



CITY COUNCIL MEETING

Thursday, May 01, 2025 at 6:30 PM
Council Chambers, 60 West Main, Hyrum, Utah

AGENDA

Public notice is hereby given of a Hyrum City Council Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, May 01, 2025. The proposed agenda is as follows:

1. **ROLL CALL**
2. **CALL TO ORDER**
3. **WELCOME**
4. **PLEDGE OF ALLEGIANCE**
5. **INVOCATION**
6. **APPROVAL OF MINUTES**
7. **AGENDA ADOPTION**
8. **PUBLIC COMMENT**
9. **SCHEDULED DELEGATIONS**
 - A. [Kaylie Arnold - To request approval of a Home Occupation Business License for Kaylie Arnold Nail Studio at 811 West 20 North.](#)
 - B. [Jesse Elsmore, Jardine Builders, LLC - To request site plan approval for Market 1860 for two \(2\) two-story mixed-use buildings located at 139 West Main Street & 127 West Main Street, consisting of 0.96 acres.](#)
 - C. [Cory Waddoups, Unreasonable Capital Hyrum - To request approval to an amendment of the Final Plat for Harvest Valley Court P.U.D. consisting of 28 townhouses located at approximately 43 North 300 East to align its east boundary with Hyrum City's right-of-way.](#)
 - D. **Luke Schmid, Assistant Fire Chief** - To discuss Hyrum City authorizing a fire truck to be deployed on wildland fires.
10. **INTRODUCTION AND APPROVAL OF RESOLUTIONS AND ORDINANCES**
 - A. [Resolution 25-10 - A resolution amending the Design Standards and Construction Specifications for Power and Light Construction in Hyrum City.](#)
 - B. [Resolution 25-11 - A resolution amending Section XVI.5. Retirement and Section XVI.6. Cell Phone Reimbursement of the Personnel Policies and Procedures Manual for Hyrum City Corporation to provide a maximum of 2.5% 401k match for all benefited employees, and to set a stipend for city cell phone use.](#)

- C. [Resolution 25-12 - A resolution declaring certain Hyrum City equipment as surplus and ordering the sale or disposal thereof.](#)

11. OTHER BUSINESS

- A. Presentation of the 2025-2026 Operating Budgets.
- B. Set date for a Budget Workshop.
- C. [Budget Report.](#)
- D. Mayor and City Council reports.

12. ADJOURNMENT

Stephanie Fricke
City Recorder

Council Members may participate in the meeting via telephonic communication. If a Council Member does participate via telephonic communication, the Council Member will be on speakerphone. The speakerphone will be amplified so that the other Council Members and all other persons present in the Council Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City at 435-245-6033 at least three working days before the meeting.

CERTIFICATE OF POSTING - The undersigned, duly appointed and acting City Recorder of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was emailed to The Herald Journal, Logan, Utah, posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this **28th day of April, 2025**. Stephanie Fricke, MMC, City Recorder.

**BUSINESS LICENSE APPLICATION**Business Name: Kaylie Arnood Nail StudioDoing Business As: Kaylie Arnold Nail StudioBusiness Address: 811 W 20 NBusiness Phone: 8017065290E-mail: king.kaylie23@gmail.com Fax No. Mailing Address: 811 W 20 NCity, State, Zip: Hyrum, UT 84319State Tax ID: 33-3280216 State Lic.# 14540126-0160Nature of Business: Nail SalonOwner Name: Kaylie ArnoldManager Name: Kaylie Arnold Manager Phone: 8017065290Manager Address: 811 W 20 N

I certify that I am authorized agent for the above named business, and that all information is true and correct.

Kaylie Arnold 02/10/2025Signature Date

Office Use OnlyApproved by: Date Approved: Acct.# Date Paid: Amount: Receipt #:



60 West Main Street
Hyrum, Utah 84319
435-245-6033
www.hyrumcity.com

HOME OCCUPATION BUSINESS LICENSE APPLICATION

For businesses operating within a residence in Hyrum City limits.

Applicant(s) Name: Kaylie Arnold

Date Submitted: 02/10/2025

Address: 811 W 20 N

Telephone #: 801-706-5290

Name of Business: Kaylie Arnold Nail Studio

1. What is the proposed home occupation? Nail Salon

2. How many clients will be coming to the home at any one time during a daily interval?
one

3. What provisions are available for off street parking? my entire driveway

4. What type of equipment, materials, machinery, tools, and merchandise stock are involved in the home occupation? e-file, air purifier, dust collector, LED/UV light, xgel polish and brushes, merchandise will be jewelry, lotions and cuticle oil

5. What type of modifications to the residential structure are anticipated because of the home occupation? none

ALL HOME OCCUPATIONS MUST COMPLY WITH THE FOLLOWING REQUIREMENTS OF
ZONING ORDINANCE 5.04.200 (please initial)

KA A. "Home occupation" means an occupation performed wholly within a residence or the yard and accessory buildings being a part of such residence. Home occupations shall not change the character of the residence or the residential neighborhood. A business license is required for some home occupations. They shall be issued for a one-year period and are renewable. The City Council may

review a license in reaction to neighbor's complaints and may revoke it if evidence warrants this action.

__KA__ B. Two levels of home occupations exist. Both are required to maintain all of the standards of a home occupation business license. Because of the potential negative impact on residential area, the following businesses are prohibited as home occupations: auto/RV repairs, salvage yards, major appliance repair, or service.

__KA__ C. Level one applicants are in occupation categories that the City Council has determined have virtually no negative impact on residential neighborhoods and do not require a license. Occasional businesses operated by a minor are not required to obtain a business license.

__KA__ D. All applicants whose home occupations receive commercial delivery service, has signage advertising the business, performs services in view or hearing of the public, or has customers coming to the residence, are considered level two home occupations and require a license. They also may be required to meet with the City Council and explain how their home occupation is in conformance with the home occupation standards. The City Council may attach limitations or conditions to their licenses.

E. Home occupation standards:

__KA__ 1. The exterior of the home will not be modified in any way to accommodate the home occupation (i.e. loading ramps, loading doors, etc).

__KA__ 2. The occupation will be conducted entirely within the house, yard, and existing outbuildings.

__KA__ 3. The home occupation license covers only residents of the home.

__KA__ 4. No outside storage of goods or materials is permitted.

__KA__ 5. Pedestrian and vehicular traffic will not be in excess of that normally associated with a residential neighborhood.

__KA__ 6. One sign will be permitted on the property. It must meet the requirements of 17.72.010 "Name Plate".

__KA__ 7. The home occupation must be operated in full conformity with fire, health, building, electrical, plumbing codes, and all State and City laws and ordinances.

__KA__ 8. No noise, odor, light, vibrations or dust in excess of that normally associated with a residential neighborhood shall pass beyond the premises.

__KA__ 10. State licenses will be required for "Professional Child Care".

__KA__ F. The City Council may, at their discretion, waive certain of the above standards for the elderly or handicapped.

In order to guarantee that the Home Occupation, once authorized, will not become a nuisance to the neighbors, the City Council may impose other reasonable conditions initially and also subsequently to protect the public health, safety, peace, and welfare of the residents of the surrounding area.

Applicant's Affidavit: I (we), __Kaylie Arnold__, affirm that I (we) am (are) the owner(s) or authorized agent(s) of the owner of property involved in the attached application and that the statements and answers therein contained and the information provided in the attached plans and other exhibits are complete, to the best of my (our) knowledge and, that the statements and information above referred to are in all respects true

and correct to the best of my (our) knowledge and belief.

Section 9. Item A.

Property Owner(s) Signature: _____Kaylie Arnold_____

Applicants Signature: _____*Kaylie Arnold*_____



MEMORANDUM

TO: Mayor Miller, City Council Members

FROM: Tony Ekins, City Planner

SUBJECT: Jesse Elsmore, Jardine Builders, LLC – To request site plan approval for two (2) two-story mixed-use buildings located at 139 West Main Street & 127 West Main Street, consisting of 0.96 acres.

DATE: April 28, 2025

CITY COUNCIL MEETING: May 1, 2025
CITY COUNCIL ROLE: Administrative
APPLICATION TYPE: Site Plan Approval

NATURE OF REQUEST:
 Permitted Use: Mixed Use Commercial.

OVERVIEW:

On January 28, 2025, Hyrum City received an application for Site Plan Approval for The Market 1860 project which includes two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The footprint of each building is planned at 40-feet by 70-feet. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter. The second level in each building will consist of six and seven short-term hotel style residential units with single and double-bed units. Each building will also include a common laundry facility on the same floor.

On March 27, 2025, the Planning Commission recommended approval of the mixed-use to the City Council for the main level commercial space and second level short-term hotel style residential units, as the *Hotel or Motel* use is specifically defined and permitted in the Commercial Zone C-2:

HCC 17.04.020 Definitions

Hotel or motel - “Hotel” or “motel” means any building which is designed to offer temporary abiding space to individuals and family. To be classified as a hotel or motel, it shall contain individual guest rooms and provide services such as linens and furnishings.

HCC 17.45.020 Use Regulations

A. Permitted Uses:

4. Hotel or motel

PLANNING COMMISSION RECOMMENDATION:

On February 13, 2025, the applicant presented to the Planning Commission a request for site plan approval. The Planning Commission recommended the requestor to respond to staff evaluation first review comments and schedule a second meeting. On March 27, 2025, the Planning Commission held a second meeting and made a motion to recommend approval to the City Council (4-0 Vote) for site improvements, first-level commercial, and second-level short-term hotel based on applicant submittals, staff evaluations, staff comments are addressed, and ADA parking requirements are accommodated. On April 21, 2025, the City received updated documents with responses to Staff Comments, and updated Scope Narrative that redefined second levels in each building as “Hospitality Boutique Units”.

CITY COUNCIL RESPONSIBILITY:

1. The City Council should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.
2. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission for significant revisions.

STAFF RECOMMENDATION:

1. Hyrum City Code does not describe “Hospitality Boutique Units” and staff recommends the City Council have a thorough discussion to determine if “Hospitality Boutique Units” meets the qualifying Hotel or motel requirements as defined in HCC 17.04 Definitions and HCC 17.45 Commercial Zone C-2.
2. Parcels 01-050-0023 and 01-050-0024 be combined and recorded to the Cache County Recorder’s Office as one (1) parcel prior to issuance of building and sign permits.
3. Recommends the new water meters be in a manifold vault design as illustrated in Hyrum City Construction Standards.
4. See City Engineers recommendations in attachments in blue text.

STIPULATIONS:

1. Approval of the site plan shall be effective for one (1) year from the date of final approval by the City Council. If construction has not begun during that period, or an extended by the City Council, the site plan approval is void and applicant shall be required to submit a new site plan for review and approval subject to the then existing provisions of this code as regulated by HCC 17.08 Administration and Enforcement.
2. Changes in use from those approved by this Site Plan Approval will require a site plan or site plan waiver as regulated by HCC 17.08 Administration and Enforcement.
3. The applicant will submit and obtain a building permit as regulated by HCC 15.08 Building and Construction.
4. The applicant will submit and obtain a sign permit as regulated by HCC 17.72 Signs.

FINDINGS OF FACT:

1. The property is located in the Commercial Zone C-2.
2. Mixed Commercial Uses are a permitted use in the Commercial Zone C-2.

ATTACHMENTS:

1. Staff Evaluations March 25, 2025/February 13, 2025 with updated Applicant Submittals:
2. Storm Water Calculations: Received April 21, 2025



PLANNING COMMISSION STAFF EVALUATION – SECOND REVIEW

APPLICATION NO: 25-002A

APPLICANT: Jesse Elsmore, Jardine Builders, LLC

PROPERTY OWNER: Andrea Nielsen / John Kimball Jr & Virginia Francis

PROPERTY ADDRESS: 139 West Main Street & 127 West Main Street

PARCEL NUMBER: 01-050-0023 & 01-050-0024

PARCEL AREA: 01-050-0023 = .33 Acres / 01-050-0024 = 0.63 Acres (0.96 Acres)

ZONE: Commercial Zone C-2

DATE: March 25, 2025

PLANNING COMMISSION MEETING:

March 27, 2025 (Special Meeting)

PLANNING COMMISSION ROLE:

Recommending Body to City Council

APPLICATION TYPE:

Site Plan Approval

NATURE OF REQUEST:

Permitted Use: Mixed Use Commercial.

CURRENT ZONING DISTRICT:

Commercial Zone C-2: The C-2 Downtown Mixed-Use Zone is designed to preserve the mixed-use nature and feel of downtown Hyrum, providing for office, commercial, and residential uses within a mixed-use setting. A major objective of the C-2 Downtown Mixed-Use Zone is to create aesthetically pleasing streetscapes with landscaping that buffers sidewalks from major vehicular traffic ways, landscape features, recreational amenities, and social gathering areas that promote a walkable community.

OVERVIEW:

(updated). The applicant would like to develop the property with two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter. See Applicant's Scope Narrative additional site improvements.

UTILITIES: Existing Power, Sewer, Water, Irrigation servicing 127 West Main Street are for a Single-Family Residential Home. Upgrades will need to be built/installed.

STAFF COMMENTS:

Requestor responses in red

Planning and Zoning:

1. The Planning Commission recommend site plan approval to the City Council based on the applicants compliance with staff evaluations and staff comments, applicant

submittals, and any additional Planning Commission recommendations. The City Council can require revisions as necessary.

- *Understood*
- 2. The dwelling unit(s) in each building engage the following code requirements to require a separate sewer lateral to each building for a total of two (2) sewer laterals:
 - a. Hyrum City Code 17.04.070 Definitions: "Dwelling unit" means one or more rooms in a dwelling, apartment hotel or apartment motel, designed to be occupied by one family for living and sleeping purposes.
 - b. Hyrum City General Requirements and Specifications for Sanitary Sewer Installations 5.2.1.C. Design Regulations: Each dwelling unit shall be served by an individual lateral.
 - c. *(Reference Sewer Department Comment #1 in Staff Evaluation First Review)*
- *Separate sewer laterals have been provided and a 3rd was added for the first floor commercial units in the East building where potential restaurant spaces may be built-out*

Engineering:

1. See attached comments contained on Site Plan – Second Review.
 - *Comments and subsequent direction from the City have been incorporated in this update of the Site Plan*
2. Provide stormwater calculations and data. Table A was not provided in the submittal, see Engineering comments on sheet: 2 of 10.
 - *Storm water calculations are included with this Site Plan update*
3. The utility plan is lacking information, see Engineering comments on sheet: 2 of 10.
 - *Utility plan has been updated to include 8-inch water lateral and 4 water meters*
4. Streetscape requirements are not being shown as required by Hyrum City Code 17.45.090 Streetscape Features.
 - *Project consists of a 165-foot street frontage which requires 6 streetscape features (1 for every 30 feet). Site plan includes and calls out the following streetscape features: 2 trees, 2 park benches, and 2 planter areas, 1 existing street lamp*

Sewer Department:

1. Each dwelling unit shall be served by an individual lateral per Construction Standard 5.2.1.C. Drawings show one shared lateral for two dwellings which is not to standard. *(Reference Sewer Department Comment #1 in Staff Evaluation First Review)*
 - *Separate sewer laterals have been provided and a 3rd was added for the first floor commercial units in the East building where potential restaurant spaces may be built-out.*

Water / Irrigation Department:

1. If the original water meter and lateral is used as part of the total of four (4) new, the existing water meter and lateral will need to be updated to comply with Hyrum City Code 13.04 Water System; Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines and Secondary Pressure Irrigation Installations. *(Reference Water / Irrigation Comment #1 in Staff Evaluation First Review)*
 - *Utility plan has been updated to include 4 new water meters, existing meter will be removed and lateral abandoned per city requirements*
2. If the existing water meter and lateral is not used as part of the total of four (4) new, the existing water meter shall be removed, and the existing water lateral will be removed at main line and the main line be capped. *(Reference Water / Irrigation Comment #1 in Staff Evaluation First Review)*
 - *Site plan shows existing water meter will be removed and lateral abandoned per city requirements.*

STAFF EVALUATION FIRST REVIEW - Planning Commission: February 13, 2025*Requestor responses in red***Planning and Zoning:**

1. Staff supports a Mixed Use of Commercial and Hotel as permitted in HCC 17.45.020 Use Regulations.
 - *Yes!*
2. Staff did not receive the required Lighting Plan submittal. HCC 17.45.120 requires that each site plan shall include a lighting plan.
 - *Lighting Plan has since been completed and submitted with Site Plan documents*
3. Staff does not support the west building crossing the east property line of property parcel: 01-050-0023 as proposed on the site plan and recommends combining the two property parcels. HCC 17.45.050 Yard Regulations – Commercial Use may permit a zero-yard setback at a property line at a qualifying location; however, it does not qualify a building to encroach beyond a property parcel. If the applicant desires to relocate the said building to a conforming location on the parcel, Staff will request the following revisions to the site plan:
 - a. Each property parcel is serviced by separate power, sewer, water and water meters, fire line (if required), and irrigation connections to main lines; and
 - *Parcel 0023 and 0024 are owned by individual Market 1860 partners; partners are in process of selling & transferring ownership to the Market 1860 entity which will result in single ownership. Applicant requests that Commission allow Site Plan Approval on condition that this is completed before issue of building permit*
 - b. Cross access agreements need to be prepared and recorded to each property parcel for UDOT driveway approach interior parking.
 - *Cross access agreement has been addressed with UDOT and per UDOT will not be signed until issue of building permit*
4. The site plan proposes parking stalls to be a minimum of eight (8) feet in width and does not identify the proposed parking stall depth. In the C-2 Zone, HCC 17.45.210.C. Off-Street Parking – Special Requirements requires the site plan to provide nine (9) feet by twenty (20) feet parking stalls.
 - *Parking stall sizes have been revised to 9 feet wide by 20 feet deep*
5. The applicant did not submit a total parking stall count on the site plan. Staff supports the required parking of one (1) space per each unit, room, or guest accommodation as regulated in HCC 17.45.200 Off Street Parking – Specific Requirements which reserves a total of twelve (12) parking spaces for the Hotel Use.
 - *Parking totals 54 stalls, includes 1 ADA stall & 1 ADA Van Accessible Stall*
6. Without the applicant providing the exact square feet of proposed commercial uses (excluding storage areas, restrooms, office areas, etc.) Staff cannot verify the required off-street parking requirements regulated in HCC 17.45.200 Off-Street Parking – Specific Requirements to conclude parking requirements.
 - *Total commercial floor space is 4,050 SF (2,100 SF in West, 1,950 SF in East)*
 - *Breakdown of estimated commercial use is as follows:*
 - *Retail / Market = 2,100 SF (requires 1 per 250 SF = 8 stalls)*
 - *Single Office = 224 SF (requires 1 per employee = 1 stall)*
 - *Restaurant / Café = 1,275 (requires 1 per 40 SF = 32 stalls)*
 - *Hotel Space = 13 units (requires 1 per unit = 13 stalls)*
 - *Total stalls required = 54*
7. The site plan shows the cedar fence terminating at the south portion of the paved parking lot. The parking lot is still facing adjoining neighbor properties. HCC 17.45.050 Yard Regulations – Commercial Use requires the fence to continue south on both east and west property line and along the south property line enclosing the development.

- Cedar fence continues along west, south, and east property lines
- 8. The Trash Enclosure requirements in the C-2 Zone, HCC 17.45.055 Trash Enclosure Regulations – Commercial Use requires that enclosures shall be located away from main traffic areas and sheltered from street sight as much as possible. Staff recommends relocating the Trash Enclosure from the current location within the main traffic area and street sight to a conforming location on the site.
 - Trash enclosure relocated to back of parking lot, hidden from street view behind west building, >50' from residential zoning. Have assumed doublesize dumpster enclosure in site plan
- 9. A building permit will be required for building structures as regulated by HCC Section 15.08 Building Permits.
 - Understood
- 10. All construction shall comply with Hyrum City Design Standards and Construction Specifications.
 - Understood

Engineering:

1. See comments contained on Site Plan.
 - Site Plan updated per comments

Fire Department:

1. Water flow, we need 1750 GPM at the hydrant for 2 hours. If it is less than that the entire building will need to be sprinklered.
 - Fire sprinklers are planned for each building, on both floor levels
2. The upstairs hotel/apartments is a R-1, it is required to have Sprinklers.
 - Fire sprinklers are planned for each building, on both floor levels
3. We need 26' of clearance on driveway and on all sides of parking for fire apparatus access lot see drawings.
 - 26' driveway clearance has been provided and extends to back side of buildings
4. What type of building construction?
 - Wood frame construction with structural steel elements
5. Each unit will need to be reviewed and inspected as built out.
 - Understood

Parks Department:

1. No comments or concerns.
 - Yes!

Power Department:

1. Staff requests the applicant contact the Power Department to schedule an initial onsite meeting to verify all existing electrical utilities.
 - Understood, this will happen immediately following site plan approval
2. The applicant must complete and submit the required Commercial Structure Load Data Sheet to the Power Department. The Load Data Sheet is available in Section 7 General Requirements and Specifications for Electrical Installations in Hyrum City Design Standards and Construction Specifications.
 - Load data sheet has been completed and will be submitted immediately following site plan approval
3. All construction specific to electrical work shall verify compliance with Section 7 General Requirements and Specifications for Electrical Installations in Hyrum City Design Standards and Construction Specifications.
 - Understood, electrical systems will be designed by Sine Source Engineering
4. Applicant must maintain and clearance of 10 feet around the interior overhead service line on the property. At the applicant's request, the Power Department can provide visual ribbon indicators on the overhead line to help maintain visual clearance.
 - Understood, visual ribbon indicators will be requested during construction

Road / Stormwater Department:

1. An NOI is generally not required for disturbances less than one (1) acre that are not part of a larger common plan of development project, however, it is the responsibility of the applicant to confirm any and all exemptions pursuant to HCC 13.18.110 Notice of Intent (NOI) – Exemptions. While an NOI is not typically required, applicant is responsible to control Stormwater and Erosion & Pollution on and from the site.
 - *If required, contractor will file an NOI; regardless; BMPs will be installed and maintain during construction until all permanent landscaping and stormwater systems are completed*
2. All public rights of way permits, construction and improvements, and traffic control on Main Street are the Powers and Duties of Utah Department of Transportation.
 - *Understood, applicant has already engaged in permits and discussions with UDOT regarding this project and will continue to do so*
3. Hyrum City may enforce provisions and all other ordinances relating to the maintenance and use of streets, culverts, drains, ditches, waterways, curbs, gutters, sidewalks and other public ways; and the repair or cause to be repaired, all defects coming to the Hyrum City Department of Streets attention and make reasonable precautions to protect the public from injuries due to such defects pending their repair pursuant to HCC 2.36.030. Powers and Duties.
 - *Understood*

Sewer Department:

1. Staff recommends the engineer verify the existing sewer lateral and design a new lateral for peak flow for both buildings, and demonstrate on the plans the material, quality and specifications as regulated by HCC 13.12.200 Service and Other Pipes – Material, Quality and Specifications – Alteration or Inspection.
 - *Understood, sewer line size shown on Site Plan, existing laterals to be abandoned*
2. For any proposed use or future use that will introduce or cause to be introduced into the Publicly Owned Treatment Works (POTW) or any pollutant or wastewater which causes to pass through or interference, the applicant must comply with HCC Section 13.13 Wastewater Pretreatment, whether or not the source is subject to categorical Pretreatment Standards or any other National, State or Local Pretreatment Standards for requirements.
 - *Understood, additionally it is anticipated that a grease trap will be provided for restaurant spaces*
3. All construction specific to sanitary sewer shall verify compliance with Section 5 General Requirements and Specifications for Sanitary Sewer Installations in Hyrum City Design Standards and Construction Specifications.
 - *Understood*

Water / Irrigation Department:

1. HCC 13.04.180 Separate Connections Required for Each User regulates that each service user cannot be supplied from the same service pipe, connection or water meter unless special permission for such combination usage has been granted by the governing body. Staff recommends that each user have its own water service (tentatively 2 meters for main level commercial uses, and 1 meter for upper-level hotel uses for each building).
 - *Understood, owner would like to request a single meter for each floor-level in each building (4 meters total)*
2. Staff recommends that all meters be installed in a meter vault for multiple meters for 3/4" to 1-1/2" meters as approved in Section 6 of the Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations.

- *Understood*
- 3. *Staff recommends that each service to commercial uses be a minimum of 1-1/2" to ensure adequate future flows.*
 - *Understood*
- 4. *If the mixed commercial use and hotel use requires a fire sprinkler system required by the International Fire Code and requires an additional fire line connection to the water main, the fire line connections shall comply with Section 6 Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations.*
 - *Understood*
- 5. *All construction specific to sanitary sewers shall verify compliance with Section 5 General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations in Hyrum City Design Standards and Construction Specifications.*
 - *Understood*

PLANNING COMMISSION RESPONSIBILITY:

1. Site plan approval is a function of the Planning Commission which has a wide latitude in specifying conditions and requirements for approval.
2. The Planning Commission should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.
3. The Planning Commission is a recommending body to the City Council and should be specific in their motion to the City Council.

STAFF RECOMMENDATION:

1. The Planning Commission recommend site plan approval to the City Council based on the applicants compliance with staff evaluations and staff comments, applicant submittals, and any additional Planning Commission recommendations. The City Council can require revisions as necessary.

STIPULATIONS:

1. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission with revisions; or require the applicant to return revisions to the City Council.
2. Final Approval must be obtained from the City Council. Following final approval, the requestor will provide final approval documents to staff for the issuance of a permitted use permit, issuance of Hyrum City Approval final approval documents, and issuance of notification to attend a pre-construction meeting.

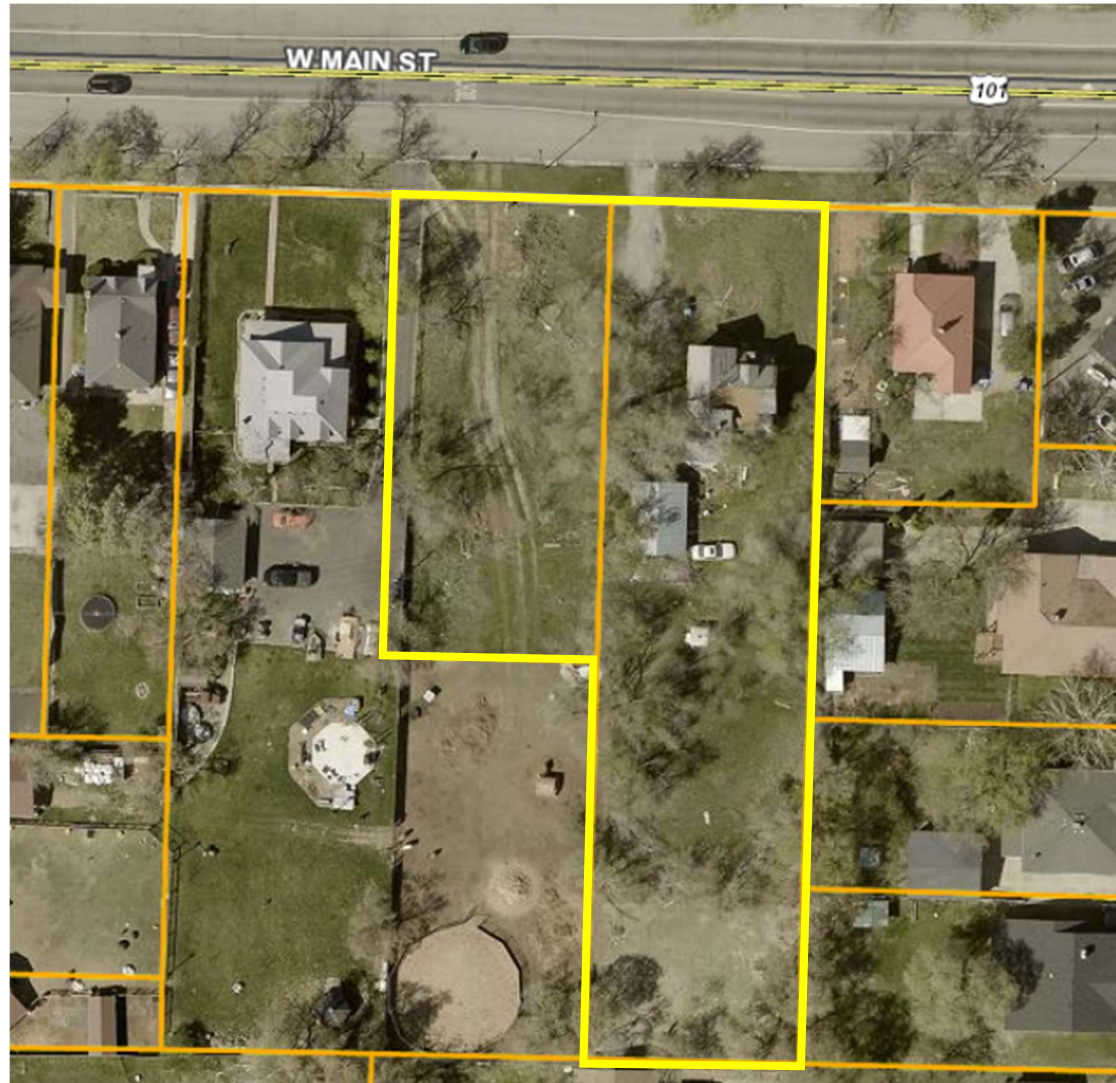
FINDINGS OF FACT:

1. The property is located in the Commercial Zone C-2.
2. Mixed Commercial Uses are a permitted use in the Commercial Zone C-2.

ATTACHMENTS:

1. Cache County Parcel and Zoning Viewer – Aerial View
2. Hyrum Market 1860 Scope Narrative – Updated
3. Hyrum Market 1860 Conceptual Building Exterior Elevation – Updated
4. Hyrum Market 1860 Site Plan Submittal – Updated
5. Hyrum Market 1860 Lighting Plan – Updated

Cache County Parcel and Zoning Viewer – Aerial Image



Hyrum City
60 West Main Street
Hyrum, UT 84319

Subject: Market 1860 Site Plan Approval

Attn: Hyrum City Council Members

Scope Narrative

The Market 1860 project includes two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The footprint of each building is planned at 40-feet by 70-feet with a conventional peaked roof line down the longitudinal center of the building. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter.

The two commercial spaces in the west building will consist of open classrooms, conference, and market space with a small demonstration kitchen, restrooms, storage and mechanical room. The two units will be constructed with an open hallway so that the spaces can be used simultaneously if needed. One purpose of these units is to provide a place for community events available for rent or use depending on the function or activity. It may be utilized by home-school groups, small training classrooms, farmer's or craft markets, non-profit organizations, and more.

The commercial space in the east building will consist of two café, bakery, or restaurant-type lease units. The owner's intent is to construct the two units as shell-space and allow tenants the opportunity to finish the space according to business needs.

The second level in each building will consist of six and seven (13 total) hospitality boutique units with single and double bed units. Each building will also include a common laundry facility on the same floor. The hospitality units will be accessible by two stairways and secured first-level exterior doors located on the back and shared patio side between buildings. An elevator will be provided in the East Building for ADA access to the second floor.

Landscaping Plan

Landscaping will include 15-foot-wide green space along the east and west perimeter of the site as well as small landscape areas near the buildings. Vegetation will include trees, lawn, native grass, flowers, and shrubs. Landscaping will be meticulously maintained to attract renters to the short-term rental units and commercial businesses.

Storm water will be managed on site by surface collection to catch basins and dispersed through underground infiltration basins.

Market 1860 -

Ownership

Annette Francis (Hyrum, UT)

Andrea Nielsen (Hyrum, UT)

Amy Knight (Park City, UT)

Design-Builder

Jardine Builders, LLC (Millville & Centerville, UT)

Architect & Engineers

Architect – Gary Hunt Architect, P.C. (Syracuse, UT)

Civil & Structural – Beyler Engineering (Lakewood, WA)

Mechanical – VBFA (Logan, UT)

Electrical – Sine Source Engineering (Logan, UT)

Geotechnical – Civil Solutions Group (Logan, UT)

MARKET 1860
CONCEPTUAL ELEVATION

DETAILS, COLORS, VEGETATION, ENTRANCE &
ARCHITECTURAL FEATURES SUBJECT TO CHANGE
BEFORE BUILDING PERMIT

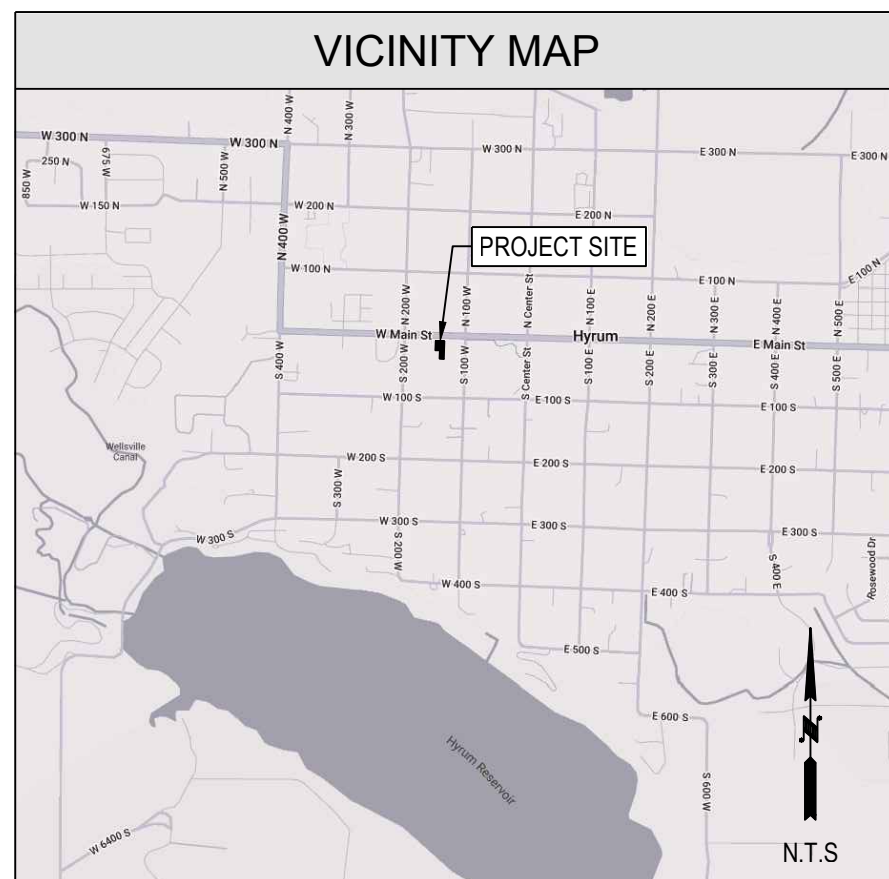
Section 9. Item B.



East Building North Elevation

SCALE: 1/4" = 1'-0"

C1
A2.1



CIVIL ABBREVIATIONS

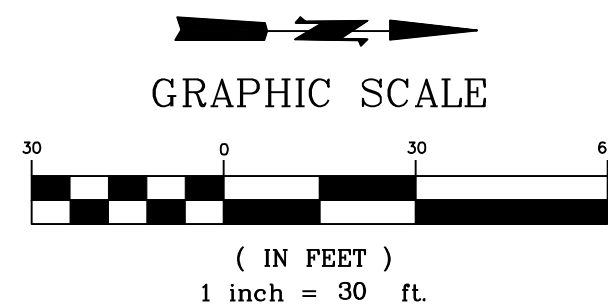
BSBL	BUILDING SETBACK LINE
CB	CATCH BASIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DUCTILE IRON
FH	FIRE HYDRANT
HP	HIGH POINT
LP	LOW POINT
MH	MANHOLE
PGHS	POLLUTION GENERATING HARD SURFACE
PVC	POLYVINYLCHLORIDE
RPBA	REDUCED PRESSURE BACKFLOW PREVENTOR
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSFM	SANITARY SEWER FORCE MAIN
SSMH	SANITARY SEWER MANHOLE
UBC	UNIFORM BUILDING CODE
WM	WATER METER
XFMR	TRANSFORMER
WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024

CITY COMMENTS SHOWN ON THIS PAGE
HAVE BEEN ADDRESSED ON THE UPDATED
DRAWING SHEETS THAT FOLLOW. THIS
PAGE IS INCLUDED FOR REFERENCE ONLY



IMPERVIOUS / PERVIOUS SITE AREAS

EXISTING IMPERVIOUS ONSITE:	
GRAVEL (PGHS)	1,060 SF (0.024 Ac)
PROPOSED IMPERVIOUS ONSITE:	
BUILDING #1	3,400 SF (0.078 Ac)
BUILDING #2	2,800 SF (0.064 Ac)
ASPHALT ACCESS/PARKING LOT (PGHS)	23,065 SF (0.523 Ac)
CONCRETE (PGHS)	325 SF (0.007 Ac)
CONCRETE	63 SF (0.001 Ac)
TOTAL:	29,653 SF (0.673 Ac)
PROPOSED PERVIOUS ONSITE:	
LANDSCAPING	12,410 SF (0.285 Ac)
PROPOSED IMPERVIOUS OFFSITE:	
ASPHALT ACCESS (PGHS)	49 SF (0.001 Ac)
CONCRETE DRIVEWAY APPROACH (PGHS)	920 SF (0.021 Ac)
CONCRETE CURBING (PGHS)	176 SF (0.004 Ac)
CONCRETE SIDEWALK	140 SF (0.003 Ac)
CONCRETE FOOT BRIDGES	45 SF (0.001 Ac)
TOTAL:	1,330 SF (0.030 Ac)
TOTAL PROPOSED IMPERVIOUS:	30,983 SF (0.918 Ac)
TOTAL PROPOSED (PGHS):	24,535 SF (0.563 Ac)

IS THE PLAN STILL TO PROVIDE SIDEWALKS IN BETWEEN THE BUILDINGS? THESE NEED TO BE SHOWN AND INCORPORATED INTO THE STORMWATER CALCULATIONS. DRAINAGE PATTERNS NEED TO BE SHOWN FOR THESE AREAS. ADA PATHS NEED TO BE PROVIDED AT A MINIMUM.

WHAT KIND OF INFILTRATION DO YOU EXPECT? HAVE ANY PERCOLATION TESTS BEEN DONE TO SHOW THAT THE WATER WILL DRAIN DOWN WITHIN 72 HOURS?

WILL THE PROXIMITY OF THESE BASINS CAUSE ANY ISSUES TO THE NEARBY STRUCTURES ON THE OTHER LOTS?

SHEET INDEX

- 1- COVER SHEET / SITE PLAN
- 2- STORM DRAINAGE AND UTILITY PLAN
- 3- NOTES AND DETAILS SHEET 1
- 4- NOTES AND DETAILS SHEET 2
- 5- NOTES AND DETAILS SHEET 3
- 6- NOTES AND DETAILS SHEET 4
- 7- NOTES AND DETAILS SHEET 5
- 8- NOTES AND DETAILS SHEET 6
- 9- NOTES AND DETAILS SHEET 7
- 10- NOTES AND DETAILS SHEET 8

BUILDING INFORMATION

- 2- 40'X70' 2-STORY WOOD FRAME STRUCTURES. MAIN FLOOR RETAIL, UPPER FLOOR SHORT TERM RENTAL UNITS
- 3- 10'X20' STORAGE SHEDS
- 34' MAX BUILDING HEIGHT

SITE DATA

PARCEL NUMBER(S):
PIN 01-050-0023
ANDREA NIELSEN
3788 ECKER HILL DR.
PARK CITY, UT 84098

PIN 01-050-0024
JOHN & VIRGINIA FRANCIS
450 W 2000 N
MAPLETON, UT 84664

SITE ADDRESS:
127 WEST MAIN STREET, HYRUM, UT

PROPERTY AREA:
0.63 Ac

ZONING:
ZONING - C-2 OVERLAY
15 FT SIDE SETBACKS AGAINST RESIDENTIAL
NO SETBACKS REQUIRED.

PARKING:
STANDARD PARKING: 52 STALLS
ADA PARKING: 2 STALLS
TOTAL: 54 STALLS

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

COVER SHEET / SITE PLAN

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

HYRUM CITY

WASHINGTON

Plan. Design. Manage



CORPORATE OFFICE
5920 100TH ST SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

DATE

INIT

NO.

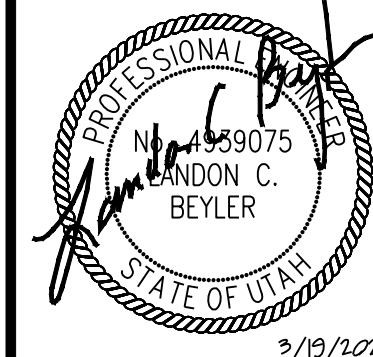
DESCRIPTION

JOB NUMBER

24.00160

SHEET

1 OF 10



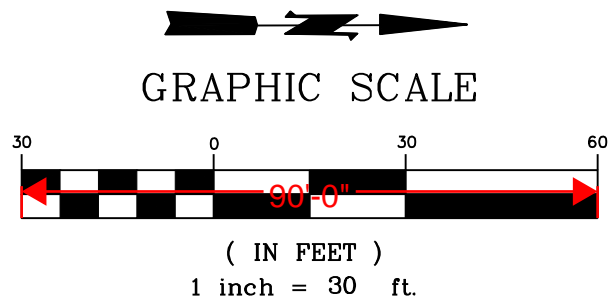
3/19/2025

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



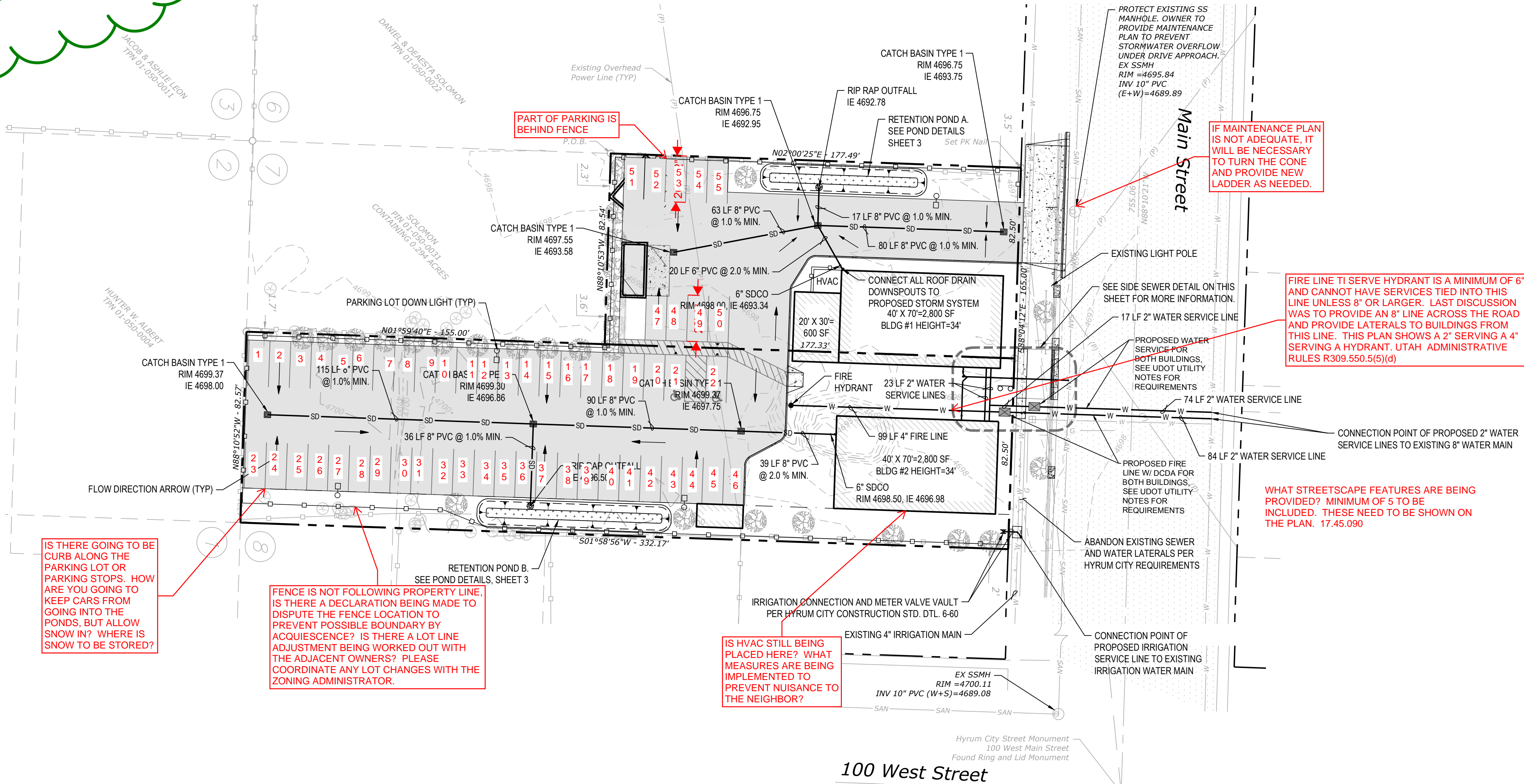
CITY COMMENTS SHOWN ON THIS PAGE HAVE BEEN ADDRESSED ON THE UPDATED DRAWING SHEETS THAT FOLLOW. THIS PAGE IS INCLUDED FOR REFERENCE ONLY

EXISTING UTILITIES

W	EX WATER LINE
G	EX GAS LINE
P	EX U/G POWER LINE
(P)	EX OVERHEAD POWER LINE
COM	EX U/G COMMUNICATION LINE
*	EX LIGHT POLE
○	EX POWER POLE
SAN	EX SEWER PIPE
○	EX SANITARY MH/CO

LEGEND

---	EX PROPERTY BOUNDARY
---	EX RIGHT-OF-WAY
---	EX CENTERLINE
---	EX LOT LINE
---	EX MAJOR CONTOURS
---	EX MINOR CONTOURS
---	EX ASPHALT
---	EX CONCRETE
---	EX CURBING
---	EX WOOD FENCE
---	EX SIGN
---	ASPHALT PAVEMENT
---	CONCRETE
---	BUILDING
---	LANDSCAPING
---	WOOD FENCE
---	WHEEL STOP
---	TREE
SD	STORM DRAINAGE PIPE
---	POND BOTTOM
---	RIP RAP PAD
DS	ROOF DOWNSPOUT
SDCO	STORM CLEANOUT
AD CB	AREA DRAIN / CATCH BASIN TYPE 1
---	FLOW ARROW/SLOPE ARROW
SSS	SANITARY SEWER LATERAL
---	SANITARY CLEANOUT
W	WATER SERVICE / FIRE LINE
---	WATER METER
---	IRRIGATION CONTROL VALVE
---	LIGHT POLE



IS THERE GOING TO BE CURB ALONG THE PARKING LOT OR PARKING STOPS. HOW ARE YOU GOING TO KEEP CARS FROM GOING INTO THE PONDS, BUT ALLOW SNOW IN? WHERE IS SNOW TO BE STORED?

FENCE IS NOT FOLLOWING PROPERTY LINE. IS THERE A DECLARATION BEING MADE TO DISPUTE THE FENCE LOCATION TO PREVENT POSSIBLE BOUNDARY BY ACQUIESCENCE? IS THERE A LOT LINE ADJUSTMENT BEING WORKED OUT WITH THE ADJACENT OWNERS? PLEASE COORDINATE ANY LOT CHANGES WITH THE ZONING ADMINISTRATOR.

IS HVAC STILL BEING PLACED HERE? WHAT MEASURES ARE BEING IMPLEMENTED TO PREVENT NUISANCE TO THE NEIGHBOR?

IF MAINTENANCE PLAN IS NOT ADEQUATE, IT WILL BE NECESSARY TO TURN THE CONE AND PROVIDE NEW LADDER AS NEEDED.

FIRE LINE TO SERVE HYDRANT IS A MINIMUM OF 6" AND CANNOT HAVE SERVICES TIED INTO THIS LINE UNLESS 8" OR LARGER. LAST DISCUSSION WAS TO PROVIDE AN 8" LINE ACROSS THE ROAD AND PROVIDE LATERALS TO BUILDINGS FROM THIS LINE. THIS PLAN SHOWS A 2" SERVING A 4" SERVING A HYDRANT. UTAH ADMINISTRATIVE RULES R309.550.5(5)(d)

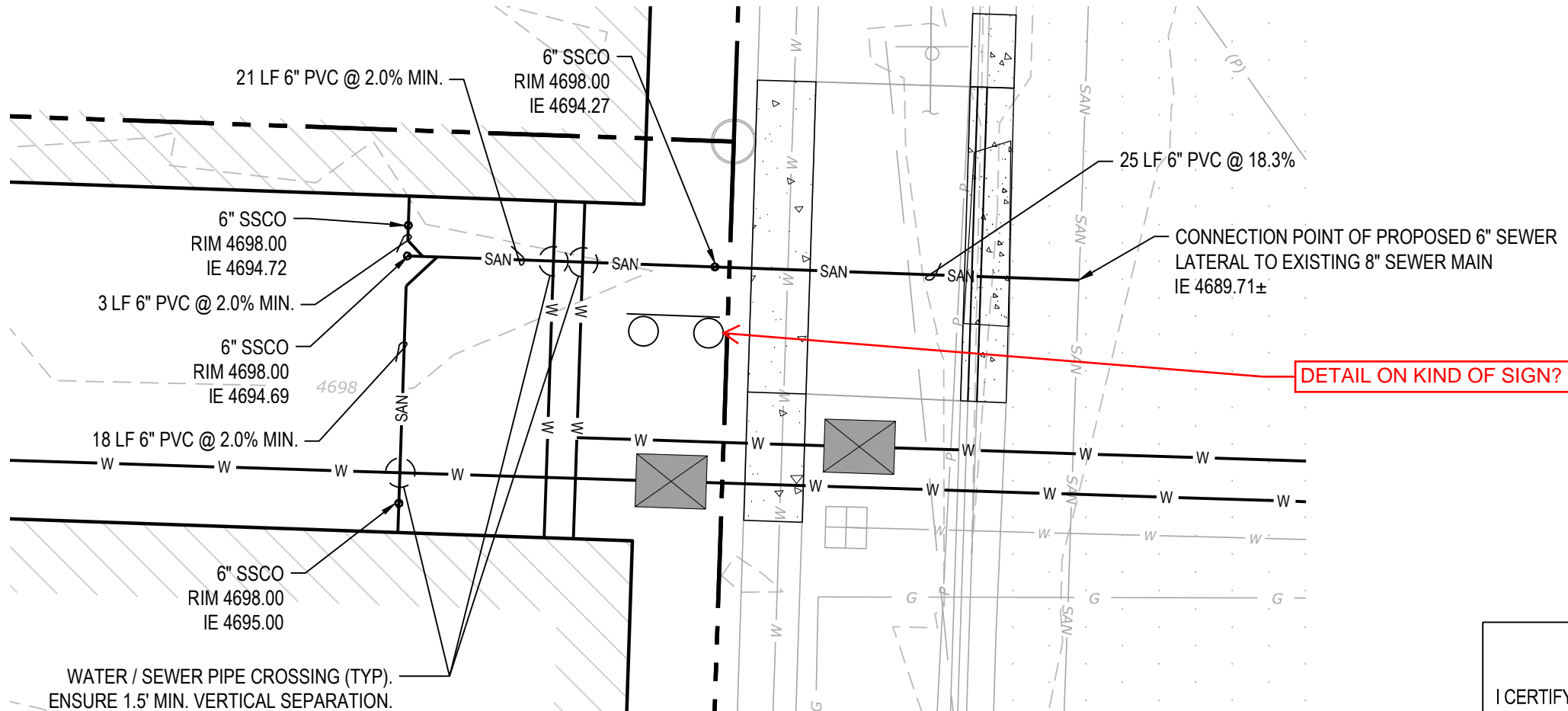
WHAT STREETSCAPE FEATURES ARE BEING PROVIDED? MINIMUM OF 5 TO BE INCLUDED. THESE NEED TO BE SHOWN ON THE PLAN. 17.45.090

GENERAL NOTES

- THE EXISTING CONTOURS SHOWN HEREON WERE OBTAINED VIA FIELD SURVEY COMPLETED IN MAY 2022.
- THE SITE GENERALLY SLOPES NORTHWESTERLY TOWARDS THE PROPOSED RETENTION BASIN.
- STORM RUNOFF GENERATED FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED AND CAPTURED IN THE RETENTION BASIN AS FOLLOWS:
 - DOWNSPOUTS FROM ROOF AREAS WILL BE DIRECTED TO LANDSCAPE AREAS OR STREETS.
 - LANDSCAPE AREAS WILL SHEET FLOW TO SWALES AND COLLECTED BY AREA DRAINS AND CARRIED TO THE RETENTION BASIN THROUGH UNDERGROUND PIPING.
 - FRONT YARDS, DRIVEWAYS, AND PORCHES WILL FLOW TO STREETS WHERE CURB AND GUTTER WILL CHANNEL THE FLOW TO CURB INLETS AT INTERSECTIONS AND LOW POINTS. UNDERGROUND PIPING INTERCONNECTING THE INLETS WILL DISCHARGE RUNOFF INTO THE RETENTION BASIN.
- PIPE AND RETENTION BASIN SIZING WAS PERFORMED USING THE RATIONAL METHOD ($Q = C \cdot I \cdot A$) WHERE:
 - Q = DESIGN FLOW IN CUBIC FEET PER SECOND (CFS)
 - C = RUNOFF COEFFICIENT WHICH REPRESENTS THE PERCENT OF PRECIPITATION THAT WILL CONTRIBUTE AS RUNOFF.
 - I = RAINFALL INTENSITY IN INCHES PER HOUR (IN/HR)
 - A = DRAINAGE AREA IN ACRES
- THE 100 YEAR - 24 HOUR STORM EVENT WAS USED TO SIZE THE RETENTION BASIN AS SHOWN HEREON IN TABLE A. NO INFILTRATION WAS UTILIZED WHEN DETERMINING THE VOLUME REQUIRED TO RETAIN THE DESIGN STORM EVENT.
- STORM INTENSITIES USED IN THIS STUDY AREA ARE TAKEN FROM THE NATIONAL WEATHER SERVICE'S PRECIPITATION FREQUENCY DATA SERVER. INTENSITIES FOR THE 100 YEAR STORM ARE SHOWN IN TABLE A. **WHERE IS TABLE A?**
- A COMPREHENSIVE STORM DRAINAGE STUDY WILL BE PROVIDED AS PART OF THE FINAL PLAT SUBMITTAL.

THERE IS NO FINAL PLAT. THE SITE PLAN IS THE FINAL DOCUMENT FOR THIS DEVELOPMENT.

SIDE SEWER PLAN



CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

STORM DRAINAGE AND UTILITY PLAN

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

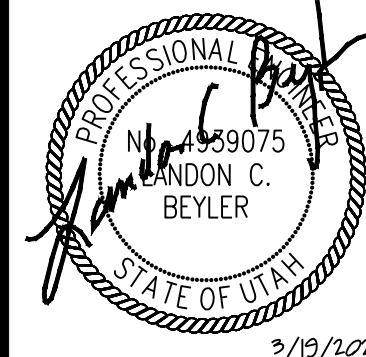
WASHINGTON

DATE: 3/19/2025

SCALE: HORIZ: 1"=30'

CHECKED: LCB

DRAWN: EJM



JOB NUMBER

24.00160

SHEET

2 OF 10

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

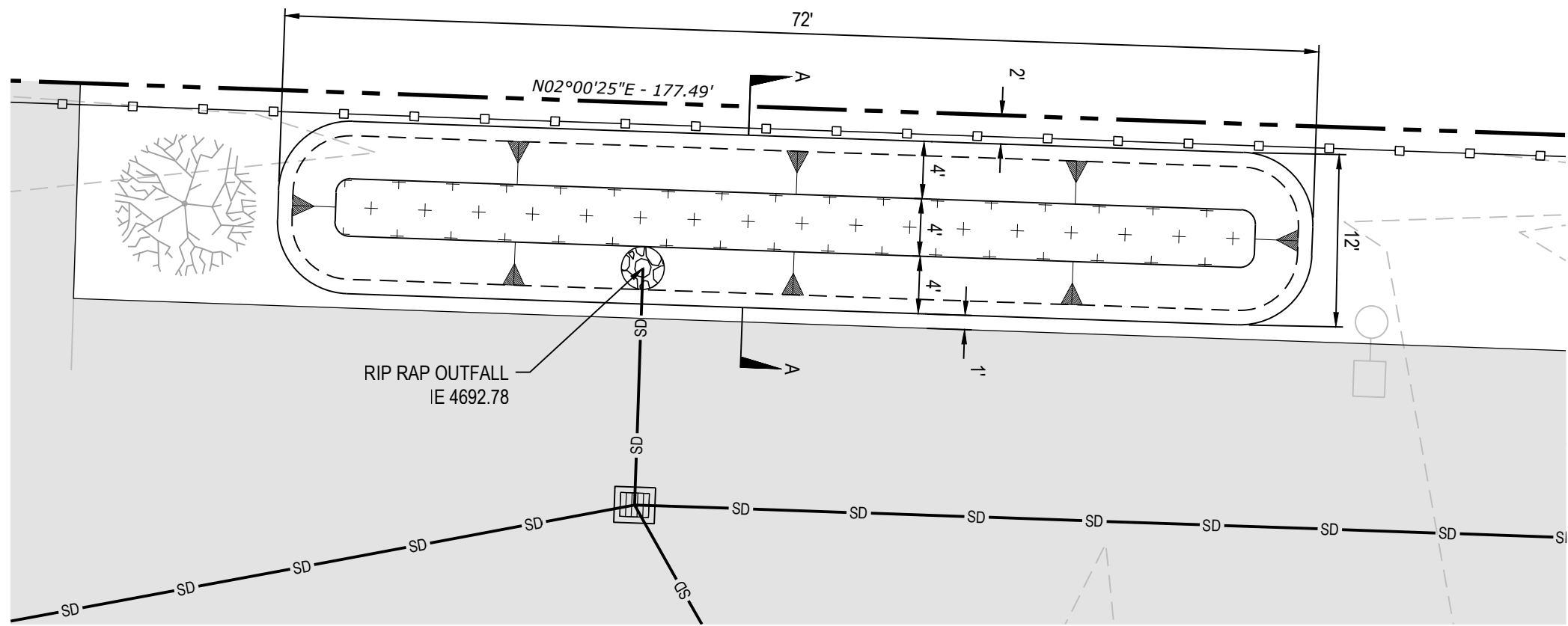
HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024

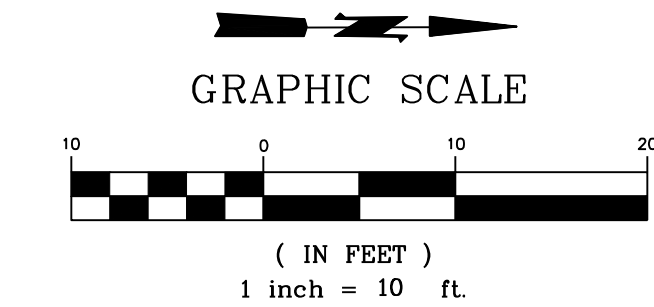
CITY COMMENTS SHOWN ON THIS PAGE
HAVE BEEN ADDRESSED ON THE UPDATED
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LEGEND	
	EX PROPERTY BOUNDARY
	EX MAJOR CONTOURS
	EX MINOR CONTOURS
	ASPHALT PAVEMENT
	WOOD FENCE
	TREE
	STORM DRAINAGE PIPE
	POND BOTTOM
	RIP RAP PAD
	CATCH BASIN TYPE 1



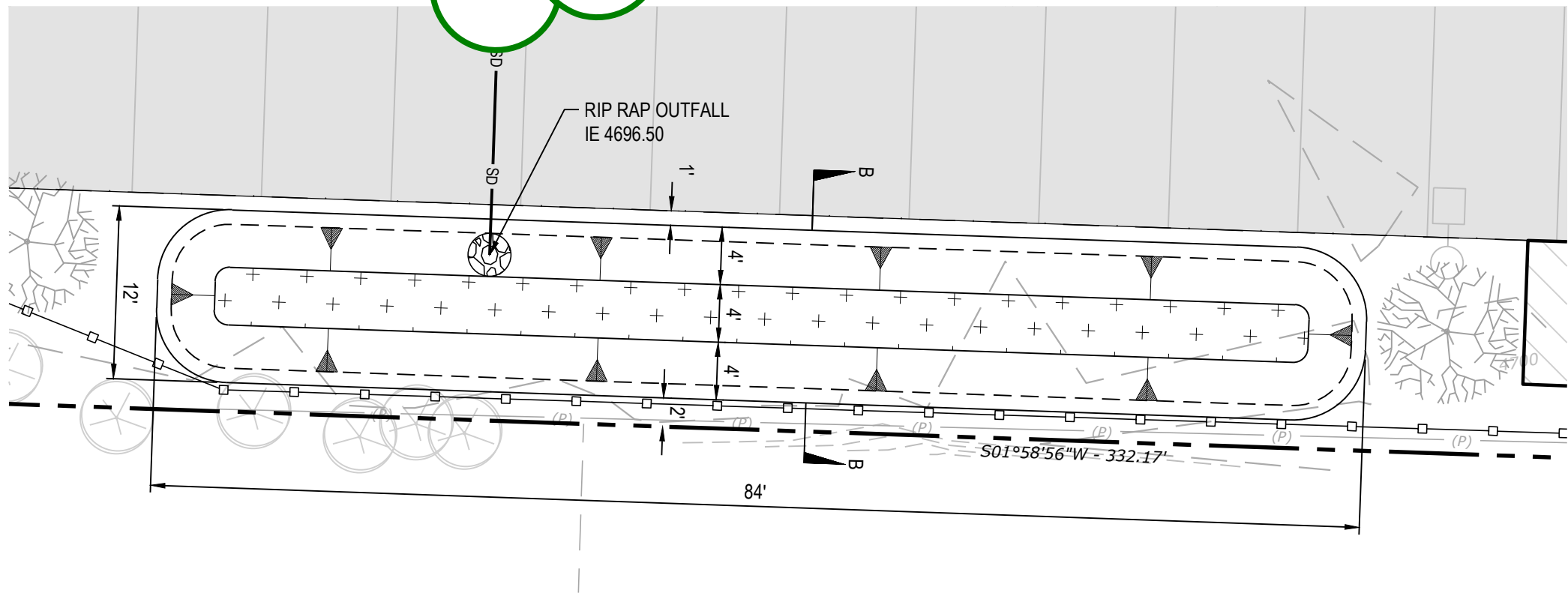
STORMWATER RETENTION POND A

1"=10'



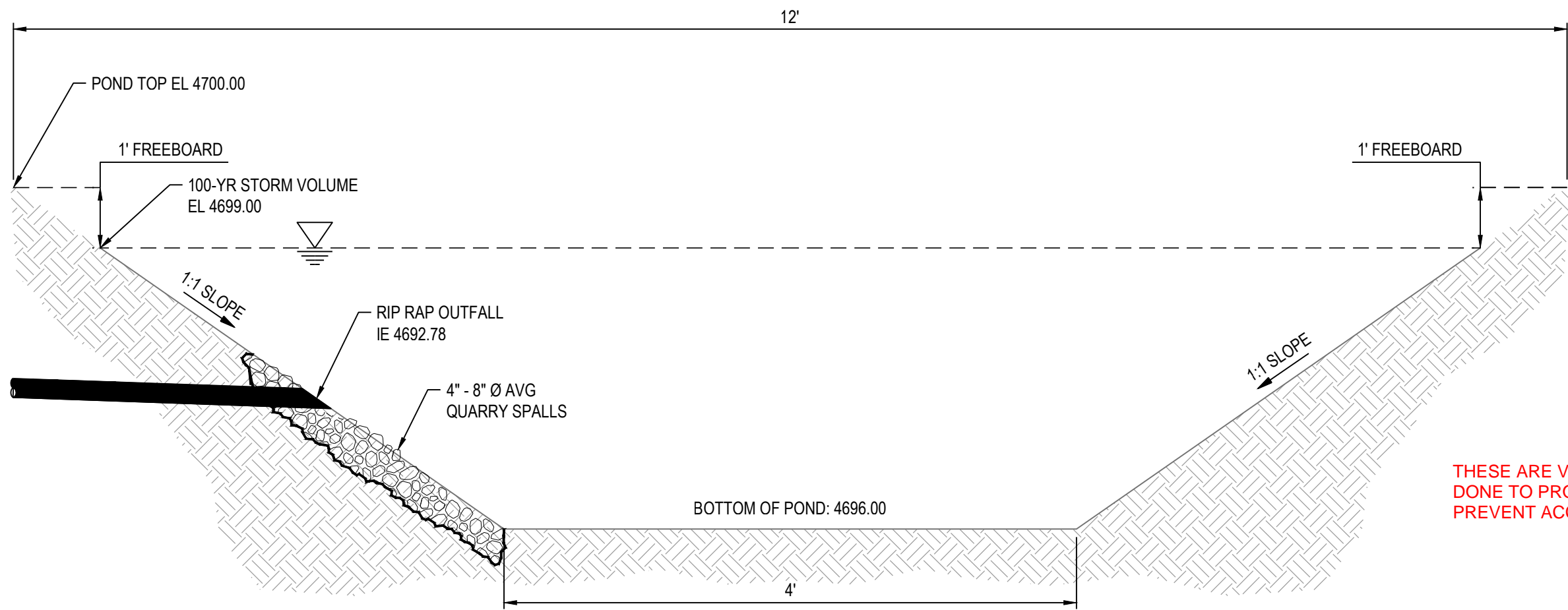
POND TABLE
RETENTION POND A: TOP OF POND = 4700.00 BOTTOM OF POND = 4696.00 REQUIRED VOLUME = (WEST DRAINAGE): 1,034 SF PROVIDED VOLUME = (WEST DRAINAGE): 1,420 SF
RETENTION POND B: TOP OF POND = 4697.00 BOTTOM OF POND = 4694.00 REQUIRED VOLUME = (EAST DRAINAGE): 1,667 SF PROVIDED VOLUME = (EAST DRAINAGE): 1,672 SF

CUBIC FEET?



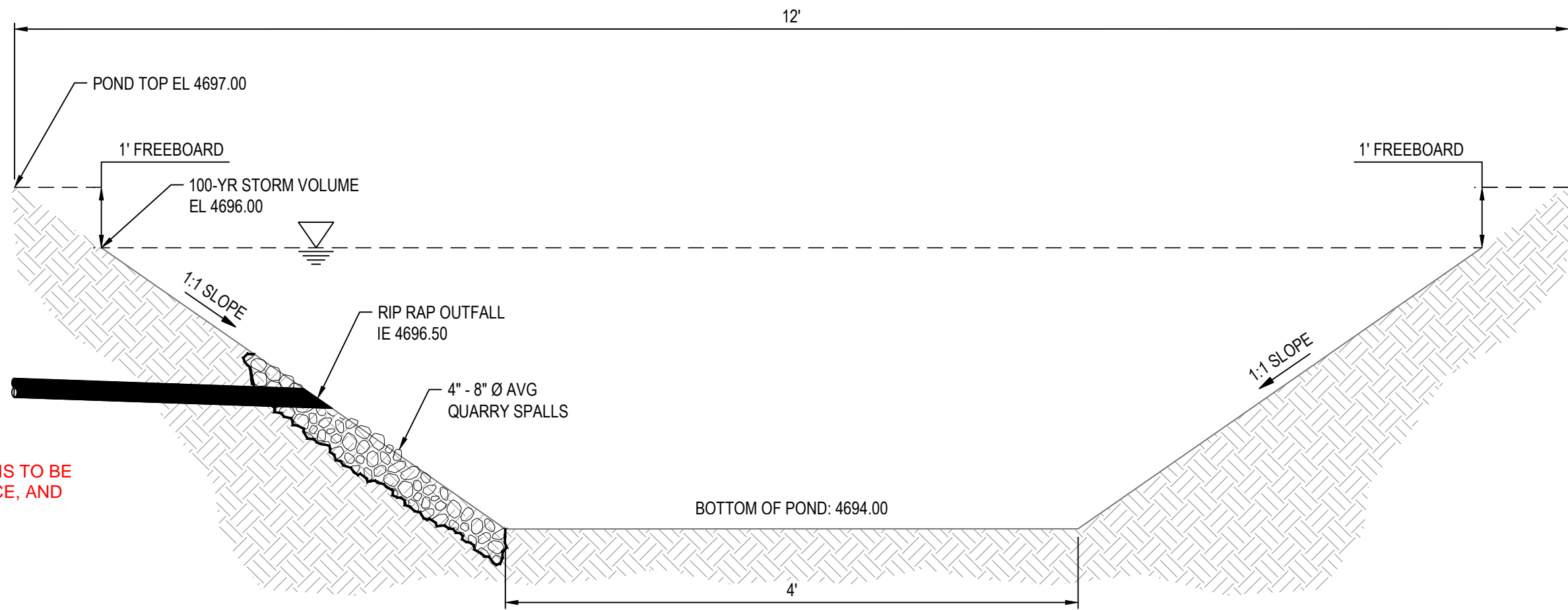
STORMWATER RETENTION POND B

1"=10'



1 STORMWATER RETENTION POND SECTION A-A

NTS



2 STORMWATER RETENTION POND SECTION B-B

NTS

THESE ARE VERY STEEP SIDES FOR PONDS. WHAT IS TO BE
DONE TO PROTECT THE SIDES, ALLOW MAINTENANCE, AND
PREVENT ACCIDENTAL ENTRY?

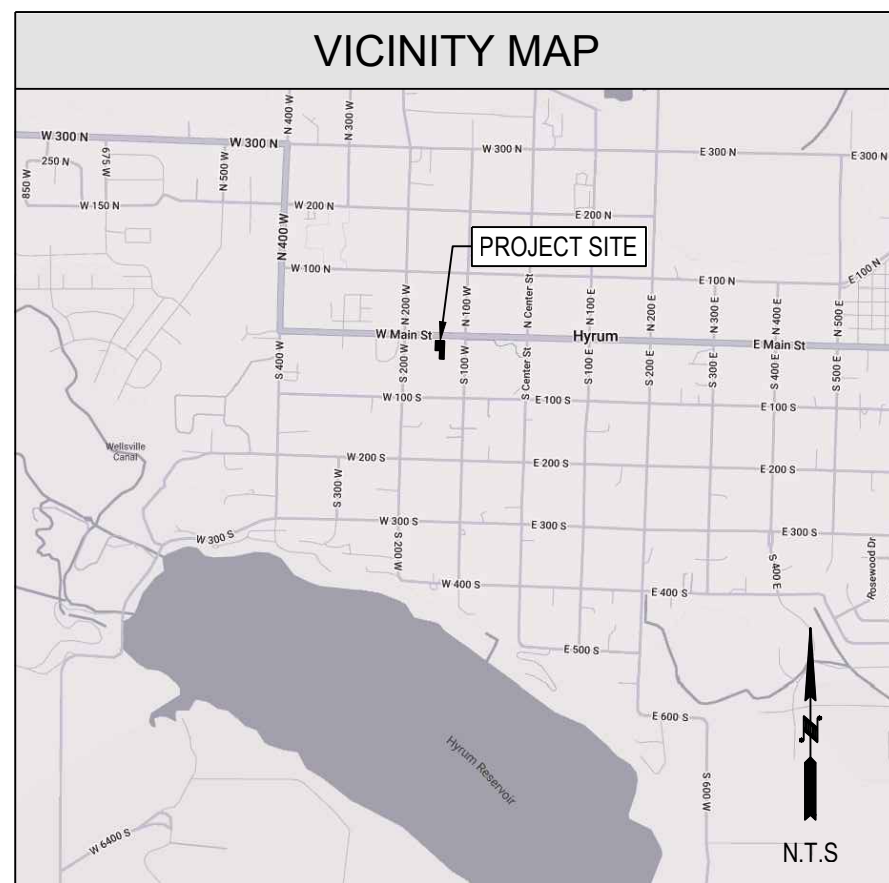
CITY ENGINEER APPROVAL	
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS	
CITY ENGINEER	DATE

BEYLER CONSULTING
Plan. Design. Manage
CORPORATE OFFICE
5920 10th St. SW, Ste #25
Lakewood, WA 98449
(253) 984-2900
beylerconsulting.com

POND DETAILS & NOTES	HYRUM MARKET 1860 CIVIL IMPROVEMENT PLANS	WASHINGTON	DATE:	3/19/2025
		HYRUM CITY	CHECKED:	SCALE:
		DESIGNED:	DRAWN:	HORZ: 1"=10'

N. C. BEYLER
3/19/2025

JOB NUMBER
24.00160
SHEET
3 OF 10



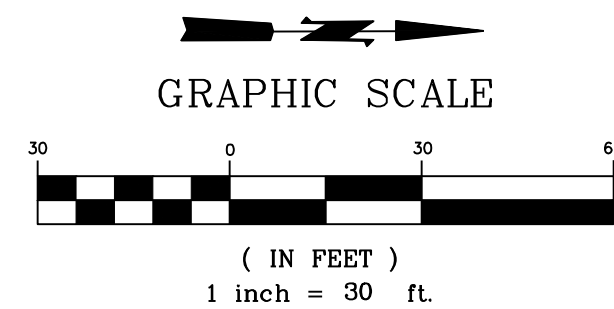
CIVIL ABBREVIATIONS

BSBL	BUILDING SETBACK LINE
CB	CATCH BASIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DUCTILE IRON
PH	FIRE HYDRANT
HP	HIGH POINT
LP	LOW POINT
MH	MANHOLE
PGHS	POLLUTION GENERATING HARD SURFACE
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UBC	UNIFORM BUILDING CODE
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WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



IMPERVIOUS / PERVIOUS SITE AREAS

EXISTING IMPERVIOUS ONSITE:	
GRAVEL (PGHS)	1,060 SF (0.024 Ac)
PROPOSED IMPERVIOUS ONSITE:	
BUILDING #1	3,400 SF (0.078 Ac)
BUILDING #2	2,800 SF (0.064 Ac)
MAINTENANCE SHED	200 SF (0.005 Ac)
TRASH ENCLOSURE	264 SF (0.006 Ac)
ASPHALT ACCESS/PARKING LOT (PGHS)	19,966 SF (0.458 Ac)
GRAVEL (PGHS)	1,191 SF (0.027 Ac)
CONCRETE (PGHS)	325 SF (0.007 Ac)
CONCRETE WALKWAY / HARDSCAPE	3,232 SF (0.074 Ac)
TOTAL:	31,370 SF (0.720 Ac)
TOTAL (PGHS) ONSITE:	
LANDSCAPING	21,474 SF (0.493 Ac)
PROPOSED PERVIOUS ONSITE:	
PAVERS	10,693 SF (0.245 Ac)
PROPOSED IMPERVIOUS OFFSITE:	
ASPHALT ACCESS (PGHS)	37 SF (0.001 Ac)
ASPHALT UTILITY TRENCHING (PGHS)	371 SF (0.008 Ac)
CONCRETE DRIVEWAY APPROACH (PGHS)	1,056 SF (0.024 Ac)
CONCRETE CURBING (PGHS)	229 SF (0.005 Ac)
CONCRETE SIDEWALK	197 SF (0.004 Ac)
CONCRETE FOOT BRIDGES	60 SF (0.001 Ac)
CONCRETE WALKWAY / HARDSCAPE	31 SF (0.001 Ac)
TOTAL:	1,981 SF (0.045 Ac)
TOTAL (PGHS) OFFSITE:	
PAVERS	212 SF (0.005 Ac)
TOTAL PROPOSED IMPERVIOUS:	
TOTAL PROPOSED (PGHS):	33,351 SF (0.765 Ac)
	23,167 SF (0.532 Ac)

SHEET INDEX

1. COVER SHEET / SITE PLAN
2. STORM DRAINAGE AND UTILITY PLAN
3. STORM INFILTRATION TRENCH PLAN, DETAILS/NOTES
4. NOTES AND DETAILS SHEET 1
5. NOTES AND DETAILS SHEET 2
6. NOTES AND DETAILS SHEET 3
7. NOTES AND DETAILS SHEET 4
8. NOTES AND DETAILS SHEET 5
9. NOTES AND DETAILS SHEET 6
10. NOTES AND DETAILS SHEET 7

BUILDING INFORMATION

2 - 40'X70' 2-STORY WOOD FRAME STRUCTURES.
MAIN FLOOR RETAIL.
UPPER FLOOR SHORT TERM RENTAL UNITS
1 - 10'X20' MAINTENANCE SHEDS
34' MAX BUILDING HEIGHT

SITE DATA

PARCEL NUMBER(S):
PIN 01-050-0023
ANDREA NIELSEN
3788 ECKER HILL DR.
PARK CITY, UT 84098

PIN 01-050-0024
JOHN & VIRGINIA FRANCIS
450 W 2000 N
MAPLETON, UT 84664

SITE ADDRESS:
127 WEST MAIN STREET, HYRUM, UT

PROPERTY AREA:
PIN 01-050-0023 = 0.34 Ac (14,640 SF)
PIN 01-050-0024 = 0.63 Ac (27,423 SF)
TOTAL: 0.97 Ac (42,063 SF)

ZONING:
C-2 OVERLAY
15 FT SIDE SETBACKS AGAINST
RESIDENTIAL
NO SETBACKS REQUIRED.

PARKING:
STANDARD PARKING: 46 STALLS
ADA PARKING: 3 STALLS
TOTAL: 49 STALLS

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN
GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

COVER SHEET / SITE PLAN

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

HYRUM CITY

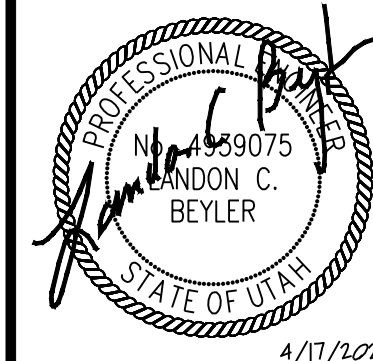
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DRAWN: EJM

CHECKED: LCB

SCALE: HORIZ: 1"=30'

DATE: 4/17/2025

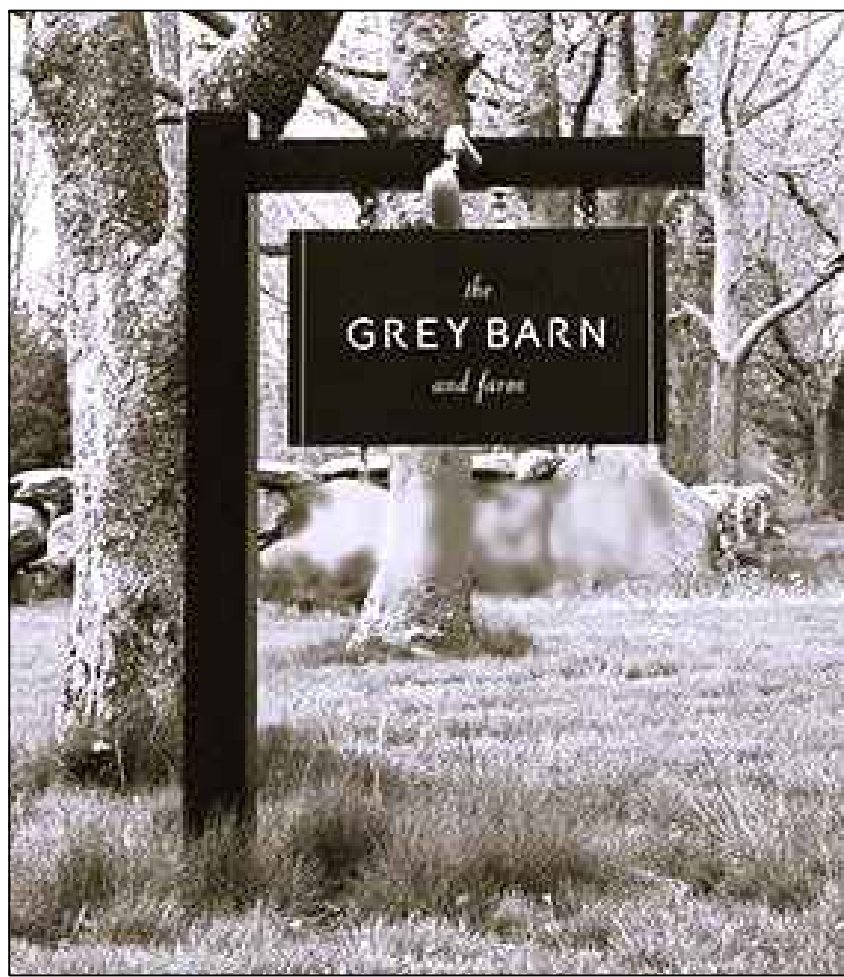


JOB NUMBER

24.00160

SHEET

1 OF 10



1 FRONT SIGN DETAIL

NTS

EXISTING UTILITIES

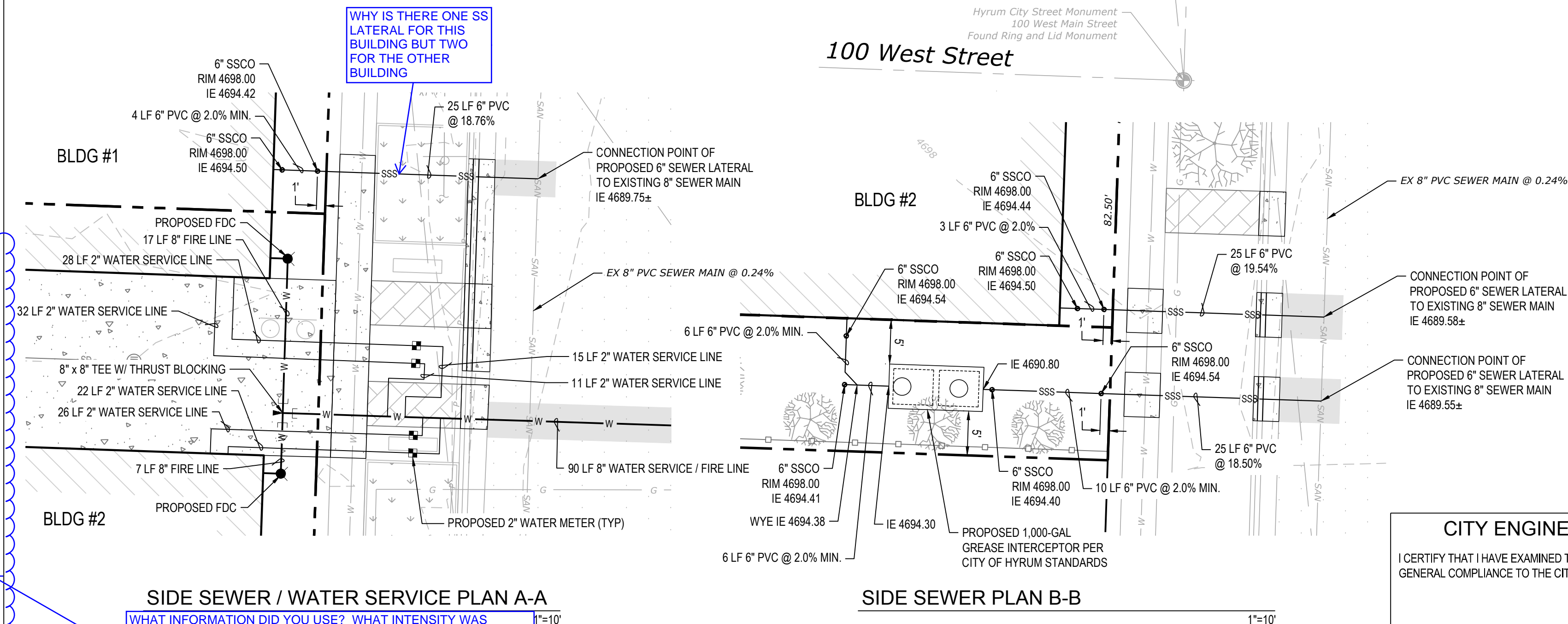
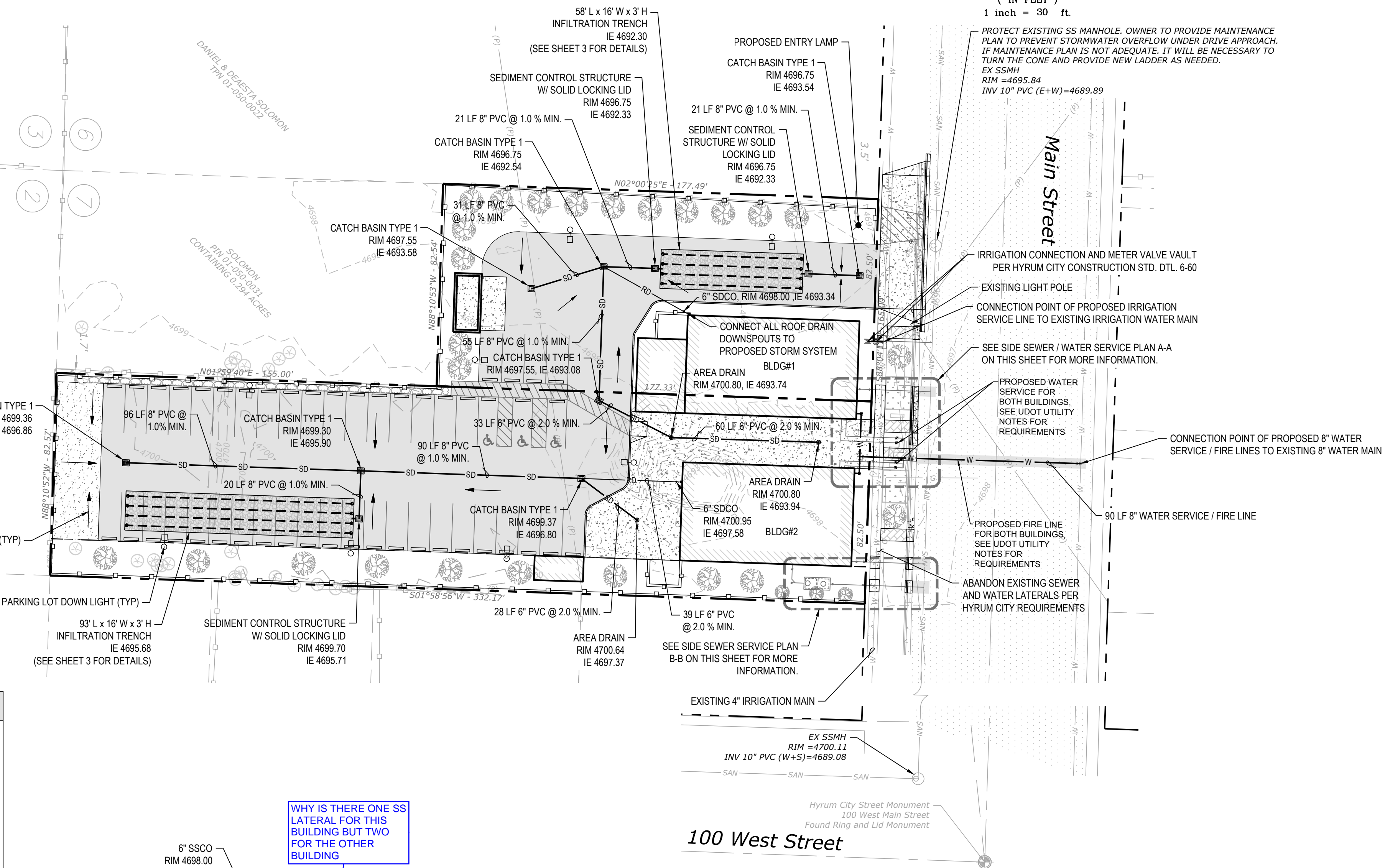
W	W	EX WATER LINE
+		EX METER
G		EX GAS LINE
P	P	EX U/G POWER LINE
(P)		EX OVERHEAD POWER LINE
COM		EX U/G COMMUNICATION LINE
*		EX LIGHT POLE
○		EX POWER POLE
SAN	SAN	EX SEWER PIPE
○		EX SANITARY MH/CO

LEGEND

---	---	EX PROPERTY BOUNDARY
---	---	EX RIGHT-OF-WAY
---	---	EX CENTERLINE
---	---	EX LOT LINE
---	---	EX MAJOR CONTOURS
---	---	EX MINOR CONTOURS
---	---	EX ASPHALT
---	---	EX CONCRETE
---	---	EX CURBING
---	---	EX WOOD FENCE
---	---	EX SIGN
---	---	ASPHALT PAVEMENT
---	---	CONCRETE
---	---	BUILDING
---	---	LANDSCAPING
---	---	WOOD FENCE
---	---	WHEEL STOP
---	---	TREE
SD	SD	STORM DRAINAGE PIPE
RD	RD	ROOF DRAINS
---	---	INFILTRATION TRENCH
DS		ROOF DOWNSPOUT
SDCO		STORM CLEANOUT
AD	CB	AREA DRAIN / CATCH BASIN TYPE 1
---	---	FLOW ARROW/SLOPE ARROW
SSS	SSS	SANITARY SEWER LATERAL
---	---	SANITARY CLEANOUT
W	W	WATER SERVICE / FIRE LINE
---	---	WATER METER
---	---	IRRIGATION CONTROL VALVE
---	---	LIGHT POLE

GENERAL NOTES

- THE EXISTING CONTOURS SHOWN HEREON WERE OBTAINED VIA FIELD SURVEY COMPLETED IN MAY 2022.
- THE SITE GENERALLY SLOPES NORTHWESTERLY TOWARDS THE PROPOSED RETENTION BASIN.
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 - DOWNSPOUTS FROM ROOF AREAS WILL BE DIRECTED TO LANDSCAPE AREAS OR STREETS.
 - LANDSCAPE AREAS WILL SHEET FLOW TO SWALES AND COLLECTED BY AREA DRAINS AND CARRIED TO THE RETENTION BASIN THROUGH UNDERGROUND PIPING.
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 - I = RAINFALL INTENSITY IN INCHES PER HOUR (IN/HR)
 - A = DRAINAGE AREA IN ACRES
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- STORM INTENSITIES USED IN THIS STUDY AREA ARE TAKEN FROM THE NATIONAL WEATHER SERVICE'S PRECIPITATION FREQUENCY DATA SERVER. INTENSITIES FOR THE 100 YEAR STORM ARE SHOWN IN THE DRAINAGE REPORT ASSOCIATED WITH THIS PROJECT.
- A COMPREHENSIVE STORM DRAINAGE STUDY WILL BE PROVIDED AS PART OF THE FINAL SITE PLAN SUBMITTAL.



CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

STORM DRAINAGE AND UTILITY PLAN

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

HYRUM CITY

DESIGNED: LCB/EJM

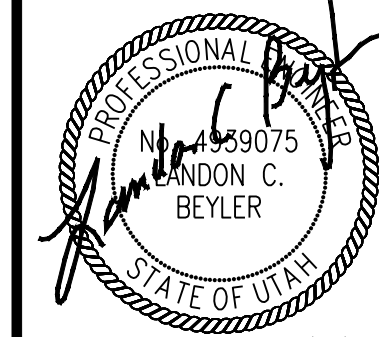
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SCALE: HORIZ: 1"=30'

DATE: 4/17/2025

UTAH



4/17/2025

JOB NUMBER

24.00160

SHEET

2 OF 10

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LEGEND

EX PROPERTY BOUNDARY

EX MAJOR CONTOURS

EX MINOR CONTOURS

ASPHALT PAVEMENT

WOOD FENCE

TREE

SD

SD

STORM DRAINAGE PIPE

RD

RD

ROOF DRAINS

INFILTRATION TRENCH

CS

CATCH BASIN TYPE 1

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024

STORM INFILTRATION TRENCH A

NOTES:

1.

PERFORATED PVC UNDERDRAIN PIPE SHALL MEET WSDOT SPECIFICATION 9-05.2(6).

2.

PIPE PERFORATIONS SHALL BE CIRCULAR AND A MINIMUM OF 1/2 INCH IN DIAMETER. THEY SHALL BE CLEANLY CUT AND BE SMOOTH AND UNIFORM. THERE SHALL BE A MINIMUM OF 7 SETS OF PERFORATIONS WITH 2 HOLES PER SET OF PERFORATIONS FOR EACH 3-1/2 FEET OF PIPE LENGTH.

QUICK CALCULATIONS

6676

×

0.4

=

2,670.4

6795

-

119

=

6,676

151

×

3

×

15

=

6,795

0.785375

×

151

=

118.591625

0.5

×

0.5

×

3.1415

=

0.785375

ARE THE ENDS CAPPED OR DO THEY CONNECT TO THE INLETS? HOW DOES THE STORM WATER FEED TO THE SUMP? HOW IS SEDIMENT CAPTURED TO PROVIDE LONGEVITY OF THE SYSTEM?

STORMWATER RETENTION POND B

NOTES:

1.

PERFORATED PVC UNDERDRAIN PIPE SHALL MEET WSDOT SPECIFICATION 9-05.2(6).

2.

PIPE PERFORATIONS SHALL BE CIRCULAR AND A MINIMUM OF 1/2 INCH IN DIAMETER. THEY SHALL BE CLEANLY CUT AND BE SMOOTH AND UNIFORM. THERE SHALL BE A MINIMUM OF 7 SETS OF PERFORATIONS WITH 2 HOLES PER SET OF PERFORATIONS FOR EACH 3-1/2 FEET OF PIPE LENGTH.

1 STORM INFILTRATION TRENCH SECTION A-A

NTS

2 STORM INFILTRATION TRENCH SECTION B-B

NTS

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

STORM INFILTRATION TRENCH PLAN, DETAILS/NOTES

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

HYRUM CITY

DESIGNED: LCB/EJM

CHECKED: LCB

SCALE: HORIZ: 1"=10' VERT: 1"=10'

DATE: 4/17/2025

UTAH

Plan. Design. Manage

CONSTRUCTION MANAGEMENT
PERMITTING SERVICES | PLANNING & FEASIBILITY
PROJECT MANAGEMENT | TRAINING & FEASIBILITY

CORPORATE OFFICE
5920 100th St SW, Ste #25
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(253) 984-2900
beylerconsulting.com

JOB NUMBER

24.00160

SHEET

3 OF 10

24

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SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



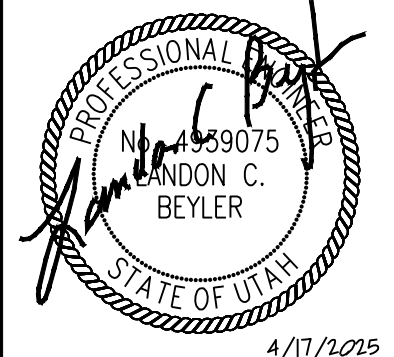
Section 9, Item B.

DATE	
INIT	
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NO.	

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Lakewood, WA 98499
(253) 984-2900
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BEYLER CONSULTING
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PERMITTING SERVICES

NOTES AND DETAILS SHEET 2
HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS
UTAH
DATE: 4/17/2025
VERT: 4/17/2025
SCALE: HORIZ:
CHECKED: LCB
DRAWN: EJM
DESIGNED: EJM
HYRUM CITY



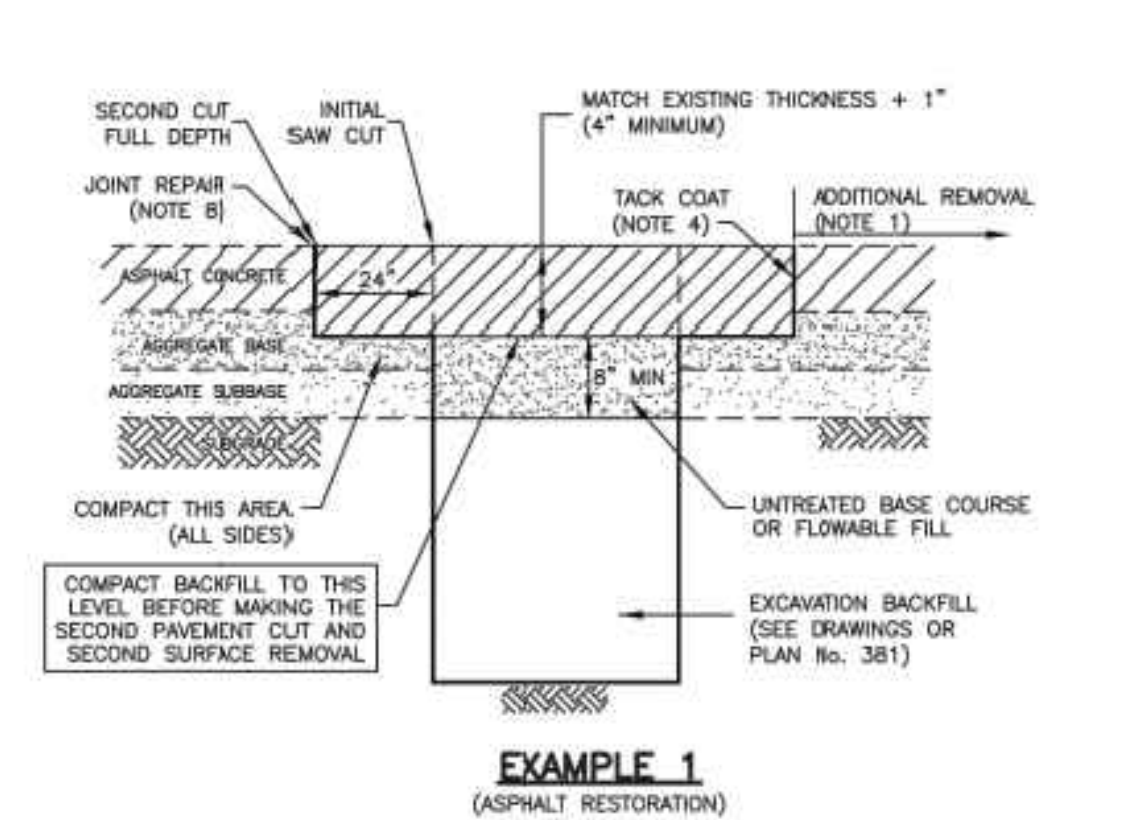
JOB NUMBER
24.00160
SHEET
5 OF 10

ASPHALT CONCRETE T-PATCH

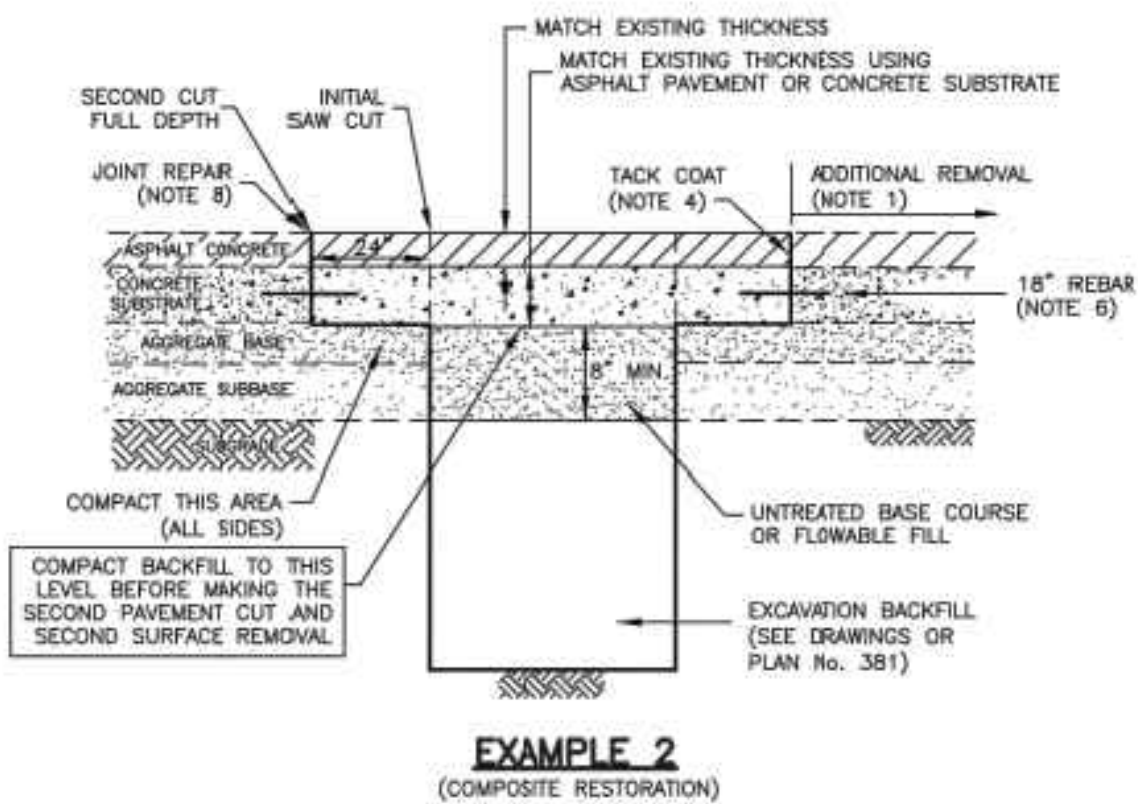
- ADDITIONAL PAVEMENT REMOVAL: Remove additional pavement to a painted lane stripe, a lip of gutter, a curb, an existing pavement patch, or an edge of the pavement if such street feature is within 2 feet of the second saw-cut.
- UNTREATED BASE COURSE: Provide material specified in APWA Section 32 11 23.
 - Do not use gravel as a substitute for untreated base course without ENGINEER's permission.
 - Place material per APWA Section 32 05 10.
 - Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
- FLOWABLE FILL: Provide 28 day 60 psi controlled low strength material as specified in APWA Section 31 05 15. Use fill material which flows easily and vibration is not required. Cure to initial set before placing aggregate base or asphalt pavement. Use flowable fill in excavations that are too narrow to receive compaction equipment.
- TACK COAT: APWA Section 32 12 14. Full tack coat coverage on all vertical surfaces.
- ASPHALT PAVEMENT: Use asphalt concrete specified in APWA Section 33 05 25.
 - Install in lifts no greater than 3 inches after compaction.
 - Compact to 94 percent of ASTM D 2041 (Rice Method) plus or minus 2 percent.
- REINFORCEMENT: ASTM A 615, Grade 60, No. 5 galvanized or epoxy coated deformed steel 12 inches on center.
 - Required if existing concrete thickness is 6 inches or greater.
 - Not required if (1) existing concrete is less than 6 inches thick, (2) existing concrete is deteriorating, (3) excavation is less than 3 feet square, (4) asphalt pavement is substituted for concrete substrate.
- CONCRETE SUBSTRATE: Class 4000 per APWA Section 03 30 04. Place concrete per APWA Section 03 30 10. Cure to initial set before placing new asphalt concrete patch.
- JOINT REPAIR: If a crack occurs at the "T" patch connection to existing pavement or at any street fixture, seal the crack per APWA Section 32 01 17.
- PATCH REPAIR: Repair the asphalt pavement patch if any of the following conditions within the patch occur.
 - Pavement surface distortion exceeds 1/4 inch deviation in 10 feet. Repair option: Plane off surface distortions. Coat planed surfaces with a cationic or anionic emulsion that complies with APWA Section 32 12 03 and provide sand blotter.
 - Cracks at least 1-foot long and 1/4 inch wide occur more often than 1 in 10 square feet. Repair option: Crack seal.
 - Asphalt raveling is greater than 1 square foot per 100 square feet. Repair option: Mill and inlay.

SHALLOW EXCAVATION

(LESS THAN 48 INCHES FROM PAVEMENT SURFACE TO BOTTOM OF EXCAVATION)



EXAMPLE 1
(ASPHALT RESTORATION)



EXAMPLE 2
(COMPOSITE RESTORATION)

Asphalt concrete "T" patch

Plan No.
255

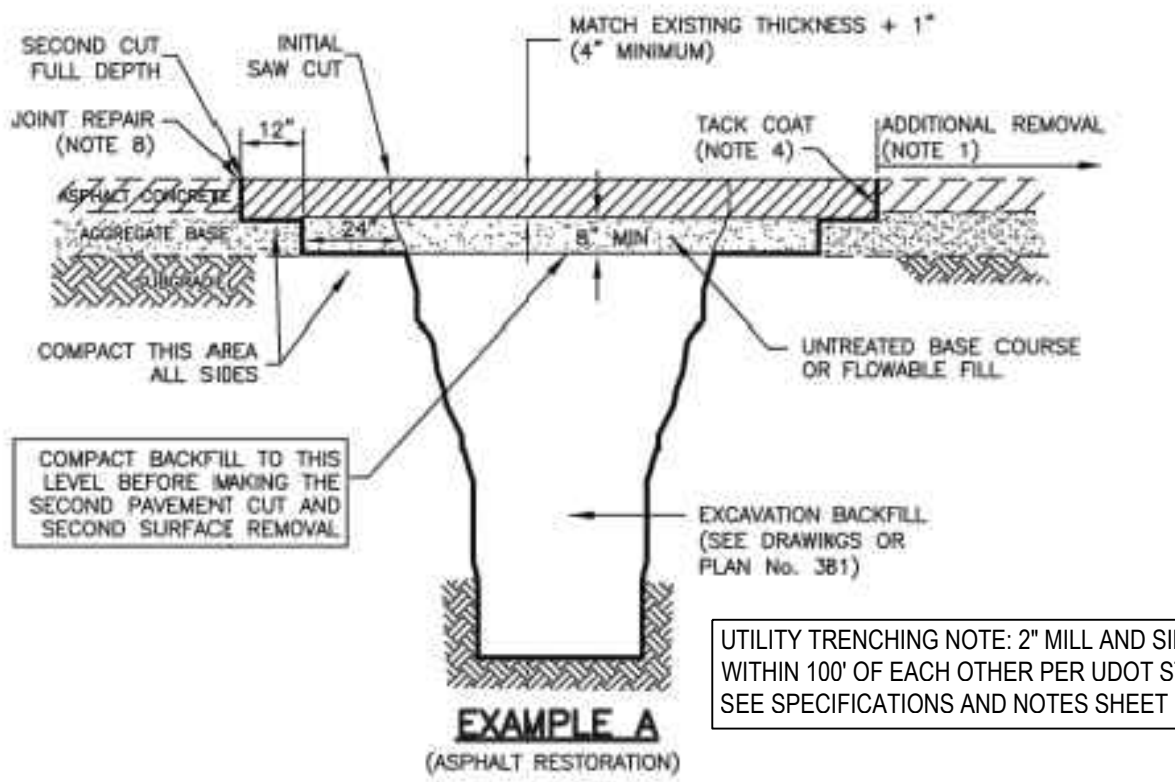
Drawing 1 of 2

ASPHALT CONCRETE T-PATCH

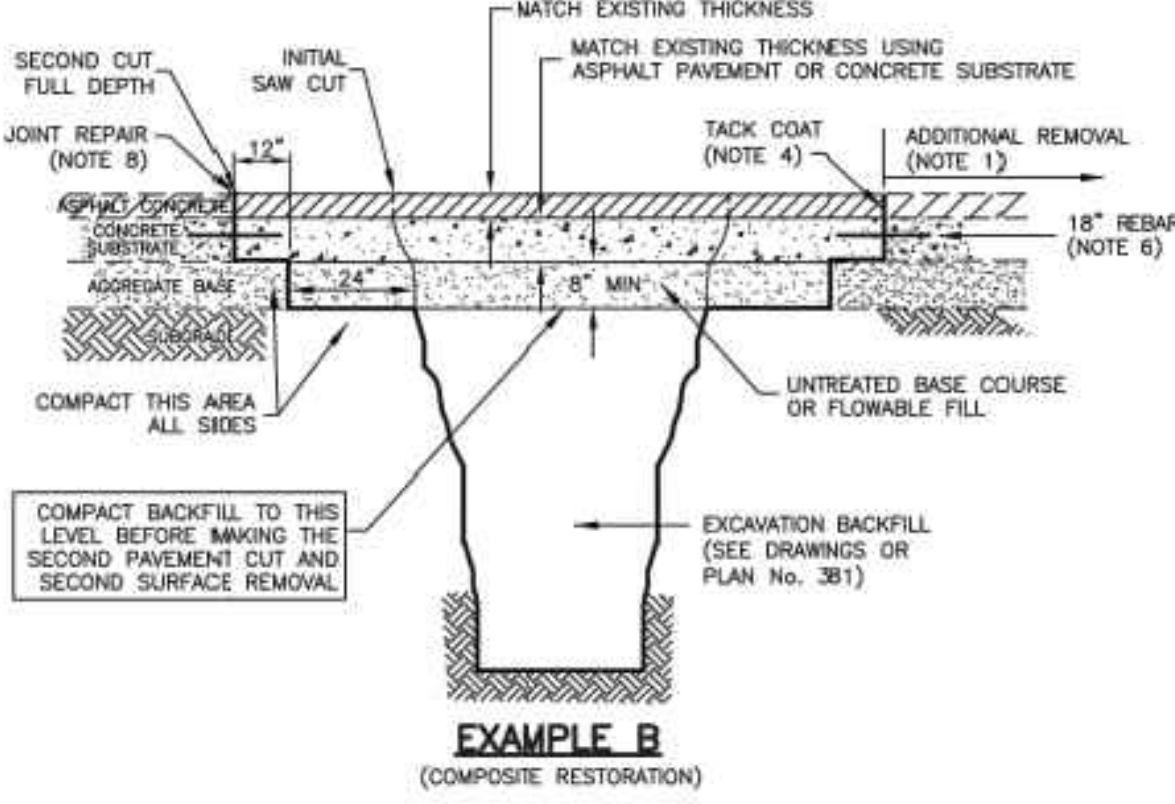
- ADDITIONAL PAVEMENT REMOVAL: Remove additional pavement to a painted lane stripe, a lip of gutter, a curb, an existing pavement patch, or an edge of the pavement if such street feature is within 2 feet of the second saw-cut.
- UNTREATED BASE COURSE: Provide material specified in APWA Section 32 11 23.
 - Do not use gravel as a substitute for untreated base course without ENGINEER's permission.
 - Place material per APWA Section 32 05 10.
 - Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
- FLOWABLE FILL: Provide 28 day 60 psi controlled low strength material as specified in APWA Section 31 05 15. Use fill material which flows easily and vibration is not required. Cure to initial set before placing aggregate base or asphalt pavement. Use flowable fill in excavations that are too narrow to receive compaction equipment.
- TACK COAT: APWA Section 32 12 14. Full tack coat coverage on all vertical surfaces.
- ASPHALT PAVEMENT: Use asphalt concrete specified in APWA Section 33 05 25.
 - Install in lifts no greater than 3 inches after compaction.
 - Compact to 94 percent of ASTM D 2041 (Rice Method) plus or minus 2 percent.
- REINFORCEMENT: ASTM A 615, Grade 60, No. 5 galvanized or epoxy coated deformed steel 24 inches on center.
 - Required if existing concrete thickness is 6 inches or greater.
 - Not required if (1) existing concrete is less than 6 inches thick, (2) existing concrete is deteriorating, (3) excavation is less than 3 feet square, (4) asphalt pavement is substituted for concrete substrate.
- CONCRETE SUBSTRATE: Class 4000 per APWA Section 03 30 04. Place concrete per APWA Section 03 30 10. Cure to initial set before placing new asphalt concrete patch.
- JOINT REPAIR: If a crack occurs at the "T" patch connection to existing pavement or at any street fixture, seal the crack per APWA Section 32 01 17.
- PATCH REPAIR: Repair the asphalt pavement patch if any of the following conditions occur within the patch.
 - Pavement surface distortion exceeds 1/4 inch deviation in 10 feet. Repair option: Plane off surface distortions. Coat planed surfaces with a cationic or anionic emulsion that complies with APWA Section 32 12 03 and provide sand blotter.
 - Cracks at least 1-foot long and 1/4 inch wide occur more often than 1 in 10 square feet. Repair option: Crack seal.
 - Asphalt raveling is greater than 1 square foot per 100 square feet. Repair option: Mill and inlay.

DEEP EXCAVATION

(MORE THAN 48 INCHES FROM PAVEMENT SURFACE TO BOTTOM OF EXCAVATION)



EXAMPLE A
(ASPHALT RESTORATION)



EXAMPLE B
(COMPOSITE RESTORATION)

Asphalt concrete "T" patch

Plan No.
255

Drawing 2 of 2

SECTION 02056

EMBANKMENT, BORROW, AND BACKFILL

PART 1 GENERAL

1.1 SECTION INCLUDES

- Embankment, backfill, and bridge approach embankments.

1.2 RELATED SECTIONS

- Section 02721: Untreated Base Course (UTBC)
- Section 03575: Flowable Fill

1.3 REFERENCES

- AASHTO M 145: Classification of Soils and Soil-Aggregate Mixtures for Highway Construction Purposes
- AASHTO T 11: Materials Finer than 75 µm (No. 200) Sieve in Mineral Aggregates by Washing
- AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- AASHTO T 99: Moisture-Density Relations of Soils Using a 2.5 kg (5.5-lb) Rammer and a 305 mm (12 inch) Drop
- AASHTO T 180: Moisture-Density Relations of Soils Using a 4.54 kg (10-lb) Rammer and a 457 mm (18 inch) Drop
- UDOT Materials Manual of Instruction
- UDOT Minimum Sampling and Testing Requirements

1.4 DEFINITIONS

- Borrow material – imported material for use in a constructed fill or backfill.
- Embankment material – suitable material from project roadway excavation or other excavation for use in a constructed fill or backfill.

Embankment, Borrow, and Backfill
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Latest Revision: September 14, 2023

PART 2 PRODUCTS

2.1 GENERAL

- Provide materials free of contamination from chemical or petroleum products for embankment, borrow, and backfill placements.
 - Materials may include recycled Portland Cement Concrete.
 - Do not include asphalt pavement materials.

2.2 MATERIALS

- Borrow
 - Classifications A-1-a through A-4, Refer to AASHTO M 145.
- Granular Borrow
 - Classification A-1-a. Refer to AASHTO M 145.
 - Non-plastic.
 - Meet the gradation requirements of Table 1

Sieve Size	Percent Passing
4 inch	100
3 inch	90 - 100
1 inch	60 - 100
1/2 inch	30 - 80
No. 4	25 - 65
No. 10	0 - 50
No. 40	0 - 30
No. 200	0 - 15

- UTBC meeting the requirements of Section 02721, may be used, at no additional cost to the Department, upon authorization of the Engineer.
- Granular Backfill Borrow
 - Classification A-1-a. Refer to AASHTO M 145.
 - Well-graded, 2 inch maximum.

- Free-Draining Granular Backfill
 - Meet the gradation requirements of Table 2:

Embankment, Borrow, and Backfill
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- Well-graded material – Material having an even distribution of different particle sizes. This even distribution of particles of different sizes results in a dense mass upon compaction.

1.5 SUBMITTALS

- Provide the following for information before delivering material to the project:
 - Supplier and source of materials.
 - Gradation analysis. Refer to AASHTO T 27 and T 11.
 - Soil classification when applicable. Refer to AASHTO M 145.
 - Maximum Dry Density and Optimum Moisture Determination
 - Use AASHTO T 180 Method D for A-1 soils and AASHTO T 99 Method D for all other soils.
- Requests, for review, to use Untreated Base Course (UTBC) instead of granular borrow.
- Engineering proposals for review for alternate materials or trench configurations for drainage pipe bedding and pipe backfill as outlined in this Section, 2.2 G. Include all of the following:
 - Stamped drawings and specifications signed and sealed by a Professional Engineer licensed in the state of Utah.
 - Evaluation of site specific conditions and surrounding soils, including potential for migration of fines.
 - A structural evaluation of the pipe support system for the proposed pipe that includes the pipe structural capacity and the depth of fill.
 - Complete bedding or backfill source information including gradation, soil classification, and laboratory testing reports.
- Proposals, for review, to place an initial layer of granular material as a working platform.

1.6 ACCEPTANCE

- Acceptance sampling and testing is according to UDOT Minimum Sampling and Testing Requirements.
- The Engineer reserves the right to select and test material from any location at the construction site.
 - The Engineer will establish the limits of nonconforming material sampled non-randomly.
- Remove nonconforming material and replace with acceptable material.

Embankment, Borrow, and Backfill
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2025 Standard Specifications
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Sieve Size	Percent Passing
1 1/2 inch	90-100
1 inch	20-55
3/4 inch	0-15
3/8 inch	0-5

- Embankment for Bridge
 - Classification A-1. Refer to AASHTO M 145.
 - 3 inch maximum.
- Embankment Material
 - Roadway excavation and other excavation material.
 - Do not include unsuitable materials such as organic, frozen, or contaminated soils.
 - Do not use rock or broken concrete materials with any dimension over 1 ft.
 - Borrow may be substituted for embankment material.
- Drainage Pipe Bedding and Drainage Pipe Backfill
 - Classification A-1. Refer to AASHTO M145.
 - Well-graded material.
 - Maximum aggregate size is 1 1/2 inches for plastic pipe, 2 inches for all other pipes.
 - Flowable fill. Refer to Section 03575.
 - Use only for drainage pipe backfill.
 - Other materials or trench configurations for drainage pipe bedding and backfill may be used when authorized.
 - Native materials or uniformly graded materials enclosed in an appropriate drainage geotextile may be proposed.

PART 3 EXECUTION

3.1 GENERAL

- Complete clearing, grubbing, stripping, and stockpiling topsoil, and any necessary excavation before placing material.
- Requirements when placing material during freezing or snowy conditions:
 - Do not place embankment, borrow, or backfill material on frozen or snow-covered areas.

Embankment, Borrow, and Backfill
02056 – Page 4 of 8

2025 Standard Specifications
Latest Revision: September 14, 2023

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE



PROFESSIONAL ENGINEER
No. 4939075
RANDON C. BEYLER
STATE OF UTAH
4/17/2025

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HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS
PARCEL #'s 01-050-0023 & 01-050-0024



- C. Type III Placement – Shoulder
- Use Class A or B aggregate, Table 1.
 - Adjust moisture content before compaction.
- D. Material not meeting the gradation requirements may be allowed to remain in-place at the discretion of the Engineer provided density requirements are met.
- Additional lots may not be placed until the deficiencies are addressed and corrected.
- E. Correct material that does not meet the specified criteria by scarifying, placing additional material, re-mixing, reshaping, and re-compacting when determined by the Engineer.
- F. Do not place additional material on any unaccepted layer.

PART 2 PRODUCTS

2.1 AGGREGATES

- A. Well-graded, clean, hard, tough, durable, and sound mineral aggregates consisting of crushed stone, crushed gravel, or crushed slag, free of organic matter and contamination from chemical or petroleum products, according to Table 1.

Table 1 Aggregate Properties			
	Aggregate Class		
	A	B	
Dry Rodded Unit Weight	Not less than 75 lb/ft ³		AASHTO T 19
Liquid Limit/Plastic Index	Non-plastic	PI ≤ 6	AASHTO T 89 AASHTO T 90
Aggregate Wear	Not to exceed 50 percent		AASHTO T 96
Gradation	Table 2		AASHTO T 11 AASHTO T 27
CBR with a 10 lb surcharge measured at 0.20 inch penetration	70% Minimum	N/A	AASHTO T 193
Two Fractured Faces	50% Min	N/A	AASHTO T 335

Untreated Base Course (UTBC)
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Latest Revision: [June 8, 2023](#)

- G. AASHTO T 90: Determining the Plastic Limit and Plasticity Index of Soils
- H. AASHTO T 96: Resistance to Degradation of Small-Size Coarse Aggregate by Abrasion and Impact in the Los Angeles Machine
- I. AASHTO T 104: Soundness of Aggregate by Use of Sodium Sulfate or Magnesium Sulfate
- J. AASHTO T 112: Clay Lumps and Friable Particles in Aggregate
- K. AASHTO T 176: Plastic Fines in Graded Aggregates and Soils by Use of the Sand Equivalent Test
- L. AASHTO T 195: Determining Degree of Particle Coating of Asphalt Mixtures
- M. AASHTO T 209: Theoretical Maximum Specific Gravity and Density of Asphalt Mixtures
- N. AASHTO T 255: Total Evaporable Moisture Content of Aggregate by Drying
- O. AASHTO T 304: Uncompacted Void Content of Fine Aggregate
- P. AASHTO T 335: Determining the Percentage of Fracture in Coarse Aggregate
- Q. UDOT Materials Manual of Instruction
- R. UDOT Minimum Sampling and Testing Requirements
- S. UDOT Quality Management Plans

1.4 DEFINITIONS

- A. Longitudinal Joint – Any new asphalt lift abutting an existing paving lift. This includes joints created by echelon paving and new asphalt placed against a milled asphalt edge.
- B. Lot – The amount of Asphalt Mix placed in a single Production Day.
- C. Minor Target Change – A change from the verified mix design gradation target on a maximum of two sieves with the following limitations.
- The maximum change from the verified target gradation on the No. 8 or any coarser sieve is limited to 3 percent passing per sieve.

Asphalt Mix
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- B. Establish the job mix (target) gradation for the ¾ inch sieve and finer within the gradation limits.
- The Job Mix Gradation Tolerance is the allowable deviation from the job mix (target) gradation on the applicable sieves.
 - All other percents passing will be within the gradation limits. Refer to AASHTO T 11 and AASHTO T 27.

Sieve Size	Gradation Limits	
	Job Mix Gradation Target Band	Job Mix Gradation Tolerance
1½ inch	100	
1 inch	90 - 100	±9.0
¾ inch	70 - 85	±9.0
½ inch	65 - 80	±9.0
¾ inch	55 - 75	±9.0
No. 4	40 - 65	±7.0
No. 16	25 - 40	±5.0
No. 200	7 - 11	±3.0

Percent passing based on total aggregate (dry weight) and fine and coarse aggregate with approximately the same bulk specific gravities.

PART 3 EXECUTION

3.1 PREPARATION

- A. Remove vegetation before Type III placement. Refer to Section 02231.
- Protect existing delineators in place.

3.2 INSTALLATION

- A. Provide moisture content of ± 2 percent of optimum at the time of placement. Refer to AASHTO T 180, Method D and AASHTO T 255.
- B. Procedures for Changing the Job-Mix Gradation
- Submit changes in writing 24 hours before placement for approval by the Engineer.
- C. Place in layers of uniform thickness and compact each layer to a thickness not to exceed a 6 inch depth.
- Do not place on any frozen surface. Refer to Section 01572.

Untreated Base Course (UTBC)
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- The maximum change from the verified target gradation on the No. 16 or No. 50 sieves is 2 percent passing per sieve.
 - The maximum change from the verified target gradation on the No. 200 sieve is 0.5 percent passing.
 - No target change may violate the mix design requirements in this section.
- D. Overband – an 8 inch protective asphalt coating sealing the longitudinal joint of final riding surface, as proposed by the contractor and approved by the Engineer
- E. Production Day – A 24 hour period in which Asphalt Mix is being placed.
- F. RAP – Recycled Asphalt Pavement. Crushed or milled asphalt materials that have been removed from pavements for recycling.
- G. Thin Overlay Pavement – New Asphalt Mix design thickness less than 2 inches.
- H. Lane-Leveling – Variable depth paving to correct minor rutting and longitudinal variations in the roadway. Depth varies from the maximum aggregate size to the depth needed to correct variations.
- I. Profile leveling - Variable depth paving to correct minor profile variations in the roadway. Depth varies from the maximum aggregate size to the depth needed to correct variations.

1.5 SUBMITTALS

- A. Mix design for verification and approval before paving according to UDOT Materials Manual of Instruction Section 960.
- B. Changes in job mix design
- Submit a written request for any proposed change in the job-mix design
 - Allow at least 12 hours for approval before incorporating a minor target change into production.
 - Allow at least six working days for verification and approval of any other change. - Include documentation supporting correlation between suggested target changes and mix design volumetric requirements.
 - Acceptable documentation may include Department or Contractor testing data. - Submit samples according to the UDOT Materials Manual of Instruction 960 for a volumetric mix design verification for anything other than approved minor target changes.

Asphalt Mix
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- D. Finish to a uniform line and grade with surface deviations no more than ¾ inch in 10 ft in any direction.
- Correct any profile deviations greater than ¾ inch.
 - Rework minimum of 4 inch lift to achieve homogeneous density.
 - Determine limits of correction based on extent of deviation.
 - Continue finishing until existing deviation is less than ¾ inch.
- E. Maintain optimum moisture content ± 2 percent during compaction.
- Use appropriate compaction equipment adjacent to abutments, backwalls, approach slabs, wing walls, retaining walls, and other structures.
 - Use a minimum of two passes with a roller for Type III placement or as directed by the Engineer.

END OF SECTION

Untreated Base Course (UTBC)
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- C. Corrective action plan for approval according to this Section, Article 3.3, paragraph C2 and Article 3.4, paragraph A4b.
- D. Refer to this Section, Article 3.4 for laboratory correlation submittals for information.
- E. Mat joint layout plan to the Engineer for review before placement.

1.6 ACCEPTANCE

- A. Acceptance sampling and testing of material is according to UDOT Minimum Sampling and Testing Requirements.
- B. Gradation and asphalt binder content
- The Engineer evaluates a lot on the test results of four or more samples, except when only three samples can be taken.
 - Evaluate the lot using the number of tests "n" in Table 3.
 - The Engineer informs the Contractor of the time and place of sampling not more than 15 minutes before sampling.
 - Increase sample sizes to accommodate validation or third-party testing as required.
- C. Density and Thickness
- Obtain cores from the mat and longitudinal joint within two calendar days after the pavement is placed and according to UDOT Materials Manual of Instruction, Section 984.
 - The Engineer marks coring location for in-place mat density and longitudinal joint density cores.
 - Fill core holes with Asphalt Mix, SMA or high-asphalt-content cold mix and compact in thin lifts within 24 hours and before returning to traffic.
 - The Department witnesses the coring operation, takes possession of the cores immediately, and begins testing the cores within 24 hours for density acceptance.

Asphalt Mix
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2025 Standard Specifications
Latest Revision: [November 18, 2021](#)

SECTION 02741

ASPHALT MIX

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Flexible pavement consisting of one or more layers of an asphalt mixture comprised of aggregate, asphalt binder, hydrated lime, and other additives.
- B. An option to incorporate Reclaimed Asphalt Pavement (RAP) materials into Asphalt Mix.

1.2 RELATED SECTIONS

- A. Section 01456: Materials Dispute Resolution
- B. Section 02701: Pavement Smoothness
- C. Section 02742S: Project Specific Surfacing Requirements
- D. Section 02745: Asphalt Material
- E. Section 02746: Hydrated Lime
- F. Section 02748: Prime Coat/Tack Coat

1.3 REFERENCES

- A. AASHTO M 323: Superpave Volumetric Mix Design
- B. AASHTO R 35: Superpave Volumetric Design for Asphalt Mixtures
- C. AASHTO T 11: Materials Finer Than 75 µm (No. 200) Sieve in Mineral Aggregates by Washing
- D. AASHTO T 19: Bulk Density ("Unit Weight") and Voids in Aggregate
- E. AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- F. AASHTO T 89: Determining the Liquid Limit of Soils

Asphalt Mix
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2025 Standard Specifications
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- Density Requirements
 - The target for in-place density for the mat is 93.5 percent of Theoretical Maximum Specific Gravity except for thin overlay pavements.
 - The target for in-place density for the longitudinal joint is 91.5 percent of the Theoretical Maximum Specific Gravity (G_{mm}).
 - The target for in-place density is 92.5 percent of theoretical maximum specific gravity for thin overlay pavements.
 - Do not take longitudinal joint cores for thin overlay pavements.
- Thickness is evaluated with mat density cores. The thickness requirement may be waived when matching up to existing pavement, curb and gutter for Pavement in or next to intersections.
 - The Department accepts a lot for thickness when:
 - The average thickness is not more than ¾ inch greater or ¾ inch less than the total design thickness specified.
 - No individual subplot shows a deficient thickness of more than ¾ inch. - Excess Thickness – The Engineer may allow excess thickness to remain in place or may order its removal.
 - The Department pays for 50 percent of the mix for material in excess of the +¾ inch tolerance when excess thickness is allowed to remain in place. - Deficient Thickness – Place additional material where lots or sublots are deficient in thickness.
 - The Department pays for material necessary to reach specified thickness.
 - The Department pays for 50 percent of the mix for additional material over specified thickness necessary to achieve minimum lift thickness.
 - Minimum compacted lift is 3 times the nominal maximum aggregate size. - Thickness tolerances established above do not apply to leveling courses.
 - Check final surfaces in staged construction. - Check thickness regularly with a depth probe during placement and take corrective action as necessary.

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

NOTES AND DETAILS SHEET 4

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

UTAH

DATE: 4/17/2025

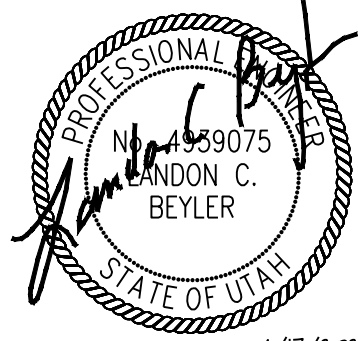
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HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



4. Longitudinal Joint
- a. The edge of a new asphalt mat may be removed for the purpose of meeting longitudinal joint density requirements.
- 1) The material wasted is still included in the payment.
- 2) Up to 3 inches for a confined edge is allowed.
- 3) Up to 6 inches for an unconfined edge is allowed.
- D. The Department applies one Incentive/Disincentive for the lowest dollar value for Gradation/Asphalt Content, one Incentive/Disincentive for In-Place Mat Density, and one Incentive/Disincentive for Longitudinal Joint Density. The Engineer computes Incentives/Disincentives as follows for each lot
1. Compute incentive/disincentive for Gradation/Asphalt Binder and In-place Mat Density and Longitudinal Joint Density according to Table 1.
2. Base the incentive/disincentive on Percent within Limit (PT) computation using Tables 2, 3, and 4.
3. Use lowest single PT value combined for gradation (each of the sieves) and asphalt binder content for calculating the gradation/asphalt binder content incentive/disincentive.
4. Use Tables 2, 3, and 4 to determine PT for in-place Mat Density and Longitudinal Joint Density.
5. Meet PT of 88 or greater for in-place mat density or the Department does not pay incentives on joint density or gradation/asphalt binder content except for lane-leveling material.
6. The Department pays or assesses the longitudinal joint density incentive/disincentive per ton of Asphalt Mix placed adjacent to, and on the hot side of the longitudinal joint for each lift:
- a. The incentive/disincentive will be calculated from the core densities taken from all abutting joints if the Asphalt Mix mat has a longitudinal joint on more than one side.
- E. The Department applies incentive/disincentive for smoothness according to Section 02701.
1. Refer to Section 02701 for smoothness requirements.
- F. The Department rejects lots:
1. If the PT for any individual gradation measurement is less than 52 percent as shown in Table 1.
2. If the PT for asphalt binder content or mat density measurement is less than 60 percent as shown in Table 1.

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Table 3 Use the appropriate "number of tests" column and round down to the nearest value.												
Quality Index Values (QU or QL) for Estimating Percent Within Limits												
PU or PL	n=3	n=4	n=5	n=6	n=7	n=8	n=10	n=12	n=15	n=20		
100	1.16	1.50	1.75	1.91	2.06	2.15	2.29	2.35	2.47	2.56		
99	1.16	1.47	1.68	1.79	1.89	1.95	2.04	2.09	2.14	2.19		
98	1.15	1.44	1.61	1.70	1.77	1.80	1.86	1.89	1.93	1.97		
97	1.15	1.41	1.55	1.62	1.67	1.69	1.74	1.77	1.80	1.82		
96	1.15	1.38	1.49	1.55	1.59	1.61	1.64	1.66	1.69	1.70		
95	1.14	1.35	1.45	1.49	1.52	1.54	1.56	1.57	1.59	1.61		
94	1.13	1.32	1.40	1.44	1.46	1.47	1.49	1.50	1.51	1.53		
93	1.12	1.29	1.36	1.38	1.40	1.41	1.43	1.43	1.44	1.46		
92	1.11	1.26	1.31	1.33	1.35	1.36	1.37	1.37	1.38	1.39		
91	1.10	1.23	1.27	1.29	1.30	1.31	1.32	1.32	1.32	1.33		
90	1.09	1.20	1.23	1.24	1.25	1.25	1.26	1.26	1.27	1.27		
89	1.08	1.17	1.20	1.21	1.21	1.21	1.21	1.21	1.22	1.22		
88	1.07	1.14	1.16	1.17	1.17	1.17	1.17	1.17	1.17	1.17		
87	1.06	1.11	1.12	1.12	1.12	1.13	1.13	1.13	1.13	1.13		
86	1.05	1.08	1.08	1.08	1.08	1.08	1.08	1.08	1.08	1.08		
85	1.03	1.05	1.05	1.05	1.05	1.04	1.04	1.04	1.04	1.04		
84	1.02	1.02	1.02	1.01	1.01	1.01	1.00	1.00	1.00	1.00		
83	1.00	0.99	0.98	0.97	0.97	0.96	0.96	0.96	0.96	0.96		
82	0.98	0.96	0.95	0.94	0.94	0.93	0.93	0.92	0.92	0.92		
81	0.96	0.93	0.92	0.91	0.90	0.90	0.89	0.89	0.89	0.88		
80	0.94	0.90	0.88	0.87	0.86	0.86	0.85	0.85	0.85	0.85		
79	0.92	0.87	0.85	0.84	0.83	0.83	0.82	0.82	0.82	0.81		
78	0.89	0.84	0.82	0.81	0.80	0.79	0.79	0.78	0.78	0.78		
77	0.87	0.81	0.79	0.78	0.77	0.76	0.76	0.75	0.75	0.75		
76	0.84	0.78	0.76	0.75	0.74	0.73	0.72	0.72	0.72	0.72		
75	0.82	0.75	0.73	0.72	0.71	0.70	0.69	0.69	0.69	0.68		
74	0.79	0.72	0.70	0.68	0.67	0.67	0.66	0.66	0.66	0.65		
73	0.77	0.69	0.67	0.65	0.64	0.64	0.62	0.62	0.62	0.62		
72	0.74	0.66	0.64	0.62	0.61	0.61	0.60	0.59	0.59	0.59		
71	0.71	0.63	0.60	0.59	0.58	0.58	0.57	0.56	0.56	0.56		
70	0.68	0.60	0.58	0.56	0.55	0.55	0.54	0.54	0.54	0.53		
69	0.65	0.57	0.55	0.54	0.53	0.52	0.51	0.51	0.51	0.50		
68	0.62	0.54	0.52	0.51	0.50	0.50	0.48	0.48	0.48	0.48		
67	0.59	0.51	0.49	0.48	0.47	0.47	0.46	0.45	0.45	0.45		
66	0.56	0.48	0.46	0.45	0.44	0.44	0.43	0.42	0.42	0.42		
65	0.53	0.45	0.43	0.42	0.41	0.41	0.40	0.40	0.40	0.39		
64	0.49	0.42	0.40	0.39	0.38	0.38	0.37	0.37	0.37	0.37		
63	0.46	0.39	0.37	0.36	0.35	0.35	0.35	0.34	0.34	0.34		
62	0.43	0.36	0.34	0.33	0.33	0.33	0.32	0.31	0.31	0.31		
61	0.39	0.33	0.31	0.30	0.30	0.30	0.29	0.29	0.29	0.28		
60	0.36	0.30	0.28	0.27	0.26	0.26	0.25	0.25	0.25	0.25		
59	0.32	0.27	0.25	0.25	0.24	0.24	0.24	0.23	0.23	0.23		

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3. The Engineer may accept a reject or non-conforming lot. Refer to Section 01456.
- a. A price reduction of 35 percent of the pay item or \$20 per ton, whichever is greater, will be assessed.
- b. The lot will not be eligible for any incentive.
- G. The Engineer may elect to accept material on visual inspection according to the Minimum Sampling and Testing Requirements.
1. Incentives/Disincentives are not applied to material accepted visually.
2. The Engineer reserves the option of conducting any acceptance tests necessary to determine that the material and workmanship meets the project requirements.
- H. Meet production control requirements of Table 9.
1. Material placed within the Cease Production Limit in Table 9 is not eligible for incentives.
- 1.7 DISPUTE RESOLUTION
- A. Refer to Section 01456 when disputing the validity of the Department's acceptance tests.

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Table 3 Continued												
PU/PL	n=3	n=4	n=5	n=6	n=7	n=8	n=10	n=12	n=15	n=20		
58	0.29	0.24	0.23	0.22	0.21	0.21	0.21	0.21	0.21	0.20		
57	0.25	0.21	0.20	0.19	0.19	0.19	0.18	0.18	0.18	0.18		
56	0.22	0.18	0.17	0.16	0.16	0.16	0.16	0.16	0.16	0.15		
55	0.18	0.15	0.14	0.14	0.13	0.13	0.13	0.13	0.13	0.13		
54	0.14	0.12	0.11	0.11	0.11	0.11	0.10	0.10	0.10	0.10		
53	0.11	0.09	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08		
52	0.07	0.06	0.06	0.05	0.05	0.05	0.05	0.05	0.05	0.05		
51	0.04	0.03	0.03	0.03	0.03	0.03	0.03	0.03	0.03	0.03		
50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		

Table 4 Definitions, Abbreviations, and Formulas for Acceptance	
Term	Explanation
Target Value (TV)	The target values for gradation and asphalt binder content are given in the Contractor's volumetric mix design. See this Section, Article 1.6 for density target values.
Average (AVE)	The sum of the lot's test results for a measured characteristic divided by the number of test results—the arithmetic mean.
Standard Deviations (s)	The square root of the value formed by summing the squared difference between the individual test results of a measured characteristic and AVE, divided by the number of test results minus one.
Upper Limit (UL)	The value above the TV of each measured characteristic that defines the upper limit of acceptable production. (Table 2)
Lower Limit (LL)	The value below the TV of each measured characteristic that defines the lower limit of acceptable production. (Table 2)
Upper Quality Index (QU)	QU = (UL - AVE)/s
Lower Quality Index (QL)	QL = (AVE - LL)/s
Percentage of Lot Within UL (PU)	Determined by entering Table 3 with QU.
Percentage of Lot Within LL (PL)	Determined by entering Table 3 with QL.
Total Percentage of Lot Within UL and LL (PT)	PT = (PU + PL) – 100
Incentive/Disincentive	Determined by entering Table 1 with PT or PL.

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Table 1 Incentive/Disincentive for Asphalt Binder Content, and Mat Density	
PT Based on Min. Four Samples	Incentive/Disincentive (Dollars/Ton)
>99	2.00
96-99	1.50
92-95	1.00
88-91	0.00
84-87	-0.26
80-83	-0.60
76-79	-0.93
72-75	-1.27
68-71	-1.60
64-67	-1.93
60-63	-2.27
<60	Reject
Incentive/Disincentive for Gradation	
PT Based on Min. Four Samples	Incentive/Disincentive (Dollars/Ton)
>99	2.00
96-99	1.50
92-95	1.00
88-91	0.00
84-87	-0.26
80-83	-0.60
76-79	-0.93
72-75	-1.27
68-71	-1.60
64-67	-1.93
60-63	-2.27
56-59	-5.00
52-55	-10.00
<52	Reject
Incentive/Disincentive for Longitudinal Joint Density	
PT Based on Min. Four Samples	Incentive/Disincentive (Dollars/Ton)
>99	2.00
96-99	1.50
92-95	1.00
88-91	0.00
84-87	-0.26
80-83	-0.60
76-79	-0.93
72-75	-1.27
68-71	-1.60
64-67	-1.93
60-63	-2.27
56-59	-2.60
52-55	-5.00
<52	Apply \$5 penalty and Overband Longitudinal Joint if Final Surface Lift

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PART 2 PRODUCTS

2.1 ASPHALT BINDER

- A. Project Specific Surfacing Requirements – Refer to Section 02742S.
- B. Asphalt Material – Refer to Section 02745 and Quality Management Plan 509: Asphalt Binder.

2.2 AGGREGATE

- A. Crusher produced virgin aggregate material consisting of crushed stone, gravel, or slag.
- B. Refer to Table 5 to determine the suitability of the aggregate.
1. Coarse aggregates
- a. Retained on No. 4 sieve, AASHTO T 27
2. Fine aggregates
- a. Clean, hard grained, and angular
- b. Passing the No. 4 sieve, AASHTO T 27
- C. Meet the gradation requirements in Table 6. (AASHTO T 11, AASHTO T 27)

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Table 2 Upper and Lower Limit Determination	
Parameter	UL and LL
% inch sieve for ½ inch Asphalt Mix	Target Value ± 6.0%
No. 4 sieve for ¾ inch Asphalt Mix	Target Value ± 5.0%
No. 50 sieve	Target Value ± 3.0%
No. 200 sieve	Target Value ± 2.0%
Asphalt Binder Content	Target Value ± 0.35%
Mat Density	Lower Limit Target Value - 2.0% Upper Limit Target Value + 4.0%
Longitudinal Joint Density	Lower Limit Target Value - 2.0% Upper Limit Target Value + 6.0%

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Table 5 Aggregate Properties – Asphalt Mix			
Test Method	Test No.	75 Design Gyration and Greater	Less Than 75 Design Gyration
One Fractured Face	AASHTO T 335	95% minimum	90% minimum
Two Fractured Faces	AASHTO T 335	90% minimum	90% minimum
Fine Aggregate Angularity	AASHTO T 304	45 minimum	45 minimum
Flakiness Index	UDOT MOI 933 (Based on ¾ inch sieve and above)	17% maximum	17% maximum
L.A. Wear	AASHTO T 96	35% maximum	40% maximum
Sand Equivalent	AASHTO T 176, alternate method 2, pre-wet method (test the sample in the wet condition).	60 minimum	45 minimum
Plasticity Index	AASHTO T 89 and T 90	0	0
Unit Weight	AASHTO T 19	minimum 75 lb/ft³	minimum 75 lb/ft³
Soundness (sodium sulfate)	AASHTO T 104	16% maximum loss with five cycles	16% maximum loss with five cycles
Clay Lumps and Friable Particles	AASHTO T 112	2% maximum	2% maximum
Natural Fines	N/A	0%	10% maximum

Table 6 Aggregate Gradations (Percent Passing by Dry Weight of Aggregate)			
Sieve Size	½ inch	¾ inch	1 inch
Control Sieves			
½ inch	100.0		
¾ inch	90.0 – 100.0	100.0	
1 inch	< 90	90.0 - 100.0	
No. 4		< 90	
No. 8	28.0 - 58.0	32.0 - 67.0	
No. 200	2.0 – 10.0	2.0 – 10.0	

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CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

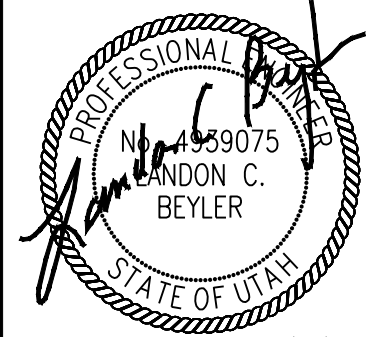
NOTES AND DETAILS SHEET 5

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

UTAH

HYRUM CITY
DESIGNED: LCB/EJM
DRAWN: EJM
CHECKED: LCB
SCALE: HORIZ:
VERT:
DATE: 4/17/2025



4/17/2025

JOB NUMBER

24.00160

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SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



3.8 LIMITATIONS

- A. Do not place Asphalt Mix on frozen base or subbase or during adverse climatic conditions such as precipitation or when roadway surface is icy or wet.
- B. Use a release agent that does not dissolve asphalt and is satisfactory to the Engineer for all equipment and hand tools used to mix, haul, and place the Asphalt Mix.
- C. Place Asphalt Mix from April 15 through October 15, and when the air temperature in the shade and the roadway surface temperature are above 50 degrees F.
- The Department determines if it is feasible to place Asphalt Mix outside these dates and temperature limits.
 - Obtain authorization from the Engineer before paving outside these requirements.

END OF SECTION

2.6 EQUIPMENT

- A. Use distributor trucks with the following:
- Tachometer, pressure gauges, accurate volume measuring devices or a calibrated tank, and a thermometer for measuring temperatures of the tank contents.
 - Insulated tanks capable of storing the binder at temperatures that allow the binder to remain consistent with the appropriate viscosity for proper application rates.
 - Use tanks equipped with baffles to prevent pressure surges resulting from the asphalt sloshing in the tank when starting and stopping.
 - Use trucks equipped with devices to provide for accurate control of the amount of bituminous material being applied.
 - Constant volume circulation pumps and heaters to maintain a pressurized system so binder will be uniformly heated.
 - Circulation pump must spray a constant volume for the entire length of the spray bar for each application.
 - Spray bar and nozzles designed to provide an appropriate fan width to provide uniform transverse distribution without corrugation or streaking.
 - Adjust the spray bar height to provide uniform distribution of binder across the application width and triple lapping of the binder on the pavement surface.
 - Use a fully circulating spray bar with a positive shutoff valve.
 - Computerized rate control system allowing the operator to control all distributor operations from the cab to include:
 - Pressure regulation of the material application and automatic rate control adjustment to the unit ground speed.
 - Hydrostatic system capable of maintaining a tolerance of ± 0.03 gal/yd².
 - Spray bar height and width adjustment and shut off of individual spray bar sections.
- B. Use a self-propelled aggregate (chip) spreader specifically designed and manufactured for chip seal operations, equipped with the following:
- Computerized controls that will apply a uniform, even layer of aggregate across the full width of the binder and adjust output to the unit ground speed.
 - Use gates adjustable to drop the correct amount of aggregate plus or minus 1 lb/yd².
 - Variable width spreader with hydraulic control extension and adjustable discharge gates.
 - Spreading hopper with a minimum capacity to cover a full lane of travel plus 1 ft/pass.
 - Spinner broadcast type of aggregate spreader not allowed.

Chip Seal Coat
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SECTION 02785

CHIP SEAL COAT

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Materials and procedures for applying emulsified asphalt, followed with an application of, either a standard chip seal cover material or lightweight chip seal cover material and bituminous flush coat.

1.2 RELATED SECTIONS

- A. Section 02742S: Project Specific Surfacing Requirements
- B. Section 02745: Asphalt Material
- C. Section 02748: Prime Coat/Tack Coat

1.3 REFERENCES

- A. AASHTO T 11: Materials Finer Than 75 μ m (No. 200) Sieve in Mineral Aggregates by Washing
- B. AASHTO T 19: Bulk Density (Unit Weight) and Voids in Aggregate
- C. AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- D. AASHTO T 96: Resistance to Degradation of Small Size Coarse Aggregate by Abrasion and Impact in the Los Angeles Machine
- E. AASHTO T 104: Soundness of Aggregates by Use of Sodium Sulfate or Magnesium Sulfate
- F. AASHTO T 278: Surface Frictional Properties Using the British Pendulum Tester
- G. AASHTO T 279: Accelerated Polishing of Aggregates Using the British Wheel
- H. AASHTO T 335: Determining the Percentage of Fracture in Coarse Aggregate

- C. Use at least three articulating type pneumatic rollers for rolling operations.
- Use rollers weighing between 8 tons minimum and 12 tons maximum with a minimum width of 6 ft.
 - Use rollers with pneumatic tires of equal size diameter and having treads satisfactory to the Engineer.
 - Inflate tires so that the entire roller width area is compacted by the rear-axle tires and the front-axle tires.
 - Inflate tires to 90 lb/in², or lower with permission from the Engineer.
 - Maintain tire pressure within 5 lb/in².
- D. Sweeping Equipment
- Use rotary brooms with nylon or steel bristles or pickup or vacuum brooms for pavement cleaning or brooming operations.
- E. Blotter Material Equipment
- Apply blotter material using a truck mounted spinner broadcast spreader.

PART 3 EXECUTION

3.1 PREPARATION

- A. Clean the road surface of all dirt, sand, dust, and other objectionable material to the satisfaction of the Engineer.
- B. Protect structures including but not limited to guardrail, guideposts, concrete barriers, drains, and parapets.
- C. Protect manholes, valve boxes, drop inlets, and other service utility entrances before placing any chip seal coat.
- D. Stockpile blotter material with a quantity of at least 0.25 lb/yd² for the production day.
- Blotter material must be ready to be spread within 20 minutes of a road section being chip sealed.
 - Use blotter material, as needed to cover up oil if it bleeds through the new chip seal.

3.2 LIMITATIONS

- A. Complete all work between May 15, and August 31.
- B. Do not place chip seal coat if surface moisture is present.

Chip Seal Coat
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I. UDOT Materials Manual of Instruction (MMOI)

1.4 DEFINITIONS Not Used

1.5 SUBMITTALS

- A. Test reports for information that the cover material and emulsion meets requirements of this Section, Part 2.
- B. Equipment Calibration information including verifying asphalt application rates and chip application for information.
- C. Documentation verifying daily asphalt application rates and chip application for information.
- D. Vendor's bill of lading upon delivery for each emulsion used on the project for information.
- This bill of lading should certify if the emulsion was diluted or not according to this Section, Part 2.

PART 2 PRODUCTS

2.1 CATIONIC EMULSIONS

- A. CRS-2A according to Section 02745.
- B. CRS-2P according to Section 02745.
- C. LMCRS-2 according to Section 02745.

2.2 HIGH FLOAT EMULSIONS

- A. HFRS-2P according to Section 02745.
- B. HFMS-2 according to Section 02745.
- C. HFMS-2P according to Section 02745.

2.3 FLUSH COAT

- A. Use the emulsion as specified in Special Provision 02742S, diluted two parts concentrate to one part water by the manufacturer.

Chip Seal Coat
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2.4 COVER MATERIAL

- A. Meet the requirements of Table 1.
- Use crusher processed virgin aggregate consisting of natural stone, gravel, or slag for standard chips.
 - Use crusher-processed rotary-kiln lightweight expanded shale chips for lightweight chips.

Table 1 Chip Seal Cover Material Properties			
Test	Test Method	Standard Chip Seal Type I & II	Lightweight Chip Seal Type I & II
*Unit Weight	AASHTO T 19	100 lb/ft ³ , max	60 lb/ft ³ , max
One Fractured Face	AASHTO T 335	95% minimum	N/A
Two Fractured Faces	AASHTO T 335	90% minimum	N/A
*LA wear	AASHTO T 96	30% maximum	30% maximum
*Soundness	AASHTO T 104	10% maximum	10% maximum
Flakiness Index	Materials MOI 933	17 maximum	25 maximum
*Stripping	Materials MOI 945	10% maximum	10% maximum
*Polishing	AASHTO T 278, T 279	31 minimum	31 minimum

* This requirement may be waived if the aggregates have proven acceptable through successful past performance as determined by the Engineer.

- B. Meet gradation limits in Table 2. Refer to AASHTO T 27 and T 11.

Table 2 Gradation Limits				
Sieve Size	Percent Passing			
	Standard Aggregate		Lightweight Aggregate	
	Type I	Type II	Type I	Type II
1/2 in	100	100 - 98	100	100 - 90
3/4 in	100	99 - 91	80 - 100	55 - 80
No. 4	0 - 15	0 - 11	5 - 40	0 - 10
No. 8		0 - 6	0 - 20	0 - 3
No. 16			0 - 10	
No. 200	0 - 1	0 - 1.5		0 - 2

2.5 BLOTTER MATERIAL

- A. Refer to Section 02748.

Chip Seal Coat
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2025 Standard Specifications
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3.4 ASPHALT MATERIAL/COVER MATERIAL APPLICATION

- A. Apply asphalt material at a rate sufficient to obtain 50 percent chip embedment before the rolling operation and 70 percent chip embedment after rolling operation.
- Adjust application rates throughout the project depending on existing conditions.
- B. Apply the asphalt emulsion at a minimum temperature of 145 degrees F.
- C. Do not apply asphalt material if material does not spray through the distributor in a uniform way and remain in place on the roadway.
- D. Place building paper adjacent to the transverse construction joint before starting each spraying operation.
- Maintain the control valve to act instantaneously both at start-up and cut-off.
- E. Locate longitudinal joints within 6 inches of the traffic lane line location.
- Construct meet lines with no skip or voids between adjacent passes.
 - Do not place a double thickness of cover material.
- F. Calibrate the spreader at the beginning of each day and as often as necessary to comply with Table 3.
- Maintain a distance of less than 150 ft between the distributor and the chip spreader.
 - Maintain the chip spreader speed so that chips do not bounce or roll during application.

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

NOTES AND DETAILS SHEET 6

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

UTAH

DATE: 4/17/2025

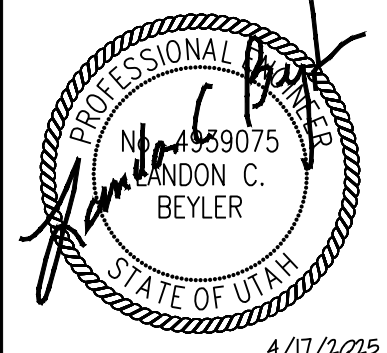
VERT:

SCALE: HORIZ:

CHECKED: LCB

DRAWN: EJM

DESIGNED: LCB/EJM



JOB NUMBER

24.00160

SHEET

9 OF 10

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



	Table 3 Approximate Spread Rates	
	Unit Weight lbs/ft ³	Application Rate lbs/yd ²
Lightweight Type I Chip Seal	45 - 50	9.6
	50 - 55	10.6
	55 - 60	11.6
Lightweight Type II Chip Seal	45 - 50	11.8
	50 - 55	13.1
	55 - 60	14.3
Standard Chip Seal	60 - 65	17.0
	65 - 70	18.4
	70 - 75	19.8
	75 - 80	20.7
	80 - 85	22.1
	85 - 90	23.5
	90 - 95	24.9
	95 - 100	25.8

3.5 SURFACE ROLLING

- A. Use at least three pneumatic-tire rollers in a longitudinal direction to roll surface after the cover material has been spread.
- B. Roll at least three passes to seat the cover material.
1. A pass is defined as traveling in one direction only.
- C. Control bleeding with blotter material and as determined by the Engineer.
- D. Set the roller speed to prevent bouncing or skidding.
1. Do not exceed 5 mph.
2. Reduce roller speeds during directional changes to prevent surface tearing.
- E. Synchronize the speed of the distributor and chip spreader with that of the rolling operation.
1. Begin initial rolling, consisting of one complete coverage, immediately behind the chip spreader.
2. Begin secondary rolling, consisting of second and third coverage, immediately after completing initial rolling.
3. Synchronize all operations to keep rolling operations within 2,500 feet of the ongoing chip seal application.

Chip Seal Coat
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2025 Standard Specifications
Latest Revision: [February 15, 2024](#)

- F. Sweep excess cover material off the roadway after the emulsion has set.
1. Remove excess cover material to the satisfaction of the Engineer before opening the roadway to traffic.
2. Keep downward pressure of broom to a minimum.
3. Use water as requested by the Engineer if excessive dust is generated during sweeping operations.
4. Use pickup or vacuum sweepers in urban areas where aggregate accumulates in gutters or where removal is required from the edge of the shoulder.
5. Do not dislodge embedded aggregate when brooming chip sealed roadway.

- G. Repair all damage to the seal coat before opening the roadway to traffic.

3.6 BITUMINOUS FLUSH COAT APPLICATION

- A. Clean the surface of all dirt, sand, dust, loose chips, and other objectionable material to the satisfaction of the Engineer before applying bituminous flush coat.
- B. Apply the bituminous flush coat at a rate of 0.11, ± 0.01 gal/yd².
1. Keep traffic off the flushed surface until the bituminous material has set sufficiently to prevent tracking or pick-up.

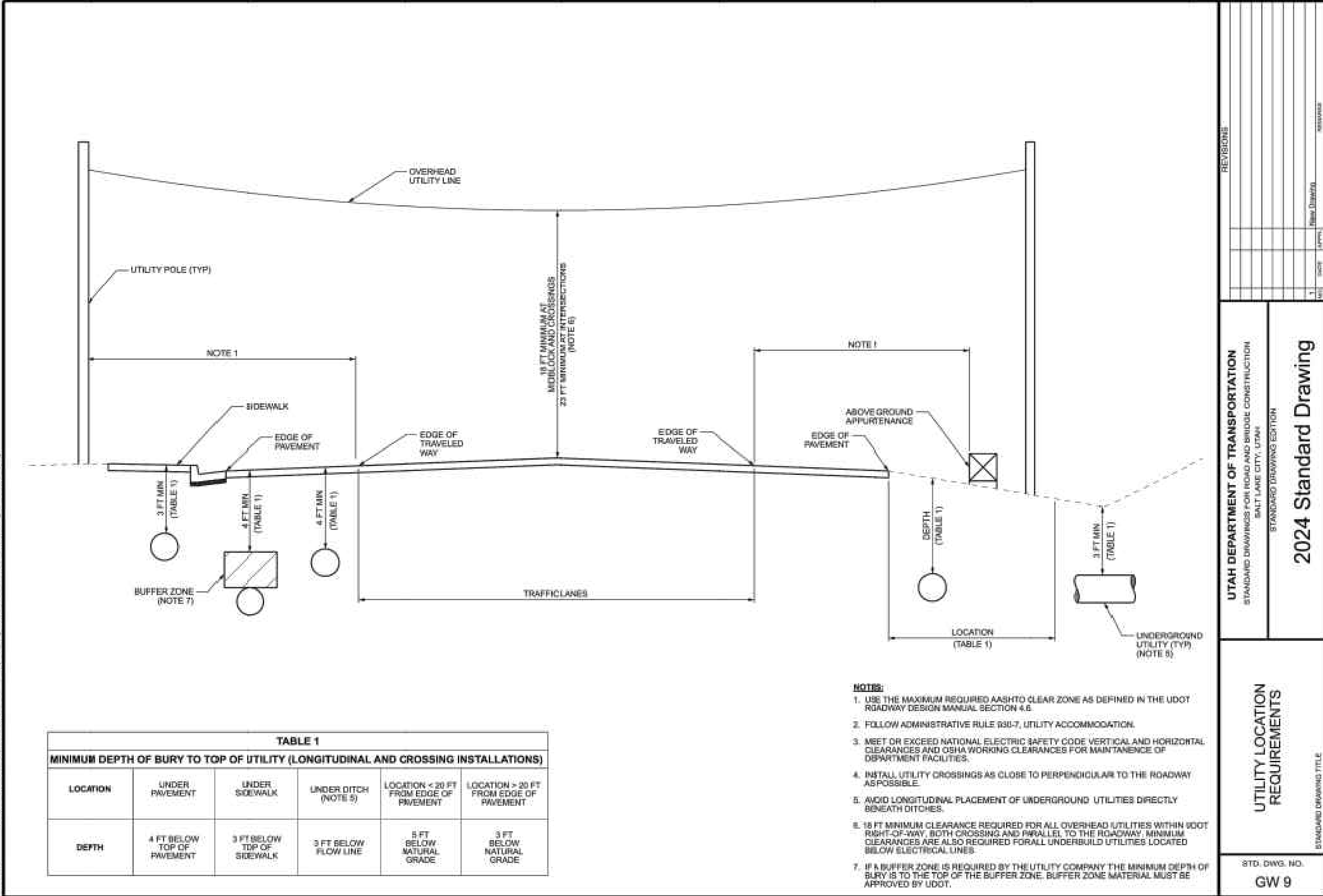
3.7 PAVEMENT MARKING PAINT

- A. Allow at least 24 hours after completing flush coat before applying permanent pavement markings.

END OF SECTION

Chip Seal Coat
02785 – Page 9 of 9

2025 Standard Specifications
Latest Revision: [February 15, 2024](#)



CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

NOTES AND DETAILS SHEET 7

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

HYRUM CITY

DESIGNED: LCB/EJM

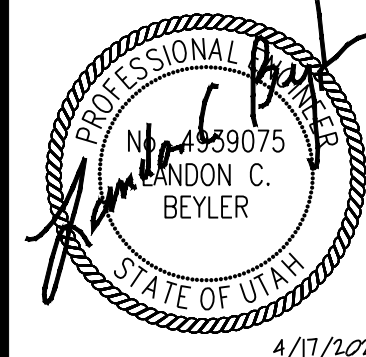
DRAWN: EJM

CHECKED: LCB

SCALE: HORIZ:

VERT:

DATE: 4/17/2025



4/17/2025

JOB NUMBER

24.00160

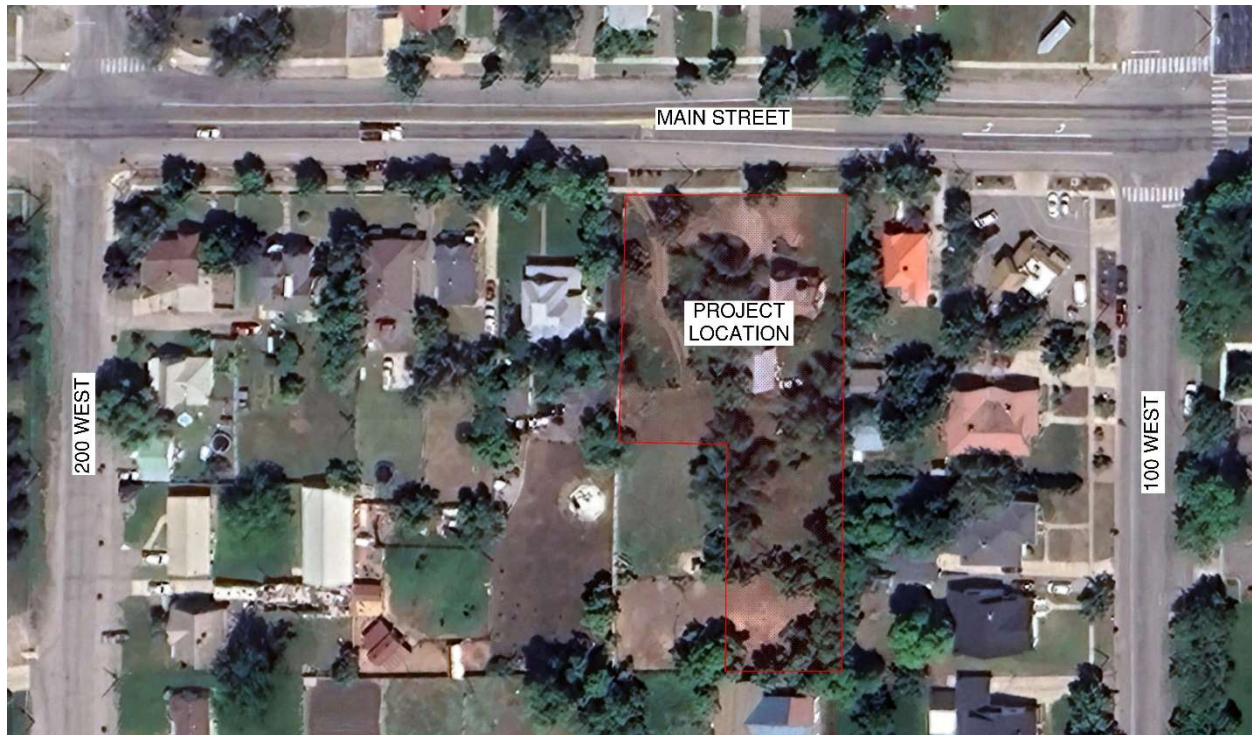
SHEET

10 OF 10

PRELIMINARY DRAINAGE REPORT FOR:

HYRUM MARKET 1860

HYRUM CITY, UTAH



REVIEWED BY:



BEYLER
CONSULTING

Landon Beyler, PE
Beyler Consulting
5920 100th St SW, Ste #25
Lakewood, WA 98799

Preliminary Drainage Plan

1. GENERAL DESCRIPTION

The Hyrum Market 1860 is a 0.965 acre property located in Hyrum, Cache County, Utah and is situated west at 127 West Main Street. This property will be developed into 2 commercial buildings and consist of parking area, buildings, and landscaping.

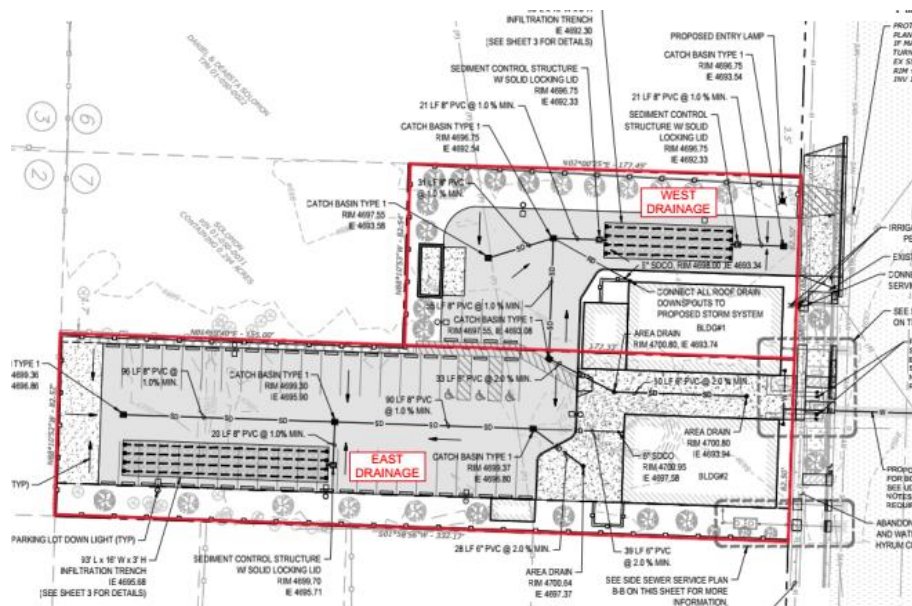
The current parcels consists of houses, detached garage/barn, small sheds, and an unfinished concrete structure. The remaining area appears to be mainly used as pastureland. All building on the site will be demolished as part of this development.

2. PROPOSED ON-SITE DRAINAGE

Surface water from precipitation generally drains towards the northwest corner of the property. Due to roadways that border to the north, it is anticipated that upstream flows will be conveyed past the property through the roadways and not impact the project.

Based on a zero release rate from the project, an analysis was performed for this site. The site is divided into two drainage areas, each with their own retention basin, designated as the west drainage and east drainage. The location is based on topography and the layout of the proposed roadways and buildings. The retention facility will capture the 100-year 24-hour storm event with one foot of freeboard.

Storm drain piping will be installed within the Project to capture runoff generated from buildings, roadways, and landscape areas. Water will generally sheet flow to roadways, flow down gutters to inlets and be conveyed in pipes to the retention basin. The proposed development for this site consists of 2 commercial buildings and consist of parking area, buildings, and landscaping. Runoff from this project will be collected within the project by inlet boxes and conveyed through underground piping to a retention basin. The retention basin will be located and described above and as shown on the Drainage Basin Map shown here.



3. CALCULATIONS

Runoff calculations are provided below. The 100 year, 24 hour storm event was used for the sizing of the retention basin.

3.1 DESIGN STORM CRITERIA

Storm intensities used in this study area are taken from the NOAA Atlas 14, Volume 1, Version 5 for Latitude 41.6339, Longitude -111.8589, Elevation 4698. Storm intensity and depth tables are attached for reference.

3.2 STORM DRAINAGE GENERATION

The storm drain analysis is completed using the rational method, using the rational formula:

$$Q = C * i * A$$

Where;

Q = Design flow in cubic feet per second (cfs)

C = Runoff coefficient. Represents percent of precipitation that will contribute as runoff.

i = Rainfall intensity in inches per hour (in/hr)

A = Drainage area in acres (Ac)

A unique C value is assigned to each type of land cover such as impervious and pervious surfaces. Examples of impervious surfaces are the asphalt street, concrete driveways and sidewalks. Examples of pervious surfaces are lawns, gardens and open areas. The C value for some land cover types is also affected by the drainage configuration of that cover. For example, house roofs are essentially impervious surfaces, but because of the nature of roof rain gutter systems and because the down spouts from the rain gutters typically drain onto open lawns, the percentage of water contributed to the Subdivision storm drainage system is usually much lower than other impervious surfaces.

For this analysis, the drainage areas are divided into three surface cover types, namely hardscape, buildings, and landscaped areas. The streets include park strips and sidewalks.

The assigned C value for each surface cover is as follows:

Hardscape C = 0.90

Buildings C = 0.85

Landscaping C = 0.15

For each drainage sub-basin the amount of impermeable and permeable surface area is measured to calculate a composite C value. The composite C value is calculated as follows.

$$\text{Composite C} = \text{Sum} (C_i * A_i) / A_t$$

Where;

C_i = Runoff coefficient for each type of land cover.

A_i = Drainage area of each type of land cover.

A_t = Total drainage area of all types of land cover in the sub-basin.

3.3 DRAINAGE BASIN DELINEATION

For the purposes of this preliminary study, areas were calculated for each of the surface cover types in order to calculate the volume of runoff the retention basin should capture. For final design, delineation will be performed so piping can be sized appropriately. The attached Table A shows the volume calculation.

TABLE 1

WEST RETENTION BASIN

Rain Fall Intensity from NOAA Website for Hyrum, Utah, 41.6339° N, 111.8589° W

<u>Infiltration</u>		80th Percentile Storm [in]		0.50	<u>Drainage Characteristics</u>	
Design Rate [ft/sec]	8.33E-05	Land Disturbance [ac]		0.33	Contributing Area [ac]	0.33
		Impervious Area [ac]		0.26	C (Weighted Average)	0.73
		Imperviousness		78.79%	C*A	0.24
		R_v		0.697		
		Minimum Retention Volume [cf]		417	Calculated Orifice Diameter [in]	0.00
		LID Depth [ft]		0.92	Rounded Orifice Diameter [in]	0.00

A	B	C	D	E	F	G	H	I	J	K (C - F - I)
Time [min]	100 yr intensity [in/hr]	Storm Volume [cf]	Estimated Max Stage [ft]	Infiltration Area [sf]	Infiltration [cf]	Outlet Time [min]	Outlet Rate [cfs]	Outlet Volume During the Storm [cf]	Outlet Volume After the Storm [cf]	Accumulated Storage [cf]
5	5.78	417	0.89	669.28	16.73	-	-	-	-	400.58
10	4.40	635	1.18	801.33	40.07	-	-	-	-	595.43
15	3.64	788	1.35	878.75	65.91	-	-	-	-	721.97
30	2.44	1,056	1.60	992.59	148.89	-	-	-	-	907.39
60	1.52	1,316	1.60	992.59	297.78	-	-	-	-	1,018.24
120	0.86	1,489	1.60	992.59	595.55	-	-	-	-	893.62
180	0.61	1,576	1.60	992.59	893.33	-	-	-	-	682.43
360	0.36	1,853	1.60	992.59	1,786.66	-	-	-	-	66.15
720	0.22	2,286	1.60	992.59	3,573.32	-	-	-	-	-
1,440	0.13	2,788	1.60	992.59	7,146.64	-	-	-	-	-

Basin Characteristics

Volume [cf]	1,033.73	<u>Emergency Overflow</u>	
Depth [ft]	1.60	Rate [cfs]	0.37
Top Area [sf]	1,028.16	Height [ft]	2.00
		Length [ft]	0.04

Orifice Diameter [in] -
Height of Outlet 0' 11"

Volume Provided [ft³] 1,034 102% of required

Hydrograph

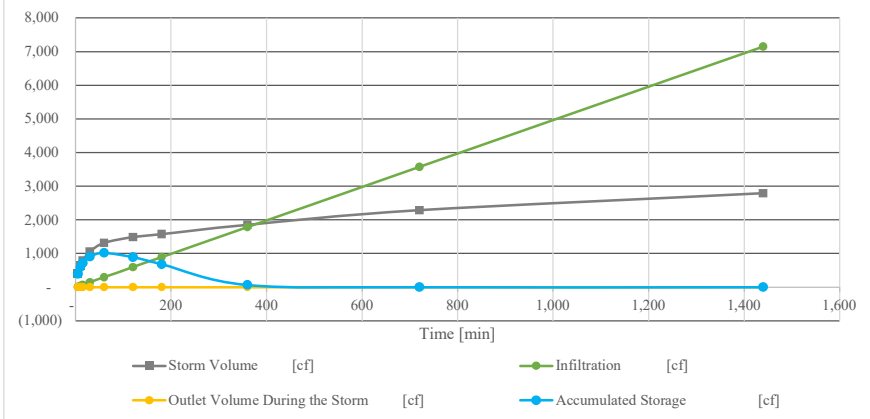


TABLE 1

EAST RETENTION BASIN

Rain Fall Intensity from NOAA Website for Hyrum, Utah, 41.6339° N, 111.8589° W

<u>Infiltration</u>		80th Percentile Storm [in]		0.50	<u>Drainage Characteristics</u>	
Design Rate [ft/sec]	8.33E-05	Land Disturbance [ac]		0.63	Contributing Area [ac]	0.63
		Impervious Area [ac]		0.40	C (Weighted Average)	0.62
		Imperviousness		63.49%	C*A	0.39
		R_v		0.557		
		Minimum Retention Volume [cf]		637	Calculated Orifice Diameter [in]	0.00
		LID Depth [ft]		0.92	Rounded Orifice Diameter [in]	0.00

A	B	C	D	E	F	G	H	I	J	K (C - F - I)
Time [min]	100 yr intensity [in/hr]	Storm Volume [cf]	Estimated Max Stage [ft]	Infiltration Area [sf]	Infiltration [cf]	Outlet Time [min]	Outlet Rate [cfs]	Outlet Volume During the Storm [cf]	Outlet Volume After the Storm [cf]	Accumulated Storage [cf]
5	5.78	679	0.88	1,095.18	27.38	-	-	-	-	651.95
10	4.40	1,034	1.18	1,317.17	65.86	-	-	-	-	968.64
15	3.64	1,283	1.35	1,442.96	108.22	-	-	-	-	1,174.33
30	2.44	1,719	1.60	1,627.96	244.19	-	-	-	-	1,475.27
60	1.52	2,142	1.60	1,627.96	488.39	-	-	-	-	1,653.90
120	0.86	2,424	1.60	1,627.96	976.77	-	-	-	-	1,447.39
180	0.61	2,565	1.60	1,627.96	1,465.16	-	-	-	-	1,099.95
360	0.36	3,016	1.60	1,627.96	2,930.32	-	-	-	-	85.79
720	0.22	3,721	1.60	1,627.96	5,860.64	-	-	-	-	-
1,440	0.13	4,538	1.60	1,627.96	11,721.29	-	-	-	-	-

Basin Characteristics

Volume [cf]	1,667.33
Depth [ft]	1.60
Top Area [sf]	1,640.16

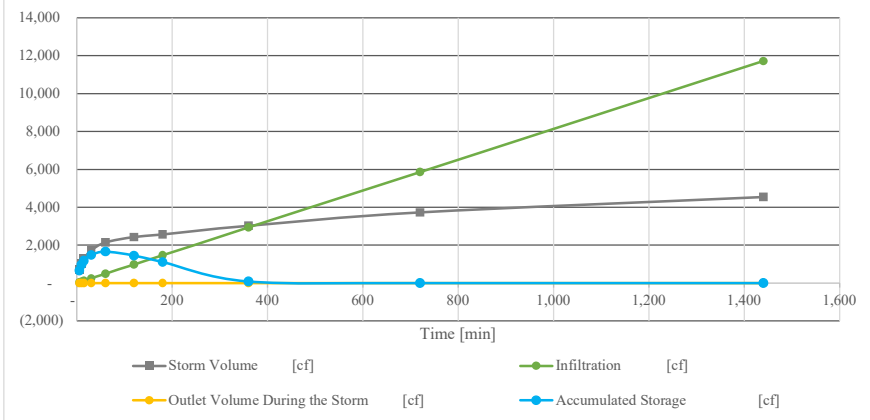
Emergency Overflow

Rate [cfs]	0.60
Height [ft]	2.00
Length [ft]	0.06

Orifice Diameter [in]	-
Height of Outlet	0' 11"

Volume Provided [ft³] 1,667 101% of required

Hydrograph





NOAA Atlas 14, Volume 1, Version 5
Location name: Hyrum, Utah, USA*
Latitude: 41.6339°, Longitude: -111.8589°
Elevation: 4698 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerals](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.114 (0.100-0.130)	0.144 (0.128-0.166)	0.199 (0.175-0.228)	0.248 (0.216-0.284)	0.327 (0.279-0.376)	0.398 (0.330-0.460)	0.482 (0.390-0.563)	0.580 (0.453-0.687)	0.737 (0.549-0.893)	0.877 (0.627-1.08)
10-min	0.173 (0.152-0.197)	0.219 (0.195-0.252)	0.302 (0.265-0.347)	0.377 (0.328-0.432)	0.498 (0.424-0.573)	0.605 (0.503-0.700)	0.734 (0.593-0.857)	0.883 (0.689-1.05)	1.12 (0.835-1.36)	1.34 (0.954-1.65)
15-min	0.215 (0.188-0.244)	0.272 (0.241-0.312)	0.375 (0.329-0.430)	0.468 (0.406-0.535)	0.616 (0.526-0.709)	0.750 (0.624-0.868)	0.910 (0.735-1.06)	1.09 (0.855-1.30)	1.39 (1.04-1.68)	1.66 (1.18-2.05)
30-min	0.289 (0.254-0.329)	0.366 (0.324-0.420)	0.505 (0.443-0.578)	0.630 (0.547-0.721)	0.830 (0.707-0.955)	1.01 (0.840-1.17)	1.22 (0.990-1.43)	1.47 (1.15-1.75)	1.87 (1.39-2.27)	2.23 (1.59-2.76)
60-min	0.357 (0.314-0.407)	0.453 (0.401-0.520)	0.624 (0.548-0.716)	0.779 (0.677-0.892)	1.03 (0.876-1.18)	1.25 (1.04-1.45)	1.52 (1.22-1.77)	1.82 (1.42-2.16)	2.32 (1.73-2.81)	2.76 (1.97-3.41)
2-hr	0.463 (0.415-0.520)	0.581 (0.519-0.651)	0.762 (0.677-0.853)	0.929 (0.817-1.04)	1.20 (1.03-1.35)	1.44 (1.21-1.63)	1.72 (1.41-1.97)	2.05 (1.63-2.39)	2.57 (1.94-3.08)	3.04 (2.21-3.72)
3-hr	0.545 (0.496-0.610)	0.680 (0.618-0.763)	0.864 (0.782-0.965)	1.04 (0.929-1.16)	1.30 (1.15-1.46)	1.54 (1.33-1.74)	1.82 (1.53-2.08)	2.14 (1.75-2.49)	2.66 (2.08-3.17)	3.11 (2.35-3.79)
6-hr	0.746 (0.683-0.822)	0.921 (0.841-1.02)	1.14 (1.04-1.26)	1.34 (1.21-1.48)	1.63 (1.45-1.81)	1.87 (1.64-2.09)	2.14 (1.85-2.41)	2.45 (2.07-2.80)	2.97 (2.44-3.47)	3.44 (2.74-4.08)
12-hr	0.982 (0.900-1.08)	1.21 (1.11-1.34)	1.48 (1.35-1.64)	1.72 (1.56-1.90)	2.07 (1.85-2.29)	2.34 (2.08-2.61)	2.64 (2.30-2.98)	2.96 (2.53-3.37)	3.45 (2.87-3.99)	3.85 (3.12-4.52)
24-hr	1.27 (1.15-1.40)	1.56 (1.42-1.72)	1.90 (1.72-2.10)	2.18 (1.97-2.40)	2.58 (2.32-2.84)	2.89 (2.60-3.18)	3.22 (2.87-3.55)	3.56 (3.16-3.92)	4.03 (3.53-4.45)	4.39 (3.83-4.87)
2-day	1.50 (1.36-1.68)	1.85 (1.67-2.06)	2.24 (2.02-2.50)	2.56 (2.31-2.86)	3.02 (2.70-3.36)	3.38 (3.02-3.76)	3.76 (3.33-4.18)	4.15 (3.66-4.62)	4.68 (4.09-5.23)	5.11 (4.43-5.72)
3-day	1.66 (1.51-1.86)	2.04 (1.85-2.28)	2.48 (2.24-2.76)	2.84 (2.56-3.17)	3.35 (3.00-3.73)	3.75 (3.35-4.18)	4.17 (3.70-4.64)	4.61 (4.06-5.13)	5.21 (4.55-5.81)	5.68 (4.92-6.35)
4-day	1.82 (1.65-2.03)	2.24 (2.03-2.50)	2.72 (2.46-3.03)	3.12 (2.82-3.48)	3.68 (3.31-4.10)	4.12 (3.69-4.59)	4.59 (4.07-5.10)	5.07 (4.46-5.64)	5.73 (5.00-6.38)	6.25 (5.40-6.97)
7-day	2.20 (1.99-2.47)	2.72 (2.46-3.05)	3.30 (2.99-3.71)	3.79 (3.42-4.25)	4.46 (4.01-5.00)	4.99 (4.46-5.59)	5.54 (4.93-6.21)	6.11 (5.40-6.85)	6.88 (6.02-7.74)	7.48 (6.50-8.44)
10-day	2.49 (2.26-2.77)	3.07 (2.79-3.42)	3.73 (3.38-4.15)	4.27 (3.87-4.75)	5.00 (4.51-5.56)	5.56 (5.00-6.18)	6.15 (5.50-6.84)	6.74 (5.99-7.50)	7.53 (6.64-8.41)	8.14 (7.12-9.11)
20-day	3.22 (2.96-3.50)	3.97 (3.65-4.32)	4.77 (4.38-5.18)	5.39 (4.95-5.86)	6.22 (5.69-6.75)	6.82 (6.24-7.41)	7.43 (6.77-8.09)	8.02 (7.27-8.74)	8.78 (7.92-9.60)	9.35 (8.39-10.2)
30-day	3.89 (3.60-4.24)	4.79 (4.43-5.21)	5.73 (5.29-6.23)	6.47 (5.97-7.04)	7.46 (6.87-8.11)	8.20 (7.53-8.92)	8.94 (8.19-9.73)	9.66 (8.81-10.5)	10.6 (9.61-11.6)	11.3 (10.2-12.4)
45-day	4.84 (4.48-5.23)	5.96 (5.50-6.43)	7.06 (6.52-7.61)	7.90 (7.29-8.52)	8.99 (8.28-9.69)	9.78 (8.98-10.5)	10.6 (9.67-11.4)	11.3 (10.3-12.2)	12.2 (11.1-13.2)	12.9 (11.7-14.0)
60-day	5.73 (5.30-6.19)	7.03 (6.50-7.60)	8.26 (7.64-8.93)	9.19 (8.49-9.94)	10.4 (9.56-11.2)	11.2 (10.3-12.1)	12.0 (11.0-13.0)	12.7 (11.7-13.8)	13.6 (12.5-14.9)	14.3 (13.0-15.6)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

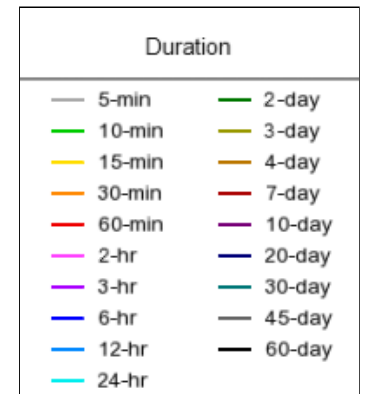
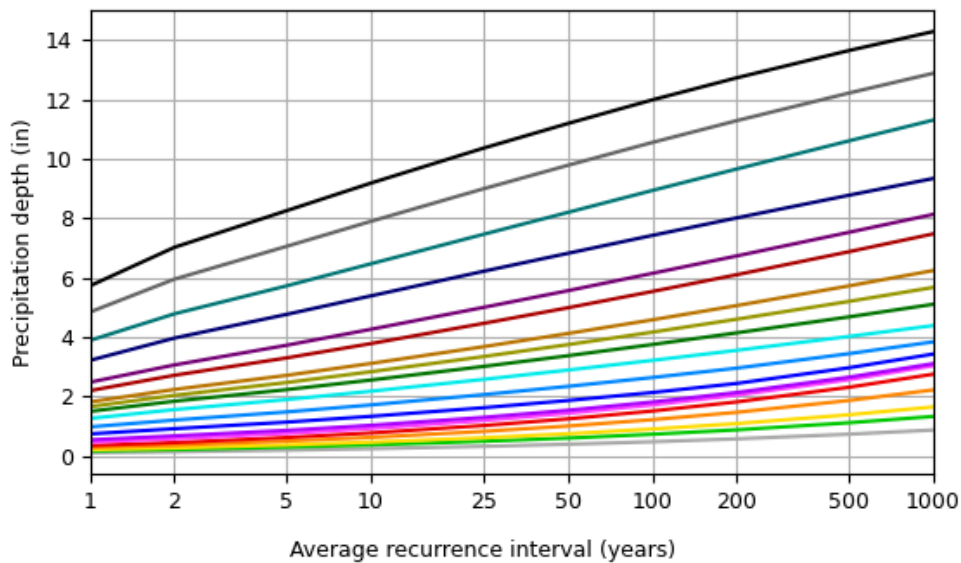
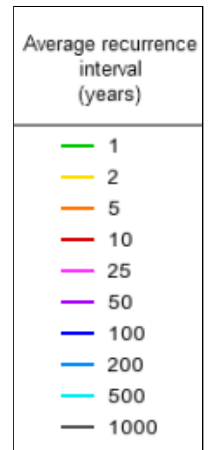
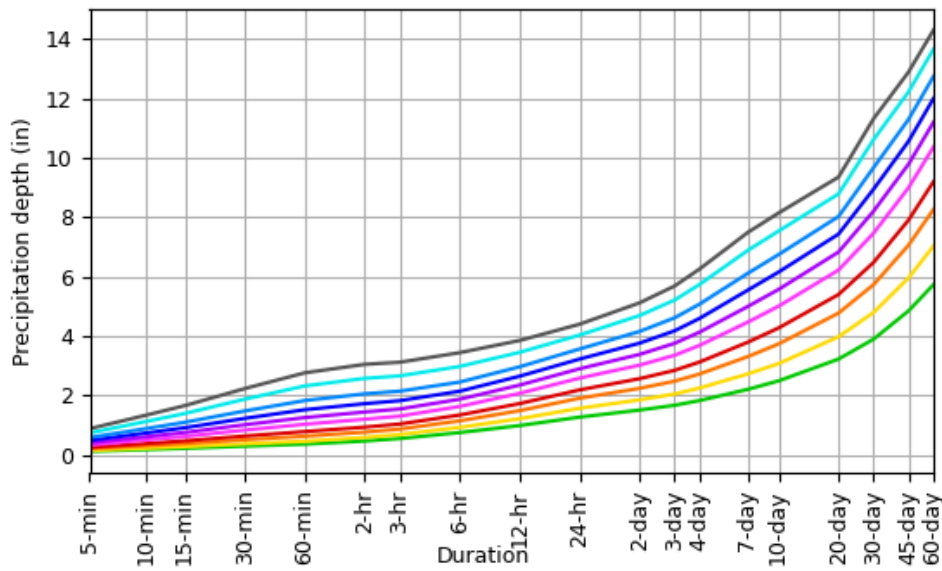
Please refer to NOAA Atlas 14 document for more information.

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PF graphical

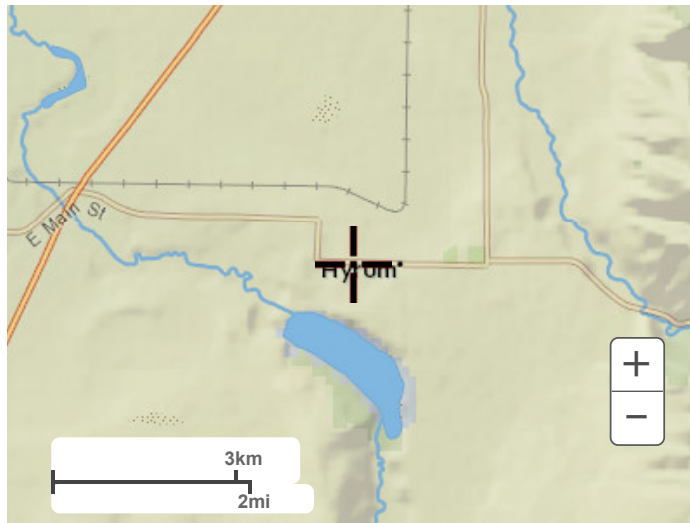
PDS-based depth-duration-frequency (DDF) curves

Latitude: 41.6339°, Longitude: -111.8589°

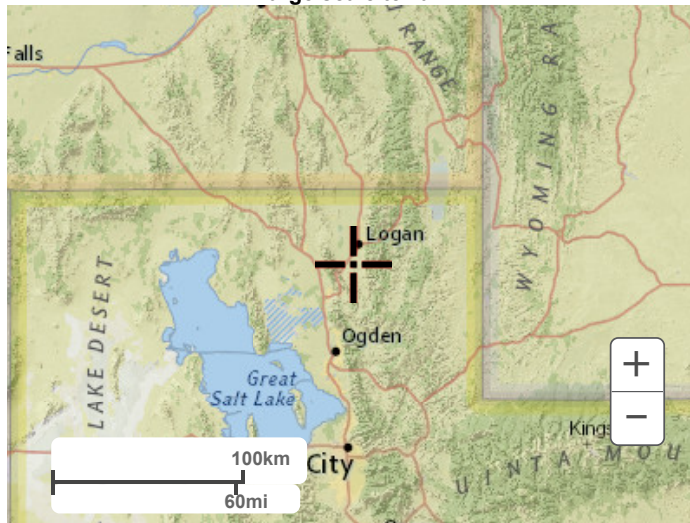


Maps & aerials

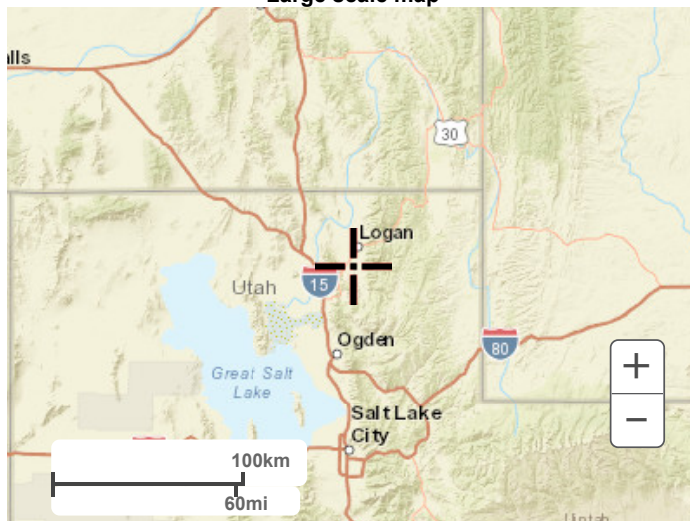
Small scale terrain



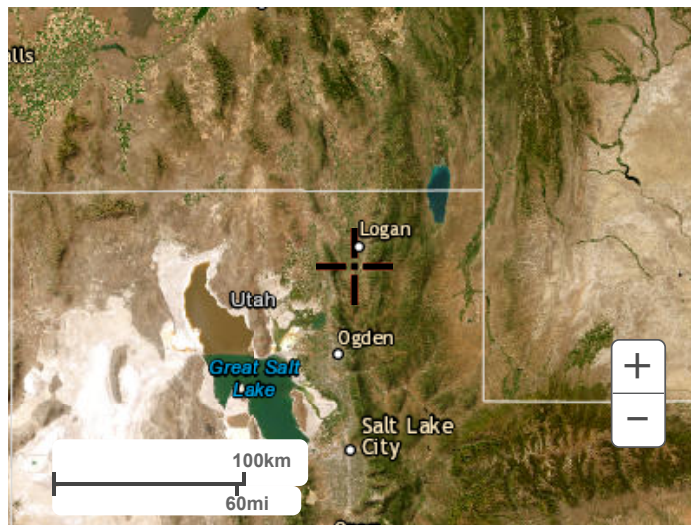
Large scale terrain



Large scale map



Large scale aerial



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[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

**HARVEST VALLEY COURT P.U.D.
FINAL PLAT AMENDMENT
43 NORTH 300 EAST
CITY COUNCIL MEETING
MAY 1, 2025**

Summary: Cory Waddoups of Unreasonable Capital Hyrum is seeking City Council approval for the amendment of a final plat for a Planned Unit Development for a 55+ senior community.

ZONING: R-2 Residential (P.U.D.)

UTILITIES:

Power:	Developer to provide
Culinary:	Developer to provide
Sewer:	Developer to provide
Irrigation:	Developer to provide

Notes:

The developer in coordination with the City is seeking to amend the plat to adjust the east boundary of the plat to reflect the accepted city right of way. The significant changes to this include shifting away from the east boundary to meet the 10-foot setback.

- The applicant has prepared an exhibit showing the changes to lot lines to provide more open area.
- Lot lines and building envelopes for Lots 24-28 have been adjusted to make the lines and building areas consistent with each other.
- The property boundaries for Lots 23 and 24 have been adjusted to exclude the sidewalk along 260 East.
- Lot lines have been reduced to the building envelope to put more land in open area.
- A new landscape exhibit has been provided

Electrical component delays are estimated to be 2.5 years. If this development needs any upgrades to the existing services, coordination with the Hyrum City Power Department should be started immediately.

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT

A SENIOR LIVING COMMUNITY
LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH

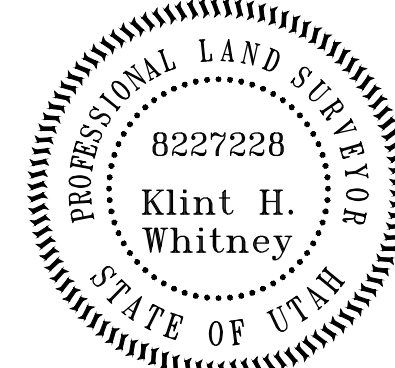
BOUNDARY DESCRIPTION

ALL OF LOTS 1, 7, 8 OF BLOCK 22 PLAT A HYRUM CITY SURVEY, ALSO BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4 TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN. CONTAINING 3.72 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREFTER TO BE KNOWN AS HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS _____ DAY OF _____, 2024.



KLINT H. WHITNEY, PLS NO. 8227228

OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY

I HEREBY STATE THAT I AM THE MANAGER OF UNREASONABLE CAPITAL HYRUM LLC, & HARVEST VALLEY COURT OWNERS ASSOCIATION, INC AND THAT I AM THE ONLY PERSON WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT I CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

WE HEREBY DEDICATE THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS EASEMENTS FOR FOLLOWING PURPOSES:
ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC UTILITY EASEMENT IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC UTILITY PURPOSES;
ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC RIGHT OF WAY IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC RIGHT OF WAY AND PUBLIC UTILITY PURPOSES;
THE REAL PROPERTY DESCRIBED HEREON IS DEDICATED AS AN EASEMENT FOR STORMDRAIN AND IRRIGATION PURPOSES IS HEREBY DEDICATED TO HYRUM IRRIGATION COMPANY FOR SAID CONVEYANCE PURPOSES.

ALL LAND SHOWN HEREON AS PRIVATE STREETS AS WELL AS OPEN SPACE B TO ALSO BE DEDICATED TO HYRUM CITY AS PUBLIC UTILITY AND DRAINAGE PURPOSES FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE PURPOSES AS SEEN FIT BY HYRUM CITY;
WE HEREBY DEDICATE THE LAND DESIGNATED AS IRRIGATION EASEMENT TO HYRUM IRRIGATION COMPANY FOR THE INSTALLATION AND MAINTENANCE OF IRRIGATION FACILITIES AND DRAINAGE.
WE HEREBY RETAIN THE PORTIONS INDICATED AS "PRIVATE STREETS," AS SHOWN HEREON FOR PRIVATE USE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT;

WE HEREBY RETAIN THE PORTIONS NOT LOCATED WITHIN A NUMBERED LOT FOR THE HOMEOWNERS' ASSOCIATION AS COMMON SPACE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT, TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH UNIT OWNER AND TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION;
WE HEREBY RETAIN THE PORTION OF LAND DESIGNATED AS PRIVATE STORM DRAIN EASEMENT AND DETENTION POND EASEMENT TO BE USED BY THE HOMEOWNERS' ASSOCIATION FOR THE INSTALLATION AND MAINTENANCE OF STORM DRAIN FACILITIES, DRAINAGE AND THE MAINTENANCE AND REPAIRS FOR WALLS, DITCHES OR BERMS USED FOR GRADING AND DRAINING PURPOSES.

SIGNED THIS _____ DAY OF _____, 2024.

SIGNED THIS _____ DAY OF _____, 2024.

UNREASONABLE CAPITAL HYRUM, LLC

HARVEST VALLEY COURT OWNERS ASSOCIATION, INC

BY: CORY WADDOUPS, MANAGER

BY: CORY WADDOUPS, MANAGER

ACKNOWLEDGEMENT

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this _____ day of _____, 2024, personally appeared before me CORY WADDOUPS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the MANAGER of UNREASONABLE CAPITAL HYRUM, LLC, & HARVEST VALLEY COURT OWNERS ASSOCIATION, INC and that said document was signed by him/her in behalf of said corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said CORY WADDOUPS acknowledged to me that said corporation executed the same.

SIGNATURE _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

COMMISSION NUMBER - EXPIRES _____

(SEAL)

DEVELOPER:
CORY WADDOUPS
411 WEST 7200 SOUTH STE 201
MIDVALE UTAH, 84047

S1
3

COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____

FILED FOR AND RECORDED _____

AT _____ IN BOOK _____ OF OFFICIAL

RECORDS, PAGE _____ RECORDED

FOR _____

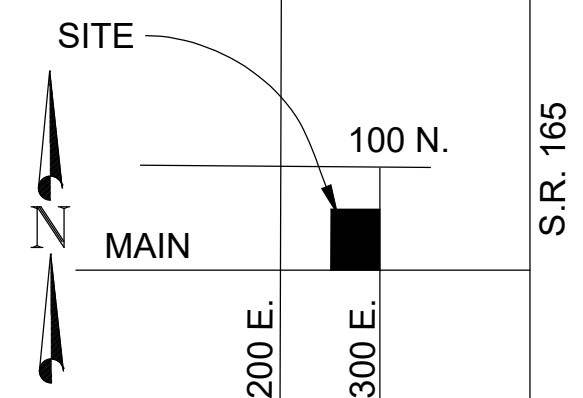
COUNTY RECORDER

BY: _____



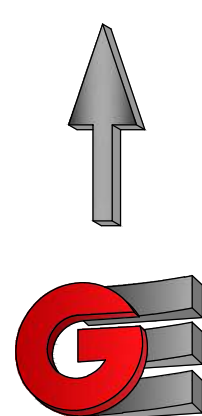
VICINITY MAP

NOT TO SCALE



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	42.41	27.00	90.00	N47° 09' 40"E	38.18
C3	63.49	44.00	82.67	N50° 49' 26"E	58.12
C4	5.63	44.00	7.33	N5° 49' 26"E	5.62



Scale in Feet
1" = 30'

LEGEND

- HYRUM CITY SURVEY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- STREET CENTERLINE MONUMENTS
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- STREET CENTERLINE
- SURVEY TIE LINE
- PUBLIC UTILITY EASEMENT
- PROPOSED FENCE LINE
- PRIVATE STORM DRAIN EASEMENT
- IRRIGATION EASEMENT
- PUBLIC RIGHT OF WAY

IF ALL IS OPEN SPACE
A IS THERE A B?

SPECIFY THAT
COMMON SPACE IS
OPEN SPACE "A" IN
THIS PARAGRAPH TO
PROVIDE CLARITY

NOTE:

EASEMENTS AND DEDICATIONS HAVE NOT CHANGED. USE THE ORIGINAL PLAT OF HARVEST VALLEY COURT P.U.D. FOR ADDITIONAL EASEMENT AND DEDICATION INFORMATION.

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO AMEND A PLANNED UNIT DEVELOPMENT SUBDIVISION WITH 28 LOTS/UNITS FOR SENIOR LIVING. THE SURVEY WAS ORDERED BY DAVID MADSEN. THE AMENDMENT IS INTENDED TO CLARIFY DISCREPANCIES OF RIGHT-OF-WAY ALONG 300 EAST AND HONOR THE RIGHT-OF-WAY AS DETERMINED BY FORESIGHT LAND SURVEYING. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING HYRUM CITY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON THE BASIS OF BEARING IS THE LINE BETWEEN THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 200 NORTH AND THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 300 EAST WHICH BEARS NORTH 88°13'34" WEST CACHE COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

THE ORIGINAL SURVEY
WAS ORDERED BY
DAVID MADSEN, IS HE
STILL INVOLVED OR IS
THERE SOMEONE ELSE
THAT ORDERED THE
NEW SURVEY?

NOTES

- ZONING FOR THIS LOT AND SURROUNDING AREA IS R-2
- THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUND, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.
- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FEMA MAP NO. 49005C0.90C WITH AN EFFECTIVE DATE OF 5/24/2011.
- DEVELOPER WILL PLANT TREES PER LANDSCAPE PLAN AND ACCORDING TO HYRUM CITY STANDARDS FOR PLANNED UNIT DEVELOPMENTS.
- THE PURPOSE OF THIS SUBDIVISION AMENDMENT IS TO ADJUST THE SUBDIVISION BOUNDARY TO FIT THE WEST RIGHT-OF-WAY LINE OF 300 EAST STREET AS DETERMINED BY FORESIGHT LAND SURVEYING.

SITE DATA

- TOTAL AREA 160,955 SQ. FT. OR 3.695 ACRES.
- OPEN SPACE / COMMON AREA (INCLUDING PRIVATE STREETS): 104,486 SQ. FT. OR 2.398 ACRES
- 28 LOTS FOR A TOTAL OF 56,469 SQ. FT. OR 1.296 ACRES
- PRIVATE STREETS: 25,463 SQ. FT. 0.585 ACRES
- PARKING: ON STREET PARKING 14 STALLS
GARAGE PARKING 42 STALLS
DRIVEWAY PARKING 42 STALLS
TOTAL PARKING 98 STALLS

HYRUM CITY UTILITY APPROVAL

SANITARY SEWER _____ DATE _____
CULINARY WATER _____ DATE _____
HYRUM CITY POWER _____ DATE _____

UTILITY COMPANY APPROVALS

DOMINION ENERGY _____ DATE _____

HYRUM CITY PLANNING COMMISSION

THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE HYRUM CITY PLANNING COMMISSION.

SIGNED THIS _____ DAY OF _____, 2025.

CHAIRMAN, HYRUM CITY PLANNING COMMISSION

HYRUM CITY COUNCIL ACCEPTANCE

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY THE HYRUM CITY COUNCIL ON THE _____ DAY OF _____, 2024 DATED THIS _____ DAY OF _____, 20____.

MAYOR, HYRUM CITY

ATTEST: _____

CITY RECORDER

HYRUM CITY ENGINEER

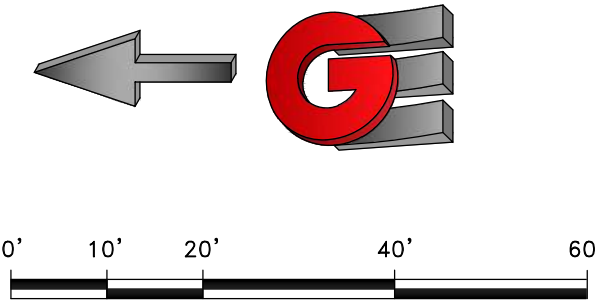
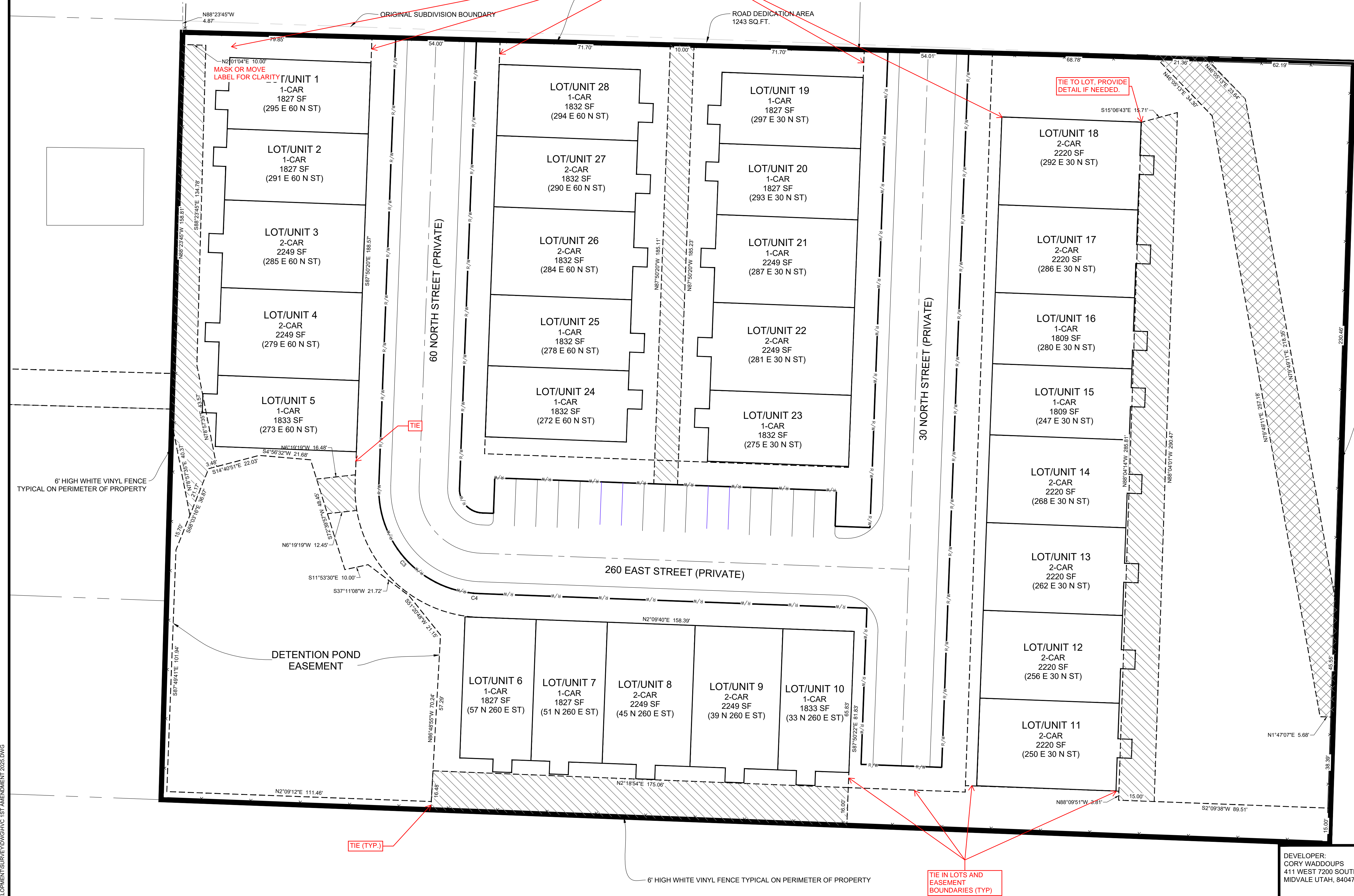
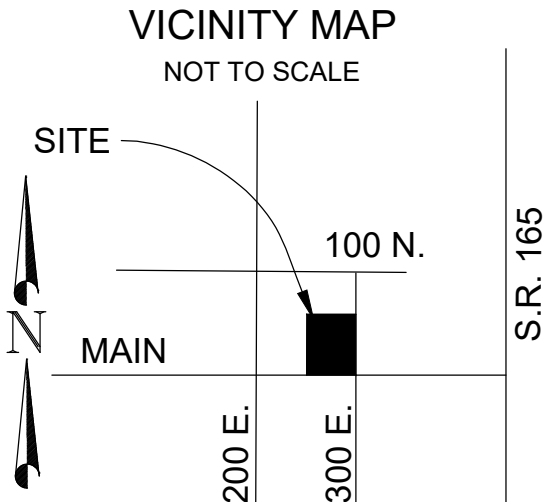
I HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.

SIGNED THIS _____ DAY OF _____, 2025.

CITY ENGINEER

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT

A SENIOR LIVING COMMUNITY
LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH



LEGEND

- HYRUM CITY SURVEY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- STREET CENTERLINE MONUMENTS
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- STREET CENTERLINE
- SURVEY TIE LINE
- EASEMENT
- PROPOSED FENCE LINE
- PRIVATE STORM DRAIN EASEMENT
- IRRIGATION EASEMENT
- PUBLIC RIGHT OF WAY

DEVELOPER:
CORY WADDUPS
411 WEST 7200 SOUTH STE 201
MIDVALE UTAH, 84047

S2
3

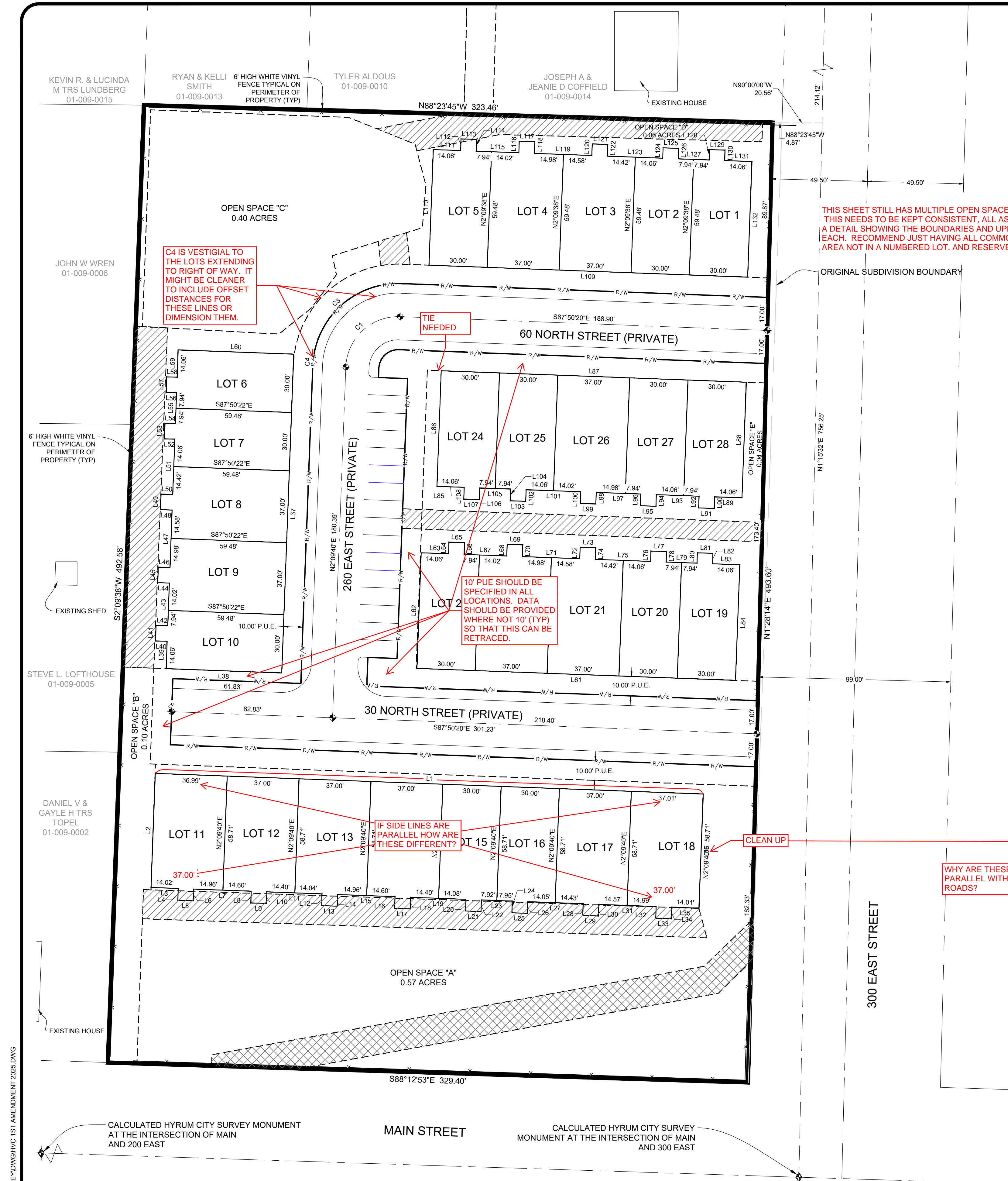
COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____
AT _____ IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____ RECORDED
FOR _____
COUNTY RECORDER
BY: _____

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT

A SENIOR LIVING COMMUNITY

LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH



THIS SHEET STILL HAS MULTIPLE OPEN SPACE DESIGNATIONS. THIS NEEDS TO BE KEPT CONSISTENT, ALL AS A OR PROVIDE A DETAIL SHOWING THE BOUNDARIES AND UPDATED AREAS OF EACH. RECOMMEND JUST HAVING ALL COMMON SPACE AS ANY AREA NOT IN A NUMBERED LOT. AND RESERVE TO THE HOA.

10' PUE SHOULD BE SPECIFIED IN ALL LOCATIONS. DATA SHOULD BE PROVIDED WHERE NOT 10' (TYP) SO THAT THIS CAN BE RETRACTED.

IF SIDE LINES ARE PARALLEL HOW ARE THESE DIFFERENT?

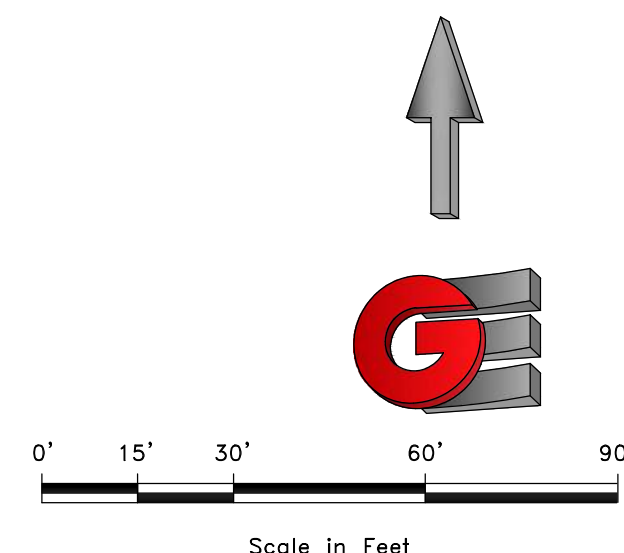
WHY ARE THESE NOT PARALLEL WITH ROADS?

LINE #	LENGTH	BEARING
L1	282.00	N87° 50' 20"W
L2	58.71	S2° 09' 40"W
L3	14.02	S87° 50' 20"E
L4	6.00	S2° 09' 40"W
L5	8.00	S87° 50' 20"E
L6	6.00	N2° 09' 40"E
L7	29.56	S87° 50' 20"E
L8	6.00	S2° 09' 40"W
L9	8.00	S87° 50' 20"E
L10	6.00	N2° 09' 54"E
L11	28.44	S87° 50' 20"E
L12	6.00	S2° 09' 40"W
L13	8.00	S87° 50' 20"E
L14	6.00	N2° 09' 40"E
L15	29.56	S87° 50' 20"E
L16	6.00	S2° 09' 40"W
L17	8.00	S87° 50' 20"E
L18	6.00	N2° 09' 40"E
L19	28.48	S87° 50' 20"E
L20	6.00	S2° 09' 40"W
L21	8.00	S87° 50' 20"E
L22	6.00	N2° 09' 40"E
L23	15.87	S87° 50' 20"E
L24	6.00	S2° 09' 40"W
L25	8.00	S87° 50' 20"E
L26	6.00	N2° 09' 40"E
L27	28.48	S87° 50' 20"E
L28	6.00	S2° 09' 40"W
L29	8.00	S87° 50' 20"E
L30	6.00	N2° 09' 40"E
L31	29.56	S87° 50' 20"E
L32	6.00	S2° 09' 40"W
L33	8.00	S87° 50' 20"E
L34	6.00	N2° 09' 40"E
L35	14.02	S87° 50' 20"E
L36	58.71	N2° 09' 40"E
L37	164.00	S2° 09' 38"W
L38	59.48	N87° 50' 23"W
L39	14.06	N2° 09' 40"E
L40	6.00	N87° 50' 22"W

LINE #	LENGTH	BEARING
L41	8.00	N2° 09' 38"E
L42	6.00	S87° 50' 22"E
L43	21.96	N2° 09' 40"E
L44	5.99	N87° 50' 22"W
L45	8.00	N2° 09' 40"E
L46	5.99	S87° 50' 22"E
L47	29.56	N2° 09' 40"E
L48	5.99	N87° 50' 25"W
L49	8.00	N2° 09' 40"E
L50	5.99	S87° 50' 25"E
L51	28.48	N2° 09' 40"E
L52	5.34	N87° 50' 20"W
L53	8.00	N2° 09' 40"E
L54	5.34	S87° 50' 20"E
L55	15.87	N2° 09' 40"E
L56	5.34	N87° 50' 20"W
L57	8.00	N2° 09' 40"E
L58	5.34	S87° 50' 20"E
L59	14.06	N2° 09' 40"E
L60	59.48	S87° 50' 20"E
L61	164.00	N87° 50' 20"W
L62	59.48	N2° 09' 40"E
L63	14.06	S87° 50' 17"E
L64	6.00	N2° 09' 40"E
L65	8.00	S87° 50' 20"E
L66	6.00	S2° 09' 40"W
L67	21.96	S87° 50' 17"E
L68	5.99	N2° 09' 40"E
L69	8.00	S87° 50' 17"E
L70	5.99	S2° 09' 40"W
L71	29.56	S87° 50' 17"E
L72	5.99	N2° 09' 38"E
L73	8.00	S87° 50' 17"E
L74	5.99	S2° 09' 38"W
L75	28.48	S87° 50' 17"E
L76	5.34	N2° 09' 43"E
L77	8.00	S87° 50' 17"E
L78	5.34	S2° 09' 43"W
L79	15.87	S87° 50' 17"E
L80	5.34	N2° 09' 43"E

LINE #	LENGTH	BEARING
L81	8.00	S87° 50' 17"E
L82	5.34	S2° 09' 43"W
L83	14.06	S87° 50' 17"E
L84	59.48	S2° 09' 43"W
L85	14.06	N87° 50' 19"W
L86	59.48	N2° 09' 41"E
L87	157.00	S87° 50' 20"E
L88	59.48	S2° 09' 41"W
L89	14.06	N87° 50' 19"W
L90	6.00	S2° 09' 41"W
L91	8.00	N87° 50' 19"W
L92	6.00	N2° 09' 41"E
L93	22.00	N87° 50' 19"W
L94	6.00	S2° 09' 41"W
L95	8.00	N87° 50' 19"W
L96	6.00	N2° 09' 41"E
L97	22.92	N87° 50' 19"W
L98	6.00	S2° 09' 41"W
L99	8.00	N87° 50' 19"W
L100	6.00	N2° 09' 41"E
L101	28.08	N87° 50' 19"W
L102	6.00	S2° 09' 41"W
L103	8.00	N87° 50' 19"W
L104	6.00	N2° 09' 41"E
L105	15.87	N87° 50' 19"W
L106	6.00	S2° 09' 41"W
L107	8.00	N87° 50' 19"W
L108	6.00	N2° 09' 41"E
L109	164.00	N87° 50' 20"W
L110	59.48	N2° 09' 40"E
L111	14.06	S87° 50' 17"E
L112	6.00	N2° 09' 40"E
L113	8.00	S87° 50' 20"E
L114	6.00	S2° 09' 40"W
L115	21.96	S87° 50' 17"E
L116	5.99	N2° 09' 40"E
L117	8.00	S87° 50' 17"E
L118	5.99	S2° 09' 40"W
L119	29.56	S87° 50' 17"E
L120	5.99	N2° 09' 38"E

LINE #	LENGTH	BEARING
L121	8.00	S87° 50' 17"E
L122	5.99	S2° 09' 38"W
L123	28.48	S87° 50' 17"E
L124	5.34	N2° 09' 43"E
L125	8.00	S87° 50' 17"E
L126	5.34	S2° 09' 43"W
L127	15.87	S87° 50' 17"E
L128	5.34	N2° 09' 43"E
L129	8.00	S87° 50' 17"E
L130	5.34	S2° 09' 43"W
L131	14.06	S87° 50' 17"E
L132	59.48	S2° 09' 43"W



LEGEND

- HYRUM CITY SURVEY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- STREET CENTERLINE MONUMENTS
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- PROPOSED FENCE LINE
- PRIVATE STORM DRAIN EASEMENT
- IRRIGATION EASEMENT
- PUBLIC RIGHT OF WAY

DEVELOPER:
CORY WADDUPS
411 WEST 7200 SOUTH STE 201
MIDVALE UTAH, 84047

S3
3

COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____
AT _____ IN BOOK _____ OF OFFICIAL _____
RECORDS, PAGE _____ RECORDED FOR _____
COUNTY RECORDER
BY: _____

GARDNER ENGINEERING
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

PREVIOUS COPY FROM MARCH COUNCIL MEETING

NW 1/4 SECTION 4, TOWNSHIP 10 N, RANGE 1 E, SALT LAKE BASE & MERIDIAN

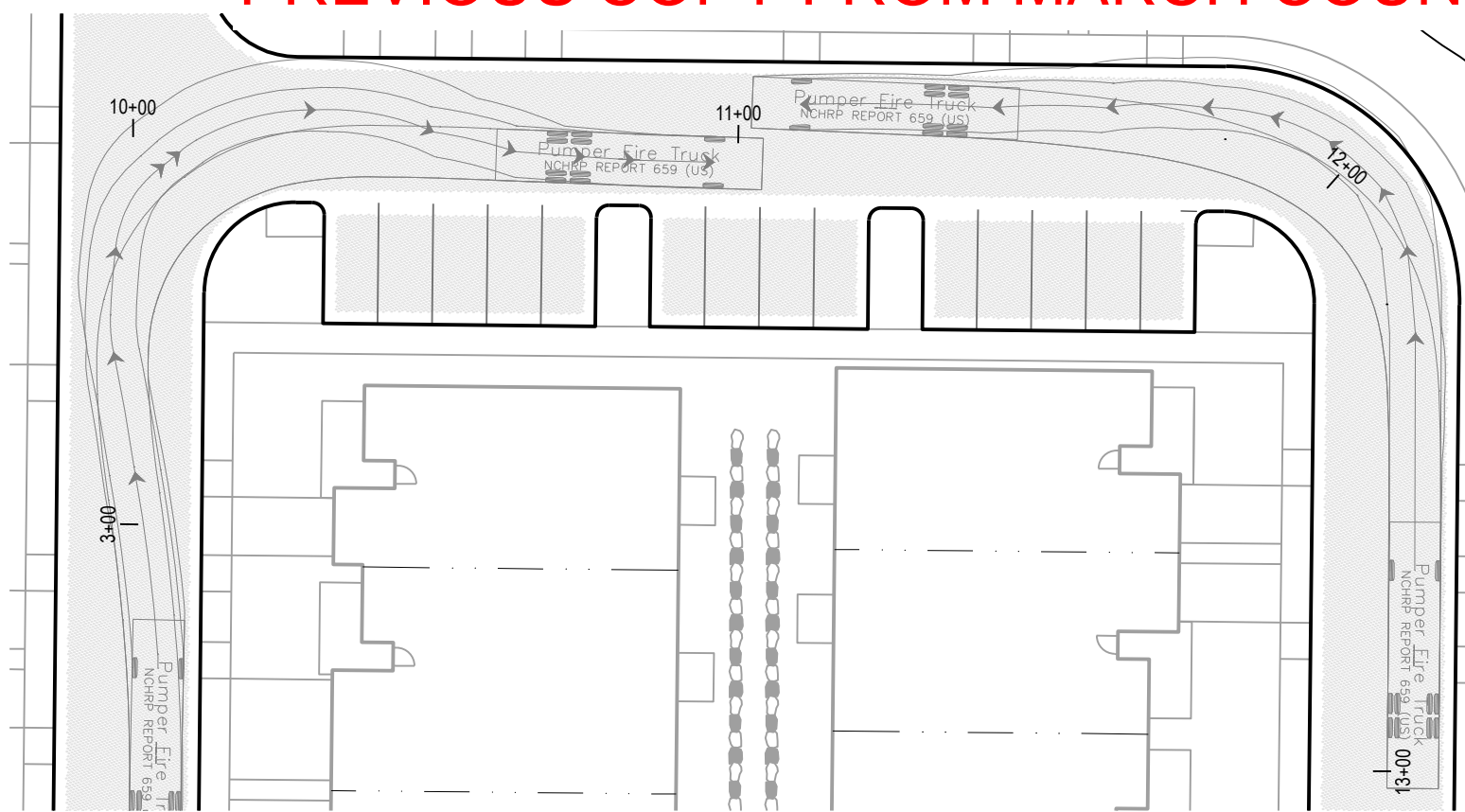
Harvest Valley Court

Planned Unit Development - Permit Set

Parcel #01-009-0001

CALCULATION METHOD 3 (PROPOSED FIXES)

- GENERAL NOTES
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY. CONTRACTOR AND DEVELOPER ARE TO FAMILIARIZE THEMSELVES WITH THE STANDARDS.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTORS RISK AND EXPENSE IF ERRORS OCCUR.
 - CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC AND PRIVATE) FROM ALL CONSTRUCTION DEBRIS.
 - CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
 - CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
 - CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTORS EXPENSE.
 - DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
 - DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCE AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
 - THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTIONAL CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABATEMENT, COMPACTION, ETC. THIS MAY BE COORDINATED WITH HYRUM WATER DEPARTMENT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WATER, WASTE SITES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
 - ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THAT AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
 - THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC TO CONSTRUCT VERTICAL AND HORIZONTAL BENDS IN PIPE AS NEEDED TO MEET THE REQUIRED GRADES, ALIGNMENTS AND COVER REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING. NOTICE MUST BE GIVEN TO CITY 48 HOURS PRIOR TO INSPECTION.
 - ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
 - ONE MYLAR AND ONE PAPER SET OF AS-BUILTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS. A DIGITAL COPY OF THE DRAWINGS WILL ALSO BE REQUIRED FOR GIS LINEWORK. AS BUILT PLANS WILL BE REQUIRED TO BE SUBMITTED TO THE CITY BEFORE WARRANTY BONDS SHALL BE RELEASED.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
 - THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
 - ALL GATE VALVES SHALL BE LOCATED NEAR TO TEES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.



FIRE TRUCK TURNING RADII EXHIBIT

LEGEND

---	EX PROPERTY BOUNDARY
---	EX RIGHT-OF-WAY
---	EX CENTERLINE
---	EX ASPHALT
---	EX CONCRETE
---	EX DITCH
---	EX WIRE FENCE
---	ASPHALT PAVEMENT
---	GRAVEL
---	BUILDING SETBACK
---	CURB AND GUTTER
---	WOOD FENCE
---	CHAIN LINK FENCE
---	ROCKERY

SITE DATA

PARCEL NUMBER:	01-009-0001
SITE ADDRESS:	43 N 300 E HYRUM CITY, UT 84319
SITE AREA:	162,198 SF (3.72 AC)
OPEN SPACE:	75,051 SF (1.72 AC)(46%)
ZONING:	R-2, RESIDENTIAL, MULTI-FAMILY

PROJECT INFO

APPLICANT/CLIENT/OWNER: IRVA DEVELOPMENT 411 WEST 7200 SOUTH, SUITE 200 MIDVALE, UT 84047 TEL: 801-231-8277	ENGINEER: BEYLER CONSULTING 5920 100TH ST SW, STE 25 LAKEWOOD, WA 98499 CONTACT: LANDON BEYLER, P.E. TEL: 253-984-2900
SURVEYOR: GARDNER ENGINEERING 5150 SOUTH 375 EAST OSGEO, UT CONTACT: KLINT H. WHITNEY P.L.S. TEL: 801-476-0202	

UTILITIES

WATER:	HYRUM CITY CULINARY WATER AUTHORITY
SEWER:	GRAVITY HYRUM CITY SEWER AUTHORITY
POWER:	HYRUM CITY POWER
GAS:	DOMINION ENERGY

LEGAL DESCRIPTION

ALL OF LOTS 1, 7, 8 OF BLOCK 22 PLAT A HYRUM CITY SURVEY, ALSO BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4 TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN

SHEET INDEX

C1.0	COVER SHEET / SITE PLAN
C1.1	LOT, TRACT AND EASEMENT PLAN
C1.2	SWPPP / T.E.S.C. PLAN
C1.3	T.E.S.C. DETAILS AND NOTES
C2.0	GRADING AND STORM DRAINAGE PLAN
C2.1	STORMWATER MANAGEMENT DETAILS
C2.2	SITE DETAILS
C2.3	ROADWAY PROFILES AND SECTIONS
C3.0	UTILITY PLAN
C3.1	SEWER DETAILS
C3.2	WATER DETAILS

CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER

DATE

COVER SHEET / SITE PLAN

Harvest Valley Court

Planned Unit Development - Permit Set

UTAH

Plan. Design. Manage

CORPORATE OFFICE
5920 100th St SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

BEYLER CONSULTING

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8719 S. Sandy Parkway
Sandy, UT 84070
p 801.679.3157

CLIENT
Affinity Construction

CONTACT:
Corbin England
p 801.694.1087

HARVEST VALLEY COURT
A SENIOR LIVING COMMUNITY
HYRUM, UT

REVISIONS

NO.	DATE	DESCRIPTION
1	10/27/2023	REVISIONS TO PLANT SCHEDULE

Stamp



10/27/2023

Designed By: CS
Drawn By: TJ
Date: 10/27/2023
Checked By: CS
Project No: 23-162

Drawing Title

LANDSCAPE
PLAN

Drawing number

LP100

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
TREES	
	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE
	ACER TRUNCATUM X PLATANOIDES 'JFS-KW202' / CRIMSON SUNSET*
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRI
	CRATAEGUS X MORDENENSIS 'TOBA' / TOBA HAWTHORN
	PINUS NIGRA / AUSTRIAN PINE
	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE JAPANESE ZELKOVA

SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
	CARYOPTERIS X CLANDONENSIS / BLUEBEARD
	FORSYTHIA X 'COURTASOL' / GOLD TIDE® FORSYTHIA
	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' / LITTLE DEVIL™ DWARF N
	PRUNUS BESSEYI / SAND CHERRY
	SALVIA YANGII / RUSSIAN SAGE
	SPIRAEA X BUMALDA 'GOLDMOUND' / GOLD MOUND SPIREA

ORNAMENTAL GRASSES	
	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE' / AVALANCHE FEATHI
	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE' / SAPPHIRE BLUE OAT G
	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVA

GROUND COVERS	
	TURF SOD BIOBLUE / BIOGRASS

GROUND SURFACE	
	DECOMPOSED GRANITE - GRAY / CONTRACTOR PROVIDE SAMPLES FC
	LANDSCAPE BARK MULCH / INSTALL OVER DEWITT PRO'S WEED BARR

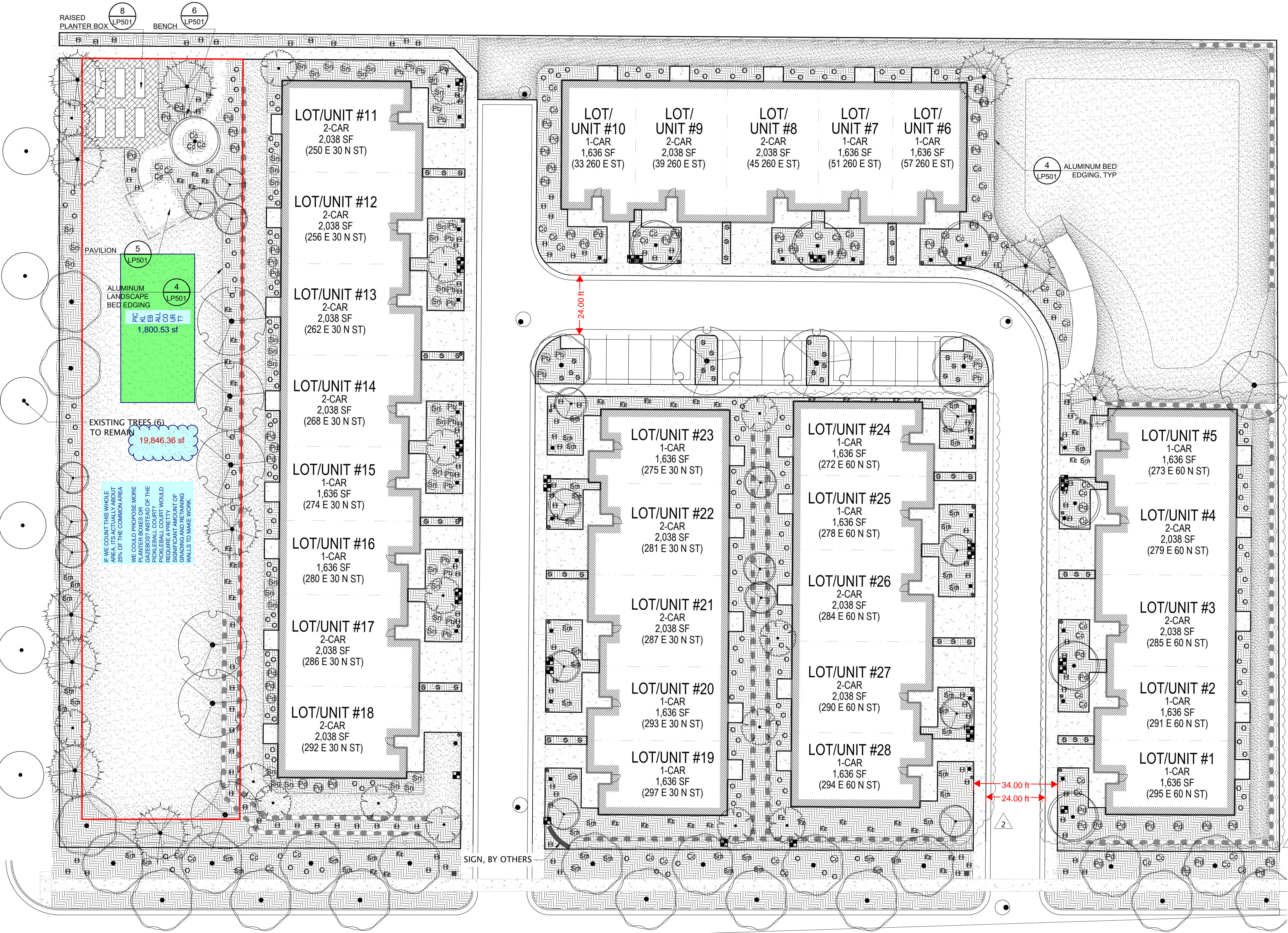
ALUMINUM LANDSCAPE BED EDGER SHALL BE USED BETWEEN BED EDGES AND TURF SEE LP501 FOR PLANTING AND STAKING DETAILS

Scale: 1" = 20'-0"



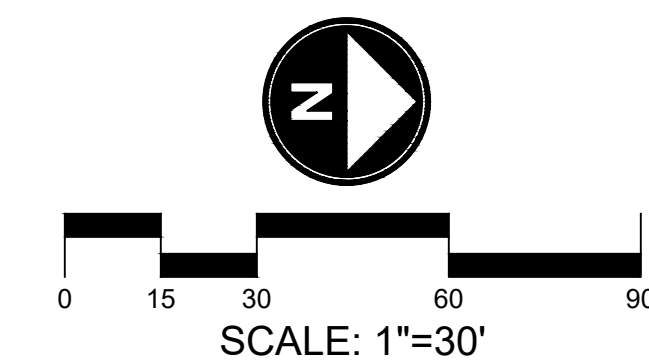
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CONSTRUCTION DOCUMENTS



SIGN, BY OTHERS

1. DO NOT DIG BEFORE LOCATION EXISTING UTILITIES.
2. SUBGRADES, INCLUDING BERMS, TO WITHIN 0.1 FT. PROVIDED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
3. FOR ALL NEWLY LANDSCAPED AREAS, INCLUDING SINGLE FAMILY RESIDENCES, ORGANIC MATTER SHALL BE INCORPORATED TO A DEPTH OF AT LEAST 4" AROUND EACH REPLACEMENT TREE.
4. APPLY 6" DEPTH (TYP) 3-WAY MIX TOPSOIL AROUND EACH REPLACEMENT TREE.
5. APPLY 2" DEPTH MEDIUM/COARSE GRADE BARK MULCH IN A 36" DIAMETER RING AROUND EACH REPLACEMENT TREE. MULCH TO BE FREE OF WEED SEED, SAWDUST, RESIN OR TANNIN AND SHALL NOT CONTAIN ANY COMPOUNDS DETRIMENTAL TO PLANT GROWTH.
6. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY PROPOSED SUBSTITUTIONS OR UNFORESEEN FIELD CONDITIONS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
7. LANDSCAPE ARCHITECT MAY ADJUST PLANT QUANTITIES OR VARIETIES BASED ON AVAILABILITY OR ADVERSE FIELD CONDITIONS.
8. ALL PLANT MATERIAL SHALL BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
9. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
10. ALL TREE MATERIAL AT TIME OF PLANTING SHALL BE OF A SUFFICIENT SIZE TO MEET THE MINIMUM HEIGHT AND CALIPER REQUIREMENTS FOR REPLACEMENT TREES.
11. ALL TREE PITS SHALL BE INSPECTED TO INSURE PROPER DRAINAGE. PLANTING IN HEAVY SOILS REQUIRES ADDITIONAL DRAINAGE PROVISION. SEE TREE PLANTING DETAIL.
12. PROPERTY OWNER SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING REPLACEMENT TREES.
13. ALL PLANT MATERIALS SELECTED ARE DROUGHT TOLERANT, THEREFORE, IRRIGATION SHALL BE REQUIRED ONLY UNTIL THE PLANTS ARE FULLY ESTABLISHED BY METHOD OF HAND WATERING.
14. CONTRACTOR AGREES TO WARRANTY AND MAINTAIN ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON PAST INSTALLATION AND SHALL REPLACE DEAD PLANT MATERIAL WITHIN THAT WARRANTY / MAINTENANCE PERIOD WITH NO OBLIGATION TO THE OWNER.
15. ALL TREES SHALL BE DOUBLE STAKED AS SHOWN ON THE DETAILS. STAKES TO BE REMOVED AFTER ONE FULL GROWING SEASON. TREES THAT HAVE DIED WITHIN THE ONE YEAR WARRANTY / MAINTENANCE PERIOD SHALL BE REPLACED AND RE-STAKED PER THE DETAIL. AT NO ADDITIONAL COST TO THE OWNER.
16. LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER.



200 EAST STREET

FND HYRUM CITY —
SURVEY MONUMENT
AT INTERSECTION
OF E 100 N AND N
200 E



Know what's below.
Call before you dig.
1-800-424-5555

■ THE DESIGNER:
B. WOLTHUIS

Harvest Valley Court
A Senior Living Community
HYRUM, UTAH

[illegible]

■ STAMP

NOT FOR CONSTRUCTION

■ SHEET TITLE:
Overall
Preliminary
Landscape Plan

■ DATE: JULY 29, 2022

■ DRAWN BY: BW

■ CHECKED BY: BW

■ JOB NO.:

■ SHEET NO: L1.0



HARVEST VALLEY COURT P.U.D.

PREVIOUS COPY FROM MARCH COUNCIL MEETING

COUNCIL REVIEW

A SENIOR LIVING COMMUNITY

LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
SHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH

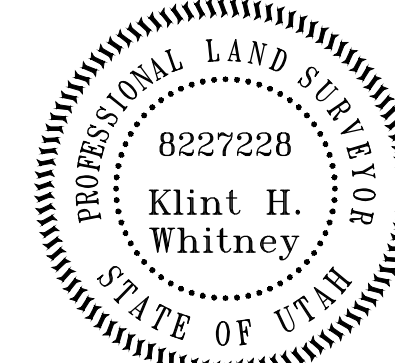
BOUNDARY DESCRIPTION

ALL OF LOTS 1, 7, 8 OF BLOCK 22 PLAT A HYRUM CITY SURVEY, ALSO BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4 TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN. CONTAINING 3.72 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY IN ACCORDANCE WITH SECTION 17-25-17 AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS _____ DAY OF _____, 2024.



KLINT H. WHITNEY, PLS NO. 8227228

OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY

I HEREBY STATE THAT I AM THE MANAGER OF UNREASONABLE CAPITAL HYRUM LLC, AND THAT I AM THE ONLY PERSON WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT I CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE. WE HEREBY DEDICATE THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS EASEMENTS FOR FOLLOWING PURPOSES:

ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC UTILITY EASEMENT IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC UTILITY PURPOSES.
ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC RIGHT OF WAY IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC RIGHT OF WAY AND PUBLIC UTILITY PURPOSES.
THE REAL PROPERTY DESCRIBED HEREON IS DEDICATED AS AN EASEMENT FOR STORMDRAIN AND IRRIGATION PURPOSES IS HEREBY DEDICATED TO HYRUM IRRIGATION COMPANY FOR SAID CONVEYANCE PURPOSES;
ALL LAND SHOWN HEREON AS PRIVATE STREETS AS WELL AS OPEN SPACE B TO ALSO BE DEDICATED TO HYRUM CITY AS PUBLIC UTILITY AND DRAINAGE PURPOSES FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE PURPOSES AS SEEN FIT BY HYRUM CITY;
WE HEREBY DEDICATE THE LAND DESIGNATED AS IRRIGATION EASEMENT TO HYRUM IRRIGATION COMPANY FOR THE INSTALLATION AND MAINTENANCE OF IRRIGATION FACILITIES AND DRAINAGE.
WE HEREBY RETAIN THE PORTIONS INDICATED AS "PRIVATE STREETS," AS SHOWN HEREON FOR PRIVATE USE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT;

WE HEREBY RETAIN THE PORTIONS NOT LOCATED WITHIN A NUMBERED LOT FOR THE HOMEOWNERS' ASSOCIATION AS COMMON SPACE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT, TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH UNIT OWNER AND TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION;

WE HEREBY RETAIN THE PORTION OF LAND DESIGNATED AS PRIVATE STORM DRAIN EASEMENT AND DETENTION POND EASEMENT TO BE USED BY THE HOMEOWNERS' ASSOCIATION FOR THE INSTALLATION AND MAINTENANCE OF STORM DRAIN FACILITIES, DRAINAGE AND THE MAINTENANCE AND REPAIRS FOR WALLS, DITCHES OR BERMS USED FOR GRADING AND DRAINING PURPOSES.

SIGNED THIS _____ DAY OF _____, 2024.

UNREASONABLE CAPITAL HYRUM, LLC

BY: CORY WADDOUPS, MANAGER

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this _____ day of _____, 2024, personally appeared before me CORY WADDOUPS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the MANAGER OF UNREASONABLE CAPITAL HYRUM, LLC, and that said document was signed by him/her in behalf of said corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said CORY WADDOUPS acknowledged to me that said corporation executed the same.

SIGNATURE _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

COMMISSION NUMBER - EXPIRES _____

(SEAL)

NOTES

- ZONING FOR THIS LOT AND SURROUNDING AREA IS R-2
- THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUND, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.
- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FEMA MAP NO. 49005C0.90C WITH AN EFFECTIVE DATE OF 5/24/2011. DEVELOPER WILL PLANT TREES PER LANDSCAPE PLAN AND ACCORDING TO HYRUM CITY STANDARDS FOR PLANNED UNIT DEVELOPMENTS.
- THE PURPOSE OF THIS SUBDIVISION AMENDMENT IS TO ADJUST THE SUBDIVISION BOUNDARY TO FIT THE WEST RIGHT-OF-WAY LINE OF 300 EAST STREET AS DETERMINED BY FORESIGHT LAND SURVEYING.

SITE DATA

- TOTAL AREA 160,955 SQ. FT. OR 3.695 ACRES.
- OPEN SPACE / COMMON AREA (INCLUDING PRIVATE STREETS): 77,116 SQ. FT. OR 1.77 ACRES
- 28 LOTS FOR A TOTAL OF 83,872 SQ. FT. OR 1.925 ACRES
- PRIVATE STREETS: 19,441 SQ. FT. 0.45 ACRES
- PARKING: ON STREET PARKING 14 STALLS
GARAGE PARKING 42 STALLS
DRIVEWAY PARKING 42 STALLS
TOTAL PARKING 98 STALLS

Private Lots and Streets are not included in Open Space, By Definition. See corrected Open Space Calculation.

Correct Open Space Calculation
Open Space noted as screened area on plat.
Open Space Area = 50,427 Square Feet
Total Area = 160,955

Percent Open Space = 31.3%

LEGEND

- HYRUM CITY SURVEY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED GARDNER ENGINEERING
- STREET CENTERLINE MONUMENTS
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- STREET CENTERLINE
- SURVEY TIE LINE
- PUBLIC UTILITY EASEMENT
- PROPOSED FENCE LINE
- PRIVATE STORM DRAIN EASEMENT
- IRRIGATION EASEMENT
- PUBLIC RIGHT OF WAY

NOTE:

EASEMENTS AND DEDICATIONS HAVE NOT CHANGED. USE THE ORIGINAL PLAT OF HARVEST VALLEY COURT P.U.D. FOR ADDITIONAL EASEMENT AND DEDICATION INFORMATION.

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO AMEND A PLANNED UNIT DEVELOPMENT SUBDIVISION WITH 28 LOTS/UNITS FOR SENIOR LIVING. THE SURVEY WAS ORDERED BY DAVID MADSEN. THE AMENDMENT IS INTENDED TO CLARIFY DISCREPANCIES OF RIGHT-OF-WAY ALONG 300 EAST AND HONOR THE RIGHT-OF-WAY AS DETERMINED BY FORESIGHT LAND SURVEYING. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING HYRUM CITY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON THE BASIS OF BEARING IS THE LINE BETWEEN THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 200 NORTH AND THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 300 EAST WHICH BEARS NORTH 88°13'34" WEST CACHE COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

General Questions About Development Practice

- What is the plan for the manhole extending into the air at the irrigation connection by Main Street?
- Plan for curb that is mis-aligned on 300 East and the curb intersection at Main Street?
- What has happened with the utility installations - large gaps under the gutter sections, and undermined parallel to gutter. (Compaction??)
- Water line cover along west property line?
- Contractor quality of work?
- Schedule?

Conditions of approval for amended plat after items are corrected:
Additional amenity for reduction in open space. Pickleball court

THESE ARE ALL GOOD ITEMS TO BE ADDRESSED IN THE UPDATED CONSTRUCTION DRAWINGS. GUTTER SHOULD ALL BE REMOVED AND RE-COMPACTION TO BE DONE. DECORATIVE ROCK OR OTHER SCREENING COULD BE PLACED AROUND THE IRRIGATION MANHOLE.

Where is the approved Landscape Plan? It is not included with the approved Construction Documents for the project.

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	42.41	27.00	90.00	N47° 09' 40"E	38.18
C2	69.12	44.00	90.00	S47° 09' 40"W	62.23
C3	63.49	44.00	82.67	N50° 49' 26"E	58.12
C4	5.63	44.00	7.33	N5° 49' 26"E	5.62

By Definition of Open Space, Paved Streets are NOT part of open space, unless it can be shown that the street is devoted to recreation. Such as a parking lot for a park.

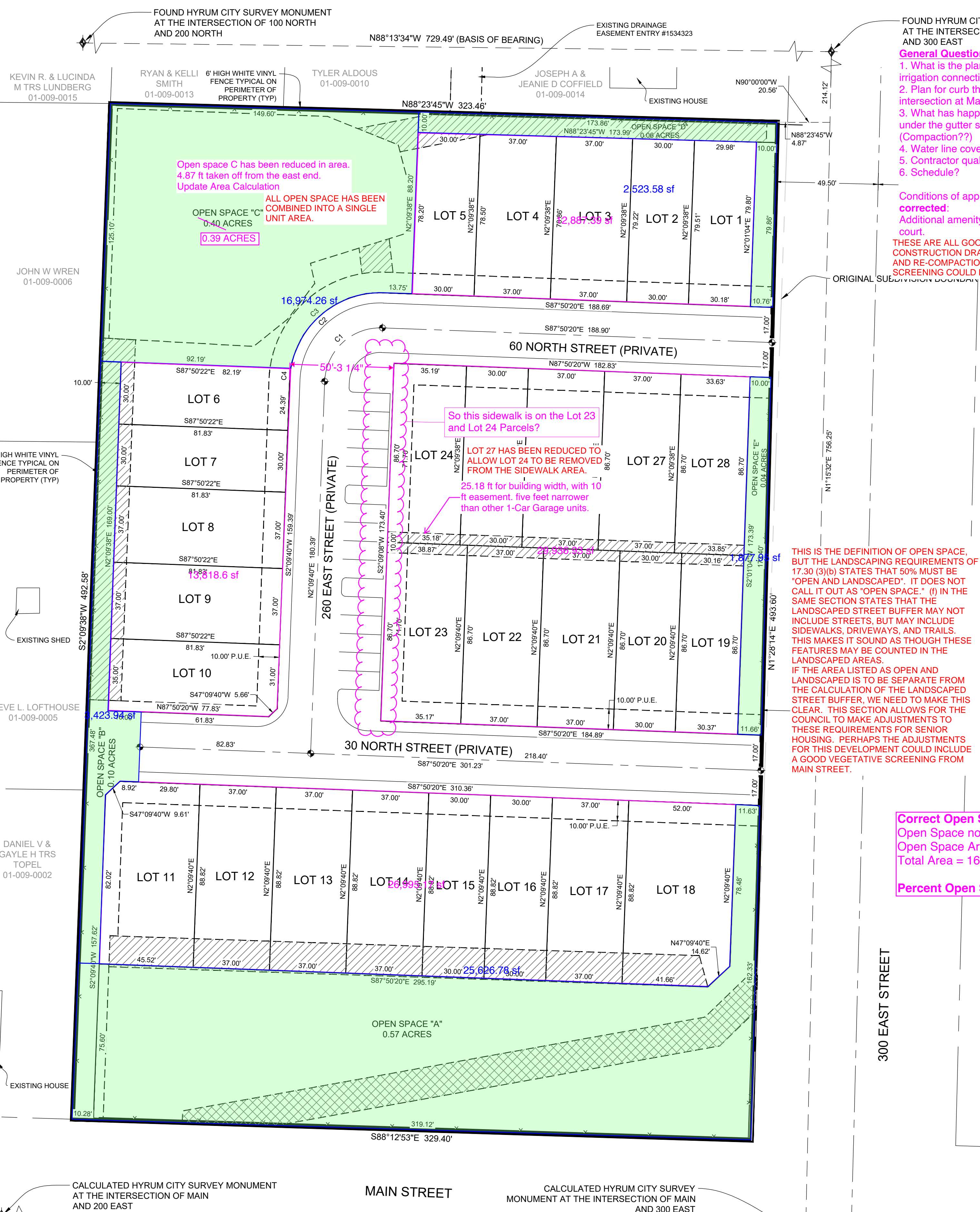
17.04.070 Definitions

Open Space - "Open Space" means any area of land or water that (1) is not a part of a residential lot, (2) is devoted to environmental preservation, agricultural production, or outdoor recreation and (3) generally lacks buildings or other structures except for structures that are subordinate to and customarily incidental to the use of the open space.

Planned Unit Development (PUD) - "Planned Unit Development" means a development, which permits the clustering of housing units and other creative site development. The council maywaive the setback, and individual lot size requirement in favor of "common" open spaces which are part of the development. While more flexible in many respects, PUD's rely strongly on design to convince City officials of their merit.

THIS IS THE DEFINITION OF OPEN SPACE, BUT THE LANDSCAPING REQUIREMENTS OF 17.30 (3)(b) STATES THAT 50% MUST BE "OPEN AND LANDSCAPED". IT DOES NOT CALL IT OUT AS "OPEN SPACE". (1) IN THE SAME SECTION STATES THAT THE LANDSCAPED STREET BUFFER MAY NOT INCLUDE STREETS, BUT MAY INCLUDE SIDEWALKS, DRIVEWAYS, AND TRAILS. THIS MAKES IT SOUND AS THOUGH THESE FEATURES MAY BE COUNTED IN THE LANDSCAPED AREA. IF THE AREA LISTED AS OPEN AND LANDSCAPED IS TO BE SEPARATE FROM THE CALCULATION OF THE LANDSCAPED STREET BUFFER, WE NEED TO MAKE THIS CLEAR. THIS SECTION ALLOWS FOR THE COUNCIL TO MAKE ADJUSTMENTS TO THESE REQUIREMENTS FOR SENIOR HOUSING. PERHAPS THE ADJUSTMENTS FOR THIS DEVELOPMENT COULD INCLUDE A GOOD VEGETATIVE SCREENING FROM MAIN STREET.

300 EAST STREET



HYRUM CITY ENGINEER

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.

SIGNED THIS _____ DAY OF _____, 2024.

CITY ENGINEER

HYRUM CITY COUNCIL ACCEPTANCE

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY THE HYRUM CITY COUNCIL ON THE _____ DAY OF _____, 2024 DATED THIS _____ DAY OF _____, 20____.

ATTEST: _____
MAYOR, HYRUM CITY
CITY RECORDER

HYRUM CITY PLANNING COMMISSION

THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE HYRUM CITY PLANNING COMMISSION.

SIGNED THIS _____ DAY OF _____, 2024.

CHAIRMAN, HYRUM CITY PLANNING COMMISSION

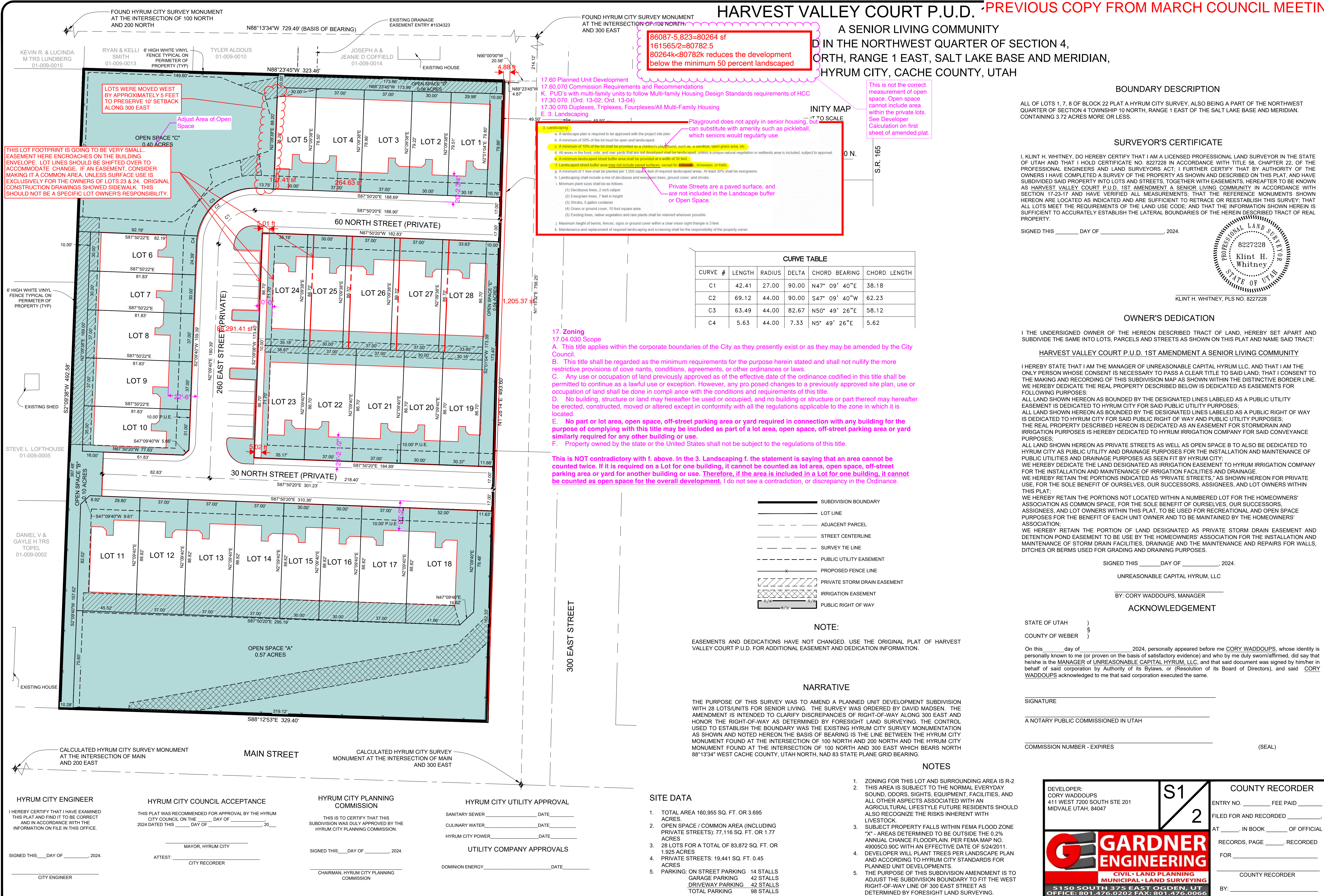
HYRUM CITY UTILITY APPROVAL

SANITARY SEWER _____ DATE _____
CULINARY WATER _____ DATE _____
HYRUM CITY POWER _____ DATE _____

UTILITY COMPANY APPROVALS

DOMINION ENERGY _____ DATE _____

HARVEST VALLEY COURT P.U.D. PREVIOUS COPY FROM MARCH COUNCIL MEETING



RESOLUTION 25-10

A RESOLUTION AMENDING THE DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS FOR POWER AND LIGHT CONSTRUCTION IN HYRUM CITY.

WHEREAS, the Hyrum City Council approved the revised Design Standards and Construction Specifications for Public Works Construction in Hyrum City in January 2003; and

WHEREAS, the Design Standards and Construction Specifications for Power and Light provides general requirements and design guidelines for installation of power and improvements in Hyrum City; and

WHEREAS, Hyrum City contracted with Active Power Engineering to review and update Hyrum City's Design Standards and Construction Specifications for the Power and Light Division to comply with current National Electric Code, OSHA, and Hyrum City's procedures and expectations; and

WHEREAS, the proposed changes to the Design Standards and Construction Specifications for Power and Light include updates to solar and battery backup, standby generation, and minor housekeeping items; and

WHEREAS, upon recommendation of Active Power Engineering, and Hyrum City's Power and Light Department, the City Council has determined there is a need to amend and update Hyrum City's Design Standards and Construction Specifications for Power and Light Construction.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Hyrum, Cache County, Utah, to approve the revisions, attached hereto as Exhibit "A", to Hyrum City's Design Standards and Construction Specifications for Public Works Construction in Hyrum

THIS RESOLUTION shall become effective upon adoption.

ADOPTED AND PASSED by the Hyrum City Council this 1st day of May, 2025.

HYRUM CITY CORP.

BY: _____
Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

UPDATES TO HYRUM CITY LIGHT & POWER STANDARDS

May 2025

BLUF (bottom line up front)

General

1. Revised date to reflect 2025
2. Updated email link to reflect department email
3. Updated all associated drawings

Sections

1. 7.1.5
 - a. Added new section that discusses customer installed generation. Solar and backup.
 - b. Ensures customer meter base is up to NEC code before interconnection is made
2. 7.4.5
 - a. Adjusted language to read “the customer will provide and install CT cabinet and CT bases”
3. 7.6
 - a. Added language to clarify that “the contractor will use, where provided, conduit stubs exiting the city owned electrical boxes to prevent disturbing of the ground around the box”
4. 7.6.8
 - a. Added new section detailing use of transformer vaults on large three phase transformer applications
5. 7.9.4.2
 - a. Another area adjusting language to read “the customer will provide and install the CT cabinet and CT bases”
6. 7.11
 - a. Addition of new section related to installation and maintenance of solar and battery generation

HYRUM CITY
Power Department

SECTION 7

HYRUM CITY
GENERAL REQUIREMENTS
AND
SPECIFICATIONS
FOR
ELECTRICAL INSTALLATIONS

SECTION 7 General Requirements and Specifications for Electrical Installations

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RESIDENTIAL ELECTRIC POWER SERVICE REQUEST

PAGE I

STEPS FOR UNDERGROUND/OVERHEAD SERVICE INSTALLATION AND HOOK-UP

Complete the following steps in the order listed below:

1. Builder must fill out the Load Data Sheet, page 2 below, and return it to Hyrum City's Power Department. We use the sheet to document inspections and size the service wire/conduit. We will not perform the required trench inspections without a Load Data Sheet. The builder and Hyrum City Power will meet to determine if the service will be underground or overhead.
2. Do not begin work on the service installation before receiving the service design from Hyrum City's Power Department. Any work done that does not meet the Hyrum City Power Department design is at risk of having to be re-done at the cost of the builder/customer.
3. The building site requiring service must have its address marked and clearly visible from the street.
4. For underground service--Dig a trench (30" minimum depth) between the power source and meter equipment.
For overhead service—Skip to step 7.
5. Install the conduit specified by Hyrum City Power (3"). At the power source, connect to the existing conduit stubbed from the transformer or secondary junction box. The meter riser must be aluminum and strapped to the foundation. Call Hyrum City (24 hours in advance) at 435-245-6033 to schedule a required inspection of the trench and conduit prior to backfilling.
6. After you have passed the conduit and trench inspection, cover the conduit with 4" of sand (to prevent the possibility of the conduit being damaged by backfilling with local soil), then 8" of soil. Approximately 1 foot directly above conduit, place red plastic electrical warning tape--3" wide over service, 6" wide over primary-- that reads, "Caution—Buried Electric Cable Below". Leave a tail of warning tape sticking out of the ground at the meter riser and power source. Backfill the trench to final grade.
7. Hyrum City will stick a U.G. Service Inspection Verification label to the inside of the meter base upon completion and inspection of the trench and conduit.
8. Contact Cache County for a power to panel inspection. When you pass the power to panel inspection . . .
9. At this point, you MUST have passed the building Dept. power to panel inspection.
For underground service--Hyrum City will provide the wire for underground service. A Hyrum City crew

HYRUM CITY ELECTRICAL DEPARTMENT
RESIDENTIAL ELECTRIC POWER SERVICE REQUEST

PAGE 2

will return to the building site and install the wire in the conduit, make the connections and set the meter. For overhead service--The customer will provide the wire from the weatherhead to the meter. Hyrum City will provide the wire for the overhead service from the source up to the weatherhead, make connections and set the meter.

LOAD DATA SHEET
SINGLE FAMILY RESIDENTIAL STRUCTURE
Underground/Overhead Electric Service Feed

Architect/Engineer/Builder/Contractor:

Please submit this form for each single-family residential structure to be served by Hyrum City Power by means of an underground or overhead service wire. Using the NEC code to size the service wire is acceptable. However, Hyrum City can potentially use the information submitted on this sheet to de-rate the wire size upon request. Also, this form is necessary for Hyrum City to track the required inspections. **Hyrum City will NOT perform any inspections without this form.** Submit the form by email: hyrumpower@hyrumcity.gov, by fax 435-245-4758, or by delivery to the address 60 West Main, Hyrum, UT. By signing this document, you are hereby acknowledging that the information provided is accurate and that you take responsibility for this information up to and including financial cost for the replacement of Hyrum City equipment due to any inaccuracies contained herein.

Contractor Contact Information:

Contractor/consultant name _____

Contact person _____ Day phone # _____

Cell phone # _____ Fax # _____ Best contact time ☐ a.m. ☐ p.m.

E-mail address: _____

Customer (Owner) Contact Information *Complete this section if owner and contractor are separate individuals*

Name _____

Mailing address _____ City, State Zip _____

Day phone # _____ Cell phone # _____ Best contact time ☐ a.m. ☐ p.m.

E-mail address: _____

Service Information *This section is required*

HYRUM CITY ELECTRICAL DEPARTMENT
RESIDENTIAL ELECTRIC POWER SERVICE REQUEST

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New service address _____ City, State Zip

New service address coordinates *(if applicable)*

Subdivision name _____ Phase _____ Lot # _____ Block # _____

If known, nearest pole or padmount # *(pole/equipment tag, 10 or 12 digits)*

Service panel size: ☐ 150 Amp ☐ 200 Amp ☐ 400 Amp Size of building: _____ total sq. ft.

Distance between service hookup (power source) and meter equipment: _____ ft.

Special conditions and/or requests

Main source of heat: ☐ gas ☐ propane ☐ electric If electric: ☐ heat pump (____ tons) ☐ furnace

If air conditioning: ☐ evaporative cooler ☐ central air (____ tons) ☐ heat pump (____ tons) ☐ other

Would you like Hyrum City Electrical Department to determine the size of the underground service wire?

☐ Yes ☐ No

Expected building completion date *(mm/dd/yyyy)* _____

It is important to provide the most accurate information available as it is used to design the facilities to serve your requested load. You may want to consult a licensed electrician or engineer prior to providing the information. Changes to load after submitting this information may delay design and potentially impact cost.

Please sign and date this form

Applicant or representative signature

Date

Please email or fax completed form to: hyrumpower@hyrumcity.gov , by fax 435-245-4758,

or delivery to 60 West Main, Hyrum, UT.

HYRUM CITY ELECTRICAL DEPARTMENT
RESIDENTIAL ELECTRIC POWER SERVICE REQUEST

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HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

PAGE I

STEPS FOR UNDERGROUND/OVERHEAD SERVICE INSTALLATION AND HOOK-UP

Complete the following steps in the order listed below:

1. Builder must fill out the Load Data Sheet, page 2 below, and return it to Hyrum City's Power Department. We use the sheet to document inspections and size the service wire/conduit. We will not perform the required trench inspections without a Load Data Sheet. The builder and Hyrum City Power will meet to determine if the service will be underground or overhead.
2. Do not begin work on the service installation before receiving the service design from Hyrum City's Power Department. Any work done that does not meet the Hyrum City Power Department design is at risk of having to be re-done at the cost of the builder/customer.
3. The building site requiring service must have its address marked and visible from the street.
4. For underground service--Dig a trench (30" minimum depth) between the power source and meter equipment.
For overhead service—Skip to step 7.
5. Install the conduit specified by Hyrum City Power (4" minimum for 3 phase service) to the power source, connect to existing conduit. The meter riser must be aluminum and strapped to the foundation. Call Hyrum City (24 hours in advance) at 435-245-6033 to schedule a required inspection of the trench and conduit prior to backfilling.
6. After you have passed the conduit and trench inspection, cover the conduit with 4" of sand (to prevent the possibility of the conduit being damaged by backfilling with local soil), then 8" of soil. Approximately 1 foot directly above conduit, place red plastic electrical warning tape--3" wide over service, 6" wide over primary-- that reads, "Caution—Buried Electric Cable Below". Leave a tail of warning tape sticking out of the ground at the meter riser and power source. Backfill the trench to final grade.
7. Hyrum City will stick a U.G. Service Inspection Verification label to the inside of the meter base upon completion and inspection of the trench and conduit.
8. Contact Cache County for a power to panel inspection. When you pass the power to panel inspection . . .

HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

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9. At this point, you MUST have passed the building Dept. power to panel inspection.

For underground service—The builder/customer shall install the wire in the conduit, make the connections in the transformer and meter/CT cabinet. Hyrum City will set the meter.

For overhead service--The builder/customer will provide the wire from the weatherhead to the meter. Hyrum City will provide the wire for the overhead service from the source up to the weatherhead, make connections and set the meter.

HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

PAGE 3

LOAD DATA SHEET
COMMERCIAL STRUCTURE
Underground/Overhead Electric Service Feed

Architect/Engineer/Builder/Contractor:

Please submit this form for each commercial structure to be served by Hyrum City Power by means of an underground or overhead service wire. Using the NEC code to size the service wire is acceptable. However, Hyrum City can potentially use the information submitted on this sheet to de-rate the wire size upon request. Also, this form is necessary for Hyrum City to track the required inspections. **Hyrum City will NOT perform any inspections without this form.** Submit the form by email: hyrumpower@hyrumcity.gov, by fax 435-245-4758, or by delivery to the address 60 West Main, Hyrum, UT. By signing this document, you are hereby acknowledging that the information provided is accurate and that you take responsibility for this information up to and including financial cost for the replacement of Hyrum City equipment due to any inaccuracies contained herein.

Contractor Contact Information:

Contractor/consultant name _____

Contact person _____ Day phone # _____

Cell phone # _____ Fax # _____ Best contact time ☐ a.m. ☐ p.m.

E-mail address: _____

Customer (Owner) Contact Information *Complete this section if owner and contractor are separate individuals*

Name _____

Mailing address _____ City, State Zip _____

Day phone # _____ Cell phone # _____ Best contact time ☐ a.m. ☐ p.m.

E-mail address: _____

Service Information *This section is required*

New service address _____ City, State Zip _____

New service address coordinates (if applicable) _____

Subdivision name _____ Phase _____ Lot # _____ Block # _____

HYRUM CITY ELECTRICAL DEPARTMENT COMMERCIAL ELECTRIC POWER SERVICE REQUEST

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If known, nearest pole or padmount # (pole/equipment tag, 10 or 12 digits)

Service panel size: _____ amps

Size of building: _____ total sq. ft.

Load List			
Type	Description	Added Load	Units
HVAC/Refrigeration Equip.			Tons
Largest Motor (code:_____)			HP
Fans/small motors/pumps/compressors			HP
Electric Heating (space/water)			kW
Equipment with large power requirement			kW

Distance between service hookup (power source) and meter equipment: _____ ft.

Special conditions and/or requests

Main source of heat: ☐ gas ☐ propane ☐ electric If electric: ☐ heat pump (____ tons) ☐ furnace

If air conditioning: ☐ evaporative cooler ☐ central air (____ tons) ☐ heat pump (____ tons) ☐ other

Would you like Hyrum City Electrical Department to determine the size of the underground service wire?

☐ Yes ☐ No

Expected building completion date (mm/dd/yyyy) _____

It is important to provide the most accurate information available as it is used to design the facilities to serve your requested load. You may want to consult a licensed electrician or engineer prior to providing the information. Changes to load after submitting this information may delay design and potentially impact cost.

Please sign and date this form

Applicant or representative signature

Date

HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

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Please email or fax completed form to: hyrumpower@hyrumcity.gov , or by fax 435-245-4758,
or delivery to 60 West Main, Hyrum, UT.

7 GENERAL REQUIREMENTS AND SPECIFICATIONS FOR ELECTRICAL INSTALLATIONS

7.1 GENERAL REQUIREMENTS

7.1.1 GENERAL

The purpose of this document is to assist Hyrum City Power customers in obtaining electric service. This document provides the requirements and shows the specifications for customer installations that must be met for electric service to be connected. It is the customer's responsibility to ensure compliance with these requirements and specifications. These requirements and specifications apply to new services, relocated services, house relocations, rewired services, and upgraded services.

Any work done before receiving the electric service design and signed contract from Hyrum City's Power Department that does not meet the Hyrum City Power Department design is at risk of having to be removed and re-installed at the cost of the builder/customer.

7.1.2 COMPLIANCE AND CONFLICT WITH REQUIREMENTS

All electrical work shall be in compliance with the latest edition of the National Electric Code (NEC), International Building Code, ICC Electrical Code, and the National Electrical Safety Code (NESC) except where these specifications are more stringent. If there is a conflict between standards, the most stringent shall rule.

7.1.3 SERVICE DENIAL FOR UNSAFE CONDITIONS OR TAMPERING

A service may be denied when unsafe conditions exist, or when the customer has tampered with utility-owned equipment, such as meters and lines. (Utah Administrative Code, Rule 746-200.) A residential service can be disconnected without notice when a clear emergency or serious safety hazard exists for so long as the conditions exist. The Power Department will immediately try to notify the customer of the disconnection and the reasons for it.

7.1.4 UNDERGROUND UTILITY LOCATION -- CALL BEFORE YOU DIG

State law requires the customer/excavator to call 8-1-1 to mark underground utility locations at least 48 hours prior to any excavation. Do not start excavation until utilities have been marked by an underground locator service, or until the service confirms that no utilities exist in the area.

7.1.5 CUSTOMER GENERATION

Interconnection of customer distributed generation will be evaluated on a case-by-case basis. Contact Hyrum City Power before acquiring generation equipment or making any type of

SECTION 7 General Requirements and Specifications for Electrical Installations

interconnection with any type of generating device to determine the requirements that must be met. Refer to Section 7.11 for instructions on the interconnection process.

Before making any type of interconnection with any type of transfer switch to facilitate generation the customer meter base must be in compliance with the latest National Electric Code requirements or must be brought into compliance with the latest requirements.

7.1.6 GROUNDING AND BONDING

The customer is responsible for ensuring that electrical wiring and service equipment are grounded and bonded in accordance with applicable NEC requirements. The grounding system shall have sufficient grounding electrodes, effectively bonded together, to prevent maximum resistance to ground exceeding 25 ohms. All grounding is to be in accordance with NEC Article 250.

Two ground rods 5/8" diameter x 8' long shall be driven at each three-phase transformer and three phase junction point, at 5' center to center (spacing). One ground rod shall be driven at each single-phase transformer and single-phase primary junction point. All concentric neutrals shall be connected and commonly grounded to the driven ground rod.

In cases where ground rods cannot be installed at transformers, primary junction boxes and switches due to very rocky soil, 100 ft. of bare #2 copper-clad wire can be buried at least 18" deep in place of the ground rod(s). See requirements in Section 7.6.9.

Metallic equipment less than 6 feet from Hyrum City Power equipment requires bonding to the Hyrum City Power equipment.

7.1.7 INSPECTION

All work shall be inspected and approved by the City's Power Department personnel before underground systems are backfilled. Cache County will perform "power to the panel" inspections. Final inspection and energizing the system will be performed by the City's Power Department personnel.

7.1.8 POWER FACTOR

The customer is responsible for maintaining a power factor between 95% lagging and 95% leading, or higher. Hyrum City Power recommends that customers provide and maintain code-approved power factor correction devices to maintain power factor between 95% lagging and 95% leading.

A power factor rate adjustment applies to customers with three-phase service and loads that exceed 200 kilowatts for three (3) consecutive months. This rate adjustment has the effect of increasing the power demand charges to customers who do not maintain a power factor of 95% or higher.

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7.1.9 EQUIPMENT PERFORMANCE, PROTECTION, AND HARMONICS

The customer shall provide any power-conditioning devices necessary for the proper performance and protection of voltage-sensitive equipment. The customer is responsible for providing and maintaining code-approved protective devices to protect equipment against overloading, short circuits, ground faults, high or low voltage, and single-phasing of three-phase motors.

Customers shall not generate harmonic distortion that create disturbances on the electrical system that interfere with any other customer's equipment. Customers shall provide harmonic filtering on equipment that can produce harmonic distortion (such as adjustable speed drives, power supplies, and electronic ballasts for lighting) such that harmonic distortion is kept within the limits specified in IEEE Standard 519, Section 10. The customer shall take necessary action, at the customer's sole expense, for the customer's facility to stay within these limits. Failure to operate within these limits can result in termination of electrical service or other remedial action as provided by state regulatory authority (Utah Administrative Code, Rule 746-310-2-D, "Conditions of Service"). Compliance with this requirement is judged by the City's Power Department personnel's measurement at the service point.

7.2 PERMITS AND APPLICATIONS

7.2.1 SERVICE APPLICATION

The customer shall complete an Electric Power Service Request Load Data Sheet to apply for electric service. The customer shall provide accurate load information on the request. The steps for service installation and hook-up are detailed on this request form. Refer to the request forms "Residential Electric Power Service Request" or "Commercial Electric Power Service Request" at the front of this standard.

7.2.2 PERMIT

City ordinances require applicants to obtain appropriate permits as per Hyrum City code before electric service is provided.

7.2.3 EASEMENTS

The customer (developer) shall provide, without cost to Hyrum City, all permits, rights-of-way, and easements required for the installation and maintenance of the public facilities that serve the customer (development). A Public Utility Easement (PUE) will be required in all subdivisions adjacent to the road right-of-way. A ten (10) foot easement is required along all frontages and may be required at rear and side lot lines at the discretion of City staff. If a PUE is required along the rear or the side of lots, the total width may be evenly split between the adjoining lots. No

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permanent structure or obstruction can be placed within the PUE without prior written approval of all Hyrum City owned utilities.

7.3 SERVICES

7.3.1 TYPES OF SERVICE

Electric service is provided as 60-hertz, alternating current, single-phase or three-phase. Nominal provided secondary voltages and types of service are shown in Table 1.

Table 1-Type and Voltage of Secondary Service

Phases	Voltage	Wiring	Limits
Single-phase	120 volts	Two-wire, grounded	200 amps or less
Single-phase	120/240 volts	Three-wire, grounded	400 amps or less
Three-phase	120/208 volts	Four-wire, grounded wye	750 kVA or less
Three-phase	277/480 volts	Four-wire, grounded wye	n/a

Contact Hyrum City Power to determine the requirements that must be met for primary voltage service at 7,200/12,470 volts.

7.3.2 STANDARD TRANSFORMER SIZES

Standard transformer sizes that are allowed are given in Table 2.

Table 2-Standard Transformer Sizes

Overhead Transformers	Secondary Voltage	Sizes in kVA
Single-phase	120/240 volts	25, 50, 75, 100, 167
Three-phase (bank of 3 single-phase transformers)	120/208 volts	75, 150, 225, 300
	277/480 volts	75, 150, 225, 300
Pad-mounted Transformers		
Single-phase	120/240 volts	25, 37.5, 50, 75, 100
Three-phase	120/208 volts	75, 150, 225, 300, 500, 750
	277/480 volts	75, 150, 225, 300, 500, 750, 1000, 1500, 2500

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7.4 METER REQUIREMENTS

7.4.1 GENERAL

1. The customer is responsible for providing, installing, and maintaining all service equipment.
2. Meters shall be located where approved by Hyrum City Power.
3. Meters shall be accessible at all times for reading, maintenance, and emergencies.
4. Meters located within a gated area or enclosed space shall be approved prior to installation on a case-by-case basis.
5. Customers must contact Hyrum City Power before doing any work that involves the meter.
6. Meter bases shall be from Hyrum City Power Department's approved list.
7. The minimum size meter base is 150 amps.
8. Three-phase 200 amp meter bases shall have a lever by-pass.

7.4.2 METER BASE MOUNTING

1. Meter bases must be mounted to be plumb in all directions and securely mounted to a rigid surface.
2. Prior approval is required for installing meters in any type of enclosure.
3. Adequate protection for meters subject to physical damage must be provided.

7.4.3 METER LOCATION

The customer must provide a suitable meter location, with adequate clear working space. Metering equipment **shall not be installed** in the following locations unless prior approval is obtained from Hyrum City Power:

1. Any unsafe location, as determined by Hyrum City Power
2. Any hazardous location for electrical equipment as defined by the NEC
3. Within a 36 inches radius of the gas meter, gas valves, regulators, fittings, unions, or the gas line entrance into a building.
4. Directly over any window well, stairway, ramp or steps
5. In any entryway
6. Within 36 inches horizontally of a window that has a view of a living space or restrooms, or within 36 inches horizontally of a door.
7. In any place where moisture, fumes, or dust may interfere with the meter's operation or may damage the meter, as determined by Hyrum City Power
8. On any surface subject to excessive vibration, as determined by Hyrum City Power
9. In an area where metering is likely to be fenced in
10. Where the metering equipment is obstructed by anything including landscaping or other vegetation
11. Areas adjacent to fuel storage units

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Residential meters shall be installed:

1. Outdoors within 10 feet of the front (street side) corner of the dwelling
2. On the side of the dwelling closest to the power source
3. At a location acceptable to Hyrum City Power, and in accordance with the standards drawings in this document.

Where there is no suitable location on the structure, a free-standing metering installation may be used, at a location approved in advance by Hyrum City Power.

7.4.4 DIRECT METERING

Direct-connect metering is required for residential services, and for single-phase services 400 amps or less, or three-phase services 200 amps or less. There are additional requirements for direct-connect metering installations with more than one meter.

See sections 7.9.2 and 7.9.3 for requirements for non-residential direct metering installations.

7.4.5 CURRENT TRANSFORMER METERING

Current transformer (CT) metering is required for single-phase services greater than 400 amps and three-phase services greater than 200 amps. Hyrum City Power will provide and install: the meter, a meter test switch, CTs, and secondary metering wiring. The CT cabinet and CT mounting base will be provided and installed by the customer. The customer shall provide conduit, connectors/terminations, a disconnect after the CT cabinet rated for the load, and bonding for meter and CT enclosures. The customer shall make connections of service wire in the CT cabinet.

See section 7.9.4 for detailed CT metering installation requirements.

7.4.6 SWITCHBOARD METERING (Above 800 amps)

Switchboard metering is required for services greater than 800 amps. The customer shall provide a drawing of the proposed switchboard metering equipment and a mounting pad with dimensions, to Hyrum City Power for review and approval. Approval must be obtained prior to fabrication.

The customer shall provide and install:

- a. Switchboard enclosure with CT compartment
- b. Meter base
- c. Metering conduit—one-inch (1") minimum electrical non-metallic tubing (ENT) for the metering secondary conductors
- d. Locking equipment for the meter enclosure
- e. Concrete mounting pad for the switchboard enclosure

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- f. A flat permanent surface (such as a concrete pad) extending a minimum of 36 inches (36") out from the switchboard in front of the CT compartment

See section 7.9.5 for the requirements for switchboard metered installations.

7.5 CLEARANCES

7.5.1 OVERHEAD SERVICES

The customer shall provide a point of attachment for overhead service that allows minimum clearances listed in the NESC for service drops and drip loops to be met in all conditions. Contact Hyrum City Power if the service length may be greater than 45', or the service will cross over uneven or sloped ground that may impact clearance height.

The lowest point of the overhead service cable and drip loop shall be at least 18" above the roof. No more than 72" of the service cable can run across the roof of the structure being served. Refer to the overhead service standard drawings in this document.

7.5.2 UNDERGROUND SERVICES

Clear workspace and fire code clearances must be maintained around pad-mounted equipment for underground services. Refer to the underground service standard drawings in this document.

At least 3 feet clear workspace measured from the edge of the equipment pad shall be available on the non-access side of pad mounted equipment.

At least 10' clear workspace measured from the edge of the equipment pad shall be available on the access (working) side of pad mounted equipment.

7.5.3 BETWEEN EQUIPMENT PADS AND BUILDINGS

The front of the equipment pad should always face away from adjacent structures and be free of obstructions. At least 8 feet, must separate the edges of the pad from any adjacent structure. The edges of the pad must be at least 10 feet from any combustible structures.

7.6 UNDERGROUND REQUIREMENTS

All underground service shall be installed in conduit. The customer shall provide conduit in place from the point of connection to the meter base. Where provided, the customer will attach to the conduit stub that is exiting from Hyrum City electrical box. For residential service Hyrum City Power will pull the secondary service wire. For commercial service the customer shall provide and pull the secondary service wire.

The customer shall be sure that conduit is located where it will not be next to (or underneath) buildings, building foundations, or other structures (including retaining walls.)

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The customer shall install six 3-inch conduits at road crossings where there is primary voltage crossing. Where there is secondary conductor that will cross a road the customer shall install three 3-inch conduits.

Hyrum City Power will allow only one overhead-to-underground conduit (or underground-to-overhead conduit—a “riser” or “dip”) on an overhead power distribution pole, whether it is primary voltage or secondary.

7.6.1 SERVICE CONDUCTOR

For residential service Hyrum City will provide the wire for underground service.

For commercial service the builder/customer must provide the wire for underground service. Cable shall be tri-plexed aluminum “EC”. Individual conductors shall be covered with XLP insulation rated to 600 volts and shall have color coded jacket. The color-coded service cable shall extend from the transformer to the main service breaker.

7.6.2 SERVICE CONDUIT

The customer shall provide and install the conduit. All conduit in the ground shall be not less than Schedule 40 PVC electrical grade (gray with red stripe) conduit, 3-inches in diameter or larger, depending on the cable size and distance. Any conduit above ground shall be aluminum. For commercial three-phase service the minimum conduit size is 4-inches, or greater according to the wire and secondary service size.

7.6.3 BACKFILL

Trench and conduit shall be inspected by Hyrum City Power prior to backfilling. All conduit shall be embedded in sand. The sand shall extend a minimum of 2 inches below and 4 inches above the conduit to prevent the possibility of the conduit being damaged by backfilling with local soil. Backfill material shall be compacted. Install marking tape as required in section 7.6.4.

In areas of the trench where there is no equipment, no paving, or other structural requirement, the local soil may be used as backfill as long as it has no cobbles, construction waste or other refuse or deleterious materials.

A minimum of 30” of backfill above underground secondary/service conduit is required.

Excavated areas that support electrical equipment (transformers, junction boxes, switchgear, etc.), pavement, walks, etc., shall be backfilled with compacted sand. Backfill shall be compacted in lifts no more than 2 feet. The final compaction beneath areas supporting electrical equipment shall be 95% of the maximum dry density as determined by ASHTO T-99.

7.6.4 MARKING TAPE

Marking Tape shall be installed 12” above all buried conduits. It shall be red in color, 3” – 6” wide and state, “Caution—Buried Electric Cable Below”

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7.6.5 JUNCTION BOXES

Primary and secondary junction boxes shall be placed on well compacted and level ground, meeting the backfill requirements in Section 7.6.3 and also placed so as to avoid being filled with drainage water. The secondary junction box shall be an upright pedestal type, Pencil-AG-20-HDX or approved equal.

7.6.6 BOXPADS

Box pads shall be placed on compacted and level ground meeting the backfill requirements in Section 7.6.3.

7.6.7 TRANSFORMER PADS

The transformer pads for transformers less than 100 kVA shall be Nordic single-phase box pad #CBP-37-43-15A (with cable openings 12" x 24") or approved equal. The top of the transformer pad shall be at least 2 inches above the sidewalk. Concrete pads must meet the following requirements and shall be approved by Hyrum City Power:

7.6.7.1 Site Preparation

All dirt beneath the pad site must be compacted meeting the backfill requirements in Section 7.6.3, and level prior to setting or pouring the pad to prevent settling.

7.6.7.2 Concrete

Concrete shall be made using 6 bags of standard brand of Portland cement per cubic yard. Steel reinforcement shall be No. 4 bars placed on 12" centers and in accordance with the concrete transformer pad drawing. The pad must be poured at least three full days prior to setting the transformer. Concrete shall be kept above freezing at least 72 hours after pouring. The finished surface must be completely flat and level.

7.6.7.3 Conduit Window Layout

Low voltage conduits shall be formed as tightly as possible against the right side of the opening and shall in no case extend further than 20" from the right side of the conduit window on a small pad (96" x 78") or 30" on a large pad (100" x 103"). Do not put any concrete in or under the conduit window. Use dirt to separate conduits. All construction shall be in accordance with the latest International Electric Code and approved by Hyrum City Power.

7.6.8 TRANSFORMER VAULTS

On three phase applications with transformer sizes greater than 150 KVA a pad vault will be required. A pad vault is a combination of both a vault and lid/pad. The vault will be provided and installed by the supplier or contractor. The joint between the box and the lid will be sealed with mastic. The vault will be placed within 15' of a hard-paved surface. A base of 8"-12" of 1" crushed rock will be used to establish a compacted and level surface on which the vault will be set. A total of two 5/8"x8' groundrods will be provided and installed at or within 2' of the grounding locations of the vault box and connected with 1/0 stranded copper wire on both

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sides. The area 10' in front and 3' on either side of the transformer will remain open and clear of any obstructions.

7.6.9 CLEARANCES

The front of the pad should always face away from adjacent structures and be free of obstructions. At least 8 feet must separate the edges of the pad from any adjacent structure. The edges of the pad must be at least 10 feet from any combustible structures.

7.6.10 GROUNDING METHODS

Driven ground rods are required at services, transformers, primary junction boxes and switches. In cases where ground rods cannot be installed at transformers, primary junction boxes and switches due to very rocky soil, 100 ft. of bare #2 copper-clad wire can be buried at least 18" deep in place of the ground rod. At least 100 total feet of wire, laid approximately straight, is required. Wire may be installed in a single length or several connected lengths, such as in a grid pattern.

7.7 OVERHEAD SERVICE REQUIREMENTS

Hyrum City Power provides all service wire to the meter mast (weatherhead) on overhead connections.

All residential overhead services shall be sized in accordance with Table 3. The minimum residential service permitted shall be a 150-amp service. Customers shall provide all service secondary conductors from the point of connection (weatherhead) to the meter base on overhead services.

Table 3-Residential Secondary Conductor Size—Customer Overhead Service Wire from Weatherhead to Meter

Square Footage of Residence	Service Size	Secondary Conductor Size	Neutral Conductor Size
Under 1200 s.f.	150 amp	1/0 Aluminum	#2 AWAC
1200 s.f. & above	200 amp	4/0 Aluminum	2/0 AWAC

The customer shall provide a point of attachment for overhead service that allows minimum clearances to be met in all conditions. Contact Hyrum City Power if the service length may be greater than 45', or the service will cross over uneven or sloped ground that may impact clearance height.

Mast shall be 2" or 3" rigid conduit, depending on the size of the service (see Table 4). The meter mast shall be securely connected to the structure with at least 2 points of attachment using Unistrut and 3/8" minimum lags.

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Table 4-Meter Mast Conduit Size

Service Size	Conduit Size for Meter Mast
200 amp or less	2" min.
201 – 400 amp	3" min.
Above 400 amp	Contact Hyrum City Power

Mast weatherhead shall pass through the building eave and extend at least 24" above the roof, unless the weatherhead is mounted on the gable end of the building. The lowest point of the overhead service cable and drip loop shall be at least 18" above the roof. No more than 72" of the service cable can run across the roof of the structure being served.

If the point of attachment is more than 36" above a point of support on the mast, two independent guys are required.

7.8 MULTI-FAMILY RESIDENTIAL BUILDINGS

7.8.1 GENERAL

This section describes services with separate meters for multi-family residential buildings with three or more units. Hyrum City Power requires grouping of service entrance conductors at a common location.

Requirements:

1. All meters shall be in a common location.
2. Meter banks shall be installed on the side of the building closest to the power source.
3. The service entrance and meter shall be installed in locations meeting the requirements of Section 7.4.
4. The service entrance shall be sealed.

7.8.2 MULTIPLE-METERS

All multiple meter installations shall meet the following requirements.

Requirements:

1. Meter bases shall not be used as junction boxes.
2. Meter bases shall be selected from the Hyrum City Power Department list of acceptable meter bases.
3. A main disconnect is required when more than six services are connected. If an existing installation expands beyond six services, a main disconnect shall be installed.

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4. NEC-approved load calculations are required when the sum of distribution section ampacities exceeds the pulling section ampacities. (See NEC Article 220, Branch-Circuit, Feeder, and Service Calculations.)
5. The cable pulling section must be appropriately sized for service termination.
6. Each service shall have a lockable and easily accessible disconnect in sight of the meter base location. If the disconnect is not in sight of the meter base, a label shall be placed at the meter base location indicating the location of the disconnect.
7. All required labels shall be correctly installed before the service is energized. Labels shall:
 - a. be permanently affixed to the equipment
 - b. be of sufficient durability to withstand the local environment. Engraved metal or hard plastic labels are required.
 - c. not be attached to removable covers
8. Each metered service and associated breaker shall be labeled to identify the dwelling unit address. Service will not be connected until permanent labels are attached.
9. It is the responsibility of the customer to ensure the meter bases are correctly labeled. These labels shall be kept current for the life of the facility.
10. A minimum vertical clearance of at least 66" from the center of the lowest meter to the final grade is required. However, a minimum vertical clearance of 36" to the center of the lowest meter is acceptable if a minimum 36" wide, flat, permanent surface (such as a concrete pad or walkway) below the meter is provided at the final grade and extends at least 18" on either side of the meter cabinet.
11. All unused openings shall be covered and secured by the customer.
12. Meters and metering equipment shall be located outdoors.
13. Panel covers must be secured in place prior to service equipment being energized.

7.9 COMMERCIAL, INDUSTRIAL, AGRICULTURAL SERVICES (ALL NON-RESIDENTIAL SERVICES)

This section provides the Hyrum City Power requirements for non-residential services. These services may be single-phase or three-phase, direct-connect or current transformer (CT) metered. Single-phase service up to 400 amps (A) and three-phase services up to 200 A can use direct-connect metering. CT metering equipment is required for single-phase service greater than 400 A and three-phase services greater than 200 A.

Non-residential customers should be sure to communicate with Hyrum City Power before purchasing and installing equipment.

The "General Requirements" in section 7.9.1 apply to all single-phase, three-phase, direct-connect, and CT metered commercial, industrial, and agricultural services. The subsequent sections provide additional requirements for direct-connect metering and CT

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metering, including multiple direct-connect meters, combination direct-connect and CT metering, and CT metering using switchboard (switchgear) equipment.

7.9.1 GENERAL REQUIREMENTS

1. All meter base enclosures shall be ring-type.
2. Acceptable meter bases are those manufactured in accordance with current EUSERC, ANSI-C12, and UL/ANS 1-414 requirements.
3. A main disconnect is required when more than six services are connected. If an existing installation expands beyond six services, a main disconnect shall be installed.
4. NEC-approved load calculations are required when the sum of distribution section ampacities exceeds the pulling section ampacities. (See NEC Article 220, Branch-Circuit, Feeder, and Service Calculations.)
5. Each service shall have a lockable and easily accessible disconnect in sight of the meter base location. If the disconnect is not in sight of the meter base, a label shall be placed at the meter base location indicating the location of the disconnect.
6. All required labels shall be correctly installed before the service is energized. Labels shall:
 - a. be permanently affixed to the equipment
 - b. be of sufficient durability to withstand the local environment. Engraved metal or hard plastic labels are required.
 - c. not be attached to removable covers.
 - d. be kept current for the life of the facility.
7. Each metered service and associated breaker shall be labeled to identify the unit address. Service will not be connected until permanent labels are attached.
8. A minimum vertical clearance of at least 48 inches (48") from the center of the lowest meter to the final grade is required. However, in installations of three or more ganged meters, a minimum vertical clearance of 36 inches (36") to the center of the lowest meter is acceptable if a minimum 36 inches (36") wide, flat, permanent surface (such as a concrete pad or walkway) below the meter is provided at the final grade and extends at least 18 inches (18") on either side of the meter cabinet.
9. On overhead services, the customer must furnish all lugs and connect conductors to the line- side terminals. The customer is responsible for bringing the service entrance conductor to the connection of the utility service drop.

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10. Cable termination connectors should have two bolts per connector. When mechanical lugs are used, two setscrews per conductor should be used where feasible.
11. All unused openings shall be covered and secured by the customer.
12. Meters and metering equipment shall be located outdoors.

7.9.2 DIRECT-CONNECT METERING, SINGLE INSTALLATIONS

The required types of direct-connect meter bases for commercial, industrial, and agricultural services are listed in Table 5. Typical direct connect meter bases and typical service connections are illustrated in the figures in this section.

Direct-connect meter bases serving continuous duty motors are limited to 60 hp or less at 120/208V or 120/240 V three-phase, and 125 hp or less at 277/480V, three-phase.

Three-phase 200-amp meter bases shall have a lever by-pass

Table 5. Direct-connect Meter Base Requirements

Direct-connect Service Type	Amperage	Meter Base Requirement	Figure
Single-phase	200 A max.	EUSERC 305	Figure 1
Single-phase, Overhead Only	201-400 A	EUSERC 302B	Figure 3
Single-phase, Overhead and Underground	201-400 A	na	Figure 3
Network	200 A max.	EUSERC 305	
Three-phase	200 A max.	Lever By-Pass	Figure 2

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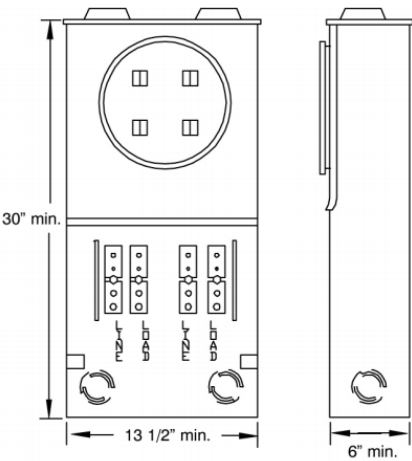


Figure 1 EUSERC 305 Single Phase



Figure 2 200-A Three-phase with Lever By-Pass

400 Amp Max



Figure 3 EUSERC 302B

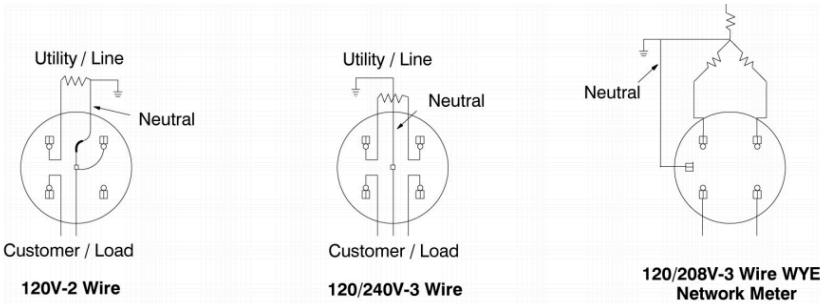


Figure 4 Typical Single-phase Service Connections (Meter Base Front View)

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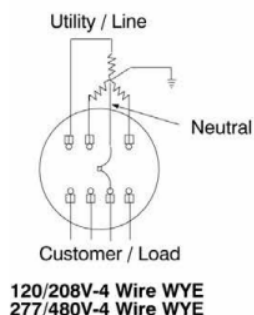


Figure 5 Typical Three-phase Service Connection (Meter Base Front View)

7.9.2.1 UNDERGROUND SERVICE METER PEDESTALS

Service meter pedestals meeting EUSERC 308 requirements can be used for non-residential underground service installations.

7.9.2.2 FREE-STANDING SERVICE METER INSTALLATIONS

Free-standing installations may be used for non-residential underground service or overhead service.

7.9.2.2.1 Underground Service

The installation requirements for direct connection, underground service, free-standing meters are listed below. These requirements are in addition to the general requirements in this section.

Requirements:

1. The customer shall consult Hyrum City Power to determine the location of the freestanding meter base.
2. The free-standing meter base shall meet all local ordinance requirements.
3. The meter base shall be protected from damage by use of barrier posts or other suitable protection approved by Hyrum City Power.
4. The customer shall furnish, install and maintain approved steel or wood post(s). If a wood post is used, it shall be no less than 6"x 6" (nominal) and pressure-treated with an American Wood Preservative Association approved preservative.

The typical meter installations for a free-standing installation using steel posts is shown on drawing A.11

7.9.2.2.2 Overhead Service

Free-standing installations may be used for non-residential overhead service. The installation requirements for direct connection, overhead service, free-standing meters are listed below. These requirements are in addition to the general requirements in this section.

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Requirements:

1. Wood poles shall be of sound timber. The pole or timber must be free of any defects that may weaken the wood, such as sucker knots and spike knots larger than 1/2 of any face. Cracks greater than 1/2 -inch wide are not permitted. No visible wood decay is allowed.
2. The pole height must provide required clearance for the Hyrum City Power's service drop and any other attachments. The customer shall install the meter base and service equipment on a wood pole no less than 25 feet long and 5-1/2 inches in diameter at the top, or a (nominal) 6"x 6" x 25' timber, set no less than 60 inches below ground level, with suitable backfill. The pole or timber shall be pressure- or thermally- treated with an approved preservative.
3. The pole or timber shall be easily accessible by Hyrum City Power power-lift aerial equipment.
4. In unstable soil, conductor lengths in Table 18 may be reduced; guying or bracing shall be required.
5. The conductor must be at least 24 inches (24") in length outside the weatherhead.

7.9.3 DIRECT-CONNECT METERING, MULTIPLE INSTALLATIONS

This section lists the requirements in addition to the general requirements for direct-connect, non-residential, single-phase and three-phase installations with more than one metered service.

Before being energized, the meter base shall be properly wired and grounded, and all necessary permits shall be in place. Ganged, modular, and switchboard styles of metering base equipment are approved for use.

Consult with Hyrum City Power regarding the design of the multiple metering services before purchasing and installing equipment.

Requirements:

1. Metering conductors shall not pass through adjacent metering compartments except in enclosed wireways.
2. A test bypass facility (TBF) with rigid insulating barriers shall be furnished, installed, and wired or bussed to the meter bases. TBF cover panels shall be sealable and fitted with a lifting handle.
3. A pull box section is required for two or more services and must meet EUSERC 343 and 343A requirements for the type and size of service. In addition:
 - a. Only Hyrum City Power conductors are allowed inside the pull box;

SECTION 7 General Requirements and Specifications for Electrical Installations

- b. The pull box shall be sealable, and will be sealed by Hyrum City Power;
 - c. Customer-owned devices shall not be installed in the pull box;
 - d. No taps are allowed inside the pull box; and,
 - e. The customer shall not terminate their grounding electrode conductor in the pull box or use the pull box as a junction point for the grounding or to ground the electrode conductors.
4. For ganged meters, where the face of a cabinet exceeds the depth of the adjacent meter cabinet, clearances shall be in accordance with NEC.
 5. For switchboard metering installations, the customer must provide a concrete pad for switchboard metering service sections and pull boxes.

7.9.4 CT METERING, UP TO 800 A

This section lists the requirements for CT metered services rated up to 480 V and 800 A.

Table 6 identifies customer-provided material for CT metering. Hyrum City Power will provide and install the meter, a meter test switch, current transformers, and secondary metering wiring. Hyrum City Power will provide the CT cabinet and CT mounting base, paid for by the customer.

The customer shall make connections of service wire in the CT cabinet.

Table 6 Customer Provided Material for CT-Metering

Customer Provides	See for More Information	Requirements/Application Notes
Conduit	Section 7.9.4.3	The conduit between the meter base enclosure and the CT cabinet, see Section 7.9.4.3.
Connectors/Terminators		Connectors for the load-side conductors to CT mounting base, as well as overhead service.
Disconnect		Downstream of CT cabinet rated for the load
Bonding	Section 7.9.4.4	Bonding per Section 7.9.4.4 for all meter and CT enclosures.

7.9.4.1 CT CABINET

The CT cabinet consists of two parts: the enclosure and the mounting base for the current transformers. The cabinet is exclusively for Hyrum City Power metering equipment.

Requirements:

SECTION 7 General Requirements and Specifications for Electrical Installations

1. Only equipment associated with Hyrum City Power metering shall be permitted in the CT cabinet.
2. The door shall have factory-installed hinges for side opening and shall be sealable.
3. The door shall be equipped with a device to hold it in the open position at 90° or more.
4. The top of the CT mounting base shall not be more than 72 inches (72") above the finished grade.
5. The customer's service entrance conduits must exit the cabinet on the load side of the CT.
6. Customer conductors are not permitted in the Hyrum City Power termination space.
7. The customer shall not terminate their principal (main) grounding electrode conductor in the CT cabinet or use it as a junction point for grounding or grounding electrode conductors.
8. For multiple metered circuits, a separate termination pull box must be provided for the Hyrum City Power service lateral. The CT cabinet shall not be used as a load distribution center.

Table 7 CT Cabinet Requirements

Type of Service	EUSERC # for CT Cabinets	Minimum Cabinet Dimensions			EUSERC # for CT Mounting Base
		Width	Height	Depth	
Single-phase, 401-800 A	316, 317	24"	48"	11"	328A
Three-phase, 201-800 A	316, 318	36"	48"	11"	329A

Notes:

1. Where both line and load conductors enter or exit from the top or bottom of the cabinet a larger cabinet is required.
 - a. The dimension of the cabinet shall be 48"W x 48"H x 14"D. (These dimensions are greater than EUSERC316and 318 minimums.)
 - b. The cabinet shall have two sealable, hinged doors with handles.
2. The door shall have factory-installed hinges for side opening and shall be sealable.

Meter Base Location:

SECTION 7 General Requirements and Specifications for Electrical Installations

1. For single-hinged CT cabinets the meter base shall be located opposite the hinged side, and not above or below the cabinet.
2. For dual-hinged CT cabinets, the meter base can be mounted on either side of the cabinet but not above or below it.

7.9.4.2 CT MOUNTING BASE AND CABLE TERMINATION

CT mounting bases are provided and installed by the customer.

Requirements:

1. The CT mounting base shall meet the ratings for the available fault current at the location installed (50,000 A minimum).
2. For existing four-wire delta services, the high (power) leg conductor must be identified by orange marking and located on the right-hand bus position. The bus shall also be marked and readily identified.
3. The mounting base shall accept bar-type current transformers only.
4. No alteration of the mounting base is allowed.
5. Line and load-side cable terminations on EUSERC 328A or 329A CT landing pads require two bolts per connector.
6. Cable termination can only be made on the manufacturer-supplied studs of the transformer mounting base.

7.9.4.3 CT METERING CONDUIT

The customer must provide conduit between the meter base and the CT cabinet. When installing conduit, the following requirements shall be met:

Requirements for a meter within 12" of a CT cabinet:

1. Conduit shall be one-inch (1") IMC or greater.
2. Proper fittings and bushings shall protect metering conductors.

Requirements for a meter greater than 12" and up to 50' from the CT cabinet:

1. The meter base must be visible from the CT cabinet.
2. Conduit runs must be less than 50 feet (50').
3. Conduit shall be 1-1/4 " IMC or greater.
4. Conduit runs may not have more than three bends totaling 270°. No single bend greater than 90° is allowed.
5. Removable conduit fittings shall have sealing provisions.

SECTION 7 General Requirements and Specifications for Electrical Installations

6. LB connectors are not allowed between the CT cabinet and the meter base.

7.9.4.4 CT CABINET BONDING

The CT cabinet must be properly bonded and grounded per the NEC. Figure 6 illustrates one acceptable solution.

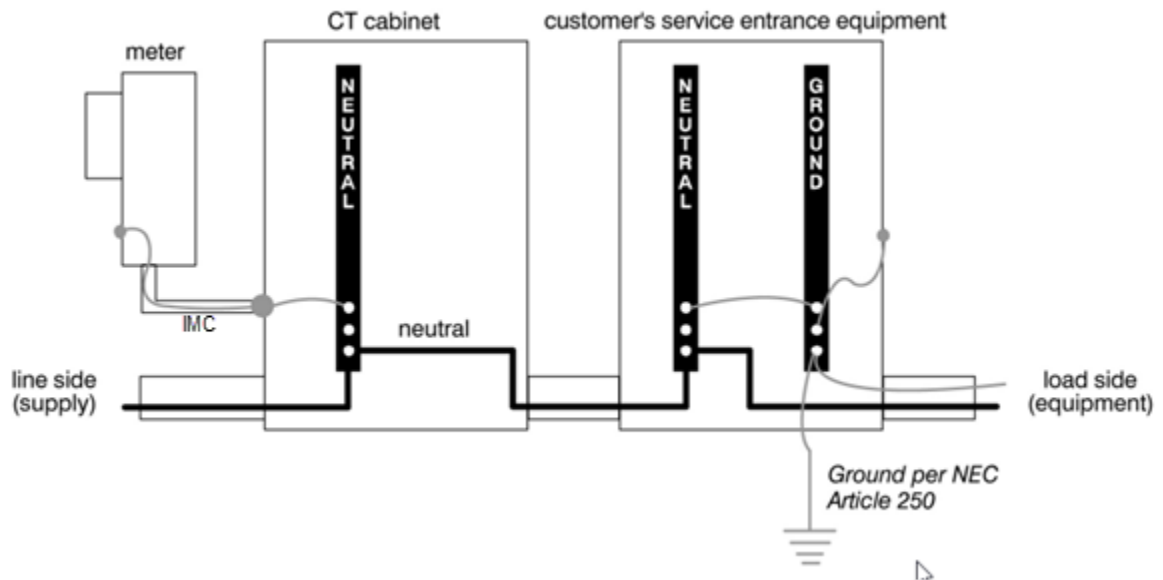


Figure 6 CT Cabinet Bonding, Example

7.9.4.5 CT METERING, FREE STANDING

This section lists the requirements in addition to the general requirements in this section for free-standing CT metering installations on posts. Free-standing installations are owned by the customer. Installation requirements for service to free-standing installations are listed below.

Requirements:

1. The customer shall consult Hyrum City Power to determine the location of the freestanding meter installation.
2. The free-standing meter base shall meet all city ordinance requirements.
3. The meter base shall be protected from damage by use of barrier posts or other suitable protection approved prior to installation by Hyrum City Power.
4. The CT cabinet must be properly supported with a minimum of two three-inch (3") steel posts with installed caps, or two wood post no less than 6" x 6" (nominal) and pressure- treated with an American Wood Preservative Association approved

SECTION 7 General Requirements and Specifications for Electrical Installations

preservative. When equipment is less than 72 inches (72") apart, it shall be bonded according to the NESC.

5. The customer shall furnish, install and maintain posts, hardware, conduit, fittings, and concrete pads sufficient to support the metering.

7.9.4.6 Combination Direct-Connect and CT Metering

Installations requiring both direct-connect and CT metering services shall meet the requirements of both types of services as described in the previous sections. An approved wall-mounted equipment installation is shown below. Switchboard combination units are also allowed. Refer to Section 9.5, Switchboard Metering up to 4000 A for requirements.

7.9.5 SWITCHBOARD METERING, UP TO 4000 A

This section lists the requirements in addition to the general requirements in this section for switchboard metered service installations. A EUSERC-approved switchboard metering section is required when the service entrance rating is greater than 800 A. Switchboard metering may also be used for three-phase services over 200 A or single-phase services over 400 A.

Consult with Hyrum City Power regarding the design of the switchboard metering services before purchasing and installing equipment.

Requirements:

1. The customer shall provide a drawing of the proposed service equipment, including EUSERC reference numbers and a mounting pad with dimensions, to Hyrum City Power for review and approval. Hyrum City Power approval must be obtained prior to fabrication.
2. The customer shall provide and install:
 - a. Switchboard enclosure with CT compartment
 - b. Meter base
 - c. Metering conduit-one-inch (1") minimum electrical non-metallic tubing (ENT) for the metering secondary conductors
 - d. Locking equipment for the meter enclosure
 - e. Concrete mounting pad for the switchboard enclosure
 - f. A flat permanent surface (such as a concrete pad) extending a minimum of 36 inches (36") out from the switchboard in front of the CT compartment
3. The metering CTs shall be located in the CT compartment.

SECTION 7 General Requirements and Specifications for Electrical Installations

4. The CT compartment shall have a hinged door.
5. For a single service, the meter and test switch shall be mounted remotely (outside the cabinet).
6. Installing two or more metering services requires mounting on the compartments' hinged meter panels.
7. The metering conduit in the switchboard section shall terminate in the CT compartment in front of the CTs.
8. The door shall be equipped with a device to hold it in the open position at 90° or more.
9. Lugs for terminating the customer's ground wire (or other grounding conductors) shall be located outside the sealable section and shall be designed to allow the customer's neutral system to be readily accessible.
10. All pull and termination sections shall have full front access.
11. All removable cover panels shall have two lifting handles and be limited to a maximum weight of 25 pounds.
12. The customer will terminate the line side service conductors on lug landings in the pull section.
13. Bus bars are required from the pull section for service above 800 amps. Termination lugs are required and shall meet EUSERC 347.
14. Any customer-owned locking equipment for the metering enclosure must allow independent access by Hyrum City Power.
15. Only Hyrum City Power service conductors are allowed inside the pull section.

Minimum dimensions for switchboard pull boxes (termination enclosures) are shown in Figure 7 and Table 8:

SECTION 7 General Requirements and Specifications for Electrical Installations

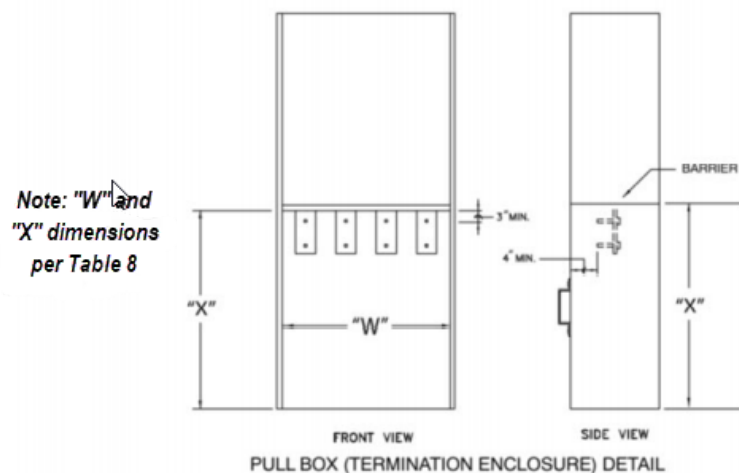


Figure 7 Switchboard Section with Termination Enclosure

Table 8 Minimum Dimensions for Switchboard Pull Box (Termination Enclosures)

Switchboard rating	Minimum Access Opening ("W")		Height Dimension ("X")	
	3-wire Service	4-wire Service	Min.	Max.
Below 400 A	Consult with Hyrum City Power			
400-800 A	24"	24"	42"	72"
801-1200 A	24"	30"		
1201-2000 A	30"	35"		
2001-3000 A	-	42"	60"	
3001-4000 A	-	44"		

7.10 STREETLIGHTS

7.10.1 SUBDIVISION POLE-TOP LUMINARIES

The customer shall install conduit and secondary junction boxes for streetlights according to the Hyrum City design. Hyrum City Power provides and installs streetlights at the customer's expense. The concrete base for the light pole will be installed by Hyrum City and paid for by the customer.

7.11 GENERATION INTERCONNECTION—SOLAR PV GENERATION

SECTION 7 General Requirements and Specifications for Electrical Installations

7.11.1 BUILDING PERMIT

Obtain building permit and complete plan submittal checklist from Hyrum City, 60 West Main Street, Hyrum, UT 84319, (435) 245-6033.

7.11.2 INFORMATION FOR INSTALLERS

Installers MUST be North American Board Certified Energy Practitioners (NABCEP) Certified. Installers must also provide proof of a Utah business license. Applications without these credentials will not be approved.

7.11.3 SOLAR INFORMATION CHECKLIST

Complete the Hyrum City Solar Information Checklist with supporting documents, and email them to the contact found at Hyrumcity.gov/publicworks/page/solar-energy

Once the Solar Information Checklist has been completed and approved by Hyrum City Power, a Plan Approval Letter will be sent back to the customer/contractor via email.

7.11.4 SOLAR PRODUCTION INTERCONNECTION FEES

Fees per current applicable fee schedule.

7.11.5 INSTALLATION OF SOLAR SYSTEM

Hyrum city is not responsible or liable for the functionality of the customer's system downstream of the utility point of connection (typically the overhead mast or underground conductor utility-side connection to the meter).

Please note the following Hyrum City requirements:

- Residential solar installations may be no larger than 10kW D/C.
- All metering and installation fees to be paid for by customer/contractor. Hyrum will not cover any costs associated with the installation or construction of the solar power system.
- Point of Interconnection must be labeled with a permanent, engraved label; mechanically fastened with rivets, screws, or bolts (no double-sided tape) which states "Solar Generation On Site" or equivalent.
- Point of interconnection must be made at the main service panel, on the customer side of the meter, and be connected using an appropriately rated, bidirectional circuit breaker. Note: Electrical services with outdated main service panels/meterbases may be required to be updated before a solar installation, to meet the latest NEC Code

SECTION 7 General Requirements and Specifications for Electrical Installations

- A separate safety disconnect must be installed between the solar system inverter and the Point of Interconnection. Disconnect switch must be located adjacent to the City's service meter location. The City will approve the location of each installation of the disconnect. This switch must be manually operated, lockable, and designed such that the actual contacts of the switch are visible to determine whether they are open or closed. Meter base circuit breakers do not satisfy this requirement, nor does a solar system's integrated inverter disconnect. The safety disconnect must be labeled as per requirements above, stating "Solar Power Disconnect" or equivalent.

Customer/Contractor is not permitted to connect panels to Hyrum's system until the utility meter has been reprogrammed to be bi-directional. If the system is connected before the new meter is installed, all excess kWh produced by the system will be seen by the existing meter as kWh consumed, not generated, resulting in an extra cost to the customer instead of a credit. These costs will not be credited back to the customer.

7.11.6 SPECIAL CASE—SOLAR SYSTEM WITH BATTERY STORAGE

Please note the following Hyrum City disclaimers and limits of liability for systems with battery storage:

- **Some solar systems with battery storage are designed with some or all of the customer's loads connected directly to the inverter. If the inverter fails or is out of service the customer will be all or partly out of power. Hyrum City is not responsible for restoring power in this situation. The customer will be responsible to repair the system to restore power.**
- **A disconnect switch at the point of interconnection is still required.**
- **Maximum energy exported must not exceed power rating of photovoltaic system.**
- **Charging the batteries from the grid (the Hyrum City power system) will be metered as additional load at a potentially increased cost to the customer (at the usual rate).**

7.11.7 INSPECTION

Once installation of the solar system is complete, and the home has been inspected and passed by the Cache County Building department, the customer/contractor shall provide the inspection report to Hyrum City (Braxton.wood@hyrumcity.gov) to proceed to a permit to operate.

SECTION 7 General Requirements and Specifications for Electrical Installations

7.11.8 PERMIT TO OPERATE THE INTERCONNECTION

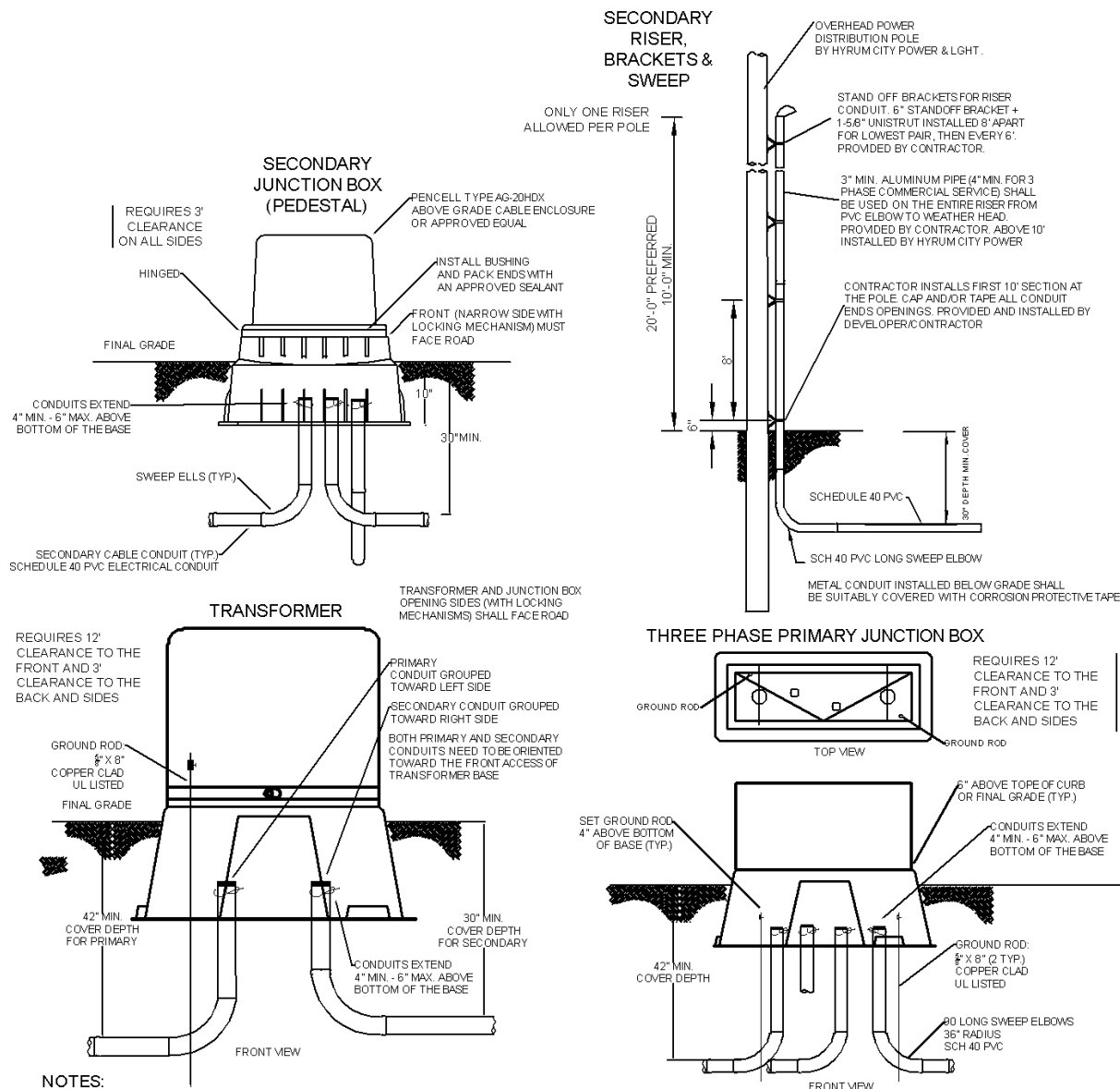
Once the Hyrum City Metering Department has the Cache County inspection report, they will perform a final inspection. Upon passing final inspection, Hyrum City will issue a permit to operate and reprogram the utility meter to bi-directional.

HYRUM CITY Power Department

SECTION 7

STANDARD DETAIL DRAWINGS

SECTION 7 General Requirements and Specifications for Electrical Installations

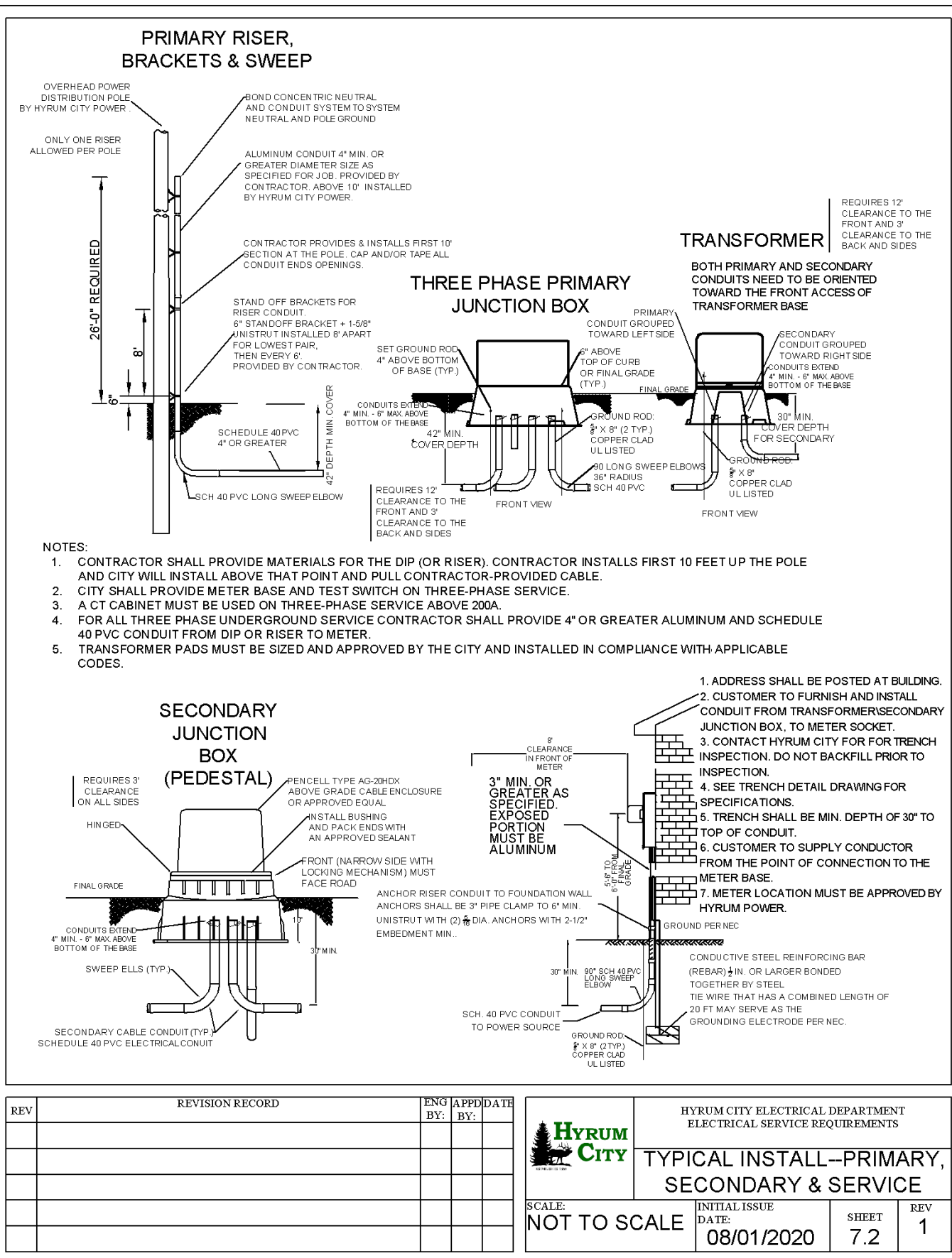
**NOTES:**

1. CONTRACTOR SHALL PROVIDE MATERIALS FOR THE DIP (OR RISER). CONTRACTOR INSTALLS FIRST 10 FEET UP THE POLE AND HYRUM CITY POWER WILL INSTALL ABOVE THAT POINT AND PULL CONTRACTOR-PROVIDED CABLE.
2. ON THREE-PHASE SERVICE CITY WILL PROVIDE METER BASE AND TEST SWITCH.
3. A CT CABINET MUST BE USED ON THREE-PHASE SERVICE ABOVE 200A.
4. FOR ALL THREE PHASE UNDERGROUND SERVICE CONTRACTOR SHALL PROVIDE 4" CONDUIT MINIMUM -- ALUMINUM ABOVE GROUND, SCH 40 PVC BELOW GROUND -- FROM DIP OR RISER TO METER.
5. TRANSFORMER PADS MUST BE SIZED AND APPROVED BY THE CITY AND INSTALLED IN COMPLIANCE WITH APPLICABLE CODES.
6. BACKFILL BENEATH ELECTRICAL EQUIPMENT SHALL BE LEVEL AND BACKFILLED WITH SAND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASHTO T-99.
7. EQUIPMENT SHALL HAVE A CLEAR & LEVEL WORKING SPACE A MINIMUM OF 12' IN ALL DIRECTIONS.
8. ALL COST TO INSTALL OR RELOCATE FACILITIES TO PROVIDE ELECTRICAL SERVICE SHALL BE PAID BY THE CUSTOMER.

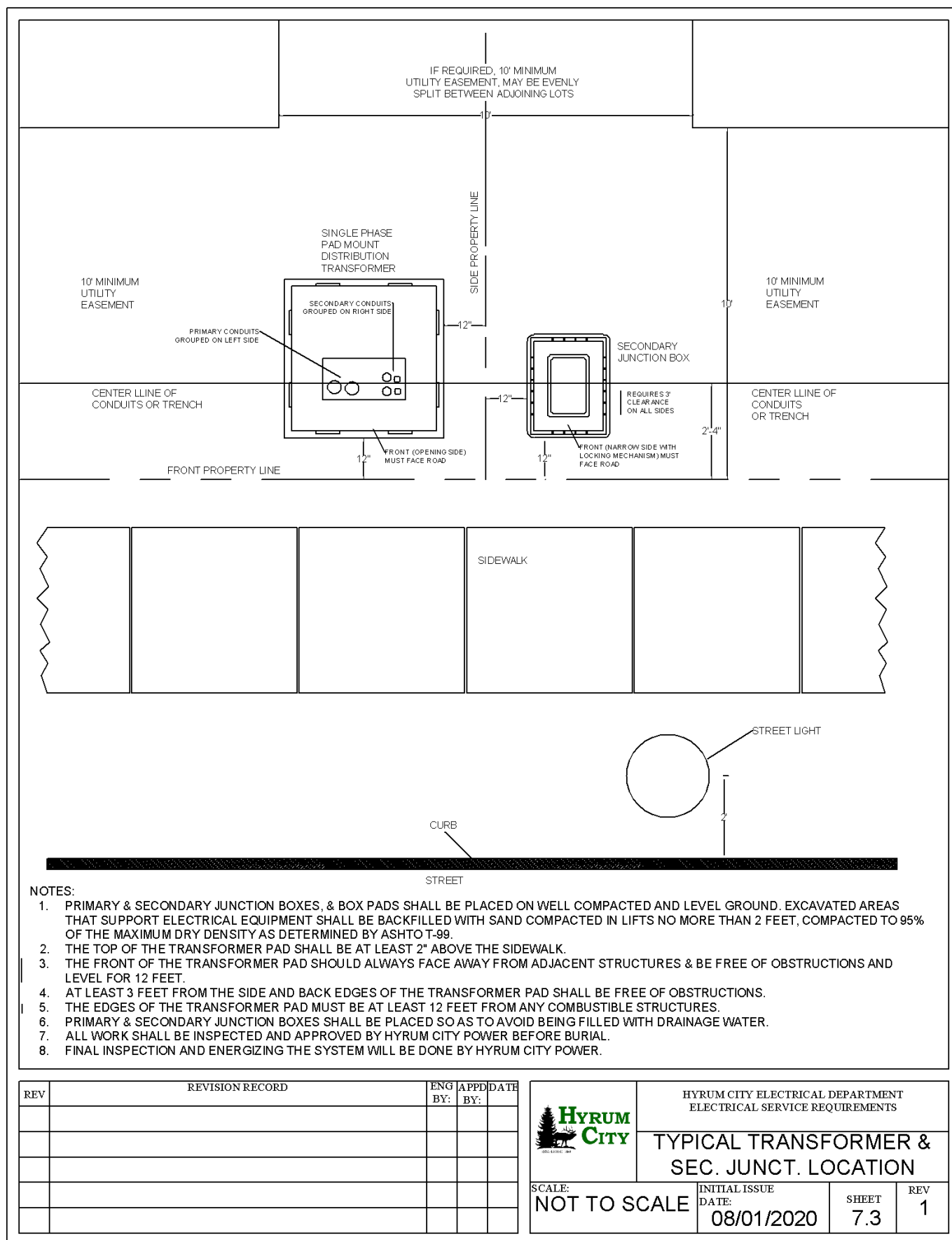
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HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		CONSTRUCTION QUICK REFERENCE	
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.1	REV 1

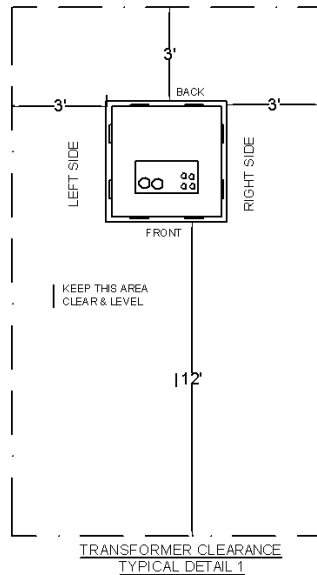
SECTION 7 General Requirements and Specifications for Electrical Installations



SECTION 7 General Requirements and Specifications for Electrical Installations

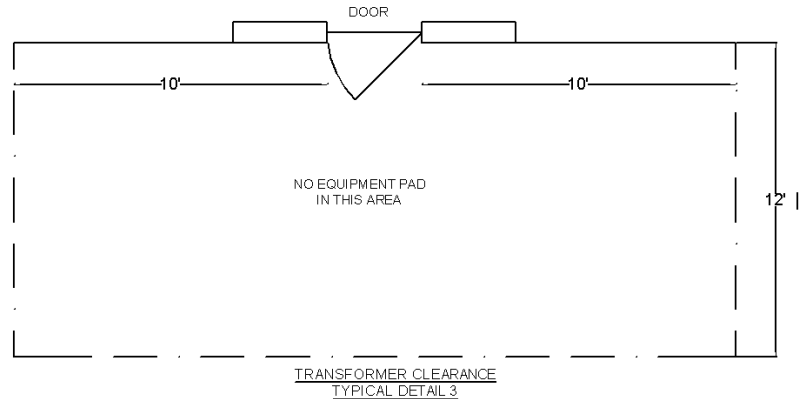
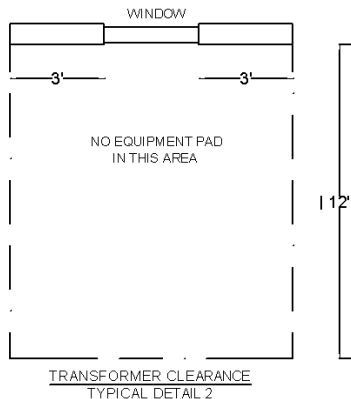


SECTION 7 General Requirements and Specifications for Electrical Installations



NOTE: A PREFABRICATED OR CONSTRUCTED-ON-SITE CONCRETE PAD SHALL BE USED FOR 100 KVA TRANSFORMER OR LARGER. CONTACT HYRUM CITY ELECTRICAL DEPARTMENT FOR REQUIRED EXACT DIMENSIONS AND APPROVAL.

1. DISTANCES ARE FROM THE EDGE OF THE EQUIPMENT PAD.
2. NO VEGETATION OVER 6" IN HEIGHT SHALL BE ALLOWED IN THE CLEAR AREA.
3. NO TRIP HAZARDS SHALL EXIST IN THE CLEAR AREA.



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HYRUM CITY ELECTRICAL DEPARTMENT
ELECTRICAL SERVICE REQUIREMENTS

TRANSFORMER CLEARANCE

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NOT TO SCALE

INITIAL ISSUE
DATE:
08/01/2020

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7.4

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STREET SIDE (FRONT VIEW)

TRANSFORMER

PRIMARY CONDUIT GROUPED TOWARD LEFT SIDE

SECONDARY CONDUIT GROUPED TOWARD RIGHT SIDE

CONDUITS EXTEND 4" MIN. - 8" MAX. ABOVE BOTTOM OF THE BASE

FINAL GRADE

42" MIN. COVER DEPTH FOR PRIMARY

30" MIN. COVER DEPTH FOR SECONDARY

GROUND ROD: 1/2" X 6" COPPER CLAD UL LISTED


REQUIRES 12' CLEARANCE TO THE FRONT AND 3' CLEARANCE TO THE BACK AND SIDES

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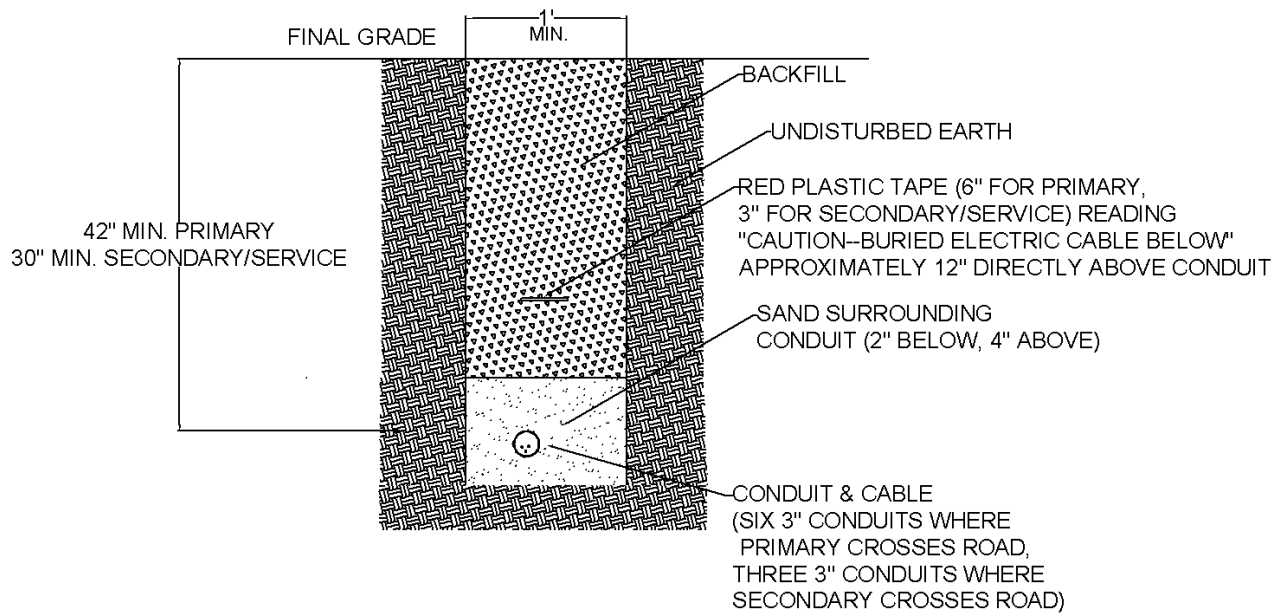
 HYRUM CITY <small>INCORPORATED 1910</small>	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TRANSFORMER & SERVICE JUNCT. BOX INSTALLATION		
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.5	REV 1



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	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS			
	SECONDARY JUNCTION BOX INSTALLATION			
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.6	REV 1	


SECTION 7 General Requirements and Specifications for Electrical Installations

TRENCH DETAIL

NOTES:

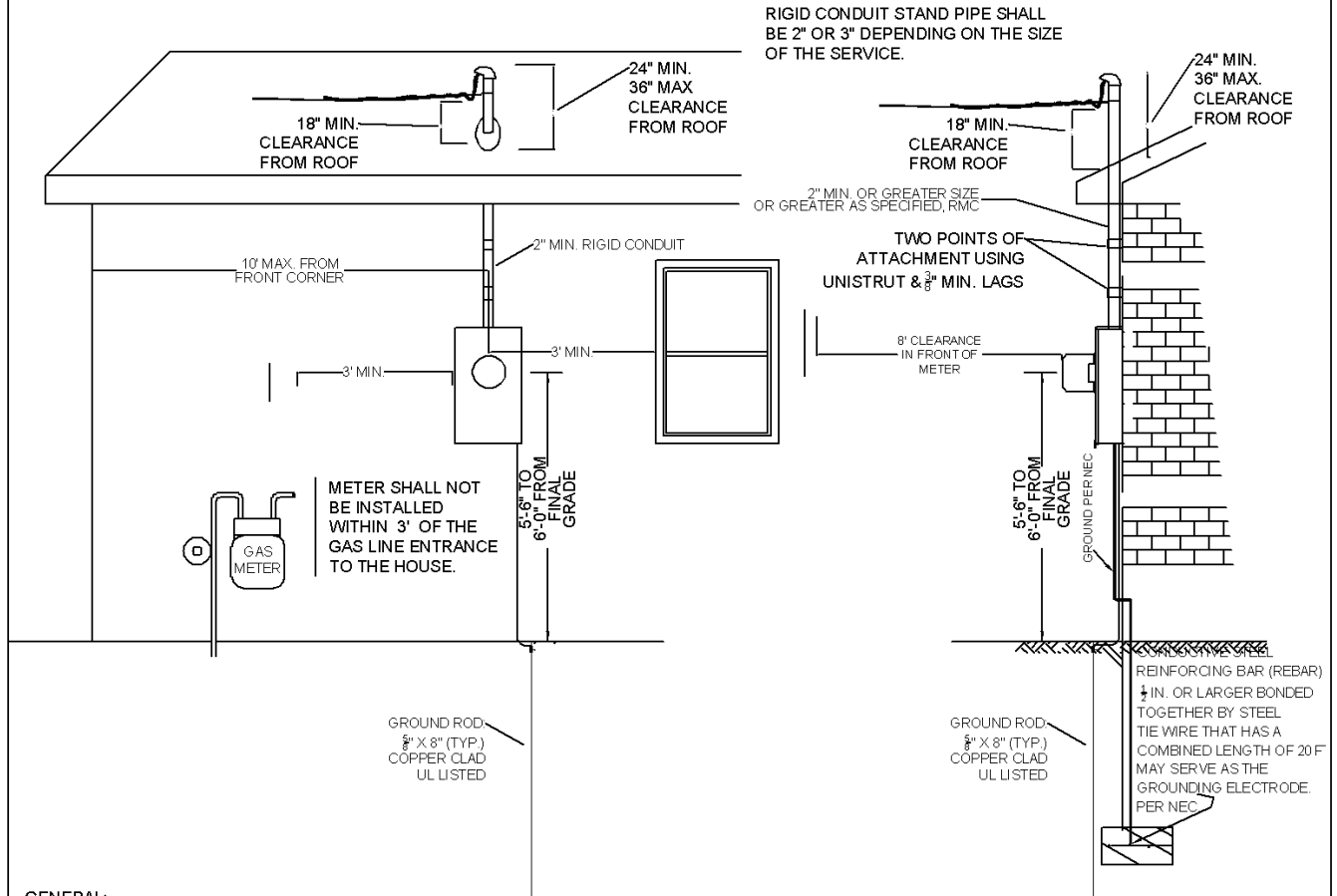
1. CURB & GUTTER SHALL BE INSTALLED BEFORE EXCAVATION OF ELECTRICAL TRENCHES.
2. A CERTIFIED JOURNEYMAN ELECTRICIAN OF LINEMAN SHALL BE ON SITE DURING ALL CONDUIT INSTALLATION.

REV	REVISION RECORD	ENG BY:	APP BY:	DATE

		HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS	
		TRENCH DETAIL	
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.7	REV 1

SECTION 7 General Requirements and Specifications for Electrical Installations

OVERHEAD RESIDENTIAL SERVICES

**GENERAL:**


NO OVERHEAD POWER WILL BE ALLOWED UNLESS REQUIRED OR APPROVED BY THE CITY. ALL NEW FACILITIES SHALL BE CONSTRUCTED UNDERGROUND UNLESS OTHERWISE AUTHORIZED BY THE CITY.

ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, INTERNATIONAL BUILDING CODE, ICC ELECTRICAL CODE AND THE NATIONAL ELECTRICAL SAFETY CODE EXCEPT WHERE THESE SPECIFICATIONS ARE MORE STRINGENT. IF THERE IS A CONFLICT BETWEEN STANDARDS THE MOST STRINGENT SHALL RULE. HYRUM CITY PROVIDES ALL SERVICE WIRE TO THE METER MAST ON OVERHEAD CONNECTIONS. THE CUSTOMER SHALL PROVIDE SERVICE WIRE FROM THE WEATHER HEAD TO THE METER BASE.

INSTALLATION:

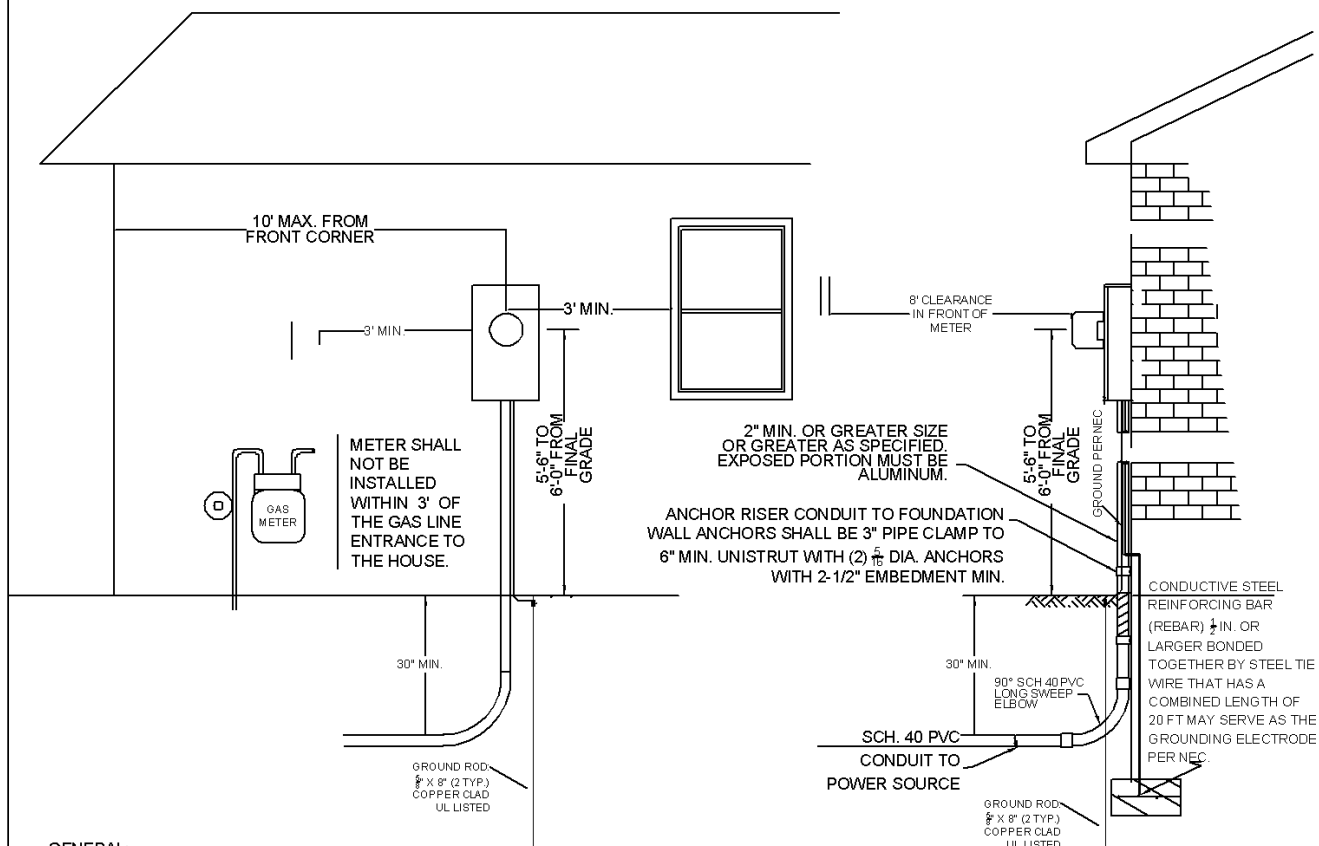
1. ADDRESS SHALL BE POSTED AT BUILDING.
2. CUSTOMER TO SUPPLY AND INSTALL CONDUCTOR FROM THE WEATHERHEAD TO THE METER BASE.
3. HYRUM CITY POWER PROVIDES SERVICE WIRE TO THE WEATHERHEAD FROM THE POWER SOURCE.

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		HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS	
		TYPICAL OVERHEAD RESIDENTIAL SERVICE	
SCALE: NOT TO SCALE		INITIAL ISSUE DATE: 08/01/2020	SHEET 7.8 REV 1

SECTION 7 General Requirements and Specifications for Electrical Installations

UNDERGROUND RESIDENTIAL SERVICES




GENERAL:
ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, INTERNATIONAL BUILDING CODE, ICC ELECTRICAL CODE AND THE NATIONAL ELECTRICAL SAFETY CODE EXCEPT WHERE THESE SPECIFICATIONS ARE MORE STRINGENT. IF THERE IS A CONFLICT BETWEEN STANDARDS THE MOST STRINGENT SHALL RULE. THE CUSTOMER SHALL PROVIDE ALL SECONDARY SERVICE WIRE FROM THE POINT OF CONNECTION TO THE METER BASE ON UNDERGROUND SERVICES. CUSTOMER SHALL PROVIDE CONDUIT IN PLACE. THE CITY'S ELECTRICAL DEPARTMENT WILL PULL THE SECONDARY SERVICE WIRE.

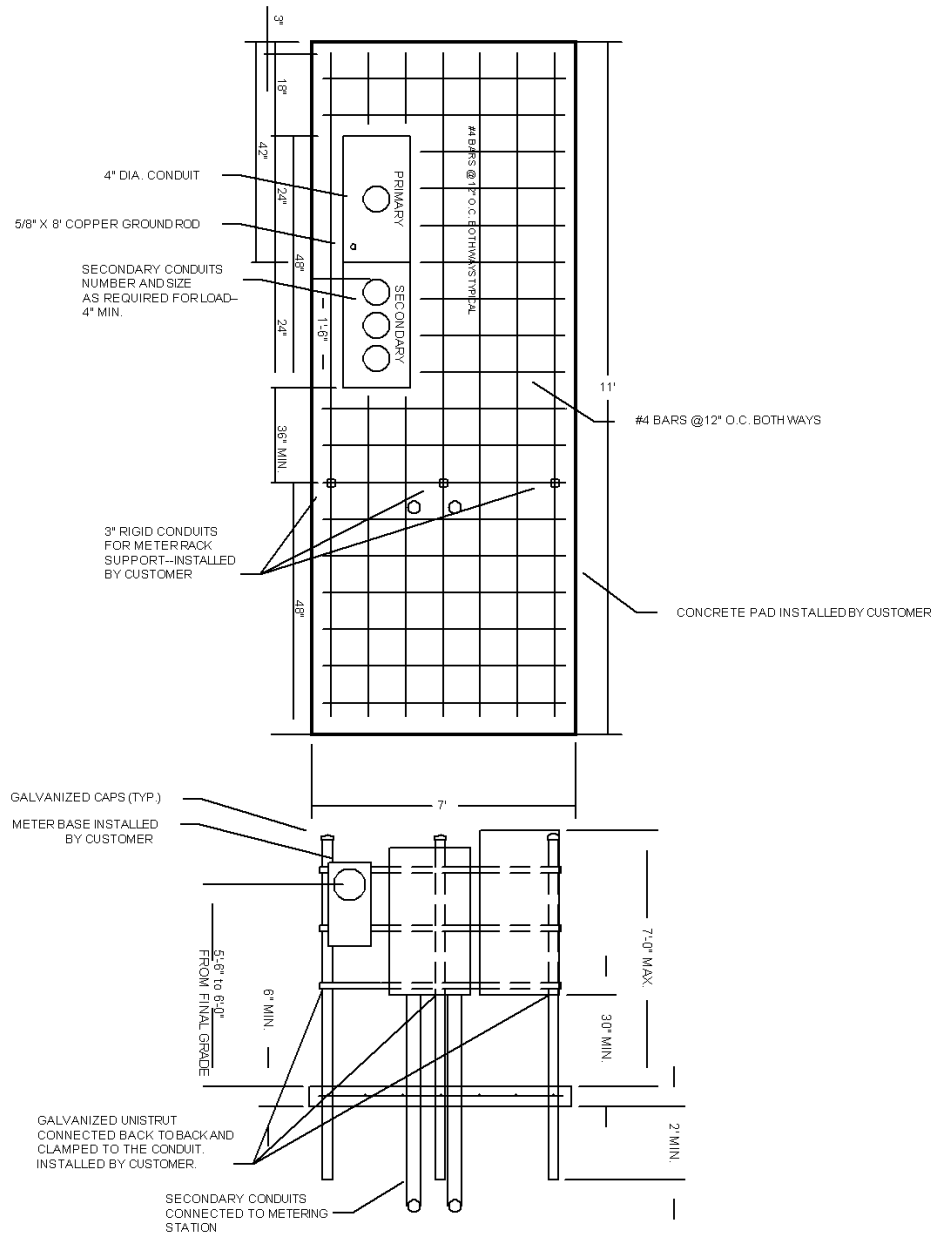
INSTALLATION:

1. ADDRESS SHALL BE POSTED AT BUILDING.
2. CUSTOMER TO FURNISH AND INSTALL CONDUIT FROM TRANSFORMER OR SECONDARY JUNCTION BOX, TO METER BASE.
3. CONTACT HYRUM CITY FOR TRENCH INSPECTION. DO NOT BACKFILL PRIOR TO INSPECTION.
4. SEE TRENCH DETAIL DRAWING FOR SPECIFICATIONS.
5. TRENCH SHALL BE MIN. DEPTH OF 30" TO TOP OF CONDUIT.
6. CUSTOMER TO SUPPLY CONDUCTOR FROM THE POINT OF CONNECTION TO THE METER BASE.
7. METER LOCATION MUST BE APPROVED BY HYRUM CITY POWER.
8. A CT CABINET MUST BE USED ON THREE-PHASE SERVICE ABOVE 200 A.
9. FOR ALL THREE-PHASE UNDERGROUND SERVICE, CONTRACTOR SHALL PROVIDE 4" IMC (MINIMUM) FROM DIP OR RISER TO METER.

REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

		HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS	
		TYPICAL UNDERGROUND RESIDENTIAL SERVICE	
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 11/16/2023	SHEET 7.9	REV 3

SECTION 7 General Requirements and Specifications for Electrical Installations

THREE PHASE TRANSFORMER PAD
WITH METERING STATION

NOTES:

1. SECONDARY CONDUIT NUMBER AND SIZE SHALL BE INSTALLED AS REQUIRED FOR LOAD.
2. CUSTOMER SHALL MAKE SECONDARY/SERVICE WIRE CONNECTIONS IN TRANSFORMER AND METERING STATION.
3. HYRUM CITY POWER WILL PERFORM CT METER WIRING.
4. TRANSFORMER PAD AND METERING STATION SITE SHALL BE LEVEL AND BACKFILLED WITH SAND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASHTO T-99.
5. TRANSFORMERS SHALL HAVE 12' CLEARANCE TO THE FRONT AND 3 FEET CLEARANCE TO THE BACK AND EITHER SIDE, THAT IS CLEAR AND LEVEL. TRANSFORMERS SHALL BE AT LEAST 12' FROM COMBUSTIBLE SURFACES OF BUILDINGS.
6. METERS, METERING CABINETS & ENCLOSURES, SERVICE DISCONNECT CABINETS & ENCLOSURES & CT CABINETS SHALL HAVE 8' MINIMUM CLEARANCES IN FRONT.


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HYRUM CITY ELECTRICAL DEPARTMENT
ELECTRICAL SERVICE REQUIREMENTSTYPICAL TRANSFORMER
PAD W/ METER STATIONSCALE:
NOT TO SCALEINITIAL ISSUE
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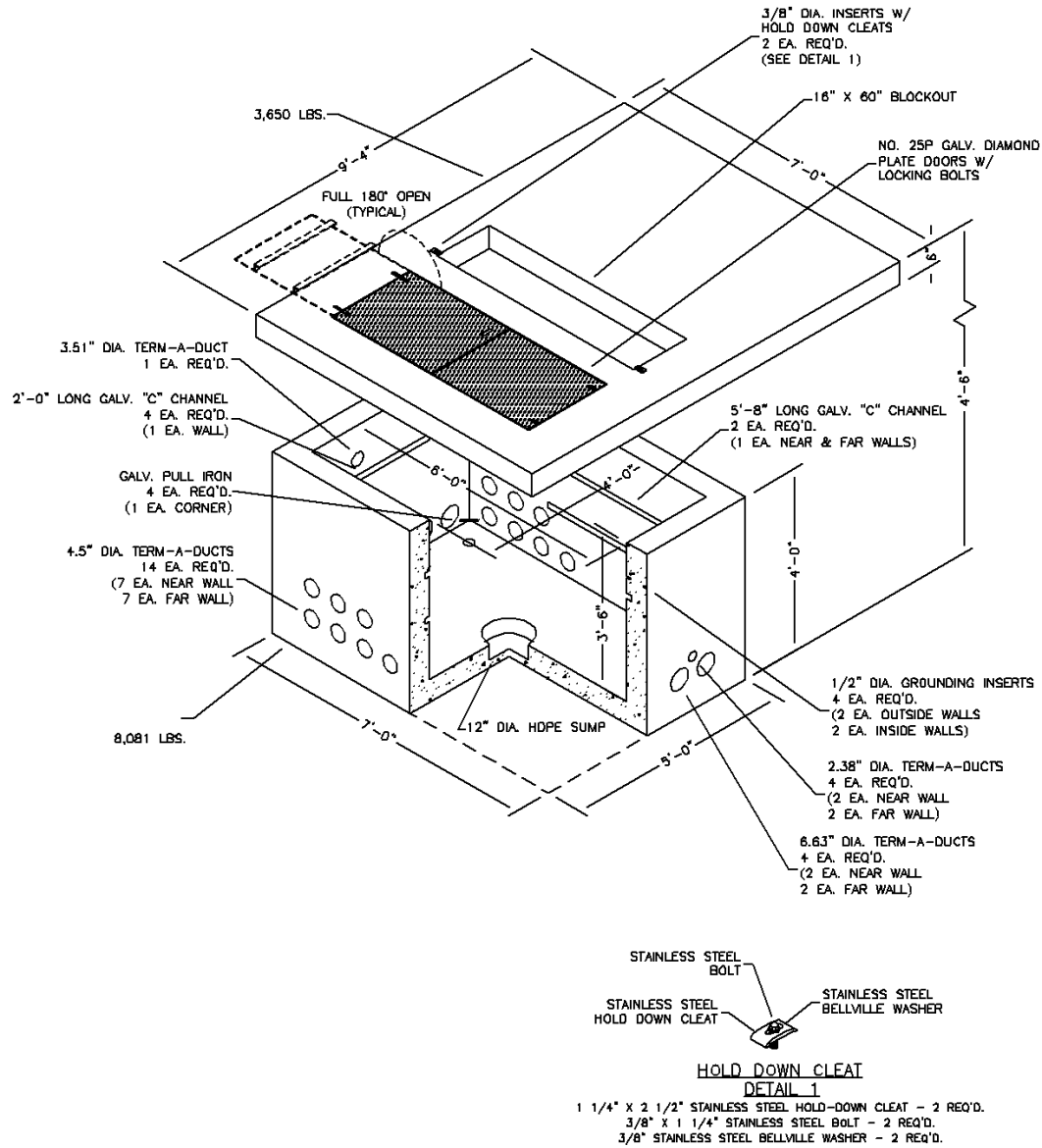
- NOTES:
1. SECONDARY CONDUIT NUMBER AND SIZE SHALL BE INSTALLED AS REQUIRED FOR LOAD.
 2. METERS, METERING CABINETS & ENCLOSURES, SERVICE DISCONNECT CABINETS & ENCLOSURES & CT CABINETS SHALL HAVE 8' MINIMUM CLEARANCES IN FRONT.

	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TYPICAL FREE STANDING METER SERVICE		
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.11	REV 1



SECTION 7 General Requirements and Specifications for Electrical Installations

Padvault for Three Phase Transformer
 OLDCASTLE PRECAST -- 4'x6' INTERIOR DIMENSION

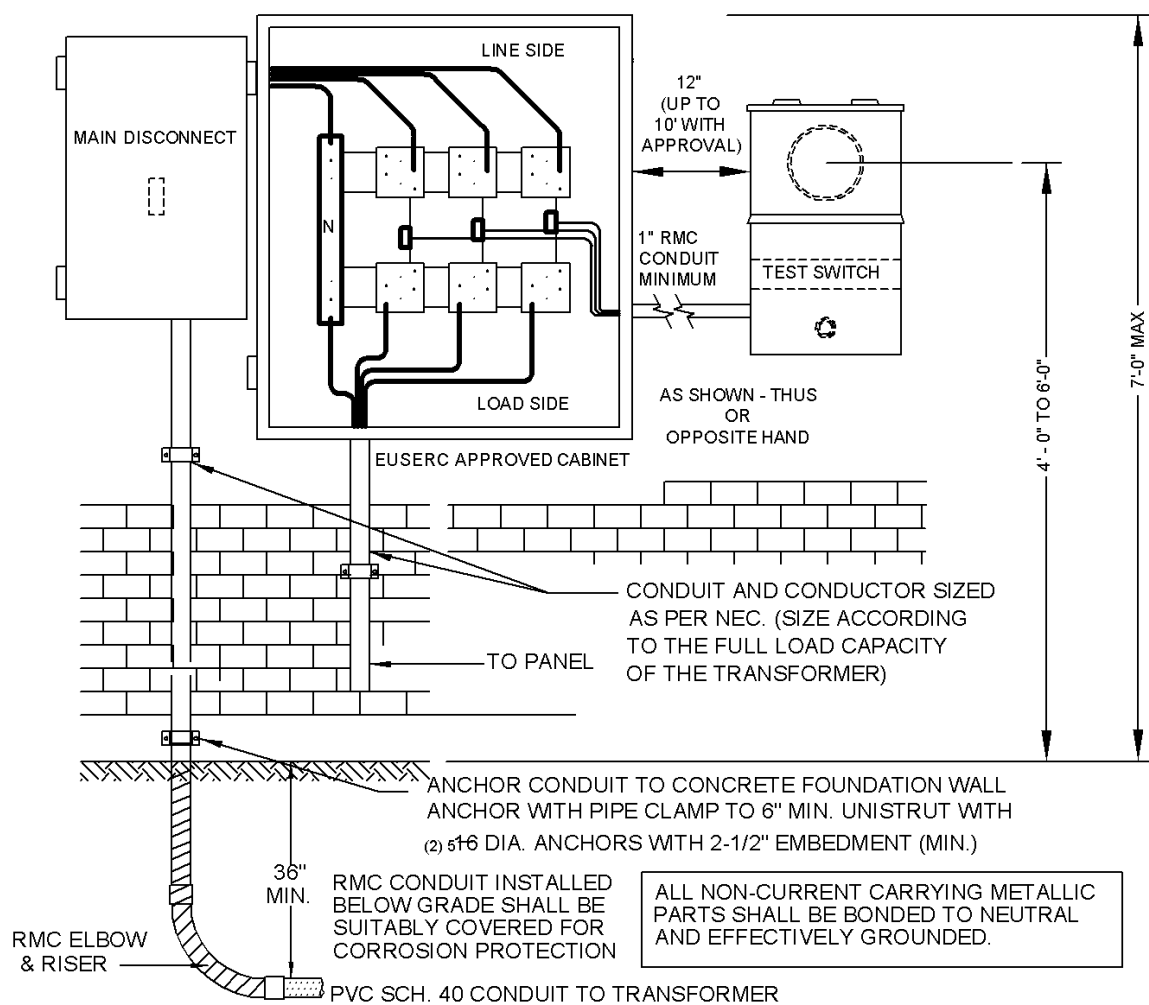
2.4 - 25KV, 3-PHASE TRANSFORMER PADVAULT WITH ACCESS



REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

		HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS	
		THREE PHASE TRANSFORMER PADVAULT	
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.12	REV 1


SECTION 7 General Requirements and Specifications for Electrical Installations



NOTES:

1. EUSERC APPROVED CT CABINET & METER BASE SHALL BE SEALABLE & LOCKABLE BY HYRUM CITY POWER.
2. MAIN SERVICE DISCONNECT IS REQUIRED OUTSIDE AT THE METER LOCATION
3. INSTALLATION LOCATION SHALL BE APPROVED BY HYRUM CITY POWER.
4. CONDUIT CLAMPS MUST BE ABOVE GROUND.
5. CONTRACTOR SHALL SUPPLY AND TERMINATE SECONDARY CONDUCTORS AT TRANSFORMER.
6. INSPECTION REQUIRED PRIOR TO BACK FILL OF TRENCH.
7. INSPECTION REQUIRED PRIOR TO PERMANENT POWER CONNECTION.
8. OWNER/BUILDER SHALL SUPPLY AND INSTALL PER NEC REQUIREMENTS AND MAINTAIN CONDUIT AND CONDUCTORS FROM THE CT ENCLOSURE TO THE POWER SOURCE SUPPLIED BY HYRUM CITY POWER.
9. METERS, METERING CABINETS & ENCLOSURES, SERVICE DISCONNECT CABINETS & ENCLOSURES & CT CABINETS SHALL HAVE 8' MINIMUM CLEARANCES IN FRONT.

REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

		HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS	
THREE PHASE CT METERING			
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 12/01/2020	SHEET 7.13	REV 1

RESOLUTION 25-11

A RESOLUTION AMENDING SECTION XVI.5. RETIREMENT AND SECTION XVI.6. CELL PHONE REIMBURSEMENT OF THE PERSONNEL POLICIES AND PROCEDURES MANUAL FOR HYRUM CITY CORPORATION TO PROVIDE A MAXIMUM OF 2.5% 401k MATCH FOR ALL BENEFITED EMPLOYEES, AND TO SET A STIPEND FOR CELL PHONE USE.

WHEREAS, on March 19, 1998, the Hyrum City Council adopted a personnel policy manual known as "Personnel Policies and Procedures Manual for Hyrum City Corporation" and on December 5, 2013 readopted the Personnel Policy Manual after major revisions were made; and

WHEREAS, said manual sets forth those policies pertaining to personnel conduct, conditions of employment, employment classification, work week, benefits, payroll, and related matters; and

WHEREAS, in order to enhance the recruitment and retention of new hires and to provide competitive employee benefits, Hyrum City's Mayor recommends providing a maximum of 2.5% (of employee's earned wages) retirement 401(k) match for all benefited employees; and

WHEREAS, to better define the City's cell phone benefit policy and to ensure fair and equitable reimbursement for position-related use, Hyrum City's Mayor recommends amending the current cell phone policy to include a tiered level reimbursement plan; and

WHEREAS, upon recommendation from Hyrum City's Mayor, the City Council has determined there is a need to amend Hyrum City's Personnel Policies and Procedures Manual.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Hyrum, Cache County, Utah, that Sections XVI.5. Retirement and XVI.6. City Cell Phones and Cell Phone Stipend Benefits of the "Personnel Policies and Procedures Manual for Hyrum City Corporation" are hereby amended to read as follows:

1. Section XVI.5. of the Hyrum City Personnel Policies and Procedures Manual is hereby amended as follows:

SECTION XVI BENEFITS.

5. RETIREMENT. SYSTEM

A. Hyrum City is a member of the Utah State Retirement System. Participation in the System is mandatory for all employees

who meet the eligibility requirements established by the Utah State Retirement System as defined in Title 49 of the Utah State Code. For details concerning the State Retirement System, benefits derived under the System, and retirement options, employees should contact the Human Resource Department, consult written literature describing the system, or contact the Utah State Retirement System directly.

- (1). Hyrum City shall contribute to the Utah Retirement System the required employer and employee defined benefit contributions for all employees defined as Tier I by the retirement system.
- (2) Hyrum City shall contribute to the Utah Retirement System the required employer amount for all employees defined as Tier II by the retirement system.
- (3) Employees in the following classifications are excluded from participation in the Utah Retirement system and are not otherwise eligible for benefits paid to Full-Time Appointed, Full-Time, and Part-Time with Benefits Employees:
 - (a) Part-Time Non-Benefited
 - (b) Temporary
 - (c) Seasonal
 - (d) Temporary Agency
 - (e) Volunteers
 - (f) Interns
 - (g) Independent Contractors
- (4) All Full-Time Appointed Officials are eligible for URS benefits.
- (5) All Full-Time and Part-Time with Benefits employees are eligible for URS benefits.
- (6) All other defined contribution plan provisions are governed by the applicable Utah Retirement System defined contribution plan and Title 49 of the Utah State Code.
- (7) The Utah State Retirement and Insurance Benefit Act states that employees of the City can purchase service credits towards their retirement. Hyrum City is permitted to participate in the purchase of these credits. If the City does participate in the

purchase of service credits it will do so in accordance with Utah code 49-13-408, 49-12-409, 49-22-309, 49-23-308 and without regard to race, religion, age, disability, gender, color, national origin, sexual orientation or gender identity.

- (8) Employees in the following positions are eligible to request exemption from the Utah State Retirement System under Utah State Law 49-13-203(4). Employee must file an Exemption Form with the Human Resource Director within the first 60 days of employment.
- (a) Mayor - Elected
 - (b) City Council Member - Elected
 - (c) Judge - Elected
 - (d) City Recorder - Appointed
 - (e) City Treasurer - Appointed
 - (f) Department Heads (Directors and Superintendents)

Exemption from Utah State Retirement System can only be made by the above employees if position meets the qualification for eligibility to participate in the URS. (Res. 19-06)

B. Hyrum City allows for employees to voluntarily enroll in the Utah State Retirement System Roth IRA, Traditional Roth, 401K or 457 plans.

- (1) Hyrum City shall provide a matching contribution to Appointed Full-Time, Full-Time, Part-Time with Benefits employee's 401(k) defined contribution plan with the Utah Retirement System as follows:
- (a) The matching contribution by Hyrum City for a given pay period shall be equal to two and one-half percent (2.5%) of the employee's earnings in that pay period or the amount of the eligible contribution made by the employee for that pay period, whichever is less.
 - (b) All matching contributions shall be based on an employee's earned wages but shall not include any other payments, or reimbursements.
 - (c) An employee drawing a pension from the Utah Retirement System is not eligible for a City contribution.

C. Hyrum City may also make other retirement related contributions as permitted and/or required by State or Federal law. (Res. 19-06)

5. RETIREMENT SYSTEM. ~~Additional details are available from the Mayor, or his/her designee.~~

~~**A.** All full time Hyrum City employees are covered by the Utah State Retirement Systems, unless otherwise authorized by the City Council according to State Law. A permanent part time with benefits employee employed in a position requiring at least twenty nine (29) hours of service per week is also covered.~~

~~**B.** The cost of this program is paid for by Hyrum City and the employee in the percentages set by action of the City Council.~~

~~**C.** Employees in the following positions are eligible to request exemption from the Utah State Retirement System under Utah State Law 49-13-203(4). Employee must file an Exemption Form with the Personnel Director within the first 60 days of employment. (1) Mayor—Elected (2) City Council Member—Elected (3) Judge—Elected Exemption from Utah State Retirement System can only be made by the above employees if position meets the qualification for eligibility to participate in the URS. (Res. 19-06)~~

2. Section XVI.6. of the Hyrum City Personnel Policies and Procedures Manual is hereby amended as follows:

SECTION XVI BENEFITS.

6. CITY CELL PHONES AND CELL PHONE STIPEND ~~**CELL—PHONE REIMBURSEMENT.**~~ Hyrum City recognizes that allowing and requiring certain personnel to use a cell phone is helpful to efficiently conduct City business.

A. City Cell Phones: Cell phones and plans may be provided to designated employees for business-related purposes and must not be used for personal use. The Mayor or City Administrator approves positions for this purpose.

(1) Employees who have a City Cell phone are responsible for any and all damage to city cell phone unless Mayor or City Administrator authorizes repair or replacement.

B. Cell Phone Stipend: Employees may receive compensation in the form of a cell phone stipend to cover costs for using a personal cell phone for city business.

C. Stipend Amount: The monthly cell phone stipend amount shall be allocated to individual employees based upon estimated time usage:

Level 1 \$25.00 - Business use represents 20% or less of the total cell phone use, including responding to phone calls and text messages as required during working hours, and access to internet data. This includes part time employees in animal control, community improvement, and other positions as approved by the Mayor or City Administrator.

Level 2 \$35 - Business represents 50% or less but more than 20% of total cell phone use, to include responding to phone calls, text messages, photos, emails during working hours and on-call hours, and be able to access internet data. This level is reserved for part-time employees who are directors, and all full time employees that are not listed in Level 3.

Level 3 \$85.00 - Business use represents greater than 50% of the total cell phone use and/or employees must have a cell phone for their position and must respond to email, text messages, phone calls during and after regular work hours, and be able to access internet data quickly. This level is reserved for full time employees who are superintendents, directors, elected, and appointed officials.

- D. Stipend Payment: The approved cell phone stipend will be paid monthly as part of the employee's paycheck and subject to all applicable payroll taxes. This stipend does not constitute an increase to base pay and will not be included in the calculation of percentage increases to base pay due to salary increases or promotions.
- E. Employee Responsibilities: Employees must retain an active cell phone contract as long as a stipend is in place. Their current phone number must be provided to their department and Human Resources. Should the cell phone number change, the employee must notify their department head and Human Resources within a reasonable amount of time. The employee is required to keep the phone charged and available for use during business hours and after hours for employees who are On-Call (this policy doesn't supersede On-Call requirements) if receiving the Level 1 or 2 stipends. Employees receiving the Level 3 stipend must keep the phone charged and available for use at all times and respond in a reasonable time frame if receiving the Level 3 stipend. Because the employee owns the cell phone personally, and the stipend provided is

taxable income, the employee may use the phone for both business and personal purposes. Personal use during business hours should be minimal and follow all applicable City policies. Any cell phone use contrary to federal, state, or local laws will constitute misuse and may result in immediate termination of the cell phone stipend.

~~A. When the job duties of an employee require the frequent use of a cell phone to conduct City business, the City Administrator may approve a city cell phone or authorize a monthly allowance for that employee to use his/her personal cell phone.~~

~~(1) Approved employees have a choice of a city cell phone (for city business only) or receive a monthly allowance for city business only to help defray costs related to their work as a City employee which are incurred under the employee's personal cell phone plan. Use of a city cell phone is restricted to city business only and will be monitored by the City Administrator.~~

~~(a) Any costs incurred in excess of the monthly allowance are the sole responsibility of the employee. Hyrum City will not give out personal cell phone numbers to the public but it will be listed on the personnel list.~~

~~(2) Employees who receive a city cell phone are responsible for:~~

~~(a) Maintenance of the equipment. Employees are responsible for any and all damage to city cell phone unless City Administrator authorizes repair or replacement.~~

~~(b) Ensuring that the phone is fully charged and operable during business hours, including bringing the phone with them each day they are at work.~~

~~(c) Keeping the phone calls and/or text messages at a minimal.~~

~~(d) All costs associated with personal phone calls and/or text messages.~~

~~(e) Employee is required to return the City cell phone upon separation of employment with Hyrum City.~~

~~(3) Employees who receive a cell phone allowance are responsible for:~~

~~(a) Purchase and maintenance of the equipment. Employees are responsible for any and all damage to cell phone unless City Administrator authorizes repair or replacement. (b)~~

~~Ensuring that the phone is fully charged and operable during business hours, including bringing the phone with them each day they are at work.~~

~~(c) Payment of bills and charges, including cost for any cosmetic or other extras associated with the phone and all voice, text, data and all other charges.~~

~~(d) Notifying the City immediately if the phone is out of service.~~

~~(e) Upon request of the city, and after a documentable incident, providing recent billing statements reflecting all calls conducted during work hours.~~

~~B. Use of the cell phone in any manner contrary to local, state or federal laws constitutes misuse and will result in immediate termination of the city cell phone or cell phone allowance and, depending on the severity of the offense, may result in disciplinary action.~~

This Resolution shall take effect July 1, 2025.

ADOPTED AND PASSED BY the City Council of Hyrum, Utah, this 1st day of May, 2025.

HYRUM CITY CORP.

Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

RESOLUTION 25-12

A RESOLUTION DECLARING CERTAIN HYRUM CITY EQUIPMENT AS SURPLUS AND ORDERING THE SALE OR DISPOSAL THEREOF.

WHEREAS, Hyrum City Corp. owns personal property for which it has no further use; and

WHEREAS, in accordance with State regulations, the City Council has determined to declare the 1999 Ford F-550 Bucket Truck VIN #1FDAF57S6XEC75856 as surplus and desires to dispose of it in the method as prescribed by current law; and

NOW THEREFORE, BE IT RESOLVED by the City Council of Hyrum City, Cache County, State of Utah, that the 1999 Ford F-550 Bucket Truck is hereby declared surplus property and that said property shall be listed and sold on KSL classifieds and/or Facebook Marketplace; however, the City shall have the right to accept or reject any or all offers, to establish minimum offer amounts, and to waive any informalities.

PASSED by the City Council of Hyrum City, Cache County, Utah, this 1st day of May, 2025.

HYRUM CITY CORP.

By: _____
Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

HYRUM CITY CORPORATION
COMBINED CASH INVESTMENT
MARCH 31, 2025

Section 11. Item C.

COMBINED CASH ACCOUNTS

01-1111000	GENERAL CHECKING ACCT	869,071.58
01-1112000	XPRESS DEPOSIT ACCOUNT	113,489.60
01-1113000	PAYROLL CHECKING ACCOUNT	250,755.63
01-1151000	UNDESIGNATED CASH - PTIF	621,355.15
01-1151100	BANK OF UTAH	2,979,513.47
01-1151500	CACHE VALLEY BANK SAVINGS	15,092,671.03
01-1151710	PTIF SWR DEBT SERVICE #4099	200,669.12
01-1151720	PTIF-SWR O&M RESERVE #4100	242,749.91
01-1175000	UTILITY CASH CLEARING	1,747.76

	TOTAL COMBINED CASH	20,372,023.25
01-1801110	DESIGNATED CASH - SENIOR	(17,975.65)
01-1801120	DESIGNATED CASH - MUSEUM	(5,678.97)
01-1801130	DESIGNATED CASH - FIRST RESP.	(6,050.41)
01-1801140	DESIGNATED CASH - FIRE DEPT	(244,126.60)
01-1801240	REST CASH-SEWER DEBT SERVICE	(172,981.20)
01-1801250	REST CASH-SEWER O&M RESERVE	(233,944.65)
01-1010000	CASH ALLOCATED TO OTHER FUNDS	(19,691,265.77)

	TOTAL UNALLOCATED CASH	.00
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CASH ALLOCATION RECONCILIATION

10	ALLOCATION TO GENERAL FUND	2,490,913.85
45	ALLOCATION TO CAPITAL PROJECTS FUND	200,643.70
51	ALLOCATION TO WATER UTILITY FUND	2,683,583.89
52	ALLOCATION TO SEWER UTILITY FUND	5,630,332.81
53	ALLOCATION TO ELECTRIC UTILITY FUND	6,309,409.00
54	ALLOCATION TO IRRIGATION UTILITY FUND	1,111,049.79
55	ALLOCATION TO STORMWATER FUND	1,308,618.69
72	ALLOCATION TO COURT TRUST FUND	(43,285.96)

	TOTAL ALLOCATIONS TO OTHER FUNDS	19,691,265.77
	ALLOCATION FROM COMBINED CASH FUND - 01-1010000	(19,691,265.77)

	ZERO PROOF IF ALLOCATIONS BALANCE	.00
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HYRUM CITY CORPORATION

BALANCE SHEET

MARCH 31, 2025

GENERAL FUND

ASSETS

10-1010000	CASH IN COMBINED FUND	2,490,913.85	
10-1131000	PETTY CASH	400.00	
10-1311000	ACCTS REC - UTILITIES	125,233.68	
10-1311001	ACCTS REC - PRIOR PERIOD	67,993.01	
10-1311400	ACCTS REC - PROPERTY TAXES	(12,196.00)	
10-1311410	LEVIED PROP TAXES RECEIVABLE	1,000,000.00	
10-1311500	ACCTS REC - CLASS C ROADS	42,481.00	
10-1311997	SALES AND USE TAX RECEIVABLE	508,821.00	
10-1311998	MASS TRANSIT RECEIVABLE	66,214.00	
10-1311999	FRANCHISE TAXES AR	47,510.00	
10-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(874.49)	
10-1561101	PPD EXPENSE - STAMPS	1,095.10	
10-1801110	DESIGNATED CASH - SENIOR	17,975.65	
10-1801120	DESIGNATED CASH - MUSEUM	5,678.97	
10-1801130	DESIGNATED CASH - FIRST RESP.	6,050.41	
10-1801140	DESIGNATED CASH - FIRE DEPT	244,126.60	
TOTAL ASSETS			4,611,422.78

LIABILITIES AND EQUITYLIABILITIES

10-2131000	ACCTS PAY - GENERAL	71,392.39	
10-2131110	ACCTS PAY - CONTRACTOR DEP	647,309.72	
10-2131130	ACCTS PAY - PARK DEPOSITS	1,395.00	
10-2131140	ACCTS PAY - DISPATCH	(752.75)	
10-2131150	ACCTS PAY - OTHER	8,975.15	
10-2131160	ZONING/SUBDIVISION DEPOSITS	245,386.27	
10-2210000	STATE WITHHOLDING PAYABLE	8,280.45	
10-2211000	ACCRUED PAYROLL PAYABLE	53,400.00	
10-2220000	INSURANCE - CITY PORTION	.67	
10-2220200	ULGT INSURANCE - CITY PORTION	.90	
10-2222000	DISABILITY INSURANCE PAYABLE	.23	
10-2223000	CREDIT UNION PAYABLE	(44.66)	
10-2224000	WORKER'S COMPENSATION PAYABLE	(14,676.34)	
10-2226000	INSURANCE - EMPLOYEE PORTION	.10	
10-2227000	TRUST INSURANCE-EMPLOYEE	.15	
10-2231000	STATE RETIREMENT PAYABLE	44.66	
10-2240000	UNEARNED PROPERTY TAXES	1,000,000.00	
10-2411050	STATE ASSESSMENT PAYABLE	(550.10)	
10-2411105	NON-UTILITY SALES TAX	(169.67)	
TOTAL LIABILITIES			2,019,992.17

FUND EQUITY

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

GENERAL FUND

UNAPPROPRIATED FUND BALANCE:			
10-2951000	GEN FUND - PRIOR YR UNAPPROP	2,056,595.69	
10-2951060	GENERAL FUND - DESIGNATED	273,831.63	
	REVENUE OVER EXPENDITURES - YTD	261,003.29	
	BALANCE - CURRENT DATE	2,591,430.61	
	TOTAL FUND EQUITY		2,591,430.61
	TOTAL LIABILITIES AND EQUITY		4,611,422.78

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

Section 11. Item C.

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAXES</u>					
10-3110 GEN PROPERTY TAXES - CURRENT	3,678.88	796,674.12	1,000,000.00	203,325.88	79.7
10-3115 FEE IN LIEU	4,813.15	37,039.78	50,000.00	12,960.22	74.1
10-3120 GEN PROP TAXES - DELINQUENT	.93	4,327.06	15,000.00	10,672.94	28.9
10-3130 GENERAL SALES TAX	167,551.85	1,741,170.26	2,300,000.00	558,829.74	75.7
10-3140 FRANCHISE TAXES	614.96	24,083.27	55,000.00	30,916.73	43.8
10-3145 ENERGY SALES AND USE TAX	14,776.46	187,528.18	400,000.00	212,471.82	46.9
10-3150 MASS TRANSIT TAX	.00	165,174.02	350,000.00	184,825.98	47.2
10-3155 TRANSIENT ROOM TAX	300.39	757.76	.00	(757.76)	.0
TOTAL TAXES	191,736.62	2,956,754.45	4,170,000.00	1,213,245.55	70.9
<u>LICENSES AND PERMITS</u>					
10-3210 BUSINESS LICENSES	680.00	26,691.25	23,000.00	(3,691.25)	116.1
10-3221 BUILDING PERMITS	2,092.72	36,032.68	50,000.00	13,967.32	72.1
10-3225 ANIMAL LICENSES	680.00	9,737.00	11,000.00	1,263.00	88.5
TOTAL LICENSES AND PERMITS	3,452.72	72,460.93	84,000.00	11,539.07	86.3
<u>INTERGOVERNMENTAL REVENUES</u>					
10-3340 STATE - FEDERAL GRANTS	.00	84,535.00	750,000.00	665,465.00	11.3
10-3356 CLASS C ROAD ALLOTMENT	101,686.31	752,739.88	1,200,000.00	447,260.12	62.7
TOTAL INTERGOVERNMENTAL REVENUES	101,686.31	837,274.88	1,950,000.00	1,112,725.12	42.9
<u>CHARGES FOR SERVICES</u>					
10-3413 ZONING & SUBDIVISION FEES	1,030.00	54,713.87	50,000.00	(4,713.87)	109.4
10-3415 SALE OF MAPS & PUBLICATIONS	18.76	75.04	1,000.00	924.96	7.5
10-3422 SPECIAL PROTECTIVE SERVICES	103,387.50	125,189.32	165,000.00	39,810.68	75.9
10-3440 SOLID WASTE COLLECTION	95,902.55	840,227.70	1,100,000.00	259,772.30	76.4
10-3441 EMERGENCY MEDICAL SERVICES	17,333.86	154,718.22	210,000.00	55,281.78	73.7
10-3455 ANIMAL CONTROL FEES	.00	3.00	1,000.00	997.00	.3
10-3473 RECREATION REVENUES	4,865.50	11,946.00	20,000.00	8,054.00	59.7
10-3474 COMMUNITY PROGRESS REVENUES	.00	.00	2,000.00	2,000.00	.0
10-3475 YOUTH COUNCIL ACTIVITIES	1,000.00	3,474.35	3,000.00	(474.35)	115.8
10-3476 LIBRARY USE FEES	615.00	5,043.00	70,000.00	64,957.00	7.2
10-3477 ROAD IMPACT FEES	14,022.00	40,508.00	46,800.00	6,292.00	86.6
10-3479 PARK IMPACT FEES	26,604.00	119,718.00	177,400.00	57,682.00	67.5
10-3480 CEMETERY	5,200.00	76,490.00	80,000.00	3,510.00	95.6
10-3490 MISCELLANEOUS	97.48	167,316.69	100,000.00	(67,316.69)	167.3
TOTAL CHARGES FOR SERVICES	270,076.65	1,599,423.19	2,026,200.00	426,776.81	78.9

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

Section 11. Item C.

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>FINES AND FORFEITURES</u>					
10-3510 COURT FINES	10,115.04	80,721.28	100,000.00	19,278.72	80.7
10-3512 LIBRARY FINES	435.87	4,186.80	6,500.00	2,313.20	64.4
10-3513 PARKING TICKETS	95.00	715.00	950.00	235.00	75.3
TOTAL FINES AND FORFEITURES	10,645.91	85,623.08	107,450.00	21,826.92	79.7
<u>MISCELLANEOUS REVENUES</u>					
10-3610 INTEREST EARNINGS	8,424.20	65,828.51	148,800.00	82,971.49	44.2
10-3620 BUILDING & FACILITY RENTS	4,315.00	66,004.50	60,000.00	(6,004.50)	110.0
10-3622 LIBRARY ROOM RENTAL FEES	.00	130.00	100.00	(30.00)	130.0
10-3640 SALE OF FIXED ASSETS	14,500.00	46,500.00	35,000.00	(11,500.00)	132.9
10-3650 SALE OF MATERIAL & SUPPLIES	947.00	2,005.01	10,000.00	7,994.99	20.1
10-3651 SALE OF LIBRARY MAT'L & BOOKS	260.95	1,683.70	1,000.00	(683.70)	168.4
10-3652 LIBRARY COPY & LAMINATING FEES	190.25	1,738.75	2,000.00	261.25	86.9
TOTAL MISCELLANEOUS REVENUES	28,637.40	183,890.47	256,900.00	73,009.53	71.6
<u>CONTRIBUTIONS AND TRANSFERS</u>					
10-3870 CONTRIBUTIONS - PRIVATE	1,023.00	5,850.10	10,000.00	4,149.90	58.5
10-3871 CONTRIBUTIONS - SR. CIT. TRIPS	431.00	1,210.00	5,000.00	3,790.00	24.2
10-3872 CONTRIBUTIONS - NEW LIBRARY	.00	.00	2,000.00	2,000.00	.0
10-3874 DONATIONS - ELITE HALL	.00	.00	10,000.00	10,000.00	.0
10-3875 CONTRIBUTIONS - MUSEUM	2,700.00	35,363.00	10,000.00	(25,363.00)	353.6
10-3876 CONTRIBUTIONS - MISC.	5,852.00	7,753.27	7,000.00	(753.27)	110.8
10-3891 CONTRIBUTIONS - DESIGNATED GF	.00	.00	42,000.00	42,000.00	.0
10-3893 TRANS FM/TO GEN FUND UNAPPROP	.00	.00	1,097,820.00	1,097,820.00	.0
TOTAL CONTRIBUTIONS AND TRANSFERS	10,006.00	50,176.37	1,183,820.00	1,133,643.63	4.2
TOTAL FUND REVENUE	616,241.61	5,785,603.37	9,778,370.00	3,992,766.63	59.2

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

Section 11. Item C.

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CITY COUNCIL</u>					
10-4110-110 SALARY & WAGES	2,500.00	22,500.00	33,000.00	10,500.00	68.2
10-4110-130 EMPLOYEE BENEFITS	191.25	1,721.25	3,100.00	1,378.75	55.5
10-4110-230 TRAVEL & MEETINGS	.00	3,871.82	10,000.00	6,128.18	38.7
10-4110-510 INSURANCE	.00	532.16	550.00	17.84	96.8
10-4110-610 MISCELLANEOUS	.00	179.55	600.00	420.45	29.9
TOTAL CITY COUNCIL	2,691.25	28,804.78	47,250.00	18,445.22	61.0

<u>J. P. COURT</u>					
10-4120-110 SALARY & WAGES	5,050.84	40,090.85	85,500.00	45,409.15	46.9
10-4120-115 OVERTIME	.00	.00	100.00	100.00	.0
10-4120-130 EMPLOYEE BENEFITS	777.09	6,587.92	12,000.00	5,412.08	54.9
10-4120-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	1,147.71	700.00	(447.71)	164.0
10-4120-230 TRAVEL & TRAINING	.00	985.56	4,000.00	3,014.44	24.6
10-4120-240 OFFICE SUPPLIES & EXPENSE	220.71	614.71	1,500.00	885.29	41.0
10-4120-250 EQUIP SUPPLIES & MAINTENANCE	.00	522.56	2,400.00	1,877.44	21.8
10-4120-280 TELEPHONE	20.02	160.16	1,000.00	839.84	16.0
10-4120-310 ATTORNEY FEES	1,075.00	1,075.00	.00	(1,075.00)	.0
10-4120-510 INSURANCE	.00	1,063.44	1,050.00	(13.44)	101.3
10-4120-620 WITNESS, JURY & BALIFF FEES	1,467.50	8,721.50	14,000.00	5,278.50	62.3
TOTAL J. P. COURT	8,611.16	60,969.41	122,250.00	61,280.59	49.9

<u>MAYOR</u>					
10-4130-110 SALARY & WAGES	448.75	4,082.06	18,400.00	14,317.94	22.2
10-4130-130 EMPLOYEE BENEFITS	45.92	428.18	5,600.00	5,171.82	7.7
10-4130-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	350.00	500.00	150.00	70.0
10-4130-230 TRAVEL & MEETINGS	785.66	1,880.94	4,500.00	2,619.06	41.8
10-4130-240 OFFICE SUPPLIES & EXPENSE	.00	67.91	100.00	32.09	67.9
10-4130-280 TELEPHONE	2.50	22.50	50.00	27.50	45.0
10-4130-510 INSURANCE	.00	279.97	300.00	20.03	93.3
10-4130-610 MISCELLANEOUS	.00	54.76	600.00	545.24	9.1
TOTAL MAYOR	1,282.83	7,166.32	30,050.00	22,883.68	23.9

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	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ADMINISTRATION</u>					
10-4140-110 SALARY & WAGES	4,935.70	52,880.51	90,400.00	37,519.49	58.5
10-4140-115 OVERTIME	456.35	5,271.69	3,000.00	(2,271.69)	175.7
10-4140-130 EMPLOYEE BENEFITS	1,658.92	17,288.13	17,700.00	411.87	97.7
10-4140-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	555.00	1,000.00	445.00	55.5
10-4140-220 PUBLIC NOTICES	.00	551.25	1,000.00	448.75	55.1
10-4140-230 TRAVEL & TRAINING	318.90	3,079.57	2,500.00	(579.57)	123.2
10-4140-240 OFFICE SUPPLIES & EXPENSE	440.94	6,102.49	6,500.00	397.51	93.9
10-4140-250 EQUIP SUPPLIES & MAINTENANCE	358.35	3,606.75	6,500.00	2,893.25	55.5
10-4140-280 TELEPHONE	318.57	1,947.82	2,000.00	52.18	97.4
10-4140-285 INTERNET SERVICE	.00	.00	1,000.00	1,000.00	.0
10-4140-310 PROFESSIONAL SERVICES	3,668.32	41,575.74	60,000.00	18,424.26	69.3
10-4140-510 INSURANCE & BONDS	.00	2,363.39	2,350.00	(13.39)	100.6
10-4140-610 MISCELLANEOUS	634.38	1,432.57	500.00	(932.57)	286.5
TOTAL ADMINISTRATION	12,790.43	136,654.91	194,450.00	57,795.09	70.3
<u>NON DEPARTMENTAL</u>					
10-4150-210 MEMBERSHIPS	.00	6,239.99	6,000.00	(239.99)	104.0
10-4150-220 PUBLIC NOTICES	4,240.08	5,183.09	7,000.00	1,816.91	74.0
10-4150-310 PROFESSIONAL SERVICES	(3,604.25)	1,000.00	5,000.00	4,000.00	20.0
10-4150-510 INSURANCE & BONDS	.00	.00	200.00	200.00	.0
TOTAL NON DEPARTMENTAL	635.83	12,423.08	18,200.00	5,776.92	68.3
<u>GENERAL GOVERNMENT BUILDINGS</u>					
10-4160-110 SALARY & WAGES	891.80	9,428.56	35,200.00	25,771.44	26.8
10-4160-130 EMPLOYEE BENEFITS	68.21	1,227.68	17,700.00	16,472.32	6.9
10-4160-250 EQUIP SUPPLIES & MAINTENANCE	.00	82.24	2,000.00	1,917.76	4.1
10-4160-260 BLDG & GROUNDS SUP & MAINT	1,213.54	20,182.30	35,000.00	14,817.70	57.7
10-4160-270 UTILITIES	1,110.15	6,101.53	13,000.00	6,898.47	46.9
10-4160-310 CONTRACT SERVICES	295.80	2,238.93	6,000.00	3,761.07	37.3
10-4160-510 INSURANCE	.00	10,470.20	10,250.00	(220.20)	102.2
10-4160-610 MISCELLANEOUS	104.77	104.77	1,000.00	895.23	10.5
10-4160-620 MISCELLANEOUS SERVICES	480.00	2,780.00	1,500.00	(1,280.00)	185.3
10-4160-720 BUILDING IMPROVEMENTS	.00	84,728.81	294,000.00	209,271.19	28.8
TOTAL GENERAL GOVERNMENT BUILDINGS	4,164.27	137,345.02	415,650.00	278,304.98	33.0
<u>ELECTION</u>					
10-4170-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
TOTAL ELECTION	.00	.00	500.00	500.00	.0

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<u>PLANNING COMMISSION</u>					
10-4180-110 SALARY & WAGES	8,919.44	42,912.78	148,100.00	105,187.22	29.0
10-4180-115 OVERTIME	1,029.00	2,301.08	200.00	(2,101.08)	1150.5
10-4180-130 EMPLOYEE BENEFITS	4,382.57	15,697.42	70,100.00	54,402.58	22.4
10-4180-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	845.08	.00	(845.08)	.0
10-4180-220 PUBLIC NOTICES	.00	479.19	1,000.00	520.81	47.9
10-4180-230 TRAVEL & TRAINING	.00	1,225.96	2,500.00	1,274.04	49.0
10-4180-240 OFFICE SUPPLIES & EXPENSE	337.01	387.59	200.00	(187.59)	193.8
10-4180-250 EQUIPMENT SUPPLIES & MAINTENAN	199.50	4,336.95	1,800.00	(2,536.95)	240.9
10-4180-280 TELEPHONE	64.11	432.01	800.00	367.99	54.0
10-4180-310 PROFESSIONAL SERVICES	850.00	9,234.00	190,000.00	180,766.00	4.9
10-4180-510 INSURANCE	.00	878.66	900.00	21.34	97.6
10-4180-610 MISCELLANEOUS	.00	8.99	.00	(8.99)	.0
10-4180-740 EQUIPMENT	.00	7,862.00	.00	(7,862.00)	.0
TOTAL PLANNING COMMISSION	15,781.63	86,601.71	415,600.00	328,998.29	20.8
<u>LAW ENFORCEMENT</u>					
10-4210-310 CONTRACT SERVICES	.00	147,627.00	295,500.00	147,873.00	50.0
TOTAL LAW ENFORCEMENT	.00	147,627.00	295,500.00	147,873.00	50.0
<u>EMERGENCY MANAGMENT SERVICES</u>					
10-4212-110 SALARY & WAGES	.00	.00	5,900.00	5,900.00	.0
10-4212-130 EMPLOYEE BENEFITS	.00	.00	1,000.00	1,000.00	.0
10-4212-220 PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4212-230 TRAVEL & TRAINING	185.00	255.25	1,000.00	744.75	25.5
10-4212-240 OFFICE SUPPLIES & EXPENSE	.00	.00	200.00	200.00	.0
10-4212-250 EQUIP SUPPLIES & MAINTENANCE	.00	3,046.46	2,000.00	(1,046.46)	152.3
10-4212-310 PROFESSIONAL SERVICES	.00	177,802.09	190,000.00	12,197.91	93.6
10-4212-510 INSURANCE	.00	176.91	200.00	23.09	88.5
10-4212-610 MISCELLANEOUS	100.00	100.00	200.00	100.00	50.0
10-4212-740 EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
TOTAL EMERGENCY MANAGMENT SERVICE	285.00	181,380.71	205,600.00	24,219.29	88.2

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<u>FIRST RESPONDERS</u>					
10-4215-110 SALARY & WAGES	4,664.80	22,532.80	25,000.00	2,467.20	90.1
10-4215-130 EMPLOYEE BENEFITS	.00	1,367.47	2,700.00	1,332.53	50.7
10-4215-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	.00	200.00	200.00	.0
10-4215-230 TRAVEL & TRAINING	.00	7,273.29	10,800.00	3,526.71	67.4
10-4215-240 OFFICE SUPPLIES & EXPENSE	.00	.00	150.00	150.00	.0
10-4215-250 EQUIP SUPPLIES & MAINTENANCE	339.63	4,527.99	6,000.00	1,472.01	75.5
10-4215-280 TELEPHONE	.00	.00	1,200.00	1,200.00	.0
10-4215-310 PROFESSIONAL SERVICES	199.00	199.00	300.00	101.00	66.3
10-4215-510 INSURANCE	.00	4,700.82	4,600.00	(100.82)	102.2
10-4215-610 MISCELLANEOUS	.00	117.02	400.00	282.98	29.3
10-4215-740 EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
TOTAL FIRST RESPONDERS	5,203.43	40,718.39	56,350.00	15,631.61	72.3

FIRE DEPARTMENT

10-4220-110 SALARY & WAGES	(4,664.80)	65,200.00	60,200.00	(5,000.00)	108.3
10-4220-130 EMPLOYEE BENEFITS	.00	5,344.65	3,600.00	(1,744.65)	148.5
10-4220-210 BOOKS, SUBSCRIP & MEMBERSHIPS	100.00	1,398.50	1,000.00	(398.50)	139.9
10-4220-230 TRAVEL & TRAINING	500.74	11,135.08	15,000.00	3,864.92	74.2
10-4220-240 OFFICE SUPPLIES & EXPENSE	.00	117.71	500.00	382.29	23.5
10-4220-250 EQUIP SUPPLIES & MAINTENANCE	(2,161.63)	38,609.21	25,000.00	(13,609.21)	154.4
10-4220-260 BLDG & GROUNDS SUPPLIES & MAIN	150.00	1,307.15	2,500.00	1,192.85	52.3
10-4220-270 UTILITIES	252.96	1,578.45	9,000.00	7,421.55	17.5
10-4220-280 TELEPHONE	60.06	480.48	2,500.00	2,019.52	19.2
10-4220-285 INTERNET SERVICE	.00	.00	1,600.00	1,600.00	.0
10-4220-310 PROFESSIONAL SERVICES	.00	121,631.75	129,000.00	7,368.25	94.3
10-4220-510 INSURANCE	.00	22,427.17	22,000.00	(427.17)	101.9
10-4220-610 MISCELLANEOUS	.00	199.92	1,500.00	1,300.08	13.3
10-4220-740 EQUIPMENT	.00	10,714.56	10,000.00	(714.56)	107.2
TOTAL FIRE DEPARTMENT	(5,762.67)	280,144.63	283,400.00	3,255.37	98.9

ANIMAL CONTROL

10-4253-110 SALARY & WAGES	1,398.96	13,229.56	38,900.00	25,670.44	34.0
10-4253-130 EMPLOYEE BENEFITS	107.02	1,012.02	3,600.00	2,587.98	28.1
10-4253-210 MEMBERSHIPS	.00	.00	80.00	80.00	.0
10-4253-220 PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4253-230 TRAVEL & TRAINING	.00	.00	3,500.00	3,500.00	.0
10-4253-250 EQUIP SUPPLIES & MAINTENANCE	.00	226.32	1,000.00	773.68	22.6
10-4253-280 TELEPHONE	40.00	360.00	1,000.00	640.00	36.0
10-4253-310 PROFESSIONAL SERVICES	.00	.00	3,500.00	3,500.00	.0
10-4253-480 SPECIAL DEPARTMENTAL SUPPLIES	.00	277.03	350.00	72.97	79.2
10-4253-510 INSURANCE	.00	470.47	500.00	29.53	94.1
10-4253-620 MISCELLANEOUS SERVICES	.00	.00	490.00	490.00	.0
TOTAL ANIMAL CONTROL	1,545.98	15,575.40	53,020.00	37,444.60	29.4

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<u>ROADS</u>					
10-4410-110 SALARY & WAGES	4,772.24	44,106.61	101,800.00	57,693.39	43.3
10-4410-115 OVERTIME	2,366.19	10,824.41	10,000.00	(824.41)	108.2
10-4410-120 SEASONAL/TEMPORARY EMPLOYEES	.00	.00	9,000.00	9,000.00	.0
10-4410-130 EMPLOYEE BENEFITS	2,687.87	19,301.67	65,500.00	46,198.33	29.5
10-4410-230 TRAVEL	.00	.00	2,000.00	2,000.00	.0
10-4410-240 OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4410-250 EQUIP SUPPLIES & MAINTENANCE	.00	65,705.16	45,000.00	(20,705.16)	146.0
10-4410-260 BLDG & GROUNDS SUP & MAINT	.00	309.00	5,000.00	4,691.00	6.2
10-4410-280 TELEPHONE	43.75	393.75	800.00	406.25	49.2
10-4410-310 PROFESSIONAL SERVICES	.00	25,796.50	2,500.00	(23,296.50)	1031.9
10-4410-410 ROAD MAINTENANCE	13,922.42	93,605.56	70,000.00	(23,605.56)	133.7
10-4410-450 PUBLIC SAFETY SUPPLIES	5,392.48	13,352.36	60,000.00	46,647.64	22.3
10-4410-480 SIDEWALK CONST & MAINT	17,922.60	101,213.97	235,000.00	133,786.03	43.1
10-4410-481 STREET TREE MAINTENANCE	3,360.00	35,550.00	30,000.00	(5,550.00)	118.5
10-4410-482 CURB & GUTTER CONST & MAINT	5,412.82	97,089.78	100,000.00	2,910.22	97.1
10-4410-510 INSURANCE	.00	14,664.25	14,400.00	(264.25)	101.8
10-4410-610 MISCELLANEOUS SUPPLIES	.00	.00	500.00	500.00	.0
10-4410-720 BUILDING IMPROVEMENTS	90,567.91	367,922.79	525,000.00	157,077.21	70.1
10-4410-740 EQUIPMENT	.00	550,101.99	551,500.00	1,398.01	99.8
10-4410-750 OTHER IMPROVEMENTS	9,267.27	495,779.57	1,495,000.00	999,220.43	33.2
TOTAL ROADS	155,715.55	1,935,717.37	3,323,100.00	1,387,382.63	58.3
<u>SOLID WASTE COLLECTION</u>					
10-4420-240 OFFICE SUPPLIES & EXPENSE	.00	43.80	3,000.00	2,956.20	1.5
10-4420-310 CONTRACT SERVICES	91,253.03	716,746.63	980,000.00	263,253.37	73.1
10-4420-311 COMMUNITY CLEAN UP	.00	.00	8,000.00	8,000.00	.0
TOTAL SOLID WASTE COLLECTION	91,253.03	716,790.43	991,000.00	274,209.57	72.3
<u>SHOP</u>					
10-4440-130 EMPLOYEE BENEFITS	.00	.00	9,900.00	9,900.00	.0
10-4440-250 EQUIP SUPPLIES & MAINTENANCE	426.23	2,255.77	11,000.00	8,744.23	20.5
10-4440-280 TELEPHONE	.00	.00	600.00	600.00	.0
10-4440-480 SPECIAL DEPARTMENTAL SUPPLIES	.00	257.91	1,000.00	742.09	25.8
10-4440-510 INSURANCE	.00	695.90	700.00	4.10	99.4
10-4440-610 MISCELLANEOUS	.00	.00	100.00	100.00	.0
TOTAL SHOP	426.23	3,209.58	23,300.00	20,090.42	13.8

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<u>PARKS</u>					
10-4510-110 SALARY & WAGES	6,117.61	185,207.91	186,200.00	992.09	99.5
10-4510-115 OVERTIME	671.29	5,426.45	4,000.00	(1,426.45)	135.7
10-4510-120 SEASONAL/TEMPORARY EMPLOYEES	.00	16,549.94	50,000.00	33,450.06	33.1
10-4510-130 EMPLOYEE BENEFITS	3,511.30	54,761.06	95,200.00	40,438.94	57.5
10-4510-230 TRAVEL & TRAINING	.00	1,110.00	300.00	(810.00)	370.0
10-4510-250 EQUIPMENT SUPPLIES & MAINT	89.41	15,283.47	23,700.00	8,416.53	64.5
10-4510-252 CLOTHING AND PPC	.00	683.10	1,300.00	616.90	52.6
10-4510-260 BLDG & GROUNDS SUP & MAINT	4,828.94	48,927.01	70,000.00	21,072.99	69.9
10-4510-280 TELEPHONE	25.00	311.13	1,200.00	888.87	25.9
10-4510-310 PROFESSIONAL SERVICES	.00	65,425.53	75,000.00	9,574.47	87.2
10-4510-510 INSURANCE	.00	11,256.07	11,000.00	(256.07)	102.3
10-4510-610 MISCELLANEOUS SUPPLIES	.00	970.07	400.00	(570.07)	242.5
10-4510-620 MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4510-720 BUILDING IMPROVEMENTS	.00	.00	73,000.00	73,000.00	.0
10-4510-730 PARK IMPROVEMENTS	1,302.41	442,567.42	475,000.00	32,432.58	93.2
10-4510-740 EQUIPMENT	.00	84,911.72	103,500.00	18,588.28	82.0
TOTAL PARKS	16,545.96	933,390.88	1,170,300.00	236,909.12	79.8
<u>ENGINEERING</u>					
10-4550-110 SALARY & WAGES	2,161.34	21,445.21	57,000.00	35,554.79	37.6
10-4550-115 OVERTIME	390.01	1,735.17	.00	(1,735.17)	.0
10-4550-130 EMPLOYEE BENEFITS	1,014.31	9,182.78	22,500.00	13,317.22	40.8
10-4550-210 BOOKS, SUBS & MEMBERSHIP	.00	.00	1,500.00	1,500.00	.0
10-4550-230 TRAVEL & MEETINGS	94.00	442.50	1,500.00	1,057.50	29.5
10-4550-240 OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4550-250 EQUIP SUPPLIES & MAINTENANCE	724.21	1,158.97	10,000.00	8,841.03	11.6
10-4550-280 TELEPHONE	45.36	237.37	700.00	462.63	33.9
10-4550-310 PROFESSIONAL SERVICES	.00	2,350.00	5,000.00	2,650.00	47.0
10-4550-510 INSURANCE	.00	1,920.48	1,900.00	(20.48)	101.1
10-4550-610 MISCELLANEOUS	.00	.00	50.00	50.00	.0
TOTAL ENGINEERING	4,429.23	38,472.48	100,250.00	61,777.52	38.4

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<u>RECREATION</u>					
10-4561-110 SALARY & WAGES	.00	.00	55,100.00	55,100.00	.0
10-4561-120 SEASONAL/TEMPORARY EMPLOYEES	.00	10,016.00	9,700.00	(316.00)	103.3
10-4561-130 EMPLOYEE BENEFITS	.00	766.22	38,300.00	37,533.78	2.0
10-4561-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
10-4561-240 OFFICE SUPPLIES & EXPENSE	.00	59.62	1,000.00	940.38	6.0
10-4561-250 EQUIPMENT SUPPLIES & EXPENSE	1,195.00	1,253.44	7,000.00	5,746.56	17.9
10-4561-480 SPECIAL DEPARTMENTAL SUPPLIES	1,000.00	1,064.25	13,000.00	11,935.75	8.2
10-4561-481 FIELD PREPARATION SUPPLIES	.00	.00	30,000.00	30,000.00	.0
10-4561-510 INSURANCE	.00	2,980.75	3,000.00	19.25	99.4
10-4561-609 TOURNAMENT REGISTRATION	.00	.00	1,000.00	1,000.00	.0
10-4561-610 MISCELLANEOUS SUPPLIES	.00	(1.00)	800.00	801.00	(.1)
10-4561-620 MISCELLANEOUS SERVICES	.00	(30.00)	10,000.00	10,030.00	(.3)
TOTAL RECREATION	2,195.00	16,109.28	169,400.00	153,290.72	9.5

MUSEUM

10-4562-110 SALARY & WAGES	4,772.28	47,258.83	62,000.00	14,741.17	76.2
10-4562-130 EMPLOYEE BENEFITS	885.50	8,843.49	12,000.00	3,156.51	73.7
10-4562-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	700.35	650.00	(50.35)	107.8
10-4562-220 MUSEUM PROMOTION	501.38	1,592.26	800.00	(792.26)	199.0
10-4562-230 TRAVEL	1,467.22	3,510.03	3,000.00	(510.03)	117.0
10-4562-240 OFFICE SUPPLIES	.00	348.98	600.00	251.02	58.2
10-4562-250 EQUIP SUPPLIES & MAINTENANCE	.00	631.32	750.00	118.68	84.2
10-4562-260 BLDG & GRNDS SUPPLIES & MAINT	.00	211.55	100.00	(111.55)	211.6
10-4562-280 TELEPHONE	52.00	572.00	650.00	78.00	88.0
10-4562-480 MUSEUM ARTIFACTS & MATERIALS	.00	632.55	1,000.00	367.45	63.3
10-4562-510 INSURANCE	.00	879.36	900.00	20.64	97.7
10-4562-610 MISCELLANEOUS	18.50	1,312.52	1,000.00	(312.52)	131.3
10-4562-720 BUILDING IMPROVEMENTS	300.00	5,635.93	10,000.00	4,364.07	56.4
TOTAL MUSEUM	7,996.88	72,129.17	93,450.00	21,320.83	77.2

YOUTH COUNCIL

10-4563-210 MEMBERSHIPS	.00	.00	50.00	50.00	.0
10-4563-230 TRAVEL & TRAINING	1,157.63	3,611.05	5,000.00	1,388.95	72.2
10-4563-250 EQUIP SUPPLIES & MAINTENANCE	.00	.00	1,000.00	1,000.00	.0
10-4563-610 MISCELLANEOUS SUPPLIES	.00	2,014.20	5,000.00	2,985.80	40.3
10-4563-620 MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
TOTAL YOUTH COUNCIL	1,157.63	5,625.25	11,550.00	5,924.75	48.7

HYRUM CITY CORPORATION
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Section 11. Item C.

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>SENIOR CITIZENS</u>					
10-4564-110 SALARY & WAGES	4,951.66	41,497.61	67,300.00	25,802.39	61.7
10-4564-115 OVERTIME	.00	.00	1,000.00	1,000.00	.0
10-4564-130 EMPLOYEE BENEFITS	867.55	7,969.29	13,200.00	5,230.71	60.4
10-4564-220 PUBLIC NOTICES	.00	.00	400.00	400.00	.0
10-4564-230 TRAVEL & TRAINING	154.45	1,407.63	10,000.00	8,592.37	14.1
10-4564-240 OFFICE SUPPLIES	20.70	221.57	500.00	278.43	44.3
10-4564-250 EQUIP SUPPLIES & MAINTENANCE	79.54	787.35	6,000.00	5,212.65	13.1
10-4564-260 BLDG & GROUNDS SUP & MAINT	230.32	2,696.40	3,000.00	303.60	89.9
10-4564-270 UTILITIES	158.24	946.73	2,500.00	1,553.27	37.9
10-4564-280 TELEPHONE	42.86	504.01	1,000.00	495.99	50.4
10-4564-285 INTERNET SERVICE	89.95	1,368.18	3,000.00	1,631.82	45.6
10-4564-480 FOOD COST	181.78	2,621.79	15,000.00	12,378.21	17.5
10-4564-510 INSURANCE	.00	6,137.33	6,000.00	(137.33)	102.3
10-4564-610 MISCELLANEOUS SUPPLIES	1,441.99	7,922.96	15,000.00	7,077.04	52.8
10-4564-620 MISCELLANEOUS SERVICES	4,745.00	5,168.00	11,500.00	6,332.00	44.9
10-4564-720 BUILDINGS	.00	5,066.97	14,000.00	8,933.03	36.2
TOTAL SENIOR CITIZENS	12,964.04	84,315.82	169,400.00	85,084.18	49.8

LIBRARY DEPARTMENT

10-4580-110 SALARY & WAGES	16,778.59	158,438.45	240,900.00	82,461.55	65.8
10-4580-115 OVERTIME	.00	162.70	.00	(162.70)	.0
10-4580-130 EMPLOYEE BENEFITS	4,301.79	40,673.77	64,700.00	24,026.23	62.9
10-4580-210 BOOKS, SUBSCRIP & MEMBERSHIPS	292.48	1,984.15	3,000.00	1,015.85	66.1
10-4580-220 LIBRARY PROMOTION	210.75	3,528.95	8,000.00	4,471.05	44.1
10-4580-230 TRAVEL	15.00	15.00	1,500.00	1,485.00	1.0
10-4580-240 OFFICE SUPPLIES & EXPENSE	431.05	5,780.76	7,000.00	1,219.24	82.6
10-4580-250 EQUIPMENT SUPPLIES & MAINT	1,305.99	9,779.03	10,000.00	220.97	97.8
10-4580-260 BLDG SUPPLIES & MAINT	1,853.74	18,133.54	20,000.00	1,866.46	90.7
10-4580-270 UTILITIES	1,021.72	5,887.90	10,000.00	4,112.10	58.9
10-4580-280 TELEPHONE	333.48	1,956.45	3,000.00	1,043.55	65.2
10-4580-285 INTERNET SERVICE	92.40	841.86	1,000.00	158.14	84.2
10-4580-310 PROFESSIONAL SERVICES	212.48	1,790.14	1,100.00	(690.14)	162.7
10-4580-480 LIBRARY BOOKS & MATERIALS	3,240.10	24,274.12	32,000.00	7,725.88	75.9
10-4580-481 LIBRARY TAPES	77.58	7,182.81	10,000.00	2,817.19	71.8
10-4580-510 INSURANCE	.00	17,268.50	16,900.00	(368.50)	102.2
10-4580-609 STATE GRANT	469.26	469.26	6,500.00	6,030.74	7.2
10-4580-610 MISCELLANEOUS SUPPLIES	.00	94.69	500.00	405.31	18.9
10-4580-620 MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4580-740 EQUIPMENT	.00	13,126.67	18,000.00	4,873.33	72.9
TOTAL LIBRARY DEPARTMENT	30,636.41	311,388.75	454,600.00	143,211.25	68.5

HYRUM CITY CORPORATION
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GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>CEMETERY</u>					
10-4590-110 SALARY & WAGES	1,227.07	12,382.68	26,400.00	14,017.32	46.9
10-4590-115 OVERTIME	119.23	1,201.09	3,000.00	1,798.91	40.0
10-4590-120 SEASONAL/TEMPORARY EMPLOYEES	.00	.00	8,000.00	8,000.00	.0
10-4590-130 EMPLOYEE BENEFITS	509.72	5,224.26	12,400.00	7,175.74	42.1
10-4590-240 OFFICE SUPPLIES & EXPENSE	.00	.00	300.00	300.00	.0
10-4590-250 EQUIPMENT SUPPLIES & MAINT	.00	.00	7,000.00	7,000.00	.0
10-4590-260 BLDG & GROUNDS SUP & MAINT	175.00	5,960.00	6,000.00	40.00	99.3
10-4590-280 TELEPHONE	18.75	168.75	150.00	(18.75)	112.5
10-4590-310 PROFESSIONAL SERVICES	.00	30,400.00	55,000.00	24,600.00	55.3
10-4590-510 INSURANCE	.00	2,008.94	2,000.00	(8.94)	100.5
10-4590-610 MISCELLANEOUS	.00	17.00	500.00	483.00	3.4
10-4590-730 CEMETERY IMPROVEMENTS	.00	29,504.28	85,000.00	55,495.72	34.7
TOTAL CEMETERY	2,049.77	86,867.00	205,750.00	118,883.00	42.2
<u>COMMUNITY PROGRESS</u>					
10-4620-210 NIGHT OUT AGAINST CRIME	.00	1,155.00	1,200.00	45.00	96.3
10-4620-211 EASTER EGG HUNT	516.71	516.71	1,200.00	683.29	43.1
10-4620-212 BUSINESS CONFERENCE	.00	.00	1,000.00	1,000.00	.0
10-4620-220 HOLIDAY AT HARDWARE	.00	1,155.87	2,000.00	844.13	57.8
10-4620-240 PHOTOGRAPHY & SCRAPBOOK	.00	.00	600.00	600.00	.0
10-4620-250 PARADE FLOAT SUPPLIES & PULL	.00	.00	1,000.00	1,000.00	.0
10-4620-510 INSURANCE	.00	414.47	450.00	35.53	92.1
10-4620-610 MISCELLANEOUS SUPPLIES	.00	825.60	3,000.00	2,174.40	27.5
10-4620-611 4TH OF JULY	.00	15,931.04	25,000.00	9,068.96	63.7
10-4620-614 MASS TRANSIT-CVT	.00	165,174.02	340,000.00	174,825.98	48.6
10-4620-615 KILGORE TAX 50% TAX	.00	.00	100,000.00	100,000.00	.0
10-4620-620 MISCELLANEOUS SERVICES	.00	.00	1,000.00	1,000.00	.0
10-4620-621 HYRUM HORNETS	.00	.00	2,000.00	2,000.00	.0
TOTAL COMMUNITY PROGRESS	516.71	185,172.71	478,450.00	293,277.29	38.7
<u>CAPITAL PROJECT EXPENSE</u>					
10-4800-921 CONTRIBUTION - CAPITAL PROJECT	.00	.00	450,000.00	450,000.00	.0
TOTAL CAPITAL PROJECT EXPENSE	.00	.00	450,000.00	450,000.00	.0
TOTAL FUND EXPENDITURES	373,115.58	5,524,600.08	9,778,370.00	4,253,769.92	56.5
NET REVENUE OVER EXPENDITURES	243,126.03	261,003.29	.00	(261,003.29)	.0

HYRUM CITY CORPORATION
BALANCE SHEET
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CAPITAL PROJECTS FUND

ASSETS

45-1010000	CASH IN COMBINED FUND	200,643.70	
	TOTAL ASSETS		200,643.70

LIABILITIES AND EQUITY

FUND EQUITY

	UNAPPROPRIATED FUND BALANCE:		
45-2951000	CAP PROJ - UNAPPROPRIATED	1,725,341.03	
	REVENUE OVER EXPENDITURES - YTD	(1,524,697.33)	
	BALANCE - CURRENT DATE	200,643.70	
	TOTAL FUND EQUITY		200,643.70
	TOTAL LIABILITIES AND EQUITY		200,643.70

HYRUM CITY CORPORATION
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CAPITAL PROJECTS FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>GRANT REVENUE</u>					
45-3342	GENERAL FUND TRANSFER	.00	.00	450,000.00	450,000.00	.0
	TOTAL GRANT REVENUE	.00	.00	450,000.00	450,000.00	.0
	<u>MISCELLANEOUS REVENUES</u>					
45-3620	INTEREST EARNINGS	795.51	39,894.09	100,000.00	60,105.91	39.9
	TOTAL MISCELLANEOUS REVENUES	795.51	39,894.09	100,000.00	60,105.91	39.9
	<u>INTERGOVERNMENTAL REVENUE</u>					
45-3895	TRANS FROM CAPITAL PROJ UNAP	.00	.00	1,569,000.00	1,569,000.00	.0
	TOTAL INTERGOVERNMENTAL REVENUE	.00	.00	1,569,000.00	1,569,000.00	.0
	TOTAL FUND REVENUE	795.51	39,894.09	2,119,000.00	2,079,105.91	1.9

HYRUM CITY CORPORATION
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CAPITAL PROJECTS FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
	<u>FIRE DEPARTMENT</u>					
45-4220-740	NEW FIRE ENGINE	9,999.84	482,401.52	400,000.00	(82,401.52)	120.6
	TOTAL FIRE DEPARTMENT	9,999.84	482,401.52	400,000.00	(82,401.52)	120.6
	<u>PARKS</u>					
45-4510-730	BLACKSMITH FORK PARK	.00	73,186.44	.00	(73,186.44)	.0
45-4510-732	WEST PARK	.00	12,175.50	500,000.00	487,824.50	2.4
45-4510-733	EAST PARK	230.80	996,827.96	1,219,000.00	222,172.04	81.8
	TOTAL PARKS	230.80	1,082,189.90	1,719,000.00	636,810.10	63.0
	TOTAL FUND EXPENDITURES	10,230.64	1,564,591.42	2,119,000.00	554,408.58	73.8
	NET REVENUE OVER EXPENDITURES	(9,435.13)	(1,524,697.33)	.00	1,524,697.33	.0

HYRUM CITY CORPORATION
BALANCE SHEET
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WATER UTILITY FUND

ASSETS

51-1010000	CASH IN COMBINED FUND	2,683,583.89	
51-1311000	ACCTS REC - UTILITIES	56,685.44	
51-1311001	ACCTS REC - PRIOR PERIOD	97,159.65	
51-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(2,458.44)	
51-1511510	INVENTORY - WATER	298,922.84	
51-1561100	PPD EXPENSE-CHLORINE DEPOSIT	2,250.00	
51-1571000	DEFERRED OUTFLOW OF RESOURCES	77,768.00	
51-1611000	LAND & STOCK - WATER UTILITY	1,529,997.44	
51-1621000	BUILDINGS - WATER UTILITY	440,701.72	
51-1622000	DEPRECIATION - WATER BUILDINGS	(278,544.74)	
51-1631000	WATER STORAGE & DIST SYSTEM	12,943,583.95	
51-1632000	DEPREC - WATER DIST SYSTEM	(7,184,339.43)	
51-1642000	WATER IMPROVEMENTS	(1,179,759.00)	
51-1651000	EQUIPMENT - WATER UTILITY	2,238,350.88	
51-1652000	DEPRECIATION - WATER EQUIPMENT	(1,366,722.79)	
51-1711000	CONSTRUCTION IN PROGRESS	477,244.14	
	TOTAL ASSETS		10,834,423.55

LIABILITIES AND EQUITY

LIABILITIES

51-2131000	ACCTS PAY - WATER FUND	8.78	
51-2228000	ACCRUED VACATION - WATER	36,533.87	
51-2228001	DEFERRED INFLOWS OF RESOURCES	191.00	
51-2228002	UNFUNDED PENSION PAYABLE	43,878.00	
51-2230100	ACCRUED SICK LEAVE - WATER	72,092.34	
	TOTAL LIABILITIES		152,703.99

FUND EQUITY

	UNAPPROPRIATED FUND BALANCE:		
51-2951000	WATER FUND - UNAPPROPRIATED	10,536,164.24	
51-2971001	UNFUNDED PENSION ADJ.	(76,159.00)	
	REVENUE OVER EXPENDITURES - YTD	221,714.32	
	BALANCE - CURRENT DATE	10,681,719.56	
	TOTAL FUND EQUITY		10,681,719.56
	TOTAL LIABILITIES AND EQUITY		10,834,423.55

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
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WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
51-3711 METERED WATER SALES	114,403.57	1,132,436.89	1,600,000.00	467,563.11	70.8
51-3714 NEW CONNECTION FEES	5,088.00	23,744.00	34,000.00	10,256.00	69.8
51-3718 SALE OF MATERIALS	.00	.00	1,000.00	1,000.00	.0
51-3719 MISCELLANEOUS REVENUES	.00	.00	5,000.00	5,000.00	.0
51-3721 INTEREST EARNINGS	10,041.18	92,235.29	158,000.00	65,764.71	58.4
51-3725 IMPACT FEE - "BUY-IN"	2,064.00	9,632.00	13,760.00	4,128.00	70.0
51-3726 IMPACT FEE - STORAGE	10,692.00	49,896.00	71,280.00	21,384.00	70.0
51-3727 IMPACT FEE - DISTRIBUTION	17,088.00	79,744.00	113,920.00	34,176.00	70.0
51-3729 IMPACT FEE - PROFESSIONAL SERV	132.00	616.00	880.00	264.00	70.0
51-3742 RENT - NON-OPERATING PROPERTY	2,250.00	13,500.00	31,800.00	18,300.00	42.5
TOTAL UTILITY REVENUES	161,758.75	1,401,804.18	2,029,640.00	627,835.82	69.1
TOTAL FUND REVENUE	161,758.75	1,401,804.18	2,029,640.00	627,835.82	69.1

HYRUM CITY CORPORATION
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WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>WATER DEPARTMENT</u>					
51-5100-110 SALARIES AND WAGES	19,755.48	198,228.65	458,600.00	260,371.35	43.2
51-5100-115 OVERTIME	1,295.87	15,989.24	4,000.00	(11,989.24)	399.7
51-5100-116 STANDBY TIME	990.00	9,808.76	13,400.00	3,591.24	73.2
51-5100-120 SEASONAL	.00	.00	14,400.00	14,400.00	.0
51-5100-130 EMPLOYEE BENEFITS	9,645.64	98,071.67	235,700.00	137,628.33	41.6
51-5100-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	1,582.00	1,700.00	118.00	93.1
51-5100-220 PUBLIC NOTICES	.00	547.84	250.00	(297.84)	219.1
51-5100-230 TRAVEL & TRAINING	274.00	2,109.00	10,000.00	7,891.00	21.1
51-5100-240 OFFICE SUPPLIES AND EXPENSE	3,103.20	8,620.66	5,000.00	(3,620.66)	172.4
51-5100-250 EQUIP SUPPLIES & MAINTENANCE	19.00	29,111.10	41,100.00	11,988.90	70.8
51-5100-252 CLOTHING AND PPC	.00	1,388.43	6,500.00	5,111.57	21.4
51-5100-255 DISTRIB SYSTEM MAINTENANCE	16,779.86	173,820.13	260,000.00	86,179.87	66.9
51-5100-260 BLDG & GROUNDS SUP & MAINT	147.90	16,328.88	3,000.00	(13,328.88)	544.3
51-5100-270 UTILITIES	12,576.11	105,508.37	120,000.00	14,491.63	87.9
51-5100-280 TELEPHONE	513.58	3,612.85	4,000.00	387.15	90.3
51-5100-310 PROFESSIONAL SERVICES	4,063.50	31,913.49	20,000.00	(11,913.49)	159.6
51-5100-510 INSURANCE	.00	10,542.88	10,350.00	(192.88)	101.9
51-5100-610 MISCELLANEOUS SUPPLIES	.00	3.55	1,000.00	996.45	.4
51-5100-720 BUILDINGS	.00	.00	20,000.00	20,000.00	.0
51-5100-740 EQUIPMENT	.00	196,421.18	283,000.00	86,578.82	69.4
51-5100-750 NEW CONSTRUCTION	63,025.92	276,481.18	2,130,000.00	1,853,518.82	13.0
51-5100-950 CONTRIBUTION - RESTRICTED FB	.00	.00	113,920.00	113,920.00	.0
 TOTAL WATER DEPARTMENT	 132,190.06	 1,180,089.86	 3,755,920.00	 2,575,830.14	 31.4
 TOTAL FUND EXPENDITURES	 132,190.06	 1,180,089.86	 3,755,920.00	 2,575,830.14	 31.4
 NET REVENUE OVER EXPENDITURES	 29,568.69	 221,714.32	 (1,726,280.00)	 (1,947,994.32)	 12.8

HYRUM CITY CORPORATION
BALANCE SHEET
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SEWER UTILITY FUND

ASSETS

52-1010000	CASH IN COMBINED FUND	5,630,332.81	
52-1311000	ACCTS REC - UTILITIES	164,717.72	
52-1311001	ACCTS REC - PRIOR PERIOD	119,431.09	
52-1311002	LEASE RECEIVABLE	243,834.48	
52-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(858.97)	
52-1561103	PPD EXPENSE - CHLORINE DEPOSIT	3,000.00	
52-1571000	DEFERRED OUTFLOW OF RESOURCES	87,938.00	
52-1611000	LAND - SEWER UTILITY	587,937.49	
52-1621000	PLANT & EQUIP - SEWER UTILITY	14,659,068.64	
52-1622000	DEPRECIATION - SEWER PLANT	(8,140,352.48)	
52-1631000	SEWERAGE COLLECTION SYSTEM	3,283,195.77	
52-1632000	DEPREC - SEWER COLLECT SYSTEM	(215,917.06)	
52-1642000	DEPREC - SEWER IMPROVEMENTS	(3,141,898.00)	
52-1651000	EQUIPMENT - SEWER UTILITY	430,424.71	
52-1652000	DEPRECIATION - SEWER EQUIPMENT	(359,553.81)	
52-1711000	CONSTRUCTION IN PROGRESS	12,998.64	
52-1801240	RESTRICTED CASH-DEBT SERVICE	172,981.20	
52-1801250	RESTRICTED CASH-O&M RESERVE	233,944.65	
TOTAL ASSETS			13,771,224.88

LIABILITIES AND EQUITY

LIABILITIES

52-2131000	ACCTS PAY - SEWER FUND	568.57	
52-2228000	ACCRUED VACATION - SEWER	25,056.25	
52-2228001	DEFERRED INFLOWS OF RESOURCES	216.00	
52-2228002	UNFUNDED PENSION PAYABLE	49,616.00	
52-2228003	DEFERRED INFLOWS OF RESOURCES-	218,345.40	
52-2230100	ACCRUED SICK LEAVE - SEWER	25,015.60	
52-2500001	BONDS PAYABLE-WWTP	2,266,794.63	
52-2551100	ACCRUED INT PAY - NEW PLANT	434.73	
TOTAL LIABILITIES			2,586,047.18

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
52-2951000	SEWER FUND - UNAPPROPRIATED	9,987,763.60	
52-2951522	SEWER FUND - RESTRICTED	406,925.85	
52-2971001	UNFUNDED PENSION ADJ.	(101,846.00)	
	REVENUE OVER EXPENDITURES - YTD	892,334.25	
BALANCE - CURRENT DATE		11,185,177.70	
TOTAL FUND EQUITY			11,185,177.70
TOTAL LIABILITIES AND EQUITY			13,771,224.88

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
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Section 11. Item C.

SEWER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES</u>					
52-3731 SEWER SERVICE	198,012.89	1,767,566.25	2,400,000.00	632,433.75	73.7
52-3740 CUSTOMER SERVICE FEES	600.00	2,800.00	5,000.00	2,200.00	56.0
52-3741 INTEREST EARNINGS	22,556.10	205,423.02	225,500.00	20,076.98	91.1
52-3742 RENT - NON-OPERATING PROPERTY	.00	17,361.94	17,400.00	38.06	99.8
52-3744 MISCELLANEOUS REVENUES	.00	1,552.19	5,000.00	3,447.81	31.0
52-3747 IMPACT FEE - COLLECTION	5,232.00	24,416.00	34,900.00	10,484.00	70.0
52-3748 IMPACT FEE - TREATMENT	23,069.04	107,655.52	150,000.00	42,344.48	71.8
TOTAL UTILITY REVENUES	249,470.03	2,126,774.92	2,837,800.00	711,025.08	74.9
TOTAL FUND REVENUE	249,470.03	2,126,774.92	2,837,800.00	711,025.08	74.9

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
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SEWER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>SEWER DEPARTMENT</u>					
52-5200-110 SALARIES AND WAGES	27,635.35	275,804.26	452,600.00	176,795.74	60.9
52-5200-115 OVERTIME	1,060.69	16,531.76	20,000.00	3,468.24	82.7
52-5200-116 ON CALL PAY	942.50	9,487.02	15,000.00	5,512.98	63.3
52-5200-120 SEASONAL/TEMPORARY EMPLOYEES	.00	.00	2,000.00	2,000.00	.0
52-5200-130 EMPLOYEE BENEFITS	12,463.08	132,213.46	228,700.00	96,486.54	57.8
52-5200-210 BOOKS, SUBSCRIPTIONS & MEMBERS	.00	285.00	2,000.00	1,715.00	14.3
52-5200-220 PUBLIC NOTICES	252.36	252.36	500.00	247.64	50.5
52-5200-230 TRAVEL & TRAINING	586.25	3,678.93	20,000.00	16,321.07	18.4
52-5200-240 OFFICE SUPPLIES & EXPENSE	1,477.08	7,943.27	6,000.00	(1,943.27)	132.4
52-5200-250 LAB SUPPLIES	84.17	6,825.65	5,000.00	(1,825.65)	136.5
52-5200-251 WATER REUSE EQUIP SUP & MAINT	.00	.00	1,000.00	1,000.00	.0
52-5200-252 CLOTHING AND PPC	.00	1,441.14	3,250.00	1,808.86	44.3
52-5200-254 PLANT EQUIP SUP & MAINT	2,251.71	53,665.92	250,000.00	196,334.08	21.5
52-5200-255 COLLECTION SYSTEM MAINTENANCE	960.00	87,611.94	212,000.00	124,388.06	41.3
52-5200-256 MBR CLEANING CHEMICALS	17,790.90	29,432.90	50,000.00	20,567.10	58.9
52-5200-257 ALUMINUM SULFATE	.00	64,492.38	110,000.00	45,507.62	58.6
52-5200-258 POLYMER	.00	8,522.42	17,000.00	8,477.58	50.1
52-5200-260 BLDG & GROUNDS SUP & MAINT	2,409.61	8,223.76	4,000.00	(4,223.76)	205.6
52-5200-270 UTILITIES	23,957.44	241,851.40	340,000.00	98,148.60	71.1
52-5200-280 TELEPHONE	488.64	3,814.65	4,500.00	685.35	84.8
52-5200-285 INTERNET SERVICE	542.40	4,350.24	6,000.00	1,649.76	72.5
52-5200-310 PROFESSIONAL SERVICES	32,499.35	106,090.78	250,000.00	143,909.22	42.4
52-5200-311 PRETREATMENT PROGRAM	.00	.00	30,000.00	30,000.00	.0
52-5200-510 INSURANCE	.00	26,765.15	26,200.00	(565.15)	102.2
52-5200-610 MISCELLANEOUS	396.95	396.95	2,000.00	1,603.05	19.9
52-5200-700 AMORTIZATION OF BOND COSTS	.00	.00	2,500.00	2,500.00	.0
52-5200-740 EQUIPMENT	.00	33,500.00	110,000.00	76,500.00	30.5
52-5200-750 NEW CONSTRUCTION	.00	48,565.33	1,200,000.00	1,151,434.67	4.1
52-5200-812 DEBT SERVICE-WWTP	3,703.19	33,135.20	44,300.00	11,164.80	74.8
52-5200-822 DEBT SERVICE-INT. WWTP	3,262.81	29,558.80	39,400.00	9,841.20	75.0
TOTAL SEWER DEPARTMENT	132,764.48	1,234,440.67	3,453,950.00	2,219,509.33	35.7
TOTAL FUND EXPENDITURES	132,764.48	1,234,440.67	3,453,950.00	2,219,509.33	35.7
NET REVENUE OVER EXPENDITURES	116,705.55	892,334.25	(616,150.00)	(1,508,484.25)	144.8

HYRUM CITY CORPORATION
BALANCE SHEET
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ELECTRIC UTILITY FUND

ASSETS

53-1010000	CASH IN COMBINED FUND	6,309,409.00	
53-1311000	ACCTS REC - UTILITIES	543,344.39	
53-1311001	ACCTS REC - PRIOR PERIOD	782,829.73	
53-1311710	DEFERRED COLL. COST	(11,609.92)	
53-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(6,470.18)	
53-1511510	INVENTORY - ELECTRIC	1,785,294.90	
53-1565530	RIGHT OF USE ASSET	32,311.00	
53-1565531	ACCUMULATED AMORTIZATION	(32,068.26)	
53-1565532	ACC. AMORTIZATION-SAN JUAN	(1,784,730.20)	
53-1571000	DEFERRED OUTFLOW OF RESOURCES	232,708.00	
53-1611000	LAND - ELECTRIC UTILITY	823,439.55	
53-1621000	BUILDINGS - ELECTRIC UTILITY	1,494,900.33	
53-1621100	SAN JUAN POWER PURCHASE	1,784,730.20	
53-1621500	PAYSON POWER PURCHASE	101,111.59	
53-1622000	DEPRECIATION - ELEC BUILDINGS	(638,315.76)	
53-1631000	ELEC POWER DISTRIBUTION SYSTEM	9,275,987.63	
53-1632000	DEPREC - POWER DIST SYSTEM	(4,782,555.99)	
53-1642000	DEPREC - ELECTRIC IMPROVEMENTS	(67,468.08)	
53-1651000	EQUIPMENT - ELECTRIC UTILITY	3,141,132.01	
53-1652000	DEPRECIATION - ELEC EQUIPMENT	(2,027,753.71)	
53-1711000	CONSTRUCTION IN PROGRESS	4,851,025.52	
TOTAL ASSETS			21,807,251.75

LIABILITIES AND EQUITYLIABILITIES

53-2131000	ACCTS PAY - ELECTRIC	(17,775.00)	
53-2131500	ACCTS PAY - UTILITY DEPOSITS	509,824.30	
53-2228000	ACCRUED VACATION - ELECTRIC	96,885.61	
53-2228001	DEFERRED INFLOWS OF RESOURCES	572.00	
53-2228002	UNFUNDED PENSION PAYABLE	131,297.00	
53-2228003	LEASE LIABILITY	(.26)	
53-2230100	ACCRUED SICK LEAVE - ELECTRIC	107,865.89	
53-2411100	STATE SALES TAX PAYABLE	16,161.92	
53-2411101	SALES TAX PAY - NON CURRENT	13,673.37	
53-2411102	SALES TAX - NON CITY	341.23	
TOTAL LIABILITIES			858,846.06

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
53-2951000	ELECTRIC FUND - UNAPPROPRIATED	17,519,004.53	
53-2971001	UNFUNDED PENSION ADJ.	(183,539.00)	
	REVENUE OVER EXPENDITURES - YTD	3,612,940.16	
BALANCE - CURRENT DATE		20,948,405.69	
TOTAL FUND EQUITY			20,948,405.69

HYRUM CITY CORPORATION
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ELECTRIC UTILITY FUND

TOTAL LIABILITIES AND EQUITY

21,807,251.75

HYRUM CITY CORPORATION
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ELECTRIC UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>UTILITY REVENUES ENERGY SALES</u>					
53-3145 ENERGY SALES AND USE TAX	44,143.12	428,938.75	550,000.00	121,061.25	78.0
TOTAL UTILITY REVENUES ENERGY SALES	44,143.12	428,938.75	550,000.00	121,061.25	78.0
<u>UTILITY REVENUES</u>					
53-3751 METERED ENERGY SALES	980,013.41	9,494,193.18	14,100,000.00	4,605,806.82	67.3
53-3752 ENERGY DISCOUNTS	(8,196.08)	(129,107.50)	(105,000.00)	24,107.50	(123.0)
53-3755 NEW CONNECTION FEES	9,000.00	49,858.68	85,000.00	35,141.32	58.7
53-3757 SALE OF MATERIALS	.00	87,144.82	500.00	(86,644.82)	17429.
53-3758 CUSTOMER SERVICE & MISC	18,537.84	1,161,627.40	255,000.00	(906,627.40)	455.5
53-3761 INTEREST EARNINGS	25,746.15	195,303.59	152,000.00	(43,303.59)	128.5
53-3764 LABOR	25,250.00	46,375.00	15,000.00	(31,375.00)	309.2
53-3765 EQUIPMENT	17,655.00	27,865.00	15,000.00	(12,865.00)	185.8
53-3766 MATERIALS	88,415.20	159,299.52	15,000.00	(144,299.52)	1062.0
53-3767 IMPACT FEE - DISTRIBUTION	15,180.00	90,567.00	101,200.00	10,633.00	89.5
TOTAL UTILITY REVENUES	1,171,601.52	11,183,126.69	14,633,700.00	3,450,573.31	76.4
TOTAL FUND REVENUE	1,215,744.64	11,612,065.44	15,183,700.00	3,571,634.56	76.5

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
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ELECTRIC UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ELECTRIC DEPARTMENT</u>					
53-5300-110 SALARIES AND WAGES	64,932.57	665,140.67	1,229,800.00	564,659.33	54.1
53-5300-115 OVERTIME	3,291.94	30,321.19	25,000.00	(5,321.19)	121.3
53-5300-116 STANDBY TIME	937.00	9,852.76	13,400.00	3,547.24	73.5
53-5300-120 SEASONAL/TEMPORARY EMPLOYEES	.00	3,814.98	20,000.00	16,185.02	19.1
53-5300-130 EMPLOYEE BENEFITS	30,696.32	300,163.70	576,400.00	276,236.30	52.1
53-5300-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	447.70	2,900.00	2,452.30	15.4
53-5300-220 PUBLIC NOTICES	.00	117.70	250.00	132.30	47.1
53-5300-230 TRAVEL & TRAINING	535.24	10,072.36	20,000.00	9,927.64	50.4
53-5300-240 OFFICE SUPPLIES AND EXPENSE	1,976.75	8,541.27	10,000.00	1,458.73	85.4
53-5300-250 EQUIP SUPPLIES & MAINTENANCE	5,141.43	48,026.90	125,000.00	76,973.10	38.4
53-5300-252 CLOTHING AND PPC	.00	8,726.68	9,000.00	273.32	97.0
53-5300-255 GEN & DIST SYSTEM MAINTENANCE	73,174.28	181,927.43	925,000.00	743,072.57	19.7
53-5300-256 TREE CITY/CONSUMER ED.	12,523.52	80,479.52	105,000.00	24,520.48	76.7
53-5300-257 GENERATION COSTS	27,450.10	271,133.41	830,000.00	558,866.59	32.7
53-5300-258 CHRISTMAS DECORATIONS	.00	1,160.00	10,000.00	8,840.00	11.6
53-5300-259 HYDRO PLANT MAINTENANCE	1,004.06	5,824.27	75,000.00	69,175.73	7.8
53-5300-260 BLDGS & GROUNDS SUP & MAINT	787.49	7,227.25	35,000.00	27,772.75	20.7
53-5300-270 UTILITIES	1,570.76	9,456.29	16,000.00	6,543.71	59.1
53-5300-280 TELEPHONE	844.19	7,449.42	12,000.00	4,550.58	62.1
53-5300-285 INTERNET SERVICE	165.00	1,275.00	2,500.00	1,225.00	51.0
53-5300-310 PROFESSIONAL SERVICES	1,294.98	43,694.22	65,000.00	21,305.78	67.2
53-5300-510 INSURANCE	.00	33,557.12	32,800.00	(757.12)	102.3
53-5300-610 MISCELLANEOUS SUPPLIES	41.95	9,839.46	10,000.00	160.54	98.4
53-5300-620 MISCELLANEOUS SERVICES	6,185.31	48,963.01	60,000.00	11,036.99	81.6
53-5300-630 POWER PURCHASE	566,891.19	5,003,243.85	9,100,000.00	4,096,756.15	55.0
53-5300-735 CANYON PARK IMPROVEMENTS	.00	.00	3,500.00	3,500.00	.0
53-5300-740 EQUIPMENT	.00	54,058.99	160,000.00	105,941.01	33.8
53-5300-750 NEW CONSTRUC, SPECIAL PROJECTS	276,148.77	388,075.23	680,000.00	291,924.77	57.1
53-5300-810 DEBT SERVICE - PRINCIPAL	41,727.27	333,818.16	441,000.00	107,181.84	75.7
53-5300-820 DEBT SERVICE - INTEREST	53,202.88	432,716.74	587,000.00	154,283.26	73.7
 TOTAL ELECTRIC DEPARTMENT	 1,170,523.00	 7,999,125.28	 15,181,550.00	 7,182,424.72	 52.7
 TOTAL FUND EXPENDITURES	 1,170,523.00	 7,999,125.28	 15,181,550.00	 7,182,424.72	 52.7
 NET REVENUE OVER EXPENDITURES	 45,221.64	 3,612,940.16	 2,150.00	 (3,610,790.16)	 16804

HYRUM CITY CORPORATION
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IRRIGATION UTILITY FUND

ASSETS

54-1010000	CASH IN COMBINED FUND	1,111,049.79	
54-1311000	ACCTS REC - UTILITIES	22,049.84	
54-1311001	ACCTS REC - PRIOR PERIOD	19,565.17	
54-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(379.55)	
54-1511510	INVENTORY - IRRIGATION	217,389.50	
54-1571000	DEFERRED OUTFLOW OF RESOURCES	14,666.00	
54-1611000	LAND & STOCK - IRR UTILITY	1,245,261.09	
54-1631000	IRRIGATION DISTRIBUTION SYSTEM	7,109,738.91	
54-1632000	DEPRECIATION - IRRIG DIST SYS	(5,452,686.20)	
54-1651000	EQUIPMENT - IRRIGATION UTILITY	181,914.47	
54-1652000	DEPRECIATION - IRRI EQUIPMENT	(108,579.75)	
54-1711000	CONSTRUCTION IN PROGRESS	118,957.80	
TOTAL ASSETS			4,478,947.07

LIABILITIES AND EQUITY

LIABILITIES

54-2228000	ACCRUED VAC PAY - IRRIGATION	6,896.34	
54-2228001	DEFERRED INFLOWS OF RESOURCES	36.00	
54-2228002	UNFUNDED PENSION PAYABLE	8,275.00	
54-2230100	ACCRUED SICK LEAVE - IRRIGATIO	13,560.31	
TOTAL LIABILITIES			28,767.65

FUND EQUITY

54-2811540	CONTRIBUTED CAPITAL	4,101,602.62	
UNAPPROPRIATED FUND BALANCE:			
54-2951000	IRR FUND - UNAPPROPRIATED	141,488.58	
54-2971001	UNFUNDED PENSION ADJ.	(14,791.00)	
	REVENUE OVER EXPENDITURES - YTD	221,879.22	
BALANCE - CURRENT DATE		348,576.80	
TOTAL FUND EQUITY			4,450,179.42
TOTAL LIABILITIES AND EQUITY			4,478,947.07

HYRUM CITY CORPORATION
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IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
54-3340 STATE - FEDERAL GRANTS	.00	.00	866,300.00	866,300.00	.0
TOTAL SOURCE 33	.00	.00	866,300.00	866,300.00	.0
UTILITY REVENUES					
54-3771 IRRIGATION SERVICE	31,009.86	278,395.59	370,000.00	91,604.41	75.2
54-3775 NEW CONNECTION FEES	294.00	294.00	1,000.00	706.00	29.4
54-3779 MISCELLANEOUS REVENUES	.00	72,887.50	6,000.00	(66,887.50)	1214.8
54-3781 INTEREST EARNINGS	4,087.77	35,202.38	38,000.00	2,797.62	92.6
54-3785 IMPACT FEE - "BUY-IN"	8,734.00	43,670.00	47,700.00	4,030.00	91.6
TOTAL UTILITY REVENUES	44,125.63	430,449.47	462,700.00	32,250.53	93.0
TOTAL FUND REVENUE	44,125.63	430,449.47	1,329,000.00	898,550.53	32.4

HYRUM CITY CORPORATION
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IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>IRRIGATION DEPARTMENT</u>					
54-5400-110 SALARIES AND WAGES	4,310.56	43,067.95	98,900.00	55,832.05	43.6
54-5400-115 OVERTIME	.00	3,208.07	2,000.00	(1,208.07)	160.4
54-5400-130 EMPLOYEE BENEFITS	1,859.96	20,761.87	53,800.00	33,038.13	38.6
54-5400-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
54-5400-240 OFFICE SUPPLIES AND EXPENSE	493.75	3,570.95	7,000.00	3,429.05	51.0
54-5400-250 EQUIP SUPPLIES & MAINTENANCE	.00	71.94	10,000.00	9,928.06	.7
54-5400-255 DISTRIB SYSTEM MAINTENANCE	296.84	13,245.04	30,000.00	16,754.96	44.2
54-5400-260 BLDGS & GROUNDS SUP & MAINT	.00	.00	1,000.00	1,000.00	.0
54-5400-270 UTILITIES	81.07	765.76	85,000.00	84,234.24	.9
54-5400-280 TELEPHONE	40.75	366.75	450.00	83.25	81.5
54-5400-310 PROFESSIONAL SERVICES	.00	16,502.66	10,000.00	(6,502.66)	165.0
54-5400-510 INSURANCE	.00	5,383.66	5,300.00	(83.66)	101.6
54-5400-540 IRRIGATION ASSESSMENTS	5,724.00	95,223.45	88,000.00	(7,223.45)	108.2
54-5400-740 EQUIPMENT	.00	.00	14,000.00	14,000.00	.0
54-5400-750 NEW CONSTRUCTION	.00	6,402.15	1,385,000.00	1,378,597.85	.5
TOTAL IRRIGATION DEPARTMENT	12,806.93	208,570.25	1,790,950.00	1,582,379.75	11.7
TOTAL FUND EXPENDITURES	12,806.93	208,570.25	1,790,950.00	1,582,379.75	11.7
NET REVENUE OVER EXPENDITURES	31,318.70	221,879.22	(461,950.00)	(683,829.22)	48.0

HYRUM CITY CORPORATION
BALANCE SHEET
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Section 11. Item C.

STORMWATER FUND

ASSETS

55-1010000	CASH IN COMBINED FUND	1,308,618.69	
55-1311000	ACCTS REC - STORMWATER	27,736.80	
55-1311001	ACCTS REC - PRIOR PERIOD	19,873.63	
55-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(66.80)	
55-1571000	DEFERRED OUTFLOW OF RESOURCES	6,640.00	
55-1611000	LAND & STOCK - STORM WATER	40,566.00	
55-1631000	STORM WATER IMPROVEMENTS	1,119,912.54	
55-1632000	DEPRECIATION - STORM WATER	(448,548.97)	
55-1651000	EQUIPMENT - STORMWATER UTILITY	225,244.55	
55-1652000	DEPRECIATION - STORM WATER EQU	(186,545.92)	
55-1711000	CONSTRUCTION IN PROGRESS	67,033.32	
TOTAL ASSETS			2,180,463.84

LIABILITIES AND EQUITY

LIABILITIES

55-2228000	ACCRUED VACATION - STORMWATER	4,624.64	
55-2228001	DEFERRED INFLOWS OF RESOURCES	16.00	
55-2228002	UNFUNDED PENSION PAYABLE	3,746.00	
55-2230100	ACCRUED SICK LEAVE - STORMWATE	9,303.91	
TOTAL LIABILITIES			17,690.55

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
55-2951000	STORMWATER FUND-UNAPPROPRIATED	1,908,079.96	
55-2971001	UNFUNDED PENSION ADJ.	(4,347.00)	
	REVENUE OVER EXPENDITURES - YTD	259,040.33	
BALANCE - CURRENT DATE		2,162,773.29	
TOTAL FUND EQUITY			2,162,773.29
TOTAL LIABILITIES AND EQUITY			2,180,463.84

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
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Section 11. Item C.

STORMWATER FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
	<u>UTILITY REVENUES</u>					
55-3740	STORM WATER INSPECTION FEES	1,800.00	8,250.00	15,000.00	6,750.00	55.0
55-3781	STORMWATER FEES	34,149.24	289,447.44	375,000.00	85,552.56	77.2
55-3791	INTEREST EARNINGS	4,863.52	42,282.66	50,500.00	8,217.34	83.7
	TOTAL UTILITY REVENUES	40,812.76	339,980.10	440,500.00	100,519.90	77.2
	TOTAL FUND REVENUE	40,812.76	339,980.10	440,500.00	100,519.90	77.2

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

Section 11. Item C.

STORMWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>STORMWATER DEPARTMENT</u>					
55-5500-110 SALARIES AND WAGES	1,430.32	14,525.59	20,500.00	5,974.41	70.9
55-5500-115 OVERTIME	85.71	1,115.96	1,000.00	(115.96)	111.6
55-5500-130 EMPLOYEE BENEFITS	657.56	6,567.97	10,100.00	3,532.03	65.0
55-5500-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
55-5500-230 TRAVEL & TRAINING	.00	480.00	1,000.00	520.00	48.0
55-5500-250 EQUIP SUPPLIES & MAINTENANCE	.00	.00	2,500.00	2,500.00	.0
55-5500-255 COLLECTION SYSTEM	.00	5,404.81	15,000.00	9,595.19	36.0
55-5500-280 TELEPHONE	18.00	162.00	225.00	63.00	72.0
55-5500-310 PROFESSIONAL SERVICES	2,305.80	22,880.35	30,000.00	7,119.65	76.3
55-5500-450 FLOOD CONTROL	488.83	1,677.80	3,000.00	1,322.20	55.9
55-5500-510 INSURANCE	.00	643.26	650.00	6.74	99.0
55-5500-750 NEW CONSTRUCTION	12,398.40	27,482.03	700,000.00	672,517.97	3.9
 TOTAL STORMWATER DEPARTMENT	 17,384.62	 80,939.77	 784,475.00	 703,535.23	 10.3
 TOTAL FUND EXPENDITURES	 17,384.62	 80,939.77	 784,475.00	 703,535.23	 10.3
 NET REVENUE OVER EXPENDITURES	 23,428.14	 259,040.33	 (343,975.00)	 (603,015.33)	 75.3

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

Section 11. Item C.

COURT TRUST FUND

ASSETS

72-1010000	CASH IN COMBINED FUND	(43,285.96)	
72-1111000	COURT BANK ACCOUNT		97,593.50	
72-1111001	FINES RECEIVABLE		117,138.00	
TOTAL ASSETS				171,445.54

LIABILITIES AND EQUITY

LIABILITIES

72-2131151	ACCTS PAY - J.P. COURT		13,742.76	
72-2131154	ACCTS PAY - TRUST ACCOUNT BAIL		33,192.78	
72-2140000	PAYABLES TO OTHER ENTITIES		124,510.00	
TOTAL LIABILITIES				171,445.54
TOTAL LIABILITIES AND EQUITY				171,445.54

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

Section 11. Item C.

FUND 90

ASSETS

90-1611000	LAND - GENERAL MUNICIPAL	1,343,999.91	
90-1621000	BUILDINGS - GENERAL MUNICIPAL	10,371,609.25	
90-1622000	DEPRECIATION - BUILDINGS	(6,197,869.08)	
90-1631000	IMPROVE - GEN MUNICIPAL	5,113,685.45	
90-1632000	DEPRECIATION - IMPROVEMENTS	(2,359,724.90)	
90-1651000	EQUIPMENT - GENERAL MUNICIPAL	4,808,426.90	
90-1652000	DEPRECIATION - EQUIPMENT	(3,170,421.41)	
90-1661000	INFRASTRUCTURE - ROADS	9,057,803.62	
90-1662000	DEPRECIATION - ROADS	(5,668,277.04)	
90-1671000	INFRASTRUCTURE-SIDEWALKS	2,348,161.83	
90-1672000	DEPRECIATION - SIDEWALKS	(1,863,724.45)	
90-1681000	INFRASTRUCTURE-CURB & GUTTER	1,242,632.31	
90-1682000	DEPRECIATION - CURB & GUTTER	(1,179,354.88)	
90-1711000	CONSTRUCTION IN PROGRESS	6,265,203.54	
TOTAL ASSETS			20,112,151.05

LIABILITIES AND EQUITY

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
90-2971000	INVEST IN GENERAL FIXED ASSETS	20,112,151.05	
BALANCE - CURRENT DATE		20,112,151.05	
TOTAL FUND EQUITY			20,112,151.05
TOTAL LIABILITIES AND EQUITY			20,112,151.05

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

Section 11. Item C.

FUND 95

ASSETS

95-1311411	LEVIED PROP TAXES REC 5 YEAR	6,597.85	
95-1571000	DEFERRED OUTFLOW OF RESOURCES	262,342.00	
95-1841000	SPEC FUND AMTS TO BE PROVIDED	175,820.68	
	TOTAL ASSETS		444,760.53

LIABILITIES AND EQUITY

LIABILITIES

95-2228000	ACCRUED VAC PAY - GENERAL	68,534.19	
95-2228001	DEFERRED INFLOWS OF RESOURCES	646.00	
95-2228002	UNFUNDED PENSION PAYABLE	148,015.00	
95-2230100	ACCRUED SICK LEAVE - GENERAL	162,424.49	
	TOTAL LIABILITIES		379,619.68

FUND EQUITY

	UNAPPROPRIATED FUND BALANCE:		
95-2971001	UNFUNDED PENSION ADJ.	58,543.00	
95-2972100	UNCOLLECTED PROPERTY TAX	6,597.85	
	BALANCE - CURRENT DATE	65,140.85	
	TOTAL FUND EQUITY		65,140.85
	TOTAL LIABILITIES AND EQUITY		444,760.53