



## EAGLE MOUNTAIN PLANNING COMMISSION MEETING

**APRIL 8, 2025, 5:30 PM**

EAGLE MOUNTAIN CITY COUNCIL CHAMBERS  
1650 EAST STAGECOACH RUN, EAGLE MOUNTAIN, UTAH 84005

### **5:30 PM – PLANNING COMMISSION WORK SESSION**

#### **1. DISCUSSION ITEMS**

- 1.A. TRAINING - Real Estate Procedures and Financing
- 1.B. CONCEPT PLAN - Golf Course Tuff Shed Garage

### **6:30 PM PLANNING COMMISSION POLICY SESSION**

#### **2. CALL TO ORDER**

#### **3. PLEDGE OF ALLEGIANCE**

#### **4. DECLARATION OF CONFLICTS OF INTEREST**

#### **5. MINUTES**

- 5.A. March 25, 2025 Planning Commission Minutes

#### **6. STATUS REPORT**

#### **7. ACTION AND ADVISORY ITEMS**

- 7.A. ORDINANCE / PUBLIC HEARING - An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code Chapter 17 Amendments

BACKGROUND: (Presented by Policy Analyst, John Magness). A Proposal to enact an ordinance amending Title 17 Chapter 80.120 Exempt Signs by replacing existing language about the size and placement of political signs with more specific language about the size, placement, location, and timing of political signs (ie. pertaining to election campaigns, candidates etc.)

- 7.B. SITE PLAN - Panda Express

BACKGROUND: (Presented by Planner, Ashley Swensen). A proposed Site Plan application for a Panda Express restaurant, located at 4180 N Pony Express Parkway (Parcel #: 59:044:0112).

- 7.C. HOME BUSINESS EXCEPTIONS/PUBLIC HEARING - Muhlestein Microschool

BACKGROUND: (Presented by Planner, Steven Lehmitz). A proposed petition for a review of exceptions to home business license standards for the purpose of operating a microschool located at 9383 N. Canyon Wash Drive (Parcel # 36:713:0047).

#### 7.D. SITE PLAN - Harmony MF1 Elevations

BACKGROUND: (Presented by Senior Planner, David Stroud). Request for Site Plan amendment approval of the townhome elevations in Harmony Phase A, MF1 subdivision (see parcel # 59:045:0144) at Delta Street and Reichert Street. The primary change is eliminating the detached garages and attaching the garages to the main dwelling unit.

#### 8. DISCUSSION ITEMS

#### 9. NEXT SCHEDULED MEETING

#### 10. ADJOURNMENT

#### **THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.**

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodations for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6611. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	Planning Commission Training on Real Estate Procedures and Financing
<b>ITEM TYPE:</b>	Discussion Item
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	n/a

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
n/a	n/a

**PUBLIC HEARING**

No

**PREPARED BY**

Craig Whiting

**PRESENTED BY**

Craig Whiting

**RECOMMENDATION:**

n/a

**BACKGROUND:**

Planning Commission training session regarding real estate procedures and financing...

**ITEMS FOR CONSIDERATION:**

n/a

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

n/a

**ATTACHMENTS:**

None



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	Ranches Golf Course Garage
<b>ITEM TYPE:</b>	Concept Plan
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	Kaitlynn Forsgren

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
n/a	n/a

**PUBLIC HEARING**

No

**PREPARED BY**

Ashley Swensen, Planner

**PRESENTED BY**

Ashley Swensen

**RECOMMENDATION:**

n/a

**BACKGROUND:**

The Applicant wishes to build a 30 x 40 Tuff Shed Garage for the purpose of storage for the Ranches Event Center. While it does meet all the height and setback requirements for an accessory structure, there is concern about the implications additional structures would have on parking. During the March 10, 2020, Planning Commission meeting, it was determined that the golf course would need to provide at least 159 parking stalls to meet the Open Space Master Plan recommendations.

**ITEMS FOR CONSIDERATION:**

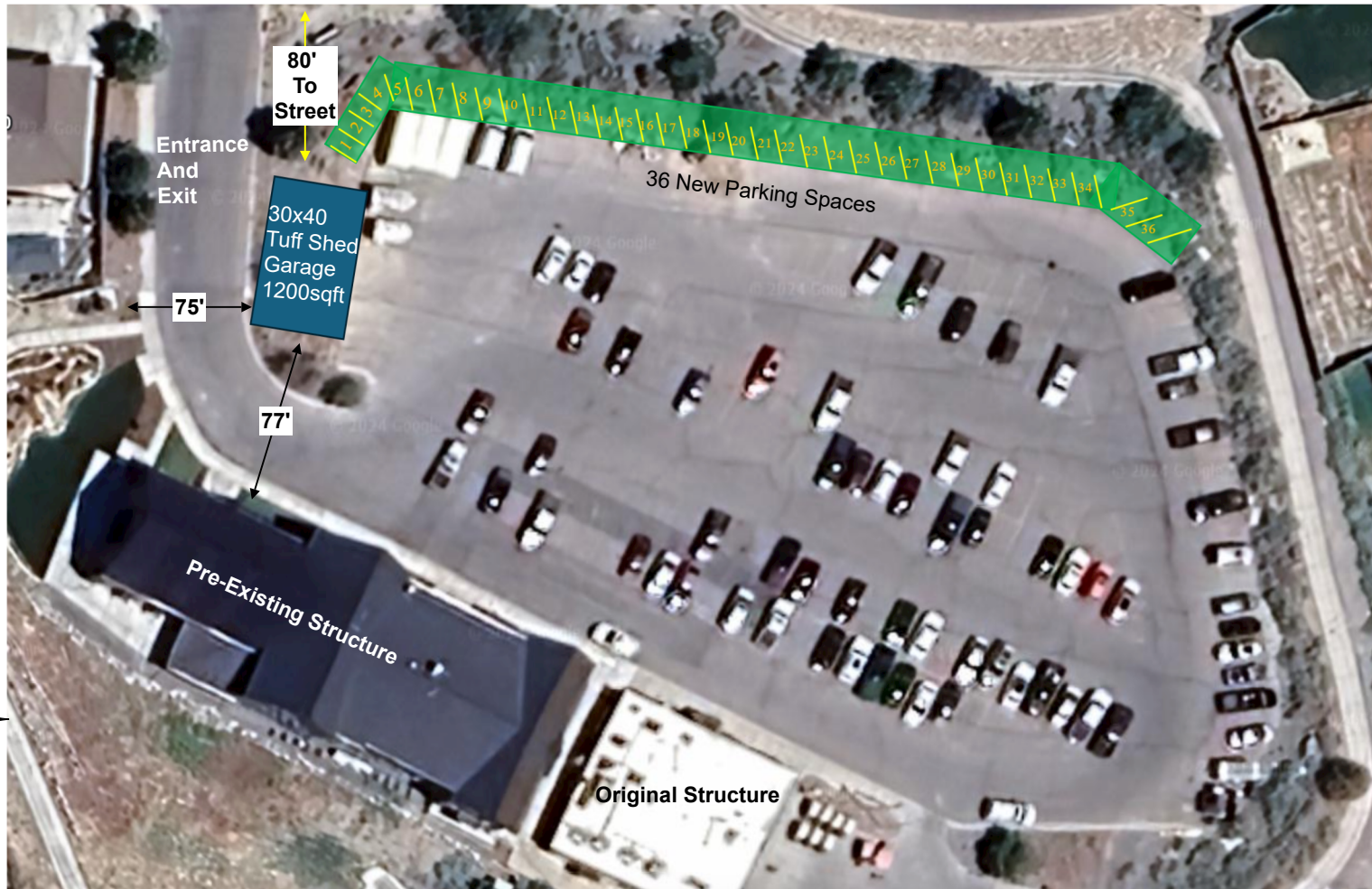
Parking has been a consistent concern, especially for residents living in the surrounding development, as high customer volume leads to street parking. Currently, the site has about 140 parking spaces. However, it is difficult to tell due to wear in the striping. In order to allow for the shed, it is recommended that the parking is brought up to at least 159 spaces and be re-striped, including provision of the correct number of ADA stalls. Additionally, the areas proposed for both the shed and the extended parking will likely require some grading and possibly retaining walls depending on how far they would like to extend.


**PLANNING COMMISSION ACTION/RECOMMENDATION:**

n/a

**ATTACHMENTS:**

1. Golf Course Shed Site Plan
2. Golf Course Shed Elevations
3. Golf Course Proposed Parking



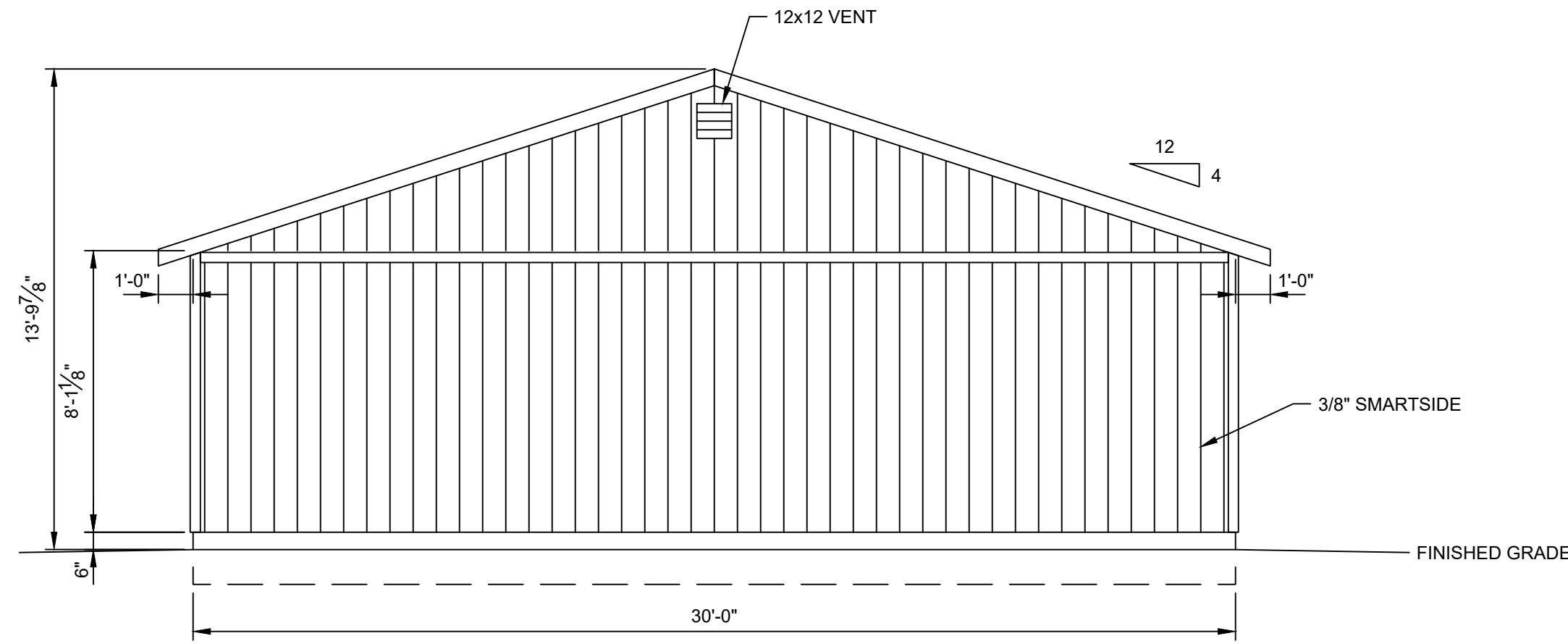
Owner: <b>Jeff Harbertson</b>	Parcel#: <b>580330280</b>	Lot Size: <b>7.1 Acres</b>	Drawn: <b>Kforsgren</b>	Purpose of site plan: <b>Proposed placement of 30x40 garage. No water/electric included.</b>	
Address: <b>4128 E Clubhouse Ln. Eagle Mountain, UT 84005</b>		Date: <b>01/21/25</b>	Rev: <b>A</b>		

**ACCESSORY BUILDING**  
30' X 40' = 1200 SQ FT

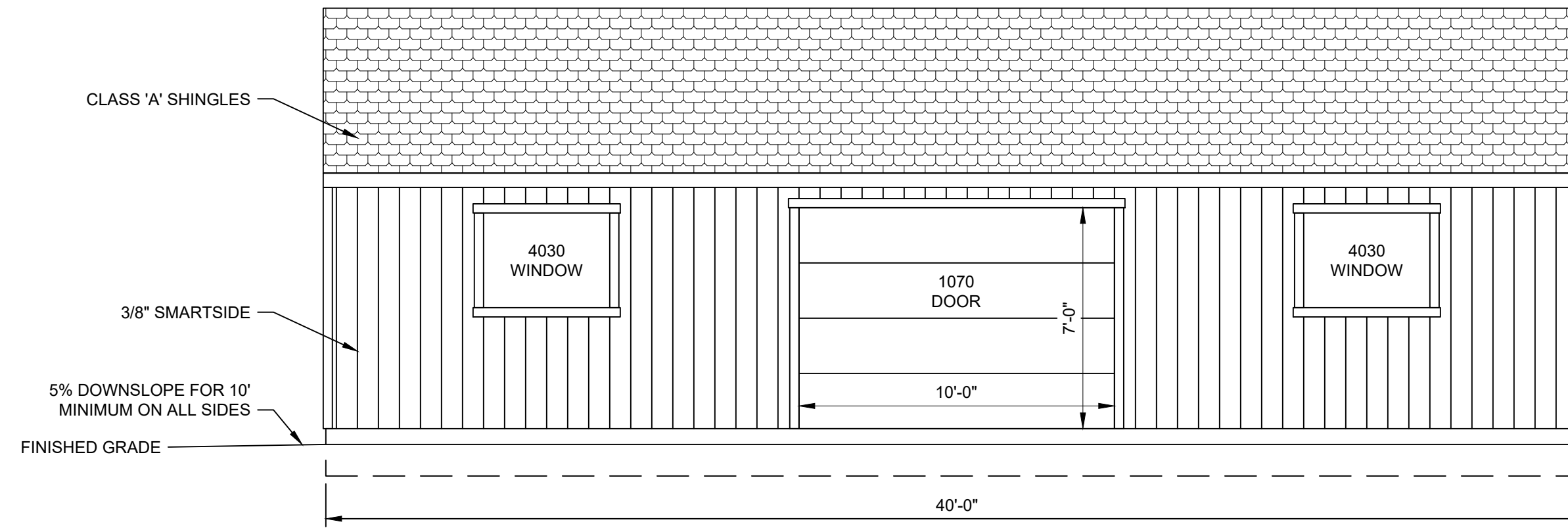
**DRAWING INDEX**  
S1 - PROJECT NOTES, ELEVATIONS  
S2 - PLANS, SHEAR WALL SCHEDULE  
S3 - SECTIONS, DETAILS

**PROJECT NOTES**

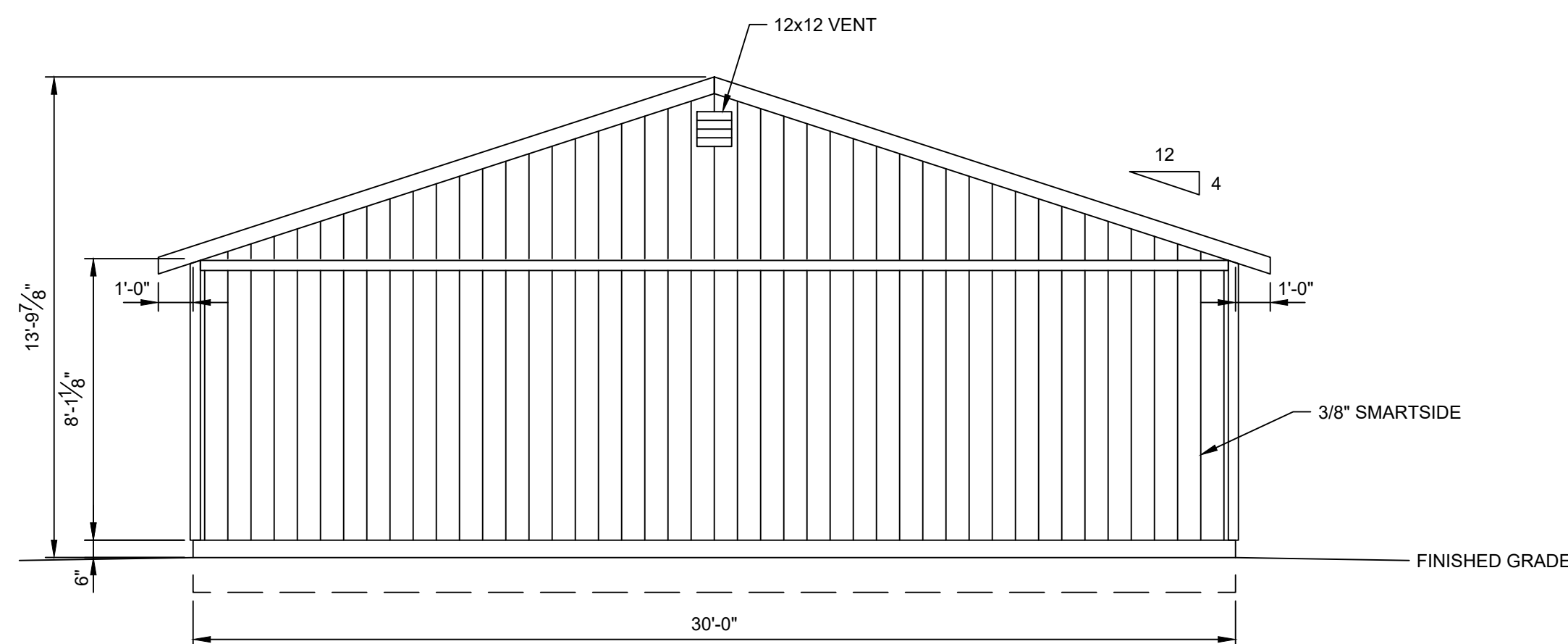
1. DESIGN REQUIREMENTS  
GOVERNING CODES: 2021 IRC  
OCCUPANCY GROUP: GROUP U  
CONSTRUCTION TYPE: V-B  
RISK CATEGORY: II
2. DESIGN SCHEDULE  
A. BUILDING SIZE  
WIDTH: 30'-0"  
LENGTH: 40'-0"  
SIDE WALL HEIGHT: 8'-1 1/8"  
TOTAL HEIGHT: 13'-9 7/8"  
B. ROOF PITCH: 4/12  
C. BUILDING LOADS  
GROUND SNOW LOAD,  $P_g$ : 37 PSF  
 $C_e$ : 1.00  
 $C_d$ : 1.20  
 $I_e$ : 1.00  
 $C_e$ : 1  
ROOF SNOW LOAD,  $P_s$ : 31 PSF  
ROOF LIVE LOAD: 20 PSF  
ROOF DEAD LOAD: 10 PSF  
D. DESIGN WIND  
BASIC WIND SPEED, V: 105 MPH  
WIND EXPOSURE: C  
E. SEISMIC DESIGN CATEGORY: D  
F. SITE CLASS: D
3. ROOFING SCHEDULE  
A. ROOF SHEATHING SHALL BE APA RATED 7/16" THICK OSB, 24/16 RATED MIN. UNBLOCKED DIAPHRAGM. STAGGER LAYOUT PER APA CONDITION 1.  
B. SHEATHING NAILING SHALL BE PER NAILING SCHEDULE.  
C. 25 YEAR ASPHALT SHINGLES (U.N.O.).  
D. GAF FELTBUSTER.  
E. TYPE 'D' METAL DRIP EDGE FLASHING REQUIRED ALL SIDES.  
F. TRUSSES SHALL BE SPACED @ 24" O.C.  
G. SEE SEPARATE TRUSS SHEETS FOR TRUSS FRAMING AND MATERIALS.  
H. TRUSSES MUST BE BRACED ACCORDING TO THE LATEST EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE OF METAL PLATE CONNECTED WOOD TRUSSES (BCSI).  
I. TRUSS CONNECTION PLATES 'EAGLE METAL PLATES'.  
J. THE TRUSS PLATE INSTITUTE (TPI) (NER QA 430) IS THE INSPECTION AGENCY RESPONSIBLE FOR IN-PLANT INSPECTIONS.  
K. TRUSS MANUFACTURER: TUFF SHED, INC.
4. WOOD FRAMING  
A. ALL HEADERS ARE SPF #2 (U.N.O.).  
B. ALL WALL FRAMING MEMBERS SHALL BE SPF STUD GRADE OR BETTER.  
C. STUDS SHALL BE SPACED @ 16" O.C.  
D. FASTEN EXTERIOR WALL SHEATHING TO FRAMING PER NAILING SCHEDULE.  
E. PROVIDE SOLID BLOCKING AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.  
F. SHEAR WALL MATERIAL AND NAILING SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE.  
G. LAMINATED VENEER LUMBER (LVL) SHALL BE LVL 2.0E-2600  $F_b$  WITH THE FOLLOWING MIN. DESIGN VALUES:  $F_b = 2600$  PSI,  $F_v = 1555$  PSI,  $F_r = 285$  PSI,  $F_{cl} = 2510$  PSI,  $F_{cl} = 750$  PSI,  $E = 2.0 \times 10^6$  PSI,  $SG = 0.50$
5. SOIL  
A. MIN. REQUIRED SOIL TYPE SHALL BE CLAY, SANDY CLAY, SILTY CLAY, OR CLAYEY SILT (CL, ML, MH & CH). PRESCRIPTIVE ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN IS 1500 PSF AT 30" DEEP. VALUES ARE PER TABLE R401.4.1.  
B. ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL.  
C. IN THE EVENT OF THE DISCOVERY OF EXPANSIVE SOILS OR UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER MAY BE REQUIRED.
6. PERMIT  
A. PERMIT APPLICATIONS, WHERE NO PERMIT IS ISSUED, SHALL EXPIRE PER LIMITATIONS SET BY LOCAL CODES. SECTION R105.  
B. JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE
7. GENERAL NOTES  
A. INSTALLATION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, TREES, UTILITIES, ETC.  
B. BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.  
C. ALL WOOD CONSTRUCTION CONNECTORS REFERENCED IN THIS DRAWING SHALL BE SIMPSON 'STRONG-TIE' OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
D. GREEN VINYL SINKER NAILS DO NOT MEET THE NAILING REQUIREMENTS OF COMMON NAILS.
8. MATERIAL EVALUATION REPORT IDENTIFICATION  
A. TRUSS CONNECTION PLATES BY EAGLE METAL PLATES PER ICC-ES REPORT #ESR-1082.  
B. SMARTSIDE SIDING BY LP CORPORATION PER ICC-ES REPORT #ESR-1301.  
C. HARDIE PANEL SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-1844.  
D. HARDIE PLANK LAP SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-2290.  
E. LAMINATED VENEER LUMBER (LVL) BY WEYERHAEUSER PER ICC-ES REPORT #ESR-1387.  
F. ASPHALT SHINGLES BY GAF PER ICC-ES REPORT #ESR-1475.  
G. FELTBUSTER ROOFING UNDERLAYMENT BY GAF PER ICC-ES REPORT #ESR-2808.  
H. HDU PRE-DEFLECTED HOLD-DOWNS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2330.  
I. SSB ANCHOR BOLTS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2611.



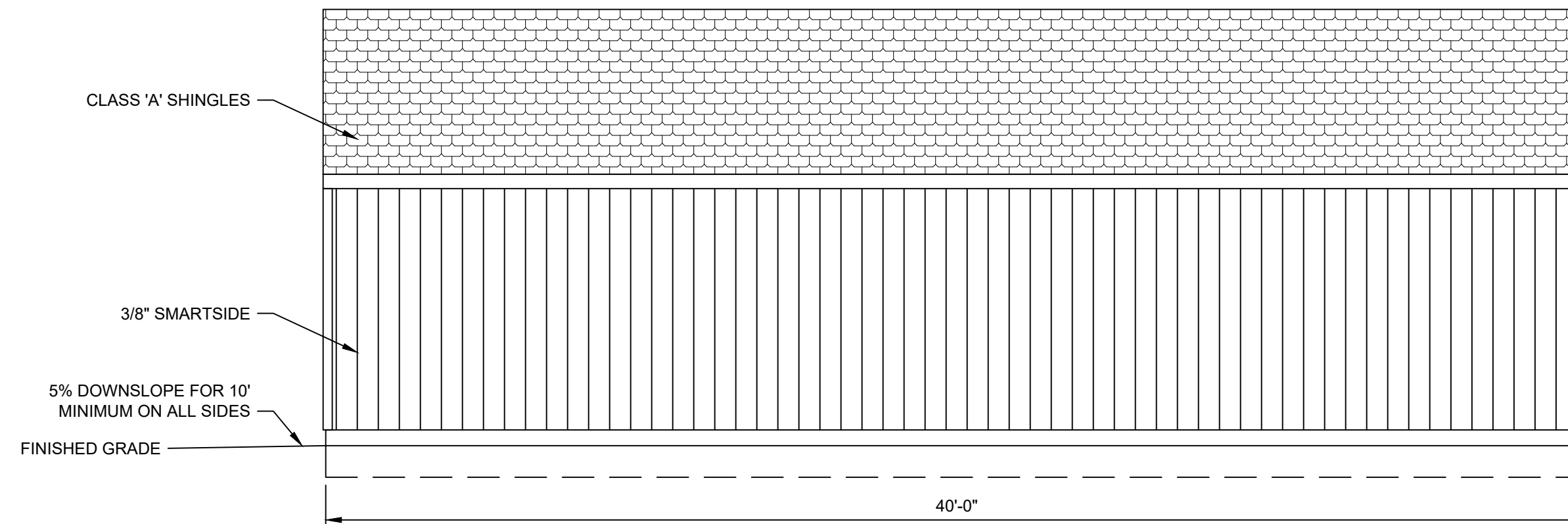
**WALL A ELEVATION**



**WALL B ELEVATION**



**WALL C ELEVATION**



**WALL D ELEVATION**

9/12/2024

TUFF SHED, INC.  
ENGINEERING DEPARTMENT  
TIMOTHY D. CAHALAN, P.E.  
TCAHALAN@TUFFSHED.COM  
1777 S. HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-8833

SO # 2086593  
Customer: JEFF HARBERTSON  
Description:  
ACCESSORY BUILDING  
30' X 40' = 1200 SQ FT  
Site Address:  
4128 E CLUBHOUSE LANE  
EAGLE MOUNTAIN UT 84005

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED ONLY. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC AND THE ENGINEER OF RECORD.

**TUFF SHED**  
Storage Buildings & Garages  
TUFF SHED, INC.  
5501 SOUTH 320 WEST  
SALT LAKE CITY, UT 84107  
CONTRACTORS LICENSE #201787-5501  
PROPRIETARY. ALL RIGHTS RESERVED. STORE 0301

Drawn By: AMX  
Date: 7-23-24  
Checked By:  
Date:  
Revised:  
Revised:

PROJECT NOTES  
ELEVATIONS

Scale: 1/4" = 1'-0"  
Sheet:

**S1**

### 154 Parking Stalls



### 171 Stalls With Extended Asphalt

The Ranches 171 spots with Extended Asphalt





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	n/a
<b>ITEM TYPE:</b>	Minutes
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	n/a

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
n/a	n/a

**PUBLIC HEARING**

No

**PREPARED BY**

Heather Lamb, Planning  
Secretary

**PRESENTED BY**

**RECOMMENDATION:**

n/a

**BACKGROUND:**

n/a

**ITEMS FOR CONSIDERATION:**

n/a

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

n/a

**ATTACHMENTS:**

1. 3.25.2025 Draft PC Meeting Minutes



## EAGLE MOUNTAIN PLANNING COMMISSION MEETING MINUTES

March 25, 2025, 5:30 p.m.  
Eagle Mountain City Council Chambers  
1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Jason Allen, Rod Hess, Brent Strong, and Craig Whiting; and Alternate Commissioner Bryan Free.

CITY STAFF PRESENT: Brandon Larsen; Planning Director; Marcus Draper, City Attorney; Todd Black, Wildlife Biologist/Environmental Planner; Nathan Shumway, Environmental Planning Intern; Robert Hobbs, Senior Planner; David Stroud, Senior Planner; Steven Lehmitz, Planner; and Heather Lamb, Planning Secretary.

### 5:30 P.M. – Eagle Mountain City Planning Commission Work Session

Commissioner Allen called the meeting to order at 5:31 p.m.

1. Discussion Items
  1. A. DISCUSSION - 2025 Draft Open Space Plan
    - Discussion of the 2025 Natural Open Space & Wildlife Habitat Management Plan.
  1. B. DISCUSSION - Planning Commission General Powers and Duties Part 2

Commissioner Allen adjourned the work session at 6:14 p.m.

### 6:30 P.M. – Eagle Mountain City Planning Commission Policy Session

2. Commissioner Allen called the policy session to order at 6:30 p.m.
3. Pledge of Allegiance

Commissioner Allen led the Pledge of Allegiance.

4. Declaration of Conflicts of Interest
- None.

5. Approval of Meeting Minutes
  5. A.

**MOTION:** *Commissioner Whiting moved to approve the minutes. Commissioner Strong seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

6. Status Report

Planning Director Brandon Larsen reviewed the planning items discussed and voted upon during the City Council meeting.

7. Action and Advisory Items

7. A. ORDINANCE/PUBLIC HEARING - An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Certain Lands Known as Cedar Valley Holbrook

*Item 7.A. and Item 7.B. were presented concurrently.*

Presented by Senior Planner, Robert Hobbs: A request for approval to Amend the General Plan Future Land Use Map from Business Park/Light Industry to Neighborhood Residential One, Neighborhood Residential Two, and Community Commercial, and, an associated Rezone request to convert existing Agriculture zoning to R1, RC and CC zoning on/for 73.03 acres of property located in the NE ¼ of Section 23, T5S, R2W, on the north side of SR-73, south of 8000 North and west of Airport Road Parcel #'s. 58:047:0060, 58:047:0058, 58:047:0061, and 58:047:0062 in Eagle Mountain City.

Applicant's Statements Summary Points: Brad Mackay Ivory Development.

- There will be an intersection at Airport Road and Pony Express, which will have a traffic signal. This will not be a major interchange that was originally planned; it will now be a standard intersection,
- Applicant stated Mr. Holbrook will donate part of the property (off of Airport Road) for an LDS Chapel Site, most of the RC zone will be taken up by this site.
- Possible wildlife fencing along the wash, but it is currently owned by Steven Holbrook, which will need to be discussed at another time once the property is acquired.

*Commissioner Allen opened the public hearing at 6:50 p.m. As there were no comments, he closed the hearing at 6:50 p.m.*

Discussion Summary Points:

- Discussion and review of the request to amend the General Plan Future Land Use Map from Business Park/Light Industry to Neighborhood Residential One, Neighborhood Residential Two, and Community Commercial, and an associated Rezone request to convert existing Agriculture zoning to R1, RC, and CC zoning on/73.03 acres of property.
- Comment made by Todd Black, Wildlife Biologist/Environmental Planner, stated there has been discussion with the owners/developers to place a fence on the far west of the rezone property to tie into the highway fence.

**MOTION:** *Commissioner Hess moved to forward a positive recommendation of Item 7. A. An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Certain Lands Known as Cedar Valley Holbrook. Commissioner Allen seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

**MOTION TO RECONSIDER:** *Commissioner Hess moved to reconsider the previous Motion regarding Agenda Item 7 A. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

**MOTION:** *Commissioner Hess moved to recommend approval to the City Council of Item 7.A. with the recommendation that the Future Land Use Map be amended with all residential portions be neighborhood residential one. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Not Voting - Alternate

*The motion passed with a unanimous vote.*

7.B. ORDINANCE/PUBLIC HEARING - An Ordinance of Eagle Mountain City, Utah, Rezoning Certain Lands Known as Cedar Valley Holbrook

*Item 7.A. and Item 7.B. were presented concurrently.*

Presented by Senior Planner, Robert Hobbs: A request for approval to Amend the General Plan Future Land Use Map from Business Park/Light Industry to Neighborhood Residential One, Neighborhood Residential Two and Community Commercial, and, an associated Rezone request to convert existing Agriculture zoning to R1, RC and CC zoning on/for 73.03 acres of property located in the NE ¼ of Section 23, T5S, R2W, on the north side of SR-73, south of 8000 North and west of Airport Road Parcel No's. 58:047:0060, 58:047:0058, 58:047:0061, and 58:047:0062 in Eagle Mountain City.

*Commissioner Allen opened the public hearing at 6:50 p.m. As there were no comments, he closed the hearing at 6:50 p.m.*

**MOTION:** *Commissioner Whiting moved to forward a positive recommendation to the City Council of Item 7.B., with the condition that RC would be zoned R2. Commissioner Hess seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Not Voting - Alternate

*The motion passed with a unanimous vote.*

7. C. SITE PLAN - McDonald's

Presented by Senior Planner, David Stroud: Site Plan approval of McDonald’s on a portion of Parcel No. 59:044:0112 and Parcel No. 59:044:0175, to be platted at Lot 4 of The District at Eagle Mountain Subdivision. The approximate address is 4248 North Pony Express.

Applicant’s Statements Summary Points, Darrin Perkes, Dominion Engineering:

- The applicant has been working with the City to enhance architecture,
- The mechanical units are typically mounted on the rooftop,
- Electrical utilities are typically at the back of the buildings, such as the electrical cabinet, the electrical cabinet would match the color of the building.

Commissioner Allen opened the public hearing at 7:19 p.m.

The following individuals spoke during the public comment period: Jeff Ruth (in person) and Stella Castellano (email comment summarized at the meeting)

Commissioner Allen closed the public hearing at 7:22 p.m.

Discussion Summary Points:

**MOTION:** *Commissioner Strong moved to forward a positive recommendation to the City Council of Item 7.C., with the recommendations that The District at Eagle Mountain Town Center Subdivision Plat A is recorded before submittal of a building permit, and 2) all mechanical equipment, whether ground or roof mounted, is screened from view. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

7.D. PRELIMINARY PLAT/PLAT AMENDMENT - Marketplace 4

**MOTION:** *Commissioner Allen moved to table Item 7.D Preliminary Plat/Plat Amendment Marketplace until the April 8, 2025, Planning Commission meeting. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

7.E. MASTER SITE PLAN - John Hancock Charter School

Presented by Senior Planner, Robert Hobbs: A request for Master Site Plan approval for the John Hancock Charter School to be located in the N ¼ of Section 19, S6S, R1W at the southeast intersection of E. Pole Canyon Boulevard and N. Lake Mountain Road in a Foothill Residential Zone on 6.9753 acres of land (Parcel No. 59:019:0023) in Eagle Mountain City.

*Commissioner Allen opened the public hearing at 7:30 p.m. As there were no comments, he closed the hearing at 7:30 pm.*

Discussion Summary Points: There was no discussion on Agenda item 7. E.

**MOTION:** *Commissioner Whiting moved to forward a positive recommendation to the City Council on Item 7.E. Master Site Plan John Hancock Charter School, with the recommendations of 1) Site plan shall have the note that refers to a "proposed 6' paved access between schools" changed to "proposed 6' paved access between school and neighboring subdivision"; and, 2) Provide a material type callout on the site plan where the future building is intended to be placed; and, 3) School shall have a minimum 6' high solid screen wall or non-chain link fence around the trash enclosure featuring solid metal gates; and, 4. Any conditions required by City Engineering. Commissioner Allen seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

7. F. ORDINANCE/PUBLIC HEARING - An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Certain Lands Known as Big Eagle 7.

*Item 7.F. and Item 7.G. were presented concurrently.*

Presented by Planner 2, Steven Lehmitz: A General Plan amendment for Parcel No. 59:047:0003 to change the General Plan Future Land Use Map from Regional Commercial to Business Park/Light Industry.

Applicant's Statements Summary Points, Mitchell Nelson:

- On the General Plan map, Cedar Valley Highway is adjusted to be located on the east side of the property; this placement would also position utilities on the east side.

*Commissioner Allen opened the public hearing at 7:36 p.m. As there were no comments, he closed the hearing at 7:36 p.m.*

Discussion Summary Points:

- The Development Agreement can't be changed unless an Amendment to the General Plan Future Land Use Map for this certain land known as Big Eagle 7 is amended.
- Energy production is currently used primarily for a Data Center(s), under provision in the Development Agreement – energy power can be generated for our use as long as it is for subordinate use.

**MOTION:** *Commissioner Allen moved to forward a positive recommendation to the City Council on Item 7. F. An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Certain Lands Known as Big Eagle 7. Commissioner Hess seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

7. G. ORDINANCE/PUBLIC HEARING - An Ordinance of Eagle Mountain, Utah, Rezoning Certain Lands Known as Big Eagle 7.

*Item 7.F. and Item 7.G. were presented concurrently.*

Presented by Planner 2, Steven Lehmitz: A rezone request for Parcel No. 59:047:0003 to change the zoning from Agriculture to Industrial with the Regional Technology and Industry Overlay also applied.

*Commissioner Allen opened the public hearing at 7:36 p.m. As there were no comments, he closed the hearing at 7:36 p.m.*

**MOTION:** *Commissioner Allen moved to forward a positive recommendation to the City Council on Item 7. G. An Ordinance of Eagle Mountain, Utah, Rezoning Certain Lands Known as Big Eagle 7. Commissioner Strong seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

8. Discussion Items

9. Next Scheduled Meeting

The next Planning Commission meeting is scheduled for April 8, 2025.

10. Adjournment

**MOTION:** *Commissioner Strong moved to adjourn the meeting at 7:40 p.m. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Absent
Rod Hess	Yes
Brent Strong	Yes

**Craig Whiting  
Bryan Free**

**Yes  
Yes**

***The motion passed with a unanimous vote.***

The meeting was adjourned at 7:40 p.m.

Approved by the Planning Commission on

---

Brandon Larsen  
Planning Director

DRAFT



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	An Ordinance of Eagle Amending Municipal Code respecting Political Signs
<b>ITEM TYPE:</b>	Development Code Amendment
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	City initiated

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
n/a	n/a

**PUBLIC HEARING**

Yes

**PREPARED BY**

John Magness, Policy and Management Analyst

**PRESENTED BY**

John Magness

**RECOMMENDATION:**

Staff recommends that the Planning Commission advance a positive recommendation to the City Council respecting the City's proposal to adopt an ordinance amending Title 17 Chapter 80.120 Exempt Signs -- specifically subsection (C) "Political Signs".

**BACKGROUND:**

A proposal to enact an ordinance amending Title 17 Chapter 80.120. Exempt Signs by replacing existing language about the size and placement of political signs with more specific language about the size, placement, location, and timing of political signs (i.e., pertaining to election campaigns, candidates etc.)

Every year the City has to handle inquiries about the location and size of political signs from local, school, state, county, or federal elections. The City has informally regulated the location, size, etc. of political signs informally for years. Staff requests that the proposed code changes be recommended for approval.

This year's election cycle gets underway with candidate filings in June for the biennial local government elections, and a one-time special school board election, so getting it heard as soon as possible by the Planning Commission and then the City Council will be beneficial to the community, Staff, and candidates.

**ITEMS FOR CONSIDERATION:**

The Planning Commission should consider the potential consequences associated with the proposed code changes if adopted. Ordinances pertaining to Development Code Amendments, and processing of the same, may be found in EMMC 17.05.120 & UCA 10-9a-501. This change will provide some clarity as to certain public spaces that can be used for placing political signs.

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

n/a

**ATTACHMENTS:**

1. EMC Code Section 17.80.120 Exempt signs amendments (1)

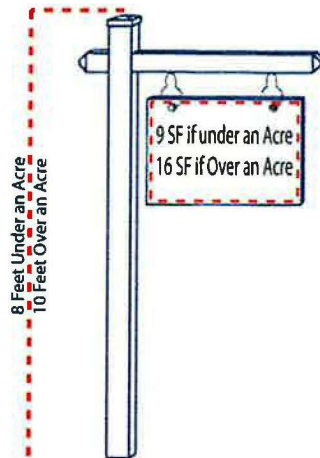
**17.80.120 Exempt signs.**

All signs exempt from the permit process shall comply with the general provisions of this chapter except traffic signs approved by the city engineer. No sign permits shall be required for the following signs:

A. On-Premises Project Sign. One on-premises project sign may be erected for projects that have received either site plan approval or final subdivision approval. This sign may contain information about the approved business or project, and shall not exceed eight feet in height and 32 square feet of sign copy per side if double-faced. This sign shall be allowed until the development is complete or within one year of posting, whichever occurs first.



B. On-Premises Real Estate Sign. One on-premises real estate sign for lots less than one acre in size. The real estate sign shall not exceed eight feet in height and nine square feet of sign copy per side if double-faced. For lots that are larger than one acre in size, the property will be allowed to display a sign that shall not exceed 10 feet in height and 16 square feet of sign copy per side if double-faced. Real estate signs shall be allowed until the transaction with the property is complete.



C. Political Signs: ~~Political signs placed on private property that do not exceed eight feet in height and 32 square feet per side if double faced; provided, that such signs do not violate any other provisions of this chapter including provisions pertaining to the placement of signs in the public right-of-way.~~

1. Private property political signs that do not exceed eight feet in height and 32 square feet per side if double-faced; provided, that such signs do not violate any other provisions.
2. City owned or leased property political signs are not permitted on any city owned or leased property including right of ways and median strips with the following exceptions:
  - a. Southeast corner of N Eagle Mountain Blvd. and E Aviator Ave. Parcel Number 66:584:0052 (See Exhibit A)
  - b. North side of Pony Express Parkway at Hidden Valley Parkway. Parcel Number 58:040:0325. Behind the benches. (See Exhibit B)
  - c. South Side of Pony Express Parkway east of Silverlake Amphitheatre Parcel Number 58:040:0393. Place signs south of the trail. (See Exhibit C)
    - i. Political signs that do not exceed eight feet in height and 32 square feet per side if double-faced; provided, that such signs do not violate any other provisions.
    - ii. No signs on city owned or leased property where permitted shall be placed 60 days prior to the election date.
    - iii. Signs placed on city owned or leased property where permitted shall be removed within 2 days after the election.
    - iv. Only one sign per candidate per location.
    - v. Signs placed on city owned or leased property not in accordance with Section 10.80.120(2) are subject to removal by city staff.

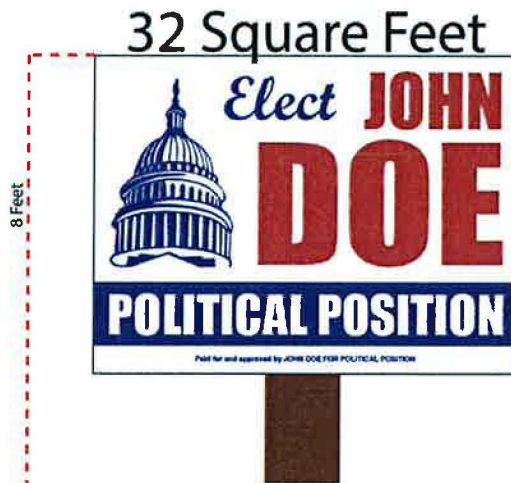


Exhibit A



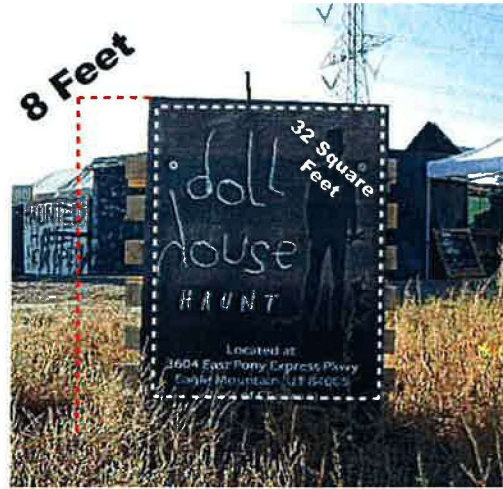
Exhibit B



Exhibit C



D. Temporary Use Signs. Signs for temporary uses that have obtained a business license, if required, from the city may be installed as follows: one sign on a temporary basis located on premises that shall not exceed eight feet in height and 32 square feet of sign copy per side if double-faced. Temporary use signs will be allowed as long as the temporary use has a business license from the city.



E. Property Signs. Property signs no larger than nine square feet of sign copy per side if double-faced. These signs shall be permitted indefinitely as long as the sign is in compliance with the general provisions of this chapter.

F. Nameplate Signs. One nameplate sign identifying owners and addresses and no larger than two square feet of sign copy per side if double-faced.

G. Traffic Signs. Traffic signs as required by law which are approved by the city engineer and erected by or on behalf of a public agency. Traffic signs deemed necessary by the city engineer may not be required to comply with provisions of this chapter.



H. Civic Signs. Civic signs on private property which announce holidays or public interest events sponsored by nonprofit organizations; public service signs or signs related to community service projects not to exceed eight feet in height and 32 square feet of sign copy per side if double-faced.



I. Window Signs. Window signs including posters, messages, or displays painted or mounted on the interior side of a window may be used to advertise special promotions.



J. Public Notice. The display of official notices used by any court, public body or official, or the posting of notices by any public officer in the performance of a duty, or by any person giving legal notice at the direction of a governmental entity.



K. Community Event Signs. Temporary community event signs displayed by the city, or one of its committees, subcommittees, councils, boards, or city partner agencies, to promote community events.

L. Model Homes. One on-premises sign for model homes; provided, that the on-premises sign does not exceed 32 square feet in size. A maximum of six flags not to exceed 15 square feet each posted on flag poles not to exceed 20 feet measured from the grade level to the top of the pole. The flags' colors shall be consistent with the on-premises sign. In addition, a single flag pole that complies with the standards for ancillary structures defined in Chapter 17.25 EMMC may be constructed. Flags allowed on this flag pole include only the national flag of the United States of America, the Utah State, and the official Eagle Mountain flags; no commercial flags shall be allowed on this flag pole. American flags shall not exceed 40 square feet in size. Two A-frame or temporary directional signs of no more than four square feet per builder per subdivision are allowed in the right-of-way adjacent to the model home and in the park strip of the nearest major street corner. These signs shall be directional only, not containing other advertising. These signs are only allowed during model home hours, and must be removed each evening at closing.

M. Real Estate Open House Signs. One A-frame or temporary directional sign of no more than four square feet for real estate open houses for individual home sales is allowed in the park strip of the nearest street corner, one day per week, to be put up no more than one hour prior to the open house and must be removed within one hour after the open house.

N. Temporary Informational Signs. Small informational signs such as lost pet signs, neighborhood or religious activity signs, youth sales signs (such as lemonade stands), and other signs for noncommercial purposes (i.e., not promoting a business of any kind, except youth sales) are allowed in the right-of-way. These signs may not be located in the park strip (between the street and the sidewalk) on major streets, but may be located between the sidewalk and a property line or fence. These signs may not be placed on utility poles, light poles, fences, or trees. The code enforcement officer has the authority to remove signs without notice if they have not been removed in a timely manner or if they present a safety hazard.

O. On-Premises Home Business Signs. Home businesses with a valid business license from Eagle Mountain City may place one nonilluminated wall sign no larger than four square feet in size on the front of the principal dwelling no higher than the first story.

P. Official Signs. Signs that are owned and operated by Eagle Mountain City and are used for informational or civic purposes, including advertising special events within Eagle Mountain City. Official signs may include electronic message centers, reader boards, or other replaceable copy signs. Official signs that do not comply with the general provisions of this chapter must be approved by the city council. Electronic signs should be turned off between the hours of 12:00 a.m. and 5:00 a.m., except in the case of necessary communications. Electronic signs shall also comply with EMMC 17.80.070(F)(5)(c) in relation to maximum nighttime brightness and illumination.

Q. Flagpoles. Any flagpole must comply with the following standards:

1. In residential zones:

a. A standalone flagpole not to exceed 35 feet in height may be installed for every residential dwelling unit.

2. In nonresidential zones:

a. Nonresidential developments may install flagpoles up to 80 feet in height.

b. Secondary flags shall be limited to state and city flags.

3. Size. The size of the flag material, when measured diagonally, shall not exceed the structural integrity of the pole.

a. If designed to accommodate such, flagpoles may hold more than one flag so long as the combined size of all flags, when measured diagonally, does not exceed one-half of the height of the flagpole.

b. National flags shall be the primary flag with all state and city flags as secondary to the national flag.

4. Location. All flagpoles shall be located outside of any public right-of-way and in a place that will not impede traffic or cause a hazard for pedestrians or vehicles. [Ord. O-01-2022 § 2 (Exh. A); Ord. O-14-2020 § 2 (Exh. A); Ord. O-03-2020 § 2 (Exh. A); Ord. O-17-2019 § 2 (Exh. A); Ord. O-05-2019 § 2 (Exh.

A); Ord. O-08-2016 § 2 (Exh. A); Ord. O-02-2016 § 2 (Exh. A); Ord. O-02-2012 § 2 (Exh. A); Ord. O-06-2010 § 2 (Exh. A); Ord. O-12-2009 § 2 (Exh. A); Ord. O-26-2008 § 2 (Exh. A § 16.10); Ord. O-18-2008 § 2 (Exh. A § 16.10); Ord. O-17-2006 § 2 (Exh. 1 § 16.10); Ord. O-23-2005 § 3 (Exh. 1(1) § 16.9). Formerly 17.80.110].



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	Panda Express Site Plan
<b>ITEM TYPE:</b>	Site Plan
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	Henry Klover

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
General Plan Designation: Community Commercial Zone: Commercial Community	0.919 acres

**PUBLIC HEARING**

Yes

**PREPARED BY**

Ashley Swensen, Planner

**PRESENTED BY**

Ashley Swensen

**RECOMMENDATION:**

Staff recommends the Planning Commission forward a positive recommendation to City Council for the Panda Express Site Plan.

**BACKGROUND:**

This lot was part of the District at Eagle Mountain Town Center Rezone on July 6, 2021 and was rezoned as Commercial Community. It was also part of The District Master Site Plan/Preliminary Plat which was approved by City Council on October 15, 2024 and was designated for the building of a fast food restaurant as part of Phase I of the plat.

**ITEMS FOR CONSIDERATION:**

The proposed site plan complies with all applicable standards in the site plan development (EMMC 17.100) and commercial design (EMMC 17.72) zoning standards.

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

n/a

**ATTACHMENTS:**

1. Panda Express Maps
2. Panda Express Site Plan
3. Panda Express Elevations
4. Panda Express Landscaping Plan
5. Panda Express Photometric Plan



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	Panda Express Site Plan
<b>ITEM TYPE:</b>	Site Plan
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	Henry Klover

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
General Plan Designation: Community Commercial Zone: Commercial Community	0.919 acres

**PUBLIC HEARING**

Yes

**PREPARED BY**

Ashley Swensen, Planner

**PRESENTED BY**

Ashley Swensen

**RECOMMENDATION:**

Staff recommends the Planning Commission forward a positive recommendation to City Council for the Panda Express Site Plan.

**BACKGROUND:**

This lot was part of the District at Eagle Mountain Town Center Rezone on July 6, 2021 and was rezoned as Commercial Community. It was also part of The District Master Site Plan/Preliminary Plat which was approved by City Council on October 15, 2024 and was designated for the building of a fast food restaurant as part of Phase I of the plat.

**ITEMS FOR CONSIDERATION:**

The proposed site plan complies with all applicable standards in the site plan development (EMMC 17.100) and commercial design (EMMC 17.72) zoning standards.

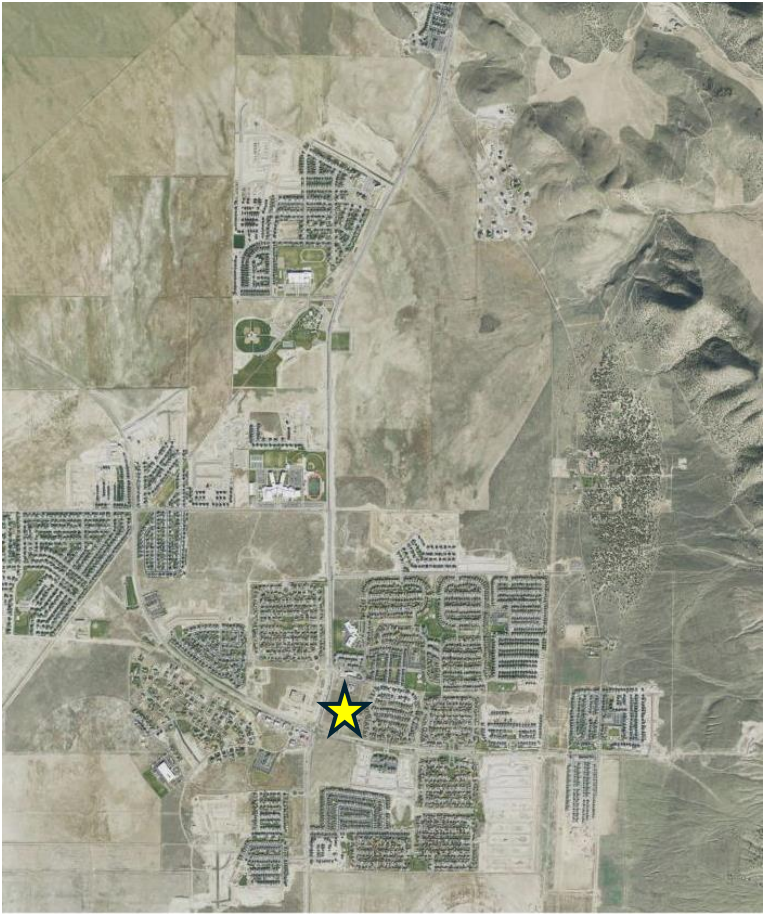
**PLANNING COMMISSION ACTION/RECOMMENDATION:**

n/a

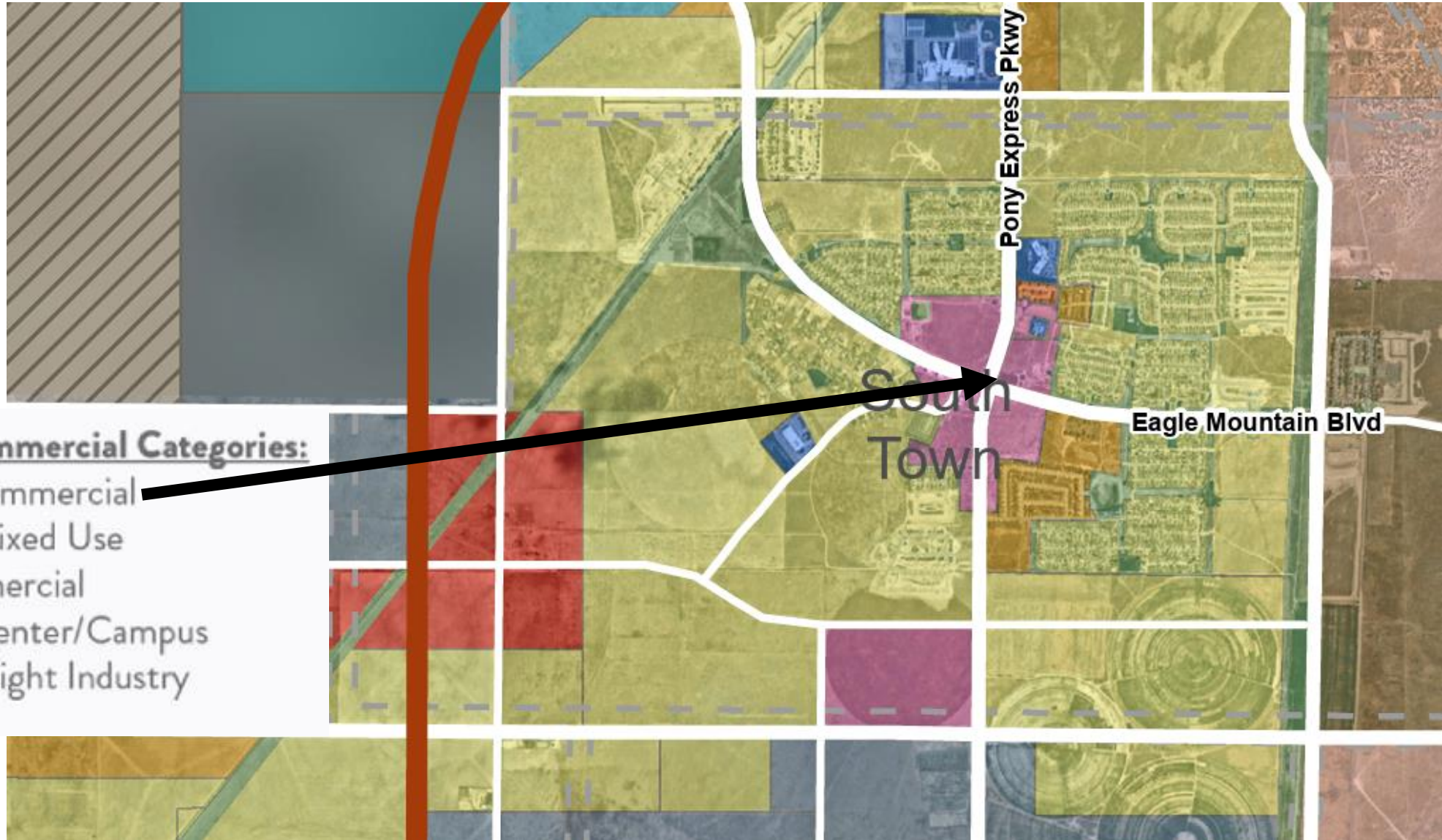
**ATTACHMENTS:**

1. Panda Express Maps
2. Panda Express Site Plan
3. Panda Express Elevations
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5. Panda Express Photometric Plan

# Vicinity Map



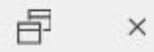
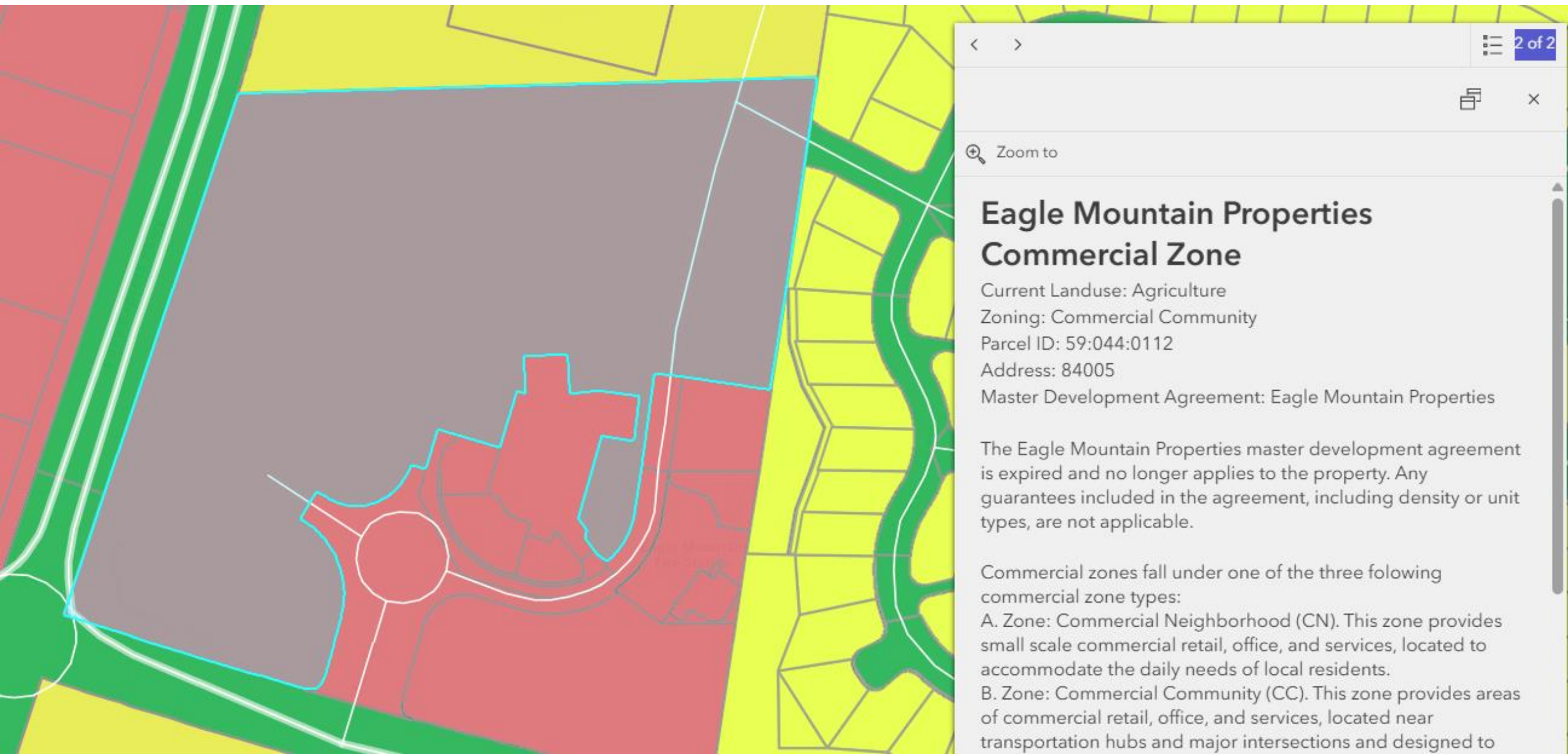
# General Plan Category



## Mixed Use/Commercial Categories:

- Community Commercial
- Town Center Mixed Use
- Regional Commercial
- Employment Center/Campus
- Business Park/Light Industry

# Zoning



Zoom to

## Eagle Mountain Properties Commercial Zone

Current Landuse: Agriculture  
Zoning: Commercial Community  
Parcel ID: 59:044:0112  
Address: 84005  
Master Development Agreement: Eagle Mountain Properties

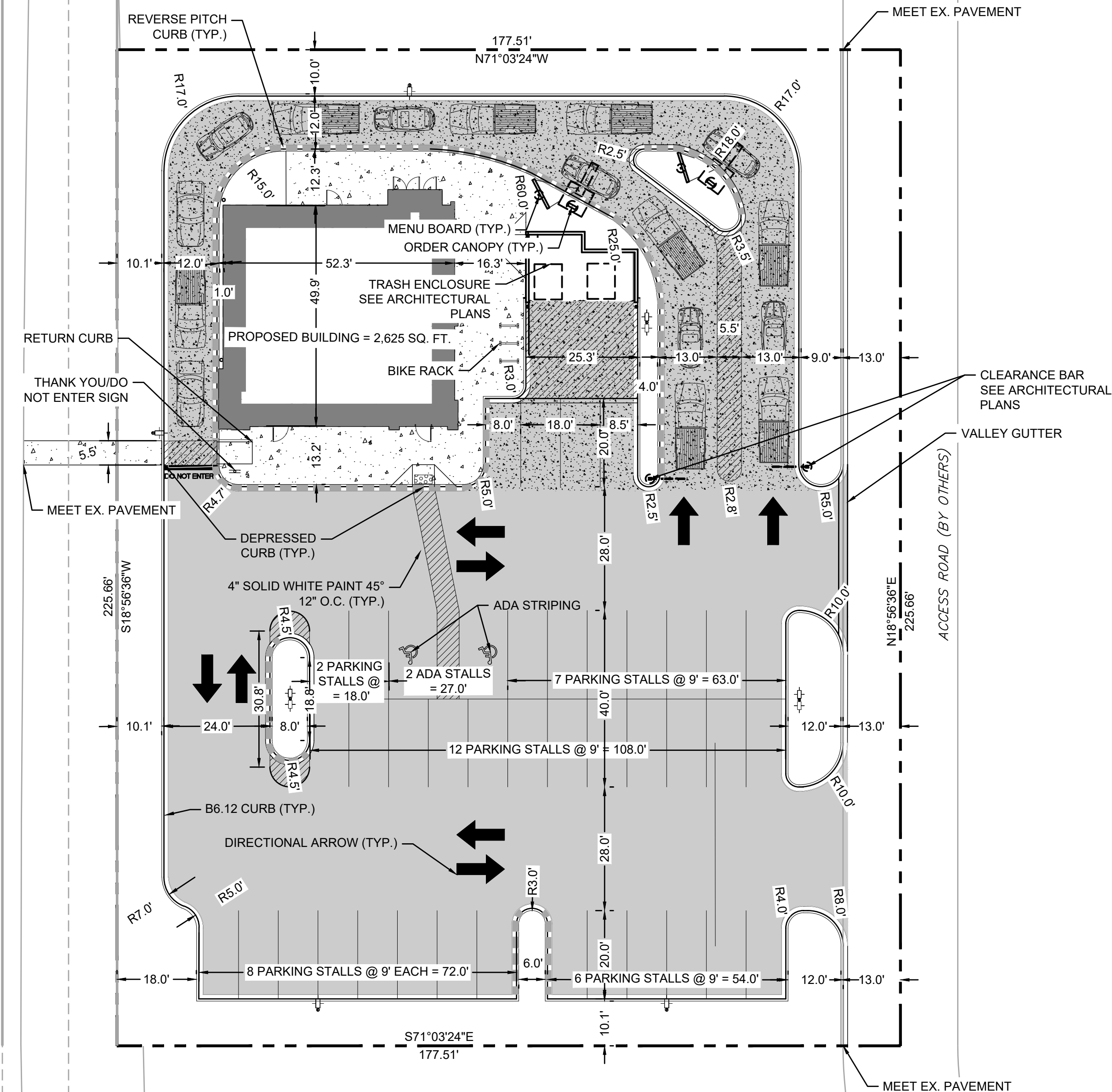
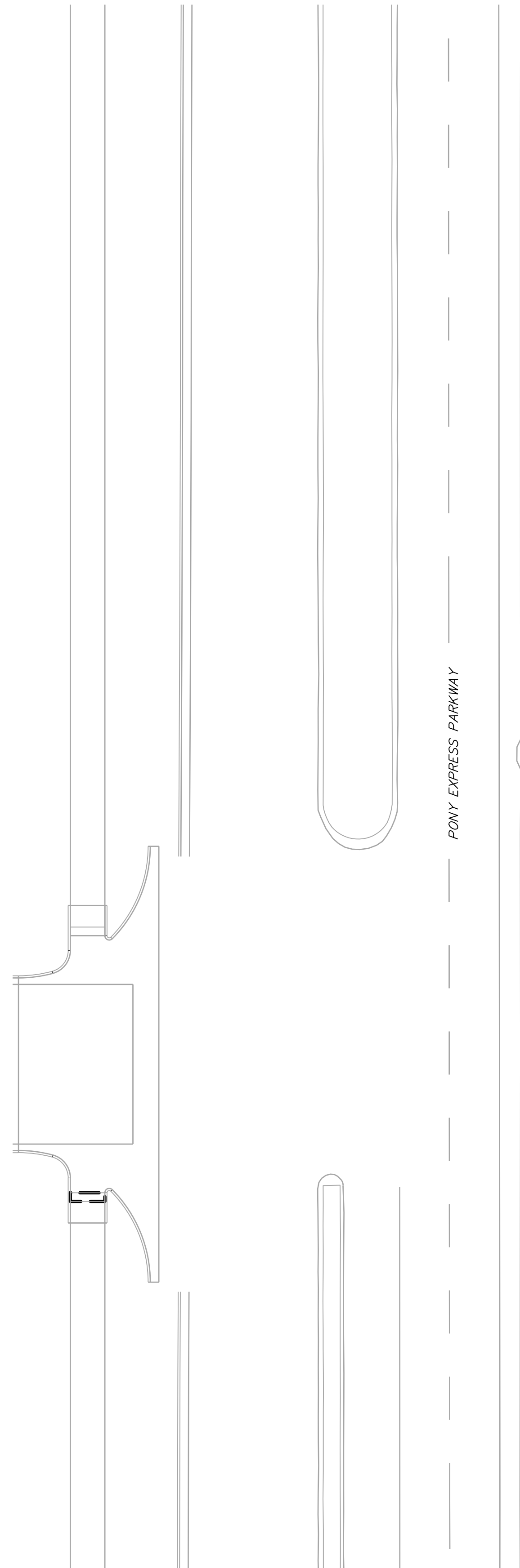
The Eagle Mountain Properties master development agreement is expired and no longer applies to the property. Any guarantees included in the agreement, including density or unit types, are not applicable.

Commercial zones fall under one of the three following commercial zone types:

- A. Zone: Commercial Neighborhood (CN). This zone provides small scale commercial retail, office, and services, located to accommodate the daily needs of local residents.
- B. Zone: Commercial Community (CC). This zone provides areas of commercial retail, office, and services, located near transportation hubs and major intersections and designed to

# Site Map Overlay





**PAVEMENT LEGEND**

	STANDARD DUTY BITUMINOUS PAVEMENT
	HEAVY DUTY CONCRETE
	PCC SIDEWALK
	CURB & GUTTER
	REVERSE PITCH CURB & GUTTER
	DEPRESSED CURB & GUTTER
	PROPOSED BUILDING

**SITE SUMMARY**

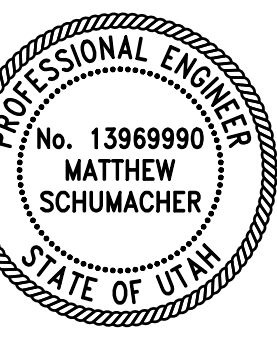
TOTAL IMPERVIOUS AREA ADDED =	0.73 AC
TOTAL SITE AREA =	0.919 AC

**ZONING SUMMARY**

ZONING DISTRICT:	COMMERCIAL COMMUNITY
SETBACKS:	
FRONT:	MIN. 10'; MAX. 25'
SIDE:	NONE
BACK:	20'

**PARKING SUMMARY**

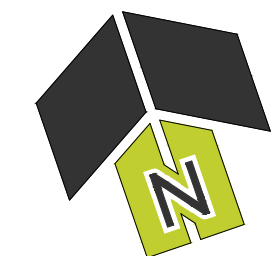
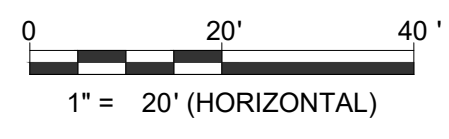
<b>REQUIRED PARKING</b>	
1 STALL PER 125 SF OF GROSS FLOOR AREA * 2,625 SF BUILDING =	21 STALLS
<b>PROVIDED PARKING</b>	
STANDARDS STALLS =	39 STALLS
ADA STALLS =	2 STALLS
<b>TOTAL STALLS =</b>	<b>41 STALLS</b>



**REVISIONS**

2/10/2025 DRC RESUBMITTAL	△
2/25/2025 SITE PLAN APPLICATION RESUBMITTAL	△
2/13/2024 SITE PLAN APPLICATION	△

**PANDA EXPRESS**  
PONY EXPRESS PARKWAY  
EAGLE MOUNTAIN, UTAH



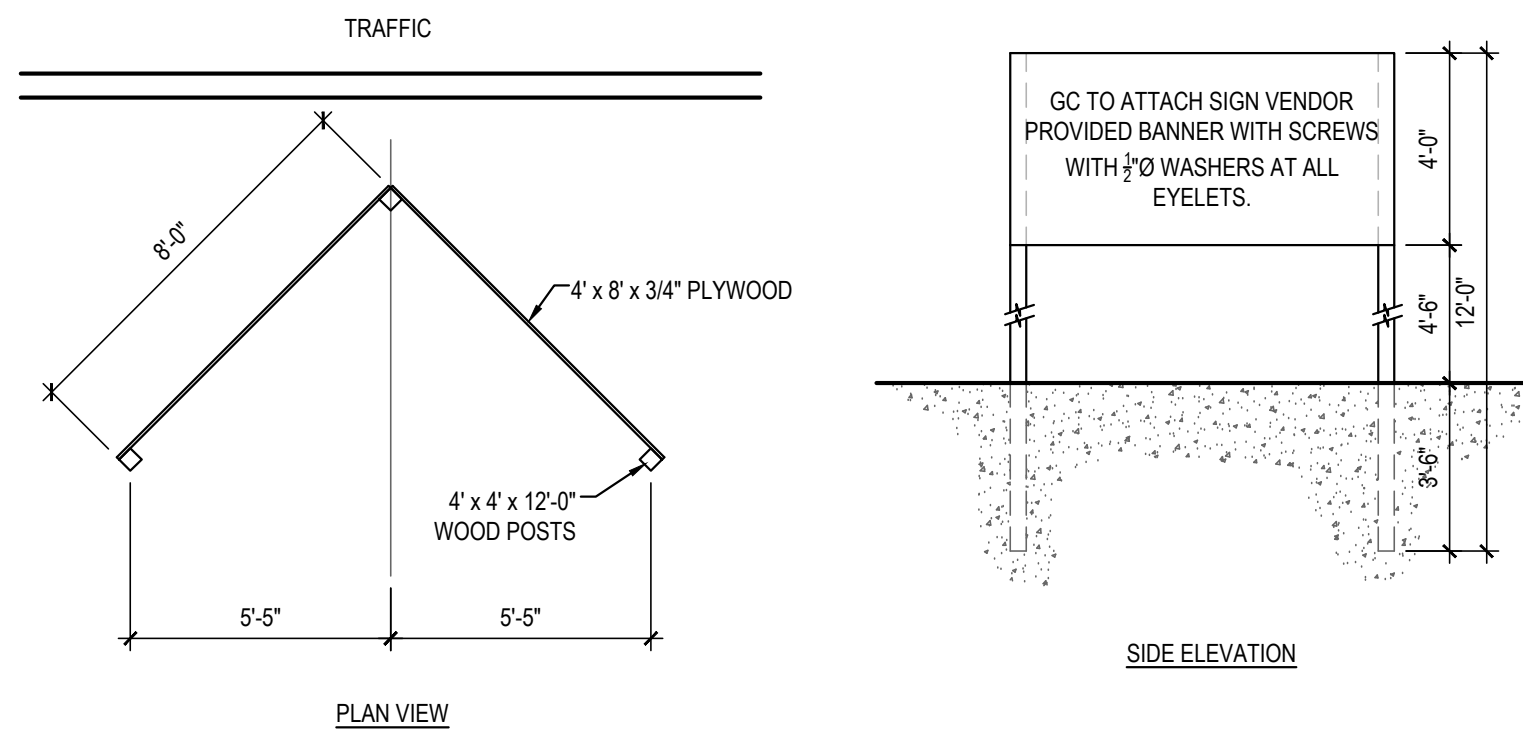
PROJ NO: 240087
ENG: JGN
DATE: 08/01/2024
SHEET TITLE
<b>SITE PLAN</b>
SHEET NUMBER
<b>C2.0</b>
4 OF 20

NOT APPROVED FOR CONSTRUCTION



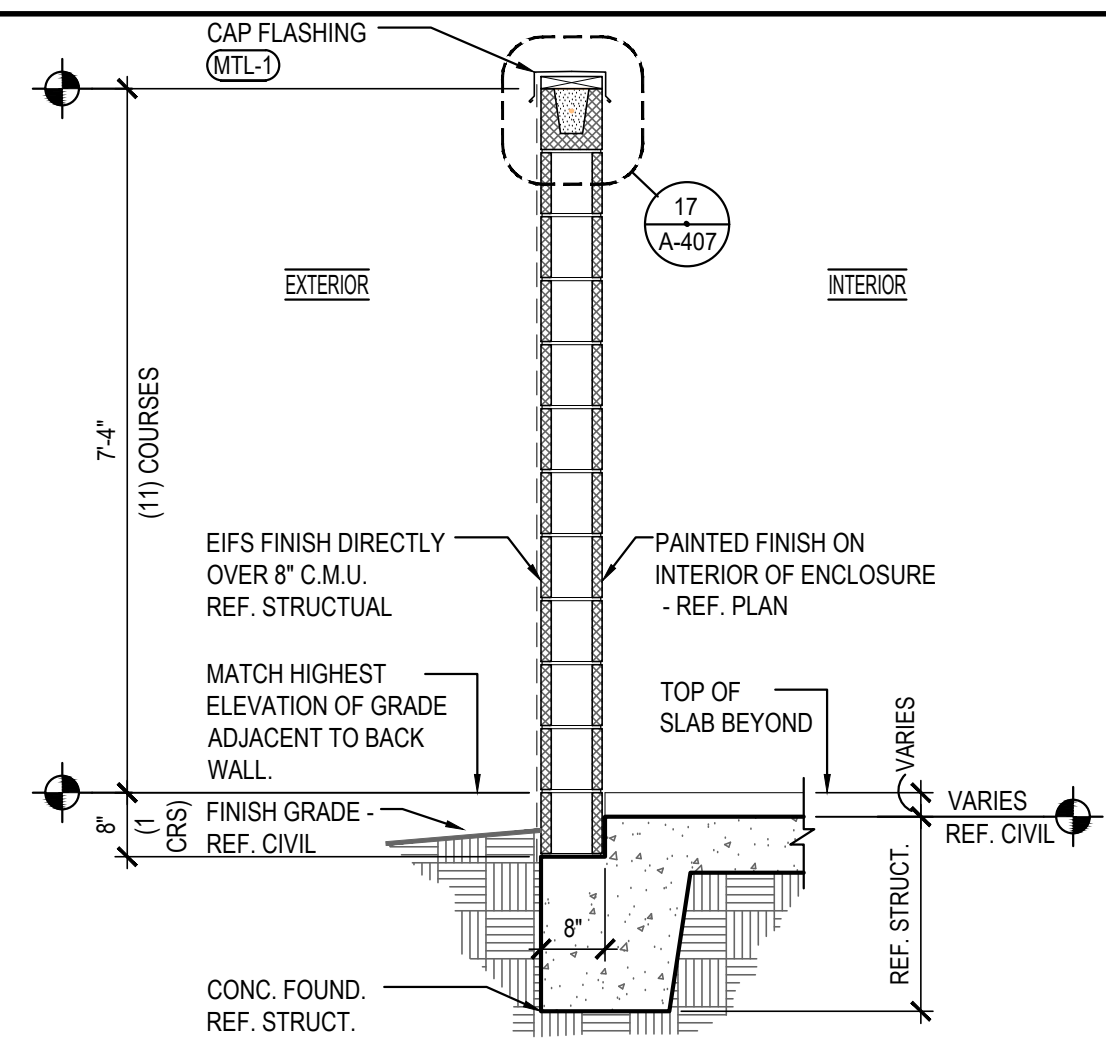


NOTE: GC TO COORDINATE PLACEMENT  
ONSITE WITH PANDA PROJECT MANAGER.



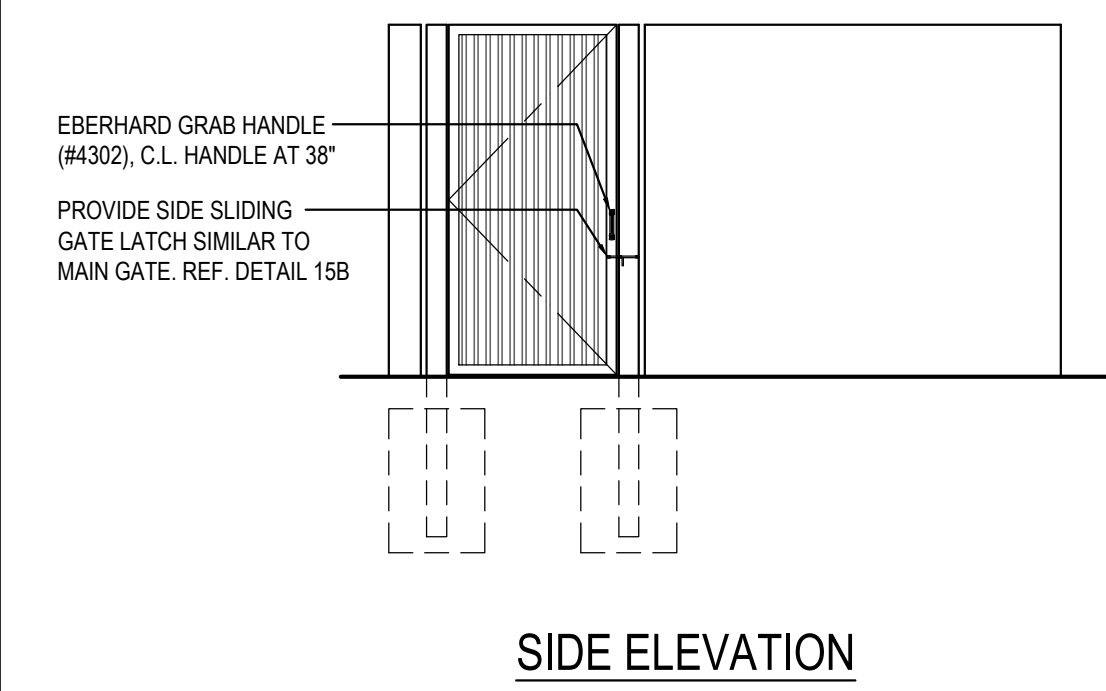
"COMING SOON" SIGN DETAIL 16

Scale= 1/4" = 1'-0" A-407



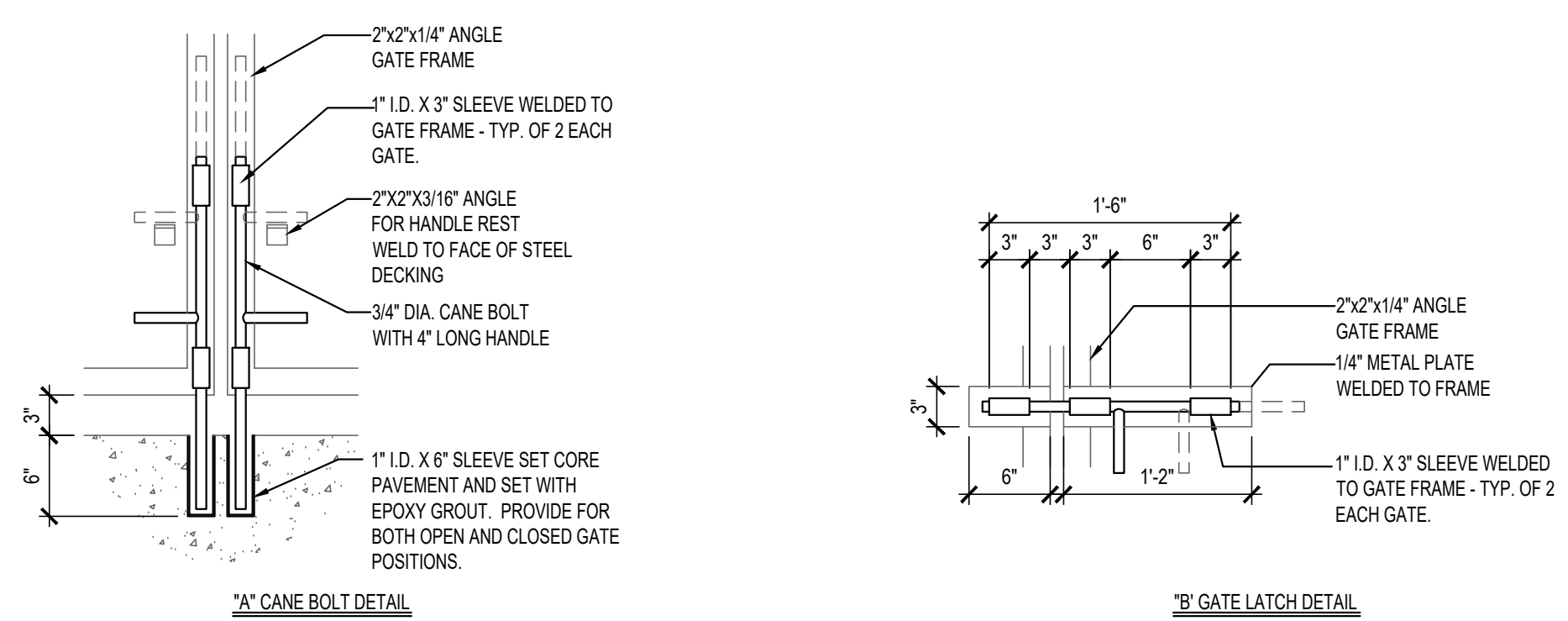
TRASH ENC. WALL SECTION 08

Scale= 1/2" = 1'-0" A-407



SIDE ELEVATION 04

Scale= 1/4" = 1'-0" A-407

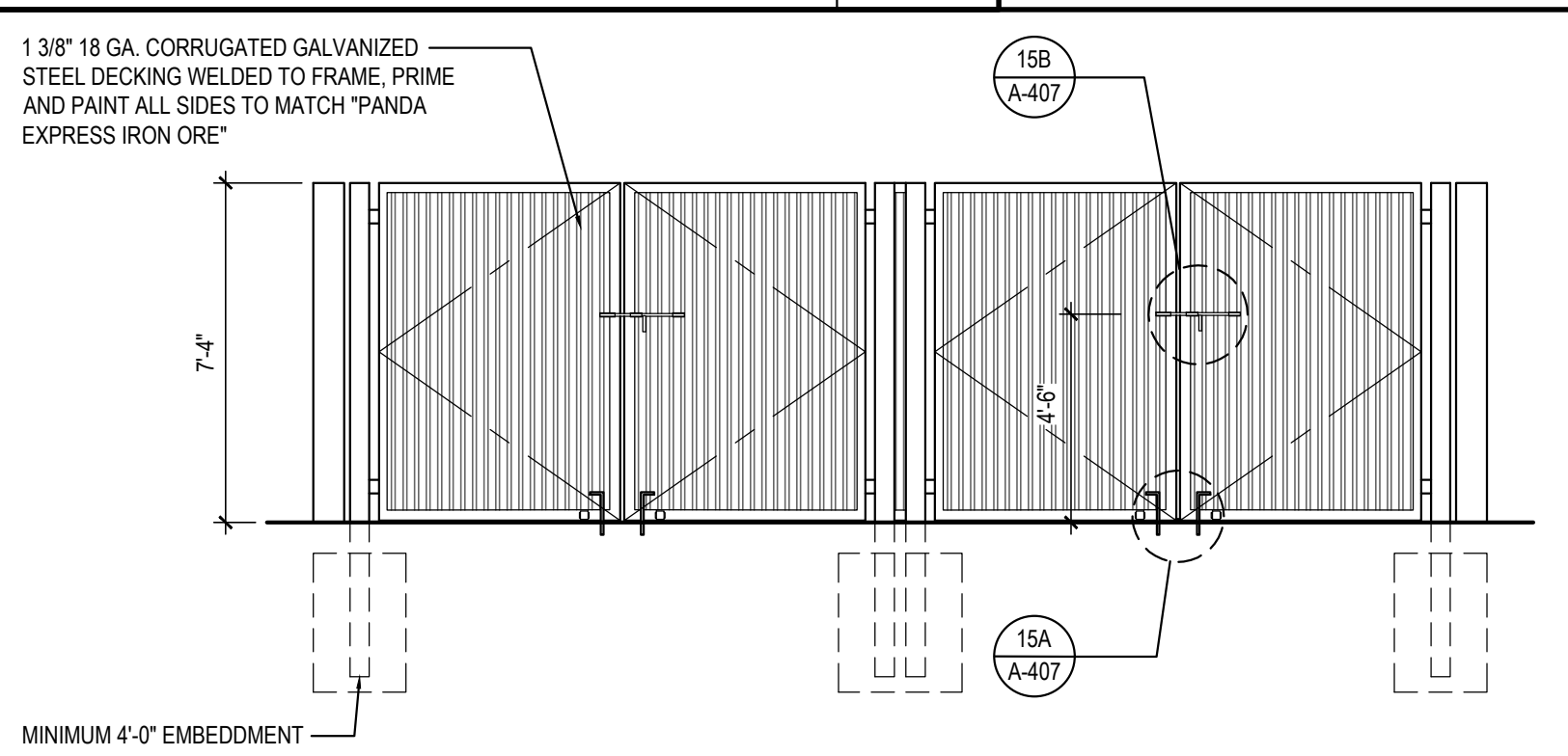


DUMPSTER GATE LATCH DETAILS 15

Scale= NTS A-407

NOT USED 11

Scale= A-407



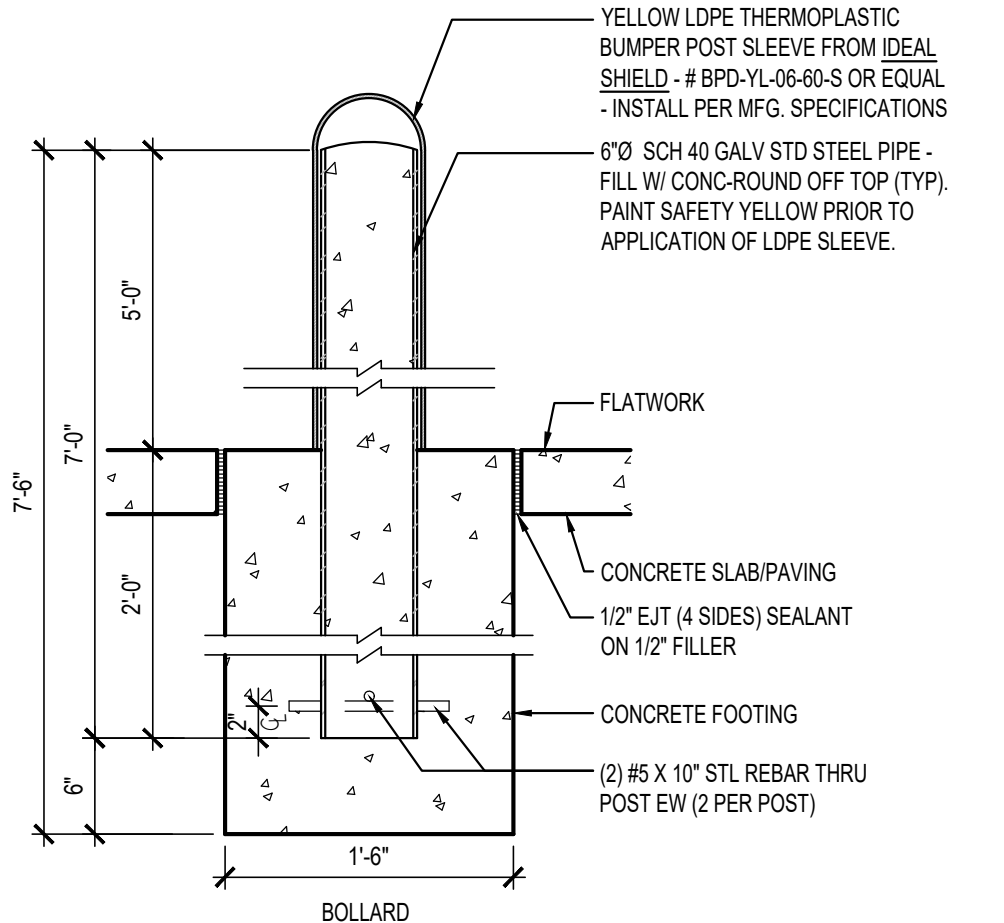
FRONT ELEVATION 02

Scale= 1/4" = 1'-0" A-407

NOTE: THE TRASH ENCLOSURE EXTERIOR CMU WALLS TO HAVE EIFS (COATING) FINISH TO MATCH BUILDING TEXTURE - SEE: A-200  
TRASH ENCLOSURE WALL COLOR SHALL MATCH (#15)  
TRASH ENCLOSURE GATE COLOR SHALL MATCH "PANDA EXPRESS IRON ORE"  
INTERIOR WALLS SHALL BE SMOOTH, CLEANABLE AND SEALED WITH AN APPROVED EPOXY CEMENT SEALER. COLOR TO MATCH EXTERIOR.

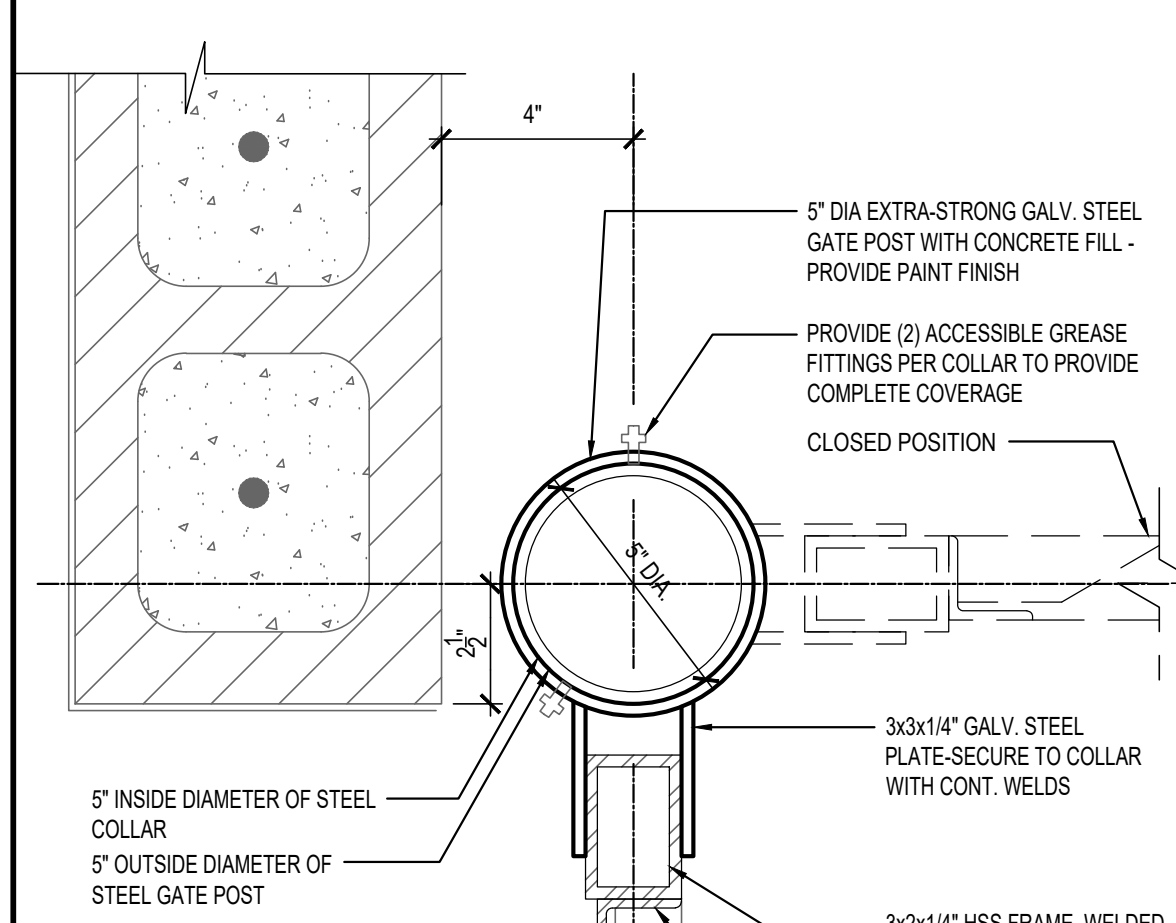
NOTE: CONTRACTOR TO SUPPLY & INSTALL ALL HINGES, GATE LATCHES, CANE BOLTS, ETC. AS INDICATED.

NOTE: ANY DIAGONAL SUPPORT FOR GATES SHALL BE INSTALLED ON THE INSIDE OF ENCLOSURE. THIS SHALL NOT BE VISIBLE ON THE OUTSIDE OF THE GATE.



BOLLARD / POST BASE 18

Scale= 1" = 1'-0" A-407

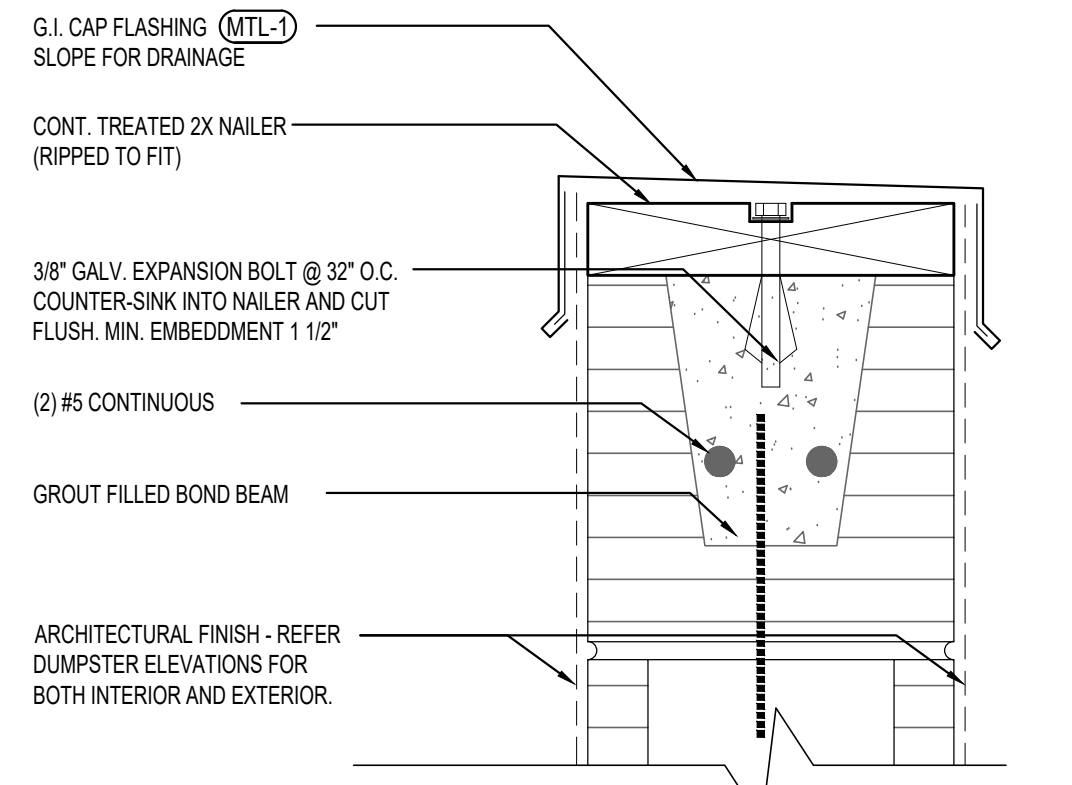


HINGE DETAIL 13

Scale= 3" = 1'-0" A-407

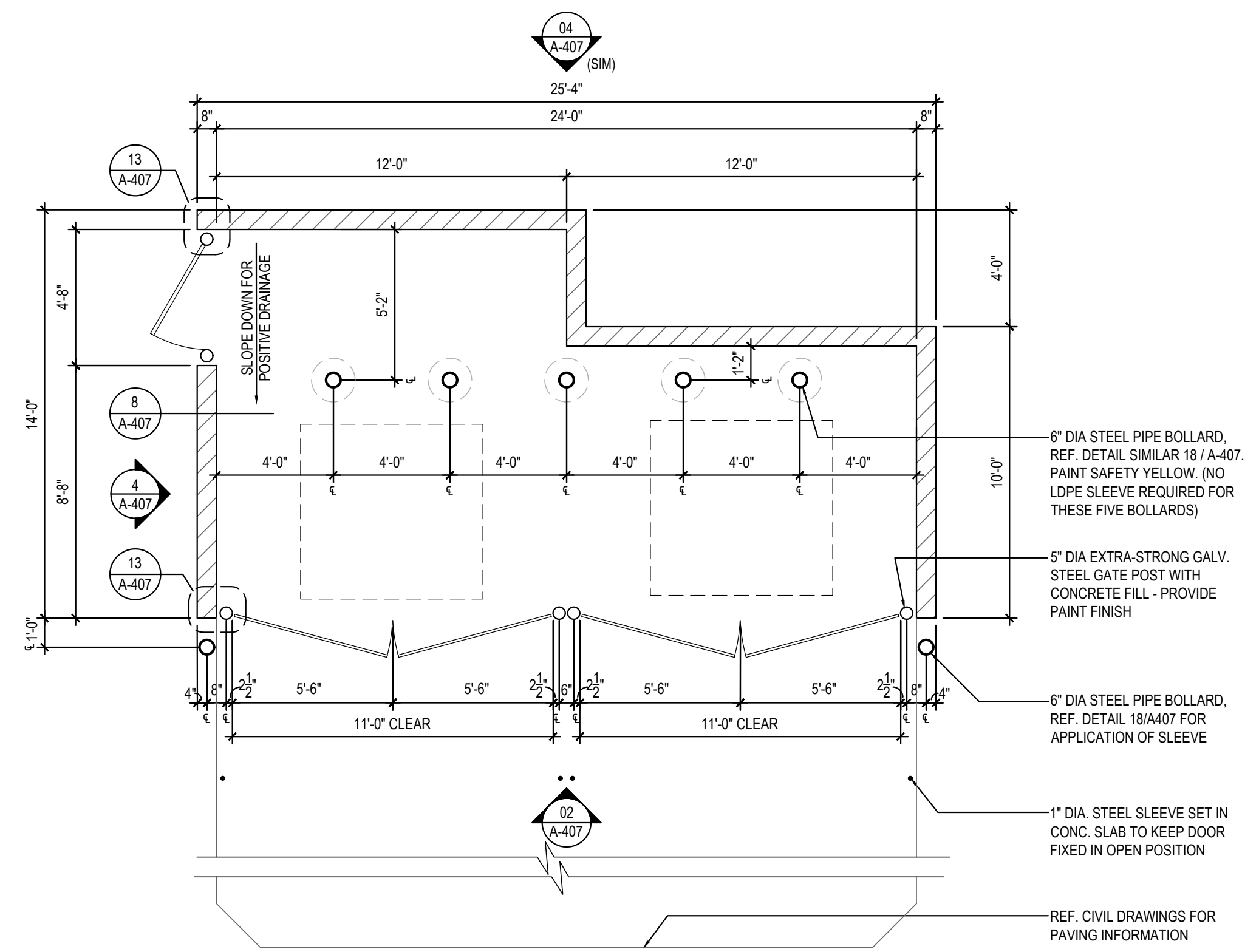
NOT USED 10

Scale= A-407



DUMPSTER CAP DETAIL 17

Scale= 3" = 1'-0" A-407



TRASH ENCLOSURE 01

Scale= 1/4" = 1'-0" A-407



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

NO.	DATE	DESCRIPTION

DRAWN BY: NW

PANDA PROJECT : S8 - 25 - D31963  
PANDA STORE # :  
ARCH PROJECT # : 23044.035

**hckloverarchitect**  
8813 Penrose Lane, Suite 400,  
Lenexa, KS 66219  
ph: 913.649.8181 • fx: 913.649.1275

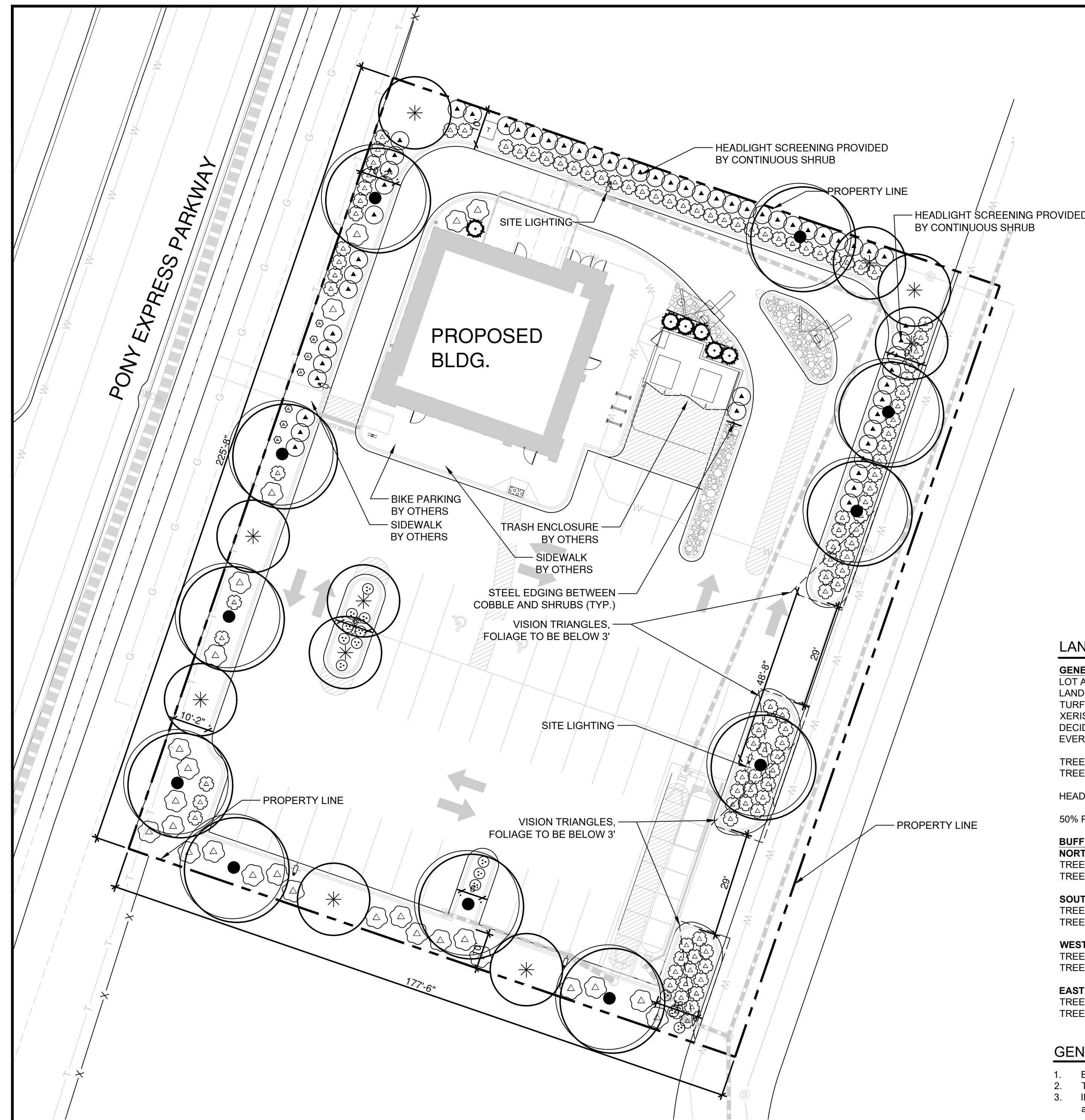
**CONCEPTUAL FOR REFERENCE**

**PANDA EXPRESS**  
PANDA HOME SQ R3  
PONY EXPRESS PARKWAY & EAGLE MOUNTAIN BL  
EAGLE MOUNTAIN, UT

**A-407**

TRASH ENCLOSURE DETAILS

PANDA HOME SQUARE R3



### PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CAL	HEIGHT	MATURE SIZE (W'XH')	QTY	REMARKS
<b>TREES</b>							
●	ACER GRANDIDENTATUM BIGTOOTH MAPLE	CONT.	1.5' CAL.	8' MIN.	30X60	11	DECIDUOUS, ~4'X8' (WXH) AT INSTALL
⊛	ACER TATARICUM 'GARANN' HOT WINGS® TATARIAN MAPLE	CONT.	1.5' CAL.	8' MIN.	20'X25'	10	DECIDUOUS, ~4'X8' (WXH) AT INSTALL
⊙	JUNIPERUS CHINENSIS 'BLUE POINT' BLUE POINT JUNIPER	CONT.	1.5' CAL.	6' MIN.	8X12	6	EVERGREEN, ~2'X6' (WXH) AT INSTALL
SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (W'XH')	ADDITIONAL	SPACING	QTY	REMARKS
<b>SHRUBS</b>							
⊙	ARTEMISIA FRIGIDA FRINGED WORMWOOD	1 GAL	1.5X1.5		48" o.c.	109	DECIDUOUS, 8"X8" (WXH) AT INSTALL
⊙	ARTEMISIA TRIDENTATA BIG SAGEBRUSH	5 GAL	6X6		60" o.c.	58	EVERGREEN, 30"X30" (WXH) AT INSTALL
⊙	ERIOGONUM UMBELLATUM SULFURFLOWER BUCKWHEAT	1 GAL	1.5X2		24" o.c.	7	EVERGREEN, 8"X8" (WXH) AT INSTALL
⊙	MUHLENBERGIA REVERCHONII SEEP MUHLY	1 GAL	3X3		36" o.c.	14	EVERGREEN, 12"X24" (WXH) AT INSTALL
⊙	PHILADELPHUS LEWISII WILD MOCK ORANGE	5 GAL	6X6		72" o.c.	27	DECIDUOUS, 30"X30" (WXH) AT INSTALL
<b>GROUND COVERS</b>							
⊙	DECORATIVE COBBLE						
⊙	6-8" GREY/BROWN COBBLE STONE					444 SF	

### LANDSCAPE CALCULATIONS

<b>GENERAL CALCULATIONS:</b>	
LOT AREA:	40,056 SF
LANDSCAPE AREA PROVIDED:	8,155 SF (20.4%)
TURF GRASS AREAS PROPOSED:	0 SF (0%)
XERISCAPING AREA:	7,992 SF (20%)
DECIDUOUS SPECIES:	62%
EVERGREEN SPECIES:	38%
TREES REQUIRED:	8 TREES (1 PER 1000 SF)
TREES PROVIDED:	8 TREES
HEADLIGHT SCREENING:	PROVIDED WITH CONTINUOUS HEDGE
50% PLANTING COVERAGE:	PROVIDED
<b>BUFFER LANDSCAPE:</b>	
<b>NORTH BUFFER:</b>	177'-6"
TREES REQUIRED:	4 TREES (1 PER 40LF)
TREES PROVIDED:	4 TREES
<b>SOUTH BUFFER:</b>	177'-6"
TREES REQUIRED:	4 TREES (1 PER 40LF)
TREES PROVIDED:	4 TREES
<b>WEST BUFFER:</b>	225'-8"
TREES REQUIRED:	6 TREES (1 PER 40LF)
TREES PROVIDED:	6 TREES
<b>EAST BUFFER:</b>	167'-8" (225'-8" - 29' - 29") (1 PER 40LF)
TREES REQUIRED:	4 TREES
TREES PROVIDED:	4 TREES

### PROJECT TEAM

LANDSCAPE ARCHITECT:  
 EVERGREEN DESIGN GROUP  
 BISHOP RANCH 3, STE 200  
 SAN RAMON, CA 94583  
 800-680-6630  
 WWW.EVERGREENDESIGNGROUP.COM  
 CONTACT: BLAKE TOMILLOSO-RHINEHART, PLA  
 EMAIL: BLAKE@EVERGREENDESIGNGROUP.COM

### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" CRUSHED GREY/BROWN ROCK IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

### ROOT BARRIERS

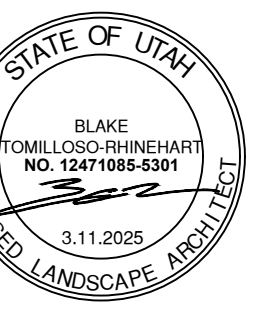
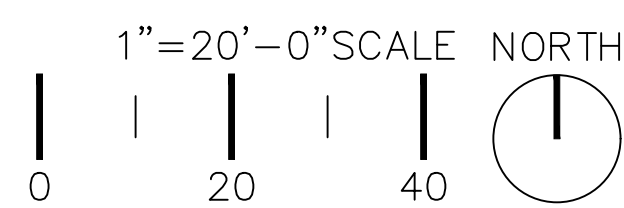
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

### GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 16" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

### IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



### REVISIONS

NO.	DATE	DESCRIPTION

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF EVERGREEN DESIGN GROUP, INC. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF EVERGREEN DESIGN GROUP, INC.

PANDA EXPRESS  
 PONY EXPRESS PARKWAY  
 EAGLE MOUNTAIN, UTAH

PROJ NO.: 240087

ENG.: JGN

DATE: 08/01/2024

SHEET TITLE

LANDSCAPE PLANTING PLAN

SHEET NUMBER

LP-1

OF 16



NOT APPROVED FOR CONSTRUCTION

Symbol	Label	Quantity	Catalog Number	Description	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	4	SLM-LED-12L-SIL-FT-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-12L-SIL-FT-40-70CRI-IL.ies	8194	1	85
	D	3	SLM-LED-12L-SIL-FT-40-70CRI	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-12L-SIL-FT-40-70CRI.ies	12865	1	170

**Note**

1. MOUNTING HEIGHT OF 17' (15'POLE)
2. CALCULATIONS TAKEN AT GROUND LEVEL
3. CONTACT VILLA LIGHTING- RYAN ZINSELMEIER- RYAN.ZINSELMEIER@VILLALIGHTING.COM- 314-531-2600
4. LAYOUT IS AN ESTIMATE

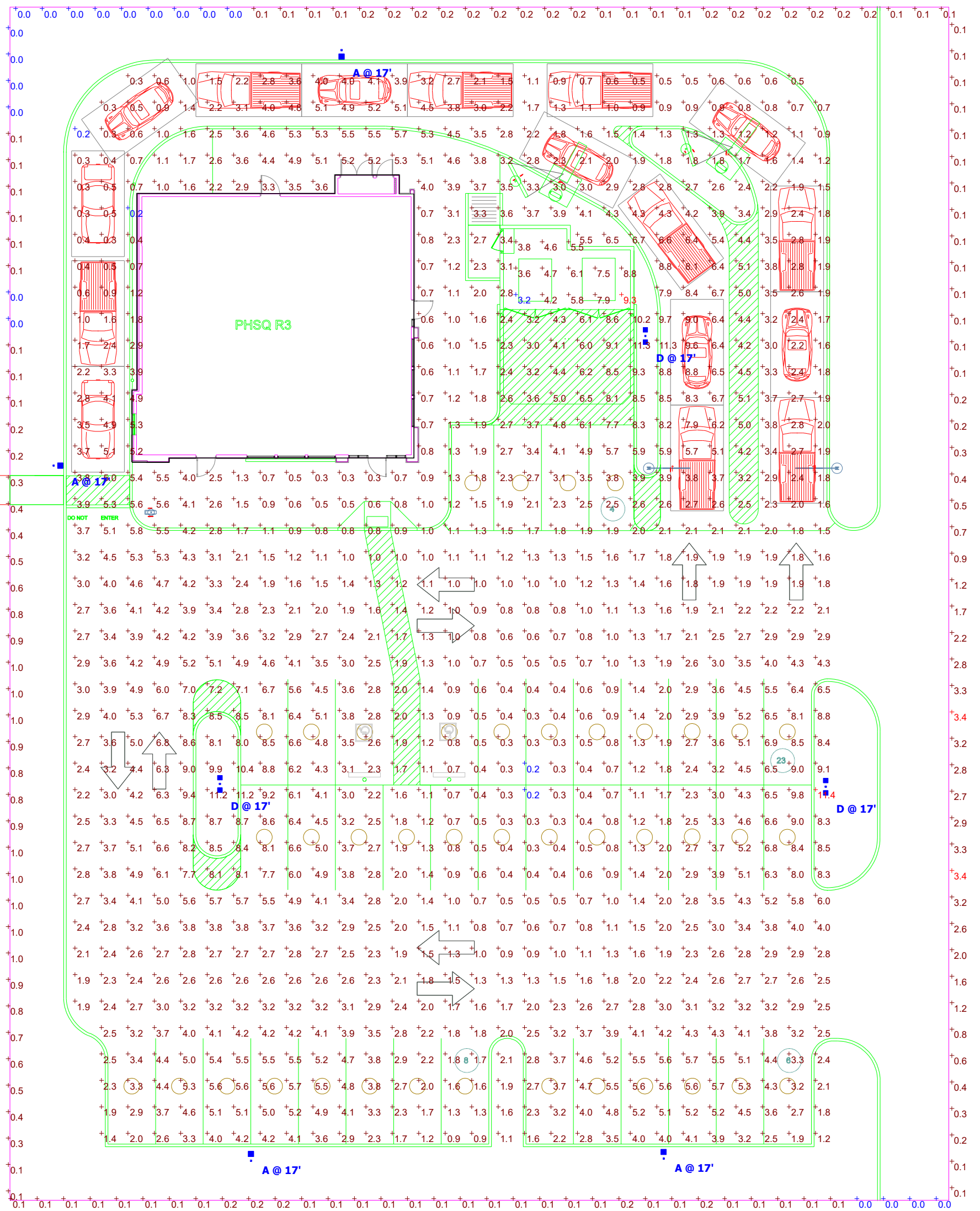
**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALC SUMMARY- PAVED SURFACE	+	3.1 fc	11.4 fc	0.2 fc	57.0:1	15.5:1
CALC SUMMARY- PROPERTY LINE	+	0.5 fc	3.4 fc	0.0 fc	N/A	N/A
TRASH ENCLOSURE	+	5.8 fc	9.3 fc	3.2 fc	2.9:1	1.8:1

Lumens per acre calculation:  
 Total lumen output: 71,371 lumens  
 site: 0.919 acre

71,371 lumens / 0.919 acre = 77,662 lumens per acre

PONY EXPRESS PARKWAY



**Plan View**  
 Scale - 1" = 20ft



PANDA EXPRESS  
 EAGLE MOUNTAIN, UT

Designer  
 R. ZINSELMEIER  
 Date  
 02/27/2025  
 Scale  
 NOTED  
 Drawing No.

Summary



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	Muhlestein Microschool Home Business Exceptions
<b>ITEM TYPE:</b>	Motion
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	Misty Muhlestein

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
General Plan Designation: Agricultural/Rural Density Two Zone: Residential	1.32 Acres

**PUBLIC HEARING**

Yes

**PREPARED BY**

Steven Lehmitz, Planner

**PRESENTED BY**

Steven Lehmitz

**RECOMMENDATION:**

Staff recommends that the Planning Commission grant the requested exceptions with the following conditions:

1. The applicant may use the entirety of the accessory structure and garage, but only one-third of the floor of the primary dwelling.
2. No more than 6 employees may be working at one time.
3. Traffic generation shall not exceed 16 clients (students) per hour and 32 per day.

**BACKGROUND:**

UCA 53G-6-201 provides the following definition:

(3)(a) "Home-based microschool" means an individual or association or individuals that:

- (i) registers as a business entity in accordance with state and local laws; and
- (ii) for compensation, provides kindergarten through grade 12 education services to 16 or fewer students from an individual's residential dwelling, accessory dwelling unit, or residential property.

(b) "Home-based microschool" does not include a daycare.

The applicant is seeking to operate a microschool on their residential property. They are seeking several exceptions to home business license standards.

**ITEMS FOR CONSIDERATION:**

EMMC 17.65.050 permits applicants to petition the Planning Commission for exceptions to the standards found in EMMC 17.65.060 before the license is issued.

The applicant is seeking exceptions to the following standards from EMMC 17.65.060:

A. Floor Area. The applicant intends to use more than one-third of the total floor area of the dwellings on the property, including a new accessory structure not shown on the maps, but designated on the

Parking and Circulation Plan..

B. Employees. The number of employees would be up to 6.

E. Outdoor Activity. The applicant wishes to conduct occasional outdoor class instruction.

K. Traffic Generation. The applicant has expressed a desire to have up to 50 students at a time.

Other considerations:

L. Multiple Home Business Licenses. The applicant already has one home business license where everything is conducted online. The Planning Commission may choose to speak to whether the applicant could have multiple home business licenses and associated exceptions in order to have more than 16 students.

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

n/a

**ATTACHMENTS:**

1. Maps - Muhlestein Microschool
2. Parking and Circulation Plan - Muhlestein Microschool



North

# General Plan Category

## LEGEND


### Residential Categories:

-  Foothill Residential
-  Agricultural/Rural Density One
-  Agricultural/Rural Density Two
-  Neighborhood Residential One
-  Neighborhood Residential Two
-  Neighborhood Residential Three

### Mixed Use/Commercial Categories:

-  Community Commercial
-  Town Center Mixed Use
-  Regional Commercial
-  Employment Center/Campus
-  Business Park/Light Industry

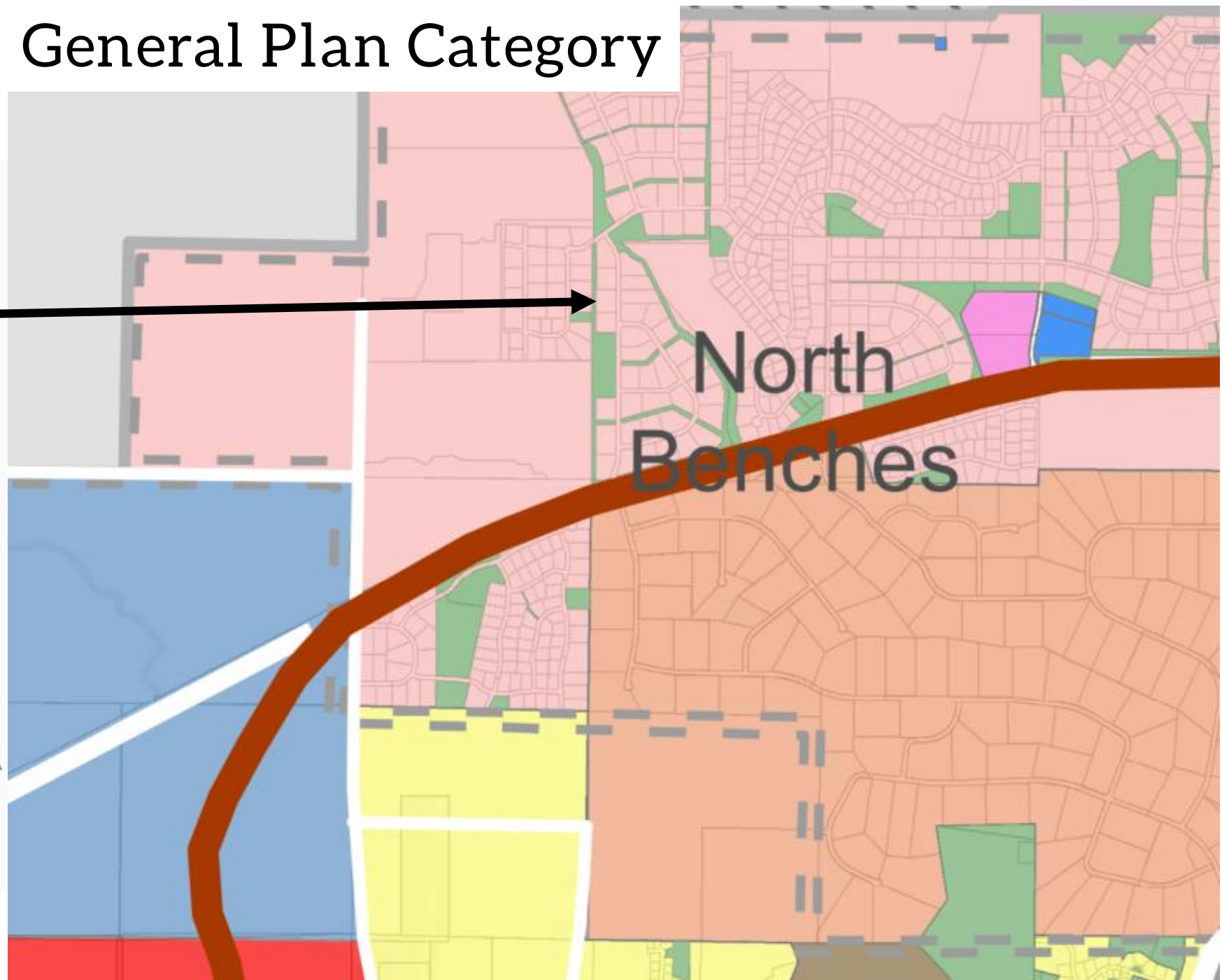
### Public/Civic Categories:

-  Civic Uses/Schools
-  Parks and Open Space

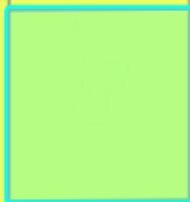
 NEIGHBORHOOD CHARACTER AREA

### TRANSPORTATION

-  UDOT Highway/Freeway
-  City Road Network - Collector & up



# Zoning



Zoom to

## Non-MDA 'Residential' Zone

Parcel ID: 36:713:0047

Current Landuse: Residential

General Zoning: Residential

Address: 9383 N CANYON WASH DR, EAGLE MOUNTAIN, UT 84005

Master Development Agreement: Non-MDA

All land planned for residential use in Eagle Mountain City is located within one of the following future land use categories and must be located within one of the following residential zoning districts: Agricultural/Rural Density One (RA1 or RA2), Agricultural/Rural Density Two (RD1, RD2), Foothill Residential (FR), Neighborhood Residential One (R1, R2, R3), Neighborhood Residential Two (RC, MF1), or Neighborhood Residential Three (MF2)

[More info: Eagle Mountain Municipal Code Title 17.25 Residential Zone](#)

Selected features: 1

# 9383 N. Canyon Wash Dr. Eagle Mountain



## Parking Guidelines:

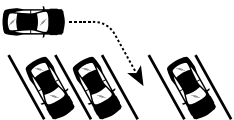


Drop-off and Pickup location

Please walk around the porch area to access the classroom.



No parking on the driveway designated for drop-off and pick-up exclusively.



Available parking



**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
APRIL 8, 2025**

<b>TITLE:</b>	Harmony MF1 Elevations
<b>ITEM TYPE:</b>	Site Plan
<b>FISCAL IMPACT:</b>	n/a
<b>APPLICANT:</b>	Flagship Homes

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
Neighborhood Residential One / Residential	9.61 acres

**PUBLIC HEARING**

Yes

**PREPARED BY**

David Stroud, Senior Planner

**PRESENTED BY**

David Stroud

**RECOMMENDATION:**

Staff recommends that the Planning Commission consider the proposed elevation change as it relates to EMMC and Development Requirements and recommend approval or denial to the City Council.

**BACKGROUND:**

The Harmony MF1 plat was recorded in December 2024 with prior site plan approval. Subsequently, Flagship Homes applied for building permits to start construction of the 116 townhome units. When Staff reviewed the submitted building plans, it was determined the approved elevations did not match the elevations of the building permit. Discussion with the City Attorney determined a site plan application was needed. This is more a site plan amendment than a full site plan as the elevations are proposed to change and nothing more. However, the City does not have a mechanism to process a site plan amendment. The revised elevations fit within the recorded townhome footprint and utilities are not affected.

**ITEMS FOR CONSIDERATION:**

Side by side of the approved elevations and proposed elevations are included as an attachment. Primary differences are the detached garage is removed, and the garage is now contained within the structure. The side elevations now show the awning covered side door removed, but an awning has been added to one of the windows. The shed roof over the rear of the units has been removed due to the relocation of the garage.

17.72.040 states:

*All facades of commercial and multifamily structures shall be designed with consistent architectural style, detail, and trim features as the primary facade.* The side and rear do use materials as located on the front and the style is similar.

*Multifamily buildings shall contain overhanging eaves and multiple roof planes when pitched roofs are used.* Complies.

*Buildings shall include facade modulation (stepping portions of the facade), horizontal and vertical divisions (textures or materials), window patterns, offsets, recesses, projections, varied front setbacks or staggered and jogged unit planes within the same structure, and other techniques to help identify individual residential units in a multifamily structure, and to avoid large, featureless and/or panelized surfaces on commercial buildings. Large uninterrupted expanses of a building wall are prohibited. The front contains facade modulation while the side and rear contain vertical division with the use of different materials and an awning. Awnings have been added to the rear elevation above the garages.*

*Multifamily townhome buildings shall incorporate a majority of the following architectural detailing: decorative shutters, bay windows, popouts, trellis or arbor structures, porches, decorative gables, dormer windows, exposed timbers, balconies, columns, turrets, decorative trim and moldings, detailed grilles and railings, architectural lighting, decorative masonry pattern, window grids, and decorative doors and windows. All sides of a building shall include the chosen details, where applicable. As identified by the applicant, the proposed elevations use popouts, porches, columns, decorative trim and moldings, grilles and railings, architectural lighting, decorative masonry pattern, window grids, and decorative doors and windows.*

*Multifamily structures shall utilize at least two exterior materials, including stucco, vinyl or fiber/cement siding, decorative rock/stone, brick, or other material deemed appropriate by the planning director. Each material shall be used on a minimum of 30 percent of the building, and used on all sides of the building. Other materials may be included as accents. The two primary exterior materials are stucco (39%) and cement fiber siding (57%) with secondary use of brick (4%).*

*Garage doors shall not be the most prominent or visible feature on a building. They shall be accessed from the side or rear, or set back from the front facade. If garages are visible from the street, white doors are discouraged. Decorative doors are encouraged. Garage doors are accessed internally as on the approved site plan and are decorative.*

Development Agreement:

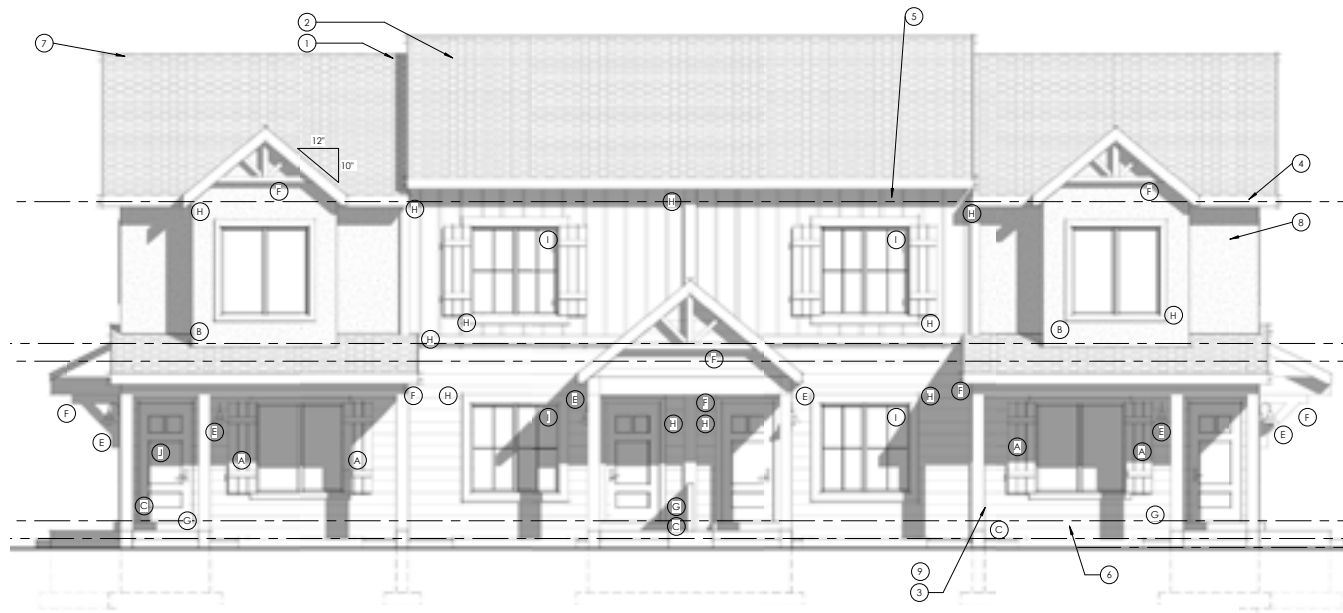
*All homes on lots within the project shall have 'carriage' style, or decorative, garage doors. The front of all homes will have at least two textures, including rock, brick, stucco, or decorative material, similar to Hardy board. The texture shall wrap around the front of the home at least until the first windows along each side of the home. Typical vinyl siding will not be used on the front of the homes. Complies.*

#### **PLANNING COMMISSION ACTION/RECOMMENDATION:**

The Planning Commission shall recommend approval or denial to the City Council with conditions, if any. The Planning Commission may also continue the item if additional information is needed to render a recommendation.

#### **ATTACHMENTS:**

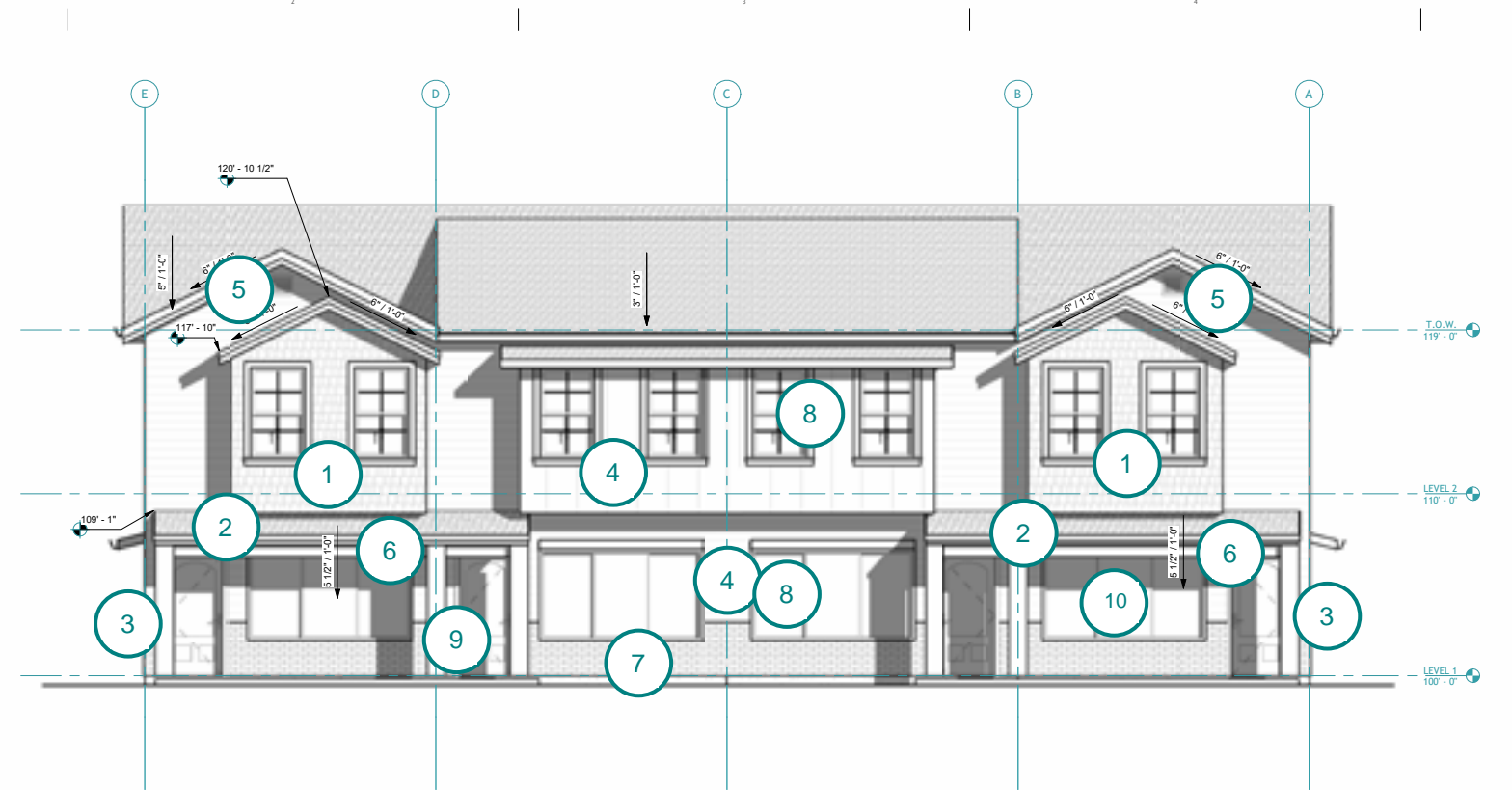
1. Harmony MF elevations 4.3.25



**FRONT ELEVATION FROM SITE PLAN APPROVAL**

**ARCHITECTURAL DETAILING**

#	Comments
A	Decorative shutters
B	Popouts
C	Porch
D	Decorative gables
E	Architectural lighting
F	Exposed timbers
G	Columns
H	Decorative trim
I	Window grids
J	Decorative door



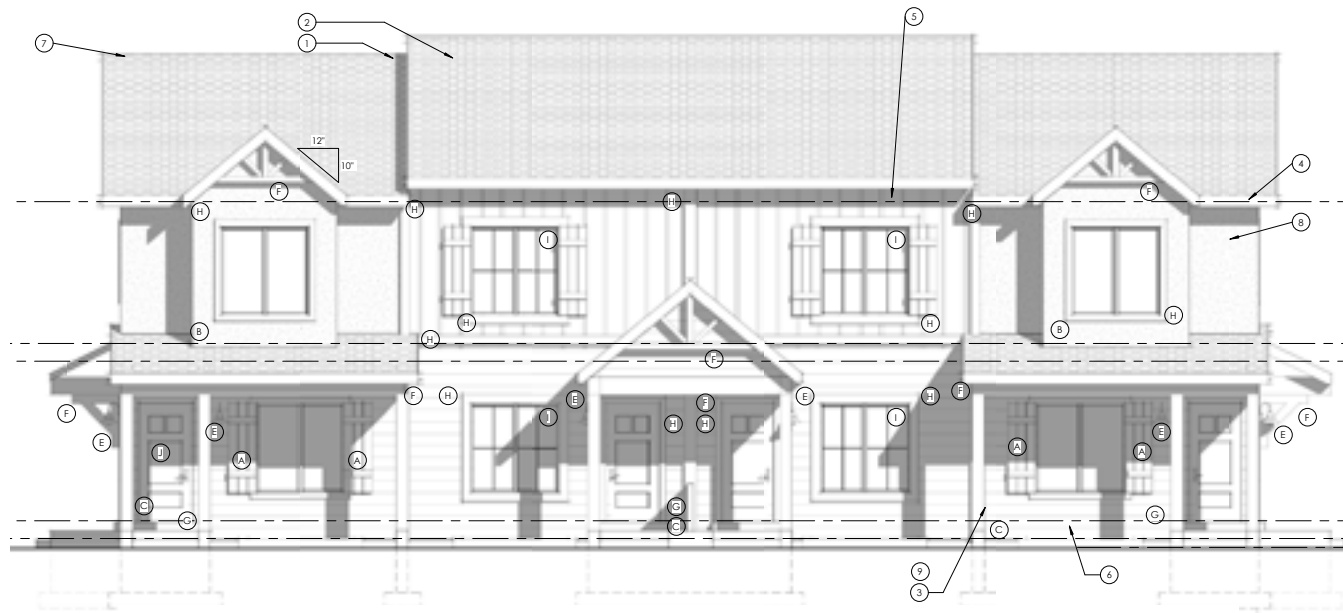
**FRONT ELEVATION FROM BUILDING PERMIT SET (with proposed enhancements)**

**ARCHITECTURAL ELEMENTS**

1. POPOUTS
2. PORCHES
3. COLUMNS
4. DECORATIVE TRIM AND MOLDINGS
5. DETAILED GRILLES AND RAILINGS
6. ARCHITECTURAL LIGHTING
7. DECORATIVE MASONRY PATTERN
8. WINDOW GRIDS
9. DECORATIVE DOORS
10. WINDOWS

**Exterior Material Percentages**

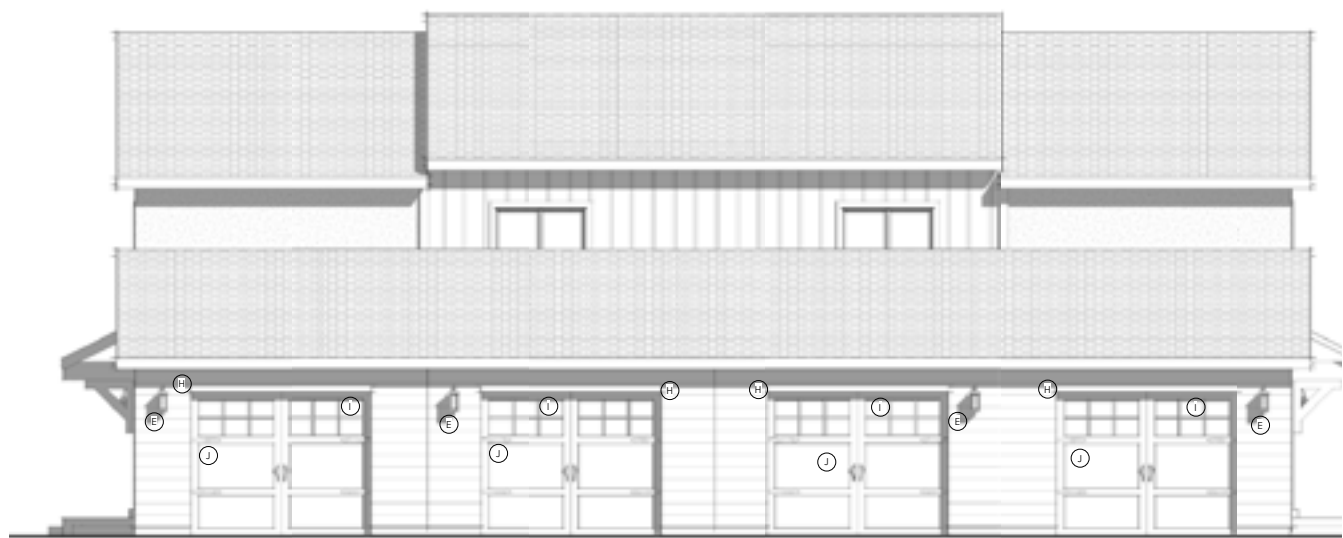
<b>Fiber Cement Siding</b>	<b>57%</b>
Fiber Cement Lap Siding (43%)	
Fiber Cement Board & Batten Siding (8%)	
Fiber Cement Shake Siding (6%)	
<b>Stucco</b>	<b>39%</b>
<b>Brick</b>	<b>4%</b>
<b>Total</b>	<b>100%</b>



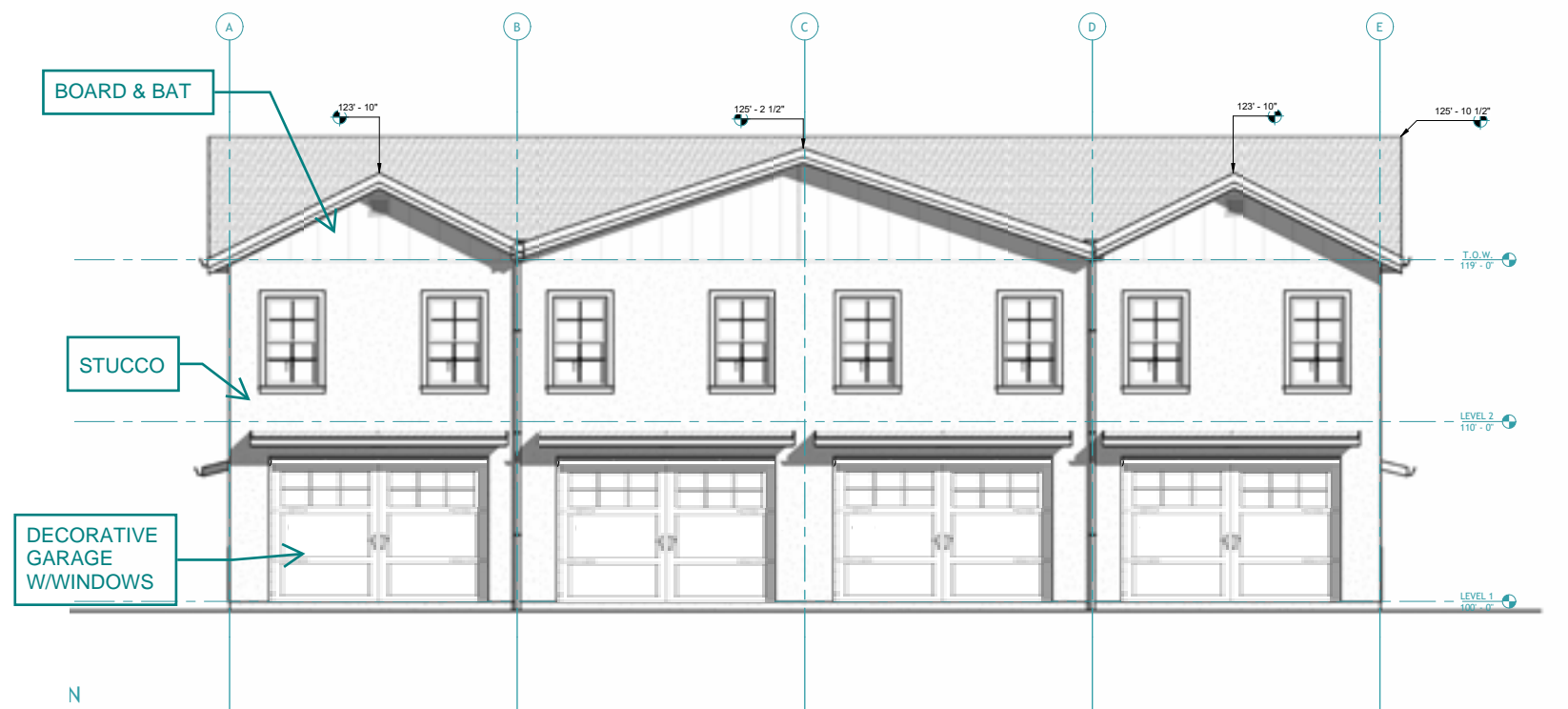
**FRONT ELEVATION FROM SITE PLAN APPROVAL**



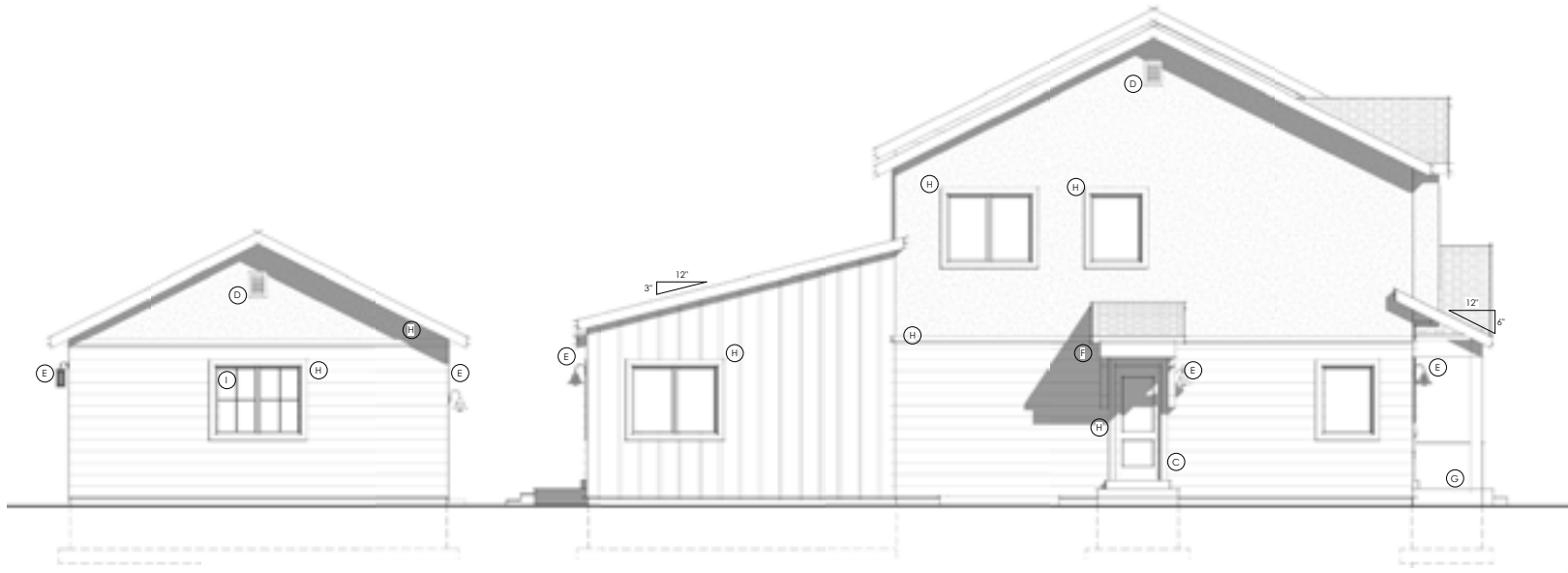
**FRONT ELEVATION FROM BUILDING PERMIT SET (with proposed enhancements)**



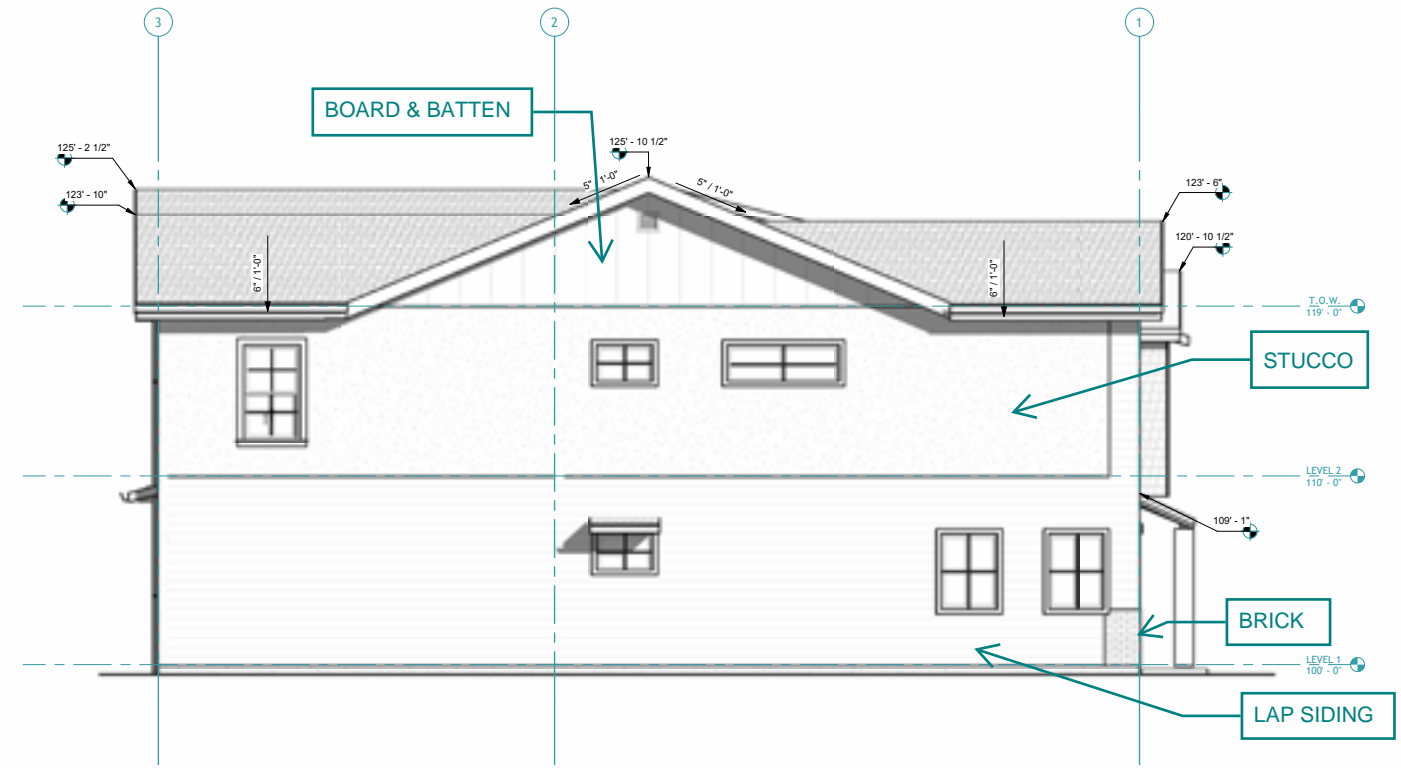
**REAR ELEVATION FROM SITE PLAN APPROVAL**



**REAR ELEVATION FROM BUILDING PERMIT SET (with proposed enhancements)**



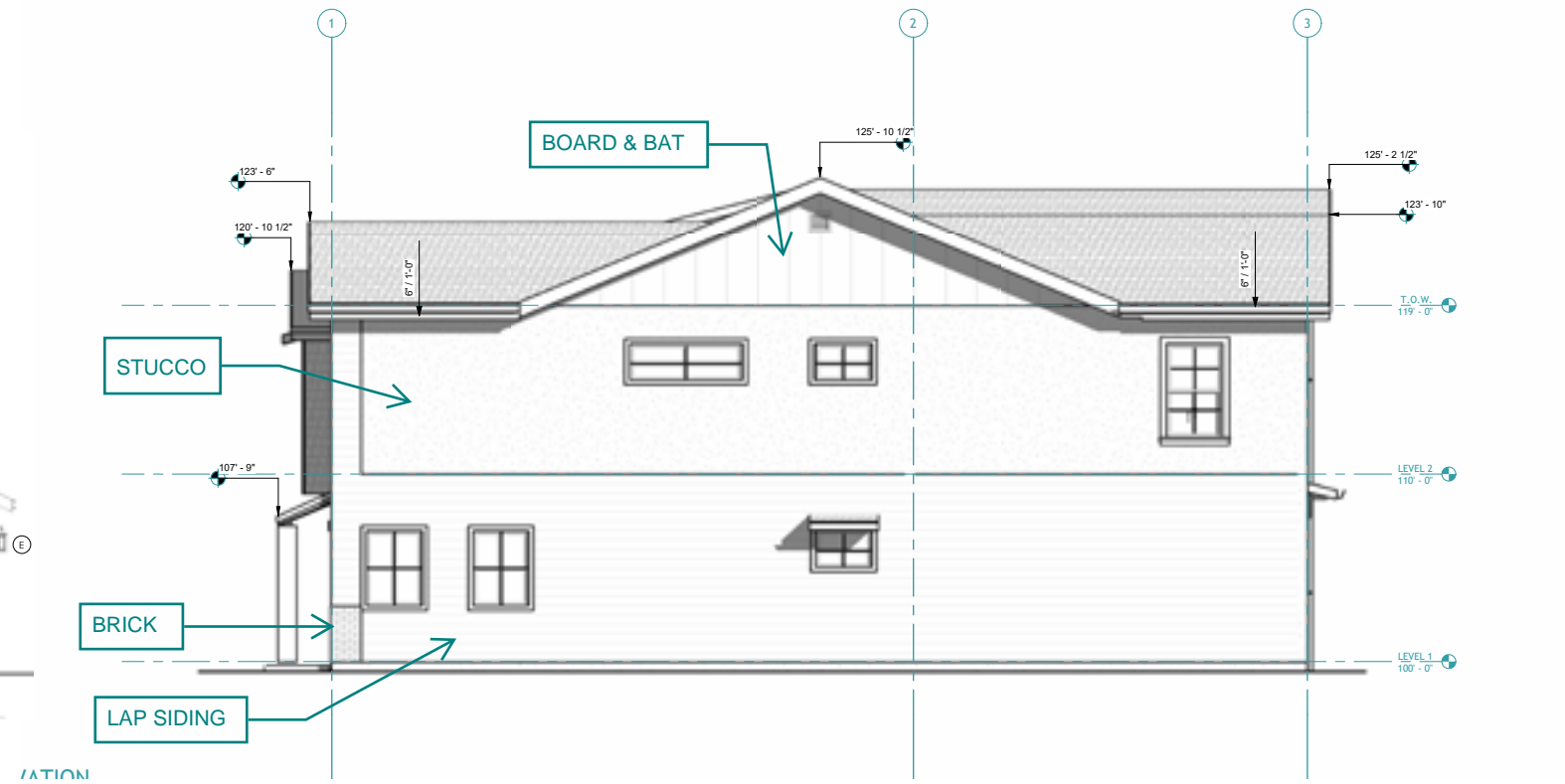
**SIDE ELEVATION FROM SITE PLAN APPROVAL**



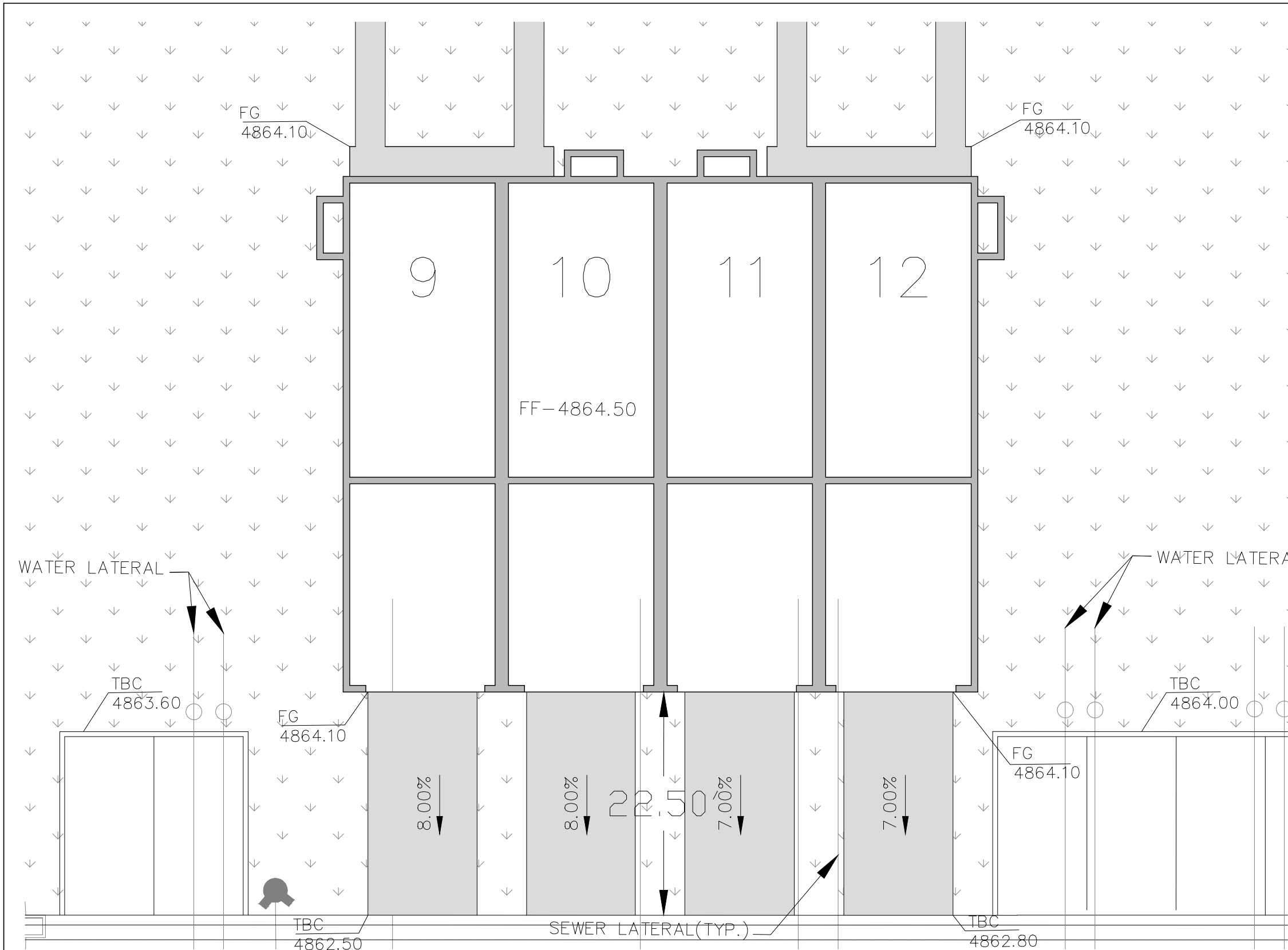
**SIDE ELEVATION FROM BUILDING PERMIT SET (with proposed enhancements)**



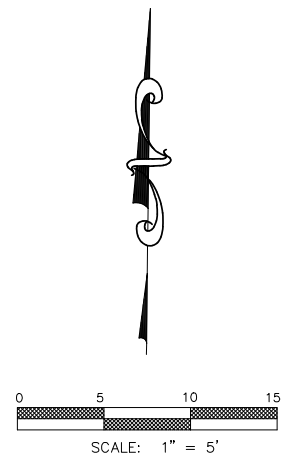
**SIDE ELEVATION FROM SITE PLAN APPROVAL**



**SIDE ELEVATION FROM BUILDING PERMIT SET (with proposed enhancements)**



- NOTE:
1. ALL CONSTRUCTION TO BE PER EAGLE MOUNTAIN CITY STANDARDS.
  2. CONTRACTOR SHALL INSTALL & MAINTAIN SILT FENCE UNTIL PERMANENT LANDSCAPING HAS BEEN ESTABLISHED.
  3. CONSULT GEOTECHNICAL ENGINEER FOR COMPACTION REQUIREMENTS FOR FILL PLACEMENTS UNDER FOUNDATION.
  4. ELEVATIONS SHOWN ARE FINISHED GROUND ELEVATIONS.
  5. DUST, MUD AND EROSION SHALL BE CONTROLLED BY WHATEVER MEANS NECESSARY, AND THE ROADWAY SHALL BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
  6. BUILDER/OWNER SHALL REPLACE ANY SIDEWALK OR CURB AND GUTTER ALONG THE FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE DEFECTIVE, AS DIRECTED BY THE CITY INSPECTOR.
  7. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING SEWER LATERAL PRIOR TO CONSTRUCTION TO VERIFY SEWERABILITY OF BASEMENT.
  8. CONSTRUCTION TOILET PROVIDED FOR EVERY 6 HOMES UNDER CONSTRUCTION & LOCATED ON THE CURB.
  9. CONTRACTOR TO VERIFY GRADES AND ELEVATIONS OF ADJACENT BUILDING AND NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES.



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

**TRANE ENGINEERING, P.C.**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

EAGLE MOUNTAIN  
 UTAH

*HARMONY MULTI-FAMILY*

BUILDING 9-12 SITE PLAN

JOB MF1  
 SHEET NO. 1

**HARMONY PHASE A PLAT MF1 RECORDED PLAT**