



## CITY COUNCIL MEETING

Thursday, May 15, 2025 at 6:30 PM  
Council Chambers, 60 West Main, Hyrum, Utah

### AGENDA

Public notice is hereby given of a Hyrum City Council Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, May 15, 2025. The proposed agenda is as follows:

1. **ROLL CALL**
2. **CALL TO ORDER**
3. **WELCOME**
4. **PLEDGE OF ALLEGIANCE**
5. **INVOCATION**
6. **APPROVAL OF MINUTES**
7. **AGENDA ADOPTION**
8. **PUBLIC COMMENT**
9. **SCHEDULED DELEGATIONS**
  - A. [Karen Yorgason, Homegrown Homemades Co. - To request a home occupation business license at 60 East 300 South for the sale of homemade baked goods.](#)
  - B. **Recreation Manager Robert Stroud** - To present the findings of Nibley City's Recreation Survey.
  - C. [Aldon Watkins, Blacksmith Fork Vet Clinic – To request site plan approval for a veterinary hospital building and site expansion located at 816 East 6200 South, consisting of approximately 1.00 acres. Application 25-019A](#)
  - D. [Jesse Elsmore, Jardine Builders, LLC – To request site plan approval for two \(2\) two-story mixed-use buildings located at 139 West Main Street & 127 West Main Street, consisting of 0.96 acres.](#)
10. **INTRODUCTION AND APPROVAL OF RESOLUTIONS AND ORDINANCES**
  - A. [Resolution 25-13 - A resolution declaring certain Hyrum City equipment as surplus and ordering the sale or disposal thereof.](#)
  - B. [Resolution 25-14 - A resolution approving the Hyrum City Library Fee Schedule.](#)
  - C. [Resolution 25-16 - A resolution adding Section XVI.5. Retirement D. Automatically deferral into 401k to the Personnel Policies and Procedures Manual for Hyrum City Corporation to provide for an automatically deferral into 401k.](#)

- D. [Resolution 25-15 - A resolution to establish rates for Wildland Fire Deployment.](#)

**11. OTHER BUSINESS**

- A. Consideration and approval of a Cooperative Agreement between the Utah Division of Forestry, Fire and State Land and Hyrum City Corporation.
- B. Tentative adoption of the 2025-2026 Operating Budgets and set date for a public hearing.
- C. [Consideration and award of bid for the 900 West Underground Water and Power Improvements.](#)
- D. [Budget Report.](#)
- E. Mayor and City Council Reports.

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**Stephanie Fricke**  
**City Recorder**

Council Members may participate in the meeting via telephonic communication. If a Council Member does participate via telephonic communication, the Council Member will be on speakerphone. The speakerphone will be amplified so that the other Council Members and all other persons present in the Council Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City at 435-245-6033 at least three working days before the meeting.

**12. ADJOURNMENT**

**CERTIFICATE OF POSTING** - The undersigned, duly appointed and acting City Recorder of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was emailed to The Herald Journal, Logan, Utah, posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this **12th day of May, 2025**. Stephanie Fricke, MMC, City Recorder.



60 West Main Street  
Hyrum, Utah 84319  
435-245-6033  
www.hyrumcity.com

### BUSINESS LICENSE APPLICATION

For businesses with a permanent physical location in Hyrum City limits.

Business Name: Homegrown Homemades Co.

"Doing Business As": —

Business Address: 60 E 300 S Hyrum, UT 84319

Mailing Address: " "

Business Phone #: 435-770-3130

E-mail: kcyorgason7@gmail.com

Website: www.homegrownhomemadesco.com

Utah State Tax Commission Sales Tax #: 15945047-002-STC

State and/or Federal License #: 99-1725535

Nature of Business: 45 Retail Trade (member) 45999 Misc Retailer (member)

Owner Name: Karen Yorgason & Dallas Yorgason

Manager Name: \_\_\_\_\_ Manager Phone #: 435 770-3130

Manager Address: 60 E 300 S Hyrum, UT 84319

Businesses must register with the Utah Division of Corporations [www.business.utah.gov/registration](http://www.business.utah.gov/registration). Businesses involved with the sale of tangible goods must provide evidence of a State Sales Tax Number from the State Tax Commission. If your profession is regulated by the Utah Department of Occupational & Professional Licensing, a copy of that professional license must be provided.

I affirm that: I am authorized agent of the business for which application is being made, and the information on this form is both complete and accurate to the best of my knowledge.

Kareall Ym  
Owner Signature

Karen C Yorgason  
Printed Name

4/22/25  
Date

Office Use Only

Approved by: \_\_\_\_\_ Date Approved: \_\_\_\_\_ License #: \_\_\_\_\_

Date Paid: \_\_\_\_\_ Amount: \_\_\_\_\_ Receipt #: \_\_\_\_\_



60 West Main Street  
 Hyrum, Utah 84319  
 435-245-6033  
 www.hyrumcity.com

## HOME OCCUPATION BUSINESS LICENSE APPLICATION

For businesses operating within a residence in Hyrum City limits.

Applicant(s) Name: Karen Yorgason

Date Submitted: \_\_\_\_\_

Address: 60 E 300 S Hyrum, UT 84319

Telephone #: 435-770-3130

Name of Business: Homegrown Homemades Co.

1. What is the proposed home occupation? Homemade goods being sold in a farmstand.
2. How many clients will be coming to the home at any one time during a daily interval?  
M-Th: 0-2 F: 20 S: 15 Su: 0
3. What provisions are available for off street parking? Our quadruple driveway and off street parking. Parking is typically 2-5 min max.
4. What type of equipment, materials, machinery, tools, and merchandise stock are involved in the home occupation? Bread oven, mixer, farmstand. Basic home & baking ingredients/supplies
5. What type of modifications to the residential structure are anticipated because of the home occupation? None

ALL HOME OCCUPATIONS MUST COMPLY WITH THE FOLLOWING REQUIREMENTS OF ZONING ORDINANCE 5.04.200 (please initial)

- \_\_\_\_\_ A. "Home occupation" means an occupation performed wholly within a residence or the yard and accessory buildings being a part of such residence. Home occupations shall not change the character of the residence or the residential neighborhood. A business license is required for some home occupations. They shall be issued for a one-year period and are renewable. The City Council may review a license in reaction to neighbor's complaints and may revoke it if evidence warrants this action.

- \_\_\_\_\_ B. Two levels of home occupations exist. Both are required to maintain all of the standards of a home occupation business license. Because of the potential negative impact on residential area, the following businesses are prohibited as home occupations: auto/RV repairs, salvage yards, major appliance repair, or service.
- \_\_\_\_\_ C. Level one applicants are in occupation categories that the City Council has determined have virtually no negative impact on residential neighborhoods and do not require a license. Occasional businesses operated by a minor are not required to obtain a business license.
- \_\_\_\_\_ D. All applicants whose home occupations receive commercial delivery service, has signage advertising the business, performs services in view or hearing of the public, or has customers coming to the residence, are considered level two home occupations and require a license. They also may be required to meet with the City Council and explain how their home occupation is in conformance with the home occupation standards. The City Council may attach limitations or conditions to their licenses.
- \_\_\_\_\_ E. Home occupation standards:
- \_\_\_\_\_ 1. The exterior of the home will not be modified in any way to accommodate the home occupation (i.e. loading ramps, loading doors, etc).
  - \_\_\_\_\_ 2. The occupation will be conducted entirely within the house, yard, and existing outbuildings.
  - \_\_\_\_\_ 3. The home occupation license covers only residents of the home.
  - \_\_\_\_\_ 4. No outside storage of goods or materials is permitted.
  - \_\_\_\_\_ 5. Pedestrian and vehicular traffic will not be in excess of that normally associated with a residential neighborhood.
  - \_\_\_\_\_ 6. One sign will be permitted on the property. It must meet the requirements of 17.72.010 "Name Plate".
  - \_\_\_\_\_ 7. The home occupation must be operated in full conformity with fire, health, building, electrical, plumbing codes, and all State and City laws and ordinances.
  - \_\_\_\_\_ 8. No noise, odor, light, vibrations or dust in excess of that normally associated with a residential neighborhood shall pass beyond the premises.
  - \_\_\_\_\_ 10. State licenses will be required for "Professional Child Care".
- \_\_\_\_\_ F. The City Council may, at their discretion, waive certain of the above standards for the elderly or handicapped.

In order to guarantee that the Home Occupation, once authorized, will not become a nuisance to the neighbors, the City Council may impose other reasonable conditions initially and also subsequently to protect the public health, safety, peace, and welfare of the residents of the surrounding area.

Applicant's Affidavit: I (we), Karen Yorgason, affirm that I (we) am (are) the owner(s) or authorized agent(s) of the owner of property involved in the attached application and that the statements and answers therein contained and the information provided in the attached plans and other exhibits are complete, to the best of my (our) knowledge and, that the statements and information above referred to are in all respects true and correct to the best of my (our) knowledge and belief.

Property Owner(s) Signature: Karen Yorgason

Applicants Signature: Karen Yorgason

**TONY STROMER**  
FIRE CHIEF

**Hyrum City Fire Department**  
30 North 100 West  
Hyrum, Utah 84319  
(435)245-7634



**Chris Crockett**  
ASST. CHIEF/FIRE OPERATIONS

**LUKE SCHMID**  
ASST. CHIEF/EMS OPERATIONS

**Home Occupation Self-Inspection Worksheet**

Business Name: Homegrown Homemades Co.  
Owner: Karen Yorgason Phone #: 435-770-3130  
Business Address: 60 E 300 S Hyrum, UT 84319 Hyrum, Utah 84319  
Business Description: Homemade products sold in a farmstand

"Home Occupation" means an occupation performed wholly within a residence or the yard and accessory buildings being a part of such residence. Home occupations shall not change the character of the residence or the residential neighborhood.

This business qualifies as a "Home Occupation" as defined above.

YES  NO

**Directions:** Respond to the following questions as you do a walk-through inspection of your home. Mark the appropriate boxes. All items marked NO must be corrected and marked YES before returning this form. **Sign and return the form to Hyrum City.** If you need assistance or have any questions, please contact the Hyrum City Fire Department.

Are the address numbers on your home and visible from the street?

YES  NO

Is the yard around your home free from combustible debris and weeds?

YES  NO

Do you have a working fire extinguisher?

YES  NO

Is the travel path to all electrical panels is 30" wide and 72" high?

YES  NO

Are all circuit breakers and/or fuses property labeled?

YES  NO

Are extension cords used properly and only for temporary purposes?

YES  NO

Is there a 36" clearance around household heat sources?

YES  NO

(example: water heaters, furnaces, fireplace, wall heaters, and/or other appliances)

Have all smoke detectors been tested/new batteries within the last year?

YES  NO

Have all carbon monoxide detectors been tested/new batteries within the last year?

YES  NO

Do you have a fire escape plan for your home and business?

YES  NO

\*Have you practiced the plan?\*

Business Owner Signature

Karen Yorgason

Date:

4/22/25

I declare under penalty of perjury under the laws of the State of Utah that the above is true and that I have personally ascertained and seen that all items checked "YES" are correct to the best of my knowledge.



## MEMORANDUM

**TO:** Mayor Miller, City Council Members

**FROM:** Tony Ekins, City Planner

**SUBJECT:** Aldon Watkins, Blacksmith Fork Vet Clinic – To request site plan approval for a veterinary hospital building and site expansion located at 16 East 6200 South, consisting of approximately 1.00 acres. Application 25-019A

**DATE:** May 9, 2025

**CITY COUNCIL MEETING:** May 15, 2025  
**CITY COUNCIL ROLE:** Administrative  
**APPLICATION TYPE:** Site Plan Approval

**NATURE OF REQUEST:**  
 Conditional Use: Veterinary Hospital

**OVERVIEW:**  
 The applicant desires to expand the existing building and site of the veterinary clinic to accommodate business operations. See Attached Staff Evaluation.

**PLANNING COMMISSION RECOMMENDATION:**  
 On May 8, 2025, the Planning Commission made a motion to recommend approval to the City Council (5-0) vote based on the applicant submittals, addressing staff comments, and the following additional conditions:

1. All lights used to illuminate the lot shall be arranged to reflect the light away from adjoining premises in any residential zone, including the installment of dark sky compliant lighting fixtures on both the existing building and building addition and shall be installed at the time of the completion of the construction.
2. Expansion of the current Conditional Use Permit through a separate application 25-020A is contingent on Site Plan Approval and will be effective following site plan approval.

**ATTACHMENTS:**

1. Staff Evaluation Dated May 5, 2025



## PLANNING COMMISSION STAFF EVALUATION – FIRST REVIEW

**APPLICATION NO:** 25-019A

**APPLICANT:** Blacksmith Fork Vet Clinic – Aldon and Michele Watkins

**PROPERTY OWNER:** Watkins Blacksmith Fork LLC

**PROPERTY ADDRESS:** 16 East 6200 South

**PARCEL NUMBER:** 01-073-0015

**PARCEL AREA:** 1.00 Acres

**CURRENT ZONE:** Residential Agricultural Zone RA

**DATE:** May 5, 2025

**PLANNING COMMISSION MEETING:** May 8, 2025

**PLANNING COMMISSION ROLE:** Recommending Body to City Council

**APPLICATION TYPE:** Site Plan Approval

### NATURE OF REQUEST:

Conditional Use: Veterinary Hospital

**CURRENT ZONING DISTRICT:** The Residential Agricultural Zone RA is an agricultural zone allowing single family dwellings. The minimum lot size is 12,000 square feet. (Veterinary Hospital is a Conditional Use in this zone)

### OVERVIEW:

The applicant desires to expand on the existing building and site of the veterinary clinic to accommodate business operations. The building will expand approximately 55'-0" to the North, with an additional 28'-0" of covered area, with an overall length of 83'-0". The expansion includes new asphalt, parking, and a retention basin. In addition to the building and site improvements, the applicant will be adjusting the existing property lines of the parcel to accommodate the expansion through a separate application 25-018A; and the Conditional Use permit will be expanded and updated through a separate application 25-020A.

**UTILITIES:** Existing Power, Sewer, Water, Irrigation.

### STAFF COMMENTS: *(Applicant Responses in Red)*

#### Planning and Zoning:

1. Require thirty-nine feet (39') dedication from the center of 700 South (6200 South "County Designation") for a future seventy-eight feet (78') wide minor arterial to accommodate future use. When the intersection of 700 South and 800 East is improved, the westerly driveway access may be required to be removed.
  - *Acknowledged. Owner to submit exhibits and deeds to grant ROW/PUEs with contracted PLS.*
2. Requests ten feet (10') public utility easements on the west and south property lines to accommodate existing and future underground utilities.
  - *Acknowledged. Owner to submit exhibits and deeds to grant ROW/PUEs with contracted PLS.*

3. Illustrate the project site boundaries “meets and bounds” on the site plan sheet C-002 to demonstrate property line clarity with locations of requested public utility easements.
  - *Acknowledged. Linework provided from PLS has been added to the civil construction drawings.*
4. Parking quantities for a Veterinary Hospital in this zone are not identified and cannot be verified. The applicant is providing a total of eighteen (18) solid surface parking stalls to accommodate the business operations.
  - *Three additional parallel parking stalls have been added.*

#### **Engineering:**

1. Address plan for drains from the kennel area.
  - *Acknowledged. Drains from the wash area will be routed through a grease trap prior to connecting to the existing sewer lateral. The owner will coordinate with the plumbing/architectural team to connect pertinent drains to the correct discharge source.*
2. Signs should be placed on this side of the building to designate this area as a fire lane.
  - *A no parking sign designating the area as a fire lane has been added to the plans.*
3. Retention basin redlines. Slopes, freeboard, etc.
  - *A grading and drainage plan has been submitted with this submission.*
4. Design storm calculations?
  - *A 48-hour storm was used with a 3.48inch rainfall depth to size the retention pond. The design storm was modeled in AutoDesk Storm and Sanitary Analysis and the user inputs are shown on the grading and drainage plan.*
5. Discussion regarding curb, gutter, and sidewalk.
  - *Owner to coordinate with City on required improvements.*
6. Plans should be made to close this entrance (SW corner) and widen the other access.
  - *Owner to coordinate with City on access closure.*

#### **Fire Department:**

1. On the southwest of the existing building where no parking stalls are proposed (but shows vehicles in the aerial photo) needs to provide a Fire Lane No Parking Sign to secure fire and emergency vehicle access to the rear of the building.
  - *Three additional parallel parking stalls have been added to prevent perpendicular parking that would block the fire lane.*

#### **Parks Department:**

1. Supports Application.

#### **Power Department:**

1. Supports Application.

#### **Sewer Department:**

1. Sewer cleanout in parking lot will need to be DOT rated with an inverted lid.
  - *A detail has been added for the cleanout lid.*
2. Sewer system can only accept human waste, and animal waste must be properly disposed in landfill.
  - *Owner to coordinate animal waste disposal plan.*

#### **Water/Road/Irrigation Department:**

1. This application is being supported by staff.

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#### **PLANNING COMMISSION RESPONSIBILITY:**

1. The Planning Commission should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.

#### **STAFF RECOMMENDATION:**

1. Staff recommends the Planning Commission make a motion specifying conditions and requirements, and staff comments to the City Council.

2. Supports the building and site expansion as proposed to accommodate business operations.

**STIPULATIONS:**

1. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission with revisions; or require the applicant to return revisions to the City Council.

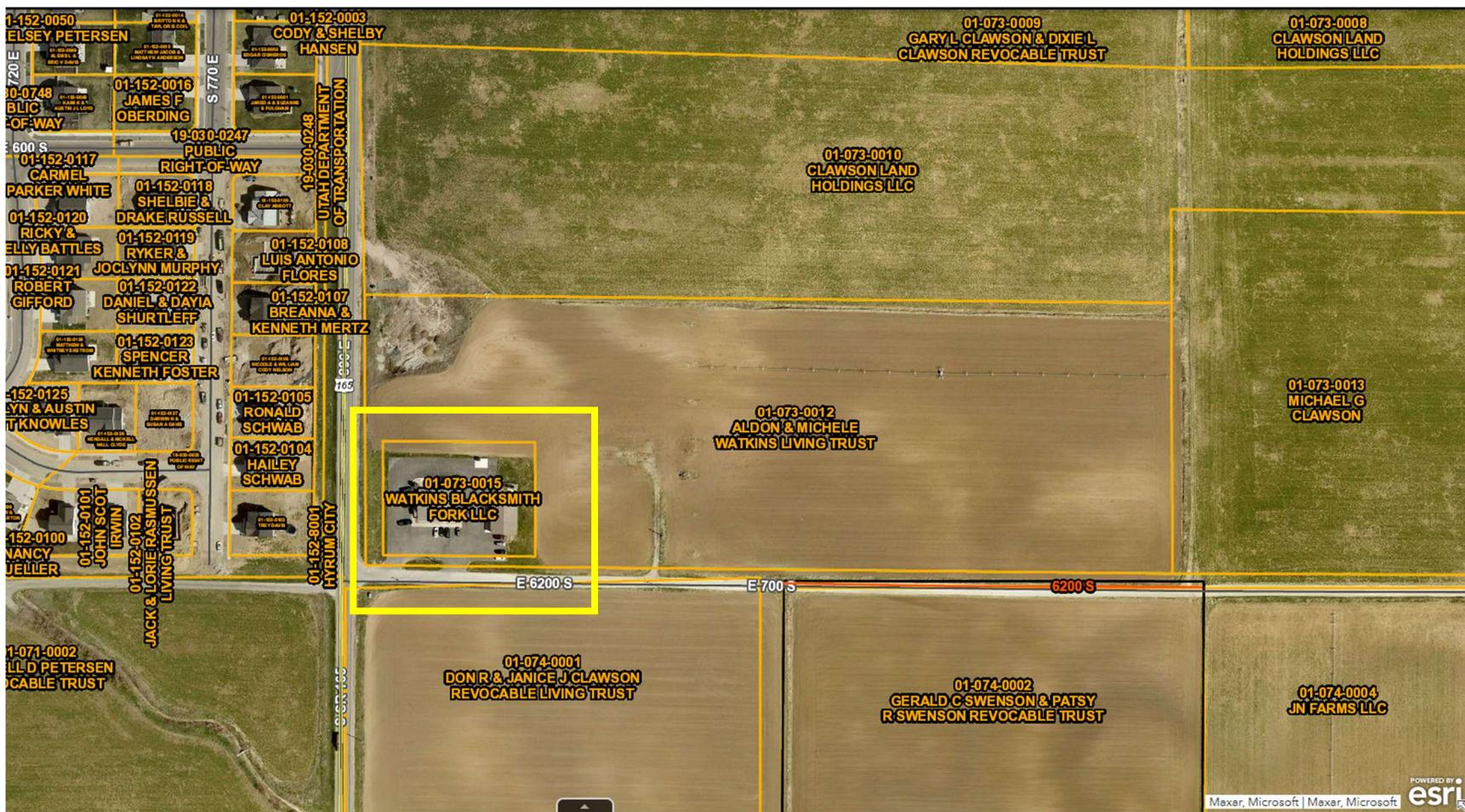
**FINDINGS OF FACT:**

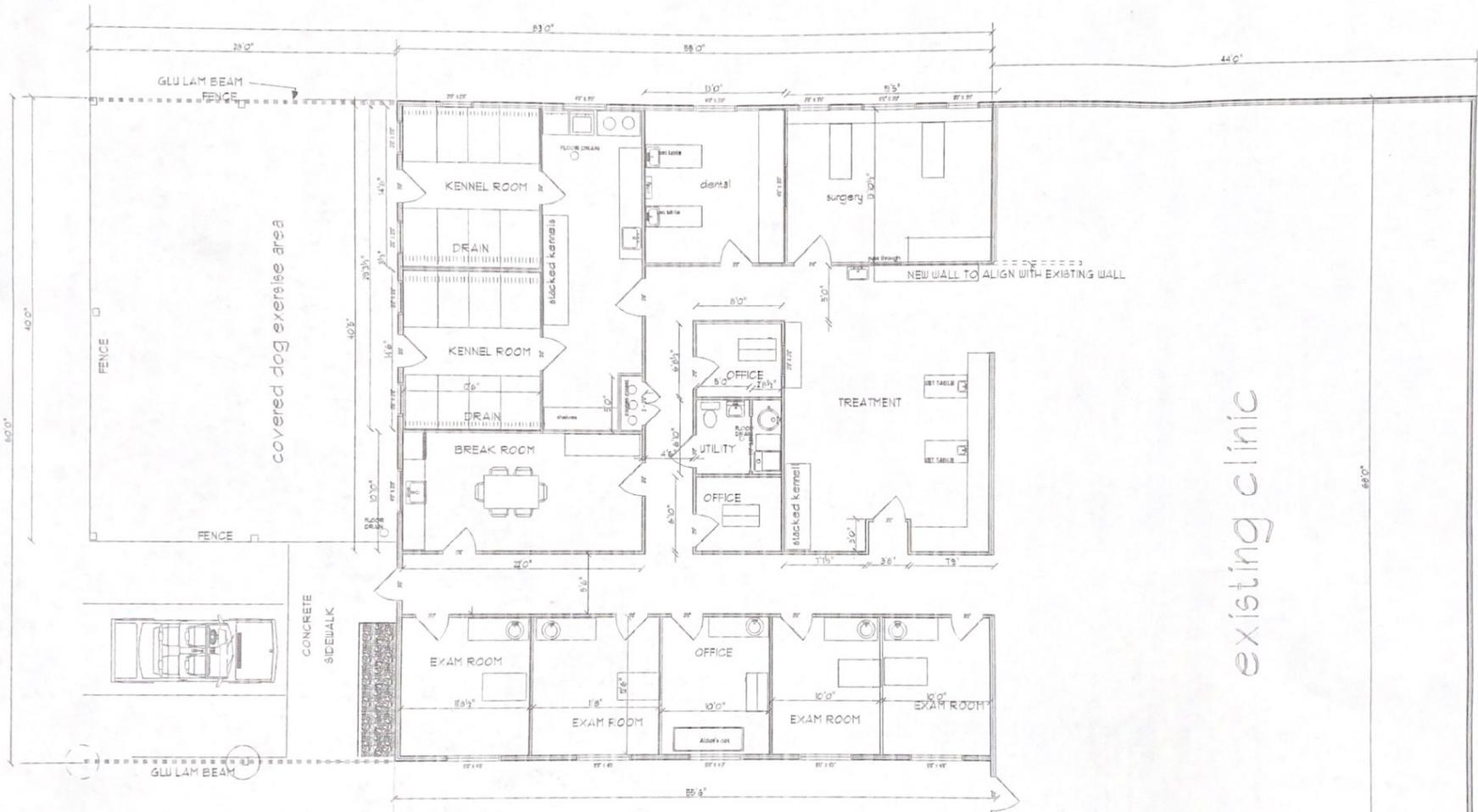
1. The property is located in the Residential Agricultural Zone RA.
  2. Veterinary Hospital is a Conditional Use in Residential Agricultural Zone RA.
- 

**ATTACHMENTS:**

1. Aerial Image
2. Main Floor Plan and Building Elevations
3. Site Plan (Engineering Review)
4. Site Plans (Updated)
5. Lot Line Adjustment (Reference Only, See application 25-0018A)

Cache County Parcel and Zoning Viewer – Aerial Image

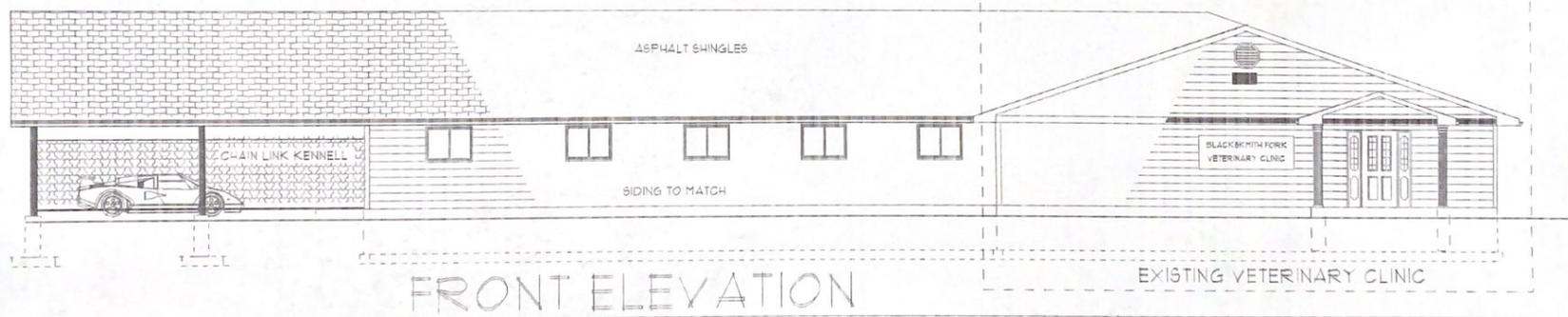
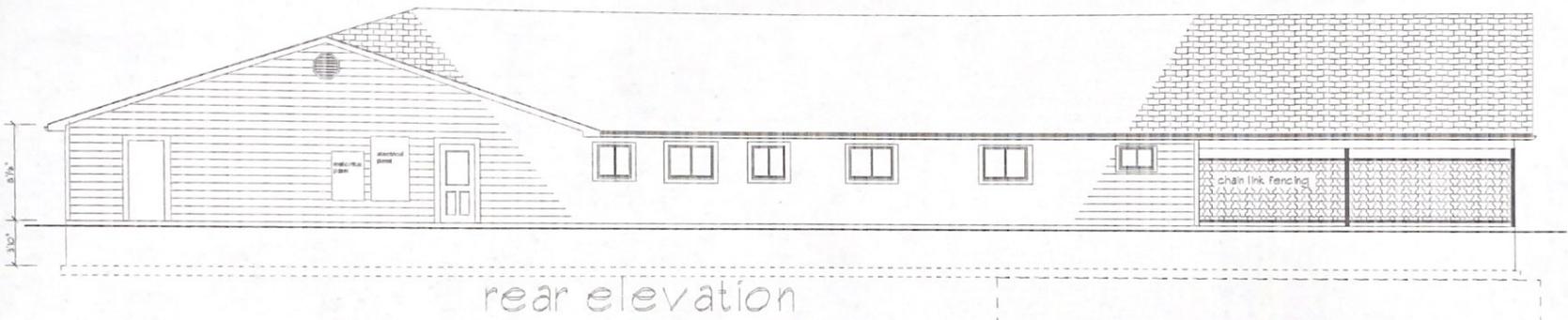
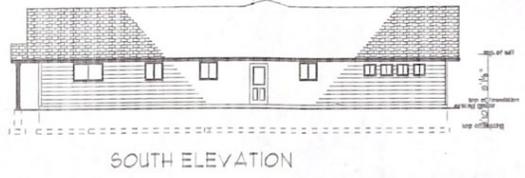
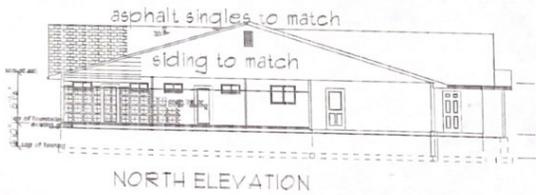




# PROPOSED FLOOR PLAN

Blacksmith Fork Veterinary Clinic  
Addition

*dm design*  
60 West Canyon Road  
Avon, Utah 84328



BLACKSMITH FORK VETERINARY CLINIC  
ADDITION

*dm design*  
60 West Canyon Road  
Avon, Utah 84328

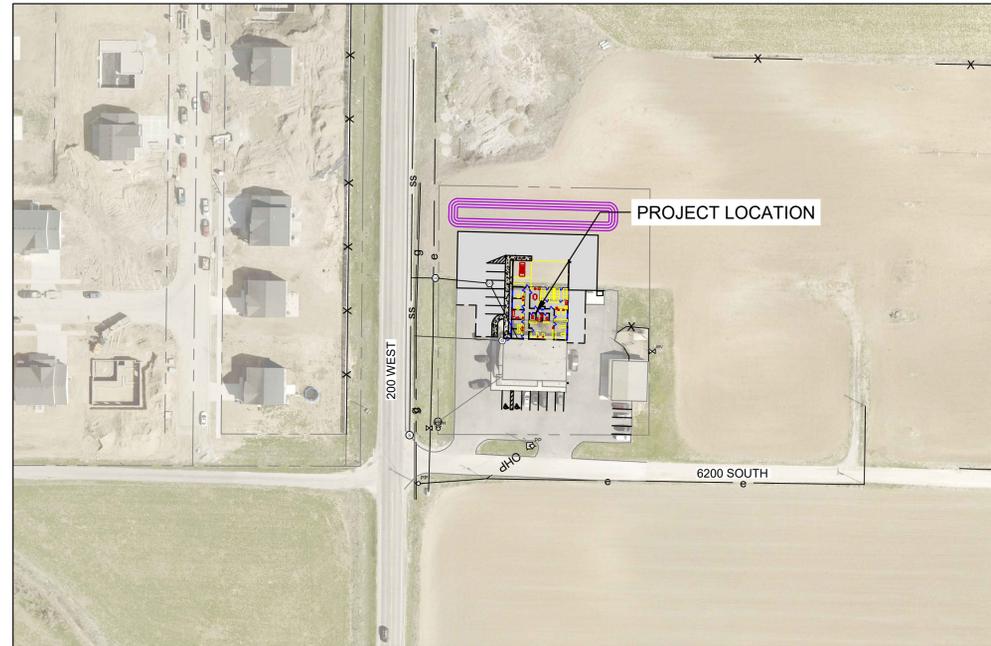
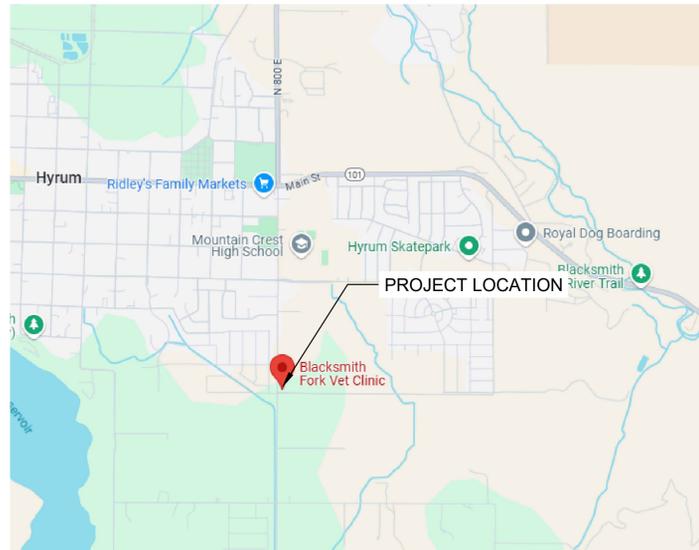
5



# BLACKSMITH FORK VET CLINIC REVIEW SET

16 E 6200 S, HYRUM , UT 84319  
May 8, 2025

VICINITY MAP  
N.T.S.



**PROJECT CONTACT INFORMATION**

DEVELOPER: ALDON WATKINS  
PHONE: (435) 760-3737  
EMAIL: ALDONWATKINS@GMAIL.COM

CIVIL ENGINEER: TYSON GLOVER, PE  
MOUNTAIN ROOTS ENGINEERING, LLC  
PHONE: (435) 237-2030  
EMAIL: TGLOVER@MOUNTAINROOTSENGINEERING.COM

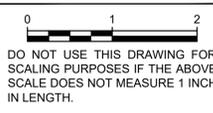
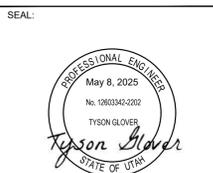
SURVEYOR: KEVIN BALLS, PLS  
ALPENSGLOW  
PHONE: (435) 512-4559  
EMAIL: ALPENSGLOW-ES.COM

**STANDARDS & SPECIFICATIONS:**

- HYRUM CITY CITY PUBLIC WORKS - CONSTRUCTION STANDARDS & SPECIFICATIONS  
[https://www.hyrumcity.gov/sites/default/files/fileattachments/planning\\_zoning\\_amp\\_building/page/2253/construction-standards\\_2022\\_current.pdf](https://www.hyrumcity.gov/sites/default/files/fileattachments/planning_zoning_amp_building/page/2253/construction-standards_2022_current.pdf)



RECORD OF REVISIONS:

THE INFORMATION WITHIN THESE PLANS IS THE PROPERTY OF MOUNTAIN ROOTS ENGINEERING, LLC AND SHALL NOT BE COPIED, MODIFIED, OR USED FOR ANY OTHER PROJECT EXCEPT BY WRITTEN AGREEMENT.



**ABBREVIATIONS:**

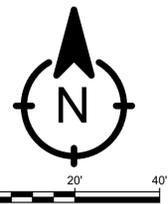
APPROX	APPROXIMATE	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	TBC	TOP BACK OF CURB
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	TOW	TOP OF WALL
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	INV	INVERT ELEVATION
AWWA	AMERICAN WATER WORKS ASSOCIATION	UDOT	UTAH DEPARTMENT OF TRANSPORTATION
BLDG	BUILDING		
CL	CENTERLINE		
CMP	CORRUGATED METAL PIPE		
CO	CLEAN OUT		
DI	DUCTILE IRON		
EA	EDGE OF ASPHALT		
EG	EXISTING GRADE		
EX	EXISTING		
FFE	FINISH FLOOR ELEVATION		
FG	FINISH GRADE		
FH	FIRE HYDRANT		
FL	FLOWLINE		
HDPE	HIGH DENSITY POLYETHYLENE PIPE		
LF	LINEAR FOOT		
LG	LIP OF GUTTER		
MAX	MAXIMUM		
ME	MATCH EXISTING GRADE		
NTS	NOT TO SCALE		
N/A	NOT APPLICABLE		
PR	PROPOSED		
PSI	POUNDS PER SQUARE INCH		
PUE	PUBLIC UTILITY EASEMENT		
PVC	POLYVINYL CHLORIDE PIPE		
RCP	REINFORCED CONCRETE PIPE		
ROW	RIGHT OF WAY		

Sheet List Table	
Sheet Number	Sheet Title
G01	COVER SHEET
C100	DEMOLITION PLAN
C101	SITE & DIMENSION PLAN
C200	GRADING & DRAINAGE PLAN
C500	DETAILS



BLACKSMITH FORK VET CLINIC  
COVER SHEET  
16 E 6200 S, HYRUM , UT 84319

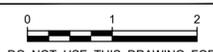
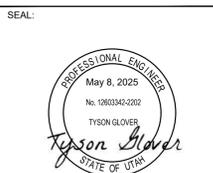
SHEET NO:  
**G01**  
1 OF 5



**GENERAL NOTES:**

1. THE CONTRACTOR SHALL READ ALL OF THE NOTES AND SPECIFICATION AND SHALL BE SATISFIED AS TO THEIR TRUE MEANING & INTENT BEFORE CONSTRUCTION BEGINS.
2. ALL CONSTRUCTION MUST FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF IN UNINCORPORATED), PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER.
3. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE INSTALLED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. WHEN EXISTING FACILITIES ARE REMOVED, DAMAGED, OR CUT IN THE INSTALLATION OF THE WORK OUTLINED IN THESE PLANS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL CONDITION. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
4. ALL TRAFFIC CONTROL, STRIPING & SIGNAGE SHALL CONFORM TO CURRENT GOVERNING AGENCIES STANDARDS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, APPROVALS, AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY, EASEMENT, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.
6. THE LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS PROVIDED BY OTHERS AND LOCAL UTILITY COMPANY RECORDS. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF UNDERGROUND UTILITIES ARE NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE.
7. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING, FENCING, OR OTHER PROVISIONS NECESSARY TO PROTECT PERSONS FROM ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS EXCEEDING 4 FEET IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
8. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, POWER, CABLE, AND INTERNET.
9. CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS.
10. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS, BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
11. ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
12. CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
13. CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS. TO A SMOOTH FINISH.
14. ALL CULINARY WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISH GRADE TO THE TOP OF THE PIPE.
15. ALL CULINARY WATER LINES AND SANITARY SEWER LINES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET, MEASURED FROM PIPE EDGE TO PIPE EDGE. WHEN CROSSING, A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED.
16. THRUST BLOCKS AND RESTRAINED JOINTS WITH MEGA-LUG ADAPTERS ARE REQUIRED ON ALL CULINARY WATERLINE BENDS/FITTINGS. PROTECT ALL BOLTS FROM BEING ENCASED IN CONCRETE.
17. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER AND HYRUM CITY.

RECORD OF REVISIONS:

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**BLACKSMITH FORK VET CLINIC  
DEMOLITION PLAN**  
16 E 6200 S, HYRUM, UT 84319

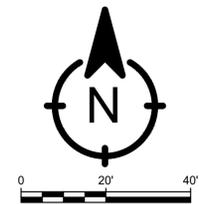
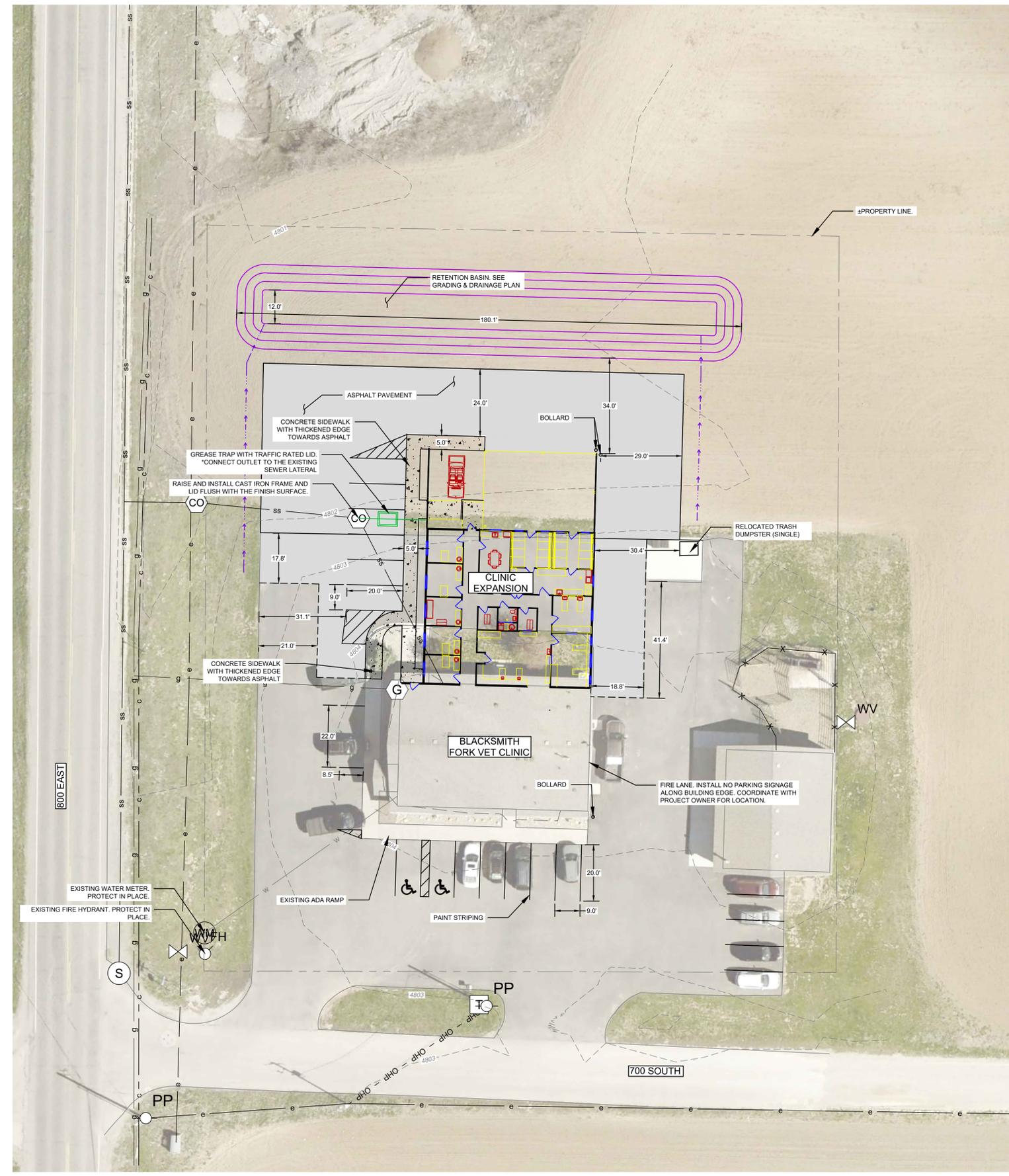
Know what's below.  
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SHEET NO:

C100

2 OF 5



**PARKING:**

- 1. REGULAR 9'X20' STALLS PROVIDED= 15
- 2. ADA STALLS PROVIDED =2
- 3. COVERED PARKING = 1
- 4. PARALLEL PARKING 8.5'X22' PROVIDED= 3

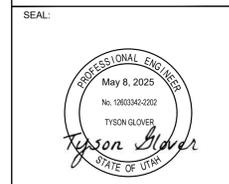
**DETAILS:**

- 1. SEE SHEET C500

**SANITARY SEWER:**

- 1. ALL INTERNAL DRAINS SHALL BE ROUTED THROUGH THE GREASE TRAP PRIOR TO DISCHARGE INTO THE HYRUM CITY SEWER MAIN. SEE ARCHITECTURAL PLUMBING PLANS FOR DETAILS.
- 2. CONTRACTOR SHALL VERIFY THE DEPTH OF THE SEWER LATERAL PRIOR TO ORDERING THE GREASE TRAP.

RECORD OF REVISIONS:

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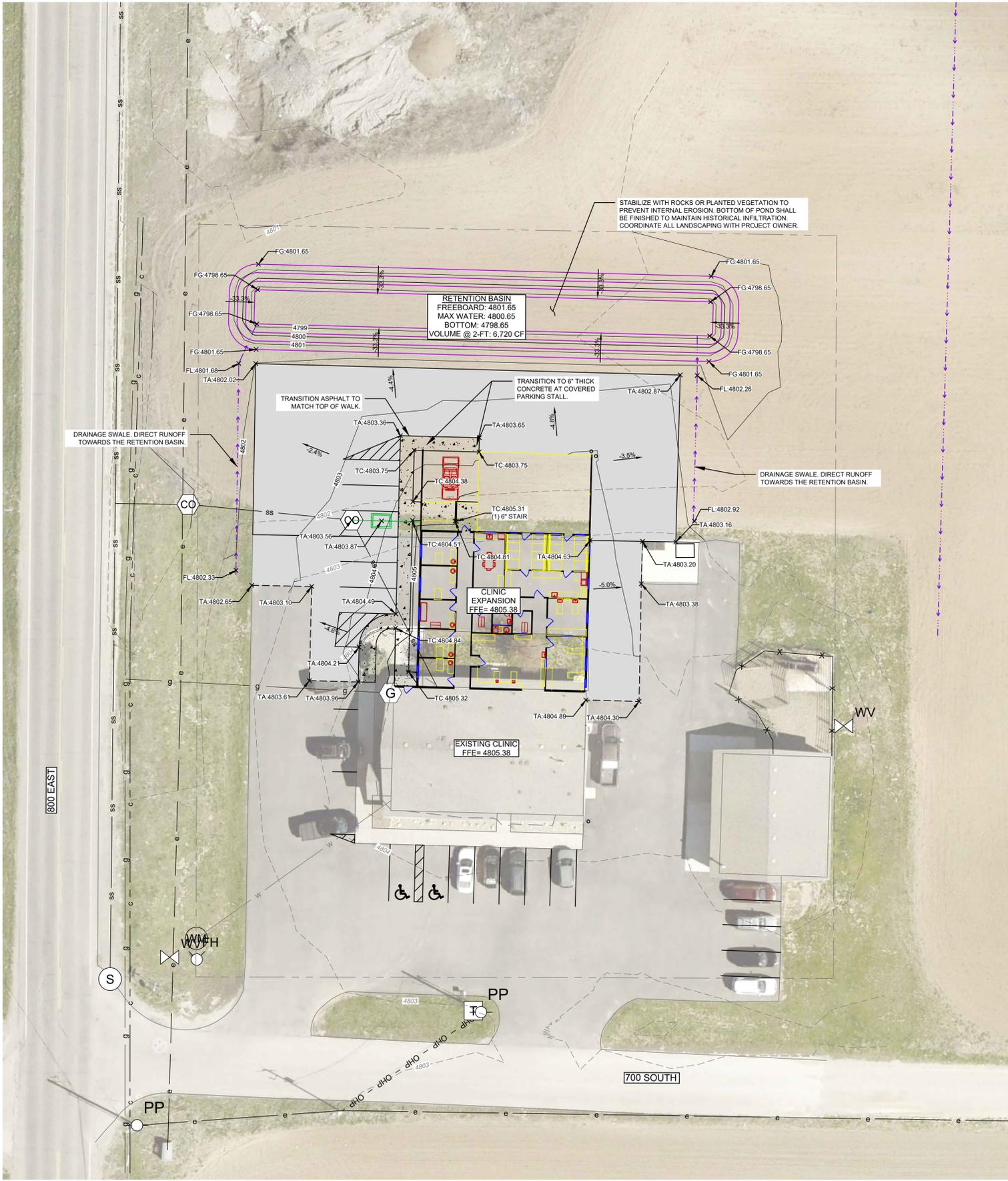
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**BLACKSMITH FORK VET CLINIC  
SITE & DIMENSION PLAN**  
16 E 6200 S, HYRUM, UT 84319

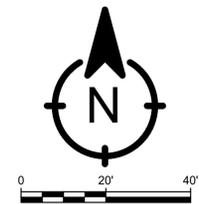


SHEET NO:  
**C101**  
3 OF 5



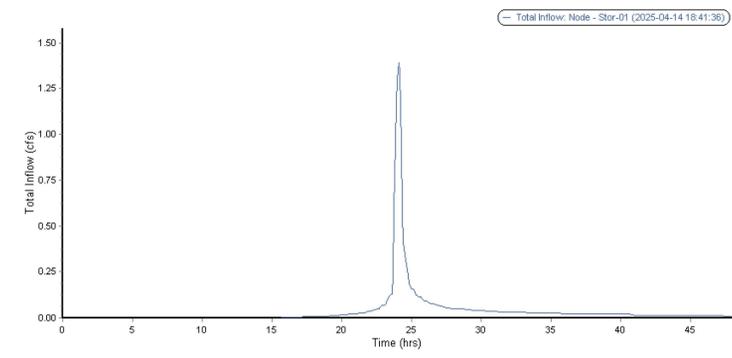
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**STORMWATER:**

1. STORMWATER WAS DESIGNED TO THE 100-YEAR CUMULATIVE STORM FOR CACHE COUNTY, UTAH, WITH A TOTAL RAINFALL AMOUNT OF 3.48 INCHES USING A SCS TYPE II 48-HR STORM DISTRIBUTION PER THE 2017 CACHE COUNTY STORM WATER STANDARDS.



**Total Inflow Summary Table**

Time period	Element ID	Stor-01
From: 04/14/2025, 12:00:00 AM	Maximum Total Inflow (cfs)	1.39
To: 04/16/2025, 12:00:00 AM	Minimum Total Inflow (cfs)	0.00
Thresholds	Event Mean Total Inflow (cfs)	0.04
Exceedance: 0	Duration of Exceedances (hrs)	N/A
Deficit: 0	Number of Exceedances	N/A
Detention storage	Number of Deficits	N/A
Max flow: 0	Volume of Exceedance (RF)	N/A
	Volume of Deficit (RF)	N/A
	Total Inflow Volume (RF)	6592.3
	Detention Storage (RF)	N/A

**Subbasins**

General Subbasin ID: VETCLINIC

Connectivity: Rain gage: 48HR, Outlet node: Stor-01, Peak rate factor: 494

Description:

Physical Properties: SCS TR-55 TOC Curve Number

Area (ac)	Area (%)	Curve Number	Soil Group	Description
0.44000	50.57	98	C	Paved parking & roofs
0.43000	49.43	74	C	> 75% grass cover, Good

Total area: 0.870 ac Total area: 100.00 % Weighted CN: 86.14



**Rainfall Designer**

Rainfall specifications: Cumulative, Utah, Cache, 100 years, 3.48 in, 00:06 hr:mm, 1 day 00:00 hr:mm

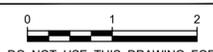
Unit Intensity: SCS Type II 48-hr (selected)

Elapsed Time (H:MM)	Depth (in)
46:24	3.45355
46:30	3.45564
46:36	3.45773
46:42	3.45982
46:48	3.46190
46:54	3.46399
47:00	3.46608
47:06	3.46817
47:12	3.46886
47:18	3.47026
47:24	3.47165
47:30	3.47304
47:36	3.47443
47:42	3.47582
47:48	3.47722
47:54	3.47861
48:00	3.48000

Cumulative Storm graph showing Depth (in) vs Elapsed Time (hours).

RECORD OF REVISIONS:


SEAL:



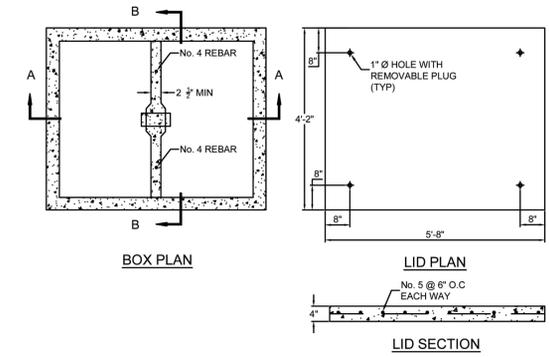
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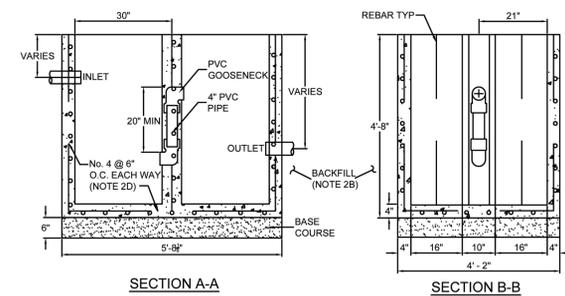
**MOUNTAIN ROOTS**  
 ENGINEERING  
 (435) 237-2030  
 WWW.MOUNTAINROOTSENGINEERING.COM

**BLACKSMITH FORK VET CLINIC**  
**GRADING & DRAINAGE PLAN**  
 16 E 6200 S, HYRUM, UT 84319

SHEET NO:  
**C200**  
 4 OF 5

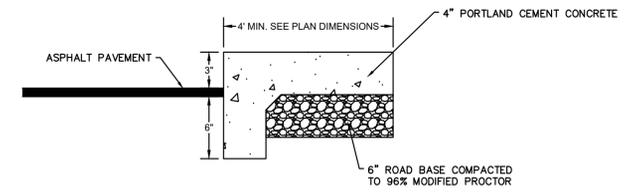


**BOX PLAN**  
**LID PLAN**  
**LID SECTION**

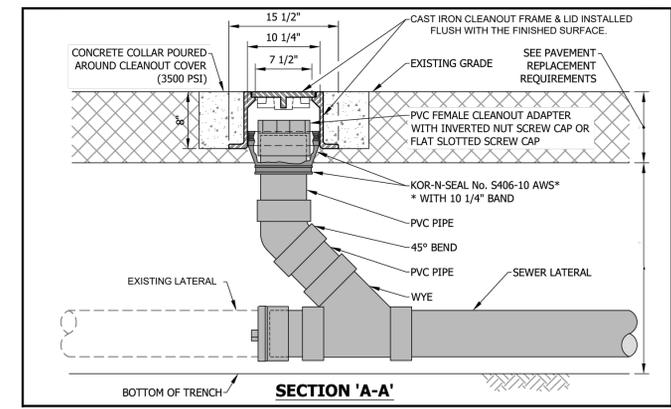


**SECTION A-A**  
**SECTION B-B**

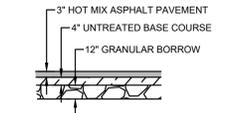
**GREASE TRAP**  
N.T.S.



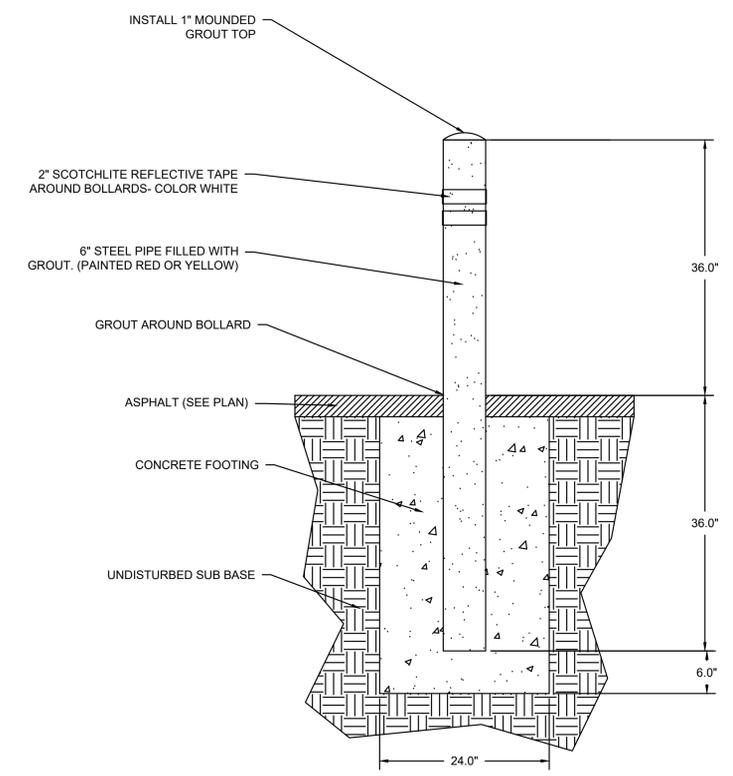
**THICKENED EDGE SIDEWALK**  
N.T.S.



**CLEANOUT**  
N.T.S.



**STANDARD ASPHALT SECTION**  
N.T.S.



**BOLLARD**  
N.T.S.

RECORD OF REVISIONS:


SEAL:

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**C500**  
5 OF 5

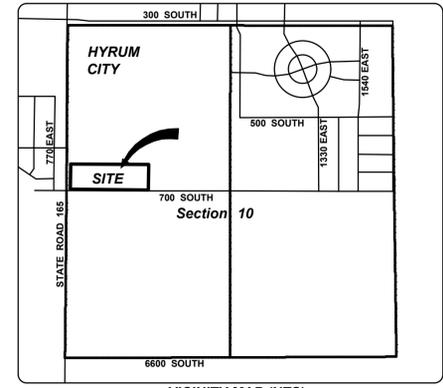
**ADJUSTED PARCELS LEGAL DESCRIPTIONS**

PARCEL NO. 01-073-0012  
XXXX

PARCEL NO. 01-073-0015  
XXXX



SCALE 1" = 100'



VICINITY MAP (NTS)

**RECORD OF SURVEY**

PREPARED FOR:

**ALDON WATKINS**

LOCATION: HYRUM, UTAH

LOCATED IN THE NW 1/4 OF SECTION 10, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, CACHE COUNTY, UTAH.

**LEGAL DESCRIPTIONS**

WARRANTY DEED ENTRY NO. 1345391  
BEGINNING 10 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN THENCE EAST 1310 FEET (TO THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER SAID SECTION), THENCE NORTH 429 FEET, THENCE WEST 1310 FEET, THENCE SOUTH 429 FEET TO THE POINT OF BEGINNING.  
LESS A PARCEL BEGINNING AT A POINT 31.8 FEET EAST AND 24.1 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 10 (EAST 10 FEET MORE OR LESS BY RECORD) RUNNING THENCE SOUTH 89°14'17" EAST 242 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF 6200 SOUTH STREET, THENCE NORTH 180.00 FEET, THENCE NORTH 89°14'17" WEST 242.00 FEET TO THE EAST RIGHT-OF-WAY OF STATE HIGHWAY 165, THENCE FOLLOWING SAID RIGHT-OF-WAY LINE SOUTH 180.00 FEET TO THE POINT OF BEGINNING.

WARRANTY DEED ENTRY NO. 1345392  
A PARCEL OF LAND LOCATED IN SECTION 10, TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, BEING FURTHER DESCRIBED AS: BEGINNING AT A POINT 31.8 FEET EAST AND 24.1 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 10 (EAST 10' + OR - BY RECORD) RUNNING THENCE SOUTH 89°14'17" EAST 242.00 FEET ALONG THE NORTH RIGHT OF WAY LINE OF 6200 SOUTH STREET, THENCE NORTH 180.00 FEET, THENCE NORTH 89°14'17" WEST 242.00 FEET TO THE EAST RIGHT OF WAY OF STATE HIGHWAY 165, THENCE FOLLOWING SAID RIGHT OF WAY LINE SOUTH 180.00 FEET TO THE POINT OF BEGINNING.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISH AS N00°33'22"E 2050.32 FEET MEASURED BETWEEN THE WEST QUARTER CORNER AND NORTHWEST CORNER OF SECTION 10, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, IN CONFORMANCE WITH UTAH STATE PLANE NORTH ZONE BEARINGS (NAD83). DEEDS AND/OR PLATS OF RECORD HAVE BEEN ROTATED TO MATCH THE BASIS OF BEARINGS OR TO OTHER SECTION/MONUMENT LINES RELATIVE TO SAID BASIS OF BEARINGS.

**SURVEY NARRATIVE**

THE PURPOSE OF THIS SURVEY WAS TO ESTABLISH THE PHYSICAL LOCATION OF AND BOUNDARIES FOR THE PARCELS REFERENCED IN WARRANTY DEEDS ENTRY NOS. 1345391 AND 1345392. TO DETERMINE THE PROPERTY BOUNDARIES, EXISTING SECTION CORNER MONUMENTS, FENCE LINES, AND SURROUNDING RECORDS OF SURVEYS WERE CAREFULLY ANALYZED. THE SPECIFIC BOUNDARY CONCLUSIONS ARE AS FOLLOWS:

- NORTH AND EAST BOUNDARIES: THESE BOUNDARIES ARE DEFINED BY LONG-STANDING FENCE LINES THAT HAVE SEEMINGLY SERVED AS THE COMMON BOUNDARY FOR ADJOINING PROPERTIES. TO ADDRESS POTENTIAL DISCREPANCIES IN RECORD TITLE, IT MAY BE BENEFICIAL TO FORMALIZE BOUNDARY ESTABLISHMENT AGREEMENTS, AS UNWRITTEN RIGHTS TO THESE FENCE LINES MIGHT ALREADY EXIST.
- SOUTH BOUNDARY: THIS BOUNDARY ALIGNS WITH THE SECTION LINE AS IT IS CURRENTLY MONUMENTED.
- WEST BOUNDARY: THE WEST BOUNDARY WAS DETERMINED TO BE A 33-FOOT OFFSET FROM THE CURRENTLY MONUMENTED SECTION LINE. THIS OFFSET ALIGNS WITH THE RIGHT-OF-WAY DESIGNATED FOR THE "JARED CLAWSON MINI SUBDIVISION." HOWEVER, NO FORMAL RIGHT-OF-WAY DOCUMENTATION COULD BE IDENTIFIED IN THE TITLE RECORDS OR UDOT PROJECT MAPS. ADDITIONALLY, THE RIGHT-OF-WAY FENCING SHOWN ON UDOT PROJECT F.A.S.P. NO 8-A IS NO LONGER PRESENT.
- BOUNDARY MARKINGS: ALL BOUNDARY CORNERS WILL BE MARKED WITH #5 REBAR AND CAPS (ALPENGLOW PLS 11207308), AS INDICATED IN THIS DOCUMENT.

**SURVEYOR'S CERTIFICATE**

"I, KEVIN M. BALLS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 11207308-2201 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) THAT I HAVE MADE A SURVEY AND/OR SUPERVISED THE SURVEY OF THE LAND SHOWN AND DESCRIBED HEREON AND THAT IT IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PLAT DOES NOT REPRESENT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LANDS SHOWN HEREON."

KEVIN M. BALLS  
PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 11207308-2201

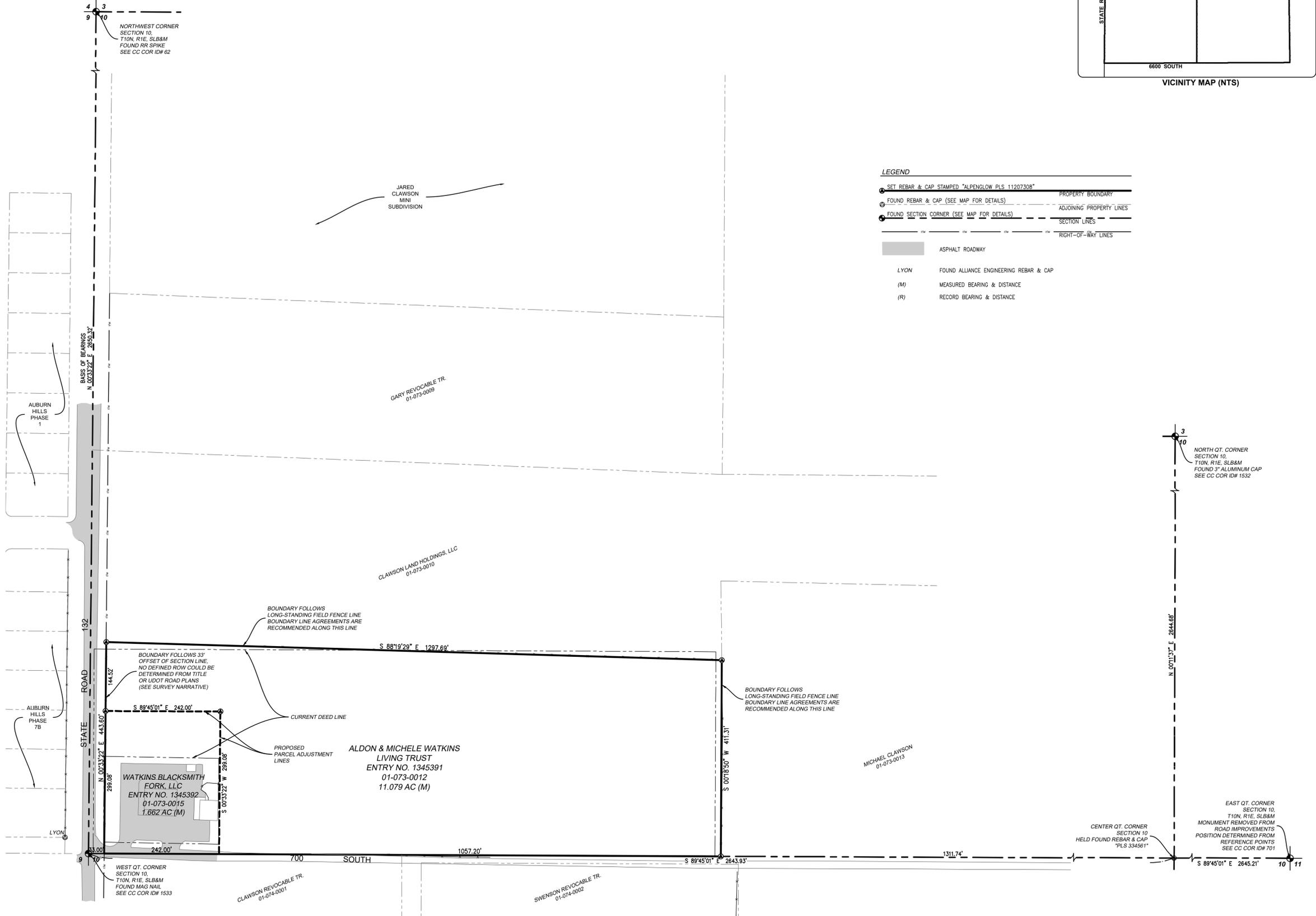
**GENERAL NOTES**

- THIS SURVEY IS NOT A CERTIFICATION OF TITLE OR PROOF OF OWNERSHIP. THIS SURVEY IS A REPRESENTATION OF OPINION BASED ON FACTS AND EVIDENCE. IF NEW EVIDENCE IS DISCOVERED THE SURVEYOR RESERVES THE RIGHT TO MODIFY OPINION PER NEW EVIDENCE.
- THIS PLAT, ITS CREATION THEREOF, AND ACCOMPANYING FILES, IS THE PROPERTY OF ALPENGLOW ENGINEERS & SURVEYORS. IT IS FOR THE EXCLUSIVE USE OF THE CLIENT REFERENCED ON THE SURVEY. IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECT SUPERVISION OF THE PROFESSIONAL LAND SURVEYOR, TO MODIFY OR ALTER ANY ITEM ON THIS DOCUMENT.
- IF THE CREATION OF A NEW LEGAL DESCRIPTION IS PROVIDED HEREON, AS DIRECTED BY THE CLIENT, NECESSARY TO RESOLVE BOUNDARY LINE CONFLICTS, OR TO CHANGE OR CREATE PARCELS, IT SHOULD BE UNDERSTOOD THAT SAID LEGAL DESCRIPTIONS ARE NOT A MEANS OF CONVEYANCE AND DOES NOT REPLACE EXISTING LEGAL DESCRIPTIONS WITHOUT PERFORMING THE APPROPRIATE LEGAL MEANS TO DO SO.
- THIS PLAT DOES NOT PURPORT TO SHOW EASEMENTS, ZONING, SETBACK LINES, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OTHER USE RESTRICTIONS WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY UNLESS OTHERWISE STATED. UTILITIES HAVE BEEN SHOWN HEREON BASED ON OBSERVED EVIDENCE. ANY INDICATION OF UNDERGROUND UTILITIES THAT MAY BE SHOWN ON THIS PLAT ARE BASED ON OBSERVABLE SURFACE EVIDENCE ONLY. BY EXCAVATION CAN THE EXACT LOCATION OF UNDERGROUND UTILITIES BE DETERMINED. CONTRACTORS OR OTHERS THAT PERFORM SITE WORK ARE ADVISED TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION BY CONTACTING CORRESPONDING UTILITY COMPANIES.

**ALPENGLOW ENGINEERS & SURVEYORS, LLC**  
Serving Northern Utah and Surrounding areas.  
Phone: 435.512.4559  
office@alpengineers-es.com

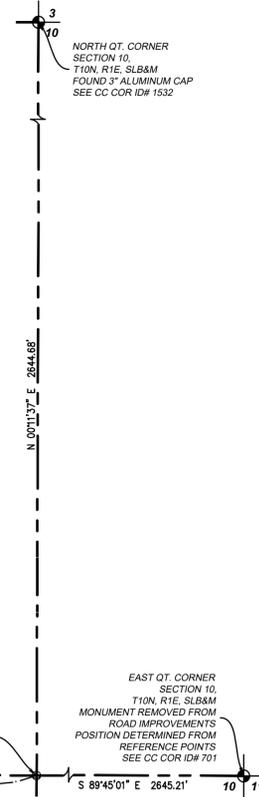
NO.	DATE:	DESCRIPTION:

PROJECT #: 25-014      SCALE: 1" = 100'  
DRAWN BY: KMB      DATE: 04-15-2025      SHEET 1 OF 1



**LEGEND**

- SET REBAR & CAP STAMPED "ALPENGLOW PLS 11207308" - PROPERTY BOUNDARY
- FOUND REBAR & CAP (SEE MAP FOR DETAILS) - ADJOINING PROPERTY LINES
- FOUND SECTION CORNER (SEE MAP FOR DETAILS) - SECTION LINES
- RIGHT-OF-WAY LINES
- ASPHALT ROADWAY
- LYON - FOUND ALLIANCE ENGINEERING REBAR & CAP
- (M) - MEASURED BEARING & DISTANCE
- (R) - RECORD BEARING & DISTANCE





## MEMORANDUM

---

**TO:** Mayor Miller, City Council Members

**FROM:** Matt Holmes, City Engineer

**SUBJECT:** Jesse Elsmore, Jardine Builders, LLC – To request site plan approval for two (2) two-story mixed-use buildings located at 139 West Main Street & 127 West Main Street, consisting of 0.96 acres.

**DATE:** May 9, 2025

---

**CITY COUNCIL MEETING:** May 15, 2025  
**CITY COUNCIL ROLE:** Administrative  
**APPLICATION TYPE:** Site Plan Approval

**NATURE OF REQUEST:**  
 Permitted Use: Mixed Use Commercial.

**OVERVIEW:**

On January 28, 2025, Hyrum City received an application for Site Plan Approval for The Market 1860 project which includes two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The footprint of each building is planned at 40-feet by 70-feet. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter. The second level in each building will consist of six and seven short-term hotel style residential units with single and double-bed units. Each building will also include a common laundry facility on the same floor.

On May 1, 2025, the City Council continued the application to coordinate addition Site Plan Approval Conditions. See responses attached and referenced herein as Exhibit “A”.

Note: UDOT has stated support for the change of curbing and access driveway approaches.

---

**ATTACHMENTS:**

1. May 1, 2025 City Council Memorandum
2. Staff Evaluations March 25, 2025/February 13, 2025 with updated Applicant Submittals:
3. Storm Water Calculations: Received April 21, 2025

**Exhibit "A"**

Friday, May 9, 2025  
Hyrum City  
60 West Main Street  
Hyrum, UT 84319

Subject: Market 1860 Site Plan Approval Condition Requests

Attn. Hyrum City Mayor and Council Members

Following are responses from the owners of the proposed Market 1860 project concerning the condition items given by the city at the City Council meeting, held May 1, 2025

**1. Coordinate the building floor plans such that the kitchen hood does not exit the side of the building (applicable to Building #2, specifically).**

**Owner response:**

If kitchens are built into the commercial spaces, all building codes and requirements for commercial kitchens will be met and kitchen fans will not exit the east side wall of building #2.

**2. Address the building elevation drawings so that the street fronts fit with the neighborhood.** *...discussed Section 17.08.100 (F.) "... harmonious and beneficial relation among the buildings and uses in the area..." and Section 17.45.080 Residential Entrances ...residential units in a mixed-use site, shall provide access to the residential units from the in true ground floor and shall lead from the main travelway or common area. Such entrances shall be designed with separate architectural features, such as varied facade depth and color, canopies, stairs, etc.*

**Owner response:**

The buildings shown on the proposed plan are relative in height and size to surrounding homes and commercial buildings and are similar in design style.

All entrances to the buildings, including entrances to the residential upper floor, will have extra architectural features such as awnings, varied colors, varied facade, etc. These entrances will, as all areas of the project, meet fire code requirements.

**3. Replace the deep gutter section on Main Street with a 6" curb and gutter.**

**Owner response:** We understand and agree with the benefit of lowering the curb and gutter. After site plan approval, if the cost is reasonable, we are willing to work with the city and UDOT on this project.

**4. Developer and Hyrum City to jointly petition UDOT for a reduced width necessary for the development without extending westward beyond the commercial driveway.**

**Owner response:** After site plan approval, we would appreciate the City's help to petition UDOT to reduce the width of the proposed driveway and separate the commercial and residential driveways. This is an important matter for a variety of reasons.

## Exhibit "A"

**5. Trailer parking is not to be allowed in the parking lot or overnight on Main Street.**

**Owner response:** All short term rental agreements include stipulations on several items including parking. Our agreements signed by guests, will include information about the parking spaces they are allowed to use and restrictions concerning trailer parking on the lot or on the street. This is not only important to our neighbors but it is also important to the business owners and the guests.

**6. The condition was made that at the south end of the parking lot the hard surface at the south part of the snow removal area should be removed (would recommend 5 ft wide) to allow for landscape trees to be planted to screen the residential property.**

**Owner response:** The 5 foot landscape area including trees will be added to the landscape design plan on the south edge of the parking lot

**7. Address the concern about loud parties, and loud music, etc. that was a concern with the westerly building based on the project narrative describing expected building use.**

**Owner response:** As a C2 mixed use space zone, the main floor commercial areas could be used by a variety of businesses as stated in the code. 17.45.020 Use Regulations

The narrative was given as an example of some uses suggested by Hyrum residents as to what they would like to see in the downtown area and by business owners that may be interested in the space.

Lease agreements of these spaces cannot be pursued until after site plan approval and no decisions have been made at this point about any specific types of businesses that would be placed in specific areas of the buildings. The enclosed patio was placed as an option for uses such as a restaurant with outdoor dining, a cafe or book store with outdoor seating, an outdoor space for an art class, etc.

Any businesses owners doing business in the proposed commercial spaces will be required to adhere to all city noise ordinances and fire code occupancy requirements. All businesses will be required to close at a designated reasonable time not only for the benefit of the neighbors but also that of the guests. And all businesses will have staff on duty to monitor the business during business hours.

The Owner recognizes the concerns of the City with respect to the conditions, and has herewith provided the above written response, and respectfully requests that the Market 1860 Site Plan be approved upon approval of the response to the conditions noted at the next scheduled City Council Meeting.

Sincerely,



Andrea Nielsen



## MEMORANDUM

**TO:** Mayor Miller, City Council Members

**FROM:** Tony Ekins, City Planner

**SUBJECT:** Jesse Elsmore, Jardine Builders, LLC – To request site plan approval for two (2) two-story mixed-use buildings located at 139 West Main Street & 127 West Main Street, consisting of 0.96 acres.

**DATE:** April 28, 2025

**CITY COUNCIL MEETING:** May 1, 2025  
**CITY COUNCIL ROLE:** Administrative  
**APPLICATION TYPE:** Site Plan Approval

**NATURE OF REQUEST:**  
 Permitted Use: Mixed Use Commercial.

### OVERVIEW:

On January 28, 2025, Hyrum City received an application for Site Plan Approval for The Market 1860 project which includes two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The footprint of each building is planned at 40-feet by 70-feet. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter. The second level in each building will consist of six and seven short-term hotel style residential units with single and double-bed units. Each building will also include a common laundry facility on the same floor.

On March 27, 2025, the Planning Commission recommended approval of the mixed-use to the City Council for the main level commercial space and second level short-term hotel style residential units, as the *Hotel or Motel* use is specifically defined and permitted in the Commercial Zone C-2:

#### *HCC 17.04.020 Definitions*

***Hotel or motel*** - “Hotel” or “motel” means any building which is designed to offer temporary abiding space to individuals and family. To be classified as a hotel or motel, it shall contain individual guest rooms and provide services such as linens and furnishings.

#### *HCC 17.45.020 Use Regulations*

##### *A. Permitted Uses:*

##### *4. Hotel or motel*

Following the Planning Commission's recommendation on March 27, 2025, the Scope Narrative revised the second level use from "short-term hotel style residential units" to "hospitality boutique units". Hyrum City Code does not specifically describe "Hospitality Boutique" and staff recommends the City Council have a thorough discussion to determine if a "Hospitality Boutique" meets the qualifying Hotel or motel requirements as defined in HCC 17.04 Definitions and HCC 17.45 Commercial Zone C-2.

**PLANNING COMMISSION RECOMMENDATION:**

On February 13, 2025, the applicant presented to the Planning Commission a request for site plan approval. The Planning Commission recommended the requestor to respond to staff evaluation first review comments and schedule a second meeting. On March 27, 2025, the Planning Commission held a second meeting and made a motion to recommend approval to the City Council (4-0 Vote) for site improvements, first-level commercial, and second-level short-term hotel based on applicant submittals, staff evaluations, staff comments are addressed, and ADA parking requirements are accommodated.

**CITY COUNCIL RESPONSIBILITY:**

1. The City Council should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.
2. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission for significant revisions.

**STAFF RECOMMENDATION:**

1. Hyrum City Code does not specifically describe "Hospitality Boutique" and staff recommends the City Council have a thorough discussion to determine if a "Hospitality Boutique" meets the qualifying Hotel or motel requirements as defined in HCC 17.04 Definitions and HCC 17.45 Commercial Zone C-2.
2. Parcels 01-050-0023 and 01-050-0024 be combined and recorded to the Cache County Recorder's Office as one (1) parcel prior to building or sign permits issued.

**STIPULATIONS:**

1. Upon site plan approval, construction drawings will be required for any public works construction or improvement for approval by the City Engineer.
2. Approval of the site plan shall be effective for one (1) year from the date of final approval by the City Council. If construction has not begun during that period, or an extended by the City Council, the site plan approval is void and applicant shall be required to submit a new site plan for review and approval subject to the then existing provisions of this code.
3. Changes in use from those approved by this Site Plan Approval will require a site plan or site plan waiver as regulated by HCC 17.08 Administration and Enforcement.
4. The applicant will submit and obtain a building permit as regulated by HCC 15.08 Building and Construction.
5. The applicant will submit and obtain a sign permit as regulated by HCC 17.72 Signs.

**FINDINGS OF FACT:**

1. The property is located in the Commercial Zone C-2.
2. Mixed Commercial Uses are a permitted use in the Commercial Zone C-2.

**ATTACHMENTS:**

1. Staff Evaluations: March 25, 2025 and February 13, 2025
2. Storm Water Calculations: Received April 21, 2025



## PLANNING COMMISSION STAFF EVALUATION – SECOND REVIEW

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**APPLICATION NO:** 25-002A

**APPLICANT:** Jesse Elsmore, Jardine Builders, LLC

**PROPERTY OWNER:** Andrea Nielsen / John Kimball Jr & Virginia Francis

**PROPERTY ADDRESS:** 139 West Main Street & 127 West Main Street

**PARCEL NUMBER:** 01-050-0023 & 01-050-0024

**PARCEL AREA:** 01-050-0023 = .33 Acres / 01-050-0024 = 0.63 Acres (0.96 Acres)

**ZONE:** Commercial Zone C-2

**DATE:** March 25, 2025

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<b>PLANNING COMMISSION MEETING:</b>	March 27, 2025 (Special Meeting)
<b>PLANNING COMMISSION ROLE:</b>	Recommending Body to City Council
<b>APPLICATION TYPE:</b>	Site Plan Approval

**NATURE OF REQUEST:**

Permitted Use: Mixed Use Commercial.

**CURRENT ZONING DISTRICT:**

**Commercial Zone C-2:** The C-2 Downtown Mixed-Use Zone is designed to preserve the mixed-use nature and feel of downtown Hyrum, providing for office, commercial, and residential uses within a mixed-use setting. A major objective of the C-2 Downtown Mixed-Use Zone is to create aesthetically pleasing streetscapes with landscaping that buffers sidewalks from major vehicular traffic ways, landscape features, recreational amenities, and social gathering areas that promote a walkable community.

**OVERVIEW:**

(updated). The applicant would like to develop the property with two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter. See Applicant's Scope Narrative additional site improvements.

**UTILITIES:** Existing Power, Sewer, Water, Irrigation servicing 127 West Main Street are for a Single-Family Residential Home. Upgrades will need to be built/installed.

**STAFF COMMENTS:**

*Requestor responses in red*

**Planning and Zoning:**

1. The Planning Commission recommend site plan approval to the City Council based on the applicants compliance with staff evaluations and staff comments, applicant

submittals, and any additional Planning Commission recommendations. The City Council can require revisions as necessary.

- *Understood*
2. The dwelling unit(s) in each building engage the following code requirements to require a separate sewer lateral to each building for a total of two (2) sewer laterals:
    - a. Hyrum City Code 17.04.070 Definitions: "Dwelling unit" means one or more rooms in a dwelling, apartment hotel or apartment motel, designed to be occupied by one family for living and sleeping purposes.
    - b. Hyrum City General Requirements and Specifications for Sanitary Sewer Installations 5.2.1.C. Design Regulations: Each dwelling unit shall be served by an individual lateral.
    - c. *(Reference Sewer Department Comment #1 in Staff Evaluation First Review)*
    - *Separate sewer laterals have been provided and a 3rd was added for the first floor commercial units in the East building where potential restaurant spaces may be built-out*

#### **Engineering:**

1. See attached comments contained on Site Plan – Second Review.
  - *Comments and subsequent direction from the City have been incorporated in this update of the Site Plan*
2. Provide stormwater calculations and data. Table A was not provided in the submittal, see Engineering comments on sheet: 2 of 10.
  - *Storm water calculations are included with this Site Plan update*
3. The utility plan is lacking information, see Engineering comments on sheet: 2 of 10.
  - *Utility plan has been updated to include 8-inch water lateral and 4 water meters*
4. Streetscape requirements are not being shown as required by Hyrum City Code 17.45.090 Streetscape Features.
  - *Project consists of a 165-foot street frontage which requires 6 streetscape features (1 for every 30 feet). Site plan includes and calls out the following streetscape features: 2 trees, 2 park benches, and 2 planter areas, 1 existing street lamp*

#### **Sewer Department:**

1. Each dwelling unit shall be served by an individual lateral per Construction Standard 5.2.1.C. Drawings show one shared lateral for two dwellings which is not to standard. *(Reference Sewer Department Comment #1 in Staff Evaluation First Review)*
  - *Separate sewer laterals have been provided and a 3rd was added for the first floor commercial units in the East building where potential restaurant spaces may be built-out.*

#### **Water / Irrigation Department:**

1. If the original water meter and lateral is used as part of the total of four (4) new, the existing water meter and lateral will need to be updated to comply with Hyrum City Code 13.04 Water System; Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines and Secondary Pressure Irrigation Installations. *(Reference Water / Irrigation Comment #1 in Staff Evaluation First Review)*
  - *Utility plan has been updated to include 4 new water meters, existing meter will be removed and lateral abandoned per city requirements*
2. If the existing water meter and lateral is not used as part of the total of four (4) new, the existing water meter shall be removed, and the existing water lateral will be removed at main line and the main line be capped. *(Reference Water / Irrigation Comment #1 in Staff Evaluation First Review)*
  - *Site plan shows existing water meter will be removed and lateral abandoned per city requirements.*

**STAFF EVALUATION FIRST REVIEW - Planning Commission: February 13, 2025****Requestor responses in red****Planning and Zoning:**

1. Staff supports a Mixed Use of Commercial and Hotel as permitted in HCC 17.45.020 Use Regulations.
  - **Yes!**
2. Staff did not receive the required Lighting Plan submittal. HCC 17.45.120 requires that each site plan shall include a lighting plan.
  - **Lighting Plan has since been completed and submitted with Site Plan documents**
3. Staff does not support the west building crossing the east property line of property parcel: 01-050-0023 as proposed on the site plan and recommends combining the two property parcels. HCC 17.45.050 Yard Regulations – Commercial Use may permit a zero-yard setback at a property line at a qualifying location; however, it does not qualify a building to encroach beyond a property parcel. If the applicant desires to relocate the said building to a conforming location on the parcel, Staff will request the following revisions to the site plan:
  - a. Each property parcel is serviced by separate power, sewer, water and water meters, fire line (if required), and irrigation connections to main lines; and
    - **Parcel 0023 and 0024 are owned by individual Market 1860 partners; partners are in process of selling & transferring ownership to the Market 1860 entity which will result in single ownership. Applicant requests that Commission allow Site Plan Approval on condition that this is completed before issue of building permit**
  - b. Cross access agreements need to be prepared and recorded to each property parcel for UDOT driveway approach interior parking.
    - **Cross access agreement has been addressed with UDOT and per UDOT will not be signed until issue of building permit**
4. The site plan proposes parking stalls to be a minimum of eight (8) feet in width and does not identify the proposed parking stall depth. In the C-2 Zone, HCC 17.45.210.C. Off-Street Parking – Special Requirements requires the site plan to provide nine (9) feet by twenty (20) feet parking stalls.
  - **Parking stall sizes have been revised to 9 feet wide by 20 feet deep**
5. The applicant did not submit a total parking stall count on the site plan. Staff supports the required parking of one (1) space per each unit, room, or guest accommodation as regulated in HCC 17.45.200 Off Street Parking – Specific Requirements which reserves a total of twelve (12) parking spaces for the Hotel Use.
  - **Parking totals 54 stalls, includes 1 ADA stall & 1 ADA Van Accessible Stall**
6. Without the applicant providing the exact square feet of proposed commercial uses (excluding storage areas, restrooms, office areas, etc.) Staff cannot verify the required off-street parking requirements regulated in HCC 17.45.200 Off-Street Parking – Specific Requirements to conclude parking requirements.
  - **Total commercial floor space is 4,050 SF (2,100 SF in West, 1,950 SF in East)**
  - **Breakdown of estimated commercial use is as follows:**
  - **Retail / Market = 2,100 SF (requires 1 per 250 SF = 8 stalls)**
  - **Single Office = 224 SF (requires 1 per employee = 1 stall)**
  - **Restaurant / Café = 1,275 (requires 1 per 40 SF = 32 stalls)**
  - **Hotel Space = 13 units (requires 1 per unit = 13 stalls)**
  - **Total stalls required = 54**
7. The site plan shows the cedar fence terminating at the south portion of the paved parking lot. The parking lot is still facing adjoining neighbor properties. HCC 17.45.050 Yard Regulations – Commercial Use requires the fence to continue south on both east and west property line and along the south property line enclosing the development.

- Cedar fence continues along west, south, and east property lines
8. The Trash Enclosure requirements in the C-2 Zone, HCC 17.45.055 Trash Enclosure Regulations – Commercial Use requires that enclosures shall be located away from main traffic areas and sheltered from street sight as much as possible. Staff recommends relocating the Trash Enclosure from the current location within the main traffic area and street sight to a conforming location on the site.
    - Trash enclosure relocated to back of parking lot, hidden from street view behind west building, >50' from residential zoning. Have assumed doublesize dumpster enclosure in site plan
  9. A building permit will be required for building structures as regulated by HCC Section 15.08 Building Permits.
    - Understood
  10. All construction shall comply with Hyrum City Design Standards and Construction Specifications.
    - Understood

#### **Engineering:**

1. See comments contained on Site Plan.
  - Site Plan updated per comments

#### **Fire Department:**

1. Water flow, we need 1750 GPM at the hydrant for 2 hours. If it is less than that the entire building will need to be sprinklered.
  - Fire sprinklers are planned for each building, on both floor levels
2. The upstairs hotel/apartments is a R-1, it is required to have Sprinklers.
  - Fire sprinklers are planned for each building, on both floor levels
3. We need 26' of clearance on driveway and on all sides of parking for fire apparatus access lot see drawings.
  - 26' driveway clearance has been provided and extends to back side of buildings
4. What type of building construction?
  - Wood frame construction with structural steel elements
5. Each unit will need to be reviewed and inspected as built out.
  - Understood

#### **Parks Department:**

1. No comments or concerns.
  - Yes!

#### **Power Department:**

1. Staff requests the applicant contact the Power Department to schedule an initial onsite meeting to verify all existing electrical utilities.
  - Understood, this will happen immediately following site plan approval
2. The applicant must complete and submit the required Commercial Structure Load Data Sheet to the Power Department. The Load Data Sheet is available in Section 7 General Requirements and Specifications for Electrical Installations in Hyrum City Design Standards and Construction Specifications.
  - Load data sheet has been completed and will be submitted immediately following site plan approval
3. All construction specific to electrical work shall verify compliance with Section 7 General Requirements and Specifications for Electrical Installations in Hyrum City Design Standards and Construction Specifications.
  - Understood, electrical systems will be designed by Sine Source Engineering
4. Applicant must maintain and clearance of 10 feet around the interior overhead service line on the property. At the applicant's request, the Power Department can provide visual ribbon indicators on the overhead line to help maintain visual clearance.
  - Understood, visual ribbon indicators will be requested during construction

**Road / Stormwater Department:**

1. An NOI is generally not required for disturbances less than one (1) acre that are not part of a larger common plan of development project, however, it is the responsibility of the applicant to confirm any and all exemptions pursuant to HCC 13.18.110 Notice of Intent (NOI) – Exemptions. While an NOI is not typically required, applicant is responsible to control Stormwater and Erosion & Pollution on and from the site.
  - *If required, contractor will file an NOI; regardless; BMPs will be installed and maintain during construction until all permanent landscaping and stormwater systems are completed*
2. All public rights of way permits, construction and improvements, and traffic control on Main Street are the Powers and Duties of Utah Department of Transportation.
  - *Understood, applicant has already engaged in permits and discussions with UDOT regarding this project and will continue to do so*
3. Hyrum City may enforce provisions and all other ordinances relating to the maintenance and use of streets, culverts, drains, ditches, waterways, curbs, gutters, sidewalks and other public ways; and the repair or cause to be repaired, all defects coming to the Hyrum City Department of Streets attention and make reasonable precautions to protect the public from injuries due to such defects pending their repair pursuant to HCC 2.36.030. Powers and Duties.
  - *Understood*

**Sewer Department:**

1. Staff recommends the engineer verify the existing sewer lateral and design a new lateral for peak flow for both buildings, and demonstrate on the plans the material, quality and specifications as regulated by HCC 13.12.200 Service and Other Pipes – Material, Quality and Specifications – Alteration or Inspection.
  - *Understood, sewer line size shown on Site Plan, existing laterals to be abandoned*
2. For any proposed use or future use that will introduce or cause to be introduced into the Publicly Owned Treatment Works (POTW) or any pollutant or wastewater which causes to pass through or interference, the applicant must comply with HCC Section 13.13 Wastewater Pretreatment, whether or not the source is subject to categorical Pretreatment Standards or any other National, State or Local Pretreatment Standards for requirements.
  - *Understood, additionally it is anticipated that a grease trap will be provided for restaurant spaces*
3. All construction specific to sanitary sewer shall verify compliance with Section 5 General Requirements and Specifications for Sanitary Sewer Installations in Hyrum City Design Standards and Construction Specifications.
  - *Understood*

**Water / Irrigation Department:**

1. HCC 13.04.180 Separate Connections Required for Each User regulates that each service user cannot be supplied from the same service pipe, connection or water meter unless special permission for such combination usage has been granted by the governing body. Staff recommends that each user have its own water service (tentatively 2 meters for main level commercial uses, and 1 meter for upper-level hotel uses for each building).
  - *Understood, owner would like to request a single meter for each floor-level in each building (4 meters total)*
2. Staff recommends that all meters be installed in a meter vault for multiple meters for 3/4" to 1-1/2" meters as approved in Section 6 of the Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations.

- *Understood*
3. *Staff recommends that each service to commercial uses be a minimum of 1-1/2" to ensure adequate future flows.*
    - *Understood*
  4. *If the mixed commercial use and hotel use requires a fire sprinkler system required by the International Fire Code and requires an additional fire line connection to the water main, the fire line connections shall comply with Section 6 Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations.*
    - *Understood*
  5. *All construction specific to sanitary sewers shall verify compliance with Section 5 General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations in Hyrum City Design Standards and Construction Specifications.*
    - *Understood*

**PLANNING COMMISSION RESPONSIBILITY:**

1. Site plan approval is a function of the Planning Commission which has a wide latitude in specifying conditions and requirements for approval.
2. The Planning Commission should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.
3. The Planning Commission is a recommending body to the City Council and should be specific in their motion to the City Council.

**STAFF RECOMMENDATION:**

1. The Planning Commission recommend site plan approval to the City Council based on the applicants compliance with staff evaluations and staff comments, applicant submittals, and any additional Planning Commission recommendations. The City Council can require revisions as necessary.

**STIPULATIONS:**

1. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission with revisions; or require the applicant to return revisions to the City Council.
2. Final Approval must be obtained from the City Council. Following final approval, the requestor will provide final approval documents to staff for the issuance of a permitted use permit, issuance of Hyrum City Approval final approval documents, and issuance of notification to attend a pre-construction meeting.

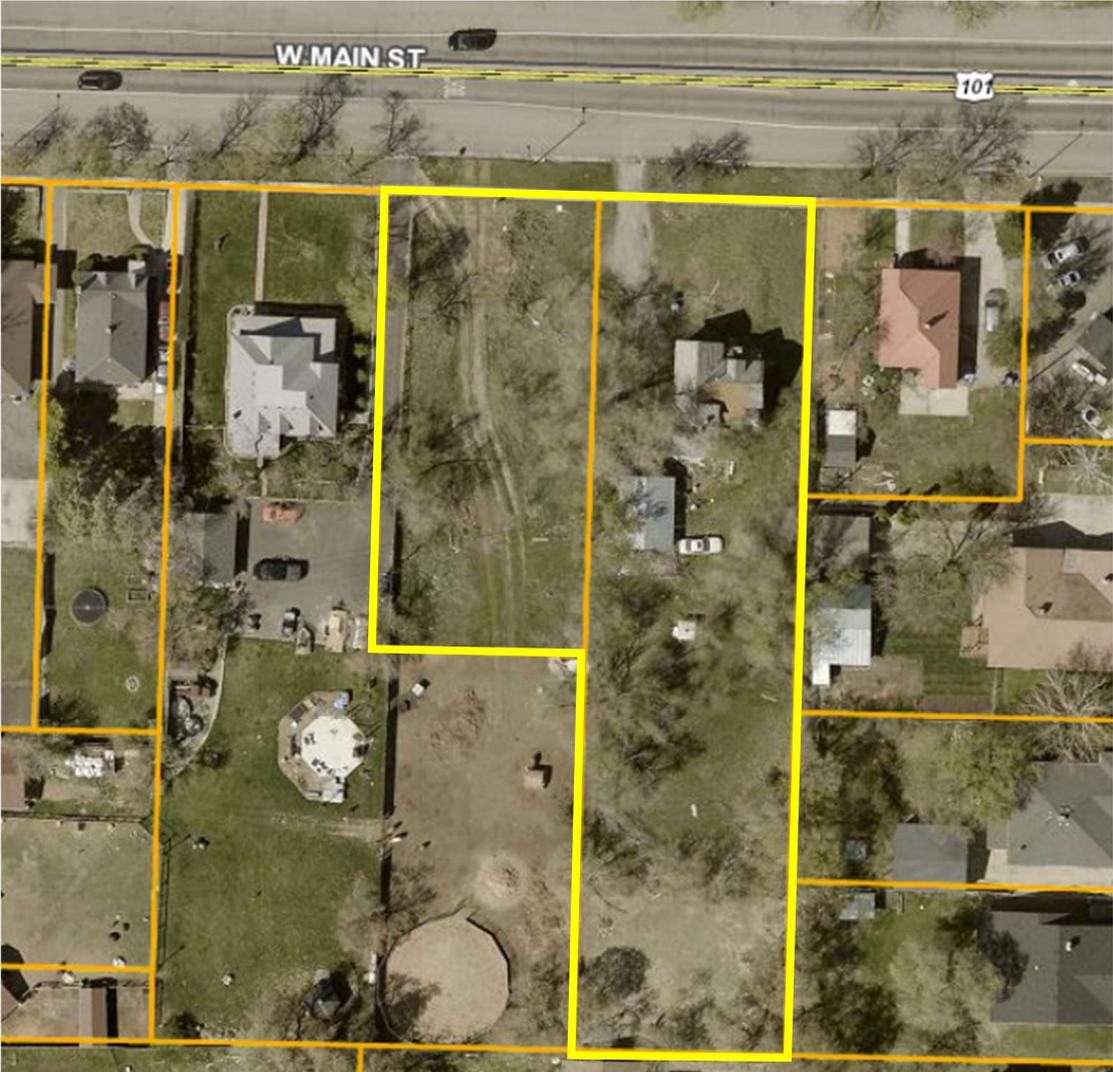
**FINDINGS OF FACT:**

1. The property is located in the Commercial Zone C-2.
2. Mixed Commercial Uses are a permitted use in the Commercial Zone C-2.

**ATTACHMENTS:**

1. Cache County Parcel and Zoning Viewer – Aerial View
2. Hyrum Market 1860 Scope Narrative – Updated
3. Hyrum Market 1860 Conceptual Building Exterior Elevation – Updated
4. Hyrum Market 1860 Site Plan Submittal – Updated
5. Hyrum Market 1860 Lighting Plan – Updated

Cache County Parcel and Zoning Viewer – Aerial Image



Hyrum City  
60 West Main Street  
Hyrum, UT 84319

Subject: Market 1860 Site Plan Approval

Attn: Hyrum City Council Members

### Scope Narrative

The Market 1860 project includes two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The footprint of each building is planned at 40-feet by 70-feet with a conventional peaked roof line down the longitudinal center of the building. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter.

The two commercial spaces in the west building will consist of open classrooms, conference, and market space with a small demonstration kitchen, restrooms, storage and mechanical room. The two units will be constructed with an open hallway so that the spaces can be used simultaneously if needed. One purpose of these units is to provide a place for community events available for rent or use depending on the function or activity. It may be utilized by home-school groups, small training classrooms, farmer's or craft markets, non-profit organizations, and more.

The commercial space in the east building will consist of two café, bakery, or restaurant-type lease units. The owner's intent is to construct the two units as shell-space and allow tenants the opportunity to finish the space according to business needs.

The second level in each building will consist of six and seven (13 total) hospitality boutique units with single and double bed units. Each building will also include a common laundry facility on the same floor. The hospitality units will be accessible by two stairways and secured first-level exterior doors located on the back and shared patio side between buildings. An elevator will be provided in the East Building for ADA access to the second floor.

### Landscaping Plan

Landscaping will include 15-foot-wide green space along the east and west perimeter of the site as well as small landscape areas near the buildings. Vegetation will include trees, lawn, native grass, flowers, and shrubs. Landscaping will be meticulously maintained to attract renters to the short-term rental units and commercial businesses.

Storm water will be managed on site by surface collection to catch basins and dispersed through underground infiltration basins.

Market 1860 -

Ownership

Annette Francis (Hyrum, UT)

Andrea Nielsen (Hyrum, UT)

Amy Knight (Park City, UT)

Design-Builder

Jardine Builders, LLC (Millville & Centerville, UT)

Architect & Engineers

Architect – Gary Hunt Architect, P.C. (Syracuse, UT)

Civil & Structural – Beyler Engineering (Lakewood, WA)

Mechanical – VBFA (Logan, UT)

Electrical – Sine Source Engineering (Logan, UT)

Geotechnical – Civil Solutions Group (Logan, UT)

# MARKET 1860 CONCEPTUAL ELEVATION

DETAILS, COLORS, VEGETATION, ENTRANCE &  
ARCHITECTURAL FEATURES SUBJECT TO CHANGE  
BEFORE BUILDING PERMIT

Section 9. Item D.



## East Building North Elevation

SCALE: 1/4" = 1'-0"

C1  
A2.1

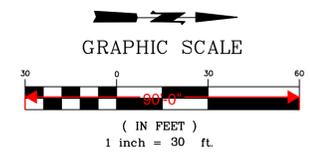


SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

# HYRUM MARKET 1860

## CIVIL IMPROVEMENT PLANS

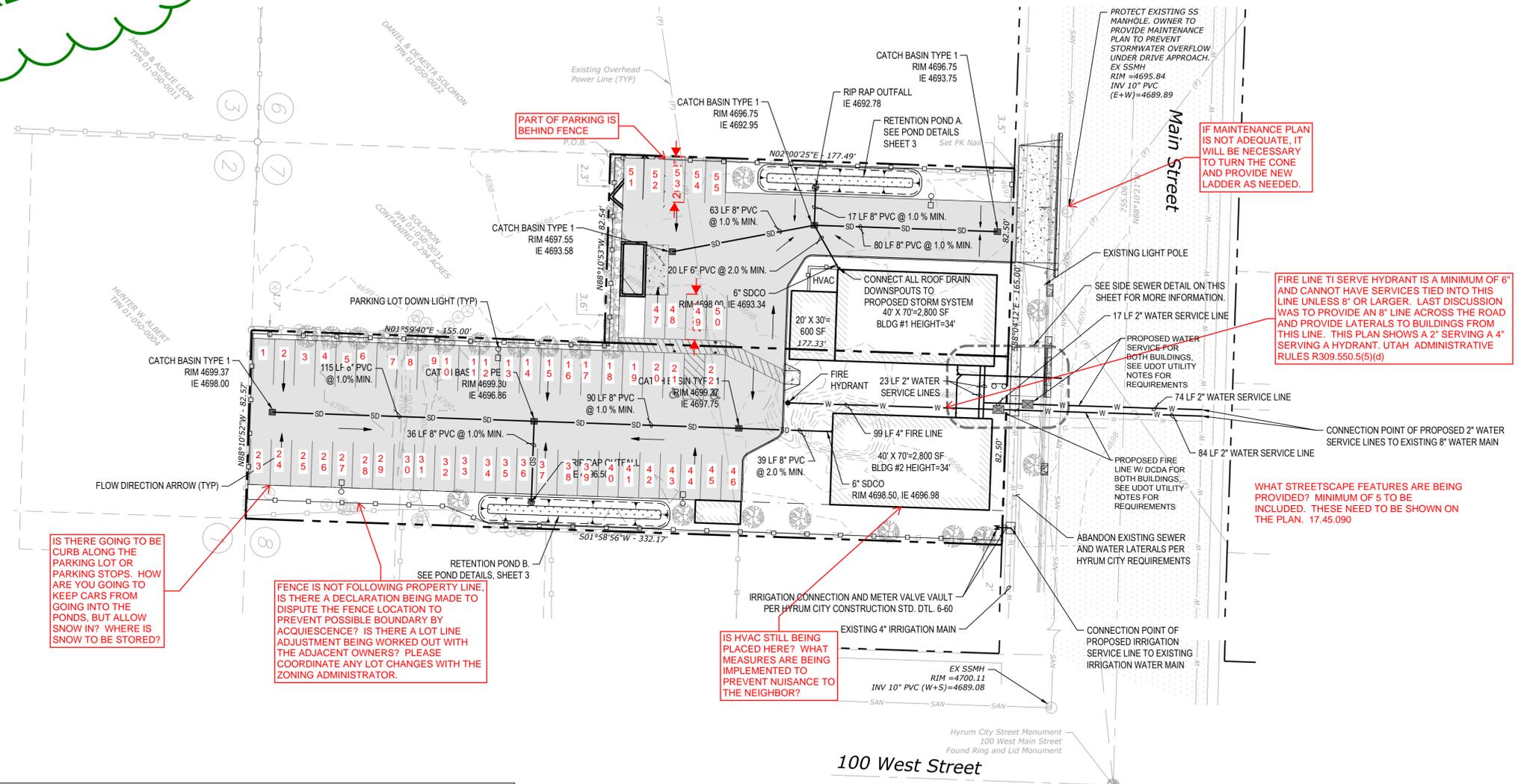
### PARCEL #'s 01-050-0023 & 01-050-0024



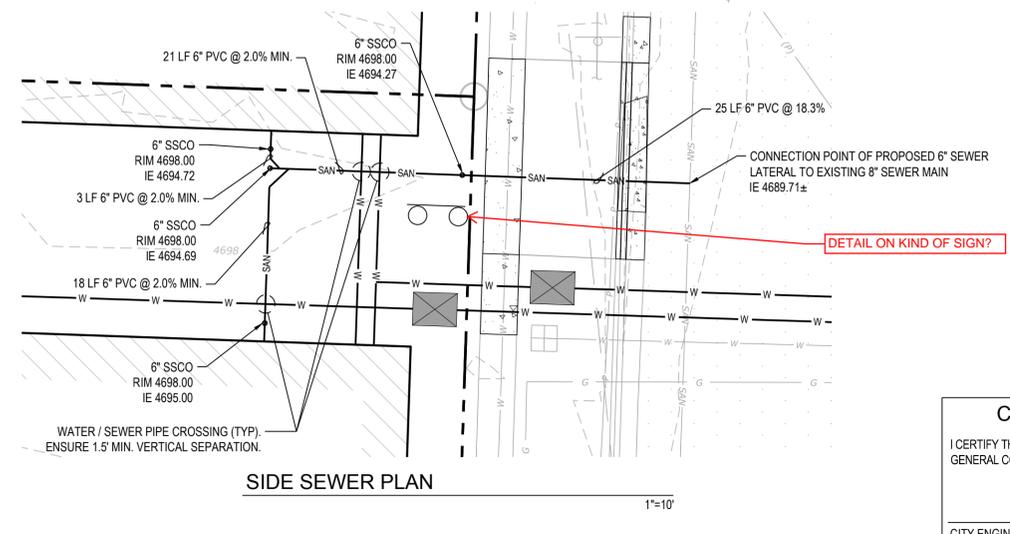
**CITY COMMENTS SHOWN ON THIS PAGE HAVE BEEN ADDRESSED ON THE UPDATED DRAWING SHEETS THAT FOLLOW. THIS PAGE IS INCLUDED FOR REFERENCE ONLY**

EXISTING UTILITIES	
W	EX WATER LINE
⊕	EX METER
G	EX GAS LINE
P	EX UG POWER LINE
(P)	EX OVERHEAD POWER LINE
COM	EX UG COMMUNICATION LINE
⊙	EX LIGHT POLE
⊖	EX POWER POLE
—S—S—	EX SEWER PIPE
⊙	EX SANITARY MH/CO

LEGEND	
---	EX PROPERTY BOUNDARY
---	EX RIGHT-OF-WAY
---	EX CENTERLINE
---	EX LOT LINE
---	EX MAJOR CONTOURS
---	EX MINOR CONTOURS
---	EX ASPHALT
---	EX CONCRETE
---	EX CURBING
---	EX WOOD FENCE
---	EX SIGN
---	ASPHALT PAVEMENT
---	CONCRETE
---	BUILDING
---	LANDSCAPING
---	WOOD FENCE
---	WHEEL STOP
---	TREE
---	STORM DRAINAGE PIPE
---	POND BOTTOM
---	RIP RAP PAD
---	ROOF DOWNSPOUT
---	STORM CLEANOUT
---	AREA DRAIN / CATCH BASIN TYPE 1
---	FLOW ARROW/SLOPE ARROW
---	SANITARY SEWER LATERAL
---	SANITARY CLEANOUT
---	WATER SERVICE / FIRE LINE
---	WATER METER
---	IRRIGATION CONTROL VALVE
---	LIGHT POLE



GENERAL NOTES	
1.	THE EXISTING CONTOURS SHOWN HEREON WERE OBTAINED VIA FIELD SURVEY COMPLETED IN MAY 2022.
2.	THE SITE GENERALLY SLOPES NORTHWESTERLY TOWARDS THE PROPOSED RETENTION BASIN.
3.	STORM RUNOFF GENERATED FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED AND CAPTURED IN THE RETENTION BASIN AS FOLLOWS: A. DOWNSPOUTS FROM ROOF AREAS WILL BE DIRECTED TO LANDSCAPE AREAS OR STREETS. B. LANDSCAPE AREAS WILL SHEET FLOW TO SWALES AND COLLECTED BY AREA DRAINS AND CARRIED TO THE RETENTION BASIN THROUGH UNDERGROUND PIPING. C. FRONT YARDS, DRIVEWAYS, AND PORCHES WILL FLOW TO STREETS WHERE CURB AND GUTTER WILL CHANNEL THE FLOW TO CURB INLETS AT INTERSECTIONS AND LOW POINTS. UNDERGROUND PIPING INTERCONNECTING THE INLETS WILL DISCHARGE RUNOFF INTO THE RETENTION BASIN.
4.	PIPE AND RETENTION BASIN SIZING WAS PERFORMED USING THE RATIONAL METHOD ( $Q = C \cdot I \cdot A$ ) WHERE: A. $Q$ = DESIGN FLOW IN CUBIC FEET PER SECOND (CFS) B. $C$ = RUNOFF COEFFICIENT WHICH REPRESENTS THE PERCENT OF PRECIPITATION THAT WILL CONTRIBUTE AS RUNOFF. C. $I$ = RAINFALL INTENSITY IN INCHES PER HOUR (IN/HR) D. $A$ = DRAINAGE AREA IN ACRES
5.	THE 100 YEAR - 24 HOUR STORM EVENT WAS USED TO SIZE THE RETENTION BASIN AS SHOWN HEREON IN TABLE A. NO INFILTRATION WAS UTILIZED WHEN DETERMINING THE VOLUME REQUIRED TO RETAIN THE DESIGN STORM EVENT.
6.	STORM INTENSITIES USED IN THIS STUDY AREA ARE TAKEN FROM THE NATIONAL WEATHER SERVICE'S PRECIPITATION FREQUENCY DATA SERVER. INTENSITIES FOR THE 100 YEAR STORM ARE SHOWN IN TABLE A. <b>WHERE IS TABLE A?</b>
7.	A COMPREHENSIVE STORM DRAINAGE STUDY WILL BE PROVIDED AS PART OF THE FINAL PLAT SUBMITTAL. <b>THERE IS NO FINAL PLAT. THE SITE PLAN IS THE FINAL DOCUMENT FOR THIS DEVELOPMENT.</b>



**CITY ENGINEER APPROVAL**  
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DATE	
INIT	
NO.	DESCRIPTION
CORPORATE OFFICE BEYLER CONSULTING 5920 100th St, SW, Ste # 25 Lakewood, WA 98499 (253) 984-2900 beylerconsulting.com	
Plan. Design. Manage PROJECT MANAGEMENT   PLANNING & FEASIBILITY PERMITTING SERVICES   CONSTRUCTION MANAGEMENT	
STORM DRAINAGE AND UTILITY PLAN	
HYRUM MARKET 1860	
CIVIL IMPROVEMENT PLANS	
WASHINGTON	DATE: 3/19/2025
HYRUM CITY	CHECKED: LCB
DESIGNED: LCB/EJM	DRAWN: EJM
SCALE: HORIZ: 1"=30'	VERT: _____
JOB NUMBER <b>24.00160</b>	
SHEET <b>2 OF 10</b>	

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

# HYRUM MARKET 1860

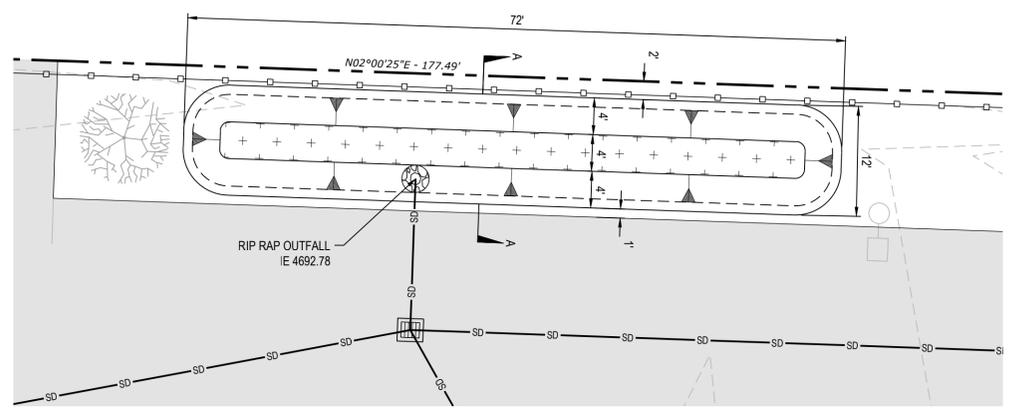
## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024

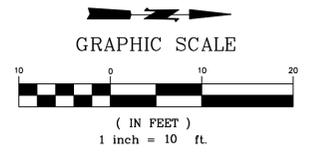
**LEGEND**

- EX PROPERTY BOUNDARY
- EX MAJOR CONTOURS
- EX MINOR CONTOURS
- ASPHALT PAVEMENT
- WOOD FENCE
- TREE
- STORM DRAINAGE PIPE
- POND BOTTOM
- RIP RAP PAD
- CATCH BASIN TYPE 1

**CITY COMMENTS SHOWN ON THIS PAGE HAVE BEEN ADDRESSED ON THE UPDATED DRAWING SHEETS THAT FOLLOW. THIS PAGE IS INCLUDED FOR REFERENCE ONLY**



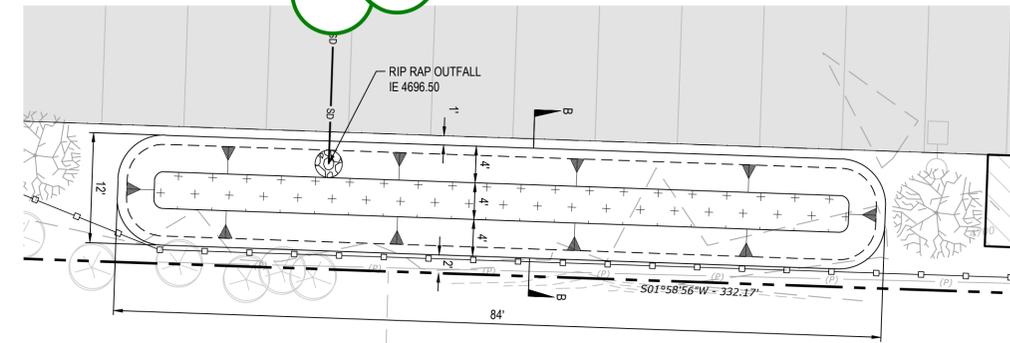
STORMWATER RETENTION POND A



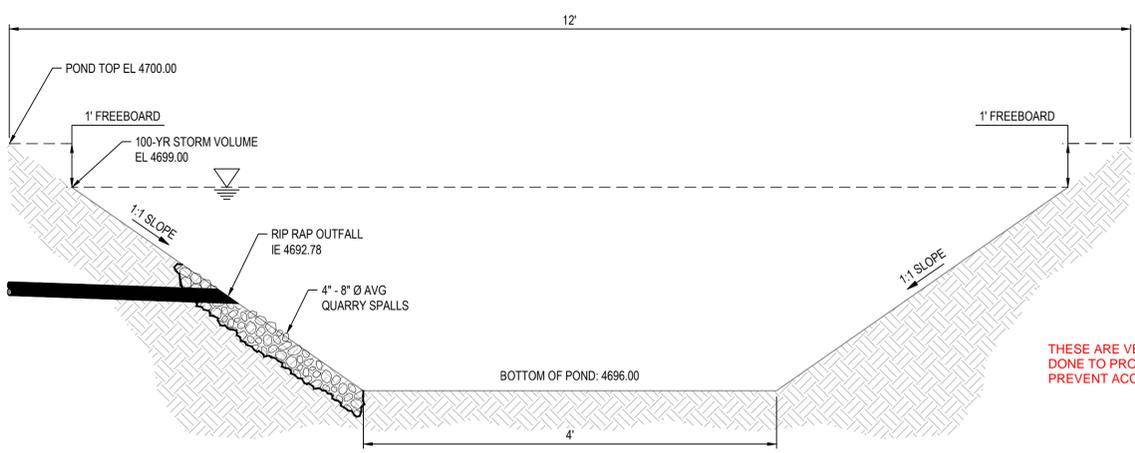
**POND TABLE**

<b>RETENTION POND A:</b>
TOP OF POND = 4700.00
BOTTOM OF POND = 4696.00
REQUIRED VOLUME = (WEST DRAINAGE): 1,034 SF
PROVIDED VOLUME = (WEST DRAINAGE): 1,420 SF
<b>RETENTION POND B:</b>
TOP OF POND = 4697.00
BOTTOM OF POND = 4694.00
REQUIRED VOLUME = (EAST DRAINAGE): 1,667 SF
PROVIDED VOLUME = (EAST DRAINAGE): 1,672 SF

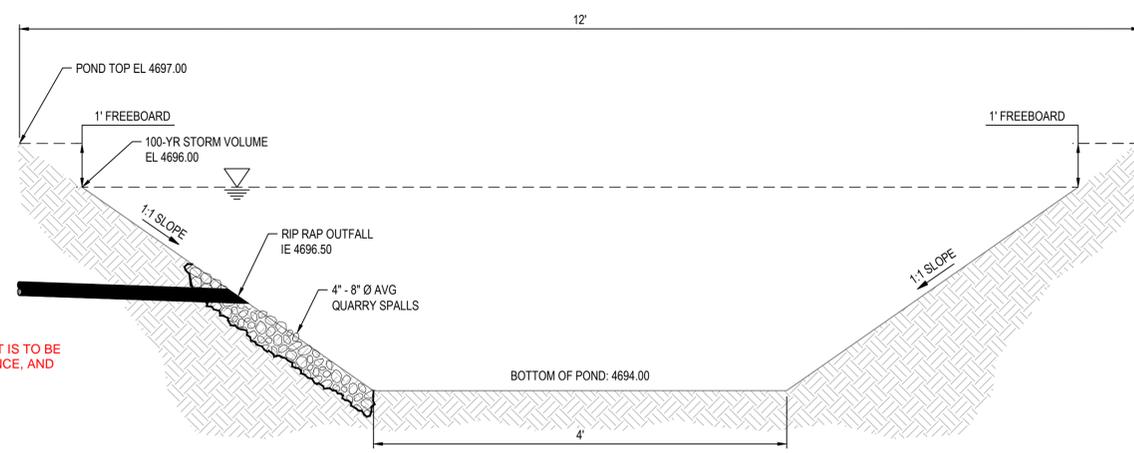
CUBIC FEET?



STORMWATER RETENTION POND B



1 STORMWATER RETENTION POND SECTION A-A



2 STORMWATER RETENTION POND SECTION B-B

THESE ARE VERY STEEP SIDES FOR PONDS. WHAT IS TO BE DONE TO PROTECT THE SIDES, ALLOW MAINTENANCE, AND PREVENT ACCIDENTAL ENTRY?

NO.	DESCRIPTION	DATE

**BEYLER CONSULTING**  
Plan. Design. Manage.  
CORPORATE OFFICE  
5920 100th St. SW, Ste # 25  
Lakewood, WA 98499  
(253) 984-2900  
beylerconsulting.com

**POND DETAILS & NOTES**

**HYRUM MARKET 1860**

CIVIL IMPROVEMENT PLANS

HYRUM CITY      WASHINGTON

DESIGNED: LCB/EJM      DRAWN: EJM      CHECKED: LCB      SCALE: HORIZ: 1"=10'      VERT:      DATE: 3/19/2025

PROFESSIONAL SEAL  
ANDREW C. BEYLER  
39075  
STATE OF UTAH  
3/19/2025

**CITY ENGINEER APPROVAL**

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

JOB NUMBER  
**24.00160**

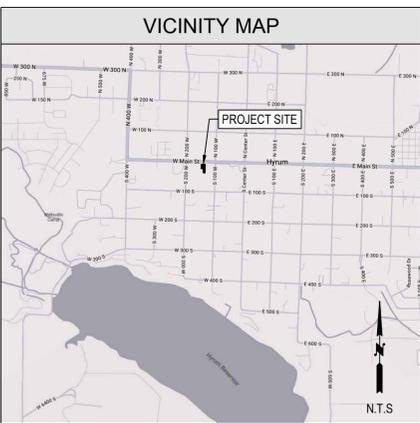
SHEET  
**3 OF 10**

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

# HYRUM MARKET 1860

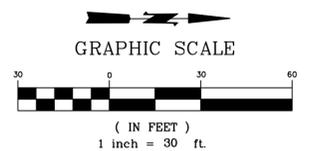
## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024



#### CIVIL ABBREVIATIONS

BSBL	BUILDING SETBACK LINE
CB	CATCH BASIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DUCTILE IRON
FH	FIRE HYDRANT
HP	HIGH POINT
LP	LOW POINT
MH	MANHOLE
PGHS	POLLUTION GENERATING HARD SURFACE
PVC	POLYVINYLCHLORIDE
RPBA	REDUCED PRESSURE BACKFLOW PREVENTOR
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSFM	SANITARY SEWER FORCE MAIN
SSMH	SANITARY SEWER MANHOLE
UBC	UNIFORM BUILDING CODE
WM	WATER METER
XFMR	TRANSFORMER
WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

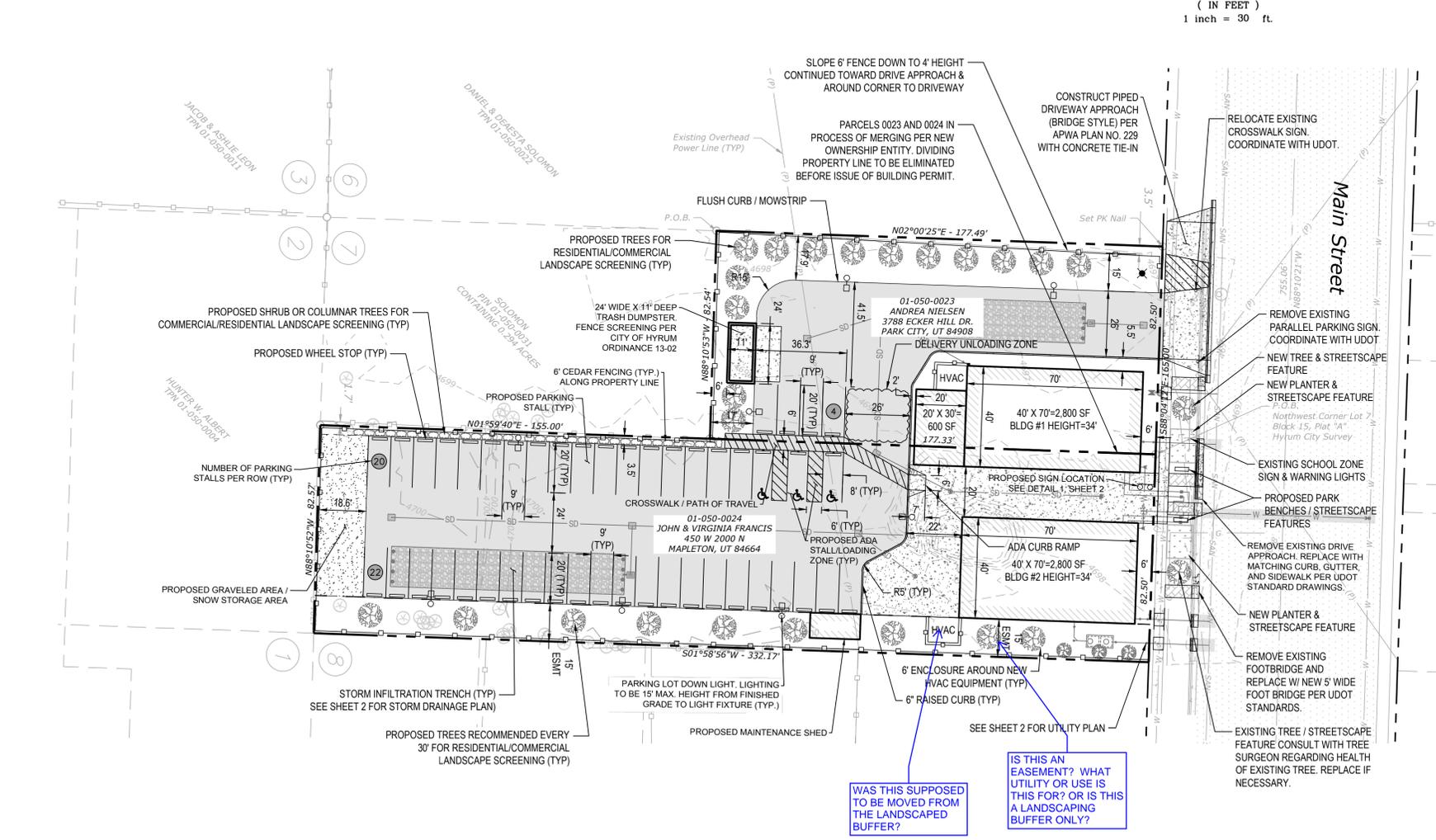


#### EXISTING UTILITIES

W	EX WATER LINE
M	EX METER
G	EX GAS LINE
P	EX UG POWER LINE
(P)	EX OVERHEAD POWER LINE
COM	EX UG COMMUNICATION LINE
*	EX LIGHT POLE
○	EX POWER POLE
SAW	EX SEWER PIPE
○	EX SANITARY MH/CO

#### LEGEND

---	EX PROPERTY BOUNDARY
---	EX RIGHT-OF-WAY
---	EX CENTERLINE
---	EX LOT LINE
---	EX MAJOR CONTOURS
---	EX MINOR CONTOURS
---	EX ASPHALT
---	EX CONCRETE
---	EX CURBING
---	EX WOOD FENCE
---	EX SIGN
---	ASPHALT PAVEMENT
---	CONCRETE
---	BUILDING
---	LANDSCAPING
---	BUILDING SETBACK
---	WOOD FENCE
---	WHEEL STOP
---	TREE
---	STORM DRAINAGE PIPE
---	ROOF DRAINS
---	INFILTRATION TRENCH
---	ROOF DOWNSPOUT
---	STORM CLEANOUT
---	AREA DRAIN / CATCH BASIN TYPE 1
---	FLOW ARROW/SLOPE ARROW
---	SANITARY SEWER LATERAL
---	SANITARY CLEANOUT
---	WATER SERVICE / FIRE LINE
---	WATER METER
---	IRRIGATION CONTROL VALVE
---	LIGHT POLE



#### IMPERVIOUS / PVIOUS SITE AREAS

<b>EXISTING IMPERVIOUS ONSITE:</b>	
GRAVEL (PGHS)	1,060 SF (0.024 Ac)
<b>PROPOSED IMPERVIOUS ONSITE:</b>	
BUILDING #1	3,400 SF (0.078 Ac)
BUILDING #2	2,800 SF (0.064 Ac)
MAINTENANCE SHED	200 SF (0.005 Ac)
TRASH ENCLOSURE	264 SF (0.006 Ac)
ASPHALT ACCESS/PARKING LOT (PGHS)	19,958 SF (0.458 Ac)
GRAVEL (PGHS)	1,191 SF (0.027 Ac)
CONCRETE (PGHS)	325 SF (0.007 Ac)
CONCRETE WALKWAY / HARDSCAPE	3,232 SF (0.074 Ac)
TOTAL:	31,370 SF (0.720 Ac)
<b>TOTAL (PGHS) ONSITE:</b>	
	21,474 SF (0.493 Ac)
<b>PROPOSED PVIOUS ONSITE:</b>	
LANDSCAPING	10,693 SF (0.245 Ac)
<b>PROPOSED IMPERVIOUS OFFSITE:</b>	
ASPHALT ACCESS (PGHS)	37 SF (0.001 Ac)
ASPHALT UTILITY TRENCHING (PGHS)	371 SF (0.008 Ac)
CONCRETE DRIVEWAY APPROACH (PGHS)	1,056 SF (0.024 Ac)
CONCRETE CURBING (PGHS)	229 SF (0.005 Ac)
CONCRETE SIDEWALK	197 SF (0.004 Ac)
CONCRETE FOOT BRIDGES	60 SF (0.001 Ac)
CONCRETE WALKWAY / HARDSCAPE	31 SF (0.001 Ac)
TOTAL:	1,981 SF (0.045 Ac)
<b>TOTAL (PGHS) OFFSITE:</b>	
	1,693 SF (0.039 Ac)
<b>PROPOSED PVIOUS OFFSITE:</b>	
PAVERS	212 SF (0.005 Ac)
<b>TOTAL PROPOSED IMPERVIOUS:</b>	
	33,351 SF (0.765 Ac)
<b>TOTAL PROPOSED (PGHS):</b>	
	23,167 SF (0.532 Ac)

#### SHEET INDEX

1- COVER SHEET / SITE PLAN
2- STORM DRAINAGE AND UTILITY PLAN
3- STORM INFILTRATION TRENCH PLAN, DETAILS/NOTES
4- NOTES AND DETAILS SHEET 1
5- NOTES AND DETAILS SHEET 2
6- NOTES AND DETAILS SHEET 3
7- NOTES AND DETAILS SHEET 4
8- NOTES AND DETAILS SHEET 5
9- NOTES AND DETAILS SHEET 6
10- NOTES AND DETAILS SHEET 7

#### BUILDING INFORMATION

2 - 40'X70' 2-STORY WOOD FRAME STRUCTURES.
MAIN FLOOR RETAIL.
UPPER FLOOR SHORT TERM RENTAL UNITS
1 - 10'X20' MAINTENANCE SHEDS
34' MAX BUILDING HEIGHT

#### SITE DATA

<b>PARCEL NUMBER(S):</b>
PIN 01-050-0023
ANDREA NIELSEN
3788 ECKER HILL DR.
PARK CITY, UT 84098
PIN 01-050-0024
JOHN & VIRGINIA FRANCIS
450 W 2000 N
MAPLETON, UT 84664
<b>SITE ADDRESS:</b>
127 WEST MAIN STREET, HYRUM, UT
<b>PROPERTY AREA:</b>
PIN 01-050-0023 = 0.34 Ac (14,640 SF)
PIN 01-050-0024 = 0.63 Ac (27,423 SF)
TOTAL: 0.97 Ac (42,063 SF)
<b>ZONING:</b>
C-2 OVERLAY
15 FT SIDE SETBACKS AGAINST RESIDENTIAL
NO SETBACKS REQUIRED.
<b>PARKING:</b>
STANDARD PARKING: 46 STALLS
ADA PARKING: 3 STALLS
TOTAL: 49 STALLS

#### UDOT UTILITY SPECIFICATIONS & NOTES

- CONTRACTOR TO USE TRENCHLESS CONSTRUCTION UNLESS SUFFICIENT REASON IS GIVEN FOR OPEN TRENCH CONSTRUCTION.
- ALL UTILITY TRENCHES TO BE CUT AT RIGHT ANGLES TO TRAVEL LANES. TEMPORARY PATCHES REQUIRE AT LEAST 2-INCH ROTOMILLING APPROACHING AND LEAVING THE PATCH IN ALL TRAVEL LANES IMPACTED BEFORE FINAL T-PATCH ASPHALT PLACEMENT PER APWA PLAN NO. 255.
- ALL FINAL PARALLEL SAWCUT LINES OR ROTOMILLING MUST BE LOCATED EITHER AT DESIGNED LANE LINES OR DESIGNED CENTER OF LANE. SAWCUTS MUST BE CLEANED AND TACK-COAT APPLIED BEFORE ASPHALT PLACEMENT
- ALL TRENCHES FOR LATERALS WITHIN A 100FT DISTANCE MUST HAVE 2 INCH MILL AND REPLACED AS A SINGLE PATCH. SINGLE LATERALS REQUIRE A 2 INCH MILL FOR 20FT EACH DIRECTION
- ALL ASPHALT CONSTRUCTION WITHIN UDOT RIGHT-OF-WAY TO MATCH EXISTING. HOT MIX ASPHALT (HMA) SHALL BE PG-GRADE 64-34 ASPHALT BINDER, 1/2 INCH NOMINAL MAX. 7-75-115 GYRATION PER UDOT STANDARD SPECIFICATION 02741; OVER 6 INCHES UNTREATED BASE COURSE (UTBC) PER UDOT SPECIFICATION 02721; OVER 11 INCHES GRANULAR BORROW (GB) PER UDOT SPECIFICATION 02056 (WHICHEVER IS GREATER). PROVIDE DOCUMENTATION OF COMPACTION FROM A UDOT-QUALIFIED LABORATORY.
- PAVEMENT SEALING - CHIP SEAL TYPE II WITH EMULSION LMCRS-2 PER UDOT STANDARD SPECIFICATION 02785 (ESTIMATED APPLICATION RATE OF 0.45 GAL/SQ YD) IS REQUIRED ON ALL NEW PAVEMENT WITHIN UDOT RIGHT-OF-WAY.

#### UDOT RIGHT-OF-WAY (MAIN STREET) NOTES

- ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATION. APPLICABLE UDOT STANDARD AND SUPPLEMENTAL DRAWINGS ARE INCLUDED IN THIS PLAN SET.
- THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN THE UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
- UDOT RESERVES THE RIGHT, AS ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SM SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

#### PROJECT INFO

<b>CLIENT:</b>	MARKET 1860 LLC
<b>ENGINEER:</b>	BEYLER CONSULTING 5920 100TH ST SW, STE 25 LAKEWOOD, WA 98499 CONTACT: LONDON BEYLER, P.E. TEL: 253-984-2900

#### UTILITIES

<b>WATER:</b>	HYRUM CITY CULINARY WATER AUTHORITY
<b>SEWER:</b>	GRAVITY HYRUM CITY SEWER AUTHORITY
<b>POWER:</b>	HYRUM CITY POWER

#### CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

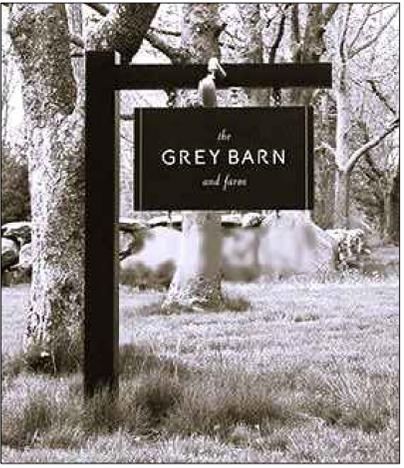
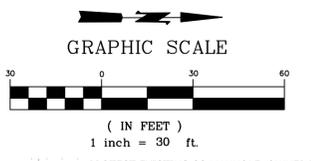
DATE	
INIT	
NO.	DESCRIPTION
CORPORATE OFFICE 5920 100th St SW, Ste # 25 Lakewood, WA 98499 (253) 984-2900 beylerconsulting.com	
BEYLER CONSULTING Plan. Design. Manage CONSTRUCTION MANAGEMENT   PROJECT MANAGEMENT   PLANNING & FEASIBILITY   PERMITTING SERVICES   CONSTRUCTION MANAGEMENT	
COVER SHEET / SITE PLAN	
HYRUM MARKET 1860	
CIVIL IMPROVEMENT PLANS	
UTAH	DATE: 4/17/2025
UTAH	SCALE: HORIZ: 1"=30' VERT: 1"=10'
UTAH	CHECKED: LCB
UTAH	DRAWN: EJM
UTAH	DESIGNED: LCB/EJM
UTAH	HYRUM CITY
PROFESSIONAL SEAL LONDON C. BEYLER 4/17/2025	
JOB NUMBER	
24.00160	
SHEET	
1 OF 10	

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

# HYRUM MARKET 1860

## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024

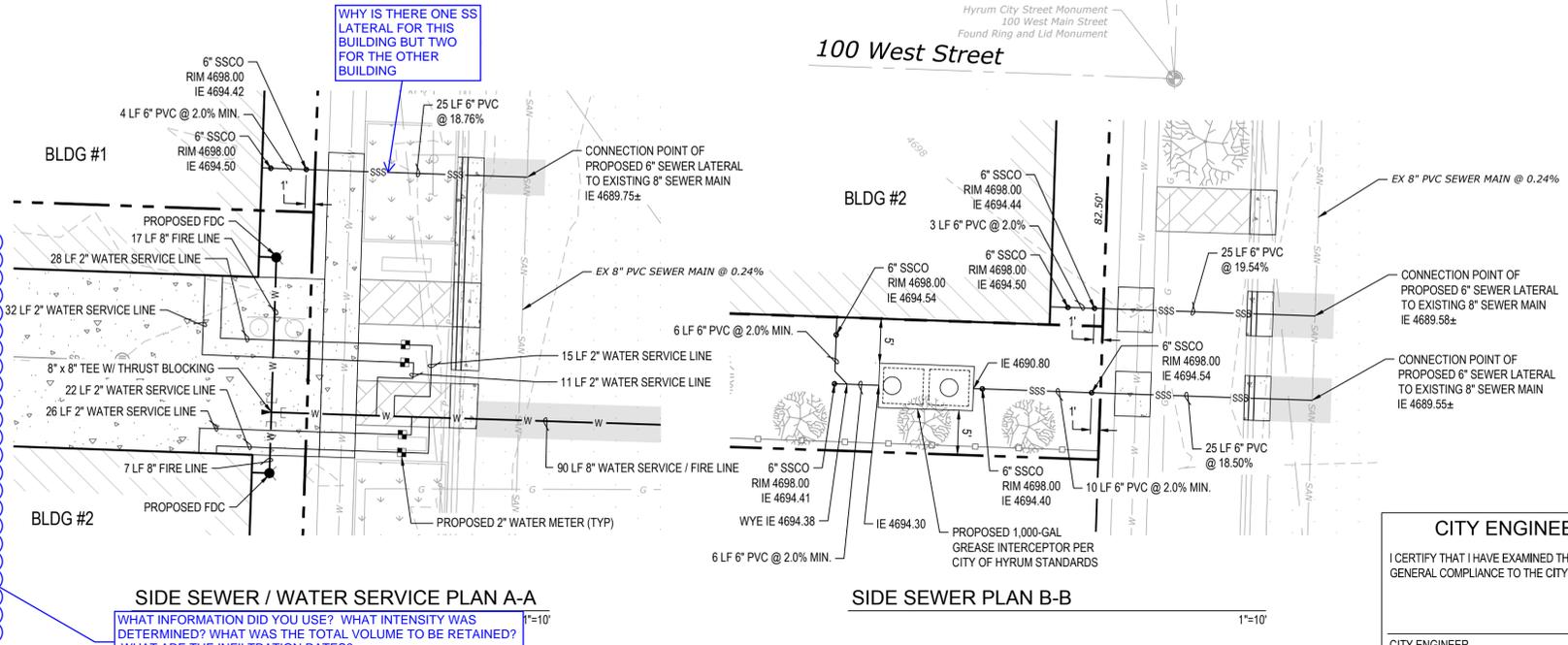
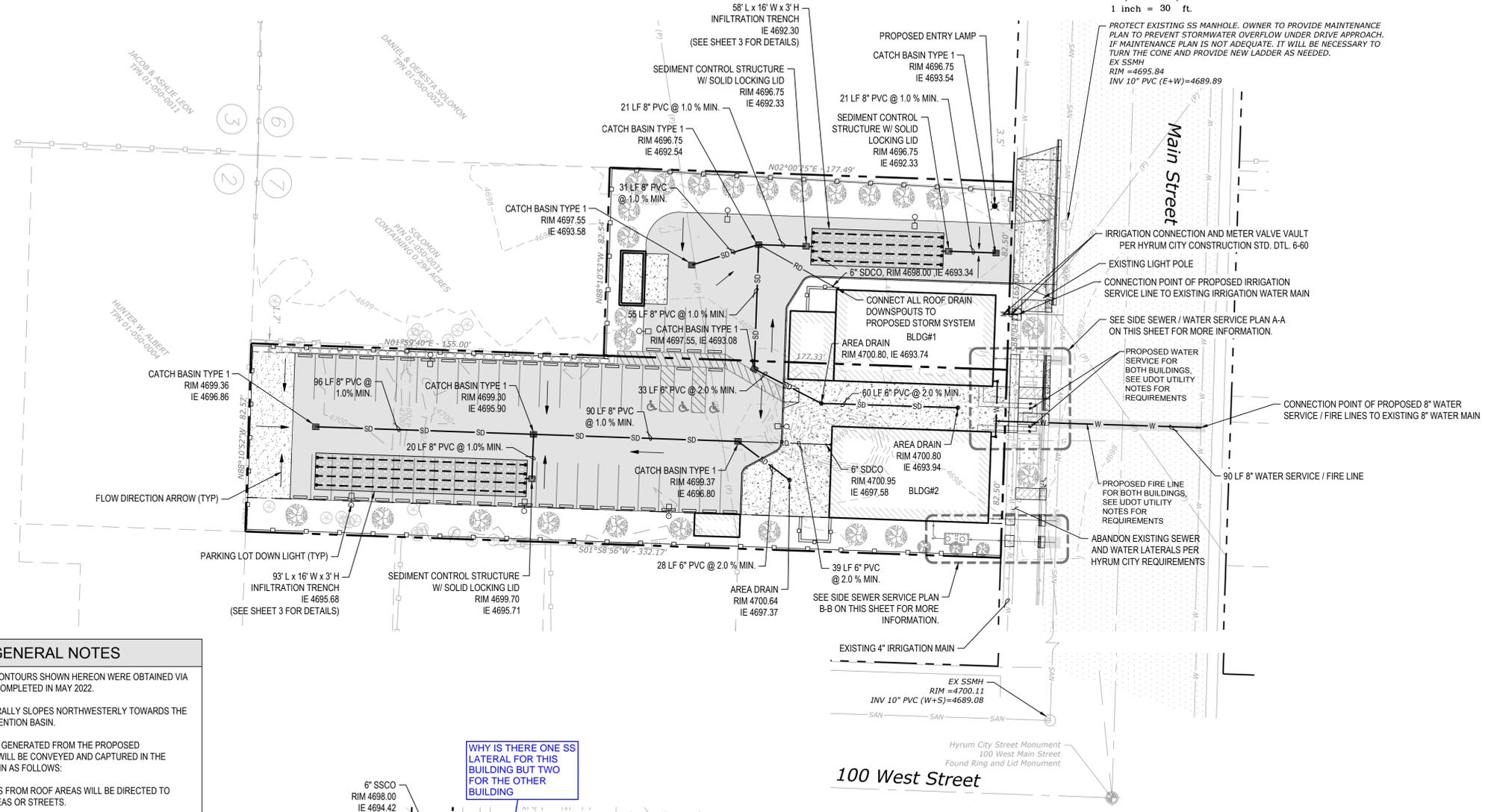


1 FRONT SIGN DETAIL NTS

EXISTING UTILITIES	
W	EX WATER LINE
⊕	EX METER
G	EX GAS LINE
P	EX UG POWER LINE
(P)	EX OVERHEAD POWER LINE
COM	EX UG COMMUNICATION LINE
⊙	EX LIGHT POLE
⊖	EX POWER POLE
SAN	EX SEWER PIPE
⊙	EX SANITARY MH/CO

LEGEND	
---	EX PROPERTY BOUNDARY
---	EX RIGHT-OF-WAY
---	EX CENTERLINE
---	EX LOT LINE
---	EX MAJOR CONTOURS
---	EX MINOR CONTOURS
---	EX ASPHALT
---	EX CONCRETE
---	EX CURBING
---	EX WOOD FENCE
---	EX SIGN
---	ASPHALT PAVEMENT
---	CONCRETE
---	BUILDING
---	LANDSCAPING
---	WOOD FENCE
---	WHEEL STOP
---	TREE
SD	STORM DRAINAGE PIPE
RD	ROOF DRAINS
---	INFILTRATION TRENCH
DS	ROOF DOWNSPOUT
SDCO	STORM CLEANOUT
AD	AREA DRAIN / CATCH BASIN TYPE 1
CB	AREA DRAIN / CATCH BASIN TYPE 1
---	FLOW ARROWSLOPE ARROW
SSS	SANITARY SEWER LATERAL
---	SANITARY CLEANOUT
W	WATER SERVICE / FIRE LINE
---	WATER METER
---	IRRIGATION CONTROL VALVE
---	LIGHT POLE

- ### GENERAL NOTES
- THE EXISTING CONTOURS SHOWN HEREON WERE OBTAINED VIA FIELD SURVEY COMPLETED IN MAY 2022.
  - THE SITE GENERALLY SLOPES NORTHWESTERLY TOWARDS THE PROPOSED RETENTION BASIN.
  - STORM RUNOFF GENERATED FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED AND CAPTURED IN THE RETENTION BASIN AS FOLLOWS:
    - A. DOWNSPOUTS FROM ROOF AREAS WILL BE DIRECTED TO LANDSCAPE AREAS OR STREETS.
    - B. LANDSCAPE AREAS WILL SHEET FLOW TO SWALES AND COLLECTED BY AREA DRAINS AND CARRIED TO THE RETENTION BASIN THROUGH UNDERGROUND PIPING.
    - C. FRONT YARDS, DRIVEWAYS, AND PORCHES WILL FLOW TO STREETS WHERE CURB AND GUTTER WILL CHANNEL THE FLOW TO CURB INLETS AT INTERSECTIONS AND LOW POINTS. UNDERGROUND PIPING INTERCONNECTING THE INLETS WILL DISCHARGE RUNOFF INTO THE RETENTION BASIN.
  - PIPE AND RETENTION BASIN SIZING WAS PERFORMED USING THE RATIONAL METHOD ( $Q = C \cdot I \cdot A$ ) WHERE:
    - A. Q = DESIGN FLOW IN CUBIC FEET PER SECOND (CFS)
    - B. C = RUNOFF COEFFICIENT WHICH REPRESENTS THE PERCENT OF PRECIPITATION THAT WILL CONTRIBUTE AS RUNOFF.
    - C. I = RAINFALL INTENSITY IN INCHES PER HOUR (IN/HR)
    - D. A = DRAINAGE AREA IN ACRES
  - THE 100 YEAR - 24 HOUR STORM EVENT WAS USED TO SIZE THE RETENTION BASIN AS SHOWN HEREON IN TABLE A. NO INFILTRATION WAS UTILIZED WHEN DETERMINING THE VOLUME REQUIRED TO RETAIN THE DESIGN STORM EVENT.
  - STORM INTENSITIES USED IN THIS STUDY AREA ARE TAKEN FROM THE NATIONAL WEATHER SERVICE'S PRECIPITATION FREQUENCY DATA SERVER. INTENSITIES FOR THE 100 YEAR STORM ARE SHOWN IN THE DRAINAGE REPORT ASSOCIATED WITH THIS PROJECT.
  - A COMPREHENSIVE STORM DRAINAGE STUDY WILL BE PROVIDED AS PART OF THE FINAL SITE PLAN SUBMITTAL.



**CITY ENGINEER APPROVAL**

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NO.	DESCRIPTION	DATE

CORPORATE OFFICE 5920 100th St. SW, Ste # 25 Lakewood, WA 98499 (253) 984-2900 beylerconsulting.com	<b>BEYLER CONSULTING</b> Plan. Design. Manage. <small>CONSTRUCTION MANAGEMENT   PROJECT MANAGEMENT   PLANNING &amp; FEASIBILITY   PERMITTING SERVICES   CONSTRUCTION MANAGEMENT</small>	UTAH <b>HYRUM MARKET 1860</b> CIVIL IMPROVEMENT PLANS HYRUM CITY DESIGNED: LCB/EJM DRAWN: EJM CHECKED: LCB SCALE: HORIZ: 1"=30' VERT: 1"=30' DATE: 4/17/2025
---	---	--

	JOB NUMBER <b>24.00160</b> SHEET <b>2 OF 10</b>
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# HYRUM MARKET 1860

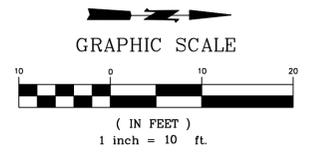
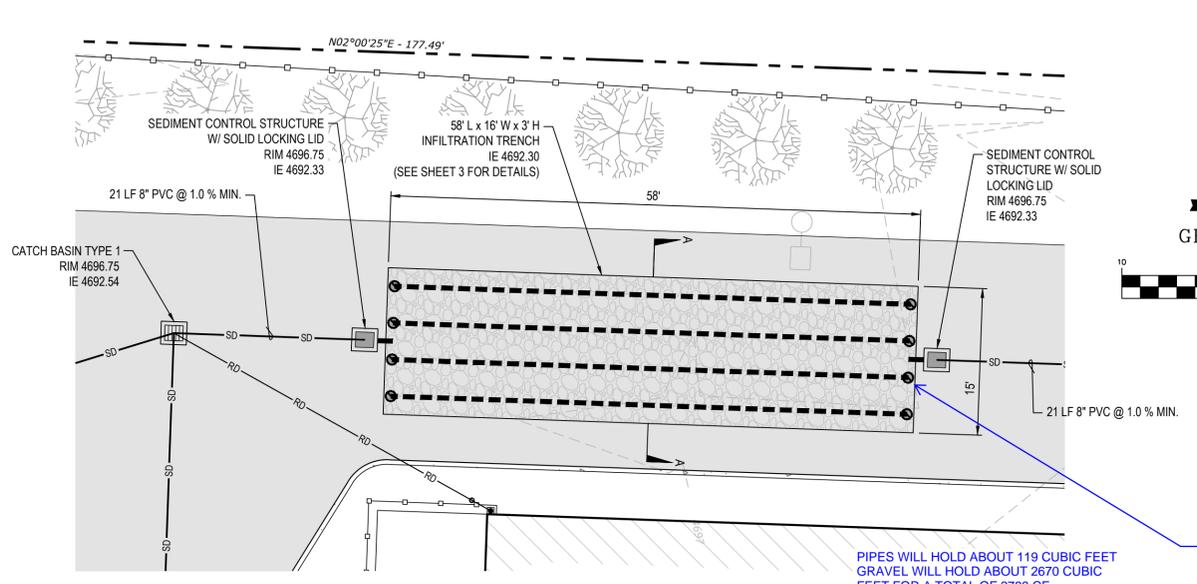
## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024

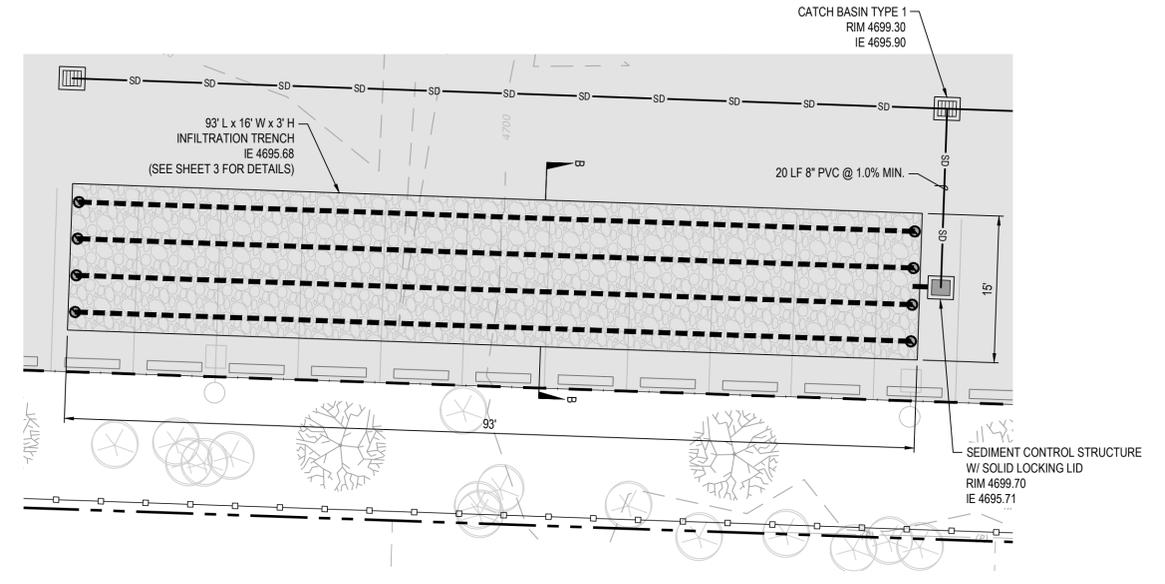


**LEGEND**

- EX PROPERTY BOUNDARY
- EX MAJOR CONTOURS
- EX MINOR CONTOURS
- ASPHALT PAVEMENT
- WOOD FENCE
- TREE
- SD - STORM DRAINAGE PIPE
- RD - ROOF DRAINS
- INFILTRATION TRENCH
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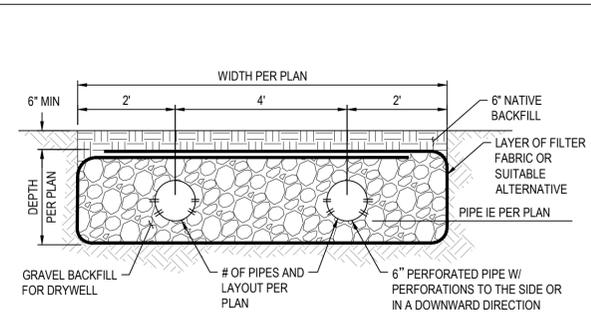
STORM INFILTRATION TRENCH A



STORMWATER RETENTION POND B

ARE THE ENDS CAPPED OR DO THEY CONNECT TO THE INLETS? HOW DOES THE STORM WATER FEED TO THE SUMP? HOW IS SEDIMENT CAPTURED TO PROVIDE LONGEVITY OF THE SYSTEM?

PIPES WILL HOLD ABOUT 119 CUBIC FEET GRAVEL WILL HOLD ABOUT 2670 CUBIC FEET FOR A TOTAL OF 2789 CF.



QUICK CALCULATIONS

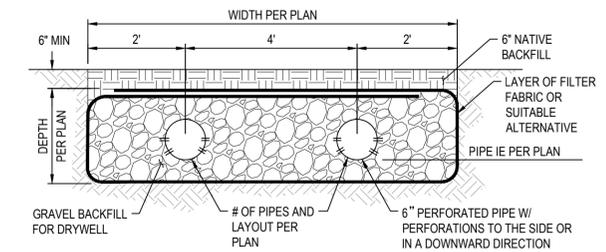
$6676 \times 0.4 =$	2,670.4
$6795 - 119 =$	6,676
$151 \times 3 \times 15 =$	6,795
$0.785375 \times 151 =$	118.591625
$0.5 \times 0.5 \times 3.1415 =$	0.785375

**NOTES:**

- PERFORATED PVC UNDERDRAIN PIPE SHALL MEET WSDOT SPECIFICATION 9-05.2(6).
- PIPE PERFORATIONS SHALL BE CIRCULAR AND A MINIMUM OF 1/2 INCH IN DIAMETER. THEY SHALL BE CLEANLY CUT AND BE SMOOTH AND UNIFORM. THERE SHALL BE A MINIMUM OF 7 SETS OF PERFORATIONS WITH 2 HOLES PER SET OF PERFORATIONS FOR EACH 3-1/2 FEET OF PIPE LENGTH.

1 STORM INFILTRATION TRENCH SECTION A-A

NTS



**NOTES:**

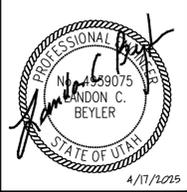
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2 STORM INFILTRATION TRENCH SECTION B-B

NTS

**BEYLER CONSULTING**  
 Plan. Design. Manage.  
 5820 100th St SW, Ste # 25  
 Lakewood, WA 98499  
 (253) 984-2900  
 beylerconsulting.com

**HYRUM MARKET 1860**  
 CIVIL IMPROVEMENT PLANS  
 UTAH  
 DATE: 4/17/2025  
 SCALE: HORIZ: 1"=10' VERT: LCB/EJM  
 CHECKED: LCB  
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**CITY ENGINEER APPROVAL**  
 I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

JOB NUMBER  
**24.00160**  
 SHEET  
**3 OF 10**

# HYRUM MARKET 1860

## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024



#### GENERAL NOTES (APPLICABLE TO ALL CIVIL SHEETS)

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY. CONTRACTOR AND DEVELOPER ARE TO FAMILIARIZE THEMSELVES WITH THE STANDARDS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTORS RISK AND EXPENSE IF ERRORS OCCUR.
- CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC AND PRIVATE) FROM ALL CONSTRUCTION DEBRIS.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
- CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTORS EXPENSE.
- DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
- DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCE AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
- THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTIONAL CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
- CONTRACTOR IS REQUIRED TO HAVE A SET OF PLANS ON THE SITE AT ALL TIMES. ANY WORK COMPLETED WITHOUT A SET PRESENT IS DONE SO AT THE CONTRACTORS RISK AND EXPENSE IF ERRORS OCCUR.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABATEMENT. COMPACTOR, ETC. THIS MAY BE COORDINATED WITH HYRUM WATER DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WATER, WASTE SITES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
- ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THAT AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
- THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
- ON SLOPING AREAS THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MITIGATE ANY POSSIBLE EROSION PROBLEMS IN THE TRENCHES DUE TO STORM WATER THAT MIGHT OCCUR DURING OR AFTER CONSTRUCTION AS DIRECTED OR APPROVED BY ENGINEER.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
- ALL GATE VALVES SHALL BE LOCATED NEAR TO TEES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC TO CONSTRUCT VERTICAL AND HORIZONTAL BENDS IN PIPE AS NEEDED TO MEET THE REQUIRED GRADES, ALIGNMENTS AND COVER REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING. NOTICE MUST BE GIVEN TO CITY 48 HOURS PRIOR TO INSPECTION.
- ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
- ONE MYLAR AND ONE PAPER SET OF AS-BUILTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS. A DIGITAL COPY OF THE DRAWINGS WILL ALSO BE REQUIRED FOR GIS LINEWORK. AS BUILT PLANS WILL BE REQUIRED TO BE SUBMITTED TO THE CITY BEFORE WARRANTY BONDS SHALL BE RELEASED.

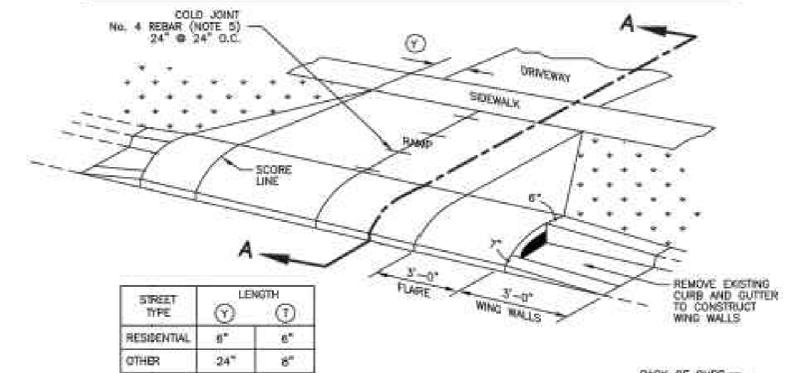
#### PIPED DRIVEWAY APPROACH

- UNTREATED BASE COURSE: Provide material specified in APWA Section 32 11 23.
  - Do not use gravel as a substitute for untreated base course without ENGINEER'S permission.
  - Place material per APWA Section 32 05 10.
  - Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
- CONCRETE: Class 4000 per APWA Section 03 30 04.
  - If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
  - Place concrete per APWA Section 03 30 10.
  - Provide 1/2 inch radius on concrete edges exposed to public view.
  - Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
- EXPANSION JOINT: Make expansion joints vertical, full depth 1/2 inch wide with type F1 joint filler material per APWA Section 32 13 73. Set top of filler flush with surface of concrete.
- CONTRACTION JOINT: Make contraction joints vertical.
  - 1/8 inch wide and 2 inches deep or 1/4 slab thickness if slab is greater than 8 inches thick.
  - Maximum length to width ratio for non-square panels is 1.5 to 1.
  - Maximum panel length (in feet) is .25 times the slab thickness (in inches) to a maximum of 15 feet.
- REINFORCEMENT: ASTM A 615, grade 60, galvanized or epoxy coated deformed steel. See APWA Section 03 20 00 requirements. Not required if driveway ramp is constructed without a cold joint.
  - As a rule, driveway grades may have a 6 percent change in slope over a 11 feet wheel base run for both crest or sag vertical curves.
  - Where heavy truck use and fire truck access applies, or to improve design speed, design grades should be cut in half.
  - Grades subject to roadway crown and gutter span to be reviewed by ENGINEER for high centering and vehicle approach speed.
- FINISH: Broomed.
- PROTECTION AND REPAIR:
  - Fill flow-line with water. Repair construction that doesn't drain.
  - Protect concrete from deicing chemicals during cure period.

#### PIPED DRIVEWAY APPROACH

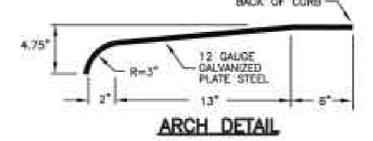
- ASPHALT CONCRETE: As specified in APWA Section 32 12 05. Compaction to be within range of 92 to 96 percent relative to ASTM D 2041 (Rice Method).
- CONCRETE: Class 4000 per APWA Section 03 30 04.
  - If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
  - Place concrete per APWA Section 03 30 10.
  - Provide 1/2 inch radius on concrete edges exposed to public view.
  - Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
- REINFORCEMENT: ASTM A 615, grade 60, galvanized or epoxy coated deformed steel. See APWA Section 03 20 00 requirements.

DO NOT CONSTRUCT THIS APPROACH WITHOUT ENGINEER'S WRITTEN APPROVAL.

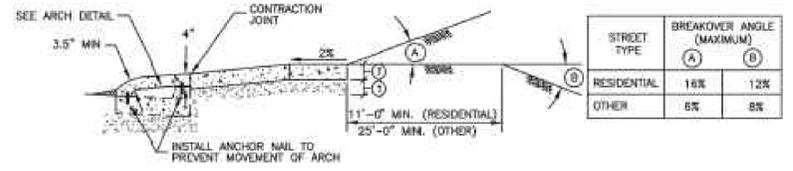


STREET TYPE	LENGTH	LENGTH
	(Y)	(T)
RESIDENTIAL	8"	6"
OTHER	24"	6"

#### OBLIQUE

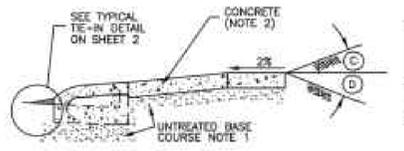


#### ARCH DETAIL



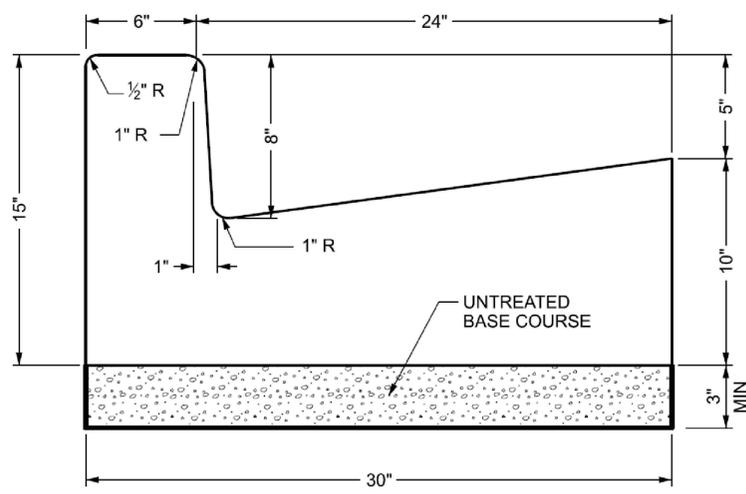
#### SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS

STREET TYPE	BREAKOVER ANGLE (MAXIMUM)	
	(A)	(B)
RESIDENTIAL	18%	12%
OTHER	6%	8%



#### SECTION A-A - TYPICAL DRIVEWAY APPROACH

STREET TYPE	BREAKOVER ANGLE (MAXIMUM)	
	(C)	(D)
RESIDENTIAL	18%	12%
OTHER	6%	6%

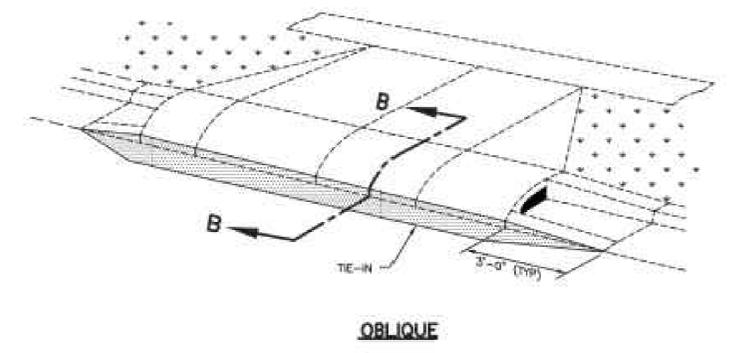


#### TYPE B2 CURB & GUTTER

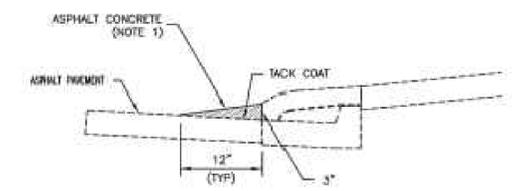
AREA = 2.059 SQ FT

#### NOTES:

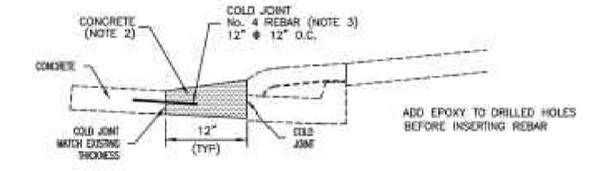
- USE 3/8 INCH DEFORMED DOWELS ON 5 FT MAXIMUM CENTERS.
- PRECAST CURBS:
  - MINIMUM OF 10 FT IN LENGTH.
  - DOWELS AT A MINIMUM OF 3 PER 10 FT LENGTH.
  - INCLUDE ADEQUATE REINFORCING STEEL TO WITHSTAND HANDLING STRESSES.
- MEASURE CURB HEIGHT VERTICALLY FROM THE FLOW LINE OF THE GUTTER TO TOP BACK OF CURB.
- REFER TO STD DWG GW 2B FOR CURB AND GUTTER AT ADA ACCESSES.



#### OBLIQUE



#### SECTION B-B - ASPHALT TIE-IN



#### SECTION B-B - CONCRETE TIE-IN

Plan No. 229  
December 2005  
Drawing 1 of 2

Plan No. 229  
January 2006  
Drawing 2 of 2

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOTES AND DETAILS SHEET 1

HYRUM MARKET 1860 CIVIL IMPROVEMENT PLANS

UTAH

DATE: 4/17/2025

VERT: VERT

CHECKED: LCB

SCALE: HORIZ

DRAWN: EJM

DESIGNED: LCB/EJM

HYRUM CITY

BEYLER CONSULTING

Plan. Design. Manage

5920 100th St. SW, Ste # 25  
Lakewood, WA 98499  
(253) 984-2900  
beylerconsulting.com

PROFESSIONAL SEAL

ANDREW C. BEYLER

STATE OF UTAH

4/17/2025

JOB NUMBER

24.00160

SHEET

4 OF 10

# HYRUM MARKET 1860

## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024



#### ASPHALT CONCRETE T-PATCH

- ADDITIONAL PAVEMENT REMOVAL: Remove additional pavement to a painted lane stripe, a lip of gutter, a curb, an existing pavement patch, or an edge of the pavement if such street feature is within 2 feet of the second saw-cut.
- UNTREATED BASE COURSE: Provide material specified in APWA Section 32 11 23.
  - Do not use gravel as a substitute for untreated base course without ENGINEER's permission.
  - Place material per APWA Section 32 05 10.
  - Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
- FLOWABLE FILL: Provide 28 day 60 psi controlled low strength material as specified in APWA Section 31 05 15. Use fill material which flows easily and vibration is not required. Cure to initial set before placing aggregate base or asphalt pavement. Use flowable fill in excavations that are too narrow to receive compaction equipment.
- TACK COAT: APWA Section 32 12 14. Full tack coat coverage on all vertical surfaces.
- ASPHALT PAVEMENT: Use asphalt concrete specified in APWA Section 33 05 25.
  - Install in lifts no greater than 3 inches after compaction.
  - Compact to 94 percent of ASTM D 2041 (Rice Method) plus or minus 2 percent.
- REINFORCEMENT: ASTM A 615, Grade 60, No. 5 galvanized or epoxy coated deformed steel 12 inches on center.
  - Required if existing concrete thickness is 6 inches or greater.
  - Not required if (1) existing concrete is less than 6 inches thick, (2) existing concrete is deteriorating, (3) excavation is less than 3 feet square, (4) asphalt pavement is substituted for concrete substrate.
- CONCRETE SUBSTRATE: Class 4000 per APWA Section 03 30 04. Place concrete per APWA Section 03 30 10. Cure to initial set before placing new asphalt concrete patch.
- JOINT REPAIR: If a crack occurs at the "T" patch connection to existing pavement or at any street fixture, seal the crack per APWA Section 32 01 17.
- PATCH REPAIR: Repair the asphalt pavement patch if any of the following conditions occur within the patch.
  - Pavement surface distortion exceeds 1/4 inch deviation in 10 feet. Repair option: Plane off surface distortions. Coat planed surfaces with a cationic or anionic emulsion that complies with APWA Section 32 12 03 and provide sand blotter.
  - Cracks at least 1-foot long and 1/4 inch wide occur more often than 1 in 10 square feet. Repair option: Crack seal.
  - Asphalt raveling is greater than 1 square foot per 100 square feet. Repair option: Mill and inlay.

#### ASPHALT CONCRETE T-PATCH

- ADDITIONAL PAVEMENT REMOVAL: Remove additional pavement to a painted lane stripe, a lip of gutter, a curb, an existing pavement patch, or an edge of the pavement if such street feature is within 2 feet of the second saw-cut.
- UNTREATED BASE COURSE: Provide material specified in APWA Section 32 11 23.
  - Do not use gravel as a substitute for untreated base course without ENGINEER's permission.
  - Place material per APWA Section 32 05 10.
  - Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
- FLOWABLE FILL: Provide 28 day 60 psi controlled low strength material as specified in APWA Section 31 05 15. Use fill material which flows easily and vibration is not required. Cure to initial set before placing aggregate base or asphalt pavement. Use flowable fill in excavations that are too narrow to receive compaction equipment.
- TACK COAT: APWA Section 32 12 14. Full tack coat coverage on all vertical surfaces.
- ASPHALT PAVEMENT: Use asphalt concrete specified in APWA Section 33 05 25.
  - Install in lifts no greater than 3 inches after compaction.
  - Compact to 94 percent of ASTM D 2041 (Rice Method) plus or minus 2 percent.
- REINFORCEMENT: ASTM A 615, Grade 60, No. 5 galvanized or epoxy coated deformed steel 24 inches on center.
  - Required if existing concrete thickness is 6 inches or greater.
  - Not required if (1) existing concrete is less than 6 inches thick, (2) existing concrete is deteriorating, (3) excavation is less than 3 feet square, (4) asphalt pavement is substituted for concrete substrate.
- CONCRETE SUBSTRATE: Class 4000 per APWA Section 03 30 04. Place concrete per APWA Section 03 30 10. Cure to initial set before placing new asphalt concrete patch.
- JOINT REPAIR: If a crack occurs at the "T" patch connection to existing pavement or at any street fixture, seal the crack per APWA Section 32 01 17.
- PATCH REPAIR: Repair the asphalt pavement patch if any of the following conditions occur within the patch.
  - Pavement surface distortion exceeds 1/4 inch deviation in 10 feet. Repair option: Plane off surface distortions. Coat planed surfaces with a cationic or anionic emulsion that complies with APWA Section 32 12 03 and provide sand blotter.
  - Cracks at least 1-foot long and 1/4 inch wide occur more often than 1 in 10 square feet. Repair option: Crack seal.
  - Asphalt raveling is greater than 1 square foot per 100 square feet. Repair option: Mill and inlay.

#### SECTION 02056

#### EMBANKMENT, BORROW, AND BACKFILL

##### PART 1 GENERAL

###### 1.1 SECTION INCLUDES

- Embankment, backfill, and bridge approach embankments.

###### 1.2 RELATED SECTIONS

- Section 02721: Untreated Base Course (UTBC)
- Section 03575: Flowable Fill

###### 1.3 REFERENCES

- AASHTO M 145: Classification of Soils and Soil-Aggregate Mixtures for Highway Construction Purposes
- AASHTO T 11: Materials Finer than 75 µm (No. 200) Sieve in Mineral Aggregates by Washing
- AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- AASHTO T 99: Moisture-Density Relations of Soils Using a 2.5 kg (5.5-lb) Rammer and a 305 mm (12 inch) Drop
- AASHTO T 180: Moisture-Density Relations of Soils Using a 4.54 kg (10-lb) Rammer and a 457 mm (18 inch) Drop
- UDOT Materials Manual of Instruction
- UDOT Minimum Sampling and Testing Requirements

###### 1.4 DEFINITIONS

- Borrow material – imported material for use in a constructed fill or backfill.
- Embankment material – suitable material from project roadway excavation or other excavation for use in a constructed fill or backfill.

Embankment, Borrow, and Backfill  
02056 – Page 1 of 8

2025 Standard Specifications  
Latest Revision: September 14, 2023

- Well-graded material – Material having an even distribution of different particle sizes. This even distribution of particles of different sizes results in a dense mass upon compaction.

##### 1.5 SUBMITTALS

- Provide the following for information before delivering material to the project:
  - Supplier and source of materials.
  - Gradation analysis. Refer to AASHTO T 27 and T 11.
  - Soil classification when applicable. Refer to AASHTO M 145.
  - Maximum Dry Density and Optimum Moisture Determination
    - Use AASHTO T 180 Method D for A-1 soils and AASHTO T 99 Method D for all other soils.
- Requests, for review, to use Untreated Base Course (UTBC) instead of granular borrow.
- Engineering proposals for review for alternate materials or trench configurations for drainage pipe bedding and pipe backfill as outlined in this Section, 2.2 G. Include all of the following:
  - Stamped drawings and specifications signed and sealed by a Professional Engineer licensed in the state of Utah, including potential for migration of fines.
  - Evaluation of site specific conditions and surrounding soils, A structural evaluation of the pipe support system for the proposed pipe that includes the pipe structural capacity and the depth of fill.
  - Complete bedding or backfill source information including gradation, soil classification, and laboratory testing reports.
- Proposals, for review, to place an initial layer of granular material as a working platform.

##### 1.6 ACCEPTANCE

- Acceptance sampling and testing is according to UDOT Minimum Sampling and Testing Requirements.
- The Engineer reserves the right to select and test material from any location at the construction site.
  - The Engineer will establish the limits of nonconforming material sampled non-randomly.
- Remove nonconforming material and replace with acceptable material.

Embankment, Borrow, and Backfill  
02056 – Page 2 of 8

2025 Standard Specifications  
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##### PART 2 PRODUCTS

###### 2.1 GENERAL

- Provide materials free of contamination from chemical or petroleum products for embankment, borrow, and backfill placements.
  - Materials may include recycled Portland Cement Concrete.
  - Do not include asphalt pavement materials.

###### 2.2 MATERIALS

- Borrow
  - Classifications A-1-a through A-4. Refer to AASHTO M 145.
- Granular Borrow
  - Classification A-1-a. Refer to AASHTO M 145.
  - Non-plastic.
  - Meet the gradation requirements of Table 1

Sieve Size	Percent Passing
4 inch	100
3 inch	90 - 100
1 inch	60 - 100
1/2 inch	30 - 80
No. 4	25 - 65
No. 10	0 - 50
No. 40	0 - 30
No. 200	0 - 15

- UTBC meeting the requirements of Section 02721, may be used, at no additional cost to the Department, upon authorization of the Engineer.
- Granular Backfill Borrow
  - Classification A-1-a. Refer to AASHTO M 145.
  - Well-graded, 2 inch maximum.
- Free-Draining Granular Backfill
  - Meet the gradation requirements of Table 2.

Embankment, Borrow, and Backfill  
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Embankment, Borrow, and Backfill  
02056 – Page 4 of 8

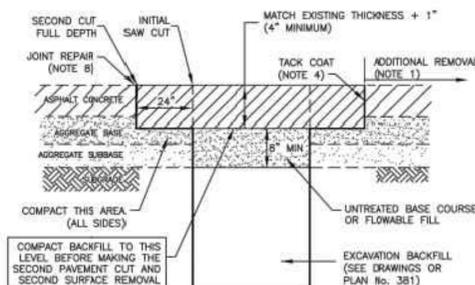
2025 Standard Specifications  
Latest Revision: September 14, 2023

##### PART 3 EXECUTION

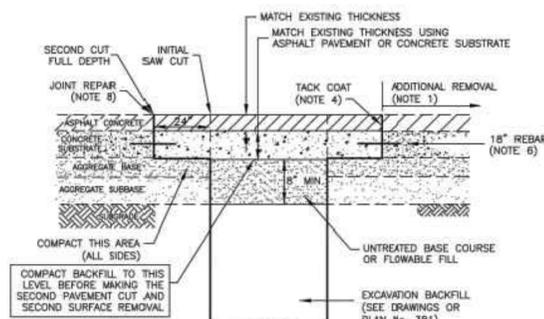
###### 3.1 GENERAL

- Complete clearing, grubbing, stripping, and stockpiling topsoil, and any necessary excavation before placing material.
- Requirements when placing material during freezing or snowy conditions:
  - Do not place embankment, borrow, or backfill material on frozen or snow-covered areas.

#### SHALLOW EXCAVATION (LESS THAN 48 INCHES FROM PAVEMENT SURFACE TO BOTTOM OF EXCAVATION)



EXAMPLE 1  
(ASPHALT RESTORATION)



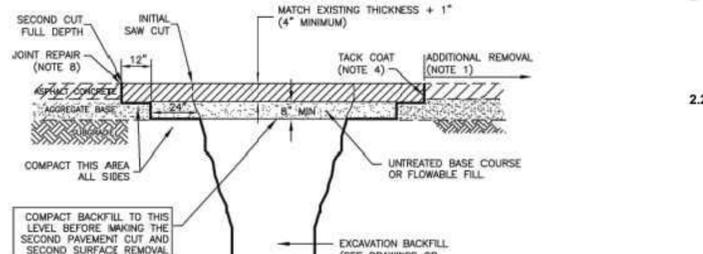
EXAMPLE 2  
(COMPOSITE RESTORATION)

#### Asphalt concrete "T" patch

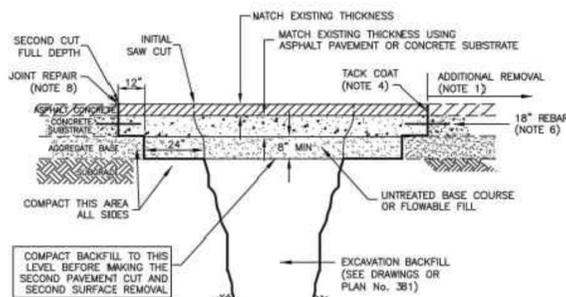
Plan No.  
**255**

Drawing 1 of 2

#### DEEP EXCAVATION (MORE THAN 48 INCHES FROM PAVEMENT SURFACE TO BOTTOM OF EXCAVATION)



EXAMPLE A  
(ASPHALT RESTORATION)



EXAMPLE B  
(COMPOSITE RESTORATION)

#### Asphalt concrete "T" patch

Plan No.  
**255**

Drawing 2 of 2

UTAH  
CIVIL IMPROVEMENT PLANS  
HYRUM MARKET 1860  
NOTES AND DETAILS SHEET 2

DATE: 4/17/2025  
VERT: 4/17/2025

BEYLER CONSULTING  
Plan. Design. Manage  
CORPORATE OFFICE  
5920 100th St SW, Ste # 25  
Lakewood, WA 98499  
(253) 984-2900  
beylerconsulting.com

UTAH  
CIVIL IMPROVEMENT PLANS  
HYRUM MARKET 1860  
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Lakewood, WA 98499  
(253) 984-2900  
beylerconsulting.com

PROFESSIONAL ENGINEER  
No. 99075  
ANDREW C. BEYLER  
STATE OF UTAH  
4/17/2025

CITY ENGINEER APPROVAL  
I CERTIFY THAT I HAVE EXAMINED THIS PLAN AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

JOB NUMBER  
**24.00160**  
SHEET  
**5 OF 10**

CAD FILE: C:\AutoCAD\AutoCAD Standards\BorC Data\Projects\_2024\Projects\01-050-0023\01-050-0023-Hyrum Market 1860\Civil\Engineering\Drawings\24.00160-Hyrum Market 1860-Civil-Improvement Plans-Notes and Details Sheet 2.dwg  
PLOT DATE/TIME: 4/17/2025 6:23 PM

# HYRUM MARKET 1860

## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024



- a. Remove snow and frozen material and furnish specified materials that can be compacted to the specified density.
  - 1) Measure removed material and provide quantities to the Engineer.
  - 2) The Department does not pay for removed material or material replacement when it would otherwise meet specification requirements if unfrozen.
- 2. Do not deliver or use frozen material.
- C. Use appropriate compaction equipment adjacent to pipes, abutments, back walls, approach slabs, wing walls, retaining walls, and other structures.
  1. Expand the width of the trench to accommodate necessary compaction equipment.
  2. Compact by hand areas where compaction equipment cannot compact the soil.
- D. Compaction Requirements
  1. Borrow, Drainage Pipe Bedding, Embankment Material, Embankment for Bridge, Granular Backfill Borrow and Granular Borrow
    - a. Compact each lift to a minimum average of 96 percent of maximum laboratory density with no single determination lower than 92 percent.
      - 1) Use AASHTO T 180 Method D for A-1 soils and AASHTO T 99 Method D for all other soils to establish maximum laboratory density.
      - 2) Maintain appropriate moisture for compaction during processing.
    - b. Meet the pavement section material density requirement for pipes that encroach into the pavement section or use flowable fill.
  2. Drainage Pipe Backfill
    - a. Compact each lift to a minimum average of 92 percent maximum laboratory density with no single determination less than 90 percent.
      - 1) Use AASHTO T 180 Method D for A-1 soils.
      - 2) Maintain appropriate moisture for compaction during processing.
    - b. Meet the pavement section material density requirement for pipes that encroach into the pavement section or use flowable fill.
  3. Material with more than 30 percent retained on the 3/4 inch sieve
    - a. Compact each lift to 100 percent of the developed field density.
      - 1) The Department develops a field density compaction curve according to UDOT Materials Manual of Instruction Section 989.

Embankment, Borrow, and Backfill  
02056 – Page 5 of 8  
2025 Standard Specifications  
Latest Revision: September 14, 2023

- 4. Free-Draining Granular Backfill
    - a. Compact each lift to 100 percent of the developed field density.
      - 1) The Department develops a field density compaction curve according to UDOT Materials Manual of Instruction Section 989.
  - E. Place an initial layer of granular material to act as a working platform over soft, wet ground when authorized by the Engineer.
    1. Density requirements do not apply to the working platform except as specified in this Section, Paragraph 3.2 B.
    2. Meet density requirements for embankment, borrow, or backfill placed above the working platform.
    3. Do not place initial layer of embankment, borrow, or backfill until the Engineer inspects and verifies the working platform or foundation.
- 3.2 EMBANKMENT MATERIAL AND BORROW PLACEMENT**
- A. Place embankment material or borrow or both in the embankment section with the highest quality material in the top portion of the embankment section.
  - B. Scarify and compact the top eight inches of the working platform or foundation to at least 90 percent of maximum laboratory density when the embankment height is 6 ft or less.
  - C. Break and scarify all underlying concrete pavement surfaces so that pieces do not exceed 1 ft<sup>2</sup> before placing material over an existing concrete pavement surface that is outside the limits of removal or excavation shown.
    1. Remove other pavement surfaces that are not portland cement concrete.
  - D. Maintain Drainage
    1. Grade and maintain the roadway to provide adequate drainage.
    2. Maintain drainage pipes and drainage ditches or provide temporary facilities when interrupting items such as irrigation systems, sewers, and under-drains.

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- E. Spread material uniformly in layers not exceeding 1 ft (uncompacted depth) and compact to the density requirements.
    1. Reduce the lift thickness or modify operations if tests show unsatisfactory density.
    2. Distribute larger particles so space exists for placing and compacting remaining material.
    3. Do not place rocks or broken concrete larger than 4 inches within 1 ft of the subgrade surface.
  - F. Finish subgrade surface within ±0.2 ft of line and grade.
  - G. Do not use compacting equipment that causes shear failure in the constructed fill or backfill.
- 3.3 GRANULAR BORROW, GRANULAR BACKFILL BORROW, AND BACKFILL PLACEMENT**
- A. Compact material in maximum 6 inch layers (uncompacted depth) to the density requirement.
  - B. Finish surface within ± 0.1 ft of line and grade.
  - C. Backfill catch basins, cleanout boxes, manholes, drainage boxes, and diversion boxes with Granular Backfill Borrow unless otherwise specified or shown.
- 3.4 DRAINAGE PIPE FOUNDATION, BEDDING, AND BACKFILL PLACEMENT**
- A. Place in 6 inch layers (uncompacted depth) and compact to the density requirement.
  - B. Place uniform layers of drainage pipe backfill on both sides of the pipe and compact to the density requirement before placing successive lifts.
  - C. Fully compact the haunch areas.
- 3.5 EMBANKMENT FOR BRIDGE PLACEMENT**
- A. Construct bridge approach embankments from the existing ground up with the specified material to the limits defined in this Section and according to GW Series Standard Drawings.
    1. Approach Embankments
      - a. Place embankment for bridge beneath the bridge except riprap or other described materials used for MSE walls.

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- b. Place embankment for bridge to extend at least 150 ft from the centerline of the bridge abutment as measured along the approach roadway alignment and on the inside of abutments.
  - c. Use the described material throughout the length of the walls where retaining walls are located beyond this delineation.
  - 2. Intersecting Roadway Embankments
    - a. Place embankment for bridge along the intersecting roadway alignment(s) at least 150 ft from the abutment centerline station as measured along the approach and intersecting alignments.
  - B. Spread embankment for bridge uniformly in layers not exceeding 1 ft (uncompacted depth) and compact to the specified density requirements before placing the next layer.
    1. Reduce the lift thickness if tests show unsatisfactory density.
  - C. Finish surface within ±0.2 ft of line and grade.
- 3.6 FREE-DRAINING GRANULAR BACKFILL PLACEMENT**
- A. Compact material in 1 ft maximum layers.
  - B. Finish surface within ±0.2 ft of line and grade.

END OF SECTION

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**SECTION 02705**

**CONCRETE AND ASPHALT CUTTING**

**PART 1 GENERAL**

**1.1 SECTION INCLUDES**

- A. Saw or cut existing pavements, curb and gutter, sidewalk, and any appurtenances as required to provide a smooth surface to match.
- B. Does not apply to new Portland cement concrete pavement (PCCP) joint sawing. Refer to Section 02752.

**1.2 RELATED SECTIONS**

- A. Section 02748: Prime Coat/Tack Coat
- B. Section 02752: Portland Cement Concrete Pavement

**1.3 REFERENCES Not Used**

**1.4 DEFINITIONS Not Used**

**1.5 SUBMITTALS Not Used**

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**3.2 PROCEDURE – ASPHALT SURFACES**

- A. Use any method that provides a vertical cut in a straight line through the full depth of the surface.
  1. Saw cut if the method of cutting does not produce a smooth, non-broken vertical edge.
- B. Make cuts so the defective surface can be removed where the edge of the existing surface is cracked, broken, or deteriorated.
  1. Verify that the entire deficient areas are removed and will not propagate.
- C. Do not allow traffic or construction equipment to cross the cut edge.
- D. Apply a tack coat to the cut edge before placing asphalt pavement when appropriate. Refer to Section 02748.

END OF SECTION

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**SECTION 02721**

**UNTREATED BASE COURSE (UTBC)**

**PART 1 GENERAL**

**1.1 SECTION INCLUDES**

- A. Production, construction, and compaction of UTBC used for pavements, shoulders, and incidental construction.

**1.2 RELATED SECTIONS**

- A. Section 01572: Dust Control and Watering

**1.3 REFERENCES**

- A. AASHTO T 11: Materials Finer than 75-µm (No. 200) Sieve in Mineral Aggregates by Washing
- B. AASHTO T 19: Bulk Density ("Unit Weight") and Voids in Aggregate
- C. AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- D. AASHTO T 89: Determining the Liquid Limit of Soils
- E. AASHTO T 90: Determining the Plastic Limit and Plasticity Index of Soils
- F. AASHTO T 98: Resistance to Degradation of Small-Sized Coarse Aggregate by Abrasion and Impact in the Los Angeles Machine
- G. AASHTO T 180: Moisture-Density Relations of Soils Using a 4.54 kg (10 lb) Rammer and 457 mm (18 in) Drop
- H. AASHTO T 193: The California Bearing Ratio
- I. AASHTO T 255: Total Evaporable Moisture Content of Aggregate by Drying
- J. AASHTO T 335: Determining the Percent of Fracture in Coarse Aggregate

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**1.4 DEFINITIONS Not Used**

**1.5 SUBMITTALS**

- A. Written report for approval for each aggregate class and source, a minimum of five working days before placement. Include the following:
  1. Aggregate suitability. Refer to this Section, Part 2.
  2. Name of supplier and location of source.
  3. Maximum Dry Density and Optimum Moisture Content and associated test result data. Refer to AASHTO T 180, Method D.
  4. Job mix gradation including single values for each sieve size, No. 4 and finer. The target values must be within the gradation limits of Table 2.
- B. Job-mix gradation changes
  1. Refer to this Section, Article 3.2.

**1.6 ACCEPTANCE**

- A. Type I Placement – Pavement Section
  1. Use Class A aggregate, Table 1.
  2. The Engineer takes random samples from the grade and tests for moisture, gradation, and laboratory density and performs in-place density determinations.
  3. Meet gradation limits and applicable tolerances of Table 2 for each gradation test.
    - a. Evaluate each subplot separately and do not average with other sublots.
  4. Meet minimum density test average of 97 percent of maximum laboratory density with no test less than 94 percent.
- B. Type II Placement – Incidental includes placement for Curb, Curb and Gutter, Driveways, Pedestrian Access Ramps, Sidewalk, Waterways, Flatwork, and other items of work in the contract to which UTBC is included and not measured or paid for separately.
  1. Use Class A aggregate, Table 1.
  2. The Engineer takes random samples from the grade and tests for moisture, gradation, and laboratory density and performs in-place density determinations.
  3. Meet gradation limits and applicable tolerances of Table 2 for each gradation test.
    - a. Each subplot will be evaluated separately and not averaged with other sublots.
  4. Meet minimum density test average of 95 percent of maximum laboratory density with no test less than 92 percent.

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NO.	DESCRIPTION	DATE

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NOTES AND DETAILS SHEET 3

**HYRUM MARKET 1860**

CIVIL IMPROVEMENT PLANS

UTAH

DATE: 4/17/2025

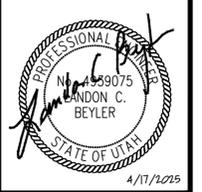
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HORIZ: 1" = 10'-0"

CHECKED: LCB

DRAWN: EJM

DESIGNED: LCB/EJM



**CITY ENGINEER APPROVAL**

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

JOB NUMBER  
**24.00160**

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# HYRUM MARKET 1860

## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024



- C. Type III Placement – Shoulder
  1. Use Class A or B aggregate, Table 1.
  2. Adjust moisture content before compaction.
- D. Material not meeting the gradation requirements may be allowed to remain in-place at the discretion of the Engineer provided density requirements are met.
  1. Additional lots may not be placed until the deficiencies are addressed and corrected.
- E. Correct material that does not meet the specified criteria by scarifying, placing additional material, re-mixing, reshaping, and re-compacting when determined by the Engineer.
- F. Do not place additional material on any unaccepted layer.

#### PART 2 PRODUCTS

##### 2.1 AGGREGATES

- A. Well-graded, clean, hard, tough, durable, and sound mineral aggregates consisting of crushed stone, crushed gravel, or crushed slag, free of organic matter and contamination from chemical or petroleum products, according to Table 1.

	Aggregate Class		
	A	B	
Dry Rodded Unit Weight	Not less than 75 lb/ft <sup>3</sup>		AASHTO T 19
Liquid Limit/Plastic Index	Non-plastic	PI ≤ 6	AASHTO T 89 AASHTO T 90
Aggregate Wear	Not to exceed 50 percent		AASHTO T 96
Gradation	Table 2		AASHTO T 11 AASHTO T 27
CBR with a 10 lb surcharge measured at 0.20 inch penetration	70% Minimum	N/A	AASHTO T 193
Two Fractured Faces	50% Min	N/A	AASHTO T 335

- B. Establish the job mix (target) gradation for the ¾ inch sieve and finer within the gradation limits.
  1. The Job Mix Gradation Tolerance is the allowable deviation from the job mix (target) gradation on the applicable sieves.
  2. All other percents passing will be within the gradation limits. Refer to AASHTO T 11 and AASHTO T 27.

Sieve Size	Job Mix Gradation Target Band	Job Mix Gradation Tolerance
1½ inch	100	
1 inch	90 - 100	±9.0
¾ inch	70 - 85	±9.0
½ inch	65 - 80	±9.0
¾ inch	55 - 75	±9.0
No. 4	40 - 65	±7.0
No. 16	25 - 40	±5.0
No. 200	7 - 11	±3.0

Percent passing based on total aggregate (dry weight) and fine and coarse aggregate with approximately the same bulk specific gravities.

#### PART 3 EXECUTION

##### 3.1 PREPARATION

- A. Remove vegetation before Type III placement. Refer to Section 02231.
  1. Protect existing delineators in place.

##### 3.2 INSTALLATION

- A. Provide moisture content of ± 2 percent of optimum at the time of placement. Refer to AASHTO T 180, Method D and AASHTO T 255.
- B. Procedures for Changing the Job-Mix Gradation
  1. Submit changes in writing 24 hours before placement for approval by the Engineer.
- C. Place in layers of uniform thickness and compact each layer to a thickness not to exceed a 6 inch depth.
  1. Do not place on any frozen surface. Refer to Section 01572.

- D. Finish to a uniform line and grade with surface deviations no more than ¾ inch in 10 ft in any direction.
  1. Correct any profile deviations greater than ¾ inch.
    - a. Rework minimum of 4 inch lift to achieve homogeneous density.
    - b. Determine limits of correction based on extent of deviation.
    - c. Continue finishing until existing deviation is less than ¾ inch.
- E. Maintain optimum moisture content ± 2 percent during compaction.
  1. Use appropriate compaction equipment adjacent to abutments, backwalls, approach slabs, wing walls, retaining walls, and other structures.
  2. Use a minimum of two passes with a roller for Type III placement or as directed by the Engineer.

END OF SECTION

#### SECTION 02741 ASPHALT MIX

##### PART 1 GENERAL

##### 1.1 SECTION INCLUDES

- A. Flexible pavement consisting of one or more layers of an asphalt mixture comprised of aggregate, asphalt binder, hydrated lime, and other additives.
- B. An option to incorporate Reclaimed Asphalt Pavement (RAP) materials into Asphalt Mix.

##### 1.2 RELATED SECTIONS

- A. Section 01456: Materials Dispute Resolution
- B. Section 02701: Pavement Smoothness
- C. Section 02742S: Project Specific Surfacing Requirements
- D. Section 02745: Asphalt Material
- E. Section 02746: Hydrated Lime
- F. Section 02748: Prime Coat/Tack Coat

##### 1.3 REFERENCES

- A. AASHTO M 323: Superpave Volumetric Mix Design
- B. AASHTO R 35: Superpave Volumetric Design for Asphalt Mixtures
- C. AASHTO T 11: Materials Finer Than 75 µm (No. 200) Sieve in Mineral Aggregates by Washing
- D. AASHTO T 19: Bulk Density ("Unit Weight") and Voids in Aggregate
- E. AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- F. AASHTO T 89: Determining the Liquid Limit of Soils

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- G. AASHTO T 90: Determining the Plastic Limit and Plasticity Index of Soils
- H. AASHTO T 96: Resistance to Degradation of Small-Size Coarse Aggregate by Abrasion and Impact in the Los Angeles Machine
- I. AASHTO T 104: Soundness of Aggregate by Use of Sodium Sulfate or Magnesium Sulfate
- J. AASHTO T 112: Clay Lumps and Friable Particles in Aggregate
- K. AASHTO T 176: Plastic Fines in Graded Aggregates and Soils by Use of the Sand Equivalent Test
- L. AASHTO T 195: Determining Degree of Particle Coating of Asphalt Mixtures
- M. AASHTO T 209: Theoretical Maximum Specific Gravity and Density of Asphalt Mixtures
- N. AASHTO T 255: Total Evaporable Moisture Content of Aggregate by Drying
- O. AASHTO T 304: Uncompacted Void Content of Fine Aggregate
- P. AASHTO T 335: Determining the Percentage of Fracture in Coarse Aggregate
- Q. UDOT Materials Manual of Instruction
- R. UDOT Minimum Sampling and Testing Requirements
- S. UDOT Quality Management Plans

##### 1.4 DEFINITIONS

- A. Longitudinal Joint – Any new asphalt lift abutting an existing paving lift. This includes joints created by echelon paving and new asphalt placed against a milled asphalt edge.
- B. Lot – The amount of Asphalt Mix placed in a single Production Day.
- C. Minor Target Change – A change from the verified mix design gradation target on a maximum of two sieves with the following limitations.
  1. The maximum change from the verified target gradation on the No. 8 or any coarser sieve is limited to 3 percent passing per sieve.

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##### 1.5 SUBMITTALS

- A. Mix design for verification and approval before paving according to UDOT Materials Manual of Instruction Section 960.
- B. Changes in job mix design
  1. Submit a written request for any proposed change in the job-mix design
    - a. Allow at least 12 hours for approval before incorporating a minor target change into production.
    - b. Allow at least six working days for verification and approval of any other change.
  2. Include documentation supporting correlation between suggested target changes and mix design volumetric requirements.
    - a. Acceptable documentation may include Department or Contractor testing data.
  3. Submit samples according to the UDOT Materials Manual of Instruction 960 for a volumetric mix design verification for anything other than approved minor target changes.

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- C. Corrective action plan for approval according to this Section, Article 3.3, paragraph C2 and Article 3.4, paragraph A4b.
- D. Refer to this Section, Article 3.4 for laboratory correlation submittals for information.
- E. Mat joint layout plan to the Engineer for review before placement.

##### 1.6 ACCEPTANCE

- A. Acceptance sampling and testing of material is according to UDOT Minimum Sampling and Testing Requirements.
- B. Gradation and asphalt binder content
  1. The Engineer evaluates a lot on the test results of four or more samples, except when only three samples can be taken.
  2. Evaluate the lot using the number of tests "n" in Table 3.
  3. The Engineer informs the Contractor of the time and place of sampling not more than 15 minutes before sampling.
  4. Increase sample sizes to accommodate validation or third-party testing as required.
- C. Density and Thickness
  1. Obtain cores from the mat and longitudinal joint within two calendar days after the pavement is placed and according to UDOT Materials Manual of Instruction, Section 964.
    - a. The Engineer marks coring location for in-place mat density and longitudinal joint density cores.
    - b. Fill core holes with Asphalt Mix, SMA or high-asphalt-content cold mix and compact in thin lifts within 24 hours and before returning to traffic.
    - c. The Department witnesses the coring operation, takes possession of the cores immediately, and begins testing the cores within 24 hours for density acceptance.

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NOTES AND DETAILS SHEET 4

**HYRUM MARKET 1860**

CIVIL IMPROVEMENT PLANS

UTAH

DATE: 4/17/2025

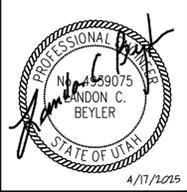
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CHECKED: LCB

DRAWN: EJM

DESIGNED: LCB/EJM



**CITY ENGINEER APPROVAL**

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

JOB NUMBER  
**24.00160**

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## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024



### 3.8 LIMITATIONS

- A. Do not place Asphalt Mix on frozen base or subbase or during adverse climatic conditions such as precipitation or when roadway surface is icy or wet.
- B. Use a release agent that does not dissolve asphalt and is satisfactory to the Engineer for all equipment and hand tools used to mix, haul, and place the Asphalt Mix.
- C. Place Asphalt Mix from April 15 through October 15, and when the air temperature in the shade and the roadway surface temperature are above 50 degrees F.
  - 1. The Department determines if it is feasible to place Asphalt Mix outside these dates and temperature limits.
  - 2. Obtain authorization from the Engineer before paving outside these requirements.

END OF SECTION

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### 2.6 EQUIPMENT

- A. Use distributor trucks with the following:
  - 1. Tachometer, pressure gauges, accurate volume measuring devices or a calibrated tank, and a thermometer for measuring temperatures of the tank contents.
  - 2. Insulated tanks capable of storing the binder at temperatures that allow the binder to remain consistent with the appropriate viscosity for proper application rates.
    - a. Use tanks equipped with baffles to prevent pressure surges resulting from the asphalt sloshing in the tank when starting and stopping.
    - b. Use trucks equipped with devices to provide for accurate control of the amount of bituminous material being applied.
  - 3. Constant volume circulation pumps and heaters to maintain a pressurized system so binder will be uniformly heated.
    - a. Circulation pump must spray a constant volume for the entire length of the spray bar for each application.
  - 4. Spray bar and nozzles designed to provide an appropriate fan width to provide uniform transverse distribution without corrugation or streaking.
    - a. Adjust the spray bar height to provide uniform distribution of binder across the application width and triple lapping of the binder on the pavement surface.
    - b. Use a fully circulating spray bar with a positive shutoff valve.
  - 5. Computerized rate control system allowing the operator to control all distributor operations from the cab to include:
    - a. Pressure regulation of the material application and automatic rate control adjustment to the unit ground speed.
      - 1) Hydrostatic system capable of maintaining a tolerance of  $\pm 0.03$  gal/yd<sup>2</sup>.
    - b. Spray bar height and width adjustment and shut off of individual spray bar sections.
- B. Use a self-propelled aggregate (chip) spreader specifically designed and manufactured for chip seal operations, equipped with the following:
  - 1. Computerized controls that will apply a uniform, even layer of aggregate across the full width of the binder and adjust output to the unit ground speed.
    - a. Use gates adjustable to drop the correct amount of aggregate plus or minus 1 lb/yd<sup>2</sup>.
  - 2. Variable width spreader with hydraulic control extension and adjustable discharge gates.
  - 3. Spreading hopper with a minimum capacity to cover a full lane of travel plus 1 ft/pass.
  - 4. Spinner broadcast type of aggregate spreader not allowed.

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### SECTION 02785

#### CHIP SEAL COAT

#### PART 1 GENERAL

##### 1.1 SECTION INCLUDES

- A. Materials and procedures for applying emulsified asphalt, followed with an application of, either a standard chip seal cover material or lightweight chip seal cover material and bituminous flush coat.

##### 1.2 RELATED SECTIONS

- A. Section 02742S: Project Specific Surfacing Requirements
- B. Section 02745: Asphalt Material
- C. Section 02748: Prime Coat/Tack Coat

##### 1.3 REFERENCES

- A. AASHTO T 11: Materials Finer Than 75  $\mu$ m (No. 200) Sieve in Mineral Aggregates by Washing
- B. AASHTO T 19: Bulk Density (Unit Weight) and Voids in Aggregate
- C. AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- D. AASHTO T 96: Resistance to Degradation of Small Size Coarse Aggregate by Abrasion and Impact in the Los Angeles Machine
- E. AASHTO T 104: Soundness of Aggregates by Use of Sodium Sulfate or Magnesium Sulfate
- F. AASHTO T 278: Surface Frictional Properties Using the British Pendulum Tester
- G. AASHTO T 279: Accelerated Polishing of Aggregates Using the British Wheel
- H. AASHTO T 335: Determining the Percentage of Fracture in Coarse Aggregate

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#### PART 3 EXECUTION

##### 3.1 PREPARATION

- A. Clean the road surface of all dirt, sand, dust, and other objectionable material to the satisfaction of the Engineer.
- B. Protect structures including but not limited to guardrail, guideposts, concrete barriers, drains, and parapets.
- C. Protect manholes, valve boxes, drop inlets, and other service utility entrances before placing any chip seal coat.
- D. Stockpile blotter material with a quantity of at least 0.25 lb/yd<sup>2</sup> for the production day.
  - 1. Blotter material must be ready to be spread within 20 minutes of a road section being chip sealed.
  - 2. Use blotter material, as needed to cover up oil if it bleeds through the new chip seal.

##### 3.2 LIMITATIONS

- A. Complete all work between May 15, and August 31.
- B. Do not place chip seal coat if surface moisture is present.

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### I. UDOT Materials Manual of Instruction (MMOI)

#### 1.4 DEFINITIONS Not Used

#### 1.5 SUBMITTALS

- A. Test reports for information that the cover material and emulsion meets requirements of this Section, Part 2.
- B. Equipment Calibration information including verifying asphalt application rates and chip application for information.
- C. Documentation verifying daily asphalt application rates and chip application for information.
- D. Vendor's bill of lading upon delivery for each emulsion used on the project for information.
  - 1. This bill of lading should certify if the emulsion was diluted or not according to this Section, Part 2.

#### PART 2 PRODUCTS

##### 2.1 CATIONIC EMULSIONS

- A. CRS-2A according to Section 02745.
- B. CRS-2P according to Section 02745.
- C. LMCRS-2 according to Section 02745.

##### 2.2 HIGH FLOAT EMULSIONS

- A. HFRS-2P according to Section 02745.
- B. HFMS-2 according to Section 02745.
- C. HFMS-2P according to Section 02745.

##### 2.3 FLUSH COAT

- A. Use the emulsion as specified in Special Provision 02742S, diluted two parts concentrate to one part water by the manufacturer.

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- C. Chip seal coat application:
  - 1. Place when the pavement temperature is between 70 and 136 degrees F.
  - 2. Place when the air temperature is between 50 and 110 degrees F.
  - 3. Do not apply after 5:00 pm if the temperature is expected to be below 50 F during the night.
  - 4. Place when the forecasted temperature is not expected to be below 40 degrees F within 3 days after placement.
- E. Do not open to traffic the same day chip seal coat is placed on Interstate routes.
  - 1. Sweep chip seal to remove unbound aggregates prior to opening to traffic.
- F. Allow at least 48 hours after completing application of cover material before applying bituminous flush coat material.
  - 1. Apply bituminous flush coat material when the air temperature in the shade is at least 50 degrees F and the pavement temperature is at least 70 degrees F.
  - 2. Do not apply bituminous flush coat material during fog, rain, or other adverse conditions.

##### 3.3 COVER MATERIAL STOCKPILE

- A. Construct individual 500 ton stockpiles for aggregates.
  - 1. Construct on a clean base to minimize contamination.
  - 2. Construct to facilitate uniform dampening.
  - 3. Avoid excess moisture.
  - 4. Combining, altering, or moving accepted stockpiles may require retesting by the Engineer before use.
- B. Notify the Engineer at least seven calendar days before placement in order for the initial stockpiles to be sampled and tested for acceptance.
- C. Obtain the Engineer's acceptance of a stockpile before use.
- D. Rework or remove material not meeting specifications from the stockpile area. Identify stockpiles that will be reworked.

### 2.4 COVER MATERIAL

- A. Meet the requirements of Table 1.
  - 1. Use crusher processed virgin aggregate consisting of natural stone, gravel, or slag for standard chips.
  - 2. Use crusher-processed rotary-kiln lightweight expanded shale chips for lightweight chips.

Table 1  
Chip Seal Cover Material Properties

Test	Test Method	Standard Chip Seal Type I & II	Lightweight Chip Seal Type I & II
*Unit Weight	AASHTO T 19	100 lb/ft <sup>3</sup> , max	60 lb/ft <sup>3</sup> , max
One Fractured Face	AASHTO T 335	95% minimum	N/A
Two Fractured Faces	AASHTO T 335	90% minimum	N/A
*LA wear	AASHTO T 96	30% maximum	30% maximum
*Soundness	AASHTO T 104	10% maximum	10% maximum
Flakiness Index	Materials MOI 933	17 maximum	25 maximum
*Stripping	Materials MOI 945	10% maximum	10% maximum
*Polishing	AASHTO T 278, T 279	31 minimum	31 minimum

\*This requirement may be waived if the aggregates have proven acceptable through successful past performance as determined by the Engineer.

- B. Meet gradation limits in Table 2. Refer to AASHTO T 27 and T 11.

Table 2  
Gradation Limits

Sieve Size	Percent Passing			
	Standard Aggregate		Lightweight Aggregate	
	Type I	Type II	Type I	Type II
1/2 in	100	100 - 98	100	100 - 90
3/4 in	100	99 - 91	80 - 100	55 - 80
No. 4	0 - 15	0 - 11	5 - 40	0 - 10
No. 8		0 - 6	0 - 20	0 - 3
No. 16			0 - 10	
No. 200	0 - 1	0 - 1.5		0 - 2

### 2.5 BLOTTER MATERIAL

- A. Refer to Section 02748.

Chip Seal Coat  
02785 – Page 3 of 9  
2025 Standard Specifications  
Latest Revision: **February 15, 2024**

### 3.4 ASPHALT MATERIAL/COVER MATERIAL APPLICATION

- A. Apply asphalt material at a rate sufficient to obtain 50 percent chip embedment before the rolling operation and 70 percent chip embedment after rolling operation.
  - 1. Adjust application rates throughout the project depending on existing conditions.
- B. Apply the asphalt emulsion at a minimum temperature of 145 degrees F.
- C. Do not apply asphalt material if material does not spray through the distributor in a uniform way and remain in place on the roadway.
- D. Place building paper adjacent to the transverse construction joint before starting each spraying operation.
  - 1. Maintain the control valve to act instantaneously both at start-up and cut-off.
- E. Locate longitudinal joints within 6 inches of the traffic lane line location.
  - 1. Construct meet lines with no skip or voids between adjacent passes.
  - 2. Do not place a double thickness of cover material.
- F. Calibrate the spreader at the beginning of each day and as often as necessary to comply with Table 3.
  - 1. Maintain a distance of less than 150 ft between the distributor and the chip spreader.
  - 2. Maintain the chip spreader speed so that chips do not bounce or roll during application.

Chip Seal Coat  
02785 – Page 7 of 9  
2025 Standard Specifications  
Latest Revision: **February 15, 2024**

NO.	DESCRIPTION	DATE

**BEYLER CONSULTING**  
Plan. Design. Manage.

CORPORATE OFFICE  
5920 100th St SW, Ste # 25  
Lakewood, WA 98499  
(253) 984-2900  
beylerconsulting.com

PROJECT MANAGEMENT | PLANNING & FEASIBILITY  
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

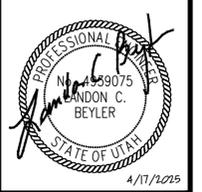
NOTES AND DETAILS SHEET 6

**HYRUM MARKET 1860**

CIVIL IMPROVEMENT PLANS

HYRUM CITY UTAH

DATE: 4/17/2025  
VERT:      SCALE:      CHECKED: LCB  
DRAWN: EJM      HORIZ:      LCB



**CITY ENGINEER APPROVAL**

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

JOB NUMBER  
**24.00160**

SHEET  
**9 OF 10**

# HYRUM MARKET 1860

## CIVIL IMPROVEMENT PLANS

### PARCEL #'s 01-050-0023 & 01-050-0024



Table 3  
Approximate Spread Rates

	Unit Weight lbs/ft <sup>3</sup>	Application Rate lbs/yd <sup>2</sup>
Lightweight Type I Chip Seal	45 - 50	9.6
	50 - 55	10.6
	55 - 60	11.6
Lightweight Type II Chip Seal	45 - 50	11.8
	50 - 55	13.1
	55 - 60	14.3
Standard Chip Seal	60 - 65	17.0
	65 - 70	18.4
	70 - 75	19.8
	75 - 80	20.7
	80 - 85	22.1
	85 - 90	23.5
	90 - 95	24.9
	95 - 100	25.8

### 3.5 SURFACE ROLLING

- A. Use at least three pneumatic-tire rollers in a longitudinal direction to roll surface after the cover material has been spread.
- B. Roll at least three passes to seat the cover material.
  - 1. A pass is defined as traveling in one direction only.
- C. Control bleeding with blotter material and as determined by the Engineer.
- D. Set the roller speed to prevent bouncing or skidding.
  - 1. Do not exceed 5 mph.
  - 2. Reduce roller speeds during directional changes to prevent surface tearing.
- E. Synchronize the speed of the distributor and chip spreader with that of the rolling operation.
  - 1. Begin initial rolling, consisting of one complete coverage, immediately behind the chip spreader.
  - 2. Begin secondary rolling, consisting of second and third coverage, immediately after completing initial rolling.
  - 3. Synchronize all operations to keep rolling operations within 2,500 feet of the ongoing chip seal application.

Chip Seal Coat  
02785 - Page 8 of 9  
2025 Standard Specifications  
Latest Revision: February 15, 2024

- F. Sweep excess cover material off the roadway after the emulsion has set.
  - 1. Remove excess cover material to the satisfaction of the Engineer before opening the roadway to traffic.
  - 2. Keep downward pressure of broom to a minimum.
  - 3. Use water as requested by the Engineer if excessive dust is generated during sweeping operations.
  - 4. Use pickup or vacuum sweepers in urban areas where aggregate accumulates in gutters or where removal is required from the edge of the shoulder.
  - 5. Do not dislodge embedded aggregate when brooming chip sealed roadway.

### 3.6 BITUMINOUS FLUSH COAT APPLICATION

- A. Clean the surface of all dirt, sand, dust, loose chips, and other objectionable material to the satisfaction of the Engineer before applying bituminous flush coat.
- B. Apply the bituminous flush coat at a rate of 0.11, ± 0.01 gal/yd<sup>2</sup>.
  - 1. Keep traffic off the flushed surface until the bituminous material has set sufficiently to prevent tracking or pick-up.

### 3.7 PAVEMENT MARKING PAINT

- A. Allow at least 24 hours after completing flush coat before applying permanent pavement markings.

END OF SECTION

Chip Seal Coat  
02785 - Page 9 of 9  
2025 Standard Specifications  
Latest Revision: February 15, 2024

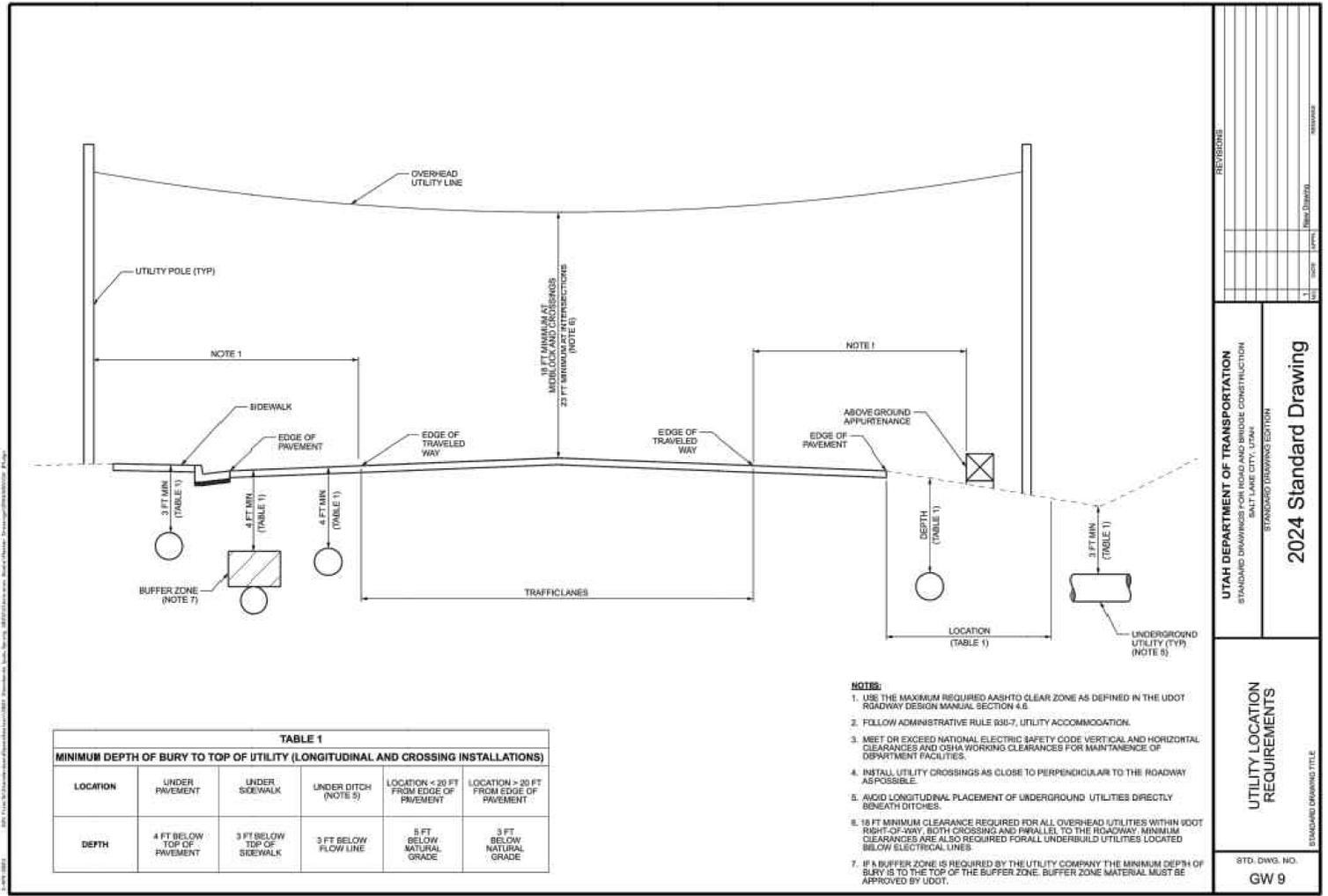


TABLE 1  
MINIMUM DEPTH OF BURY TO TOP OF UTILITY (LONGITUDINAL AND CROSSING INSTALLATIONS)

LOCATION	UNDER PAVEMENT	UNDER SIDEWALK	UNDER DITCH (NOTE 5)	LOCATION < 20 FT FROM EDGE OF PAVEMENT	LOCATION > 20 FT FROM EDGE OF PAVEMENT
DEPTH	4 FT BELOW TOP OF PAVEMENT	3 FT BELOW TOP OF SIDEWALK	3 FT BELOW FLOW LINE	5 FT BELOW NATURAL GRADE	3 FT BELOW NATURAL GRADE

- NOTES:
- USE THE MAXIMUM REQUIRED AASHTO CLEAR ZONE AS DEFINED IN THE UDOT ROADWAY DESIGN MANUAL SECTION 4.6.
  - FOLLOW ADMINISTRATIVE RULE 630-7, UTILITY ACCOMMODATION.
  - MEET OR EXCEED NATIONAL ELECTRIC SAFETY CODE VERTICAL AND HORIZONTAL CLEARANCES AND OSHA WORKING CLEARANCES FOR MAINTENANCE OF DEPARTMENT FACILITIES.
  - INSTALL UTILITY CROSSINGS AS CLOSE TO PERPENDICULAR TO THE ROADWAY AS POSSIBLE.
  - AVOID LONGITUDINAL PLACEMENT OF UNDERGROUND UTILITIES DIRECTLY BENEATH DITCHES.
  - 18 FT MINIMUM CLEARANCE REQUIRED FOR ALL OVERHEAD UTILITIES WITHIN VDOT RIGHT-OF-WAY, BOTH CROSSING AND PARALLEL TO THE ROADWAY. MINIMUM CLEARANCES ARE ALSO REQUIRED FOR ALL UNDERBUILD UTILITIES LOCATED BELOW ELECTRICAL LINES.
  - IF A BUFFER ZONE IS REQUIRED BY THE UTILITY COMPANY THE MINIMUM DEPTH OF BURY IS TO THE TOP OF THE BUFFER ZONE. BUFFER ZONE MATERIAL MUST BE APPROVED BY UDOT.

UTAH DEPARTMENT OF TRANSPORTATION  
STANDARD DRAWINGS FOR ROAD AND BRIDGE CONSTRUCTION  
SALT LAKE CITY, UTAH  
STANDARD DRAWING EDITION  
2024 Standard Drawing

UTILITY LOCATION REQUIREMENTS

STD. DWG. NO.  
GW 9

BEYLER CONSULTING  
Plan. Design. Manage  
CORPORATE OFFICE  
5920 100th St. SW, Ste # 25  
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(253) 984-2900  
beylerconsulting.com

NOTES AND DETAILS SHEET 7  
HYRUM MARKET 1860  
CIVIL IMPROVEMENT PLANS  
UTAH  
DATE: 4/17/2025  
VERT: SCALE: HORIZ: CHECKED: LCB DRAWN: EJM DESIGNED: LCB/EJM HYRUM CITY

PROFESSIONAL SEAL  
N. 10075  
ANDREW C. BEYLER  
STATE OF UTAH  
4/17/2025

CITY ENGINEER APPROVAL  
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

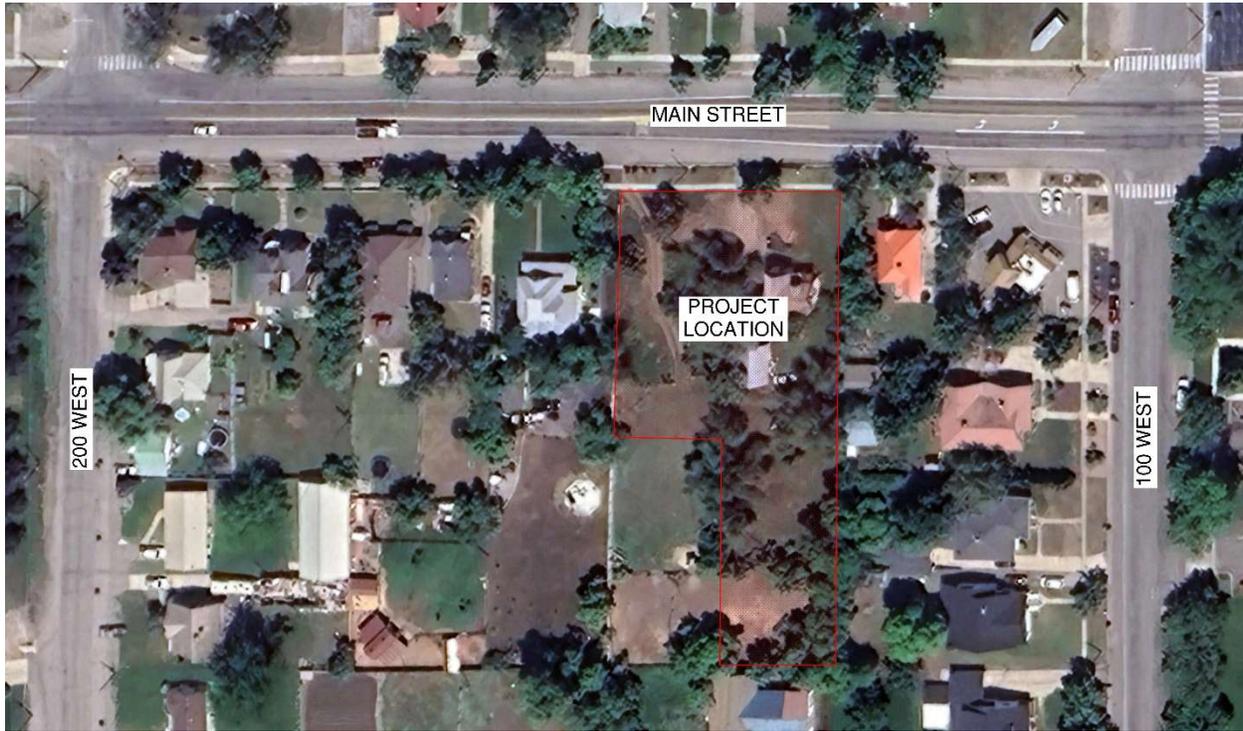
JOB NUMBER  
24.00160  
SHEET  
10 OF 10



PRELIMINARY DRAINAGE REPORT FOR:

# HYRUM MARKET 1860

HYRUM CITY, UTAH



REVIEWED BY:



**BEYLER**

CONSULTING

Landon Beyler, PE

Beyler Consulting

5920 100<sup>th</sup> St SW, Ste #25

Lakewood, WA 98799

## Preliminary Drainage Plan

### 1. GENERAL DESCRIPTION

The Hyrum Market 1860 is a 0.965 acre property located in Hyrum, Cache County, Utah and is situated west at 127 West Main Street. This property will be developed into 2 commercial buildings and consist of parking area, buildings, and landscaping.

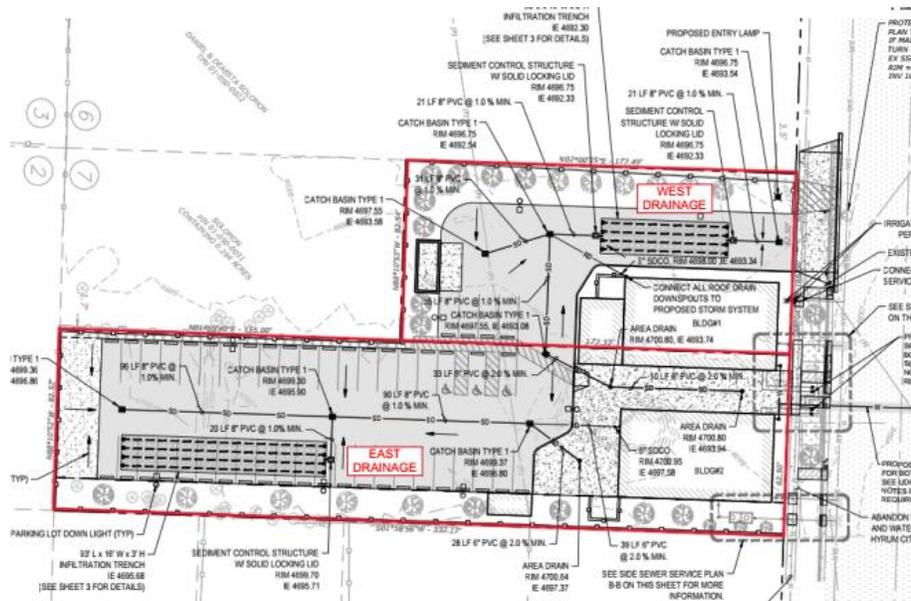
The current parcels consists of houses, detached garage/barn, small sheds, and an unfinished concrete structure. The remaining area appears to be mainly used as pastureland. All building on the site will be demolished as part of this development.

### 2. PROPOSED ON-SITE DRAINAGE

Surface water from precipitation generally drains towards the northwest corner of the property. Due to roadways that border to the north, it is anticipated that upstream flows will be conveyed past the property through the roadways and not impact the project.

Based on a zero release rate from the project, an analysis was performed for this site. The site is divided into two drainage areas, each with their own retention basin, designated as the west drainage and east drainage. The location is based on topography and the layout of the proposed roadways and buildings. The retention facility will capture the 100-year 24-hour storm event with one foot of freeboard.

Storm drain piping will be installed within the Project to capture runoff generated from buildings, roadways, and landscape areas. Water will generally sheet flow to roadways, flow down gutters to inlets and be conveyed in pipes to the retention basin. The proposed development for this site consists of 2 commercial buildings and consist of parking area, buildings, and landscaping. Runoff from this project will be collected within the project by inlet boxes and conveyed through underground piping to a retention basin. The retention basin will be located and described above and as shown on the Drainage Basin Map shown here.



### 3. CALCULATIONS

Runoff calculations are provided below. The 100 year, 24 hour storm event was used for the sizing of the retention basin.

#### 3.1 DESIGN STORM CRITERIA

Storm intensities used in this study area are taken from the NOAA Atlas 14, Volume 1, Version 5 for Latitude 41.6339, Longitude -111.8589, Elevation 4698. Storm intensity and depth tables are attached for reference.

#### 3.2 STORM DRAINAGE GENERATION

The storm drain analysis is completed using the rational method, using the rational formula:

$$Q = C * i * A$$

Where;

Q = Design flow in cubic feet per second (cfs)

C = Runoff coefficient. Represents percent of precipitation that will contribute as runoff.

i = Rainfall intensity in inches per hour (in/hr)

A = Drainage area in acres (Ac)

A unique C value is assigned to each type of land cover such as impervious and pervious surfaces. Examples of impervious surfaces are the asphalt street, concrete driveways and sidewalks. Examples of pervious surfaces are lawns, gardens and open areas. The C value for some land cover types is also affected by the drainage configuration of that cover. For example, house roofs are essentially impervious surfaces, but because of the nature of roof rain gutter systems and because the down spouts from the rain gutters typically drain onto open lawns, the percentage of water contributed to the Subdivision storm drainage system is usually much lower than other impervious surfaces.

For this analysis, the drainage areas are divided into three surface cover types, namely hardscape, buildings, and landscaped areas. The streets include park strips and sidewalks.

The assigned C value for each surface cover is as follows:

Hardscape C = 0.90

Buildings C = 0.85

Landscaping C = 0.15

For each drainage sub-basin the amount of impermeable and permeable surface area is measured to calculate a composite C value. The composite C value is calculated as follows.

$$\text{Composite C} = \text{Sum} ( C_i * A_i ) / A_t$$

Where;

C<sub>i</sub> = Runoff coefficient for each type of land cover.

A<sub>i</sub> = Drainage area of each type of land cover.

A<sub>t</sub> = Total drainage area of all types of land cover in the sub-basin.

#### 3.3 DRAINAGE BASIN DELINEATION

For the purposes of this preliminary study, areas were calculated for each of the surface cover types in order to calculate the volume of runoff the retention basin should capture. For final design, delineation will be performed so piping can be sized appropriately. The attached Table A shows the volume calculation.

## TABLE 1 WEST RETENTION BASIN

Rain Fall Intensity from NOAA Website for Hyrum, Utah, 41.6339° N, 111.8589° W

<u>Infiltration</u>		<u>Drainage Characteristics</u>	
Design Rate [ft/sec]	8.33E-05	80th Percentile Storm [in]	0.50
		Land Disturbance [ac]	0.33
		Impervious Area [ac]	0.26
		Imperviousness	78.79%
		R_v	0.697
		Minimum Retention Volume [cf]	417
		LID Depth [ft]	0.92
		Contributing Area [ac]	0.33
		C (Weighted Average)	0.73
		C*A	0.24
		Calculated Orifice Diameter [in]	0.00
		Rounded Orifice Diameter [in]	0.00

A	B	C	D	E	F	G	H	I	J	K (C - F - I)
Time [min]	100 yr intensity [in/hr]	Storm Volume [cf]	Estimated Max Stage [ft]	Infiltration Area [sf]	Infiltration [cf]	Outlet Time [min]	Outlet Rate [cfs]	Outlet Volume During the Storm [cf]	Outlet Volume After the Storm [cf]	Accumulated Storage [cf]
5	5.78	417	0.89	669.28	16.73	-	-	-	-	400.58
10	4.40	635	1.18	801.33	40.07	-	-	-	-	595.43
15	3.64	788	1.35	878.75	65.91	-	-	-	-	721.97
30	2.44	1,056	1.60	992.59	148.89	-	-	-	-	907.39
60	1.52	1,316	1.60	992.59	297.78	-	-	-	-	1,018.24
120	0.86	1,489	1.60	992.59	595.55	-	-	-	-	893.62
180	0.61	1,576	1.60	992.59	893.33	-	-	-	-	682.43
360	0.36	1,853	1.60	992.59	1,786.66	-	-	-	-	66.15
720	0.22	2,286	1.60	992.59	3,573.32	-	-	-	-	-
1,440	0.13	2,788	1.60	992.59	7,146.64	-	-	-	-	-

Basin Characteristics

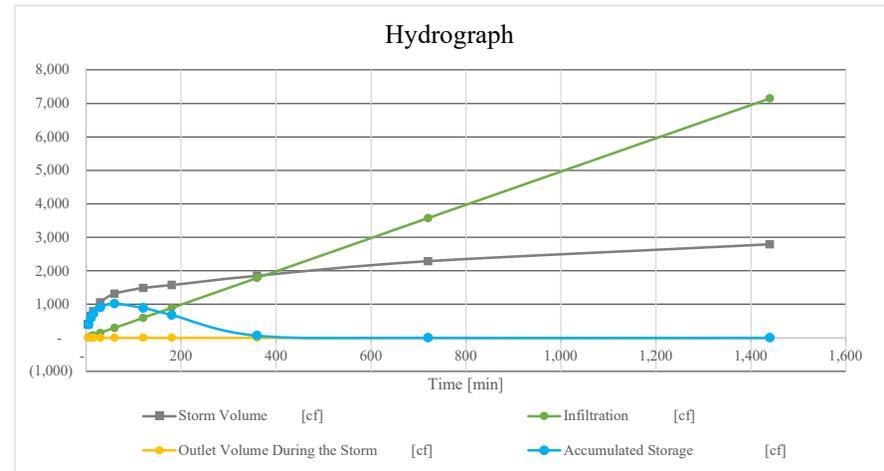
Volume [cf]	1,033.73
Depth [ft]	1.60
Top Area [sf]	1,028.16

Emergency Overflow

Rate [cfs]	0.37
Height [ft]	2.00
Length [ft]	0.04

Orifice Diameter [in]	-
Height of Outlet	0' 11"

<b>Volume Provided [ft³]</b>	<b>1,034</b>	<b>102% of required</b>
------------------------------	--------------	-------------------------



## TABLE 1 EAST RETENTION BASIN

Rain Fall Intensity from NOAA Website for Hyrum, Utah, 41.6339° N, 111.8589° W

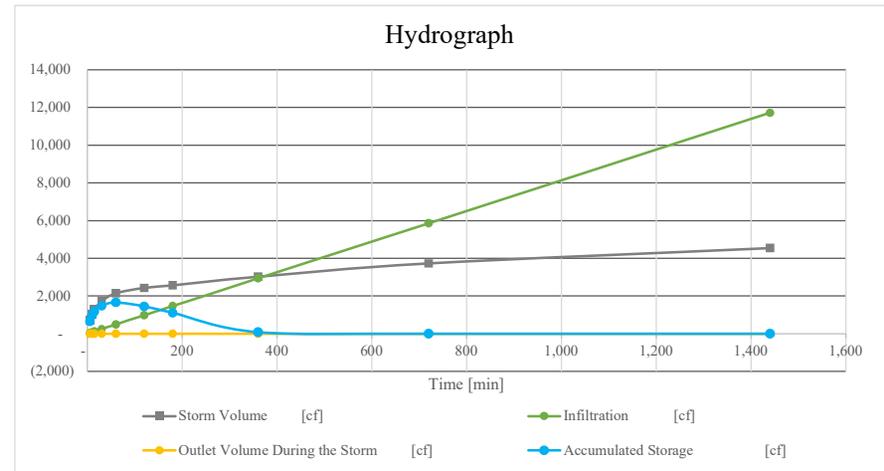
<u>Infiltration</u>		<u>Drainage Characteristics</u>	
Design Rate [ft/sec]	8.33E-05	80th Percentile Storm [in]	0.50
		Land Disturbance [ac]	0.63
		Impervious Area [ac]	0.40
		Imperviousness	63.49%
		R_v	0.557
		Minimum Retention Volume [cf]	637
		LID Depth [ft]	0.92
		Contributing Area [ac]	0.63
		C (Weighted Average)	0.62
		C*A	0.39
		Calculated Orifice Diameter [in]	0.00
		Rounded Orifice Diameter [in]	0.00

A	B	C	D	E	F	G	H	I	J	K (C - F - I)
Time [min]	100 yr intensity [in/hr]	Storm Volume [cf]	Estimated Max Stage [ft]	Infiltration Area [sf]	Infiltration [cf]	Outlet Time [min]	Outlet Rate [cfs]	Outlet Volume During the Storm [cf]	Outlet Volume After the Storm [cf]	Accumulated Storage [cf]
5	5.78	679	0.88	1,095.18	27.38	-	-	-	-	651.95
10	4.40	1,034	1.18	1,317.17	65.86	-	-	-	-	968.64
15	3.64	1,283	1.35	1,442.96	108.22	-	-	-	-	1,174.33
30	2.44	1,719	1.60	1,627.96	244.19	-	-	-	-	1,475.27
60	1.52	2,142	1.60	1,627.96	488.39	-	-	-	-	1,653.90
120	0.86	2,424	1.60	1,627.96	976.77	-	-	-	-	1,447.39
180	0.61	2,565	1.60	1,627.96	1,465.16	-	-	-	-	1,099.95
360	0.36	3,016	1.60	1,627.96	2,930.32	-	-	-	-	85.79
720	0.22	3,721	1.60	1,627.96	5,860.64	-	-	-	-	-
1,440	0.13	4,538	1.60	1,627.96	11,721.29	-	-	-	-	-

<u>Basin Characteristics</u>		<u>Emergency Overflow</u>	
Volume [cf]	1,667.33	Rate [cfs]	0.60
Depth [ft]	1.60	Height [ft]	2.00
Top Area [sf]	1,640.16	Length [ft]	0.06

Orifice Diameter [in] -  
Height of Outlet 0' 11"

**Volume Provided [ft³]                      1,667                      101% of required**





**NOAA Atlas 14, Volume 1, Version 5**  
**Location name: Hyrum, Utah, USA\***  
**Latitude: 41.6339°, Longitude: -111.8589°**  
**Elevation: 4698 ft\*\***  
 \* source: ESRI Maps  
 \*\* source: USGS



**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Tryppaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aeriels](#)

**PF tabular**

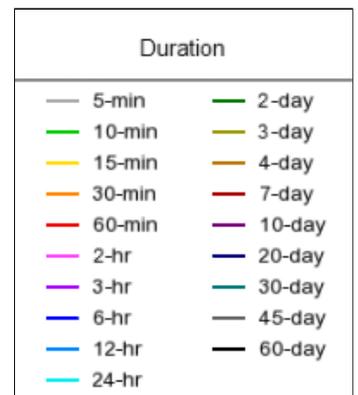
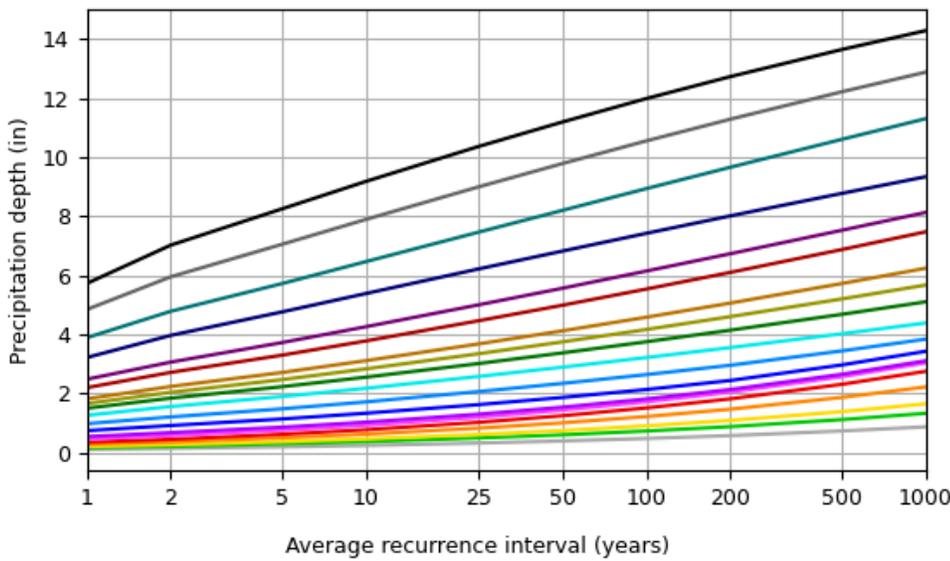
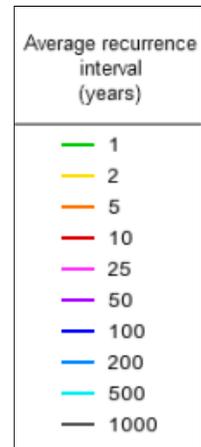
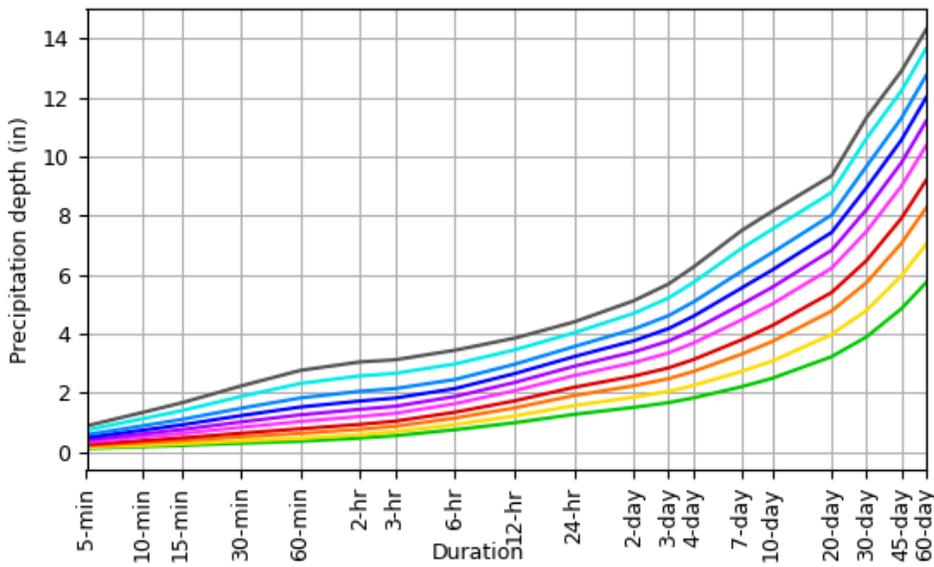
<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)<sup>1</sup></b>										
<b>Duration</b>	<b>Average recurrence interval (years)</b>									
	<b>1</b>	<b>2</b>	<b>5</b>	<b>10</b>	<b>25</b>	<b>50</b>	<b>100</b>	<b>200</b>	<b>500</b>	<b>1000</b>
<b>5-min</b>	<b>0.114</b> (0.100-0.130)	<b>0.144</b> (0.128-0.166)	<b>0.199</b> (0.175-0.228)	<b>0.248</b> (0.216-0.284)	<b>0.327</b> (0.279-0.376)	<b>0.398</b> (0.330-0.460)	<b>0.482</b> (0.390-0.563)	<b>0.580</b> (0.453-0.687)	<b>0.737</b> (0.549-0.893)	<b>0.877</b> (0.627-1.08)
<b>10-min</b>	<b>0.173</b> (0.152-0.197)	<b>0.219</b> (0.195-0.252)	<b>0.302</b> (0.265-0.347)	<b>0.377</b> (0.328-0.432)	<b>0.498</b> (0.424-0.573)	<b>0.605</b> (0.503-0.700)	<b>0.734</b> (0.593-0.857)	<b>0.883</b> (0.689-1.05)	<b>1.12</b> (0.835-1.36)	<b>1.34</b> (0.954-1.65)
<b>15-min</b>	<b>0.215</b> (0.188-0.244)	<b>0.272</b> (0.241-0.312)	<b>0.375</b> (0.329-0.430)	<b>0.468</b> (0.406-0.535)	<b>0.616</b> (0.526-0.709)	<b>0.750</b> (0.624-0.868)	<b>0.910</b> (0.735-1.06)	<b>1.09</b> (0.855-1.30)	<b>1.39</b> (1.04-1.68)	<b>1.66</b> (1.18-2.05)
<b>30-min</b>	<b>0.289</b> (0.254-0.329)	<b>0.366</b> (0.324-0.420)	<b>0.505</b> (0.443-0.578)	<b>0.630</b> (0.547-0.721)	<b>0.830</b> (0.707-0.955)	<b>1.01</b> (0.840-1.17)	<b>1.22</b> (0.990-1.43)	<b>1.47</b> (1.15-1.75)	<b>1.87</b> (1.39-2.27)	<b>2.23</b> (1.59-2.76)
<b>60-min</b>	<b>0.357</b> (0.314-0.407)	<b>0.453</b> (0.401-0.520)	<b>0.624</b> (0.548-0.716)	<b>0.779</b> (0.677-0.892)	<b>1.03</b> (0.876-1.18)	<b>1.25</b> (1.04-1.45)	<b>1.52</b> (1.22-1.77)	<b>1.82</b> (1.42-2.16)	<b>2.32</b> (1.73-2.81)	<b>2.76</b> (1.97-3.41)
<b>2-hr</b>	<b>0.463</b> (0.415-0.520)	<b>0.581</b> (0.519-0.651)	<b>0.762</b> (0.677-0.853)	<b>0.929</b> (0.817-1.04)	<b>1.20</b> (1.03-1.35)	<b>1.44</b> (1.21-1.63)	<b>1.72</b> (1.41-1.97)	<b>2.05</b> (1.63-2.39)	<b>2.57</b> (1.94-3.08)	<b>3.04</b> (2.21-3.72)
<b>3-hr</b>	<b>0.545</b> (0.496-0.610)	<b>0.680</b> (0.618-0.763)	<b>0.864</b> (0.782-0.965)	<b>1.04</b> (0.929-1.16)	<b>1.30</b> (1.15-1.46)	<b>1.54</b> (1.33-1.74)	<b>1.82</b> (1.53-2.08)	<b>2.14</b> (1.75-2.49)	<b>2.66</b> (2.08-3.17)	<b>3.11</b> (2.35-3.79)
<b>6-hr</b>	<b>0.746</b> (0.683-0.822)	<b>0.921</b> (0.841-1.02)	<b>1.14</b> (1.04-1.26)	<b>1.34</b> (1.21-1.48)	<b>1.63</b> (1.45-1.81)	<b>1.87</b> (1.64-2.09)	<b>2.14</b> (1.85-2.41)	<b>2.45</b> (2.07-2.80)	<b>2.97</b> (2.44-3.47)	<b>3.44</b> (2.74-4.08)
<b>12-hr</b>	<b>0.982</b> (0.900-1.08)	<b>1.21</b> (1.11-1.34)	<b>1.48</b> (1.35-1.64)	<b>1.72</b> (1.56-1.90)	<b>2.07</b> (1.85-2.29)	<b>2.34</b> (2.08-2.61)	<b>2.64</b> (2.30-2.98)	<b>2.96</b> (2.53-3.37)	<b>3.45</b> (2.87-3.99)	<b>3.85</b> (3.12-4.52)
<b>24-hr</b>	<b>1.27</b> (1.15-1.40)	<b>1.56</b> (1.42-1.72)	<b>1.90</b> (1.72-2.10)	<b>2.18</b> (1.97-2.40)	<b>2.58</b> (2.32-2.84)	<b>2.89</b> (2.60-3.18)	<b>3.22</b> (2.87-3.55)	<b>3.56</b> (3.16-3.92)	<b>4.03</b> (3.53-4.45)	<b>4.39</b> (3.83-4.87)
<b>2-day</b>	<b>1.50</b> (1.36-1.68)	<b>1.85</b> (1.67-2.06)	<b>2.24</b> (2.02-2.50)	<b>2.56</b> (2.31-2.86)	<b>3.02</b> (2.70-3.36)	<b>3.38</b> (3.02-3.76)	<b>3.76</b> (3.33-4.18)	<b>4.15</b> (3.66-4.62)	<b>4.68</b> (4.09-5.23)	<b>5.11</b> (4.43-5.72)
<b>3-day</b>	<b>1.66</b> (1.51-1.86)	<b>2.04</b> (1.85-2.28)	<b>2.48</b> (2.24-2.76)	<b>2.84</b> (2.56-3.17)	<b>3.35</b> (3.00-3.73)	<b>3.75</b> (3.35-4.18)	<b>4.17</b> (3.70-4.64)	<b>4.61</b> (4.06-5.13)	<b>5.21</b> (4.55-5.81)	<b>5.68</b> (4.92-6.35)
<b>4-day</b>	<b>1.82</b> (1.65-2.03)	<b>2.24</b> (2.03-2.50)	<b>2.72</b> (2.46-3.03)	<b>3.12</b> (2.82-3.48)	<b>3.68</b> (3.31-4.10)	<b>4.12</b> (3.69-4.59)	<b>4.59</b> (4.07-5.10)	<b>5.07</b> (4.46-5.64)	<b>5.73</b> (5.00-6.38)	<b>6.25</b> (5.40-6.97)
<b>7-day</b>	<b>2.20</b> (1.99-2.47)	<b>2.72</b> (2.46-3.05)	<b>3.30</b> (2.99-3.71)	<b>3.79</b> (3.42-4.25)	<b>4.46</b> (4.01-5.00)	<b>4.99</b> (4.46-5.59)	<b>5.54</b> (4.93-6.21)	<b>6.11</b> (5.40-6.85)	<b>6.88</b> (6.02-7.74)	<b>7.48</b> (6.50-8.44)
<b>10-day</b>	<b>2.49</b> (2.26-2.77)	<b>3.07</b> (2.79-3.42)	<b>3.73</b> (3.38-4.15)	<b>4.27</b> (3.87-4.75)	<b>5.00</b> (4.51-5.56)	<b>5.56</b> (5.00-6.18)	<b>6.15</b> (5.50-6.84)	<b>6.74</b> (5.99-7.50)	<b>7.53</b> (6.64-8.41)	<b>8.14</b> (7.12-9.11)
<b>20-day</b>	<b>3.22</b> (2.96-3.50)	<b>3.97</b> (3.65-4.32)	<b>4.77</b> (4.38-5.18)	<b>5.39</b> (4.95-5.86)	<b>6.22</b> (5.69-6.75)	<b>6.82</b> (6.24-7.41)	<b>7.43</b> (6.77-8.09)	<b>8.02</b> (7.27-8.74)	<b>8.78</b> (7.92-9.60)	<b>9.35</b> (8.39-10.2)
<b>30-day</b>	<b>3.89</b> (3.60-4.24)	<b>4.79</b> (4.43-5.21)	<b>5.73</b> (5.29-6.23)	<b>6.47</b> (5.97-7.04)	<b>7.46</b> (6.87-8.11)	<b>8.20</b> (7.53-8.92)	<b>8.94</b> (8.19-9.73)	<b>9.66</b> (8.81-10.5)	<b>10.6</b> (9.61-11.6)	<b>11.3</b> (10.2-12.4)
<b>45-day</b>	<b>4.84</b> (4.48-5.23)	<b>5.96</b> (5.50-6.43)	<b>7.06</b> (6.52-7.61)	<b>7.90</b> (7.29-8.52)	<b>8.99</b> (8.28-9.69)	<b>9.78</b> (8.98-10.5)	<b>10.6</b> (9.67-11.4)	<b>11.3</b> (10.3-12.2)	<b>12.2</b> (11.1-13.2)	<b>12.9</b> (11.7-14.0)
<b>60-day</b>	<b>5.73</b> (5.30-6.19)	<b>7.03</b> (6.50-7.60)	<b>8.26</b> (7.64-8.93)	<b>9.19</b> (8.49-9.94)	<b>10.4</b> (9.56-11.2)	<b>11.2</b> (10.3-12.1)	<b>12.0</b> (11.0-13.0)	<b>12.7</b> (11.7-13.8)	<b>13.6</b> (12.5-14.9)	<b>14.3</b> (13.0-15.6)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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**PF graphical**

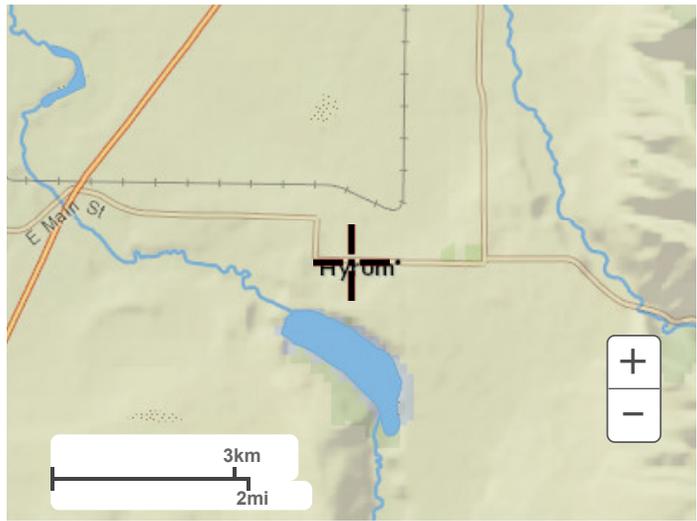
PDS-based depth-duration-frequency (DDF) curves  
Latitude: 41.6339°, Longitude: -111.8589°



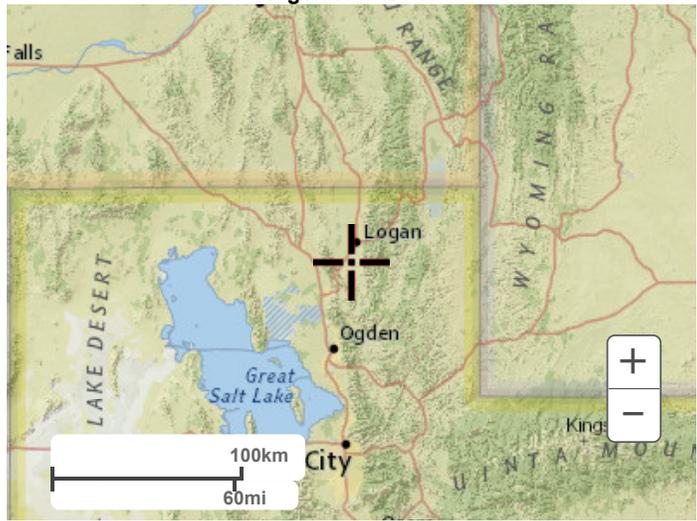
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**Maps & aerials**

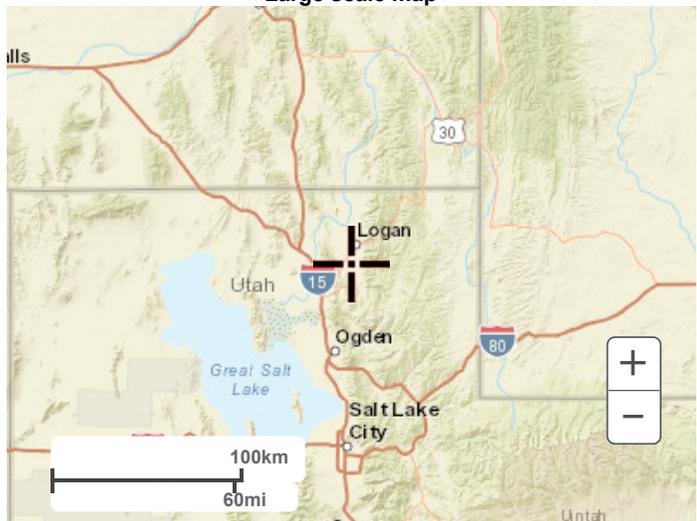
**Small scale terrain**



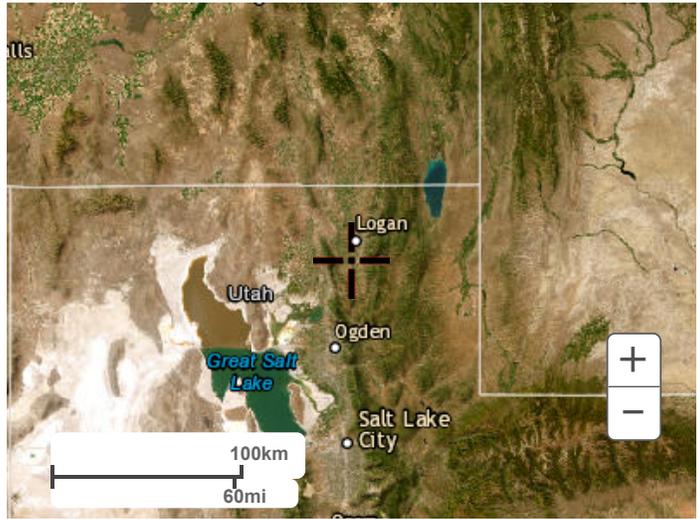
Large scale terrain



Large scale map



Large scale aerial



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[US Department of Commerce](#)  
[National Oceanic and Atmospheric Administration](#)  
[National Weather Service](#)  
[National Water Center](#)  
1325 East West Highway  
Silver Spring, MD 20910  
Questions?: [HDSC.Questions@noaa.gov](mailto:HDSC.Questions@noaa.gov)

[Disclaimer](#)

RESOLUTION 25-13

A RESOLUTION DECLARING CERTAIN HYRUM CITY EQUIPMENT AS SURPLUS AND ORDERING THE SALE OR DISPOSAL THEREOF.

WHEREAS, Hyrum City Corp. owns personal property for which it has no further use; and

WHEREAS, in accordance with State regulations, the City Council has determined to declare the irrigation water drum screens as surplus and desires to dispose of it in the method as prescribed by current law; and

NOW THEREFORE, BE IT RESOLVED by the City Council of Hyrum City, Cache County, State of Utah, that three irrigation water drum screens is hereby declared surplus property and that said property shall be listed and sold on KSL classifieds, Facebook Marketplace, and/or for scrap metal; however, the City shall have the right to accept or reject any or all offers, to establish minimum offer amounts, and to waive any informalities.

PASSED by the City Council of Hyrum City, Cache County, Utah, this 15<sup>th</sup> day of May, 2025.

HYRUM CITY CORP.

By: \_\_\_\_\_  
Stephanie Miller  
Mayor

ATTEST:

\_\_\_\_\_  
Stephanie Fricke  
City Recorder

RESOLUTION 25-14

A RESOLUTION APPROVING THE HYRUM CITY LIBRARY FEE SCHEDULE.

WHEREAS, Hyrum City owns and operates a public library known as the Hyrum Library; and

WHEREAS, Hyrum City allows resident and non-residents to obtain a Hyrum Library Card to check out books, dvds, etc., use computers, make copies, and reserve study and conference rooms; and

WHEREAS, The Hyrum City Council has reviewed the current fee policy for the Hyrum Library and has determined there is a need to approve these fees by resolution to reflect the library's current practices and to increase the user fee for nonresidents.

NOW, THEREFORE, BE IT RESOLVED that the Hyrum City Council hereby approves and adopts the Hyrum Library Fee Schedule attached hereto as Exhibit A. These fees may be revised from time to time by resolutions.

BE IT FURTHER RESOLVED, that this resolutions shall become effective upon adoption.

ADOPTED AND PASSED by the City Council of Hyrum City, Utah, this 15<sup>th</sup> day of May, 2025.

HYRUM CITY

By: \_\_\_\_\_  
Stephanie Miller  
Mayor

ATTEST:

\_\_\_\_\_  
City Recorder  
Stephanie Fricke

**LIBRARY FEE SCHEDULE**

Approved Res. 25-14

**Interlibrary Loans**

Book Club Set from State Library	\$ 1.00 per Book
Books borrowed from other libraries	\$ 3.00 per Book
Books not picked up	Shipping Fees

**Library User Card:**

Hyrum Resident	No Charge
Interlocal Agmt Nibley and Wellsville	No Charge
Non-Resident & Non Interlocal Resident	\$ <del>75</del> 41.00 per year

**Overdue Items:**

Board Games	\$ 0.25 per day
Book	\$ 0.05 per day
DVD	\$ 0.0 <del>2</del> 5 per day
Steam Kits	\$ 0.25 per day

\*If fine is under \$3.00 all fines are waived.

\*\*If fine is between \$10.00 to \$30.00 fine is reduced to \$10.00.

\*\*\*If fine is over \$30.00 fine is reduced by one-half.

**Services - Printing, Copies, Lamination., etc.:**

Black and white single or double sided	\$ 0.15 per page
Color single or double sided	\$ 0.75 <del>50</del> per page
Color $\frac{1}{2}$ sheet	\$ 0.25 per page
Black and white one side	\$ 0.10 per page
Scanning to Email	Free
Lamination per foot	\$ 1.00
Lamination per sheet	\$ 0.25 <del>50</del>
Cover personal books	\$ 2.00 per Book

**Fax Service:**

Outgoing fax	\$ 1.00 per page
Incoming fax	\$ 0.10 per page

**Replacement Costs:**

All lost books/media/dvd	Cost + \$1.00
Audiobook CD	\$ 5.00
Case for DVD/Blue Ray	\$ 2.00
Reading for All Learners Book	\$ 2.00
Lost or damaged items	Replacement Cost

**Room Rental:**

Conference Room Non Profit Groups	No Charge
Conference Room Profit Group	\$ 5.00 per hour +
Refundable Deposit if left clean	\$25.00 Deposit
Study Room	No Charge

RESOLUTION 25-16

A RESOLUTION ADDING SECTION XVI.5. RETIREMENT D. AUTOMATICALLY DEFERRAL INTO 401K TO THE PERSONNEL POLICIES AND PROCEDURES MANUAL FOR HYRUM CITY CORPORATION TO PROVIDE FOR AN AUTOMATICALLY DEFERRAL INTO 401K FOR EMPLOYEES HIRED AFTER JULY 1, 2025.

WHEREAS, on March 19, 1998, the Hyrum City Council adopted a personnel policy manual known as "Personnel Policies and Procedures Manual for Hyrum City Corporation" and on December 5, 2013 readopted the Personnel Policy Manual after major revisions were made; and

WHEREAS, said manual sets forth those policies pertaining to personnel conduct, conditions of employment, employment classification, work week, benefits, payroll, and related matters; and

WHEREAS, Hyrum City wants to encourage and help new employees reach their retirement goals by automatically enrolling them in Utah Retirement Systems savings plan; and

WHEREAS, upon recommendation from Hyrum City's Mayor, the City Council has determined there is a need to amend Hyrum City's Personnel Policies and Procedures Manual.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Hyrum, Cache County, Utah, that Sections XVI.5. Retirement and XVI.6. City Cell Phones and Cell Phone Stipend Benefits of the "Personnel Policies and Procedures Manual for Hyrum City Corporation" are hereby amended to read as follows:

1. Section XVI.5.D of the Hyrum City Personnel Policies and Procedures Manual is hereby amended as follows:

**SECTION XVI BENEFITS.**

**5. RETIREMENT.**

D. Automatically Deferral into 401k - Employees hired on or after July 1, 2025 will have 2.5% of their gross salary automatically deferred into the employee's URS 401(k) Plan. An employee may elect to stop, decrease, or increase these deferrals at any time. These deferrals and employer matching contributions are vested immediately and may only be withdrawn according to plan provisions. However, an

employee automatically enrolled in the plan may elect to opt out of the automatic arrangement, and choose to make an in-service withdrawal of the elective deferral amounts (with related earnings). Such an election must be made no later than 90 days after the date of the Participant's first elective deferral contribution. The amount of such withdrawal shall not be subject to the 10% early distribution tax imposed by IRS Code section 72(t). Any related matching contributions from the employer will be forfeited by the employee. If an employee has been automatically enrolled in the Plan and has not made an investment election prior to contributions being allocated to his/her vested account, such amounts shall be invested in the age related Target Date Fund, as outlined in the URS Summary Plan Description (SPD). All employees will be required to sign a disclosure that they have received information about how to access, enroll in, and change their eligible retirement plans and systems, prior to or on their first day of employment.

This Resolution shall take effect July 1, 2025.

ADOPTED AND PASSED BY the City Council of Hyrum, Utah, this 15th day of May, 2025.

HYRUM CITY CORP.

\_\_\_\_\_  
Stephanie Miller  
Mayor

ATTEST:

\_\_\_\_\_  
Stephanie Fricke  
City Recorder

RESOLUTION 25-15

A RESOLUTION TO ESTABLISH RATES FOR WILDLAND FIRE DEPLOYMENT.

WHEREAS, Hyrum City is committed to supporting local, state, and federal wildland fire suppression efforts; and

WHEREAS, personnel and equipment from Hyrum City may be deployed to assist with wildland fire emergencies under mutual aid agreements or formal contracts; and

WHEREAS, it is necessary to establish fair and consistent rates for reimbursement of costs associated with the deployment of personnel, equipment, and resources for wildland fire suppression; and

WHEREAS, the rates must align with applicable guidelines, such as those provided by the National Wildfire Coordinating Group (NWCG), Federal Emergency Management Agency (FEMA), or other relevant agencies; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of Hyrum City, Cache County, Utah, as follows:

1. The following rates for service and deployment:

A. Personnel Rates: Rates for personnel deployed for wildland fire response shall be based on a specific fixed hourly rate:

<b>Qualification</b>	<b>Hourly Rate Paid to Hyrum</b>	<b>Hyrum Pays Hourly Rate</b>
Engine Boss	\$44.00	\$38.00
Squad Boss	\$38.50	\$32.50
Firefighter	\$33.00	\$27.00
Engine (8 hour max)	\$152.00	

(1) Overtime, hazard pay, and backfill coverage shall be reimbursed as outlined in applicable wildland fire agreements and guidelines.

B. Equipment Rates: Use of engines shall be reimbursed at \$152.00 per hour or as specified in deployment agreements.

- C. Meal and Lodging Allowance - Personnel on deployment shall receive per diem in accordance with GSA rates or as specified in deployment agreements. Cost of lodging and meals during travel will be provided during travel by Hyrum City if not covered by Wildland Fire Agreements.
- D. Fuel and Maintenance Costs - Hyrum City will pay for all fuel and maintenance costs during deployment of fire engine.
- E. Personnel Protective Equipment - Hyrum City will provide deployed personnel with all necessary PPE if PPE is not provided in the Wildland Fire Agreements.

This Resolution shall be effective upon adoption.

ADOPTED AND PASSED BY the City Council of Hyrum, Utah, this 15th day of May, 2025.

HYRUM CITY CORP.

\_\_\_\_\_  
Stephanie Miller  
Mayor

ATTEST:

\_\_\_\_\_  
Stephanie Fricke  
City Recorder



INNOVATIVE ENGINEERING SOLUTIONS

Todd Perkins, Finance Director  
Hyrum City  
60 West Main Street  
Hyrum, UT 84319-1205

May 9, 2025

**RE: Bid Award Recommendation Letter  
2025 - 900 West Water & Power Improvement Projects**

Dear Todd,

AQUA Engineering (AQUA) has evaluated the bids opened for the above referenced project at 10:30 am MST on May 7, 2025, at City Hall. Ormond Construction, Inc. is the apparent low bidder with a total tabulated bid amount of \$943,120.00. A bid tabulation is attached for reference.

Ormond Construction, Inc. has completed projects locally for several municipalities, improvement districts, and clients including Hyrum City with satisfactory results. References were checked with no notable complaints. Our experience with Ormond over the years has also resulted in similar positive experiences. The schedule posted in the bid package is acceptable to Ormond Construction, Inc. and they anticipate adhering to that schedule.

It should be noted that this project is divided into three project sub-schedules to be awarded when each schedule is fully permitted. Currently Schedule 1 and 2 are in a position to be awarded and constructed. Schedule 3 is still in the permitting process by Union Pacific Railroad (UPRR) and is anticipated to receive final approval this summer. Schedule 3 was included in the bidding process based on a preliminary scope of services to obtain budgetary construction costs. However, the permitted scope will likely vary from that which was bid, once permitted by UPRR. The final bid amount for Schedule 3 may require renegotiation with the contractor prior to award. If for any reason, a satisfactory final bid price cannot be negotiated, the city reserves the right to refuse award and publicly rebid this schedule.

Based on AQUA's evaluation of Ormond Construction, Inc. and our conversation with other agencies that have previously employed them to install their product, we feel they are qualified and competent in every way and have ample experience to complete this project.

AQUA recommends Schedule 1 and 2 for the referenced project be awarded to Ormond Construction, Inc. in the bid amount of \$943,120.00. As recommended above, Schedule 3 will be held for award at a later date upon approval and permit issuance by UPRR.

Sincerely,

Daniel 'K' Woodbury, P.E.  
Senior Project Manager

Encl: Bid Tabulation



Hyrum City  
2025: 900 West Water & Power Improvement Projects

Bid Tabulation Summary  
5/8/2025

Contractor	General/Administrative/Management	Sch. 1	Sch. 2	Sch. 3	Total Project Bid
Ormond Construction Inc.	\$ 73,885.80	\$ 421,161.84	\$ 86,753.20	\$ 361,319.16	\$ 943,120.00
Kilgore Companies DBA LeGrandJohnson Const. Co.	\$ 129,359.62	\$ 524,128.85	\$ 80,744.91	\$ 436,131.20	\$ 1,170,364.58
Cache Valley Excavation	\$ 136,143.00	\$ 774,327.00	\$ 98,390.00	\$ 685,479.00	\$ 1,694,339.00
Beck Construction & Excavation, Inc.	\$ 361,000.00	\$ 1,134,880.00	\$ 143,980.00	\$ 477,000.00	\$ 2,116,860.00



**Hyrum City**

**2025: 900 West Water & Power Improvement Projects**

**Bid Tabulation Summary**

**5/8/2025**

<b>Contractor</b>	<b>General/Administrative /Management</b>	<b>Sch. 1</b>	<b>Sch. 2</b>	<b>Sch. 3</b>	<b>Total Project Bid</b>
Ormond Construction Inc.	\$ 73,885.80	\$ 421,161.84	\$ 86,753.20	\$ 361,319.16	<b>\$ 943,120.00</b>
Kilgore Companies DBA LeGrandJohnson Const. Co.	\$ 129,359.62	\$ 524,128.85	\$ 80,744.91	\$ 436,131.20	<b>\$ 1,170,364.58</b>
Cache Valley Excavation	\$ 136,143.00	\$ 774,327.00	\$ 98,390.00	\$ 685,479.00	<b>\$ 1,694,339.00</b>
Beck Construction & Excavation, Inc.	\$ 361,000.00	\$ 1,134,880.00	\$ 143,980.00	\$ 477,000.00	<b>\$ 2,116,860.00</b>



**Hyrum City  
2025: 900 West Water & Power Improvement Projects**

**Bid Tabulation  
5/8/2025**

ITEM	DESCRIPTION	UNIT	EST. QTY	Ormond Construction Inc.		Kilgore Companies DBA LeGrand Johnson Const. Co.		Cache Valley Excavation		Beck Construction & Excavation, Inc.	
				Bid Unit Price	Bid Price	Bid Unit Price	Bid Price	Bid Unit Price	Bid Price	Bid Unit Price	Bid Price
<b>General/Administrative/Management</b>											
1	Mobilization	LS	1	\$ 55,000.00	\$ 55,000.00	\$ 75,444.30	\$ 75,444.30	\$ 102,421.00	\$ 102,421.00	\$ 275,000.00	\$ 275,000.00
2	Survey: Construcion Staking	LS	1	\$ 9,885.80	\$ 9,885.80	\$ 7,629.10	\$ 7,629.10	\$ 12,522.00	\$ 12,522.00	\$ 21,000.00	\$ 21,000.00
3	Site Work Including Clearing and Grubbing	SF	10000	\$ 0.25	\$ 2,500.00	\$ 1.51	\$ 15,100.00	\$ 0.42	\$ 4,200.00	\$ 2.00	\$ 20,000.00
4	Traffic Control Plan and Implementation	LS	1	\$ 6,500.00	\$ 6,500.00	\$ 31,186.22	\$ 31,186.22	\$ 17,000.00	\$ 17,000.00	\$ 45,000.00	\$ 45,000.00
<b>Sub-total of General/Admin Unit Price Bid Items:</b>				<b>Sub-total:</b>	\$ 73,885.80	<b>Sub-total:</b>	\$ 129,359.62	<b>Sub-total:</b>	\$ 136,143.00	<b>Sub-total:</b>	\$ 361,000.00
<b>Schedule 1</b>											
<b>Potable Waterline</b>											
5	Furnish and Install 10" PVC C900 Water Pipeline and Appurtenances	LF	2300	\$ 53.10	\$ 122,130.00	\$ 73.18	\$ 168,314.00	\$ 84.50	\$ 194,350.00	\$ 99.00	\$ 227,700.00
6	Furnish and Install 8" PVC C900 Water Pipeline and Appurtenances	LF	12	\$ 81.76	\$ 981.12	\$ 160.64	\$ 1,927.68	\$ 200.00	\$ 2,400.00	\$ 90.00	\$ 1,080.00
7	Furnish and Install 10"x10"x10" Tee and Appurtenances	EA	1	\$ 2,822.22	\$ 2,822.22	\$ 3,070.50	\$ 3,070.50	\$ 3,800.00	\$ 3,800.00	\$ 4,400.00	\$ 4,400.00
8	Furnish and Install 10"x8"x10" Tee and Appurtenances	EA	1	\$ 2,290.29	\$ 2,290.29	\$ 2,891.80	\$ 2,891.80	\$ 3,200.00	\$ 3,200.00	\$ 4,200.00	\$ 4,200.00
9	Furnish and Install 10" Gate Valve	EA	4	\$ 4,673.65	\$ 18,694.60	\$ 5,355.38	\$ 21,421.52	\$ 7,100.00	\$ 28,400.00	\$ 7,000.00	\$ 28,000.00
10	Furnish and Install 8" Gate Valve	EA	1	\$ 3,080.67	\$ 3,080.67	\$ 2,359.21	\$ 2,359.21	\$ 4,123.00	\$ 4,123.00	\$ 5,300.00	\$ 5,300.00
11	Furnish and Install Fire Hydrant	EA	2	\$ 10,029.43	\$ 20,058.86	\$ 9,395.30	\$ 18,790.60	\$ 11,000.00	\$ 22,000.00	\$ 19,500.00	\$ 39,000.00
12	Furnish and Install 10" 45-degree bend	EA	4	\$ 1,684.36	\$ 6,737.44	\$ 3,629.08	\$ 14,516.32	\$ 7,245.00	\$ 28,980.00	\$ 2,800.00	\$ 11,200.00
13	Furnish and Install 10"x8" reducer	EA	1	\$ 1,165.57	\$ 1,165.57	-	-	-	-	-	-
14	Furnish and Install 10"x6" reducer	EA	1	\$ 1,115.57	\$ 1,115.57	\$ 1,693.87	\$ 1,693.87	\$ 4,200.00	\$ 4,200.00	\$ 1,500.00	\$ 1,500.00
15	Furnish and Install Pipe Bedding Material (sand) and Compaction	CY	450	\$ 29.89	\$ 13,450.50	\$ 28.02	\$ 12,609.00	\$ 52.00	\$ 23,400.00	\$ 65.00	\$ 29,250.00
16	Flush and Hydrostatic Pressure Test	LS	1	-	-	\$ 3,967.56	\$ 3,967.56	\$ 3,479.00	\$ 3,479.00	\$ 2,500.00	\$ 2,500.00
<b>Buried Electrical Conduit</b>											
17	Install (Owner Furnished) 3" PVC SCH40 Conduits (3 conduits per trench)	LF	2300	\$ 12.50	\$ 28,750.00	\$ 8.94	\$ 20,562.00	\$ 42.25	\$ 97,175.00	\$ 40.00	\$ 92,000.00
18	Install (Owner Furnished) 2"x6" Fiberglass Electrical Junction Boxes	EA	6	\$ 1,200.00	\$ 7,200.00	\$ 476.09	\$ 2,856.54	\$ 1,885.00	\$ 11,310.00	\$ 2,500.00	\$ 15,000.00
<b>Roadway Repair/Asphalt</b>											
19	Mill and dispose of 3-inch thick asphalt roadway	SF	6000	\$ 1.26	\$ 7,560.00	\$ 0.42	\$ 2,520.00	\$ 1.39	\$ 8,340.00	\$ 4.00	\$ 24,000.00
20	Trench removal and disposal	CY	3500	\$ 8.50	\$ 29,750.00	\$ 24.33	\$ 85,155.00	\$ 27.00	\$ 94,500.00	\$ 99.00	\$ 346,500.00
21	Furnish, place and compact imported select backfill (Engineered Fill)	CY	2500	\$ 36.74	\$ 91,850.00	\$ 34.40	\$ 86,000.00	\$ 52.79	\$ 131,975.00	\$ 70.00	\$ 175,000.00
22	Asphalt Paving: Trench repair and 500 North Intersection reconstruct. 4-inch thick 1/2" 58-28 APWA roadway section with 8-inch compacted roadbase	SF	15000	\$ 4.06	\$ 60,900.00	\$ 4.63	\$ 69,450.00	\$ 7.20	\$ 108,000.00	\$ 8.15	\$ 122,250.00
23	Ribbon Curb (southeast corner of 500 N intersection)	LF	75	\$ 35.00	\$ 2,625.00	\$ 80.31	\$ 6,023.25	\$ 62.60	\$ 4,695.00	\$ 80.00	\$ 6,000.00
<b>Sub-total Schedule 1 Unit Price Bid Items:</b>				<b>Sub-total:</b>	\$ 421,161.84	<b>Sub-total:</b>	\$ 524,128.85	<b>Sub-total:</b>	\$ 774,327.00	<b>Sub-total:</b>	\$ 1,134,880.00
<b>Schedule 2</b>											
<b>Pressurized Irrigation Waterline</b>											
24	Install (Owner Furnished) 16" PVC C900 Irrigation Pline and Appurtenances	LF	120	\$ 132.96	\$ 15,955.20	\$ 98.02	\$ 11,762.40	\$ 56.00	\$ 6,720.00	\$ 97.00	\$ 11,640.00
25	Install (Owner Furnished) 16" Butterfly Valves with Appurtenances	EA	3	\$ 2,145	\$ 6,434.73	\$ 1,058.79	\$ 3,176.37	\$ 2,600.00	\$ 7,800.00	\$ 2,100.00	\$ 6,300.00
26	Install (Owner Furnished) 16"x16"x16" Tee and Appurtenances	EA	1	\$ 2,388.34	\$ 2,388.34	\$ 1,540.29	\$ 1,540.29	\$ 3,200.00	\$ 3,200.00	\$ 2,500.00	\$ 2,500.00
27	Furnish and Install 2" Tapping Sleeve and Drain Line to Irrigation Ditch Manhole (apx. 10')	LS	1	\$ 2,192.40	\$ 2,192.40	\$ 3,363.07	\$ 3,363.07	\$ 3,950.00	\$ 3,950.00	\$ 12,500.00	\$ 12,500.00
28	Furnish and Install 16"x14" Reducer(s)	EA	2	\$ 2,938.68	\$ 5,877.36	\$ 2,552.88	\$ 5,105.76	\$ 2,468.00	\$ 4,936.00	\$ 5,500.00	\$ 11,000.00
29	Furnish and Install 16" Cap	EA	1	\$ 2,240.32	\$ 2,240.32	\$ 2,284.40	\$ 2,284.40	\$ -	\$ -	\$ 2,000.00	\$ 2,000.00
<b>Irrigation Ditch Extension and Headwall</b>											
30	Furnish and Install Precast 5' manhole with cast iron ring and cover. Reconnect existing storm drain/irrigation lines, including inlet, connections and appurtenances.	EA	2	\$ 5,525.81	\$ 11,051.62	\$ 6,826.11	\$ 13,652.22	\$ 7,207.00	\$ 14,414.00	\$ 16,500.00	\$ 33,000.00
31	Furnish and Install 36" N-12 Irrigation Pipeline Extension with Pipe Collar	LF	10	\$ 450.87	\$ 4,508.70	\$ 242.87	\$ 2,428.70	\$ 745.00	\$ 7,450.00	\$ 900.00	\$ 9,000.00
32	Furnish and Install 24" N-12 Irrigation Pipeline with connections to manhole(s) and headwall	LF	40	\$ 252.50	\$ 10,100.00	\$ 108.41	\$ 4,336.40	\$ 249.00	\$ 9,960.00	\$ 351.00	\$ 14,040.00
33	Furnish and Install Concrete Irrigation Headwall with 24" Waterman C-10 Canal Gate and Appurtenances	LS	1	\$ 26,004.53	\$ 26,004.53	\$ 33,095.30	\$ 33,095.30	\$ 39,960.00	\$ 39,960.00	\$ 42,000.00	\$ 42,000.00
<b>Sub-total Schedule 2 Unit Price Bid Items:</b>				<b>Sub-total:</b>	\$ 86,753.20	<b>Sub-total:</b>	\$ 80,744.91	<b>Sub-total:</b>	\$ 98,390.00	<b>Sub-total:</b>	\$ 143,980.00
<b>Schedule 3</b>											
34	Excavation of Launch Pit and Retrieval Pit for Jacking and Boring Procedure - including shoring and dewatering	LS	1	\$ 82,000.00	\$ 82,000.00	\$ 98,440.00	\$ 98,440.00	\$ 225,974.00	\$ 225,974.00	\$ 115,000.00	\$ 115,000.00
35	Jacking & Boring Waterline Casing (24" diameter for the 10" waterline)	LF	90	\$ 1,372.62	\$ 123,535.80	\$ 1,311.34	\$ 118,020.60	\$ 1,345.00	\$ 121,050.00	\$ 1,500.00	\$ 135,000.00
36	Jacking & Boring Powerline Casing (24" diameter for the four electrical conduits)	LF	90	\$ 1,372.62	\$ 123,535.80	\$ 1,311.34	\$ 118,020.60	\$ 1,212.00	\$ 109,080.00	\$ 1,450.00	\$ 130,500.00
37	Furnish and Install Casing seals at end of casing	EA	4	\$ 1,463.14	\$ 5,852.56	\$ 535.00	\$ 2,140.00	\$ 3,600.00	\$ 14,400.00	\$ 750.00	\$ 3,000.00
38	UPRR Track monitoring per UPRR	LS	1	\$ 14,280.00	\$ 14,280.00	\$ 24,610.00	\$ 24,610.00	\$ 82,000.00	\$ 82,000.00	\$ 48,500.00	\$ 48,500.00
39	UPRR Observation & Inspection Rqmt's	LS	1	\$ 12,115.00	\$ 12,115.00	\$ 74,900.00	\$ 74,900.00	\$ 132,975.00	\$ 132,975.00	\$ 45,000.00	\$ 45,000.00
<b>Sub-total Schedule 3 Unit Price Bid Items:</b>				<b>Sub-total:</b>	\$ 361,319.16	<b>Sub-total:</b>	\$ 436,131.20	<b>Sub-total:</b>	\$ 685,479.00	<b>Sub-total:</b>	\$ 477,000.00
<b>Project Total (All Groups):</b>					<b>\$ 943,120.00</b>		<b>\$ 1,170,364.58</b>		<b>\$ 1,694,339.00</b>		<b>\$ 2,116,860.00</b>

# THE AMERICAN INSTITUTE OF ARCHITECTS

## AIA Document A310 Bid Bond

KNOW ALL MEN BY THESE PRESENTS, THAT WE Ormond Construction, Inc.  
P.O. Box 598, Willard, UT 84340

as Principal, hereinafter called the Principal, and Merchants National Bonding, Inc.  
P.O. Box 14498, Des Moines, IA 50306-3498

a corporation duly organized under the laws of the State of IA  
as Surety, hereinafter called the Surety, are held and firmly bound unto Hyrum City Corporation  
60 West main Street, Hyrum, UT 84139

as Obligee, hereinafter called the Obligee, in the sum of Five Percent of Amount Bid

Dollars (\$ 5% ),  
for the payment of which sum well and truly to be made, the said Principal and the said Surety, bind ourselves, our heirs,  
executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a bid for 2025 Public Works 900 West Water & Power Improvement Project

NOW, THEREFORE, if the Obligee shall accept the bid of the Principal and the Principal shall enter into a Contract with  
the Obligee in accordance with the terms of such bid, and give such bond or bonds as may be specified in the bidding or  
Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt  
payment of labor and materials furnished in the prosecution thereof, or in the event of the failure of the Principal to enter  
such Contract and give such bond or bonds, if the Principal shall pay to the Obligee the difference not to exceed the  
penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith  
contract with another party to perform the Work covered by said bid, then this obligation shall be null and void, otherwise  
to remain in full force and effect.

Signed and sealed this 7th day of May



[Signature]  
(Witness)

Ormond Construction, Inc.

[Signature]  
(Principal) (Seal)  
By [Signature]  
**President**  
(Title)

Merchants National Bonding, Inc.

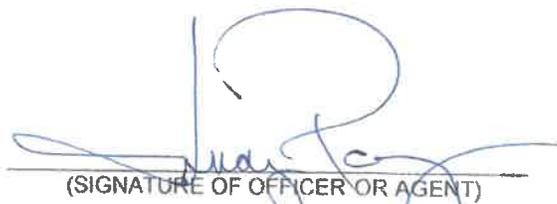
(Surety) (Seal)  
By [Signature]  
**Attorney-in-Fact Judy Parry**  
(Title)

### AFFIDAVIT OF QUALIFICATION FOR SURETY COMPANIES

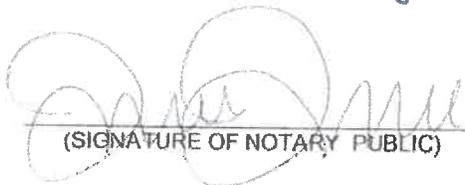
STATE OF UTAH ) SS  
COUNTY OF SALT LAKE )

JUDY PARRY, BEING FIRST AND DULY SWORN, ON OATH DEPOSES AND SAYS THAT SHE IS THE ATTORNEY-IN-FACT (OFFICER OR AGENT) OF SAID COMPANY, AND THAT SHE IS DULY AUTHORIZED TO EXECUTE THE SAME AND HAS COMPLIED IN ALL RESPECTS WITH THE LAWS OF THE STATE OF UTAH, IN REFERENCE TO BECOMING SOLE SURETY UPON BONDS, UNDERTAKINGS AND OBLIGATIONS.

SUBSCRIBED AND SWORN TO BEFORE  
ME THIS 7 day of May A.D. 2025

  
(SIGNATURE OF OFFICER OR AGENT)

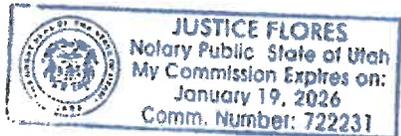
P.O. Box 58139  
Salt Lake City, UT 84158-0139  
(RESIDENCE)

  
(SIGNATURE OF NOTARY PUBLIC)

(SEAL)  
MY COMMISSION EXPIRES:  
JANUARY 19, 2026

(SURETY SEAL)

101 South 200 East  
Salt Lake City Utah 84111



# MERCHANTS BONDING COMPANY POWER OF ATTORNEY

Know All Persons By These Presents, that MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., both being corporations of the State of Iowa, d/b/a Merchants National Indemnity Company (in California only) (herein collectively called the "Companies") do hereby make, constitute and appoint, individually,

Judy Parry; Philip S Walter; Sherry J Pace

their true and lawful Attorney(s)-in-Fact, to sign its name as surety(ies) and to execute, seal and acknowledge any and all bonds, undertakings, contracts and other written instruments in the nature thereof, on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

This Power-of-Attorney is granted and is signed and sealed by facsimile under and by authority of the following By-Laws adopted by the Board of Directors of Merchants Bonding Company (Mutual) on April 23, 2013 and amended August 14, 2015 and adopted by the Board of Directors of Merchants National Bonding, Inc., on October 16, 2015.

"The President, Secretary, Treasurer, or any Assistant Treasurer or any Assistant Secretary or any Vice President shall have power and authority to appoint Attorneys-in-Fact, and to authorize them to execute on behalf of the Company, and attach the seal of the Company thereto, bonds and undertakings, recognizances, contracts of indemnity and other writings obligatory in the nature thereof."

"The signature of any authorized officer and the seal of the Company may be affixed by facsimile or electronic transmission to any Power of Attorney or Certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the Company, and such signature and seal when so used shall have the same force and effect as though manually fixed."

In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.

In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner-Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

In Witness Whereof, the Companies have caused this instrument to be signed and sealed this 8th day of December, 2022.

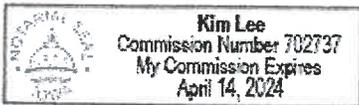


MERCHANTS BONDING COMPANY (MUTUAL)  
MERCHANTS NATIONAL BONDING, INC.  
d/b/a MERCHANTS NATIONAL INDEMNITY COMPANY

By *Larry Taylor*  
President

STATE OF IOWA  
COUNTY OF DALLAS ss.

On this 8th day of December 2022, before me appeared Larry Taylor, to me personally known, who being by me duly sworn did say that he is President of MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC.; and that the seals affixed to the foregoing instrument are the Corporate Seals of the Companies; and that the said instrument was signed and sealed in behalf of the Companies by authority of their respective Boards of Directors.

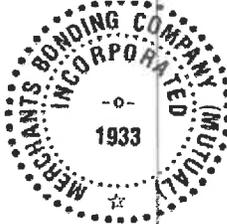


*Kim Lee*  
Notary Public

(Expiration of notary's commission does not invalidate this instrument)

I, William Warner, Jr., Secretary of MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., do hereby certify that the above and foregoing is a true and correct copy of the POWER-OF-ATTORNEY executed by said Companies, which is still in full force and effect and has not been amended or revoked.

In Witness Whereof, I have hereunto set my hand and affixed the seal of the Companies on this 7th day of May 2025.



*William Warner Jr.*  
Secretary

**BID FORM**

**900 West Improvement Project**

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**Ormond Construction Inc**  
**186 W 750 N**  
**PO Box 598**  
**Willard Utah 84340-0598**

**ARTICLE 1 – BID RECIPIENT**

1.01 This Bid is submitted to:

*Hyrum City  
900 West Improvement Project  
60 West Main Street  
Hyrum, UT 84319-1205*

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

**ARTICLE 2 – BIDDER’S ACKNOWLEDGEMENTS**

2.01 Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for 60 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

**ARTICLE 3 – BIDDER’S REPRESENTATIONS**

3.01 In submitting this Bid, Bidder represents that:

A. Bidder has examined and carefully studied the Bidding Documents, and any data and reference items identified in the Bidding Documents, and hereby acknowledges receipt of the following Addenda:

<u>Addendum No.</u>	<u>Addendum, Date</u>
_____	_____
_____	_____

B. Bidder has visited the Site, conducted a thorough, alert visual examination of the Site and adjacent areas, and become familiar with and satisfied itself as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.

C. Bidder is familiar with and has satisfied itself as to all Laws and Regulations that may affect cost, progress, and performance of the Work.

D. No known subsurface or hazardous conditions reports have been prepared for the project and no know subsurface and hazardous conditions are known to exist at the site.

E. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and any Site-related reports and drawings identified in the Bidding Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder; and (3) Bidder’s safety precautions and programs.

F. Bidder agrees, based on the information and observations referred to in the preceding paragraph, that no further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Bid for performance of the Work at the price bid

and within the times required, and in accordance with the other terms and conditions of the Bidding Documents.

- G. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
- H. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and confirms that the *written resolution thereof by Engineer is acceptable to Bidder.*
- I. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance and furnishing of the Work.
- J. The submission of this Bid constitutes an incontrovertible representation by Bidder that Bidder has complied with every requirement of this Article, and that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

#### **ARTICLE 4 – BIDDER’S CERTIFICATION**

4.01 Bidder certifies that:

- A. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation;
- B. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid;
- C. Bidder has not solicited or induced any individual or entity to refrain from bidding; and
- D. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 4.01.D:
  - 1. “corrupt practice” means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process;
  - 2. “fraudulent practice” means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition;
  - 3. “collusive practice” means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels; and
  - 4. “coercive practice” means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

**ARTICLE 5 – BASIS OF BID**

- 5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):
- A. Unit Prices have been computed in accordance with paragraph 13.03 of the General Conditions.
  - B. All overhead, mobilization, insurance, bonding, etc..., shall be included in the total price.

**BID SCHEDULE**  
**Hyrum City Corporation**  
**900 WEST WATER & POWER IMPROVEMENT PROJECTS**

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>General/Administrative/Management</b>					
G1-1	Mobilization	LS	1	55,000.00	55,000.00
G1-2	Survey: Construction Staking	LS	1	9,885.80	9,885.80
G1-3	Site Work Including Clearing and Grubbing	SF	10,000	0.25	2,500.00
G1-4	Traffic Control Plan and Implementation	LS	1	6,500.00	6,500.00
<b>General Sub-total of Unit Price Bid Items:</b>					<b>73,885.80</b>
<b>SCHEDULE 1</b>					
<b>Potable Waterline</b>					
S1-P1	Furnish and Install 10" PVC C900 Water Pipeline and Appurtenances	LF	2,300	53.10	122,130.00
S1-P2	Furnish and Install 8" PVC C900 Water Pipeline and Appurtenances	LF	12	81.76	981.12
S1-P3	Furnish and Install 10"x10"x10" Tee and Appurtenances	EA	1	2,822.22	2,822.22
S1-P4	Furnish and Install 10"x8"x10" Tee and Appurtenances	EA	1	2,290.29	2,290.29
S1-P5	Furnish and Install 10" Gate Valve	EA	4	4,673.65	18,694.60

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
S1-P6	Furnish and Install 8" Gate Valve	EA	1	3,080.67	3,080.67
S1-P7	Furnish and Install Fire Hydrant	EA	2	10,029.43	20,058.86
S1-P8	Furnish and Install 10" 45-degree bend	EA	4	1,684.36	6,737.44
S1-P9	Furnish and Install 10"x8" reducer	EA	1	1,165.57	1,165.57
S1-P10	Furnish and Install 10"x6" reducer	EA	1	1,115.57	1,115.57
S1-P11	Furnish and Install Pipe Bedding Material (sand) and Compaction	CY	450	29.89	13,450.50
<b>Buried Electrical Conduit</b>					
S1-E1	Install (Owner Furnished) 3" PVC SCH40 Conduits (3 conduits per trench)	LF	2,300	12.50	28,750.00
S1-E2	Install (Owner Furnished) 2'x6' Fiberglass Electrical Junction Boxes	EA	6	1,200.00	7,200.00
<b>Roadway Repair/Asphalt</b>					
S1-R1	Mill and dispose of 3-inch thick asphalt roadway	SF	6,000	1.26	7,560.00
S1-R2	Trench removal and disposal	CY	3,500	8.50	29,750.00
S1-R3	Furnish, place and compact imported select backfill (Engineered Fill)	CY	2,500	36.74	91,850.00
S1-R4	Asphalt Paving: Trench repair and 500 North Intersection reconstruct. 4-inch thick 1/2" 58-28 APWA roadway section with 8-inch compacted roadbase	SF	15,000	4.06	60,900.00
S1-R5	Ribbon Curb (southeast corner of 500 N intersection)	LF	75	35.00	2,625.00
<b>Sub-total Schedule 1 Unit Price Bid Items:</b>					<b>421,161.84</b>

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 2</b>					
<b>Pressurized Irrigation Waterline</b>					
S2-P1	Install (Owner Furnished) 16" PVC C900 Irrigation Pipeline and Appurtenances	LF	120	132.96	15,955.20
S2-P2	Install (Owner Furnished) 16" Butterfly Valves with Appurtenances	EA	3	2,144.91	6,434.73
S2-P3	Install (Owner Furnished) 16"x16"x16" Tee and Appurtenances	EA	1	2,388.34	2,388.34
S2-P4	Furnish and Install 2" Tapping Sleeve and Drain Line to Irrigation Ditch Manhole (apx. 10')	LS	1	2,192.40	2,192.40
S2-P5	Furnish and Install 16"x14" Reducer(s)	EA	2	2,938.68	5,877.36
S2-P6	Furnish and Install 16" Cap	EA	1	2,240.32	2,240.32
<b>Irrigation Ditch Extension and Headwall</b>					
S2-H1	Furnish and Install Precast 5' manhole with cast iron ring and cover. Reconnect existing storm drain/irrigation lines, including inlet, connections and appurtenances	EA	2	5,525.81	11,051.62
S2-H2	Furnish and Install 36" N-12 Irrigation Pipeline Extension with Pipe Collar	LF	10	450.87	4,508.70
S2-H3	Furnish and Install 24" N-12 Irrigation Pipeline with connections to manhole(s) and headwall	LF	40	252.50	10,100.00
S2-H4	Furnish and Install Concrete Irrigation Headwall with 24" Waterman C-10 Canal Gate and Appurtenances	LS	1	26,004.53	26,004.53
<b>Sub-total Schedule 2 Unit Price Bid Items:</b>					<b>86,753.20</b>

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 3</b>					
S3-J1	Excavation of Launch Pit and Retrieval Pit for Jacking and Boring Procedure – including shoring and dewatering	LS	1	82,000.00	82,000.00
S3-J2	Jacking & Boring Waterline Casing (24" diameter for the 10" waterline)	LF	90	1,372.62	123,535.80
S3-J3	Jacking & Boring Powerline Casing (24" diameter for the four electrical conduits)	LF	90	1,372.62	123,535.80
S3-J4	Furnish and Install Casing seals at end of casing	EA	4	1,463.14	5,852.56
S3-J5	UPRR Track monitoring per UPRR	LS	1	14,280.00	14,280.00
S3-J6	UPRR Observation & Inspection Rqmt's	LS	1	12,115.00	12,115.00
<b>Sub-total Schedule 3 Unit Price Bid Items:</b>					<b>361,319.16</b>

**SUMMARY:**

Sub-total Bid Price – GENERAL	73,885.80
Sub-total Bid Price – SCHEDULE 1	421,161.84
Sub-total Bid Price – SCHEDULE 2	86,753.20
Sub-total Bid Price – SCHEDULE 3	361,319.16
<b>TOTAL BID (General plus SCHEDULES 1,2, &amp; 3):</b>	<b>943,120.00</b>
<b>TOTAL BID AMOUNT (written):</b>	nine hundred forty three thousand, nine hundred twenty dollars

**Ormond Construction Inc**

The Contractor must complete all listed bid items to be considered responsive.

- 5.02 The Owner reserves the right to award the job based upon the total of any combination of or all bid items listed above in the bid schedule based upon budgetary constraints set forth for this project.

- 5.03 Bids will be evaluated using items the Owner has selected for Award.
- 5.04 Bidder acknowledges that estimated quantities are not guaranteed and are solely for the purpose of comparison of Bids, and final payment for all bid items will be based on actual quantities, determined as provided in the contract documents.
- 5.05 Refer to Section 011500 (Measurement and Payment) of the Technical Specifications and the design drawings for information on the individual bid items provided in the schedule.

#### ARTICLE 6 – TIME OF COMPLETION

- 6.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement. However, the issuance of a Notice to Proceed for Schedules 2 and 3 will necessitate a negotiation for substantial and final completion dates for those Schedules if they are not awarded at the anticipated Contract Award date.
- 6.02 Bidder accepts the provisions of the Agreement as to liquidated damages.
- 6.03 The tentative project schedule is provided below. If Bidder cannot meet the project milestones provided, please provide a modified project schedule in the space provided. Time is of the essence and the Owner reserves the right to award the project based on Bidders ability to meet the project schedule.

DATE	PROJECT MILESTONE	MODIFIED DATE / COMMENTS
May 16, 2025	Contract Award and Document Processing	
May 30, 2025	Mobilize construction crew and begin construction on Bid Items	
November 1, 2025	Bid Item Substantial Completion	
November 26, 2025	Project Final Completion	

#### ARTICLE 7 – ATTACHMENTS TO THIS BID

- 7.01 The following documents are submitted with and made a condition of this Bid:
- A. This Bid Form (Section 00410), completed and signed where indicated, including acknowledgement of all addenda issued for this project.
  - B. List of Proposed Subcontractors (Section 00420);
  - C. List of Proposed Suppliers (Section 00425);
  - D. Required Bid security (Section 00430);
  - E. Required Bidder Qualification Statement with supporting data (Section 00451);

- F. E-Verify Affidavit (Section 00460);
- G. List of Project References;
- H. Evidence of authority to do business in the state of the Project; or a written covenant to obtain such license within the time for acceptance of Bids; and
- I. Contractor's Utah License No.: [REDACTED]

**FAILURE TO PROVIDE ALL ITEMS IN THIS ARTICLE WILL RESULT IN REJECTION OF THE BID.**

#### **ARTICLE 8 – DEFINED TERMS**

- 8.01 The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

**ARTICLE 9 – BID SUBMITTAL**

BIDDER: *[Indicate correct name of bidding entity]*

**Ormond Construction Inc**

By:  
*[Signature]*

*David L. Ormond*

*[Printed name]*

David L. Ormond

*[If Bidder is a corporation, a limited liability company, a partnership, or a joint venture, attach evidence of authority to sign.]*

Attest:  
*[Signature]*

*Steve Ormond*

*[Printed name]*

Steve Ormond

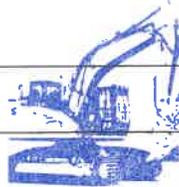
Title:

Estimator / Project Manager

Submittal Date:

May 7, 2025

Address for giving notices:



Ormond Construction Inc  
186 W 750 N  
PO Box 598  
Willard Utah 84340-0598

Telephone Number:

Phone 435 723 3531

Fax Number:

Contact Name and e-mail address:

David@OrmondConst.com

Steve@OrmondConst.com

Bidder's License No.:

241695-5501

*(where applicable)*

**NOTE TO USER:** Use in those states or other jurisdictions where applicable or required.

**LIST OF SUBCONTRACTORS**

Each BIDDER shall list below the name of each subcontractor who will provide labor or a portion of the work or improvement to the contractor for which he will be paid an amount exceeding 5 percent of the prime contractor's total bid.

Work to be Performed	% of Total Contract	Subcontractors Name, Address & License Number
1. Paving	6	Lu Ruse Paving 801 675 5309 PO Box 12910 Ogden UT 84412
2. Boring	20	Nw King 435 994 0157 PO Box 765 Lewiston UT 84320
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

**Note: Additional numbered pages may be attached if necessary.**

**MAJOR MATERIAL SUPPLIERS**

The BIDDER shall indicate opposite each item of equipment or material listed below the name of the manufacturer or supplier of the equipment or material proposed to be furnished under the BID.

Equipment / Material	Manufacturer/Supplier Name & Address
1. Pipe, Fittings	Manufacture Supply 3142 SR126 BLDG #1 Fort West 84404
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

**Note: Additional numbered pages may be attached if necessary.**

Section 11. Item C.

PENAL SUM FORM

### BID BOND

Any singular reference to Bidder, Surety, Owner or other party shall be considered plural where applicable.

BIDDER (Name and Address):

SURETY (Name, and Address of Principal Place of Business):

OWNER (Name and Address):

BID

Bid Due Date:

Description (Project Name— Include Location):

BOND

Bond Number:

Date:

Penal sum \_\_\_\_\_ \$ \_\_\_\_\_

(Words)

(Figures)

Surety and Bidder, intending to be legally bound hereby, subject to the terms set forth below, do each cause this Bid Bond to be duly executed by an authorized officer, agent, or representative.

**BIDDER**

**SURETY**

(Seal)

(Seal)

Bidder's Name and Corporate Seal

Surety's Name and Corporate Seal

By:

Signature

By:

Signature (Attach Power of Attorney)

Print Name

Print Name

Title

Title

Attest:

Signature

Attest:

Signature

Title

Title

Note: Addresses are to be used for giving any required notice.

Provide execution by any additional parties, such as joint venturers, if necessary.

EJCDC® C-430, Bid Bond (Penal Sum Form). Published 2013.  
Prepared by the Engineers Joint Contract Documents Committee.

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## PENAL SUM FORM

1. Bidder and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors, and assigns to pay to Owner upon default of Bidder the penal sum set forth on the face of this Bond. Payment of the penal sum is the extent of Bidder's and Surety's liability. Recovery of such penal sum under the terms of this Bond shall be Owner's sole and exclusive remedy upon default of Bidder.
2. Default of Bidder shall occur upon the failure of Bidder to deliver within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents.
3. This obligation shall be null and void if:
  - 3.1 Owner accepts Bidder's Bid and Bidder delivers within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents, or
  - 3.2 All Bids are rejected by Owner, or
  - 3.3 Owner fails to issue a Notice of Award to Bidder within the time specified in the Bidding Documents (or any extension thereof agreed to in writing by Bidder and, if applicable, consented to by Surety when required by Paragraph 5 hereof).
4. Payment under this Bond will be due and payable upon default of Bidder and within 30 calendar days after receipt by Bidder and Surety of written notice of default from Owner, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.
5. Surety waives notice of any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by Owner and Bidder, provided that the total time for issuing Notice of Award including extensions shall not in the aggregate exceed 120 days from the Bid due date without Surety's written consent.
6. No suit or action shall be commenced under this Bond prior to 30 calendar days after the notice of default required in Paragraph 4 above is received by Bidder and Surety and in no case later than one year after the Bid due date.
7. Any suit or action under this Bond shall be commenced only in a court of competent jurisdiction located in the state in which the Project is located.
8. Notices required hereunder shall be in writing and sent to Bidder and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier, or by United States Registered or Certified Mail, return receipt requested, postage pre-paid, and shall be deemed to be effective upon receipt by the party concerned.
9. Surety shall cause to be attached to this Bond a current and effective Power of Attorney evidencing the authority of the officer, agent, or representative who executed this Bond on behalf of Surety to execute, seal, and deliver such Bond and bind the Surety thereby.
10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond shall be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute shall govern and the remainder of this Bond that is not in conflict therewith shall continue in full force and effect.
11. The term "Bid" as used herein includes a Bid, offer, or proposal as applicable.

E-VERIFY  
STATUS VERIFICATION SYSTEM AFFIDAVIT

PART 1 - GENERAL

1.01 CONTRACTOR

A. Name: ORMOND CONSTRUCTION INC  
186 WEST 750 NORTH  
PO BOX 598  
B. Address: WILLARD, UTAH 84340-0598  
C. Telephone: Phone 435 723 3531  
D. Fax: \_\_\_\_\_

1.02 OWNER

A. The name of the OWNER is Hyrum City

1.03 CONSTRUCTION CONTRACT

A. The CONSTRUCTION CONTRACT is known as  
900 West Water & Power Improvement Projects

PART 2 - REQUIREMENTS

2.01 REGISTRATION AND PARTICIPATION

- A. Bidder has completed the E-Verify registration process and is in compliance with the requirements of Utah Code Section 63G-11-103.
- B. Bidder will require affidavits of registration and participation by any subcontractor who works under the terms of the Contract Documents.

PART 3 - EXECUTION

3.01 CONTRACTOR'S SUBSCRIPTION AND ACKNOWLEDGMENT

A. Contractor's Signature:   
B. Please print name here: David L. Ormond  
C. Title: President  
D. CONTRACTOR'S Utah license number: 241695-5501

**Acknowledgement**

State of Utah )  
County of Box Elder ) ss.

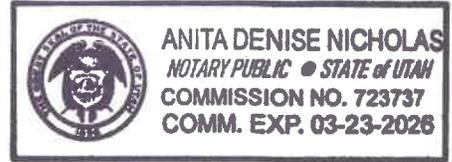
The foregoing instrument was acknowledged before me this May 6, 2025

By \_\_\_\_\_  
(person acknowledging and title or representative capacity, if any)

Anita Denise Nicholas  
Notary's Signature

Perry City Offices  
Residing at

Mar 23, 2026  
My commission expires



Notary's Seal

- END OF DOCUMENT -

### QUALIFICATIONS STATEMENT

THE INFORMATION SUPPLIED IN THIS DOCUMENT IS CONFIDENTIAL TO THE EXTENT PERMITTED BY LAWS AND REGULATIONS

**1. SUBMITTED BY:**

Official Name of Firm:



Ormond Construction Inc

186 W 750 N

PO Box 598

Willard Utah 84340-0598

Address:

**2. SUBMITTED TO:**

*Hyrum City*

**3. SUBMITTED FOR:**

*900 West Water & Power Improvement*

Owner:

*Hyrum City*

Project Name:

*900 West Water & Power Improvement*

**TYPE OF WORK:**

*Water pipeline*

*Power Conduit*

*Road Work*

**4. CONTRACTOR'S CONTACT INFORMATION**

Contact Person:

**Steve Ormond**

Title:

**Estimator / Project Manager**

Phone:

**Phone 435 723 3531**

Email:

**Steve@OrmondConst.com**

5. **AFFILIATED COMPANIES:**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. **TYPE OF ORGANIZATION:**

SOLE PROPRIETORSHIP

Name of Owner: \_\_\_\_\_  
Doing Business As: \_\_\_\_\_  
Date of Organization: \_\_\_\_\_

PARTNERSHIP

Date of Organization: \_\_\_\_\_  
Type of Partnership: \_\_\_\_\_  
Name of General Partner(s): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CORPORATION

State of Organization: \_\_\_\_\_ Utah \_\_\_\_\_

Date of Organization: \_\_\_\_\_ January 1 1982 \_\_\_\_\_

Executive Officers:

- President: \_\_\_\_\_ David L. Ormond \_\_\_\_\_

- Vice President(s): \_\_\_\_\_ Kenneth Ormond, V.P. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Treasurer: \_\_\_\_\_

- Secretary: \_\_\_\_\_ Wynn Ormond, Corporate Secretary \_\_\_\_\_

LIMITED LIABILITY COMPANY

State of Organization: \_\_\_\_\_

Date of Organization: \_\_\_\_\_

Members: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

JOINT VENTURE

Sate of Organization: \_\_\_\_\_

Date of Organization: \_\_\_\_\_

Form of Organization: \_\_\_\_\_

Joint Venture Managing Partner

- Name: \_\_\_\_\_

- Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Joint Venture Managing Partner

- Name: \_\_\_\_\_

- Address: \_\_\_\_\_

\_\_\_\_\_

Joint Venture Managing Partner

- Name: \_\_\_\_\_

- Address: \_\_\_\_\_

\_\_\_\_\_

7. LICENSING

Jurisdiction: Utah

Type of License: Contractors

License Number: 241695-5501

Jurisdiction: \_\_\_\_\_

Type of License: \_\_\_\_\_

License Number: \_\_\_\_\_

8. CERTIFICATIONS

CERTIFIED BY:

Disadvantage Business Enterprise: \_\_\_\_\_

Minority Business Enterprise: \_\_\_\_\_

Woman Owned Enterprise: \_\_\_\_\_

Small Business Enterprise: \_\_\_\_\_

Other ( \_\_\_\_\_ ): \_\_\_\_\_

9. BONDING INFORMATION

Bonding Company: Merchants Bonding Company

Address: street 6700 Westown Pkwy  
West Des Moines IA 50306-3496

Bonding Agent: Fred A Moreton

Address: PO Box 58139-0139  
SLC UT 84158-0139

Contact Name: Judy Parry

Phone: 1801 531 1234

Aggregate Bonding Capacity: 20,000,000

Available Bonding Capacity as of date of this submittal: 20,000,000

10. FINANCIAL INFORMATION

Financial Institution: Bank of Utah  
 Address: 80 E 800 S  
Brigham City UT 84302  
 Account Manager: Jodi Miller  
 Phone: 435 723 9313

11. CONSTRUCTION EXPERIENCE:

Current Experience:

List on **Schedule A** all uncompleted projects currently under contract (If Joint Venture list each participant's projects separately).

Previous Experience:

List on **Schedule B** all projects completed within the last 5 Years (If Joint Venture list each participant's projects separately).

Has firm listed in Section 1 ever failed to complete a construction contract awarded to it?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

Has any Corporate Officer, Partner, Joint Venture participant or Proprietor ever failed to complete a construction contract awarded to them in their name or when acting as a principal of another entity?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

Are there any judgments, claims, disputes or litigation pending or outstanding involving the firm listed in Section 1 or any of its officers (or any of its partners if a partnership or any of the individual entities if a joint venture)?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

**12. EQUIPMENT:****MAJOR EQUIPMENT:**

List on **Schedule C** all pieces of major equipment available for use on Owner's Project.

**Ormond Construction Inc**  
**Equipment Listing**

Equipment Number List			
Big Trucks		Excavators	
8	96 Volvo Dump	305	Komatsu PC228USLC-3NO
10	98 Volvo Dump	306	Komatsu PC308USLC-3
12	98 Kenworth dump	307	Kobelco SK115SR
13	2007 Sterling semi	311	Komatsu PC228USLC-3NO
14	2005 Kenworth Watertruck	312	Komatsu PC45MR-3
15	2007 Sterling Dump	313	Komatsu PC308USLC-3EO
16	2019 Western Star semi	314	Komatsu PC228USLC-8
17	2022 Freightliner Dump	315	Komatsu PC238USLC-11
18	2022 Freightliner Watertruck	316	Komatsu PC138USLC-11
19	2023 Freightliner Dump	317	Volvo ECR355EL
20	2025 Western Star 49X Semi	318	Komatsu PC45MR-5 S/N 34672
21	2025 Freightliner Dump	319	Komatsu PC45MR-5 S/N 35029
	<b>Pickups</b>	320	Volvo ECR235EL
109	2004 Dodge 3500 White	321	Volvo ECR355EL
114	2013 Ford F250 Black	322	2023 Cat 325 CF
115	2014 Ford F450 White	323	Komatsu PC55MR-5
116	2016 Ram 3500 Blue		<b>Loaders</b>
117	2015 Ford F550 White	407	ASV SR-80
119	2019 Ford F450 White	409	Case 570
120	2019 Ford F350 White	410	Komatsu WA250PT-5L
122	2022 Ford F-350 Silver	411	Kubota 90
123	2023 Ford F-250 Black	412	Komatsu WA320-7
124	2023 Ford F-550 White	413	John Deere 244K-II
125	2023 Ram 2500 Silver	414	JCB 3TS-8T
126	2023 Ford F-250 White	415	Komatsu WA320-8
127	2024 Ford F-350 Blue	416	Komatsu WA320-8
128	2023 Ford F450 White	417	John Deere 324P
129	2024 Ford F-450 White	418	2025 Komatsu WA320-8
	<b>Trailers</b>		<b>Misc.</b>
205	1997 Flowboy Dump Pup	501	Komatsu D-65 Dozer
213	1998 Twamco Backhoe Trailer	504	Gardner Denver Air Compressor
214	2004 Water tank trailer	505	Atlas Copco Air Compressor
215	1999 Workman Pup	508	JLG Man Lift
216	2006 Interstate cargo trailer	509	Lamor Sweeper
217	2007 Smithco Side dump	510	Ingersoll-Rand Roller
218	2007 Big Bubbas utility	512	2006 Vermeer Vacuum Trailer
219	2007 Big bubbas flat bed	513	2006 Asphalt Zipper AZ 500
220	2013 Load Trail Dump trailer	514	Miller Welder
221	2014 Smithco Side dump	516	Loadstar Hoist
222	2020 Trail-eze Transport	517	John Deere 764 HSD
223	2020 Diamond C Yellow	518	2019 Bobcat 5600 Toolcat
224	2020 Diamond C Orange	519	Vanair Air Compressor w/o wheels
225	2022 Big 10 Cargo Trailer	520	Sullivan Air Compressor
226	2023 Texas Pride Dump trailer	521	2021 Bobcat 5600 Toolcat
		522	2021 Bobcat 5600 Toolcat
		523	2024 Asphalt Zipper 360X-200H 36"

EJCDC® C-451, Qualifications Statement.

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I HEREBY CERTIFY THAT THE INFORMATION SUBMITTED HERewith, INCLUDING ANY ATTACHMENTS, IS TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME OF ORGANIZATION: Ormond Construction Inc

BY: [Signature]

TITLE: President

DATED: May 6, 2025

NOTARY ATTEST:

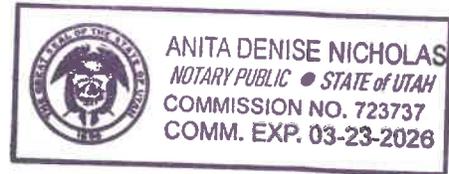
SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 6th DAY OF May, 2025



NOTARY PUBLIC - STATE OF Utah  
MY COMMISSION EXPIRES: Mar 23, 2026

REQUIRED ATTACHMENTS

1. Schedule A (Current Experience).
2. Schedule B (Previous Experience).
3. Schedule C (Major Equipment).
4. Evidence of authority for individuals listed in Section 7 to bind organization to an agreement.
5. Resumes of officers and key individuals (including Safety Officer) of firm named in Section 1.
7. Additional items as pertinent.



SCHEDULE A

CURRENT EXPERIENCE

Project Name	Owner's Contact Person	Design Engineer	Contract Date	Type of Work	Status	Cost of Work
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				

Name:  
Address:  
Telephone:  
  
Name:  
Company:  
Telephone:

Please see attached Ormond Job history, Experience Resume & References





SCHEDULE C - LIST OF MAJOR EQUIPMENT AVAILABLE

ITEM	PURCHASE DATE	CONDITION	ACQUIRED VALUE
		<p>List of major equipment owned by Ormond Construction available for use on our projects.</p>	
		<p><b>Excavators:</b> Track Excavators (16 each) from 11,000 to 85,000 pounds. Two of which are equipped with rubber tracks. Three equipped w/dozer blades. Most of our excavators are designed with zero over-hanging counter weights which allow them to work in tight areas, with less interference to traffic, better visibility and safer operating. Most of our units are equipped with quick disconnects that allow the operators to switch from buckets to compactors or other attachments from the operator seat.</p>	
		<p><b>Attachments:</b> We have a large grappelling attachment, a large clamshell excavator bucket that can be readily attached to most of our excavators to handle boulders. Also a small rock thumbs on a small excavator to utilize in tight areas or for delicate work.</p>	
		<p><b>Loaders:</b> Front End Loaders (11 each) ranging in size from 1/4 to 3 1/4 cubic yards, most of them are equipped quick disconnects. Two units have rubber tracks that will allow it to operate on soft unstable ground with little impact to the surface.</p>	
		<p><b>Attachments for loaders and excavators:</b> Forks (6 each), power brooms (3), cutting wheels (1), asphalt pulverizes (2), concrete breaker (1), compactors (8), landscape blades (3) and rock rakes (5). A heavy duty hydraulic mower that can chop up trees up to 8" in diameter. We also have a large collection of buckets many with cutting edges instead of teeth. (We prefer to do most of our excavation work using cutting edge blades instead of teeth. We believe that in most conditions (except of rocky ground) teeth will compromise the sub base under pipes or structures particularly in wet conditions.</p>	
		<p><b>Power Brooms:</b> we have a self-propelled broom and 4 power broom attachments.</p>	
		<p><b>Road Grader:</b> John Deere rubber track dozer with GPS system</p>	
		<p><b>Bull Dozer:</b> 1 D-65 Komatsu</p>	
		<p><b>Self-Propelled-Vibrating Compactors:</b> (2) Ingersoll-Rand-54" (smooth and sheep foot) drum. Rex 84" smooth drum</p>	
		<p><b>Trucks:</b> We have a fleet of trucks which includes Side Dumps (2 each), End Dumps (7), and Pup Trailers (2) Transports (5), 4000 gallon Water Trucks (2) w/80 PSI sprayers.</p>	
		<p><b>Utility Trucks:</b> (15) Pickups &amp; utility trucks equipped with hand/power tools including water pumps, gas saws, grading instruments including lasers, and underground pipe locators.</p>	
		<p><b>Large Implements:</b> Large Vermeer Vacuum (trail mounted) w/pressure washer (handy to excavate around underground utilities, Air compressors w/hammers and tools(3). Pull behind water tank w/sprayers, Water pressure test pumps, Asphalt Zippers (2), self-propelled Diamond Saw (1), Hand controlled compactors.</p>	
		<p><b>Boring Tools:</b> We have a large selection of boring equipment capable installing lines and casing up to 24 inches.</p>	
		<p><b>Trench Shoring:</b> Trench Boxes (10, from 8-25 feet long), Aluminum Trench Shields (2 sets), Bedding Boxes (5)</p>	
		<p><b>Detectors:</b> We have underground utility locators and power chop saws for every crew. A Melrotech leak detector that can find hard to find leaks.</p>	

EJCDC' C-451, Qualifications Statement.  
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### GENERAL POWER OF ATTORNEY

Ormond Construction Inc. referred to hereafter as Ormond, located at 186 West 750 North P.O. Box 598 Willard Utah 84340-0598, hereby appoint David L Ormond & Wynn B Ormond of 186 West 750 North P.O. Box 598 Willard Utah 84340-0598, as Ormond's Attorney-in-Fact ("Agent").

If Ormond's Agent is unable to serve for any reason, they designate Kenneth L Ormond, of 186 West 750 North P.O. Box 598 Willard Utah 84340-0598, as Ormond's successor Agent.

Ormond hereby revokes any and all general powers of attorney that previously have been signed by them.

Ormond's Agent shall have full power and authority to act on their behalf. This power and authority shall authorize Ormond's Agent to manage and conduct all of their affairs and to exercise all of their legal rights and powers, including all rights and powers that they may acquire in the future. Ormond's Agent's powers shall include, but not be limited to, the power to:

1. Open, maintain or close bank accounts (including, but not limited to, checking accounts, savings accounts, and certificates of deposit), brokerage accounts, and other similar accounts with financial institutions.
  - a. Conduct any business with any banking or financial institution with respect to any of Ormond's accounts, including, but not limited to, making deposits and withdrawals, obtaining bank statements, passbooks, drafts, money orders, warrants, and certificates or vouchers payable to them by any person, firm, corporation or political entity.
  - b. Perform any act necessary to deposit, negotiate, sell or transfer any note, security, or draft of the United States of America, including U.S. Treasury Securities.
  - c. Have access to any safe deposit box that Ormond might own, including its contents.
2. Sell, exchange, buy, invest, or reinvest any assets or property owned by Ormond. Such assets or property may include income producing or non-income producing assets and property.
3. Purchase and/or maintain insurance, including life insurance upon the life of any appropriate person.
4. Take any and all legal steps necessary to collect any amount or debt owed to Ormond, or to settle any claim, whether made against them or asserted on their behalf against any other person or entity.
5. Enter into binding contracts on Ormond's behalf.
6. Exercise all stock rights on Ormond's behalf as their proxy, including all rights with respect to stocks, bonds, debentures, or other investments.
7. Maintain and/or operate any business that Ormond may own.
8. Employ professional and business assistance as may be appropriate, including attorneys, accountants, and real estate agents.

9. Sell, convey, lease, mortgage, manage, insure, improve, repair, or perform any other act with respect to any of Ormond's property (now owned or later acquired) including, but not limited to, real estate and real estate rights (including the right to remove tenants and to recover possession). This includes the right to sell or encumber any homestead that they now own or may own in the future.

10. Prepare, sign, and file documents with any governmental body or agency, including, but not limited to, authorization to:

- a. Prepare, sign and file income and other tax returns with federal, state, local, and other governmental bodies.
- b. Obtain information or documents from any government or its agencies, and negotiate, compromise, or settle any matter with such government or agency (including tax matters).
- c. Prepare applications, provide information, and perform any other act reasonably requested by any government or its agencies in connection with governmental benefits (including military and social security benefits).

11. Make gifts from Ormond's assets to members of the family and to such other persons or charitable organizations with whom they have an established pattern of giving. However, Ormond's Agent may not make gifts of their property to the Agent. They appoint \_\_\_\_\_, of \_\_\_\_\_, as Ormond's substitute Agent for the sole purpose of making gifts of Ormond's property to Ormond's Agent, as appropriate.

12. Transfer any of Ormond's assets to the trustee of any revocable trust created by them, if such trust is in existence at the time of such transfer.

13. Disclaim any interest which might otherwise be transferred or distributed to Ormond from any other person, estate, trust, or other entity, as may be appropriate.

This Power of Attorney shall be construed broadly as a General Power of Attorney. The listing of specific powers is not intended to limit or restrict the general powers granted in this Power of Attorney in any manner.

Any power or authority granted to Ormond's Agent under this document shall be limited to the extent necessary to prevent this Power of Attorney from causing: (i) Ormond's income to be taxable to their Agent, (ii) Ormond's assets to be subject to a general power of appointment by their Agent, and (iii) Ormond's Agent to have any incidents of ownership with respect to any life insurance policies that they may own on the life of the Agent.

Ormond's Agent shall not be liable for any loss that results from a judgment error that was made in good faith. However, Ormond's Agent shall be liable for willful misconduct or the failure to act in good faith while acting under the authority of this Power of Attorney.

Ormond authorize their Agent to indemnify and hold harmless any third party who accepts and acts under this document.

Ormond's Agent shall be entitled to reasonable compensation for any services provided as their Agent. Ormond's Agent shall be entitled to reimbursement of all reasonable expenses incurred in connection with this Power of Attorney.

Ormond's Agent shall provide an accounting for all funds handled and all acts performed as their Agent, if Ormond so request or if such a request is made by any authorized personal representative or fiduciary acting on their behalf.

This Power of Attorney shall become effective immediately. This is a Durable Power of Attorney. This Power of Attorney shall continue effective until further notice. This Power of Attorney may be revoked by Ormond at any time by providing written notice to Ormond's Agent.

Dated \_\_April 15, 2015 at 12:00 PM.

SIGNATURE OF CORPORATE PRESIDENT & SECRETARY AS ELECTED BY THE BOARD OF DIRECTORS OF ORMOND CONSTRUCTION INC:

*David L Ormond* 4-15-15

David L Ormond (President)

*Wynn B Ormond* 4/15/2015

Wynn B Ormond (Secretary/Treasurer)

State of Incorporation, Utah

Ormond Construction Inc  
186 W 750 N  
PO Box 598  
Willard UT 84340



**ORMOND CONSTRUCTION INC.**  
**P.O. BOX 598**  
**WILLARD, UT 84340**  
**(435) 723-3531**

Note: Updated and changed by

**EXPERIENCE RESUME & REFERENCES**

Not all Completed Jobs are listed

**(Template format)**

#	PROJECT NAME	Begin date	End date	Awarded Amt	Completed Amt
Owner:	Owner	Point of Contact	Phone		In Progress
Engineer:	Engineer	Point of Contact	Phone		
Funding Source					
Job Address: Job Address					
Type of Work : Type of Work and Notes on Project					

(Note: projects are listed in date order from most recent dating back)

**Jobs in bold print have specific emphasis to this job.**

WBECED- 2025 Waterline Replacement Project	Apr-25	End date	Awarded Amt	Completed Amt
Owner: Weber-Box Elder Conservation Distric Daniel Johnson	(801) 621-6555		\$528,178	In Progress
Engineer: Weber-Box Elder Conservation Distric Daniel Johnson	(801) 621-6555			
Funding Source				
Job Address: 575 E 3000 N North Ogden				
Type of Work : 910'x8" C900 DR18. 200'x12" C900 DR18. ,100'x 6" & 4" & 3" C900 DR18. Connections and fittings, Asphalt, Import material. Change order added secondary meters will increase completed to bid amount.				

Ukon Hammons Well Earthwork Project	Mar-25	End date	Awarded Amt	Completed Amt
Owner: Ukon Water Company	Derek Oyler	435-452-8706	\$121,983	In Progress
Engineer: Jones and Associates	Adrian Moreno	801.476.9767		
Funding Source				
Job Address: Job Address				
Type of Work : Excavation (initial fill 713 cy, initial cut 4503 cy, remove and replace soil per plan)				

Perry City - Earthwork at Well #5	Jan-25	Jan-25	Awarded Amt	Completed Amt
Owner: Perry City	Robert Barnhill	723-6461	\$53,625	\$56,545
Engineer: Jones and Associates	Adrian Moreno	801 476 9767		
Funding Source				
Job Address: 3000 S 666 W (mouth of Perry Canyon)				
Type of Work : Clear and grub, excavation and haul off 3650 CY, finish grading				

Pleasant View-Barker Family Pond Improvements	Jan-25	End date	Awarded Amt	Completed Amt
Owner: Pleasant View City	Melinda Greenwood	801 782-8529	\$205,393	In Progress
Engineer: Jones and Associates	Dana Shuler	801 476 9767		
Funding Source				
Job Address: 2700 North 775 West				
Type of Work : Dewatering, damming, demolition, new 15" and 36" RCP, new structures, rip rap, concrete spillway, excavation, embankment, Change Order for vault revisions				

Pleasant View- Zone 1 Water Transmission Line Phase 1	Mar-24	End date	Awarded Amt	Completed Amt
Owner: Pleasant View City	Melinda Greenwood	801 782-8529	\$412,079	In Progress
Engineer: Jones and Associates	Dana Shuler	801 476 9767		
Funding Source				
Job Address: 1500 West and Pleasant View Drive				
Type of Work : 900' of 12" C-900 culinary water, bore 20" steel casing, water services, looping existing, 60' 15" RCP storm drain,				

Centerville City- Culinary Water Maintenance 2024	Jul-24	Aug-24	Awarded Amt	Completed Amt
Owner: Centerville City	Mike Carlson	801-292-8232	\$110,435	\$94,059
Engineer: ESI Engineering Inc.	Brian Naylor	(801) 263- 1752		
Funding Source				
Job Address: Multiple locations Centerville				
Type of Work : 100' x 8" C900 water line, 20 x 6" C900 water line, connections, fittings, fire hydrants, remove old parts, import, asphalt				

South Ogden- Chimes View Drive Waterline Replacement Project	Jul-24	Dec-24	Awarded Amt	Completed Amt
Owner: South Ogden City	Tim Zampedri	801-940-2248	\$883,435	\$904,938
Engineer: Wasatch Civil Consulting Engineering	Ben Loomis	801-775-9191		
Funding Source				
Job Address: Chimes Drive				
Type of Work : 2500' x 8" C900 DR18 Pipe, Transitions, connections, fittings, gate valves, fire hydrants,import, asphalt. Possible sewer lateral repairs.				

Clearfield- 350 S Reconstruction Project #210	Jul-24	End date	Awarded Amt	Completed Amt
Owner: Clearfield City	Braden	801-525-4419	\$1,474,857	In Progress
Engineer: Jones and Assoc Cons Engineers	Shane Taggart	801 476 9767		

new up waiting for rocky m  
Power to move power poles

Funding Source

Job Address: 350 South State Street to Depot Street  
Type of Work : 800 x 10" Water line, 300' x 8" Water line. 130' x 15" storm drain, 1050' x 8" sewer line. Fittings, connections, fire hydrants, man holes, drop boxes, services, import, remove and replace asphalt, curb and gutter, concrete flatwork.

Centerville- 1250 North Deerfield & 325 E Culinary #24-048	May-24	End date	Awarded Amt	Completed Amt
Owner: Centerville City	Mike Carlson	801-292-8232	\$283,421	\$265,869
Engineer: ESI Engineering Inc.	Brian Naylor	(801) 263- 1752		

Funding Source  
Job Address: 1250 n - Deerfield Dr to 325 e  
Type of Work : 1300' x 8" PVC C900, 30 ' x 6" PVC C900, 600 ' x 3/4" service lateral, Gate valves, 2 fire hydrants, 160 ' x 12" rcp storm drain, concrete removal and replace, asphalt removal and replace, fittings, bedding, base course, landscaping

Box Elder / Willard Flood Contro Cooks Canyon & Basin Maintenar	Jun-24	End date	Awarded Amt	Completed Amt
Owner: Willard Flood Control District	Josh Braegger	801-731-5522	Time & Materials	\$40,275
Engineer: Jones and Associates	Zak Burk or Matt Rol	801 476 9767		

Funding Source  
Job Address: Cook Canyon Debris Basin  
Type of Work : Basin cleanout and vegetation removal

SDWD- Culinary Waterline Replacement 3000 S 500 W Bountiful #	May-24	End date	Awarded Amt	Completed Amt
Owner: South Davis Water District	Jake Ferguson	801.295.4468	\$378,557	\$404,493
Engineer: ESI Engineering	Cody Pederson	801.263.1752		

Funding Source  
Job Address: 3000 S 500 W Bountiful  
Type of Work : 770' x 8" PVC C900 Water Main, 350' x 6" PVC C900 Water Main, 350' x 3/4 service lateral, Gate Valves, Fire Hydrants, fittings, bedding, base coarse, asphalt removal and replace, landscaping.

WBWCD Misc Meter Installation	May-24	Jun-24	Awarded Amt	Completed Amt
Owner: Weber Basin Water Conservancy Dist Tavi Dickerson	801-771-1677		Time & Materials	\$58,493
Engineer: Weber Basin Water Conservancy Dist Tavi Dickerson	801-771-1677			

Funding Source  
Job Address: Woods Cross & West Bountiful  
Type of Work : Material and labor. Installing new radio read water meters on existing secondary services in residential area. Misc concrete asphalt and other misc.

Hooper Water ID Project #179, Phase 2 4500 West Water Line	Begin date	Dec-24	Awarded Amt	Completed Amt
Owner: Hooper Water Improvement District Scott Christiansen	801-985-1991		\$1,251,183	\$1,202,034
Engineer: Gardner Engineering	Mike Durtschi	801-476-0202		

Funding Source  
Job Address: 4500 W Hooper  
Type of Work : 3150'x 12" C900 DR18 Waterline. Multiple connections, fittings, sewer crossings, power pole, asphalt and concrete

\* This complete amount may change in 2025

Final pending final asphalt sealcoat Spring 2025

Layton- HillsBoro Drive Waterline Replacement Proj 23-03	Apr-24	Jul-24	Awarded Amt	Completed Amt
Owner: Layton City	Brett Perkins	801-336-3700	\$348,868	\$283,697
Engineer: Layton City Engineering	Stacy Majewski	801-336-3700		

Funding Source  
Job Address: 1525 N 1675 E Hillsboro Drive  
Type of Work : 1250' x 8" C900 DR14 Culinary Water. 50' x 10" C900 DR14 Culinary Water. Loop lines, Valves, fire hydrants, fittings, services, asphalt, concrete, roadbase, backfill.

Pleasant View- Barker Park Detnetion Pond remediation	Apr-24	Jun-24	Awarded Amt	Completed Amt
Owner: Pleasant View City	Melinda Greenwood	801 782-8529	\$135,925	\$147,098
Engineer: Jones and Assoc Cons Engineers	Dana Shuler	801 476 9767		

Funding Source  
Job Address: 600 W Elberta (3100 N)  
Type of Work : 25,000 SF Bentonite Liner. Install Overflow Spillway. Clear ,grub, remove tree, Replace sod , topsoil. Traffic and SWP.

Brigham-2024 Bunderson Spring Development	Mar-24	Aug-24	Awarded Amt	Completed Amt
Owner: Brigham City	Tyler Pugsley	435-230-0422	\$242,997	\$461,975
Engineer: Jones & Assoc	Brett Jones	801 476 9767		

Funding Source  
Job Address: Mantua Reservoir North end  
Type of Work : Explore potential water sources and run system to gather water. Job increased in size significantly because of the success of the project and to meet legal requirements for safe water gathering. 8" PVC x 770'. Connect to 30" main with meter station. 6" PVC Perferated SDR 35 x 150'. All connections and fittings. Install liner and haul and place soil cover. Grade for landscape.

Perry Flood Control- 2023 Basin Maintenance Project	Oct-23	Apr-24	Awarded Amt	Completed Amt
Owner: Perry Flood Control	Tyler Wagstaff	435-723-6461	\$57,429	\$50,934
Engineer: Jones & Associates	Matt R	801 476 9767		

Funding Source

Job Address: Multiple sites  
 Type of Work : 6 Basins that need cleaning and mowing.

South Davis- Secondary Water Meter Installation			Nov-23	Dec-23	Awarded Amt	Completed Amt
Owner:	South Davis Water District	Jake Ferguson	801.295.4468		\$118,171	\$113,013
Engineer:	ESI Engineering	Brian Naylor	801.263.1752			

407 W 3100 S, Bountiful, UT 84010

Funding Source  
 Job Address: Job Address  
 Type of Work : 3 x 1" meter assemblies, 14 x 2" Meter Assemblies, Replace sidewalk, restore landscape, and etc

North Ogden- 4050 N 100 E Strom Drain Design Project			Sep-23	Nov-23	Awarded Amt	Completed Amt
Owner:	North Ogden City	Craig Giles/Stacie C	801 782 7211		\$163,757	\$170,227
Engineer:	ESI Engineering	Brian Naylor	801.263.1752			

Funding Source  
 Job Address: 4050 N 100 E North Ogden-  
 Type of Work : 40' x 15" HDPE perforated pipe, 275' x 15 RCP Storm Drain, Man Holes, remove and replace Curb and gutter, asphalt, antive soil. And etc

Tremonton- Central Canal Equalization Basin Project			Aug-23	Mar-24	Awarded Amt	Completed Amt
Owner:	Tremonton City	Paul Fulgham	435-257-9500		\$289,908	\$143,480
Engineer:	Jones & Assoc	Chris Breinholt	801 476 9767			

102 S. Tremont St.  
 Tremonton, UT 84337  
[Chris Breinholt <chrisb@jonescivil.com>](mailto:Chris.Breinholt@jonescivil.com)  
[Paul Fulgham <pfulgham@tremontioncity.com>](mailto:Paul.Fulgham@tremontioncity.com)

Funding Source  
 Job Address: 6050 W 10000 N Tremonton UT  
 Type of Work : Grading grubbing and stabilization of 18,250. Inlet, outlet, drop box, and other structures

Garland-Storm Water Imporvement Project on West Factory Street			Jul-23	Dec-23	Awarded Amt	Completed Amt
Owner:	Garland City	Point of Contact	Phone		\$1,668,113	\$653,990
Engineer:	Civil Engineering Consulting PLLC	Todd Freeman	801-866-0550			

5141 S 1500 W  
 Riverdale City UT 84405

Funding Source  
 Job Address: 830 West Factory St Garland  
 Type of Work : 15" x 269' RCP. 24" x 2215' ADS Stormwater Pipe. Bedding, backfill, restoratoion, disposal of old piping. Misc sewer, water and other connections and required changes.  
 Street rebuild of large amount of asphalt and concrete improvements

[Todd Freeman <todd0468@gmail.com>](mailto:Todd.Freeman@todd0468@gmail.com)

NDS- Layton 3200 W Replacment Sewer			Jul-23	Oct-23	Awarded Amt	Completed Amt
Owner:	North Davis Sewer District	David Hatch	801.825.0712		\$355,324	\$368,838
Engineer:	North Davis Sewer District	David Hatch	801.825.0712			

4252 W 2200 S  
 Syracuse UT 84075

Funding Source  
 Job Address: 3200 W Gentile  
 Type of Work : 1200' x 8" PVC Replace existising sewer. Pumping Pavement restoration.

BRWCD- Flat Canyon Well Pump Station and Pipeline 91.45.300			May-23	Apr-24	Awarded Amt	Completed Amt
Owner:	Bear River Water Conservancy Distric	Jeff Humprey	435-723-7034		\$1,022,417	\$1,061,773
Engineer:	Hansen, Allen & Luce, Inc.	Point of Contact	801.566.5599			

102 West Forest Street  
 Brigham City, Utah 84302

Funding Source  
 Job Address: 11200 N 3000 W to points mostly south  
 Type of Work : Well pump station complete, connections, 6800' x 6" HDPE pipe, air release station, blowoff station, booster pump, chlrorination station, asphaltting.

Washington Terrace- 2023 Capital Facilities Projects			May-23	Sep-23	Awarded Amt	Completed Amt
Owner:	Washington Terrace City	Jake Meibos	801-393-8681		\$478,524	\$528,667
Engineer:	Jones And Associates Engineering	Shane Taggart	801 476 9767			

Washington Terrace City  
 5249 S 400 E  
 Washington Terrace UT 84405  
[\(801\) 393-8681](tel:(801)393-8681)

Funding Source  
 Job Address: 150 E 5150 South Washington Terrace  
 Type of Work : 695' x 8" Waterline. 510' x 10" Waterline. Fire Hydrants, Connections, fittings. Concrete removal and replace,

WBWCD Secondary Meter Project Phase 15- Layton #23004			May-23		Awarded Amt	Completed Amt
Owner:	Weber Basin Water Conservancy Dist	Tavi Dickerson	801-771-1677		\$6,024,687	In Progress
Engineer:	Weber Basin Water Conservancy Dist	Tavi Dickerson	801-771-1677			

Funding Source  
 Job Address: Woods Cross & West Bountiful  
 Type of Work : Installing new radio read water meters on existing secondary services in residential area. 580+/- 1" single meters. 1065+/- double meters. 125 +/- 2" and 4". 270 backyard services. Misc concrete asphalt and other misc.

Willard Flood CD- 2023 Channel And Basin Maintenance Project			Mar-23	Mar-23	Awarded Amt	Completed Amt
Owner:	Willard Flood Control District	Josh Braegger	801-731-5522		\$34,281	\$37,239
Engineer:	Jones & Associates Consulting Engine	Point of Contact	801 476 9767			

Funding Source  
 Job Address: Facer Creek and Willard Cxreek  
 Type of Work : Creek cleaning and tree removal

Logan River Blue Trail Hazard Debris Removal			Oct-22	Nov-22	Awarded Amt	Completed Amt
Owner:	Logan City	Frank Howe	435-716-9000		\$316,081	\$248,093

Engineer: Logan City and Bio-West Darren Olsen 435-881-1126  
 Funding Source  
 Job Address: Logan River between 600 W and 1000 W Logan UT  
 Type of Work : Ingress and Egress from the river, 35 specified items of removal, reshaping, or cleaning up. Bank reshaping, revegetation, planting trees.

WBWCD Secondary Meter Project Woods Cross Phase 14 #22010 Dec-22 Jul-23  
 Owner: Weber Basin Water Conservancy Dist Tavi Dickerson 801-771-1677 

Awarded Amt	Completed Amt
\$4,226,106	\$3,596,482

  
 Engineer: Weber Basin Water Conservancy Dist Tavi Dickerson 801-771-1677  
 Funding Source  
 Job Address: Woods Cross & West Bountiful  
 Type of Work : Installing new radio read water meters on existing secondary services in residential area. 210+/- 1" single meters. 710+/- double meters. 35 +/- 2" and 4". 700 backyard services. Misc concrete asphalt and other misc.

South Weber- Cul Water System Meter Station Project Oct-22 Dec-22  
 Owner: South Weber City Point of Contact 801-479-3177 

Awarded Amt	Completed Amt
\$99,610	\$135,148

  
 Engineer: Jones & Associates Shane Taggart 801 476 9767  
 Funding Source  
 Job Address: Job Address  
 Type of Work : Install and plumb to culinary water meter vaults

Perry Flood Control- 2022 Basin Maintenance Project Sep-22 Sep-22  
 Owner: Perry Flood Control Tyler Wagstaff 435-723-6461 

Awarded Amt	Completed Amt
\$47,895	\$47,895

  
 Engineer: Jones & Associates 801 476 9767  
 Funding Source  
 Job Address: Job Address  
 Type of Work : Appox 300,000 Square feet of vegatative clearing or maintenance at 8 separate sites

[mattr@jonescivil.com](mailto:mattr@jonescivil.com)

Centerville- Cottonwood Drive Culinary Water & Storm Drain May-22 Aug-22  
 Owner: Centerville City Mike Carlson 801-292-8232 

Awarded Amt	Completed Amt
\$456,425	\$437,757

  
 Engineer: ESI Engineering Brian Naylor 801.263.1752  
 Funding Source  
 Job Address: 50 E through 275 E and Cottonwood Dr Centerville  
 Type of Work : 8"x 2000' PVC C900. 6"x100' PVCC900. Services. Fittings. Fire Hydrants. 12"x800' PVC Storm drain. Inlets. Manholes. Remove and replace 16,000 sf asphalt, 500' curb and gutter and 800' sidewalk. Traffic control, import and haul aways and etc

Hooper WaterID- 7100 West Work Order 144 Apr-22 Dec-22  
 Owner: Hooper Water Improvement District Scott Christiansen 801-985-1991 

Awarded Amt	Completed Amt
\$624,085	\$566,492

  
 Engineer: Gardner Engineering Dan White 801-476-0202  
 Funding Source  
 Job Address: 7100 W 5900 S and 5500 W 4200 S Hooper  
 Type of Work : 12" x 2780' C900 Pipe. Services, Connections, Fittings, Gate Valves, Fire Hydrants, Utility loops, imported material, asphalt patching. A small amount of asphalt patching was done in spring of 2023

Hooper WaterID- 5500 West Work Order 143 Apr-22 Nov-22  
 Owner: Hooper Water Improvement District Scott Christiansen 801-985-1991 

Awarded Amt	Completed Amt
\$1,536,404	\$1,437,248

  
 Engineer: Gardner Engineering Dan White 801-476-0202  
 Funding Source  
 Job Address: 7100 W 5900 S and 5500 W 4200 S Hooper  
 Type of Work : 12" x 5760' C900 Pipe. Services, Connections, Fittings, Gate Valves, Fire Hydrants, Utility loops, imported material, asphalt patching. A small amount of asphalt patching was done in spring of 2023

8540

Roy Water- 2022 Water Meter Project Nov-22 Dec-22  
 Owner: Roy Water Conservancy District 801-544-9744 

Awarded Amt	Completed Amt
\$202,664	\$135,015

  
 Engineer: Wasatch Civil Consulting Engineering Brad Jensen 801-775-9191  
 Funding Source  
 Job Address: 4500 W 5900 S & 2675 W 3900 S Roy  
 Type of Work : Install 155 meters on service laterals.

Roy- 2021 Waterline Replacement Project Apr-22 Nov-22  
 Owner: Roy City Point of Contact 801-774-1090 

Awarded Amt	Completed Amt
\$1,346,834	\$1,145,138

  
 Engineer: Wasatch Civil Consulting Engineering John Bjerregaard 801-775-9191  
 Funding Source  
 Job Address: 5950 S 2600 W Roy  
 Type of Work : 8" x 6850 PVC C900 Pipe, Fire Hyd, Hot taps, conections, gate valves, services, remove and abandon old lines and fire hydrants, imported fill, road base asphalt patching.

Perry- 1200 W Est #8 Jan-22 Jan-22  
 Owner: Perry City Tyler Wagstaff 435-723-6461 

Awarded Amt	Completed Amt
\$7,695	\$7,500

  
 General Contract: Staker Parson Company Jeff Davis 801-731-1111  
 Engineer: Jones & Associates Shane Taggart 801 476 9767  
 Funding Source

Job Address: 3600 S 1200 W Perry  
 Type of Work : Strom Drain box install

Elwood-Culinary Master Flow Meters No. 1 and 2  
 Owner: Elwood Town Point of Contact 435-257-5518  
 Engineer: Hansen & Associates Inc Mathew Hales 435-723-3491  
 Funding Source  
 Job Address: 8800 N Hwy 38  
 Type of Work : 2 Complete installed meters

Mar-21	Apr-21	Awarded Amt	Completed Amt
		\$81,786	\$81,786

Centerville- 1167 North Main Street Fire Hydrant Line Project #21-  
 Owner: Centerville City Mike Carlson 801-292-8232  
 Engineer: ESI Engineering Kevin Campbell 801.263.1752  
 Funding Source  
 Job Address: 1167 North Main Centerville  
 Type of Work : 80' Bore under State Highway. 230' x 8" C900 PVC Pipe. 20' x 6" C900 PVC pipe. 1 Service, 1 Fire Hydrant, Fittings, Connections, Imported material, Flowable fill, Patching, and concrete replacement.

Nov-21	Dec-21	Awarded Amt	Completed Amt
		\$110,728	\$109,468

Willard- 200 W Storm Drain Crossing  
 Owner: Willard City Point of Contact 435-734-9881  
 General Contrac Staker Parson Company Jeff Davis 801-731-1111  
 Engineer: Jones & Associates Matt Robertson 801 476 9767  
 Funding Source  
 Job Address: Job Address  
 Type of Work : Type of Work and Notes on Project

Sep-21	Sep-21	Awarded Amt	Completed Amt
		\$8,100	\$8,100

Washington Terrace- City Wide Valve Replacement CDBG Project  
 Owner: Washington Terrace City Jake Meibos 801-393-8681  
 Engineer: Jones & Associates Shane Taggart 801 476 9767  
 Funding Source CDBG Project HUD and CEBG project. Davis Bacon wages  
 Job Address: Job Address  
 Type of Work : City wide, Install 42 6" water valves. Install 5 10" water valves. Remove all 47 old valves. Install 2 PRV Stations and remove the old ones. Mobilization and other misc.  
 Note: do to late project bid, award and availability of asphalt this project was not expected to be completed until Spring of 2022

Sep-21	May-22	Awarded Amt	Completed Amt
		\$436,039	\$463,747

Brigham- Scott Larson Dairy Water and Sewer Services Project  
 Owner: Brigham City Tyler Vincent 435-230-0422  
 Engineer: Jones & Associates Matt Robertson 801 476 9767  
 Funding Source  
 Job Address: Job Address  
 Type of Work : 60' 4"Sewer and 2" Water services. Connections, mobilization, stream restoration, and misc other. One installation of a sewer pump originally bid as a alternate item.

Sep-21	Oct-21	Awarded Amt	Completed Amt
		\$44,982	\$47,750

Ogden- Harrison Blvd Reconstruction  
 General Contrac Paragon Constructions Systems Austin Stegen 801-791-4668  
 Owner: Ogden City  
 Engineer: Ogden City Engineering Point of Contact Phone  
 Funding Source  
 Job Address: Harison Blvd 12th to 7th Street  
 Type of Work : 1220' x 12" Water Main. 300' x 8" Water Main. Valves, fittings, fire hydrants, connections. The general contractor added more work to our original agreement

Aug-21	Sep-21	Awarded Amt	Completed Amt
		\$119,098	\$126,933

Secondary Meter Project Phase 13 – Woods Cross No 21022  
 Owner: Weber Basin Water Conservancy Dist Zack Wolford 801-771-1677  
 Engineer: Weber Basin Water Conservancy Dist Scott Paxman 801-771-1677  
 Funding Source  
 Job Address: Large area West of 1100 West Woods Cross  
 Type of Work : Installing new radio read water meters on existing secondary services in residential area. 140+/- 1" single meters. 360+/- double meters. 8 +/- 2" meters. 2+/- 4" Meters. Lanscaping, concrete replacment and other necessary items.

Aug-21	Mar-22	Awarded Amt	Completed Amt
		\$1,094,302	\$957,865

Hooper Master Plan Project #122  
 Owner: Hooper Water Improvement District Scott Christiansen 801-985-1991  
 Engineer: Gardner Engineering Dan White 801-476-0202  
 Funding Source  
 Job Address: 5100 S 7100 W Hooper  
 Type of Work : 12" x 5800' C900 DR18 Pipe. 10" x 2150' C900 DR18 Pipe. Fire Hydrants, Connections, Valves, 40 Services, Select backfill, Asphalt patching, Concrete Repair, Traffic control, and Restoration.

Jun-21	Sep-21	Awarded Amt	Completed Amt
		\$1,034,870	\$843,625

Logan 300 South 300-400 East Sewer Replacement  
 Owner: Logan City Alex Oliphant 435-716-9165  
 Engineer: Logan City Alex Oliphant 435-716-9165  
 Funding Source  
 Job Address: 300 S 300-400 E, Logan

May-21	Aug-21	Awarded Amt	Completed Amt
		\$216,955	\$270,222

Hooper Water Improvement District  
 5555 W 5500 S,  
 PO Box 217  
 Hooper UT 84315  
[\(801\) 985-1991](tel:8019851991)

Type of Work : 700' of 8" sewer main replacement. Including 4 manholes, 16 home reconnections, removing 745' of abandoned sewer main and Manholes. Imported bedding, granular fill, and asphalt. Logan City added more work to the project

North Ogden-2021 Waterline Replacement and Storm Drain Project	Apr-21	Aug-21	Awarded Amt	Completed Amt
Owner: North Ogden City	Craig Giles/Stacie C	801 782 7211	\$885,709	\$930,880
Engineer: Jones & Associates	Matt Robertson	801 476 9767		

505 E 2600 N  
North Ogden UT 84414

Funding Source  
Job Address: 1250 E 2550 N North Ogden

Type of Work : 8" x 3550' PVC DR-14 PVC. 4" x 200' PVC DR-14 PVC. Connections, fittings, fire hydrants, 60 services. 15"x1200' RCP. Man holes, catch basins, Bedding. Bedding, Asphalt patching. City had us do more work.

Perry Flood Control- 2021 Basin Maintenance Project	Apr-21	Jul-21	Awarded Amt	Completed Amt
Owner: Perry City	Tyler Wagstaff	435-723-6461	\$63,574	\$69,624
Engineer: Jones & Associates	Matt Robertson	801 476 9767		

Less than an acre disturbance any one location

Funding Source

Job Address: Various locations in Perry City.

Type of Work : Cleaning and removing large vegetation. Cleaning storm drain pipes

South Ogden- Porter Ave Storm Drain Project	Apr-21	Jul-21	Awarded Amt	Completed Amt
Owner: South Ogden City	Tim Zampedri	801-940-2248	\$271,912	\$256,340
Engineer: Wasatch Civil Consulting Engineering	Brad Jensen	801-775-9191		

Funding Source

Job Address: Porter Ave South Ogden

Type of Work : 700' x 18" RCP. 100' x 15" RCP pipe. Install ManHoles Catch Basins. Abandon and remove existing storm drain fixtures. Import granular and install street repairs.

Davis Cnty Deuel Ck Place	Apr-21	Apr-21	Awarded Amt	Completed Amt
Owner: Davis County	Antony Thompson	801-444-2230	\$34,626	\$34,626
Engineer: Davis County	Point of Contact	801-444-2230		

[Anthony Thompson <tony@co.davis.ut.us>](mailto:tony@co.davis.ut.us)  
1500 E 650 N, Fruit Heights, UT 84037

Funding Source

Job Address: 200 S 600 E Centerville City

Type of Work : Run 3 sewer service laterals in city streets.

West Warren - 2020 Waterline project - Metering Vault	Apr-21	Jul-21	Awarded Amt	Completed Amt
Owner: West Warren - Warren water improve	Randy Giordano	Phone	\$169,803	\$162,604
Engineer: Wasatch Civil - John Bjerregaard	Point of Contact	Phone		

Funding Source

Job Address: 7740 West 900 South, Warren Utah

Type of Work : Install 8' x 16' x 7' Vault and plumb metering equipment inside the vault

Roy Water - 2020 Water Meter Project	Mar-21	May-21	Awarded Amt	Completed Amt
Owner: Roy Water Conservancy District	Nate Done	801-510-2095	\$135,920	\$132,400
Engineer: Wasatch Civil	Phil Durand	801-510-2097		

Less than one acre disturbed

Funding Source

Job Address: 70% around 5900 South 4600 West, 30% around 4100 South 2675 West, Roy Utah

Type of Work : Installing new radio read water meters on existing secondary services in residential area. 6+/- 1" single meters. 47+/- double meters.

Weber County- Bybee Drive Improvement Project	Mar-21	May-21	Awarded Amt	Completed Amt
Owner: Weber County	Ashley Thoman	801.399.8056	\$78,681	\$123,832
Engineer: Engineer	Gary Myers	801.399.8056		

Weber County  
2380 Washington Blvd Ste 240  
Ogden UT 84401  
[Thoman, Ashley <athoman@co.weber.ut.us>](mailto:athoman@co.weber.ut.us)  
[Myers, Gary <gmyers@co.weber.ut.us>](mailto:gmyers@co.weber.ut.us)

Funding Source

Job Address: Bybee Drive Ogden approx 6550 S 2800 E

Type of Work : 360' x 15 RCP, 330' Curb and gutter, inlet and end section.

WBWCD Secondary Water Metering Project Centerville Project #20	Nov-20	Apr-21	Awarded Amt	Completed Amt
Owner: Weber Basin Water Conservancy Dist	Zack Wolford	801-771-1677	\$1,881,237	\$1,619,888
Engineer: Weber Basin Water Conservancy Dist	Zack Wolford	801-771-1677		

2837 E Highway 193  
Layton UT 84040  
[zwolford@weberbasin.com](mailto:zwolford@weberbasin.com)

Funding Source

Job Address: Large area surrounding 1600 N Main Centerville

Type of Work : Installing new radio read water meters on existing secondary services in residential area. 170+/- 1" single meters. 700+/- double meters. 5+/- 2" and 4".

South Ogden- 675 E Waterline Replacement Project	Sep-20	Dec-20	Awarded Amt	Completed Amt
Owner: South Ogden City	Tim Zampedri	801-940-2248	\$195,549	\$167,161
Engineer: Wasatch Civil Consulting Engineering	Brad Jensen	801-775-9191		

[Brad Jensen <brad@wasatchcivil.com>](mailto:brad@wasatchcivil.com)  
Tim Zampedri  
801-940-2248  
[tzampedri@southogdencity.com](mailto:tzampedri@southogdencity.com)

Funding Source

Job Address: 42nd St to Orchard Ave 675 E South Ogden UT 84303

Type of Work : Type of Work and Notes on Project

Layton- Snow Creek Drive Water Line Replacement Project	Jul-20	Sep-20	Awarded Amt	Completed Amt
Owner: Layton City	Brett Perkins	801-336-3700	\$328,994	\$286,826
Engineer: Layton City Engineering	Stacy Majweski	801-336-3700		

Layton City  
437 N Wasatch Dr  
Layton UT 84041

Funding Source

Job Address: 1300 E to 1475 E Snow Creek Drive Layton  
 Type of Work : 970' x 8" C900 Dr14 Pipe, Gate Valves, Fire Hydrants, Connections. Backfill, Road replacement.

WBW Crestwood Oakwood Maplewood Secondary Pipeline Replace Jul-20 Aug-20  
 Owner: WBWCD Riley Olsen 801-771-1677  
 Engineer: WBWCD Riley Olsen 801-771-1677  
 Funding Source  
 Job Address: Crestwood Oakwood (Approx 5700 S 1275 E) South Ogden UT 84405  
 Type of Work : 3200' x 6" C900 DR-14 pipe. 28 Double and 3 single services with meters.

Awarded Amt	Completed Amt
\$352,263	\$364,767

2837 E Highway 193  
 Layton UT 84040  
[rolsen@weberbasin.com](mailto:rolsen@weberbasin.com)  
 4350' from Weber River

Boyer Company- 530 West Roadway Project BDO Jul-20 Oct-20  
 Owner: Boyer Company Aaron Austad  
 Engineer: Wasatch Civil Consulting Engineer Jory Wahlen 801-775-9191  
 General Staker Parson Company Jeff Davis 801-731-1111  
 Funding Source  
 Job Address: 400 N 530 West Ogden  
 Type of Work : Storm Drain 570' x 15" RCP, 285' x 18" RCP, 475' x 24" RCP, 280' x 36" RCP. Catch Basins, Manholes, Boxes, Misc structures, Removal of 4000' old Storm Drain Pipe.  
 Sewer. 2150' x 8" SDR 35 PVC, 125' x 6" SDR 35 PVC. Manholes, Electrical conduit, Casing.  
 Water & Misc. 2",4", 8" stub assembly, water loop, Fire Hydrants. Imported backfill for all above.

Awarded Amt	Completed Amt
\$632,723	\$807,909

Jeff Davis  
 Staker Parsons  
[Jeff.Davis@stakerparson.com](mailto:Jeff.Davis@stakerparson.com)

Perry- 1200 West South End Water and Sewer Project Apr-20 Jun-20  
 Owner: Perry City Tyler Wagstaff 435-723-6461  
 Engineer: Jones & Associates Brett Jones 801 476 9767  
 Funding Source  
 Job Address: 1200 W 3800 S Perry UT  
 Type of Work : 8" x 1700' Sewer. 10" x 100' Sewer. 8" x 1850' Waterline. Alternate 8" x 1700' Waterline. Include manholes, fire hydrants, fittings, connections, services.

Awarded Amt	Completed Amt
\$221,766	\$228,306

3005 S 1200 W  
 Perry UT 84302

Syracuse- 2020 Road Improvement Project Apr-20 Jul-20  
 Owner: Syracuse City Brian Bloemen 801-825 7235  
 General Staker Parson Company Jeff Davis 801-731-1111  
 Funding Source  
 Job Address: 2000 W 700 S Syracuse  
 Type of Work : 100' x 6" . 1500' x 8" . 4100' x12" . C900 DR14 Pipeline, Connections, Valves, fittings and services.

Awarded Amt	Completed Amt
\$783,611	\$749,970

Jeff Davis  
 Staker Parsons  
[Jeff.Davis@stakerparson.com](mailto:Jeff.Davis@stakerparson.com)

WBW Casa Loma Irrigation Pipeline Replacement Phase I Apr-20 Jul-20  
 Owner: WBWCD Samuel Sorensen 801-771-1677  
 Engineer: WBWCD Samuel Sorensen 801-771-1677  
 Funding Source  
 Job Address: Main - 325 E Casa Loma Dr Centerville  
 Type of Work : 1600' x 6" C900 DR18 Pipeline, Connections, Valves, fittings and services.

Awarded Amt	Completed Amt
\$191,851	\$216,722

Centerville City  
 655 N 1250 W  
 Centerville UT 84014  
[Sam.Sorensen@weberbasin.com](mailto:Sam.Sorensen@weberbasin.com)

Brigham- 2020 Waterway Replacement Project Mar-20 Apr-20  
 Owner: Brigham City Tyler Pugsley 435-230-0422  
 Engineer: Jones & Assoc Brett Jones 801 476 9767  
 Funding Source  
 Job Address: 400 W 300 N Brigham  
 Type of Work : Remove dipstone and install 15" x 70' RCP, catch basins, curb and gutter and asphalt.

Awarded Amt	Completed Amt
\$36,395	\$44,073

20 N Main  
 Brigham, UT 84302  
 Phone: 435-734-8800  
[Jolene.Crockett@brighamcity](mailto:Jolene.Crockett@brighamcity)

Perry- 2020 Water Project 900 West Jul-20 Aug-20  
 Owner: Perry City Tyler Wagstaff 435-723-6461  
 Engineer: Jones & Associates Brett Jones 801 476 9767  
 Funding Source  
 Job Address: 2540 S -2700 S 900 W  
 Type of Work : 1000' x 8" C900 DR14 Pipe, Fire Hydrants, connections, valves, services, replace asphalt, misc other.

Awarded Amt	Completed Amt
\$94,298	\$89,912

3005 S 1200 W  
 Perry UT 84302

Logan Landfill Closure Plan Phase I Renewed yearly Mar-20 Nov-22  
 Owner: Logan City Tyler Richards 435-716-9756  
 Engineer: Logan City Tyler Richards 435-716-9756  
 Funding Source  
 Job Address: 200 N 1400 W Logan  
 Type of Work : Haul 80,000 cubic yards clay material from sewer lagoons and the landfill and place as cover material. This job was extended for several years so obviously coming in well beyond the original contract amount. Replanting and landscape done in the Spring of 2023.

Awarded Amt	Completed Amt
\$455,115	\$2,374,760

Contract renewed yearly

2837 E Highway 193  
 Layton UT 84040  
[bjacobs@weberbasin.com](mailto:bjacobs@weberbasin.com)

WBWCD 800 W West Bountiful Meters Mar-20 May-20  
 Owner: Weber Basin Water Conservancy Dist Zack Wolford 801-771-1677  
 Engineer: Weber Basin Water Conservancy Dist Zack Wolford 801-771-1677  
 Funding Source  
 Job Address: Job Address  
 Type of Work : Installed 41+/- new radio read water meters on existing secondary services in residential area

Awarded Amt	Completed Amt
\$123,932	\$153,915

**Hyrum-- 2013 Water & Storm Drain Improvement Project** Jul-13 Sep-13 **Awarded / Completed Amt**  
**Owner:** Hyrum City D Brent Jensen 435-245-6033 **\$214,500 \$245,461**  
**Engineer:** Aqua Engineeri Darin Hawkes 801-299-1327  
**Job Address:** 1350 Hyrum Blvd  
**Type of Work :** 2100' x 14" DIP in city streets. Connections, fittings street reapiir, and etc. Install 2

**Hyrum--200 E 8" Water** 5/2003 09/2003 **\$53,485 \$174,316**  
**Owner** Hyrum City D Brent Jensen  
**Engineer** Bush & Gudgell Johnny Probasco 801-364-1212  
**Job Address** 200 E Main to 100 N Hyrum  
**Type of Work** Culinary Water Line. This job grew at the cities request to also include secondary and storm drain.

**Hyrum--800 E St Add to Preassure Irrigation 6200 S to 30 08/2001** **\$98,886 \$112,189**  
**Owner** Hyrum City  
**Engineer** Bush & Gudgell, Inc. 801-364-1212  
**Job Address** Hyrum City  
**Type of Work** Sec Water

**BID FORM**

**900 West Improvement Project**

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and within the times required, and in accordance with the other terms and conditions of the Bidding Documents.

- G. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
- H. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and confirms that the written resolution thereof by Engineer is acceptable to Bidder.
- I. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance and furnishing of the Work.
- J. The submission of this Bid constitutes an incontrovertible representation by Bidder that Bidder has complied with every requirement of this Article, and that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

#### ARTICLE 4 – BIDDER’S CERTIFICATION

##### 4.01 Bidder certifies that:

- A. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation;
- B. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid;
- C. Bidder has not solicited or induced any individual or entity to refrain from bidding; and
- D. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 4.01.D:
  - 1. “corrupt practice” means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process;
  - 2. “fraudulent practice” means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition;
  - 3. “collusive practice” means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels; and
  - 4. “coercive practice” means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

**ARTICLE 5 – BASIS OF BID**

- 5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):
- A. Unit Prices have been computed in accordance with paragraph 13.03 of the General Conditions.
  - B. All overhead, mobilization, insurance, bonding, etc..., shall be included in the total price.

**BID SCHEDULE**  
**Hyrum City Corporation**  
**900 WEST WATER & POWER IMPROVEMENT PROJECTS**

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>General/Administrative/Management</b>					
G1-1	Mobilization	LS	1	75,444.30	75,444.30
G1-2	Survey: Construction Staking	LS	1	7,629.10	7,629.10
G1-3	Site Work Including Clearing and Grubbing	SF	10,000	1.51	15,100.00
G1-4	Traffic Control Plan and Implementation	LS	1	31,186.22	31,186.22
<b>General Sub-total of Unit Price Bid Items:</b>					<b>129,359.62</b>
<b>SCHEDULE 1</b>					
<b>Potable Waterline</b>					
S1-P1	Furnish and Install 10" PVC C900 Water Pipeline and Appurtenances	LF	2,300	73.18	168,314.00
S1-P2	Furnish and Install 8" PVC C900 Water Pipeline and Appurtenances	LF	12	160.64	1,927.68
S1-P3	Furnish and Install 10"x10"x10" Tee and Appurtenances	EA	1	3,070.50	3,070.50
S1-P4	Furnish and Install 10"x8"x10" Tee and Appurtenances	EA	1	2,891.80	2,891.80
S1-P5	Furnish and Install 10" Gate Valve	EA	4	5,355.38	21,421.52

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
S1-P6	Furnish and Install 8" Gate Valve	EA	1	2,359.21	2,359.21
S1-P7	Furnish and Install Fire Hydrant	EA	2	9,395.30	18,790.60
S1-P8	Furnish and Install 10" 45-degree bend	EA	4	3,629.08	14,516.32
S1-P9	Furnish and Install 10"x6" reducer	EA	1	1,693.87	1,693.87
S1-P10	Furnish and Install Pipe Bedding Material (sand) and Compaction	CY	450	28.02	12,609.00
S1-P11	Flush and Hydrostatic Pressure Test	LS	1	3,967.56	3,967.56
<b>Buried Electrical Conduit</b>					
S1-E1	Install (Owner Furnished) 3" PVC SCH40 Conduits (3 conduits per trench)	LF	2,300	8.94	20,562.00
S1-E2	Install (Owner Furnished) 2'x6' Fiberglass Electrical Junction Boxes	EA	6	476.09	2,856.54
<b>Roadway Repair/Asphalt</b>					
S1-R1	Mill and dispose of 3-inch thick asphalt roadway	SF	6,000	0.42	2,520.00
S1-R2	Trench removal and disposal	CY	3,500	24.33	85,155.00
S1-R3	Furnish, place and compact imported select backfill (Engineered Fill)	CY	2,500	34.40	86,000.00
S1-R4	Asphalt Paving: Trench repair and 500 North Intersection reconstruct. 4-inch thick 1/2" 58-28 APWA roadway section with 8-inch compacted roadbase	SF	15,000	4.63	69,450.00
S1-R5	Ribbon Curb (southeast corner of 500 N intersection)	LF	75	80.31	6,023.25
<b>Sub-total Schedule 1 Unit Price Bid Items:</b>					<b>524,128.85</b>

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 2</b>					
<b>Pressurized Irrigation Waterline</b>					
S2-P1	Install (Owner Furnished) 16" PVC C900 Irrigation Pipeline and Appurtenances	LF	120	98.02	11,762.40
S2-P2	Install (Owner Furnished) 16" Butterfly Valves with Appurtenances	EA	3	1,058.79	3,176.37
S2-P3	Install (Owner Furnished) 16"x16"x16" Tee and Appurtenances	EA	1	1,540.29	1,540.29
S2-P4	Furnish and Install 2" Tapping Sleeve and Drain Line to Irrigation Ditch Manhole (apx. 10')	LS	1	3,363.07	3,363.07
S2-P5	Furnish and Install 16"x14" Reducer(s)	EA	2	2,552.58	5,105.76
S2-P6	Furnish and Install 16" Cap	EA	1	2,284.40	2,284.40
<b>Irrigation Ditch Extension and Headwall</b>					
S2-H1	Furnish and Install Precast 5' manhole with cast iron ring and cover. Reconnect existing storm drain/irrigation lines, including inlet, connections and appurtenances	EA	2	6,826.11	13,652.22
S2-H2	Furnish and Install 36" N-12 Irrigation Pipeline Extension with Pipe Collar	LF	10	242.87	2,428.70
S2-H3	Furnish and Install 24" N-12 Irrigation Pipeline with connections to manhole(s) and headwall	LF	40	108.41	4,336.40
S2-H4	Furnish and Install Concrete Irrigation Headwall with 24" Waterman C-10 Canal Gate and Appurtenances	LS	1	33,095.30	33,095.30
<b>Sub-total Schedule 2 Unit Price Bid Items:</b>					<b>80,744.91</b>

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 3</b>					
S3-J1	Excavation of Launch Pit and Retrieval Pit for Jacking and Boring Procedure – including shoring and dewatering	LS	1	98,440.00	98,440.00
S3-J2	Jacking & Boring Waterline Casing (24" diameter for the 10" waterline)	LF	90	1,311.34	118,020.60
S3-J3	Jacking & Boring Powerline Casing (24" diameter for the four electrical conduits)	LF	90	1,311.34	118,020.60
S3-J4	Furnish and Install Casing seals at end of casing	EA	4	535.00	2,140.00
S3-J5	UPRR Track monitoring per UPRR	LS	1	24,610.00	24,610.00
S3-J6	UPRR Observation & Inspection Rqmt's	LS	1	74,900.00	74,900.00
<b>Sub-total Schedule 3 Unit Price Bid Items:</b>					<b>436,131.20</b>

**SUMMARY:**

Sub-total Bid Price – GENERAL	129,359.62
Sub-total Bid Price – SCHEDULE 1	524,128.85
Sub-total Bid Price – SCHEDULE 2	80,744.91
Sub-total Bid Price – SCHEDULE 3	436,131.20
<b>TOTAL BID (General plus SCHEDULES 1,2, &amp; 3):</b>	<b>\$1,170,364.58</b>
<b>TOTAL BID AMOUNT (written):</b>	<i>one million one hundred seventy thousand three hundred sixty-four and fifty eight cents</i>

The Contractor must complete all listed bid items to be considered responsive.

- 5.02 The Owner reserves the right to award the job based upon the total of any combination of or all bid items listed above in the bid schedule based upon budgetary constraints set forth for this project.

- 5.03 Bids will be evaluated using items the Owner has selected for Award.
- 5.04 Bidder acknowledges that estimated quantities are not guaranteed and are solely for the purpose of comparison of Bids, and final payment for all bid items will be based on actual quantities, determined as provided in the contract documents.
- 5.05 Refer to Section 011500 (Measurement and Payment) of the Technical Specifications and the design drawings for information on the individual bid items provided in the schedule.

**ARTICLE 6 – TIME OF COMPLETION**

- 6.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement. However, the issuance of a Notice to Proceed for Schedules 2 and 3 will necessitate a negotiation for substantial and final completion dates for those Schedules if they are not awarded at the anticipated Contract Award date.
- 6.02 Bidder accepts the provisions of the Agreement as to liquidated damages.
- 6.03 The tentative project schedule is provided below. If Bidder cannot meet the project milestones provided, please provide a modified project schedule in the space provided. Time is of the essence and the Owner reserves the right to award the project based on Bidders ability to meet the project schedule.

DATE	PROJECT MILESTONE	MODIFIED DATE / COMMENTS
May 16, 2025	Contract Award and Document Processing	<i>None</i>
May 30, 2025	Mobilize construction crew and begin construction on Bid Items	<i>None</i>
November 1, 2025	Bid Item Substantial Completion	<i>None</i>
November 26, 2025	Project Final Completion	<i>None</i>

**ARTICLE 7 – ATTACHMENTS TO THIS BID**

- 7.01 The following documents are submitted with and made a condition of this Bid:
  - A. This Bid Form (Section 00410), completed and signed where indicated, including acknowledgement of all addenda issued for this project.
  - B. List of Proposed Subcontractors (Section 00420);
  - C. List of Proposed Suppliers (Section 00425);
  - D. Required Bid security (Section 00430);
  - E. Required Bidder Qualification Statement with supporting data (Section 00451);

- F. E-Verify Affidavit (Section 00460);
- G. List of Project References;
- H. Evidence of authority to do business in the state of the Project; or a written covenant to obtain such license within the time for acceptance of Bids; and
- I. Contractor's Utah License No.: 724 1778-9501

**FAILURE TO PROVIDE ALL ITEMS IN THIS ARTICLE WILL RESULT IN REJECTION OF THE BID.**

**ARTICLE 8 – DEFINED TERMS**

- 8.01 The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 9 – BID SUBMITTAL

BIDDER: [Indicate correct name of bidding entity]

KELLOGG COMPANIES LLC DBA LEBRAND JOHNSON CONST.

By:

[Signature]

*[Handwritten Signature]*

[Printed name]

RYAN LEISHMAN

(If Bidder is a corporation, a limited liability company, a partnership, or a joint venture, attach evidence of authority to sign.)

Attest:

[Signature]

*[Handwritten Signature]*

[Printed name]

CLINT WADSWORTH

Title:

AREA MANAGER

Submittal Date:

5/6/2025

Address for giving notices:

1000 S. WILSON LOGAN, UT. 84321

Telephone Number:

435-752-2000

Fax Number:

Contact Name and e-mail address:

RYAN LEISHMAN

RYAN.LEISHMAN@LJCL.COM

Bidder's License No.:

7741778 - 5501

(where applicable)

NOTE TO USER: Use in those states or other jurisdictions where applicable or required.

**LIST OF SUBCONTRACTORS**

Each BIDDER shall list below the name of each subcontractor who will provide labor or a portion of the work or improvement to the contractor for which he will be paid an amount exceeding 5 percent of the prime contractor's total bid.

Work to be Performed	% of Total Contract	Subcontractors Name, Address & License Number
1. TRAFFIC CONTROL	1%	TRAFFIC SERVICES
2. SAW CUTTING	15%	CACHE VALLEY CONCRETE CUTTING
3. BORINGS	20%	IBT CONSTRUCTION
4. ATAC CONCRETE	15%	ATAC CONSTRUCTION
5. CONCRETE	1%	TEM JENSEN
6.		
7.		
8.		
9.		
10.		

**Note: Additional numbered pages may be attached if necessary.**

### MAJOR MATERIAL SUPPLIERS

The BIDDER shall indicate opposite each item of equipment or material listed below the name of the manufacturer or supplier of the equipment or material proposed to be furnished under the BID.

Equipment / Material	Manufacturer/Supplier Name & Address
1. FERGUSON	PIPE SUPPLIER
2. PEAR	PT ASPHALT
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

**Note: Additional numbered pages may be attached if necessary.**

# BID BOND

Any singular reference to Bidder, Surety, Owner or other party shall be considered plural where applicable.

**BIDDER (Name and Address):**

Kilgore Companies , LLC  
 PO Box 869  
 Magna, UT 84044

**SURETY (Name, and Address of Principal Place of Business):**

Western Surety Company  
 151 N. Franklin Street, 17th Floor  
 Chicago, IL 60606

**OWNER (Name and Address):**

Hyrum City Corp.  
 60 West Main Street  
 Hyrum, UT 84319

**BID**

Bid Due Date: 05/07/2025

Description (Project Name— Include Location):

Project: 900 West Water and Power Improvements Project

**BOND**

Bond Number: Bid Bond: SM139

Date: 05/02/2025

Penal sum	Five Percent of Bid Amount	\$ 5% of Bid Amount
	(Words)	(Figures)

Surety and Bidder, intending to be legally bound hereby, subject to the terms set forth below, do each cause this Bid Bond to be duly executed by an authorized officer, agent, or representative.

<b>BIDDER</b>		<b>SURETY</b>
Kilgore Companies , LLC	(Seal)	Western Surety Company
Bidder's Name and Corporate Seal		Surety's Name and Corporate Seal

By:   
 Signature

CLINT L. ADSWORTH  
 Print Name

AREA MANAGER  
 Title

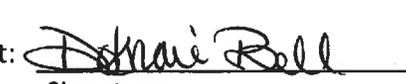
By:   
 Signature (Attach Power of Attorney)

LaToya Cotton Robinson  
 Print Name

Attorney-In-Fact  
 Title

Attest:   
 Signature

Title ESTIMATOR / PROJECT MANAGER

Attest:   
 Signature

Title Assistant Account Manager

Note: Addresses are to be used for giving any required notice.  
 Provide execution by any additional parties, such as joint venturers, if necessary.

1. Bidder and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors, and assigns to pay to Owner upon default of Bidder the penal sum set forth on the face of this Bond. Payment of the penal sum is the extent of Bidder's and Surety's liability. Recovery of such penal sum under the terms of this Bond shall be Owner's sole and exclusive remedy upon default of Bidder.
2. Default of Bidder shall occur upon the failure of Bidder to deliver within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents.
3. This obligation shall be null and void if:
  - 3.1 Owner accepts Bidder's Bid and Bidder delivers within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents, or
  - 3.2 All Bids are rejected by Owner, or
  - 3.3 Owner fails to issue a Notice of Award to Bidder within the time specified in the Bidding Documents (or any extension thereof agreed to in writing by Bidder and, if applicable, consented to by Surety when required by Paragraph 5 hereof).
4. Payment under this Bond will be due and payable upon default of Bidder and within 30 calendar days after receipt by Bidder and Surety of written notice of default from Owner, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.
5. Surety waives notice of any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by Owner and Bidder, provided that the total time for issuing Notice of Award including extensions shall not in the aggregate exceed 120 days from the Bid due date without Surety's written consent.
6. No suit or action shall be commenced under this Bond prior to 30 calendar days after the notice of default required in Paragraph 4 above is received by Bidder and Surety and in no case later than one year after the Bid due date.
7. Any suit or action under this Bond shall be commenced only in a court of competent jurisdiction located in the state in which the Project is located.
8. Notices required hereunder shall be in writing and sent to Bidder and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier, or by United States Registered or Certified Mail, return receipt requested, postage pre-paid, and shall be deemed to be effective upon receipt by the party concerned.
9. Surety shall cause to be attached to this Bond a current and effective Power of Attorney evidencing the authority of the officer, agent, or representative who executed this Bond on behalf of Surety to execute, seal, and deliver such Bond and bind the Surety thereby.
10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond shall be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute shall govern and the remainder of this Bond that is not in conflict therewith shall continue in full force and effect.
11. The term "Bid" as used herein includes a Bid, offer, or proposal as applicable.

# Western Surety Company

## POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

**Know All Men By These Presents**, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

**Christopher Michael Owens, John E Genet, Jeffrey McCart, Stephen R Adkins, LaToya Cotton Robinson, Individually**

of Duluth, GA, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

**- In Unlimited Amounts -**

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the Authorizing By-Laws and Resolutions printed at the bottom of this page, duly adopted, as indicated, by the shareholders of the corporation.

**In Witness Whereof**, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 14th day of March, 2025.



WESTERN SURETY COMPANY

Larry Kasten, Vice President

State of South Dakota }  
County of Minnehaha } ss

On this 14th day of March, 2025, before me personally came Larry Kasten, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is a Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires

March 2, 2026



M. Bent, Notary Public

### CERTIFICATE

I, Paula Kolsrud, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Laws and Resolutions of the corporation printed below this certificate are still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this 2nd day of May, 2025 .



WESTERN SURETY COMPANY

Paula Kolsrud, Assistant Secretary

### Authorizing By-Laws and Resolutions

#### ADOPTED BY THE SHAREHOLDERS OF WESTERN SURETY COMPANY

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the shareholders of the Company.

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, and Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

This Power of Attorney is signed by Larry Kasten, Vice President, who has been authorized pursuant to the above Bylaw to execute power of attorneys on behalf of Western Surety Company.

This Power of Attorney may be signed by digital signature and sealed by a digital or otherwise electronic-formatted corporate seal under and by the authority of the following Resolution adopted by the Board of Directors of the Company by unanimous written consent dated the 27<sup>th</sup> day of April, 2022:

“RESOLVED: That it is in the best interest of the Company to periodically ratify and confirm any corporate documents signed by digital signatures and to ratify and confirm the use of a digital or otherwise electronic-formatted corporate seal, each to be considered the act and deed of the Company.”

Go to [www.cnasurety.com](http://www.cnasurety.com) > Owner / Obligor Services > Validate Bond Coverage, if you want to verify bond authenticity.

### QUALIFICATIONS STATEMENT

THE INFORMATION SUPPLIED IN THIS DOCUMENT IS CONFIDENTIAL TO THE EXTENT PERMITTED BY LAWS AND REGULATIONS

**1. SUBMITTED BY:**

Official Name of Firm: KELLOGG COMPANIES DBA LELGRAND JOHNSON CONST.

Address: 1000 S. MAIN LOGAN, UT. 84321

**2. SUBMITTED TO:**

HYRUM CITY

**3. SUBMITTED FOR:**

900 WEST WATER AND POWER IMPROVEMENTS

Owner:

Project Name:

**TYPE OF WORK:**

PEPE WORK, PAVING

**4. CONTRACTOR'S CONTACT INFORMATION**

Contact Person: RYAN LEISHMAN

Title: PROJECT MANAGER

Phone: 435-994-2833

Email: RYAN.LEISHMAN@LJCL.COM

5. **AFFILIATED COMPANIES:**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. **TYPE OF ORGANIZATION:**

SOLE PROPRIETORSHIP

Name of Owner: \_\_\_\_\_  
Doing Business As: \_\_\_\_\_  
Date of Organization: \_\_\_\_\_

PARTNERSHIP

Date of Organization: \_\_\_\_\_  
Type of Partnership: \_\_\_\_\_  
Name of General Partner(s): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CORPORATION

State of Organization: \_\_\_\_\_  
Date of Organization: \_\_\_\_\_  
Executive Officers:  
- President: \_\_\_\_\_  
- Vice President(s): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
- Treasurer: \_\_\_\_\_  
- Secretary: \_\_\_\_\_

LIMITED LIABILITY COMPANY

State of Organization:

UTAH

Date of Organization:

Please call 435-787-6023

Members:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

JOINT VENTURE

Sate of Organization:

\_\_\_\_\_

Date of Organization:

\_\_\_\_\_

Form of Organization:

\_\_\_\_\_

Joint Venture Managing Partner

- Name:

\_\_\_\_\_

- Address:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Joint Venture Managing Partner

- Name:

\_\_\_\_\_

- Address:

\_\_\_\_\_  
\_\_\_\_\_

Joint Venture Managing Partner

- Name:

\_\_\_\_\_

- Address:

\_\_\_\_\_  
\_\_\_\_\_

7. LICENSING

Jurisdiction: UTAH

Type of License: CONTRACTORS LICENSE

License Number: 7741778-5501

Jurisdiction: \_\_\_\_\_

Type of License: \_\_\_\_\_

License Number: \_\_\_\_\_

8. CERTIFICATIONS

CERTIFIED BY:

Disadvantage Business Enterprise: \_\_\_\_\_

Minority Business Enterprise: \_\_\_\_\_

Woman Owned Enterprise: \_\_\_\_\_

Small Business Enterprise: \_\_\_\_\_

Other ( \_\_\_\_\_ ): \_\_\_\_\_

9. BONDING INFORMATION

Bonding Company: WESTERN SURETY COMPANY

Address: 151 N. FRANKLIN STREET, 17TH FLOOR  
CHICAGO, IL 60606

Bonding Agent: LATOYA COTTON ROBINSON

Address: " " SEE ABOVE

Contact Name: " " SEE ABOVE

Phone: " " SEE ABOVE

Aggregate Bonding Capacity: 400 MILLION +

Available Bonding Capacity as of date of this submittal: \_\_\_\_\_

**10. FINANCIAL INFORMATION**

Financial Institution: Bank of America  
PLEASE CALL 435-787-6023

Address: PO Box 15019  
Wilmington, DE 19850-5019

Account Manager: Brian Thomas Moynihan

Phone: 1-800-432-1000

**11. CONSTRUCTION EXPERIENCE:**

Current Experience:

List on **Schedule A** all uncompleted projects currently under contract (If Joint Venture list each participant's projects separately). *see attached*

Previous Experience:

List on **Schedule B** all projects completed within the last 5 Years (If Joint Venture list each participant's projects separately). *see attached*

Has firm listed in Section 1 ever failed to complete a construction contract awarded to it?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

Has any Corporate Officer, Partner, Joint Venture participant or Proprietor ever failed to complete a construction contract awarded to them in their name or when acting as a principal of another entity?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

Are there any judgments, claims, disputes or litigation pending or outstanding involving the firm listed in Section 1 or any of its officers (or any of its partners if a partnership or any of the individual entities if a joint venture)?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

**12. EQUIPMENT:**

**MAJOR EQUIPMENT:**

List on **Schedule C** all pieces of major equipment available for use on Owner's Project.



## CONTRACTOR QUALIFICATION FORM

(List similar projects by the contractor over the past three (3) years)

Name/Date of Project	Dollar Amount of Project	Owner Reference (Name and Tele No.)	Involvement or Role in Project	Completion	
				On Time	Within Budget
Scenic Mountain Development	\$1,443,335.39	Green Haven Homes (Ken Coleman 801-875-5363)	General	Yes	Yes
USU Parking Lot Remodel	\$193,512.00	Raymond Construction (Doug Raymond - 435-752-2911)	Sub-Contractor	Yes	Yes
Wildercrest Subdivision Phase 2B	\$345,534.02	Lifestyle Homes (Beth Larchar 801-885-4150)	Sub-Contractor	Yes	Yes
Logan Corridor Subdivision	\$157,197.60	Rupp Trucking (Jared Lish 435-257-7333)	Sub-Contractor	Yes	Yes
Quayle Hollow Subdivision	\$762,648.63	Champlin Homes LLC (Nic Porter 435-244-0881)	Sub-Contractor	Yes	Yes
Cache County Operations Center Administration Building	\$435,369.66	Lundahl Building Systems Inc. (435-753-0888)	Sub-Contractor	Yes	Yes
Cache Pines and Logan Pines	\$389,140.11	Cache Pines Owner Association (Bret Rigby 435-213-9334)	General	Yes	Yes
Western Dairy Transport	\$377,935.00	Raymond Construction (Doug Raymond - 435-752-2911)	Sub-Contractor	Yes	Yes
400 South Street Improvement	\$494,129.13	City of River Heights (Forsgren & Associates - Craig Rasmussen 435-227-0333)	General	Yes	Yes
1400 North at 600 West Intersection Improvement	\$6,576,204.85	City of Logan (Tom Dickenson 435-716-9168)	General	Yes	Yes
400 N Widening Ph 1	\$954,698.58	City of Wellsville (Scott Wells 435-245-7958)	General	Yes	Yes

Providence City Streets 2021	\$1,262,278.99	City of Providence (Beau Peterson - Sunrise Engineering 435-213-4453)	General	Yes	Yes
Wesley Nelson Farms Roadway	\$1,441,012.00	Nibley Development LLC	General	Yes	Yes
US-89 Bear Lake Marina	\$2,205,898.00	UDOT	General	Yes	Yes
Hyrum City Streets 2021	\$345,807.00	Hyrum City	General	Yes	Yes
Nibley 3200 S 1200 W Roundabout	\$2,674,171.24	Nibley City (Darren Farar - 435-255-7078)	General	Yes	Yes
Nibley LG0004, LG0012, and FL136 Project	\$1,974,767.00	Flare Construction (Jeremy Richins - 801-244-8014)	Sub-Contractor	Yes	Yes
Wellsville City Streets - 2022	\$75,017.35	City of Wellsville (Scott Wells 435-245-7958)	General	yes	yes
100 West Corridor (City of Logan)	\$9,065,207.85	J-U-B Engineers (Paul Willardson 435-713-9514)	General	Yes	Yes
1800 N 600 W Road Reconstruction (City of Logan)	\$6,098,155.30	City of Logan (Tom Dickenson 435-716-9168)	General	Yes	Yes
1400 North 600 West Work in UPRR ROW	\$391,714.87	City of Logan (Darek Kimball 435-770-0914)	General	Yes	Yes
Chain Up area on US-91 in Sardine Canyon	\$241,378.46	UDOT	General	yes	Yes
US-91, 3200 S, 2000 W Intersection Realignment	\$2,935,660.96	UDOT	General	yes	yes
200 West Street (Center to 200 South) & South Main Street	\$250,930.90	Mendon City	General	yes	yes
Wellsville City Streets - 2023	\$189,937.36	City of Wellsville (Scott Wells 435-245-7958)	General	yes	yes
Craner Field Paving Project	\$366,026.58	City of Preston, ID (Tyrell Simpson 208-852-1817)	General	yes	yes
Logan Library	\$878,355.00	Hogan & Associates	Sub-Contractor	yes	yes
1000 North Improvements; 250 West to 50 East	\$9,501,047.53	City of Logan (Darek Kimball 435-770-0914)	General	Current	Current
Smithfield, 250 East Round-About	\$1,205,135.28	Utah Department of Transportation	General	yes	yes
Blackstone Headquarters	\$2,219,049.14	R & O Construction	Sub-Contractor	Current	Current
Cache County Administration Building Storm Drain	\$231,030.00	Cache County (Jesse Mott)	General	yes	yes
SR-30; SR-252 to US-91	\$1,446,326.89	Utah Department of Transportation	General	Current	Current

US-89; Beaver Creek to Rich County	\$2,127,974.65	Utah Department of Transportation	General	Current	Current
UDOT SR-39; MP 19.36, Construct Roundabout	\$271,213.20	ACME Construction (Christian Cano)	Sub-Contractor	Current	Current
South Canyon Pipeline (Cache County)	\$83,087.30	Geneva Rock (Tom Hall)	Sub-Contractor	Current	Current
Logan Canyon Fiber Options Phase 3 (UDOT)	\$2,286,758.80	Americom Technology (Saxon)	Sub-Contractor	Current	Current
Deer Canyon Trailhead	\$500,564.00	Cache County (Jesse Mott)	General	Current	Current

I HEREBY CERTIFY THAT THE INFORMATION SUBMITTED HERewith, INCLUDING ANY ATTACHMENTS, IS TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME OF ORGANIZATION: LEBRAND JOHNSON CONST.  
BY: [Signature]  
TITLE: PROJECT MANAGER  
DATED: 5/7/2025

NOTARY ATTEST:

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 7th DAY OF May, 2025

NOTARY PUBLIC - STATE OF Utah  
MY COMMISSION EXPIRES: 1/16/2029

REQUIRED ATTACHMENTS

1. Schedule A (Current Experience).
2. Schedule B (Previous Experience).
3. Schedule C (Major Equipment).
4. Evidence of authority for individuals listed in Section 7 to bind organization to an agreement.
5. Resumes of officers and key individuals (including Safety Officer) of firm named in Section 1.
7. Additional items as pertinent.

E-VERIFY  
STATUS VERIFICATION SYSTEM AFFIDAVIT

PART 1 - GENERAL

1.01 CONTRACTOR

- A. Name: LEGRAND JOHNSON CONSTRUCTION
- B. Address: 1000 S. MAIN LOAN, UT. 84321
- C. Telephone: 435-752-2000
- D. Fax: \_\_\_\_\_

1.02 OWNER

- A. The name of the OWNER is Hyrum City

1.03 CONSTRUCTION CONTRACT

- A. The CONSTRUCTION CONTRACT is known as  
900 West Water & Power Improvement Projects

PART 2 - REQUIREMENTS

2.01 REGISTRATION AND PARTICIPATION

- A. Bidder has completed the E-Verify registration process and is in compliance with the requirements of Utah Code Section 63G-11-103.
- B. Bidder will require affidavits of registration and participation by any subcontractor who works under the terms of the Contract Documents.

PART 3 - EXECUTION

3.01 CONTRACTOR'S SUBSCRIPTION AND ACKNOWLEDGMENT

- A. Contractor's Signature: 
- B. Please print name here: RYAN LEISHMAN
- C. Title: PROJECT MANAGER
- D. CONTRACTOR'S Utah license number: 774-1778-5501

**Acknowledgement**

State of Utah )  
County of Cache ) ss.

The foregoing instrument was acknowledged before me this: May 7<sup>th</sup>, 2025

By Ryan Leishman  
(person acknowledging and title or representative capacity, if any)

Emily Johnson  
Notary's Signature

Hiram, UT  
Residing at

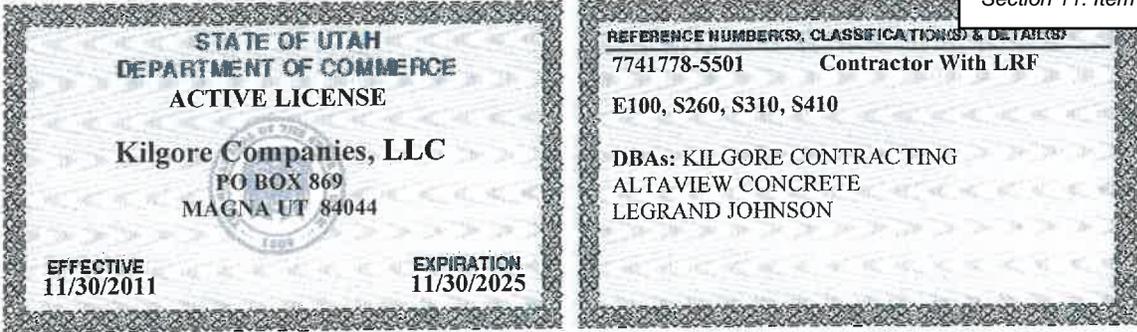
1/16/29  
My commission expires



NOTARY PUBLIC  
EMILY JOHNSON  
By Commission # 781028  
My Commission Expires  
January 16, 2029  
STATE OF UTAH

Notary's Seal

- END OF DOCUMENT -



**IMPORTANT LICENSURE REMINDERS:**

- Your license is valid until the expiration date listed on this form.
- Please note the address listed below. This is your public address of record for the division, and all future correspondence from the division will be mailed to this address. If you move, it is your responsibility to notify us directly of the change. Maintaining your current address with us is the easiest way to ensure continuous licensure.
- This license has been issued to the business entity. Any change in the license’s original entity structure requires a new license (i.e. DBA to a Corporation, etc.). Please contact the division before you make such changes.

KILGORE COMPANIES, LLC  
 PO BOX 869  
 MAGNA UT 84044

Please visit our web site at [www.dopl.utah.gov](http://www.dopl.utah.gov) should you have any questions in the future.





# LeGrand Johnson Construction Co.

1000 SOUTH MAIN, LOGAN, UTAH 84321 PHONE (435) 752-2000 FAX (435) 752-2968

January 13, 2021

To Whom It May Concern:

Please be advised that as per the contract specifications and documents. I give legal authority for Clint Wadsworth, Kilgore Contracting, DBA LeGrand Johnson Construction Company, Area Construction Manager, authority to sign all bidding and contract documents for and in behalf of LeGrand Johnson Construction Company.

Please Let me know if you have any questions or concerns.

Sincerely,

Tim Nevenner

Chief Operations Officer

Kilgore Contracting 7057 West 2100 South

Salt Lake City, Utah 84128

801-250-0132

[Tim.nevenner@kilgorecontracting.com](mailto:Tim.nevenner@kilgorecontracting.com)



PENAL SUM FORM

BID BOND

Any singular reference to Bidder, Surety, Owner or other party shall be considered plural where applicable.

BIDDER (Name and Address):  
Cache Valley Excavation, LLC  
228 N 100 E Smithfield, UT 84335

SURETY (Name, and Address of Principal Place of Business):  
NGM Insurance Company  
55 West Street Keene, NH 03431

OWNER (Name and Address):  
\*Hyrum City Corp.  
60 West Main Street Hyrum, UT 84319

BID  
Bid Due Date: 5/07/2025  
Description (Project Name— Include Location):  
Hyrum City 900 west Water & Power Improvement Projects

BOND  
Bond Number: HC000130  
Date: 5/05/2025  
Penal sum Five Percent of Amount Bid \$ (5% Amount of Bid)  
(Words) (Figures)

Surety and Bidder, intending to be legally bound hereby, subject to the terms set forth below, do each cause this Bid Bond to be duly executed by an authorized officer, agent, or representative.

BIDDER Cache Valley Excavation, LLC (Seal) SURETY NGM Insurance Company (Seal)  
Bidder's Name and Corporate Seal Surety's Name and Corporate Seal

By: [Signature]  
Signature  
Shane Geary  
Print Name  
Managing Member  
Title

By: [Signature]  
Signature (Attach Power of Attorney)  
Troy Staples  
Print Name  
Attorney-in-Fact  
Title

Attest: [Signature]  
Signature  
Witness  
Title

Attest: [Signature]  
Signature  
Witness  
Title

Note: Addresses are to be used for giving any required notice.  
Provide execution by any additional parties, such as joint venturers, if necessary.



## PENAL SUM FORM

1. Bidder and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors, and assigns to pay to Owner upon default of Bidder the penal sum set forth on the face of this Bond. Payment of the penal sum is the extent of Bidder's and Surety's liability. Recovery of such penal sum under the terms of this Bond shall be Owner's sole and exclusive remedy upon default of Bidder.
2. Default of Bidder shall occur upon the failure of Bidder to deliver within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents.
3. This obligation shall be null and void if:
  - 3.1 Owner accepts Bidder's Bid and Bidder delivers within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents, or
  - 3.2 All Bids are rejected by Owner, or
  - 3.3 Owner fails to issue a Notice of Award to Bidder within the time specified in the Bidding Documents (or any extension thereof agreed to in writing by Bidder and, if applicable, consented to by Surety when required by Paragraph 5 hereof).
4. Payment under this Bond will be due and payable upon default of Bidder and within 30 calendar days after receipt by Bidder and Surety of written notice of default from Owner, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.
5. Surety waives notice of any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by Owner and Bidder, provided that the total time for issuing Notice of Award including extensions shall not in the aggregate exceed 120 days from the Bid due date without Surety's written consent.
6. No suit or action shall be commenced under this Bond prior to 30 calendar days after the notice of default required in Paragraph 4 above is received by Bidder and Surety and in no case later than one year after the Bid due date.
7. Any suit or action under this Bond shall be commenced only in a court of competent jurisdiction located in the state in which the Project is located.
8. Notices required hereunder shall be in writing and sent to Bidder and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier, or by United States Registered or Certified Mail, return receipt requested, postage pre-paid, and shall be deemed to be effective upon receipt by the party concerned.
9. Surety shall cause to be attached to this Bond a current and effective Power of Attorney evidencing the authority of the officer, agent, or representative who executed this Bond on behalf of Surety to execute, seal, and deliver such Bond and bind the Surety thereby.
10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond shall be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute shall govern and the remainder of this Bond that is not in conflict therewith shall continue in full force and effect.
11. The term "Bid" as used herein includes a Bid, offer, or proposal as applicable.



NOTARY PUBLIC  
KATELYN MASON  
COMM. # 734671  
MY COMMISSION EXPIRES  
DECEMBER 15, 2027  
STATE OF UTAH

### ACKNOWLEDGMENT OF PRINCIPAL (Individual)

State of Utah )  
County of Cache )

On this 6<sup>th</sup> day of May, in the year 2025, before me personally come(s) Shane Geary, to me known and known to me to be the person(s) who (is) (are) described in and executed the foregoing instrument and acknowledge(s) to me that he/she executed the same.

Katelyn Mason  
Notary Public

### ACKNOWLEDGMENT OF PRINCIPAL (Partnership)

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, in the year \_\_\_\_\_, before me personally come(s) \_\_\_\_\_, a member of the co-partnership of \_\_\_\_\_ to me known and known to me to be the person who is described in and executed the foregoing instrument and acknowledges to me that he/she executed the same as for the act and deed of the said co-partnership.

\_\_\_\_\_  
Notary Public

### ACKNOWLEDGMENT OF PRINCIPAL (Corporation)

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, in the year \_\_\_\_\_, before me personally come(s) \_\_\_\_\_, to me known, who, being duly sworn, deposes and says that he/she is the \_\_\_\_\_ of the \_\_\_\_\_ the corporation described in and which executed the foregoing instrument; that he/she knows the seal of the said corporation; the seal affixed to the said instrument is such corporate seal; that it was so affixed by the order of the Board of Directors of said corporation, and that he/she signed his/her name thereto by like order.

\_\_\_\_\_  
Notary Public

### ACKNOWLEDGMENT OF SURETY

State of Minnesota )  
County of Dakota )

On this 5<sup>th</sup> day of May, in the year 2025, before me personally come(s) Troy Staples, Attorney(s)-in-Fact of NGM Insurance Company with whom I am personally acquainted, and who, being by me duly sworn, says that he/she is (are) the Attorney(s)-in-Fact of NGM Insurance Company company described in and which executed the within instrument; that he/she know(s) the corporate seal of such company; and that seal affixed to the within instrument is such corporate seal and that it was affixed by order of the Board of Directors of said company, and that he/she signed said instrument as Attorney(s)-in-Fact of the said company by like order.



Haekyong Kim  
Notary Public



POWER OF ATTORNEY

KNOW ALL PARTIES BY THESE PRESENTS: That NGM Insurance Company, a Florida corporation having its principal office in the City of Jacksonville, State of Florida, pursuant to Article IV, Section 2 of the By-Laws of said Company, to wit:

"Article IV, Section 2. The board of directors, the president, any vice president, secretary, or the treasurer shall have the power and authority to appoint attorneys-in-fact and to authorize them to execute on behalf of the company and affix the seal of the company thereto, bonds, recognizances, contracts of indemnity or writings obligatory in the nature of a bond, recognizance or conditional undertaking and to remove any such attorneys-in-fact at any time and revoke the power and authority given to them. "

does hereby make, constitute and appoint Zachary Pate, Troy Staples, Jennifer Boyles, Nicholas Hochban-----

its true and lawful Attorneys-in-fact, to make, execute, seal and deliver for and on its behalf, and as its act and deed, bonds, undertakings, recognizances, contracts of indemnity, or other writings obligatory in nature of a bond subject to the following limitation:

- 1. No one bond to exceed Twenty Million Dollars (\$20,000,000.00)

and to bind NGM Insurance Company thereby as fully and to the same extent as if such instruments were signed by the duly authorized officers of NGM Insurance Company; the acts of said Attorney are hereby ratified and confirmed.

This power of attorney is signed and sealed by facsimile under and by the authority of the following resolution adopted by the Directors of NGM Insurance Company at a meeting duly called and held on the 2nd day of December 1977.

Voted: That the signature of any officer authorized by the By-Laws and the company seal may be affixed by facsimile to any power of attorney or special power of attorney or certification of either given for the execution of any bond, undertaking, recognizance or other written obligation in the nature thereof; such signature and seal, when so used being hereby adopted by the company as the original signature of such office and the original seal of the company, to be valid and binding upon the company with the same force and effect as though manually affixed.

IN WITNESS WHEREOF, NGM Insurance Company has caused these presents to be signed by its Secretary and its corporate seal to be hereto affixed this 9th day of October, 2024.

NGM INSURANCE COMPANY By:

*Lauren K. Powell*

Lauren K. Powell

Vice President, Corporate Secretary



State of Wisconsin,  
County of Dane.

On this 9th day of October, 2024, before the subscriber a Notary Public of State of Wisconsin in and for the County of Dane duly commissioned and qualified, came Lauren K. Powell of NGM Insurance Company, to me personally known to be the officer described herein, and who executed the preceding instrument, and she acknowledged the execution of same, and being by me fully sworn, deposed and said that she is an officer of said Company, aforesaid: that the seal affixed to the preceding instrument is the corporate seal of said Company, and the said corporate seal and her signature as officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Company; that Article IV, Section 2 of the By-Laws of said Company is now in force.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal at Madison, Wisconsin this 9th day of October, 2024.

*Mary J. Ripp*

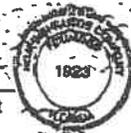
My Commission Expires February 8, 2027



I, Nathan Hoyt, Assistant Vice President of NGM Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney executed by said Company which is still in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Company at Madison, Wisconsin this 5th day of May, 2025.

*Nathan Hoyt*  
Nathan Hoyt, Assistant Vice President



WARNING: Any unauthorized reproduction or alteration of this document is prohibited.  
TO CONFIRM VALIDITY of the attached bond please call 1-603-354-5281.  
TO SUBMIT A CLAIM: Send all correspondence to 55 West Street, Keene, NH 03431  
Attn: Bond Claim Dept. or call our Bond Claim Dept. at 1-603-358-1437.

CU-EX

**ARTICLE 5 – BASIS OF BID**

- 5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):
- A. Unit Prices have been computed in accordance with paragraph 13.03 of the General Conditions.
  - B. All overhead, mobilization, insurance, bonding, etc..., shall be included in the total price.

**BID SCHEDULE**  
**Hyrum City Corporation**  
**900 WEST WATER & POWER IMPROVEMENT PROJECTS**

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>General/Administrative/Management</b>					
G1-1	Mobilization	LS	1	102,421.00	102,421.00
G1-2	Survey: Construction Staking	LS	1	12,522.00	12,522.00
G1-3	Site Work Including Clearing and Grubbing	SF	10,000	.42	4,200.00
G1-4	Traffic Control Plan and Implementation	LS	1	17,000.00	17,000.00
<b>General Sub-total of Unit Price Bid Items:</b>					136,143.00
<b>SCHEDULE 1</b>					
<b>Potable Waterline</b>					
S1-P1	Furnish and Install 10" PVC C900 Water Pipeline and Appurtenances	LF	2,300	84.50	194,350.00
S1-P2	Furnish and Install 8" PVC C900 Water Pipeline and Appurtenances	LF	12	200.00	2,400.00
S1-P3	Furnish and Install 10"x10"x10" Tee and Appurtenances	EA	1	3,800.00	3,800.00
S1-P4	Furnish and Install 10"x8"x10" Tee and Appurtenances	EA	1	3,200.00	3,200.00
S1-P5	Furnish and Install 10" Gate Valve	EA	4	7,100.00	28,400.00

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
S1-P6	Furnish and Install 8" Gate Valve	EA	1	4,123.00	4,123.00
S1-P7	Furnish and Install Fire Hydrant	EA	2	11,000.00	22,000.00
S1-P8	Furnish and Install 10" 45-degree bend	EA	4	7,245.00	28,980.00
S1-P9	Furnish and Install 10"x6" reducer	EA	1	4,200.00	4,200.00
S1-P10	Furnish and Install Pipe Bedding Material (sand) and Compaction	CY	450	52.00	23,400.00
S1-P11	Flush and Hydrostatic Pressure Test	LS	1	3479.00	3,479.00
<b>Buried Electrical Conduit</b>					
S1-E1	Install (Owner Furnished) 3" PVC SCH40 Conduits (3 conduits per trench)	LF	2,300	42.25	97,175.00
S1-E2	Install (Owner Furnished) 2'x6' Fiberglass Electrical Junction Boxes	EA	6	1,885.00	11,310.00
<b>Roadway Repair/Asphalt</b>					
S1-R1	Mill and dispose of 3-inch thick asphalt roadway	SF	6,000	1.39	8,340.00
S1-R2	Trench removal and disposal	CY	3,500	27.00	94,500.00
S1-R3	Furnish, place and compact imported select backfill (Engineered Fill)	CY	2,500	52.79	131,975.00
S1-R4	Asphalt Paving: Trench repair and 500 North Intersection reconstruct. 4-inch thick 1/2" 58-28 APWA roadway section with 8-inch compacted roadbase	SF	15,000	7.20	108,000.00
S1-R5	Ribbon Curb (southeast corner of 500 N intersection)	LF	75	62.60	4,695.00
<b>Sub-total Schedule 1 Unit Price Bid Items:</b>					<b>774,327.00</b>

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 2</b>					
<b>Pressurized Irrigation Waterline</b>					
S2-P1	Install (Owner Furnished) 16" PVC C900 Irrigation Pipeline and Appurtenances	LF	120	56.00	6,720.00
S2-P2	Install (Owner Furnished) 16" Butterfly Valves with Appurtenances	EA	3	2,600.00	7,800.00
S2-P3	Install (Owner Furnished) 16"x16"x16" Tee and Appurtenances	EA	1	3,200.00	3,200.00
S2-P4	Furnish and Install 2" Tapping Sleeve and Drain Line to Irrigation Ditch Manhole (apx. 10')	LS	1	3,950.00	3,950.00
S2-P5	Furnish and Install 16"x14" Reducer(s)	EA	2	2,468.00	4,936.00
S2-P6	Furnish and Install 16" Cap	EA	1	0.00	0.00
<b>Irrigation Ditch Extension and Headwall</b>					
S2-H1	Furnish and Install Precast 5' manhole with cast iron ring and cover. Reconnect existing storm drain/irrigation lines, including inlet, connections and appurtenances	EA	2	7,207.00	14,414.00
S2-H2	Furnish and Install 36" N-12 Irrigation Pipeline Extension with Pipe Collar	LF	10	745.00	7,450.00
S2-H3	Furnish and Install 24" N-12 Irrigation Pipeline with connections to manhole(s) and headwall	LF	40	249.00	9,960.00
S2-H4	Furnish and Install Concrete Irrigation Headwall with 24" Waterman C-10 Canal Gate and Appurtenances	LS	1	39,960.00	39,960.00
<b>Sub-total Schedule 2 Unit Price Bid Items:</b>					98,390.00

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 3</b>					
S3-J1	Excavation of Launch Pit and Retrieval Pit for Jacking and Boring Procedure – including shoring and dewatering	LS	1	225,974.00	225,974.00
S3-J2	Jacking & Boring Waterline Casing (24" diameter for the 10" waterline)	LF	90	1,345.00	121,050.00
S3-J3	Jacking & Boring Powerline Casing (24" diameter for the four electrical conduits)	LF	90	1,212.00	109,080.00
S3-J4	Furnish and Install Casing seals at end of casing	EA	4	3,600.00	14,400.00
S3-J5	UPRR Track monitoring per UPRR	LS	1	82,000.00	82,000.00
S3-J6	UPRR Observation & Inspection Rqmt's	LS	1	132,975.00	132,975.00
<b>Sub-total Schedule 3 Unit Price Bid Items:</b>					685,479.00

**SUMMARY:**

Sub-total Bid Price – GENERAL	136,143.00
Sub-total Bid Price – SCHEDULE 1	774,327.00
Sub-total Bid Price – SCHEDULE 2	98,390.00
Sub-total Bid Price – SCHEDULE 3	685,479.00
<b>TOTAL BID (General plus SCHEDULES 1,2, &amp; 3):</b>	<b>1,694,339.00</b>

**TOTAL BID AMOUNT (written):** One million six hundred ninety- four thousand three hundred thirty-nine dollars

The Contractor must complete all listed bid items to be considered responsive.

5.02 The Owner reserves the right to award the job based upon the total of any combination of or all bid items listed above in the bid schedule based upon budgetary constraints set forth for this project.

**ARTICLE 1 – BID RECIPIENT**

1.01 This Bid is submitted to:

*Hyrum City  
900 West Improvement Project  
60 West Main Street  
Hyrum, UT 84319-1205*

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

**ARTICLE 2 – BIDDER’S ACKNOWLEDGEMENTS**

2.01 Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for 60 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

**ARTICLE 3 – BIDDER’S REPRESENTATIONS**

3.01 In submitting this Bid, Bidder represents that:

- A. Bidder has examined and carefully studied the Bidding Documents, and any data and reference items identified in the Bidding Documents, and hereby acknowledges receipt of the following Addenda:

<u>Addendum No.</u>	<u>Addendum, Date</u>
_____	_____
_____	_____

- B. Bidder has visited the Site, conducted a thorough, alert visual examination of the Site and adjacent areas, and become familiar with and satisfied itself as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
- C. Bidder is familiar with and has satisfied itself as to all Laws and Regulations that may affect cost, progress, and performance of the Work.
- D. No known subsurface or hazardous conditions reports have been prepared for the project and no know subsurface and hazardous conditions are known to exist at the site.
- E. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and any Site-related reports and drawings identified in the Bidding Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder; and (3) Bidder’s safety precautions and programs.
- F. Bidder agrees, based on the information and observations referred to in the preceding paragraph, that no further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Bid for performance of the Work at the price bid

**ARTICLE 9 – BID SUBMITTAL**

BIDDER: [Indicate correct name of bidding entity]

Cache Valley Excavation

By:

[Signature]

*[Handwritten Signature]*

[Printed name]

Shane Geary

(If Bidder is a corporation, a limited liability company, a partnership, or a joint venture, attach evidence of authority to sign.)

Attest:

[Signature]

*[Handwritten Signature]*

[Printed name]

Theresa Geary

Title:

Secretary

Submittal Date:

May 7, 2025

Address for giving notices:

228N 100E  
Smithfield UT 84335

Telephone Number:

435-994-2534

Fax Number:

Contact Name and e-mail address:

Shane gearyk@gmail.com

Bidder's License No.:

10910120-5501

(where applicable)

NOTE TO USER: Use in those states or other jurisdictions where applicable or required.

**MAJOR MATERIAL SUPPLIERS**

The BIDDER shall indicate opposite each item of equipment or material listed below the name of the manufacturer or supplier of the equipment or material proposed to be furnished under the BID.

Equipment / Material	Manufacturer/Supplier Name & Address
1. Pipe	Cope and Maine
2. Shoring	NTS Shoring
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

**Note: Additional numbered pages may be attached if necessary.**

**LIST OF SUBCONTRACTORS**

Each BIDDER shall list below the name of each subcontractor who will provide labor or a portion of the work or improvement to the contractor for which he will be paid an amount exceeding 5 percent of the prime contractor's total bid.

Work to be Performed	% of Total Contract	Subcontractors Name, Address & License Number
1. RR observation	6	Rail Pros Texas
2. Survey RR track	6	forsight survey
3. Paving	4	Staker parson Paving Smithland
4. Core	6.5	Claud Nix Ogden
5.		
6.		
7.		
8.		
9.		
10.		

**Note: Additional numbered pages may be attached if necessary.**

### QUALIFICATIONS STATEMENT

**THE INFORMATION SUPPLIED IN THIS DOCUMENT IS CONFIDENTIAL TO THE EXTENT PERMITTED BY LAWS AND REGULATIONS**

**1. SUBMITTED BY:**

Official Name of Firm: Cache Valley Excavation

Address: 228 n 100 e Smithfield Ut 84335

**2. SUBMITTED TO:**

Hyrum City

**3. SUBMITTED FOR:**

900 west water and power improvement projects

Owner: \_\_\_\_\_

Project Name: \_\_\_\_\_

**TYPE OF WORK:**

Install 10 " waterline, Irrigation , Conduits, Bore under rr

**4. CONTRACTOR'S CONTACT INFORMATION**

Contact Person: Shane Geary

Title: Owner

Phone: 435 994 2534

Email: shanegearyk@gmail.com

5. **AFFILIATED COMPANIES:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

6. **TYPE OF ORGANIZATION:**

SOLE PROPRIETORSHIP

Name of Owner: \_\_\_\_\_

Doing Business As: \_\_\_\_\_

Date of Organization: \_\_\_\_\_

PARTNERSHIP

Date of Organization: \_\_\_\_\_

Type of Partnership: \_\_\_\_\_

Name of General Partner(s): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

CORPORATION

State of Organization: \_\_\_\_\_

Date of Organization: \_\_\_\_\_

Executive Officers:

- President: \_\_\_\_\_

- Vice President(s): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- Treasurer: \_\_\_\_\_

- Secretary: \_\_\_\_\_

LIMITED LIABILITY COMPANY

State of Organization: Utah

Date of Organization: 05/12/2017

Members: Shane Geary

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

JOINT VENTURE

Sate of Organization: \_\_\_\_\_

Date of Organization: \_\_\_\_\_

Form of Organization: \_\_\_\_\_

Joint Venture Managing Partner

- Name: \_\_\_\_\_

- Address: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Joint Venture Managing Partner

- Name: \_\_\_\_\_

- Address: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Joint Venture Managing Partner

- Name: \_\_\_\_\_

- Address: \_\_\_\_\_

\_\_\_\_\_

7. LICENSING

Jurisdiction: VT

Type of License: E 100 B 100

License Number: 10910120=5501

Jurisdiction: \_\_\_\_\_

Type of License: \_\_\_\_\_

License Number: \_\_\_\_\_

8. CERTIFICATIONS

CERTIFIED BY: \_\_\_\_\_

Disadvantage Business Enterprise: \_\_\_\_\_

Minority Business Enterprise: \_\_\_\_\_

Woman Owned Enterprise: \_\_\_\_\_

Small Business Enterprise: \_\_\_\_\_

Other ( \_\_\_\_\_ ): \_\_\_\_\_

9. BONDING INFORMATION

Bonding Company: NGM Insurance

Address: 55 west street Keene, NH  
03431

Bonding Agent: Pate Bonding

Address: 12765 Robert st  
West st. Paul MN 55118

Contact Name: Sam Kemp

Phone: 801-204-9425

Aggregate Bonding Capacity: 4 million

Available Bonding Capacity as of date of this submittal: 4 million

10. FINANCIAL INFORMATION

Financial Institution: Cache Valley Bank

Address: \_\_\_\_\_

Account Manager: Darrin Cole

Phone: 435 753 3020

11. CONSTRUCTION EXPERIENCE:

Current Experience:

List on **Schedule A** all uncompleted projects currently under contract (If Joint Venture list each participant's projects separately).

Previous Experience:

List on **Schedule B** all projects completed within the last 5 Years (If Joint Venture list each participant's projects separately).

Has firm listed in Section 1 ever failed to complete a construction contract awarded to it?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

Has any Corporate Officer, Partner, Joint Venture participant or Proprietor ever failed to complete a construction contract awarded to them in their name or when acting as a principal of another entity?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

Are there any judgments, claims, disputes or litigation pending or outstanding involving the firm listed in Section 1 or any of its officers (or any of its partners if a partnership or any of the individual entities if a joint venture)?

YES  NO

If YES, attach as an Attachment details including Project Owner's contact information.

**12. EQUIPMENT:**

MAJOR EQUIPMENT:

List on **Schedule C** all pieces of major equipment available for use on Owner's Project.

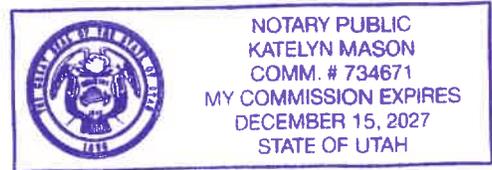
I HEREBY CERTIFY THAT THE INFORMATION SUBMITTED HERewith, INCLUDING ANY ATTACHMENTS, IS TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME OF ORGANIZATION: Cedar Valley Excavator  
BY: Shane Geary  
TITLE: Managing Member  
DATED: 5-6-2025

NOTARY ATTEST:

SUBSCRIBED AND SWORN TO BEFORE ME Katelyn Mason  
THIS 6<sup>th</sup> DAY OF May, 2025

NOTARY PUBLIC - STATE OF Utah  
MY COMMISSION EXPIRES: 12-15-27



REQUIRED ATTACHMENTS

1. Schedule A (Current Experience).
2. Schedule B (Previous Experience).
3. Schedule C (Major Equipment).
4. Evidence of authority for individuals listed in Section 7 to bind organization to an agreement.
5. Resumes of officers and key individuals (including Safety Officer) of firm named in Section 1.
7. Additional items as pertinent.

SCHEDULE A

CURRENT EXPERIENCE

Project Name	Owner's Contact Person Name: Address: Telephone:	Design Engineer Name: Company: Telephone:	Contract Date	Type of Work	Status	Cost of Work
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				

EICDC C-451, Qualifications Statement.  
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SCHEDULE B

PREVIOUS EXPERIENCE (Include ALL Projects Completed within last 5 years)

Project Name	Owner's Contact Person	Design Engineer	Contract Date	Type of Work	Status	Cost of Work
Brigham Sidewalks	Name: Jones C.ivil Address: Telephone:	Name: Jones Civil Company: Telephone:		Concrete Road Paving	100%	\$20,000
Hydrom City	Name: Karl Mughler Address: Telephone:	Name: Company: Telephone:				—
River Heights Park & Substation	Name: Clayton Address: Telephone:	Name: Company: Telephone:				100%
Providence City Spring Creek Parkway	Name: Rob Stapley Address: Telephone:	Name: Company: Telephone:				<del>100%</del> 500,000
Apartments Smithfield	Name: Dave Collyer Address: Telephone:	Name: Company: Telephone:				300,000
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				

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**SCHEDULE B**

PREVIOUS EXPERIENCE (Include ALL Projects Completed within last 5 years)

Project Name	Owner's Contact Person Name: Address: Telephone:	Design Engineer Name: Company: Telephone:	Contract Date	Type of Work	Status	Cost of Work
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				
	Name: Address: Telephone:	Name: Company: Telephone:				

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*Under 5 Employees Not Required*

**E-VERIFY  
STATUS VERIFICATION SYSTEM AFFIDAVIT**

**PART 1 - GENERAL**

1.01 CONTRACTOR

- A. Name: \_\_\_\_\_
- B. Address: \_\_\_\_\_
- C. Telephone: \_\_\_\_\_
- D. Fax: \_\_\_\_\_

1.02 OWNER

- A. The name of the OWNER is Hyrum City

1.03 CONSTRUCTION CONTRACT

- A. The CONSTRUCTION CONTRACT is known as  
900 West Water & Power Improvement Projects

**PART 2 - REQUIREMENTS**

2.01 REGISTRATION AND PARTICIPATION

- A. Bidder has completed the E-Verify registration process and is in compliance with the requirements of Utah Code Section 63G-11-103.
- B. Bidder will require affidavits of registration and participation by any subcontractor who works under the terms of the Contract Documents.

**PART 3 - EXECUTION**

3.01 CONTRACTOR'S SUBSCRIPTION AND ACKNOWLEDGMENT

- A. Contractor's Signature: \_\_\_\_\_
- B. Please print name here: \_\_\_\_\_
- C. Title: \_\_\_\_\_
- D. CONTRACTOR'S Utah license number: \_\_\_\_\_

# AIA<sup>®</sup> Document A310<sup>™</sup> – 2010

## Bid Bond

**CONTRACTOR:**

*(Name, legal status and address)*

Beck Construction & Excavation, Inc.  
P.O. Box 95026  
South Jordan, UT 84095

**SURETY:**

*(Name, legal status and principal place of business)*

United States Fire Insurance Company  
6550 South Millrock Dr., #300  
Salt Lake City, UT 84121

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

**OWNER:**

*(Name, legal status and address)*

Hyrum City Office  
60 West Main St.  
Hyrum, UT 84319

**BOND AMOUNT:** Five Percent (5%) of Amount of Bid

**PROJECT:**

*(Name, location or address, and Project number, if any)*

2025 Public Works 900 W. Water & Power Improvements Project

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 7th day of May, 2025

  
\_\_\_\_\_  
*(Witness)*

Beck Construction & Excavation, Inc.  
\_\_\_\_\_  
*(Principal)* *(Seal)*

  
\_\_\_\_\_  
*(Title)*

United States Fire Insurance Company  
\_\_\_\_\_  
*(Surety)* *(Seal)*

  
\_\_\_\_\_  
*(Witness)*

  
\_\_\_\_\_  
*(Title)* Ashlie Benson, Attorney-In-Fact

**CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.**

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POWER OF ATTORNEY  
UNITED STATES FIRE INSURANCE COMPANY  
PRINCIPAL OFFICE - MORRISTOWN, NEW JERSEY

04306

**KNOW ALL MEN BY THESE PRESENTS:** That United States Fire Insurance Company, a corporation duly organized and existing under the laws of the state of Delaware, has made, constituted and appointed, and does hereby make, constitute and appoint:

Terry H. Buckner, Takota K. Wainer, Ashlie Benson

each, its true and lawful Attorney(s)-In-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver: Any and all bonds and undertakings of surety and other documents that the ordinary course of surety business may require, and to bind United States Fire Insurance Company thereby as fully and to the same extent as if such bonds or undertakings had been duly executed and acknowledged by the regularly elected officers of United States Fire Insurance Company at its principal office, in amounts or penalties: **Unlimited**

This Power of Attorney limits the act of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind United States Fire Insurance Company except in the manner and to the extent therein stated.

This Power of Attorney is granted pursuant to Article IV of the By-Laws of United States Fire Insurance Company as now in full force and effect, and consistent with Article III thereof, which Articles provide, in pertinent part:

Article IV, Execution of Instruments - Except as the Board of Directors may authorize by resolution, the Chairman of the Board, President, any Vice-President, any Assistant Vice President, the Secretary, or any Assistant Secretary shall have power on behalf of the Corporation:

(a) to execute, affix the corporate seal manually or by facsimile to, acknowledge, verify and deliver any contracts, obligations, instruments and documents whatsoever in connection with its business including, without limiting the foregoing, any bonds, guarantees, undertakings, recognizances, powers of attorney or revocations of any powers of attorney, stipulations, policies of insurance, deeds, leases, mortgages, releases, satisfactions and agency agreements;

(b) to appoint, in writing, one or more persons for any or all of the purposes mentioned in the preceding paragraph (a), including affixing the seal of the Corporation.

Article III, Officers, Section 3.11, Facsimile Signatures. The signature of any officer authorized by the Corporation to sign any bonds, guarantees, undertakings, recognizances, stipulations, powers of attorney or revocations of any powers of attorney and policies of insurance issued by the Corporation may be printed, facsimile, lithographed or otherwise produced. In addition, if and as authorized by the Board of Directors, dividend warrants or checks, or other numerous instruments similar to one another in form, may be signed by the facsimile signature or signatures, lithographed or otherwise produced, of such officer or officers of the Corporation as from time to time may be authorized to sign such instruments on behalf of the Corporation. The Corporation may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Corporation, notwithstanding the fact that he may have ceased to be such at the time when such instruments shall be issued.

**IN WITNESS WHEREOF**, United States Fire Insurance Company has caused these presents to be signed and attested by its appropriate officer and its corporate seal hereunto affixed this 21st day of October, 2024.

UNITED STATES FIRE INSURANCE COMPANY

Matthew E. Lubin, President



State of New Jersey }  
County of Morris }

On this 21st day of October, 2024, before me, a Notary public of the State of New Jersey, came the above named officer of United States Fire Insurance Company, to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seal of United States Fire Insurance Company thereto by the authority of his office.



Ethan Schwartz (Notary Public)

I, the undersigned officer of United States Fire Insurance Company, a Delaware corporation, do hereby certify that the original Power of Attorney of which the foregoing is a full, true and correct copy is still in force and effect and has not been revoked.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the corporate seal of United States Fire Insurance Company on the 7th day of May, 2025

UNITED STATES FIRE INSURANCE COMPANY

Michael C. Fay, Senior Vice President



**ARTICLE 1 – BID RECIPIENT**

1.01 This Bid is submitted to:

*Hyrum City  
900 West Improvement Project  
60 West Main Street  
Hyrum, UT 84319-1205*

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

**ARTICLE 2 – BIDDER’S ACKNOWLEDGEMENTS**

2.01 Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for 60 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

**ARTICLE 3 – BIDDER’S REPRESENTATIONS**

3.01 In submitting this Bid, Bidder represents that:

A. Bidder has examined and carefully studied the Bidding Documents, and any data and reference items identified in the Bidding Documents, and hereby acknowledges receipt of the following Addenda:

<u>Addendum No.</u>	<u>Addendum, Date</u>
_____	_____
_____	_____

- B. Bidder has visited the Site, conducted a thorough, alert visual examination of the Site and adjacent areas, and become familiar with and satisfied itself as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
- C. Bidder is familiar with and has satisfied itself as to all Laws and Regulations that may affect cost, progress, and performance of the Work.
- D. No known subsurface or hazardous conditions reports have been prepared for the project and no know subsurface and hazardous conditions are known to exist at the site.
- E. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and any Site-related reports and drawings identified in the Bidding Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder; and (3) Bidder’s safety precautions and programs.
- F. Bidder agrees, based on the information and observations referred to in the preceding paragraph, that no further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Bid for performance of the Work at the price bid

and within the times required, and in accordance with the other terms and conditions of the Bidding Documents.

- G. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
- H. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and confirms that the written resolution thereof by Engineer is acceptable to Bidder.
- I. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance and furnishing of the Work.
- J. The submission of this Bid constitutes an incontrovertible representation by Bidder that Bidder has complied with every requirement of this Article, and that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

#### **ARTICLE 4 – BIDDER’S CERTIFICATION**

##### **4.01 Bidder certifies that:**

- A. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation;
- B. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid;
- C. Bidder has not solicited or induced any individual or entity to refrain from bidding; and
- D. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 4.01.D:
  - 1. “corrupt practice” means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process;
  - 2. “fraudulent practice” means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition;
  - 3. “collusive practice” means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels; and
  - 4. “coercive practice” means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

**ARTICLE 5 – BASIS OF BID**

5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

- A. Unit Prices have been computed in accordance with paragraph 13.03 of the General Conditions.
- B. All overhead, mobilization, insurance, bonding, etc..., shall be included in the total price.

**BID SCHEDULE**  
**Hyrum City Corporation**  
**900 WEST WATER & POWER IMPROVEMENT PROJECTS**

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>General/Administrative/Management</b>				275 000.00	275 000.00
G1-1	Mobilization	LS	1	<del>295 000.00</del>	<del>295 000.00</del>
G1-2	Survey: Construction Staking	LS	1	21 000.00	21 000.00
G1-3	Site Work Including Clearing and Grubbing	SF	10,000	2.00	20 000.00
G1-4	Traffic Control Plan and Implementation	LS	1	45 000.00	45 000.00
<b>General Sub-total of Unit Price Bid Items:</b>					<del>336 000.00</del>
<b>SCHEDULE 1</b>					361 000.00
<b>Potable Waterline</b>					
S1-P1	Furnish and Install 10" PVC C900 Water Pipeline and Appurtenances	LF	2,300	99.00	227 700.00
S1-P2	Furnish and Install 8" PVC C900 Water Pipeline and Appurtenances	LF	12	90.00	1 080.00
S1-P3	Furnish and Install 10"x10"x10" Tee and Appurtenances	EA	1	4 400.00	4 400.00
S1-P4	Furnish and Install 10"x8"x10" Tee and Appurtenances	EA	1	4 200.00	4 200.00
S1-P5	Furnish and Install 10" Gate Valve	EA	4	7 000.00	28 000.00

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
S1-P6	Furnish and Install 8" Gate Valve	EA	1	5300.00	5300.00
S1-P7	Furnish and Install Fire Hydrant	EA	2	19500.00	39000.00
S1-P8	Furnish and Install 10" 45-degree bend	EA	4	2800.00	11200.00
S1-P9	Furnish and Install 10"x6" reducer	EA	1	1500.00	1500.00
S1-P10	Furnish and Install Pipe Bedding Material (sand) and Compaction	CY	450	65.00	29250.00
S1-P11	Flush and Hydrostatic Pressure Test	LS	1	2500.00	2500.00
<b>Buried Electrical Conduit</b>					
S1-E1	Install (Owner Furnished) 3" PVC SCH40 Conduits (3 conduits per trench)	LF	2,300	40.00	92000.00
S1-E2	Install (Owner Furnished) 2'x6' Fiberglass Electrical Junction Boxes	EA	6	2500.00	15000.00
<b>Roadway Repair/Asphalt</b>					
S1-R1	Mill and dispose of 3-inch thick asphalt roadway	SF	6,000	4.00	24000.00
S1-R2	Trench removal and disposal	CY	3,500	99.00	346500.00
S1-R3	Furnish, place and compact imported select backfill (Engineered Fill)	CY	2,500	70.00	175000.00
S1-R4	Asphalt Paving: Trench repair and 500 North Intersection reconstruct. 4-inch thick 1/2" 58-28 APWA roadway section with 8-inch compacted roadbase	SF	15,000	8.15	122250.00
S1-R5	Ribbon Curb (southeast corner of 500 N intersection)	LF	75	80.00	6000.00
<b>Sub-total Schedule 1 Unit Price Bid Items:</b>					<b>1134880.00</b>

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 2</b>					
<b>Pressurized Irrigation Waterline</b>					
S2-P1	Install (Owner Furnished) 16" PVC C900 Irrigation Pipeline and Appurtenances	LF	120	97.00	11640.00
S2-P2	Install (Owner Furnished) 16" Butterfly Valves with Appurtenances	EA	3	2100.00	6300.00
S2-P3	Install (Owner Furnished) 16"x16"x16" Tee and Appurtenances	EA	1	<del>2500.00</del> 2500.00	2500.00
S2-P4	Furnish and Install 2" Tapping Sleeve and Drain Line to Irrigation Ditch Manhole (apx. 10')	LS	1	<del>12500.00</del> 12500.00	12500.00
S2-P5	Furnish and Install 16"x14" Reducer(s)	EA	2	5500.00	5500.00
S2-P6	Furnish and Install 16" Cap	EA	1	2000.00	2000.00
<b>Irrigation Ditch Extension and Headwall</b>					
S2-H1	Furnish and Install Precast 5' manhole with cast iron ring and cover. Reconnect existing storm drain/irrigation lines, including inlet, connections and appurtenances	EA	2	16500.00	33000.00
S2-H2	Furnish and Install 36" N-12 Irrigation Pipeline Extension with Pipe Collar	LF	10	900.00	9000.00
S2-H3	Furnish and Install 24" N-12 Irrigation Pipeline with connections to manhole(s) and headwall	LF	40	351.00	14040.00
S2-H4	Furnish and Install Concrete Irrigation Headwall with 24" Waterman C-10 Canal Gate and Appurtenances	LS	1	42000.00	42000.00
<b>Sub-total Schedule 2 Unit Price Bid Items:</b>					<b>138480.00</b>

ITEM No.	DESCRIPTION	UNIT	EST. QTY	BID UNIT PRICE	BID PRICE
<b>SCHEDULE 3</b>					
S3-J1	Excavation of Launch Pit and Retrieval Pit for Jacking and Boring Procedure – including shoring and dewatering	LS	1	115 000.00	115 000.00
S3-J2	Jacking & Boring Waterline Casing (24" diameter for the 10" waterline)	LF	90	1500.00	135 000.00
S3-J3	Jacking & Boring Powerline Casing (24" diameter for the four electrical conduits)	LF	90	1450.00	130 500.00
S3-J4	Furnish and Install Casing seals at end of casing	EA	4	750.00	3 000.00
S3-J5	UPRR Track monitoring per UPRR	LS	1	48 500.00	48 500.00
S3-J6	UPRR Observation & Inspection Rqmt's	LS	1	45 000.00	45 000.00
<b>Sub-total Schedule 3 Unit Price Bid Items:</b>					<b>477 000.00</b>

**SUMMARY:**

Sub-total Bid Price – GENERAL	361 000.00
Sub-total Bid Price – SCHEDULE 1	1134 880.00
Sub-total Bid Price – SCHEDULE 2	138 418.00
Sub-total Bid Price – SCHEDULE 3	477 000.00
<b>TOTAL BID (General plus SCHEDULES 1, 2, &amp; 3):</b>	<b>2 111 360.00</b>
<b>TOTAL BID AMOUNT (written):</b>	<i>two million &amp; hundred &amp; eleven thousand three hundred and sixty</i>

The Contractor must complete all listed bid items to be considered responsive.

5.02 The Owner reserves the right to award the job based upon the total of any combination of or all bid items listed above in the bid schedule based upon budgetary constraints set forth for this project.

- 5.03 Bids will be evaluated using items the Owner has selected for Award.
- 5.04 Bidder acknowledges that estimated quantities are not guaranteed and are solely for the purpose of comparison of Bids, and final payment for all bid items will be based on actual quantities, determined as provided in the contract documents.
- 5.05 Refer to Section 011500 (Measurement and Payment) of the Technical Specifications and the design drawings for information on the individual bid items provided in the schedule.

#### ARTICLE 6 – TIME OF COMPLETION

- 6.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement. However, the issuance of a Notice to Proceed for Schedules 2 and 3 will necessitate a negotiation for substantial and final completion dates for those Schedules if they are not awarded at the anticipated Contract Award date.
- 6.02 Bidder accepts the provisions of the Agreement as to liquidated damages.
- 6.03 The tentative project schedule is provided below. If Bidder cannot meet the project milestones provided, please provide a modified project schedule in the space provided. Time is of the essence and the Owner reserves the right to award the project based on Bidders ability to meet the project schedule.

DATE	PROJECT MILESTONE	MODIFIED DATE / COMMENTS
May 16, 2025	Contract Award and Document Processing	
May 30, 2025	Mobilize construction crew and begin construction on Bid Items	
November 1, 2025	Bid Item Substantial Completion	
November 26, 2025	Project Final Completion	

#### ARTICLE 7 – ATTACHMENTS TO THIS BID

- 7.01 The following documents are submitted with and made a condition of this Bid:
- A. This Bid Form (Section 00410), completed and signed where indicated, including acknowledgement of all addenda issued for this project.
  - B. List of Proposed Subcontractors (Section 00420);
  - C. List of Proposed Suppliers (Section 00425);
  - D. Required Bid security (Section 00430);
  - E. Required Bidder Qualification Statement with supporting data (Section 00451);

- F. E-Verify Affidavit (Section 00460);
- G. List of Project References;
- H. Evidence of authority to do business in the state of the Project; or a written covenant to obtain such license within the time for acceptance of Bids; and
- I. Contractor's Utah License No.: 8659846-5501

**FAILURE TO PROVIDE ALL ITEMS IN THIS ARTICLE WILL RESULT IN REJECTION OF THE BID.**

**ARTICLE 8 – DEFINED TERMS**

- 8.01 The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

**ARTICLE 9 – BID SUBMITTAL**

BIDDER: *[Indicate correct name of bidding entity]*

Beck Construction & Excavation, Inc

By:

*[Signature]*

C - B

*[Printed name]*

Corson Bastian

*(If Bidder is a corporation, a limited liability company, a partnership, or a joint venture, attach evidence of authority to sign.)*

Attest:

*[Signature]*

Heather Stewart

*[Printed name]*

HEATHER STEWART

Title:

Project Assistant

Submittal Date:

5/7/25

Address for giving notices:

10432 S. 1055 W.

South Jordan, UT 84095

Telephone Number:

801-870-7922

Fax Number:

801-606-7273

Contact Name and e-mail address:

Corson Bastian

Corson@beckconstruct.com

Bidder's License No.:

8659846-5501

*(where applicable)*

*NOTE TO USER: Use in those states or other jurisdictions where applicable or required.*

HYRUM CITY CORPORATION  
 COMBINED CASH INVESTMENT  
 APRIL 30, 2025

COMBINED CASH ACCOUNTS

01-1111000	GENERAL CHECKING ACCT	561,042.41
01-1112000	XPRESS DEPOSIT ACCOUNT	110,948.03
01-1113000	PAYROLL CHECKING ACCOUNT	213,385.76
01-1151000	UNDESIGNATED CASH - PTIF	610,928.77
01-1151100	BANK OF UTAH	2,990,360.80
01-1151500	CACHE VALLEY BANK SAVINGS	15,149,840.64
01-1151710	PTIF SWR DEBT SERVICE #4099	201,409.19
01-1151720	PTIF-SWR O&M RESERVE #4100	243,645.17
01-1175000	UTILITY CASH CLEARING	1,642.08

TOTAL COMBINED CASH		20,083,202.85
01-1801110	DESIGNATED CASH - SENIOR	( 17,975.65)
01-1801120	DESIGNATED CASH - MUSEUM	( 5,678.97)
01-1801130	DESIGNATED CASH - FIRST RESP.	( 6,050.41)
01-1801140	DESIGNATED CASH - FIRE DEPT	( 244,126.60)
01-1801240	REST CASH-SEWER DEBT SERVICE	( 172,981.20)
01-1801250	REST CASH-SEWER O&M RESERVE	( 233,944.65)
01-1010000	CASH ALLOCATED TO OTHER FUNDS	( 19,402,445.37)

TOTAL UNALLOCATED CASH .00

CASH ALLOCATION RECONCILIATION

10	ALLOCATION TO GENERAL FUND	2,800,494.51
45	ALLOCATION TO CAPITAL PROJECTS FUND	25,851.56
51	ALLOCATION TO WATER UTILITY FUND	2,739,970.49
52	ALLOCATION TO SEWER UTILITY FUND	5,301,048.71
53	ALLOCATION TO ELECTRIC UTILITY FUND	6,235,364.58
54	ALLOCATION TO IRRIGATION UTILITY FUND	1,016,185.43
55	ALLOCATION TO STORMWATER FUND	1,327,148.16
72	ALLOCATION TO COURT TRUST FUND	( 43,618.07)

TOTAL ALLOCATIONS TO OTHER FUNDS	19,402,445.37
ALLOCATION FROM COMBINED CASH FUND - 01-1010000	( 19,402,445.37)

ZERO PROOF IF ALLOCATIONS BALANCE .00

HYRUM CITY CORPORATION  
 BALANCE SHEET  
 APRIL 30, 2025

GENERAL FUND

ASSETS

10-1010000	CASH IN COMBINED FUND	2,800,494.51	
10-1131000	PETTY CASH	400.00	
10-1311000	ACCTS REC - UTILITIES	128,844.22	
10-1311001	ACCTS REC - PRIOR PERIOD	67,993.01	
10-1311400	ACCTS REC - PROPERTY TAXES	( 12,196.00)	
10-1311410	LEVIED PROP TAXES RECEIVABLE	1,000,000.00	
10-1311500	ACCTS REC - CLASS C ROADS	42,481.00	
10-1311997	SALES AND USE TAX RECEIVABLE	508,821.00	
10-1311998	MASS TRANSIT RECEIVABLE	66,214.00	
10-1311999	FRANCHISE TAXES AR	47,510.00	
10-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	( 874.49)	
10-1561101	PPD EXPENSE - STAMPS	1,095.10	
10-1801110	DESIGNATED CASH - SENIOR	17,975.65	
10-1801120	DESIGNATED CASH - MUSEUM	5,678.97	
10-1801130	DESIGNATED CASH - FIRST RESP.	6,050.41	
10-1801140	DESIGNATED CASH - FIRE DEPT	244,126.60	
	TOTAL ASSETS		4,924,613.98

LIABILITIES AND EQUITY

LIABILITIES

10-2131000	ACCTS PAY - GENERAL	71,392.39	
10-2131110	ACCTS PAY - CONTRACTOR DEP	650,309.72	
10-2131130	ACCTS PAY - PARK DEPOSITS	2,175.00	
10-2131140	ACCTS PAY - DISPATCH	( 682.23)	
10-2131150	ACCTS PAY - OTHER	8,975.15	
10-2131160	ZONING/SUBDIVISION DEPOSITS	242,032.52	
10-2210000	STATE WITHHOLDING PAYABLE	8,280.45	
10-2211000	ACCRUED PAYROLL PAYABLE	53,400.00	
10-2220000	INSURANCE - CITY PORTION	.76	
10-2220200	ULGT INSURANCE - CITY PORTION	.94	
10-2222000	DISABILITY INSURANCE PAYABLE	( .27)	
10-2223000	CREDIT UNION PAYABLE	( 44.66)	
10-2224000	WORKER'S COMPENSATION PAYABLE	( 16,407.66)	
10-2226000	INSURANCE - EMPLOYEE PORTION	.10	
10-2227000	TRUST INSURANCE-EMPLOYEE	.15	
10-2231000	STATE RETIREMENT PAYABLE	160.07	
10-2240000	UNEARNED PROPERTY TAXES	1,000,000.00	
10-2411050	STATE ASSESSMENT PAYABLE	( 550.10)	
10-2411105	NON-UTILITY SALES TAX	( 227.10)	
	TOTAL LIABILITIES		2,018,815.23

FUND EQUITY

HYRUM CITY CORPORATION  
BALANCE SHEET  
APRIL 30, 2025

GENERAL FUND

UNAPPROPRIATED FUND BALANCE:	
10-2951000 GEN FUND - PRIOR YR UNAPPROP	2,056,595.69
10-2951060 GENERAL FUND - DESIGNATED	273,831.63
REVENUE OVER EXPENDITURES - YTD	<u>575,371.43</u>
BALANCE - CURRENT DATE	<u>2,905,798.75</u>
TOTAL FUND EQUITY	<u>2,905,798.75</u>
TOTAL LIABILITIES AND EQUITY	<u><u>4,924,613.98</u></u>

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HYRUM CITY CORPORATION  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 10 MONTHS ENDING APRIL 30, 2025

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAXES</u>						
10-3110	GEN PROPERTY TAXES - CURRENT	143,184.45	939,858.57	1,000,000.00	60,141.43	94.0
10-3115	FEE IN LIEU	5,286.25	42,326.03	50,000.00	7,673.97	84.7
10-3120	GEN PROP TAXES - DELINQUENT	15,715.12	20,042.18	15,000.00	( 5,042.18)	133.6
10-3130	GENERAL SALES TAX	168,145.47	1,909,315.73	2,300,000.00	390,684.27	83.0
10-3140	FRANCHISE TAXES	556.32	24,639.59	55,000.00	30,360.41	44.8
10-3145	ENERGY SALES AND USE TAX	67,481.39	255,009.57	400,000.00	144,990.43	63.8
10-3150	MASS TRANSIT TAX	110.67	165,284.69	350,000.00	184,715.31	47.2
10-3155	TRANSIENT ROOM TAX	.00	757.76	.00	( 757.76)	.0
	<b>TOTAL TAXES</b>	<b>400,479.67</b>	<b>3,357,234.12</b>	<b>4,170,000.00</b>	<b>812,765.88</b>	<b>80.5</b>
<u>LICENSES AND PERMITS</u>						
10-3210	BUSINESS LICENSES	545.00	27,236.25	23,000.00	( 4,236.25)	118.4
10-3221	BUILDING PERMITS	9,023.36	45,056.04	50,000.00	4,943.96	90.1
10-3225	ANIMAL LICENSES	243.00	9,980.00	11,000.00	1,020.00	90.7
	<b>TOTAL LICENSES AND PERMITS</b>	<b>9,811.36</b>	<b>82,272.29</b>	<b>84,000.00</b>	<b>1,727.71</b>	<b>97.9</b>
<u>INTERGOVERNMENTAL REVENUES</u>						
10-3340	STATE - FEDERAL GRANTS	.00	84,535.00	750,000.00	665,465.00	11.3
10-3356	CLASS C ROAD ALLOTMENT	17,149.98	769,889.86	1,200,000.00	430,110.14	64.2
	<b>TOTAL INTERGOVERNMENTAL REVENUES</b>	<b>17,149.98</b>	<b>854,424.86</b>	<b>1,950,000.00</b>	<b>1,095,575.14</b>	<b>43.8</b>
<u>CHARGES FOR SERVICES</u>						
10-3413	ZONING & SUBDIVISION FEES	81,296.05	136,009.92	50,000.00	( 86,009.92)	272.0
10-3415	SALE OF MAPS & PUBLICATIONS	18.76	93.80	1,000.00	906.20	9.4
10-3422	SPECIAL PROTECTIVE SERVICES	30,850.00	156,039.32	165,000.00	8,960.68	94.6
10-3440	SOLID WASTE COLLECTION	96,608.97	936,836.67	1,100,000.00	163,163.33	85.2
10-3441	EMERGENCY MEDICAL SERVICES	17,405.94	172,124.16	210,000.00	37,875.84	82.0
10-3455	ANIMAL CONTROL FEES	.00	3.00	1,000.00	997.00	.3
10-3473	RECREATION REVENUES	6,665.50	18,611.50	20,000.00	1,388.50	93.1
10-3474	COMMUNITY PROGRESS REVENUES	150.00	150.00	2,000.00	1,850.00	7.5
10-3475	YOUTH COUNCIL ACTIVITIES	.00	3,474.35	3,000.00	( 474.35)	115.8
10-3476	LIBRARY USE FEES	61,246.00	66,289.00	70,000.00	3,711.00	94.7
10-3477	ROAD IMPACT FEES	.00	40,508.00	46,800.00	6,292.00	86.6
10-3479	PARK IMPACT FEES	4,434.00	124,152.00	177,400.00	53,248.00	70.0
10-3480	CEMETERY	6,400.00	82,890.00	80,000.00	( 2,890.00)	103.6
10-3490	MISCELLANEOUS	34,970.28	202,432.97	100,000.00	( 102,432.97)	202.4
	<b>TOTAL CHARGES FOR SERVICES</b>	<b>340,045.50</b>	<b>1,939,614.69</b>	<b>2,026,200.00</b>	<b>86,585.31</b>	<b>95.7</b>

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Section 11. Item D.

HYRUM CITY CORPORATION  
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GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>FINES AND FORFEITURES</u>					
10-3510 COURT FINES	12,898.39	93,619.67	100,000.00	6,380.33	93.6
10-3512 LIBRARY FINES	515.80	4,702.60	6,500.00	1,797.40	72.4
10-3513 PARKING TICKETS	70.00	785.00	950.00	165.00	82.6
<b>TOTAL FINES AND FORFEITURES</b>	<b>13,484.19</b>	<b>99,107.27</b>	<b>107,450.00</b>	<b>8,342.73</b>	<b>92.2</b>
<u>MISCELLANEOUS REVENUES</u>					
10-3610 INTEREST EARNINGS	8,948.05	74,776.56	148,800.00	74,023.44	50.3
10-3620 BUILDING & FACILITY RENTS	9,222.00	75,226.50	60,000.00	( 15,226.50)	125.4
10-3622 LIBRARY ROOM RENTAL FEES	.00	130.00	100.00	( 30.00)	130.0
10-3640 SALE OF FIXED ASSETS	.00	46,500.00	35,000.00	( 11,500.00)	132.9
10-3650 SALE OF MATERIAL & SUPPLIES	321.00	2,326.01	10,000.00	7,673.99	23.3
10-3651 SALE OF LIBRARY MAT'L & BOOKS	69.50	1,753.20	1,000.00	( 753.20)	175.3
10-3652 LIBRARY COPY & LAMINATING FEES	146.00	1,884.75	2,000.00	115.25	94.2
<b>TOTAL MISCELLANEOUS REVENUES</b>	<b>18,706.55</b>	<b>202,597.02</b>	<b>256,900.00</b>	<b>54,302.98</b>	<b>78.9</b>
<u>CONTRIBUTIONS AND TRANSFERS</u>					
10-3870 CONTRIBUTIONS - PRIVATE	2,300.64	8,150.74	10,000.00	1,849.26	81.5
10-3871 CONTRIBUTIONS - SR. CIT. TRIPS	279.00	1,489.00	5,000.00	3,511.00	29.8
10-3872 CONTRIBUTIONS - NEW LIBRARY	.00	.00	2,000.00	2,000.00	.0
10-3874 DONATIONS - ELITE HALL	.00	.00	10,000.00	10,000.00	.0
10-3875 CONTRIBUTIONS - MUSEUM	320.00	35,683.00	10,000.00	( 25,683.00)	356.8
10-3876 CONTRIBUTIONS - MISC.	1,500.00	9,253.27	7,000.00	( 2,253.27)	132.2
10-3891 CONTRIBUTIONS - DESIGNATED GF	.00	.00	42,000.00	42,000.00	.0
10-3893 TRANS FM/TO GEN FUND UNAPPROP	.00	.00	1,097,820.00	1,097,820.00	.0
<b>TOTAL CONTRIBUTIONS AND TRANSFERS</b>	<b>4,399.64</b>	<b>54,576.01</b>	<b>1,183,820.00</b>	<b>1,129,243.99</b>	<b>4.6</b>
<b>TOTAL FUND REVENUE</b>	<b>804,076.89</b>	<b>6,589,826.26</b>	<b>9,778,370.00</b>	<b>3,188,543.74</b>	<b>67.4</b>

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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CITY COUNCIL</u>						
10-4110-110	SALARY & WAGES	2,500.00	25,000.00	33,000.00	8,000.00	75.8
10-4110-130	EMPLOYEE BENEFITS	191.25	1,912.50	3,100.00	1,187.50	61.7
10-4110-230	TRAVEL & MEETINGS	2,573.00	6,444.82	10,000.00	3,555.18	64.5
10-4110-510	INSURANCE	.00	532.16	550.00	17.84	96.8
10-4110-610	MISCELLANEOUS	.00	179.55	600.00	420.45	29.9
	<b>TOTAL CITY COUNCIL</b>	5,264.25	34,069.03	47,250.00	13,180.97	72.1
<u>J. P. COURT</u>						
10-4120-110	SALARY & WAGES	7,150.94	47,241.79	85,500.00	38,258.21	55.3
10-4120-115	OVERTIME	.00	.00	100.00	100.00	.0
10-4120-130	EMPLOYEE BENEFITS	940.35	7,528.27	12,000.00	4,471.73	62.7
10-4120-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	1,147.71	700.00	( 447.71)	164.0
10-4120-230	TRAVEL & TRAINING	854.00	1,839.56	4,000.00	2,160.44	46.0
10-4120-240	OFFICE SUPPLIES & EXPENSE	.00	614.71	1,500.00	885.29	41.0
10-4120-250	EQUIP SUPPLIES & MAINTENANCE	682.30	1,204.86	2,400.00	1,195.14	50.2
10-4120-280	TELEPHONE	20.02	180.18	1,000.00	819.82	18.0
10-4120-310	ATTORNEY FEES	.00	1,075.00	.00	( 1,075.00)	.0
10-4120-510	INSURANCE	.00	1,063.44	1,050.00	( 13.44)	101.3
10-4120-620	WITNESS, JURY & BALIFF FEES	927.00	9,648.50	14,000.00	4,351.50	68.9
	<b>TOTAL J. P. COURT</b>	10,574.61	71,544.02	122,250.00	50,705.98	58.5
<u>MAYOR</u>						
10-4130-110	SALARY & WAGES	448.75	4,530.81	18,400.00	13,869.19	24.6
10-4130-130	EMPLOYEE BENEFITS	45.92	474.10	5,600.00	5,125.90	8.5
10-4130-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	350.00	500.00	150.00	70.0
10-4130-230	TRAVEL & MEETINGS	638.54	2,519.48	4,500.00	1,980.52	56.0
10-4130-240	OFFICE SUPPLIES & EXPENSE	.00	67.91	100.00	32.09	67.9
10-4130-280	TELEPHONE	2.50	25.00	50.00	25.00	50.0
10-4130-510	INSURANCE	.00	279.97	300.00	20.03	93.3
10-4130-610	MISCELLANEOUS	.00	54.76	600.00	545.24	9.1
	<b>TOTAL MAYOR</b>	1,135.71	8,302.03	30,050.00	21,747.97	27.6

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 EXPENDITURES WITH COMPARISON TO BUDGET  
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ADMINISTRATION</u>						
10-4140-110	SALARY & WAGES	5,598.66	58,479.17	90,400.00	31,920.83	64.7
10-4140-115	OVERTIME	512.74	5,784.43	3,000.00	( 2,784.43)	192.8
10-4140-130	EMPLOYEE BENEFITS	1,824.46	19,112.59	17,700.00	( 1,412.59)	108.0
10-4140-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	555.00	1,000.00	445.00	55.5
10-4140-220	PUBLIC NOTICES	.00	551.25	1,000.00	448.75	55.1
10-4140-230	TRAVEL & TRAINING	1,135.00	4,214.57	2,500.00	( 1,714.57)	168.6
10-4140-240	OFFICE SUPPLIES & EXPENSE	404.52	6,507.01	6,500.00	( 7.01)	100.1
10-4140-250	EQUIP SUPPLIES & MAINTENANCE	234.80	3,841.55	6,500.00	2,658.45	59.1
10-4140-280	TELEPHONE	495.57	2,443.39	2,000.00	( 443.39)	122.2
10-4140-285	INTERNET SERVICE	.00	.00	1,000.00	1,000.00	.0
10-4140-310	PROFESSIONAL SERVICES	3,829.38	45,405.12	60,000.00	14,594.88	75.7
10-4140-510	INSURANCE & BONDS	.00	2,363.39	2,350.00	( 13.39)	100.6
10-4140-610	MISCELLANEOUS	549.58	1,982.15	500.00	( 1,482.15)	396.4
	<b>TOTAL ADMINISTRATION</b>	<b>14,584.71</b>	<b>151,239.62</b>	<b>194,450.00</b>	<b>43,210.38</b>	<b>77.8</b>
<u>NON DEPARTMENTAL</u>						
10-4150-210	MEMBERSHIPS	.00	6,239.99	6,000.00	( 239.99)	104.0
10-4150-220	PUBLIC NOTICES	.00	5,183.09	7,000.00	1,816.91	74.0
10-4150-310	PROFESSIONAL SERVICES	.00	1,000.00	5,000.00	4,000.00	20.0
10-4150-510	INSURANCE & BONDS	.00	.00	200.00	200.00	.0
	<b>TOTAL NON DEPARTMENTAL</b>	<b>.00</b>	<b>12,423.08</b>	<b>18,200.00</b>	<b>5,776.92</b>	<b>68.3</b>
<u>GENERAL GOVERNMENT BUILDINGS</u>						
10-4160-110	SALARY & WAGES	1,066.38	10,494.94	35,200.00	24,705.06	29.8
10-4160-130	EMPLOYEE BENEFITS	81.58	1,309.26	17,700.00	16,390.74	7.4
10-4160-250	EQUIP SUPPLIES & MAINTENANCE	.00	82.24	2,000.00	1,917.76	4.1
10-4160-260	BLDG & GROUNDS SUP & MAINT	1,991.28	22,173.58	35,000.00	12,826.42	63.4
10-4160-270	UTILITIES	679.80	6,781.33	13,000.00	6,218.67	52.2
10-4160-310	CONTRACT SERVICES	295.80	2,534.73	6,000.00	3,465.27	42.3
10-4160-510	INSURANCE	.00	10,470.20	10,250.00	( 220.20)	102.2
10-4160-610	MISCELLANEOUS	.00	104.77	1,000.00	895.23	10.5
10-4160-620	MISCELLANEOUS SERVICES	605.00	3,385.00	1,500.00	( 1,885.00)	225.7
10-4160-720	BUILDING IMPROVEMENTS	.00	84,728.81	294,000.00	209,271.19	28.8
	<b>TOTAL GENERAL GOVERNMENT BUILDINGS</b>	<b>4,719.84</b>	<b>142,064.86</b>	<b>415,650.00</b>	<b>273,585.14</b>	<b>34.2</b>
<u>ELECTION</u>						
10-4170-220	PUBLIC NOTICES	.00	.00	500.00	500.00	.0
	<b>TOTAL ELECTION</b>	<b>.00</b>	<b>.00</b>	<b>500.00</b>	<b>500.00</b>	<b>.0</b>

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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PLANNING COMMISSION</u>						
10-4180-110	SALARY & WAGES	10,405.53	53,318.31	148,100.00	94,781.69	36.0
10-4180-115	OVERTIME	1,185.74	3,486.82	200.00	( 3,286.82)	1743.4
10-4180-130	EMPLOYEE BENEFITS	4,752.72	20,450.14	70,100.00	49,649.86	29.2
10-4180-210	BOOKS, SUBSCRIP & MEMBERSHIPS	75.00	920.08	.00	( 920.08)	.0
10-4180-220	PUBLIC NOTICES	149.12	628.31	1,000.00	371.69	62.8
10-4180-230	TRAVEL & TRAINING	230.00	1,455.96	2,500.00	1,044.04	58.2
10-4180-240	OFFICE SUPPLIES & EXPENSE	.00	387.59	200.00	( 187.59)	193.8
10-4180-250	EQUIPMENT SUPPLIES & MAINTENAN	152.67	4,489.62	1,800.00	( 2,689.62)	249.4
10-4180-280	TELEPHONE	64.12	496.13	800.00	303.87	62.0
10-4180-310	PROFESSIONAL SERVICES	2,284.00	11,518.00	190,000.00	178,482.00	6.1
10-4180-510	INSURANCE	.00	878.66	900.00	21.34	97.6
10-4180-610	MISCELLANEOUS	.00	8.99	.00	( 8.99)	.0
10-4180-740	EQUIPMENT	.00	7,862.00	.00	( 7,862.00)	.0
	<b>TOTAL PLANNING COMMISSION</b>	<b>19,298.90</b>	<b>105,900.61</b>	<b>415,600.00</b>	<b>309,699.39</b>	<b>25.5</b>
<u>LAW ENFORCEMENT</u>						
10-4210-310	CONTRACT SERVICES	.00	147,627.00	295,500.00	147,873.00	50.0
	<b>TOTAL LAW ENFORCEMENT</b>	<b>.00</b>	<b>147,627.00</b>	<b>295,500.00</b>	<b>147,873.00</b>	<b>50.0</b>
<u>EMERGENCY MANAGMENT SERVICES</u>						
10-4212-110	SALARY & WAGES	.00	.00	5,900.00	5,900.00	.0
10-4212-130	EMPLOYEE BENEFITS	.00	.00	1,000.00	1,000.00	.0
10-4212-220	PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4212-230	TRAVEL & TRAINING	80.00	335.25	1,000.00	664.75	33.5
10-4212-240	OFFICE SUPPLIES & EXPENSE	.00	.00	200.00	200.00	.0
10-4212-250	EQUIP SUPPLIES & MAINTENANCE	1,106.64	4,153.10	2,000.00	( 2,153.10)	207.7
10-4212-310	PROFESSIONAL SERVICES	.00	177,802.09	190,000.00	12,197.91	93.6
10-4212-510	INSURANCE	.00	176.91	200.00	23.09	88.5
10-4212-610	MISCELLANEOUS	55.84	155.84	200.00	44.16	77.9
10-4212-740	EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
	<b>TOTAL EMERGENCY MANAGMENT SERVICE</b>	<b>1,242.48</b>	<b>182,623.19</b>	<b>205,600.00</b>	<b>22,976.81</b>	<b>88.8</b>

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<u>FIRST RESPONDERS</u>						
10-4215-110	SALARY & WAGES	.00	22,532.80	25,000.00	2,467.20	90.1
10-4215-130	EMPLOYEE BENEFITS	.00	1,367.47	2,700.00	1,332.53	50.7
10-4215-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	.00	200.00	200.00	.0
10-4215-230	TRAVEL & TRAINING	.00	7,273.29	10,800.00	3,526.71	67.4
10-4215-240	OFFICE SUPPLIES & EXPENSE	.00	.00	150.00	150.00	.0
10-4215-250	EQUIP SUPPLIES & MAINTENANCE	1,256.88	5,784.87	6,000.00	215.13	96.4
10-4215-280	TELEPHONE	.00	.00	1,200.00	1,200.00	.0
10-4215-310	PROFESSIONAL SERVICES	.00	199.00	300.00	101.00	66.3
10-4215-510	INSURANCE	.00	4,700.82	4,600.00	( 100.82)	102.2
10-4215-610	MISCELLANEOUS	.00	117.02	400.00	282.98	29.3
10-4215-740	EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
	<b>TOTAL FIRST RESPONDERS</b>	<b>1,256.88</b>	<b>41,975.27</b>	<b>56,350.00</b>	<b>14,374.73</b>	<b>74.5</b>
<u>FIRE DEPARTMENT</u>						
10-4220-110	SALARY & WAGES	.00	65,200.00	60,200.00	( 5,000.00)	108.3
10-4220-130	EMPLOYEE BENEFITS	.00	5,344.65	3,600.00	( 1,744.65)	148.5
10-4220-210	BOOKS, SUBSCRIP & MEMBERSHIPS	170.00	1,568.50	1,000.00	( 568.50)	156.9
10-4220-230	TRAVEL & TRAINING	10.00	11,145.08	15,000.00	3,854.92	74.3
10-4220-240	OFFICE SUPPLIES & EXPENSE	.00	117.71	500.00	382.29	23.5
10-4220-250	EQUIP SUPPLIES & MAINTENANCE	822.59	39,431.80	25,000.00	( 14,431.80)	157.7
10-4220-260	BLDG & GROUNDS SUPPLIES & MAIN	.00	1,307.15	2,500.00	1,192.85	52.3
10-4220-270	UTILITIES	514.08	2,092.53	9,000.00	6,907.47	23.3
10-4220-280	TELEPHONE	60.06	540.54	2,500.00	1,959.46	21.6
10-4220-285	INTERNET SERVICE	.00	.00	1,600.00	1,600.00	.0
10-4220-310	PROFESSIONAL SERVICES	111.00	121,742.75	129,000.00	7,257.25	94.4
10-4220-510	INSURANCE	.00	22,427.17	22,000.00	( 427.17)	101.9
10-4220-610	MISCELLANEOUS	.00	199.92	1,500.00	1,300.08	13.3
10-4220-740	EQUIPMENT	.00	10,714.56	10,000.00	( 714.56)	107.2
	<b>TOTAL FIRE DEPARTMENT</b>	<b>1,687.73</b>	<b>281,832.36</b>	<b>283,400.00</b>	<b>1,567.64</b>	<b>99.5</b>
<u>ANIMAL CONTROL</u>						
10-4253-110	SALARY & WAGES	1,616.04	14,845.60	38,900.00	24,054.40	38.2
10-4253-130	EMPLOYEE BENEFITS	123.62	1,135.64	3,600.00	2,464.36	31.6
10-4253-210	MEMBERSHIPS	.00	.00	80.00	80.00	.0
10-4253-220	PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4253-230	TRAVEL & TRAINING	.00	.00	3,500.00	3,500.00	.0
10-4253-250	EQUIP SUPPLIES & MAINTENANCE	.00	226.32	1,000.00	773.68	22.6
10-4253-280	TELEPHONE	40.00	400.00	1,000.00	600.00	40.0
10-4253-310	PROFESSIONAL SERVICES	.00	.00	3,500.00	3,500.00	.0
10-4253-480	SPECIAL DEPARTMENTAL SUPPLIES	.00	277.03	350.00	72.97	79.2
10-4253-510	INSURANCE	.00	470.47	500.00	29.53	94.1
10-4253-620	MISCELLANEOUS SERVICES	.00	.00	490.00	490.00	.0
	<b>TOTAL ANIMAL CONTROL</b>	<b>1,779.66</b>	<b>17,355.06</b>	<b>53,020.00</b>	<b>35,664.94</b>	<b>32.7</b>

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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ROADS</u>						
10-4410-110	SALARY & WAGES	5,276.70	49,383.31	101,800.00	52,416.69	48.5
10-4410-115	OVERTIME	729.22	11,553.63	10,000.00	( 1,553.63)	115.5
10-4410-120	SEASONAL/TEMPORARY EMPLOYEES	.00	.00	9,000.00	9,000.00	.0
10-4410-130	EMPLOYEE BENEFITS	1,662.83	20,964.50	65,500.00	44,535.50	32.0
10-4410-230	TRAVEL	.00	.00	2,000.00	2,000.00	.0
10-4410-240	OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4410-250	EQUIP SUPPLIES & MAINTENANCE	1,344.71	67,049.87	45,000.00	( 22,049.87)	149.0
10-4410-260	BLDG & GROUNDS SUP & MAINT	.00	309.00	5,000.00	4,691.00	6.2
10-4410-280	TELEPHONE	43.75	437.50	800.00	362.50	54.7
10-4410-310	PROFESSIONAL SERVICES	56.00	25,852.50	2,500.00	( 23,352.50)	1034.1
10-4410-410	ROAD MAINTENANCE	236.31	93,841.87	70,000.00	( 23,841.87)	134.1
10-4410-450	PUBLIC SAFETY SUPPLIES	.00	13,352.36	60,000.00	46,647.64	22.3
10-4410-480	SIDEWALK CONST & MAINT	5,456.22	106,670.19	235,000.00	128,329.81	45.4
10-4410-481	STREET TREE MAINTENANCE	.00	35,550.00	30,000.00	( 5,550.00)	118.5
10-4410-482	CURB & GUTTER CONST & MAINT	17,388.14	114,477.92	100,000.00	( 14,477.92)	114.5
10-4410-510	INSURANCE	.00	14,664.25	14,400.00	( 264.25)	101.8
10-4410-610	MISCELLANEOUS SUPPLIES	.00	.00	500.00	500.00	.0
10-4410-720	BUILDING IMPROVEMENTS	96,324.30	464,247.09	525,000.00	60,752.91	88.4
10-4410-740	EQUIPMENT	.00	550,101.99	551,500.00	1,398.01	99.8
10-4410-750	OTHER IMPROVEMENTS	2,148.90	497,928.47	1,495,000.00	997,071.53	33.3
	<b>TOTAL ROADS</b>	<b>130,667.08</b>	<b>2,066,384.45</b>	<b>3,323,100.00</b>	<b>1,256,715.55</b>	<b>62.2</b>
<u>SOLID WASTE COLLECTION</u>						
10-4420-240	OFFICE SUPPLIES & EXPENSE	.00	43.80	3,000.00	2,956.20	1.5
10-4420-310	CONTRACT SERVICES	91,755.85	808,502.48	980,000.00	171,497.52	82.5
10-4420-311	COMMUNITY CLEAN UP	.00	.00	8,000.00	8,000.00	.0
	<b>TOTAL SOLID WASTE COLLECTION</b>	<b>91,755.85</b>	<b>808,546.28</b>	<b>991,000.00</b>	<b>182,453.72</b>	<b>81.6</b>
<u>SHOP</u>						
10-4440-130	EMPLOYEE BENEFITS	.00	.00	9,900.00	9,900.00	.0
10-4440-250	EQUIP SUPPLIES & MAINTENANCE	505.56	2,761.33	11,000.00	8,238.67	25.1
10-4440-280	TELEPHONE	.00	.00	600.00	600.00	.0
10-4440-480	SPECIAL DEPARTMENTAL SUPPLIES	.00	257.91	1,000.00	742.09	25.8
10-4440-510	INSURANCE	.00	695.90	700.00	4.10	99.4
10-4440-610	MISCELLANEOUS	.00	.00	100.00	100.00	.0
	<b>TOTAL SHOP</b>	<b>505.56</b>	<b>3,715.14</b>	<b>23,300.00</b>	<b>19,584.86</b>	<b>15.9</b>

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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PARKS</u>						
10-4510-110	SALARY & WAGES	9,555.42	194,763.33	186,200.00	( 8,563.33)	104.6
10-4510-115	OVERTIME	547.54	5,973.99	4,000.00	( 1,973.99)	149.4
10-4510-120	SEASONAL/TEMPORARY EMPLOYEES	1,132.80	17,682.74	50,000.00	32,317.26	35.4
10-4510-130	EMPLOYEE BENEFITS	5,883.69	60,644.75	95,200.00	34,555.25	63.7
10-4510-230	TRAVEL & TRAINING	.00	1,110.00	300.00	( 810.00)	370.0
10-4510-250	EQUIPMENT SUPPLIES & MAINT	1,577.31	16,860.78	23,700.00	6,839.22	71.1
10-4510-252	CLOTHING AND PPC	322.24	1,005.34	1,300.00	294.66	77.3
10-4510-260	BLDG & GROUNDS SUP & MAINT	10,059.23	58,986.24	70,000.00	11,013.76	84.3
10-4510-280	TELEPHONE	50.00	361.13	1,200.00	838.87	30.1
10-4510-310	PROFESSIONAL SERVICES	153.00	65,578.53	75,000.00	9,421.47	87.4
10-4510-510	INSURANCE	.00	11,256.07	11,000.00	( 256.07)	102.3
10-4510-610	MISCELLANEOUS SUPPLIES	.00	970.07	400.00	( 570.07)	242.5
10-4510-620	MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4510-720	BUILDING IMPROVEMENTS	.00	.00	73,000.00	73,000.00	.0
10-4510-730	PARK IMPROVEMENTS	1,600.00	444,167.42	475,000.00	30,832.58	93.5
10-4510-740	EQUIPMENT	5,220.00	90,131.72	103,500.00	13,368.28	87.1
	<b>TOTAL PARKS</b>	<b>36,101.23</b>	<b>969,492.11</b>	<b>1,170,300.00</b>	<b>200,807.89</b>	<b>82.8</b>
<u>ENGINEERING</u>						
10-4550-110	SALARY & WAGES	2,418.83	23,864.04	57,000.00	33,135.96	41.9
10-4550-115	OVERTIME	151.23	1,886.40	.00	( 1,886.40)	.0
10-4550-130	EMPLOYEE BENEFITS	1,018.64	10,201.42	22,500.00	12,298.58	45.3
10-4550-210	BOOKS, SUBS & MEMBERSHIP	626.00	626.00	1,500.00	874.00	41.7
10-4550-230	TRAVEL & MEETINGS	.00	442.50	1,500.00	1,057.50	29.5
10-4550-240	OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4550-250	EQUIP SUPPLIES & MAINTENANCE	.00	1,158.97	10,000.00	8,841.03	11.6
10-4550-280	TELEPHONE	45.37	282.74	700.00	417.26	40.4
10-4550-310	PROFESSIONAL SERVICES	.00	2,350.00	5,000.00	2,650.00	47.0
10-4550-510	INSURANCE	.00	1,920.48	1,900.00	( 20.48)	101.1
10-4550-610	MISCELLANEOUS	.00	.00	50.00	50.00	.0
	<b>TOTAL ENGINEERING</b>	<b>4,260.07</b>	<b>42,732.55</b>	<b>100,250.00</b>	<b>57,517.45</b>	<b>42.6</b>

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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>RECREATION</u>						
10-4561-110	SALARY & WAGES	6,690.57	6,690.57	55,100.00	48,409.43	12.1
10-4561-120	SEASONAL/TEMPORARY EMPLOYEES	.00	10,016.00	9,700.00	( 316.00)	103.3
10-4561-130	EMPLOYEE BENEFITS	3,472.14	4,238.36	38,300.00	34,061.64	11.1
10-4561-220	PUBLIC NOTICES	.00	.00	500.00	500.00	.0
10-4561-240	OFFICE SUPPLIES & EXPENSE	.00	59.62	1,000.00	940.38	6.0
10-4561-250	EQUIPMENT SUPPLIES & EXPENSE	4,037.10	5,290.54	7,000.00	1,709.46	75.6
10-4561-280	TELEPHONE	25.00	25.00	.00	( 25.00)	.0
10-4561-480	SPECIAL DEPARTMENTAL SUPPLIES	.00	1,064.25	13,000.00	11,935.75	8.2
10-4561-481	FIELD PREPARATION SUPPLIES	.00	.00	30,000.00	30,000.00	.0
10-4561-510	INSURANCE	.00	2,980.75	3,000.00	19.25	99.4
10-4561-609	TOURNAMENT REGISTRATION	.00	.00	1,000.00	1,000.00	.0
10-4561-610	MISCELLANEOUS SUPPLIES	36.00	35.00	800.00	765.00	4.4
10-4561-620	MISCELLANEOUS SERVICES	39.00	9.00	10,000.00	9,991.00	.1
	<b>TOTAL RECREATION</b>	<b>14,299.81</b>	<b>30,409.09</b>	<b>169,400.00</b>	<b>138,990.91</b>	<b>18.0</b>
<u>MUSEUM</u>						
10-4562-110	SALARY & WAGES	5,331.74	52,590.57	62,000.00	9,409.43	84.8
10-4562-130	EMPLOYEE BENEFITS	964.68	9,808.17	12,000.00	2,191.83	81.7
10-4562-210	BOOKS, SUBSCRIP & MEMBERSHIPS	118.00	818.35	650.00	( 168.35)	125.9
10-4562-220	MUSEUM PROMOTION	24.97	1,617.23	800.00	( 817.23)	202.2
10-4562-230	TRAVEL	341.89	3,851.92	3,000.00	( 851.92)	128.4
10-4562-240	OFFICE SUPPLIES	39.33	388.31	600.00	211.69	64.7
10-4562-250	EQUIP SUPPLIES & MAINTENANCE	.00	631.32	750.00	118.68	84.2
10-4562-260	BLDG & GRNDS SUPPLIES & MAINT	63.00	274.55	100.00	( 174.55)	274.6
10-4562-280	TELEPHONE	52.00	624.00	650.00	26.00	96.0
10-4562-310	CONTRACT SERVICES	38.99	38.99	.00	( 38.99)	.0
10-4562-480	MUSEUM ARTIFACTS & MATERIALS	.00	632.55	1,000.00	367.45	63.3
10-4562-510	INSURANCE	.00	879.36	900.00	20.64	97.7
10-4562-610	MISCELLANEOUS	80.66	1,393.18	1,000.00	( 393.18)	139.3
10-4562-720	BUILDING IMPROVEMENTS	.00	5,635.93	10,000.00	4,364.07	56.4
	<b>TOTAL MUSEUM</b>	<b>7,055.26</b>	<b>79,184.43</b>	<b>93,450.00</b>	<b>14,265.57</b>	<b>84.7</b>
<u>YOUTH COUNCIL</u>						
10-4563-210	MEMBERSHIPS	.00	.00	50.00	50.00	.0
10-4563-230	TRAVEL & TRAINING	52.99	3,664.04	5,000.00	1,335.96	73.3
10-4563-250	EQUIP SUPPLIES & MAINTENANCE	.00	.00	1,000.00	1,000.00	.0
10-4563-610	MISCELLANEOUS SUPPLIES	.00	2,014.20	5,000.00	2,985.80	40.3
10-4563-620	MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
	<b>TOTAL YOUTH COUNCIL</b>	<b>52.99</b>	<b>5,678.24</b>	<b>11,550.00</b>	<b>5,871.76</b>	<b>49.2</b>

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<u>SENIOR CITIZENS</u>						
10-4564-110	SALARY & WAGES	4,698.43	46,196.04	67,300.00	21,103.96	68.6
10-4564-115	OVERTIME	.00	.00	1,000.00	1,000.00	.0
10-4564-130	EMPLOYEE BENEFITS	922.11	8,891.40	13,200.00	4,308.60	67.4
10-4564-220	PUBLIC NOTICES	.00	.00	400.00	400.00	.0
10-4564-230	TRAVEL & TRAINING	512.61	1,920.24	10,000.00	8,079.76	19.2
10-4564-240	OFFICE SUPPLIES	12.77	234.34	500.00	265.66	46.9
10-4564-250	EQUIP SUPPLIES & MAINTENANCE	97.85	885.20	6,000.00	5,114.80	14.8
10-4564-260	BLDG & GROUNDS SUP & MAINT	350.00	3,046.40	3,000.00	( 46.40)	101.6
10-4564-270	UTILITIES	107.03	1,053.76	2,500.00	1,446.24	42.2
10-4564-280	TELEPHONE	42.87	546.88	1,000.00	453.12	54.7
10-4564-285	INTERNET SERVICE	89.95	1,458.13	3,000.00	1,541.87	48.6
10-4564-480	FOOD COST	106.18	2,727.97	15,000.00	12,272.03	18.2
10-4564-510	INSURANCE	.00	6,137.33	6,000.00	( 137.33)	102.3
10-4564-610	MISCELLANEOUS SUPPLIES	925.48	8,848.44	15,000.00	6,151.56	59.0
10-4564-620	MISCELLANEOUS SERVICES	60.54	5,228.54	11,500.00	6,271.46	45.5
10-4564-720	BUILDINGS	.00	5,066.97	14,000.00	8,933.03	36.2
TOTAL SENIOR CITIZENS		7,925.82	92,241.64	169,400.00	77,158.36	54.5

<u>LIBRARY DEPARTMENT</u>						
10-4580-110	SALARY & WAGES	18,477.62	176,916.07	240,900.00	63,983.93	73.4
10-4580-115	OVERTIME	.00	162.70	.00	( 162.70)	.0
10-4580-130	EMPLOYEE BENEFITS	4,682.56	45,356.33	64,700.00	19,343.67	70.1
10-4580-210	BOOKS, SUBSCRIP & MEMBERSHIPS	1.99	1,986.14	3,000.00	1,013.86	66.2
10-4580-220	LIBRARY PROMOTION	338.47	3,867.42	8,000.00	4,132.58	48.3
10-4580-230	TRAVEL	359.63	374.63	1,500.00	1,125.37	25.0
10-4580-240	OFFICE SUPPLIES & EXPENSE	675.96	6,456.72	7,000.00	543.28	92.2
10-4580-250	EQUIPMENT SUPPLIES & MAINT	526.00	10,305.03	10,000.00	( 305.03)	103.1
10-4580-260	BLDG SUPPLIES & MAINT	6,890.97	25,024.51	20,000.00	( 5,024.51)	125.1
10-4580-270	UTILITIES	632.36	6,520.26	10,000.00	3,479.74	65.2
10-4580-280	TELEPHONE	516.24	2,472.69	3,000.00	527.31	82.4
10-4580-285	INTERNET SERVICE	92.40	934.26	1,000.00	65.74	93.4
10-4580-310	PROFESSIONAL SERVICES	216.48	2,006.62	1,100.00	( 906.62)	182.4
10-4580-480	LIBRARY BOOKS & MATERIALS	2,742.18	27,016.30	32,000.00	4,983.70	84.4
10-4580-481	LIBRARY TAPES	1,091.72	8,274.53	10,000.00	1,725.47	82.8
10-4580-510	INSURANCE	.00	17,268.50	16,900.00	( 368.50)	102.2
10-4580-609	STATE GRANT	.00	469.26	6,500.00	6,030.74	7.2
10-4580-610	MISCELLANEOUS SUPPLIES	.00	94.69	500.00	405.31	18.9
10-4580-620	MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4580-740	EQUIPMENT	.00	13,126.67	18,000.00	4,873.33	72.9
TOTAL LIBRARY DEPARTMENT		37,244.58	348,633.33	454,600.00	105,966.67	76.7

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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CEMETERY</u>						
10-4590-110	SALARY & WAGES	1,408.31	13,790.99	26,400.00	12,609.01	52.2
10-4590-115	OVERTIME	164.25	1,365.34	3,000.00	1,634.66	45.5
10-4590-120	SEASONAL/TEMPORARY EMPLOYEES	.00	.00	8,000.00	8,000.00	.0
10-4590-130	EMPLOYEE BENEFITS	556.34	5,780.60	12,400.00	6,619.40	46.6
10-4590-240	OFFICE SUPPLIES & EXPENSE	.00	.00	300.00	300.00	.0
10-4590-250	EQUIPMENT SUPPLIES & MAINT	300.00	300.00	7,000.00	6,700.00	4.3
10-4590-260	BLDG & GROUNDS SUP & MAINT	1,314.95	7,274.95	6,000.00	( 1,274.95)	121.3
10-4590-280	TELEPHONE	18.75	187.50	150.00	( 37.50)	125.0
10-4590-310	PROFESSIONAL SERVICES	6,400.00	36,800.00	55,000.00	18,200.00	66.9
10-4590-510	INSURANCE	.00	2,008.94	2,000.00	( 8.94)	100.5
10-4590-610	MISCELLANEOUS	.00	17.00	500.00	483.00	3.4
10-4590-730	CEMETERY IMPROVEMENTS	.00	29,504.28	85,000.00	55,495.72	34.7
	<b>TOTAL CEMETERY</b>	<b>10,162.60</b>	<b>97,029.60</b>	<b>205,750.00</b>	<b>108,720.40</b>	<b>47.2</b>
<u>COMMUNITY PROGRESS</u>						
10-4620-210	NIGHT OUT AGAINST CRIME	.00	1,155.00	1,200.00	45.00	96.3
10-4620-211	EASTER EGG HUNT	1,140.60	1,657.31	1,200.00	( 457.31)	138.1
10-4620-212	BUSINESS CONFERENCE	.00	.00	1,000.00	1,000.00	.0
10-4620-220	HOLIDAY AT HARDWARE	.00	1,155.87	2,000.00	844.13	57.8
10-4620-240	PHOTOGRAPHY & SCRAPBOOK	.00	.00	600.00	600.00	.0
10-4620-250	PARADE FLOAT SUPPLIES & PULL	.00	.00	1,000.00	1,000.00	.0
10-4620-510	INSURANCE	.00	414.47	450.00	35.53	92.1
10-4620-610	MISCELLANEOUS SUPPLIES	.00	825.60	3,000.00	2,174.40	27.5
10-4620-611	4TH OF JULY	.00	15,931.04	25,000.00	9,068.96	63.7
10-4620-614	MASS TRANSIT-CVT	.00	165,174.02	340,000.00	174,825.98	48.6
10-4620-615	KILGORE TAX 50% TAX	85,138.53	85,138.53	100,000.00	14,861.47	85.1
10-4620-620	MISCELLANEOUS SERVICES	.00	.00	1,000.00	1,000.00	.0
10-4620-621	HYRUM HORNETS	2,000.00	2,000.00	2,000.00	.00	100.0
	<b>TOTAL COMMUNITY PROGRESS</b>	<b>88,279.13</b>	<b>273,451.84</b>	<b>478,450.00</b>	<b>204,998.16</b>	<b>57.2</b>
<u>CAPITAL PROJECT EXPENSE</u>						
10-4800-921	CONTRIBUTION - CAPITAL PROJECT	.00	.00	450,000.00	450,000.00	.0
	<b>TOTAL CAPITAL PROJECT EXPENSE</b>	<b>.00</b>	<b>.00</b>	<b>450,000.00</b>	<b>450,000.00</b>	<b>.0</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>489,854.75</b>	<b>6,014,454.83</b>	<b>9,778,370.00</b>	<b>3,763,915.17</b>	<b>61.5</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>314,222.14</b>	<b>575,371.43</b>	<b>.00</b>	<b>( 575,371.43)</b>	<b>.0</b>

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HYRUM CITY CORPORATION  
BALANCE SHEET  
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CAPITAL PROJECTS FUND

ASSETS

45-1010000	CASH IN COMBINED FUND		25,851.56	
	TOTAL ASSETS			25,851.56

LIABILITIES AND EQUITY

FUND EQUITY

	UNAPPROPRIATED FUND BALANCE:			
45-2951000	CAP PROJ - UNAPPROPRIATED	1,725,341.03		
	REVENUE OVER EXPENDITURES - YTD	( 1,699,489.47)		
	BALANCE - CURRENT DATE		25,851.56	
	TOTAL FUND EQUITY			25,851.56
	TOTAL LIABILITIES AND EQUITY			25,851.56

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HYRUM CITY CORPORATION  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 10 MONTHS ENDING APRIL 30, 2025

CAPITAL PROJECTS FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>GRANT REVENUE</u>						
45-3342	GENERAL FUND TRANSFER	.00	.00	450,000.00	450,000.00	.0
	TOTAL GRANT REVENUE	.00	.00	450,000.00	450,000.00	.0
<u>MISCELLANEOUS REVENUES</u>						
45-3620	INTEREST EARNINGS	720.69	40,614.78	100,000.00	59,385.22	40.6
	TOTAL MISCELLANEOUS REVENUES	720.69	40,614.78	100,000.00	59,385.22	40.6
<u>INTERGOVERNMENTAL REVENUE</u>						
45-3895	TRANS FROM CAPITAL PROJ UNAP	.00	.00	1,569,000.00	1,569,000.00	.0
	TOTAL INTERGOVERNMENTAL REVENUE	.00	.00	1,569,000.00	1,569,000.00	.0
	TOTAL FUND REVENUE	720.69	40,614.78	2,119,000.00	2,078,385.22	1.9

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HYRUM CITY CORPORATION  
 EXPENDITURES WITH COMPARISON TO BUDGET  
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CAPITAL PROJECTS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>FIRE DEPARTMENT</u>					
45-4220-740 NEW FIRE ENGINE	911.83	483,313.35	400,000.00	( 83,313.35)	120.8
TOTAL FIRE DEPARTMENT	911.83	483,313.35	400,000.00	( 83,313.35)	120.8
<u>PARKS</u>					
45-4510-730 BLACKSMITH FORK PARK	11,968.00	85,154.44	.00	( 85,154.44)	.0
45-4510-732 WEST PARK	7,950.00	20,125.50	500,000.00	479,874.50	4.0
45-4510-733 EAST PARK	154,683.00	1,151,510.96	1,219,000.00	67,489.04	94.5
TOTAL PARKS	174,601.00	1,256,790.90	1,719,000.00	462,209.10	73.1
TOTAL FUND EXPENDITURES	175,512.83	1,740,104.25	2,119,000.00	378,895.75	82.1
NET REVENUE OVER EXPENDITURES	( 174,792.14)	( 1,699,489.47)	.00	1,699,489.47	.0

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HYRUM CITY CORPORATION  
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WATER UTILITY FUND

ASSETS

51-1010000	CASH IN COMBINED FUND	2,739,970.49	
51-1311000	ACCTS REC - UTILITIES	60,936.37	
51-1311001	ACCTS REC - PRIOR PERIOD	97,159.65	
51-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	( 2,458.44)	
51-1511510	INVENTORY - WATER	298,922.84	
51-1561100	PPD EXPENSE-CHLORINE DEPOSIT	2,250.00	
51-1571000	DEFERRED OUTFLOW OF RESOURCES	77,768.00	
51-1611000	LAND & STOCK - WATER UTILITY	1,529,997.44	
51-1621000	BUILDINGS - WATER UTILITY	440,701.72	
51-1622000	DEPRECIATION - WATER BUILDINGS	( 278,544.74)	
51-1631000	WATER STORAGE & DIST SYSTEM	12,943,583.95	
51-1632000	DEPREC - WATER DIST SYSTEM	( 7,184,339.43)	
51-1642000	WATER IMPROVEMENTS	( 1,179,759.00)	
51-1651000	EQUIPMENT - WATER UTILITY	2,238,350.88	
51-1652000	DEPRECIATION - WATER EQUIPMENT	( 1,366,722.79)	
51-1711000	CONSTRUCTION IN PROGRESS	477,244.14	
		10,895,061.08	10,895,061.08

LIABILITIES AND EQUITY

LIABILITIES

51-2131000	ACCTS PAY - WATER FUND	5,365.20	
51-2228000	ACCRUED VACATION - WATER	36,533.87	
51-2228001	DEFERRED INFLOWS OF RESOURCES	191.00	
51-2228002	UNFUNDED PENSION PAYABLE	43,878.00	
51-2230100	ACCRUED SICK LEAVE - WATER	72,092.34	
		158,060.41	158,060.41

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
51-2951000	WATER FUND - UNAPPROPRIATED	10,536,164.24	
51-2971001	UNFUNDED PENSION ADJ.	( 76,159.00)	
	REVENUE OVER EXPENDITURES - YTD	276,995.43	
		10,737,000.67	10,737,000.67
	BALANCE - CURRENT DATE	10,737,000.67	
	TOTAL FUND EQUITY	10,737,000.67	10,737,000.67
	TOTAL LIABILITIES AND EQUITY	10,895,061.08	10,895,061.08

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WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
51-3711 METERED WATER SALES	119,756.57	1,252,193.46	1,600,000.00	347,806.54	78.3
51-3714 NEW CONNECTION FEES	2,565.86	26,309.86	34,000.00	7,690.14	77.4
51-3718 SALE OF MATERIALS	.00	.00	1,000.00	1,000.00	.0
51-3719 MISCELLANEOUS REVENUES	.00	.00	5,000.00	5,000.00	.0
51-3721 INTEREST EARNINGS	9,639.16	101,874.45	158,000.00	56,125.55	64.5
51-3725 IMPACT FEE - "BUY-IN"	344.00	9,976.00	13,760.00	3,784.00	72.5
51-3726 IMPACT FEE - STORAGE	1,782.00	51,678.00	71,280.00	19,602.00	72.5
51-3727 IMPACT FEE - DISTRIBUTION	2,848.00	82,592.00	113,920.00	31,328.00	72.5
51-3729 IMPACT FEE - PROFESSIONAL SERV	22.00	638.00	880.00	242.00	72.5
51-3742 RENT - NON-OPERATING PROPERTY	.00	13,500.00	31,800.00	18,300.00	42.5
TOTAL UTILITY REVENUES	136,957.59	1,538,761.77	2,029,640.00	490,878.23	75.8
TOTAL FUND REVENUE	136,957.59	1,538,761.77	2,029,640.00	490,878.23	75.8

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HYRUM CITY CORPORATION  
 EXPENDITURES WITH COMPARISON TO BUDGET  
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WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>WATER DEPARTMENT</u>					
51-5100-110	SALARIES AND WAGES	22,778.60	221,007.25	458,600.00	237,592.75 48.2
51-5100-115	OVERTIME	1,069.55	17,058.79	4,000.00 (	13,058.79) 426.5
51-5100-116	STANDBY TIME	1,060.50	10,869.26	13,400.00	2,530.74 81.1
51-5100-120	SEASONAL	.00	.00	14,400.00	14,400.00 .0
51-5100-130	EMPLOYEE BENEFITS	10,144.07	108,215.74	235,700.00	127,484.26 45.9
51-5100-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	1,582.00	1,700.00	118.00 93.1
51-5100-220	PUBLIC NOTICES	.00	547.84	250.00 (	297.84) 219.1
51-5100-230	TRAVEL & TRAINING	.00	2,109.00	10,000.00	7,891.00 21.1
51-5100-240	OFFICE SUPPLIES AND EXPENSE	.00	8,620.66	5,000.00 (	3,620.66) 172.4
51-5100-250	EQUIP SUPPLIES & MAINTENANCE	2,928.92	32,040.02	41,100.00	9,059.98 78.0
51-5100-252	CLOTHING AND PPC	.00	1,388.43	6,500.00	5,111.57 21.4
51-5100-255	DISTRIB SYSTEM MAINTENANCE	6,496.16	180,316.29	260,000.00	79,683.71 69.4
51-5100-260	BLDG & GROUNDS SUP & MAINT	185.87	16,514.75	3,000.00 (	13,514.75) 550.5
51-5100-270	UTILITIES	10,796.04	116,304.41	120,000.00	3,695.59 96.9
51-5100-280	TELEPHONE	690.57	4,303.42	4,000.00 (	303.42) 107.6
51-5100-310	PROFESSIONAL SERVICES	7,059.78	38,973.27	20,000.00 (	18,973.27) 194.9
51-5100-510	INSURANCE	.00	10,542.88	10,350.00 (	192.88) 101.9
51-5100-610	MISCELLANEOUS SUPPLIES	.00	3.55	1,000.00	996.45 .4
51-5100-720	BUILDINGS	.00	.00	20,000.00	20,000.00 .0
51-5100-740	EQUIPMENT	70,896.16	267,317.34	283,000.00	15,682.66 94.5
51-5100-750	NEW CONSTRUCTION	( 52,429.74)	224,051.44	2,130,000.00	1,905,948.56 10.5
51-5100-950	CONTRIBUTION - RESTRICTED FB	.00	.00	113,920.00	113,920.00 .0
TOTAL WATER DEPARTMENT		81,676.48	1,261,766.34	3,755,920.00	2,494,153.66 33.6
TOTAL FUND EXPENDITURES		81,676.48	1,261,766.34	3,755,920.00	2,494,153.66 33.6
NET REVENUE OVER EXPENDITURES		55,281.11	276,995.43	( 1,726,280.00)	( 2,003,275.43) 16.1

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HYRUM CITY CORPORATION  
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SEWER UTILITY FUND

ASSETS

52-1010000	CASH IN COMBINED FUND	5,301,048.71	
52-1311000	ACCTS REC - UTILITIES	170,228.60	
52-1311001	ACCTS REC - PRIOR PERIOD	119,431.09	
52-1311002	LEASE RECEIVABLE	243,834.48	
52-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	( 858.97)	
52-1561103	PPD EXPENSE - CHLORINE DEPOSIT	3,000.00	
52-1571000	DEFERRED OUTFLOW OF RESOURCES	87,938.00	
52-1611000	LAND - SEWER UTILITY	587,937.49	
52-1621000	PLANT & EQUIP - SEWER UTILITY	14,659,068.64	
52-1622000	DEPRECIATION - SEWER PLANT	( 8,140,352.48)	
52-1631000	SEWERAGE COLLECTION SYSTEM	3,283,195.77	
52-1632000	DEPREC - SEWER COLLECT SYSTEM	( 215,917.06)	
52-1642000	DEPREC - SEWER IMPROVEMENTS	( 3,141,898.00)	
52-1651000	EQUIPMENT - SEWER UTILITY	430,424.71	
52-1652000	DEPRECIATION - SEWER EQUIPMENT	( 359,553.81)	
52-1711000	CONSTRUCTION IN PROGRESS	12,998.64	
52-1801240	RESTRICTED CASH-DEBT SERVICE	172,981.20	
52-1801250	RESTRICTED CASH-O&M RESERVE	233,944.65	
	TOTAL ASSETS		13,447,451.66

LIABILITIES AND EQUITY

LIABILITIES

52-2131000	ACCTS PAY - SEWER FUND	568.57	
52-2228000	ACCRUED VACATION - SEWER	25,056.25	
52-2228001	DEFERRED INFLOWS OF RESOURCES	216.00	
52-2228002	UNFUNDED PENSION PAYABLE	49,616.00	
52-2228003	DEFERRED INFLOWS OF RESOURCES-	218,345.40	
52-2230100	ACCRUED SICK LEAVE - SEWER	25,015.60	
52-2500001	BONDS PAYABLE-WWTP	2,266,794.63	
52-2551100	ACCRUED INT PAY - NEW PLANT	434.73	
	TOTAL LIABILITIES		2,586,047.18

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
52-2951000	SEWER FUND - UNAPPROPRIATED	9,987,763.60	
52-2951522	SEWER FUND - RESTRICTED	406,925.85	
52-2971001	UNFUNDED PENSION ADJ.	( 101,846.00)	
	REVENUE OVER EXPENDITURES - YTD	568,561.03	
	BALANCE - CURRENT DATE		10,861,404.48
	TOTAL FUND EQUITY		10,861,404.48
	TOTAL LIABILITIES AND EQUITY		13,447,451.66

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HYRUM CITY CORPORATION  
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SEWER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
52-3731 SEWER SERVICE	199,321.51	1,966,887.76	2,400,000.00	433,112.24	82.0
52-3740 CUSTOMER SERVICE FEES	154.00	2,954.00	5,000.00	2,046.00	59.1
52-3741 INTEREST EARNINGS	21,858.92	227,281.94	225,500.00	( 1,781.94)	100.8
52-3742 RENT - NON-OPERATING PROPERTY	.00	17,361.94	17,400.00	38.06	99.8
52-3744 MISCELLANEOUS REVENUES	420.00	1,972.19	5,000.00	3,027.81	39.4
52-3747 IMPACT FEE - COLLECTION	1,308.00	25,724.00	34,900.00	9,176.00	73.7
52-3748 IMPACT FEE - TREATMENT	5,767.26	113,422.78	150,000.00	36,577.22	75.6
TOTAL UTILITY REVENUES	228,829.69	2,355,604.61	2,837,800.00	482,195.39	83.0
TOTAL FUND REVENUE	228,829.69	2,355,604.61	2,837,800.00	482,195.39	83.0

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SEWER UTILITY FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>SEWER DEPARTMENT</u>						
52-5200-110	SALARIES AND WAGES	27,869.75	303,674.01	452,600.00	148,925.99	67.1
52-5200-115	OVERTIME	1,368.51	17,900.27	20,000.00	2,099.73	89.5
52-5200-116	ON CALL PAY	1,073.88	10,560.90	15,000.00	4,439.10	70.4
52-5200-120	SEASONAL/TEMPORARY EMPLOYEES	.00	.00	2,000.00	2,000.00	.0
52-5200-130	EMPLOYEE BENEFITS	12,618.55	144,832.01	228,700.00	83,867.99	63.3
52-5200-210	BOOKS, SUBSCRIPTIONS & MEMBERS	.00	285.00	2,000.00	1,715.00	14.3
52-5200-220	PUBLIC NOTICES	254.98	507.34	500.00	( 7.34)	101.5
52-5200-230	TRAVEL & TRAINING	1,569.67	5,248.60	20,000.00	14,751.40	26.2
52-5200-240	OFFICE SUPPLIES & EXPENSE	722.50	8,665.77	6,000.00	( 2,665.77)	144.4
52-5200-250	LAB SUPPLIES	412.87	7,238.52	5,000.00	( 2,238.52)	144.8
52-5200-251	WATER REUSE EQUIP SUP & MAINT	.00	.00	1,000.00	1,000.00	.0
52-5200-252	CLOTHING AND PPC	.00	1,441.14	3,250.00	1,808.86	44.3
52-5200-254	PLANT EQUIP SUP & MAINT	23,188.04	76,853.96	250,000.00	173,146.04	30.7
52-5200-255	COLLECTION SYSTEM MAINTENANCE	.00	87,611.94	212,000.00	124,388.06	41.3
52-5200-256	MBR CLEANING CHEMICALS	.00	29,432.90	50,000.00	20,567.10	58.9
52-5200-257	ALUMINUM SULFATE	11,767.72	76,260.10	110,000.00	33,739.90	69.3
52-5200-258	POLYMER	.00	8,522.42	17,000.00	8,477.58	50.1
52-5200-260	BLDG & GROUNDS SUP & MAINT	236.64	8,460.40	4,000.00	( 4,460.40)	211.5
52-5200-270	UTILITIES	23,742.01	265,593.41	340,000.00	74,406.59	78.1
52-5200-280	TELEPHONE	489.04	4,303.69	4,500.00	196.31	95.6
52-5200-285	INTERNET SERVICE	542.40	4,892.64	6,000.00	1,107.36	81.5
52-5200-310	PROFESSIONAL SERVICES	10,415.50	116,506.28	250,000.00	133,493.72	46.6
52-5200-311	PRETREATMENT PROGRAM	.00	.00	30,000.00	30,000.00	.0
52-5200-510	INSURANCE	.00	26,765.15	26,200.00	( 565.15)	102.2
52-5200-610	MISCELLANEOUS	.00	396.95	2,000.00	1,603.05	19.9
52-5200-700	AMORTIZATION OF BOND COSTS	.00	.00	2,500.00	2,500.00	.0
52-5200-740	EQUIPMENT	.00	33,500.00	110,000.00	76,500.00	30.5
52-5200-750	NEW CONSTRUCTION	429,364.85	477,930.18	1,200,000.00	722,069.82	39.8
52-5200-812	DEBT SERVICE-WWTP	3,708.59	36,843.79	44,300.00	7,456.21	83.2
52-5200-822	DEBT SERVICE-INT. WWTP	3,257.41	32,816.21	39,400.00	6,583.79	83.3
	TOTAL SEWER DEPARTMENT	552,602.91	1,787,043.58	3,453,950.00	1,666,906.42	51.7
	TOTAL FUND EXPENDITURES	552,602.91	1,787,043.58	3,453,950.00	1,666,906.42	51.7
	NET REVENUE OVER EXPENDITURES	( 323,773.22)	568,561.03	( 616,150.00)	( 1,184,711.03)	92.3

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HYRUM CITY CORPORATION  
BALANCE SHEET  
APRIL 30, 2025

ELECTRIC UTILITY FUND

ASSETS

53-1010000	CASH IN COMBINED FUND	6,235,364.58	
53-1311000	ACCTS REC - UTILITIES	578,493.86	
53-1311001	ACCTS REC - PRIOR PERIOD	782,829.73	
53-1311710	DEFERRED COLL. COST	( 11,515.16)	
53-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	( 6,470.18)	
53-1511510	INVENTORY - ELECTRIC	1,785,294.90	
53-1565530	RIGHT OF USE ASSET	32,311.00	
53-1565531	ACCUMULATED AMORTIZATION	( 32,068.26)	
53-1565532	ACC. AMORTIZATION-SAN JUAN	( 1,784,730.20)	
53-1571000	DEFERRED OUTFLOW OF RESOURCES	232,708.00	
53-1611000	LAND - ELECTRIC UTILITY	823,439.55	
53-1621000	BUILDINGS - ELECTRIC UTILITY	1,494,900.33	
53-1621100	SAN JUAN POWER PURCHASE	1,784,730.20	
53-1621500	PAYSON POWER PURCHASE	101,111.59	
53-1622000	DEPRECIATION - ELEC BUILDINGS	( 638,315.76)	
53-1631000	ELEC POWER DISTRIBUTION SYSTEM	9,275,987.63	
53-1632000	DEPREC - POWER DIST SYSTEM	( 4,782,555.99)	
53-1642000	DEPREC - ELECTRIC IMPROVEMENTS	( 67,468.08)	
53-1651000	EQUIPMENT - ELECTRIC UTILITY	3,141,132.01	
53-1652000	DEPRECIATION - ELEC EQUIPMENT	( 2,027,753.71)	
53-1711000	CONSTRUCTION IN PROGRESS	4,851,025.52	
	TOTAL ASSETS		21,768,451.56

LIABILITIES AND EQUITY

LIABILITIES

53-2131000	ACCTS PAY - ELECTRIC	( 17,775.00)	
53-2131500	ACCTS PAY - UTILITY DEPOSITS	509,773.41	
53-2228000	ACCRUED VACATION - ELECTRIC	96,885.61	
53-2228001	DEFERRED INFLOWS OF RESOURCES	572.00	
53-2228002	UNFUNDED PENSION PAYABLE	131,297.00	
53-2228003	LEASE LIABILITY	( .26)	
53-2230100	ACCRUED SICK LEAVE - ELECTRIC	107,865.89	
53-2411100	STATE SALES TAX PAYABLE	16,194.88	
53-2411101	SALES TAX PAY - NON CURRENT	13,673.37	
53-2411102	SALES TAX - NON CITY	337.51	
	TOTAL LIABILITIES		858,824.41

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
53-2951000	ELECTRIC FUND - UNAPPROPRIATED	17,519,004.53	
53-2971001	UNFUNDED PENSION ADJ.	( 183,539.00)	
	REVENUE OVER EXPENDITURES - YTD	3,574,161.62	
	BALANCE - CURRENT DATE		20,909,627.15
	TOTAL FUND EQUITY		20,909,627.15

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HYRUM CITY CORPORATION  
BALANCE SHEET  
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ELECTRIC UTILITY FUND

TOTAL LIABILITIES AND EQUITY

21,768,451.56

Section 11. Item D.

HYRUM CITY CORPORATION  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 10 MONTHS ENDING APRIL 30, 2025

ELECTRIC UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES ENERGY SALES</u>					
53-3145 ENERGY SALES AND USE TAX	44,833.41	473,772.16	550,000.00	76,227.84	86.1
TOTAL UTILITY REVENUES ENERGY SALES	44,833.41	473,772.16	550,000.00	76,227.84	86.1
<u>UTILITY REVENUES</u>					
53-3751 METERED ENERGY SALES	994,472.33	10,488,665.51	14,100,000.00	3,611,334.49	74.4
53-3752 ENERGY DISCOUNTS	( 8,475.10)	( 137,582.60)	( 105,000.00)	32,582.60	(131.0)
53-3755 NEW CONNECTION FEES	1,500.00	51,358.68	85,000.00	33,641.32	60.4
53-3757 SALE OF MATERIALS	.00	87,144.82	500.00	( 86,644.82)	17429.
53-3758 CUSTOMER SERVICE & MISC	3,518.97	1,165,146.37	255,000.00	( 910,146.37)	456.9
53-3761 INTEREST EARNINGS	25,191.93	220,495.52	152,000.00	( 68,495.52)	145.1
53-3764 LABOR	312.50	46,687.50	15,000.00	( 31,687.50)	311.3
53-3765 EQUIPMENT	190.00	28,055.00	15,000.00	( 13,055.00)	187.0
53-3766 MATERIALS	1,339.45	160,638.97	15,000.00	( 145,638.97)	1070.9
53-3767 IMPACT FEE - DISTRIBUTION	9,885.00	100,452.00	101,200.00	748.00	99.3
TOTAL UTILITY REVENUES	1,027,935.08	12,211,061.77	14,633,700.00	2,422,638.23	83.4
TOTAL FUND REVENUE	1,072,768.49	12,684,833.93	15,183,700.00	2,498,866.07	83.5

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HYRUM CITY CORPORATION  
 EXPENDITURES WITH COMPARISON TO BUDGET  
 FOR THE 10 MONTHS ENDING APRIL 30, 2025

ELECTRIC UTILITY FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ELECTRIC DEPARTMENT</u>						
53-5300-110	SALARIES AND WAGES	75,583.60	740,724.27	1,229,800.00	489,075.73	60.2
53-5300-115	OVERTIME	3,433.14	33,754.33	25,000.00	( 8,754.33)	135.0
53-5300-116	STANDBY TIME	1,057.00	10,909.76	13,400.00	2,490.24	81.4
53-5300-120	SEASONAL/TEMPORARY EMPLOYEES	.00	3,814.98	20,000.00	16,185.02	19.1
53-5300-130	EMPLOYEE BENEFITS	33,337.09	333,500.79	576,400.00	242,899.21	57.9
53-5300-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	447.70	2,900.00	2,452.30	15.4
53-5300-220	PUBLIC NOTICES	.00	117.70	250.00	132.30	47.1
53-5300-230	TRAVEL & TRAINING	1,487.56	11,559.92	20,000.00	8,440.08	57.8
53-5300-240	OFFICE SUPPLIES AND EXPENSE	419.98	8,961.25	10,000.00	1,038.75	89.6
53-5300-250	EQUIP SUPPLIES & MAINTENANCE	5,908.78	53,935.68	125,000.00	71,064.32	43.2
53-5300-252	CLOTHING AND PPC	.00	8,726.68	9,000.00	273.32	97.0
53-5300-255	GEN & DIST SYSTEM MAINTENANCE	92,591.02	274,518.45	925,000.00	650,481.55	29.7
53-5300-256	TREE CITY/CONSUMER ED.	.00	80,479.52	105,000.00	24,520.48	76.7
53-5300-257	GENERATION COSTS	50,607.46	321,740.87	830,000.00	508,259.13	38.8
53-5300-258	CHRISTMAS DECORATIONS	1,160.00	2,320.00	10,000.00	7,680.00	23.2
53-5300-259	HYDRO PLANT MAINTENANCE	( 792.87)	5,031.40	75,000.00	69,968.60	6.7
53-5300-260	BLDGS & GROUNDS SUP & MAINT	758.17	7,985.42	35,000.00	27,014.58	22.8
53-5300-270	UTILITIES	931.53	10,387.82	16,000.00	5,612.18	64.9
53-5300-280	TELEPHONE	1,145.25	8,594.67	12,000.00	3,405.33	71.6
53-5300-285	INTERNET SERVICE	165.00	1,440.00	2,500.00	1,060.00	57.6
53-5300-310	PROFESSIONAL SERVICES	4,871.22	48,565.44	65,000.00	16,434.56	74.7
53-5300-510	INSURANCE	.00	33,557.12	32,800.00	( 757.12)	102.3
53-5300-610	MISCELLANEOUS SUPPLIES	1,277.48	11,116.94	10,000.00	( 1,116.94)	111.2
53-5300-620	MISCELLANEOUS SERVICES	6,365.91	55,328.92	60,000.00	4,671.08	92.2
53-5300-630	POWER PURCHASE	625,328.65	5,628,572.50	9,100,000.00	3,471,427.50	61.9
53-5300-735	CANYON PARK IMPROVEMENTS	.00	.00	3,500.00	3,500.00	.0
53-5300-740	EQUIPMENT	100,000.00	154,058.99	160,000.00	5,941.01	96.3
53-5300-750	NEW CONSTRUC, SPECIAL PROJECTS	10,980.91	399,056.14	680,000.00	280,943.86	58.7
53-5300-810	DEBT SERVICE - PRINCIPAL	41,727.27	375,545.43	441,000.00	65,454.57	85.2
53-5300-820	DEBT SERVICE - INTEREST	53,202.88	485,919.62	587,000.00	101,080.38	82.8
	TOTAL ELECTRIC DEPARTMENT	<u>1,111,547.03</u>	<u>9,110,672.31</u>	<u>15,181,550.00</u>	<u>6,070,877.69</u>	<u>60.0</u>
	TOTAL FUND EXPENDITURES	<u>1,111,547.03</u>	<u>9,110,672.31</u>	<u>15,181,550.00</u>	<u>6,070,877.69</u>	<u>60.0</u>
	NET REVENUE OVER EXPENDITURES	<u>( 38,778.54)</u>	<u>3,574,161.62</u>	<u>2,150.00</u>	<u>( 3,572,011.62)</u>	<u>16624</u>

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Section 11. Item D.

HYRUM CITY CORPORATION  
 BALANCE SHEET  
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IRRIGATION UTILITY FUND

ASSETS

54-1010000	CASH IN COMBINED FUND	1,016,185.43	
54-1311000	ACCTS REC - UTILITIES	23,084.81	
54-1311001	ACCTS REC - PRIOR PERIOD	19,565.17	
54-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	( 379.55)	
54-1511510	INVENTORY - IRRIGATION	217,389.50	
54-1571000	DEFERRED OUTFLOW OF RESOURCES	14,666.00	
54-1611000	LAND & STOCK - IRR UTILITY	1,245,261.09	
54-1631000	IRRIGATION DISTRIBUTION SYSTEM	7,109,738.91	
54-1632000	DEPRECIATION - IRRIG DIST SYS	( 5,452,686.20)	
54-1651000	EQUIPMENT - IRRIGATION UTILITY	181,914.47	
54-1652000	DEPRECIATION - IRRIGATION EQUIPMENT	( 108,579.75)	
54-1711000	CONSTRUCTION IN PROGRESS	118,957.80	
	TOTAL ASSETS		4,385,117.68

LIABILITIES AND EQUITY

LIABILITIES

54-2228000	ACCRUED VAC PAY - IRRIGATION	6,896.34	
54-2228001	DEFERRED INFLOWS OF RESOURCES	36.00	
54-2228002	UNFUNDED PENSION PAYABLE	8,275.00	
54-2230100	ACCRUED SICK LEAVE - IRRIGATION	13,560.31	
	TOTAL LIABILITIES		28,767.65

FUND EQUITY

54-2811540	CONTRIBUTED CAPITAL	4,101,602.62	
	UNAPPROPRIATED FUND BALANCE:		
54-2951000	IRR FUND - UNAPPROPRIATED	141,488.58	
54-2971001	UNFUNDED PENSION ADJ.	( 14,791.00)	
	REVENUE OVER EXPENDITURES - YTD	128,049.83	
	BALANCE - CURRENT DATE	254,747.41	
	TOTAL FUND EQUITY		4,356,350.03
	TOTAL LIABILITIES AND EQUITY		4,385,117.68

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Section 11. Item D.

HYRUM CITY CORPORATION  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 10 MONTHS ENDING APRIL 30, 2025

IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
54-3340 STATE - FEDERAL GRANTS	.00	.00	866,300.00	866,300.00	.0
TOTAL SOURCE 33	.00	.00	866,300.00	866,300.00	.0
<u>UTILITY REVENUES</u>					
54-3771 IRRIGATION SERVICE	31,057.76	309,453.35	370,000.00	60,546.65	83.6
54-3775 NEW CONNECTION FEES	( 794.00)	( 500.00)	1,000.00	1,500.00	( 50.0)
54-3779 MISCELLANEOUS REVENUES	.00	72,887.50	6,000.00	( 66,887.50)	1214.8
54-3781 INTEREST EARNINGS	3,990.78	39,193.16	38,000.00	( 1,193.16)	103.1
54-3785 IMPACT FEE - "BUY-IN"	2,382.00	46,052.00	47,700.00	1,648.00	96.6
TOTAL UTILITY REVENUES	36,636.54	467,086.01	462,700.00	( 4,386.01)	101.0
TOTAL FUND REVENUE	36,636.54	467,086.01	1,329,000.00	861,913.99	35.2

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Section 11. Item D.

HYRUM CITY CORPORATION  
 EXPENDITURES WITH COMPARISON TO BUDGET  
 FOR THE 10 MONTHS ENDING APRIL 30, 2025

IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>IRRIGATION DEPARTMENT</u>					
54-5400-110 SALARIES AND WAGES	4,922.99	47,990.94	98,900.00	50,909.06	48.5
54-5400-115 OVERTIME	340.58	3,548.65	2,000.00	( 1,548.65)	177.4
54-5400-130 EMPLOYEE BENEFITS	2,182.51	22,944.38	53,800.00	30,855.62	42.7
54-5400-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
54-5400-240 OFFICE SUPPLIES AND EXPENSE	.00	3,570.95	7,000.00	3,429.05	51.0
54-5400-250 EQUIP SUPPLIES & MAINTENANCE	.00	71.94	10,000.00	9,928.06	.7
54-5400-255 DISTRIB SYSTEM MAINTENANCE	45,566.05	58,811.09	30,000.00	( 28,811.09)	196.0
54-5400-260 BLDGS & GROUNDS SUP & MAINT	.00	.00	1,000.00	1,000.00	.0
54-5400-270 UTILITIES	2,503.05	3,268.81	85,000.00	81,731.19	3.9
54-5400-280 TELEPHONE	40.75	407.50	450.00	42.50	90.6
54-5400-310 PROFESSIONAL SERVICES	.00	16,502.66	10,000.00	( 6,502.66)	165.0
54-5400-510 INSURANCE	.00	5,383.66	5,300.00	( 83.66)	101.6
54-5400-540 IRRIGATION ASSESSMENTS	.00	95,223.45	88,000.00	( 7,223.45)	108.2
54-5400-740 EQUIPMENT	12,397.15	12,397.15	14,000.00	1,602.85	88.6
54-5400-750 NEW CONSTRUCTION	62,512.85	68,915.00	1,385,000.00	1,316,085.00	5.0
<b>TOTAL IRRIGATION DEPARTMENT</b>	<b>130,465.93</b>	<b>339,036.18</b>	<b>1,790,950.00</b>	<b>1,451,913.82</b>	<b>18.9</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>130,465.93</b>	<b>339,036.18</b>	<b>1,790,950.00</b>	<b>1,451,913.82</b>	<b>18.9</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>( 93,829.39)</b>	<b>128,049.83</b>	<b>( 461,950.00)</b>	<b>( 589,999.83)</b>	<b>27.7</b>

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Section 11. Item D.

HYRUM CITY CORPORATION  
 BALANCE SHEET  
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STORMWATER FUND

ASSETS

55-1010000	CASH IN COMBINED FUND	1,327,148.16	
55-1311000	ACCTS REC - STORMWATER	29,249.88	
55-1311001	ACCTS REC - PRIOR PERIOD	19,873.63	
55-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	( 66.80)	
55-1571000	DEFERRED OUTFLOW OF RESOURCES	6,640.00	
55-1611000	LAND & STOCK - STORM WATER	40,566.00	
55-1631000	STORM WATER IMPROVEMENTS	1,119,912.54	
55-1632000	DEPRECIATION - STORM WATER	( 448,548.97)	
55-1651000	EQUIPMENT - STORMWATER UTILITY	225,244.55	
55-1652000	DEPRECIATION - STORM WATER EQU	( 186,545.92)	
55-1711000	CONSTRUCTION IN PROGRESS	67,033.32	
	TOTAL ASSETS		2,200,506.39

LIABILITIES AND EQUITY

LIABILITIES

55-2228000	ACCRUED VACATION - STORMWATER	4,624.64	
55-2228001	DEFERRED INFLOWS OF RESOURCES	16.00	
55-2228002	UNFUNDED PENSION PAYABLE	3,746.00	
55-2230100	ACCRUED SICK LEAVE - STORMWATE	9,303.91	
	TOTAL LIABILITIES		17,690.55

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
55-2951000	STORMWATER FUND-UNAPPROPRIATED	1,908,079.96	
55-2971001	UNFUNDED PENSION ADJ.	( 4,347.00)	
	REVENUE OVER EXPENDITURES - YTD	279,082.88	
	BALANCE - CURRENT DATE	2,182,815.84	
	TOTAL FUND EQUITY		2,182,815.84
	TOTAL LIABILITIES AND EQUITY		2,200,506.39

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HYRUM CITY CORPORATION  
 REVENUES WITH COMPARISON TO BUDGET  
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STORMWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
55-3740 STORM WATER INSPECTION FEES	300.00	8,550.00	15,000.00	6,450.00	57.0
55-3781 STORMWATER FEES	34,282.85	323,730.29	375,000.00	51,269.71	86.3
55-3791 INTEREST EARNINGS	4,700.43	46,983.09	50,500.00	3,516.91	93.0
TOTAL UTILITY REVENUES	39,283.28	379,263.38	440,500.00	61,236.62	86.1
TOTAL FUND REVENUE	39,283.28	379,263.38	440,500.00	61,236.62	86.1

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HYRUM CITY CORPORATION  
 EXPENDITURES WITH COMPARISON TO BUDGET  
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STORMWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>STORMWATER DEPARTMENT</u>					
55-5500-110 SALARIES AND WAGES	1,644.55	16,170.14	20,500.00	4,329.86	78.9
55-5500-115 OVERTIME	80.71	1,196.67	1,000.00	( 196.67)	119.7
55-5500-130 EMPLOYEE BENEFITS	701.47	7,269.44	10,100.00	2,830.56	72.0
55-5500-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
55-5500-230 TRAVEL & TRAINING	.00	480.00	1,000.00	520.00	48.0
55-5500-250 EQUIP SUPPLIES & MAINTENANCE	.00	.00	2,500.00	2,500.00	.0
55-5500-255 COLLECTION SYSTEM	1,967.88	7,372.69	15,000.00	7,627.31	49.2
55-5500-280 TELEPHONE	18.00	180.00	225.00	45.00	80.0
55-5500-310 PROFESSIONAL SERVICES	783.00	23,663.35	30,000.00	6,336.65	78.9
55-5500-450 FLOOD CONTROL	6,991.72	8,669.52	3,000.00	( 5,669.52)	289.0
55-5500-510 INSURANCE	.00	643.26	650.00	6.74	99.0
55-5500-750 NEW CONSTRUCTION	7,053.40	34,535.43	700,000.00	665,464.57	4.9
TOTAL STORMWATER DEPARTMENT	<u>19,240.73</u>	<u>100,180.50</u>	<u>784,475.00</u>	<u>684,294.50</u>	<u>12.8</u>
TOTAL FUND EXPENDITURES	<u>19,240.73</u>	<u>100,180.50</u>	<u>784,475.00</u>	<u>684,294.50</u>	<u>12.8</u>
NET REVENUE OVER EXPENDITURES	<u><u>20,042.55</u></u>	<u><u>279,082.88</u></u>	<u><u>( 343,975.00)</u></u>	<u><u>( 623,057.88)</u></u>	<u><u>81.1</u></u>

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HYRUM CITY CORPORATION  
BALANCE SHEET  
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COURT TRUST FUND

ASSETS

72-1010000	CASH IN COMBINED FUND	(	43,618.07)	
72-1111000	COURT BANK ACCOUNT		88,710.57	
72-1111001	FINES RECEIVABLE		117,138.00	
	TOTAL ASSETS			<u>162,230.50</u>

LIABILITIES AND EQUITY

LIABILITIES

72-2131151	ACCTS PAY - J.P. COURT		4,027.72	
72-2131154	ACCTS PAY - TRUST ACCOUNT BAIL		33,692.78	
72-2140000	PAYABLES TO OTHER ENTITIES		124,510.00	
	TOTAL LIABILITIES			<u>162,230.50</u>
	TOTAL LIABILITIES AND EQUITY			<u>162,230.50</u>

Section 11. Item D.

HYRUM CITY CORPORATION  
 BALANCE SHEET  
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FUND 90

ASSETS

90-1611000	LAND - GENERAL MUNICIPAL	1,343,999.91	
90-1621000	BUILDINGS - GENERAL MUNICIPAL	10,371,609.25	
90-1622000	DEPRECIATION - BUILDINGS	( 6,197,869.08)	
90-1631000	IMPROVE - GEN MUNICIPAL	5,113,685.45	
90-1632000	DEPRECIATION - IMPROVEMENTS	( 2,359,724.90)	
90-1651000	EQUIPMENT - GENERAL MUNICIPAL	4,808,426.90	
90-1652000	DEPRECIATION - EQUIPMENT	( 3,170,421.41)	
90-1661000	INFRASTRUCTURE - ROADS	9,057,803.62	
90-1662000	DEPRECIATION - ROADS	( 5,668,277.04)	
90-1671000	INFRASTRUCTURE-SIDEWALKS	2,348,161.83	
90-1672000	DEPRECIATION - SIDEWALKS	( 1,863,724.45)	
90-1681000	INFRASTRUCTURE-CURB & GUTTER	1,242,632.31	
90-1682000	DEPRECIATION - CURB & GUTTER	( 1,179,354.88)	
90-1711000	CONSTRUCTION IN PROGRESS	6,265,203.54	
		20,112,151.05	20,112,151.05

LIABILITIES AND EQUITY

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
90-2971000	INVEST IN GENERAL FIXED ASSETS	20,112,151.05	
		20,112,151.05	
	BALANCE - CURRENT DATE	20,112,151.05	
	TOTAL FUND EQUITY	20,112,151.05	20,112,151.05
	TOTAL LIABILITIES AND EQUITY	20,112,151.05	20,112,151.05

FOR ADMINISTRATION USE ONLY

83 % OF THE FISCAL YEAR HAS ELAPSED

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Section 11. Item D.

HYRUM CITY CORPORATION  
 BALANCE SHEET  
 APRIL 30, 2025

FUND 95

ASSETS

95-1311411	LEVIED PROP TAXES REC 5 YEAR	6,597.85	
95-1571000	DEFERRED OUTFLOW OF RESOURCES	262,342.00	
95-1841000	SPEC FUND AMTS TO BE PROVIDED	175,820.68	
	TOTAL ASSETS		444,760.53

LIABILITIES AND EQUITY

LIABILITIES

95-2228000	ACCRUED VAC PAY - GENERAL	68,534.19	
95-2228001	DEFERRED INFLOWS OF RESOURCES	646.00	
95-2228002	UNFUNDED PENSION PAYABLE	148,015.00	
95-2230100	ACCRUED SICK LEAVE - GENERAL	162,424.49	
	TOTAL LIABILITIES		379,619.68

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
95-2971001	UNFUNDED PENSION ADJ.	58,543.00	
95-2972100	UNCOLLECTED PROPERTY TAX	6,597.85	
	BALANCE - CURRENT DATE		65,140.85
	TOTAL FUND EQUITY		65,140.85
	TOTAL LIABILITIES AND EQUITY		444,760.53

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83 % OF THE FISCAL YEAR HAS ELAPSED

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