



FARR WEST CITY COUNCIL AGENDA

May 15, 2025 at 6:30 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the City Council of Farr West City will hold its regular meeting at 6:30 p.m. on Thursday, May 15, 2025 at the Farr West City Hall, 1896 North 1800 West, Farr West

Call to Order – Mayor Ken Phippen

1. Opening Ceremony
 - a. Opening Prayer
 - b. Pledge of Allegiance
2. Comments/Reports
 - a. Public Comments (*2 minutes*)
 - b. Report from the Planning Commission
 - c. Monthly Financial Report – Cody Cardon
3. Consent Items
 - a. Assignments and directions for Planning Commission
 - b. Consider approval of minutes dated May 1, 2025
 - c. Consider approval of bills dated May 14, 2025
4. Business Items
 - a. Consider approval of business licenses – Dermatology West LLC
Comcast (Solicitor)
 - b. Consider approval of Ordinance No. 2025-02, approving the detached accessory unit ordinance
 - c. Consider approval of Ordinance No. 2025-03, approving the planned development overlay zone ordinance
 - d. Consider approval of the Farr West Business Park amended plat
 - e. Consider approval of the Legends Mixed-Use Subdivision Phases 1 & 6
 - f. Consider the request for possible support/sponsorship of Community Theatre – Stacy Dixon
 - g. Consideration of Truth in Taxation for upcoming budget
5. Mayor/Council Follow-up
 - a. Report on Assignments
6. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on May 9, 2025.


Lindsay Afuvai
Recorder

Application for Business License



Application Submitted: 4/28/25

Owner Name: Tyler McKinnon

Owner Address: [REDACTED]

Telephone: (801) 917-6177

Business Name: Dermatology West, LLC DBA: _____

Business Address: 1741 N. 2000 W. Ste. 3 City: Farr West State: UT Zip: 84404

Mailing Address: _____ City: _____ State: _____ Zip: _____

Manager Name: Tyler McKinnon Contact Phone: (801) 917-6177

**If Business is Commercial or Manufacturing/Warehousing, please list square footage: 3059 sf

State Sales Tax I.D. # N/A State License # 14565139-0161

Number of Employees: 2

If Daycare or Preschool, # of own children: N/A; Number of other children: N/A

Describe your type of business in detail: Dermatology Clinic

Businesses that require Health Department inspection and permit: **Any** business that is selling food, Tattoo and piercing salons, Tanning salons, Day Care, Nursing and Assisted Living.

Health Department Permit # _____ or check if not applicable X

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

Application for Business License



MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Home Occupation
\$100.00	\$50.00	\$30.00

Interstate Commerce	Temporary	Temporary (Refundable Deposit)
\$50.00	\$100.00	\$50.00

ALCOHOL

Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an Alcohol License:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? N/A

Type of License Applying For: Commercial? Professional License fee due: \$50

I, the Applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr West City for Business License Regulations ([Title 5](#)).

I also understand I shall need to attend a city council meeting to answer any questions prior to license approval.

Applicant's Signature: [Signature] Date: 4/28/25

Amount Paid: \$50 Date Paid: 4.28.25 Receipt Number: 9.00003000
City Council Date: 5.15.2025 Approved: _____ Disapproved: _____
License Number _____ Date Issued: _____



Weber Fire District

Fire Inspection Results

Business Inspection Farr West

Passed

Completed at

05/06/2025 11:10:53

Inspected by

Hansel, Alec

**Inspection Contact
Name**

Tyler Mckinnon

Inspection Type

Business Inspection Farr
West

Business Name	Address	Suite	City	State
Dermatology West	1741 N 2000 S	Suite 3	FARR WEST	UT
Zip	84404			

ACCESS:

✓ Pass

ITEM: Fire lane, Hydrant and FDC are accessible for emergency response.

CODE: IFC - 507.5.4 - Obstruction. - Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants.

IFC - 503.4 - Obstruction of fire apparatus access roads. - Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times.

✓ Pass

ITEM: Is the address on the building and visible from the street?

CODE: IFC - 505.1 - Address identification. - New and existing buildings shall be provided with approved

Application for Solicitors Business License



Date of Application: 15 Apr 2025

Owner's Name: Bret Guerin

Owner's Address: [REDACTED]

Phone: [REDACTED]

Business Name: Comcast DBA: _____

Business Address: 752 N Marshall way City: Logan State: UT Zip: 84070

Mailing Address: Same City: " State: " Zip: "

Manager's Name: Craig Peck Contact Phone: 8395-977-2000

State Sales Tax I.D. # _____ State License # _____

*A BRIEF DESCRIPTION OF THE NATURE OF THE BUSINESS AND THE GOODS TO BE SOLD:

Comcast Internet/cable/mobile

*A BRIEF DESCRIPTION OF WHERE THE APPLICANT OBTAINS THE GOODS TO BE SOLD:

Cable lines already installed

*LENGTH OF TIME IN WHICH APPLICANT DESIRES TO ENGAGE IN BUSINESS WITHIN FARR WEST CITY:

2 years

*PLEASE LIST ALL OTHER MUNICIPALITIES IN WHICH YOU HAVE DONE BUSINESS WITHIN THE SIX-MONTH PERIOD PRECEDING THE DATE OF THIS APPLICATION:

South Ogden, Brigham city, Mibley

*Application must also include a current (within 6 months) Bureau of Criminal Identification (BCI) background check for all solicitors, two photographs not larger than two by three inches of each applicant taken within the last twelve months and a corporate surety bond of \$5,000.00 in order to be processed.

Application for Solicitors Business License



BUSINESS LICENSE FEE SCHEDULE

SOLICITOR

LICENSE BOND	LICENSE FEE(s)
\$5,000.00 min (supplied by applicant)	\$100.00/business \$10.00/person

*All Solicitors must be aware of and comply with Chapter 5.20 of the Farr West City Municipal Code

Number of Solicitors: _____

Total License fee due: _____

I, the Applicant, am aware of and conform to all State and Federal Regulations, as well as the Codes and Ordinances of Farr West City for Business License Regulations (Title 5).

I also understand I need to attend a city council meeting to answer any questions prior to license approval.

Applicant's Signature: Brian Gunn Date: 05-05-25

Amount Paid: _____ Date Paid: _____ Receipt Number: _____
City Council Date: _____ Approved: _____ Disapproved: _____
License Number _____ Date Issued: _____

17.44.220 Detached Accessory Dwelling Units (DADU)

A request for a DADU does not constitute the creation of a flag lot or the subdivision of an existing residential property.

The DADU shall be a single-family unit with slab on grade construction. No duplex or multifamily dwelling is permitted.

The DADU shall be designed to look like a single-family residence.

The DADU shall require a city conditional use permit and must comply with all city building, health, and fire code requirements for residential structures.

Prefab units are to be placed on approved footings and foundations.

Metering of utilities for the DADU shall be determined at the discretion of the utility companies.

The DADU shall be constructed at least six (6) feet behind the primary dwelling and at least six (6) feet from any other existing structure.

The minimum rear and side setbacks from property lines shall be ten (10) feet.

In no case may a DADU or group of accessory buildings on the same lot cover more than twenty percent (20%) of a rear yard.

The DADU shall have a minimum size of 400 square feet and a maximum size of 1000 square feet. The maximum peak height shall be twenty (20) feet and shall not exceed that of the primary dwelling.

The DADU shall provide two (2) additional spaces for off-street parking on a hard surface with managed drainage.

Corner lots may provide a second access to the DADU provided all setback requirements are met.

The owner of the DADU shall reside in the primary residence except for bona fide temporary absences.

Farr West City prohibits the rental or offering for rental of a DADU for a period of less than thirty (30) days.

Persons shall make application for a DADU on the forms provided by the city.

The application for a DADU shall contain: completed application form, the floor plan, exterior elevations, and the plan for off-street parking.

Violations of this ordinance may result in [criminal or civil](#) penalties, fines, and liens as ~~outlined by law~~[permitted under the ordinances of Farr West City or the laws of the State of Utah. \(UCA10-9a-530\).](#)

Farr West City Planned Development Overlay Zone:

Purpose and objective:

The purpose of the Planned Development Overlay Zone is to encourage thoughtful and efficient utilization of land in residential areas and by providing greater flexibility in the location and density of buildings. It also allows the consolidation of open spaces, the clustering of dwelling units, and the efficient use of those public amenities required in connection with new residential development. These provisions are intended to create more attractive and more desirable environments within residential areas of the City and to accommodate moderate income housing initiatives in accordance with Utah state housing requirements and Farr West City general plan chapter eight.

Planned Development Designation:

The PD Overlay Zone is permitted to be used in areas of three acres or more located in residential zones. All PD overlays will require the applicant to enter into a development agreement with the City. The PD overlay provisions, along with the development agreement, shall supersede the site development standards of the zone to which it is applied. Any PD overlay project shall be developed in strict conformance with this ordinance and the final development agreement as recommended by the Planning Commission and approved by the City Council. The PD overlay designation shall encompass planned residential developments of single-family housing and townhomes. Permitted uses in the PD overlay shall be limited to those uses permitted in the underlying zone to which the PD overlay applies. The Planned Development Overlay Zone designation (PD) shall become a suffix to the residential zone with which it is combined and shall be shown on the official zoning map.

STANDARDS AND REQUIREMENTS:

A planned development established under the provisions of this ordinance shall conform to the following standards:

- A. Density: The maximum number of dwelling units shall be limited to six units per acre. Townhomes may only comprise fifty percent (50%) of the total allowable dwelling units and shall contain a maximum of four units per townhome. In computing the total allowable dwelling units, any fraction of one unit shall be rounded down to the nearest whole number.
- B. Density Bonus: The developer may request higher density than that which is defined in this ordinance. The Planning Commission must agree, however, that any increase

in density will be compensated for by increased public open space and/or amenities and improved design which, by the commission's discretion, are deemed proportional to the requested density increase. The increased density shall be incorporated into the final development agreement as recommended by the Planning Commission and approved by the City Council.

C. Building Locations: With the following exceptions, dwellings and permitted structures may be located as approved in the final development plans. Locations and arrangements of buildings on the lot should be accomplished in a manner that will best utilize the lot area and create an attractive living environment. The following exceptions shall be considered minimum requirements as applicable:

1. Garages with entrances facing directly on the street, whether in a front or side yard, shall be set back at least twenty feet (20') from the property line.
2. Setbacks shall be maintained along the peripheral property lines of the planned development and shall be equal to that required by the zone on the property immediately adjacent thereto.
3. In those instances where a proposed planned development will front upon one or more existing streets, the setback from the street shall be equal to that required by the most restrictive zone of the property immediately adjacent along the same street frontage.

D. Open Space: Not less than twenty percent (20%) of the total acreage of the planned development shall be retained as permanent open space (parks, playgrounds, trails, etc. See requirements below). Vehicular streets or roads, parking, driveways and other required setbacks are not allowed to be included in the computations for open space.

Requirements:

1. **Accessibility** – Open space must be accessible to residents of the development and, where applicable, to the general public.
2. **Functionality** – Must provide active or passive recreation opportunities or act as community gathering spaces.
3. **Minimum Dimensions** – Narrow strips of land, residual spaces, or areas with a slope exceeding fifteen percent (15%) shall not count as usable open space unless specifically designed for recreation or outdoor uses.

4. **Maintenance** – Usable open space shall be landscaped, maintained, and, if applicable, include amenities such as benches, lighting, or trails.

Examples of Usable Open Space:

- Parks, playgrounds, and picnic areas
- Walking and biking trails
- Community gardens
- Sports courts and fields
- Plazas, courtyards, and community gathering spaces
- Natural open space with designated trails or educational features

Exclusions:

- Stormwater detention basins unless designed for dual recreational use

- E. Buffer: All areas adjacent to existing residential developments shall contain only single-family detached housing units.
- F. Utilities: All dwelling units shall be served by public sewer and a public water supply. All utilities within the planned development shall be placed underground, including telephone, electrical, television and internet cables. Dwelling units under separate ownership shall have separate utility metering.
- G. Maximum Height: The maximum height of buildings within a planned development shall be the same as that permitted by the underlying residential zone.
- H. Required Yard Area Landscaping: The required front and side yards which face upon a public street shall not be used for vehicular parking but shall be landscaped with lawn or appropriate plants and shrubs as indicated on the approved final development plans.
- I. Parking: Dwellings shall be provided with not less than 2 parking spaces per unit. All parking spaces, parking areas and driveways must be hard surfaced and properly drained.
- J. Dedication Of Streets: Streets in planned developments may be dedicated to the City but must conform to the required City street standards. When planning the

street layout and connection to existing streets a traffic study may be required at the discretion of the Planning Commission and/or City Engineer

GUARANTEES AND COVENANTS:

Adequate guarantees shall be provided for permanent retention and maintenance of all open space areas created before final planned development approval is granted.

A. Open Space Guarantees: Open space guarantees for all planned developments may include the following:

1. The City may require the developer to furnish and record protective covenants which will guarantee the retention of the open space area, or the City may require the creation of a corporation granting beneficial rights to the open space to all owners or occupants of land within the development.
2. The developer shall develop all required open space. Maintenance of all open space shall also be the responsibility of the developer unless the City accepts dedication and approves the annexation of said property.
3. In case of private reservation, the open space to be reserved shall be protected against building development by conveying to the City as part of the condition of project approval, an open space easement over such open areas, restricting the area against any future building or use, except as approved on the final development plan. A minimum of fifty percent (50%) of the open space must also remain accessible to the public.
4. The care and maintenance of the area within such open space reservation shall be ensured by the developer by establishing a private association or corporation responsible for such maintenance which shall levy the cost thereof as an assessment on the property owners within the planned development. Ownership and tax liability of private open space reservations shall be established in a manner acceptable to the City and made a part of the conditions of the final plan approval.
5. Maintenance of open space reservations shall be managed by a person, partnership or corporate entity in which there is adequate expertise and

experience in property management to ensure that said maintenance is accomplished efficiently at a high-quality standard.

6. Subsequent changes or additions to the plans or use of the land may be made to the plan upon, first; a petition of two-thirds or more of the property owners within the development, second; submitting the changes to the Planning Commission for its recommendation, and third; receiving approval of the changes by the City Council.

B. Improvement Completion Assurance:

To ensure that the planned development will be constructed to completion in an acceptable manner, the applicant shall submit an improvement completion assurance in a manner acceptable to the City or as otherwise specified in City Ordinance. The amount of the improvement completion assurance shall be determined by the City Engineer as an estimated cost of the required improvements including construction and installation of all required landscaping, parking and street improvements, including paving, curbs, sidewalks, water and sewer lines, public parks and playgrounds, recreation facilities and other amenities shown on the final development plan. The applicant shall also file a schedule of anticipated completion dates for such improvements. In the event that the improvements are not completed in reasonable conformance with said schedule, the City may undertake to complete the improvements and pay for such improvements from the improvement completion assurance.

REVIEW PROCEDURE:

A. Application:

Application for a PD Overlay Zone designation shall follow the procedures listed in this ordinance.

B. Preliminary Development Plan:

All applications for a PD overlay designation shall be accompanied by a preliminary development plan. The plan shall contain the following:

1. A complete and accurate legal description of the property proposed for the planned development.

2. A tabulation of the total acreage of the site and the percentages thereof to be designated for parking, residential units, open space, amenities, streets, etc.
3. Proposed circulation pattern, including private and public streets and pedestrian paths.
4. Parks, common open spaces, playgrounds, public facilities and other improvements or amenities proposed within the planned development.
5. General location of all dwellings and other structures in the development and an indication of proposed population densities and building densities (units per acre), including percentages of each dwelling type being proposed.
6. Proposed location of parking and ingress and egress.
7. A landscaping plan showing what areas are to be landscaped and what types of plants and materials are to be used, including sprinkler and irrigation systems.
8. Preliminary elevations or perspectives of all building types proposed within the development.
9. Preliminary subdivision plat, if the site is being divided, showing a general layout of all proposed lots.
10. A preliminary utility plan showing the manner in which adequate sewage disposal and water are to be provided to the site, including the point from which said services are to be extended.
11. A draft of the declaration of covenants, conditions and restrictions as required herein.
12. A draft of the proposed development agreement.
13. Other items that may be required by the Planning Commission.

C. Preliminary Plan Review:

The Planning Commission shall review the application for a PD Overlay Zone designation and accompanying preliminary development plan. The Planning Commission shall approve, disapprove or approve subject to compliance with such modifications or conditions as may be deemed necessary to carry out the purposes of this ordinance and the preliminary plan. The approval of the preliminary plan shall be made only after the Planning Commission finds that:

1. That the proposed development will provide a more beneficial environment than a conventional residential development established under the provisions of the current underlying residential zone.
2. That the proposed development will not be detrimental to adjacent properties and to the general area in which it is located; and that it will be in substantial harmony with the character of existing development in the area.
3. That the development project will provide more efficient use of the land and more useable open space than a conventional development permitted by the residential zone.
4. That increased densities allowed within the proposed development will be compensated by better site design and by the provision of increased amenities and recreational facilities.
5. That any variation allowed from the development standards of the residential zone will not increase hazards to the health, safety or general welfare of the residents of the proposed planned development or adjacent areas.

D. Planning Commission Recommendation:

Based on its action with the preliminary development plan, the Planning Commission shall then recommend to the City Council either approval or denial of the PD Overlay Zone designation on the applicant's property.

E. City Council Action:

The City Council shall review the preliminary development plan and either approve or deny the PD Overlay Zone designation for the proposed development.

F. Final Plans for Planned Development:

Final planned development plans shall contain the following:

1. Tabulations of all dwelling units to be constructed by types.
2. Detailed site plan with complete dimensions showing precise locations of all buildings and structures, lot or parcel sizes and locations, designations of common open spaces and special use areas, detailed circulation pattern including proposed ownership and typical cross section of streets.
3. Exterior concept for all building types, presented as exterior perspectives or exterior elevations.
4. Detailed landscaping plans which show the types and sizes of all plant materials and their locations, decorative materials, recreation equipment, and sprinkler or irrigation systems. Landscape planning shall be accomplished by keeping water conservation in mind.
5. Dimensioned parking layout showing location of individual parking stalls and all areas of ingress or egress.
6. Detailed engineering plans or final subdivision plat showing site grading, street improvements, drainage, storm water management, and public utility locations. Also, submission of engineering feasibility studies, if required by the City Engineer.
7. The final draft of covenants, conditions and restrictions, together with open space easements and other bonds, guarantees or agreements as required herein or as deemed necessary by the City Attorney.
8. A proposed phasing schedule for the completion of landscaping, parking, street improvement and other improvements and amenities.
9. Final draft of the development agreement for the PD Overlay.

G. Final Plan Review:

1. The Planning Commission shall review the submitted final plan.

The Planning Commission shall approve the final plan only after it has found the following:

- a. The proposed development meets all the requirements, objectives, purposes and standards of the PD Zone regulations and of the residential zone.
 - b. The proposed development and development agreement does not significantly deviate from the approved preliminary plan.
2. The Planning Commission may impose conditions on the approval of the final development plans as are deemed appropriate to comply with this ordinance.
3. Final approval of the planned PD Overlay development is made by the City Council upon recommendation by the Planning Commission.

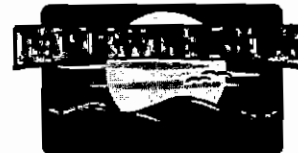
H. Building Permit:

No building permit for any portion of the planned development shall be issued until the final planned development plans have been approved and all necessary requirements have been met.

I. Phased Final Plans:

The final plan may be submitted in phases, provided each such phase can exist as a separate unit capable of independently meeting all the requirements and standards of this ordinance and of the residential zone.

Application for Subdivision



Date Submitted 4/2/2025

Developer's Name Farr West Business Park LLC

Developer's Mailing Address

Developer's Daytime Phone

Subdivision Name Farr West Business Park Phase 1 & 2

Subdivision Address See attached exhibit

Is this a Re-Subdivision X Current Property Zone C2 Is Re-Zoning Required No

Acreage of property being divided 4.66 dd 6.3 Acreage of entire land

parcel See exhibit Number of proposed lots in Subdivision See exhibit In Phase 1 & 2

Number of Phases 2 Title Search Completed ☒ Y ☐ N *Attach

Documentation

Culinary Water	<input checked="" type="radio"/> Y	<input type="radio"/> N	
Secondary Water	<input checked="" type="radio"/> Y	<input type="radio"/> N	Company: <u>Pineview</u>
Secondary System	<input checked="" type="radio"/> Y	<input type="radio"/> N	
Adequate Storm Sewer/Drainage	<input checked="" type="radio"/> Y	<input type="radio"/> N	
Sewer	<input checked="" type="radio"/> Y	<input type="radio"/> N	
Electric Power	<input checked="" type="radio"/> Y	<input type="radio"/> N	
Natural Gas	<input checked="" type="radio"/> Y	<input type="radio"/> N	
Telephone Service	<input checked="" type="radio"/> Y	<input type="radio"/> N	
Broadband Internet	<input checked="" type="radio"/> Y	<input type="radio"/> N	Comcast: Jim Hansen/801-831-6849 Century Link: Troy Long/801-974-8119
Cable/Satellite TV	<input checked="" type="radio"/> Y	<input type="radio"/> N	Company: <u>Comcast</u>

Application for Subdivision



Property is in which Flood Zone: _____ Panel Number: _____

Lowest Elevation of Property: _____

Access Road above 4,215' Elevation: _____ Source: _____

Does the property contain Wetlands: _____ Source: _____

Please give a brief history of the property that is being subdivided (attach additional pages if needed).

Property was rezoned to C2 last year and has been under development. Developer has decided to condominiumize all units and for that reason is submitting this application.

Please describe any agreements, right-of-ways, easements, etc. which could affect the planning and construction of this development (attach additional pages if needed). None that apply.

I have read and understand the Subdivision Ordinance. I understand I am responsible for all engineering costs. I believe the information on this form is true and correct to the best of my knowledge. I understand missing or inaccurate data may result in delays in processing this application.

Signed Nathan Messerly Date 4/2/2025

FEE SCHEDULE

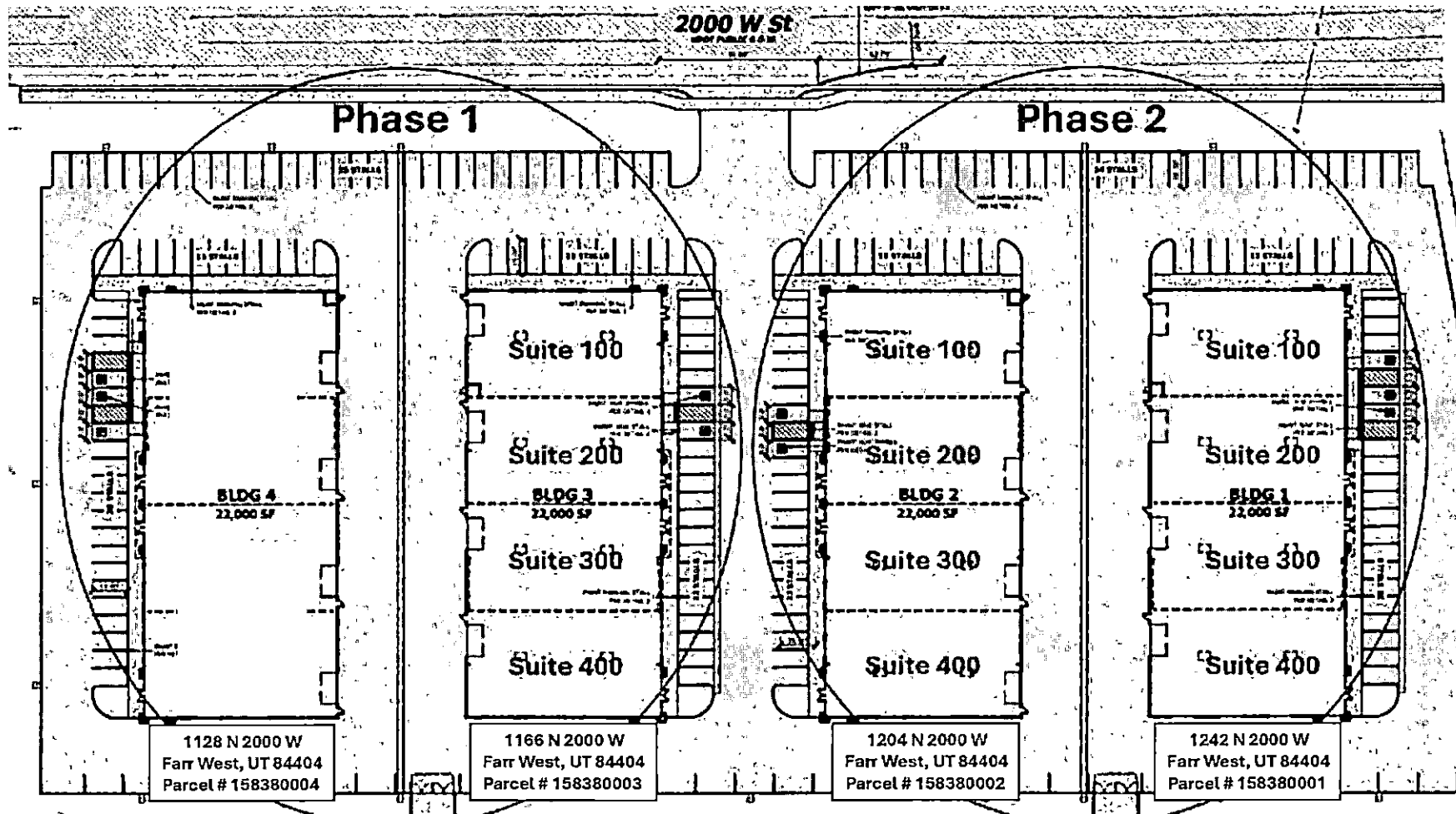
Subdivision Plan Processing:

1-4 lots	\$100.00
5-9 lots	\$100.00 plus \$10/lot
10-24 lots	\$150.00 plus \$10/lot
25 lots +	\$250.00 plus \$10/lot

Engineering Fee Deposit: \$125.00/lot/phase

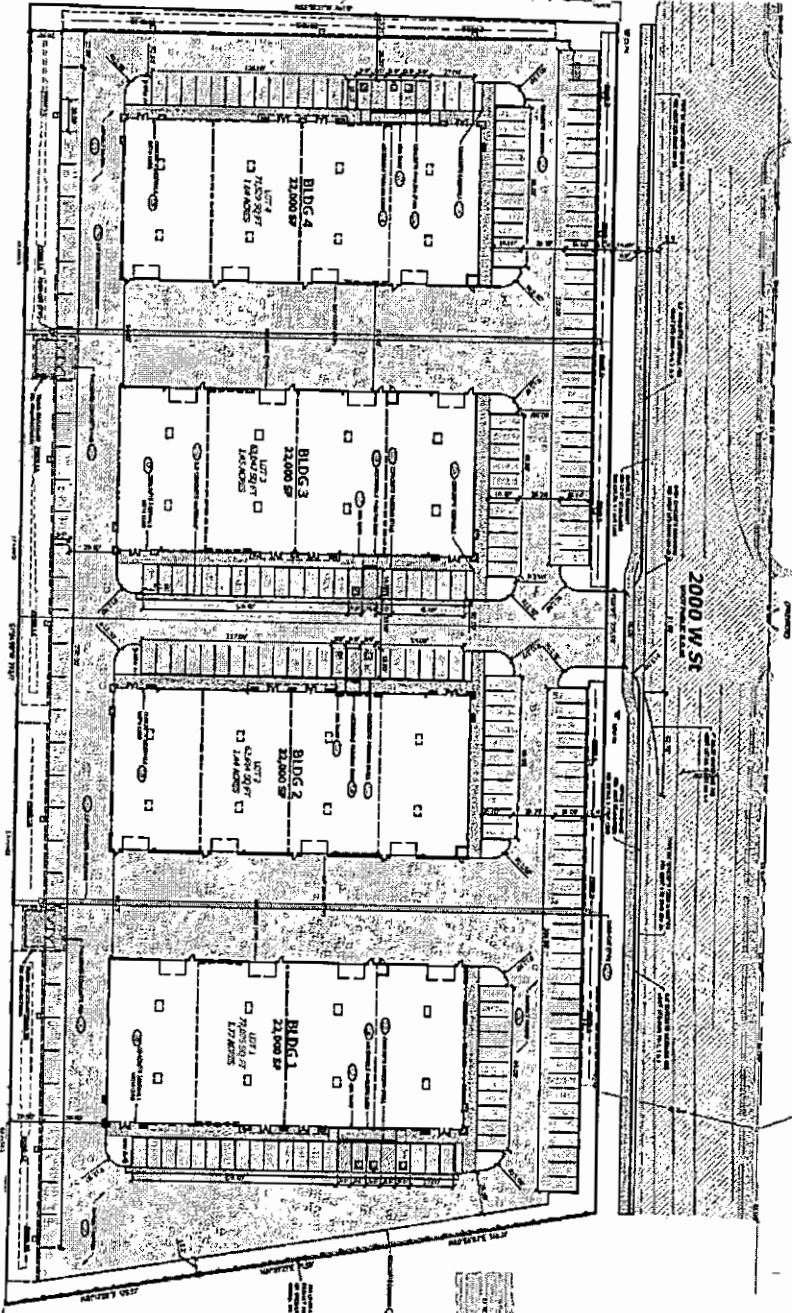
Application Fee \$ _____ Developer User Fee \$ _____ Total \$ _____
Receipt # _____ Date Paid _____ Received by _____

Exhibit





Interstate 15



Notes to Contractors

1. The site plan is based on the information provided by the owner and is not a guarantee of accuracy. The contractor is responsible for verifying all information before construction.

2. The site plan is based on the information provided by the owner and is not a guarantee of accuracy. The contractor is responsible for verifying all information before construction.

Site Data

Project Name: Farr West Business Park
Address: 1246 North 2000 West, Weber County, UT
Owner: [Redacted]
Date: [Redacted]

Legend

1. [Symbol] Existing Building Footprint
2. [Symbol] Proposed Building Footprint
3. [Symbol] Parking Area
4. [Symbol] Access Road
5. [Symbol] Utility Line

Key Notes

1. The site plan is based on the information provided by the owner and is not a guarantee of accuracy. The contractor is responsible for verifying all information before construction.

2. The site plan is based on the information provided by the owner and is not a guarantee of accuracy. The contractor is responsible for verifying all information before construction.

DISCLAIMER

This site plan is provided for informational purposes only and does not constitute a contract. The contractor is responsible for verifying all information before construction. The owner is not responsible for any errors or omissions in this plan.



NO.	DATE	DESCRIPTION
1	10/1/2023	Initial Site Plan
2	10/15/2023	Revised Site Plan
3	10/20/2023	Final Site Plan

PROJECT TITLE

FARR WEST BUSINESS PARK
1246 NORTH 2000 WEST
FARR WEST, WEBER COUNTY, UT

LOCATED ON THE WEST-SIDE CORNER OF SECTION 1,
TOWNSHIP 4 NORTH, RANGE 2 WEST, 10TH LINE WEST, 10TH
EAST, 10TH NORTH, 10TH WEST, 10TH EAST, 10TH WEST



PROJECT NO.
C2100

Proposed
Site Plan

MEMORANDUM

TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.
City Engineer

RE: **FARR WEST BUSINESS PARK CONDOMINIUM PLAT**
Plat Review

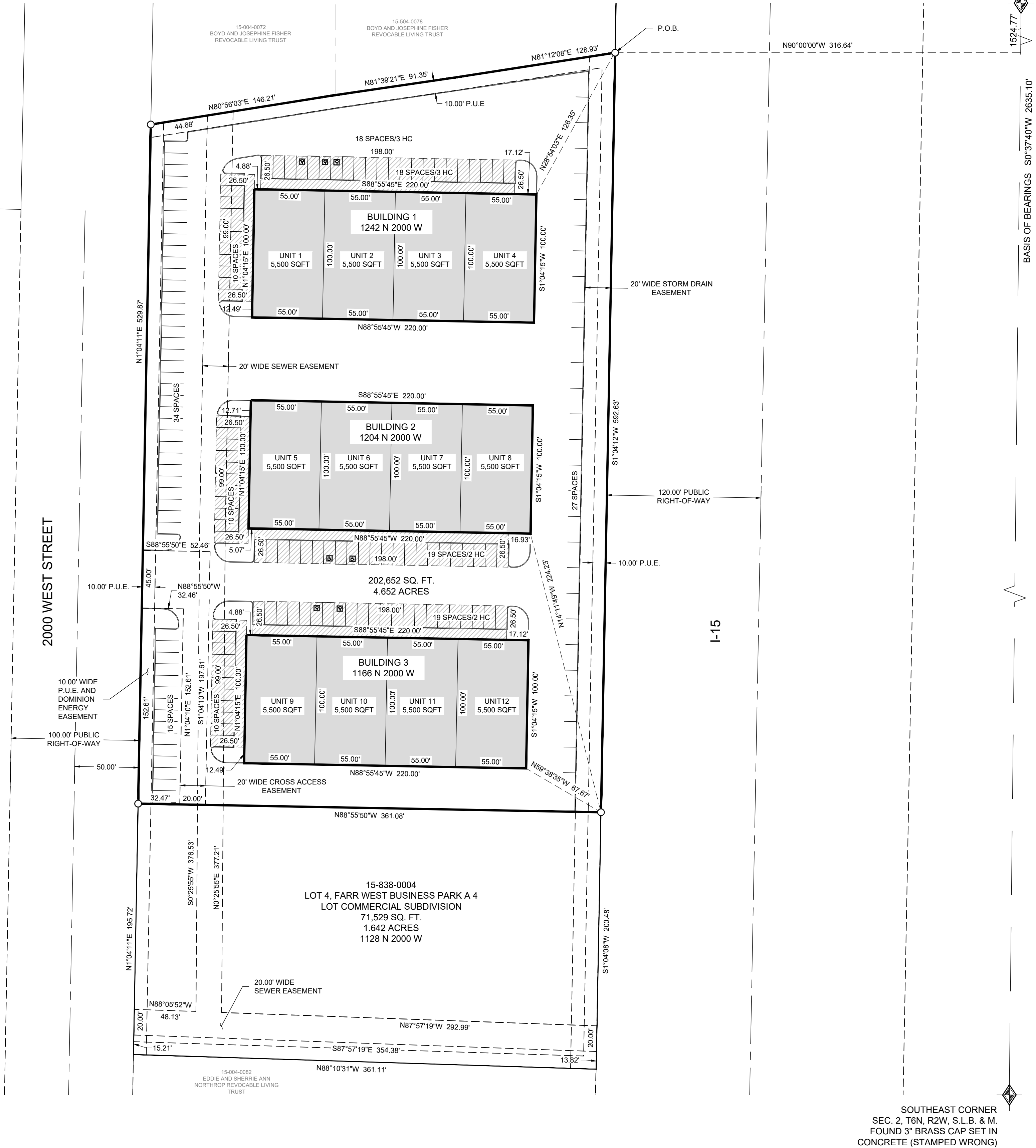
Date: May 2, 2025

Our office has completed a review of the referenced subdivision plat. This proposed plat combines 3 of the lots from the existing subdivision into one larger area with 12 individual units and a common area. The fourth lot of the existing subdivision is shown as a remnant parcel on this plat. We recommend approval of the plat subject to the items below being completed prior to recording the plat:

1. Address all red-line comments on the plat submitted by our office.
2. Include dimensions for the sewer easement shown on the plat for locating purposes.
3. Move the cross access easement for the remnant parcel to the center of the drive area.
4. The common area should be included in the Owner's Dedication and be dedicated to the HOA or maintaining organization.

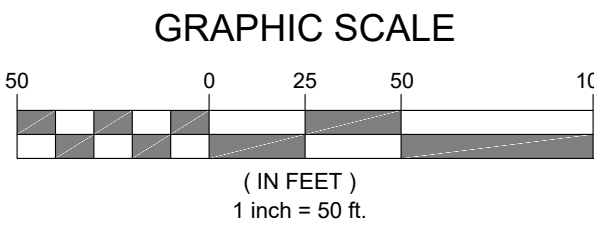
The Developer will need to address these issues, and the minor corrections noted on the red-lined copy of the proposed plat. Please let me know if there are any questions.

FARR WEST BUSINESS PARK
A 12 UNIT COMMERCIAL CONDOMINIUM PLAT
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6
NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN,
FARR WEST CITY, WEBER COUNTY, UTAH
MAR 2025



EAST QUARTER CORNER
SEC. 2, T6N, R2W, S.L.B. & M.
FOUND 3" BRASS CAP IN 6"
CONCRETE COLUMN

VICINITY MAP
NOT TO SCALE



LEGEND

- WEBER COUNTY MONUMENT AS NOTED
- SET 24" REBAR AND CAP 10708886
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- SECTION LINE
- EASEMENT
- LIMITED COMMON AREA
- PRIVATE UNIT AREA
- COMMON AREA

NOTES

- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDENCE UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE. OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
- THE LIMITED COMMON AREA ADJACENT TO A BUILDING IS FOR THE EXCLUSIVE USE OF THE OWNERS AND OCCUPANTS OF THE UNITS IN THAT BUILDING, AS MORE FULLY SET FORTH IN THE CONDOMINIUM DECLARATION.
- ALL LABELS SHOWN HERE ON LACKING A BEARING ARE ASSUMED TO BE EITHER PARALLEL OR PERPENDICULAR TO THE BUILDINGS THEY ARE ADJACENT TO OR THE PROPERTY LINES SHOWN HEREON.

NARRATIVE

THE PURPOSE OF THIS PLAT IS DIVIDE STRUCTURES SHOWN HERE ON INTO COMMERCIAL CONDOMINIUM UNITS. THE PLAT WAS ORDERED BY TRIAD LAND DEVELOPMENT. THE BASIS OF BEARING IS THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN WHICH BEARS SOUTH 00°37'40" WEST. THE BOUNDARY WAS DETERMINED BY LOCATING THE RIGHT OF WAY OF 2000 BASED ON PREVIOUS SURROUNDING PLATS, TOGETHER WITH THE WEST RIGHT OF WAY OF INTERSTATE 15 AND THE DEED DESCRIPTIONS OF RECORD.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 00°37'40" WEST 1524.77 FEET AND WEST 316.64 FEET FROM THE EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST SALT LAKE BASE AND MERIDIAN, THAT SAME POINT BEING A POINT ON THE WEST SIDE OF THE RIGHT OF WAY FOR INTERSTATE 15; THENCE ALONG THE WEST BOUNDARY OF INTERSTATE 15 SOUTH 01°04'08" WEST 592.63 FEET; THENCE NORTH 88°55'50" WEST 361.08 FEET TO THE EAST RIGHT OF WAY LINE OF 2000 WEST STREET; THENCE NORTH 01°04'11" EAST 529.87 FEET ALONG THE EAST RIGHT OF WAY LINE OF 2000 WEST STREET; THENCE NORTH 81°12'30" EAST 366.48 FEET TO THE TO THE WEST RIGHT OF WAY OF INTERSTATE 15 AND THE POINT OF BEGINNING.

CONTAINS 202,652 SQ. FT. OR 4.652 ACRES

SURVEYOR'S CERTIFICATE

I, Willis D. Long, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 10708886 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS RECORD OF SURVEY PLAT IN ACCORDANCE WITH SECTION 17-23-20 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS RECORD OF SURVEY PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS 27TH DAY OF APRIL, 2025.



Willis D. Long, PLS NO. 10708886

OWNER'S DEDICATION

WE THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

FARR WEST BUSINESS PARK, A 12 UNIT COMMERCIAL CONDOMINIUM PLAT

AND HEREBY DEDICATE, GRANT AND CONVEY TO FARR WEST CITY, WEBER COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS. THE COMMON AREA AS NOTED HEREON TO BE DEDICATED TO THE MAINTAINING ORGANIZATION NOTED IN THE CC&Rs.

SIGNED THIS ____ DAY OF ____, 20__.

BY: CAMERON WATSON

BY: JOHN WATSON

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this ____ day of ____, 20__, personally appeared before me ____ whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the WATSON, CAMERON of 15-838-0001, and that said document was signed by him/her, and said ____ acknowledged to me that they executed the same.

STAMP

NOTARY PUBLIC

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this ____ day of ____, 20__, personally appeared before me ____ whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the WATSON, JOHN L of 15-838-0001, 15-838-0002 & 15-838-0003, and that said document was signed by him/her, and said ____ acknowledged to me that they executed the same.

STAMP

NOTARY PUBLIC

FARR WEST BUSINESS PARK

A 12 UNIT COMMERCIAL CONDOMINIUM PLAT

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, FARR WEST CITY, WEBER COUNTY, UTAH

DEVELOPER:
TRIAD LAND DEVELOPMENT
2717 N HIGHWAY 89 SUITE 200
PLEASANT VIEW, UTAH, 84404
CONTACT: JORDAN WATSON
801-664-7701



LAYTON SURVEYS LLC
Professional Land Surveying
(801) 663-1641 | willis.long@laytonsurveys.com | 837 S 300 W STE. 201 WOODS CROSS, UT 84001

COUNTY RECORDER

ENTRY NO. ____ FEE PAID ____

FILED FOR AND RECORDED ____

AT ____ IN BOOK ____ OF OFFICIAL

RECORDS, PAGE ____ RECORDED

FOR ____

COUNTY RECORDER

BY: ____

FARR WEST CITY ATTORNEY

I CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES PREREQUISITE BY THE STATE OF UTAH AND THE ORDINANCES OF FARR WEST CITY OF THE FOREGOING PLAT AND DEDICATIONS HAVE BEEN COMPLIED WITH.

SIGNED THIS ____ DAY OF ____, 2025.

SIGNATURE

FARR WEST CITY COUNCIL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT AND OTHER PUBLIC WAYS ARE HEREBY APPROVED AND ACCEPTED.

SIGNED THIS ____ DAY OF ____, 2025.

MAYOR

ATTEST

FARR WEST CITY PLANNING COMMISSION

APPROVED BY THE FARR WEST CITY PLANNING COMMISSION

SIGNED THIS ____ DAY OF ____, 2025.

CHAIR

ATTEST

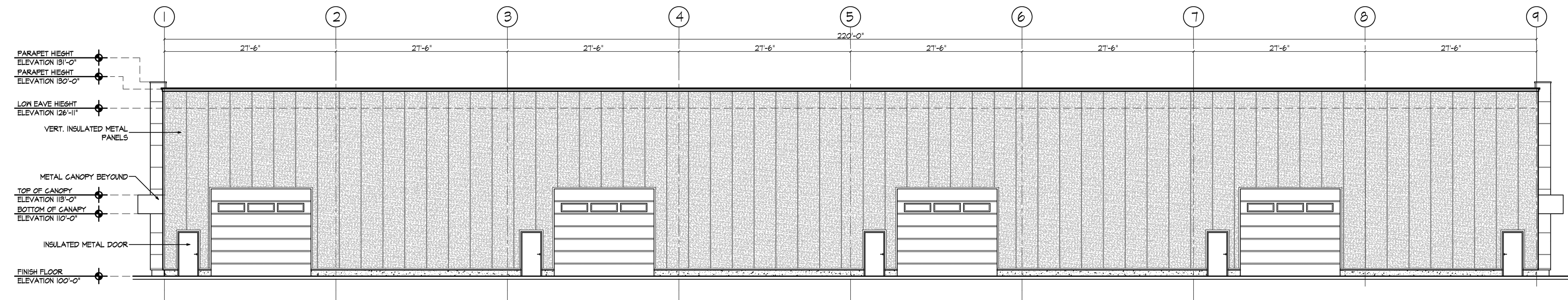
FARR WEST CITY ENGINEER

THIS PLAT WAS APPROVED BY THE CITY ENGINEER FOR FARR WEST CITY.

SIGNED THIS ____ DAY OF ____, 2025.

CITY ENGINEER

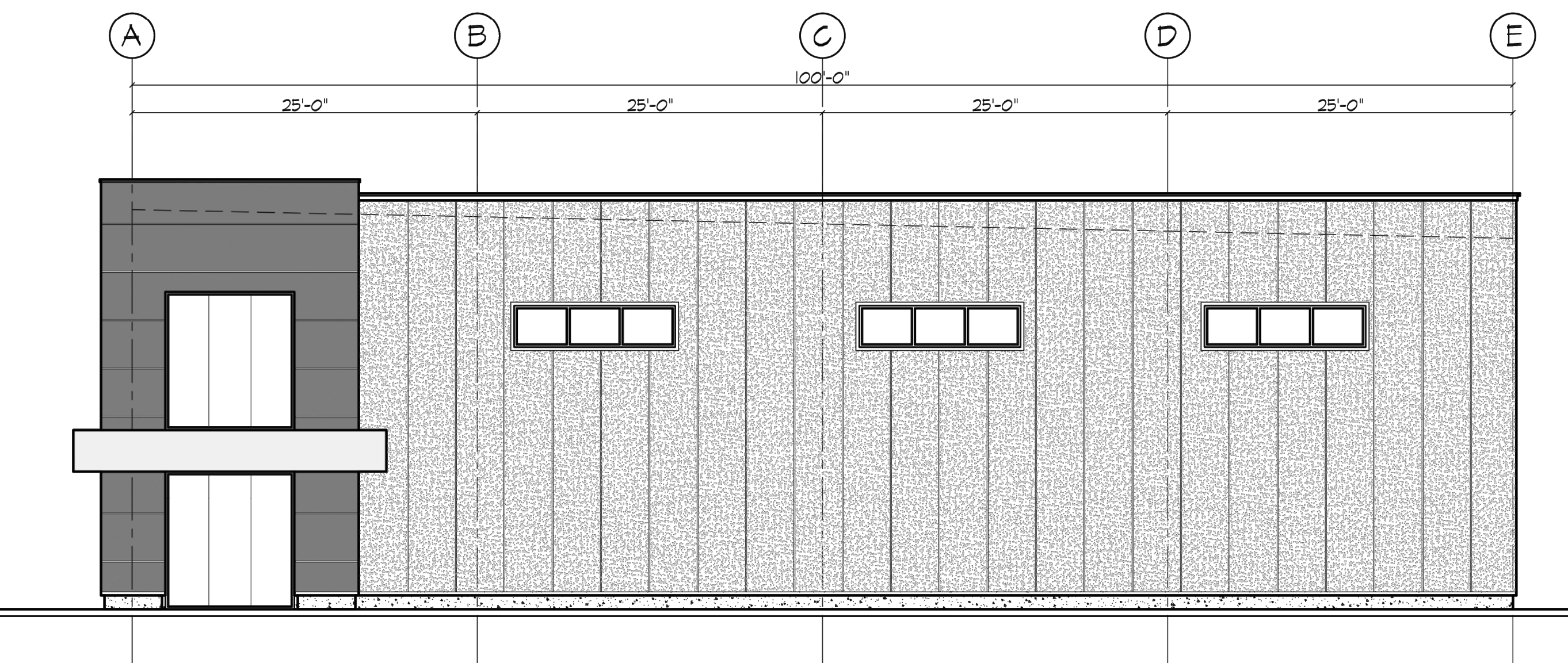
FARR WEST BUSINESS PARK
A 12 UNIT COMMERCIAL CONDOMINIUM PLAT
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6
NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN,
FARR WEST CITY, WEBER COUNTY, UTAH



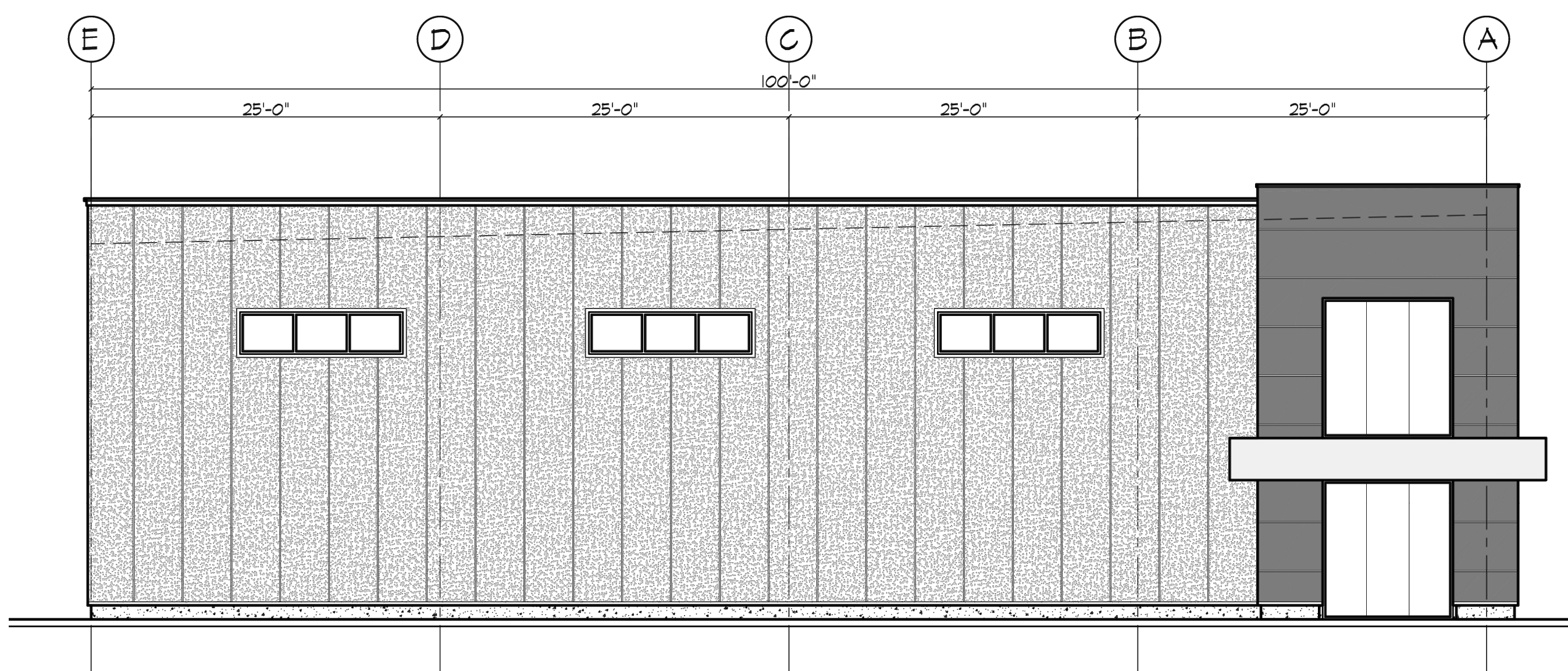
BACK EXTERIOR BUILDING ELEVATION
SCALE 1/8"=1'-0"



FRONT EXTERIOR BUILDING ELEVATION
SCALE 1/8"=1'-0"



SIDE EXTERIOR BUILDING ELEVATION
SCALE 1/8"=1'-0"



SIDE EXTERIOR BUILDING ELEVATION
SCALE 1/8"=1'-0"

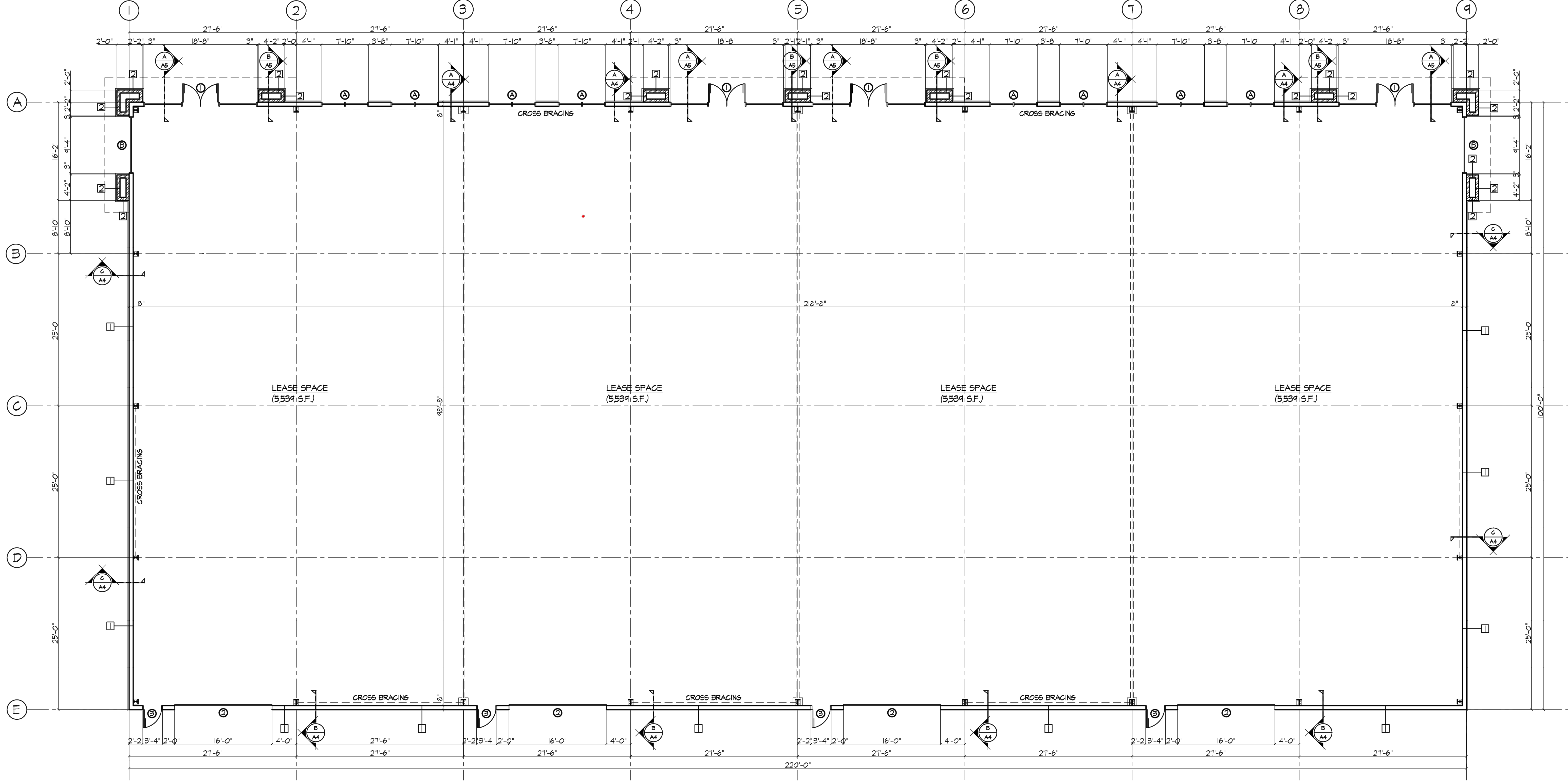
LAYTON SURVEYS LLC
Professional Land Surveying
837 S 500 W, STE. 201
(801) 663-1641 Willis.layton@laytonsurveys.com WOODS CROSS, UT 84010

FARR WEST BUSINESS PARK
A 12 UNIT COMMERCIAL
CONDOMINIUM PLAT
LOCATED IN THE SOUTHEAST QUARTER OF
SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN,
FARR WEST CITY, WEBER COUNTY, UTAH

COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____
AT _____ IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____ RECORDED
FOR _____
COUNTY RECORDER
BY: _____

C:\USERS\WILLIAMSON\SURVEYS\DROPBOX\LAYTON SURVEYS\2025\HUNT DAVITA\FARR WEST BUSINESS PARK\CONDO PLAT.DWG

FARR WEST BUSINESS PARK
A 12 UNIT COMMERCIAL CONDOMINIUM PLAT
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6
NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN,
FARR WEST CITY, WEBER COUNTY, UTAH



MAIN FLOOR PLAN
SCALE 1/8"=1'-0"

FARR WEST BUSINESS PARK
A 12 UNIT COMMERCIAL CONDOMINIUM PLAT
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN,
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DEVELOPER:
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3
3

COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____

FILED FOR AND RECORDED _____

AT _____, IN BOOK _____ OF OFFICIAL

RECORDS, PAGE _____, RECORDED

FOR _____

COUNTY RECORDER

BY: _____

MEMORANDUM

TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.
City Engineer

RE: **LEGENDS MIXED-USE SUBDIVISION PHASES 1 & 6**
Final Subdivision Plat and Improvement Plans Review

Date: May 7, 2025

Our office has completed a review of the final subdivision plats and improvement plans for the referenced phases of the Legends Mixed-Use Development. These first two phases will be constructed concurrently and will connect to 2300 West on the north end in the residential neighborhood and to 1300 North on the east end in the commercial area. Phase 1 is in the residential area and includes 37 single-family homes and 50 townhomes. Phase 6 includes all the commercial area.

We have been coordinating with the Developer and their Engineer on the plans and most of our concerns have been addressed. The following items are still outstanding and will need to fully addressed:

1. Update addresses on the final plats as provided by our office.
2. Make all minor corrections on the plats per our red-line comments.
3. Grade-in an emergency spillway on all detention basins to ensure that any overflow will go towards the roadway and not to adjacent lots.
4. Provide an inlet box at the low spot on the southeast corner of 1500 North 2300 West.
5. Provide storm drain combo boxes as shown on red-line drawings to allow better access for maintenance of the storm drain pipes.

In addition to addressing the comments above, the following items will need to be completed prior to beginning construction:

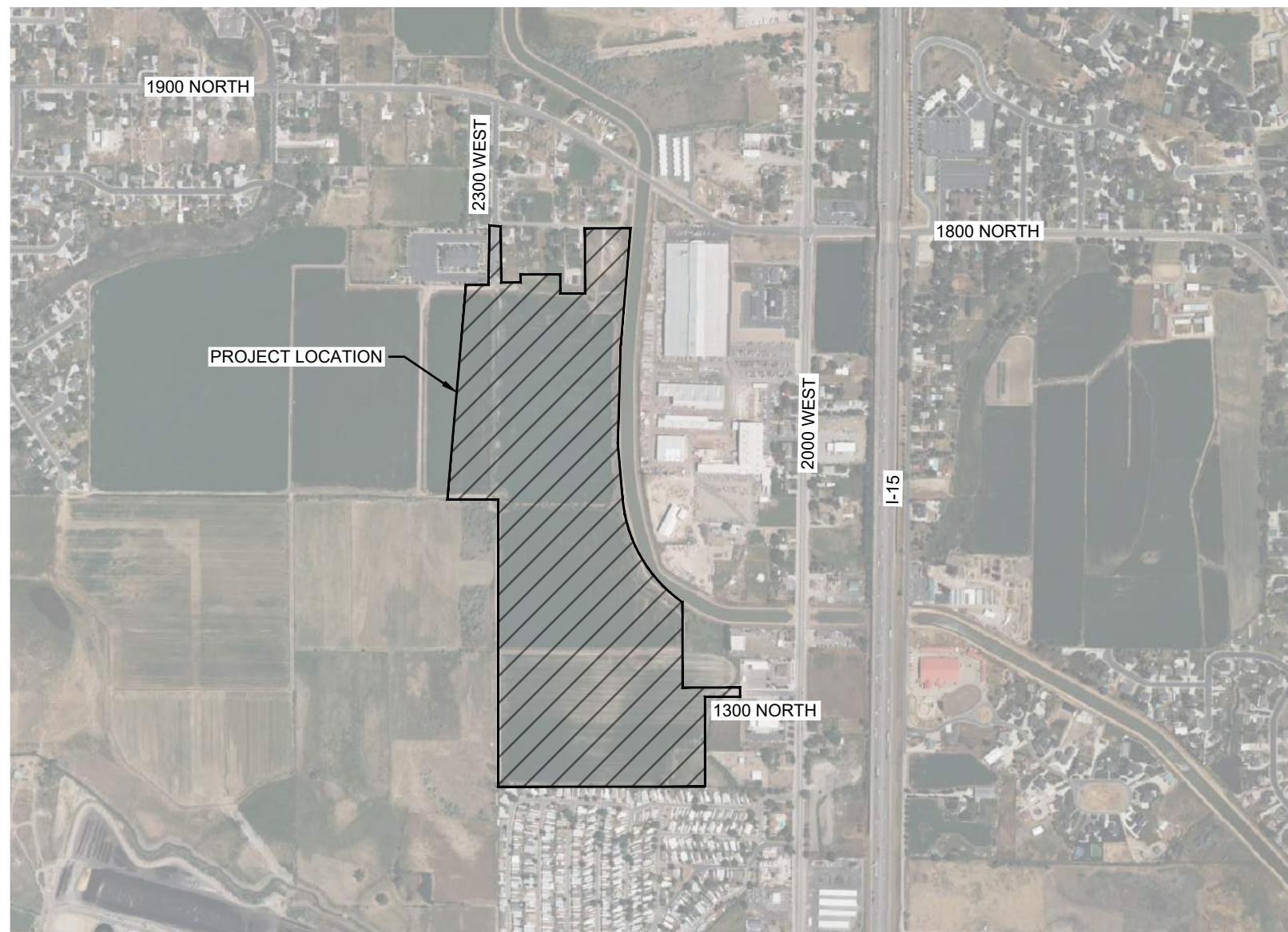
1. Complete a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) with the State before any construction begins.
2. The Developer and Contractor must hold a pre-construction meeting with City staff to review construction requirements.

Please let me know if you have any questions.










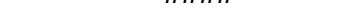
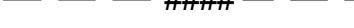
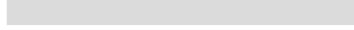














LEGENDS SUBDIVISION
PHASES 1-6
CONSTRUCTION DRAWINGS

5/5/2025










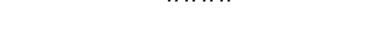

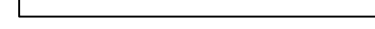
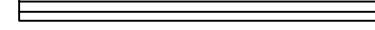








VICINITY MAP
1" = 1000'



LEGEND EXISTING

	PROPERTY BOUNDARY
	STORM DRAIN LINE
	WATER LINE
	IRRIGATION LINE
	GAS LINE
	SEWER LINE
	BURIED POWER LINE
	AERIAL POWER LINE
	COMMUNICATION LINE
	CONTOUR MINOR
	CONTOUR MAJOR
	ASPHALT
	OPEN FACE CURB AND GUTTER
	FENCE
	CONCRETE
	EXISTING TO BE REMOVED
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	CATCH BASIN (STORMDRAIN BOX)
	STORMDRAIN MANHOLE
	SEWER MANHOLE
	SEWER CLEANOUT
	IRRIGATION VALVE
	POWER POLE
	ELECTRICAL BOX
	COMMUNICATIONS BOX

LEGEND PROPOSED

	WATER LINE (SIZE SHOWN ON PLAN)
	STORM DRAIN LINE (SIZE SHOWN ON PLAN)
	IRRIGATION LINE (SIZE SHOWN ON PLAN)
	GAS LINE
	SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
	BURIED POWER LINE
	BURIED COMMUNICATION LINE
	CONTOUR MAJOR
	CONTOUR MINOR
	ASPHALT
	CATCH CURB AND GUTTER
	SPILL CURB AND GUTTER
	CONCRETE SIDEWALK.
	BUILDING SETBACK
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	STORMDRAIN MANHOLE
	STORMDRAIN BOX
	STORMDRAIN CATCH BASIN
	SEWER MANHOLE

GENERAL NOTES:

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY FARR WEST CITY DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY THE CONSTRUCTION. A SURVEY CREW MUST FIELD LOCATE, REPAIR, AND/OR PRESERVE ALL HISTORICAL OR VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
4. CONTRACTOR SHALL CONTACT "BLUE STAKES" PRIOR TO START OF CONSTRUCTION ACTIVITIES BY CALLING 811 OR SUBMITTING AN ONLINE UTILITY LOCATION REQUEST AT WWW.BLUESTAKES.ORG.
5. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND FARR WEST CITY.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE," IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY.
7. ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE ---- CITY STANDARDS AND SPECIFICATIONS.
8. PRIOR TO ANY DISTURBANCE TO THE SITE, INCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE FARR WEST CITY.
9. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.

STANDARD DRAWINGS & SPECIFICATIONS:

1. FARR WEST CITY DEPARTMENT OF PUBLIC WORKS STANDARD DRAWINGS AND SPECIFICATIONS.
2. CULINARY WATER: BONA VISTA WATER DISTRICT CONSTRUCTION STANDARDS & SPECIFICATIONS.
3. PRESSURIZED SECONDARY WATER: PINEVIEW WATER SYSTEMS STANDARDS & SPECIFICATIONS.

FARR WEST CITY ENGINEERING DEPARTMENT APPROVAL:

THE IMPROVEMENTS FOR THIS SUBDIVISION / PROJECT HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY-APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER/S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING, AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCES OF HIS OR HER WORK.

BY: _____ DATE: _____

Sheet Number	Sheet Title
C001	COVER & LEGEND
C100	DEMOLITON PLAN
C200	PHASING PLAN
C201	PHASE 1 TEMPORARY IMPROVMENT PLAN
C202	STREET LIGHT PLAN
C300	GRADING OVERVIEW
C301	STORMWATER OVERVIEW
C302	DRAINAGE PLAN
C303	DRAINAGE PLAN
C304	DRAINAGE PLAN
C305	STORMWATER CALCULATIONS
C400	SHEET OVERVIEW
C401	PLAN & PROFILE
C402	PLAN & PROFILE
C403	PLAN & PROFILE
C404	PLAN & PROFILE
C405	PLAN & PROFILE
C406	PLAN & PROFILE
C407	PLAN & PROFILE
C408	PLAN & PROFILE

C409	PLAN & PROFILE
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C410	PLAN & PROFILE
C411	PLAN & PROFILE
C412	PLAN & PROFILE
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C414	PLAN & PROFILE
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C421	PLAN & PROFILE
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C423	PLAN & PROFILE
C424	PLAN & PROFILE
C425	PLAN & PROFILE
C426	PLAN & PROFILE
C427	PLAN & PROFILE
C428	PLAN & PROFILE
C429	PLAN & PROFILE
C430	PLAN & PROFILE
C501	DETAILS

PROJECT CONTACTS:

1. CIVIL ENGINEER:

MICHAEL TAYLOR
498 WEST 100 SOUTH
PROVIDENCE, UT 84332
MTAYLOR@CSG.WORK
P. 435.890.4498
2. SURVEYOR

CURTIS BOWN
498 WEST 100 SOUTH
PROVIDENCE, UT 84332
CBOWN@CSG.WORK
P. 435.720.3761
3. FARR WEST CITY ENGINEER

MATT ROBERTSON
JONES & ASSOCIATES
6080 FASHION POINT DR.
SOUTH OGDEN, UT, 84403
matt@jonescivil.com
P. 801.479.9767
4. BONA VISTA WATER DISTRICT:

KENNY HEFFLEFINGER
2020 W 1300 N
OGDEN, UT, 84404
kenny@bonavistawater.goc
P. 801.621.0474 EXT 207
5. PINEVIEW WATER SYSTEMS

DANIEL JOHNSON
471 W 2ND ST.
OGDEN, UT, 84404
djohnson@pineviewwater.com
P. 801.622.4347
6. WEBER FIRE DISTRICT:

2023 W 1300 N
FARR WEST, UT, 84404

DAVID REED
dreed@weberfd.com
P. 801.782.3580 ext.205

GREG WRIGHT
gwright@weberfd.com
P. 801.782.3580 ext. 214
7. ROCKY MOUNTAIN POWER:

BUILDER'S HOTLINE
1.800.469.3981
ROCKYMOUNTAINPOWER.NET
8. UTAH STORM WATER PERMIT:

UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY
DIVISION OF WATER QUALITY
195 N 1550 W
SALT LAKE CITY, UTAH 84116
P. 801.558.4000
<https://deq.utah.gov/water-quality/updes-ereporting/construction/>
9. ENBRIDGE GAS:

CODY RANDALL
cody.randall@dominionenergy.com
P. 801.339.1263

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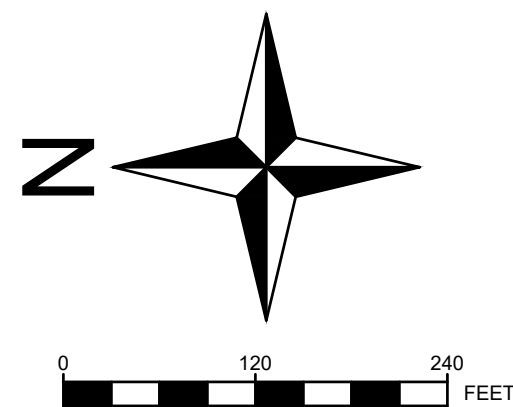
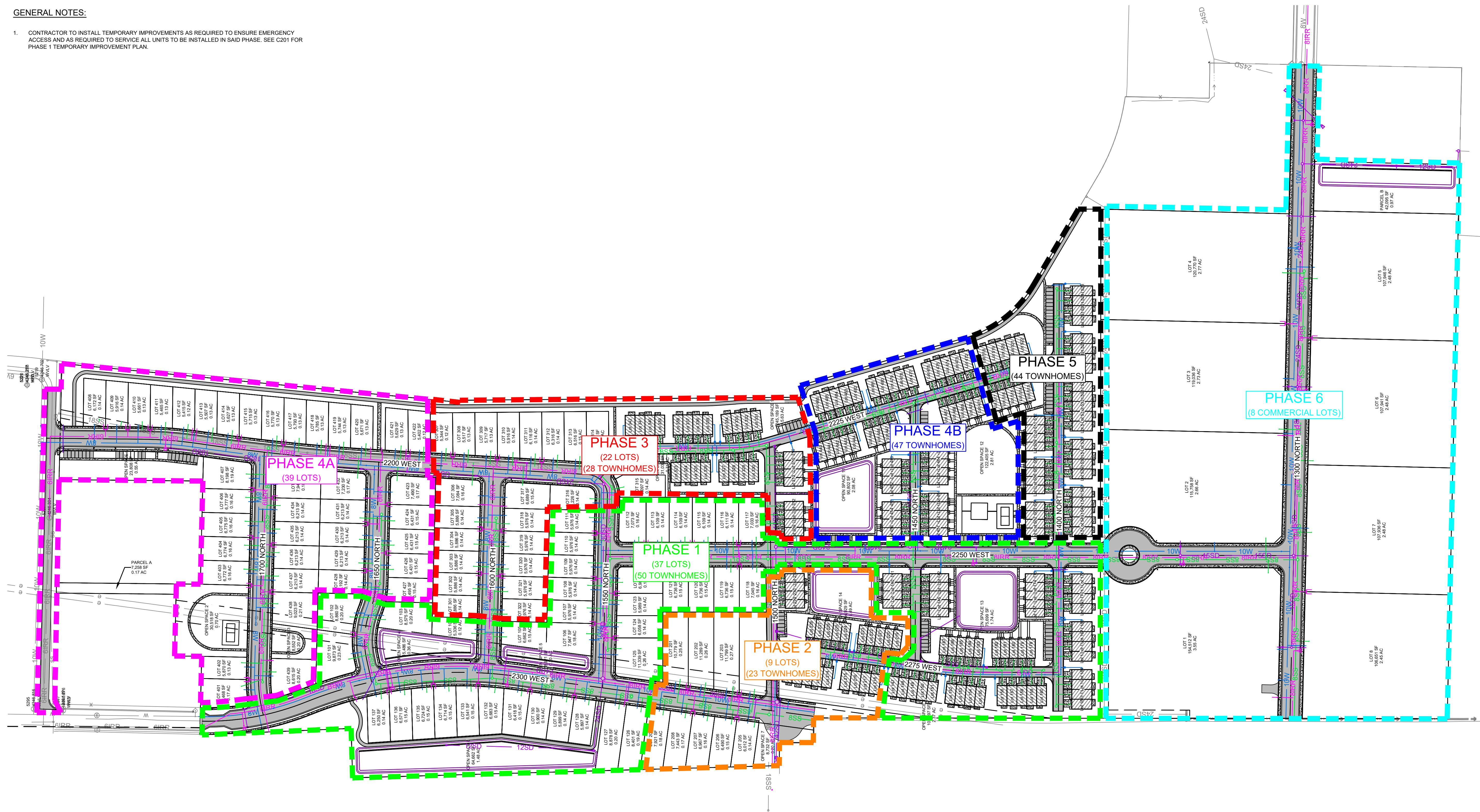
PROJECT #: 24-255
DRAWN BY: C. SCHAFFNER
PROJECT MANAGER: M. TAYLOR
ISSUED: 5/5/2025

COVER &
LEGEND

C001

GENERAL NOTES:

1. CONTRACTOR TO INSTALL TEMPORARY IMPROVEMENTS AS REQUIRED TO ENSURE EMERGENCY ACCESS AND AS REQUIRED TO SERVICE ALL UNITS TO BE INSTALLED IN SAID PHASE. SEE C201 FOR PHASE 1 TEMPORARY IMPROVEMENT PLAN.

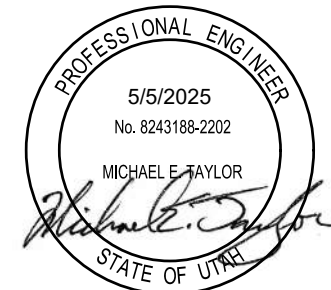


LEGENDS SUBDIVISION

PHASES 1-6
1500 NORTH, 2300 WEST
FARR WEST, UT, 84404

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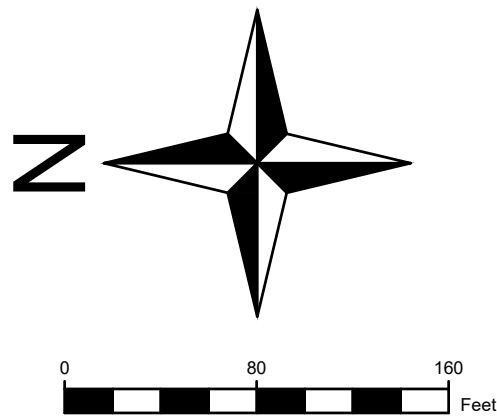
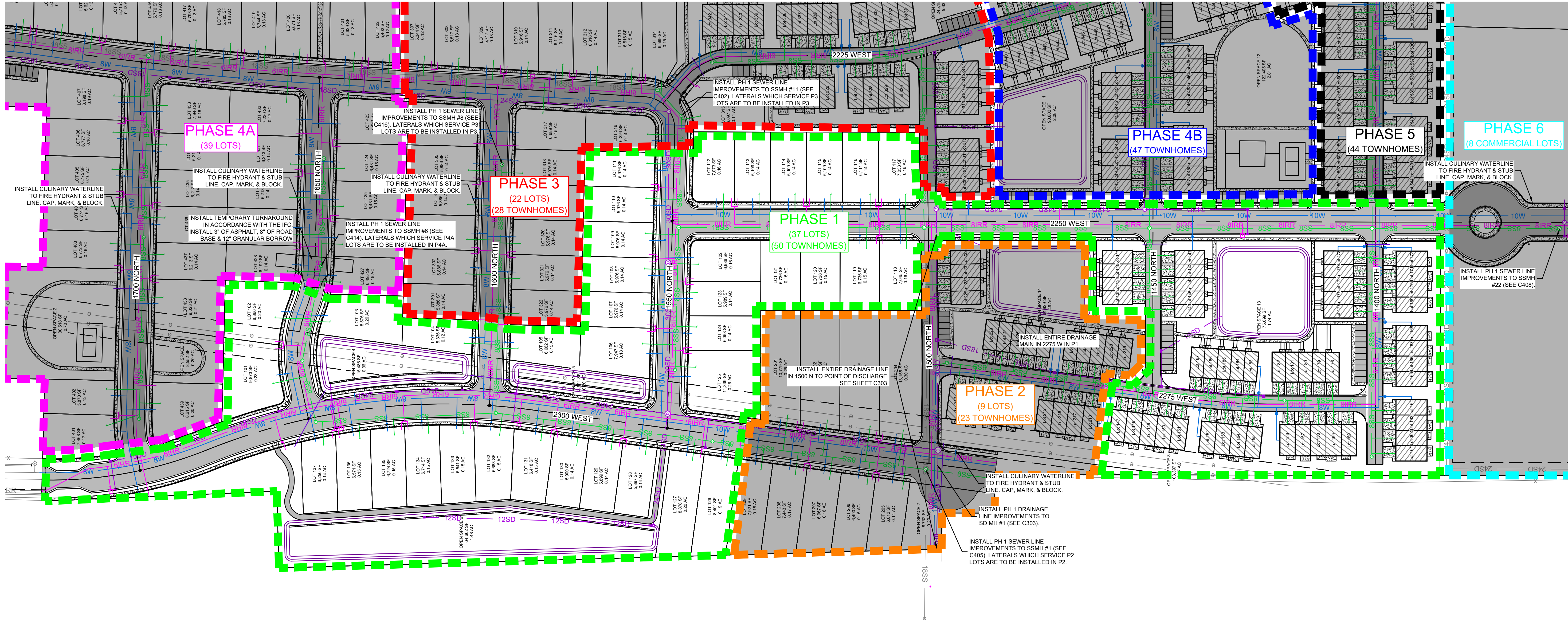
PROJECT #: 24-255
DRAWN BY: C. SCHAFFNER
PROJECT MANAGER: M. TAYLOR
ISSUED: 5/5/2025



PHASING PLAN

C200

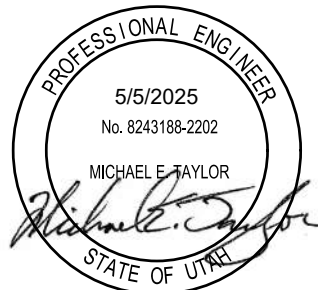




LEGENDS SUBDIVISION
PHASES 1-6
1500 NORTH, 2300 WEST
FARR WEST, UT, 84404

MARK	DATE	DESCRIPTION

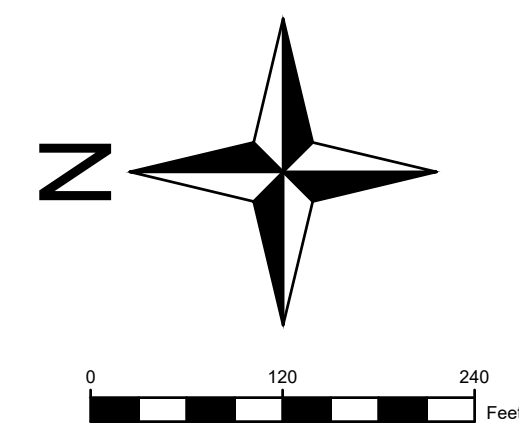
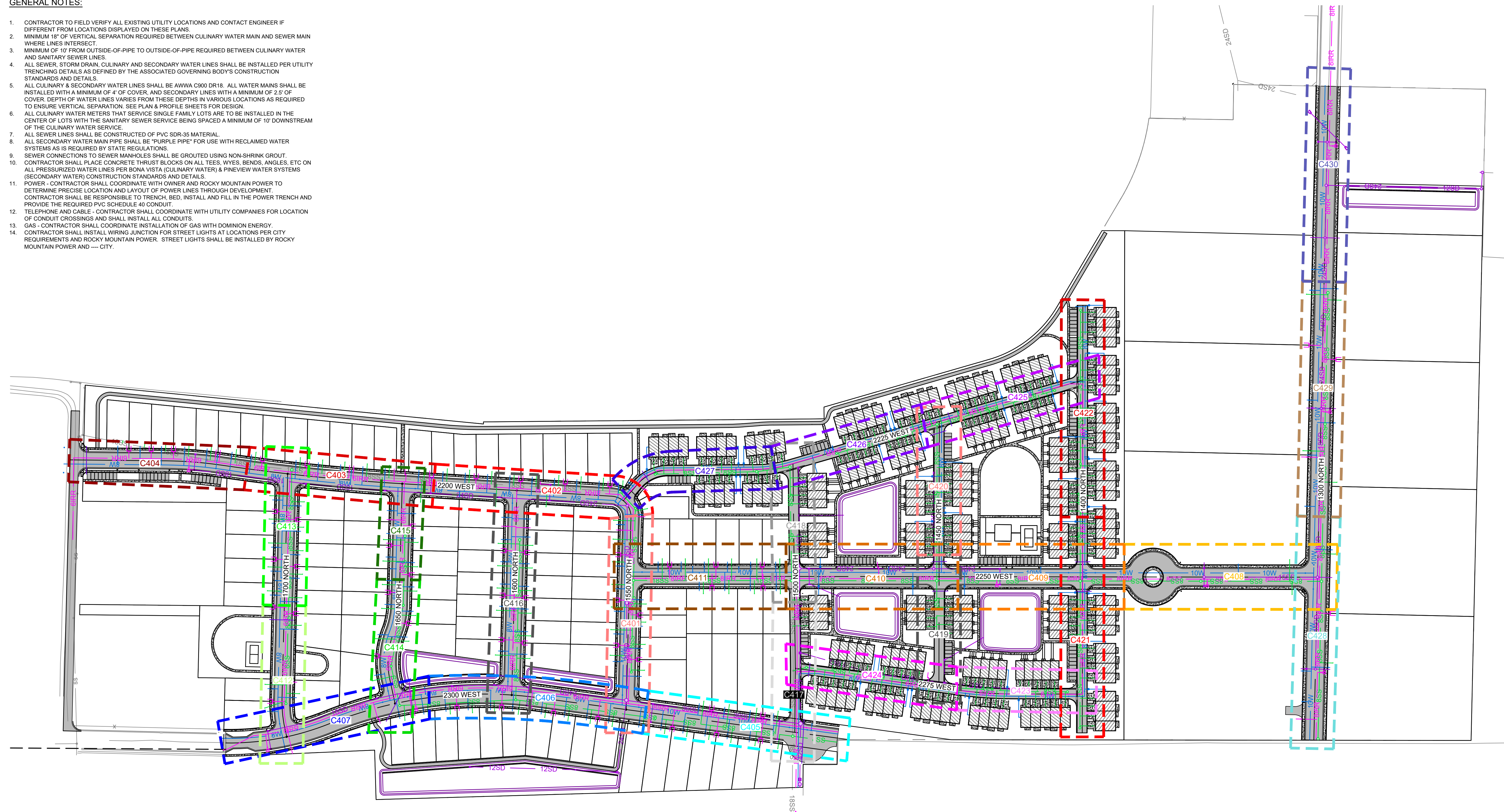
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DRAWN BY: C. SCHAFFNER
PROJECT MANAGER: M. TAYLOR
ISSUED: 5/5/2025



PHASE 1
TEMPORARY
IMPROVEMENT PLAN

C201

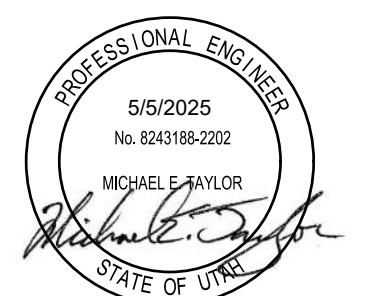
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN CULINARY WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER AND SANITARY SEWER LINES.
4. ALL STORM DRAIN, CULINARY AND SECONDARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAILS AS DEFINED BY THE ASSOCIATED GOVERNING BODY'S CONSTRUCTION STANDARDS AND DETAILS.
5. ALL CULINARY & SECONDARY WATER LINES SHALL BE AWWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 4' OF COVER, AND SANITARY LINES WITH A MINIMUM OF 2.5' OF COVER. DEPTH OF WATER LINES VARIES FROM THESE DEPTHS IN VARIOUS LOCATIONS AS REQUIRED TO ENSURE VERTICAL SEPARATION. SEE PLAN & PROFILE SHEETS FOR DESIGN.
6. ALL CULINARY WATER MAIN SERVICE SINKS IN FAMILY LOTS ARE TO BE INSTALLED IN THE CENTER OF LOTS WITH THE SANITARY SEWER SERVICE BEING SPACED A MINIMUM OF 10' DOWNSTREAM OF THE CULINARY WATER SERVICE.
7. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
8. ALL SECONDARY WATER MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
9. SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUDED USING NON-SHRINK GROUT.
10. CONTRACTOR SHALL PROVIDE ALL CONCRETE TIE RODS, TIES, WYES, BENDS, ETC. ON ALL PRESSURIZED WATER LINES PER BONA VISTA (CULINARY WATER) & PINEVIEW WATER SYSTEMS (SECONDARY WATER) CONSTRUCTION STANDARDS AND DETAILS.
11. CONTRACTOR SHALL COORDINATE WITH ROCKY MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BEND, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
12. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
13. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH DOMINION ENERGY.
14. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR REQUIREMENTS AND ROCKY MOUNTAIN POWER. STREET LIGHTS SHALL BE INSTALLED BY ROCKY MOUNTAIN POWER AND ---- CITY.



**LEGENDS SUBDIVISION
PHASES 1-6**
1500 NORTH, 2300 WEST
FARR WEST, UT, 84404

[illegible]

PROJECT #: 24-255
DRAWN BY: C. SCHAFFNER
PROJECT MANAGER: M. TAYLOR
ISSUED: 5/5/2025



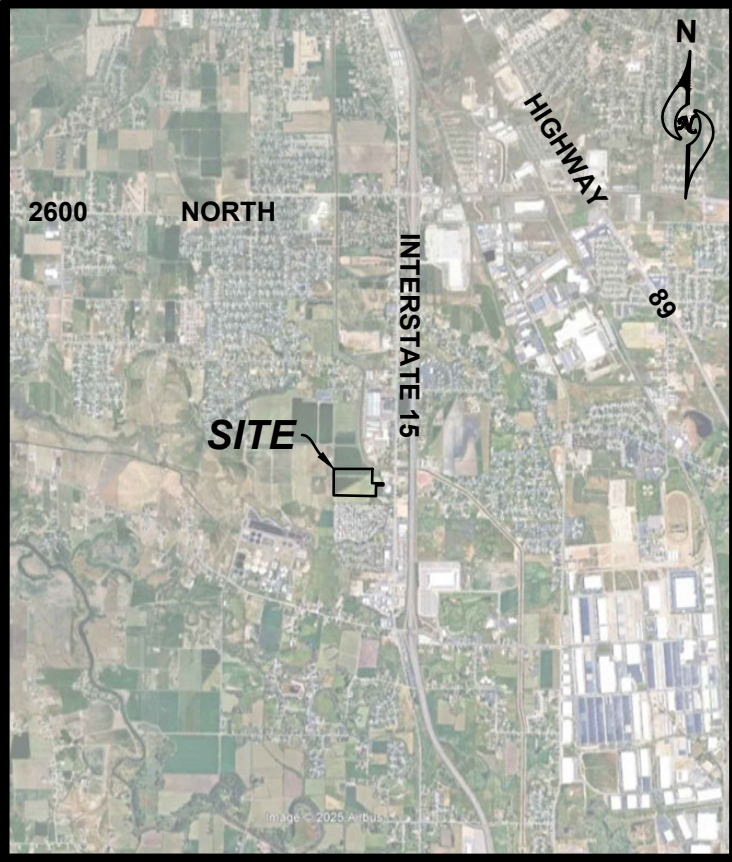
SHEET OVERVIEW

C400

civilsolutionsgroup inc.



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info@civilsolutionsgroup.net
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VICINITY MAP

NTS

LEGEND

- XXX LOT ADDRESSES
SECTION MONUMENT
STREET MONUMENT
EASEMENT LINE

DATE OF PREPARATION
APRIL 28, 2025

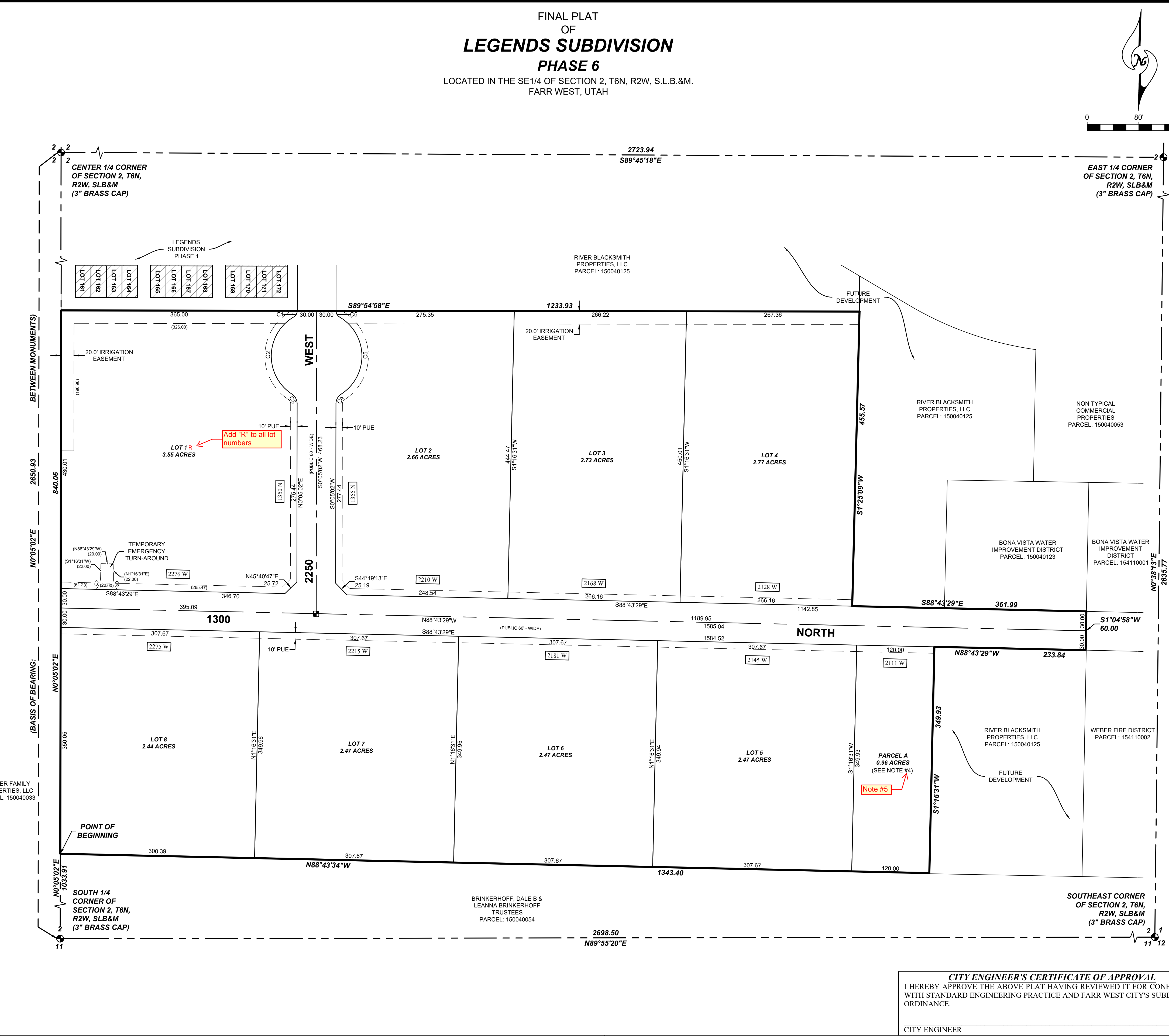
DEVELOPER
RIVER BLACKSMITH PROPERTIES
2105 W 1800 N, FARR WEST UT 84404
C/O JEREMY SCHEER

- NOTES:
- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE PROPERTY SHOWN HEREON INTO LOTS, BLOCKS, ROADWAYS, AND EASEMENTS. THE BOUNDARY SHOWN HEREON REFERENCES THE SURVEY PREPARED BY SPENCER J. MCCUTCHEON AT ELEVATED LAND SURVEYING.
 - #5 REBAR & CAP TO BE SET AT ALL BOUNDARY CORNERS.
 - ACCORDING TO FARR WEST MUNICIPAL CODE 16.24.030(F) THE FINAL PLAT WILL DESIGNATE ALL LOTS WITH AN "R" RESTRICTION WITH THE FOLLOWING NOTE: "R" RESTRICTION. ALL LOTS IN THIS SUBDIVISION ARE RESTRICTED WITH REGARD TO FINISHED FLOOR LEVEL. FINISHED FLOOR ELEVATION OF FUTURE HOMES LOWER THAN TOP BACK OF CURB ELEVATION FRONTING THE LOT ARE NOT ALLOWED. EXCEPTIONS TO THIS RESTRICTION ARE FOUND IN SUBSECTION 15.04.020K OF THE FARR WEST MUNICIPAL CODE.
 - ACCORDING TO FARR WEST MUNICIPAL CODE 15.04.020K ALL NEW HOME BUILDING PERMIT APPLICATIONS SHALL HAVE A RESTRICTION THAT THE LOWEST FINISHED FLOOR ELEVATION IN THE DWELLING SHALL NOT BE LOWER THAN THE ADJACENT TOP BACK OF CURB ELEVATION OR IF CURB IS NOT PRESENT, NO LOWER THAN THE EXISTING GROUND SURFACE. FINISHED FLOOR IS DEFINED AS ANY BASEMENT OR STORY OF A DWELLING THAT IS OR CAN BE MADE TO BE LIVING SPACE, AS THAT TERM IS DEFINED IN THE CURRENT EDITION OF THE INTERNATIONAL RESIDENTIAL CODE.
 - PARCEL A IS HEREBY DEDICATED TO AND TO BE MAINTAINED BY FARR WEST CITY.

SLATER FAMILY PROPERTIES, LLC
PARCEL: 150040033

CURVE TABLE				
CURVE #	RADIUS	DELTA	LENGTH	CHORD
C1	11.25	59°28'55"	11.68	N29°49'30"E 11.16
C2	70.00	116°28'17"	142.30	N1°21'23"E 119.03
C3	18.00	56°56'14"	17.89	N28°23'05"W 17.16
C4	18.00	56°56'14"	17.89	S28°33'10"W 17.16
C5	70.00	116°28'17"	142.30	S1°11'18"E 119.03
C6	11.25	59°28'55"	11.68	S29°39'25"E 11.16
C7	28.00	40°00'28"	19.55	N21°16'45"E 19.16
C8	28.00	40°00'33"	19.55	S18°43'46"E 19.16

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CITY ENGINEER'S CERTIFICATE OF APPROVAL
I HEREBY APPROVE THE ABOVE PLAT HAVING REVIEWED IT FOR CONFORMITY WITH STANDARD ENGINEERING PRACTICE AND FARR WEST CITY'S SUBDIVISION ORDINANCE.
CITY ENGINEER DATE

UTILITY COMPANIES
THE UTILITY EASEMENTS SHOWN ON THIS PLAT HAVE BEEN REVIEWED AND ARE APPROVED.
ENBRIDGE* DATE ROCKY MOUNTAIN POWER DATE
COMCAST CABLE DATE CENTURYLINK COMMUNICATIONS DATE
*QUESTAR GAS COMPANY, dba ENBRIDGE UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THIS PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

ROCKY MOUNTAIN POWER
1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
(1) A RECORDED EASEMENT OR RIGHT OF WAY
(2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
(3) TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND FACILITIES OR
(4) ANY OTHER PROVISION OF LAW.

SURVEYOR'S CERTIFICATE
I, CURTIS BOWN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 12606452-2201 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE ALSO SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

CURTIS BOWN DATE
PROFESSIONAL LAND SURVEYOR
CERTIFICATE NO. 12606452-2201

BOUNDARY DESCRIPTION
A portion of property located in the SE1/4 of Section 2, Township 6 North, Range 2 West, Salt Lake Base & Meridian, Farr West, Utah, more particularly described as follows:
Beginning at a set 5/8" Rebar & Cap marked PLS 10719099, located N0°05'02"E along the Section Line 1,033.91 feet from the South Quarter Corner of Section 2, Township 6 North, Range 2 West, Salt Lake Base & Meridian; thence N0°05'02"E along said Section line 840.06 feet to a set 5/8" Rebar & Cap marked PLS 10719099; thence S89°54'58"E 1,233.93 feet to a set 5/8" Rebar and Cap Marked PLS 10719099; thence S1°25'09"W 455.57 feet to a set 5/8" Rebar & Cap marked PLS 10719099; thence S88°43'29"E 361.98 feet to the northwest corner of 1300 North Street as dedicated on the BONA VISTA - WEBER FIRE Subdivision Entry No. 2137978 and to a set 5/8" Rebar & Cap marked PLS 10719099; thence S1°04'58"W along the west boundary line of said Street 60.00 feet to the southwest corner of said street and to a set 5/8" Rebar & Cap marked PLS 10719099; thence N88°43'29"W 233.84 feet to a set 5/8" Rebar & Cap marked PLS 10719099; thence S1°16'31"W 349.93 feet to a set 5/8" Rebar & Cap marked PLS 10719099; thence N88°43'34"W 1,343.40 feet to the point of beginning.
Contains: 25.49 Acres

OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS:

LEGENDS SUBDIVISION
PHASE 6

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC & FARR WEST CITY ALL STREETS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, 20__.

_____(SIGNATURE)

BY: _____(PRINTED NAME)

ITS: _____

CORPORATE ACKNOWLEDGMENT
ON THIS ____ DAY OF _____, 20__, PERSONALLY APPEARED BEFORE ME _____, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORE/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF RIVER BLACKSMITH PROPERTIES, LLC AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID LIMITED LIABILITY CORPORATION ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC (SIGNATURE)

RESIDING IN _____ COUNTY

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY

PLANNING AND ZONING CERTIFICATE OF APPROVAL
THIS PLAT HAS BEEN REVIEWED AND APPROVE BY THE FARR WEST CITY PLANNING AND ZONING COMMISSION.

CHAIRPERSON DATE

CITY ATTORNEY'S CERTIFICATE OF APPROVAL
I HAVE REVIEWED THIS PLAT AND APPROVE IT FOR ACCEPTANCE BY FARR WEST CITY.

CITY ATTORNEY DATE

CITY COUNCIL'S CERTIFICATE APPROVAL
THE ABOVE PLAT IS HEREBY APPROVED AND ACCEPTED BY THE FARR WEST CITY COUNCIL ON THIS ____ DAY OF _____, 20__

MAYOR ATTEST:

FINAL PLAT
OF
LEGENDS SUBDIVISION
PHASE 6
LOCATED IN THE SE1/4 OF SECTION 2, T6N, R2W, S.L.B.&M.
FARR WEST, UTAH

RECORDED #
STATE OF UTAH, COUNTY OF WEBER, RECORDED AND FILED AT THE REQUEST OF:

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

\$ FEE _____ WEBER COUNTY RECORDER