

**HEBER CITY CORPORATION**  
**75 North Main Street**  
**Heber City, UT 84032**  
**Planning Commission Meeting**

**May 13, 2025**

**6:00 p.m. – Regular Meeting**

**-Time and Order of Items are approximate and may be changed as Time Permits-**

Public notice is hereby given that the monthly meeting of the Heber City Planning Commission will be in the Heber City Office Building, 75 North Main, South door, in the Council Chambers upstairs.

**1. Regular Meeting:**

- I. Call to Order
- II. Roll Call
- III. Pledge of Allegiance: By Invitation
- IV. Prayer/Thought by Invitation ()
- V. Recuse for Conflict of Interest

**2. Consent Agenda: N/A**

**3. Action Items:**

- I. Public Hearing for 1874 South Daniels Road Zoning Map Amendment (Jacob Roberts)
- II. Public Hearing for Body Art Facility Text Amendment (Jacob Roberts)
- III. Public Hearing for Karl Malone Polaris MDA located at 900 South and Main Street (Denna Woodbury)
- IV. Plourde Annexation & MDA (Jacob Roberts)

**4. Work Meeting: N/A**

**5. Administrative Items:**

- I. City Council Communication Item

**6. Adjournment:**

Ordinance 2006-05 allows Commission Members to participate in meetings via telecommunications media.

In accordance with the Americans with Disabilities Act, those needing special accommodations during this meeting or who are non-English speaking should contact Meshelle Kijanen at the Heber City Offices at 435.657.7898 at least eight hours prior to the meeting.

Posted on 05.08.2025, in the Heber City Municipal Building located at 75 North Main, the Heber City Website at [www.heberut.gov](http://www.heberut.gov), and on the Utah Public Notice Website at <http://pmn.utah.gov>. Notice provided to the Wasatch Wave.



# Planning Commission Staff Report

**MEETING DATE:** 5/13/2025  
**SUBJECT:** Public Hearing for 1874 South Daniels Road Zoning Map Amendment (Jacob Roberts)  
**RESPONSIBLE:** Jacob Roberts  
**DEPARTMENT:** Planning  
**STRATEGIC RELEVANCE:** Community Development

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## SUMMARY

Zone change request for real property located at approx. 1874 South Daniels Road, parcel number 00-0020-6899 (see attached maps). The property is currently zoned R-1 Residential & I-1 Industrial with each zone covering approximately 50% of the parcel. A zoning map amendment has been requested by the applicant to rezone the parcel entirely as I-1 Industrial.

### **Policy Question:**

Should real property located at approximately 1874 South Daniels Road (parcel 00-0020-6899) be rezoned from Residential Zone R-1 to the I-1 Industrial Zone?

## RECOMMENDATION

Staff is recommending **approval** of the Zoning Map Amendment based on the findings and conditions outlined below.

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## BACKGROUND

This parcel was annexed into the city in 2007 as a part of the Daniel Airport Road Annexation. The zoning at the time of annexation was identical to todays zoning designation.

The property owner approached the city to rezone the front half of the parcel to I-1 in order to more fully utilize the site for industrial purposes. While the applicant intends to redevelop the property in the future, no immediate plans are in place, and the property will continue to function much as it does today. Uses consistent with the I-1 Zone will occur behind the existing residence, which will continue to be used as a home.

## DISCUSSION

Having reviewed the application, staff finds that approval of the request for a zone change is acceptable based on the following findings:

### General Plan

The General Plan designates this area as (I) Light Industrial:

Light Industrial (I)	Manufacturing uses located generally within enclosed buildings, plus office/warehouse uses	NA	Limited outdoor storage and activity; may allow for accessory apartments
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- *The requested rezoning of this property is inline with the General Plan.*

### Zoning

1. Currently, the property is being used as an Auto Body Shop. This is inline with the zoning of the western half of the property (I-1). Rezoning the full property to I-1 would be inline with the general plan and the current use of the property.
2. The existing home at the front of the property is currently being used as a residence and will continue to be used as such. Residential use will become a legal nonconforming (grandfathered) use and may continue until the property changes ownership or the site undergoes development.

### All conditions of the City Engineer must be met as a condition of approval:

Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications in place at time of development. Additionally, at time of development, or a prior time requested by the City, all Master Planned infrastructure elements on or adjoining the subject property need to be designed and installed by applicant. All City Engineer requirements will need to be satisfied prior to any final development plans being approved. The following are site and infrastructure concerns known at this time that need to be addressed and finalized through the development process: (Please note that the following list is not to be considered all-inclusive and additional concerns may arise as development plans are submitted for review.)

1. Boundary lines of existing parcels extend into Daniels Road. Dedication to Heber City of property in roadway needs to occur.
2. Daniels Road is currently on the Master Plan as a Major Collector. Upon development, proper width to accommodate a Major Collector road or then current Master Plan road cross section will need to be dedicated to the City.
3. Design, construct, and pay for widening of Daniels Road to major collector road standards or then current Master plan road cross section and match grade and width of already constructed adjoining road cross section.
4. At time of development, extend all utility lines including curb and gutter and asphalt widening along Daniels Road frontage per Heber City standards and specifications.
5. At time of development the Master Planned paved trail along Daniels Road will need easement

granted and be designed and constructed with improvements.

6. Comply with any pioneering agreements in place for any infrastructure reimbursements that City is obligated to enforce and collect.

## **FISCAL IMPACT**

N/A

## **CONCLUSION**

Staff recommends approval of the zoning map amendment for the property located at approximately 1874 South Daniels Road (parcel 00-0020-6899), changing the zoning from split R-1 Residential and I-1 Industrial to entirely I-1 Industrial. The request aligns with the General Plan and reflects the property's current industrial use. The existing home on the site will continue as a legal nonconforming (grandfathered) residential use, permitted until the property changes ownership or is developed. Approval is recommended subject to all City Engineer requirements being met at the time of development.

This Legislative Item requires a notification to all surrounding parcels to the said parcel by 300 ft, as well as an A-Frame notification in area of the MDA, as well as posting in more than the required eight different businesses around the Wasatch County area, as well as posted in the Public Notification System, as well as notified on the Wasatch County website. **All noticing requirements were met in full.**

### **Policy Question:**

Should real property located at approximately 1874 South Daniels Road (parcel 00-0020-6899) be rezoned from Residential Zone R-1 to the I-1 Industrial Zone?

### **Findings**

- This Zoning Map amendment is consistent with the outlined Land Use of the General Plan
- The current and future use of the property is consistent with permitted uses in the I-1 Zone. The current residential use would become a legal nonconformity.
- Planning Commission held a public hearing on May 13th, 2025

### **Conditions**

- All conditions of the City Engineer must be met.

## **ALTERNATIVES**

### **Staff Recommended Option - Approval**

I move to **approve 1874 South Daniel Road Rezone** as presented, with the findings and conditions as presented in the conclusion above.

## POTENTIAL MOTIONS

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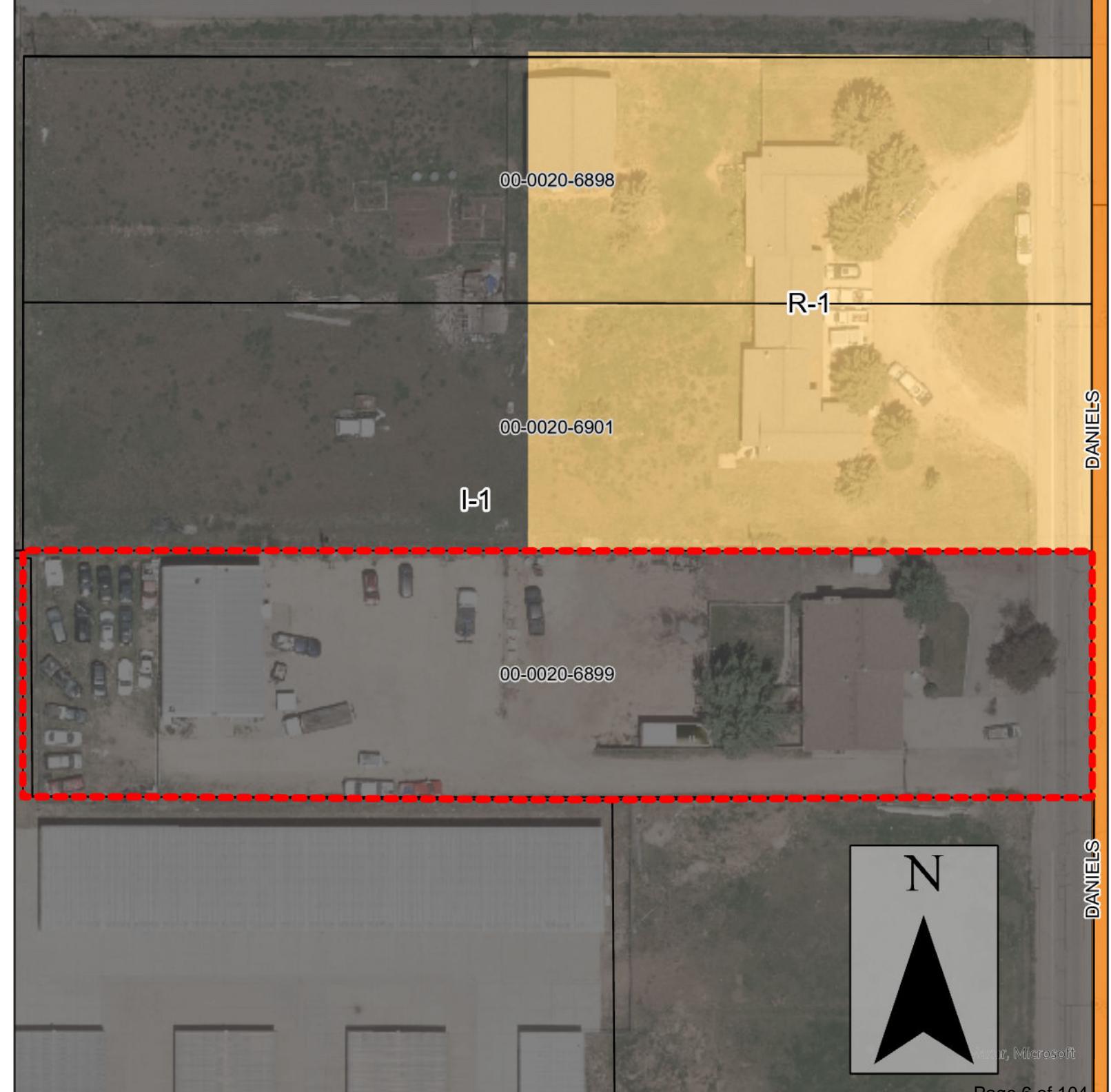
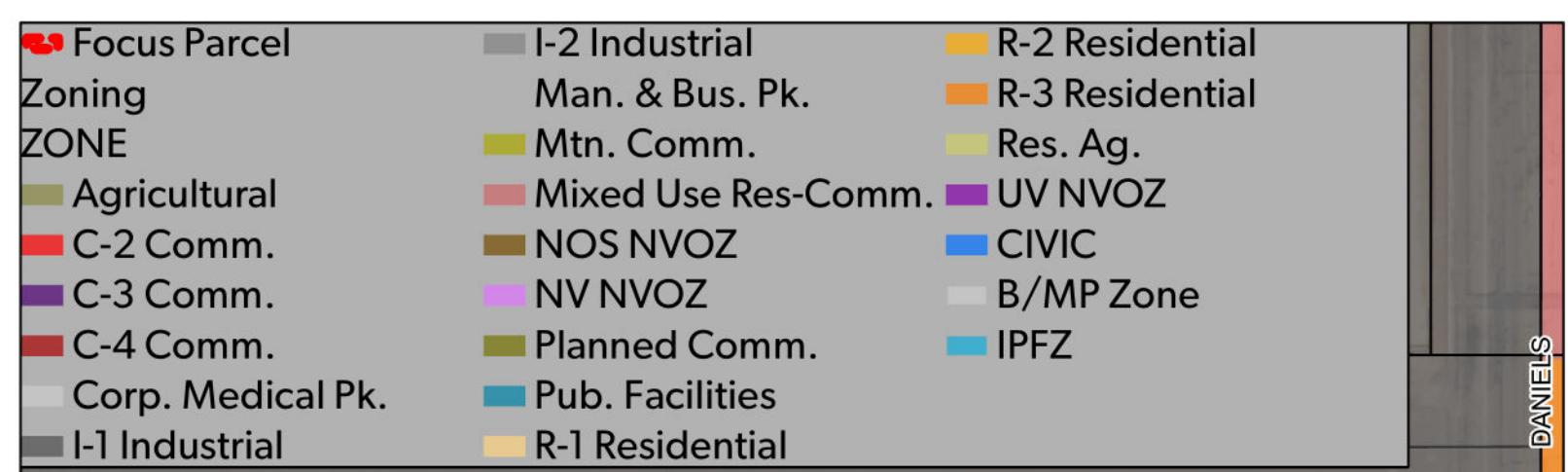
### ACCOUNTABILITY

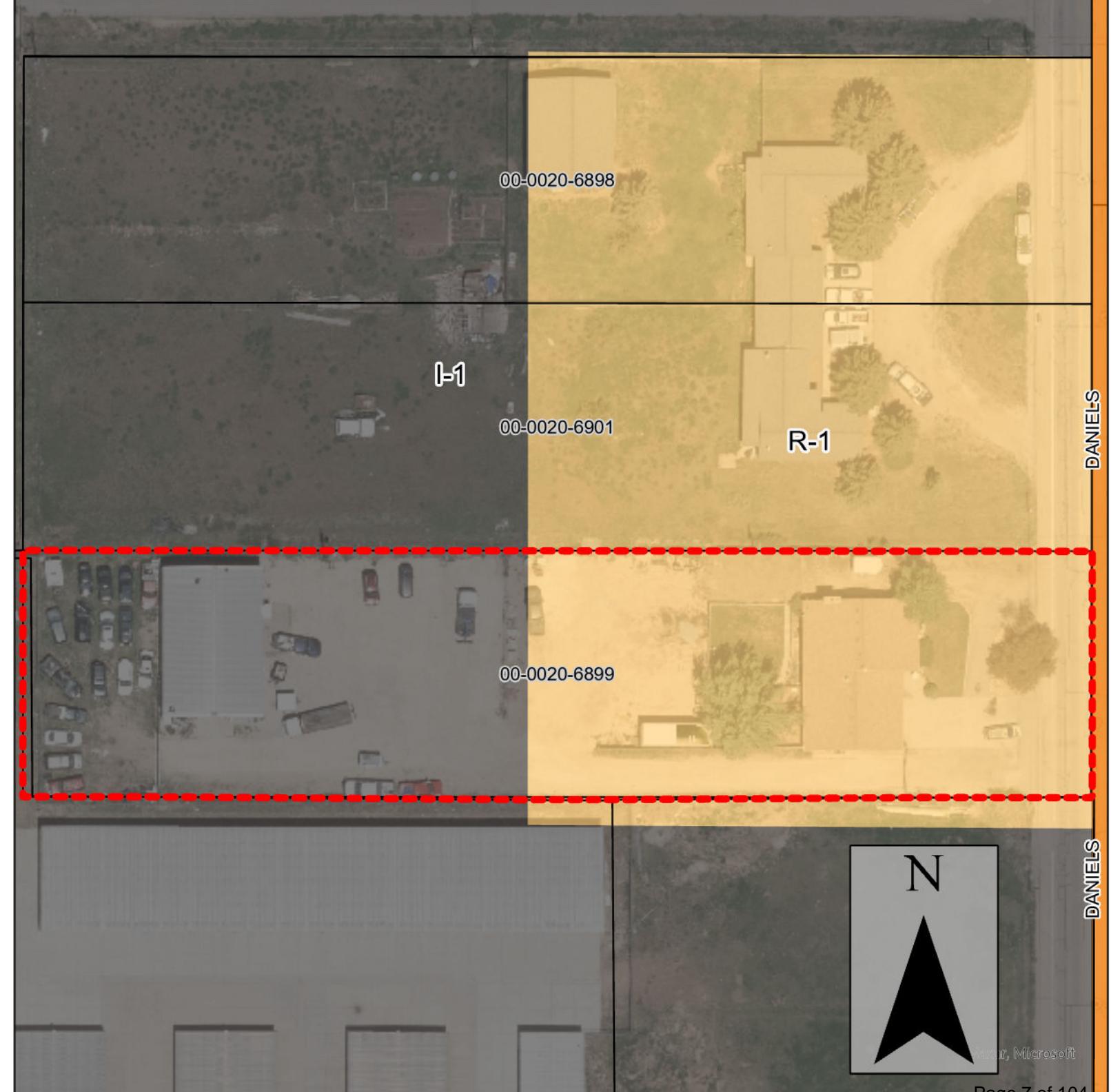
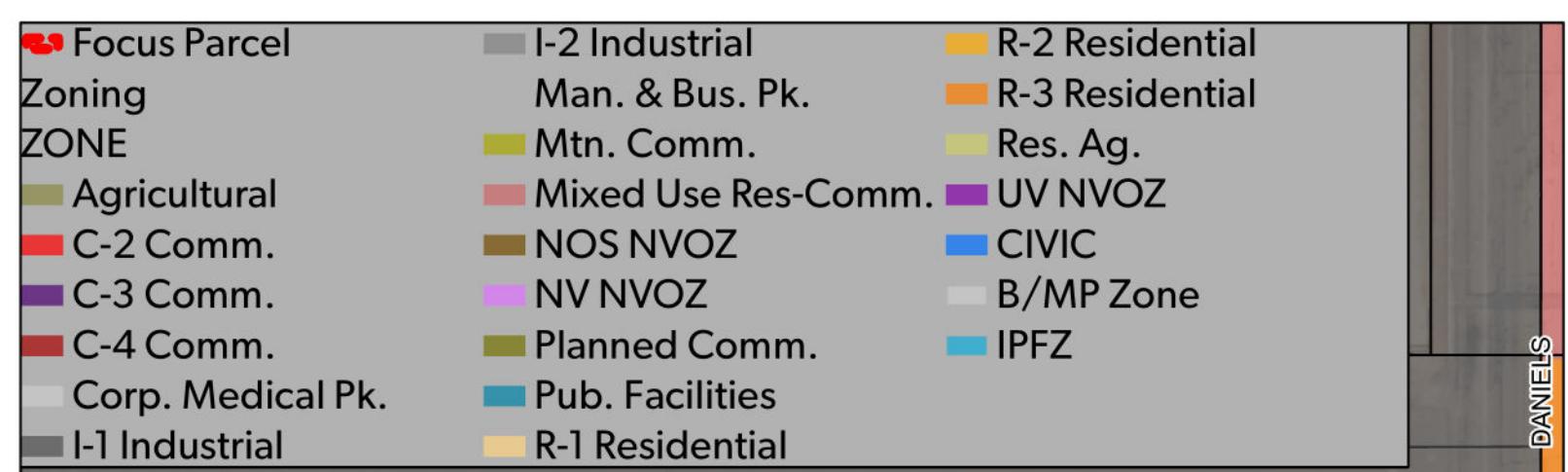
**Department:** Planning  
**Staff member:** Jacob Roberts, Planner

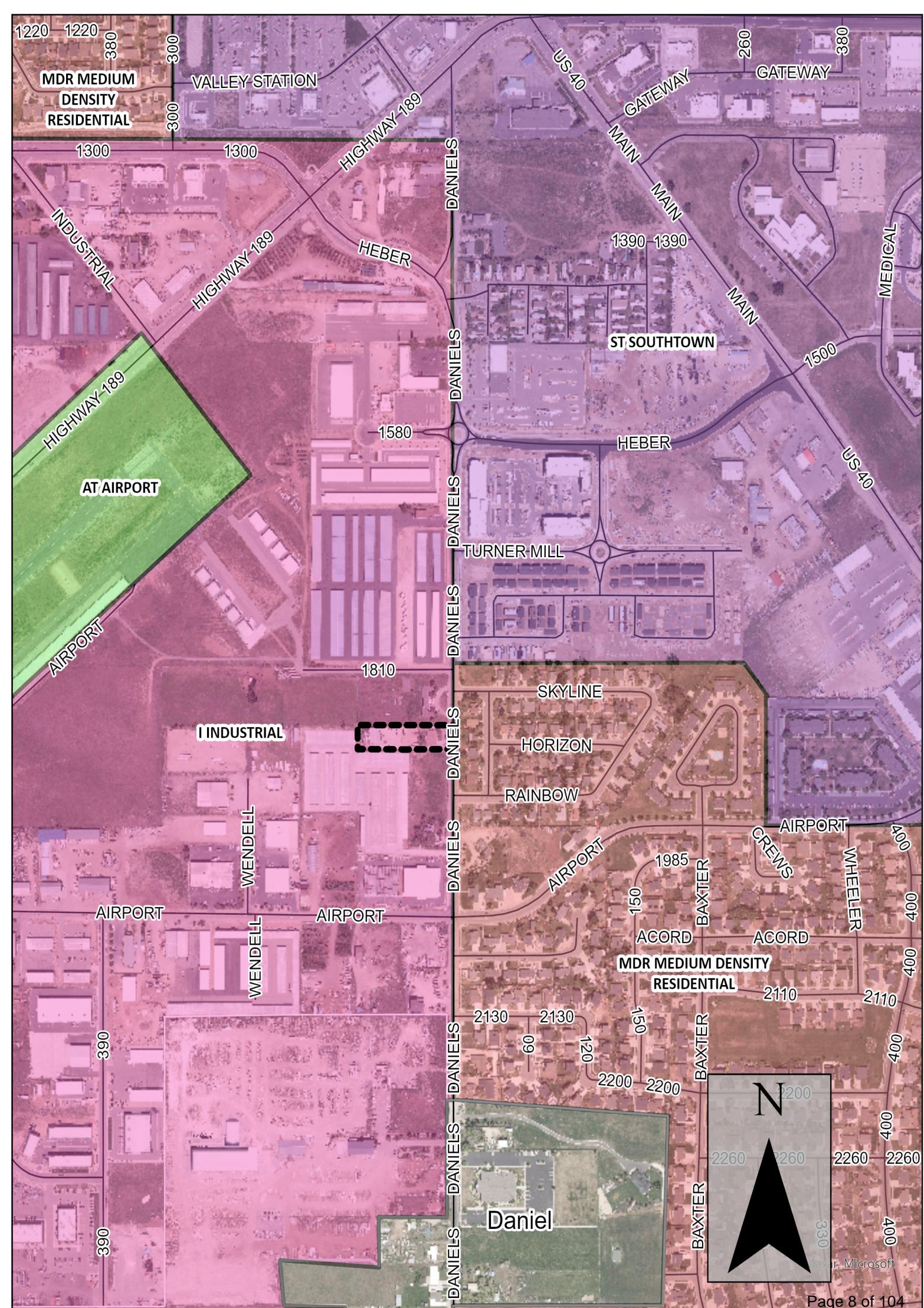
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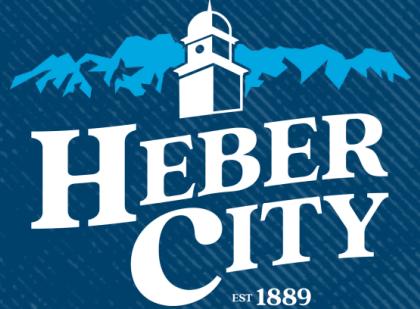
### EXHIBITS

1. Requested Zoning 1874 S Daniels Road
2. Current Zoning 1874 S Daniels Road
3. General Plan Land Use
4. 1874 S Daniel Rezone Power Point









# Ordinance 2025-07: 1874 Daniels Road Zoning Map Amendment

Planning Commission

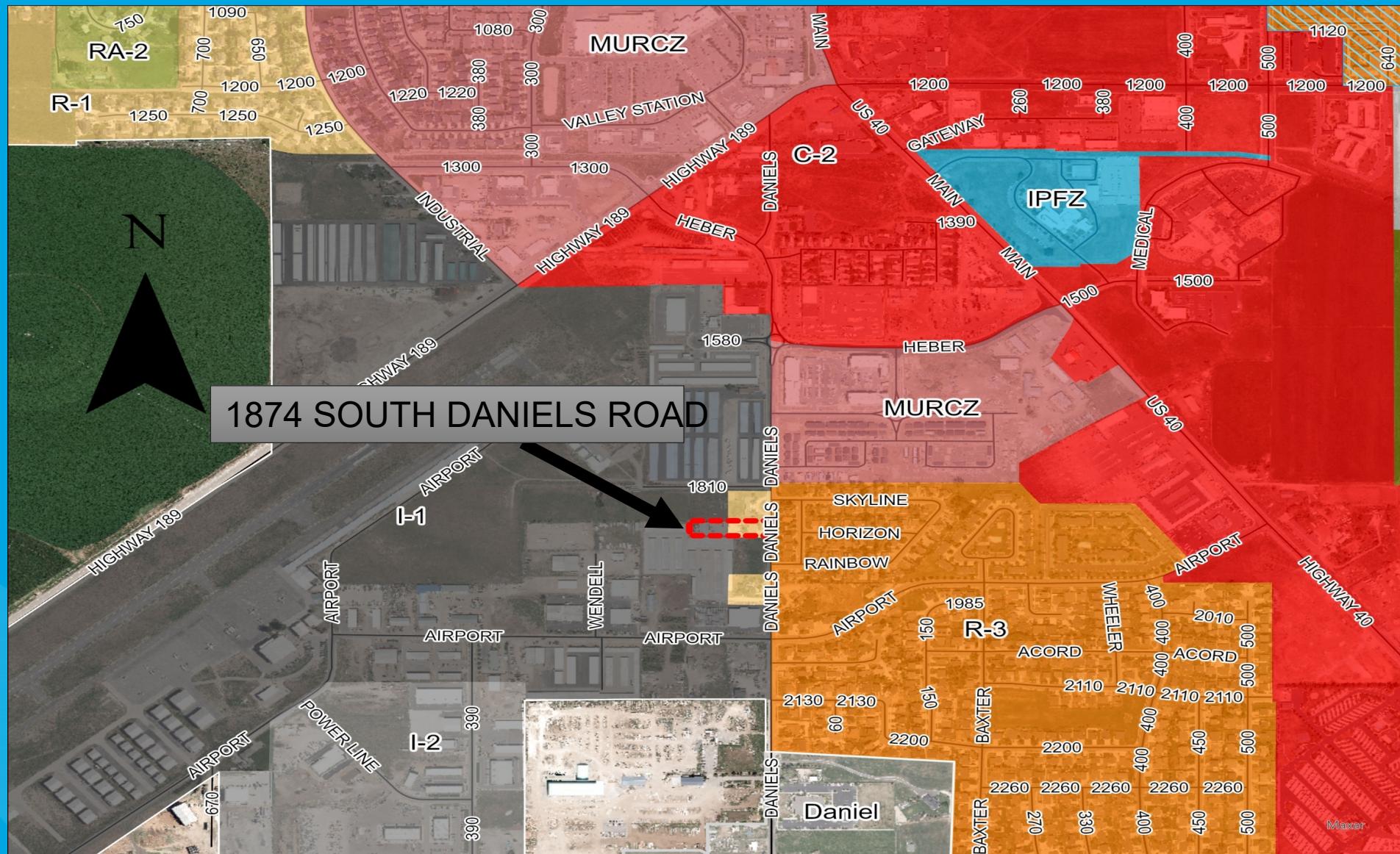
# Summary

- Zone change request for real property located at approx. 1874 South Daniel Road, parcel number 00-0020-6899. The property is currently zoned R-1 Residential & I-1 Industrial with each zone covering approximately 50% of the parcel. A zoning map amendment has been requested by the applicant to rezone the parcel entirely as I-1 Industrial.

# Policy Questions

- Should a Zoning Map Amendment for property located at 1874 South Daniels Road be approved to change zoning from I-1/R-1 to I-1 only?

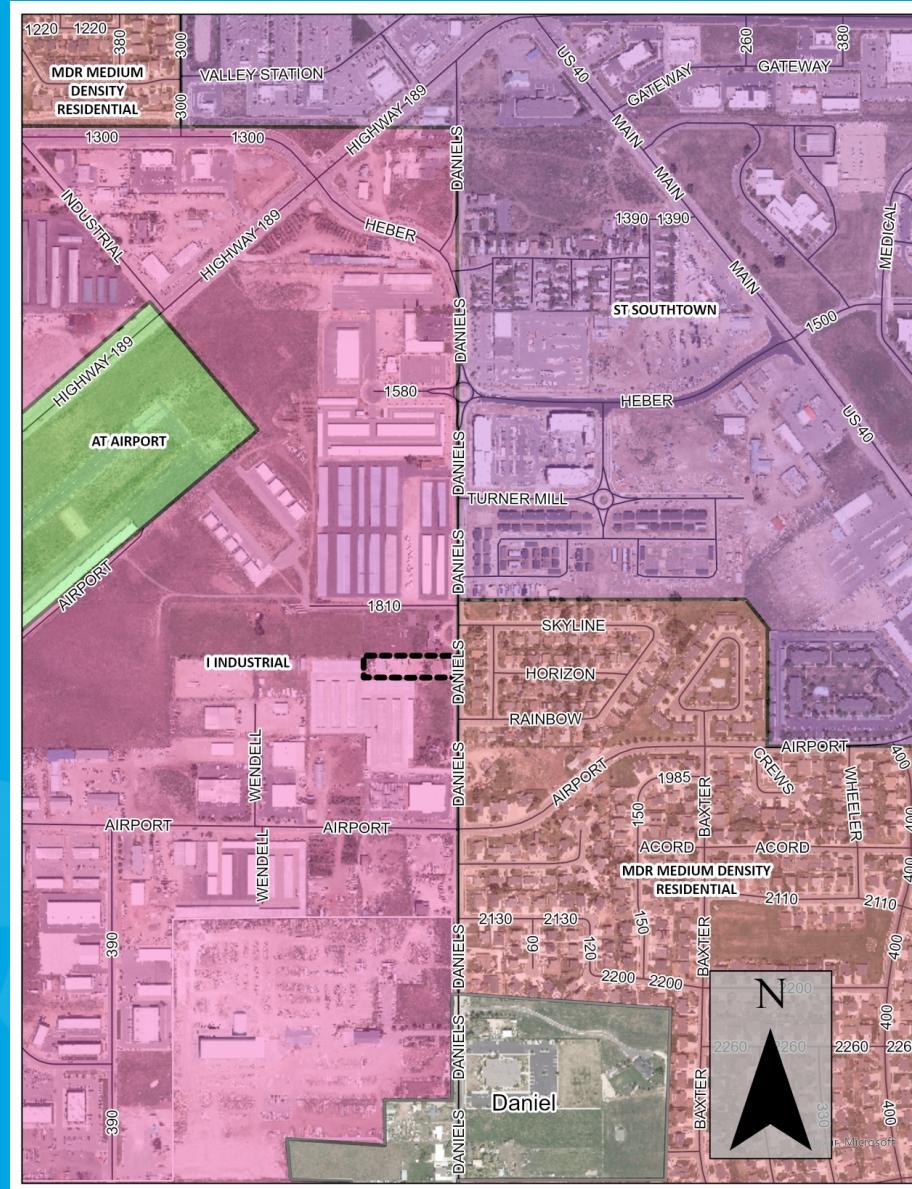
# Area Map



# Zone Change Map

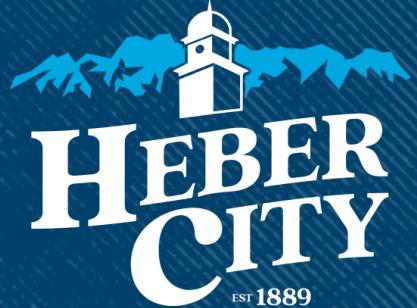


# General Plan Land Use Designation



# Policy Questions

- Should a Zoning Map Amendment for property located at 1874 South Daniels Road be approved to change zoning from I-1/R-1 to I-1 only?



# Ordinance 2025-07: 1874 Daniels Road Zoning Map Amendment

Planning Commission



# Planning Commission Staff Report

<b>MEETING DATE:</b>	5/13/2025
<b>SUBJECT:</b>	Public Hearing for Body Art Facility Text Amendment (Jacob Roberts)
<b>RESPONSIBLE:</b>	Jacob Roberts
<b>DEPARTMENT:</b>	Planning
<b>STRATEGIC RELEVANCE:</b>	Community Development

## SUMMARY

The proposed text amendment is intended to permit Body Art Facilities within Heber City. Currently, tattoo services are explicitly prohibited, and no adequate definition for such uses exists in the City's zoning ordinance. This amendment introduces a formal definition for 'Body Art Facilities' and specifies the zoning districts in which they would be allowed.

### **Policy Question**

Should Heber City adopt a new ordinance updating the definition of Body Art Facilities and permitting such facilities in multiple zones within city limits.

## RECOMMENDATION

Staff recommends approval of the proposed text amendment, subject to any conditions the Planning Commission deems appropriate.

## BACKGROUND

Earlier this year, business owners approached staff to apply for a business license to operate a body art facility. During the review process, staff discovered that "tattoo" services are currently prohibited in all commercial zones, and no provision exists for such uses in any other zoning district. In response to this regulatory gap, staff was directed to explore a solution by preparing a text amendment that would allow for the operation of body art facilities within specified zones.

Staff introduced the issue to the Planning Commission on March 25, 2025. Following discussion, the Commission directed staff to return with a proposed amendment permitting body art facilities within Heber City. The proposed text amendment accomplishes two key objectives: (1) it establishes a new definition for "Body Art Facilities," modeled primarily on relevant state code, and (2) it permits such

facilities as a use in all commercial and industrial zones, as well as within the Business/Medical Park (BMP) Zone.

## DISCUSSION

Staff has conducted thorough research to address the issue of body art facilities within the city. Under the current code, 'tattoo' services are explicitly prohibited in commercial zones, and the term 'tattoo' is not adequately defined. According to state code, the term can encompass a variety of services already provided in salons across the city, such as permanent makeup and micro-blading, both of which are classified as 'Body Art.' While it was previously assumed that tattoo services were permitted in the Sexually Oriented Business Overlay Zone, this assumption was incorrect, as body art facilities would not be permitted in that zone. As it stands, body art facilities are prohibited citywide. Following guidance from the City Attorney and the Development Services Director, staff has been directed to rectify this issue and identify appropriate zones for the establishment of body art facilities.

**This text amendment rectifies this issue in two ways:**

### 1. Adopting a New Definition of "Body Art"

- In alignment with state code, staff has drafted the following definition of "Body Art" for adoption:

#### **18.08.041 Body Art Facilities**

A "Body Art Facility" or "Facilities" means a facility where an individual practices or instructs the following:

- (a) Body piercing
- (b) Permanent cosmetics
- (c) Microblading
- (d) Tattooing

However, it does not include:

- (a) Branding
- (b) Scarification

#### **Definitions:**

- **"Microblading"** means a procedure where a hand tool with a blade formed of tiny needles implants permanent or semi-permanent pigment, resembling hair, into the skin of the eyebrow area with fine and short strokes.
- **"Permanent cosmetics"** refers to a permanent or semi-permanent tattoo applied to the eyebrows, eyelids, lips, or other parts of the body for beauty marks, hair imitation, lash enhancement, or tissue re-pigmentation.

## **2. Amending the Code to Permit Body Art Facilities in the Following Zones:**

- C-2, C-3, & C-4
- I-1 & I-2
- Business/Medical Park Zone

### **Noticing Requirements:**

This Legislative Item requires a notification for all residents in all zones mentioned above. Notifications will be sent to all residences and businesses in the zones mentioned by the 10 day notification requirement. In addition, the Public Hearing will be notified on the Heber City website as well as the Public Publishing notification website, as well as posted in more than the required eight different businesses around the Wasatch County area.

### **Staff Findings:**

1. Staff recommends adopting new language to define Body Art Facilities, aiming to clarify the permitting process and address any confusion caused by the original wording and lack of a definition.
2. Staff recommends permitting Body Art Facilities in all commercial and industrial zones, as these areas already accommodate a range of compatible uses, including personal and professional services.
3. Planning Commission held a public hearing on May 13th, 2025. All other noticing requirements have been met.

### **Conditions:**

1. Any conditions that the Planning Commission may feel are appropriate.

### **FISCAL IMPACT**

N/A

### **CONCLUSION**

In conclusion, the proposed text amendment is intended to address the current lack of a clear definition and the prohibition of Body Art Facilities within Heber City. The amendment introduces a formal definition of "Body Art Facilities," aligned with state code, and designates the zones where these facilities would be permitted, including all commercial and industrial zones, as well as the Business/Medical Park Zone. The amendment aims to provide clarity in the permitting process and allow for the establishment of Body Art Facilities in areas where such uses are deemed appropriate. Staff recommends approval of the proposed amendment, subject to any conditions the Planning Commission may consider appropriate. The proposed changes aim to address existing regulatory gaps while maintaining compatibility with existing land uses in the designated zones.

### **Policy Question**

Should Heber City adopt a new ordinance updating the definition of Body Art Facilities and permitting such facilities in multiple zones within city limits?

### **Staff Findings:**

1. Staff recommends adopting new language to define Body Art Facilities, aiming to clarify the permitting process and address any confusion caused by the original wording and lack of a definition.
2. Staff recommends permitting Body Art Facilities in all commercial and industrial zones, as these areas already accommodate a range of compatible uses, including personal and professional services.
3. Planning Commission held a public hearing on May 13th, 2025 and all other noticing requirements have been met.

## **ALTERNATIVES**

### **Staff Recommended Option - Approval**

I move to **approve** the **Body Art Facility Text Amendment** as presented, with the findings and conditions as presented in the conclusion above.

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## **POTENTIAL MOTIONS**

## **ACCOUNTABILITY**

**Department:** Planning  
**Staff member:** Jacob Roberts, Planner

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## **EXHIBITS**

1. Ordinance 2025-05 Body Art Facilities DRAFT 4
2. Body Art Facilities Text Amendment - Planning Commission PH

## ORDINANCE NO. 2025-05

AN ORDINANCE ADOPTING REGULATIONS FOR BODY ART FACILITES, FOR HEBER CITY.

**WHEREAS**, Heber City desires to ensure its land use regulations are consistent with evolving business practices and community needs; and

**WHEREAS**, City staff identified that body art facilities are currently prohibited in all zones within Heber City; and

**WHEREAS**, the City Attorney has recommended an amendment to the Heber City Municipal Code to address this prohibition; and

**WHEREAS**, the proposed amendment would permit body art facilities as a permitted use in all Commercial Zones, Industrial Zones and the Medical/Business Park Zone; and

BE IT ORDAINED by the City Council of Heber City, Utah, that Heber City Municipal Code Sections, 18.28.030 COMMERCIAL ZONES, 18.44.020 I-1 INDUSTRIAL ZONE, 18.45.020 I-2 INDUSTRIAL ZONE and 18.46.030 BUSINESS/MEDICAL PARK ZONE are **AMENDED** and Section 18.08.041 BODY ART FACILITIES is **ADOPTED** as set forth in Exhibit A, attached hereto and incorporated herein.

This Ordinance shall take effect and be in force from and after (a) its adoption, (b) a copy has been deposited in the office of the City Recorder, and (c) a short summary of it has been published in the Wasatch Wave or a complete copy has been published in the Wasatch Wave or a complete copy has been posted in three public places within Heber City but not prior to the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

ADOPTED AND PASSED by the City Council of Heber City, Utah this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by the following vote:

	AYE	NAY	ABSTAIN
Council Member Yvonne Barney	_____	_____	_____
Council Member Aaron Cheatwood	_____	_____	_____
Council Member Mike Johnston	_____	_____	_____
Council Member Sid Ostergaard	_____	_____	_____
Council Member Scott Philips	_____	_____	_____

APPROVED:

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Mayor Heidi Franco

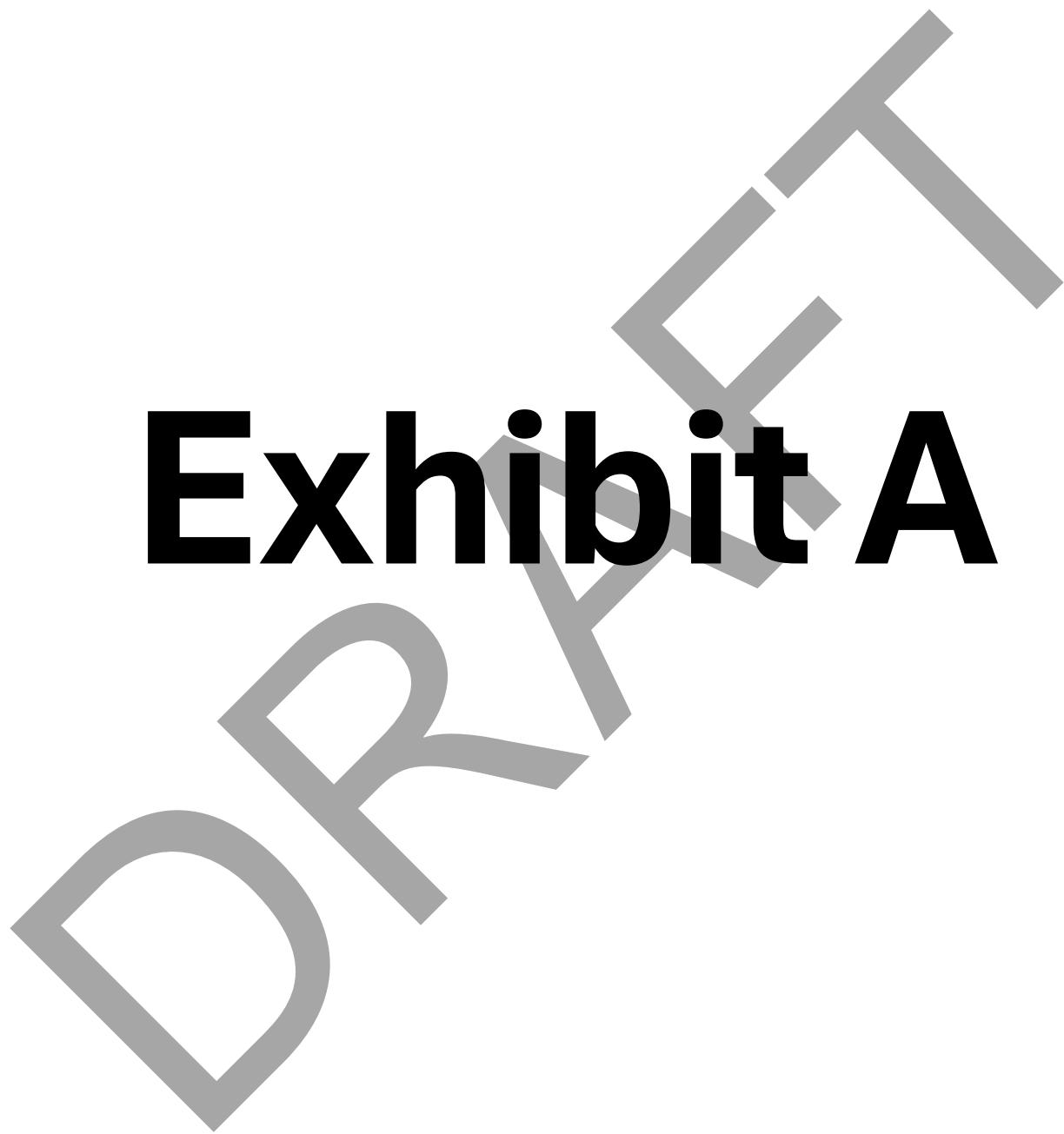
ATTEST:

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RECODER

Date:

DRAFT



### **18.08.041 Body Art Facilities**

**"Body art facility" or "facilities" means a facility where an individual practices or instructs:**

- (a) body piercing;**
- (b) permanent cosmetics;**
- (c) microblading; or**
- (d) tattooing.**

**But does not include:**

- (a) Branding; or**
- (b) Scarification**

**"Microblading" means a procedure where a hand tool with a blade formed of tiny needles implants permanent or semi-permanent pigment, resembling hair, into the skin of the eyebrow area with fine and short strokes.**

**"Permanent cosmetics" means a permanent or semi-permanent tattoo: to the eyebrows, eyelids, lips, or other parts of the body for beauty marks, hair imitation, lash enhancement, or tissue re-pigmentation;**

### **18.28.030 Permitted and Conditional Uses**

LAND USES	C-2	C-3	C-4	Limitations
Pawn shops, <del>tattoo</del> , massage, smoke and vape shops, cash stores				Prohibited in all commercial Zones
Body Art Facilities	P	P	P	

#### **18.44.020 Permitted Primary Uses**

Land Uses	I-1	Limitations
Body Art Facilities	P	

#### **18.45.020 Land Use Regulations**

Land Uses	Permit Type	Limitations
Body Art Facilities	P	

#### **18.46.030 Permitted and Conditional Uses**

Land Use	BMP	Limitations
Body Art Facilities	P	



PLANNING

# Body Art Facilities

Public Hearing

Date 5/13/2025

# Background

- The applicant approached Staff to receive a business license for a Body Art Establishment within City limits. “Tattoo” is expressly prohibited in all Commercial Zones.
- The applicant expressed a desire to see this changed as many tattoo artists are already operating in Heber City.
  - *Currently only one (1) active business license for a Body Art Facility exists in Heber City: Trigger Happy Tattoo, license received in 2017 before code change.*
- City Council and the Planning Commission expressed interest to learn more and find a possible solution.
- Today Staff is presenting a draft ordinance as a possible solution for consideration. This is an Action Item and a public hearing is being held.
- **Policy Question:**
  - *Should Heber City adopt a new ordinance updating the definition of Body Art Facilities and permitting such facilities in multiple zones within city limits?*

# Current Status of Body Art Facilities

- Body Art Facilities are not permitted in any commercial zone per Ordinance Number 2022-26, approved by Council on October 4<sup>th</sup>, 2022
- Ordinance No. 2022-26 amended all Commercial Zones in the City.
- The language prohibiting tattoo shops reads as follows:

<b>LAND USE</b>	<b>C-2</b>	<b>C-3</b>	<b>C-4</b>	<b>Limitations</b>
Pawn shops, tattoo, massage, smoke and vape shops, cash stores				Prohibited in all commercial zones

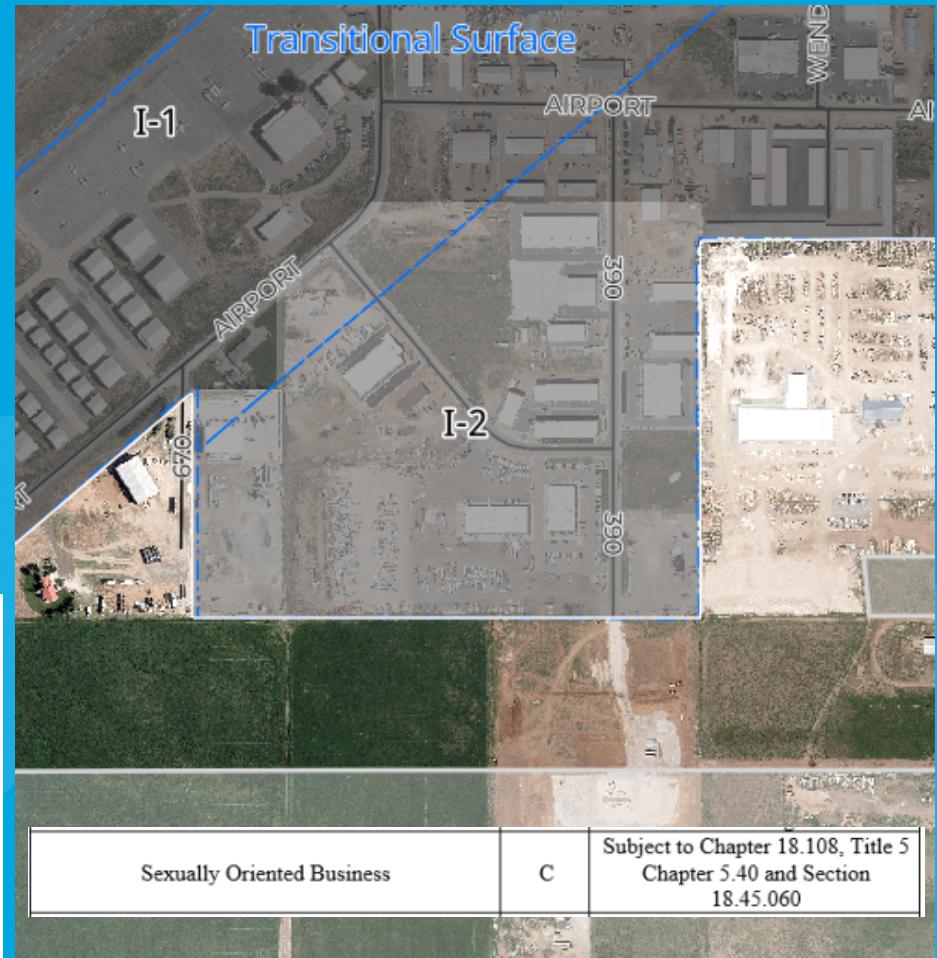
Body Art Facilities are not one of the uses that are prohibited as a home occupation, a Body Art Facility could possibly receive a business license for a home occupation but would not be approved by the health department.

# Current Status of Body Art Facilities

- Sexually Oriented Businesses are only permitted in the *I-2 Industrial Zone*
- SOB's are subject to Chapter 18.108 Conditional Uses, Section 18.45.060 Additional Standards & 5.40 Sexually Oriented Businesses
- Chapter 5.40 Sexually Oriented Businesses has a specific list of SOB's and reads as follows:

A. Businesses subject to sexually oriented business licensing are classified as follow:

1. adult arcades;
2. adult bookstores, adult novelty stores, or adult video stores;
3. adult cabarets;
4. adult motion picture theaters;
5. adult theaters;
6. nude model studios;
7. sexual encounter centers; and
8. any combination of classifications set forth in paragraphs (a) through (g) above, each of which shall be separately licensed.



# Definitions

- Heber City currently lacks any definition of “tattoo”
- The dictionary defines tattooing or tattoo as “*mark (a person or a part of the body) with an indelible design by inserting pigment into punctures in the skin.*”

LAND USE	C-2	C-3	C-4	Limitations
Pawn shops, tattoo, massage, smoke and vape shops, cash stores				Prohibited in all commercial zones

Staff recommends the Planning Commission adjust the definition of tattooing in the Municipal Code

# State Code

Body Art Facilities are primarily regulated by the health department and defined as follows in *H.B 403 Body Art Amendments:*

(6) "Body art facility" means a facility where an individual practices or instructs:

- (a) body piercing;
- (b) branding;
- (c) permanent cosmetics;
- (d) scarification; or
- (e) tattooing.

(14) "Microblading" means a procedure where a hand tool with a blade formed of tiny needles implants permanent or semi-permanent pigment, resembling hair, into the skin of the eyebrow area with fine and short strokes.

(17) (a) "Permanent cosmetics" means a permanent or semi-permanent tattoo:

- (i) to the eyebrows, eyelids, lips, or other parts of the body for beauty marks, hair imitation, lash enhancement, or areola repigmentation;

# Proposed Changes

## 18.08.041 Body Art Facilities

"Body art facility" or "facilities" means a facility where an individual practices or instructs:

- (a) body piercing;
- (b) permanent cosmetics;
- (c) microblading; or
- (d) tattooing.

But does not include:

- (a) Branding; or
- (b) (b) Scarification

"Microblading" means a procedure where a hand tool with a blade formed of tiny needles implants permanent or semi-permanent pigment, resembling hair, into the skin of the eyebrow area with fine and short strokes.

"Permanent cosmetics" means a permanent or semi-permanent tattoo: to the eyebrows, eyelids, lips, or other parts of the body for beauty marks, hair imitation, lash enhancement, or tissue re-pigmentation;

### 18.08.041 Body Art Facilities

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- (c) microblading; or
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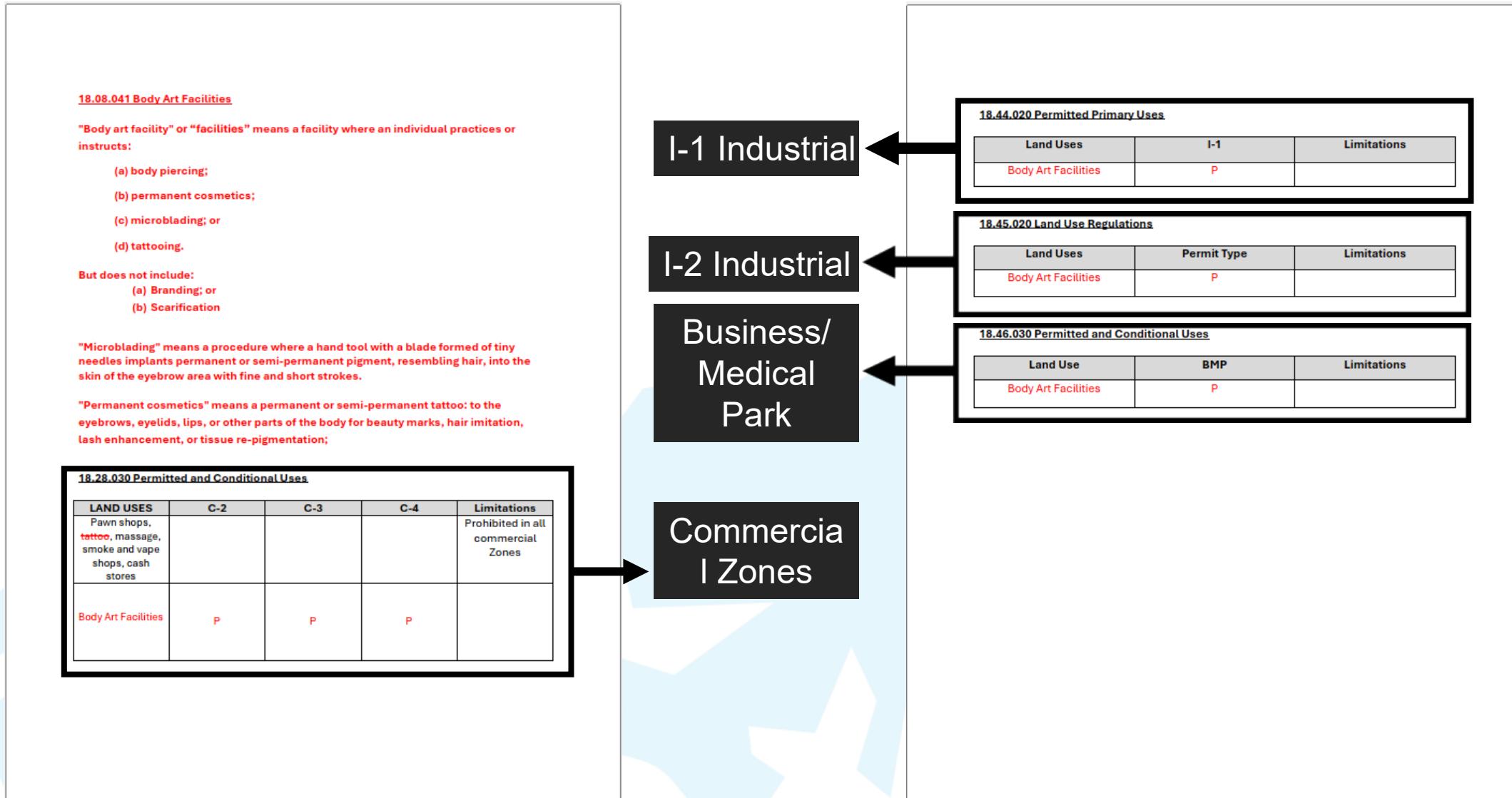
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### 18.28.030 Permitted and Conditional Uses

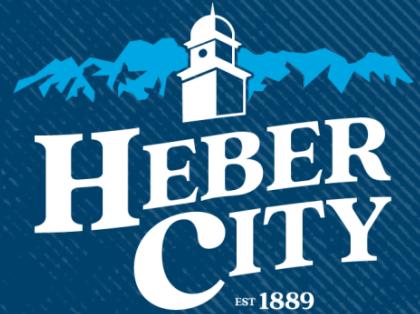
LAND USES	C-2	C-3	C-4	Limitations
Pawn shops, <del>tattoo</del> , massage, smoke and vape shops, cash stores				Prohibited in all commercial Zones
Body Art Facilities	P	P	P	

# Proposed Changes



# Conclusion

- Staff is requesting approval, approval with conditions or a negative recommendation for the Body Art Facility Text Amendment
- Staff recommends approval based on the findings outlined here:
  1. Staff recommends adopting new language to define Body Art Facilities, aiming to clarify the permitting process and address any confusion caused by the original wording and lack of a definition.
  2. Staff recommends permitting Body Art Facilities in all commercial and industrial zones, as these areas already accommodate a range of compatible uses, including personal and professional services.



PLANNING

# Body Art Facilities

Public Hearing

Date 5/13/2025



# Planning Commission Staff Report

<b>MEETING DATE:</b>	5/13/2025
<b>SUBJECT:</b>	Public Hearing for Karl Malone Polaris MDA located at 900 South and Main Street (Denna Woodbury)
<b>RESPONSIBLE:</b>	Denna Woodbury
<b>DEPARTMENT:</b>	Planning
<b>STRATEGIC RELEVANCE:</b>	Community Development

## SUMMARY

This item is for a public hearing on whether a Master Development Agreement should be entered for this existing business. The applicant would like to enter into a Master Development Agreement to expand the existing business and renovation/reconstruction of parking areas at the current location.

## RECOMMENDATION

Staff recommends that the Planning Commission hold a public hearing, take public comment, and forward a positive recommendation, with or without changes, to the City Council.

## BACKGROUND

GC Garcia Inc. has reviewed the request for a Master Development Agreement for Karl Malone Polaris, located at 900 South and Main Street.

The location is an existing business. The applicant is seeking to expand the business and renovate/reconstruct the parking areas at the current location. The project is located on 3.25 acres and is zoned C-2 Commercial.

## DISCUSSION

The applicant is seeking to expand the existing Karl Malone Polaris building and redesign the parking areas. The proposal includes a new addition of 8,060 square feet to the existing building. The proposed addition provides for a new showroom, parts storage, offices, restrooms and an accessories/retail display on the main level. The project also includes additional parts storage on a second level of 1,413 square feet. The total building roof area, including the addition and the existing building, will be 17,813 square feet. The building height varies with the highest point of the building

at 24 feet.in height.

The addition will be constructed of concrete masonry in two colors, harvest gold and buckskin with metal awning accents. The south, east, and west elevations also include cement board lap siding. The existing building will be painted to match the addition.

The parking requirement for existing and new building addition uses is 70 parking spaces which are being provided.

The reason why the MDA is needed is due to not being able to meet the current codes and standards as outlined below.

#### **SECTION 103 – BUILDING SETBACK:**

Project Type A: Buildings shall be set back a minimum of twenty feet (20') and a maximum of forty feet (40') from any public right of way. Sites that utilize a wall sign or blade projecting sign on the wall as the primary sign may have a 10 foot minimum setback from the public right of way upon approval from the Planning Department. (See illustration detail C2B-1 & C2B-2). The proposed does not meet the maximum building setback. The front setback to Main Street is 106.15 feet. The building setback from 100 West is 187.89 feet. The building setback to 1000 South also exceeds 100 feet.4.

#### **SECTION 107 – PARKING INFRASTRUCTURE:**

Location: For buildings along Main Street, all off street parking shall be located to the rear or side of the building. In the case of corner lots, all parking shall have side street access to the parking areas. This side street access shall be established in order to accommodate future growth of the area and allow rear parking from side access points. This standard shall be coordinated with Heber City Planning and the Heber City Engineering department for appropriate short and long range Heber City parking strategies and goals. Parking lots shall be located on the site in a convenient location for patron access to the building. All circulation drives shall be clearly defined and marked appropriately with arrows and the like to assist public circulation into, on and out of the property and through parking lot areas. See Heber City engineering parking standards. The project is proposing parking in front of the building along Main Street. The existing business has parking in this location.

Parking Lot Landscaping: For every third parking aisle, one (1) raised four (4) foot wide landscaped parking island with trees, bounded with high back curb shall be provided, thereby creating separated parking areas to aid in safe and orderly use of the lot and confine vehicular movement to marked drives. Raised or curved circulation islands shall be constructed at the ends of the rows of parking spaces or at other locations where circulation drives intersect. All parking lots with back to back parking areas shall provide a landscaped parking diamond with a tree for every ten (10) parking spaces. (See illustration detail parking diamond) Parking lots shall be bounded with a high back curb unless otherwise approved by the planning commission. The parking areas with the proposed building addition are existing and additional landscaping is not proposed. Existing landscaped areas will be refreshed with rock mulch. There is new landscaping proposed adjacent to the building facing Main Street.

#### **SECTION 108 – SITE FURNISHINGS:**

Site Furnishings: Each development shall incorporate site furnishings into the site such as a

patio/seating area, pedestrian plaza with benches, window-shopping walkway, play areas, kiosk area, water feature, clock tower, sculpture, bike racks, public art, etc. One site furnishing element shall be required per lot frontage or every 50 feet of frontage, whichever is greater. Site furnishings shall be reviewed by the Planning Commission and approved by the Planning Department prior to installation. Site furnishings are not proposed with the addition.

#### 18.28.050 Additional Regulations

The following provisions apply within the Commercial Zones

A. For buildings within the C-2 and C-4 zone, a strip of land at least fifteen feet in width adjacent to all public streets shall be landscaped as set forth in Chapter 18.76 of this title except for permitted driveways, except as required by the Heber City C-2 and C-4 Zone Design Standards and Guidelines. The proposed project has existing landscaping and sidewalk improvements, but they do not meet fifteen feet. The existing landscaping and sidewalk will remain

### **FISCAL IMPACT**

None

### **CONCLUSION**

The request for an MDA requires a public hearing and allows the public to provide input on what is being proposed.

Staff recommends that the Planning Commission hold a public hearing, take public comment, and forward a positive recommendation, with or without changes, to the City Council subject to the following findings and conditions:

#### **Findings**

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.
3. The proposed Site Plan shall comply with City ordinances, Federal, State Law, as applicable to the site where the conditional use is located.

#### **Conditions:**

- 1 All requirements of the City Engineer shall be met.
2. All other Code Requirements shall be met.
3. Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications. Additionally, all Master Planned infrastructure elements on or adjoining the subject property need to be designed and installed by applicant. All City Engineer requirements will need to be satisfied prior to any final development plans being approved. The following are site and infrastructure concerns known at this time that need to be addressed and finalized through the development process: (Please note that the following list is not to be considered

all-inclusive and additional concerns may arise as design plans are submitted for review:

1. Design, plan, and pay for any improvements necessary on 1000 South Street to meet current Heber City road cross section standards including commercial driveway approaches.

## ALTERNATIVES

### Staff Recommended Option - Approval

I move to **approve** Karl Malone Polaris MDA as presented, with the findings and conditions as presented in the conclusion above.

### Alternative 2 - Continuance

I move to **continue** Karl Malone Polaris MDA to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

### Alternative 3 - DENIAL

I move to **deny** Karl Malone Polaris MDA with the following findings.

---

## POTENTIAL MOTIONS

---

## ACCOUNTABILITY

**Department:** Planning  
**Staff member:** Denna Woodbury, Planning Consultant

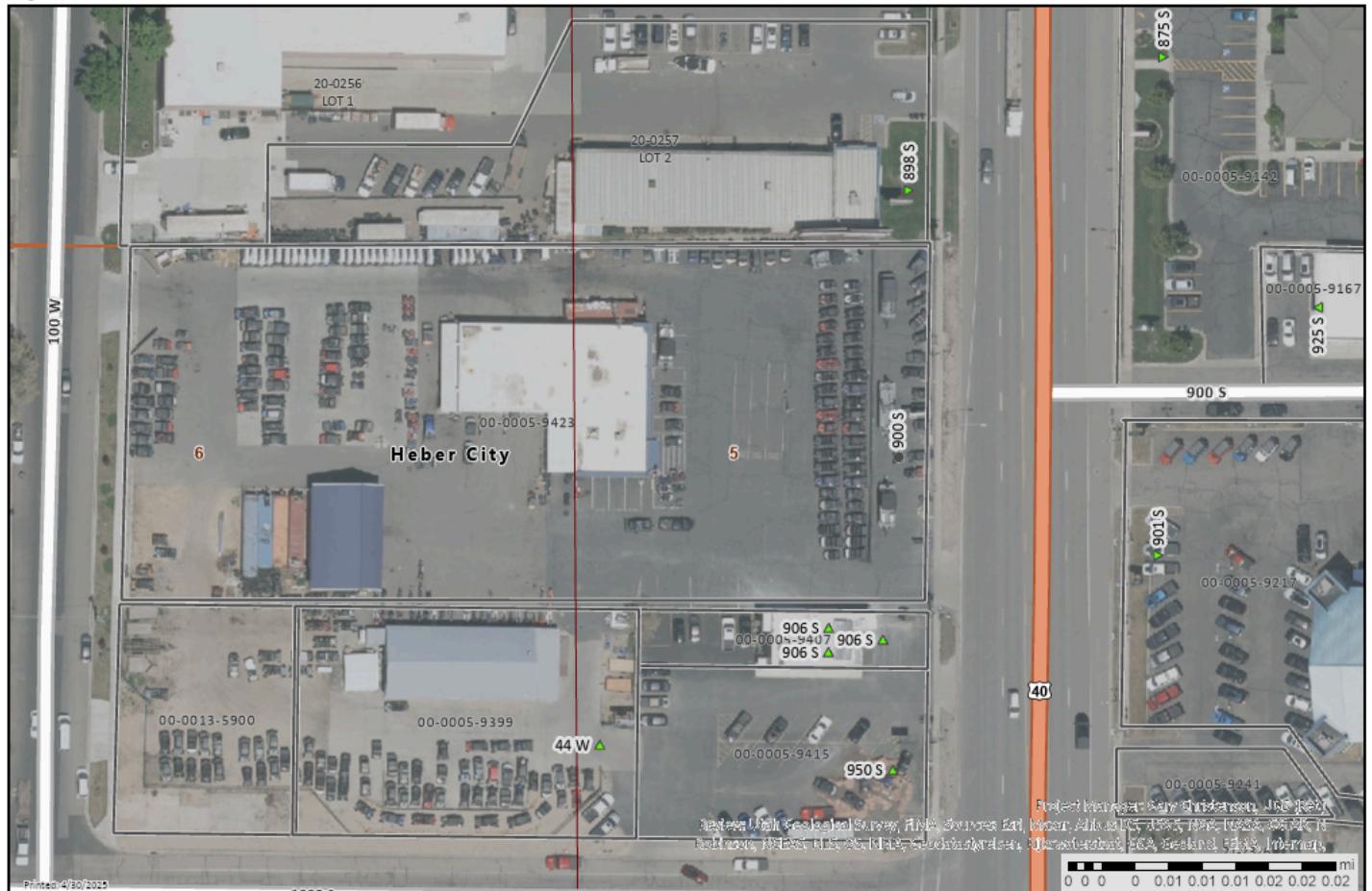
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## EXHIBITS

1. Karl Malone Polaris MDA
2. MALONE POLARIS-Architectural REV
3. MALONE POLARIS-LANDSCAPE REV
4. MALONE POLARIS-CIVIL (3)
5. MALONE POLARIS-LIGHTING
6. Sensitive Lands Analysis
7. Exceptions Needed Through MDA
8. 18.28.050 Additional Regulations



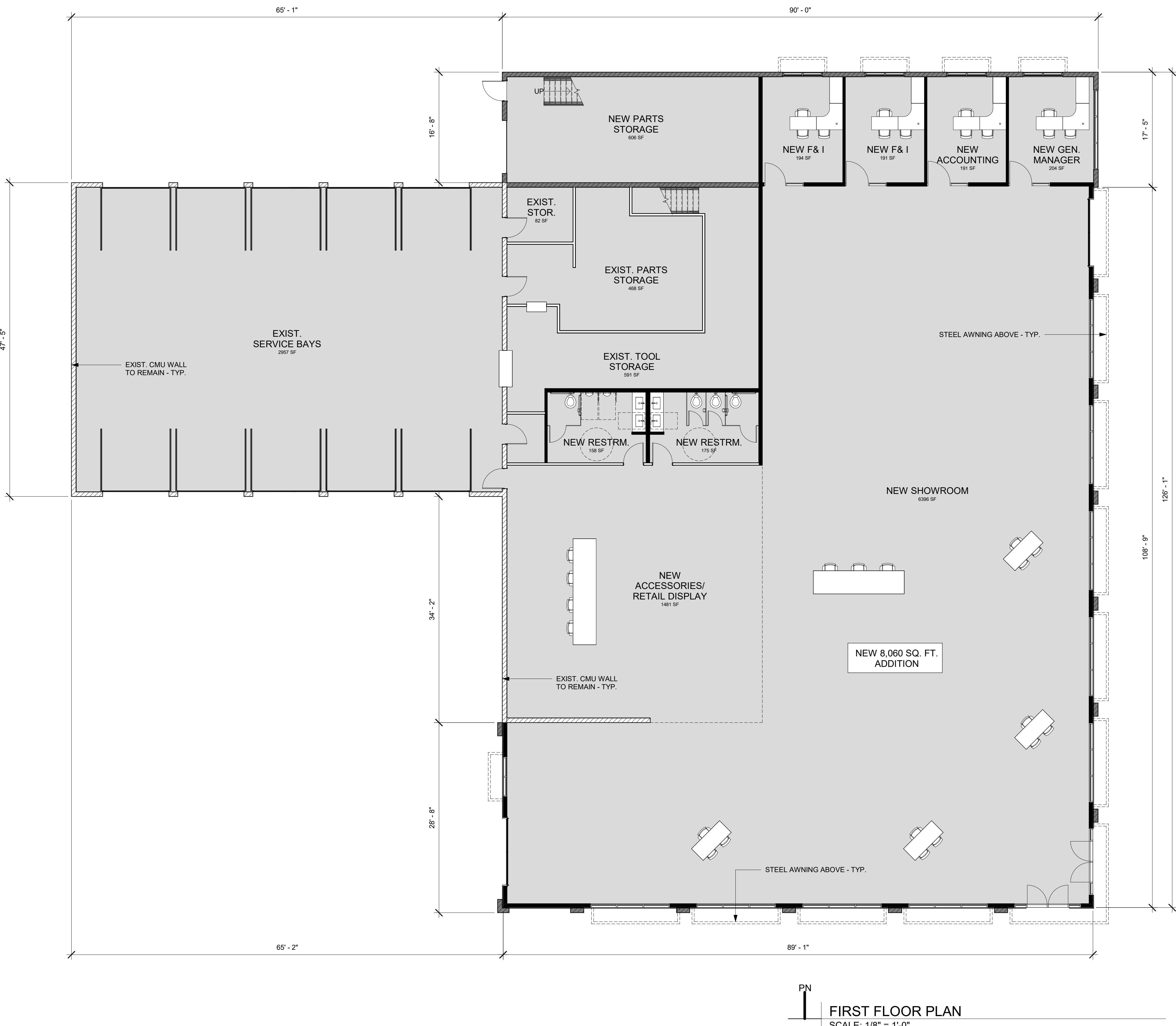
## Karl Malone Polaris MDA



Printed 4/30/2025  
The boundary lines shown here have been generated for the internal use of Wasatch County and should only be used for general reference purposes.

Questions concerning ownership/boundary locations should be directed to a title company, attorney, or licensed land surveyor. Wasatch County makes no warranty as to the accuracy or usefulness of this information. The end user of this information assumes all responsibility concerning this information's appropriate use.





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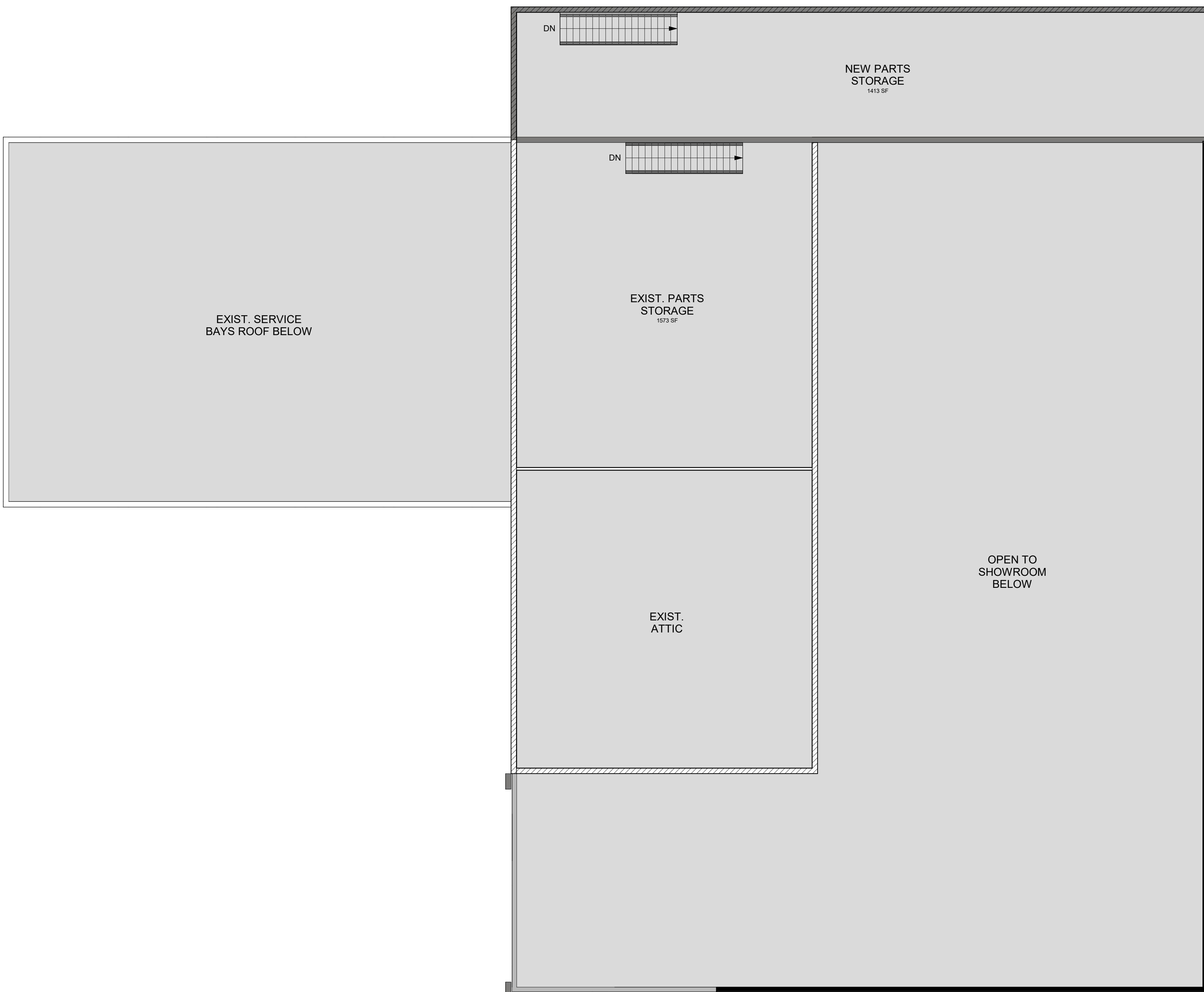
**KARL MALONE POLARIS**  
**44 W. 1000 S. | HEBER CITY, UTAH**

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STATE OF UTAH  
LICENSED ARCHITECT  
DATE: 02.21.2025

A101

HEBER CITY 1ST REVIEW COMMENTS FEB 21, 2025



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**BLISSARCHITECTURE**  
ARCHITECTURE | PLANNING | INTERIOR DESIGN | CONSTRUCTION MANAGEMENT

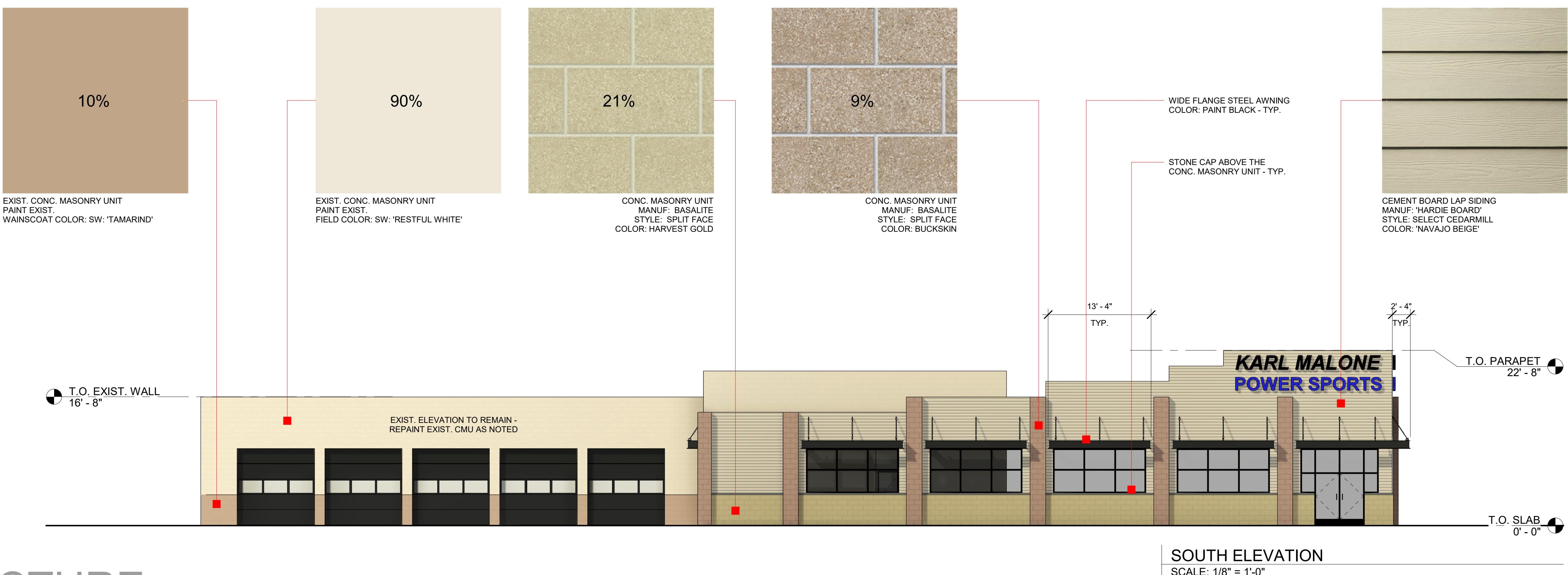
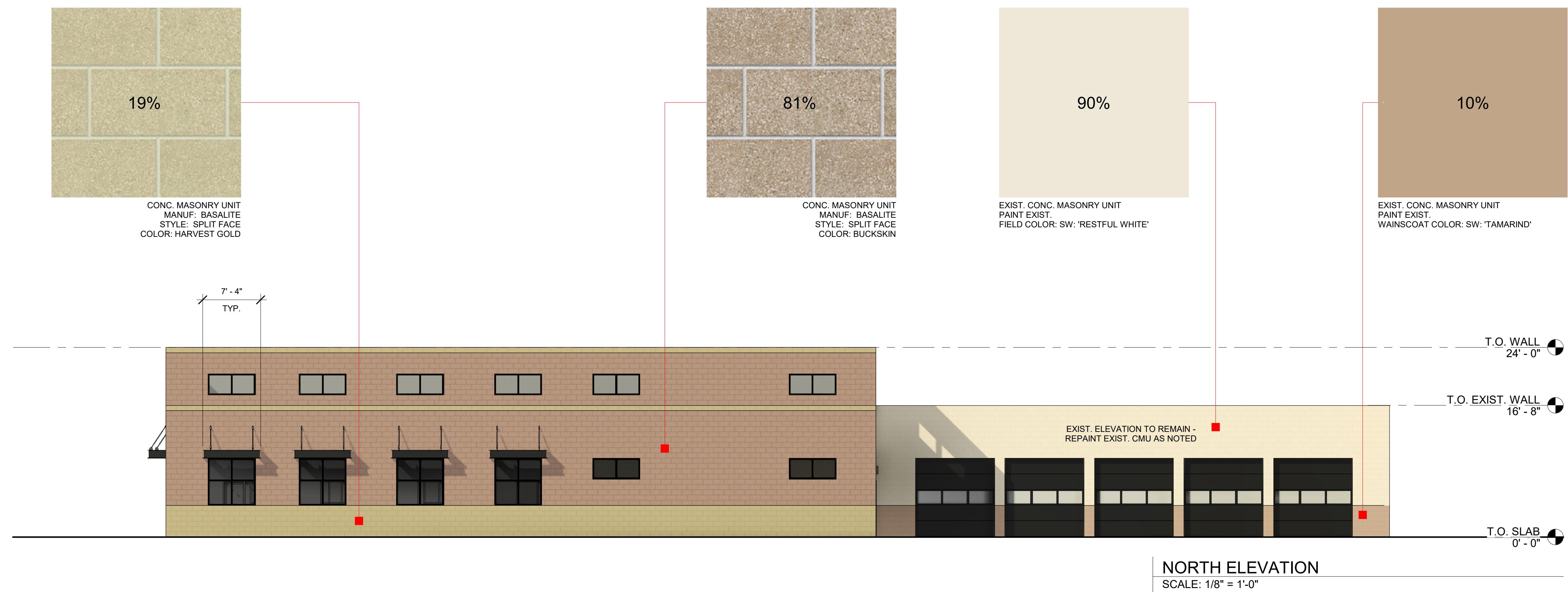
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**A102**

HEBER CITY 1ST REVIEW COMMENTS FEB 21, 2025



**BLISSARCHITECTURE**  
ARCHITECTURE | PLANNING | INTERIOR DESIGN | CONSTRUCTION MANAGEMENT

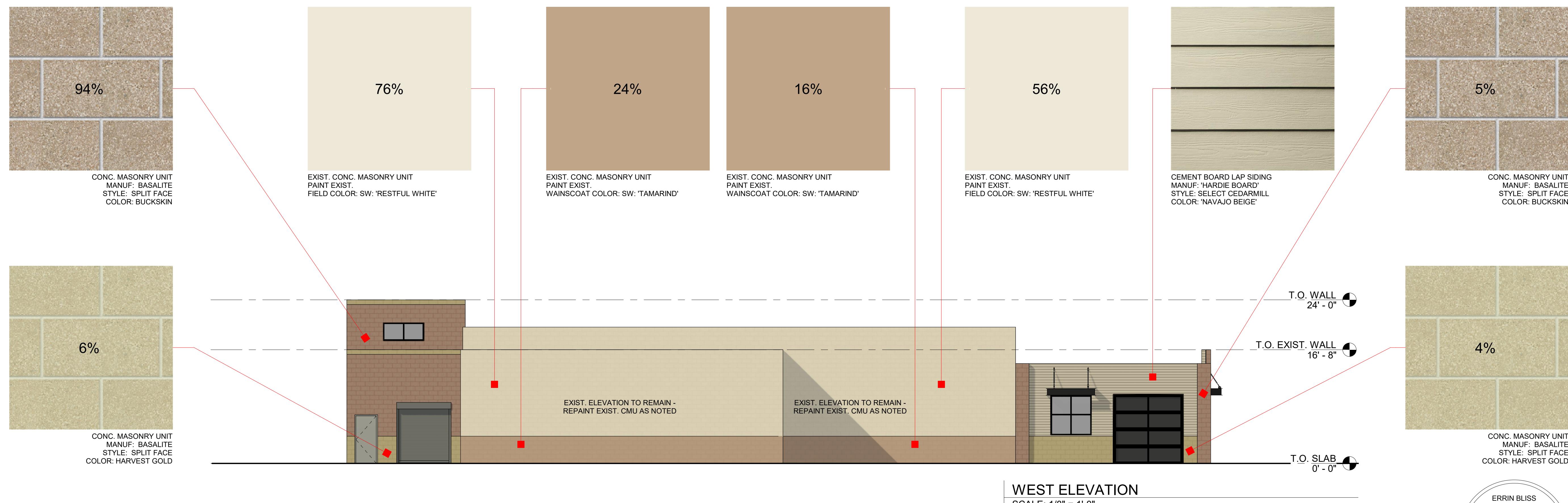
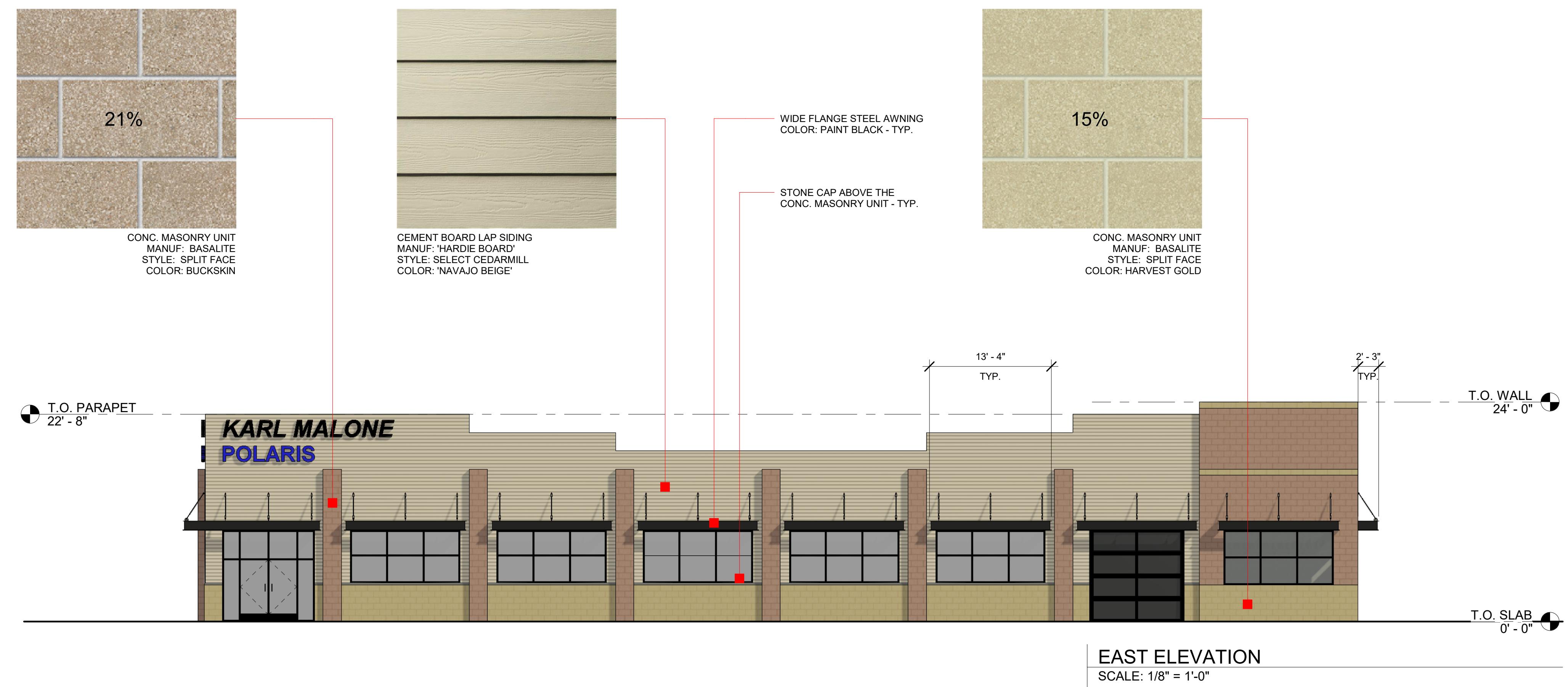
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DATE: 02.21.2025

A201

HEBER CITY 1ST REVIEW COMMENTS FEB 21, 2025





PERSPECTIVE VIEW  
SCALE: N.T.S.



PERSPECTIVE VIEW  
SCALE: N.T.S.

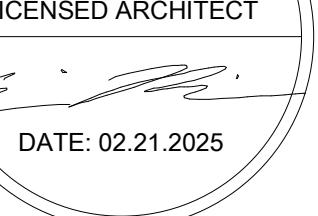
**BLISSARCHITECTURE**

ARCHITECTURE | PLANNING | INTERIOR DESIGN | CONSTRUCTION MANAGEMENT

**KARL MALONE POLARIS**

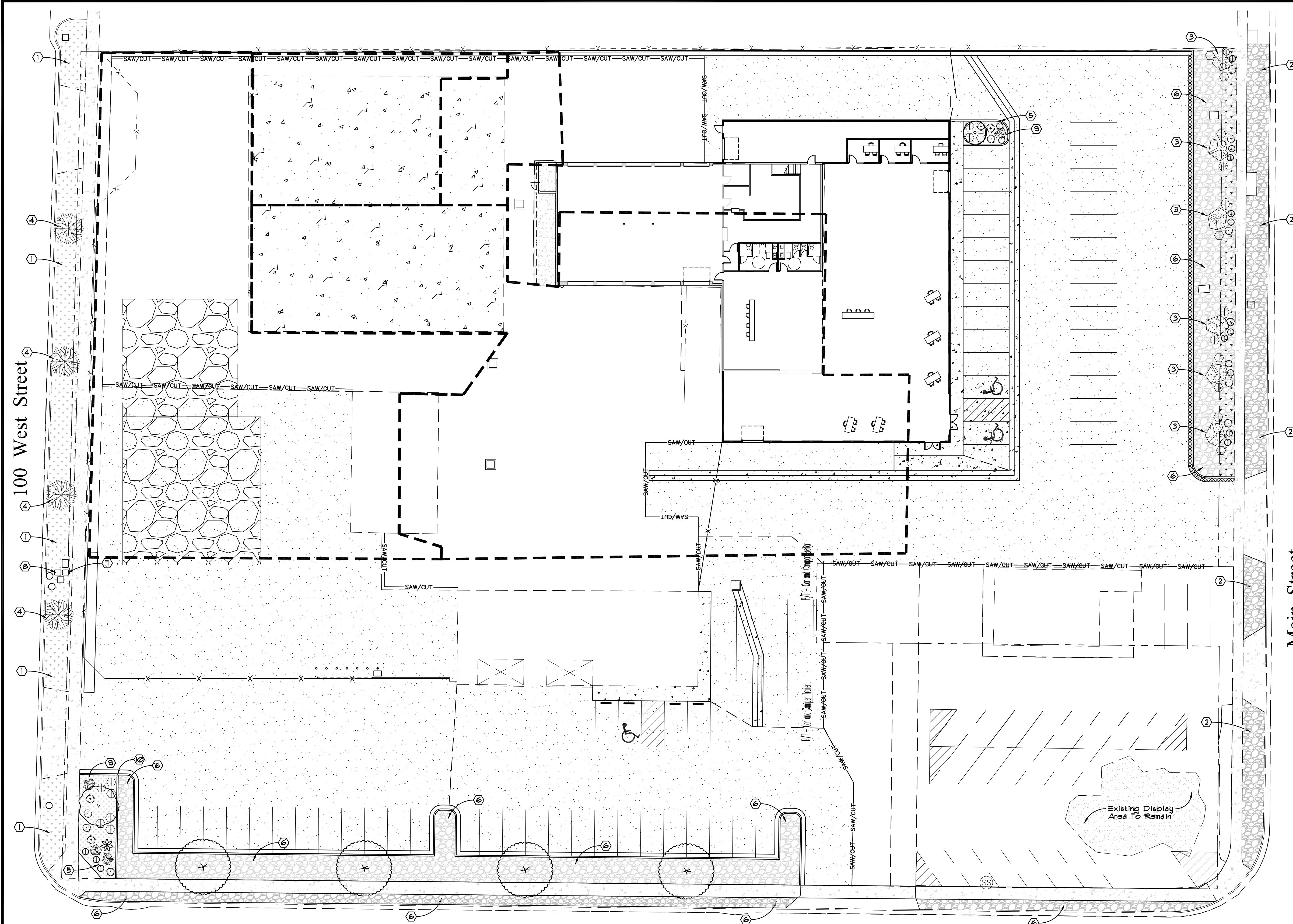
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STATE OF UTAH  
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DATE: 02.21.2025

A203

HEBER CITY 1ST REVIEW COMMENTS FEB 21, 2025



### Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1	○	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	3" Caliper 8'-10' Height	Full Throughout Specimen
4	○	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	3" Caliper 10'-12' Height	Full Head Crown Straight Trunk
1	○	Malus x. 'Spring Snow'	Spring Snow Fruitless Crab	3" Caliper 8'-10' Height	Full Head Crown Straight Trunk

### Plant List (SHRUBS/GRASSES/PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
21	○	Calamagrostis acutiflora 'Karl Foerster'	K. Foerster Feather Grass	5 Gallon	24"-30" Height
4	○	Pinus mugo mughus 'Slowmound'	Slowmound Dw. Mugo Pine	5 Gallon	18"-24" Spread
10	○	Potentilla fruticosa 'Gold Finger'	Gold Finger Cinquefoil	5 Gallon	15"-18" Height
1	○	Prunus cistena	Cistena Plum	5 Gallon	24"-30" Height
17	○	Nepeta 'Walker's Low'	Walker's Low Catmint	1 Gallon	Full Can

### Planting Notes

- All planting areas shall receive an 4 inch depth of topsoil. If topsoil is not available at the site, it must be imported from an approved local source. All topsoil shall be of a sandy loam consistency. Provide a chemical analysis of all topsoil for approval.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive (Soil Peat or equal), and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be "Agriform" brand 21 gran tablets used as per manufacturers recommendations.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of shredded bark mulch mixture as a cover. The overall shrub beds themselves (beyond plant wells) shall receive a 4" depth of decorative rock surfacing as specified over Pro-5 weed barrier rock.
- In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the plant bed shall receive the depth of decorative rock.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.

### 1000 South Street

### Sub-Grade Requirements

- PLANTING AREAS:** Eight (8) inches below finish grade. This will allow for the installation of a four inch depth of topsoil along with a four inch depth of bark mulch or decorative stone over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.
- ROCK ONLY AREAS:** Five (5) inches below finish grade. This will allow for the installation of a four inch depth of decorative stone over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.
- SUB-GRADE COORDINATION:** The Landscapes contractor shall meet early on in the construction process with the site grading contractor, in order to ensure that all sub-grades, prior to final topsoil placement, are provided. Any discrepancies or questions shall be discussed and resolved at that time. Landscape operations shall not begin until the specified sub-grade elevations have been provided.

### Submittal Requirements

- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
- All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.



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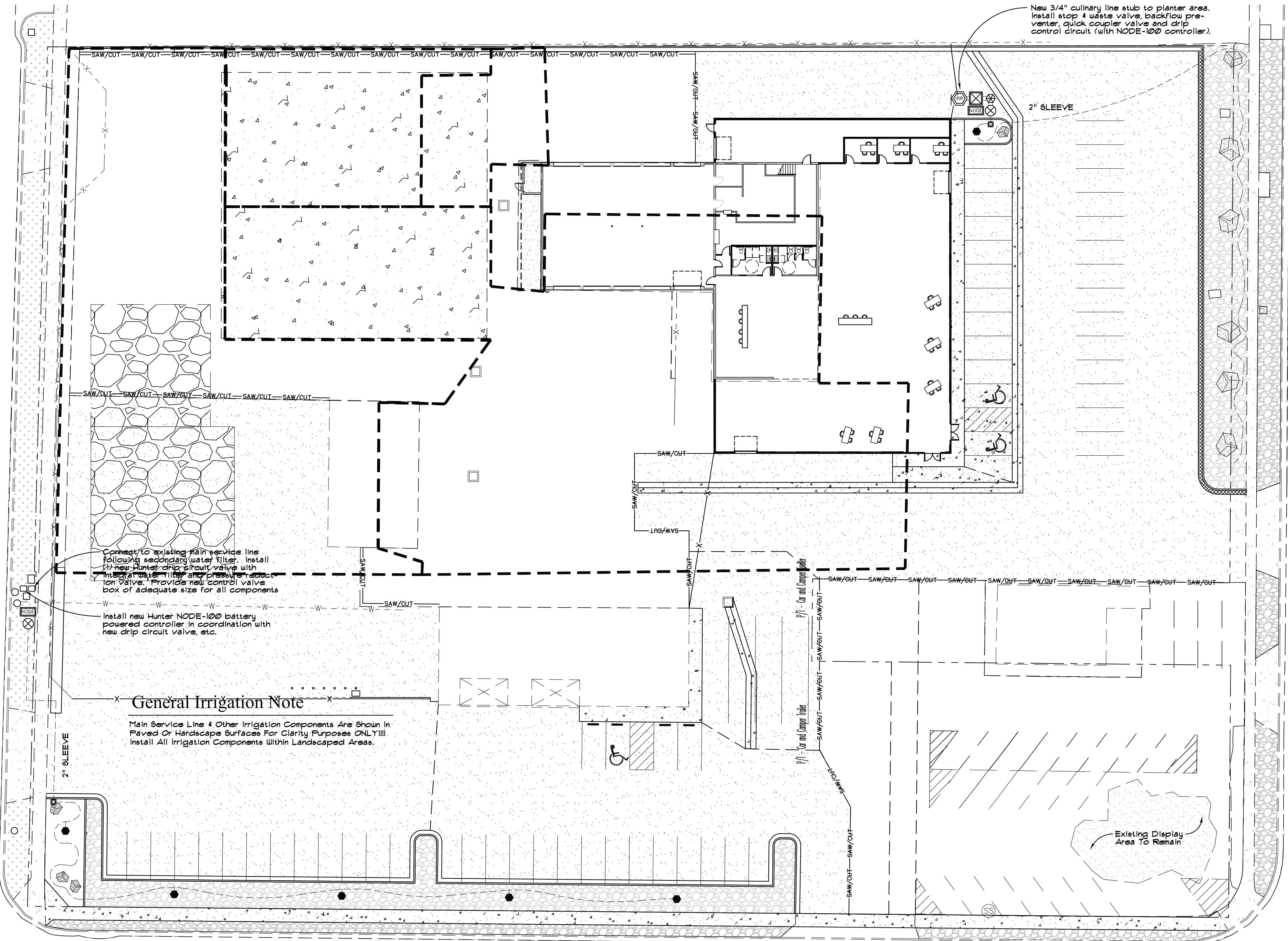
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## 100 West Street



## Sprinkler List

Symbol	Model-Number	Description	Remarks
●	Tree Location	Hunter HDL-COP Dripine	Provide Emitter Rings As Required
□	Hunter Or Equal	PVC To FE Pipe Connection	Install Within All Planting Areas As Shown
⊗	Hunter ICZ-101-40	Drip Control Zone Kit	1" Size In Valve Box With Gravel Sump
⊗	Hunter HQ-3-RC	Quick Coupler Valve	3/4" Size In Valve Box With Gravel Sump
NODE	Hunter NODE-100	Battery Powered Controller	1 Station Controller With Solenoid
HE	Mueller Oritseal Mark II	Stop & Waste Valve	3/4" Size / Install Inside Curb Box
■	Zurn-Wilkins 34-3TB	Reduced Pressure Backflow	3/4" / Install Above Grade Per Code
—	Schedule 40 PVC	Main Service Line	1" Size Throughout
—	Schedule 40 PVC	Lateral Circuit Line / Plants	Pipe Size As Required / 3/4" Min. Size

## Sprinkler Notes

- All main service lines and pipe sleeves shall be buried minimum 18 inches below finish grade, all lateral circuit lines minimum 12 inches below finish grade. Backfill all lines with sand or lump free soil. All clean material shall be settled and compacted to proper finish grade. All piping shall be capable of winterization by the use of compressed air / "Blown Out".
- All control valves and quick coupler valves shall be installed in fiberglass control boxes with bolt down lids. Washed gravel shall be installed in the box bottom to depth of 8 inches.
- Control valves shall be "1" single conductor white for the common wire, and "1/4" single conductor for the hot wire, and for the hot wire on all "1" control valve zones (if used), green for "drip" zones and blue (1) as a spare along the main service line. Appropriate shall be home run to the controller. All wiring shall be UL rated. All connections shall be made with water tight connectors, and contained in control valve boxes. Provide 26" extra wire length at each remote control valve in valve box. Install control wiring with service line where possible, taled to the underside of the pipe at regular intervals. Provide slack in control wires at all changes in direction.
- All sprinkler lines passing under paved and other hard surfaces shall be installed in schedule 40 pvc sleeves a minimum of two sizes larger than the pipe size to pass through it. The sleeve depth shall be the same as the deepest pipe to pass through it.
- Upon completion of the installation provide the Owner with a complete set of "As-Built" drawings showing any and all deviations from the original plans. It shall also show the locations of main service lines, control valves, wire routes, and manual drain valves.
- It shall be the responsibility of the sprinkler contractor to demonstrate to the Owner the proper winterization and start-up procedures for the entire system prior to final payment.
- The contractor shall comply with all state and local plumbing codes, and shall honor all warranties and guarantees set forth by the Owner.

## 1000 South Street

## General Notes

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate their work with the project manager and all other contractors working on the site.
- The contractor shall verify the exact location and size of the irrigation waterline stub, and the available water pressure at the point of connection. Any conflicts from what is shown on the plans shall be brought to the attention of the engineer for a resolution.
- The contractor shall be responsible for the installation of all irrigation sleeves under paving and other hard surface areas, whether shown on the plan, or required otherwise, including any electrical conduits.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.

## Submittal Requirements

- The contractor shall provide to the Owner/Engineer product data sheets of all irrigation materials such as control valves, control wire, quick coupler valves, control valve boxes, controller(s), pvc piping, drip tube piping, drip emitters & backflow prevention devices in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
- All irrigation materials shall be located for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to beginning work on the project. No substitutions will be considered following this time period.

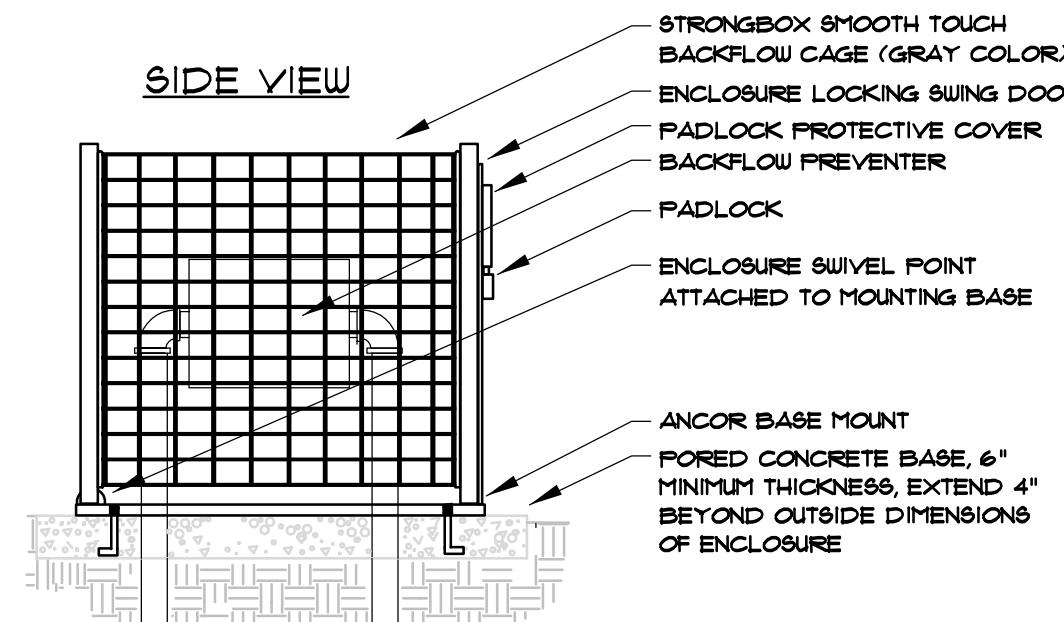


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Scale in Feet : 1"=20'-0"  
Landscape Architect  
RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105  
Phone : 801-641-3114  
Email : rdlidesign@comcast.net

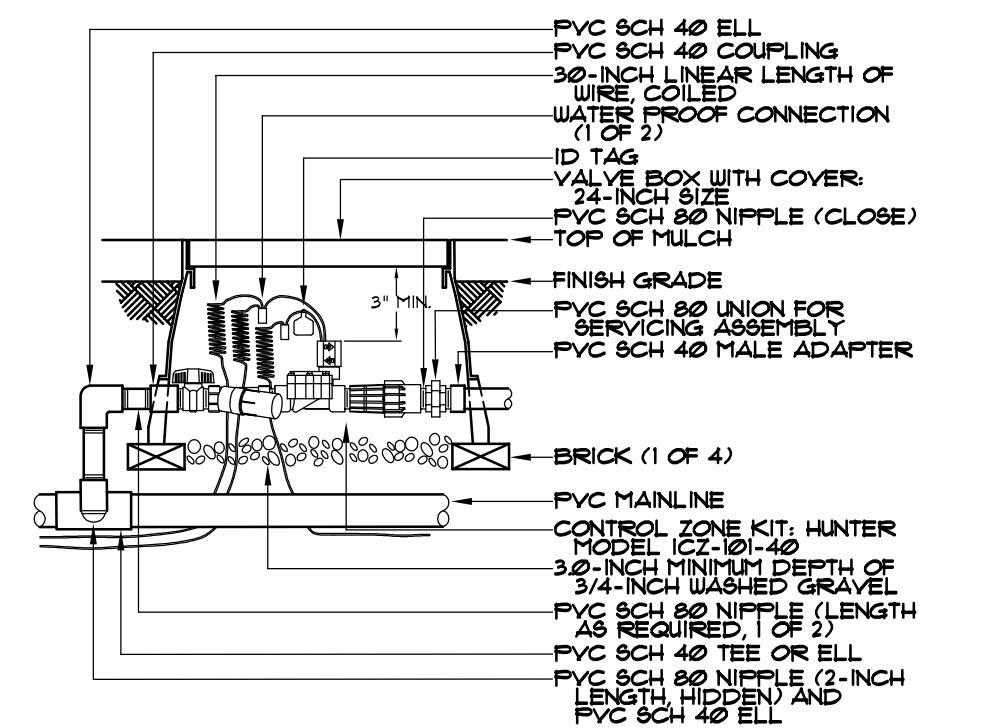
KARL MALONE POLARIS  
IRRIGATION PLAN  
44 W. 1000 S., HEBER CITY, UTAH 84032



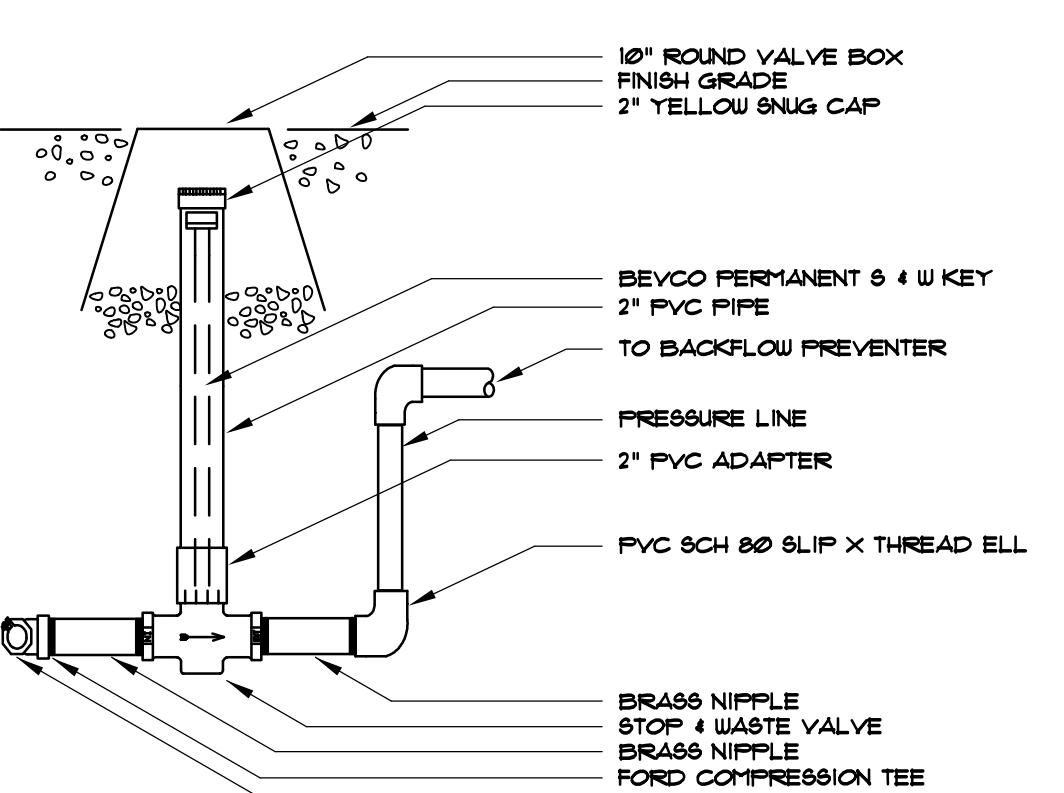
NO. \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_  
REVISIONS \_\_\_\_\_  
PROJECT ENGINEER: L.R. DESIGNER: L.R.



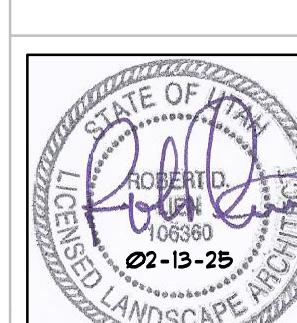
1 Backflow Preventer Enclosure  
L-2 N.T.S.



2 Xerigation Control Zone Kit  
L-2 N.T.S.



3 Stop & Waste Valve  
L-2 N.T.S.



SHEET: L-2  
DATE: FEB. 13, 2025



# KARL MALONE POLARIS

## 44 W 1000 S

### HEBER CITY, UTAH 84032

A. TYPICAL:

1. Contractor assumes all responsibility for job site conditions during construction of this project, including the safety and well-being of all persons and property. This responsibility shall apply continuously and not be limited to normal working hours.
2. Contractor shall obtain all applicable permits and/or written agreements necessary to complete the work.
3. City owned water valves may be operated only by City staff. Opening, closing or tampering with a City water valve without permission of the City public works department is a Class B misdemeanor punishable by up to six months in jail and a \$1,000 fine.
4. Contractor shall schedule a pre-construction meeting with the City's Engineering Department at least 5 business days prior to the start of construction. Contractor must attend and bring one set of the Acknowledged construction drawings and a copy of the current Heber City Standard Specifications and Drawings Manual (available at [heberut.gov](http://heberut.gov)).
5. Contractor shall have in possession and on-site at all times one copy of the current acknowledged construction plans stamped, signed, and dated by the Engineer of Record, the Applicant, and the City.
6. Developers Engineers (Civil and Geotechnical) shall perform sufficient inspections and surveys during grading and construction to render an opinion in writing as to adherence to the accepted plans and compliance with Heber City Standard Specifications and Drawings Manual.
7. Any work done in the absence of an inspector's approval shall be subject to rejection. All underground GPS data must be collected by a City representative prior to backfill. Inspectors may request the contractor to expose work that has been backfilled without prior inspection or collection of GPS data. All such rework shall be completed at the Developers or Owner's expense.
8. Survey monuments must be installed in accordance with the current Heber City and Wasatch County Surveyor's Office requirements.
9. All disturbed property survey markers shall be reset in their original locations upon completion of all construction activities.
10. Contractor shall provide all traffic control which must conform to the current MUTCD. Provide site-specific Traffic Control Plans [prepared by an American Traffic Safety Services Association (ATSSA) or AGC-Certified Individual] prior to installation of any traffic control device. Traffic Control Plans must be Accepted by the City prior to implementation and before any shoulder, lane, or street closure.

B. TRENCHES AND UTILITIES

1. Trenches shall be completed and restored per City Standard Drawing UTIL-1.
2. Pothole existing utilities in accordance with City Standard Drawing UTIL-5.
3. Contractor is responsible to locate, avoid, protect, and repair all utilities encountered during construction, whether or not they are shown on the plans. Locations of underground utilities shown on plans are approximate and require field verification by Contractor.
4. All trenches within public right-of-way must be backfilled or securely plated during nonworking hours. Trenches outside these areas shall be back-filled or protected by approved temporary fencing and/or barricades during non-working hours. Trenches in the roadway must be backfilled, compacted, and paved within 48 hours of road-cut. Paint striping shall be replaced in accordance to City Standards within 48-hours of restoration of pavement.

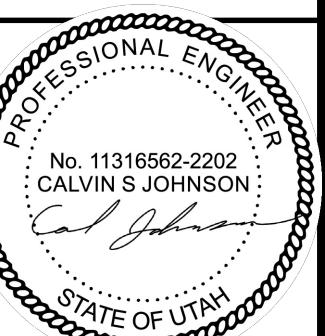


### LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE		INVERT ELEVATION		IE
EASEMENT LINE		TOP BACK CURB		TBC
CENTER LINE		TOP ASPHALT		TA
PROPOSED TRAIL		TOP OF GRATE		TOG
PROPOSED WATER LINE		FINISHED GRADE		FG
PROPOSED PRESSURIZED IRRIGATION		TOP OF CONCRETE		TC
PROPOSED SEWER LINE		HIGH WATER ELEVATION		HWE
PROPOSED STORM DRAIN LINE		CATCH BASIN		
EXISTING SEWER LINE		EXISTING STREET LIGHT		
EXISTING WATER LINE		STORM DRAIN MANHOLE		
EXISTING STORM DRAIN LINE		EXISTING FIRE HYDRANT		
EXISTING CONTOUR		EXISTING WATER VALVE		
FINISHED CONTOUR		EXISTING WATER METER		
		EXISTING SEWER MANHOLE		
		PROPOSED FIRE HYDRANT		
		PROPOSED WATER VALVE		
		PROPOSED WATER METER		
		PROPOSED SEWER CLEANOUT		
		PROPOSED SEWER MANHOLE		

LEGEND ENGINEERING  
52 WEST 100 NORTH  
HEBER CITY, UTAH 84032  
PHONE: 435-654-4828  
[www.legendengineering.com](http://www.legendengineering.com)

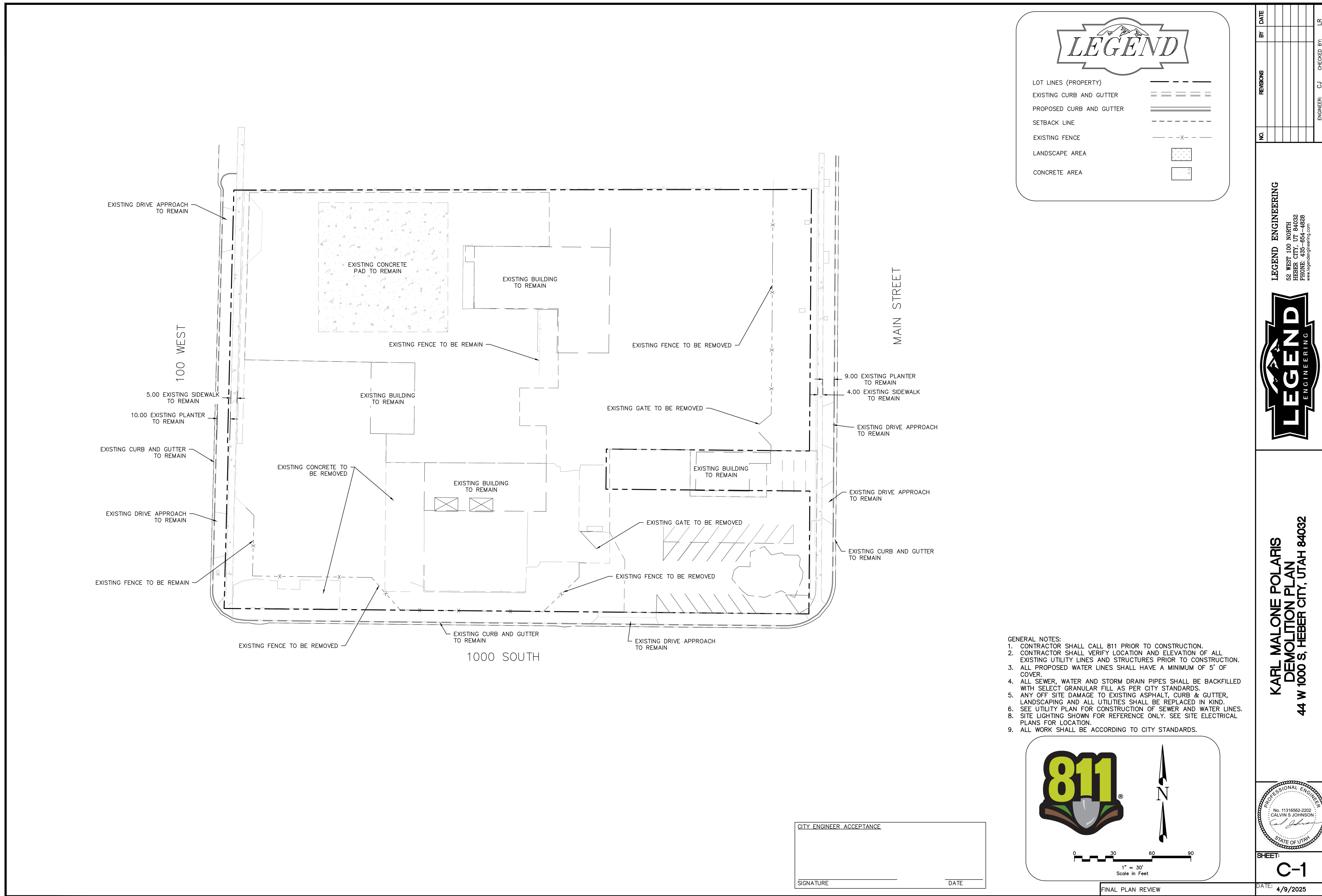
KARL MALONE POLARIS  
COVER SHEET  
44 W 1000 S, HEBER CITY, UTAH 84032

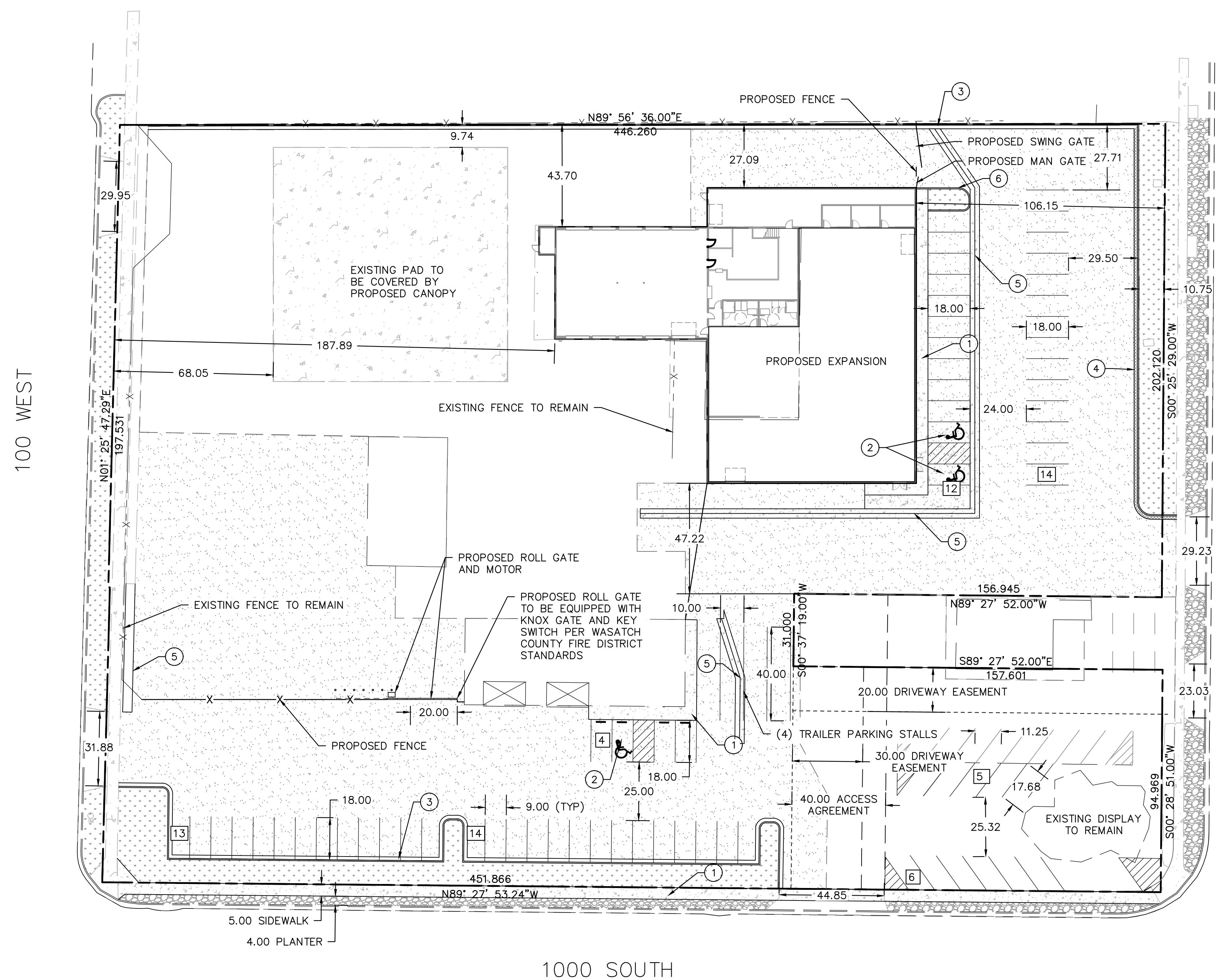


SHEET: C-0

No.	REVISIONS	BY	DATE

ENGINEER:	CHECKED BY:	LR



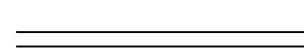


100 WEST

1000 SOUTH

## MAIN STREET

# LEGEND

ST LINES (PROPERTY)	
STING CURB AND GUTTER	
OPOSED CURB AND GUTTER	
TBACK LINE	
ISTING FENCE	
NDSCAPE AREA	
NCRETE AREA	
PHALT AREA	
ISTING ASPHALT AREA	
VERSE PAN CURB AND GUTTER	

DATA

AREA: 141,406 SF (3.25 ACRES)  
ROOF AREA: 17,813 SF ± 12.6%  
OPY AREA: 9,995 SF ± 7.1%  
MENT AREA: 107,496 SF ± 76.0%  
SCAPE AREA: 6,102 SF ± 4.3%

ING DATA

: C-2 (COMMERCIAL ZONE)  
STRUCTION TYPE: V-B  
-SPRINKLED  
R AREA: 17,525 SF

ING TABULATION

QUIRED: 4 PER 1,000 SF RETAIL STORES/SERVICE SHOPS  
QUIRED: 70 STALLS (17,485 SF/200 = 70 STALLS)  
VIDED: 70 STALLS  
3 ADA STALLS

SITE DESIGN NOTES:

PROPOSED SIDEWALK PER HEBER CITY STANDARD DRAWING STREETS-4.

ALL ADA STALLS AND RAMPS TO BE INSTALLED PER ADA STANDARDS.

PROPOSED CURB & GUTTER PER HEBER CITY STANDARD DRAWING STREETS-4.

PROPOSED REVERSE PAN CURB AND GUTTER PER DETAIL 1.

PROPOSED 4' WATERWAY PER HEBER CITY STANDARD DRAWING STREETS-4.

PROPOSED CURB & GUTTER PER APWA PLAN 205 TYPE P.

A NOTICE TO PROCEED MUST BE OBTAINED FROM THE CITY ENGINEER PRIOR TO DOING ANY WORK ON THE PROJECT.\*\*

GENERAL NOTES:

CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.

ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.

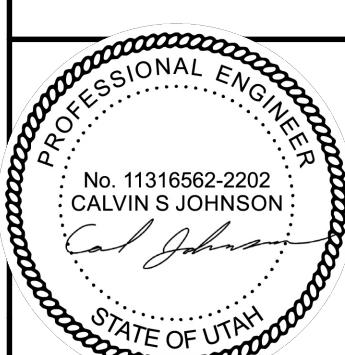
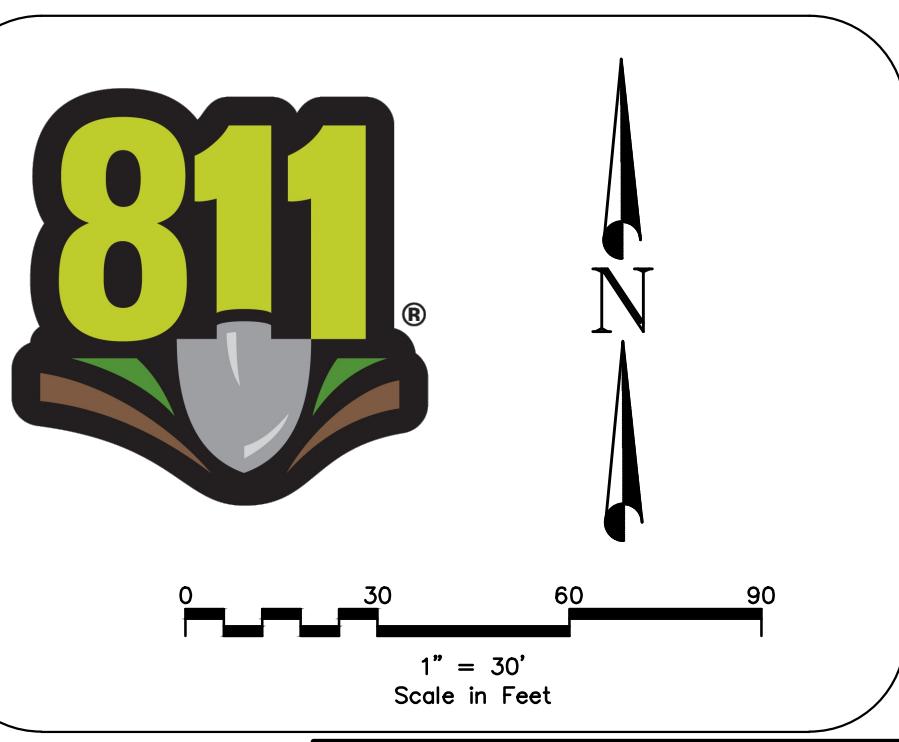
ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.

ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.

SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.

SITE LIGHTING SHOWN FOR REFERENCE ONLY. SEE SITE ELECTRICAL PLANS FOR LOCATION.

ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.



MEET:  
**C-2**

DATE: 4/9/2025

11. **What is the name of the person you are referring to?**

1000

# SITE PLAN W 1000 S, HEBER CITY, UTAH 84032

#W 1000 G, I-TEBRI 2011, 01/11/2002

<u>CITY ENGINEER ACCEPTANCE</u>	
SIGNATURE	DATE

## FINAL PLAN REVIEW

# LEGEND ENGINEERING

52 WEST 100 NORTH  
HEBER CITY, UT 84032  
www.legendengineering.com



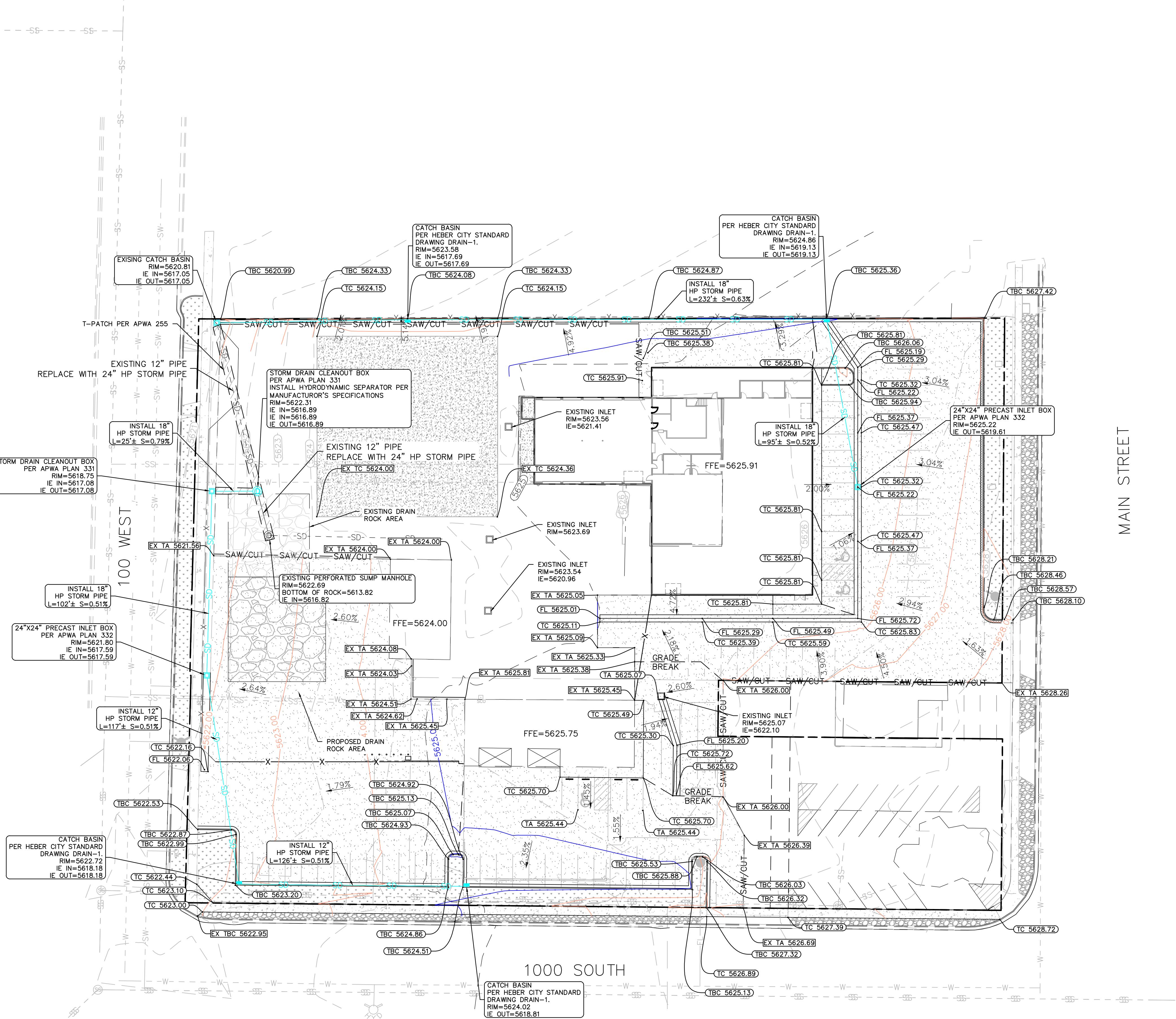
# KARL MALONE POLARIS GRADING AND DRAINAGE PLAN 44 W 1000 S, HEBER CITY, UTAH 84032

# LEGEND



SHEET:  
**C-3**

DATE: 4/9/2025



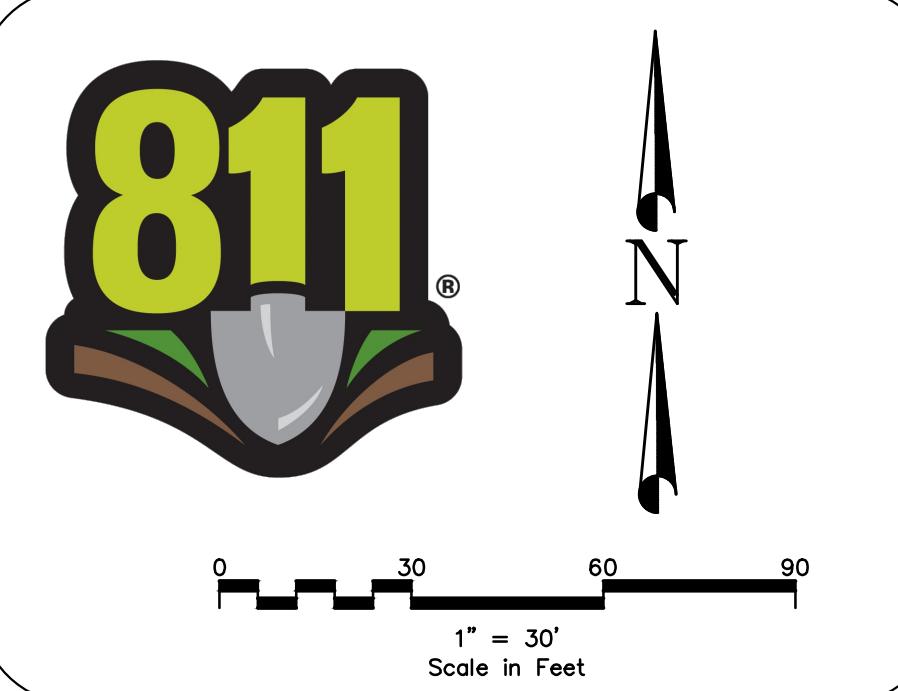
LOT LINES (PROPERTY)	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
PROPOSED STORM DRAIN LINE	
EXISTING STORM DRAIN LINE	
PROPOSED SEWER LINE	
EXISTING SEWER LINE	
PROPOSED WATER LINE	
EXISTING WATER LINE	
EXISTING FENCE	
GRADE BREAK	
FINISH GRADE CONTOUR LINES	
EXISTING GRADE CONTOUR LINES	
FINISH GRADE SLOPE	
GRADE BREAK	
INVERT ELEVATION	
TOP OF GRATE	
TOP OF ASPHALT	
TOP BACK OF CURB	
PROPOSED	
EXISTING	
FINISHED GRADE	
FINISHED FLOOR ELEVATION	
BACK OF SIDEWALK	
LANDSCAPE AREA	
CONCRETE AREA	

I HEREBY CERTIFY THAT THIS DESIGN FOR THE MANAGEMENT OF STORM WATER OF THIS DEVELOPMENT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE PROVISIONS OF HEBER CITY'S DRAINAGE MANUAL AND STANDARD SPECIFICATIONS AND DRAWINGS, AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THE CITY ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS REPORT.

\*\*A NOTICE TO PROCEED MUST BE OBTAINED FROM THE CITY ENGINEER PRIOR TO DOING ANY WORK ON THE PROJECT.\*\*

GENERAL NOTES:

1. CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
3. ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
7. SITE LIGHTING SHOWN FOR REFERENCE ONLY. SEE SITE ELECTRICAL PLANS FOR LOCATION.
8. ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.



CITY ENGINEER ACCEPTANCE

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

FINAL PLAN REVIEW

NO.	REVISIONS	BY	DATE

ENGINEER:	LR	CHECKED BY:	LR
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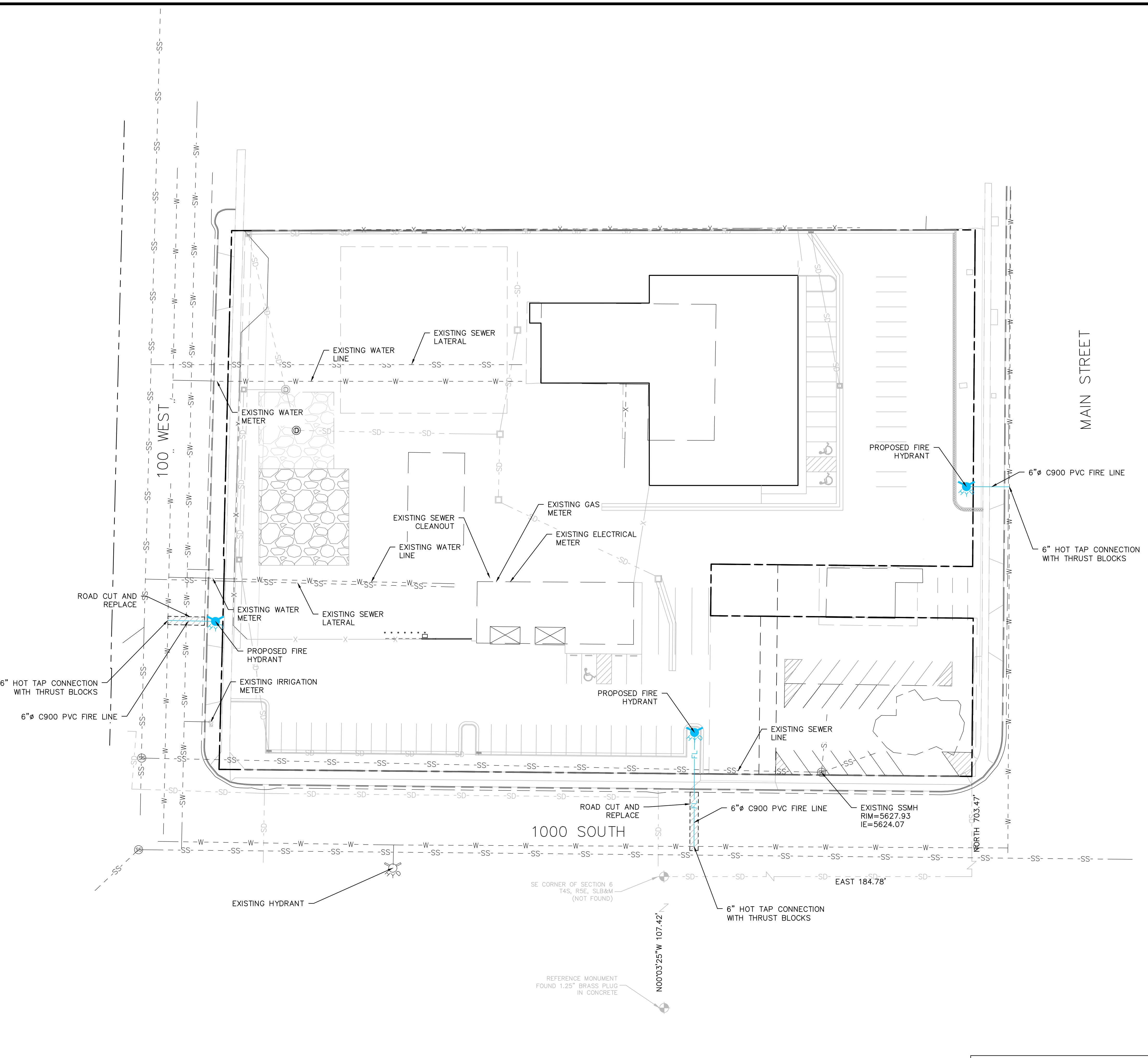
# LEGEND

PROPERTY/ROW LINE	— — — —
EXISTING CURB AND GUTTER	— — — —
PROPOSED CURB AND GUTTER	— — — —
PROPOSED STORM DRAIN LINE	— SD —
EXISTING STORM DRAIN LINE	— — SD —
PROPOSED SEWER LINE	— SS —
EXISTING SEWER LINE	— — SS —
PROPOSED WATER LINE	— W —
EXISTING WATER LINE	— — W —
EXISTING GAS LINE	— — G —
INVERT ELEVATION	IE
PROPOSED	PROP
FINISHED FLOOR ELEVATION	FFE
EXISTING FIRE HYDRANT	HY
EXISTING WATER VALVE	WM
EXISTING WATER METER	WM
EXISTING SEWER MANHOLE	SM
PROPOSED FIRE HYDRANT	HY
PROPOSED WATER VALVE	WM
PROPOSED WATER METER	WM
PROPOSED SEWER CLEANOUT	SC
PROPOSED SEWER MANHOLE	SM

LEGEND ENGINEERING  
52 WEST 100 NORTH  
HEBER CITY, UT 84032  
PHONE: 435-654-4838  
www.legendengineering.com

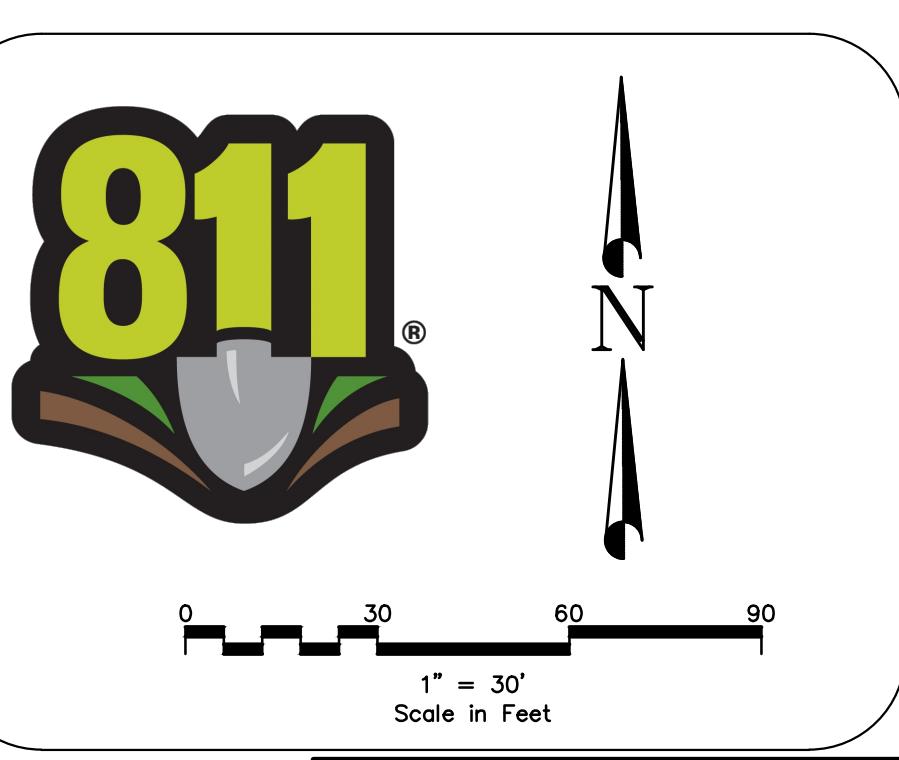
LEGEND  
ENGINEERING

\*\*A NOTICE TO PROCEED MUST BE OBTAINED FROM THE CITY ENGINEER  
PRIOR TO DOING ANY WORK ON THE PROJECT.\*\*



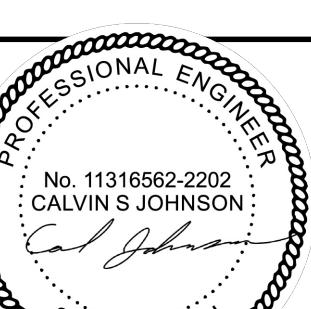
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7. SITE LIGHTING SHOWN FOR REFERENCE ONLY. SEE SITE ELECTRICAL PLANS FOR LOCATION.
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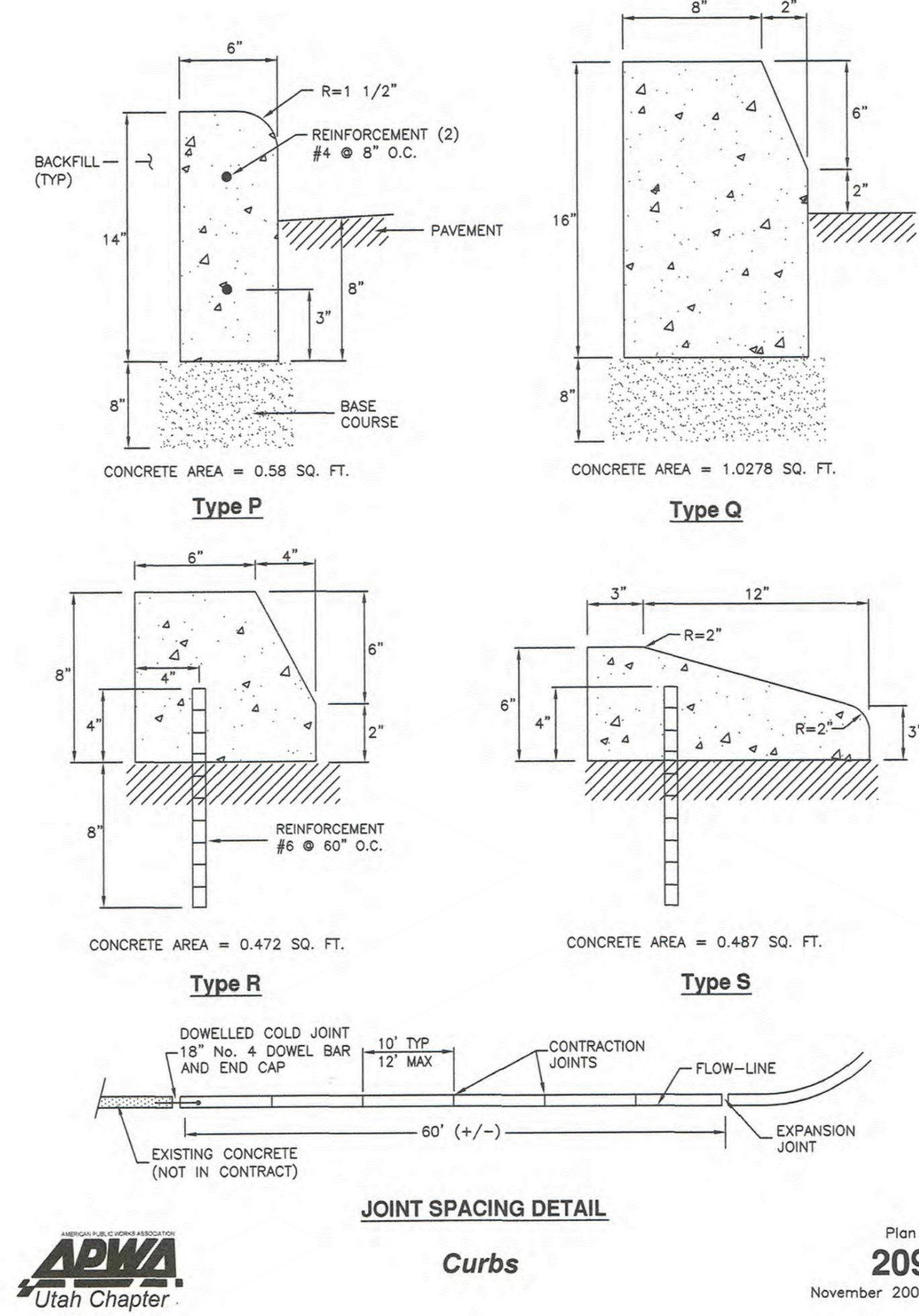
CITY ENGINEER ACCEPTANCE

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



SHEET:  
**C-4**

FINAL PLAN REVIEW



APWA  
Utah Chapter

209

Plan  
November 2009

209

Curbs

### Curbs

#### 1. GENERAL

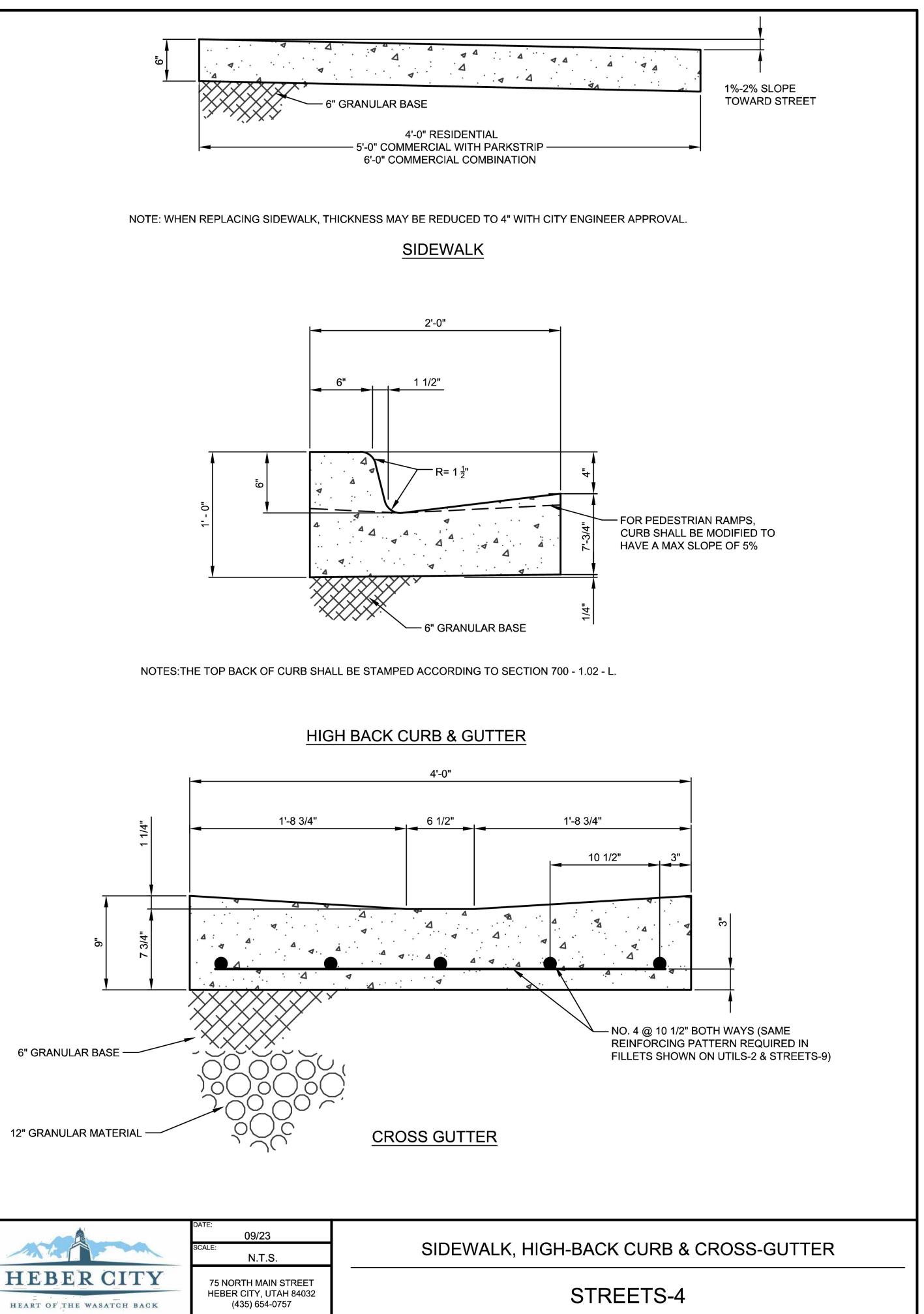
- A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
- B. Additional requirements are specified in APWA Section 32 16 13.

#### 2. PRODUCTS

- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
- C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
- D. Reinforcement: Galvanized or epoxy coated, deformed, 60 ksi yield grade steel, ASTM A615.
- E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

#### 3. EXECUTION

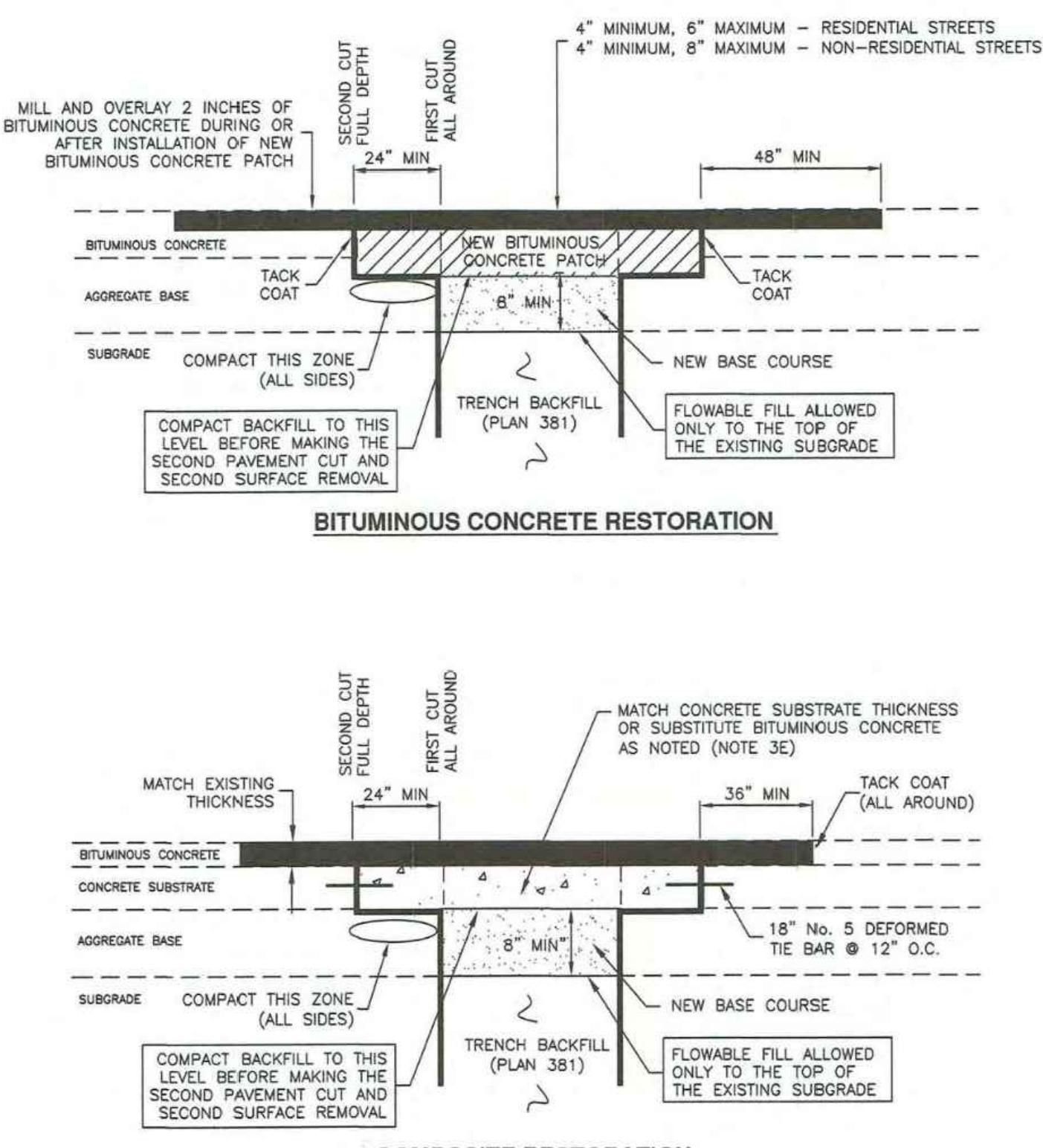
- A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
- B. Concrete Placement: APWA Section 03 30 10.
  - 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
  - 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
  - 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
- C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



HEBER CITY  
HEART OF THE WEAVER BACK

DATE: 09/23  
SCALE: N.T.S.  
75 NORTH MAIN STREET  
HEBER CITY, UTAH 84032  
(435) 654-0757

SIDEWALK, HIGH-BACK CURB & CROSS-GUTTER  
STREETS-4



APWA  
Utah Chapter

Bituminous pavement T-patch

Plan  
November 2015

255

255

Bituminous pavement T-patch

### Bituminous pavement T-patch

#### 1. GENERAL

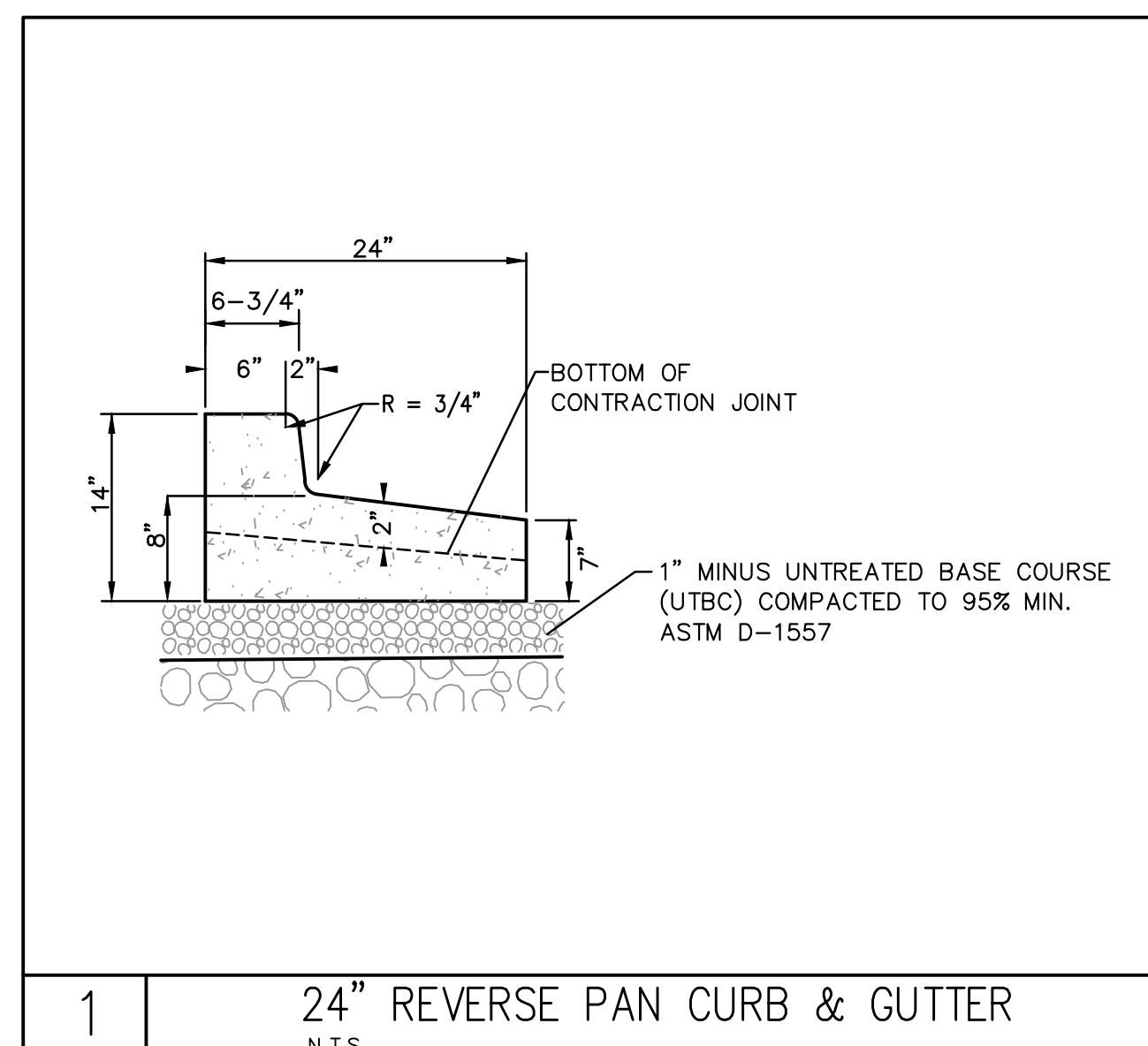
- A. Vertical cuts in bituminous pavement may be done by saw or pavement zipping. If cuts greater than 6 inches are necessary to prevent pavement "break off" consult ENGINEER for directions on handling additional costs.
- B. Repair a T-patch restoration if any of the following conditions occur prior to final payment or at the end of the one year correction period.
  - 1) Pavement surface distortion exceeds 1/4-inch deviation in 10 feet. Repair option - plane off surface distortions, coat planed surface with a cationic or anionic emulsion that complies with APWA Section 32 12 03.
  - 2) Separation appears at a connection to an existing pavement or any Street Fixture. Repair option - blow separation clean and apply joint sealant, Plan 265.
  - 3) Cracks at least 1-foot long and 1/4-inch wide occur more often than 1 in 10 square feet. Repair option - blow clean and apply crack seal, Plan 265.
  - 4) Pavement raveling is greater than 1 square foot per 100 square feet. Repair option - Mill and inlay, APWA Sections 32 01 16.71 and 32 12 05.

#### 2. PRODUCTS

- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Flowable Fill: Target is 60 psi in 28 days with 90 psi maximum in 28 days, APWA Section 31 05 15. It must flow easily requiring no vibration for consolidation.
- C. Reinforcement: No. 5, galvanized or epoxy coated, deformed, 60 ksi yield grade steel, ASTM A615.
- D. Concrete: Class 4000, APWA Section 03 30 04.
- E. Tack Coat: APWA Section 32 12 13.13.
- F. Bituminous Concrete: APWA Section 32 12 05.
  - 1) Warm Weather Patch: PG64-22-DM-1/2, unless indicated otherwise.
  - 2) Cold Weather Patch: Modified MC-250-FM-1 as indicated in APWA Section 33 05 25.

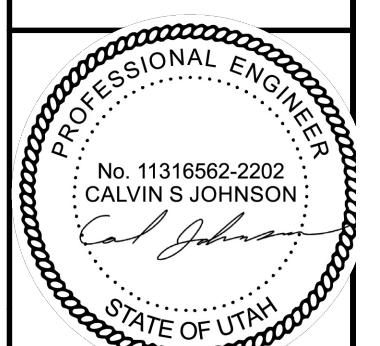
#### 3. EXECUTION

- A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
- B. Flowable Fill: Cure to initial set before placing aggregate base or bituminous pavement. Use in excavations that are too narrow to receive compaction equipment.
- C. Tack Coat: Clean all horizontal and vertical surfaces. Apply full coverage all surfaces.
- D. Pavement Placement: Follow APWA Section 32 12 16.13. Unless indicated otherwise, lift thickness is 3-inches minimum after compaction. Compact to 94 percent of ASTM D2041 (Rice density) plus or minus 2 percent.
- E. Bituminous Concrete Substitution: If bituminous concrete is substituted for Portland cement concrete substrate, omit rebar and provide 1.25 inches of bituminous concrete for each 1 inch of Portland cement concrete. Follow paragraph E requirements.
- F. Reinforcement: Required if thickness of existing Portland-cement concrete substrate is 6-inches or greater. Not required if 1) less than 6-inches thick, 2) if existing concrete is deteriorating, 3) if excavation is less than 3 feet square, or 4) if bituminous pavement is substituted for Portland-cement concrete substrate.
- G. Concrete Substrate: Cure to initial set before placing new bituminous concrete patch.



1 24" REVERSE PAN CURB & GUTTER  
N.T.S.

KARL MALONE POLARIS  
DETAILS  
44 W 1000 S, HEBER CITY, UTAH 84032



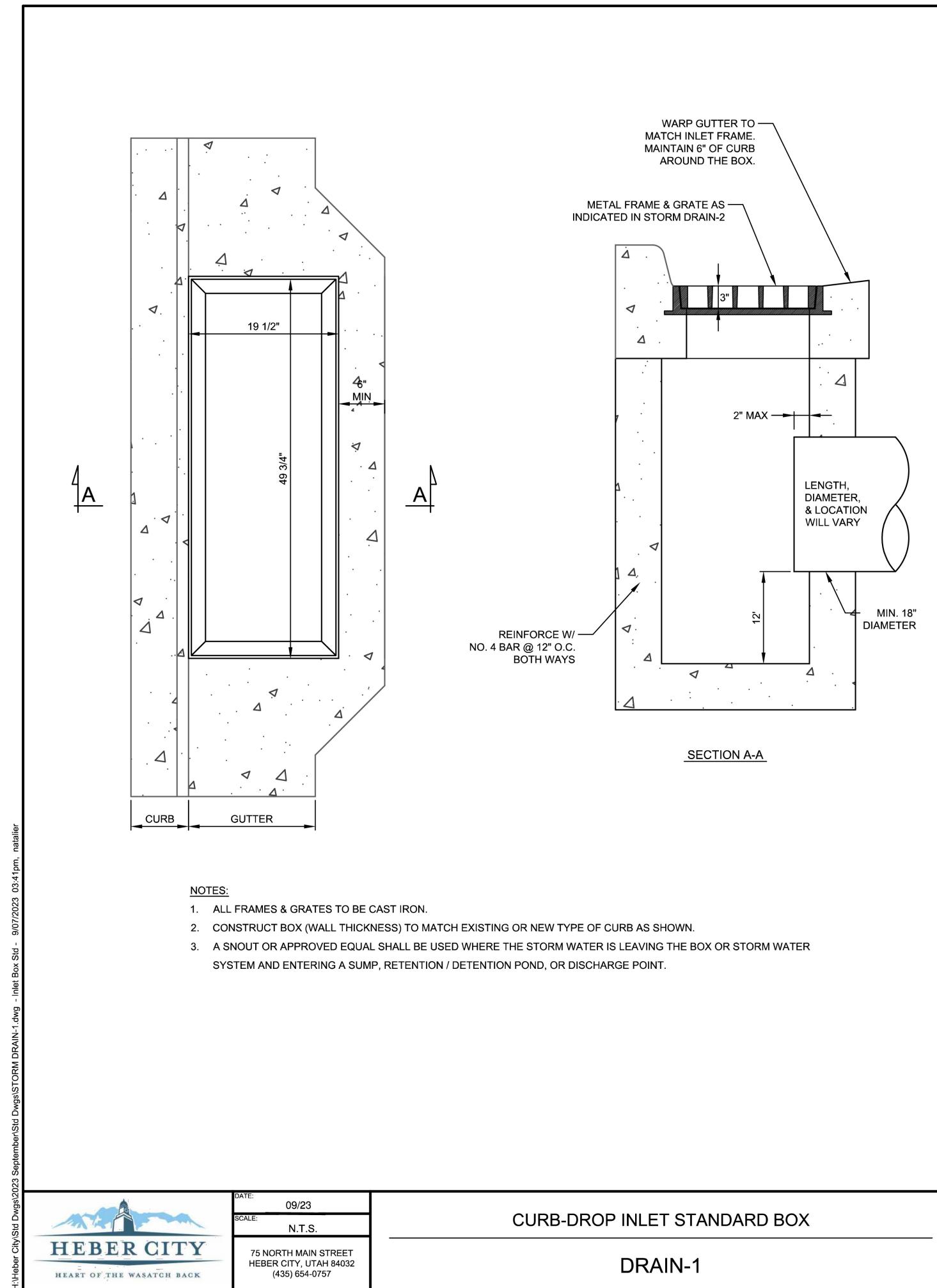
SHEET:  
C-5

FINAL PLAN REVIEW

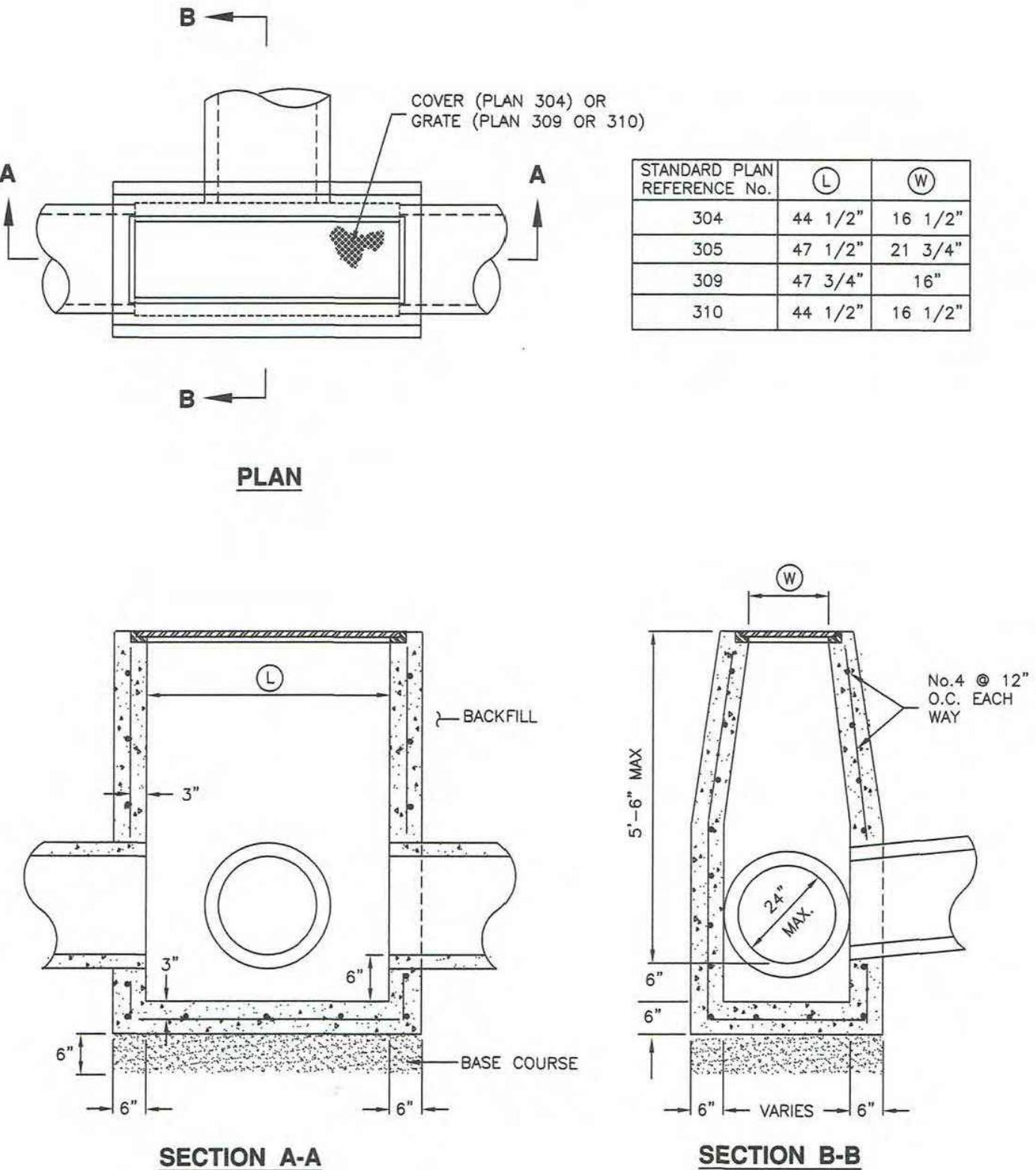
DATE: 4/9/2025

LEGEND ENGINEERING  
52 WEST 100 NORTH  
HEBER CITY, UTAH 84032  
PHONE: 435-654-4838  
www.legendengineering.com

DATE  
REVISIONS  
BY  
DATE  
CHECKED BY:  
LR  
ENGINEER: CJ



### TYPE A



### Cleanout box

#### 1. GENERAL

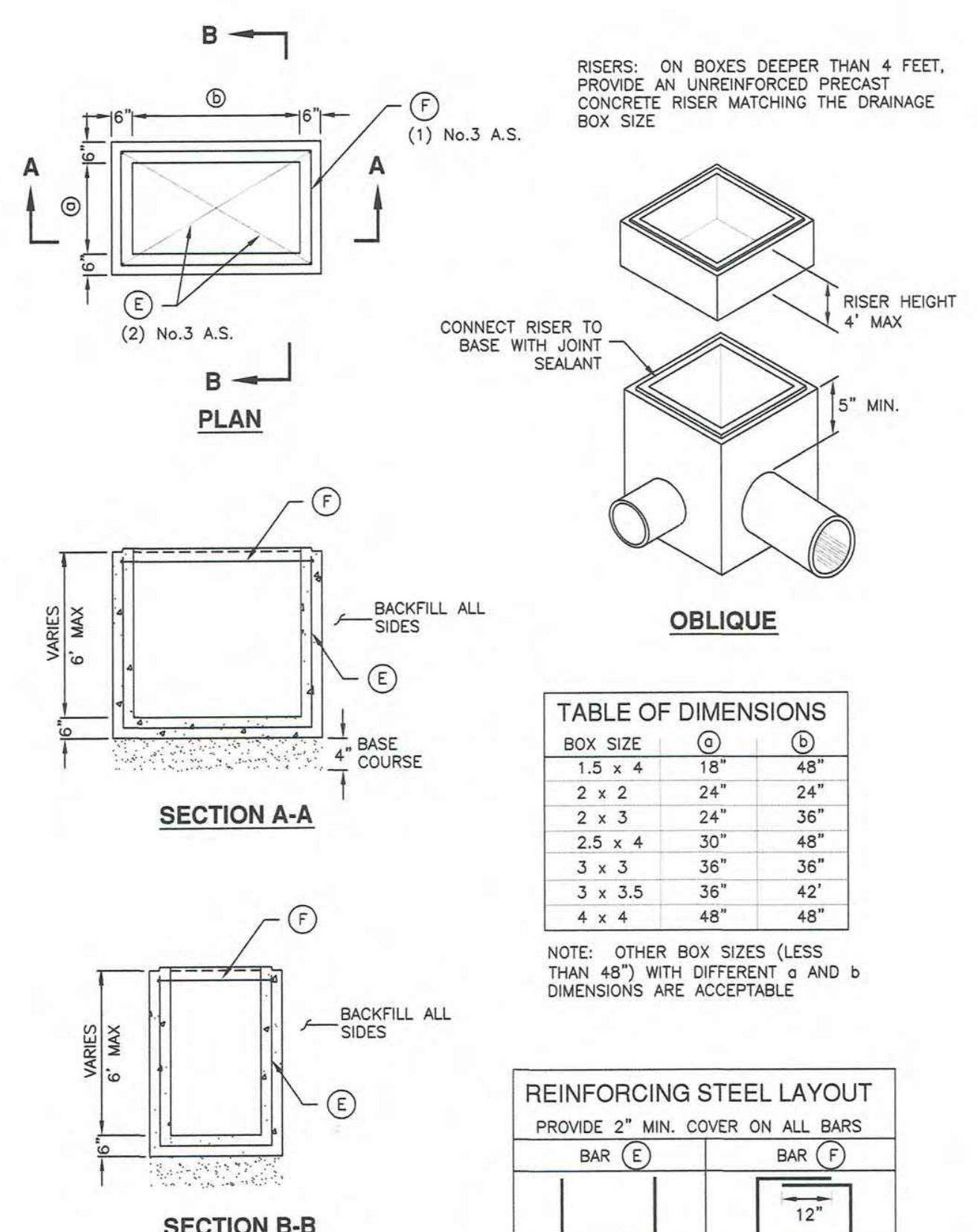
- A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- B. This box may be used as an inlet box. Install the appropriate frame and grate.

#### 2. PRODUCTS

- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
- C. Concrete: Class 4000, APWA Section 03 30 04.
- D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
- E. Stabilization-Separation Geotextile: High MARV, woven or non-woven, APWA Section 31 05 19.

#### 3. EXECUTION

- A. Foundation Stabilization: Get ENGINEER's permission to use a sewer rock or granular backfill borrow in a geotextile wrap to stabilize an unstable foundation.
- B. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
- C. Joints: Place flexible gasket-type sealant in all manhole joints.
- D. Reinforcement: Center steel in walls and slabs with a typical cover of 3-inches. Keep steel 2-inches clear around pipe and lid opening. Tie-bars required at all corners, vertical and horizontal. Tie-bars connecting two walls must match wall bar size and spacing. Tie-bars connecting walls to top and bottom slabs must match slab steel size and spacing.
- E. Water stops: Install rubber-based water-stops on all plastic pipes when connecting plastic pipes to cleanout boxes. Hold water-stop in place with stainless steel bands.
- F. Concrete Placement: APWA Section 03 30 10. Adjust concrete dimensions at frame accordingly. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
- G. Pipe Connections: Grout around all concrete pipe openings.
- H. Backfill: Provide backfill against all of the box walls. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



### Precast box

#### 1. GENERAL

- A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- B. This drawing is acceptable where the water table elevation is less than 3 feet above the floor of the box. If elevation of water table is higher, engineering calculations and drawings must be submitted to and approved by the ENGINEER.
- C. Submit bar design detail for ENGINEER's review.

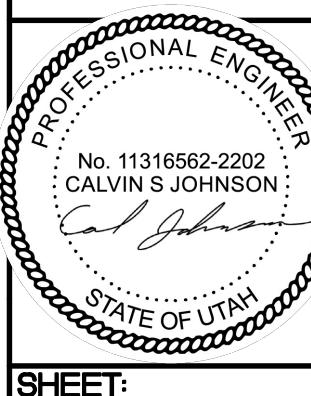
#### 2. PRODUCTS

- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
- C. Precast Concrete: Class 4000 precast, APWA Section 03 40 00.
- D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615. Coated steel is not required for small drainage structures shown on this drawing.
- E. Frame and Cover (or Grate): Use the appropriate unit indicated in the Contract Documents.
- F. Joint Sealant: Rubber-based, compressible.

#### 3. EXECUTION

- A. Concrete Placement: Provide 2-inches of concrete cover over reinforcing steel.
- B. Lifting Points: Provide at least 2 lifting points per section that avoid interference with the reinforcing steel and that are designed according to PCI (Prestressed Concrete Institute) design handbook. Lift only from the engineered lifting points.
- C. Depth: Drainage boxes and riser combinations that exceed 8-feet from finished grade to the bottom of the box requires ENGINEER's approval. Submit design calculations and shop drawings.
- D. Core Holes:
  - 1) Provide core holes that are at least 4" larger than attaching outer pipe diameter. Cut core holes at the manufacturing plant unless ENGINEER permits field core holes.
  - 2) Center core holes to leave 2" of concrete measured horizontally from inside wall of the box to core hole. Locate core hole vertically so bottom of core hole will be at or above floor elevation with at least 5-inches of concrete directly above the core hole to the top of the box.
  - 3) Deviations from core hole tolerances require shop drawings. Shop drawings will identify lifting point number and location.
- E. Precast Top: Design precast top for AASHTO HL-93 live loads and submit rebar detail and stamped design drawings to ENGINEER. Show connection detail for frame and grate or cover.

**KARL MALONE POLARIS**  
**DETAILS**  
**44 W 1000 S, HEBER CITY, UTAH 84032**



FINAL PLAN REVIEW

DATE: 4/9/2025

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 24 25 26 27 28 29 30 31 32 33 34

ELECTRICAL SYMBOLS			
	BRANCH CIRCUIT CONCEALED IN CEILING OR WALL		FIXTURE TYPE SYMBOL
	BRANCH CIRCUIT CONCEALED IN GROUND OR FLOOR		LINER FIXTURE ( TYPICAL )
	BRANCH CIRCUIT HOMERUNS TO PANEL		EMERGENCY LIGHTING UNIT
	ROOM NUMBER		SURFACE OR PENDANT MOUNTED FIXTURE
	MECHANICAL EQUIPMENT SYMBOL		RECESSED FIXTURE
	KEYED NOTE REFERENCE		WALL MOUNTED FIXTURE
	FEEDER TAG ( SEE FEEDER SCHEDULE )		WALL PACK
	LIGHTING AND POWER PANELBOARD		STRIP FIXTURE
	NON-FUSED DISCONNECT SWITCH		TRACK LIGHTING
	NON-FUSED DISCONNECT SWITCH WITH MOTOR STARTER		EMERGENCY LIGHTING UNIT
	MOTOR STARTER		WALL MOUNTED EXIT LIGHT ( SINGLE FACE )
	VARIABLE FREQUENCY DRIVE		WALL MOUNTED EXIT LIGHT ( DOUBLE FACE )
	CONDUIT STUB		CEILING MOUNTED EXIT LIGHT ( SINGLE FACE )
	JUNCTION BOX		CEILING MOUNTED EXIT LIGHT ( DOUBLE FACE )
	ELECTRIC VEHICLE CHARGING STATION ( EVSE )		EXIT LIGHT WITH PROTECTIVE COVER
	PANEL SPACE ASSIGNMENT		SINGLE POLE SWITCH ( SUBSCRIPT AS INDICATED BELOW )
	444 MOUNTING HEIGHT ABOVE FLOOR OR GRADE GIVEN IN INCHES.		2 TWO POLE SWITCH
	GFCI PROTECTED BY FAULT CIRCUIT INTERRUPTER		3 3-WAY SWITCH
	TR TAMPER RESISTANT		4 4-WAY SWITCH
	WP WEATHERPROOF COVER & LISTED WEATHER RESISTANT DEVICE		D DIMMER SWITCH
	DISP DISPENSER		K KEYED SWITCH
	DW DISHWASHER		T TIMER SWITCH
	ENC ELECTRIC WATER COOLER		M MANUAL STARTER WITH THERMAL OVERLOAD
	REF REFRIGERATOR		F PADDLE FAN SPEED CONTROL ( CARANEE "ON" SERIES )
	USB HUBBELL USBSACSW OR EQUAL DUPLEX PLUS USB CHARGER		OC OCCUPANCY SENSOR SWITCH
	WASH WASHING MACHINE		LV LOW VOLTAGE CONTROL SWITCH
	SIMPLEX RECEPTACLE OUTLET		LV/D LOW VOLTAGE CONTROL SWITCH WITH DIMMER
	DUPLEX RECEPTACLE OUTLET		OC/D OCCUPANCY SENSOR CONTROL SWITCH WITH DIMMER
	QUAD RECEPTACLE OUTLET		OC/2 DUAL RELAY OCCUPANCY SENSOR CONTROL SWITCH
	SPLIT WIRED DUPLEX RECEPTACLE OUTLET		SS DOUBLE GANG SWITCH
	220V RECEPTACLE OUTLET		\$20 <sup>b</sup> LOW VOLTAGE MULTI BUTTON CONTROL SWITCH
	ISOLATED GROUND RECEPTACLE OUTLET		( LETTER INDICATES CONTROL OF CORRESPONDING FIXTURES )
	SPECIAL RECEPTACLE OUTLET		\$2\$ <sup>b</sup> OCCUPANCY SENSOR ( CEILING MOUNTED )
	THERMOSTAT OUTLET		DT <sup>b</sup> DUAL TECHNOLOGY OCCUPANCY SENSOR ( CEILING MOUNTED )
	REMOTE SENSOR OUTLET		PIR <sup>b</sup> PASSIVE INFRARED OCCUPANCY SENSOR ( CEILING MOUNTED )
	COMPUTER DATA OUTLET ( # ) INDICATES JACK QUANTITIES		RC ROOM CONTROLLER
	NETWORK AND VOICE OUTLET		LS DAYLIGHT SENSOR
	WIRELESS ACCESS POINT CEILING MOUNTED		P PHOTOCELL
	TELEVISION OUTLET		V VOLUME CONTROL
	MOTOR OUTLET		WS WALL SPEAKER
	EXHAUST FAN		CS CEILING SPEAKER
	FLOOR MOUNTED DEVICE		SC SURVEILLANCE CAMERA
	CEILING MOUNTED DEVICE		DVR SURVEILLANCE DIGITAL VIDEO RECORDER
			NURSE NURSE CALL ANNUNCIATOR PANEL
			NURSE CALL EMERGENCY CALL DEVICE
			NURSE CALL EMERGENCY CALL LIGHT
			PUSHBUTTON
			BELL

NOTE: ALL SYMBOLS MAY NOT BE USED.

ABBREVIATIONS INDEX			
#	NUMBER	DC	DIRECT CURRENT
φ	PHASE	DISP	DISPOSAL
1 <sub>o</sub>	SINGLE PHASE	DRY	DRYER
2P	TWO-POLE	DW	DISHWASHER
3 <sub>o</sub>	THREE PHASE	DWG	DRAWING
4P	FOUR-POLE	EC	EMPTY CONDUIT
AC	ALTERNATING CURRENT	EM	EMERGENCY
AFF	ABOVE FINISHED FLOOR	EMG	EMERGENCY GENERATOR
AFG	ABOVE FINISHED GRADE	EMT	ELECTRICAL METALLIC TUBING
AFP	ARC FAULT PROTECTOR	EPO	EMERGENCY POWER OFF
AHU	AUTHORITY HAVING JURISDICTION	EWC	ELECTRIC WATER COOLER
AIC	AMP INTERRUPTING CURRENT (SYMMETRICAL)	EWH	ELECTRIC WALL HEATER
AL	ALUMINUM	(E)	EXISTING
AMP	AMPERE	(F)	FUTURE
AMPS	AMPS METER	FA	FOOT ALARM
ANN	ANNUNCIATOR	FC	FOOT CANDLE
ATS	AUTOMATIC TRANSFER SWITCH	FLA	FULL LOAD AMPS
AUX	AUXILIARY	FT	FOOT
AWG	AMERICAN WIRE GAUGE	FRZ	FREEZER
BC	BARE COPPER	FS	FUSED SWITCH
BFG	BELOW FINISH GRADE	GFAF	DUAL FUNCTION GFCI/AFCL CIRCUIT BREAKER
C	CONTRACTOR	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
CAB	CABINET	GFP	GROUND-FAULT EQUIPMENT PROTECTION
CATV	COMMUNITY ANTENNA TELEVISION	GFP	GROUND FAULT PROTECTOR
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	GRC	CALVANIZED RIGID CONDUIT
CKT	CIRCUIT	GRD	GROUND
CLG	CEILING	HP	HORSE POWER
CNTR	CONTRACTOR	IG	ISOLATED GROUND
CO	CONVENIENCE OUTLET	IMC	INTERMEDIATE METALLIC CONDUIT
CRT	COMPUTER TERMINAL	IN	INCH
CT	CURRENT TRANSFORMER	J-BOX	JUNCTION BOX
CU	COPPERT	KV	KILOVOLT
C/W	CONDUIT WITH	KVA	KILOAMPERES
(D)	DEMOLISH/DELETE	KVAR	KILOVARS
DB	DECIBEL	OS&Y	OUTSIDE SCREW AND YOKE
		PP	PUSH BUTTON
		PF	POWER FACTOR
		PFR	PHASE FAILURE RELAY
		PNL	PANEL
		PT	POTENTIAL TRANSFORMER
		PV	PHOTOVOLTAIC
		PC	POLYCHLORIDE
		(R)	RELOCATE
		RECPC	RECEPTACLE
		REF	REFRIGERATOR
		REQ	REQUIRED
		RUA	RATED LOAD AMPS
		RMS	ROOT MEAN SQUARE
		SE	SERVICE ENTRANCE
		SPD	SURGE PROTECTION DEVICE
		SPEC	SPECIFICATION
		SPK	SPEAKER
		SS	SELECTOR SWITCH
		SW	SWITCH
		SWBD	SWITCHBOARD
		SWGR	SWITCHGEAR
		TTB	TELEPHONE TERMINAL BOARD
		TBC	TELEPHONE TERMINAL CABINET
		TV	TELEVISION
		TYP	Typical
		UG	UNDERGROUND
		UNO	UNLESS NOTED OTHERWISE
		UPS	UNINTERRUPTIBLE POWER SUPPLY
		NFS	NON-FUSED SWITCH
		V	VOLT (KV-KILOVOLT)
		V/A/R	VOLT-AMPS/REACTIVE
		W	WATTS
		W/	WITH
		WASH	WASHER
		WATHOUR	WATHOUR
		W/O	WITHOUT
		WP	WEATHER PROOF
		XFM	TRANSFORMER
		XFM-SW	TRANSFORMER SWITCH
		XP	EXPLOSION PROOF

NOTE: THIS IS A TYPICAL ABBREVIATION LIST. NOT ALL ABBREVIATIONS MAY BE USED ON THIS PROJECT.

DESIGN CONTACTS	
ELECTRICAL ENGINEER:	RYAN BEAGLES
ELECTRICAL TEAM LEAD:	CALVIN BARLOW
ELECTRICAL DESIGNER:	FABIANA RUIZ
SHEET INDEX	
SHEET NUMBER	SHEET TITLE
E0.1	ELECTRICAL COVER SHEET
E0.2	PHOTOMETRIC PLAN
E0.3	ELECTRICAL SITE DETAILS

REVISIONS:

2/19/25  
  
 STATE OF UTAH  
 RUSTIC STATE SEAL  
 1896  
 RUSTIC STATE SEAL  
 STATE OF UTAH  
 1896

DRAWING TITLE:  
**ELECTRICAL COVER SHEET**  
 DRAWN BY: **FR** CHECKED BY: **RB**  
 DATE PLOTTED: **02/19/2025**  
 PROJECT #: **J25046.00**

## **ELECTRICAL KEYED NOTES:**

ILLUMINATION INDICATED IN FOOTCANDLES.

## statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.2 fc	11.8 fc	0.0 fc	N/A	N/A

**ROYAL**  
**ENGINEERING**

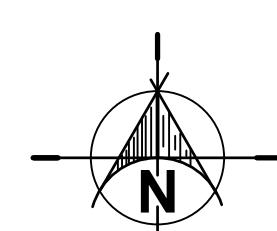
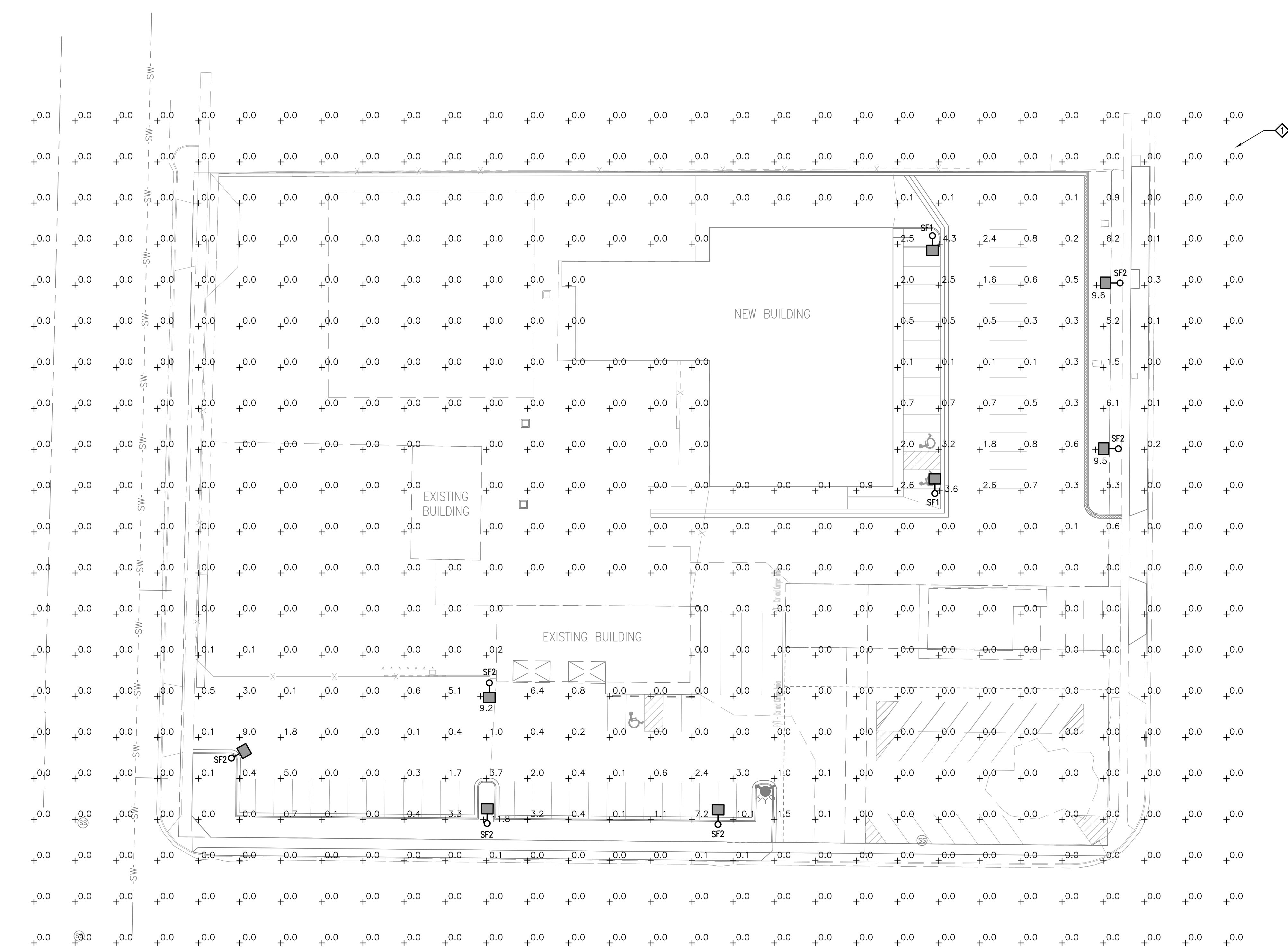
ELECTRICAL  
1837 S. EAST BAY BLVD.  
PHONE: 801.375.2228

MECHANICAL  
PROVO, UTAH 84606  
FAX: 801.375.2677

A circular stamp with a rope-like border. Inside, the text "1136199" is at the top, followed by "MARYAN BEAGLES" in large letters, and "2/19/25" at the bottom. The outer edge contains the words "REGISTERED" on the left and "ENGINEER" on the right, separated by a vertical line. There are five-pointed star symbols on the left and right sides of the outer edge.

# MALONE POLARIS

900 S MAIN ST  
HEBER CITY, UTAH



## PHOTOMETRIC PLAN

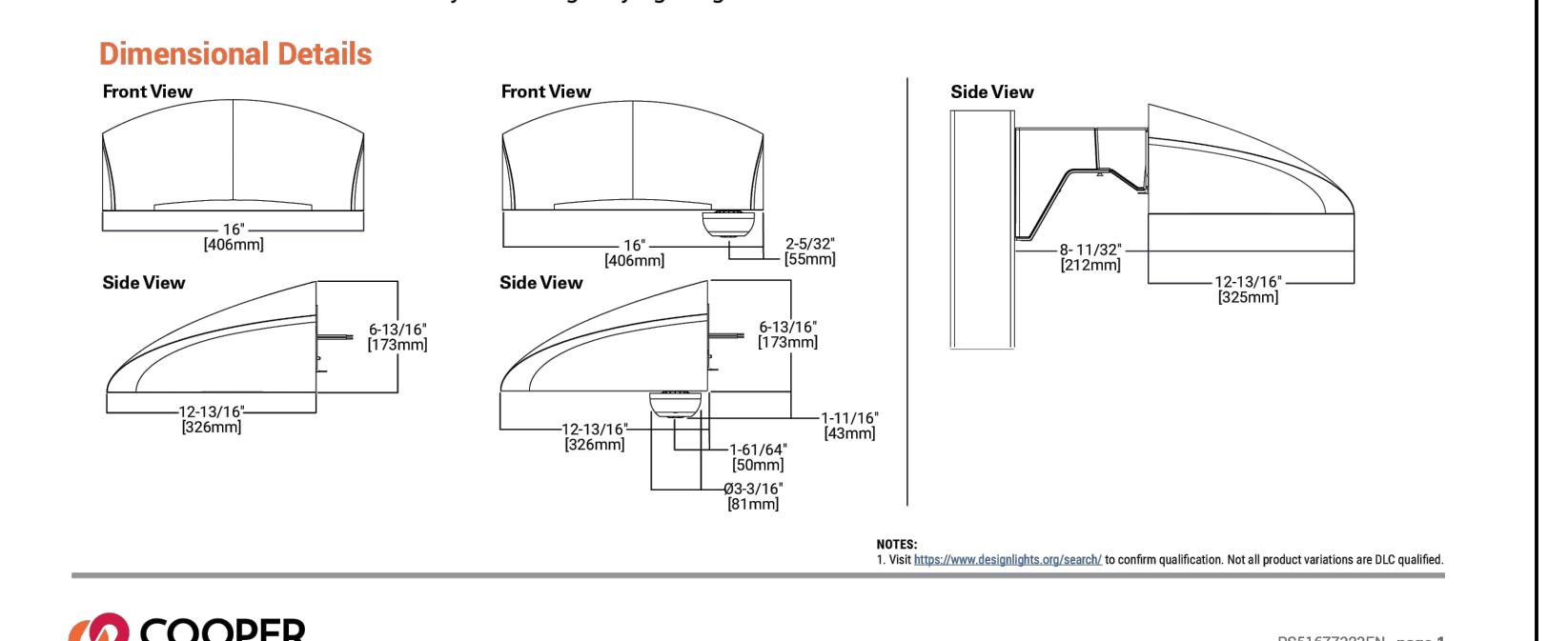
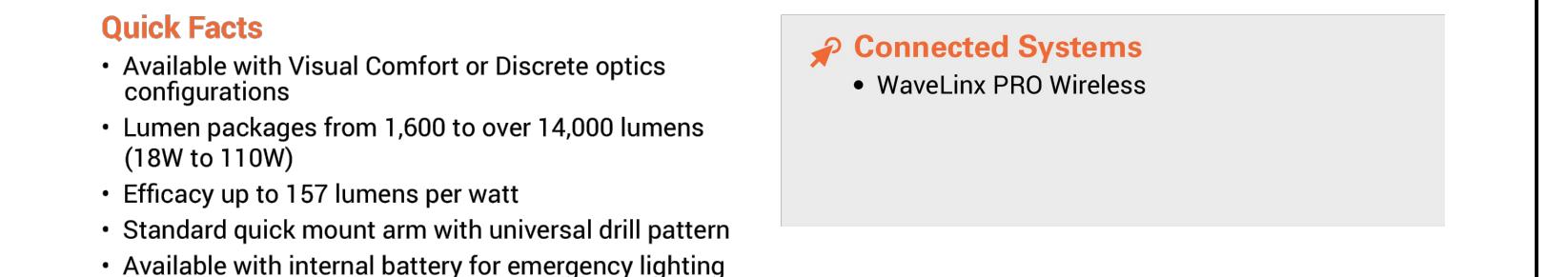
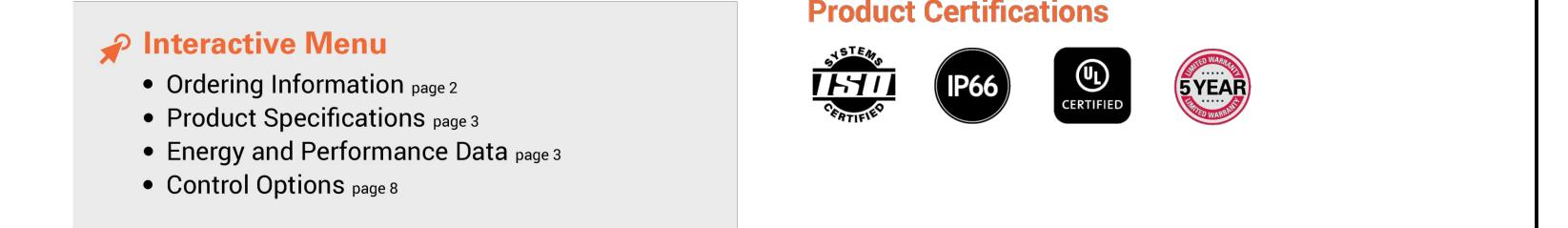
SCALE: 1" = 30'-0"

DRAWING TITLE:	
<b>PHOTOMETRIC PLAN</b>	
DRAWN BY:	CHECKED BY:
FR	RB
DATE PLOTTED:	
02/19/2025	
PROJECT #:	
J25046.00	

**SITE LIGHTING FIXTURE SCHEDULE**

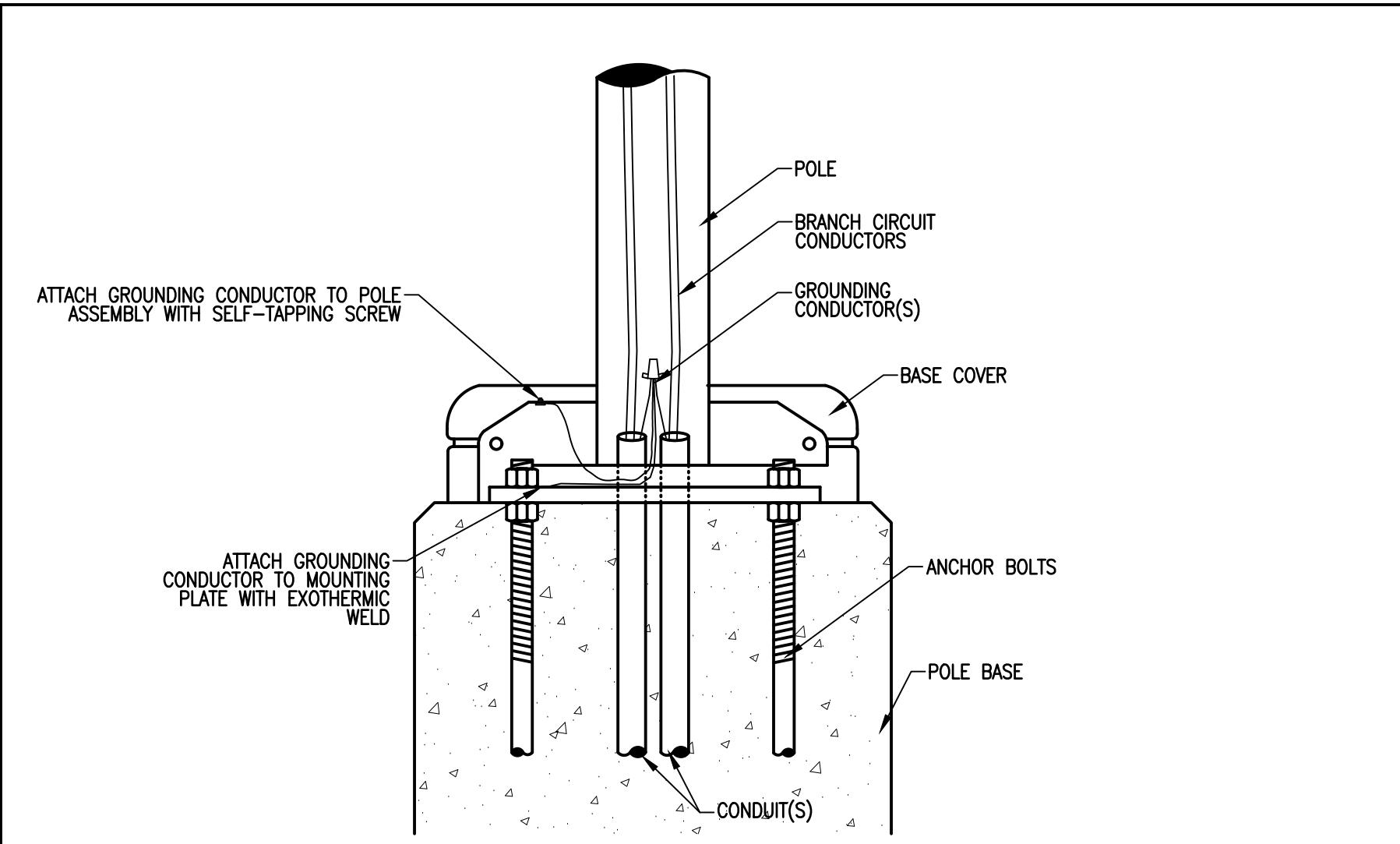
Fixture Number	Fixture Manufacturer	Fixture Catalog #	Fixture				Pole Manufacturer	Height	Catalog #	Remarks	
			Type	Volts	Watts	Mounting					
SF1	COOPER LIGHTING	CCP-SA-2E-730-U-T4W-HSS	LED 3000 KELVIN 8981 LUMEN 70 CRI	277	111	POLE	1	LITHONIA GARDCO MCGRAN CMT UNITED LSI	16'-0"	SSS 16 4C SSS-16-4-11 SSS-4A16-SFXXX SSS-16-40-1-SCBA ZA16-4-0-HS-PC-BC RPSQ-16-4-11 4SQBX-S11G-16-X-4BC	2'-6" BASE UPLIGHT RATING OF 0 AND 3000 KELVIN FOR DARK SKY COMPLIANCE
SF2	COOPER LIGHTING	CCP-SA-2E-730-U-AFL-HSS	LED 3000 KELVIN 10324 LUMENS 70 CRI	277	111	POLE	1	LITHONIA GARDCO MCGRAN CMT UNITED LSI	16'-0"	SSS 16 4C SSS-16-4-11 SSS-4A16-SFXXX SSS-16-40-1-SCBA ZA16-4-0-HS-PC-BC RPSQ-16-4-11 4SQBX-S11G-16-X-4BC	2'-6" BASE UPLIGHT RATING OF 0 AND 3000 KELVIN FOR DARK SKY COMPLIANCE

Project	Catalog #	Type	SF1, SF2
Prepared by	Notes	Date	

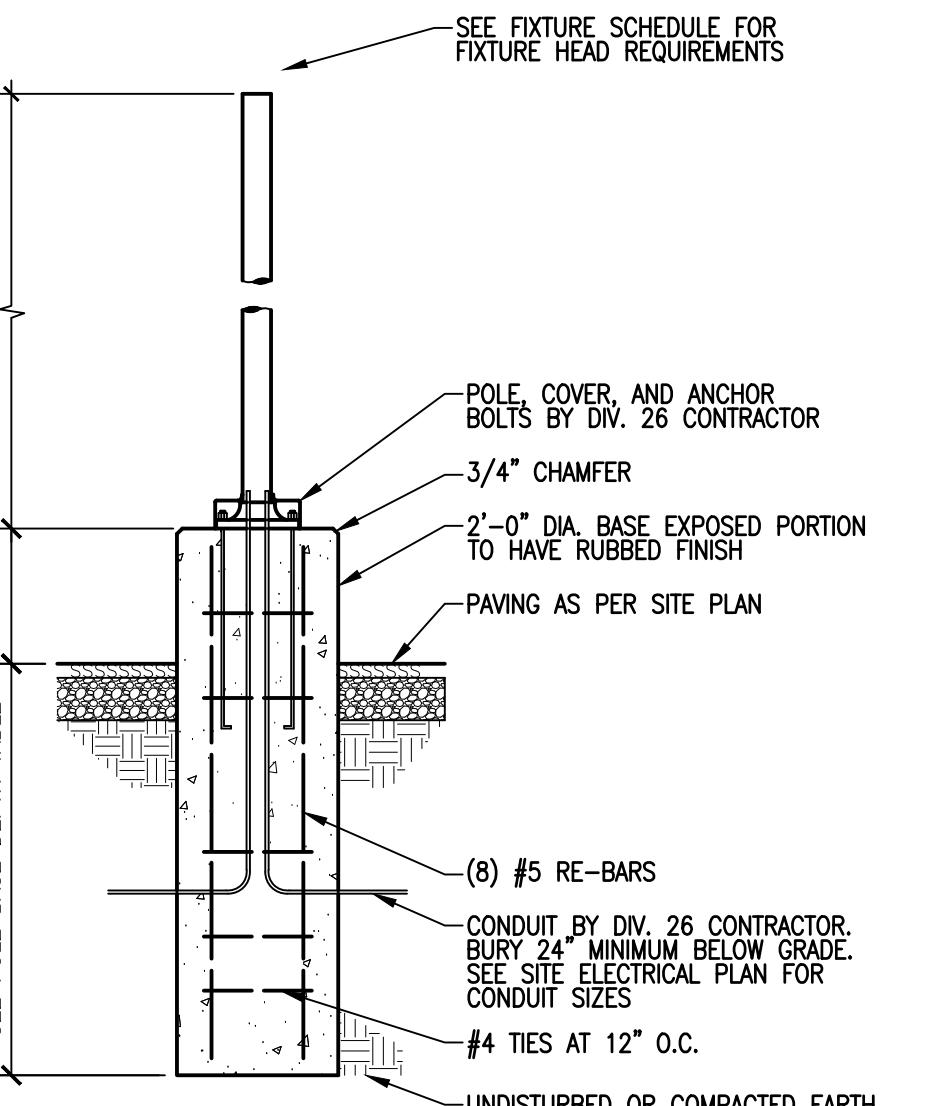


**COOPER**  
Lighting Solutions

PSI167323EN page 1  
April 26, 2024 8:46 AM



**1** POLE LIGHT GROUNDING DETAIL  
SCALE: NTS



**2** POLE BASE DETAIL  
SCALE: NTS



February 21, 2025

Heber City  
Planning Department

**Sensitive Lands Analysis**

*This item does not apply to this expansion/redevelopment application.*

Thank you for the opportunity to submit this application. We look forward to working with you on this development.

Cal Johnson  
Legend Engineering  
[cal@legendengineering.com](mailto:cal@legendengineering.com)  
(435) 654-4828



## **SECTION 103 – BUILDING SETBACK:**

Project Type A: Buildings shall be set back a minimum of twenty feet (20') and a maximum of forty feet (40') from any public right of way. Sites that utilize a wall sign or blade projecting sign on the wall as the primary sign may have a 10 foot minimum setback from the public right of way upon approval from the Planning Department. (*See illustration detail C2B-1 & C2B-2*)

Project Type B: Buildings shall be set back a minimum of twenty feet (20') and a maximum of one hundred feet (100') from the public right of way, with the following exceptions:

1. Buildings on Hwy 40, south of 1200 South, shall be setback a minimum of 30' with no maximum setback.

General:

1. Buildings without any street frontage shall be exempt from the minimum and maximum setbacks when:
  - a. The parcel doesn't have any street frontage, but does have access, or;
  - b. The building is on the same parcel as buildings that are located adjacent to the street and meet the minimum and maximum setbacks.
2. Commercial Subdivisions with private streets are exempt from the maximum setback as measured from private streets, but shall meet the required minimum setback from public streets.
3. Where a setback conflicts with Section 18.68.172 or a Highway Access Management Agreement, the larger setback shall apply.

## **SECTION 107 – PARKING INFRASTRUCTURE:**

**General Parking:** The minimum number of parking spaces shall meet the requirements set forth in

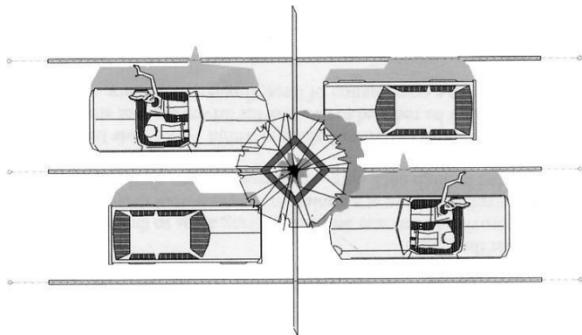
Section 18.72 of the City's Zoning Ordinance, or as determined by the Planning Commission upon analysis of a parking study submitted by the petitioner for shared parking for the overall site. Property owners desiring to apply time alternating shared parking shall petition Heber City with "time use studies" showing the viability of such an option. Heber City shall be open to viable options.

**Location:** For buildings along Main Street, all off street parking shall be located to the rear or side of the building. In the case of corner lots, all parking shall have side street access to the parking areas. This side street access shall be established in order to accommodate future growth of the area and allow rear parking from side access points. *This standard shall be coordinated with Heber City Planning and the Heber City Engineering department for appropriate short and long range Heber City parking strategies and goals.* Parking lots shall be located on the site in a convenient location for patron access to the building. All circulation drives shall be clearly defined and marked appropriately with arrows and the like to assist public circulation into, on and out of the property and through parking lot areas. See Heber City engineering parking standards.

**Parking Lot Landscaping:** For every third parking aisle, one (1) raised four (4) foot wide

landscaped parking island with trees, bounded with high back curb shall be provided, thereby creating separated parking areas to aid in safe and orderly use of the lot and confine vehicular movement to marked drives. Raised or curved circulation islands shall be constructed at the ends of the rows of parking spaces or at other locations where circulation drives intersect. All parking lots with back to back parking areas shall provide a landscaped parking diamond with a tree for every ten (10) parking spaces. (*See illustration detail parking diamond*)

Parking lots shall be bounded with a high back curb unless otherwise approved by the planning commission.



## **SECTION 108 – SITE FURNISHINGS:**

**Site Furnishings:** Each development shall incorporate site furnishings into the site such as a patio/seating area, pedestrian plaza with benches, window-shopping walkway, play areas, kiosk area, water feature, clock tower, sculpture, bike racks, public art, etc. One site furnishing element shall be required per lot frontage or every 50 feet of frontage, whichever is greater. Site furnishings shall be reviewed by the Planning Commission and approved by the Planning Department prior to installation.

## **SECTION 113-SETBACK AND PARKING LOCATION EXCEPTION**

Any main building which exceeds 12,000 square feet, and which is located between two existing buildings which are (a) both located on the same side of the street, (b) both located within 300 feet of that main building, (c) both situated in excess of the maximum 40 foot street setback, and (d) situated with parking in front of the main building; may be permitted a setback and parking location exceptions by the Planning Commission as follows:

1. The maximum street setback of such main building may be increased to 100 feet from the street property line; and
2. Parking to include up to one driveway with an aisle of parking on each side of the driveway. All said described parking locations may be situated in front of the building.

## **18.28.050 Additional Regulations**

The following provisions apply within the Commercial Zones

- A. For buildings within the C-2 and C-4 zone, a strip of land at least fifteen feet in width adjacent to all public streets shall be landscaped as set forth in Chapter 18.76 of this title except for permitted driveways, except as required by the Heber City C-2 and C-4 Zone Design Standards and Guidelines.
- B. No dust, odors, smoke, vibration or intermittent light, glare or noise shall be emitted which is discernible beyond the premises except for normal traffic movement.
- C. Storage of all merchandise, material and products shall be carried on within a building or within an area enclosed with a sight-obscuring fence or wall except for licensed vehicles in running order.
- D. All off-street parking shall be hard-surfaced as regulated by Chapter 18.72, except within the C-3 zone where some parking requirements have been reduced.
- E. All buildings located adjacent to major streets shall have at least one entrance way facing onto said street.
- F. Sale material may be displayed on business premises during normal working hours.
- G. See 18.76.050 for building setbacks adjacent to residential use.

### **HISTORY**

Adopted by Ord. [199](#) §02.0912.04 on 11/6/1973

Amended by Ord. [2005-05](#) on 6/16/2005

Amended by Ord. [2006-29](#) on 11/16/2006

Amended by Ord. [2022-26](#) on 10/4/2022

Adopted by Ord. [2024-02](#) on 3/19/2024



# Planning Commission Staff Report

**MEETING DATE:** 5/13/2025  
**SUBJECT:** Plourde Annexation & MDA (Jacob Roberts)  
**RESPONSIBLE:** Jacob Roberts  
**DEPARTMENT:** Planning  
**STRATEGIC RELEVANCE:** Community Development

## SUMMARY

Kasey Plourde approached the City in March of 2024 to request annexation of parcel 07-7086 and associated MDA for the purpose of constructing an event venue that utilizes the views and natural beauty of the parcel while also preserving a majority of the 40.85 acre parcel as open space/trails. The City Council accepted the Annexation Petition on January 7th, 2025. Ms. Plourde is now seeking a recommendation from the Planning Commission before approaching the Council for a public hearing and final approval. The speculated date for this meeting is June 3rd 2025.

## RECOMMENDATION

Staff recommends a **positive recommendation** for the Plourde Annexation.

## BACKGROUND

The parcel in question is located on the north west of the city, adjacent to HWY 32. Ms. Plourde purchased the property with the intent to annex it into the city and develop an event venue that takes advantage of the unique terrain, while preserving the majority of the 40.85-acre parcel as open space.

Ms. Plourde has addressed many of the challenges associated with the property, including sewer and water service, fire suppression, access from Highway 32, parking, and zoning. The current proposal has received approval or conditional approval from all relevant city departments, the Jordanelle Special Service District (JSSD), and the Wasatch County Fire District.

## DISCUSSION

Staff recommends **approval** of the proposed annexation based on the following findings:

## General Plan

- The subject parcel is designated as **Mountain Preservation** in the General Plan. Allowed uses under this designation include various low-impact and recreational uses. Allowed uses include:

Mountain Preservation (MP)	Recreational uses using the preserved natural areas	1 unit per 20 acres transferred to mountain residential areas	Steep slopes over 30%, stream corridors, wetlands, areas providing separation between communities.
			Clustered housing with density transfers to the villages.

Notably, Ms. Plourde's current proposal includes the options for only two units of future residential development (one caretaker dwelling at the site of the event center and one subdivided parcel to the north, see attached *Heber Concept Submittal*), helping preserve the natural character of the area. The proposed annexation supports the intent of the Mountain Preservation designation while introducing a low-impact, community-oriented recreational use.

## **Staff Finding:**

The proposal is consistent with the General Plan designation and maintains the open space and preservation goals of the Mountain Preservation area.

## Zoning

Once annexed, the property will be zoned as Mountain Community Zone (MCZ). The following modifications will be made to the zone to accommodate the intended use:

1. Future building and site plans will be included in the annexation process and will be subject to approval by the City Council.
2. Street frontage landscaping will be required only on 20 feet of each side of the main access point, extending 10 feet back from the property line.
3. Event Centers will be added as a permitted use, as outlined in the Master Development Agreement (MDA).
4. Land will be dedicated, where necessary, to accommodate a trail consistent with the area's master planned trail network.
5. Provisions will be made for the allowance of a future construction of a caretaker dwelling at the site of the event center.
6. Provisions will be made for the a possible future subdivision to create one lot for a single family home on the north end of the existing parcel.

## Staff Finding

Staff finds that annexing the property under the MCZ appropriately accommodates the proposed use while minimizing impacts to surrounding areas. The requested modifications to landscaping, sidewalk

requirements, building design and use are considered **reasonable** given the site conditions, proposed trail dedication, and the nature of the facility.

## **City Engineer**

All conditions set forth by the City Engineer must be satisfied, as outlined below. The Engineer assigned to this application is Ross Hansen.

Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications. Additionally, all Master Planned infrastructure elements on or adjoining the subject property need to be designed and installed by applicant. All City Engineer requirements will need to be satisfied prior to any final development plans being approved. The following are site and infrastructure concerns known at this time that need to be addressed and finalized through the development process: (Please note that the following list is not to be considered all inclusive and additional concerns may arise as design plans are submitted for review.)

1. UDOT access permit needs to be obtained.
2. Compliance with all aspects of the Heber City Sensitive Lands Ordinance
3. Work with and comply with all public utilities' requirements.

## **Jordanelle Special Service District**

Ms. Plourde intends to connect to sewer and water through JSSD.

## **Wasatch Fire District**

Ms. Plourde has coordinated with the Fire Department to reach an agreed-upon solution, which involves extending a water line beneath Highway 32 to install a hydrant that meets the department's requirements.

## **Noticing Requirements**

This item is not a public hearing, so it was noticed with the rest of the Planning Commission Agenda

## **FISCAL IMPACT**

N/A

## **CONCLUSION**

Ms. Plourde has submitted a well-considered annexation proposal for parcel 07-7086, aiming to develop an event venue that complements the property's natural landscape while preserving the majority of the 40.85-acre site as open space and trails. The City Council formally accepted the annexation petition on January 7, 2025, and the proposal is now before the Planning Commission for a recommendation.

Staff finds that the proposed annexation is consistent with the General Plan designation of Mountain Preservation / Neighborhoods with Open Space, supports low-impact community use, and avoids residential development. The proposed zoning of Institutional and Public Facilities (IPFZ) is appropriate for the intended use, and the requested exceptions to sidewalk and landscaping standards are reasonable, given the site's rural character and the applicant's commitment to trail dedication and targeted landscaping.

Ms. Plourde has coordinated extensively with city staff, the Jordanelle Special Service District, and the Wasatch County Fire District to address infrastructure, access, utility, and fire suppression requirements. The application has received approval or conditional approval from all relevant departments.

Based on these findings, staff recommends a **positive recommendation** from the Planning Commission to the City Council for the annexation of the subject property.

## Staff Findings

### General Plan

- The subject parcel is designated as *Mountain Preservation / Neighborhoods with Open Space* in the General Plan.
- The proposed use is consistent with the intent of this designation, which allows for low-impact and recreational uses.
- The proposal does not include residential development, supporting the preservation of natural character and open space.

### Zoning

- Upon annexation, the property will be zoned *Mountain Community Zone (MCZ)*.
- The following zoning adjustments are proposed to accommodate the intended use:
  - Building and site plans will be included in the annexation process and subject to City Council approval.

- Street frontage landscaping will be required only on 20 feet on either side of the main access, extending 10 feet back from the property line.
- Event Centers will be added as a permitted use through the Master Development Agreement (MDA).
- Land will be dedicated as needed for a trail consistent with the City's master planned trail network.
- Provisions for a the possible future construction of a caretaker dwelling at the site of the event center.
- Provisions for the possibility of a subdivision of one lot on the north of the current property.

## **City Engineer**

- All conditions set forth by the City Engineer must be satisfied prior to approval of final development plans.
- Known requirements include:
  1. Acquisition of a UDOT access permit.
  2. Compliance with all provisions of the Heber City Sensitive Lands Ordinance.
  3. Coordination and compliance with all applicable public utility providers.

## **Jordanelle Special Service District (JSSD)**

- The applicant intends to connect to sewer and water services through JSSD.

## **Wasatch County Fire District**

- The applicant has coordinated with the Fire Department to satisfy fire suppression requirements by extending a water line beneath Highway 32 and installing a hydrant that meets all applicable standards.

## Noticing

- This item is not a public hearing; therefore, it was noticed as part of the regular Planning Commission agenda in accordance with standard procedure.

## Conditions

- All conditions of relevant departments shall be met.
- Building plans shall be included in the MDA and approved by Council

## ALTERNATIVES

### Staff Recommended Option - Approval

I move to **approve** The Plourde Annexation as presented, with the findings and conditions as presented in the conclusion above.

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## POTENTIAL MOTIONS

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## ACCOUNTABILITY

**Department:** Planning  
**Staff member:** Jacob Roberts, Planner

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## EXHIBITS

1. Plourde Annexation Petition
2. Zoning
3. General Plan
4. Annexation Policy Plan Map
5. Heber Concept Submittal
6. Plourde Annexation Planning Commission ( May 13 2025)

# **PETITION FOR ANNEXATION INTO HEBER CITY**

## **Annexation Name: Plourde Annexation**

We, the undersigned owners of certain real property lying contiguous to the present municipal limits of Heber City hereby submit this Petition for Annexation and respectfully represent the following:

1. This petition is made pursuant to the requirements of Section 10-2-403, Utah Code Annotated;
2. The property subject to this petition is an unincorporated area contiguous to the boundaries of Heber City and the annexation thereof will not leave or create an unincorporated island or peninsula;
3. The signatures affixed hereto are those of the owners of private real property that:
  - a. is located within the area proposed for annexation;
  - b. covers a majority of the private land area within the area proposed for annexation;
  - c. is equal in value to at least 1/3 of the value of all private real property within the area proposed for annexation; and
  - d. lies contiguous to the present boundary of Heber City's corporate limits, located at the approximate address: **6800 Ut-32, Heber City, UT 84032**
4. The petitioners have caused an accurate plat or map of the above-described property to be prepared by a licensed surveyor, which plat or map is filed herewith in Exhibit A;
5. Title to the property by those signing this petition is as shown in the deeds or title report attached hereto as Exhibit B.
6. The manner in which it was established that at least 1/3 of the value of all the private property sought to be annexed and at least a majority of the acreage is owned by the signers of this petition is shown in the attached Exhibit C (value and acreage spreadsheet) and Exhibit D (copies of all tax notices).
7. Land values and acreage within the annexation are as follows:

a. Total acreage within annexation:	40.85	
b. Total private property acreage within annexation:	40.85	
c. Petitioner's acreage within annexation:	40.85	100% % of Total Private Area
d. Total Assessed Land Value within annexation:	\$550,000	
e. Petitioner's Assessed Land Value within annexation	\$550,000	100% % of Total Value

8. This petition does not propose annexation of all or a part of an area proposed for annexation in a previously filed petition that has not been denied, rejected, or granted;
9. This petition does not propose annexation of all or a part of an area proposed to be incorporated in a request for a feasibility study under Section 10-2-103 U.C.A. or a petition under Section 10-2-125, U.C.A. if:
  - a. the request or petition was filed before the filing of the annexation petition, and
  - b. the request, a petition under Section 10-2-109 based on that request, or a petition under Section 10-2-125 is still pending on the date the annexation petition is filed;
10. The names and mailing addresses of all the owners of the parcels of land located within 300 feet of the area proposed to be annexed as shown in Exhibit E.
11. A vicinity map showing the City's current boundaries in relation to the proposed annexation in Exhibit F.
12. Per the Heber City Annexation Policy Plan, a Concept Plan is attached as Exhibit G. This Concept Plan is a very preliminary plan -- the petitioner is not strictly bound by it. However, it is the hope of the Heber City Council that the Concept Plan submitted is the primary intention of the developer at the time annexation is being requested.

## PETITION SIGNATURE PAGE 1

WHEREFORE, the Petitioners hereby request that this Petition be considered by the Heber City Council at its next regular meeting, or as soon thereafter as possible; that a resolution or motion be adopted or passed as required by law accepting this Petition for Annexation for further consideration; and that the governing body take such steps as required by law to complete the annexation herein petitioned.

Name of Annexation: Plourde Annexation

### Petitioner 1

Petitioner Name Kasey Plourde	Phone Number 435-901-3625
Mailing Address 4484 S Parkview Dr Millcreek, UT 84124	Email Address kasey@harvestmoonevents.com
Parcel Numbers 07-7086	
Signature 	Date 12/18/24

### NOTICE

There will be no public election on the annexation proposed by this petition because Utah law does not provide for an annexation to be approved by voters at a public election. If you sign this petition and later decide that you do not support the petition, you may withdraw your signature by submitting a signed, written withdrawal with the recorder or clerk of Heber City. If you choose to withdraw your signature, you shall do so no later than 30 days after Heber City receives notice that the petition has been certified.

## PETITION CONTACT SPONSOR

Designate at least one but not more than five of the signers of this petition as "Sponsors", one of whom must be designated as the Contact Sponsor. Any person signing in behalf of a corporation or LLC must show and provide verification that they are authorized to sign for said corporation or LLC and sign as designated on such authorization. Each signature of a Petition Sponsor must be notarized.

Petitioner Name Kasey Plourde	Phone Number 435-901-3625
Mailing Address 4484 S Parkview Dr Millcreek, UT 84124	Email Address kasey@harvestmoonevents.com
Parcel Numbers 07-7086	

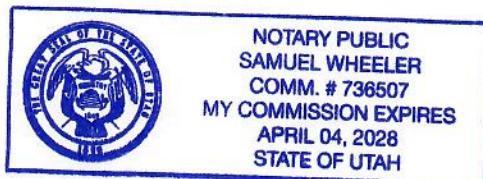
ENTITY:

By: Kasey Plourde  
Name/Title: Kasey Plourde

STATE OF Utah) : ss.  
COUNTY OF Salt Lake)

On this 18 day of December, 2024, personally appeared before me the above named:

who is personally known to me,  
 whose identity I verified on the basis of Drivers License  
 to be the signer of the foregoing document, and he/she acknowledged that he/she signed it.



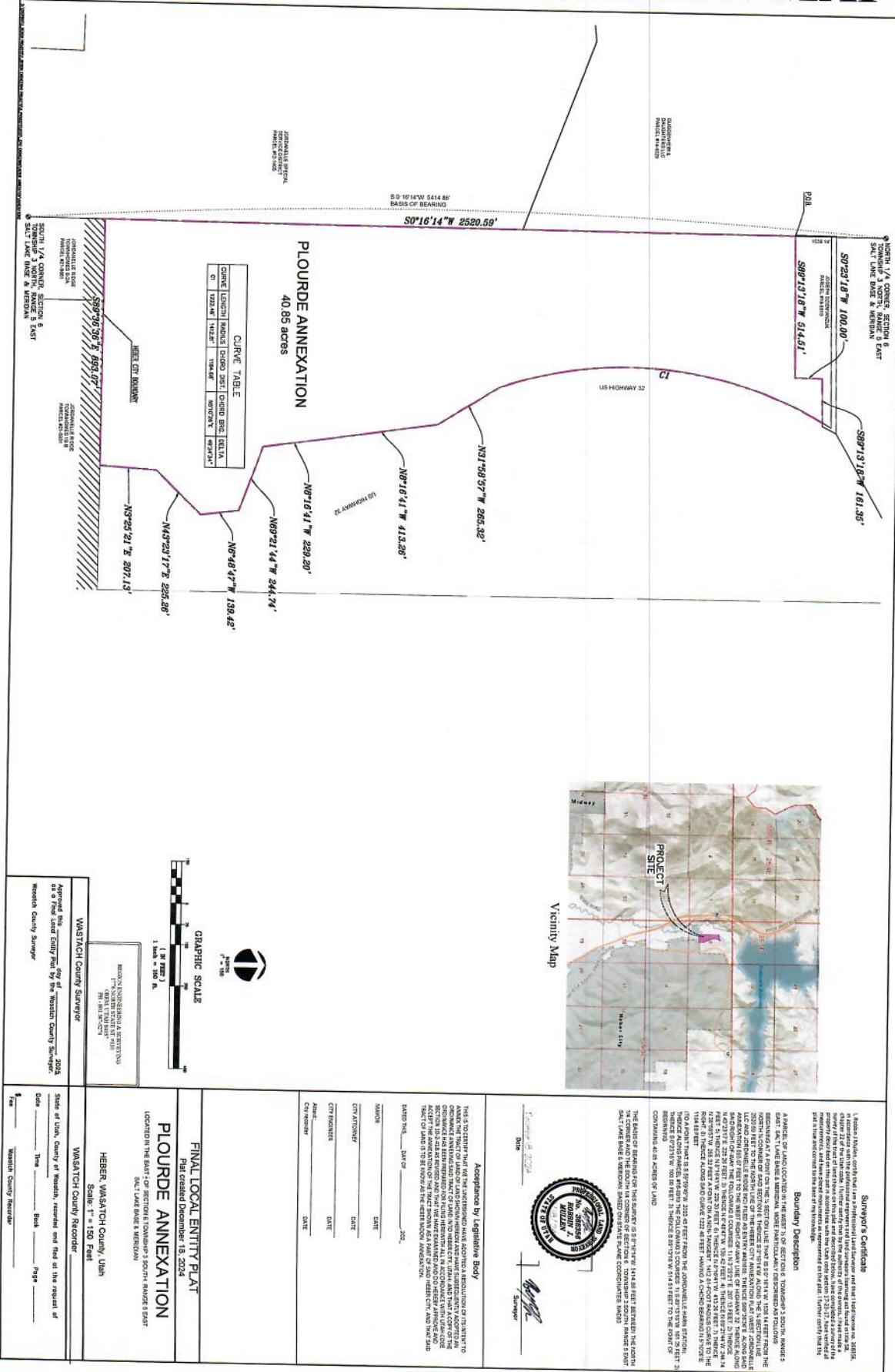
S  
NOTARY PUBLIC

My Commission Expires: April, 04 2028

### NOTICE

There will be no public election on the annexation proposed by this petition because Utah law does not provide for an annexation to be approved by voters at a public election. If you sign this petition and later decide that you do not support the petition, you may withdraw your signature by submitting a signed, written withdrawal with the recorder or clerk of Heber City. If you choose to withdraw your signature, you shall do so no later than 30 days after Heber City receives notice that the petition has been certified.

## **EXHIBIT A: ANNEXATION MAP**



# EXHIBIT B: PROPERTY DEEDS

Ent 547197 Bk 1480 Pg 713 - 717  
MARCY M. MURRAY, Recorder  
WASATCH COUNTY CORPORATION  
2024 Jul 02 12:27PM Fee: \$40.00 CO  
For: First American - Park City  
ELECTRONICALLY RECORDED

Recording Requested by:  
First American Title Insurance Company  
1755 Prospector Avenue, Suite 200  
Park City, UT 84060  
(435)655-6800

Mail Tax Notices to and  
AFTER RECORDING RETURN TO:  
Grantee  
4484 S Parkview Drive  
Millcreek, UT 84124

*SPACE ABOVE THIS LINE (3 1/2" X 5") FOR RECORDER'S USE*

## WARRANTY DEED

Escrow No. **041-6308020 (jb)**  
A.P.N.: **00-0007-7086**, Serial No. **OWC-0477-0-006-035**

**Lenora E Hansen formerly known as Lenora Siggard aka Lenora Emily Tullis, or her successor, as Trustee Under Agreement with The Lenora Siggard Trust dated the 9th day of November, 1993 and amended and restated the 29th day of August, 2017, Grantor, hereby CONVEY AND WARRANT to**

**Harvest Moon Events, LLC, a Utah limited liability company, Grantee, of Millcreek, Salt Lake County, State of UT, for the sum of Ten Dollars and other good and valuable considerations the following described tract(s) of land in Wasatch County, State of Utah:**

**See exhibit "A" attached hereto.**

Subject to easements, restrictions and rights of way appearing of record and general property taxes for the year 2024 and thereafter.

Witness, the hand(s) of said Grantor(s), this **June 26, 2024**.

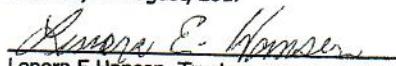
Ent 547197 Bk 1480Pg 714

A.P.N.: **00-0007-7086**, Serial  
No. OWC-0477-0-006-035

Warranty Deed - continued

File No.: **041-6308020 (jb)**

Lenora E Hansen formerly known as Lenora  
Siggard aka Lenora Emily Tullis, or Her  
Successor, as Trustee Under Agreement with  
The Lenora Siggard Trust dated the 9th day of  
November, 1993 and amended and restated the  
29th day of August, 2017

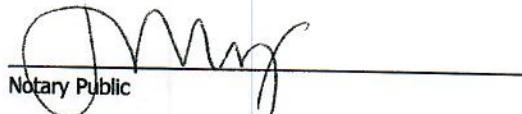
  
Lenora E Hansen, Trustee

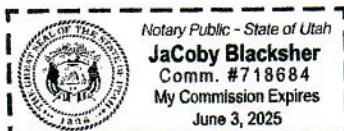
STATE OF Utah)  
County of Utah)ss.

On June 3, 2024, before me, the undersigned Notary Public, personally  
appeared Lenora E Hansen formerly known as Lenora Siggard aka Lenora Emily Tullis, or her successor,  
as Trustee under Agreement with the Lenora Siggard Trust dated the 9th day of November, 1993 and  
amended and restated the 29th day of August, 2017., personally known to me (or proved to me on the  
basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and  
acknowledged to me that she executed the same in her authorized capacity and that her signature on the  
Instrument the person or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

My Commission Expires: 06/03/2025

  
Notary Public



**EXHIBIT 'A'**

 File No.: **041-6308020 (jb)**

 Property: **Vacant Land, , UT**

**That portion of land located in the Northwest Quarter of the Southeast Quarter, and in the Southwest Quarter of the Northeast Quarter of Section 6, Township 3 South, Range 5 East, Salt Lake Base and Meridian, in Wasatch County, Utah, lying West of the West right of way line of Wasatch County Route A described as follows:**

**Beginning at a point on the centerline of Wasatch County Route A shown as Engineer's Station PTS 96+54.847 on right of way plans on file in Wasatch County Surveyor's Office, said point also being 1333.625 feet North and 1600.9500 feet West from found brass cap county monument (1974) accepted as the Southeast corner of Section 6, Township 3 South, Range 5 East, Salt Lake Base and Meridian; thence North 77°02'51" West 200.00 feet to a point on the proposed West right of way line of said Wasatch County Route A; thence along said proposed West right of way line North 03°25'21" East 20.961 feet to a point on the Southerly line of the grantor's land described in the Warranty Deed from Nick Kiahtipes and Anita Kiahtipes to Richard Siggard and Verna K. Siggard recorded as Instrument Number 125857 on May 19, 1982 in Book 147, Page 237, Official Records of Wasatch County, said point also being on the Northerly line of the land described in the Warranty Deed from Shell Western E & P, Inc. to James Levoy Sorenson recorded as Instrument Number 137983 on March 14, 1986 in Book 179, Page 262, Official Records of Wasatch County, said point being the true Point of Beginning of this description;**

**thence along the West right of way line of said Wasatch County Route A as described in Warranty Deed recorded as Entry No. 148812, Book 208, Pages 447 to 452 on May 10, 1989 from Richard Siggard to Wasatch County, the following courses:**

**North 03°25'21" East 206.842 feet to a point which is distant radially from the centerline of said Wasatch County Route A North 83°17'50" West 230.00 feet from a point on said centerline shown as Engineer's Station PSC 99+04.847 on said right of way plans;**

**thence North 43°23'17" East 225.260 feet to a point which is distant radially from the centerline of said Wasatch County Route A South 86°56'24" West 80.00 feet from a point on said centerline shown as Engineer's Station 101+00 on said right of way plans;**

**thence North 06°48'47" West 139.420 feet to a point which is distant radially from the centerline of said Wasatch County Route A South 79°26'11" West 80.00 feet from a point on said centerline shown as Engineer's Station 102+50 on said right of way plans;**

**thence North 69°21'44" West 244.735 feet to a point which is distant radially from the centerline of said Wasatch County Route A South 71°00'41" West 280.00 feet from a point on said centerline shown as Engineer's Station PCS 104+18.416 on said right of way plans;**

**thence North 08°16'41" West 229.199 feet to a point which is distant at right angles from the centerline of said Wasatch County Route A South 64°45'40" West 220.56 feet from a point on said centerline shown as Engineer's Station PST 106+68.416 on said right of way plans;**

**thence North 08°16'41" West 413.260 to a point which is distant at right angles from the**

centerline of said Said Wasatch County Route A South  $64^{\circ}45'40''$  West 100.00 feet from a point on said centerline shown as Engineer's Station PTS 110+63.702 on said right of way plans;

thence North  $31^{\circ}58'57''$  West 265.320 feet to a point which is distant radially from the centerline of said Wasatch County Route A South  $70^{\circ}23'09''$  West 140.00 feet from a point on said centerline shown as Engineer's Station PSC 113+13.702 on said right of way plans, said point also being the beginning of a non-tangent curve concave to the East and having a radius of 1412.811, a radial line to said last mentioned point bears South  $70^{\circ}23'09''$  West;

thence Northerly along said curve an arc length of 880.572 feet to a point which is distant radially from the centerline of said Wasatch County Route A North  $73^{\circ}54'11''$  West 140.00 feet from a point on said centerline shown as Engineer's Station 121+06.981 on said right of way plans, a radial line to said point bears North  $73^{\circ}54'11''$  West.

thence continuing along said curve and arc length of 379.208 feet to a point on the Northerly line of the grantor's land described in the Warranty Deed from Nick Kiahitpes and Anita Kiahitpes to Richard Siggard and Verna K. Siggard recorded as Instrument Number 125857 on May 19, 1982 in Book 147, Page 237, Official Records of Wasatch County, said point also being on the Southerly line of the land described in the Quit Claim Deed from Kent Holt Company, Inc. to Kenneth O. Holt and Verdell T. Holt recorded as Instrument Number 129191 on May 4, 1983 in Book 155, Page 787, Official Records of Wasatch County.

thence leaving said West right of way line and running parallel with the North line of the Southwest Quarter of the Northeast Quarter of Section 6, Township 3 South, Range 5 East, Salt Lake Base and Meridian, (property line is offset 66 feet Southerly from said North line as recorded in a Real Estate Contract as Entry No. 158586, Book 236, Page 594 to 595, December 16, 1991) South  $89^{\circ}15'32''$  West a distance of 695.825 feet to a point of intersection on the West line of the Southwest Quarter of the Northeast Quarter of said Section 6, said point being South  $00^{\circ}15'21''$  West a distance of 66.01 feet to the Northwest corner of the Southwest Quarter of the Northeast Quarter of said Section 6.

thence along the West line of the Southwest Quarter of the Northeast Quarter of said Section 6, South  $00^{\circ}15'21''$  West a distance of 1293.108 feet to the Southwest corner of the Southwest Quarter of the Northeast Quarter of said Section 6.

thence along the West line of the Northwest Quarter of the Southeast Quarter of Section 6, Township 3 South, Range 5 East, Salt Lake Base and Meridian, South  $00^{\circ}15'21''$  West a distance of 1358.857 feet to the Southwest corner of the Northwest Quarter of the Southeast Quarter of said Section 6.

thence along the South line of the Northwest Quarter of the Southeast Quarter of said Section 6, South  $89^{\circ}34'19''$  East a distance of 893.256 feet to the true Point of Beginning of this description.

**The basis of bearings used for this description are Wasatch County Route A project bearings.**

Excepting therefrom the following:

**Beginning at a point South  $00^{\circ}23'18''$  West 1386.20 feet and North  $89^{\circ}13'18''$  East 717.851 feet from the North Quarter corner of Section 6, Township 3 South, Range 5 East, Salt Lake Base and Meridian; said point also being South  $59^{\circ}59'45''$  West 2093.451 feet from the Jordanelle Harn point set by the U.S. Geological Survey having central Utah State Plane Coordinates (NAD83): Y-2251015.021 meters; X-507179.900 meters and running thence;**

Ent 547197 Bk 1480 Pg 717

**South 26°45'22" West 56.375 feet along the Northwesterly right of way of State Route 32, thence South 89°13'18" West 175.142 feet; thence South 00°23'18" West 100.00 feet; thence South 89°13'18" West 517.666 feet to the Quarter Section line of Said Section 6, thence North 00°23'18" East 150.00 feet along said Quarter Section line, thence North 89°13'18" East 717.851 feet to the Point of Beginning.**

**A.P.N. 00-0007-7086, Serial No. OWC-0477-0-006-035**



## **EXHIBIT C: VALUE & ACREAGE**

## Property Value & Acreage Within Annexation Area

# EXHIBIT D: PROPERTY TAX NOTICES & RECENT APPRAISAL JUSTIFYING LAND VALUE ABOVE

**WASATCH COUNTY BETTER BY NATURE**

**Wasatch County Treasurer**  
25 North Main Heber City, Utah 84032  
Office Hours Are 8:00 A.M. To 5:00 P.M.  
Closed November 11, 28 & 29 2024  
Telephone (435) 657-3217  
**PAYMENT DUE UPON RECEIPT**  
**PENALTY ADDED AFTER Dec 2, 2024**

**2024 Tax Notice**

**Parcel Number** 00-0007-7086  
**Back Taxes** - Separate Check Required  
**NO BACK TAXES OUTSTANDING**

**Tax District** 012 - COUNTY OUTSIDE DISTRICT  
**Mortgage Company** NO REQUESTING COMPANY

**Partial Property Description**  
RECOMMENDED IN 1333.625FT E/W 1600.00FT FROM SE1/4  
SECTION 6 T 35 R 5 E SLOP N 77 DEG 02'51" W 200FT, NO

Property Type	Acres/Count	Market Value	Taxable Value	Tax Amount
LOT UNIMPROVED	37.16	371,600	371,600	3,151.54
<b>Total Property Value &amp; Taxes</b>	<b>37.16</b>	<b>371,600</b>	<b>371,600</b>	<b>3,151.54</b>

\* Values are a detailed listing of greenbelt classifications. This listing is provided for informational purposes only.

**THIS OFFICE WILL NOT BE RESPONSIBLE IF YOU PAY ON PROPERTY OTHER THAN YOUR OWN.**

**TAXES HEREIN ENUMERATED FOR THE CURRENT YEAR ARE DUE AND PAYABLE IN OUR OFFICE. LAST NOTICE REQUIRED BY LAW.**

Taxing Unit/Entities - Budget Hearing Date, Time & Location	Tax Rate	Tax Amount
10 COUNTY GENERAL FUND 11 COUNTY ROAD & BRIDGE 12 COUNTY BONDS 13 STATE COUNTY A&G 14 STATE COUNTY A&G 15 BASIC PROPERTY TAX 20 WASATCH CO SCHOOL DIST 17 STATE DIST BOND 23 HEALTH 24 PROPERTY TAX LEVY 30 WASATCH COUNTY FIRE DISTRICT 32 PARK & REC GENERAL 72 LIBRARY 90 CENTRAL UT WATER CONSERVANCY	0.000047 0.000010 0.000010 0.000015 0.001408 0.000001 0.000022 0.000001 0.000013 0.000015 0.000015 0.000040	351.91 40.88 7.19 5.57 523.21 1,769.72 63.61 19.65 11.52 153.47 57.23 42.73 145.64
	<b>0.008481</b>	<b>3,151.54</b>

**Prepayments** **0.00** **Abatements** **0.00** **Total Tax Due** **3,151.54**

**PAY ONLINE AT** [www.wasatchcounty.gov](http://www.wasatchcounty.gov)

**Payments Are Due Before December 2nd**  
**Postmark Accepted**

**FACTS ON BACK OF THIS NOTICE**

**KEEP ABOVE PORTION FOR YOUR RECORDS. DETACH ENTIRE BOTTOM PORTION AND RETURN WITH PAYMENT. BRING COMPLETE NOTICE WHEN PAYING IN PERSON.**

*paid online 11/14/24 - business checking EFT*

<b>TOTAL DUE PENALTIES APPLY AFTER DECEMBER 2, 2024</b>	<b>3,151.54</b>
Make checks payable to: WASATCH COUNTY TREASURER 25 North Main Heber City, Utah 84032	
Cash mailed at taxpayer risk. Your cancelled check is your receipt. To ensure proper credit, please write the parcel number(s) on your check. Refunds will be issued upon request after January 31, 2025.	
2024 THIS STUB MUST ACCOMPANY PAYMENT	
00-0007-7086	

**PARCEL: 00-0007-7086**

GO TO WASATCHCOUNTY.GOV OR SCAN THE QR CODE  
TO MAKE A PAYMENT, CHANGE MAILING  
ADDRESS, OR REQUEST PREPAYMENT COUPON  
BOOKLET FOR 2025. THE COUPONS WILL BE  
MAILED IN FEBRUARY 2025.



PROPERTY TAX FACTS																							
<b>PARCEL NUMBER:</b> This is your identifying number used to process your tax payment and is in the format of ##-####-####. Reference it on all correspondence and payments.																							
<b>Mortgage payments:</b> On the front of this notice, top right corner under "Mortgage Company" if you see "NO REQUESTING COMPANY" the payment has not been requested and is the owner's responsibility.																							
If you see "NOTIFIED" the payment SHOULD be made in your behalf by the escrow fund in your mortgage. It is not GUARANTEED. If you have doubts contact your mortgage company.																							
<b>All personal payments are to:</b> Wasatch County Treasurer 25 N. Main St. Heber City, UT 84032-1827																							
<b>On-line payments:</b> A third-party processor, Secure Instant Payments, which can be accessed through the Wasatch County Website, handles this: <a href="http://www.wasatchcounty.gov">www.wasatchcounty.gov</a> Debit or credit cards will have the greater of 2.5% or \$2.50 minimum added to the amount paid to cover processing fees. E-Checks (requiring your bank routing number and account number) will have a .49 cent fee added to the amount paid. Discrepancies should be addressed with Instant Payment first at 1-800-764-0844. <b>PAYMENTS after 5:00pm are applied to the next business day!</b>																							
<b>Mailed payments:</b> Checks ONLY, personal, business, or certified funds are all accepted. Certified funds guarantees your payment. <b>CASH mailed is at the tax payer's risk!</b> To ensure proper credit, PLEASE write your parcel number(s) on your check or provide a list.																							
<b>In office payments – Full or Partial:</b> Office hours are from 8:00a.m. To 5:00p.m. Mon. – Fri.																							
<b>Payments by phone:</b> 435-657-5859																							
<b>Tax Prepayments:</b> Prepayments are accepted at any time; always note your parcel number (##-##-##) as your account number. Auto-Draft prepayments can be set up through our website Or scan QR code on the front.																							
<b>Pursuant to Utah Code 59-2-1317(7)</b> You have the right to direct allocation of a partial payment between the amounts due for [total] property tax, assessments, delinquent local district fees, and any other amount due on this notice. <b>The form is available at the Treasurer's Office, signature required.</b>																							
This property may be subject to a detailed review in the next year under section 59-2-303.1																							
<b>Pursuant to Utah Code 11-42-401</b> <small>Information concerning the location and description of the property, or economic activities provided by this local entity will be listed separately on the front of this notice under Property Type and Land Use/Activities.</small>																							
<b>Abatements:</b> <small>Abatements are available for veterans and fixed income. Applications are required to verify qualification, and applications are available through the Clerk's Office (435) 657-3100. Applications must be filed with the Clerk's Office prior to September 15<sup>th</sup> of the current tax year, and must be filed/renewed each year.</small>																							
<b>Penalties:</b> <small>UTC (59-2-1331) Delinquent taxes have a 2.5% penalty (\$10 minimum) added after all receipts paid or postmarked prior to the delinquency date are processed (Nov 30<sup>th</sup> or following Monday if it falls on a weekend). Again Postmarks are accepted, not the date on the check before the penalty is applied. Payments received in December and to January 31 of the following year will have a 1% penalty instead of the full penalty and NO interest. After January 31 unless it falls on a weekend, then the following Monday, the full penalty plus interest from January 1 are applied to the remaining balance.</small>																							
<b>Mailing Addresses:</b> <small>Address changes can be made at <a href="http://wasatchcounty.gov">wasatchcounty.gov</a> OR scan the QR Code on front.</small> <b>CAUTION:</b> Forwarding mail to a new change of address be it permanent or temporary will not guarantee that the County Notices will be forwarded to the new address. It is best to update the new mail address with the Treasurer's Office. Temporary changes are not advised.																							
<a href="http://www.wasatchcounty.gov/property-tax-breakdown-charts">www.wasatchcounty.gov/property-tax-breakdown-charts</a>																							
<table border="1"> <caption>2024 Property Taxes</caption> <thead> <tr> <th>Category</th> <th>Total</th> <th>Percentage</th> </tr> </thead> <tbody> <tr> <td>Residential</td> <td>\$ 1,200,000</td> <td>30.00%</td> </tr> <tr> <td>Commercial</td> <td>\$ 3,000,000</td> <td>7.50%</td> </tr> <tr> <td>Industrial</td> <td>\$ 1,000,000</td> <td>2.50%</td> </tr> <tr> <td>Agricultural</td> <td>\$ 1,000,000</td> <td>2.50%</td> </tr> <tr> <td>Other</td> <td>\$ 1,000,000</td> <td>2.50%</td> </tr> <tr> <td>Other than Residential</td> <td>\$ 3,600,000</td> <td>90.00%</td> </tr> </tbody> </table>			Category	Total	Percentage	Residential	\$ 1,200,000	30.00%	Commercial	\$ 3,000,000	7.50%	Industrial	\$ 1,000,000	2.50%	Agricultural	\$ 1,000,000	2.50%	Other	\$ 1,000,000	2.50%	Other than Residential	\$ 3,600,000	90.00%
Category	Total	Percentage																					
Residential	\$ 1,200,000	30.00%																					
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Other	\$ 1,000,000	2.50%																					
Other than Residential	\$ 3,600,000	90.00%																					

Resort Appraisal Service - (435) 513-4638  
**LAND APPRAISAL REPORT**

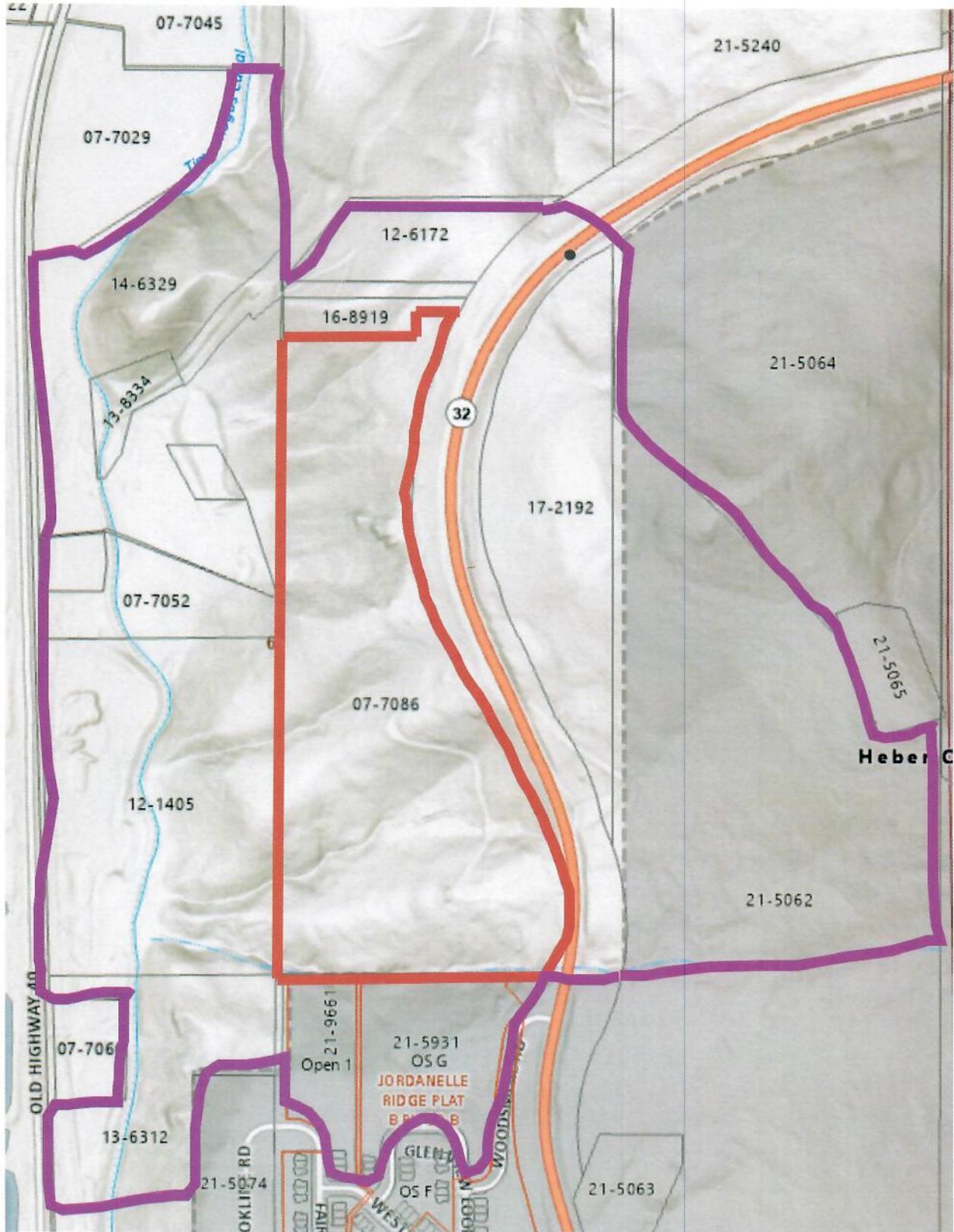
<b>SUBJECT</b>		Borrower <b>Harvest Moon Events LLC</b>		Census Tract <b>9405.01</b>	File No. <b>9676-K</b>
Property Address <b>6800 Ut-32</b>		County <b>Wasatch</b>		Map Reference <b>25720</b>	
City <b>Heber City</b>		State <b>UT</b>		Zip Code <b>84032</b>	
Legal Description <b>See attached addenda.</b>					
Sale Price \$ <b>550,000</b>		Date of Sale	Loan Term	Yrs. <b>0</b>	Property Rights Appraised <input checked="" type="checkbox"/> Fee <input type="checkbox"/> Leasehold <input type="checkbox"/> De Minimis PUD
Actual Real Estate Taxes \$ <b>1,765</b>		(yr)	Loan charges to be paid by seller \$	<b>0</b>	Other sales concessions <b>0</b>
Lender/Client <b>Holladay Bank and Trust</b>		Address <b>220 East Murray-Holladay Rd, P.O. Box 17576-0576, Holladay, U</b>		Instructions to Appraiser	
Occupant <b>Vacant / Land</b>		Appraiser <b>Kevin Berton Weed</b>			
Location <input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input checked="" type="checkbox"/> Rural		Good <b>Good</b>		Avg. <b>Avg.</b>	Fair <b>Fair</b>
Built Up <input type="checkbox"/> Over 75% <input type="checkbox"/> 25% to 75% <input checked="" type="checkbox"/> Under 25%		Employment Stability <input type="checkbox"/>		Poor <b>Poor</b>	
Growth Rate <input type="checkbox"/> Fully Dev. <input type="checkbox"/> Rapid <input type="checkbox"/> Steady <input checked="" type="checkbox"/> Slow		Convenience to Employment <input type="checkbox"/>			
Property Values <input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining		Convenience to Shopping <input type="checkbox"/>			
Demand/Supply <input type="checkbox"/> Shortage <input type="checkbox"/> In Balance <input type="checkbox"/> Oversupply		Convenience to Schools <input type="checkbox"/>			
Marketing Time <input type="checkbox"/> Under 3 Mos. <input checked="" type="checkbox"/> 4-6 Mos. <input type="checkbox"/> Over 6 Mos.		Adequacy of Public Transportation <input type="checkbox"/>			
Present <b>50 % One-Unit</b> % 2-4 Unit % Apts. % Condo <b>5 % Commercial</b>		Recreational Facilities <input type="checkbox"/>			
Land Use <b>% Industrial</b> % Vacant <b>45 % Agriculture</b>		Adequacy of Utilities <input type="checkbox"/>			
Change in Present <input checked="" type="checkbox"/> Not Likely <input type="checkbox"/> Likely (*)		Property Compatibility <input type="checkbox"/>			
Land Use (*) From <b>To</b> <b>100 % Vacant</b>		Protection from Detrimental Conditions <input type="checkbox"/>			
Predominant Occupancy <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant		Police and Fire Protection <input type="checkbox"/>			
One-Unit Price Range \$ <b>600</b> to \$ <b>800</b> Predominant Value \$ <b>700</b>		General Appearance of Properties <input type="checkbox"/>			
One-Unit Age Range <b>0 yrs. to 100 yrs.</b> Predominant Age <b>40 yrs.</b>		Appeal to Market <input type="checkbox"/>			
Comments including those factors, favorable or unfavorable, affecting marketability (e.g. public parks, schools, view, noise) <b>The subject is located in a a market surrounded by single family and manufactured residences as well as private and public land. Subject is located approximatley 17 miles from the I-80 corridor. All Employment as well as public and consumer services can be found in Heber City or Midway, approximatley 5 miles South.</b>					
<b>NEIGHBORHOOD</b>					
Dimensions <b>See Plat Map</b>		= <b>37.16 ac</b>			
Zoning Classification <b>A-20 Agricultural / Residential</b>		Present Improvements <input checked="" type="checkbox"/> Do <input type="checkbox"/> Do Not Conform to Zoning Regulations			
Highest and Best Use <input checked="" type="checkbox"/> Present Use <input type="checkbox"/> Other (specify) <b>Single Family Residence</b>					
Public <input type="checkbox"/> <b>Elec. Needed</b> <input type="checkbox"/> None <input type="checkbox"/> Well Needed <input type="checkbox"/> Septic Needed <input type="checkbox"/> Underground Elect. & Tel.		OFF SITE IMPROVEMENTS			
Elec. <input type="checkbox"/> Gas <input type="checkbox"/> Water <input type="checkbox"/> San. Sewer <input type="checkbox"/>		Street Access <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	Topo <b>Steep</b>	Size <b>37.16</b>	Shape <b>Irregular</b>
		Surface <b>Asphalt</b>	Maintenance <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	View <b>N:Natural Vegetation;</b>	Drainage <b>Average</b>
		<input type="checkbox"/> Storm Sewer <input type="checkbox"/> Curb/Gutter	<input type="checkbox"/> Storm Sewer <input type="checkbox"/> Curb/Gutter		
		<input type="checkbox"/> Sidewalk <input type="checkbox"/> Street Lights	<input type="checkbox"/> Sidewalk <input type="checkbox"/> Street Lights		
Comments (favorable or unfavorable including any apparent adverse easements, encroachments, or other adverse conditions) <b>Is the property located in a FEMA Special Flood Hazard Area?</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <b>Standard utility easements. No unusual adverse easements or encroachments were observed, however, the appraiser did not conduct an in-depth research of the easements.</b>			
<b>SITE</b>					
Dimensions <b>See Plat Map</b>		= <b>37.16 ac</b>			
Zoning Classification <b>A-20 Agricultural / Residential</b>		Present Improvements <input checked="" type="checkbox"/> Do <input type="checkbox"/> Do Not Conform to Zoning Regulations			
Highest and Best Use <input checked="" type="checkbox"/> Present Use <input type="checkbox"/> Other (specify) <b>Single Family Residence</b>					
Public <input type="checkbox"/> <b>Elec. Needed</b> <input type="checkbox"/> None <input type="checkbox"/> Well Needed <input type="checkbox"/> Septic Needed <input type="checkbox"/> Underground Elect. & Tel.		OFF SITE IMPROVEMENTS			
Elec. <input type="checkbox"/> Gas <input type="checkbox"/> Water <input type="checkbox"/> San. Sewer <input type="checkbox"/>		Street Access <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	Topo <b>Steep</b>	Size <b>37.16</b>	Shape <b>Irregular</b>
		Surface <b>Asphalt</b>	Maintenance <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	View <b>N:Natural Vegetation;</b>	Drainage <b>Average</b>
		<input type="checkbox"/> Storm Sewer <input type="checkbox"/> Curb/Gutter	<input type="checkbox"/> Storm Sewer <input type="checkbox"/> Curb/Gutter		
		<input type="checkbox"/> Sidewalk <input type="checkbox"/> Street Lights	<input type="checkbox"/> Sidewalk <input type="checkbox"/> Street Lights		
Comments (favorable or unfavorable including any apparent adverse easements, encroachments, or other adverse conditions) <b>Is the property located in a FEMA Special Flood Hazard Area?</b>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <b>Standard utility easements. No unusual adverse easements or encroachments were observed, however, the appraiser did not conduct an in-depth research of the easements.</b>			
<b>MARKET DATA ANALYSIS</b>					
The undersigned has recited the following recent sales of properties most similar and proximate to subject and has considered these in the market analysis. The description includes a dollar adjustment reflecting market reaction to those items of significant variation between the subject and comparable properties. If a significant item in the comparable property is superior to or more favorable than the subject property, a minus (-) adjustment is made, thus reducing the indicated value of subject; if a significant item in the comparable is inferior to or less favorable than the subject property, a plus (+) adjustment is made thus increasing the indicated value of the subject.					
ITEM		COMPARABLE NO. 1	COMPARABLE NO. 2	COMPARABLE NO. 3	
Address <b>6800 Ut-32</b>		<b>Lot 79 Browns Canyon</b>	<b>2750 W Ut-32</b>	<b>3500 Desert Mountain Rd</b>	
Proximity to Subject <b>Heber City, UT 84032</b>		<b>Peoa, UT 84061</b>	<b>Peoa, UT 84061</b>	<b>Peoa, UT 84061</b>	
Sales Price <b>\$ 550,000</b>		<b>\$ 800,000</b>	<b>\$ 625,000</b>	<b>\$ 700,000</b>	
Price / Sq. Ft. <b>\$</b>		<b>\$</b>	<b>\$</b>	<b>\$</b>	
Data Source(s) <b>NWMLS# 2208533</b>		<b>PCMLS# 1868388; DOM 182</b>	<b>PCMLS# 1975004; DOM 13</b>	<b>PCMLS# 1843258; DOM 195</b>	
ITEM <b>DESCRIPTION</b>		<b>DESCRIPTION</b>	<b>DESCRIPTION</b>	<b>DESCRIPTION</b>	
Date of Sale/Time Adj.		<b>+(-)\$ Adjust.</b>	<b>+(-)\$ Adjust.</b>	<b>+(-)\$ Adjust.</b>	
Location <b>N: Rural</b>		<b>10/09/2023</b>	<b>04/10/2024</b>	<b>06/21/2023</b>	
Site/View <b>37.16 ac</b>		<b>40.20 ac</b>	<b>-15,200</b>	<b>59.77 ac</b>	
Utilities <b>None</b>		<b>None</b>	<b>None</b>	<b>None</b>	
Slope <b>Steep</b>		<b>Moderate</b>	<b>-40,000</b>	<b>Moderate</b>	
Other Significant Items <b>None</b>		<b>None</b>	<b>Steep</b>	<b>-35,000</b>	
View <b>N: Hills</b>		<b>B: Mtn</b>	<b>Barn / Corral</b>	<b>None</b>	
Sales or Financing <b>0</b>		<b>ArmLth</b>	<b>-40,000</b>	<b>-25,000</b>	
Concessions <b>0</b>		<b>ArmLth</b>	<b>B: Mtn</b>	<b>31,250</b>	
Net Adj. (Total)		<b>\$ -95,200</b>	<b>\$ 5,050</b>	<b>\$ -148,050</b>	
Indicated Value of Subject <b>Net 11.9 % Gross 11.9 %</b>		<b>\$ 704,800</b>	<b>\$ 630,050</b>	<b>\$ 551,950</b>	
Comments on Market Data		<b>See Attached Addendum</b>			
Comments and Conditions of Appraisal		<b>The intended User of this appraisal report is the Lender/Client. The Intended Use is to evaluate the subject property for mortgage loan purposes, subject to the stated Scope of Work, purpose of the appraisal, reporting requirements of this appraisal report form, and Definition of Market Value. The appraiser identifies no additional Intended Users. The report is intended for the use of the Lender/Client only and the appraiser does not intend the use of this report by others.</b>			
Final Reconciliation		<b>The estimated value is supported principally by the Sales Comparison Approach. The Cost and Income Approaches are not considered relevant to this assignment. The contract sales price was a consideration in the final value estimate.</b>			
<b>RECONCILIATION</b>		I (WE) ESTIMATE THE MARKET VALUE, AS DEFINED, OF THE SUBJECT PROPERTY AS OF <b>05/17/2024</b> TO BE \$ <b>\$550,000</b>			
Appraiser <b>Kevin Berton Weed</b>		Supervisory Appraiser (if applicable)			
Date of Signature and Report <b>05/21/2024</b>		Date of Signature			
Title		Title			
State Certification # <b>1702076</b>		ST	VWA	State Certification #	
Or State License #		ST		Or State License #	
Expiration Date of State Certification or License <b>06/18/2024</b>		Expiration Date of State Certification or License			
Date of Inspection (if applicable) <b>05/17/2024</b>		<input type="checkbox"/> Did	<input type="checkbox"/> Did Not	Inspect Property	Date of Inspection

# **EXHIBIT E: LIST OF ALL PROPERTY OWNERS WITHIN ANNEXATION AND WITHIN 300 FEET OF ANNEXATION**

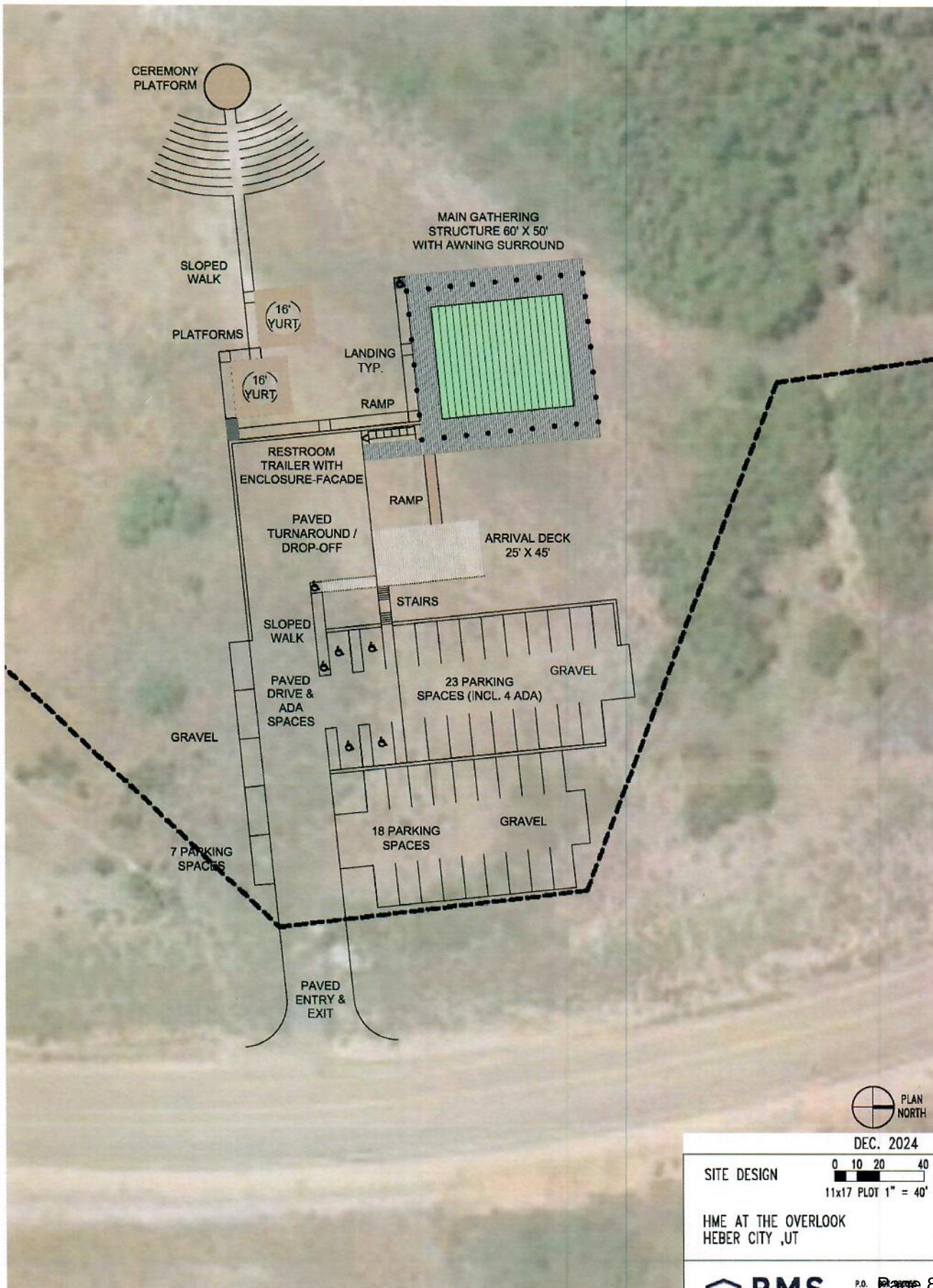
<b>PROPERTY OWNERS WITHIN ANNEXATION</b>				
<b>PROPERTY OWNERS WITHIN 300 FEET</b>				
Harvest Moon Events	4484 S Parkview Dr	Millcreek	UT	84124
Joseph Dziemianzuk	3365 Kenmore Dr	Sarasota	FL	34231-7131
Jordanelle Glamping	11149 S. Boylestone Ct	South Jordan	UT	84095-1313
Guggenheim & Daughters LLC	1550 Bayside Dr. #13	Corona Del Mar	CA	92625-1711
Jordanelle Special Services District	PO Box 519	Heber City	UT	84032-0519
Holmes Homes Inc	126 W Sego Lily Dr Ste 250	Sandy	UT	84070-3380
UDOT	4501 S 2700 W	Salt Lake City	UT	84119-5928
Timothy Randall	23 N Kintail St	Saratoga Springs	UT	84043-4748

## EXHIBIT F: VICINITY MAP

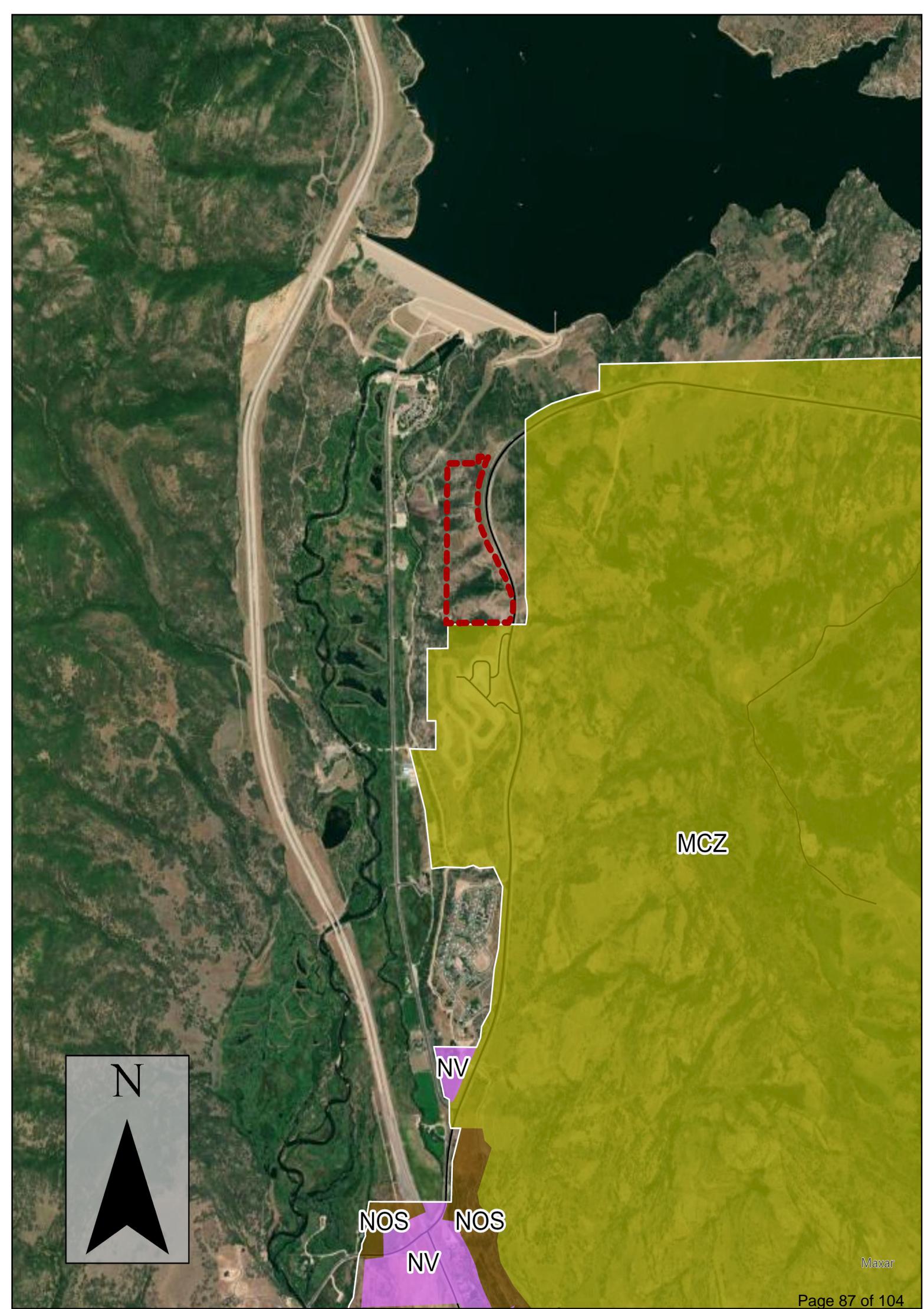
Map of properties within 300 feet of the proposed annexation

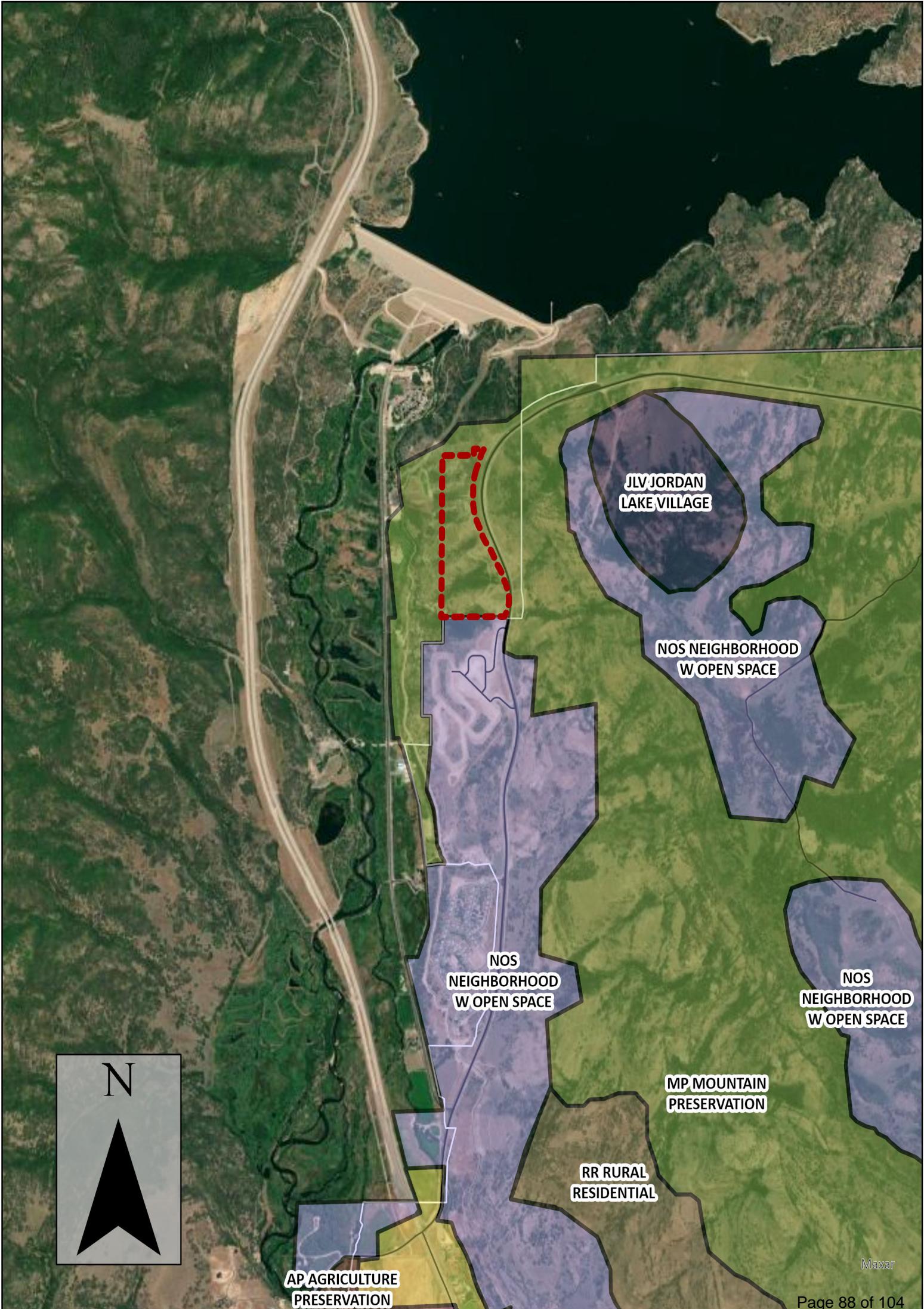


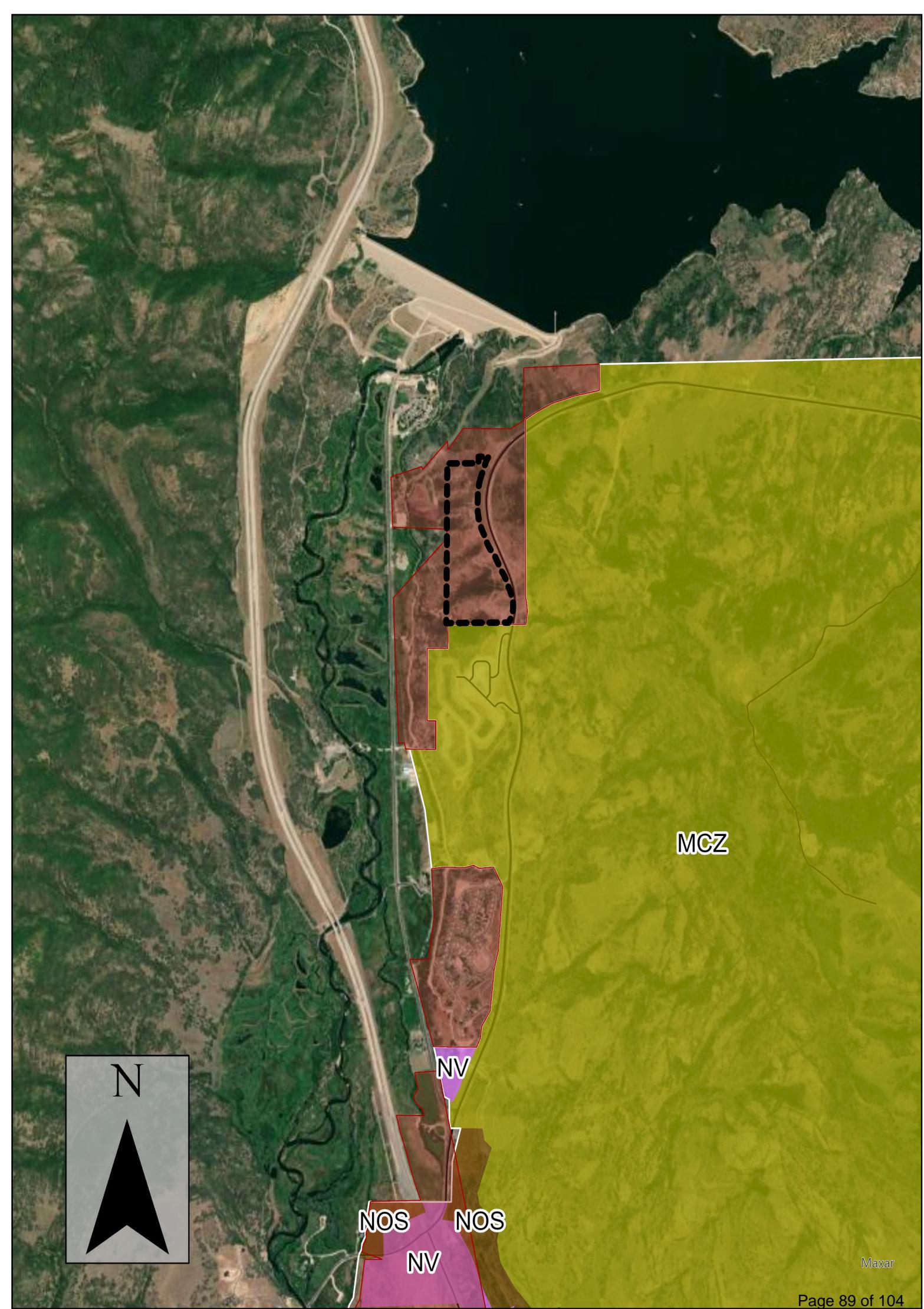
# EXHIBIT G: CONCEPT PLAN





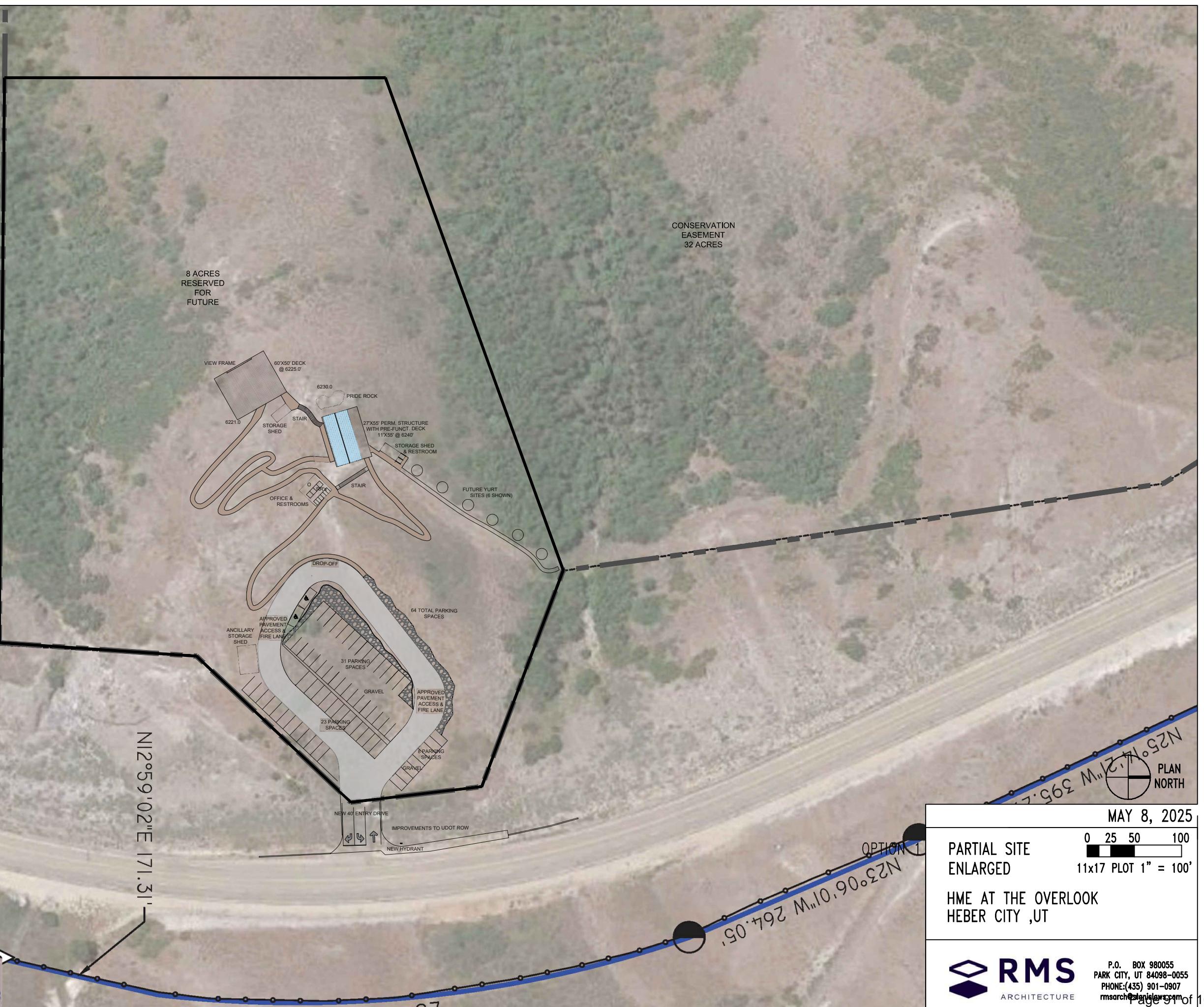


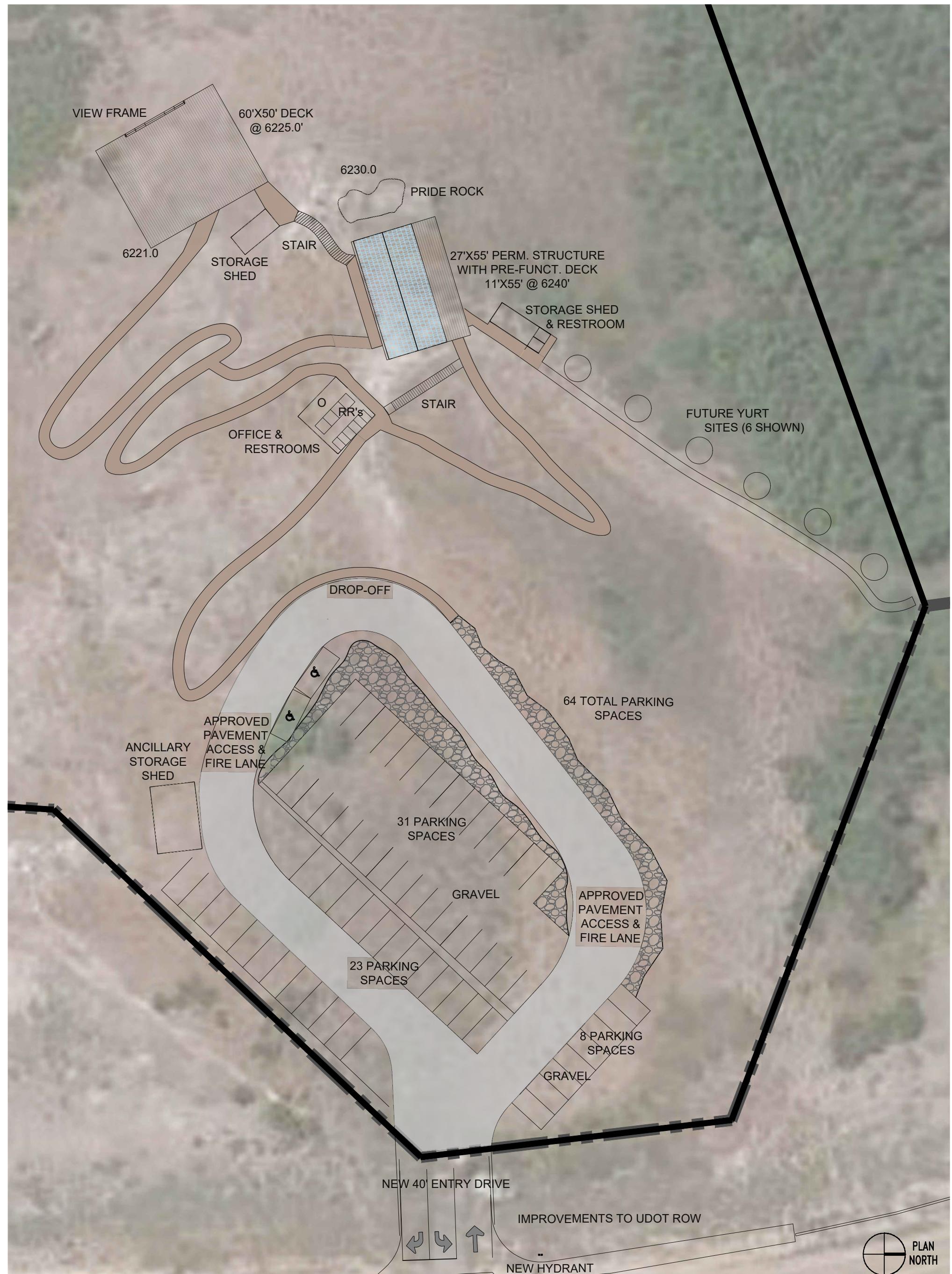






HOLMES HOMES INC  
00-0021-5067  
OHE-2211-0-006-035





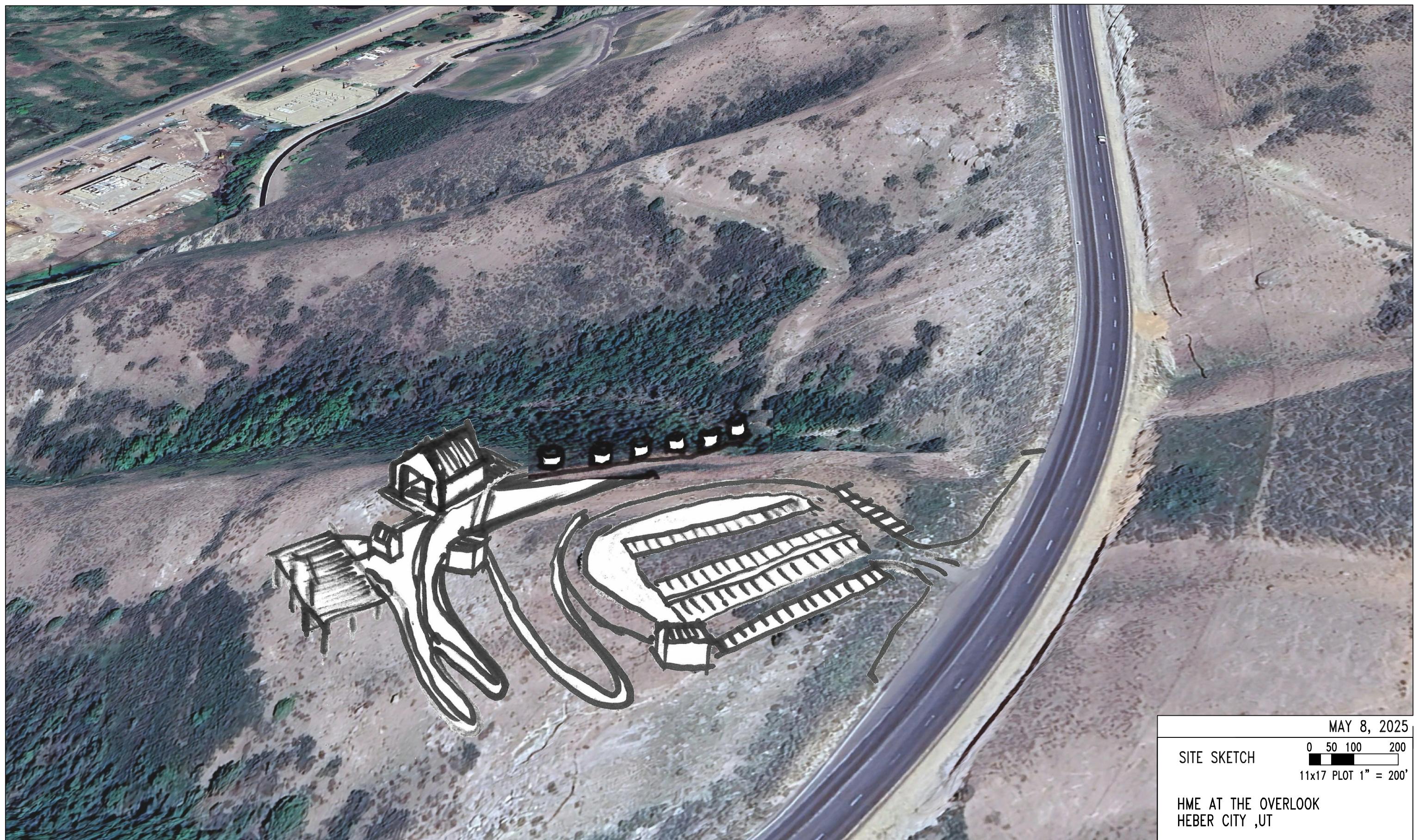
MAY 8, 2025

SITE DESIGN

0 10 20 40

11x17 PLOT 1" = 40'

HME AT THE OVERLOOK  
HEBER CITY, UT



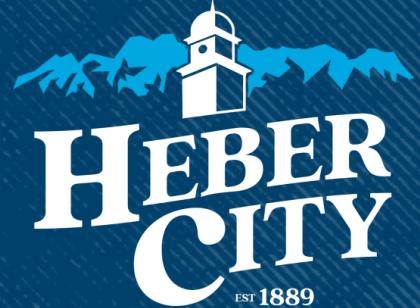
MAY 8, 2025

SITE SKETCH

0 50 100 200

11x17 PLOT 1" = 200'

HME AT THE OVERLOOK  
HEBER CITY, UT



# Plourde Annexation

Action Item

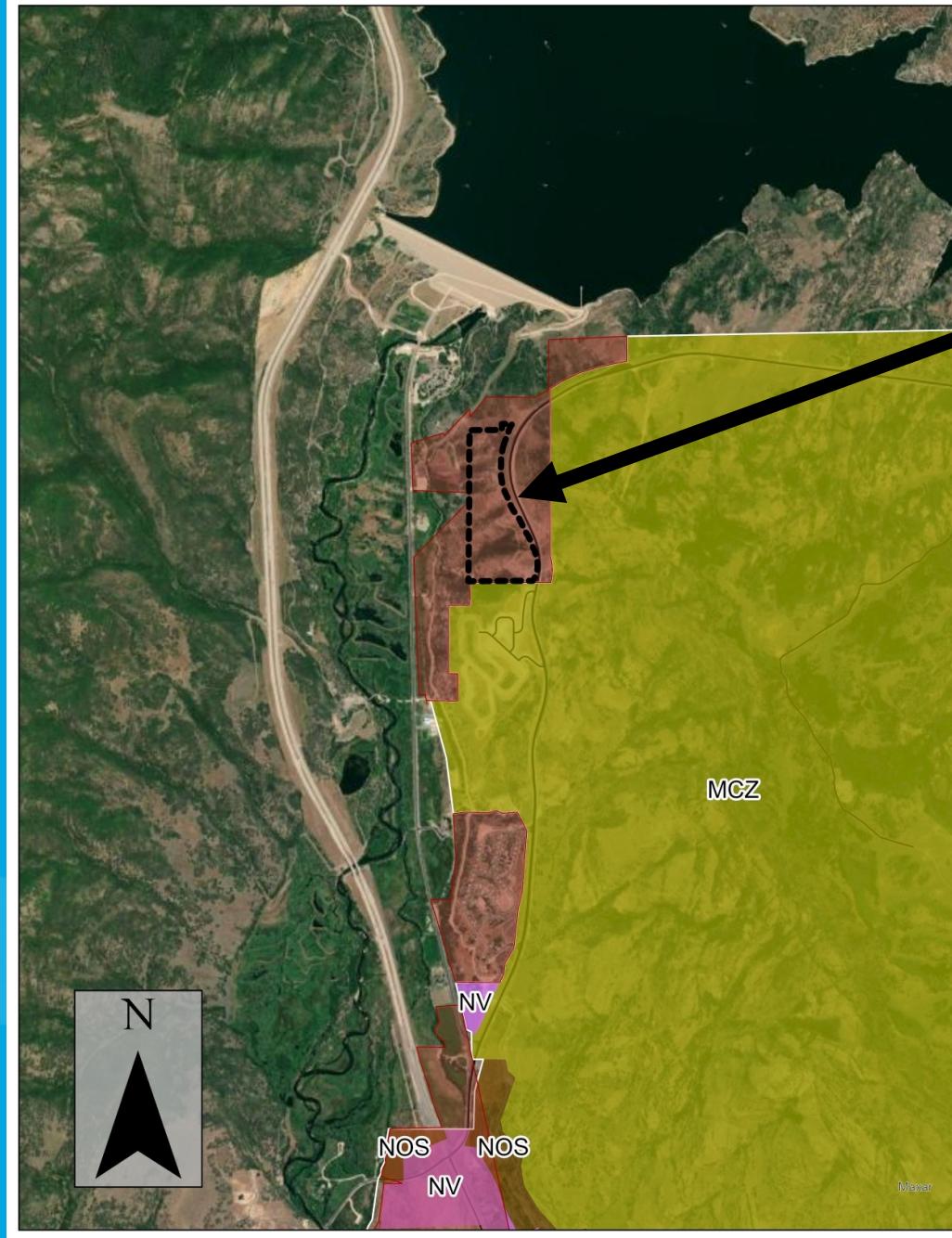
# Summary

- Ms. Plourde submitted an annexation Petition for the annexation of parcel 07-7086 to facilitate the construction of an event venue that works with the challenging topography of the parcel and maximizes the views from the parcel.
- The annexation petition was accepted by the City Council on January 7<sup>th</sup> , 2025

# Policy Questions

- Staff is requesting a positive or negative recommendation to forward on to the City Council for a public hearing and final approval.

# Area Map

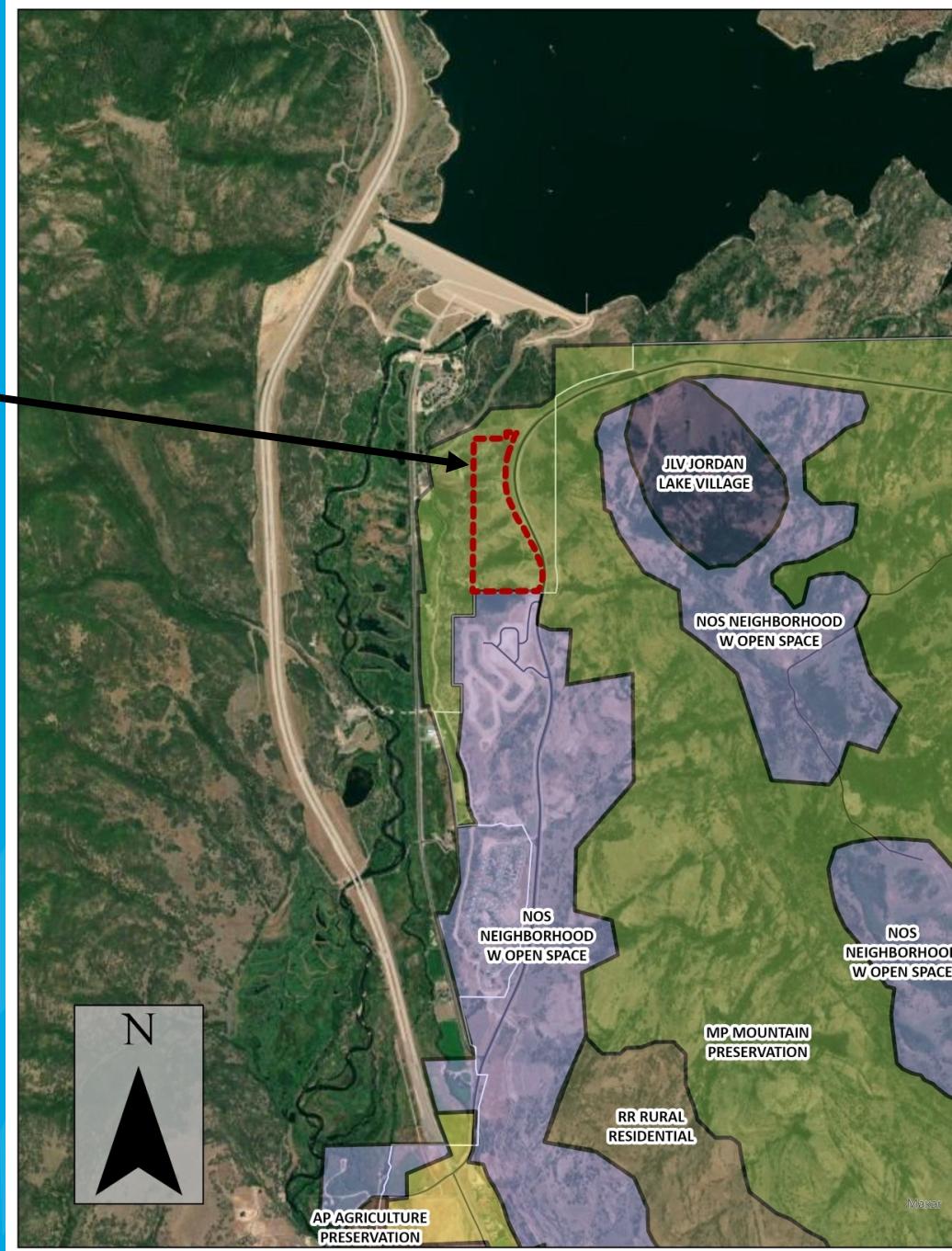


Plourde Annexation  
Parcel 07-7086

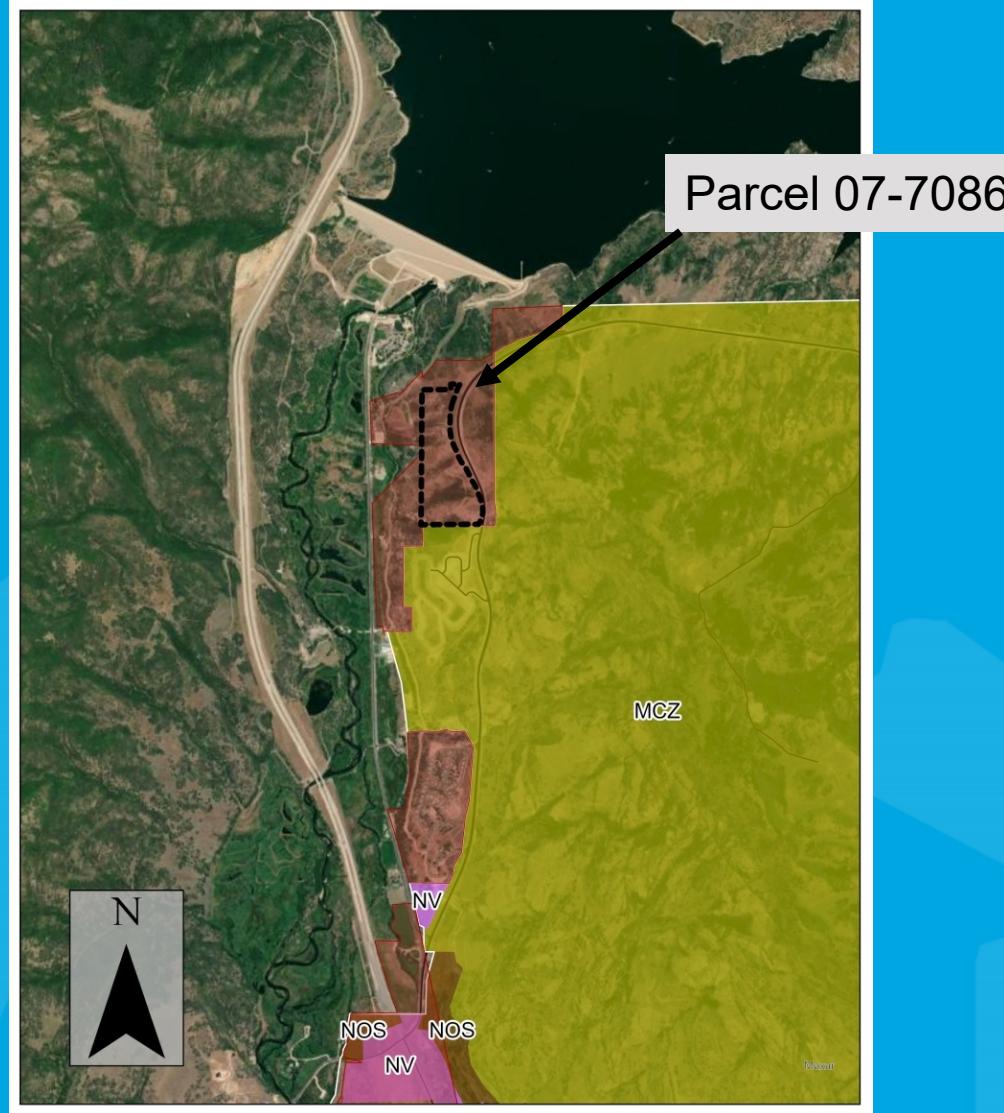
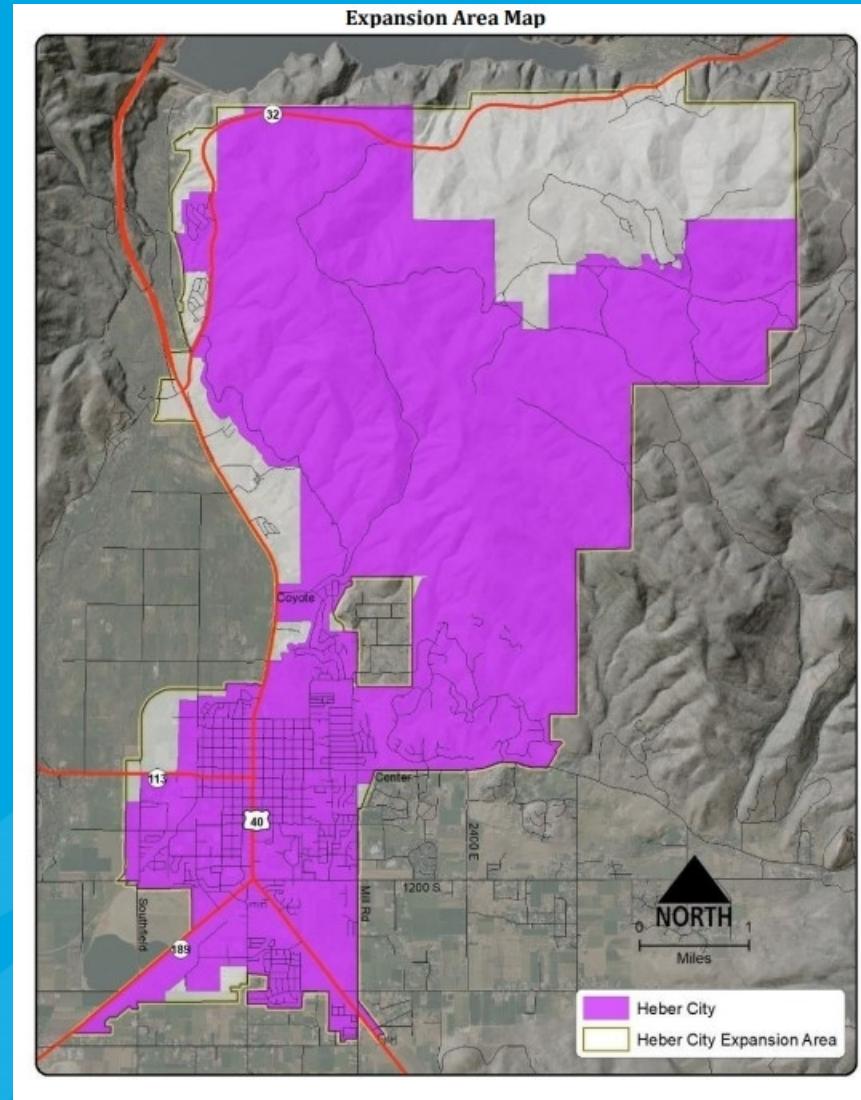
# Future Land Use Designation

General Plan Designation: Mountain Preservation

Parcel in Question



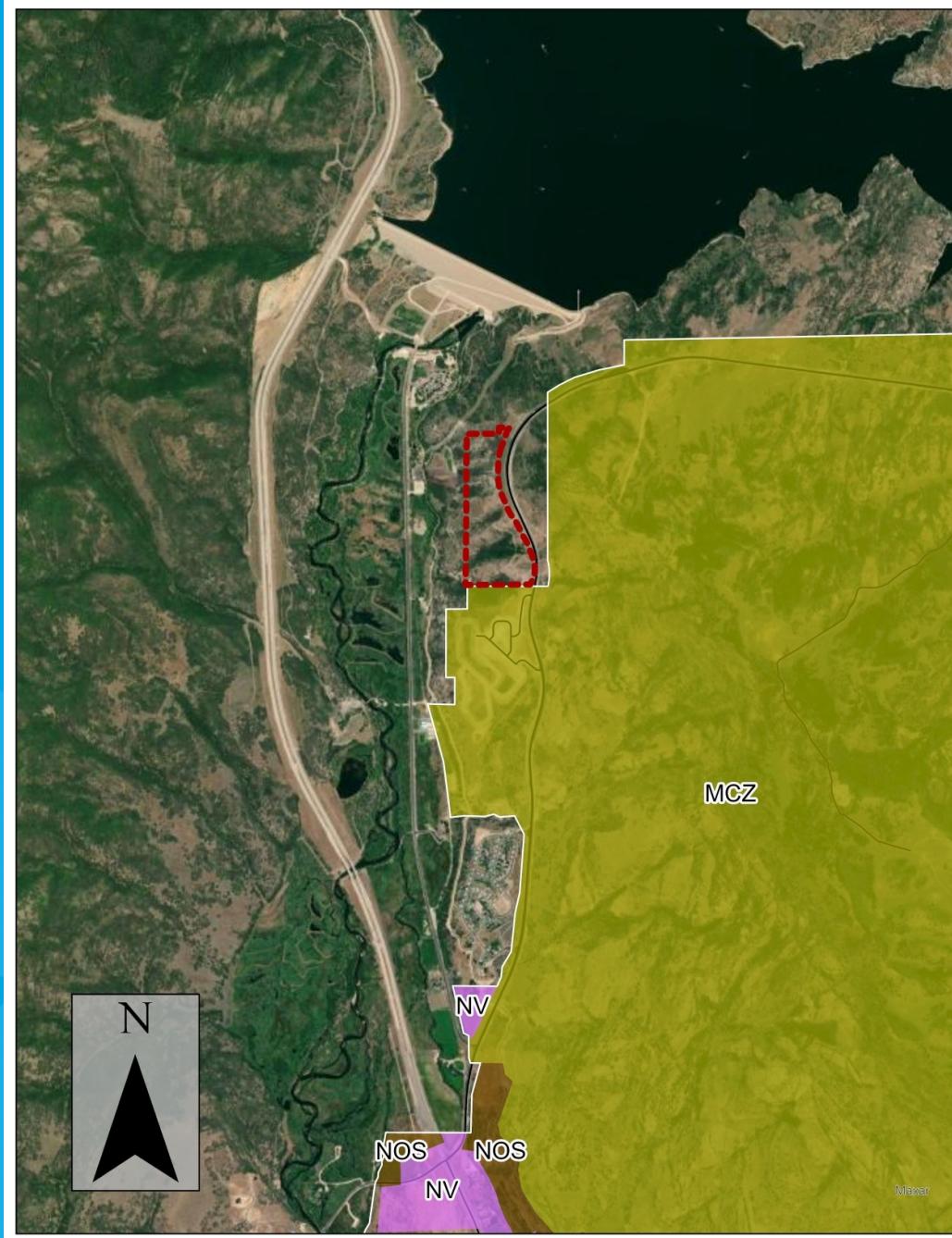
# Annexation Policy Plan



# Zoning

The property will be zoned Mountain Community Zone (MCZ) with the following adjustments outlined in the MDA:

1. Future building and site plans will be included in the annexation process and will be subject to approval by the City Council.
2. Street frontage landscaping will be required only on 20 feet of each side of the main access point, extending 10 feet back from the property line.
3. Event Centers will be added as a permitted use, as outlined in the Master Development Agreement (MDA).
4. Land will be dedicated, where necessary, to accommodate a trail consistent with the area's master planned trail network.
5. Provisions will be added for the possible construction of a caretake dwelling at the site of the event center
6. Provisions will be added for the possible subdivision of a portion of the property to be sold as a buildable lot.

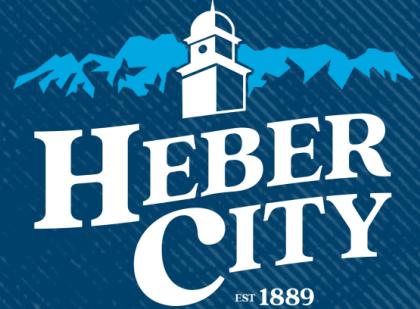


# Building Design and Site Layout

# Property Overview

# Policy Questions

- Staff is requesting a positive or negative recommendation to forward on to the City Council for a public hearing and final approval.



# Plourde Annexation

Action Item