

NOTICE AND AGENDA

Notice is hereby given that the Planning Commission of Millville City will hold a regularly scheduled meeting on Thursday, **May 1, 2025**, at the Millville City Offices, 510 East 300 South in Millville, Utah, which shall begin promptly at **8:00 p.m.**

1. Call to Order / Roll Call
2. Opening Remarks / Pledge of Allegiance
3. Approval of agenda
4. Approval of minutes from previous meeting held on April 3, 2025
5. Agenda Items
 - A. Review: Eames Annexation- Richard Zollinger- Approx 413 S 100 W, Millville
 - B. Zoning Clearance- Addition- Kip & Bonnie Farmer- 259 E 300 S, Millville
 - C. Zoning Clearance- New Residence- Roger & Jamie Roundy- 350 E 450 N, Millville
 - D. Zoning Clearance- Addition to Accessory Building- Eric Dursteler- 140 N 100 W, Millville
 - E. Other
6. Agenda items for next meeting
7. Calendaring for future Planning Commission Meeting- Thursday, May 15, 2025, at 8:00 PM
8. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during public meetings should notify Kara Everton at (480) 528-1467 at least three days prior to the meeting.

This agenda was posted on/before April 29, 2025, to the City posting locations, the City Website and the Utah Public Meeting Notices Website.



Kara Everton, Secretary
Millville City Planning Commission

MILLVILLE PLANNING COMMISSION MEETING
City Hall - 510 East 300 South - Millville, Utah
April 3, 2025

PRESENT: Lynette Dickey, Bonnie Farmer, Matt Anderson, Larry Lewis, Kara
Everton, Pam June

Call to Order/Roll Call:

Commissioner Dickey opened the meeting for April 3, 2025, at 8:00 pm. Commissioners Lynette Dickey, Bonnie Farmer, Matt Anderson and Larry Lewis were present. Commissioner's Garrett Greenhalgh and Darcy Ripplinger were excused. Development Coordinator Kara Everton was present and took the minutes.

Opening Remarks/Pledge of Allegiance

Commissioner Greenhalgh led all present in the Pledge of Allegiance.

Approval of Agenda

The agenda for the Planning Commission Meeting for April 3, 2025, was reviewed.

Commissioner Anderson moved to approve the agenda for April 3, 2025.

Commissioner Farmer seconded. Commissioners Lynette Dickey, Bonnie Farmer, Matt Anderson and Larry Lewis voted in favor. Commissioner's Garrett Greenhalgh and Darcy Ripplinger were excused.

Approval of the Minutes of the Previous Meeting

The Planning Commission reviewed the minutes for the Planning Commission Meeting for March 6, 2025. **Commissioner Farmer moved to approve the minutes for the meeting on March 6, 2025.** Commissioner Lewis seconded. Commissioners Lynette Dickey, Bonnie Farmer, Matt Anderson and Larry Lewis voted in favor. Commissioner's Garrett Greenhalgh and Darcy Ripplinger were excused.

5.A. Zoning Clearance- Accessory Building- Heber Hernandez- 548 N Main St, Millville

Will have a bathroom.

Commissioner Farmer moved to approve the zoning clearance for an accessory building for Heber Hernandez located at 548 N Main St, Millville. Commissioner Anderson seconded. Commissioners Lynette Dickey, Bonnie Farmer, Matt Anderson and Larry Lewis voted in favor. Commissioner's Garrett Greenhalgh and Darcy Ripplinger were excused.

5.B. Sign Permit Application- Ian McArther- South Valley Rentals- 728 W 1940 S, Millville

Commissioner Anderson moved to approve the sign permit for Ian McArther for South Valley Rentals located at 728 W 1940 S. Commissioner Farmer seconded. Commissioners Lynette Dickey, Bonnie Farmer, Matt Anderson and Larry Lewis voted in favor. Commissioner's Garrett Greenhalgh and Darcy Ripplinger were excused.

5C. Other

- South Valley Rec Center Study
- Sewer Updates
- Subdivision Update

6. Agenda Items/Notes for Next Meeting

7. Calendaring of future Planning Commission Meeting – April 17, 2025, at 8:00 pm

8. Adjournment

Chairman Dickey moved to adjourn the meeting at approximately 8:31 p.m.

PETITION FOR ANNEXATION

TO THE MAYOR AND CITY COUNCIL OF MILLVILLE CITY, CACHE COUNTY,
STATE OF UTAH:

We, the undersigned owners of certain real property lying contiguous to the present municipal limits of Millville City hereby submit this Petition for Annexation and respectfully represent the following:

1. That this petition is made pursuant to the requirements of Section 10-2-403, Utah code Annotated, 2015, as amended (UCA);
2. That the property subject to this petition is a contiguous, unincorporated area contiguous to the boundaries of Millville City;
3. That the signatures affixed hereto are those of the owners of private real property that:
 - a. is located within the area proposed for annexation;
 - b. covers a majority of the private land area within the area proposed for annexation; and
 - c. is equal in value to at least 1/3 of the value of all private real property within the area proposed for annexation;
 - d. is described as follows:

LEGAL DESCRIPTION

PART OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 11 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, LOCATED IN THE COUNTY OF CACHE, STATE OF UTAH, DESCRIBED AS FOLLOWS:

*COMMENCING AT THE SOUTH 1/16 CORNER COMMON TO SECTIONS 22 AND 23, SAID TOWNSHIP, RANGE, AND MERIDIAN;
THENCE N89°54'17"W 2092.00 FEET MORE OR LESS ALONG THE SOUTH 1/16 LINE OF SAID SECTION 22 TO THE POINT OF BEGINNING AT THE INTERSECTION OF SAID 1/16 LINE AND THE EAST RIGHT-OF-WAY LINE OF MILLVILLE 100 EAST STREET (COUNTY 500 EAST STREET), SAID POINT ALSO BEING ON THE EXISTING MILLVILLE CITY CORPORATE LIMIT LINE;*

*THENCE S1°13'53"W 223.18 FEET ALONG SAID EAST RIGHT-OF-WAY LINE;
THENCE N88°46'07"W 66.00 FEET TO THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID STREET AND THE CENTERLINE OF GARR SPRINGS CREEK (ALSO KNOWN AS GARR SPRINGS BRANCH).*

THENCE ALONG THE CENTERLINE OF SAID CREEK THE FOLLOWING FOUR COURSES:

- 1. N58°20'44"W 87.48 FEET;*
- 2. N49°07'42"W 131.15 FEET;*
- 3. N70°11'45"W 59.16 FEET;*
- 4. N85°40'24"W 143.00 FEET TO THE EAST BANK OF THE PROVIDENCE AND MILLVILLE DITCH;*

THENCE ALONG THE EAST BANK OF SAID DITCH THE FOLLOWING TWO COURSES:

- 1. N30°55'38"E 35.71 FEET;*
- 2. N15°35'01"E 30.33 FEET TO THE INTERSECTION OF THE EAST BANK OF SAID DITCH AND THE SOUTH 1/16 LINE OF SAID SECTION 22 AND EXISTING MILLVILLE CITY CORPORATE LIMIT LINE;*

THENCE S89°54'17"E 416.16 FEET TO THE POINT OF BEGINNING;

CONTAINING 1.29 ACRES, MORE OR LESS.

4. That up to five of the signers of this petition have been designated as sponsors, one of whom is designated "contact sponsor", with the mailing address of each sponsor being indicated;
5. That this petition does not propose annexation of all or a part of an area proposed for annexation in a previously filed petition that has not been denied, rejected, or granted;
6. That this petition does not propose annexation of an area that includes some or all of an area proposed to be incorporated in a request for a feasibility study under Section 10-2-103 UCA or a petition under Section 10-2-125 UCA if;
 - a. the request or petition was filed before the filing of the annexation petition; and
 - b. the request, a petition under Section 10-2-109 based on that request, or a petition under Section 10-2-125 is still pending on the date the annexation petition is filed;
7. That the petitioners have caused an accurate plat of the above-described property to be made by a competent, licensed surveyor, which plat is filed herewith; and
8. That the petitioners agree to pay the City upon request and before the annexation process is completed for all expenses it has incurred due to the annexation. The petitioners understand if payment has not been made to the City by specified dates it could delay the annexation process.
9. The petitioner hereby requests to annex this property to be zoned Millville Residential R-2.

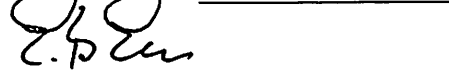
WHEREFORE, the Petitioners hereby request that this petition be considered by the governing body at its next regular meeting, or as soon thereafter as possible; that a resolution be adopted as required by law accepting this Petition for Annexation for further consideration; and that the governing body take such steps as required by law to complete the annexation herein petitioned.

DATED this 10th day of April, 2025.

Petitioner: Richard Zollinger



Phone Number _____



Sponsor, Ezra Eames

Sponsor

Address:

695 W. 1700 S. Bldg 7
Logan, UT 84321

1950 E. Canyon Ridge Circle
North Logan, UT 84341

ANNEXATION CERTIFICATE OF DELIVERY

I, Corey Twedt, duly appointed and acting recorder for Millville City, Cache County, State of Utah, hereby certify that the Petition for Annexation attached hereto, and signed by Richard Zollinger together with the Annexation plat map pertaining thereto were delivered to me this 10th day of April 2025.

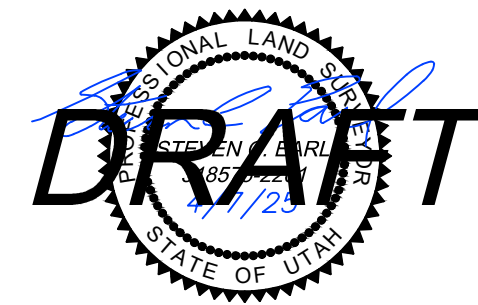



Corey Twedt
Millville City Recorder

EAMES ANNEXATION
TO MILLVILLE CITY, CACHE COUNTY, UTAH
PART OF SECTION 22, TOWNSHIP 11 NORTH, RANGE 1 EAST
SALT LAKE MERIDIAN

SURVEYOR'S CERTIFICATE

I, STEVEN C. EARL, HOLDING LICENSE NUMBER 318575-2201 UTAH CODE TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, HAVE COMPLETED A PLAT OF ANNEXATION TO THE CORPORATE LIMITS OF WELLSVILLE CITY, UTAH IN ACCORDANCE WITH UTAH CODE TITLE 17, CHAPTER 23, SECTION 20, SUBSECTION (4), AND HAVE ACCURATELY REPRESENTED THE TRACT OF LAND SHOWN AND DESCRIBED HEREON BASED UPON DATA COMPILED FROM THE RECORDS OF THE CACHE COUNTY RECORDER'S AND SURVEYOR'S OFFICES.



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CONTAINING 1.29 ACRES, MORE OR LESS.

MILLVILLE CITY APPROVAL AND ACCEPTANCE

THIS IS TO CERTIFY THAT WE, THE MILLVILLE CITY COUNCIL, HAVE RECEIVED A PETITION SIGNED BY A MAJORITY OF THE OWNERS OF THE TRACT SHOWN HEREON REQUESTING THAT SAID TRACT BE ANNEXED TO MILLVILLE CITY, AND THAT A COPY OF THE ORDINANCE HAS BEEN PREPARED FOR FILING HERewith AND THAT WE HAVE EXAMINED AND DO HEREBY APPROVE AND ACCEPT THE ANNEXATION OF THE TRACT AS SHOWN AS A PART OF SAID CITY.

WITNESS MY HAND AND OFFICIAL SEAL THIS ____ DAY OF _____, 2025.

MILLVILLE CITY MAYOR

ATTEST

MILLVILLE CITY RECORDER

DEPUTY CACHE COUNTY SURVEYOR APPROVAL

THIS PLAT IS HEREBY APPROVED AS A FINAL LOCAL ENTITY PLAT IN ACCORDANCE WITH UTAH CODE TITLE 17, CHAPTER 23, SECTION 20.

SEALED AND SIGNED THIS ____ DAY OF _____, 2025 DEPUTY COUNTY SURVEYOR

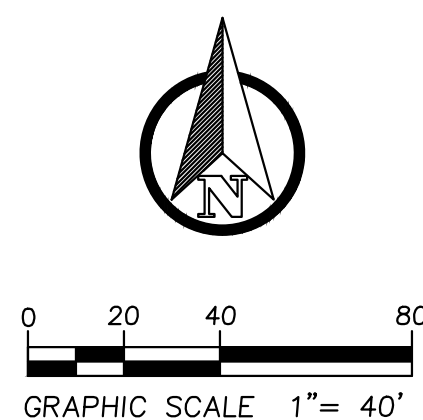
COUNTY RECORDER

COUNTY RECORDER'S NO. _____
STATE OF UTAH, COUNTY OF CACHE,
RECORDED AND FILED AT THE REQUEST
OF _____
THIS ____ DAY OF _____
20__ AT _____ IN BOOK OF PLATS
INDEX _____
FEE _____
COUNTY RECORDER

LEGEND

- AREA HEREBY ANNEXED TO MILLVILLE CITY
- EXISTING CORPORATE LIMIT LINE
- ANNEXATION BOUNDARY
- PARCEL LINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- 1/16 SECTION LINE
- 1/4 SECTION LINE

- SECTION CORNERS
- 1/16 SECTION CORNER
- SET REBAR W/ STEVEN C EARL CAP
- BARE REBAR



Cache • Landmark
Engineers
Surveyors
Planners

95 Golf Course Rd.
Suite 101
Logan, UT 84321
435.713.0099

DATE: 7 APRIL 2025
SCALE: 1" = 40'

DRAFTED BY: L HEGEMANN
CHECKED BY: S EARL

APPROVED BY: S EARL
PROJECT NUMBER: 845-2501



MILLVILLE CITY

ZONING CLEARANCE FOR BUILDING PERMIT

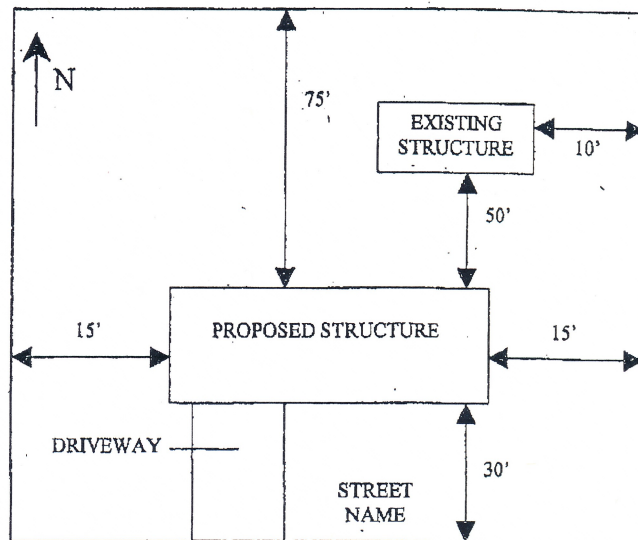
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

APPLICATION INFORMATION

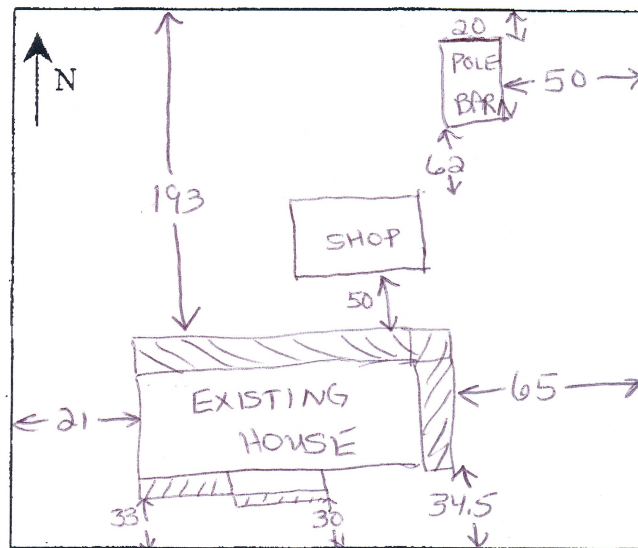
1. Kip + Bonnie Farmer
APPLICANT'S NAME
2. PO Box 26
MAILING ADDRESS
- Millville UT 84326
CITY STATE ZIP CODE
3. 435-994-1276 4. _____
HOME TELEPHONE BUSINESS TELEPHONE
5. KWBRF, LLC
OWNER'S NAME (if different from applicant)
6. Home addition
TYPE OF STRUCTURE
7. 1689 (see below) 8. R-1
SQUARE FOOTAGE ZONE
9. _____
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 03 - 035 - 0014
TAX IDENTIFICATION NUMBER
11. 259 E 300 So, Millville
ADDRESS OF CONSTRUCTION
12. 1 acre 13. 16' 5"
LOT SIZE Bldg Height
14. SEWER ☒ SEPTIC TANK ☐ N/A ☐
(choose one)
15. CITY WATER ☒ PRIVATE WELL ☐ N/A ☐
(choose one)
16. ELECTRICITY ☒ GAS ☒ OTHER UTILITY ☐
(specify in remarks)
17. Square footage
REMARKS
- Home - both levels (total) - 624
- Garage + porch - 123
- Back patio 942

SAMPLE PLOT PLAN

(numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING

DATE

FEES PAID - TREASURER

DATE

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)

KWBRF, LLC
#03-035-0014

NT ↑

20

EXISTING
POLE
BARN

←50→

62

193

EXISTING
SHOP

50

NEW
COVERED
PATIO

Not to scale

EXISTING
HOUSE

65

HOME ADDITION
(12 x 26)

34.5

EXTEND
GARAGE

33

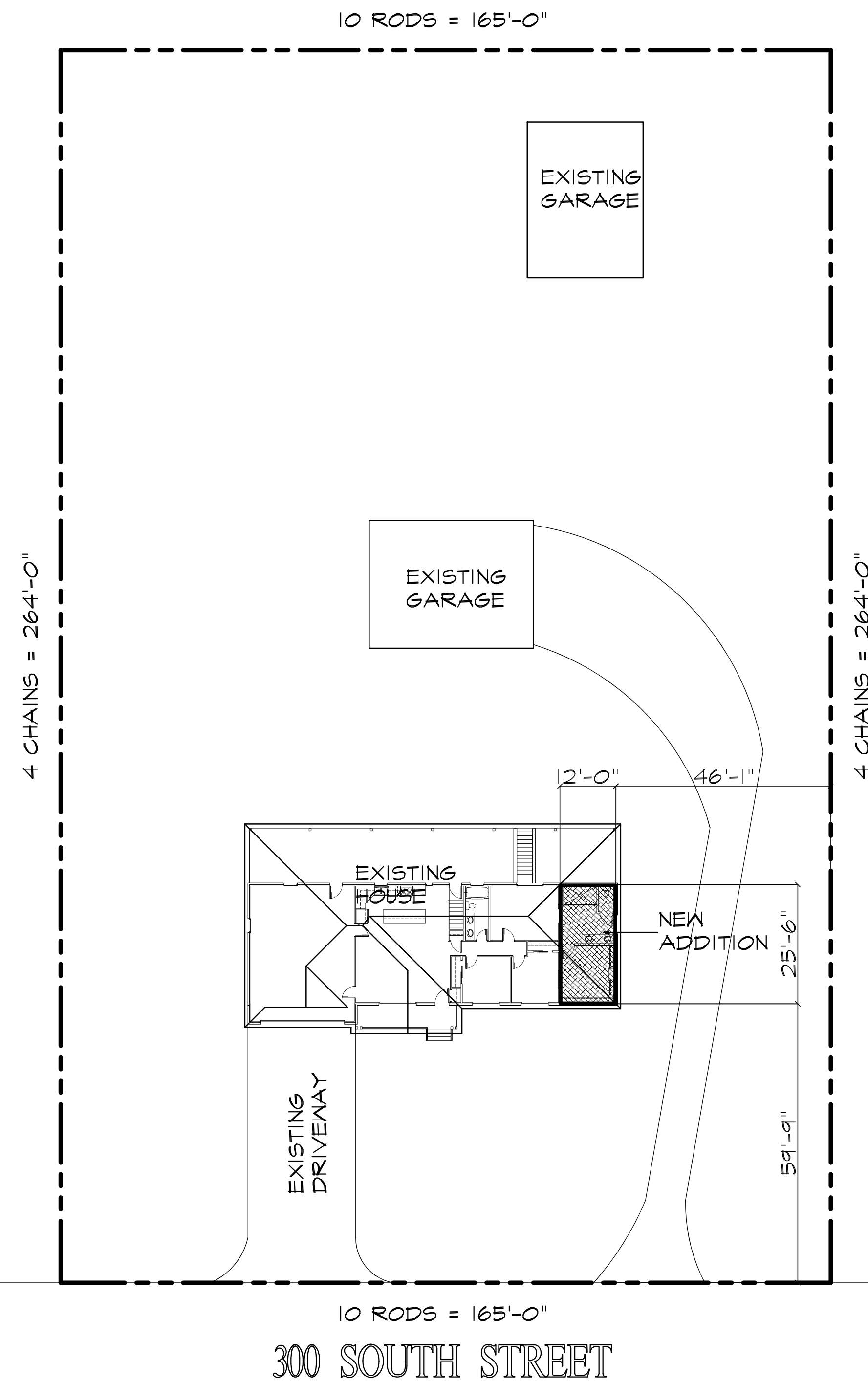
EXISTING
DRIVE
WAY

EXTEND
PORCH

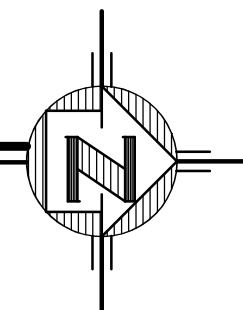
30

300

South



ARCHITECTURAL SITE PLAN
SCALE 1"=20'-0"



JB DESIGN GROUP www.jb-designgroup.com 801-668-5852	ARCHITECTURAL SITE PLAN	
	DATE: 04-18-2025	JOB # 2307-22
	PROJECT: FARMER ADDITION	
	259 EAST 300 SOUTH	MILLVILLE, UT

S

GENERAL NOTES

1. ALL FINISH WORK SHALL COMPLY TO BEST PRACTICES OF LOCAL TRADE.
2. ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR.
3. COORDINATE ALL WINDOW SIZES WITH OWNER.
4. COORDINATE ALL FIXTURES, DOORS, AND FINISH WORK WITH OWNER.
5. TEMPERED SAFETY GLASS WITHIN 24" ARC OF DOOR EDGE, WITHIN 18" OF FLOOR AND IN TUB ENCLOSURES WITHIN 60" OF THE FLOOR.
6. ALL BEDROOM WINDOWS TO MEET EGRESS REQUIREMENTS.
7. UNFINISHED WALL OVER 6'-0" TO BE BRIDGED.
8. 22" X 30" ATTIC ACCESS TO BE WEATHER STRIPPED AND INSULATED.
9. VENT DRYER TO EXTERIOR DUCT MAXIMUM LENGTH IS 35', REDUCE LENGTH FOR FITTINGS PER TABLE 6' 2494.5.5.1 - IRC M1502.2.
10. FIRE BLOCK WALLS AND FURRED SPACES AT CEILING AND AT 10' VERT. AND 10' HORZ.
11. DOOR BETWEEN HOUSE AND GARAGE TO BE 20 MIN. LABELED DOOR WITH CLOSER.
12. INSTALL BACK FLOW PREVENTER ON ALL HOSE BIBS AND LAWN SPRINKLERS.
13. VENT TERMINATIONS SHALL BE 10' AWAY OR 3' ABOVE SWAMP COOLER.
14. ALL WALLS BETWEEN HOUSE AND GARAGE TO HAVE ONE (1) LAYER OF 5/8" G.B. ON GARAGE SIDE OF WALL.
15. ALL GARAGE CEILING WITH ROOMS ABOVE ARE TO HAVE 5/8" G.B. CEILINGS.
16. OWNER / CONTRACTOR TO REVIEW AND VERIFY THAT ALL PLANS ARE CORRECT PRIOR TO CONSTRUCTION.
17. PLANS HAVE BEEN DESIGNED UNDER 2021 IRC.
18. MECHANICALLY EXHAUSTED AIR SHALL NOT BE DISCHARGED INTO ATTIC, SOFIAROOOF, OR CRAWL SPACE.
19. PROVIDE EXPANSION TANK AND STRAP THE WATER HEATER IN UPPER AND LOWER THIRDS WITH TWO (2) SEISMIC STRAPS.
20. ALL LAUNDRY AND UTILITY FLOOR DRAINS TO BE DEEP SEAL TYPE.
21. ALL EXTERIOR HOSE BIBS ARE TO BE NON FREEZE TYPE.
22. MAXIMUM FLOW RATES FOR FOR THE SHOWER HEADS, LAVATORY AND SINK FAUCETS AND WATER CLOSETS SHOULD MEET REQUIREMENTS LISTED IN IRC P2403.2.
23. TEMPERATURE LIMITING DEVICES ARE REQUIRED CONFORMING TO ASSE 1070 FOR ALL TUB TYPES INCLUDING SOAKER AND WHIRLPOOL, AND IS TO BE SET AT 120 F, UNLESS IT WILL BE REGULATED BY A TUB / SHOWER VALVE COMPLYING WITH IPC 2708.3 AND IRC 2713.3.
24. WATER HAMMER ARRESTORS ARE REQUIRED AT QUICK- CLOSING VALVES I.E. DISHWASHER AND CLOTHES WASHER.
25. DIRECT WASTE VENT TO BE PVC SCHEDULE 40, DR22 (PS 200) AND DR 24 (PS 140) WITH SOLID CELLULAR CORE OR COMPOSITE WALL.
26. GAS LINES: PROVIDE SEDIMENT TRAPS ON THE DOWNSTREAM SIDE OF SHUTOFF VALVE.
27. MECHANICAL ROOMS SHALL BE ENCLOSED WITH WALLS INSULATED WITH NON-PAPER FACED R-13 BATT. FLOOR JOISTS AND CEILING AREA TO BE INSULATED WITH R-38 ALL RETURN AND SUPPLY DUCTS ARE TO BE INSULATED WITH R-8. MECHANICAL ENCLOSURES MUST HAVE A GASKET DOOR WITH THRESHOLD. PROVIDE A ONE (1) SQ. INCH PER 3000 BTU / HOUR OPENING FOR ALL FUEL BURNING APPLIANCES, OPENING MUST BE WITHIN THE TOP 12" OF OF ROOM.
28. PROVIDE R-3 INSULATION ON ALL MECHANICAL SYSTEM PIPING WITH FLUID OVER 105° F AND BELOW 55° F
29. ALL FASTENERS (I.E. NAILS, SCREWS, ANCHOR BOLTS, ETC.) WHICH ARE TO BE INSTALLED IN PRESERVATIVE TREATED WOOD (I.E. SILL PLATES) SHALL MEET THE REQUIREMENTS OF ICB 2304.9.5
30. INSULATE HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNINSULATED AREAS PER IRC. N1103.
31. DRYER AIR VENT REQUIREMENTS NOT TO EXCEED 200 CFM AS PER IRC 62439.4
32. ALL PLUMBING VENTS THROUGH THE ROOF ARE TO BE 2" MIN. PIPE AS PER IRC P3103.2
33. ALL SHOWER PAN LINERS, WHEN USED ARE TO BE TESTED AND INSPECTED PER P2503.6
34. ALL ALCOVE TUBS ARE TO HAVE A TILE FLANGE PER P2609.2
35. A NONABSORBENT MATERIAL IS REQUIRED TO EXTEND TO A MIN. OF 6' ABOVE THE FLOOR AT ALL SHOWER LOCATIONS PER IRC R307.2
36. ALL GAS FIRED APPLIANCES ARE TO BE INSTALLED WITH A SHUTOFF VALVE WITHIN 6' OF THE APPLIANCE UPSTREAM OF THE UNION AND WITHIN THE SAME ROOM.

NOTE: ALL FASTENERS (I.E.: NAILS, SCREWS, ANCHOR BOLTS, ETC.) WHICH ARE TO BE INSTALLED IN PRESERVATIVE TREATED WOOD (I.E.: SILL PLATES) SHALL MEET THE REQUIREMENTS OF IBC 2304.9.5

COORDINATE W/ FOOTING & FOUNDATION PLAN & FLOOR PLAN FOR ALL HOLDOWN LOCATIONS (TYP.)

COORDINATE W/ SHEARWALL SCHEDULE SHEET S1 FOR ANCHOR BOLT SIZES AND SPACING TYP.

ALL BEAMS, HEADERS, FOOTINGS & STRUCTURE TO BE DESIGNED BY LICENSE STRUCTURAL ENGINEER

INSTALL TWO (2) #4 X 40,000 PSI BARS ON ALL SIDES OF OPENINGS BARS SHALL EXTEND 24" BEYOND THE OPENINGS

DRILL & EPOXY FOOTING & FOUNDATION REINFORCING INTO EXISTING FOOTING & FOUNDATION

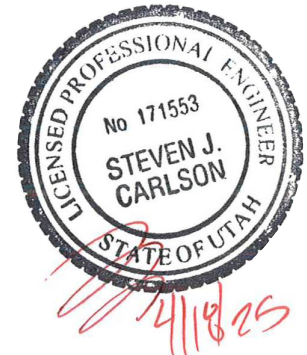
DEPRESS FOUNDATION TO THE BOTTOM OF FLOOR SLAB FOR ALL DOOR OPENINGS TYP.

FOUNDATION REINFORCING SCHEDULE				
TAG	HEIGHT	THICKNESS	VERTICAL REINFORCING	HORIZONTAL REINFORCING
AS NEEDED	2'-0" - 4'-0"	8"	#4 @ 18" O.C.	#4 @ 24" O.C.
	4'-0" - 8'-0"	8"	#4 @ 24" O.C.	#4 @ 24" O.C.
	8'-0" - 9'-0"	8"	#4 @ 16" O.C.	#4 @ 16" O.C.
	9'-0" - 10'-0"	8"	#4 @ 9" O.C.	#4 @ 12" O.C.
	10'-0" - 11'-0"	8"	#4 @ 6" O.C.	#4 @ 12" O.C.
	11'-0" - 13'-0"	8"	#6 @ 10" O.C.	#4 @ 12" O.C.
	13'-0" - 16'-0"	10"	#5 @ 6" O.C.	#4 @ 10" O.C.
	16'-0" - 18'-0"	10"	#6 @ 6" O.C.	#4 @ 6" O.C.

CONCRETE FOOTING SCHEDULE			
TAG	WIDTH	DEPTH	REINFORCING
F-1	20"	10"	2) #4 BARS CONTINUOS
F-2	24"	10"	2) #4 BARS CONTINUOS
F-3	24" X 24"	10"	#4 BARS EQ. EACHWAY
F-4	36" X 36"	12"	#4 BARS EQ. EACHWAY
ALL FOOTINGS TO BE F-1 UNLESS NOTED OTHERWISE			

BASEMENT PLAN

SCALE 1/4"=1'-0"



JB | DESIGN GROUP

www.jb-designgroup.com 801-668-5852

BASEMENT PLAN

DATE: 04-18-2025 JOB #: 230722

PROJECT: **BONNIE FARMER ADDITION** MILLVILLE, UT

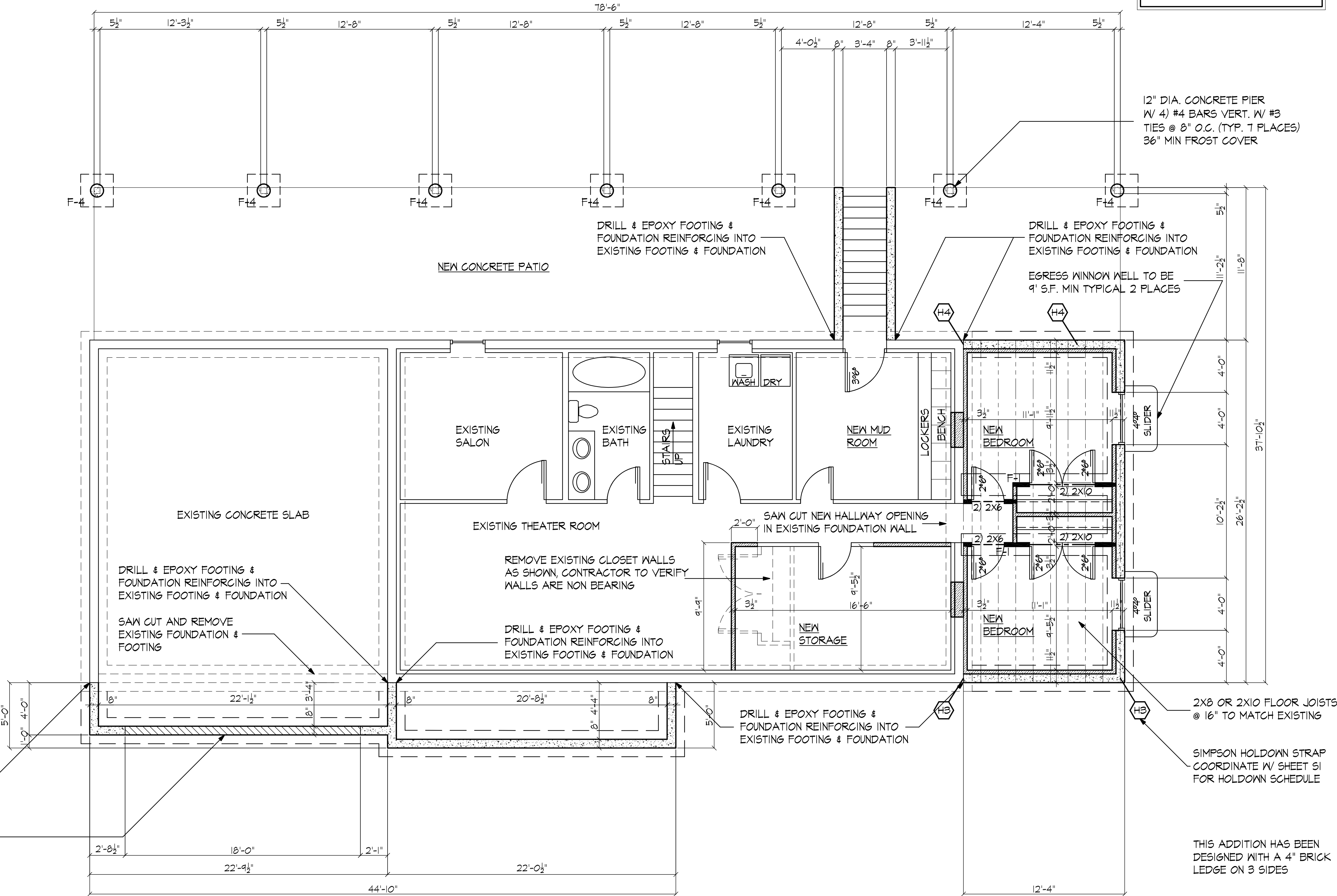
1

WALL LEGEND

EXISTING WALL

REMOVE WALL

NEW WALL



12" DIA. CONCRETE PIER
W/ 4) #4 BARS VERT. W/ #3
TIES @ 8" O.C. (TYP. 1 PLACES)
36" MIN FROST COVER

DRILL & EPOXY FOOTING &
FOUNDATION REINFORCING INTO
EXISTING FOOTING & FOUNDATION

EGRESS WINDOW WELL TO BE
9' S.F. MIN TYPICAL 2 PLACES

DRILL & EPOXY FOOTING &
FOUNDATION REINFORCING INTO
EXISTING FOOTING & FOUNDATION

DRILL & EPOXY FOOTING &
FOUNDATION REINFORCING INTO
EXISTING FOOTING & FOUNDATION

SAW CUT AND REMOVE
EXISTING FOUNDATION &
FOOTING

REMOVE EXISTING CLOSET WALLS
AS SHOWN, CONTRACTOR TO VERIFY
WALLS ARE NON BEARING

DRILL & EPOXY FOOTING &
FOUNDATION REINFORCING INTO
EXISTING FOOTING & FOUNDATION

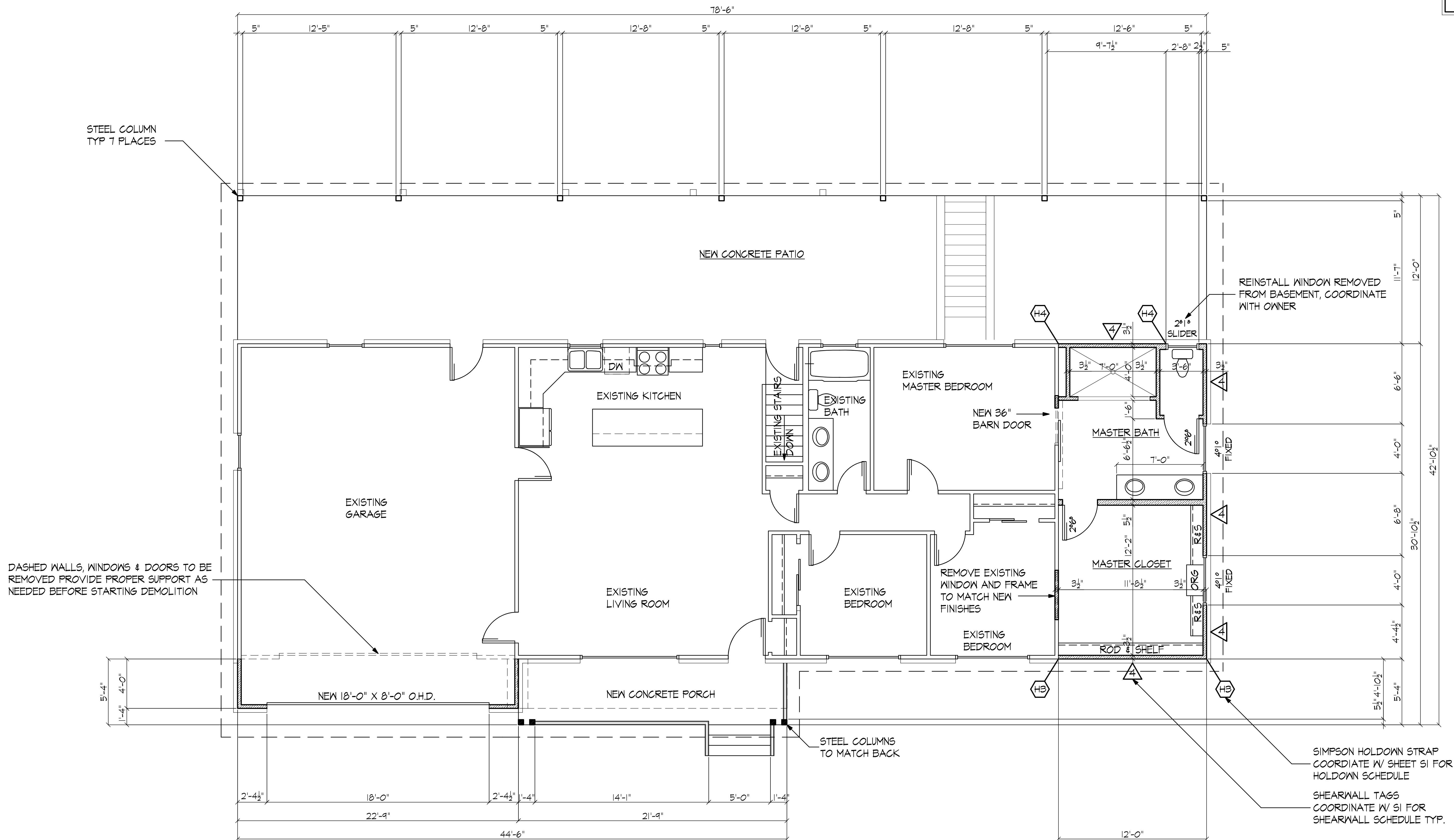
DRILL & EPOXY FOOTING &
FOUNDATION REINFORCING INTO
EXISTING FOOTING & FOUNDATION

2X8 OR 2X10 FLOOR JOISTS
@ 16" TO MATCH EXISTING

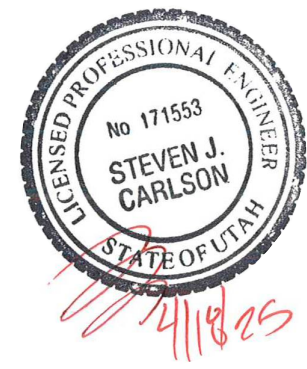
SIMPSON HOLDOWN STRAP
COORDINATE W/ SHEET S1
FOR HOLDOWN SCHEDULE

THIS ADDITION HAS BEEN
DESIGNED WITH A 4" BRICK
LEDGE ON 3 SIDES

WALL LEGEND	
EXISTING WALL	
REMOVE WALL	
NEW WALL	



FLOOR PLAN
SCALE 1/4"=1'-0"

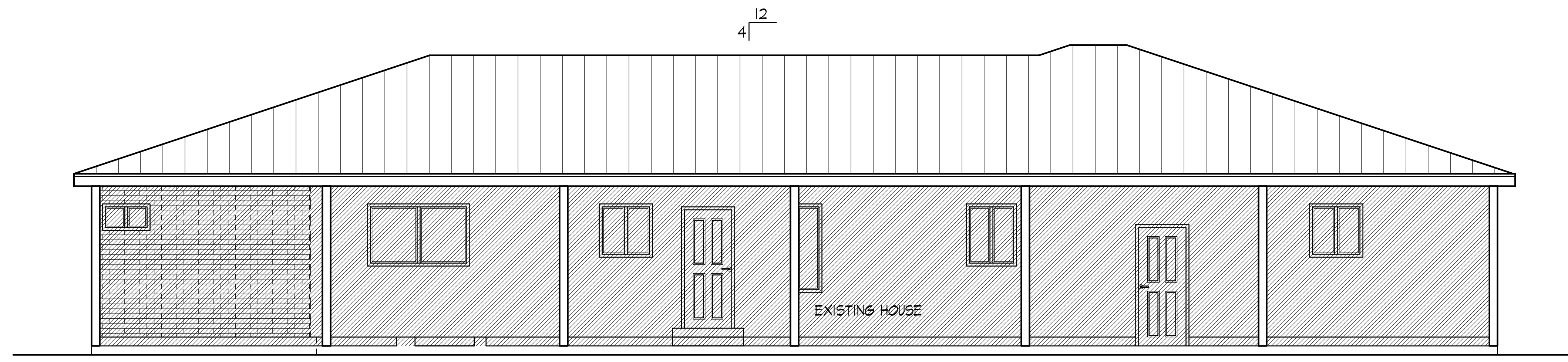


JB DESIGN GROUP

www.jb-designgroup.com 801-668-5852

FLOOR PLAN	
DATE: 04-18-2025	JOB #: 230722
PROJECT: FARMER ADDITION	
259 EAST 300 SOUTH	MILLVILLE, UT

2

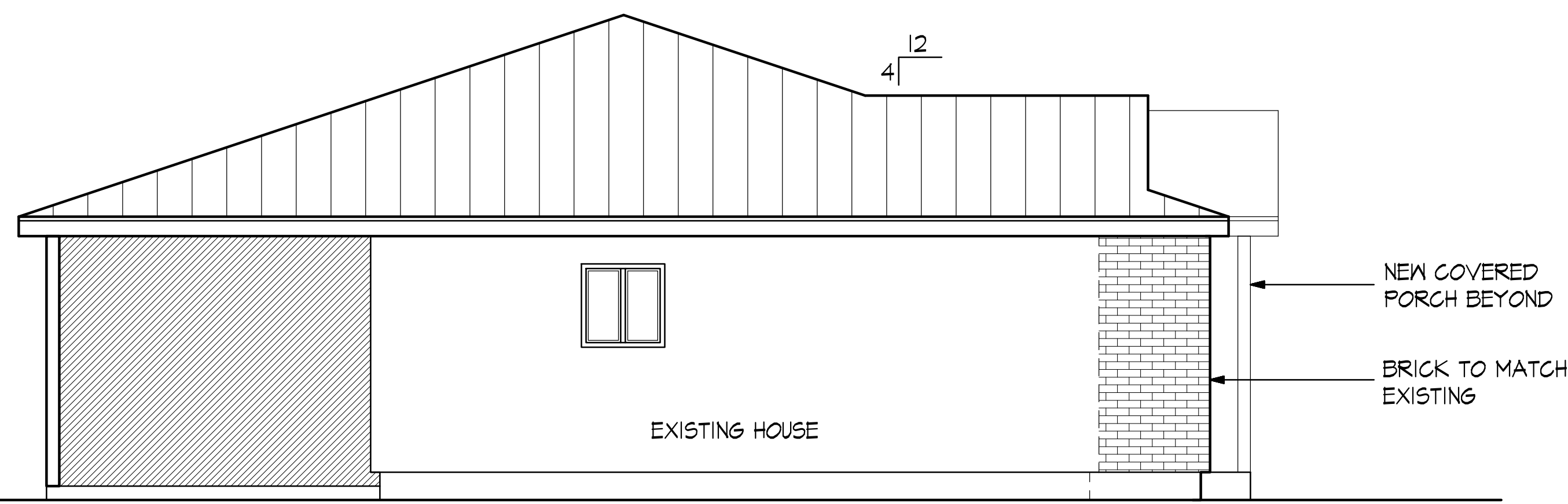


NEW
ADDITION

EXISTING
HOUSE

BACK ELEVATION

SCALE 1/4"=1'-0"

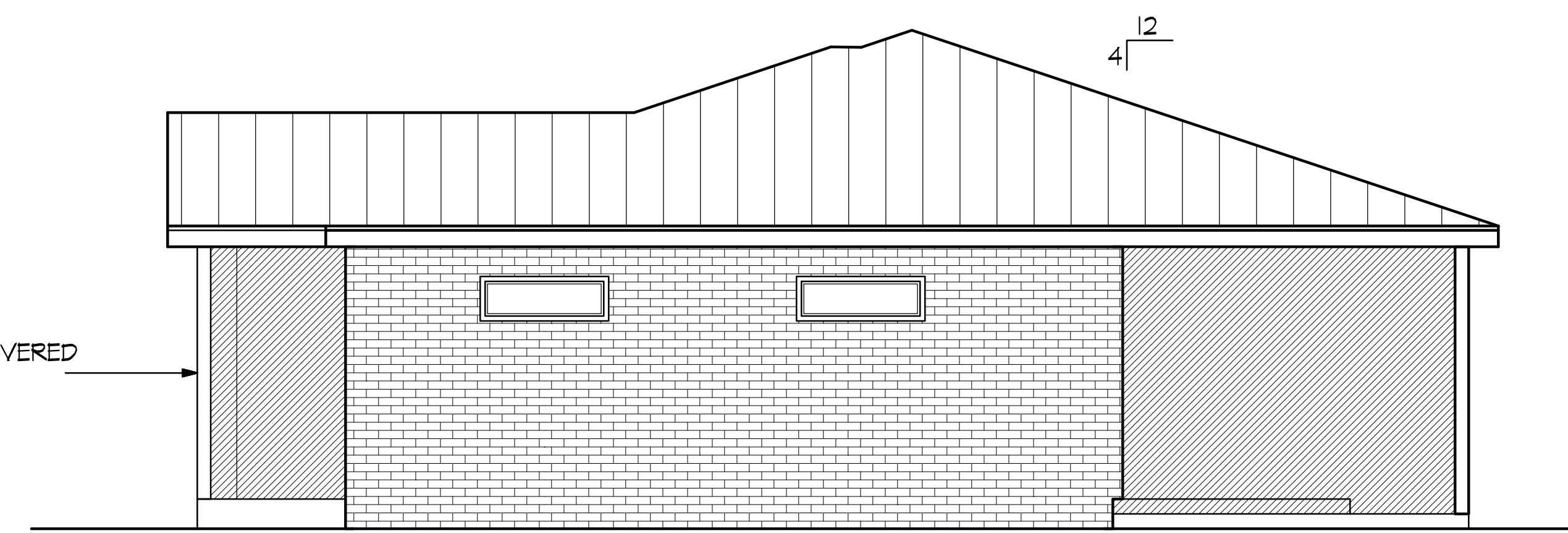


SIDE ELEVATION

SCALE 1/4"=1'-0"

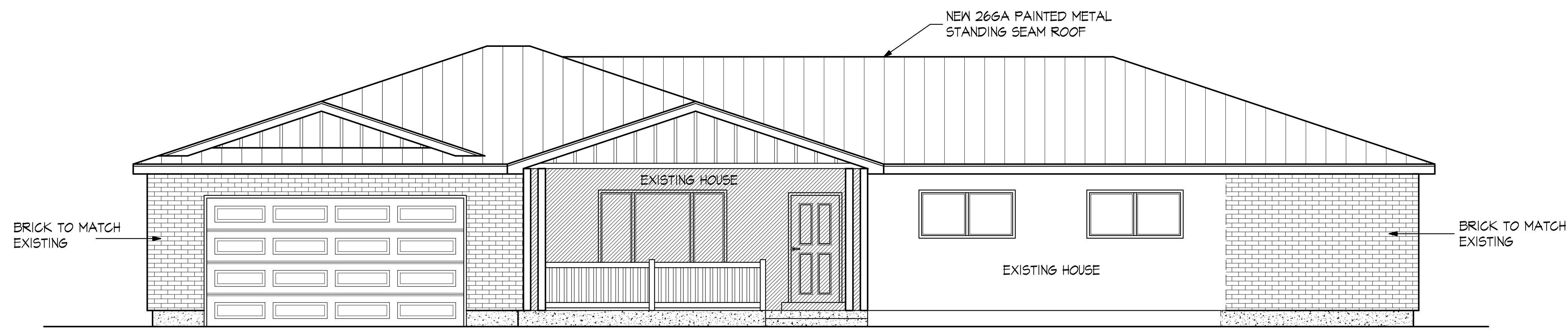
EXISTING
HOUSE

NEW
ADDITION



SIDE ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

EXISTING
HOUSE

NEW
ADDITION

JB DESIGN GROUP www.jb-designgroup.com 801-668-5852		ELEVATIONS	
		DATE: 04-18-2025 PROJECT: BONNIE FARMER ADDITION 259 EAST 300 SOUTH	JOB # 230722 MILLVILLE, UT
		4	

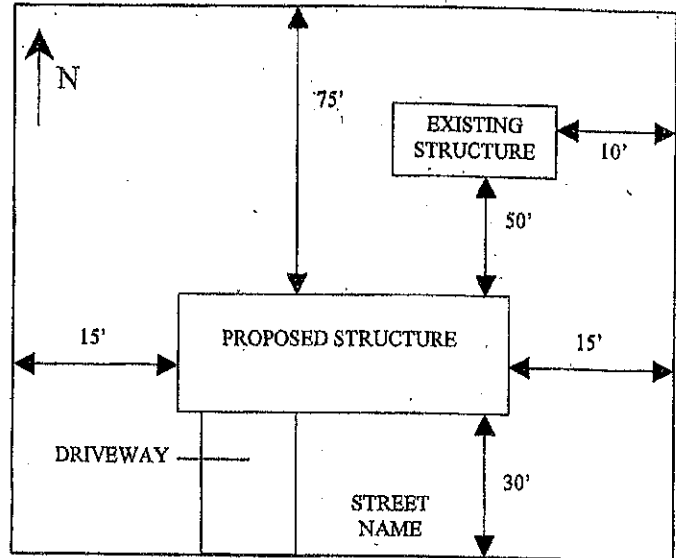


MILLVILLE CITY
ZONING CLEARANCE FOR BUILDING PERMIT
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

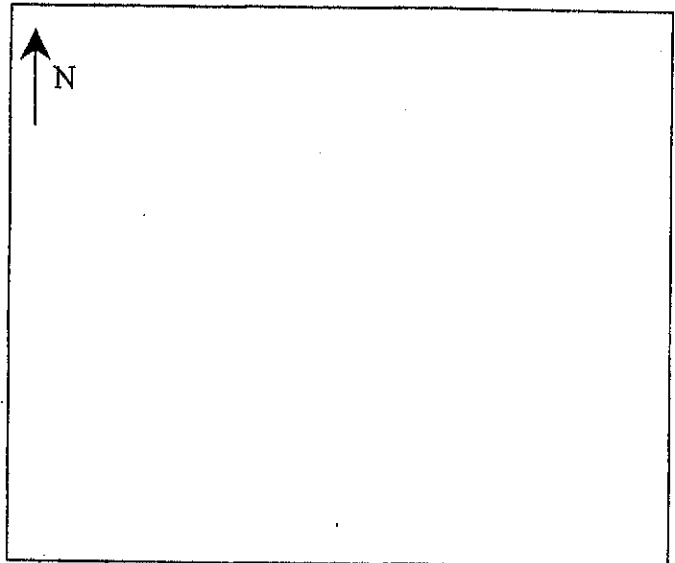
APPLICATION INFORMATION

1. Roger Boundy
APPLICANT'S NAME
2. 345 E. 525 S.
MAILING ADDRESS
3. Providence UT 84332
CITY STATE ZIP CODE
3. (435) 755-5855 4. (801) 641-2956
HOME TELEPHONE BUSINESS TELEPHONE
5. _____
OWNER'S NAME (if different from applicant)
6. home
TYPE OF STRUCTURE
7. 12,809 8. _____
SQUARE FOOTAGE ZONE
9. N/A parcel # 02-129-0014
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 02 - 129 - 0014
TAX IDENTIFICATION NUMBER
11. 350 E 450 N Millville, UT 84326
ADDRESS OF CONSTRUCTION
12. 3.85 13. _____
LOT SIZE LOT ELEVATION
14. SEWER ☒ SEPTIC TANK ☐ N/A ☐
(choose one)
15. CITY WATER ☒ PRIVATE WELL ☐ N/A ☐
(choose one)
16. ELECTRICITY ☒ GAS ☒ OTHER UTILITY ☐
(specify in remarks)
17. height 25'
REMARKS

6. SAMPLE PLOT PLAN
(numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING

DATE

FEES PAID - TREASURER

DATE

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)



Roundy Home

PARCEL ID: 02-129-0014 MILLVILLE, UT 84326

Square Footage

Residence Finished		Unfinished	1,883	Patios and Decks	2,495 (not including west walkout patio and pool deck)
1st Floor	3,342			Garage	3,049
2nd Floor	1,777	Mother-in-law Apt.	853		
Basement	3,124	Sport Court	3,713		
Residence Finished Total			8,243		

SHEET INDEX	
G-1	COVER PAGE
G-2	PERSPECTIVES
A1-1	SITE MANAGEMENT PLAN
A1-2	SITE PLAN
A2-1	SOUTH ELEVATIONS
A2-2	NORTH ELEVATIONS
A2-3	EAST & WEST ELEVATIONS
A3-1	1ST FLOOR PLAN - SIMPLE
A3-2	1ST FLOOR PLAN - SIMPLE
A3-3	2ND FLOOR PLAN - SIMPLE
A3-4	BASEMENT FLOOR PLAN - SIMPLE
A3-5	BASEMENT FLOOR PLAN - SIMPLE
A3-6	1ST FLOOR PLAN - DIMENSIONED
A3-7	1ST FLOOR PLAN - DIMENSIONED
A3-8	2ND FLOOR PLAN - DIMENSIONED
A3-9	BASEMENT FLOOR PLAN - DIMENSIONED
A3-10	BASEMENT FLOOR PLAN - DIMENSIONED
A3-11	FOUNDATION PLAN
A4-1	SECTIONS
A4-2	SECTIONS
A5-1	ROOF PLAN
A5-2	ROOF PLAN
E1-1	1ST FLOOR ELECTRICAL
E1-2	2ND FLOOR ELECTRICAL
E1-3	BASEMENT ELECTRICAL

REVISION TABLE	
#	Description
1	Initial Design
2	Revised Design
3	Revised Design
4	Revised Design
5	Revised Design
6	Revised Design
7	Revised Design
8	Revised Design
9	Revised Design
10	Revised Design
11	Revised Design
12	Revised Design
13	Revised Design

DATE:
3/19/25

SHEET:
G-1



ROGER & JAMIE ROUNDY
02-129-0014 MILLVILLE, UT 84326

Description

DATE:
3/19/25

SHEET:





Roundy Home

ROGER & JAMIE ROUNDY
02-129-0014 MILLVILLE, UT 84326

North Elevations

REVISION TABLE	
#	Date
1	3/19/25
2	3/19/25
3	3/19/25
4	3/19/25
5	3/19/25
6	3/19/25
7	3/19/25
8	3/19/25
9	3/19/25
10	3/19/25
11	3/19/25
12	3/19/25
13	3/19/25

DATE:
3/19/25

SHEET:
A2-2



E3
A2-3 **EAST ELEVATION**
1/8" IN = 1 FT



E6
A2-3 **WEST ELEVATION**
1/8" IN = 1 FT

REVISION TABLE	
#	Description
1	Initial Design
2	Revised Design
3	Final Design
4	Revised Design
5	Final Design
6	Revised Design
7	Final Design
8	Revised Design
9	Final Design
10	Revised Design
11	Final Design
12	Revised Design
13	Final Design

DATE:
3/19/25

SHEET:
A2-3

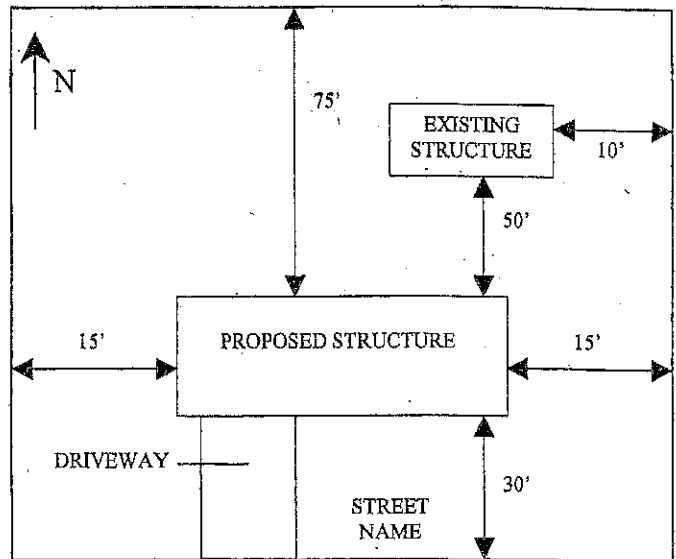


MILLVILLE CITY
ZONING CLEARANCE FOR BUILDING PERMIT
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

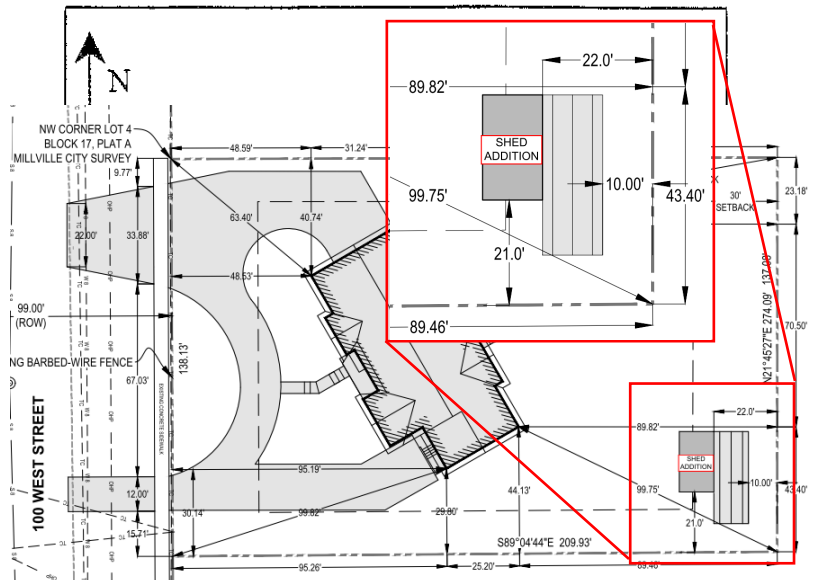
APPLICATION INFORMATION

1. Eric Dursteler
APPLICANT'S NAME
2. 2714 N 300 E
MAILING ADDRESS
3. North Logan Utah 84341
CITY STATE ZIP CODE
4. 435-770-4845 208-866-1393
HOME TELEPHONE BUSINESS TELEPHONE
5. _____
OWNER'S NAME (if different from applicant)
6. Barn-Shed Addition
TYPE OF STRUCTURE
7. 262 8. Residential
SQUARE FOOTAGE ZONE
9. Verna N. Olson Subdivision, Lot 1
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 03 - 029 - 0131
TAX IDENTIFICATION NUMBER
11. 140 N 100 W
ADDRESS OF CONSTRUCTION
12. 0.66 acres 13. 14'-3"
LOT SIZE Bldg Height
14. SEWER ☐ SEPTIC TANK ☐ N/A ☒
(choose one)
15. CITY WATER ☐ PRIVATE WELL ☐ N/A ☒
(choose one)
16. ELECTRICITY ☒ GAS ☐ OTHER UTILITY ☐
(specify in remarks)
17. Electrical power will be run to shed from
REMARKS
house service

SAMPLE PLOT PLAN
(numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING DATE FEES PAID - TREASURER DATE

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)

WORKMANSHIP REQUIRMENTS:

1. THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR TO EXECUTE THE WORK IN A GOOD AND WORKMANLIKE MANNER AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THE SAME.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH, ALL LAWS, ORDINANCES, BUILDING CODES, RULES AND REGULATIONS APPLYING TO THE WORK, INCLUDING, BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT, ENVIRONMENTAL REGULATIONS AND THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED. CONTRACTOR SHALL HAVE CONTROL OVER, AND BE SOLELY RESPONSIBLE FOR, ALL MEANS, METHODS AND SEQUENCES FOR PERFORMING THE WORK.

STORMWATER AND EROSION CONTROL:

CONTRACTOR SHALL DEVELOPE AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY LOCAL CODE - TO BE IMPLEMENTED AND UPDATED FROM THE COMMENCEMENT OF ANY SOIL DISTURBING ACTIVITIES AT THE SITE, UNTIL WORK IS COMPLETE AT THE SITE.

GENERAL FRAMING NOTES:

1. THE CONTRACTOR SHALL USE THE GRADES OF LUMBER SPECIFIED IN THE BEAM SCHEDULES LISTED ON DRAWING. DEEPER, WIDER, OR BETTER GRADES OF LUMBER MAY BE SUBSTITUTED, ANY OTHER CHANGES MUST BE APPROVED BY THE ENGINEER.
2. (2) 2"x10" DF#2 OR BETTER W/FILLER SHALL BE USED FOR ALL LOAD-BEARING WINDOW AND DOOR HEADERS UNLESS NOTED OTHERWISE ON DRAWINGS. TIMBERSTRAND LSL HEADERS MAY BE SUBSTITUTED FOR THE (2) 2"x10" DF#2 OR BETTER.
3. (2) 1-3/4"x9-1/2" LVLs SHALL BE USED FOR ALL HEADERS SUPPORTING A GIRDER TRUSS UNLESS NOTED OTHERWISE ON DRAWINGS.
4. ALL MULTIPLE BEAMS AND HEADERS SHALL BE NAILED USING 2 ROWS OF 16d NAILS @ 12" O.C.
5. USE DOUBLE TRIMMERS TO SUPPORT BEAMS AND HEADERS GREATER THAN 6-FEET UNLESS NOTED OTHERWISE ON DRAWING.
6. THE CONTRACTOR SHALL FOLLOW THE MINIMUM FASTENING SCHEDULE LISTED IN IBC TABLE 2304.9.1.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE 2021 IRC.

MISCELLANEOUS PLAN NOTES:

1. ANY CEILING FANS TO BE INSTALLED WITH LISTED BOX OR SEPARATELY SUPPORTED FROM FRAMING. 2021 IRC SECTION E4103.4. ALL CEILING FANS TO BE INSTALLED WITH LISTED BOX OR SEPARATELY SUPPORTED FROM FRAMING.
2. WATER RESISTANT GYPSUM BOARD USED IN ALL WET LOCATIONS. 2021 IRC SECTION E3807.1.
3. WATER RESISTANT GYPSUM BOARD (GREEN BOARD) SHALL NOT BE INSTALLED OVER A VAPOR BARRIER
4. UNDER STAIR SPACE THAT IS ENCLOSED AND USABLE SHALL HAVE THE WALLS AND CEILINGS 5/8-INCH TYPE X SHEETROCK.
5. PROVIDE FLOOR DRAIN IN LAUNDRY AND UTILITY ROOMS. 2021 IRC SECTION P2719.1.
6. RIM JOISTS SHALL BE PROTECTED WHERE CONCRETE WILL BE POURED AGAINST SUCH.
7. CRICKETS ARE REQUIRED WHERE CHIMNEYS OR OTHER VERTICAL SURFACES INTERSECT SLOPED ROOF AREAS WHICH MAY CREATE WATER, SNOW, OR ICE-DAMMING CONDITIONS.
8. ALL CRICKETS MUST EXTEND PAST EXTERIOR FINISH BY 4-INCHES.
9. STEP FLASHINGS OR FLASHINGS SHALL BE COUNTER FLASHED AT CHIMNEY OR WALL INTERSECTIONS WITH ROOF(S).
10. OCCUPANCY SEPARATION SHALL BE VERTICAL (WALLS FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING) OR HORIZONTAL (CEILING OR FLOOR ABOVE) OR BOTH. WHERE HORIZONTAL, THE STRUCTURAL MEMBERS SUPPORTING THE SEPARATION SHALL BE PROTECTED BY FIRE RESISTIVE CONSTRUCTION. NAILING SHALL BE 6 INCHES O.C. FOR THE CEILING AND 7 INCHES O.C. FOR THE WALLS.
11. OUTLET BOXES OF OPPOSITE SIDES OF FIRE-RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24".
12. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY INSTALLATION OF MATERIALS APPROVED FOR ONE-HOUR FIRE-RESISTIVE CONSTRUCTION APPLIED TO THE GARAGE SIDE. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY INSTALLATION OF MATERIALS APPROVED FOR ONE-HOUR FIRE-RESISTIVE UTAH STATE AMENDMENT TO 2021 IRC SECTION R309.2.
13. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. 2021 IRC SECTION R806.1
14. GLASS, IF INSTALLED IN OR WITHIN 12-INCHES OF DOORS, SHALL BE TEMPERED.

FIRE SAFETY NOTES:

1. ALL BEAMS AND STRUCTURAL MEMBERS SHALL BE PROTECTED WITH 5/8-INCH GYPSUM BOARD. PROTECT ENCLOSED USABLE SPACE UNDER STAIRS WITH 5/8-INCH GYPSUM BOARD.
2. GARAGE FIRE SEPARATION WALLS TO HAVE A MINIMUM OF 1/2" SHEET ROCK, GARAGE CEILING UNDER HABITABLE SPACE TO BE 5/8"-INCH SHEETROCK.
3. GARAGE TO HOUSE MAN DOOR TO BE A MINIMUM 20 MINUTE FIRE DOOR.
4. SMOKE DETECTORS ARE REQUIRED IN ALL HALLWAYS LEADING TO BEDROOM AREAS, IN ALL FURNACE ROOMS, AND IN UNFINISHED BASEMENTS.
5. REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. ALL DETECTORS SHALL BE WIRED "IN SERIES" SO THAT THE ALARM IS AUDIBLE IN ALL SLEEPING AREAS AND ON A SINGLE CIRCUIT BREAKER.
6. FIREBLOCK WALLS AT ALL STAIR STRINGERS.
7. PROVIDE FIREBLOCKING AT ALL STUD CAVITIES THAT ARE GREATER 8'-0".

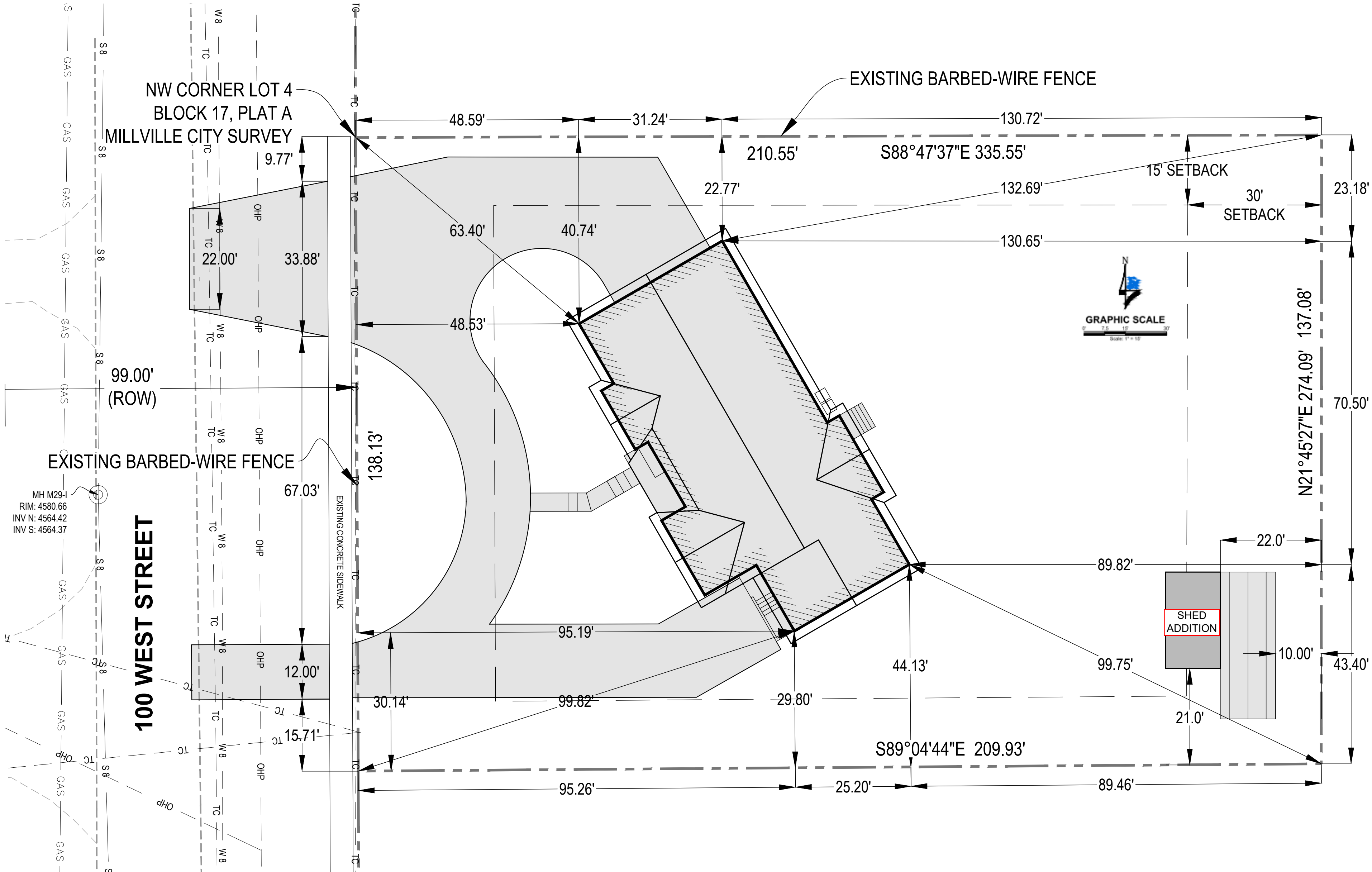
STATE AND LOCAL INSPECTING AGENCIES:

THE SITE OF CONSTRUCTION IS TO BE OPEN AT ALL REASONABLE TIMES AND PLACES FOR PERIODIC OBSERVATION BY ACCREDITED REPRESENTATIVES OF THE FEDERAL, STATE, AND LOCAL AGENCIES WHO HAVE REGULATORY OR SUPERVISORY AUTHORITY OVER ANY PART OF THE WORK PROPOSED OR REGULATED THERETO.

1. WHEN CALLING FOR AN INSPECTION, CONTRACTOR MUST PROVIDE PERMIT NUMBER, ADDRESS, TYPE OF INSPECTION REQUESTED, AND DATE INSPECTION IS NEEDED.
2. WORK IS NOT TO BEGIN BEFORE PERMIT IS ISSUED, AND PLANS MUST BE FOLLOWED AS APPROVED EVEN IF SUCH PLANS EXCEED CODE. THE APPROVED SET OF PLANS AND INSPECTION CARD NEED TO BE ON BUILDING SITE FOR ALL INSPECTIONS.
3. CONTRACTOR SHALL ENSURE THAT ALL ITEMS LISTED HEREUNDER ARE COMPLETE AND READY FOR INSPECTION AS REQUIRED BY THE LOCAL INSPECTING AUTHORITY.

FLOOR SHEATHING:

1. TYPICAL FLOOR SHEATHING SHALL BE 3/4" T&G WAFER BOARD (UNLESS OTHERWISE NOTED) NAILED W/ 8d NAILS @ 6" O.C. ON ALL EDGES, AND @ 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS (ALL FLOOR SHEATHING SHALL BE GLUED IN PLACE; 1/8" SPACING BETWEEN SHEETS FOR EXPANSION).
2. SOLID JOIST BLOCKING REQUIRED AT ALL BEARING POINTS.
3. INSTALL FLOOR SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH END JOINTS STAGGERED.



DAMP PROOFING:

1. DAMP PROOFING IS REQUIRED FOR ALL FOUNDATIONS ENCLOSING BASEMENTS (WHETHER IN WHOLE OR IN PART) BELOW FINISHED GRADE.
2. ALL HONEYCOMBING THAT CANNOT BE COMPLETELY AND FULLY DAMP PROOFED SHALL BE GROUTED BEFORE DAMP PROOFING IS APPLIED.

SOIL EXCAVATION AND GRADING REQUIREMENTS:

1. UNIFIED SOIL CLASSIFICATION: A INDEPENDENT SOILS REPORT HAS NOT BEEN COMPLETED FOR THIS SITE. DESIGN SOIL BEARING PRESSURE IS 1500 PSF (ASSUMED).
2. ALL DESIGN HEREIN IS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL CONCERNS AND/OR HAZARDS FOUND ON-SITE OR SOILS FOUND TO DIFFER FROM ASSUMED BEARING PRESSURE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. ALL ORGANIC OR DELETERIOUS MATERIALS SHALL BE REMOVED FROM BENEATH LOCATIONS OF PROPOSED FOOTINGS, CONCRETE SLABS, AND ASPHALT PAVING.
4. WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY-OPENED POSITION.
5. DOWNSPOUTS SHALL EXTEND OUT AWAY FROM THE FOUNDATION AT LEAST 5-FEET OR INTO AN APPROVED DRAINAGE SYSTEM OR ON SITE PIPING APPROVED BY THE ENGINEER.

ELECTRICAL REQUIREMENTS:

1. MAIN DISCONNECTS ARE REQUIRED ON EXTERIOR OF BUILDING (SEE PLAN FOR LOCATION OF METER BOXES).
2. UFER GROUNDS ARE REQUIRED IN ADDITION TO WATER PIPE GROUNDING. UFER GROUNDS MAY BE USED IN PLACE OF DRIVEN GROUND ROD ELECTRODES (UNLESS LOCAL CODE REQUIRES OTHERWISE).

MECHANICAL REQUIREMENTS:

1. GAS METERS SHALL BE LOCATED PER UTILITY COMPANY REQUIREMENTS AND SHALL BE A MINIMUM OF 3-FEET FROM ELECTRICAL METER PANELS AND PERMANENT AIR VENTS.

PLUMBING REQUIREMENTS:

1. VENTING IS REQUIRED FOR ALL FIXTURE TRAPS AS PER CODE.
2. NO PIPING SHALL BE INSTALLED IN LOCATIONS WHICH MAY BE SUBJECT TO FREEZING.
3. NO COPPER OR LEAD PIPES, FITTINGS, OR FIXTURES ARE PERMITTED/ALLOWED.
4. NO LEAD OR ACID BEARING SOLDERS OR FLUXES ARE ALLOWED FOR POTABLE WATER PLUMBING.
5. PRESSURE REDUCING VALVES MAY BE REQUIRED IF PRESSURE EXCEEDS 80 PSI (CITY TO PROVIDE SYSTEM PRESSURE AT SITE).
6. BACKFLOW PREVENTION IS REQUIRED ON ALL HOSE BIBS, LAWN SPRINKLER SYSTEMS, AND ALL OTHER OUTLETS HAVING HOSE THREADS WHICH HAVE THE POTENTIAL FOR CROSS CONNECTION WITH CITY WATER CONNECTION (AS PER STATE AND LOCAL CODE).
7. EVERY GAS OUTLET SHALL HAVE AN INDIVIDUAL SHUT-OFF VALVE. THE SHUT-OFF VALVE SHALL BE IN THE SAME ROOM AS THE APPLIANCE SERVED, OUTSIDE THE FIREBOX, AND WITHIN 6'-0" OF THE APPLIANCE SERVED.
8. AIR GAP PROTECTION IS REQUIRED ON ALL DISHWASHER DRAIN CONNECTIONS TO THE DRAIN-WASTE-VENT SYSTEM. ONLY SMOOTH DRAIN WASTE PIPE SHALL BE USED.
9. UNFINISHED PLUMBING DRAIN-WASTE-VENT ROUGH-IN SHALL BE PROPERLY VENTED AND CAPPED.
10. ALL PLUMBING VENTS THROUGH THE ROOF TO A MINIMUM OF 3" PIPE. 2021 IRC SECTION P3103.2
11. ALL OUTSIDE OR GARAGE FAUCETS SHALL BE FROST-FREE (PROTECTED) AND MANUFACTURED TO DRAIN WHEN CLOSED.



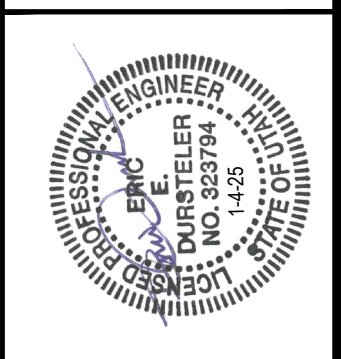
EED	3/6/24
CHANGED LOCATION OF GARAGE DOOR	
ADDED WINDOWS & REMOVE GARAGE DOOR	
NO.	
REVISIONS	
BY	DATE

FORSGREEN Associates, Inc.

95 WEST 100 SOUTH, STE. 115, LOGAN, UT 84321
PH: 435.227.0333 FAX: 435.227.0334

811

Know what's below. Call before you dig.



PROJECT NO.	
DRAWN	
DESIGNED	
APPROVED	
QA/QC	

ATTENTION

LINE IS 2-INCHES AT 24"x36" SIZE IF NOT 2-INCHES. SCALE DRAWING ACCORDINGLY

E&M DURSTELER

140 NORTH 100 WEST
MILLVILLE, UTAH

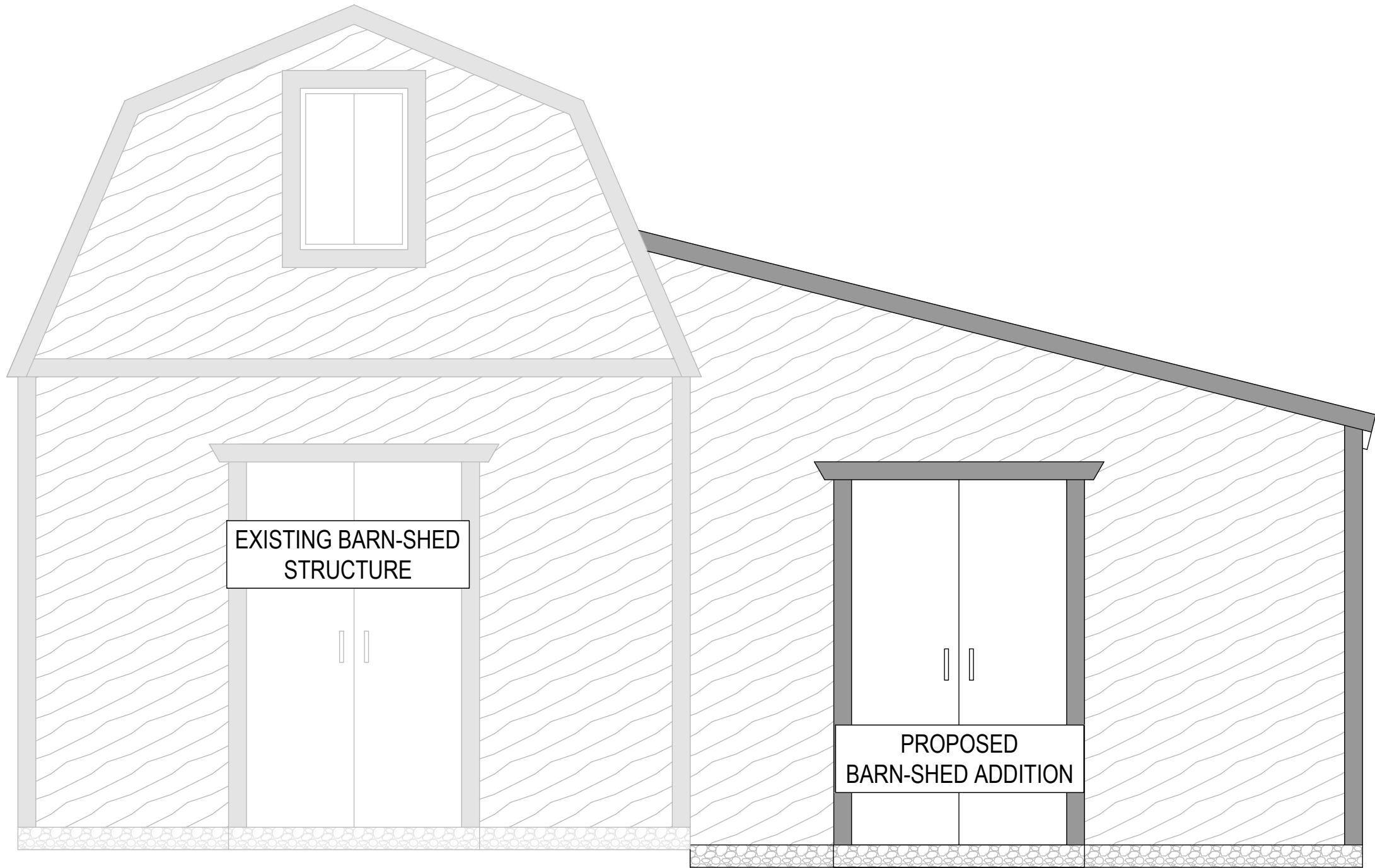
SHEET ID:	GENERAL NOTES & SITE PLAN
DATE:	04-2025
PAGE NO:	1 of 2

SHEATHING SCHEDULE		
TYPE	THICKNESS	
ROOF	7/16" OSB (24/16) SPAN RATING)	
1.	SHEATHING PERPENDICULAR TO SUPPORTS	
2.	8D COMMON NAILS @ 6" O.C. FOR EDGES; @ 12" O.C. FOR FIELD	
3.	NAILING SHALL BE NO CLOSER THAN 3/8" FROM PANEL EDGE	

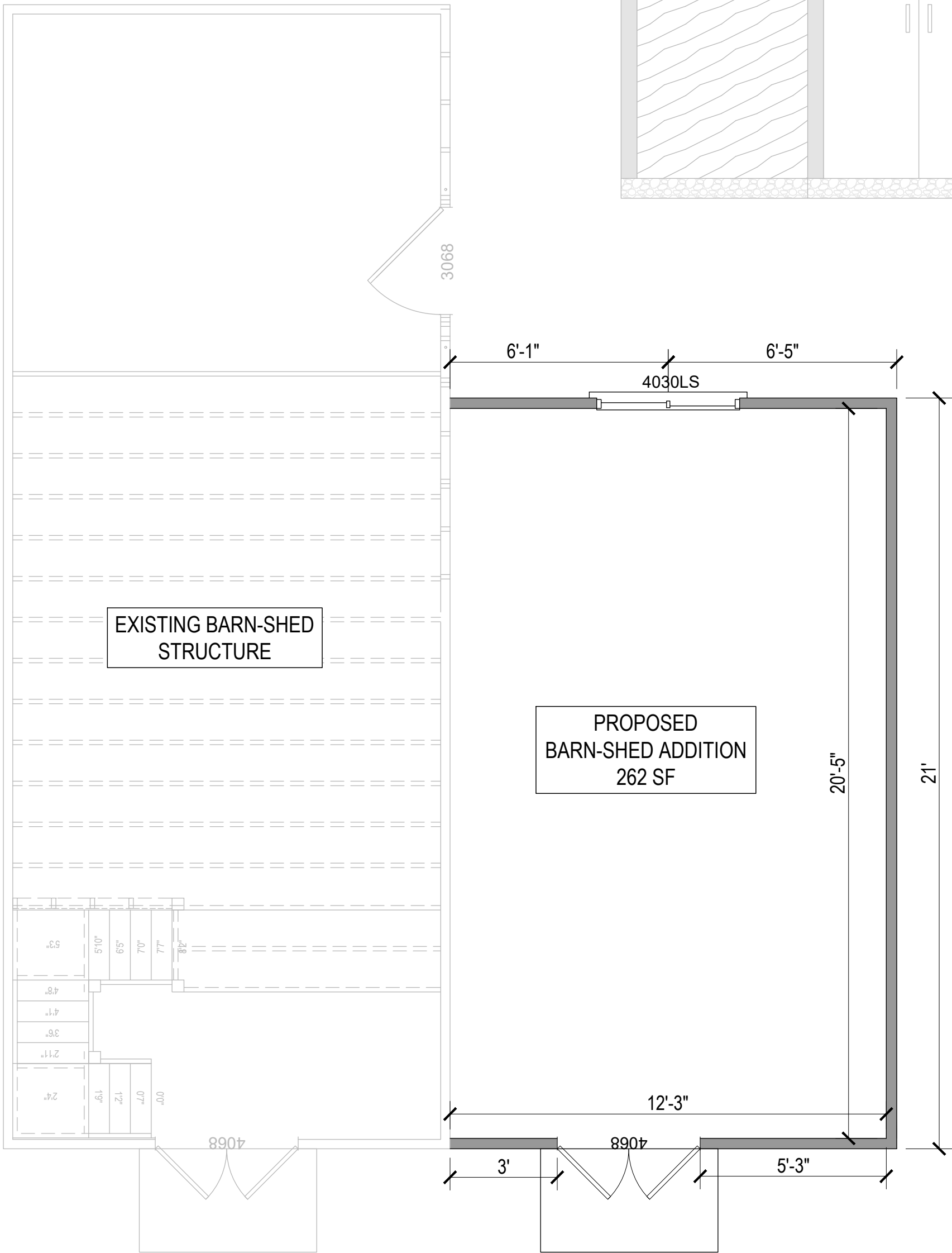
IBC 2304.9.1 Fastener requirements.
Connections for wood members shall be designed in accordance with the appropriate methodology in Section 2301.2. The number and size of fasteners connecting wood members shall not be less than that set forth in Table 2304.9.1.

TABLE 2304.9.1 FASTENING SCHEDULE

CONNECTION	FASTENING	LOCATION
#31. Wood structural panels and particleboard Subfloor, roof and wall sheathing (to framing)	1/2" and less	6d ¹
		2 3/4" x 0.113" nail ¹
		1 3/4" 16 gage ²
	1 3/32" to 3/4"	8d ² or 6d ²
		2 3/8" x 0.113" nail ²
		2" 16 gage ²
		8d ²
		1 3/8" to 1"
	1 1/8" to 1 1/4"	10d ² or 8d ²

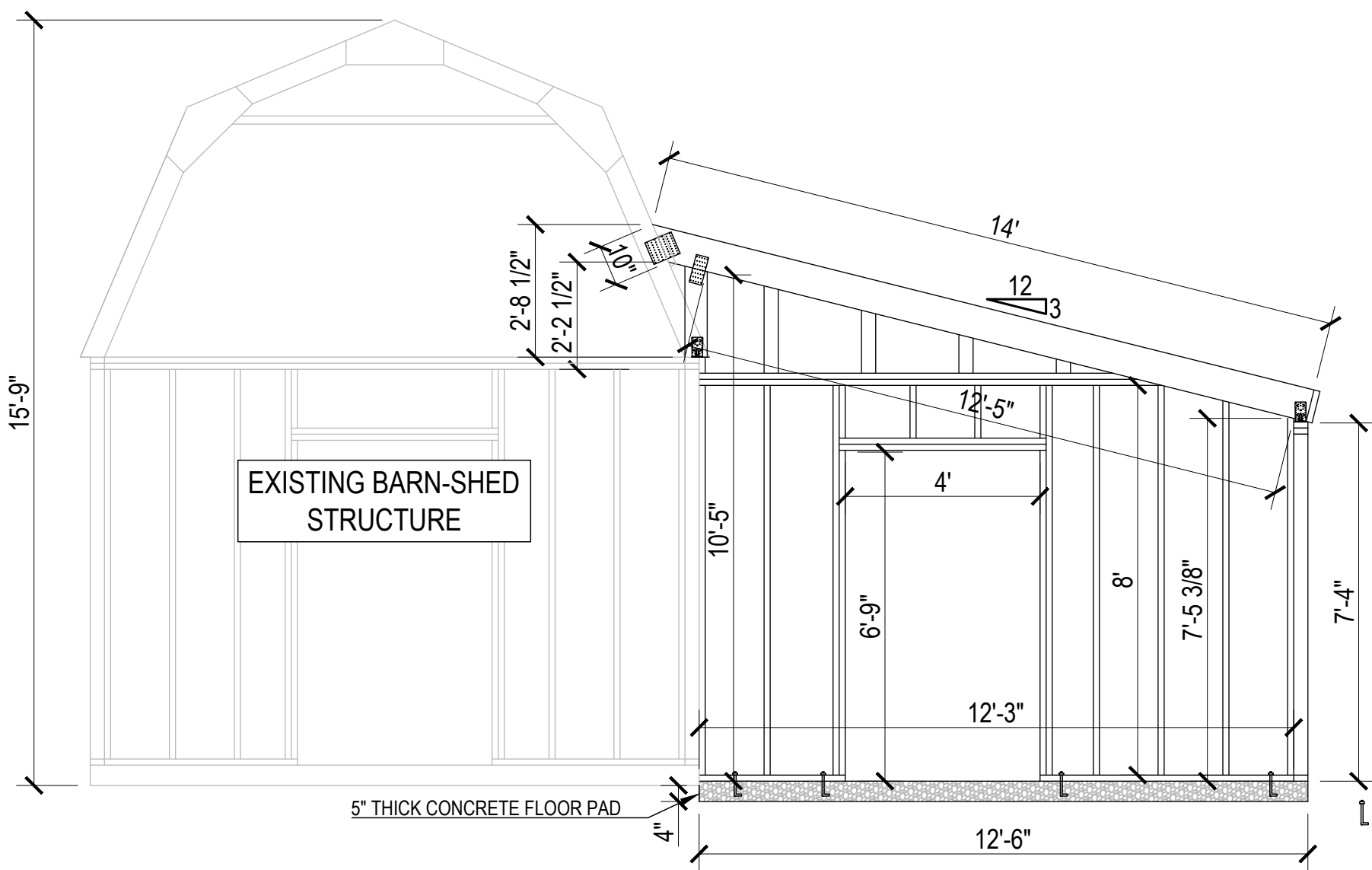


FRONT ELEVATION
N.T.S.

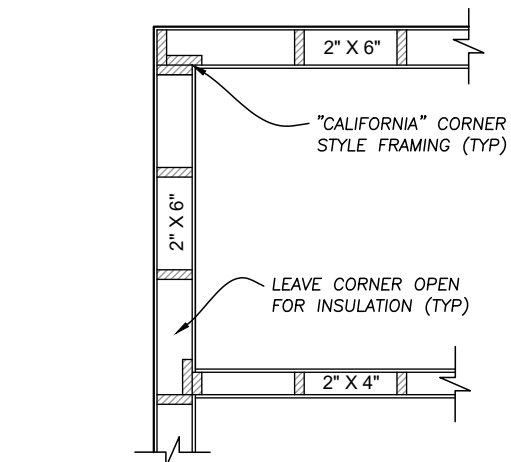


BARN-SHED ADDITION - PLAN VIEW
SCALE: 1" - 3'

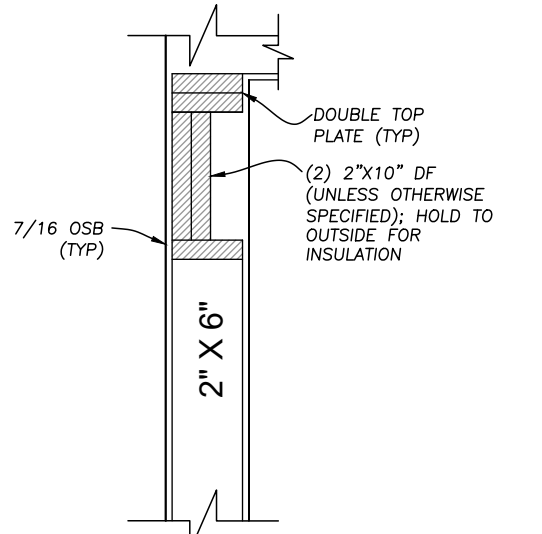
FRAMING NAILING SCHEDULE*		
CONNECTION DESCRIPTION	NAILING:	NOTES:
1. JOIST TO TOP-PLATE OR BEAM:	(2) 16D	TOENAIL
2. BLOCKING (BLKG) TO SILL OR BEAM:	16D @ 4" O.C.	TOENAIL
3. SILL TO JOIST, RJ, BLOCKING, BEAM -> FLOOR:	16D @ 4" O.C.	FACE NAIL
4. TOP OR SILL PLATE-TO-STUD:	(2) 16D	FACE NAIL
5. BUILT-UP (MULTIPLE) STUDS / COLUMNS:	16D @ 16" O.C.	FACE NAIL
6. DOUBLE TOP PLATE LAP:	16D @ 4" O.C.	FACE NAIL
7. DOUBLE TOP PLATE INTERSECTION LAP:	(2) 16D	FACE NAIL
8. HEADERS, BEAMS, GIRDERS BUILT-UP (MULTIPLE):	(2) 16D @ 16" O.C.	FACE NAIL
9. OSB SHEATHING (PANELS) TO 2X WALL FRAMING:	8D @ 6" O.C.	EDGE NAIL
- NAILING FOR BUILT-UP / MULTIPLE STUDS, HEADERS, BEAMS, GIRDERS SHALL BE STAGGERED.		
- ALL FASTENERS WHICH ARE TO BE INSTALLED IN TREATED WOOD SHALL MEET THE REQUIREMENTS OF IBC 2304.10.		
*UNLESS OTHERWISE NOTED		



FRONT ELEVATION - FRAMING PLAN
SCALE: 1" - 3'

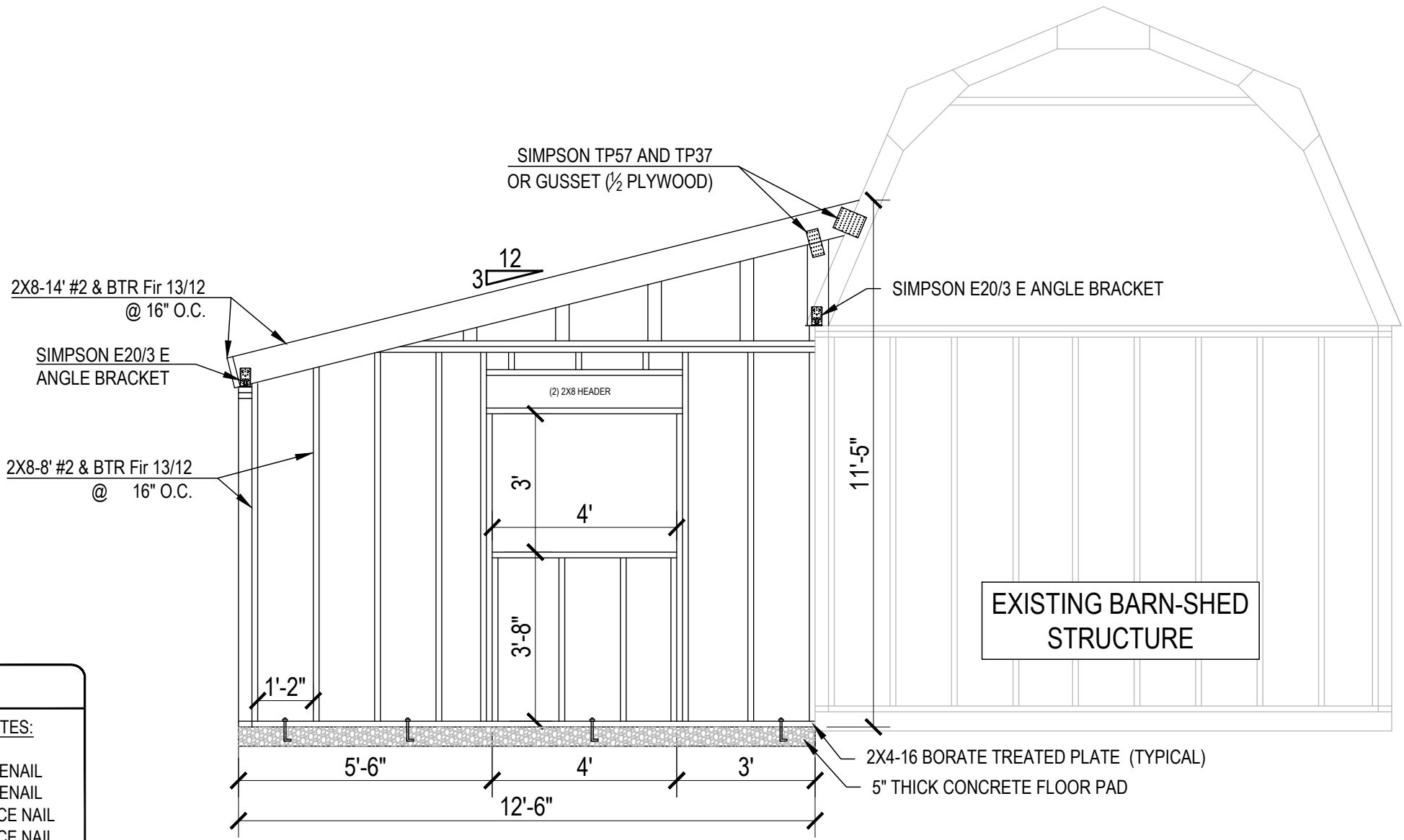


CORNER WALL FRAMING
DETAIL
SCALE 1/2" = 1'-0"

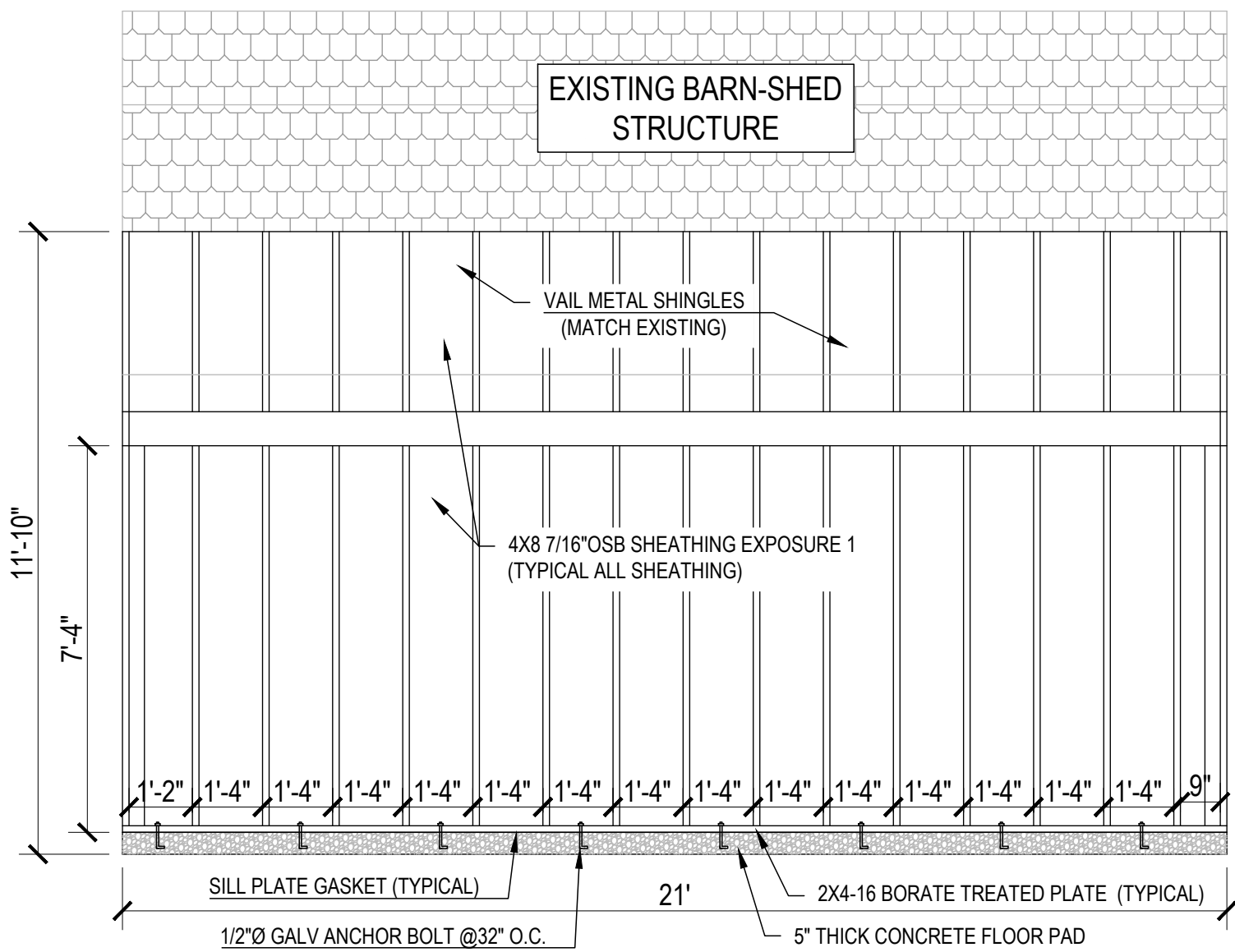


TYPICAL HEADER
DETAIL
SCALE 1" = 1'-0"

TABLE OF EQUIVALENT FASTENERS				
NAIL SIZE	NAIL SPACING	MINIMUM STAPLE SPACING		
		14 GA.	15 GA.	16 GA.
8D	12"	12"	10"	8"
	10"	10"	8"	6-1/2"
	6"	6"	5"	4"
	4"	4"	3-1/2"	2-1/2"
	3"	3"	2-1/2"	1-1/2"
10D	12"	9-1/2"	8"	6-1/2"
	10"	8"	7"	5-1/2"
	6"	5"	4"	3-1/2"
	4"	3"	2-1/2"	2"
	3"	2-1/2"	2"	1-1/2"
NOTE: ALL STAPLES SHALL NOT BE LESS THAN 2"-LONG (MINIMUM)				



REAR ELEVATION - FRAMING PLAN
SCALE: 1" - 3'



WEST ELEVATION - FRAMING PLAN
SCALE: 1" - 3'

PROJECT NO. _____
DRAWN _____
DESIGNED _____
APPROVED _____
QA/QC _____

ATTENTION

LINE IS 2-INCHES
AT 24"x36" SIZE
IF NOT 2-INCHES,
SCALE DRAWING ACCORDINGLY

E&M DURSTELER

140 NORTH 100 WEST
MILLVILLE, UTAH

SHEET ID:
BARN-SHED
ADDITION

DATE:
04-2025

PAGE NO.
2 OF 2

FORSGREN
Associates, Inc.

95 WEST 100 SOUTH, STE. 115, LOGAN, UT 84321
PH: 435.227.0333 FAX: 435.227.0333

811

Know what's below.
Call before you dig.

PROFESSIONAL ENGINEER
E&M DURSTELER
NO. 233794
EXPIRATION DATE 12/31/2025

CHANGED LOCATION OF
GARAGE DOOR
ADDED WINDOWS &
REMOVE GARAGE DOOR

EED 3/6/24
EED 3/27/24

NO. _____
REVISIONS
BY _____
DATE _____

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