



AMERICAN FORK CITY AMENDED PLANNING COMMISSION AGENDA

Regular Session

May 21, 2025

Wednesday 6:00 PM

American Fork City Hall

31 North Church Street

American Fork City, UT 84003

<https://www.americanfork.gov/AgendaCenter>

Planning Commission Members

Christine Anderson, Chair

Chris Christiansen, Vice Chair

Geoff Dupaix

Bruce Frandsen

Rod Martin

David Bird

Harold Dudley

Claire Oldham

Notice is hereby given that the American Fork City Planning Commission will meet in regular session on May 21, 2025, at the American Fork City Hall, 31 North Church Street commencing at 6:00 PM. The agenda shall be as follows:

1. Regular Session

- a. Pledge of Allegiance
- b. Roll Call

2. Common Consent Agenda (Common Consent is that class of Commission action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the April 16, 2025, Planning Commission minutes

3. Action Items (Action Items is that class of Commission action that requires further discussion on Site Plans and proposed zoning designation for annexing areas. The Planning Commission will have authority to approve Site Plans for final action and provide recommendations for the zone of annexing property.)

- a. Review and action on an application for a Commercial Site Plan, known as 500 East Auto Mall Drive, located at approximately 452 E Auto Mall Drive, American Fork City. The Commercial Site Plan will be on approximately 3.81 acres and will be in the Planned Commercial (GC-2) Zone.

4. Public Hearings (Public Hearings is that class of Commission action that requires further discussion on General Plan changes, Zone changes, and Code Text Amendments that alter the land use characteristics of American Fork City. Public Hearing items will have the chance for the public to speak upon.)

- a. Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Storm Water Management and Discharge Control, of the American Fork City Municipal Code. Amending Section 13.94, the Code Text Amendment plans to modify subsections 13.94.020, 13.94.030, 13.94.070, 13.94.090 and 13.94.100 to be compliant with updated state regulations. These updates include modifying enforcement measures, clarifying responsibilities of property owners related to runoff, creating a new stormwater inspection process and updating the review process to meet state requirements.

5. Other Business

- a. Upcoming Projects

6. Adjournment

Dated this 8th day of May 2025

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Planning Commission Chair*

**AMERICAN FORK CITY
PLANNING COMMISSION REGULAR SESSION**

April 16th, 2025

The American Fork City Planning Commission met in a regular session on April 16th, 2025 at the American Fork City Hall, 31 North Church Street, commencing at 6:00 p.m.

Commissioners Present: Christine Anderson, Chris Christiansen, Rodney Martin, Bruce Frandsen, David Bird, Harold Dudley, Geoff Dupaix

Commissioners Absent:

Staff Present:

Cody Opperman	Planner II
Ben Hunter	City Engineer
Angie McKee	Administrative Assistant I

Others Present: Francis Carson, Suzanne Carson, Dane Hill, Dee Long, Diana Long, Tyler Horan

REGULAR SESSION

Christine Anderson led the “Pledge of Allegiance”

Roll Call

COMMON CONSENT AGENDA

- 1. Minutes of the March 19th, 2025 Planning Commission Regular Session.**

Bruce Frandsen motioned to approve the Common Consent agenda.

Rodney Martin seconded the motion.

Voting was as follows:

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Rodney Martin	AYE
Christine Anderson	ABSTAIN
Chris Christiansen	AYE
Bruce Frandsen	AYE
David Bird	AYE
Harold Dudley	AYE
Geoff Dupaix	ABSTAIN

The motion passed

PUBLIC HEARINGS

- a. Public hearing, review, and recommendation on a proposed Land Use Map Amendment, known as Meadow View Ranch, located at approximately 7058 N 5750 W, American Fork City. On approximately 71.23 acres, the property proposes to change from the Residential Low Density and Design Industrial designations to the Residential Medium Density land use designation.**

Cody Opperman reviewed the background information for Public Hearing Item letter a: The applicant has applied for a proposed Land Use Map Amendment. The project looks to provide a residential medium density to the area to allow around 8 dwelling units to the acre for their project. They are proceeding forward with a land use map amendment to change the current land use designations for an annexation coming down the road. If they were annex right now, they would be under residential low density and designed industrial designations. In the past there has been interest in having residential uses north of 1100 South and west of 100 East with no further encroachment of Industrial Uses past those roads.

Tyler Horan, the applicant, informed the commissioners that he owns or is buying about half of this parcel, and the church owns the other portion. He is looking to develop this land with residential options, as he was told that a previous request to develop this parcel as industrial was denied by the city because the vision for this area was residential.

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Commissioner Anderson told the applicant that a couple of things she really likes about this project is keeping the industrial area below that line they designated, and this would also provide a range of housing options for diverse demographics.

Public Hearing Open

Francis Carson who lives across the street from this property, asked for clarification on the difference between medium and low density.

Cody Opperman explained that low-density can have 3-5 residential dwellings per acre, while medium density would be more like 5-10 residential dwellings per acre.

Francis Carson spoke about his concern with the traffic problem that the new high-rise apartments have already brought into this area, and he would really like this parcel to remain a low-density area where people build homes like they used to. He is also concerned with how the train tracks and a roundabout would work in the area, because right now when a train comes, some areas of traffic can get backed up for miles, and if there were a catastrophe, help cannot get through. He explained that if there are 8 units per acre, and there are 70 acres that would be 580 homes, so if each home has 2 cars, that adds 1200 more vehicles to the roads. As a lifelong resident and farmer who loves American Fork, he would like to see this area stay a lower density, so he does not have to leave the area like so many others have had to do.

Commissioner Anderson thanked Mr. Carson for his comments and added that the commissioners are doing their best to plan for the future, and it is tricky because it would be nice to have everyone's kids be able to stay close by, but that requires adding more housing options.

Commissioner Martin noted that having the public at these meetings is exactly what is needed, as so many decisions are made with nobody here. He wishes more people would take the opportunity to attend. He added that because the state has mandated that cities provide more affordable housing, while he agrees that high density should not be considered for this area, he does not see an issue with going from low-density to medium density.

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Dee Long said he lives on 500 south, west of the freeway, and south of the railroad tracks. He spoke about his concern with the huge traffic problem in the area, and 8 units to the acre means duplex's and 4-plex's when traffic in the area is already crazy. He brought up that a connector is also supposed to come through the area and connect to Pioneer Crossing, and he just can't see how that can happen as right now there is work being done on so many roads that there is only one way in and out of the area. He added that it is already a struggle to get in and out of the business that he owns on 1500 South down by the sewer plant, so for those reasons he would prefer to keep this parcel at a low-density, so the traffic problem does not get even worse.

Susan Carson stated that she would also like this area to stay low-density because of the mess she feels the city has created by the front runner and also over by the Deseret Industries. She believes the traffic and parking problems in those areas are absolutely horrendous. She also noted that while she understands that changes must happen, she is worried about her area becoming a mess like what is happening by the front runner where people are parked on both sides of the road, and you can barely get a car through there, let alone the busses and the semi-trucks that come through to get to the industrial area. She added that because there are only a few residents in this area right now, they will not get a lot of public feedback, but she is confident if they asked the residents near the front runner they would get plenty of feedback as to why American Fork City should stop putting so much density into these subdivisions.

Diana Long spoke about the fact that they were one of the first homes to be built in the area, and while she understands that over time people are going to sell their properties, she wishes the people developing these properties would stop and think about the people who are already living in the area. She feels that right now she lives in a very nice area but worries that adding all of these smaller homes is going to decrease the value of her home.

Public Hearing Closed

The City Engineer, Ben Hunter, explained that there are traffic studies that are required to take place before a large development is approved; these studies are done to identify the impact the project will have on the area. He acknowledged that the city is aware that there are roads needing quite a bit of work and will get to them as soon as possible. He also understands the timing of these projects is not always ideal and informed that projects requested by utility companies have

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been put on hold while some of the roads are being reconstructed first. He wants the public to know that the city hears their concerns and appreciates the feedback.

Commissioner Frandsen asked to clarify that low-density maximum is 5 homes per acre, and medium density max is 10.

Cody Opperman confirmed that low-density is 3-5 and medium density is 8-10.

Commissioner Frandsen stated that in his opinion, this area should be low-density, as the TOD was created for the high-density projects, and as you move away from the center of the TOD, the density should get lower and lower. He has seen personally how the master plan changes over time and informed the commissioners that years ago he sold a property for a highly reduced price because the city had informed him that a round-a-bout would be required at the bottom of 500 East, but once Amazon came in and developed, the round-a-bout is nowhere to be found and that intersection is a death trap. He is concerned that the city continues to disregard the vision from 15 years ago to keep high-density in the TOD and now the densities are being pushed everywhere. He stated that in his opinion, 5 homes per acre is an acceptable amount for this area.

Commissioner Martin asked what percentage of the 72 acres would need to be roads, and the City Engineer said his best guess without doing any mathematical analysis would be 10-15%.

Commissioner Frandsen added that the density of how many units are allowed per acre is decided from the acreage before the roads or any common spaces are considered, so that actually makes the lots smaller.

Cody Opperman requested to clarify that when the property is annexed into the city, there will be specific lot width requirements for the specific zone they are annexed into. Usually, the residential medium density is going to be R2 or R3-7500 zoning, so the smallest lot width is 75 feet of width and 100 feet of lot depth. If someone is looking to do a duplex, it would be a

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minimum of a 12,000 square foot lot, with 90 feet of width and 100 feet of depth. He added that the current city standard for off street parking for residential uses would be 2 stalls.

Commissioner Dudley shared that while he came tonight being okay with the change to medium density, he acknowledges that because he does not live in that area, and after the public comments tonight, he is leaning towards keeping this a low-density parcel.

Commissioner Bird commented that from what he is hearing, it is not the amount of housing units going in that people are having an issue with, it is the traffic, and some of this is due to the road construction going on, which is temporary. He noted that he understands the frustration because he had to turn on his GPS to get to the dump recently. While he hopes the traffic problems will be worked out sometime in the near future, the traffic is not something the planning commission has any control over, but in order to ease the stress of the current residents, he is leaning towards a lower density in this area.

Commissioner Frandsen wanted to add that recently he had to wait until the cars were all moved in the TOD in order to get his farming equipment down the road to farm his own land. There have also been times when he has been forced to turn around. He added that American Fork has their fair share of high-density areas while some of the cities around refuse to do any at all.

Commissioner Anderson mentioned that while she understood the vision of starting with high density in the TOD and moving to lower density going out of the TOD, now she is seeing that as people are coming into develop, they are creating the road system to support a higher density area. She would like to have some joint planning sessions to address these issues.

Commissioner Dupaix acknowledged that he and Commissioner Dudley were on the Planning commission when the TOD was first presented, and he believes that there were some great benefits to the city for adding these developments, and asked Commissioner Frandsen if he agrees that even he himself benefited from the change.

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Commissioner Frandsen noted that he was not sure that his benefits outweighed the negatives.

Commissioner Dupaix continued that he agrees that change is hard, and everyone does the best they can with the information and the foresight that they have, but things will never be perfect. He feels the issues in this area would be very different if some of the other connections that were originally planned for were allowed to go in. He added that his daughter was forced to go into a multi-family property because she can no longer afford to buy a home in this economy. While he agrees that everyone has very valid points, he has lived here all of his life, and he wants American Fork to continue to be a community that people want to come to. He also pointed out a reminder that there are constitutional protections for developers, not State Constitution, Federal Constitution, and that needs to be taken into account as well.

Commissioner Frandsen commented that he has been a part of this process from when this area was zoned one home to 5 acres, and again when this was zoned one home for 1 acre, and he believes there is enough high density in this town, and there is not a need to keep putting 50 homes per acre from the front runner clear out to the lake, as some people still want a single-family home on their own lot.

Commissioner Dupaix agreed that one person's perception of quality of life differs from another, so each point can be rationalized any which way, but trying to look objectively at this, he sees people making statements and judgments based on emotion. The medium density seems acceptable to him and at this point he does not see enough data to convince him otherwise.

Commissioner Anderson stated that maybe because the city has these certain areas that have really not worked out as planned, it causes so much fear that any development is going to be a repeat of some of these areas. Even though we're not talking about high density, we're still worried because of our experiences with density in general.

Commissioner Christiansen thanked his fellow commissioners for sharing their thoughts and points of view and added that he is grateful they are talking about medium density and not high density here tonight. He mentioned that he would not want to build a nice big home right by the

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train tracks, but he would love to own a 5-acre property and would want to have a say in what could be done with his property, as do all landowners. He again thanked the commissioners and noted that there are valid points across the board.

Tyler Horan the developer, thanked the commissioners for the good discussion and the respectful way this meeting is being handled, and he understands everyone's thoughts and concerns. He wanted to let the commissioners, and the public know that they are looking to develop 7 units per acre, with a mix of single family and attached family homes. He added that if this were to be a low-density development, the home prices would be less affordable, and while he himself lives just south of the TOD and has to deal with some traffic, he is just very grateful to have a home. He thanked everyone for their comments.

Dane Hill works for the church, and he manages this property. He wanted to comment that because the city did not want to do industrial in this area, their intent is to create a good community here around the meeting house.

Commissioner Bird asked what the church's stance is, and if they would prefer low or medium density.

Dane Hill informed that while he feels the church doesn't really have a stance on this, they are in agreement with the 7 units per acre.

Commissioner Anderson asked for clarification on the TOD radius.

Cody Opperman informed her that the TOD is specifically a half mile radius from the front runner station, and from the center, the density would get lower and lower.

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Commissioner Christiansen found it interesting while looking at the map, that having medium density right up against all the design commercial seems to already act as a buffer between the residential and industrial areas.

Commissioner Dudley mentioned that he feels this is one of the more difficult decisions they have had to make and added that they truly do listen to the public and the developers. He reminded the commission where this is just a land use change, and not an annexation, he wanted to mention that right now this is designed industrial, and if someone were to come in with a project that meets the qualifications, this area could end up industrial, even though they all agree to keep the industrial area on the other side of 1100. He liked what commissioner Bird said about this being a traffic issue, and he sees that the city, county and state, seem to be working on a resolution to the traffic issues. He added that if he was the person making the decision he could see a mixture of low and medium density with this property.

Commissioner Dupaix pointed out that the church already exists, and a portion of the building is on a designed industrial designation so some of this is kind of arbitrary, because at some point it was already determined that at least a portion of this was going to transition from one zone to another.

Commissioner Martin brought up that the train tracks are what make this triangular property a triangle, and it should be taken into consideration what type of homes people are willing to live in right next to the track. He also wanted to mention that while this is a much broader discussion for another time, it's important to consider that a developer doesn't have to do anything with the road improvements even one inch past their property. He added that there are a lot of areas in our city and county where there is a nice wide and paved road, with sidewalks, curb and gutter, and then all of the sudden it becomes a two-lane road with no shoulder. He realizes that some of these improvements have not been possible due to some landowners not being willing to give up a portion of their property to better the community, but after listening to all the comments, it makes sense to him to move forward with what is being proposed.

Commissioner Frandsen wanted to make the comment that if you follow the tracks down into Vineyard, there are single family homes 30 feet away from the tracks, and they sold like hot

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cakes. He added that like Commissioner Dupaix said, everyone's vision of a great quality of life is different.

Ben Hunter wanted to inform everyone that there are limitations by state statute and other regulations, of what can and cannot be imposed on a development as it pertains to roads and traffic. He added that part of the challenge is that while there are roads that the city would love to improve, the property owners have their rights, and some have not been willing to sell the land to the city to make some of those improvements. He added that there is a lot that does go into these development approvals, and while the city can require some right of way to make some of those improvements, this cannot be required until annexation.

Commissioner Anderson asked for clarification on where the planning commissions ideas and suggestions to developers can start to infringe on their property rights.

Cody Opperman explained that the city code has minimum requirements that the developers are required to provide in order to develop their land, and while the planning commission can make recommendations on certain minor changes, like landscaping, it would depend on what those specific municipal requirements entail. In this case, the change being requested tonight is land use, and there is nothing like that.

Commissioner Anderson asked if it was possible to make any changes to this request or if it is strictly the requirement that they approve or deny this land use.

Cody Opperman informed her that they could put something into the motion like instead of having the medium density all the way through the development, to possibly split it.

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Ben Hunter reminded them that this is only a recommendation, as the City Council is the approval body.

Bruce Frandsen moved to recommend a denial of the proposed Land Use Map Amendment, located at approximately 7058 N 5750 W, American Fork City, from the Residential Low Density and Design Industrial designations to the Residential Medium Density land use designation, but would recommend the land all be changed to low-density, and subject to any conditions found in the staff report.

Harold Dudley seconded the motion.

Voting was as follows:

Rodney Martin	AYE
Christine Anderson	NAY
Chris Christiansen	NAY
Bruce Frandsen	AYE
David Bird	AYE
Harold Dudley	AYE
Geoff Dupaix	NAY

The motion passed

- b. Public hearing, review, and recommendation on an application for a Zone Change, known as Learning Blocks Daycare, located at 355 East 200 South, American Fork City. The Zone Change will be on approximately 0.61 acres and is in the GC-1 zone and will change to the R2-7500 zone.**

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Cody Opperman reviewed the background information for Public Hearing Item letter b: The applicant has applied for a proposed Zone Change. The applicant is requesting a change from the GC-1 zone to the R2-7500 zone to provide a residential daycare business in the building. This property has recently been changed from the R2-7500 zone to the GC-1 zone to accommodate a commercial daycare, but the applicants are wanting to change it back to its original residential zone.

Public Hearing Open

No Comment

Public Hearing Closed

David Bird moved to recommend approval for the proposed Zone Change, located at 355 East 200 South, American Fork City, from the GC-1 Zone to the R2-7500 Zone, subject to any conditions found in the staff report.

Geoff Dupaix seconded the motion.

Voting was as follows:

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Rodney Martin	AYE
Christine Anderson	AYE
Chris Christiansen	AYE
Bruce Frandsen	AYE
David Bird	AYE
Harold Dudley	AYE
Geoff Dupaix	AYE

The motion passed

ACTION ITEMS

- a. Review and recommendation on an application for a Commercial Site Plan, known as Ken Garff Truck Center – EV Charging Stations, located at approximately 581 E 1100 S, American Fork City. The Commercial Site Plan will be on approximately 7.5 acres and will be in the Planned Commercial (GC-2) Zone.**

Cody Opperman reviewed the background information for Action Item letter a: The applicant has applied for a Commercial Site Plan to develop a to incorporate Electric Vehicle Charging Stations for the overall site. This site is an existing automobile sales establishment, and they are looking to include EV Stations for their electric vehicles.

Commissioner Martin wondered why a project like this is coming before the planning commission.

Cody Opperman explained that at this time it is still required in the city code, but that may change in the future.

Geoff Dupaix moved to approve the proposed Commercial Site Plan, located at approximately 581 E 1100 S, American Fork City, in the Planned Commercial (GC-2) Zone, subject to any conditions found in the staff report.

Rodney Martin seconded the motion.

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Voting was as follows:

Rodney Martin	AYE
Christine Anderson	AYE
Chris Christiansen	AYE
Bruce Frandsen	AYE
David Bird	AYE
Harold Dudley	AYE
Geoff Dupaix	AYE

The motion passed

Other Business

Cody Opperman updated the commissioners on the upcoming plans and projects for the city.

Adjournment

Rodney Martin motioned to adjourn the meeting.

Chris Christiansen seconded the motion.

Meeting adjourned at 7:41 PM

Angie McKee

Administrative Assistant I

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The order of agenda items may change to accommodate the needs of the commissioners, public and staff.

Agenda Topic

Review and action on an application for a Commercial Site Plan, known as 500 East Auto Mall Drive, located at approximately 452 E Auto Mall Drive, American Fork City. The Commercial Site Plan is proposed on approximately 3.81 acres in the Planned Commercial (GC-2) Zone.

BACKGROUND INFORMATION		
Location:		452 E Auto Mall Drive
Project Type:		Commercial Site Plan
Applicants:		Steve Davies, Jared Huish
Existing Land Use:		Design Commercial
Proposed Land Use:		Design Commercial
Surrounding Land Use:	North	Design Commercial
	South	Design Industrial
	East	Design Industrial
	West	Design Industrial
Existing Zoning:		Planned Commercial (GC-2)
Proposed Zoning:		Planned Commercial (GC-2)
Surrounding Zoning:	North	GC-2
	South	Unincorporated Territory; PI-1
	East	PI-1
	West	Unincorporated Territory; PI-1
Square Footage (By Use)		Gymnasium: ~13,000 s.f. Car Dealership: ~ 18,000 s.f. Retail: ~ 21,425 s.f.
Total Number of Units		N/A

<p>Parking Requirement</p>	<p style="text-align: center;"><u>Rival Athletics</u></p> <p>Gymnasium: Considered under the Health Clubs and Recreational Facilities designation - 2 stall per player or 1 stall per 3 persons permitted capacity. This designation can be found in Section 17.5.133 (C)(6).</p> <p>Unclear Parking Total. The applicant has not provided information regarding the total persons permitted capacity of the use, but Rival Athletics is presumed to have ~13,000 s.f. the building. The permitted capacity is determined by the occupancy type of the ~13,000 s.f. area. An example can be 200 people allowed in the area. $200/3$ would equal 67 stalls required.</p> <p style="text-align: center;"><u>Car Guyz</u></p> <p>Car Dealership: Will be considered under the Motor Vehicle Sales and Service designation - 3 stalls per one thousand square feet of gross floor area used for display, sales, and administration; 1.5 stalls per one thousand square feet of area used for warehouse of parts and materials; 4 stalls per service bay. This designation can be found in Section 17.5.133 (C)(2)(g).</p> <p>Display, sales, and admin: $3,876 \text{ s.f.} / 1,000 = 3.876$; $3.876 * 3 \text{ stalls} = 12 \text{ stalls}$</p> <p>Warehouse: $14,289 / 1,000 = 14.289$; $14.289 * 1.5 = 22$ stalls</p> <p>Service Bays: $2 * 4 \text{ stalls} = 8 \text{ stalls}$</p> <p>Total = 42</p> <p style="text-align: center;"><u>J5 Brands and Auto Diamond</u></p> <p>General Retail designation - Four and one-half spaces per one thousand square feet of gross floor area. This designation can be found in Section 17.5.133 (C)(2)(a).</p> <p>General Retail: $21,425 / 1,000 = 21.425$; $21.425 * 4.5 = 97 \text{ Total Stalls}$</p>
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Planning Commission Staff Report
Meeting Date: May 21, 2025



	Total Count of Stalls (without the information for the gymnasium) = 139 stalls
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<p>Parking Reduction Request (17.5.133(D))</p>	<p><u>Rival Athletics</u></p> <p>Gymnasium: 4 Mats * 20 people per mat = 80 occupancy 80/3 = 26 stalls.</p> <p>Office Area: 1,017 s.f. office + 156 storage / 1,000 = 1.16 * 4.5 = 5.2 = 6 stalls.</p> <p>Total = 32 stalls</p> <p><u>Car Guyz</u></p> <p>Office Area: 3,836 s.f. (display, sales, administration) / 1,000 s.f. = 3,836; 3.836 * 3 stalls = 11.5 stalls</p> <p>Warehouse: 14,289 s.f. minus Service Bay area (car storage) / 1,000 = 14,289; 14.289 * .25 stalls = 4 stalls</p> <p>Service Bays: 2 service bays = 8 stalls</p> <p>Total = 24 stalls</p> <p><u>J5 Brands</u></p> <p>Office Area: 1,184 s.f. / 1,000 = 1.184 * 4.5 stalls = 5.3 stalls</p> <p>Retail: 751 s.f. / 1,000 = .751 * 4.5 stalls = 3.3 stalls</p> <p>Warehouse: 8,375 s.f. / 1,000 s.f. = 8.375 * 1 stall = 8.375 stalls</p> <p>Total = 17 stalls</p> <p><u>Diamond Auto</u></p> <p>Office Area: 1,178 / 1,000 = 1.178 * 3 stalls = 3.5 stalls</p> <p>Retail: 617 s.f. / 1,000 - .617 * 4.5 stalls = 2.7 stalls</p> <p>Warehouse: 8,431 s.f. / 1,000 = 8.43 * 1 stall = 8.4</p> <p>Total = 15</p> <p>Overall Request Total = 89</p>
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Background

The applicant has applied for a Commercial Site Plan. The project was previously approved for an office/warehouse establishment that was in the Planned Industrial Park (PI-1) Zone. The applicants have recently been granted a zone change from the PI-1 zone to the GC-2 zone with the condition that they come back through the Development Review Committee (DRC) process due to the change of uses that they will be providing within the development.

The new uses proposed within the development are a car dealership, gymnasium, and retail uses. The applicant is requesting a parking reduction. Planning Commission can approve the site plan, however, a reduction in parking must be approved by the City Council after a recommendation from the Planning Commission. The requirements for a parking reduction request are found within Section 17.5.133 (D)(1) of the City's Municipal Code.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.

3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

1. Upon recommendation from the Planning Commission to approve a reduction, the City Council will need to make an approval of the reduction for the entire site plan to be considered a valid approval.
2. Address all outstanding comments from the DRC review.

Findings of Fact

1. The Commercial Site Plan process MEETS the requirements of Section 17.6.101.
2. Outstanding comments can be addressed through conditional approval.
3. Required parking number is not met by applicant; however, applicant is seeking a reduction per 17.5.133(D)(1)

Project Map



Standards Conditions of Approval

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, streetlight, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Staff Recommendation

The Commercial Site Plan MEETS the requirements of Section 17.6.101. Staff recommends APPROVING the application WITH CONDITIONS.

Potential Motions – Commercial Site Plan

Approval

I move to approve the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone.

Table

I move to table action for the proposed Commercial Site Plan, located at approximately 452 E Auto Mall Drive, American Fork City, in the Planned Commercial (GC-2) Zone and instruct staff/developer to.....

AMERICAN FORK OFFICE & WAREHOUSE

LOCATED IN THE NORTHWEST QUARTER OF SECTION 25,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH

Next Step:
Proceed to Planning Commission
05/21/2025

DRC Plan Review Meetings

These meetings are available
with staff on Tuesdays from
9:00 AM-12:00 PM in 30
minute appointments.

Meetings can be scheduled
with Melissa White at
mwhite@americanfork.gov
or through
801-854-5932

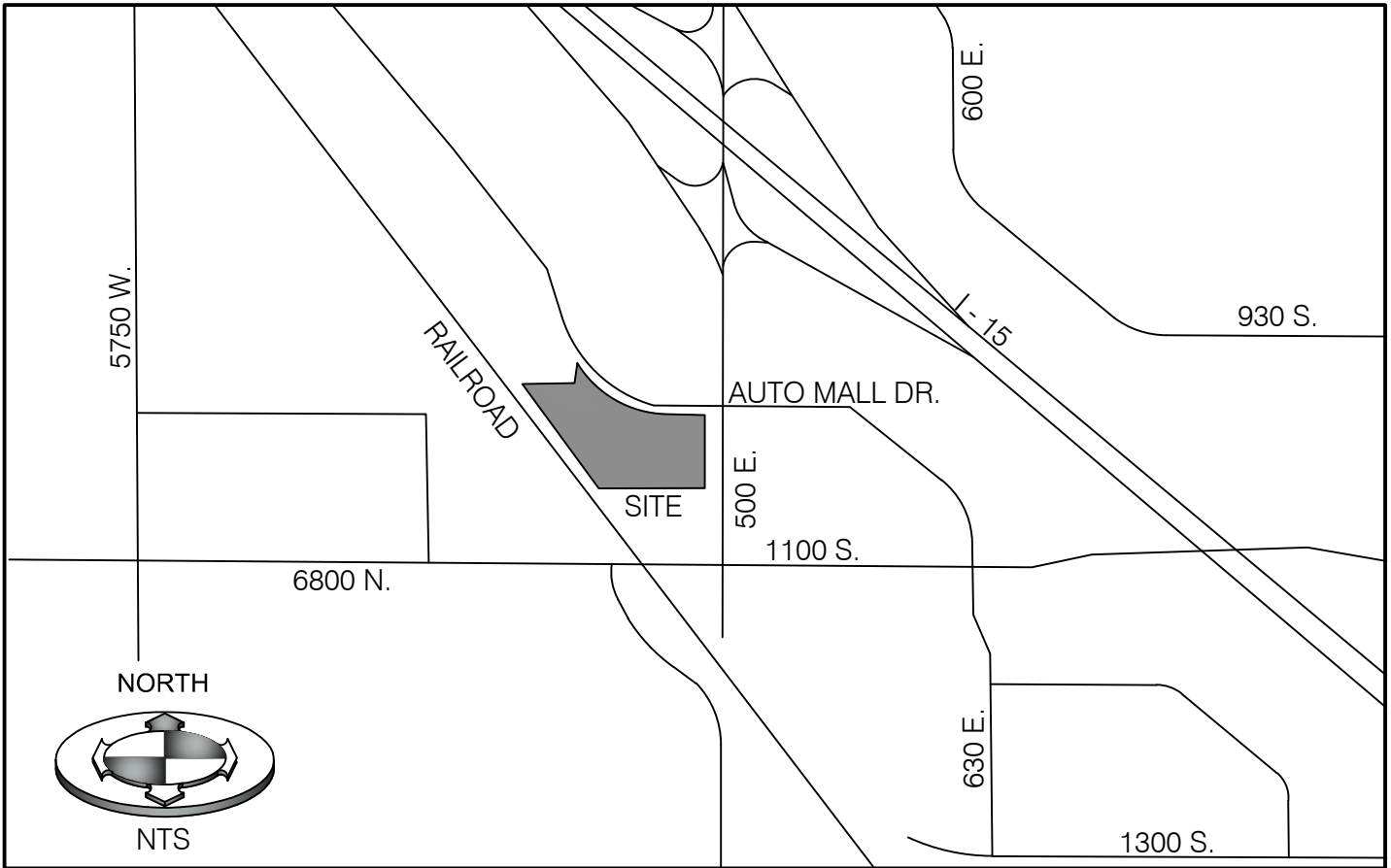
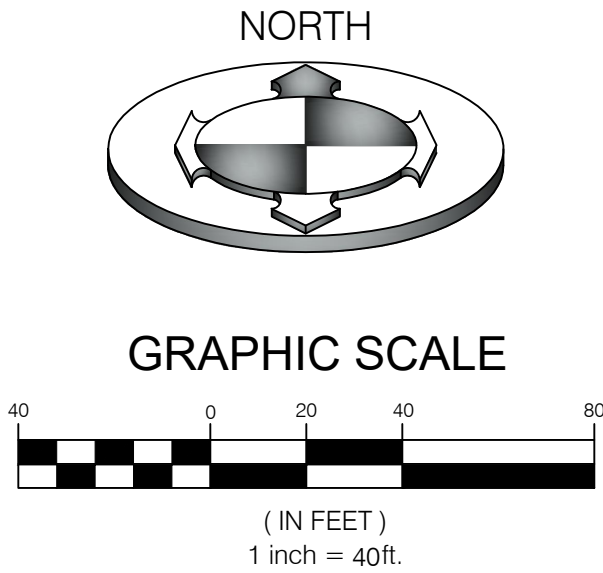
American Fork City Development Review	
EC/LID Reviewed tmezenen 04/21/2025	Water/PI Division Reviewed jbrems 04/30/2025
Sewer/Storm Drain Division Reviewed ahardy 04/23/2025	Planning and Zoning Reviewed copperman 04/30/2025
Public Infrastructure Reviewed dhoward 04/28/2025	Fire Department Reviewed M. Sacco 04/30/2025
	Engineering Division Reviewed rburkhill 04/28/2025
	Streets Division Reviewed ehyde 04/30/2025

Re-Submittal Acknowledgment Statement
The Applicant is responsible for reviewing all documents
to ensure all comments have been addressed.

[Applicant Initial] I understand that a Review Cycle is not
complete unless and until the applicant replies to all of the required
modifications and requests for additional information noted on the
previous submittal.

[Applicant Initial] I hereby acknowledge that this re-submittal
addresses all required modifications and requests for additional
information noted on the previous submittal.

[Applicant Initial] This is the [Ex: 1st] complete
re-submittal of the subdivision constituting the start of the [Ex: 1st]
[Same Number] Review Cycle.



VICINITY MAP
N.T.S

OWNER/DEVELOPER:
DAVIES DESIGN
JONATHAN JENSEN
240 NORTH 1200 EAST, SUITE 201
LEHI, UTAH 84043
801.592.6044
JON@DAVIESDESIGNBUILD.COM

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CGD.02	GRADING & DRAINAGE PLAN
SS-01	SIGNAGE AND STRIPING SHEET(BY OTHERS)
CSS.02	SIGNAGE AND STRIPING SHEET
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES
CDT.03	DETAILS & NOTES
CDT.04	DETAILS & NOTES
CDT.05	DETAILS & NOTES
CDT.06	DETAILS & NOTES
CDT.07	DETAILS & NOTES

CIVIL CONSTRUCTION PLANS

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ENGINEERING &
LAND SURVEYING**

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SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

PROJECT NO: 1905136

COVER

1 OF 17

No.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL.
19	03/27/24	REMOVED RAISED MEDIAN AND APPROACH.
20	05/24/24	ADDED LIGHT POLES
21	05/24/24	RETAINING WALL ADDED
22	03/03/25	REVISED PER CITY COMMENTS
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION

COMPANY	CONTACT	NUMBER
AMERICAN FORK CITY PUBLIC WORKS		
• CULINARY WATER/PRESSURIZED IRRIGATION	JAY BREMS	(801) 763-3060
• SEWER/STORM WATER	ASHTON HARDY	(801) 763-3060
• CITY INSPECTOR	DREW HOWARD	(801) 763-3060
• SWPPP INSPECTOR	HARLAN NIELSEN	(801) 763-3060
AMERICAN FORK CITY FIRE MARSHALL	MAT SACCIO	(801) 763-3045
AF FIRE	KYLE PETERSON	(801) 400-2933
AMERICAN FOR IRRIGATION COMPANY	ERINIE JOHN	(801) 471-6576
CENTURY LINK	BILL WESTFALL	(435) 623-4252
COMCAST	ELYSIA VALDEZ	(801) 601-3017
DOMINION ENERGY	TRENT JOHNSON	(801) 853-6548
ROCKY MOUNTAIN POWER	TERIA WALKER	(801) 756-1310
TRIPLANDS SPECIAL SERVICE DISTRICT	DAVID BARLOW	(801) 756-9231
MITCHELL HOLLOW IRRIGATION CO.	DALE JONES	(801) 768-8150

Swppp contact is
Tyler Mezenen

IMPERVIOUS AREA: 139,137 S.F.
LANDSCAPE RATIO: 0.16

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IT'S FREE & IT'S THE LAW**

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER

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www.bluestakes.org

LINETYPES:		
NEW	EXISTING	
		SECTION LINE
		PROPERTY LINE
		ADJACENT PL. or LOT LINES
		RIGHT-OF-WAY LINE
		CENTERLINE of ROAD
		EASEMENT LINE
		CURB & GUTTER
		EDGE OF ASPHALT
		FENCE, WALL, STONE
		FENCE, BLOCK
		FENCE, BRICK
		FENCE, CHAIN
		FENCE, IRON
		FENCE, VINYL
		FENCE, WIRE
		FENCE, WOOD
		INDEX CONTOUR LINE
		INTERMEDIATE CONTOUR LINE
		SPOT ELEVATION
		SANITARY SEWER LINE
		STORM DRAIN LINE
		WATER LINE
		IRRIGATION LINE
		OVERHEAD POWER LINE
		UNDERGROUND POWER LINE
		GAS LINE
		TELEPHONE LINE
		CABLE TELEVISION LINE
		DRAINAGE / DITCH CENTERLINE
		TREE LINE EDGE
		FIBER OPTIC LINE
		PROPOSED ASPHALT
		PROPOSED CONCRETE

SYMBOLS:		
NEW	EXISTING	
		SECTION CORNER (FOUND)
		SECTION CORNER (NOT FOUND)
		STREET MONUMENT (FOUND)
		STREET MONUMENT (NOT FOUND)
		BRASS CAP MONUMENT
		POWER POLE & OVERHEAD POWER
		LIGHT POLE
		GUY WIRE
		TELEPHONE MANHOLE
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		CATCH BASIN
		DIRECTION OF DRAINAGE
		WATER MANHOLE
		WATER VALVE
		WATER METER
		FIRE HYDRANT
		IRRIGATION VALVE
		GAS MANHOLE
		TREE

ABBREVIATIONS

BC	BAR & CAP	PUE	PUBLIC UTILITY EASEMENT
BOW	BOTTOM OF VISIBLE WALL	R	RADIUS OF CURVE
COR	SECTION CORNER	RR	RAILROAD
CB	CATCH BASIN	ROW	RIGHT-OF-WAY
CF	CUBIC FEET	R/W	RIGHT-OF-WAY
D	DELTA ANGLE	SSMH	SEWER MANHOLE
EG	EXISTING GROUND	SD	STORM DRAIN
EOA	EDGE OF ASPHALT	SF	SQUARE FEET
EOC	EDGE OF CONCRETE	TBC	TOP BACK OF CURB
EX	EXISTING	TMH	TELEPHONE MANHOLE
FFE	FINISH FLOOR ELEVATION	TOA	TOP OF ASPHALT
FG	FINISHED GRADE	TOC	TOP OF CONCRETE
FH	FIRE HYDRANT	TOF	TOP OF FOOTING
FL	FLOW LINE	TOE	TOE OF SLOPE
LG	GRADE BREAK	TOG	TOP OF ORATE
GW	GUY WIRE	TOP	TOP OF SLOPE
HW	HEAD WALL	TOW	TOP OF WALL
IE	INVERT ELEVATION	TR	TELEPHONE RISER
L	LENGTH OF CURVE	UGP	UNDERGROUND POWER
LP	LIP OF CURB	VPC	VERTICAL POINT OF CURVATURE
LF	LINEAR FEET	VPI	VERTICAL POINT OF INTERSECTION
LP	LOW POINT	VPT	VERTICAL POINT OF TANGENCY
M-M	MONUMENT TO MONUMENT	WM	WATER METER
MANHOLE	MANHOLE	WW	WATER VALVE
MON	MONUMENT		
OHP	OVERHEAD POWER		
PVC	POINT OF CURVATURE		
PI	POINT OF INTERSECTION		
PP	POWER POLE		
PVT	POINT OF TANGENCY		

CONSTRUCTION NOTES

RESPONSIBLE DISTRICTS OR AGENCIES AND APPLICABLE STANDARDS
CITY OF COUNTY - AMERICAN FORK CITY
WATER UTILITY COMPANY - AMERICAN FORK PUBLIC WORKS
SEWER - AMERICAN FORK PUBLIC WORKS
STORM DRAIN/GROUNDWATER - AMERICAN FORK CITY
ELECTRICAL - ROCKY MOUNTAIN POWER
TELEPHONE - CENTURY LINK/COMCAST
NATURAL GAS - DOMINION ENERGY

GENERAL

- ALL MATERIALS AND CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
- CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PERIODIC PROGRESS MEETINGS PRIOR TO ANY WORK BEING PERFORMED. THE CONTRACTOR SHALL CONTACT RESPONSIBLE DISTRICT OR AGENCY FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE PROJECT CONTACTS (48 HOURS IN ADVANCE OF SAID MEETING).
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, THE GEOLOGY REPORTS AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL INSPECT THE SITE OF WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT: IF AWARDED THE CONTRACT, THEY HAVE RELIED UPON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNERS OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

ALL WORKERS SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2017 EDITION AND THE MANUAL OF STANDARD PLANS 2017 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR REGULAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH REGULAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY EASEMENTS AND/OR PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHT-OF-WAY OR EASEMENTS FROM THE CITY AND/OR LOCAL JURISDICTION. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMUNICATING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8. CONSTRUCTION STAKING FOR GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROLYSIS SHALL BE DONE BY THE OWNERS SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE SURVEYOR FORTY-FOUR (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

9. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCIES' STANDARD SPECIFICATIONS. TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

11. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS AND ANYTHING THAT HAS ALREADY BEEN CONSTRUCTED. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

12. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND ELEVATION OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE TESTED LIGHT LAYOUT, INCLUDING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

13. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATION REQUDES AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

UTILITIES

- CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.
- ALL UTILITIES INSTALLED IN ACCORDANCE WITH THE RESPONSIBLE DISTRICTS OR AGENCIES STANDARDS AND SPECIFICATIONS.
- COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL, MECHANICAL, OR ELECTRICAL DRAWING FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.
- ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED, AND COMPLY WITH CITY/COUNTY STANDARD.
- ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR ADS-HDPE PIPE OR EQUAL UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
- ALL GAS LINES TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
- ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO - FUSION TECHNOLOGY.
- ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
- NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE AND SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
- PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING, AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.

27. ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF STERILIZATION AND TESTING OF NEW WATER MAINS. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF THE CITY/COUNTY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

28. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE, INSPECTED, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING.

SEWER

- ALL SEWER MAINS AND LATERALS MUST BE INSPECTED AND APPROVED BY THE CITY INSPECTOR BEFORE TRENCH BACKFILLING IS COMPLETED.
- ALL SEWER LINES TO BE FLUSHED, PRESSURE TESTED TO 5 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO PLACING IN SERVICE.
- ALL SEWER PIPES ARE TO BE SDR-35 PVC PIPE.
- SEWER MANHOLES, LATERALS AND CLEANOUTS TO BE INSTALLED PER RESPONSIBLE DISTRICT OR AGENCY STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEANOUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.
- DURING CONSTRUCTION OF THE SEWER LINE, THE LATERAL CONNECTION SHALL INSERT-A-TEE OR WYE AT TEN O'CLOCK POSITIONING TO THE CENTER OF THE MAIN LINE AND SHALL BE ENCASED IN CONCRETE AFTER INSPECTION IS MADE. (SEE RESPONSIBLE DISTRICT OR AGENCY STANDARDS)

WATER

- WATERLINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10" HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR TEN FEET HORIZONTAL SEPARATION FROM SEWERLINE.
- ALL WATERLINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
- WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
- ALL WATERLINES SHALL BE 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. ALL WATER LINES SHALL BE LOOPEO AROUND GRAVITY LINES OR ROPEO PER RESPONSIBLE DISTRICT OR AGENCY INSPECTOR.
- CONTRACTOR TO NOTIFY RESPONSIBLE DISTRICT OR AGENCY FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HRS. MINIMUM WITH 25 PSI RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH RESPONSIBLE DISTRICT OR AGENCY. ALL TESTS TO BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
- BOTTOM FLANGE OF PIPE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 1" LINE VALVE, AND HYDRANT COMPLETE TO MEET RESPONSIBLE DISTRICT OR AGENCY STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.

EXISTING UTILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN. THE INFORMATION SHOWN ON THE PLANS WITH REGARDS TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATION AND/OR RECORD INFORMATION. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO: SEWER, STORM DRAIN, WATER IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY-FOUR (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION BE MADE PRIOR TO CONSTRUCTION.

41. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO HAVE EACH UTILITY CONTROL LOCATED IN THE FIELD. THEIR MAIN AND SERVICE LATERALS SHALL BE IDENTIFIED BY SETTING 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

42. ALL MANHOLE RIMS, LAMPHOLES, VALVE BOX COVERS, MONUMENT BOXES AND CATCH BASIN GRATES ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE AFTER PAVING, UNLESS OTHERWISE NOTED. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

43. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DURING CONSTRUCTION.

CLEARING AND GRADING

44. CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.

45. THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.

46. SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK, BEFORE FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION CAN COMMENCE. A REVIEW OF THE PROFESSIONAL REPORT OF THESE INVESTIGATIONS, MUST BE REVIEWED BY CMT ENGINEERING LABORATORIES.

SOIL INVESTIGATIONS WERE CONDUCTED BY CMT ENGINEERING LABORATORIES ON AUGUST 2ND, 2019 FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH PROTECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, STABILITY AND THE PRESENCE OF LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

47. ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE ELEVATIONS.

48. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.

49. UNSATURABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER AND/OR ENGINEERING GEOLOGIST, (WHERE EMPLOYED) FROM ALL AREAS TO BE COMPACTED FILL OR DRAINAGE STRUCTURES.

50. NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER.

THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING AND LAND SURVEYING ON AUGUST 14TH, 2019 AND MAY HAVE BEEN MODIFIED SINCE THIS SURVEY WAS PERFORMED.

51. FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BENEATH ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 COMPACTION CRITERIA. ALL OTHER STRUCTURAL FILLS LESS THAN 4 FEET IN THICKNESS SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE ABOVE CRITERIA. REFERENCE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING LABORATORIES ON AUGUST 2, 2019.

52. COMPACTION TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR. OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.

53. CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO COMPACTION TESTS.

54. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.

55. ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 2 TO 1 FOR CUT AND FILL.

56. GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN, CURBS AND PAVEMENT AREAS WHICH ARE NOT INSTALLED PER PLAN MUST BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.

57. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.

58. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY. PRIOR TO PLACEMENT OF ANY CONCRETE, THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE

DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.

59. SITE WORK SHALL MEET OR EXCEED OWNERS SITE SPECIFICATIONS.

60. ALL SITE CONCRETE OR CONCRETE ELEMENT NOT SPECIFICALLY SHOWN AND DETAILED ON STRUCTURAL DRAWINGS TO HAVE A MINIMUM OF 28 DAY COMPRESSION STRENGTH OF 4000 PSI.

61. CUT SLOPES SHALL BE NO STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.

62. FILL SLOPES SHALL BE NO STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.

63. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.

DEWATERING

64. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATE WATER DIVISION SHALL BE NOTIFIED A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PROGRESS OF WORK UP TO THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEM SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIONARY GROUNDWATER LEVEL.

65. THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.

66. SLUMPS SHALL BE NO DEEPER THAN 5 FEET AND SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SLUMPS.

67. THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS" DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATION SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

68. ONE HUNDRED PERCENT STANDBY PUMPING CAPACITY SHALL BE AVAILABLE ON SITE AT ALL TIMES AND SHALL BE CONNECTED TO THE DEWATERING SYSTEM PIPING AS TO PERMIT IMMEDIATE USE. IN ADDITION STANDBY EQUIPMENT AND APPLIANCES FOR ALL ORDINARY EMERGENCIES, AND COMPETITIVE WORKERS FOR OPERATION AND MAINTENANCE OF ALL DEWATERING EQUIPMENT SHALL BE ON SITE AT ALL TIMES. STANDBY EQUIPMENT SHALL INCLUDE EMERGENCY POWER GENERATION AND AUTOMATIC SWITCH OVER TO THE EMERGENCY GENERATOR WHEN NORMAL POWER FAILS. DEWATERING SYSTEMS SHALL NOT BE SHUT DOWN BETWEEN SHIFTS, ON HOLIDAYS, ON WEEKENDS, OR DURING WORK STOPPAGES.

SITE SAFETY AND MAINTENANCE

69. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AND PROPERLY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.

70. THE CONTRACTOR AGREES THAT:

- THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
- THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
- THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
- THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
- THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
- UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN

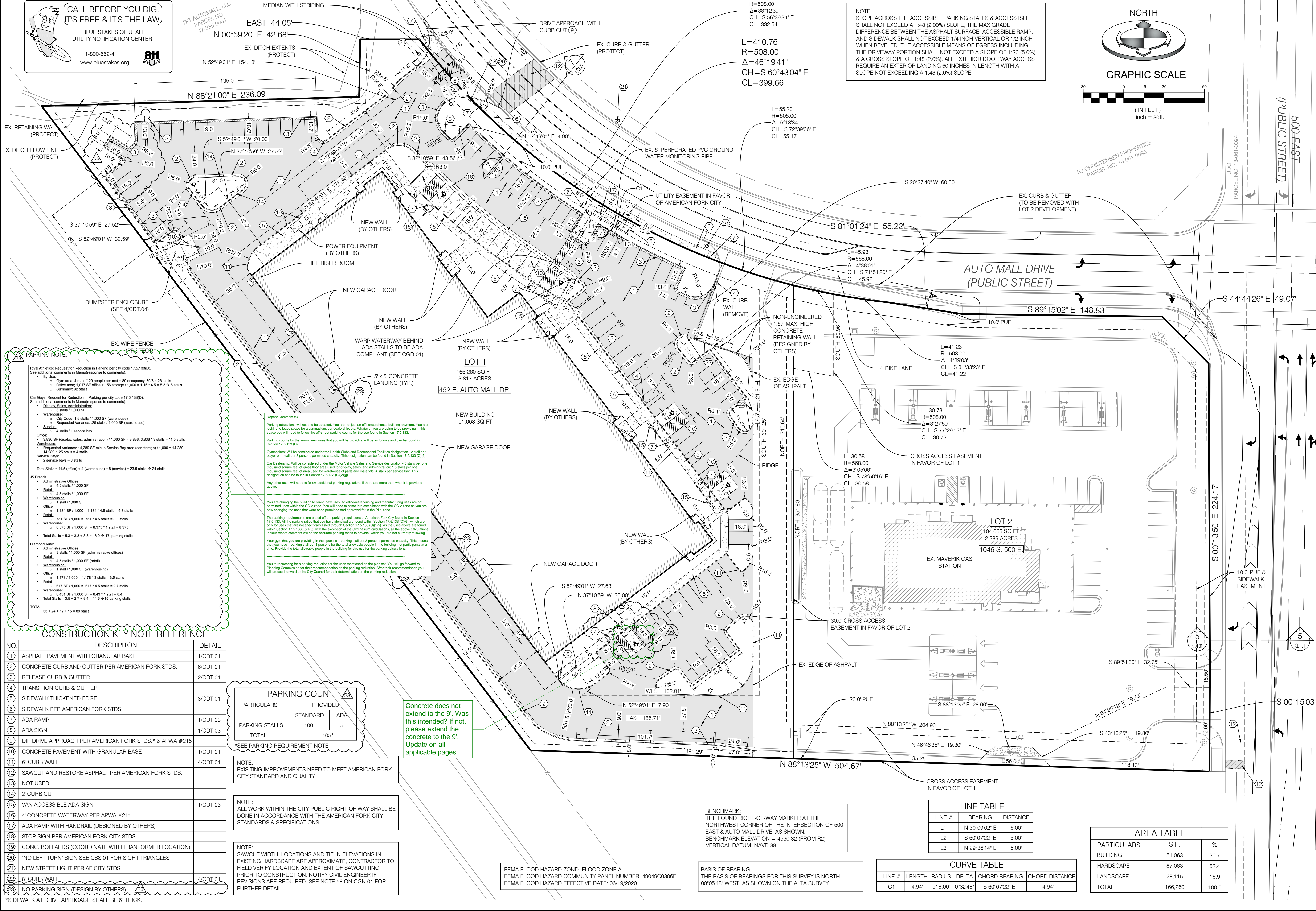
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TKT AUTOMALL, LLC
PARCEL NO.
47-335-0001



PARKING NOTE

Rival Athletics: Request for Reduction in Parking per city code 17.5.133(D). See additional comments in Memo(response to comments).

By Use:

- Gym area: 4 mats * 20 people per mat = 80 occupancy, 803 = 26 stalls
- Office area: 1,077 SF office = 156 storage / 1,000 = 1.16 * 4.5 = 2.9 stalls
- Summary: 32 stalls

Car Guyz: Request for Reduction in Parking per city code 17.5.133(D). See additional comments in Memo(response to comments).

Display, Sales, Administration:

- Warehouse: 3 stalls / 1,000 SF
- Service: 4 stalls / 1 service bay

Office:

- 3,336 SF (display, sales, administration) / 1,000 SF = 3.836, 3.836 * 3 stalls = 11.5 stalls

Warehouse:

- Requested Variance: 14,289 SF minus Service Bay area (car storage) / 1,000 = 14.289, 14.289 * 25 stalls = 4 stalls

Service Bays:

- 2 service bays = 8 stalls

Total Stalls = 11.5 (office) + 4 (warehouse) + 8 (service) = 23.5 stalls = 24 stalls

J&S Brands:

- Administrative Offices: 4.5 stalls / 1,000 SF
- Retail: 4.5 stalls / 1,000 SF
- Warehouse: 1 stall / 1,000 SF

Office:

- 1,184 SF / 1,000 = 1.184 * 4.5 stalls = 5.3 stalls

Retail:

- 751 SF / 1,000 = 751 * 4.5 stalls = 3.3 stalls

Warehouse:

- 5,375 SF / 1,000 SF = 8.375 * 1 stall = 8.375

Total Stalls = 5.3 + 3.3 + 8.3 = 16.9 = 17 parking stalls

Diamond Auto:

- Administrative Offices: 3 stalls / 1,000 SF (administrative offices)
- Retail: 4.5 stalls / 1,000 SF (retail)
- Warehouse: 1 stall / 1,000 SF (warehouse)

Office:

- 1,178 / 1,000 = 1.178 * 3 stalls = 3.5 stalls

Retail:

- 817 SF / 1,000 = 817 * 4.5 stalls = 2.7 stalls

Warehouse:

- 8,431 SF / 1,000 SF = 8.431 * 1 stall = 8.4

Total Stalls = 3.5 + 2.7 + 8.4 = 14.6 = 15 parking stalls

TOTAL: 33 + 24 + 17 = 89 stalls

CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
(1)	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
(2)	CONCRETE CURB AND GUTTER PER AMERICAN FORK STDS.	6/CDT.01
(3)	RELEASE CURB & GUTTER	2/CDT.01
(4)	TRANSITION CURB & GUTTER	
(5)	SIDEWALK THICKENED EDGE	3/CDT.01
(6)	SIDEWALK PER AMERICAN FORK STDS.	
(7)	ADA RAMP	1/CDT.03
(8)	ADA SIGN	1/CDT.03
(9)	DIP DRIVE APPROACH PER AMERICAN FORK STDS.* & APWA #215	
(10)	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
(11)	6" CURB WALL	4/CDT.01
(12)	SAWCUT AND RESTORE ASPHALT PER AMERICAN FORK STDS.	
(13)	NOT USED	
(14)	2" CURB CUT	
(15)	VAN ACCESSIBLE ADA SIGN	1/CDT.03
(16)	4" CONCRETE WATERWAY PER APWA #211	
(17)	ADA RAMP WITH HANDRAIL (DESIGNED BY OTHERS)	
(18)	STOP SIGN PER AMERICAN FORK CITY STDS.	
(19)	CONC. BOLLARDS (COORDINATE WITH TRANSFORMER LOCATION)	
(20)	"NO LEFT TURN" SIGN SEE CSS.01 FOR SIGHT TRIANGLES	
(21)	NEW STREET LIGHT PER AF CITY STDS.	
(22)	6" CURB WALL	4/CDT.01
(23)	NO PARKING SIGN (DESIGN BY OTHERS)	

*SIDEWALK AT DRIVE APPROACH SHALL BE 6" THICK.

PARKING COUNT		
PARTICULARS	STANDARD	ADA
PARKING STALLS	100	5
TOTAL	105*	

NOTE: EXISTING IMPROVEMENTS NEED TO MEET AMERICAN FORK CITY STANDARD AND QUALITY.

NOTE: ALL WORK WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS & SPECIFICATIONS.

NOTE: SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDSCAPE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR FURTHER DETAIL.

Concrete does not extend to the 9'. Was this intended? If not, please extend the concrete to the 9'. Update on all applicable pages.

FEMA FLOOD HAZARD ZOND: FLOOD ZONE A
FEMA FLOOD HAZARD COMMUNITY PANEL NUMBER: 49049C0306F
FEMA FLOOD HAZARD EFFECTIVE DATE: 06/19/2020

BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE NORTHWEST CORNER OF THE INTERSECTION OF 500 EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)
VERTICAL DATUM: NAVD 88

BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 00°05'48" WEST, AS SHOWN ON THE ALTA SURVEY.

LINE TABLE				
LINE #	BEARING	DISTANCE		
L1	N 30°09'02" E	6.00'		
L2	S 60°07'22" E	5.00'		
L3	N 29°36'14" E	6.00'		

CURVE TABLE				
LINE #	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	4.94'	518.00'	0°32'48"	S 60°07'22" E

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	51,063	30.7
HARDSCAPE	87,083	52.4
LANDSCAPE	28,115	16.9
TOTAL	166,260	100.0

AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136

SITE PLAN

CSP.01
3 OF 17

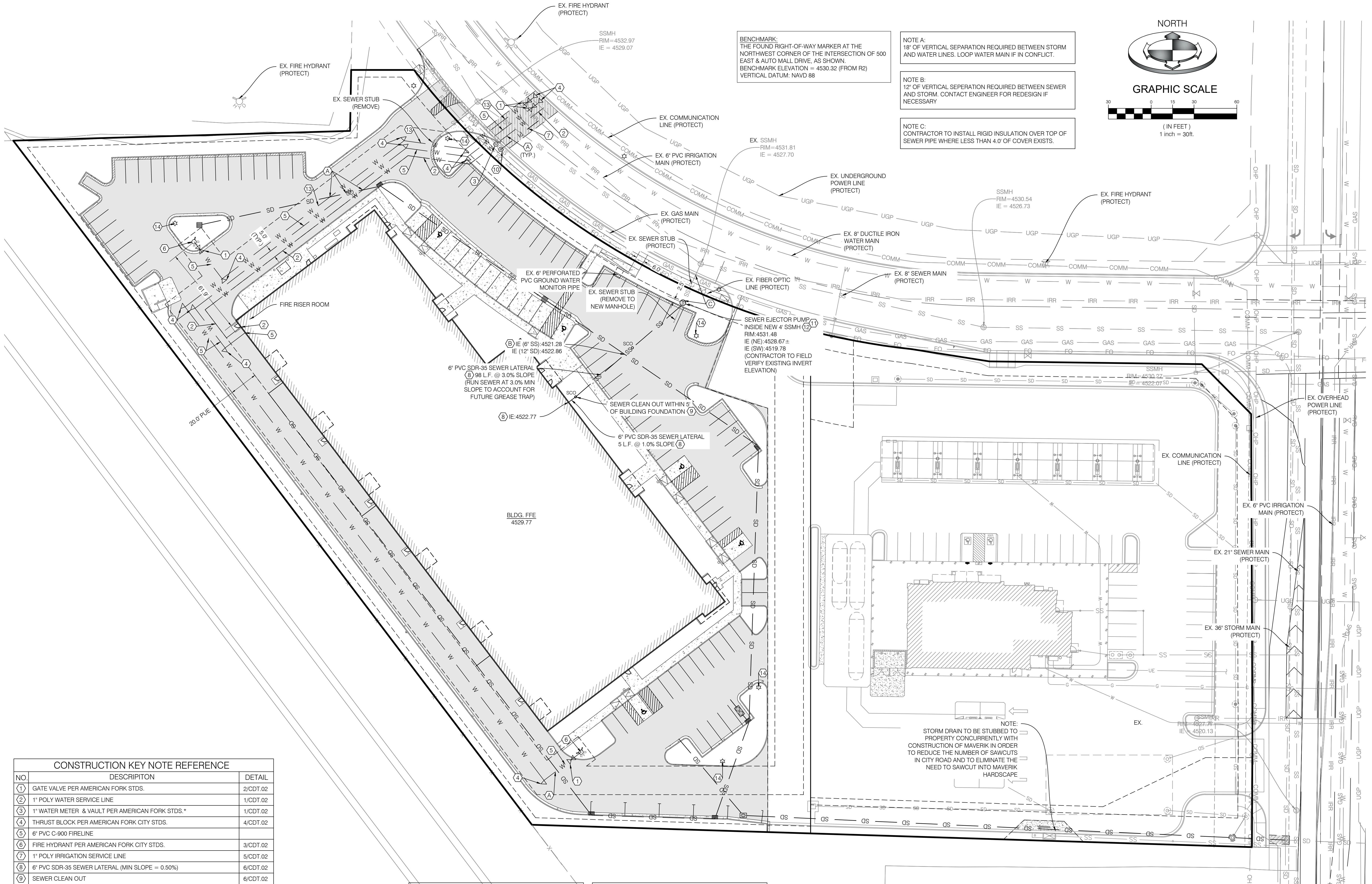
BENCHMARK ENGINEERING & LAND SURVEYING
9198 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84707 (801) 542-7192
www.benchmarkcivil.com

PROFESSIONAL ENGINEER
No. 11366633
ALLISON G. ALBERT
STATE OF UTAH

SCALE MEASURES: 1"=30.0' FOR FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

REVISIONS

NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	03/27/24	SURVEY
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/05/25	REVISION PER CITY COMMENTS
23	04/17/25	REVISION PER CITY COMMENTS & GC COORDINATION

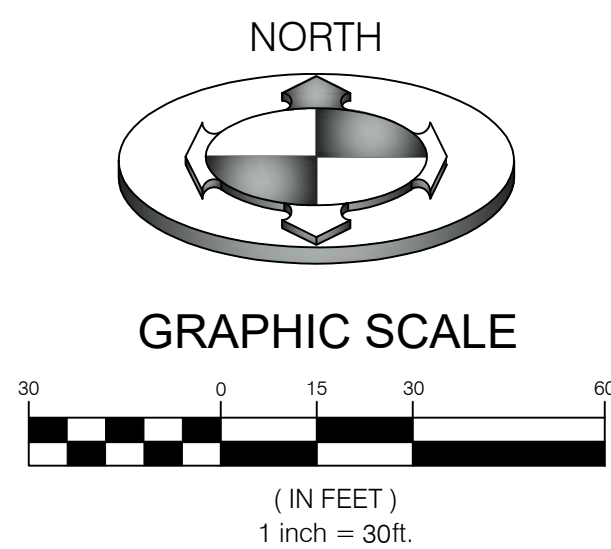


BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE
NORTHWEST CORNER OF THE INTERSECTION OF 500
EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)
VERTICAL DATUM: NAVD 88

NOTE A:
18" OF VERTICAL SEPARATION REQUIRED BETWEEN STORM
AND WATER LINES. LOOP WATER MAIN IF IN CONFLICT.

NOTE B:
12" OF VERTICAL SEPARATION REQUIRED BETWEEN SEWER
AND STORM. CONTACT ENGINEER FOR REDESIGN IF
NECESSARY

NOTE C:
CONTRACTOR TO INSTALL RIGID INSULATION OVER TOP OF
SEWER PIPE WHERE LESS THAN 4.0' OF COVER EXISTS.



CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
1	GATE VALVE PER AMERICAN FORK STDS.	2/CDT.02
2	1" POLY WATER SERVICE LINE	1/CDT.02
3	1" WATER METER & VAULT PER AMERICAN FORK STDS.*	1/CDT.02
4	THRUST BLOCK PER AMERICAN FORK CITY STDS.	4/CDT.02
5	6" PVC C-900 FIRELINE	
6	FIRE HYDRANT PER AMERICAN FORK CITY STDS.	3/CDT.02
7	1" POLY IRRIGATION SERVICE LINE	5/CDT.02
8	6" PVC SDR-35 SEWER LATERAL (MIN SLOPE = 0.50%)	6/CDT.02
9	SEWER CLEAN OUT	6/CDT.02
10	1" IRRIGATION METER PER AMERICAN FORK CITY STDS.	5/CDT.02
11	SEWER EJECTOR PUMP (MUST MEET 75 GPM FLOW, 1/CDT.07)	1/CDT.06
12	4" SSMH PER AMERICAN FORK CITY STDS.	
13	8" PVC-900 FIRELINE	
14	LIGHT POLE (DESIGN BY OTHERS)	

*INSTALL WATER METER LEVEL WITH SIDEWALK

NOTE:
MINIMUM WATER LINE COVER IS 48".
MINIMUM PASSIVE IRRIGATION LINE COVER IS 24".

NOTE:
ALL LATERAL CONNECTIONS SHALL BE INSERT-A-TEE OR
WYE AT TEN O'CLOCK POSITIONING TO THE CENTER OF THE
MAIN LINE.

NOTE:
SEWER LIFT STATION TO BE OPERATED AND MAINTAINED BY
DAVIES DESIGN BUILD. REPRESENTATIVE: CANON JENSEN.
(801) 609-9863, EMAIL: canon@daviesdb.com

NOTE:
ALL SANITARY SEWER MAINS AND LATERALS MUST BE
INSPECTED AND APPROVED BY THE CITY INSPECTOR
BEFORE TRENCH BACKFILLING IS COMPLETED.

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY
UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION.
NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR
IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO
BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE
INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE
IDENTIFIED.

CALL BEFORE YOU DIG.
IT'S FREE & IT'S THE LAW.

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PROJECT NO. 1905136

UTILITY
PLAN

CUP.01
4 OF 17

AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

BENCHMARK
ENGINEERING &
LAND SURVEYING

9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

PROFESSIONAL ENGINEER
No. 11386633
ALLISON G. ALBERT
STATE OF UTAH

DATE	DESCRIPTION
02/28/24	REMOVED RETAINING WALL
03/27/24	REMOVED RAISED MEDIAN AND APPROACH
05/04/24	ADDED LIGHT POLES
05/04/24	RETAINING WALL ADDED
03/05/25	REVISED PER CITY COMMENTS
04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION

SCALE MEASURES: 1" INCH ON FULL SIZE SHEETS
ADJUST PROPORTIONS FOR REDUCED SIZE SHEETS

CALL BEFORE YOU DIG.
IT'S FREE & IT'S THE LAW

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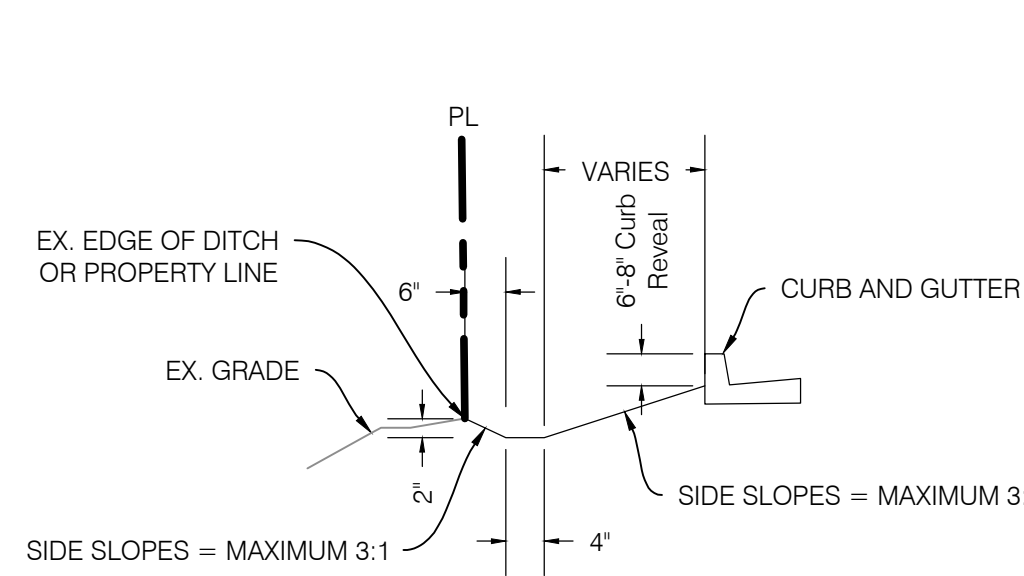
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BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE
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EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)
VERTICAL DATUM: NAVD 88

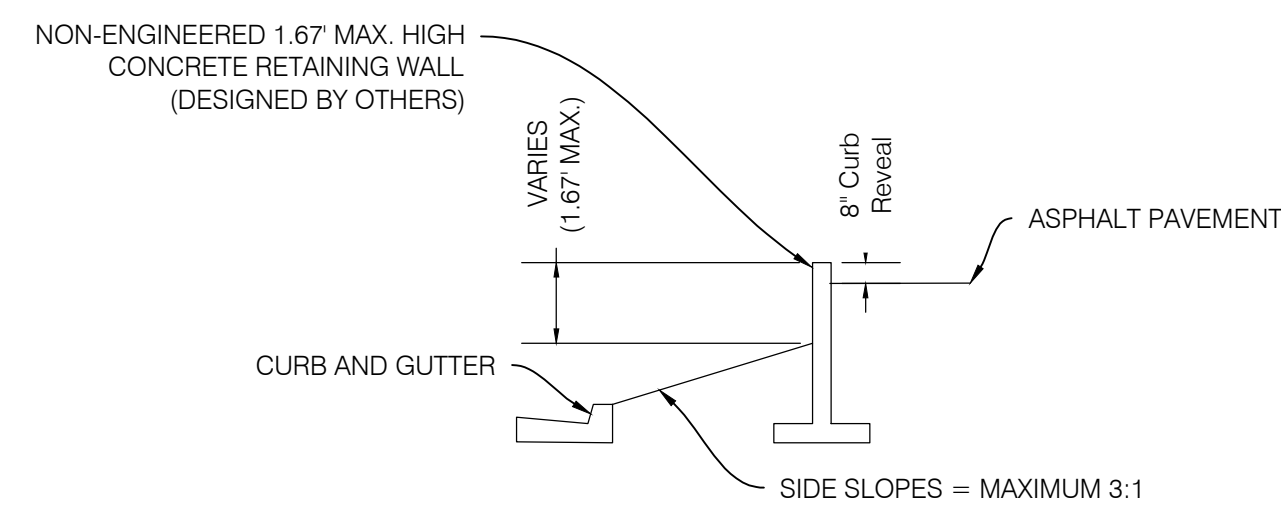
NOTE:
MINIMUM STORM DRAIN PIPE COVER IS 24". NOTIFY
THE ENGINEER IF A REDESIGN IS NECESSARY.

GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
②	8" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
③	24" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
④	STORM DRAIN INLET BOX PER AMERICAN FORK STDS.	1/CDT.04
⑤	3'X3' CATCH BASIN	2/CDT.03
⑥	ACO STORM BRIXX UNDERGROUND SYSTEM	1/CDT.05
⑦	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑧	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
⑨	PRE-TREATMENT DEVICE (OLDCASTLE 1500 GAL. OR EQUAL)	2/CDT.04
⑩	4" DIAMETER HDPE ADS N-12 ROOF DRAIN LINE	
⑪	ACCESS PORT	1/CDT.05
ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS		

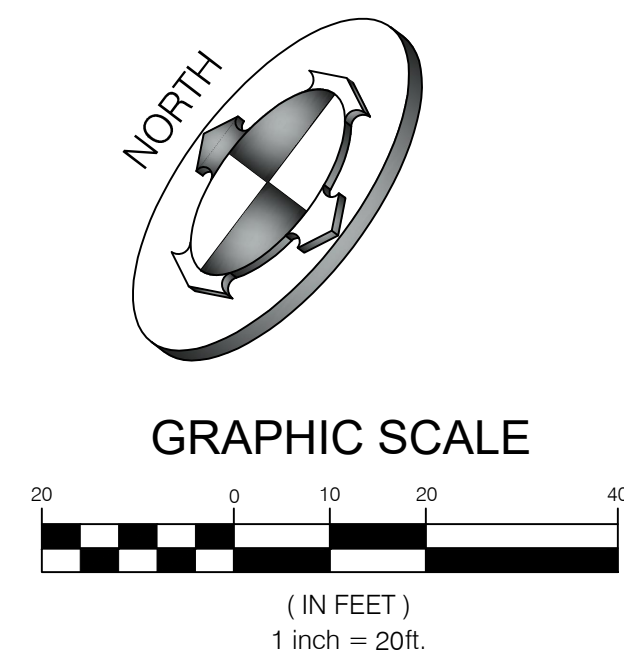
SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION
SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT
PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE
RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY
MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS
SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC
DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING.
THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE
PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD
IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON
ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND
SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR
SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE
DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION
SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY
ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED
PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.



SWALE CROSS SECTION A
SCALE: NTS



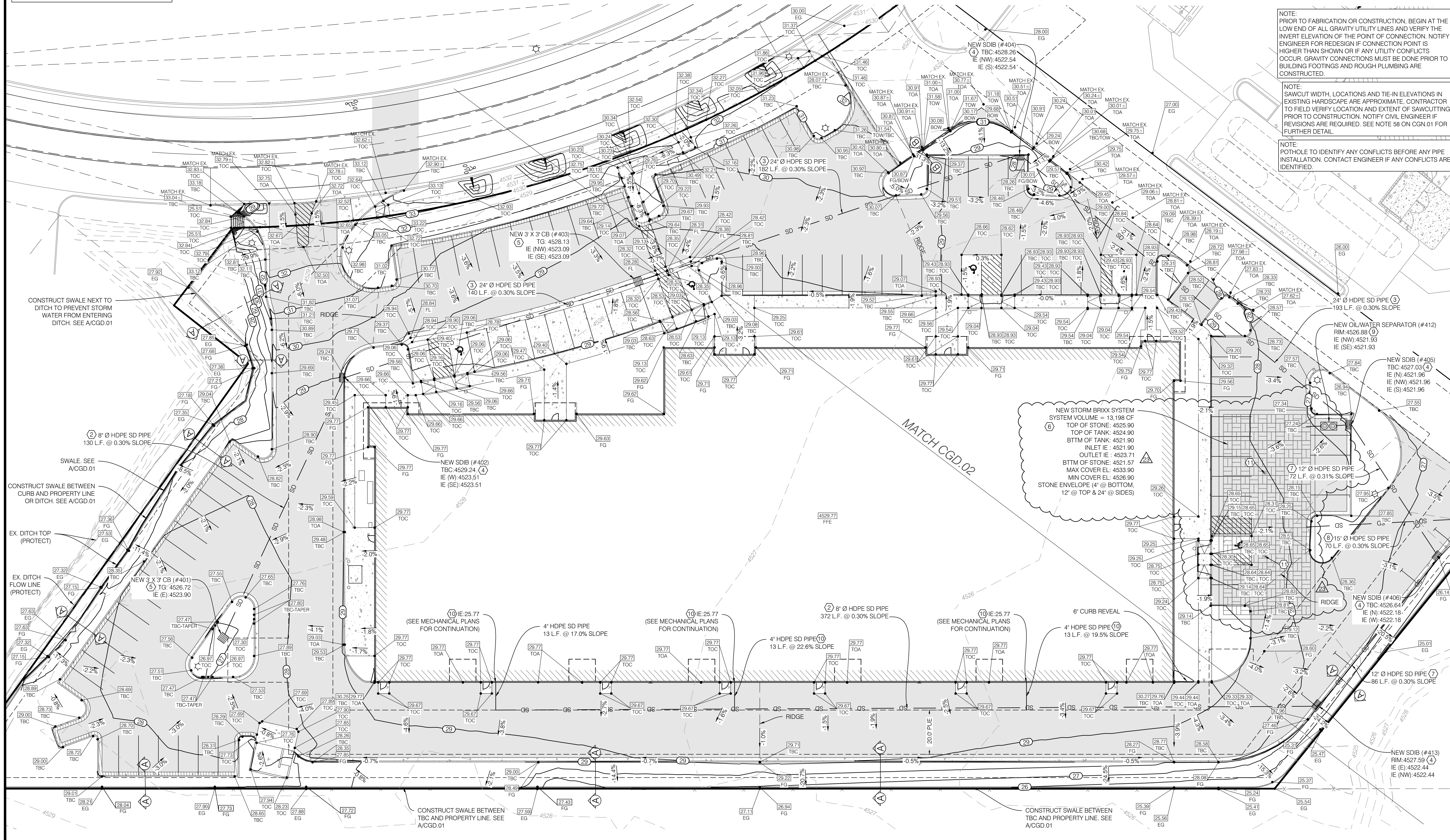
ROCK WALL CROSS SECTION B
SCALE: NTS



NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE
LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE
INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY
ENGINEER FOR REDESIGN IF CONNECTION POINT IS
HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS
OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO
BUILDING FOOTINGS AND ROUGH PLUMBING ARE
CONSTRUCTED.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN
EXISTING HARDSCAPE ARE APPROXIMATE. CONTRACTOR
TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING
PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF
REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR
FURTHER DETAIL.

NOTE:
POT HOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE
INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE
IDENTIFIED.



NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	03/27/24	REMOVED BASED MEDIAN AND APPROACH
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/05/25	REVIS PER CITY COMMENTS
23	04/17/25	REVIS PER CITY COMMENTS & GC COORDINATION

SCALE MEASURES - INCH ON FULL SIZE SHEETS
ADJUST ACCORDING FOR REDUCED SIZE SHEETS

PROFESSIONAL ENGINEER
No. 11366633
ALLISON G. ALBERT
STATE OF UTAH

BENCHMARK
ENGINEERING &
LAND SURVEYING
9188 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84707 (801) 542-7192
www.benchmarkcivil.com

AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136
GRADING &
DRAINAGE
PLAN
CGD.01
5 OF 17

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811

BENCHMARK:
THE FOUND RIGHT-OF-WAY MARKER AT THE
NORTHWEST CORNER OF THE INTERSECTION OF 500
EAST & AUTO MALL DRIVE, AS SHOWN.
BENCHMARK ELEVATION = 4530.32 (FROM R2)

GRADING AND DRAINAGE KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
1	GRADE SITE TO ELEVATIONS SHOWN ON PLAN	
2	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
3	24" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
4	STORM DRAIN INLET BOX PER AMERICAN FORK STDS.	1/CDT.04
5	3'X3' CATCH BASIN	2/CDT.03
6	ACO STORM BRIXX	1/CDT.05
7	4.4" Ø ORIFICE	3/CDT.03
8	4'X4' STORM DRAIN CATCH BASIN W/ SOLID LID & BAFFLE WALL	3/CDT.03
9	15" Ø RCP CLASS-III STORM DRAIN LINE	
10	PRE-TREATMENT DEVICE (OLDCASTLE 1500 GAL. OR EQUAL)	2/CDT.04
11	15" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
12	8" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
13	5" Ø STORM DRAIN MANHOLE PER APWA #341.1	
14	ACCESS PORT	1/CDT.05

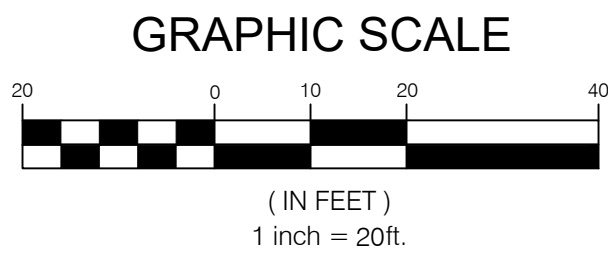
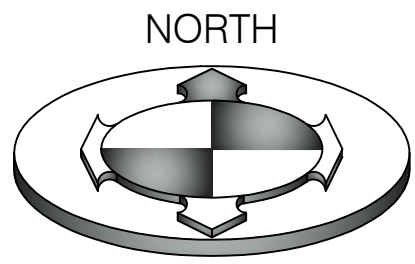
*ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDSCAPE ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.



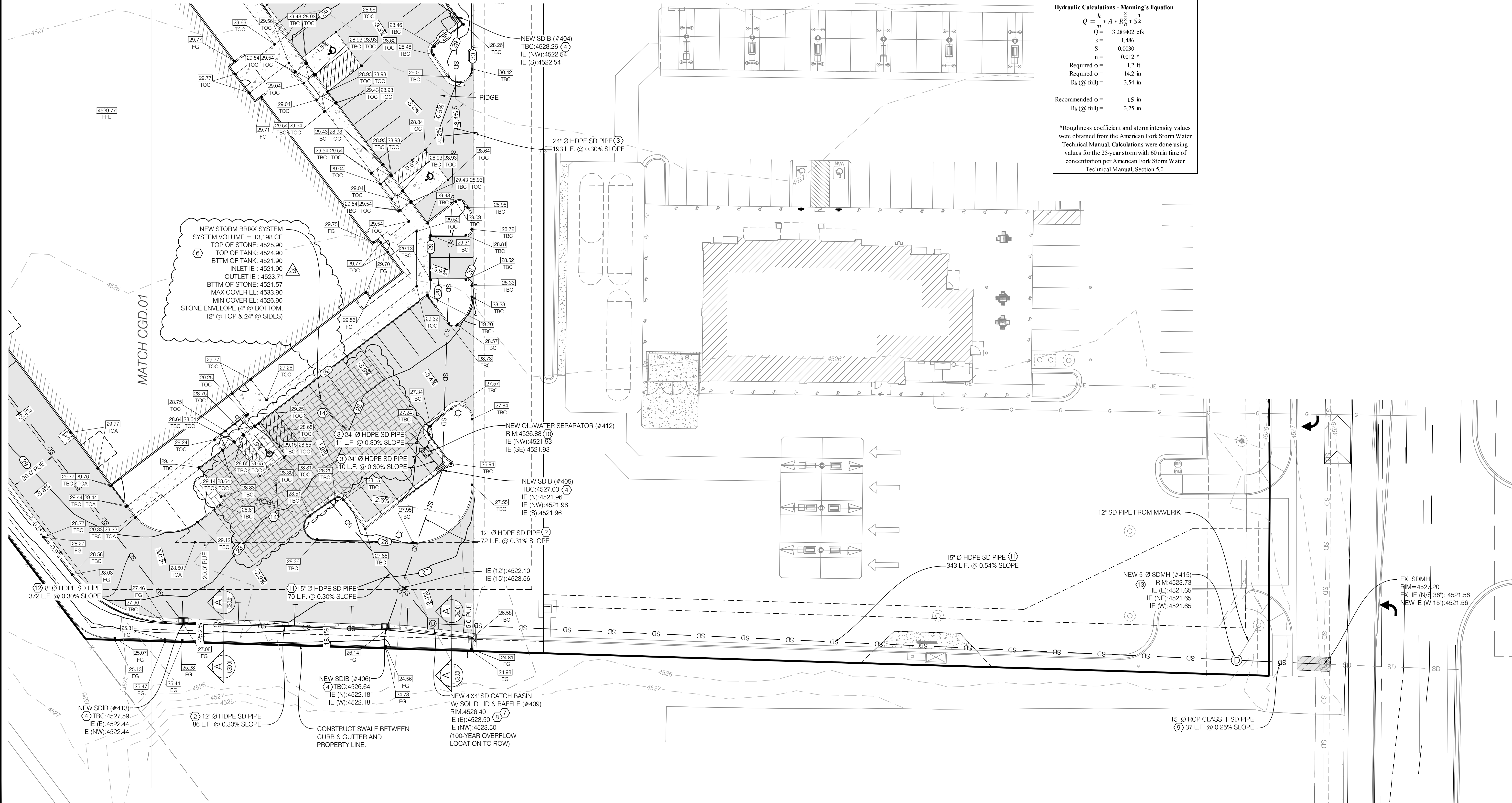
Storm Drain Pipe Hydraulic Calculations

Rational Method
 $Q = CiA$
Site Average C = 0.79
 $i = 1.09$ * in/hr
A = 3.82
Q = 3.289402 cfs

Hydraulic Calculations - Manning's Equation
 $Q = \frac{k}{n} * A * R_h^{\frac{2}{3}} * S^{\frac{1}{2}}$
Q = 3.289402 cfs
k = 1.486
S = 0.0030
n = 0.012 *
Required $\phi = 1.2$ ft
Required $\phi = 14.2$ in
 R_h (@ full) = 3.54 in

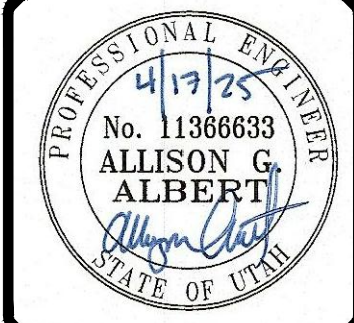
Recommended $\phi = 15$ in
 R_h (@ full) = 3.75 in

*Roughness coefficient and storm intensity values were obtained from the American Fork Storm Water Technical Manual. Calculations were done using values for the 25-year storm with 60 min time of concentration per American Fork Storm Water Technical Manual, Section 5.0.



NO.	DATE	DESCRIPTION
18	02/28/24	REVISED RETAINING WALL
19	03/27/24	REVISED BASED MEDIAN AND APPROACH
20	05/04/24	ADDED LIGHT POLES
21	05/05/2021	RETAINING WALL ADDED
22	03/05/25	REVISED PER CITY COMMENTS
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION

SCALE MEASURES - INCH ON FULL SIZE SHEETS
ADJUST ACCORDING FOR REDUCED SIZE SHEETS



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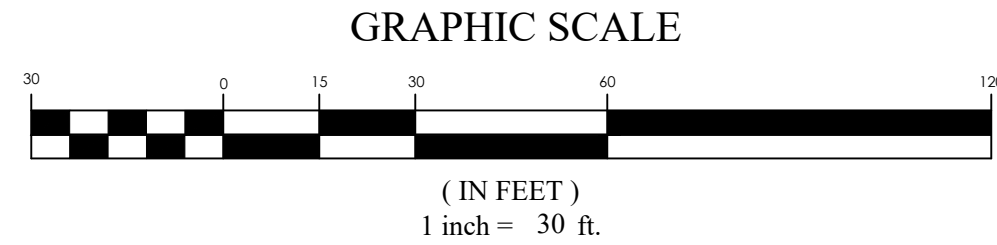
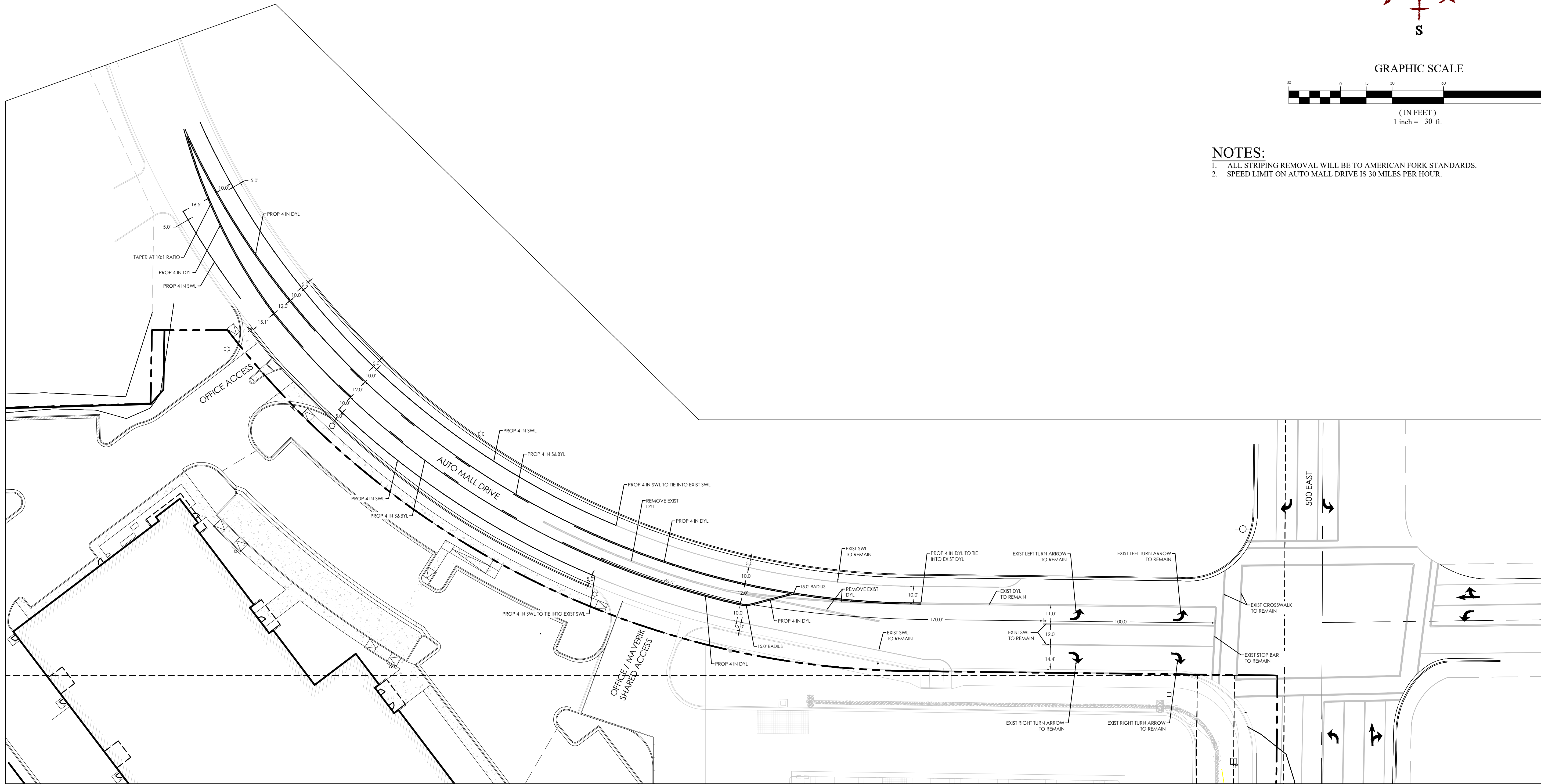
AMERICAN FORK OFFICE & WAREHOUSE

450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136

**GRADING &
DRAINAGE
PLAN**


CGD.02
6 OF 17

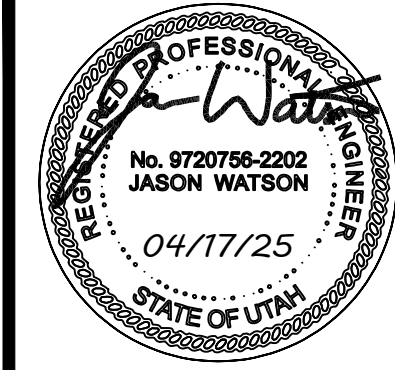


- NOTES:
1. ALL STRIPING REMOVAL WILL BE TO AMERICAN FORK STANDARDS.
 2. SPEED LIMIT ON AUTO MALL DRIVE IS 30 MILES PER HOUR.

- STRIPING KEY:
- SWL - SOLID WHITE LINE
 - SYL - SOLID YELLOW LINE
 - DYL - DOUBLE YELLOW LINE
 - BWL - BROKEN WHITE LINE
 - DWL - DOTTED WHITE LINE
 - LDL - LANE DROP LINE
 - S&BYL - SOLID AND BROKEN YELLOW LINE
 - SL - STOP LINE



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AUTO MALL DRIVE STRIPING

AMERICAN FORK, UT

STRIPING

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

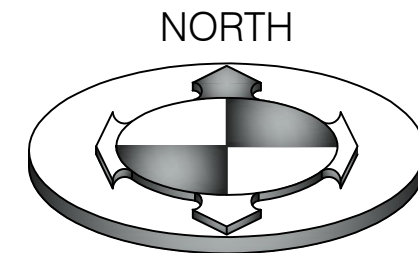
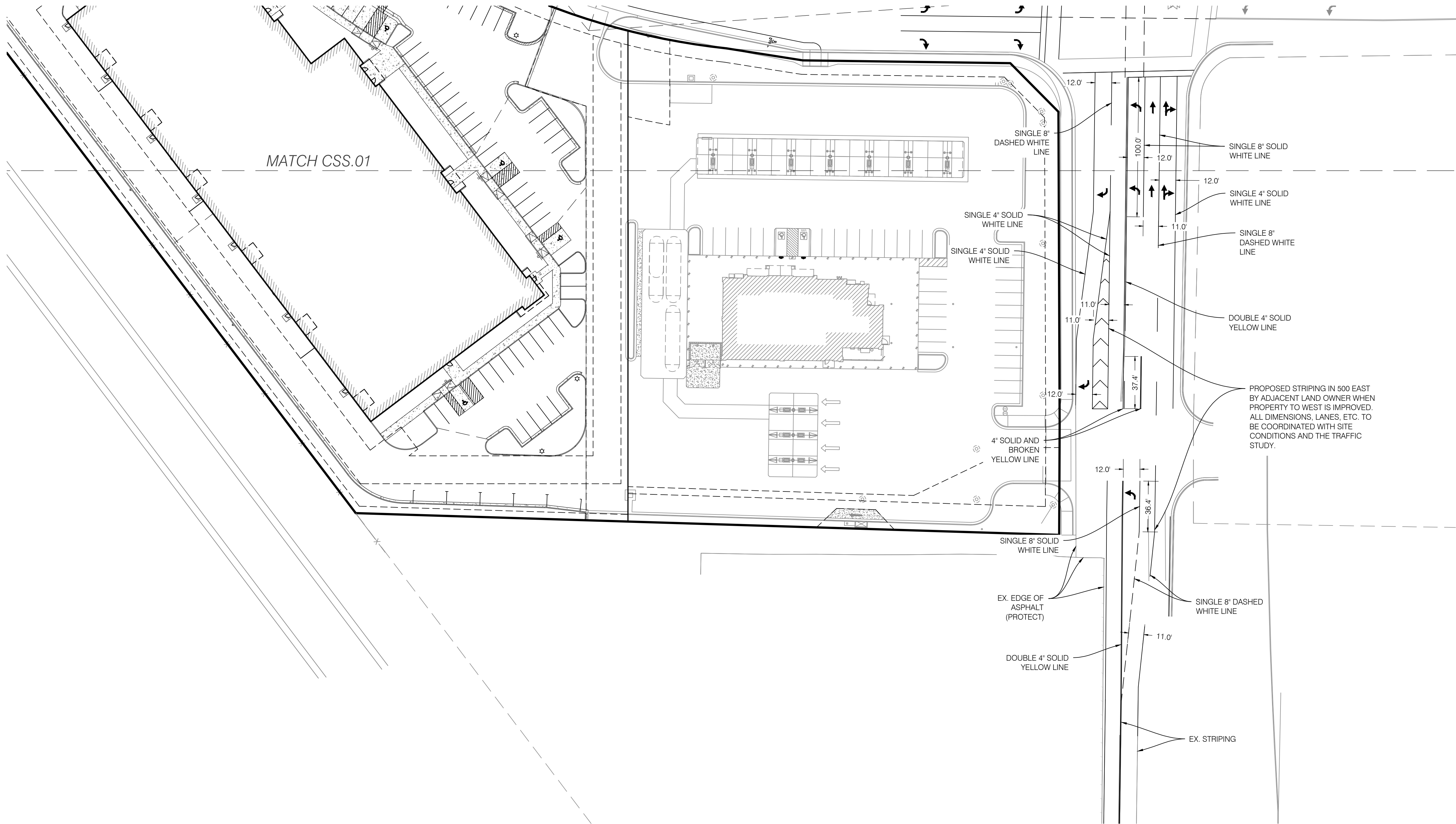
STRIPING

7 OF 17

Scale: 1"=30' Drawn: TJD

Date: 4/16/25 Job #: 25-8009

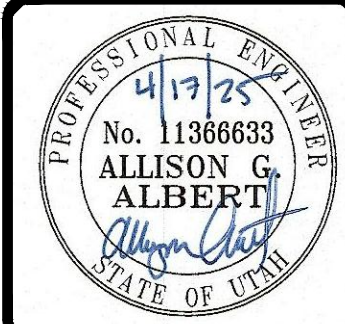
Sheet: SS-01



NOTE:
EXISTING IMPROVEMENTS NEED TO MEET AMERICAN FORK CITY STANDARD AND QUALITY.

NOTE:
ALL WORK WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS & SPECIFICATIONS.

NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	03/27/24	REMOVED RAISED MEDIAN AND APPROACH
20	05/24/24	ADDED LIGHT POLES
21	05/24/24	RETAINING WALL ADDED
22	03/05/25	REVISED PER CITY COMMENTS
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION



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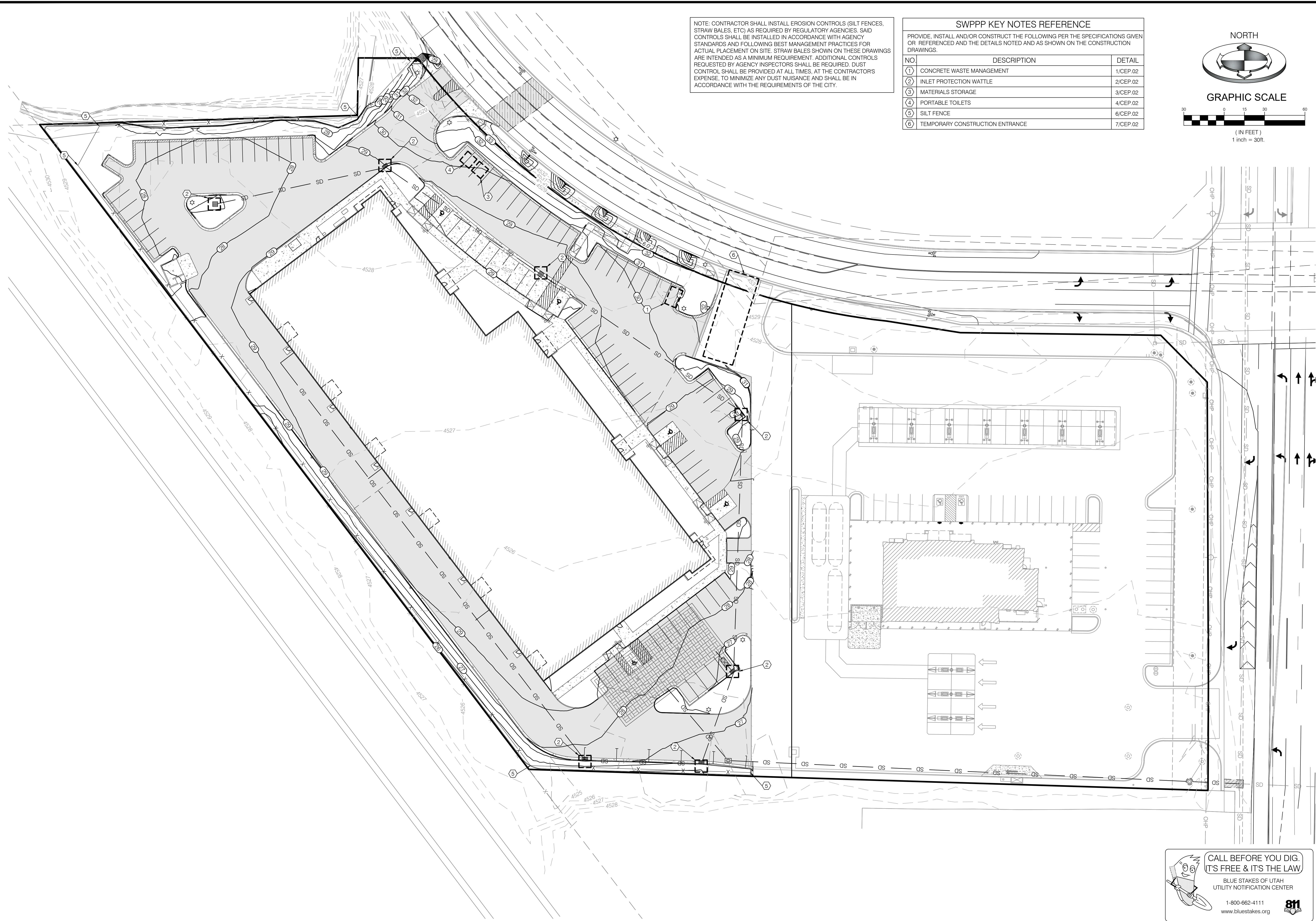
BENCHMARK CIVIL

AMERICAN FORK OFFICE & WAREHOUSE
 450 EAST AUTOMALL DRIVE
 AMERICAN FORK, UTAH

PROJECT NO. 1905136

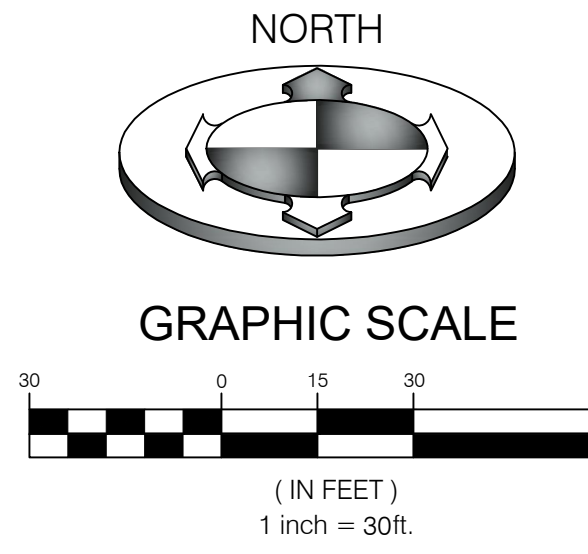
SIGNAGE & STRIPING PLAN

CSS.02
8 OF 17

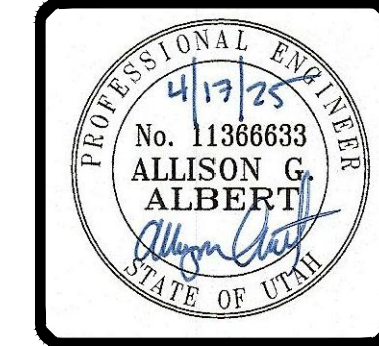


NOTE: CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.

SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO	DESCRIPTION	DETAIL
1	CONCRETE WASTE MANAGEMENT	1/CEP.02
2	INLET PROTECTION WATTLE	2/CEP.02
3	MATERIALS STORAGE	3/CEP.02
4	PORTABLE TOILETS	4/CEP.02
5	SILT FENCE	6/CEP.02
6	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02



DRAWN BY		CHECKED BY		DATE		DESCRIPTION	
JHO	MCP	JHO	MCP	18	02/28/24	REMOVED RETAINING WALL	
				19	03/27/24	REMOVED RAISED MEDIAN AND APPROACH	
				20	05/04/24	ADDED LIGHT POLES	
				21	05/04/24	RETAINING WALL ADDED	
				22	03/02/25	REVISED PER CITY COMMENTS	
				23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION	
SCALE MEASURES: HORIZONTAL: FULL SIZE SHEETS VERTICAL: FULL SIZE SHEETS ADJUST ASSUMING 1" = 30' FOR REDUCED SIZE SHEETS							



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PROJECT NO. 1905136

EROSION CONTROL PLAN

CEP.01
9 OF 17

BMP: Concrete Waste Management

Locate 50' from Nearest Drainage Area.

CONTAINMENT EARTH BERM ALL AROUND

WASHOUT AREA PONDING STORAGE

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information Sheet.)
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Inlet Protection – Wattle

IP-W
CONSTRUCTION

DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:

- ◆ Provide up-gradient sediment controls, such as silt fence during construction of inlet
- ◆ When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

LIMITATIONS:

- ◆ Recommended maximum contributing drainage area of one acre
- ◆ Requires shallow slopes adjacent to inlet

MAINTENANCE:

- ◆ Inspect inlet protection following storm event and at a minimum of once every 14 days.
- ◆ Remove accumulated sediment when it reaches 4 inches in depth.
- ◆ Look for bypassing or undercutting and repair or realign as needed.

BMP: Materials Storage

SECURITY FENCE

EARTH BERM

PLASTIC TARP TO COVER WHEN NOT IN USE

PLASTIC TARP TO COVER WHEN NOT IN USE

COLLECT FOR STORAGE

DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, lightly capped) and that no materials are being stored away from the designated location.

BMP: Portable Toilets

CONTAINMENT EARTH BERM

GRAVEL PAD

1'x1'

DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet). control for spill/protection leak.

LIMITATIONS:
No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Spill Clean-Up

1'x1'

DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

CONCRETE WASTE MANAGEMENT 1
SCALE: NTS

INLET PROTECTION WATTLE 2
SCALE: NTS

MATERIALS STORAGE 3
SCALE: NTS

PORTABLE TOILETS 4
SCALE: NTS

SPILL CLEAN UP 5
SCALE: NTS

EXTRA STRENGTH FILTER FABRIC NEEDED WITHOUT WIRE MESH SUPPORT

STEEL OR WOOD POST

ATTACH FILTER FABRIC SECURELY TO UPSTREAM SIDE OF POST

10' (3m) MAXIMUM SPACING WITH WIRE SUPPORT FENCE 6' (1.8m) MAXIMUM SPACING WITHOUT WIRE SUPPORT FENCE

FLOW

STEEL OR WOOD POST 36" (1m) HIGH MAX.

PONDING HEIGHT

12" MIN. (300mm)

4'x6" (100 X 150mm) TRENCH WITH COMPACTED BACKFILL

9' MAX. (225mm) STORAGE HT.

12" MIN. (300mm)

3/4" (20mm) MIN. DRAIN ROCK

PONDING HEIGHT

FLOW

6" (150mm)

NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

REF. FROM 1994 JOHN McCULLAH

SILT FENCE 6
SCALE: NTS

DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%

2% OR GREATER

ROADWAY

SECTION A - A

FILTER FABRIC

STRAW BALES, SANDBAGS, OR CONTINUOUS BERM OF EQUIVALENT HEIGHT

SPILLWAY

NOTE: USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

SUPPLY WATER TO WASH WHEELS IF NECESSARY

20' (6m) P

FLOW

2'-3" (50-75mm) COURSE AGGREGATE MIN. 6" (150mm) THICK

DIVERSION RIDGE

50' (15m) MIN.

PLAN

12' MIN. (36m)

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

REF. FROM 1994 JOHN McCULLAH

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT 7
SCALE: NTS

"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.)

NOTES:

- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
- 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO-TERMINATION (NOT) IS FILED FOR THE PERMIT.
- 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
- 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.

4' (MINIMUM)

SWPPP INFORMATION

COPY OF PROJECT NO.

COPY OF GENERAL CONTRACTOR NO. TRANSFER FORM OR EQUIVALENT FORM

COPY OF PROJECT CONSTRUCTION SITE NOTICE

COPY OF PROJECT PERMIT AUTHORIZATION

COPY OF GENERAL CONTRACTOR PERMIT AUTHORIZATION

COPY OF STATE SUPPLIED CONSTRUCTION SITE NOTICE

DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (BINDER AND SITE MAPS) ON THE SITE

3' MIN.

3' MIN.

REF. FROM 1994 JOHN McCULLAH

SWPPP INFORMATION SIGN 8
SCALE: NTS

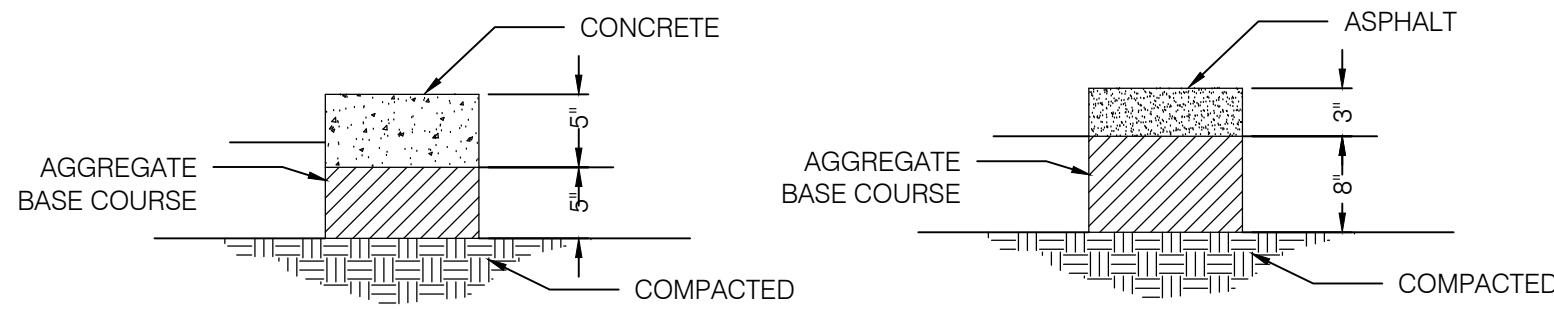
NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL.
19	02/27/24	REMOVED RAISED MEDIAN AND APPROACH.
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/02/25	REVISED PER CITY COMMENTS
23	04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION

SCALE MEASURES INCH ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

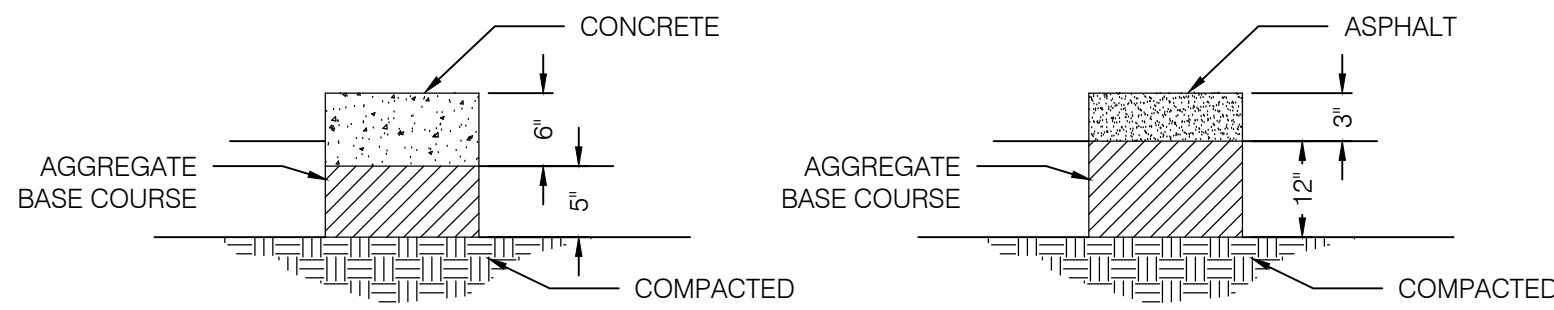
BENCHMARK
ENGINEERING &
LAND SURVEYING
918 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

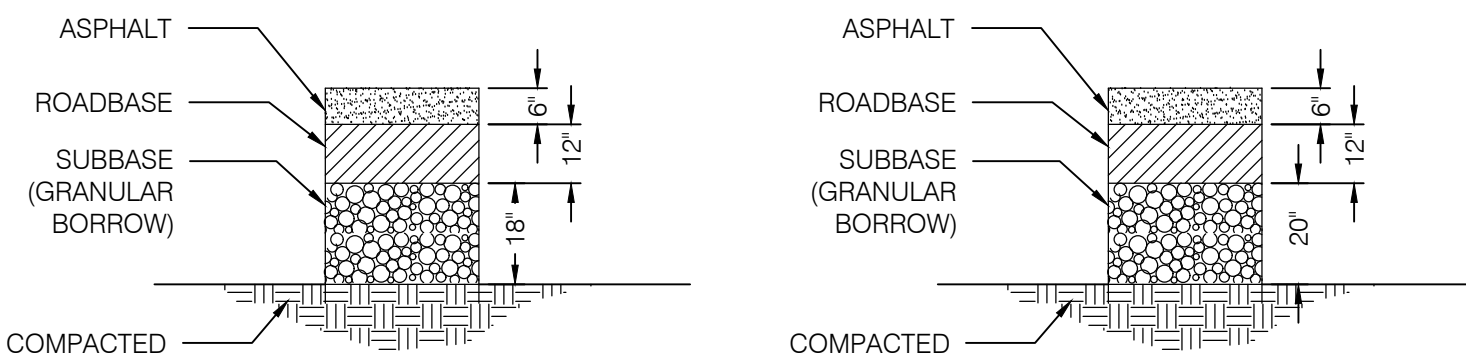
PROJECT NO. 1905136
EROSION CONTROL DETAILS
CEP.02
10 OF 17



PARKING AREAS



DRIVE AREAS



500 EAST ROAD

AUTOMALL DRIVE

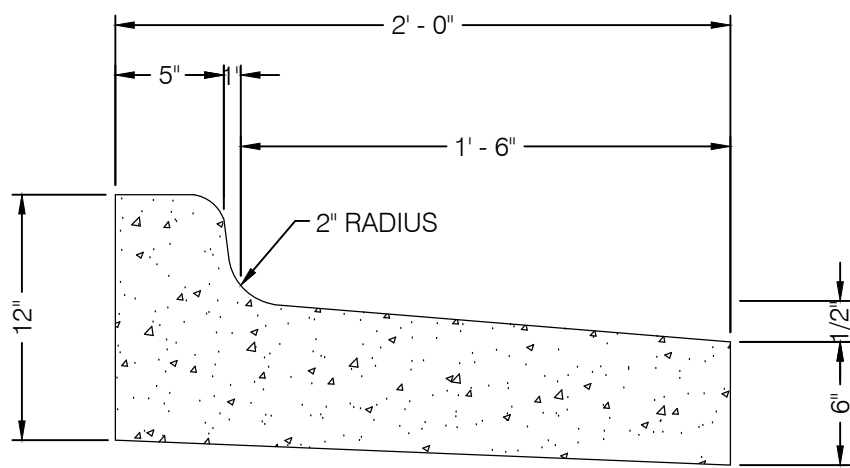
PAVEMENT SECTIONS ①
SCALE: NTS

ALTERNATE: STANDARD
ASPHALT 3"
ROAD BASE 4"
SUB BASE 6"

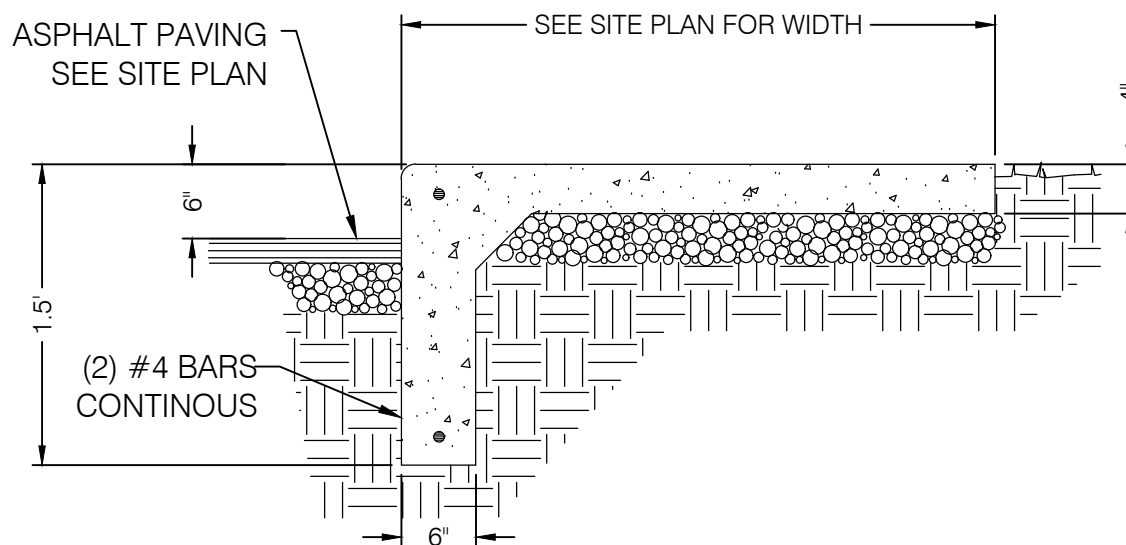
ALTERNATE: STANDARD
ASPHALT 3"
ROAD BASE 6"
SUB BASE 8"

NOTE:
1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT SECTIONS SEE STRUCTURAL ENGINEER
2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE GEOTECHNICAL ENGINEER.
3. REFER TO GEOTECHNICAL ENGINEERING REPORT FOR PAVEMENT SECTION, ROADBASE AND SUBBASE REQUIREMENTS.

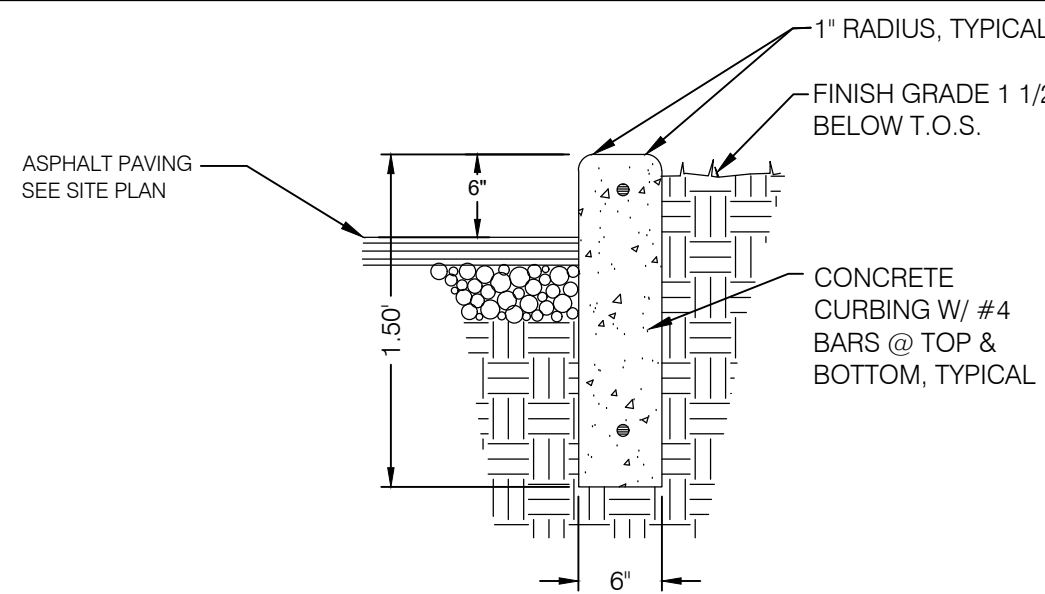
NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% ASSHTO T-180 - METHOD D.



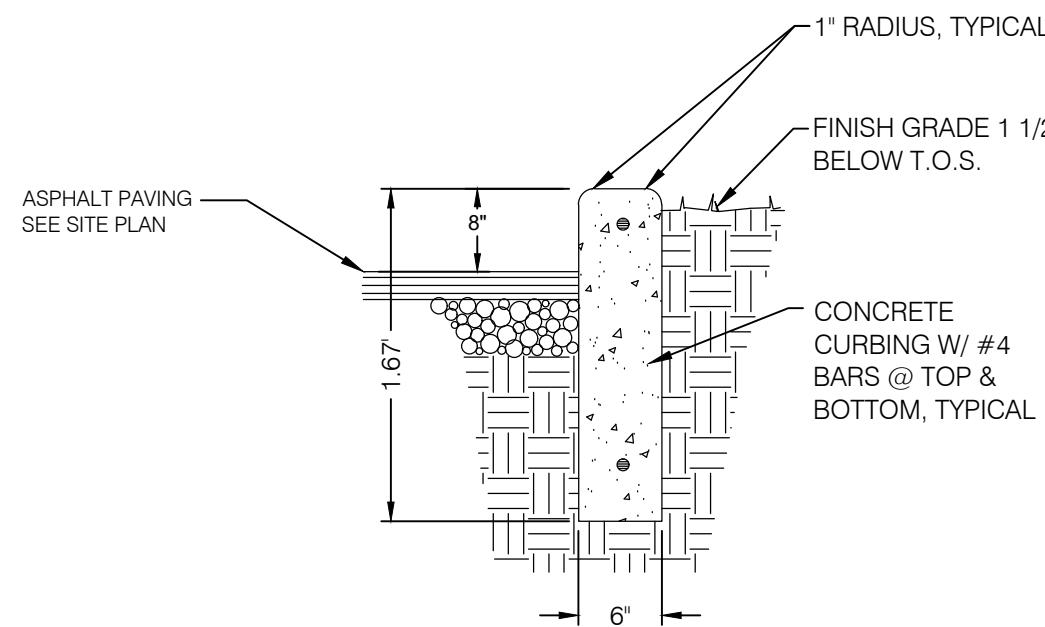
TYPICAL RELEASE CURB & GUTTER ②
SCALE: NTS



INTEGRAL SIDEWALK & CURB ③
SCALE: NTS



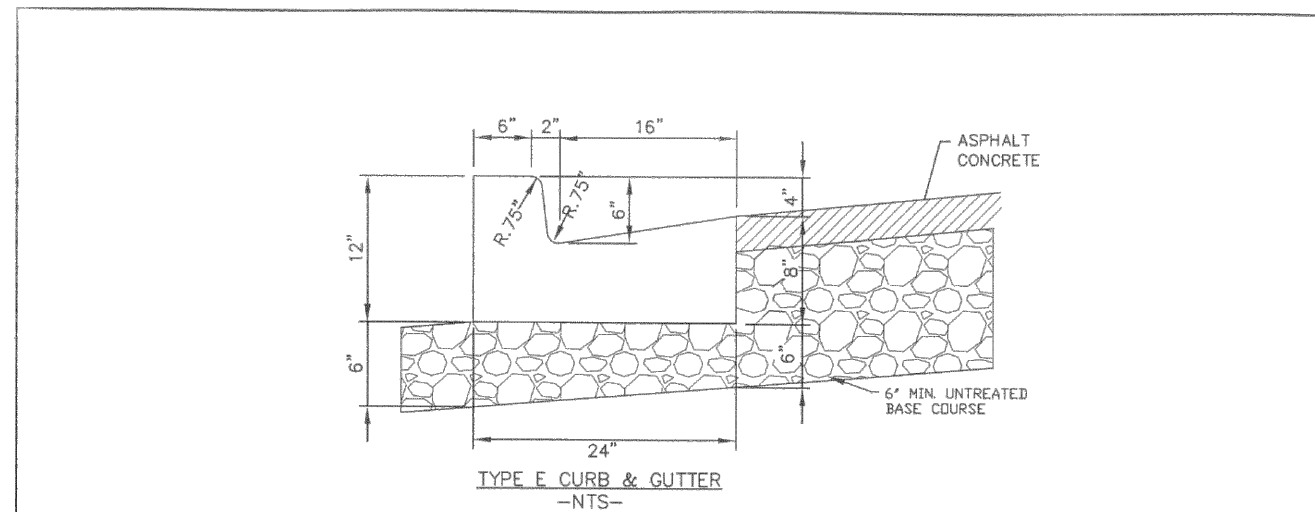
6" CURB WALL



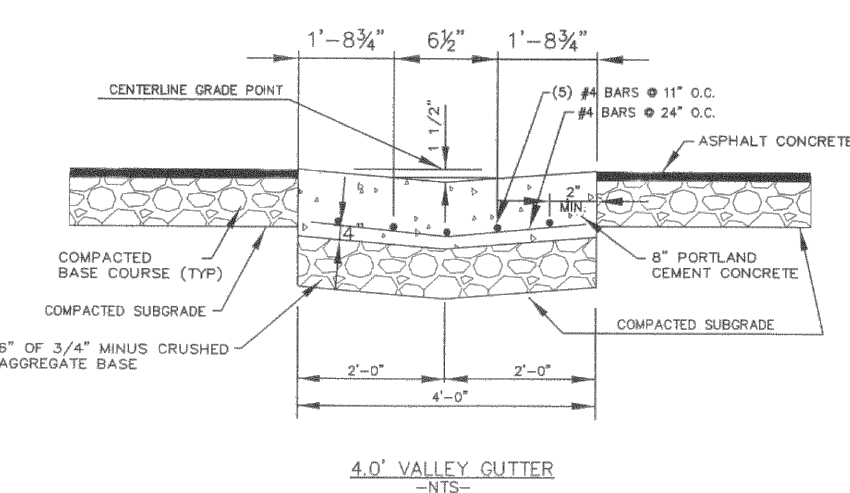
8" CURB WALL

NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% ASSHTO T-180 - METHOD D.

TYPICAL CONCRETE CURB WALL SECTION ④
SCALE: N.T.S.

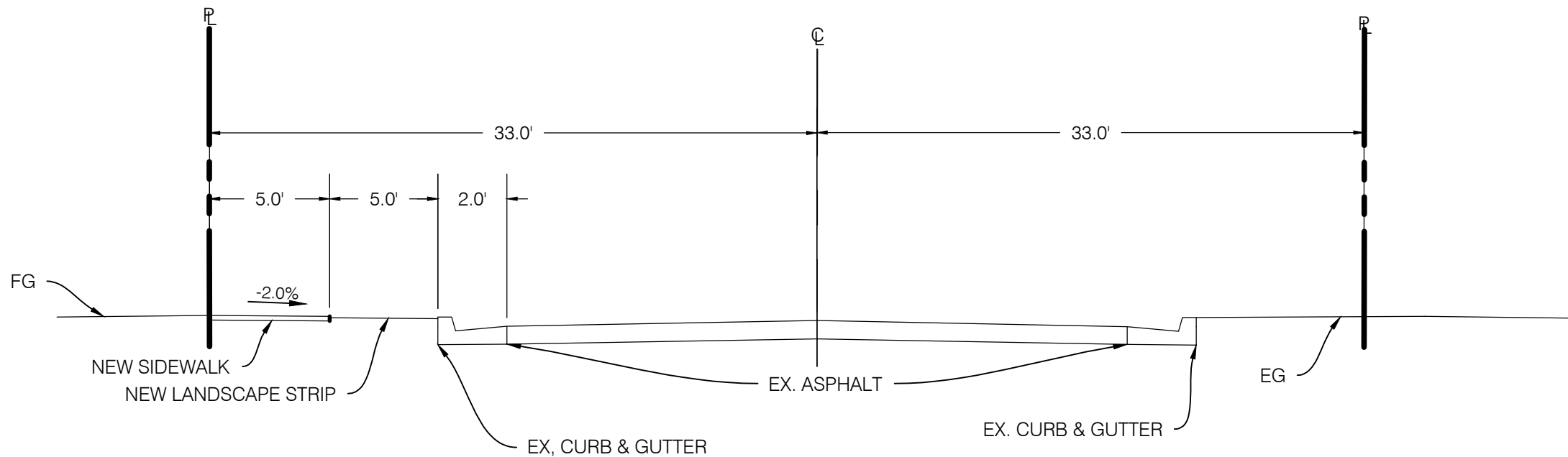


TYPE E CURB & GUTTER - N.T.S.

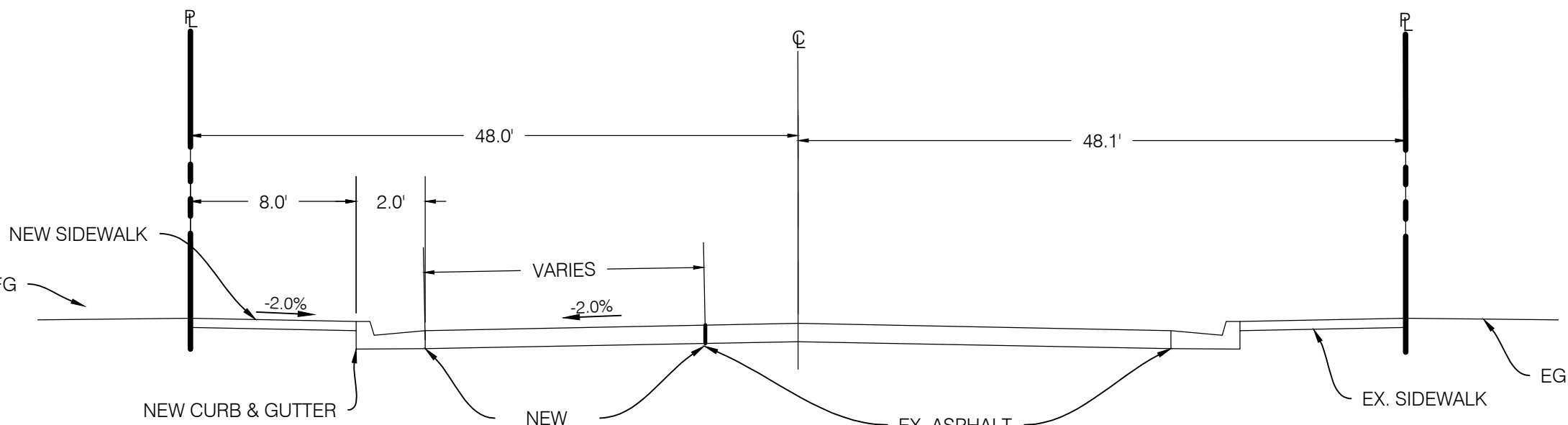


DESIGN: JRP		AMERICAN FORK CITY	STANDARD DETAIL FOR TYPE B1 C&G REVERSE LIP C&G VALLEY GUTTER	DRAWING NO: 15.1
REVIEWER: DATE: MAY 2002	PROJECT: 1905136	PROJECT: 1905136	PROJECT: 1905136	PROJECT: 1905136

CURB AND GUTTER ⑥
SCALE: NTS



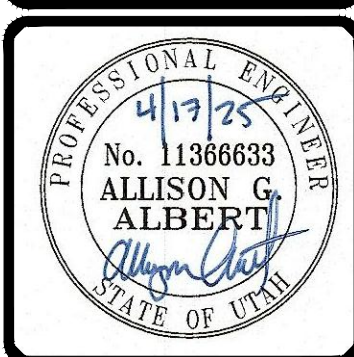
AUTO MALL DRIVE ROW CROSS SECTION ⑦
SCALE: NTS



500 EAST ROW CROSS SECTION ⑤
SCALE: NTS

NO.	DATE	DESCRIPTION
18	02/28/24	REMOVED RETAINING WALL
19	02/27/24	REMOVED RAISED MEDIAN AND APPROACH
20	05/04/24	ADDED LIGHT POLES
21	05/04/24	RETAINING WALL ADDED
22	03/03/25	REVISED PER CITY COMMENTS
23	04/17/25	SCALE MEASURES 1/4" ON FULL SIZE SHEETS

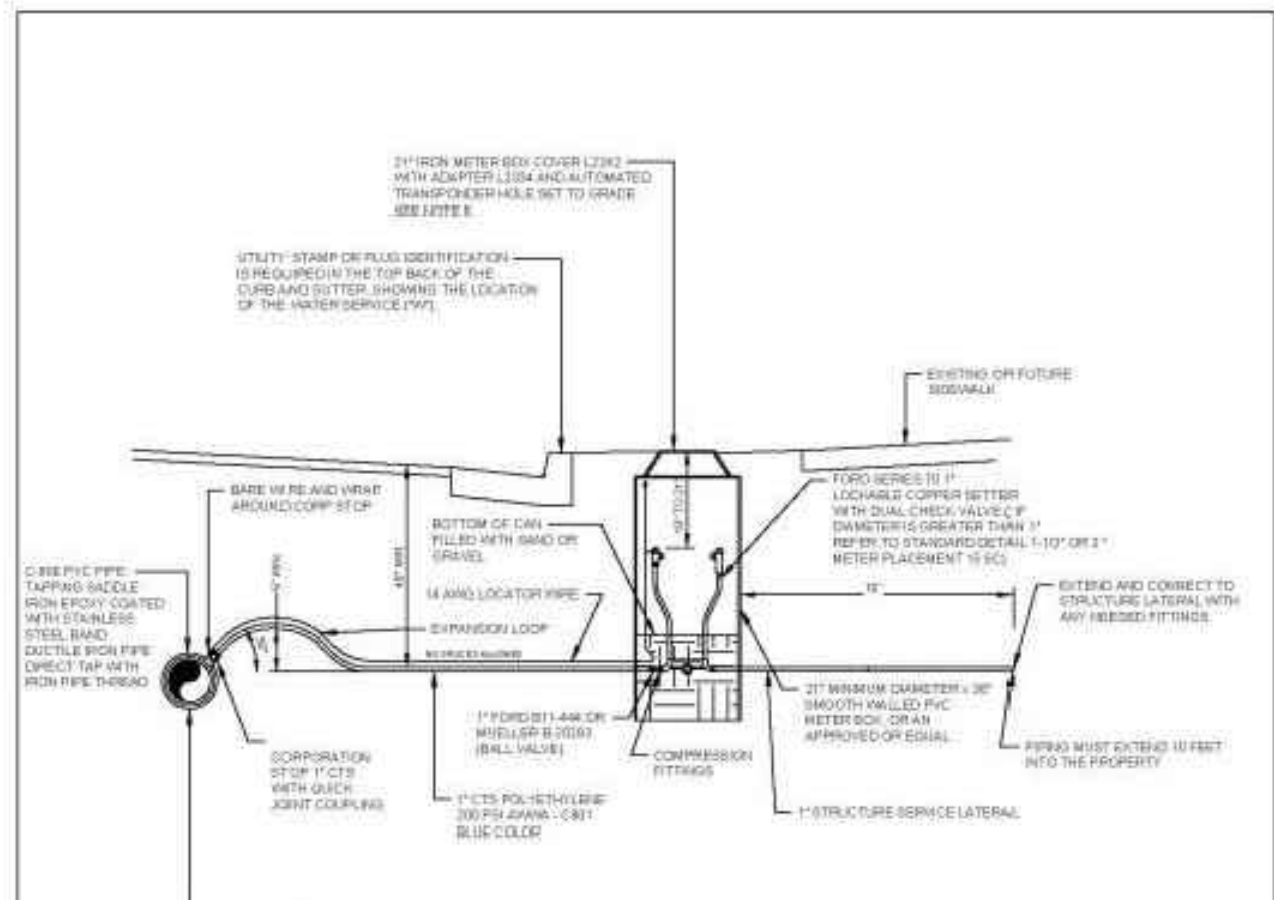
ADJUST AS SHOWN FOR REDUCED SEE SHEETS



BENCHMARK ENGINEERING & LAND SURVEYING
9188 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

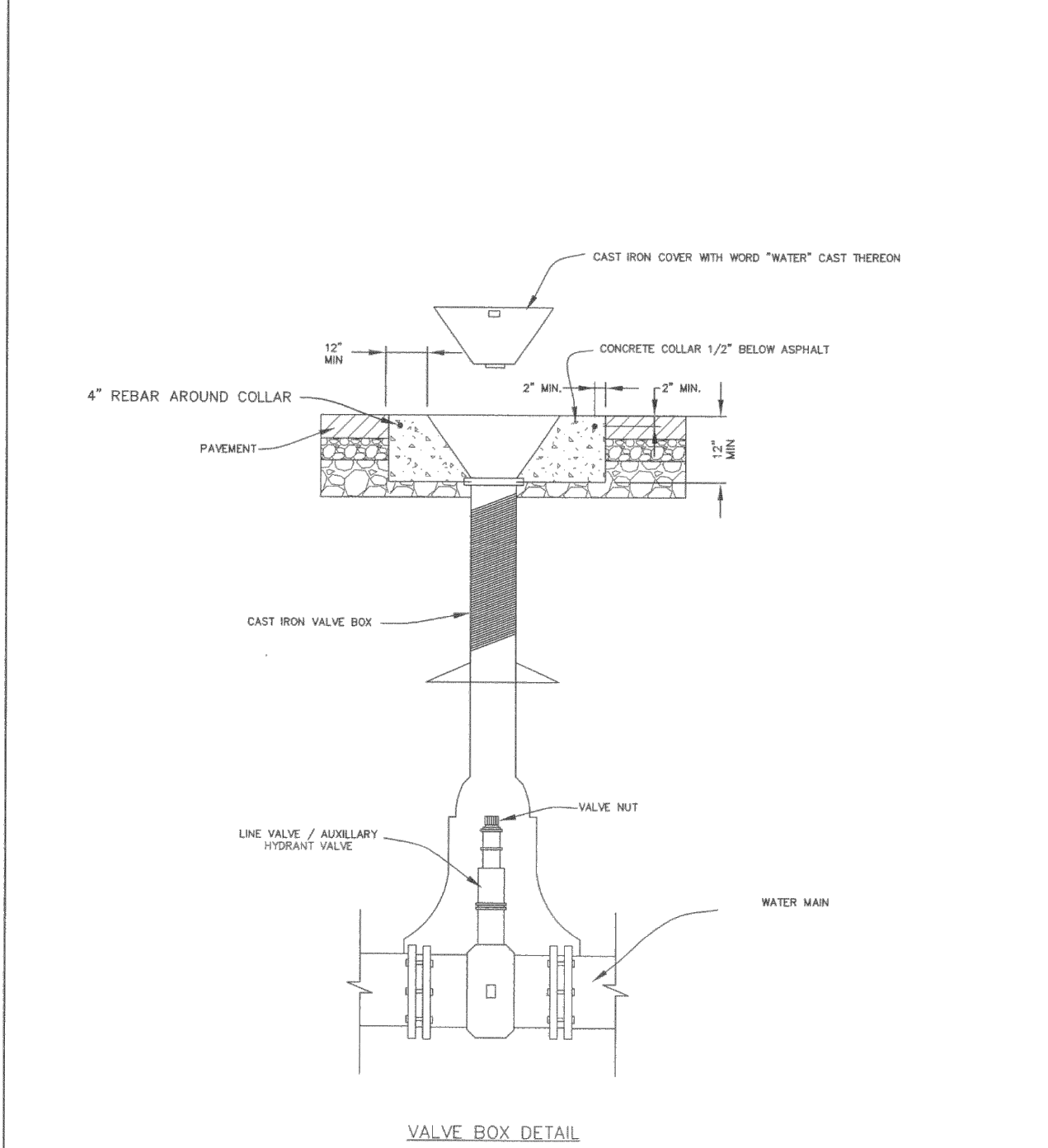
AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH


PROJECT NO. 1905136
DETAIL SHEET
CDT.01 11 OF 17



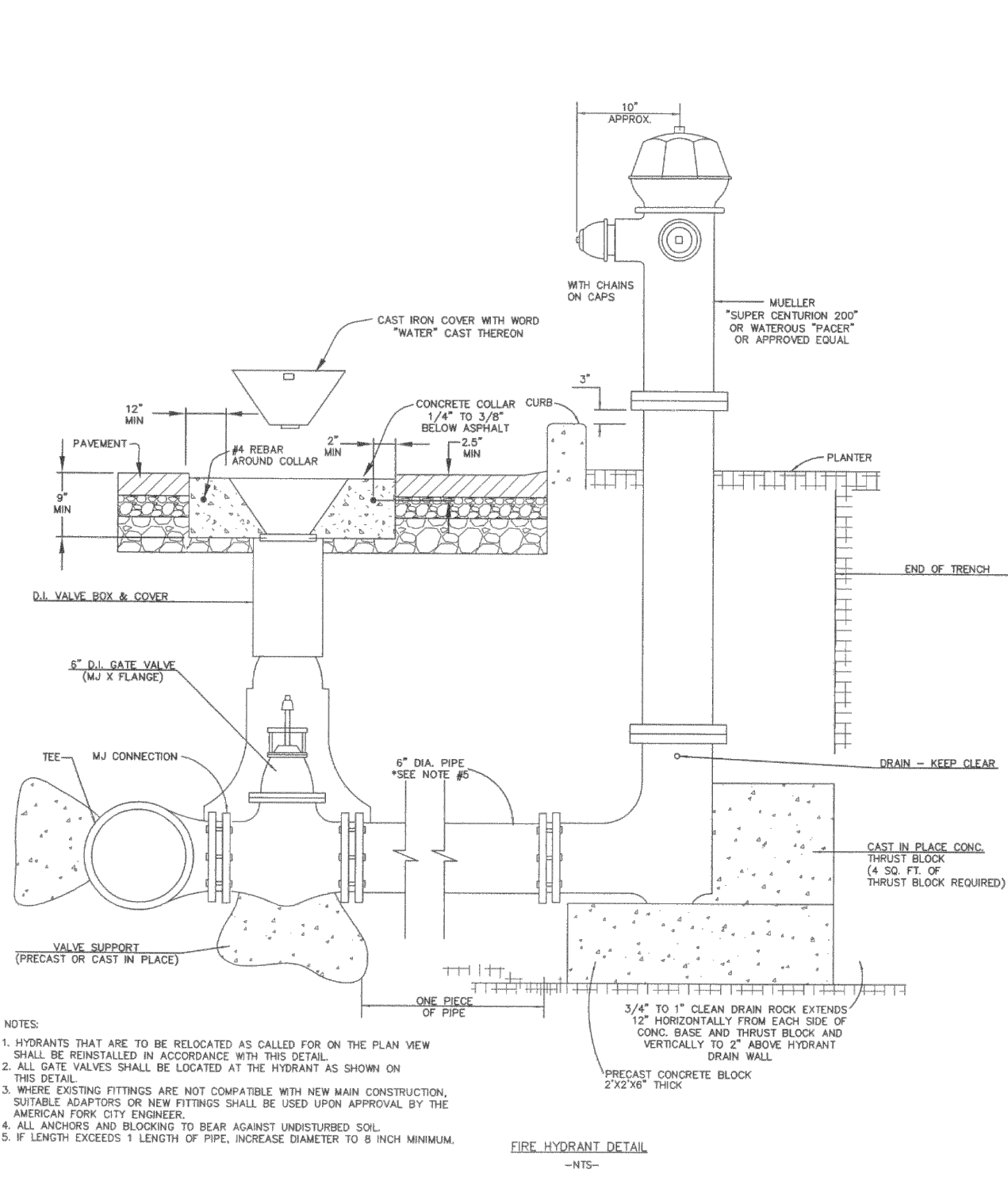
WATER MAIN 1" CULINARY WATER SERVICE CONNECTION		
NOTES: 1. METEOROLOGICAL CONSTRUCTION INFORMATION, SPECIFIC INSTRUCTIONS, PLANS AND DETAILS SHALL BE PROVIDED BY THE PROPERTY OWNER FROM THE CITY. IF NOT PROVIDED AND AVAILABLE BY THE STANDARD SET, DIFFERENCES ARE REQUIRED: ON ALL PROJECTS, THE CONNECTIONS TO THE EXISTING WATER MAINS SHALL BE MADE PARALLEL TO THE MAINS. IF THE MAINS ARE NOT PARALLEL TO THE MAINS, THE MAINS SHALL BE MADE PARALLEL TO THE MAINS. IF THE MAINS ARE NOT PARALLEL TO THE MAINS, THE MAINS SHALL BE MADE PARALLEL TO THE MAINS. IF THE MAINS ARE NOT PARALLEL TO THE MAINS, THE MAINS SHALL BE MADE PARALLEL TO THE MAINS. IF THE MAINS ARE NOT PARALLEL TO THE MAINS, THE MAINS SHALL BE MADE PARALLEL TO THE MAINS. IF THE MAINS ARE NOT PARALLEL TO THE MAINS, THE MAINS SHALL BE MADE PARALLEL TO THE MAINS. IF THE MAINS ARE NOT PARALLEL TO THE MAINS, THE MAINS SHALL BE MADE PARALLEL TO THE MAINS. IF THE MAINS ARE NOT PARALLEL TO THE MAINS, THE MAINS SHALL BE MADE PARALLEL TO THE MAINS. 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CULINARY WATER SERVICE LINE CONNECTION
SCALE: NTS



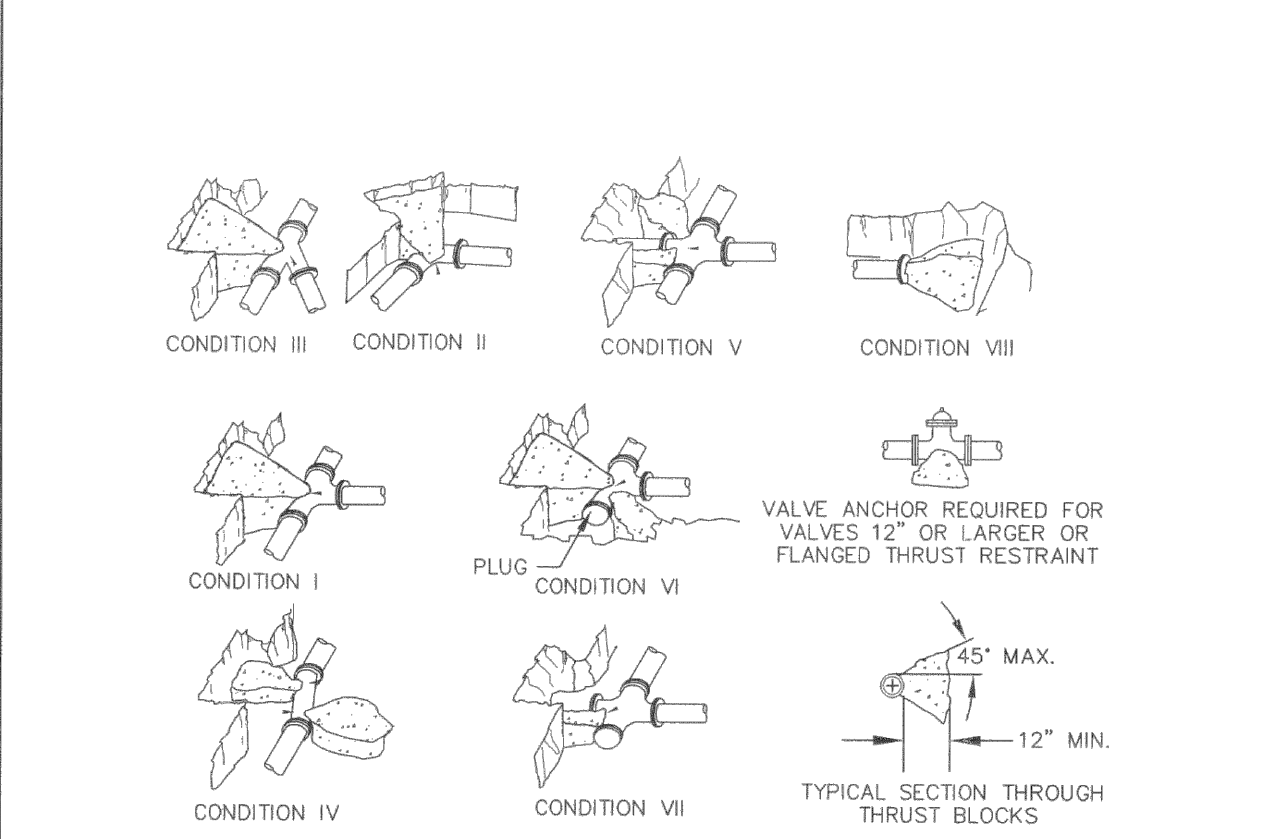
DRAWN: JRP			Northern ENGINEERING & LAND SURVEYING CONSTRUCTORS (INCORPORATED) 1442 E. 800 N. OAK, UT 84057 (801) 802-8992 FAX: 801-802-8993	AMERICAN FORK CITY	STANDARD DETAIL FOR VALVE BOX DETAIL	DRAWING NO. 15.4
REVIEWED: JRM						
DATE: JULY 2002						
SCALE: VARIES						

GATE VALVE
SCALE: NTS



DRAWN: JRP		 Northern ENGINEERING & LAND SURVEYING CONSULTING FOR LANDSCAPES 1040 E. 800 N. SUITE 100A SALT LAKE CITY, UT 84111 (801) 801-8992	AMERICAN FORK CITY	STANDARD DETAIL FOR	DRAWING NO.
REVIEWED: JRM				FIRE HYDRANT	15.6
DATE: MAY 2002					
SCALE: VARIES					

FIRE HYDRANT
SCALE: NTS



NOTES:

1. ALL THRUST BLOCK BEARING FACES SHALL BE POURED AGAINST UNDISTURBED SOIL OR APPROVED COMPACTED BACKFILL.
2. CONCRETE SHALL BE CLASS C.
3. CALCULATED ON 150 PSI. STATIC PRESSURE & ALLOWABLE BEARING PRESSURE OF 1500 LB. PER SQ. FT.
4. ALL THRUST BLOCK SIDES SHALL BE FORMED.
(CITY INSPECTOR MAY REQUIRE WOOD FORMS.)

THRUST BLOCK BEARING AREA IN SQ. FEET								
PIPE SIZE (IN.)	CONDITION							
	I	II	III	IV	V	VI	VII	VIII
4	1.5	1.8	1	0.5	1.3	1.3	1.3	1.3
8	5	7.1	3.8	2	5	5	5	5
10	7.5	11.1	6	3	7.8	7.8	7.8	7.8
14	15.4	21.7	11.8	6	15.4	15.4	15.4	15.4

WATER LINE THRUST BLOCK DETAILS

DRAWN:	JRP
REVIEWED:	
DATE:	MAY 2002
SCALE:	VARIES

Northern
ENGINEERING AND
SURVEYING
1040 E. 900 N. SUITE 200
SALT LAKE CITY, UT 84143
(801) 802-8692

AMERICAN FORK
CITY

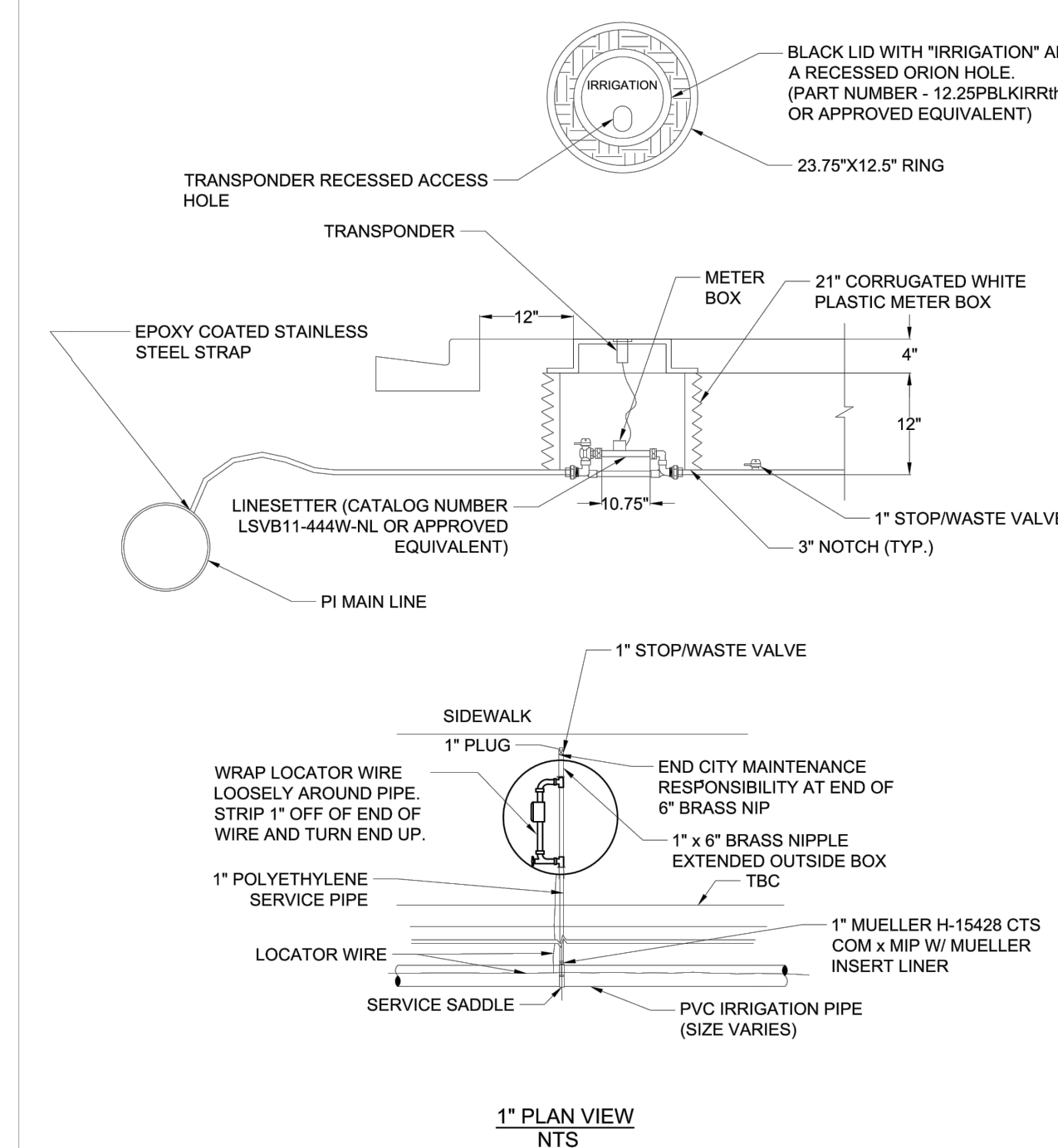
STANDARD DETAIL FOR


WATERLINE THRUST
BLOCKING

DRAWING NO.

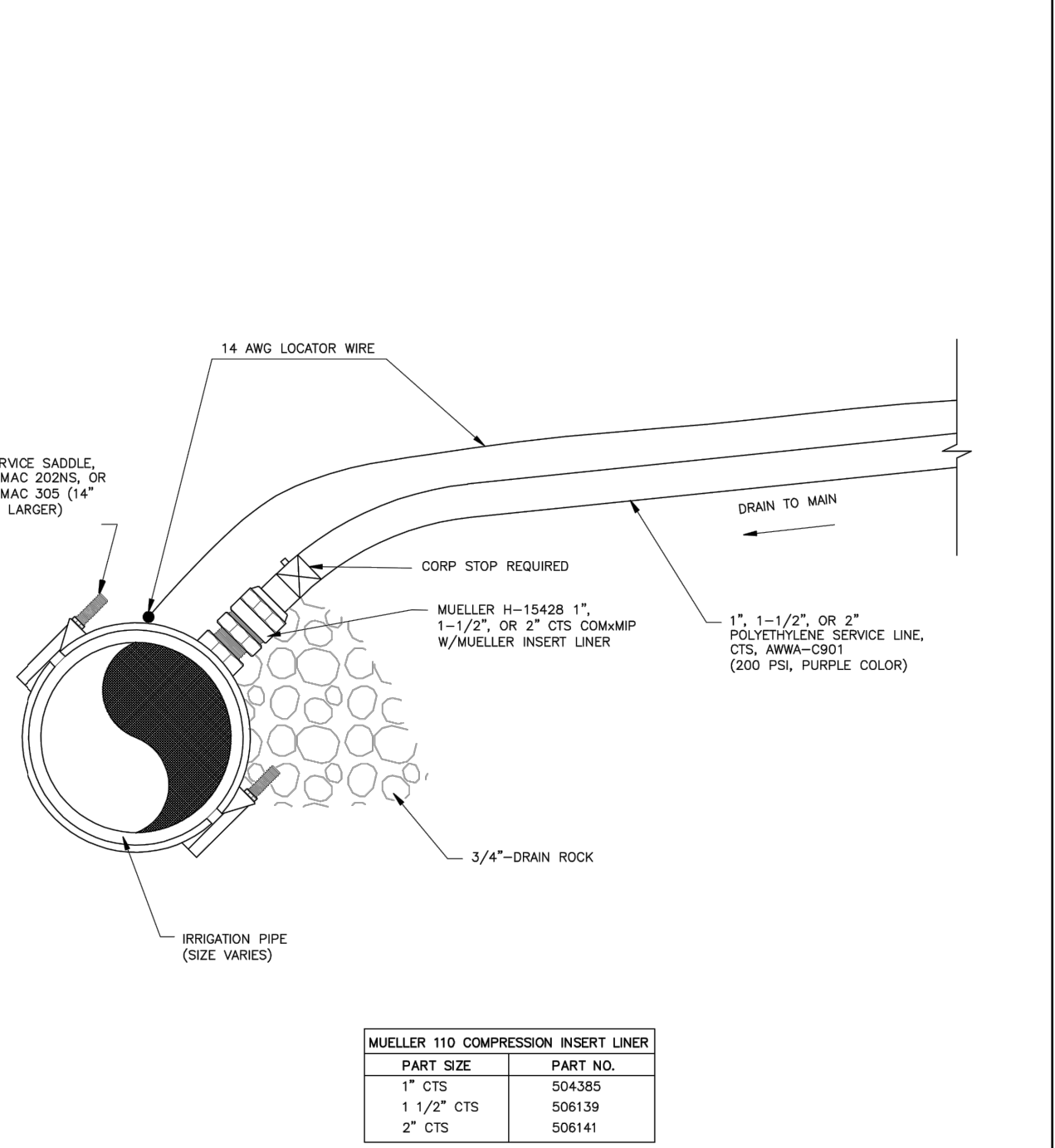
15.2


THRUST BLOCK
SCALE: NTS

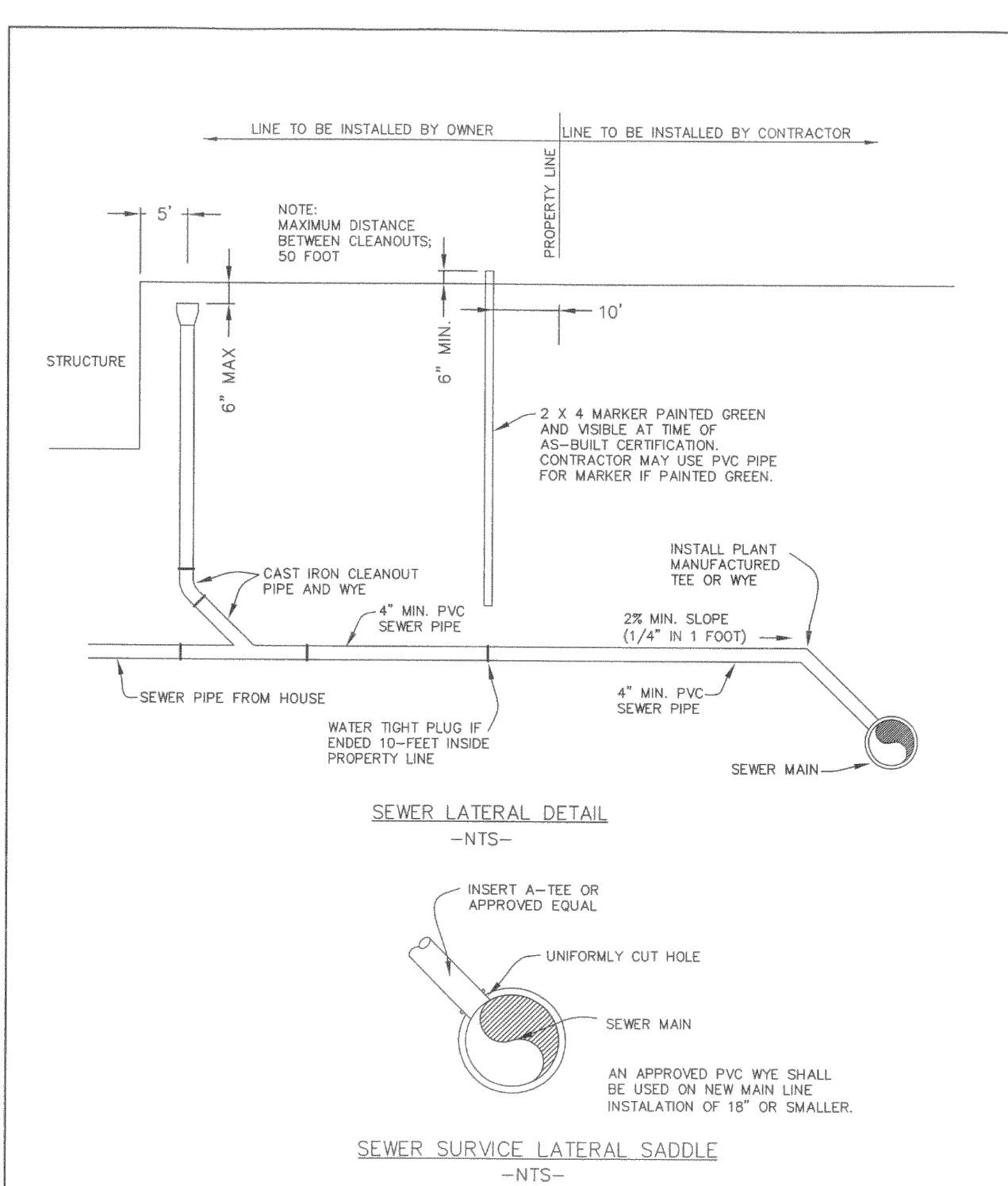



<p>NOTES:</p> <ol style="list-style-type: none">1. CITY MAINTENANCE RESPONSIBILITY ENDS AT THE END OF THE 6" BRASS NIPPLE.2. STOP/WASTE VALVE IS THE PROPERTY OWNER'S VALVE TO ISOLATE SPRINKLER SYSTEM.3. REFER TO SECTION 7.6 OF AMERICAN FORK STANDARDS FOR SECONDARY WATER SERVICE LATERAL CONNECTION.					
DRAWN:	MVU		AMERICAN FORK CITY PUBLIC WORKS 275 EAST 200 NORTH (801) 763-9030	STANDARD DETAIL FOR 1" PI METER PLACEMENT	DRAWING NO. 15.5D
REVIEWED:	JRM				
DATE:	MAY 2019				
SCALE:	VARIES				

SECONDARY WATER METER AND CONNECTION
SCALE: NTS



DATE: 11/2010		 HORROCKS ONE WEST MAIN PO BOX 377 AMERICAN FORK (801) 762-2101	<i>AMERICAN FORK CITY</i>	STANDARD DETAIL FOR TYPICAL SECONDARY WATER MAIN TAP	DRAWING NO. 15.3A
DESIGNED BY: _____					
CHECKED BY: _____					
SCALE: _____					



NOTE:					
1) LATERAL SHALL NOT ENTER MANHOLE, UNLESS OTHERWISE APPROVED BY CITY ENGINEER.					
2) FOR CONCRETE PIPE AND CONCRETE COLLAR AROUND INSERT-A-TEE.					
3) ALSO SEE DRAWING NO. 15.19					
DRAWN: JRP	 Northern ENGINEERING & LAND SURVEYING 1440 E. 800 N. SUITE 200 OREM, UT 84405 (435) 224-8992 FAX (435) 224-8993	AMERICAN FORK CITY	STANDARD DETAIL FOR SANITARY SEWER LATERAL AND CLEAN OUT	DRAWING NO. 15.23	
REVIEWED: JRM					
DATE: JULY 2002					
SCALE: VARIES					
\COMMONFILE\PROJECTS\2002\07\creek\15.23-01-CLEANOUT.dwg (15.23-01.dwg) (15.23-01.dwg)					

SEWER LATERAL AND CLEANOUT
SCALE: NTS

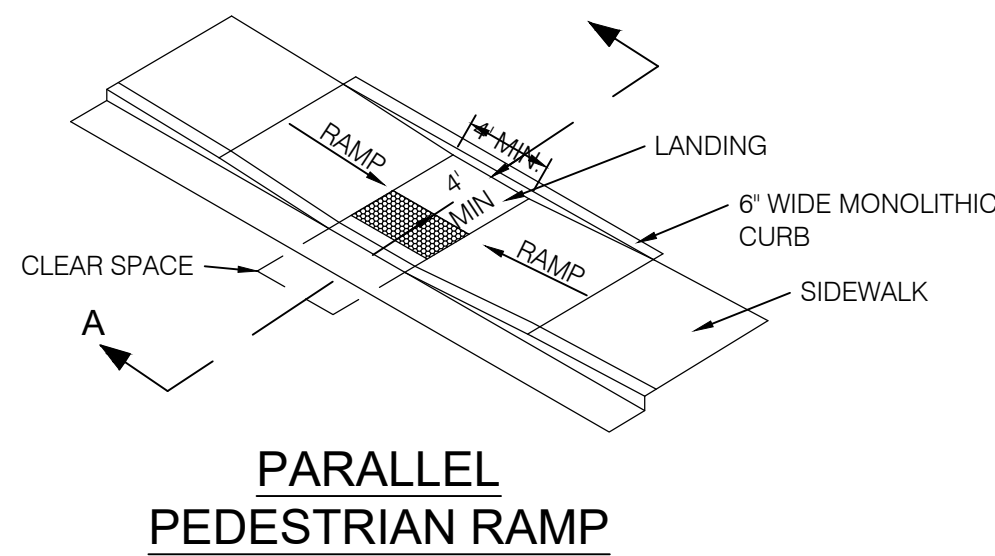
DRAWN BY: JHO			PROJECT NO. 1905136
CHECKED BY: MCP			
DATE: 05/05/2021			
SCALE: VARIES			

NO.	DATE	DESCRIPTION
18	02/26/24	REMOVED RETAINING WALL
19	02/27/24	REMOVED RAISED MEDIAN AND APPROACH
20	02/27/24	ADDED LIGHT POLES
21	02/26/24	REMOVING WALL ADDED
22	03/05/25	REVISED PER CITY COMMENTS
23	03/05/25	REVISED PER CITY COMMENTS
24	03/05/25	REVISED PER CITY COMMENTS
25	03/05/25	REVISED PER CITY COMMENTS
26	03/05/25	REVISED PER CITY COMMENTS
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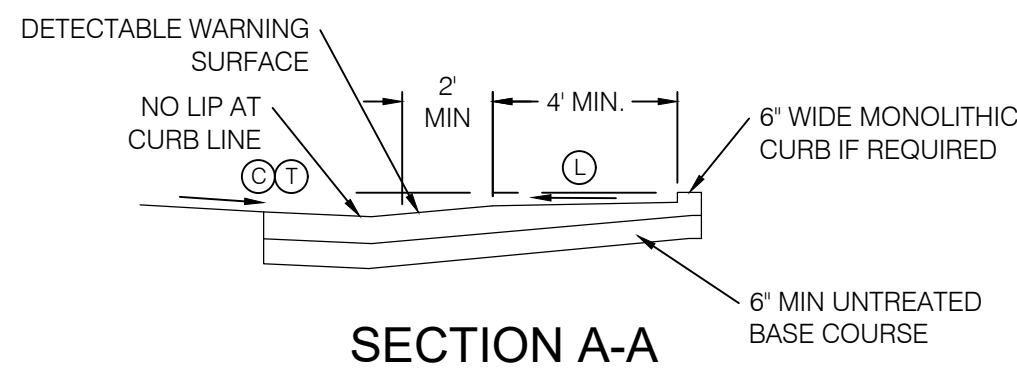
SCALE: HORIZONTAL TO FIT SITE SIZE & COORDINATION
SCALE: VERTICAL TO FIT SITE SIZE & COORDINATION
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

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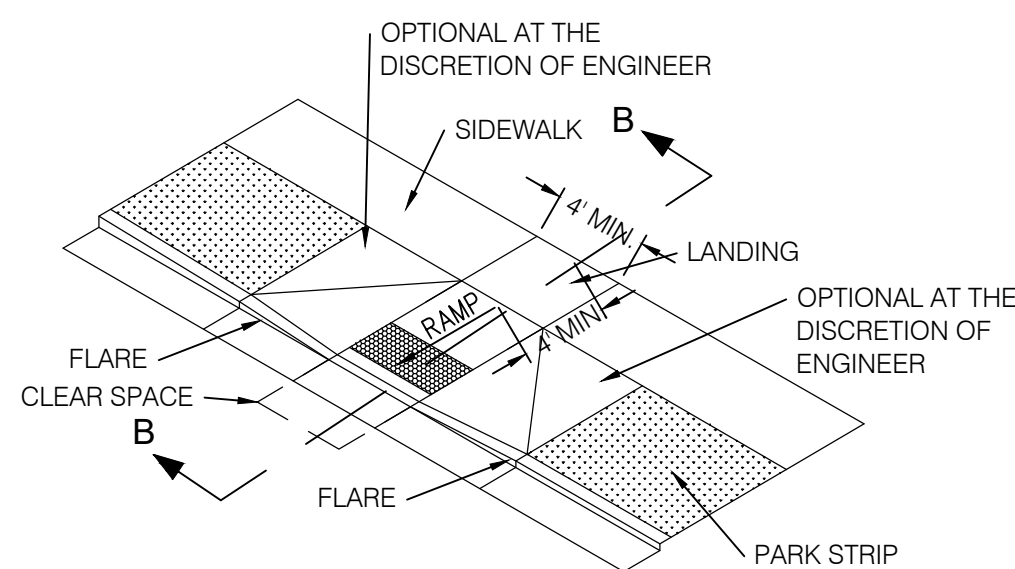
AMERICAN FORK OFFICE & WAREHOUSE
450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH



**PARALLEL
PEDESTRIAN RAMP**

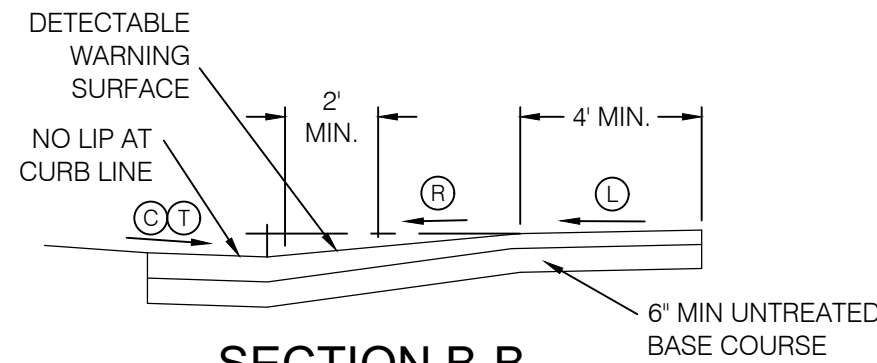


SECTION A-A

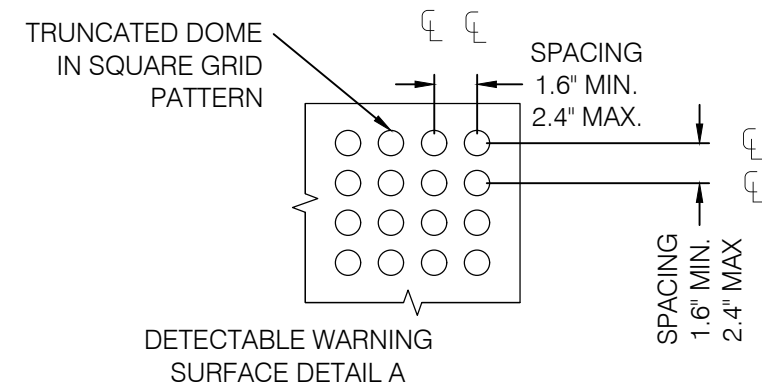
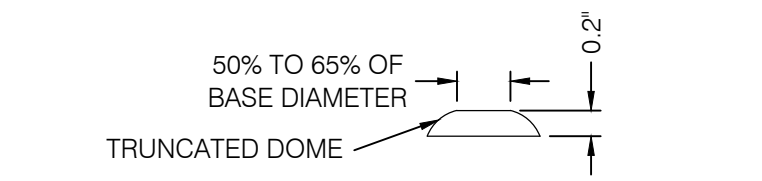
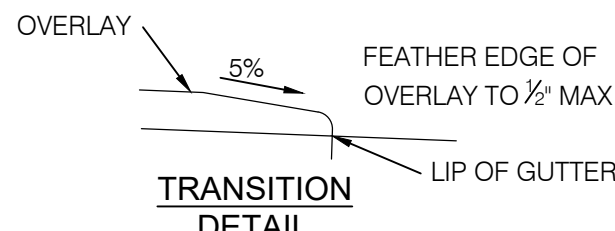


**PERPENDICULAR
PEDESTRIAN RAMP**

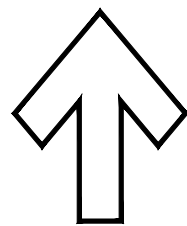
FLARE IS ACCEPTABLE IN LIEU OF FULL HEIGHT CURB SEE LOCAL AGENCY REQUIREMENTS



SECTION B-B

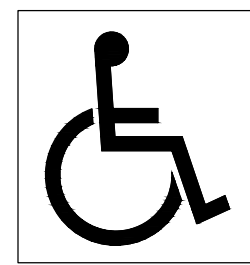


THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD



**DIRECTION OF TRAVEL
OR APPROACH**

THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD



**INTERNATIONAL SYMBOL
OF ACCESSIBILITY**

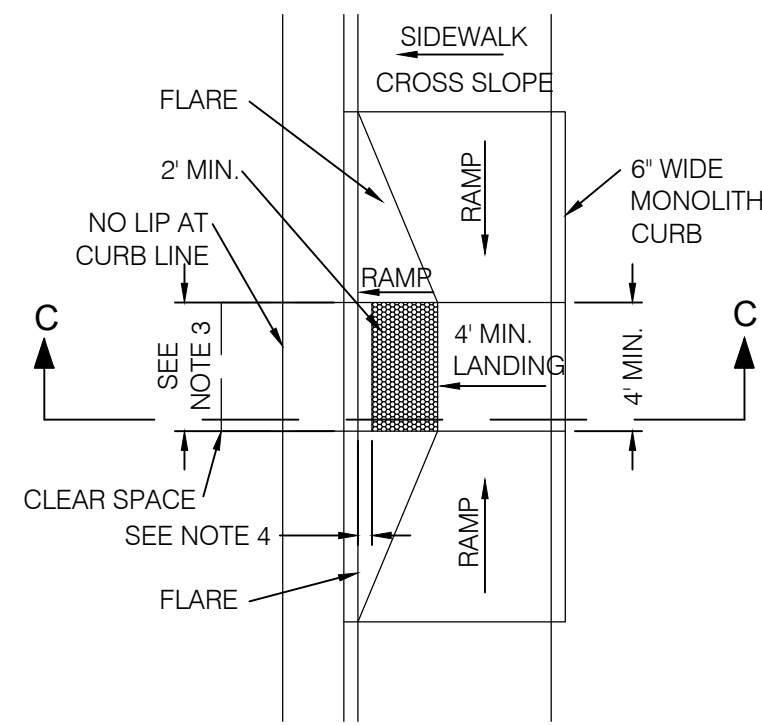
THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD

STRIPING SYMBOLS

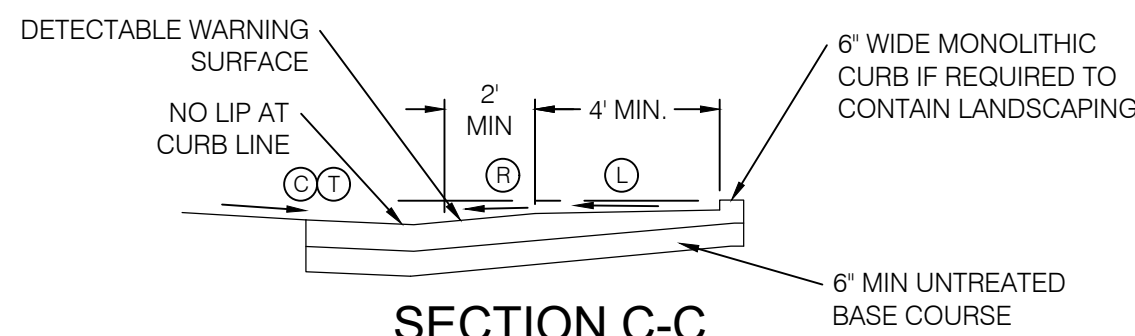
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STANDARD ACCESS RAMP 1

SCALE: N.T.S.



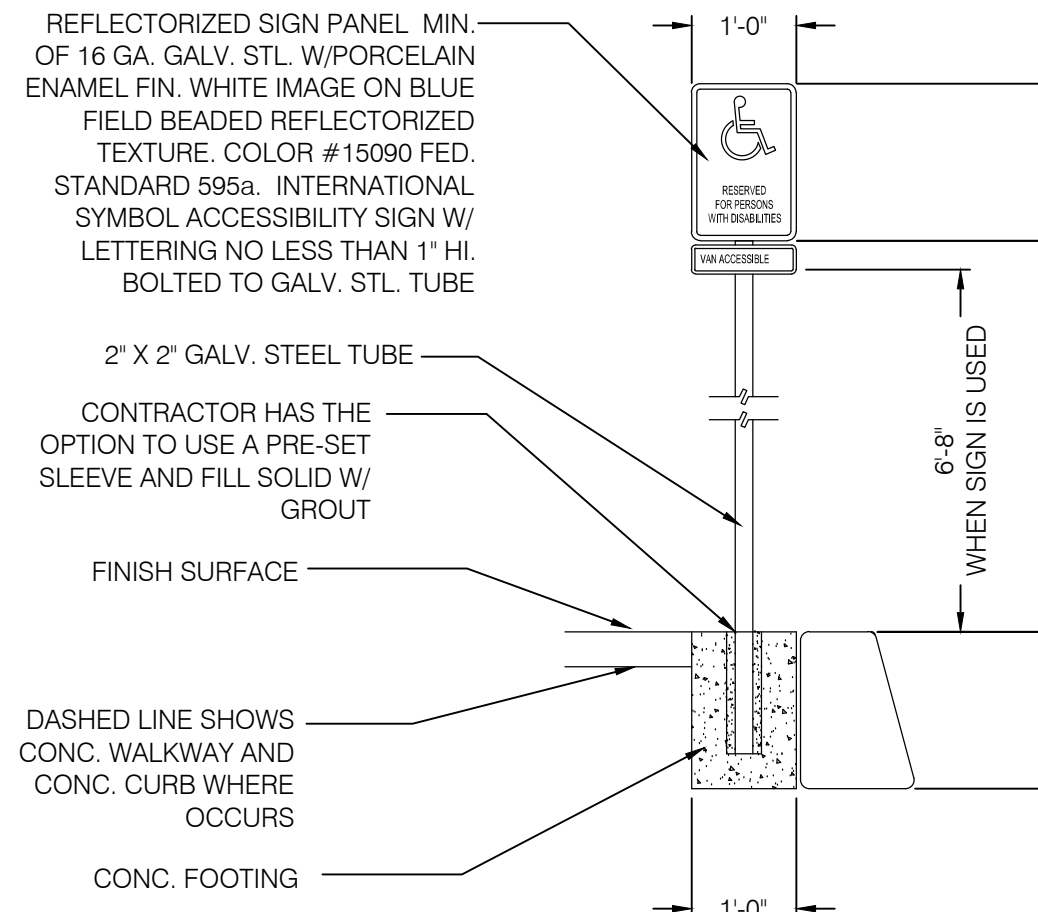
**PEDESTRIAN ACCESS
RAMP DETAIL**



SECTION C-C

NOTES:

1. CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSIONS AND SLOPE REQUIREMENTS. SPECIFIC SITE CONDITIONS WILL VARY. THE USE OF FLARES, CURBWALLS, ETC. ARE AT THE DISCRETION OF THE ENGINEER.
2. PERPENDICULAR AND PARALLEL PEDESTRIAN RAMPS SHOWN ON THIS DRAWING ARE ACCEPTABLE FOR USE AT MID BLOCK OR CORNER INSTALLATIONS.
3. PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDING OR CURB CUT. SEE DETAIL A FOR DETECTABLE WARNING SURFACE DIMENSIONS.
4. LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 4 TO 6 INCHES FROM THE TOP BACK OF CURB.
5. PROVIDE DETECTABLE WARNING SURFACE. COLOR SHALL BE YELLOW.
6. USE CLASS AA (AE) CONCRETE.
7. USE 6" MIN. DEPTH OR UNTREATED BASE COURSE UNDER ALL CONCRETE FLATWORK COMPACTED TO 96% MAXIMUM DRY DENSITY.



ADA SIGN POST DETAIL

TABLE OF DIMENSIONS	
ELEMENT	DIMENSION
(T) (R)	4 FEET WIDE MINIMUM
(L) (C)	4 FEET SQUARE MINIMUM*

* WHERE LANDING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

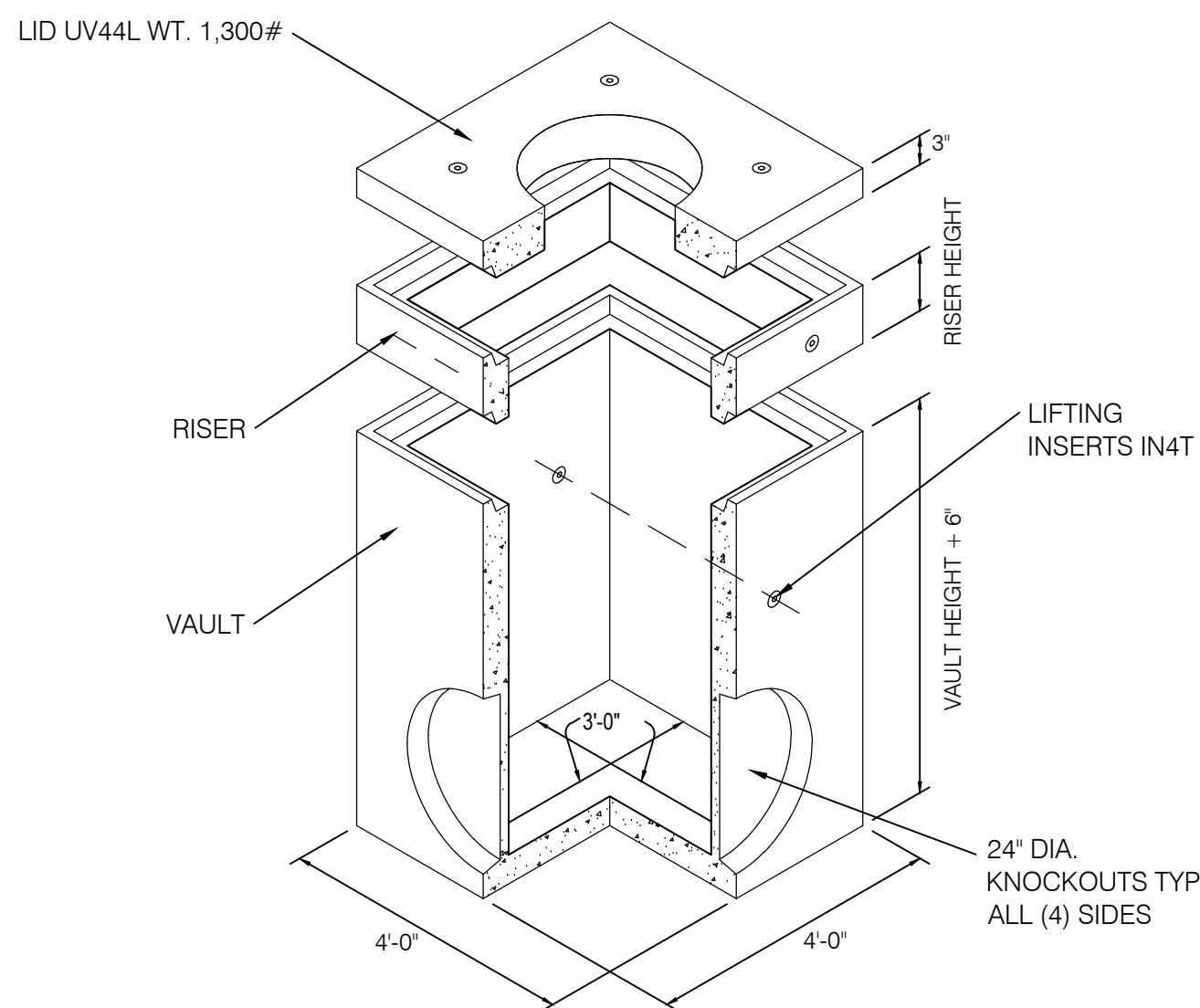
SLOPE TABLE		
	RUNNING SLOPE*	CROSS SLOPE
(L)	LANDING	1.5-2% (1V:48H) (b)
(R)	RAMP	8.33% (1V:12H) (c)
(T)	TRANSITION	5% (1V:20H) (a)
(C)	CLEAR SPACE	5% (1V:20H) (a)
	SIDEWALK	--
	FLARE	10% (1V:10H)

* RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL, WHILE CROSS SLOPE IS PERPENDICULAR TO PEDESTRIAN TRAVEL.

(a) TRANSITION RUNNING SLOPE NEEDS TO BE CONSTANT ACROSS ENTIRE CURB CUT. WARP GUTTER PAN TO MEET REQUIRED TRANSITION SLOPE AT CURB CUT (0.10' MAX. ABOVE FLOWLINE.)

EXCEPTION:

- (b) IF SLOPE REQUIREMENTS CAN'T BE ACHIEVED ON MID-BLOCK RAMPS CONTACT THE ENGINEER.
- (c) PARALLEL RAMPS ARE NOT REQUIRED TO EXCEED 15-FEET IN LENGTH.
- (d) CROSS SLOPE REQUIREMENT DOES NOT APPLY AT PERPENDICULAR RAMP MID-BLOCK CROSSING.



GRADE RING		
HEIGHT	CODE	WEIGHT
4"	GR304	180#
6"	GR306	270#

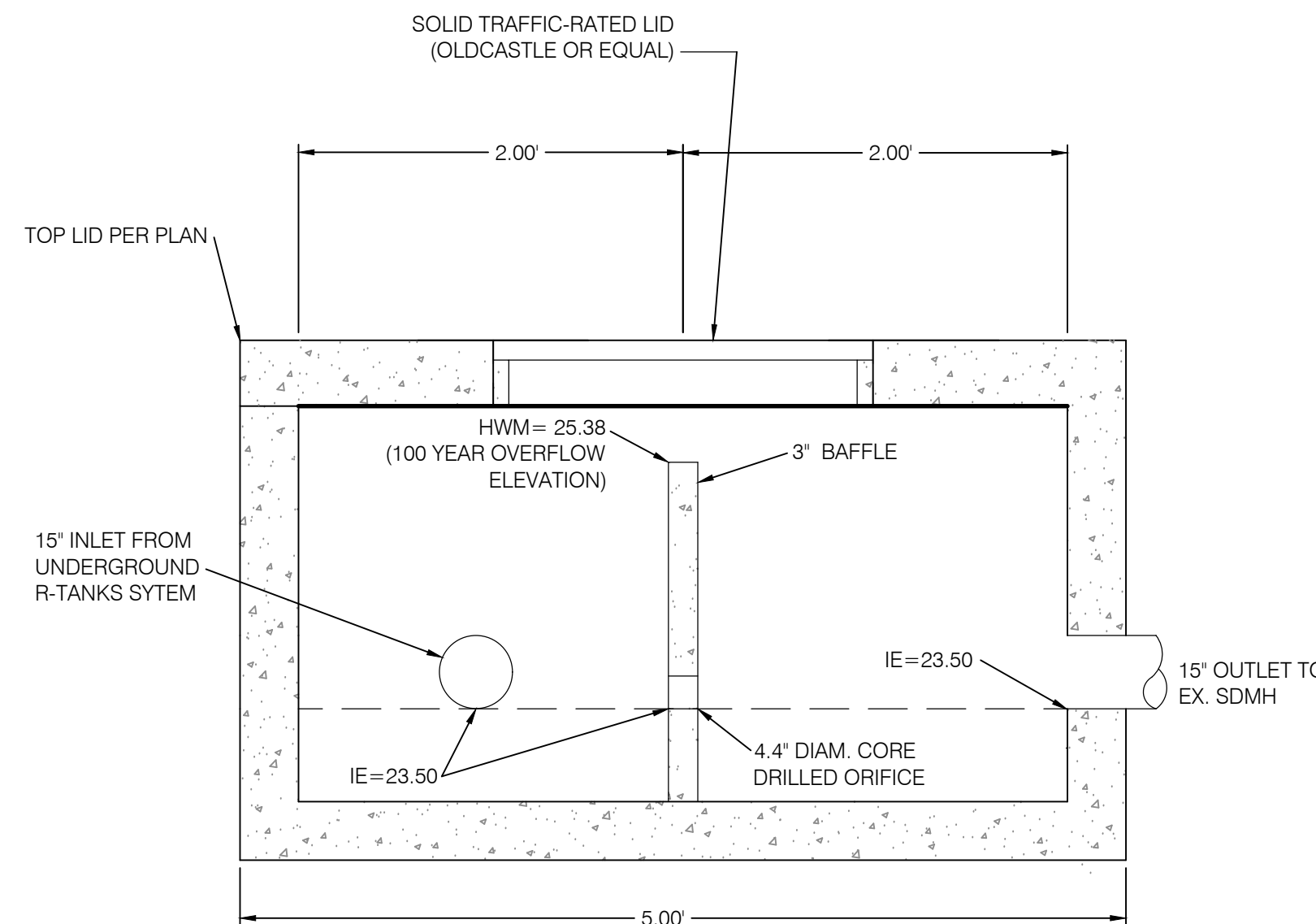
RISER		
HEIGHT	CODE	WEIGHT
1'	UV441R	1,350#
2'	UV442R	2,700#
3'	UV443R	4,050#
4'	UV444R	5,400#
5'	UV445R	6,750#
6'	UV446R	8,100#

VAULT		
HEIGHT	CODE	WEIGHT
3'	CB443	3,225#
4'	CB444	4,575#
5'	CB445	5,925#
6'	CB446	7,275#

- NOTES:
1. CATCH BASINS ARE DESIGNED TO MEET ASTM C858 WITH AASHTO HS-20 LOADING.
 2. OPENINGS MAY BE SIZED AND LOCATED AS REQUIRED.
 3. OPTIONAL GRATING OR COVER MATERIAL MAY BE CAST IN AS REQUIRED.
 4. CHECK HARDWARE SECTION FOR OPTIONAL ACCESSORIES.

3'x3' CATCH BASIN 2

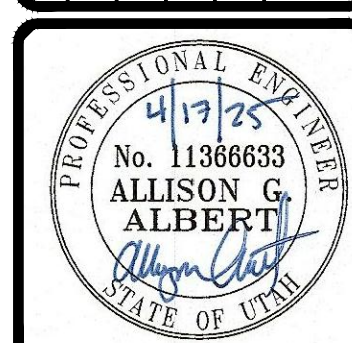
SCALE: N.T.S.



4'x4' CATCH BASIN WITH SOLID LID & BAFFLE 3

SCALE: N.T.S.

DATE	DESCRIPTION
18 02/28/24	REMOVED RETAINING WALL
19 03/27/24	REMOVED RAISED MEDIAN AND APPROACH
20 05/04/24	ADDED LIGHT POLES
21 05/04/24	RETAINING WALL ADDED
22 03/02/25	REVISED PER CITY COMMENTS
23 04/17/25	REVISED PER CITY COMMENTS & GC COORDINATION



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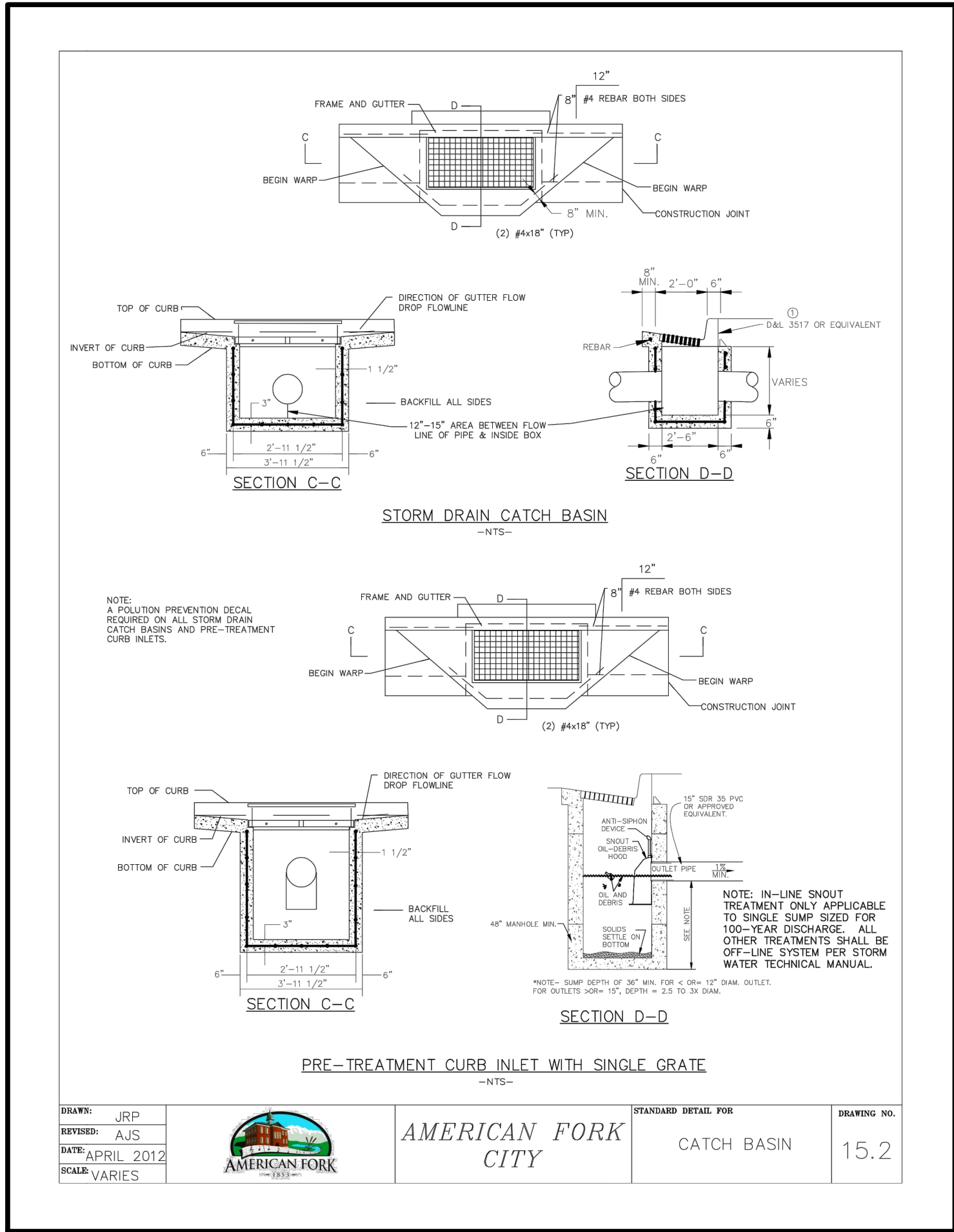
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450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

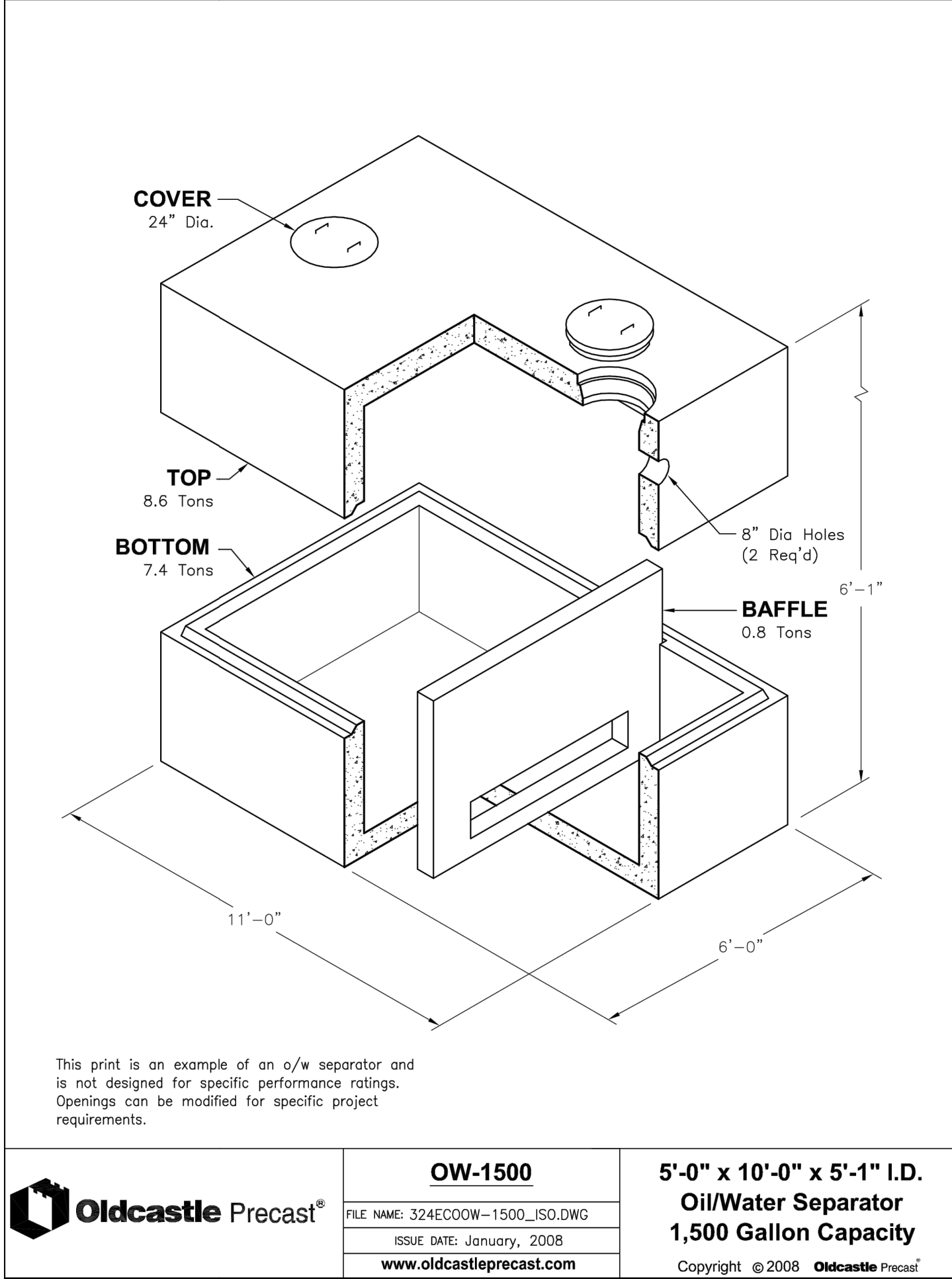
PROJECT NO. 1905136

**DETAIL
SHEET**

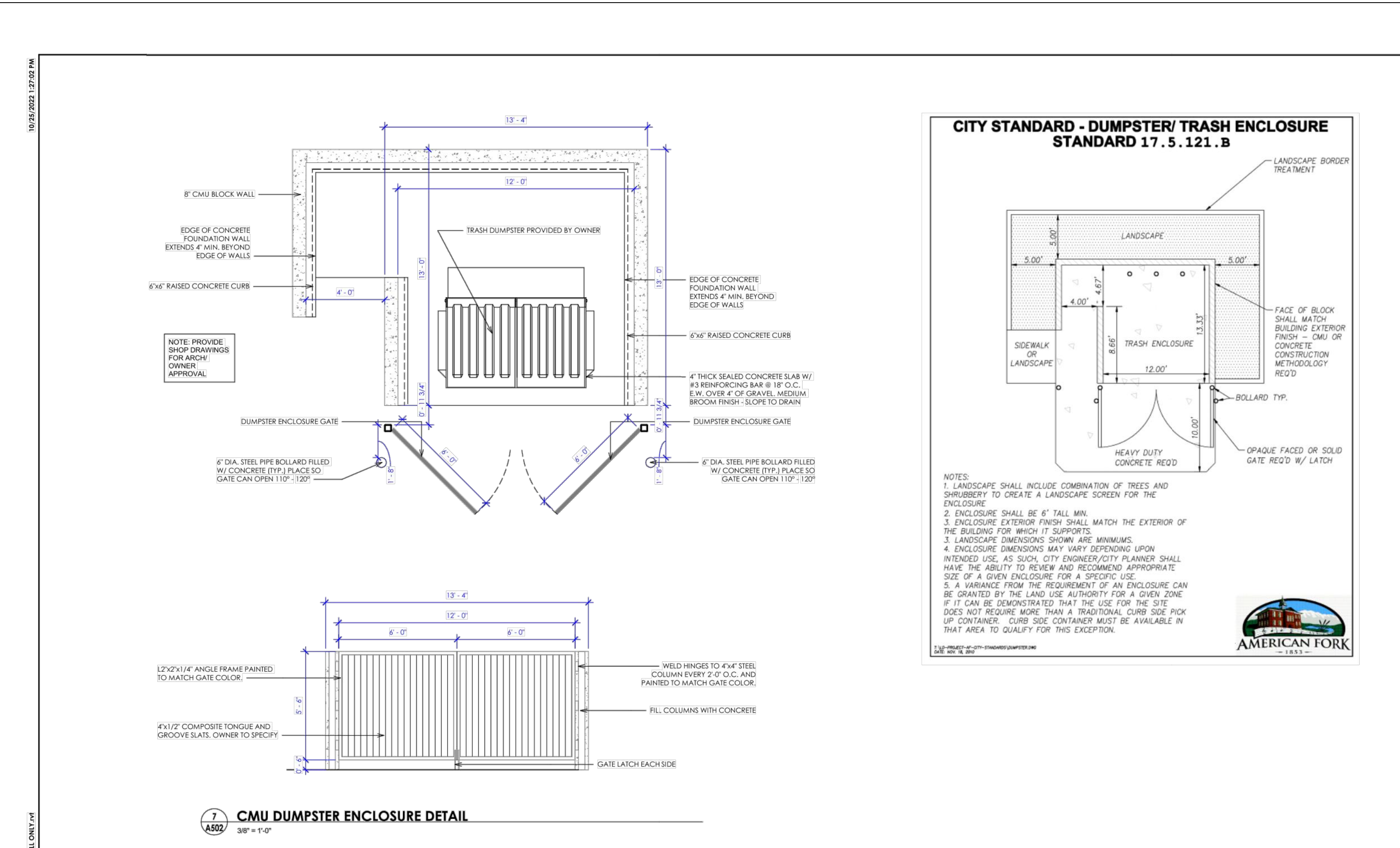
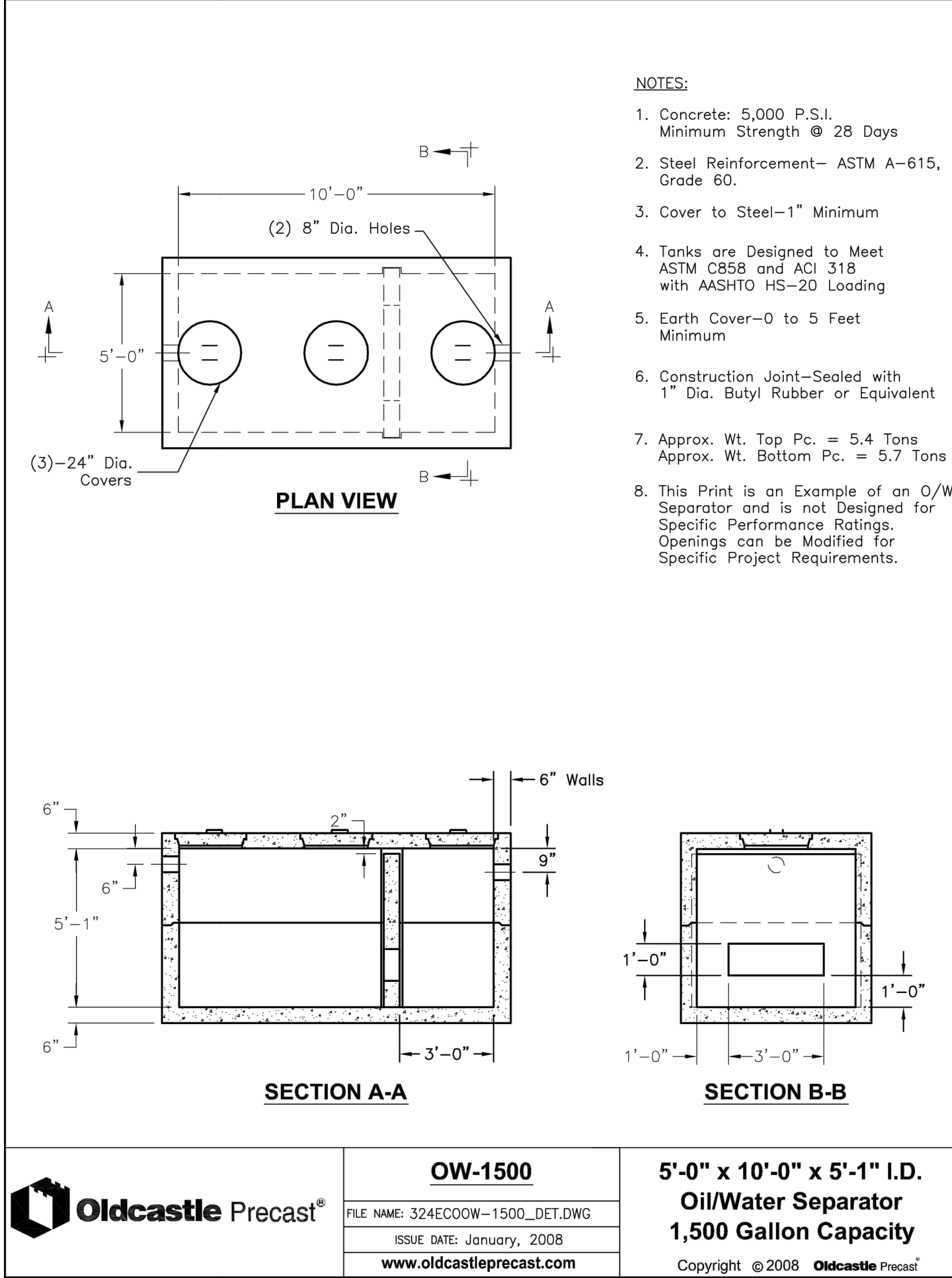
CDT.03
13 OF 17



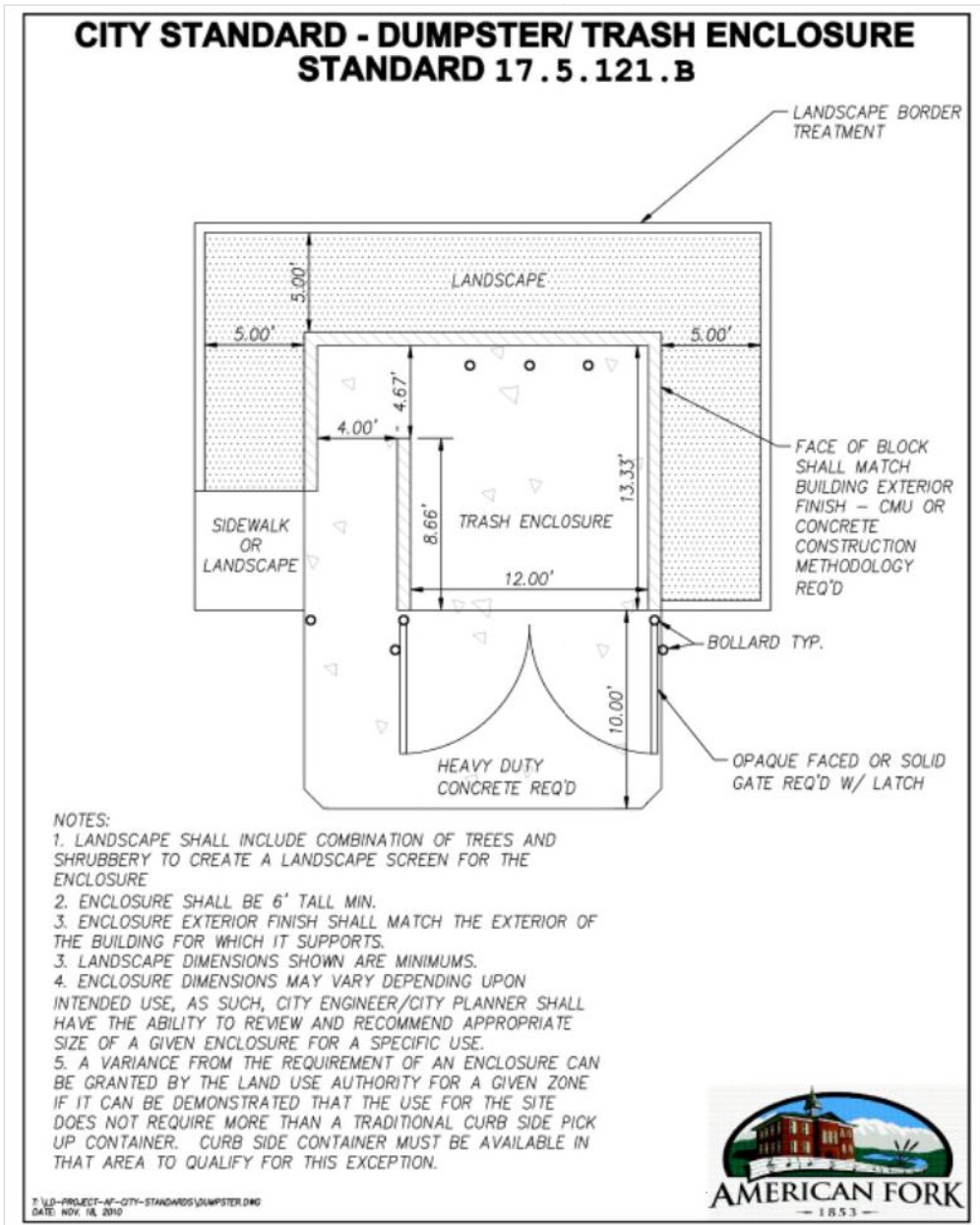
STORM DRAIN INLET BOX
SCALE:NTS



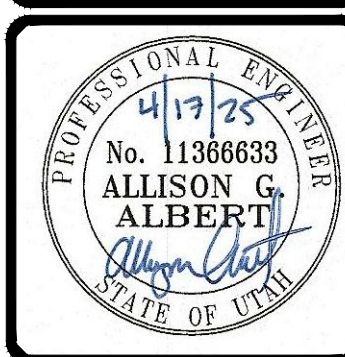
OLDCASTLE STORM WATER PRE-TREATMENT
SCALE:NTS



DUMPSTER AND DUMPSTER ENCLOSURE DETAIL
SCALE:NTS

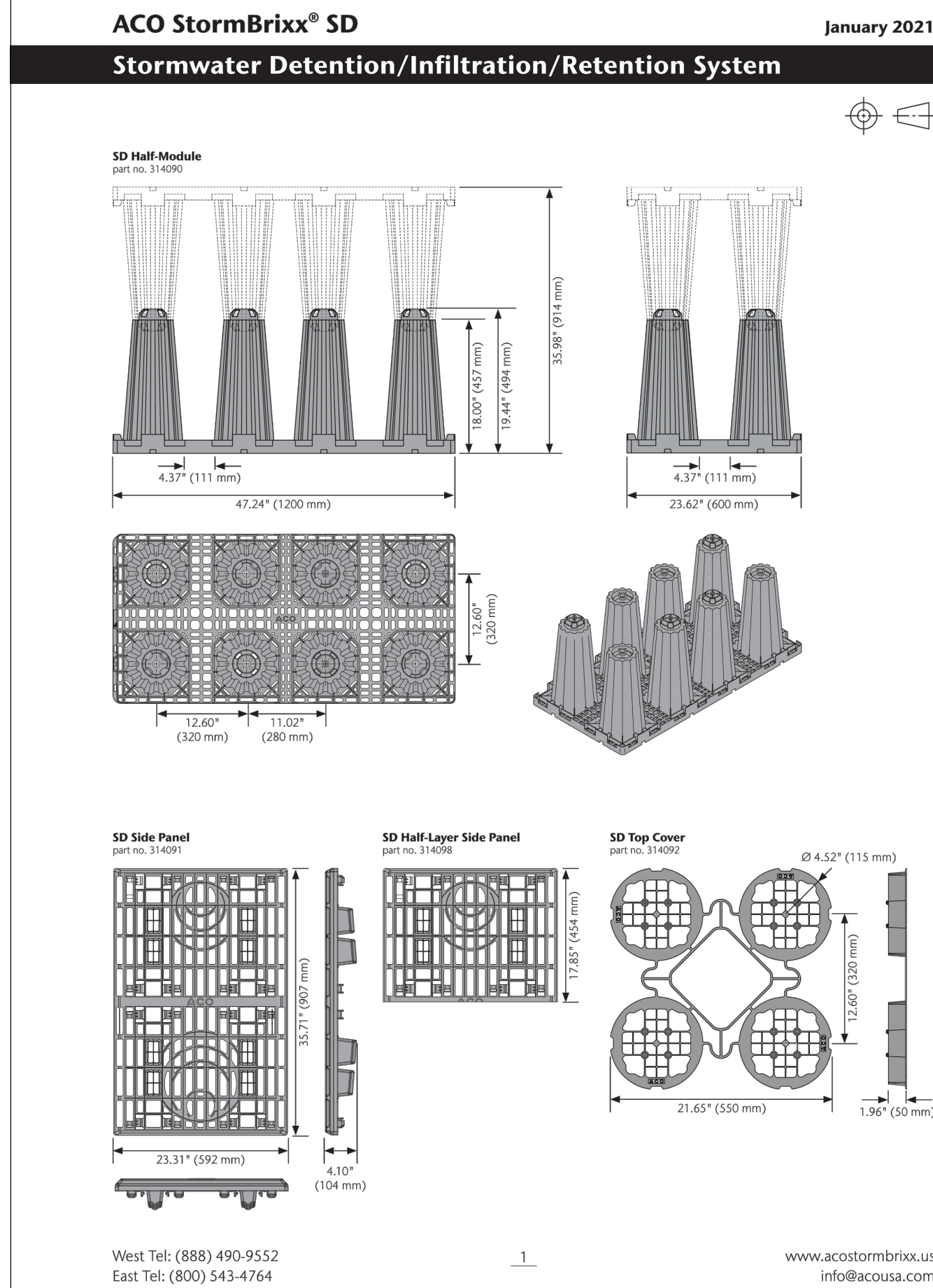
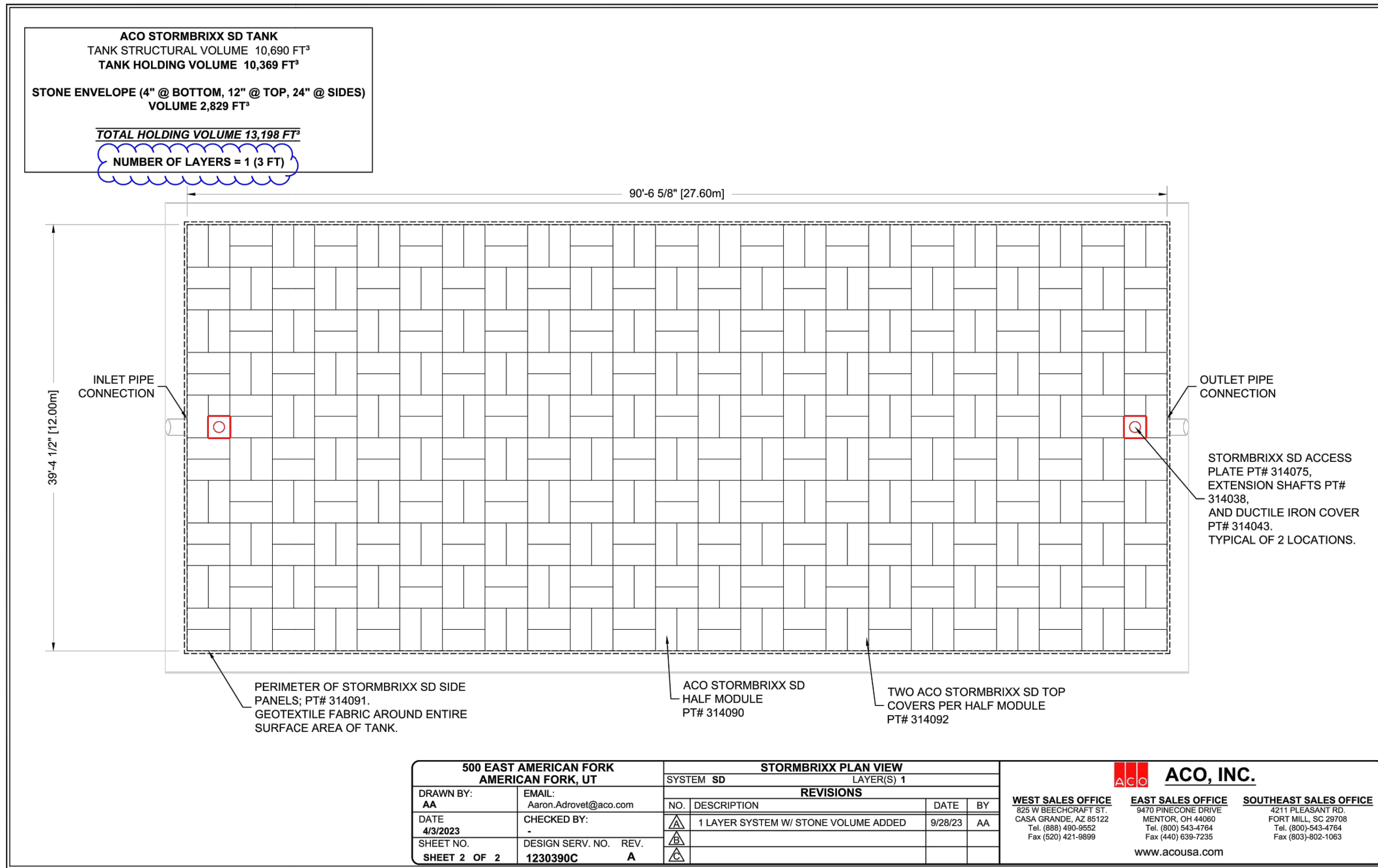


PROJECT NO.	1905136
DATE	02/28/24
DESCRIPTION	REMOVED RETAINING WALL
NO.	18
DATE	03/27/24
DESCRIPTION	REMOVED RAISED MEDIAN AND APPROACH
NO.	19
DATE	05/04/24
DESCRIPTION	ADDED LIGHT POLES
NO.	20
DATE	05/04/24
DESCRIPTION	RETAINING WALL ADDED
NO.	21
DATE	03/02/25
DESCRIPTION	REVISED PER CITY COMMENTS
NO.	22
DATE	04/17/25
DESCRIPTION	REVISED PER CITY COMMENTS & GC COORDINATION
NO.	23



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Waste Water Drainage Sizing

Project Name: American Fork Office/Warehouse

Waste Branch: Typical Tenant - Estimated

Quantity	Fixture Type	Drainage Fixture Unit Value as Load Factors (dfu)	Minimum Size of Trap (inches)	Total Fixture Unit Value as Load Factors (dfu)
0	Automatic Clothes Washers, Commercial	3	2	0
0	Automatic Clothes Washers, Residential	2	2	0
0	Bathroom Group as defined in Section 202 (1.6 gpf water closet)	5	-	0
0	Bathroom Group as defined in Section 202 (water closet flushing...)	6	-	0
0	Bathub (with or without overhead shower or whirlpool attachments)	2	1 1/2	0
0	Bidet	1	1 1/4	0
0	Combination sink and tray	2	1 1/2	0
0	Dental lavatory	1	1 1/4	0
0	Dental unit or cuspidor	1	1 1/4	0
0	Dishwashing machine, domestic	2	1 1/2	0
1	Drinking fountain	1/2	1 1/4	0.5
5	Emergency floor drain	0	2	0
0	Floor drains	2	2	0
0	Floor sinks	3	2	0
1	Kitchen sink, domestic	2	1 1/2	2
0	Kitchen sink, domestic with food waste grinder and/or dishwasher	2	1 1/2	0
0	Laundry tray (1 or 2 compartments)	2	1 1/2	0
8	Lavatory	1	1 1/4	8
0	Shower (5.7 gpm or less)	2	1 1/2	0
0	Shower (5.7 gpm to 12.3 gpm)	3	2	0
0	Shower (12.3 gpm to 25.8 gpm)	5	3	0
0	Shower (25.8 gpm to 55.6 gpm)	6	4	0
1	Service Sink	2	1 1/2	2
0	Sink	2	1 1/2	0
2	Urinal	4	2	8
0	Urinal, 1 gallon per flush or less	2	2	0
0	Urinal, nonwater supplied	1/2	2	0
0	Wash sink (circular or multiple) each set of faucets	2	1 1/2	0
6	Water closet, flushometer tank, public or private	4	3	24
0	Water closet, private (1.6 gpf)	3	3	0
0	Water closet, private (flushing greater than 1.6 gpf)	4	3	0
0	Water closet, public (1.6 gpf)	4	3	0
0	Water closet, public (flushing greater than 1.6 gpf)	6	3	0
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
-	Additional Fixture (Type Here)	-	-	-
				44.5

Slope of Waste Water Piping = 1/8 inch inch

Minimum Size of Primary Waste Water Piping = 4 inch

Domestic Water Sizing

Project Name: American Fork...

Dom. Wtr Branch: Building Total - Estimated


Load Values in Water Supply Fixture Units (wsfu)							Minimum sizes of Fixture Water Supply Pipes (Table 604.5)
Quantity	Fixture Type	Occupancy	Type of Supply Control	Cold	Hot	Total	
0	Bathroom Group	Private	Flush Tank	0	0	0	
0	Bathroom Group	Private	Flushometer Valve	0	0	0	
0	Bathtub	Private	Faucet	0	0	1/2	
0	Bathtub	Public	Faucet	0	0	1/2	
0	Bidet	Private	Faucet	0	0	3/8	
0	Combination Fixture	Private	Faucet	0	0	1/2	
0	Dishwashing Machine	Private	Automatic	0	0	1/2	
7	Drinking Fountain	Offices, etc.	3/8" Valve	1.75	-	1.75	
7	Kitchen Sink	Private	Faucet	7	7	9.8	
0	Kitchen Sink	Hotel/Restaurant	Faucet	0	0	3/4	
0	Laundry Tray (1 to 3 compartments)	Private	Faucet	0	0	1/2	
56	Lavatory	Private	Faucet	28	28	38.2	
0	Lavatory	Public	Faucet	0	0	3/8	
7	Service Sink	Offices, etc.	Faucet	15.75	15.75	21	
0	Shower Head	Public	Mixing Valve	0	0	1/2	
0	Shower Head	Private	Mixing Valve	0	0	1/2	
0	Urinal	Public	1" Flushometer Valve	0	-	0	
0	Urinal	Public	3/4" Flushometer Valve	70	-	34	
0	Urinal	Public	Flush Tank	0	-	0	
0	Washing Machine (8 lbs)	Private	Automatic	0	0	1/2	
0	Washing Machine (8 lbs)	Public	Automatic	0	0	1/2	
0	Washing Machine (15 lbs)	Public	Automatic	0	0	3/4	
0	Water Closet	Private	Flushometer Valve	0	-	0	
42	Water Closet	Private	Flush Tank	92.4	-	92.4	
0	Water Closet	Public	Flushometer Valve	0	-	1	
0	Water Closet	Public	Flush Tank	0	-	3/8	
0	Water Closet	Private	Flushometer Tank	0	-	0	
0	Water Closet	Public or Private	Flush Tank	0	-	3/8	
0	Hose Bibb	Public or Private	3/4" Valve	0	-	3/4	
-	Additional Fixture (Type Here)	-	-	-	-	-	
-	Additional Fixture (Type Here)	-	-	-	-	-	
-	Additional Fixture (Type Here)	-	-	-	-	-	
-	Additional Fixture (Type Here)	-	-	-	-	-	
-	Additional Fixture (Type Here)	-	-	-	-	-	
				50.75	234.15	wsfu	

DCW wsfu into GPM =	75	GPM	** Used GPM for 250 wsfu
DCW Distribution Pipe Size Rqrd from Figure E103.3(2) =	3	inch	** Based on Flow rate of 5-8 Feet per Second maximum

DCW Maximum Developed Pipe Length to Farthest Fixture =	500	Feet	** Measured on architectural plans
BLDG Minimum Size of Water Meter (if needed) =	2	inch	** Based on Table E201.1 (30-39 psi)
Peak Domestic Cold Water Flow	75	GPM	
Average Daily Flow	1125	GPD	** Based on typical 10 hr work day

NOTES:

WASTE WATER CALCULATIONS PROVIDED BY A.E.URBIA.



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450 EAST AUTOMALL DRIVE
AMERICAN FORK, UTAH

PROJECT NO. 1905136

DETAIL

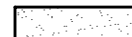
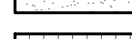


SHEET

CDT.07
17 OF 17

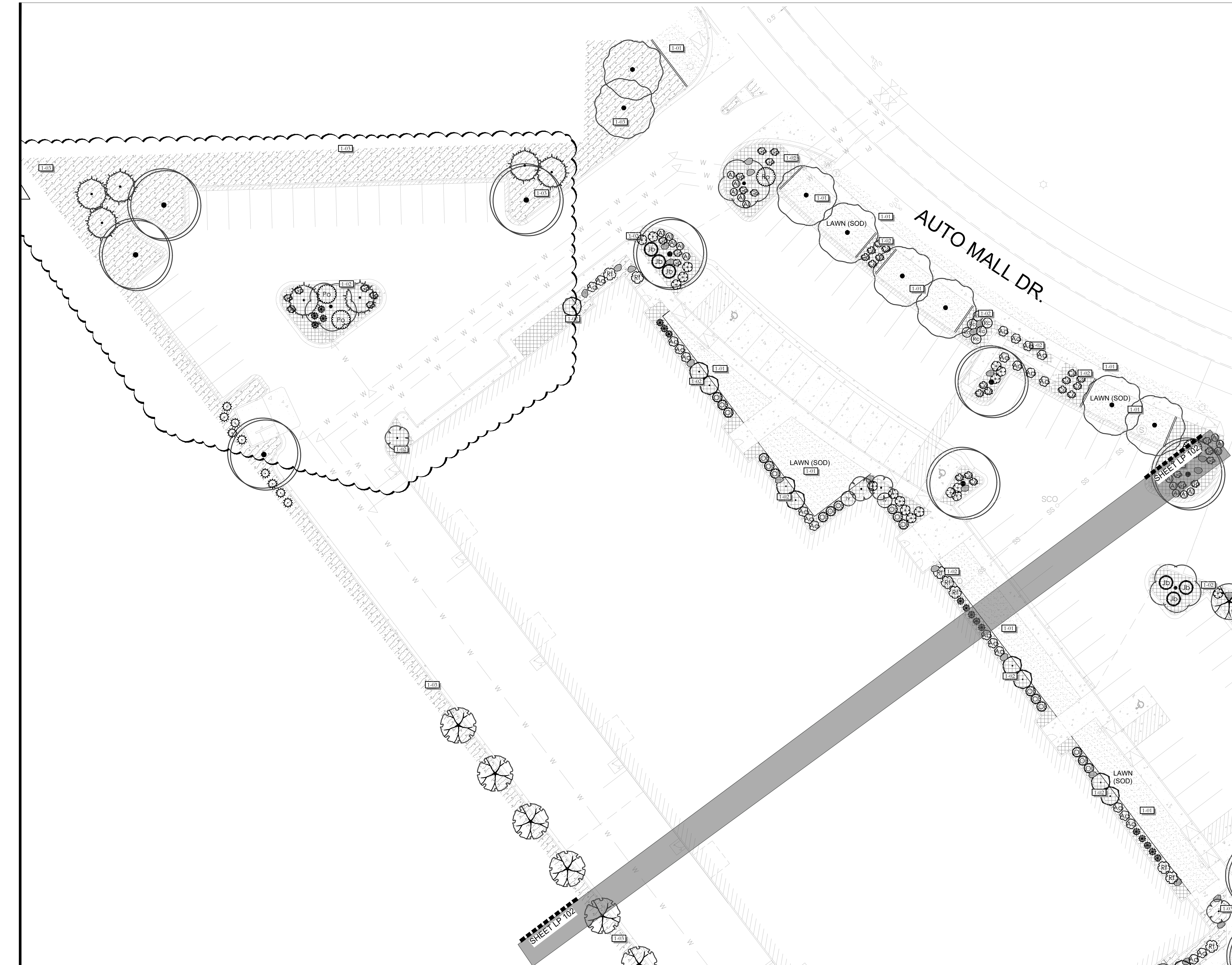


These landscaping plans are not consistent with your overall site plan. Adjust these plans to reflect correct layout that you have.

No parking is found in this location and on your update site plan. Update on all applicable pages.

SYMBOL		1 LANDSCAPE DESCRIPTION	QTY
	1-01	SODDED LAWN AREA	6,482 sf
	1-02	1" WASATCH GRAY COBBLE: 3" DEPTH OF ROCK; PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,587 sf
	1-03	1" 1.5" SOUTH TOWN GRAVEL COBBLE: 3" DEPTH OF ROCK; PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,984 sf
	1-06	BOULDERS - DECORATIVE	35

AMERICAN FORK OFFICE
 452 E. & AUTO MALL DR.
 AMERICAN FORK, UTAH



PLANT LEGEND						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	ACE PLA	10	Acer platanoides 'Fairview' Fairview Maple	B & B	2"	Cal
	FAG SYL	10	Fagus sylvatica 'Dowry Purple' European Beech	B & B	2"	Cal
	PRU CER	5	Prunus cerasifera 'Crimson Pointe' 'Crimson Pointe' Flowering Plum	B & B	2"	Cal
	ULM PAR	8	Ulmus parvifolia Lacebark Elm	B & B	2"	Cal
	ZEL SER	11	Zelkova serrata Sawleaf Zelkova	B & B	2"	Cal
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	MS	5	Malus x 'speciosa' Crabapple	B & B	2"	Cal
	Qf	8	Quercus robur 'Fastigiata' Pyramidal English Oak	B & B	2"	Cal
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	PIC COL	7	Picea pungens 'Colorado Green' Blue Spruce	B & B	6"	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	AI	34	Aronia melanocarpa 'UCCONNAMI65'™ Low Scape Mound Black Chokeberry	5 gal		
	BM	17	Buxus microphylla japonica 'Winter Gem' Winter Gem Boxwood	5 gal		
	Ad	24	Cornus sericea 'Allegan's Compact' Dwarf Red Twig Dogwood	5 gal		
	EV	12	Ephedra viridis Mormon Tea	5 gal		
	Iv	2	Itea virginica 'Henry's Garnet' Henry's Garnet Sweetpire	5 gal		
	Jb	24	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 gal		
	SR	16	Juniperus virginiana 'Skyrocket' Skyrocket Juniper	5 gal		
	Po	9	Physocarpus opulifolius 'Diablo' Diablo Ninebark	5 gal		
	Cp	33	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	5 gal		
	Ol	18	Prunus laurocerasus 'Otto Luyken' Laykens Laurel	5 gal		
	Rf	8	Rhamnus frangula 'Colummatis' Tall Hedge Buckthorn	5 gal		
	Rc	6	Ribes alpinum Alpine Currant	5 gal		
	R3	25	Rosa x 'Radio' Double Knock Out® Red Rose	5 gal		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	CA	18	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal		

SITE MATERIALS LEGEND		
SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
	1-01 SODDED LAWN AREA	6,482 sf
	1-02 1" WASATCH GRAY COBBLE: 3" DEPTH OF ROCK. PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,587 sf
	1-03 1"-1.5" SOUTH TOWN GRAVEL COBBLE: 3" DEPTH OF ROCK. PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,984 sf
SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
	1-04 BOULDERS - DECORATIVE	35

3/27/2025

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NO.	REVISION	DATE
1	CITY COMMENTS	03-27-2025
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BLUE STAKES OF UTAH
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1-800-662-4111
www.bluestakes.org

0' 10' 20' 40' 80'

GRAPHIC SCALE: 1" = 20'

AMERICAN FORK OFFICE

452 E. & AUTO MALL DR.

AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

Property Owner:

AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

Architect / Engineer:

CIR CIVIL ENGINEERING
3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
801-949-6296

LANDSCAPE ARCHITECT / PLANNER

PKJ
DESIGN GROUP
Landscape Architecture • Planning & Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

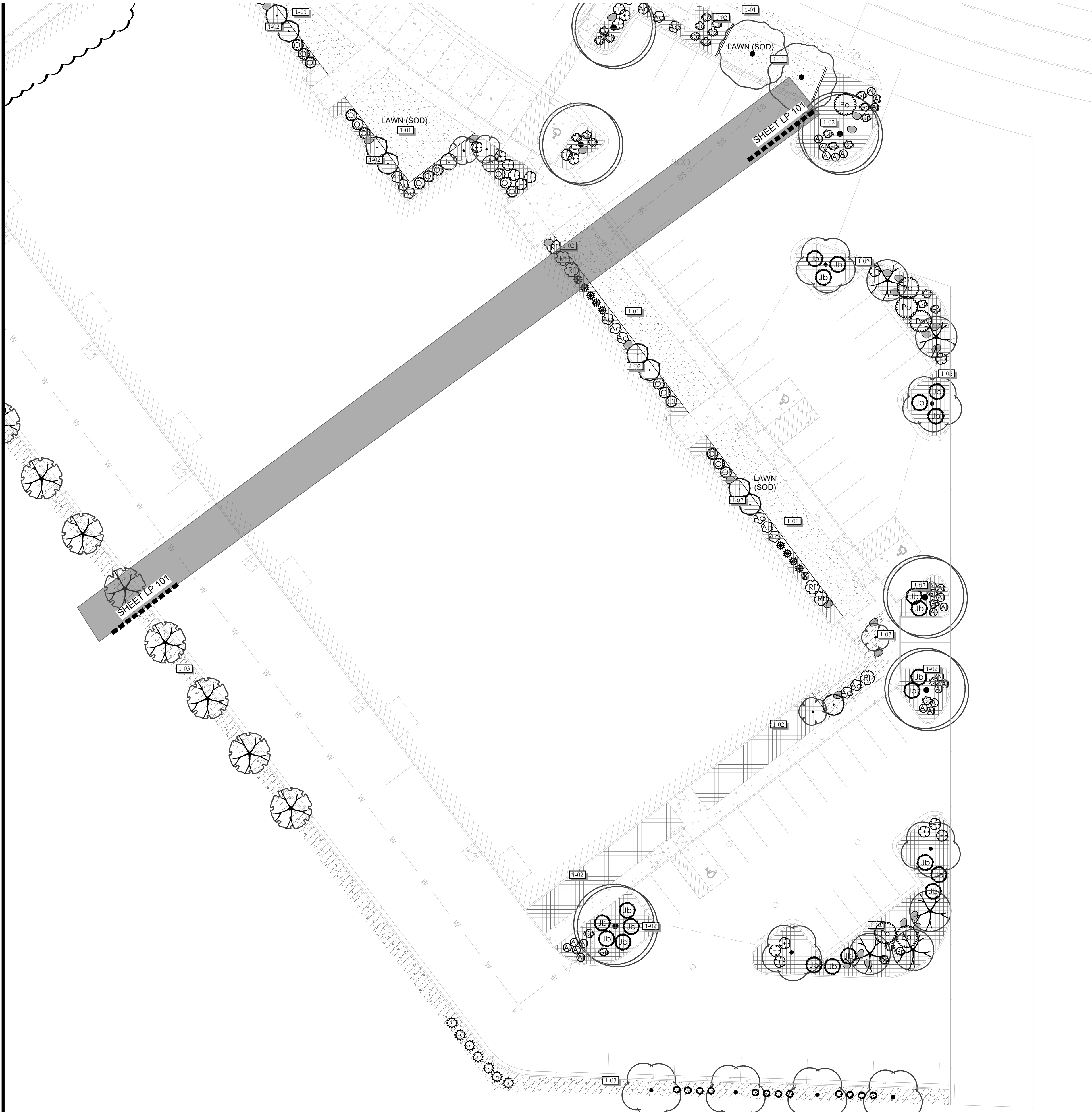
LICENSE STAMP

DRAWING INFO

PM: JTA
DRAWN: KBA
CHECKED: JMA
PLOT DATE: 3/27/2025

LANDSCAPE PLAN

LP-101



PLANT LEGEND

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	ACE PLA	10	Acer platanoides 'Fairview' Fairview Maple	B & B	2"	Cal
	FAG SYL	10	Fagus sylvatica 'Dowick Purple' European Beech	B & B	2"	Cal
	PRU CER	5	Prunus cerasifera 'Crimson Pointe' 'Crimson Pointe' Flowering Plum	B & B	2"	Cal
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DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
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	SR	16	Juniperus virginiana 'Skyrocket' Skyrocket Juniper	5 gal		
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	Gp	33	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	5 gal		
	Ol	18	Prunus laurocerasus 'Otto Luyken' Laykens Laurel	5 gal		
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	Rc	6	Ribes alpinum Alpine Currant	5 gal		
	R3	25	Rosa x 'Radio' Double Knock Out® Red Rose	5 gal		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	CA	18	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal		

SITE MATERIALS LEGEND

SYMBOL	LANDSCAPE DESCRIPTION	QTY
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	L-02 1" WASATCH GRAY COBBLE: 3" DEPTH OF ROCK. PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	10,587 sf
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	L-04 BOULDERS - DECORATIVE	35

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0'

10'

20'

40'

80'

GRAPHIC SCALE: 1" = 20'

AMERICAN FORK OFFICE

452 E. & AUTO MALL DR.

AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

Property Owner:

AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

Architect / Engineer:

CIR CIVIL ENGINEERING
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LANDSCAPE ARCHITECT / PLANNER

3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

LICENSE STAMP

LANDSCAPE PLAN

DRAWING INFO

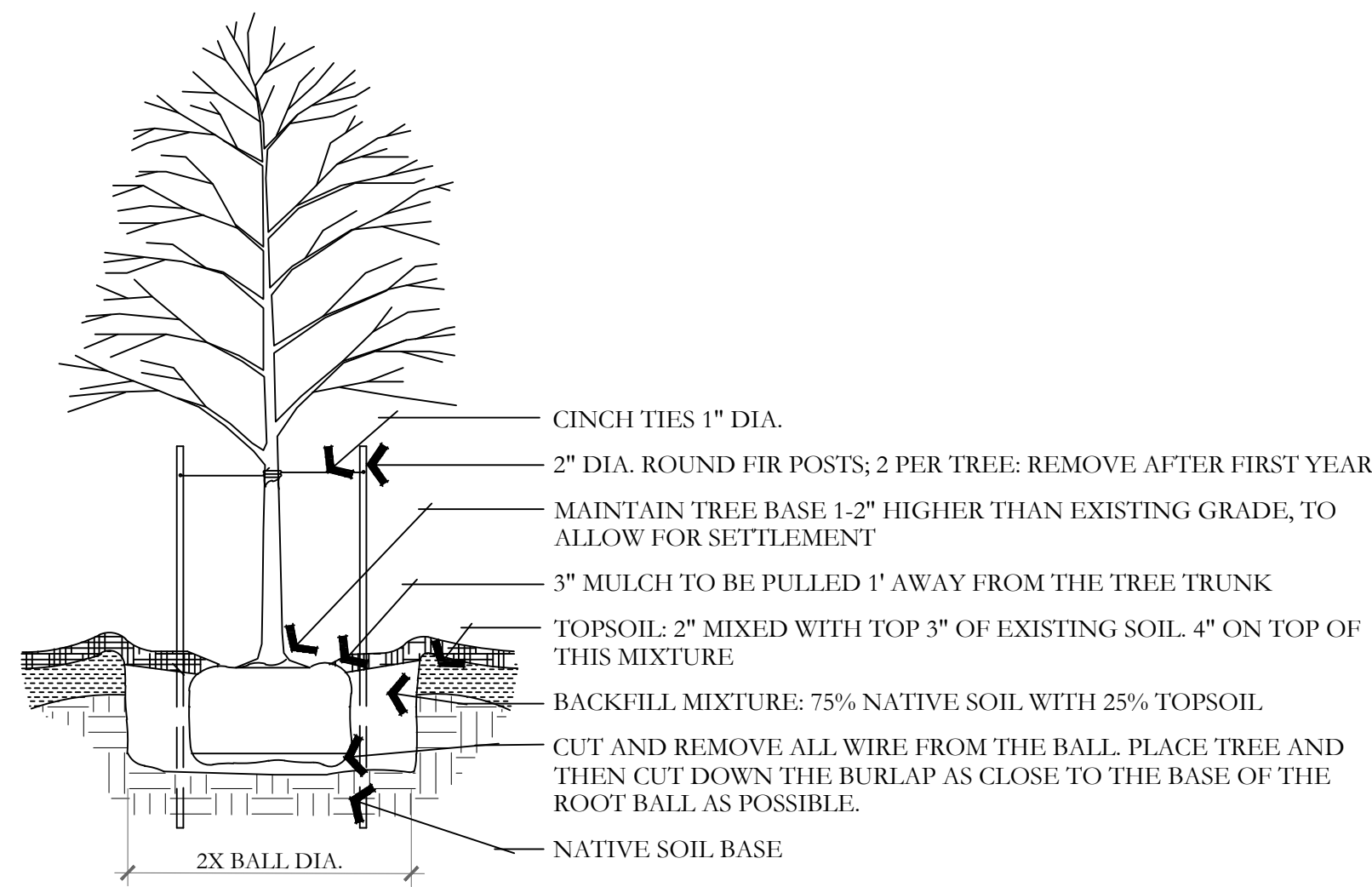
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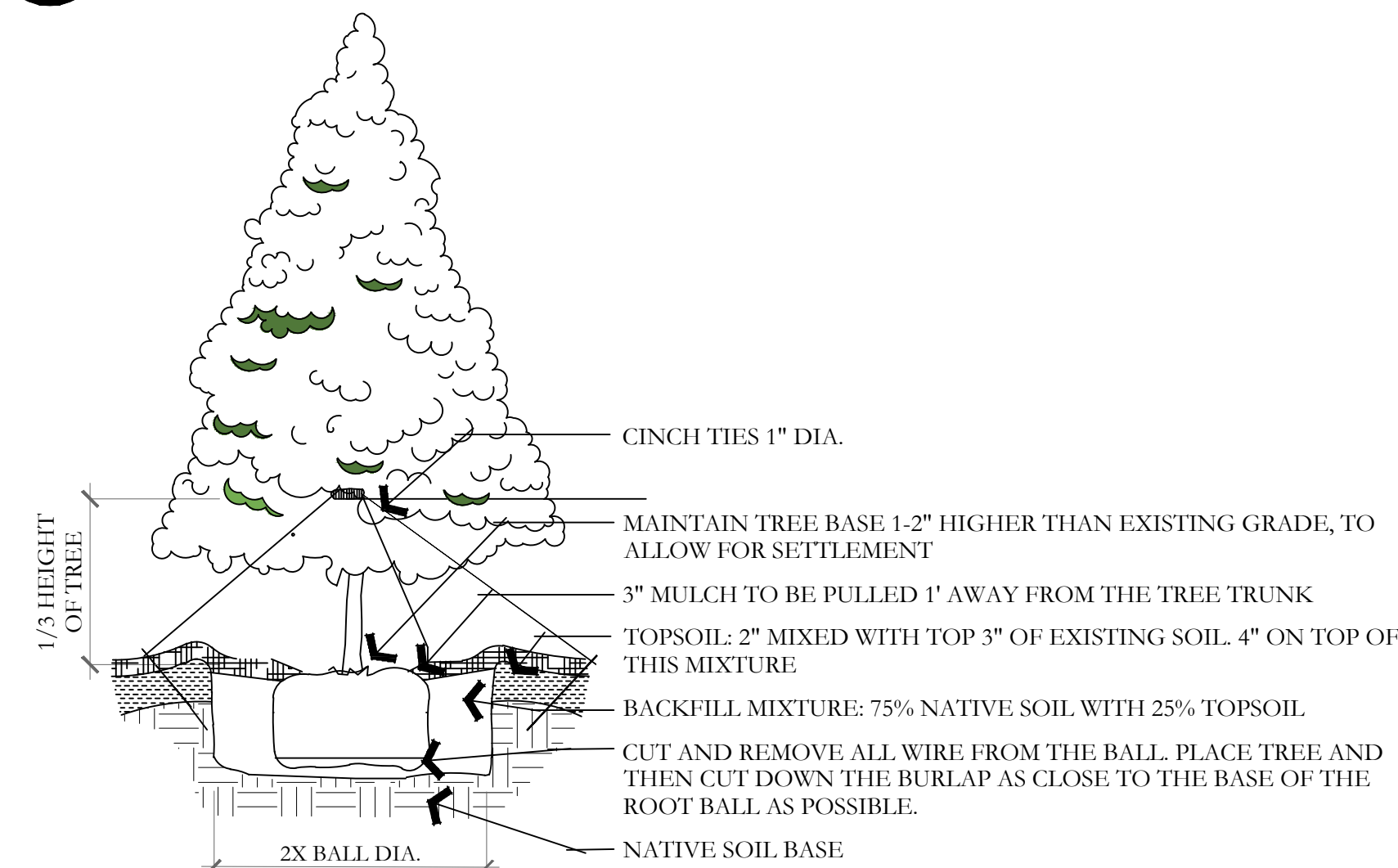
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PLOT DATE: 3/27/2025

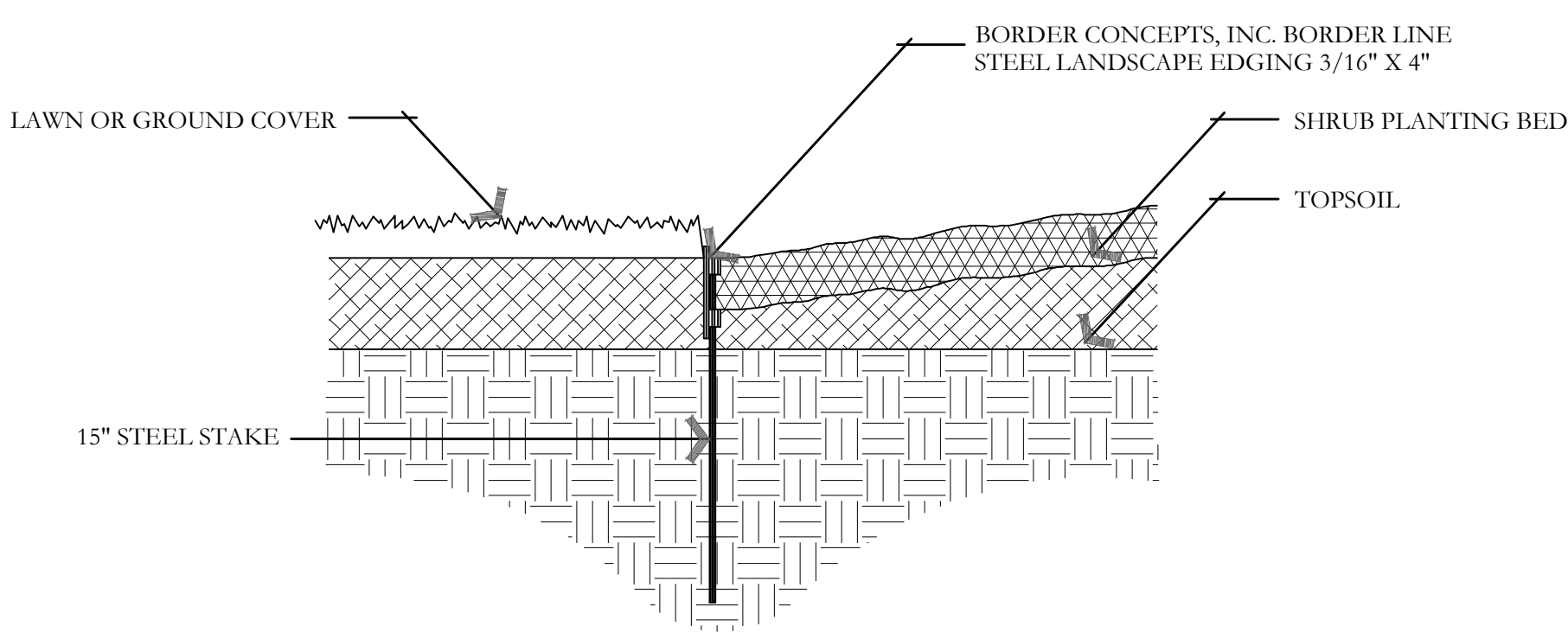
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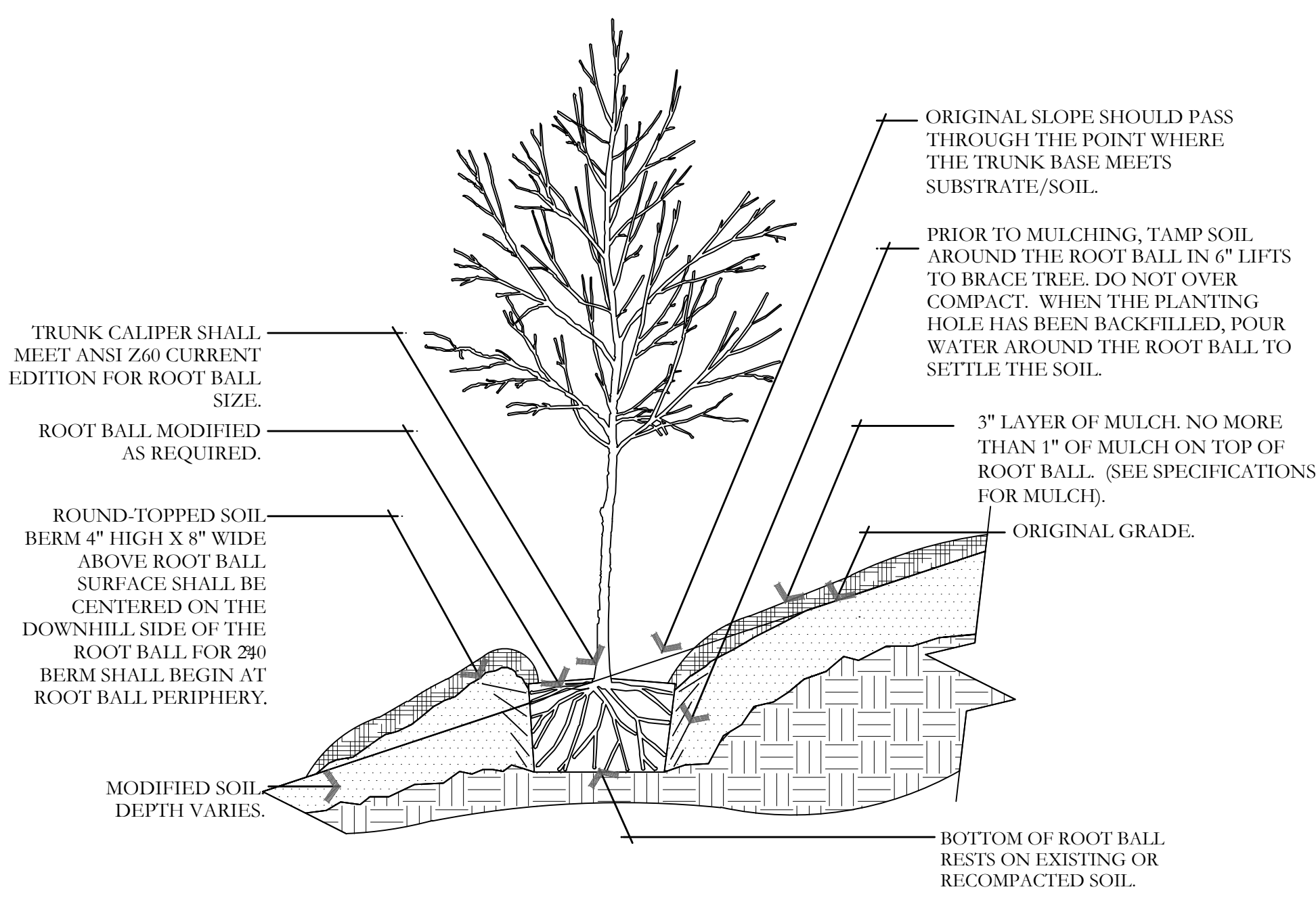
A DECIDUOUS TREE PLANTING
NOT TO SCALE



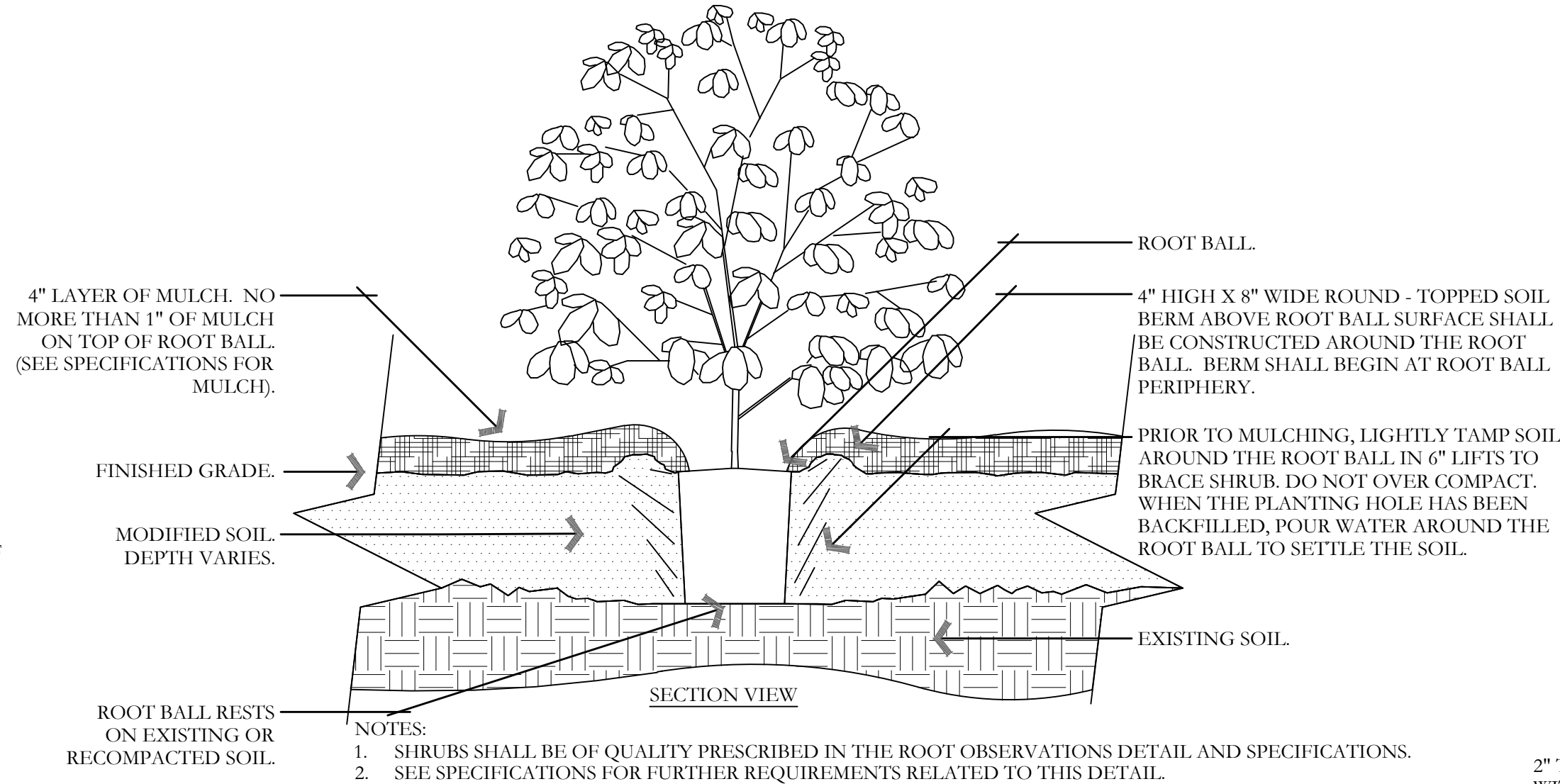
D EVERGREEN TREE PLANTING
NOT TO SCALE



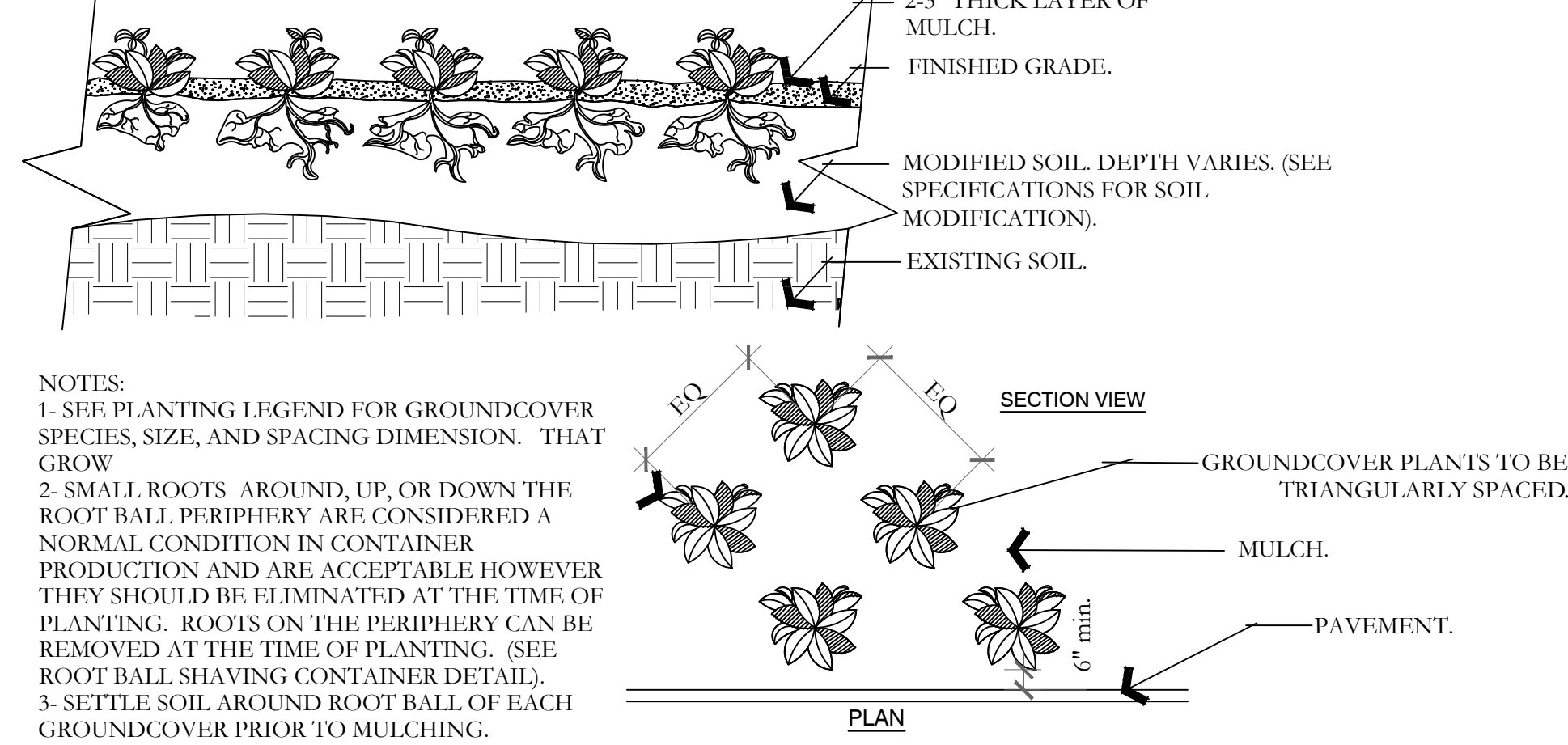
G METAL EDGING DETAIL
NOT TO SCALE



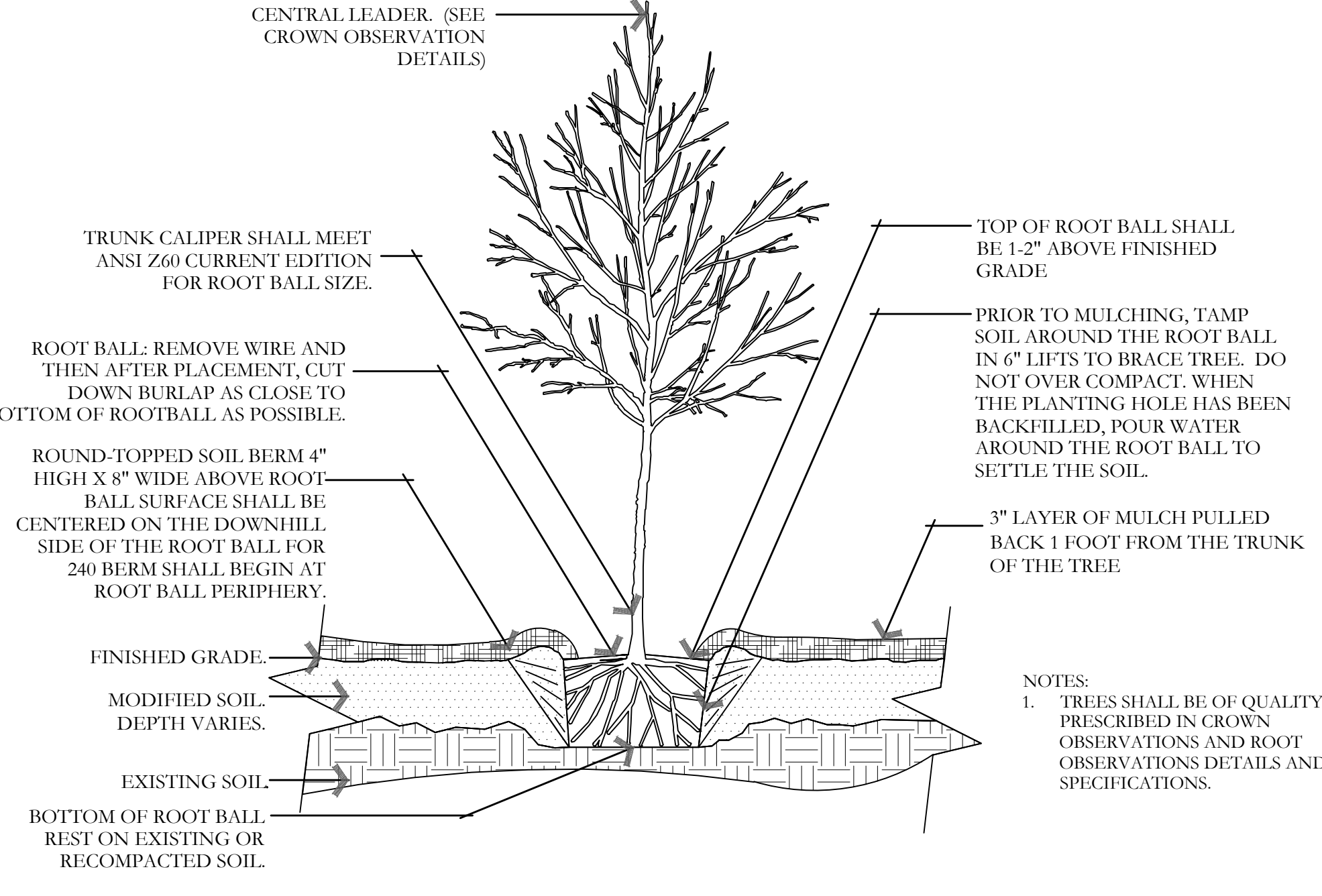
B TREE ON SLOPE 5% (20:1) TO 50% (2:1)
NOT TO SCALE



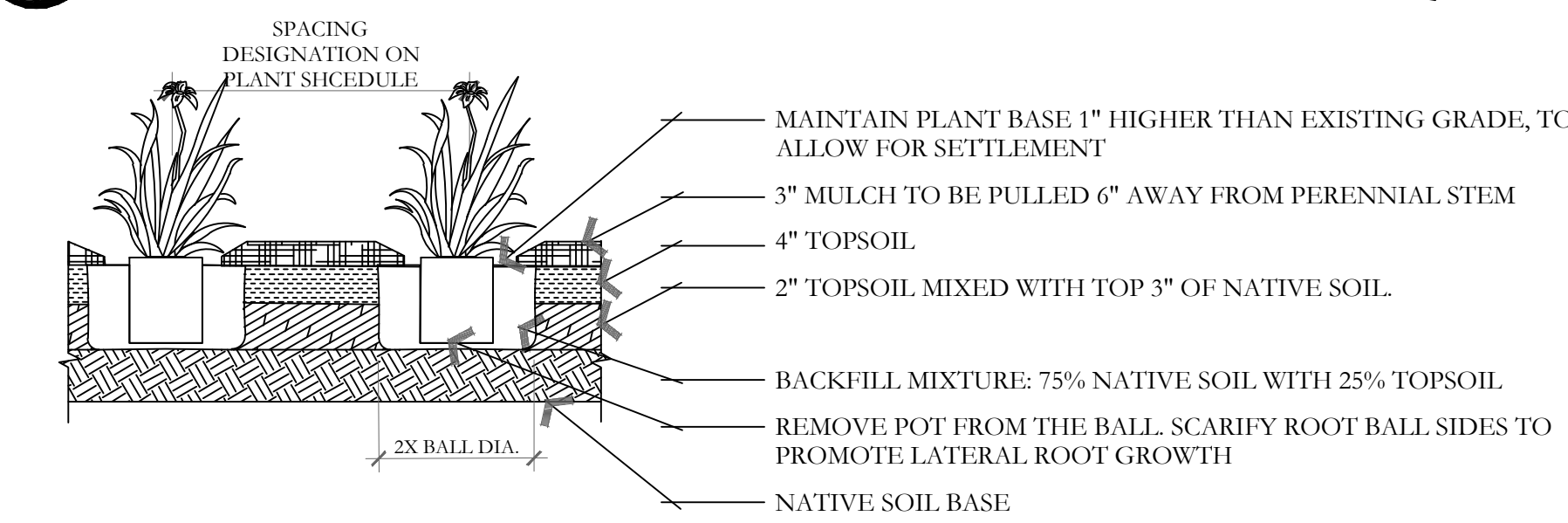
E SHRUB - MODIFIED SOIL
NOT TO SCALE



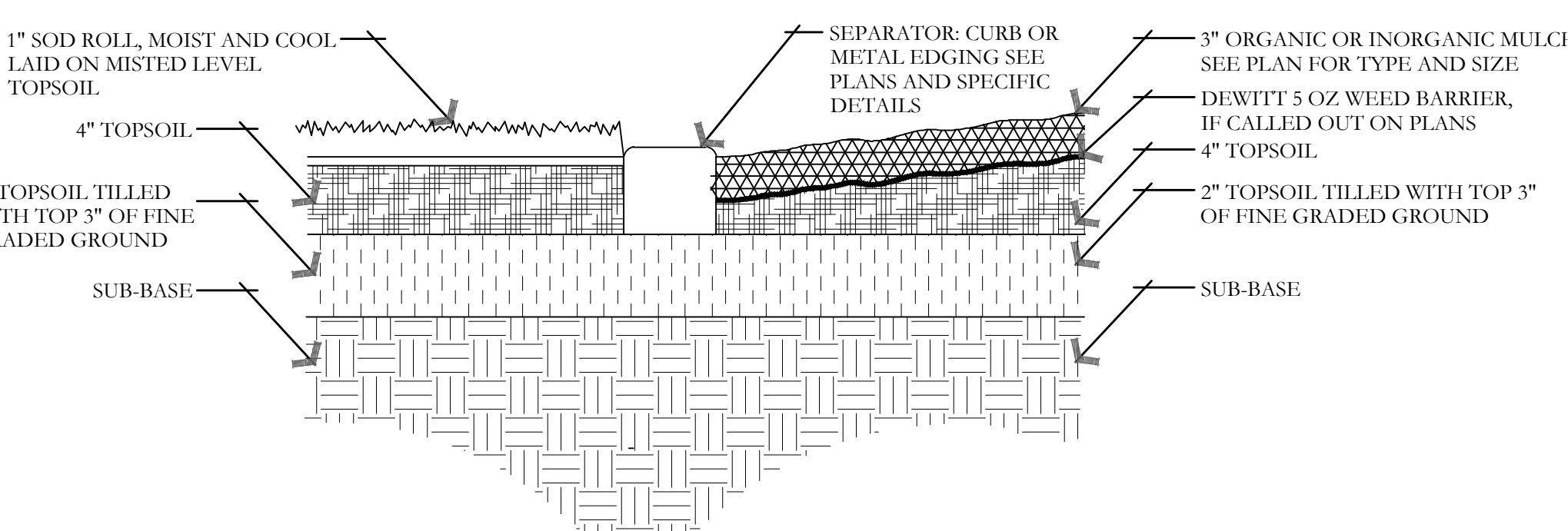
H PERENNIAL/GROUNDCOVER PLANTING
NOT TO SCALE



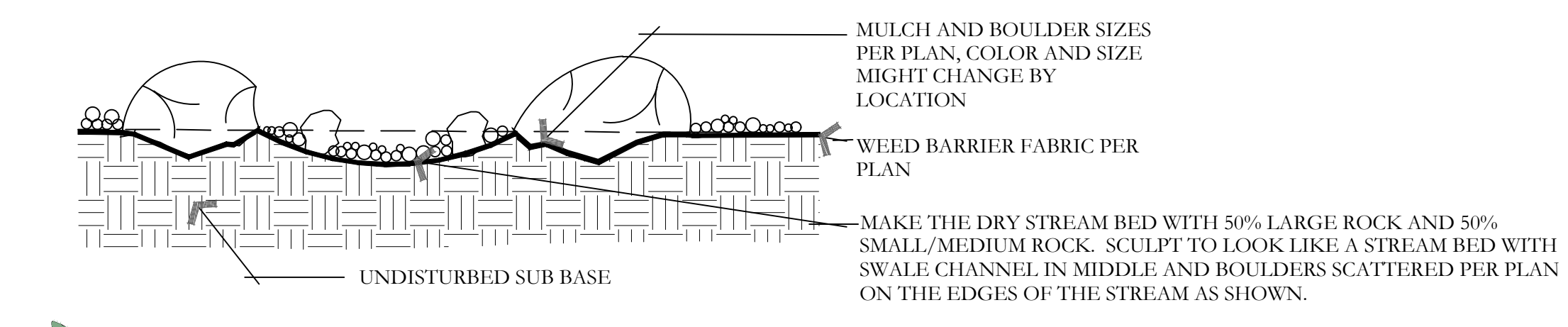
C TREE W/ BERM (EXISTING SOIL MODIFIED)
NOT TO SCALE



F PERENNIAL PLANTING
NOT TO SCALE

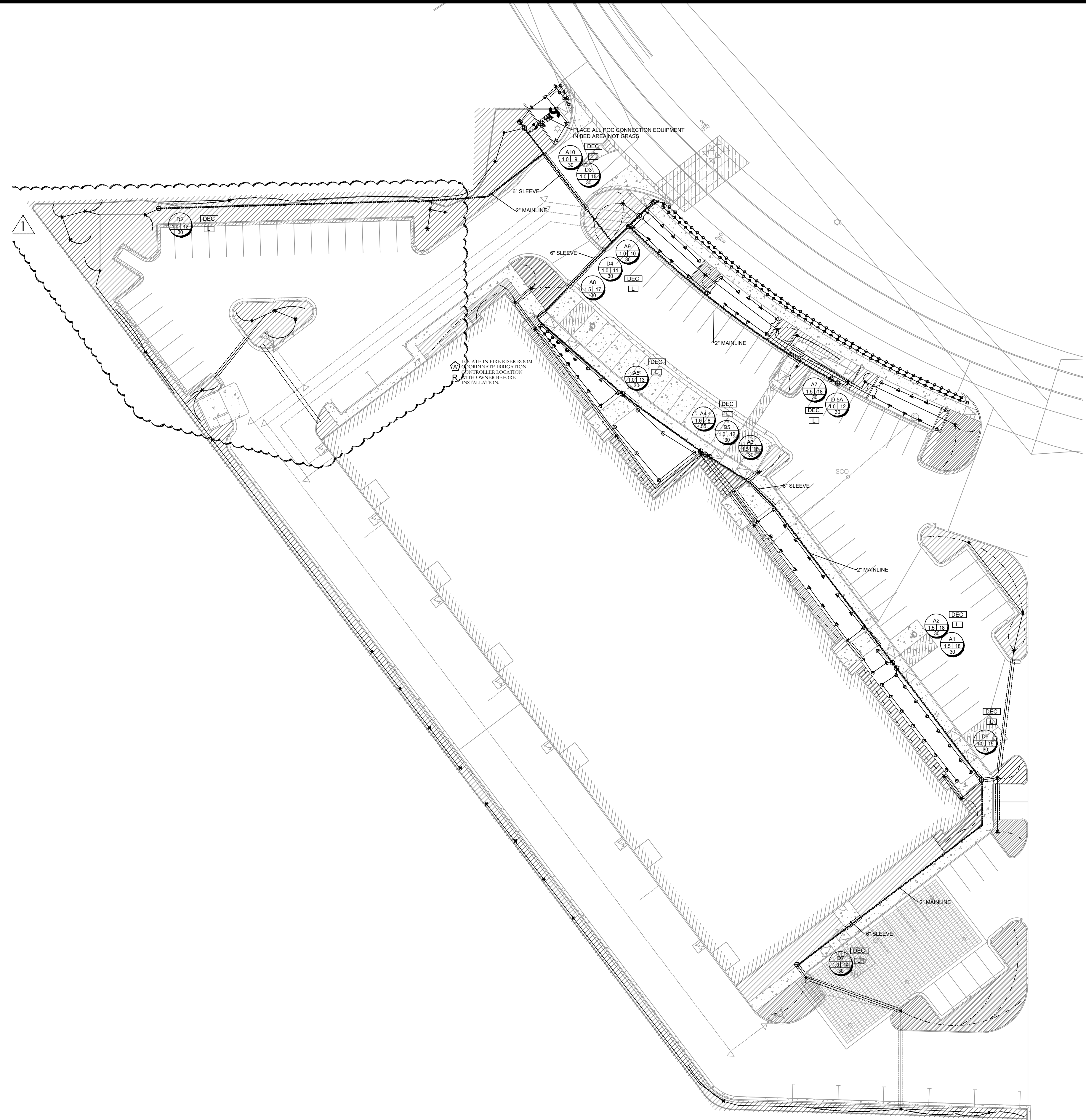


I SOD LAYING/MULCH DETAIL
NOT TO SCALE



J BOULDER AND DRY STREAM BED DETAIL
NOT TO SCALE

ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP			DRAWING INFO																				
3/27/2025			UT21037			<div><div><div>1</div></div><div><div>811</div><div>BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org</div></div></div>			<div><div><div>1</div></div><div><div>AMERICAN FORK OFFICE</div><div>452 E. & AUTO MALL DR.</div><div>AMERICAN FORK, UTAH</div></div></div>			<div>Property Owner:</div> <div>AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455</div>			<div>Landscape Architect / Planner</div> <div><div><div><div></div></div><div>PKJ</div></div><div>DESIGN GROUP</div><div>Landscape Architecture / Planning & Visualization</div><div>3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</div></div>			<div><div><div>PROFESSIONAL LANDSCAPE ARCHITECT JASON M. KERR 03/27/2025 STATE OF UTAH</div></div><div>LANDSCAPE DETAILS</div></div>			<div>PM: JTA</div> <div>DRAWN: KBA</div> <div>CHECKED: JMA</div> <div>PLOT DATE: 3/27/2025</div>																				
<table><thead><tr><th>NO.</th><th>REVISION</th><th>DATE</th></tr></thead><tbody><tr><td>1</td><td>CITY COMMENTS</td><td>03-27-2025</td></tr><tr><td>2</td><td></td><td></td></tr><tr><td>3</td><td></td><td></td></tr><tr><td>4</td><td></td><td></td></tr><tr><td>5</td><td></td><td></td></tr><tr><td>6</td><td></td><td></td></tr><tr><td>7</td><td></td><td></td></tr></tbody></table>			NO.	REVISION	DATE	1	CITY COMMENTS	03-27-2025	2			3			4			5			6			7																	
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AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

ISSUE DATE		PROJECT NUMBER		PLAN INFORMATION	
3/27/2025		UT21037		1	
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811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
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0' 15' 30' 60' 120'

GRAPHIC SCALE: 1" = 30'

N

DEVELOPER / PROPERTY OWNER / CLIENT
Property Owner:
AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

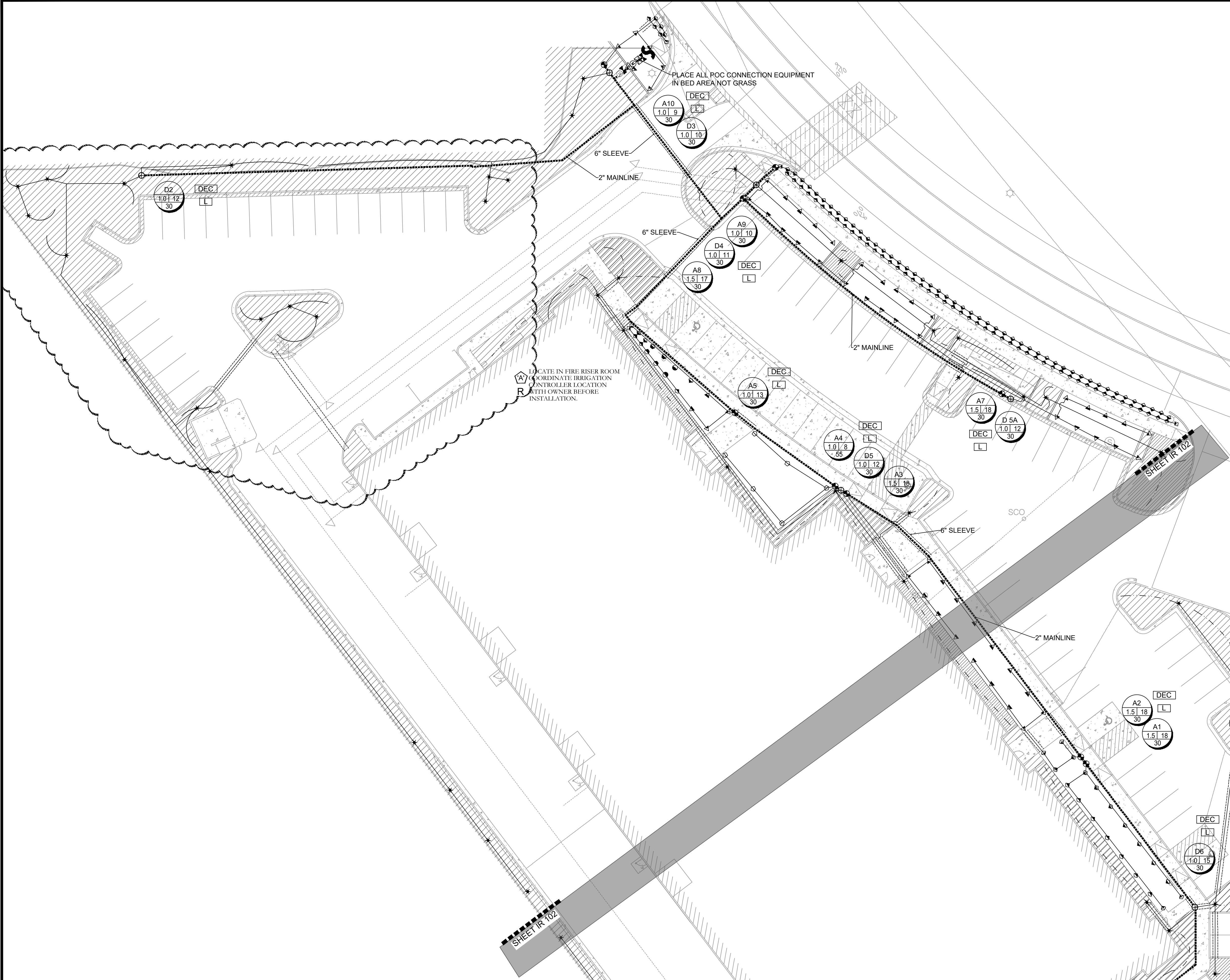
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LICENSE STAMP
LANDSCAPE ARCHITECT
JAMES A. JONES
8/28/17-5/31/25
3/27/2025
STATE OF UTAH

DRAWING INFO
PM: JTA
DRAWN: AP
CHECKED: KA
PLOT DATE: 3/27/2025

PROJECT OVERVIEW PLAN
IR-OVERVIEW



IRRIGATION LEGEND

SYMBOL	MANUFACTURER-MODEL NUMBER
	RAINBIRD RD04-S-PRS POP UP SPRAY 5 SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 8 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 10 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 12 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 U-SERIES @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 SST @ 30 PSI
	RAINBIRD RD04-S-PRS POP UP SPRAY 15 EST @ 30 PSI
	RAINBIRD 5000 SERIES MPR NOZZLES @ 55 PSI
	RAINBIRD 8005 SERIES Q#8-6.6 GPM, I#14-12.6 GPM, F#26-24.3 GPM NOZZLES @ 55 PSI
	POINT OF CONNECTION (SECONDARY WATER) SEE PLAN FOR SIZE
	CONTROLLER:RAINBIRD ESP-1X1VM WITH 1LMR REMOTE KIT. PLACE IN FIRE RISER ROOM. CONTRACTOR TO ADJUST LOCATION WITH OWNER PRIOR TO CONSTRUCTION.
	RAINBIRD WR2-RC WIRELESS RAIN SHUT OFF DEVICE
	ISOLATION BALL VALVE - LINE SIZED INSTALL PER MANUFACTURER'S SPEC.
	MASTER VALVE
	FLOW SENSOR
	QUICK COUPLER: RAINBIRD 44LCR INSTALL PER MANUFACTURER'S SPEC.
	VALVE DECODER (AT ALL VALVE GROUPINGS) INSTALL PER MANUFACTURER'S SPEC. LIGHTNING ARRESTER (AT ALL VALVE GROUPINGS) INSTALL PER MANUFACTURER'S SPEC.
	REMOTE CONTROL VALVE: RAINBIRD 1VMSOL AUTOMATIC CONTROL VALVE (SIZE AS NOTED ON PLAN). USE JUMBO BOX PUSH LID. PLACE YELLOW TAGS ON ALL VALVES AND LABEL
	D RIP CONTROL ZONE KIT: RAINBIRD SCZ-(PER PLAN)-PRBR-COM MED FLOW (SIZE AS NOTED ON PLAN)
	MAINLINE: SCHEDULE 40 PVC WITH SCHEDULE 80 FITTINGS, 2\"/>
	LATERAL LINE: SCHEDULE 40 PVC WITH SCH. 40 FITTINGS. SEE PIPE SIZING CHART
	D RIP CONNECTION: PROVIDE D RIP IRRIGATION TO ALL TREES, SHRUBS AND PERENNIALS IN PLANTER AREAS
	D RIP LINE: RAINBIRD XISP-09-18-100 OR EQUIVALENT
	CLASS 200 SLEEVE PER PLAN
	WIRE CHASE, SIZE TO BE TWICE THE DIAMETER OF THE WIRE BUNDLE WITHIN 1.1/4\"/>
	14 GAUGE SOLID COPPER SINGLE STRAND CONTROL WIRE. INSTALL PER MANUFACTURER'S SPEC. PROVIDE 1/2\"/>

DRIP ZONE

TYPE	PART NUMBER	EMITTER FLOW	EMITTER SPACING	ROW SPACING	ROW SPACING
XIS DRIPLINE	XISP-09-18	9 GPH	18"	18"	18-21 IN.
TOTAL DRIP ZONE FLOW		20 GPM	TIME TO APPLY 1/4" OF WATER		23
MAX LATERAL LENGTH OF TUBING		350 FT	REQUIRED NUMBER OF STAKES		500
TOTAL LENGTH OF ZONE DRIPLINE		2,490 FT (varies per plan)	NUMBER OF FLUSH POINTS		2
APPLICATION RATE		64 IN. / HR	SUGGESTED HEADER & FOOTER PIPE SIZE		CLASS 200 1.25"

*NUMBERS MAY CHANGE DUE TO SIZE OF DRIP ZONE PER PLAN

IRRIGATION NOTES

- BEFORE WORK IS TO COMMENCE, BLUE STAKES/DIG LINE IS TO BE CALLED AND NOTIFIED. IF ANY DAMAGE TO UTILITIES HAPPEN DURING CONSTRUCTION, THE CONTRACTOR SHALL REPAIR IT AT THEIR EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS IN ACCORDANCE WITH CITY AND/OR COUNTY CODES AND COMPLY WITH SPECIFICATIONS AND DRAWINGS.
- INVESTIGATE TO MAKE SURE THAT THE IRRIGATION SYSTEM IS, IN FACT, BEING CONNECTED TO A SECONDARY SYSTEM. IF IT IS NOT CONNECTED TO SECONDARY, CONTACT THE OWNER AND LANDSCAPE ARCHITECT TO COORDINATE A CULINARY SYSTEM AND REQUIRED COMPONENTS. A FUNCTIONING AMIAD FILTER IS TO BE USED AT THE POINT OF CONNECTION.
- VERIFY THAT THE POINT OF CONNECTION IS IN THE CORRECT LOCATION BEFORE INSTALLATION. ALL CONNECTIONS ON THIS PROJECT ARE TO SECONDARY WATER AND SHOULD BE NOTED AS SUCH. THEREFORE, ALL PARTS MUST MEET WATER STANDARDS THAT PERTAIN TO SECONDARY WATER. USE PURPLE VALVE BOXES FOR SECONDARY WATER SYSTEMS.
- ON OCCASION AND FOR GRAPHIC PURPOSES ONLY, THE IRRIGATION SYSTEM MIGHT BE SHOWN IN HARDSCAPE AREAS. THIS IRRIGATION IS TO BE PLACED IN LANDSCAPED AREAS ON THE PROPERTY SITE.
- CONTRACTOR SHALL USE ONLY COMMERCIAL GRADE IRRIGATION PRODUCTS. THIS INCLUDES PIPE TO BE SCHEDULE 40 PVC OR BETTER. NO POLY PIPE IS TO BE USED. FITTINGS UP TO 1-1/2" MUST BE SCHEDULE 40 OR BETTER. FITTINGS LARGER THAN 1-1/2" SHALL BE SCHEDULE 80 OR BETTER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION.
- MAIN LINES SHALL BE A MINIMUM OF 24" DEEP AND LATERAL LINES A MINIMUM OF 12" DEEP. NO ROCK GREATER THAN 1/2" DIAMETER SHALL BE ALLOWED IN TRENCHES. TRENCHING BACKFILL MATERIAL SHALL BE COMPACTED TO PROPER FINISHED GRADE.
- NO IRRIGATION MAIN LINE MAY BE LOCATED WITHIN 5 FEET OF ANY STRUCTURE.
- TO AVOID PIPE DAMAGE, ADJUST LOCATION OF PIPE TO NOT BE DIRECTLY UNDER PLANT MATERIALS. VALVE BOXES ARE PREFERRED TO BE IN PLANTER BEDS INSTEAD OF THE LAWN.
- PLAN INDICATES 100% OR BETTER HEAD TO HEAD COVERAGE. SHOULD CONTRACTOR FIND DISCREPANCIES DUE TO NECESSARY FIELD ADJUSTMENTS, CONTACT LANDSCAPE ARCHITECT FOR IRRIGATION CORRECTION.
- DRIP IRRIGATION TO BE INSTALLED PER DETAILS. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS. TUBING SHOULD REST TOWARD OUTER EDGE OF ROOTBALL AND NOT AGAINST TRUNK OF PLANT.
- A QUICK COUPLER SHALL BE INSTALLED AT POINT OF CONNECTION TO ALLOW BLOW OUT OF SYSTEM BY AIR COMPRESSOR AT END OF EACH SEASON.
- INSTALL SLEEVES FOR ALL PIPES AND WIRE CONDUIT THAT ARE PLACED UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE BEING PLACED INTERNALLY. WIRE CONDUIT SHALL BE INSTALLED IN CLASS 200 PIPE AT ANY DIRECTIONAL CHANGE THAT OCCURS, A JUNCTION BOX IS TO BE PLACED.
- CONDUITS CAN NOT BE SHARED BY WATER AND ELECTRICAL LINES. ALL WIRE TO BE PUT IN PVC CONDUIT. ALL WIRE CONNECTIONS TO BE PLACED IN A VALVE BOX. ALL WIRE CONNECTIONS TO USE WATERPROOF WIRE CONNECTORS WITH AT LEAST 3" OF EXTRA WIRE. PROVIDE PLENTY OF EXTRA WIRE AT EVERY DIRECTIONAL CHANGE. INSULATED 14 GAUGE COPPER TO BE USED FOR ALL CONTROL WIRES AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO INSTALL LIGHTNING ARRESTOR AND GROUNDING RODS ON SITE PER MANUFACTURER'S RECOMMENDATIONS, SEE DETAILS.
- CONTRACTOR TO SEPARATE SYSTEM (CONTROLLER, VALVES, AND DIFFERENT COLORED WIRE) FROM CITY MAINTAINED PROPERTY AND HOA/OWNER MAINTAINED PROPERTY.
- DUCT TAPE ALL SLEEVES TO PREVENT SOIL OR OTHER DEBRIS ENTERING PIPE. IDENTIFY ALL SLEEVES BY WOOD OR PVC STAKES AND SPRAY PAINT WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- TO PREVENT EROSION AND LOW POINT DRAINAGE CONTRACTOR SHALL INSTALL CHECK VALVES
- LOCATE SPRAY HEADS NO CLOSER THAN 6" FROM WALLS, FENCES OR BUILDINGS AND 2" AWAY FROM WALKS, PATHS OR CURBS.
- PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING. CONTACT LANDSCAPE ARCHITECT/OWNER AT THIS TIME FOR COMPLIANCE.
- CONTRACTOR TO CONSULT WITH OWNER ON EXACT LOCATION OF CONTROLLER. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR AND OWNER FOR THE POWER SUPPLY. INSTALL ALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL INSTALL A RAIN SENSOR OR WITH THE CONTROLLER. OTHERWISE DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
- LATERAL LINES SHALL BE NO SMALLER THAN 3/4". LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES DO NOT EXCEED THE SUGGESTED GPM LISTED BELOW:

VALVE ID TAG	
VALVE NUMBER	CONTROL NUMBER
VALVE SIZE	VALVE NUMBER
PSI AT LAST HEAD IN ZONE	GALLONS PER MINUTE
NOTE: VALVE ID TAGS ARE LOCATED NEAR VALVES IN THE ORDER THE VALVES APPEAR ON THE DRAWING	

ISSUE DATE

3/27/2025

PROJECT NUMBER

UT21037

PLAN INFORMATION

1

811

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

PROJECT INFORMATION

1

AMERICAN FORK OFFICE
452 E. & AUTO MALL DR.
AMERICAN FORK, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

Property Owner:
AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

Architect / Engineer:

CIR CIVIL ENGINEERING
3032 SOUTH 1030 WEST, SUITE 202
SALT LAKE CITY, UT 84119
801-949-6296

LANDSCAPE ARCHITECT / PLANNER

PKJ

DESIGN GROUP
Landscape Architecture • Planning & Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

LICENSE STAMP

IR-101

IRRIGATION PLAN

DRAWING INFO

PM: JTA
DRAWN: AP
CHECKED: KA
PLOT DATE: 3/27/2025

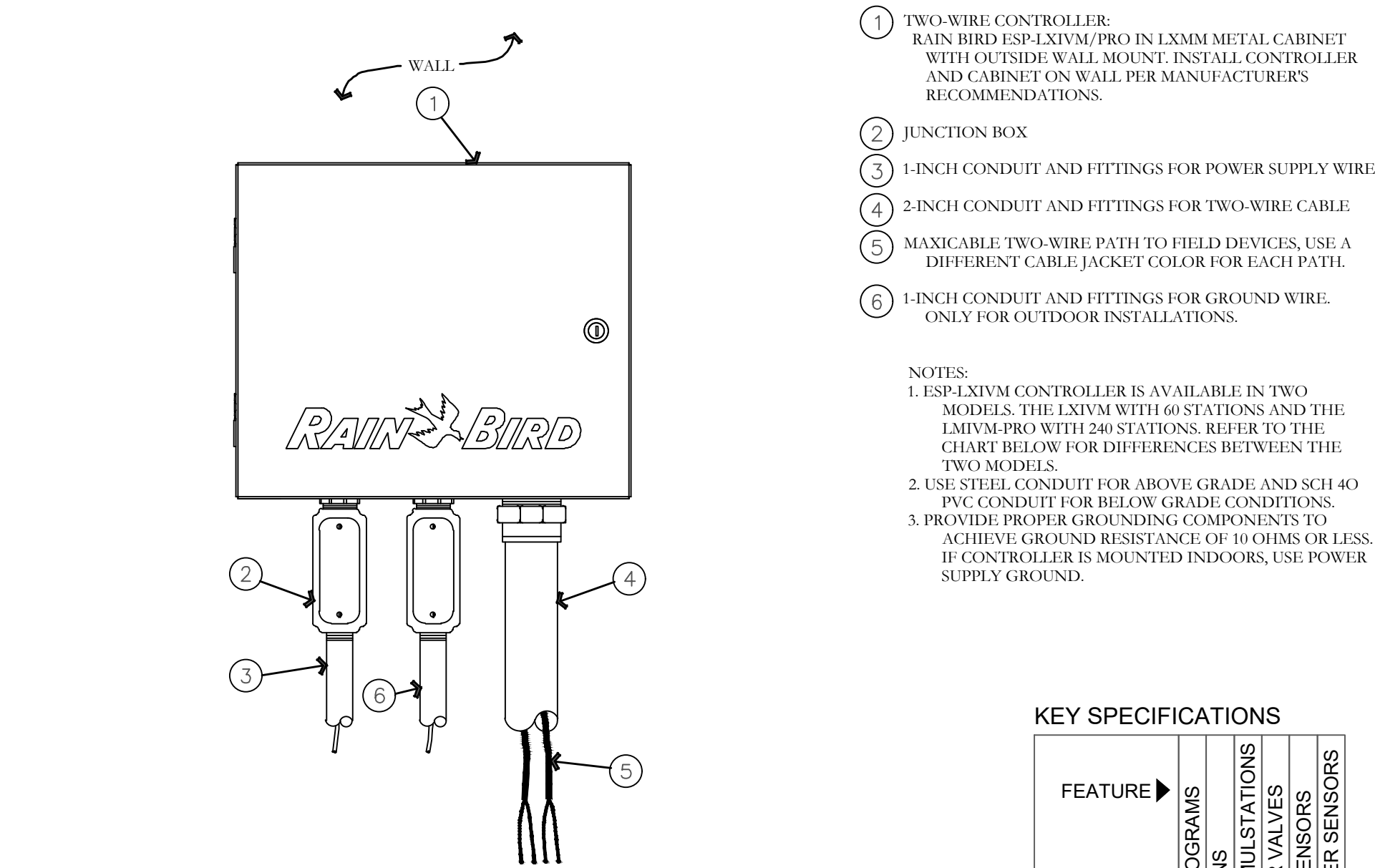


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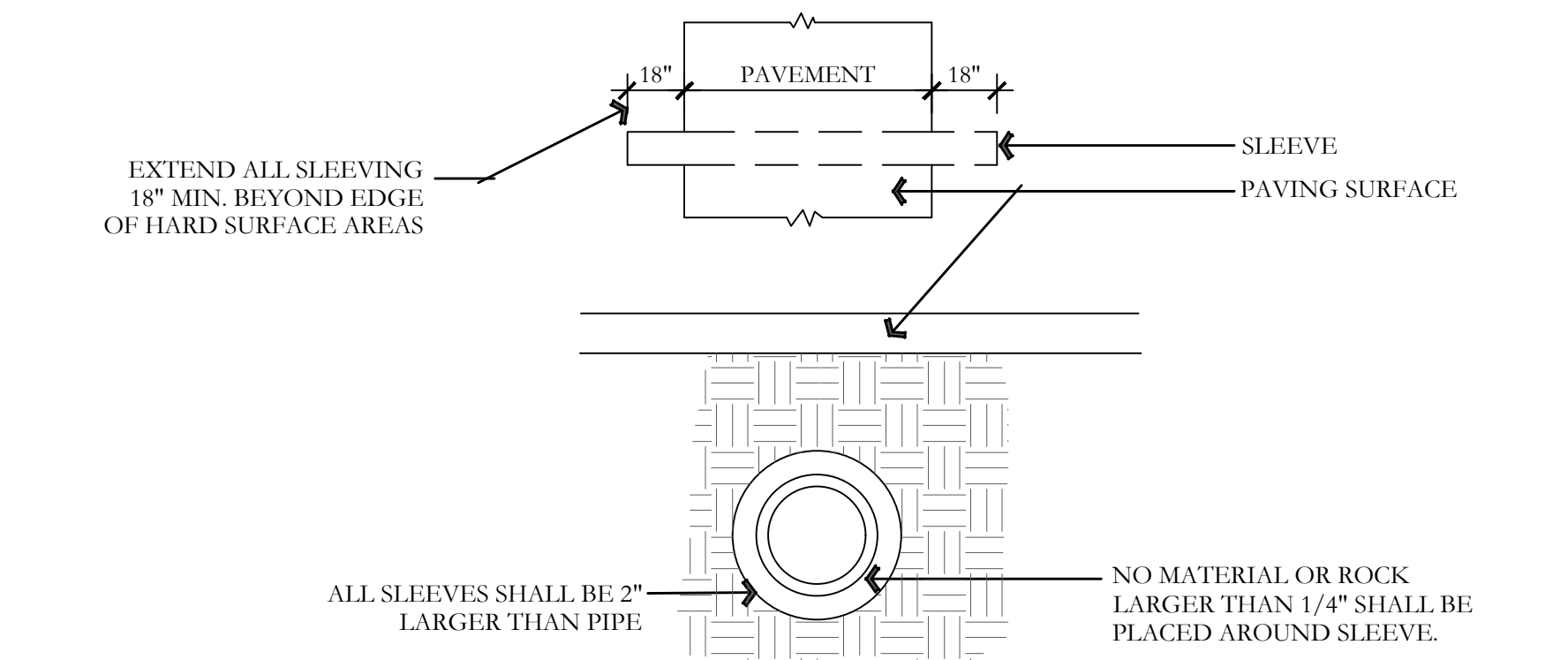
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-
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- CONTROLLER NUMBER, VALVE NUMBER
- VALVE SIZE
- PSI AT LAST HEAD IN ZONE
- GALLONS PER MINUTE
- NOTE:**
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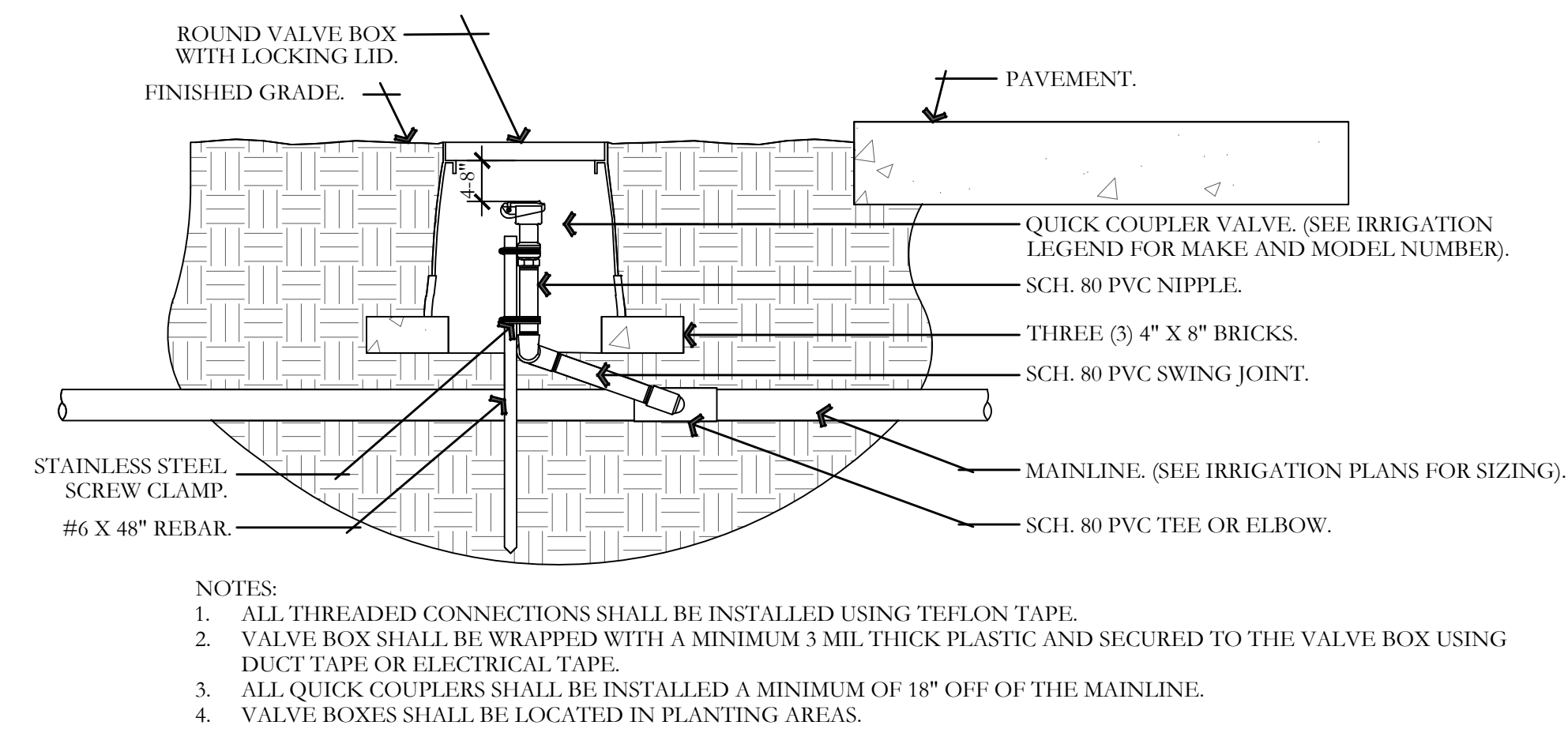
IR-102



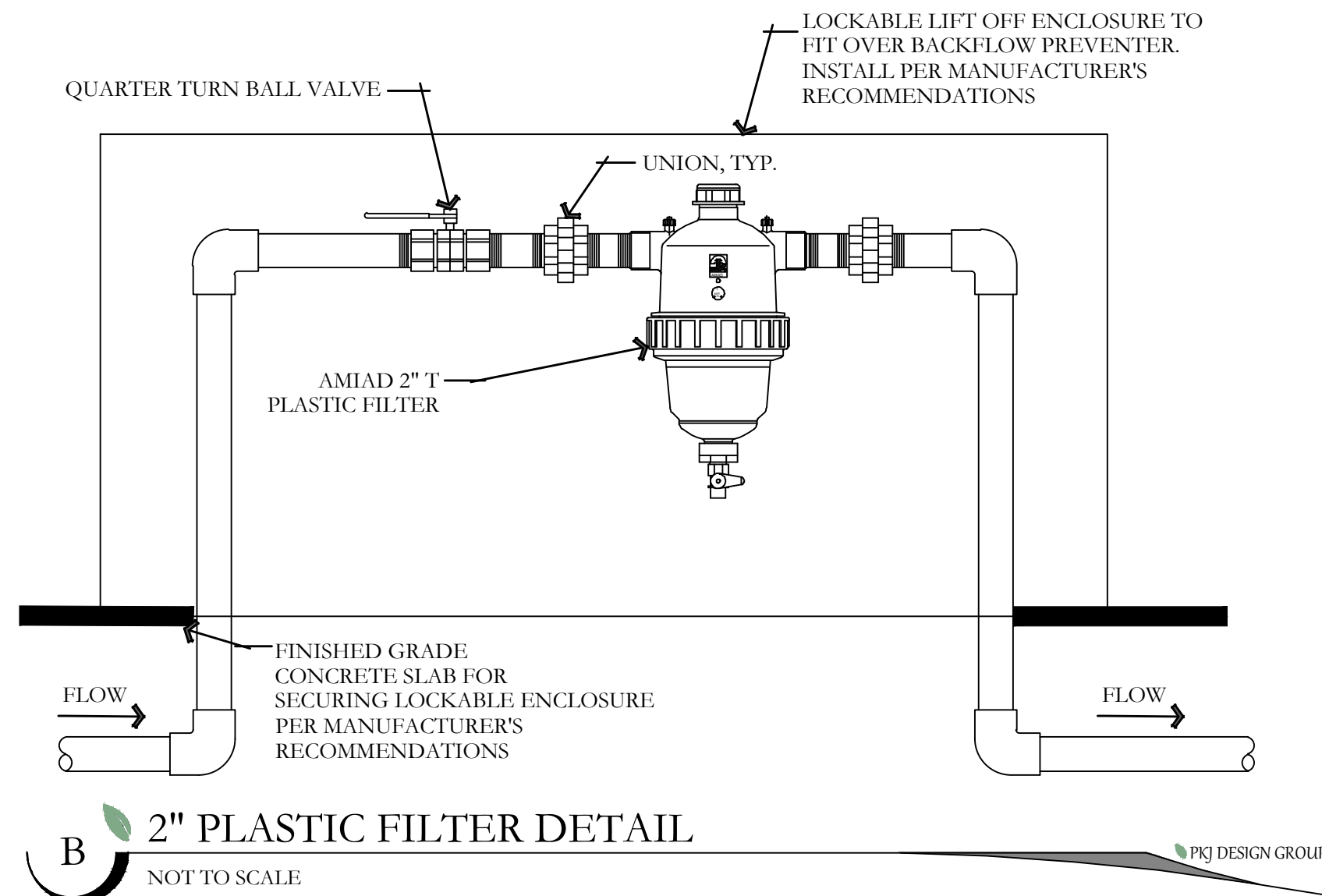
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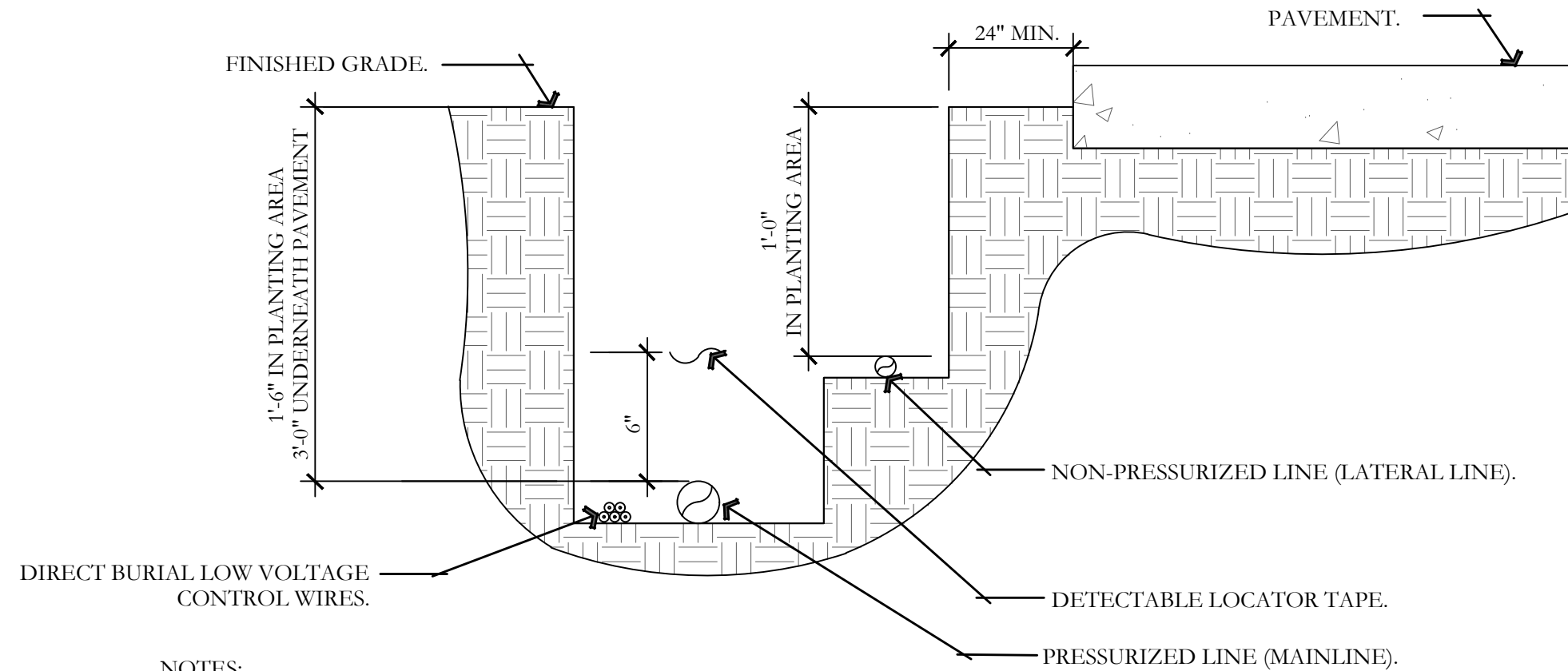
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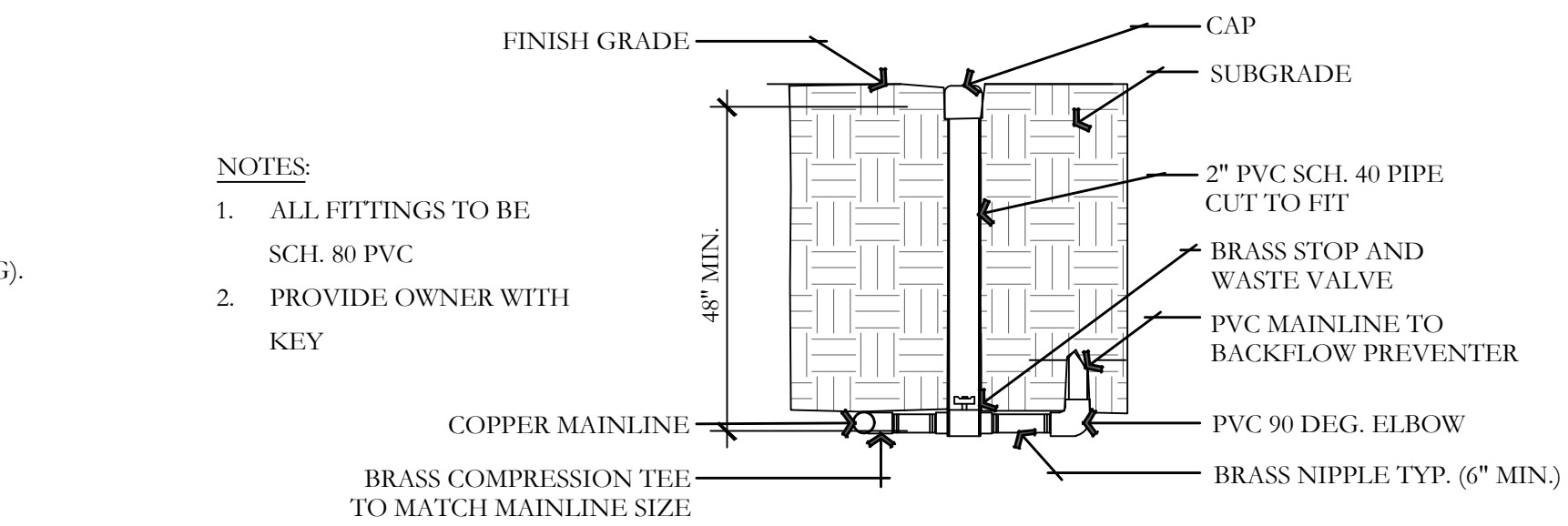
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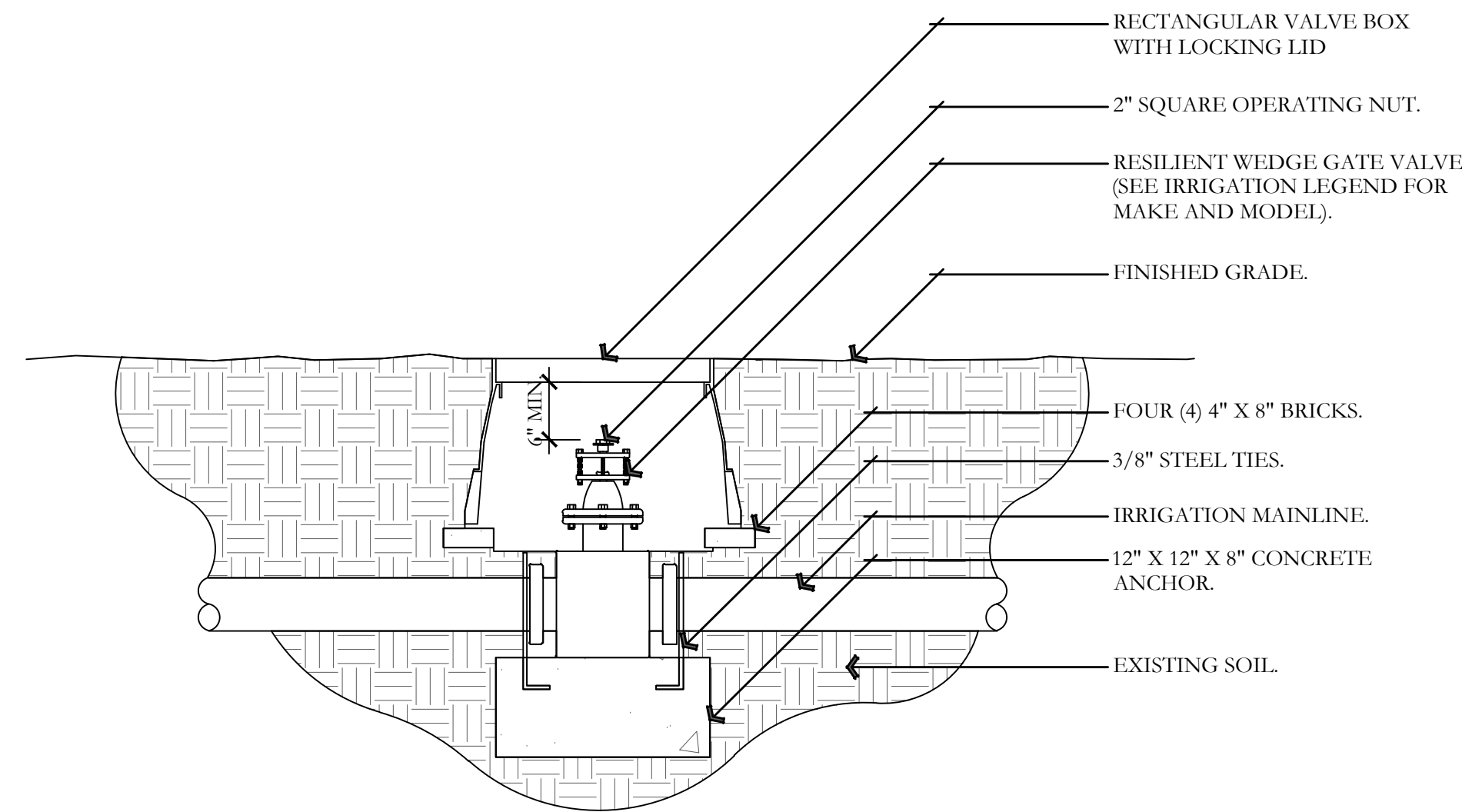
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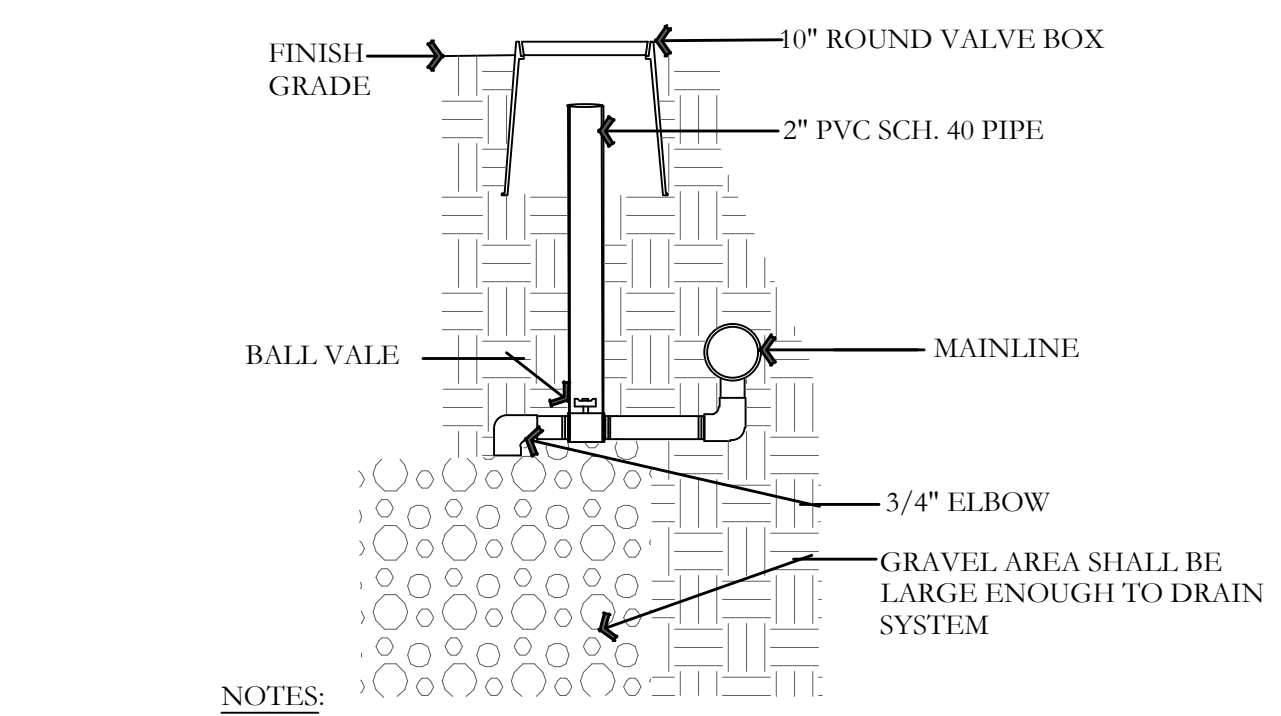
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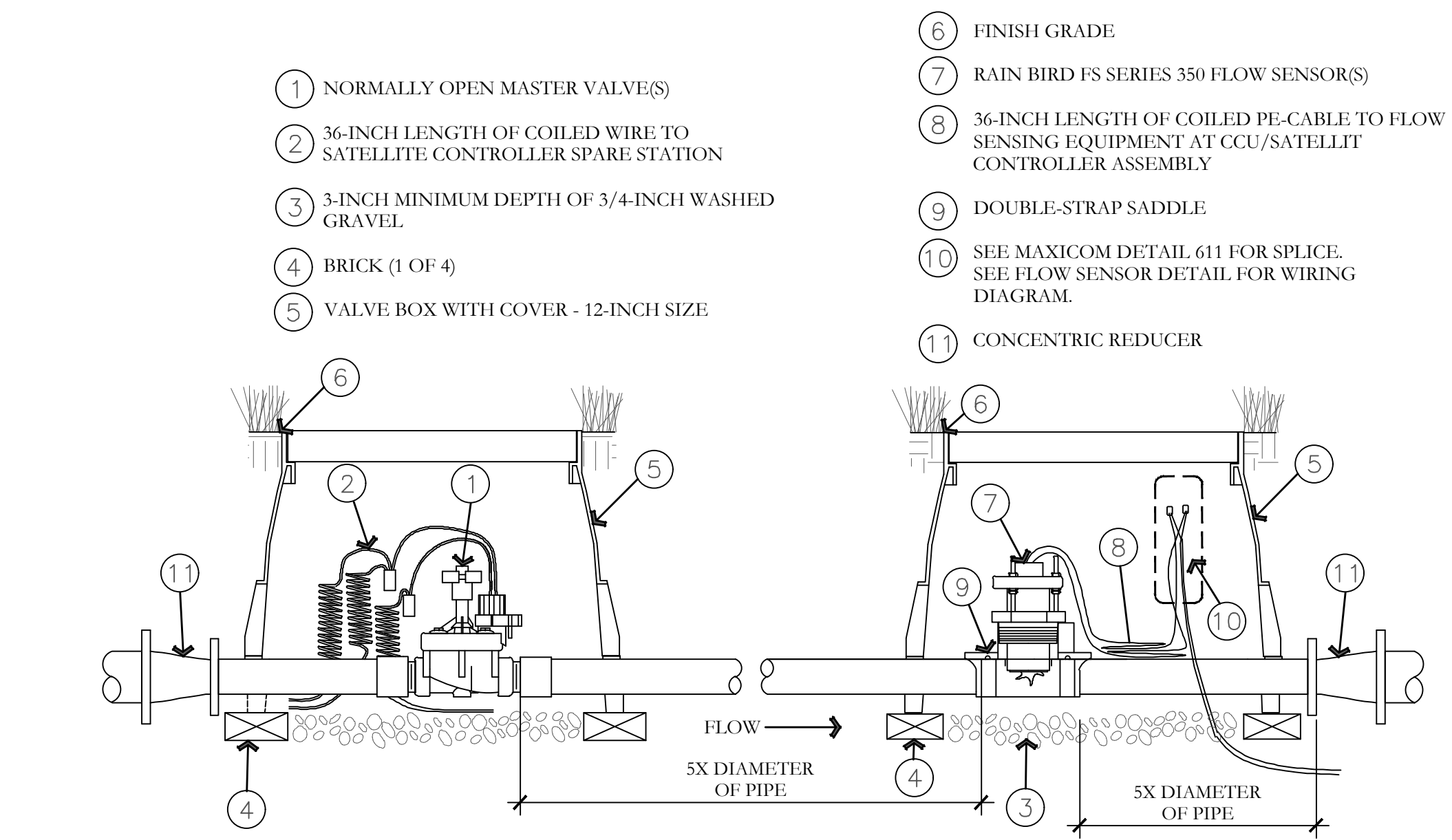
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C GATE VALVE AND ANCHOR DETAIL
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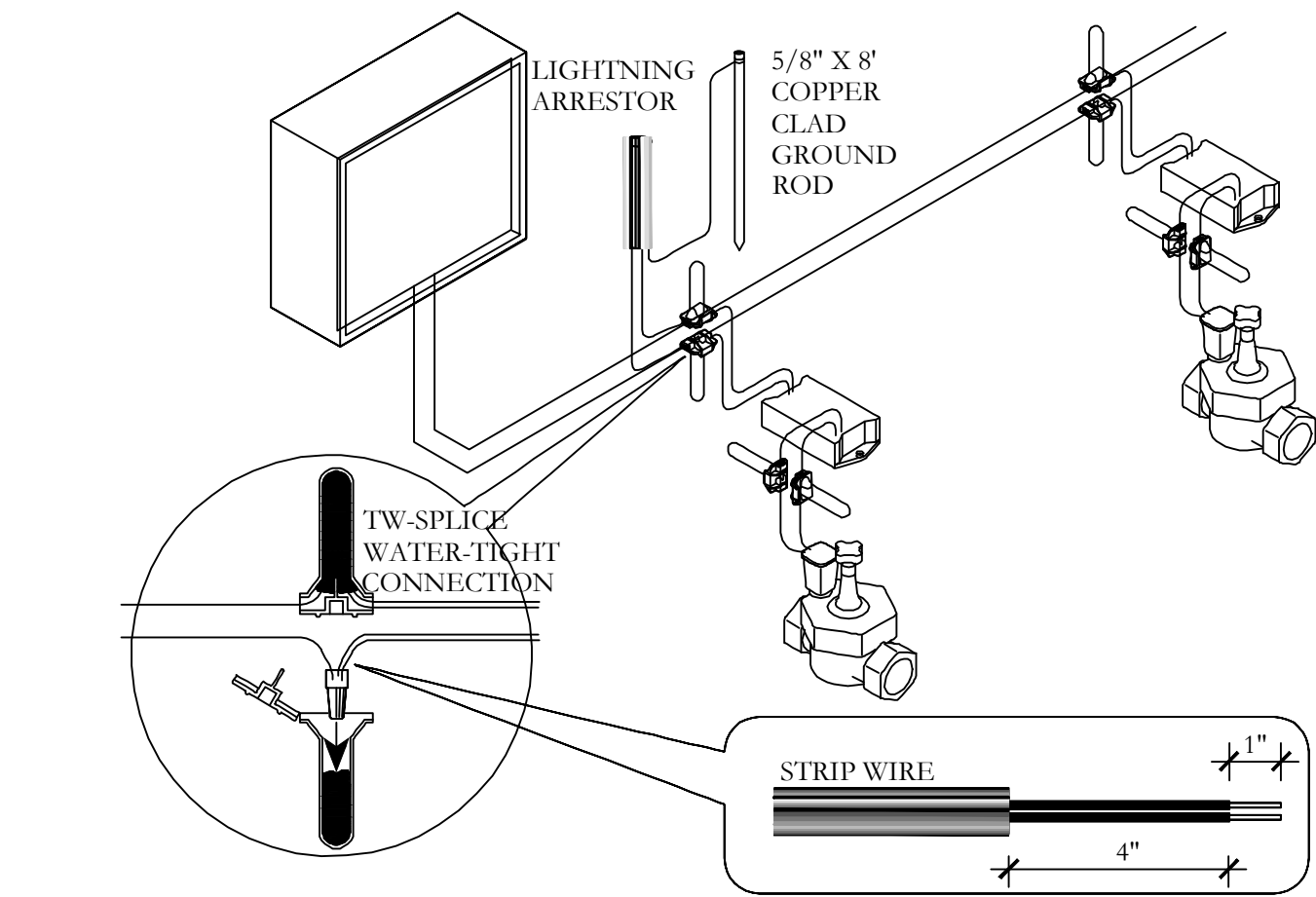


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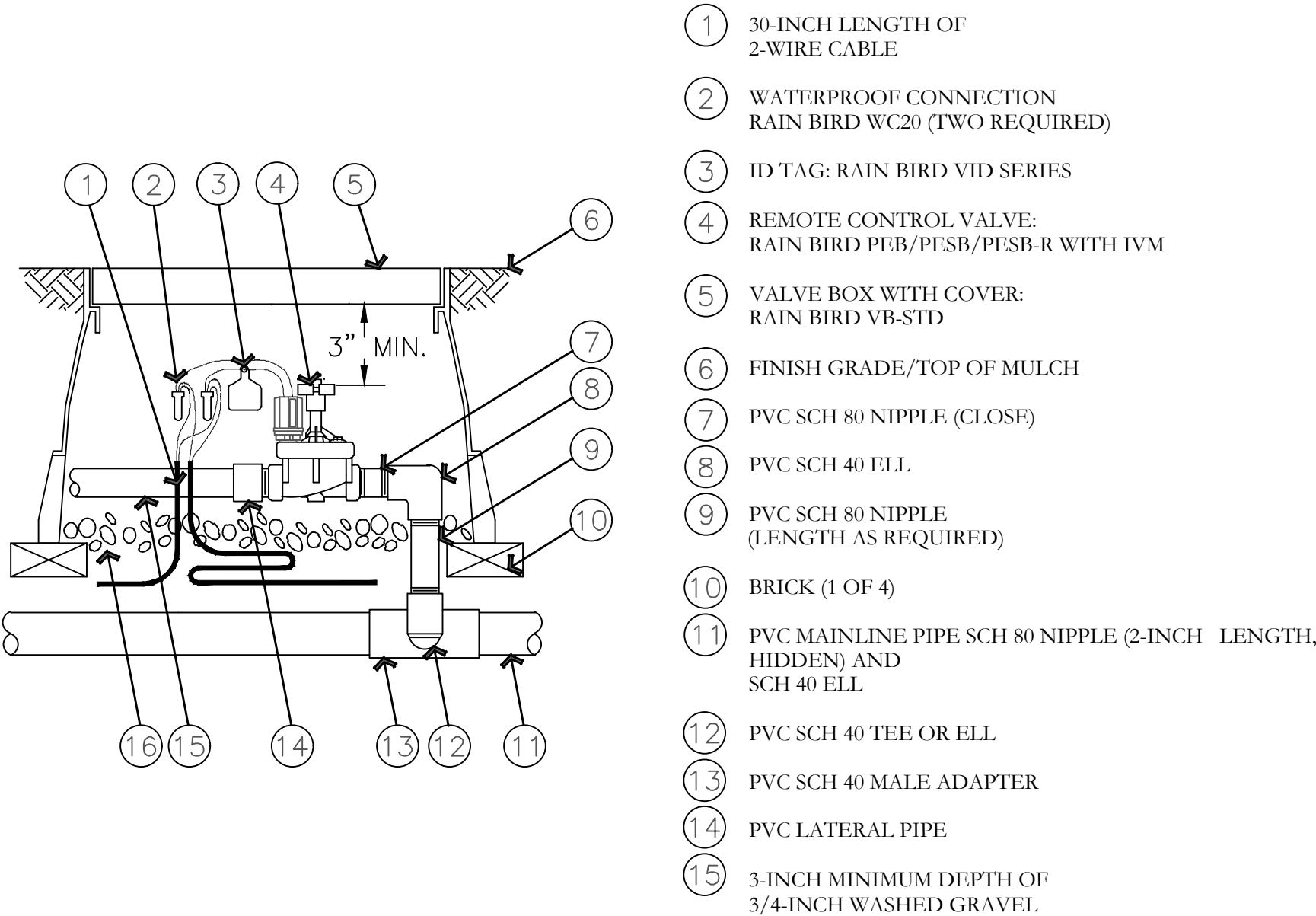


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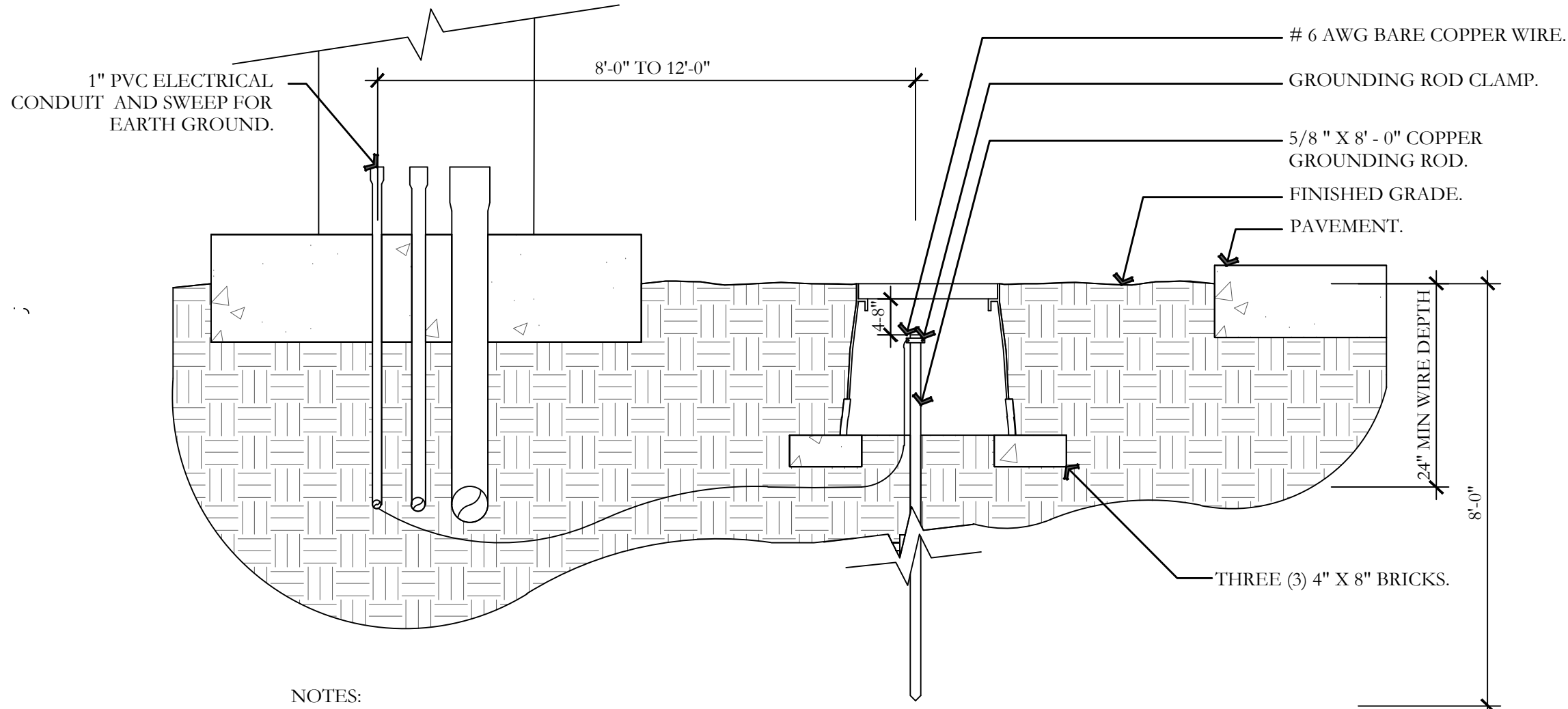
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3/27/2025	UT21037	 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org	 AMERICAN FORK OFFICE 452 E. & AUTO MALL DR. AMERICAN FORK, UTAH	Property Owner: AE URBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-575-6455	 PKJ DESIGN GROUP Landscape Architecture • Planning • Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com	 IR-501	PM: JTA DRAWN: AP CHECKED: KA PLOT DATE: 3/27/2025	
NO. REVISION DATE								
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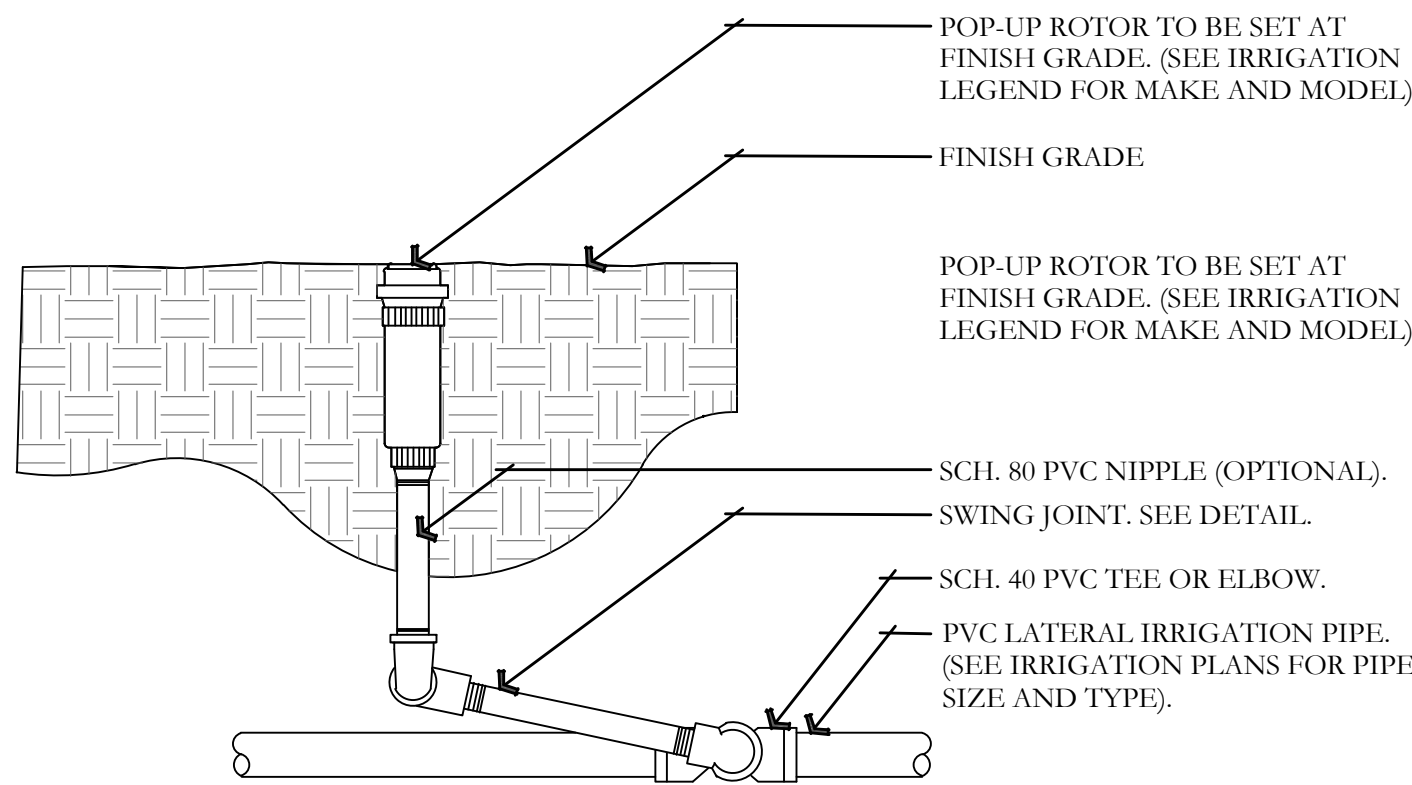
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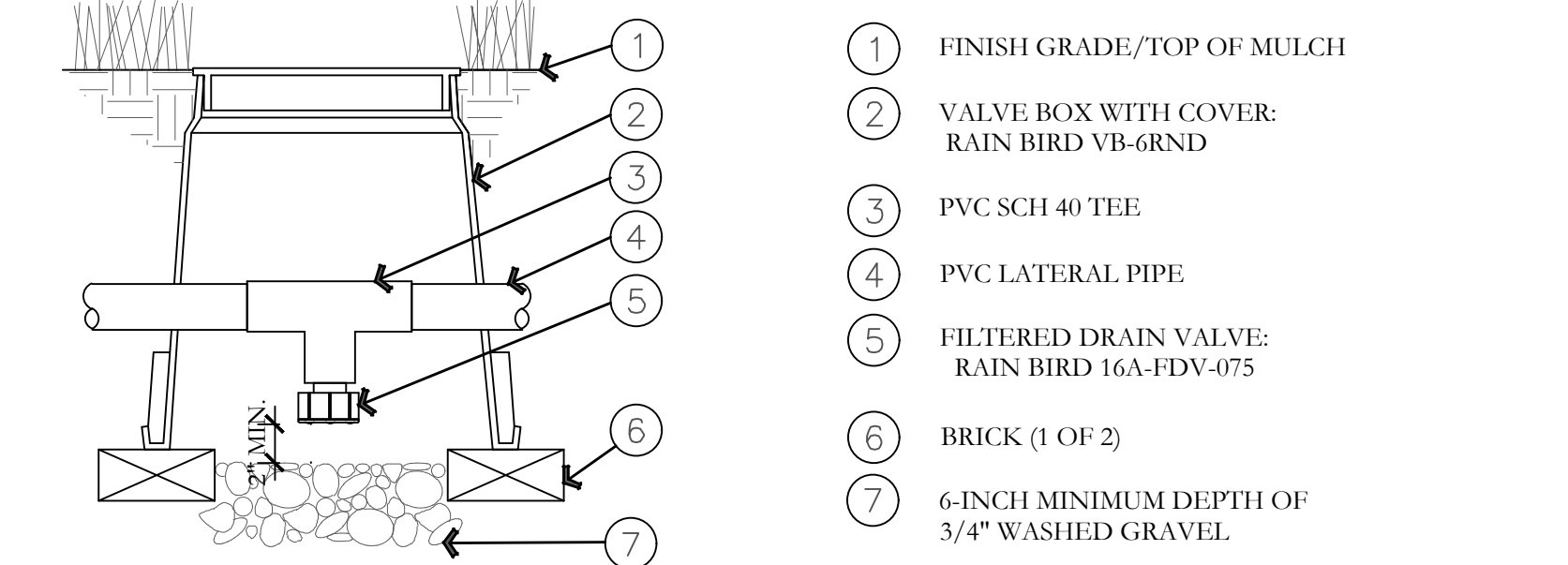
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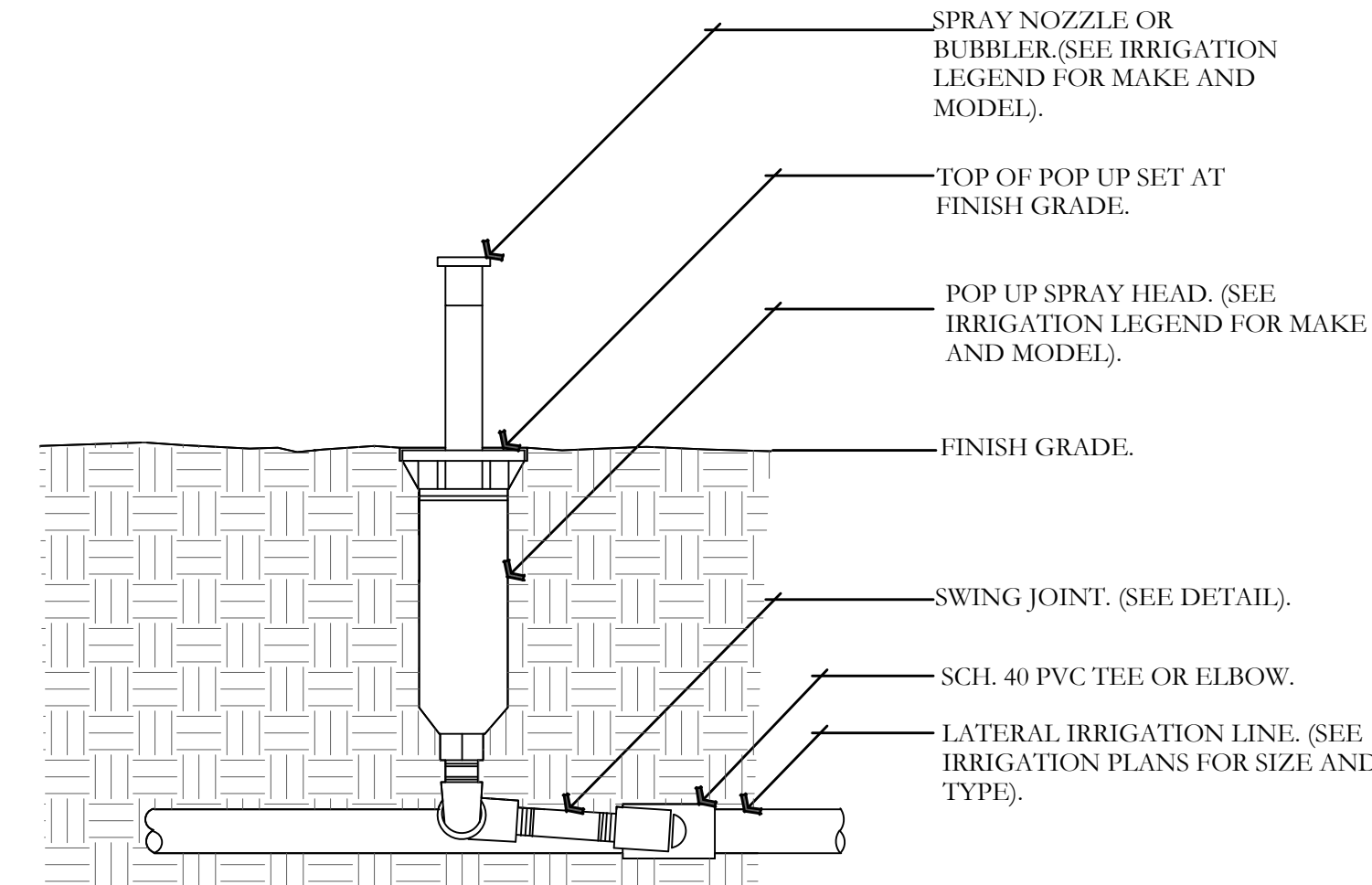
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N ROTOR SPRAYHEAD DETAIL
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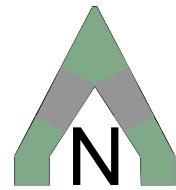
L LATERAL LINE DRAIN VALVE DETAIL
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O POP UP-SPRAY HEAD DETAIL
NOT TO SCALE

NO.	REVISION	DATE
1	CITY COMMENTS	03-27-2025
2		
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811 BLUE STAKES OF UTAH
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3032 SOUTH 1030 WEST, SUITE 202
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PKJ DESIGN GROUP
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3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

LICENSE STAMP
STATE OF UTAH
LANDSCAPE ARCHITECT
JTA
3/27/2025
DRAWN: AP
CHECKED: KA
PLOT DATE: 3/27/2025

IR-502

IR-503

Agenda Topic

Public hearing, review, and recommendation on a proposed Code Text Amendment, known as Storm Water Management and Discharge Control, of the American Fork City Municipal Code. Amending Section 13.94, the Code Text Amendment plans to modify subsections 13.94.020, 13.94.030, 13.94.070, 13.94.090 and 13.94.100 to be compliant with updated state regulations. These updates include modifying enforcement measures, clarifying responsibilities of property owners related to runoff, creating a new stormwater inspection process and updating the review process to meet state requirements.

Background

Staff has initiated a Code Text Amendment to amend Section 13.94 of the American Fork City Municipal Code. Utah State Legislative changes in recent legislative sessions have modified enforcement regulations and stormwater requirements. The code changes implement required standardized documents from the state for stormwater regulations. It also clarifies property owner responsibilities to maintain and control runoff water from their properties. Updates to our enforcement procedures and follow up with violations prior to a citation are included to conform to state regulations. It also reduces some of the conditions when a land disturbance permit is required.

Potential Motions – Code Text Amendment

Approval

Madame Chair, I move to recommend approval for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations and providing an effective date for the ordinance.

Denial

Madame Chair, I move to recommend denial for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations.

Table

Madame Chair, I move to table action for the proposed Code Text Amendment, amending Section 13.94, titled Storm Water Management and Discharge Control, relating to modifications in stormwater regulations to comply with state regulations, and instruct staff to.....

Sec 13.94.020 Definitions

For the purpose of this chapter, the following definitions shall apply. Words used in the singular shall include the plural, and the plural shall include the singular; words used in the present tense shall include the future tense. The word "shall" is mandatory and not discretionary. The word "may" is permissive. Words not defined in this section shall be construed to have the meaning given by common and ordinary use as defined in the most recent edition of Webster's Dictionary.

- A. American Fork City Storm Water Management Program means those certain manuals, ordinances, practices, and policies set in place by American Fork City to regulate, permit, manage, and otherwise oversee the discharge of storm water within the corporate boundaries and influence area of the city. This includes both of those manuals and practices which are in place at the time of the passage of the ordinance from which this chapter is derived and those which will yet be put in place or adopted in this chapter or future actions.
- B. As-built plans means drawings depicting conditions as they were actually constructed.
- C. Best management practices or BMPs are physical, structural, and/or managerial practices that, when used singly or in combination, prevent or reduce pollution of water that have been approved by American Fork City and that have been incorporated by reference into this chapter as if fully set out therein. For purposes of this title, the relevant BMPs are more particularly defined in the American Fork City Storm Water Management Program. **means** a wide range of management procedures, schedules of activities, prohibitions of practices, maintenance procedures, and other management practices which have been demonstrated too effectively control the quality and/or quantity of storm water runoff and which are compatible with the planned land use. BMPs also include specific treatment requirements, operating procedures, and practices to control storm water runoff, spillage or leaks, sludge or water disposal, or drainage from raw material storage. A list of preferred BMPs for use within the City of American Fork can be found on the City's website.
- D. Best Management Practices Manual means the most recent documentation adopted by American Fork which accepts specific best management practices for use in American Fork City.
- E. Channel means a natural or artificial watercourse with a definite bed and banks that conducts flowing water continuously, or periodically.

- F. City engineer means the City Engineer of American Fork, or authorized designee.
- G. City storm drain inspector means the regulatory compliance coordinator or the city storm drain division superintendent and his authorized designees.
- H. City storm water system means the storm system that receives runoff from public right-of-way, natural waterways, and systems identified in a city easement.
- I. Community water means any and all rivers, streams, creeks, branches, lakes, reservoirs, ponds, drainage systems, springs, wetlands, wells, and other bodies of surface or subsurface water, natural or artificial, lying within or forming a part of the boundaries of American Fork City.
- J. Contaminant means any physical, chemical, biological, or radiological substance or matter in the water.
- K. Design storm event means a hypothetical storm event, of a given frequency interval and duration, used in the analysis and design of a storm water facility.
- L. Discharge means dispose, deposit, spill, pour, inject, seep, dump, leak, or place by any means, or that which is disposed, deposited, spilled, poured, injected, seeped, dumped, leaked, or placed by any means, including any direct or indirect entry of any solid or liquid matter, into the municipal separate storm sewer system.
- M. Easement means a non-possessory interest acquired by a person, party, firm, corporation, municipality, or other legal entity that entitles the holder only to the right to the use of the owner's land in the manner specified.
- N. Erosion means the removal of soil particles by the action of water, wind, ice, or other geological agents; whether naturally occurring or acting in conjunction with or promoted by anthropogenic activities or effects.
- O. Erosion and sediment control plan means a written plan (including drawings or other graphic representations) that is designed to minimize the accelerated erosion and sediment runoff at a site during construction activities.
- P. General construction storm water permit means a permit required by the Utah Department of Environmental Quality, Division of Water Quality.
- Q. Hotspot (priority area) means an area where land use or activities generate highly contaminated runoff, with concentrations of pollutants in excess of those typically found in storm water.
- R. Illicit connections means either of the following:

1. Any drain or conveyance, whether on the surface or subsurface, which allows an illicit discharge to enter the storm drain system. Examples include, but are not limited to, any conveyances which allow non-storm water discharge, such as sewage, process wastewater, or wash water to enter the storm drain system and any connections to the storm drain system from indoor drains or sinks; regardless of whether said drain or connection had been previously allowed, permitted, or approved by government agency; or
 2. Any drain or conveyance connected to or discharging to the storm drain system, which has not been (1) documented in plans, maps, or equivalent records submitted to the city, and (2) approved in writing by the city.
- S. Illicit discharge means any discharge to the municipal separate storm sewer system that is not composed entirely of storm water and not specifically exempted under Section 13.94.030(4) of this chapter. Illicit discharges include both direct connections (e.g., wastewater piping either mistakenly or deliberately connected to the storm water system) and indirect connections (e.g., infiltration into the storm water system or spills collected by drain inlets).
- T. Irrigation ditches means gravity irrigation ditches used by irrigation shareowners having a right of water passageway by ROW, easement, or prescription.
- U. Land disturbance permit means American Fork City Land Disturbance Permit as adopted by the city.
- V. Land disturbing activity means any activity on property that results in a change in the existing soil cover (both vegetative and non-vegetative) and/or the existing soil topography. Land-disturbing activities include, but are not limited to, developing, redeveloping, demolishing, constructing, reconstructing, clearing, grading, filling, grubbing, paving, and excavating.
- W. Maintenance means any activity that is necessary to keep a storm water facility in good working order so as to function as designed. Maintenance shall include complete reconstruction of a storm water facility if reconstruction is needed in order to restore the facility to its original operational design parameters. Maintenance shall also include the correction of any problem on the site property that may directly impair the functions of the storm water facility.
- X. Maintenance agreement means a document recorded in the land records that acts as a property deed restriction, and which provides for long-term maintenance of storm water management practices.

Y. Municipal separate storm sewer system (MS4) means the conveyances owned or operated by the municipality for the collection and transportation of storm water, including the roads and streets and their drainage systems, catch basins, detention basins, sumps, curbs, gutters, ditches, man-made channels, and storm drains.

Z. National Pollutant Discharge Elimination System Permit (NPDES permit) means a permit issued pursuant to 22 U.S.C. 1342.

AA. Notice of violation (NOV) means whenever the city storm water inspector finds that a person is in noncompliance with this chapter, the inspector will order compliance by written notice of violation to the responsible person. Requirements in this notice are at the discretion of the city storm water inspector and may include monitoring, payment to cover costs relating to the noncompliance, and the implementation of best management practices (BMPs).

AB. Off-site facility means a structural BMP located outside the subject property boundary described in the permit application for land development activity.

AC. On-site facility means a structural BMP located within the subject property boundary described in the permit application for land development activity.

AD. Peak flow means the maximum instantaneous rate of flow of water at a particular point resulting from a storm event.

AE. Person means any individual, corporation, partnership, association, company, or body politic, including any agency of the state of Utah and the United States government.

AF. Pre-existing conditions means conditions of property in its native state or changed under approval by the city or changed property that is grandfathered.

AG. Priority area means "hot spot" as defined in Section 13.94.020(15).

AH. Property owner means the owner of record of property within the boundary of American Fork City.

AI. Runoff means that portion of the precipitation on a drainage area that is discharged from the area into the municipal separate storm water system. Also, water produced by storms, surface drainage, snow and ice melt, and other water handled by the storm sewer drainage system.

AJ. Sediment means solid material, both mineral and organic, that is in suspension, is being transported, or has been moved from its site of origin by air, water, gravity, or ice and has come to rest on the earth's surface either above or below sea level.

AK. Sedimentation means soil particles suspended in storm water that can settle in stream beds and disrupt the natural flow of the stream.

AL. Soils report means a study of soils on a subject property with the primary purpose of characterizing and describing the soils. The soils report shall be prepared by a qualified soils engineer, who shall be directly involved in the soil characterization either by performing the investigation or by directly supervising employees.

AM. Stabilization means providing adequate measures, vegetative and/or structural, that will prevent erosion from occurring.

AN. Storm drain division superintendent means the city storm drain division superintendent, or authorized designee.

AO. Storm water means storm water runoff, snow melt runoff, surface runoff, street wash waters related to street cleaning or maintenance, infiltration, and drainage.

AP. Storm water design standards and regulation means current American Fork City storm water standards and regulations as adopted by the city.

AQ. Storm water master plan means current American Fork City Storm Water Master Plan as adopted by the city.

AR. Storm water management means the programs to maintain quality and quantity of storm water runoff to pre-development levels.

AS. Storm water management facilities system means the drainage structures, conduits, ditches, combined sewers, sewers, and all device appurtenances by means of which storm water is collected, transported, pumped, treated, or disposed of.

AT. Storm water management plan (SWMP) means the set of drawings and other documents that comprise all the information and specifications for the programs, drainage systems, structures, BMPs, concepts, and techniques intended to maintain or restore quality and quantity of storm water runoff to pre-development levels.

AU. Storm water pollution prevention plan (SWPPP) means a set of plans showing the location of the BMPs during the different phases of construction.

AV. Storm water management program (SWMP) means a technical report including a copy of the land disturbance permit, notice of intent (if applicable), storm water pollution prevention plan, best management practices from, during, and post construction, spill prevention and countermeasure information, inspection records, and a signed and dated certification statement from the site operator and the consultant preparing the report.

AW. Storm water runoff means flow on the surface of the ground, resulting from precipitation.

AX. Storm water utility means the storm water utility created by ordinance of the city to administer the storm water management ordinance and other storm water rules and regulations adopted by the municipality.

AY. Structural BMPs means devices that are constructed to provide control of storm water runoff.

AZ. Surface water includes waters upon the surface of the earth inbounds created naturally or artificially including, but not limited to, streams, other water courses, lakes, and reservoirs.

BA. SWPPP means storm water pollution prevention plan. A set of plans showing the location of the BMPs during the different phases of construction and system management.

BB. SWMP means storm water management program. A technical report including a copy of the land disturbance permit, notice of intent (NOI) (if applicable), storm water pollution prevention plan during construction and post construction, storm water pollution prevention BMPs, spill prevention control and countermeasure information, inspection records and signed and dated certification statement from the site operator and the responsible person preparing the report.

BC. Watercourse means a permanent or intermittent stream or other body of water, either natural or man-made, which gathers or carries surface water.

BD. Watershed means all the land area that contributes runoff to a particular point along a waterway.

BE. UPDES means the Utah Pollution Discharge Elimination System.

(Ord. No. 2015-05-32, § 2, 5-26-2015)

Sec 13.94.030 Land Disturbance Permits

A. When required. Every person will be required to obtain a land disturbance permit from the city engineer in the following cases:

1. Land disturbing activity that generally disturbs one or more acres of land.
2. Land disturbing activity of less than one acre of land if such activity is part of a larger common plan of development that affects one or more acre of land;
3. Land disturbing activity of less than one acre of land, if, in the discretion of the city engineer, such activity poses a unique threat to water, or public health or safety;

~~4. The creation and use of borrow pits;~~

~~5. Development of a single family home;~~

~~6. Processing of earthen materials such as top soil and gravel screening;~~

~~7. Construction of parking lots;~~

~~8. Creation of an impervious area (0.25 acres/ten thousand eight hundred ninety square feet) constructed with compacted gravel, asphalt, or concrete pavement;~~

~~9. Creation or alteration of storm drain works or systems;~~

~~10. Excavation or disturbance of more than one thousand cubic yards of material in any non-agricultural earth-moving activity.~~

B. Drainage channels, waterways, and sensitive areas.

1. Property owners shall not alter or restrict natural channels and waterways without proper federal, state, and city permits.
2. Modifications of sensitive areas are subject to and governed by the American Fork City Sensitive Land Overlay Master Plan. These actions will require a land disturbance permit and approval from all other governing agencies.
3. Property owners proposing to redirect runoff, surface and/or channelized pipe flow to properties or facilities outside American Fork City boundaries must provide written approval from the federal (if applicable), state, county or municipality or their agents.
4. Property owners are responsible for the protection of channels per the relevant sections of this chapter.
5. Discharges or modifications to the channels require written approval from the canal owners and applicable governing agencies.

C. Building permit. No building permit shall be issued until the applicant has obtained a land disturbance permit where the same is required by this chapter.

D. Exemptions. The following activities are exempt from the permit requirement:

1. Any emergency activity that is immediately necessary for the protection of life, property, or natural resources including activities required to promote public safety, repairs to water lines and/ or other city infrastructure repairs.
2. Existing nursery and agricultural operations conducted as a predominant land use.
3. Any agricultural activity that is consistent with an approved farm conservation plan or a management plan prepared or approved by the appropriate federal, state, or city agency.
4. Additions or modifications to existing single family structures.
5. Landscape modifications resulting in disturbances below the limits identified in Section 13.94.030(A).
6. Excavation activities necessary for public purposes approved through the city approval process.

E. Applications for a land disturbance permit.

1. Each application shall include the following:

- a. Name of applicant;
- b. Business or residence address of applicant;
- c. Name, address, and telephone number of the owner of the property of record in the office of the Utah County Assessor;
- d. Address and legal description of subject property, including the tax reference number and parcel number of the subject property;
- e. Name, address, and telephone number of the contractor and any subcontractor(s) who shall perform the land disturbing activity and who shall implement the erosion and sediment control plan;
- f. A statement indicating the nature, extent, and purpose of the land disturbing activity including the size of the area for which the permit shall be applicable and a schedule for the starting and completion dates of the land disturbing activity.

2. The applicant shall obtain, from any other state or federal agency, any other appropriate environmental permits that pertain to the property. However, the inclusion of those permits in the application shall not foreclose the city engineer from imposing additional development requirements and conditions, commensurate with this chapter, on the development of property covered by those permits.
3. Each application shall be accompanied by:
 - a. A sediment and erosion control plan; and
 - b. A storm water management plan providing for storm water management during the land disturbing activity and after the activity has been completed sufficient to handle the design storm events.
 - c. **Acceptable BMPs. Only those preferred BMPs adopted by the City and listed on the City's website may be used unless the applicant demonstrates to the satisfaction of the Storm Water Division Manager or designee that an alternate BMP, which is designed specifically for the site, will match or exceed performance requirements of the preferred BMP.**
4. Each application for a land disturbance permit shall be accompanied by payment of the land disturbance permit and other storm water management fees, as adopted by resolution and found in the city fee schedule.

F. Review and approval of application.

1. The city engineer will review each application for a land disturbance permit to determine its conformance with the provisions of this chapter. Within fifteen days after receiving an application, the city engineer shall provide one of the following responses in writing:
 - a. Approval of the permit application;
 - b. Approval of the permit application, subject to such reasonable conditions as may be necessary to secure substantially the objectives of this chapter, and issue the permit subject to these conditions; or
 - c. Denial of the permit application, indicating the reason(s) for the denial.
2. If the city engineer has granted conditional approval of the permit, the applicant shall submit a revised plan that conforms to the conditions established by the city engineer. However, the applicant shall be allowed to proceed with his land disturbing activity so long as it conforms to conditions established by the city

engineer.

No development plans will be released until the land disturbance permit has been approved and all plan review fees are paid in full.

G. Permit duration. Every land disturbance permit shall expire and become null and void if substantial work authorized by such permit has not commenced within one hundred eighty calendar days of issuance, or is not complete within eighteen months from the date of the commencement of construction.

H. Notice of construction.

1. The applicant must notify the city public works department ten working days in advance of the commencement of construction. Regular inspections of the storm water management system construction shall be conducted by a city storm drain inspector. All inspections shall be documented and written reports shall be prepared that contain the following information:

- a. The date and location of the inspection;
- b. Whether construction is in compliance with the approved storm water management plan;
- c. Variations from the approved construction specifications;
- d. Any violations that exist and remedies the applicant is required to perform.

I. Performance bonds.

- 1. The city engineer shall require the submittal of a performance security or performance guarantee bond prior to issuance of a permit in order to ensure that the storm water pollution prevention practices are installed by the permit holder as required by the approved storm water pollution prevention plan (SWPPP).
 - a. The amount of the installation performance security or performance guarantee bond shall be the total estimated construction cost of the structural BMPs approved under the permit, plus any reasonably foreseeable additional related costs.
 - b. The performance security shall contain forfeiture provisions for failure to complete work specified in the storm water pollution prevention plan (SWPPP).
 - c. The applicant shall provide an itemized construction cost estimate, complete with unit prices, which shall be subject to acceptance, amendment or rejection by the city engineer.

- d. Alternatively, the city engineer shall have the right to calculate the estimates for the cost of construction and review the opinion of probable cost accordingly.
2. The performance security or performance guarantee bond shall be released in full only upon submission of as-built plans and written certification by a registered professional engineer licensed to practice in the state of Utah that the structural BMP has been installed in accordance with the approved plan and other applicable provisions of this chapter. Completion of all final inspection punch list items and removal of all temporary control measures are also required prerequisites for release of guarantee funds.
3. A city storm drain inspector will make a final inspection of the structural BMP to ensure that it is in compliance with the approved plan and the provision of this chapter. Provisions for a partial pro-rata release of the performance security or performance guarantee bond based on the completion of various development stages may be made at the discretion of the city storm drain inspector.

J. City oversight Inspection.

1. The applicant shall allow for oversight inspections of development when holding a Land Disturbance permit or State Notice of Intent (NOI). When there is an immediate threat to water quality, BMP maintenance failure, inspection failure of current state or federal standards, risk of injury to person(s), damage to stormwater facilities or infrastructure, or damage to surrounding environment. The developer shall provide inspection records of development as they pertain to the General Construction Permit.

(Ord. No. 2015-05-32, § 3, 5-26-2015)

Sec 13.94.070 Existing Locations And Developments

- A. Requirements for all existing locations and developments. The following requirements shall apply to all locations and developments at which land disturbing activities have occurred previous to the enactment of this chapter:
 - 1. Denuded areas must be vegetated or covered under the standards and guidelines specified in the BMP manuals and on a schedule acceptable to the city engineer.
 - 2. Cuts and slopes must be properly covered with appropriate vegetation and/or retaining walls constructed.
 - 3. Drainage ways shall be properly covered in vegetation or secured with rip-rap, channel lining, etc. to prevent erosion.
 - 4. Trash, junk, rubbish, etc. shall be cleared from drainage ways.
 - 5. Storm water runoff shall be controlled to the extent reasonable to prevent pollution of local waters. Such control measures may include, but are not limited to, the following:
 - a. Ponds.
 - b. Detention pond.
 - c. Extended detention pond.
 - d. Wet pond.
 - e. Alternative storage measures.
 - f. Constructed wetlands.
 - g. Infiltration systems.
 - h. Infiltration/percolation trench.
 - i. Infiltration basin.
 - j. Catch basin inserts/media filter.
 - k. Sand filter.
 - l. Filter/absorption bed.
 - m. Filter and buffer strips.
 - n. Open channel.

o. Swale.

B. All property owners are responsible for managing and maintaining both irrigation and stormwater on their own property to prevent any runoff from flowing onto adjacent parcels.

C. Requirements for existing problem locations. The city engineer shall, in writing, notify the owners of existing locations and developments of specific drainage, erosion, or sediment problems affecting such locations and developments, and the specific actions required to correct those problems. The notice shall also specify a reasonable time for compliance.

D. Inspection of existing facilities. The city public works department may, to the extent authorized by state and federal law, establish inspection programs to verify that all storm water management facilities, including those built before, as well as after the adoption of this chapter, are functioning within design limits. These inspection programs may be established on any reasonable basis, including, but not limited to: routine inspections; random inspections; inspections based upon complaints or other notice of possible violations; inspection of drainage basins or areas identified as higher than typical sources of sediment or other contaminants or pollutants; inspections of businesses or industries of a type associated with higher than usual discharges of contaminants or pollutants or with discharges of a type which are more likely than the typical discharge to cause violations of the municipalities NPDES/UPDES storm water permit; and joint inspections with other agencies inspecting under environmental or safety laws.

Inspections may include, but are not limited to: reviewing maintenance and repair records; sampling discharges, surface water, groundwater, and material or water in drainage control facilities; and evaluating the condition of drainage control facilities and other BMPs.

E. Upon application for a business license, the city SD inspector shall inspect the proposed occupation site for compliance with provisions of this chapter. The city SD inspector may also conduct a review or inspection of storm water compliance upon annual business license renewal application. By submitting an application for a business license, the owner understand that he/ she is granting to the city SD inspector the right of entry, the right to conduct an inspection of the storm drain system and to request storm drain system inspection records.

- F. Corrections of problems subject to appeal. Corrective measures imposed by the city storm drain inspector under this section are subject to appeal under Section 13.94.110 of this chapter.

(Ord. No. 2015-05-32, § 7, 5-26-2015)

Sec 13.94.090 Enforcement

- A. Enforcement authority. The city storm drain inspector shall have the authority to issue corrective action notices, notices of violation to impose the civil penalties and issue stop work order as provided in this section.

With the approval of the storm water pollution prevention plan and the issuance of a land disturbance permit, the city storm drain inspector shall be permitted to enter and inspect facilities subject to this chapter at all reasonable times and as often as necessary to determine compliance. Failure to comply with the terms of this chapter may result in punitive actions by American Fork City pursuant this chapter.

- B. Notification of violation.

Except as provided for in subsection C., the City may take the following action when any permittee or other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder.

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- ~~1.—Corrective action notice. Whenever the city storm drain inspector finds that any permittee or any other person discharging storm water has violated or is violating this chapter or a permit or order issued hereunder, the city storm drain inspector may serve upon such person a corrective action notice. Within seven days from the issuance of the corrective action notice, the site must be brought into full compliance with the storm water pollution prevention plan (SWPPP). Failure to comply with the corrective action notice within seven days will result in the issuance of a notice of violation. Additionally, the site operator will be subject to fines and penalties as specified in Section 13.94.100.~~
- ~~2.—Notice of violation. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or a permit or a corrective action notice, he may issue an order to the violator directing that, following a specified time period, best management practices (BMPs) be installed or procedures implemented and properly operated. Failure to comply with the notice of violation by the site operator may result in additional fines and issuance of a stop work order.~~
- ~~3.—Stop work orders. When the city storm drain inspector finds that any person has violated or continues to violate this chapter or any permit or order issued hereunder, the city storm drain inspector may issue a stop work order for all such violations and direct those persons in noncompliance to:
a) Comply forthwith; or~~

~~b) Take such appropriate remedial or preventative action as may be needed to properly address a continuing or threatened violation, including halting operating and terminating the discharge.~~

C. Conflicting standards. Whenever there is a conflict between any standard contained in this chapter and in the BMP manuals adopted by the municipality under this chapter, the strictest standard shall prevail.

~~D.—Violations. Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violated the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the city storm drain inspector, shall be guilty of a Class B misdemeanor.~~

D. Notice of violation – General Construction Permit Impacting Greater than One Acre or Part of Common Area of Development.

For any General Construction Permit that disturbs an acre or more or that disturbs less than an acre but is part of a common plan of development or sale, the following shall apply to any violation.

1. American Fork City:

- a. shall notify the permittee, in writing, of a violation; a notice of violation from the City shall state noncompliance and actions necessary to come into compliance will be given to responsible person.
- b. shall provide the permittee a reasonable time of at least 24 hours to correct the violation; and
- c. may perform an inspection to verify that the violation is corrected.

2. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

- a. shall notify the permittee, in writing, that the violation has not been corrected;
- b. may impose a fine if the permittee does not correct the specific violation within additional one business day; and
- c. may perform an inspection to verify that the permittee corrected the specific violation.

3. If a permittee does not correct the violation described in Subsection C.1.a. within the deadline set under Subsection C.1.b. the City:

a. shall notify the permittee, in writing, that the violation has not been corrected; and

4. may impose an administrative fine for each occurrence as follows:

(a.)\$500 per occurrence for working without an approved storm water permit;

b. (B)\$300 per occurrence for tracking mud on road;

c. \$250 per occurrence for failure to clean up or report spills;

d. \$100 per occurrence for failure to conduct storm water inspections;

e. \$100 per occurrence for failure to maintain storm water records; and

f. \$500 per site, per occurrence, for failure to use general best management practices, as determined by the authority; and

5. may impose the administrative fine:

(A) a. for each business day the specific violation continues beginning on the day

(i) after the day on which the authority issues the administrative fine; and

(ii) within 30 days after the day on which the applicant corrects the violation.

6. (d)The City shall:

a. impose each fine in writing and clearly document the specific violation in the writing; and

b. deposit collected fines into a restricted account for education and outreach under its stormwater program.

7. The City may not impose the process described in Subsection 3 later than 30 days after the day on which the City provides the required preceding notice of violation or continuing violation.

8. The City may issue an order to stop construction only when:

a. an applicant selects the preferred best management practice for the site conditions;

b. an applicant implements and properly uses the preferred best management practices; and

c. the violation results from a deficiency in the preferred best management practice.

9. City may recoup the costs incurred to correct a violation the applicant refuses to correct after the enforcement process described in this Subsection has been exhausted if the municipal system, at the time of clean up, determines a significant harm to water quality or the storm water system is imminent.

E. Violations. Any person who shall commit any act declared unlawful under this chapter, who violates any provision of this chapter, who violated the provisions of any permit issued pursuant to this chapter, or who fails or refuses to comply with any lawful communication or notice to abate or take corrective action by the city storm drain inspector, shall be guilty of a Class B misdemeanor unless the violation is related to active construction that is required to obtain a Land Disturbance Permit. Such violation will be limited to the Enforcement provisions of Section 13.94.090.

Sec 13.94.100 Penalties

- A. Penalties. Under the authority provided in the ~~municipality declares~~ Utah Code ~~chapter and except as provided for in Sec 13.94.090.B~~, the City declares that any person violating the provisions of this chapter. may be assessed a Class B misdemeanor by the city public works department and fine of five hundred dollars per day for each day of violation. Each day of violation shall constitute a separate violation.
- B. Measuring civil penalties. In assessing a civil penalty, the city public works department may consider:
1. The harm done to the public health or the environment;
 2. Whether the civil penalty imposed will be a substantial economic deterrent to the illegal activity;
 3. The economic benefit gained by the violator;
 4. The amount of effort put forth by the violator to remedy this violation;
 5. Any unusual or extraordinary enforcement costs incurred by the municipality;
 6. The amount of penalty established by ordinance or resolution for specific categories of violations; and
 7. Any equities of the situation which outweigh the benefits of imposing any penalty or damage assessment.
- C. Recovery of damages and costs. In addition to the civil penalty in subsection (2) above, the municipality may recover:
1. All damages proximately caused by the violator to the municipality, which may include any reasonable expenses incurred in investigating violations of, and enforcing compliance with, this chapter; or any other actual damages caused by the violation.
 2. The costs of the municipality's maintenance of storm water facilities when the user of such facilities fails to maintain them as required by this chapter.
- D. Other remedies. The municipality may bring legal action to enjoin the continuing violation of this chapter; and the existence of any other remedy, at law or equity, shall be no defense to any such actions. In addition to the penalties established in this chapter, the city may refuse to renew business licenses or other permits while such a violation continues.

E. Remedies cumulative. The remedies set forth in this section shall be cumulative, not exclusive, and it shall not be a defense to any action, civil or criminal, that one or more of the remedies set forth herein has been sought or granted.

(Ord. No. 2015-05-32, § 10, 5-26-2015)