



CITY COUNCIL MEETING

Thursday, May 01, 2025 at 6:30 PM
Council Chambers, 60 West Main, Hyrum, Utah

AGENDA

Public notice is hereby given of a Hyrum City Council Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 6:30 PM, May 01, 2025. The proposed agenda is as follows:

- 1. ROLL CALL**
- 2. CALL TO ORDER**
- 3. WELCOME**
- 4. PLEDGE OF ALLEGIANCE**
- 5. INVOCATION**
- 6. APPROVAL OF MINUTES**
- 7. AGENDA ADOPTION**
- 8. PUBLIC COMMENT**
- 9. SCHEDULED DELEGATIONS**
 - A. Kaylie Arnold - To request approval of a Home Occupation Business License for Kaylie Arnold Nail Studio at 811 West 20 North.**
 - B. Jesse Elsmore, Jardine Builders, LLC - To request site plan approval for Market 1860 for two (2) two-story mixed-use buildings located at 139 West Main Street & 127 West Main Street, consisting of 0.96 acres.**
 - C. Cory Waddoups, Unreasonable Capital Hyrum - To request approval to an amendment of the Final Plat for Harvest Valley Court P.U.D. consisting of 28 townhouses located at approximately 43 North 300 East to align its east boundary with Hyrum City's right-of-way.**
 - D. Luke Schmid, Assistant Fire Chief - To discuss Hyrum City authorizing a fire truck to be deployed on wildland fires.**
- 10. INTRODUCTION AND APPROVAL OF RESOLUTIONS AND ORDINANCES**
 - A. Resolution 25-10 - A resolution amending the Design Standards and Construction Specifications for Power and Light Construction in Hyrum City.**
 - B. Resolution 25-11 - A resolution amending Section XVI.5. Retirement and Section XVI.6. Cell Phone Reimbursement of the Personnel Policies and Procedures Manual for Hyrum City Corporation to provide a maximum of 2.5% 401k match for all benefited employees, and to set a stipend for city cell phone use.**

- C. [Resolution 25-12 - A resolution declaring certain Hyrum City equipment as surplus and ordering the sale or disposal thereof.](#)

11. OTHER BUSINESS

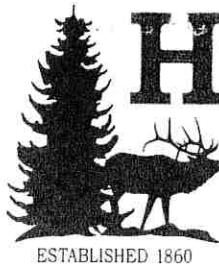
- A. Presentation of the 2025-2026 Operating Budgets.
- B. Set date for a Budget Workshop.
- C. [Budget Report.](#)
- D. Mayor and City Council reports.

12. ADJOURNMENT

Stephanie Fricke
City Recorder

Council Members may participate in the meeting via telephonic communication. If a Council Member does participate via telephonic communication, the Council Member will be on speakerphone. The speakerphone will be amplified so that the other Council Members and all other persons present in the Council Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City at 435-245-6033 at least three working days before the meeting.

CERTIFICATE OF POSTING - The undersigned, duly appointed and acting City Recorder of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was emailed to The Herald Journal, Logan, Utah, posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the governing body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this **28th day of April, 2025**. Stephanie Fricke, MMC, City Recorder.



HYRUM CITY

ESTABLISHED 1860

60 West Main Street
Hyrum, Utah 84319
435-245-6033
www.hyrumcity.com

BUSINESS LICENSE APPLICATION

Business Name: Kaylie Arnood Nail Studio

Doing Business As: Kaylie Arnold Nail Studio

Business Address: 811 W 20 N

Business Phone: 8017065290

E-mail: king.kaylie23@gmail.com Fax No. _____

Mailing Address: 811 W 20 N

City, State, Zip: Hyrum, UT 84319

State Tax ID: 33-3280216 State Lic.# 14540126-0160

Nature of Business: Nail Salon

Owner Name: Kaylie Arnold

Manager Name: Kaylie Arnold Manager Phone: 8017065290

811 W 20 N
Manager Address:

I certify that I am authorized agent for the above named business, and that all information is true and correct

Kaylie Arnold 02/10/2025

Signature _____ Date _____

Digitized by srujanika@gmail.com

Office Use Only

Approved by: _____ Date Approved: _____ Acct. # _____

Date Paid: _____ Amount: _____ Receipt #: _____



60 West Main Street
Hyrum, Utah 84319
435-245-6033
www.hyrumcity.com

HOME OCCUPATION BUSINESS LICENSE APPLICATION

For businesses operating within a residence in Hyrum City limits.

Applicant(s) Name: Kaylie Arnold

Date Submitted: 02/10/2025

Address: 811 W 20 N

Telephone #: 801-706-5290

Name of Business: Kaylie Arnold Nail Studio

1. What is the proposed home occupation? Nail Salon

2. How many clients will be coming to the home at any one time during a daily interval?
one

3. What provisions are available for off street parking? my entire driveway

4. What type of equipment, materials, machinery, tools, and merchandise stock are involved in the home occupation? e-file, air purifier, dust collector, LED/UV light, xgel polish and brushes, merchandise will be jewelry, lotions and cuticle oil

5. What type of modifications to the residential structure are anticipated because of the home occupation? none

ALL HOME OCCUPATIONS MUST COMPLY WITH THE FOLLOWING REQUIREMENTS OF
ZONING ORDINANCE 5.04.200 (please initial)

KA A. "Home occupation" means an occupation performed wholly within a residence or the yard and accessory buildings being a part of such residence. Home occupations shall not change the character of the residence or the residential neighborhood. A business license is required for some home occupations. They shall be issued for a one-year period and are renewable. The City Council may

review a license in reaction to neighbor's complaints and may revoke it if evidence warrants this action.

KA B. Two levels of home occupations exist. Both are required to maintain all of the standards of a home occupation business license. Because of the potential negative impact on residential area, the following businesses are prohibited as home occupations: auto/RV repairs, salvage yards, major appliance repair, or service.

KA C. Level one applicants are in occupation categories that the City Council has determined have virtually no negative impact on residential neighborhoods and do not require a license. Occasional businesses operated by a minor are not required to obtain a business license.

KA D. All applicants whose home occupations receive commercial delivery service, has signage advertising the business, performs services in view or hearing of the public, or has customers coming to the residence, are considered level two home occupations and require a license. They also may be required to meet with the City Council and explain how their home occupation is in conformance with the home occupation standards. The City Council may attach limitations or conditions to their licenses.

E. Home occupation standards:

KA 1. The exterior of the home will not be modified in any way to accommodate the home occupation (i.e. loading ramps, loading doors, etc).

KA 2. The occupation will be conducted entirely within the house, yard, and existing outbuildings.

KA 3. The home occupation license covers only residents of the home.

KA 4. No outside storage of goods or materials is permitted.

KA 5. Pedestrian and vehicular traffic will not be in excess of that normally associated with a residential neighborhood.

KA 6. One sign will be permitted on the property. It must meet the requirements of 17.72.010 "Name Plate".

KA 7. The home occupation must be operated in full conformity with fire, health, building, electrical, plumbing codes, and all State and City laws and ordinances.

KA 8. No noise, odor, light, vibrations or dust in excess of that normally associated with a residential neighborhood shall pass beyond the premises.

KA 10. State licenses will be required for "Professional Child Care".

KA F. The City Council may, at their discretion, waive certain of the above standards for the elderly or handicapped.

In order to guarantee that the Home Occupation, once authorized, will not become a nuisance to the neighbors, the City Council may impose other reasonable conditions initially and also subsequently to protect the public health, safety, peace, and welfare of the residents of the surrounding area.

Applicant's Affidavit: I (we), Kaylie Arnold, affirm that I (we) am (are) the owner(s) or authorized agent(s) of the owner of property involved in the attached application and that the statements and answers therein contained and the information provided in the attached plans and other exhibits are complete, to the best of my (our) knowledge and, that the statements and information above referred to are in all respects true

and correct to the best of my (our) knowledge and belief.

Property Owner(s) Signature: _____ Kaylie Arnold _____

Applicants Signature: _____ Kaylie Arnold _____

Section 9. Item A.



MEMORANDUM

TO: Mayor Miller, City Council Members

FROM: Tony Ekins, City Planner

SUBJECT: Jesse Elsmore, Jardine Builders, LLC – To request site plan approval for two (2) two-story mixed-use buildings located at 139 West Main Street & 127 West Main Street, consisting of 0.96 acres.

DATE: April 28, 2025

CITY COUNCIL MEETING: May 1, 2025
CITY COUNCIL ROLE: Administrative
APPLICATION TYPE: Site Plan Approval

NATURE OF REQUEST:
 Permitted Use: Mixed Use Commercial.

OVERVIEW:
 On January 28, 2025, Hyrum City received an application for Site Plan Approval for The Market 1860 project which includes two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The footprint of each building is planned at 40-feet by 70-feet. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter. The second level in each building will consist of six and seven short-term hotel style residential units with single and double-bed units. Each building will also include a common laundry facility on the same floor.

On March 27, 2025, the Planning Commission recommended approval of the mixed-use to the City Council for the main level commercial space and second level short-term hotel style residential units, as the *Hotel or Motel* use is specifically defined and permitted in the Commercial Zone C-2:

HCC 17.04.020 Definitions

Hotel or motel - “Hotel” or “motel” means any building which is designed to offer temporary abiding space to individuals and family. To be classified as a hotel or motel, it shall contain individual guest rooms and provide services such as linens and furnishings.

HCC 17.45.020 Use Regulations

- A. Permitted Uses:
 - 4. *Hotel or motel*

PLANNING COMMISSION RECOMMENDATION:

On February 13, 2025, the applicant presented to the Planning Commission a request for site plan approval. The Planning Commission recommended the requestor to respond to staff evaluation first review comments and schedule a second meeting. On March 27, 2025, the Planning Commission held a second meeting and made a motion to recommend approval to the City Council (4-0 Vote) for site improvements, first-level commercial, and second-level short-term hotel based on applicant submittals, staff evaluations, staff comments are addressed, and ADA parking requirements are accommodated. On April 21, 2025, the City received updated documents with responses to Staff Comments, and updated Scope Narrative that redefined second levels in each building as "Hospitality Boutique Units".

CITY COUNCIL RESPONSIBILITY:

1. The City Council should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.
2. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission for significant revisions.

STAFF RECOMMENDATION:

1. Hyrum City Code does not describe "Hospitality Boutique Units" and staff recommends the City Council have a thorough discussion to determine if "Hospitality Boutique Units" meets the qualifying Hotel or motel requirements as defined in HCC 17.04 Definitions and HCC 17.45 Commercial Zone C-2.
2. Parcels 01-050-0023 and 01-050-0024 be combined and recorded to the Cache County Recorder's Office as one (1) parcel prior to issuance of building and sign permits.
3. Recommends the new water meters be in a manifold vault design as illustrated in Hyrum City Construction Standards.
4. See City Engineers recommendations in attachments in blue text.

STIPULATIONS:

1. Approval of the site plan shall be effective for one (1) year from the date of final approval by the City Council. If construction has not begun during that period, or an extended by the City Council, the site plan approval is void and applicant shall be required to submit a new site plan for review and approval subject to the then existing provisions of this code as regulated by HCC 17.08 Administration and Enforcement.
2. Changes in use from those approved by this Site Plan Approval will require a site plan or site plan waiver as regulated by HCC 17.08 Administration and Enforcement.
3. The applicant will submit and obtain a building permit as regulated by HCC 15.08 Building and Construction.
4. The applicant will submit and obtain a sign permit as regulated by HCC 17.72 Signs.

FINDINGS OF FACT:

1. The property is located in the Commercial Zone C-2.
2. Mixed Commercial Uses are a permitted use in the Commercial Zone C-2.

ATTACHMENTS:

1. Staff Evaluations March 25, 2025/February 13, 2025 with updated Applicant Submittals:
2. Storm Water Calculations: Received April 21, 2025



PLANNING COMMISSION STAFF EVALUATION – SECOND REVIEW

APPLICATION NO: 25-002A

APPLICANT: Jesse Elsmore, Jardine Builders, LLC

PROPERTY OWNER: Andrea Nielsen / John Kimball Jr & Virginia Francis

PROPERTY ADDRESS: 139 West Main Street & 127 West Main Street

PARCEL NUMBER: 01-050-0023 & 01-050-0024

PARCEL AREA: 01-050-0023 = .33 Acres / 01-050-0024 = 0.63 Acres (0.96 Acres)

ZONE: Commercial Zone C-2

DATE: March 25, 2025

PLANNING COMMISSION MEETING:

March 27, 2025 (Special Meeting)

PLANNING COMMISSION ROLE:

Recommending Body to City Council

APPLICATION TYPE:

Site Plan Approval

NATURE OF REQUEST:

Permitted Use: Mixed Use Commercial.

CURRENT ZONING DISTRICT:

Commercial Zone C-2: The C-2 Downtown Mixed-Use Zone is designed to preserve the mixed-use nature and feel of downtown Hyrum, providing for office, commercial, and residential uses within a mixed-use setting. A major objective of the C-2 Downtown Mixed-Use Zone is to create aesthetically pleasing streetscapes with landscaping that buffers sidewalks from major vehicular traffic ways, landscape features, recreational amenities, and social gathering areas that promote a walkable community.

OVERVIEW:

(updated). The applicant would like to develop the property with two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter. See Applicant's Scope Narrative additional site improvements.

UTILITIES: Existing Power, Sewer, Water, Irrigation servicing 127 West Main Street are for a Single-Family Residential Home. Upgrades will need to be built/installed.

STAFF COMMENTS:

Requestor responses in red

Planning and Zoning:

1. The Planning Commission recommend site plan approval to the City Council based on the applicants compliance with staff evaluations and staff comments, applicant

submittals, and any additional Planning Commission recommendations. The City Council can require revisions as necessary.

- *Understand*

2. The dwelling unit(s) in each building engage the following code requirements to require a separate sewer lateral to each building for a total of two (2) sewer laterals:
 - a. Hyrum City Code 17.04.070 Definitions: "Dwelling unit" means one or more rooms in a dwelling, apartment hotel or apartment motel, designed to be occupied by one family for living and sleeping purposes.
 - b. Hyrum City General Requirements and Specifications for Sanitary Sewer Installations 5.2.1.C. Design Regulations: Each dwelling unit shall be served by an individual lateral.
 - c. (Reference Sewer Department Comment #1 in Staff Evaluation First Review)
 - *Separate sewer laterals have been provided and a 3rd was added for the first floor commercial units in the East building where potential restaurant spaces may be built-out*

Engineering:

1. See attached comments contained on Site Plan – Second Review.
 - *Comments and subsequent direction from the City have been incorporated in this update of the Site Plan*
2. Provide stormwater calculations and data. Table A was not provided in the submittal, see Engineering comments on sheet: 2 of 10.
 - *Storm water calculations are included with this Site Plan update*
3. The utility plan is lacking information, see Engineering comments on sheet: 2 of 10.
 - *Utility plan has been updated to include 8-inch water lateral and 4 water meters*
4. Streetscape requirements are not being shown as required by Hyrum City Code 17.45.090 Streetscape Features.
 - *Project consists of a 165-foot street frontage which requires 6 streetscape features (1 for every 30 feet). Site plan includes and calls out the following streetscape features: 2 trees, 2 park benches, and 2 planter areas, 1 existing street lamp*

Sewer Department:

1. Each dwelling unit shall be served by an individual lateral per Construction Standard 5.2.1.C. Drawings show one shared lateral for two dwellings which is not to standard. (Reference Sewer Department Comment #1 in Staff Evaluation First Review)
 - *Separate sewer laterals have been provided and a 3rd was added for the first floor commercial units in the East building where potential restaurant spaces may be built-out.*

Water / Irrigation Department:

1. If the original water meter and lateral is used as part of the total of four (4) new, the existing water meter and lateral will need to be updated to comply with Hyrum City Code 13.04 Water System; Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines and Secondary Pressure Irrigation Installations. (Reference Water / Irrigation Comment #1 in Staff Evaluation First Review)
 - *Utility plan has been updated to include 4 new water meters, existing meter will be removed and lateral abandoned per city requirements*
2. If the existing water meter and lateral is not used as part of the total of four (4) new, the existing water meter shall be removed, and the existing water lateral will be removed at main line and the main line be capped. (Reference Water / Irrigation Comment #1 in Staff Evaluation First Review)
 - *Site plan shows existing water meter will be removed and lateral abandoned per city requirements.*

STAFF EVALUATION FIRST REVIEW - Planning Commission: February 13, 2025**Requestor responses in red****Planning and Zoning:**

1. Staff supports a Mixed Use of Commercial and Hotel as permitted in HCC 17.45.020 Use Regulations.
 - Yes!
2. Staff did not receive the required Lighting Plan submittal. HCC 17.45.120 requires that each site plan shall include a lighting plan.
 - *Lighting Plan has since been completed and submitted with Site Plan documents*
3. Staff does not support the west building crossing the east property line of property parcel: 01-050-0023 as proposed on the site plan and recommends combining the two property parcels. HCC 17.45.050 Yard Regulations – Commercial Use may permit a zero-yard setback at a property line at a qualifying location; however, it does not qualify a building to encroach beyond a property parcel. If the applicant desires to relocate the said building to a conforming location on the parcel, Staff will request the following revisions to the site plan:
 - a. Each property parcel is serviced by separate power, sewer, water and water meters, fire line (if required), and irrigation connections to main lines; and
 - *Parcel 0023 and 0024 are owned by individual Market 1860 partners; partners are in process of selling & transferring ownership to the Market 1860 entity which will result in single ownership. Applicant requests that Commission allow Site Plan Approval on condition that this is completed before issue of building permit*
 - b. Cross access agreements need to be prepared and recorded to each property parcel for UDOT driveway approach interior parking.
 - *Cross access agreement has been addressed with UDOT and per UDOT will not be signed until issue of building permit*
4. The site plan proposes parking stalls to be a minimum of eight (8) feet in width and does not identify the proposed parking stall depth. In the C-2 Zone, HCC 17.45.210.C. Off-Street Parking – Special Requirements requires the site plan to provide nine (9) feet by twenty (20) feet parking stalls.
 - *Parking stall sizes have been revised to 9 feet wide by 20 feet deep*
5. The applicant did not submit a total parking stall count on the site plan. Staff supports the required parking of one (1) space per each unit, room, or guest accommodation as regulated in HCC 17.45.200 Off Street Parking – Specific Requirements which reserves a total of twelve (12) parking spaces for the Hotel Use.
 - *Parking totals 54 stalls, includes 1 ADA stall & 1 ADA Van Accessible Stall*
6. Without the applicant providing the exact square feet of proposed commercial uses (excluding storage areas, restrooms, office areas, etc.) Staff cannot verify the required off-street parking requirements regulated in HCC 17.45.200 Off-Street Parking – Specific Requirements to conclude parking requirements.
 - *Total commercial floor space is 4,050 SF (2,100 SF in West, 1,950 SF in East)*
 - *Breakdown of estimated commercial use is as follows:*
 - *Retail / Market = 2,100 SF (requires 1 per 250 SF = 8 stalls)*
 - *Single Office = 224 SF (requires 1 per employee = 1 stall)*
 - *Restaurant / Café = 1,275 (requires 1 per 40 SF = 32 stalls)*
 - *Hotel Space = 13 units (requires 1 per unit = 13 stalls)*
 - *Total stalls required = 54*
7. The site plan shows the cedar fence terminating at the south portion of the paved parking lot. The parking lot is still facing adjoining neighbor properties. HCC 17.45.050 Yard Regulations – Commercial Use requires the fence to continue south on both east and west property line and along the south property line enclosing the development.

- *Cedar fence continues along west, south, and east property lines*

8. *The Trash Enclosure requirements in the C-2 Zone, HCC 17.45.055 Trash Enclosure Regulations – Commercial Use requires that enclosures shall be located away from main traffic areas and sheltered from street sight as much as possible. Staff recommends relocating the Trash Enclosure from the current location within the main traffic area and street sight to a conforming location on the site.*
 - *Trash enclosure relocated to back of parking lot, hidden from street view behind west building, >50' from residential zoning. Have assumed doublesize dumpster enclosure in site plan*
9. *A building permit will be required for building structures as regulated by HCC Section 15.08 Building Permits.*
 - *Understood*
10. *All construction shall comply with Hyrum City Design Standards and Construction Specifications.*
 - *Understood*

Engineering:

1. *See comments contained on Site Plan.*
 - *Site Plan updated per comments*

Fire Department:

1. *Water flow, we need 1750 GPM at the hydrant for 2 hours. If it is less than that the entire building will need to be sprinklered.*
 - *Fire sprinklers are planned for each building, on both floor levels*
2. *The upstairs hotel/apartments is a R-1, it is required to have Sprinklers.*
 - *Fire sprinklers are planned for each building, on both floor levels*
3. *We need 26' of clearance on driveway and on all sides of parking for fire apparatus access lot see drawings.*
 - *26' driveway clearance has been provided and extends to back side of buildings*
4. *What type of building construction?*
 - *Wood frame construction with structural steel elements*
5. *Each unit will need to be reviewed and inspected as built out.*
 - *Understood*

Parks Department:

1. *No comments or concerns.*
 - *Yes!*

Power Department:

1. *Staff requests the applicant contact the Power Department to schedule an initial onsite meeting to verify all existing electrical utilities.*
 - *Understood, this will happen immediately following site plan approval*
2. *The applicant must complete and submit the required Commercial Structure Load Data Sheet to the Power Department. The Load Data Sheet is available in Section 7 General Requirements and Specifications for Electrical Installations in Hyrum City Design Standards and Construction Specifications.*
 - *Load data sheet has been completed and will be submitted immediately following site plan approval*
3. *All construction specific to electrical work shall verify compliance with Section 7 General Requirements and Specifications for Electrical Installations in Hyrum City Design Standards and Construction Specifications.*
 - *Understood, electrical systems will be designed by Sine Source Engineering*
4. *Applicant must maintain and clearance of 10 feet around the interior overhead service line on the property. At the applicant's request, the Power Department can provide visual ribbon indicators on the overhead line to help maintain visual clearance.*
 - *Understood, visual ribbon indicators will be requested during construction*

Road / Stormwater Department:

1. An NOI is generally not required for disturbances less than one (1) acre that are not part of a larger common plan of development project, however, it is the responsibility of the applicant to confirm any and all exemptions pursuant to HCC 13.18.110 Notice of Intent (NOI) – Exemptions. While an NOI is not typically required, applicant is responsible to control Stormwater and Erosion & Pollution on and from the site.
 - *If required, contractor will file an NOI; regardless; BMPs will be installed and maintain during construction until all permanent landscaping and stormwater systems are completed*
2. All public rights of way permits, construction and improvements, and traffic control on Main Street are the Powers and Duties of Utah Department of Transportation.
 - *Understood, applicant has already engaged in permits and discussions with UDOT regarding this project and will continue to do so*
3. Hyrum City may enforce provisions and all other ordinances relating to the maintenance and use of streets, culverts, drains, ditches, waterways, curbs, gutters, sidewalks and other public ways; and the repair or cause to be repaired, all defects coming to the Hyrum City Department of Streets attention and make reasonable precautions to protect the public from injuries due to such defects pending their repair pursuant to HCC 2.36.030. Powers and Duties.
 - *Understood*

Sewer Department:

1. Staff recommends the engineer verify the existing sewer lateral and design a new lateral for peak flow for both buildings, and demonstrate on the plans the material, quality and specifications as regulated by HCC 13.12.200 Service and Other Pipes – Material, Quality and Specifications – Alteration or Inspection.
 - *Understood, sewer line size shown on Site Plan, existing laterals to be abandoned*
2. For any proposed use or future use that will introduce or cause to be introduced into the Publicly Owned Treatment Works (POTW) or any pollutant or wastewater which causes to pass through or interference, the applicant must comply with HCC Section 13.13 Wastewater Pretreatment, whether or not the source is subject to categorical Pretreatment Standards or any other National, State or Local Pretreatment Standards for requirements.
 - *Understood, additionally it is anticipated that a grease trap will be provided for restaurant spaces*
3. All construction specific to sanitary sewer shall verify compliance with Section 5 General Requirements and Specifications for Sanitary Sewer Installations in Hyrum City Design Standards and Construction Specifications.
 - *Understood*

Water / Irrigation Department:

1. HCC 13.04.180 Separate Connections Required for Each User regulates that each service user cannot be supplied from the same service pipe, connection or water meter unless special permission for such combination usage has been granted by the governing body. Staff recommends that each user have its own water service (tentatively 2 meters for main level commercial uses, and 1 meter for upper-level hotel uses for each building).
 - *Understood, owner would like to request a single meter for each floor-level in each building (4 meters total)*
2. Staff recommends that all meters be installed in a meter vault for multiple meters for 3/4" to 1-1/2" meters as approved in Section 6 of the Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations.

- *Understood*

3. *Staff recommends that each service to commercial uses be a minimum of 1-1/2" to ensure adequate future flows.*
 - *Understood*
4. *If the mixed commercial use and hotel use requires a fire sprinkler system required by the International Fire Code and requires an additional fire line connection to the water main, the fire line connections shall comply with Section 6 Hyrum City General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations.*
 - *Understood*
5. *All construction specific to sanitary sewers shall verify compliance with Section 5 General Requirements and Specifications for Potable Water Mains, Service Lines, and Secondary Pressure Irrigation Installations in Hyrum City Design Standards and Construction Specifications.*
 - *Understood*

PLANNING COMMISSION RESPONSIBILITY:

1. Site plan approval is a function of the Planning Commission which has a wide latitude in specifying conditions and requirements for approval.
2. The Planning Commission should have a thorough discussion of the site plan, staff comments, and specifying conditions and requirements for approval.
3. The Planning Commission is a recommending body to the City Council and should be specific in their motion to the City Council.

STAFF RECOMMENDATION:

1. The Planning Commission recommend site plan approval to the City Council based on the applicants compliance with staff evaluations and staff comments, applicant submittals, and any additional Planning Commission recommendations. The City Council can require revisions as necessary.

STIPULATIONS:

1. The City Council may approve, disapprove, approve with additional conditions and requirements, or require the requestor to return to the Planning Commission with revisions; or require the applicant to return revisions to the City Council.
2. Final Approval must be obtained from the City Council. Following final approval, the requestor will provide final approval documents to staff for the issuance of a permitted use permit, issuance of Hyrum City Approval final approval documents, and issuance of notification to attend a pre-construction meeting.

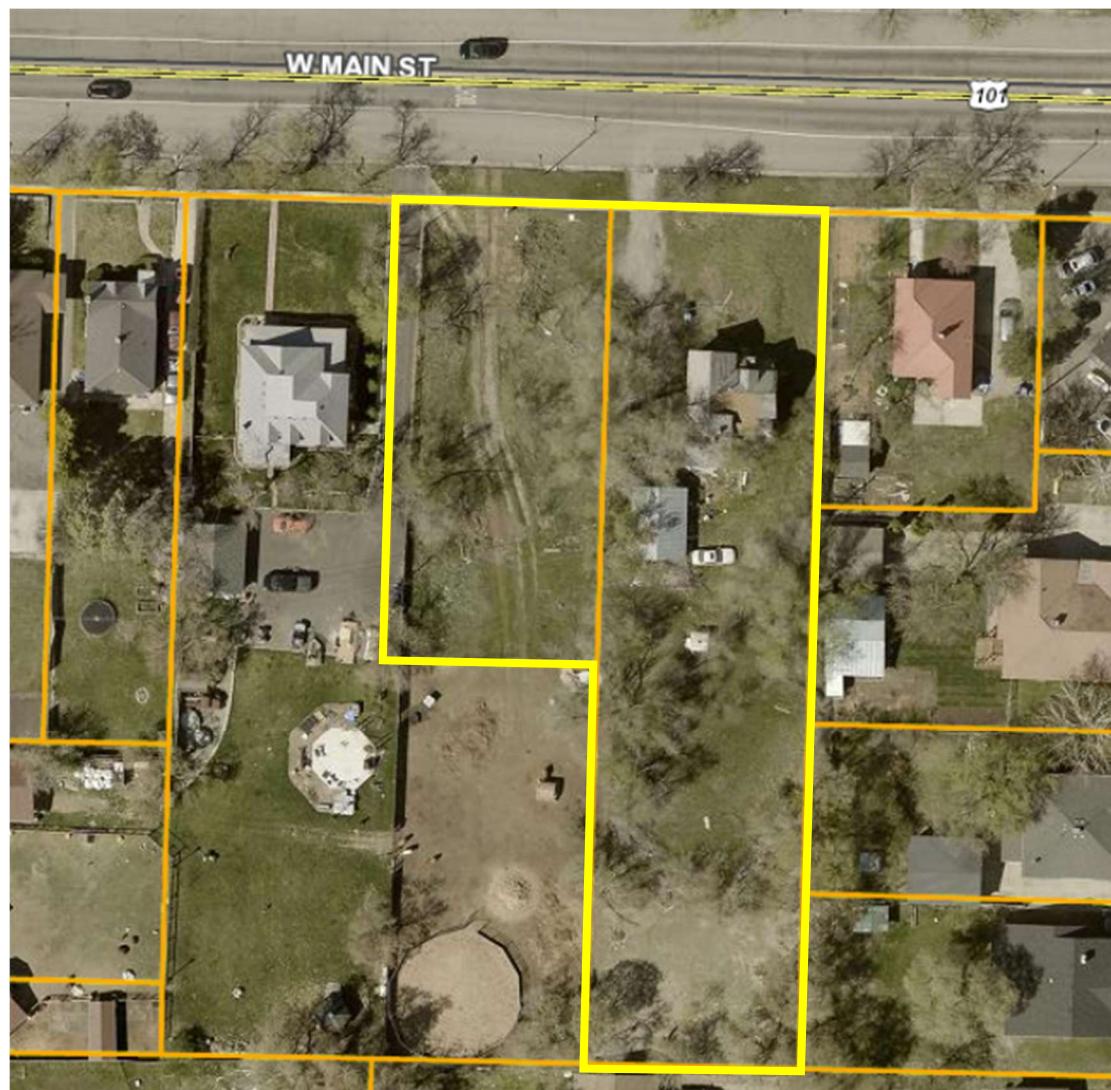
FINDINGS OF FACT:

1. The property is located in the Commercial Zone C-2.
2. Mixed Commercial Uses are a permitted use in the Commercial Zone C-2.

ATTACHMENTS:

1. Cache County Parcel and Zoning Viewer – Aerial View
2. Hyrum Market 1860 Scope Narrative – Updated
3. Hyrum Market 1860 Conceptual Building Exterior Elevation – Updated
4. Hyrum Market 1860 Site Plan Submittal – Updated
5. Hyrum Market 1860 Lighting Plan – Updated

Cache County Parcel and Zoning Viewer – Aerial Image



Hyrum City
60 West Main Street
Hyrum, UT 84319

Subject: Market 1860 Site Plan Approval

Attn: Hyrum City Council Members

Scope Narrative

The Market 1860 project includes two identical mixed-use buildings consisting of first-level commercial space and second-level residential rental units. The footprint of each building is planned at 40-feet by 70-feet with a conventional peaked roof line down the longitudinal center of the building. The first-floor commercial space in each building will be divided into two (north and south) units. Parking and landscape areas will be constructed behind the buildings and open patio and outdoor dining areas will wrap the building perimeter.

The two commercial spaces in the west building will consist of open classrooms, conference, and market space with a small demonstration kitchen, restrooms, storage and mechanical room. The two units will be constructed with an open hallway so that the spaces can be used simultaneously if needed. One purpose of these units is to provide a place for community events available for rent or use depending on the function or activity. It may be utilized by home-school groups, small training classrooms, farmer's or craft markets, non-profit organizations, and more.

The commercial space in the east building will consist of two café, bakery, or restaurant-type lease units. The owner's intent is to construct the two units as shell-space and allow tenants the opportunity to finish the space according to business needs.

The second level in each building will consist of six and seven (13 total) hospitality boutique units with single and double bed units. Each building will also include a common laundry facility on the same floor. The hospitality units will be accessible by two stairways and secured first-level exterior doors located on the back and shared patio side between buildings. An elevator will be provided in the East Building for ADA access to the second floor.

Landscaping Plan

Landscaping will include 15-foot-wide green space along the east and west perimeter of the site as well as small landscape areas near the buildings. Vegetation will include trees, lawn, native grass, flowers, and shrubs. Landscaping will be meticulously maintained to attract renters to the short-term rental units and commercial businesses.

Storm water will be managed on site by surface collection to catch basins and dispersed through underground infiltration basins.

Market 1860 -

Ownership

Annette Francis (Hyrum, UT)

Andrea Nielsen (Hyrum, UT)

Amy Knight (Park City, UT)

Design-Builder

Jardine Builders, LLC (Millville & Centerville, UT)

Architect & Engineers

Architect – Gary Hunt Architect, P.C. (Syracuse, UT)

Civil & Structural – Beyler Engineering (Lakewood, WA)

Mechanical – VBFA (Logan, UT)

Electrical – Sine Source Engineering (Logan, UT)

Geotechnical – Civil Solutions Group (Logan, UT)

MARKET 1860
CONCEPTUAL ELEVATION

Section 9. Item B.

DETAILS, COLORS, VEGETATION, ENTRANCE &
ARCHITECTURAL FEATURES SUBJECT TO CHANGE
BEFORE BUILDING PERMIT



East Building North Elevation

SCALE: 1/4" = 1'-0"

C1
A2.1

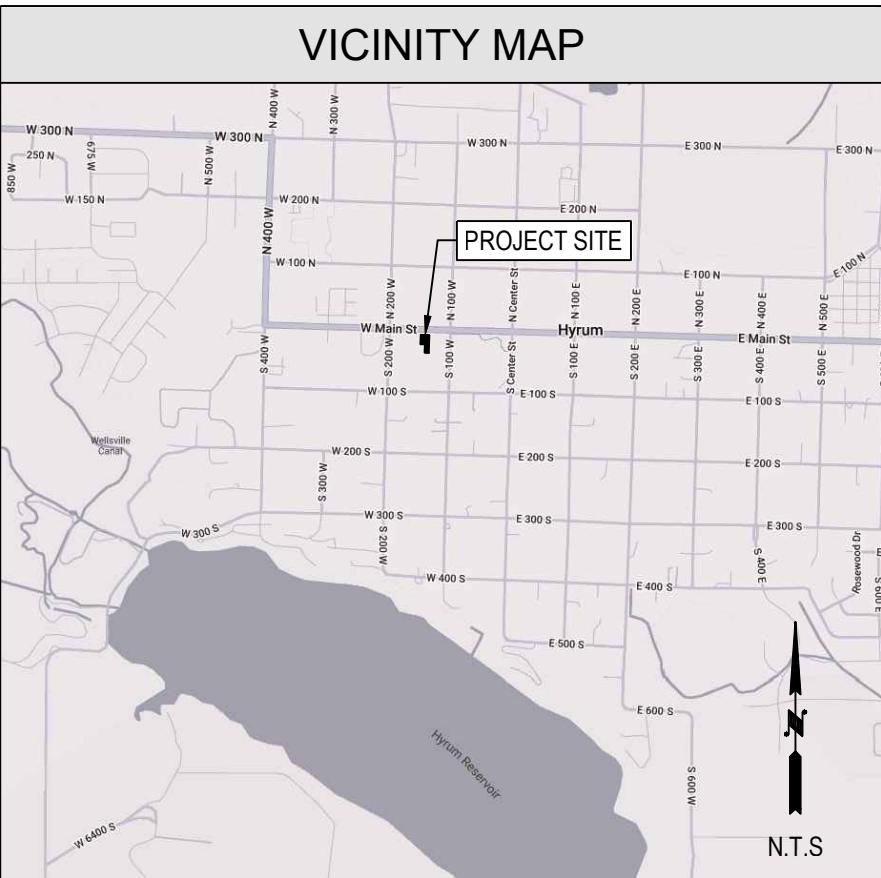


SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024

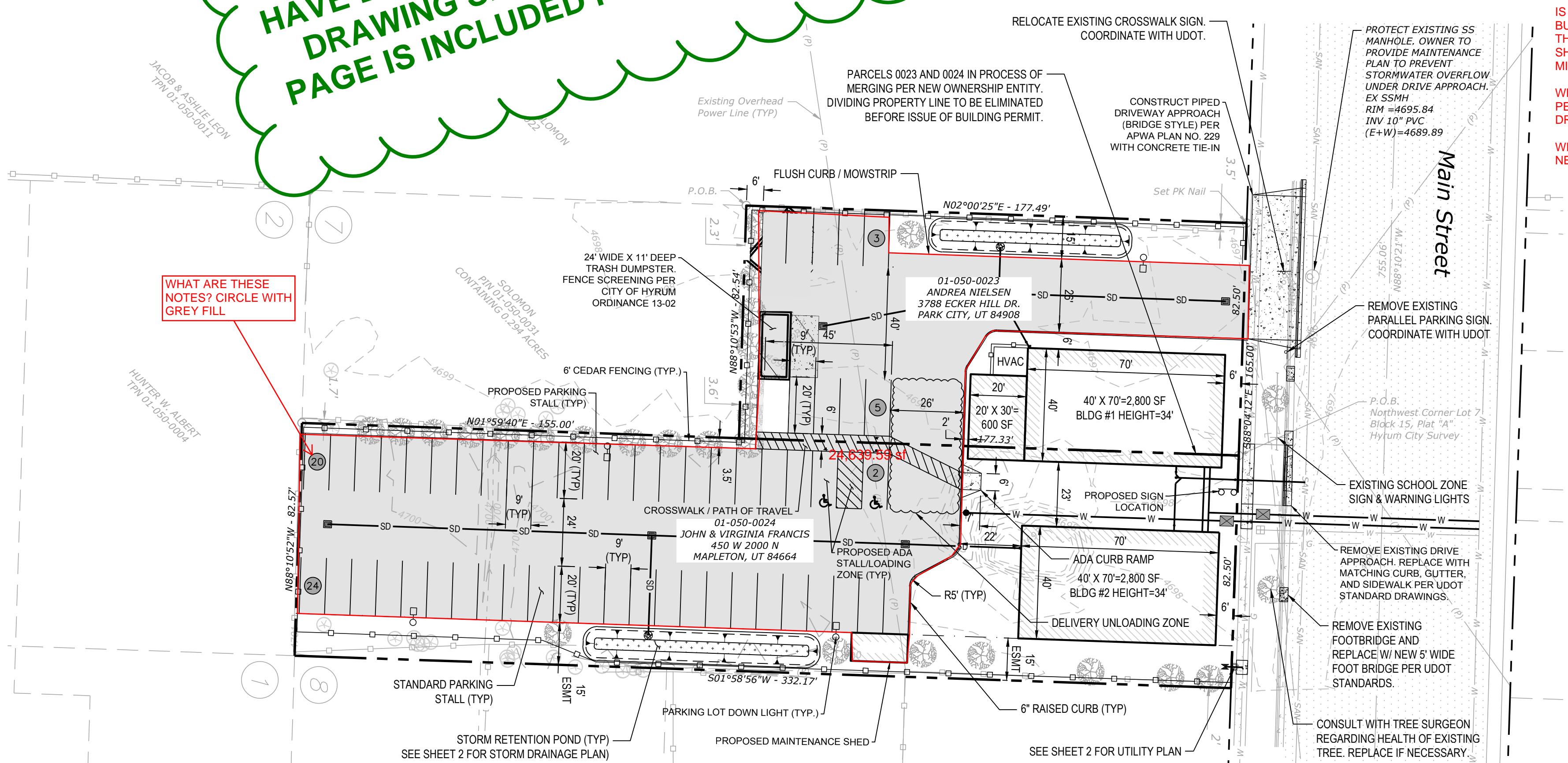
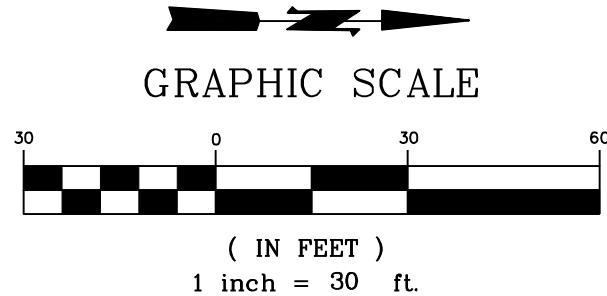


CIVIL ABBREVIATIONS	
BSBL	BUILDING SETBACK LINE
CB	CATCH BASIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DUCTILE IRON
FH	FIRE HYDRANT
HP	HIGH POINT
LP	LOW POINT
MH	MANHOLE
PGHS	POLLUTION GENERATING HARD SURFACE
PVC	POLYVINYLCHLORIDE
RPBA	REDUCED PRESSURE BACKFLOW PREVENTOR
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSFM	SANITARY SEWER FORCE MAIN
SSMH	SANITARY SEWER MANHOLE
UBC	UNIFORM BUILDING CODE
WM	WATER METER
XFMR	TRANSFORMER
WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

EXISTING UTILITIES	
W	EX WATER LINE
EX METER	
G	EX GAS LINE
P	EX U/G POWER LINE
(P)	EX OVERHEAD POWER LINE
COM	EX U/G COMMUNICATION LINE
EX LIGHT POLE	
EX POWER POLE	
EX SEWER PIPE	
EX SANITARY MH/CO	

LEGEND	
—	EX PROPERTY BOUNDARY
—	EX RIGHT-OF-WAY
—	EX CENTERLINE
—	EX LOT LINE
—	EX MAJOR CONTOURS
—	EX MINOR CONTOURS
—	EX ASPHALT
—	EX CONCRETE
—	EX CURBING
—	EX WOOD FENCE
—	EX SIGN
ASPHALT PAVEMENT	
CONCRETE	
LANDSCAPING	
BUILDING SETBACK	
WOOD FENCE	
WHEEL STOP	
TREE	
SD	STORM DRAINAGE PIPE
POND BOTTOM	
RIP RAP PAD	
ROOF DOWNSPOUT	
STORM CLEANOUT	
AREA DRAIN / CATCH BASIN TYPE 1	
FLOW ARROW/SLOPE ARROW	
SSS	SANITARY SEWER LATERAL
—	SANITARY CLEANOUT
W	WATER SERVICE / FIRE LINE
WATER METER	
IRRIGATION CONTROL VALVE	
—	LIGHT POLE

CITY COMMENTS SHOWN ON THIS PAGE
HAVE BEEN ADDRESSED ON THE UPDATED
DRAWING SHEETS THAT FOLLOW. THIS
PAGE IS INCLUDED FOR REFERENCE ONLY



IS THE PLAN STILL TO PROVIDE SIDEWALKS IN BETWEEN THE BUILDINGS? THESE NEED TO BE SHOWN AND INCORPORATED INTO THE STORMWATER CALCULATIONS. DRAINAGE PATTERNS NEED TO BE SHOWN FOR THESE AREAS. ADA PATHS NEED TO BE PROVIDED AT A MINIMUM.

WHAT KIND OF INFILTRATION DO YOU EXPECT? HAVE ANY PERCOLATION TESTS BEEN DONE TO SHOW THAT THE WATER WILL DRAIN DOWN WITHIN 72 HOURS?

WILL THE PROXIMITY OF THESE BASINS CAUSE ANY ISSUES TO THE NEARBY STRUCTURES ON THE OTHER LOTS?

SHEET INDEX	
1- COVER SHEET / SITE PLAN	
2- STORM DRAINAGE AND UTILITY PLAN	
3- NOTES AND DETAILS SHEET 1	
4- NOTES AND DETAILS SHEET 2	
5- NOTES AND DETAILS SHEET 3	
6- NOTES AND DETAILS SHEET 4	
7- NOTES AND DETAILS SHEET 5	
8- NOTES AND DETAILS SHEET 6	
9- NOTES AND DETAILS SHEET 7	
10- NOTES AND DETAILS SHEET 8	

BUILDING INFORMATION	
2 - 40'X70' 2-STORY WOOD FRAME STRUCTURES.	
MAIN FLOOR RETAIL	
UPPER FLOOR SHORT TERM RENTAL UNITS	
3 - 10'X20' STORAGE SHEDS	
34' MAX BUILDING HEIGHT	

SITE DATA	
PARCEL NUMBER(S):	
PIN 01-050-0023	
ANDREA NIELSEN	
3788 ECKER HILL DR.	
PARK CITY, UT 84098	
PIN 01-050-0024	
JOHN & VIRGINIA FRANCIS	
450 W 2000 N	
MAPLETON, UT 84664	
SITE ADDRESS:	
127 WEST MAIN STREET, HYRUM, UT	
PROPERTY AREA:	
0.63 ac	
ZONING:	
ZONING - C-2 OVERLAY	
15 FT SIDE SETBACKS AGAINST	
RESIDENTIAL	
NO SETBACKS REQUIRED.	
PARKING:	
STANDARD PARKING: 52 STALLS	
ADA PARKING: 2 STALLS	
TOTAL: 54 STALLS	

HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS

WASHINGTON

DESIGNED: LCB/EJM DRAWN: EJM CHECKED: LCB DATE: 3/19/2025

HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS

WASHINGTON

DESIGNED: LCB/EJM DRAWN: EJM CHECKED: LCB DATE: 3/19/2025

CITY ENGINEER APPROVAL
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

JOB NUMBER 24.00160
SHEET 1 OF 10
CITY ENGINEER DATE

UDOT RIGHT-OF-WAY (MAIN STREET) NOTES	
1. CONTRACTOR TO USE TRENCHLESS CONSTRUCTION UNLESS SUFFICIENT REASON IS GIVEN FOR OPEN TRENCH CONSTRUCTION.	
2. ALL UTILITY TRENCHES TO BE CUT AT RIGHT ANGLES TO TRAVEL LANES. TEMPORARY PATCHES REQUIRE AT LEAST 2-INCH ROTOMILLING APPROACHING AND LEAVING THE PATCH IN ALL TRAVEL LANES IMPACTED BEFORE FINAL T-PATCH ASPHALT PLACEMENT PER APWA PLAN NO. 255.	
3. ALL FINAL PARALLEL SAWCUT LINES OR ROTOMILLING MUST BE LOCATED EITHER AT DESIGNED LANE LINES OR DESIGNED CENTER OF LANE. SAWCUTS MUST BE CLEANED AND TACK-COAT APPLIED BEFORE ASPHALT PLACEMENT	
4. ALL TRENCHES FOR LATERALS WITHIN A 100 FT DISTANCE MUST HAVE 2 INCH MILL AND REPLACED AS A SINGLE PATCH. SINGLE LATERALS REQUIRE A 2 INCH MILL FOR 20FT EACH DIRECTION	
5. ALL ASPHALT CONSTRUCTION WITHIN UDOT RIGHT-OF-WAY TO MATCH EXISTING HOT MIX ASPHALT (HMA) SHALL BE PG-GRADE 64-34 ASPHALT BINDER, 1/2 INCH NOMINAL MAX, 7.75-115 GYRATION PER UDOT STANDARD SPECIFICATION 02741; OVER 6 INCHES UNTREATED BASE COURSE (UTBC) PER UDOT SPECIFICATION 02721; OVER 11 INCHES GRANULAR BORROW (GB) PER UDOT SPECIFICATION 02056 (WHICHEVER IS GREATER). PROVIDE DOCUMENTATION OF COMPACTION FROM A UDOT-QUALIFIED LABORATORY.	
6. PAVEMENT SEALING - CHIP SEAL TYPE II WITH EMULSION LMCRS-2 PER UDOT STANDARD SPECIFICATION 02785 (ESTIMATED APPLICATION RATE OF 0.45 GAL/SQ YD) IS REQUIRED ON ALL NEW PAVEMENT WITHIN UDOT RIGHT-OF-WAY.	

PROJECT INFO	
CLIENT: MARKET 1860 LLC	ENGINEER: BEYLER CONSULTING
	5920 100TH ST SW, STE 25
	LAKWOOD, WA 98499
	CONTACT: LANDON BEYLER, P.E.
	TEL: 253-984-2900
DESIGNED: LCB/EJM	DRAWN: EJM
HECKED: LCB	SCALE: HORIZ: 1" = 30'
	VERT: 6"
	DATE: 3/19/2025

UTILITIES	
WATER: HYRUM CITY CULINARY WATER AUTHORITY	
SEWER: GRAVITY HYRUM CITY SEWER AUTHORITY	
POWER: HYRUM CITY POWER	

PROFESSIONAL
STATE OF UTAH
NO. 45-59075
LANDON C. BEYLER
3/19/2025

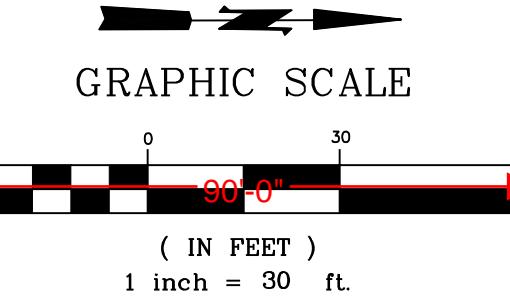


SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

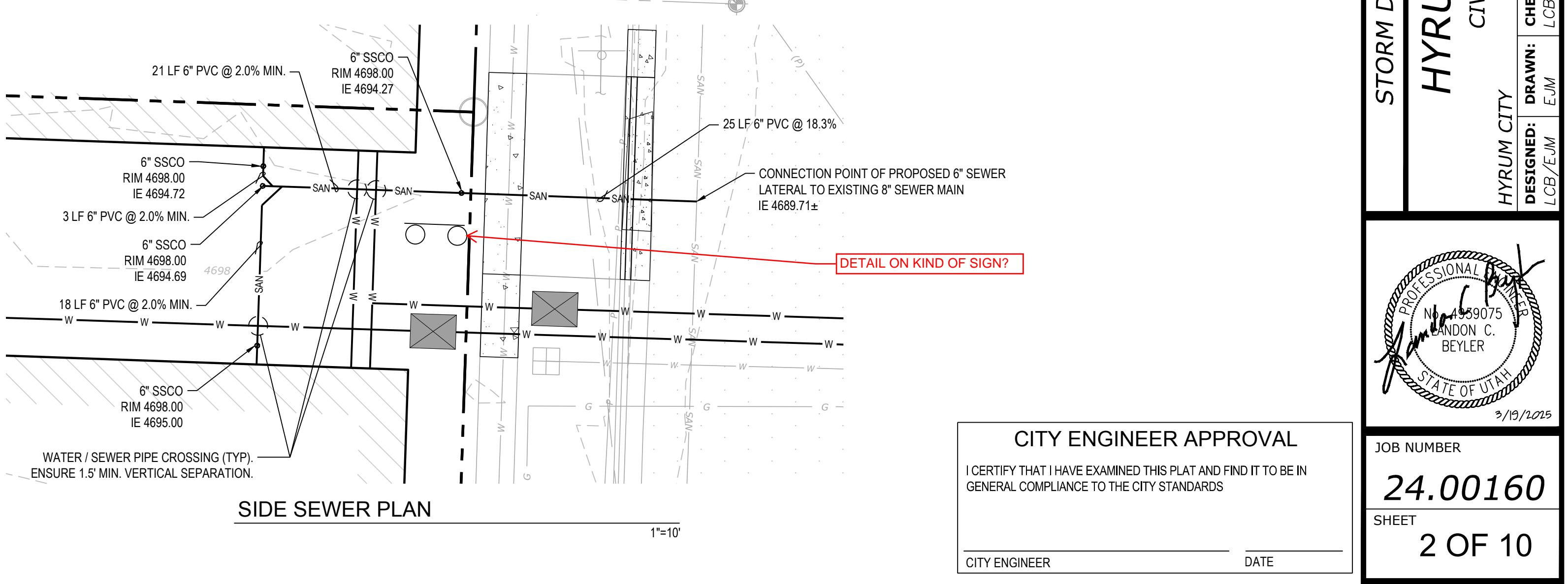
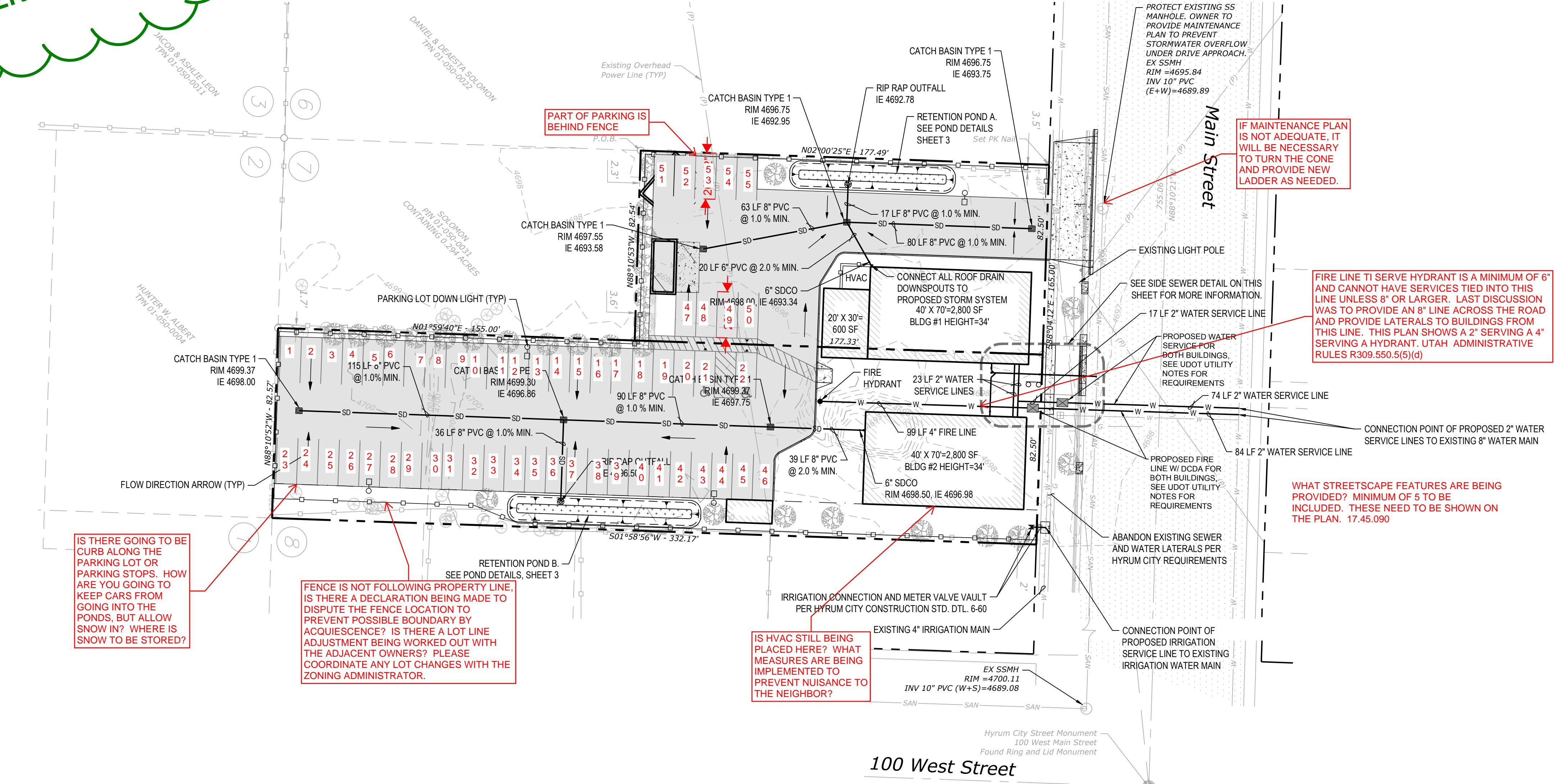
PARCEL #'s 01-050-0023 & 01-050-0024



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UTILITY	
W	EX WATER LINE
G	EX METER
P	EX GAS LINE
(P)	EX U/G POWER LINE
COM	EX U/G COMMUNICATION LINE
...	EX LIGHT POLE
...	EX POWER POLE
SAN	EX SEWER PIPE
...	EX SANITARY MH/CO

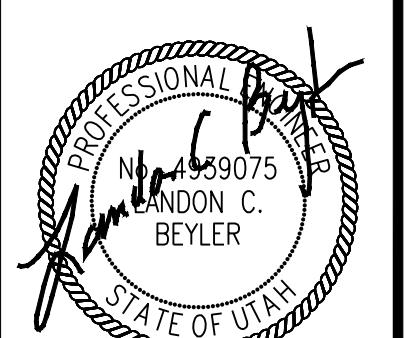
LEGEND	
---	EX PROPERTY BOUNDARY
---	EX RIGHT-OF-WAY
---	EX CENTERLINE
---	EX LOT LINE
---	EX MAJOR CONTOURS
---	EX MINOR CONTOURS
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---	EX CURBING
---	EX WOOD FENCE
---	EX SIGN
---	ASPHALT PAVEMENT
---	CONCRETE
---	BUILDING
---	LANDSCAPING
---	WOOD FENCE
---	WHEEL STOP
---	TREE
---	STORM DRAINAGE PIPE
---	POD BOTTOM
---	RIP RAP PAD
---	ROOF DOWNSPOUT
---	STORM CLEANOUT
---	AREA DRAIN / CATCH BASIN TYPE 1
---	FLOW ARROW/SLOPE ARROW
---	SANITARY SEWER LATERAL
---	SANITARY CLEANOUT
---	WATER SERVICE / FIRE LINE
---	WATER METER
---	IRRIGATION CONTROL VALVE
---	LIGHT POLE



BEYLER
CONSULTING
Plan. Design. Manage

STORM DRAINAGE AND UTILITY PLAN
HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS
HYRUM CITY

DESIGNED: DRAWN: CHECKED: SCALE: DATE:
LCB/EJM EJM LCB 1"=30' 3/19/2025



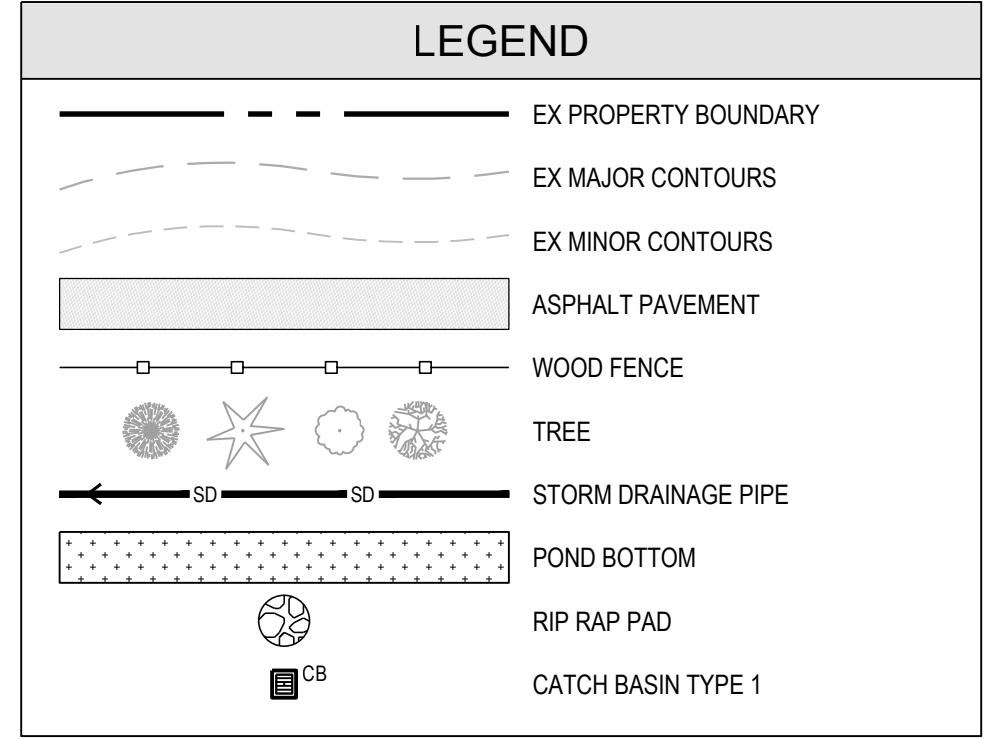
JOB NUMBER
24.00160
SHEET
2 OF 10

CITY ENGINEER APPROVAL
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN
GENERAL COMPLIANCE TO THE CITY STANDARDS
CITY ENGINEER
DATE

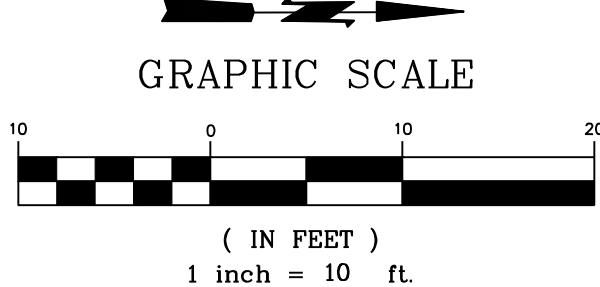
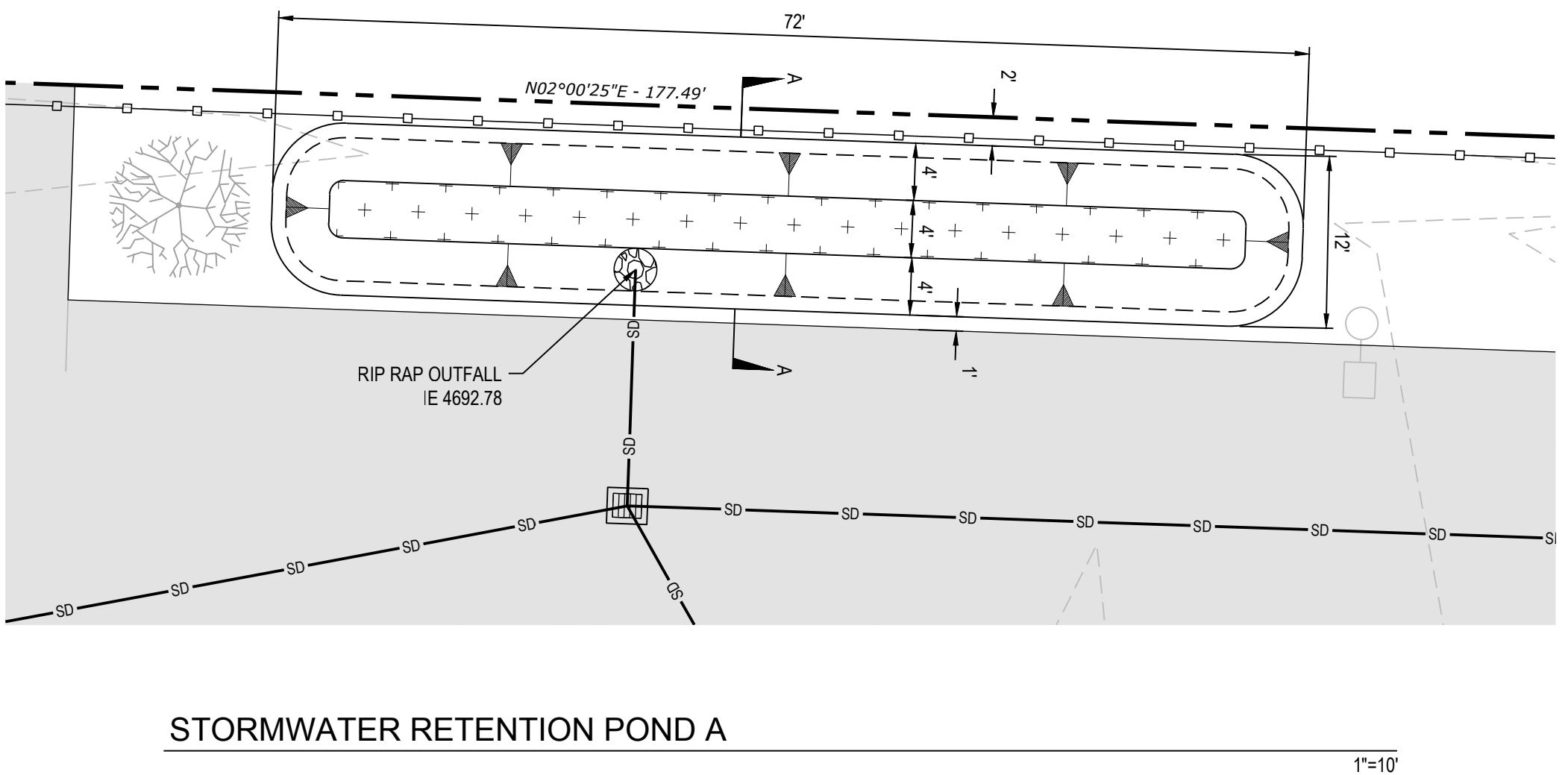
HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

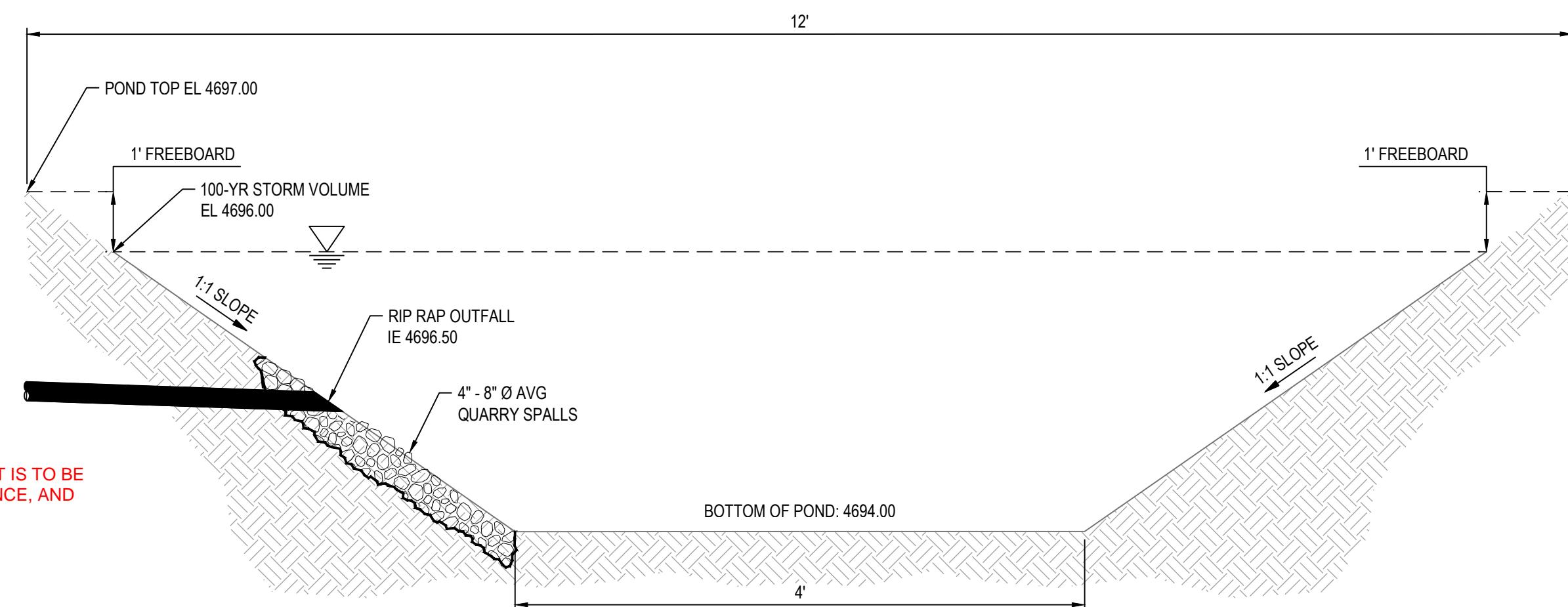
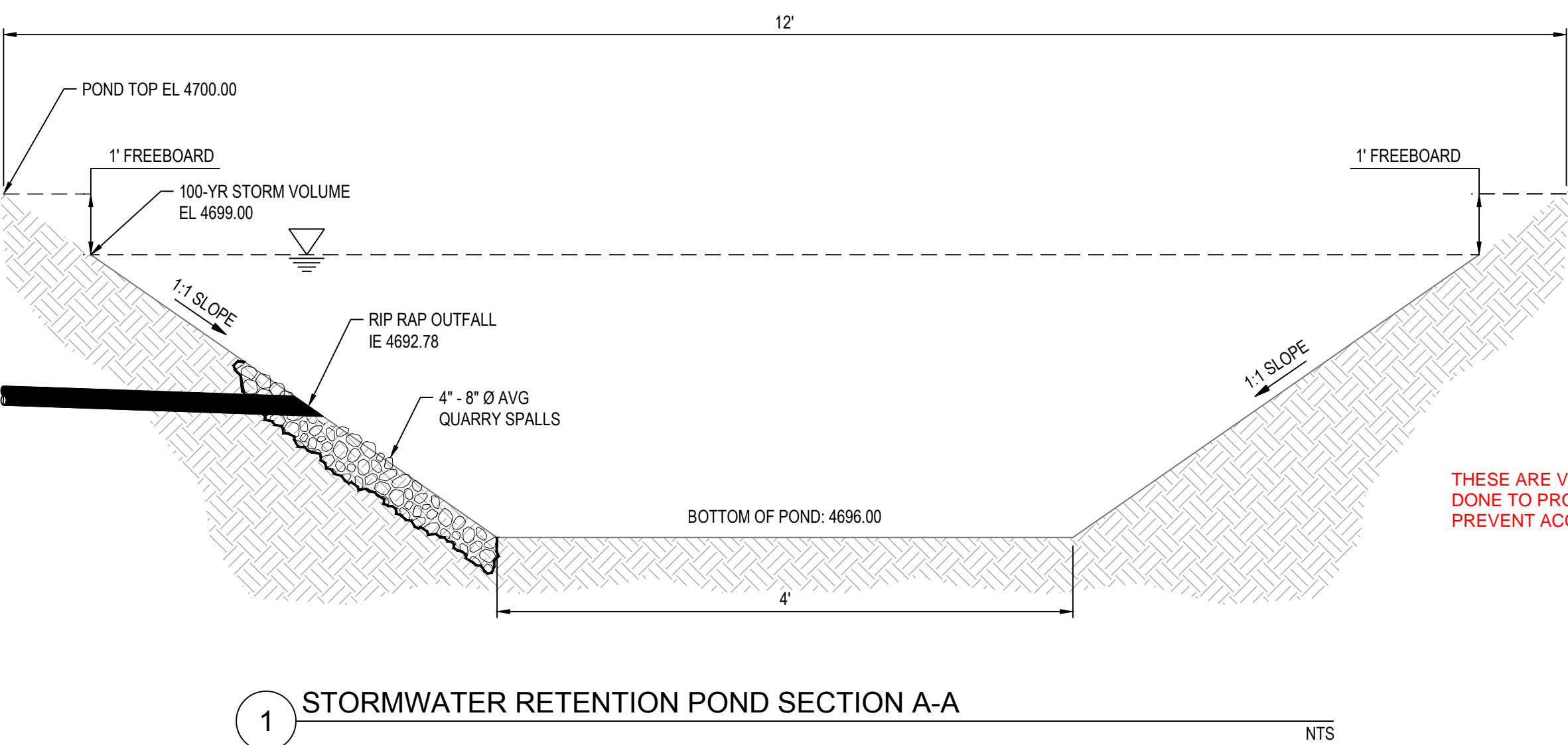
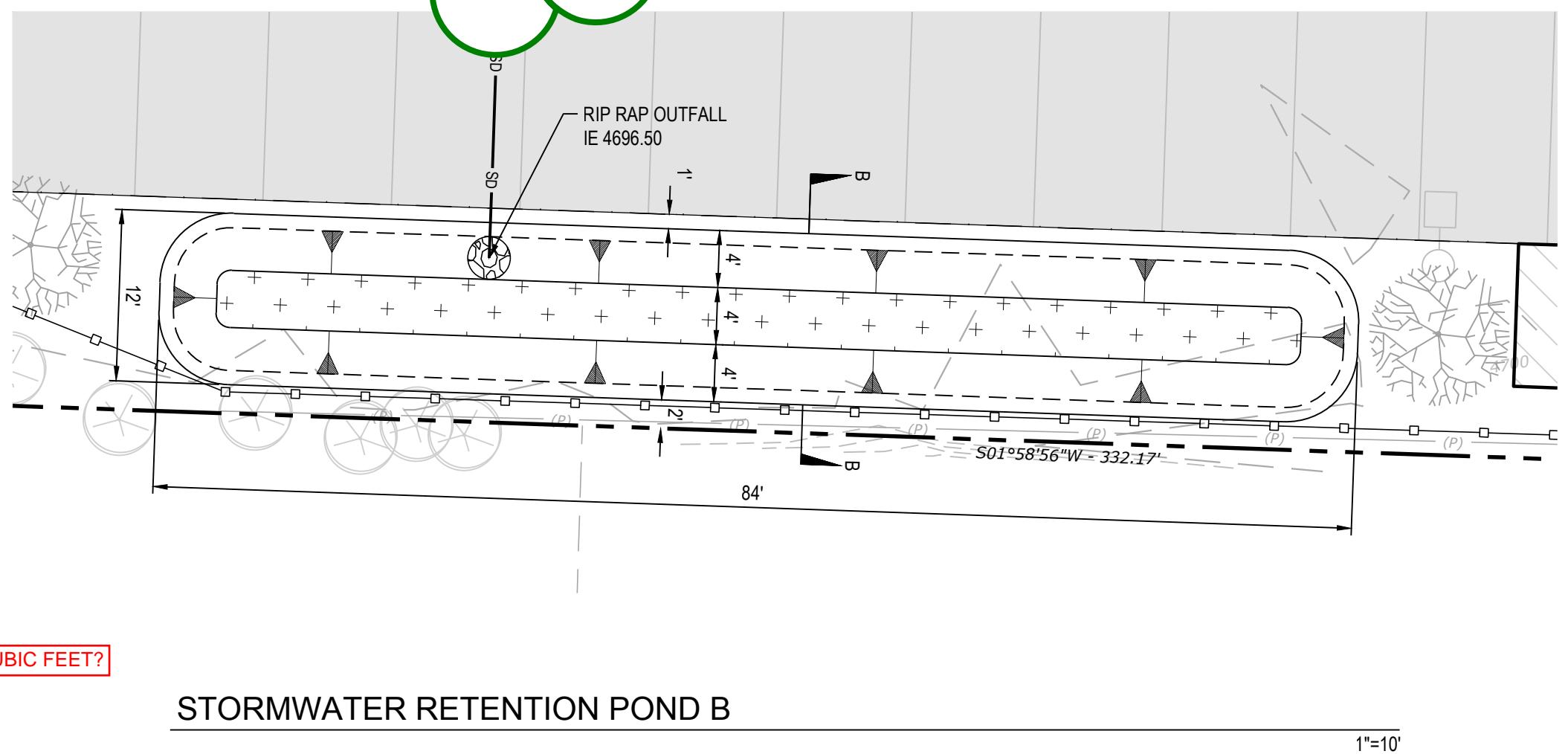
PARCEL #'s 01-050-0023 & 01-050-0024



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POND TABLE	
RETENTION POND A:	TOP OF POND = 4700.00
	BOTTOM OF POND = 4696.00
	REQUIRED VOLUME = (WEST DRAINAGE): 1,034 SF
	PROVIDED VOLUME = (WEST DRAINAGE): 1,420 SF
RETENTION POND B:	TOP OF POND = 4697.00
	BOTTOM OF POND = 4694.00
	REQUIRED VOLUME = (EAST DRAINAGE): 1,667 SF
	PROVIDED VOLUME = (EAST DRAINAGE): 1,672 SF



HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

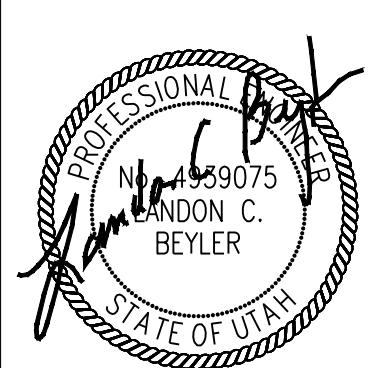
HYRUM CITY
DRAWN: EJM
CHECKED: LCB
HORZ: 1"=10'
VERT: 1"=10'



BEYLER
CONSULTING
Plan. Design. Manage
CIVIL & STRUCTURAL ENGINEERING | LAND SURVEYING
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

NO.	DESCRIPTION	INIT	DATE

POND DETAILS & NOTES			
HYRUM MARKET 1860	CIVIL IMPROVEMENT PLANS	WASHINGTON	DATE: 3/19/2025



JOB NUMBER
24.00160
SHEET
3 OF 10

CITY ENGINEER APPROVAL	
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS	
CITY ENGINEER	DATE

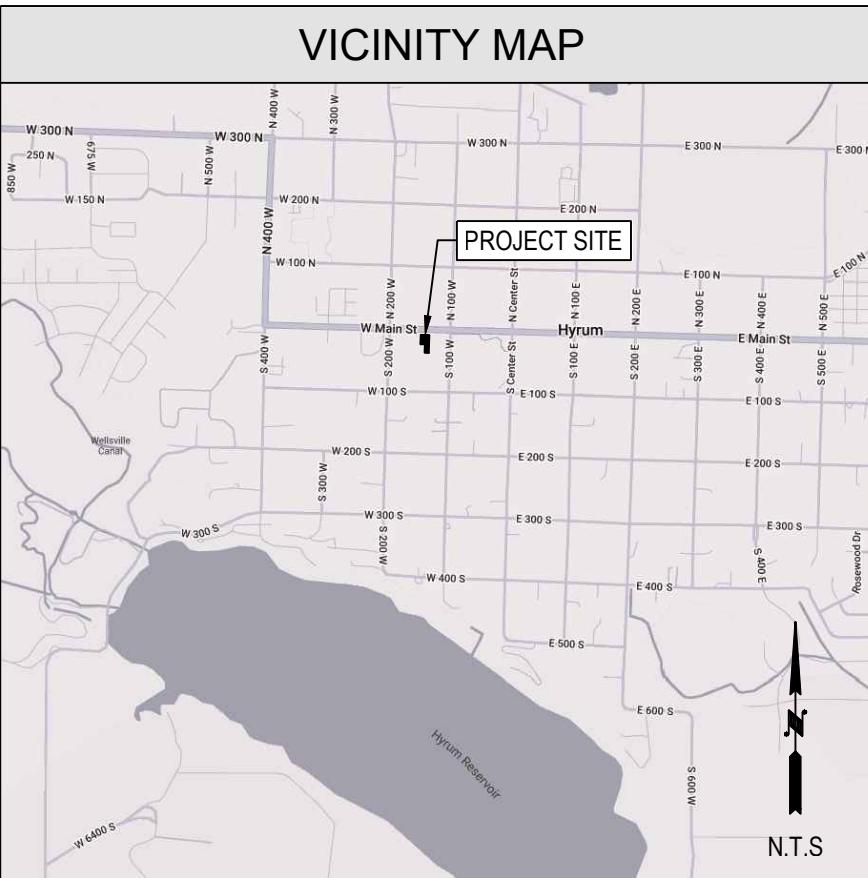


SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



CIVIL ABBREVIATIONS	
BSBL	BUILDING SETBACK LINE
CB	CATCH BASIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DUCTILE IRON
FH	FIRE HYDRANT
HP	HIGH POINT
LP	LOW POINT
MH	MANHOLE
PGHS	POLLUTION GENERATING HARD SURFACE
PVC	POLYVINYLCHLORIDE
RPBA	REDUCED PRESSURE BACKFLOW PREVENTOR
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SSMH	SANITARY SEWER MANHOLE
UBC	UNIFORM BUILDING CODE
WM	WATER METER
XFMR	TRANSFORMER
WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

EXISTING UTILITIES	
W	EX WATER LINE
EX METER	
G	EX GAS LINE
P	EX U/G POWER LINE
(P)	EX OVERHEAD POWER LINE
COM	EX U/G COMMUNICATION LINE
EX LIGHT POLE	
EX POWER POLE	
EX SEWER PIPE	
EX SANITARY MH/CO	

LEGEND	
—	EX PROPERTY BOUNDARY
—	EX RIGHT-OF-WAY
—	EX CENTERLINE
—	EX LOT LINE
—	EX MAJOR CONTOURS
—	EX MINOR CONTOURS
—	EX ASPHALT
—	EX CONCRETE
—	EX CURBING
—	EX WOOD FENCE
—	EX SIGN
—	ASPHALT PAVEMENT
—	CONCRETE
—	LANDSCAPING
—	BUILDING SETBACK
—	WOOD FENCE
—	WHEEL STOP
—	TREE
—	STORM DRAINAGE PIPE
—	RD
—	RD
—	ROOF DRAINS
—	INFILTRATION TRENCH
● DS	ROOF DOWNSPOUT
SDCO	STORM CLEANOUT
AD	AREA DRAIN / CATCH BASIN TYPE 1
—	FLOW ARROW/SLOPE ARROW
—	SANITARY SEWER LATERAL
—	SANITARY CLEANOUT
—	WATER SERVICE / FIRE LINE
—	WATER METER
—	IRRIGATION CONTROL VALVE
—	LIGHT POLE

UDOT UTILITY SPECIFICATIONS & NOTES

- CONTRACTOR TO USE TRENCHLESS CONSTRUCTION UNLESS SUFFICIENT REASON IS GIVEN FOR OPEN TRENCH CONSTRUCTION.
- ALL UTILITY TRENCHES TO BE CUT AT RIGHT ANGLES TO TRAVEL LANES. TEMPORARY PATCHES REQUIRE AT LEAST 2-INCH ROTOMILLING APPROACHING AND LEAVING THE PATCH IN ALL TRAVEL LANES IMPACTED BEFORE FINAL T-PATCH ASPHALT PLACEMENT PER APWA PLAN NO. 255.
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- PAVEMENT SEALING - CHIP SEAL TYPE II WITH EMULSION LMCRS-2 PER UDOT STANDARD SPECIFICATION 02785 (ESTIMATED APPLICATION RATE OF 0.45 GAL/SD/YD) IS REQUIRED ON ALL NEW PAVEMENT WITHIN UDOT RIGHT-OF-WAY.

UDOT RIGHT-OF-WAY (MAIN STREET) NOTES

- ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATION. APPLICABLE UDOT STANDARD AND SUPPLEMENTAL DRAWINGS ARE INCLUDED IN THIS PLAN SET.
- THE CONTRACTOR IS TO OBTAIN AN EROSION PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN THE UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE EROSION PERMIT.
- UDOT RESERVES THE RIGHT, AS ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND/OR CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

PROJECT INFO

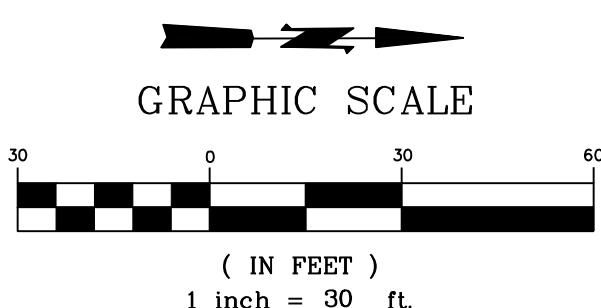
CLIENT: MARKET 1860 LLC
 ENGINEER: BEYLER CONSULTING
 5920 100TH ST SW, STE 25
 LAKEWOOD, WA 98499
 CONTACT: LANDON BEYLER, P.E.
 TEL: 253-984-2900

UTILITIES

WATER: HYRUM CITY CULINARY WATER AUTHORITY
 SEWER: GRAVITY HYRUM CITY SEWER AUTHORITY
 POWER: HYRUM CITY POWER

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER _____ DATE _____



IMPERVIOUS / PERVIOUS SITE AREAS

EXISTING IMPERVIOUS ONSITE:	1,060 SF (0.024 Ac)
PROPOSED IMPERVIOUS ONSITE:	
BUILDING #1	3,400 SF (0.078 Ac)
BUILDING #2	2,800 SF (0.064 Ac)
MAINTENANCE SHED	200 SF (0.005 Ac)
TRASH ENCLOSURE	264 SF (0.006 Ac)
ASPHALT ACCESS/PARKING LOT (PGHS)	19,958 SF (0.458 Ac)
GRAVEL (PGHS)	1,191 SF (0.027 Ac)
CONCRETE (PGHS)	325 SF (0.007 Ac)
CONCRETE WALKWAY / HARDSCAPE	3,232 SF (0.074 Ac)
TOTAL:	31,370 SF (0.720 Ac)
TOTAL (PGHS) ONSITE:	21,474 SF (0.493 Ac)
PROPOSED PERVIOUS ONSITE:	
LANDSCAPING	10,693 SF (0.245 Ac)
PROPOSED IMPERVIOUS OFFSITE:	
ASPHALT ACCESS (PGHS)	37 SF (0.001 Ac)
ASPHALT UTILITY TRENCHING (PGHS)	371 SF (0.008 Ac)
CONCRETE DRIVEWAY APPROACH (PGHS)	1,056 SF (0.024 Ac)
CONCRETE CURBING (PGHS)	229 SF (0.005 Ac)
CONCRETE SIDEWALK	197 SF (0.004 Ac)
CONCRETE FOOT BRIDGES	60 SF (0.001 Ac)
CONCRETE WALKWAY / HARDSCAPE	31 SF (0.001 Ac)
TOTAL:	1,981 SF (0.045 Ac)
TOTAL (PGHS) OFFSITE:	1,693 SF (0.039 Ac)
PROPOSED PERVIOUS OFFSITE:	
PAVERS	212 SF (0.005 Ac)
TOTAL PROPOSED IMPERVIOUS:	33,351 SF (0.765 Ac)
TOTAL PROPOSED (PGHS):	23,167 SF (0.532 Ac)

NO.	DESCRIPTION	INIT	DATE

CORPORATE OFFICE
 5920 100th St SW, Ste #25
 Lakewood, WA 98499
 (253) 984-2900
 beylerconsulting.com

BEYLER
 CONSULTING
 CIVIL & STRUCTURAL ENGINEERING | LAND SURVEYING
 PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

COVER SHEET / SITE PLAN		DATE:
HYRUM MARKET 1860	CIVIL IMPROVEMENT PLANS	4/17/2025

HYRUM CITY	DESIGNED:	DRAWN:	SCALED:	HORZ:	VERT:
LCB/EJM	EJM			1" = 30'	

JOHN & VICTORIA FRANCIS
 450 W 2000 N
 MAPLETON, UT 84664

ANDREA NIELSEN
 3788 ECKER HILL DR.
 PARK CITY, UT 84908

LANDON BEYLER, P.E.
 TEL: 253-984-2900

PROFESSIONAL ENGINEER
 STATE OF UTAH
 NO. 4459075
 LANDON C. BEYLER
 4/17/2025

24.00160
 SHEET
 1 OF 10

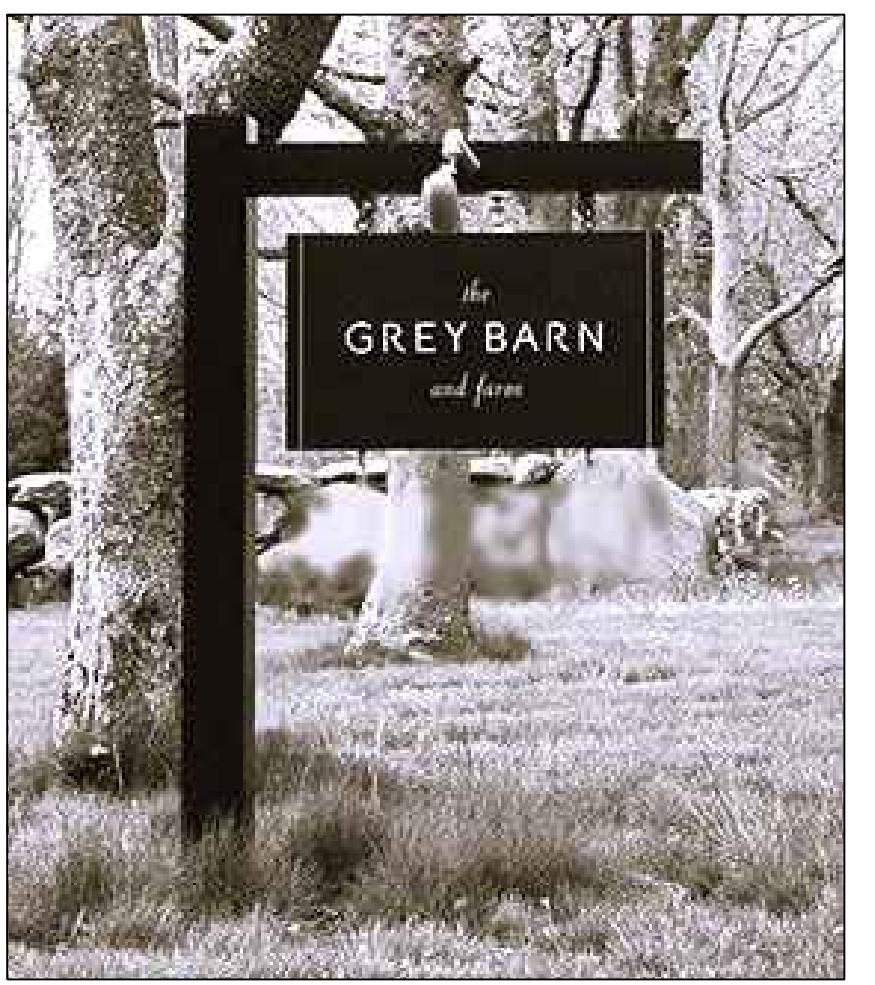


SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



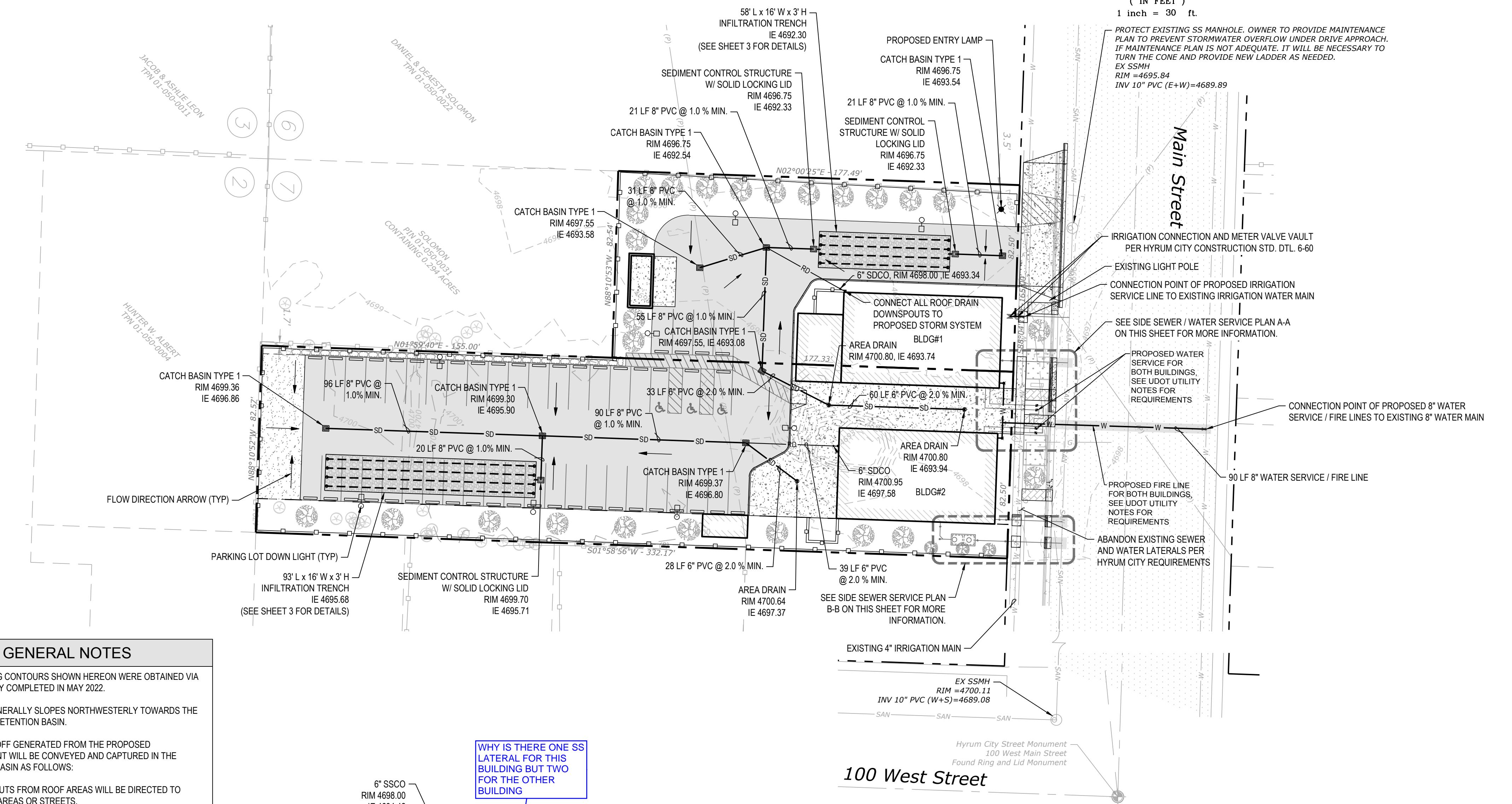
1 FRONT SIGN DETAIL

EXISTING UTILITIES	
W	EX WATER LINE
G	EX METER
P	EX GAS LINE
(P)	EX U/G POWER LINE
COM	EX U/G COMMUNICATION LINE
...	EX LIGHT POLE
...	EX POWER POLE
SAN	EX SEWER PIPE
...	EX SANITARY MH/CO

LEGEND	
---	EX PROPERTY BOUNDARY
-----	EX RIGHT-OF-WAY
-----	EX CENTERLINE
-----	EX LOT LINE
-----	EX MAJOR CONTOURS
-----	EX MINOR CONTOURS
EX ASPHALT	EX ASPHALT
EX CONCRETE	EX CONCRETE
EX CURBING	EX CURBING
EX WOOD FENCE	EX WOOD FENCE
EX SIGN	EX SIGN
ASPHALT PAVEMENT	ASPHALT PAVEMENT
CONCRETE	CONCRETE
BUILDING	BUILDING
LANDSCAPING	LANDSCAPING
WOOD FENCE	WOOD FENCE
WHEEL STOP	WHEEL STOP
TREE	TREE
SD	STORM DRAINAGE PIPE
RD	ROOF DRAINS
INFILTRATION TRENCH	INFILTRATION TRENCH
DS	ROOF DOWNSPOUT
SDCO	STORM CLEANOUT
AD	AREA DRAIN / CATCH BASIN TYPE 1
CB	FLOW ARROW/SLOPE ARROW
SSS	SANITARY SEWER LATERAL
SSS	SANITARY CLEANOUT
W	WATER SERVICE / FIRE LINE
W	WATER METER
IRRIGATION CONTROL VALVE	IRRIGATION CONTROL VALVE

PLOT DATE/TIME: 4/17/2025 6:28 PM

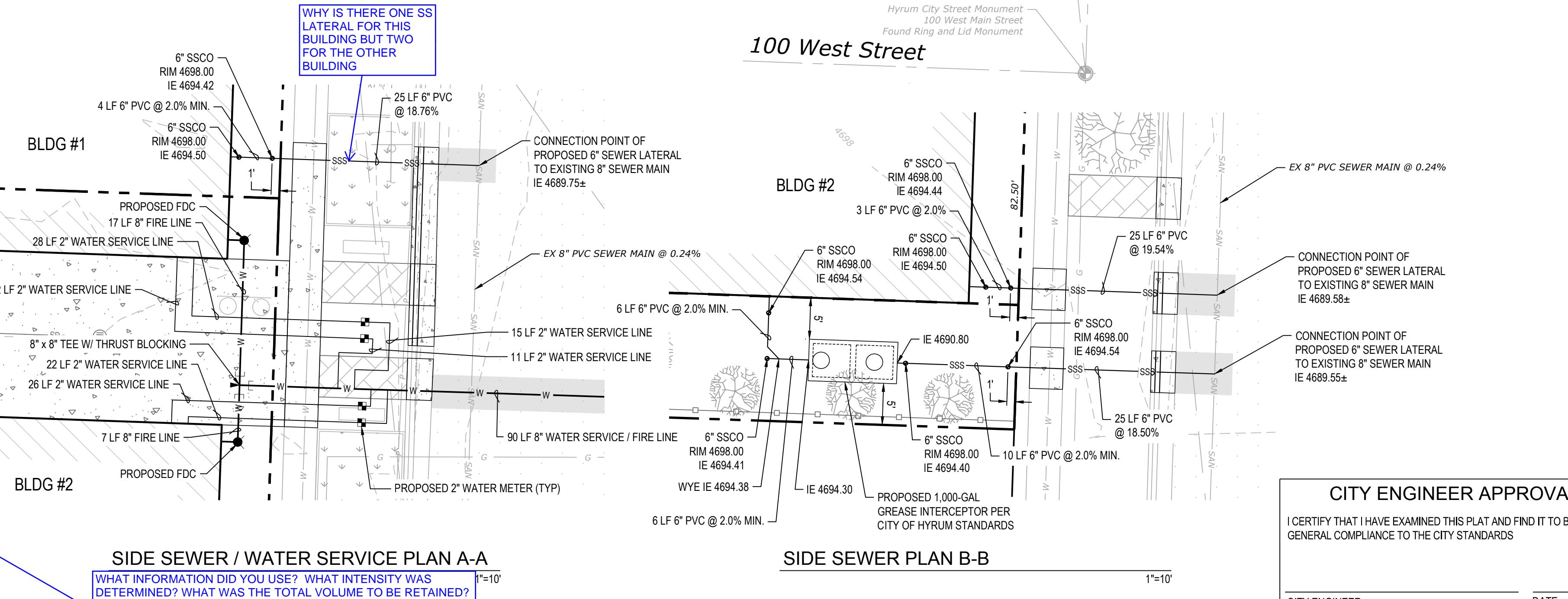
FILE: C:\AutoCAD\Autodesk Standards\Box\BC\Data\Projects\2024\Projects\01-050-0023\HyrumMarket1860.dwg



GENERAL NOTES

- THE EXISTING CONTOURS SHOWN HEREON WERE OBTAINED VIA FIELD SURVEY COMPLETED IN MAY 2022.
- THE SITE GENERALLY SLOPES NORTHWESTERLY TOWARDS THE PROPOSED RETENTION BASIN.
- STORM RUNOFF GENERATED FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED AND CAPTURED IN THE RETENTION BASIN AS FOLLOWS:
 - DOWNSPOUTS FROM ROOF AREAS WILL BE DIRECTED TO LANDSCAPE AREAS OR STREETS.
 - LANDSCAPE AREAS WILL SHEET FLOW TO SWALES AND COLLECTED BY AREA DRAINS AND CARRIED TO THE RETENTION BASIN THROUGH UNDERGROUND PIPING.
 - C. FRONT YARDS, DRIVEWAYS, AND PORCHES WILL FLOW TO STREETS WHERE CURB AND GUTTER WILL CHANNEL THE FLOW TO CURB INLETS AT INTERSECTIONS AND LOW POINTS. UNDERGROUND PIPING INTERCONNECTING THE INLETS WILL DISCHARGE RUNOFF INTO THE RETENTION BASIN.
- PIPE AND RETENTION BASIN SIZING WAS PERFORMED USING THE RATIONAL METHOD ($Q = C * I * A$) WHERE:
 - Q = DESIGN FLOW IN CUBIC FEET PER SECOND (CFS)
 - C = RUNOFF COEFFICIENT WHICH REPRESENTS THE PERCENT OF PRECIPITATION THAT WILL CONTRIBUTE AS RUNOFF.
 - I = RAINFALL INTENSITY IN INCHES PER HOUR (IN/HR)
 - A = DRAINAGE AREA IN ACRES
- THE 100 YEAR - 24 HOUR STORM EVENT WAS USED TO SIZE THE RETENTION BASIN AS SHOWN HEREON IN TABLE A. NO INFILTRATION WAS UTILIZED WHEN DETERMINING THE VOLUME REQUIRED TO RETAIN THE DESIGN STORM EVENT.
- STORM INTENSITIES USED IN THIS STUDY AREA ARE TAKEN FROM THE NATIONAL WEATHER SERVICE'S PRECIPITATION FREQUENCY DATA SERVER. INTENSITIES FOR THE 100 YEAR STORM ARE SHOWN IN THE DRAINAGE REPORT ASSOCIATED WITH THIS PROJECT.
- A COMPREHENSIVE STORM DRAINAGE STUDY WILL BE PROVIDED AS PART OF THE FINAL SITE PLAN SUBMITTAL.

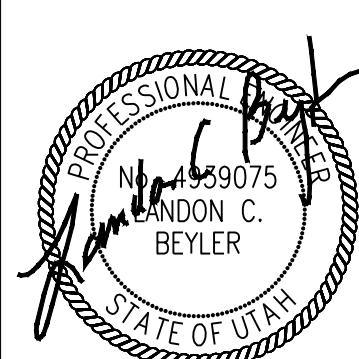
WHY IS THERE ONE SS LATERAL FOR THIS BUILDING BUT TWO FOR THE OTHER BUILDING



CITY ENGINEER APPROVAL
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER _____ DATE _____

STORM DRAINAGE AND UTILITY PLAN	
HYRUM CITY	UTAH
DESIGNED: LCB/EJM	DRAWN: EJM
CHECKED: LCB	SCALE: 1" = 30'
HORZ: 4/17/2025	VERT: 4/17/2025



JOB NUMBER 24.00160
SHEET 2 OF 10
DATE 4/17/2025

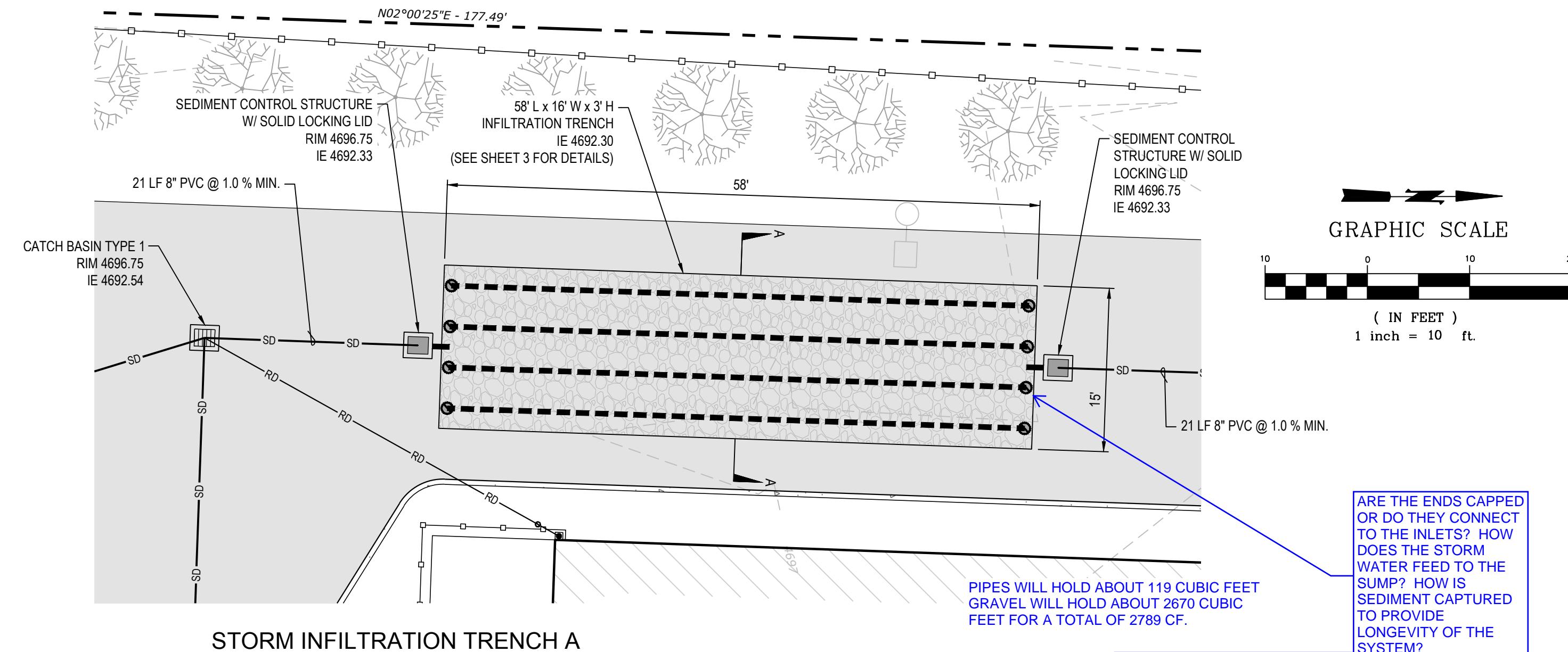
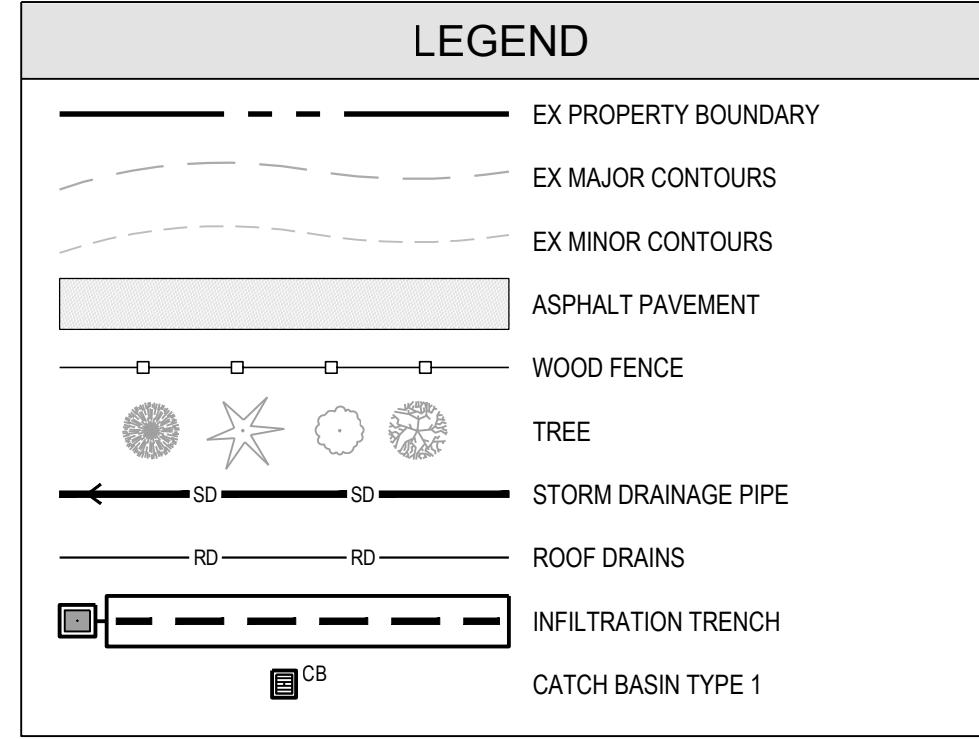


SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

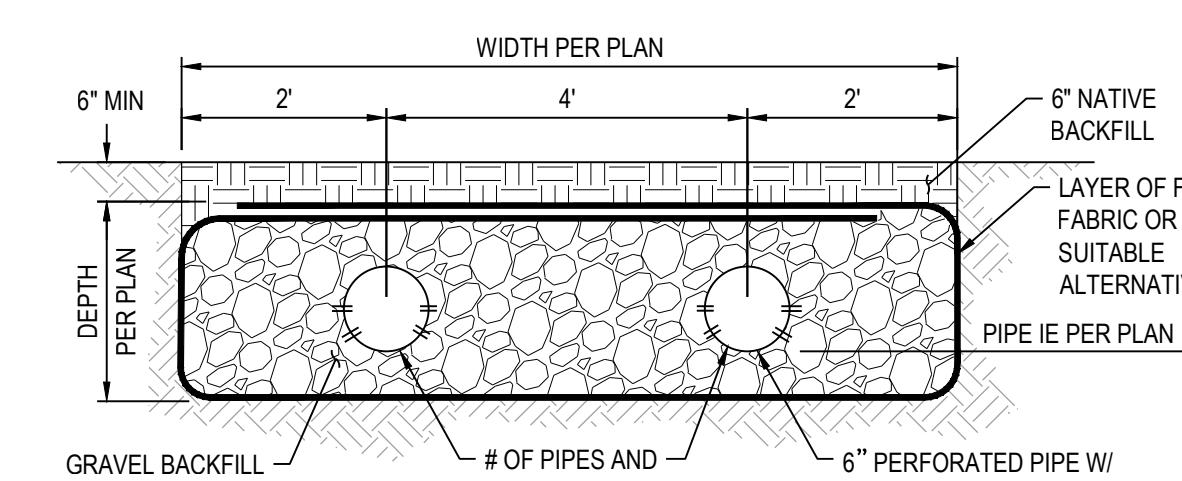
HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



STORM INFILTRATION TRENCH A

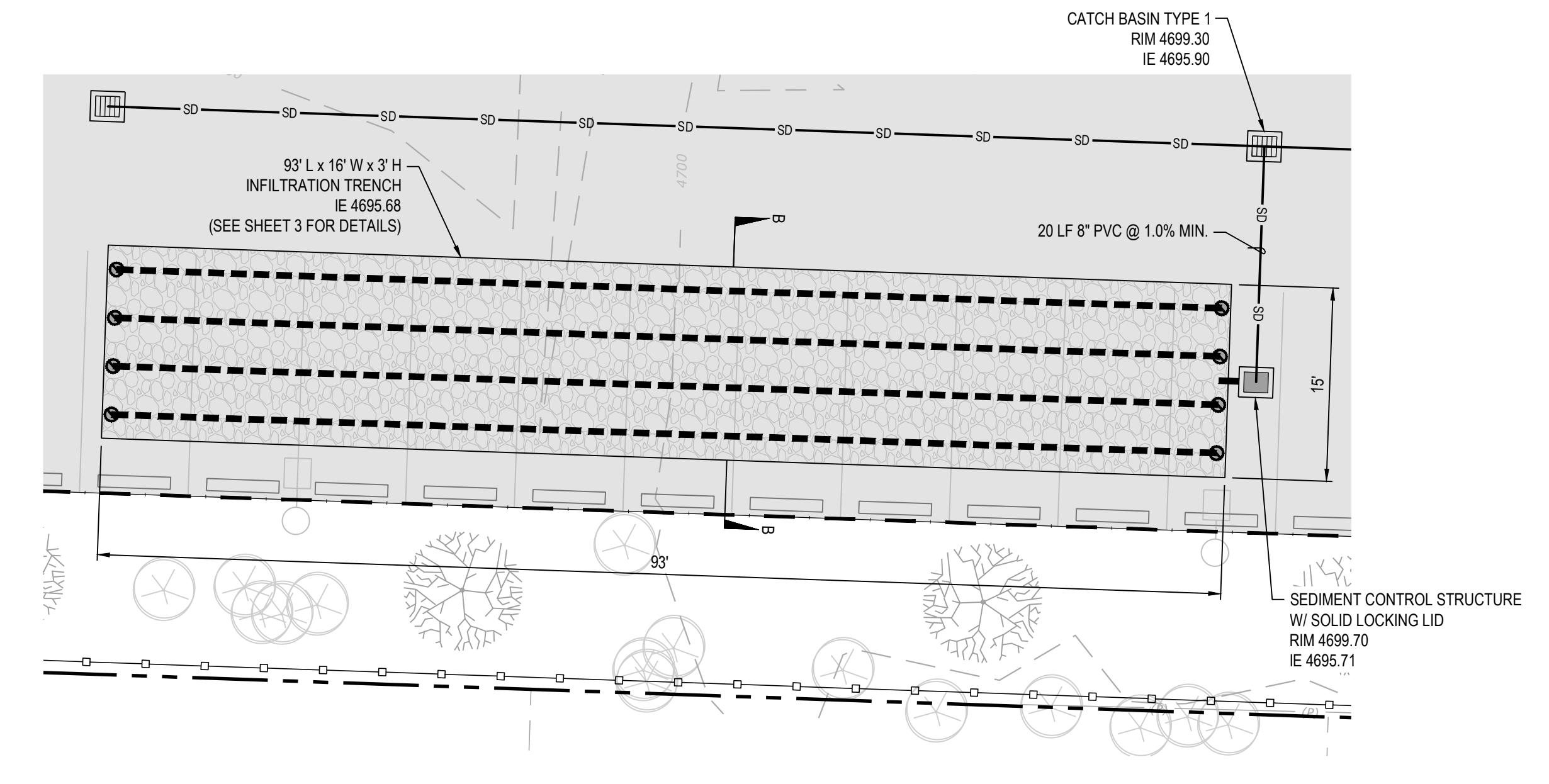


NOTES:

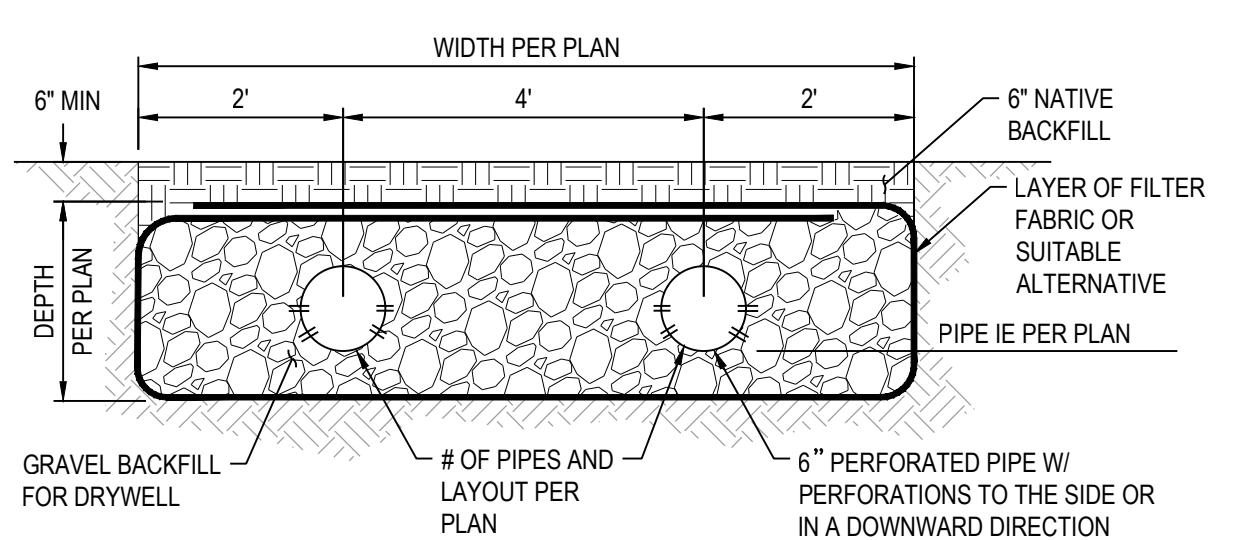
1. PERFORATED PVC UNDERDRAIN PIPE SHALL MEET WSDOT SPECIFICATION 9-05.2(6).
2. PIPE PERFORATIONS SHALL BE CIRCULAR AND A MINIMUM OF 1/2 INCH IN DIAMETER. THEY SHALL BE CLEANLY CUT AND BE SMOOTH AND UNIFORM. THERE SHALL BE A MINIMUM OF 7 SETS OF PERFORATIONS WITH 2 HOLES PER SET OF PERFORATIONS FOR EACH 3-1/2 FEET OF PIPE LENGTH.

1 STORM INFILTRATION TRENCH SECTION A-A

QUICK CALCULATIONS	
$6676 \times 0.4 =$	2,670.4
$6795 - 119 =$	6,676
$151 \times 3 \times 15 =$	6,795
$0.785375 \times 151 =$	118.591625
$0.5 \times 0.5 \times 3.1415 =$	0.785375



STORMWATER RETENTION POND B

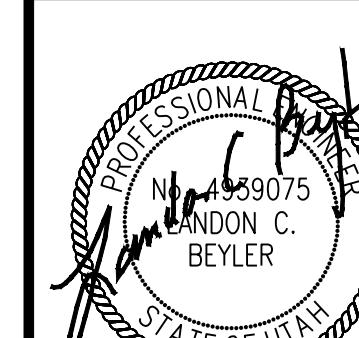


NOTES:

1. PERFORATED PVC UNDERDRAIN PIPE SHALL MEET WSDOT SPECIFICATION 9-05.2(6).
2. PIPE PERFORATIONS SHALL BE CIRCULAR AND A MINIMUM OF 1/2 INCH IN DIAMETER. THEY SHALL BE CLEANLY CUT AND BE SMOOTH AND UNIFORM. THERE SHALL BE A MINIMUM OF 7 SETS OF PERFORATIONS WITH 2 HOLES PER SET OF PERFORATIONS FOR EACH 3-1/2 FEET OF PIPE LENGTH.

2 STORM INFILTRATION TRENCH SECTION B-B

HYRUM MARKET 1860	
CIVIL IMPROVEMENT PLANS	
HYRUM CITY	DRAWN: EJM
DESIGNED: LCB/EJM	CHECKED: LCB
SCALE: 1"=10'	
VERT: 4/17/2025	



CITY ENGINEER APPROVAL	
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS	
CITY ENGINEER	DATE
24.00160	
SHEET 3 OF 10	

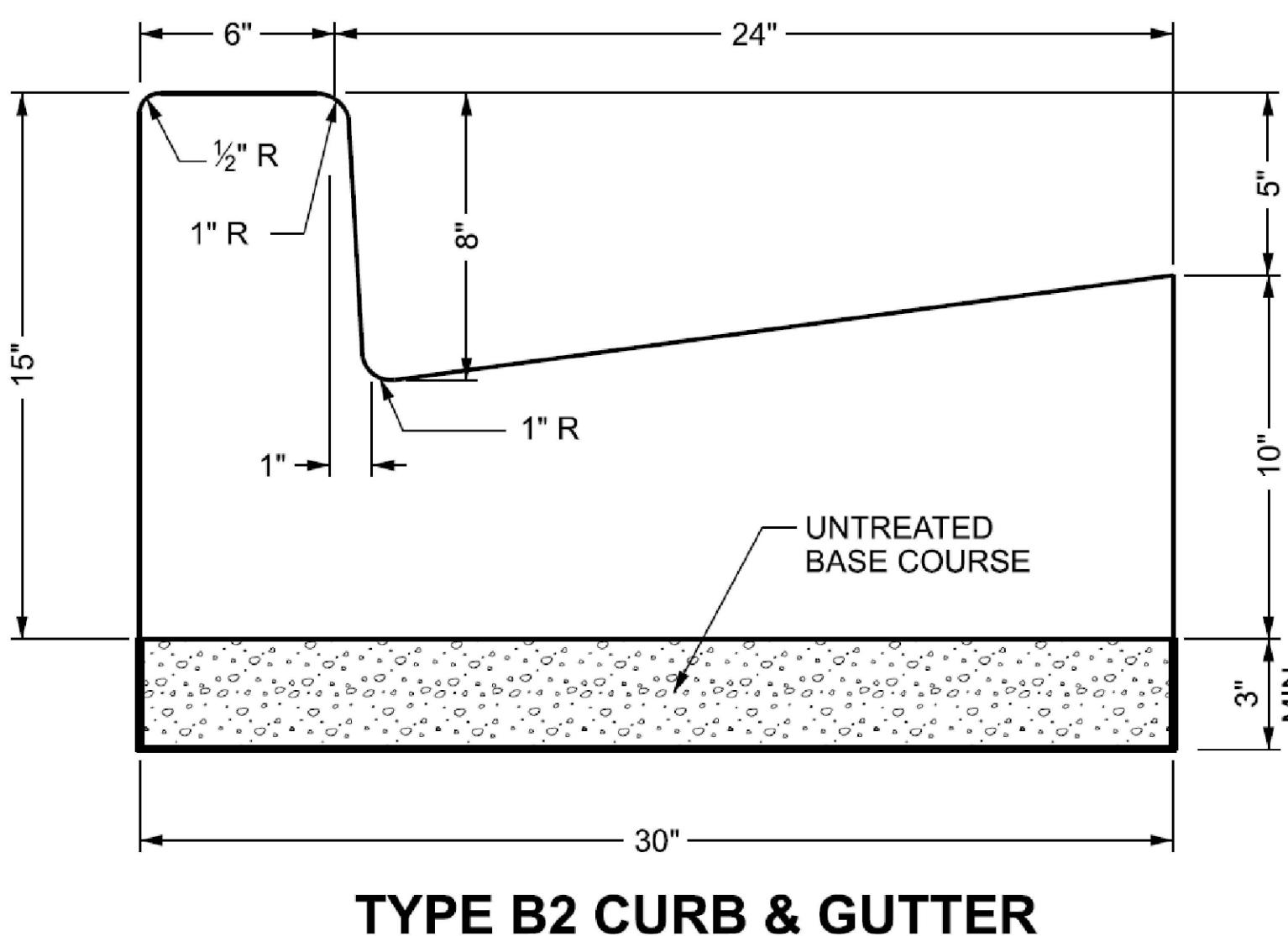
HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024

**PIPED DRIVEWAY APPROACH**

1. **UNTREATED BASE COURSE:** Provide material specified in APWA Section 32 11 23.
- A. Do not use gravel as a substitute for untreated base course without ENGINEER's permission.
- B. Place material per APWA Section 32 05 10.
- C. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
2. **CONCRETE:** Class 4000 per APWA Section 03 30 04.
- A. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
- B. Place concrete per APWA Section 03 30 10.
- C. Provide 1/2 inch radius on concrete edges exposed to public view.
- D. Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
3. **EXPANSION JOINT:** Make expansion joints vertical, full depth 1/2 inch wide with type F1 joint filler material per APWA Section 32 13 73. Set top of filler flush with surface of concrete.
4. **CONTRACTION JOINT:** Make contraction joints vertical.
- A. 1/8 inch wide and 2 inches deep or 1/4 slab thickness if slab is greater than 8 inches thick.
- B. Maximum length to width ratio for non-square panels is 1.5 to 1.
- C. Maximum panel length (in feet) is .25 times the slab thickness (in inches) to a maximum of 15 feet.
5. **REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel. See APWA Section 03 20 00 requirements. Not required if driveway ramp is constructed without a cold joint.
6. **FIELD CHANGES TO SLOPE REQUIREMENTS:** The following design parameters are to be used as a guide. Specific uses or site conditions may require profile design submittal for review and acceptance.
- A. As a rule, driveway grades may have a 6 percent change in slope over a 11 feet wheel base run for both crest or sag vertical curves.
- B. Where heavy truck use and fire truck access applies, or to improve design speed, design grades should be cut in half.
- C. Grades subject to roadway crown and gutter span to be reviewed by ENGINEER for high centering and vehicle approach speed.
7. **FINISH:** Broomed.
8. **PROTECTION AND REPAIR:**
 - A. Fill flow-line with water. Repair construction that doesn't drain.
 - B. Protect concrete from deicing chemicals during cure period.

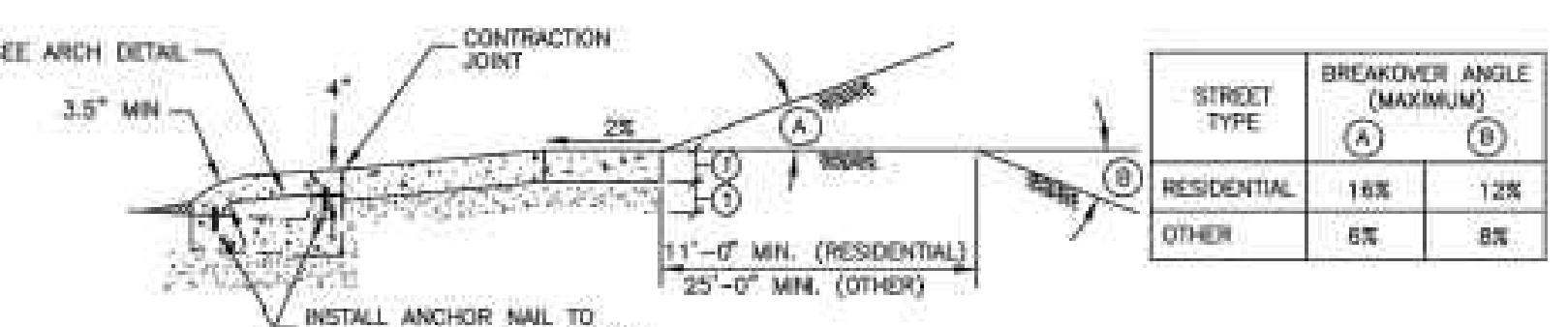
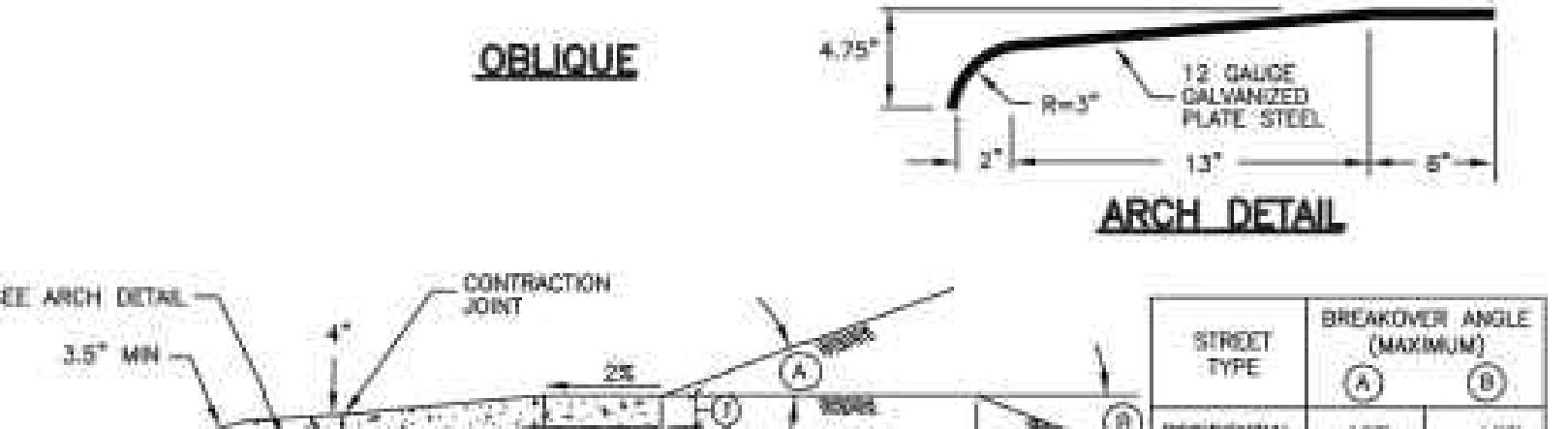
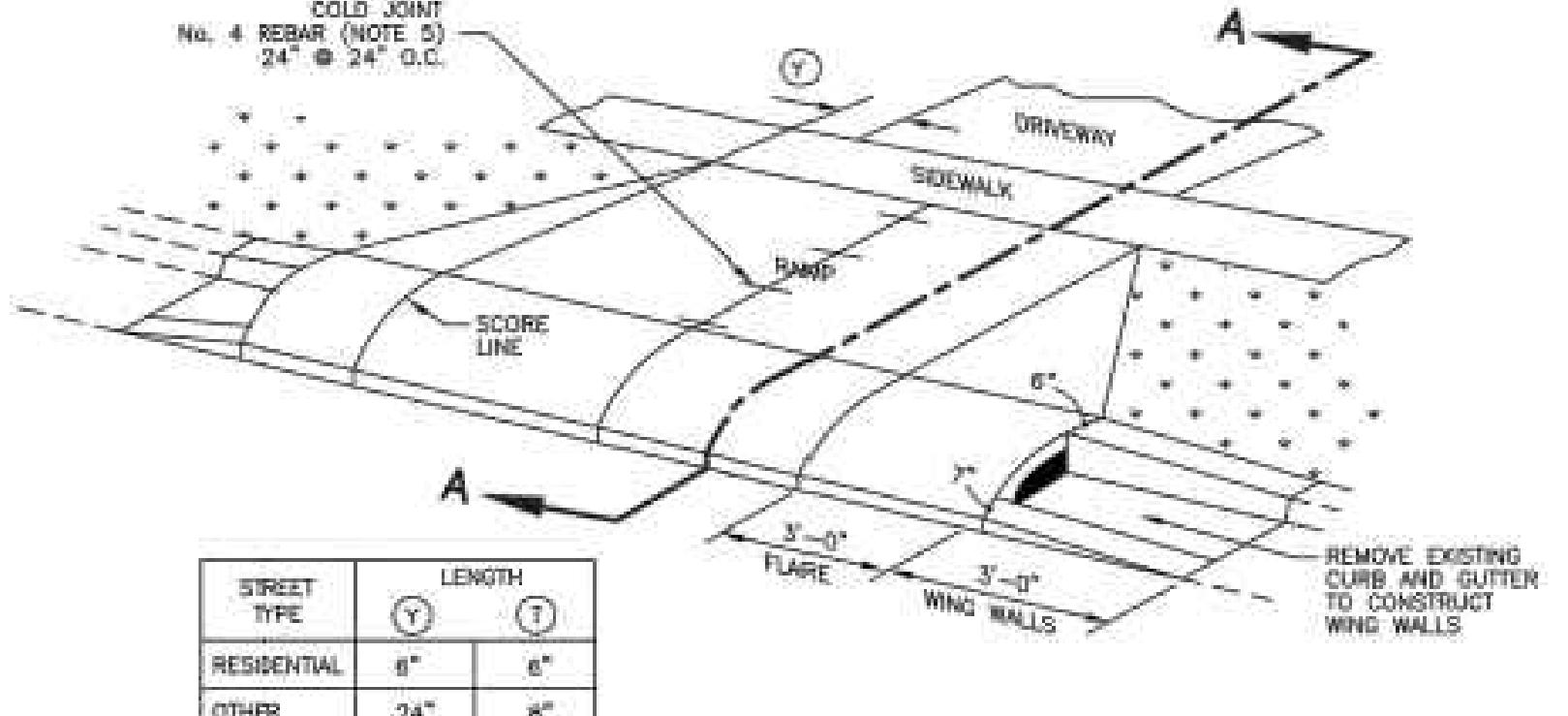
**NOTES:**

1. USE 1/4 INCH DEFORMED DOWELS ON 5 FT MAXIMUM CENTERS.
2. **PRECAST CURBS:**
 - A. MINIMUM OF 10 FT IN LENGTH.
 - B. DOWELS AT A MINIMUM OF 3 PER 10 FT LENGTH.
 - C. INCLUDE ADEQUATE REINFORCING STEEL TO WITHSTAND HANDLING STRESSES.
3. MEASURE CURB HEIGHT VERTICALLY FROM THE FLOW LINE OF THE GUTTER TO TOP BACK OF CURB.
4. REFER TO STD DWG GW 2B FOR CURB AND GUTTER AT ADA ACCESSES.

PIPED DRIVEWAY APPROACH

1. **ASPHALT CONCRETE:** As specified in APWA Section 32 12 05. Compaction to be within range of 92 to 96 percent relative to ASTM D 2041 (Rice Method).
2. **CONCRETE:** Class 4000 per APWA Section 03 30 04.
- A. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
- B. Place concrete per APWA Section 03 30 10.
- C. Provide 1/2 inch radius on concrete edges exposed to public view.
- D. Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
3. **EXPANSION JOINT:** Make expansion joints vertical, full depth 1/2 inch wide with type F1 joint filler material per APWA Section 32 13 73. Set top of filler flush with surface of concrete.
4. **CONTRACTION JOINT:** Make contraction joints vertical.
- A. 1/8 inch wide and 2 inches deep or 1/4 slab thickness if slab is greater than 8 inches thick.
- B. Maximum length to width ratio for non-square panels is 1.5 to 1.
- C. Maximum panel length (in feet) is .25 times the slab thickness (in inches) to a maximum of 15 feet.
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6. **FIELD CHANGES TO SLOPE REQUIREMENTS:** The following design parameters are to be used as a guide. Specific uses or site conditions may require profile design submittal for review and acceptance.
- A. As a rule, driveway grades may have a 6 percent change in slope over a 11 feet wheel base run for both crest or sag vertical curves.
- B. Where heavy truck use and fire truck access applies, or to improve design speed, design grades should be cut in half.
- C. Grades subject to roadway crown and gutter span to be reviewed by ENGINEER for high centering and vehicle approach speed.
7. **FINISH:** Broomed.
8. **PROTECTION AND REPAIR:**
 - A. Fill flow-line with water. Repair construction that doesn't drain.
 - B. Protect concrete from deicing chemicals during cure period.

GENERAL NOTES (APPLICABLE TO ALL CIVIL SHEETS)	
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY. CONTRACTOR AND DEVELOPER ARE TO FAMILIARIZE THEMSELVES WITH THE STANDARDS.	6. CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL STATE AND FEDERAL CODES AND ORDINANCES.
2. CONTRACTOR SHALL FURNISH ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.	7. CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
3. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.	8. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC AND PRIVATE) FROM ALL CONSTRUCTION DEBRIS.	9. DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.	10. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCE AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
	11. THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTIONAL CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
	12. CONTRACTOR IS REQUIRED TO HAVE A SET OF PLANS ON THE SITE AT ALL TIMES. ANY WORK COMPLETED WITHOUT A SET PRESENT IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.
	13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABATEMENT, COMPACTION, ETC. THIS MAY BE COORDINATED WITH HYRUM WATER DEPARTMENT.
	14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WATER, WASTE SITES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
	15. ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THAT AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
	16. THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
	17. ON SLOPING AREAS THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MITIGATE ANY POSSIBLE EROSION PROBLEMS IN THE TRENCHES DUE TO STORM WATER THAT MIGHT OCCUR DURING OR AFTER CONSTRUCTION AS DIRECTED OR APPROVED BY ENGINEER.
	18. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
	19. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
	20. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
	21. ALL GATE VALVES SHALL BE LOCATED NEAR TO TEES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.
	22. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC TO CONSTRUCT VERTICAL AND HORIZONTAL BENDS IN PIPE AS NEEDED TO MEET THE REQUIRED GRADES, ALIGNMENTS AND COVER REQUIREMENTS.
	23. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING. NOTICE MUST BE GIVEN TO CITY 48 HOURS PRIOR TO INSPECTION.
	24. ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
	25. ONE MYLAR AND ONE PAPER SET OF AS-BUILTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS. A DIGITAL COPY OF THE DRAWINGS WILL ALSO BE REQUIRED FOR GIS LINEWORK. AS BUILT PLANS WILL BE REQUIRED TO BE SUBMITTED TO THE CITY BEFORE WARRANTY BONDS SHALL BE RELEASED.

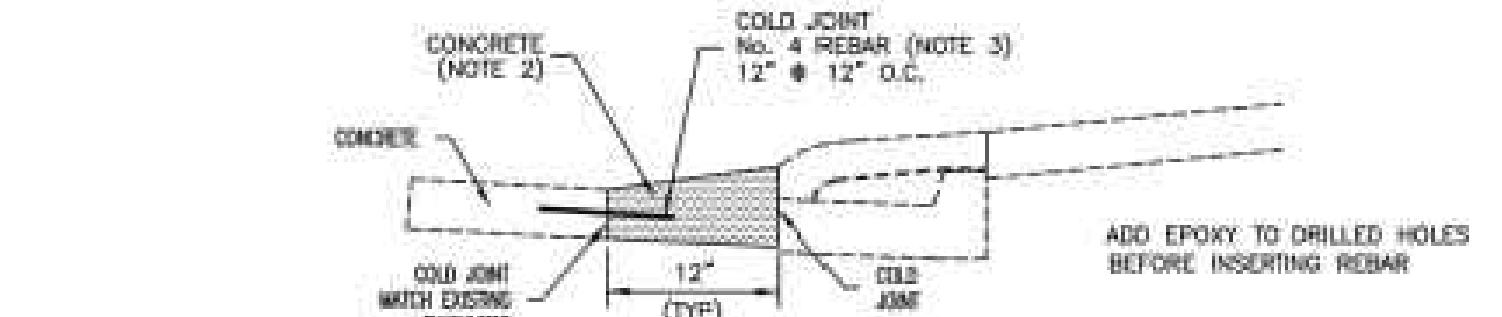
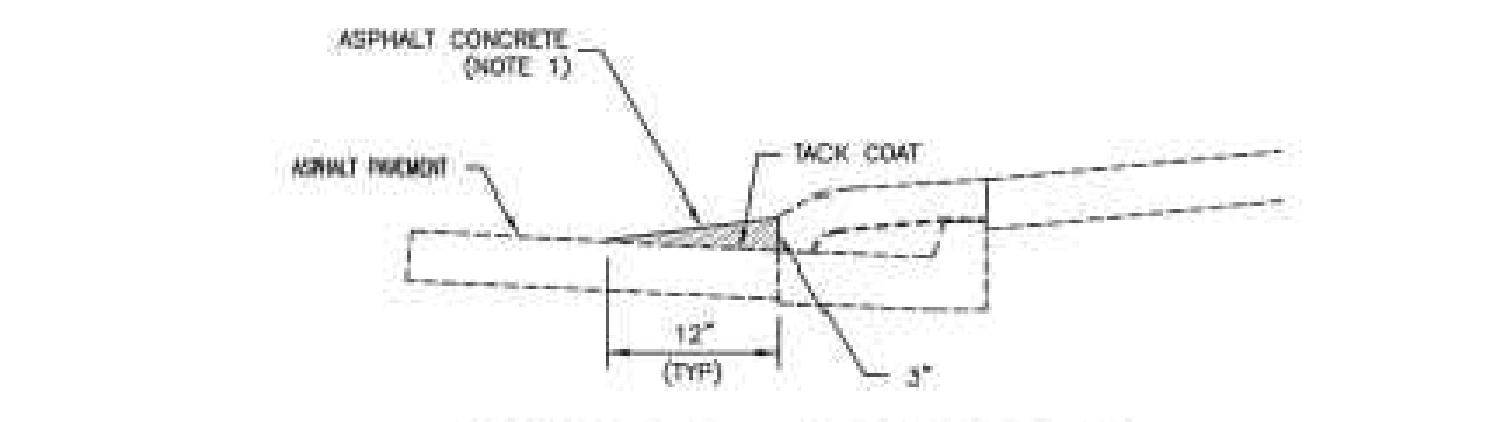
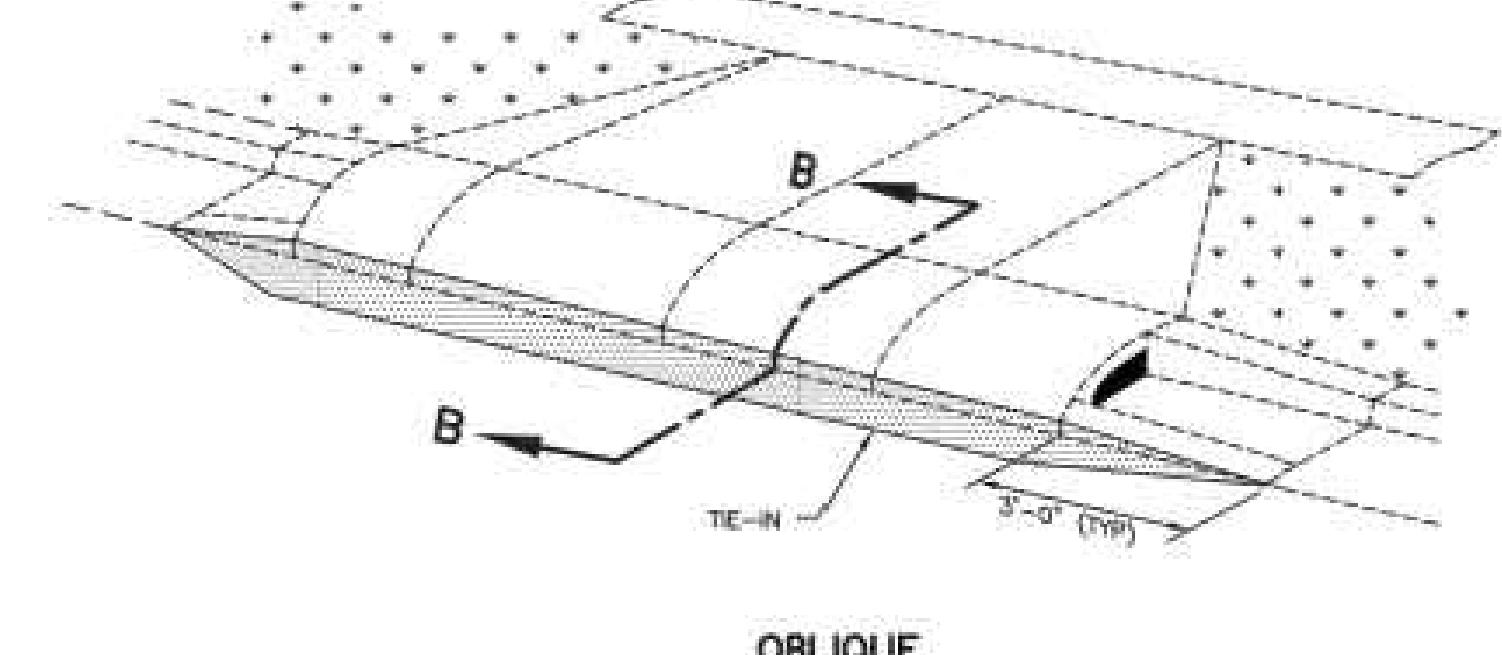
DO NOT CONSTRUCT THIS APPROACH WITHOUT ENGINEER'S WRITTEN APPROVAL**Piped driveway approach**

December 2005

47

Plan No. 229

Drawing 1 of 2

**Piped driveway approach**

January 2006

49

Plan No. 229

Drawing 2 of 2

4/17/2025

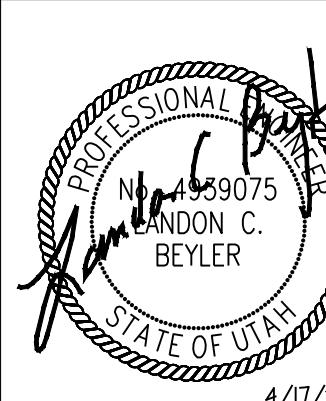
4/17/2025

JOB NUMBER

24.00160

SHEET

4 OF 10

CITY ENGINEER APPROVAL
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER _____ DATE _____

NO.	DESCRIPTION	INIT	DATE

BEYLER
CONSULTING
CIVIL & STRUCTURAL ENGINEERING | LAND SURVEYING
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

NOTES AND DETAILS SHEET 1
HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS
UTAH

DESIGNED: DRAWN: CHECKED: SCALE: HORIZ: VERT:
LCB/EJM LCB/EJM LCB/EJM 1:100 1:100

DATE: 4/17/2025

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

HYRUM MARKET 1860

CIVIL IMPROVEMENT PLANS

PARCEL #'s 01-050-0023 & 01-050-0024



- a. Remove snow and frozen material and furnish specified materials that can be compacted to the specified density.
 - 1) Measure removed material and provide quantities to the Engineer.
 - 2) The Department does not pay for removed material or material replacement when it would otherwise meet specification requirements if unfrozen.
- 2. Do not deliver or use frozen material.
- C. Use appropriate compaction equipment adjacent to pipes, abutments, back walls, approach slabs, wing walls, retaining walls, and other structures.
 - 1. Expand the width of the trench to accommodate necessary compaction equipment.
 - 2. Compact by hand areas where compaction equipment cannot compact the soil.
- D. Compaction Requirements
 - 1. Borrow, Drainage Pipe Bedding, Embankment Material, Embankment for Bridge, Granular Backfill Borrow and Granular Borrow
 - a. Compact each lift to a minimum average of 96 percent of maximum laboratory density with no single determination lower than 92 percent.
 - 1) Use AASHTO T 180 Method D for A-1 soils and AASHTO T 99 Method D for all other soils to establish maximum laboratory density.
 - 2) Maintain appropriate moisture for compaction during processing.
 - 2. Drainage Pipe Backfill
 - a. Compact each lift to a minimum average of 92 percent maximum laboratory density with no single determination less than 90 percent.
 - 1) Use AASHTO T 180 Method D for A-1 soils.
 - 2) Maintain appropriate moisture for compaction during processing.
 - b. Meet the pavement section material density requirement for pipes that encroach into the pavement section or use flowable fill.
 - 3. Material with more than 30 percent retained on the $\frac{1}{4}$ inch sieve
 - a. Compact each lift to 100 percent of the developed field density.
 - 1) The Department develops a field density compaction curve according to UDOT Materials Manual of Instruction Section 989.

Embankment, Borrow, and Backfill
02056 – Page 5 of 8
2025 Standard Specifications
Latest Revision: September 14, 2023

SECTION 02705

CONCRETE AND ASPHALT CUTTING

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Saw or cut existing pavements, curb and gutter, sidewalk, and any appurtenances as required to provide a smooth surface to match.
- B. Does not apply to new Portland cement concrete pavement (PCCP) joint sawing. Refer to Section 02752.

1.2 RELATED SECTIONS

- A. Section 02748: Prime Coat/Tack Coat
- B. Section 02752: Portland Cement Concrete Pavement

1.3 REFERENCES Not Used

1.4 DEFINITIONS Not Used

1.5 SUBMITTALS Not Used

PART 2 PRODUCTS Not Used

PART 3 EXECUTION

3.1 PROCEDURE – CONCRETE SURFACES

- A. Saw cut vertically in a straight line through the full depth of the surface.
- B. Make cuts so the defective surface can be removed where the edge of the existing surface is cracked, broken, or deteriorated.
 - 1. Verify that the entire deficient areas are removed and will not propagate.
- C. Do not allow traffic or construction equipment to cross the cut edge.

Concrete and Asphalt Cutting
02705 – Page 1 of 2
2025 Standard Specifications
Latest Revision: November 18, 2021

3.2 PROCEDURE – ASPHALT SURFACES

- A. Use any method that provides a vertical cut in a straight line through the full depth of the surface.
 - 1. Saw cut if the method of cutting does not produce a smooth, non-broken vertical edge.
- B. Make cuts so the defective surface can be removed where the edge of the existing surface is cracked, broken, or deteriorated.
 - 1. Verify that the entire deficient areas are removed and will not propagate.
- C. Do not allow traffic or construction equipment to cross the cut edge.
- D. Apply a tack coat to the cut edge before placing asphalt pavement when appropriate. Refer to Section 02748.

END OF SECTION

Concrete and Asphalt Cutting
02705 – Page 2 of 2
2025 Standard Specifications
Latest Revision: November 18, 2021

Embankment, Borrow, and Backfill
02056 – Page 6 of 8
2025 Standard Specifications
Latest Revision: September 14, 2023

- E. Spread material uniformly in layers not exceeding 1 ft (uncompacted depth) and compact to the density requirements.
 - 1. Reduce the lift thickness or modify operations if tests show unsatisfactory density.
 - 2. Distribute larger particles so space exists for placing and compacting remaining material.
 - 3. Do not place rocks or broken concrete larger than 4 inches within 1 ft of the subgrade surface.
- F. Finish subgrade surface within ± 0.2 ft of line and grade.
- G. Do not use compacting equipment that causes shear failure in the constructed fill or backfill.

3.3 GRANULAR BORROW, GRANULAR BACKFILL BORROW, AND BACKFILL PLACEMENT

- A. Compact material in maximum 6 inch layers (uncompacted depth) to the density requirement.
- B. Finish surface within ± 0.1 ft of line and grade.
- C. Backfill catch basins, cleanout boxes, manholes, drainage boxes, and diversion boxes with Granular Backfill Borrow unless otherwise specified or shown.

3.4 DRAINAGE PIPE FOUNDATION, BEDDING, AND BACKFILL PLACEMENT

- A. Place in 6 inch layers (uncompacted depth) and compact to the density requirement.
- B. Place uniform layers of drainage pipe backfill on both sides of the pipe and compact to the density requirement before placing successive lifts.
- C. Fully compact the haunch areas.

3.5 EMBANKMENT FOR BRIDGE PLACEMENT

- A. Construct bridge approach embankments from the existing ground up with the specified material to the limits defined in this Section and according to GW Series Standard Drawings.
 - 1. Approach Embankments
 - a. Place embankment for bridge beneath the bridge except riprap or other described materials used for MSE walls.

Embankment, Borrow, and Backfill
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2025 Standard Specifications
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- b. Place embankment for bridge to extend at least 150 ft from the centerline of the bridge abutment as measured along the approach roadway alignment and on the inside of abutments.
- c. Use the described material throughout the length of the walls where retaining walls are located beyond this delineation.
- 2. Intersecting Roadway Embankments
 - a. Place embankment for bridge along the intersecting roadway alignment(s) at least 150 ft from the abutment centerline station as measured along the approach and intersecting alignments.
- B. Spread embankment for bridge uniformly in layers not exceeding 1 ft (uncompacted depth) and compact to the specified density requirements.
 - 1. Reduce the lift thickness if tests show unsatisfactory density.
- C. Finish surface within ± 0.2 ft of line and grade.

3.6 FREE-DRAINING GRANULAR BACKFILL PLACEMENT

- A. Compact material in 1 ft maximum layers.
- B. Finish surface within ± 0.2 ft of line and grade.

END OF SECTION

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Embankment, Borrow, and Backfill
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1.4 DEFINITIONS Not Used

1.5 SUBMITTALS

- A. Written report for approval for each aggregate class and source, a minimum of five working days before placement. Include the following:
 - 1. Aggregate suitability. Refer to this Section, Part 2.
 - 2. Name of supplier and location of source.
 - 3. Maximum Dry Density and Optimum Moisture Content and associated test result data. Refer to AASHTO T 180, Method D.
 - 4. Job mix gradation including single values for each sieve size, No. 4 and finer. The target values must be within the gradation limits of Table 2.
- B. Job-mix gradation changes
 - 1. Refer to this Section, Article 3.2.

1.6 ACCEPTANCE

- A. Type I Placement – Pavement Section
 - 1. Use Class A aggregate, Table 1.
 - 2. The Engineer takes random samples from the grade and tests for moisture, gradation, and laboratory density and performs in-place density determinations.
 - 3. Meet gradation limits and applicable tolerances of Table 2 for each gradation test.
 - a. Evaluate each sublot separately and do not average with other sublots.
 - 4. Meet minimum density test average of 97 percent of maximum laboratory density with no test less than 94 percent.
- B. Type II Placement – Incidental includes placement for Curb, Curb and Gutter, Driveways, Pedestrian Access Ramps, Sidewalk, Waterways, Flatwork, and other items of work in the contract to which UTBC is included and not measured or paid for separately.
 - 1. Use Class A aggregate, Table 1.
 - 2. The Engineer takes random samples from the grade and tests for moisture, gradation, and laboratory density and performs in-place density determinations.
 - 3. Meet gradation limits and applicable tolerances of Table 2 for each gradation test.
 - a. Each sublot will be evaluated separately and not averaged with other sublots.
 - 4. Meet minimum density test average of 95 percent of maximum laboratory density with no test less than 92 percent.

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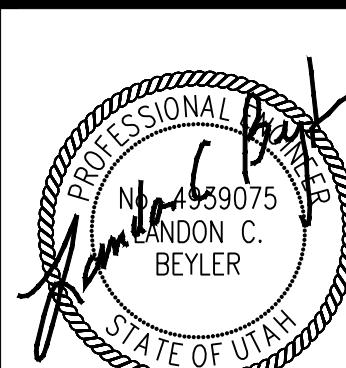
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NO.	DESCRIPTION	INIT	DATE

BEYLER
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CIVIL & STRUCTURAL ENGINEERING | LAND SURVEYING
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

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Plan. Design. Manage

NOTES AND DETAILS SHEET 3
HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS
UTAH
DESIGNED: LCB/EJM DRAWN: EJM SCAL: HZB: VERT: DATE: 4/17/2025



CITY ENGINEER APPROVAL
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN
GENERAL COMPLIANCE TO THE CITY STANDARDS
CITY ENGINEER _____ DATE _____
JOB NUMBER 24.00160
SHEET 6 OF 10

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

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- C. Type III Placement – Shoulder
 - 1. Use Class A or B aggregate, Table 1.
 - 2. Adjust moisture content before compaction.
- D. Material not meeting the gradation requirements may be allowed to remain in-place at the discretion of the Engineer provided density requirements are met.
 - 1. Additional lots may not be placed until the deficiencies are addressed and corrected.
- E. Correct material that does not meet the specified criteria by scarifying, placing additional material, re-mixing, reshaping, and re-compacting when determined by the Engineer.
- F. Do not place additional material on any unaccepted layer.

PART 2 PRODUCTS**2.1 AGGREGATES**

- A. Well-graded, clean, hard, tough, durable, and sound mineral aggregates consisting of crushed stone, crushed gravel, or crushed slag, free of organic matter and contamination from chemical or petroleum products, according to Table 1.

Table 1 Aggregate Properties		
	Aggregate Class	
	A	B
Dry Rodded Unit Weight	Not less than 75 lb/ft ³	AASHTO T 19
Liquid Limit/Plastic Index	Non-plastic PI ≤ 6	AASHTO T 89
Aggregate Wear	Not to exceed 50 percent	AASHTO T 96
Gradation	Table 2	AASHTO T 27
CBR with a 10 lb surcharge measured at 0.20 inch penetration	70% Minimum	N/A
Two Fractured Faces	50% Min	N/A
		AASHTO T 335

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- G. AASHTO T 90: Determining the Plastic Limit and Plasticity Index of Soils
- H. AASHTO T 96: Resistance to Degradation of Small-Size Coarse Aggregate by Abrasion and Impact in the Los Angeles Machine
- I. AASHTO T 104: Soundness of Aggregate by Use of Sodium Sulfate or Magnesium Sulfate
- J. AASHTO T 112: Clay Lumps and Friable Particles in Aggregate
- K. AASHTO T 176: Plastic Fines in Graded Aggregates and Soils by Use of the Sand Equivalent Test
- L. AASHTO T 195: Determining Degree of Particle Coating of Asphalt Mixtures
- M. AASHTO T 209: Theoretical Maximum Specific Gravity and Density of Asphalt Mixtures
- N. AASHTO T 255: Total Evaporable Moisture Content of Aggregate by Drying
- O. AASHTO T 304: Uncompacted Void Content of Fine Aggregate
- P. AASHTO T 335: Determining the Percentage of Fracture in Coarse Aggregate
- Q. UDOT Materials Manual of Instruction
- R. UDOT Minimum Sampling and Testing Requirements
- S. UDOT Quality Management Plans

1.4 DEFINITIONS

- A. Longitudinal Joint – Any new asphalt lift abutting an existing paving lift. This includes joints created by echelon paving and new asphalt placed against a milled asphalt edge.
- B. Lot – The amount of Asphalt Mix placed in a single Production Day.
- C. Minor Target Change – A change from the verified mix design gradation target on a maximum of two sieves with the following limitations.
 - 1. The maximum change from the verified target gradation on the No. 8 or any coarser sieve is limited to 3 percent passing per sieve.

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- B. Establish the job mix (target) gradation for the $\frac{3}{4}$ inch sieve and finer within the gradation limits.
 - 1. The Job Mix Gradation Tolerance is the allowable deviation from the job mix (target) gradation on the applicable sieves.
 - 2. All other percents passing will be within the gradation limits. Refer to AASHTO T 11 and AASHTO T 27.

Table 2 Gradation Limits		
Sieve Size	Job Mix Gradation Target Band	Job Mix Gradation Tolerance
1½ inch	100	±9.0
1 inch	90 - 100	±9.0
¾ inch	70 - 85	±9.0
½ inch	65 - 80	±9.0
¾ inch	55 - 75	±9.0
No. 4	40 - 65	±7.0
No. 16	25 - 40	±5.0
No. 200	7 - 11	±3.0

Percent passing based on total aggregate (dry weight) and fine and coarse aggregate with approximately the same bulk specific gravities.

PART 3 EXECUTION**3.1 PREPARATION**

- A. Remove vegetation before Type III placement. Refer to Section 02231.
 - 1. Protect existing delineators in place.

3.2 INSTALLATION

- A. Provide moisture content of ± 2 percent of optimum at the time of placement. Refer to AASHTO T 180, Method D and AASHTO T 255.
- B. Procedures for Changing the Job-Mix Gradation
 - 1. Submit changes in writing 24 hours before placement for approval by the Engineer.
- C. Place in layers of uniform thickness and compact each layer to a thickness not to exceed a 6 inch depth.
 - 1. Do not place on any frozen surface. Refer to Section 01572.

- 2. The maximum change from the verified target gradation on the No. 16 or No. 50 sieves is 2 percent passing per sieve.
- 3. The maximum change from the verified target gradation on the No. 200 sieve is 0.5 percent passing.
- 4. No target change may violate the mix design requirements in this section.

D. Overband – an 8 inch protective asphalt coating sealing the longitudinal joint of final riding surface, as proposed by the contractor and approved by the Engineer

E. Production Day – A 24 hour period in which Asphalt Mix is being placed.

F. RAP – Recycled Asphalt Pavement. Crushed or milled asphalt materials that have been removed from pavements for recycling.

G. Thin Overlay Pavement – New Asphalt Mix design thickness less than 2 inches.

H. Lane-Leveling – Variable depth paving to correct minor rutting and longitudinal variations in the roadway. Depth varies from the maximum aggregate size to the depth needed to correct variations.

I. Profile leveling - Variable depth paving to correct minor profile variations in the roadway. Depth varies from the maximum aggregate size to the depth needed to correct variations.

1.5 SUBMITTALS

- A. Mix design for verification and approval before paving according to UDOT Materials Manual of Instruction Section 960.
- B. Changes in job mix design
 - 1. Submit a written request for any proposed change in the job-mix design
 - a. Allow at least 12 hours for approval before incorporating a minor target change into production.
 - b. Allow at least six working days for verification and approval of any other change.
 - 2. Include documentation supporting correlation between suggested target changes and mix design volumetric requirements.
 - a. Acceptable documentation may include Department or Contractor testing data.
 - 3. Submit samples according to the UDOT Materials Manual of Instruction 960 for a volumetric mix design verification for anything other than approved minor target changes.

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- D. Finish to a uniform line and grade with surface deviations no more than $\frac{1}{8}$ inch in 10 ft in any direction.

- 1. Correct any profile deviations greater than $\frac{1}{8}$ inch.
 - a. Rework minimum of 4 inch lift to achieve homogeneous density.
 - b. Determine limits of correction based on extent of deviation.
 - c. Continue finishing until existing deviation is less than $\frac{1}{8}$ inch.

- E. Maintain optimum moisture content ± 2 percent during compaction.

- 1. Use appropriate compaction equipment adjacent to abutments, backwalls, approach slabs, wing walls, retaining walls, and other structures.
- 2. Use a minimum of two passes with a roller for Type III placement or as directed by the Engineer.

END OF SECTION

SECTION 02741**ASPHALT MIX****PART 1 GENERAL****1.1 SECTION INCLUDES**

- A. Flexible pavement consisting of one or more layers of an asphalt mixture comprised of aggregate, asphalt binder, hydrated lime, and other additives.
- B. An option to incorporate Reclaimed Asphalt Pavement (RAP) materials into Asphalt Mix.

1.2 RELATED SECTIONS

- A. Section 01456: Materials Dispute Resolution
- B. Section 02701: Pavement Smoothness
- C. Section 02742S: Project Specific Surfacing Requirements
- D. Section 02745: Asphalt Material
- E. Section 02746: Hydrated Lime
- F. Section 02748: Prime Coat/Tack Coat

1.3 REFERENCES

- A. AASHTO M 323: Superpave Volumetric Mix Design
- B. AASHTO R 35: Superpave Volumetric Design for Asphalt Mixtures
- C. AASHTO T 11: Materials Finer Than 75 μ m (No. 200) Sieve in Mineral Aggregates by Washing
- D. AASHTO T 19: Bulk Density ("Unit Weight") and Voids in Aggregate
- E. AASHTO T 27: Sieve Analysis of Fine and Coarse Aggregates
- F. AASHTO T 89: Determining the Liquid Limit of Soils

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2. Density Requirements

- a. The target for in-place density for the mat is 93.5 percent of Theoretical Maximum Specific Gravity except for thin overlay pavements.
- b. The target for in-place density for the longitudinal joint is 91.5 percent of the Theoretical Maximum Specific Gravity (G_{mm}).
- c. The target for in-place density is 92.5 percent of theoretical maximum specific gravity for thin overlay pavements.
- 1) Do not take longitudinal joint cores for thin overlay pavements.
- 3. Thickness is evaluated with mat density cores. The thickness requirement may be waived when matching up to existing pavement, curb and gutter for Pavement in or next to intersections.
 - a. The Department accepts a lot for thickness when:
 - 1) The average thickness is not more than $\frac{1}{8}$ inch greater or $\frac{1}{4}$ inch less than the total design thickness specified.
 - 2) No individual subplot shows a deficient thickness of more than $\frac{1}{8}$ inch.
 - b. Excess Thickness – The Engineer may allow excess thickness to remain in place or may order its removal.
 - 1) The Department pays for 50 percent of the mix for material in excess of the $\pm\frac{1}{8}$ inch tolerance when excess thickness is allowed to remain in place.
 - c. Deficient Thickness – Place additional material where lots or sublots are deficient in thickness.
 - 1) The Department pays for material necessary to reach specified thickness.
 - 2) The Department pays for 50 percent of the mix for additional material over specified thickness necessary to achieve minimum lift thickness.
 - 3) Minimum compacted lift is 3 times the nominal maximum aggregate size.
 - d. Thickness tolerances established above do not apply to leveling courses.
 - 1) Check final surfaces in staged construction.
 - e. Check thickness regularly with a depth probe during placement and take corrective action as necessary.

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CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

JOB NUMBER
24.00160

SHEET
7 OF 10

CITY ENGINEER
DATE

BEYLER CONSULTING
Plan. Design. Manage
CIVIL & STRUCTURAL ENGINEERING | LAND SURVEYING
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

NO.	DESCRIPTION	INIT	DATE
CORPORATE OFFICE 5920 100th St. SW, Ste #25 Lakewood, WA 98499 (253) 884-2900 beylerconsulting.com			

SECTION 03, TOWNSHIP 10 N., RANGE 01 E., S.L.B. & M.

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4. Longitudinal Joint
a. The edge of a new asphalt mat may be removed for the purpose of meeting longitudinal joint density requirements.
1) The material wasted is still included in the payment.
2) Up to 3 inches for a confined edge is allowed.
3) Up to 6 inches for an unconfined edge is allowed.

D. The Department applies one Incentive/Disincentive for the lowest dollar value for Gradation/Asphalt Content, one Incentive/Disincentive for In-Place Mat Density, and one Incentive/Disincentive for Longitudinal Joint Density. The Engineer computes Incentives/Disincentives as follows for each lot:
1. Compute incentive/disincentive for Gradation/Asphalt Binder and In-place Mat Density and Longitudinal Joint Density according to Table 1.
2. Base the incentive/disincentive on Percent within Limit (PT) computation using Tables 2, 3, and 4.
3. Use lowest single PT value combined for gradation (each of the sieves) and asphalt binder content for calculating the gradation/asphalt binder content incentive/disincentive.
4. Use Tables 2, 3, and 4 to determine PT for in-place Mat Density and Longitudinal Joint Density.
5. Meet PT of 88 or greater for in-place mat density or the Department does not pay incentives on joint density or gradation/asphalt binder content except for lane-leveling material.
6. The Department pays or assesses the longitudinal joint density incentive/disincentive per ton of Asphalt Mix placed adjacent to, and on the hot side of the longitudinal joint for each lift:
a. The incentive/disincentive will be calculated from the core densities taken from all abutting joints if the Asphalt Mix mat has a longitudinal joint on more than one side.

E. The Department applies incentive/disincentive for smoothness according to Section 02701.
1. Refer to Section 02701 for smoothness requirements.

F. The Department rejects lots:
1. If the PT for any individual gradation measurement is less than 52 percent as shown in Table 1.
2. If the PT for asphalt binder content or mat density measurement is less than 60 percent as shown in Table 1.

3. The Engineer may accept a reject or non-conforming lot. Refer to Section 01456.
a. A price reduction of 35 percent of the pay item or \$20 per ton, whichever is greater, will be assessed.
b. The lot will not be eligible for any incentive.

G. The Engineer may elect to accept material on visual inspection according to the Minimum Sampling and Testing Requirements.
1. Incentives/Disincentives are not applied to material accepted visually.
2. The Engineer reserves the option of conducting any acceptance tests necessary to determine that the material and workmanship meet the project requirements.

H. Meet production control requirements of Table 9.
1. Material placed within the Cease Production Limit in Table 9 is not eligible for incentives.

1.7 DISPUTE RESOLUTION

A. Refer to Section 01456 when disputing the validity of the Department's acceptance tests.

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02741 – 9 of 222025 Standard Specifications
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Use the appropriate "number of tests" column and round down to the nearest value.

PU or PL	Quality Index Values (QU or QL) for Estimating Percent Within Limits									
	n=3	n=4	n=5	n=6	n=7	n=8	n=10	n=12	n=15	n=20
100	1.16	1.50	1.75	1.91	2.06	2.15	2.29	2.35	2.47	2.56
99	1.16	1.47	1.68	1.79	1.89	1.95	2.04	2.09	2.14	2.19
98	1.15	1.44	1.61	1.70	1.77	1.80	1.86	1.89	1.93	1.97
97	1.15	1.41	1.55	1.62	1.67	1.69	1.74	1.77	1.80	1.82
96	1.15	1.38	1.49	1.55	1.59	1.61	1.64	1.66	1.69	1.70
95	1.14	1.35	1.45	1.49	1.52	1.54	1.56	1.57	1.59	1.61
94	1.13	1.32	1.40	1.44	1.46	1.47	1.49	1.50	1.51	1.53
93	1.12	1.29	1.36	1.38	1.40	1.41	1.43	1.44	1.46	
92	1.11	1.26	1.31	1.33	1.35	1.36	1.37	1.37	1.38	1.39
91	1.10	1.23	1.27	1.29	1.30	1.31	1.32	1.32	1.32	1.33
90	1.09	1.20	1.23	1.24	1.25	1.25	1.26	1.27	1.27	
89	1.08	1.17	1.20	1.21	1.21	1.21	1.21	1.22	1.22	
88	1.07	1.14	1.16	1.17	1.17	1.17	1.17	1.17	1.17	
87	1.06	1.11	1.12	1.12	1.13	1.13	1.13	1.13	1.13	
86	1.05	1.08	1.08	1.08	1.08	1.08	1.08	1.08	1.08	
85	1.03	1.05	1.05	1.05	1.04	1.04	1.04	1.04	1.04	
84	1.02	1.02	1.02	1.01	1.01	1.01	1.00	1.00	1.00	1.00
83	1.00	0.99	0.98	0.97	0.97	0.96	0.96	0.96	0.96	0.96
82	0.98	0.96	0.95	0.94	0.94	0.93	0.93	0.92	0.92	0.92
81	0.96	0.93	0.92	0.91	0.90	0.90	0.89	0.89	0.89	0.88
80	0.94	0.90	0.88	0.87	0.86	0.86	0.85	0.85	0.85	0.85
79	0.92	0.87	0.85	0.84	0.83	0.83	0.82	0.82	0.82	0.81
78	0.89	0.84	0.82	0.81	0.80	0.79	0.79	0.78	0.78	0.78
77	0.87	0.81	0.79	0.78	0.77	0.76	0.76	0.75	0.75	0.75
76	0.84	0.78	0.76	0.75	0.74	0.73	0.72	0.72	0.72	0.72
75	0.82	0.75	0.73	0.72	0.71	0.70	0.69	0.69	0.69	0.68
74	0.79	0.72	0.70	0.68	0.67	0.67	0.66	0.66	0.66	0.65
73	0.77	0.69	0.67	0.65	0.64	0.64	0.62	0.62	0.62	0.62
72	0.74	0.66	0.64	0.62	0.61	0.61	0.60	0.59	0.59	0.59
71	0.71	0.63	0.60	0.59	0.58	0.58	0.57	0.56	0.56	0.56
70	0.68	0.60	0.58	0.56	0.55	0.55	0.54	0.54	0.54	0.53
69	0.65	0.57	0.55	0.54	0.53	0.52	0.51	0.51	0.51	0.50
68	0.62	0.54	0.52	0.51	0.50	0.50	0.48	0.48	0.48	0.48
67	0.59	0.51	0.49	0.48	0.47	0.47	0.46	0.45	0.45	0.45
66	0.56	0.48	0.46	0.45	0.44	0.44	0.43	0.42	0.42	0.42
65	0.53	0.45	0.43	0.42	0.41	0.41	0.40	0.40	0.40	0.39
64	0.49	0.42	0.40	0.39	0.38	0.38	0.37	0.37	0.37	0.37
63	0.46	0.39	0.37	0.36	0.35	0.35	0.34	0.34	0.34	0.34
62	0.43	0.36	0.34	0.33	0.33	0.32	0.31	0.31	0.31	0.31
61	0.39	0.33	0.31	0.30	0.30	0.29	0.29	0.29	0.29	0.28
60	0.36	0.30	0.28	0.27	0.26	0.26	0.25	0.25	0.25	0.25
59	0.32	0.27	0.25	0.25	0.24	0.24	0.23	0.23	0.23	0.23

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02741 – 12 of 222025 Standard Specifications
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Incentive/Disincentive for Asphalt Binder Content, and Mat Density
PT Based on Min. Four Samples Incentive/Disincentive (Dollars/Ton)

PT Based on Min. Four Samples	Incentive/Disincentive (Dollars/Ton)
>99	2.00
96-99	1.50
92-95	1.00
88-91	0.00
84-87	-0.26
80-83	-0.60
76-79	-0.93
72-75	-1.27
68-71	-1.60
64-67	-1.93
60-63	-2.27
<60	Reject

Table 2
Upper and Lower Limit Determination
Parameter UL and LL

Parameter	UL and LL
% inch sieve for ½ inch Asphalt Mix	Target Value ± 6.0%
No. 4 sieve for ¾ inch Asphalt Mix	
No. 8 sieve	Target Value ± 5.0%
No. 50 sieve	Target Value ± 3.0%
No. 200 sieve	Target Value ± 2.0%
Asphalt Binder Content	Target Value ± 0.35

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Table 3		
Approximate Spread Rates		
Unit	Weight lbs/ft ²	Application Rate lbs/yd ²
Lightweight Type I Chip Seal	45 - 50	9.6
	50 - 55	10.6
	55 - 60	11.6
Lightweight Type II Chip Seal	45 - 50	11.8
	50 - 55	13.1
	55 - 60	14.3
Standard Chip Seal	60 - 65	17.0
	65 - 70	18.4
	70 - 75	19.8
	75 - 80	20.7
	80 - 85	22.1
	85 - 90	23.5
	90 - 95	24.9
	95 - 100	25.8

3.5 SURFACE ROLLING

- A. Use at least three pneumatic-tire rollers in a longitudinal direction to roll surface after the cover material has been spread.
- B. Roll at least three passes to seat the cover material.
 - 1. A pass is defined as traveling in one direction only.
- C. Control bleeding with blotter material and as determined by the Engineer.
- D. Set the roller speed to prevent bouncing or skidding.
 - 1. Do not exceed 5 mph.
 - 2. Reduce roller speeds during directional changes to prevent surface tearing.
- E. Synchronize the speed of the distributor and chip spreader with that of the rolling operation.
 - 1. Begin initial rolling, consisting of one complete coverage, immediately behind the chip spreader.
 - 2. Begin secondary rolling, consisting of second and third coverage, immediately after completing initial rolling.
 - 3. Synchronize all operations to keep rolling operations within 2,500 feet of the ongoing chip seal application.

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- F. Sweep excess cover material off the roadway after the emulsion has set.
 - 1. Remove excess cover material to the satisfaction of the Engineer before opening the roadway to traffic.
 - 2. Keep downward pressure of broom to a minimum.
 - 3. Use water as requested by the Engineer if excessive dust is generated during sweeping operations.
 - 4. Use pickup or vacuum sweepers in urban areas where aggregate accumulates in gutters or where removal is required from the edge of the shoulder.
 - 5. Do not dislodge embedded aggregate when brooming chip sealed roadway.
- G. Repair all damage to the seal coat before opening the roadway to traffic.

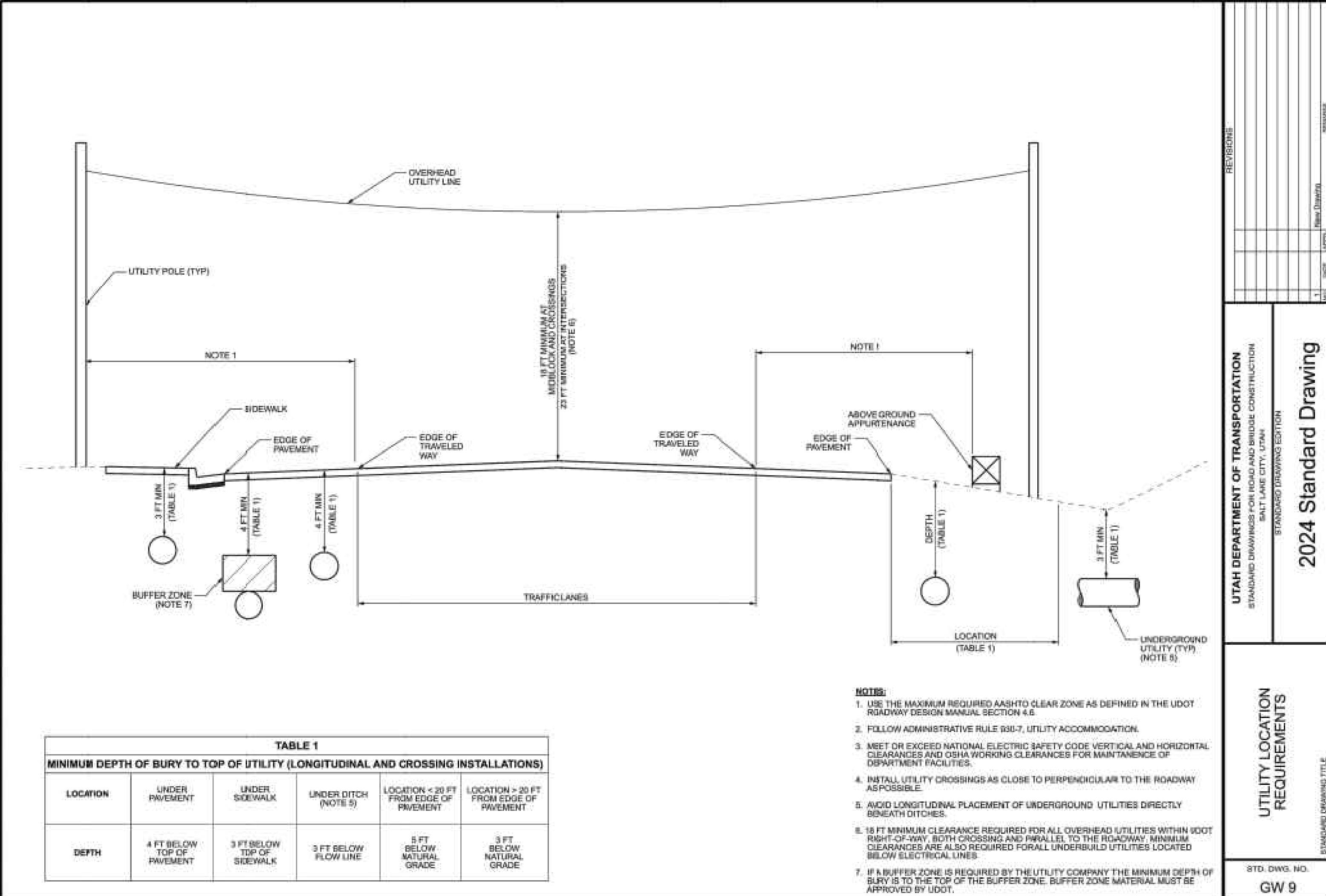
3.6 BITUMINOUS FLUSH COAT APPLICATION

- A. Clean the surface of all dirt, sand, dust, loose chips, and other objectionable material to the satisfaction of the Engineer before applying bituminous flush coat.
- B. Apply the bituminous flush coat at a rate of $0.11, \pm 0.01$ gal/yd².
 - 1. Keep traffic off the flushed surface until the bituminous material has set sufficiently to prevent tracking or pick-up.

3.7 PAVEMENT MARKING PAINT

- A. Allow at least 24 hours after completing flush coat before applying permanent pavement markings.

END OF SECTION

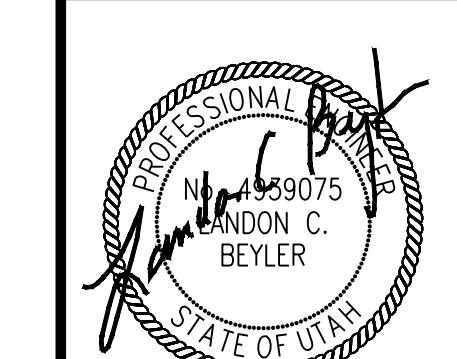
Chip Seal Coat
02785 – Page 9 of 92025 Standard Specifications
Latest Revision: February 15, 2024

NOTES AND DETAILS SHEET 7

HYRUM MARKET 1860
CIVIL IMPROVEMENT PLANS

HYRUM CITY

DESIGNED: LCB/EJM	DRAWN: EJM	CHECKED: LCB	SCALE: HORIZ: 4/17/2025
STD. Dwg. No. GW 9	VERT: 4/17/2025		



CITY ENGINEER APPROVAL

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

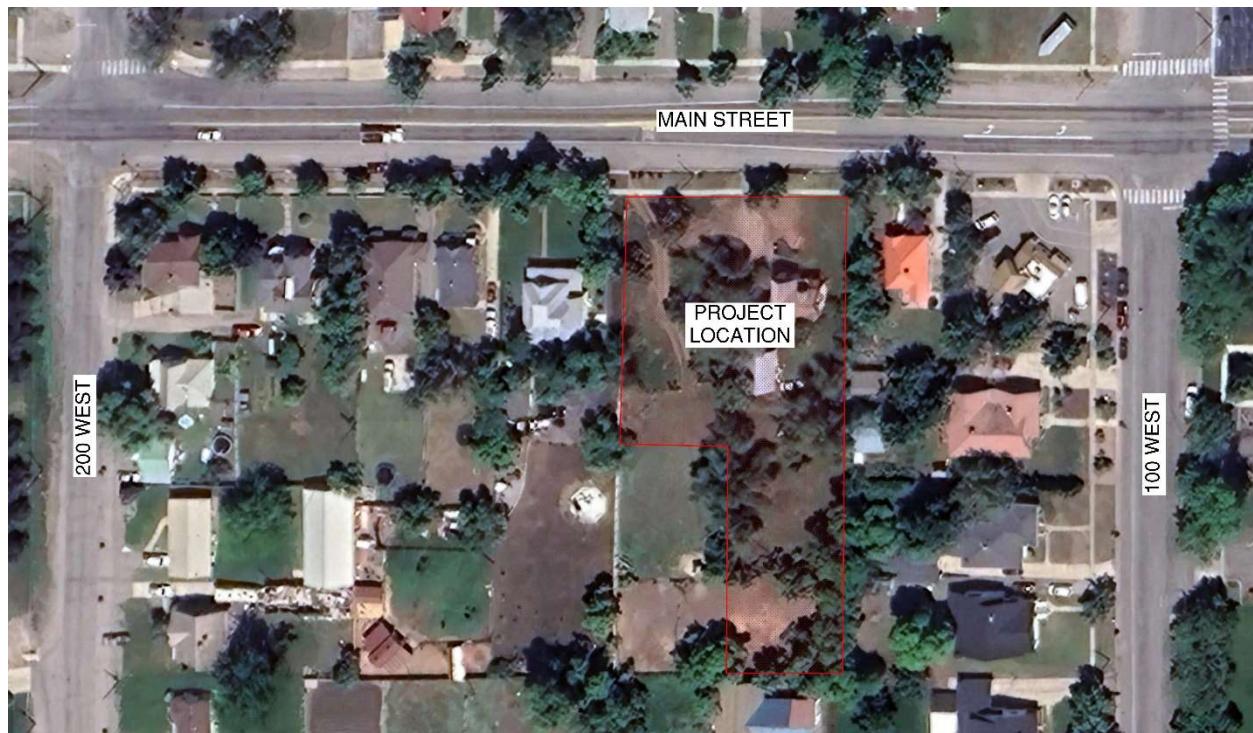
JOB NUMBER
24.00160

SHEET
10 OF 10

PRELIMINARY DRAINAGE REPORT FOR:

HYRUM MARKET 1860

HYRUM CITY, UTAH



REVIEWED BY:



BEYLER
CONSULTING

Landon Beyler, PE
Beyler Consulting
5920 100th St SW, Ste #25
Lakewood, WA 98799

Preliminary Drainage Plan

1. GENERAL DESCRIPTION

The Hyrum Market 1860 is a 0.965 acre property located in Hyrum, Cache County, Utah and is situated west at 127 West Main Street. This property will be developed into 2 commercial buildings and consist of parking area, buildings, and landscaping.

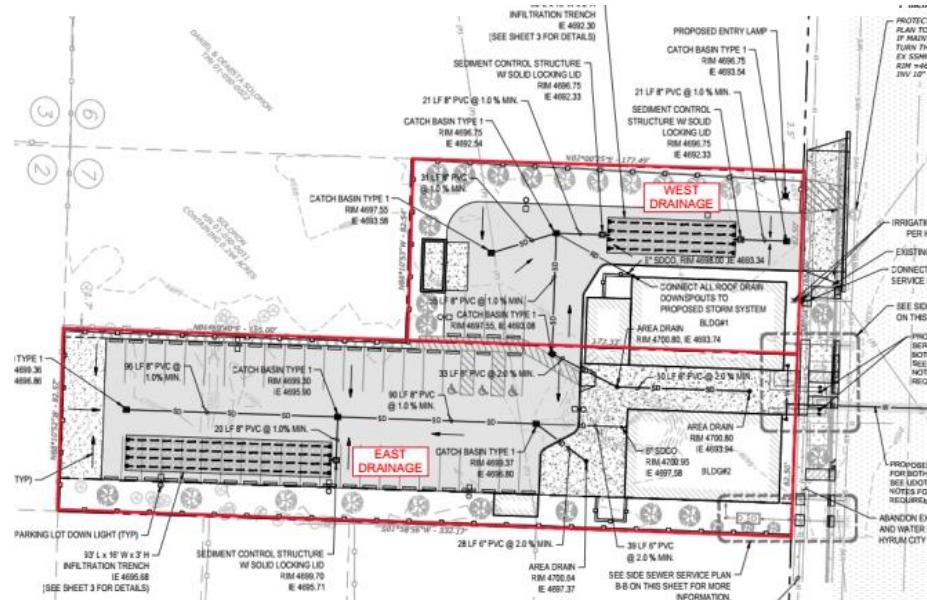
The current parcels consists of houses, detached garage/barn, small sheds, and an unfinished concrete structure. The remaining area appears to be mainly used as pastureland. All building on the site will be demolished as part of this development.

2. PROPOSED ON-SITE DRAINAGE

Surface water from precipitation generally drains towards the northwest corner of the property. Due to roadways that border to the north, it is anticipated that upstream flows will be conveyed past the property through the roadways and not impact the project.

Based on a zero release rate from the project, an analysis was performed for this site. The site is divided into two drainage areas, each with their own retention basin, designated as the west drainage and east drainage. The location is based on topography and the layout of the proposed roadways and buildings. The retention facility will capture the 100-year 24-hour storm event with one foot of freeboard.

Storm drain piping will be installed within the Project to capture runoff generated from buildings, roadways, and landscape areas. Water will generally sheet flow to roadways, flow down gutters to inlets and be conveyed in pipes to the retention basin. The proposed development for this site consists of 2 commercial buildings and consist of parking area, buildings, and landscaping. Runoff from this project will be collected within the project by inlet boxes and conveyed through underground piping to a retention basin. The retention basin will be located and described above and as shown on the Drainage Basin Map shown here.



3. CALCULATIONS

Runoff calculations are provided below. The 100 year, 24 hour storm event was used for the sizing of the retention basin.

3.1 DESIGN STORM CRITERIA

Storm intensities used in this study area are taken from the NOAA Atlas 14, Volume 1, Version 5 for Latitude 41.6339, Longitude -111.8589, Elevation 4698. Storm intensity and depth tables are attached for reference.

3.2 STORM DRAINAGE GENERATION

The storm drain analysis is completed using the rational method, using the rational formula:

$$Q = C * i * A$$

Where;

Q = Design flow in cubic feet per second (cfs)

C = Runoff coefficient. Represents percent of precipitation that will contribute as runoff.

i = Rainfall intensity in inches per hour (in/hr)

A = Drainage area in acres (Ac)

A unique C value is assigned to each type of land cover such as impervious and pervious surfaces.

Examples of impervious surfaces are the asphalt street, concrete driveways and sidewalks. Examples of pervious surfaces are lawns, gardens and open areas. The C value for some land cover types is also affected by the drainage configuration of that cover. For example, house roofs are essentially impervious surfaces, but because of the nature of roof rain gutter systems and because the down spouts from the rain gutters typically drain onto open lawns, the percentage of water contributed to the Subdivision storm drainage system is usually much lower than other impervious surfaces.

For this analysis, the drainage areas are divided into three surface cover types, namely hardscape, buildings, and landscaped areas. The streets include park strips and sidewalks.

The assigned C value for each surface cover is as follows:

Hardscape C = 0.90

Buildings C = 0.85

Landscaping C = 0.15

For each drainage sub-basin the amount of impermeable and permeable surface area is measured to calculate a composite C value. The composite C value is calculated as follows.

$$\text{Composite C} = \text{Sum} (C_i * A_i) / A_t$$

Where;

C_i = Runoff coefficient for each type of land cover.

A_i = Drainage area of each type of land cover.

A_t = Total drainage area of all types of land cover in the sub-basin.

3.3 DRAINAGE BASIN DELINEATION

For the purposes of this preliminary study, areas were calculated for each of the surface cover types in order to calculate the volume of runoff the retention basin should capture. For final design, delineation will be performed so piping can be sized appropriately. The attached Table A shows the volume calculation.

TABLE 1
WEST RETENTION BASIN

Rain Fall Intensity from NOAA Website for Hyrum, Utah, 41.6339° N, 111.8589° W

Infiltration		8.33E-05	80th Percentile Storm [in]	0.50	Drainage Characteristics
Design Rate [ft/sec]			Land Disturbance [ac]	0.33	Contributing Area [ac]
			Impervious Area [ac]	0.26	C (Weighted Average)
			Imperviousness	78.79%	C*A
			R_v	0.697	
			Minimum Retention Volume [cf]	417	Calculated Orifice Diameter [in]
			LID Depth [ft]	0.92	Rounded Orifice Diameter [in]

A	B	C	D	E	F	G	H	I	J	K (C - F - I)
Time [min]	100 yr intensity [in/hr]	Storm Volume [cf]	Estimated Max Stage [ft]	Infiltration Area [sf]	Infiltration [cf]	Outlet Time [min]	Outlet Rate [cfs]	Outlet Volume During the Storm [cf]	Outlet Volume After the Storm [cf]	Accumulated Storage [cf]
5	5.78	417	0.89	669.28	16.73	-	-	-	-	400.58
10	4.40	635	1.18	801.33	40.07	-	-	-	-	595.43
15	3.64	788	1.35	878.75	65.91	-	-	-	-	721.97
30	2.44	1,056	1.60	992.59	148.89	-	-	-	-	907.39
60	1.52	1,316	1.60	992.59	297.78	-	-	-	-	1,018.24
120	0.86	1,489	1.60	992.59	595.55	-	-	-	-	893.62
180	0.61	1,576	1.60	992.59	893.33	-	-	-	-	682.43
360	0.36	1,853	1.60	992.59	1,786.66	-	-	-	-	66.15
720	0.22	2,286	1.60	992.59	3,573.32	-	-	-	-	-
1,440	0.13	2,788	1.60	992.59	7,146.64	-	-	-	-	-

Basin Characteristics		Emergency Overflow	
Volume [cf]	1,033.73	Rate [cfs]	0.37
Depth [ft]	1.60	Height [ft]	2.00
Top Area [sf]	1,028.16	Length [ft]	0.04

Orifice Diameter [in]
Height of Outlet

-
0' 11"

Volume Provided [ft³]	1,034	102% of required
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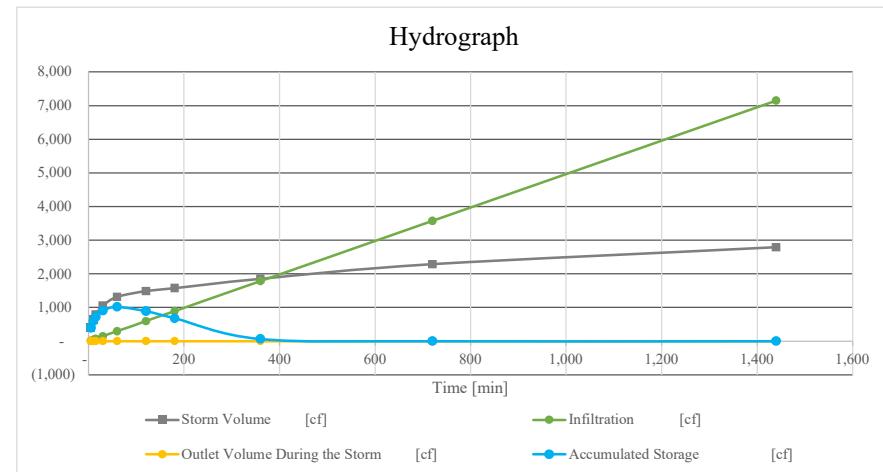


TABLE 1
EAST RETENTION BASIN

Rain Fall Intensity from NOAA Website for Hyrum, Utah, 41.6339° N, 111.8589° W

<u>Infiltration</u>		8.33E-05	80th Percentile Storm [in]	0.50	<u>Drainage Characteristics</u>	
Design Rate [ft/sec]			Land Disturbance [ac]	0.63	Contributing Area [ac]	0.63
			Impervious Area [ac]	0.40	C (Weighted Average)	0.62
			Imperviousness	63.49%	C*A	0.39
			R_v	0.557		
			Minimum Retention Volume [cf]	637	Calculated Orifice Diameter [in]	0.00
			LID Depth [ft]	0.92	Rounded Orifice Diameter [in]	0.00

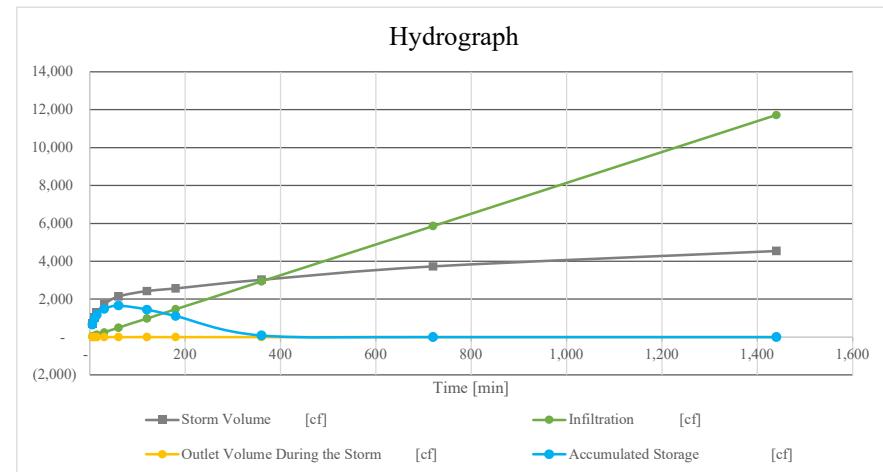
A	B	C	D	E	F	G	H	I	J	K
Time [min]	100 yr intensity [in/hr]	Storm Volume [cf]	Estimated Max Stage [ft]	Infiltration Area [sf]	Infiltration [cf]	Outlet Time [min]	Outlet Rate [cfs]	Outlet Volume During the Storm [cf]	Outlet Volume After the Storm [cf]	(C - F - I)
5	5.78	679	0.88	1,095.18	27.38	-	-	-	-	651.95
10	4.40	1,034	1.18	1,317.17	65.86	-	-	-	-	968.64
15	3.64	1,283	1.35	1,442.96	108.22	-	-	-	-	1,174.33
30	2.44	1,719	1.60	1,627.96	244.19	-	-	-	-	1,475.27
60	1.52	2,142	1.60	1,627.96	488.39	-	-	-	-	1,653.90
120	0.86	2,424	1.60	1,627.96	976.77	-	-	-	-	1,447.39
180	0.61	2,565	1.60	1,627.96	1,465.16	-	-	-	-	1,099.95
360	0.36	3,016	1.60	1,627.96	2,930.32	-	-	-	-	85.79
720	0.22	3,721	1.60	1,627.96	5,860.64	-	-	-	-	-
1,440	0.13	4,538	1.60	1,627.96	11,721.29	-	-	-	-	-

<u>Basin Characteristics</u>		<u>Emergency Overflow</u>	
Volume [cf]	1,667.33	Rate [cfs]	0.60
Depth [ft]	1.60	Height [ft]	2.00
Top Area [sf]	1,640.16	Length [ft]	0.06

Orifice Diameter [in]
Height of Outlet

-
0' 11"

Volume Provided [ft³]	1,667	101% of required
---	--------------	-------------------------





NOAA Atlas 14, Volume 1, Version 5
Location name: Hyrum, Utah, USA*
Latitude: 41.6339°, Longitude: -111.8589°
Elevation: 4698 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerials](#)

PF tabular

Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.114 (0.100-0.130)	0.144 (0.128-0.166)	0.199 (0.175-0.228)	0.248 (0.216-0.284)	0.327 (0.279-0.376)	0.398 (0.330-0.460)	0.482 (0.390-0.563)	0.580 (0.453-0.687)	0.737 (0.549-0.893)	0.877 (0.627-1.08)
10-min	0.173 (0.152-0.197)	0.219 (0.195-0.252)	0.302 (0.265-0.347)	0.377 (0.328-0.432)	0.498 (0.424-0.573)	0.605 (0.503-0.700)	0.734 (0.593-0.857)	0.883 (0.689-1.05)	1.12 (0.835-1.36)	1.34 (0.954-1.65)
15-min	0.215 (0.188-0.244)	0.272 (0.241-0.312)	0.375 (0.329-0.430)	0.468 (0.406-0.535)	0.616 (0.526-0.709)	0.750 (0.624-0.868)	0.910 (0.735-1.06)	1.09 (0.855-1.30)	1.39 (1.04-1.68)	1.66 (1.18-2.05)
30-min	0.289 (0.254-0.329)	0.366 (0.324-0.420)	0.505 (0.443-0.578)	0.630 (0.547-0.721)	0.830 (0.707-0.955)	1.01 (0.840-1.17)	1.22 (0.990-1.43)	1.47 (1.15-1.75)	1.87 (1.39-2.27)	2.23 (1.59-2.76)
60-min	0.357 (0.314-0.407)	0.453 (0.401-0.520)	0.624 (0.548-0.716)	0.779 (0.677-0.892)	1.03 (0.876-1.18)	1.25 (1.04-1.45)	1.52 (1.22-1.77)	1.82 (1.42-2.16)	2.32 (1.73-2.81)	2.76 (1.97-3.41)
2-hr	0.463 (0.415-0.520)	0.581 (0.519-0.651)	0.762 (0.677-0.853)	0.929 (0.817-1.04)	1.20 (1.03-1.35)	1.44 (1.21-1.63)	1.72 (1.41-1.97)	2.05 (1.63-2.39)	2.57 (1.94-3.08)	3.04 (2.21-3.72)
3-hr	0.545 (0.496-0.610)	0.680 (0.618-0.763)	0.864 (0.782-0.965)	1.04 (0.929-1.16)	1.30 (1.15-1.46)	1.54 (1.33-1.74)	1.82 (1.53-2.08)	2.14 (1.75-2.49)	2.66 (2.08-3.17)	3.11 (2.35-3.79)
6-hr	0.746 (0.683-0.822)	0.921 (0.841-1.02)	1.14 (1.04-1.26)	1.34 (1.21-1.48)	1.63 (1.45-1.81)	1.87 (1.64-2.09)	2.14 (1.85-2.41)	2.45 (2.07-2.80)	2.97 (2.44-3.47)	3.44 (2.74-4.08)
12-hr	0.982 (0.900-1.08)	1.21 (1.11-1.34)	1.48 (1.35-1.64)	1.72 (1.56-1.90)	2.07 (1.85-2.29)	2.34 (2.08-2.61)	2.64 (2.30-2.98)	2.96 (2.53-3.37)	3.45 (2.87-3.99)	3.85 (3.12-4.52)
24-hr	1.27 (1.15-1.40)	1.56 (1.42-1.72)	1.90 (1.72-2.10)	2.18 (1.97-2.40)	2.58 (2.32-2.84)	2.89 (2.60-3.18)	3.22 (2.87-3.55)	3.56 (3.16-3.92)	4.03 (3.53-4.45)	4.39 (3.83-4.87)
2-day	1.50 (1.36-1.68)	1.85 (1.67-2.06)	2.24 (2.02-2.50)	2.56 (2.31-2.86)	3.02 (2.70-3.36)	3.38 (3.02-3.76)	3.76 (3.33-4.18)	4.15 (3.66-4.62)	4.68 (4.09-5.23)	5.11 (4.43-5.72)
3-day	1.66 (1.51-1.86)	2.04 (1.85-2.28)	2.48 (2.24-2.76)	2.84 (2.56-3.17)	3.35 (3.00-3.73)	3.75 (3.35-4.18)	4.17 (3.70-4.64)	4.61 (4.06-5.13)	5.21 (4.55-5.81)	5.68 (4.92-6.35)
4-day	1.82 (1.65-2.03)	2.24 (2.03-2.50)	2.72 (2.46-3.03)	3.12 (2.82-3.48)	3.68 (3.31-4.10)	4.12 (3.69-4.59)	4.59 (4.07-5.10)	5.07 (4.46-5.64)	5.73 (5.00-6.38)	6.25 (5.40-6.97)
7-day	2.20 (1.99-2.47)	2.72 (2.46-3.05)	3.30 (2.99-3.71)	3.79 (3.42-4.25)	4.46 (4.01-5.00)	4.99 (4.46-5.59)	5.54 (4.93-6.21)	6.11 (5.40-6.85)	6.88 (6.02-7.74)	7.48 (6.50-8.44)
10-day	2.49 (2.26-2.77)	3.07 (2.79-3.42)	3.73 (3.38-4.15)	4.27 (3.87-4.75)	5.00 (4.51-5.56)	5.56 (5.00-6.18)	6.15 (5.50-6.84)	6.74 (5.99-7.50)	7.53 (6.64-8.41)	8.14 (7.12-9.11)
20-day	3.22 (2.96-3.50)	3.97 (3.65-4.32)	4.77 (4.38-5.18)	5.39 (4.95-5.86)	6.22 (5.69-6.75)	6.82 (6.24-7.41)	7.43 (6.77-8.09)	8.02 (7.27-8.74)	8.78 (7.92-9.60)	9.35 (8.39-10.2)
30-day	3.89 (3.60-4.24)	4.79 (4.43-5.21)	5.73 (5.29-6.23)	6.47 (5.97-7.04)	7.46 (6.87-8.11)	8.20 (7.53-8.92)	8.94 (8.19-9.73)	9.66 (8.81-10.5)	10.6 (9.61-11.6)	11.3 (10.2-12.4)
45-day	4.84 (4.48-5.23)	5.96 (5.50-6.43)	7.06 (6.52-7.61)	7.90 (7.29-8.52)	8.99 (8.28-9.69)	9.78 (8.98-10.5)	10.6 (9.67-11.4)	11.3 (10.3-12.2)	12.2 (11.1-13.2)	12.9 (11.7-14.0)
60-day	5.73 (5.30-6.19)	7.03 (6.50-7.60)	8.26 (7.64-8.93)	9.19 (8.49-9.94)	10.4 (9.56-11.2)	11.2 (10.3-12.1)	12.0 (11.0-13.0)	12.7 (11.7-13.8)	13.6 (12.5-14.9)	14.3 (13.0-15.6)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

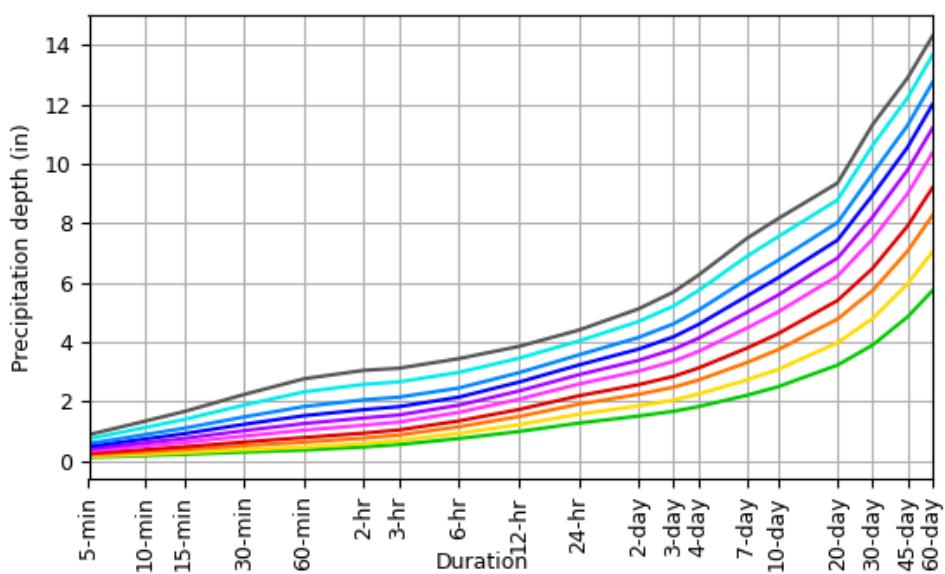
Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

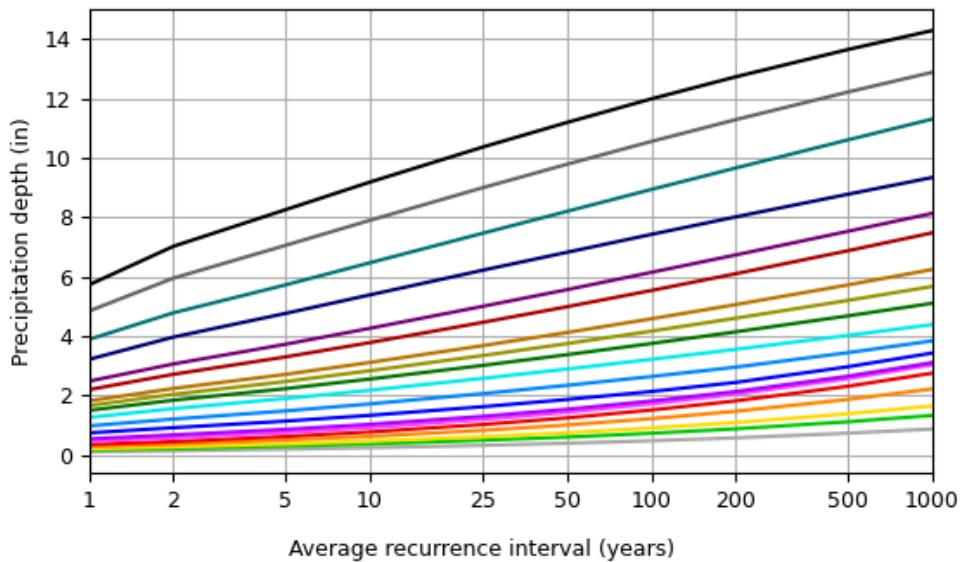
[Back to Top](#)

PF graphical

PDS-based depth-duration-frequency (DDF) curves
Latitude: 41.6339°, Longitude: -111.8589°



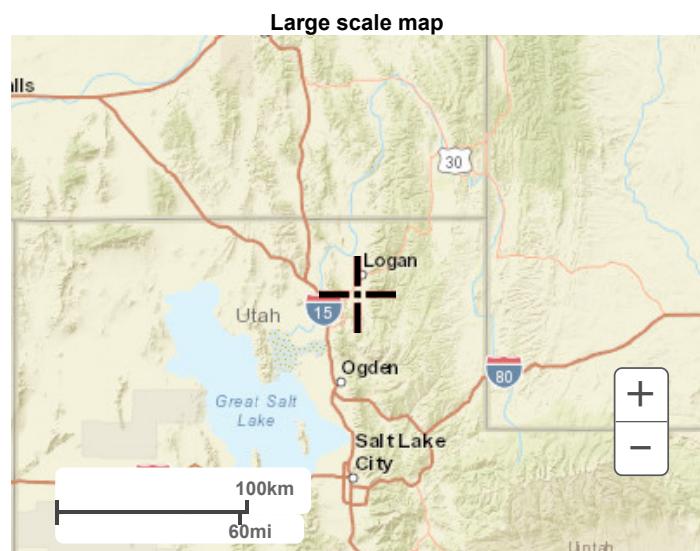
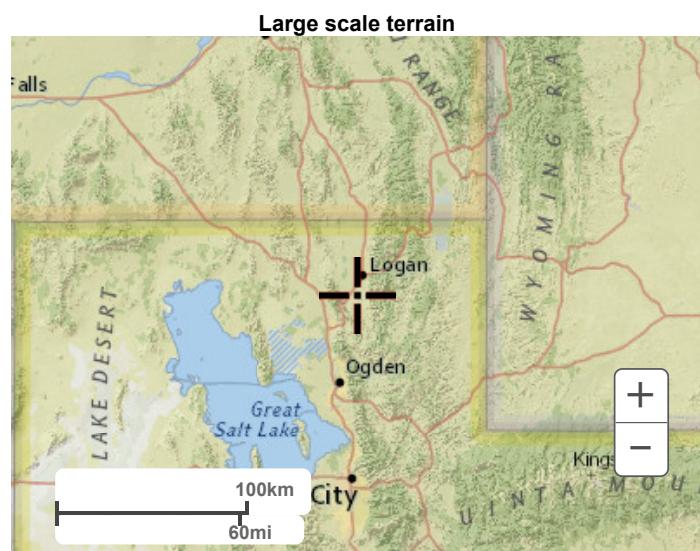
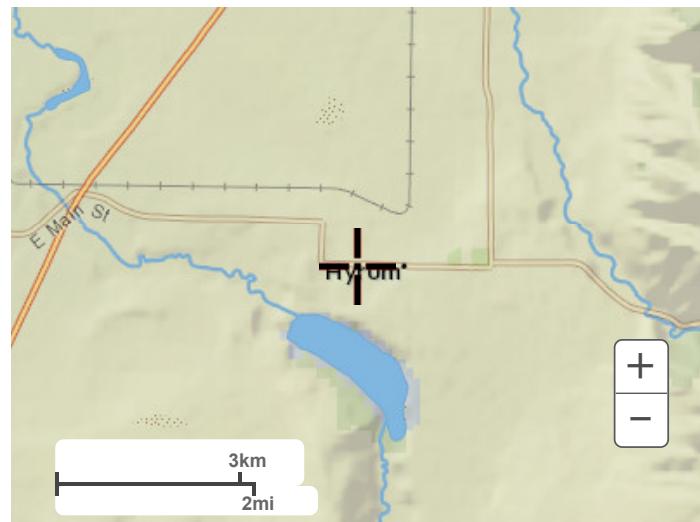
Average recurrence interval (years)
1
2
5
10
25
50
100
200
500
1000



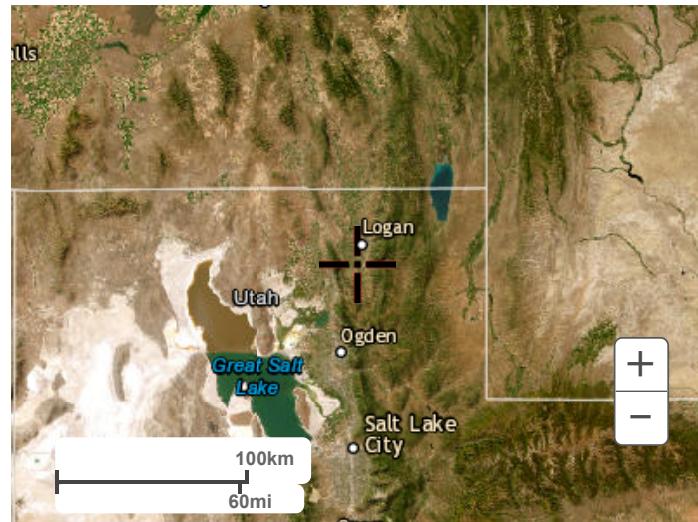
Duration
5-min
10-min
15-min
30-min
60-min
2-hr
3-hr
6-hr
12-hr
24-hr
2-day
3-day
4-day
7-day
10-day
20-day
30-day
45-day
60-day

Maps & aerials

[Small scale terrain](#)



Large scale aerial

[Back to Top](#)

[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

HARVEST VALLEY COURT P.U.D.
FINAL PLAT AMENDMENT
43 NORTH 300 EAST
CITY COUNCIL MEETING
MAY 1, 2025

Summary: Cory Waddoups of Unreasonable Capital Hyrum is seeking City Council approval for the amendment of a final plat for a Planned Unit Development for a 55+ senior community.

ZONING: R-2 Residential (P.U.D.)

UTILITIES:

Power:	Developer to provide
Culinary:	Developer to provide
Sewer:	Developer to provide
Irrigation:	Developer to provide

Notes:

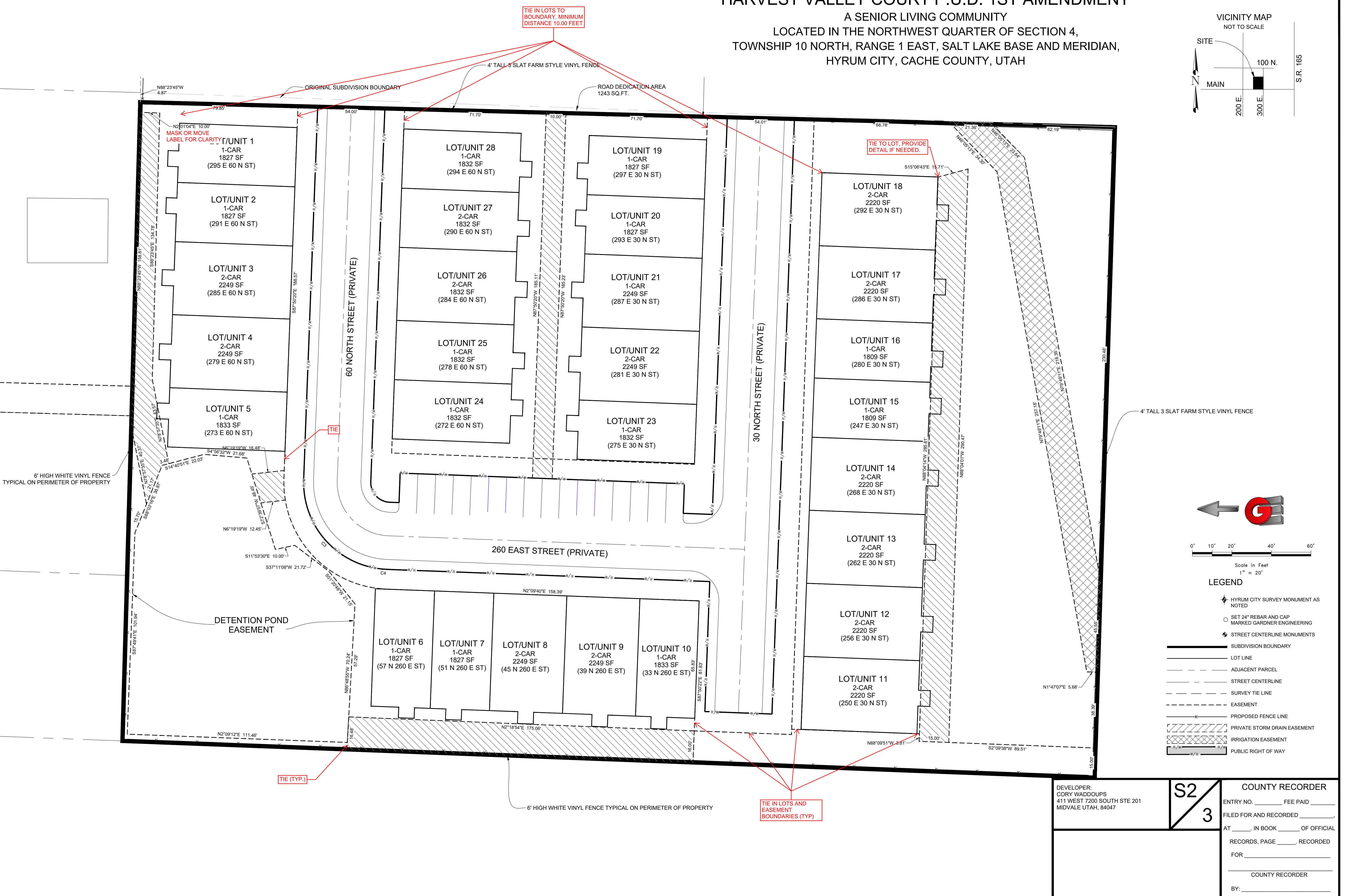
The developer in coordination with the City is seeking to amend the plat to adjust the east boundary of the plat to reflect the accepted city right of way. The significant changes to this include shifting away from the east boundary to meet the 10-foot setback.

- The applicant has prepared an exhibit showing the changes to lot lines to provide more open area.
- Lot lines and building envelopes for Lots 24-28 have been adjusted to make the lines and building areas consistent with each other.
- The property boundaries for Lots 23 and 24 have been adjusted to exclude the sidewalk along 260 East.
- Lot lines have been reduced to the building envelope to put more land in open area.
- A new landscape exhibit has been provided

Electrical component delays are estimated to be 2.5 years. If this development needs any upgrades to the existing services, coordination with the Hyrum City Power Department should be started immediately.

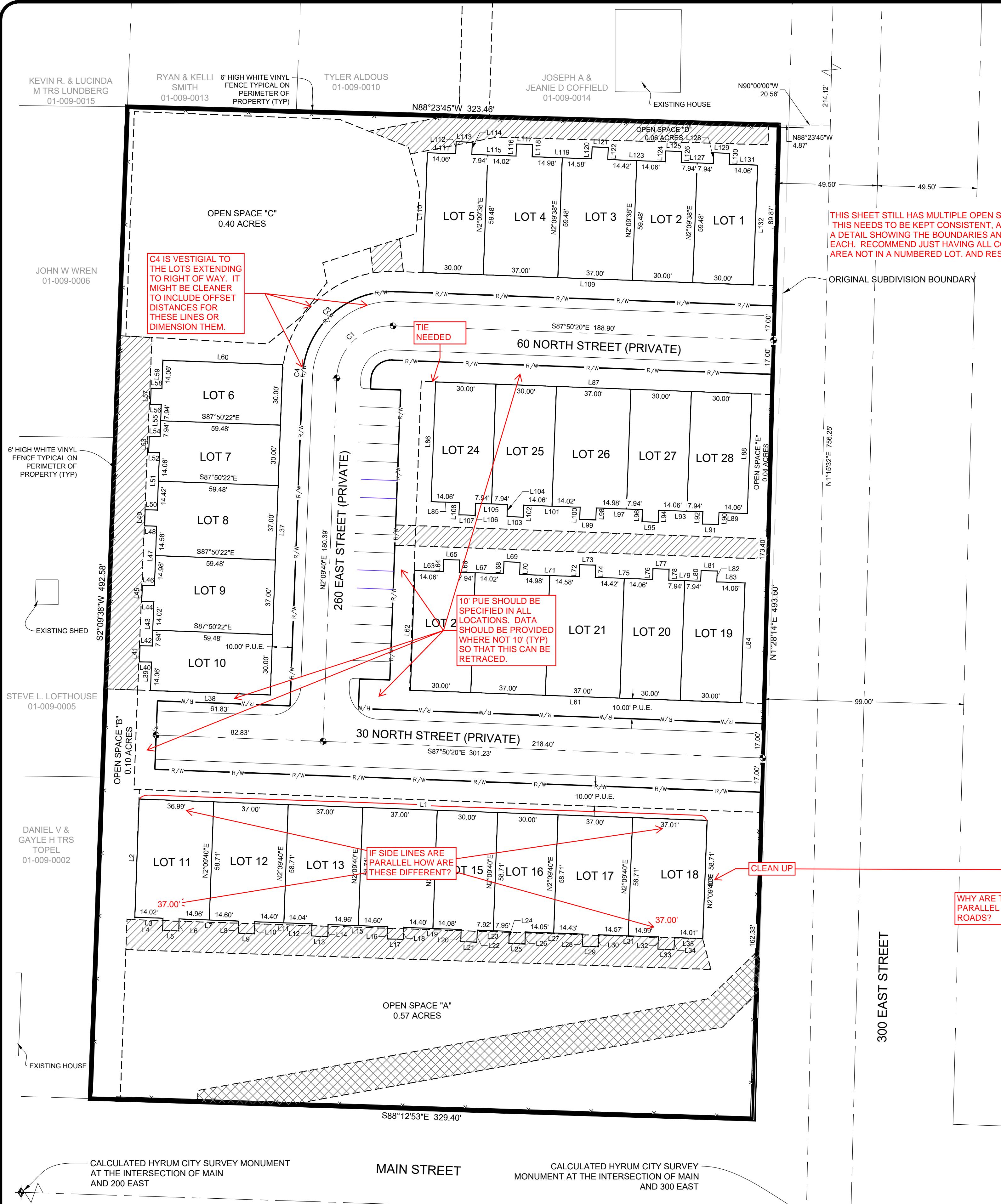
HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT

A SENIOR LIVING COMMUNITY
LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH



HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT

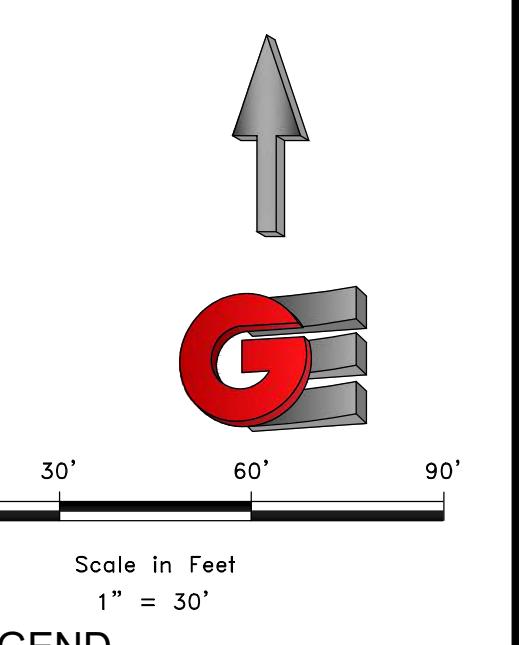
A SENIOR LIVING COMMUNITY

LOCATED IN THE NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH

LINE TABLE		
LINE #	LENGTH	BEARING
L1	282.00	N87° 50' 20"E
L2	58.71	S2° 09' 40"W
L3	14.02	S87° 50' 20"E
L4	6.00	S2° 09' 40"W
L41	8.00	N2° 09' 38"E
L42	6.00	S87° 50' 22"E
L43	21.96	N2° 09' 40"E
L44	5.99	N87° 50' 22"W
L45	8.00	N2° 09' 40"E
L46	5.99	S87° 50' 22"E
L47	29.56	N2° 09' 40"E
L48	5.99	N87° 50' 25"W
L49	8.00	N2° 09' 40"E
L50	5.99	S87° 50' 25"E
L51	28.44	N2° 09' 40"E
L52	6.00	S2° 09' 40"W
L53	8.00	S87° 50' 20"E
L54	5.34	S87° 50' 20"E
L55	15.87	N2° 09' 40"E
L56	5.34	N87° 50' 20"W
L57	8.00	N2° 09' 40"E
L58	5.34	S87° 50' 20"E
L59	14.06	N2° 09' 40"E
L60	59.48	S87° 50' 20"E
L61	164.00	N87° 50' 20"W
L62	59.48	N2° 09' 40"E
L63	14.06	S87° 50' 17"E
L64	6.00	N2° 09' 40"E
L65	8.00	S87° 50' 20"E
L66	6.00	N2° 09' 40"W
L67	21.96	S87° 50' 17"E
L68	5.99	N2° 09' 40"E
L69	8.00	S87° 50' 17"E
L70	5.99	S2° 09' 40"W
L71	29.56	S87° 50' 17"E
L72	5.99	N2° 09' 38"E
L73	8.00	S87° 50' 17"E
L74	5.99	S2° 09' 40"W
L75	28.48	S87° 50' 17"E
L76	5.34	N2° 09' 43"E
L77	8.00	S87° 50' 17"E
L78	5.34	S2° 09' 43"W
L79	15.87	S87° 50' 17"E
L80	5.34	N2° 09' 43"E
L81	6.00	N2° 09' 38"E

LINE TABLE		
LINE #	LENGTH	BEARING
L81	8.00	S87° 50' 17"E
L82	5.34	S2° 09' 43"W
L83	14.06	S87° 50' 17"E
L84	59.48	S2° 09' 43"W
L85	14.06	N87° 50' 19"W
L86	59.48	N2° 09' 41"E
L87	157.00	S87° 50' 20"E
L88	59.48	S2° 09' 41"W
L89	14.06	N87° 50' 19"W
L90	6.00	S2° 09' 41"W
L91	8.00	N87° 50' 19"W
L92	6.00	N2° 09' 41"E
L93	22.00	S87° 50' 19"W
L94	6.00	S2° 09' 41"W
L95	8.00	N87° 50' 19"W
L96	6.00	N2° 09' 41"E
L97	22.92	N87° 50' 19"W
L98	6.00	S2° 09' 41"W
L99	8.00	N87° 50' 19"W
L100	6.00	N2° 09' 41"E
L101	28.08	S87° 50' 19"W
L102	6.00	S2° 09' 41"W
L103	8.00	N87° 50' 19"W
L104	6.00	N2° 09' 41"E
L105	15.87	S87° 50' 19"W
L106	6.00	S2° 09' 41"W
L107	21.96	N87° 50' 19"W
L108	6.00	N2° 09' 41"E
L109	164.00	N87° 50' 20"W
L110	59.48	N2° 09' 40"E
L111	14.06	S87° 50' 17"E
L112	6.00	N2° 09' 40"E
L113	8.00	S87° 50' 20"E
L114	6.00	S2° 09' 40"W
L115	21.96	S87° 50' 17"E
L116	5.99	N2° 09' 40"E
L117	8.00	S87° 50' 17"E
L118	5.99	S2° 09' 40"W
L119	29.56	S87° 50' 17"E
L120	5.99	N2° 09' 38"E

LINE TABLE		
LINE #	LENGTH	BEARING
L121	8.00	S87° 50' 17"E
L122	5.99	S2° 09' 38"W
L123	28.48	S87° 50' 17"E
L124	5.34	N2° 09' 43"E
L125	8.00	S87° 50' 17"E
L126	5.34	S2° 09' 43"W
L127	15.87	S87° 50' 17"E
L128	5.34	N2° 09' 43"E
L129	8.00	S87° 50' 17"E
L130	5.34	S2° 09' 43"W
L131	14.06	S87° 50' 17"E
L132	59.48	S2° 09' 43"W



DEVELOPER:
CORY WADDUPS
411 WEST 7200 SOUTH STE 201
MIDVALE UTAH, 84047

COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____
AT _____ IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____. RECORDED
FOR _____
COUNTY RECORDER
BY: _____

GARDNER ENGINEERING
CIVIL - LAND PLANNING
MUNICIPAL - LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

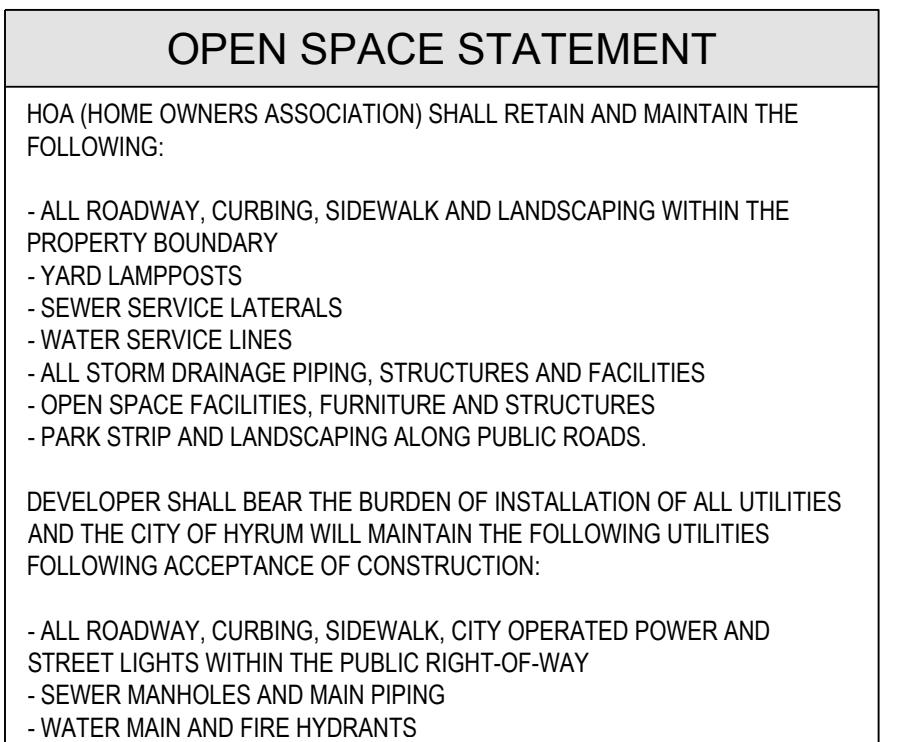
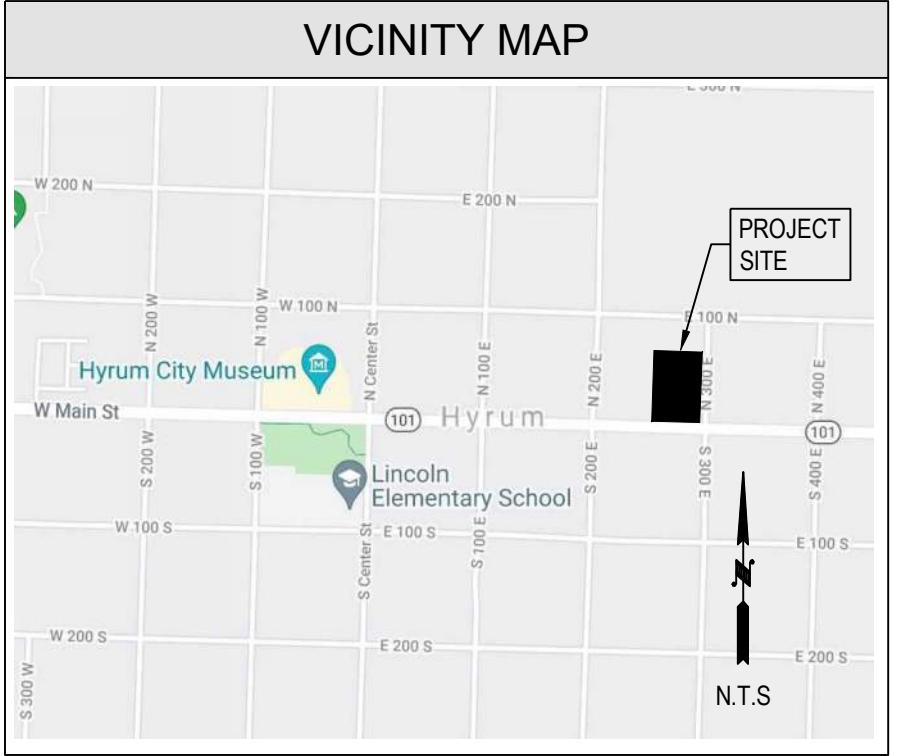
NW 1/4 SECTION 4, TOWNSHIP 10 N, RANGE 1 E, SALT LAKE BASE & MERIDIAN

Harvest Valley Court

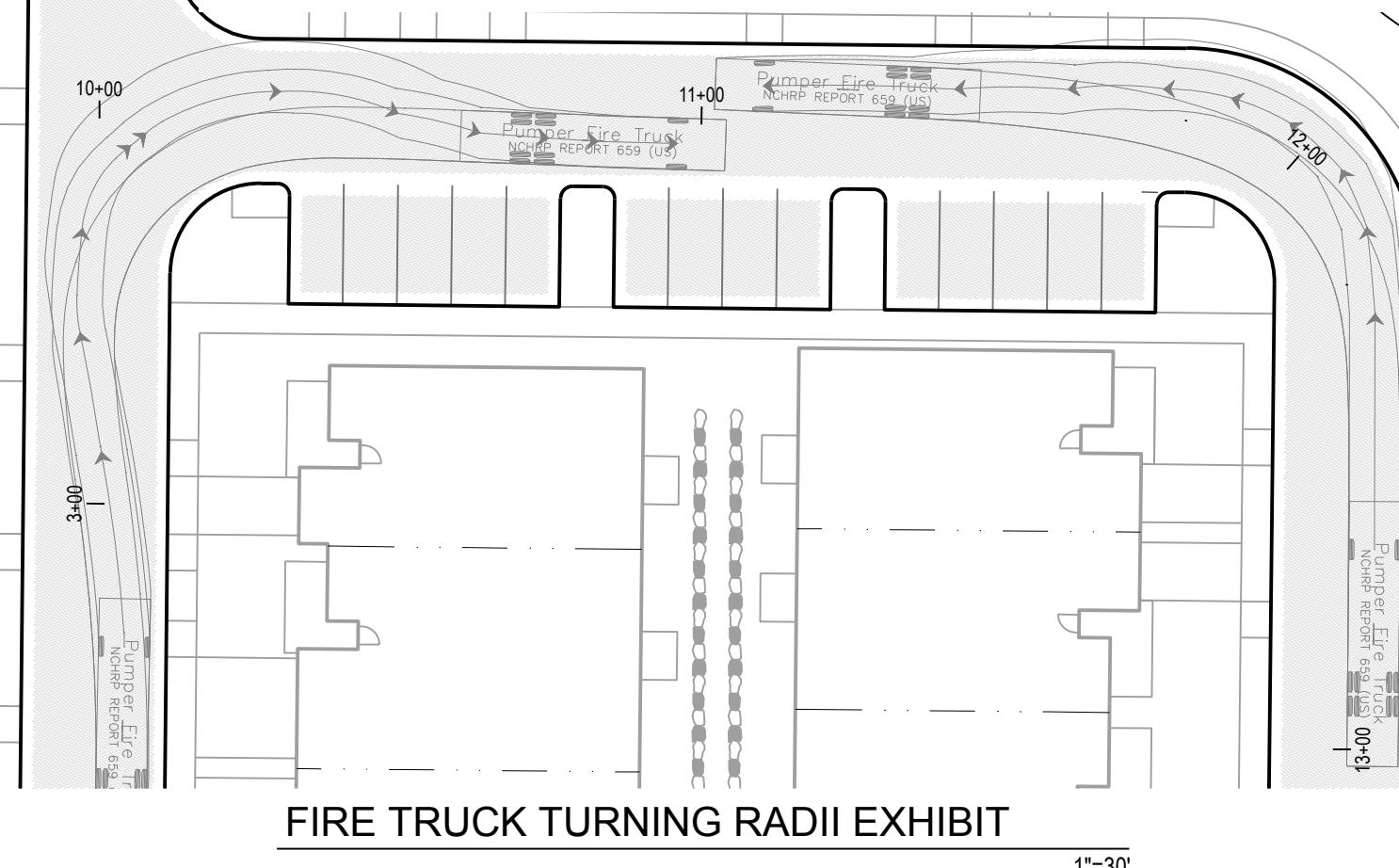
Planned Unit Development - Permit Set

Parcel #01-009-0001

CALCULATION METHOD 3 (PROPOSED FIXES)



GENERAL NOTES	
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY. CONTRACTOR AND DEVELOPER ARE TO FAMILIARIZE THEMSELVES WITH THE STANDARDS.	6. CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.	7. CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
3. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.	8. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC AND PRIVATE) FROM ALL CONSTRUCTION DEBRIS.	9. DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.	10. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCE AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
	11. THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTIONAL CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
	12. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABATEMENT, COMPACTION, ETC. THIS MAY BE COORDINATED WITH HYRUM WATER DEPARTMENT.
	13. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
	14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WATER, WASTE SITES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
	15. ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THAT AGENCY AND THE REQUIREMENTS OF ANY TRAFFIC OR SPECIAL USE PERMITS.
	16. THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
	17. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
	18. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
	19. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
	20. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
	21. ALL GATE VALVES SHALL BE LOCATED NEAR TOES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.
	22. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC TO CONSTRUCT VERTICAL AND HORIZONTAL BENDS IN PIPE AS NEEDED TO MEET THE REQUIRED GRADES, ALIGNMENTS AND COVER REQUIREMENTS.
	23. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING. NOTICE MUST BE GIVEN TO CITY 48 HOURS PRIOR TO INSPECTION.
	24. ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
	25. ONE MYLAR AND ONE PAPER SET OF AS-BUILTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS. A DIGITAL COPY OF THE DRAWINGS WILL ALSO BE REQUIRED FOR GIS LINWORK. AS-BUILT PLANS WILL BE REQUIRED TO BE SUBMITTED TO THE CITY BEFORE WARRANTY BONDS SHALL BE RELEASED.





blu line designs
planning | landscape architecture | design

8719 S. Sandy Parkway
Sandy, UT 84070
p 801.679.3157

CLIENT
Affinity Construction

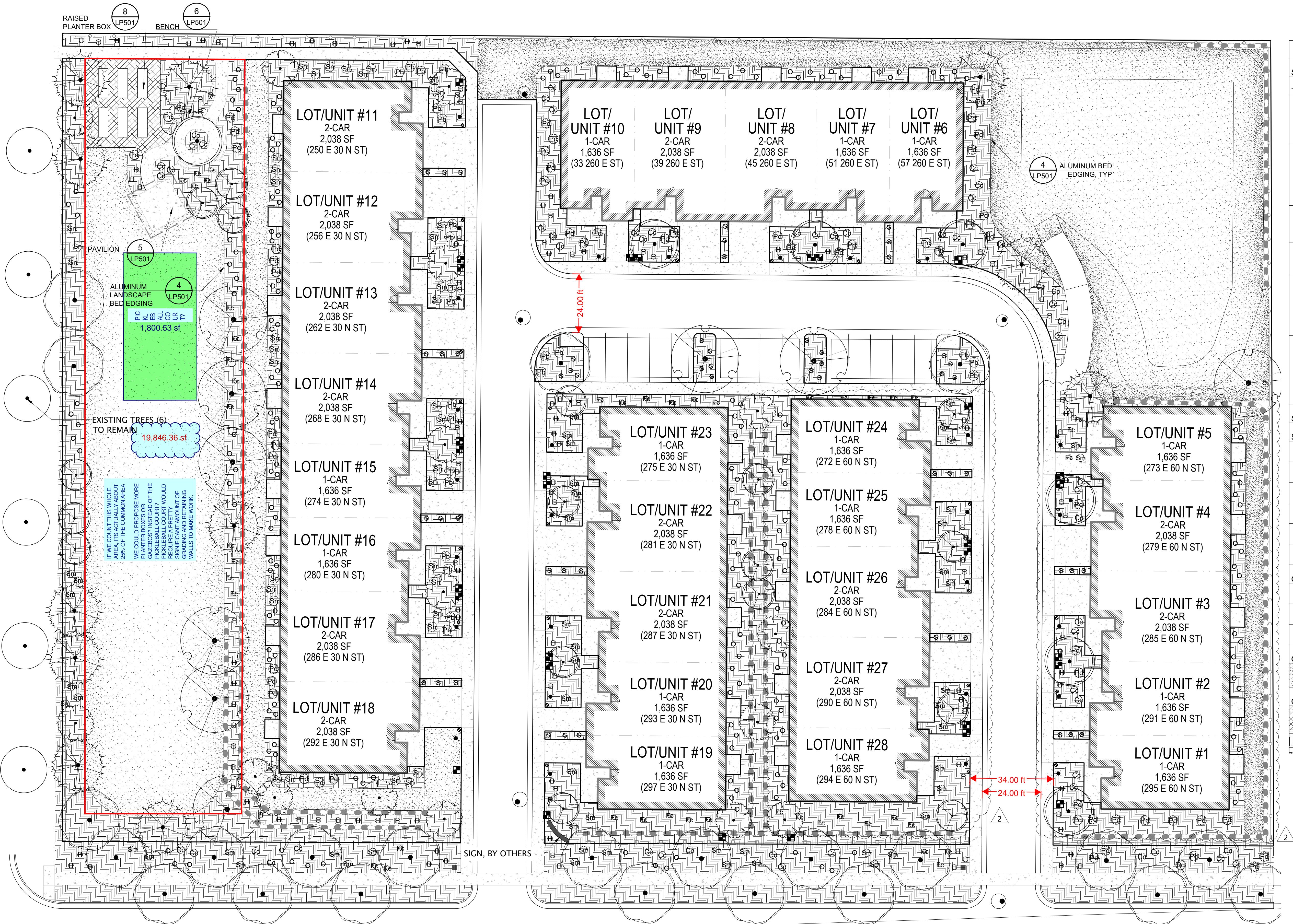
CONTACT:
Caren England
p 801.694.1087

HARVEST VALLEY COURT A SENIOR LIVING COMMUNITY HYRUM, UT

LANDSCAPE
PLAN

Drawing number

LP100



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
TREES	
•	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE
•	ACER TRUNCATUM X PLATANOIDES 'JFS-KW202' / CRIMSON SUNSET®
•	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BR
•	CRATAEGUS X MORDENENSIS 'TOBA' / TOBA HAWTHORN
•	PINUS NIGRA / AUSTRIAN PINE
•	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE JAPANESE ZELKOVA
SHRUBS	
○	CARYOPTERIS X CLANDONENSIS / BLUEBEARD
△	FORSYTHIA X 'COURTASOL' / GOLD TIDE® FORSYTHIA
○	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' / LITTLE DEVIL™ DWARF
○	PRUNUS BESSEYI / SAND CHERRY
○	SALVIA YANGII / RUSSIAN SAGE
○	SPIRAEA X BUMALDA 'GOLDMOUND' / GOLD MOUND SPIREA
ORNAMENTAL GRASSES	
○	CALAMAGROSTIS X ACUTIFLORA 'avalanche' / AVALANCHE FEATH
○	HELIOTROCHON SEMPERVIRENS 'SAPPHIRE' / SAPPHIRE BLUE OAT G
○	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OV
GROUND COVERS	
●	TURF SOD BIOBLUE / BIOPASS
GROUND SURFACE	
●	DECOMPOSED GRANITE - GRAY / CONTRACTOR PROVIDE SAMPLES FC
	LANDSCAPE BARK MULCH / INSTALL OVER DEWITT PROS WEED BARR
REVISIONS	
NO	DESCRIPTION
10/18/24	RAISED PLANTER BOXES
10/23/24	SITE PLAT CHANGES
Stamp	
STATE OF UTAH COPY A 1044-5301 Landscape Architect 10/27/2023	

CONSTRUCTION DOCUMENTS

REVISIONS

NO
10/18/24 RAISED PLANTER BOXES
10/23/24 SITE PLAT CHANGES

Stamp

STATE OF UTAH
COPY A
1044-5301
Landscape Architect
10/27/2023

Designed By: CS
Drawn By: TJ
Date: 10/27/2023
Checked By: CS
Project No: 23-162
Drawing Title: LANDSCAPE PLAN

Scale: 1" = 20'-0"
0 10 20 40 60
n

PREVIOUS COPY FROM MARCH COUNCIL MEETING

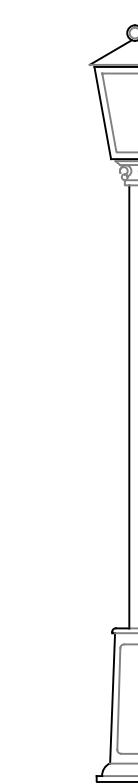
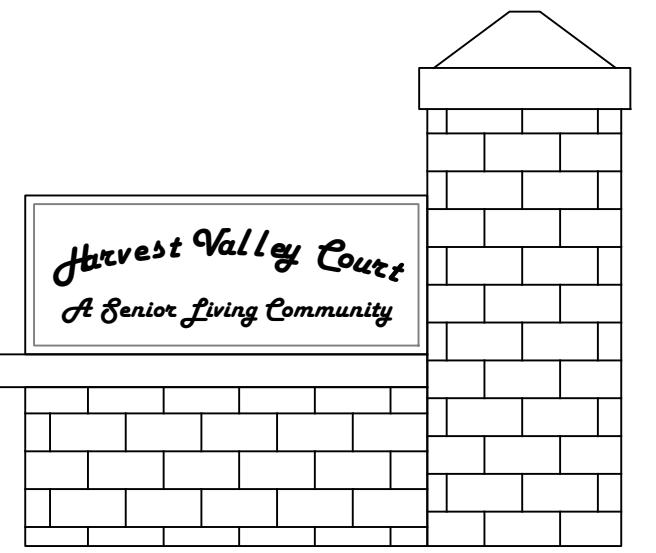
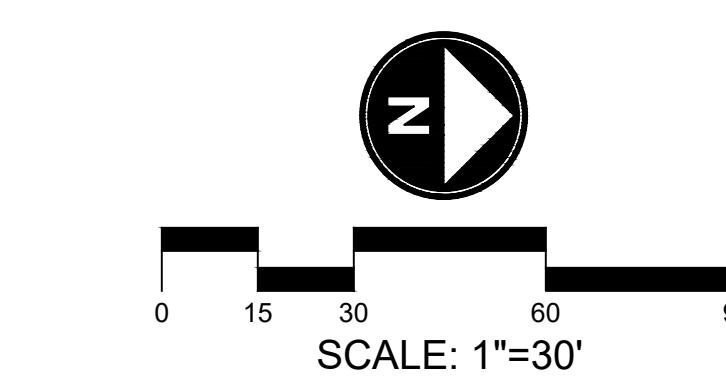


Know what's below.
Call before you dig.
1-800-424-5555

ORIGINAL PROPOSED LANDSCAPING PLAN

GENERAL LANDSCAPE NOTES

- DO NOT DIG BEFORE LOCATION EXISTING UTILITIES.
- SUBGRADES, INCLUDING BERMS, TO WITHIN 0.1 FT. PROVIDED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- FOR ALL NEWLY LANDSCAPED AREAS, INCLUDING SINGLE FAMILY RESIDENCES, ORGANIC MATTER SHALL BE INCORPORATED TO A DEPTH OF AT LEAST 4" AROUND EACH REPLACEMENT TREE.
- APPLY 6" DEPTH (TYP) 3-WAY MIX TOPSOIL AROUND EACH REPLACEMENT TREE.
- APPLY 2" DEPTH MEDIUM/COARSE GRADE BARK MULCH IN A 3' DIAMETER RING AROUND EACH REPLACEMENT TREE. MULCH TO BE FREE OF WEED SEED, SAWDUST, RESIN OR TANNIN AND SHALL NOT CONTAIN ANY COMPOUNDS DEDIMENTIAL TO PLANT GROWTH.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY PROPOSED SUBSTITUTIONS OR UNFORESEEN FIELD CONDITIONS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT MAY ADJUST PLANT QUANTITIES OR VARIETIES BASED ON AVAILABILITY OR ADVERSE FIELD CONDITIONS.
- ALL PLANT MATERIAL SHALL BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- ALL TREE MATERIAL AT TIME OF PLANTING SHALL BE OF A SUFFICIENT SIZE TO MEET THE MINIMUM HEIGHT AND CALIPER REQUIREMENTS FOR REPLACE TREES.
- ALL TREE PITS SHALL BE INSPECTED TO INSURE PROPER DRAINAGE. PLANTING IN HEAVY SOILS REQUIRES ADDITIONAL DRAINAGE PROVISION. SEE TREE PLANTING DETAIL.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING REPLACEMENT TREES.
- ALL PLANT MATERIALS SELECTED ARE DROUGHT TOLERANT, THEREFORE, IRRIGATION SHALL BE REQUIRED ONLY UNTIL THE PLANTS ARE FULLY ESTABLISHED BY METHOD OF HAND WATERING.
- CONTRACTOR AGREES TO WARRANTY AND MAINTAIN ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON PAST INSTALLATION AND SHALL REPLACE DEAD PLANT MATERIAL WITHIN THAT WARRANTY / MAINTENANCE PERIOD WITH NO OBLIGATION TO THE OWNER.
- ALL TREES SHALL BE DOUBLE STAKED AS SHOWN ON THE DETAILS. STAKES TO BE REMOVED AFTER ONE FULL GROWING SEASON. TREES THAT HAVE DIED WITHIN THE ONE YEAR WARRANTY / MAINTENANCE PERIOD SHALL BE REPLACED AND RE-STAKED PER THE DETAIL. AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER.

LAMP POST
NTSMONUMENT SIGN
NTS4' TALL 3 SLAT FARM STYLE FENCE
EXAMPLE

SCALE: 1"=30'

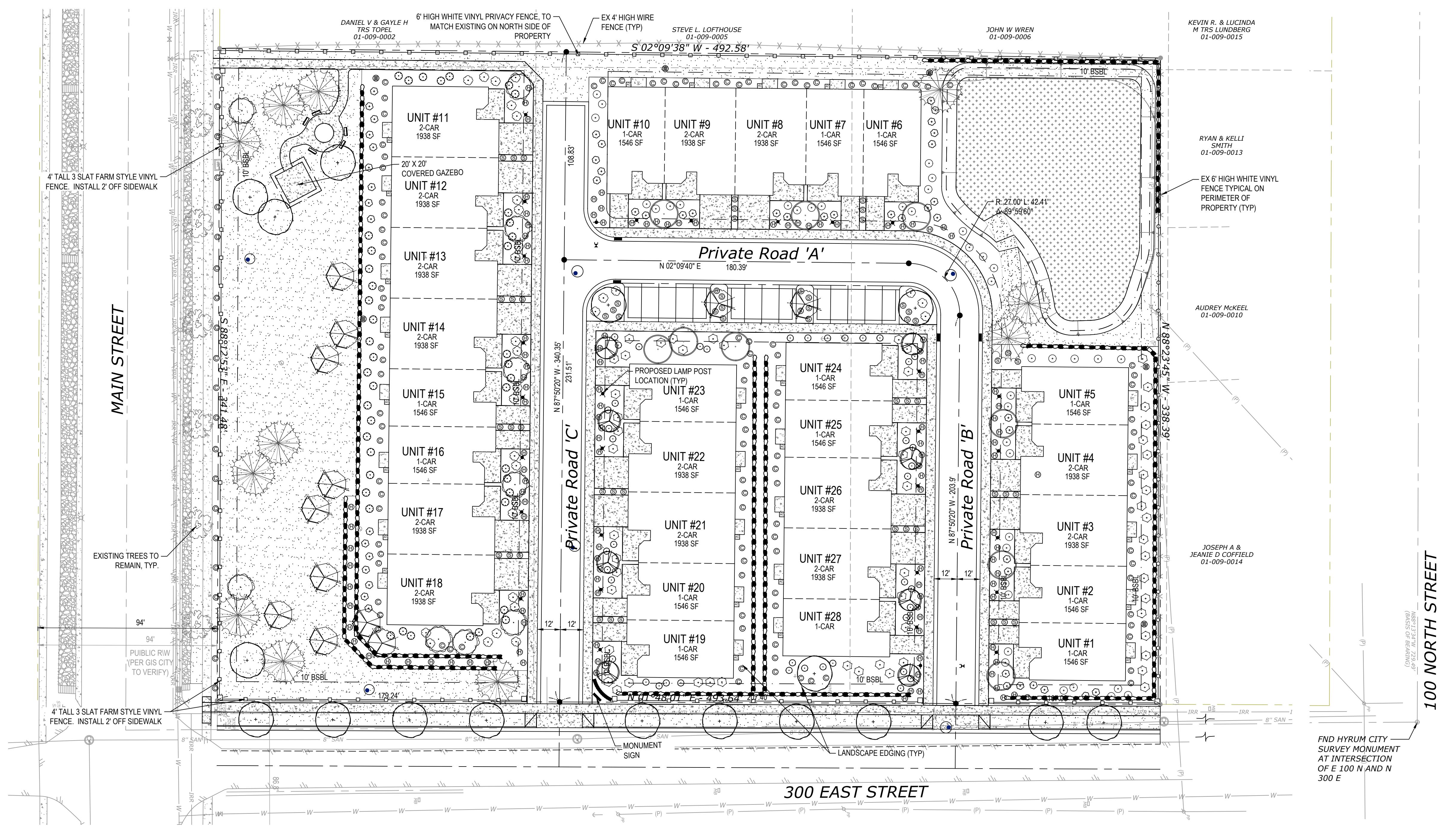
200 EAST STREET

FND HYRUM CITY
SURVEY MONUMENT
AT INTERSECTION
OF E 100 N AND N
200 E

■ THE DESIGNER:
B. WOLTHUIS

Harvest Valley Court
A Senior Living Community

HYRUM, UTAH



■ REVISIONS:

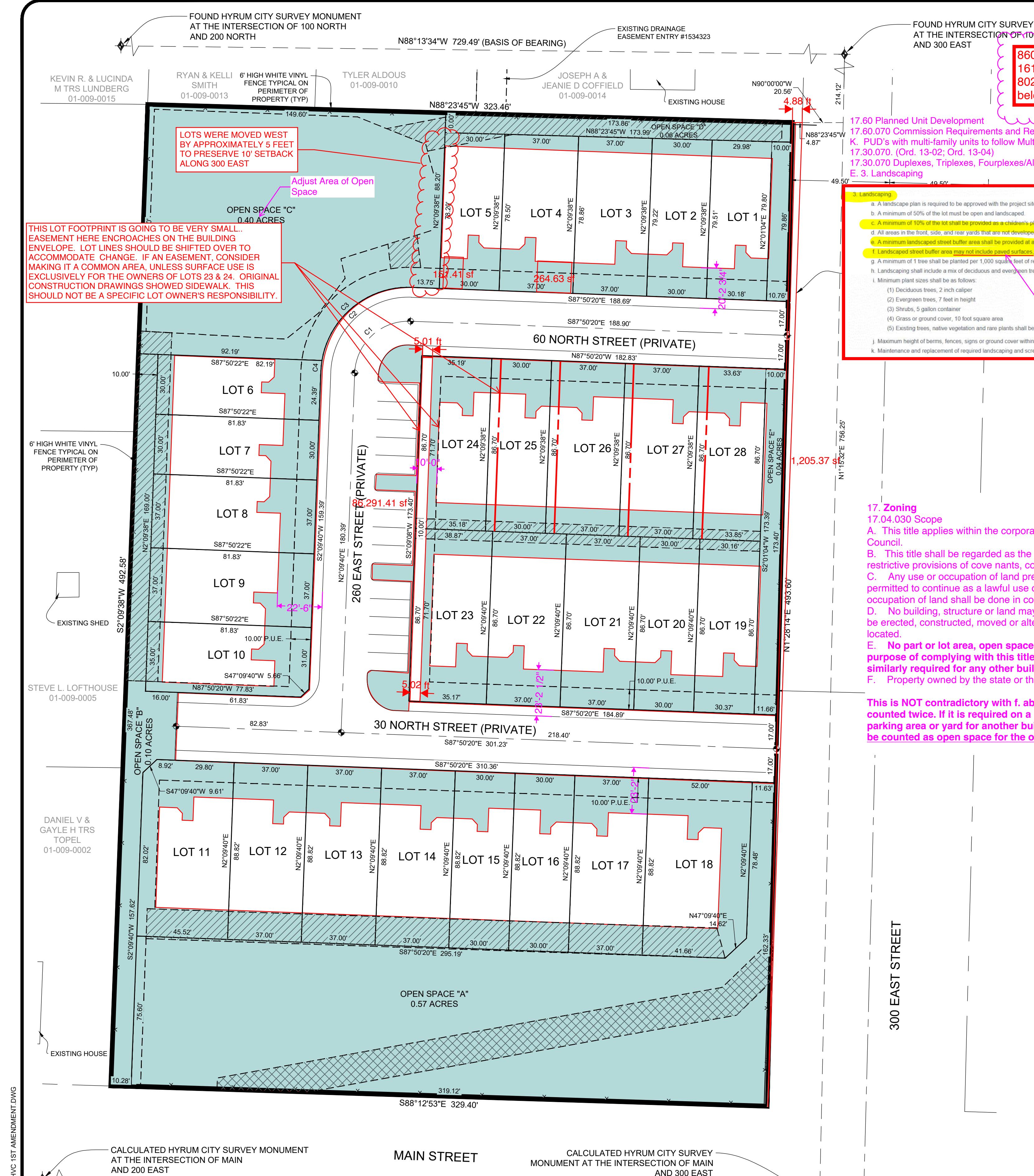
■ STAMP
NOT FOR
CONSTRUCTION

■ SHEET TITLE:
Overall
Preliminary
Landscape Plan

■ DATE: JULY 29, 2022
■ DRAWN BY: BW
■ CHECKED BY: BW
■ JOB NO.:

■ SHEET NO:
L1.0

HARVEST VALLEY COURT P.U.D. PREVIOUS COPY FROM MARCH COUNCIL MEETING



A SENIOR LIVING COMMUNITY

D IN THE NORTHWEST QUARTER OF SECTION 4,
ORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
HYRUM CITY, CACHE COUNTY, UTAH

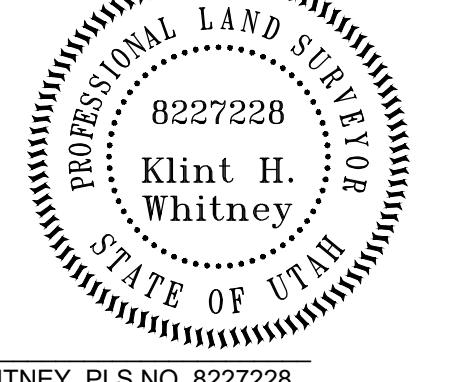
BOUNDARY DESCRIPTION

ALL OF LOTS 1, 7, 8 OF BLOCK 22 PLAT A HYRUM CITY SURVEY, ALSO BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4 TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, CONTAINING 3.72 ACRES MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREINAFTER TO BE KNOWN AS HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT, A SENIOR LIVING COMMUNITY, IN A PLAT WHICH SECTION 17-23-37 AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS ____ DAY OF _____, 2024.



OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HERON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

HARVEST VALLEY COURT P.U.D. 1ST AMENDMENT A SENIOR LIVING COMMUNITY

I HEREBY STATE THAT I AM THE MANAGER OF UNREASONABLE CAPITAL HYRUM LLC, AND THAT I AM THE ONLY PERSON WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT I CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE. WE HEREBY DEDICATE THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS EASEMENTS FOR FOLLOWING PURPOSES:
 ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC UTILITY EASEMENT IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC UTILITY PURPOSES;
 ALL LAND SHOWN HEREON AS BOUNDED BY THE DESIGNATED LINES LABELED AS A PUBLIC RIGHT OF WAY IS DEDICATED TO HYRUM CITY FOR SAID PUBLIC RIGHT OF WAY AND PUBLIC UTILITY PURPOSES;
 THE REAL PROPERTY DESCRIBED HEREON IS DEDICATED AS AN EASEMENT FOR STORMDRAIN AND IRRIGATION PURPOSES IS HEREBY DEDICATED TO HYRUM IRRIGATION COMPANY FOR SAID CONVEYANCE PURPOSES;
 ALL LAND SHOWN HEREON AS PRIVATE STREETS AS WELL AS OPEN SPACE B TO ALSO BE DEDICATED TO HYRUM CITY AS PUBLIC UTILITY AND DRAINAGE PURPOSES FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE PURPOSES AS SEEN FIT BY HYRUM CITY;
 WE HEREBY DEDICATE THE LAND DESIGNATED AS IRRIGATION EASEMENT TO HYRUM IRRIGATION COMPANY FOR THE INSTALLATION AND MAINTENANCE OF IRRIGATION FACILITIES AND DRAINAGE;
 WE HEREBY RETAIN THE PORTIONS INDICATED AS 'PRIVATE STREETS,' AS SHOWN HEREON FOR PRIVATE USE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT;
 WE HEREBY RETAIN THE PORTIONS NOT LOCATED WITHIN A NUMBERED LOT FOR THE HOMEOWNERS' ASSOCIATION AS COMMON SPACE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS PLAT, TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH UNIT OWNER AND TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION;
 WE HEREBY RETAIN THE PORTION OF LAND DESIGNATED AS PRIVATE STORM DRAIN EASEMENT AND DETENTION POND EASEMENT TO BE USED BY THE HOMEOWNERS' ASSOCIATION FOR THE INSTALLATION AND MAINTENANCE OF STORM DRAIN FACILITIES, DRAINAGE AND THE MAINTENANCE AND REPAIRS FOR WALLS, DITCHES OR BERMS USED FOR GRADING AND DRAINING PURPOSES.

SIGNED THIS ____ DAY OF _____, 2024.

UNREASONABLE CAPITAL HYRUM, LLC

BY: CORY WADDOUPS, MANAGER

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)
(S)

On this ____ day of _____, 2024, personally appeared before me CORY WADDOUPS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by duly sworn/affirmed, did say that he/she is the MANAGER of UNREASONABLE CAPITAL HYRUM, LLC, and that said document was signed by him/her in behalf of said corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said CORY WADDOUPS acknowledged to me that said corporation executed the same.

SIGNATURE

A NOTARY PUBLIC COMMISSIONED IN UTAH

COMMISSION NUMBER - EXPIRES _____

(SEAL)

NOTE:
EASEMENTS AND DEDICATIONS HAVE NOT CHANGED. USE THE ORIGINAL PLAT OF HARVEST VALLEY COURT P.U.D. FOR ADDITIONAL EASEMENT AND DEDICATION INFORMATION.

NARRATIVE
THE PURPOSE OF THIS SURVEY WAS TO AMEND A PLANNED UNIT DEVELOPMENT SUBDIVISION WITH 28 LOTS/UNITS FOR SENIOR LIVING. THE SURVEY WAS ORDERED BY DAVID MADSEN. THE AMENDMENT IS INTENDED TO CLARIFY DISCREPANCIES OF RIGHT-OF-WAY ALONG 300 EAST AND HONOR THE RIGHT-OF-WAY AS DETERMINED BY FORESIGHT LAND SURVEYING. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING HYRUM CITY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON. THE BASIS OF BEARING IS THE LINE BETWEEN THE HYRUM CITY MONUMENT FOUND AT THE INTERSECTION OF 100 NORTH AND 200 EAST WHICH BEARS NORTH 88°13'34" WEST CACHE COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

NOTES

- ZONING FOR THIS LOT AND SURROUNDING AREA IS R-2
- THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUND, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.
- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 49005C0190C WITH AN EFFECTIVE DATE OF 5/24/2011.
- DEVELOPER WILL PLANT TREES PER LANDSCAPE PLAN AND ACCORDING TO HYRUM CITY STANDARDS FOR PLANNED UNIT DEVELOPMENTS.
- THE PURPOSE OF THIS SUBDIVISION AMENDMENT IS TO ADJUST THE SUBDIVISION BOUNDARY TO FIT THE WEST RIGHT-OF-WAY LINE OF 300 EAST STREET AS DETERMINED BY FORESIGHT LAND SURVEYING.

DEVELOPER:
CORY WADDOUPS
411 WEST 7200 SOUTH STE 201
MIDVALE UTAH, 84047

S1
2

COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____
FILED FOR AND RECORDED _____,
AT _____, IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____, RECORDED
FOR _____
COUNTY RECORDER
BY: _____



5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

RESOLUTION 25-10

A RESOLUTION AMENDING THE DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS FOR POWER AND LIGHT CONSTRUCTION IN HYRUM CITY.

WHEREAS, the Hyrum City Council approved the revised Design Standards and Construction Specifications for Public Works Construction in Hyrum City in January 2003; and

WHEREAS, the Design Standards and Construction Specifications for Power and Light provides general requirements and design guidelines for installation of power and improvements in Hyrum City; and

WHEREAS, Hyrum City contracted with Active Power Engineering to review and update Hyrum City's Design Standards and Construction Specifications for the Power and Light Division to comply with current National Electric Code, OSHA, and Hyrum City's procedures and expectations; and

WHEREAS, the proposed changes to the Design Standards and Construction Specifications for Power and Light include updates to solar and battery backup, standby generation, and minor housekeeping items; and

WHEREAS, upon recommendation of Active Power Engineering, and Hyrum City's Power and Light Department, the City Council has determined there is a need to amend and update Hyrum City's Design Standards and Construction Specifications for Power and Light Construction.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Hyrum, Cache County, Utah, to approve the revisions, attached hereto as Exhibit "A", to Hyrum City's Design Standards and Construction Specifications for Public Works Construction in Hyrum

THIS RESOLUTION shall become effective upon adoption.

ADOPTED AND PASSED by the Hyrum City Council this 1st day of May, 2025.

HYRUM CITY CORP.

BY: _____
Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

UPDATES TO HYRUM CITY LIGHT & POWER STANDARDS

May 2025

BLUF (bottom line up front)

General

1. Revised date to reflect 2025
2. Updated email link to reflect department email
3. Updated all associated drawings

Sections

1. 7.1.5
 - a. Added new section that discusses customer installed generation. Solar and backup.
 - b. Ensures customer meter base is up to NEC code before interconnection is made
2. 7.4.5
 - a. Adjusted language to read “the customer will provide and install CT cabinet and CT bases”
3. 7.6
 - a. Added language to clarify that “the contractor will use, where provided, conduit stubs exiting the city owned electrical boxes to prevent disturbing of the ground around the box”
4. 7.6.8
 - a. Added new section detailing use of transformer vaults on large three phase transformer applications
5. 7.9.4.2
 - a. Another area adjusting language to read “the customer will provide and install the CT cabinet and CT bases”
6. 7.11
 - a. Addition of new section related to installation and maintenance of solar and battery generation

HYRUM CITY Power Department

SECTION 7

HYRUM CITY GENERAL REQUIREMENTS AND SPECIFICATIONS FOR ELECTRICAL INSTALLATIONS

SECTION 7 General Requirements and Specifications for Electrical Installations

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RESIDENTIAL ELECTRIC POWER SERVICE REQUEST

PAGE 1

STEPS FOR UNDERGROUND/OVERHEAD SERVICE INSTALLATION AND HOOK-UP

Complete the following steps in the order listed below:

1. Builder must fill out the Load Data Sheet, page 2 below, and return it to Hyrum City's Power Department. We use the sheet to document inspections and size the service wire/conduit. We will not perform the required trench inspections without a Load Data Sheet. The builder and Hyrum City Power will meet to determine if the service will be underground or overhead.
2. Do not begin work on the service installation before receiving the service design from Hyrum City's Power Department. Any work done that does not meet the Hyrum City Power Department design is at risk of having to be re-done at the cost of the builder/customer.
3. The building site requiring service must have its address marked and clearly visible from the street.
4. For underground service--Dig a trench (30" minimum depth) between the power source and meter equipment.
For overhead service--Skip to step 7.
5. Install the conduit specified by Hyrum City Power (3"). At the power source, connect to the existing conduit stubbed from the transformer or secondary junction box. The meter riser must be aluminum and strapped to the foundation. Call Hyrum City (24 hours in advance) at 435-245-6033 to schedule a required inspection of the trench and conduit prior to backfilling.
6. After you have passed the conduit and trench inspection, cover the conduit with 4" of sand (to prevent the possibility of the conduit being damaged by backfilling with local soil), then 8" of soil. Approximately 1 foot directly above conduit, place red plastic electrical warning tape--3" wide over service, 6" wide over primary-- that reads, "Caution—Buried Electric Cable Below". Leave a tail of warning tape sticking out of the ground at the meter riser and power source. Backfill the trench to final grade.
7. Hyrum City will stick a U.G. Service Inspection Verification label to the inside of the meter base upon completion and inspection of the trench and conduit.
8. Contact Cache County for a power to panel inspection. When you pass the power to panel inspection
9. At this point, you MUST have passed the building Dept. power to panel inspection.
For underground service--Hyrum City will provide the wire for underground service. A Hyrum City crew

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will return to the building site and install the wire in the conduit, make the connections and set the meter.

For overhead service--The customer will provide the wire from the weatherhead to the meter. Hyrum City will provide the wire for the overhead service from the source up to the weatherhead, make connections and set the meter.

LOAD DATA SHEET
SINGLE FAMILY RESIDENTIAL STRUCTURE
Underground/Overhead Electric Service Feed

Architect/Engineer/Builder/Contractor:

Please submit this form for each single-family residential structure to be served by Hyrum City Power by means of an underground or overhead service wire. Using the NEC code to size the service wire is acceptable. However, Hyrum City can potentially use the information submitted on this sheet to de-rate the wire size upon request. Also, this form is necessary for Hyrum City to track the required inspections. **Hyrum City will NOT perform any inspections without this form.** Submit the form by email:

hyrumpower@hyrumpower.gov , by fax 435-245-4758, or by delivery to the address 60 West Main, Hyrum, UT. By signing this document, you are hereby acknowledging that the information provided is accurate and that you take responsibility for this information up to and including financial cost for the replacement of Hyrum City equipment due to any inaccuracies contained herein.

Contractor Contact Information:

Contractor/consultant name _____

Contact person _____ Day phone # _____

Cell phone # _____ Fax # _____ Best contact time a.m. p.m.

E-mail address: _____

Customer (Owner) Contact Information *Complete this section if owner and contractor are separate individuals*

Name _____

Mailing address _____ City, State Zip _____

Day phone # _____ Cell phone # _____ Best contact time a.m. p.m.

E-mail address: _____

Service Information *This section is required*

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RESIDENTIAL ELECTRIC POWER SERVICE REQUEST

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New service address _____ City, State Zip _____

New service address coordinates (*if applicable*) _____

Subdivision name _____ Phase _____ Lot # _____ Block # _____

If known, nearest pole or padmount # (*pole/equipment tag, 10 or 12 digits*) _____

Service panel size: 150 Amp 200 Amp 400 Amp Size of building: _____ total sq. ft.

Distance between service hookup (power source) and meter equipment: _____ ft.

Special conditions and/or requests _____

Main source of heat: gas propane electric If electric: heat pump (____ tons) furnace

If air conditioning: evaporative cooler central air (____ tons) heat pump (____ tons) other

Would you like Hyrum City Electrical Department to determine the size of the underground service wire?

Yes No

Expected building completion date (mm/dd/yyyy) _____

It is important to provide the most accurate information available as it is used to design the facilities to serve your requested load. You may want to consult a licensed electrician or engineer prior to providing the information. Changes to load after submitting this information may delay design and potentially impact cost.

Please sign and date this form

Applicant or representative signature

Date

Please email or fax completed form to: hyrumpower@hyrumpower.com, by fax 435-245-4758,

or delivery to 60 West Main, Hyrum, UT.

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RESIDENTIAL ELECTRIC POWER SERVICE REQUEST

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HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

PAGE I

STEPS FOR UNDERGROUND/OVERHEAD SERVICE INSTALLATION AND HOOK-UP

Complete the following steps in the order listed below:

1. Builder must fill out the Load Data Sheet, page 2 below, and return it to Hyrum City's Power Department. We use the sheet to document inspections and size the service wire/conduit. We will not perform the required trench inspections without a Load Data Sheet. The builder and Hyrum City Power will meet to determine if the service will be underground or overhead.
2. Do not begin work on the service installation before receiving the service design from Hyrum City's Power Department. Any work done that does not meet the Hyrum City Power Department design is at risk of having to be re-done at the cost of the builder/customer.
3. The building site requiring service must have its address marked and visible from the street.
4. For underground service--Dig a trench (30" minimum depth) between the power source and meter equipment.
For overhead service--Skip to step 7.
5. Install the conduit specified by Hyrum City Power (4" minimum for 3 phase service) to the power source, connect to existing conduit. The meter riser must be aluminum and strapped to the foundation. Call Hyrum City (24 hours in advance) at 435-245-6033 to schedule a required inspection of the trench and conduit prior to backfilling.
6. After you have passed the conduit and trench inspection, cover the conduit with 4" of sand (to prevent the possibility of the conduit being damaged by backfilling with local soil), then 8" of soil. Approximately 1 foot directly above conduit, place red plastic electrical warning tape--3" wide over service, 6" wide over primary-- that reads, "Caution—Buried Electric Cable Below". Leave a tail of warning tape sticking out of the ground at the meter riser and power source. Backfill the trench to final grade.
7. Hyrum City will stick a U.G. Service Inspection Verification label to the inside of the meter base upon completion and inspection of the trench and conduit.
8. Contact Cache County for a power to panel inspection. When you pass the power to panel inspection . . .

HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

PAGE 2

9. At this point, you MUST have passed the building Dept. power to panel inspection.

For underground service—The builder/customer shall install the wire in the conduit, make the connections in the transformer and meter/CT cabinet. Hyrum City will set the meter.

For overhead service--The builder/customer will provide the wire from the weatherhead to the meter. Hyrum City will provide the wire for the overhead service from the source up to the weatherhead, make connections and set the meter.

HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

PAGE 3

LOAD DATA SHEET
COMMERCIAL STRUCTURE
Underground/Overhead Electric Service Feed

Architect/Engineer/Builder/Contractor:

Please submit this form for each commercial structure to be served by Hyrum City Power by means of an underground or overhead service wire. Using the NEC code to size the service wire is acceptable. However, Hyrum City can potentially use the information submitted on this sheet to de-rate the wire size upon request. Also, this form is necessary for Hyrum City to track the required inspections. **Hyrum City will NOT perform any inspections without this form.** Submit the form by email: hyrumpower@hyrumcity.gov , by fax 435-245-4758, or by delivery to the address 60 West Main, Hyrum, UT. By signing this document, you are hereby acknowledging that the information provided is accurate and that you take responsibility for this information up to and including financial cost for the replacement of Hyrum City equipment due to any inaccuracies contained herein.

Contractor Contact Information:

Contractor/consultant name _____

Contact person _____ Day phone # _____

Cell phone # _____ Fax # _____ Best contact time a.m. p.m.

E-mail address: _____

Customer (Owner) Contact Information *Complete this section if owner and contractor are separate individuals*

Name _____

Mailing address _____ City, State Zip _____

Day phone # _____ Cell phone # _____ Best contact time a.m. p.m.

E-mail address: _____

Service Information *This section is required*

New service address _____ City, State Zip _____

New service address coordinates (*if applicable*) _____

Subdivision name _____ Phase _____ Lot # _____ Block # _____

HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

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If known, nearest pole or padmount # (*pole/equipment tag, 10 or 12 digits*)

Service panel size: _____ amps

Size of building: _____ total sq. ft.

Load List			
Type	Description	Added Load	Units
HVAC/Refrigeration Equip.			Tons
Largest Motor (code: _____)			HP
Fans/small motors/pumps/compressors			HP
Electric Heating (space/water)			kW
Equipment with large power requirement			kW

Distance between service hookup (power source) and meter equipment: _____ ft.

Special conditions and/or requests

Main source of heat: gas propane electric If electric: heat pump (____ tons) furnace
 If air conditioning: evaporative cooler central air (____ tons) heat pump (____ tons) other

Would you like Hyrum City Electrical Department to determine the size of the underground service wire?
 Yes No

Expected building completion date (mm/dd/yyyy) _____

It is important to provide the most accurate information available as it is used to design the facilities to serve your requested load. You may want to consult a licensed electrician or engineer prior to providing the information. Changes to load after submitting this information may delay design and potentially impact cost.

Please sign and date this form

Applicant or representative signature

Date

HYRUM CITY ELECTRICAL DEPARTMENT
COMMERCIAL ELECTRIC POWER SERVICE REQUEST

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Please email or fax completed form to: hyrumpower@hyrumcity.gov , or by fax 435-245-4758,
or delivery to 60 West Main, Hyrum, UT.

SECTION 7 General Requirements and Specifications for Electrical Installations

7 GENERAL REQUIREMENTS AND SPECIFICATIONS FOR ELECTRICAL INSTALLATIONS

7.1 GENERAL REQUIREMENTS

7.1.1 GENERAL

The purpose of this document is to assist Hyrum City Power customers in obtaining electric service. This document provides the requirements and shows the specifications for customer installations that must be met for electric service to be connected. It is the customer's responsibility to ensure compliance with these requirements and specifications. These requirements and specifications apply to new services, relocated services, house relocations, rewired services, and upgraded services.

Any work done before receiving the electric service design and signed contract from Hyrum City's Power Department that does not meet the Hyrum City Power Department design is at risk of having to be removed and re-installed at the cost of the builder/customer.

7.1.2 COMPLIANCE AND CONFLICT WITH REQUIREMENTS

All electrical work shall be in compliance with the latest edition of the National Electric Code (NEC), International Building Code, ICC Electrical Code, and the National Electrical Safety Code (NES) except where these specifications are more stringent. If there is a conflict between standards, the most stringent shall rule.

7.1.3 SERVICE DENIAL FOR UNSAFE CONDITIONS OR TAMPERING

A service may be denied when unsafe conditions exist, or when the customer has tampered with utility-owned equipment, such as meters and lines. (Utah Administrative Code, Rule 746-200.) A residential service can be disconnected without notice when a clear emergency or serious safety hazard exists for so long as the conditions exist. The Power Department will immediately try to notify the customer of the disconnection and the reasons for it.

7.1.4 UNDERGROUND UTILITY LOCATION -- CALL BEFORE YOU DIG

State law requires the customer/excavator to call 8-1-1 to mark underground utility locations at least 48 hours prior to any excavation. Do not start excavation until utilities have been marked by an underground locator service, or until the service confirms that no utilities exist in the area.

7.1.5 CUSTOMER GENERATION

Interconnection of customer distributed generation will be evaluated on a case-by-case basis. Contact Hyrum City Power before acquiring generation equipment or making any type of

SECTION 7 General Requirements and Specifications for Electrical Installations

interconnection with any type of generating device to determine the requirements that must be met. Refer to Section 7.11 for instructions on the interconnection process.

Before making any type of interconnection with any type of transfer switch to facilitate generation the customer meter base must be in compliance with the latest National Electric Code requirements or must be brought into compliance with the latest requirements.

7.1.6 GROUNDING AND BONDING

The customer is responsible for ensuring that electrical wiring and service equipment are grounded and bonded in accordance with applicable NEC requirements. The grounding system shall have sufficient grounding electrodes, effectively bonded together, to prevent maximum resistance to ground exceeding 25 ohms. All grounding is to be in accordance with NEC Article 250.

Two ground rods 5/8" diameter x 8' long shall be driven at each three-phase transformer and three phase junction point, at 5' center to center (spacing). One ground rod shall be driven at each single-phase transformer and single-phase primary junction point. All concentric neutrals shall be connected and commonly grounded to the driven ground rod.

In cases where ground rods cannot be installed at transformers, primary junction boxes and switches due to very rocky soil, 100 ft. of bare #2 copper-clad wire can be buried at least 18" deep in place of the ground rod(s). See requirements in Section 7.6.9.

Metallic equipment less than 6 feet from Hyrum City Power equipment requires bonding to the Hyrum City Power equipment.

7.1.7 INSPECTION

All work shall be inspected and approved by the City's Power Department personnel before underground systems are backfilled. Cache County will perform "power to the panel" inspections. Final inspection and energizing the system will be performed by the City's Power Department personnel.

7.1.8 POWER FACTOR

The customer is responsible for maintaining a power factor between 95% lagging and 95% leading, or higher. Hyrum City Power recommends that customers provide and maintain code-approved power factor correction devices to maintain power factor between 95% lagging and 95% leading.

A power factor rate adjustment applies to customers with three-phase service and loads that exceed 200 kilowatts for three (3) consecutive months. This rate adjustment has the effect of increasing the power demand charges to customers who do not maintain a power factor of 95% or higher.

SECTION 7 General Requirements and Specifications for Electrical Installations

7.1.9 EQUIPMENT PERFORMANCE, PROTECTION, AND HARMONICS

The customer shall provide any power-conditioning devices necessary for the proper performance and protection of voltage-sensitive equipment. The customer is responsible for providing and maintaining code-approved protective devices to protect equipment against overloading, short circuits, ground faults, high or low voltage, and single-phasing of three-phase motors.

Customers shall not generate harmonic distortion that create disturbances on the electrical system that interfere with any other customer's equipment. Customers shall provide harmonic filtering on equipment that can produce harmonic distortion (such as adjustable speed drives, power supplies, and electronic ballasts for lighting) such that harmonic distortion is kept within the limits specified in IEEE Standard 519, Section 10. The customer shall take necessary action, at the customer's sole expense, for the customer's facility to stay within these limits. Failure to operate within these limits can result in termination of electrical service or other remedial action as provided by state regulatory authority (Utah Administrative Code, Rule 746-310-2-D, "Conditions of Service"). Compliance with this requirement is judged by the City's Power Department personnel's measurement at the service point.

7.2 PERMITS AND APPLICATIONS

7.2.1 SERVICE APPLICATION

The customer shall complete an Electric Power Service Request Load Data Sheet to apply for electric service. The customer shall provide accurate load information on the request. The steps for service installation and hook-up are detailed on this request form. Refer to the request forms "Residential Electric Power Service Request" or "Commercial Electric Power Service Request" at the front of this standard.

7.2.2 PERMIT

City ordinances require applicants to obtain appropriate permits as per Hyrum City code before electric service is provided.

7.2.3 EASEMENTS

The customer (developer) shall provide, without cost to Hyrum City, all permits, rights-of-way, and easements required for the installation and maintenance of the public facilities that serve the customer (development). A Public Utility Easement (PUE) will be required in all subdivisions adjacent to the road right-of-way. A ten (10) foot easement is required along all frontages and may be required at rear and side lot lines at the discretion of City staff. If a PUE is required along the rear or the side of lots, the total width may be evenly split between the adjoining lots. No

SECTION 7 General Requirements and Specifications for Electrical Installations

permanent structure or obstruction can be placed within the PUE without prior written approval of all Hyrum City owned utilities.

7.3 SERVICES

7.3.1 TYPES OF SERVICE

Electric service is provided as 60-hertz, alternating current, single-phase or three-phase. Nominal provided secondary voltages and types of service are shown in Table 1.

Table 1-Type and Voltage of Secondary Service

Phases	Voltage	Wiring	Limits
Single-phase	120 volts	Two-wire, grounded	200 amps or less
Single-phase	120/240 volts	Three-wire, grounded	400 amps or less
Three-phase	120/208 volts	Four-wire, grounded wye	750 kVA or less
Three-phase	277/480 volts	Four-wire, grounded wye	n/a

Contact Hyrum City Power to determine the requirements that must be met for primary voltage service at 7,200/12,470 volts.

7.3.2 STANDARD TRANSFORMER SIZES

Standard transformer sizes that are allowed are given in Table 2.

Table 2-Standard Transformer Sizes

Overhead Transformers	Secondary Voltage	Sizes in kVA
Single-phase	120/240 volts	25, 50, 75, 100, 167
Three-phase (bank of 3 single-phase transformers)	120/208 volts	75, 150, 225, 300
	277/480 volts	75, 150, 225, 300
Pad-mounted Transformers		
Single-phase	120/240 volts	25, 37.5, 50, 75, 100
Three-phase	120/208 volts	75, 150, 225, 300, 500, 750
	277/480 volts	75, 150, 225, 300, 500, 750, 1000, 1500, 2500

SECTION 7 General Requirements and Specifications for Electrical Installations

7.4 METER REQUIREMENTS**7.4.1 GENERAL**

1. The customer is responsible for providing, installing, and maintaining all service equipment.
2. Meters shall be located where approved by Hyrum City Power.
3. Meters shall be accessible at all times for reading, maintenance, and emergencies.
4. Meters located within a gated area or enclosed space shall be approved prior to installation on a case-by-case basis.
5. Customers must contact Hyrum City Power before doing any work that involves the meter.
6. Meter bases shall be from Hyrum City Power Department's approved list.
7. The minimum size meter base is 150 amps.
8. Three-phase 200 amp meter bases shall have a lever by-pass.

7.4.2 METER BASE MOUNTING

1. Meter bases must be mounted to be plumb in all directions and securely mounted to a rigid surface.
2. Prior approval is required for installing meters in any type of enclosure.
3. Adequate protection for meters subject to physical damage must be provided.

7.4.3 METER LOCATION

The customer must provide a suitable meter location, with adequate clear working space. Metering equipment **shall not be installed** in the following locations unless prior approval is obtained from Hyrum City Power:

1. Any unsafe location, as determined by Hyrum City Power
2. Any hazardous location for electrical equipment as defined by the NEC
3. Within a 36 inches radius of the gas meter, gas valves, regulators, fittings, unions, or the gas line entrance into a building.
4. Directly over any window well, stairway, ramp or steps
5. In any entryway
6. Within 36 inches horizontally of a window that has a view of a living space or restrooms, or within 36 inches horizontally of a door.
7. In any place where moisture, fumes, or dust may interfere with the meter's operation or may damage the meter, as determined by Hyrum City Power
8. On any surface subject to excessive vibration, as determined by Hyrum City Power
9. In an area where metering is likely to be fenced in
10. Where the metering equipment is obstructed by anything including landscaping or other vegetation
11. Areas adjacent to fuel storage units

SECTION 7 General Requirements and Specifications for Electrical Installations

Residential meters shall be installed:

1. Outdoors within 10 feet of the front (street side) corner of the dwelling
2. On the side of the dwelling closest to the power source
3. At a location acceptable to Hyrum City Power, and in accordance with the standards drawings in this document.

Where there is no suitable location on the structure, a free-standing metering installation may be used, at a location approved in advance by Hyrum City Power.

7.4.4 DIRECT METERING

Direct-connect metering is required for residential services, and for single-phase services 400 amps or less, or three-phase services 200 amps or less. There are additional requirements for direct-connect metering installations with more than one meter.

See sections 7.9.2 and 7.9.3 for requirements for non-residential direct metering installations.

7.4.5 CURRENT TRANSFORMER METERING

Current transformer (CT) metering is required for single-phase services greater than 400 amps and three-phase services greater than 200 amps. Hyrum City Power will provide and install: the meter, a meter test switch, CTs, and secondary metering wiring. The CT cabinet and CT mounting base will be provided and installed by the customer. The customer shall provide conduit, connectors/terminations, a disconnect after the CT cabinet rated for the load, and bonding for meter and CT enclosures. The customer shall make connections of service wire in the CT cabinet.

See section 7.9.4 for detailed CT metering installation requirements.

7.4.6 SWITCHBOARD METERING (Above 800 amps)

Switchboard metering is required for services greater than 800 amps. The customer shall provide a drawing of the proposed switchboard metering equipment and a mounting pad with dimensions, to Hyrum City Power for review and approval. Approval must be obtained prior to fabrication.

The customer shall provide and install:

- a. Switchboard enclosure with CT compartment
- b. Meter base
- c. Metering conduit—one-inch (1") minimum electrical non-metallic tubing (ENT) for the metering secondary conductors
- d. Locking equipment for the meter enclosure
- e. Concrete mounting pad for the switchboard enclosure

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f. A flat permanent surface (such as a concrete pad) extending a minimum of 36 inches (36") out from the switchboard in front of the CT compartment

See section 7.9.5 for the requirements for switchboard metered installations.

7.5 CLEARANCES

7.5.1 OVERHEAD SERVICES

The customer shall provide a point of attachment for overhead service that allows minimum clearances listed in the NESC for service drops and drip loops to be met in all conditions. Contact Hyrum City Power if the service length may be greater than 45', or the service will cross over uneven or sloped ground that may impact clearance height.

The lowest point of the overhead service cable and drip loop shall be at least 18" above the roof. No more than 72" of the service cable can run across the roof of the structure being served. Refer to the overhead service standard drawings in this document.

7.5.2 UNDERGROUND SERVICES

Clear workspace and fire code clearances must be maintained around pad-mounted equipment for underground services. Refer to the underground service standard drawings in this document.

At least 3 feet clear workspace measured from the edge of the equipment pad shall be available on the non-access side of pad mounted equipment.

At least 10' clear workspace measured from the edge of the equipment pad shall be available on the access (working) side of pad mounted equipment.

7.5.3 BETWEEN EQUIPMENT PADS AND BUILDINGS

The front of the equipment pad should always face away from adjacent structures and be free of obstructions. At least 8 feet, must separate the edges of the pad from any adjacent structure. The edges of the pad must be at least 10 feet from any combustible structures.

7.6 UNDERGROUND REQUIREMENTS

All underground service shall be installed in conduit. The customer shall provide conduit in place from the point of connection to the meter base. Where provided, the customer will attach to the conduit stub that is exiting from Hyrum City electrical box. For residential service Hyrum City Power will pull the secondary service wire. For commercial service the customer shall provide and pull the secondary service wire.

The customer shall be sure that conduit is located where it will not be next to (or underneath) buildings, building foundations, or other structures (including retaining walls.)

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The customer shall install six 3-inch conduits at road crossings where there is primary voltage crossing. Where there is secondary conductor that will cross a road the customer shall install three 3-inch conduits.

Hyrum City Power will allow only one overhead-to-underground conduit (or underground-to-overhead conduit—a “riser” or “dip”) on an overhead power distribution pole, whether it is primary voltage or secondary.

7.6.1 SERVICE CONDUCTOR

For residential service Hyrum City will provide the wire for underground service.

For commercial service the builder/customer must provide the wire for underground service. Cable shall be tri-plexed aluminum “EC”. Individual conductors shall be covered with XLP insulation rated to 600 volts and shall have color coded jacket. The color-coded service cable shall extend from the transformer to the main service breaker.

7.6.2 SERVICE CONDUIT

The customer shall provide and install the conduit. All conduit in the ground shall be not less than Schedule 40 PVC electrical grade (gray with red stripe) conduit, 3-inches in diameter or larger, depending on the cable size and distance. Any conduit above ground shall be aluminum. For commercial three-phase service the minimum conduit size is 4-inches, or greater according to the wire and secondary service size.

7.6.3 BACKFILL

Trench and conduit shall be inspected by Hyrum City Power prior to backfilling. All conduit shall be embedded in sand. The sand shall extend a minimum of 2 inches below and 4 inches above the conduit to prevent the possibility of the conduit being damaged by backfilling with local soil. Backfill material shall be compacted. Install marking tape as required in section 7.6.4.

In areas of the trench where there is no equipment, no paving, or other structural requirement, the local soil may be used as backfill as long as it has no cobbles, construction waste or other refuse or deleterious materials.

A minimum of 30" of backfill above underground secondary/service conduit is required.

Excavated areas that support electrical equipment (transformers, junction boxes, switchgear, etc.), pavement, walks, etc., shall be backfilled with compacted sand. Backfill shall be compacted in lifts no more than 2 feet. The final compaction beneath areas supporting electrical equipment shall be 95% of the maximum dry density as determined by ASHTO T-99.

7.6.4 MARKING TAPE

Marking Tape shall be installed 12" above all buried conduits. It shall be red in color, 3" – 6" wide and state, “Caution—Buried Electric Cable Below”

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7.6.5 JUNCTION BOXES

Primary and secondary junction boxes shall be placed on well compacted and level ground, meeting the backfill requirements in Section 7.6.3 and also placed so as to avoid being filled with drainage water. The secondary junction box shall be an upright pedestal type, Pencell-AG-20-HDX or approved equal.

7.6.6 BOXPADS

Box pads shall be placed on compacted and level ground meeting the backfill requirements in Section 7.6.3.

7.6.7 TRANSFORMER PADS

The transformer pads for transformers less than 100 kVA shall be Nordic single-phase box pad #CBP-37-43-15A (with cable openings 12" x 24") or approved equal. The top of the transformer pad shall be at least 2 inches above the sidewalk. Concrete pads must meet the following requirements and shall be approved by Hyrum City Power:

7.6.7.1 Site Preparation

All dirt beneath the pad site must be compacted meeting the backfill requirements in Section 7.6.3, and level prior to setting or pouring the pad to prevent settling.

7.6.7.2 Concrete

Concrete shall be made using 6 bags of standard brand of Portland cement per cubic yard. Steel reinforcement shall be No. 4 bars placed on 12" centers and in accordance with the concrete transformer pad drawing. The pad must be poured at least three full days prior to setting the transformer. Concrete shall be kept above freezing at least 72 hours after pouring. The finished surface must be completely flat and level.

7.6.7.3 Conduit Window Layout

Low voltage conduits shall be formed as tightly as possible against the right side of the opening and shall in no case extend further than 20" from the right side of the conduit window on a small pad (96" x 78") or 30" on a large pad (100" x 103"). Do not put any concrete in or under the conduit window. Use dirt to separate conduits. All construction shall be in accordance with the latest International Electric Code and approved by Hyrum City Power.

7.6.8 TRANSFORMER VAULTS

On three phase applications with transformer sizes greater than 150 KVA a pad vault will be required. A pad vault is a combination of both a vault and lid/pad. The vault will be provided and installed by the supplier or contractor. The joint between the box and the lid will be sealed with mastic. The vault will be placed within 15' of a hard-paved surface. A base of 8"-12" of 1" crushed rock will be used to establish a compacted and level surface on which the vault will be set. A total of two $\frac{5}{8}$ "x8' groundrods will be provided and installed at or within 2' of the grounding locations of the vault box and connected with 1/0 stranded copper wire on both

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sides. The area 10' in front and 3' on either side of the transformer will remain open and clear of any obstructions.

7.6.9 CLEARANCES

The front of the pad should always face away from adjacent structures and be free of obstructions. At least 8 feet must separate the edges of the pad from any adjacent structure. The edges of the pad must be at least 10 feet from any combustible structures.

7.6.10 GROUNDING METHODS

Driven ground rods are required at services, transformers, primary junction boxes and switches. In cases where ground rods cannot be installed at transformers, primary junction boxes and switches due to very rocky soil, 100 ft. of bare #2 copper-clad wire can be buried at least 18" deep in place of the ground rod. At least 100 total feet of wire, laid approximately straight, is required. Wire may be installed in a single length or several connected lengths, such as in a grid pattern.

7.7 OVERHEAD SERVICE REQUIREMENTS

Hyrum City Power provides all service wire to the meter mast (weatherhead) on overhead connections.

All residential overhead services shall be sized in accordance with Table 3. The minimum residential service permitted shall be a 150-amp service. Customers shall provide all service secondary conductors from the point of connection (weatherhead) to the meter base on overhead services.

Table 3-Residential Secondary Conductor Size—Customer Overhead Service Wire from Weatherhead to Meter

Square Footage of Residence	Service Size	Secondary Conductor Size	Neutral Conductor Size
Under 1200 s.f.	150 amp	1/0 Aluminum	#2 AWAC
1200 s.f. & above	200 amp	4/0 Aluminum	2/0 AWAC

The customer shall provide a point of attachment for overhead service that allows minimum clearances to be met in all conditions. Contact Hyrum City Power if the service length may be greater than 45', or the service will cross over uneven or sloped ground that may impact clearance height.

Mast shall be 2" or 3" rigid conduit, depending on the size of the service (see Table 4). The meter mast shall be securely connected to the structure with at least 2 points of attachment using Unistrut and 3/8" minimum lags.

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Table 4-Meter Mast Conduit Size

Service Size	Conduit Size for Meter Mast
200 amp or less	2" min.
201 – 400 amp	3" min.
Above 400 amp	Contact Hyrum City Power

Mast weatherhead shall pass through the building eave and extend at least 24" above the roof, unless the weatherhead is mounted on the gable end of the building. The lowest point of the overhead service cable and drip loop shall be at least 18" above the roof. No more than 72" of the service cable can run across the roof of the structure being served.

If the point of attachment is more than 36" above a point of support on the mast, two independent guys are required.

7.8 MULTI-FAMILY RESIDENTIAL BUILDINGS

7.8.1 GENERAL

This section describes services with separate meters for multi-family residential buildings with three or more units. Hyrum City Power requires grouping of service entrance conductors at a common location.

Requirements:

1. All meters shall be in a common location.
2. Meter banks shall be installed on the side of the building closest to the power source.
3. The service entrance and meter shall be installed in locations meeting the requirements of Section 7.4.
4. The service entrance shall be sealed.

7.8.2 MULTIPLE-METERS

All multiple meter installations shall meet the following requirements.

Requirements:

1. Meter bases shall not be used as junction boxes.
2. Meter bases shall be selected from the Hyrum City Power Department list of acceptable meter bases.
3. A main disconnect is required when more than six services are connected. If an existing installation expands beyond six services, a main disconnect shall be installed.

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4. NEC-approved load calculations are required when the sum of distribution section ampacities exceeds the pulling section ampacities. (See NEC Article 220, Branch-Circuit, Feeder, and Service Calculations.)
5. The cable pulling section must be appropriately sized for service termination.
6. Each service shall have a lockable and easily accessible disconnect in sight of the meter base location. If the disconnect is not in sight of the meter base, a label shall be placed at the meter base location indicating the location of the disconnect.
7. All required labels shall be correctly installed before the service is energized. Labels shall:
 - a. be permanently affixed to the equipment
 - b. be of sufficient durability to withstand the local environment. Engraved metal or hard plastic labels are required.
 - c. not be attached to removable covers
8. Each metered service and associated breaker shall be labeled to identify the dwelling unit address. Service will not be connected until permanent labels are attached.
9. It is the responsibility of the customer to ensure the meter bases are correctly labeled. These labels shall be kept current for the life of the facility.
10. A minimum vertical clearance of at least 66" from the center of the lowest meter to the final grade is required. However, a minimum vertical clearance of 36" to the center of the lowest meter is acceptable if a minimum 36" wide, flat, permanent surface (such as a concrete pad or walkway) below the meter is provided at the final grade and extends at least 18" on either side of the meter cabinet.
11. All unused openings shall be covered and secured by the customer.
12. Meters and metering equipment shall be located outdoors.
13. Panel covers must be secured in place prior to service equipment being energized.

7.9 COMMERCIAL, INDUSTRIAL, AGRICULTURAL SERVICES (ALL NON-RESIDENTIAL SERVICES)

This section provides the Hyrum City Power requirements for non-residential services. These services may be single-phase or three-phase, direct-connect or current transformer (CT) metered. Single-phase service up to 400 amps (A) and three-phase services up to 200 A can use direct-connect metering. CT metering equipment is required for single-phase service greater than 400 A and three-phase services greater than 200 A.

Non-residential customers should be sure to communicate with Hyrum City Power before purchasing and installing equipment.

The “General Requirements” in section 7.9.1 apply to all single-phase, three-phase, direct-connect, and CT metered commercial, industrial, and agricultural services. The subsequent sections provide additional requirements for direct-connect metering and CT

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metering, including multiple direct-connect meters, combination direct-connect and CT metering, and CT metering using switchboard (switchgear) equipment.

7.9.1 GENERAL REQUIREMENTS

1. All meter base enclosures shall be ring-type.
2. Acceptable meter bases are those manufactured in accordance with current EUSERC, ANSI-C12, and UL/ANS 1-414 requirements.
3. A main disconnect is required when more than six services are connected. If an existing installation expands beyond six services, a main disconnect shall be installed.
4. NEC-approved load calculations are required when the sum of distribution section ampacities exceeds the pulling section ampacities. (See NEC Article 220, Branch-Circuit, Feeder, and Service Calculations.)
5. Each service shall have a lockable and easily accessible disconnect in sight of the meter base location. If the disconnect is not in sight of the meter base, a label shall be placed at the meter base location indicating the location of the disconnect.
6. All required labels shall be correctly installed before the service is energized. Labels shall:
 - a. be permanently affixed to the equipment
 - b. be of sufficient durability to withstand the local environment. Engraved metal or hard plastic labels are required.
 - c. not be attached to removable covers.
 - d. be kept current for the life of the facility.
7. Each metered service and associated breaker shall be labeled to identify the unit address. Service will not be connected until permanent labels are attached.
8. A minimum vertical clearance of at least 48 inches (48") from the center of the lowest meter to the final grade is required. However, in installations of three or more ganged meters, a minimum vertical clearance of 36 inches (36") to the center of the lowest meter is acceptable if a minimum 36 inches (36") wide, flat, permanent surface (such as a concrete pad or walkway) below the meter is provided at the final grade and extends at least 18 inches (18") on either side of the meter cabinet.
9. On overhead services, the customer must furnish all lugs and connect conductors to the line- side terminals. The customer is responsible for bringing the service entrance conductor to the connection of the utility service drop.

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10. Cable termination connectors should have two bolts per connector. When mechanical lugs are used, two setscrews per conductor should be used where feasible.
11. All unused openings shall be covered and secured by the customer.
12. Meters and metering equipment shall be located outdoors.

7.9.2 DIRECT-CONNECT METERING, SINGLE INSTALLATIONS

The required types of direct-connect meter bases for commercial, industrial, and agricultural services are listed in Table 5. Typical direct connect meter bases and typical service connections are illustrated in the figures in this section.

Direct-connect meter bases serving continuous duty motors are limited to 60 hp or less at 120/208V or 120/240 V three-phase, and 125 hp or less at 277/480V, three-phase.

Three-phase 200-amp meter bases shall have a lever by-pass

Table 5. Direct-connect Meter Base Requirements

Direct-connect Service Type	Amperage	Meter Base Requirement	Figure
Single-phase	200 A max.	EUSERC 305	Figure 1
Single-phase, Overhead Only	201-400 A	EUSERC 302B	Figure 3
Single-phase, Overhead and Underground	201-400 A	na	Figure 3
Network	200 A max.	EUSERC 305	
Three-phase	200 A max.	Lever By-Pass	Figure 2

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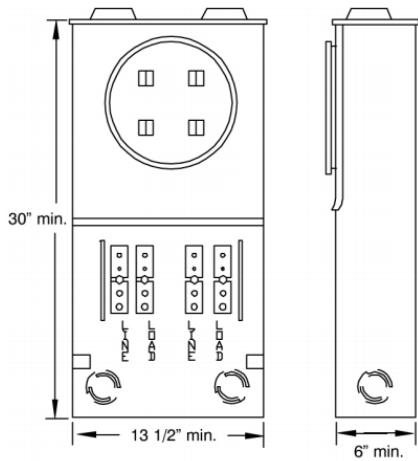


Figure 1 EUSERC 305 Single Phase



Figure 2 200-A Three-phase with Lever By-Pass

400 Amp Max

Figure 3 EUSERC 302B

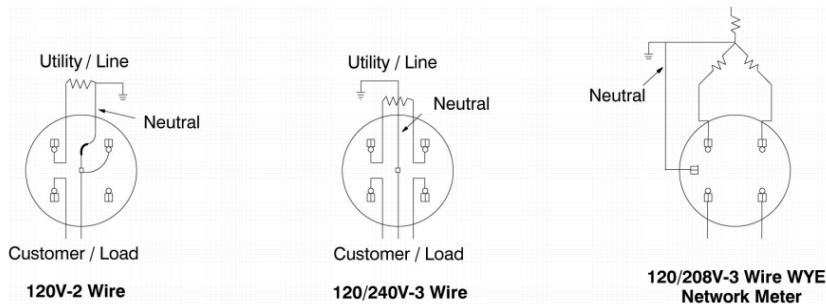


Figure 4 Typical Single-phase Service Connections (Meter Base Front View)

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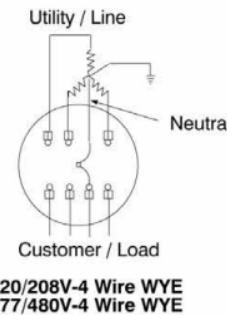


Figure 5 Typical Three-phase Service Connection (Meter Base Front View)

7.9.2.1 UNDERGROUND SERVICE METER PEDESTALS

Service meter pedestals meeting EUSERC 308 requirements can be used for non-residential underground service installations.

7.9.2.2 FREE-STANDING SERVICE METER INSTALLATIONS

Free-standing installations may be used for non-residential underground service or overhead service.

7.9.2.2.1 Underground Service

The installation requirements for direct connection, underground service, free-standing meters are listed below. These requirements are in addition to the general requirements in this section.

Requirements:

1. The customer shall consult Hyrum City Power to determine the location of the freestanding meter base.
2. The free-standing meter base shall meet all local ordinance requirements.
3. The meter base shall be protected from damage by use of barrier posts or other suitable protection approved by Hyrum City Power.
4. The customer shall furnish, install and maintain approved steel or wood post(s). If a wood post is used, it shall be no less than 6"x 6" (nominal) and pressure-treated with an American Wood Preservative Association approved preservative.

The typical meter installations for a free-standing installation using steel posts is shown on drawing A.11

7.9.2.2.2 Overhead Service

Free-standing installations may be used for non-residential overhead service. The installation requirements for direct connection, overhead service, free-standing meters are listed below. These requirements are in addition to the general requirements in this section.

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Requirements:

1. Wood poles shall be of sound timber. The pole or timber must be free of any defects that may weaken the wood, such as sucker knots and spike knots larger than 1/2 of any face. Cracks greater than 1/2 -inch wide are not permitted. No visible wood decay is allowed.
2. The pole height must provide required clearance for the Hyrum City Power's service drop and any other attachments. The customer shall install the meter base and service equipment on a wood pole no less than 25 feet long and 5-1/2 inches in diameter at the top, or a (nominal) 6"x 6" x 25' timber, set no less than 60 inches below ground level, with suitable backfill. The pole or timber shall be pressure- or thermally- treated with an approved preservative.
3. The pole or timber shall be easily accessible by Hyrum City Power power-lift aerial equipment.
4. In unstable soil, conductor lengths in Table 18 may be reduced; guying or bracing shall be required.
5. The conductor must be at least 24 inches (24") in length outside the weatherhead.

7.9.3 DIRECT-CONNECT METERING, MULTIPLE INSTALLATIONS

This section lists the requirements in addition to the general requirements for direct-connect, non-residential, single-phase and three-phase installations with more than one metered service.

Before being energized, the meter base shall be properly wired and grounded, and all necessary permits shall be in place. Ganged, modular, and switchboard styles of metering base equipment are approved for use.

Consult with Hyrum City Power regarding the design of the multiple metering services before purchasing and installing equipment.

Requirements:

1. Metering conductors shall not pass through adjacent metering compartments except in enclosed wireways.
2. A test bypass facility (TBF) with rigid insulating barriers shall be furnished, installed, and wired or bussed to the meter bases. TBF cover panels shall be sealable and fitted with a lifting handle.
3. A pull box section is required for two or more services and must meet EUSERC 343 and 343A requirements for the type and size of service. In addition:
 - a. Only Hyrum City Power conductors are allowed inside the pull box;

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- b. The pull box shall be sealable, and will be sealed by Hyrum City Power;
- c. Customer-owned devices shall not be installed in the pull box;
- d. No taps are allowed inside the pull box; and,
- e. The customer shall not terminate their grounding electrode conductor in the pull box or use the pull box as a junction point for the grounding or to ground the electrode conductors.

4. For ganged meters, where the face of a cabinet exceeds the depth of the adjacent meter cabinet, clearances shall be in accordance with NEC.
5. For switchboard metering installations, the customer must provide a concrete pad for switchboard metering service sections and pull boxes.

7.9.4 CT METERING, UP TO 800 A

This section lists the requirements for CT metered services rated up to 480 V and 800 A.

Table 6 identifies customer-provided material for CT metering. Hyrum City Power will provide and install the meter, a meter test switch, current transformers, and secondary metering wiring. Hyrum City Power will provide the CT cabinet and CT mounting base, paid for by the customer.

The customer shall make connections of service wire in the CT cabinet.

Table 6 Customer Provided Material for CT-Metering

Customer Provides	See for More Information	Requirements/Application Notes
Conduit	Section 7.9.4.3	The conduit between the meter base enclosure and the CT cabinet, see Section 7.9.4.3.
Connectors/Terminators		Connectors for the load-side conductors to CT mounting base, as well as overhead service.
Disconnect		Downstream of CT cabinet rated for the load
Bonding	Section 7.9.4.4	Bonding per Section 7.9.4.4 for all meter and CT enclosures.

7.9.4.1 CT CABINET

The CT cabinet consists of two parts: the enclosure and the mounting base for the current transformers. The cabinet is exclusively for Hyrum City Power metering equipment.

Requirements:

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1. Only equipment associated with Hyrum City Power metering shall be permitted in the CT cabinet.
2. The door shall have factory-installed hinges for side opening and shall be sealable.
3. The door shall be equipped with a device to hold it in the open position at 90° or more.
4. The top of the CT mounting base shall not be more than 72 inches (72") above the finished grade.
5. The customer's service entrance conduits must exit the cabinet on the load side of the CT.
6. Customer conductors are not permitted in the Hyrum City Power termination space.
7. The customer shall not terminate their principal (main) grounding electrode conductor in the CT cabinet or use it as a junction point for grounding or grounding electrode conductors.
8. For multiple metered circuits, a separate termination pull box must be provided for the Hyrum City Power service lateral. The CT cabinet shall not be used as a load distribution center.

Table 7 CT Cabinet Requirements

Type of Service	EUSERC # for CT Cabinets	Minimum Cabinet Dimensions			EUSERC # for CT Mounting Base
		Width	Height	Depth	
Single-phase, 401-800 A	316, 317	24"	48"	11"	328A
Three-phase, 201-800 A	316, 318	36"	48"	11"	329A

Notes:

1. Where both line and load conductors enter or exit from the top or bottom of the cabinet a larger cabinet is required.
 - a. The dimension of the cabinet shall be 48"W x 48"H x 14"D. (These dimensions are greater than EUSERC316and 318 minimums.)
 - b. The cabinet shall have two sealable, hinged doors with handles.
2. The door shall have factory-installed hinges for side opening and shall be sealable.

Meter Base Location:

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1. For single-hinged CT cabinets the meter base shall be located opposite the hinged side, and not above or below the cabinet.
2. For dual-hinged CT cabinets, the meter base can be mounted on either side of the cabinet but not above or below it.

7.9.4.2 CT MOUNTING BASE AND CABLE TERMINATION

CT mounting bases are provided and installed by the customer.

Requirements:

1. The CT mounting base shall meet the ratings for the available fault current at the location installed (50,000 A minimum).
2. For existing four-wire delta services, the high (power) leg conductor must be identified by orange marking and located on the right-hand bus position. The bus shall also be marked and readily identified.
3. The mounting base shall accept bar-type current transformers only.
4. No alteration of the mounting base is allowed.
5. Line and load-side cable terminations on EUSERC 328A or 329A CT landing pads require two bolts per connector.
6. Cable termination can only be made on the manufacturer-supplied studs of the transformer mounting base.

7.9.4.3 CT METERING CONDUIT

The customer must provide conduit between the meter base and the CT cabinet. When installing conduit, the following requirements shall be met:

Requirements for a meter within 12" of a CT cabinet:

1. Conduit shall be one-inch (1") IMC or greater.
2. Proper fittings and bushings shall protect metering conductors.

Requirements for a meter greater than 12" and up to 50' from the CT cabinet:

1. The meter base must be visible from the CT cabinet.
2. Conduit runs must be less than 50 feet (50').
3. Conduit shall be 1-1/4 " IMC or greater.
4. Conduit runs may not have more than three bends totaling 270°. No single bend greater than 90° is allowed.
5. Removable conduit fittings shall have sealing provisions.

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6. LB connectors are not allowed between the CT cabinet and the meter base.

7.9.4.4 CT CABINET BONDING

The CT cabinet must be properly bonded and grounded per the NEC. Figure 6 illustrates one acceptable solution.

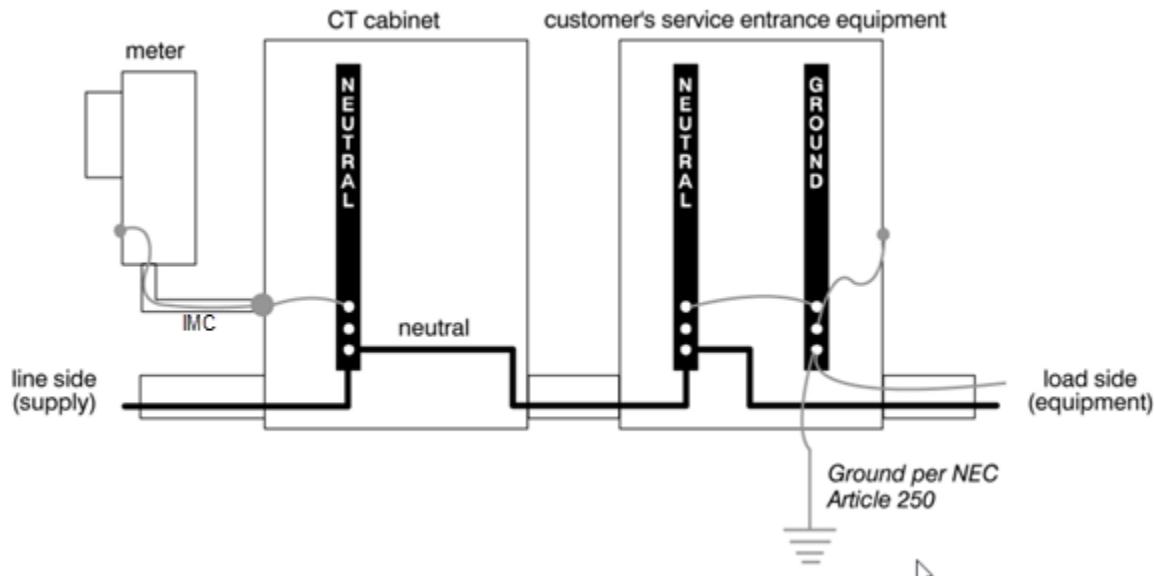


Figure 6 CT Cabinet Bonding, Example

7.9.4.5 CT METERING, FREE STANDING

This section lists the requirements in addition to the general requirements in this section for free-standing CT metering installations on posts. Free-standing installations are owned by the customer. Installation requirements for service to free-standing installations are listed below.

Requirements:

1. The customer shall consult Hyrum City Power to determine the location of the freestanding meter installation.
2. The free-standing meter base shall meet all city ordinance requirements.
3. The meter base shall be protected from damage by use of barrier posts or other suitable protection approved prior to installation by Hyrum City Power.
4. The CT cabinet must be properly supported with a minimum of two three-inch (3") steel posts with installed caps, or two wood post no less than 6" x 6" (nominal) and pressure- treated with an American Wood Preservative Association approved

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preservative. When equipment is less than 72 inches (72") apart, it shall be bonded according to the NESC.

5. The customer shall furnish, install and maintain posts, hardware, conduit, fittings, and concrete pads sufficient to support the metering.

7.9.4.6 Combination Direct-Connect and CT Metering

Installations requiring both direct-connect and CT metering services shall meet the requirements of both types of services as described in the previous sections. An approved wall-mounted equipment installation is shown below. Switchboard combination units are also allowed. Refer to Section 9.5, Switchboard Metering up to 4000 A for requirements.

7.9.5 SWITCHBOARD METERING, UP TO 4000 A

This section lists the requirements in addition to the general requirements in this section for switchboard metered service installations. A EUSERC-approved switchboard metering section is required when the service entrance rating is greater than 800 A. Switchboard metering may also be used for three-phase services over 200 A or single-phase services over 400 A.

Consult with Hyrum City Power regarding the design of the switchboard metering services before purchasing and installing equipment.

Requirements:

1. The customer shall provide a drawing of the proposed service equipment, including EUSERC reference numbers and a mounting pad with dimensions, to Hyrum City Power for review and approval. Hyrum City Power approval must be obtained prior to fabrication.
2. The customer shall provide and install:
 - a. Switchboard enclosure with CT compartment
 - b. Meter base
 - c. Metering conduit-one-inch (1") minimum electrical non-metallic tubing (ENT) for the metering secondary conductors
 - d. Locking equipment for the meter enclosure
 - e. Concrete mounting pad for the switchboard enclosure
 - f. A flat permanent surface (such as a concrete pad) extending a minimum of 36 inches (36") out from the switchboard in front of the CT compartment
3. The metering CTs shall be located in the CT compartment.

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4. The CT compartment shall have a hinged door.
5. For a single service, the meter and test switch shall be mounted remotely (outside the cabinet).
6. Installing two or more metering services requires mounting on the compartments' hinged meter panels.
7. The metering conduit in the switchboard section shall terminate in the CT compartment in front of the CTs.
8. The door shall be equipped with a device to hold it in the open position at 90° or more.
9. Lugs for terminating the customer's ground wire (or other grounding conductors) shall be located outside the sealable section and shall be designed to allow the customer's neutral system to be readily accessible.
10. All pull and termination sections shall have full front access.
11. All removable cover panels shall have two lifting handles and be limited to a maximum weight of 25 pounds.
12. The customer will terminate the line side service conductors on lug landings in the pull section.
13. Bus bars are required from the pull section for service above 800 amps. Termination lugs are required and shall meet EUSERC 347.
14. Any customer-owned locking equipment for the metering enclosure must allow independent access by Hyrum City Power.
15. Only Hyrum City Power service conductors are allowed inside the pull section.

Minimum dimensions for switchboard pull boxes (termination enclosures) are shown in Figure 7 and Table 8:

SECTION 7 General Requirements and Specifications for Electrical Installations

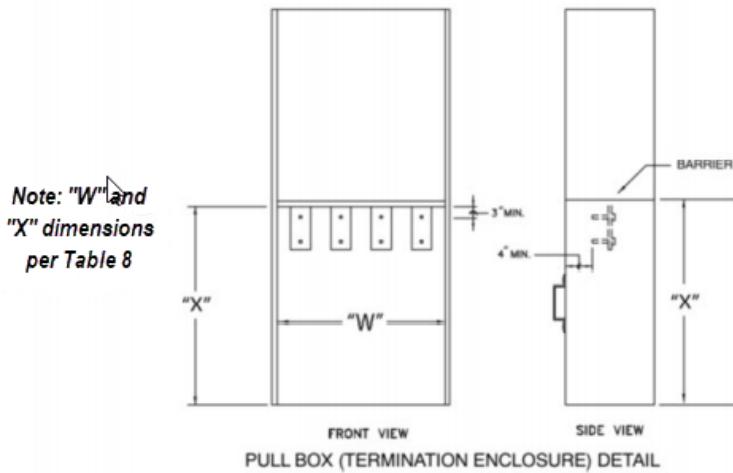


Figure 7 Switchboard Section with Termination Enclosure

Table 8 Minimum Dimensions for Switchboard Pull Box (Termination Enclosures)

Switchboard rating	Minimum Access Opening ("W")		Height Dimension ("X")	
	3-wire Service	4-wire Service	Min.	Max.
Below 400 A	Consult with Hyrum City Power			
400-800 A	24"	24"		
801-1200 A	24"	30"	42"	
1201-2000 A	30"	35"		72"
2001-3000 A	-	42"	60"	
3001-4000 A	-	44"		

7.10 STREETLIGHTS

7.10.1 SUBDIVISION POLE-TOP LUMINARIES

The customer shall install conduit and secondary junction boxes for streetlights according to the Hyrum City design. Hyrum City Power provides and installs streetlights at the customer's expense. The concrete base for the light pole will be installed by Hyrum City and paid for by the customer.

7.11 GENERATION INTERCONNECTION—SOLAR PV GENERATION

SECTION 7 General Requirements and Specifications for Electrical Installations

7.11.1 BUILDING PERMIT

Obtain building permit and complete plan submittal checklist from Hyrum City, 60 West Main Street, Hyrum, UT 84319, (435) 245-6033.

7.11.2 INFORMATION FOR INSTALLERS

Installers MUST be North American Board Certified Energy Practitioners (NABCEP) Certified. Installers must also provide proof of a Utah business license. Applications without these credentials will not be approved.

7.11.3 SOLAR INFORMATION CHECKLIST

Complete the Hyrum City Solar Information Checklist with supporting documents, and email them to the contact found at Hyrumcity.gov/publicworks/page/solar-energy

Once the Solar Information Checklist has been completed and approved by Hyrum City Power, a Plan Approval Letter will be sent back to the customer/contractor via email.

7.11.4 SOLAR PRODUCTION INTERCONNECTION FEES

Fees per current applicable fee schedule.

7.11.5 INSTALLATION OF SOLAR SYSTEM

Hyrum city is not responsible or liable for the functionality of the customer's system downstream of the utility point of connection (typically the overhead mast or underground conductor utility-side connection to the meter).

Please note the following Hyrum City requirements:

- Residential solar installations may be no larger than 10kW D/C.
- All metering and installation fees to be paid for by customer/contractor. Hyrum will not cover any costs associated with the installation or construction of the solar power system.
- Point of Interconnection must be labeled with a permanent, engraved label; mechanically fastened with rivets, screws, or bolts (no double-sided tape) which states "Solar Generation On Site" or equivalent.
- Point of interconnection must be made at the main service panel, on the customer side of the meter, and be connected using an appropriately rated, bidirectional circuit breaker. Note: Electrical services with outdated main service panels/meterbases may be required to be updated before a solar installation, to meet the latest NEC Code

SECTION 7 General Requirements and Specifications for Electrical Installations

- A separate safety disconnect must be installed between the solar system inverter and the Point of Interconnection. Disconnect switch must be located adjacent to the City's service meter location. The City will approve the location of each installation of the disconnect. This switch must be manually operated, lockable, and designed such that the actual contacts of the switch are visible to determine whether they are open or closed. Meter base circuit breakers do not satisfy this requirement, nor does a solar system's integrated inverter disconnect. The safety disconnect must be labeled as per requirements above, stating "Solar Power Disconnect" or equivalent.

Customer/Contractor is not permitted to connect panels to Hyrum's system until the utility meter has been reprogrammed to be bi-directional. If the system is connected before the new meter is installed, all excess kWh produced by the system will be seen by the existing meter as kWh consumed, not generated, resulting in an extra cost to the customer instead of a credit. These costs will not be credited back to the customer.

7.11.6 SPECIAL CASE—SOLAR SYSTEM WITH BATTERY STORAGE

Please note the following Hyrum City disclaimers and limits of liability for systems with battery storage:

- **Some solar systems with battery storage are designed with some or all of the customer's loads connected directly to the inverter. If the inverter fails or is out of service the customer will be all or partly out of power. Hyrum City is not responsible for restoring power in this situation. The customer will be responsible to repair the system to restore power.**
- **A disconnect switch at the point of interconnection is still required.**
- **Maximum energy exported must not exceed power rating of photovoltaic system.**
- **Charging the batteries from the grid (the Hyrum City power system) will be metered as additional load at a potentially increased cost to the customer (at the usual rate).**

7.11.7 INSPECTION

Once installation of the solar system is complete, and the home has been inspected and passed by the Cache County Building department, the customer/contractor shall provide the inspection report to Hyrum City (Braxton.wood@hyrumcity.gov) to proceed to a permit to operate.

SECTION 7 General Requirements and Specifications for Electrical Installations

7.11.8 PERMIT TO OPERATE THE INTERCONNECTION

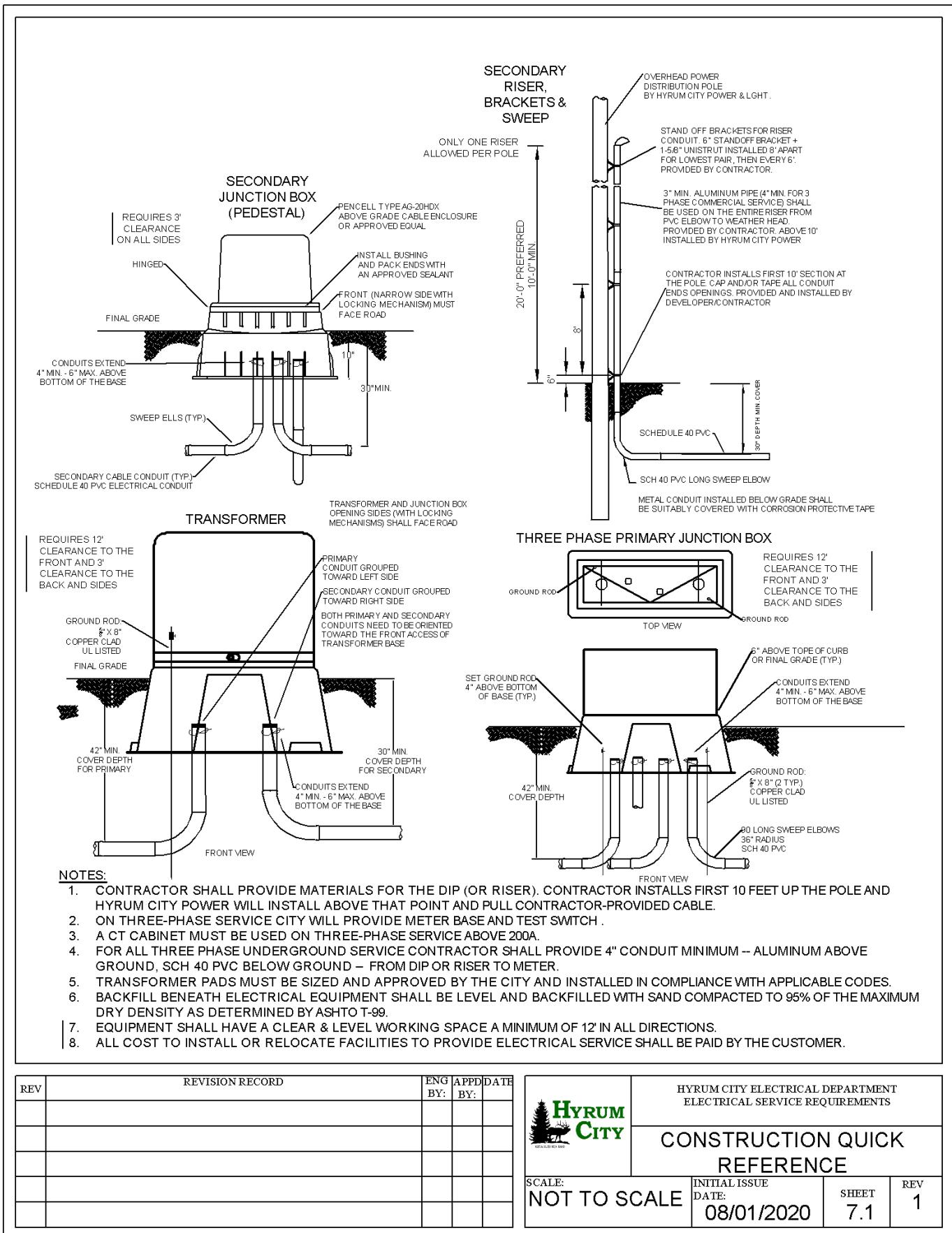
Once the Hyrum City Metering Department has the Cache County inspection report, they will perform a final inspection. Upon passing final inspection, Hyrum City will issue a permit to operate and reprogram the utility meter to bi-directional.

HYRUM CITY Power Department

SECTION 7

STANDARD DETAIL DRAWINGS

SECTION 7 General Requirements and Specifications for Electrical Installations



SECTION 7 General Requirements and Specifications for Electrical Installations

PRIMARY RISER, BRACKETS & SWEEP

OVERHEAD POWER DISTRIBUTION POLE BY HYRUM CITY POWER.

ONLY ONE RISER ALLOWED PER POLE.

26'-0" REQUIRED

BOND CONCENTRIC NEUTRAL AND CONDUIT SYSTEM TO SYSTEM NEUTRAL AND POLE GROUND.

ALUMINUM CONDUIT 4" MIN. OR GREATER DIAMETER SIZE AS SPECIFIED FOR JOB PROVIDED BY CONTRACTOR, ABOVE 10' INSTALLED BY HYRUM CITY POWER.

CONTRACTOR PROVIDES & INSTALLS FIRST 10' SECTION AT THE POLE. CAP AND/OR TAPE ALL CONDUIT ENDS OPENINGS.

STAND OFF BRACKETS FOR RISER CONDUIT. 6" STANDOFF BRACKET + 1-5/8" UNISTRUT INSTALLED 8' APART FOR LOWEST PAIR, THEN EVERY 6' PROVIDED BY CONTRACTOR.

SCHEDULE 40 PVC 4" OR GREATER

SCH 40 PVC LONG SWEEP ELBOW

42" DEPTH MIN COVER

42" DEPTH MAX COVER

NOTES:

1. CONTRACTOR SHALL PROVIDE MATERIALS FOR THE DIP (OR RISER). CONTRACTOR INSTALLS FIRST 10 FEET UP THE POLE AND CITY WILL INSTALL ABOVE THAT POINT AND PULL CONTRACTOR-PROVIDED CABLE.
2. CITY SHALL PROVIDE METER BASE AND TEST SWITCH ON THREE-PHASE SERVICE.
3. A CT CABINET MUST BE USED ON THREE-PHASE SERVICE ABOVE 200A.
4. FOR ALL THREE PHASE UNDERGROUND SERVICE CONTRACTOR SHALL PROVIDE 4" OR GREATER ALUMINUM AND SCHEDULE 40 PVC CONDUIT FROM DIP OR RISER TO METER.
5. TRANSFORMER PADS MUST BE SIZED AND APPROVED BY THE CITY AND INSTALLED IN COMPLIANCE WITH APPLICABLE CODES.

TRANSFORMER

REQUIRES 12' CLEARANCE TO THE FRONT AND 3' CLEARANCE TO THE BACK AND SIDES

BOTH PRIMARY AND SECONDARY CONDUITS NEED TO BE ORIENTED TOWARD THE FRONT ACCESS OF TRANSFORMER BASE

THREE PHASE PRIMARY JUNCTION BOX

PRIMARY CONDUIT GROUPED TOWARD LEFT SIDE

SECONDARY CONDUIT GROUPED TOWARD RIGHT SIDE

SET GROUND ROD: 6" X 8" (2 TYP.) COPPER CLAD UL LISTED

4" ABOVE TOP OF CURB OR FINAL GRADE (TYP.)

FINAL GRADE

42" MIN. COVER DEPTH

4" MIN. - 6" MAX. ABOVE BOTTOM OF THE BASE

CONDUITS EXTEND 4" MIN. - 6" MAX. ABOVE BOTTOM OF THE BASE

90° LONG SWEEP ELBOWS 36" RADIUS SCH 40 PVC

30" MIN. COVER DEPTH FOR SECONDARY

GROUND ROD: 6" X 8" COPPER CLAD UL LISTED

FRONT VIEW

FRONT VIEW

SECONDARY JUNCTION BOX (PEDESTAL)

REQUIRES 3' CLEARANCE ON ALL SIDES

HINGED

FINAL GRADE

CONDUITS EXTEND 4" MIN. - 6" MAX. ABOVE BOTTOM OF THE BASE

SWEEP ELLS (TYP.)

SECONDARY CABLE CONDUIT (TYP.) SCHEDULE 40 PVC ELECTRICAL CONDUIT

FRONT (NARROW SIDE WITH LOCKING MECHANISM) MUST FACE ROAD

PENCELL TYPE AG-20HDX ABOVE GRADE CABLE ENCLOSURE OR APPROVED EQUAL

INSTALL BUSHING AND PACK ENDS WITH AN APPROVED SEALANT

3" MIN. OR GREATER AS SPECIFIED. EXPOSED PORTION MUST BE ALUMINUM

ANCHOR RISER CONDUIT TO FOUNDATION WALL

ANCHORS SHALL BE 3" PIPE CLAMP TO 6" MIN. UNISTRUT WITH (2) 1/2" DIA. ANCHORS WITH 2-1/2" EMBEDMENT MIN...

30" MIN. 90° SCH 40 PVC LONG SWEEP ELBOW

SCH. 40 PVC CONDUIT TO POWER SOURCE

5/8" TO 1" GRADE

3" MIN. CLEARANCE IN FRONT OF METER

GROUND PER NEC

CONDUCTIVE STEEL REINFORCING BAR (REBAR) 1/2" IN. OR LARGER BONDED TOGETHER BY STEEL

TIE WIRE THAT HAS A COMBINED LENGTH OF 20 FT MAY SERVE AS THE GROUNDING ELECTRODE PER NEC.

GROUND ROD: 6" X 8" (2 TYP.) COPPER CLAD UL LISTED

HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS

HYRUM CITY

TYPICAL INSTALL--PRIMARY, SECONDARY & SERVICE

REV

REVISION RECORD

ENG BY:

APPD BY:

DATE:

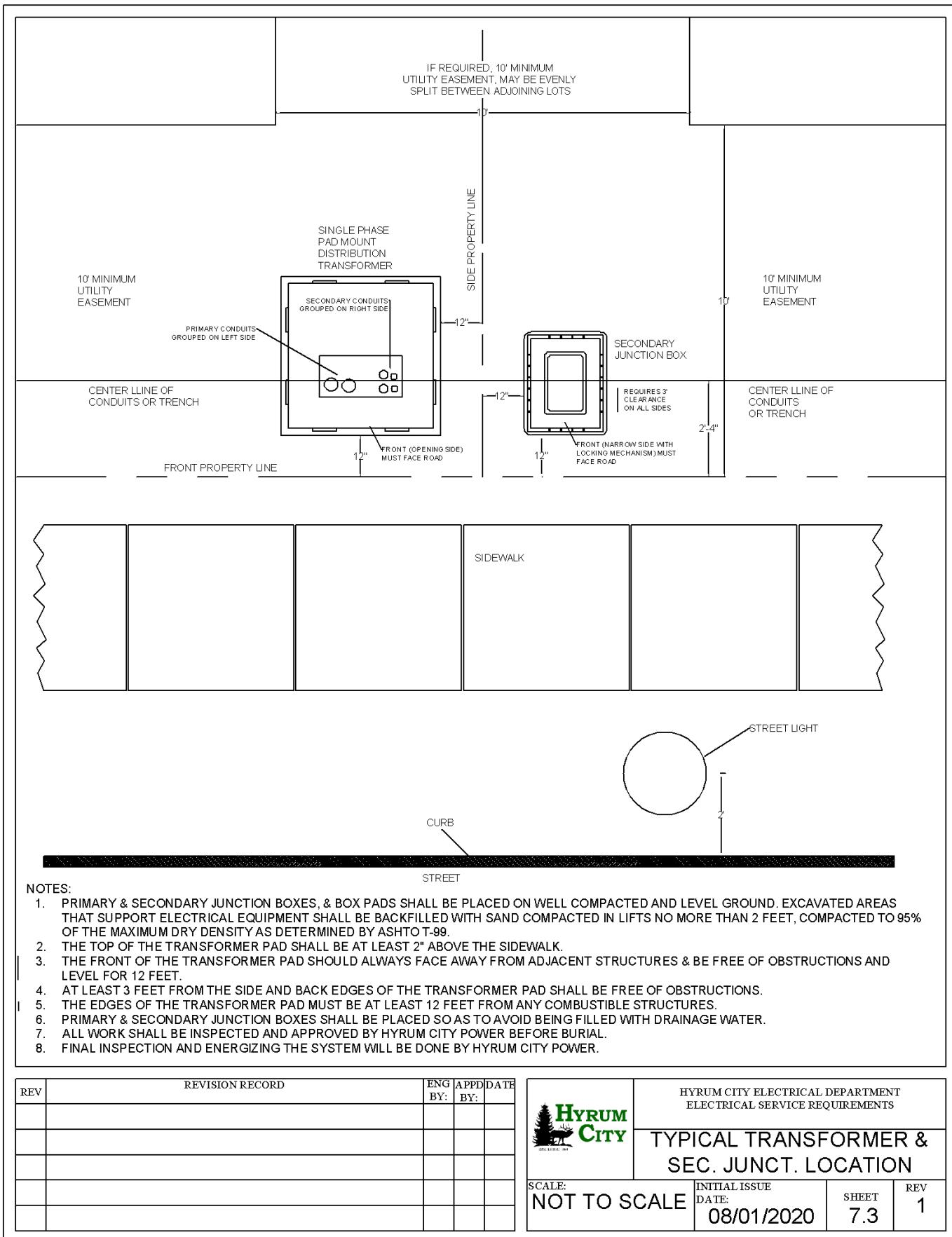
SCALE: NOT TO SCALE

INITIAL ISSUE DATE: 08/01/2020

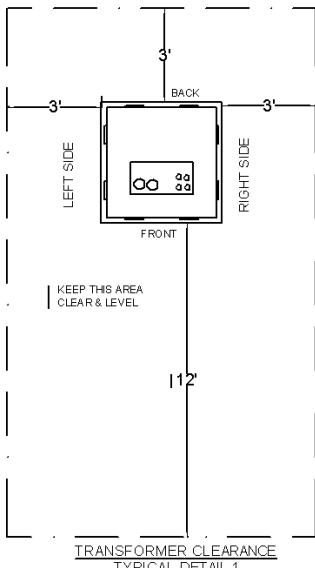
SHEET 7.2

REV 1

SECTION 7 General Requirements and Specifications for Electrical Installations

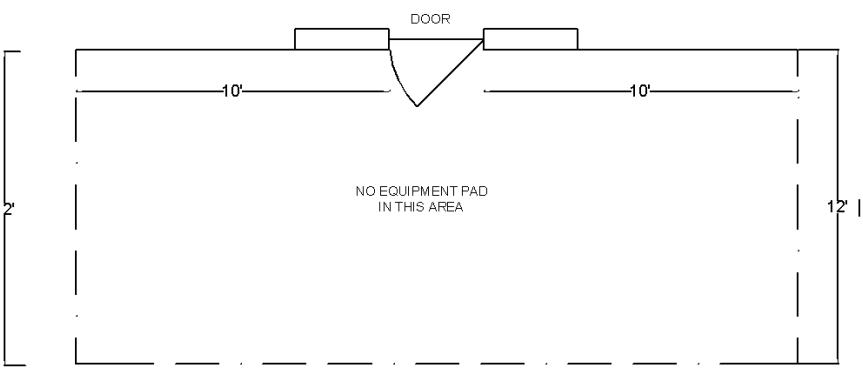
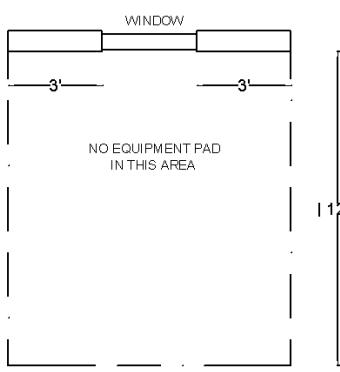


SECTION 7 General Requirements and Specifications for Electrical Installations



NOTE: A PREFABRICATED OR CONSTRUCTED-ON-SITE CONCRETE PAD SHALL BE USED FOR 100 KVA TRANSFORMER OR LARGER. CONTACT HYRUM CITY ELECTRICAL DEPARTMENT FOR REQUIRED EXACT DIMENSIONS AND APPROVAL.

1. DISTANCES ARE FROM THE EDGE OF THE EQUIPMENT PAD.
2. NO VEGETATION OVER 6" IN HEIGHT SHALL BE ALLOWED IN THE CLEAR AREA.
3. NO TRIP HAZARDS SHALL EXIST IN THE CLEAR AREA.

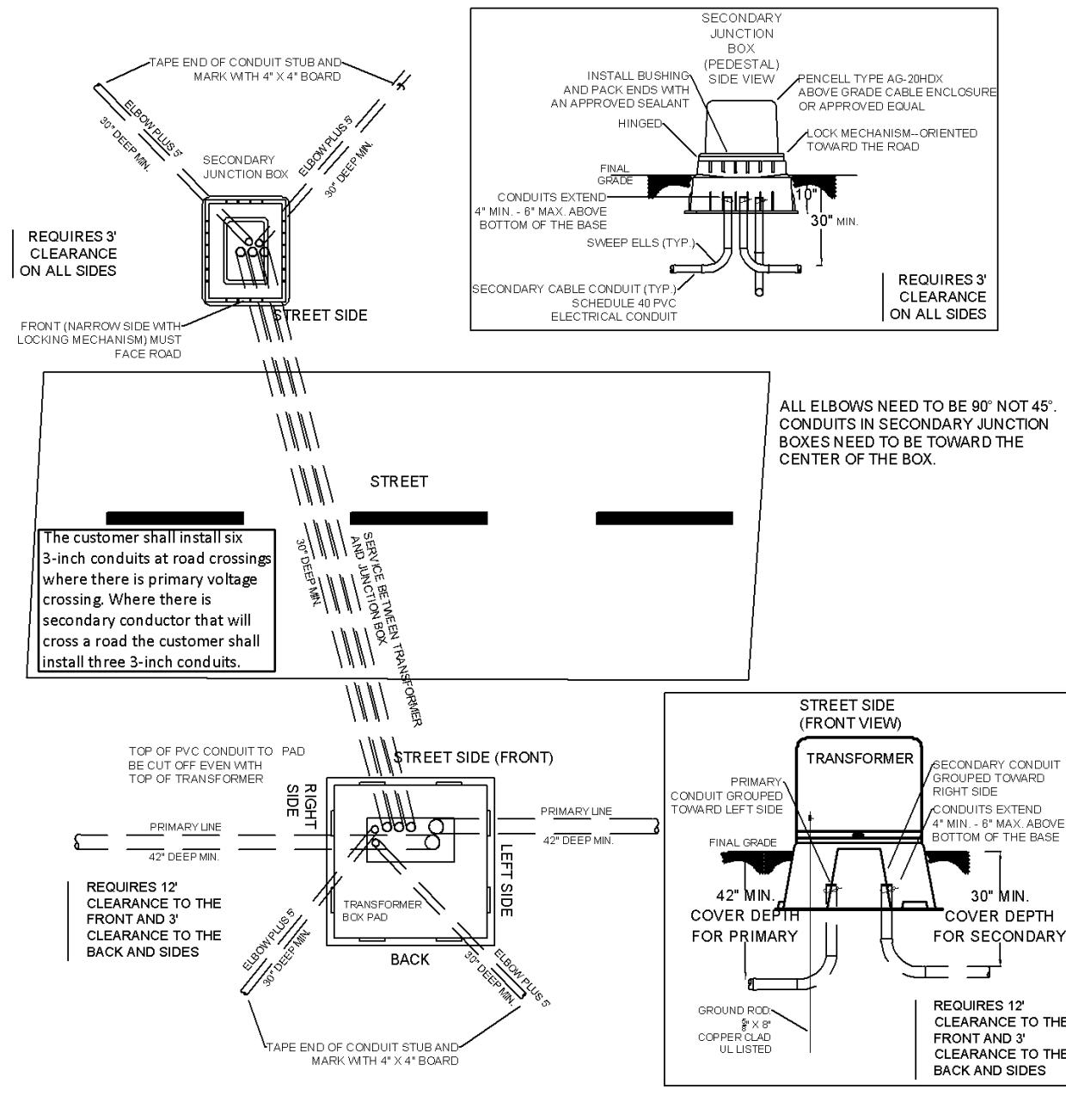


REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

HYRUM CITY HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS	TRANSFORMER CLEARANCE		
	SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.4

SECTION 7 General Requirements and Specifications for Electrical Installations

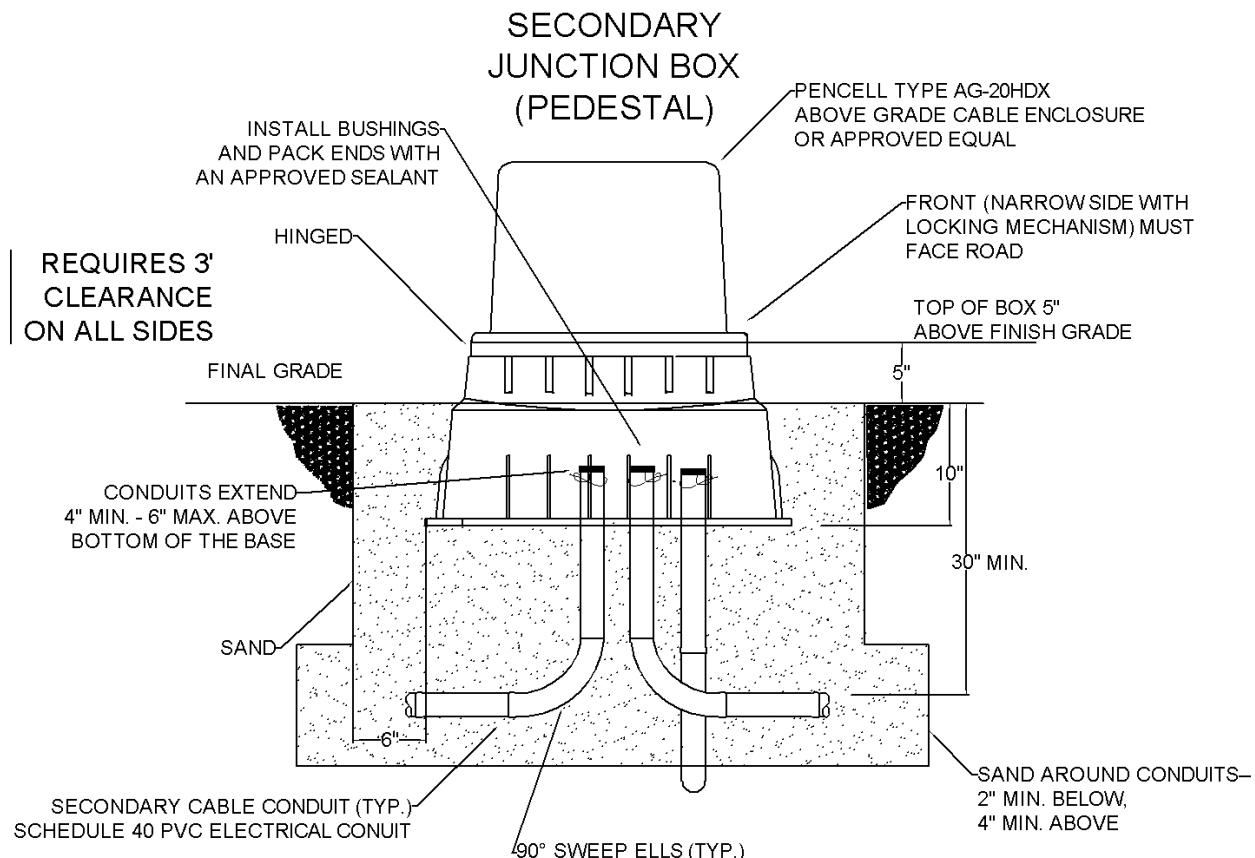
TYPICAL TRANSFORMER AND SERVICE JUNCTION BOX INSTALLATION



REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TRANSFORMER & SERVICE JUNCT. BOX INSTALLATION	INITIAL ISSUE DATE: 08/01/2020	REV 1
SCALE: NOT TO SCALE	7.5	SHEET	REV 1

SECTION 7 General Requirements and Specifications for Electrical Installations

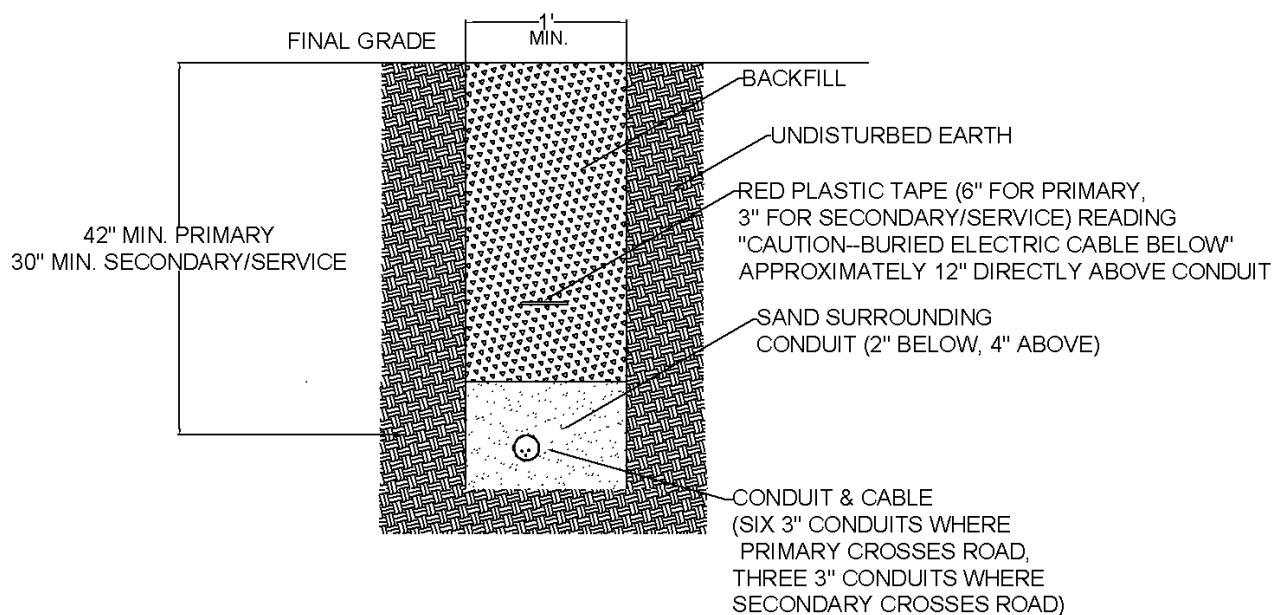


NOTES:

- 1. AREA AROUND BOX SHALL BE LEVEL & CAN EITHER BE PLANTED, HARD SURFACE OR A COMBINATION.
- 2. BOXES SHALL BE PLACED SO AS TO AVOID BEING FILLED WITH DRAINAGE WATER.
- 3. BOXES SHALL BE PLACED LEVEL ON SAND BACKFILL COMPACTED IN LIFTS NO MORE THAN 2 FEET, COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASHTO T-99.
- 4. ALL WORK SHALL BE INSPECTED AND APPROVED BY HYRUM CITY POWER DEPARTMENT.

REV	REVISION RECORD	ENG BY:	APPD BY:	DATE:	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
						SECONDARY JUNCTION BOX INSTALLATION	
					SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	REV 7.6 1

SECTION 7 General Requirements and Specifications for Electrical Installations

TRENCH DETAIL

NOTES:

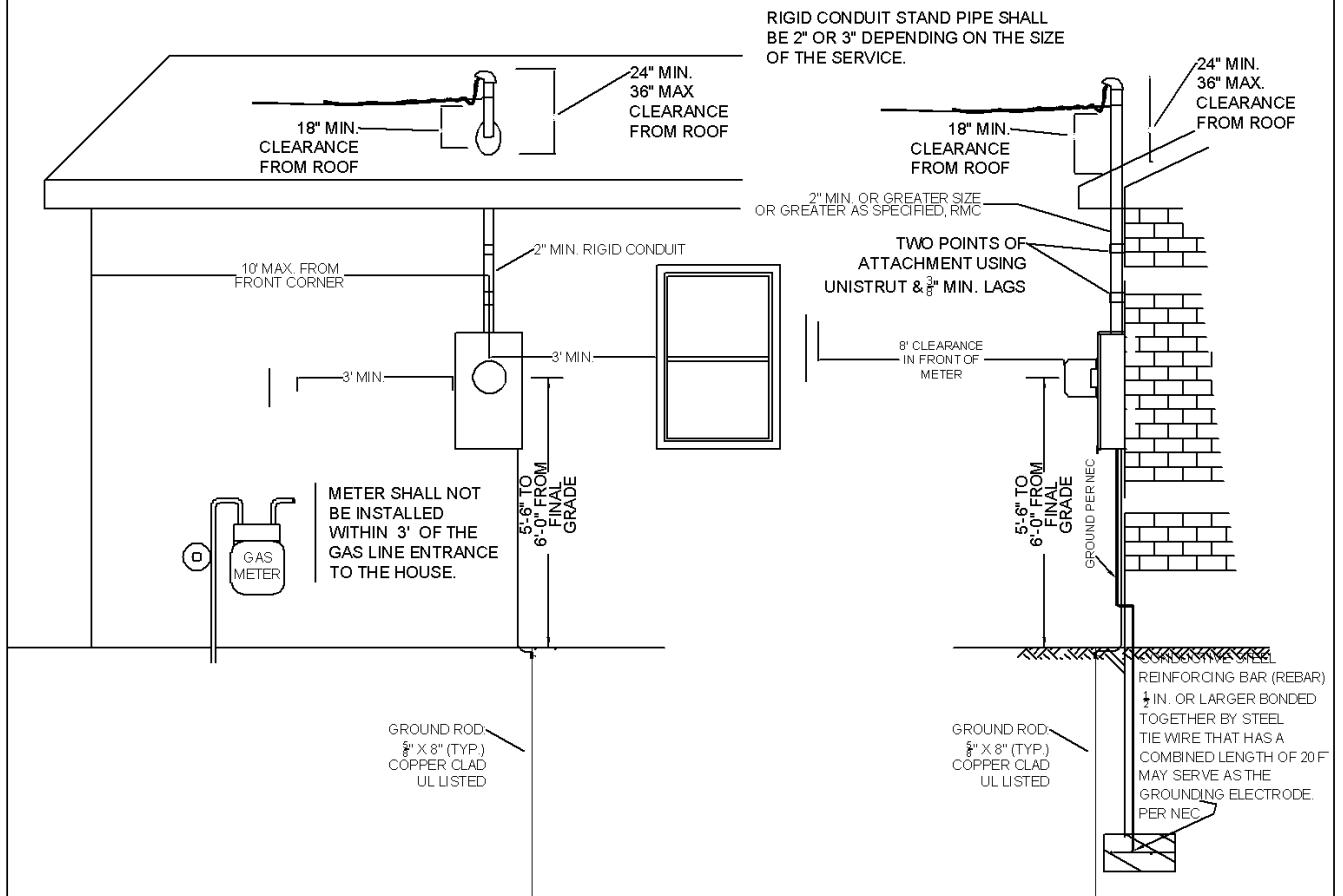
1. CURB & GUTTER SHALL BE INSTALLED BEFORE EXCAVATION OF ELECTRICAL TRENCHES.
2. A CERTIFIED JOURNEYMAN ELECTRICIAN OR LINEMAN SHALL BE ON SITE DURING ALL CONDUIT INSTALLATION.

REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TRENCH DETAIL		
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.7	REV 1

SECTION 7 General Requirements and Specifications for Electrical Installations

OVERHEAD RESIDENTIAL SERVICES

GENERAL:

NO OVERHEAD POWER WILL BE ALLOWED UNLESS REQUIRED OR APPROVED BY THE CITY. ALL NEW FACILITIES SHALL BE CONSTRUCTED UNDERGROUND UNLESS OTHERWISE AUTHORIZED BY THE CITY.

ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, INTERNATIONAL BUILDING CODE, ICC ELECTRICAL CODE AND THE NATIONAL ELECTRICAL SAFETY CODE EXCEPT WHERE THESE SPECIFICATIONS ARE MORE STRINGENT. IF THERE IS A CONFLICT BETWEEN STANDARDS THE MOST STRINGENT SHALL RULE. HYRUM CITY PROVIDES ALL SERVICE WIRE TO THE METER MAST ON OVERHEAD CONNECTIONS. THE CUSTOMER SHALL PROVIDE SERVICE WIRE FROM THE WEATHER HEAD TO THE METER BASE.

INSTALLATION:

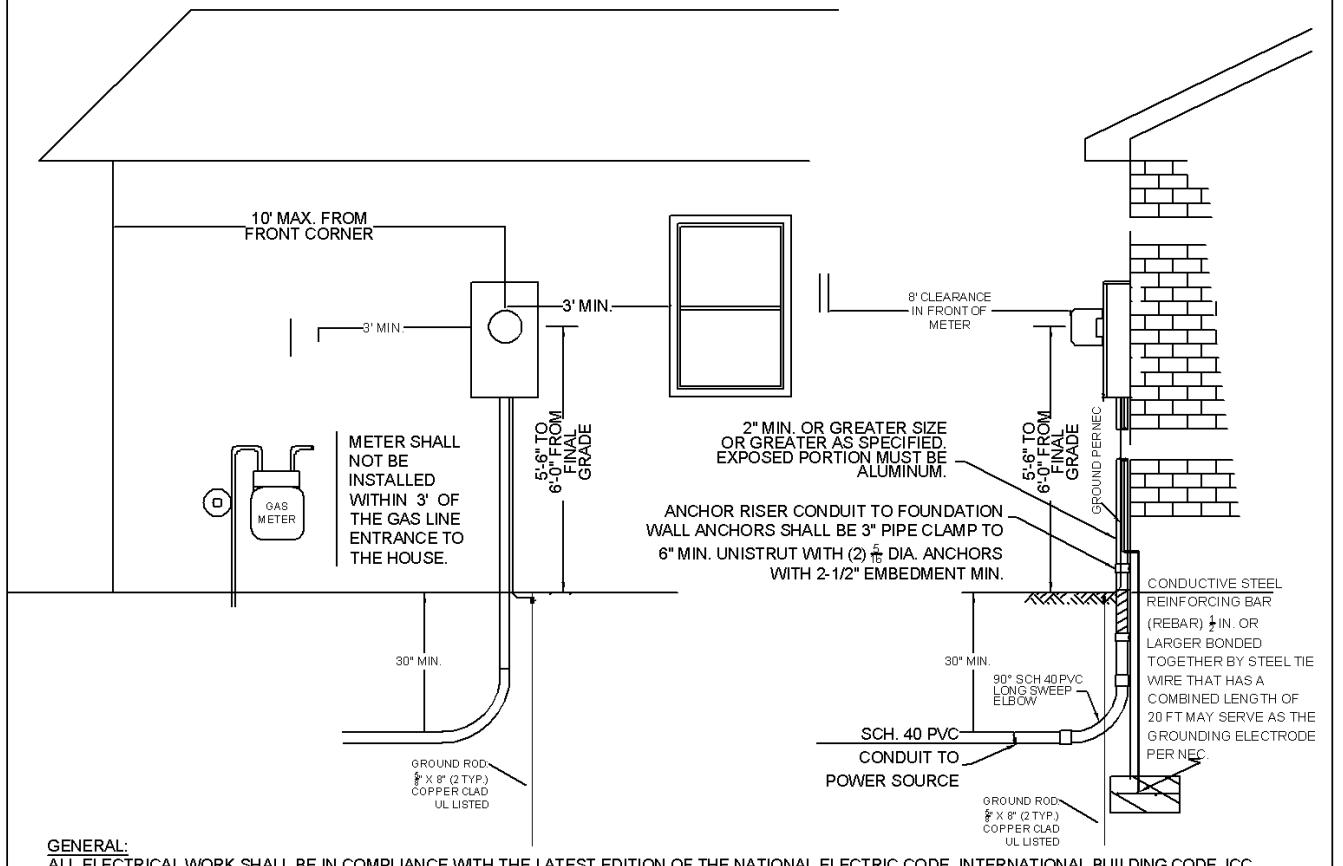
1. ADDRESS SHALL BE POSTED AT BUILDING.
2. CUSTOMER TO SUPPLY AND INSTALL CONDUCTOR FROM THE WEATHERHEAD TO THE METER BASE.
3. HYRUM CITY POWER PROVIDES SERVICE WIRE TO THE WEATHERHEAD FROM THE POWER SOURCE.

REV	REVISION RECORD	ENG BY:	APPD BY:	DATE:

	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TYPICAL OVERHEAD RESIDENTIAL SERVICE		
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.8	REV 1

SECTION 7 General Requirements and Specifications for Electrical Installations

UNDERGROUND RESIDENTIAL SERVICES

**GENERAL:**

ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, INTERNATIONAL BUILDING CODE, ICC ELECTRICAL CODE AND THE NATIONAL ELECTRICAL SAFETY CODE EXCEPT WHERE THESE SPECIFICATIONS ARE MORE STRINGENT. IF THERE IS A CONFLICT BETWEEN STANDARDS THE MOST STRINGENT SHALL RULE. THE CUSTOMER SHALL PROVIDE ALL SECONDARY SERVICE WIRE FROM THE POINT OF CONNECTION TO THE METER BASE ON UNDERGROUND SERVICES. CUSTOMER SHALL PROVIDE CONDUIT IN PLACE. THE CITY'S ELECTRICAL DEPARTMENT WILL PULL THE SECONDARY SERVICE WIRE.

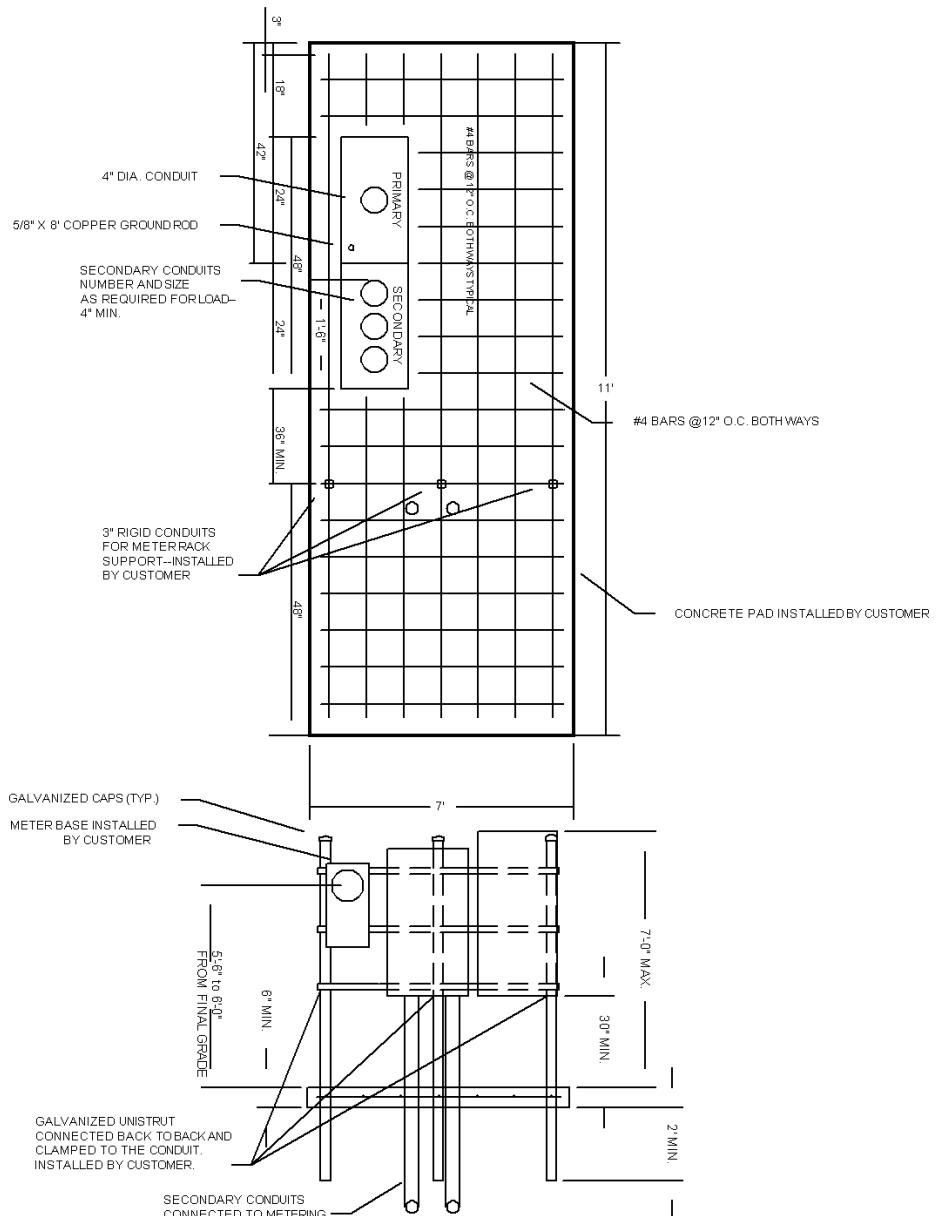
INSTALLATION:

1. ADDRESS SHALL BE POSTED AT BUILDING.
2. CUSTOMER TO FURNISH AND INSTALL CONDUIT FROM TRANSFORMER OR SECONDARY JUNCTION BOX, TO METER BASE.
3. CONTACT HYRUM CITY FOR TRENCH INSPECTION. DO NOT BACKFILL PRIOR TO INSPECTION.
4. SEE TRENCH DETAIL DRAWING FOR SPECIFICATIONS.
5. TRENCH SHALL BE MIN. DEPTH OF 30" TO TOP OF CONDUIT.
6. CUSTOMER TO SUPPLY CONDUCTOR FROM THE POINT OF CONNECTION TO THE METER BASE.
7. METER LOCATION MUST BE APPROVED BY HYRUM CITY POWER.
8. A CT CABINET MUST BE USED ON THREE-PHASE SERVICE ABOVE 200 A.
9. FOR ALL THREE-PHASE UNDERGROUND SERVICE, CONTRACTOR SHALL PROVIDE 4" IMC (MINIMUM) FROM DIP OR RISER TO METER.

REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

 HYRUM CITY <small>CLIMATE SMART</small>	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TYPICAL UNDERGROUND RESIDENTIAL SERVICE		
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 11/16/2023	SHEET 7.9	REV 3

SECTION 7 General Requirements and Specifications for Electrical Installations

THREE PHASE TRANSFORMER PAD
WITH METERING STATION

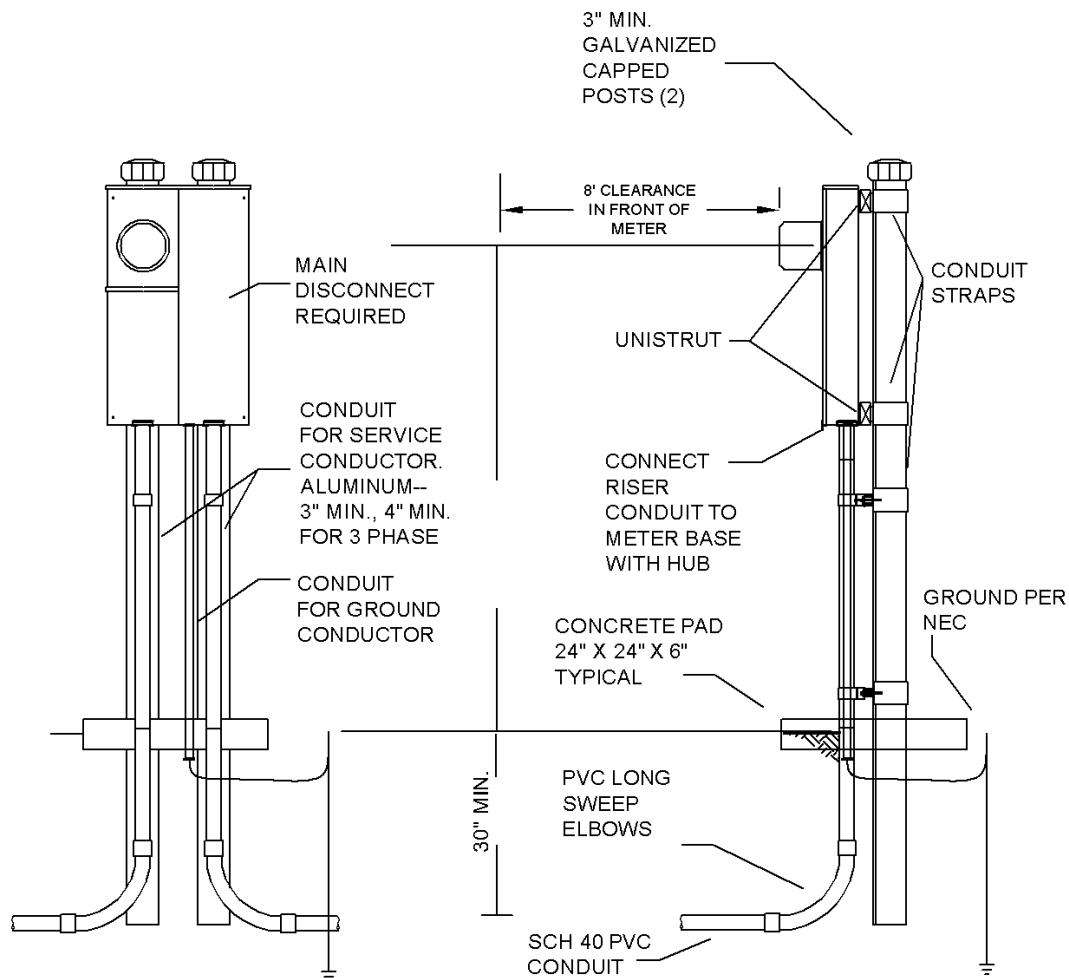
NOTES:

1. SECONDARY CONDUIT NUMBER AND SIZE SHALL BE INSTALLED AS REQUIRED FOR LOAD.
2. CUSTOMER SHALL MAKE SECONDARY/SERVICE WIRE CONNECTIONS IN TRANSFORMER AND METERING STATION.
3. HYRUM CITY POWER WILL PERFORM CT METER WIRING.
4. TRANSFORMER PAD AND METERING STATION SITE SHALL BE LEVEL AND BACKILLED WITH SAND COMPAKTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASHTO T-99.
5. TRANSFORMERS SHALL HAVE 12' CLEARANCE TO THE FRONT AND 3 FEET CLEARANCE TO THE BACK AND EITHER SIDE, THAT IS CLEAR AND LEVEL. TRANSFORMERS SHALL BE AT LEAST 12' FROM COMBUSTIBLE SURFACES OF BUILDINGS.
6. METERS, METERING CABINETS & ENCLOSURES, SERVICE DISCONNECT CABINETS & ENCLOSURES & CT CABINETS SHALL HAVE 8' MINIMUM CLEARANCES IN FRONT.

REV	REVISION RECORD	ENG BY	APPD BY	DATE

 HYRUM CITY <small>AMERICAN RUSTIC</small>	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TYPICAL TRANSFORMER PAD W/ METER STATION	SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020

SECTION 7 General Requirements and Specifications for Electrical Installations



**FREE STANDING METER INSTALLATION
1 OR 3 PHASE**

NOTES:

1. SECONDARY CONDUIT NUMBER AND SIZE SHALL BE INSTALLED AS REQUIRED FOR LOAD.
2. METERS, METERING CABINETS & ENCLOSURES, SERVICE DISCONNECT CABINETS & CT CABINETS SHALL HAVE 8' MINIMUM CLEARANCES IN FRONT.

REV	REVISION RECORD	ENG BY:	APPD BY:	DATE

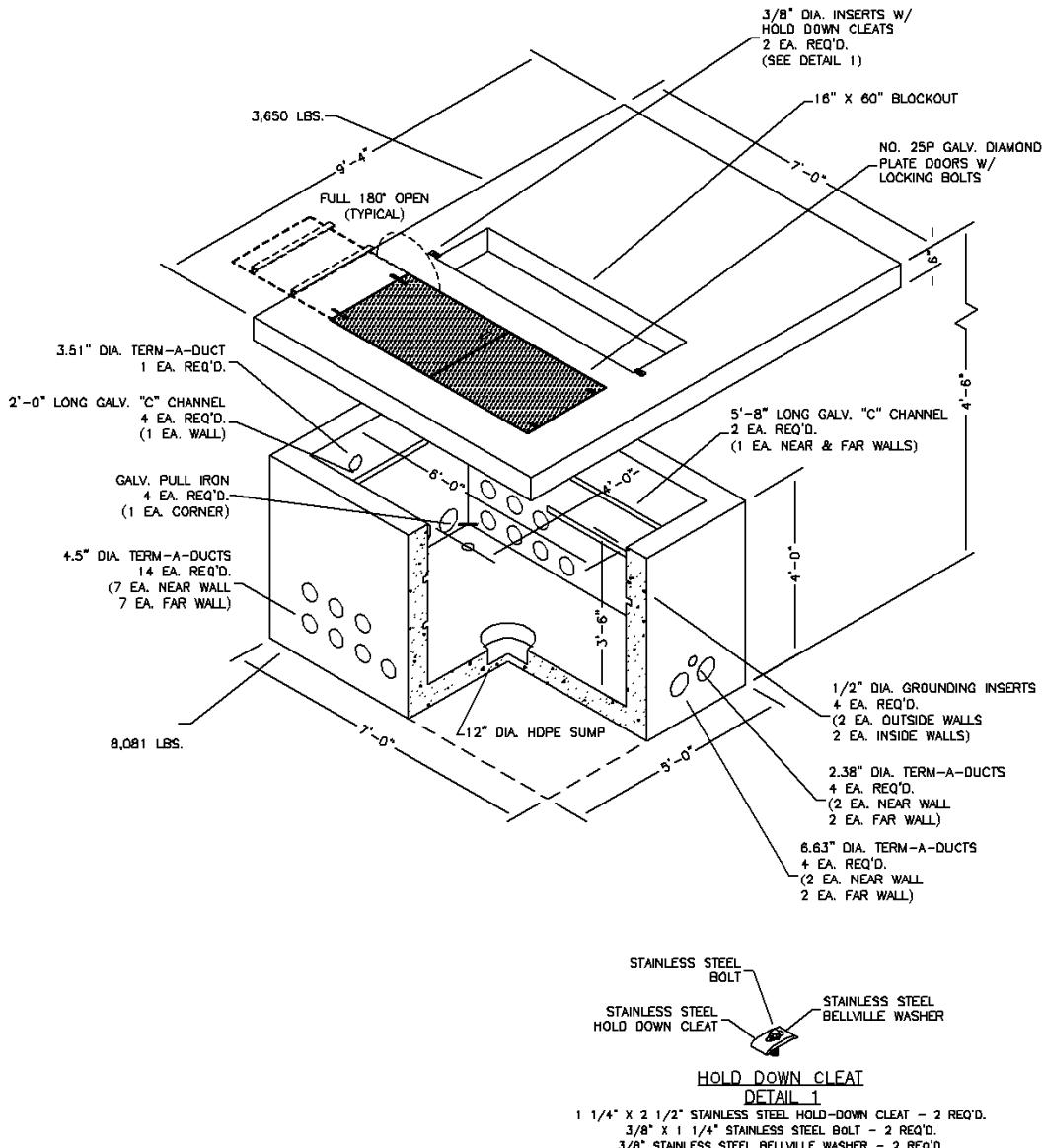
	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	TYPICAL FREE STANDING METER SERVICE		
SCALE: NOT TO SCALE	INITIAL ISSUE DATE: 08/01/2020	SHEET 7.11	REV 1

SECTION 7 General Requirements and Specifications for Electrical Installations

Padvault for Three Phase Transformer

OLDCASTLE PRECAST -- 4' x 6' INTERIOR DIMENSION

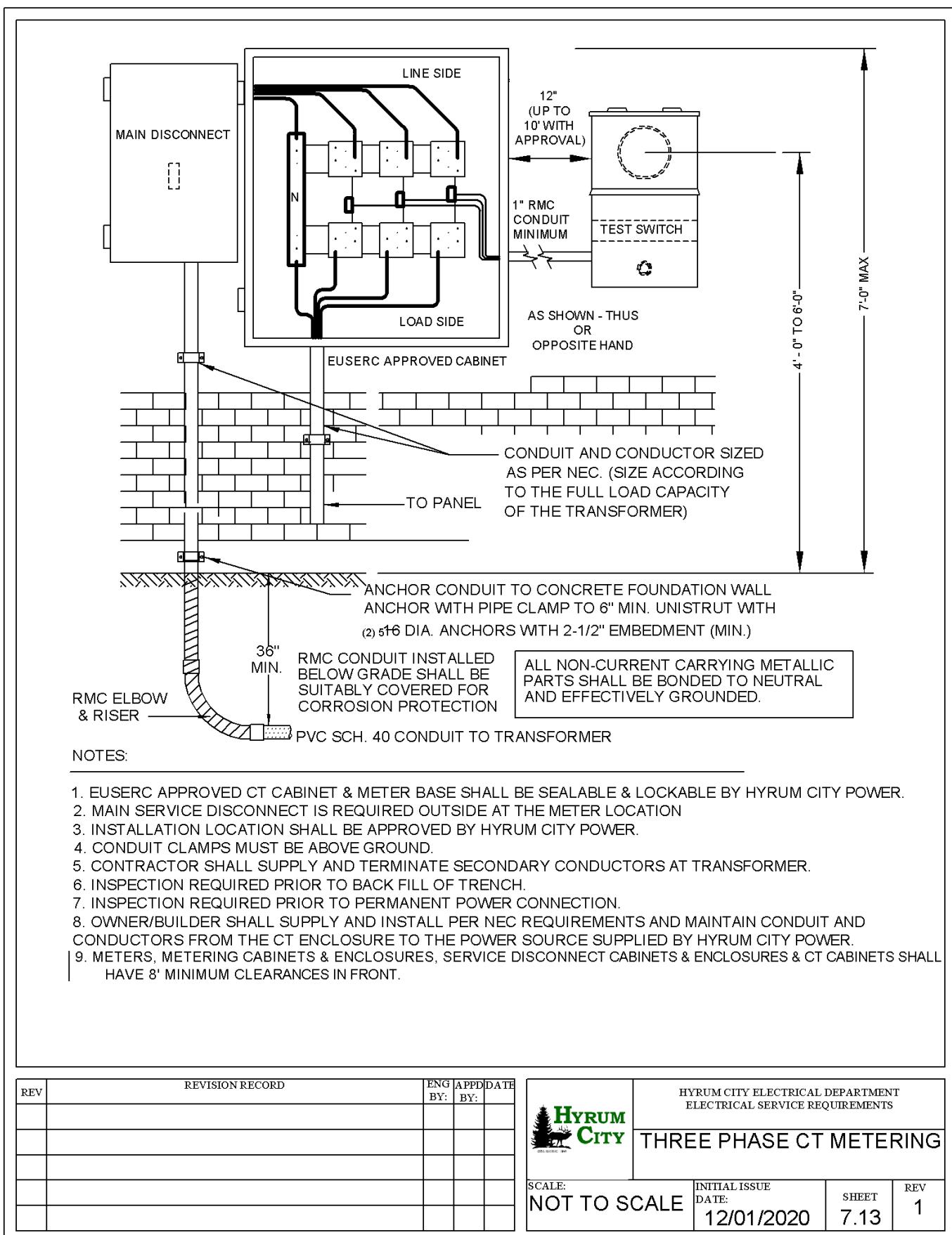
2.4 - 25kV, 3-PHASE TRANSFORMER PADVAULT WITH ACCESS



REV	REVISION RECORD		ENG BY:	APPD BY:	DATE

	HYRUM CITY ELECTRICAL DEPARTMENT ELECTRICAL SERVICE REQUIREMENTS		
	THREE PHASE TRANSFORMER PADVAULT		
SCALE: NOT TO SCALE INITIAL ISSUE DATE: 08/01/2020 SHEET 7.12 REV 1			

SECTION 7 General Requirements and Specifications for Electrical Installations



RESOLUTION 25-11

A RESOLUTION AMENDING SECTION XVI.5. RETIREMENT AND SECTION XVI.6. CELL PHONE REIMBURSEMENT OF THE PERSONNEL POLICIES AND PROCEDURES MANUAL FOR HYRUM CITY CORPORATION TO PROVIDE A MAXIMUM OF 2.5% 401k MATCH FOR ALL BENEFITED EMPLOYEES, AND TO SET A STIPEND FOR CELL PHONE USE.

WHEREAS, on March 19, 1998, the Hyrum City Council adopted a personnel policy manual known as "Personnel Policies and Procedures Manual for Hyrum City Corporation" and on December 5, 2013 readopted the Personnel Policy Manual after major revisions were made; and

WHEREAS, said manual sets forth those policies pertaining to personnel conduct, conditions of employment, employment classification, work week, benefits, payroll, and related matters; and

WHEREAS, in order to enhance the recruitment and retention of new hires and to provide competitive employee benefits, Hyrum City's Mayor recommends providing a maximum of 2.5% (of employee's earned wages) retirement 401(k) match for all benefited employees; and

WHEREAS, to better define the City's cell phone benefit policy and to ensure fair and equitable reimbursement for position-related use, Hyrum City's Mayor recommends amending the current cell phone policy to include a tiered level reimbursement plan; and

WHEREAS, upon recommendation from Hyrum City's Mayor, the City Council has determined there is a need to amend Hyrum City's Personnel Policies and Procedures Manual.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Hyrum, Cache County, Utah, that Sections XVI.5. Retirement and XVI.6. City Cell Phones and Cell Phone Stipend Benefits of the "Personnel Policies and Procedures Manual for Hyrum City Corporation" are hereby amended to read as follows:

1. Section XVI.5. of the Hyrum City Personnel Policies and Procedures Manual is hereby amended as follows:

SECTION XVI BENEFITS.

5. RETIREMENT. SYSTEM

A. Hyrum City is a member of the Utah State Retirement System. Participation in the System is mandatory for all employees

who meet the eligibility requirements established by the Utah State Retirement System as defined in Title 49 of the Utah State Code. For details concerning the State Retirement System, benefits derived under the System, and retirement options, employees should contact the Human Resource Department, consult written literature describing the system, or contact the Utah State Retirement System directly.

- (1) Hyrum City shall contribute to the Utah Retirement System the required employer and employee defined benefit contributions for all employees defined as Tier I by the retirement system.
- (2) Hyrum City shall contribute to the Utah Retirement System the required employer amount for all employees defined as Tier II by the retirement system.
- (3) Employees in the following classifications are excluded from participation in the Utah Retirement system and are not otherwise eligible for benefits paid to Full-Time Appointed, Full-Time, and Part-Time with Benefits Employees:
 - (a) Part-Time Non-Benefited
 - (b) Temporary
 - (c) Seasonal
 - (d) Temporary Agency
 - (e) Volunteers
 - (f) Interns
 - (g) Independent Contractors
- (4) All Full-Time Appointed Officials are eligible for URS benefits.
- (5) All Full-Time and Part-Time with Benefits employees are eligible for URS benefits.
- (6) All other defined contribution plan provisions are governed by the applicable Utah Retirement System defined contribution plan and Title 49 of the Utah State Code.
- (7) The Utah State Retirement and Insurance Benefit Act states that employees of the City can purchase service credits towards their retirement. Hyrum City is permitted to participate in the purchase of these credits. If the City does participate in the

purchase of service credits it will do so in accordance with Utah code 49-13-408, 49-12-409, 49-22-309, 49-23-308 and without regard to race, religion, age, disability, gender, color, national origin, sexual orientation or gender identity.

(8) Employees in the following positions are eligible to request exemption from the Utah State Retirement System under Utah State Law 49-13-203(4). Employee must file an Exemption Form with the Human Resource Director within the first 60 days of employment.

- (a) Mayor - Elected
- (b) City Council Member - Elected
- (c) Judge - Elected
- (d) City Recorder - Appointed
- (e) City Treasurer - Appointed
- (f) Department Heads (Directors and Superintendents)

Exemption from Utah State Retirement System can only be made by the above employees if position meets the qualification for eligibility to participate in the URS. (Res. 19-06)

B. Hyrum City allows for employees to voluntarily enroll in the Utah State Retirement System Roth IRA, Traditional Roth, 401K or 457 plans.

(1) Hyrum City shall provide a matching contribution to Appointed Full-Time, Full-Time, Part-Time with Benefits employee's 401(k) defined contribution plan with the Utah Retirement System as follows:

- (a) The matching contribution by Hyrum City for a given pay period shall be equal to two and one-half percent (2.5%) of the employee's earnings in that pay period or the amount of the eligible contribution made by the employee for that pay period, whichever is less.
- (b) All matching contributions shall be based on an employee's earned wages but shall not include any other payments, or reimbursements.
- (c) An employee drawing a pension from the Utah Retirement System is not eligible for a City contribution.

C. Hyrum City may also make other retirement related contributions as permitted and/or required by State or Federal law. (Res. 19-06)

5. RETIREMENT SYSTEM. Additional details are available from the Mayor, or his/her designee.

A. All full time Hyrum City employees are covered by the Utah State Retirement Systems, unless otherwise authorized by the City Council according to State Law. A permanent part time with benefits employee employed in a position requiring at least twenty nine (29) hours of service per week is also covered.

B. The cost of this program is paid for by Hyrum City and the employee in the percentages set by action of the City Council.

C. Employees in the following positions are eligible to request exemption from the Utah State Retirement System under Utah State Law 49-13-203(4). Employee must file an Exemption Form with the Personnel Director within the first 60 days of employment. (1) Mayor - Elected (2) City Council Member - Elected (3) Judge - Elected Exemption from Utah State Retirement System can only be made by the above employees if position meets the qualification for eligibility to participate in the URS. (Res. 19-06)

2. Section XVI.6. of the Hyrum City Personnel Policies and Procedures Manual is hereby amended as follows:

SECTION XVI BENEFITS.

6. CITY CELL PHONES AND CELL PHONE STIPEND CELL PHONE REIMBURSEMENT. Hyrum City recognizes that allowing and requiring certain personnel to use a cell phone is helpful to efficiently conduct City business.

A. City Cell Phones: Cell phones and plans may be provided to designated employees for business-related purposes and must not be used for personal use. The Mayor or City Administrator approves positions for this purpose.

(1) Employees who have a City Cell phone are responsible for any and all damage to city cell phone unless Mayor or City Administrator authorizes repair or replacement.

B. Cell Phone Stipend: Employees may receive compensation in the form of a cell phone stipend to cover costs for using a personal cell phone for city business.

C. Stipend Amount: The monthly cell phone stipend amount shall be allocated to individual employees based upon estimated time usage:

Level 1 \$25.00 - Business use represents 20% or less of the total cell phone use, including responding to phone calls and text messages as required during working hours, and access to internet data. This includes part time employees in animal control, community improvement, and other positions as approved by the Mayor or City Administrator.

Level 2 \$35 - Business represents 50% or less but more than 20% of total cell phone use, to include responding to phone calls, text messages, photos, emails during working hours and on-call hours, and be able to access internet data. This level is reserved for part-time employees who are directors, and all full time employees that are not listed in Level 3.

Level 3 \$85.00 - Business use represents greater than 50% of the total cell phone use and/or employees must have a cell phone for their position and must respond to email, text messages, phone calls during and after regular work hours, and be able to access internet data quickly. This level is reserved for full time employees who are superintendents, directors, elected, and appointed officials.

D. Stipend Payment: The approved cell phone stipend will be paid monthly as part of the employee's paycheck and subject to all applicable payroll taxes. This stipend does not constitute an increase to base pay and will not be included in the calculation of percentage increases to base pay due to salary increases or promotions.

E. Employee Responsibilities: Employees must retain an active cell phone contract as long as a stipend is in place. Their current phone number must be provided to their department and Human Resources. Should the cell phone number change, the employee must notify their department head and Human Resources within a reasonable amount of time. The employee is required to keep the phone charged and available for use during business hours and after hours for employees who are On-Call (this policy doesn't supersede On-Call requirements) if receiving the Level 1 or 2 stipends. Employees receiving the Level 3 stipend must keep the phone charged and available for use at all times and respond in a reasonable time frame if receiving the Level 3 stipend. Because the employee owns the cell phone personally, and the stipend provided is

taxable income, the employee may use the phone for both business and personal purposes. Personal use during business hours should be minimal and follow all applicable City policies. Any cell phone use contrary to federal, state, or local laws will constitute misuse and may result in immediate termination of the cell phone stipend.

A. When the job duties of an employee require the frequent use of a cell phone to conduct City business, the City Administrator may approve a city cell phone or authorize a monthly allowance for that employee to use his/her personal cell phone.

(1) Approved employees have a choice of a city cell phone (for city business only) or receive a monthly allowance for city business only to help defray costs related to their work as a City employee which are incurred under the employee's personal cell phone plan. Use of a city cell phone is restricted to city business only and will be monitored by the City Administrator.

(a) Any costs incurred in excess of the monthly allowance are the sole responsibility of the employee. Hyrum City will not give out personal cell phone numbers to the public but it will be listed on the personnel list.

(2) Employees who receive a city cell phone are responsible for:

(a) Maintenance of the equipment. Employees are responsible for any and all damage to city cell phone unless City Administrator authorizes repair or replacement.

(b) Ensuring that the phone is fully charged and operable during business hours, including bringing the phone with them each day they are at work.

(c) Keeping the phone calls and/or text messages at a minimal.

(d) All costs associated with personal phone calls and/or text messages.

(e) Employee is required to return the City cell phone upon separation of employment with Hyrum City.

(3) Employees who receive a cell phone allowance are responsible for:

(a) Purchase and maintenance of the equipment. Employees are responsible for any and all damage to cell phone unless City Administrator authorizes repair or replacement. (b)

Ensuring that the phone is fully charged and operable during business hours, including bringing the phone with them each day they are at work.

(c) Payment of bills and charges, including cost for any cosmetic or other extras associated with the phone and all voice, text, data and all other charges.

- ~~(d) Notifying the City immediately if the phone is out of service.~~
- ~~(e) Upon request of the city, and after a documentable incident, providing recent billing statements reflecting all calls conducted during work hours.~~

~~B. Use of the cell phone in any manner contrary to local, state or federal laws constitutes misuse and will result in immediate termination of the city cell phone or cell phone allowance and, depending on the severity of the offense, may result in disciplinary action.~~

This Resolution shall take effect July 1, 2025.

ADOPTED AND PASSED BY the City Council of Hyrum, Utah, this 1st day of May, 2025.

HYRUM CITY CORP.

Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

RESOLUTION 25-12

A RESOLUTION DECLARING CERTAIN HYRUM CITY EQUIPMENT AS SURPLUS AND ORDERING THE SALE OR DISPOSAL THEREOF.

WHEREAS, Hyrum City Corp. owns personal property for which it has no further use; and

WHEREAS, in accordance with State regulations, the City Council has determined to declare the 1999 Ford F-550 Bucket Truck VIN #1FDAF57S6XEC75856 as surplus and desires to dispose of it in the method as prescribed by current law; and

NOW THEREFORE, BE IT RESOLVED by the City Council of Hyrum City, Cache County, State of Utah, that the 1999 Ford F-550 Bucket Truck is hereby declared surplus property and that said property shall be listed and sold on KSL classifieds and/or Facebook Marketplace; however, the City shall have the right to accept or reject any or all offers, to establish minimum offer amounts, and to waive any informalities.

PASSED by the City Council of Hyrum City, Cache County, Utah, this 1st day of May, 2025.

HYRUM CITY CORP.

By: _____
Stephanie Miller
Mayor

ATTEST:

Stephanie Fricke
City Recorder

HYRUM CITY CORPORATION
 COMBINED CASH INVESTMENT
 MARCH 31, 2025

COMBINED CASH ACCOUNTS

01-1111000	GENERAL CHECKING ACCT	869,071.58
01-1112000	XPRESS DEPOSIT ACCOUNT	113,489.60
01-1113000	PAYROLL CHECKING ACCOUNT	250,755.63
01-1151000	UNDESIGNATED CASH - PTIF	621,355.15
01-1151100	BANK OF UTAH	2,979,513.47
01-1151500	CACHE VALLEY BANK SAVINGS	15,092,671.03
01-1151710	PTIF SWR DEBT SERVICE #4099	200,669.12
01-1151720	PTIF-SWR O&M RESERVE #4100	242,749.91
01-1175000	UTILITY CASH CLEARING	1,747.76

	TOTAL COMBINED CASH	20,372,023.25
01-1801110	DESIGNATED CASH - SENIOR	(17,975.65)
01-1801120	DESIGNATED CASH - MUSEUM	(5,678.97)
01-1801130	DESIGNATED CASH - FIRST RESP.	(6,050.41)
01-1801140	DESIGNATED CASH - FIRE DEPT	(244,126.60)
01-1801240	REST CASH-SEWER DEBT SERVICE	(172,981.20)
01-1801250	REST CASH-SEWER O&M RESERVE	(233,944.65)
01-1010000	CASH ALLOCATED TO OTHER FUNDS	(19,691,265.77)

TOTAL UNALLOCATED CASH	.00
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CASH ALLOCATION RECONCILIATION

10	ALLOCATION TO GENERAL FUND	2,490,913.85
45	ALLOCATION TO CAPITAL PROJECTS FUND	200,643.70
51	ALLOCATION TO WATER UTILITY FUND	2,683,583.89
52	ALLOCATION TO SEWER UTILITY FUND	5,630,332.81
53	ALLOCATION TO ELECTRIC UTILITY FUND	6,309,409.00
54	ALLOCATION TO IRRIGATION UTILITY FUND	1,111,049.79
55	ALLOCATION TO STORMWATER FUND	1,308,618.69
72	ALLOCATION TO COURT TRUST FUND	(43,285.96)

TOTAL ALLOCATIONS TO OTHER FUNDS	19,691,265.77
ALLOCATION FROM COMBINED CASH FUND - 01-1010000	(19,691,265.77)

ZERO PROOF IF ALLOCATIONS BALANCE	.00
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HYRUM CITY CORPORATION
 BALANCE SHEET
 MARCH 31, 2025

GENERAL FUND

ASSETS

10-1010000	CASH IN COMBINED FUND	2,490,913.85
10-1131000	PETTY CASH	400.00
10-1311000	ACCTS REC - UTILITIES	125,233.68
10-1311001	ACCTS REC - PRIOR PERIOD	67,993.01
10-1311400	ACCTS REC - PROPERTY TAXES	(12,196.00)
10-1311410	LEVIED PROP TAXES RECEIVABLE	1,000,000.00
10-1311500	ACCTS REC - CLASS C ROADS	42,481.00
10-1311997	SALES AND USE TAX RECEIVABLE	508,821.00
10-1311998	MASS TRANSIT RECEIVABLE	66,214.00
10-1311999	FRANCHISE TAXES AR	47,510.00
10-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(874.49)
10-1561101	PPD EXPENSE - STAMPS	1,095.10
10-1801110	DESIGNATED CASH - SENIOR	17,975.65
10-1801120	DESIGNATED CASH - MUSEUM	5,678.97
10-1801130	DESIGNATED CASH - FIRST RESP.	6,050.41
10-1801140	DESIGNATED CASH - FIRE DEPT	244,126.60

TOTAL ASSETS

4,611,422.78

LIABILITIES AND EQUITYLIABILITIES

10-2131000	ACCTS PAY - GENERAL	71,392.39
10-2131110	ACCTS PAY - CONTRACTOR DEP	647,309.72
10-2131130	ACCTS PAY - PARK DEPOSITS	1,395.00
10-2131140	ACCTS PAY - DISPATCH	(752.75)
10-2131150	ACCTS PAY - OTHER	8,975.15
10-2131160	ZONING/SUBDIVISION DEPOSITS	245,386.27
10-2210000	STATE WITHHOLDING PAYABLE	8,280.45
10-2211000	ACCRUED PAYROLL PAYABLE	53,400.00
10-2220000	INSURANCE - CITY PORTION	.67
10-2220200	ULGT INSURANCE - CITY PORTION	.90
10-2222000	DISABILITY INSURANCE PAYABLE	.23
10-2223000	CREDIT UNION PAYABLE	(44.66)
10-2224000	WORKER'S COMPENSATION PAYABLE	(14,676.34)
10-2226000	INSURANCE - EMPLOYEE PORTION	.10
10-2227000	TRUST INSURANCE-EMPLOYEE	.15
10-2231000	STATE RETIREMENT PAYABLE	44.66
10-2240000	UNEARNED PROPERTY TAXES	1,000,000.00
10-2411050	STATE ASSESSMENT PAYABLE	(550.10)
10-2411105	NON-UTILITY SALES TAX	(169.67)

TOTAL LIABILITIES

2,019,992.17

FUND EQUITY

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

GENERAL FUND

UNAPPROPRIATED FUND BALANCE:

10-2951000	GEN FUND - PRIOR YR UNAPPROP	2,056,595.69
10-2951060	GENERAL FUND - DESIGNATED	273,831.63
	REVENUE OVER EXPENDITURES - YTD	261,003.29

BALANCE - CURRENT DATE	2,591,430.61
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TOTAL FUND EQUITY	2,591,430.61
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TOTAL LIABILITIES AND EQUITY	4,611,422.78
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HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
TAXES					
10-3110 GEN PROPERTY TAXES - CURRENT	3,678.88	796,674.12	1,000,000.00	203,325.88	79.7
10-3115 FEE IN LIEU	4,813.15	37,039.78	50,000.00	12,960.22	74.1
10-3120 GEN PROP TAXES - DELINQUENT	.93	4,327.06	15,000.00	10,672.94	28.9
10-3130 GENERAL SALES TAX	167,551.85	1,741,170.26	2,300,000.00	558,829.74	75.7
10-3140 FRANCHISE TAXES	614.96	24,083.27	55,000.00	30,916.73	43.8
10-3145 ENERGY SALES AND USE TAX	14,776.46	187,528.18	400,000.00	212,471.82	46.9
10-3150 MASS TRANSIT TAX	.00	165,174.02	350,000.00	184,825.98	47.2
10-3155 TRANSIENT ROOM TAX	300.39	757.76	.00	(757.76)	.0
TOTAL TAXES	191,736.62	2,956,754.45	4,170,000.00	1,213,245.55	70.9
LICENSES AND PERMITS					
10-3210 BUSINESS LICENSES	680.00	26,691.25	23,000.00	(3,691.25)	116.1
10-3221 BUILDING PERMITS	2,092.72	36,032.68	50,000.00	13,967.32	72.1
10-3225 ANIMAL LICENSES	680.00	9,737.00	11,000.00	1,263.00	88.5
TOTAL LICENSES AND PERMITS	3,452.72	72,460.93	84,000.00	11,539.07	86.3
INTERGOVERNMENTAL REVENUES					
10-3340 STATE - FEDERAL GRANTS	.00	84,535.00	750,000.00	665,465.00	11.3
10-3356 CLASS C ROAD ALLOTMENT	101,686.31	752,739.88	1,200,000.00	447,260.12	62.7
TOTAL INTERGOVERNMENTAL REVENUES	101,686.31	837,274.88	1,950,000.00	1,112,725.12	42.9
CHARGES FOR SERVICES					
10-3413 ZONING & SUBDIVISION FEES	1,030.00	54,713.87	50,000.00	(4,713.87)	109.4
10-3415 SALE OF MAPS & PUBLICATIONS	18.76	75.04	1,000.00	924.96	7.5
10-3422 SPECIAL PROTECTIVE SERVICES	103,387.50	125,189.32	165,000.00	39,810.68	75.9
10-3440 SOLID WASTE COLLECTION	95,902.55	840,227.70	1,100,000.00	259,772.30	76.4
10-3441 EMERGENCY MEDICAL SERVICES	17,333.86	154,718.22	210,000.00	55,281.78	73.7
10-3455 ANIMAL CONTROL FEES	.00	3.00	1,000.00	997.00	.3
10-3473 RECREATION REVENUES	4,865.50	11,946.00	20,000.00	8,054.00	59.7
10-3474 COMMUNITY PROGRESS REVENUES	.00	.00	2,000.00	2,000.00	.0
10-3475 YOUTH COUNCIL ACTIVITIES	1,000.00	3,474.35	3,000.00	(474.35)	115.8
10-3476 LIBRARY USE FEES	615.00	5,043.00	70,000.00	64,957.00	7.2
10-3477 ROAD IMPACT FEES	14,022.00	40,508.00	46,800.00	6,292.00	86.6
10-3479 PARK IMPACT FEES	26,604.00	119,718.00	177,400.00	57,682.00	67.5
10-3480 CEMETERY	5,200.00	76,490.00	80,000.00	3,510.00	95.6
10-3490 MISCELLANEOUS	97.48	167,316.69	100,000.00	(67,316.69)	167.3
TOTAL CHARGES FOR SERVICES	270,076.65	1,599,423.19	2,026,200.00	426,776.81	78.9

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
FINES AND FORFEITURES					
10-3510 COURT FINES	10,115.04	80,721.28	100,000.00	19,278.72	80.7
10-3512 LIBRARY FINES	435.87	4,186.80	6,500.00	2,313.20	64.4
10-3513 PARKING TICKETS	95.00	715.00	950.00	235.00	75.3
TOTAL FINES AND FORFEITURES	10,645.91	85,623.08	107,450.00	21,826.92	79.7
MISCELLANEOUS REVENUES					
10-3610 INTEREST EARNINGS	8,424.20	65,828.51	148,800.00	82,971.49	44.2
10-3620 BUILDING & FACILITY RENTS	4,315.00	66,004.50	60,000.00	(6,004.50)	110.0
10-3622 LIBRARY ROOM RENTAL FEES	.00	130.00	100.00	(30.00)	130.0
10-3640 SALE OF FIXED ASSETS	14,500.00	46,500.00	35,000.00	(11,500.00)	132.9
10-3650 SALE OF MATERIAL & SUPPLIES	947.00	2,005.01	10,000.00	7,994.99	20.1
10-3651 SALE OF LIBRARY MAT'L & BOOKS	260.95	1,683.70	1,000.00	(683.70)	168.4
10-3652 LIBRARY COPY & LAMINATING FEES	190.25	1,738.75	2,000.00	261.25	86.9
TOTAL MISCELLANEOUS REVENUES	28,637.40	183,890.47	256,900.00	73,009.53	71.6
CONTRIBUTIONS AND TRANSFERS					
10-3870 CONTRIBUTIONS - PRIVATE	1,023.00	5,850.10	10,000.00	4,149.90	58.5
10-3871 CONTRIBUTIONS - SR. CIT. TRIPS	431.00	1,210.00	5,000.00	3,790.00	24.2
10-3872 CONTRIBUTIONS - NEW LIBRARY	.00	.00	2,000.00	2,000.00	.0
10-3874 DONATIONS - ELITE HALL	.00	.00	10,000.00	10,000.00	.0
10-3875 CONTRIBUTIONS - MUSEUM	2,700.00	35,363.00	10,000.00	(25,363.00)	353.6
10-3876 CONTRIBUTIONS - MISC.	5,852.00	7,753.27	7,000.00	(753.27)	110.8
10-3891 CONTRIBUTIONS - DESIGNATED GF	.00	.00	42,000.00	42,000.00	.0
10-3893 TRANS FM/TO GEN FUND UNAPPROV	.00	.00	1,097,820.00	1,097,820.00	.0
TOTAL CONTRIBUTIONS AND TRANSFERS	10,006.00	50,176.37	1,183,820.00	1,133,643.63	4.2
TOTAL FUND REVENUE	616,241.61	5,785,603.37	9,778,370.00	3,992,766.63	59.2

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
CITY COUNCIL						
10-4110-110	SALARY & WAGES	2,500.00	22,500.00	33,000.00	10,500.00	68.2
10-4110-130	EMPLOYEE BENEFITS	191.25	1,721.25	3,100.00	1,378.75	55.5
10-4110-230	TRAVEL & MEETINGS	.00	3,871.82	10,000.00	6,128.18	38.7
10-4110-510	INSURANCE	.00	532.16	550.00	17.84	96.8
10-4110-610	MISCELLANEOUS	.00	179.55	600.00	420.45	29.9
TOTAL CITY COUNCIL		2,691.25	28,804.78	47,250.00	18,445.22	61.0
J. P. COURT						
10-4120-110	SALARY & WAGES	5,050.84	40,090.85	85,500.00	45,409.15	46.9
10-4120-115	OVERTIME	.00	.00	100.00	100.00	.0
10-4120-130	EMPLOYEE BENEFITS	777.09	6,587.92	12,000.00	5,412.08	54.9
10-4120-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	1,147.71	700.00	(447.71)	164.0
10-4120-230	TRAVEL & TRAINING	.00	985.56	4,000.00	3,014.44	24.6
10-4120-240	OFFICE SUPPLIES & EXPENSE	220.71	614.71	1,500.00	885.29	41.0
10-4120-250	EQUIP SUPPLIES & MAINTENANCE	.00	522.56	2,400.00	1,877.44	21.8
10-4120-280	TELEPHONE	20.02	160.16	1,000.00	839.84	16.0
10-4120-310	ATTORNEY FEES	1,075.00	1,075.00	.00	(1,075.00)	.0
10-4120-510	INSURANCE	.00	1,063.44	1,050.00	(13.44)	101.3
10-4120-620	WITNESS, JURY & BALIFF FEES	1,467.50	8,721.50	14,000.00	5,278.50	62.3
TOTAL J. P. COURT		8,611.16	60,969.41	122,250.00	61,280.59	49.9
MAYOR						
10-4130-110	SALARY & WAGES	448.75	4,082.06	18,400.00	14,317.94	22.2
10-4130-130	EMPLOYEE BENEFITS	45.92	428.18	5,600.00	5,171.82	7.7
10-4130-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	350.00	500.00	150.00	70.0
10-4130-230	TRAVEL & MEETINGS	785.66	1,880.94	4,500.00	2,619.06	41.8
10-4130-240	OFFICE SUPPLIES & EXPENSE	.00	67.91	100.00	32.09	67.9
10-4130-280	TELEPHONE	2.50	22.50	50.00	27.50	45.0
10-4130-510	INSURANCE	.00	279.97	300.00	20.03	93.3
10-4130-610	MISCELLANEOUS	.00	54.76	600.00	545.24	9.1
TOTAL MAYOR		1,282.83	7,166.32	30,050.00	22,883.68	23.9

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
ADMINISTRATION						
10-4140-110	SALARY & WAGES	4,935.70	52,880.51	90,400.00	37,519.49	58.5
10-4140-115	OVERTIME	456.35	5,271.69	3,000.00	(2,271.69)	175.7
10-4140-130	EMPLOYEE BENEFITS	1,658.92	17,288.13	17,700.00	411.87	97.7
10-4140-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	555.00	1,000.00	445.00	55.5
10-4140-220	PUBLIC NOTICES	.00	551.25	1,000.00	448.75	55.1
10-4140-230	TRAVEL & TRAINING	318.90	3,079.57	2,500.00	(579.57)	123.2
10-4140-240	OFFICE SUPPLIES & EXPENSE	440.94	6,102.49	6,500.00	397.51	93.9
10-4140-250	EQUIP SUPPLIES & MAINTENANCE	358.35	3,606.75	6,500.00	2,893.25	55.5
10-4140-280	TELEPHONE	318.57	1,947.82	2,000.00	52.18	97.4
10-4140-285	INTERNET SERVICE	.00	.00	1,000.00	1,000.00	.0
10-4140-310	PROFESSIONAL SERVICES	3,668.32	41,575.74	60,000.00	18,424.26	69.3
10-4140-510	INSURANCE & BONDS	.00	2,363.39	2,350.00	(13.39)	100.6
10-4140-610	MISCELLANEOUS	634.38	1,432.57	500.00	(932.57)	286.5
TOTAL ADMINISTRATION		12,790.43	136,654.91	194,450.00	57,795.09	70.3
NON DEPARTMENTAL						
10-4150-210	MEMBERSHIPS	.00	6,239.99	6,000.00	(239.99)	104.0
10-4150-220	PUBLIC NOTICES	4,240.08	5,183.09	7,000.00	1,816.91	74.0
10-4150-310	PROFESSIONAL SERVICES	(3,604.25)	1,000.00	5,000.00	4,000.00	20.0
10-4150-510	INSURANCE & BONDS	.00	.00	200.00	200.00	.0
TOTAL NON DEPARTMENTAL		635.83	12,423.08	18,200.00	5,776.92	68.3
GENERAL GOVERNMENT BUILDINGS						
10-4160-110	SALARY & WAGES	891.80	9,428.56	35,200.00	25,771.44	26.8
10-4160-130	EMPLOYEE BENEFITS	68.21	1,227.68	17,700.00	16,472.32	6.9
10-4160-250	EQUIP SUPPLIES & MAINTENANCE	.00	82.24	2,000.00	1,917.76	4.1
10-4160-260	BLDG & GROUNDS SUP & MAINT	1,213.54	20,182.30	35,000.00	14,817.70	57.7
10-4160-270	UTILITIES	1,110.15	6,101.53	13,000.00	6,898.47	46.9
10-4160-310	CONTRACT SERVICES	295.80	2,238.93	6,000.00	3,761.07	37.3
10-4160-510	INSURANCE	.00	10,470.20	10,250.00	(220.20)	102.2
10-4160-610	MISCELLANEOUS	104.77	104.77	1,000.00	895.23	10.5
10-4160-620	MISCELLANEOUS SERVICES	480.00	2,780.00	1,500.00	(1,280.00)	185.3
10-4160-720	BUILDING IMPROVEMENTS	.00	84,728.81	294,000.00	209,271.19	28.8
TOTAL GENERAL GOVERNMENT BUILDINGS		4,164.27	137,345.02	415,650.00	278,304.98	33.0
ELECTION						
10-4170-220	PUBLIC NOTICES	.00	.00	500.00	500.00	.0
TOTAL ELECTION		.00	.00	500.00	500.00	.0

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
PLANNING COMMISSION						
10-4180-110	SALARY & WAGES	8,919.44	42,912.78	148,100.00	105,187.22	29.0
10-4180-115	OVERTIME	1,029.00	2,301.08	200.00	(2,101.08)	1150.5
10-4180-130	EMPLOYEE BENEFITS	4,382.57	15,697.42	70,100.00	54,402.58	22.4
10-4180-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	845.08	.00	(845.08)	.0
10-4180-220	PUBLIC NOTICES	.00	479.19	1,000.00	520.81	47.9
10-4180-230	TRAVEL & TRAINING	.00	1,225.96	2,500.00	1,274.04	49.0
10-4180-240	OFFICE SUPPLIES & EXPENSE	337.01	387.59	200.00	(187.59)	193.8
10-4180-250	EQUIPMENT SUPPLIES & MAINTENAN	199.50	4,336.95	1,800.00	(2,536.95)	240.9
10-4180-280	TELEPHONE	64.11	432.01	800.00	367.99	54.0
10-4180-310	PROFESSIONAL SERVICES	850.00	9,234.00	190,000.00	180,766.00	4.9
10-4180-510	INSURANCE	.00	878.66	900.00	21.34	97.6
10-4180-610	MISCELLANEOUS	.00	8.99	.00	(8.99)	.0
10-4180-740	EQUIPMENT	.00	7,862.00	.00	(7,862.00)	.0
TOTAL PLANNING COMMISSION		15,781.63	86,601.71	415,600.00	328,998.29	20.8
LAW ENFORCEMENT						
10-4210-310	CONTRACT SERVICES	.00	147,627.00	295,500.00	147,873.00	50.0
TOTAL LAW ENFORCEMENT		.00	147,627.00	295,500.00	147,873.00	50.0
EMERGENCY MANAGEMENT SERVICES						
10-4212-110	SALARY & WAGES	.00	.00	5,900.00	5,900.00	.0
10-4212-130	EMPLOYEE BENEFITS	.00	.00	1,000.00	1,000.00	.0
10-4212-220	PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4212-230	TRAVEL & TRAINING	185.00	255.25	1,000.00	744.75	25.5
10-4212-240	OFFICE SUPPLIES & EXPENSE	.00	.00	200.00	200.00	.0
10-4212-250	EQUIP SUPPLIES & MAINTENANCE	.00	3,046.46	2,000.00	(1,046.46)	152.3
10-4212-310	PROFESSIONAL SERVICES	.00	177,802.09	190,000.00	12,197.91	93.6
10-4212-510	INSURANCE	.00	176.91	200.00	23.09	88.5
10-4212-610	MISCELLANEOUS	100.00	100.00	200.00	100.00	50.0
10-4212-740	EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
TOTAL EMERGENCY MANAGEMENT SERVICE		285.00	181,380.71	205,600.00	24,219.29	88.2

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
FIRST RESPONDERS						
10-4215-110	SALARY & WAGES	4,664.80	22,532.80	25,000.00	2,467.20	90.1
10-4215-130	EMPLOYEE BENEFITS	.00	1,367.47	2,700.00	1,332.53	50.7
10-4215-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	.00	200.00	200.00	.0
10-4215-230	TRAVEL & TRAINING	.00	7,273.29	10,800.00	3,526.71	67.4
10-4215-240	OFFICE SUPPLIES & EXPENSE	.00	.00	150.00	150.00	.0
10-4215-250	EQUIP SUPPLIES & MAINTENANCE	339.63	4,527.99	6,000.00	1,472.01	75.5
10-4215-280	TELEPHONE	.00	.00	1,200.00	1,200.00	.0
10-4215-310	PROFESSIONAL SERVICES	199.00	199.00	300.00	101.00	66.3
10-4215-510	INSURANCE	.00	4,700.82	4,600.00	(100.82)	102.2
10-4215-610	MISCELLANEOUS	.00	117.02	400.00	282.98	29.3
10-4215-740	EQUIPMENT	.00	.00	5,000.00	5,000.00	.0
TOTAL FIRST RESPONDERS		5,203.43	40,718.39	56,350.00	15,631.61	72.3
FIRE DEPARTMENT						
10-4220-110	SALARY & WAGES	(4,664.80)	65,200.00	60,200.00	(5,000.00)	108.3
10-4220-130	EMPLOYEE BENEFITS	.00	5,344.65	3,600.00	(1,744.65)	148.5
10-4220-210	BOOKS, SUBSCRIP & MEMBERSHIPS	100.00	1,398.50	1,000.00	(398.50)	139.9
10-4220-230	TRAVEL & TRAINING	500.74	11,135.08	15,000.00	3,864.92	74.2
10-4220-240	OFFICE SUPPLIES & EXPENSE	.00	117.71	500.00	382.29	23.5
10-4220-250	EQUIP SUPPLIES & MAINTENANCE	(2,161.63)	38,609.21	25,000.00	(13,609.21)	154.4
10-4220-260	BLDG & GROUNDS SUPPLIES & MAIN	150.00	1,307.15	2,500.00	1,192.85	52.3
10-4220-270	UTILITIES	252.96	1,578.45	9,000.00	7,421.55	17.5
10-4220-280	TELEPHONE	60.06	480.48	2,500.00	2,019.52	19.2
10-4220-285	INTERNET SERVICE	.00	.00	1,600.00	1,600.00	.0
10-4220-310	PROFESSIONAL SERVICES	.00	121,631.75	129,000.00	7,368.25	94.3
10-4220-510	INSURANCE	.00	22,427.17	22,000.00	(427.17)	101.9
10-4220-610	MISCELLANEOUS	.00	199.92	1,500.00	1,300.08	13.3
10-4220-740	EQUIPMENT	.00	10,714.56	10,000.00	(714.56)	107.2
TOTAL FIRE DEPARTMENT		(5,762.67)	280,144.63	283,400.00	3,255.37	98.9
ANIMAL CONTROL						
10-4253-110	SALARY & WAGES	1,398.96	13,229.56	38,900.00	25,670.44	34.0
10-4253-130	EMPLOYEE BENEFITS	107.02	1,012.02	3,600.00	2,587.98	28.1
10-4253-210	MEMBERSHIPS	.00	.00	80.00	80.00	.0
10-4253-220	PUBLIC NOTICES	.00	.00	100.00	100.00	.0
10-4253-230	TRAVEL & TRAINING	.00	.00	3,500.00	3,500.00	.0
10-4253-250	EQUIP SUPPLIES & MAINTENANCE	.00	226.32	1,000.00	773.68	22.6
10-4253-280	TELEPHONE	40.00	360.00	1,000.00	640.00	36.0
10-4253-310	PROFESSIONAL SERVICES	.00	.00	3,500.00	3,500.00	.0
10-4253-480	SPECIAL DEPARTMENTAL SUPPLIES	.00	277.03	350.00	72.97	79.2
10-4253-510	INSURANCE	.00	470.47	500.00	29.53	94.1
10-4253-620	MISCELLANEOUS SERVICES	.00	.00	490.00	490.00	.0
TOTAL ANIMAL CONTROL		1,545.98	15,575.40	53,020.00	37,444.60	29.4

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
ROADS						
10-4410-110	SALARY & WAGES	4,772.24	44,106.61	101,800.00	57,693.39	43.3
10-4410-115	OVERTIME	2,366.19	10,824.41	10,000.00	(824.41)	108.2
10-4410-120	SEASONAL/TEMPORARY EMPLOYEES	.00	.00	9,000.00	9,000.00	.0
10-4410-130	EMPLOYEE BENEFITS	2,687.87	19,301.67	65,500.00	46,198.33	29.5
10-4410-230	TRAVEL	.00	.00	2,000.00	2,000.00	.0
10-4410-240	OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4410-250	EQUIP SUPPLIES & MAINTENANCE	.00	65,705.16	45,000.00	(20,705.16)	146.0
10-4410-260	BLDG & GROUNDS SUP & MAINT	.00	309.00	5,000.00	4,691.00	6.2
10-4410-280	TELEPHONE	43.75	393.75	800.00	406.25	49.2
10-4410-310	PROFESSIONAL SERVICES	.00	25,796.50	2,500.00	(23,296.50)	1031.9
10-4410-410	ROAD MAINTENANCE	13,922.42	93,605.56	70,000.00	(23,605.56)	133.7
10-4410-450	PUBLIC SAFETY SUPPLIES	5,392.48	13,352.36	60,000.00	46,647.64	22.3
10-4410-480	SIDEWALK CONST & MAINT	17,922.60	101,213.97	235,000.00	133,786.03	43.1
10-4410-481	STREET TREE MAINTENANCE	3,360.00	35,550.00	30,000.00	(5,550.00)	118.5
10-4410-482	CURB & GUTTER CONST & MAINT	5,412.82	97,089.78	100,000.00	2,910.22	97.1
10-4410-510	INSURANCE	.00	14,664.25	14,400.00	(264.25)	101.8
10-4410-610	MISCELLANEOUS SUPPLIES	.00	.00	500.00	500.00	.0
10-4410-720	BUILDING IMPROVEMENTS	90,567.91	367,922.79	525,000.00	157,077.21	70.1
10-4410-740	EQUIPMENT	.00	550,101.99	551,500.00	1,398.01	99.8
10-4410-750	OTHER IMPROVEMENTS	9,267.27	495,779.57	1,495,000.00	999,220.43	33.2
TOTAL ROADS		155,715.55	1,935,717.37	3,323,100.00	1,387,382.63	58.3
SOLID WASTE COLLECTION						
10-4420-240	OFFICE SUPPLIES & EXPENSE	.00	43.80	3,000.00	2,956.20	1.5
10-4420-310	CONTRACT SERVICES	91,253.03	716,746.63	980,000.00	263,253.37	73.1
10-4420-311	COMMUNITY CLEAN UP	.00	.00	8,000.00	8,000.00	.0
TOTAL SOLID WASTE COLLECTION		91,253.03	716,790.43	991,000.00	274,209.57	72.3
SHOP						
10-4440-130	EMPLOYEE BENEFITS	.00	.00	9,900.00	9,900.00	.0
10-4440-250	EQUIP SUPPLIES & MAINTENANCE	426.23	2,255.77	11,000.00	8,744.23	20.5
10-4440-280	TELEPHONE	.00	.00	600.00	600.00	.0
10-4440-480	SPECIAL DEPARTMENTAL SUPPLIES	.00	257.91	1,000.00	742.09	25.8
10-4440-510	INSURANCE	.00	695.90	700.00	4.10	99.4
10-4440-610	MISCELLANEOUS	.00	.00	100.00	100.00	.0
TOTAL SHOP		426.23	3,209.58	23,300.00	20,090.42	13.8

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
PARKS						
10-4510-110	SALARY & WAGES	6,117.61	185,207.91	186,200.00	992.09	99.5
10-4510-115	OVERTIME	671.29	5,426.45	4,000.00	(1,426.45)	135.7
10-4510-120	SEASONAL/TEMPORARY EMPLOYEES	.00	16,549.94	50,000.00	33,450.06	33.1
10-4510-130	EMPLOYEE BENEFITS	3,511.30	54,761.06	95,200.00	40,438.94	57.5
10-4510-230	TRAVEL & TRAINING	.00	1,110.00	300.00	(810.00)	370.0
10-4510-250	EQUIPMENT SUPPLIES & MAINT	89.41	15,283.47	23,700.00	8,416.53	64.5
10-4510-252	CLOTHING AND PPC	.00	683.10	1,300.00	616.90	52.6
10-4510-260	BLDG & GROUNDS SUP & MAINT	4,828.94	48,927.01	70,000.00	21,072.99	69.9
10-4510-280	TELEPHONE	25.00	311.13	1,200.00	888.87	25.9
10-4510-310	PROFESSIONAL SERVICES	.00	65,425.53	75,000.00	9,574.47	87.2
10-4510-510	INSURANCE	.00	11,256.07	11,000.00	(256.07)	102.3
10-4510-610	MISCELLANEOUS SUPPLIES	.00	970.07	400.00	(570.07)	242.5
10-4510-620	MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4510-720	BUILDING IMPROVEMENTS	.00	.00	73,000.00	73,000.00	.0
10-4510-730	PARK IMPROVEMENTS	1,302.41	442,567.42	475,000.00	32,432.58	93.2
10-4510-740	EQUIPMENT	.00	84,911.72	103,500.00	18,588.28	82.0
TOTAL PARKS		16,545.96	933,390.88	1,170,300.00	236,909.12	79.8
ENGINEERING						
10-4550-110	SALARY & WAGES	2,161.34	21,445.21	57,000.00	35,554.79	37.6
10-4550-115	OVERTIME	390.01	1,735.17	.00	(1,735.17)	.0
10-4550-130	EMPLOYEE BENEFITS	1,014.31	9,182.78	22,500.00	13,317.22	40.8
10-4550-210	BOOKS, SUBS & MEMBERSHIP	.00	.00	1,500.00	1,500.00	.0
10-4550-230	TRAVEL & MEETINGS	94.00	442.50	1,500.00	1,057.50	29.5
10-4550-240	OFFICE SUPPLIES & EXPENSE	.00	.00	100.00	100.00	.0
10-4550-250	EQUIP SUPPLIES & MAINTENANCE	724.21	1,158.97	10,000.00	8,841.03	11.6
10-4550-280	TELEPHONE	45.36	237.37	700.00	462.63	33.9
10-4550-310	PROFESSIONAL SERVICES	.00	2,350.00	5,000.00	2,650.00	47.0
10-4550-510	INSURANCE	.00	1,920.48	1,900.00	(20.48)	101.1
10-4550-610	MISCELLANEOUS	.00	.00	50.00	50.00	.0
TOTAL ENGINEERING		4,429.23	38,472.48	100,250.00	61,777.52	38.4

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
RECREATION						
10-4561-110	SALARY & WAGES	.00	.00	55,100.00	55,100.00	.0
10-4561-120	SEASONAL/TEMPORARY EMPLOYEES	.00	10,016.00	9,700.00	(316.00)	103.3
10-4561-130	EMPLOYEE BENEFITS	.00	766.22	38,300.00	37,533.78	2.0
10-4561-220	PUBLIC NOTICES	.00	.00	500.00	500.00	.0
10-4561-240	OFFICE SUPPLIES & EXPENSE	.00	59.62	1,000.00	940.38	6.0
10-4561-250	EQUIPMENT SUPPLIES & EXPENSE	1,195.00	1,253.44	7,000.00	5,746.56	17.9
10-4561-480	SPECIAL DEPARTMENTAL SUPPLIES	1,000.00	1,064.25	13,000.00	11,935.75	8.2
10-4561-481	FIELD PREPARATION SUPPLIES	.00	.00	30,000.00	30,000.00	.0
10-4561-510	INSURANCE	.00	2,980.75	3,000.00	19.25	99.4
10-4561-609	TOURNAMENT REGISTRATION	.00	.00	1,000.00	1,000.00	.0
10-4561-610	MISCELLANEOUS SUPPLIES	.00	(1.00)	800.00	801.00	(.1)
10-4561-620	MISCELLANEOUS SERVICES	.00	(30.00)	10,000.00	10,030.00	(.3)
TOTAL RECREATION		2,195.00	16,109.28	169,400.00	153,290.72	9.5
MUSEUM						
10-4562-110	SALARY & WAGES	4,772.28	47,258.83	62,000.00	14,741.17	76.2
10-4562-130	EMPLOYEE BENEFITS	885.50	8,843.49	12,000.00	3,156.51	73.7
10-4562-210	BOOKS, SUBSCRIP & MEMBERSHIPS	.00	700.35	650.00	(50.35)	107.8
10-4562-220	MUSEUM PROMOTION	501.38	1,592.26	800.00	(792.26)	199.0
10-4562-230	TRAVEL	1,467.22	3,510.03	3,000.00	(510.03)	117.0
10-4562-240	OFFICE SUPPLIES	.00	348.98	600.00	251.02	58.2
10-4562-250	EQUIP SUPPLIES & MAINTENANCE	.00	631.32	750.00	118.68	84.2
10-4562-260	BLDG & GRNDS SUPPLIES & MAINT	.00	211.55	100.00	(111.55)	211.6
10-4562-280	TELEPHONE	52.00	572.00	650.00	78.00	88.0
10-4562-480	MUSEUM ARTIFACTS & MATERIALS	.00	632.55	1,000.00	367.45	63.3
10-4562-510	INSURANCE	.00	879.36	900.00	20.64	97.7
10-4562-610	MISCELLANEOUS	18.50	1,312.52	1,000.00	(312.52)	131.3
10-4562-720	BUILDING IMPROVEMENTS	300.00	5,635.93	10,000.00	4,364.07	56.4
TOTAL MUSEUM		7,996.88	72,129.17	93,450.00	21,320.83	77.2
YOUTH COUNCIL						
10-4563-210	MEMBERSHIPS	.00	.00	50.00	50.00	.0
10-4563-230	TRAVEL & TRAINING	1,157.63	3,611.05	5,000.00	1,388.95	72.2
10-4563-250	EQUIP SUPPLIES & MAINTENANCE	.00	.00	1,000.00	1,000.00	.0
10-4563-610	MISCELLANEOUS SUPPLIES	.00	2,014.20	5,000.00	2,985.80	40.3
10-4563-620	MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
TOTAL YOUTH COUNCIL		1,157.63	5,625.25	11,550.00	5,924.75	48.7

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
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GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
SENIOR CITIZENS						
10-4564-110	SALARY & WAGES	4,951.66	41,497.61	67,300.00	25,802.39	61.7
10-4564-115	OVERTIME	.00	.00	1,000.00	1,000.00	.0
10-4564-130	EMPLOYEE BENEFITS	867.55	7,969.29	13,200.00	5,230.71	60.4
10-4564-220	PUBLIC NOTICES	.00	.00	400.00	400.00	.0
10-4564-230	TRAVEL & TRAINING	154.45	1,407.63	10,000.00	8,592.37	14.1
10-4564-240	OFFICE SUPPLIES	20.70	221.57	500.00	278.43	44.3
10-4564-250	EQUIP SUPPLIES & MAINTENANCE	79.54	787.35	6,000.00	5,212.65	13.1
10-4564-260	BLDG & GROUNDS SUP & MAINT	230.32	2,696.40	3,000.00	303.60	89.9
10-4564-270	UTILITIES	158.24	946.73	2,500.00	1,553.27	37.9
10-4564-280	TELEPHONE	42.86	504.01	1,000.00	495.99	50.4
10-4564-285	INTERNET SERVICE	89.95	1,368.18	3,000.00	1,631.82	45.6
10-4564-480	FOOD COST	181.78	2,621.79	15,000.00	12,378.21	17.5
10-4564-510	INSURANCE	.00	6,137.33	6,000.00	(137.33)	102.3
10-4564-610	MISCELLANEOUS SUPPLIES	1,441.99	7,922.96	15,000.00	7,077.04	52.8
10-4564-620	MISCELLANEOUS SERVICES	4,745.00	5,168.00	11,500.00	6,332.00	44.9
10-4564-720	BUILDINGS	.00	5,066.97	14,000.00	8,933.03	36.2
TOTAL SENIOR CITIZENS		12,964.04	84,315.82	169,400.00	85,084.18	49.8
LIBRARY DEPARTMENT						
10-4580-110	SALARY & WAGES	16,778.59	158,438.45	240,900.00	82,461.55	65.8
10-4580-115	OVERTIME	.00	162.70	.00	(162.70)	.0
10-4580-130	EMPLOYEE BENEFITS	4,301.79	40,673.77	64,700.00	24,026.23	62.9
10-4580-210	BOOKS, SUBSCRIP & MEMBERSHIPS	292.48	1,984.15	3,000.00	1,015.85	66.1
10-4580-220	LIBRARY PROMOTION	210.75	3,528.95	8,000.00	4,471.05	44.1
10-4580-230	TRAVEL	15.00	15.00	1,500.00	1,485.00	1.0
10-4580-240	OFFICE SUPPLIES & EXPENSE	431.05	5,780.76	7,000.00	1,219.24	82.6
10-4580-250	EQUIPMENT SUPPLIES & MAINT	1,305.99	9,779.03	10,000.00	220.97	97.8
10-4580-260	BLDG SUPPLIES & MAINT	1,853.74	18,133.54	20,000.00	1,866.46	90.7
10-4580-270	UTILITIES	1,021.72	5,887.90	10,000.00	4,112.10	58.9
10-4580-280	TELEPHONE	333.48	1,956.45	3,000.00	1,043.55	65.2
10-4580-285	INTERNET SERVICE	92.40	841.86	1,000.00	158.14	84.2
10-4580-310	PROFESSIONAL SERVICES	212.48	1,790.14	1,100.00	(690.14)	162.7
10-4580-480	LIBRARY BOOKS & MATERIALS	3,240.10	24,274.12	32,000.00	7,725.88	75.9
10-4580-481	LIBRARY TAPES	77.58	7,182.81	10,000.00	2,817.19	71.8
10-4580-510	INSURANCE	.00	17,268.50	16,900.00	(368.50)	102.2
10-4580-609	STATE GRANT	469.26	469.26	6,500.00	6,030.74	7.2
10-4580-610	MISCELLANEOUS SUPPLIES	.00	94.69	500.00	405.31	18.9
10-4580-620	MISCELLANEOUS SERVICES	.00	.00	500.00	500.00	.0
10-4580-740	EQUIPMENT	.00	13,126.67	18,000.00	4,873.33	72.9
TOTAL LIBRARY DEPARTMENT		30,636.41	311,388.75	454,600.00	143,211.25	68.5

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
CEMETERY						
10-4590-110	SALARY & WAGES	1,227.07	12,382.68	26,400.00	14,017.32	46.9
10-4590-115	OVERTIME	119.23	1,201.09	3,000.00	1,798.91	40.0
10-4590-120	SEASONAL/TEMPORARY EMPLOYEES	.00	.00	8,000.00	8,000.00	.0
10-4590-130	EMPLOYEE BENEFITS	509.72	5,224.26	12,400.00	7,175.74	42.1
10-4590-240	OFFICE SUPPLIES & EXPENSE	.00	.00	300.00	300.00	.0
10-4590-250	EQUIPMENT SUPPLIES & MAINT	.00	.00	7,000.00	7,000.00	.0
10-4590-260	BLDG & GROUNDS SUP & MAINT	175.00	5,960.00	6,000.00	40.00	99.3
10-4590-280	TELEPHONE	18.75	168.75	150.00	(18.75)	112.5
10-4590-310	PROFESSIONAL SERVICES	.00	30,400.00	55,000.00	24,600.00	55.3
10-4590-510	INSURANCE	.00	2,008.94	2,000.00	(8.94)	100.5
10-4590-610	MISCELLANEOUS	.00	17.00	500.00	483.00	3.4
10-4590-730	CEMETERY IMPROVEMENTS	.00	29,504.28	85,000.00	55,495.72	34.7
TOTAL CEMETERY		2,049.77	86,867.00	205,750.00	118,883.00	42.2
COMMUNITY PROGRESS						
10-4620-210	NIGHT OUT AGAINST CRIME	.00	1,155.00	1,200.00	45.00	96.3
10-4620-211	EASTER EGG HUNT	516.71	516.71	1,200.00	683.29	43.1
10-4620-212	BUSINESS CONFERENCE	.00	.00	1,000.00	1,000.00	.0
10-4620-220	HOLIDAY AT HARDWARE	.00	1,155.87	2,000.00	844.13	57.8
10-4620-240	PHOTOGRAPHY & SCRAPBOOK	.00	.00	600.00	600.00	.0
10-4620-250	PARADE FLOAT SUPPLIES & PULL	.00	.00	1,000.00	1,000.00	.0
10-4620-510	INSURANCE	.00	414.47	450.00	35.53	92.1
10-4620-610	MISCELLANEOUS SUPPLIES	.00	825.60	3,000.00	2,174.40	27.5
10-4620-611	4TH OF JULY	.00	15,931.04	25,000.00	9,068.96	63.7
10-4620-614	MASS TRANSIT-CVT	.00	165,174.02	340,000.00	174,825.98	48.6
10-4620-615	KILGORE TAX 50% TAX	.00	.00	100,000.00	100,000.00	.0
10-4620-620	MISCELLANEOUS SERVICES	.00	.00	1,000.00	1,000.00	.0
10-4620-621	HYRUM HORNETS	.00	.00	2,000.00	2,000.00	.0
TOTAL COMMUNITY PROGRESS		516.71	185,172.71	478,450.00	293,277.29	38.7
CAPITAL PROJECT EXPENSE						
10-4800-921	CONTRIBUTION - CAPITAL PROJECT	.00	.00	450,000.00	450,000.00	.0
TOTAL CAPITAL PROJECT EXPENSE		.00	.00	450,000.00	450,000.00	.0
TOTAL FUND EXPENDITURES		373,115.58	5,524,600.08	9,778,370.00	4,253,769.92	56.5
NET REVENUE OVER EXPENDITURES		243,126.03	261,003.29	.00	(261,003.29)	.0

HYRUM CITY CORPORATION
 BALANCE SHEET
 MARCH 31, 2025

CAPITAL PROJECTS FUND

ASSETS

45-1010000	CASH IN COMBINED FUND	200,643.70
TOTAL ASSETS		200,643.70

LIABILITIES AND EQUITYFUND EQUITY

UNAPPROPRIATED FUND BALANCE:		
45-2951000	CAP PROJ - UNAPPROPRIATED	1,725,341.03
	REVENUE OVER EXPENDITURES - YTD	(1,524,697.33)
BALANCE - CURRENT DATE		200,643.70
TOTAL FUND EQUITY		200,643.70
TOTAL LIABILITIES AND EQUITY		200,643.70

HYRUM CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 9 MONTHS ENDING MARCH 31, 2025

CAPITAL PROJECTS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
GRANT REVENUE					
45-3342 GENERAL FUND TRANSFER	.00	.00	450,000.00	450,000.00	.0
TOTAL GRANT REVENUE	.00	.00	450,000.00	450,000.00	.0
MISCELLANEOUS REVENUES					
45-3620 INTEREST EARNINGS	795.51	39,894.09	100,000.00	60,105.91	39.9
TOTAL MISCELLANEOUS REVENUES	795.51	39,894.09	100,000.00	60,105.91	39.9
INTERGOVERNMENTAL REVENUE					
45-3895 TRANS FROM CAPITAL PROJ UNAP	.00	.00	1,569,000.00	1,569,000.00	.0
TOTAL INTERGOVERNMENTAL REVENUE	.00	.00	1,569,000.00	1,569,000.00	.0
TOTAL FUND REVENUE	795.51	39,894.09	2,119,000.00	2,079,105.91	1.9

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

CAPITAL PROJECTS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
FIRE DEPARTMENT					
45-4220-740 NEW FIRE ENGINE	9,999.84	482,401.52	400,000.00	(82,401.52)	120.6
TOTAL FIRE DEPARTMENT	9,999.84	482,401.52	400,000.00	(82,401.52)	120.6
PARKS					
45-4510-730 BLACKSMITH FORK PARK	.00	73,186.44	.00	(73,186.44)	.0
45-4510-732 WEST PARK	.00	12,175.50	500,000.00	487,824.50	2.4
45-4510-733 EAST PARK	230.80	996,827.96	1,219,000.00	222,172.04	81.8
TOTAL PARKS	230.80	1,082,189.90	1,719,000.00	636,810.10	63.0
TOTAL FUND EXPENDITURES	10,230.64	1,564,591.42	2,119,000.00	554,408.58	73.8
NET REVENUE OVER EXPENDITURES	(9,435.13)	(1,524,697.33)	.00	1,524,697.33	.0

HYRUM CITY CORPORATION
 BALANCE SHEET
 MARCH 31, 2025

WATER UTILITY FUND

ASSETS

51-1010000	CASH IN COMBINED FUND	2,683,583.89
51-1311000	ACCTS REC - UTILITIES	56,685.44
51-1311001	ACCTS REC - PRIOR PERIOD	97,159.65
51-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(2,458.44)
51-1511510	INVENTORY - WATER	298,922.84
51-1561100	PPD EXPENSE-CHLORINE DEPOSIT	2,250.00
51-1571000	DEFERRED OUTFLOW OF RESOURCES	77,768.00
51-1611000	LAND & STOCK - WATER UTILITY	1,529,997.44
51-1621000	BUILDINGS - WATER UTILITY	440,701.72
51-1622000	DEPRECIATION - WATER BUILDINGS	(278,544.74)
51-1631000	WATER STORAGE & DIST SYSTEM	12,943,583.95
51-1632000	DEPREC - WATER DIST SYSTEM	(7,184,339.43)
51-1642000	WATER IMPROVEMENTS	(1,179,759.00)
51-1651000	EQUIPMENT - WATER UTILITY	2,238,350.88
51-1652000	DEPRECIATION - WATER EQUIPMENT	(1,366,722.79)
51-1711000	CONSTRUCTION IN PROGRESS	477,244.14

TOTAL ASSETS

10,834,423.55

LIABILITIES AND EQUITYLIABILITIES

51-2131000	ACCTS PAY - WATER FUND	8.78
51-2228000	ACCRUED VACATION - WATER	36,533.87
51-2228001	DEFERRED INFLOWS OF RESOURCES	191.00
51-2228002	UNFUNDED PENSION PAYABLE	43,878.00
51-2230100	ACCRUED SICK LEAVE - WATER	72,092.34

TOTAL LIABILITIES

152,703.99

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:

51-2951000	WATER FUND - UNAPPROPRIATED	10,536,164.24
51-2971001	UNFUNDED PENSION ADJ.	(76,159.00)
	REVENUE OVER EXPENDITURES - YTD	221,714.32

BALANCE - CURRENT DATE

10,681,719.56

TOTAL FUND EQUITY

10,681,719.56

TOTAL LIABILITIES AND EQUITY

10,834,423.55

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
UTILITY REVENUES					
51-3711 METERED WATER SALES	114,403.57	1,132,436.89	1,600,000.00	467,563.11	70.8
51-3714 NEW CONNECTION FEES	5,088.00	23,744.00	34,000.00	10,256.00	69.8
51-3718 SALE OF MATERIALS	.00	.00	1,000.00	1,000.00	.0
51-3719 MISCELLANEOUS REVENUES	.00	.00	5,000.00	5,000.00	.0
51-3721 INTEREST EARNINGS	10,041.18	92,235.29	158,000.00	65,764.71	58.4
51-3725 IMPACT FEE - "BUY-IN"	2,064.00	9,632.00	13,760.00	4,128.00	70.0
51-3726 IMPACT FEE - STORAGE	10,692.00	49,896.00	71,280.00	21,384.00	70.0
51-3727 IMPACT FEE - DISTRIBUTION	17,088.00	79,744.00	113,920.00	34,176.00	70.0
51-3729 IMPACT FEE - PROFESSIONAL SERV	132.00	616.00	880.00	264.00	70.0
51-3742 RENT - NON-OPERATING PROPERTY	2,250.00	13,500.00	31,800.00	18,300.00	42.5
 TOTAL UTILITY REVENUES	 161,758.75	 1,401,804.18	 2,029,640.00	 627,835.82	 69.1
 TOTAL FUND REVENUE	 161,758.75	 1,401,804.18	 2,029,640.00	 627,835.82	 69.1

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

WATER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
WATER DEPARTMENT					
51-5100-110 SALARIES AND WAGES	19,755.48	198,228.65	458,600.00	260,371.35	43.2
51-5100-115 OVERTIME	1,295.87	15,989.24	4,000.00	(11,989.24)	399.7
51-5100-116 STANDBY TIME	990.00	9,808.76	13,400.00	3,591.24	73.2
51-5100-120 SEASONAL	.00	.00	14,400.00	14,400.00	.0
51-5100-130 EMPLOYEE BENEFITS	9,645.64	98,071.67	235,700.00	137,628.33	41.6
51-5100-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	1,582.00	1,700.00	118.00	93.1
51-5100-220 PUBLIC NOTICES	.00	547.84	250.00	(297.84)	219.1
51-5100-230 TRAVEL & TRAINING	274.00	2,109.00	10,000.00	7,891.00	21.1
51-5100-240 OFFICE SUPPLIES AND EXPENSE	3,103.20	8,620.66	5,000.00	(3,620.66)	172.4
51-5100-250 EQUIP SUPPLIES & MAINTENANCE	19.00	29,111.10	41,100.00	11,988.90	70.8
51-5100-252 CLOTHING AND PPC	.00	1,388.43	6,500.00	5,111.57	21.4
51-5100-255 DISTRIB SYSTEM MAINTENANCE	16,779.86	173,820.13	260,000.00	86,179.87	66.9
51-5100-260 BLDG & GROUNDS SUP & MAINT	147.90	16,328.88	3,000.00	(13,328.88)	544.3
51-5100-270 UTILITIES	12,576.11	105,508.37	120,000.00	14,491.63	87.9
51-5100-280 TELEPHONE	513.58	3,612.85	4,000.00	387.15	90.3
51-5100-310 PROFESSIONAL SERVICES	4,063.50	31,913.49	20,000.00	(11,913.49)	159.6
51-5100-510 INSURANCE	.00	10,542.88	10,350.00	(192.88)	101.9
51-5100-610 MISCELLANEOUS SUPPLIES	.00	3.55	1,000.00	996.45	.4
51-5100-720 BUILDINGS	.00	.00	20,000.00	20,000.00	.0
51-5100-740 EQUIPMENT	.00	196,421.18	283,000.00	86,578.82	69.4
51-5100-750 NEW CONSTRUCTION	63,025.92	276,481.18	2,130,000.00	1,853,518.82	13.0
51-5100-950 CONTRIBUTION - RESTRICTED FB	.00	.00	113,920.00	113,920.00	.0
 TOTAL WATER DEPARTMENT	 132,190.06	 1,180,089.86	 3,755,920.00	 2,575,830.14	 31.4
 TOTAL FUND EXPENDITURES	 132,190.06	 1,180,089.86	 3,755,920.00	 2,575,830.14	 31.4
 NET REVENUE OVER EXPENDITURES	 29,568.69	 221,714.32	 (1,726,280.00)	 (1,947,994.32)	 12.8

HYRUM CITY CORPORATION
 BALANCE SHEET
 MARCH 31, 2025

SEWER UTILITY FUND

ASSETS

52-1010000	CASH IN COMBINED FUND	5,630,332.81
52-1311000	ACCTS REC - UTILITIES	164,717.72
52-1311001	ACCTS REC - PRIOR PERIOD	119,431.09
52-1311002	LEASE RECEIVABLE	243,834.48
52-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(858.97)
52-1561103	PPD EXPENSE - CHLORINE DEPOSIT	3,000.00
52-1571000	DEFERRED OUTFLOW OF RESOURCES	87,938.00
52-1611000	LAND - SEWER UTILITY	587,937.49
52-1621000	PLANT & EQUIP - SEWER UTILITY	14,659,068.64
52-1622000	DEPRECIATION - SEWER PLANT	(8,140,352.48)
52-1631000	SEWERAGE COLLECTION SYSTEM	3,283,195.77
52-1632000	DEPREC - SEWER COLLECT SYSTEM	(215,917.06)
52-1642000	DEPREC - SEWER IMPROVEMENTS	(3,141,898.00)
52-1651000	EQUIPMENT - SEWER UTILITY	430,424.71
52-1652000	DEPRECIATION - SEWER EQUIPMENT	(359,553.81)
52-1711000	CONSTRUCTION IN PROGRESS	12,998.64
52-1801240	RESTRICTED CASH-DEBT SERVICE	172,981.20
52-1801250	RESTRICTED CASH-O&M RESERVE	233,944.65
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TOTAL ASSETS		13,771,224.88
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LIABILITIES AND EQUITYLIABILITIES

52-2131000	ACCTS PAY - SEWER FUND	568.57
52-2228000	ACCRUED VACATION - SEWER	25,056.25
52-2228001	DEFERRED INFLOWS OF RESOURCES	216.00
52-2228002	UNFUNDED PENSION PAYABLE	49,616.00
52-2228003	DEFERRED INFLOWS OF RESOURCES-	218,345.40
52-2230100	ACCRUED SICK LEAVE - SEWER	25,015.60
52-2500001	BONDS PAYABLE-WWTP	2,266,794.63
52-2551100	ACCRUED INT PAY - NEW PLANT	434.73
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TOTAL LIABILITIES		2,586,047.18

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:		
52-2951000	SEWER FUND - UNAPPROPRIATED	9,987,763.60
52-2951522	SEWER FUND - RESTRICTED	406,925.85
52-2971001	UNFUNDED PENSION ADJ.	(101,846.00)
REVENUE OVER EXPENDITURES - YTD		892,334.25
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BALANCE - CURRENT DATE		11,185,177.70
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TOTAL FUND EQUITY		11,185,177.70
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TOTAL LIABILITIES AND EQUITY		13,771,224.88
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HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

SEWER UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
UTILITY REVENUES					
52-3731 SEWER SERVICE	198,012.89	1,767,566.25	2,400,000.00	632,433.75	73.7
52-3740 CUSTOMER SERVICE FEES	600.00	2,800.00	5,000.00	2,200.00	56.0
52-3741 INTEREST EARNINGS	22,556.10	205,423.02	225,500.00	20,076.98	91.1
52-3742 RENT - NON-OPERATING PROPERTY	.00	17,361.94	17,400.00	38.06	99.8
52-3744 MISCELLANEOUS REVENUES	.00	1,552.19	5,000.00	3,447.81	31.0
52-3747 IMPACT FEE - COLLECTION	5,232.00	24,416.00	34,900.00	10,484.00	70.0
52-3748 IMPACT FEE - TREATMENT	23,069.04	107,655.52	150,000.00	42,344.48	71.8
TOTAL UTILITY REVENUES	249,470.03	2,126,774.92	2,837,800.00	711,025.08	74.9
TOTAL FUND REVENUE	249,470.03	2,126,774.92	2,837,800.00	711,025.08	74.9

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

SEWER UTILITY FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
SEWER DEPARTMENT						
52-5200-110	SALARIES AND WAGES	27,635.35	275,804.26	452,600.00	176,795.74	60.9
52-5200-115	OVERTIME	1,060.69	16,531.76	20,000.00	3,468.24	82.7
52-5200-116	ON CALL PAY	942.50	9,487.02	15,000.00	5,512.98	63.3
52-5200-120	SEASONAL/TEMPORARY EMPLOYEES	.00	.00	2,000.00	2,000.00	.0
52-5200-130	EMPLOYEE BENEFITS	12,463.08	132,213.46	228,700.00	96,486.54	57.8
52-5200-210	BOOKS, SUBSCRIPTIONS & MEMBERS	.00	285.00	2,000.00	1,715.00	14.3
52-5200-220	PUBLIC NOTICES	252.36	252.36	500.00	247.64	50.5
52-5200-230	TRAVEL & TRAINING	586.25	3,678.93	20,000.00	16,321.07	18.4
52-5200-240	OFFICE SUPPLIES & EXPENSE	1,477.08	7,943.27	6,000.00	(1,943.27)	132.4
52-5200-250	LAB SUPPLIES	84.17	6,825.65	5,000.00	(1,825.65)	136.5
52-5200-251	WATER REUSE EQUIP SUP & MAINT	.00	.00	1,000.00	1,000.00	.0
52-5200-252	CLOTHING AND PPC	.00	1,441.14	3,250.00	1,808.86	44.3
52-5200-254	PLANT EQUIP SUP & MAINT	2,251.71	53,665.92	250,000.00	196,334.08	21.5
52-5200-255	COLLECTION SYSTEM MAINTENANCE	960.00	87,611.94	212,000.00	124,388.06	41.3
52-5200-256	MBR CLEANING CHEMICALS	17,790.90	29,432.90	50,000.00	20,567.10	58.9
52-5200-257	ALUMINUM SULFATE	.00	64,492.38	110,000.00	45,507.62	58.6
52-5200-258	POLYMER	.00	8,522.42	17,000.00	8,477.58	50.1
52-5200-260	BLDG & GROUNDS SUP & MAINT	2,409.61	8,223.76	4,000.00	(4,223.76)	205.6
52-5200-270	UTILITIES	23,957.44	241,851.40	340,000.00	98,148.60	71.1
52-5200-280	TELEPHONE	488.64	3,814.65	4,500.00	685.35	84.8
52-5200-285	INTERNET SERVICE	542.40	4,350.24	6,000.00	1,649.76	72.5
52-5200-310	PROFESSIONAL SERVICES	32,499.35	106,090.78	250,000.00	143,909.22	42.4
52-5200-311	PRETREATMENT PROGRAM	.00	.00	30,000.00	30,000.00	.0
52-5200-510	INSURANCE	.00	26,765.15	26,200.00	(565.15)	102.2
52-5200-610	MISCELLANEOUS	396.95	396.95	2,000.00	1,603.05	19.9
52-5200-700	AMORTIZATION OF BOND COSTS	.00	.00	2,500.00	2,500.00	.0
52-5200-740	EQUIPMENT	.00	33,500.00	110,000.00	76,500.00	30.5
52-5200-750	NEW CONSTRUCTION	.00	48,565.33	1,200,000.00	1,151,434.67	4.1
52-5200-812	DEBT SERVICE-WWTP	3,703.19	33,135.20	44,300.00	11,164.80	74.8
52-5200-822	DEBT SERVICE-INT. WWTP	3,262.81	29,558.80	39,400.00	9,841.20	75.0
TOTAL SEWER DEPARTMENT		132,764.48	1,234,440.67	3,453,950.00	2,219,509.33	35.7
TOTAL FUND EXPENDITURES		132,764.48	1,234,440.67	3,453,950.00	2,219,509.33	35.7
NET REVENUE OVER EXPENDITURES		116,705.55	892,334.25	(616,150.00)	(1,508,484.25)	144.8

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

ELECTRIC UTILITY FUND

ASSETS

53-1010000	CASH IN COMBINED FUND	6,309,409.00
53-1311000	ACCTS REC - UTILITIES	543,344.39
53-1311001	ACCTS REC - PRIOR PERIOD	782,829.73
53-1311710	DEFERRED COLL. COST	(11,609.92)
53-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(6,470.18)
53-1511510	INVENTORY - ELECTRIC	1,785,294.90
53-1565530	RIGHT OF USE ASSET	32,311.00
53-1565531	ACCUMULATED AMORTIZATION	(32,068.26)
53-1565532	ACC. AMORTIZATION-SAN JUAN	(1,784,730.20)
53-1571000	DEFERRED OUTFLOW OF RESOURCES	232,708.00
53-1611000	LAND - ELECTRIC UTILITY	823,439.55
53-1621000	BUILDINGS - ELECTRIC UTILITY	1,494,900.33
53-1621100	SAN JUAN POWER PURCHASE	1,784,730.20
53-1621500	PAYSON POWER PURCHASE	101,111.59
53-1622000	DEPRECIATION - ELEC BUILDINGS	(638,315.76)
53-1631000	ELEC POWER DISTRIBUTION SYSTEM	9,275,987.63
53-1632000	DEPREC - POWER DIST SYSTEM	(4,782,555.99)
53-1642000	DEPREC - ELECTRIC IMPROVEMENTS	(67,468.08)
53-1651000	EQUIPMENT - ELECTRIC UTILITY	3,141,132.01
53-1652000	DEPRECIAITON - ELEC EQUIPMENT	(2,027,753.71)
53-1711000	CONSTRUCTION IN PROGRESS	4,851,025.52

TOTAL ASSETS

21,807,251.75

LIABILITIES AND EQUITYLIABILITIES

53-2131000	ACCTS PAY - ELECTRIC	(17,775.00)
53-2131500	ACCTS PAY - UTILITY DEPOSITS	509,824.30
53-2228000	ACCRUED VACATION - ELECTRIC	96,885.61
53-2228001	DEFERRED INFLOWS OF RESOURCES	572.00
53-2228002	UNFUNDED PENSION PAYABLE	131,297.00
53-2228003	LEASE LIABILITY	(.26)
53-2230100	ACCRUED SICK LEAVE - ELECTRIC	107,865.89
53-2411100	STATE SALES TAX PAYABLE	16,161.92
53-2411101	SALES TAX PAY - NON CURRENT	13,673.37
53-2411102	SALES TAX - NON CITY	341.23

TOTAL LIABILITIES

858,846.06

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:

53-2951000	ELECTRIC FUND - UNAPPROPRIATED	17,519,004.53
53-2971001	UNFUNDED PENSION ADJ.	(183,539.00)
	REVENUE OVER EXPENDITURES - YTD	3,612,940.16

BALANCE - CURRENT DATE

20,948,405.69

TOTAL FUND EQUITY

20,948,405.69

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

ELECTRIC UTILITY FUND

TOTAL LIABILITIES AND EQUITY

21,807,251.75

HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

ELECTRIC UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
UTILITY REVENUES ENERGY SALES					
53-3145 ENERGY SALES AND USE TAX	44,143.12	428,938.75	550,000.00	121,061.25	78.0
TOTAL UTILITY REVENUES ENERGY SALES	44,143.12	428,938.75	550,000.00	121,061.25	78.0
UTILITY REVENUES					
53-3751 METERED ENERGY SALES	980,013.41	9,494,193.18	14,100,000.00	4,605,806.82	67.3
53-3752 ENERGY DISCOUNTS	(8,196.08)	(129,107.50)	(105,000.00)	24,107.50	(123.0)
53-3755 NEW CONNECTION FEES	9,000.00	49,858.68	85,000.00	35,141.32	58.7
53-3757 SALE OF MATERIALS	.00	87,144.82	500.00	(86,644.82)	17429.
53-3758 CUSTOMER SERVICE & MISC	18,537.84	1,161,627.40	255,000.00	(906,627.40)	455.5
53-3761 INTEREST EARNINGS	25,746.15	195,303.59	152,000.00	(43,303.59)	128.5
53-3764 LABOR	25,250.00	46,375.00	15,000.00	(31,375.00)	309.2
53-3765 EQUIPMENT	17,655.00	27,865.00	15,000.00	(12,865.00)	185.8
53-3766 MATERIALS	88,415.20	159,299.52	15,000.00	(144,299.52)	1062.0
53-3767 IMPACT FEE - DISTRIBUTION	15,180.00	90,567.00	101,200.00	10,633.00	89.5
TOTAL UTILITY REVENUES	1,171,601.52	11,183,126.69	14,633,700.00	3,450,573.31	76.4
TOTAL FUND REVENUE	1,215,744.64	11,612,065.44	15,183,700.00	3,571,634.56	76.5

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

ELECTRIC UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
ELECTRIC DEPARTMENT					
53-5300-110 SALARIES AND WAGES	64,932.57	665,140.67	1,229,800.00	564,659.33	54.1
53-5300-115 OVERTIME	3,291.94	30,321.19	25,000.00	(5,321.19)	121.3
53-5300-116 STANDBY TIME	937.00	9,852.76	13,400.00	3,547.24	73.5
53-5300-120 SEASONAL/TEMPORARY EMPLOYEES	.00	3,814.98	20,000.00	16,185.02	19.1
53-5300-130 EMPLOYEE BENEFITS	30,696.32	300,163.70	576,400.00	276,236.30	52.1
53-5300-210 BOOKS, SUBSCRIP & MEMBERSHIPS	.00	447.70	2,900.00	2,452.30	15.4
53-5300-220 PUBLIC NOTICES	.00	117.70	250.00	132.30	47.1
53-5300-230 TRAVEL & TRAINING	535.24	10,072.36	20,000.00	9,927.64	50.4
53-5300-240 OFFICE SUPPLIES AND EXPENSE	1,976.75	8,541.27	10,000.00	1,458.73	85.4
53-5300-250 EQUIP SUPPLIES & MAINTENANCE	5,141.43	48,026.90	125,000.00	76,973.10	38.4
53-5300-252 CLOTHING AND PPC	.00	8,726.68	9,000.00	273.32	97.0
53-5300-255 GEN & DIST SYSTEM MAINTENANCE	73,174.28	181,927.43	925,000.00	743,072.57	19.7
53-5300-256 TREE CITY/CONSUMER ED.	12,523.52	80,479.52	105,000.00	24,520.48	76.7
53-5300-257 GENERATION COSTS	27,450.10	271,133.41	830,000.00	558,866.59	32.7
53-5300-258 CHRISTMAS DECORATIONS	.00	1,160.00	10,000.00	8,840.00	11.6
53-5300-259 HYDRO PLANT MAINTENANCE	1,004.06	5,824.27	75,000.00	69,175.73	7.8
53-5300-260 BLDGS & GROUNDS SUP & MAINT	787.49	7,227.25	35,000.00	27,772.75	20.7
53-5300-270 UTILITIES	1,570.76	9,456.29	16,000.00	6,543.71	59.1
53-5300-280 TELEPHONE	844.19	7,449.42	12,000.00	4,550.58	62.1
53-5300-285 INTERNET SERVICE	165.00	1,275.00	2,500.00	1,225.00	51.0
53-5300-310 PROFESSIONAL SERVICES	1,294.98	43,694.22	65,000.00	21,305.78	67.2
53-5300-510 INSURANCE	.00	33,557.12	32,800.00	(757.12)	102.3
53-5300-610 MISCELLANEOUS SUPPLIES	41.95	9,839.46	10,000.00	160.54	98.4
53-5300-620 MISCELLANEOUS SERVICES	6,185.31	48,963.01	60,000.00	11,036.99	81.6
53-5300-630 POWER PURCHASE	566,891.19	5,003,243.85	9,100,000.00	4,096,756.15	55.0
53-5300-735 CANYON PARK IMPROVEMENTS	.00	.00	3,500.00	3,500.00	.0
53-5300-740 EQUIPMENT	.00	54,058.99	160,000.00	105,941.01	33.8
53-5300-750 NEW CONSTRUC, SPECIAL PROJECTS	276,148.77	388,075.23	680,000.00	291,924.77	57.1
53-5300-810 DEBT SERVICE - PRINCIPAL	41,727.27	333,818.16	441,000.00	107,181.84	75.7
53-5300-820 DEBT SERVICE - INTEREST	53,202.88	432,716.74	587,000.00	154,283.26	73.7
TOTAL ELECTRIC DEPARTMENT	1,170,523.00	7,999,125.28	15,181,550.00	7,182,424.72	52.7
TOTAL FUND EXPENDITURES	1,170,523.00	7,999,125.28	15,181,550.00	7,182,424.72	52.7
NET REVENUE OVER EXPENDITURES	45,221.64	3,612,940.16	2,150.00	(3,610,790.16)	16804

HYRUM CITY CORPORATION
 BALANCE SHEET
 MARCH 31, 2025

IRRIGATION UTILITY FUND

ASSETS

54-1010000	CASH IN COMBINED FUND	1,111,049.79
54-1311000	ACCTS REC - UTILITIES	22,049.84
54-1311001	ACCTS REC - PRIOR PERIOD	19,565.17
54-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(379.55)
54-1511510	INVENTORY - IRRIGATION	217,389.50
54-1571000	DEFERRED OUTFLOW OF RESOURCES	14,666.00
54-1611000	LAND & STOCK - IRR UTILITY	1,245,261.09
54-1631000	IRRIGATION DISTRIBUTION SYSTEM	7,109,738.91
54-1632000	DEPRECIATION - IRRIG DIST SYS	(5,452,686.20)
54-1651000	EQUIPMENT - IRRIGATION UTILITY	181,914.47
54-1652000	DEPRECIATION - IRRI EQUIPMENT	(108,579.75)
54-1711000	CONSTRUCTION IN PROGRESS	118,957.80
TOTAL ASSETS		<u>4,478,947.07</u>

LIABILITIES AND EQUITYLIABILITIES

54-2228000	ACCRUED VAC PAY - IRRIGATION	6,896.34
54-2228001	DEFERRED INFLOWS OF RESOURCES	36.00
54-2228002	UNFUNDED PENSION PAYABLE	8,275.00
54-2230100	ACCRUED SICK LEAVE - IRRIGATIO	13,560.31

TOTAL LIABILITIES	28,767.65
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FUND EQUITY

54-2811540	CONTRIBUTED CAPITAL	4,101,602.62
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UNAPPROPRIATED FUND BALANCE:

54-2951000	IRR FUND - UNAPPROPRIATED	141,488.58
54-2971001	UNFUNDED PENSION ADJ.	(14,791.00)
	REVENUE OVER EXPENDITURES - YTD	221,879.22

BALANCE - CURRENT DATE	<u>348,576.80</u>
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TOTAL FUND EQUITY	<u>4,450,179.42</u>
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TOTAL LIABILITIES AND EQUITY	<u>4,478,947.07</u>
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HYRUM CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
54-3340 STATE - FEDERAL GRANTS	.00	.00	866,300.00	866,300.00	.0
TOTAL SOURCE 33	.00	.00	866,300.00	866,300.00	.0
UTILITY REVENUES					
54-3771 IRRIGATION SERVICE	31,009.86	278,395.59	370,000.00	91,604.41	75.2
54-3775 NEW CONNECTION FEES	294.00	294.00	1,000.00	706.00	29.4
54-3779 MISCELLANEOUS REVENUES	.00	72,887.50	6,000.00	(66,887.50)	1214.8
54-3781 INTEREST EARNINGS	4,087.77	35,202.38	38,000.00	2,797.62	92.6
54-3785 IMPACT FEE - "BUY-IN"	8,734.00	43,670.00	47,700.00	4,030.00	91.6
TOTAL UTILITY REVENUES	<u>44,125.63</u>	<u>430,449.47</u>	<u>462,700.00</u>	<u>32,250.53</u>	<u>93.0</u>
TOTAL FUND REVENUE	<u>44,125.63</u>	<u>430,449.47</u>	<u>1,329,000.00</u>	<u>898,550.53</u>	<u>32.4</u>

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

IRRIGATION UTILITY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
IRRIGATION DEPARTMENT					
54-5400-110 SALARIES AND WAGES	4,310.56	43,067.95	98,900.00	55,832.05	43.6
54-5400-115 OVERTIME	.00	3,208.07	2,000.00	(1,208.07)	160.4
54-5400-130 EMPLOYEE BENEFITS	1,859.96	20,761.87	53,800.00	33,038.13	38.6
54-5400-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
54-5400-240 OFFICE SUPPLIES AND EXPENSE	493.75	3,570.95	7,000.00	3,429.05	51.0
54-5400-250 EQUIP SUPPLIES & MAINTENANCE	.00	71.94	10,000.00	9,928.06	.7
54-5400-255 DISTRIB SYSTEM MAINTENANCE	296.84	13,245.04	30,000.00	16,754.96	44.2
54-5400-260 BLDGS & GROUNDS SUP & MAINT	.00	.00	1,000.00	1,000.00	.0
54-5400-270 UTILITIES	81.07	765.76	85,000.00	84,234.24	.9
54-5400-280 TELEPHONE	40.75	366.75	450.00	83.25	81.5
54-5400-310 PROFESSIONAL SERVICES	.00	16,502.66	10,000.00	(6,502.66)	165.0
54-5400-510 INSURANCE	.00	5,383.66	5,300.00	(83.66)	101.6
54-5400-540 IRRIGATION ASSESSMENTS	5,724.00	95,223.45	88,000.00	(7,223.45)	108.2
54-5400-740 EQUIPMENT	.00	.00	14,000.00	14,000.00	.0
54-5400-750 NEW CONSTRUCTION	.00	6,402.15	1,385,000.00	1,378,597.85	.5
TOTAL IRRIGATION DEPARTMENT	12,806.93	208,570.25	1,790,950.00	1,582,379.75	11.7
TOTAL FUND EXPENDITURES	12,806.93	208,570.25	1,790,950.00	1,582,379.75	11.7
NET REVENUE OVER EXPENDITURES	31,318.70	221,879.22	(461,950.00)	(683,829.22)	48.0

HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

STORMWATER FUND

ASSETS

55-1010000	CASH IN COMBINED FUND	1,308,618.69
55-1311000	ACCTS REC - STORMWATER	27,736.80
55-1311001	ACCTS REC - PRIOR PERIOD	19,873.63
55-1312000	ALLOW FOR BAD UTILITY ACCOUNTS	(66.80)
55-1571000	DEFERRED OUTFLOW OF RESOURCES	6,640.00
55-1611000	LAND & STOCK - STORM WATER	40,566.00
55-1631000	STORM WATER IMPROVEMENTS	1,119,912.54
55-1632000	DEPRECIATION - STORM WATER	(448,548.97)
55-1651000	EQUIPMENT - STORMWATER UTILITY	225,244.55
55-1652000	DEPRECIATION - STORM WATER EQU	(186,545.92)
55-1711000	CONSTRUCTION IN PROGRESS	67,033.32
 TOTAL ASSETS		 2,180,463.84

LIABILITIES AND EQUITY

LIABILITIES

55-2228000	ACCRUED VACATION - STORMWATER	4,624.64
55-2228001	DEFERRED INFLOWS OF RESOURCES	16.00
55-2228002	UNFUNDED PENSION PAYABLE	3,746.00
55-2230100	ACCRUED SICK LEAVE - STORMWATE	9,303.91
 TOTAL LIABILITIES		 17,690.55

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:		
55-2951000	STORMWATER FUND-UNAPPROPRIATED	1,908,079.96
55-2971001	UNFUNDED PENSION ADJ.	(4,347.00)
	REVENUE OVER EXPENDITURES - YTD	259,040.33
 BALANCE - CURRENT DATE		 2,162,773.29
 TOTAL FUND EQUITY		 2,162,773.29
 TOTAL LIABILITIES AND EQUITY		 2,180,463.84

HYRUM CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 9 MONTHS ENDING MARCH 31, 2025

STORMWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
UTILITY REVENUES					
55-3740 STORM WATER INSPECTION FEES	1,800.00	8,250.00	15,000.00	6,750.00	55.0
55-3781 STORMWATER FEES	34,149.24	289,447.44	375,000.00	85,552.56	77.2
55-3791 INTEREST EARNINGS	4,863.52	42,282.66	50,500.00	8,217.34	83.7
TOTAL UTILITY REVENUES	40,812.76	339,980.10	440,500.00	100,519.90	77.2
TOTAL FUND REVENUE	40,812.76	339,980.10	440,500.00	100,519.90	77.2

HYRUM CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2025

STORMWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
STORMWATER DEPARTMENT					
55-5500-110 SALARIES AND WAGES	1,430.32	14,525.59	20,500.00	5,974.41	70.9
55-5500-115 OVERTIME	85.71	1,115.96	1,000.00	(115.96)	111.6
55-5500-130 EMPLOYEE BENEFITS	657.56	6,567.97	10,100.00	3,532.03	65.0
55-5500-220 PUBLIC NOTICES	.00	.00	500.00	500.00	.0
55-5500-230 TRAVEL & TRAINING	.00	480.00	1,000.00	520.00	48.0
55-5500-250 EQUIP SUPPLIES & MAINTENANCE	.00	.00	2,500.00	2,500.00	.0
55-5500-255 COLLECTION SYSTEM	.00	5,404.81	15,000.00	9,595.19	36.0
55-5500-280 TELEPHONE	18.00	162.00	225.00	63.00	72.0
55-5500-310 PROFESSIONAL SERVICES	2,305.80	22,880.35	30,000.00	7,119.65	76.3
55-5500-450 FLOOD CONTROL	488.83	1,677.80	3,000.00	1,322.20	55.9
55-5500-510 INSURANCE	.00	643.26	650.00	6.74	99.0
55-5500-750 NEW CONSTRUCTION	12,398.40	27,482.03	700,000.00	672,517.97	3.9
TOTAL STORMWATER DEPARTMENT	17,384.62	80,939.77	784,475.00	703,535.23	10.3
TOTAL FUND EXPENDITURES	17,384.62	80,939.77	784,475.00	703,535.23	10.3
NET REVENUE OVER EXPENDITURES	23,428.14	259,040.33	(343,975.00)	(603,015.33)	75.3

HYRUM CITY CORPORATION
 BALANCE SHEET
 MARCH 31, 2025

COURT TRUST FUND

ASSETS

72-1010000	CASH IN COMBINED FUND	(43,285.96)
72-1111000	COURT BANK ACCOUNT		97,593.50
72-1111001	FINES RECEIVABLE		117,138.00
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TOTAL ASSETS			171,445.54
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LIABILITIES AND EQUITYLIABILITIES

72-2131151	ACCTS PAY - J.P. COURT	13,742.76
72-2131154	ACCTS PAY - TRUST ACCOUNT BAIL	33,192.78
72-2140000	PAYABLES TO OTHER ENTITIES	124,510.00
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TOTAL LIABILITIES		171,445.54
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TOTAL LIABILITIES AND EQUITY		171,445.54
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HYRUM CITY CORPORATION
BALANCE SHEET
MARCH 31, 2025

FUND 90

ASSETS

90-1611000	LAND - GENERAL MUNICIPAL	1,343,999.91
90-1621000	BUILDINGS - GENERAL MUNICIPAL	10,371,609.25
90-1622000	DEPRECIATION - BUILDINGS	(6,197,869.08)
90-1631000	IMPROVE - GEN MUNICIPAL	5,113,685.45
90-1632000	DEPRECIATION - IMPROVEMENTS	(2,359,724.90)
90-1651000	EQUIPMENT - GENERAL MUNICIPAL	4,808,426.90
90-1652000	DEPRECIATION - EQUIPMENT	(3,170,421.41)
90-1661000	INFRASTRUCTURE - ROADS	9,057,803.62
90-1662000	DEPRECIATION - ROADS	(5,668,277.04)
90-1671000	INFRASTRUCTURE-SIDEWALKS	2,348,161.83
90-1672000	DEPRECIATION - SIDEWALKS	(1,863,724.45)
90-1681000	INFRASTRUCTURE-CURB & GUTTER	1,242,632.31
90-1682000	DEPRECIATION - CURB & GUTTER	(1,179,354.88)
90-1711000	CONSTRUCTION IN PROGRESS	6,265,203.54

TOTAL ASSETS

20,112,151.05

LIABILITIES AND EQUITYFUND EQUITY

	UNAPPROPRIATED FUND BALANCE:	
90-2971000	INVEST IN GENERAL FIXED ASSETS	20,112,151.05

BALANCE - CURRENT DATE

20,112,151.05

TOTAL FUND EQUITY

20,112,151.05

TOTAL LIABILITIES AND EQUITY

20,112,151.05

HYRUM CITY CORPORATION
 BALANCE SHEET
 MARCH 31, 2025

FUND 95

ASSETS

95-1311411	LEVIED PROP TAXES REC 5 YEAR	6,597.85
95-1571000	DEFERRED OUTFLOW OF RESOURCES	262,342.00
95-1841000	SPEC FUND AMTS TO BE PROVIDED	175,820.68

TOTAL ASSETS

444,760.53

LIABILITIES AND EQUITYLIABILITIES

95-2228000	ACCRUED VAC PAY - GENERAL	68,534.19
95-2228001	DEFERRED INFLOWS OF RESOURCES	646.00
95-2228002	UNFUNDED PENSION PAYABLE	148,015.00
95-2230100	ACCRUED SICK LEAVE - GENERAL	162,424.49

TOTAL LIABILITIES

379,619.68

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:

95-2971001	UNFUNDED PENSION ADJ.	58,543.00
95-2972100	UNCOLLECTED PROPERTY TAX	6,597.85

BALANCE - CURRENT DATE

65,140.85

TOTAL FUND EQUITY

65,140.85

TOTAL LIABILITIES AND EQUITY

444,760.53