is located, or fifteen square feet, whichever is less.~~

- ~~iv. Height. A minimum of eight feet of clearance must be maintained between the top of the nearest sidewalk or curb and the bottom of the awning or canopy.~~

~~e. Projecting and Suspended Signs.~~

- i. ~~**Number.** Each street-level tenant is permitted one projecting or suspended sign.~~
- ii. ~~**Location and Design.** Signs shall be located above the entrance to the use, shall not extend more than five feet from the wall to which they are attached, shall maintain clearance of six inches between the sign and the wall, and shall be a minimum of thirty feet from the nearest projecting or suspended sign.~~
- iii. ~~**Size.** Signs shall not exceed twelve square feet in size.~~
- iv. ~~**Height.** A minimum of eight feet of clearance must be maintained between the top of the nearest sidewalk or curb and the bottom of the sign.~~

~~**f. Window and Door Signs.**~~

- i. ~~Window and door signs shall not exceed twenty percent of the window or door on which the sign is located.~~
 - 1. ~~A window sign may be increased to 1/3 of the window or door on which the sign is located if there is not a building sign on that elevation.~~

~~**g. Drive-thru Board Sign for Non-Residential Uses.** Drive-thru board signs are allowed for non-residential uses provided the requirements in this section are met.~~

- i. ~~**Location.** All drive-thru board signs shall be located adjacent to the drive-thru lane and shall not be located in any required setback. Signs may be located on the building or as a monument-style sign.~~
- ii. ~~**Height.** A drive-thru board sign shall not exceed eight feet in height.~~
- iii. ~~**Size.** A drive-thru board sign with a menu (or options) board sign shall not exceed 45 square feet.~~
- iv. ~~**Number.** One drive-thru board sign with a maximum area of 45 square feet and one sign with a maximum area of ten square feet shall be permitted for each drive-thru board lane.~~
- v. ~~**A Drive-thru Board Sign may be LED and shall comply with the following:**~~
 - 1. ~~The light output of the LED shall not exceed 2 foot-candles;~~
 - 2. ~~The image, colors, and text may not be changed more than 3 times per day;~~
 - 3. ~~All images, colors, and text shall be static with no flashing, scrolling, or animation;~~
 - 4. ~~The LED sign shall not use white as a predominate color; and~~
 - 5. ~~At any time the business or drive-thru is closed to the public, the drive-thru board sign shall be turned off and shall remain off until the business or drive-thru is open to the public.~~

~~**h. Curbside Pick-up Signs.**~~

- i. ~~**Location.** Curbside pick-up signs shall be placed at the front of a designated parking stall closest to the curb or sidewalk that is used specifically for curbside pick-up.~~

- ~~ii. **Size.** The area of the sign shall not exceed 1.6 square feet.~~
- ~~iii. **Height.** A curbside pick-up sign shall not exceed six feet in height.~~
- ~~iv. **Number.** The maximum number of curbside pick-up signs allowed shall not exceed 5 percent of the parking stalls on the lot on which the business is located.~~
 - ~~1. Additional curbside pick-up stalls are allowed if the business installs more parking stalls than required. For example, if 100 parking stalls are required, up to 5 stalls (5%) may be designated as curbside pick-up stalls. But stalls above the requirement may also be designated as curbside pick-up stalls (e.g., if there are 102 stalls. Up to 7 may be designated as curbside pick-up stalls).~~
- ~~v. **Illumination.** Curbside pick-up signs shall not be illuminated.~~

6.5. Signage in the Neighborhood Commercial, Regional Commercial, Heavy Commercial, and Community Commercial Zones.

a. Building Signs.

- i. **Number.** Each tenant in a building is permitted one primary building sign, and two secondary ancillary signs; buildings or uses that are larger than 50,000 square feet and have more than one primary entrance may have a second primary sign.
 - a. When a monument sign is allowed by code, a third ancillary building sign may be allowed in lieu of a monument sign. Not to exceed one sign per elevation.
- ii. **Size, primary signage.** The primary building signage shall not exceed a cumulative total size equal to eight percent of the façade on which the sign or signs are mounted, or 30 square feet, whichever is larger.
- iii. **Secondary-Ancillary signage.** Secondary-Ancillary signage shall not be mounted on the same façade as primary signage, and each secondary ancillary sign shall not exceed a cumulative total size equal to four percent of the façade on which the sign or signs are mounted.
 - 1. Secondary-Ancillary signs may be located on the same elevation as a primary sign, in lieu of an alternative location, if 1) the signs are located on a building with a single primary tenant, and 2) the building façade measures at least 400 lineal feet.

b. Monument Signs.

- i. **Number, in addition to interior directional signage.**
 - 1. Single building or use: One monument sign shall be allowed for each frontage in excess of one hundred feet a building or use has on a public street. If a third ancillary wall sign has been approved in lieu of a monument sign, then a monument sign shall not be allowed.

~~6. When allowed a monument sign by code, a third secondary Building Sign may be allowed in lieu of a monument sign when one would be permitted by code. Not to exceed one sign per elevation...~~

~~d.c.~~ Pedestal Signs.

- i. **Number.** In addition to interior directional signage, developments consisting of more than seven acres shall be permitted one pedestal sign for each major entrance into the development.
 - a. In the Neighborhood Commercial zone, pedestal signs are not permitted, except as interior directional signs.
- ii. **Spacing.** Pedestal signs must be separated by a minimum distance of 300 feet as measured diagonally across the property, and shall be a minimum of 200 feet from any other ground sign on the same frontage.
- iii. **Size.** The area of the sign face shall not exceed 120 square feet.
- iv. **Height.** The sign shall not exceed twenty feet in height.

~~e.d.~~ Awning and Canopy Signs.

- i. **Number.**
 1. One awning or canopy attached to a building may be used as signage for a tenant, in lieu of an ancillary-secondary building sign.
 2. Up to two freestanding awnings or canopies may be used for signage.

...

19.18.11. Industrial Zone Sign Standards.

1. Primary Building Signs.

~~1.a.~~ **Number.** Each building is permitted one primary building sign.

- i. An ancillary building sign, of up to 4 percent of the primary building sign's façade area, may be allowed in lieu of a monument sign when a monument sign is permitted by code.

...

3. Monument Signs.

a. Number, in addition to internal directional signs.

- i. Single building or use: One monument sign shall be allowed for each frontage in excess of one hundred feet a building or use has on a public street.

~~A Secondary Building Sign, of up to 4 percent of the primary building sign's façade area, may be allowed in lieu of a monument sign when one would be permitted by code.~~



Code Amendments

Amending Sections 19.02, 19.04, and 19.09

May 29, 2025

Public Hearing

Report Date:	May 22, 2025
Applicant:	City Initiated
Previous Meetings:	None for these topics
Type of Action:	Legislative
Land Use Authority:	City Council
Planner:	Kendal Black, Planner II

A. Executive Summary:

This is a staff-initiated code amendment related to “athletic coaching.” The amendment updates the Athletic Coaching definition, adds two more definitions (Group Fitness and Personal Training), and adds the two new uses to the use table, the parking standards, and specifies which zones the new uses will be allowed in.

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing on the proposed code amendments, take public comment, review and discuss the proposal, and choose from the options in Section H of this report. Options include a positive recommendation with or without conditions, a negative recommendation, or continuation.

B. Background:

There have been recent inquiries about what exactly Athletic Coaching is. Staff has noticed that the previous definition was too ambiguous and could allow more intense uses under the Athletic Coaching definition. To remedy this issue, staff proposes an updated Athletic Coaching definition. This code amendment will provide the updated Athletic Coaching definition, provide parking standards for the two new uses, add the new uses to the use table, and show where they are allowed.

C. Specific Request:

This is a request for approval of proposed code amendments to Sections 19.02, 19.04, and 19.09 of the Land Development Code, as summarized below and as attached.

19.02, Definitions	Updating the definition of “Athletic Coaching” and adding the definition of “Group Fitness” and “Personal Training”
19.04, Land Use Regulations	Adding “Group Fitness (5,000 sq. ft. or less),” “Group Fitness (5,000 sq. ft. or larger),” and “Personal Training” to the use table. “Group Fitness (5,000 sq. ft. or less)” and Personal Training will be allowed in all zones except for Industrial, Institutional/Civic, and Public School Bus Lot. “Group Fitness (5,000 sq. ft. or larger)” will be allowed in the Regional Commercial, Heavy Commercial, Mixed Use, Office Warehouse, Light Industrial, and Business Park zones.
19.09, Off-Street Parking	Adding parking requirements for “Group Fitness” at 1 stall per 150 sq. ft. and for “Personal Training” at 3 stalls per trainer on highest shift.

D. Process:

Section 19.17.03 outlines the process criteria for Planning Commission and City Council Review:

1. The Planning Commission shall review the petition and make its recommendations to the City Council within thirty days of the receipt of the petition.
***Complies.** This is a staff-initiated proposal. The application will be reviewed by the Planning Commission and receive a recommendation prior to review by the City Council.*
2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title.
***Complies.** Please see Sections F and G of this report.*
3. The Planning Commission shall provide the notice and hold a public hearing as required by the Utah Code and Chapter 19.13. For an application which concerns a specific parcel of property, the City shall provide the notice required by the Utah Code and Chapter 196.13 for a public hearing.
***Complies.** Please see Section E of this report.*

E. Community Review:

This has been noticed as a public hearing pursuant to City and State statutes, which requires posting notice on the Utah public notice website and the City’s website and in City Hall, and, except for code amendments, mailing notices to property owners whose land is directly affected by the request and property owners within 300 feet of the subject property at least 10 calendar days prior to the public hearing.

Public Comment: As of the date of this report, no public input has been received.

F. General Plan:

The proposed amendments, as they relate to the 2022-2042 General Plan Vision, Goals and Strategies for Land Use & Neighborhoods, are evaluated below.

Land Use and Neighborhoods, The Vision

“Land Use and Neighborhoods supports the general plan vision by preserving existing neighborhoods and requiring new attractive, healthy, and family-friendly neighborhoods. Neighborhoods will have a variety of housing types and amenities. As new development occurs, it will be supported by appropriate services and amenities, ensuring a high quality of life for existing and future residents.”

Land Use Goal

Future development in Saratoga Springs reflects the community’s preferred vision.

Staff conclusion: Consistent. *The proposed amendments will provide clarity in defining Athletic Coaching, adding definitions for Group Fitness and Personal Training, and determining the zones the uses are allowed in and parking standards for these uses in present and future developments in the City.*

G. Code Criteria:

Code amendments are a legislative decision and grant the City Council significant discretion when considering changes to the Code.

The criteria for an ordinance are outlined below and act as guidance to the Council and to the Commission in making a recommendation. Note that the criteria are not binding.

19.17.05 Consideration of General Plan, Ordinance, or Zoning Map Amendment

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;
Consistent. *See Section F of this report.*
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;
Consistent. *The amendments will not adversely affect the health and welfare of the general public and will allow for clarifications related to athletic coaching.*
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and

19.01.04. Purpose. This section identifies the purpose of Title 19.

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
 - a. encourage and facilitate the orderly growth and expansion of the City;
 - b. secure economy in governmental expenditures;
 - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
 - d. enhance the economic well-being of the municipality and its inhabitants;
 - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
 - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
 - g. stabilize and conserve property values;
 - h. encourage the development of an attractive and beautiful community; and
 - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

Consistent. *The proposed amendments will improve clarity in the code and contribute to a streamlined development review process both benefiting the City, developers, and the public.*

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

Consistent. *The amendments will provide additional clarity and effectiveness of the Code and better enhance the consistency in development review.*

5. any other reason that, subject to the legislative discretion of the City Council, could advance the general welfare.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

Option 1 – Positive Recommendation

"I move that the Planning Commission forward a recommendation for approval of the proposed code amendments to Chapters 19.02, 19.04, and 19.09, with the Findings and Conditions in the Staff Report."

Findings

1. The application is consistent with the General Plan, as articulated in Section F of the staff report, which section is incorporated by reference herein.
2. The application complies with the criteria in section 19.17.05 of the Land Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.

Conditions:

1. Any other conditions or changes as articulated by the Planning Commission:

_____.

Option 2 – Continuance

"I move to **continue** the proposed code amendments to Chapters 19.02, 19.04, and 19.09 to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Option 3 – Negative Recommendation

"I move that Planning Commission forward a recommendation for denial of the requested code amendments to Chapters 19.02, 19.04, and 19.09, with the Findings below:

1. The application is not consistent with the General Plan:
 - a. _____,and/or,
2. The application is not consistent with Section {XX.XX} of the Code:
 - a. _____.

I. Exhibits:

1. Proposed Code Amendments

Chapter 19.02. Definitions

19.02.02. Definitions.

As used in this Title:

17. **“Athletic Coaching”** mean in-person training, ~~where the majority of the business is~~ focused solely on athletic development and team training programs, excluding Personal Training, Group Fitness classes, and non-sport related activities. For the purpose of this definition, a team shall be a group of athletes training together for a specific sport or competition.~~and team training classes.~~
128. **“Fitness Center”** means a facility where members or nonmembers use equipment or space for the purpose of physical exercise and the majority of the physical exercise is typically performed by members or nonmembers on the their own and not in classes or group trainings, even though Athletic Coaching, Personal Training, or Group Fitness may be available.
143. **“Group Fitness”** means exercise:
- a. Conducted in a group setting of three or more clients, led by a qualified instructor or fitness professional; and
 - b. Involves a variety of structured formats designed to promote physical fitness including dance-based workouts, aerobics, boot camps, kickboxing, cycling, Pilates, and yoga.
- ~~143.~~144. **“Hair Salon”** means a retail business:
- a. whose principal activity is the cutting, coloring, and styling of hair; and
 - b. that may provide ancillary services such as nail painting, permanent makeup, microblading, and wax treatments.
- ~~232.~~ **“Personal Training”** means a service provided by a qualified professional, known as a personal trainer, who guides and instructs one to two clients at a time in achieving their fitness goals. For three or more clients, see Group Fitness definition. Personal trainers support clients in improving their physical health, strength, endurance, and overall well-being. These services may be provided in gyms, fitness centers, clients’ houses, or other suitable locations.
- ~~232.~~233. **“Planned Unit Development (PUD)”** means a development under Chapter 19.07 located in a Planned Unit Development Overlay Zone where residential development is guided by a total design plan and where one or more of the land use ordinances or subdivision regulations, other than the land use designation, may be allowed in accordance with applicable standards found in Chapter 19.07 to allow flexibility and creativity in site and building design and location, in accordance with general guidelines as specified in this Code.

Chapter 19.04. Establishment of Land Use Zones and Official Map.

19.04.11. Permitted Uses, Non-Residential and Mixed Use Zones.

The following table lists the Permitted Uses of Nonresidential Zones in the City of Saratoga Springs. Empty boxes mean that the use is prohibited in that zone. Uses not listed are also prohibited.

P= Permitted T=Temporary

	NC	CC	RC ¹	HC	MU	OW	I	LI	MW	BP	IC	PSBL
<u>Group Fitness (5,000 sq. ft. or less)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>P</u>	<u>P</u>	<u>P^A</u>		
<u>Group Fitness (5,001 sq. ft. or larger)</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>P</u>		<u>P^A</u>		
<u>Personal Training</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>P</u>	<u>P</u>	<u>P^A</u>		

P = Permitted, T=Temporary

A. The noted Uses shall be allowed in the listed zones as an ancillary use only.

E. The noted Uses shall be allowed in the listed zones as an edge use only. See §19.05.

1. As an ancillary component of the identified Permitted Uses, employers may offer Child Care Center services for their employees. The provision of such services shall require City approval.

2. Additional Standards as provided in other sections of Title 19.

3. The noted Uses shall not be allowed in the Gateway Overlay. See § 19.04.14

4. Certain retail uses shall not be allowed in the Gateway Overlay. See § 19.04.14

Chapter 19.09. Off-Street Parking Requirements.

19.09.10. Required Minimum Parking.

The table below indicates the minimum requirement for each use; unless otherwise identified, in no case may the minimums be exceeded by more than 25 percent.

Use	Parking Requirement
Athletic Coaching	4 stalls per 1000 sq. ft.
<u>Group Fitness</u>	<u>1 stall per 150 sq. ft.</u>
<u>Personal Training</u>	<u>3 stalls per trainer on highest shift</u>

(Ord. 25-12, Ord. 23-36, Ord. 22-13, Ord. 22-5, Ord. 21-14, Ord. 20-07, Ord. 19-38, Ord. 18-30, Ord. 17-14, Ord. 16-17, Ord. 16-01, Ord. 15-03, Ord. 14-23-1, Ord. 14-13, Ord. 14-1, Ord. 13-16, Ord. 12-9, Ord. 12-3, Ord. 11-9)



MINUTES – Planning Commission

Thursday, May 15, 2025

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

PLANNING COMMISSION MEETING MINUTES

CALL TO ORDER - 6:00 p.m. by Chair Rachel Sprosty Burns.

- 5 1. **Pledge of Allegiance** - led by Commissioner Doug Willden.
2. **Roll Call** – A quorum was present.

Present:

Commission Members: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.
Staff: Sarah Carroll, Planning Director; Rulon Hopkins, Assistant City Attorney; Dan McRae, Assistant City Engineer; Scott Petrik, Engineer; Jeff Pearson, Engineer; Tippe Morlan, Senior/Long Range Planner; Austin Roy, Senior Planner; Wendy Wells, Deputy Recorder.
Others: BJ Ryan, Ross Welch, Jon Galbraith.

- 15 3. **Public Input** - Public input was opened by Chair Rachel Sprosty Burns. Receiving no public comment, the Public Hearing was closed by the Chair.

PUBLIC HEARINGS

- 20 1. **Transportation Master Plan Update. City- Initiated. – Public Works Director/City Engineer Jeremy Lapin and Assistant City Engineer Dan McRae.** Assistant City Engineer Dan McRae presented the item. As an element of the General Plan, the Transportation Master Plan (TMP) is a guide to provide capacity in the City's transportation system to accommodate expected growth. This is an update to a previously-adopted TMP.

Public Hearing Open by Chair Rachel Sprosty Burns. Receiving no public comment, the Public Hearing was closed by the Chair.

Commissioner Hill asked if the City had used consultants to help with the traffic study. He also received clarification that funding was discussed in the TMP and differentiated by whether it was a Utah Department of Transportation (UDOT) or City project; Some sources of funding were: Traffic Impact fees, and Mountainland Association of Governments (MAG).

Assistant City Engineer Dan McRae confirmed that the travel demand model had been done by consultants.

Commissioner Hill shared that he had attended the American Planning Association (APA) Conference where Legislative updates had been discussed, and transportation had been an important discussion topic. He felt it was crucial to plan mindful coordination of development along with transportation. He expressed concern about resident frustrations with gridlock, and wanted to be sure the City was prioritizing transportation funding, and advocating for future transportation planning.

Planning Director Sarah Carroll advised that traffic had been and continued to be a top priority for the City, and that Staff understood the traffic frustrations of residents. She shared some of the actions taken by City Council and Staff to procure funding, and work toward transportation solutions.

Commissioner Carn had several questions/comments about the TMP:

- Did the consultant for the City do work for Lehi and Eagle Mountain?
- Did the City share transportation plans with neighboring cities?

- 50
- Did Staff feel the Level of Service (LOS) grade of excellent in 2050 was an accurate assessment?
 - What engagement does UDOT have with the City plans?
 - He made the suggestion that roundabouts be considered as part of the transportation plan.

55 Assistant City Engineer Dan McRae said he did not believe Lehi or Eagle Mountain had used the same consultant the City did. He verified the City did share plans with neighboring communities.

Planning Director Sarah Carroll further clarified that MAG was involved in coordinating plans, and sometimes there were differing opinions between cities, and negotiations sometimes had to be made.

60 Assistant City Engineer Dan McRae explained that the 2050 LOS grade of “excellent” was based on large roads and freeways being added, and could be accurate with full build-out. He clarified the City Plan was a combination of MAG and UDOT plans and did align with large UDOT roads.

65 Commissioner Miles felt that traffic was the biggest frustration point for residents, and wondered how the City communicated with residents about future traffic plans to help the public understand the plans a little better.

70 Planning Director Sarah Carroll advised the City used social media outlets, City newsletters, the City website, and news media to share transportation plans. She also mentioned that every time UDOT had an update, the City shared that update on social media.

Assistant City Engineer Dan McRae indicated that the TMP was really helpful when the City met with developers for future planning of projects, and prioritizing roads.

75 Commissioner Mann wanted to know if there were any future projects (not currently being worked on) that had been listed in the five-year state-wide Transportation Improvement Program (TIP). She also asked which projects were currently waiting for grants or federal funding. She thought it might be beneficial to have a committee dedicated to managing the traffic plan, and asked if the City had something like that in place.

80 Assistant City Engineer Dan McRae clarified that the projects Commissioner Mann referred to are the MAG and TIP projects. He also shared that Public Works Director/City Engineer Jeremy Lapin had been working on the most recent TIP submittal projects.

85 Planning Director Sarah Carroll commented that there was not a specific transportation committee, but several City departments were consistently focused on transportation issues, and met with MAG and UDOT regularly. She said she would pass along the suggestion for a traffic committee.

90 Commissioner Sprosty Burns referred to traffic accidents in the City, and wondered how those were being addressed, specifically bicycle and pedestrian accidents. She was concerned that City transportation plans were heavily focused on vehicles, and asked what the plans for other types of transportation might be.

Assistant City Engineer Dan McRae noted the City had a great Trails master plan that helped with safety. He felt that providing options for pedestrians and bicyclists was something Saratoga Springs did well.

95 Planning Director Sarah Carroll further clarified that the City was working on the Trails master plan, and there would likely be an update that Commissioners may see later in the year.

Motion made by Commissioner Hill to forward a recommendation of approval to the City Council for the Update to the Transportation Master Plan. Seconded by Commissioner Willden.

100 **Yes: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.**

No: None.

Absent: None.

Motion passed 7 - 0.

- 105 2. **Wildflower Village Plan 9, located approximately west of Mountain View Corridor and Wild Blossom Blvd. BJ Ryan of Lennar Homes as applicant. - Senior Planners David Jellen and Tippe Morlan.**
Senior/Long Range Planner Tippe Morlan presented the item. The applicant requests approval of Wildflower

Village Plan 9 (VP 9), pursuant to Section 19.26 of the City Code, and is proposing to combine Villages 9 and 10 as shown in the Wildflower Community plan into one village, VP 9, with this application, which will be the final residential village plan within the Wildflower Planned Community and consists of approximately 311.62 acres and 1,022 equivalent residential units (ERUs) entirely within the PC zone subject to the Wildflower Community Plan (CP).

Public Hearing Open by Chair Rachel Sprosty Burns. Receiving no public comment, the Public Hearing was closed by the Chair.

Applicant BJ Ryan was in attendance to answer questions.

Commissioner Hill loved all the open spaces. He received clarification that the phasing plan is currently being updated.

Commissioner Carn asked if information had been made public regarding concessions made for the City Cemetery. He wanted a little more information about the steep grade, and if it met the open space requirement. He also received clarification that the poor Level of Service (LOS) in the Staff Report regarding Wild Blossom Blvd would be corrected once Eagle Mountain was able to connect.

Senior/Long Range Planner Tippe Morlan advised there had been a City Council meeting in April 2020 where it was discussed that the Cemetery would not count towards the open space calculations. She noted that some of the lot sizes and density had changed slightly. She also shared that regarding the steep grade, there could be a general allowance within the planned community zone for any acreage to count towards the open space requirement as long as it didn't exceed a 30% grade, and the area in question was in compliance.

Motion made by Commissioner Mann that the Planning Commission forward a positive recommendation to the City Council for Wildflower Village Plan 9, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Mangum.

Yes: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.

No: None.

Absent: None.

Motion passed 7 - 0.

3. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapters 19.02 (Definitions), 19.09 (Off-Street Parking), and 19.12 (Subdivisions). Citywide. City-initiated. - Planner II Kendal Black and Senior Planner David Jellen.** The item was presented by Planning Director Sarah Carroll. This staff-initiated code amendment is proposed in order to comply with Senate Bills (SB) 181 and 104, which were recently adopted by the State. The update to Chapter 19.09 removes restrictions in residential zones related to tandem parking and allows tandem parking to count as two parking spaces. The updates to Chapters 19.02 and 19.12 update and introduce new requirements related to the boundary adjustment process.

Public Hearing Open by Chair Rachel Sprosty Burns. Receiving no public comment, the Public Hearing was closed by the Chair.

Commissioner Hill received clarification that the proposed amendments would bring our Code in line with State Bills that had recently passed.

Motion made by Commissioner Mangum that the Planning Commission forward a recommendation for approval of the proposed code amendments to Chapters 19.02, 19.09, and 19.12, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Miles.

Yes: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.

No: None.

Absent: None.

Motion passed 7 - 0.

Planner Joel Temple was introduced to the Planning Commission.

BUSINESS ITEMS

1. **Saratoga Springs Cemetery Site Plan/Preliminary Plat, located approximately West of Mountain View Corridor and Wild Blossom Blvd. City- Initiated. - Senior Planners David Jellen and Tippe Morlan.** Senior/Long Range Planner Tippe Morlan presented the item. This is a request for the first phase of the City Cemetery, located in Village 9 of the Wildflower Planned Community. Phase 1 of the City Cemetery, which will be City-owned and maintained, is located on approximately 2.57 acres within the Planned Community zone and consists of an access drive to the Cemetery from Prairie Blue Drive, 1371 grave sites, a cremation garden with 265 cremation niches, and a temporary office trailer.

Commissioner Mann asked if there would be a pet memorial garden in the Cemetery.

Planning Director Sarah Carroll was not sure if there would be a pet memorial garden, but said that she would pass the question along. Later in the meeting she learned that there was no pet memorial garden planned.

Commissioner Hill made note of a few of the “shall comply” items in the Staff Report, and wanted to be sure those items would be compliant.

Commissioner Sprosty Burns asked how long the temporary building would be at the Cemetery site.

Senior/Long-Range Planner Tippe Morlan said she would reach out to Public Works to ask about the trailer.

Commissioner Carn asked if the cemetery would be City-operated. He also wanted to know how the business plan and financing was structured.

Planning Director Sarah Carroll responded that the Cemetery would be City-operated, and that City Council could answer questions about the financing and business operations.

Motion made by Commissioner Willden that the Planning Commission forward a positive recommendation to the City Council for the City Cemetery Phase 1 site plan and preliminary plat, located northwest of Prairie Blue Drive, with the Findings and Conditions in the Staff Report.

Seconded by Commissioner Mann.

Yes: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.

No: None.

Absent: None.

Motion passed 7 - 0.

2. **Sierra Estates Plats I, J, K Preliminary/Site Plan, located at 362 W. 400 N. Ross Welch of Patterson Homes as applicant. - Senior Planner Austin Roy.** The item was presented by Senior Planner Austin Roy. The applicant is seeking approval for the Sierra Estates Phase 3 development. The proposed development consists of three plats: Plat I, which consists of 16 single family lots; Plat J, which consists of 38 townhomes; and Plat K, which consists of an assisted living facility (89 beds).

Applicant Ross Welch of Patterson Homes in Highland was in attendance to answer questions.

Commissioner Mann received clarification that a landscaping element in the plan would have no water.

Commissioner Carn had questions about the Development Agreement zoning and density, and wanted to know what R3-6 meant. He also wondered if any of the housing would be for employees of the assisted living facility.

Senior Planner Austin Roy explained that Sierra Estates was an older development and the zoning had changed; they had created a Development Agreement where extra density could be allowed if they agreed to build the assisted living facility.

City Staff explained that R3-6 referred to the type and density of zoning. R1 was a lower density, R2 was a medium density, and R3 was a higher density. The 6 meant 6 units per acre.

Applicant Ross Welch gave some background information for Sierra Estates, and shared that the original master plan had changed. The single-family homes and twin homes would not have any connection to the assisted living facility.

Commissioner Mangum asked about the parking plan, and also received clarification that the lighting was listed as a redline, and would be fixed.

Applicant Ross Welch thought the parking requirement plan would be met and exceeded. He mentioned there could be a few days where parking might be a problem, but in most cases, there would be no issue.

Commissioners Hill and Miles both felt the assisted living facility would add to the quality of life, and liked the nice design.

Commissioner Sprosty Burns wanted to know what the plan would be for parking on holidays and busy days.

Applicant Ross Welch thought that the parking areas would be adequate, but hoped the park and streets may be available for parking on busier days.

Planning Director Sarah Carroll clarified that developments should not rely on on-street parking. The main goal for any development would be to meet their own parking requirement.

Commissioner Carn noted that he had been a customer of several assisted living facilities in Utah, and thought that all of them had more parking than needed, and he did not foresee any parking issues.

Motion made by Commissioner Mann that the Planning Commission forward a recommendation for approval of the requested preliminary plat and site plan for Sierra Estates Phase 3 (Plat I, J, K), located approximately at 400 West 400 North, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Carn.

Yes: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.

No: None.

Absent: None.

Motion passed 7 - 0.

3. **Precision Medical Preliminary Plat/Site Plan, located at 31 W. Aspen Hills Blvd. (approximately 1800 North Redwood Road). Jon Galbraith of Element Design Collective as applicant. - Senior Planner Austin Roy.** Senior Planner Austin Roy presented the item. The applicant is seeking approval for the Precision Medical commercial development, which consists of one lot on 1.17 acres, with one commercial building being proposed.

Applicant Jon Galbraith was in attendance to answer any questions.

Commissioner Sprosty Burns asked if there had been any feedback or public comment on the site plan.

Senior Planner Austin Roy responded that there had not been any public comment.

Motion made by Commissioner Carn that the Planning Commission forward a recommendation for approval of the requested Preliminary Plat and Site Plan for Precision Medical, located at approximately 1800 North Redwood Road, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Hill.

Yes: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.

No: None.

Absent: None.

Motion passed 7 - 0.

4. **Approval of Minutes: April 24, 2025.**

Motion made by Commissioner Hill to approve the minutes of April 24, 2025. Seconded by Commissioner Miles.

Yes: Rachel Sprosty Burns, Charlie Carn, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.

No: None.

Absent: None.

Motion passed 7 - 0.

REPORTS

1. **Commission Comments.** Commissioner Carn noted that all Commissioners had received an email regarding spacing and fencing with the high school. He will forward that email to Planning Director Sarah Carroll.

Commissioner Mann also asked for follow-up on the questions that were discussed earlier in the meeting.

2. **Director's Report.** – Planning Director Sarah Carroll advised of upcoming agenda items and recent City Council actions. She reminded Commissioners that the next Planning Commission meeting would be held on May 29th. She reminded all to respond to the calendar invites.

CLOSED SESSION

Possible motion to enter into closed session – No closed session was held.

ADJOURNMENT

Meeting Adjourned Without Objection at 7:28 p.m. by Chair Rachel Sprosty Burns.

Date of Approval

Planning Commission Chair

Deputy City Recorder