



## AGENDA – Planning Commission Meeting

Planning Commission Chair Rachel Sprosty Burns  
Planning Commission Vice Chair Doug Willden  
Planning Commissioner Charlie Carn  
Planning Commissioner Scott A. Hill  
Planning Commissioner Jack K. Mangum  
Planning Commissioner Virginia Rae Mann  
Planning Commissioner Colton Miles

### CITY OF SARATOGA SPRINGS

Thursday, April 10, 2025 @ 6:00 pm

City of Saratoga Springs Council Chambers  
1307 North Commerce Drive, Suite 200, Saratoga Springs, UT 84045

### CALL TO ORDER

1. Pledge of Allegiance.
2. Roll Call
3. Public Input: *Time for Public Input is limited to no more than 15 minutes total. This time has been set aside for the public to express ideas, concerns, and comments for subject matter not listed as public hearing on the agenda.*
- 4.

### PUBLIC HEARINGS

*The Commission will accept public comment and may make a recommendation to the City Council for the following items:*

1. Viviano Community and Village Plan Major Amendment, located at 98 S. Yellowstone Place. Tyler Lloyd with Cole West Design as applicant. – Senior Planner Gina Grandpre.

### BUSINESS ITEMS

*The Commission will discuss (without public comment) and may either make a recommendation to the City Council, or approve the following items as needed:*

1. Approval of Minutes: March 27, 2025.

### REPORTS

1. Commissioner's Comments.
2. Director's Report.

### CLOSED SESSION

Possible motion to enter into closed session for the purchase, exchange, or lease of property; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual; or the deployment of security personnel, devices, or systems.

### ADJOURNMENT

Supporting materials are available for inspection on the City Website [www.saratogasprings-ut.gov](http://www.saratogasprings-ut.gov) Questions and comments to Staff and/or Commissioners may be submitted to [comments@saratogasprings-ut.gov](mailto:comments@saratogasprings-ut.gov) Meetings are streamed live at <https://www.youtube.com/c/CityofSaratogaSprings>

PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least two days prior to the meeting.



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**COMMUNITY PLAN & VILLAGE PLAN MAJOR AMENDMENT  
VIVIANO COMMUNITY PLAN/VILLAGE PLAN MAJOR AMENDMENT 2  
APRIL 10, 2024  
PUBLIC HEARING**

Applicant:	Tyler Lloyd
Location:	98 S Yellow Stone Place
Project Acreage:	42.751 acres
Residential Units/Lots:	296 Units
Current Use:	Viviano Community/Village Plan
Land Use Designation:	Planned Community
Parcel Zoning:	Planned Community
Adjacent Zoning:	Agriculture
Adjacent Uses:	Agriculture
Past Action:	City Council Approval – 06/21/2022 City Council Approval – Major Amendment 1 – 11/15/2022
Type of Action:	Legislative
Land Use Authority:	City Council
Planner:	Gina Grandpre, Senior Planner

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**A. Executive Summary and Request:**

This application requests approval for major amendments to the Viviano Community Plan and Village Plan. The proposed changes address discrepancies identified by staff between the approved Community and Village Plans (CP/VP) and the corresponding construction drawings, site plans, building permits, and elevations.

Additionally, modifications are necessary to accommodate adjustments in the building footprints and building type product. These changes were approved at various stages of the development process, including the preliminary, final, and site plan applications for Phase 1 (approved on December 18, 2023) and Phase 2 (approved on April 16, 2024). The proposed modifications include the following (see the requested Amended Viviano CP/VP in Exhibit 2):

- **Detailed Concept Plan (pg. 13)** – Updates reflect modifications to the number of residential units and the lotting plan. Additionally, changes to the townhome footprints, as approved during the preliminary, final, building permit, and site plan application



stages, are incorporated.

Site Summary	
Total Site Area	42.751 Ac
Total Units	298
Density	6.81 du/ac

Site Summary	
Total Site Area	42.751 Ac
Total Units	306
Density	6.92 du/ac

Unit Summary	
Single-family lots	57
Clustered multi-family	96
Townhomes-Front loaded	133
Patio Homes	12
Total Units	298

Unit Summary	
Single-family lots	55
Clustered multi-family	96
Townhomes-Front loaded	133
Patio Homes	12
Total Units	296

*Originally Approved CP/VP (6/21/22)*

*Proposed CP/VP Amendment 2 (4/10/25)*

- **Lotting Layout Updates (pgs. 14-20)** – All sheets displaying the lotting layout have been revised to align with the updated plan.
- **Building Types (pgs. 21-40)** – Elevations for all building types have been modified.
- **Clubhouse Design (pgs. 21-22)** – The clubhouse elevation has been redesigned to better integrate with the overall architectural style of the development.
- **Single-Family Homes (pgs. 24-27)** – Elevation updates enhance architectural articulation across all single-family home types.
- **Townhome Attached Multi-Family (pgs. 28-31)** – Changes include the removal of the rear-load option and rambler end units, along with modifications to the architectural detailing from the originally approved design.
- **Patio Townhomes (pgs. 32-33)** – Elevations have been revised to reflect the as-built conditions approved through the building permit process.
- **Attached Multi-Family Buildings (pgs. 34-39)** – Architectural articulation has been enhanced in the updated elevations for the attached multi-family units.
- **Maintenance Building (pg. 40)** – The building design has been adjusted to remove the previously included pool equipment enclosure, now serving solely as a maintenance facility.
- **Building Color Palette (pgs. 41-45)** – The color palette has been revised to reflect the updated architectural designs.

- **Signage Plan (pg. 46)** – Adjustments include the removal of the secondary entrance sign on the south side, resulting in one primary sign and three secondary signs.
- **Phasing Plan (pg. 47)** – The development will now proceed in two phases instead of the originally approved four.
- **Detailed Lotting Plan (pg. 48)** – Updates include aligning the lotting plan with approvals from the preliminary, final, and site plans. The total number of single-family lots has been reduced from 57 to 55, while common open space has increased from 7.968 acres (18.63%) to 8.27 acres (19.34%).

Lot Summary	
Total Village Plan Area	42.751 Ac
Total Single-family lots	57
Total Attached single-family	50
Total Multi-family Bldgs	21
Total Patio home Bldgs	2
Total Common Buildings	3
Total Common Open Space	7.968 Ac
Total Open Space %	18.63%
Total Building Coverage	638,823 Sq Ft
Total Coverage %	34.30%

Originally Approved CP/VP (6/21/22)

Lot Summary	
Total Village Plan Area	42.751 Ac
Total Single-family lots	55
Total Attached single-family	49
Total Multi-family Bldgs	21
Total Patio home Bldgs	2
Total Common Buildings	2
Total Common Open Space	8.27 Ac
Total Open Space %	19.34%
Total Building Coverage	603,193 Sq Ft
Total Coverage %	32.39%

Proposed CP/VP Amendment 2 (4/10/25)

- **Parking Plan (pg. 49)** – Modifications to the parking plan include a reduction of four stalls for single-family units, an increase of 13 stalls for townhome multi-family units, a decrease of four stalls for rear-load patio homes, and a reduction of 19 stalls for attached multi-family units. Additionally, 20 stalls have been added for front-loading townhome multi-family units.

#### Parking Summary

Single-family	Required	Provided	Ratio	Total
Required	52	2.0	0.0	114
Total provided				114
Townhomes (Front-load)	Required	Provided	Ratio	Total
Required	133	1.0	1	306
Total provided		266	0	368
Townhomes (Rear-load)	Required	Provided	Ratio	Total
Required	12	1.0	1	27
Total provided		24	0	96
Clustered Multi-family	Required	Provided	Ratio	Total
Required (1+ bedroom units)	10	1.0	0.25	13
Required (2+ bedroom units)	85	1.0	0.25	104
Total Required				207
Total provided		96	96*	281

\* Assigned carports

Additional Parking Spaces (not counted toward requirements above)

Single-family Driveways (20')	174
Townhomes (Front-load)	266
Total Additional Parking Spaces	380

Originally Approved CP/VP (6/21/22)

#### Parking Summary

Single-family	Required	Provided	Ratio	Total
Required	55	2.0	0.0	110
Total provided				110
Townhomes (Front-load)	Required	Provided	Ratio	Total
Required	133	1.0	1	300
Total provided		266	0	381
Townhomes (Rear-load)	Required	Provided	Ratio	Total
Required	12	1.0	1	27
Total provided		24	0	82
Clustered Multi-family	Required	Provided	Ratio	Total
Required (1+ bedroom units)	46	1.0	0.25	58
Required (2+ bedroom units)	50	1.0	1	113
Total Required				171
Total provided		96	96*	262

\* Assigned carports

Additional Parking Spaces (not counted toward requirements above)

Single-family Driveways (20')	110
Townhomes (Front-load)	266
Total Additional Parking Spaces	400

Proposed CP/VP Amendment 2 (4/10/25)

- **Fencing Plan (pg. 49)** – Updates reflect the revised lotting plan and provide additional details on the 6’ precast concrete and 6’ fencing specifications.
- **Open Space Plan (pg. 51)** – Adjustments reflect the updated lotting plan and increased landscaping in the southern portion of the development, resulting in an overall open space increase of 0.301 acres.

**Recommendation:**

**Staff recommends that the Planning Commission hold a public hearing on the Viviano Community Plan and Village Plan Major Amendment 2, take public comment, review and discuss the proposal, and choose from the options in Section H of this report.** Options include a positive recommendation with or without conditions, a negative recommendation, or continuation.

- B. Background:** The applicant is requesting approval for significant modifications to the Viviano Community Plan and Village Plan. During the review process for building permits, staff identified discrepancies between the Community and Village Plans (CP/VP) and the approved construction drawings, site plans, building permits, and elevations.

These changes have become necessary due to adjustments in the developer’s building footprints and elevations for all of their building types. These modifications were approved at various stages of the development process, including the preliminary, final, and site plan applications for both Phase 1, approved on December 18, 2023, and Phase 2, approved on April 16, 2024. Building permits have been issued in accordance with these plans.

To ensure consistency across all planning documents and approvals, the proposed modifications aim to align the CP/VP with the approved project details. A detailed summary of these modifications is provided in requested Amended Viviano CP/VP Exhibit 2.

- D. Process:** The proposed amendment is a major amendment based on the criteria below. The City Council is the land use authority for major amendments.

Section 19.26.05 states:

5. **Community Plan Amendment.** Modifications to the Community Plan text or exhibits may occur in accordance with the following amendment process:
  - a. **Major Amendments:** If an amendment is deemed major by the Planning Director (or in the case of a District Area Plan, by the Development Review Committee), it will be processed in the same manner as the original Community Plan. Major amendments are modifications that change the intent of the Community Plan such as:
    - i. those that significantly change the character or architecture of the Community Plan;
    - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided within the Community Plan, as provided in Section 19.26.06;

- iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas, or public facilities as shown on the approved Community Plan; and
  - iv. modifications to development standards as allowed in the Community Plan.
- b. **Minor Amendments.** Minor amendments are accomplished administratively by the Planning Director. Minor amendments include simple modifications to text or exhibits such as:
  - i. minor changes in the conceptual location of streets, public improvements, or infrastructure;
  - ii. minor changes in the configuration or size of parcels;
  - iii. transfers of density as described within the Community Plan, as provided for in Section 19.26.06;
  - iv. minor modification of land use boundaries; and
  - v. Interpretations that facilitate or streamline the approval of unlisted uses that are similar in nature and impact to listed uses.

*Staff finding: the proposed changes constitute a major amendment and are to be approved legislatively by the City Council.*

Code Section 19.26.09 outlines the process for Village Plan Amendments and states:

1. **Village Plan Amendment.** A Village Plan is a zoning level approval, and modifications may occur in accordance with the following amendment process:
  - a. **Major Amendments:** If an amendment is deemed major by the Planning Director, it will be processed in the same manner as the original Village Plan. Major amendments are modifications that change the intent of the Village Plan such as:
    - i. those that significantly change the character or architecture of owners' associations (if applicable);
    - ii. those that increase or reallocate residential density and non-residential intensity beyond any provisions for transfers provided in the Village Plan, as provided in Section 19.26;
    - iii. those that materially reduce the amount of land dedicated to parks, trails, public use space, natural areas or public facilities; and
    - iv. modifications to development standards as allowed in the Village Plan.

*Staff finding: Consistent. This amendment has been deemed to be a major amendment since it is modifying the development standards that are allowed in the Village Plan.*

#### **E. Community Review:**

Public Hearing: This has been noticed as a public hearing pursuant to City and State statutes, which requires posting notice on the Utah public notice website and the City's website and in City Hall, and, except for code amendments, mailing notices to property owners whose land is directly affected by the request and property owners within 300 feet of the subject property at least 10 calendar days prior to the public hearing.

Public Comment: As of the date of this report, no public input has been received.

**F. General Plan:** The property is designated Planned Community on the Land Use Map.

The Planned Community Land Use Designation is described in the General Plan below:

Planned Community. The Planned Community designation includes large-scale properties within the City which exceed 500 acres in size. This area is characterized by a mixture of land uses and housing types. It is subject to an overall Community Plan that contains a set of regulations and guidelines that apply to a defined geographic area. Required Village Plans contain regulations that apply to blocks of land and provide specific development standards, design guidelines, infrastructure plans and other elements as appropriate. Development in these areas shall contain landscaping and recreational features as per the City's Parks, Recreation, Trails, and Open Space Element of the General Plan.

*Staff conclusion: consistent. The proposed amendment within the Community Plan do not detract from the mixture of land uses and housing types. The Community Plan includes a variety of housing types.*

**G. Code Criteria:**

The proposed amendment is considered to be a major amendment as discussed above in Section C.

**Staff finding: complies.** *The requested amendment to the Viviano CP/VP revises the Building Types and lotting plan to incorporate changes approved during the preliminary plat, final plat, and site plan application process.*

**H. Recommendation and Alternatives:**

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

**Option 1 – Positive Recommendation**

"I move that the Planning Commission forward a positive recommendation to the City Council for the Viviano Community Plan/Village Plan Major Amendment 2, located at 98 S Yellow Stone Place, with the Findings and Conditions in the Staff Report."

**Findings**

1. The application is consistent with the General Plan, as articulated in Section F of the staff report, which section is incorporated by reference herein.

2. The application complies with the criteria in Section 19.26 of the Land Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.

**Conditions:**

1. All conditions of the City Engineer shall be met.
2. All requirements of the Fire Chief shall be met.
3. All site plans shall be updated to incorporate the changes approved in this amendment.
4. All previously issued building permits along Pony Express shall be amended to incorporate updated elevations consistent with the architecture approved in this amendment.
5. All other Code requirements shall be met.
6. Any other conditions or changes as articulated by the Planning Commission:

\_\_\_\_\_.

**Option 2 – Continuance**

"I move to **continue** the Viviano Community Plan/Village Plan Major Amendment 2, located at 98 S Yellow Stone Place to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_

**Option 3 – Negative Recommendation**

"I move that the Planning Commission forward a negative recommendation to the City Council for the Viviano Community Plan/Village Plan Major Amendment 2, located at 98 S Yellow Stone Place with the Findings below:

1. The application is not consistent with the General Plan:
  - a. \_\_\_\_\_,  
and/or,
2. The application is not consistent with Section {XX.XX} of the Code:
  - a. \_\_\_\_\_,  
and/or

**J. Exhibits:**

1. Location & Zone Map
2. Amended Viviano Community Plan and Village Plan

Exhibit 1: Location & Zone Map





# Community & Village Plan

## Viviano at Saratoga Springs

Pony Express Parkway, Saratoga Springs, Utah

March 28, 2025 (revised)





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# Vicinity Plan



**COMMUNITY PLAN AREA** (Viviano Project + Road Rights-of-way)

Beginning at a point being South  $89^{\circ}41'46''$  East 1796.92 feet, thence South  $0^{\circ}05'41''$  East 33.00 feet from the North Quarter Corner, Section 27, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running

thence, South  $89^{\circ}41'46''$  East 869.75 feet;  
thence, South  $89^{\circ}59'20''$  East 640.97 feet;  
thence, South 1328.01 feet;  
thence, South  $0^{\circ}01'53''$  East 77.00 feet;  
thence West 1508.42 feet;  
thence, North  $0^{\circ}05'41''$  West 1409.75 feet to the point of beginning.

Contains 2,123,067 Square Feet or 48.739 Acres.

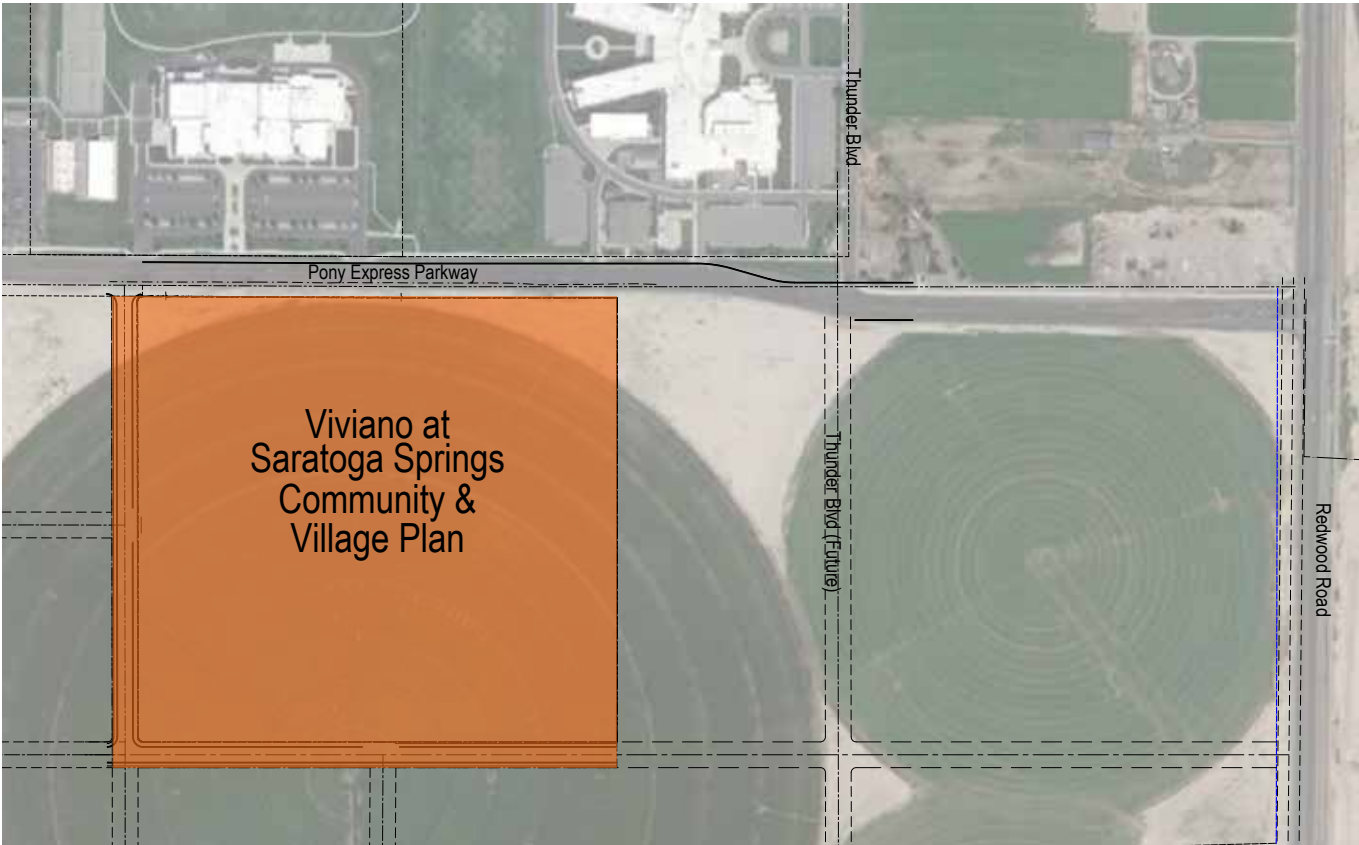
**VILLAGE PLAN AREA** (Viviano Project)

Beginning at a point being South  $89^{\circ}41'46''$  East 1893.43 feet, thence South  $0^{\circ}05'41''$  East 60.00 feet from the North Quarter Corner, Section 27, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running

thence, South  $89^{\circ}41'46''$  East 773.06 feet;  
thence, South  $89^{\circ}59'20''$  East 641.11 feet;  
thence, South 1301.01 feet;  
thence West 1416.53 feet;  
thence Northwesterly 23.54 feet along the arc of a 15.00 foot radius curve to the right (center bears North and the chord bears North  $45^{\circ}02'50''$  West 21.20 feet with a central angle of  $89^{\circ}54'19''$ ); thence,  
thence, North  $0^{\circ}05'41''$  West 1043.27 feet;  
thence, North  $07^{\circ}02'11''$  East 157.08 feet;  
thence, North  $0^{\circ}05'41''$  West 91.09 feet to the point of beginning.

Contains 1,862,254 Square Feet or 42.751 Acres.

# Detailed Use Map



 Mix of single-family dwellings, multi-family dwellings and two-family dwellings

The Saratoga Springs City Center District Area Plan grants the right to develop in accordance with Section 19.26.13 of the Saratoga Springs City Code.

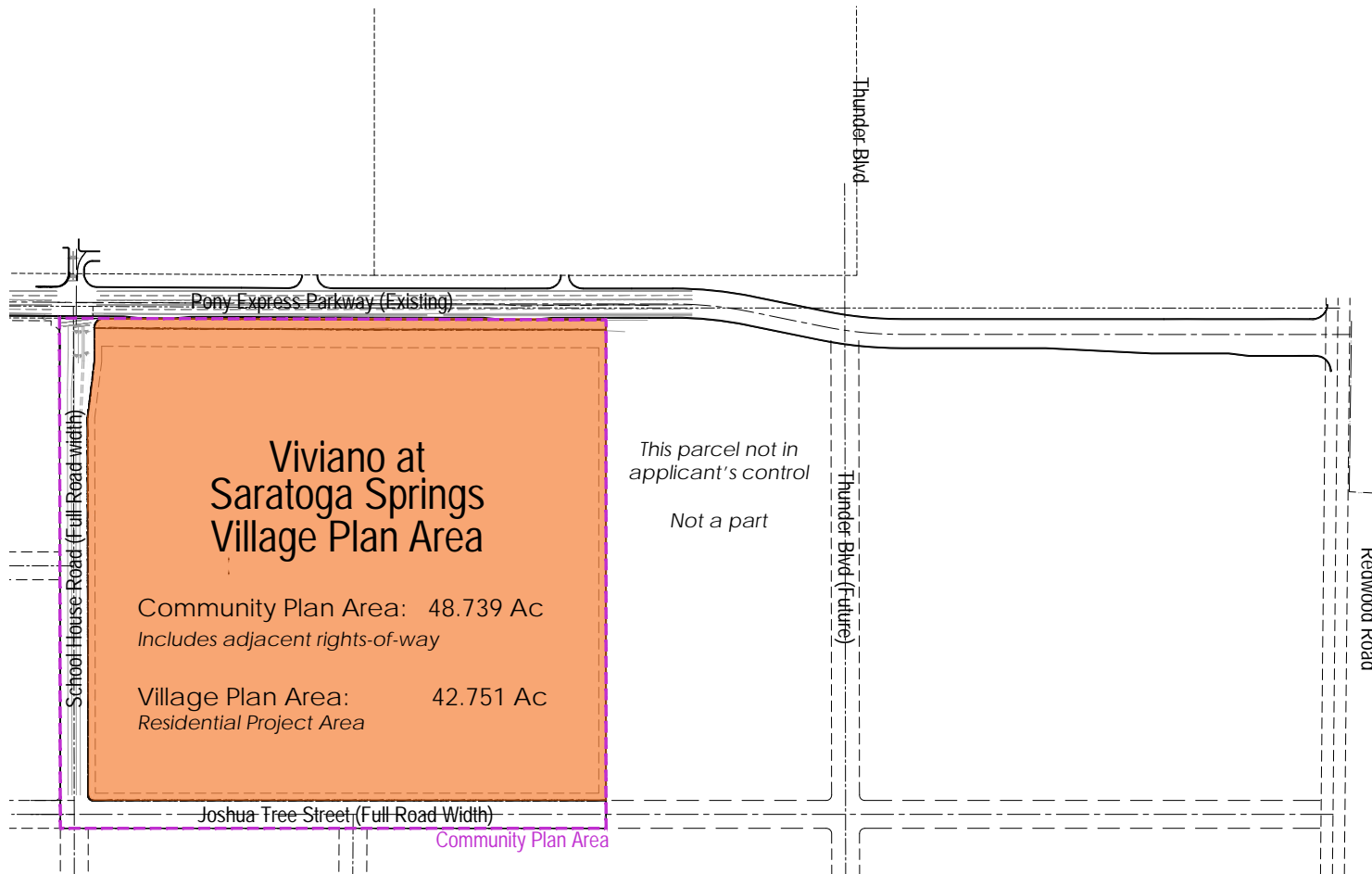
This Community & Village Plan area is allowed to contain Town Neighborhood uses allowing up to 10 dwelling units/acre.

Specific uses shall comply with the MF-10 (Multi-family, 10-units per acre) zone as permitted in Section 19.04 of the Saratoga Springs Municipal Codes.

Planning Director may approve a density increase of up to 15%.

TOWN NEIGHBORHOOD	
Range of Average dwelling units/acre	6-34 du/ac
Range of Average FAR	0.36-1.82
Range of Open Space	13-15%

# Buildout Allocation



## District Area Plan

Per the City Center District Area Plan, there are a maximum of 16,000 residential units, of which this area will be included and the total units will count toward the allotted 16,000 units.

## Community Plan

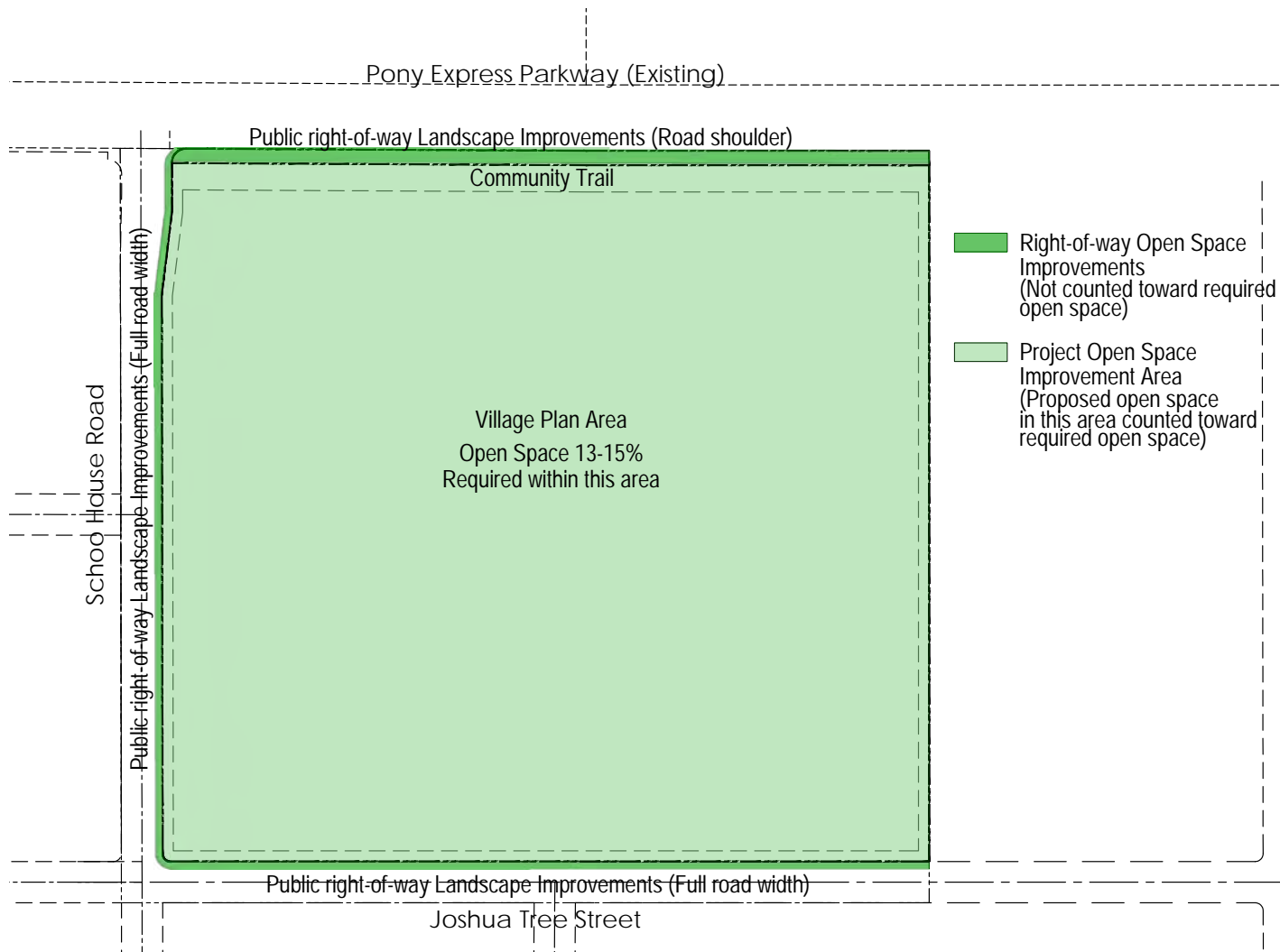
The District Plan states the FAR allowed for this Community Plan is 1.82 FAR per sq feet of project area, allowing for a maximum FAR of 3,389,265 square feet.

Phase No.	Area (Acres)*	Open Space %	Max Building Sq Ft**
Viviano at Saratoga Springs Village Plan Area	42.751 Ac	13-15%	3,389,265 Sq Ft

\* Includes right-of-way dedication

\*\* Based on maximum 1.82 FAR

# Open Space Plan



This Community & Village Plan under this Community Plan is required to provide 13-15% of open space based on the total project area (net of dedicated rights-of-way). Open space beyond the minimum is allowable.

In addition to the project open space required, the following additional open space will be required within the accompanying Village Plan:

- A 30' open space corridor along the south side of Pony Express parkway, with 10' meandering concrete trail and plantings
- Park strip improvements along School House Road and Joshua Tree Street.

This Plan specifies which District Area Plan open space types will be used.



# Guiding Principles

## Streetscape Treatments:

Streetscapes along Pony Express Parkway and Joshua Tree Street and Brookwood Boulevard shall conform to the following standards:

- a. Maximum of 50% turf. All areas not covered in turf shall be dressed with stone or cobble.
- b. Within 50' of community entrances off of Pony Express Parkway and Joshua Tree Street & Brookwood Blvd shall contain additional native shrub or perennial plantings, drought-tolerant ornamental grasses, evergreen shrubs or flowering perennials.
- c. Design of landscape along streetscapes shall be water-wise plant selection and design.

## General Landscape Guidelines:

1. These landscape standards shall be used in conjunction with the Saratoga Springs City Code, Chapter 19.06 (Landscape and Fencing) and 19.09 (Off-street Parking).
2. Plant materials shall be described in the Village Plan.
3. Trees and plantings in park strips and parking islands along public roads shall be consistent with Saratoga Springs City Code.
4. All non-turf landscape areas shall have decorative stone or wood mulch around plantings.
5. Accent boulders may be used in landscape planting areas provided they do not block access to utilities and block signs.

6. Lawn and landscape planters shall be separated by concrete, aluminum or steel edging.

## Guiding Development Standards:

1. **Permitted Uses**  
Allowed uses shall comply with the MF-10 zone as permitted, as outlined in Section 19.04 of the Saratoga Springs Municipal Code.
2. **Minimum Lot Size**  
The minimum lot size for the total project (excluding any individual lots within the development) shall be 5 acres.
3. **Setback and Yard Requirements**  
Public right-of-way setbacks:  
*Front setback: 20'*  
*Side-yard setbacks: 20'*  
*Rear-yard setbacks: 20'*  
  
Internal project setbacks:  
*Minimum building separation: 10'\**  
*Minimum Front-yard setbacks: 10'*  
*Minimum Side-yard setbacks: 5'*  
*Minimum rear-yard Setbacks: 10'*  
  
*\*(may be reduced if additional building code measures are taken to address fire code)*
4. **Building Heights**  
Maximum height 35'
5. **Maximum Lot Coverage**  
50% Maximum
6. **Minimum Livable Square Footage**  
600 Sq Ft (footprint)

## Lighting Guidelines

1. Section 19.11 (Lighting) of the Saratoga Springs Municipal Code shall govern lighting design.
2. Light poles shall be a maximum of 14' in height.
3. Additional building accent and security lighting may be provided on buildings.
4. Bollard lighting may be utilized along internal pedestrian walkways.
5. All lighting along public roads that will be maintained by Saratoga Springs City, shall be per City standard details and specifications.
6. All exterior lighting shall comply with the city's Dark Sky ordinance/requirements.

## Signage Guidelines

1. Signage shall be approved with the Village Plan.

## Trash Storage and Collection

1. On-site trash storage (other than individual trash cans for residential users) shall comply with Section 19.14.

Architectural Standards

Building Forms

- 1. Complimentary building materials and color schemes are required.
- 2. Design latitude in building types, sizes, styles and massing will be permitted to ensure interest and variety throughout the project area.

Architectural Materials

- 1. Acceptable building exterior finish materials include: EIFS, brick, stone, precast concrete, metal panels, fiber-cement siding.
- 2. Buildings with a variety of materials are encouraged. A composition of at least one preferred primary material and one preferred accent material is required. Primary materials and accent materials may be of the same type provided color variation is incorporated.
- 3. Architectural colors shall be compatible with the intended use and building type.

Preferred Primary Materials	Preferred Accent Materials
EIFS Brick Stone Metal panels Fiber-cement siding Wood	Brick Stone Precast Concrete Metal Tile Fiber-cement siding

Primary Facades

- 1. Primary facades are those sides of a building where the primary entrance is located. It is possible for a building to have more than one primary façade.
- 2. Primary facades shall incorporate architectural features (canopy, awning, roof covered porch, architectural detail, etc) to highlight entrance locations.

Secondary Facades

- 1. A secondary façade is a side of the building that does not have a primary entrance, but is visible from internal project roadways or from public rights-of-way.
- 2. Secondary facades shall incorporate architectural detailing to provide visual interest, such as window boxes, breaks in building lines, roof changes, etc.

Roofs

- 1. Roofs shall have a minimum 4:12 pitch, unless a lesser pitch augments an architectural style.
- 2. Rooftop equipment shall be screened from public rights-of-way

Site furnishings



Typical Bench  
Wabash Valley ‘Dewart’ Collection



Typical Trash receptacles  
Wabash Valley ‘Elegance’ Collection



Typical Bike Racks  
Madrax ‘U’ Collection



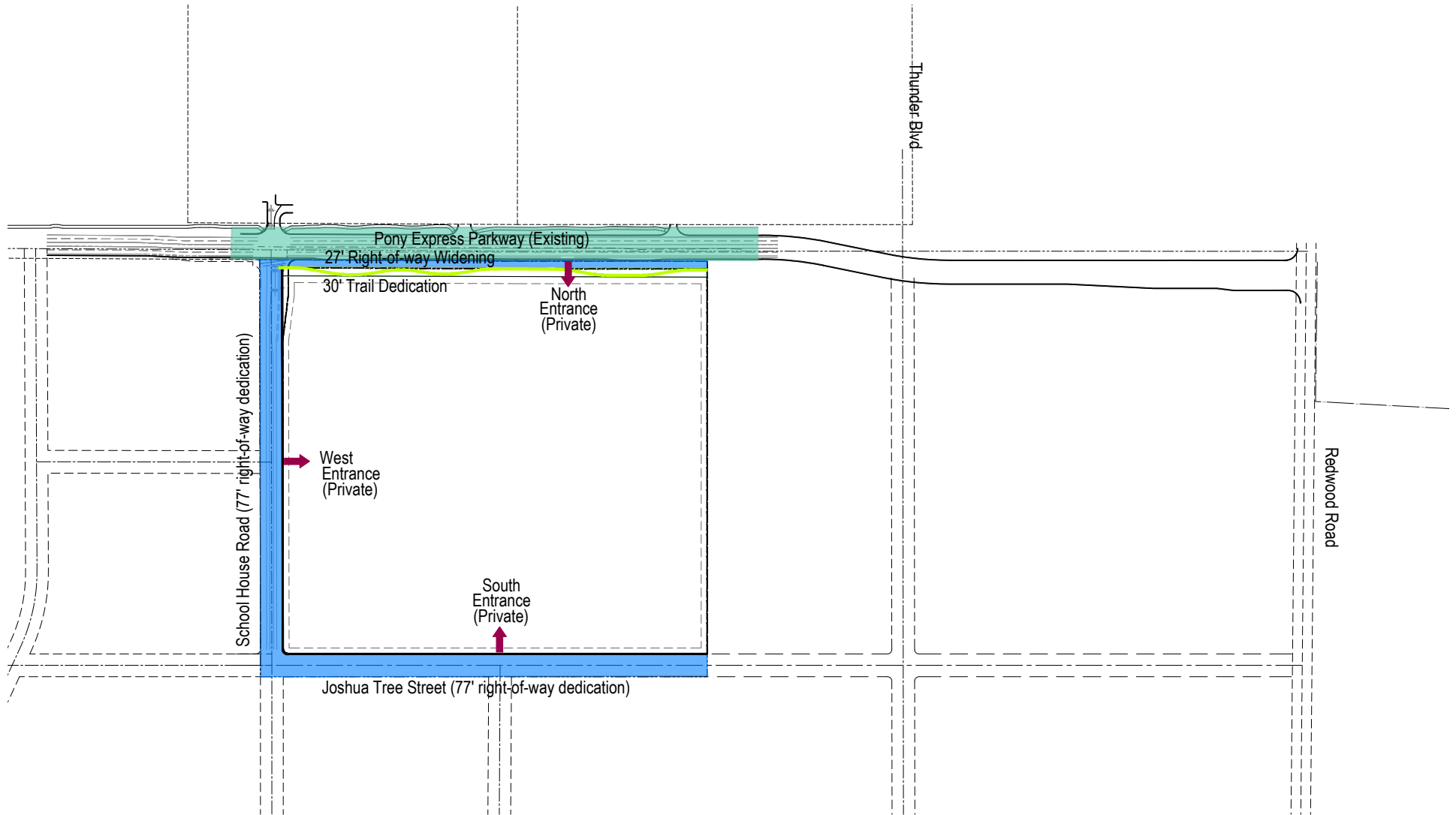
## Development Approval Process

Submittal Type	Planning Director Approval	Planning Commission Public Hearing	Planning Commission Recommendation	City Council Approval
Community Plan		X	X	X
Community Plan / Major Amendment		X	X	X
Community Plan / Minor Amendment	X			
Minor Subdivision <sup>1</sup>	X			
Plat, Condominium or Final	X <sup>2</sup>			
Plat, Preliminary in CP or VP	X <sup>3</sup>			
Site Plan	X <sup>4,5</sup>			
Village Plan		X	X	X
Village Plan / Major Amendment		X	X	X
Village Plan / Minor Amendment	X			

### Notes:

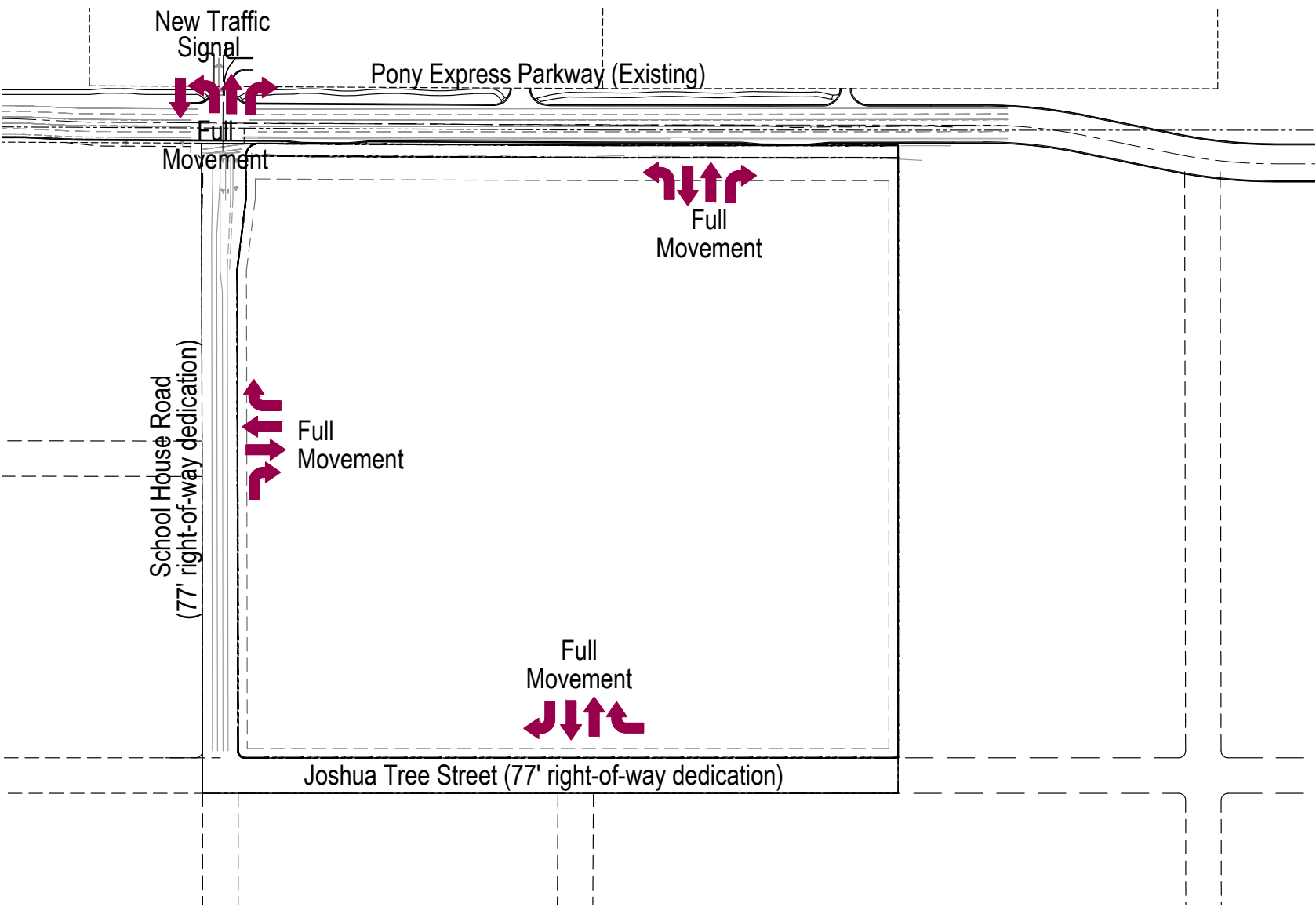
1. Minor subdivision to include subdividing land for the purposes of land sale based on no building lots being created. Amendment of lot created by minor subdivisions may be completed to allow development.
2. Planning Director approval if the condominium or final plat is consistent with the preliminary plat or as adjusted through the Village Plan Process. If not, City Council approval is required. Consistency of preliminary plat allows for adjustment of utilities based on final calculations and review, lot count decrease and lot dimension variance up to minimum established for applicable Village.
3. Planning Director approval if the preliminary plat layout, the contents of which are defined in City Code 19.26.10, is contained in the Community Plan or Village Plan. If not, the preliminary plat shall be reviewed by the Planning Commission with a recommendation to the City Council.
4. Provided the application site plan complies with the approved Village Plan, site plans may be approved by the Planning Director with consultation with the Development Review Committee.
5. Planning Director may approve a density increase of up to 15%.

## Road Dedication Plan



Note: Full right-of-way for Joshua Tree Street and School House Road will be dedicated at time of plat recording. Road improvements along these two streets will include full pavement width & curb/gutter construction for the area associated with this Community & Village Plan. Sidewalk and park strip on south side of Joshua Tree Street and west side of Joshua Tree Street will not be installed with the work outlined in this Village Plan.

# Road Access Plan



# Detailed Concept Plan

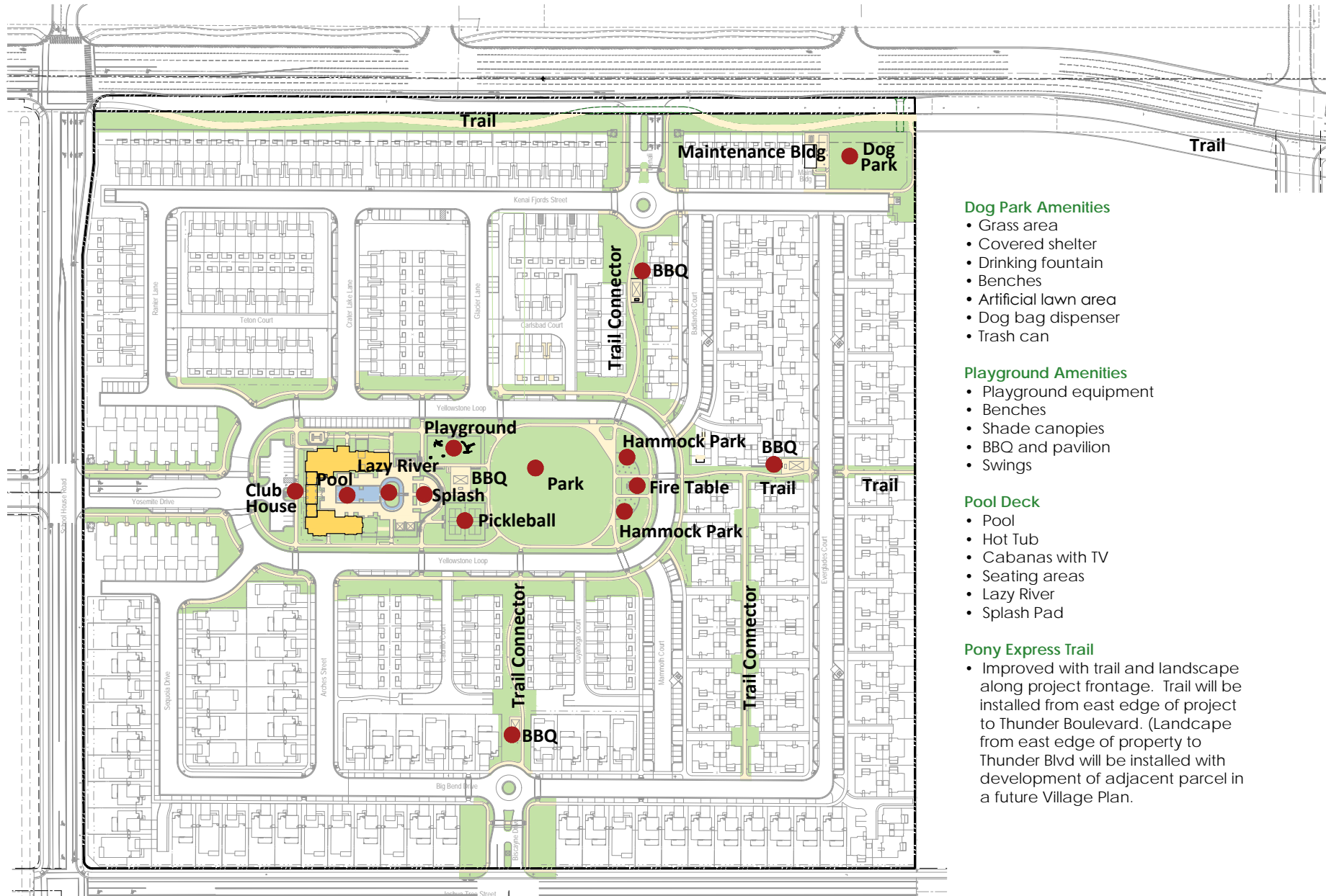


This shows an additional 10 units. Update the Unit Summary or Site Summary to match what is actually allotted

Site Summary	
Total Site Area	42.751 Ac
Total Units	306
Density	6.92 du/ac

Unit Summary	
Single-family lots	55
Clustered multi-family	96
Townhomes-Front loaded	133
Patio Homes	12
Total Units	296

## Amenity Plan



### Dog Park Amenities

- Grass area
- Covered shelter
- Drinking fountain
- Benches
- Artificial lawn area
- Dog bag dispenser
- Trash can

### Playground Amenities

- Playground equipment
- Benches
- Shade canopies
- BBQ and pavilion
- Swings

### Pool Deck

- Pool
- Hot Tub
- Cabanas with TV
- Seating areas
- Lazy River
- Splash Pad

### Pony Express Trail

- Improved with trail and landscape along project frontage. Trail will be installed from east edge of project to Thunder Boulevard. (Landscape from east edge of property to Thunder Blvd will be installed with development of adjacent parcel in a future Village Plan.)



# Development Standards

## 1. Setback and Yard Requirements

### Public right-of-way setbacks:

Front setback: 20'

Side-yard setbacks: 20'

Rear-yard setbacks: 20'

### Internal project setbacks:

Minimum building separation: 10'  
(unless additional building code measures are taken to address fire code, per Community Plan)

Minimum Front-yard setbacks: 10'

Minimum Side-yard setbacks: 5'

Minimum rear-yard Setbacks: 10'

Projections for porches, fireplaces, bay windows, etc., must be included in front-yard setbacks.

## 2. Building Heights









Maximum height 35'

## 3. Maximum Lot Coverage

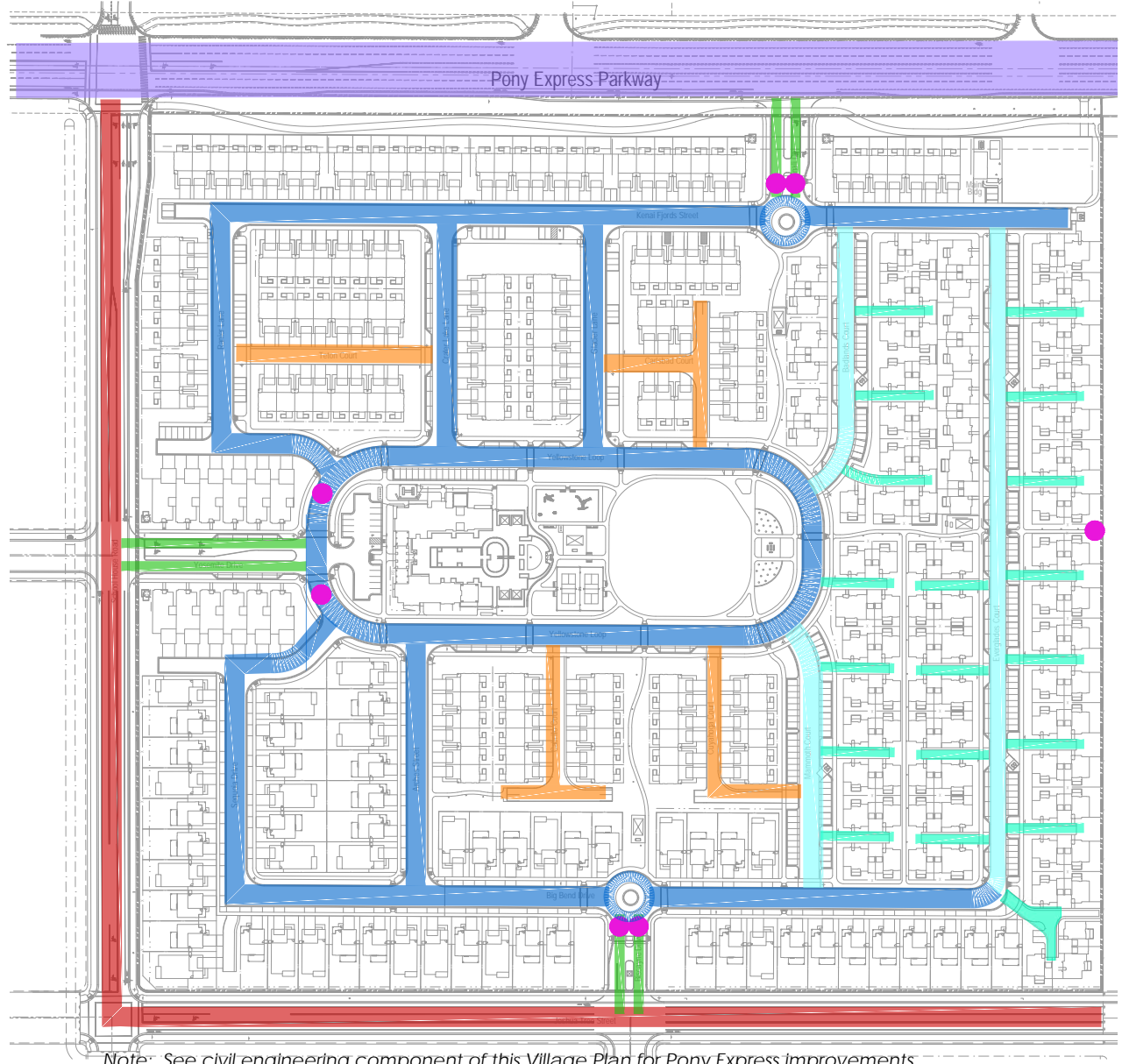
50% Maximum

## 4. Minimum Building Footprint Size

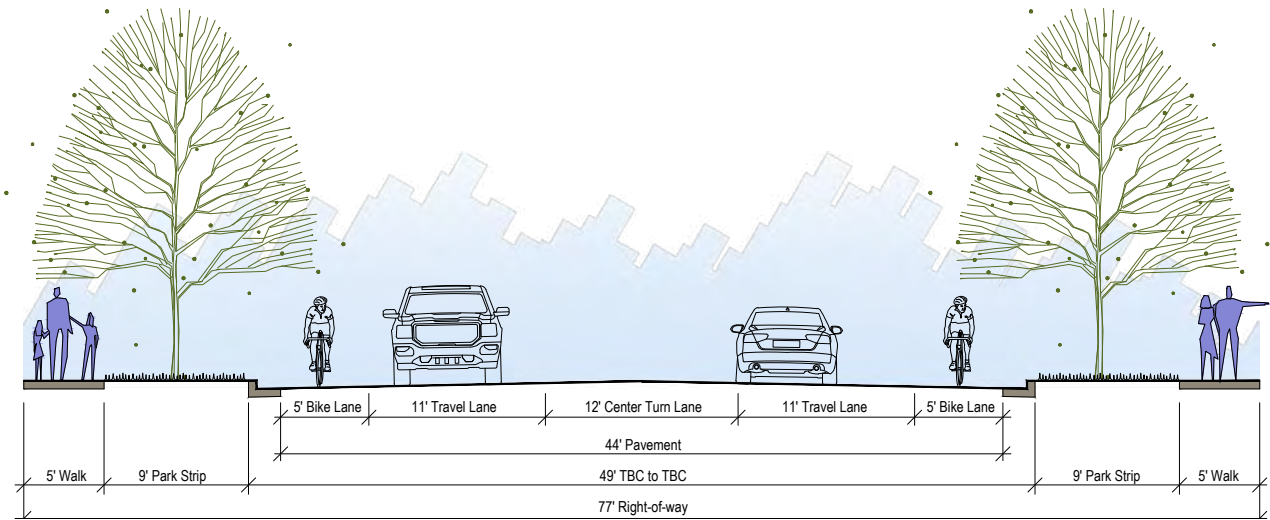
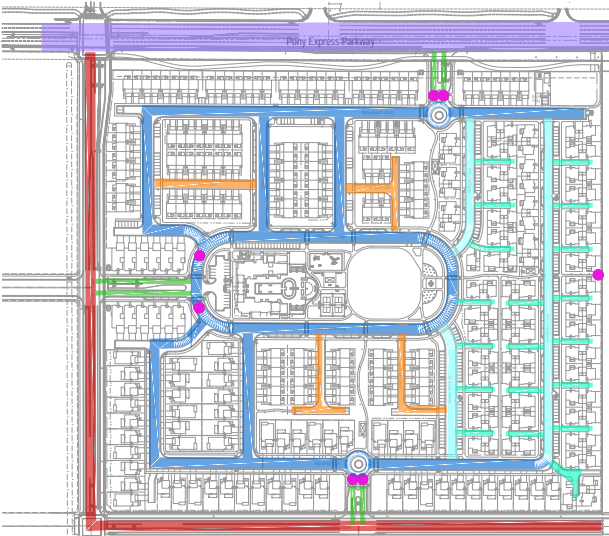
600 Sq Ft

	180' Public Right-of-way
	77' Public Right-of-way
	Private Road
	51' Private Road-Divided
	20-26' Alley
	16' Cluster Driveway
	Gated Access
	Parking Area (26' aisle)

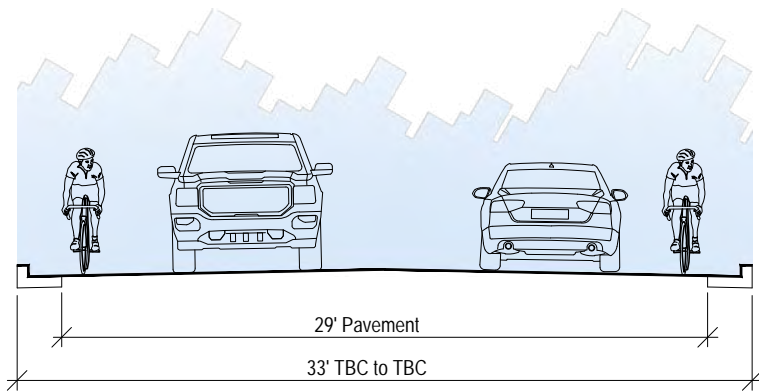
## 5. Street Types



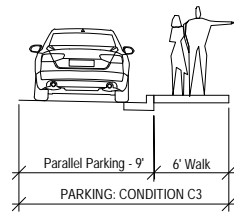
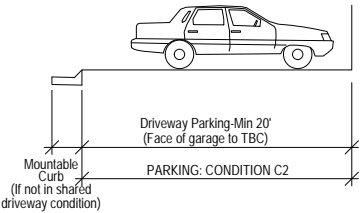
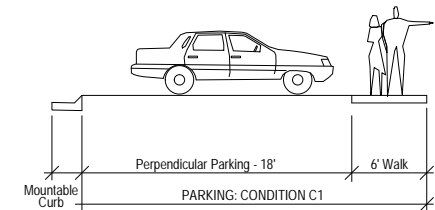
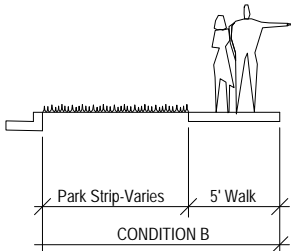
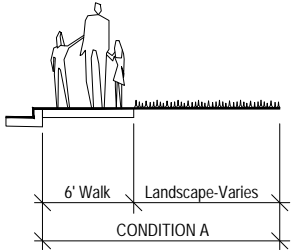
Vehicular Plan



77' Public Right of Way

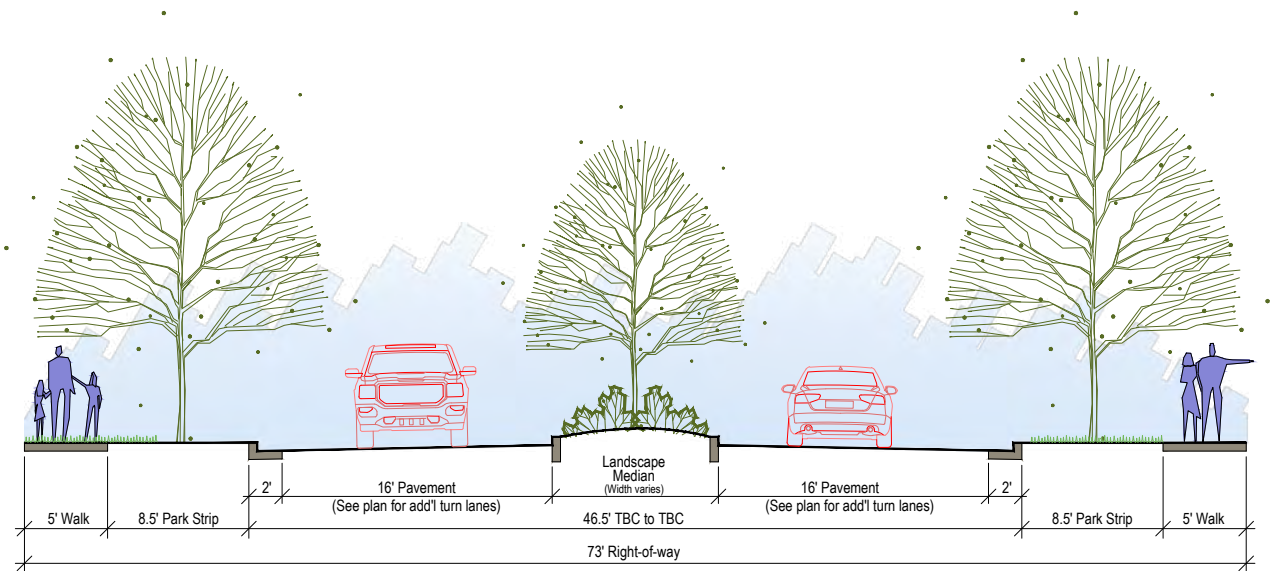
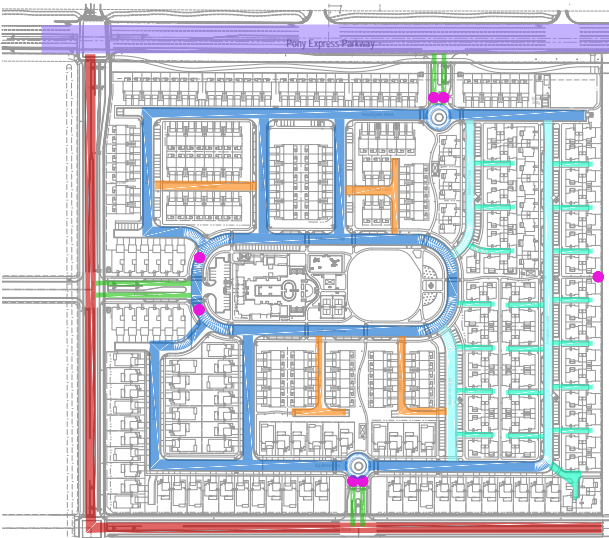


NOTE: Sidewalk and parkstrip conditions vary throughout site. Utility installation locations shall adhere to ST-30 for conditions A, C1, C2, C3 and utility installation locations shall adhere to ST-31 for Condition B when Condition B is located on the north or east side of the street. A blanket Public Utility Easement (PUE) is required on the site, less and excepting the footprints of all buildings, and shall be shown on the Plat.



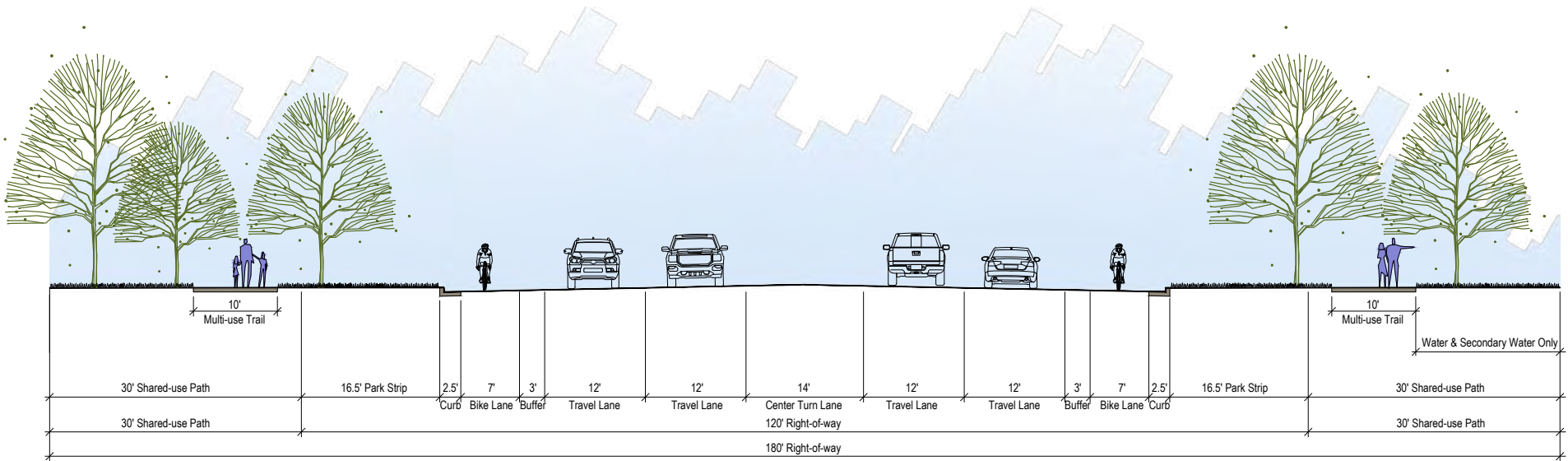
Private Road

Typical Street Cross-sections



Private Divided Entry Drive

\* Optional rolled curb on Private Streets

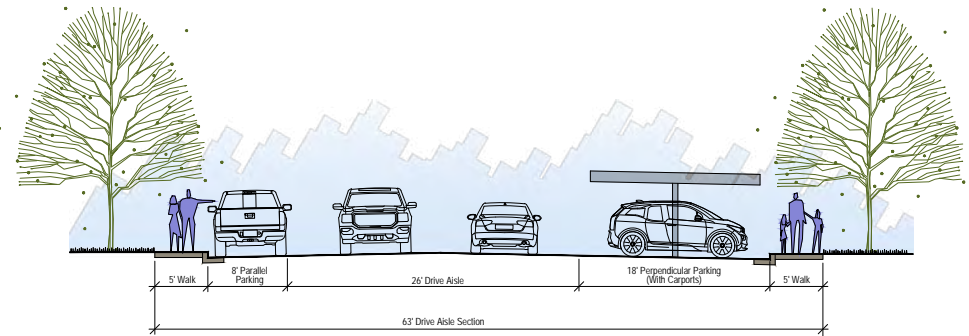
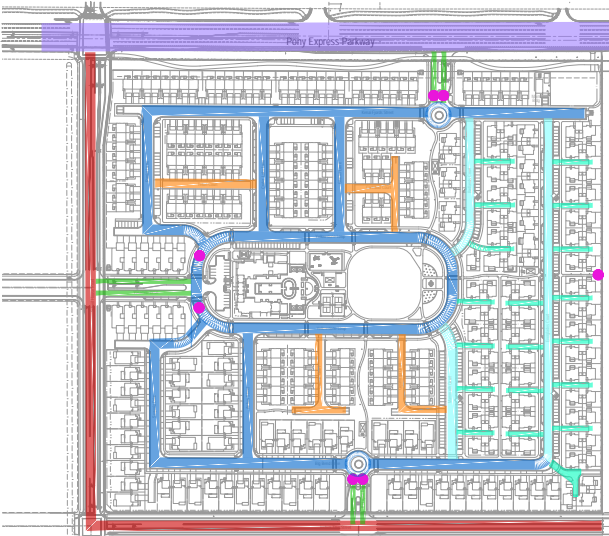


180' Major Arterial

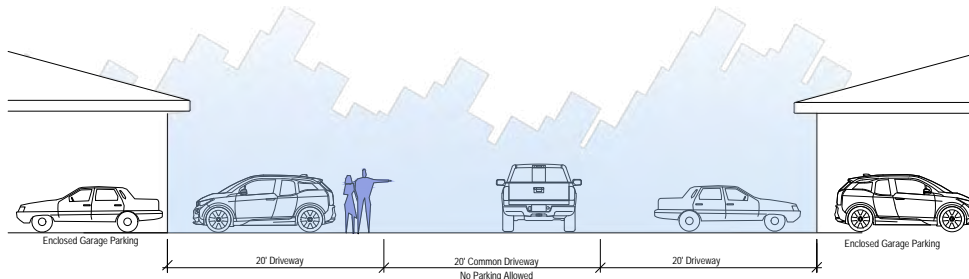
Includes 27' right-of-way on south side of section line to accommodate full right-of-way and additional 30' trail



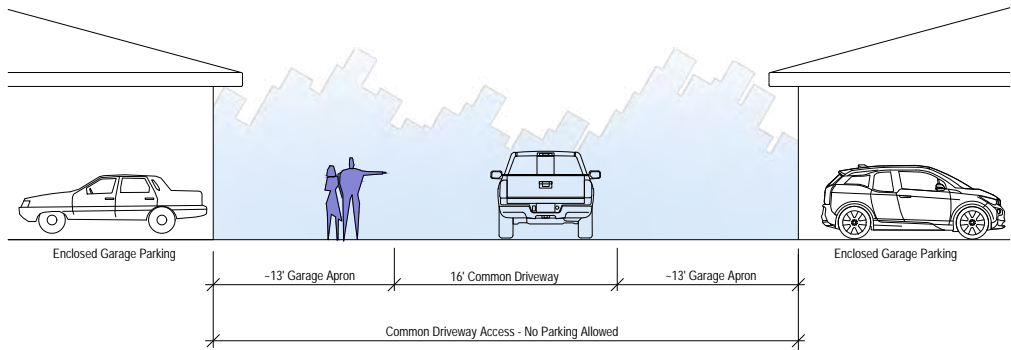
Typical Street Cross-sections



Typical Parking Drive  
See site plan for variations



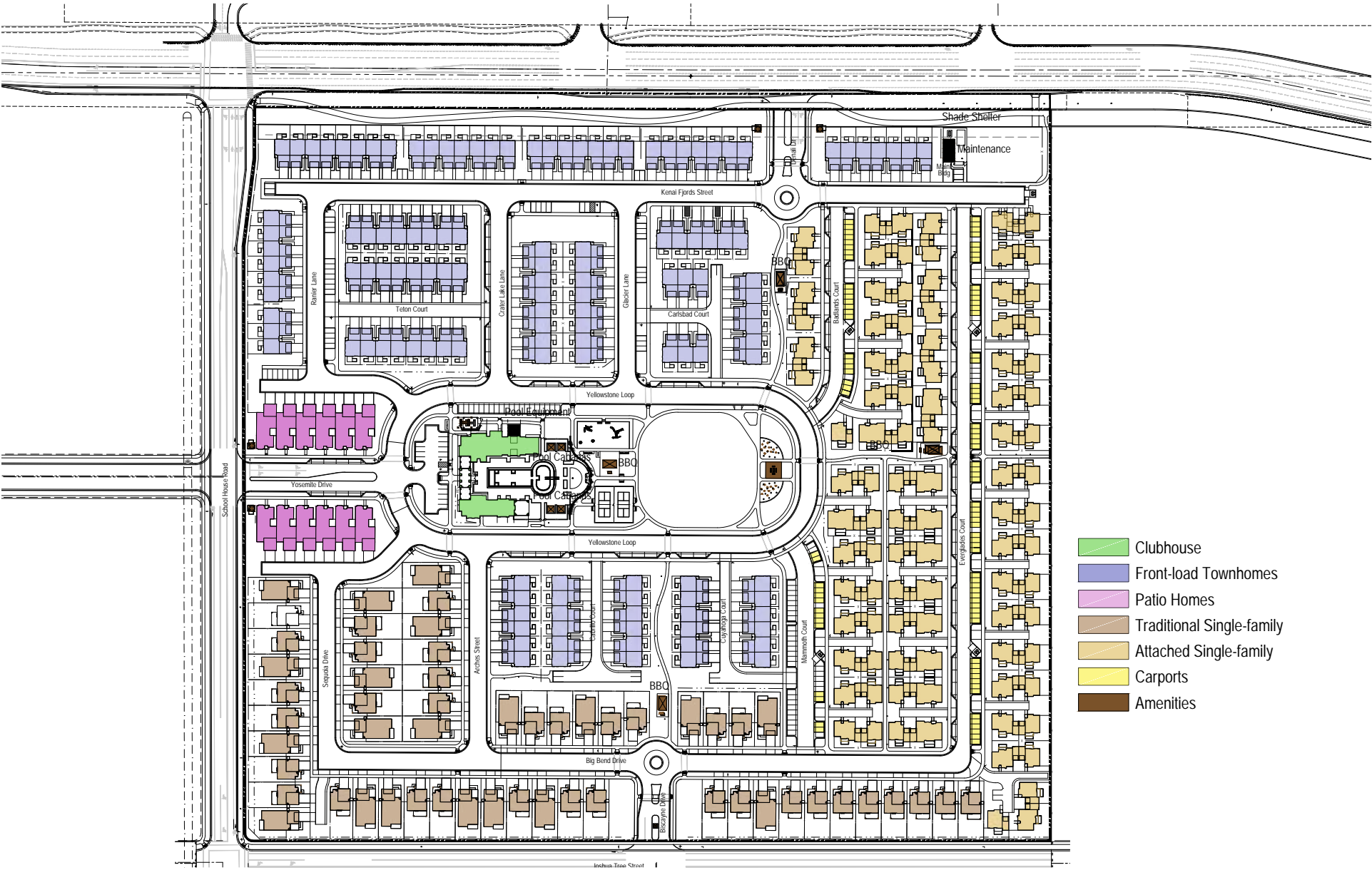
Typical Alley Drive  
See site plan for variations



Typical Attached Multi-family Shared Drive  
See site plan for variations

# Design Guidelines

## Building Types



# Design Guidelines

## Building Facades

### Upgraded Facade

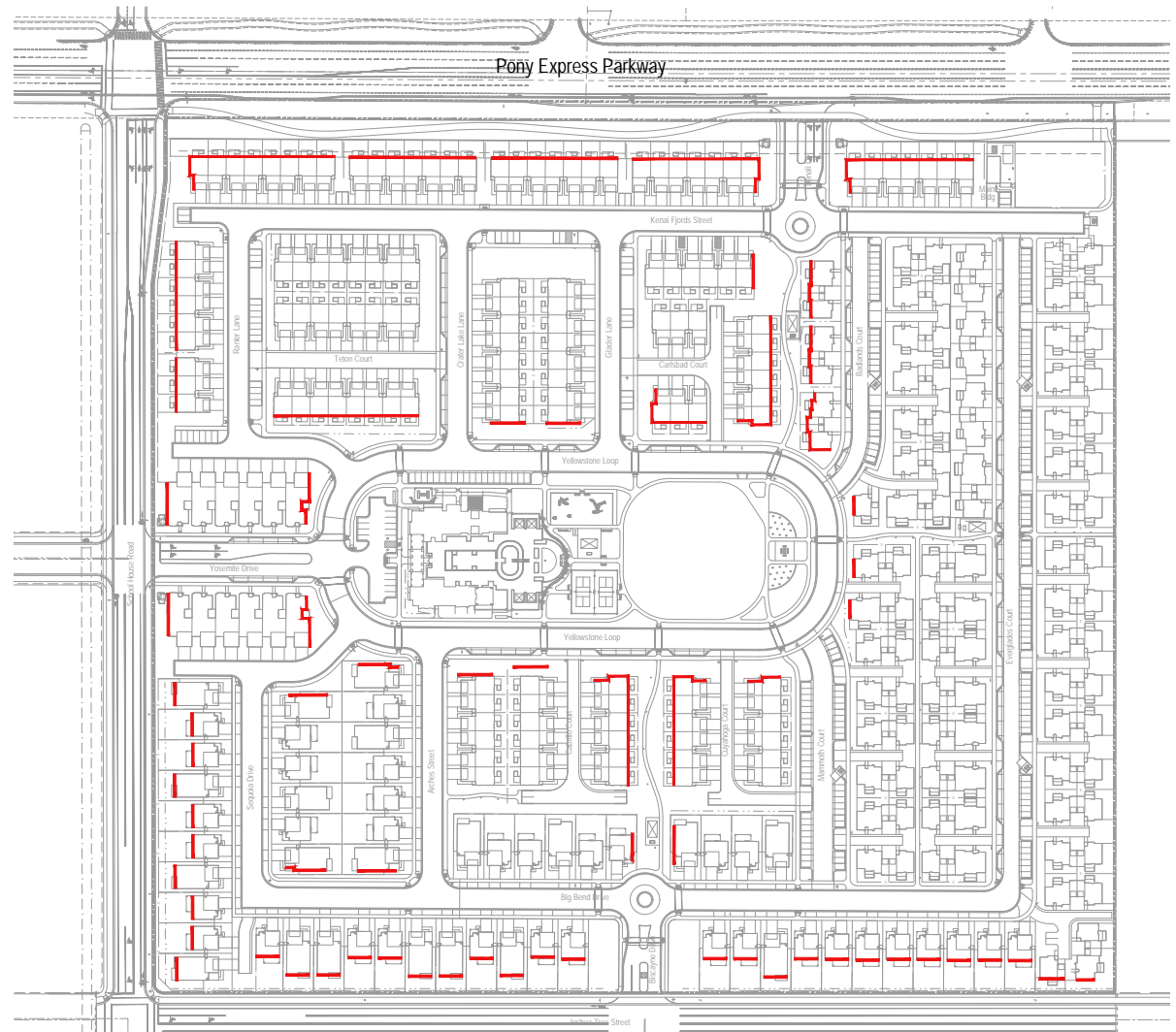
Highlighted facades shall be treated as a front facade with 25% Preferred Primary Materials and/or additional architectural features to include two or more of the following elements:

- Roof changes
- Breaks or popouts in facade walls
- Additional building trim or window treatments
- Box or Bay windows
- Color change

### Architectural Review Committee

In order to create, maintain and improve the integrity of the community and to establish and implement a consistent and harmonious design concept and to protect and promote the present and future values of the larger development, all exterior architectural building elevations and building materials, colors and usage design, site plan and landscape treatments, walls and fencing, and signage within the village shall be subject to a design review process and approval established by the Master Developer.

The committee shall consist of representatives from the following: The Master Developer and a selected team of design professionals, i.e. planners, engineers, architects, contractors, etc. The committee will review proposed materials as well as architectural and site plans for compliance with guiding principles set forth in the Community Plan



and Village Plan guidelines.

Applicants are responsible for submitting evidence of ARC approval to the city at the time of building permit application. The Master Developer shall retain the

right to retain or replace members of the committee at its discretion. The Architectural Review Committee shall be the approval body until the Village Plan is fully built out, at which time it can transition responsibilities over to the management of the project.



## Building Types

### Clubhouse

#### Amenities:

- Leasing Office
- Event Room
- Fitness Center
- Remote Work Space
- Fitness Classes
- Outdoor fitness patio
- Pool
- Hot Tub
- Pool Deck Cabanas
- Lazy River
- Splash Pad
- Pool Equipment Room



Clubhouse



#### Parking Requirements

1 Space per 750 Sq Ft of floor area

Building Types  
Clubhouse



North Elevation

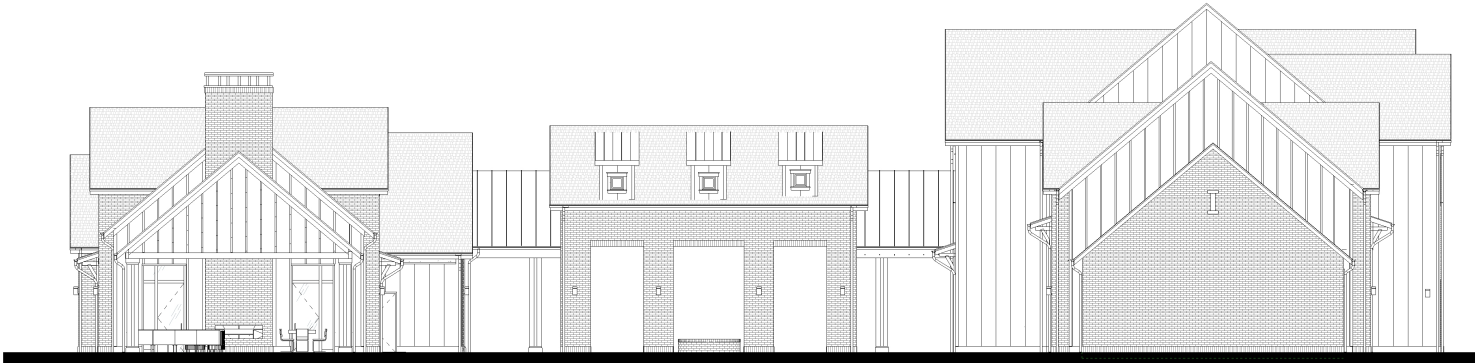


South Elevation

Building Types  
Clubhouse



West Elevation



East Elevation



**Building Types**  
1-Level Single-family

**Single-family Lots**

*Dwelling, Single Family*

**Unit Features**

- 2-Car Garage each unit
- Rambler option
- 2-level option
- **3 & 4 bedroom models**
- Private, fenced back yards
- Basements
- Guest parking in driveways

**Parking Requirements (Per 19.09.10)**

2 stalls per dwelling enclosed in garages.  
Driveways to be 20' in length.



Elevation A



Rendering



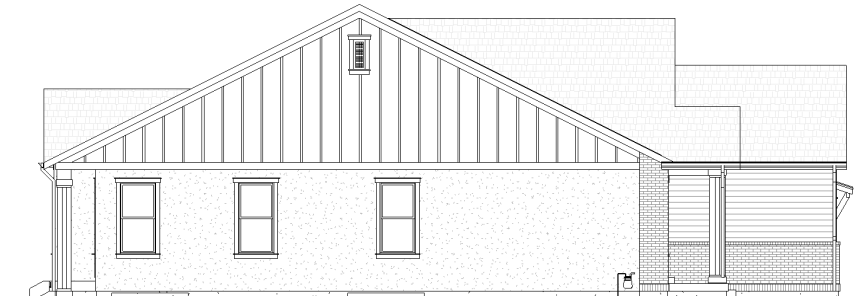
Elevation A - Front



Elevation A - Right



Elevation A - Rear



Elevation A - Left

**Building Types**  
1-Level Single-family

**Single-family Lots**

*Dwelling, Single Family*

**Unit Features**

- 2-Car Garage each unit
- Rambler option
- 2-level option
- **3 & 4 bedroom models**
- Private, fenced back yards
- Basements
- Guest parking in driveways

**Parking Requirements (Per 19.09.10)**

2 stalls per dwelling enclosed in garages.  
Driveways to be 20' in length.



Elevation B



Rendering



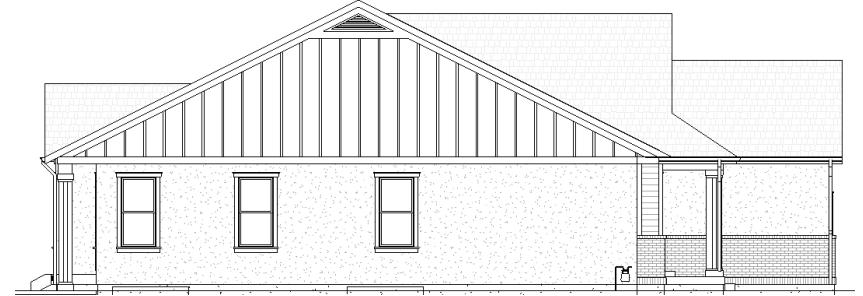
Elevation B - Front



Elevation B - Right



Elevation B - Rear



Elevation B - Left



**Building Types**  
2-Level Single-family

## Single-family Lots

*Dwelling, Single Family*

### Unit Features

- 2-Car Garage each unit
- Rambler option
- 2-level option
- **3 & 4 bedroom models**
- Private, fenced back yards
- Basements
- Guest parking in driveways

### Parking Requirements

2 stalls per dwelling enclosed in garages. Driveways to be 20' in length.



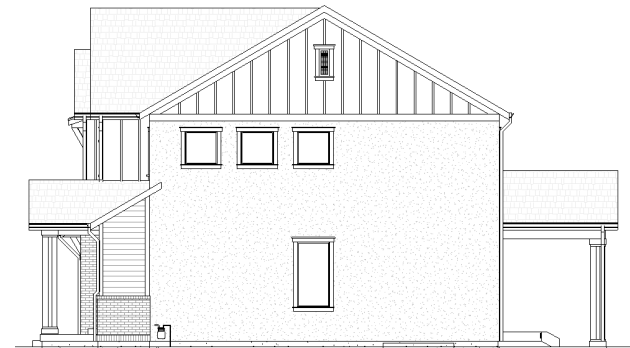
Elevation A



Rendering



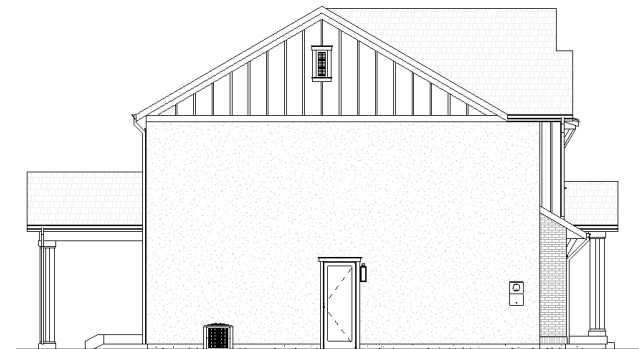
Elevation A - Front



Elevation A - Right



Elevation A - Rear



Elevation A - Left

**Building Types**  
2-Level Single-family

**Single-family Lots**

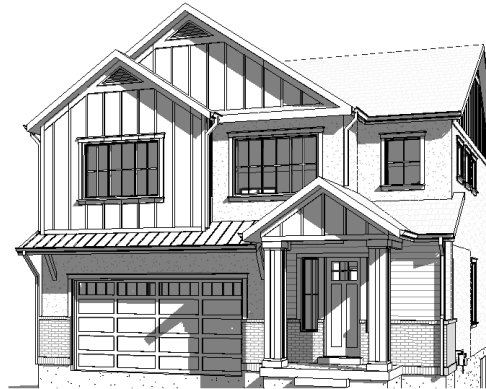
*Dwelling, Single Family*

**Unit Features**

- 2-Car Garage each unit
- Rambler option
- 2-level option
- **3 & 4 bedroom models**
- Private, fenced back yards
- Basements
- Guest parking in driveways

**Parking Requirements**

2 stalls per dwelling enclosed in garages. Driveways to be 20' in length.



Elevation B



Rendering



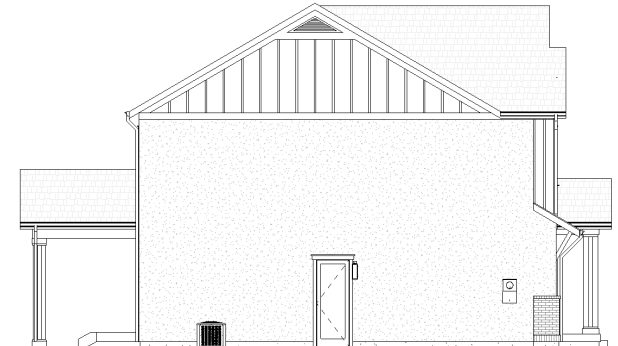
Elevation B - Front



Elevation B - Right



Elevation B - Rear



Elevation B - Left

### Building Types

Front-loaded Townhomes: 6-plex  
(Typical of 3, 7, & 8-Plex Buildings)

## Townhomes

*Dwelling, Multi-family*

### Typical Unit Features

- 3 Bedrooms
- Basements
- Fenced back yards
- 2-Car Garages



Elevation A



Rendering



Elevation A - Front

### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit,  
whichever is lower one of which must  
be enclosed.

0.25 Guest Spaces per dwelling unit\*  
*counted as guest parking spaces*

### Building Types

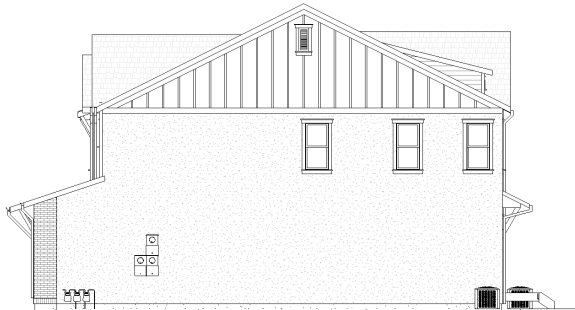
Front-loaded Townhomes: 6-plex  
(Typical of 3, 7, & 8-Plex Buildings)

## Townhomes

*Dwelling, Multi-family*

### Typical Unit Features

- 3 Bedrooms
- Basements
- Fenced back yards
- 2-Car Garages

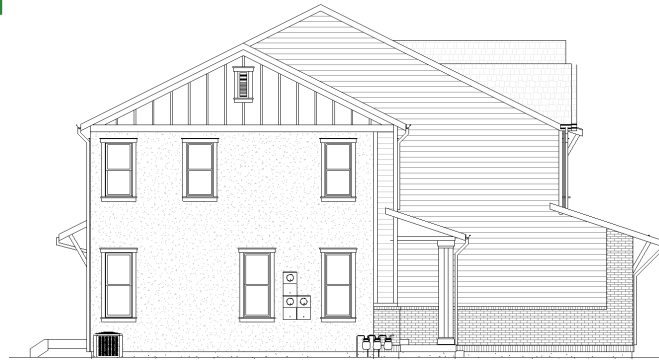


Elevation A - Reversed End Unit  
(3- & 7- Plex Buildings)

### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit,  
whichever is lower one of which must  
be enclosed.

0.25 Guest Spaces per dwelling unit\*  
*counted as guest parking spaces*



Elevation A - Left



Elevation A - Right



Elevation A - Rear



Elevation A - Rear Perspective



### Building Types

Front-loaded Townhomes: 6-plex  
(Typical of 3, 7, & 8-Plex Buildings)

## Townhomes

*Dwelling, Multi-family*

### Typical Unit Features

- 3 Bedrooms
- Basements
- Fenced back yards
- 2-Car Garages



Elevation B



Rendering



Elevation B - Front

### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit,  
whichever is lower one of which must  
be enclosed.

0.25 Guest Spaces per dwelling unit\*  
*counted as guest parking spaces*

### Building Types

Front-loaded Townhomes: 6-plex  
(Typical of 3, 7, & 8-Plex Buildings)

## Townhomes

*Dwelling, Multi-family*

### Typical Unit Features

- 3 Bedrooms
- Basements
- Fenced back yards
- 2-Car Garages



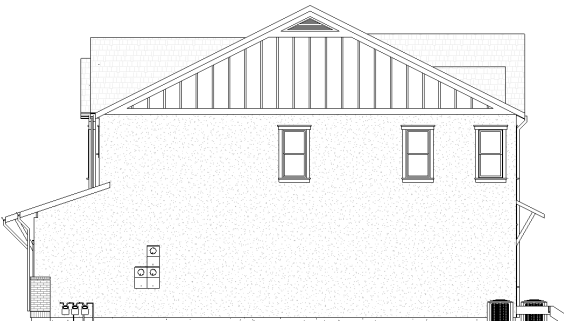
Elevation B - Left



Elevation B - Right



Elevation B - Rear



Elevation B - Reversed End Unit  
(3- & 7- Plex Buildings)



Elevation B - Rear Perspective

### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit,  
whichever is lower one of which must  
be enclosed.

0.25 Guest Spaces per dwelling unit\*  
*counted as guest parking spaces*



## Building Types

Patio Townhomes: 6-plex

## Patio Townhomes

*Dwelling, Multi-family*

### Typical Unit Features

- 3 Bedrooms
- 2-Car Garages



Rendering



Front Elevation

### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit, whichever is lower one of which must be enclosed.

0.25 Guest Spaces per dwelling unit\*  
*counted as guest parking spaces*

## Building Types

Patio Townhomes: 6-plex

## Patio Townhomes

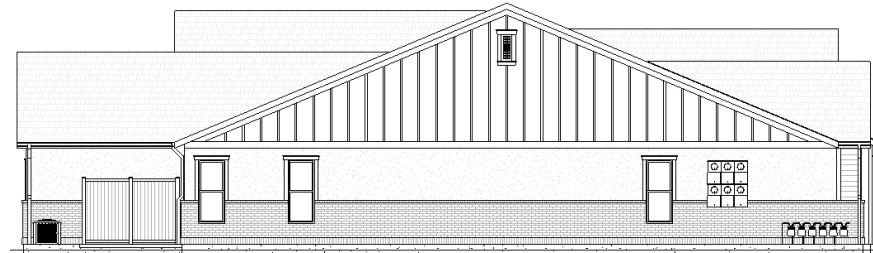
*Dwelling, Multi-family*

### Typical Unit Features

- 3 Bedrooms
- 2-Car Garages



Right Elevation



Left Elevation



Rear Elevation

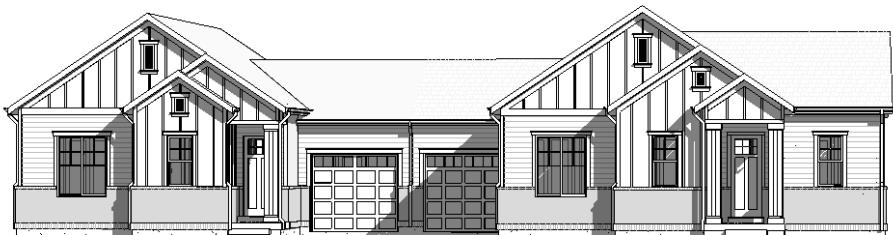
### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit, whichever is lower one of which must be enclosed.

0.25 Guest Spaces per dwelling unit\*  
*counted as guest parking spaces*

Building Types  
Attached Multi-family

1-Bed / 2-Bed Horizontal Apartment



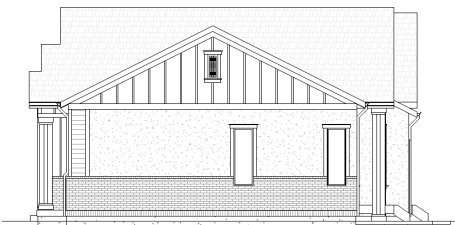
Elevation A



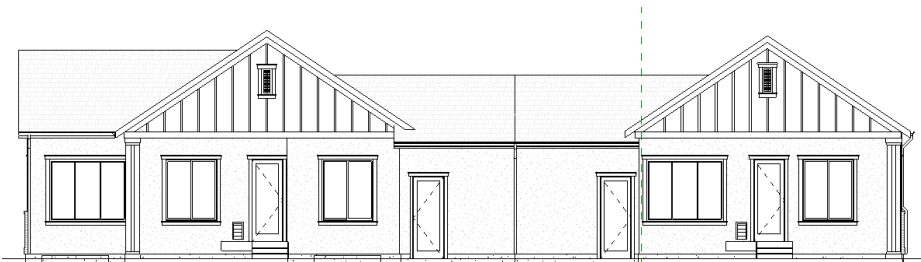
Rendering



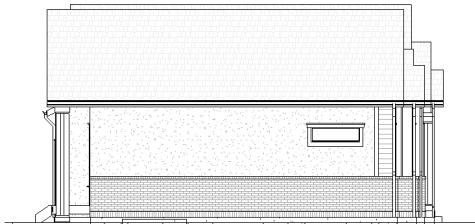
Elevation A - Front



Elevation A - Right



Elevation A - Rear



Elevation A - Left

Building Types  
Attached Multi-family

1-Bed / 2-Bed Horizontal Apartment



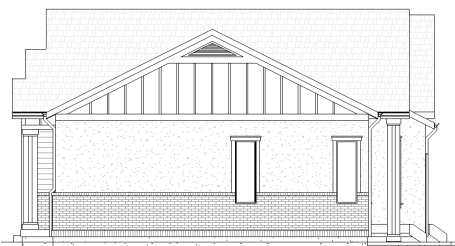
Elevation B



Rendering



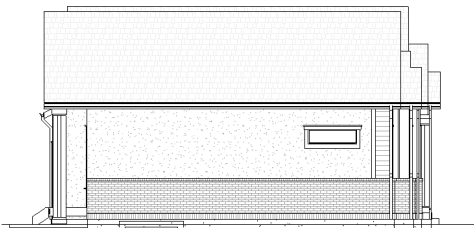
Elevation B - Front



Elevation B - Right



Elevation B - Rear



Elevation B - Left

Building Types  
Attached Multi-family

1-Bed / 3-Bed Horizontal Apartment



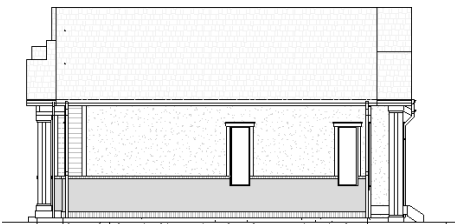
Elevation A



Rendering



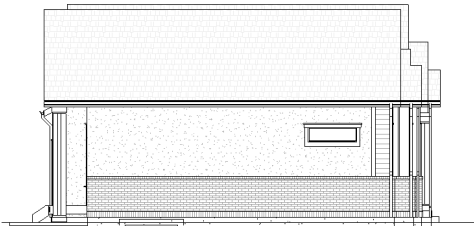
Elevation A - Front



Elevation A - Right



Elevation A - Rear



Elevation A - Left



Building Types  
Attached Multi-family

1-Bed / 3-Bed Horizontal Apartment



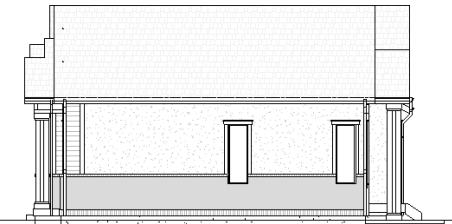
Elevation B



Rendering



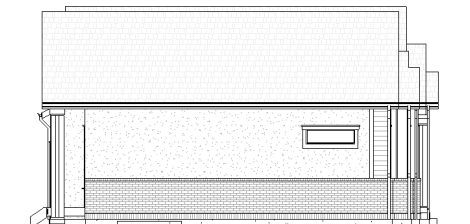
Elevation B - Front



Elevation B - Right



Elevation B - Rear



Elevation B - Left



Building Types  
Attached Multi-family

2-Bed / 2-Bed Horizontal Apartment



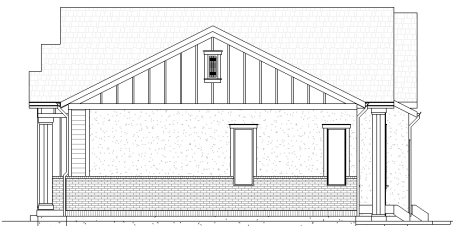
Elevation A



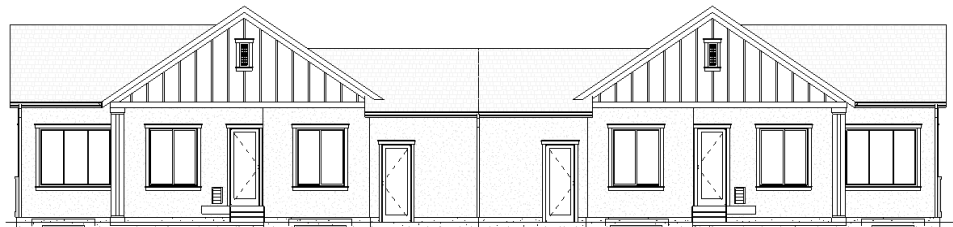
Rendering



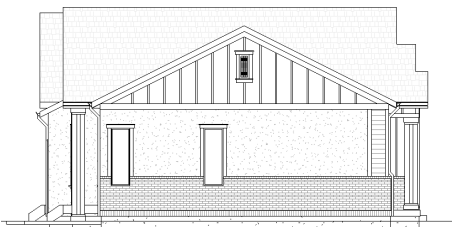
Elevation A - Front



Elevation A - Right



Elevation A - Rear



Elevation A - Left

Building Types  
Attached Multi-family

2-Bed / 2-Bed Horizontal Apartment



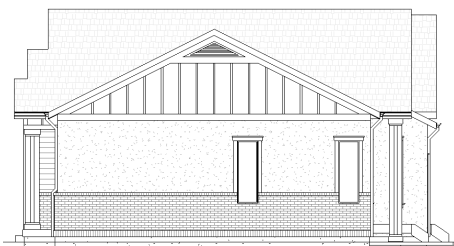
Elevation B



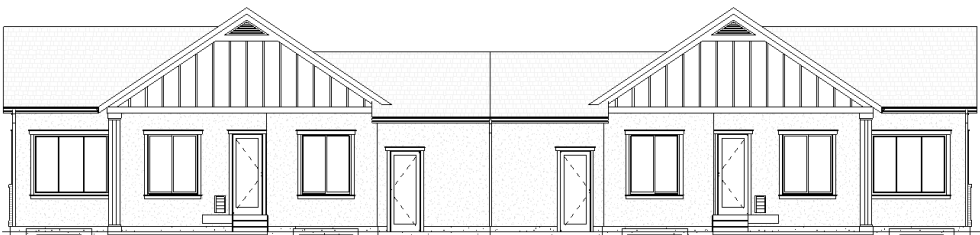
Rendering



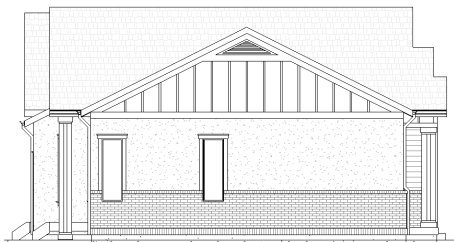
Elevation B - Front



Elevation B - Right



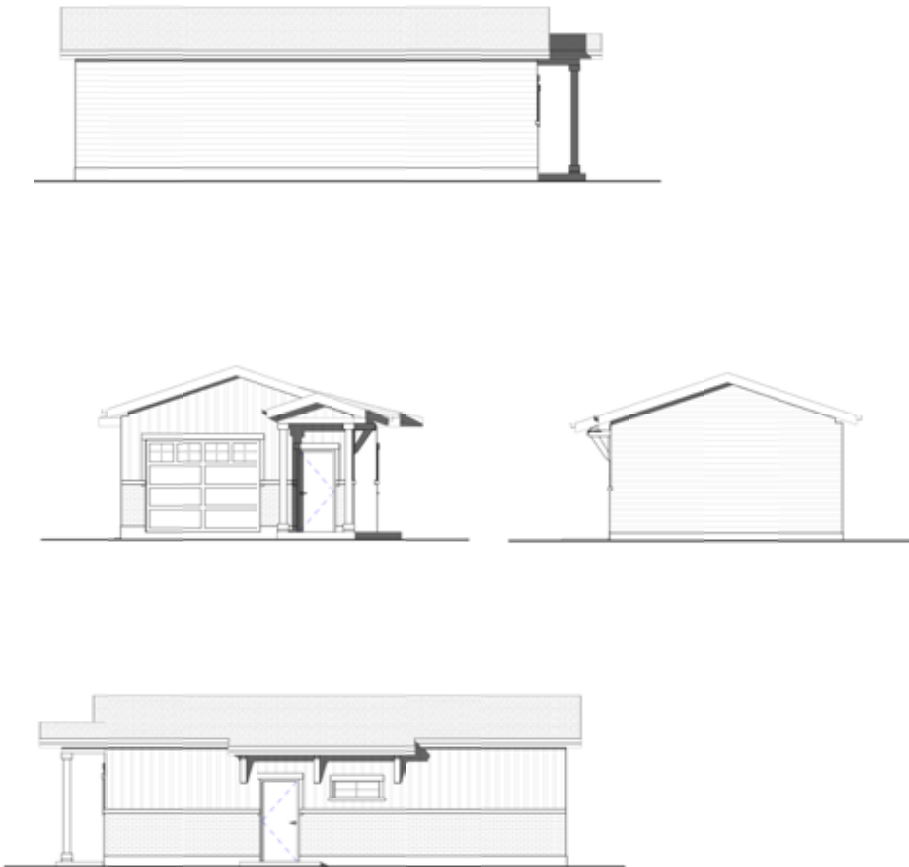
Elevation B - Rear



Elevation B - Left

Building Types

Maintenance Building



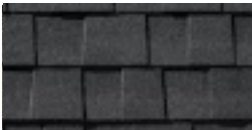
Building Color Palette

Typical Color Palettes

EXTERIOR COLOR SCHEME 1

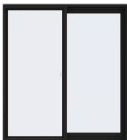
ROOF MATERIAL:

GAF – Timberline NS Shingles  
Color: CHARCOAL



WINDOWS: (PER PLAN)

Amsco - Studio Series Low-E Vinyl  
Window Grids per plan  
Color: BLACK EXTERIOR  
w /WHITE INTERIOR



STAIRS/DECKING: (per plan)

Trex Enhance - Honey Grove



HOUSE NUMBERS:

Sure-Loc 5" Zinc HN5 FBL  
Color: FLAT BLACK

789

DRIP EDGE/SOFFIT/FASCIA/GUTTERS:

Mastic-PlyGem Aluminum  
Color: DARK BRONZE  
(Foundation Drip: Alside Natural Linen 55)



METAL ROOF/AWNING: (IF APPL PER PLAN)

Color: DARK BRONZE



GARAGE DOOR:

CHI 4251 – Raised Long Panel w/  
Madison Windows  
Color: SANDSTONE



ENTRY DOOR STYLE & HARDWARE:

Masonite 8' Winslow Fiberglass Paint-grade  
w/ Glass 6 Lite Grids (no shelf)  
Door Color: SEE BELOW  
Hardware Finish: Matte Black



BODY COLOR 1:

Textured Fiber Cement  
Horizontal Lap Siding  
Color: ANEW GRAY SW7030

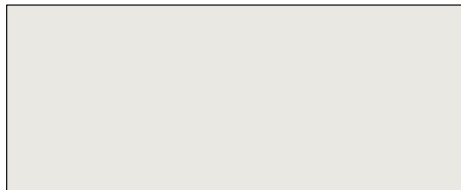


STUCCO COLOR :

Color-matched to SW paint color  
Color: ALABASTER SW7008

BODY COLOR 2:

Textured Fiber Cement  
Board & Batten  
Color: ALABASTER SW7008



TRIM: (+ PORCH COLUMNS)

Fiber Cement Trim  
Color: ALABASTER SW7008

ENTRY DOOR:

Sherwin Williams Paint  
Color: IRON ORE SW7069



SHUTTERS: (IF APPL. PER PLAN)

Color: ATTITUDE GRAY SW7060



MASONRY: (FULL-SIZE BRICK, NOT THIN-BRICK VENEER)

INTERSTATE BRICK

Color: CAPE COD  
Mortar/Grout Color:  
CUSTOM – NEW TAUPE 185

Note: PRODUCTS ARE PRESENT PER PLAN ONLY. COLORS & TEXTURES MAY NOT ACCURATELY REPRESENT FINAL PRODUCTS DUE TO VARIABLES IN MATERIALS, SAMPLE PHOTOS, PRINTING, ETC. ALL IMAGERY PRESENTED IS REPRESENTATIONAL AND TO BE USED FOR GENERIC PURPOSES.

Building Color Palette

Typical Color Palettes

EXTERIOR COLOR SCHEME 2

ROOF MATERIAL:

GAF – Timberline NS Shingles  
Color: CHARCOAL



WINDOWS: (PER PLAN)

Amsco - Studio Series Low-E Vinyl  
Window Grids per plan  
Color: WHITE



STAIRS/DECKING: (per plan)

Trex Enhance - Honey Grove



HOUSE NUMBERS:

Sure-Loc 5" Zinc HN5 FBL  
Color: FLAT BLACK

789

DRIP EDGE/SOFFIT/FASCIA/GUTTERS:

Mastic-PlyGem Aluminum  
Color: DARK BRONZE  
(Foundation Drip: Alside Monterey Sand V5)



METAL ROOF/AWNING: (IF APPL PER PLAN)

Color: DARK BRONZE



GARAGE DOOR:

CHI 4251 – Raised Long Panel w/  
Madison Windows  
Color: BROWN

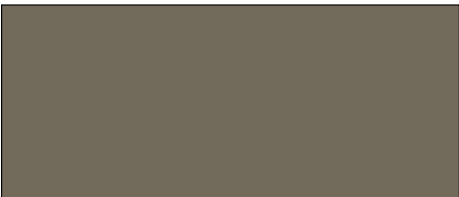


ENTRY DOOR STYLE & HARDWARE:

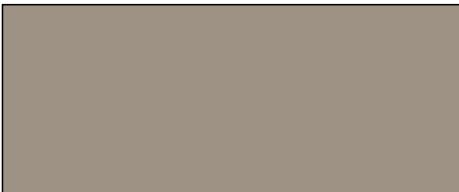
Masonite 8' Winslow Fiberglass Paint-grade  
w/ Glass 6 Lite Grids (no shelf)  
Door Color: SEE BELOW  
Hardware Finish: Matte Black



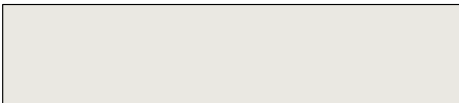
**BODY COLOR 1:**  
Textured Fiber Cement  
Horizontal Lap Siding  
Color: COCOON SW6173



**BODY COLOR 2:**  
Textured Fiber Cement  
Board & Batten  
Color: KEYSTONE GRAY SW7504

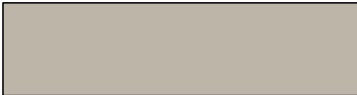


**ENTRY DOOR:**  
Sherwin Williams Paint  
Color: ALABASTER SW7008



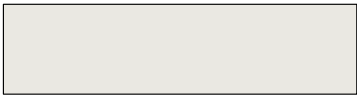
STUCCO COLOR :

Color-matched to SW paint color  
Color: AMAZING GRAY SW7044



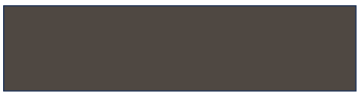
TRIM: (+ PORCH COLUMNS)

Fiber Cement Trim  
Color: ALABASTER SW7008



SHUTTERS: (IF APPL. PER PLAN)

Color: BLACK FOX SW7020



MASONRY: (FULL-SIZE BRICK, NOT THIN-BRICK VENEER)

INTERSTATE BRICK - HEBRON

Color: SMOKEHOUSE

Mortar/Grout Color:  
CUSTOM – TRUFFLE 540



Note: PRODUCTS ARE PRESENT PER PLAN ONLY. COLORS & TEXTURES MAY NOT ACCURATELY REPRESENT FINAL PRODUCTS DUE TO VARIABLES IN MATERIALS, SAMPLE PHOTOS, PRINTING, ETC. ALL IMAGERY PRESENTED IS REPRESENTATIONAL AND TO BE USED FOR GENERIC PURPOSES.



## Building Color Palette

### Typical Color Palettes

#### EXTERIOR COLOR SCHEME 3

##### ROOF MATERIAL:

GAF – Timberline NS Shingles  
Color: CHARCOAL



##### WINDOWS: (PER PLAN)

Amsco - Studio Series Low-E Vinyl  
Window Grids per plan  
Color: WHITE



##### STAIRS/DECKING: (per plan)

Trex Enhance - Honey Grove



##### HOUSE NUMBERS:

Sure-Loc 5" Zinc HN5 FBL  
Color: FLAT BLACK

789

##### DRIP EDGE/SOFFIT/FASCIA/GUTTERS:

Mastic-PlyGem Aluminum  
Color: LINEN  
(Foundation Drip: Alside Cape Cod Gray V3)



##### METAL ROOF/AWNING: (IF APPL PER PLAN)

Color: DARK BRONZE



##### GARAGE DOOR:

Wayne Dalton 9100 – Ranch Panel w/  
Stockbridge Windows  
Color: WHITE



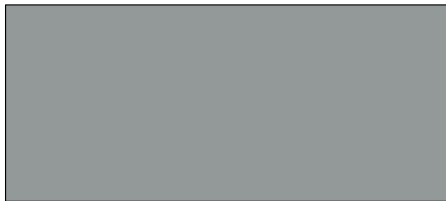
##### ENTRY DOOR STYLE & HARDWARE:

Masonite 8' Winslow Fiberglass Paint-grade  
w/ Glass 6 Lite Grids (no shelf)  
Door Color: SEE BELOW  
Hardware Finish: Satin Nickel



##### BODY COLOR 1:

Textured Fiber Cement  
Horizontal Lap Siding  
Color: ARGOS SW7065

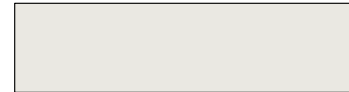


##### STUCCO COLOR :

Color-matched to SW paint color  
Color: GRAY MATTERS SW7066

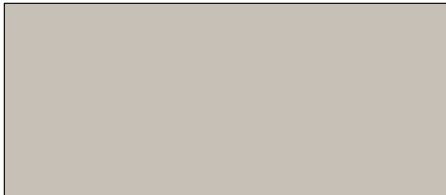
##### TRIM: (+ PORCH COLUMNS)

Fiber Cement Trim  
Color: ALABASTER SW7008



##### BODY COLOR 2:

Textured Fiber Cement  
Board & Batten  
Color: COLONNADE GRAY SW7641

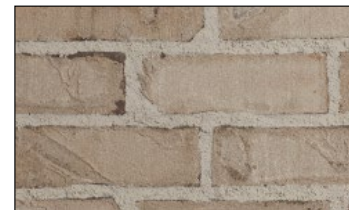


##### SHUTTERS: (IF APPL. PER PLAN)

Color: BACKDROP SW7025

##### MASONRY: (FULL-SIZE BRICK, NOT THIN-BRICK VENEER)

BEEHIVE BRICK – GLEN-GERY  
Color: WILLIAMSBURG STONE CITY  
Mortar/Grout Color:  
CUSTOM – MUSHROOM 135



##### ENTRY DOOR:

Sherwin Williams Paint  
Color: ALABASTER SW7008



Note: PRODUCTS ARE PRESENT PER PLAN ONLY. COLORS & TEXTURES MAY NOT ACCURATELY REPRESENT FINAL PRODUCTS DUE TO VARIABLES IN MATERIALS, SAMPLE PHOTOS, PRINTING, ETC. ALL IMAGERY PRESENTED IS REPRESENTATIONAL AND TO BE USED FOR GENERIC PURPOSES.

## Building Color Palette

### Typical Color Palettes

#### EXTERIOR COLOR SCHEME 4

**ROOF MATERIAL:**

GAF – Timberline NS Shingles  
Color: CHARCOAL

**DRIP EDGE/SOFFIT/FASCIA/GUTTERS:**

Mastic-PlyGem Aluminum  
Color: DARK BRONZE  
(Foundation Drip: Alside Monterey Sand V5)

**METAL ROOF/AWNING:** (IF APPL PER PLAN)

Color: DARK BRONZE

**WINDOWS:** (PER PLAN)

Amsco - Studio Series Low-E Vinyl  
Window Grids per plan  
Color: BLACK EXTERIOR  
w /WHITE INTERIOR

**GARAGE DOOR:**

CHI 4251 – Raised Long Panel w/  
Madison Windows  
Color: BRONZE

**STAIRS/DECKING:** (per plan)

Trex Enhance - Honey Grove

**HOUSE NUMBERS:**

Sure-Loc 5" Zinc HN5 FBL  
Color: FLAT BLACK

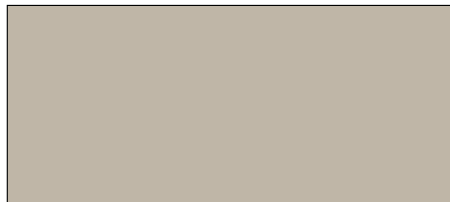
789

**ENTRY DOOR STYLE & HARDWARE:**

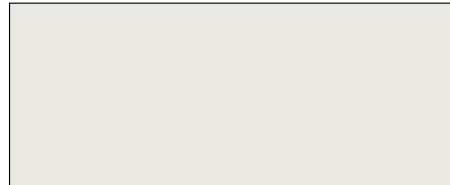
Masonite 8' Winslow Fiberglass Paint-grade  
w/ Glass 6 Lite Grids (no shelf)  
Door Color: SEE BELOW  
Hardware Finish: Satin Nickel

**BODY COLOR 1:**

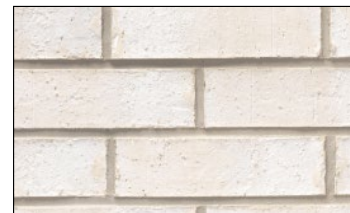
Textured Fiber Cement  
Horizontal Lap Siding  
Color: ANALYTICAL GRAY SW7051

**BODY COLOR 2:**

Textured Fiber Cement  
Board & Batten  
Color: ALABASTER SW7008

**ENTRY DOOR:**

Sherwin Williams Paint  
Color: URBAN BRONZE SW7048

**STUCCO COLOR :**

Color-matched to SW paint color  
Color: ANALYTICAL GRAY SW7051

**TRIM:** (+ PORCH COLUMNS)

Fiber Cement Trim  
Color: ALABASTER SW7008

**SHUTTERS:** (IF APPL. PER PLAN)

Color: CAST IRON SW6202

**MASONRY:** (FULL-SIZE BRICK, NOT THIN-BRICK VENEER)

BEEHIVE BRICK - ACME

Color: WHITE BLUFF KS

Mortar/Grout Color:  
CUSTOM – ANTIQUE WHITE 10

Note: PRODUCTS ARE PRESENT PER PLAN ONLY. COLORS & TEXTURES MAY NOT ACCURATELY REPRESENT FINAL PRODUCTS DUE TO VARIABLES IN MATERIALS, SAMPLE PHOTOS, PRINTING, ETC. ALL IMAGERY PRESENTED IS REPRESENTATIONAL AND TO BE USED FOR GENERIC PURPOSES.

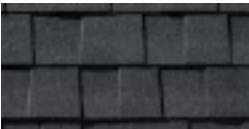
Building Color Palette

Typical Color Palettes

EXTERIOR COLOR SCHEME 5

ROOF MATERIAL:

GAF – Timberline NS Shingles  
Color: CHARCOAL



WINDOWS:

(PER PLAN)  
Amsco - Studio Series Low-E Vinyl  
Window Grids per plan  
Color: WHITE



STAIRS/DECKING:

(per plan)  
Trex Enhance - Honey Grove



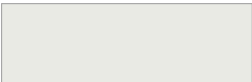
HOUSE NUMBERS:

Sure-Loc 5" Zinc HN5 FBL  
Color: FLAT BLACK

789

DRIP EDGE/SOFFIT/FASCIA/GUTTERS:

Mastic-PlyGem Aluminum  
Color: LINEN  
(Foundation Drip: Alside Platinum Gray X2)



METAL ROOF/AWNING:

(IF APPL PER PLAN)  
Color: DARK BRONZE



GARAGE DOOR:

CHI 4251 – Raised Long Panel w/  
Madison Windows  
Color: WHITE



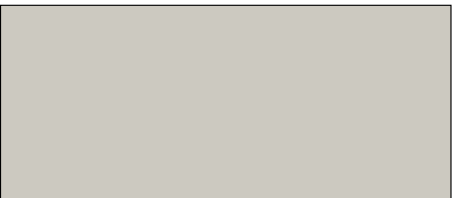
ENTRY DOOR STYLE & HARDWARE:

Masonite 8' Winslow Fiberglass Paint-grade  
w/ Glass 6 Lite Grids (no shelf)  
Door Color: SEE BELOW  
Hardware Finish: Satin Nickel



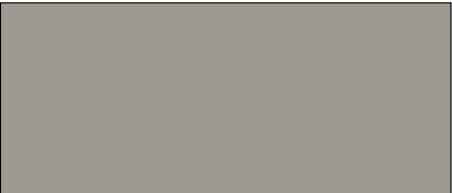
BODY COLOR 1:

Textured Fiber Cement  
Horizontal Lap Siding  
Color: REPOSE GRAY SW7015



BODY COLOR 2:

Textured Fiber Cement  
Board & Batten  
Color: ACIER SW9170



ENTRY DOOR:

Sherwin Williams Paint  
Color: BIG DIPPER SW9645



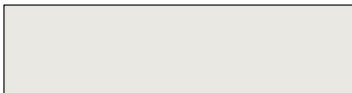
STUCCO COLOR :

Color-matched to SW paint color  
Color: MINDFUL GRAY SW7016



TRIM:

(+ PORCH COLUMNS)  
Fiber Cement Trim  
Color: ALABASTER SW7008



SHUTTERS:

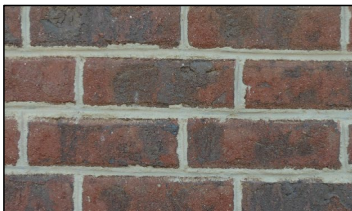
(IF APPL. PER PLAN)  
Color: BIG DIPPER SW9645



MASONRY:

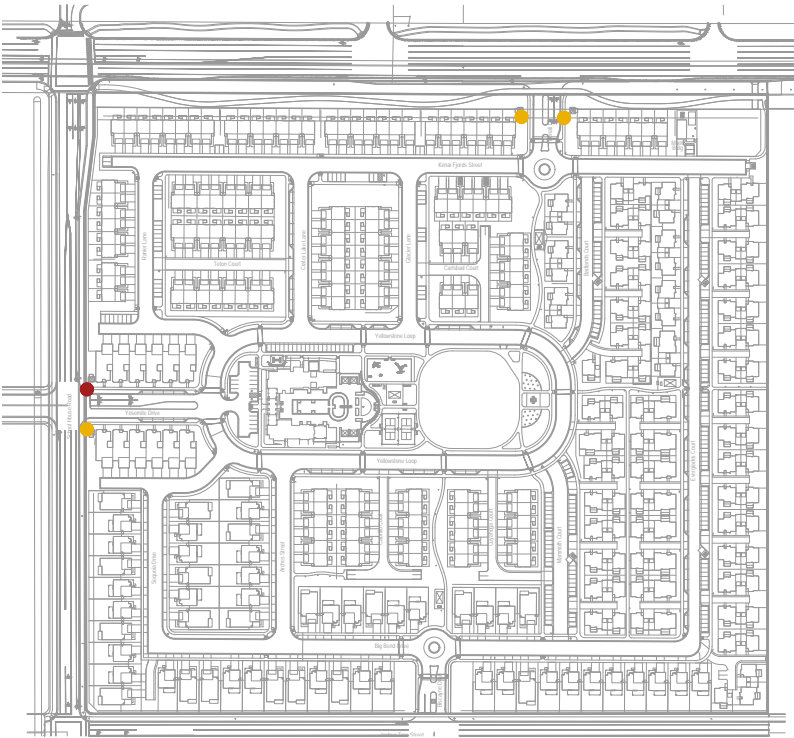
(FULL-SIZE BRICK, NOT THIN-BRICK VENEER)  
INTERSTATE BRICK  
Color: DARTMOUTH

Mortar/Grout Color:  
CUSTOM – SHADOW 644

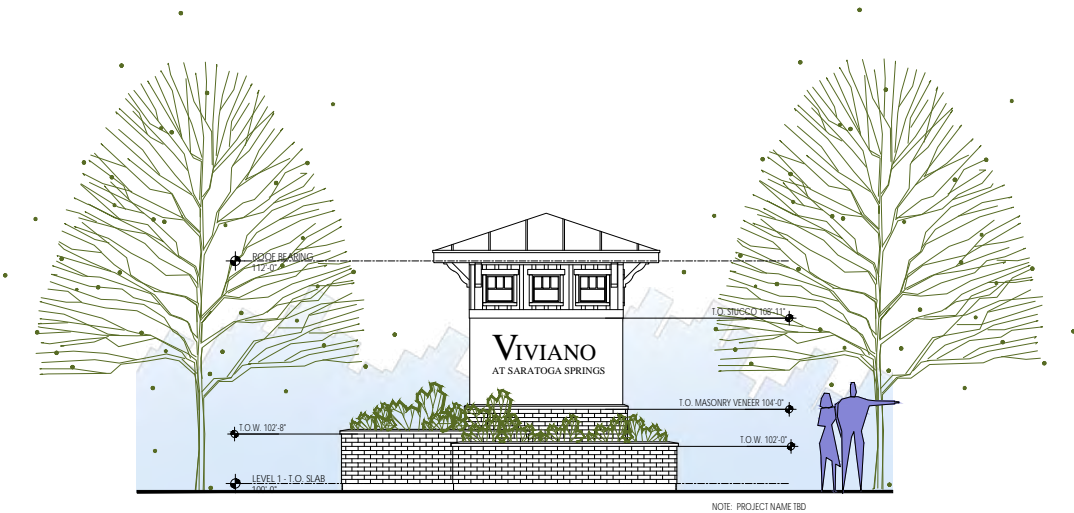


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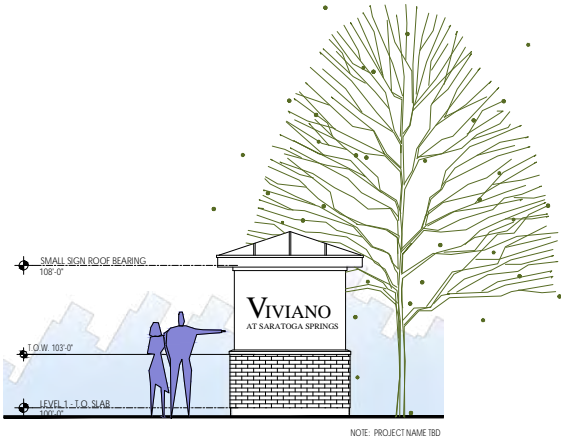
Signage



- Primary Entrance Sign
- Secondary Entrance Sign



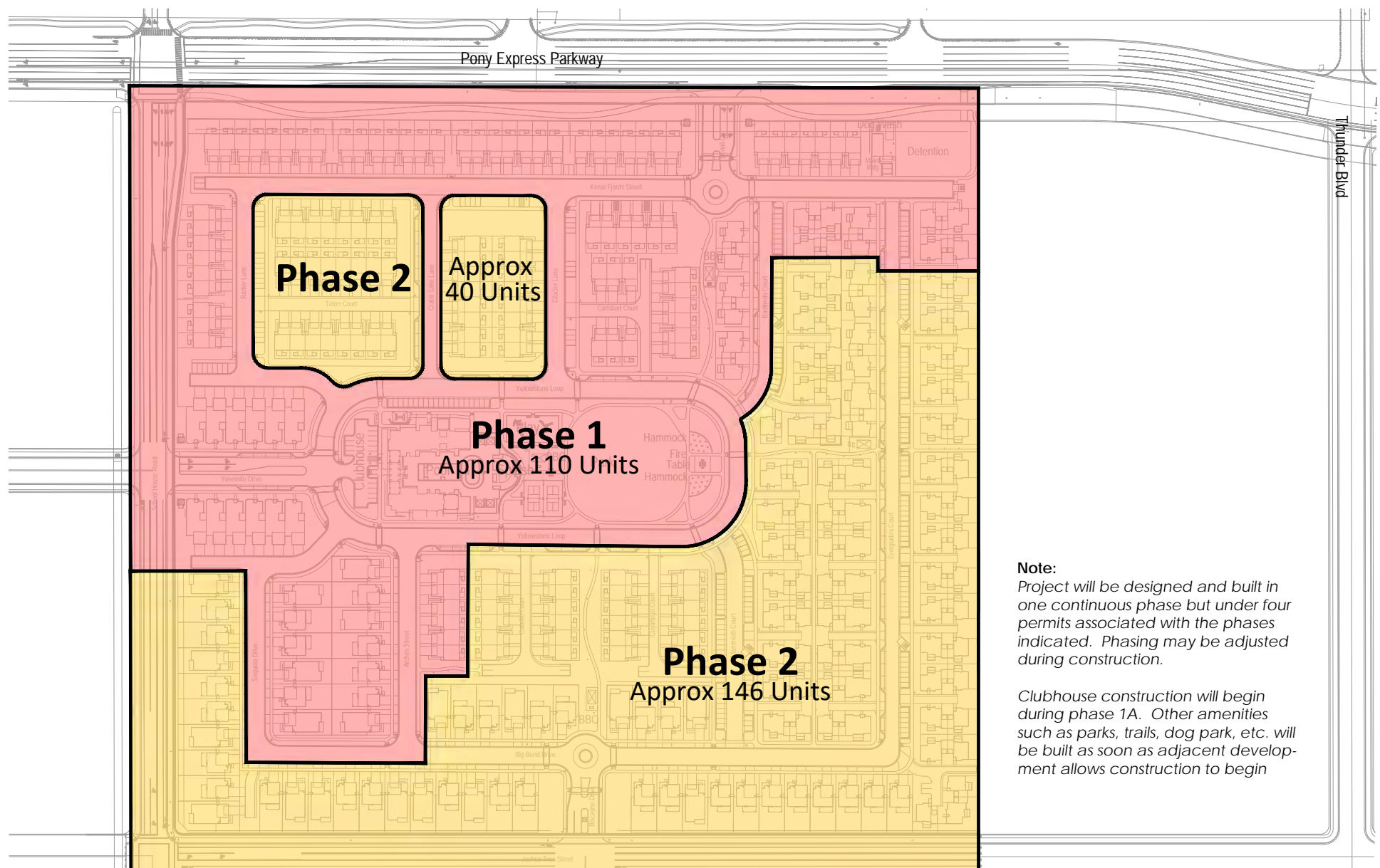
Primary Entrance Monument & Sign



Secondary Entrance Monument & Sign

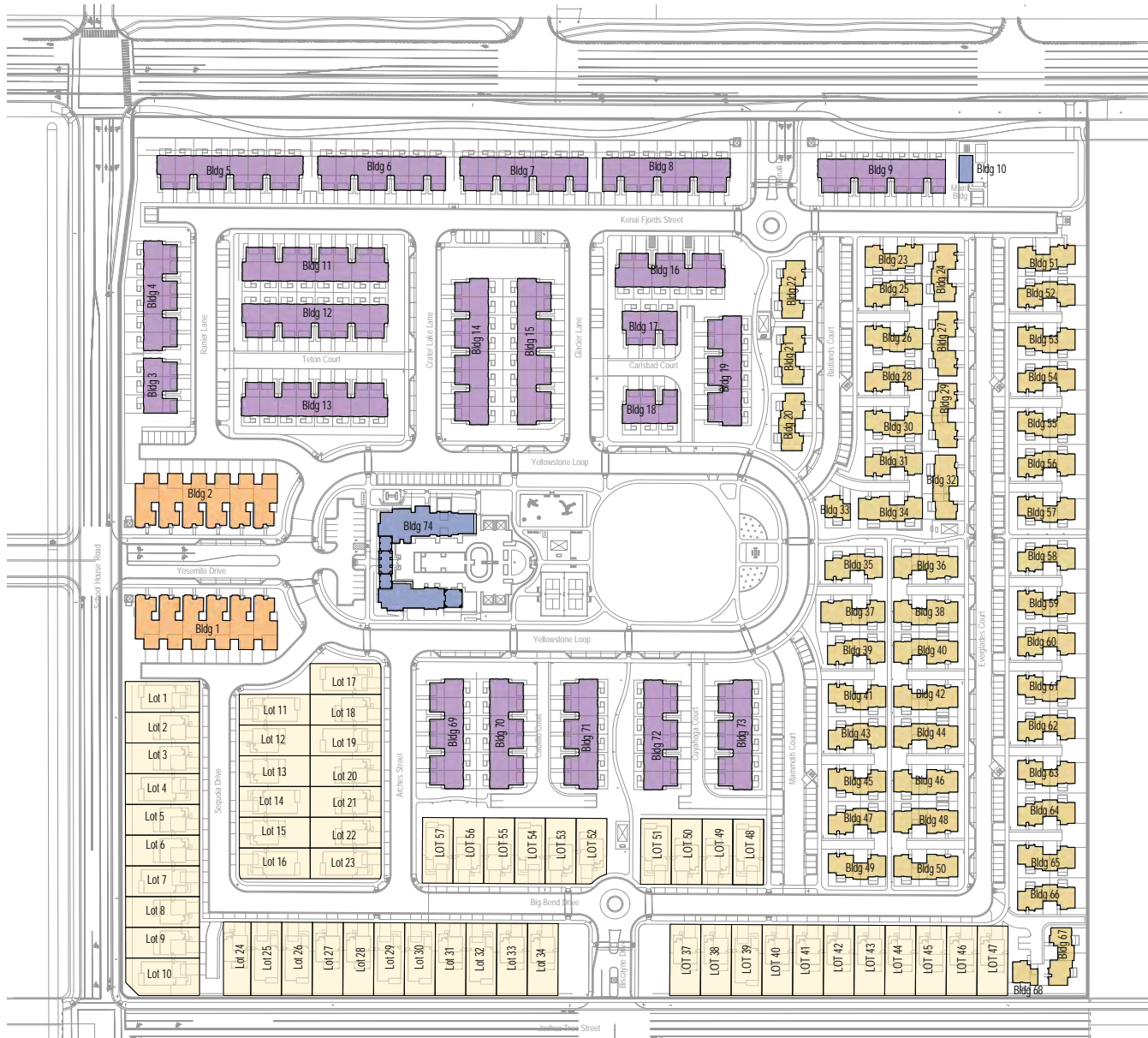
Note: Signage not presented in this plan will need to comply with Title 19.18 Sign Regulations

# Phasing Plan





# Detailed Lotting Plan

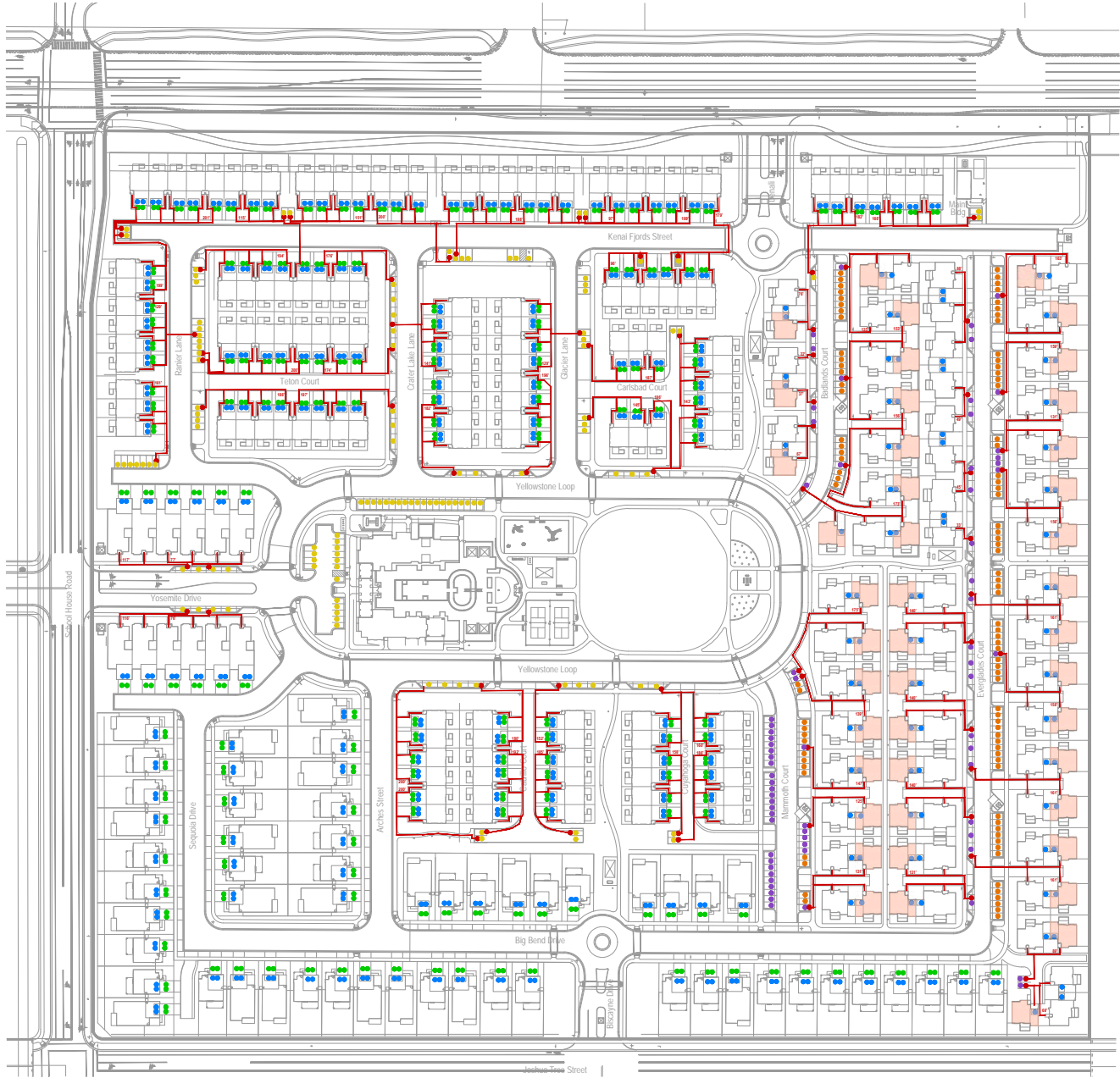


Lot Summary	
Total Village Plan Area	42.751 Ac
Total Single-family lots	55
Total Attached single-family	49
Total Multi-family Bldgs	21
Total Patio home Bldgs	2
Total Common Buildings	2
Total Common Open Space	8.27 Ac
Total Open Space %	19.34%
Total Building Coverage	603,193 Sq Ft
Total Coverage %	32.39%

Note: All buildings outside of single-family lots will be built on a single lot. Setbacks within that lot will be measured from back of curb or back of sidewalk.

Note: Access to Lots 1-47 shall be from the internal project. No access will be allowed from adjacent public streets.

# Detailed Parking Plan



## Parking Summary

Single-family	Total Units	Required/ Lot (Garage)	Guest Spaces	Total
Required	55	2.0	0.0	110
Total provided				110

Townhomes (Front-load)	Total Units	Unit (Garage)	Surface Space/Unit	Guest Spaces	Total
Required	133	1.0	1	0.25	300
Total provided		266	0	115	381

Townhomes (Rear-load)	Total Units	Unit (Garage)	Surface Space/Unit	Guest Spaces	Total
Required	12	1.0	1	0.25	27
Total provided		24	0	8	32

Clustered Multi-family	Total Units	Unit (Garage)	Surface Space/Unit	Guest Spaces	Total
Required (1-bedroom units)	46	1.0		0.25	58
Required (2+ bedroom units)	50	1.0	1	0.25	113
Total Required					171
Total provided		96	96*	70	262

\* Assigned carports

Additional Parking Spaces (not counted toward requirements above)

Single-family Driveways (20')	110
Townhomes (Front-load)	290
Total Additional Parking Spaces	400

Note: In clustered multi-family, all parking is in parking lots in open guest spaces or carports. No parking is allowed in shared driveway access or garage approaches.

1-Bedroom Units

### Parking Key

Garage Parking
Guest Sp (Townhomes)
Parking Lot (Carport)
Guest Sp (Attached Multi-family)
Required 0.25 guest space within 200'
Driveway Parking *

\* Driveway parking not counted toward requirement

# Fencing Plan



## 6' Precast Concrete

Note: 6' wall to be on top of 2' berm.  
Project owners will maintain the trail corridor along Pony Express (semi-private not req'd)



## 6' Fencing

Color: Winchester Grey TREX on South and West Perimeter of site; Gray Vinyl elsewhere



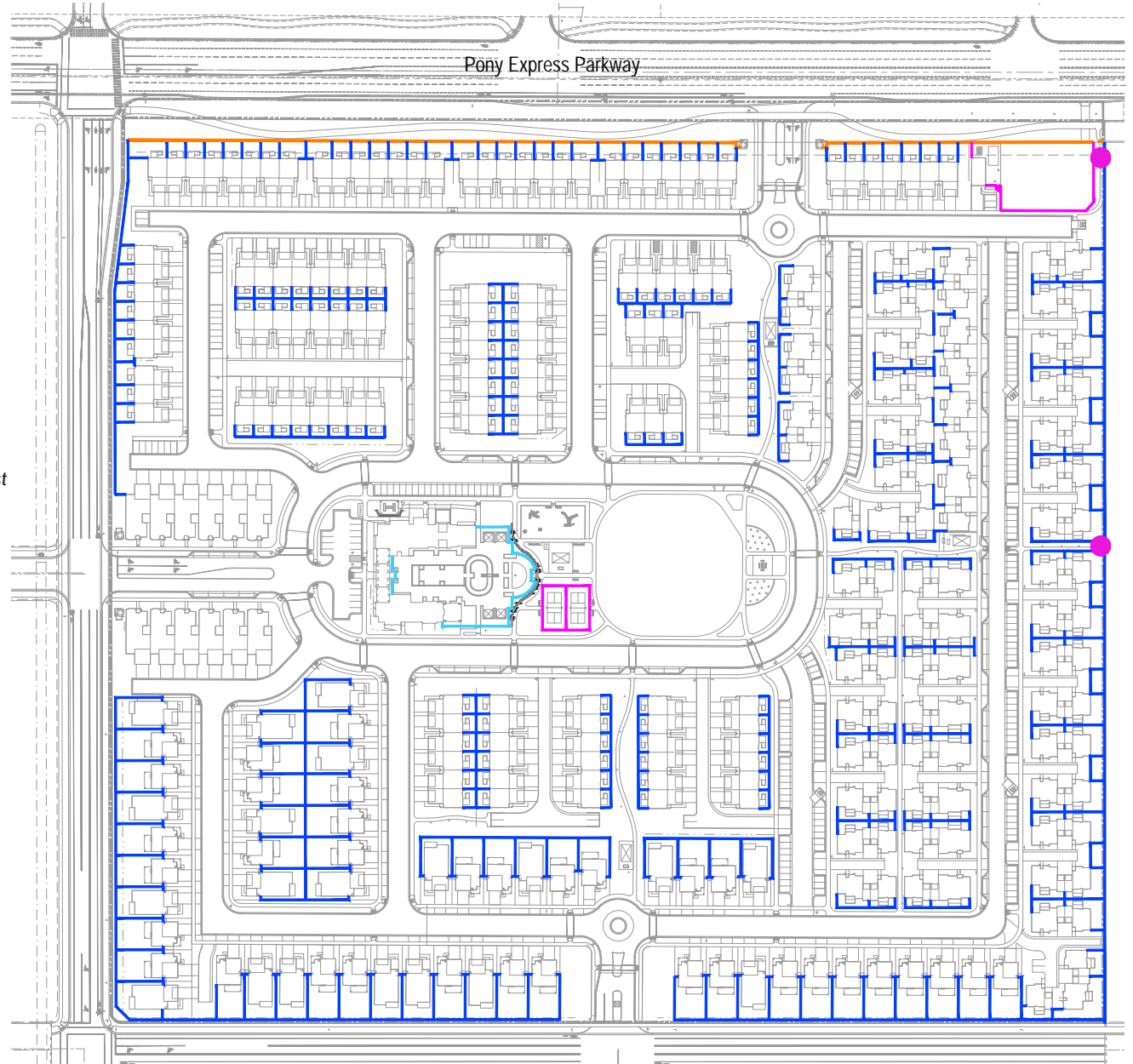
## 6' Decorative Aluminum Fence



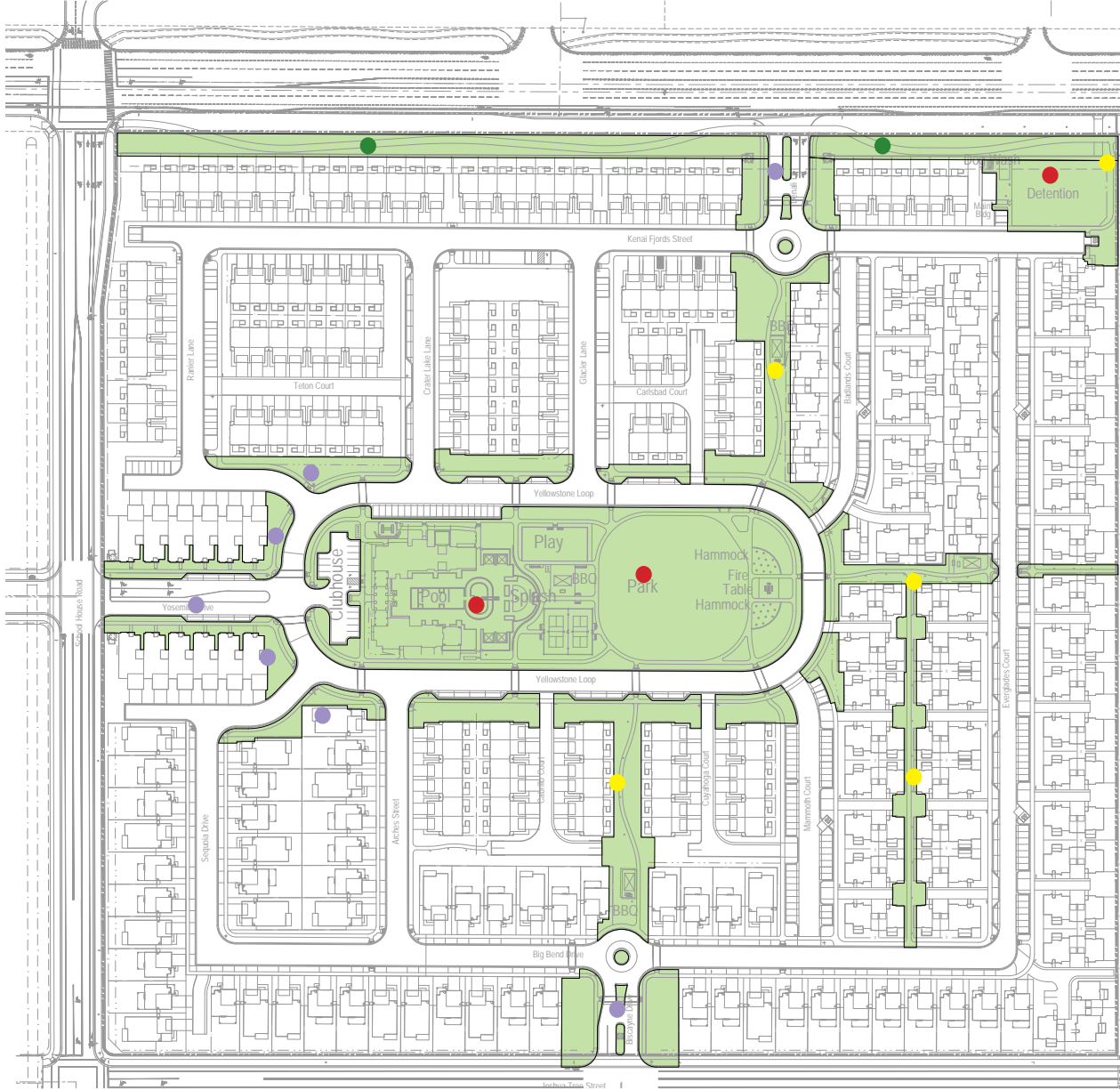
## 6' Vinyl Clad Sport Fence

Color: Black  
Around sport courts and dog park only

Note: Sight triangles at road intersections must be accommodated in final design



# Open Space Plan



## Open Space Summary

Total Village Plan Area	42.751 Ac
Total Common Open Space	8.269 Ac
Common Open Space %	18.63%
Required Open Space %	13-15%

## Open Space Types\*

● Entrance Park

● Pocket Park

● Connector Trail

● Park Lawns

\*As defined in the Saratoga Springs City Center District Area Plan

## Dog Park Amenities

- Grass area
- Covered shelter
- Drinking fountain (w/ Pet Bowl)
- Benches
- Artificial lawn area
- Dog bag dispenser
- Trash can

## Playground Amenities

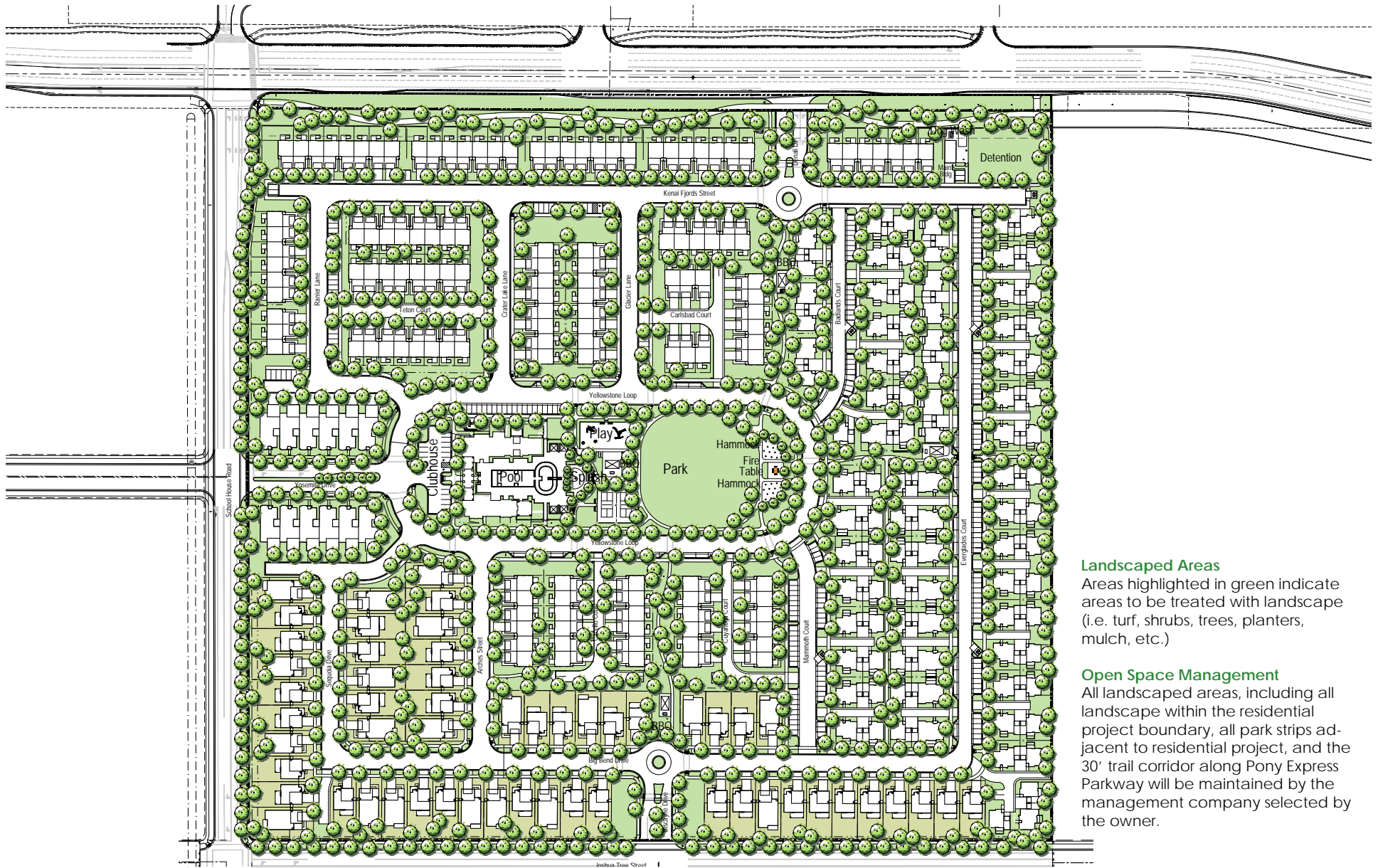
- Playground equipment
- Benches
- Shade canopies
- BBQ and pavilion
- Swings
- Bike Rack

## Pool Deck

- Pool
- Lazy River
- Splash Pad
- Hot Tub
- Cabanas with TVs
- Seating areas



# Landscape Plan



## Landscaped Areas

Areas highlighted in green indicate areas to be treated with landscape (i.e. turf, shrubs, trees, planters, mulch, etc.)

## Open Space Management

All landscaped areas, including all landscape within the residential project boundary, all park strips adjacent to residential project, and the 30' trail corridor along Pony Express Parkway will be maintained by the management company selected by the owner.





## Landscape Palette

### Shrubs



#### Botanical Name

Berberis thunbergii A. N. 'Crimson Pigmy'  
 Buxus x 'Green Gem'  
 Caryopteris x clandonensis 'Blue Mist'  
 Cornus sericea 'Cardinal'  
 Cornus sericea 'Kelsey'  
 Euonymus alatus 'Compactus'  
 Forsythia x intermedia 'Evergold'  
 Hibiscus syriacus 'Aphrodite'  
 Juniperus chinensis Var. Sargentii  
 Lavandula angustifolia 'Buena Vista'  
 Lonicera tatra utahensis  
 Mahonia aquafolium 'Compacta'  
 Mahonia repens  
 Nandina domestica 'Gulfstream'  
 Physocarpus opulus 'Bloomin Easy'  
 Physocarpus opulifolius 'Diablo'  
 Pinus mugo 'Pumilio'  
 Potentilla fruticosa 'Abbotswood'  
 Potentilla fruticosa 'Jackmanii'  
 Prunus laurocerasus 'Otto Luyken' x cistena  
 Rhamnus frangula 'Ron Williams'  
 Rhus aromatica 'Grow Low'  
 Ribies alpinum 'Aureum'

#### Common Name

Redleaf Barberry  
 Green Gem Boxwood  
 Blue Beard  
 Red Twig Dogwood  
 Kelsey Dwarf Dogwood  
 Compact Burning Bush  
 Border Forsythia  
 Aphrodite Rose Of Sharon  
 Sargent'S Juniper  
 Buena Vista Lavender  
 Tatrian Honeysuckle  
 Compact Oregon Grape  
 Creeping Oregon Grape  
 Gulfstream Heavenly Bamboo  
 Bloomin Easy Ninebark  
 Diablo Ninebark  
 Dwarf Mugo Pine  
 Abbotswood Potentilla  
 Jackman Potentilla  
 Otto Luyken Laurel  
 Fine Line Fern Leaf Buckthorn  
 Grow Low Fragrant Sumac  
 Alpine Current 3 Gal

#### Size

5 Gal  
 1 Gal  
 3 Gal  
 5 Gal  
 3 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 5 Gal  
 5 Gal  
 1 Gal  
 5 Gal  
 1 Gal  
 3 Gal  
 5 Gal  
 1 Gal  
 1 Gal  
 3 Gal  
 3 Gal  
 5 Gal  
 5 Gal  
 5 Gal

## Landscape Palette

### Evergreen Shrubs



<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>
Rosa 'Knock Out'	Knock Out Rose	3 Gal
Rosa 'Radtko'	Double Knock Out Rose	5 Gal
Rosa 'Woodsii'	Wood's Rose	5 Gal
Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3 Gal
Spirea japonica 'Neon Flash'	Neon Flash Spirea	3 Gal
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	1 Gal
Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal
Taxus baccata 'Repandens'	Japanese Yew	1 Gal
Taxus media 'Dark Green Spreader'	Dark Green Spreader Yew	5 Gal
Wigela florida 'Tango'	Tango Wigela	3 Gal

### Ornamental Grasses



<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>
Calamagrostis x acutiflo. 'Karl Foerster'	Karl Foerster Grass	1 Gal
Carex muskingumensis 'Ice Fountains'	Ice Fountains Sedge	1 Gal
Chasmanthium latifolium	Northern Sea Oats	1 Gal
Deschampsia cespitosa	Tufted Hairgrass	1 Gal
Festuca Ovina glauca	Blue Fescue Grass	1 Gal
Helictotrichon sempervirens	Blue Oat Grass	1 Gal
Miscanthus sinensis 'Yaku Jima'	Dwarf Maiden Hair Grass	1 Gal
Muhlenbergia capillaris	Pink Muhly Grass	1 Gal
Muhlenbergia reverchonii 'Undaunted'	Undaunted Pink Muhly Grass	1 Gal
Pennisetum alopecuroides 'Burgundy Bunny'	Burgundy Bunny Dwf Fountain Grass	1 Gal
Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	1 Gal

### Groundcovers



<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>
Euonymus fortunei	Winter Creeper	3" Pot
Ajuga reptans	Bugleweed	3" Pot
Sedum	Sedum	3" Pot

## Landscape Palette

### Perennials



#### Botanical Name

Agastache cana  
 Anemone hybrida 'Fantasy Pocahontas'  
 Astilbe chinensis 'Visions In Red'  
 Bergenia cordifolia  
 Coreopsis grandiflora 'Early Sunrise'  
 Echinacea purpurea  
 Echinacea purpurea 'Mangus'  
 Gaillardia aristata  
 Gaura lindheimeri 'Crimson Butterflies'  
 Hemerocallis 'Happy Returns'  
 Hemerocallis 'Mauna Loa'  
 Hemerocallis 'Pardon Me'  
 Hemerocallis 'South Seas'  
 Hemerocallis 'Stella De Oro'  
 Heuchera x 'Midnight Rose'  
 Hosta x 'Blue Angel'  
 Hosta x 'High Society'  
 Hosta x 'Royal Standard'  
 Hosta x 'Stained Glass'  
 Kniphofia 'Jackpot'  
 Lavandula angustifolia 'Hidcote Blue'  
 Leucanthemum superbum 'Snow Cap'  
 Liriope muscari 'Big Blue'  
 Paeonia lactiflora 'Celebrity'  
 Rudbeckia fulgida 'Goldstrum'  
 Rudbeckia fulgida 'Little Goldstar'  
 Salvia nemorosa 'May Night'  
 Salvia x sylvestris

#### Common Name

Double Bubble Mint  
 Japanese Windflower  
 Visions In Red False Goats Beard  
 Heartleaf Bergenia  
 Early Sunrise Tickseed  
 Purple Coneflower  
 Mangus Coneflower  
 Blanket Flower  
 Crimson Butterflies Gaura  
 Happy Returns Daylily  
 Mauna Loa Daylily  
 Pardon Me Daylily  
 South Seas Daylily  
 Stella De Oro Daylily  
 Midnight Rose Coral Bells  
 Blue Angel Hosta  
 Plantain Lily 'High Society'  
 Plantain Lily 'Royal Standard'  
 Plantain Lily 'Stained Glass'  
 Jackpot Red Hot Poker  
 Hidcote Blue Lavender  
 Snow Cap Shasta Daisy  
 Big Blue Lily Turf  
 Celebrity Peony  
 Black Eyed Susan  
 Little Goldstar Black Eyed Susan  
 May Night Sage  
 'May Night' / Sage

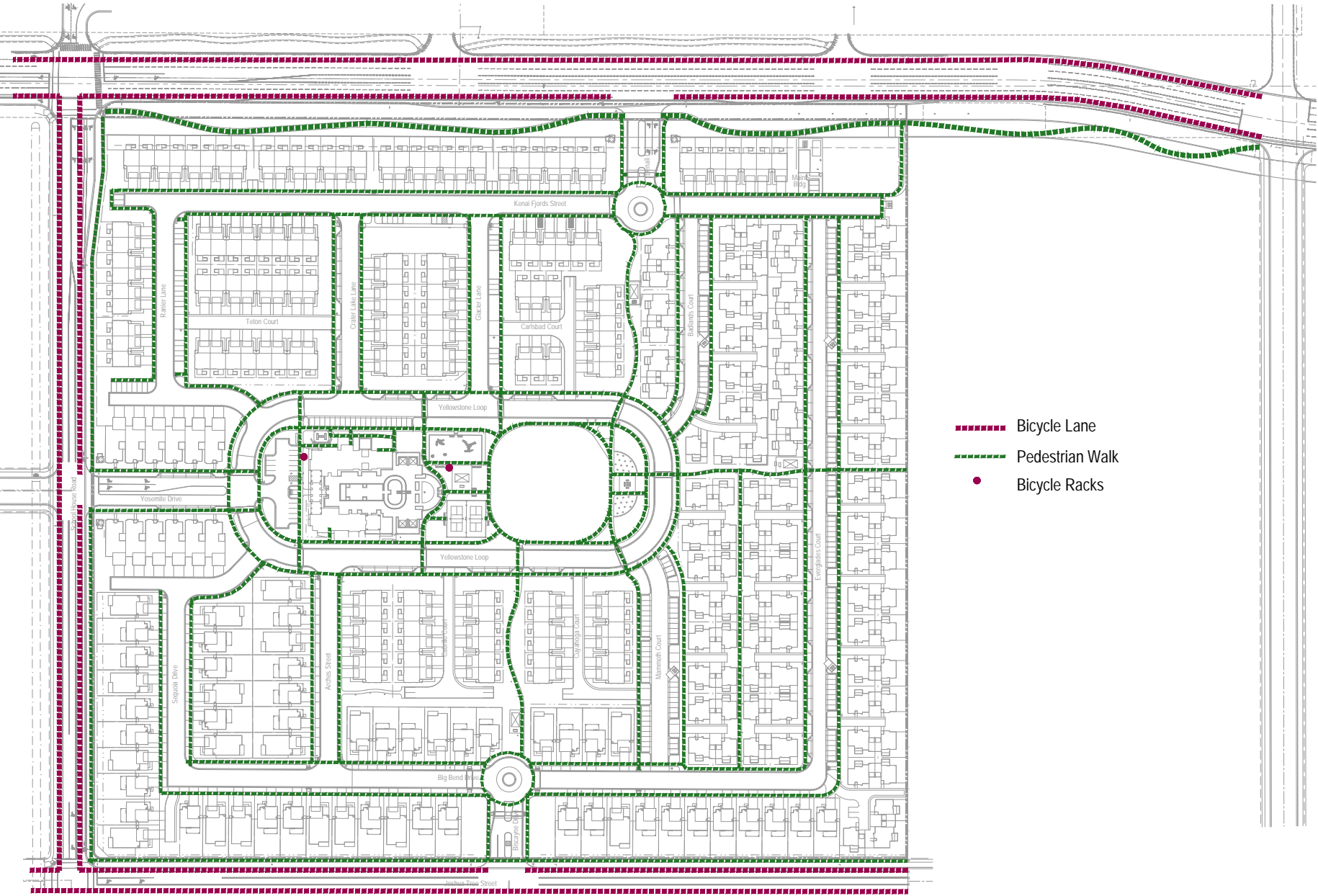
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Note: Plant list for all plant types may be modified with approval from the Planning Director

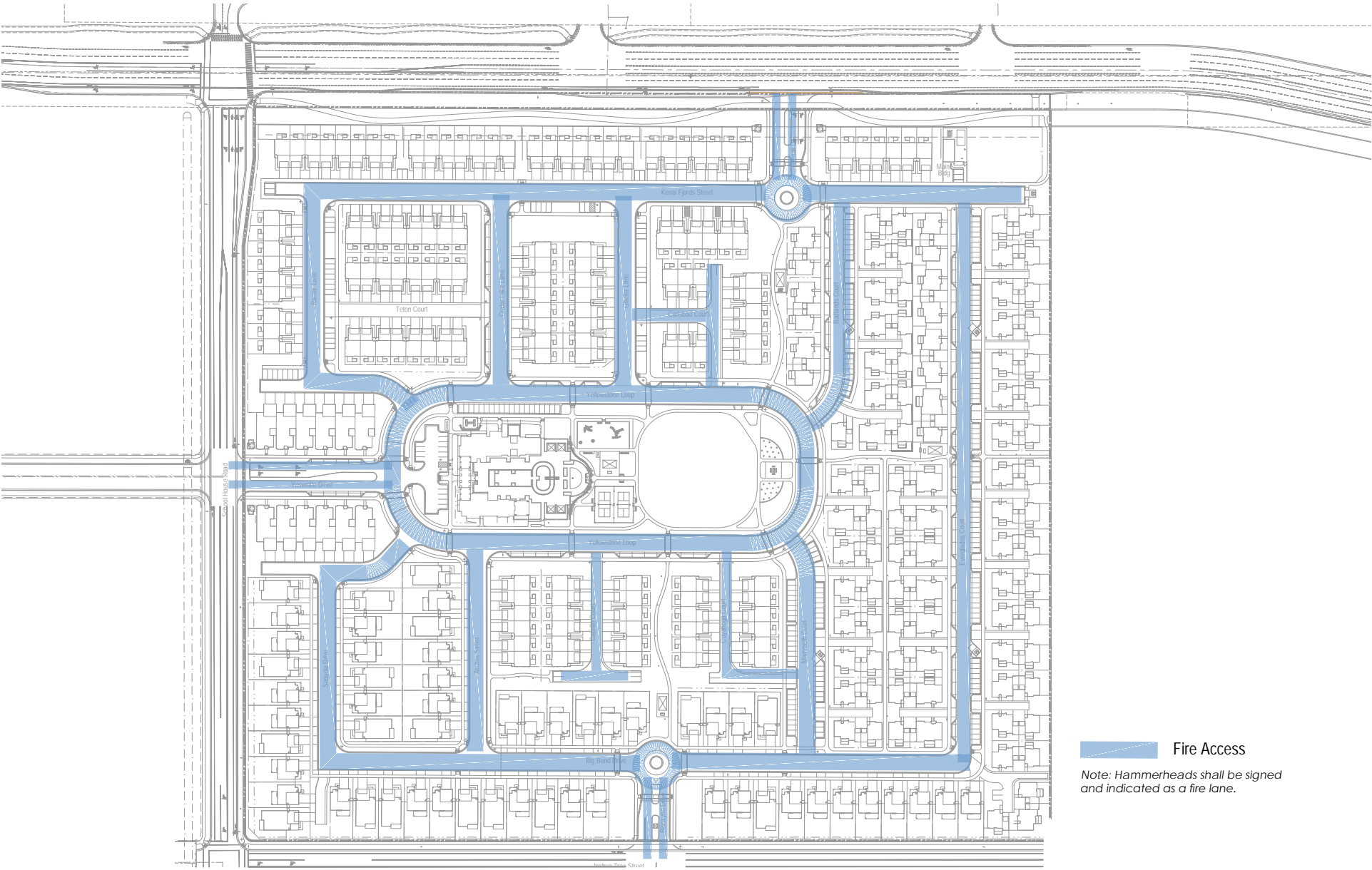


# Pedestrian Plan





# Fire Access Plan



# Site Characteristics



## Waterways

There are no existing waterways within the boundaries of the site.

## Fault Lines and geological Information

The site is in an area known to have fine-grained soils susceptible to frost heave, wetting-induced collapse and expansive soils. Specific recommendations are made to address these conditions in the geotechnical report.

Liquefaction is not considered a major hazard at the site given the depth to ground water, soil type and consistency of soils encountered at the site. These factors will be considered by a geotechnical engineer for structural design recommendations.

There are no mapped active faults extending through the site. The closest mapped active fault to the site is the Cedar Valley Tear Fault located approximately 4 miles northwest.

## General Soil Data

The site is primarily comprised of Taylorsville and Payson silty clay loams. These soils are classified as developable. A geotechnical report will be prepared to identify specific recommendations for buildings.

## Slopes

The site currently slopes from the west to east at approximately 2%. No slopes exist on the site that are greater than 30%.

## Wetlands

There are no existing wetlands within the project boundaries.

## Historical Sites

There are no known historical sites within the project boundaries.

## Endangered Plants

The site is currently being farmed. There are no endangered plants within the project boundaries.

## Wildlife

The site is currently being farmed. There is no wildlife within the project boundaries.

# Additional Elements

## Other Project Information

### Associations

There are no owner associations that will be required. The entire project will be managed and operated by the owner.

### Mitigation Plans

No significant environmental issues will be encountered on this site, and as a result, no mitigation plans are required.

### Development Agreement

This property is a part of the Saratoga Springs City Center District Area Plan. A Development agreement was signed at the time of the approval of the District Plan.

## Findings Statement

- a. This Community & Village Plan as presented is consistent with the adopted District Area Plan. Access to the site is accommodated from the existing Pony Express Parkway and entrances on proposed streets on the west and south sides of the property. Taking the vocabulary of the Community Plan we have carried through the Village Plan the critical design elements.
- b. This Plan anticipates an estimated building coverage of 638,823 square feet at full build out.
- c. The Density of approximately 7 du/ac is consistent with the District Area Plan for this development. This Plan does not exceed the total number of residential units dictated in the adopted District Plan and does not anticipate a need for a transfer of density. Consistent with finding b above, the realization of all of the allowable residential units will be absorbed over time as the project matures.
- d. This Plan is consistent with the utility, infrastructure, and circulation plans of the District Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts. Also, future capacity for Secondary Water Lines and future phases are addressed.
- e. This Plan properly integrates utility, infrastructure, open spaces, pedestrian systems, and amenities with adjacent properties; and contains the required elements as dictated in Section 19.26; and exceeds the minimum required open space of 13-15% in the adopted Community Plan, and adopted District Area Plan.





# MINUTES – Planning Commission

Thursday, March 27, 2025

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

## PLANNING COMMISSION MEETING MINUTES

**CALL TO ORDER - 6:00 p.m.** by Chair Rachel Sprosty Burns.

- 5    1. **Pledge of Allegiance** - led by Commissioner Doug Willden.
2. **Roll Call** – A quorum was present.

**Present:**

10        Commission Members: Rachel Sprosty Burns, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.  
      Staff: David Jellen, Senior Planner; Sam Stout, Planner II; Rulon Hopkins; Assistant City Attorney; Wendy Wells, Deputy Recorder.

**Excused:** Commissioner Charlie Carn.

- 15    3. **Public Input** - Public Input was opened by Chair Rachel Sprosty Burns. Receiving no public comment, the Public Input was closed by the Chair.

### PUBLIC HEARINGS

- 20    1. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapters 19.02 – Definitions; and 19.04 – Establishment of Land Use Zones and Official Map.** Planner II Sam Stout presented the item. The proposed change would add a definition for “Centerline, Roadway”; add a setback specific to arterial roadways; increase the setback in the RC zone from 10’ to 15’; and clarify that this setback is from the trail easement. Citywide. City- Initiated.

25        **Public Hearing Open** by Chair Rachel Sprosty Burns. Receiving no public comment, the Public Hearing was closed by the Chair.

30        Chair Sprosty Burns received clarification from Staff that the impetus for the change was to preserve the trail corridor, if an arterial road were to be widened in the future, and to be sure this is covered in the City Code.

      Commissioner Willden asked for an explanation of the setback measurement of “105 feet off the arterial centerline”. He was concerned about how the code change might affect current landowners.

35        Planner II Sam Stout explained there is no current definition for arterial setbacks. This amendment would provide a definition. The measurement would be from the rear building footprint to the centerline of the road.

40        Assistant City Attorney Rulon Hopkins further clarified that the amendment would result in about 5 additional feet of setback helping to preserve the trail corridor; and that there was a trail corridor planned along all arterial roads. He also advised that the impact to future developments would be minimal.

      Chair Sprosty Burns appreciated Commissioner Willden’s questions, and the discussion that ensued.

45        Commissioner Miles also appreciated the clarification provided by Staff. He felt that the amendment was smart planning, and gave the City some good options for road widening in the future.

      Commissioner Hill felt this would be a good move to preserve the safety of those utilizing the trails.



Motion made by Commissioner Hill that the Planning Commission forward a recommendation for approval of the requested Code amendments to Chapters 19.02 and 19.04, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Mann.  
Yes: Rachel Sprosty Burns, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.  
No: None.  
Absent: Commissioner Charlie Carn.  
Motion passed 6 - 0.

#### BUSINESS ITEMS

1. Approval of Minutes: March 13, 2025.

Motion made by Commissioner Willden to approve the minutes of March 13, 2025. Seconded by Commissioner Mangum.  
Yes: Rachel Sprosty Burns, Scott A. Hill, Jack K. Mangum, Virginia Rae Mann, Colton Miles, Doug Willden.  
No: None.  
Absent: Commissioner Charlie Carn.  
Motion passed 6 - 0.

#### REPORTS

1. Commission Comments. No comments made.
2. Director's Report. – Senior Planner David Jellen advised of upcoming agenda items and recent City Council actions.

#### CLOSED SESSION

Possible motion to enter into closed session – No closed session was held.

#### ADJOURNMENT

Meeting Adjourned Without Objection at 6:15 p.m. by Chair Rachel Sprosty Burns.

#### TRAINING

The meeting was adjourned and Commissioners attended an Open and Public Meetings Act (OPMA) training presented by Assistant City Attorney Rulon Hopkins.

\_\_\_\_\_  
Date of Approval

\_\_\_\_\_  
Planning Commission Chair

\_\_\_\_\_  
Deputy City Recorder