



WEST HAVEN PLANNING COMMISSION AGENDA

April 23, 2025 6:00 P.M.

City Council Chambers
4150 South 3900 West, West Haven, UT 84401

NOTICE IS HEREBY GIVEN THAT ON **Wednesday, April 23, 2025** THE PLANNING COMMISSION OF WEST HAVEN CITY WILL HOLD THE FOLLOWING PUBLIC MEETINGS:

***6:00 PM: REGULAR PLANNING COMMISSION MEETING**

JOIN US DIGITALLY FOR THE REGULAR PLANNING MEETING AT:

[HTTPS://US06WEB.ZOOM.US/J/86539464549.](https://us06web.zoom.us/j/86539464549)

WATCH LIVE AT [HTTPS://WWW.YOUTUBE.COM/CHANNEL/UCEEQNQBTFZJWGTGOPHMCNCBA.](https://www.youtube.com/channel/UCEEQNQBTFZJWGTGOPHMCNCBA)

6:00 Regular Planning Commission Meeting

1. **MEETING CALLED TO ORDER:** Chairman Roundy
2. **OPENING CEREMONIES**
 - a. **PLEDGE OF ALLEGIANCE** Commission member Stimpson
 - b. **PRAYER/MOMENT OF SILENCE** Commission member Galt
3. **ACTION ON MINUTES –** Approve minutes for the Meeting of 04/09/2025
4. **REPORTS –** Actions taken by City Council on Planning Commission.
5. **DISCUSSION AND ACTION –** For a Conditional Use permit for a for a Home Occupation for Happy Heating and Cooling located at approximately 3621 S 4700 S, Parcel #08-598-0008. (Applicant Matthew Christensen)
6. **DISCUSSION AND ACTION –** To a Conditional Use permit for Trucking King Auto Shop located at approximately 4608 S 3500 W, Parcel #084580002 (Applicant Nestor A. Cornejo, Agent Eduardo Flores)
7. **DISCUSSION AND ACTION –** For a Preliminary and Final Site Plan approval for Old Hickory Sheds located at approximately 1924 W 3300, Parcel #15-094-0047 (Applicant Colton Bain)
8. **DISCUSSION AND ACTION –** For a Final Site Plan approval for RDO Equipment, a heavy equipment sales and service business located at approximately 1971 W 2100 S, Parcel 15-788-0003 (Applicant RDO Equipment Co, Agent Geneva Blanchard)
9. **DISCUSSION AND ACTION –** For a Preliminary and Final Site Plan approval for Woodstone Subdivision Phase 5c located at approximately 3569 S 4700 W, Parcel #08-037-0243 (Applicant Janice Burrows, Agent Zachary Manning)
10. **DISCUSSION AND ACTION –** For a Preliminary Site Plan Approval and Conditional Use Permit for Grand Haven Assisted Living located at approximately 3400 S 3500 W, Parcel # 080290078 (Applicant Stillwater Construction Group, Agent Justin Nielsen)
11. **ADJOURNMENT**

Robyn Van Campen

Robyn Van Campen, City Recorder

In compliance with the Americans with Disabilities Act, persons needing special accommodations, including auxiliary communicative aids and services, for this meeting should notify the city recorder at 731-4519 or by email: robynv@westhavencity.com at least 48 hours in advance of the meeting.

CERTIFICATE OF POSTING

The undersigned, duly appointed city recorder, does hereby certify that the above notice and agenda has been posted in the West Haven City Recorder's office; at the West Haven City Complex on the Notice Board and at www.westhavencity.com; emailed to the Standard-Examiner with a request that it be posted in their Wednesday night meeting section; mailed and emailed to the West Haven City Mayor and each West Haven City Council Member who has email capacity and to the city attorney



WEST HAVEN PLANNING COMMISSION MEETING MINUTES

April 9, 2025 6:00 P.M.

City Council Chambers
4150 South 3900 West, West Haven, UT 84401

Present:	
Becky Roundy Andrew Reyna Jeff Reed Russell Galt George LaMar Linda Smith Stephen Nelson Robyn VanCampen Amy Hugie	Chairman Vice-Chairman (via Zoom) Commission member Commission member Commission member Commission member Community Development Director Deputy Recorder City Attorney/Interim Planner
Absent/Excused	
Melinda Stimpson Russell Galt	Excused Excused

6:00 Regular Planning Commission Meeting

1. **MEETING CALLED TO ORDER:** Chairman Roundy at 6:00 pm
2. **OPENING CEREMONIES**
 - a. **PLEDGE OF ALLEGIANCE** Vice-Chairman Reyna
 - b. **PRAYER/MOMENT OF SILENCE** Commission Member Reed
3. **ACTION ON MINUTES –** Approve minutes for the Meeting of 03/26/2025

No corrections on minutes.

Commission member Reed made a motion to approve the minutes. Vice Chairman Reyna
seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member Reed, Commission
member LaMar, and Commission member Smith

NAYS –

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

4. **REPORTS** - Actions taken by City Council on Planning Commission.

**Stephen reported advised there was nothing to report*
5. **PUBLIC HEARING –** To consider a request to rezone Parcel #150920054 located at approximately 2817 S
2700 W from A-2 to R-2.

**Amy gave a brief summary. The applicant is wanting to change the zone from A-2 to R-2 to separate the 0.47 acres of the back of the lot so they can build a single-family dwelling. There is a single-family dwelling currently on the lot, the second proposed home would have to be a flag lot. The rezone does conform with the General Plan Map.*

Caleb/Chasitee Isom/Applicant(s) were present.

Caleb Isom wants to split the lot because one and half acres is a lot to take care of, so they would like to split the lot.

Chaistee Isom – stated they wanted to split the lot because it is a lot of land to care for. The home was up for sale because it was too much to take care of and they were just going to move until they were advised they could split the lot and be able to stay in there home.

Commission member Reed made a motion to enter into Public Hearing. Commission member Stimpson seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member Reed, Commission member LaMar, and Commission member Smith

NAYS –

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

**Carolyn Faldalen/2787 S 2700 S stated that she is about an acre away from this parcel. She is not to excited about having the lot split off like that. With his house being so far back she believes another home would not fit on that lot. She is also concerned about the slough being right there and access to that lot.*

Commission member Reed made a motion to leave into Public Hearing. Commission member LaMar seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member Reed, Commission member LaMar, and Commission member Smith

NAYS –

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

**Stephen advised the Planning Commission that they recently did a survey and it didn't have any easements recorded for the slough access, however it doesn't mean there isn't a prescriptive easement on the property to allow access. At this point they have not turned in any flag lot plans or design on how that will look. Stephen and the City Engineer did speak with them a couple of weeks ago before they filed the zone change to give a tentative look, and they will likely have enough lot space to make a flag lot.*

**Caleb Isom advised that from the slough to the home there is 37' feet. There is already road base and gravel. He mentioned that they had a survey completed of the property when the home was built, but not for the flag lot yet. They have not done a concept plan because they didn't want to spend to have that all completed if they weren't going to be able to make it work.*

**Commission member Reed is concerned about the access it needs to be a 20' wide minimum with a distance from the slough and how close it comes to the house is a little bit of a concern. The flag lot according to the code would need a separate access different from his.*

**Commission member LaMar wanted to know if there was a professional survey that had been completed.*

6. **DISCUSSION AND ACTION ON PUBLIC HEARING** - To consider a request to rezone Parcel #150920054 located at approximately 2817 S 2700 W from A-2 to R-2 (Applicant Caleb & Chasitee Isom).

Vice-Chairman Reyna made a to recommend to City Council to Approve the Caleb Isom and Chasitee Isom Rezone Application for Parcel 150920054, located at 2817 S 2700 W, West Haven, finding the application's request to rezone from A-2 to R-2 conforms with the General Plan. **Commission member Smith** seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, and Commission member Smith

NAYS – Commission member Reed, Commission member LaMar

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

**Stephen stated we would need a majority of the commission in order for a motion to carry. We would need 4 in favor of.*

Commission member LaMar made a recommend to Table the rezone request for Parcel 150920054, located at 2817 S 2700 W, and allow the applicants to remedy and approach the planning commission with a hand drawn sketch of how it would be laid out. **Commission member Reed** seconded the motion.

Commission member Smith seconded the motion.

AYES – Commission member Reed and Commission member LaMar.

NAYS – Chairman Roundy, Vice-Chairman Reyna, and Commission member Smith

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

**Amy stated that the vote died again.*

Vice-Chairman Reyna made a to recommend to City Council to Approve the Caleb Isom and Chasitee Isom Rezone Application for Parcel 150920054, located at 2817 S 2700 W, West Haven, finding the application's request to rezone from A-2 to R-2 conforms with the General Plan. **Commission member Smith** seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member Reed, Commission member LaMar, and Commission member Smith.

NAYS –

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

7. **DISCUSSION AND ACTION** - For a Preliminary Plat Map approval for Holiday Landing located at approximately 3525 W 4000 S Parcel # 080500141 (Applicant: Holiday Oil/Agent Preston Hansen & Cameron Rigby with Victory Builders).

**Stephen gave a brief summary that was original visited back in June 2024 where there was a discussion and the main concern at that time was the parking. The City Engineer has reviewed some of the items and some items will need to be updated. Fire Department reviewed and has given a preliminary approval of the site plan. He also went over what is recommended by staff.*

**Commission member Reed stated the ADA Parking is a big problem.*

**Tanner Hansen/Preston Hansen with Victory Builders the Agent for Holiday Oil were present.*

Commission member Reed made a motion to approve the preliminary plat map for Holiday Landing located at approximately 3525 W 4000 S, Parcel 08-050-0141 (Applicant Holiday Oil/Agent Preston Hansen & Cameron Rigby with Victory Builders subject to the conditions and recommendations in the staff report. **Vice-Chairman Reyna** seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member Reed, Commission member LaMar, and Commission member Smith

NAYS –

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

8. **DISCUSSION AND ACTION** - For a Preliminary Site Plan approval for Holiday Landing located at approximately 3525 W 4000 S Parcel # 080500141 (Applicant: Holiday Oil/Agent Preston Hansen & Cameron Rigby with Victory Builders).

**Stephen gave a brief summary of this development for flex space with several units with multiple uses. Planning Commission last met regarding this project on June 26, 2024 at which time they had some parking issues they needed to address.*

Staff recommendations are:

1. *The applicant needs to address each item within the engineering report as part of the construction drawings. Construction drawings must be approved by the City Engineer and other relevant staff members prior to final approval.*
2. *The applicant needs to provide the City the approvals/will service letters from UDOT, Hooper Water, Weber Basin, and West Haven Special Sewer District.*
3. *Access and traffic circulation should be reviewed by a professional engineer specializing in traffic engineering, and this review should be coordinated with the City and UDOT.*
4. *The monument sign can't exceed 50 sq. ft. The location of the sign needs to be added to the plan.*
5. *Plans need to be updated to show that 15% of the primary facades and 5% of the non-primary facades have upgraded architectural features.*
6. *The applicant is aware that even with final approval of the site plan, construction may not begin until a fully approved set of site construction documents is in place.*
7. *Provide accessible parking spaces and route closer to Building 2.*
8. *The final site plan cannot be approved until the final plat has been approved by the City.*
9. *Compliance with all other applicable State and City standards.*

**Commission member Reed addressed his concerns with the ADA parking that if a handicap customer was trying to get to building 2 the distance that they would have to walk to get to building 2 is unacceptable.*

**Amy advised the Planning Commission that a vote be needed to make an adjustment to the parking.*

Vice-Chairman Reyna made a motion to adjustment the parking requirement per code §157.634 for Unusual and Unique Conditions accounting for the use and type of building of the property as a flex building and to adjust that for a total of 78 parking spots. **Commission member LaMar** seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member LaMar, and Commission member Smith

NAYS – Commission member Reed

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

Vice-Chairman Reyna made a motion to grant preliminary site plan for Holiday Landing located at 3525 W 4000 S, Parcel 08-050-0141, subject to the conditions and comments listed within the staff report. **Commission member Smith** seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member LaMar, and Commission member Smith

NAYS – Commission member Reed

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

9. **DISCUSSION AND ACTION** – To review and consider a preliminary site plan application for an Office Machines Sales and Service, located at approximately 1750 W 1700 S, Parcel #15-064-0059.

**Stephen gave a summary of this project indicating that this building would be the headquarters for a business that specializes in security and surveillance hardware and security equipment. Stephen and the City Engineer had met earlier with the applicant. The concerns that staff had were access off the public road. Most of these issues will be addressed as staff reviews the full construction drawings.*

**Chad Barnett/Owner, Scott Wilding/Lawyer, Kevin Devries/Project Manager*

**Mr. Devries advised the commission that all utility will serve letters have been compiled.*

Staff's conditions for approval are:

- 1. The applicant must address access concerns by providing a traffic analysis by a licensed engineer and a recommendation from an engineer about the access route to the site. The applicant will need to give all easement paperwork to the City for review. The applicant will make the required changes to access to the site, as per the traffic analysis and staff review.*
- 2. The applicant will need to provide construction drawings by a licensed engineer to address the engineering and planning comments.*
- 3. Plans need to be updated to show that 15% of the primary façade and 5% of the non-primary facades have upgraded architectural features.*
- 4. The applicant will need to provide an updated full landscape plan, including showing that the landscape will reach 50% coverage.*
- 5. The applicant must demonstrate that at least 5% of the parking area is landscaped.*
- 6. Compliance with all City and State Standards.*

Commission member Reed made a motion to grant preliminary site plan approval for an Office Machines Sales and Service, Parcel 150640059, in West Haven, subject to the conditions recommended by staff in the staff report, including the applicant performing a traffic analysis to be submitted to the City Engineer with construction drawings. **Commission member LaMar** seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member Reed, Commission member LaMar, and Commission member Smith

NAYS –

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

10. **ADJOURNMENT**

Meeting adjourned at 8:43pm.

Commission member Smith made a motion to adjourn. Commission member Reed
seconded the motion.

AYES – Chairman Roundy, Vice-Chairman Reyna, Commission member Reed, Commission
member LaMar, and Commission member Smith

NAYS –

ABSENT/EXCUSED – Commission member Stimpson, Commission member Galt

Rebyn VanCampen

Deputy City Recorder

Date Approve:

Planning Commission
Staff Review Memo

April 23, 2025



HOME OCCUPATION BUSINESS- CONDITIONAL USE

Request: Approval of Conditional Use Permit for a Home Occupation for Happy Heating and Cooling

Property Address: 3621 S 4700 W Parcel 085980008

Property Zone: R-2

Property Size: 0.66 acres

Applicant: Matthew Christensen

Governing Document(s): WHZC Chapter 157.520 – Conditional Use Standards

Decision Type: Administrative

Staff Recommendation: See comments under “Staff Review”

Background

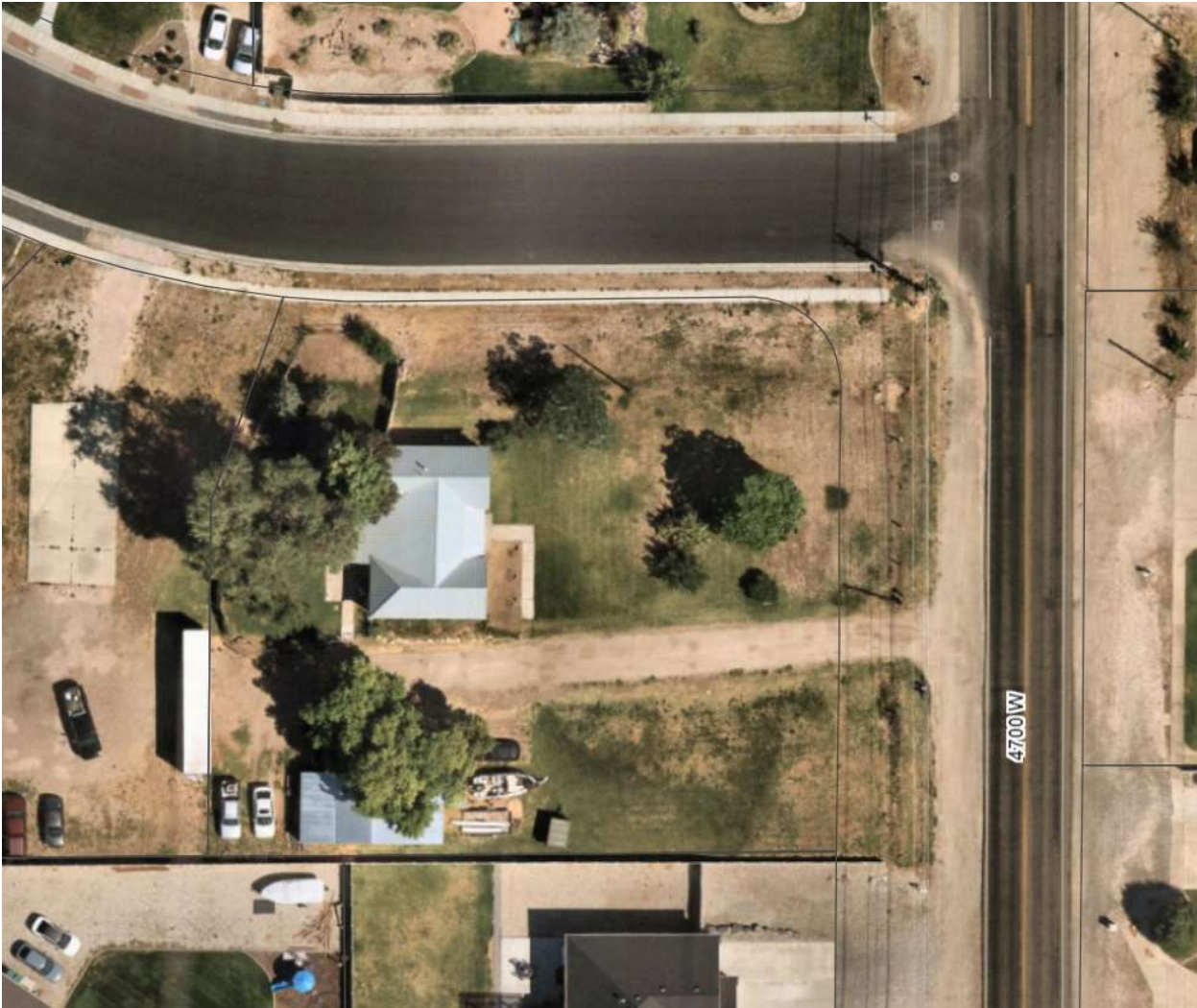
The applicant is seeking approval for a conditional use to be able to operate a home occupation business at their residence. The applicant is seeking to run an HVAC Business, Happy Heating and Cooling. The reason the property owner needs a conditional use permit for the business is that he is planning on storing some equipment in a shed on the property. **§ 157.881 USE** indicates that if a home occupation plans on using “any accessory building, garage, yard space outside the main building”, the applicant “shall apply for a conditional use permit from the Planning Commission.”

Staff Review

The following standards from Chapter 157.520, “Conditional Use Standards” (online version), apply to this request. Staff’s evaluation of the criteria is in *italics* below the standard.

- (A) **General plan.** The proposed use conforms to policies of the city’s general plan.
This property is zoned as R-2 and the General Plan Map has this property as 2 Units per Acre.
- (B) **Site design.** The use is well-suited to the character of the site and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area.
The applicant is planning on using the shed on his property. When staff asked the applicant about the storage, he provided in an email:

"The storage will be in the barn/shed on the south side of the property. We will be mainly storing sheet metal materials like ductwork and residential equipment like furnace and air conditioners for short periods of time like 1 day or overnight."
-Matthew Christensen April 2, 2025.



- (C) **Access.** Access to the site avoids traffic and pedestrian conflicts and does not unreasonably impact the service level of any adjacent street.

There is adequate access to the site. This use will not provide an access conflict.

- (D) **Circulation.** On-site vehicle circulation and truck loading areas mitigate adverse impacts on adjacent property.

There is no issue with site circulation. There are no employees, and the applicant has told staff in an email that there will be no customers visiting his home, stating:

"The one customer at a time was a misunderstanding. We will have no customers at the office. We will be going out to the customers houses."
-Matthew Christensen April 2, 2025.

- (E) **Parking.** The location and design of off-street parking complies with standards of this subchapter.

The applicant has told staff there will be one work vehicle, which will be parked back by the shed on the property. West Haven Code requires:

§ 157.882 REQUIRED CONDITIONS.

(E) All business-related vehicles must be parked behind the front plane of the home, in a garage or on a non-permeable surface and not on the street.

- (F) **Refuse collection.** The locations and design of the refuse collection areas are not likely to create an adverse impact on the occupants of adjoining property.

Locations of "refuse location" are not a concern.

- (G) **Utility services.** Utility capacity supports the use at normal service levels.

There is not an issue with utility service levels to the home.

- (H) **Screening.** The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts. Fencing, screening, and landscape treatments and other features increase the attractiveness of the site and protect adjoining property owners from noise and visual impacts.

There are no issues with screening if all items are stored within the accessory building. There is also vinyl fencing along the south property line.

- (I) **Operating hours.** The hours of operation of the use and delivery of goods are not likely to adversely affect surrounding uses.

The operating hours are Monday-Friday 8am-4pm. Our code requires that no home occupation operate between 10pm-7am.

- (J) **Signs.** Sign size, location, and lighting are compatible with, and do not adversely affect, surrounding uses.

There are no proposed signs currently.

- (K) **Public services.** Public facilities such as streets, water, sewer, storm drainage, public safety, and fire protection are adequate to serve the use.

Staff is unaware of any problems with any of the utility services or other public services needed to support the use.

- (L) **Environmental impact.** The use does not significantly adversely affect the quality of surrounding air and water, encroach into a waterway or drainage area, or introduce any hazard to the premises or any adjacent property.

This use will not cause any environmental impact.

- (M) **Nuisance.** Operation of the use is unlikely to create any nuisance from noise, vibration, smoke, dust, dirt, odor, noxious matter, heat, glare, electromagnetic disturbance, or radiation. Activities which noticeably produce excessive foot and vehicular traffic, parking, sounds or noises, lighting, vibration, or anything that is uncommon to the established character of the surrounding area to such a degree to constitute a nuisance, as defined at Utah Code §78B-6-1101, to the residents of the immediate area, as determined by the Planning Commission.

Utah Code defines a nuisance as “anything that is injurious to health, indecent, offensive to the senses, or an obstruction to the free use of property, so as to interfere with the comfortable enjoyment of life or property.”

There should be no nuisance to the neighbors since it is office work and all inside the residence.

In addition to the normal Conditional Use Permit Considerations, the Home Occupation Conditional Use Permit requires the Planning Commission to also consider the following:

- (a) Will the business produce, or be likely to produce, noise, odors, dust or smoke that extends beyond the property?

The application is unlikely to cause any noise, odors, dust, or smoke extending beyond the property.

- (b) Will the business produce, or be likely to produce, vehicular traffic such that it becomes a nuisance or a hazard?

No, since there will be no employees or customers reporting to the home.

- (c) If the business uses, produces or stores hazardous chemicals, as defined in UCA § 19-6-302, has a plan been presented which addresses how such chemicals will be used, produced or stored, and is said plan in compliance with all relevant federal, state and local ordinances regarding chemicals?

When talking to the applicant, they stated they will keep the refrigerant and coil cleaners in the work van. Most refrigerants and AC Coil Cleaners are not explicitly listed under the referenced act.

Staff Conclusions

Staff recommends approving the conditional use permit with the following conditions:

- 1- All equipment and inventory should be stored inside the accessory building or home, not outside.
- 2- Any storage of chemicals must comply with state and federal law.
- 3- Any violations of the West Haven City nuisance ordinance may result in revocation of the business license and conditional use permit.
- 4- Any additional condition that the Planning Commission is proposing.

Suggested Motion

"Motion to approve the Conditional Use application for Happy Heating and Cooling home occupation business located at 3621 S 4700 W, West Haven, with the conditions outlined in the staff report."



CONDITIONAL USE PERMIT APPLICATION

West Haven Planning Commission
4150 S 3900 W West Haven, UT 84401
801-731-4519

Purposed Use: HVAC Storage @ Existing Shed on our property

Property Address	<u>3621 S 4700 W</u>	Parcel #	_____
Existing Zone	<u>Shed</u>	No. of Acres or Sq Ft.	<u>Our property 1.66 acres</u> <u>But not all for business</u>
Building Sq Ft.	<u>1040 sq ft</u>	# Res. Units	_____
		Building Height (stories & ft.)	<u>2 stories 22 ft</u>

***Items Needed:** A site plan must be provided with the application. If a sign is requested, please attach a photo to the application. If there is landscaping involved in the request, please attach a site plan for the landscaping to this application.

Please answer the following questions below:

- Is the proposed use necessary or desirable to provide a service or facility which will contribute to the general well-being of the community? ☒ Yes ☐ No

If yes, please answer the following 2 questions:

1. Describe how the use will be necessary or desirable to provide a service or facility to the community? Just Basic Storage Short term mostly

2. Describe how the use will contribute to the general well-being of the community?
It will make it easier for us to serve the community

- Will the proposed use be detrimental to the health, safety, and general welfare of persons in our community? ☐ Yes ☒ No
- Will the proposed use be injurious to property or improvements to the community? ☐ Yes ☒ No
- Will the proposed use be compatible with and complimentary to the existing surrounding uses, buildings, and structures? ☒ Yes ☐ No

If yes, please answer the following questions about the proposed use in the proposed area:

- Will the proposed use generate traffic in the area?
☐ Yes, how much is anticipated _____ ☒ No
- Will the proposed use have an impact on parking in the area?
☐ Yes, how much is anticipated _____ ☒ No

- Will the proposed use be compatible with the building and structure designs in the area?
☒ Yes ☐ No
- Will the proposed use be compatible with the building and structure uses in the area?
☒ Yes ☐ No
- Will the proposed use be compatible with landscaping and signs in the area?
☒ Yes ☐ No

- Will the proposed use conform to the goals, policies, and governing principles and land use of the Master Plan for the City of West Haven? ☒ Yes ☐ No
- Will the proposed use lead to the deterioration of the environment or ecology in the general area? ☐ Yes ☒ No
- Will the proposed use produce conditions or emit pollutants? ☐ Yes ☒ No
If yes, what type of pollutant shall be emitted or produced and how would they be disposed of or mitigated. _____
- Will such conditions or pollutants have a possible detrimental effect on the operation of existing uses of surrounding public and private properties in the immediate vicinity or the area as a whole? ☐ Yes ☒ No

If yes, please explain: _____

Owners/
 Business Name: Happy Heating and Cooling Phone # 801 388 8081
 Address: 3621 South 4700 West City West Haven State Utah Zip 84401
 Email Address: HeatingandCoolinghappy@gmail.com

If an Agent will be representing you, please complete the information below

Agents Name: _____ Phone: _____
 Address: _____ City _____ State _____ Zip _____
 Email Address: _____
 Signature: _____ Date: _____
 (Owner/Petitioner)

I authorized _____ to act as my representative in all matters relating to this
 (Owner) _____ (Agent) _____

State of Utah

§

County of _____

On this _____ day of _____, in the year 20____, before me, a notary public, personally appeared
 _____, proved on the basis of satisfactory signer evidence to be the person(s)
 (Name of Document)
 (is/are) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) execute the same.

Witness my hand and official seal.

Conditional Use Permit Fee's:

City Review Fee \$100.00, plus
 \$10.00 (1-5 acres)
 \$20.00 (5.01 + acres)

Amount Due: _____

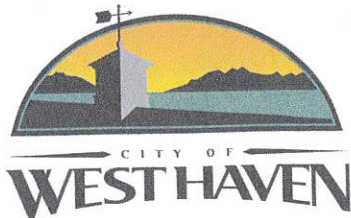
Date Paid: _____

Office Use Only

Schedule for Planning Commission for: _____

Date Approved: _____ Denied: _____

Conditions of Approval: _____



BUSINESS LICENSE APPLICATION

4150 South 3900 West ~ West Haven, UT 84401

Phone: (801) 731-4519 Fax: (801) 731-1002

Business Status: ☒ New Business ☐ Renewal ☐ Location Change ☐ Ownership Change

Date your business is opening: 04-04-2025

Federal EIN# 33-2214857
(if you have employees)

State sales tax# 16157896-003-STC

State License# 14209338-5501

(If you are a retail business-Please attach copy of your certificate)

REGISTERED BUSINESS NAME: Happy Heating and Cooling

DBA: _____

BUSINESS LOCATION: Physical Address: 3621 South 4700 West

Mailing Address: 3621 South 4700 West

City, State, and Zip: West Haven, Utah, 84401

CONTACT INFO:

Business Phone: 801-388-8081 Alternate Phone: 435-513-1182

Business email: heatingandcoolinghappy@gmail.com

Manager's Name: Matthew Christensen

Owner's Name: Matthew Christensen Phone# 435-513-1182

Owner's Address: 3621 South 4700 West

Is this building or property leased or rented? Yes _____ No X

If yes, Owners Name _____ Phone# _____

Address _____

TYPE OF BUSINESS: ☒ Home Occupation ☐ Home Daycare (Level 1) ☐ Home Daycare (Level 2) ☐ Daycare (non-residential) ☐ Preschool
☐ Preschool (non-residential) ☐ Regular/Minor ☐ Major ☐ Big Box/Plaza's/Market ☐ Temporary (1-30 days)

Hours of Operation: Standard- Monday - Friday 8am-4pm

Describe your Business in detail: We are a Small HVAC bussiness that mainly works on residential systems, we do our business at the customers location

IF HOME OCCUPATION PLEASE ANSWER THE FOLLOWING:

Do you have employees ☐ Yes ☒ No If yes how many _____

Does your occupation require alterations to your building ☐ Yes ☒ No Explain _____

Will your occupation use any structures other than the dwelling ☒ Yes ☐ No If yes describe Storage

Will you use more than 10% of your home for your business ☐ Yes ☒ No

Will there be more than one business at this address ☐ Yes ☒ No

How many customers at one time 1

Will your business have "home parties", if yes how many per month ☐ Yes ☒ No _____

Will your occupation attract customers or clients ☐ Yes ☒ No

Will there be off premises or street parking of tractor trailers, semi-trucks or other heavy equipment ☐ Yes ☒ No Specify _____

Will there be signage ☐ Yes ☒ No If yes attach photo

Will there be more than 4 clients at one time ☐ Yes ☒ No If yes how many _____

Will your business be producing electrical interference, smoke, dust, odors, or heat ☐ Yes ☒ No

Will your business produce excessive noise, light or vibrations ☐ Yes ☒ No

Will your business produce foot and/or vehicular traffic ☐ Yes ☒ No

Will you have retail sales of good produced off premises ☐ Yes ☒ No

APPLICANT'S AGREEMENT

This form is an application for a Business License. The actual license will be issued only when the business is found to be in compliance with all local, state, and federal building codes and zoning ordinances and all inspections are completed and approved by the necessary entities.

I, the undersigned, hereby agree to conduct said business strictly in accordance with all West Haven City codes governing such business, and swear under penalty of law that the information contained herein is complete, truthful and accurate to the best of my knowledge and current belief. I also acknowledge the responsibility to renew the business license before January 1st. If the renewal fee is not paid before February 1st, a penalty fee of 50% of the total licensing fee shall be due.

Applicant Signature: Matthew Lane Christensen

Date: 3-29-2025



CONDITIONAL USE PERMIT APPLICATION

West Haven Planning Commission
4150 S 3900 W West Haven, UT 84401
801-731-4519

Purposed Use: Small dealer for used and classic cars Restoration

Property Address	<u>4608 S 3500 W</u>	Parcel #	<u>B</u>
Existing Zone		No. of Acres or Sq Ft.	<u>3600 sqf</u> # Res. Units <u>B</u>
Building Sq Ft.	<u>3,600 sqf</u>	Building Height (stories & ft.)	<u>21' hght. 1 story</u>

***Items Needed:** A site plan must be provided with the application. If a sign is requested, please attach a photo to the application. If there is landscaping involved in the request, please attach a site plan for the landscaping to this application.

Please answer the following questions below:

- Is the proposed use necessary or desirable to provide a service or facility which will contribute to the general well-being of the community? ☒ Yes ☐ No

If yes, please answer the following 2 questions:

- Describe how the use will be necessary or desirable to provide a service or facility to the community? will help to restore any used cars in need for everyone
 - Describe how the use will contribute to the general well-being of the community? will provide help to any customer to fulfill their cars need
- Will the proposed use be detrimental to the health, safety, and general welfare of persons in our community? ☐ Yes ☒ No
 - Will the proposed use be injurious to property or improvements to the community? ☐ Yes ☒ No
 - Will the proposed use be compatible with and complimentary to the existing surrounding uses, buildings, and structures? ☒ Yes ☐ No

If yes, please answer the following questions about the proposed use in the proposed area:

- Will the proposed use generate traffic in the area?
☐ Yes, how much is anticipated _____ ☒ No
 - Will the proposed use have an impact on parking in the area?
☐ Yes, how much is anticipated _____ ☒ No
- Will the proposed use be compatible with the building and structure designs in the area?
☒ Yes ☐ No
 - Will the proposed use be compatible with the building and structure uses in the area?
☒ Yes ☐ No
 - Will the proposed use be compatible with landscaping and signs in the area?
☒ Yes ☐ No

- Will the proposed use conform to the goals, policies, and governing principles and land use of the Master Plan for the City of West Haven? ☒ Yes ☐ No
- Will the proposed use lead to the deterioration of the environment or ecology in the general area? ☐ Yes ☒ No
- Will the proposed use produce conditions or emit pollutants? ☐ Yes ☒ No
If yes, what type of pollutant shall be emitted or produced and how would they be disposed of or mitigated. _____
- Will such conditions or pollutants have a possible detrimental effect on the operation of existing uses of surrounding public and private properties in the immediate vicinity or the area as a whole? ☐ Yes ☒ No

If yes, please explain: _____

Owners/

Business Name: Nestor A Cornejo

Phone # 801-500 3011

Address: 5084 S 1100 E

City South Ogden State UT Zip 84403

Email Address: laloflores201240@yahoo.com

If an Agent will be representing you, please complete the information below

Agents Name: Eduardo Flores

Phone: (801) 500-3011

Address: 374 W 5050 S

City Ogden State UT Zip 84405

Email Address: laloflores201240@yahoo.com

Signature: _____

Date: 02/04/2025

(Owner/Petitioner)

I authorized Eduardo Flores

to act as my representative in all matters relating to this

(Owner) _____

(Agent) _____

State of Utah

County of § Weber

On this 02 day of 04, in the year 2025, before me, a notary public, personally appeared

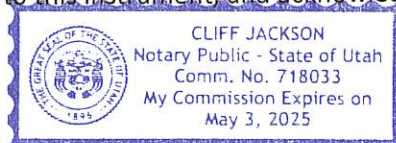
Nestor A. Cornejo

(Name of Document)

, proved on the basis of satisfactory signer evidence to be the person(s)

(is/are) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) execute the same.

Witness my hand and official seal.



Conditional Use Permit Fee's:

City Review Fee \$100.00, plus
 \$10.00 (1-5 acres)
 \$20.00 (5.01 + acres)

Amount Due: _____

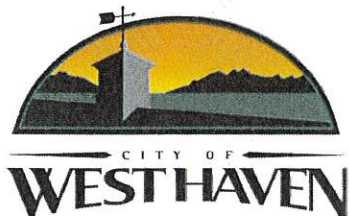
Date Paid: _____

Office Use Only

Schedule for Planning Commission for: _____

Date Approved: _____ Denied: _____

Conditions of Approval: _____



BUSINESS LICENSE APPLICATION

4150 South 3900 West ~ West Haven, UT 84401

Phone: (801) 731-4519 Fax: (801) 731-1002

Business Status: ☒ New Business ☐ Renewal ☐ Location Change ☐ Ownership Change

Date your business is opening: 03/01/2025

Federal EIN# 33-3434264
(if you have employees)

State sales tax# _____

State License# _____

(If you are a retail business-Please attach copy of your certificate)

REGISTERED BUSINESS NAME: Truck King Auto Shop.

DBA: _____

BUSINESS LOCATION: Physical Address: 4608 S 3500 W West Haven

Mailing Address: same

City, State, and Zip: West Haven UT 84401

CONTACT INFO: Business Phone: 801-500-304 Alternate Phone: _____

Business email: _____

Manager's Name: Eduardo Flores.

Owner's Name: Eduardo Flores. Phone# 801-500-3011

Owner's Address 374 W 5050 S Ogden UT 84405

Is this building or property leased or rented? Yes ☒ No ☐

If yes, Owners Name Bob Pettigrew Phone# 801-633-3865

Address 4608 S 3500 W

TYPE OF BUSINESS: ☐ Home Occupation ☐ Home Daycare (Level 1) ☐ Home Daycare (Level 2) ☐ Daycare (non-residential) ☐ Preschool
☐ Preschool (non-residential) ☒ Regular/Minor ☐ Major ☐ Big Box/Plaza's/Market ☐ Temporary (1-30 days)

Hours of Operation: 9:00 am to 5:00 pm

Describe your Business in detail: Small old classic dealer and car restoration

IF HOME OCCUPATION PLEASE ANSWER THE FOLLOWING:

Do you have employees ☐ Yes ☒ No If yes how many _____

Does your occupation require alterations to your building ☐ Yes ☒ No Explain _____

Will your occupation use any structures other than the dwelling ☐ Yes ☒ No If yes describe _____

Will you use more than 10% of your home for your business ☐ Yes ☒ No

Will there be more than one business at this address ☐ Yes ☒ No

How many customers at one time 1

Will your business have "home parties", if yes how many per month ☐ Yes ☒ No _____

Will your occupation attract customers or clients ☐ Yes ☐ No

Will there be off premises or street parking of tractor trailers, semi-trucks or other heavy equipment ☐ Yes ☐ No Specify _____

Will there be signage ☐ Yes ☐ No If yes attach photo _____

Will there be more than 4 clients at one time ☐ Yes ☐ No If yes how many _____

Will your business be producing electrical interference, smoke, dust, odors, or heat ☐ Yes ☐ No

Will your business produce excessive noise, light or vibrations ☐ Yes ☐ No

Will your business produce foot and/or vehicular traffic ☐ Yes ☐ No

Will you have retail sales of good produced off premises ☐ Yes ☐ No

APPLICANT'S AGREEMENT

This form is an application for a Business License. The actual license will be issued only when the business is found to be in compliance with all local, state, and federal building codes and zoning ordinances and all inspections are completed and approved by the necessary entities.

I, the undersigned, hereby agree to conduct said business strictly in accordance with all West Haven City codes governing such business, and swear under penalty of law that the information contained herein is complete, truthful and accurate to the best of my knowledge and current belief. **I also acknowledge the responsibility to renew the business license before January 1st. If the renewal fee is not paid before February 1st, a penalty fee of 50% of the total licensing fee shall be due.**

Applicant Signature: [Signature] Date: 02/20/25

Project Updates

1) 5/15/2023 - UPDATE PER CLIENT CHANGES.

Project Directory

DEVELOPER:
EME MECHANICAL
ATTN: BOB PETTIPAW
235 W PLYMOUTH AVE S #5
SALT LAKE CITY, UT 84115
PH: (801) 746-2828

SURVEYOR:
PROFESSIONAL LAND SURVEYING
ATTN: WILLIS LONG
1857 N 1000 W STE. 1
CLEARFIELD, UT 84015
PH: (801) 663-1641

CIVIL ENGINEER (PROJECT CONTACT):
HUNT DAY
ATTN: THOMAS HUNT, PE
3445 ANTELOPE DRIVE
SYRACUSE, UT 84075
PH: (801) 664-4724

ARCHITECT:
GARY HUNT, ARCHITECT
ATTN: GARY HUNT
1594 W PARK CIRCLE
OGDEN, UT 84404
PH: (801) 782-5055

Site Calculations

LOCATION: WEST HAVEN, WEBER COUNTY
ZONING: C-2 COMMUNITY COMMERCIAL

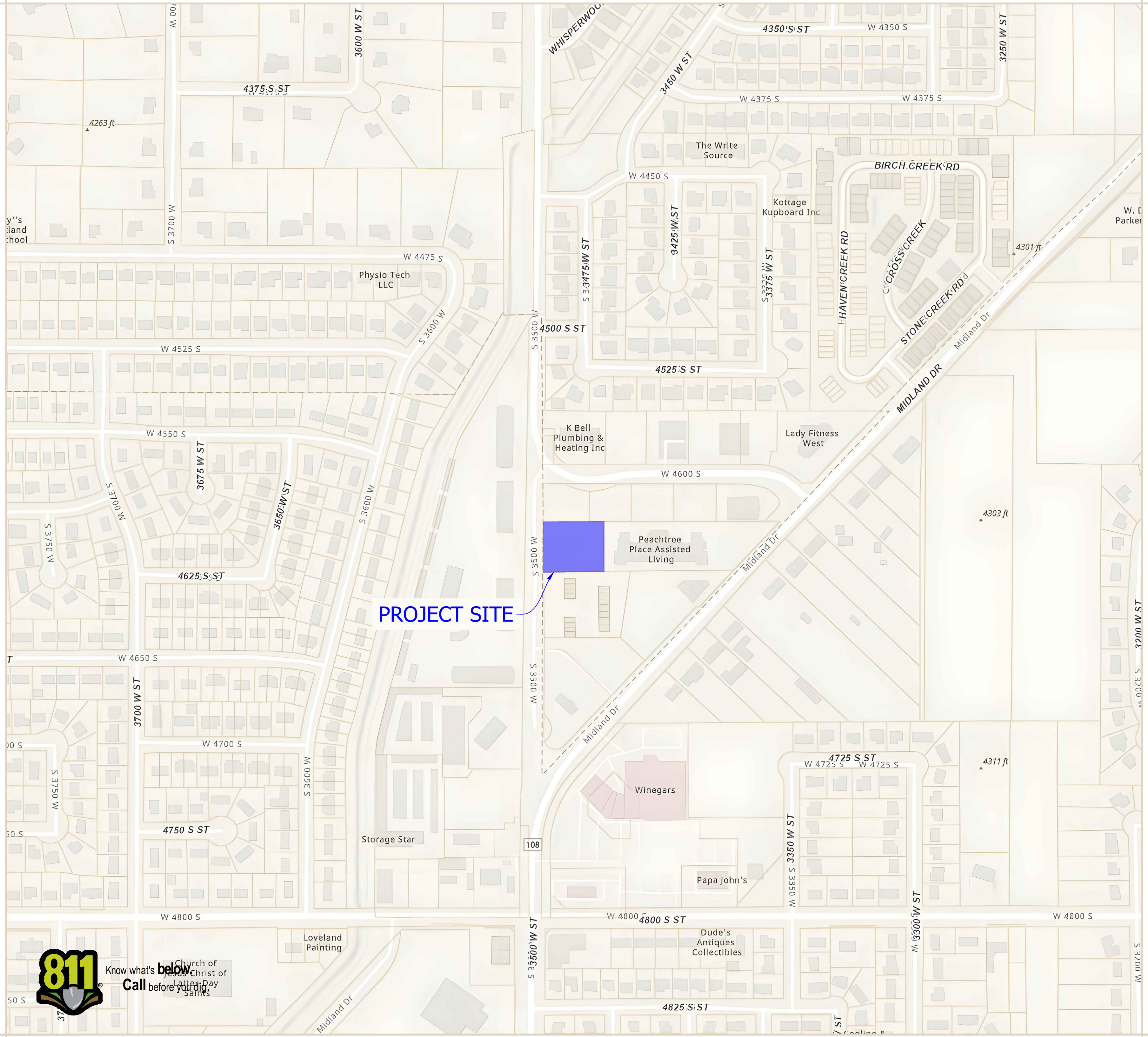
PROPERTY SIZE: 39,682 SF / 0.91 ACRES
BUILDING FOOTPRINT: 9,008 SF (22.7%)
HARD SURFACE AREA: 22,558 SF (56.8%)
LANDSCAPE AREA: 8,124 SF (20.5%)

CONSTR. TYPE: TYPE II-B
BUILDING HEIGHT: 26'-0"

PARKING: WAREHOUSE = 1 STALLS / 500 SF
5,932 / 500 = 12 STALLS REQ'D
OFFICE = 1 STALLS / 250 SF
3,068 / 250 = 12 STALLS REQ'D
24 STALLS REQUIRED
26 STALLS PROVIDED

EME Mechanical
CIVIL CONSTRUCTION SET

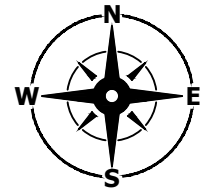
PARCEL# 08-458-0002
LOCATED IN SECTION 10, TOWNSHIP 5 NORTH,
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN
WEST HAVEN, WEBER COUNTY, UTAH
APRIL, 2023



Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

Vicinity Map
NOT TO SCALE



Sheet Index

- C001 - Cover Sheet
- C002 - Notes, Legend & Abbreviations
- C100 - Existing Conditions
- C200 - Site Plan
- C201 - Striping Plan
- C300 - Grading Plan
- C400 - Utility Plan
- C600 - Civil Details
- C601 - Civil Details
- C700 - SWPPP Exhibit
- C701 - SWPPP Details

Agency/Utility Contacts

COMMUNITY DEVELOPMENT
4150 S 3900 W
WEST HAVEN, UT 84401
PH: (801) 731-4519

ENGINEERING:
4150 S 3900 W
WEST HAVEN, UT 84401
PH: (385) 389-2684

FIRE DEPARTMENT:
ATTN: JARED TAYLOR
2023 W 1300 N
FARR WEST, UT. 84404
PH: (801) 782-3580

PUBLIC WORKS:
2825 W 3300 S
WEST HAVEN, UT 84401
PH: (801) 731-8882

SEWER PROVIDER:
WEST HAVEN SPECIAL SERVICE DISTRICT
ATTN: JON WALLACE
4150 S 3900 W
WEST HAVEN, UT 84401
PH: (801) 731-5819

WATER PROVIDER:
HOOPER WATER IMPROVEMENT DISTRICT
5555 W 5500 S
HOOPER, UT 84315
PH: (801) 985-1991

SECONDARY WATER PROVIDER:
WEBER BASIN WATER CONSERVANCY DISTRICT
PH: (801) 777-1677

POWER COMPANY:
PACIFICORP
PHONE: (888) 221-7070

Site Data

FLOOD INFORMATION
FLOOD ZONE DESIGN " ZONE X" PER F.E.M.A. FLOOD
INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS
49057C0425E, DATED 12/16/2005.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODPLAIN.

BENCHMARK INFORMATION
SOUTHWEST CORNER OF SEC 10, T5N, R2W SLB & M
ELEV = 4285.87'

UTAH STATE PLANE COORDINATE SYSTEM,
CENTRAL ZONE, NAD 83.
ELEVATION DATA NAVD 88
DISTANCES IN US SURVEY FEET (GRID).

GEOTECH REPORT
CMT TECHNICAL SERVICES
PROJECT NUMBER: 19486
DATED: DECEMBER 9, 2022
2796 S REDWOOD RD
WEST VALLEY CITY, UT 84119
PH: (801) 908-5859



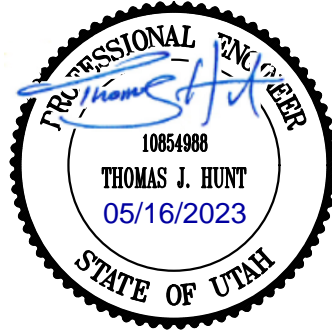
HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724



4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT

REVISIONS

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" = 100' IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT STATUS

Initial Submittal

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 01/ 02 / 2022
Proj. No. -

SHEET TITLE

Cover Sheet

SHEET NO.

C001

THOMAS C:\Users\Thomas.WD.000\Hunt Day Dropbox\Projects\103-02-EKE Mechanical\00-CAD\01-AutoCAD\EMEH1-2023.0515-VZ2.5\16/2023 12:41 PM

General Notes

1.0 COMPLIANCE

- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALTY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING:

- INTERNATIONAL BUILDING CODES (IBC)

- INTERNATIONAL PLUMBING CODES

- STATE DRINKING WATER REGULATIONS

- APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS

- ADA ACCESSIBILITY GUIDELINES.
- 1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

2.0 PERMITTING AND INSPECTIONS

- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2.2 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- 2.3 ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

3.0 COORDINATION AND VERIFICATION

- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 3.2 CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3.3 CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:

- LANDSCAPE PLANS

- SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)

- FIRE PROTECTION

- ARCHITECTURAL SITE PLANS

- ACCESSIBLE ROUTES

- ETC.
- 3.4 CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

4.0 SAFETY AND PROTECTION

- 4.1 CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- 4.2 CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- 4.3 CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OR WORKERS AND PUBLIC.
- 4.4 CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
- 4.5 CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- 4.6 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 4.7 CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- 4.8 CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- 4.9 CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- 4.10 CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- 4.11 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 4.12 CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- 4.13 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- 4.14 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

5.0 MATERIALS

- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR -1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION:

- SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.

- CONCRETE WATERWAYS, CURBWALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.

- UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.

- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) MIN. SUBGRADE.

- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN."

- ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
- 5.2 ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.

- ASPHALT COMPACTION SHALL BE A MINIMUM 96%.

- SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.

- AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.

- THICKNESS OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

6.0 GRADING & SOILS

- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- 6.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- 6.3 ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
- 6.4 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- 6.5 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- 6.6 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

7.0 UTILITIES

- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 7.2 CONTRACTOR TO VERIFY BY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES, NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 7.4 CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD, PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.6 SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- 7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- 7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- 7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

8.0 SURVEY CONTROL

- 8.1 CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
- 8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- 8.3 CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

9.0 AMERICAN DISABILITIES ACT

- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:

- ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.

- ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.

- RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- 9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- 9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

10.0 EROSION CONTROL

- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
- 10.2 CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
- 10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
- 10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- 10.5 ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

11.0 MAINTENANCE

- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.
- 11.2 THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
- 11.3 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
- 11.4 SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
- 11.5 ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED

- TRACKING STRAW PERPENDICULAR TO SLOPES

- INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Abbreviations

- BFE = BASEMENT FLOOR ELEVATION
- BLDG = BUILDING
- BOS = BOTTOM OF STAIRS
- BOW = BOTTOM OF WALL
- BP = BEGINNING POINT
- C&G = CURB & GUTTER
- CB = CATCH BASIN
- CF = CUBIC FEET
- CFS = CUBIC FEET PER SECOND
- FF = FINISH FLOOR
- FFE = FINISH FLOOR ELEVATION
- FG = FINISHED GRADE
- FH = FIRE HYDRANT
- FL = FLOW LINE
- GB = GRADE BREAK
- INV = INVERT
- LF = LINEAR FEET
- NG = NATURAL GRADE
- PC = POINT OF CURVATURE
- PP = POWER/UTILITY POLE
- PRC = POINT OF RETURN CURVATURE
- PT = POINT OF TANGENCY
- PUE = PUBLIC UTILITY EASEMENT
- RCP = REINFORCED CONCRETE PIPE
- RIM = RIM OF MANHOLE
- ROW = RIGHT-OF-WAY
- SD = STORM DRAIN
- SS = SANITARY SEWER
- TBC = TOP BACK OF CURB
- TOA = TOP OF ASPHALT
- TOC = TOP OF CONCRETE
- TOFF = TOP OF FINISHED FLOOR
- TOS = TOP OF STAIRS
- TOW = TOP OF WALL
- TSW = TOP OF SIDEWALK
- W = CULINARY WATER
- WM = WATER METER

Linetypes

- BOUNDARY
- CENTERLINE
- LOT LINE
- EASEMENT
- SETBACK
- SD+V

STORM DRAIN
- SS+V

SANITARY SEWER
- WC+V

CULINARY WATER
- SW+V

SECONDARY WATER
- RD+V

ROOF DRAIN
- GAS+V GAS+V GAS+V GAS+V GAS+V

GAS
- POWER
- EX+V+SD

EX STORM DRAIN
- EX+V+SS

EX SANITARY SEWER
- EX+V+W

EX CULINARY WATER
- EX+V+SW

EX SECONDARY WATER
- EX+V+GAS

EX GAS
- EX+FIBER

EX FIBER
- UGP

UGP
- OP

OP
- CHP

CHP
- 4355

CONTOUR MAJOR
- 4355

CONTOUR MINOR
- 4355

EXIST. CONTOUR MAJOR
- 4355

EXIST. CONTOUR MINOR
- FENCE

Hatching

- EXISTING BUILDING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT
- PROPOSED GRAVEL

Symbols

- SIGN
- STREET LIGHT
- LIGHT
- SD

SD MH, INLET, AND COMBO BOX
- SS

SEWER MANHOLE
- CLEAN-OUT
- +

VALVE, TEE, & BEND
- WATER BLOW-OFF
- WATER METER
- FIRE HYDRANT
- POWER POLE
- ELECTRICAL BOX
- TRAFFIC BOX
- TELEPHONE MANHOLE
- IRRIGATION VALVE
- PROP STREET MONUMENT
- EX STREET MONUMENT
- SECTION CORNER
- o XXXX.XX

SPOT ELEVATION

NOTE: DUPLICATE SYMBOLS USE SOLID FILL TO INDICATE WHETHER A FEATURE IS EXISTING OR PROPOSED.

Detail Identification

- DETAIL NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- Detail Name
- Scale: NTS
- SHEET NUMBER
- TYPICAL DETAIL NUMBER
- TYPICAL DETAIL NUMBER
- C13
- Typical Detail Name
- Scale: NTS
- TYPICAL DETAIL NUMBER
- SECTION LETTER
- SHEET NUMBER



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

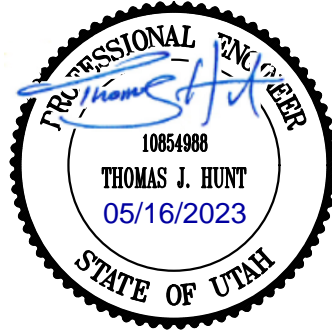


4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT

REVISIONS

REV.	DATE	DESCRIPTION
0	03-07-2023	INITIAL SUBMITTAL

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1" = 1' IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT STATUS

Initial Submittal

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked:
Date: 01/ 02 / 2022
Proj. No. -

SHEET TITLE

Notes,
Legend, &
Abbrev.

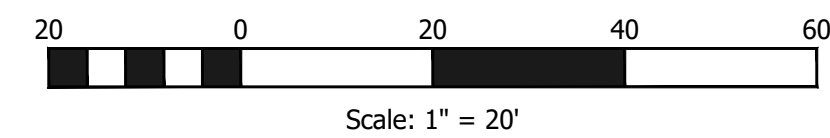
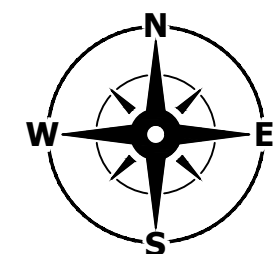
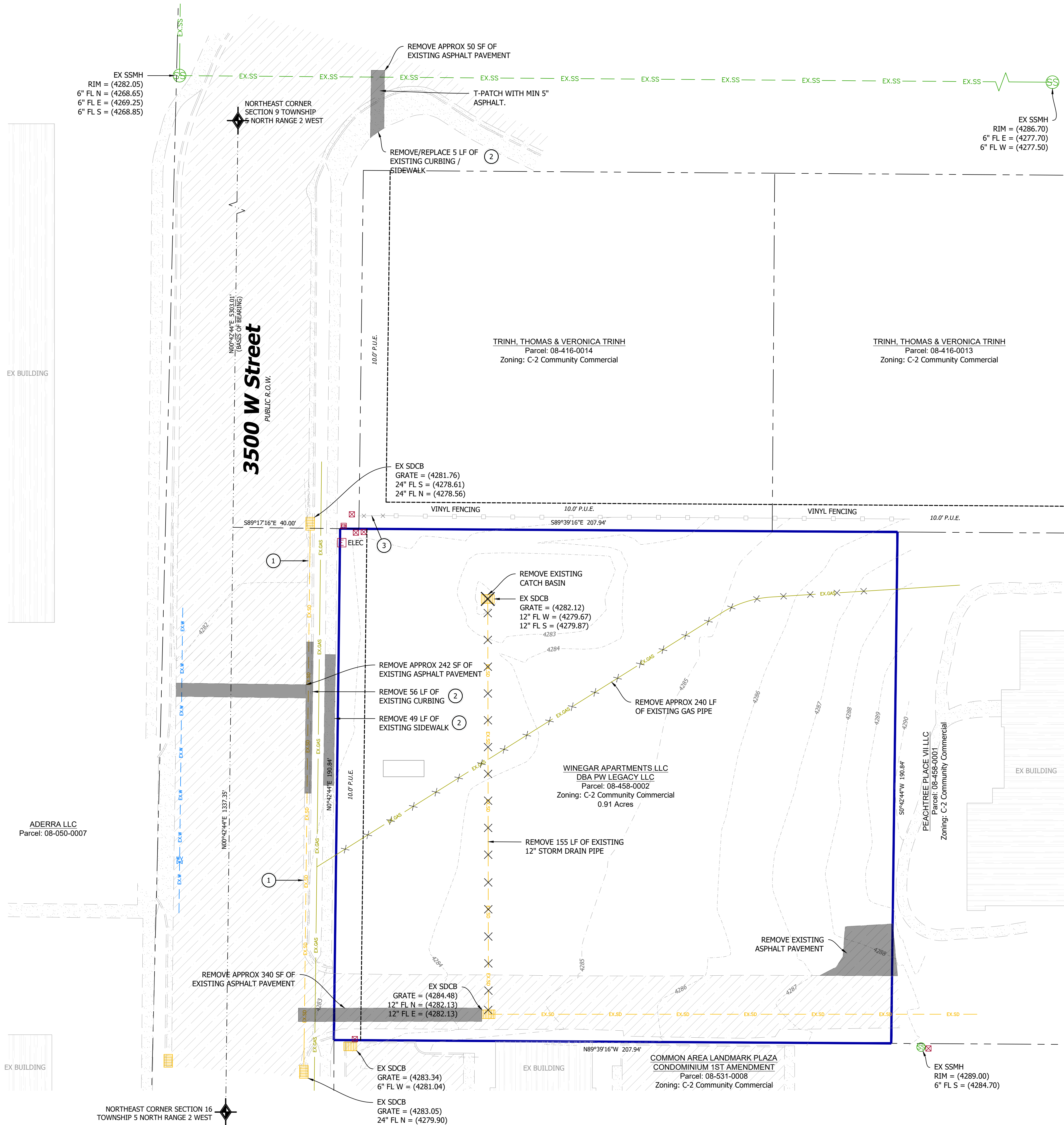
SHEET NO.

C002

THOMAS C:\Users\Thomas.WD\OneDrive\Projects\103-02-EKE Mechanical\103-CAD\01-AutoCAD\DWG\103-02-EKE Mechanical\103-CAD\01-AutoCAD\DWG\103-02-EKE Mechanical.dwg 5/16/2023 12:41 PM



Know what's below.
Call before you dig.



Street Cut Requirements

1. ALL PERMITS MUST BE TAKEN OUT WITH THE CITY PRIOR TO ANY WORK IN EXISTING PUBLIC RIGHT-OF-WAY
2. SAW CUT ASPHALT SURFACE ON ANY CONNECTION THAT DISTURBS EXISTING ASPHALT PRIOR TO PLACING NEW ASPHALT.
3. ALL ASPHALT CUTS AND TRENCHES SHALL HAVE AN ASPHALT SURFACE PLACED IMMEDIATELY AFTER COMPLETION OF WORK AND AN OVERLAY SHALL BE PLACED LATER, AFTER SETTLEMENT HAS COMPLETED (APPROXIMATELY SIX MONTHS).
4. SPECIAL INSPECTIONS AND COMPACTION TESTING SHALL BE REQUIRED ON ALL ROAD CONSTRUCTION AT THE EXPENSE OF THE DEVELOPER.
5. ON ARTERIAL STREETS, THE CITY ENGINEER WILL PROVIDE A PAVEMENT DESIGN. LOCATION OF SIDEWALK AND CURB & GUTTER MAY VARY ON ARTERIAL STREETS PER DIRECTION OF THE CITY ENGINEER.

Key Notes

1. EXISTING SIDEWALK / CURB & GUTTER TO REMAIN, ANY DAMAGED SIDEWALK / CURB & GUTTER MUST BE REPLACED PER PLEASANT GROVE STANDARDS. MATCH EXISTING.
2. ALL SIDEWALK / CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT.
3. REMOVE SEGMENT OF EXISTING FENCE AS REQUIRED FOR SEWER LATERAL INSTALL. REPLACE IN KIND.

Legend

- = EXISTING FEATURE TO BE DEMOLISHED
- = AREA OF DEMOLITION

Benchmark and Datum

DESC: MON @ SW CORNER OF SEC 10
N: 3588401.20
E: 1485029.30
ELEV: 4285.87

UTAH STATE PLANE COORDINATE SYSTEM,
CENTRAL ZONE, NAD 83,
ELEVATION DATA NAVD 88
DISTANCES IN US SURVEY FEET (GRID).

Flood Zone

FLOOD ZONE DESIGN "UNSHADED ZONE X" PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 49057CD425E, DATED 12/16/2005.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

EME MECHANICAL
PROJECT TITLE
4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT

REVISIONS

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT STATUS

Initial Submittal

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 01/02/2022
Proj. No. -

SHEET TITLE

Existing Site Plan

SHEET NO.

C100



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

EME
MECHANICAL
PROJECT TITLE
4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT

REVISIONS

REV.	DATE	DESCRIPTION	BY
0	03-07-2023	INITIAL SUBMITTAL	TP

SEAL



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PROJECT STATUS

Initial Submittal

PROJECT INFO.

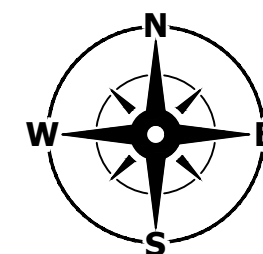
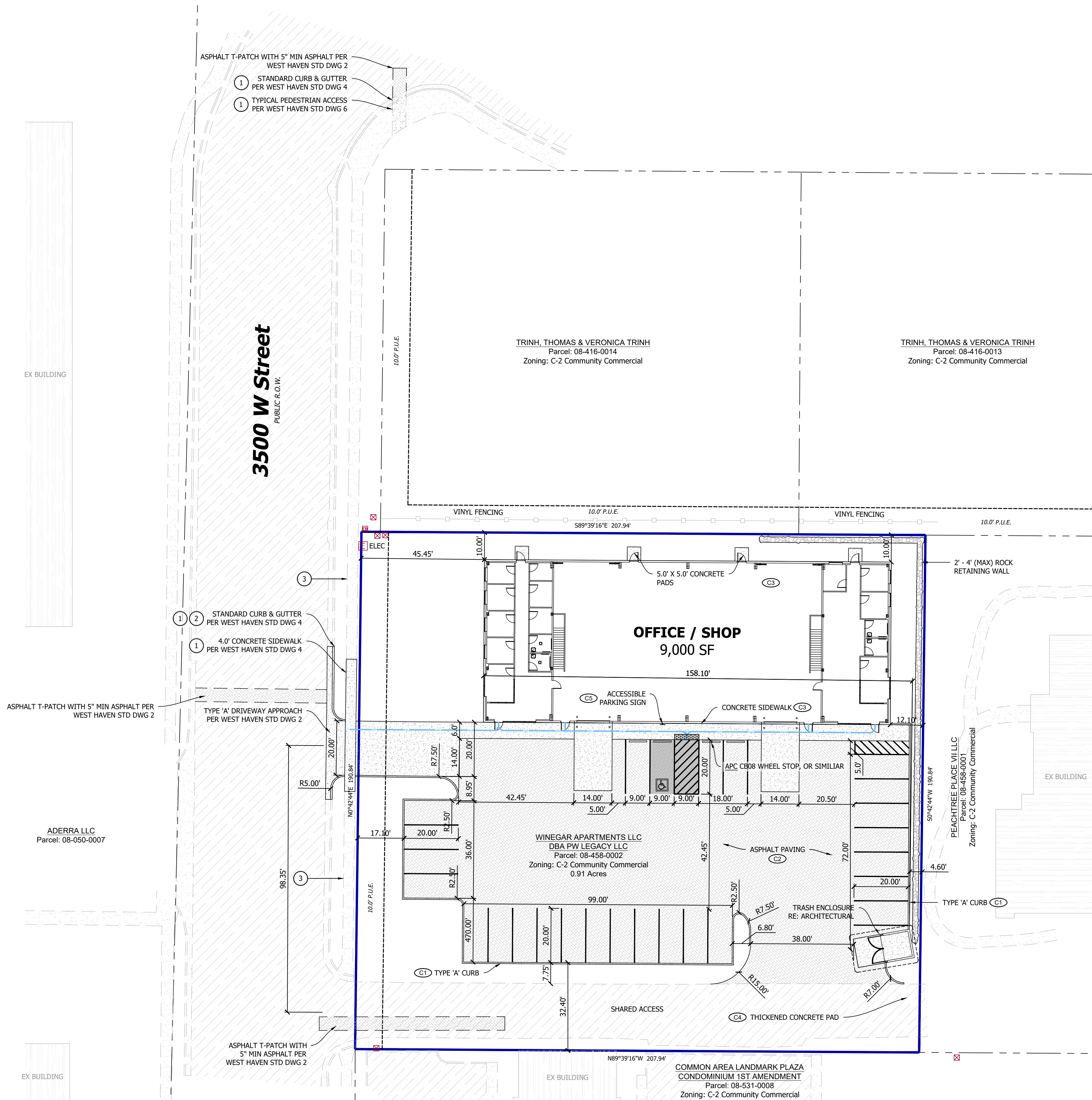
Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 01/02/2022
Proj. No. -

SHEET TITLE

**Proposed
Site Plan**

SHEET NO.

C200



Scale: 1" = 20'

Street Cut Requirements

- ALL PERMITS MUST BE TAKEN OUT WITH THE CITY PRIOR TO ANY WORK IN EXISTING PUBLIC RIGHT-OF-WAY
- SAW CUT ASPHALT SURFACE ON ANY CONNECTION THAT DISTURBS EXISTING ASPHALT PRIOR TO PLACING NEW ASPHALT.
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- SPECIAL INSPECTIONS AND COMPACTION TESTING SHALL BE REQUIRED ON ALL ROAD CONSTRUCTION AT THE EXPENSE OF THE DEVELOPER.
- ON ARTERIAL STREETS, THE CITY ENGINEER WILL PROVIDE A PAVEMENT DESIGN. LOCATION OF SIDEWALK AND CURB & GUTTER MAY VARY ON ARTERIAL STREETS PER DIRECTION OF THE CITY ENGINEER.

General Notes

- REFERENCE SHEET C300 / GRADING PLAN FOR CURB CATCH / SPILL LIMITS.

Key Notes

- ALL SIDEWALK / CURB AND GUTTER SHALL BE REPLACED TO THE NEAREST JOINT.
- PROPOSED CURB AND GUTTER TO ALIGN WITH EXISTING CURB AND GUTTER.
- EX-SIDEWALK, CURB, AND GUTTER ARE TO REMAIN. ANY DAMAGED SIDEWALK CURB, AND GUTTER MUST BE REPLACED PER PLEASANT GROVE STANDARDS. MATCH EXISTING.

Pavement Quantities

ASPHALT: 14,104 SF
CONCRETE: 3,835 SF

Legend

- ADA ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 4.5% OR CROSS SLOPE GREATER THAN 1.5%
- ADA AREA - NOT TO EXCEED SLOPE GREATER THAN 1.5% IN ANY DIRECTION

Site Data

LOCATION: WEST HAVEN, WEBER COUNTY
ZONING: C-2 COMMUNITY COMMERCIAL
LAND USE: WAREHOUSE / OFFICE

PROPERTY SIZE: 39,682 SF / 0.91 AC
BUILDING FOOTPRINT: 9,008 SF (22.7%)
HARD SURFACE AREA: 22,173 SF (55.9%)
LANDSCAPE AREA: 8,501 SF (21.4%)

CONSTR. TYPE: TYPE II-B
BUILDING HEIGHT: 28'-0"

PARKING: WAREHOUSE = 1 STALL / 500 SF
5,932 / 500 = 12 STALLS REQ'D
OFFICE = 1 STALL / 250 SF
3,068 / 250 = 12 STALLS REQ'D
24 STALLS REQUIRED
26 STALLS PROVIDED

Notice To Contractors

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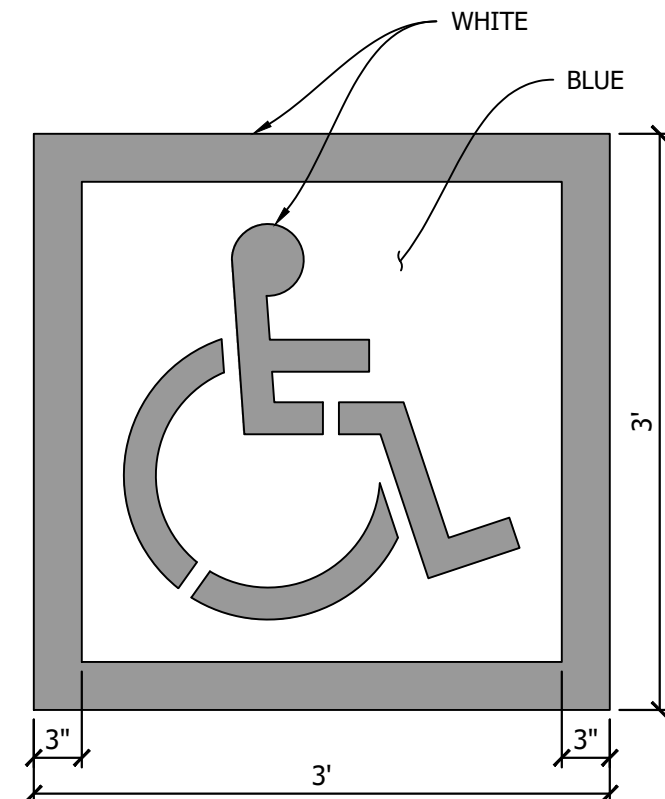
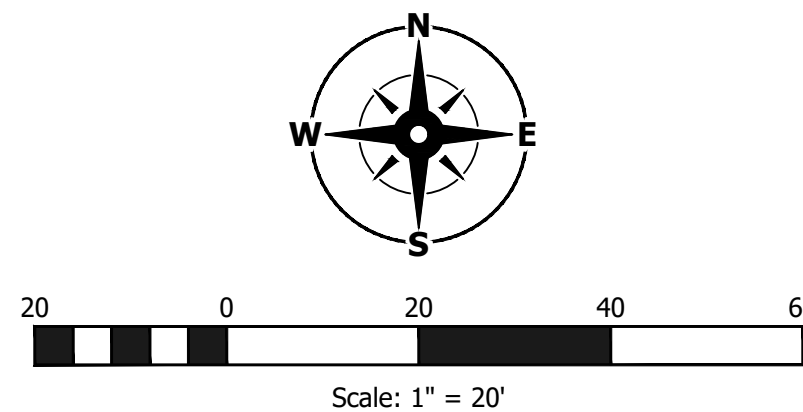
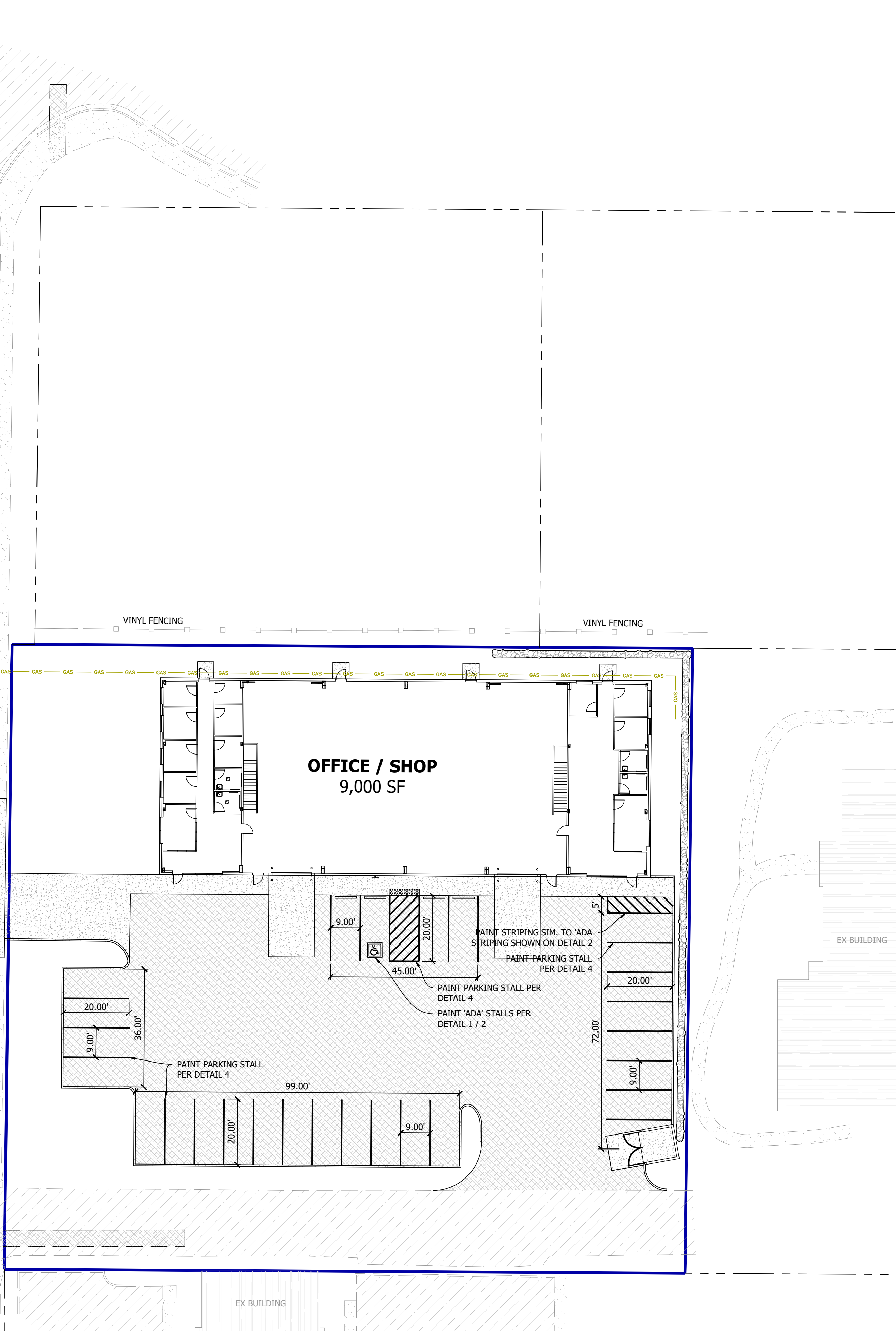
Know what's below.
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EX BUILDING

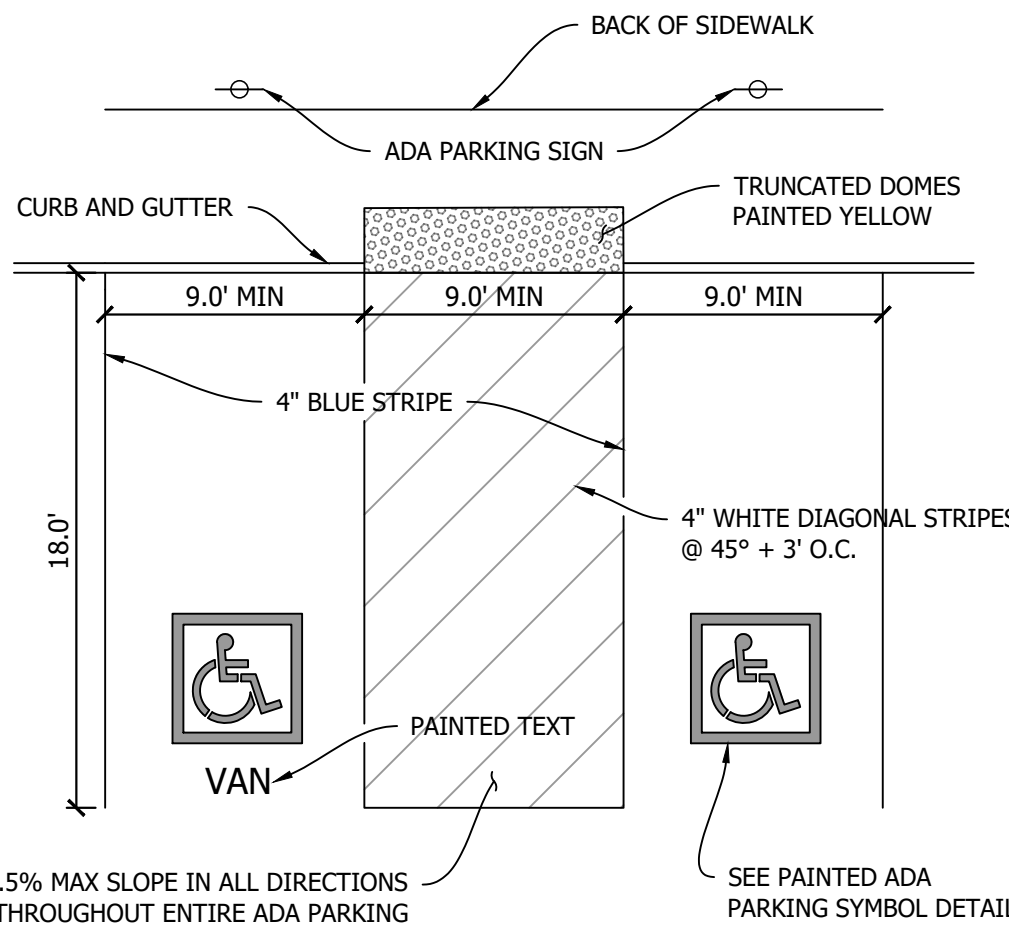
EX BUILDING

3500 W Street
PUBLIC R.O.W.



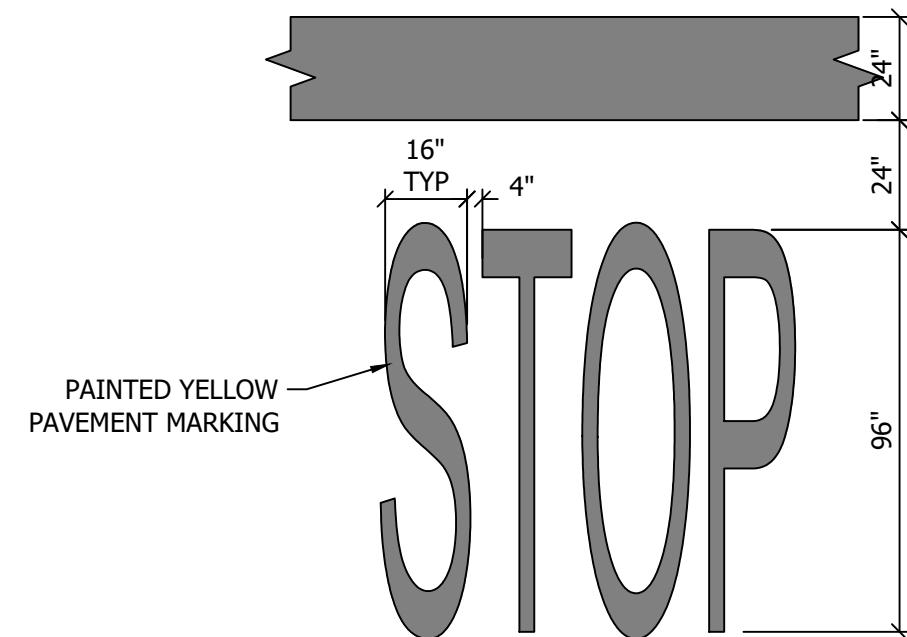
- NOTES:
- LOCAL JURISDICTION MAY HAVE MORE STRINGENT REQUIREMENTS THAT SHALL BE VERIFIED AND ADHERED TO.
 - PROVIDE TWO COATS OF PAINT
 - BLUE BACKGROUND WITH WHITE SYMBOL

1 ADA Sybmol
Scale: NTS

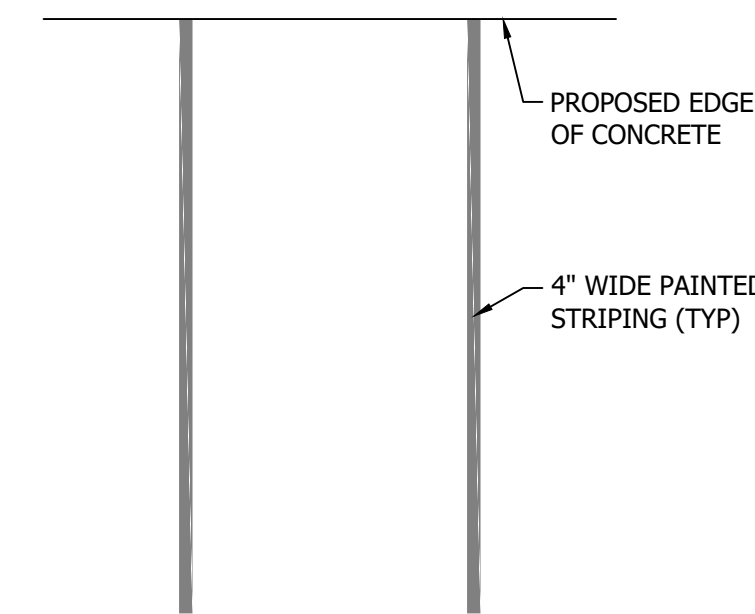


- 1.5% MAX SLOPE IN ALL DIRECTIONS
THROUGHOUT ENTIRE ADA PARKING
STALL(S) AND ACCESS AISLE(S)
- NOTE: LOCAL JURISDICTION MAY HAVE MORE STRINGENT REQUIREMENTS THAT SHALL
BE VERIFIED AND ADHERED TO.

2 ADA Striping and PED Access
Scale: NTS



3 Pavement Stop marking
Scale: NTS



4 Typical Parking Space
Scale: NTS



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

EME
MECHANICAL
4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT

REVISIONS

REV.	DATE	DESCRIPTION	TP	BY
0	03-07-2023	INITIAL SUBMITTAL		

SEAL



VERIFY SCALES

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PROJECT STATUS

Initial Submittal

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 01/ 02 / 2022
Proj. No. -

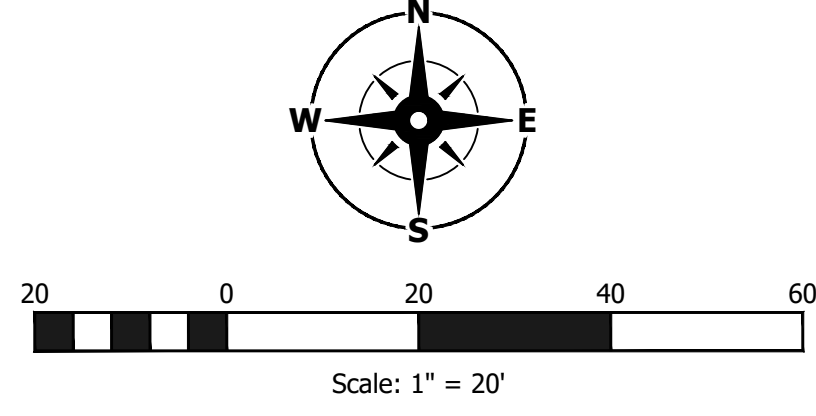
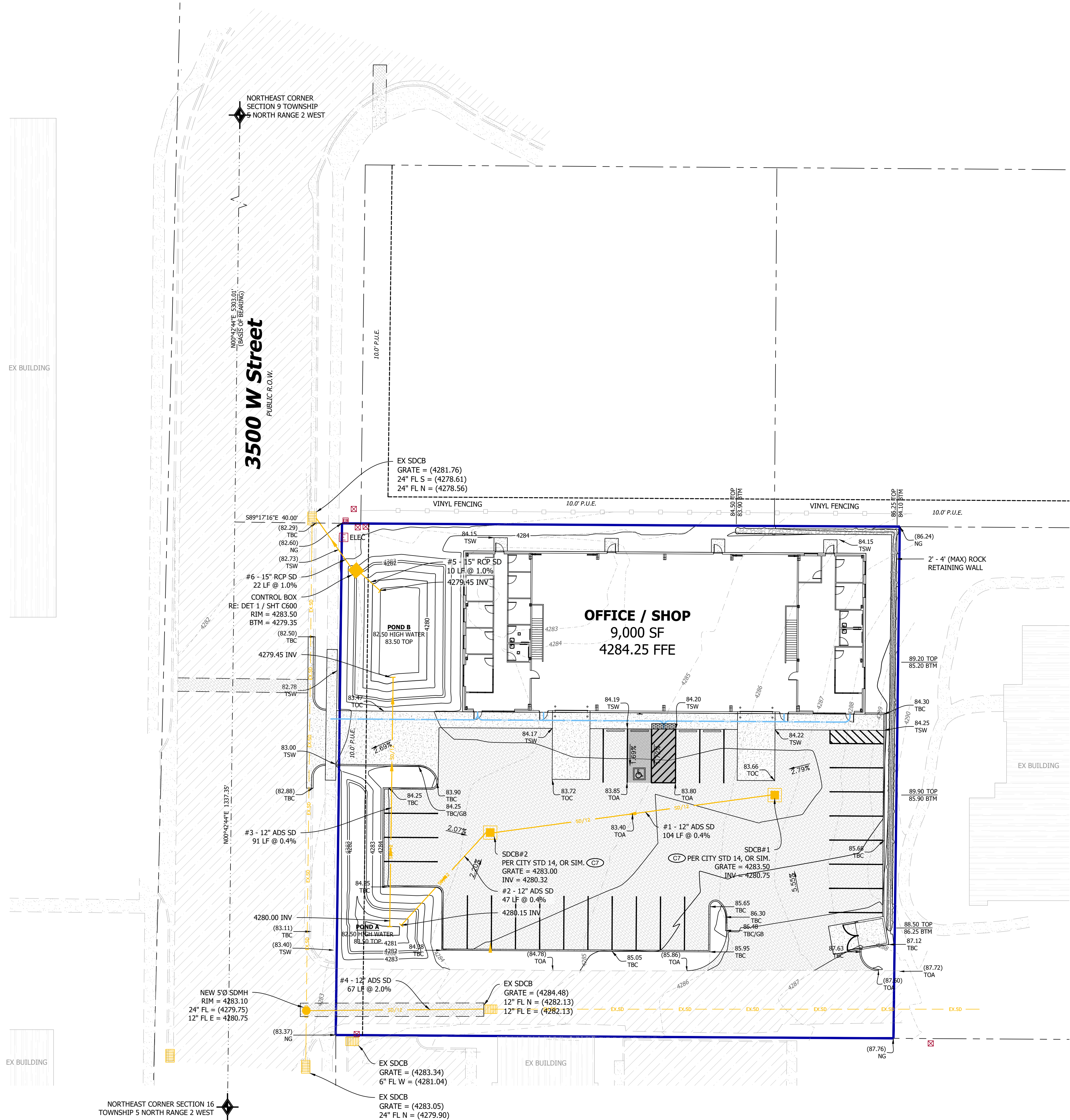
SHEET TITLE

**Striping
Plan**

SHEET NO.

C201

THOMAS C:\Users\Thomas.Hunt\OneDrive\Projects\1109-02_EKF Mechanical\1109-02_EKF Mechanical\1109-02_EKF Mechanical\1109-02_EKF Mechanical.dwg 2023.05.15 V2. 5/16/2023 12:41 PM



Stage Storage Table

POND A:		AREA	DEPTH	AVG END	AVG END	CONIC	CONIC
ELEV	(sq. ft.)	(ft)	INC. VOL.	TOTAL VOL.	INC. VOL.	TOTAL VOL.	INC. VOL.
4,280.00	47.80	N/A	(cu. ft.)	(cu. ft.)	(cu. ft.)	(cu. ft.)	(cu. ft.)
4,281.00	185.19	0.85	104.00	112.05	99.08	107.11	0.00
4,282.00	640.90	1.00	413.04	525.09	390.20	497.31	0.00
4,282.50	905.72	.50	386.66	916.19	384.75	883.97	0.00

POND B:		AREA	DEPTH	AVG END	AVG END	CONIC	CONIC
ELEV	(sq. ft.)	(ft)	INC. VOL.	TOTAL VOL.	INC. VOL.	TOTAL VOL.	INC. VOL.
4,279.00	470.11	N/A	(cu. ft.)	(cu. ft.)	(cu. ft.)	(cu. ft.)	(cu. ft.)
4,280.00	779.07	1.00	624.59	624.59	618.12	618.12	0.00
4,281.00	1,155.25	1.00	967.16	1591.75	961.01	1579.13	0.00
4,282.00	1,598.03	1.00	1376.64	2968.39	1370.67	2949.79	0.00
4,282.50	1,844.37	0.50	860.60	3828.99	859.86	3809.66	0.00

General Notes

- REFERENCE SHEET C500 FOR ADDITIONAL REQUIRED STORM DRAIN CALCULATIONS.
- REFERENCE ARCHITECTURAL DRAWINGS FOR PROVIDED ROOF DRAIN LOCATIONS. CONNECT ALL ROOF DRAINS TO PROPOSED STORM DRAIN SYSTEM.

Cut / Fill Quantities

TOTAL AREA = 34,721 SF CUT = 1,156 cu yd FILL = 212 cu yd TOTAL = 944 cu yd (CUT)
NOTE: QUANTITIES DO NOT ACCOUNT FOR COMPACTION OR SHRINKAGE, UTILITY TRENCHING, OR BUILDING FOOTINGS.

Legend

- ADA ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 4.5% OR CROSS SLOPE GREATER THAN 1.5%
- ADA AREA - NOT TO EXCEED SLOPE GREATER THAN 1.5% IN ANY DIRECTION
- SPILL CURB, SEE APPLICABLE CURBING DETAIL

Site Data

LOCATION: WEST HAVEN, WEBER COUNTY
ZONING: C-2 COMMUNITY COMMERCIAL
LAND USE: WAREHOUSE / OFFICE
PROPERTY SIZE: 39,682 SF / 0.91 AC
BUILDING FOOTPRINT: 9,008 SF (22.7%)
HARD SURFACE AREA: 22,173 SF (55.9%)
LANDSCAPE AREA: 8,501 SF (21.4%)
CONSTR. TYPE: TYPE II-B
BUILDING HEIGHT: 26' - 0"
PARKING: WAREHOUSE = 1 STALL / 500 SF
5,932 / 500 = 12 STALLS REQ'D
OFFICE = 1 STALL / 250 SF
3,068 / 250 = 12 STALLS REQ'D
24 STALLS REQUIRED
26 STALLS PROVIDED

Benchmark and Datum

DESC: MON @ SW CORNER OF SEC 10
N: 3588401.20
E: 1485029.30
ELEV: 4285.87
UTAH STATE PLANE COORDINATE SYSTEM
CENTRAL ZONE, NAD 83
ELEVATION DATA NAVD 88
DISTANCES IN US SURVEY FEET (GRID).

Flood Zone

FLOOD ZONE DESIGN "UNSHADED ZONE X" PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 49057CD425E, DATED 12/16/2005.
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

Notice To Contractors

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PROJECT TITLE
EME MECHANICAL
4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT

REVISIONS

REV.	DATE	DESCRIPTION	BY
0	03-07-2023	INITIAL SUBMITTAL	TP

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" = 1" (22.7%)
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT STATUS

Initial Submittal

PROJECT INFO.

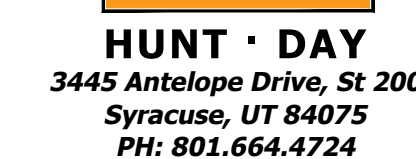
Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 01/02/2022
Proj. No. -

SHEET TITLE

Grading Plan

SHEET NO.

C200



PROJECT TITLE

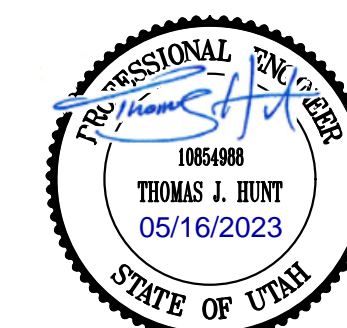
EME
MECHANICAL

**4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT**

RESEARCH


0	03-07-2023	INITIAL SUBMITTAL	TP
REV	DATE	DESCRIPTION	BY

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0  1"

IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT STATUS

Initial Submittal

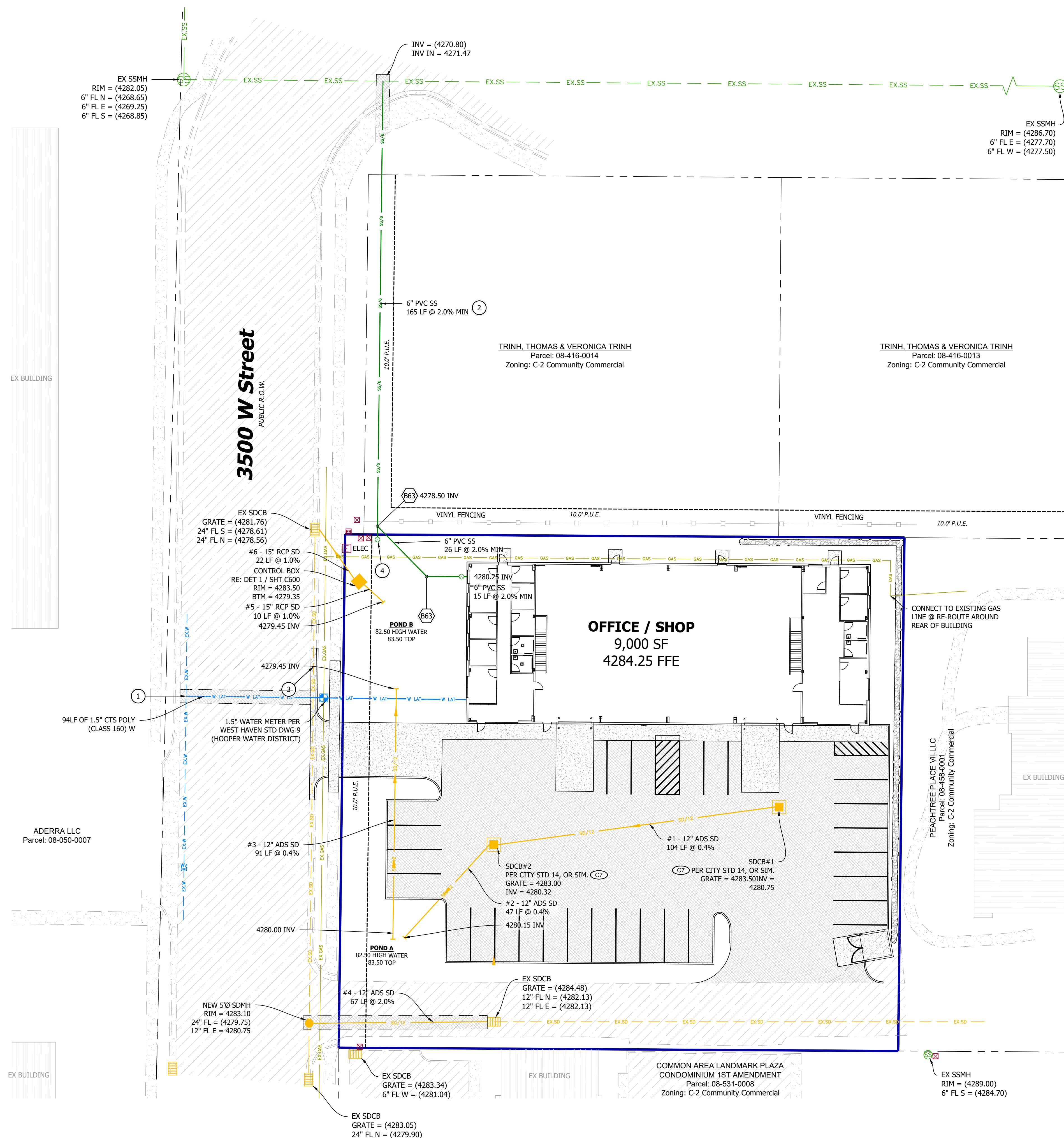
PROJECT INFO.

Engineer:	T. Hunt
Drawn:	T. Pridemore
Checked:	-
Date:	01/ 02 / 2022
Proj. No.	-

Utility Plan

SHEET NO. _____

C300



1. COORDINATE MINOR AND SEVER STRUCTURE INSTALLATION WITH THE CITY INSPECTOR FOR THE CITY MANHOLE REQUIREMENT OF 1 FT OF COBBLE IMPACT AND GRAVEL BEDDING PRIOR TO ANY STRUCTURE INSTALLATION.
2. VIDEO RECORDING WILL BE REQUIRED ON ALL NEW SEWER INSTALLATIONS AFTER THE ROAD BASE FOR THE ROADWAY HAS BEEN COMPLETED AND PRIOR TO PAVING. COORDINATE VIDEO SCHEDULE WITH THE CITY INSPECTOR PRIOR TO THE ROADWAY BEING COMPLETED.
3. ALL NEW SEWER PIPES WILL BE REQUIRED TO BE THE COLOR "GREEN".
4. SEWER LATERAL WILL BE PRIVATE.
5. WHSSD SUPERINTENDENT, JOHN WALLACE CAN BE CONTACTED AT 801.430.7478.
6. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY SHALL COMPLY AND BE INSTALLED AND CONSTRUCTED AS PER WEST HAVEN CITY STANDARDS AND SPECIFICATIONS.
7. AS-BUILT PLANS ARE REQUIRED TO BE SUBMITTED TO THE CITY AT THE COMPLETION OF CONSTRUCTION.

General Notes

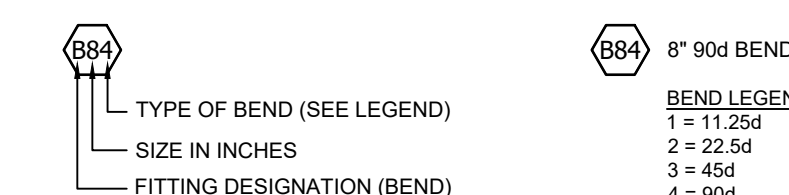
1. REFERENCE SHEET C600 FOR ADDITIONAL REQUIRED STORM DRAIN CALCULATIONS.
2. REFERENCE ARCHITECTURAL DRAWINGS FOR PROVIDED ROOF DRAIN LOCATIONS. CONNECT ALL ROOF DRAINS TO PROPOSED STORM DRAIN SYSTEM.

Key Notes

1. CONNECT TO EXISTING WATER LATERAL PER WEST HAVEN STD DWG 10. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION.
2. CONNECT TO EXISTING SEWER MAIN PER WEST HAVEN STD DWG 11. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION.
3. UTILITY CROSSING. CONTRACTOR TO FIELD VERIFY AND NOTIFY ENGINEER OF RECORD OF CONFLICTS PRIOR TO CONSTRUCTION.
4. 6" CLEAN-OUT PER WEST HAVEN STD DWG 11.

Fitting Legend

BENDS



NOTE: NOT ALL FITTINGS ARE SHOWN, AND PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL ALL FITTINGS REQUIRED TO FOLLOW THE ALIGNMENT PROVIDED IN THE DRAWINGS.

Utility	Quantities
1	100
2	200
3	300
4	400
5	500
6	600
7	700
8	800
9	900
10	1000

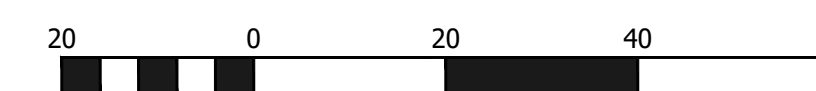
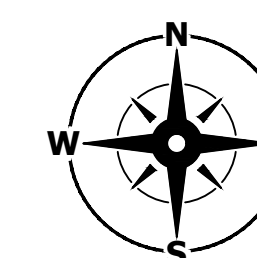
<u>STORMWATER:</u>	
12" ADS PIPE:	249 LF
15" RCP PIPE:	32 LF
30" Ø NYLO. MANHOLE:	2 EA
3' x 3' CATCH BASIN	2 EA
CONTROL BOX:	1 EA

<u>WATER:</u>	
1-1/2" CTS PIPE:	94 LF
1-1/2" METER:	1 EA

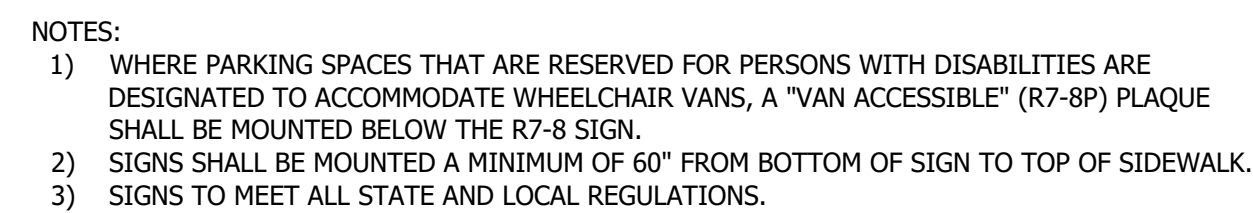
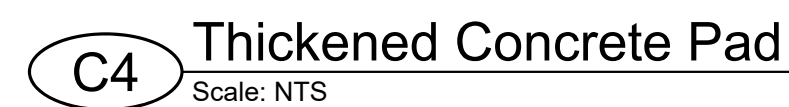
SANITARY SEWER:
6" PVC PIPE: 296 LF
6" CLEAN-OUT: 2 EA

Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



Know what's **below**.
Call before you dig



West Haven EME

4/12/2023 TJH

The following runoff calculations are based off the Rational Method using the Rainfall - Intensity - Duration Frequency Curve for the West Haven, UT taken from NOAA Atlas 14, using a 100 year 24-hour storm event for a detention system, and discharge at a reduced rate from the prehistorical flows at 0.20 cfs/acre. There will be two detention basins on site that are connected to eachother. One is an above ground basin and the other is a subsurface chamber system.

The calculations are as follows:

Drainage Area:			
Total Area =	0.91 acre or	39,682 ft ²	
Runoff Coefficients			
Paved Area		22,173	C = 0.95
Landsaped Area		8,501	C = 0.20
Roof		9,008	C = 0.90
Weighted Runoff Coefficient			C = 0.78

LID Measurement for retaining first 0.6 inches of rainfall across site:

Drainage Area	39,682 ft ²
	0.60 inches
	0.050 ft
	1,984 c.f. of R

1,904 C.I. of Retention

Percolation Rate:	2,000 s.f.	
Drainage Area	150.00 mpi	
Perc Rate	(1in/perc rate)*(1ft/12in)*(1min/60sec)*Bot Area of Drain	
Percolation out	0.0185	cfs
	4569.00	cf
	0.02	cfs
	1.1111111111	cf/min
	66.67	cf/hr
DRAIN TIME	68.54	hours

	68.07	67/11
DRAIN TIME	68.54	hours

Note that the drain time exceeds the city required 48 hours. However, since it takes longer than 48 hours to drain, 100% of the stormwater will be discharged at the reduced rate.

Volume of Run-off for 100-year Storm Event:

C =	0.78
I =	See Below in/hr
A =	39682.00 ft ²
Q(out) =	0.18 ft ³ /s
time	time
(min)	(sec)
0	0
5	300
10	600
15	900
30	1800
60	3600
360	21600
720	43200
1440	86400

Orifice Sizing

Given:	Q =	0.18	cfs	
	2g =	64.4	ft/s ²	
	H =	3.00	ft	
	Cd =	0.62		for circular openings
	R =	$\text{SQRT}(Q/\pi i(0.7*(64.4*H)^{0.5}))$		
		0.08	feet	
		0.98	inches	
	D =	1.97		12
	A =	3.05 inches ^2		0.0212 ft ^2

SUMMARY:


The required detention storage volume is	4,226	cubic feet
Orifice size is	1.97	inches
The required retention storage volume is	1,984	cubic feet

[illegible]

AL



VERIFY SCALES

0  1"

PROJECT STATUS

Initial Submittal

PROJECT INFO.

Engineer:	T. Hunt
Drawn:	T. Pridemore
Checked:	-
Date:	01/ 02 / 2022
Proj. No.	-

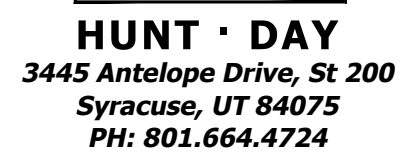
SHEET TITLE

SHEET TITLE


Civil Details

SHEET NO.

C600



<u>REVISED</u>	<u>DATE</u>	<u>DESCRIPTION</u>
0	03-07-2023	INITIAL SUB

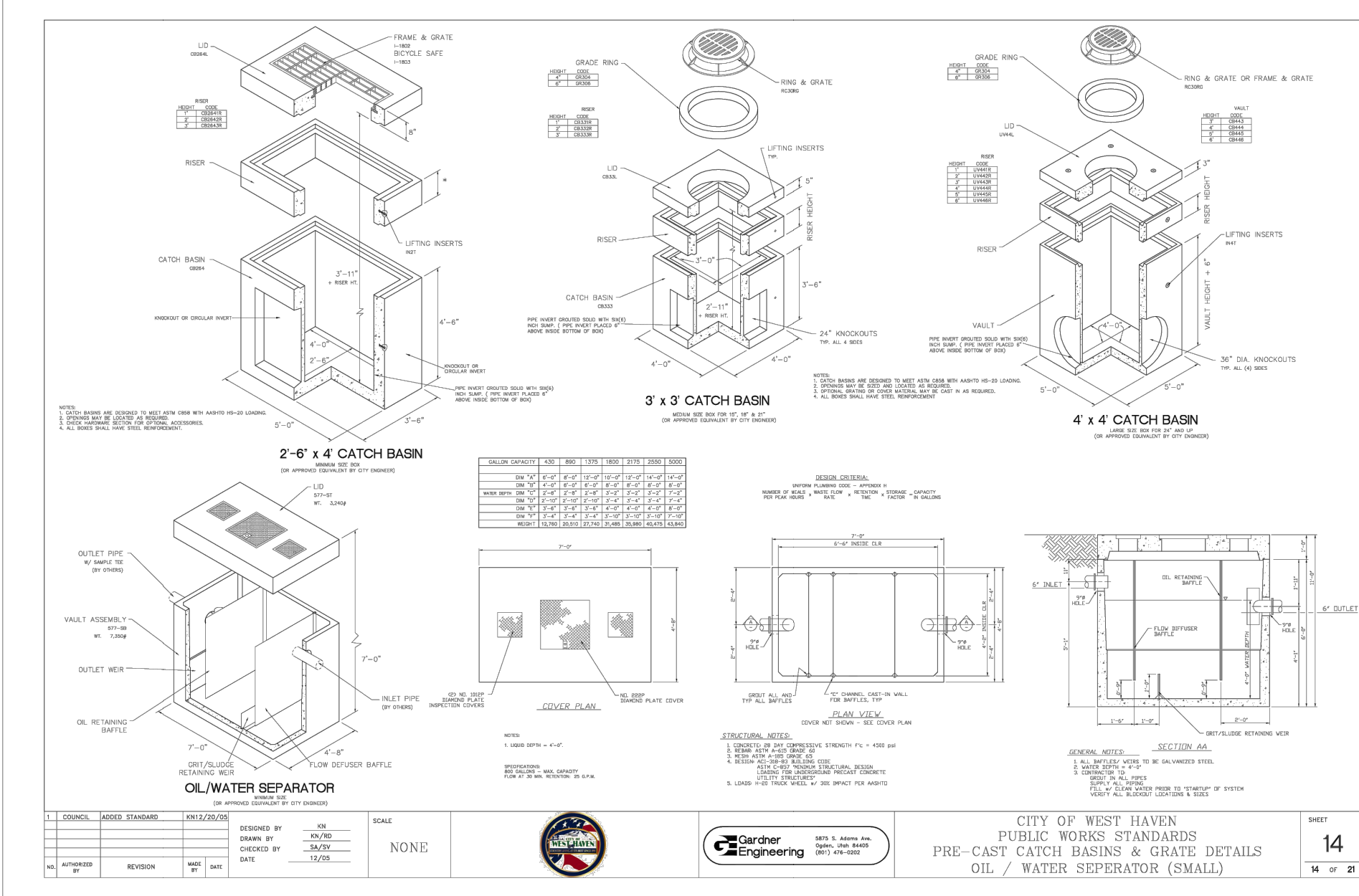


PROJECT STATUS

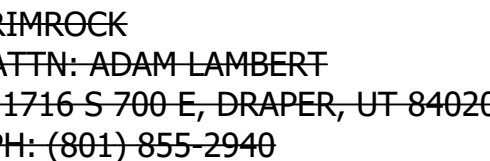
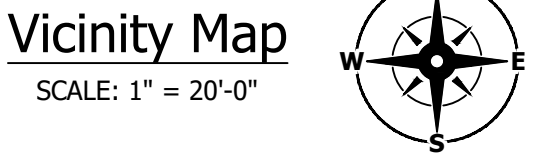
Initial Submittal

SHEET TITLE

SHEET NO. _____



LOCATED IN SECTION 10, TOWNSHIP 5 NORTH,
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN
WEST HAVEN, WEBER COUNTY, UTAH
APRIL, 2023



THOMAS C:\Users\Thomas.WD.000\Hunt Day Dropbox\Projects\1103-02 ENE Mechanical\100-CAD\01-AutoCAD\DWG\2023.0515-VZ2 5/16/2023 12:42 PM

SWPPP Notes

1.

AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
2.

THE CONTRACTOR SHALL REMOVE LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, FROM THE SITE ON A DAILY BASIS, OR AS A MINIMUM, PRIOR TO ANY ANTICIPATED STORM EVENT; OR OTHERWISE PREVENT SUCH MATERIAL FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
3.

CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLE WILL ENTER OR EXIT THE SITE. VEHICLE TRACKING CONTROL FACILITIES, SILT FENCE, AND INLET PROTECTION WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY FOR PHASING OF THE WORK, UNTIL ALL WORK IS COMPLETE.
4.

CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING STREETS CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, THE CONTRACTOR SHALL REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT IMMEDIATELY TO MINIMIZE OFF SITE IMPACTS. AT NO TIME SHALL SEDIMENT BE WASHED DOWN UNPROTECTED INLETS INTO THE PUBLIC STORM SEWER SYSTEM.
5.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED, AND SHALL REMOVE SEDIMENT FROM SEDIMENT TRAPS OR PONDS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6.

EXCEPT AS PROVIDED IN (A), (B), AND (C) BELOW, THE CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

(A)WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

(B)WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE A TO BE INITIATED ON THAT PORTION OF THE SITE.

(C) IN ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 0-10 INCHES), SEMI-ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 10-20 INCHES), AND AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL ARID CONDITIONS, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
7.

EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE, EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
8.

ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED OR SEEDED PER PLAN.
9.

ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORSEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE LOCAL JURISDICTION MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ANY NECESSARY CHANGES AND POSTING ANY UPDATES TO THE PLANS AND RECORDING CHANGES IN THE STORMWATER POLLUTION PLAN DOCUMENT.
10.

THIS PLAN IS ONLY TO BE USED FOR INSTALLATION OF EROSION CONTROL FACILITIES. DO NOT USE THIS PLAN FOR FINISH GRADING OR STORM SEWER CONSTRUCTION.
11.

THE CONTRACTOR SHALL AMEND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHENEVER:

- THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN;

- INSPECTIONS OR INVESTIGATIONS BY SITE OPERATORS, LOCAL, STATE, OR FEDERAL OFFICIALS INDICATE THE SWPPP IS PROVIDING INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART III.D.1 OF THE PERMIT, OR IS OTHERWISE NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY; AND

- A NEW CONTRACTOR AND/OR SUBCONTRACTOR WILL IMPLEMENT A MEASURE OF THE SWPPP IN ORDER TO IDENTIFY THEIR ROLE AND RESPONSIBILITY FOR THE SWPPP. AMENDMENTS TO THE PLAN MAY BE REVIEWED BY THE EXECUTIVE SECRETARY (OR AUTHORIZED REPRESENTATIVE) IN THE SAME MANNER AS PART III.B.2 OF THE PERMIT.
12.

THE CONTRACTOR SHALL KEEP A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, AND INCLUDE THIS INFORMATION IN THE SWPPP.
13.

THE CONTRACTOR SHALL NOTE THAT FLUCTUATIONS OF THE GROUNDWATER TABLE MAY OCCUR DUE TO VARIOUS FACTORS NOT EVIDENT AT THE TIME OF PREPARATION OF THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY DEWATERING PERMITS REQUIRED FOR THE PROJECT.
14.

THE PROJECT SITE IN IN FLOOD ZONE "IX" WHICH DENOTES AREAS OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD.
15.

THERE ARE NO SURFACE WATER FEATURES LOCATED ON THIS SITE.
16.

THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA. EMPLOYEES BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR SHALL CONTAIN AND TREAT ALL LEAKS AND SPILLS FROM ANY EQUIPMENT OR FACILITIES.
17.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE. CONCRETE TRUCK WASHING SHALL BE DONE AT THE LOCATION SHOWN.
18.

MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS.
19.

FUGITIVE DUST BLOWING FROM THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
20.

NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
21.

ALL MEASURES PRESENTED IN THE SWPPP SHALL BE INITIATED AS SOON AS PRACTICABLE.
22.

IF THE GRAVEL CONSTRUCTION ENTRANCES ARE NOT EFFECTIVE IN REMOVING THE MAJORITY OF DIRT OR MUD FROM THE TIRES OF THE CONSTRUCTION VEHICLES, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER THE PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
23.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
24.

IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
25.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
26.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
27.

ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAIN CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
28.

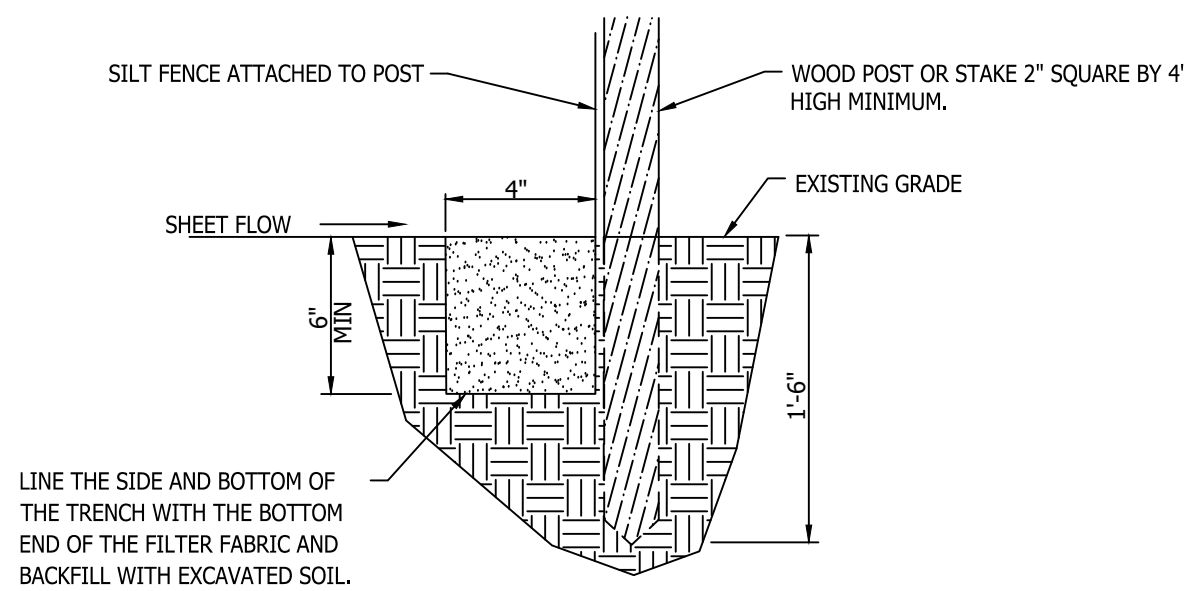
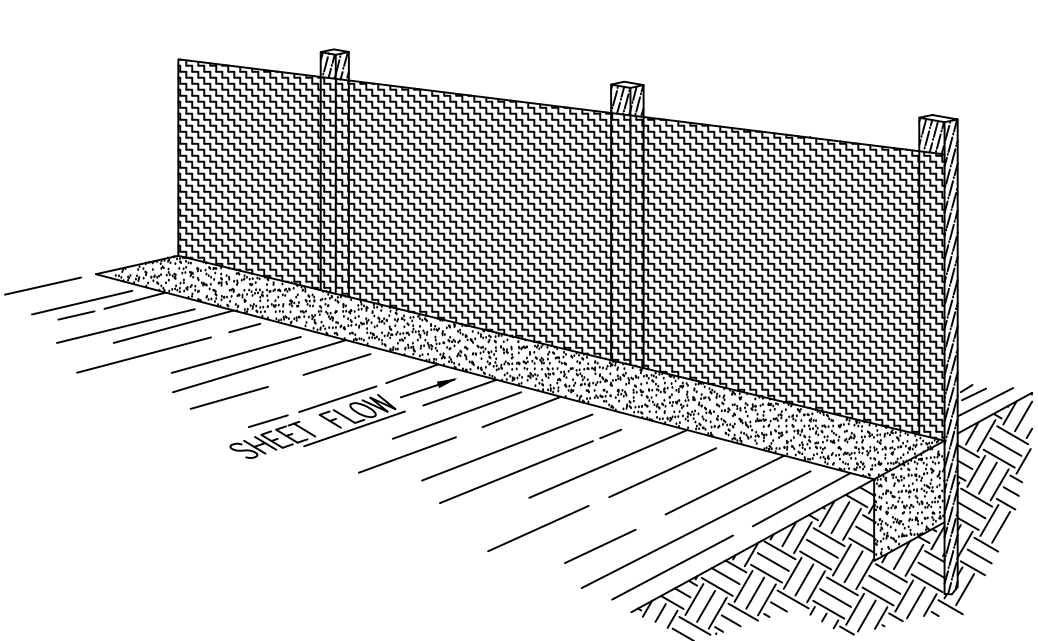
THE CONTRACTOR SHALL POST THESE PLANS AND THE SWPPP IN THE JOB TRAILER, LOG ALL CHANGES, AND UPDATE PLANS AND THE SWPPP AS REQUIRED.
29.

THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AND CONFORM TO ALL CITY AND STATE REQUIREMENTS FOR EROSION CONTROL AND STORM WATER PROTECTION.
30.

IN THE UNLIKELY EVENT THAT A PHASE DOES NOT IMPROVE ACCESS AND/OR AN ACCESS ROAD IS CONSTRUCTED, BEST MANAGEMENT PRACTICES SHALL BE APPLIED IN ANY TEMPORARY OR PERMANENT STRUCTURES OR ACCESS POINTS.
31.

THE CONTRACTOR SHALL COMPLETE WEEKLY INSPECTION FORMS FOR THE CITY'S RECORDS, COVERING WEEKLY INSPECTIONS AND MAINTENANCE.
32.

EXISTING PERIMETER FENCING TO ACT AS CONSTRUCTION FENCING. IF PERIMETER FENCING IS REMOVED, A CONSTRUCTION SHALL BE INSTALLED UNTIL A NEW FENCE OR WALL IS CONSTRUCTED.



Perspective View

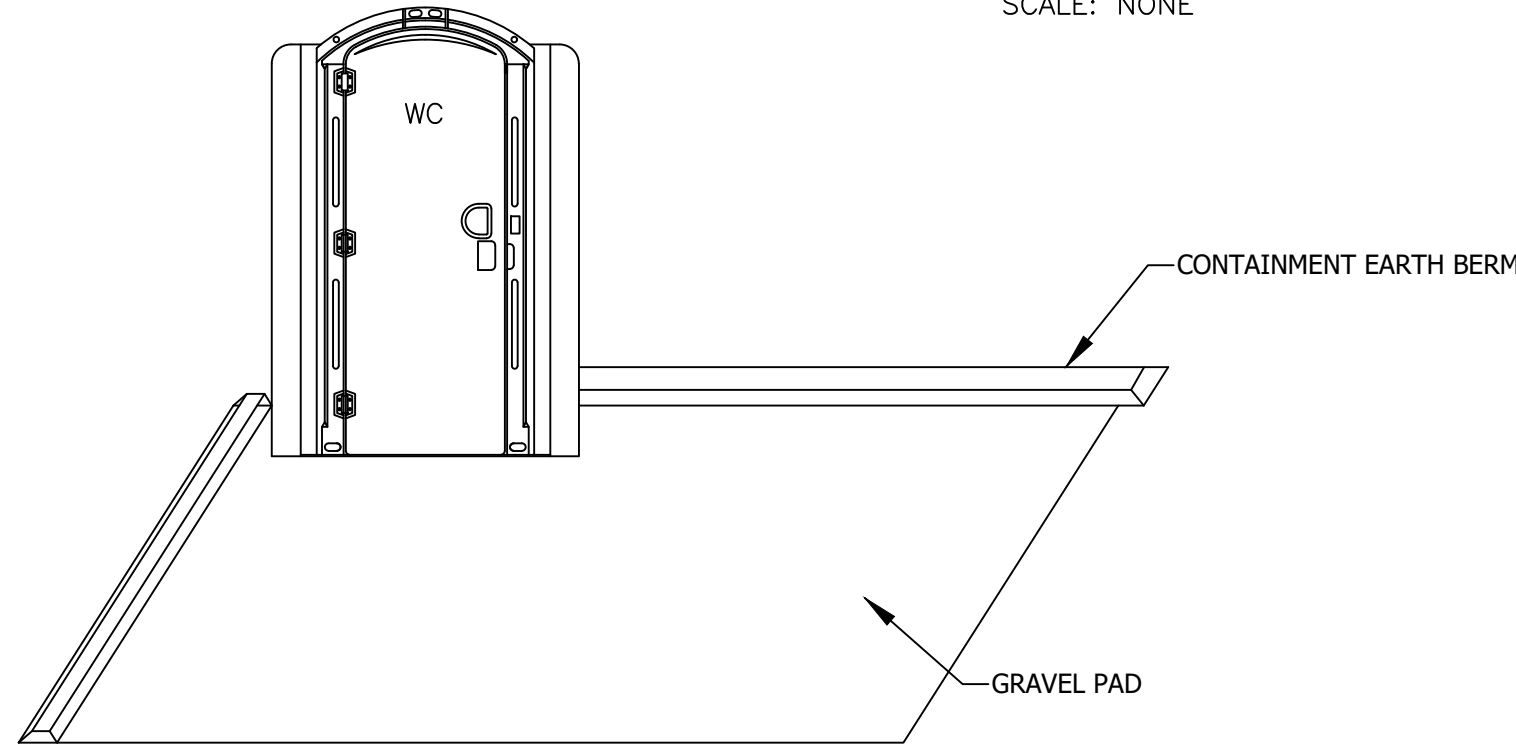
Section

Silt Fence Notes:

1. WHERE POSSIBLE, LAYOUT THE SILT FENCE 5' TO 10' BEYOND THE TOE OF THE SLOPE.
2. ALIGN THE FENCE ALONG THE CONTOUR AS CLOSE AS POSSIBLE.
3. WHEN EXCAVATING THE TRENCH, USE MACHINERY THAT WILL PRODUCE NO MORE THAN THE DESIRED DIMENSIONS.
4. AVOID USING JOINTS ALONG THE FENCE AS MUCH AS POSSIBLE. IF A JOINT IS NECESSARY, SPLICE THE SILT FENCE AT A POST WITH A 6" OVERLAP AND SECURELY FASTEN BOTH ENDS TO THE POST.
5. MAINTAIN A PROPERLY FUNCTIONING SILT FENCE THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL DISTURBED AREAS HAVE BEEN VEGETATED.
6. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA.
7. WHEN PLACING FENCE ON SLOPES STEEPER THAN 2:1 SEE SWPPP REPORT.

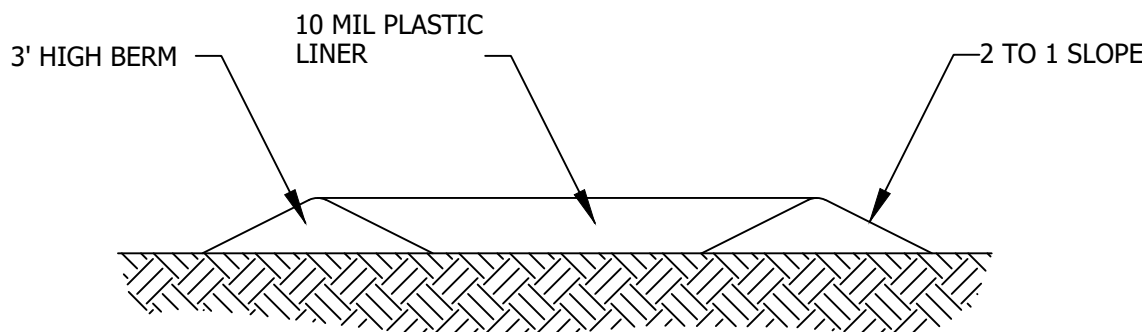
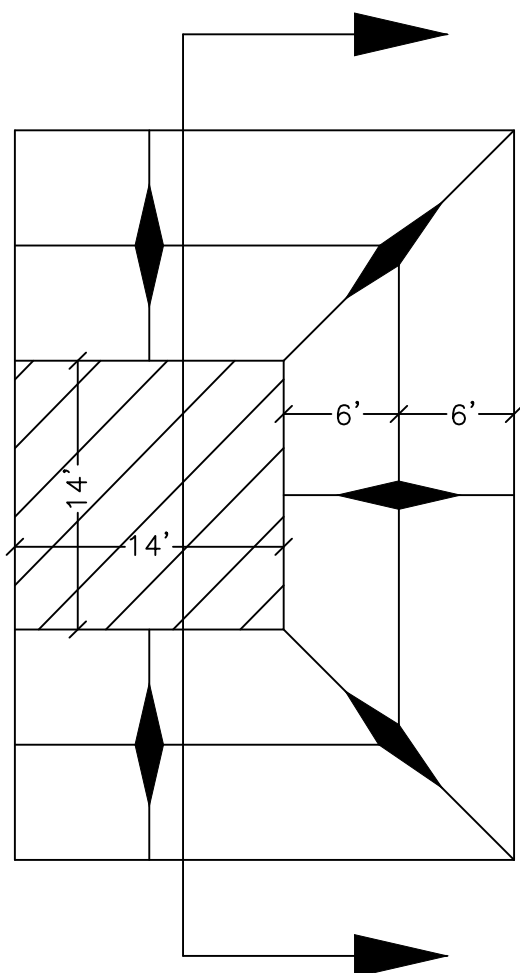
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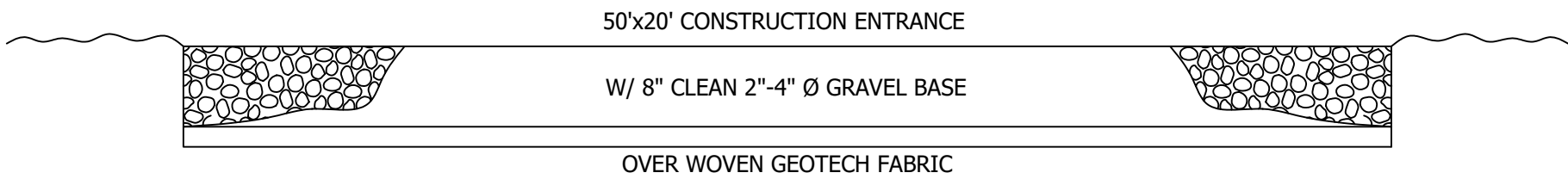
Portable Toilet

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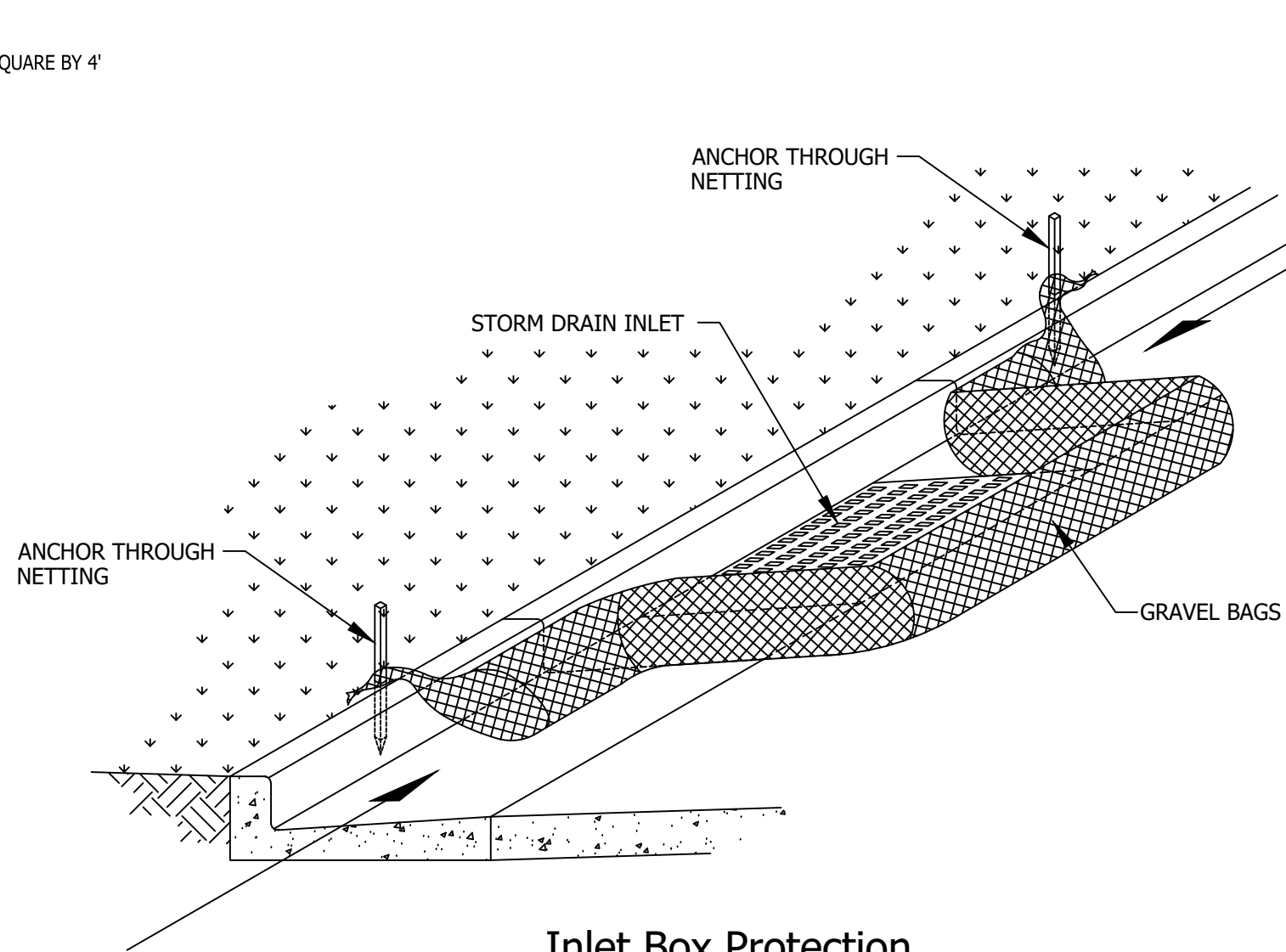


Concrete Washout Area
w/ 10 mil Plastic Liner

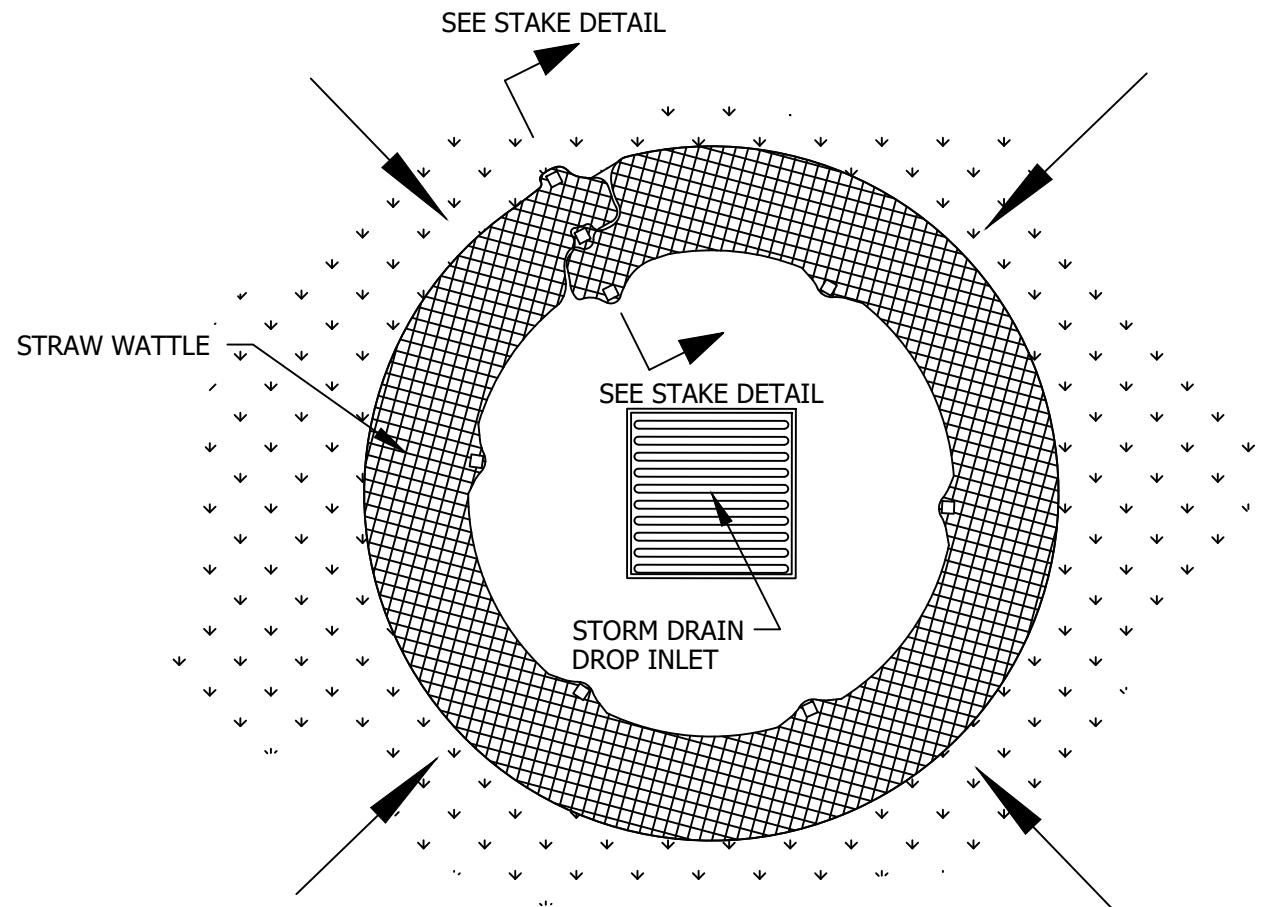
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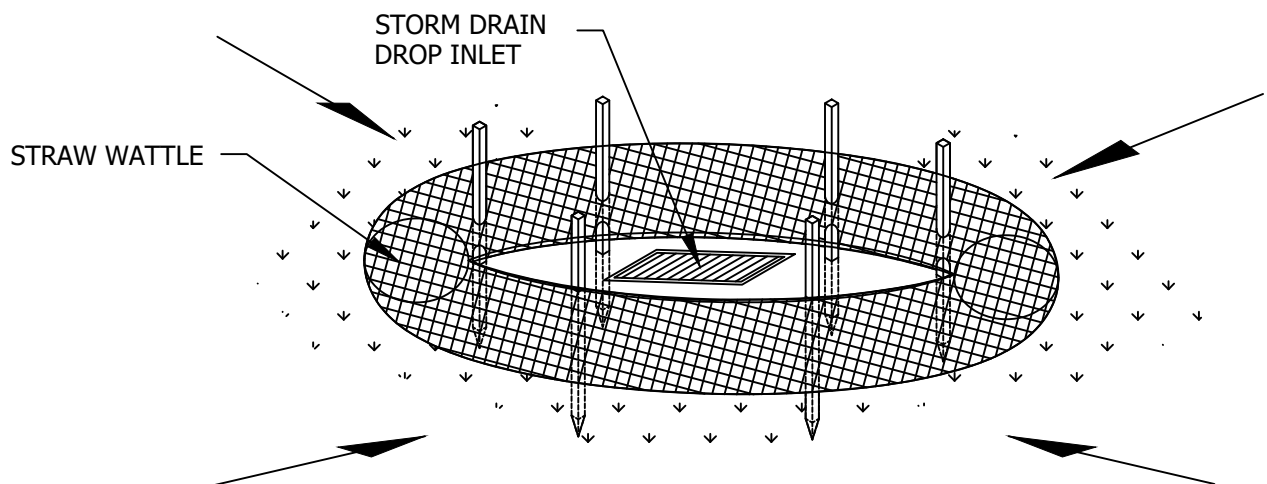
Cross Section 50' x 20' Construction Entrance



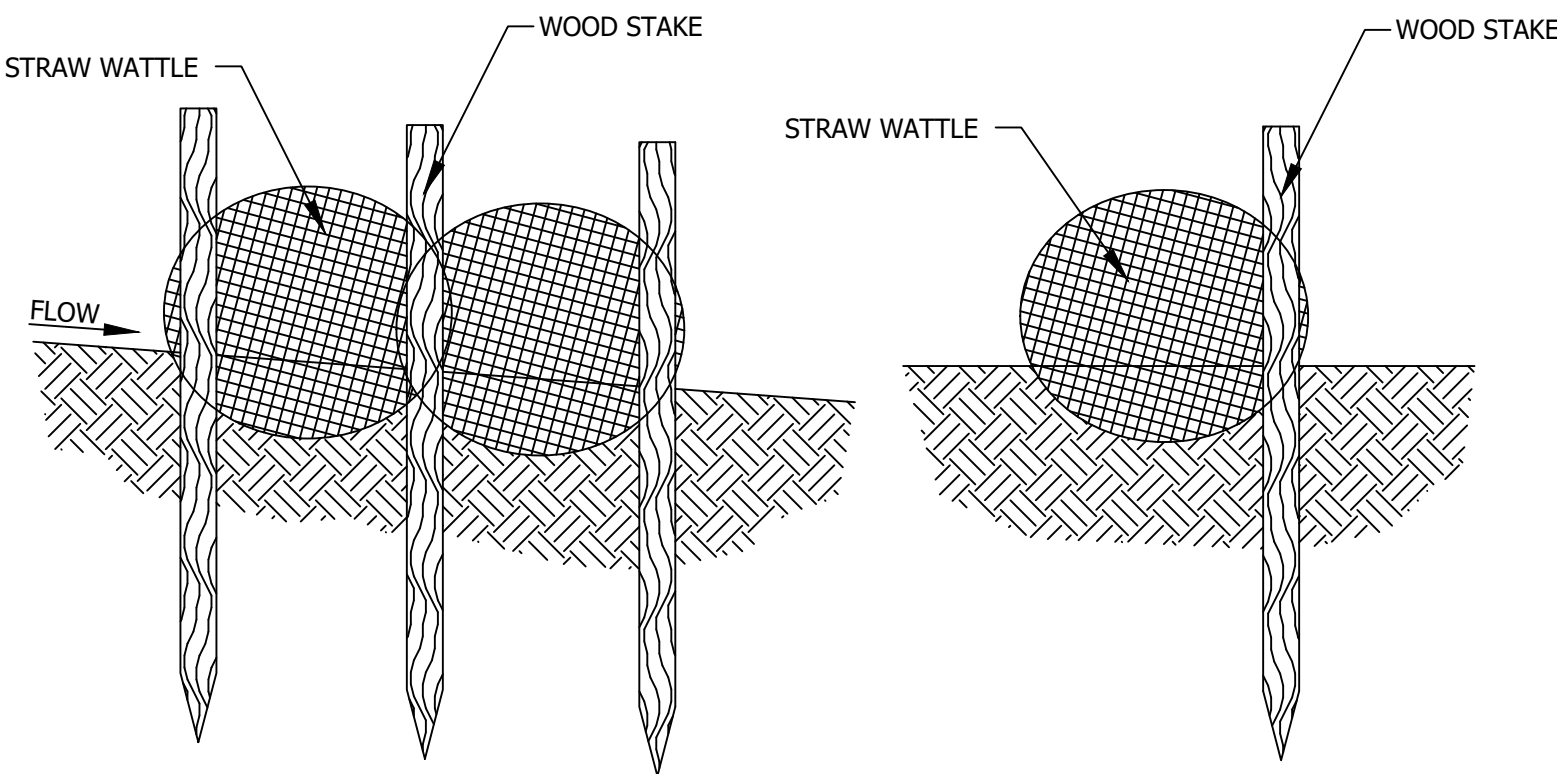
Inlet Box Protection



Plan View



Drop Inlet Protection



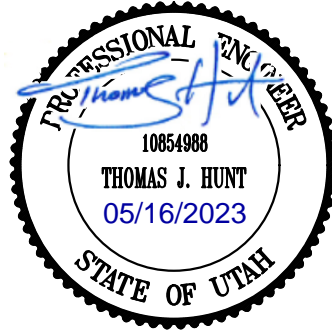
HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

PROJECT TITLE
ENE MECHANICAL
4608 SOUTH 3500 WEST STREET
WEST HAVEN, WEBER COUNTY, UT

REVISIONS

REV.	DATE	DESCRIPTION	TP	BY
0	03-07-2023	INITIAL SUBMITTAL		

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT STATUS

Initial Submittal

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 01/ 02 / 2022
Proj. No. -

SHEET TITLE

SWPPP
Details

SHEET NO.

C701

Planning Commission Staff Review Memo

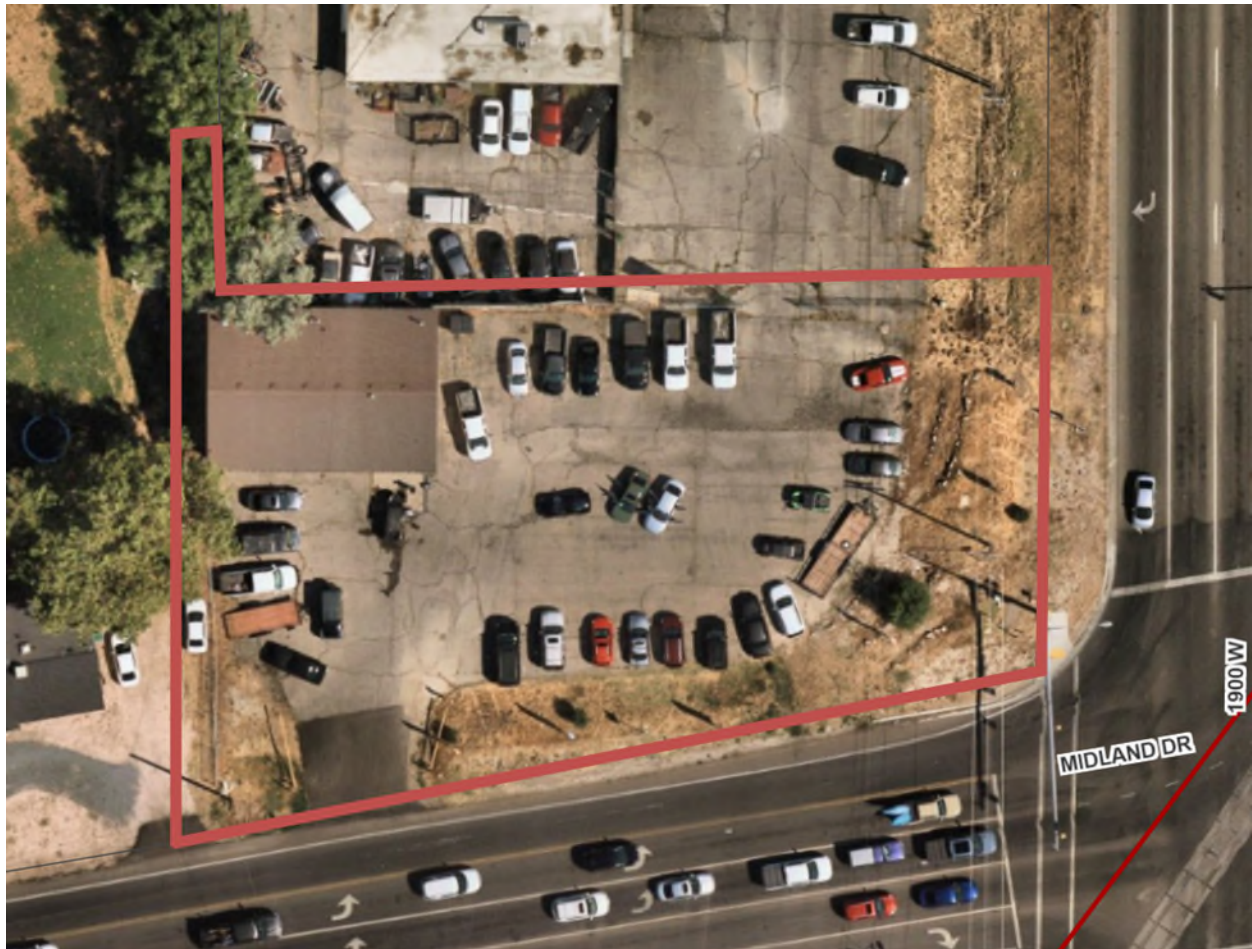
March 26, 2025



PRELIMINARY AND FINAL SITE PLAN APPROVAL

Request: Final site plan approval for Old Hickory Sheds
Property Address: Parcel #150940047
Property Zone: M-1
Property Size: 1.26 Acres
Applicant: Colton Bain : Agent

Governing Document(s): WHZC 157.330, 157.730
Decision Type: Administrative
Staff Recommendation: See comments under "Staff Review"



Background

The applicant has submitted a site plan application to open a shed sales/additional rental on at 1924 Midland Dr. This property is right at the corner of Midland Dr and 1900 W and has traditionally been a used car dealer and mechanic shop. The applicant has told staff that they plan to store 20-25 sheds on-site for customers to examine and potentially purchase and that the site will have a salesperson on-site during open hours. They plan on using the current building and site “as is” with no scheduled updates.

Staff Review

Staff’s review of the proposed site plan as it pertains to the requirements of the West Haven Zoning Code are as follows:

Use

The main business is an accessory building and shed retailer/dealer for Old Hickory Buildings & Sheds. Within the M-1 Zone, there is no direct use specific to the proposed use. However, a permitted use within the M-1 zone is “Construction of buildings to be sold and moved off the premises”-§ 157.331 PERMITTED USES. After review, staff feels this is sufficiently related to the proposed use to fall within its umbrella, though there will be no construction of buildings on site, just display for customers.

The applicant has also indicated that they would like the ability to rent out part of the shop for a “C-3 permitted business” in the future. Staff have concerns about the broad nature of this request since it could mean an outsized impact beyond the site, especially with the decreased amount of parking with the proposed use.

§157.291 Site Development Standards

The site is existing, and no additional buildings are being proposed.

	C-2 Requirement	Site Plan Proposal	Compliant?
Building height			
Maximum	35 ft. when adjacent to residential	Less than 35’	Y
Minimum	1 story	1 story	Y
Max lot coverage	60% by buildings (main & accessory)	Less Than 25%	Y
Minimum lot area	None	1.26 acres	Y
Min lot width	None	243’ facing Midland	Y
Min yard setbacks			
Front	15 ft.	The building is more than 15’	Y

		from the front property line	
Rear	10 ft., where building rears on a residential zone	Buildings are not adjacent to a residential zone	Y
Side	10 ft. when adjacent to residential	The building is not adjacent to a residential zone, but there is an existing home,	Y
Side, adj. to street	15 ft.	NA	

§157.730 Design Review

The requirements of this chapter and the project proposal/compliance are below. Please note that only those sections which are applicable are included. There may be portions of Section 157.733 which do not apply to this site plan, owing to the location of buildings, no applicable development agreement or location of landscaping, among other factors.

§ 157.733 Standards Of Review

(A) Traffic safety and circulation.

- (1) Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to traffic ingress, egress and internal circulation?

The site currently exists, and no significant changes to the layout have been proposed or constructed. The applicant plans to maintain a cross access area as shown on the site plan and continue to use the main entrance to Midland Dr.

(B) Parking. Does the site plan comply with city ordinances regarding design, location and number of parking stalls required? *The updated plan will drastically cut down on available parking on the site. Though the parking lot lines are no longer discernable, the applicant plans to fill the current parking area with sheds for display. The applicant has stated they likely will only have one to two customers on-site, plus their full-time employees. The applicant has shown four parking spaces that they plan on maintaining. The applicant will need to provide an ADA space and show the dimensions of the parking stall, which are required be a minimum of 9' wide and 180 sq. ft. West Haven Parking standards do not cover a dealer of this type, but for an Automobile sales it would require "5 spaces, plus 1 space per 2,000 square feet GFA. This is exclusive of on-site inventory parking" -§ 157.631. Staff anticipates that the parking needs of this facility and automobile sales would be similar, and would require the applicant to provide 7 spaces, included one ADA location. The plan needs to be updated to show the additional spaces and an [ADA Parking Space](#).*

The site plan shows West Haven Code § 157.818 ALTERATION WHERE PARKING INSUFFICIENT allows an existing building to alter or enlarge the parking area as needed to meet “alteration or enlargements”.

(C) Signage. Does the proposed signage meet the requirements of the city sign ordinance?
The applicant is planning on placing signage/banners on the sheds indicating they are “for sale” and placing some flag signs on the property. These signs fall within “Temporary Sign” standards within the West Haven Code. West Haven Code states the following for Temporary Signs:

§ 157.759 PERMITTED SIGNS.

(P) Regardless of the purpose or nature of the sign, all temporary signs shall comply with the following.

- (1) Temporary signs shall advertise a specific event or occasion.***
- (2) Temporary signs may be placed no more than 45 days prior to the event or occasion which they advertise, may remain for the duration of the event, and shall be removed within 48 hours after the event concludes.***

This means that these signs can only be in place for a limited amount of time. The applicant indicates no other planned signs.

(D) Landscaping.

(1) The following landscaping shall be provided in each project subject to the provisions of this subchapter:

(a) Front yard. Landscaping shall be required along the entire frontage of the lot, except for the frontage required for ingress/egress. Said landscaping shall be a minimum of 15 feet deep, calculated from the property line.

(b) Side/rear yards. There shall be a minimum of five feet of landscaping between parking areas and side or rear property lines (except between commercial uses where said landscaping is not visible from areas of public access) and a minimum of five feet of landscaping between an access driveway and a side or rear property line unless said driveway is to be used for common access by an adjacent lot.

(4) Landscape plans shall include a minimum of three items from the following list:

- (a) Trees;
- (b) Decorative rock and boulders (gravel and pea gravel are not permitted);
- (c) Shrubs;
- (d) Groundcover; and
- (e) Grass (artificial or other).

The applicant has not proposed any landscaping at this time and wants to keep the site "as is." Right now, there is a landscape area along the frontage that ranges between about 16' and 45' wide. This is mostly unkept, with some lawn, rocks, and shrubs.

West Haven Code allows the Planning Commission to give the applicant up to six months to complete landscaping because of inclement weather (§ 157.992 COMPLETION OF IMPROVEMENTS (A)(1)). The applicant has asked that the Planning Commission consider approving the existing landscaping as is.

(E) Building/site layout.

- (1) All buildings shall be designed with breaks in the facade. This may be accomplished through a change in building materials, actual breaks in the facade, a mix of roofline projections.

The building is composed primarily of cinderblock. The West Haven Code states that the normal elevation material requirements shall apply to "new buildings" (§ 157.734 DESIGN REQUIREMENTS (A) Building materials). Staff finds that the improvements meet the code.

(F) Engineering standards. Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to utility easements, drainage and other engineering requirements? *The applicant has not added any buildings, utilities, or access points. The site plan application is currently under review by the City Engineer and Building Official.*

Staff Recommendation

Based on the above compliance with all relevant City codes, **Staff recommends that the Planning Commission grants final site plan _____ with the following findings and conditions:**

Findings

1. That the proposed use complies with Mix Use Zone development standards for an existing commercial building and site
2. The applicant is not adding any additional building to an existing commercial site
3. That the applicant updates have complied with the West Haven City site development code
4. That the typical landscape improvements are not required because
 - a. the applicant has not significantly altered the existing commercial site beyond adding some additional parking and remodeling an existing building,
 - b. the existing commercial site does not have adequate space for the typical required landscaping and
 - c. that the applicant does not have any irrigation or secondary water

Conditions

1. That the applicant apply for a building permit for the proposed sign before construction

2. The applicant must receive a certificate of occupancy from the West Haven Building Official before opening.

Proposed Motion of the Planning Commission

A possible motion for the Planning Commission is:

“The Planning Commission grants final approval of the commercial site plan for Professional Studios 6, Parcel # 150660040, in West Haven, subject to the findings and conditions recommended in the staff report.”

SITE PLAN
AND DESIGN REVIEW



Address of Site 1924 Midland dr. West Haven, UT Parcel # 150940047

Applicant Name Old Hickory Sheds

Agent Name Colton Bain

Application is hereby made to West Haven City requesting the following permitted use(s),

Shed sales / Additional rental and

Site plan design for 2500 building be approved on 1.26 of
(Square Feet) (acreage)

Property in the C-3 zone in accordance with the attached site plan. (see attached form for site plan requirements.)

Signed: [Signature] Date: 3/12/25.
(Owner/Petitioner)

I authorize Colton Bain to act as my representative in all matters relating to this application.

[Signature]
(Owner)

[Signature]
(Agent as Authorized by Owner)

State of Utah)

§

County of Weber)

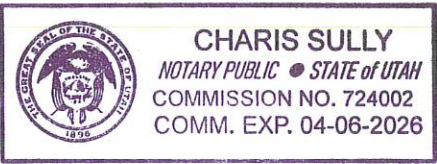
On this 11th day of March, in the year 2025, before me, Charis Sully

a notary public, personally appeared Michael Curtis Riddle, proved on the basis of satisfactory
name of document signer

evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and
acknowledged (he/she/they) executed the same.

Witness my hand and official seal.

Charis Sully



N/A	Received	N/A	Received	Letters of acknowledgment/approval/conditions from
				<u>PRELIMINARY</u>
				<u>FINAL</u>
				Affidavit of Understanding and Acceptance of Fees
				Culinary Water provider (Will Serve)
				Weber Fire District
				Weber-Morgan Health Department (If applicable)
				UDOT Application Letter (If applicable)

ALL APPLICABLE ITEMS MUST BE RECEIVED BEFORE BEING ADDED TO THE AGENDA

Owner Information

Address 2497 N. 7000E City Croydon State UT Zip 84018

Phone 801-509-4902 Fax —

Email Riddle1905@yahoo.com

Agents Information

Address 215 middle tennessee Blvd. City Murfreesboro State TN Zip 37129

Phone 316-500-0731 Fax —

Email: Colton.bain@oldhickorysheds.com

Surveyor/Engineer

Name — Phone — Fax —

Email —

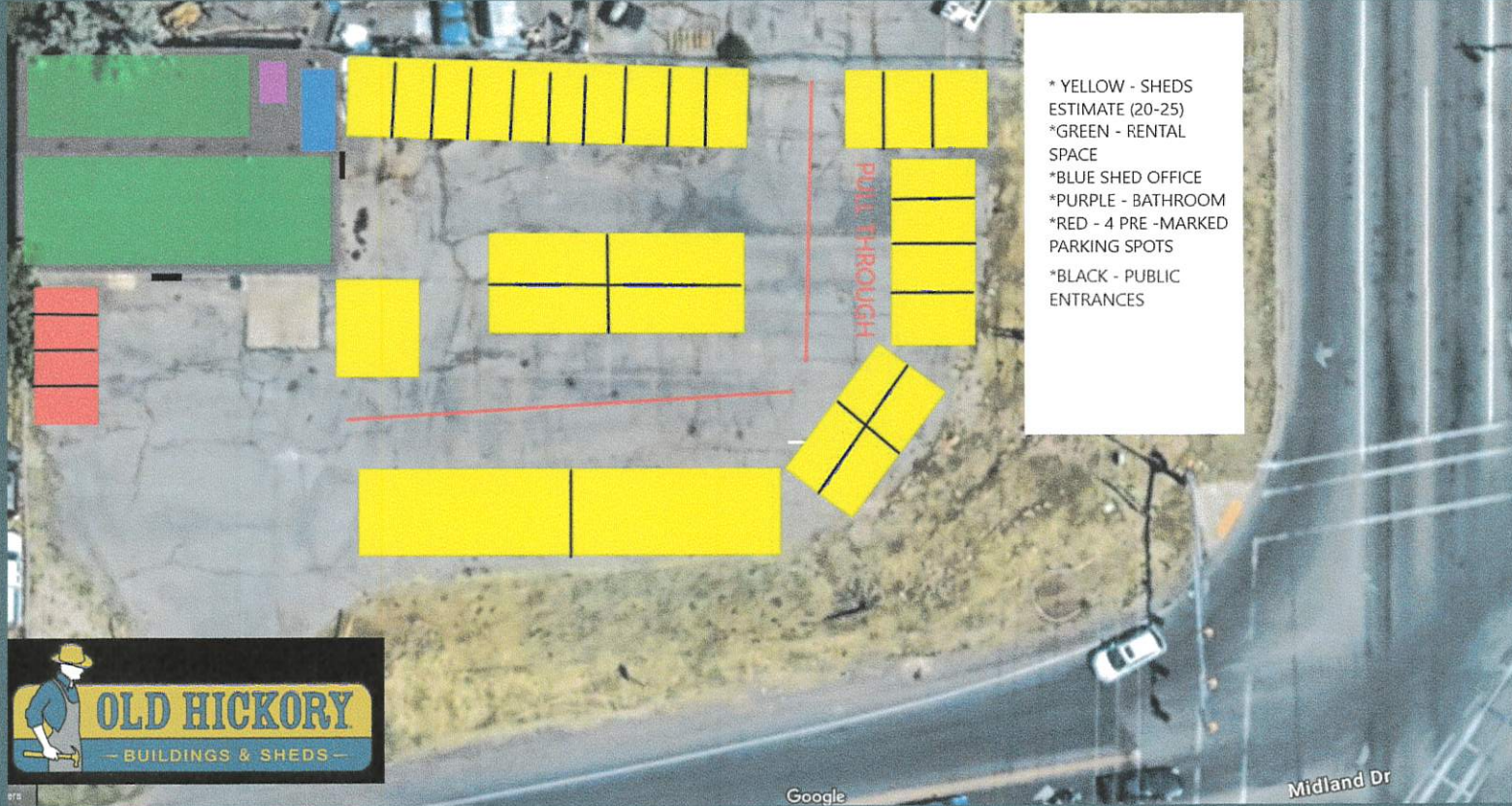
Address — City — State — Zip —

**COSTS TO BE INCURRED BY
DEVELOPER
TO WEST HAVEN CITY**

Fees	
City Review \$250.00 per plan set	
Preliminary \$500.00 + \$50.00 per acres (0-5 acres) \$1500.00 + \$75.00 per acres (5.01 - 10 acres) \$2000.00 + \$100.00 per acres (10.01 - 15 acres) \$3000.00 + \$100.00 per acre (15.01+ acres)	Preliminary Amount <u>250.00</u> Date Paid <u>3-12-2025</u>
	Final Amount <u>—</u> Date Paid <u>—</u>
Needs City Council Approval <input type="checkbox"/> Yes <u>—</u> <input type="checkbox"/> No <u>—</u>	Scheduled for Planning Commission Agenda <u>—</u>
Planning Commission action Preliminary <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date <u>—</u> Final <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date <u>—</u>	Conditions <u>—</u> <u>—</u> <u>—</u> <u>—</u> <u>—</u> <u>—</u> <u>—</u>
City Council action Preliminary <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date <u>—</u> Final <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date <u>—</u>	

Community Development Director —

SITE - MAP



USAGE, OPERATION DETAILS & ZONING REQUIREMENTS

- Dealership style shed sales
- The option to rent remaining building to a C-3 permitted business.
- The shed business will operate similar to a car dealership. The sheds are built in Evanston, WY and shipped to the lot for direct public sale. There is no manufacturing on site.

Building locations and Elevations - Location is remaining "as is" This lot has been a car dealership for many years. We are utilizing the same existing building and property for shed sales.

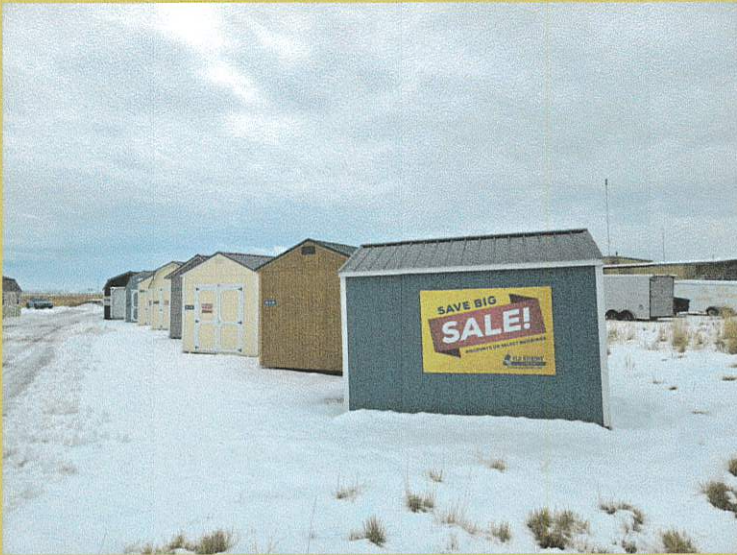
Signage - We like to use the standard flag signs and hang banners and information sheets from our sheds so the customer knows our sales, specials and delivery fees. Please see example images on last page.

Parking - I have marked the designated parking spots on the site map. There are 4 pre-marked spots, with an area for 2-3 more that can be added.



Landscape plan - We hope to use the same landscaping that was allowed with the previous dealership a few months back. We will clean the site up and improve its curb appeal as we are wanting the lot to be appealing to our future customers and West Haven City.





Colton Bain
Territory Manager Old Hickory Sheds
C: 316-500-0731
Email: Colton.bain@oldhickorysheds.com



SITE - PLAN

OLD HICKORY SHEDS -
1924 MIDLAND DR, WEST HAVEN, UT
84401





West Haven City

Building Department Review Comments

Date: 3/17/2025

Project: Old Hickory Site Plan

Address: 1924 S Midland Drive

Review #: - Site Plan

Comments:

1. No comments at this time from Building.



Planning Commission Staff Review Memo

April 16, 2025

FINAL SITE PLAN /CUP REVIEW

Request: Grant final site plan for RDO Equipment, a heavy equipment sales and service business
Property Address: 1971 W 2100 S
Parcel(s): 15-788-0003
Property Zone: Commercial C-2
Property Size: 5.26
Applicant: Agent: Genneva Blanchard

Governing Docs: WHZC 157.730-737
Decision Type: Administrative Recommendation
Recommendation: See comments under "Staff Review/Recommendation"

Background

This petition is for a Commercial Site Plan/Conditional Use Permit. It is located on the south/west corner of 21st Street and 1900 west. The proposal is for a farm equipment sales and service facility. It is anticipated that it will have typical business operating hours. The building is approximately 32,000 square feet. The current zone is C-2. The proposed use is conditional in the C-2. The petition has been reviewed by the development review committee. The petition received preliminary site plan and conditional use permit approval on January 22, 2025.

Site Design Review

Staff's review of the proposed site plan as it pertains to the requirements of the West Haven Zoning Code are as follows:

§157.291 Site Development Standards

	C-2 Requirement	Site Plan Proposal	Compliant?
Building height			
Maximum	35 ft. when adjacent to residential	29'-8" to high parapet	Y

Minimum	1 story	1 story	Y
Max lot coverage	60% by buildings (main & accessory)	5.96%	Y
Minimum lot area	None	11.91 acres	Y
Min lot width	None		Y
Min yard setbacks			
Front	15 ft.	79.67' from the proposed connection road, 268.37' from a north parcel line	Y
Rear	10 ft. where building rears on a residential zone	Building is more than 10' from the rear property line (32.01')	Y
Side	10 ft. when adjacent to residential	Building is more than 10' from the rear property line (51.75')	Y
Side, adj. to street	15 ft.	NA	

§157.630 Parking Regulations

This subchapter regulates parking and loading spaces, vehicle traffic, and access to provide orderly and adequate development of these needed amenities, and in so doing, promote the safety and well-being of the citizens of the city.

The proposed project falls into several different categories of the parking Ordinance.

Automobile sales, new/used	5 spaces, plus 1 space per 2,000 square feet GFA. This is exclusive of on-site inventory parking
Office, general	1 space per 250 square feet GFA

Based on the above analysis the project has adequate parking.

§157.730 Design Review

The requirements of this chapter and the project proposal/compliance are below. Please note that only those sections which are applicable are included. There may be portions of §157.733 which do not apply to this site plan.

§ 157.733 Standards of Review

(A) Traffic safety and circulation.

- (1) Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to traffic ingress, egress and internal circulation? ***The application appears to meet the ingress and egress requirements, and the City Engineer has approved the access.***
- (2) (B) Parking. Does the site plan comply with city ordinances regarding design, location and number of parking stalls required? ***See previous comments regarding parking.***
- (C) Signage. Does the proposed signage meet the requirements of the city sign ordinance? ***A signage plan has been submitted. All signs must get a building permit approved before proceeding with displaying any sign. A signage plan has been submitted and meets the requirements of the city sign ordinance.***
- (D) Landscaping - §157.988.
 - (1) The following landscaping shall be provided in each project subject to the provisions of this subchapter:
 - (a) Front yard. Landscaping shall be required along the entire frontage of the lot, except for the frontage required for ingress/egress. Said landscaping shall be a minimum of 15 feet deep, calculated from the property line. ***The current front landscaping satisfies this requirement with 15 feet of front landscaping.***
 - (b) Side/rear yards. There shall be a minimum of five feet of landscaping between parking areas and side or rear property lines (except between commercial uses where said landscaping is not visible from areas of public access) and a minimum of five feet of landscaping between an access driveway and a side or rear property line unless said driveway is to be used for common access by an adjacent lot. ***This requirement is fulfilled.***
 - (2) Landscape plans shall include a minimum of three items from the following list:
 - (a) Trees;
 - (b) Decorative rock and boulders (gravel and pea gravel are not permitted);
 - (c) Shrubs;
 - (d) Groundcover; and
 - (e) Grass (artificial or other).***The project will have trees, bushes, shrubs, but the landscaping plan must show a legend of the specific type of landscape that they will be using. A landscaping plan has been submitted and meets city requirements.***
 - (3) *Irrigation plan.* A detailed irrigation plan shall be drawn at the same scale as the planting plan and shall contain the following information:
 - (a) Layout of the irrigation system and a legend summarizing the type and size of all components of the system, including manufacturer name and model numbers;
 - (b) Static water pressure in pounds per square inch (PSI) at the point of connection to the public water supply;
 - (c) Flow rate in gallons per minute and design operating pressure in psi for each valve and precipitation rate in inches per hour for each valve with sprinklers; and

(d) Installation details for irrigation components.

The project has submitted an irrigation plan and meets city requirements.

(E) Building/site layout.

(1) All buildings shall be designed with breaks in the facade. This may be accomplished through a change in building materials, actual breaks in the facade, and a mix of roofline projections. ***The building is compliant with these requirements. There are breaks in the façade which are accomplished by varying building heights and a change in materials.***

(F) Engineering standards. Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to utility easements, drainage and other engineering requirements?

City Engineering has reviewed all plans and had only two minor issues remaining:

- 1. Revise Document C4.1 Provide minimum 0.5% slope on new curb along 2200 S.; and***
- 2. Coordinate SWPPP Approval with Colt Prevedel prior to preconstruction meeting. Also, long-term maintenance agreement will be required prior to construction.***

City Engineering believes both of these outstanding items could be addressed prior to the preconstruction meeting and prior to the issuance of building permits. Prior to the issuance of building permits, the applicant will be required to receive staff's formal approval (done through signature/stamp on plans) of the engineering design.

§ 157.734 DESIGN REQUIREMENTS.

Design approval may include such other conditions consistent with the considerations of this subchapter as the Commission or Planning Director deem reasonable and necessary under the circumstances to carry out the intent of this subchapter.

(A) Building materials. New buildings shall be designed and constructed to meet the following criteria.

(1) Building exteriors shall be designed and constructed with primary and secondary building materials from the list of building materials in division (C) below.

(2) The front elevation, as well as any other elevation which faces the street shall be constructed of a minimum of 60% primary materials, with a maximum of 40% secondary materials.

(3) Windows and doors shall be excluded from the calculation of exterior building material requirements. Non-functioning, decorative only windows may be included in the calculation of building materials.

(4) A maximum of six colors for the primary materials may be permitted.

(5) Secondary materials shall be of a complementary hue and shade to primary building materials. A maximum of four accent colors may be allowed for secondary materials.

(6) A minimum of 15% of the front elevation, as well as any side or rear elevation which faces the street or major corridor, shall consist of upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.

(7) Non-primary elevations which do not face the street or major corridor shall consist of at least 5% upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.

Elevation drawings with a table showing ratio and percentages of materials are required to be submitted with the preliminary site plan application. This item has been satisfied/addressed.

Potential Detrimental Impacts

As is common with commercial projects adjacent to a residential use, the concerns that have not already been addressed in this staff report are noise and lighting.

Noise: We have nuisance ordinances in place which govern noise, so any issues which may arise regarding noise complaints will be handled through the City's code enforcement department. Those noise standards may be found in WHC §90.22. That section of code sets noise standards based on the time of day, proximity to residential areas, and use of the land.

Lighting: Similar to noise, the City has ordinances in place governing lighting and light pollution. That can be found in WHZC 157.775-785. It sets in place standards for commercial lighting, including a required reduction in output, requirements that light be shielded/directed downwards so as not to trespass on adjoining properties. The code has a mechanism in place for enforcement under the nuisance ordinance. ***Developer has provided the City with graphics of their proposed lighting fixtures along with their locations, all of which seem to satisfy these requirements.***

This application also requires a Conditional Use Permit.

Because CUP standards have been addressed and reviewed as part of the Site Plan review, Staff recommends combining the approval process for both processes. This will avoid redundancies and conflicts between the processes. The application received preliminary conditional use permit approval on January 22, 2025, along with the preliminary site plan.

Preliminary Approval Conditions

The Planning Commission's preliminary approval of the commercial site plan was given subject to the following items being addressed:

- 1- Prior to receiving final site plan approval, the applicant shall submit all civil drawings and shall receive the City Engineer's approval of all site plan designs, including the City's Design Standards and Specifications related to utility easements, drainage, and other engineering requirements. – ***This was completed. There are a few minor items that need to be addressed before a building permit can be issued.***

- 2- Prior to receiving final site plan approval, the applicant shall submit to the City all required will serve letters and the fire review from Weber Fire District. – ***This was completed. All letters and the fire review were submitted.***
- 3- Prior to receiving final site plan approval, the applicant shall provide a vehicle path analysis for the largest expected vehicle for both access points. – ***This was completed.***
- 4- The Conditional Use Permit shall be subject to the requirements and conditions of the approved site plan.

Revised Staff Recommendation

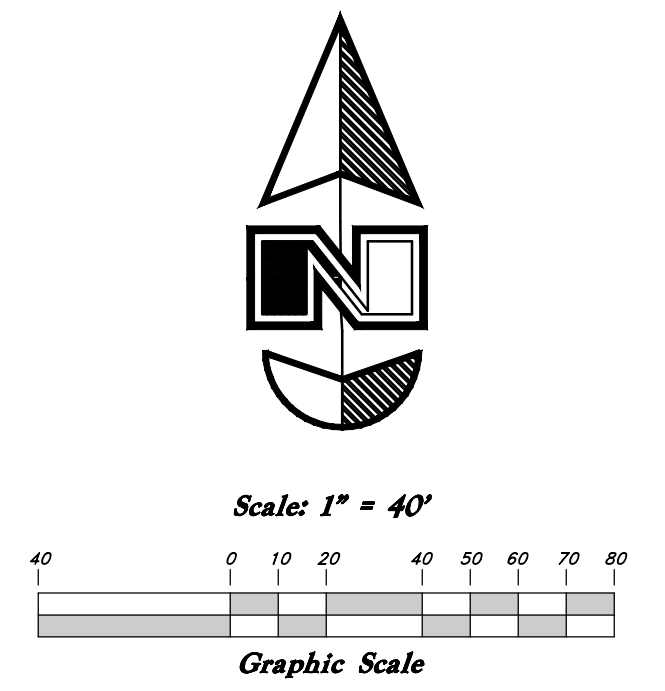
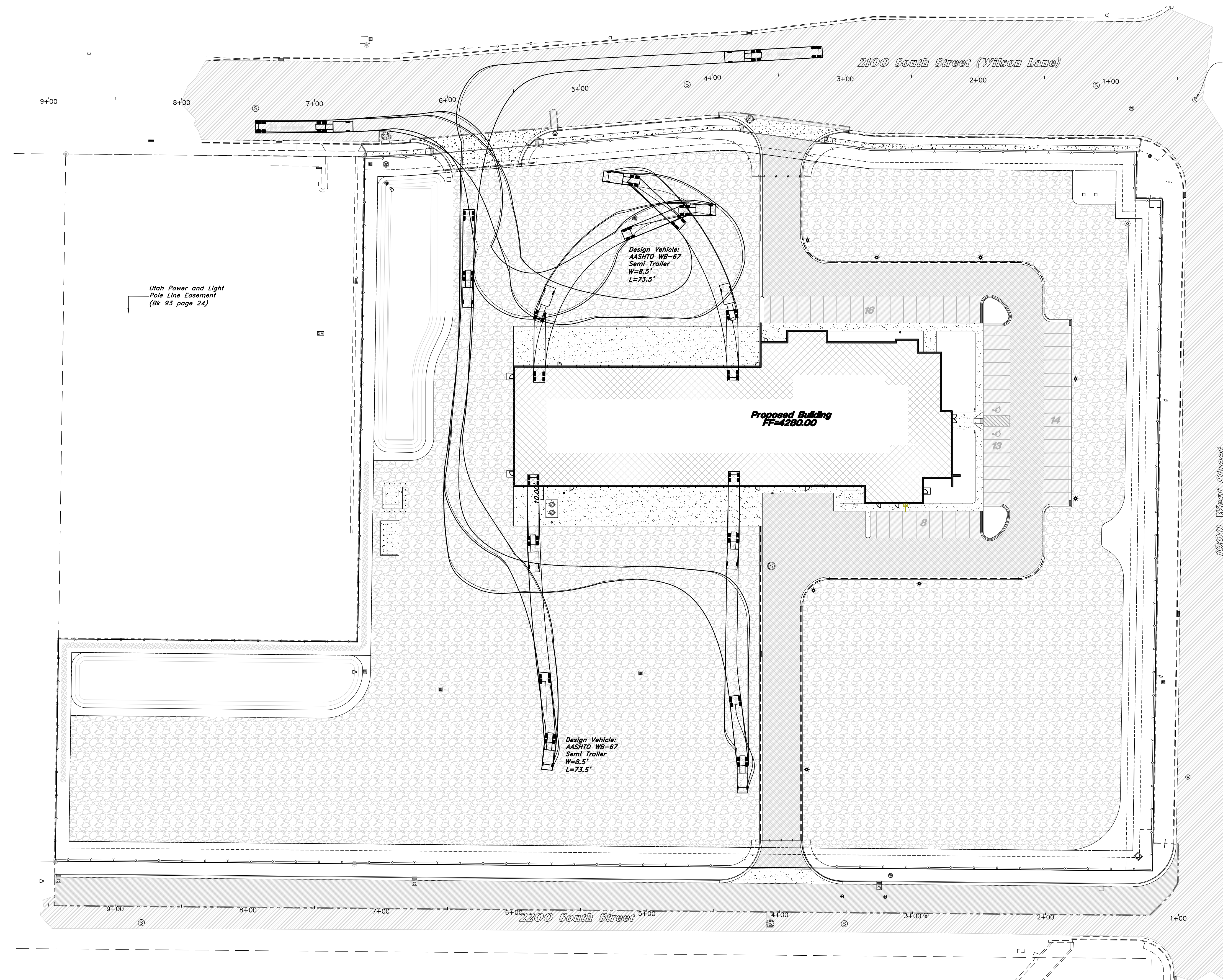

Based on the following findings, staff recommends Final Site Plan and Conditional Use Permit approval subject to the following conditions:

1. **The Conditional Use Permit shall be subject to the requirements and conditions of the approved site plan.**
2. **No construction or building permits will be approved until a fully approved set of site construction documents have been approved by the City Engineering Department.**

Proposed Motion of the Planning Commission

A possible motion for the Planning Commission is:

“The Planning Commission grants final approval of the commercial site plan and conditional use permit for RDO, located at approximately 1971 W. 2100 S., West Haven, Parcels #157880003, subject to the conditions recommended by staff in the staff report.”

[illegible]

GREAT BASIN
ENGINEERING

5746 SOUTH 1475 EAST OGDEN, UTAH 84403
 MAIN (801)394-4415 S.L.C (801)521-0222 FAX (801)392-7544
 WWW.GREATBASINENGINEERING.COM

Vehicle Access Exhibit

RDO Equipment

West Haven City, Weber County, Utah
 A part of the Northwest 1/4 of Section 26, T6N,
 R2W, SLB&M, U.S. Survey

April 2025

SHEET NO.

1

09N900

CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
<u>TREES</u>				
ACE HOT	8	<i>Acer tataricum</i> 'Hot Wings' / Hot Wings Tatarian Maple	B & B	2"Cal
CEL OCC	3	<i>Celtis occidentalis</i> / Common Hackberry	B&B	2"Cal
MAL ABE	11	<i>Malus</i> x 'Jarmin' / Marilee® Crabapple	B&B	2"Cal
MAL DON	4	<i>Malus</i> x 'Donald Wyman' / Donald Wyman Crabapple	B&B	2"Cal
ZEL VIL	1	<i>Zelkova serrata</i> 'Village Green' / Village Green Japanese Zelkova	B&B	2"Cal

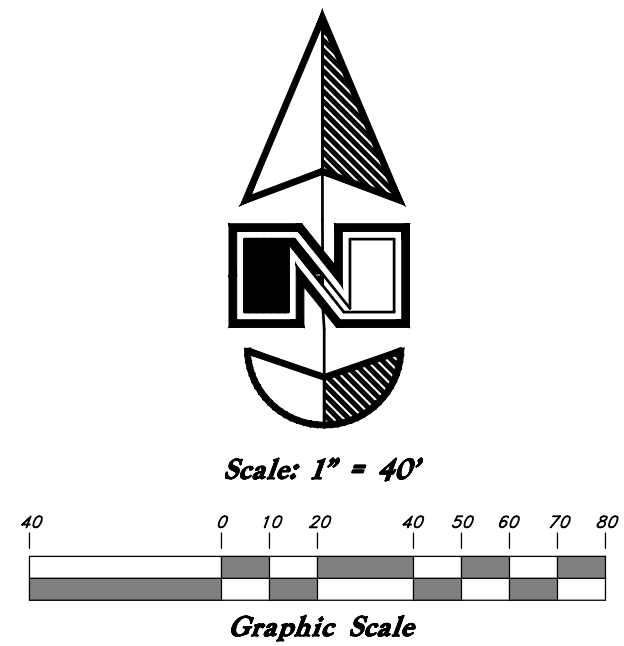
<u>GRASSES</u>				
CAL KAR	31	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass	1 gal.	
MIS COS	14	<i>Miscanthus sinensis</i> 'Cosmopolitan' / Cosmopolitan Silver Grass	1 gal.	

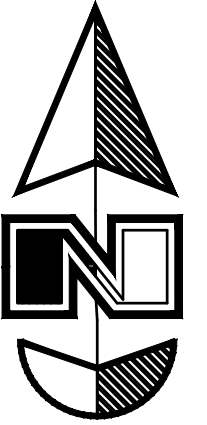
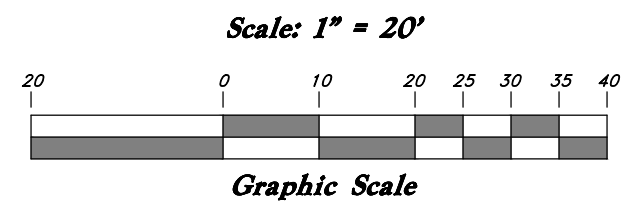
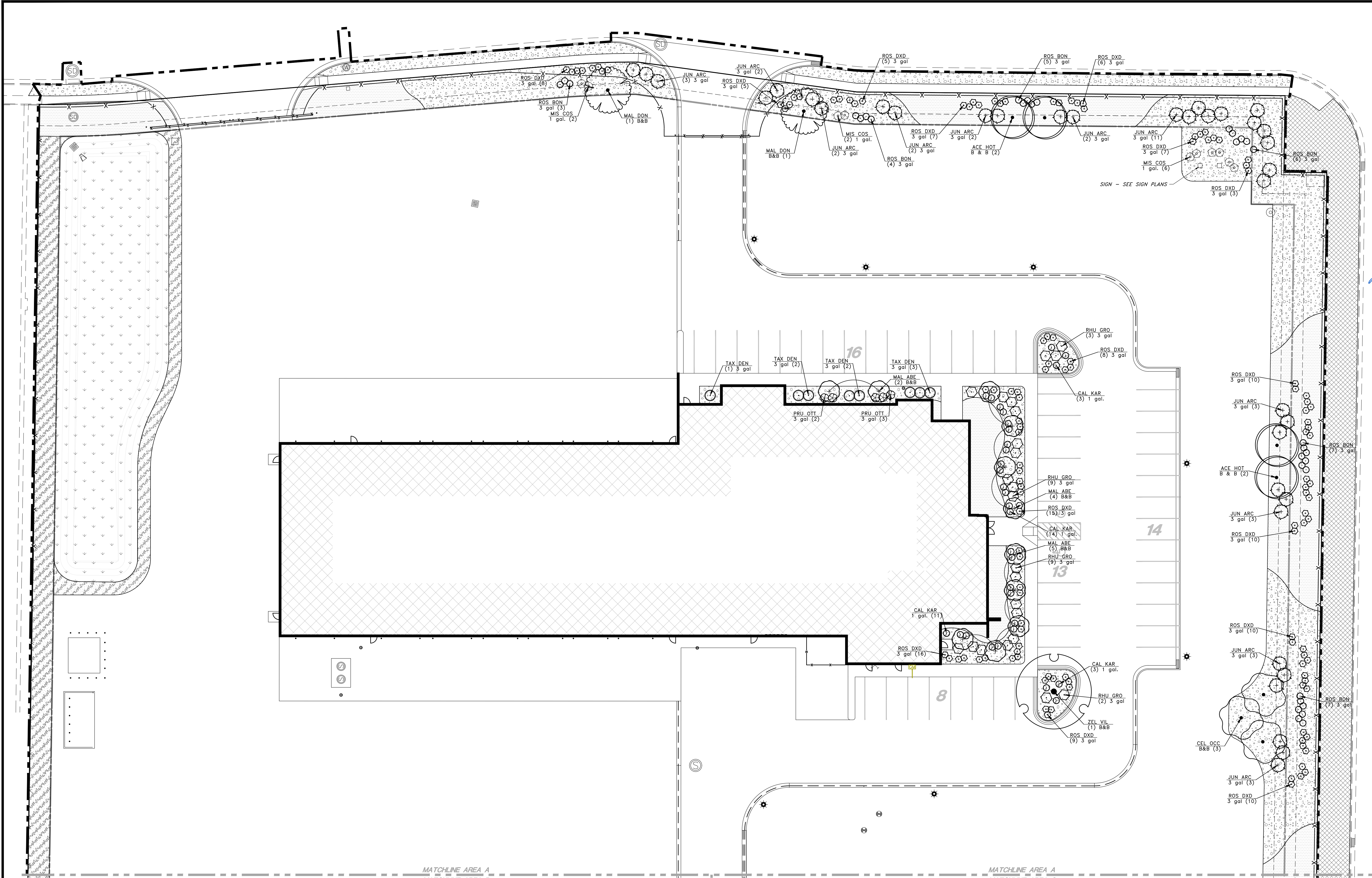
PLANTING NOTES

- ## PLANTING TABLE

LANDSCAPE AREA	11,600 SF
TREES REQUIRED 1/400 SF	29
TREES PROVIDED	29
SHRUBS REQUIRED 1/200 SF	60
SHRUBS PROVIDED	428

LANDSCAPE MATERIAL	TOTAL SF	% OF TOTAL LANDSCAPE AREA
TURFGRASS	0	0%





Enlarged Landscape Plan

RDO Equipment

West Haven City, Weber County, Utah
A part of the Northwest 1/4 of Section 26, T6N,
R2W, SL&M, U.S. Survey

Apr. 14 2025

SHEET NO.

LP101

21N716

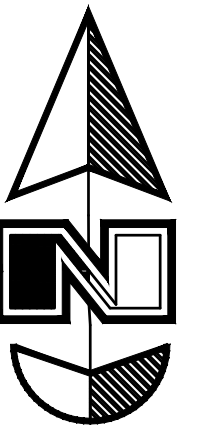
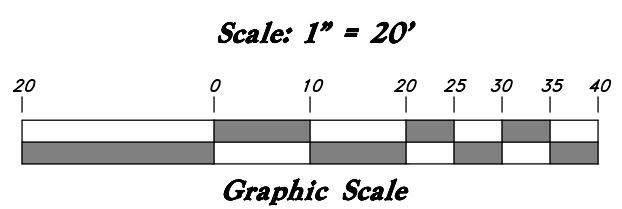
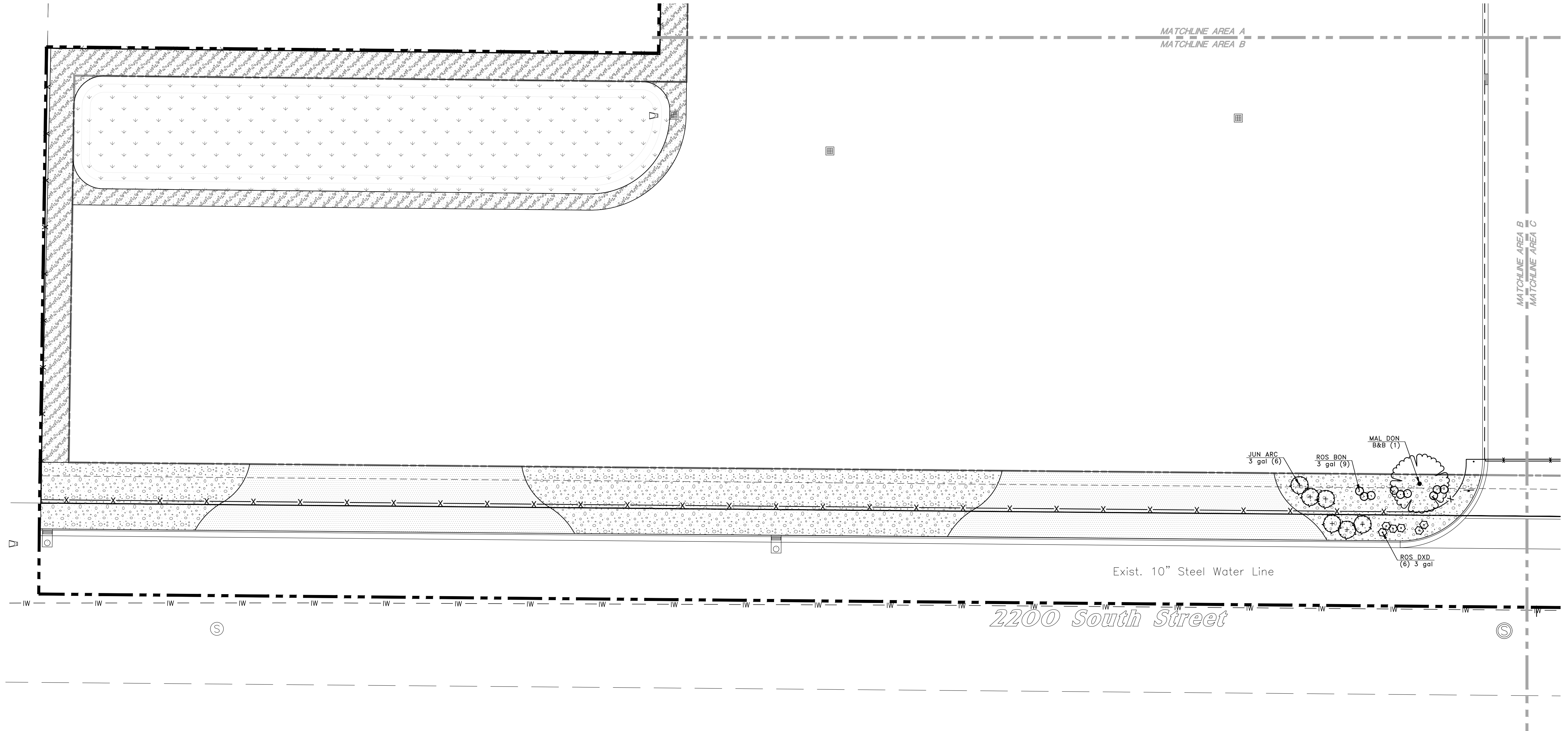
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WWW.GREATBASINENGINEERING.COM

STATE OF UTAH
JAMES D. ZAUGG
3085204
LANDSCAPE ARCHITECT

REV	DATE	DESCRIPTION
1	4-12-2023	1st City Comments



Enlarged Landscape Plan

RDO Equipment


West Haven City, Weber County, Utah
A part of the Northwest 1/4 of Section 26, T6N,
R2W, SL&M, U.S. Survey

Apr. 14 2025

SHEET NO.

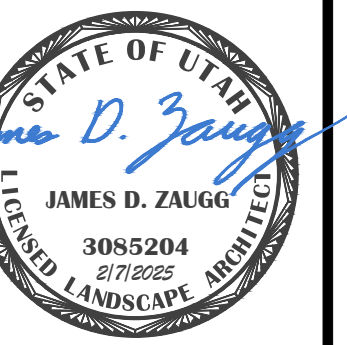
LP102

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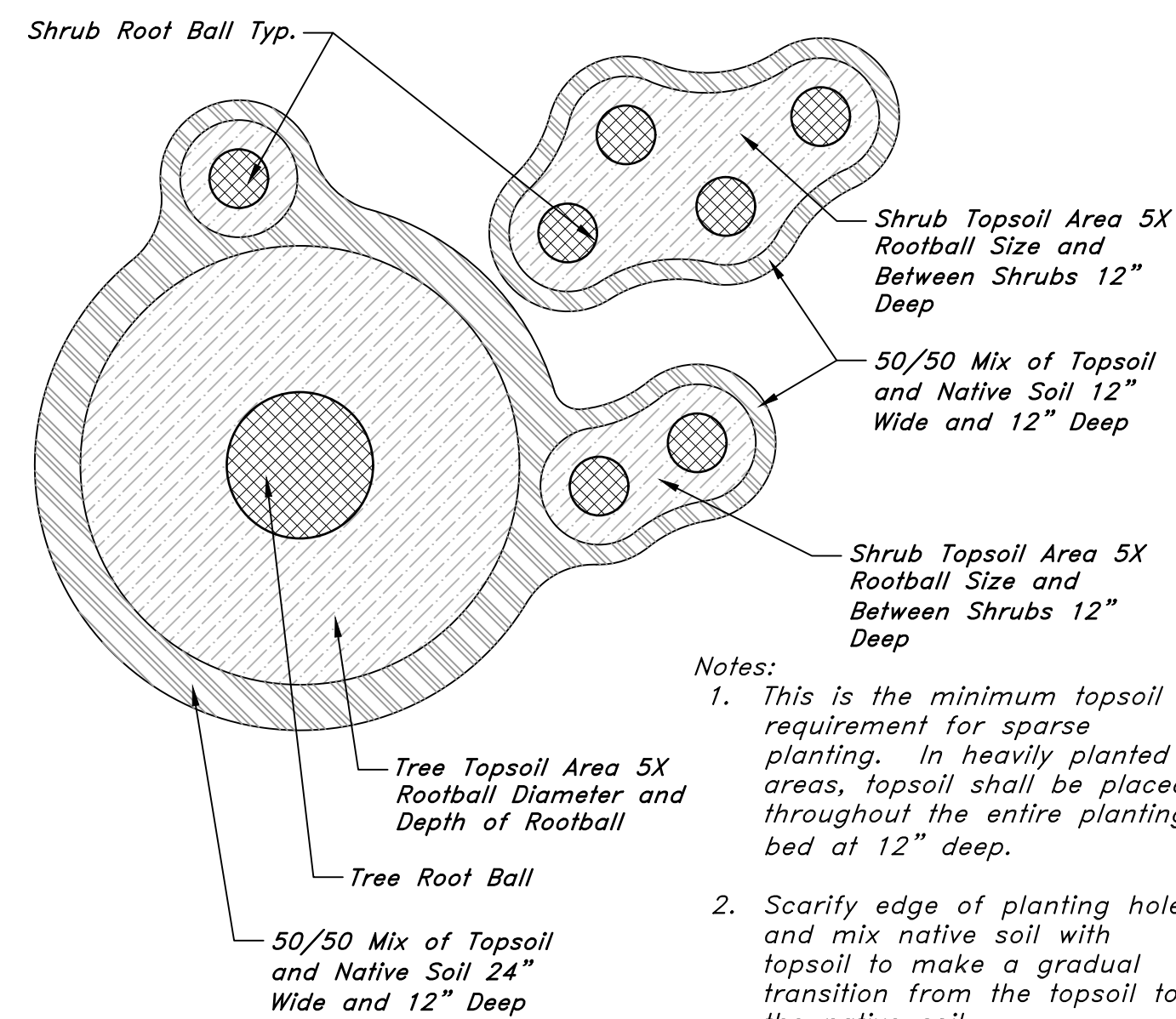


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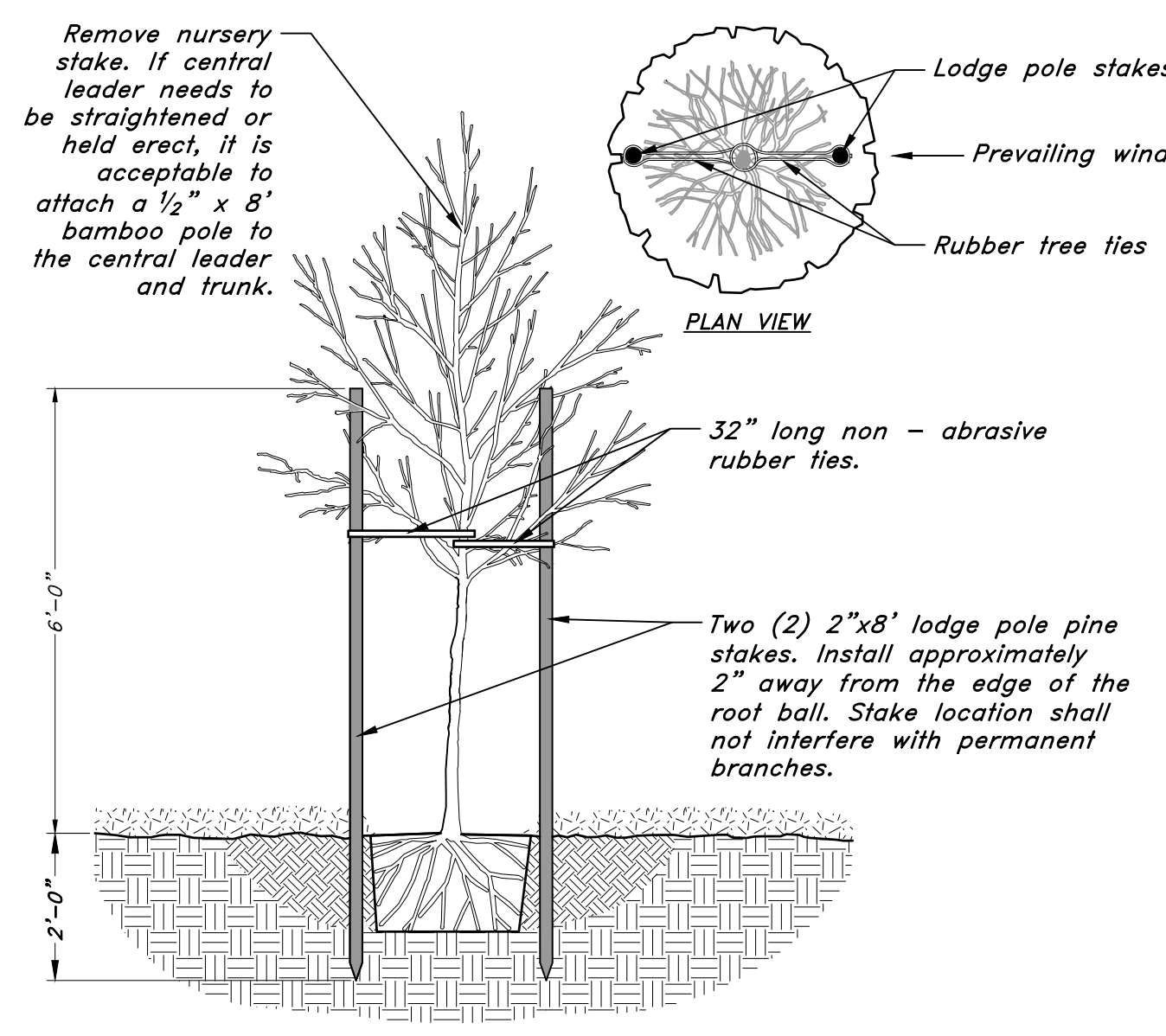
5746 SOUTH 1475 EAST, GEDEN, UTAH 84403
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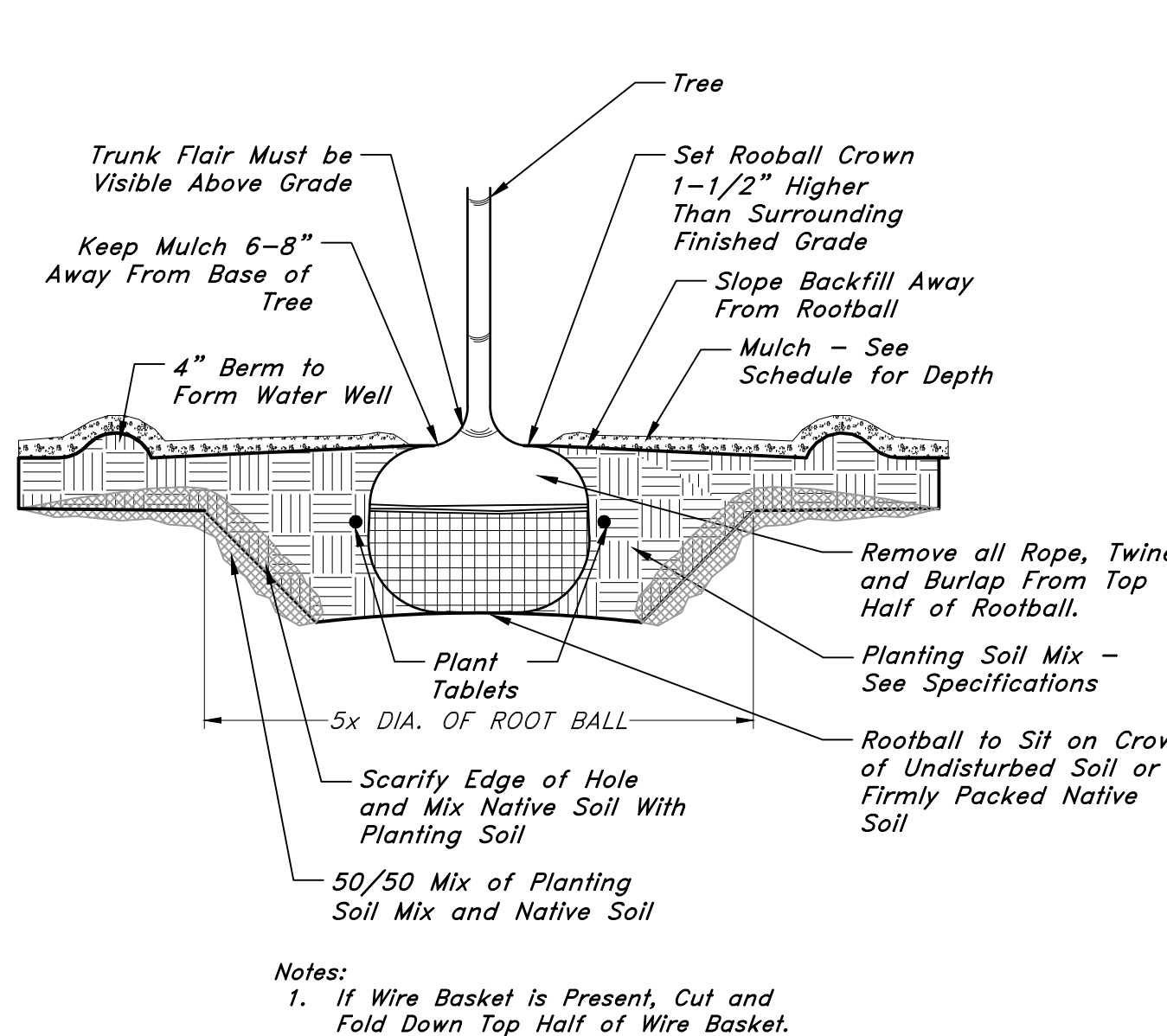
REV	DATE	DESCRIPTION
1	4-12-2023	1st City Comments



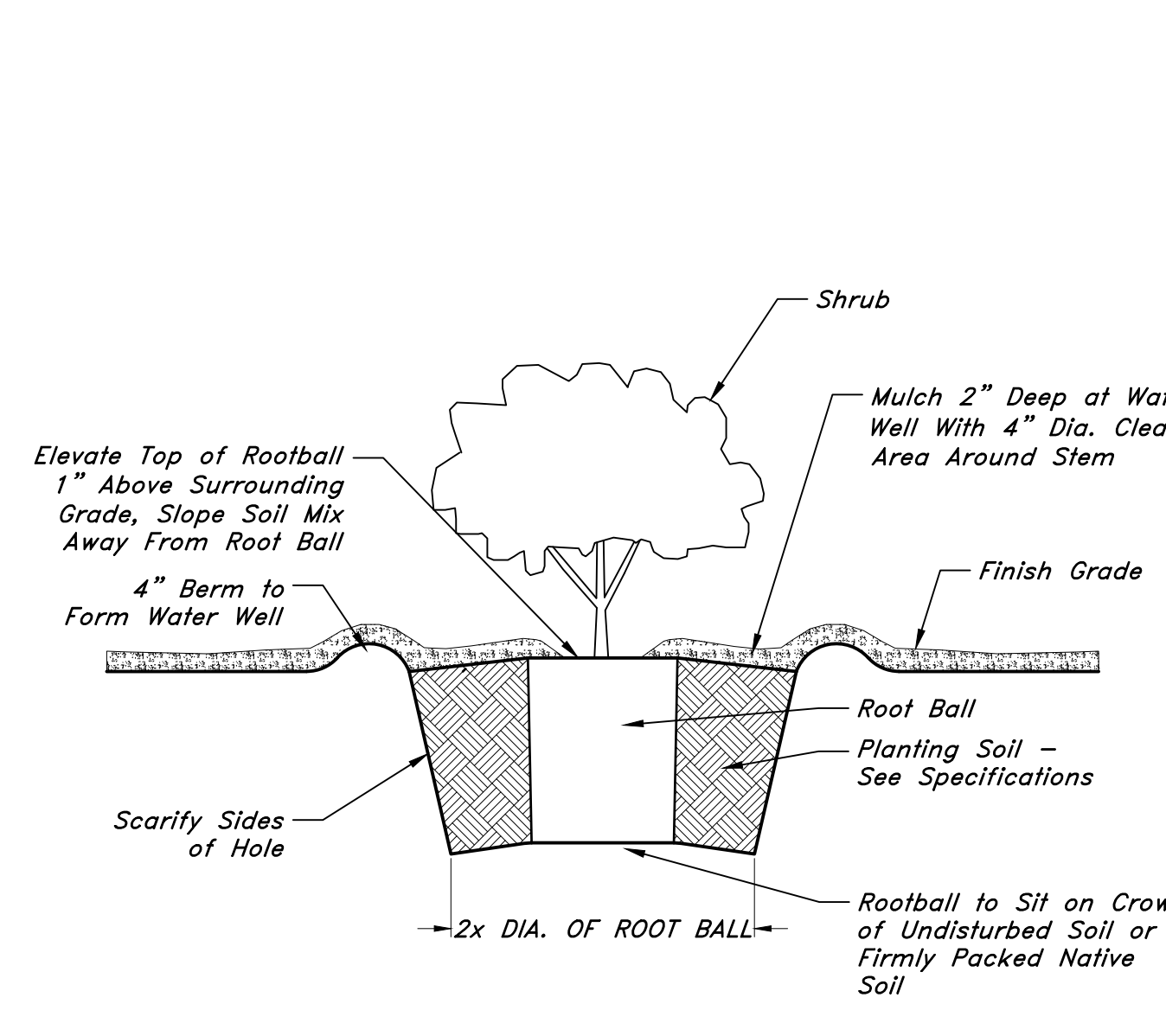
4 TOPSOIL PLACEMENT AT SHRUBS AND TREES
NTS 32 9406-01



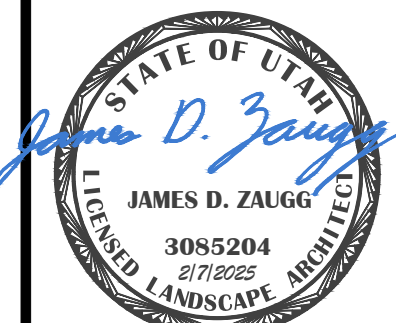
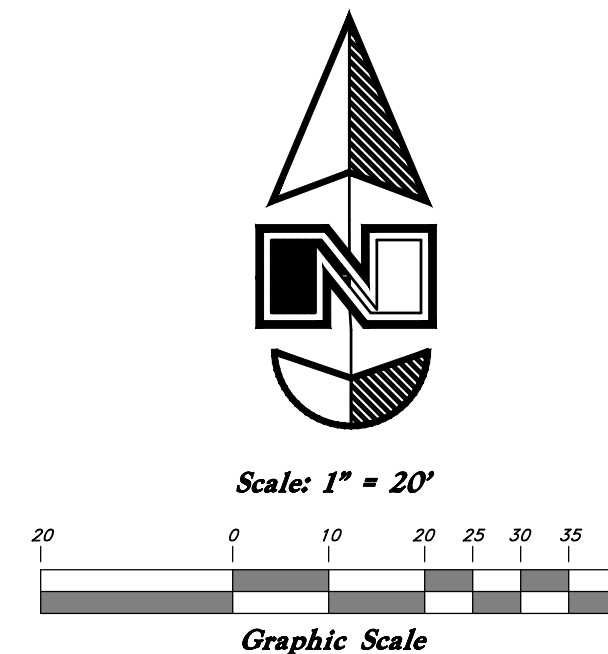
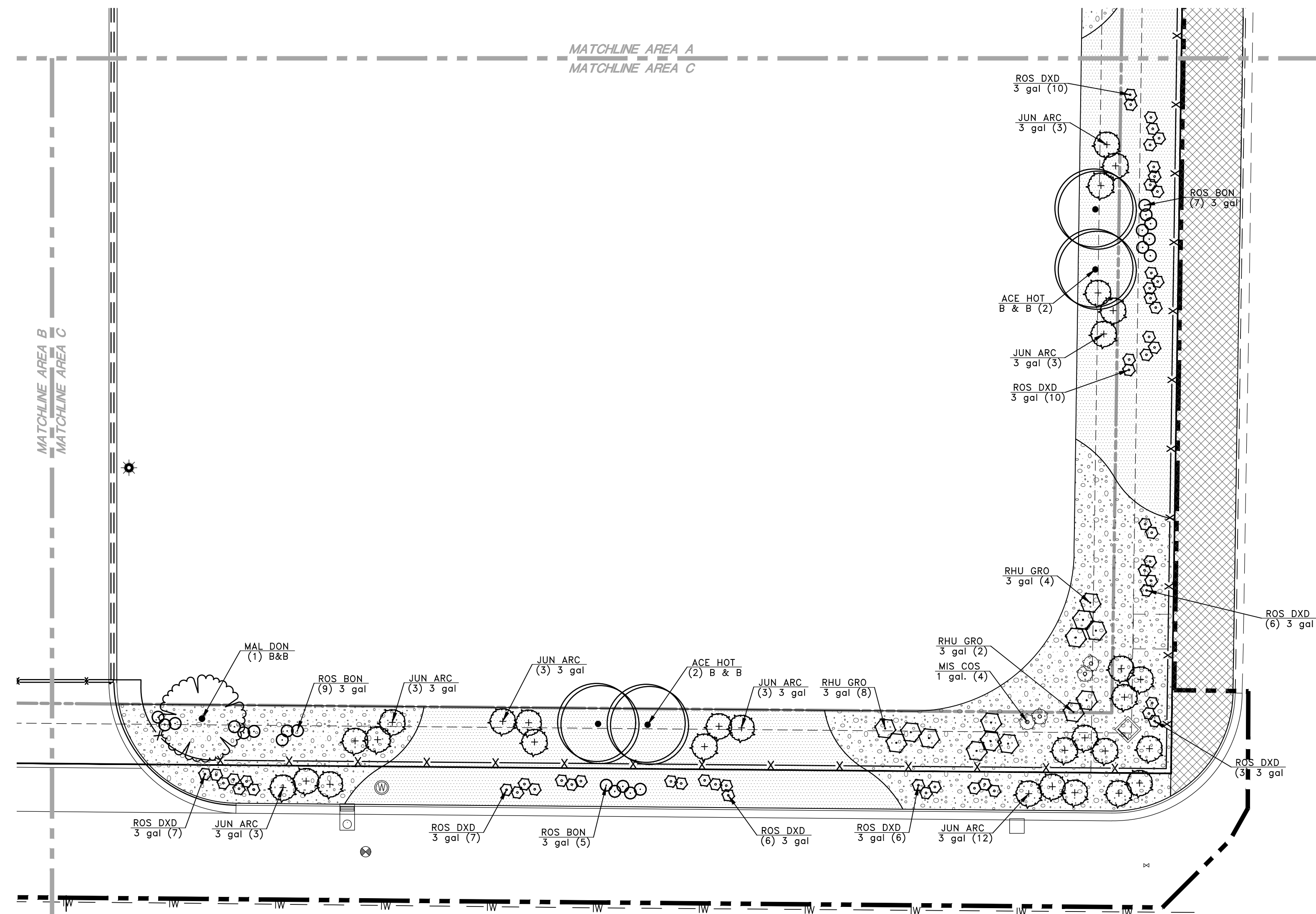
3 TREE STAKING DETAIL
NTS



2 TREE PLANTING
NTS 32 9343.01-01



1 SHRUB PLANTING
NTS 32 9333.01-01



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Enlarged Landscape Plan

RDO Equipment

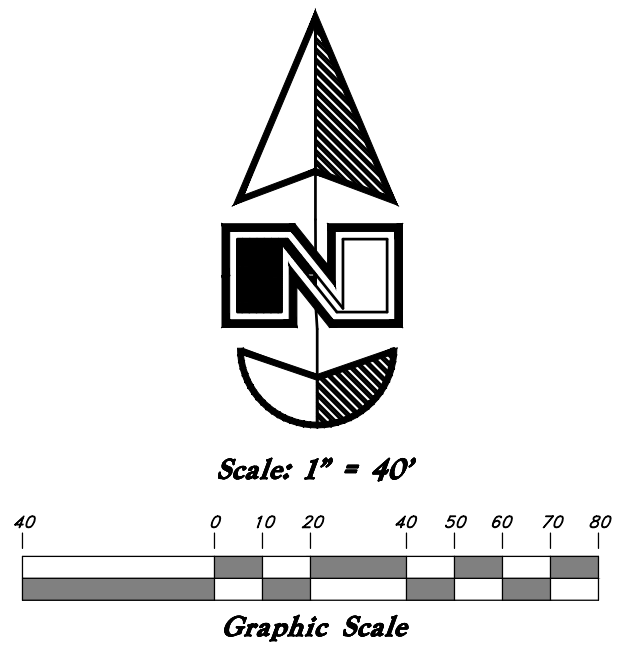
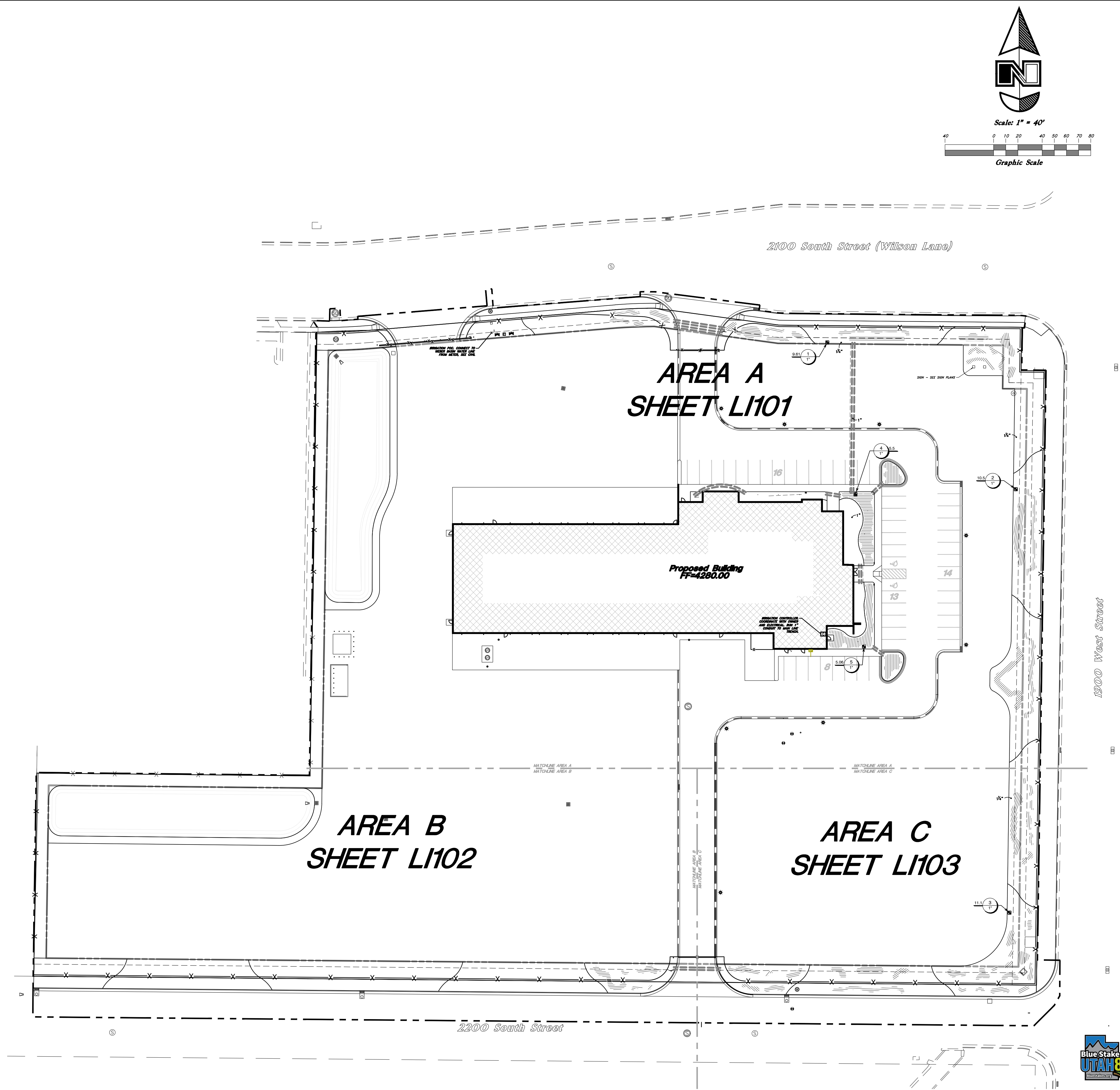
West Haven City, Weber County, Utah
 A part of the Northwest 1/4 of Section 26, T6N,
 R2W, SL&M, U.S. Survey

Apr. 14 2025

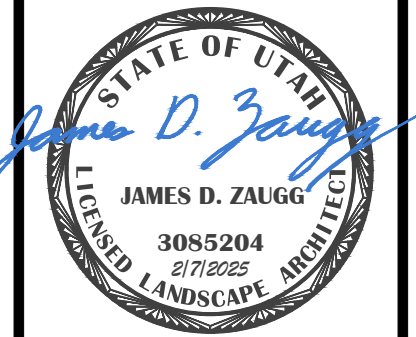
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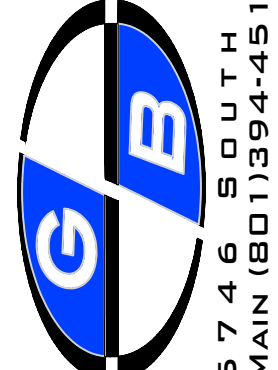
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21N716



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1	4-12-2023	1st City Comments



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Overall Irrigation Plan

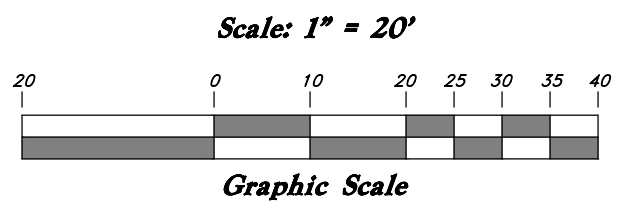
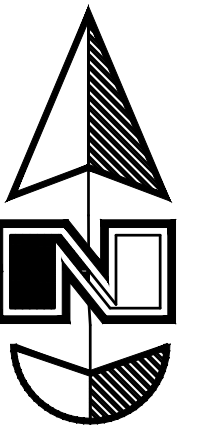
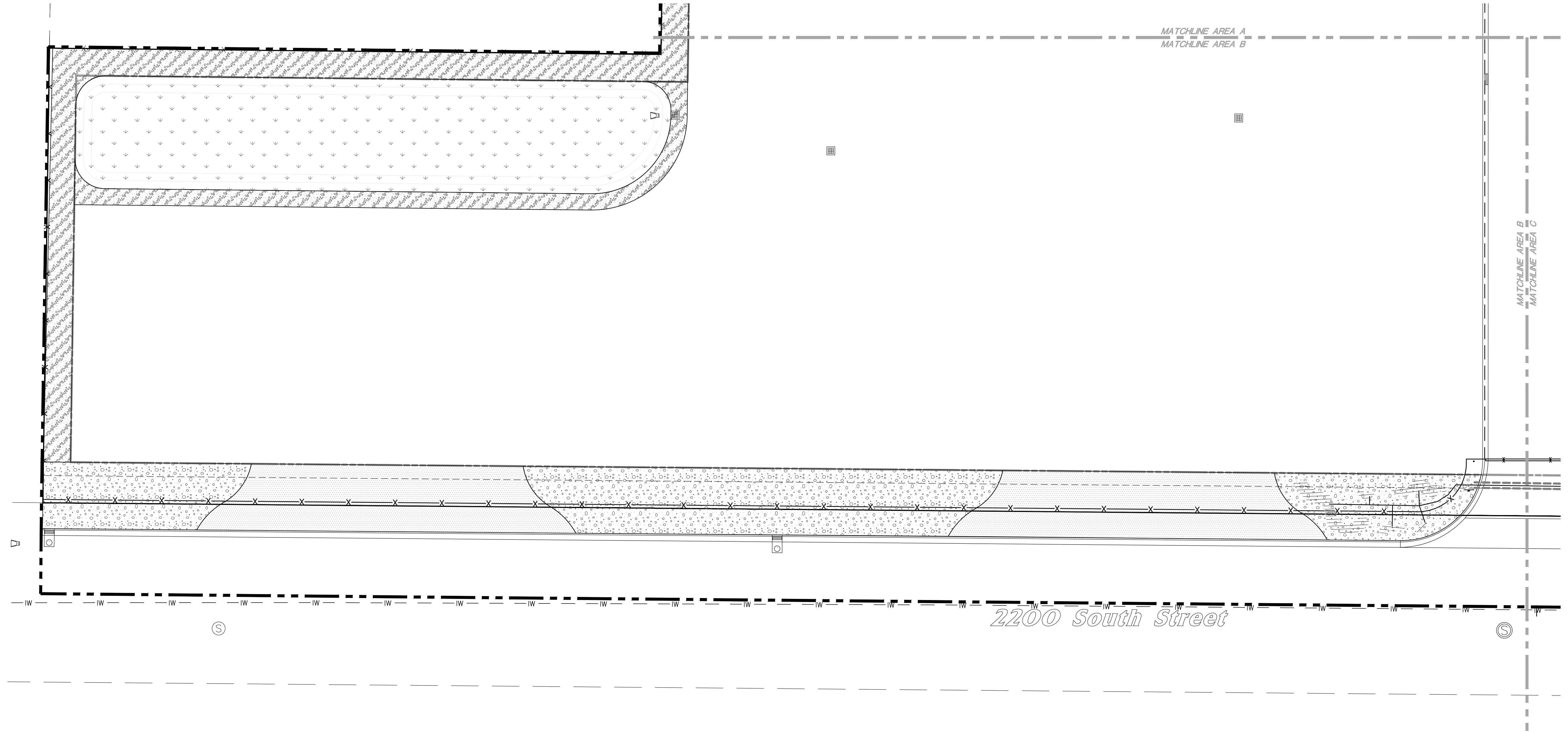
RDO Equipment
West Haven City, Weber County, Utah
A part of the Northwest 1/4 of Section 26, T6N,
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Apr. 14 2025

SHEET NO.
LI100

21N716





Enlarged Irrigation Plan

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West Haven City, Weber County, Utah
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Apr. 14 2025

SHEET NO.

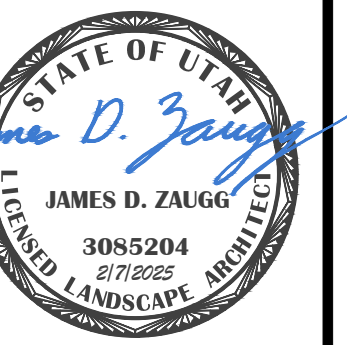
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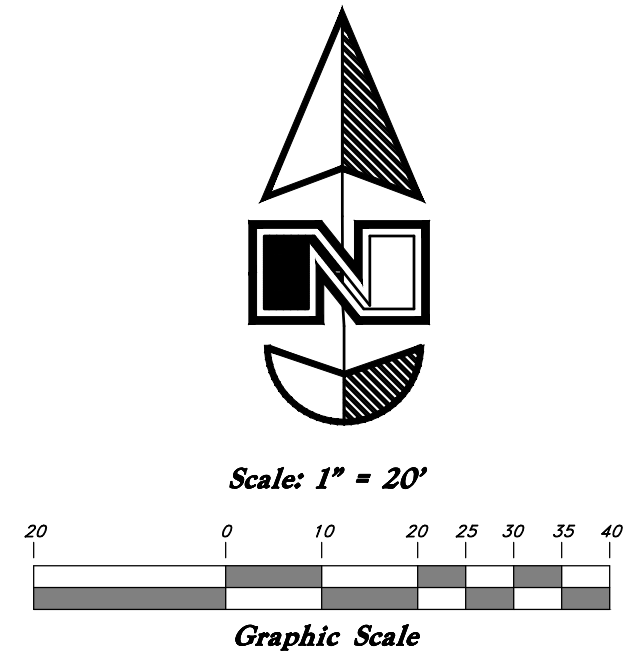
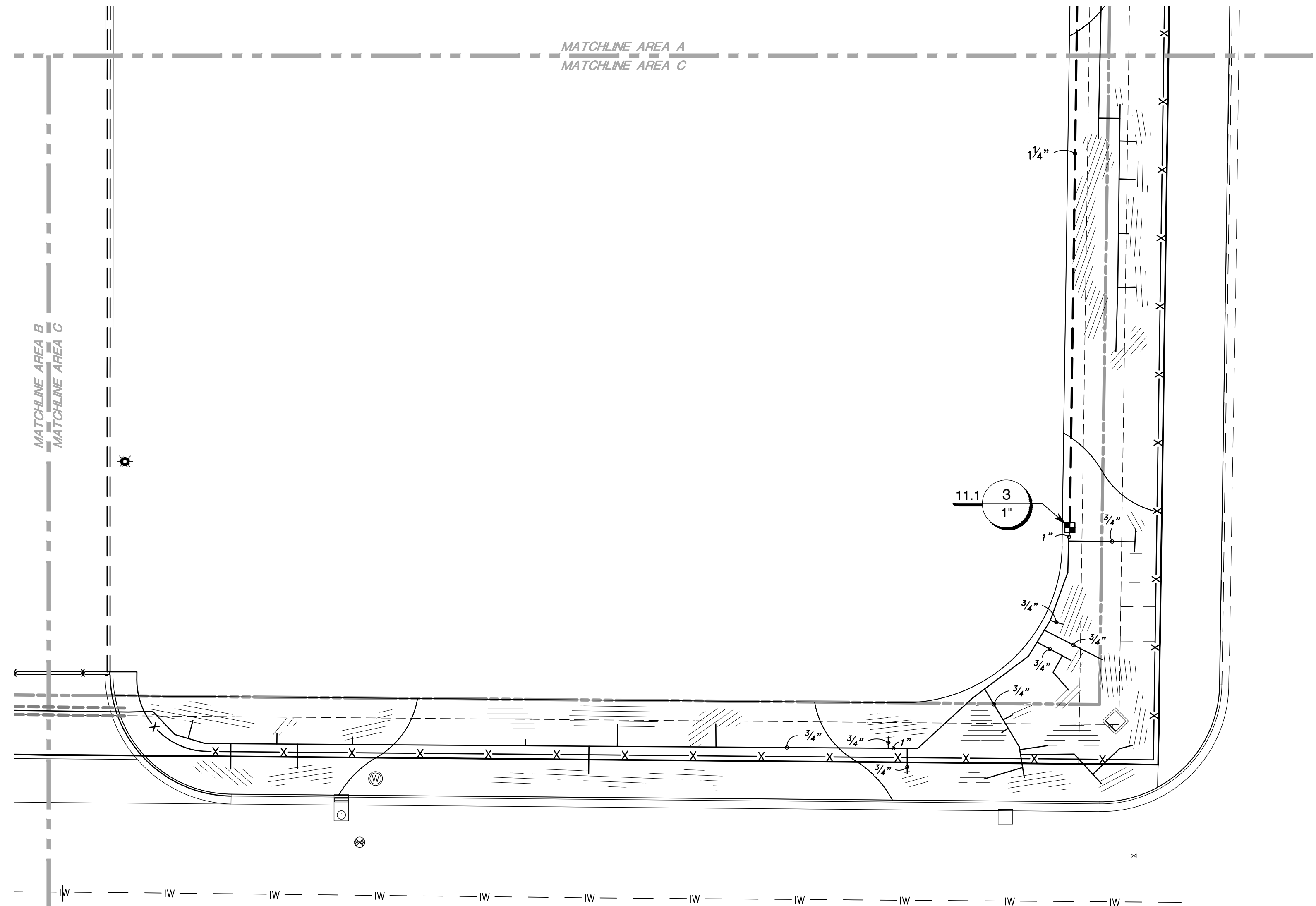
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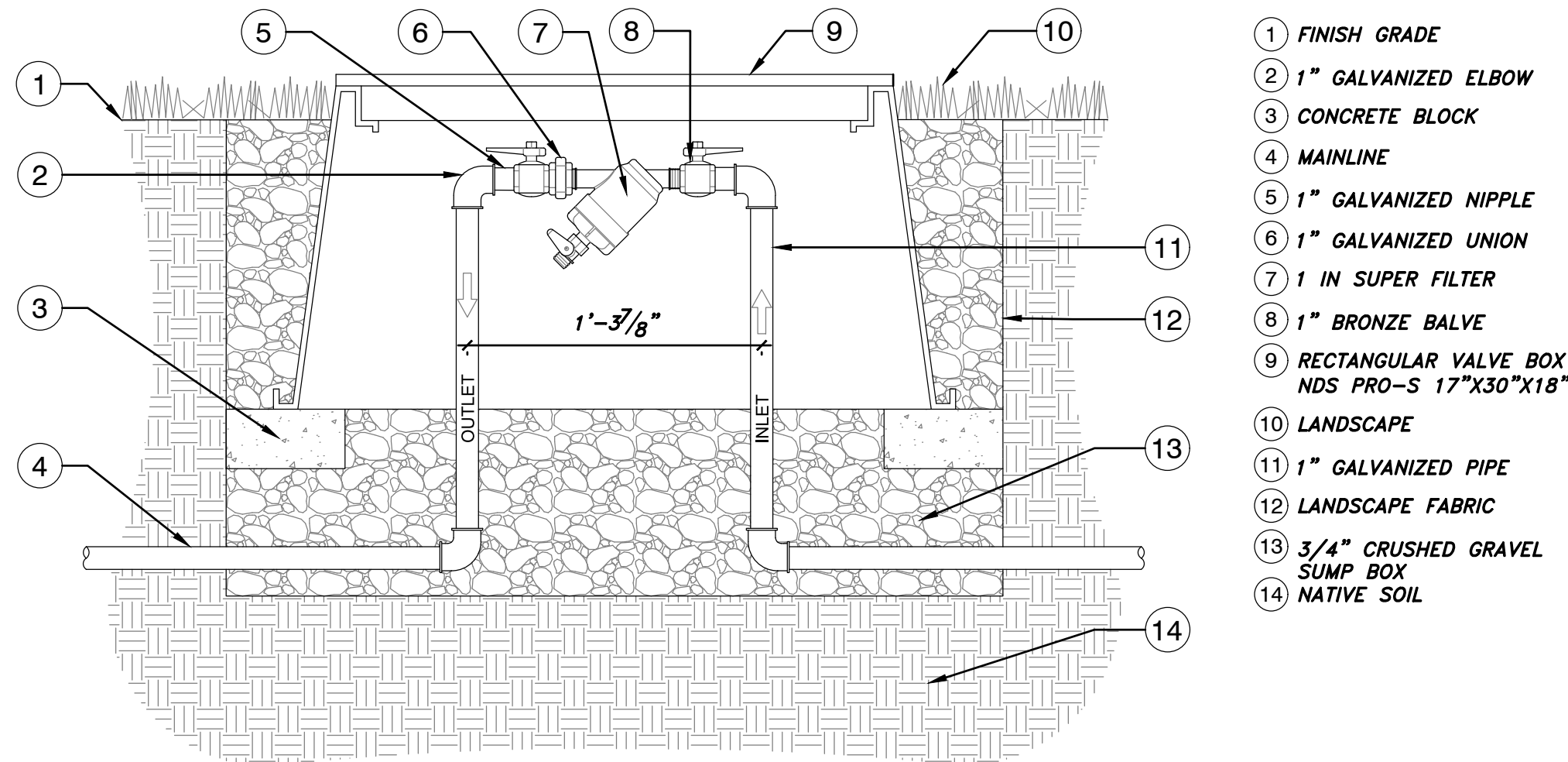
Enlarged Irrigation Plan		RDO Equipment <i>West Haven City, Weber County, Utah</i> <i>A part of the Northwest 1/4 of Section 26, T6N, R2W, SLB&M, U.S. Survey</i>	
LI103		Apr. 14 2025	
SHEET NO.		DATE	
21N716		4-12-2023	
REV		1st City Comments	
1		DESCRIPTION	
1		JAMES D. ZAUGG 3085204 6/1/2023 LANDSCAPE ARCHITECT STATE OF UTAH	
GREAT BASIN ENGINEERING		5746 SOUTH 1475 EAST, Ogden, Utah 84403 MAIN (801)394-4515, SLB&M (801)521-0222, FAX (801)392-7544 WWW.GREATBASINENGINEERING.COM	

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICZ-101-40-LF Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 40 psi. Flow Range: .5 GPM - 15 GPM. 150 mesh stainless steel screen.
	Area to Receive Dripline Netafim TLCV-04-12 Techline Pressure Compensating Landscape Dripline with Check Valve. 0.4 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. 17mm.
	Nibco T-29 200 PSI CWP Bronze Gate Valve, Wheel Handle, Size Range - 1/2in. - 2in.
	Hunter HCC-800-PL 8 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen, Commercial Use. Plastic Cabinet.
	Amiad 1-T-Disc Element 1in. T Manual Plastic Filter, NPT thread, 200 Micron Disc Element. Engineered-plastic material, maximum working pressure 150psi.
	Point of Connection 1" Connect to Weber Basin Water Meter, See Civil
	Irrigation Lateral Line: PVC Schedule 40
	Irrigation Mainline: PVC Schedule 40
	Pipe Sleeve: PVC Class 200 SDR 21 Sleeves to be Twice the Size of Through Pipes. At Mainlines, Run Separate Sleeve for Control Wires.
	Valve Callout Valve Number Valve Flow Valve Size
	1" PVC Sch 40 Control Wire Conduit

IRRIGATION NOTES

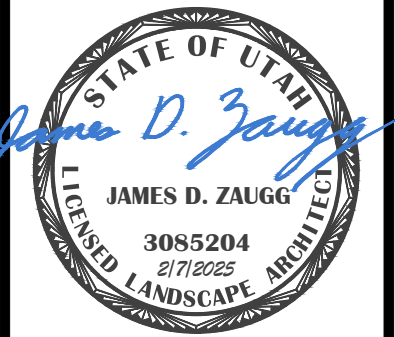
1. INSTALL IRRIGATION WIRE UNDER PAVED AREAS IN SEPARATE PVC SLEEVE, SIZE FOR NUMBER OF WIRES.
2. EXAMINE THE SITE CONDITIONS, THE SUBGRADE AND VERIFY ELEVATIONS. NOTIFY THE ARCHITECT IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT BEGIN LANDSCAPE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN RESOLVED.
3. BEFORE ANY TRENCHING, EXCAVATION, OR DIGGING, THE CONTRACTOR SHALL HAVE THE AREA 'BLUE STAKED' AND CONTACT THE APPROPRIATE UTILITY COMPANIES. CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE
4. VERIFY LOCATIONS OF ALL UTILITIES AND SITE FEATURES PRIOR TO ANY DIGGING. ANY DAMAGE TO EXISTING UTILITIES AND SITE FEATURES CAUSED BY THIS CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. ALL LINES SHALL SLOPE TO DRAIN, ADD MANUAL DRAINS AT ALL MAINLINE LOW POINTS AS NECESSARY FOR COMPLETE DRAINAGE OF THE ENTIRE SYSTEM. INDICATE ALL DRAIN LOCATIONS ON RECORD DRAWINGS.
6. THIS DRAWING IS DIAGRAMMATIC AND IS INTENDED TO CONVEY THE GENERAL LAYOUT OF IRRIGATION SYSTEM COMPONENTS. FIELD ADJUSTMENTS MAY BE NECESSARY TO MAINTAIN FULL COVERAGE IN ACTUAL SITE CONDITIONS. CONTACT THE LANDSCAPE ARCHITECT IF SIGNIFICANT CHANGES ARE NECESSARY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR REVISIONS TO THE IRRIGATION SYSTEM IF THE IRRIGATION SYSTEM IS INSTALLED WHEN SITE CONDITIONS DIFFER FROM PLAN LAYOUT AND THE LANDSCAPE ARCHITECT WAS NOT INFORMED.
7. LATERAL AND MAIN LINES SHALL BE LAID IN COMMON TRENCHES IN LANDSCAPE AREAS WHEREVER POSSIBLE.
8. ALL PIPING AND WIRING UNDER PAVEMENT SHALL BE RUN THROUGH SEPARATE SLEEVES. CONTROL WIRES NOT LAID IN A COMMON TRENCH WITH A MAIN LINE SHALL BE INSTALLED IN A CONDUIT OF SUFFICIENT SIZE.
9. ALL IRRIGATION EQUIPMENT NOT DETAILED SHALL BE INSTALLED AS PER MANUFACTURER RECOMMENDATIONS, SPECIFICATIONS, AND DETAILS.
10. THIS SYSTEM IS DESIGNED TO OPERATE AT 40 PSI FOR ALL DRIP LINES.
11. THE IRRIGATION WATER SOURCE IS A WEBER BASIN IRRIGATION WATER METER. PRESSURE AT THE POINT OF CONNECTION IS EXPECTED TO BE 60 PSI MIN. IF ACTUAL PRESSURE VARIES FROM THE EXPECTED, CONTACT LANDSCAPE ARCHITECT.
12. SUPPLY PRODUCTS AS SPECIFIED. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS PRE-APPROVED IN WRITING BY THE OWNER OR LANDSCAPE ARCHITECT.
13. CONTRACTOR TO SUPPLY ALL KEYS AND ATTIC STOCK PER THE SPECIFICATIONS.
14. CONTRACTOR TO SHUT DOWN AND WINTERIZE THE IRRIGATION SYSTEM AT THE END OF THE FIRST SEASON AND TURN ON THE SYSTEM AT THE BEGINNING OF THE FOLLOWING SEASON. THIS WORK IS TO BE DONE IN THE PRESENCE OF THE OWNERS' MAINTENANCE PERSONNEL



1 1" PLASTIC FILTER BELOW GRADE
1 1/2" = 1'-0"

FX-IR-AMI-FILT-02

REV	DATE	DESCRIPTION
1	4-12-2023	1st City Comments



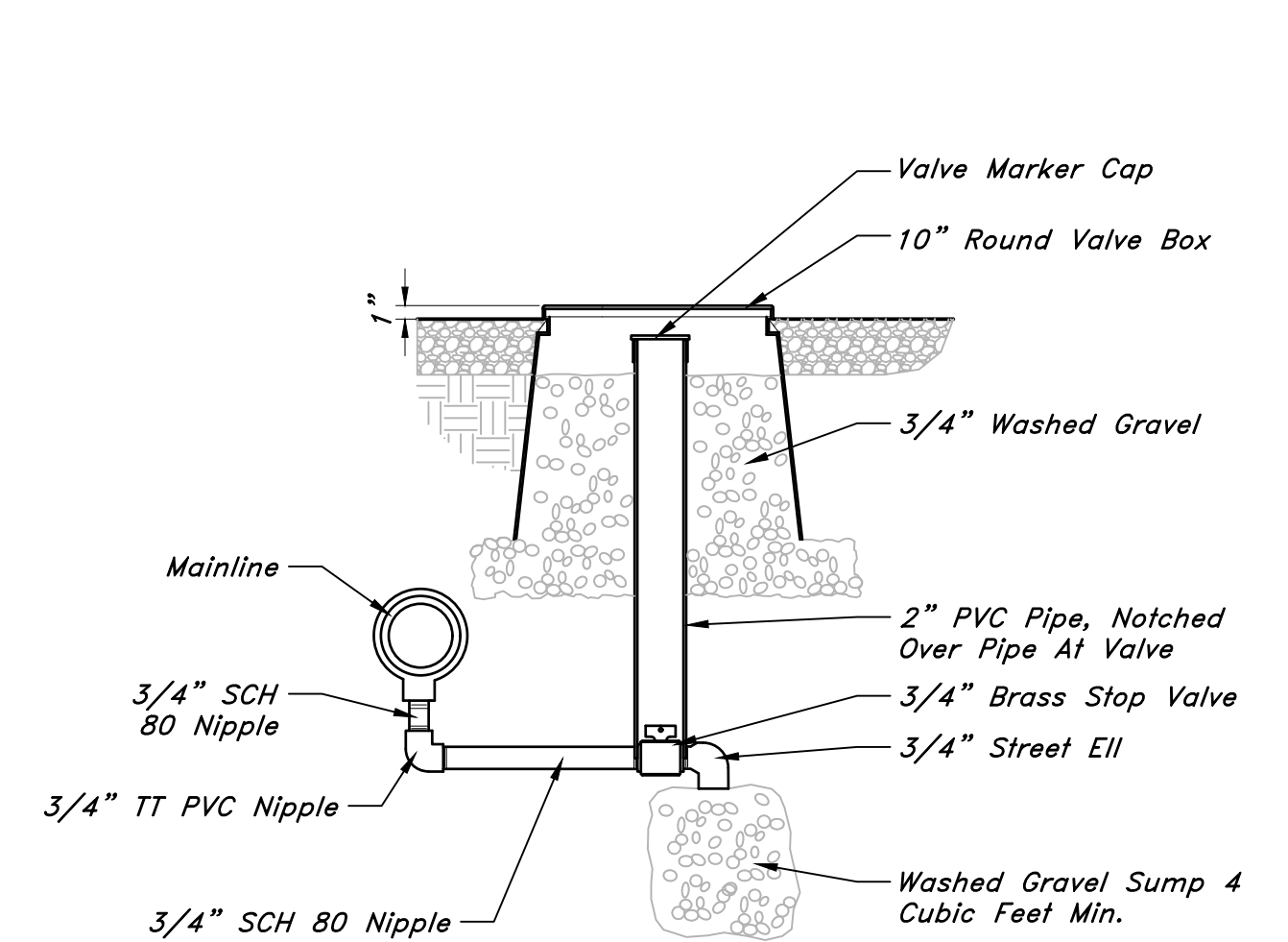
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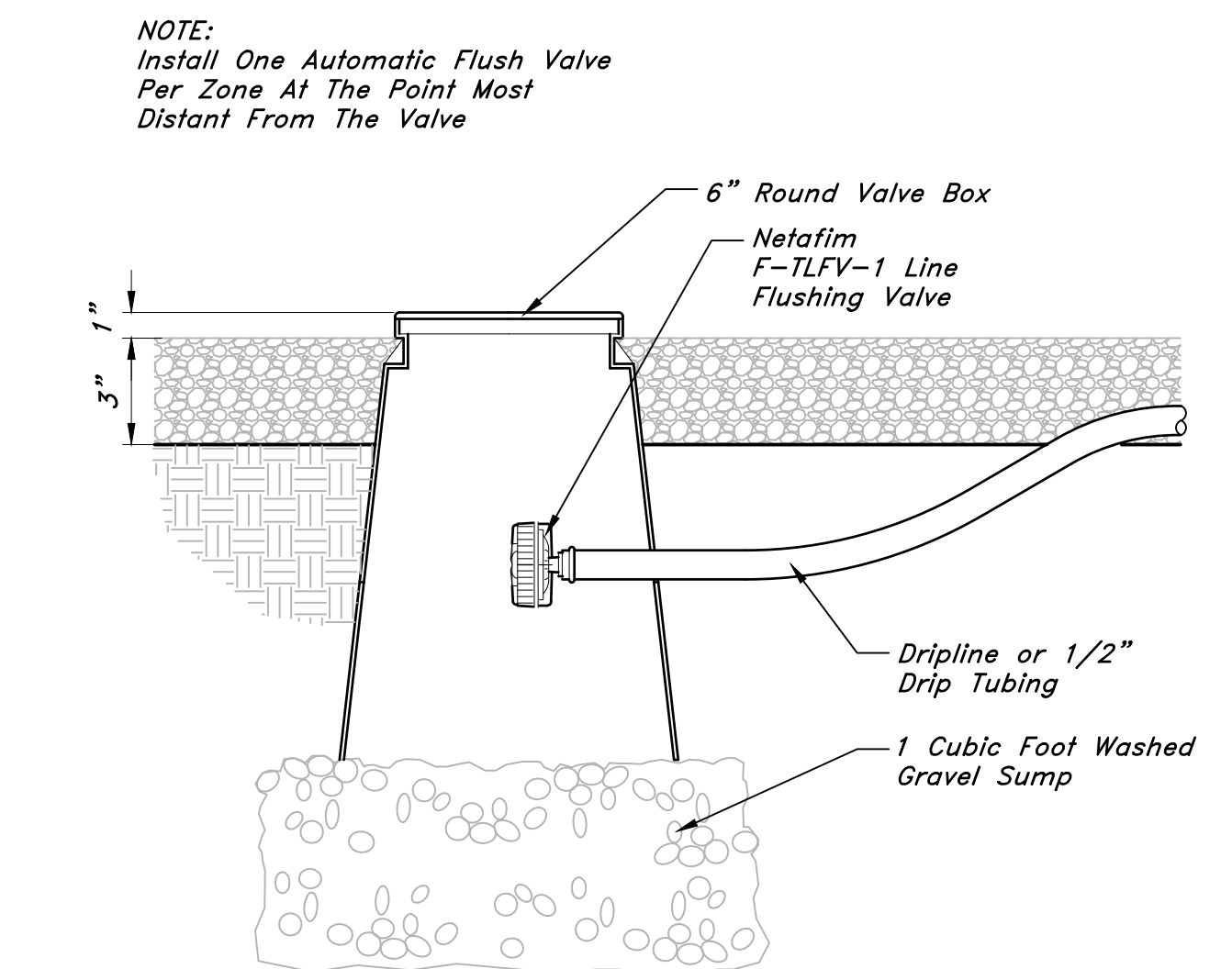
Irrigation Details

RDO Equipment

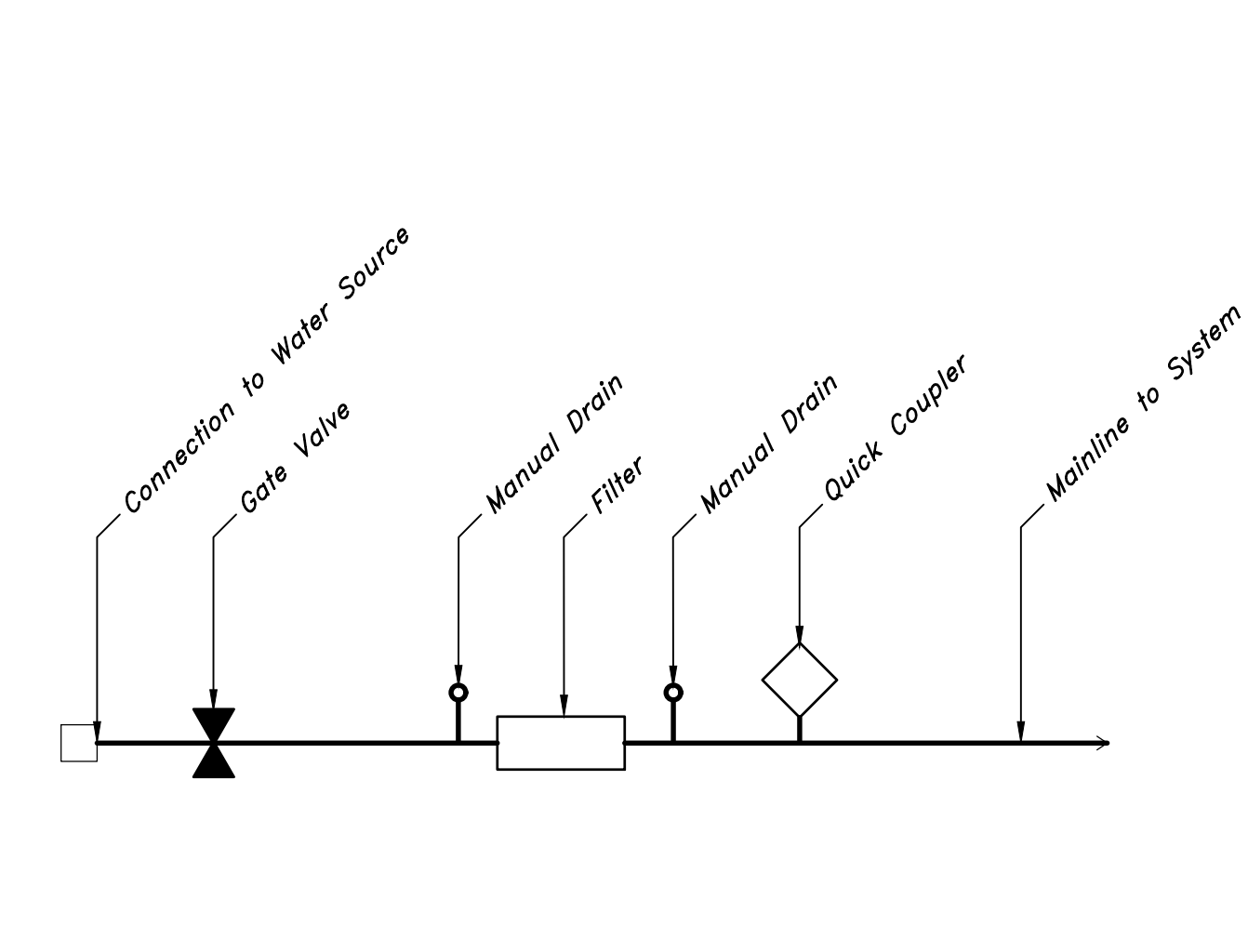
West Haven City, Weber County, Utah
A part of the Northwest 1/4 of Section 26, T6N, R2W, SL&M, U.S. Survey



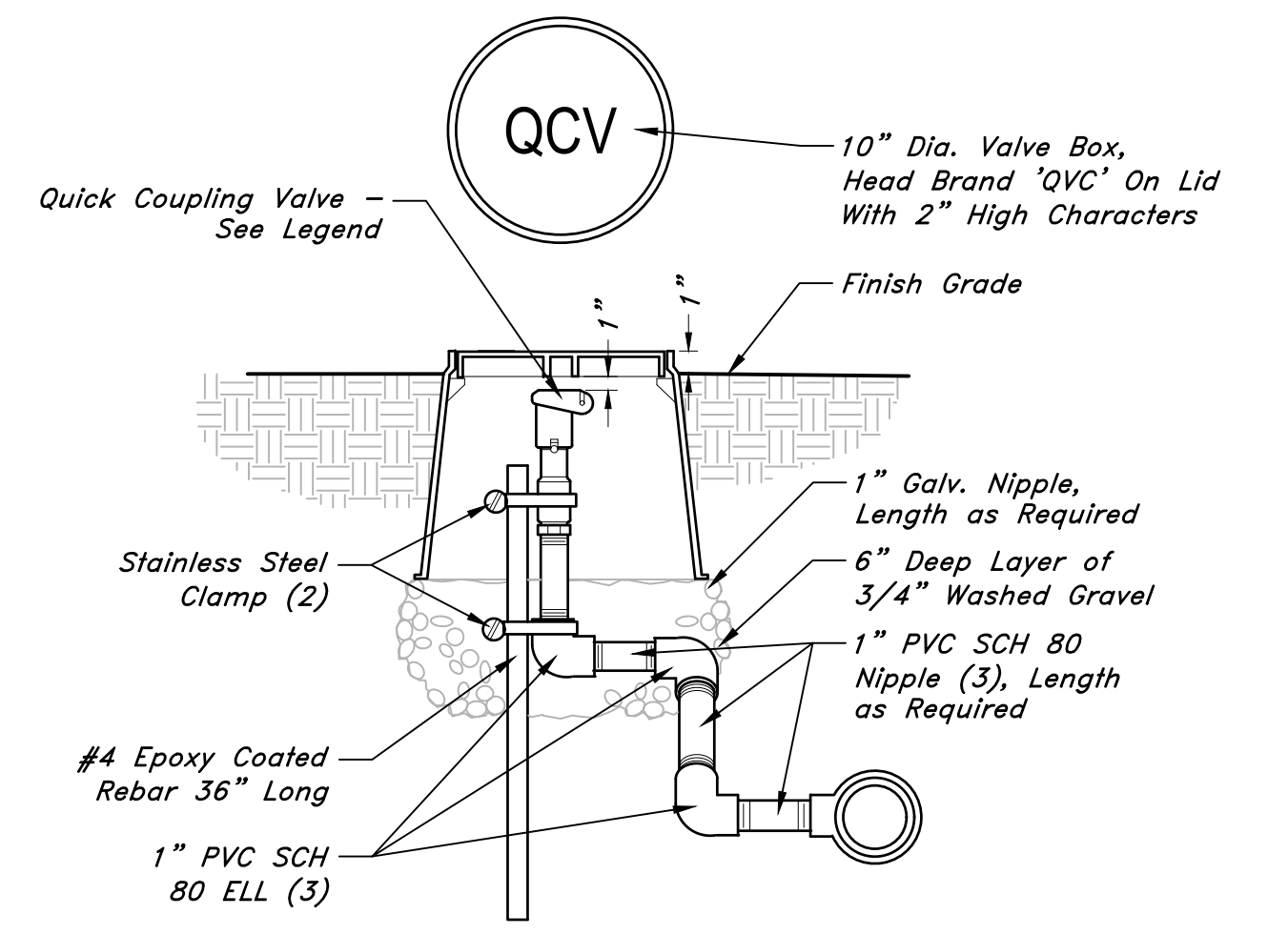
9 MANUAL DRAIN
1 1/2" = 1'-0" 32 8409.86-01



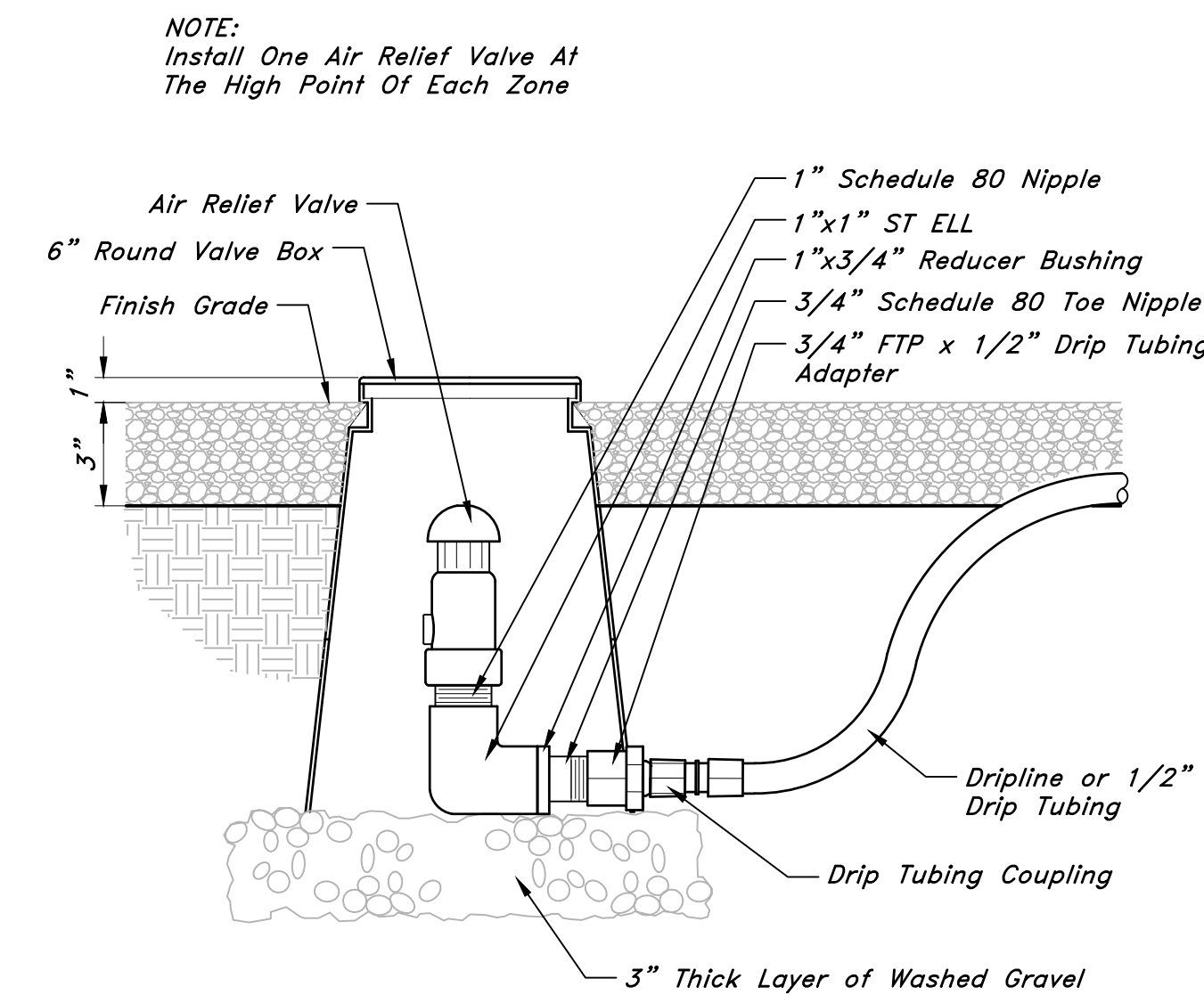
7 FLUSH VALVE IN BOX
3" = 1'-0" 32 8413.49-02



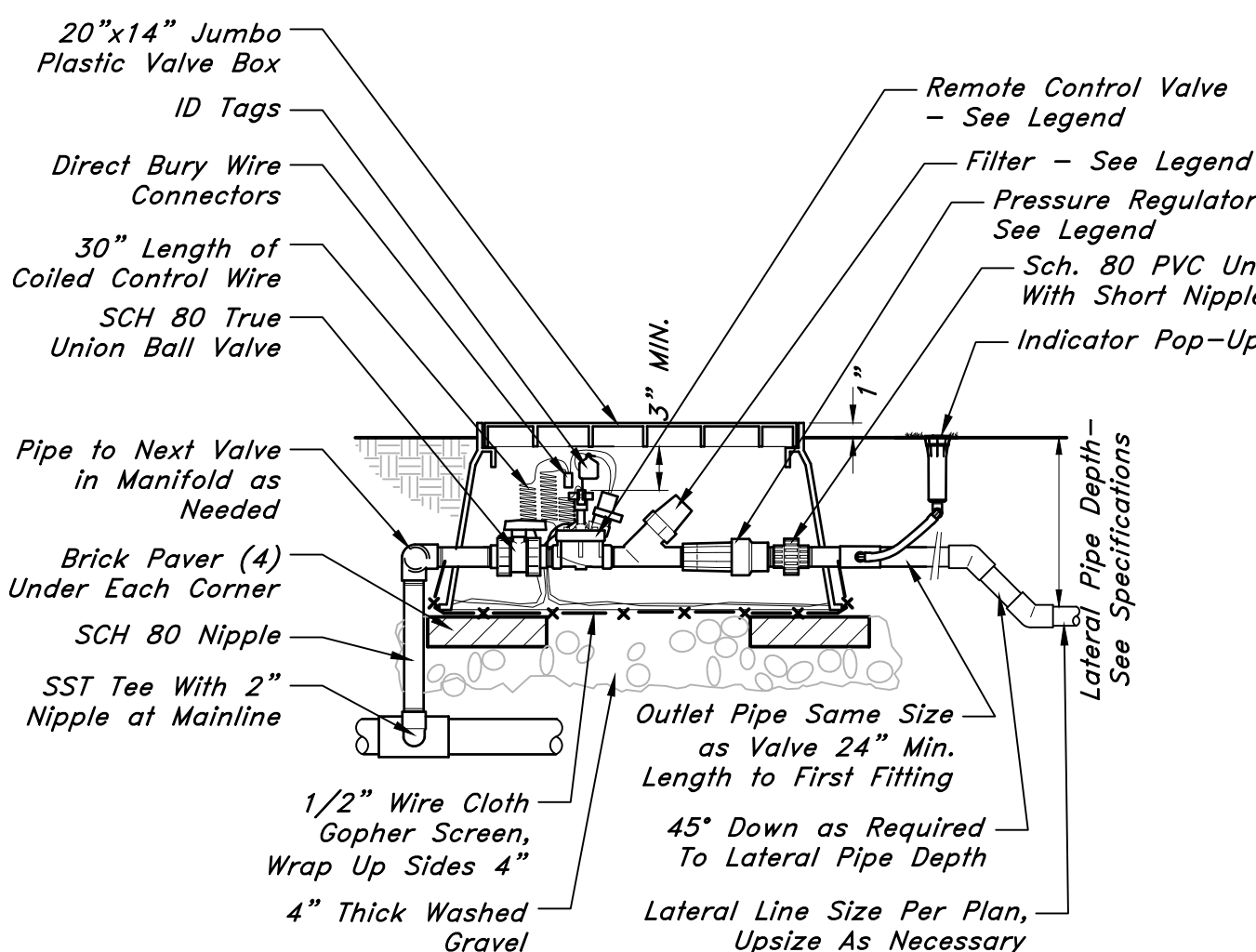
4 POC Schematic
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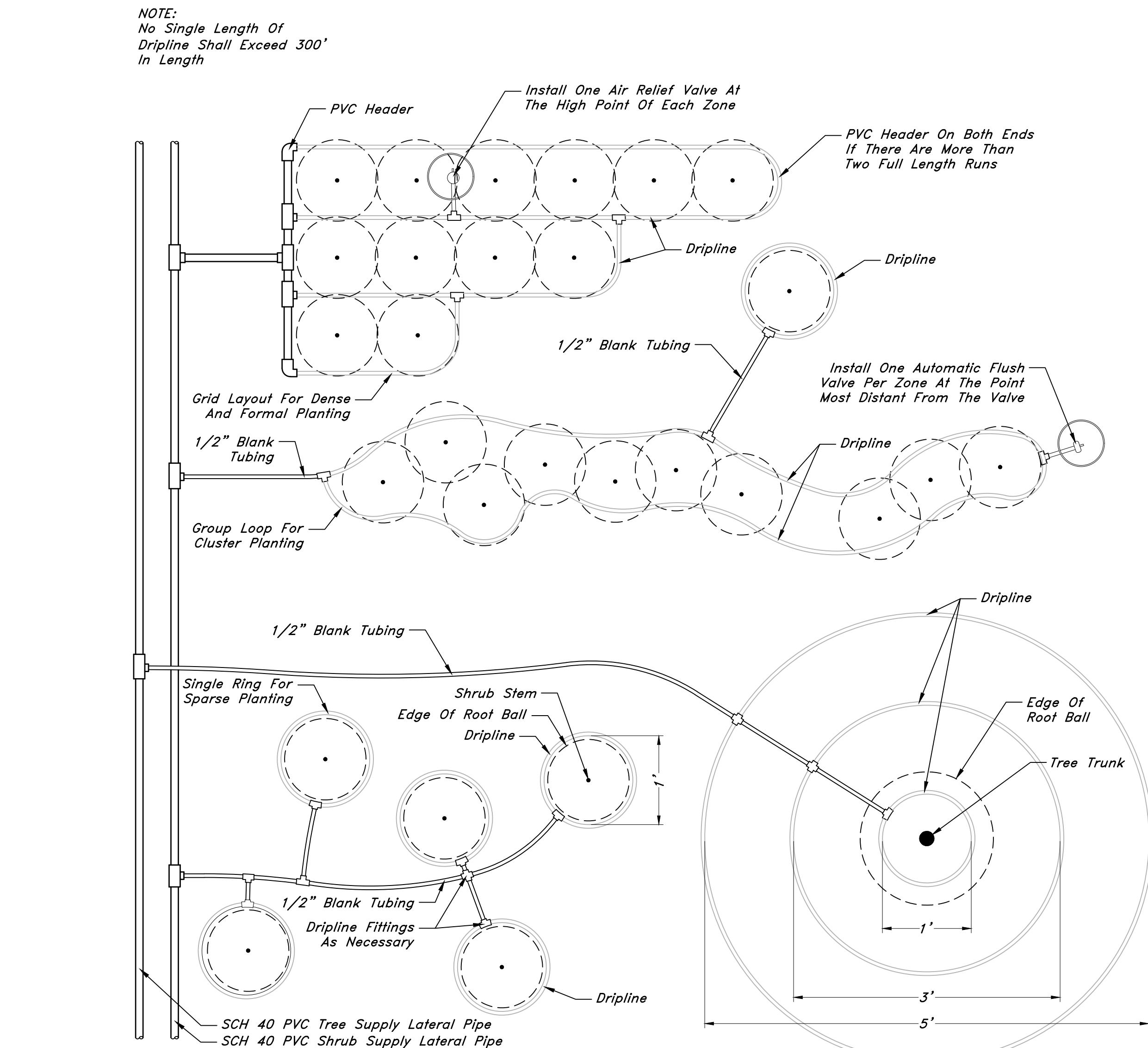
8 QUICK COUPLER
1 1/2" = 1'-0" 32 8406.43-06



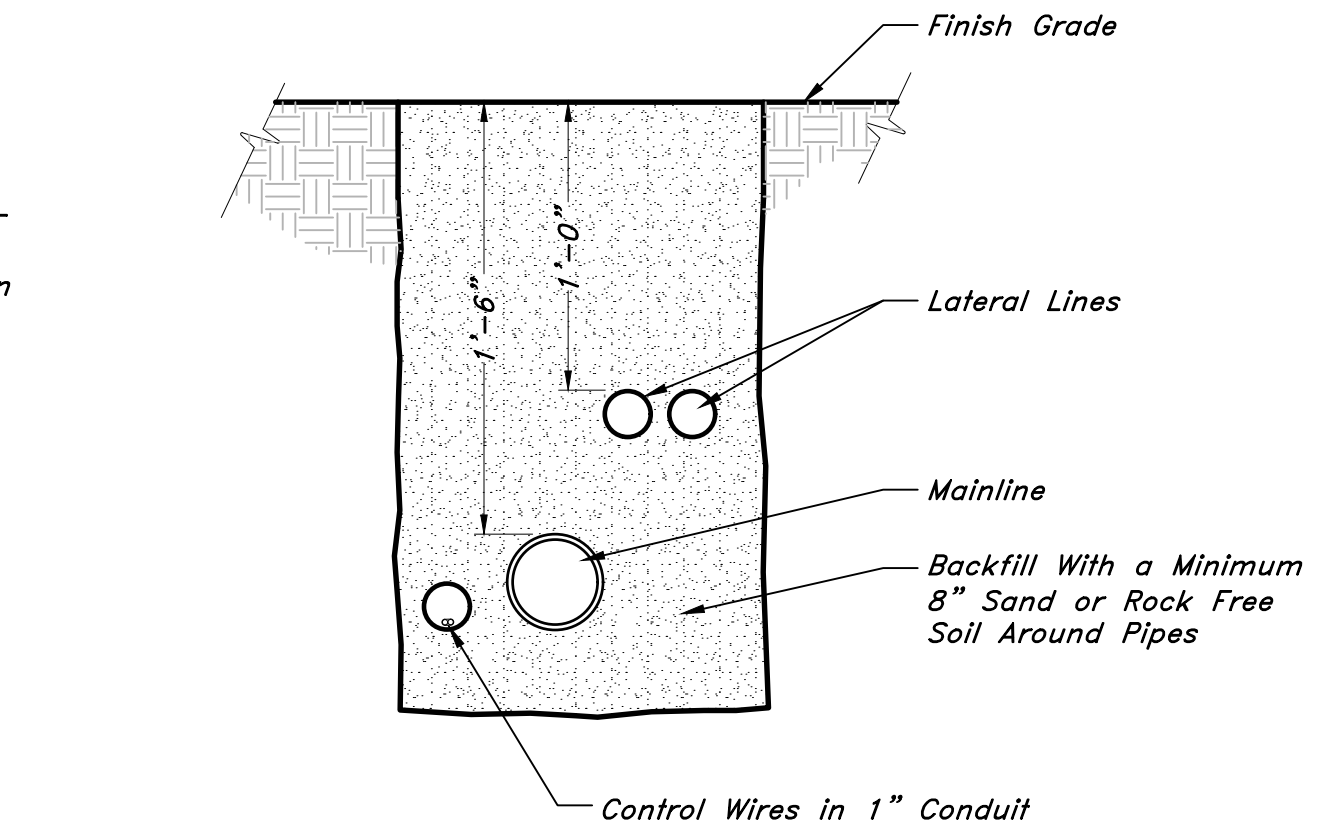
6 AIR RELIEF VALVE IN BOX
3" = 1'-0" 32 8413.53-09



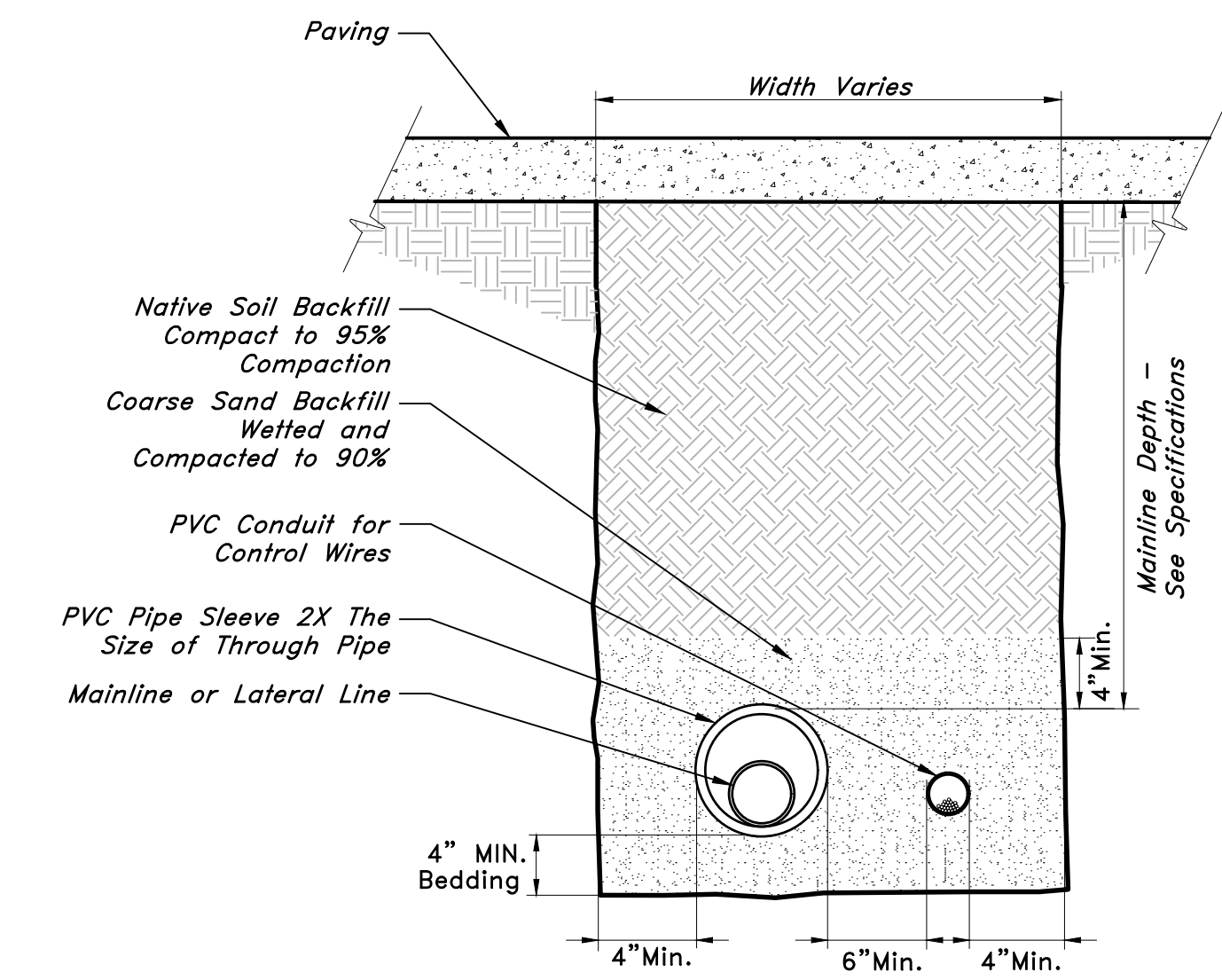
3 DRIP VALVE - CONTROL ZONE KIT
1" = 1'-0" 32 8406.13-09



5 DRIPLINE LAYOUT AT TREES AND SHRUBS
1" = 1'-0" 32 8413.43-02

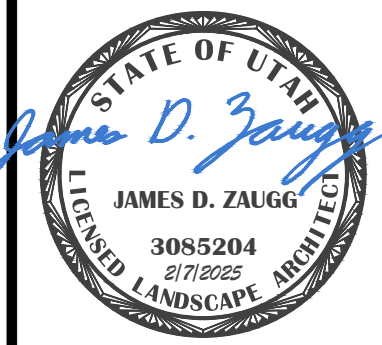


2 TRENCHING
1 1/2" = 1'-0" 32 8401-02



1 SLEEVING
1 1/2" = 1'-0" 32 8401-01

REV	DATE	DESCRIPTION
1	4-12-2023	1st City Comments



GREAT BASIN ENGINEERING
JAMES D. ZAUGG
3085204
6/1/2023
LANDSCAPE ARCHITECT
5746 SOUTH 1475 EAST OGDEN, UTAH 84403
MAIN (801)594-4515 SLIC (801)521-0222 FAX (801)392-7544
WWW.GREATBASINENGINEERING.COM

Irrigation Details
RDO Equipment
West Haven City, Weber County, Utah
A part of the Northwest 1/4 of Section 26, T6N, R2W, SL&M, U.S. Survey
Apr. 14 2025
SHEET NO.
LI502
21N716

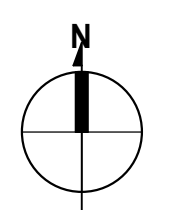
Name	SCOTT M. KLOPFER
License No.	12076390-0301
Expiration Date	05/31/2026
Date Signed	

CUP AND
PRELIMINARY
SITE PLAN
APPROVAL
RESUBMITTAL

Project No.	2747.016.00
Drawn By	SLA
Checked By	CNT
Date	03/26/2025

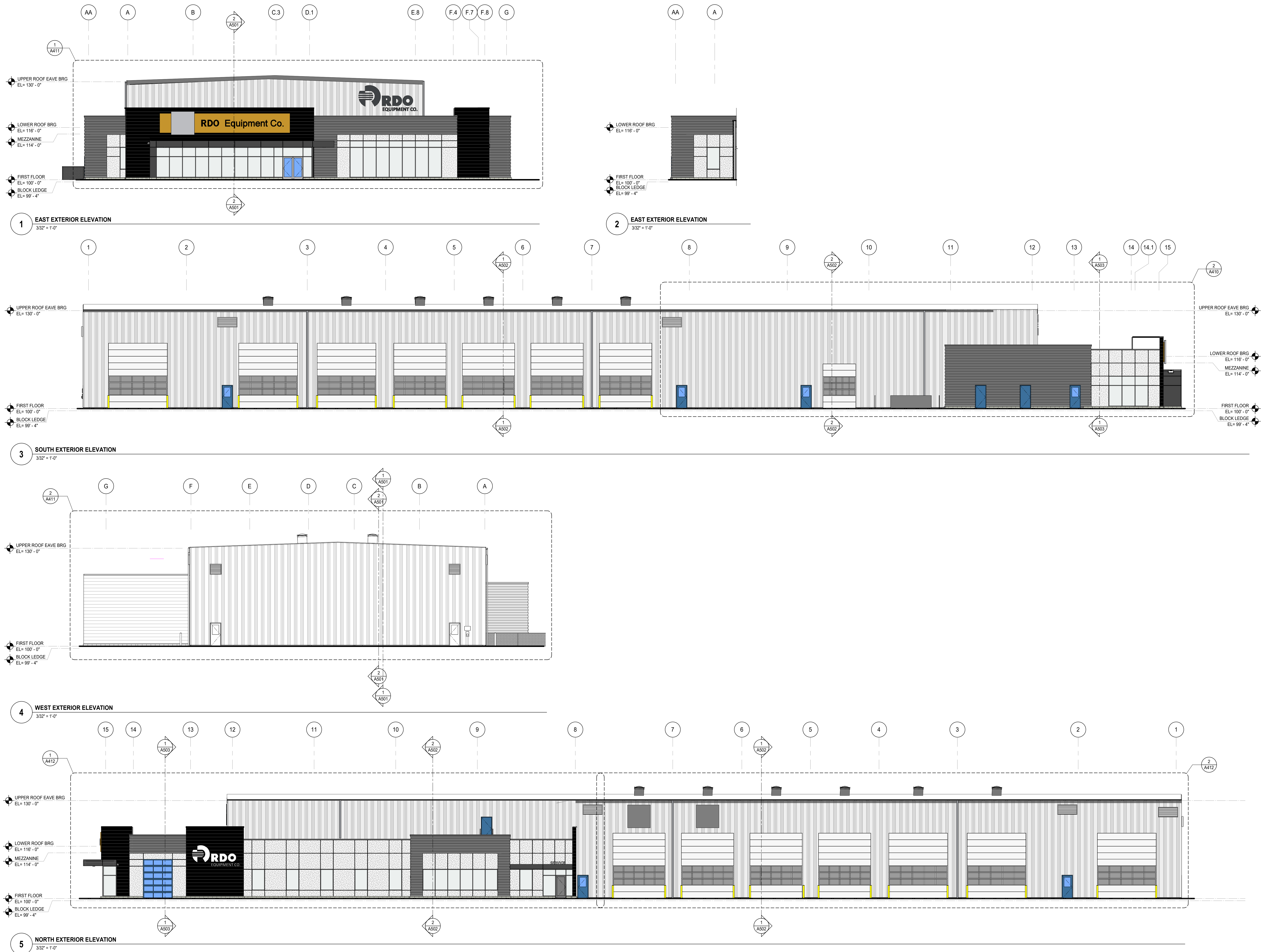
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NO.	DATE	DESCRIPTION



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of Minnesota.

Name SCOTT M. KLOPPER
License No. 12076390-0301
Expiration Date 05/31/2026
Date SignedPROJECT FOR
RDO Equipment
WEST HAVEN, UT**CUP AND
PRELIMINARY
SITE PLAN
APPROVAL
RESUBMITTAL**Project No. 2747.016.00
Drawn By SLA
Checked By CNT
Date 04/08/2025NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.
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NO. DATE DESCRIPTIONEXTERIOR
ELEVATIONS**A400**

RDO Equipment

West Haven, UT - PRELIMINARY SITE DESIGN

1911 W. 2100 Street, West Haven, UT 84401

PROJECT NUMBER: 2747.016.00

DOCUMENT PACKAGE

ISSUED: 01/13/2025

PACKAGE: PRELIMINARY SITE DESIGN

RSP

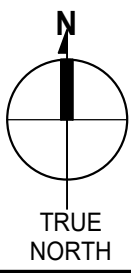
RSP Architects
1220 Marshall St NE
Minneapolis, MN 55413-1036
612.677.7100
rsparch.com

CONSULTANTS

LOCATION MAP



PROJECT LOCATION



PROJECT TEAM

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 Fargo, ND

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Email: tcurran@rdoffutt.com

Chris Schmitz
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CIVIL ENGINEER

Great Basin Engineering, Inc.
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South Ogden, UT 84403
Phone: 801.394.4515

Andy Hubbard, Civil Engineer
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1220 Marshall Street NE
Minneapolis, MN 55413
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David Serrano, Principal
Phone: 612.677.7312
Email: david.serrano@rsparch.com

Terry Helland, Project Architect/Manager/AOR
Phone: 612.677.7188
Email: terry.helland@rsparch.com

CODE SUMMARY

PROJECT NAME

RDO Equipment - Ogden, UT

PROJECT DESCRIPTION:

The project consists of a new 31,885 sf building with repair shop and office spaces. The site renovation will include parking spaces, vehicle circulation, and stormwater retention ponds.

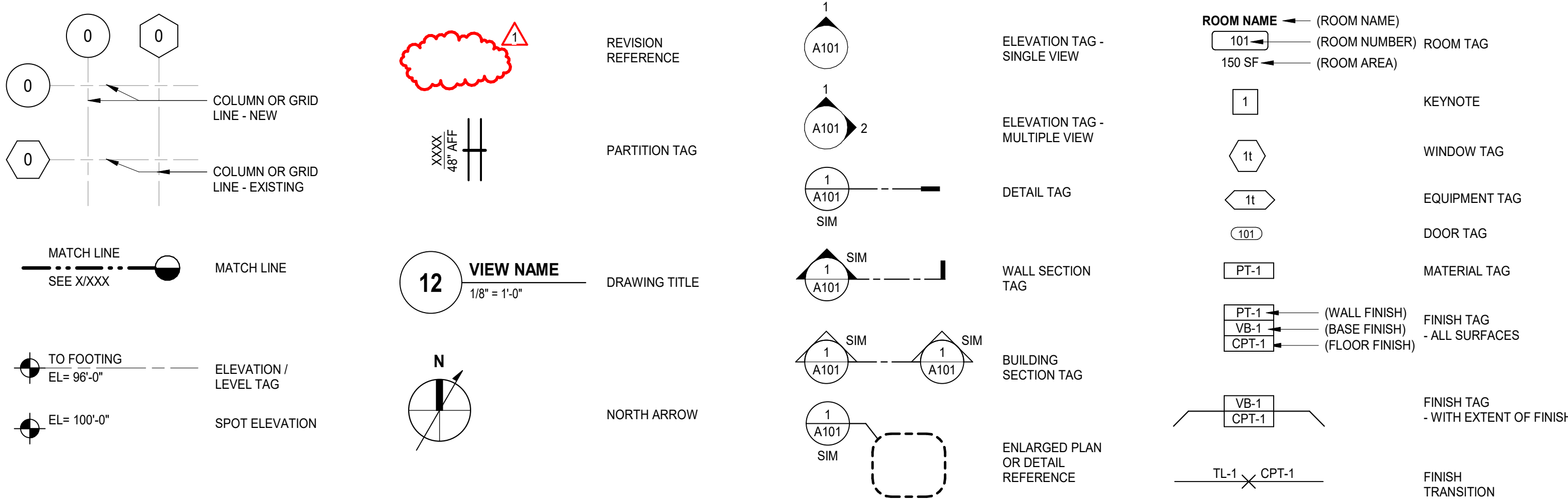
General Information

The site is currently undeveloped agricultural land that has a drainage canal along the east edge.

SHEET INDEX

DRAWINGS		ISSUES	
ISSUE KEY: 1 ISSUED (WITH SIGNATURE) 2 REVISED AND RE-ISSUED (WITH SIGNATURE) 3 NOT FOR CONSTRUCTION - REFERENCE ONLY 4 RE-ISSUED FROM A PRIOR BID PACK - NO REVISIONS	01/13/2025 PRELIM SITE DESIGN		
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00 GENERAL			
G000	COVER SHEET	3	
10 ARCHITECTURAL SITE			
A000	OVERALL SITE PLAN	3	
40 ARCHITECTURAL			
A101	FIRST FLOOR PLAN	3	
A400	PERSPECTIVES	3	
A401	EXTERIOR ELEVATIONS	3	

DRAWING SYMBOLS



NOT FOR
CONSTRUCTION

PROJECT FOR

RDO Equipment
West Haven, UT -
PRELIMINARY SITE
DESIGN

Project No. 2747.016.00
Drawn By Author
Checked By CNT
Date 01/13/2025

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ISSUES / REVISIONS

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COVER SHEET

G000

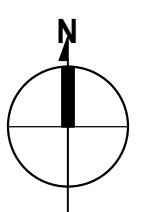
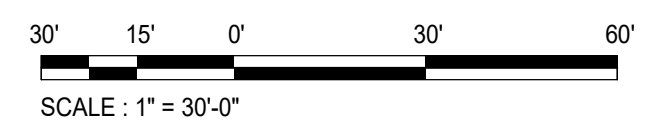
Name _____
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PROJECT FOR

RDO Equipment

West Haven, UT -
PRELIMINARY SITE
DESIGN

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PROJECT FOR
RDO Equipment
West Haven, UT -
PRELIMINARY SITE
DESIGN

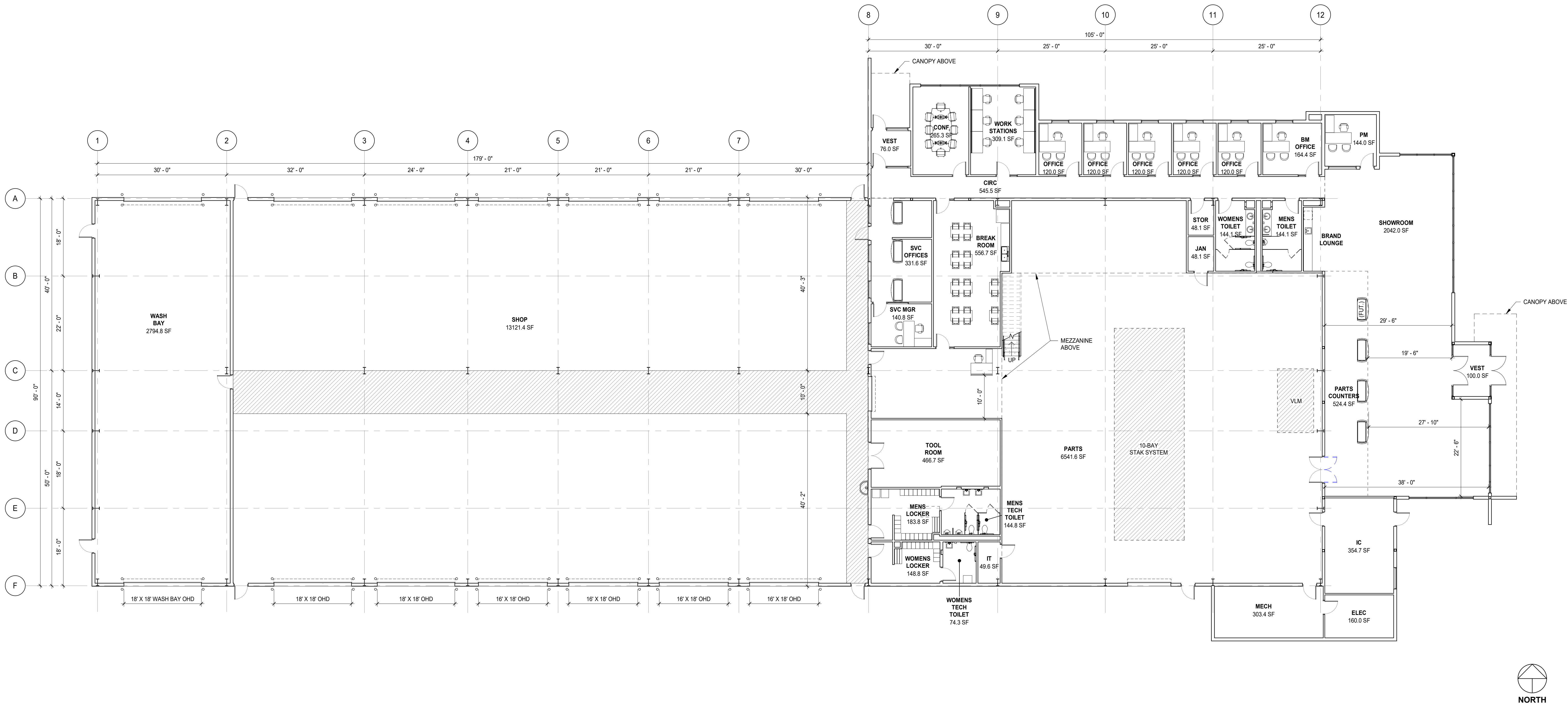
Project No. 2747.016.00
Drawn By JHW
Checked By CNT
Date 01/11/2025

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NO. DATE DESCRIPTION

FIRST FLOOR PLAN

A101



1 FIRST FLOOR PLAN -
3/32" = 1'-0"



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Minneapolis, MN
55413-1036

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rsparch.com

CONSULTANTS

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PROJECT FOR

RDO Equipment

West Haven, UT -
PRELIMINARY SITE
DESIGN

Project No.	2747.016.00
Drawn By	JHW
Checked By	CNT
Date	01/13/2025

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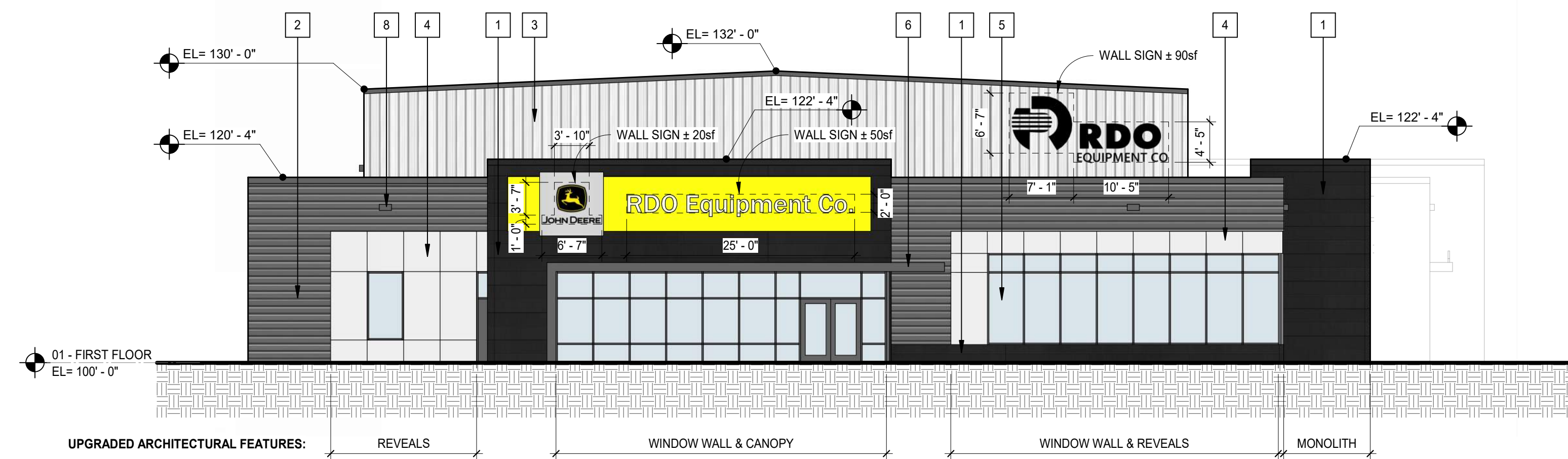
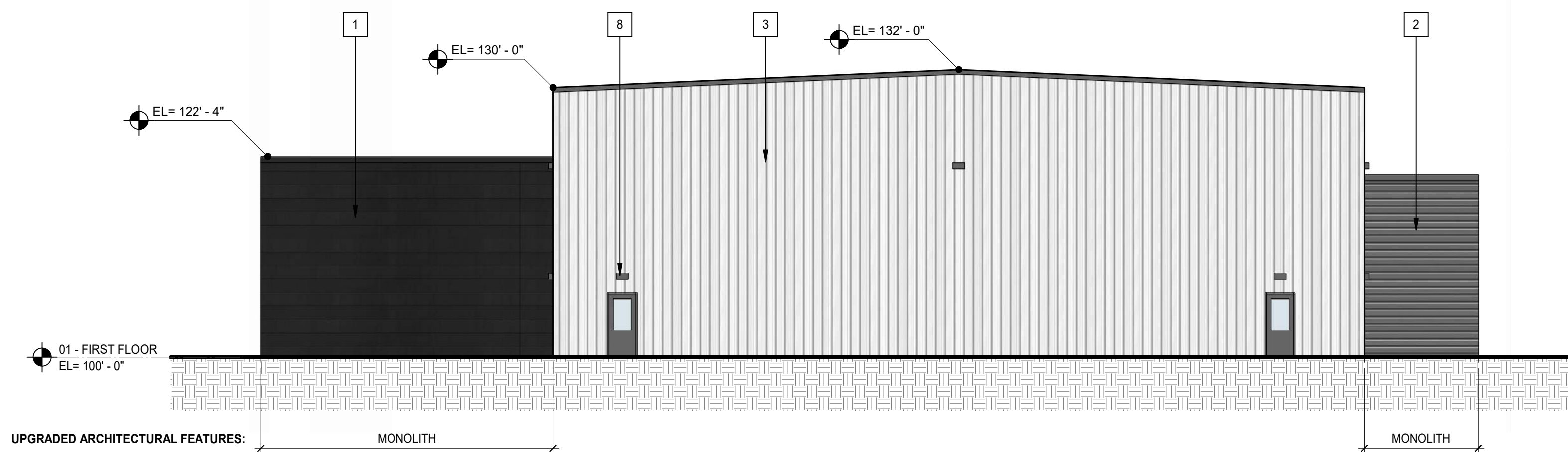
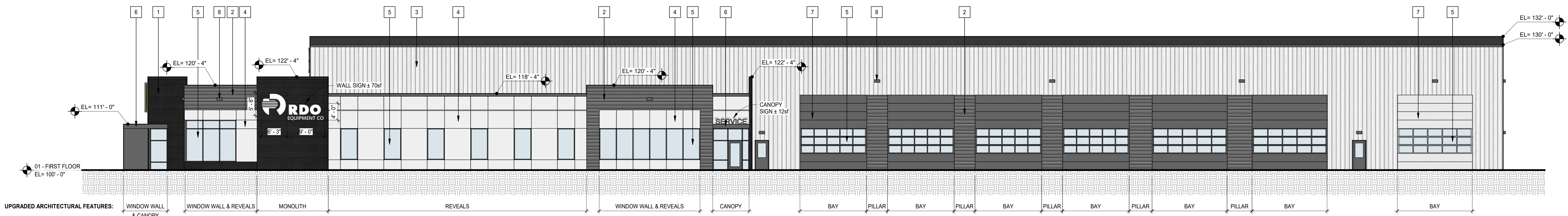
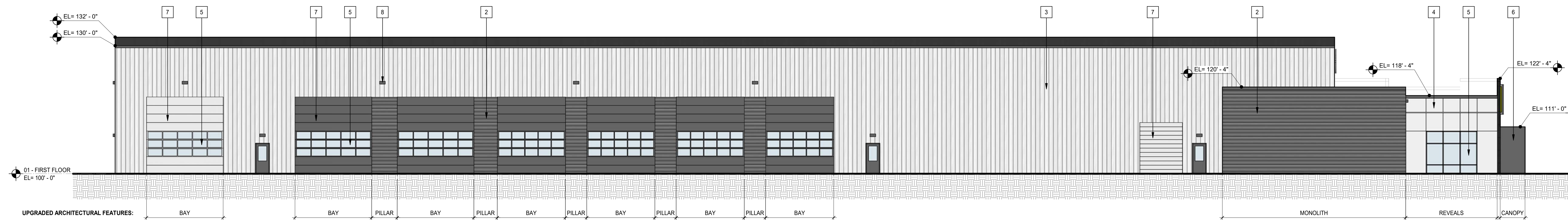
[illegible]

PERSPECTIVES

A400

NOT FOR
CONSTRUCTIONPROJECT FOR
RDO Equipment
West Haven, UT -
PRELIMINARY SITE
DESIGNProject No. 2747.016.00
Drawn By JHW
Checked By CNT
Date 01/13/2025NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.
© Copyright RSP Architects 2025. All rights reserved.ISSUES / REVISIONS
NO. DATE DESCRIPTIONEXTERIOR
ELEVATIONS

A401

1 ELEVATION - EAST
3/32" = 1'-0"2 ELEVATION - WEST
3/32" = 1'-0"3 ELEVATION - NORTH
3/32" = 1'-0"4 ELEVATION - SOUTH
3/32" = 1'-0"

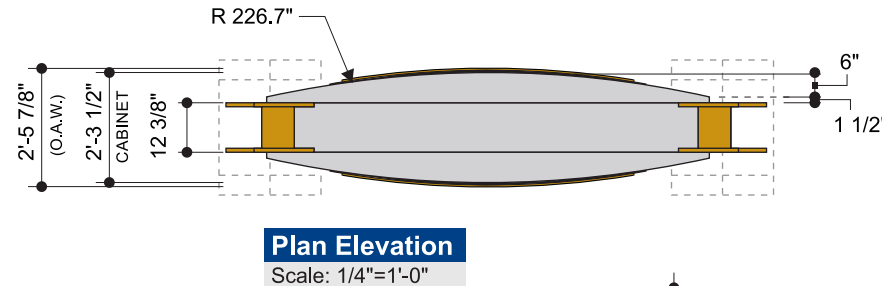
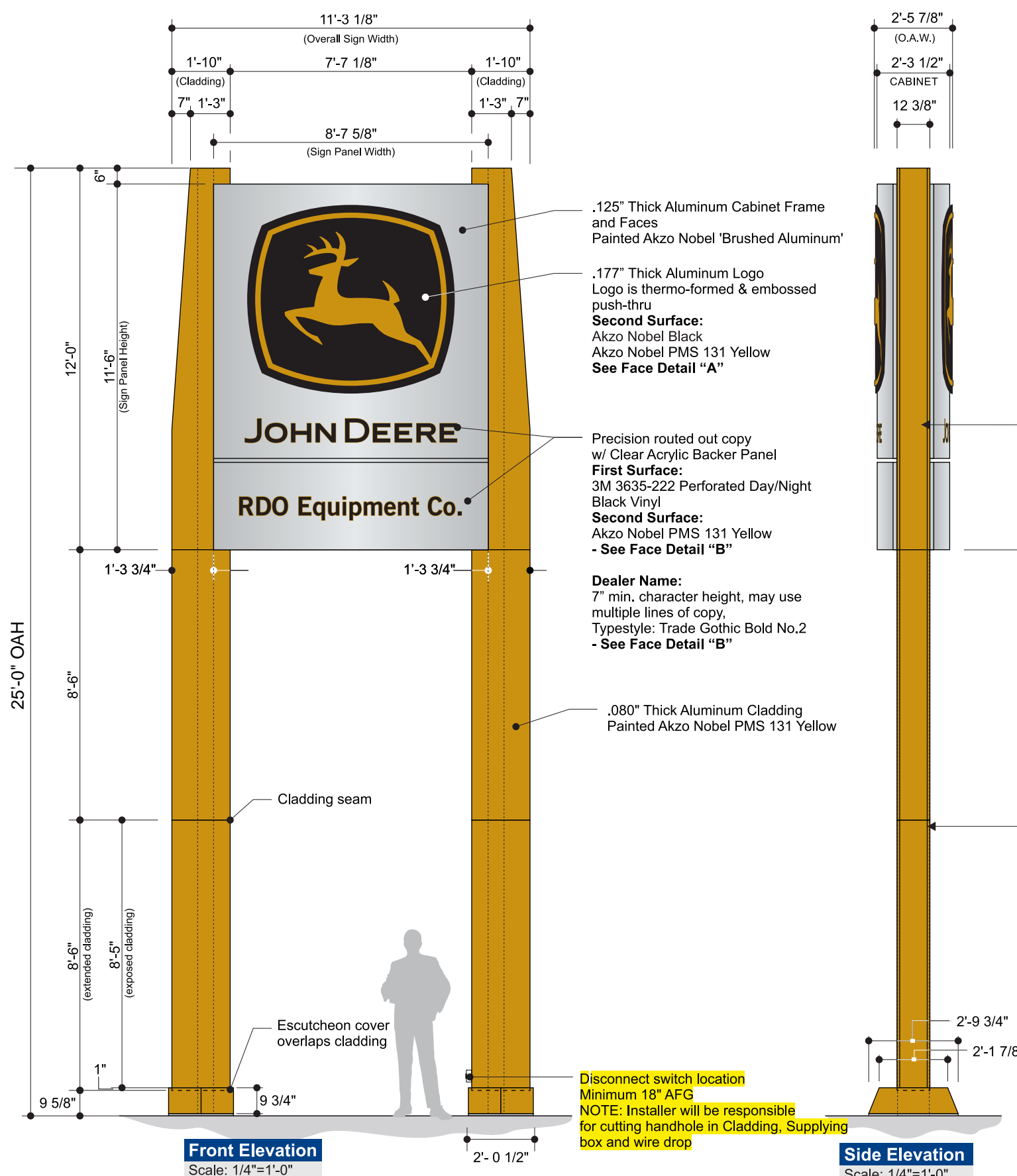
KEYNOTE LEGEND	
1 -	DARK GRAY HORIZONTAL ARCHITECTURAL INSULATED METAL PANEL
2 -	MEDIUM GRAY HORIZONTAL ARCHITECTURAL INSULATED METAL PANEL
3 -	WHITE VERTICAL ARCHITECTURAL INSULATED METAL PANEL
4 -	LIGHT GRAY EIFS
5 -	VISION GLASS
6 -	METAL CANOPY
7 -	OVERHEAD DOOR
8 -	SECURITY LIGHTING

EXTERIOR MATERIAL PERCENTAGES	NORTH ELEVATION		EAST ELEVATION		SOUTH ELEVATION		WEST ELEVATION	
PRIMARY MATERIALS								
DARK GRAY HORIZONTAL ARCHITECTURAL INSULATED METAL PANEL	4.8%		25.3%		0.2%		19.6%	
MEDIUM GRAY HORIZONTAL ARCHITECTURAL INSULATED METAL PANEL	9.4%		18.7%		14.8%		7.0%	
WHITE VERTICAL ARCHITECTURAL INSULATED METAL PANEL	42.6%		25.5%		56.2%		73.4%	
VISION GLASS	13.7%		19.2%		9.0%			
TOTAL PRIMARY MATERIALS	70.5%		88.8%		80.3%		100.0%	
SECONDARY MATERIALS								
LIGHT GRAY EIFS	13.8%		11.2%		2.9%			
OVERHEAD DOOR	15.7%				16.9%			
TOTAL SECONDARY MATERIALS	29.5%		11.2%		19.7%			

UPGRADED ARCHITECTURAL FEATURES (SEE IDENTIFICATION STRING BELOW EACH ELEVATION)	NORTH ELEVATION		EAST ELEVATION		SOUTH ELEVATION		WEST ELEVATION	
CANOPIES	0.9%		1.5%		0.7%			
PILLARS	5.3%				5.2%			
WINDOW WALL	3.5%		18.1%					
REVEALS	12.8%		9.2%		2.8%			
BAY	15.7%				15.6%			
MONOLITH	4.1%		6.1%		9.3%		26.6%	
TOTAL UPGRADED ARCHITECTURAL FEATURES	42.3%		34.9%		33.6%		26.6%	

WALL SIGNS	NORTH ELEVATION		EAST ELEVATION	
WALL SURFACE AREA (SF)	9,500		3,785	
15% OF WALL SURFACE AREA (SF)	1,425		568	
PROPOSED TOTAL WALL SIGN AREA (SF)	± 82		± 160	

25' High Twin Pole Pylon
Elevations & Specs (A)



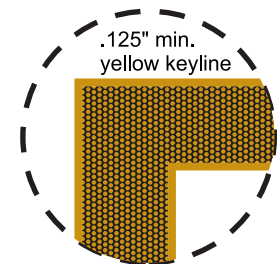
Color Specifications	
	Akzo Nobel Black
	3M 3635-222 Perforated Day/Night Black Vinyl
	Akzo Nobel Brushed Aluminum Paint
	Akzo Nobel to Match PMS 131C Yellow
All paint finishes to be Satin unless otherwise specified	



DETAIL A

Painted Akzo Nobel Black
On Second Surface

Painted Akzo Nobel
PMS 131C Yellow
On Second Surface



DETAIL B

3M 3635-222 Perforated Day/Night
Black Vinyl
Applied First Surface

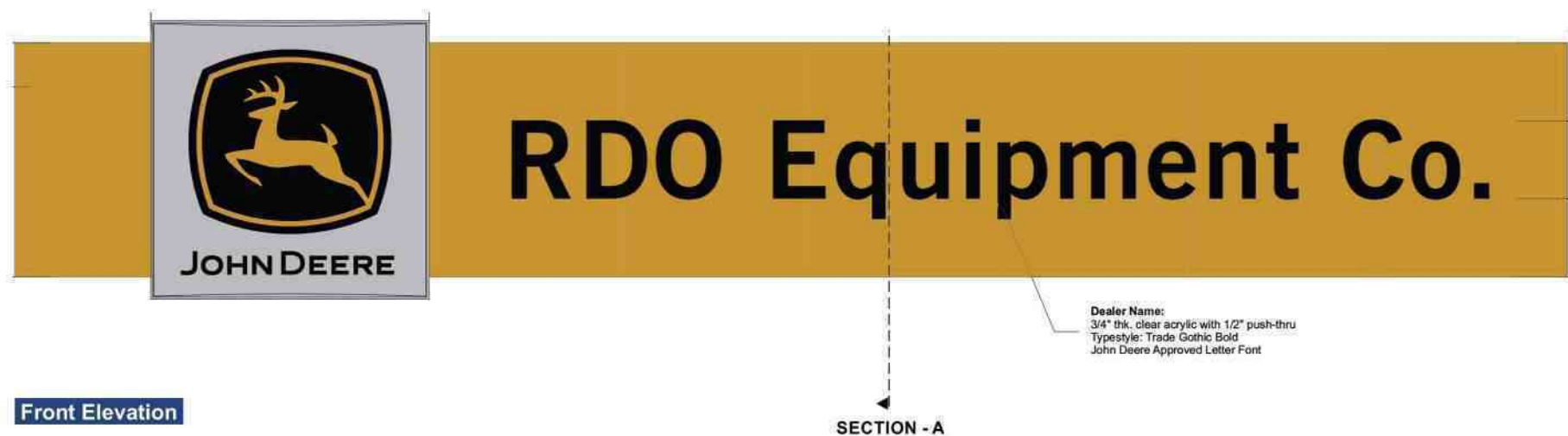
Painted Akzo Nobel
PMS 131C Yellow
On Second Surface

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

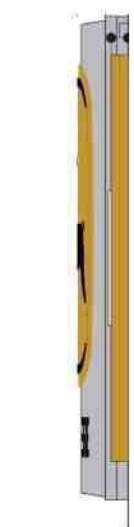
Listed
MET
E212503

Electric Sign
Complies with
UL48

Type "B" Storefront
Elevations & Specs



Front Elevation



Side View

Dealer Name:
3/4" thk. clear acrylic with 1/2" push-thru
Typestyle: Trade Gothic Bold
John Deere Approved Letter Font

SECTION - A

- Face:** 4mm Green ACM precision routed out face sign panel with acrylic push thru
- Returns:** continuous 2" x 2" aluminum angle frame with 2" x 3" aluminum angle retainer
- Backs:** .080" thick aluminum
- Illum:** White LEDs as required by manufacturer, Remote power supplies
Installer will require (1)120Volt Circuit at 20 Amps to sign location
- Wall Type:** TBD
- Install:** Sign to be installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required
- Copy:** 3/4" thk. Clear Acrylic with 1/2" Push-Thru with translucent white vinyl applied 2nd surface
- Quantity:** (1) ONE TYPE B SIGN REQUIRED FOR EXTERIOR ELEVATION



Night View

Color Specifications

- Akzo Nobel Brushed Aluminum Paint (JD Logo Sign Frame)
- Akzo Nobel to Match PMS 131C Yellow (High Gloss Finish)
- Akzo Nobel Black (High Gloss Finish)

All paint finishes to be Satin
unless otherwise specified

Missing Information

Required:

Electrical

- ☒ 120V ☐ 347V
☐ Other _____

Customer Approval

Signature _____

MM/DD/YYYY

It is the Customer's responsibility to ensure that the structure of the building is designed and constructed to accept the installation of the signs being ordered. Please ask PSG to provide further details if required.

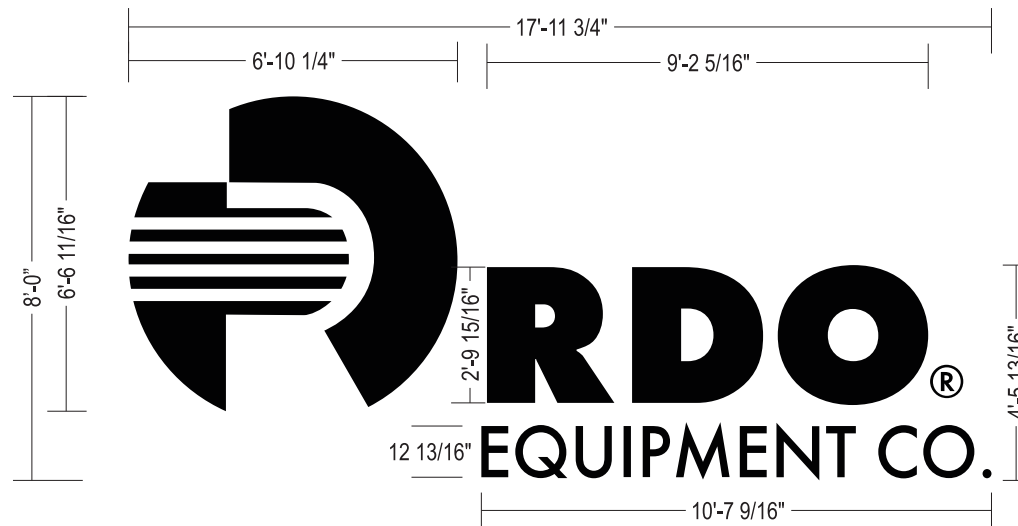
All rights reserved. The artwork depicted herein are copyright and are the exclusive property of Pattison Sign Group and as such cannot be reproduced in whole or in part without written permission by Pattison Sign Group.

Sign Item

1

ELEVATION

SCALE: 1/32" = 1'-0"

CHANNEL LETTERS SHOWN ON EXISTING WALL COLOR OR AS NOTED ON ELEVATIONS.
CUSTOMER TO VERIFY WALL COLOR PRIOR TO PRODUCTIONGRAPHIC DETAIL
SCALE: 1/4" = 1'-0"

1



Planning Commission Staff Review Memo

April 23, 2025



PRELIMINARY/FINAL SUBDIVISION PLAT APPROVAL

Request:	Grant preliminary and final plat approval for Woodstone Subdivision Phase 5 C
Property Address:	3550 S West Haven, Parcel 080370243
Property Zone:	R-2
Property Size:	1.564 acres
Applicant:	Janice Burrows. Agent Zachary Manning
Governing Document(s):	WHZC 157.290-294; 157.630-640; 157.730-737
Decision Type:	Administrative
Staff Recommendation:	See comments under "Staff Review"



Background

The City has received an application for a two-lot subdivision located on 3550 S, just west of 4700 W (Parcel# 080370243). This parcel is zoned R-2, which allows for residential development.

The applicant is proposing to subdivide a property that currently has all improvements constructed, with the exception of a couple of utility stubs. This remainder parcel has had a couple of lots broken off over the years after the full Woodstone Subdivision was developed. Therefore, after review, the City Engineer has determined that the applicant does not need to provide any construction drawings as part of this application.

Because of this, staff recommends that the Planning Commission approve both the preliminary and final plat simultaneously.

Preliminary Plat Requirements

The following table shows the standards required for each preliminary plat as listed in § 156.024 PRELIMINARY PLAN REQUIREMENTS.

The requirements in § 156.024 PRELIMINARY PLAN REQUIREMENTS.	Note	Compliant
The proposed name of the subdivision;	Woodstone Subdivision Phase 5C	Y
The location as forming a part of a larger tract or parcel, where the plat submitted covered only a part of a larger vacant area. In such case, a sketch of the prospective future street system of the unplatted parts shall be submitted, and the street system of the part submitted shall be considered in the light of adjustments and connections with the future street system of the larger area;		Y
Sufficient information to locate accurately the property shown on the plan;		Y
The individual or company names and addresses of the subdivider, the engineer and the registered		Y

land surveyor of the subdivision, and the owners of the land immediately adjoining the land to be subdivided;		
Contour map at intervals of two feet, five feet, or ten feet, as determined by the Planning Commission;	Infrastructure has already been constructed.	Yes
The boundary lines of the tract to be subdivided;	Yes	Yes
The location, widths, and other dimensions of all existing or platted streets and other important features, such as railroad lines, water courses, exceptional topography, and buildings within or immediately adjacent to the tract to be subdivided;	Infrastructure has already been constructed.	No additional information required
Existing sanitary sewers, storm drains, water supply mains, water wells, and culverts within the tract and immediately adjacent thereto;	Applicant is providing will-serve letters from each public utility provider	No additional information required
The location, widths, and other dimensions of proposed public streets, private streets, or private access rights-of-way, alleys, utility easements, parks, other open spaces, and lots with proper labeling of spacing to be dedicated to the public, or designated as private streets or private access rights-of-way;		No additional information required
North point, scale, and date.		Y

Final Plat Requirements

The requirements in § 156.041 FINAL PLAT REQUIREMENTS.	Note	Compliant
A subdivision name, approved by the County Recorder, and the general location of the	Woodstone Subdivision Phase 5C	Y

subdivision in bold letters at the top of the sheet. The township, range, and quarter section shall be shown on the top of the plat;		
Where a subdivision complies with the cluster subdivision provisions of the zoning ordinance, the final plat shall indicate underneath the subdivision name the words, "cluster subdivision;"	N/A	N/A
A north point and scale of the drawing and the date;		Y
Accurately drawn boundaries, showing the proper bearings, basis of bearings, and dimensions of all boundary lines of the subdivision. These lines should be slightly heavier than street and lot lines. The state plane grid bearings (where available) shall be noted on the linen, and the basis of bearing sufficient for retracement shall also be noted on the final plat;		Y
The names, widths, lengths, bearings, and curve data on centerlines of proposed streets, alleys, and easements; also the boundaries, bearings, and dimensions of all portions within the subdivision as intended to be dedicated to the use of the public; the lines, dimensions, bearings, areas, and numbers of all lots, blocks, and parts reserved for any reason within the subdivision. All lots are to be numbered consecutively under a definite system approved by the City Engineer. All proposed streets shall be named or numbered consecutively under a definite system approved by the City Engineer and conform as far as practicable to the adopted street naming and numbering system of the city;		Y
A house number indicating the street address for each lot in the subdivision shall be assigned by the City Engineer marked on each lot so as to face the street frontage. Corner lots shall have a house number assigned for frontage;		Y
Parcels of land to be dedicated as public parks or to be permanently reserved for private common open space shall be included in the lot numbering system and shall also be titled "Public Park" or	N/A	N/A

"Private Common Open Space," whichever is applicable;		
<p>The standard forms approved by the Planning Commission for all subdivision plats lettered for the following, and as shown in § 156.004:</p> <ul style="list-style-type: none"> (a) Description of land to be included in subdivision; (b) Registered land surveyor's certificate of survey; (c) Owner's dedication certificate; (d) Notary public's acknowledgment; (e) City Planning Commission's certificate of approval; (f) City Engineer's certificate of approval; (g) City Attorney's certificate of approval; (h) City Council's certificate of acceptance; (i) City Clerk's certificate of attest; and (j) City Surveyor's certificate of approval. 		Y
A three-inch by three-inch space in the lower right-hand corner of the drawing for recording information; and		Y
<p>The subdivision boundary corners shall be set on the site prior to recording of the final plat. The subdivision boundary corners and centerlines street monuments shall be noted on the final plat. For subdivisions that are located in the city which are zoned for agriculture (A-1 and A-2), the following statement shall be required on each page of the final plat:</p> <p>"Agriculture is the preferred use in the agricultural zones. Agricultural operations as specified in the Zoning Ordinance for a particular zone are permitted at any time including the operation of farm machinery and no allowed agricultural use shall be subject to restriction on the basis that it interferes with activities of future residents of this subdivision."</p>	N/A	N/A

Other Planning Comments

1. Lot Size and Density: The applicant is proposing a new Lot 40, which is 14,691 sq. ft. with a remainder parcel of 53,465 sq. ft. or 1.227 acres. The zoning requires that there "shall be no more than two residential units per acre contained within the boundaries of each

phase of every subdivision”; and that there “shall be a minimum of 12,500 square feet in each lot” (See [§ 157.123 BUILDING LOT REQUIREMENTS](#)). This phase does meet that standard. However, it will only allow the remainder to be subdivided a one additional time. The code also requires that the lots be a minimum of 80’ wide, and average 90’. This lot is 100.33’ wide.

2. Because the Planning and Engineering staff do not believe the full construction drawings are needed, I have asked the applicant to secure “will-serve” letters from water and sewer utilities to ensure they are aware of the project. Staff has received a will-serve letter from West Haven Special Service District (sewer) and have talked to the Water Utilities who are working on getting the letters at the time of this report.

City Engineer Comments on Preliminary Site Plan

The City Engineer has stated they do not need to provide construction drawings. However, if they build on the lot they may need as-builts of storm/sanitary, but it may be unlikely.

The City’s Engineering firm’s surveyor has reviewed the plat and provided a couple of redlines (attached) regarding the legal description and some missing decisions. The applicant’s surveyor needs to address these prior to submitting a Mylar to the City.

Fire Review

The Fire Marshal provided the following comments:

“Just to make sure I followed up with you. A one-lot subdivision is not a big deal to fire until we see a site plan and building plan.”

David Reed, Deputy Chief/Fire Marshals, Weber Fire District, 4/15/2025

Building Department Review

The Building Official provided the following comment:

1. Provide a copy of the geotechnical study report for the Woodstone Subdivision.

This would need to be done before they can receive a building permit.

Staff Recommendation

Staff recommends that the preliminary and final plat for the proposed Woodstone Phase 5C Subdivision be approved subject to the following conditions.

1. They make any changes to the plat as redlined by the City’s Engineering.

Recommended Motions:

“Motion to approve the preliminary and final plat for the Woodstone Phase 5C subdivision, located on 3550 S, Parcel 080370243, subject to the conditions and comments in the staff report.”

SUBDIVISION APPLICATION



Subdivision Name Woodstone Sub.

Location 3550 S. West Haven, UT Parcel# _____

Phase 5C No. of Lots 1 Zone _____

Applicant name Janice Burrows

Agent Name Zachary Manning

Signed: _____ Date: _____
(Owner/Petitioner)

I authorize Zachary Manning to act as my representative in all matters relating to this application.

Janice Burrows
(Owner)

Zachary Manning
(Agent as Authorized by Owner)

State of Utah)

§

County of Weber

On this 7th day of April, in the year 2025, before me, Marilyn Cook

a notary public, personally appeared Zachary Manning, proved on the basis of satisfactory
name of document signer

evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and

acknowledged (he/she/they) executed the same.

Witness my hand and official seal.

Marilyn Cook



N/A	Received	N/A	Received	Letters of acknowledgment/approval/conditions from
				<u>PRELIMINARY</u>
<input type="checkbox"/>				Affidavit of Understanding and Acceptance of Fees
		<input type="checkbox"/>	<input type="checkbox"/>	Secondary Water Company
		<input type="checkbox"/>	<input type="checkbox"/>	Culinary Water Company
		<input type="checkbox"/>	<input type="checkbox"/>	Fire District
		<input type="checkbox"/>	<input type="checkbox"/>	All other items required by City Planner
				<u>FINAL</u>

ALL APPLICABLE ITEMS MUST BE RECEIVED BEFORE BEING ADDED TO THE AGENDA.

Owner Information

Phone 801-668-3380 Fax _____

Email: Rburr74606@aol.com

Address 3569 S 4700 W City _____ State _____ Zip _____

Agents Information

Phone 365-239-5010 Fax _____

Email: Manning2013@hotmail.com

Address 3569 S 4700 W City West Haven State UT Zip 84401

Surveyor/Engineer Scott McFarland Phone 801-726-6797 Fax _____

Email: SPMcf@yahoo.com

Address _____ City _____ State _____ Zip _____

MULTI-LOT SUBDIVISION

COSTS TO BE INCURRED BY DEVELOPER

TO WEST HAVEN CITY

There will be an additional cost of \$400.00 for SWPPP permit per subdivision that expires six months after issuance.

Amount of Lots	Preliminary Subdivision Fee	Preliminary per Lot	Final per Lot	Inspection per Lot
1 to 5	\$200	\$125	\$75	\$150
6 and above	\$450	\$75	\$50	\$150

Preliminary: \$ <u>125⁰⁰ 200⁰⁰</u>	Amount Paid: <u>\$325⁰⁰</u>	Final: \$ _____	Amount Paid: _____
--	--	-----------------	--------------------

<u>Planning Commission Preliminary Action</u> <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date _____	<u>Scheduled for Planning Commission Agenda</u> _____ <u>Conditions:</u> _____ _____ _____ _____
<u>Planning Commission Final Recommendation</u> <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date _____	
<u>City Council Final Action</u> <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date _____	

Planning Commission Staff Review Memo

April 23, 2025

Stephen Nelson, Community Development Director

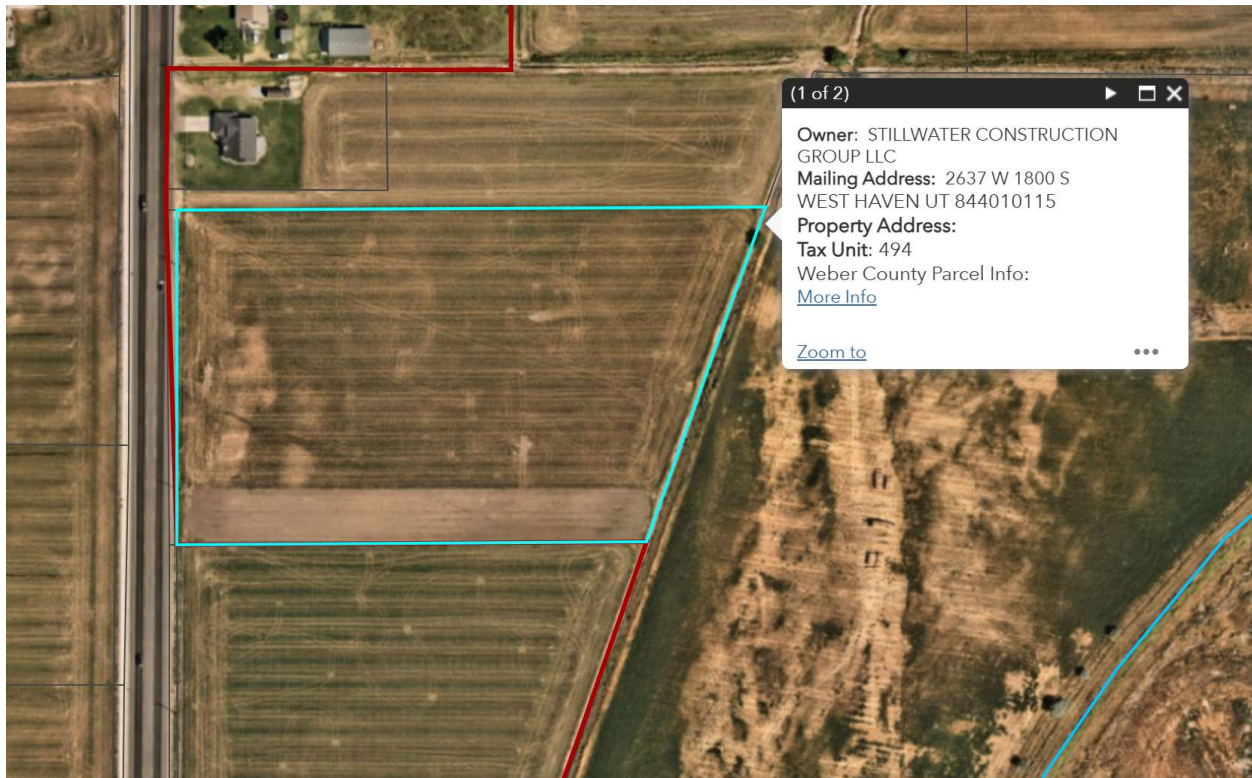


PRELIMINARY SITE PLAN AND CONDITIONAL USE PERMIT- GRAND HAVEN

Request: Grant a preliminary site plan approval to Grand Haven Assisted Living
Property Address: Approx. 3400 South 3500 West, Parcel #: 080290078
Property Zone: R-2
Property Size: 6.6 Acres
Applicant: Justin Nielsen/Stillwater Construction

Governing Document(s): WHZC 157.950-157.955, 157.515-529, and 157.140-149
Decision Type: Administrative
Staff Recommendation: Recommend granting 12-month extension of time

Public Hearing Posting: No public hearing is required



Background

At the November 20, 2019, City Council meeting, Stillwater Construction Group received final site plan approval for an assisted living center located at approximately 3400 South 3500 West. The commission had granted final approval on October 29, 2019. Within a few months after the site plan was given approval, the COVID-19 pandemic broke out, and plans for this project were shelved. They came back in March of 2022 for an extension, which was approved. Since the final approval, they have not begun any construction, and their initial approval has expired. Therefore, the applicant is seeking to start the project and has resubmitted their application. They have significantly modified the original site plans and submitted construction drawings and site information.

Staff Review

Conditional Use Permit

The application is for an “Assisted Living Center”. West Haven City Code allows for this as a conditional use within R-2 Zones:

The following standards from Chapter 157.520, “Conditional Use Standards”, apply to this request. Staff’s evaluation of the criteria is in *italics* below the standard.

- (A) **General plan.** The proposed use conforms to policies of the city’s general plan.
This property is zoned as R-2, and the General Plan Map has this property as 2 Units per Acre.
- (B) **Site design.** The use is well-suited to the character of the site and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area.
The applicant has provided a site and an updated site plan with the Conditional Use Permit
- (C) **Access.** Access to the site avoids traffic and pedestrian conflicts and does not unreasonably impact the service level of any adjacent street.
There is adequate access to the site. This use will not provide an access conflict.
- (D) **Circulation.** On-site vehicle circulation and truck loading areas mitigate adverse impacts on adjacent property.
No circulation issues have been raised during the review. The applicant has provided a single access and provided a full fire lane around the full property.
- (E) **Parking.** The location and design of off-street parking complies with standards of this subchapter.

See parking comments below. Generally, the parking should be sufficient, but applicant needs to verify with the highest employment shift.

- (F) **Refuse collection.** The locations and design of the refuse collection areas are not likely to create an adverse impact on the occupants of adjoining property.

Locations of “refuse location” are not a concern and are located behind the main building.

- (G) **Utility services.** Utility capacity supports the use at normal service levels.

The applicant has provided will serve letters from public utilities.

- (H) **Screening.** The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts. Fencing, screening, and landscape treatments and other features increase the attractiveness of the site and protect adjoining property owners from noise and visual impacts.

The applicant has provided the required landscaping along the front.

- (I) **Operating hours.** The hours of operation of the use and delivery of goods are not likely to adversely affect surrounding uses.

A site of this nature will have staff present 24 hours a day and seven days a week.

- (J) **Signs.** Sign size, location, and lighting are compatible with, and do not adversely affect, surrounding uses.

There is a proposed sign, but it is too large and needs to be decreased in size to meet code for institutional signs.

- (K) **Public services.** Public facilities such as streets, water, sewer, storm drainage, public safety, and fire protection are adequate to serve the use.

Staff is unaware of any problems with any of the utility services. The applicant has provided a utility plan and will-serve letters from utility companies.

- (L) **Environmental impact.** The use does not significantly adversely affect the quality of surrounding air and water, encroach into a waterway or drainage area, or introduce any hazard to the premises or any adjacent property.

This use will not cause any known environmental impact. The applicant will need to address stormwater as required by state law.

- (M) **Nuisance.** Operation of the use is unlikely to create any nuisance from noise, vibration, smoke, dust, dirt, odor, noxious matter, heat, glare, electromagnetic disturbance, or radiation. Activities which noticeably produce excessive foot and vehicular traffic, parking, sounds or noises, lighting, vibration, or anything that is uncommon to the established character of the surrounding area to such a degree to constitute a nuisance, as defined at Utah Code §78B-6-1101, to the residents of the immediate area, as determined by the Planning Commission.

There will be increased traffic in the area and activity on the property. The City has code governing lighting and noise. Engineering has not raised any concerns with the roadway or traffic impact.

An Assisted Living Facility also needs to comply with the following additional standards.

157.954 Conditional Uses

(A) Assisted living centers are conditional uses in all Residential and Agricultural Zones. (See §§ 157.515 through 157.529 on conditional uses regarding health and safety of the surrounding area, including traffic, parking, and the like.)

(B) Assisted living centers are limited to the following in Residential and Agricultural Zones:

(1) A maximum of 12 rooms and a maximum of 16 residents, with no more than two residents per room, on one acre of ground;

(1) A maximum of 25 rooms and maximum of 30 residents, with no more than two residents per room, on two acres; and

Number of Rooms

The applicant is allowed to have up to “25 rooms and maximum of 30 residents, with no more than two residents per room, on two acres” (157.954 (B)(2). The applicant is proposing the maximum number of rooms, which would be 82 rooms for 6.6 acres, and a total number of 98 beds.

(2) No assisted living centers may be located within a one-half mile of an existing assisted living center.

The nearest assisted living center, Cogir of Lotus Park Senior Living, is over .8 miles from this property.

Licenses

(C) License and certifications.

(1) Prior to occupancy of any facility or the issuance of a business license, building permit, or conditional use permit, the person or entity operating the facility shall:

(a) Provide to the city a copy of any license or certifications required by the State Department of Health or the State Department of Human Services; and

The applicant is currently seeking an operator for this facility and has committed to requiring that they are licensed. Once they have their operator under contract, the applicant needs to provide the City with a copy of their license. Other certifications will come as they enter into different stages of the project. A business license should not be issued unless they have received all permits required by the state.

(b) Certify in a sworn statement that no person will reside or remain in the facility whose tendency would:

- 1. Constitute a direct threat to the health or safety of other individuals; or*
- 2. Result in substantial physical damage to the property of others.*

The applicant has not provided this statement at this point. Staff has brought this to the attention of the applicant, and they are providing this statement to the city.

R-2 Development Standards:

Staff's review of the proposed site plan as it pertains to the requirements of the West Haven Zoning Code are as follows:

	R-2 Requirement	Site Plan Proposal	Compliant?
Building height			
Maximum	35 ft.	35'	Y
Minimum	One story	One story	Y
Max lot coverage	60% by buildings (main & accessory)	25%	Y
Minimum lot area	12,500 sq. ft.	6.6 Acres	Y
Min lot width	80'	417'	Y
Min yard setbacks			
Front	20 ft.	200'	Y
Rear	22 ft.	276	Y
Side	10 ft.	32' South 33'-7" North	Y
Side, adj. to street	20 ft.	NA	

Development Standards

An Assisted Living Center must comply with several standards within the City code, including the normal site plan and design standards.

157.731-736 Design Review**§ 157.733 Standards Of Review**

(A) Traffic safety and circulation.

- (3) Does the site plan comply with the West Haven City Engineering Design Standards and The applicant has provided a single access along 3500 W and fire lane around board of the facility.

(B) Parking. Does the site plan comply with city ordinances regarding design, location and number of parking stalls required?

The applicant has provided a parking lot layout and design with 97 stalls, including 4 ADA spaces. West Haven requires that there be one space for every four beds, which would be 25 spaces, plus one space for each employee at the highest shift. The applicant has not provided information on how many employees will be located on-site. There would be 72 spaces available for employee parking. This is likely adequate, but staff has asked the applicant to confirm those numbers.

§ 157.631 PARKING SPACE FOR RESIDENTIAL, COMMERCIAL, INSTITUTIONAL, RECREATIONAL AND OTHER LAND USES

<i>Assisted living center/nursing home</i>	<i>1 space per 4 beds, plus 1 per employee at highest shift</i>
--	---

(C) Signage. Does the proposed signage meet the requirements of the city sign ordinance? The applicant has shown a single institutional sign along the parcel's frontage. The sign is approximately 50 sq. ft. and 6'-3" tall. West Haven Code allows for a sign up to 32 sq. ft. and a max height of 6'. The proposed sign is too large and will need to be smaller.

§ 157.757 DEFINITIONS.

INSTITUTIONAL SIGN. A sign on any private property, public place, or building with connection to a medical or dental surgery, clinic, hospital, rest home, home for the aged, or other place of a similar nature.

§ 157.759 PERMITTED SIGNS.

<i>Sign Type</i>	<i>Building Permit Required</i>	<i>Max. Height (ft.)</i>	<i>Max. Area (sq. ft.)</i>	<i>Permitted Zones</i>	<i>Lighting Permitted</i>
<i>Institutional</i>	<i>Y</i>	<i>6</i>	<i>32</i>	<i>All</i>	<i>N</i>

(D) Landscaping. (1) The following landscaping shall be provided in each project subject to the provisions of this subchapter:

(a) Front yard. Landscaping shall be required along the entire frontage of the lot, except for the frontage required for ingress/egress. Said landscaping shall be a minimum of 15 feet deep, calculated from the property line.

The front landscape area is over 15' deep.

(b) Side/rear yards. There shall be a minimum of five feet of landscaping between parking areas and side or rear property lines (except between commercial uses where said landscaping is not visible from areas of public access) and a minimum of five feet of landscaping between an access driveway and a side or rear property line unless said driveway is to be used for common access by an adjacent lot.

(4) Landscape plans shall include a minimum of three items from the following list:

- (a) Trees;
- (b) Decorative rock and boulders (gravel and pea gravel are not permitted);
- (c) Shrubs;
- (d) Groundcover; and
- (e) Grass (artificial or other).

The applicant has provided a mixture of trees, shrubs, and ground cover within the required landscape areas. The applicant shows that the shrub beds, which make up frontage and other landscape area, will have 50% coverage. Lawn is limited to 15% of the total landscape area as

required by code. For the required landscape areas, they have provided 1 tree and two shrubs every 400 sq. ft. 5% of the parking lot needs to be landscaped. There are landscape islands within and around the parking lot. The plan appears to meet this standard, but the plan does not call out if this standard is met.

The applicant proposes a non-irrigated seed mix for most landscape areas along the back and sides. The applicant has not provided full landscaping along the side, back, and rear property lines, partly to provide a fire lane and access points to the back.

(E) Building/site layout.

- (1) All buildings shall be designed with breaks in the facade. This may be accomplished through a change in building materials, actual breaks in the facade, a mix of roofline projections.

(F) Engineering standards. Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to utility easements, drainage and other engineering requirements?

§ 157.734 Design Requirements

§ 157.734 DESIGN REQUIREMENTS.

Design approval may include such other conditions consistent with the considerations of this subchapter as the Commission or Planning Director deem reasonable and necessary under the circumstances to carry out the intent of this subchapter.

(A) Building materials. New buildings shall be designed and constructed to meet the following criteria.

(1) Building exteriors shall be designed and constructed with primary and secondary building materials from the list of building materials in division (C) below.

(2) The front elevation, as well as any other elevation which faces the street shall be constructed of a minimum of 60% primary materials, with a maximum of 40% secondary materials.

(3) Windows and doors shall be excluded from the calculation of exterior building material requirements. Non-functioning, decorative only windows may be included in the calculation of building materials.

(4) A maximum of six colors for the primary materials may be permitted.

(5) Secondary materials shall be of a complementary hue and shade to primary building materials. A maximum of four accent colors may be allowed for secondary materials.

(6) A minimum of 15% of the front elevation, as well as any side or rear elevation which faces the street or major corridor, shall consist of upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.

(7) Non-primary elevations which do not face the street or major corridor shall consist of at least 5% upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.

(B) Major corridor requirements. Projects which are adjacent to, or located within 400 feet of the centerline of 2100 South/Wilson Lane, 1800 South, 1900 West, Midland Drive, 3500 West, 4000 South, Hinckley Drive and 2550 South shall be subject to the following additional requirements. Any building face which can be seen from the above-referenced roads shall be constructed of a minimum of 60% primary materials.

(C) Materials list and architectural features.

- (1) Primary materials. Shall include, but are not limited to:*
 - (a) Architectural insulated metal panels;*
 - (b) Brick;*
 - (c) Concrete masonry unit (CMU), if it is textured to have the appearance of a different material;*
 - (d) Glass;*
 - (e) Rock;*
 - (f) Stone (may be natural or manufactured);*
 - (g) Fiber cement siding, if used in a craftsman style of architecture; and*
 - (h) Engineered wood siding, if used in a craftsman style of architecture.*
- (2) Secondary materials. May include, but shall not be limited to:*
 - (a) Concrete;*
 - (b) Non-insulated corrugated and ribbed metal;*
 - (c) Fiber cement siding, if used in a non-craftsman architectural style;*
 - (d) Engineered wood siding, if used in a non-craftsman architectural style;*
 - (e) Stucco;*
 - (f) Tile; and*
 - (g) Wood.*
- (3) Upgraded architectural features. May include, but shall not be limited to:*
 - (a) Alternating brick patterns;*
 - (b) Archways;*
 - (c) Awnings;*
 - (d) Bays;*
 - (e) Canopies;*
 - (f) Corbels;*
 - (g) Cornices;*
 - (h) Decorative art (must be permanent);*
 - (i) Donners;*
 - (j) Pillars;*
 - (k) Porte Cocheres;*
 - (l) Porches;*
 - (m) Porticos;*
 - (n) Shutters; and*
 - (o) Timbers.*

The applicant has provided building renderings with the listed materials. The building façade will comprise Hardie board (Fiber cement siding in a craftsman style), rock, and glass, all of which are primary materials. The façade also includes some upgraded architectural

features, including canopies, but it does not show if it meets the required 15% for primary and 5% for non-primary elevations. This needs to be updated to include those features and a table showing they comply with that standard.

Potential Detrimental Impacts

As is common with commercial projects adjacent to a residential use, the concerns that have not already been addressed in this staff report are noise and lighting.

Noise: We have nuisance ordinances in place which govern noise, so any issues which may arise regarding noise complaints will be handled through the City's code enforcement department. Those noise standards may be found in WHC §90.22. That section of code sets noise standards based on the time of day, proximity to residential areas, and use of the land.

Lighting: Similar to noise, the City has ordinances in place governing lighting and light pollution. That can be found in WHZC 157.775-785. It sets in place standards for commercial lighting, including a required reduction in output and requirements that light be shielded/directed downwards so as not to trespass on adjoining properties. The developer has a streetlight shown at the entrance of the private roadway on the north side labeled "STREET LIGHT PER CITY STANDARDS". No other lighting is noted on the plan.

City Engineer Review

West Haven's City Engineer have reviewed the plan and has the following comments:

1. Approvals Required – Weber County, West Haven Special Service District, Weber Fire
2. Coordinate road widening and restoration requirements with Weber County. Road widening should have min 2% cross slope.
3. Coordinate Storm drain discharge with Weber County
4. Show storm drain detention calcs and LID storm water quality report.
5. Show site lighting plan that meets City code.
6. Combine storm drain outlet to the slough with the existing to limit outfalls to the slough.
7. Show how LID volume will be retained on site. Provide LID water quality report per City LID Standard.
8. Long term maintenance agreement will be required for storm drain.
9. Sewer to be reviewed by District. Show connection to existing sewer with manhole.
10. SWPPP requirements should be coordinated with City Stormwater Manager.

Utilities and Will-Serve Letters

The applicant has provided will-serve letters for local public utilities.

Staff Recommendation

Staff recommends that the Planning Commission approve the site plan and conditional use permit with the following conditions:

1. The applicant shall provide building height, showing the building is less than 35' tall
2. The applicant must show that 15% of the front façade and 5% of non-primary facades contains "upgraded architectural features".
3. The applicant will need to provide data showing their highest employment shift parking needs.
4. The applicant shall correct the size of the sign to ensure it is no larger than 32 sq. ft. and a maximum of 6' tall.
5. The applicant needs to provide a full lighting plan that complies with West Haven City Code
6. The applicant must address each of the Engineering's comments as part of the construction drawings.
7. The applicant must be licensed and meet all state and West Haven standards in operation, including those found in West Haven City Code [§ 157.955 DEVELOPMENT STANDARDS](#). Violating such standards or licenses may cause the City to revoke the conditional use permit.
8. The applicant must provide the City a "Certify in a sworn statement that no person will reside or remain in the facility whose tendency would: 1) Constitute a direct threat to the health or safety of other individuals; or 2) Result in the substantial physical damage to the property of others" ([§ 157.955 DEVELOPMENT STANDARDS. \(C\)](#))
9. That failure to meet any of these conditions may cause a revocation of the conditional use permit.

Proposed Motion

"The Planning Commission grants approval for the preliminary site plan and conditional use permit for the Senior Assisted Living Facility, Grand Haven, located on parcel 080290078, in West Haven, subject to the conditions recommended by staff in the staff report.

**SITE PLAN
AND DESIGN REVIEW**



Address of Site 3448 S 3500 W Parcel # 08 029 0078

Applicant Name STELLWATER CONSTRUCTION GROUP

Agent Name JUSTIN NIELSEN

Application is hereby made to West Haven City requesting the following permitted use(s),

SENIOR ASSISTED LIVING and

Site plan design for 67,000 building be approved on 6.59 of
(Square Feet) (acreage)

Property in the R-2 zone in accordance with the attached site plan. (see attached form for site plan requirements.)

Signed: [Signature] Date: 11/25/24
(Owner/Petitioner)

I authorize JUSTIN NIELSEN to act as my representative in all matters relating to this application.

[Signature]
(Owner)

[Signature]
(Agent as Authorized by Owner)

State of Utah)

§

County of Weber)

On this 25th day of November, in the year 2024, before me, Carlyle Jones

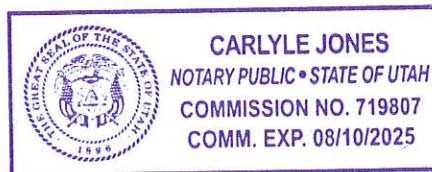
a notary public, personally appeared Justin Nielsen, proved on the basis of satisfactory
name of document signer

evidence to be the person(s) whose name(s) (is) are subscribed to this instrument, and

acknowledged (he) executed the same.

Witness my hand and official seal.

Carlyle Jones



N/A	Received	N/A	Received	Letters of acknowledgment/approval/conditions from
				<u>PRELIMINARY</u>
				<u>FINAL</u>
				Affidavit of Understanding and Acceptance of Fees
				Culinary Water provider (Will Serve)
				Weber Fire District
				Weber-Morgan Health Department (If applicable)
				UDOT Application Letter (If applicable)

ALL APPLICABLE ITEMS MUST BE RECEIVED BEFORE BEING ADDED TO THE AGENDA

Owner InformationAddress 2637 W 1800 S
STILLWATER CONSTRUCTION GROUP City WEST HAVEN State UT Zip 84401Phone 801-668-8778 Fax _____Email snstillwater@gmail.comAgents InformationAddress 2637 W 1800 S City WEST HAVEN State UT Zip 84401Phone 801 668-8778 Fax _____Email: snstillwater@gmail.comSurveyor/EngineerName Reeve + ASS. Phone 801-621-3100 Fax _____

Email _____

Address 5160 S 1500 W City REVERDALE State UT Zip 84405COSTS TO BE INCURRED BY
DEVELOPER
TO WEST HAVEN CITY

Fees	
City Review \$250.00 per plan set	
Preliminary \$500.00 + \$50.00 per acres (0-5 acres) \$1500.00 + \$75.00 per acres (5.01 - 10 acres) \$2000.00 + \$100.00 per acres (10.01 - 15 acres) \$3000.00 + \$100.00 per acre (15.01+ acres)	Preliminary Amount _____ Date Paid _____ Final Amount _____ Date Paid _____
Needs City Council Approval <input type="checkbox"/> Yes _____ <input type="checkbox"/> No _____	Scheduled for Planning Commission Agenda _____ Conditions _____ _____ _____ _____ _____ _____
Planning Commission action Preliminary <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date _____ Final <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date _____	
City Council action Preliminary <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date _____ Final <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date _____	

Community Development Director _____



CONDITIONAL USE PERMIT APPLICATION

West Haven City Planning Commission

4150 S 3900 W West Haven, UT 84401

801-731-4519

Property Address 3448 S 3500 W Parcel# 08-029-0078

Existing Zone R-2 No. of Acres or Sq. Ft. 6.59 #Res. Units 82

Bldg. Sq. Ft. 67,000 Building Height (stories & ft.) 2

What Use is requested? SENIOR ASSISTED LIVING

.....
-Is the proposed use necessary or desirable to provide a service or facility which will contribute to the general well-being of the community? - ☒ Yes ___ No If yes, please answer the following two questions:

-Describe how the use will be necessary or desirable to provide a service or facility to the community?

SENIOR LIVING

-Describe how the use will contribute to the general well-being of the community?

SENIOR LIVING FOR COMMUNITY

-Will the proposed use be detrimental to the health, safety, and general welfare of persons in the community? - ___ Yes ☒ No

-Will the proposed use be injurious to property or improvements to the community? - ___ Yes ☒ No

-Will the proposed use be compatible with and complimentary to the existing surrounding uses, buildings and structures?

☒ Yes ___ No If yes, please answer the following questions about the proposed use in the proposed area:

-Will the proposed use generate traffic in the area? If so, how much is anticipated? NOT MUCH MORE.

-Will the proposed use have an impact on parking in the area? ___ Yes ☒ No If so, how much is anticipated?

-Will the proposed use be compatible with the building and structure designs in the area? ☒ Yes ___ No

-Will the proposed use be compatible with the building and structure uses in the area? ☒ Yes ___ No

-Will the proposed use be compatible with landscaping and signs in the area? ☒ Yes ___ No If a sign is requested, please attach photo. If there is landscaping involved in the request, please attach a site plan for the landscaping.

-Will the proposed use conform to the goals, policies, and governing principles and land use of the Master Plan for the City of West Haven? ☒ Yes ___ No

-Will the proposed use lead to the deterioration of the environment or ecology in the general area? ___ Yes ☒ No

-Will the proposed use produce conditions or emit pollutants? - ___ Yes ☒ No If yes, what type of pollutants shall be emitted or produced and how would they be disposed of or mitigated?

-Will such conditions or pollutants have a possible detrimental effect on the operation of existing uses of surrounding public and private properties in the immediate vicinity or the area as a whole? ___ Yes ☒ No If yes, please explain

CONTINUED ON BACK

Owners Name: Stillwater Construction Group Phone: 801-668-8778

Email Address: snstillwater@gmail.com

Business name (If applicable) SAME

Address: _____ City: _____ State: _____ Zip: _____

All Information will be sent to the Agent. (Note when agent is same as above)

Agents Name JUSTIN NIELSEN Phone: 801-668-8778

Email Address: SAME

Signed: _____ Date: 11/25/24
(Owner/Petitioner)

I authorize JUSTIN NIELSEN to act as my representative in all matters relating to this application.

(Owner)

(Agent as Authorized by Owner)

State of Utah)

§
County of Weber)

On this 25th day of November, in the year 2024, before me, Carlyle Jones

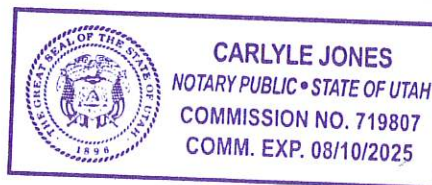
a notary public, personally appeared Justin Nielsen, proved on the basis of satisfactory
name of document

signer evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and

acknowledged (he) she/they executed the same.

Witness my hand and official seal.

Carlyle Jones



Fee – Conditional Use Application

\$100.00 for the City review and \$100.00 plus \$25.00 for each acre over one (1) to five (5) acres, then \$10.00 for each additional acre or part thereof

A list of the names and addresses (mailing) of all neighbors in a 500-foot radius must be provided with the application.

A site plan must be provided with the application.

OFFICE USE

Date Paid: _____

Scheduled for Planning Commission Agenda: _____

Fee: _____

Approved: _____ Denied: _____ Date: _____

Conditions: Comply with Nuisance ordinance 15-15



2
A2.1 SIDE ELEVATION
1/8" = 1'-0"



3
A2.1 REAR ELEVATION
1/8" = 1'-0"



4
A2.1 SIDE ELEVATION
1/8" = 1'-0"

PROJECT NUMBER
19020

ISSUE DATE:
NOVEMBER 19, 2019

REVISIONS:
No. Date

STILLWATER ASSISTED
LIVING
WEST HAVEN, UTAH

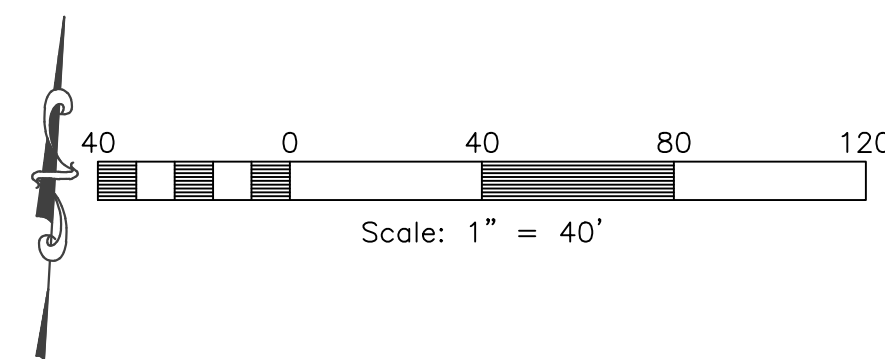
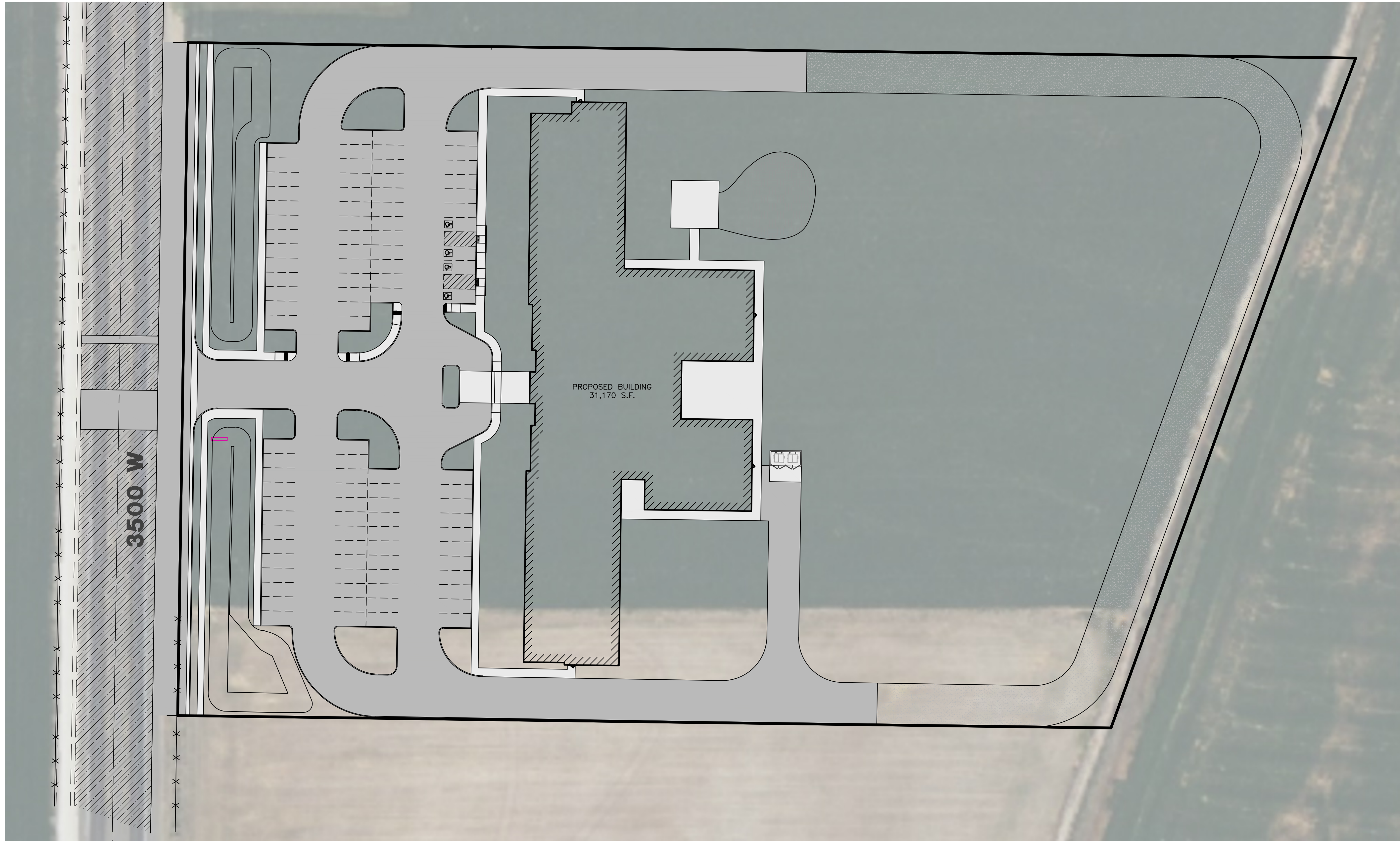
ELEVATIONS

A2.1

JZW
ARCHITECTS

1. 02/17/2025 ZD - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

WEST HAVEN CITY, WEBER COUNTY, UTAH
NOVEMBER 2024



Vicinity Map
NOT TO SCALE

SITE DATA		
PARCEL #:	444-222-000	
PROJECT ADDRESS:	987 HOLDER PLACE CITY, ST	
EX. ZONING:	GC (GENERAL COMMERCIAL)	
PRO. ZONING:	GC (GENERAL COMMERCIAL)	
PARKING:	97 STALLS PROVIDED (4 A.D.A.)	
PARCEL AREA:	279,551 S.F. (8.42 ACRES)	
BUILDING AREA:	31,170 S.F.	25%
PAVEMENT AREA:	80,955 S.F.	50%
LANDSCAPE AREA:	14,325 S.F.	25%

Sheet 10 - Landscape Plan

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.



Jason Felt
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Project Contact:
Jeremy Draper
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
(PH: (801) 621-3100



**Reeve
& Associates, Inc.**

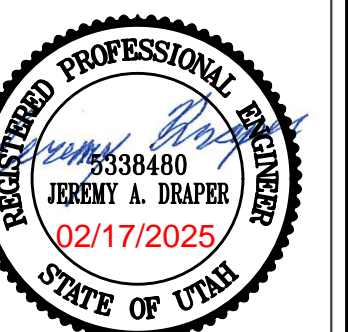
5160 SOUTH 6201 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • OIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

[illegible]

Grand Haven Assisted Living
3500 West Street
WEST HAVEN CITY, WEBER COUNTY, UTAH

Cover/Index Sheet



Engineer:
JEREMY A. DRAPER, P.E.

Drafter:
J. MEYERS

Begin Date:
January 2022

Name: **GRAND HAVEN**

GRAND HAVEN
ASSISTED LIVING
3500 WEST ST

3500 WEST ST
Number: 7037-01

1

- THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

3. AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.

3. TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE

W LAY = PROPOSED WATER LATERAL
C LAY = PROPOSED CEMENT LATERAL
SS = PROPOSED REDUCER
SS = SANITARY SEWER

6. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.

11. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING

ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT IF AWARDED THE CONTRACT HE HAS RELIED AND IS RELYING ON HIS OWN JUDGMENT AND THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND

BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT OWNER'S JOB IS NOT A GUARANTEE OF ACCURATE INFORMATION REGARDING THE EXISTING CONDITIONS. CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER.

— OHP — = OVERHEAD POWER LINE

FFE = FINISH FLOOR ELEVATION

4600 = PROPOSED CONTOUR GRADE

10. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE DISTURBED AREA. = PROPOSED FIRE HYDRANT

20. CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR NEGLIGENCE. THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

● = PROPOSED MANHOLE GB = GRADE BREAK _____ = PROPOSED MINOR CONTOUR

21. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY TO ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED, BY STATE AND FEDERAL REGULATIONS TO

REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR
REPAIRING EXISTING IMPROVEMENTS.

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE
MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

PRC = POINT OF RETURN CURVATURE

THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT











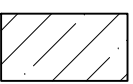

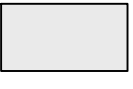



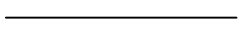


ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR, PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

26. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICES TO REMOVE AND DRAIN EXCESSIVE AND WORKMANSHIP OF THE SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DISPOSING IT IN AN APPROPRIATE MANNER.

CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.2 cfs/acre.

- PURPOSE OF THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS
- A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
 B) TRACKING STRAW PERPENDICULAR TO SLOPES
 C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET
- The calculations are as follows:
- | | | | |
|-----------------------|---------------------|--------------|---------------|
| Drainage Area: | Total Area = | 2.90 acre or | 125,450 sq ft |
| | Runoff Coefficients | | |
| | Paved Area | 31,170 sq ft | C = 0.9 |

ER LATERAL		= PROPOSED WATER METER	ROW	= RIGHT-OF-WAY
ERAL		= EXISTING WATER METER	SD	= STORM DRAIN
		= PROPOSED REDUCER	SL	= STREET LIGHT
		= EXISTING REDUCER	SS	= SANITARY SEWER
LINE		= PROPOSED CATCH BASIN	TBC	= TOP BACK OF CURB
LINE		= EXISTING CATCH BASIN	TOA	= TOP OF ASPHALT
R LINE		= PLUG W/ 2" BLOW-OFF	TOC	= TOP OF CONCRETE
R LINE		= STREET LIGHT	TOFF	= TOP OF FINISHED FLOOR
LINE		= SIGN	TOS	= TOP OF STAIRS
NE		= POWER POLE	TOW	= TOP OF WALL
E	BFE	= BASEMENT FLOOR ELEVATION	TSW	= TOP OF SIDEWALK
E	BLDG	= BUILDING	UGP	= UNDERGROUND POWER
	BOS	= BOTTOM OF STAIRS	W	= CULINARY WATER
	BOW	= BOTTOM OF WALL	WM	= WATER METER
	BP	= BEGINNING POINT		= EXISTING ASPHALT PAVEMENT
	C&G	= CURB & GUTTER		= PROPOSED ASPHALT PAVEMENT
	CB	= CATCH BASIN		= PROPOSED CONCRETE
	CF	= CUBIC FEET		= PROPOSED GRAVEL
	CFS	= CUBIC FEET PER SECOND	4800	= EXISTING CONTOUR GRADE
	EP	= EDGE OF PAVEMENT	4800	= PROPOSED CONTOUR GRADE
	FF	= FINISH FLOOR		= PROPOSED RETAINING WALL
	FFE	= FINISH FLOOR ELEVATION		= PROPOSED MAJOR CONTOUR
	FG	= FINISHED GRADE		= PROPOSED MINOR CONTOUR
	FH	= FIRE HYDRANT		= EXISTING MAJOR CONTOUR
	FL	= FLOW LINE		= EXISTING MINOR CONTOUR
	GB	= GRADE BREAK		
	GFE	= GARAGE FLOOR ELEVATION		
	INV	= INVERT		
	LF	= LINEAR FEET		
	NG	= NATURAL GRADE		
	OH	= OVERHEAD POWER		
	PC	= POINT OF CURVATURE		
	PP	= POWER/UTILITY POLE		
	PRC	= POINT OF RETURN CURVATURE		
	PT	= POINT OF TANGENCY		
	PUE	= PUBLIC UTILITY EASEMENT		
	RCP	= REINFORCED CONCRETE PIPE		
	RIM	= RIM OF MANHOLE		

Storm Runoff Calculations **Grand Haven Assisted Living** 7037-01 1/28/2025 v00

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the West Haven area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 24-hr storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.2 cfs/inch.

The calculations are as follows:

Drainage Area:			
Total Area =	2.90 acre or	126,450 ft ²	
Runoff Coefficients			
Paved Area		31,170	C = 0.9
Roof		80,855	C = 0.9
Landscaped Area		14,225	C = 0.2
Weighted Runoff Coefficient			C = 0.82

LID Retention			
80 th Percentile Rainfall Event (s)			0.49 in
Is the site Feasible for LID?		Yes	
Site Imperviousness (%)		0.85	
NRCS Soil Group		C/D	
R ₁ Equation		0.831 ¹ I ^{0.22}	
R ₁ (Soil Group A: 0.841 ¹ I ^{0.22} ; B: 0.841 ¹ I ^{0.22} ; C/D: 0.831 ¹ I ^{0.22})		0.73	
R ₂ = R ₁ x P _a x d x Total Slope (ft)		3745	c.f.

Rainfall Intensity:
 ____ in/minute TOC = Pipe Capacity in/yr


Peak Runoff:			
Runoff Coefficient	C =	0.82	
Rainfall Intensity	I =	0.00 in/hr	
Average	A =	2.90 acres	
Q	Q =	0.06 cfs	

Percolation Rate:			
Drainage Area		s.f.	
Perk Rate		15 mpy	
Percolation out	(In/perc rate)*(A/12in)*(1/min/60sec)/Bot Area of D	0.00	cfs

Volume of Run-off for 100-year Storm Event:

C =	0.82		
I =	See Below in/hr		
A =	126450.00 ft ²		
Q (cfs)	0.58 cfs		
time (min)	time (sec)	Q (cfs)	Vol. in (ft ³)
0	0	0.00	0
5	300	6.59	1579
10	600	4.99	1199
15	900	4.12	990
20	1200	2.78	666
25	1500	1.72	413
30	1800	0.94	225
35	2100	0.63	152
40	2400	0.39	93
45	2700	0.29	68
50	3000	0.22	52
55	3300	0.17	40
60	3600	0.13	31
65	3900	0.10	24
70	4200	0.08	19
75	4500	0.06	14
80	4800	0.05	11
85	5100	0.04	9
90	5400	0.03	7
95	5700	0.02	5
100	6000	0.02	4
105	6300	0.01	3
110	6600	0.01	2
115	6900	0.01	1
120	7200	0.01	1
125	7500	0.01	1
130	7800	0.01	1
135	8100	0.01	1
140	8400	0.01	1
145	8700	0.01	1
150	9000	0.01	1
155	9300	0.01	1
160	9600	0.01	1
165	9900	0.01	1
170	10200	0.01	1
175	10500	0.01	1
180	10800	0.01	1
185	11100	0.01	1
190	11400	0.01	1
195	11700	0.01	1
200	12000	0.01	1
205	12300	0.01	1
210	12600	0.01	1
215	12900	0.01	1
220	13200	0.01	1
225	13500	0.01	1
230	13800	0.01	1
235	14100	0.01	1
240	14400	0.01	1
245	14700	0.01	1
250	15000	0.01	1
255	15300	0.01	1
260	15600	0.01	1
265	15900	0.01	1
270	16200	0.01	1
275	16500	0.01	1
280	16800	0.01	1
285	17100	0.01	1
290	17400	0.01	1
295	17700	0.01	1
300	18000	0.01	1
3			

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5100 SOUTH 1500 WEST, SUITE 4400
 SALT LAKE CITY, UT 84146
 TEL: (801) 621-3100 www.reeveco.com


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 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

DATE	REVISIONS DESCRIPTION

Grand Haven Assisted Living 3500 West Street

WEST HAVEN CITY, WEBER COUNTY, UTAH

Notes/Legend



Project Info.

Engineer: JEREMY A. DRAPER, P.E.

Drafter: J. MEYERS

Begin Date: January 2022

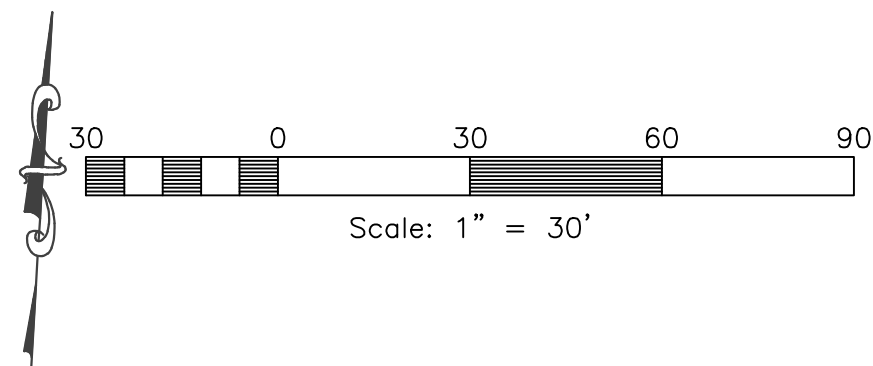
Name: GRAND HAVEN
 ASSISTED LIVING
 3500 WEST ST

Number: 7037-01

2

10

Total Sheets



Reeve & Associates, Inc.

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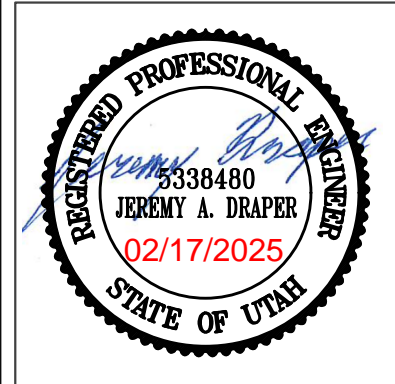
REVISIONS	DESCRIPTION
DATE	

Grand Haven Assisted Living

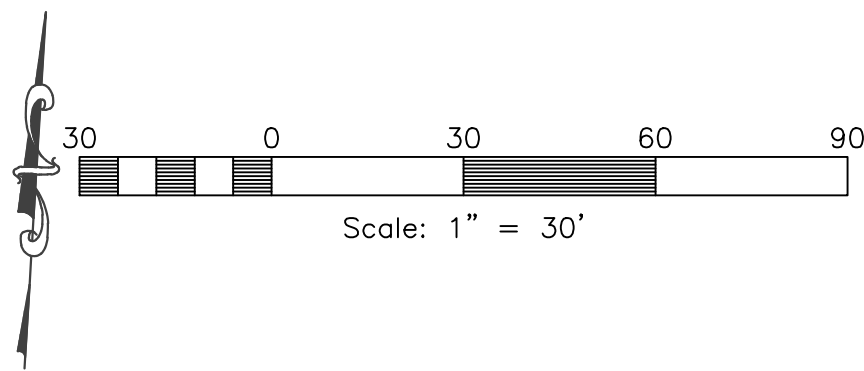
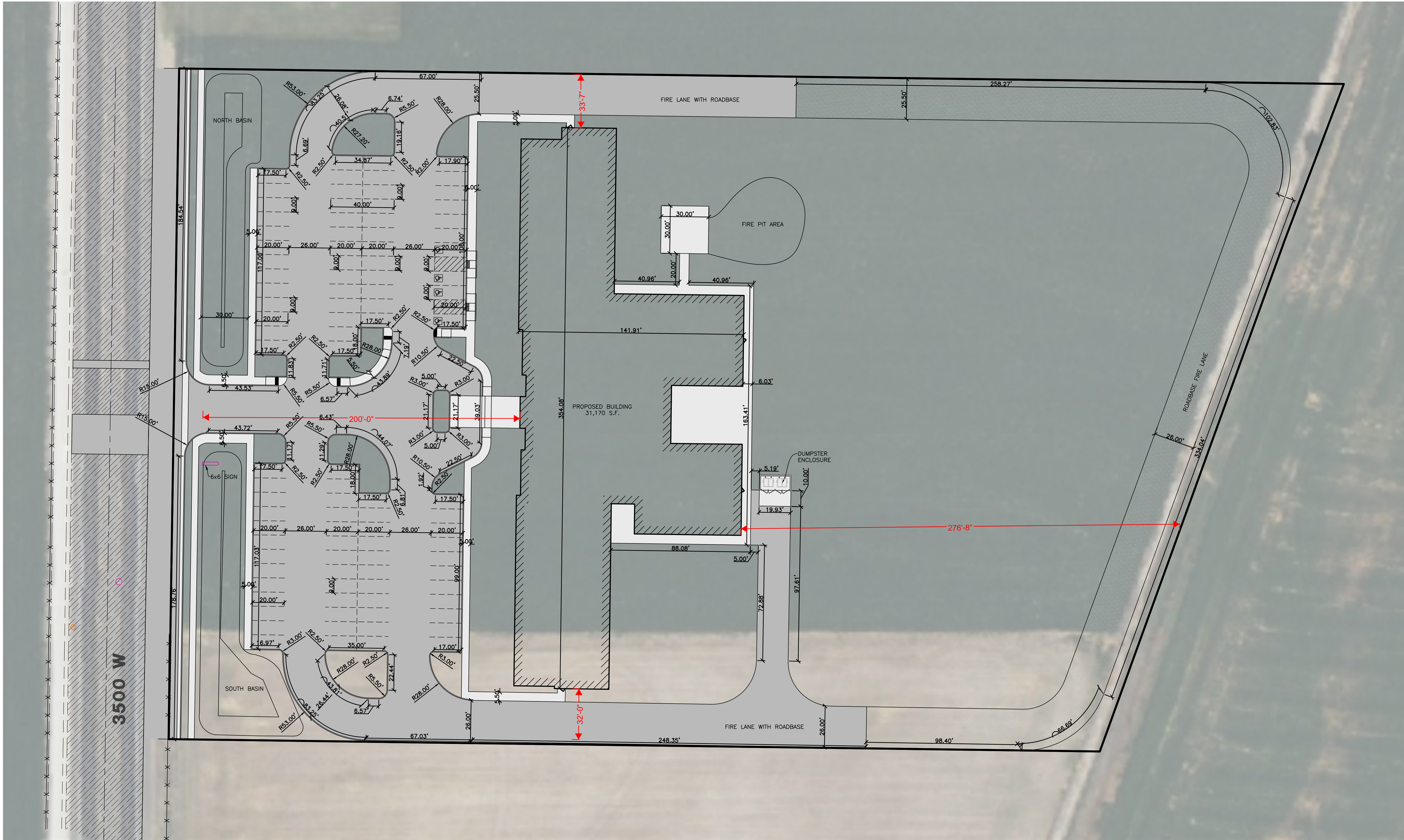
3500 West Street

WEST HAVEN CITY, WEBER COUNTY, UTAH

Existing/Demolition Plan



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: J. MEYERS
Begin Date: January 2022
Name: GRAND HAVEN ASSISTED LIVING 3500 WEST ST
Number: 7037-Q1



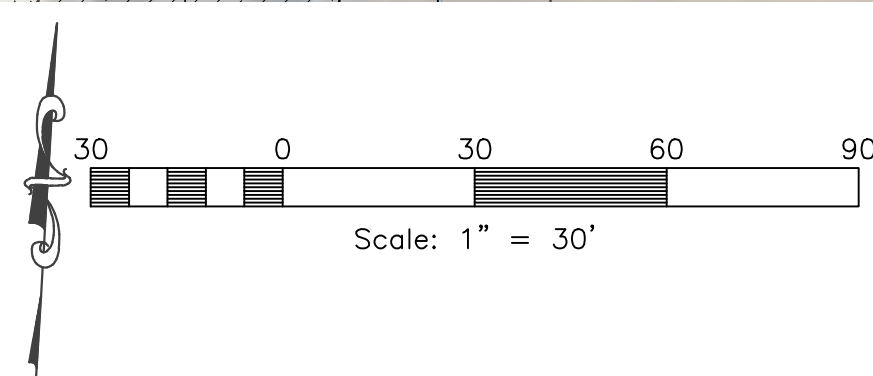
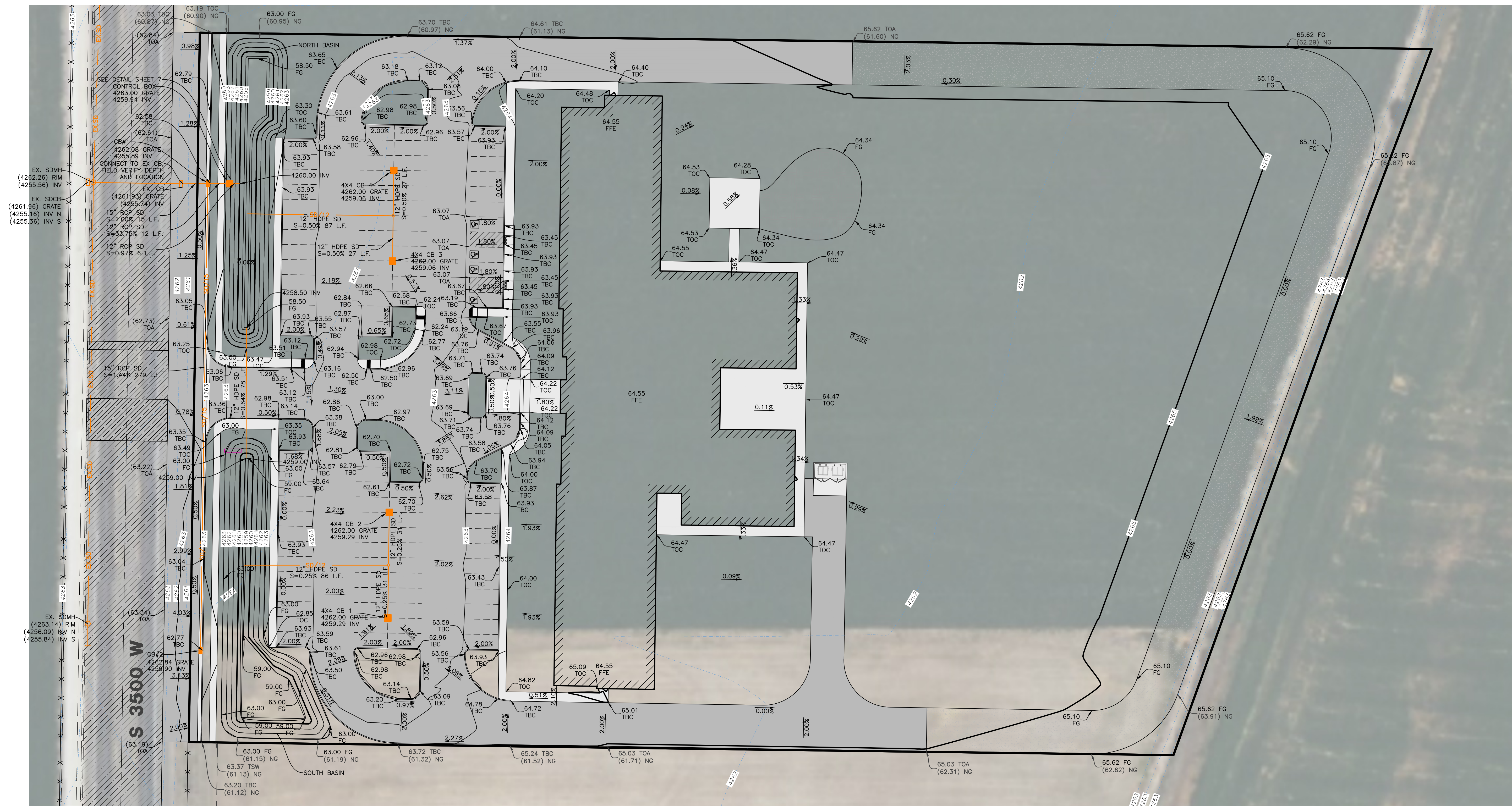
REVISIONS	DESCRIPTION
DATE	

Grand Haven Assisted Living
3500 West Street
WEST HAVEN CITY, WEBER COUNTY, UTAH

Proposed Site Plan



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: J. MEYERS
Begin Date: January 2022
Name: GRAND HAVEN ASSISTED LIVING 3500 WEST ST
Number: 7037-Q1



STORM WATER TOTALS:
 LID STORAGE REQUIRED - 3,745 CU.FT.
 TOTAL STORAGE REQUIRED - 16,529 CU.FT.
 LID STORAGE PROVIDED - 3,860.47 CU.FT.
 TOTAL STORAGE PROVIDED - 16,913.40 CU. FT

NORTH - STAGE STORAGE TABLE					
ELEV	AREA (sq. ft.)	DEPTH (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)	
4,258.50	716.39	N/A	N/A	0.00	BOTTOM
4,259.00	1,127.03	0.50	456.99	456.99	
4,260.00	2,074.08	1.00	1576.67	2033.67	LID
4,261.00	3,069.84	1.00	2555.74	4589.41	
4,262.00	4,114.41	1.00	3579.40	8168.81	HIGH WATER
4,263.00	5,460.84	1.00	4771.77	12940.57	TOP

SOUTH - STAGE STORAGE TABLE					
ELEV	AREA (sq. ft.)	DEPTH (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)	
4,259.00	1,398.85	N/A	N/A	0.00	BOTTOM
4,260.00	2,291.25	1.00	1826.80	1826.80	LID
4,261.00	3,457.21	1.00	2854.32	4681.11	
4,262.00	4,701.55	1.00	4063.47	8744.59	HIGH WATER
4,263.00	5,561.00	1.00	5125.27	13869.86	TOP



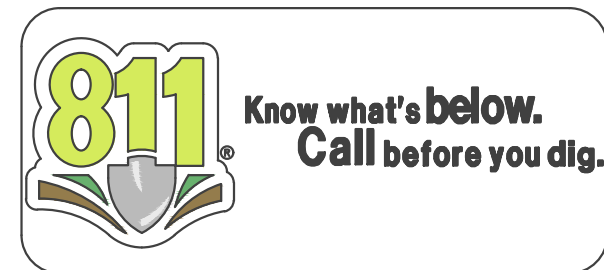
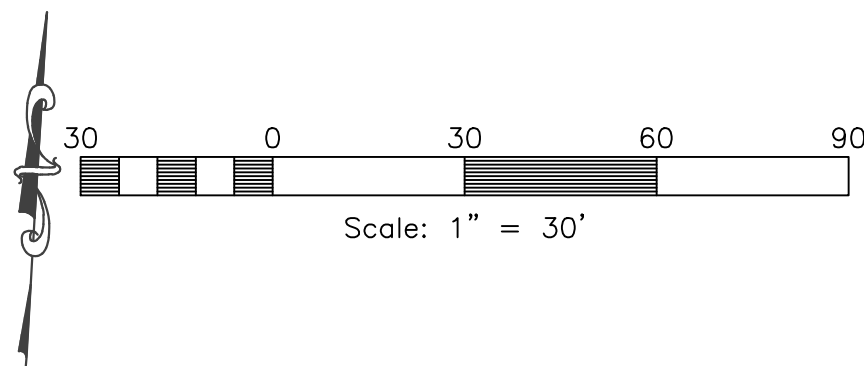
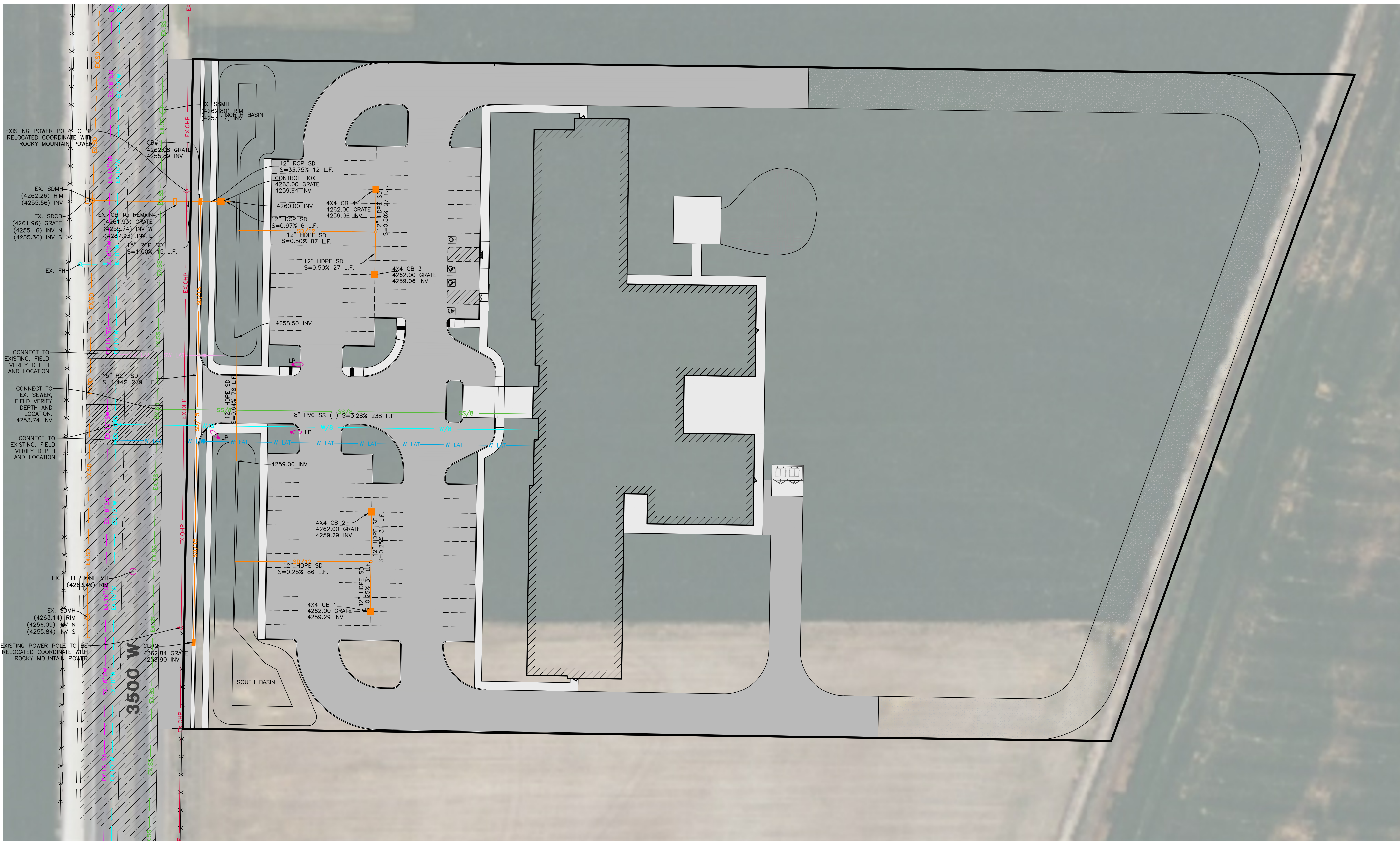
REVISIONS	DESCRIPTION
DATE	

Grand Haven Assisted Living
3500 West Street
 WEST HAVEN CITY, WEBER COUNTY, UTAH

Grading Plan



Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: J. MEYERS
 Begin Date: January 2022
 Name: GRAND HAVEN ASSISTED LIVING
 3500 WEST ST
 Number: 7037-01



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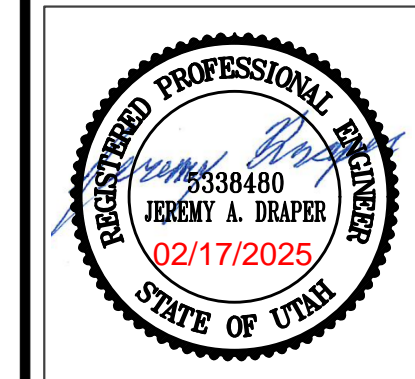
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RA

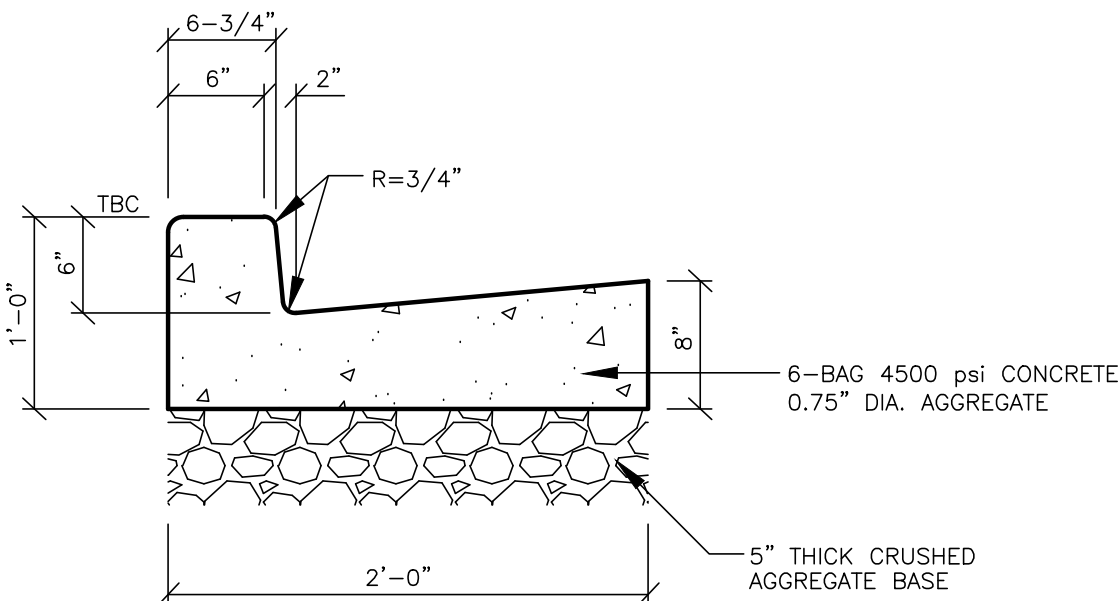
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Grand Haven Assisted Living
3500 West Street
WEST HAVEN CITY, WEBER COUNTY, UTAH

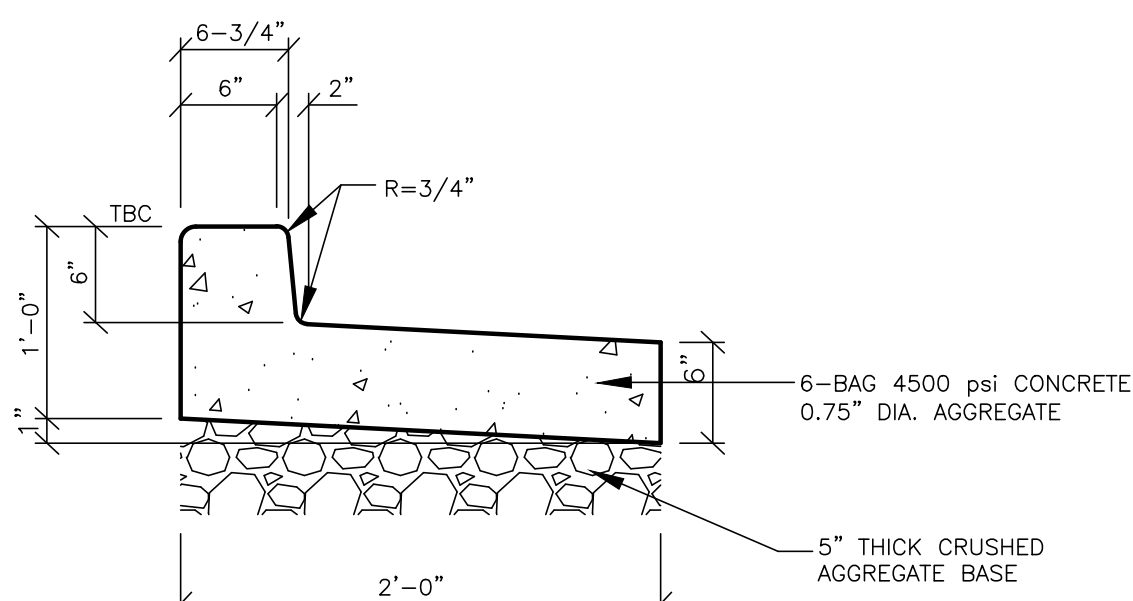
Utility Plan



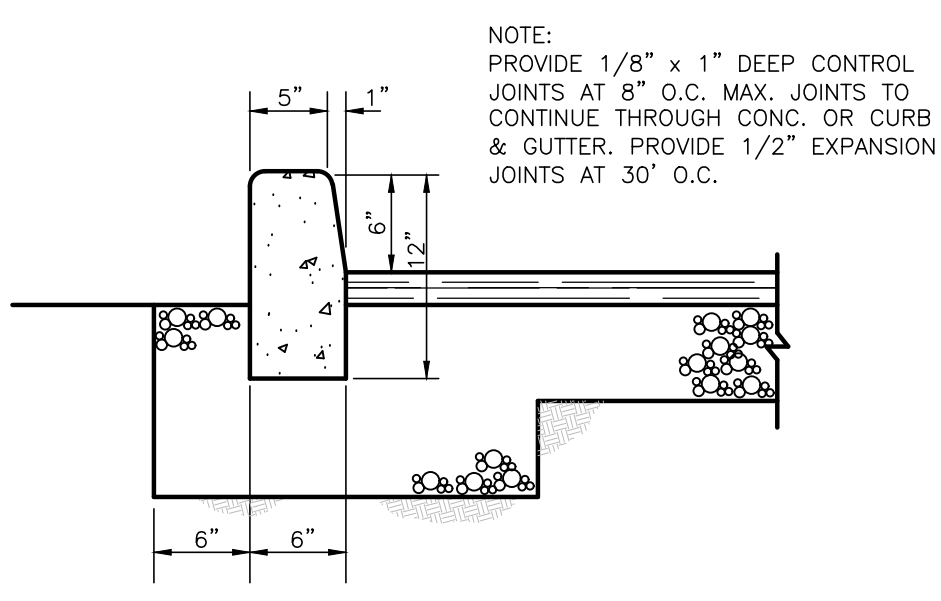
Project Info.
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Drafter: J. MEYERS
Begin Date: January 2022
Name: GRAND HAVEN ASSISTED LIVING 3500 WEST ST
Number: 7037-01



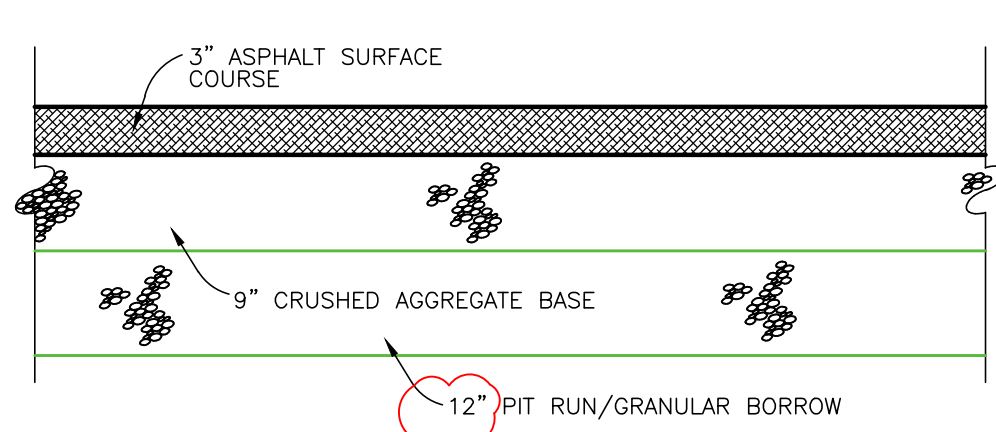
24' On-Site 'L' Type Curb & Gutter
SCALE: NONE



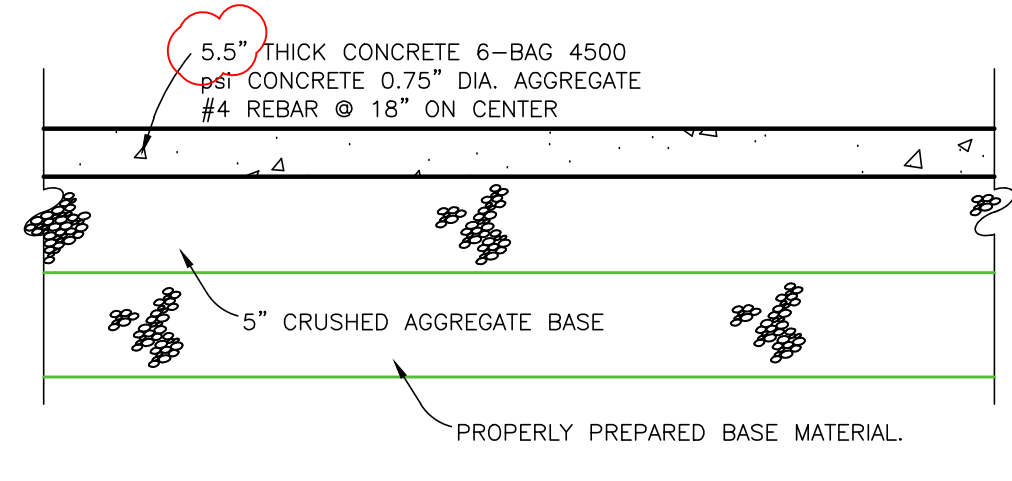
24' On-Site Outfall 'L' Curb & Gutter
SCALE: NONE



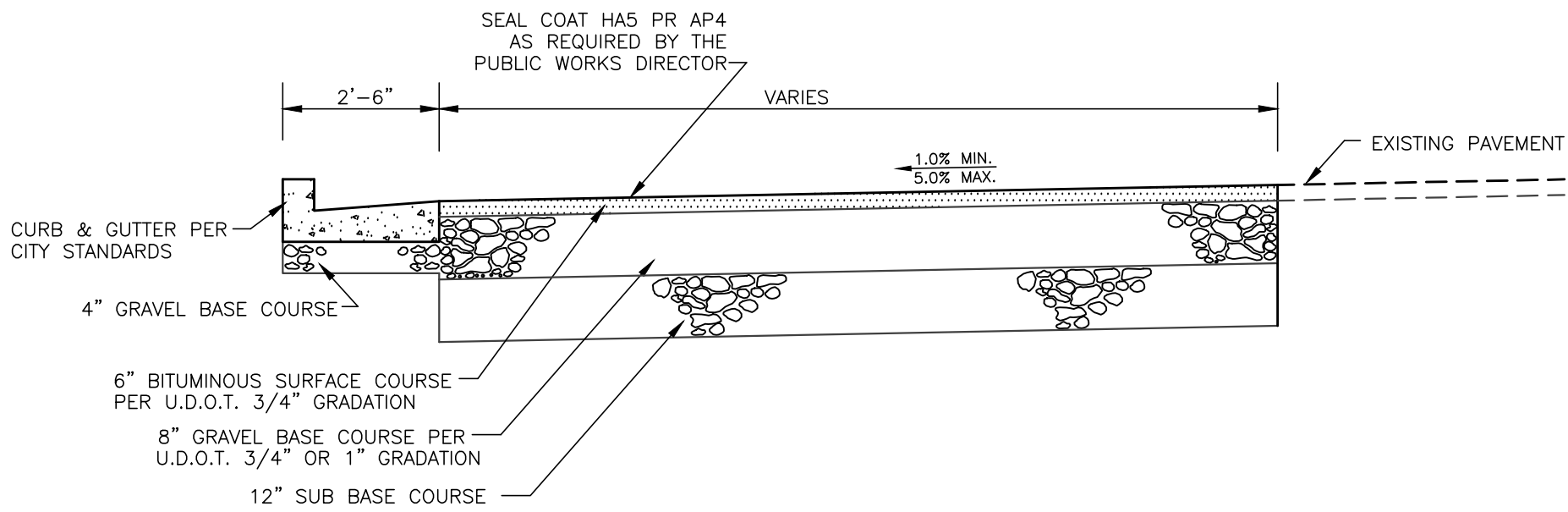
On-Site 'A' Type Curb Detail
SCALE: NONE



Typical On-Site Asphalt Paving
SCALE: NONE

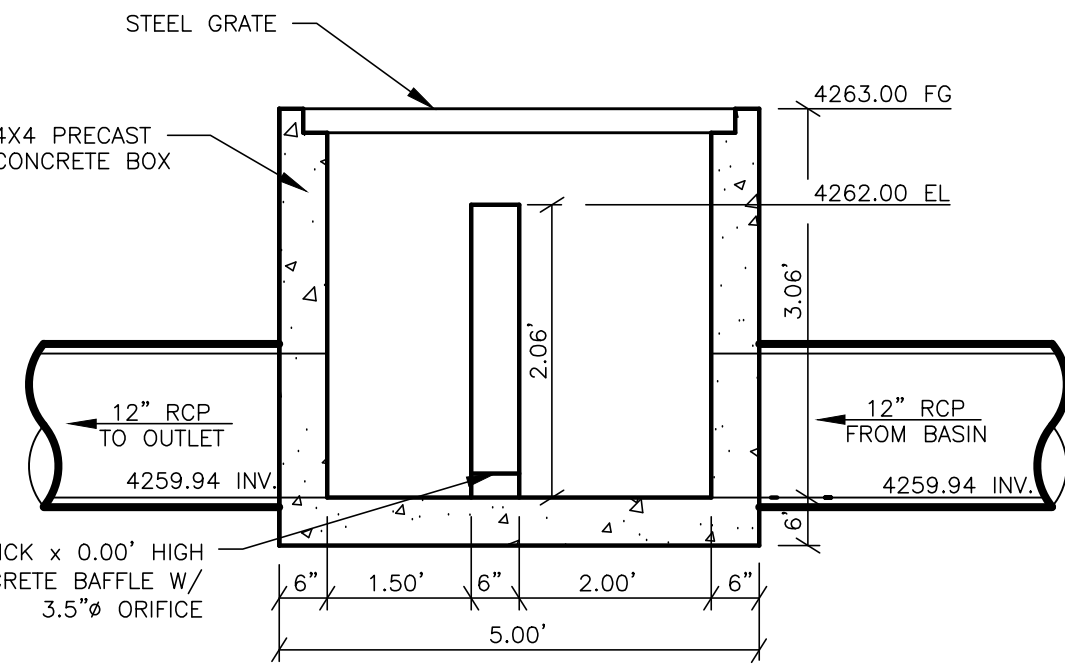


Typical On-Site Concrete Paving
SCALE: NONE

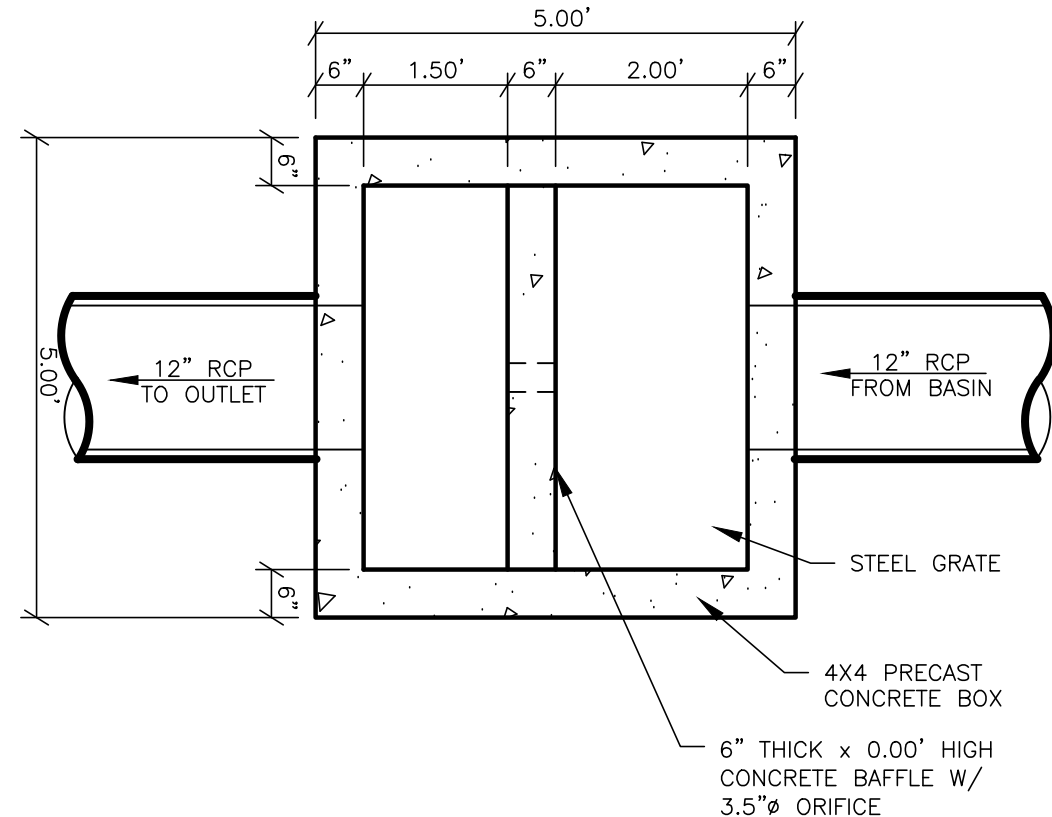


Partial Street Section (3500 West Street)
SCALE: NONE

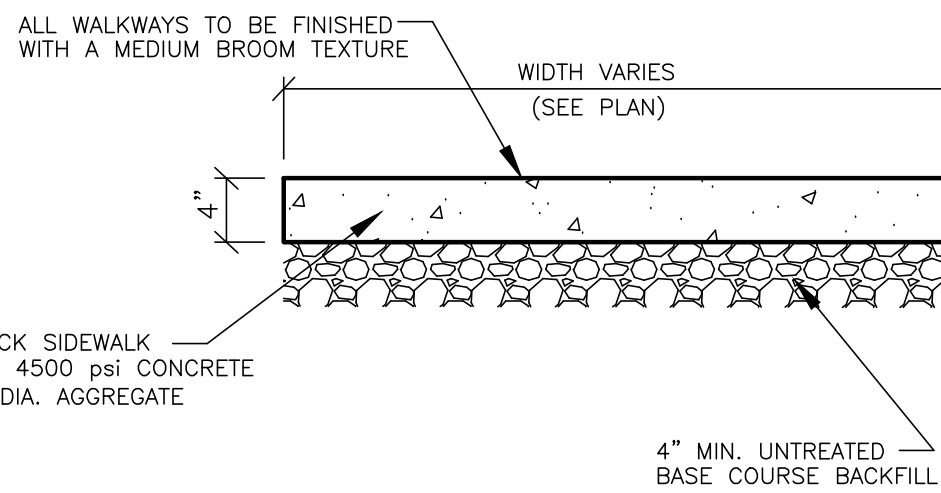
1. MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATIONS 02741
2. SAWCUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 027055 PAVEMENT CUTTING
3. COORDINATE THE 3500 WEST WIDENING IMPROVEMENTS WITH WEBER COUNTY ENGINEERING DEPT 801.399.8771
4. ASPHALT DESIGN MIX SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY PUBLIC WORKS DIRECTOR AND CITY ENGINEER FOR CITY REVIEW AND APPROVAL PRIOR TO PAVING.



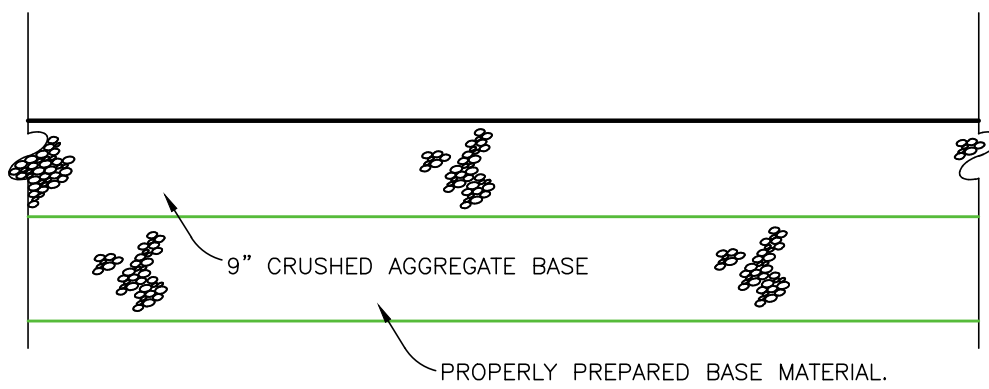
4'x4' Control Box Detail
SCALE: NONE



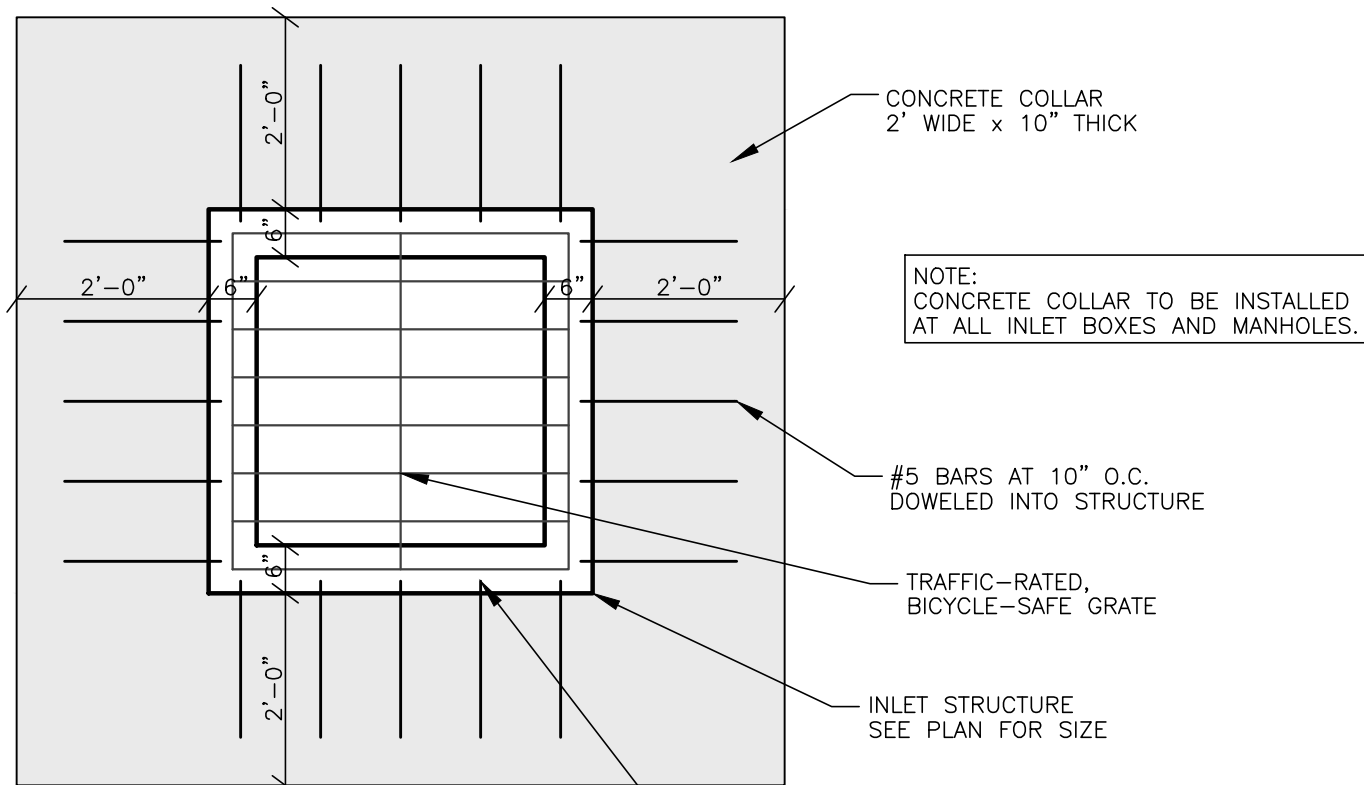
4'x4' Control Box Plan
SCALE: NONE



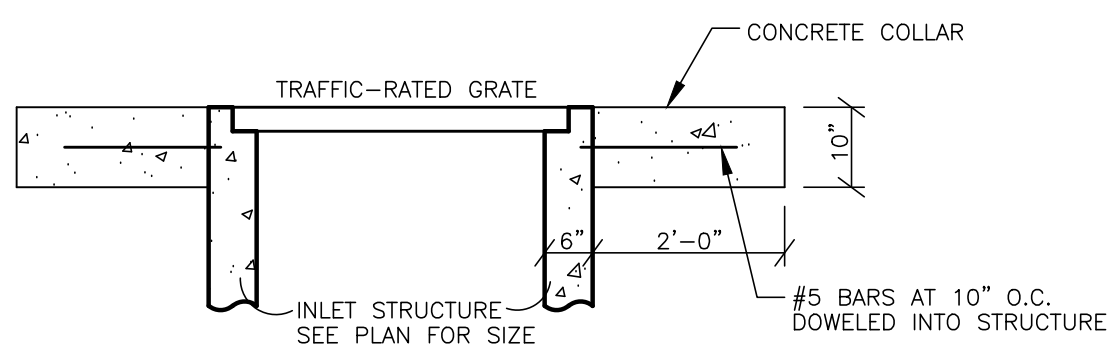
Concrete Walkway
SCALE: NONE



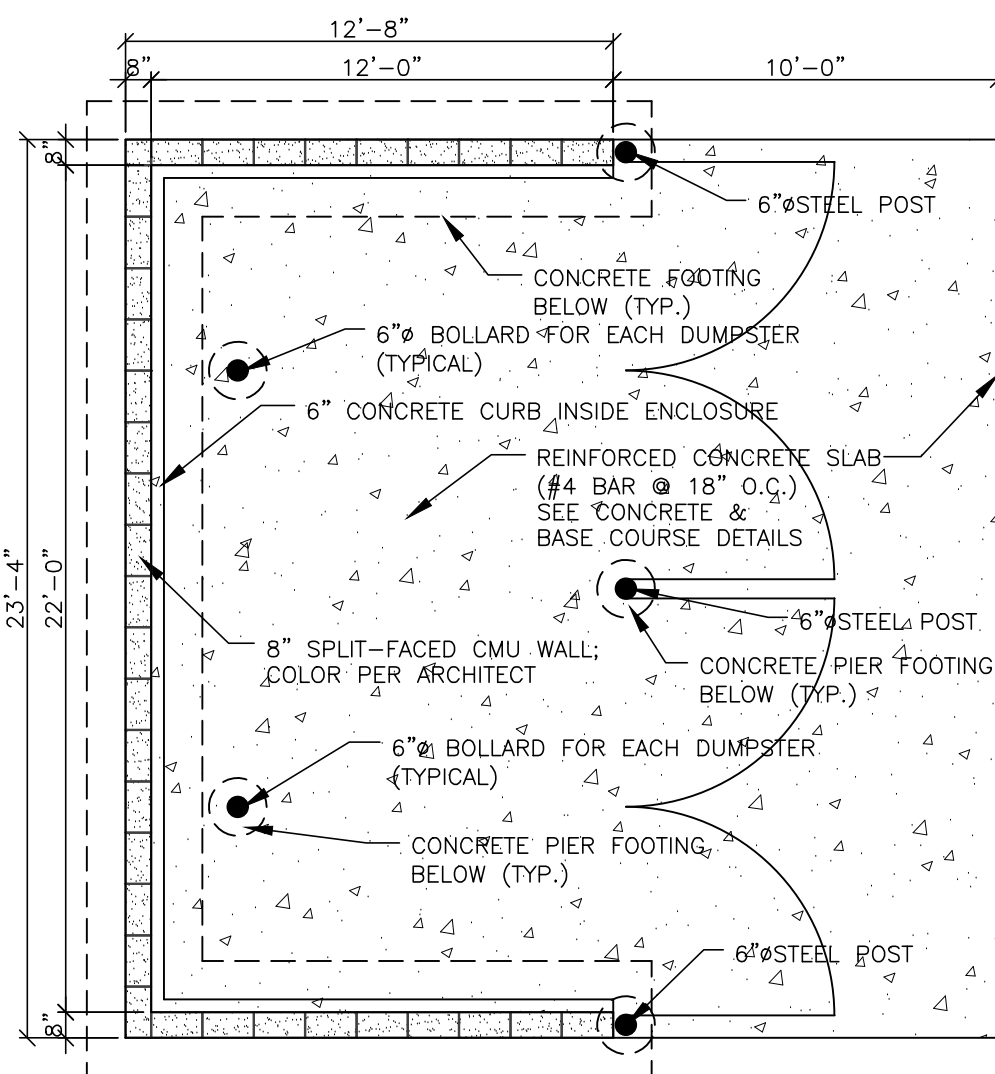
On-Site Fire Lane
SCALE: NONE



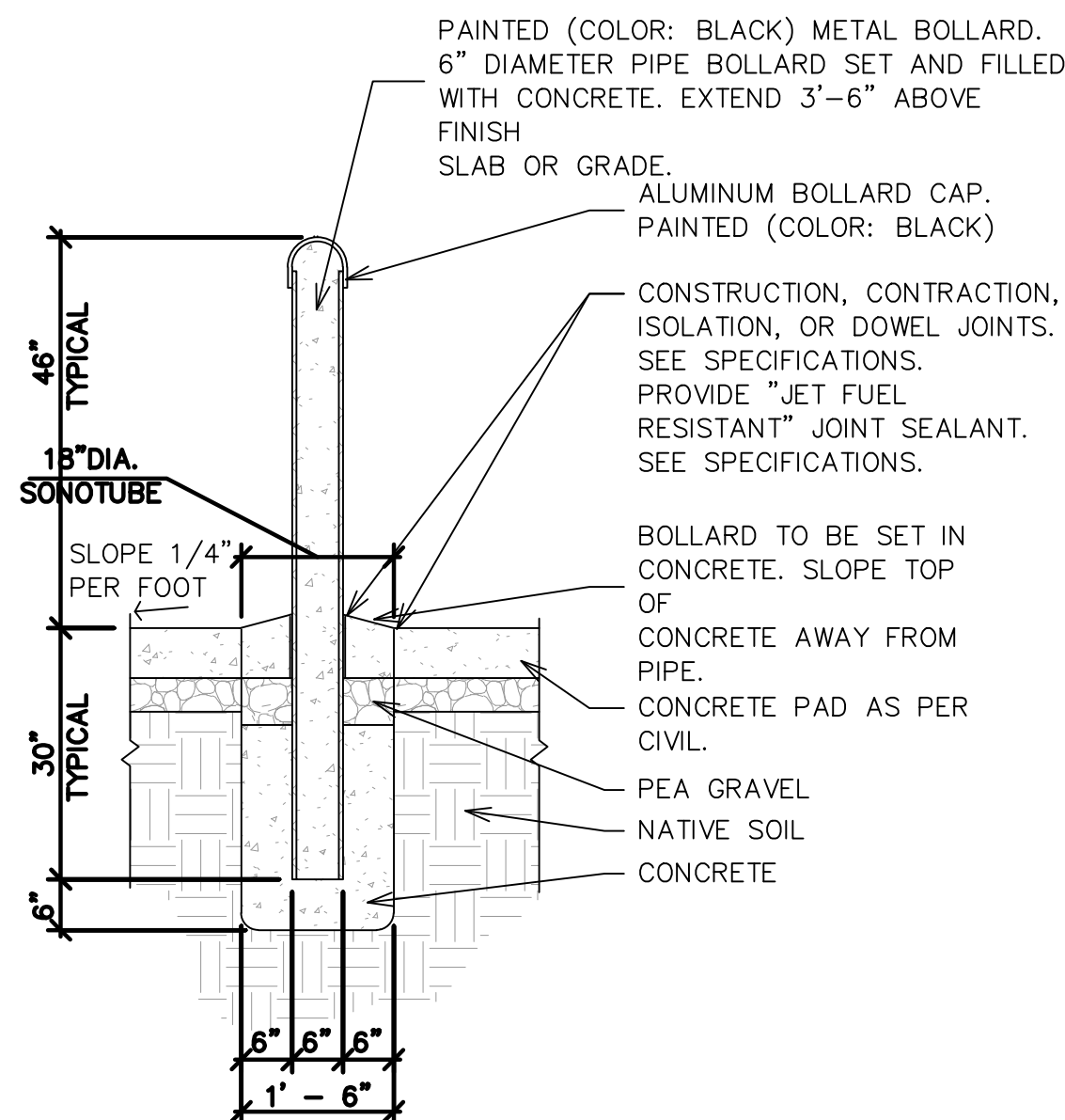
Plan



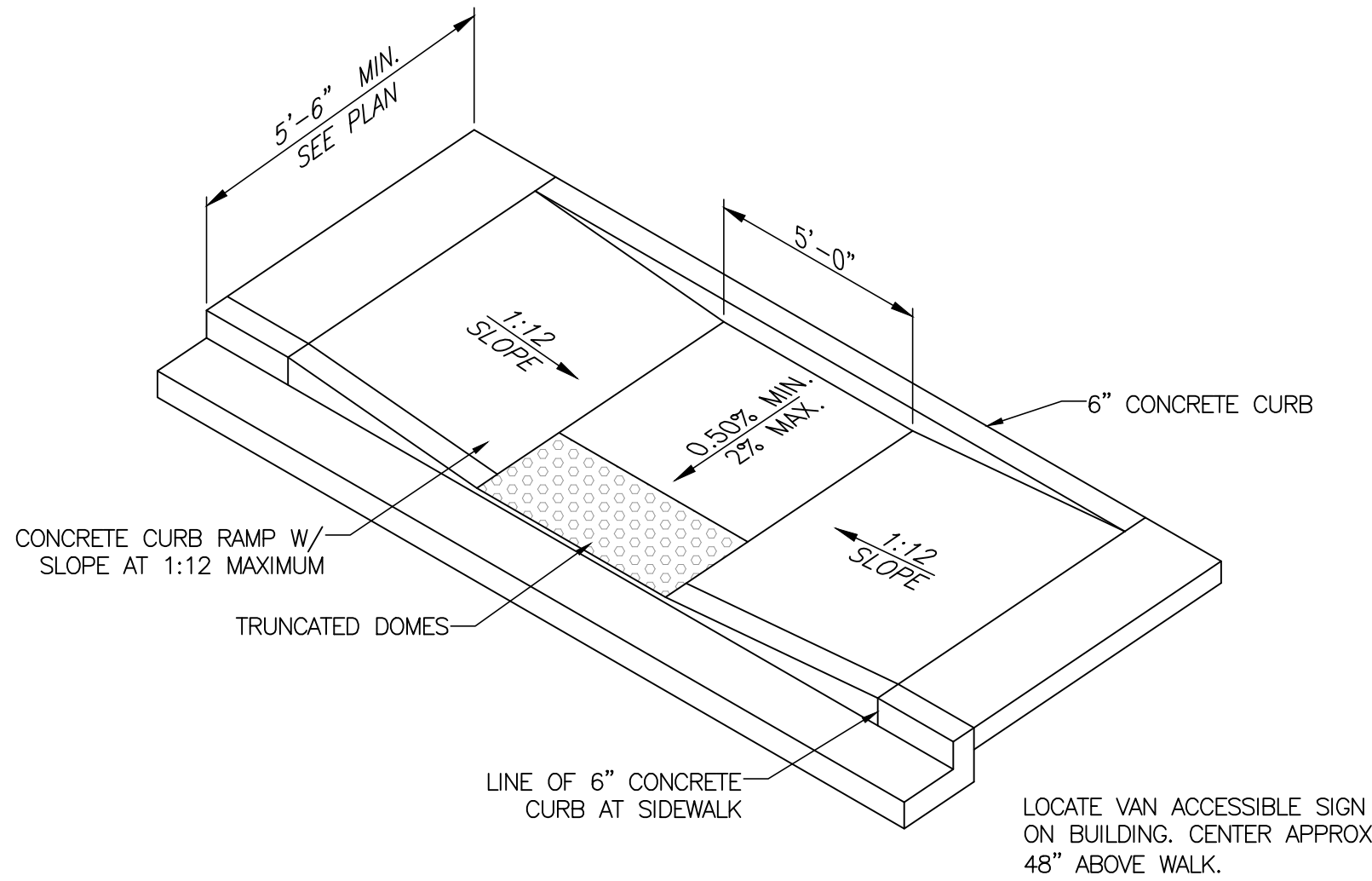
Section Concrete Collar Detail
SCALE: NONE



Trash Enclosure Plan
SCALE: NONE



Pipe Bollard Detail
SCALE: NONE



ADA Ramp Detail
SCALE: NONE

Notice:
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.



REVISIONS	DESCRIPTION
DATE	



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: J. MEYERS
Begin Date: January 2022
Name: GRAND HAVEN ASSISTED LIVING 3500 WEST ST
Number: 7037-01

Reeve & Associates, Inc. - Solutions You Can Build On

Grand Haven

3448 S 3500 W

Storm Water Pollution Prevention Plan Exhibit

WEST HAVEN CITY, WEBER COUNTY, UTAH
NOVEMBER 2024



Vicinity Map
NOT TO SCALE

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TEL: (801) 621-3100 www.reeve.co

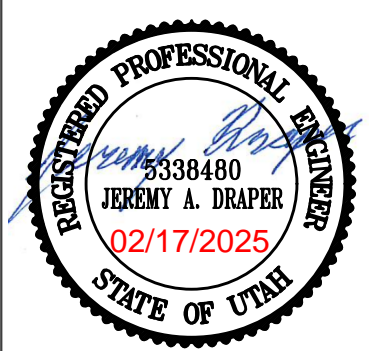
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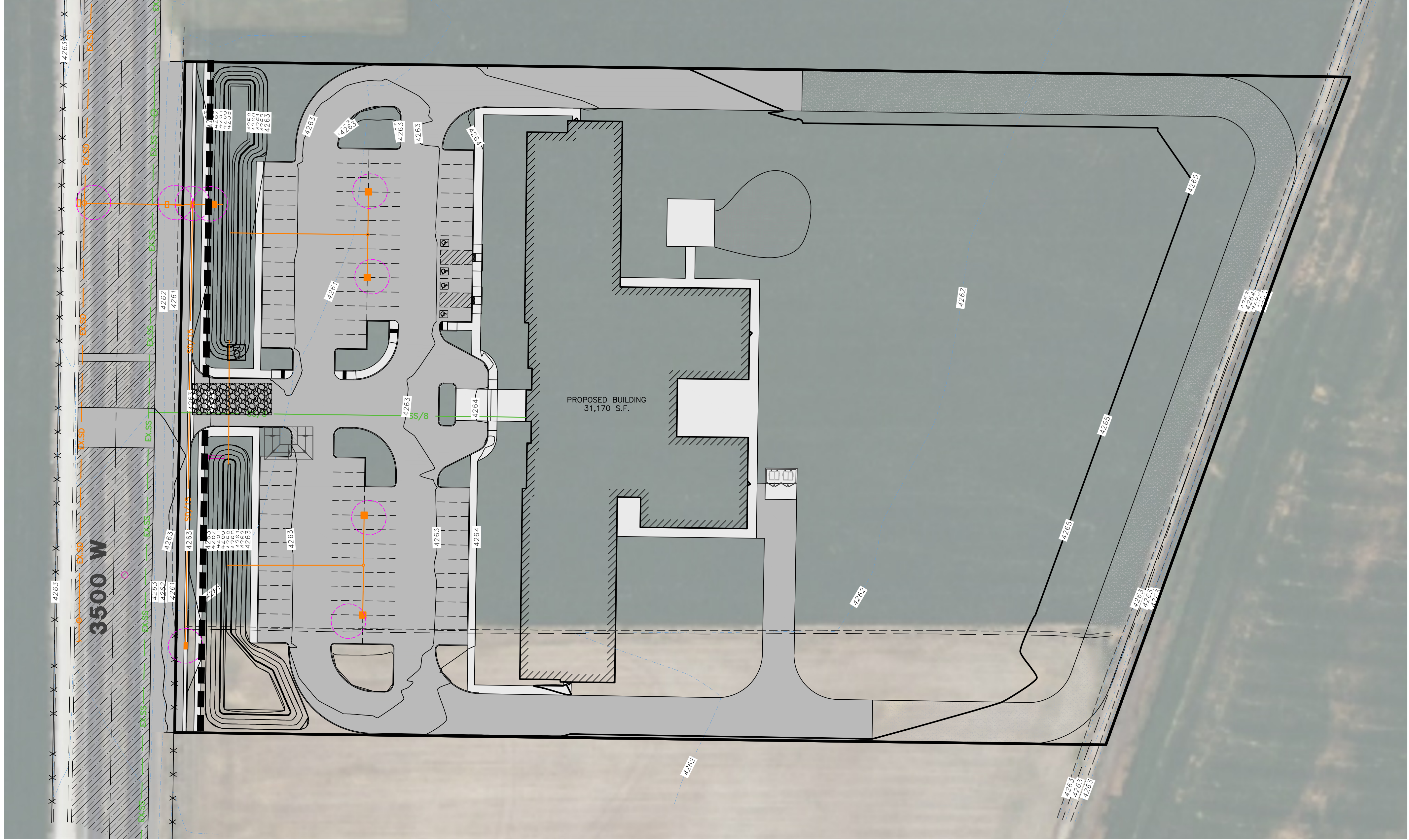
REVISIONS	DESCRIPTION
DATE	

Grand Haven Assisted Living
3500 West Street
WEST HAVEN CITY, WEBER COUNTY, UTAH

Storm Water Pollution Prevention Plan Exhibit

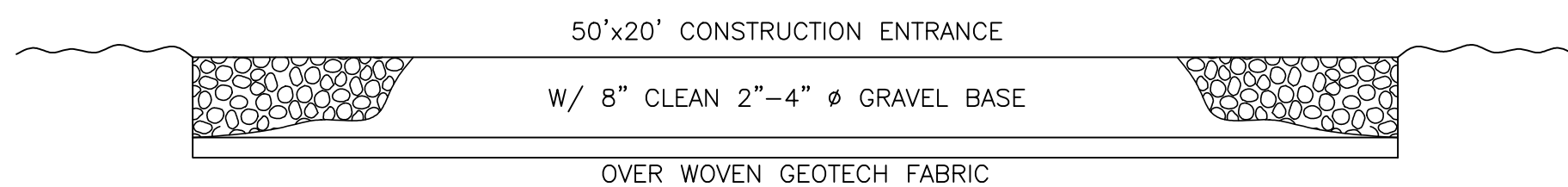


Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: J. MEYERS
Begin Date: January 2022
Name: GRAND HAVEN ASSISTED LIVING 3500 WEST ST
Number: 7037-01

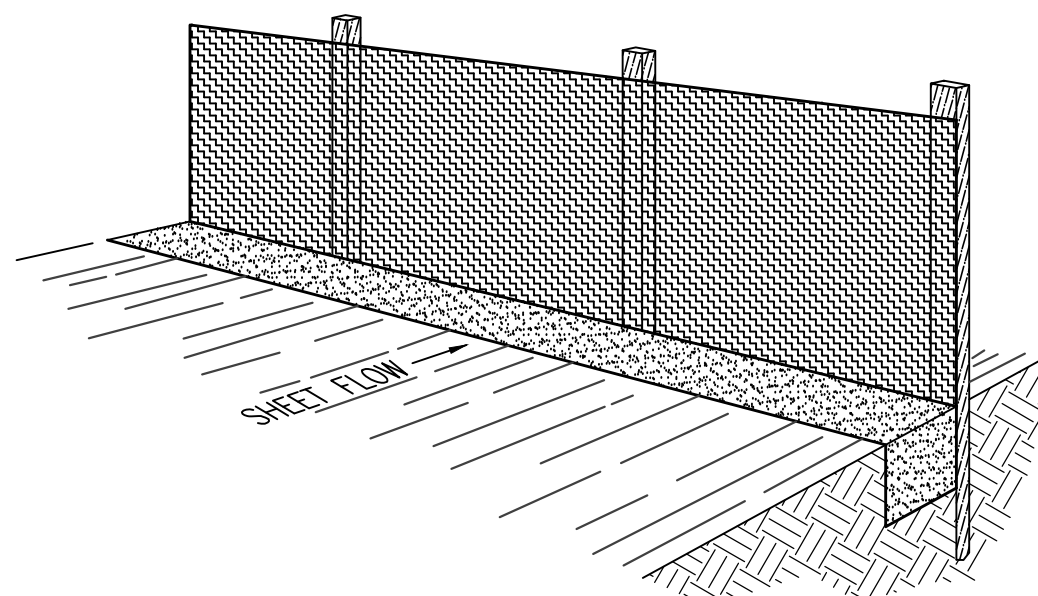


Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean; prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
 - Do not place material or debris into streams, gutters, or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris which may create a potential hazard to offsite property shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTRC00000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Cross Section 50' x 20' Construction Entrance



Perspective View

Figure 2

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

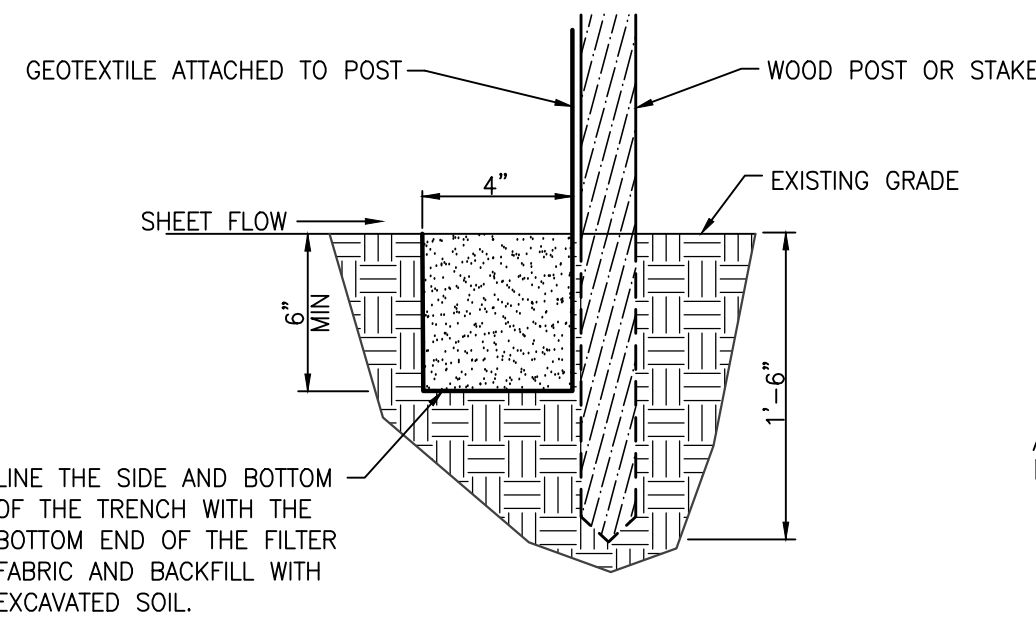
Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Unroll the silt fence, positioning the post against the downstream wall of the trench.
- Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- Buy the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing



Section

should generally be less than three (3) times the height of the fence.

- If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
- Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
- The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION

- Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
- When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL

- Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

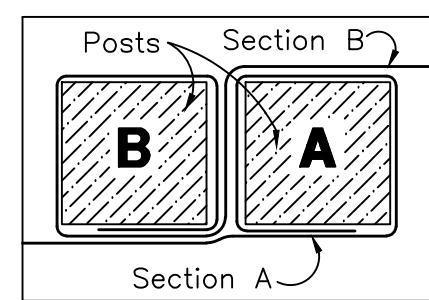
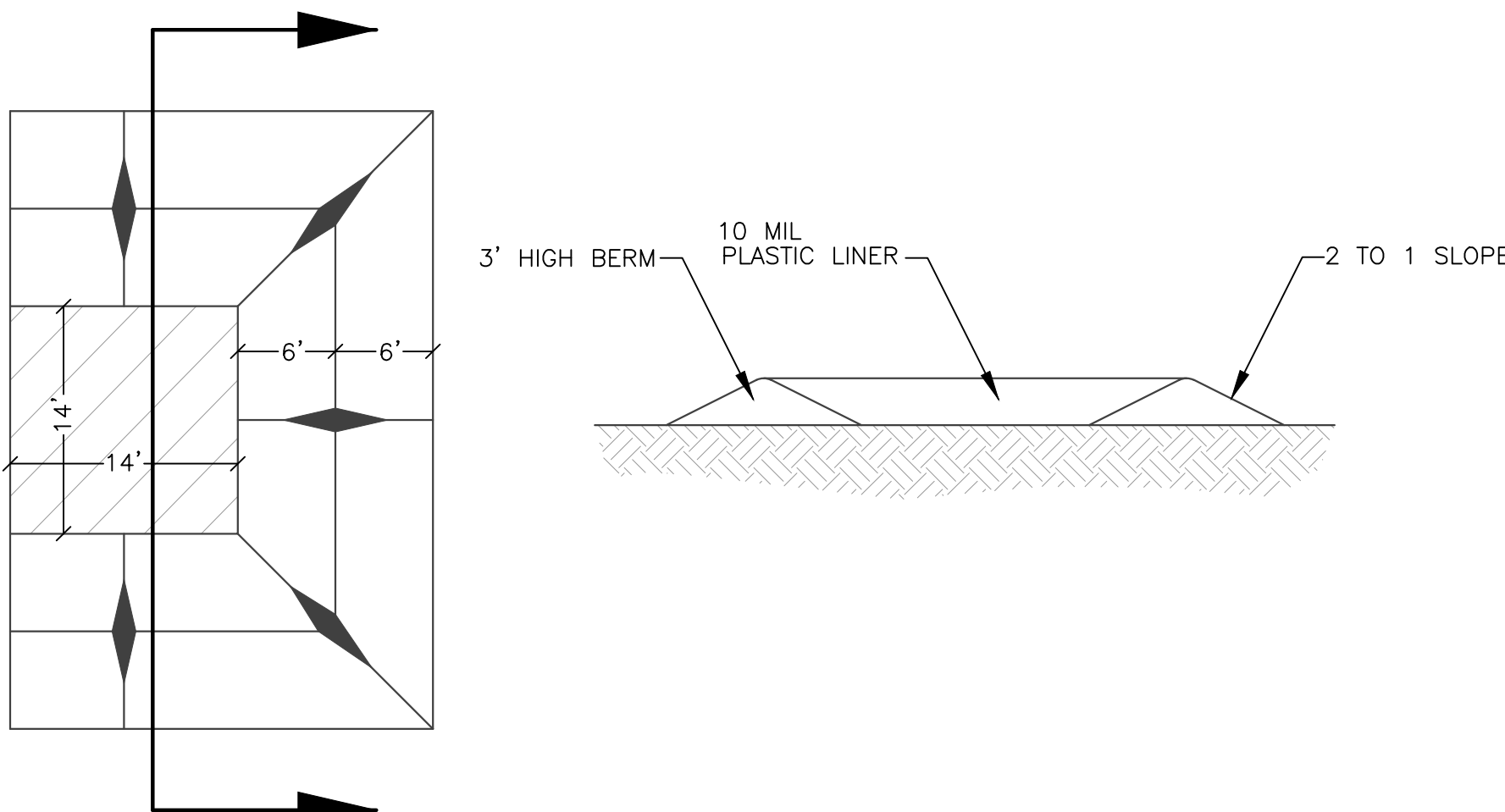


Figure 1:
Top View of
Roll-to-Roll Connection

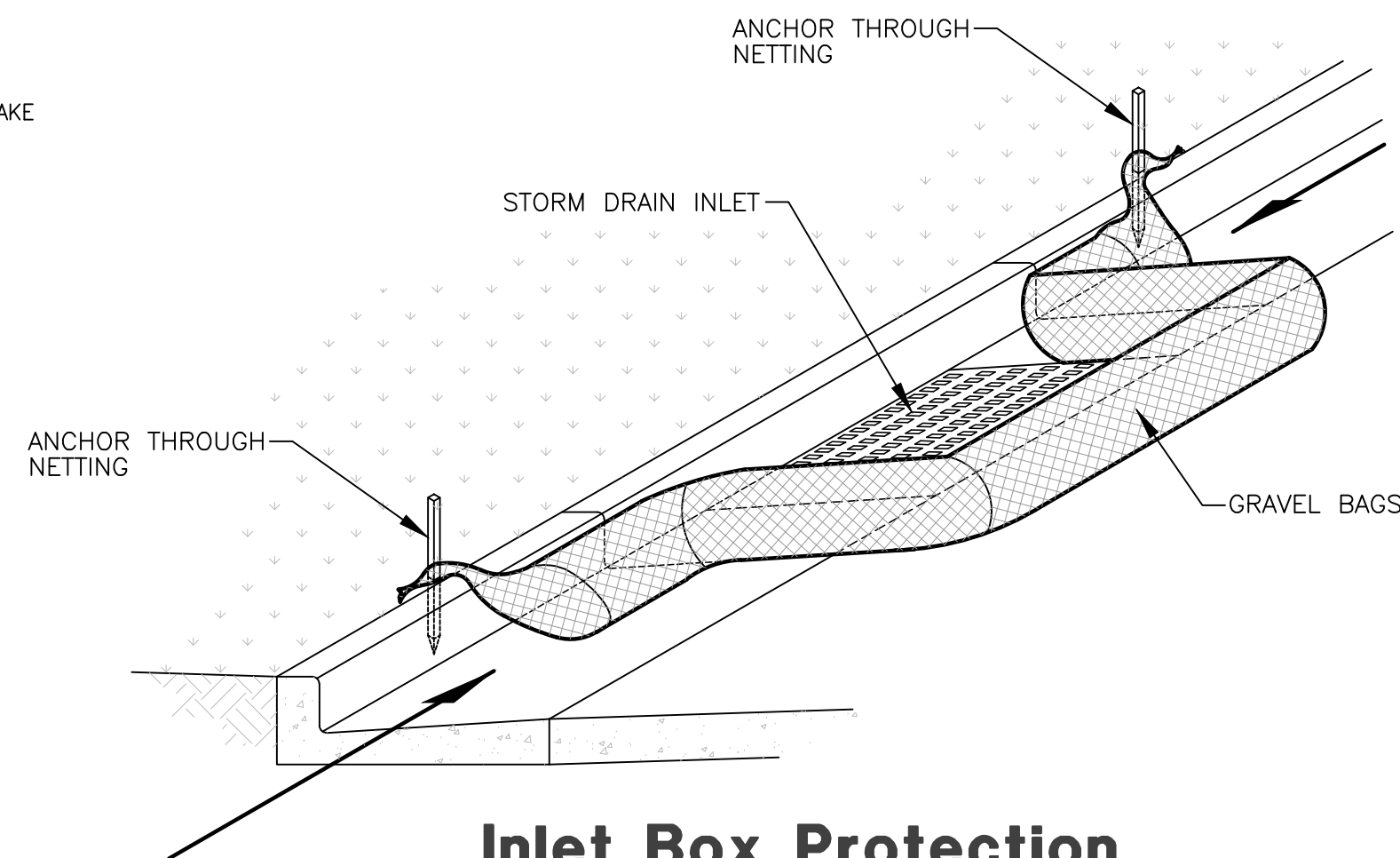
Silt Fence Detail

SCALE: NONE

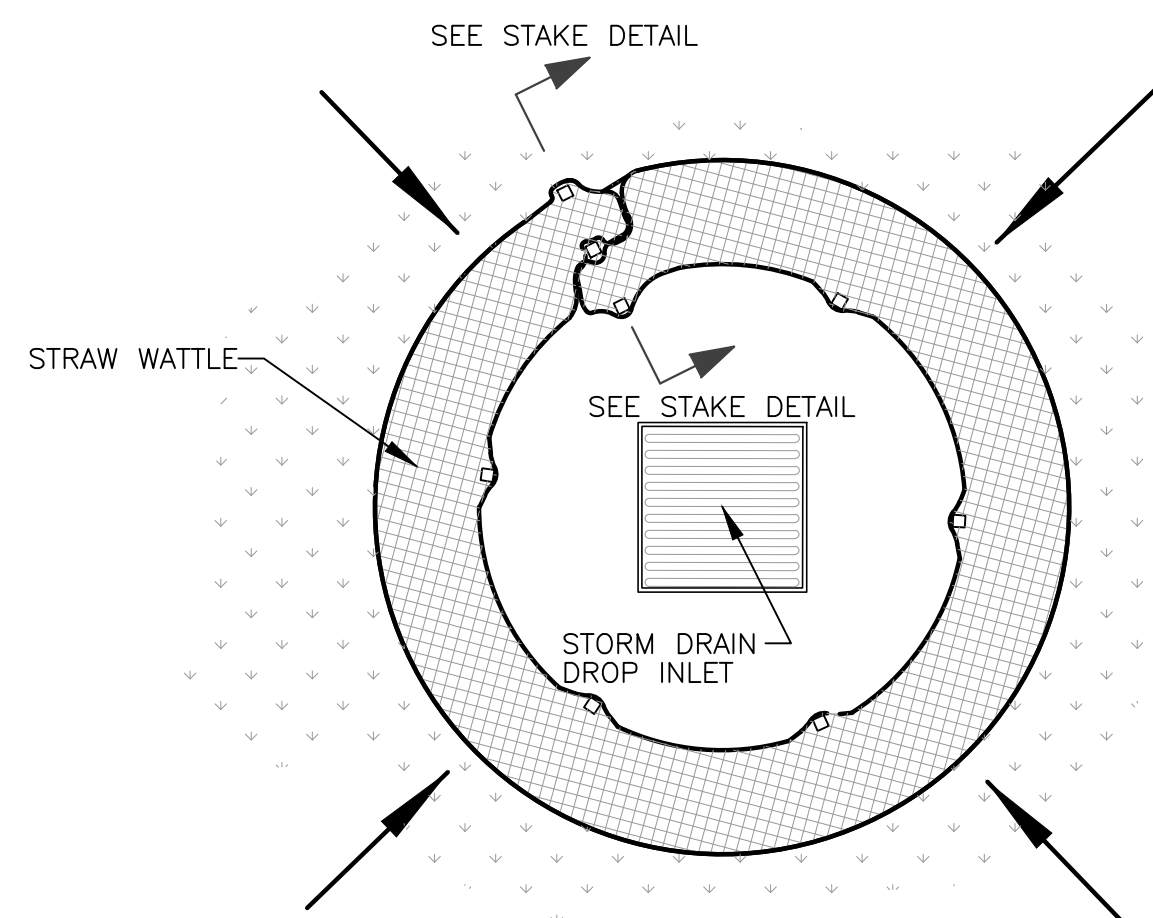


**Concrete Washout Area
w/ 10 mil Plastic Liner**

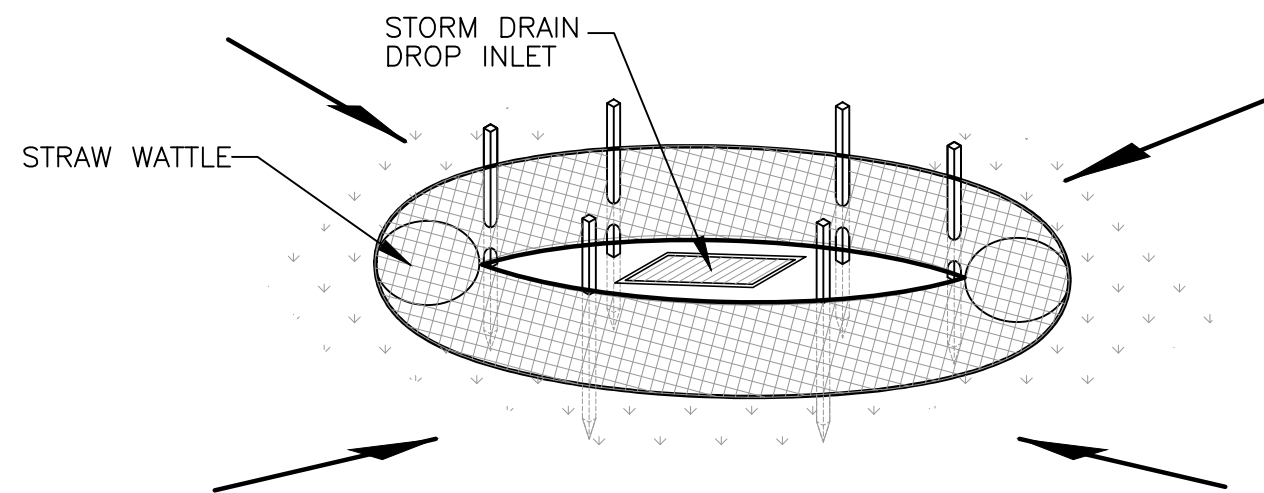
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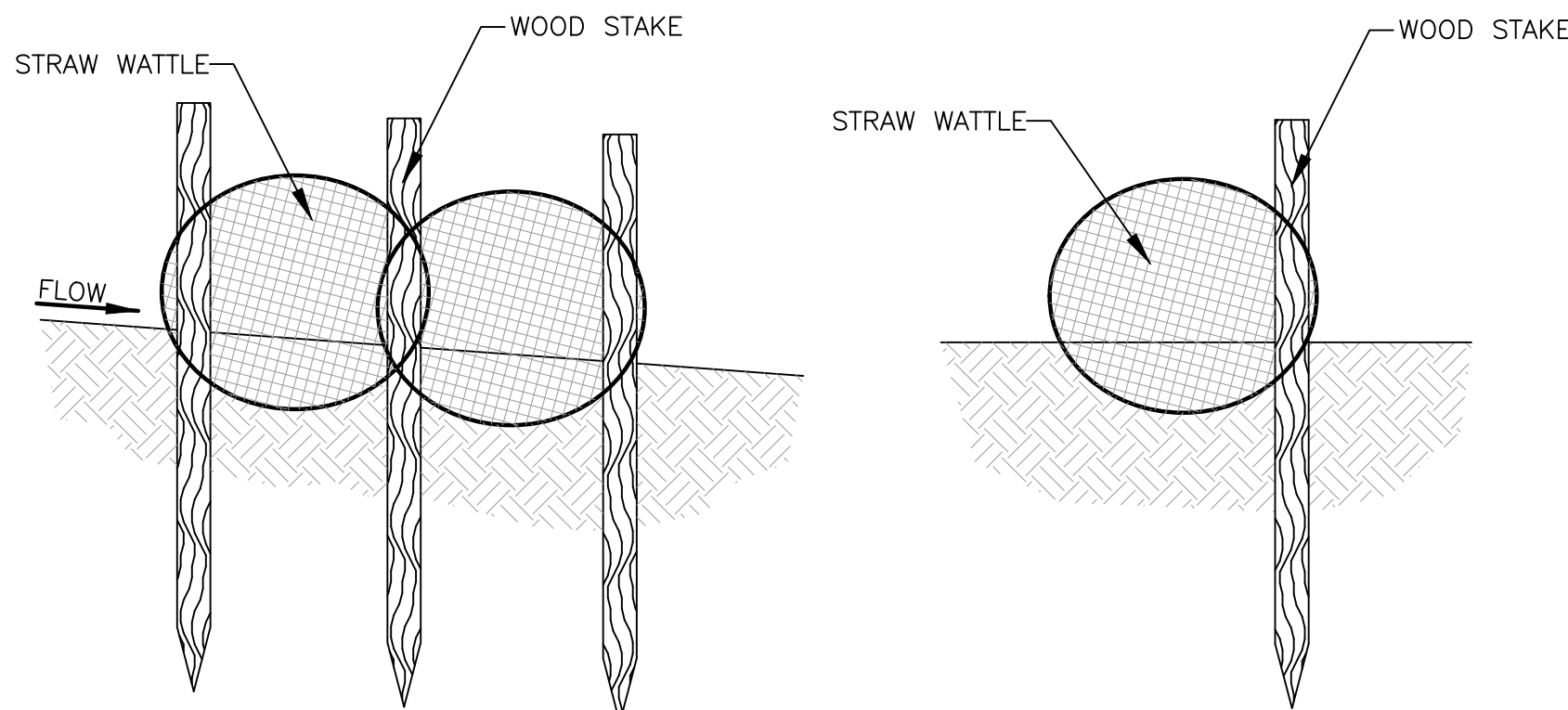
Inlet Box Protection



Plan View



Drop Inlet Protection



Stake Detail

REVISIONS	DESCRIPTION
DATE	





PLANT TABLE

Quantity	Symbol	Scientific Name	Common Name	Size
2		Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2" cal.
8		Gleditsia triacanthos 'Imperial'	Imperial Honey Locust	2" cal.
8		Picea glauca 'Pendula'	Weeping White Spruce	6" Ht
12		Pinus nigra	Austrian Pine	6" Ht
9		Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	2" cal.
4		Prunus virginiana 'Canada Red'	Canada Red Chokecherry	2" cal.
6		Zelkova serrata 'Village Green'	Village Green Zelkova	2" cal.

Quantity	Symbol	Scientific Name	Common Name	Size
12		Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne	5 gal.
30		Euonymus alatus 'Compacta'	Dwarf Burning Bush	5 gal.
35		Juniperus 'Buffalo'	Buffalo Juniper	5 gal.
10		Mahonia aquifolium 'Compactum'	Compact Oregon Grape	5 gal.
20		Prunus x cistena 'UCONNP001'	Darkstar Purple Sand Cherry	5 gal.
6		Ribes Alpinum 'Green Mound'	Green Mound Alpine Currant	5 gal.
50		Rhus aromatica 'Gra-Low'	Gra-Low Sumac	5 gal.
14		Spiraea bumalda 'Gold Mound'	Gold Mound Spirea	5 gal.
53		Symphoricarpos alba	Common Snowberry	5 gal.
62		Viburnum opulus nanum	Dwarf European Cranberry	5 gal.

Quantity	Symbol	Scientific Name	Common Name	Size
18		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.

Quantity	Symbol	Scientific Name	Common Name	Size
162		Bergenia cordifolia "Rose"	Rose Bergenia	1 gal.
63		Campanula rotundifolia 'Olympica'	Olympica Bellflower	1 gal.
27		Coreopsis grandiflora	Coreopsis/Tickseed	1 gal.
123		Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.
104		Lavandula angustifolia 'Munstead'	Munstead Lavender	1 gal.
38		Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.

Symbol	Description	Type
	Turf Grass - Sod	Sod
	Kentucky Bluegrass Mix - 3 Species Minimum	
	Wood Mulch - Medium Chunk	1" Diameter
	Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	3" Depth
	Rock Mulch	2-4" Dia.
	Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	3" Depth
	Seed Mix - Non-Irrigated Seed Mix*	Hydroseed
	Concrete Mow Strip	6"x6"

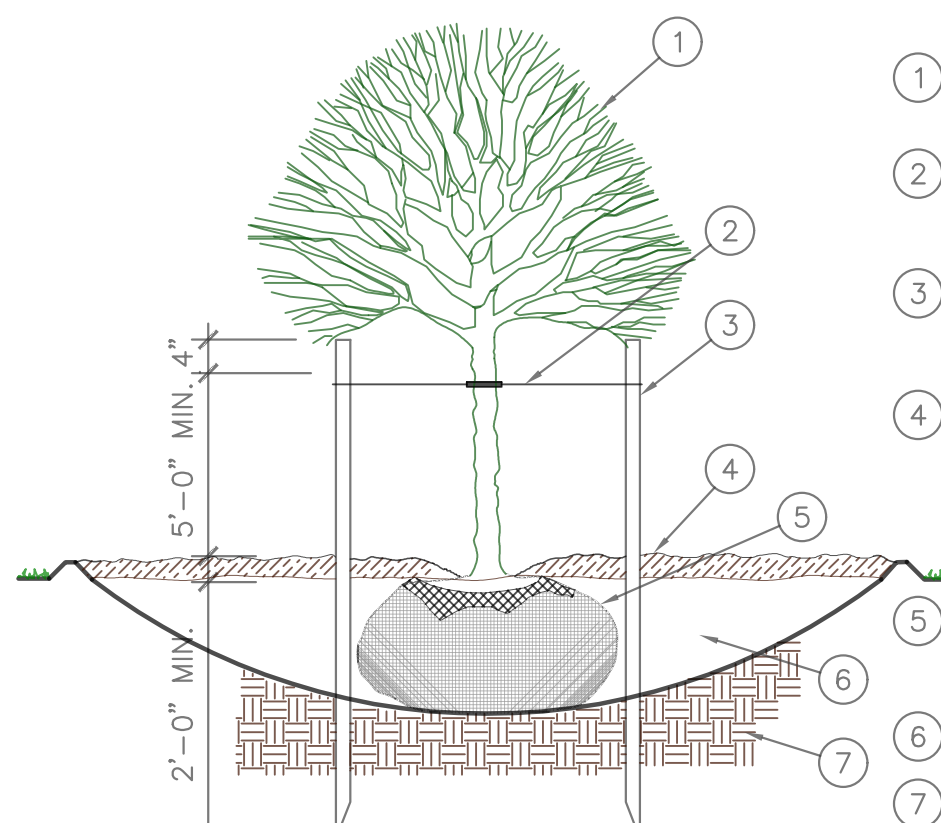
Type	Botanical Name	Common Name	% by weight
Grass	Bromus marginatus	Mountain Brome	30
Grass	Elymus trachycaulus	Slender Wheatgrass	25
Grass	Poa secunda Sandbergii	Sandberg Bluegrass	5
Grass	Poa secunda Ampila	Big Bluegrass	5
Grass	Festuca ovina	Sheep Fescue	5
Grass	Pascopyrum smithii	Western Wheatgrass	20
Grass	Pseudoroegneria spicata Inermis	Bluebunch Wheatgrass	10

Hydroseed at 25 lbs per Acre	
CALCULATIONS:	
Landscape Area	117,628 square feet
Lawn Area Allowed	15%
Lawn Area Provided	15%

Shrub Beds	
Vegetation Required	50%
Vegetation Provided	50%

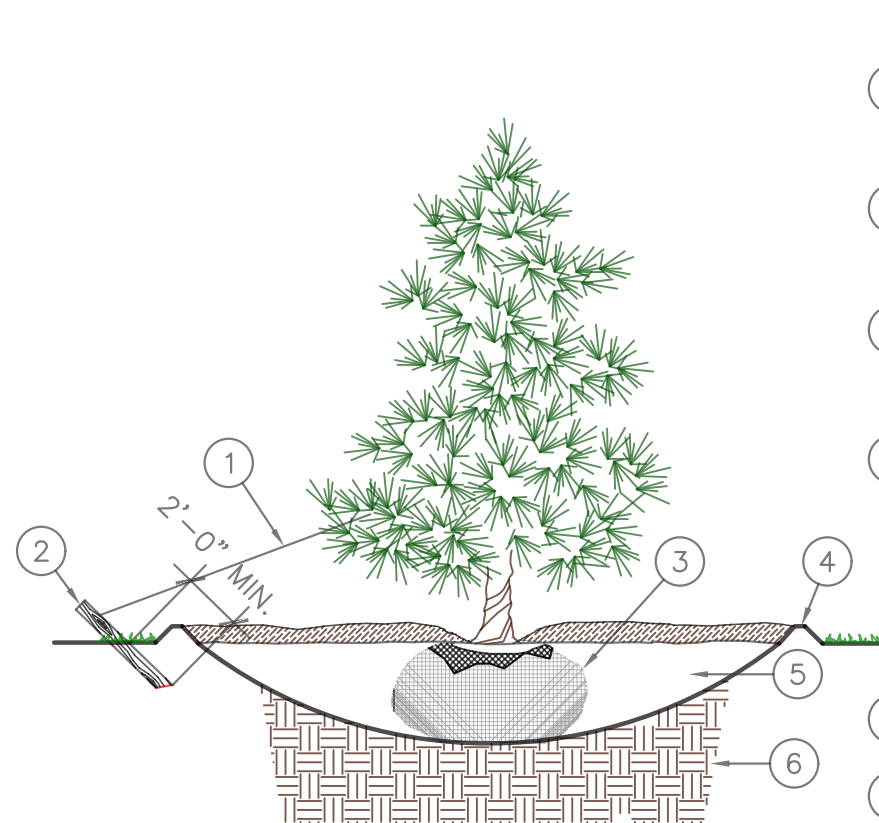
PLANTING NOTES

- This planting plan is diagrammatic and plant locations are approximate. Contractor to verify all quantities and do their own takeoffs.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3" minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
- The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



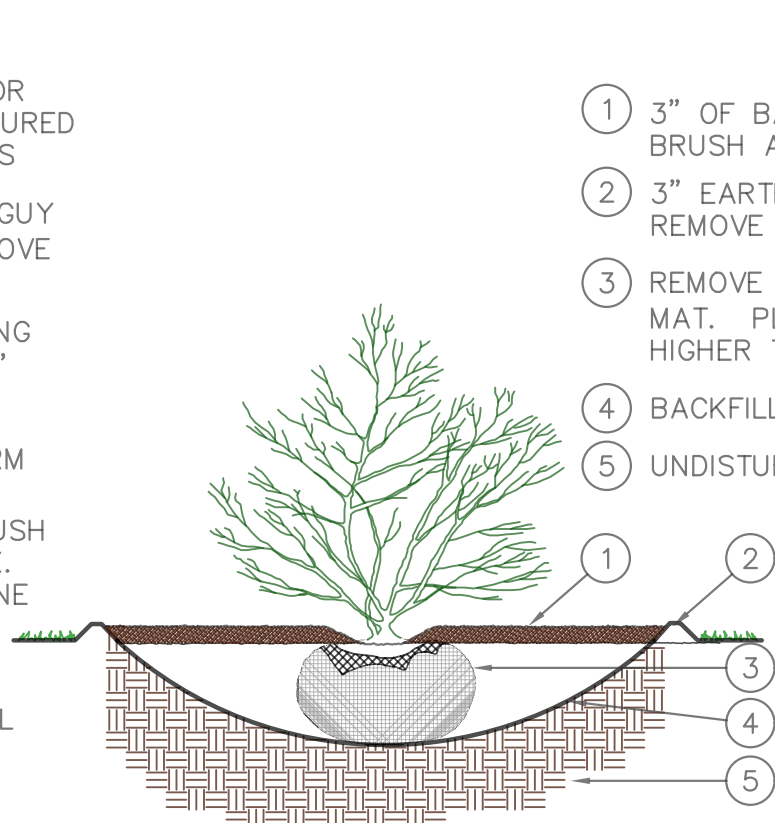
NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

DECIDUOUS TREE PLANTING



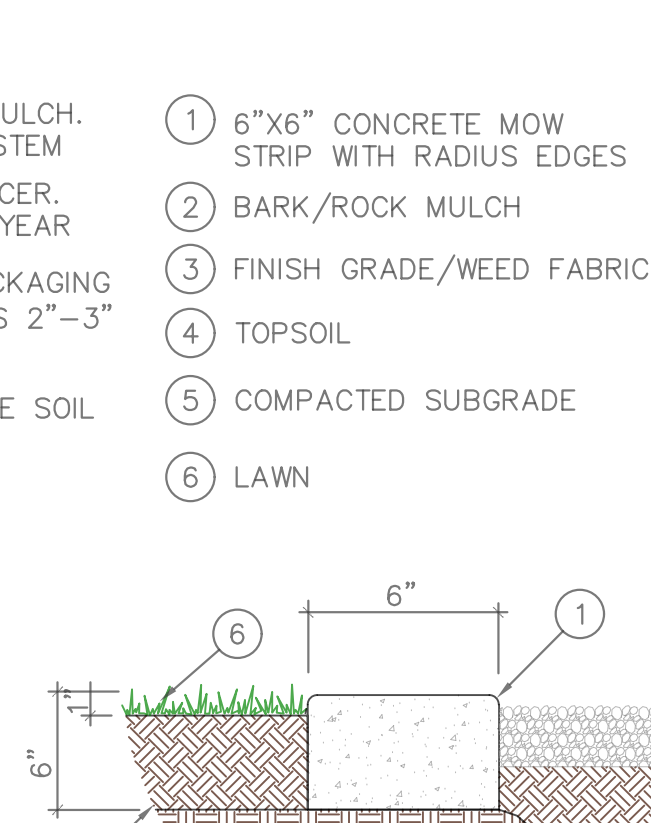
NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

CONIFEROUS TREE PLANTING



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

SHRUB PLANTING



CONCRETE MOW STRIP

GRAND HAVEN ASSISTED LIVING

WEST HAVEN, UTAH



GRAND HAVEN ASSISTED LIVING

REVISIONS:
ISSUE DATE:
MARCH, 2025
PROJECT NUMBER
00000

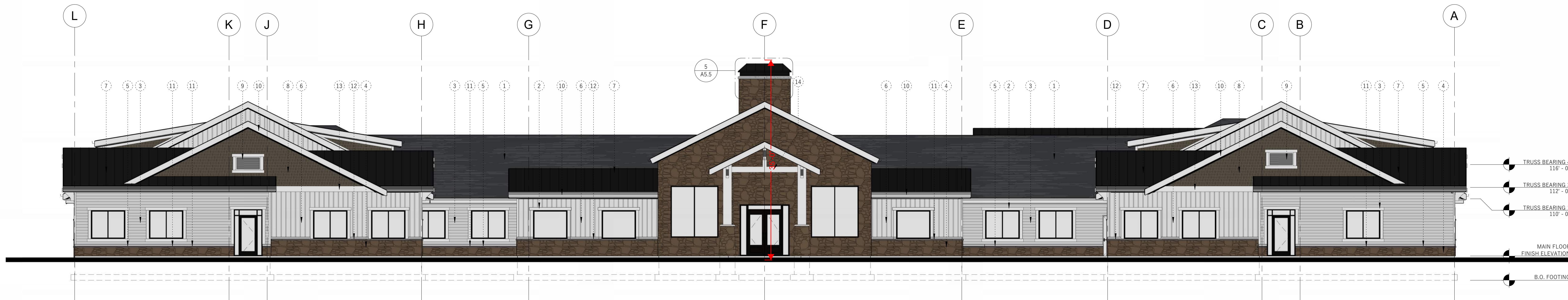
JZW
ARCHITECTS

GRAND HAVEN ASSISTED LIVING

WEST HAVEN, UTAH

ELEVATIONS

A2.1



SOUTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS
- (B) COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- (C) FINISHED ROOF TO BE ASPHALT SHINGLES. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- (D) PROVIDE RAIN GUTTERS AND DOWN SPOUTS AS REQUIRED.
- (E) COORDINATE ALL BEARING ELEVATIONS WITH ROOF FRAMING PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- (F) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (G) SEE ROOF PLAN FOR ALL ROOF SLOPES.
- (H) OWNER TO SELECT ROCK FOR ROCK VENEER. INSTALL AS PER ELEVATIONS, AND AS PER I.B.C. SEE GENERAL MASONRY NOTES.

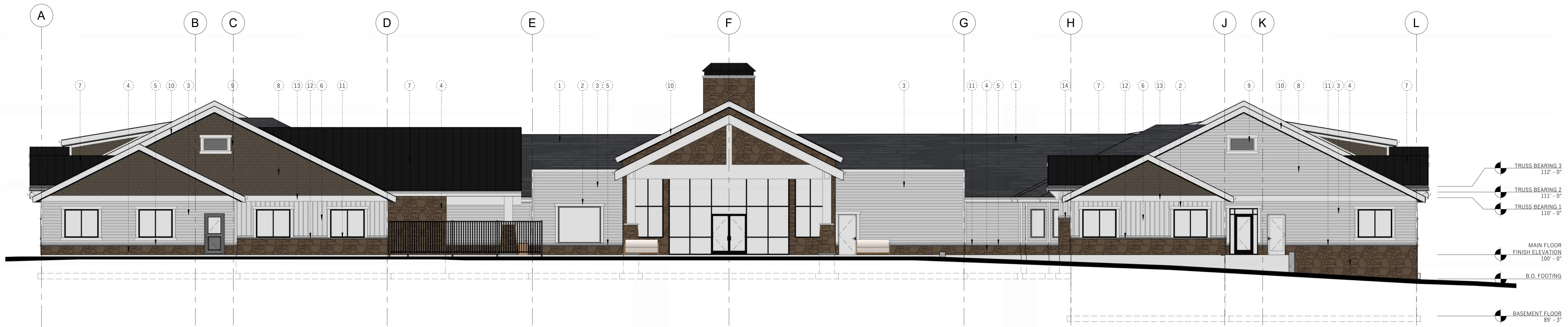
KEYED NOTES

- (1) ASPHALT SHINGLES. REFER TO SPECIFICATIONS.
- (2) 0'-6" HARDIE TRIM. FIELD COLOR #1
- (3) 0'-6" HARDIEPLANK LAP SIDING. FIELD COLOR #1
- (4) MANUFACTURED STONE VENEER
- (5) TOP OF STONE VENEER = 101'-6" (INCLUDING SILL)
- (6) HARDIE BOARD AND BATT. FIELD COLOR #1
- (7) STANDING SEAM METAL ROOF
- (8) HARDIE SHAKE - FIELD COLOR #1
- (9) 48" x 24" WALL VENT
- (10) HARDIE FASCIA - TRIM COLOR
- (11) MANUFACTURED SILL
- (12) TOP OF STONE VENEER = 103'-0" (INCLUDING SILL)
- (13) 1'-0" HARDIE TRIM - FIELD COLOR #1
- (14) ADDRESS POSTED IN MINIMUM 4" HIGH CHARACTERS WITH MIN 1/2" STROKE - MUST BE APPROVED BY KCDF
- (15) 4" HARDIE TRIM - FIELD COLOR #1
- (16) TOP OF STONE VENEER = 106'-6" (INCLUDING SILL)

GRAND HAVEN ASSISTED LIVING
WEST HAVEN, UTAH

ELEVATIONS

A2.2



NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



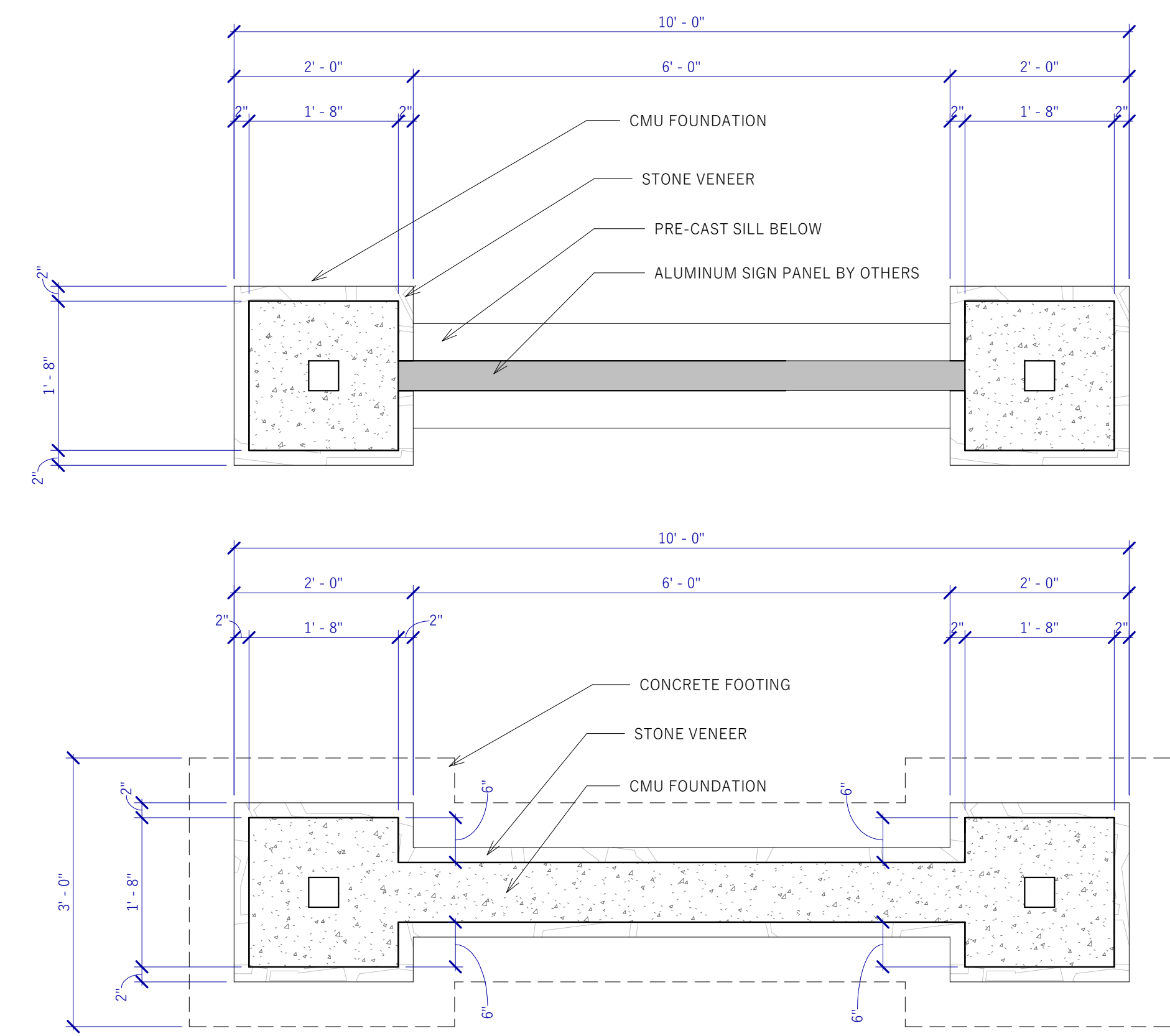
WEST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

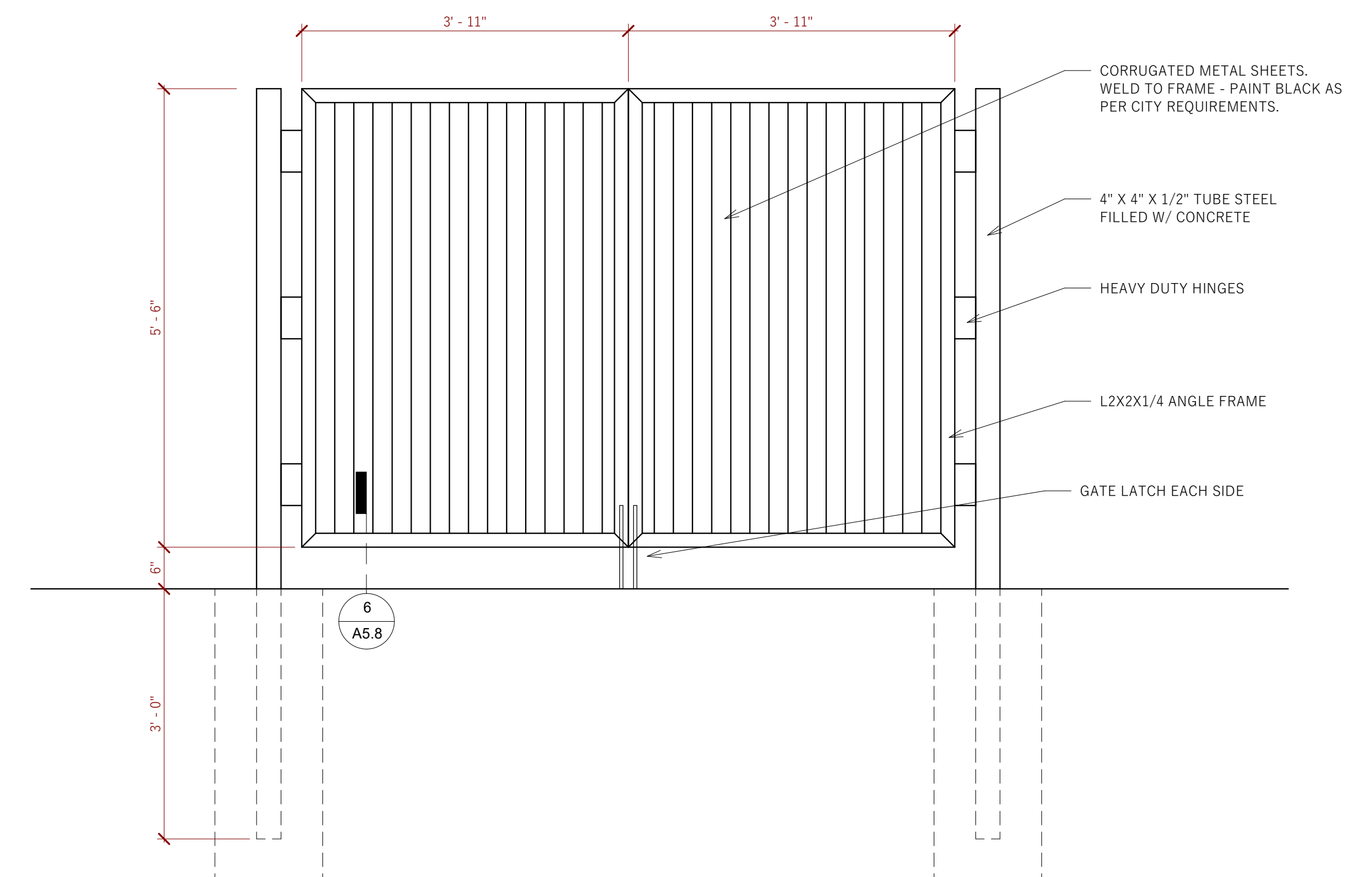
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- (B) COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- (C) FINISHED ROOF TO BE ASPHALT SHINGLES. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
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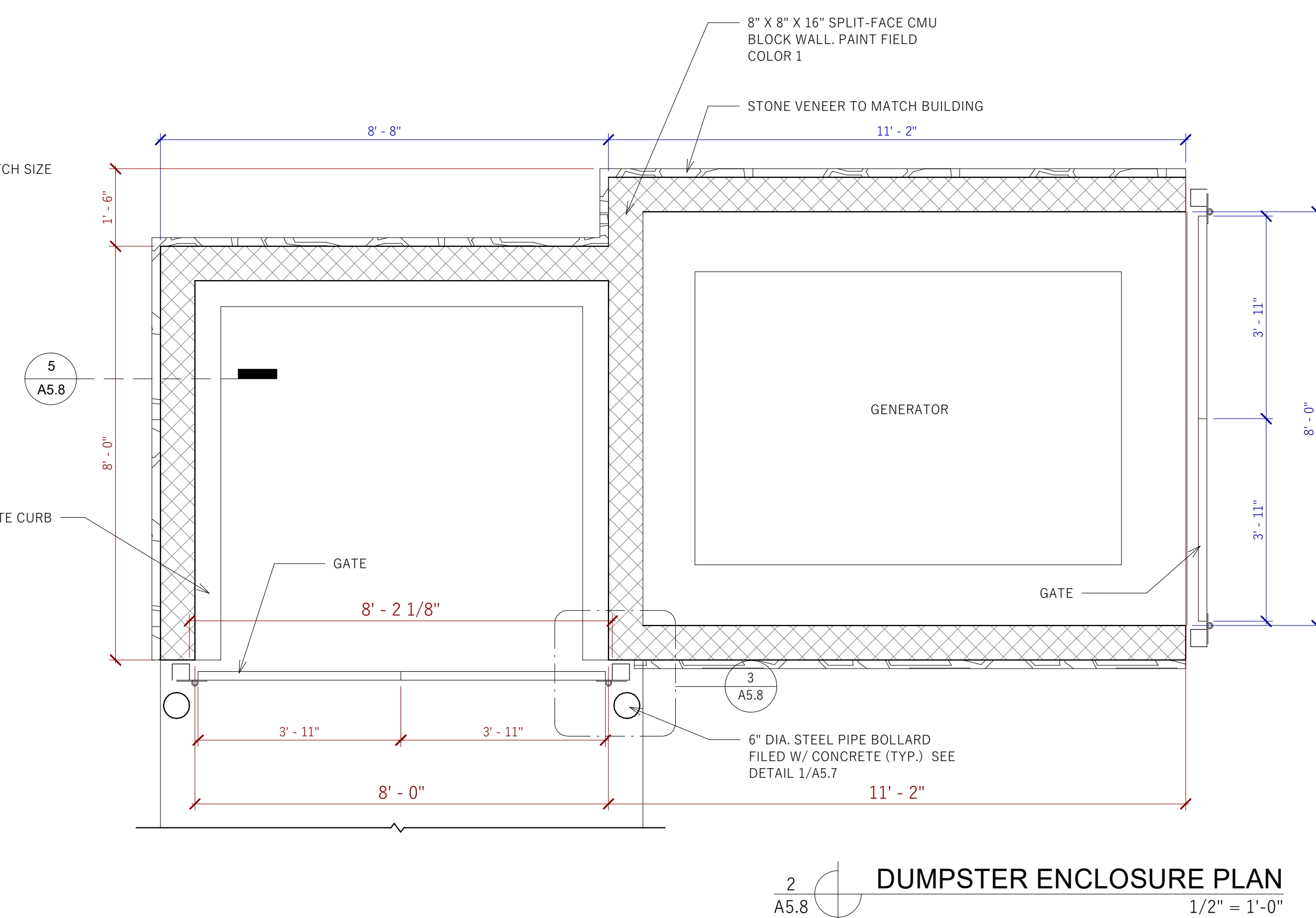
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- (14) TOP OF STONE VENEER = 106'-6" (INCLUDING SILL)
- (15) 0'-4" HARDIE TRIM. FIELD COLOR #1



7
A5.8 MONUMENT SIGN
3/4" = 1'-0"



A5.8
GATE



 **BOLLARD DETAIL**
1/2" = 1'-0"

To whom it may concern;

License and certifications.

I Justin Nielsen Certify in a sworn statement that no person will reside or remain in the Grand Haven Assisted Living facility whose tendency would:

1. Constitute a direct threat to the health or safety of other individuals; or
2. Result in substantial physical damage to the property of others.

Signed

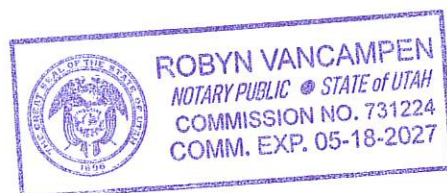
Print

Date

NOTARY ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document. State of Utah, County of Weber. On April 17, 2025, before me, Robyn VanCampen / Deputy Recorder (name and title of officer), personally appeared Justin Nielsen, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that she/he/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of Utah that the foregoing paragraph is true and correct. WITNESS my hand and official seal. Signature [Signature]

Print Name Robyn VanCampen (Seal)

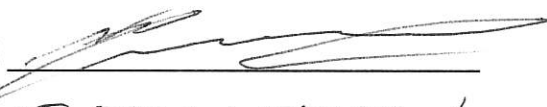


To whom it may concern;

Stillwater Construction Group here now makes a sure commitment to secure an Operator who is properly licensed and insured with the state of Utah to oversee the day-to-day operations and requirements of the Grand Haven Assisted Living center located in West Haven city.

Signed

Print



JUSTIN NIELSEN

Date

4/17/25